

CONGRESS & CHESTNUT STREET STREETSCAPE & UTILITIES PROJECT

Portsmouth, New Hampshire

Owner:

A Joint Venture with:



CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801



28 CHESTNUT STREET
PORTSMOUTH, N.H. 03801
TEL.: (603) 433-3100

Issued for Client Review

MARCH 21, 2017
JUNE 16, 2017

80% Submission
Bid Issue

Civil Engineer:



133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

Landscape Architect:



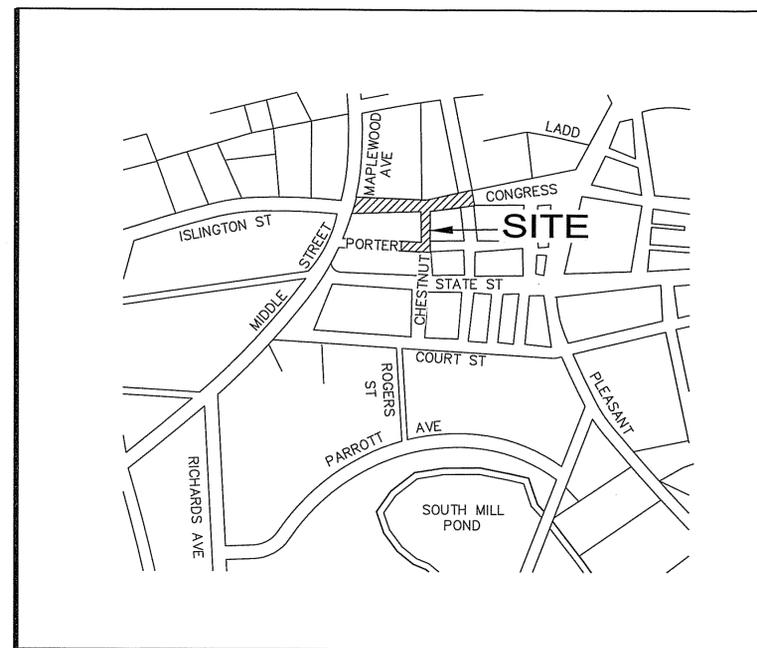
terra firma
landscape architecture

163.a Court Street
Portsmouth, N.H. 03801
603.430.8388
603.531.9109 mobile

Surveyor:

James Verra and
Associates, Inc.
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801-7876
603-436-3557



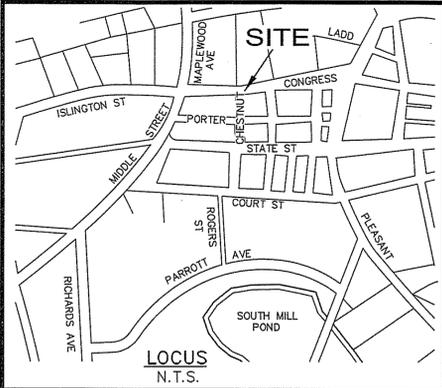
Locus Map
Scale: Not to Scale

Permit Summary

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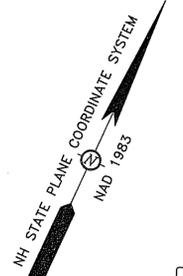
Sheet
No.: Rev. Date

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MAPLEWOOD AVENUE (A PUBLIC WAY)

MIDDLE STREET (A PUBLIC WAY)



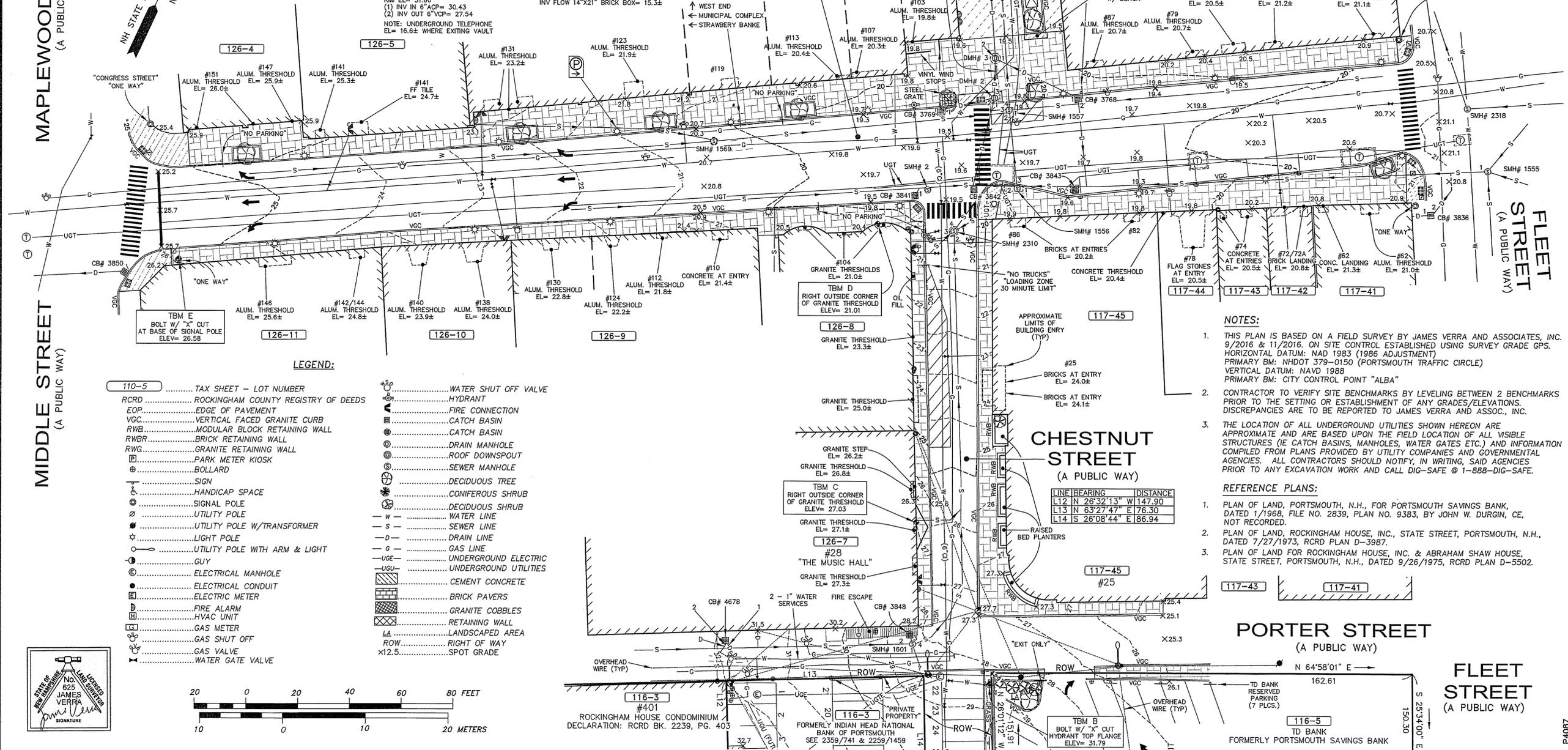
- DMH# 2
RIM EL= 19.55
(1) INV IN 12"RCP= 16.42
(2) INV IN 12"RCP= 14.77
(3) INV OUT 15"RCP= 13.40
- DMH# 3
RIM EL= 19.77
(1) INV IN 12"RCP= 14.40
(2) INV FLOW 15"RCP= 13.27
- DMH# 5203
RIM EL= 17.39
(1) INV IN 12"DI= 13.84
(2) INV IN 15"CI= 11.31
(3) INV IN 12"CI= 11.86
(4) INV OUT 15"CI= 11.27
- CB# 3766
RIM EL= 17.57
(1) INV IN 12"VCP= 14.32
(2) INV OUT 12"DI= 14.2±
- CB# 3767
RIM EL= 18.49
(1) INV OUT 12"CI= 15.31
- CB# 3768
RIM EL= 19.10
(1) INV OUT 12"RCP= 15.30
(2) INV OUT BOX= 13.6±
- CB# 3769
RIM EL= 19.23
(1) INV OUT 12"RCP= 15.40
- CB# 3836
RIM EL= 20.62
(1) INV IN 6"DI= 18.20
(2) INV OUT 8"VCP= 18.02
- CB# 3841
RIM EL= 19.43
(1) INV OUT 6"VCP= 17.18
- CB# 3842
RIM EL= 19.15
(1) INV OUT 12"RCP= 17.65
- CB# 3843
RIM EL= 19.29
DRAINS INTO SEWER LINE
INV FLOW EL= 13.8±
- CB# 3848
RIM EL= 28.33
(1) INV OUT 6"VCP= 25.79
- CB# 4678
RIM EL= 31.66
(1) INV IN 6"ACP= 30.43
(2) INV OUT 6"VCP= 27.94
NOTE: UNDERGROUND TELEPHONE
EL= 16.6± WHERE EXITING VAULT
- SMH# 2
RIM EL= 19.53
INV FLOW 6"VCP= 14.29
- SMH# 3
RIM EL= 15.49
INV FLOW 15" W 18" H OVAL RCP= 10.66
- SMH# 1555
RIM EL= 21.17
(1) INV OUT 12"VCP= 15.03
- SMH# 1556
RIM EL= 19.95
(1) INV IN 18" W 24" H OVAL RCP= 13.45
(2) INV IN 15"RCP= 13.85
(3) INV OUT 18" W 24" H OVAL RCP= 13.31
- SMH# 1569
RIM EL= 20.32
INV OUT 15"VCP= 13.60
- SMH# 1557
RIM EL= 19.35
(1) INV IN 24" W 36" H BOX CULVERT= 12.2±
(2) INV IN 18" W 24" H OVAL RCP= 12.54
(3) INV IN 15"VCP= 12.9±
(4) INV OUT 18" W 24" H OVAL RCP= 12.27
- SMH# 1601
RIM EL= 28.41
(1) INV IN 6"VCP= 25.1±
(2) INV IN 8"VCP= 23.51
(3) INV IN 6"VCP= 25.8±
(4) INV OUT 12"VCP= 23.33
- SMH# 2310
RIM EL= 19.94
(1) INV IN 6"VCP= 16.75
(2) INV IN 12"VCP= 15.79
(3) INV IN 4"VCP= 16.40
(4) INV OUT 12"VCP= 15.70
*POSSIBLE UNDERDRAINS
- NOTE: UNDERGROUND TELEPHONE
EL= 16.6± WHERE EXITING VAULT
- SMH# 2318
RIM EL= 21.06
INV FLOW 14"x21" BRICK BOX= 15.3±

VAUGHAN MALL
(PEDESTRIAN ACCESS)

CONGRESS STREET
(A PUBLIC WAY)

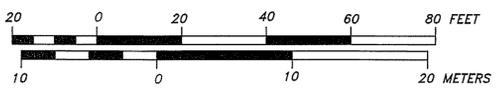
ABUTTERS LIST

MAP-LOT	OWNER OF RECORD	DEED REF.
116-3 (WEST)	ROCKINGHAM HOUSE CONDOMINIUM C/O KAREN ANDERSON, PRESIDENT 401 STATE ST, PORTSMOUTH, NH 03801	DECLARATION: 2239/403
116-3 (EAST)	FLY INDIAN HEAD NATIONAL BANK OF PORTSMOUTH	2258/178 & 2259/1459
116-5	PORTSMOUTH SAVINGS BANK/BANK OF NH (TD BANK) 380 WELLINGTON ST 12TH FL, LONDON, ON N6A 4S4	1381/311 & 1381/394 1440/203 & 1856/72
117-5	MICHAEL DE LA CRUZ C/O THE FRANKLIN BLOCK-CDB 75 CONGRESS ST, PORTSMOUTH, NH 03801	2912/1268
117-43	COLACO LLC 50 SOUTH SCHOOL ST, UNIT 5, PORTSMOUTH, NH 03801	5510/2139
117-44	DARYL T. KENT REV. TRUST OF 2012 DARYL T. KENT TRUSTEE 132 CLARK RD, RYE, NH 03870	5391/1664
117-45	82-86 CONGRESS LLC 30 PENHALLOW ST, SUITE 300E, PORTSMOUTH, NH 03801	3157/1012
126-4	ROMAN AND NELSON, LLC 151 CONGRESS ST, PORTSMOUTH, NH 03801	4731/730
126-5	BLUESTONE PROPERTIES OF RYE, LLC PO BOX 4780, PORTSMOUTH, NH 03802	5761/1289
126-6	WORTH DEVELOPMENT I, A CONDOMINIUM	DECLARATION: 4687/1380
126-7	FRIENDS OF THE MUSIC HALL 28 CHESTNUT ST, PORTSMOUTH, NH 03801	2879/1591
126-8	KEARSARGE HOUSE ASSOC. LP 321 COLUMBUS AVE, BOSTON, MA 02116	2865/499
126-9	C F S CONDOMINIUMS	DECLARATION: 2372/468
126-10	FLATBREAD CONGRESS, LLC 4 HIGH ST, HAMPTON, NH 03842	4969/2612
126-11	ONE MIDDLE STREET, LLC 1 MIDDLE ST, SUITE 1, PORTSMOUTH, NH 03801	5229/1455



LEGEND:

- 110-5 TAX SHEET - LOT NUMBER
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- EOP EDGE OF PAVEMENT
- VGC VERTICAL FACED GRANITE CURB
- RWB MODULAR BLOCK RETAINING WALL
- RWR BRICK RETAINING WALL
- RWG GRANITE RETAINING WALL
- PK PARK METER KIOSK
- B BOLLARD
- S SIGN
- CS HANDICAP SPACE
- SP SIGNAL POLE
- UP UTILITY POLE
- UT UTILITY POLE W/ TRANSFORMER
- LP LIGHT POLE
- UL UTILITY POLE WITH ARM & LIGHT
- G GUY
- EM ELECTRICAL MANHOLE
- EC ELECTRICAL CONDUIT
- EM ELECTRIC METER
- FA FIRE ALARM
- HVAC HVAC UNIT
- GM GAS METER
- GS GAS SHUT OFF
- GV GAS VALVE
- WGV WATER GATE VALVE
- WSOV WATER SHUT OFF VALVE
- HYD HYDRANT
- FC FIRE CONNECTION
- CB CATCH BASIN
- DB DRAIN MANHOLE
- RD ROOF DOWNSPOUT
- SM SEWER MANHOLE
- DT DECIDUOUS TREE
- CS CONIFEROUS SHRUB
- DS DECIDUOUS SHRUB
- W WATER LINE
- S SEWER LINE
- D DRAIN LINE
- G GAS LINE
- UGE UNDERGROUND ELECTRIC
- UGU UNDERGROUND UTILITIES
- CC CEMENT CONCRETE
- BP BRICK PAVERS
- GC GRANITE COBBLES
- RW RETAINING WALL
- LA LANDSCAPED AREA
- ROW RIGHT OF WAY
- X12.5 SPOT GRADE



NOTES:

- THIS PLAN IS BASED ON A FIELD SURVEY BY JAMES VERRA AND ASSOCIATES, INC. 9/2016 & 11/2016. ON SITE CONTROL ESTABLISHED USING SURVEY GRADE GPS. HORIZONTAL DATUM: NAD 1983 (1986 ADJUSTMENT) PRIMARY BM: NHDOT 379-0150 (PORTSMOUTH TRAFFIC CIRCLE) VERTICAL DATUM: NAVD 1988 PRIMARY BM: CITY CONTROL POINT "ALBA"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE SETTING OR ESTABLISHMENT OF ANY GRADES/ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOC., INC.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.

REFERENCE PLANS:

- PLAN OF LAND, PORTSMOUTH, N.H., FOR PORTSMOUTH SAVINGS BANK, DATED 1/1968, FILE NO. 2839, PLAN NO. 9383, BY JOHN W. DURGIN, CE, NOT RECORDED.
- PLAN OF LAND, ROCKINGHAM HOUSE, INC., STATE STREET, PORTSMOUTH, N.H., DATED 7/27/1973, RCRD PLAN D-3987.
- PLAN OF LAND FOR ROCKINGHAM HOUSE, INC. & ABRAHAM SHAW HOUSE, STATE STREET, PORTSMOUTH, N.H., DATED 9/26/1975, RCRD PLAN D-5502.

CHESTNUT STREET
(A PUBLIC WAY)

PORTER STREET
(A PUBLIC WAY)

FLEET STREET
(A PUBLIC WAY)

SURVEYOR:
James Verra and Associates, Inc.
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801-7876
603-436-3557
JOB NO: 23684
PLAN NO: 23684-2

ENGINEER:
ALTUS ENGINEERING, INC.
133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.COM

ISSUED FOR: **ENGINEERING DESIGN**
ISSUE DATE: **JANUARY 20, 2017**

REVISIONS

NO.	DESCRIPTION	BY	DATE
1	ENGINEERING DESIGN	JV	1/20/2017
2	ADD STRUCTURE SIZES	JV	2/24/2017

DRAWN BY: **JCS**
APPROVED BY: **JV**
DRAWING FILE: **23684.DWG**

SCALE:
22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

OWNER/APPLICANT:



CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:
**CHESTNUT STREET
STREETSCAPE
PROJECT**
**CONGRESS STREET
TO
PORTER STREET**

TITLE:
**EXISTING
CONDITIONS
PLAN**

SHEET NUMBER:
1 OF 1

P4087

DEMOLITION NOTES

- CONTRACTOR SHALL SAFELY SECURE THE SITE WITH SECURITY FENCING OR OTHER MEANS TO ENSURE A SAFE SITE DURING NON-WORK HOURS.
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
- ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
- ALL STRUCTURES, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM PROPOSED LANDSCAPE AREAS AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPE AND/OR STORMWATER MANAGEMENT PURPOSES AND MEETING THE PROJECT SPECIFICATIONS.
- WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, HANDHOLES, ETC. SHALL BE ADJUSTED TO FINISH GRADE.
- NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
- HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS AT NO EXTRA COST TO THE OWNER.
- SEE EROSION CONTROL PLANS FOR EROSION CONTROL REQUIREMENTS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO: SILT FENCING, STABILIZED CONSTRUCTION SITE EXITS, AND STORM DRAIN INLET PROTECTION.
- ALL DEMOLISHED MATERIALS OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS AND CODES.
- CONTRACTOR SHALL COORDINATE ALL TELE-COMMUNICATION DISCONNECTIONS AND INSTALLATION WITH FAIRPOINT COMMUNICATIONS. CONTACT JOE CONSIDINE @ 603-427-5525
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL DISCONNECTIONS/INSTALLATIONS WITH EVERSOURCE. CONTACT: NICK KOSKO @ 603-332-4227 EXT. 5555334
- CONTRACTOR SHALL COORDINATE ALL NATURAL GAS DISCONNECTIONS/INSTALLATIONS WITH UNTIL CORPORATION. CONTACT: DAVID BEAULIEU @ 603-294-5144
- CONTRACTOR SHALL COORDINATE ALL CABLE DISCONNECTIONS/INSTALLATIONS WITH COMCAST. CONTACT: MIKE COLLINS @ 603-679-5695, EXT. 1037
- CONTRACTOR SHALL COORDINATE ALL TELE-COMMUNICATIONS/INSTALLATIONS WITH BAYRING/OXFORD NETWORKS. CONTACT: SHAWN SMITH @ 603-205-9795.
- ALL EXISTING WATER MAINS, SEWER LINES, AND DRAIN LINES SCHEDULED TO BE ABANDONED IN PLACE SHALL EITHER BE DEMOLISHED, REMOVED OR HAVE A CAP INSTALLED AT EACH END OF THE PIPE. THIS WORK SHALL BE CONSIDERED SUBSIDIARY.
- ASBESTOS PIPE ENCOUNTERED DURING CONSTRUCTION SHALL BE ABANDONED IN PLACE IF INTACT. IF REMOVAL IS REQUIRED TO COMPLETE NEW UTILITY WORK, PAYMENT WILL BE MEASURED AS DESCRIBED IN SECTION 01025, ITEM 7.
- EXISTING LIGHTS, POLE & FIXTURES SCHEDULED TO BE REMOVED IN CONGRESS STREET SHALL BE REUSED IN CHESTNUT STREET. NEW POLE BASES SHALL BE INSTALLED.
- NO EQUIPMENT OR MATERIAL STORAGE OVER NIGHT IN RIGHT OF WAY(S) EXCEPT ON "CLOSED STREETS". COORDINATE W/CITY OF PORTSMOUTH DPW.

GENERAL NOTES:

- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- CONTRACTOR SHALL CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR (IF DAMAGED) OF ALL EXISTING UTILITIES. THE LOCATIONS DEPICTED ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON THE KNOWN INFORMATION. THE LOCATIONS OF ALL THE SERVICE LATERALS INCLUDING SEWER, GAS, WATER, TELE-COMMUNICATION AND ELECTRIC HAVE NOT BEEN DEPICTED. THE CONTRACTOR SHALL ANTICIPATE THEIR EXISTENCE. RELOCATIONS DUE TO CONFLICTS SHALL BE COMPLETED AT THE CONTRACTOR'S COST.
- CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AND ALL STAKE HOLDERS A MINIMUM OF 7-DAYS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT AND EROSION CONTROL ITEMS TO PREVENT SEDIMENT FROM CONSTRUCTION ACTIVITIES FROM LEAVING THE SITE. CONTROLS SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER ALL RAIN EVENTS OF 0.25 INCHES OR GREATER. ANY DEFICIENCIES IN THE CONTROLS SHALL BE ADDRESSED IMMEDIATELY AND BROUGHT TO THE ATTENTION OF THE OWNER. ALL STORMS DRAINS WITHIN OR ADJACENT TO THE WORK AREA, WITH THE POTENTIAL TO RECEIVE RUNOFF FROM EXPOSED CONSTRUCTION AREAS, SHALL RECEIVE STORM DRAIN INLET PROTECTION.
- CONTRACTOR SHALL PREVENT TRACKING OF DIRT ONTO ANY PUBLIC OR PRIVATE ROADWAYS. IF TRACKING OF DIRT FROM CONSTRUCTION VEHICLES IS PRESENT ON THE OPEN STREETS, CONTRACTOR WILL BE REQUIRED TO SWEEP THE ROADWAY AT NO ADDITIONAL EXPENSE TO THE OWNER.
- AS A MINIMUM THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN A SINGLE LANE OF TRAFFIC ON CONGRESS STREET. AT THE END OF EACH DAY'S OPERATION, TWO LANES OF TRAVEL SHALL BE PROVIDED ON CONGRESS STREET.
- AT THE END OF THE WEEK'S WORK, CONGRESS STREET AND THE ADJACENT SIDEWALKS ON BOTH SIDES OF THE STREET SHALL BE TEMPORARILY PAVED AND ACCESSIBLE.
- PORTER STREET MAY BE FULLY CLOSED DURING THE WORK DAY. AT THE END OF EACH DAY, PORTER STREET SHALL BE OPEN TO VEHICULAR TRAFFIC. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH ROCKINGHAM HOUSE CONDOMINIUM ASSOCIATION TO ENSURE THAT THEIR PARKING LOT IS ACCESSIBLE AT ALL TIMES.
- CHESTNUT STREET MAY CLOSED TO VEHICULAR TRAFFIC FOR AN EXTENDED PERIOD OF TIME. CONTRACTOR SHALL ENSURE THAT SAFE ACCESS TO ALL BUSINESSES ON CHESTNUT STREET ARE MAINTAINED AT ALL TIMES THROUGHOUT CONSTRUCTION. AT THE END OF THE WEEK, THERE SHALL BE A PAVED ACCESS TO THE MUSIC HALL.
- CONTRACTOR SHALL INSTALL AND MAINTAIN APPROPRIATE TRAFFIC CONTROL WARNING DEVICES IN ACCORDANCE WITH MUTCD REQUIREMENTS AND SECTION 01570 OF THE PROJECT MANUAL.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL BUSINESSES AT ALL TIMES.
- ALL STREET OPENINGS SHALL BE COVERED AT THE END OF EACH DAYS WORK TO ENSURE SAFE PEDESTRIAN AND VEHICULAR TRAFFIC.
- SOME OF THE OVERHEAD WIRES ARE DEPICTED ON THE PLANS. THE CONTRACTOR SHALL ANTICIPATE THEIR EXISTENCE AND ANTICIPATE CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL SURPLUS EARTHEN AND CONSTRUCTION MATERIALS INCLUDING LEDGE, SPOILS, PIPE, CURB, PAVEMENT, DRAINAGE AND SEWER STRUCTURES EXCAVATED DURING CONSTRUCTION UNLESS MATERIALS ARE CLAIMED BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ALL PROPERTY DAMAGED BY THE CONSTRUCTION ACTIVITIES INCLUDING BOTH PUBLIC AND PRIVATE AT NO ADDITIONAL COST TO THE OWNER OR PROPERTY OWNER.
- PAVEMENT REPAIRS BEYOND THE WORK LIMITS TO DRIVEWAYS OR ROADWAYS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- DEWATERING ACTIVITIES, IF REQUIRED, SHALL BE DONE IN ACCORDANCE WITH EPA AND NHDES REGULATIONS.
- THE ENGINEER & SURVEYOR HAVE MADE ATTEMPTS TO LOCATE THE EXISTING UNDERGROUND UTILITIES. ADDITIONAL UTILITIES MAY BE ENCOUNTERED THAT ARE ABANDONED OR ACTIVE. WHEN A UTILITY IS ENCOUNTERED AND IS WITHIN THE PATH OF A NEW UTILITY, THE CONTRACTOR SHALL VERIFY ABANDONMENT. IF NOT ABANDONED CONTRACTOR SHALL EITHER RELOCATE UTILITY AND/OR CONNECT IT TO THE NEW UTILITY SYSTEM. ALL WORK SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION, SUBGRADE PREPARATION, INSTALLATION OF ARCH CONCRETE FOUNDATION AS DEPICTED ON SHEET S1.0 (BY JSN ASSOCIATES, INC.), BACKFILL & COMPACTION FOR THE ARCH FOUNDATION. WORK SHALL INCLUDE BUT NOT BE LIMITED TO:
 - PROVIDING SAFE ACCESS TO THE EXCAVATION
 - BARRIER PROTECTION TO THE EXCAVATION
 - ELECTRICAL CONDUIT FROM POWER SUPPLY (FORMER STREET LIGHTS) TO WITHIN 1' OF FOUNDATION PIER
 - REVIEW OF JSN STRUCTURAL DRAWING & FOLLOWING THEIR SITE WORK DIRECTIONS
 - INSTALLATION OF CONCRETE FOUNDATION
 - COORDINATION W/ARCH MANUFACTURER
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING PLANTERS AND EXPOSING FOUNDATION. CONTRACTOR SHALL CONSTRUCT A SAWCUT SHELF IN THE EXISTING FOUNDATION. INSTALLATION OF CONCRETE FOUNDATION. INSTALL NEW BRICK ON EXPOSED AREAS. BRICK SHALL MATCH EXISTING BRICK & SAMPLES SHALL BE SUPPLIED TO ENGINEER FOR APPROVAL. BRICK INSTALLATION SHALL BE SATISFACTORY TO BOTH THE ENGINEER & OWNER.
- IN ADDITION TO THE SCHEDULING COORDINATION NOTES ON THESE PLANS, CONTRACTOR SHALL MAKE PROVISIONS TO THE SCHEDULING REQUIREMENTS NOTED IN THE PROJECT MANUAL.

