

CITY OF PORTSMOUTH
Department of Public Works

ADDENDUM #1

THIS ADDENDUM FORMS PART OF THE ORIGINAL DOCUMENT MARKED:
BID# 14-21 Central Fire Station Bathrooms and Kitchen Renovations

Bidder must acknowledge receipt of this Addendum with your proposal.

Clarifications:

1. Is the Maintenance Bond (20%) intended to be included in bid costs or is this something to be added at a later date, if requested by the City of Portsmouth.
A. Bidders should not include maintenance bond costs in their bid.

2. Who owns responsibility for the Hazardous Material Testing and Actual Abatement? No Report issued. Drawings note it is “By Contractor” and project specifications notes “By Owner”.
A. All painted surfaces are assumed to contain lead, thus lead safe work practices are to be used in the performance of this work; particularly demolition. A visual risk assessment for asbestos containing material (ACM) was performed at the site and one item, resilient floor tile, tested negative for asbestos.
In the event hidden ACM is encountered, the Owner will have it tested immediately. If the material contains asbestos, the Contractor shall retain the services of an abatement company to legally remove and dispose of it. Upon completion of the abatement, The Owner will compensate the Contractor cost plus 10% as a Change Order.

3. Roof Repair Allowance- How is this to be handled? Will the City of Portsmouth provide detailed scope or provide an “Allowance” value for the bidders to carry?
A. Bidders will carry a \$5,000 Allowance for roof repairs. Upon completion of the repairs, the Owner will compensate the Contractor cost plus 10% as a Change Order.

4. Builders Permit- Will a Building Permit be required and is this something the contractor will be responsible or will the City of Portsmouth provide?
A. All municipal permits and inspections (building, electrical, mechanical, etc.) are required. Municipal inspection fees are waived.

5. REF: SECTION 011000 – SUMMARY PART 1 – GENERAL 1.1 SUMMARY OF WORK
A.2. Maintenance repairs to the roof and roof access: Please define Scope of Work
A. See SECTION 075323 - ETHYLENE-PROPYLENE-DIENE-MONOMER (EPDM) ROOFING and ADDENDUM 1, Question 3 above.

6. REF: SECTION 011000 - SUMMARY PART 1 - 1.3 WORK IN OTHER DIVISIONS AND BY OTHER CONTRACTORS: WHAT WORK IS PLANNED BY THE CITY OR OTHER CONTRACTORS?
A. No work is planned at this time. Unforeseen work could develop.

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7. WHAT COORDINATION ACTIVITIES ARE REQUIRED BY THE CONTRACTOR?
A. Cooperation with others is required.
8. IS CITY REQUESTING THE CONTRACTOR SUPERVISE OTHER CONTRACTORS?
A. No.
9. REF: SECTION 013000 - ADMINISTRATIVE REQUIREMENTS PART 1 – GENERAL 1.1 PROJECT MANAGEMENT AND COORDINATION C. Schedule and conduct progress meetings with Owner at Project site as needed, or as requested by Owner. Required attendance of each subcontractor or other entity concerned with current progress or involved with planning or coordination of future activities. AT What Frequency will Project Meetings Be Held?
A. It is anticipated that the Contractor and Owner will meet weekly on site.
10. REF: SECTION 016000 – PRODUCT REQUIREMENTS: WHAT PRODUCTS IS THE CITY LOOKING FOR SUBMITTALS FOR?
A. Submittals are required for:
1. All finishes, cabinets, fixtures, PA and fire prevention equipment.
2. Any substitutions to basis of design or other specified materials.
3. Closeout submittals are required for final payment. See **SECTION 017000 - EXECUTION AND CLOSEOUT REQUIREMENTS.**
11. REF: SECTION 024119 – SELECTIVE STRUCTURE DEMOLITION: WHAT ARE THE EXISTING WALL TYPES?
A. Masonry and wood frame walls
12. REF: SECTION 062000 – FINISH CARPENTRY PART 1 – GENERAL 1.1 SECTION INCLUDES B. Custom woodwork items including but not limited to door and window trim. What custom woodwork items are being requested?
A. Any woodwork that needs to be replaced to match existing that is disturbed by construction.
13. REF: SECTION 062000 – FINISH CARPENTRY PART 1 – GENERAL 1.1 SECTION INCLUDES A. Repair attic access to be safely functional. Please define scope of work??
A. Provide a mechanism that will securely lock and unlock the attic access door from standing on the floor below
14. REF: SECTION 075323 – ETHYLENE-PROPYLENE-DIENE-MONOMER (EPDM) ROOFING PART 1 – GENERAL 1.1 SUMMARY A. Repair all seams on EPDM roof as needed. Please Clarify Conflicting Scope of Work?
A. See Question 3 above.