CONSTRUCTION SEQUENCING NOTES

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND THE CITY OF PORTSMOUTH WITH A WRITTEN NARRATIVE OUTLINING THE CONSTRUCTION MEANS AND METHODS TO BE USED. THE NARRATIVE SHALL INCLUDE A PRELIMINARY SCHEDULE OF KEY MILESTONES. IT SHALL INCLUDE COORDINATION AND TIMING OF WORK WITH THE PUBLIC UTILITIES. SCHEDULE SHALL BE UPDATED AND SUBMITTED TO THE ENGINEER ON A WEEKLY BASIS.
- SEE PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL CONDUCT EXPLORATORY EXCAVATIONS WITH THE ENGINEER PRIOR TO STARTING OVERALL CONSTRUCTION ACTIVITIES TO IDENTIFY POSSIBLE CONFLICTS. THE ENGINEER HAS IDENTIFIED TWO POSSIBLE AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ADDITIONAL LOCATIONS FOR CONFLICTS. PAYMENT FOR EXPLORATORY EXCAVATIONS SHALL BE CONSIDERED SUBSIDIARY.
- TEMPORARY MATERIAL STOCKPILE AREAS SHALL BE LIMITED TO THE CHESTNUT STREET PORTION OF THE PROJECT.
- INSTALL AND MAINTAIN TEMPORARY EROSION MEASURES PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL MAINTAIN DEVICES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH THE EROSION CONTROL NOTES AND DETAILS PROVIDED HEREIN.
- INSTALL TEMPORARY AND TEST TEMPOARY WATER TO ALL PROPERTIES AFFECTED BY THE CONSTRUCTION PRIOR TO TERMINATING EXISITNG WATER MAIN.

DRAINAGE NOTES

- IN GENERAL ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE SET IN THE LOCATIONS DEPICTED ON THE PLANS. IT IS THE INTENT OF THE DESIGN THAT THE CATCH BASINS SHALL BE SET PARALLEL TO AND AT THE CURBLINE. CATCH BASIN FRAMES AND GRATES SHALL BE ADJUSTED WHERE POSSIBLE TO MINIMIZE THE CUTTING OF BRICK AND CONCRETE PAVERS.
- ALL FRAMES AND GRATES IN PAVED SURFACES SHALL BE SET AT BINDER COURSE GRADE. STRUCTURES IN PAVERS SHALL BE SET 1/8-INCH TO 1/4-INCH BELOW FINISH GRADE.
- ALL MANHOLES, CATCH BASINS AND OTHER CONCRETE STRUCTURES SHALL BE SUPPLIED WITH A MINIMUM OF 6-INCHES OF PERIPHERY MONOLITHIC SOLID WALL CONCRETE BETWEEN PENETRATIONS AND JOINTS.
- ALL DRAINAGE STRUCTURES SHALL BE CLEANED PRIOR TO ACCEPTANCE. CONTRACTOR SHALL SUBMIT CERTIFIED DOCUMENTATION TO THE ENGINEER.
- ALL DRAINAGE PIPE SHALL BE SMOOTH WALL HDPE.
- ALL ROOF DRAINS, GUTTERS AND OTHER STORM DRAINAGE SHALL BE CONNECTED INTO THE NEW STORM DRAINAGE SYSTEM.

WATER DISTRIBUTION NOTES:

- THE CONTRACTOR SHALL SUBMIT A DETAILED PLAN FOR SUPPLYING TEMPORARY WATER TO THE IMPACTED CUSTOMERS A MINIMUM OF 14-DAYS PRIOR TO EXECUTING SAID PLAN.
- CONTRACTOR SHALL PROVIDE IMPACTED CUSTOMERS WITH A SCHEDULE 14-DAYS IN ADVANCE OF ANY PLANNED INTERRUPTIONS.
- ALL WATER MAIN INSTALLATION AND SERVICE CONNECTIONS SHALL CONFORM TO PORTSMOUTH WATER DEPARTMENT STANDARDS. WATER MAIN SHALL BE WRAPPED IN A WATERTIGHT POLYETHYLENE WRAPPING. ALL JOINTS SHALL HAVE THREE BRASS WEDGES PER JOINT.
- ALL GATE VALVES, TEES, AND BENDS SHALL HAVE RESTRAINED MECHANICAL JOINTS AND THRUST BLOCK RESTRAINTS, SUBSIDIARY TO WATER MAIN CONSTRUCTION.
- MAINTAIN A MINIMUM OF 10-FOOT HORIZONTAL DISTANCE (WHERE POSSIBLE) AND 18-INCHES VERTICAL DISTANCE BETWEEN WATER MAIN AND SEWER PIPING UNLESS SPECIFIED ON THE PLANS.
- ALL WATER SERVICE AND FIRE SUPPRESSION CONNECTIONS SHALL MATCH THE EXISTING SIZES UNLESS NOTED OTHERWISE ON THE PLANS. IT ASSUMED FOR THE BASIS OF THE BID DRAWINGS THAT THE MINIMUM SIZE SHALL BE 1-INCH DIAMETER.

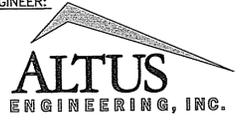
SANITARY SEWER NOTES:

- THE SEWER CONSTRUCTION SHALL PROCEED FROM THE LOWEST POINT UPWARD UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- SEWER CONNECTIONS TO SUMP PUMPS, PERIMETER DRAINS OR ROOF DRAINAGE SHALL BE PROHIBITED.
- THE CONTRACTOR SHALL PHASE THE SEWER INSTALLATIONS SO AS TO MINIMIZE DISRUPTIONS TO THE BUSINESSES AND RESIDENTIAL PROPERTIES. BYPASS PUMPING OR OTHER APPROVED METHODS SHALL BE USED AS NECESSARY TO MAINTAIN ACTIVE SEWER AND SHALL BE CONSIDERED SUBSIDIARY TO THE WORK. INTERRUPTIONS TO SEWER LATERALS SHALL NOT CAUSE INTERNAL BACKUPS TO BUILDING PLUMBING.
- ALL SEWER SERVICE LATERALS SHALL BE A MINIMUM OF 6-INCH DIAMETER. LATERALS SHALL BE CONSTRUCTED WITH A MINIMUM OF 0.02 FT/FT SLOPE. CONTRACTOR SHALL BE RESPONSIBLE FOR FITTINGS TO CONNECT TO EXISTING SERVICES. CONNECTIONS SHALL BE CONSIDERED SUBSIDIARY TO THE WORK.

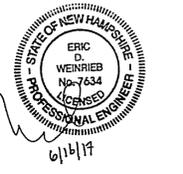
LEGEND

□	WOOD FENCE POST
110-5	TAX SHEET - LOT NUMBER
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
EOP	EDGE OF PAVEMENT
VGC	VERTICAL FACED GRANITE CURB
RWB	MODULAR BLOCK RETAINING WALL
RWB	BRICK RETAINING WALL
RWG	GRANITE RETAINING WALL
Ⓚ	PARK METER KIOSK
Ⓚ	BOLLARD
—	SIGN
Ⓚ	ACCESSIBLE SPACE
Ⓚ	UTILITY POLE
Ⓚ	UTILITY POLE W/TRANSFORMER
☆	LIGHT POLE
Ⓚ	UTILITY POLE WITH ARM & LIGHT
—	GUY
Ⓚ	ELECTRICAL MANHOLE
Ⓚ	ELECTRICAL CONDUIT
Ⓚ	ELECTRIC METER
Ⓚ	FIRE ALARM
Ⓚ	HVAC UNIT
Ⓚ	GAS METER
Ⓚ	GAS SHUT OFF
Ⓚ	GAS VALVE
Ⓚ	WATER GATE VALVE
Ⓚ	WATER SHUT OFF VALVE
Ⓚ	HYDRANT
Ⓚ	FIRE CONNECTION
Ⓚ	CATCH BASIN
Ⓚ	CATCH BASIN
Ⓚ	DRAIN MANHOLE
Ⓚ	ROOF DOWNSPOUT
Ⓚ	SEWER MANHOLE
Ⓚ	DECIDUOUS TREE
Ⓚ	CONIFEROUS SHRUB
Ⓚ	DECIDUOUS SHRUB
— W —	WATER LINE
— S —	SEWER LINE
— D —	DRAIN LINE
— G —	GAS LINE
— UGE —	UNDERGROUND ELECTRIC
— UGU —	UNDERGROUND UTILITIES
▒	CEMENT CONCRETE
▒	BRICK PAVERS
▒	GRANITE COBBLES
▒	RETAINING WALL
LA	LANDSCAPED AREA
ROW	RIGHT OF WAY
x12.5	SPOT GRADE
Ⓚ	PROP. DRAIN STRUCTURE
— PE —	PROP. DRAIN LINE
— PG —	PROPOSED UNDERGROUND ELECTRICAL, TELECOMMUNICATIONS
Ⓚ	PROPOSED GAS
— PS —	PROP. SEWER MANHOLE
Ⓚ	PROP. SEWER LINE
Ⓚ	PROP. WATER STRUCTURE
— PW —	PROP. WATERLINE
— VGC —	PROP. EDGE OF PAVEMENT/VGC
— 100 —	PROP. VERTICAL GRANITE CURB
75.5 X	EXISTING CONTOUR
14	PROP. SPOT GRADE
—	PROPOSED CONTOUR
—	PROP. SIGN
---	SAWCUT LINE/MATCH EXISTING
---	PROPOSED LIMIT OF DISTURBANCE
— W —	EXISTING WATER/CURB STOP/VALVE/HYDRANT
— S —	EXISTING SEWER/MANHOLE
— G —	EXISTING GAS/VALVE
— OHE —	EXIST. OVER/UNDERGROUND UTILITIES/POLE
— (MH) — (SC) — (PB) — (C)	ELEC MANHOLE/SECTOR CABINET/PULL BOX/TRANSFORMER
— D —	EXISTING DRAINAGE/CB/DMH
— PW —	PROPOSED THRUST BLOCK/WATER/CURB STOP/VALVE/HYDRANT
— PS —	PROPOSED SEWER/MANHOLE/CLEANOUT
—	PROPOSED DRAINAGE STRUCTURES (HARD PIPE)/CB/DCB/DMH/FES

ENGINEER:



133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR: BIDDING

ISSUE DATE: JUNE 16, 2017

REVISIONS:

NO.	DESCRIPTION	BY	DATE
0	DISCUSSION	EDW	03/21/17
1	ISSUED FOR BIDDING	EDW	06/16/17

DRAWN BY: RLH

APPROVED BY: EDW

DRAWING FILE: 4087DS-ALT.DWG

SCALE: N.T.S.

OWNER:



CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:

CONGRESS & CHESTNUT STREET STREETScape & UTILITIES PROJECT

CONGRESS STREET TO PORTER STREET

TITLE:

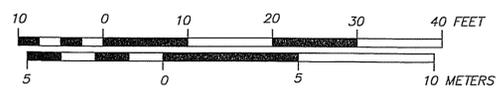
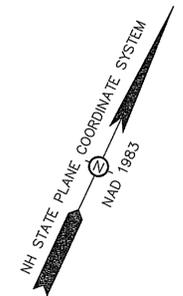
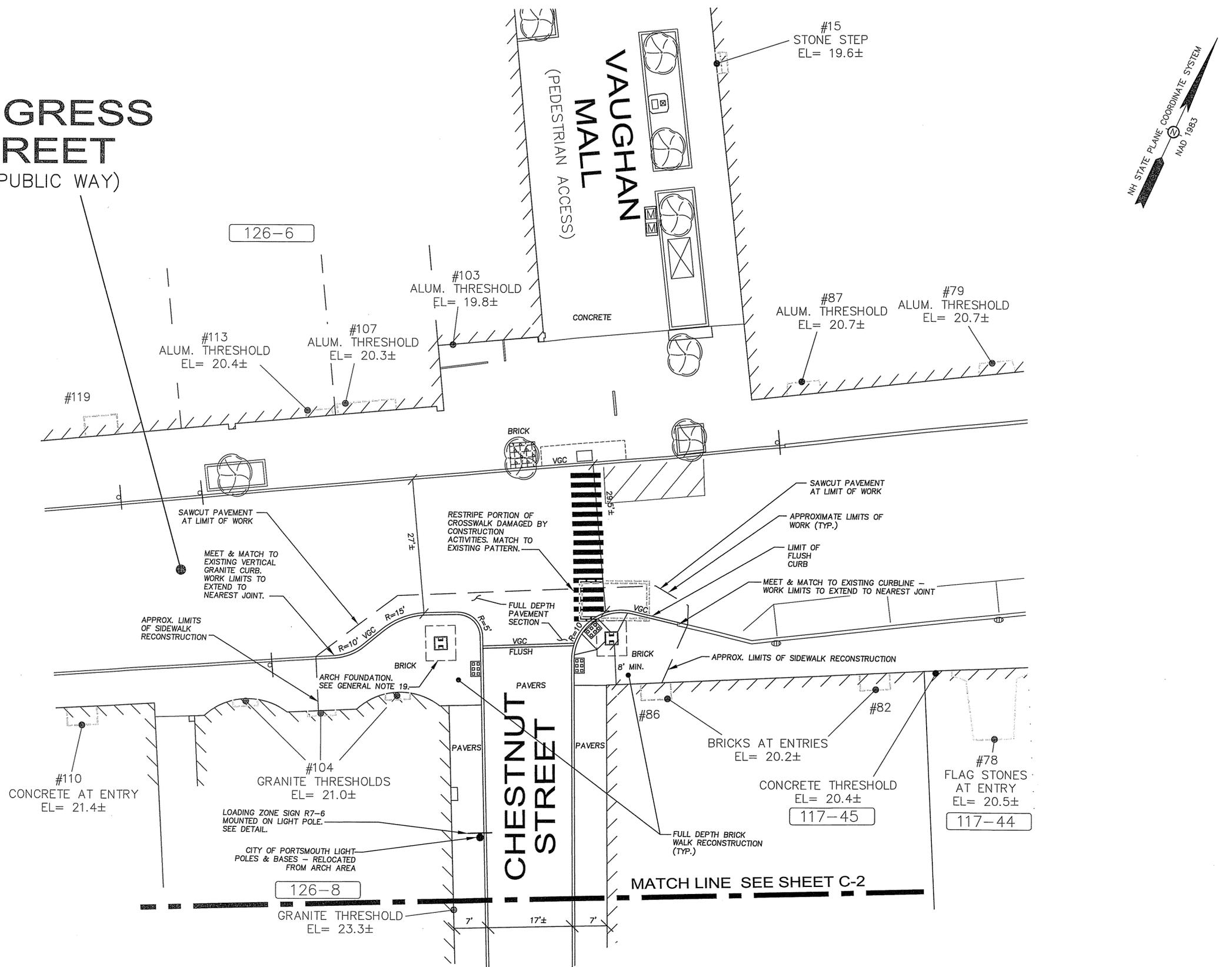
GENERAL NOTES & LEGEND

SHEET NUMBER:

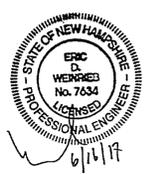
GN-1

P-4087

CONGRESS STREET (A PUBLIC WAY)



ENGINEER:
ALTUS
 ENGINEERING, INC.
 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR: BIDDING

ISSUE DATE: JUNE 16, 2017

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	ENGINEERING DESIGN	EDW	03/21/17	
1	ELIMINATE WORK IN CONGRESS STREET	EDW	06/07/17	
2	ISSUED FOR BIDDING	EDW	06/16/17	

DRAWN BY: RLH
 APPROVED BY: EDW
 DRAWING FILE: 4087-ADD.ALT.DWG

SCALE:
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 12" x 18" - 1" = 20'

OWNER/APPLICANT:

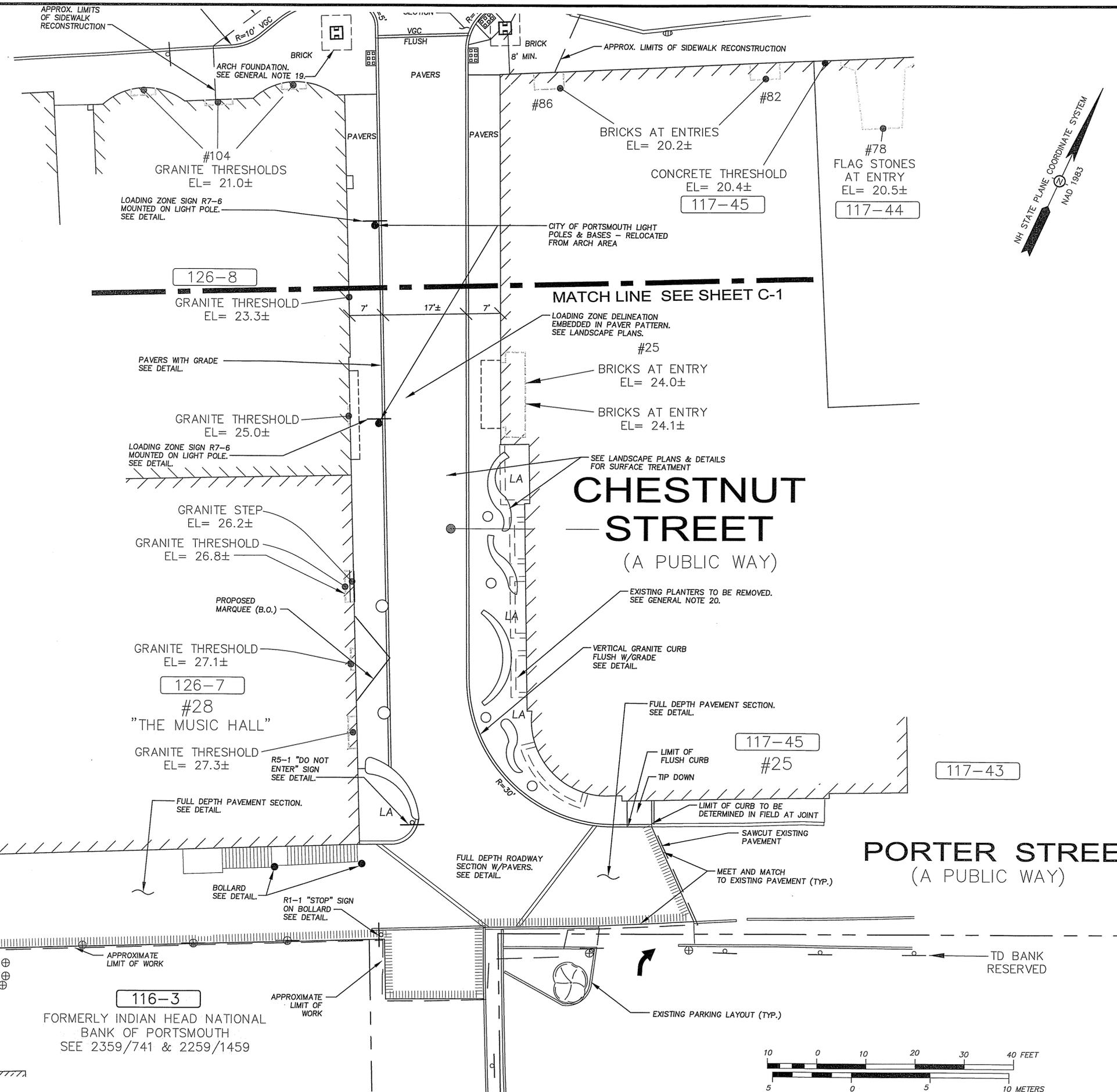
 CITY OF PORTSMOUTH
 1 JUNKINS AVENUE
 PORTSMOUTH, N.H. 03801

PROJECT:
**CHESTNUT STREET
 STREETScape
 PROJECT**
 CONGRESS STREET
 TO
 PORTER STREET

TITLE:
**SITE
 PLAN
 A**

SHEET NUMBER:
C-1

P4087



ENGINEER:
ALTUS
 ENGINEERING, INC.
 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR: BIDDING
 ISSUE DATE: JUNE 16, 2017

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0	DISCUSSION	EDW	03/21/17
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2	ISSUED FOR BIDDING	EDW	06/16/17

DRAWN BY: RLH
 APPROVED BY: EDW
 DRAWING FILE: 4087.DWG

SCALE:
 24" x 36" - 1" = 10'
 12" x 18" - 1" = 20'

OWNER:

 CITY OF PORTSMOUTH
 1 JUNKINS AVENUE
 PORTSMOUTH, N.H. 03801

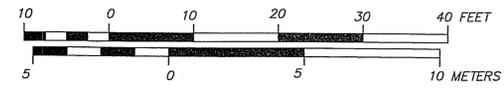
PROJECT:
 CHESTNUT STREET
 STREETSCAPE
 PROJECT
 CONGRESS STREET
 TO
 PORTER STREET

TITLE:
**SITE
 PLAN
 B**

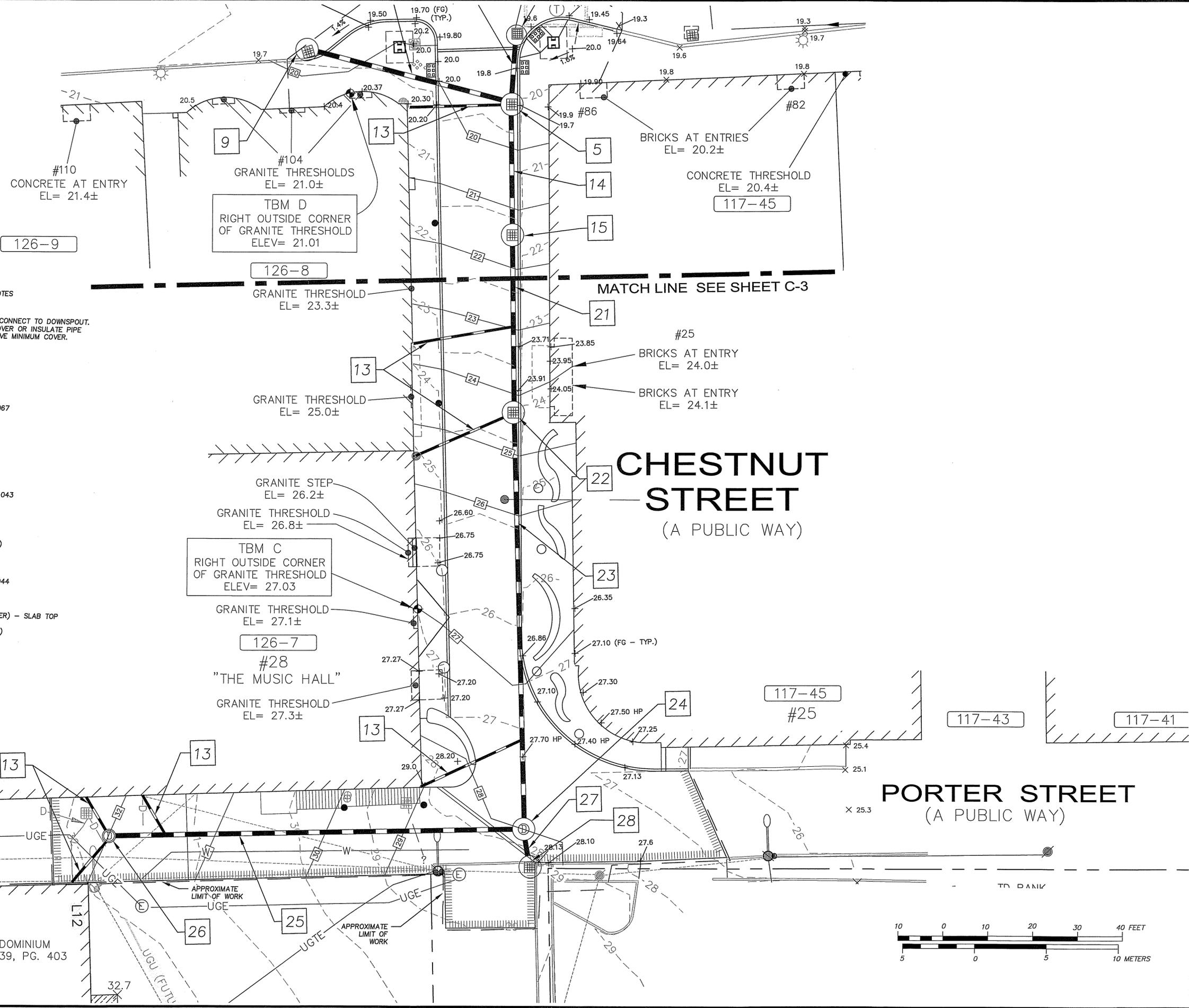
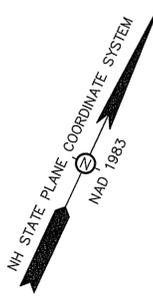
SHEET NUMBER:
C-2

116-3
 #401
 ROCKINGHAM HOUSE CONDOMINIUM
 DECLARATION: RCRD BK. 2239, PG. 403

116-3
 FORMERLY INDIAN HEAD NATIONAL
 BANK OF PORTSMOUTH
 SEE 2359/741 & 2259/1459



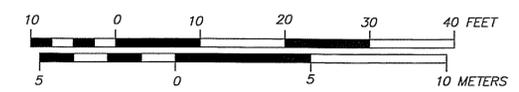
P-4087



DRAINAGE KEY
SEE C-3 FOR ADDITIONAL NOTES

- 13 6" HDPE, S=0.005 MIN., CONNECT TO DOWNSPOUT. PROVIDE MIN. 3-FOOT COVER OR INSULATE PIPE WHERE UNABLE TO ACHIEVE MINIMUM COVER.
- 20 CB P7
RIM = 19.70
INVS. IN = 15.50
INV. OUT = 15.45
- 21 35 LF x 12" HDPE, S=0.067
- 22 CB P4
RIM = 24.26
INVS. IN = 20.26
INV. OUT = 20.21
- 23 88 LF x 12" HDPE, S=0.043
- 24 DMH P5
RIM = 28.0
INV. IN = 24.10 (DMH P7)
INV. IN = 24.10 (CB P10)
INV. OUT = 24.00
- 25 88 LF x 12" HDPE, S=0.044
- 26 DMH P7 (2-FOOT DIAMETER) - SLAB TOP
RIM = 32.00
INV. IN = 28.10 (2 REQ'D)
INV. OUT = 28.00
- 27 4 LF x 12" HDPE, S=0.01
- 28 CB P6
RIM = 28.1
INV. OUT = 24.14

116-3
#401
ROCKINGHAM HOUSE CONDOMINIUM
DECLARATION: RCRD BK. 2239, PG. 403



ENGINEER:
ALTUS
ENGINEERING, INC.
133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR: BIDDING
ISSUE DATE: JUNE 16, 2017

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DRAWN BY: RLH
APPROVED BY: EDW
DRAWING FILE: 4087-ADD ALT.DWG

SCALE:
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12" x 18" - 1" = 20'

OWNER:

CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:
CONGRESS & CHESTNUT STREET
STREETScape & UTILITIES
PROJECT
CONGRESS STREET
TO
PORTER STREET

TITLE:
**GRADING
PLAN
B**

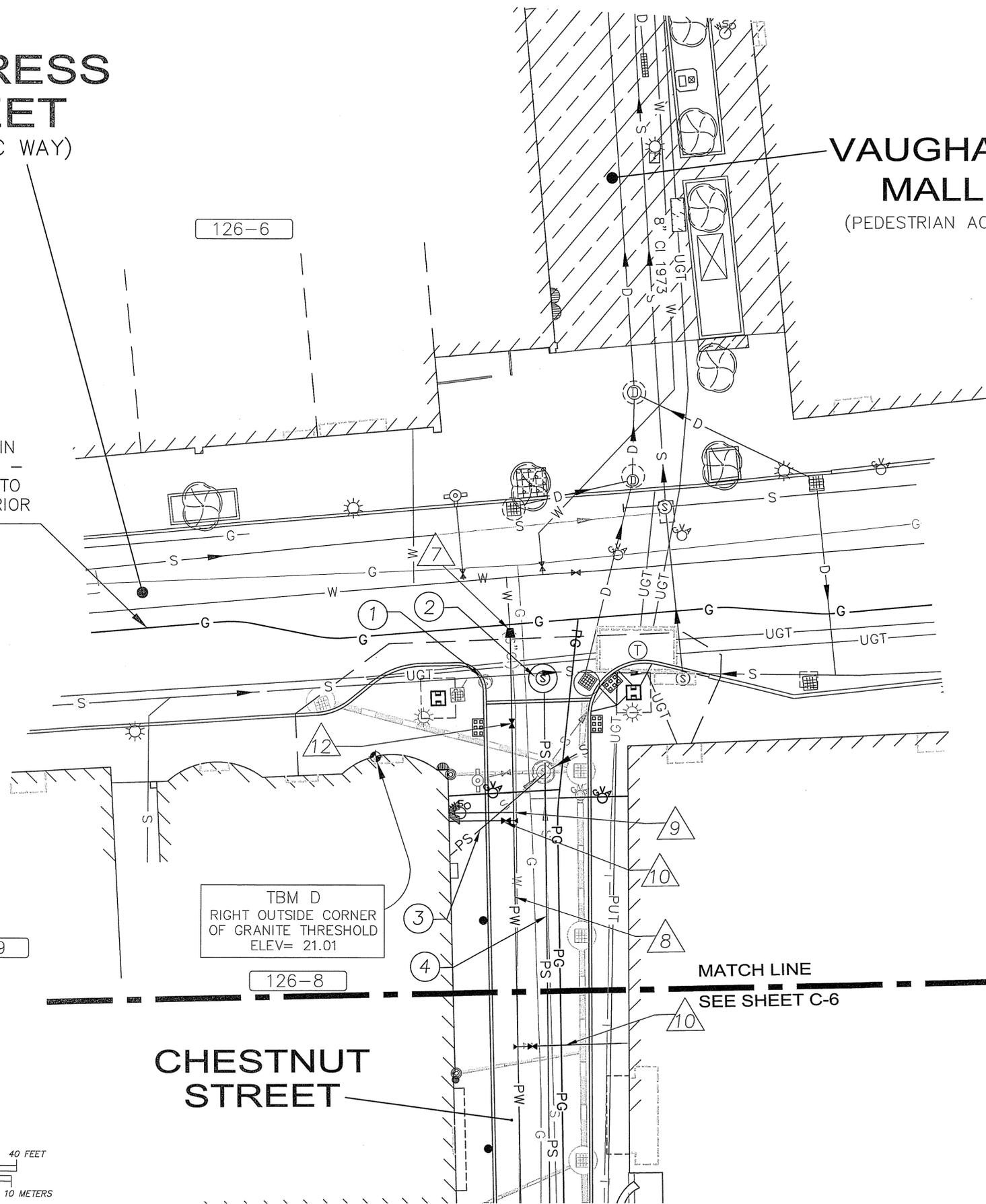
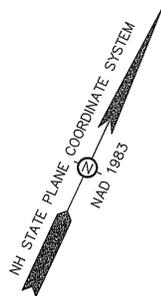
SHEET NUMBER:
C-4

P4087

CONGRESS STREET (A PUBLIC WAY)

VAUGHAN MALL (PEDESTRIAN ACCESS)

PROPOSED NATURAL GAS MAIN
INSTALLED AS OF JUNE 2017 –
AS BUILTS TO BE PROVIDED TO
ENGINEER & CONTRACTOR PRIOR
TO CONSTRUCTION. (NIC)



WATER KEY SEE SHEET C-6 FOR ADDITIONAL NOTES

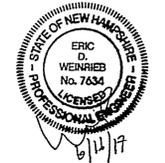
- 1 NOT USED
- 2 NOT USED
- 3 NOT USED
- 4 NOT USED
- 5 NOT USED
- 6 NOT USED
- 7 FURNISH AND INSTALL 6" x 8" REDUCER TO TRANSITION FROM EXISTING PIPE TO NEW 8" D.I. PIPE
- 8 FURNISH AND INSTALL 8" DI WATER MAIN
- 9 FURNISH AND INSTALL WATER SERVICE LATERAL FOR EXISTING BUSINESSES. MATCH TO EXISTING SIZES UNLESS OTHERWISE INDICATED. APPROXIMATE LOCATIONS AS SHOWN ON PLANS.
- 10 FURNISH AND INSTALL FIRE SUPPRESSION SERVICE LATERAL, TEE & GATE VALVE FOR EXISTING BUSINESSES. MATCH TO EXISTING SIZES UNLESS OTHERWISE INDICATED ON THE PLANS. APPROXIMATE LOCATIONS DEPICTED ON THE PLANS
- 11 FURNISH AND INSTALL 2" CURB STOP
- 12 FURNISH AND INSTALL 8" GATE VALVE

SEWER KEY

- 1 SMH 2 STRUCTURE TO BE REMOVED
CONNECT INLET AND OUT WITH 6" PVC SDR 21
MATCH TO EXISTING FLOWLINE
- 2 SMH P1
RIM 19.70
INV. IN = 14.30 (SMH P7)
INV. IN = 14.25± (FROM FORMER SMH 2 – MATCH TO EXIST.)
INV. OUT = 14.25± (MATCH TO EXISTING)
- 3 INSTALL SERVICE WYE CONNECTION
- 4 168 LF x 8" PVC, SDR 21, S=0.041
- 5 THRU 8 NOT USED

ENGINEER:

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(603) 433-2335 www.ALTUS-ENG.com



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2	ISSUED FOR BIDDING	EDW	06/16/17	

DRAWN BY: RLH
APPROVED BY: EDW
DRAWING FILE: 4087-ADD.ALT.DWG

SCALE:
22" x 34" - 1" = 10'
11" x 17" - 1" = 20'

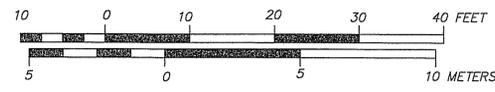
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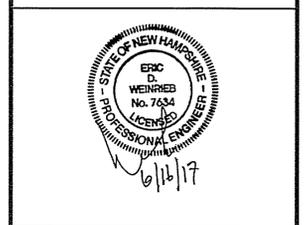
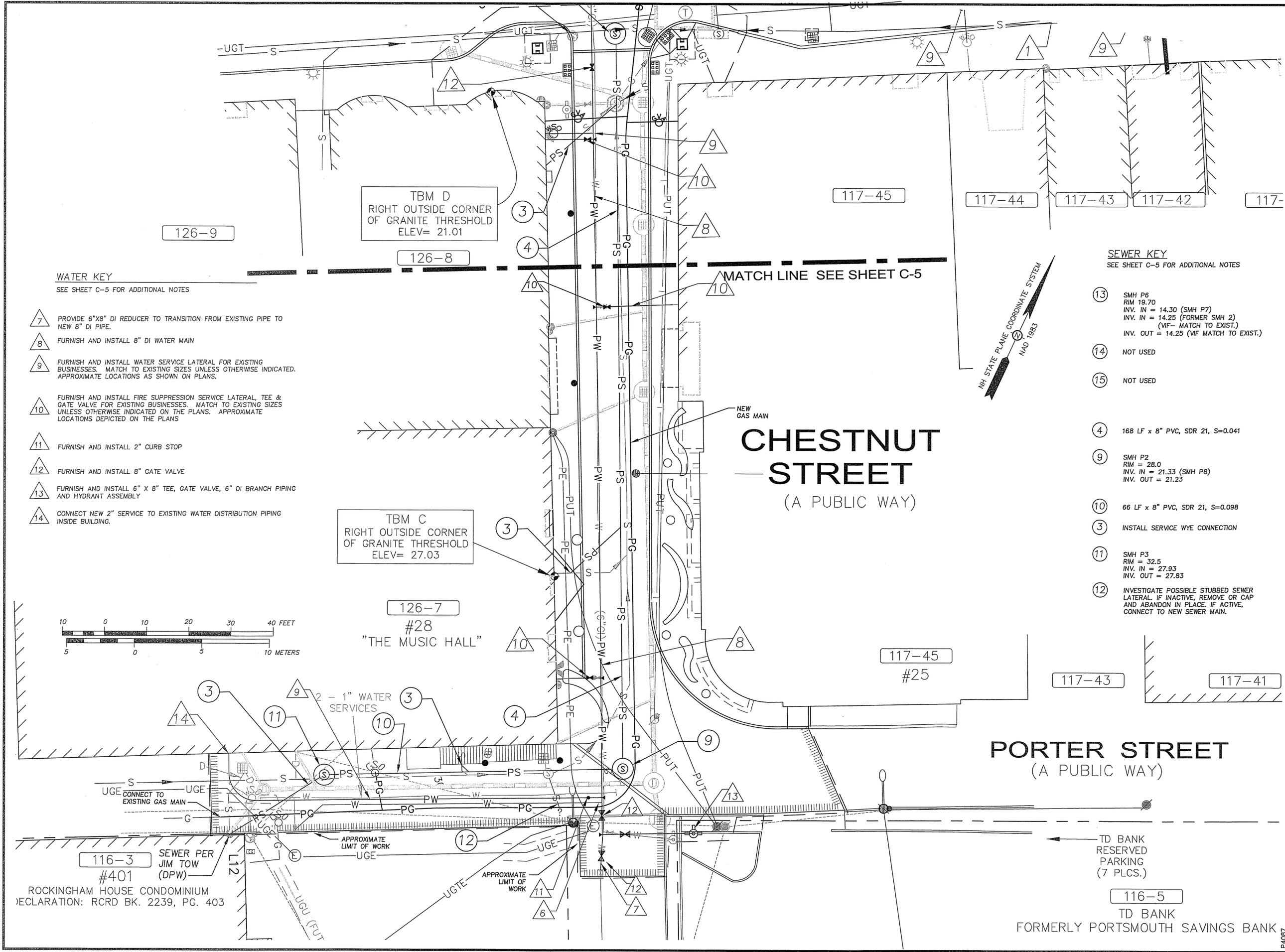
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:
CONGRESS & CHESTNUT STREET STREETScape & UTILITIES PROJECT
CONGRESS STREET TO PORTER STREET

TITLE:
UTILITIES PLAN A

SHEET NUMBER:
C-5





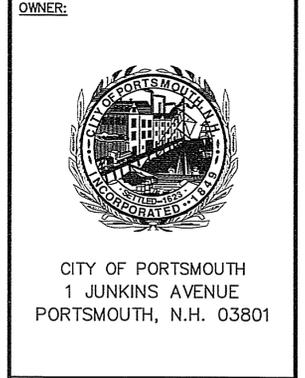
ISSUED FOR: BIDDING
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SCALE:
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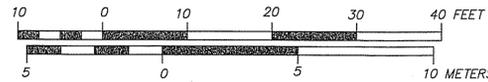
PROJECT:
CONGRESS & CHESTNUT STREET STREETScape & UTILITIES PROJECT
 CONGRESS STREET TO PORTER STREET

TITLE:
UTILITIES PLAN B

SHEET NUMBER:
C-6

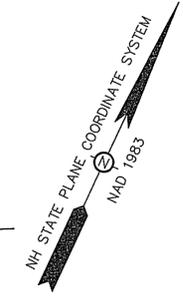
WATER KEY
 SEE SHEET C-5 FOR ADDITIONAL NOTES

- 7 PROVIDE 6"x8" DI REDUCER TO TRANSITION FROM EXISTING PIPE TO NEW 8" DI PIPE.
- 8 FURNISH AND INSTALL 8" DI WATER MAIN
- 9 FURNISH AND INSTALL WATER SERVICE LATERAL FOR EXISTING BUSINESSES. MATCH TO EXISTING SIZES UNLESS OTHERWISE INDICATED. APPROXIMATE LOCATIONS AS SHOWN ON PLANS.
- 10 FURNISH AND INSTALL FIRE SUPPRESSION SERVICE LATERAL, TEE & GATE VALVE FOR EXISTING BUSINESSES. MATCH TO EXISTING SIZES UNLESS OTHERWISE INDICATED ON THE PLANS. APPROXIMATE LOCATIONS DEPICTED ON THE PLANS
- 11 FURNISH AND INSTALL 2" CURB STOP
- 12 FURNISH AND INSTALL 8" GATE VALVE
- 13 FURNISH AND INSTALL 6" X 8" TEE, GATE VALVE, 6" DI BRANCH PIPING AND HYDRANT ASSEMBLY
- 14 CONNECT NEW 2" SERVICE TO EXISTING WATER DISTRIBUTION PIPING INSIDE BUILDING.



SEWER KEY
 SEE SHEET C-5 FOR ADDITIONAL NOTES

- 13 SMH P6
 RIM = 19.70
 INV. IN = 14.30 (SMH P7)
 INV. IN = 14.25 (FORMER SMH 2)
 (VIF- MATCH TO EXIST.)
 INV. OUT = 14.25 (VIF MATCH TO EXIST.)
- 14 NOT USED
- 15 NOT USED
- 4 168 LF x 8" PVC, SDR 21, S=0.041
- 9 SMH P2
 RIM = 28.0
 INV. IN = 21.33 (SMH P8)
 INV. OUT = 21.23
- 10 66 LF x 8" PVC, SDR 21, S=0.098
- 3 INSTALL SERVICE WYE CONNECTION
- 11 SMH P3
 RIM = 32.5
 INV. IN = 27.93
 INV. OUT = 27.83
- 12 INVESTIGATE POSSIBLE STUBBED SEWER LATERAL. IF INACTIVE, REMOVE OR CAP AND ABANDON IN PLACE. IF ACTIVE, CONNECT TO NEW SEWER MAIN.



CHESTNUT STREET
 (A PUBLIC WAY)

PORTER STREET
 (A PUBLIC WAY)

TD BANK
 RESERVED
 PARKING
 (7 PLCS.)

116-5
 TD BANK
 FORMERLY PORTSMOUTH SAVINGS BANK

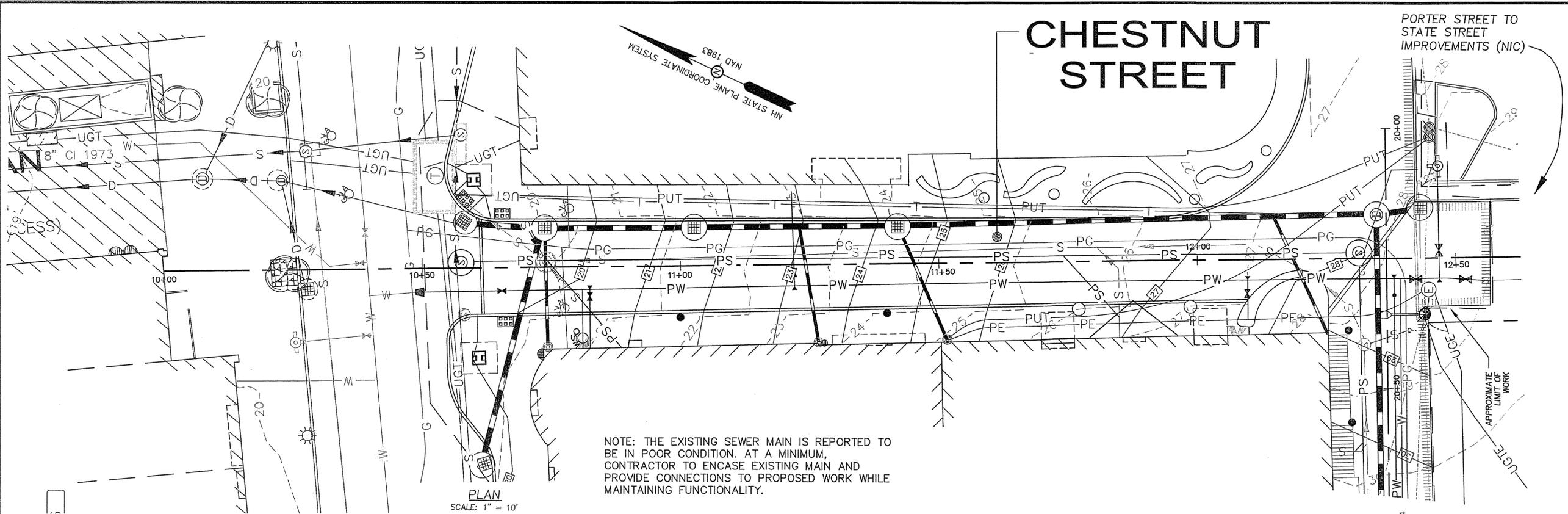
116-3
 #401
 ROCKINGHAM HOUSE CONDOMINIUM
 DECLARATION: RCRD BK. 2239, PG. 403

TBM C
 RIGHT OUTSIDE CORNER
 OF GRANITE THRESHOLD
 ELEV= 27.03

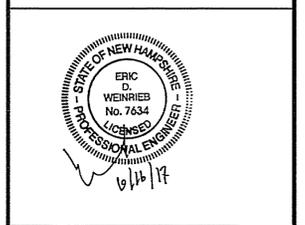
126-7
 #28
 "THE MUSIC HALL"

TBM D
 RIGHT OUTSIDE CORNER
 OF GRANITE THRESHOLD
 ELEV= 21.01

MATCH LINE SEE SHEET C-5



ENGINEER:
ALTUS ENGINEERING, INC.
 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR: BIDDING

ISSUE DATE: JUNE 16, 2017

REVISIONS

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2	ISSUED FOR BIDDING	EDW	06/16/17

DRAWN BY: RLH
 APPROVED BY: EDW
 DRAWING FILE: 4087-ADD.ALT.DWG

SCALE:
 24" x 36" - 1" = 10'
 12" x 18" - 1" = 20'

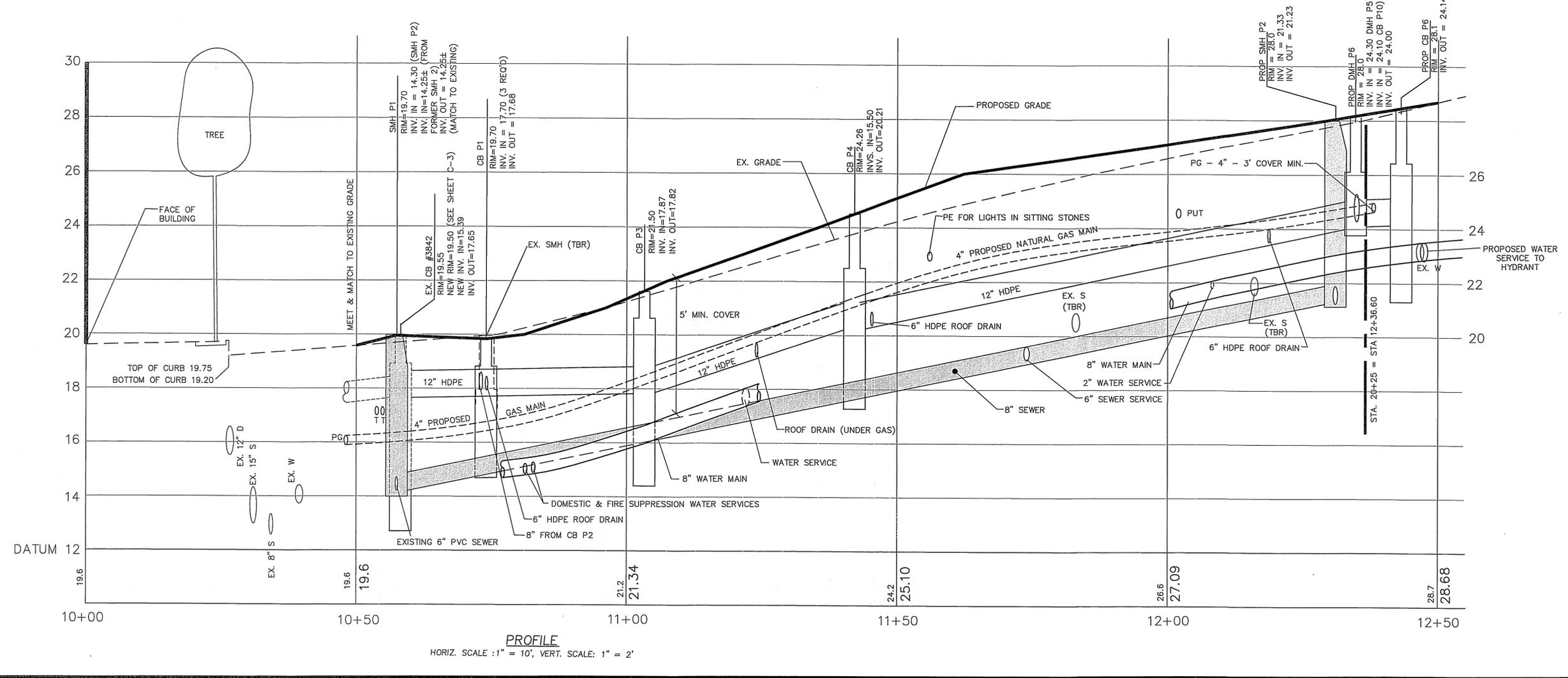
OWNER:

 CITY OF PORTSMOUTH
 1 JUNKINS AVENUE
 PORTSMOUTH, N.H. 03801

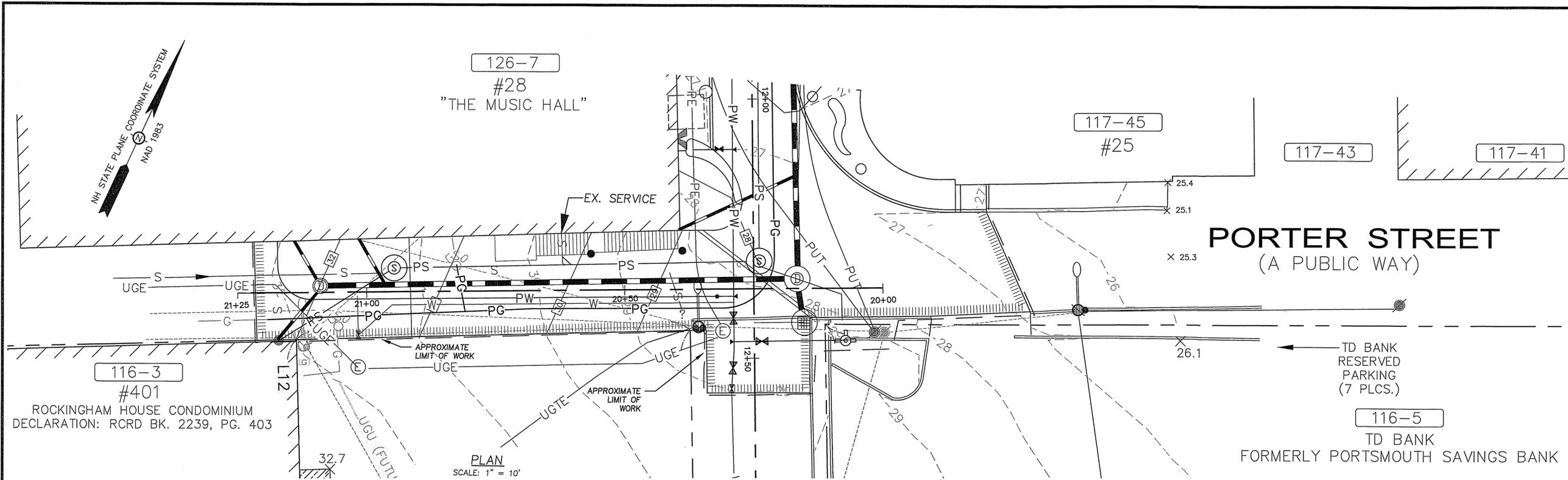
PROJECT:
CONGRESS & CHESTNUT STREET STREETScape & UTILITIES PROJECT
 CONGRESS STREET TO PORTER STREET

TITLE:
PROFILE 10+00 TO 12+50

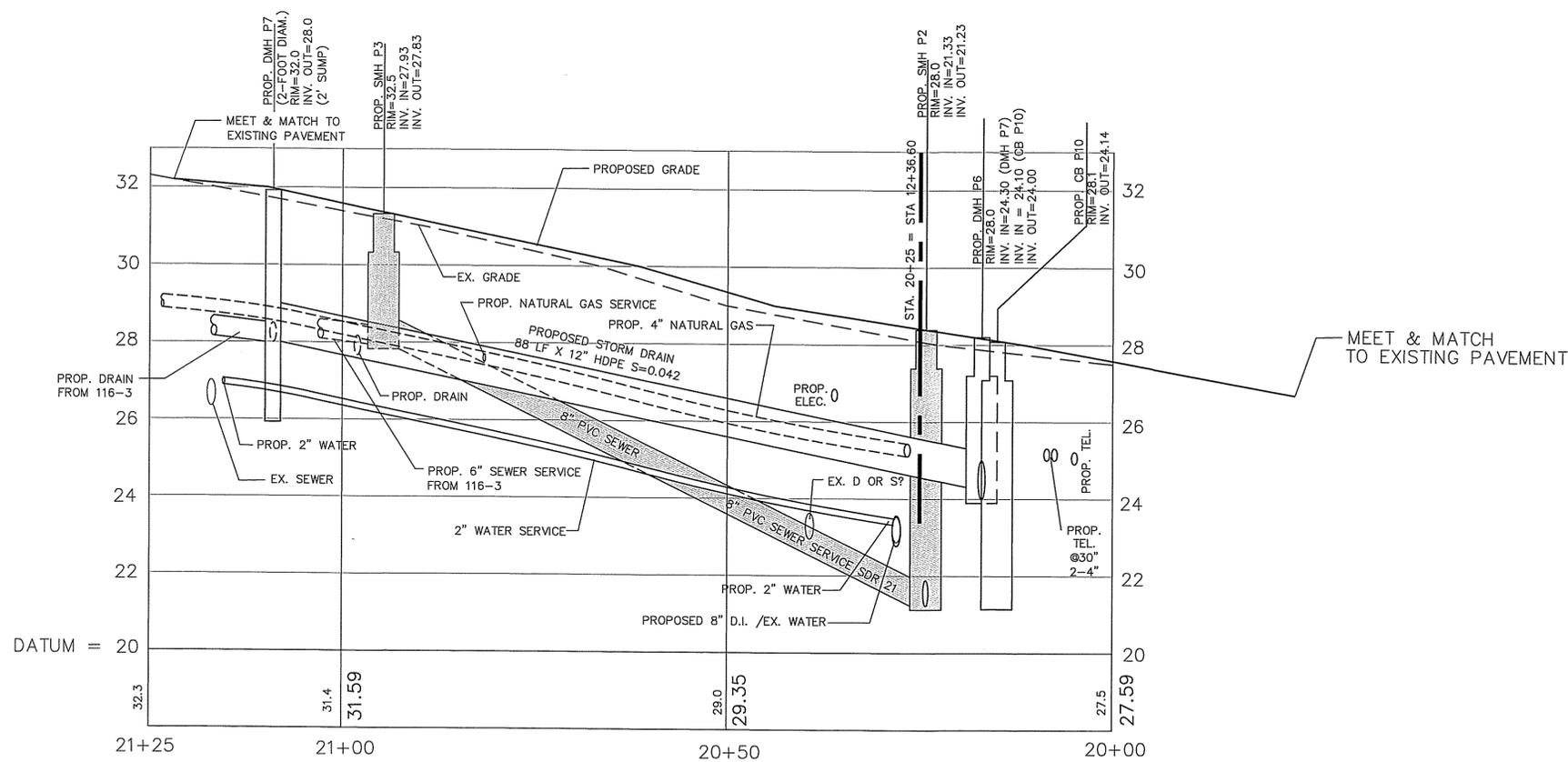
SHEET NUMBER:
C-7



P-4087



PLAN
SCALE: 1" = 10'



PROFILE
HORIZ. : 1" = 10', VERT.: 1" = 2'

ENGINEER:
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133 COURT STREET PORTSMOUTH, NH 03801
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ISSUE DATE: JUNE 16, 2017
REVISIONS:
NO. DESCRIPTION BY DATE
0 DISCUSSION EDW 03/21/17
1 ELIMINATE WORK IN CONGRESS STREET EDW 06/07/17
2 ISSUED FOR BIDDING EDW 06/16/17

DRAWN BY: RLH
APPROVED BY: EDW
DRAWING FILE: 4087-ADD ALT.DWG

SCALE:
24" x 36" - 1" = 10'
12" x 18" - 1" = 20'

OWNER:

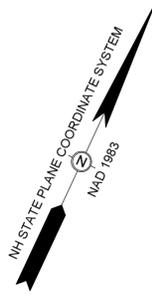
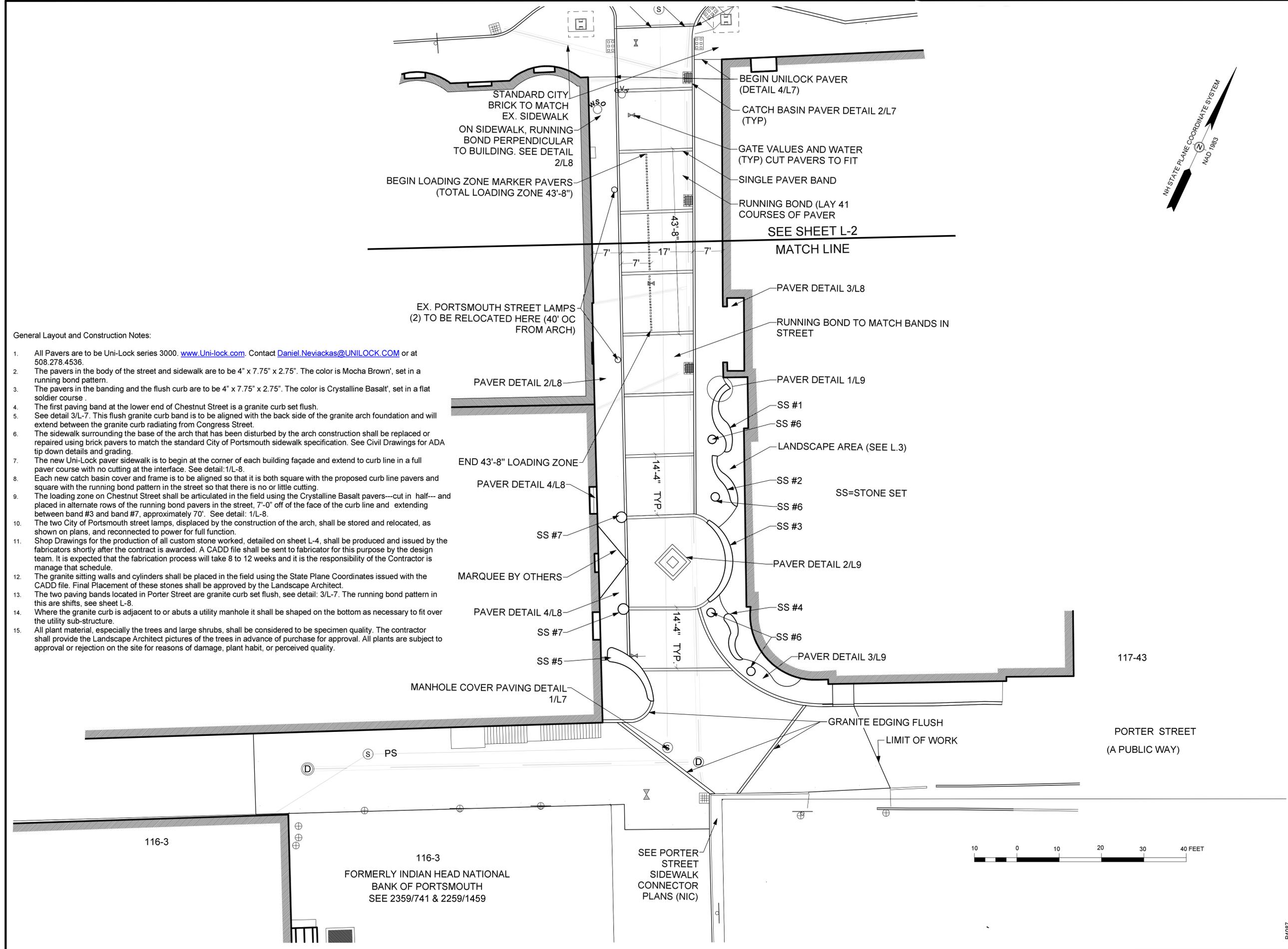
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:
CONGRESS & CHESTNUT STREET
STREETSCAPE & UTILITIES
PROJECT
CONGRESS STREET TO
PORTER STREET

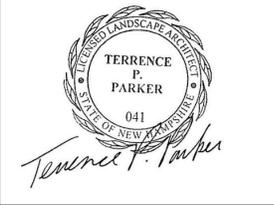
TITLE:
**PROFILE
21+25 TO
20+00**

SHEET NUMBER:
C-8

P4087



LANDSCAPE ARCHITECT:
 terra firma
 landscape architecture
 1654 COURT STREET - PORTSMOUTH, NH 03801
 TEL: 603.435.8988 | terrence@terrafirmalandscape.com



ISSUED FOR:
 ISSUE DATE: JUNE 16, 2017

REVISIONS			
NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	TC	03/21/16
1	REVISED SCOPE/UTILITY	TC	06/16/17

DRAWN BY: _____ TC
 APPROVED BY: _____ TP
 DRAWING FILE: 4087.DWG

SCALE:
 24" x 36" - 1" = 10'
 12" x 18" - 1" = 20'

OWNER/APPLICANT:

 CITY OF PORTSMOUTH
 1 JUNKINS AVENUE
 PORTSMOUTH, N.H. 03801

PROJECT:
 CHESTNUT STREET
 STREETScape
 PROJECT
 CONGRESS STREET
 TO
 PORTER STREET

TITLE:
 LAYOUT
 PLAN

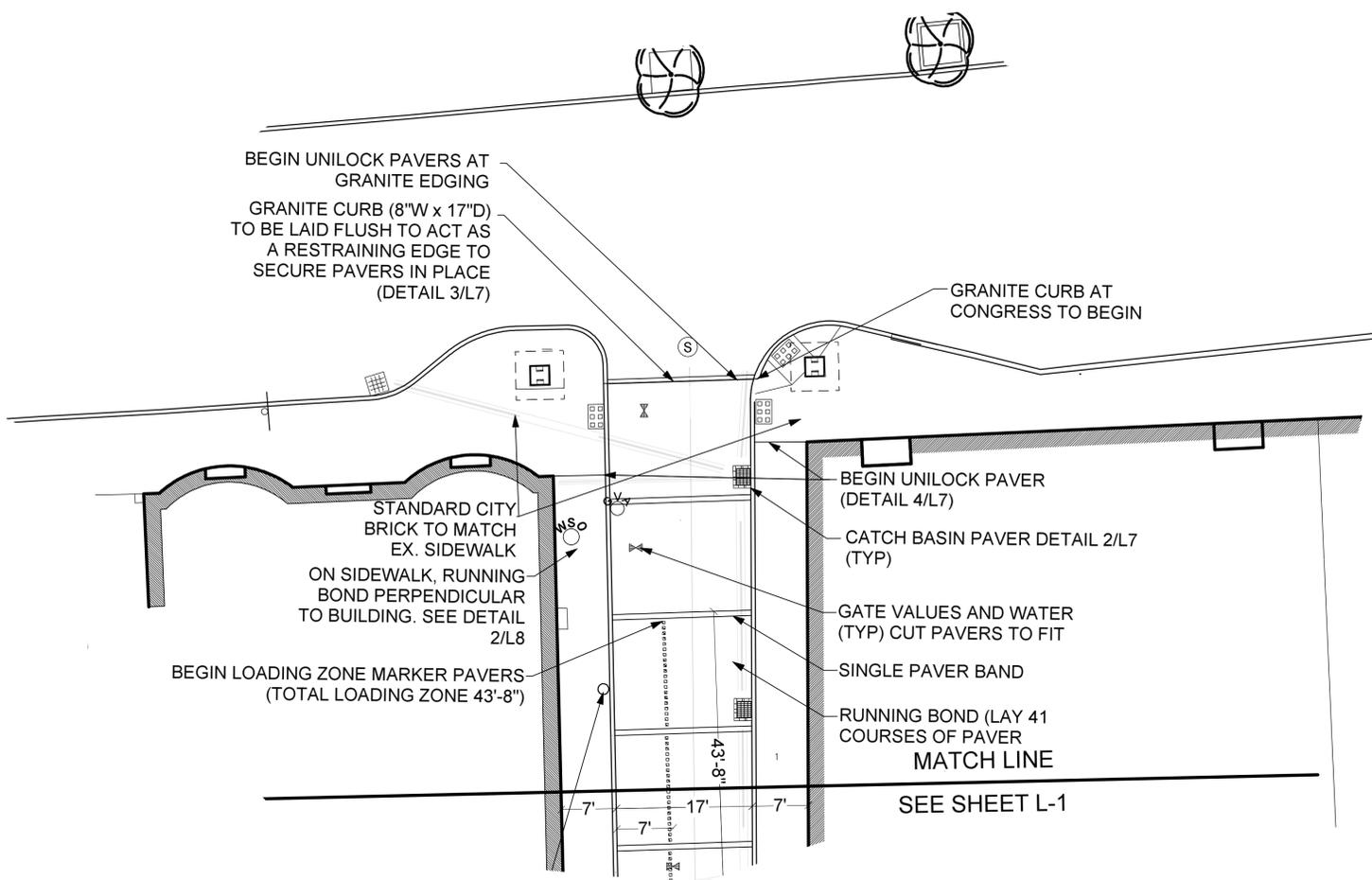
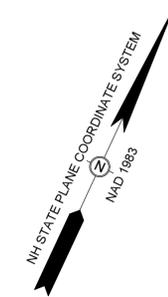
SHEET NUMBER:
 L-1

General Layout and Construction Notes:

- All Pavers are to be Uni-Lock series 3000. www.uni-lock.com. Contact Daniel.Neviackas@UNILOCK.COM or at 508.278.4536.
- The pavers in the body of the street and sidewalk are to be 4" x 7.75" x 2.75". The color is Mocha Brown', set in a running bond pattern.
- The pavers in the banding and the flush curb are to be 4" x 7.75" x 2.75". The color is Crystalline Basalt', set in a flat soldier course.
- The first paving band at the lower end of Chestnut Street is a granite curb set flush.
- See detail 3/L-7. This flush granite curb band is to be aligned with the back side of the granite arch foundation and will extend between the granite curb radiating from Congress Street.
- The sidewalk surrounding the base of the arch that has been disturbed by the arch construction shall be replaced or repaired using brick pavers to match the standard City of Portsmouth sidewalk specification. See Civil Drawings for ADA tip down details and grading.
- The new Uni-Lock paver sidewalk is to begin at the corner of each building façade and extend to curb line in a full paver course with no cutting at the interface. See detail: 1/L-8.
- Each new catch basin cover and frame is to be aligned so that it is both square with the proposed curb line pavers and square with the running bond pattern in the street so that there is no or little cutting.
- The loading zone on Chestnut Street shall be articulated in the field using the Crystalline Basalt pavers—cut in half— and placed in alternate rows of the running bond pavers in the street, 7'-0" off of the face of the curb line and extending between band #3 and band #7, approximately 70'. See detail: 1/L-8.
- The two City of Portsmouth street lamps, displaced by the construction of the arch, shall be stored and relocated, as shown on plans, and reconnected to power for full function.
- Shop Drawings for the production of all custom stone worked, detailed on sheet L-4, shall be produced and issued by the fabricators shortly after the contract is awarded. A CADD file shall be sent to fabricator for this purpose by the design team. It is expected that the fabrication process will take 8 to 12 weeks and it is the responsibility of the Contractor to manage that schedule.
- The granite sitting walls and cylinders shall be placed in the field using the State Plane Coordinates issued with the CADD file. Final Placement of these stones shall be approved by the Landscape Architect.
- The two paving bands located in Porter Street are granite curb set flush, see detail: 3/L-7. The running bond pattern in this area shifts, see sheet L-8.
- Where the granite curb is adjacent to or abuts a utility manhole it shall be shaped on the bottom as necessary to fit over the utility sub-structure.
- All plant material, especially the trees and large shrubs, shall be considered to be specimen quality. The contractor shall provide the Landscape Architect pictures of the trees in advance of purchase for approval. All plants are subject to approval or rejection on the site for reasons of damage, plant habit, or perceived quality.



P4087



LANDSCAPE ARCHITECT:



ISSUED FOR:

ISSUE DATE: JUNE 16, 2017

REVISIONS			
NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	TC	03/21/16
1	REVISED SCOPE/UTILITY	TC	06/16/17

DRAWN BY: _____ TC
 APPROVED BY: _____ TP
 DRAWING FILE: 4087.DWG

SCALE:
 24" x 36" - 1" = 10'
 12" x 18" - 1" = 20'

OWNER/APPLICANT:



CITY OF PORTSMOUTH
 1 JUNKINS AVENUE
 PORTSMOUTH, N.H. 03801

PROJECT:

CHESTNUT STREET
 STREETSCAPE
 PROJECT

CONGRESS STREET
 TO
 PORTER STREET

TITLE:

LANDSCAPE
 PLAN

SHEET NUMBER:

L-2

P4087



ISSUED FOR:
 ISSUED DATE: **JUNE 16, 2017**

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	TC	03/21/16
1	REVISED SCOPE/UTILITY	TC	06/16/17

DRAWN BY: **TC**
 APPROVED BY: **TP**
 DRAWING FILE: 4087.DWG

SCALE:
SCALE AS SHOWN

OWNER/APPLICANT:



CITY OF PORTSMOUTH
 1 JUNKINS AVENUE
 PORTSMOUTH, N.H. 03801

PROJECT:

**CHESTNUT STREET
 STREETSCAPE
 PROJECT**

**CONGRESS STREET
 TO
 PORTER STREET**

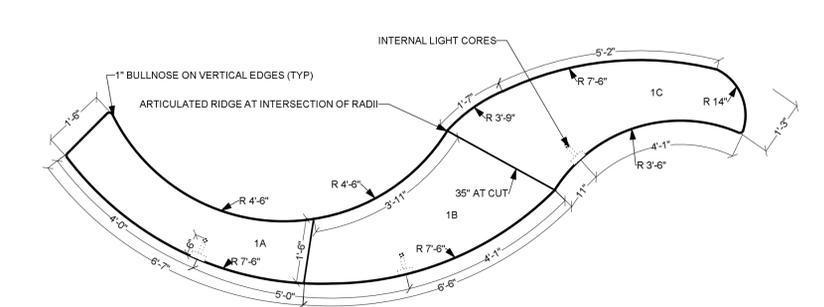
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**STONE SITTING WALL
 DETAILS**

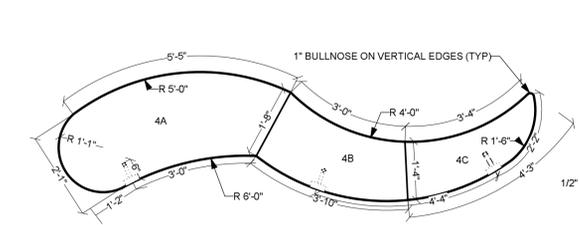
SHEET NUMBER:

L-4

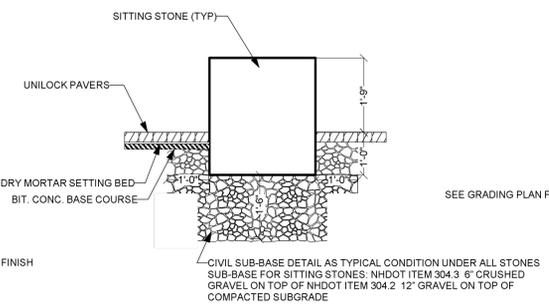
P4087



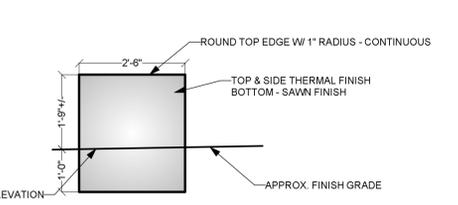
PLAN VIEW CHESTNUT STREET SITTING WALL
 STONE SET #1 SCALE: 1/2"=1'-0"



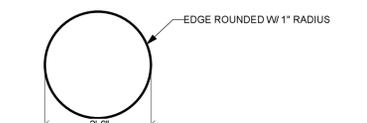
PLAN VIEW CHESTNUT STREET SITTING WALL
 STONE SET #4 SCALE: 1/2"=1'-0"



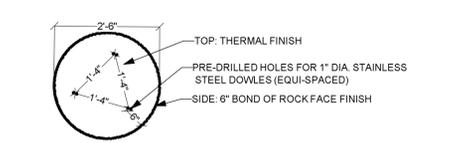
PAVER AND STONE CYLINDER DETAIL
 SCALE: 1/2"=1'-0"



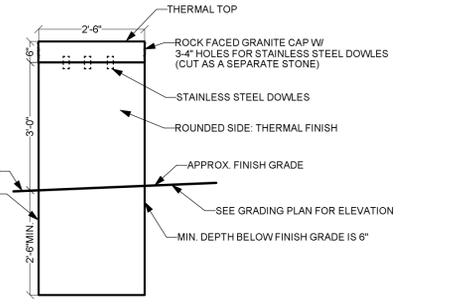
ELEVATION SHORT STONE CYLINDER
 STONE SET #6 SCALE: 1/2"=1'-0"



PLAN VIEW SHORT STONE CYLINDER
 STONE SET #6 SHORT CYLINDER (4 TOTAL)
 SCALE: 1/2"=1'-0"

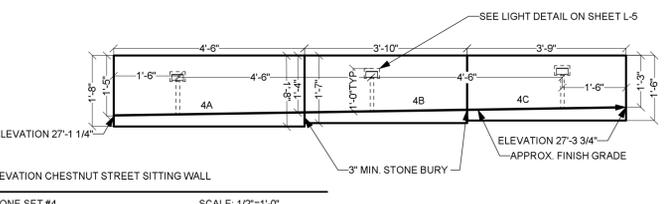


PLAN VIEW STONE CYLINDER
 STONE SET #7 TALL CYLINDER (3 TOTAL)
 SCALE: 1/2"=1'-0"