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15. REF: GENERAL: ARE THEY'RE MEP PLANS AVAILABLE OF THE EXISTING CONFIGURATIONS FOR PIPING, DUCTING AND WIRING?

A. No.

16. IS THERE ATTIC ACCESS ABOVE KITCHEN/CORRIDOR / BATHROOM CEILINGS?

A. No.

17. REF: 14-21 EXHIBIT 1 DETAIL 1 & 3, SHOWS CONFLICTING SCOPE OF WORK TO BE COMPLETED TO WHAT IS ACTUALLY ONSITE, PLEASE CLARIFY THE SCOPE OF WORK.

A. Workscope includes renovating existing conditions to detail 3. Specific discrepancies with drawings are to be noted by the contractor.

18. REF: 14-21 EXHIBIT 1 DETAIL 3 BATHROOM/CORRIDOR/KITCHEN PLEASE CLARIFY SCOPE OF WORK FOR WALLS & CEILING?

A. New and Existing walls and ceilings will be prepped and painted two coats latex.

19. REF: SECTION 093013 – CERAMIC TILING: WHERE WILL THE CERAMIC TILE BE INSTALLED? BATHROOM WALLS? KITCHEN BACK SPLASH?

A. The kitchen counter backsplash will receive ceramic tile.

20. REF: PAINTS & COATINGS: PLEASE DEFINE SCOPE OF WORK?

A. All new drywall will receive primer and two coats of latex paint. Existing drywall and ceilings will be prepped and finished with two coats of latex paint.

21. REF: SECTION 102800 – TOILET, BATH, AND LAUNDRY ACCESSORIES PART 1 – GENERAL 1.2 SECTION INCLUDES B. Electric hand/hair dryers. C. Utility room accessories. WHAT IS THE ELECTRICAL HAND DRYER SPECIFICATION? & ARE THEY'RE TO BE A HAND DRYER IN EACH OF THE NEW BATHROOMS?

A. Use the following spec for hand dryers:

A. Electric Dryers: Traditional fan-in-case type, with downward nozzle.

1. Operation: Automatic, sensor-operated on and off.
2. Style: Contemporary styling, fixed nozzle.
3. Mounting: Semi-recessed.
4. Cover: Stainless steel with brushed finish.
 - a. Tamper-resistant screw attachment of cover to mounting plate.
5. Air Velocity: 18,000 linear feet per minute, minimum, at full power.
6. Heater: 500 W, minimum, at full power.

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7. Total Wattage: 1400 W, maximum.
8. Runtime: Field adjustable or automatic, up to 35 seconds.
9. Warranty: 3 years.
10. Electric Hand Dryer Products:
 - a. Toto HDR 111#SS.
 - b. Dyson Airblade V Series AB12.
 - c. Excel Dryer Inc.; XLERATOR: www.exceldryer.com.
 - d. Substitutions: Section 01 6000 - Product Requirements.