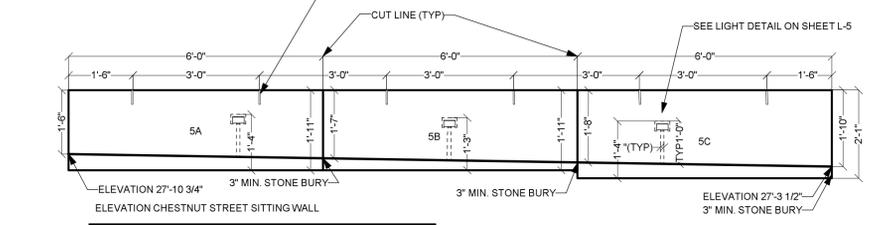


ELEVATION STONE CYLINDER
 STONE SET #7 SCALE: 1/2"=1'-0"

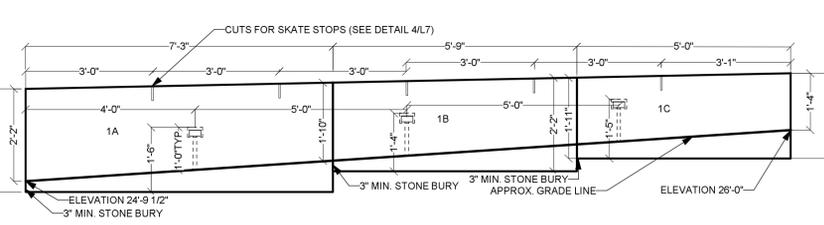
**NOTES: CUTS FOR FUTURE
 SKATEBOARD DETERRENTS TO
 BE NOT LESS THAN 4" DEEP AND
 LONG W/ A BLADE .1875" THICK**



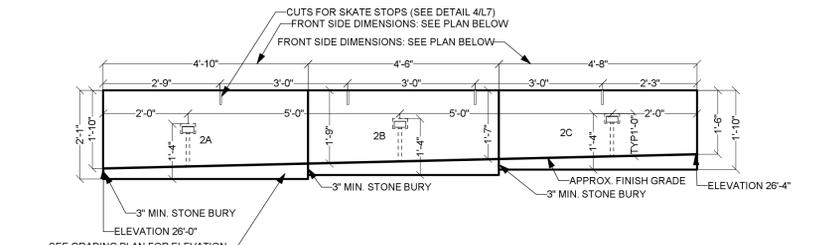
ELEVATION CHESTNUT STREET SITTING WALL
 STONE SET #4 SCALE: 1/2"=1'-0"



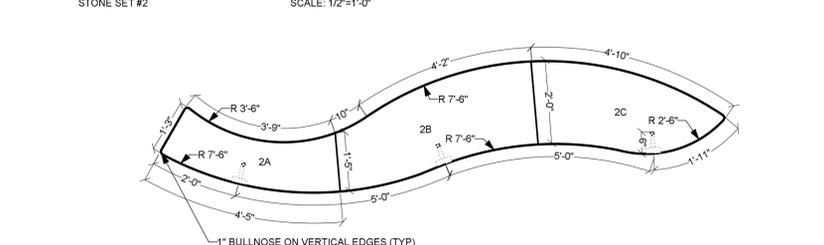
ELEVATION CHESTNUT STREET SITTING WALL
 STONE SET #5 SCALE: 1/2"=1'-0"



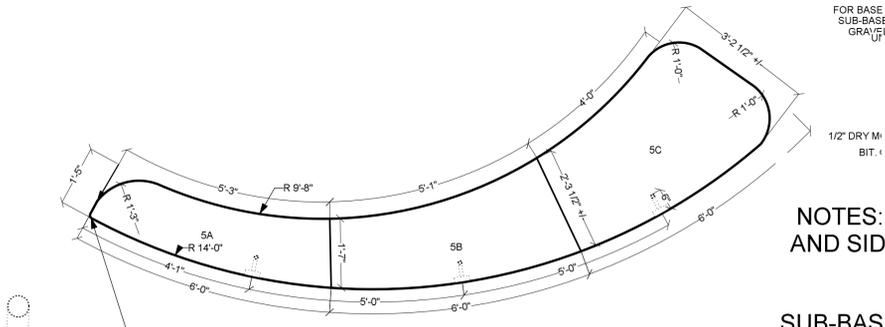
ELEVATION CHESTNUT STREET SITTING WALL
 STONE SET #1 SCALE: 1/2"=1'-0"



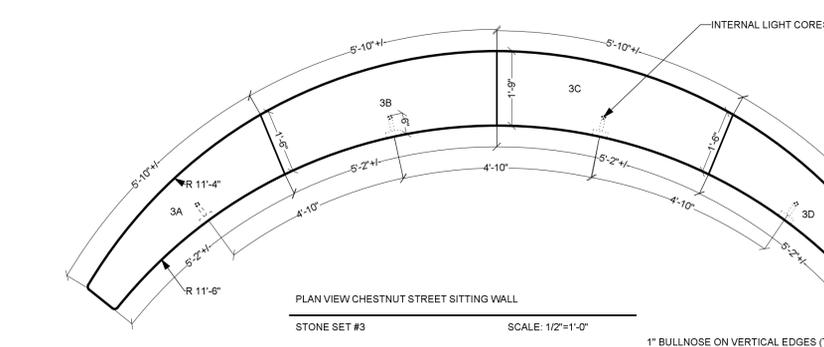
ELEVATION CHESTNUT STREET SITTING WALL
 STONE SET #2 SCALE: 1/2"=1'-0"



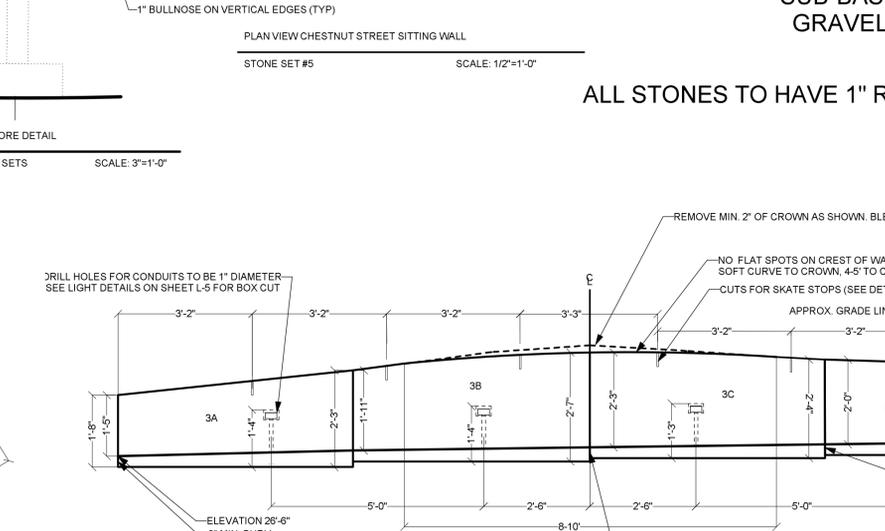
PLAN VIEW CHESTNUT STREET SITTING WALL
 STONE SET #2 SCALE: 1/2"=1'-0"



PLAN VIEW CHESTNUT STREET SITTING WALL
 STONE SET #5 SCALE: 1/2"=1'-0"



PLAN VIEW CHESTNUT STREET SITTING WALL
 STONE SET #3 SCALE: 1/2"=1'-0"



ELEVATION CHESTNUT STREET SITTING WALL
 STONE SET #3 SCALE: 1/2"=1'-0"

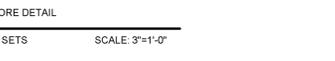
**NOTES: ALL STONES TO BE A LIGHT TO MEDIUM GRAY GRANITE. TOP
 AND SIDES THERMAL FINISHED. BOTTOM SAWN. ALL EDGES WITH A 1"
 ROUNDED RADIUS INCLUDING VERTICAL EDGES.**

**SUB-BASE FOR SITTING STONES: NHDOT ITEM 304.3 6" CRUSHED
 GRAVEL ON TOP OF NHDOT ITEM 304.2 12" GRAVEL ON TOP OF
 COMPACTED SUBGRADE**

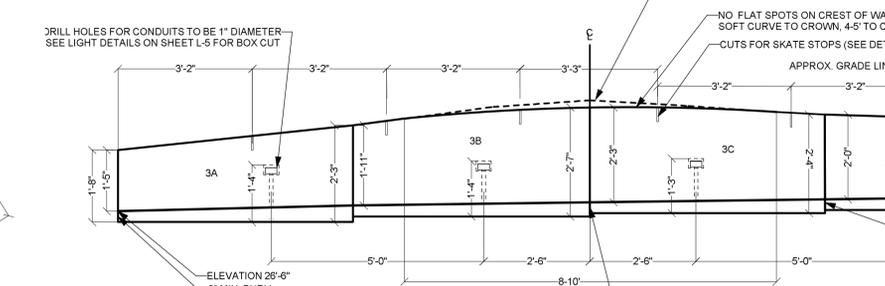
ALL STONES TO HAVE 1" RADIUS BULL NOSE ON ALL HORIZONTAL AND VERTICAL EDGES

**LIGHTING: EACH STONE SET SHALL HAVE A
 CONDUIT W/ 120V POWER. LIGHTS IN EACH
 STONE SET (#1-5) ARE LOW VOLTAGE W/ ONE
 TRANSFORMER PER STONE SET (SEE
 LIGHTING DETAILS ON L-5 FOR SIZE OF CUTS.)**

**THE STATE PLANE COORDINATES OF
 THE STONES SHALL BE ISSUED TO THE
 CONTRACTORS FOR EXACT PLACEMENT
 IN THE FIELD WITH THOSE
 COORDINATES. FIELD LOCATION OF
 EACH STONE SET SHALL BE APPROVED
 BY LANDSCAPE ARCHITECT PRIOR TO
 FINAL SETTING. LANDSCAPE ARCHITECT
 CAN MAKE MINOR ADJUSTMENTS AS
 NEEDED, ONCE, AT THAT TIME.**



PLAN VIEW - LIGHT CORE DETAIL
 TYP. FOR ALL STONE SETS SCALE: 3"=1'-0"



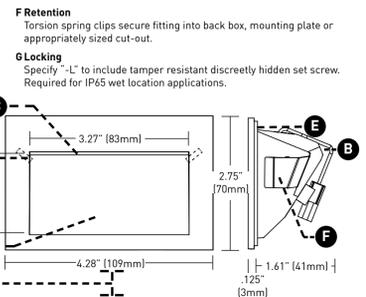
ELEVATION CHESTNUT STREET SITTING WALL
 STONE SET #3 SCALE: 1/2"=1'-0"

DOUBLE-IMPACT®

ISL-2-ALED
RECESSED LUMINAIRE

DESCRIPTION

- A General**
Regressed LED with rectangular aperture for glare-free, energy efficient, path and step lighting; suitable for dry or wet, interior or exterior applications.
- B Special Features**
Dimmable 4.7W AC LED (dimming by power supply); LED/heat sink module is field replaceable.
- C Effects Devices**
Provided with sealed polycarbonate linear diffusion lens; consult factory for availability of color gels which may achieve custom color temperatures.
- D Installation Guidelines**
Optimum 18" (457mm) above walking surface; 60" (1.5m) on-center.
- E Gasket**
Foam gasket provided. Required for IP65 wet location applications only.



TECHNICAL

CONSTRUCTION
Cast 316 stainless steel or bronze depending on finish.

ELECTRICAL
Luminaire requires factory supplied 12-volt AC power supply. May be integral to back box or remote. Secondary run lengths vary depending on power supply specified. See page 3 for available options and wiring requirements.

MOUNTING
See pages 2 & 3 for various mounting accessories.

LED
Proprietary 4.7 watt nominal AC LED. 80+ CRI, 2 SDCM, in color temperatures of 2700K, 3000K, 3500K & 4000K.

plus Blue and Amber, 150 delivered lumens (32.3 lm/watt). Average rated life of 50,000+ hours.

LISTING
TUV listed for dry/damp (IP54 rated) and wet locations (IP65 rated); CE marked; Dark-Sky approved; Patent No. US D606,228 S.

WARRANTY
Five year warranty on LED lamp module and driver. One year warranty on all other Lucifer Lighting provided system components. Consult website for full warranty terms and conditions.

ORDERING INFORMATION (fitting)

ISL-2-ALED SERIES	COLOR TEMP	FINISH	LOCKING
ISL-2-ALED	2.7K 2700K	W White Powdercoat	NL Non-Locking (IP54)
	3K 3000K	B Black Powdercoat	L Locking* (IP65)
	3.5K 3500K	C Chrome	
	4K 4000K	IG Industrial Gray	* NOTE: Locking version required for IP65 wet location applications.
	BL Blue	NBR Natural Bronze	
	AM Amber	SS Brushed Stainless Steel	
	CK Custom Color (Gel)	BR Brushed Bronze	
		ABR Architectural Bronze Powdercoat	
		BRP Polished Oil-Rubbed Bronze Plate	
		BRM Matte Oil-Rubbed Bronze Plate	
		MG Metallic Gray Powdercoat	

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DOUBLE-IMPACT®

ISL-2-ALED
MOUNTING OPTIONS

DESCRIPTION

- Following mounting options require remote power supply
- SSL-2-RM (Remodel Collar)**
Stainless steel collar for mounting fitting into drywall/plasterboard. Dry locations only. Requires Class 2 power supply.
 - SSL-2-CC (Cavity Collar)**
Stainless steel collar for mounting fitting into cavity or bore. Dry locations only. Requires Class 2 power supply.
- SUITABLE FOR USE IN DRY LOCATIONS ONLY
- Following mounting options require remote power supply
- SSL-2-MP**
Stainless steel mounting plate. May be used with customer furnished two-gang weatherproof box for wet and concrete pour locations.
 - SSL-2-MP-1.50/1.75/2.00/2.50/3.00**
Stainless steel mounting plate featuring an extended collar for two-gang weatherproof box, specify preferred depth. Typically used in wet and concrete pour locations. Features 1/2" knockouts.
 - SSL-2-BB**
Aluminum two-gang weatherproof box equipped with SSL-2-MP mounting plate. Typically used in wet and concrete pour applications. Features 1/2" knockouts.
 - SSL-2-BB-1.50/1.75/2.00/2.50/3.00**
Aluminum two-gang weatherproof box equipped with SSL-2-MP extended collar mounting plate, specify preferred depth. Typically used in wet and concrete pour locations. Features 1/2" knockouts.
 - SSL-2-SMB**
Aluminum surface mount box for interior or exterior applications. Receives secondary wiring through back of box.
- SUITABLE FOR USE IN WET OR DRY LOCATIONS
- Example: ISL-2-ALED-3K-NBR-NL

- Following mounting options feature integral power supply options:
- UBB-SL-2**
Universal back box, wet location and concrete pour rated. Features integral or remote power supply and secondary output capacity. See page 3 or separate spec sheet for complete details and ordering information.
 - BOL-2**
Freestanding mount. Also available with integral power supply. See separate spec sheet for complete details and ordering information.

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POWER SUPPLY OPTIONS

- PSA-60-12P-1**
Plug-in Class II power supply, 120V primary, 12V secondary, 60W electronic transformer (non-dimmable). Accommodates up to 4 luminaires wired in either a homerun or parallel method. Max 40' secondary run length.
- PSA-60-12H-JB-1**
Dimmable power supply for hardwire applications. Consists of a steel compartment painted black with integral conventional Class II 120V primary, 12V secondary, 60W electronic transformer and lid. Accommodates up to 4 luminaires wired in either a homerun or parallel method. Max 40' secondary run length.
- PS-50-12AC-230E**
230V ±10% 50Hz primary, 12V secondary, 50W electronic transformer (dimmable). IP44 rated. Includes leads for wiring. Accommodates up to 2 luminaires wired in either a homerun or parallel method. Max 2-meter secondary run length. Install in accordance with manufacturers suggested guidelines (Varilight model #YT50LZ).

UNIVERSAL BACK BOX ORDERING INFORMATION

UBB-JCT
Universal junction box with integral power supply, suitable for dry, wet and concrete pour applications.*

Example: UBB-JCT-40-120T

UBB-JCT SERIES	FL	FLANGE/APPLICATION	POWER SUPPLY/VOLTAGE
40-120T		20-120T	Integral toroidal, 120V, 60Hz, 40W, Maximum of 5 fixtures
60-120E		40-120E	Integral electronic, 120V, 50/60Hz, 60W, Maximum of 4 fixtures. Max 40' secondary run length
50-230E		50-230E	Integral electronic, 230V ±10% 50Hz, 60W, Maximum of 2 fixtures. Max 2M secondary run length
20-277T		20-277T	Integral toroidal, 277V, 60Hz, 40W Max, Maximum of 2 fixtures
		LVT	Low Voltage Feed (requires remote power supply)

UBB-SL2
Universal back box receives one fixture and includes an integral power supply. Suitable for dry, wet and concrete pour applications. Features separate line and low voltage wiring compartment, allowing additional fixtures to be serviced via secondary wiring.*

Example: UBB-SL2-FL-20-120T

UBB-SL2 SERIES	FL	FLANGE/APPLICATION	POWER SUPPLY/VOLTAGE
20-120T		20-120T	Integral toroidal, 120V, 60Hz, 20W, Maximum of 2 fixtures
40-120E		40-120E	Integral electronic, 120V, 50/60Hz, 60W, Maximum of 4 fixtures. Max 40' secondary run length
50-230E		50-230E	Integral electronic, 230V ±10% 50Hz, 60W, Maximum of 2 fixtures. Max 2M secondary run length
20-277T		20-277T	Integral toroidal, 277V, 60Hz, 20W Max, Maximum of 2 fixtures
		LVT	Low Voltage Feed (requires remote power supply)

MOUNTING BRACKET OPTIONS

- UBBA-HGR** Adjustable hanger bars
 - UBBA-BKT** Universal Mounting Brackets
- Adjustable from 14" to 24" spacing
- For Standard Joist Spacing

NOTE: Dimming is best achieved using a corresponding forward phase control for power supplies designated "120T" outfitted with toroid magnetic transformer and a reverse phase control for power supplies designated "120E" & "240E" outfitted with electronic transformers. Performance may vary between controls and applied loads. Consult factory for most recent dimming compatibility report.

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WALL LIGHT DETAIL



WALL LIGHT DETAIL
SCALE: 3"=1'-0"

LANDSCAPE ARCHITECT:



ISSUED FOR:

ISSUE DATE: JUNE 16, 2017

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	TC	03/21/16
1	REVISED SCOPE/UTILITY	TC	06/16/17

DRAWN BY: _____ TC
APPROVED BY: _____ TP
DRAWING FILE: 4087.DWG

SCALE: SCALE AS SHOWN

OWNER/APPLICANT:



CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:

CHESTNUT STREET
STREETSCAPE
PROJECT

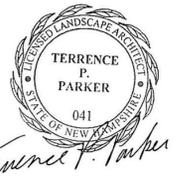
CONGRESS STREET
TO
PORTER STREET

TITLE:

LIGHTING
DETAILS

SHEET NUMBER:

L-5



ISSUED FOR:

ISSUE DATE: JUNE 16, 2017

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	TC	03/21/16
1	REVISED SCOPE/UTILITY	TC	06/16/17

DRAWN BY: TC
 APPROVED BY: TP
 DRAWING FILE: 4087.DWG

SCALE: SCALE AS SHOWN

OWNER/APPLICANT:



CITY OF PORTSMOUTH
 1 JUNKINS AVENUE
 PORTSMOUTH, N.H. 03801

PROJECT:

CHESTNUT STREET
 STREETSCAPE
 PROJECT

CONGRESS STREET
 TO
 PORTER STREET

TITLE:

PLANTING
 DETAILS

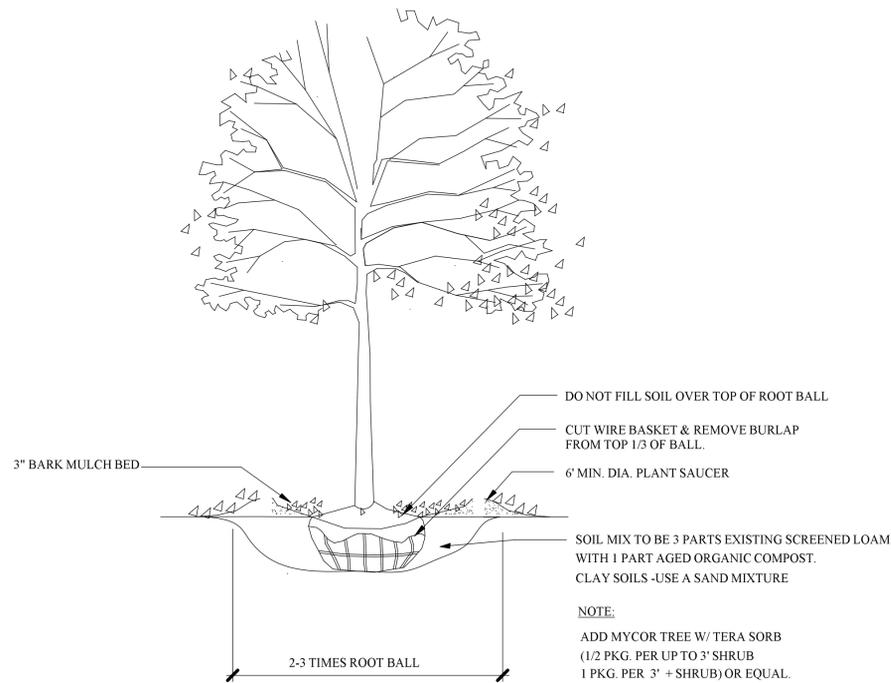
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L-6

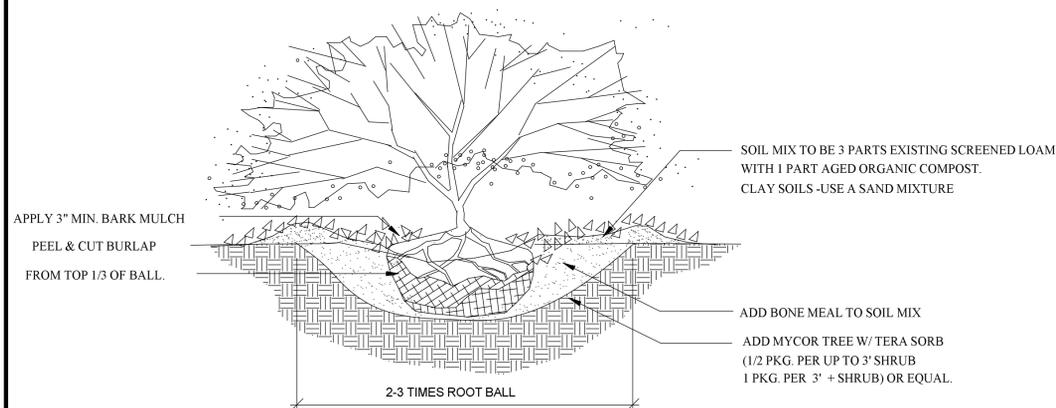
P4087

LANDSCAPE NOTES:

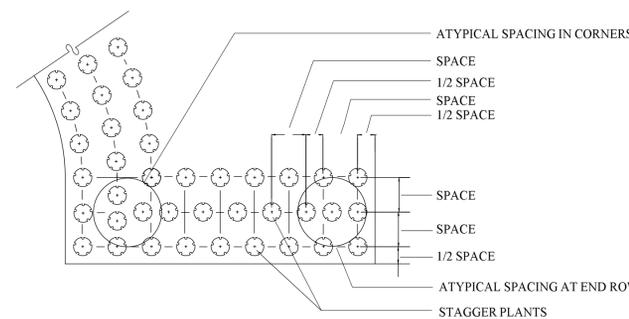
1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.



1 TREE PLANTING - 2"+ CAL.
 L-6 SCALE: NTS

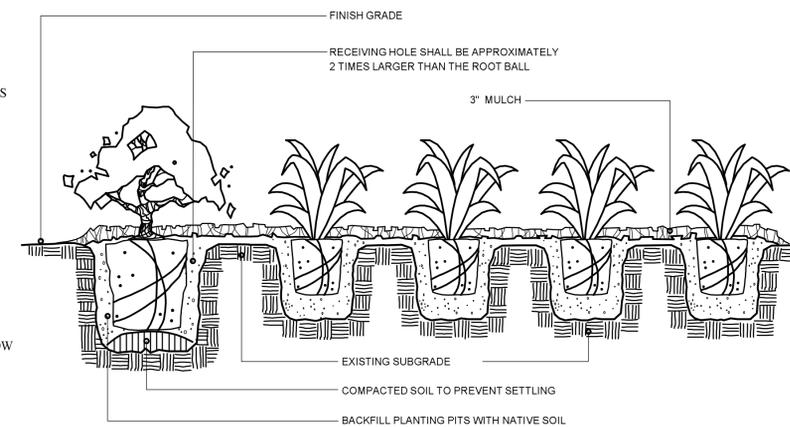


2 B&B SHRUB PLANTING
 L-6 SCALE: NTS



- NOTES:
1. PLACE PLANTS IN BED AS SHOWN, SPACING AS SPECIFIED IN PLANT SCHEDULE.
 2. GROUND COVER SHALL BE TRIANGULAR SPACED IN ROWS PARALLEL TO STRAIGHT EDGES AND SHALL BE EVENLY SPACED IN ROWS PARALLEL TO CURVE EDGES.

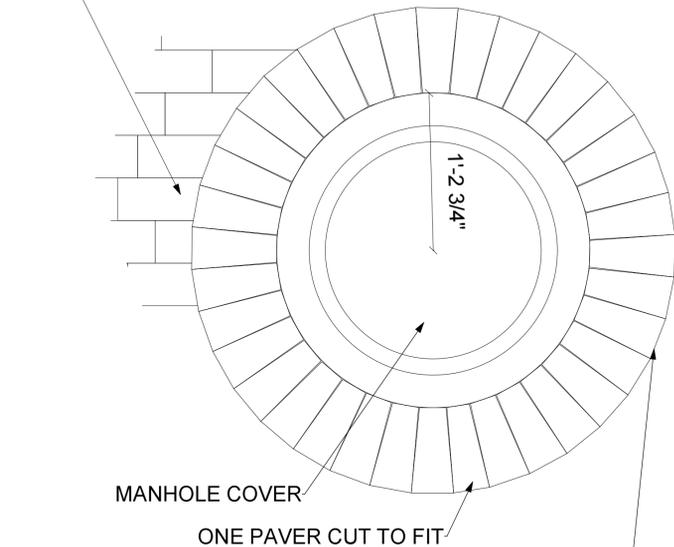
3 GROUND COVER SPACING DETAIL
 L-6 SCALE: NTS



NOTE: SHRUBS SHALL BE PLANTED A MINIMUM OF 1" & NO MORE THAN 2" ABOVE FINISH GRADE, DEPENDING UPON SITE CONDITIONS.

4 SHRUB/GROUND COVER PLANTING DETAIL
 L-6 SCALE: NTS

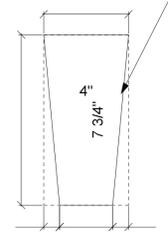
NOTE: ALL PAVERS WITHIN 16" OF EDGE OF ALL PROPOSED MANHOLES SHALL NOT BE LESS THAN 50% OF FULL SIZE WHEN CUT TO ABUT TRIM DETAIL



MANHOLE COVER

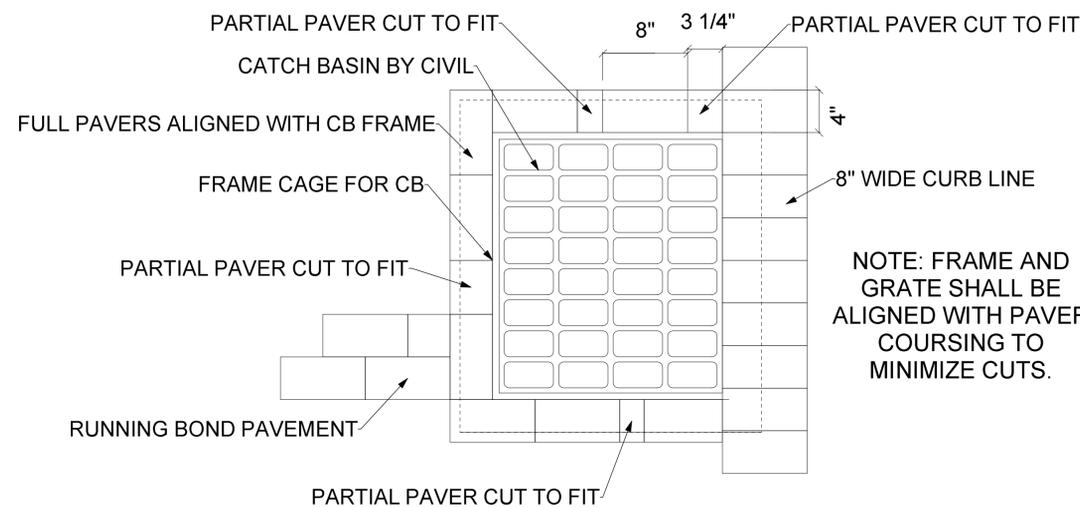
ONE PAVER CUT TO FIT

EACH PAVER TO BE CUT AS SHOWN AND SET AS TRIM FOR ALL MANHOLES



1 PAVER DETAIL AT MANHOLES
SCALE: 1 1/2"=1'-0"

SCALE: 3"=1'-0"



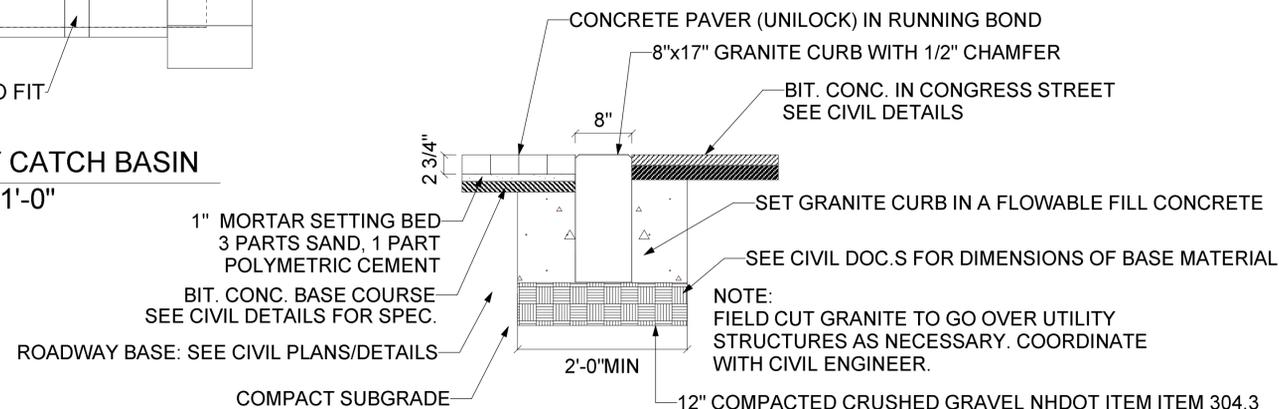
2 PAVER DETAIL AT CATCH BASIN
SCALE: 1 1/2"=1'-0"

NOTE ON PAVERS:

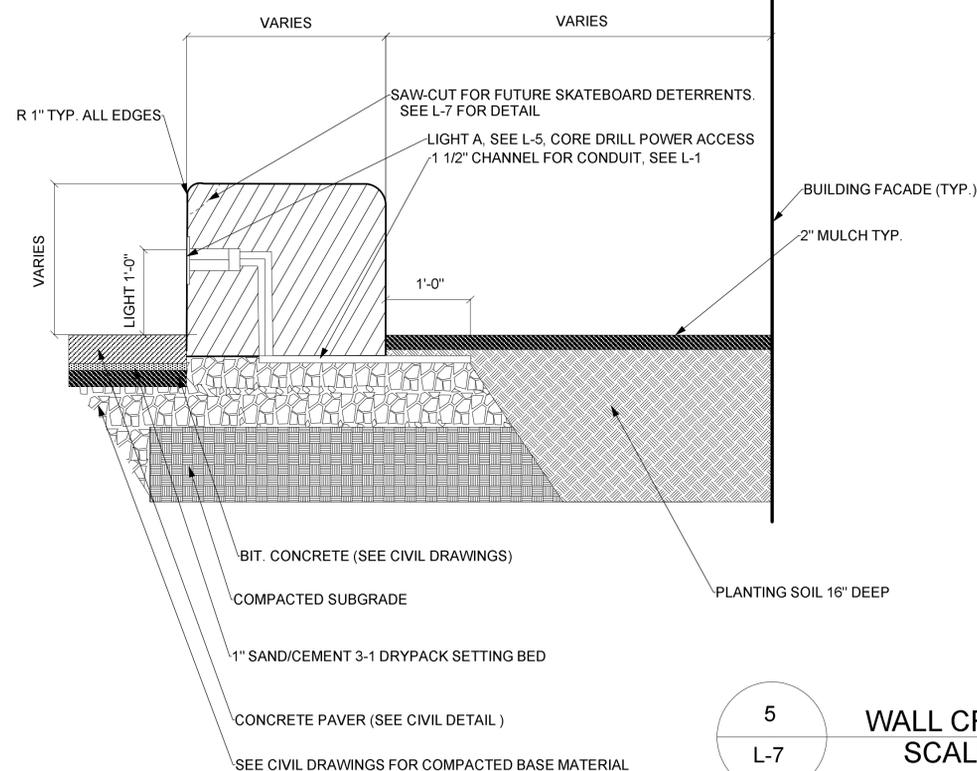
UNILOCK PAVERS: SERIES 3000, 4"x7 3/4"x2 3/4"
BANDING, LOADING ZONE MARKING STONES, CURB LINE IN CRYSTALLINE BASALT
SIDEWALK AND STREET BODY PAVERS IN MOCHA BROWN

CONTACT: SEE SHEET L-1
CONTRACTOR NOT TO PLACE PAVERS THAT ARE CUT LESS THAN 50% OF ORIGINAL SIZE UNLESS APPROVED BY LANDSCAPE ARCHITECT IN A SITE MEETING.

NOTE: FRAME AND GRATE SHALL BE ALIGNED WITH PAVER COURSING TO MINIMIZE CUTS.

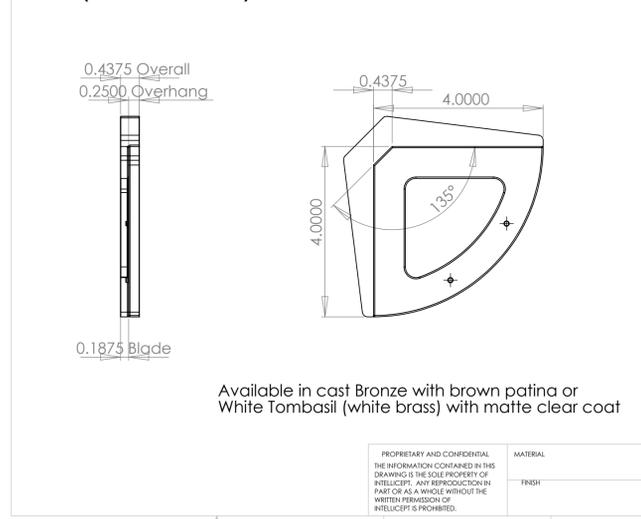


3 FLUSH GRANITE CURB DETAIL
SCALE: 1 1/2"=1'-0"



5 WALL CROSS-SECTION DETAIL
SCALE: 1 1/2"=1'-0"

NOTE: DETERRENT TO BE SELECTED AT LATER DATE OR CUSTOM MADE. DETAIL OF DETERRENT TO BE USED BY QUARRY FOR CUTTING PURPOSES ONLY. (21 TOTAL)

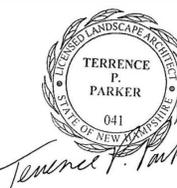


Available in cast Bronze with brown patina or White Tombasil (white brass) with matte clear coat

PROPRIETARY AND CONFIDENTIAL	MATERIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF INTELLICRAFT. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF INTELLICRAFT IS PROHIBITED.	FINISH

4 SKATE STOP DETAIL
SCALE: 1/2"=1"

LANDSCAPE ARCHITECT:



ISSUED FOR:

ISSUE DATE:

JUNE 16, 2017

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	TC	03/21/16
1	REVISED SCOPE/UTILITY	TC	06/16/17

DRAWN BY: _____ TC

APPROVED BY: _____ TP

DRAWING FILE: _____ 4087.DWG

SCALE:

SCALE AS SHOWN

OWNER/APPLICANT:



CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:

CHESTNUT STREET
STREETSCAPE
PROJECT

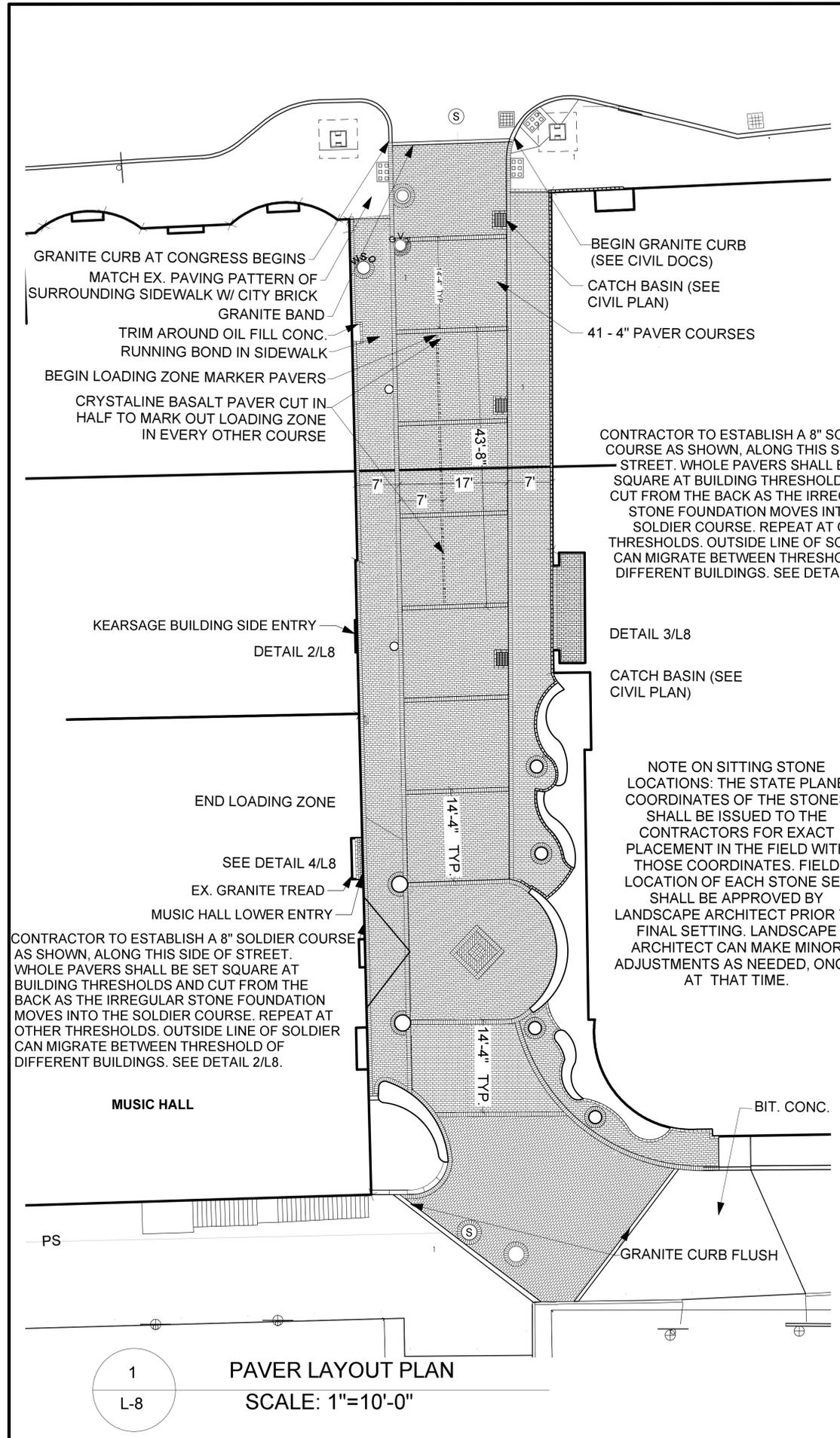
CONGRESS STREET
TO
PORTER STREET

TITLE:

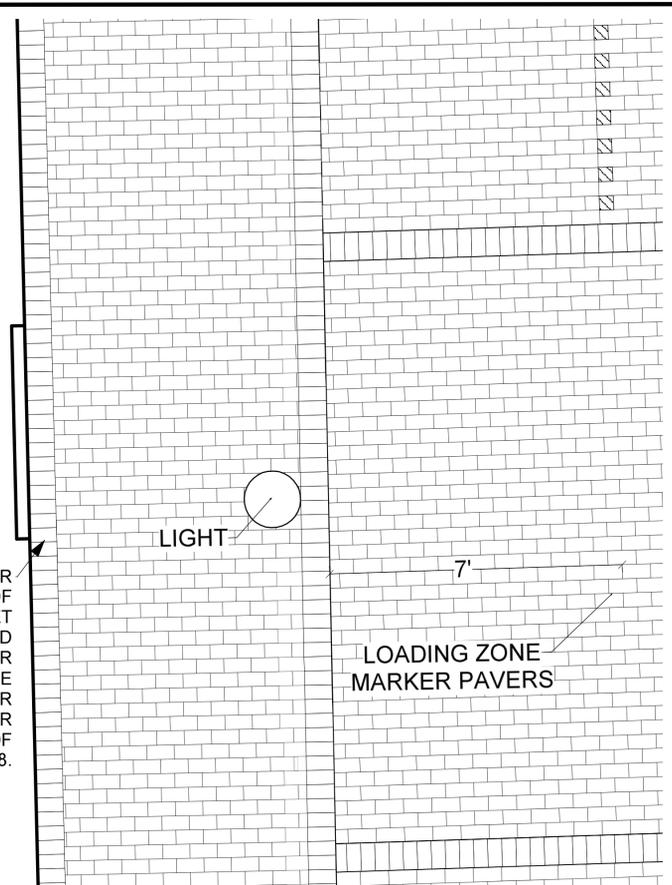
PAVING
DETAILS

SHEET NUMBER:

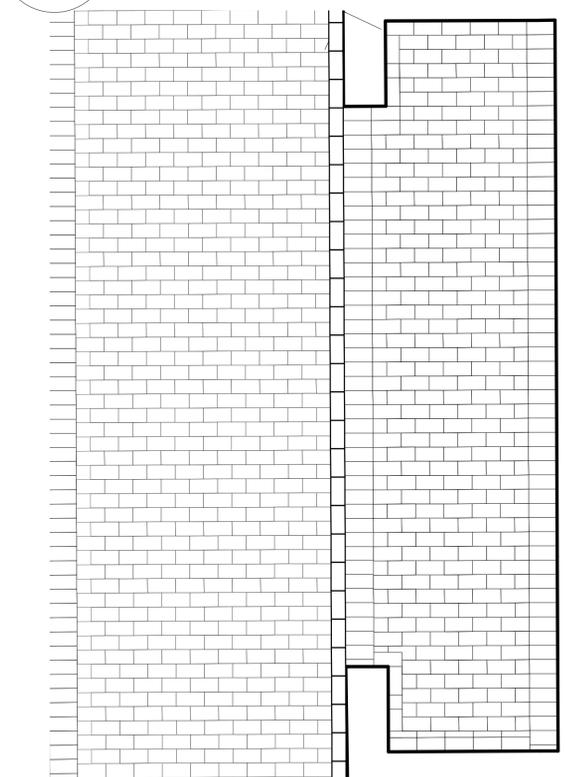
L-7



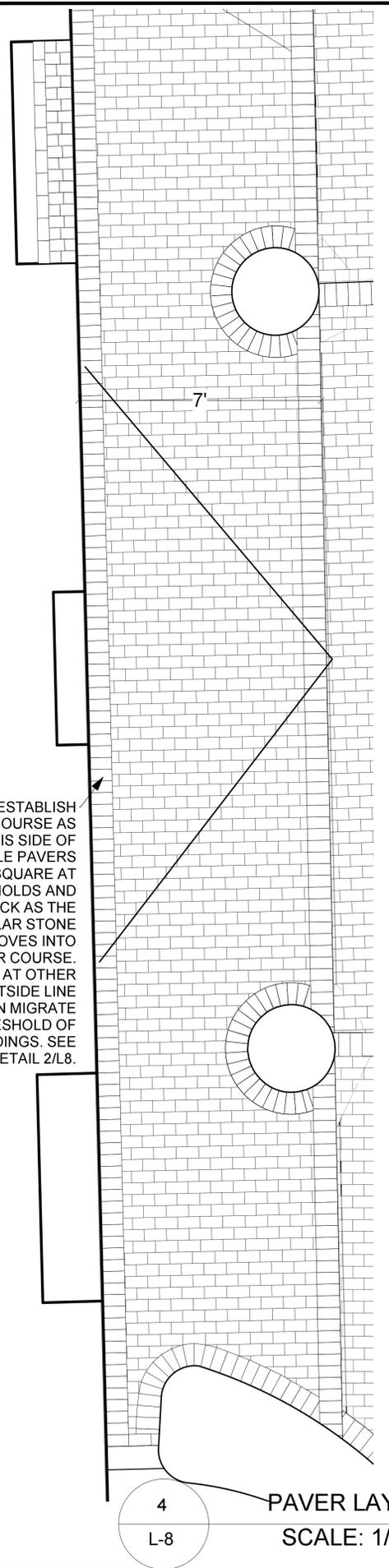
1
L-8
PAVER LAYOUT PLAN
SCALE: 1"=10'-0"



2
L-8
PAVER LAYOUT PLAN
SCALE: 1/2"=1'-0"



3
L-8
PAVER LAYOUT PLAN
SCALE: 1/2"=1'-0"



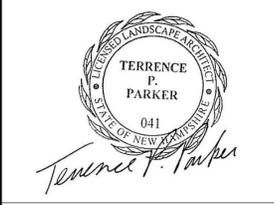
4
L-8
PAVER LAYOUT PLAN
SCALE: 1/2"=1'-0"

CONTRACTOR TO ESTABLISH A 8" SOLDIER COURSE AS SHOWN, ALONG THIS SIDE OF STREET. WHOLE PAVERS SHALL BE SET SQUARE AT BUILDING THRESHOLDS AND CUT FROM THE BACK AS THE IRREGULAR STONE FOUNDATION MOVES INTO THE SOLDIER COURSE. REPEAT AT OTHER THRESHOLDS. OUTSIDE LINE OF SOLDIER CAN MIGRATE BETWEEN THRESHOLD OF DIFFERENT BUILDINGS. SEE DETAIL 2/L8.

NOTE ON SITTING STONE LOCATIONS: THE STATE PLANE COORDINATES OF THE STONES SHALL BE ISSUED TO THE CONTRACTORS FOR EXACT PLACEMENT IN THE FIELD WITH THOSE COORDINATES. FIELD LOCATION OF EACH STONE SET SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO FINAL SETTING. LANDSCAPE ARCHITECT CAN MAKE MINOR ADJUSTMENTS AS NEEDED, ONCE, AT THAT TIME.