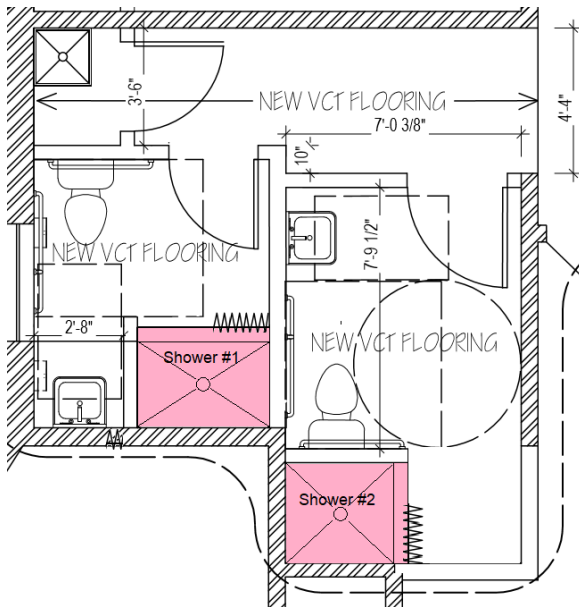
22. SECTION 224000 – PLUMBING FIXTURES PART 2 – PRODCUTS 2.1 SHOWER A.
Shower Enclosure: One (1) each 54” x 30” multi piece unit, and one (1) 30” x 30” multi piece unit: SPECIFICATIONS CONFLICT WITH DRAWN SHAPES & SIZES? SHOULD CONTRACTOR BID SPECIFICATIONS OR DRAWINGS PLEASE ADVISE?

A. Frame openings for shower enclosures to receive one each of the following:

1. Shower #1: Best Bath Systems Model 4LRS4832.V2
2. Shower #2: Best Bath Systems Model 4RS3636.V2

B. Shower accessories to include:

- a. Caulkless Brass Drain with Chrome Screen
- b. 4” Curb height
- c. Curtain Rod/Brackets and Rings
- d. Heavy Vinyl Shower Curtain



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23. THE CURRENT FLOOR PLAN DEPICTS AN 18" VERTICAL GRAB BAR IN THE EXISTING WINDOW, PLEASE ADVISE.
- A. Mount grab bar below the window. Exact height to be determined in the field.
24. REF: SECTION 113100 – KITCHEN APPLIANCES: WILL THE CONTRACTOR OR THE CITY BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF EXISTING APPLIANCES SCHEDULED FOR REPLACEMENT?
- A. Owner will remove and reset existing appliances and equipment.
25. Are you accepting equal quality options for the pre-fabricated kitchen cabinets?
- A. Owner will consider substitutions upon viewing product information submittal.
26. Would 1 ½" stone counter top be an approved alternate in lieu of the specified ¾" thick slab?
- A. Yes.
27. Is the intent to patch & paint the existing bathroom ceiling (after wall demolition & mechanical demo/install) or install new acoustical ceilings?
- A. See 21 above. No acoustical ceilings are scheduled. All existing painted surfaces will receive two coats of latex paint.
28. Is there a door schedule available for door, frame & hardware types?
- A. Flush wood doors with clear finish are specified. Bath doors to receive privacy lock sets.
29. Is there a room finish schedule available? More specifically, for wall finishes in the new/expanded bathrooms and wall & floor finishes for 1st floor bathroom?
- A. 1. All new and existing drywall and painted masonry surfaces will be painted.
2. Ceramic tile backsplash will be installed above the kitchen base cabinets to the underside of wall cabinets
3. All floors will receive vinyl tile.
30. Note on 1st floor demolition plan states ""salvage door & reverse swing to accommodate ADA requirements" and also states "widen opening to achieve min width". Please clarify
- A. The door is to open out into the hallway per drawing. A 32" clear opening is required.
31. Is the intent to cut, cap and remove the baseboard heat in the 1st floor bathroom?
- A. Baseboard heat will be moved to accommodate the new toilet placement.

END OF ADDENDUM 1