LANDSCAPE ARCHITECT:

 terra firma
 landscape architecture
 165 COURT STREET PORTSMOUTH, NH 03801
 603.438.8888 | terra@terrafirmalandscape.com



ISSUED FOR:
 ISSUE DATE: JUNE 16, 2017
 REVISIONS
 NO. DESCRIPTION BY DATE
 0 INITIAL SUBMISSION TC 03/21/16
 1 REVISED SCOPE/UTILITY TC 06/16/17

DRAWN BY: TC
 APPROVED BY: TP
 DRAWING FILE: 4087.DWG

SCALE:
 SCALE AS SHOWN

OWNER/APPLICANT:



CITY OF PORTSMOUTH
 1 JUNKINS AVENUE
 PORTSMOUTH, N.H. 03801

PROJECT:

CHESTNUT STREET
 STREETSCAPE
 PROJECT

CONGRESS STREET
 TO
 PORTER STREET

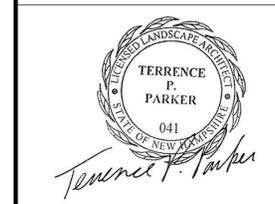
TITLE:

PAVING
 DETAILS

SHEET NUMBER:

L-8

LANDSCAPE ARCHITECT:



ISSUED FOR:

ISSUE DATE: JUNE 16, 2017

REVISIONS			
NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	TC	03/21/16
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DRAWN BY: _____ TC
APPROVED BY: _____ TP
DRAWING FILE: 4087.DWG

SCALE: SCALE AS SHOWN

OWNER/APPLICANT:



CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

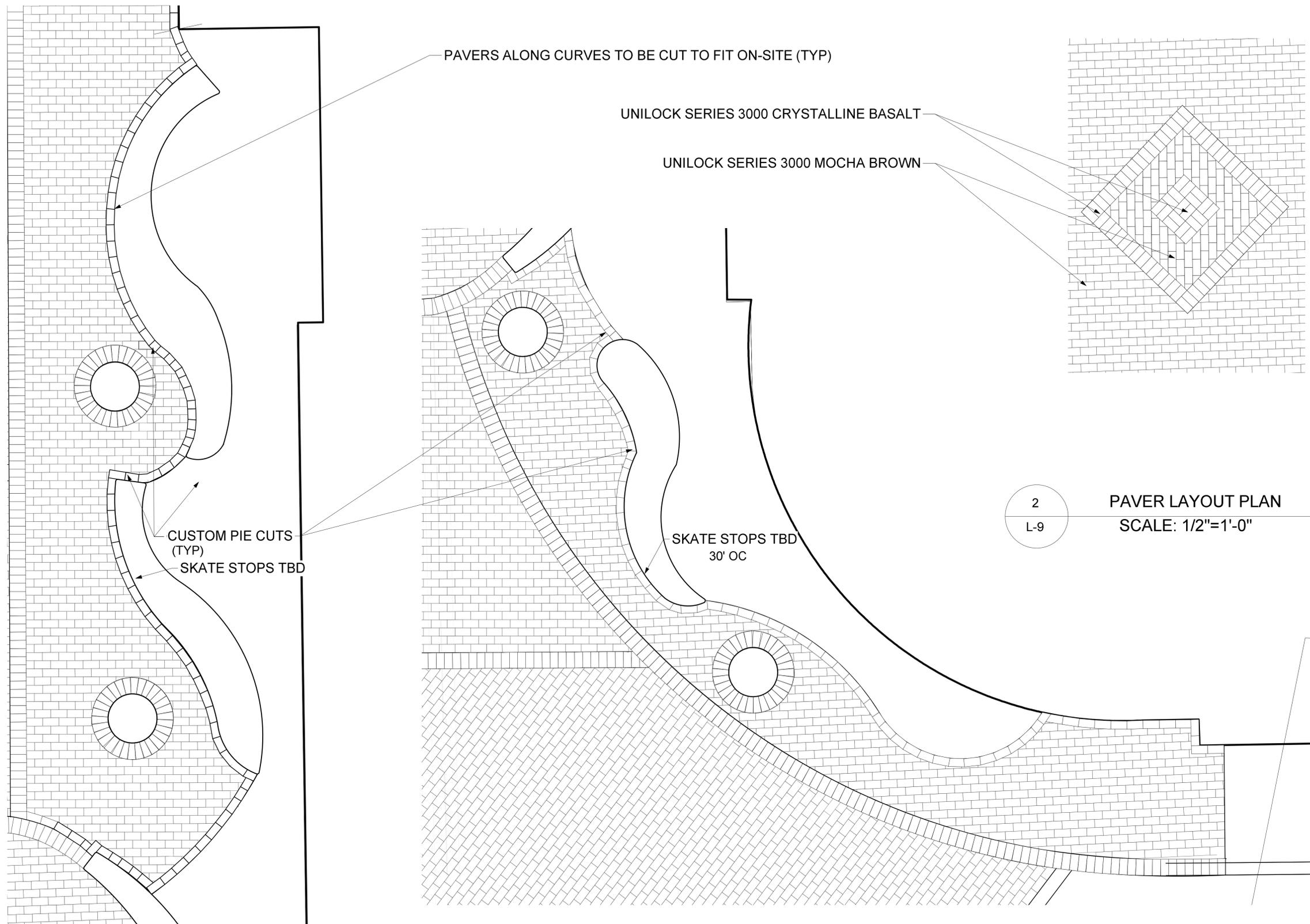
PROJECT:

CHESTNUT STREET
STREETSCAPE
PROJECT

CONGRESS STREET
TO
PORTER STREET

TITLE:
PAVING
DETAILS

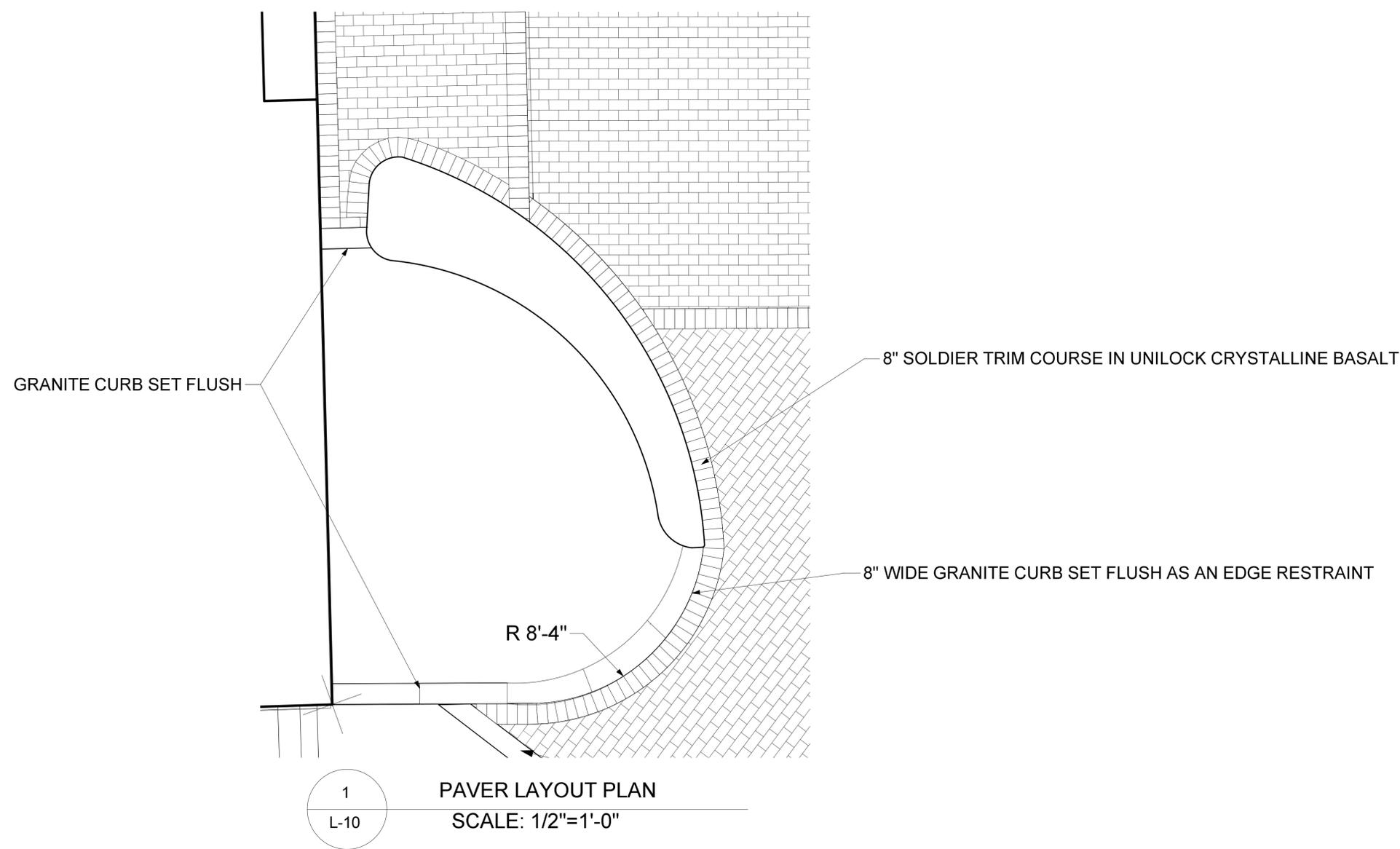
SHEET NUMBER:
L-9



2
L-9
PAVER LAYOUT PLAN
SCALE: 1/2"=1'-0"

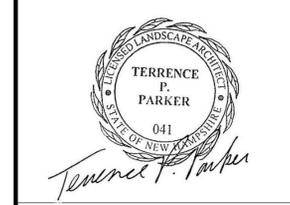
1
L-9
PAVER LAYOUT PLAN
SCALE: 1/2"=1'-0"

3
L-9
PAVER LAYOUT PLAN
SCALE: 1/2"=1'-0"



LANDSCAPE ARCHITECT:

terra firma
landscape architecture
464 COURT STREET - PORTSMOUTH, NH 03801
603.431.8388 | terrance@terrafirmalandscape.com



ISSUED FOR:

ISSUE DATE: JUNE 16, 2017

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	TC	03/21/16
1	REVISED SCOPE/UTILITY	TC	06/16/17

DRAWN BY: _____ TC
APPROVED BY: _____ TP
DRAWING FILE: _____ 4087.DWG

SCALE: SCALE AS SHOWN

OWNER/APPLICANT:

CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:

CHESTNUT STREET
STREETSCAPE
PROJECT

CONGRESS STREET
TO
PORTER STREET

TITLE:

PAVING
DETAILS

SHEET NUMBER:

L-10

SEDIMENT AND EROSION CONTROL NOTES

PROJECT NAME AND LOCATION

CONGRESS & CHESTNUT STREET STREETScape & UTILITIES PROJECT
CONGRESS STREET TO PORTER STREET
PORTSMOUTH, NEW HAMPSHIRE

LATITUDE: 043° 04' 34" N
LONGITUDE: 070° 45' 34" W

OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801

DESCRIPTION

The project consists of creating a pedestrian connector from Congress Street to Porter Street within the context of adjacent public and private streetscape and parking area improvements, existing adjacent parking areas and associated improvements, including storm water management treatment enhancements and utility upgrades are included.

DISTURBED AREA

The total area to be disturbed for the pedestrian connector improvements is approximately ±15,000 SF (±0.34 acres) including on-site improvements at property and/or building interfaces.

PROJECT PHASING

The proposed project will be completed in a single phase.

NAME OF RECEIVING WATER

The site drains to the closed municipal drainage system in Congress Street and leaving the area through the Vaughn Mall.

SEQUENCE OF MAJOR ACTIVITIES

1. Install temporary erosion control measures including inlet sediment filters as noted on the plan. All temporary erosion control measures shall be maintained in good working condition for the duration of the project.
2. Reclaim/remove existing paved surfaces.
3. Perform all required demolition activities.
4. Construct drainage structures, utility improvements & pavement base course materials.
5. Install base course paving, hardscape elements, sidewalks & curbing.
6. Install architectural paver surfaces.
7. Loom (6" min) and seed all disturbed areas not paved or otherwise stabilized.
8. Install top course paving.
9. When all construction activity is complete and site is stabilized, remove all temporary erosion control measures and any sediment that has been trapped by these devices.

TEMPORARY EROSION & SEDIMENT CONTROL AND STABILIZATION PRACTICES

All work shall be in accordance with state and local permits. Work shall conform to the practices described in the "New Hampshire Stormwater Manual, Volumes 1 - 3", issued December 2008, as amended. As indicated in the sequence of Major Activities, the silt fences shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area, silt fences and any earth/dikes will be removed once permanent measures are established.

During construction, all storm drain inlets shall be provided with inlet protection.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

A. GENERAL

These are general inspection and maintenance practices that shall be used to implement the plan:

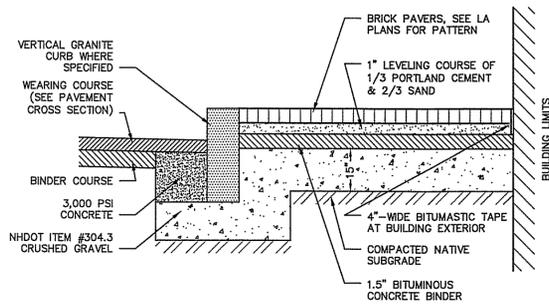
1. The smallest practical portion of the site shall be denuded at one time.
2. All control measures shall be inspected at least once each week and following any storm event of 0.25 inches or greater.
3. All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours.
4. Built-up sediment shall be removed from silt fence or other barriers when it has reached one-third the height of the fence or bale, or when "bulges" occur.
5. All diversion dikes shall be inspected and any breaches promptly repaired.
6. Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
7. The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the Plans.
8. An area shall be considered stable if one of the following has occurred:
 - a. Base course gravels have been installed in areas to be paved;
 - b. A minimum of 85% vegetated growth as been established;
 - c. A minimum of 3 inches of non-erosive material such as stone or riprap has been installed; - or -
 - d. Erosion control blankets have been properly installed.
9. The length of time of exposure of area disturbed during construction shall not exceed 45 days.

B. PERMANENT SEEDING -

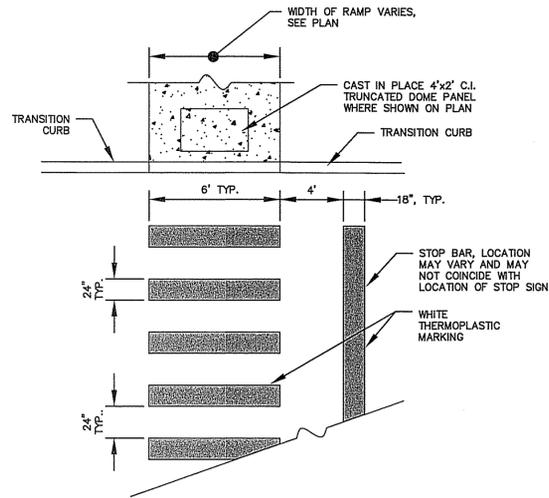
SEE LANDSCAPE PLANS AND SPECIFICATIONS

WINTER CONSTRUCTION NOTES

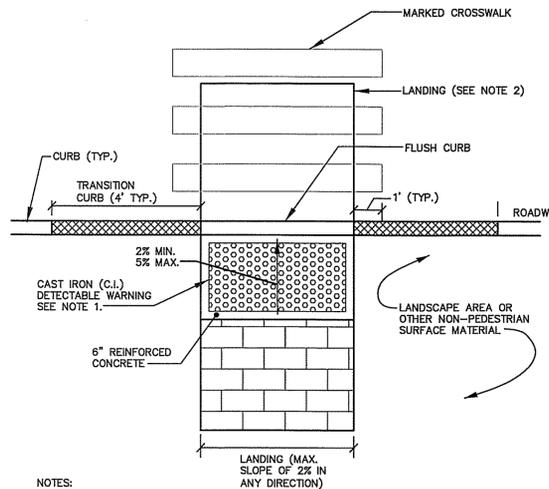
1. All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events.
2. All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
3. After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel per NHDOT item 304.3.



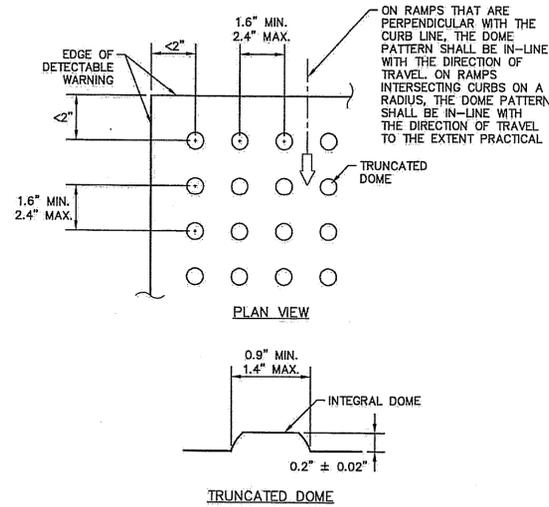
BRICK SIDEWALK DETAIL NOT TO SCALE



CROSSWALK TYPE B DETAIL NOT TO SCALE



CURB RAMP (TYPE 'T') NOT TO SCALE

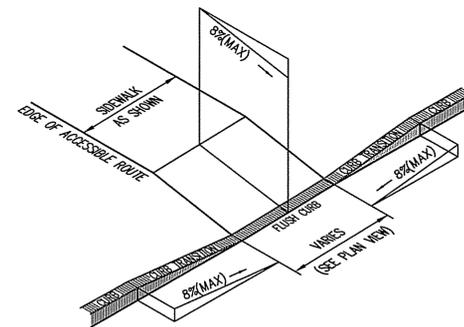


DETECTABLE WARNING DETAIL NOT TO SCALE

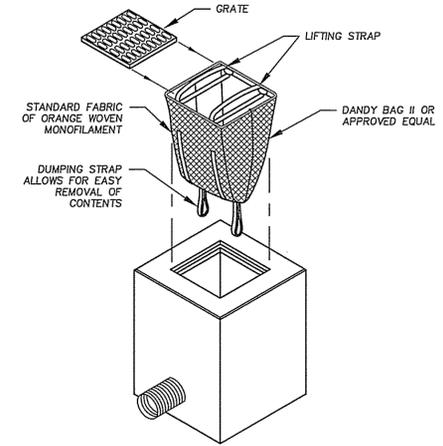
NOTES APPLICABLE TO ALL CURB RAMPS:

1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF AN ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
2. THE MAXIMUM ALLOWABLE SLOPE OF AN ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF AN ACCESSIBLE ROUTE (SIDEWALK) CURB RAMP SHALL BE 8%.
4. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
5. BASE OF RAMP SHALL BE GRADED TO PREVENT THE PONDING OF WATER.
6. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
7. ALL CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) AND ALL APPLICABLE CODES.
8. FLUSH CURB SECTIONS SHALL HAVE A MAXIMUM LIP REVEAL OF 1/2" AT THE EDGE OF PAVEMENT.
9. EDGES OF SIDEWALK FOOTINGS ALONG FLUSH CURBS SHALL BE HAUNCHED SO AS TO EXTEND TO A MINIMUM DEPTH OF 1' BELOW FINISH GRADE.
10. NO RAMP SHALL BE LESS THAN 4' IN WIDTH.

CURB RAMP NOTES NOT TO SCALE



CURB RAMP (TYPE 'F') NOT TO SCALE



NOTE: ALL CATCH BASINS AND DRAIN INLETS WITHIN OR ADJACENT TO THE PROJECT THAT HAVE THE POTENTIAL TO RECEIVE SURFACE RUNOFF FROM EXPOSED EXCAVATED AREAS SHALL BE PROTECTED.

INSTALLATION AND MAINTENANCE:

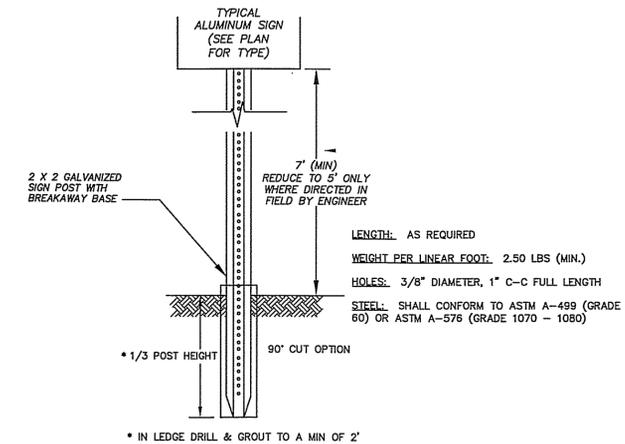
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. STAND GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO CATCH BASIN INSERT SO THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE CATCH BASIN INSERT. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY THE UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

UNACCEPTABLE INLET PROTECTION METHOD:

A SIMPLE SHEET OF GEOTEXTILE UNDER THE GRATE IS NOT ACCEPTABLE.

STORM DRAIN INLET PROTECTION NOT TO SCALE



SIGN POST NOT TO SCALE

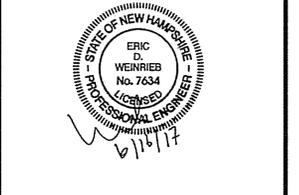


NOTE:

1. ALL SIGNS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

SIGN DETAILS NOT TO SCALE

ENGINEER:
ALTUS ENGINEERING, INC.
133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR: **BIDDING**

ISSUE DATE: **JUNE 16, 2017**

NO.	DESCRIPTION	BY	DATE
0	DISCUSSION	EDW	03/21/17
1	ISSUED FOR BIDDING	EDW	06/16/17

DRAWN BY: **RLH**

APPROVED BY: **EDW**

DRAWING FILE: **4087DS-ALT.DWG**

SCALE:
24" x 36" - N.T.S.
11" x 17" - N.T.S.

OWNER:



CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:

CONGRESS & CHESTNUT STREET STREETScape & UTILITIES PROJECT

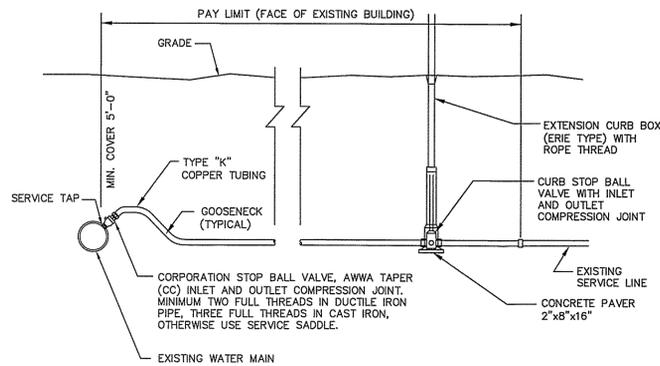
CONGRESS STREET TO PORTER STREET

TITLE:

DETAIL SHEET

SHEET NUMBER:

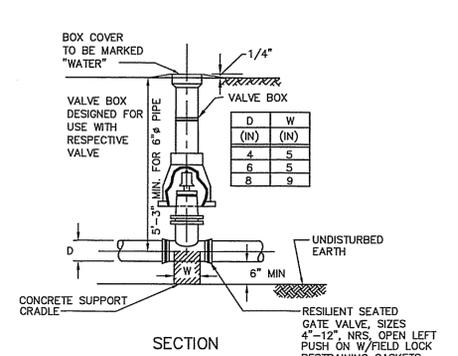
D-1



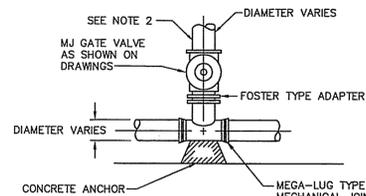
NOTES

1. PROVIDE NEW LINE USING CONTINUOUS LENGTHS OF COPPER. NO COUPLING ALLOWED IN ROADWAY WITHOUT APPROVAL OF ENGINEER.
2. TAPS TO BE MADE AT APPROXIMATELY 2:00 & 10:00
3. PROVIDE FOR SERVICE LINE CONTRACTION AND EXPANSION BY INSTALLING "S" IN SERVICE LINE NEAR MAIN.
4. IF SERVICE IS INSTALLED WITH LESS THAN 5' COVER, INSULATE OVER LINE.
5. REMOVE EXISTING CURB STOP.
6. CONNECT CURB STOP TO EXISTING SERVICE LINE AT PROPERTY LINE OR AT LOCATION APPROVED BY THE ENGINEER (NO COUPLING WITHOUT APPROVAL OF ENGINEER) AFTER PRESSURE TESTING AND DISINFECTION.
7. SHUT OFF EXISTING CORPORATION AND REMOVE OR ABANDON EXISTING SERVICE LINE.
8. CURB BOX SHALL BE SET IN THE GRASS/LANDSCAPE AREA BETWEEN CURB AND SIDEWALK UNLESS DIRECTED OTHERWISE.
9. 2" OR LARGER SERVICE CONNECTIONS SHALL USE A STAINLESS STEEL SERVICE SADDLE.

SERVICE CONNECTION DETAIL NOT TO SCALE



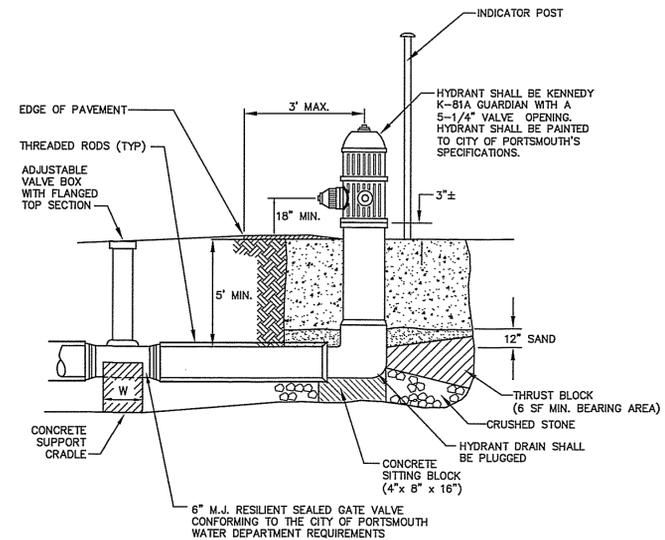
WATER VALVE DETAIL NOT TO SCALE



NOTES

1. GATE VALVES SHALL OPEN RIGHT, PER CITY STANDARDS.
2. BRANCH PIPING SHALL BE MECHANICALLY RESTRAINED AS NOTED UNDER THRUST BLOCK DETAIL REQUIREMENTS.

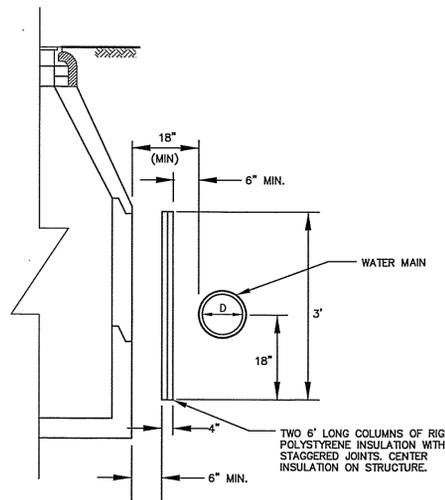
TEE & GATE VALVE ASSEMBLY DETAIL NOT TO SCALE



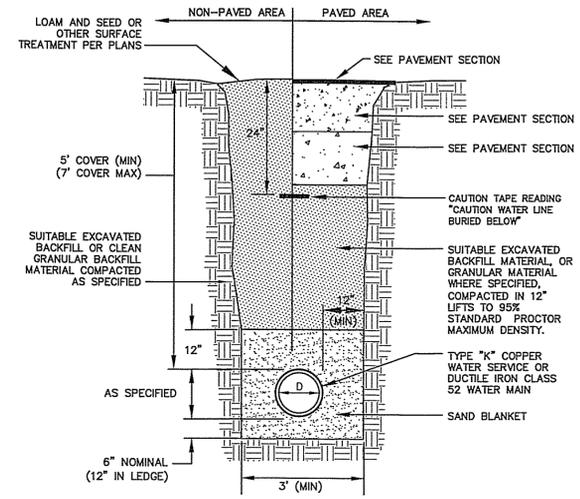
NOTES

1. HYDRANT INSTALLATION AND OPERATION TO CONFORM TO REGULATIONS OF THE CITY OF PORTSMOUTH WATER & FIRE DEPARTMENTS. (KENNEDY K-811 GUARDIAN)
2. GATE VALVES & HYDRANTS TO OPEN RIGHT (CLOCKWISE).
3. HYDRANTS SHALL BE DELIVERED FROM FACTORY WITHOUT DRAIN HOLES.
4. LOCATE HYDRANTS A MINIMUM OF 18" BEHIND CURBING UNLESS OTHERWISE DIRECTED.
5. REVIEW HYDRANT LOCATIONS WITH ENGINEER PRIOR TO INSTALLATION.

FIRE HYDRANT NOT TO SCALE



WATER MAIN INSULATION AT STRUCTURE NOT TO SCALE



SAND BLANKET/BARRIER		
SIEVE SIZE	% FINER BY WEIGHT	
1/2"	90 - 100	
200	0 - 15	

NOTES

1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
2. WATER MAINS SHALL BE POLY WRAPPED.
3. WATER MAINS SHALL HAVE 3 WEDGES PER JOINT.

WATER MAIN TRENCH NOT TO SCALE

HORIZONTAL BENDS:

NOMINAL PIPE DIAMETER	BEND ANGLE			
	90°	45°	22.5°	11.25°
4"	6'	3'	2'	1'
6"	9'	4'	2'	2'
8"	11'	5'	3'	2'
10"	13'	6'	3'	2'
12"	16'	7'	3'	2'
16"	20'	9'	4'	2'

REDUCERS:

NOMINAL DIAM. OF LARGE PIPE	NOM. DIAM. OF SMALL PIPE (NOTE 9)			
	4"	6"	8"	10"
8"	17'	10'	—	—
10"	23'	17'	10'	—
12"	29'	24'	18'	10'
16"	39'	36'	31'	28'

DEAD ENDS:

NOMINAL PIPE RESTRAINED DIAMETER	LENGTH (ft)
4"	13'
6"	18'
8"	23'
10"	28'
12"	33'
16"	43'

TEES:

NOMINAL DIAM. OF LARGE PIPE	NOMINAL BRANCH DIAMETER			
	8"	10"	12"	16"
8"	—	—	—	—
10"	8'	11'	—	—
12"	1'	7'	16'	—
16"	1'	1'	9'	28'

THRUST BLOCKING DETAIL

NOT TO SCALE

ENGINEER:

ALTUS
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR: BIDDING

ISSUE DATE: JUNE 16, 2017

REVISIONS

NO.	DISCUSSION	BY	DATE
0	DISCUSSION	EDW	03/21/17
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DRAWN BY: RLH
APPROVED BY: EDW
DRAWING FILE: 4087DS-ALT.DWG

SCALE: 24" x 36" - N.T.S.
11" x 17" - N.T.S.

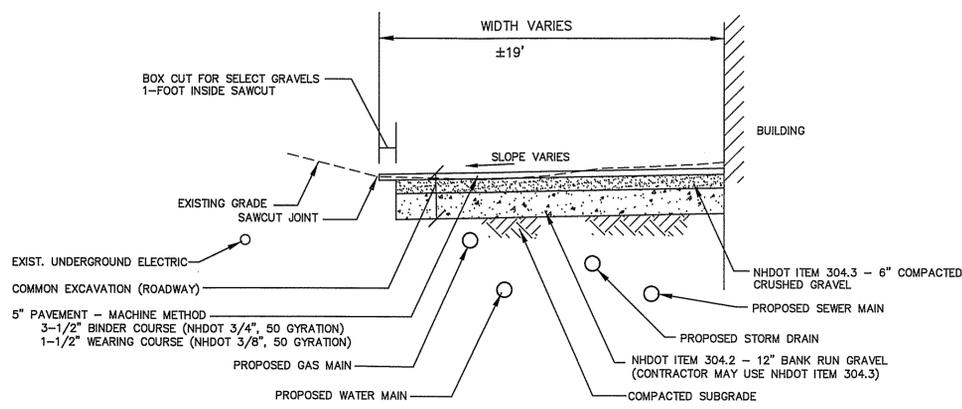
OWNER:

CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

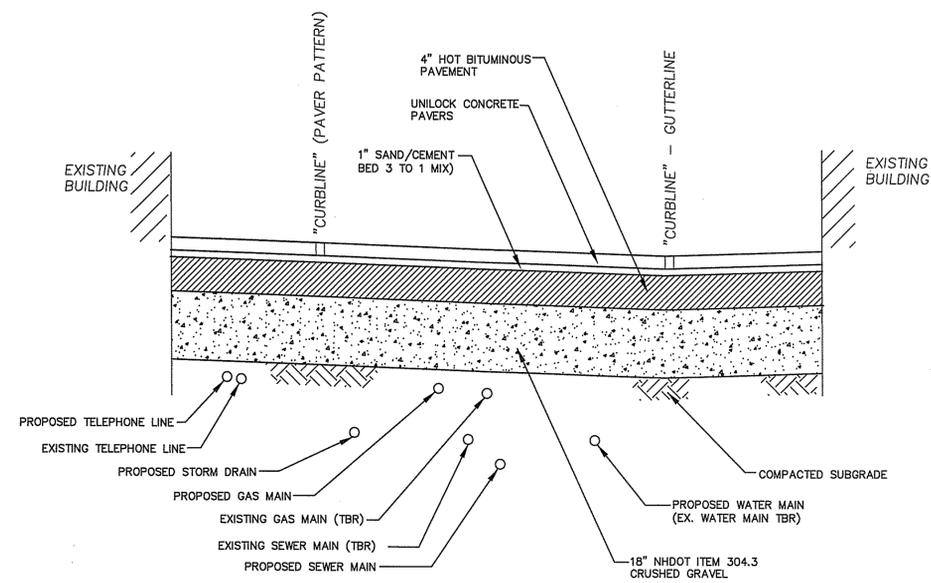
PROJECT: CONGRESS & CHESTNUT STREET STREETScape & UTILITIES PROJECT
CONGRESS STREET TO PORTER STREET

TITLE: **DETAIL SHEET**

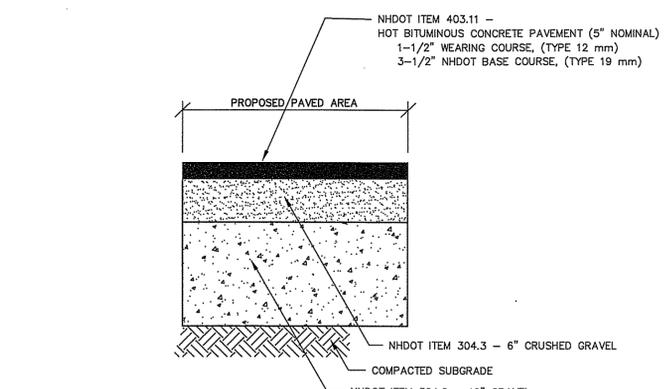
SHEET NUMBER: **D-2**



TYPICAL SECTION PORTER STREET NOT TO SCALE

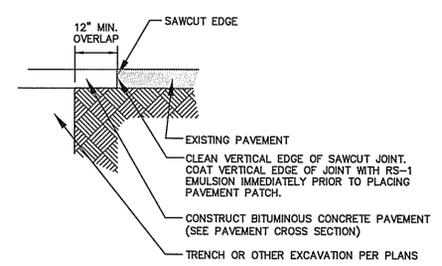


TYPICAL SECTION CHESTNUT STREET NOT TO SCALE



- NOTES:**
1. ALL LOAM, CLAY, MUCK, ORGANIC AND/OR YIELDING MATERIAL SHALL BE REMOVED TO A DEPTH OF NO LESS THAN 22" BELOW FINISH GRADE. INSTALL COMPACTED SAND OR GRAVEL BORROW TO SUBGRADE, AS NECESSARY.
 2. SUBGRADE SHALL BE FREE OF VOIDS THAT ALLOW MOVEMENT/SETTLEMENT OF MATERIALS.
 3. SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED DUMP TRUCK PRIOR TO PLACEMENT OF GRAVEL. PROOF ROLLING TO BE VIEWED AND APPROVED BY ENGINEER.

TYPICAL SECTION CONGRESS STREET NOT TO SCALE

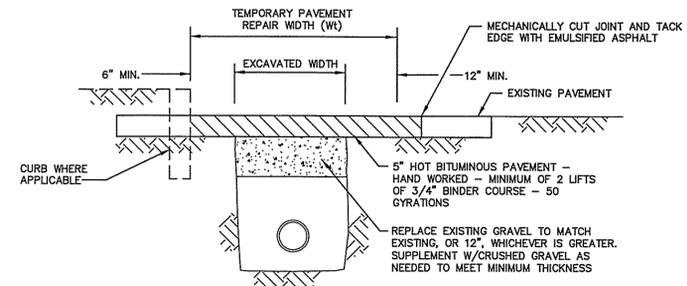


TYPICAL PAVEMENT SAWCUT NOT TO SCALE

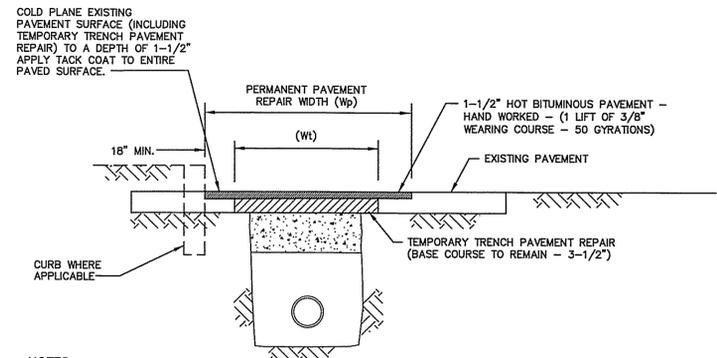
MINIMUM TRENCH PAVEMENT WIDTHS

PIPE I.D.	Wt (INCHES)	Wp (INCHES)
1-21 INCHES	WE (INCHES)	Wp (INCHES)
24-30 INCHES	WE (INCHES)	Wp (INCHES)
> 30 INCHES	WE (INCHES)	Wp (INCHES)

NOTE:
THE DIMENSIONS SHOWN SHALL BE CONSIDERED MAXIMUM PAVEMENT PAYMENT WIDTHS FOR 0-10' DEEP CONSTRUCTION. Wt AND Wp SHALL BE INCREASED BY 4"-0" FOR TRENCHES 10' TO 15' IN DEPTH AND BY 8"-0" FOR TRENCHES 15' TO 20' IN DEPTH.

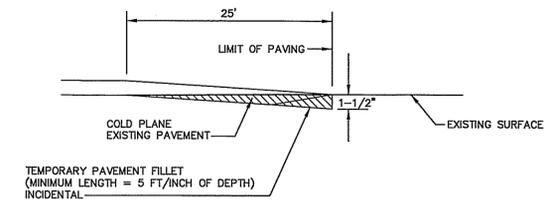


TEMPORARY TRENCH PAVEMENT REPAIR NOT TO SCALE



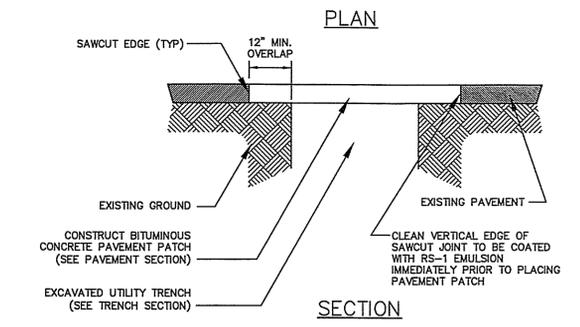
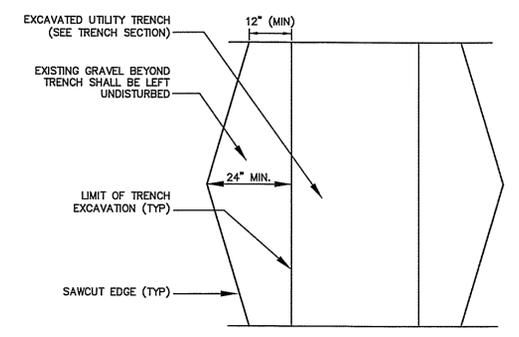
- NOTES:**
1. ALL PAVEMENT REMOVAL SHALL BE PRECEDED BY MECHANICAL SAW CUTTING.
 2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.

PERMANENT TRENCH PAVEMENT REPAIR NOT TO SCALE



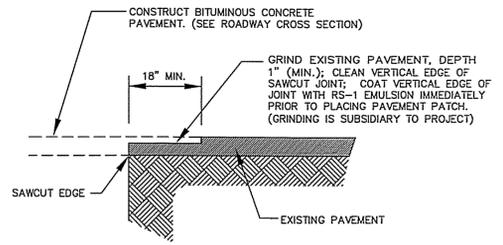
NOTE:
THE LENGTH OF THE TAPER MAY BE ADJUSTED AS ORDERED TO PROVIDE FOR VARYING FIELD CONDITIONS OR CHANGES IN SINGLE COURSE DEPTH.

OVERLAY PAVEMENT MATCH NOT TO SCALE

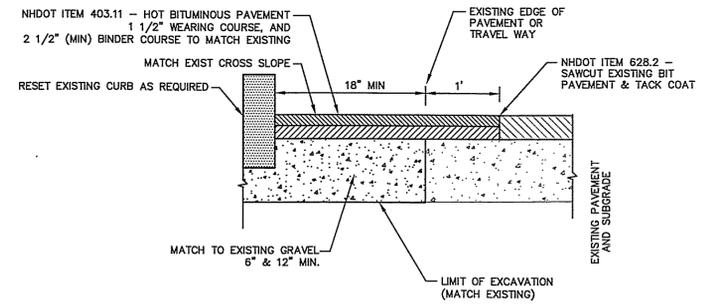


- NOTES:**
1. MACHINE CUT EXISTING PAVEMENT.
 2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
 3. DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

TYPICAL TRENCH PATCH NOT TO SCALE



TYPICAL PAVEMENT TRANSITION DETAIL NOT TO SCALE



SAWCUT AND PAVEMENT PATCH NOT TO SCALE

ENGINEER:
ALTUS ENGINEERING, INC.
133 COURT STREET PORTSMOUTH, NH 03801
(803) 433-2335 www.ALTUS-ENG.com

Professional Engineer Seal for Eric D. Weinrieb, No. 7634, State of New Hampshire, License No. 61117.

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ISSUE DATE: JUNE 16, 2017
REVISIONS:
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APPROVED BY: EDW
DRAWING FILE: 4087DS-ALT.DWG

SCALE:
24" x 36" - N.T.S.
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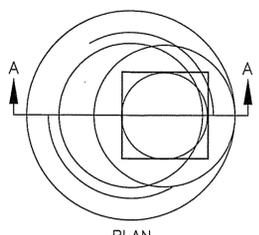
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1 JUNKINS AVENUE
PORTSMOUTH, N.H. 03801

PROJECT:
CONGRESS & CHESTNUT STREET STREETScape & UTILITIES PROJECT
CONGRESS STREET TO PORTER STREET

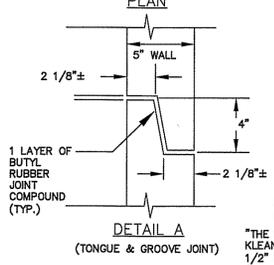
TITLE:
DETAIL SHEET

SHEET NUMBER:
D-4

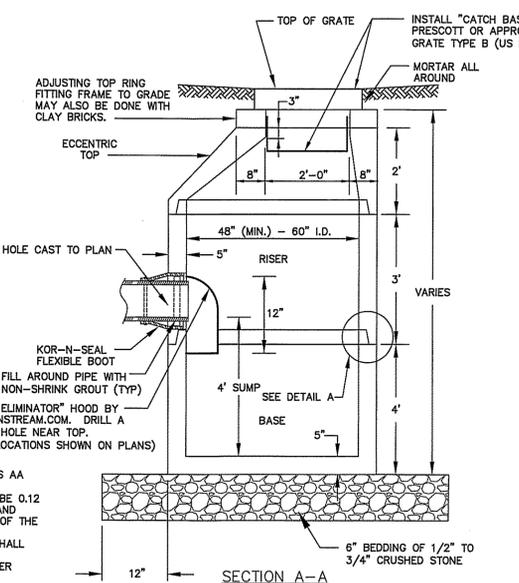
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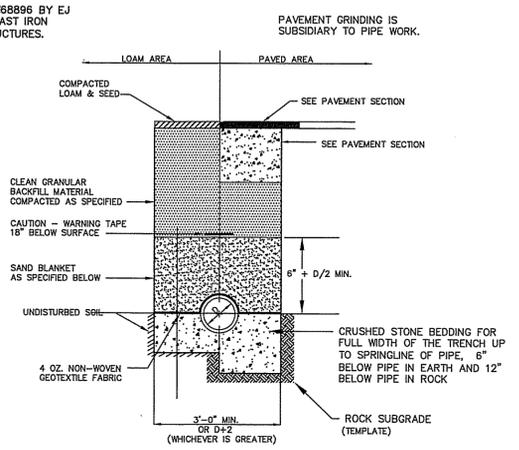
USE H-20 LOADING SLAB TOP SECTION IN LIEU OF ECCENTRIC TOP WHERE PIPE INVERT IS WITHIN 4 FT OF GRADE



- NOTES:**
- ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI).
 - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 - THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
 - RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
 - THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.



CATCH BASIN DETAIL NOT TO SCALE

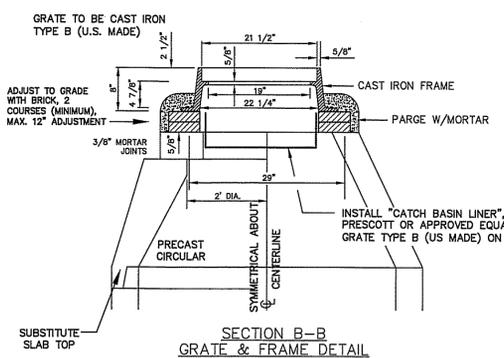


BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

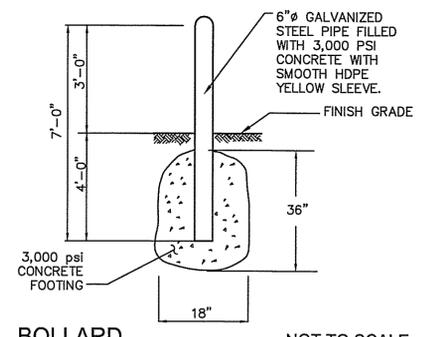
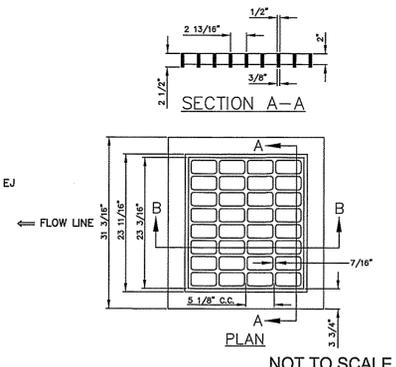
SAND BLANKET/BARRIER		CRUSHED STONE BEDDING	
SI-EV SIZE	% FINER BY WEIGHT	SI-EV SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

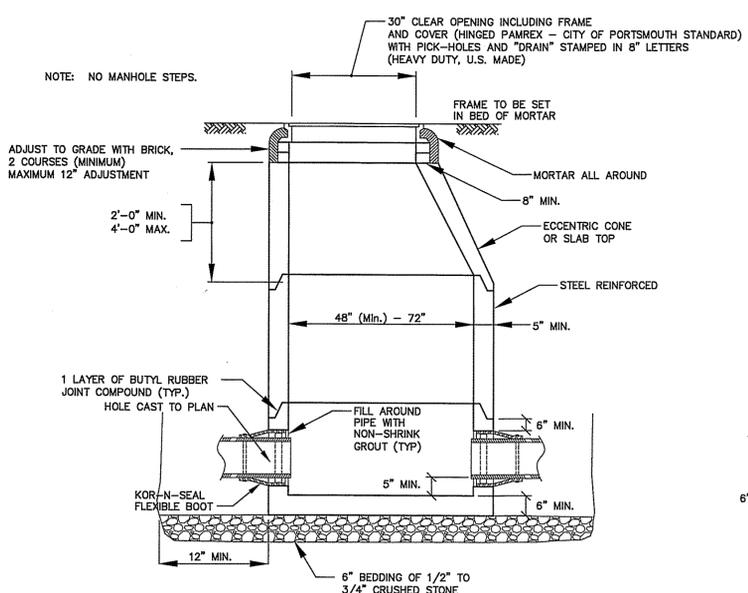
DRAIN TRENCH SECTION NOT TO SCALE



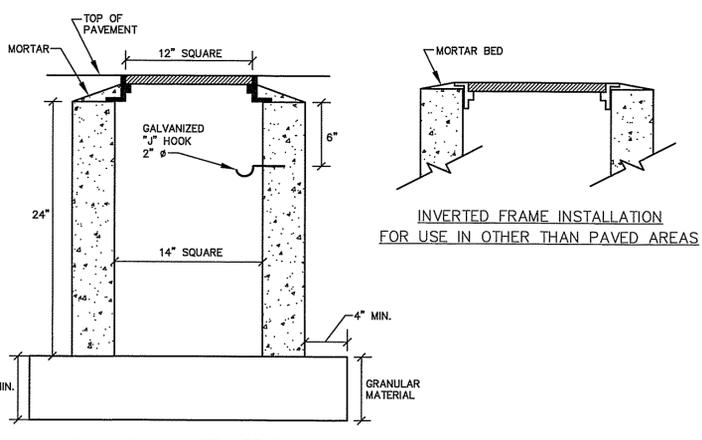
CATCH BASIN FRAME & GRATE (TYPE B) NOT TO SCALE



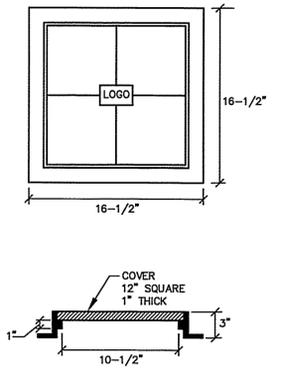
BOLLARD NOT TO SCALE



DRAIN MANHOLE DETAIL NOT TO SCALE



CONCRETE PULL BOX (14" X 14") FOR USE IN PAVED AREAS (SIDEWALKS & PAVED ISLANDS ONLY) NOT TO SCALE



VERTICAL GRANITE CURB NOT TO SCALE

ROOF LEADER CONNECTION NOT TO SCALE

O-Series: Offset Downspout Boots

NOTES:

As manufactured by: J.R. Hoe & Sons Inc. 101 Ironwood Rd., Middlesboro, KY 40965 1-800-245-5521 | www.downspoutboots.com

Manufactured from ASTM A-48 Class 30 Gray Iron

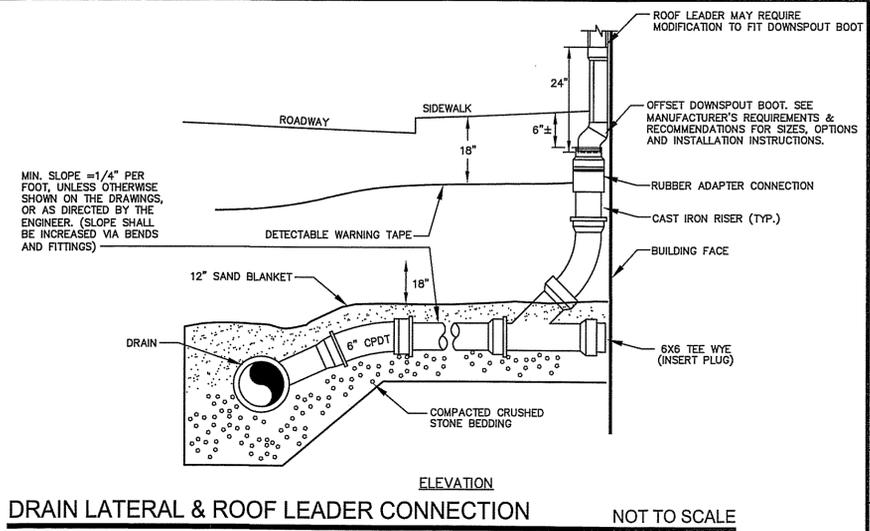
Side cleanout a standard option for all downspout boots 20" or greater in length. Cast iron cover with neoprene gasket is fastened over cleanout window on main body with stainless steel tamper proof screws.

Downspout boots over 40" in length are supplied in 2-piece assemblies for ease of installation.

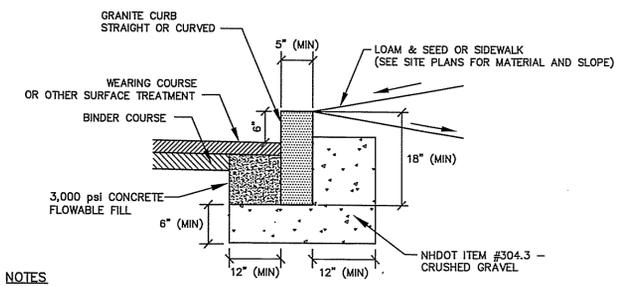
Install downspout boots with stainless steel expansion anchors where integral lug slots meet the building wall.

Downspout boots feature contoured, flow-efficient interior design; no boxed corners, weld seams, or choke points that increase risk of clogging.

NOTE: DETAIL PROVIDED BY MANUFACTURER.



DRAIN LATERAL & ROOF LEADER CONNECTION NOT TO SCALE



- NOTES:**
- SEE PLANS FOR CURB LOCATION.
 - SEE PLANS FOR PAVEMENT CROSS SECTION.
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 - MINIMUM LENGTH OF CURB STONES = 4'.
 - MAXIMUM LENGTH OF CURB STONES = 10'.
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
 - CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALLED FOR ON THE PLANS.
 - CURB SHALL BE INSTALLED PRIOR TO PLACEMENT OF TOP PAVEMENT COURSE.
 - JOINTS BETWEEN CURB STONES SHALL BE MORTARED.

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

VERTICAL GRANITE CURB NOT TO SCALE

ENGINEER:

ALTUS ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



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CONGRESS & CHESTNUT STREET
STREETSCAPE & UTILITIES
PROJECT

CONGRESS STREET TO PORTER STREET

TITLE:

DETAIL SHEET

SHEET NUMBER:

D-5

