

AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

17 November 2022

Peter Stith, Technical Advisory Committee Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Lot Line Relocation Application at 184 Walker Bungalow Road and 27 Shaw Road, Tax Map 223 / Lots 18 and 19

Dear Mr. Stith:

On behalf of Brian Neste, Brady Byrd, and Austin Repair and Renovation, LLC we hereby submit the attached and enclosed Lot Line Relocation Plan for a proposed minor revision to the property line between **184 Walker Bungalow Road and 27 Shaw Road**. The project consists of the transfer of 3,834 Square feet of land from Tax Map 223 Lot 18 to Tax Map 223 Lot 19. No new construction is contemplated at this time; but construction will occur in the future. We hereby request that we be placed on the Agenda for **Technical Advisory Committee Review** at the **TAC Meeting of December 6, 2022**.

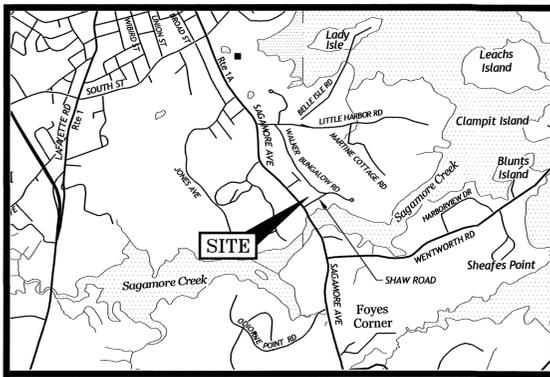
The proposed change does not result in any dimensional deficiencies in the revised parcels, while making one of the parcels more conforming as it will now meet the lot area requirement. The Shaw Road parcel, Tax Map 223 Lot 18, was recently subdivided, and the plan recorded at RCRD D-43498. The approved subdivision plan created a drainage easement on the parcel; shown on the lot line relocation plan submitted herewith. In the future lot development, there is planned to be a drainage pond constructed partially on the area of the 27 Shaw Road parcel that is intended to be conveyed to 184 Walker Bungalow Road. In order to preserve the future right of the 27 Shaw Road (or other) property owner to construct the drainage feature the attached Lot Line Relocation plan shows the area as a *Future Drainage Pond*. That area of the conveyed property will be conveyed subject to a deed reservation for that purpose. In accordance with the city approval requirements TAC review of the proposed easement is required. We hereby submit for that purpose.

We look forward to the TAC review of this submission. If there are any questions or comments, please feel free to reach out to me. We look forward to an in-person presentation at the December TAC Meeting.

Sincerely,

John R. Chagnon

John R. Chagnon, PE
CC: Project Team



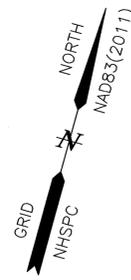
LOCATION MAP SCALE: 1" = 2000'

PLAN REFERENCES:

- 1) PROPERTY STAKEOUT SKETCH OWNER: IRAN L. NESTE & BRADY J. BYRD 184 WALKER BUNGALOW ROAD CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE PREPARED BY AMBIT ENGINEERING, INC. DATED 11/11/2009.
- 2) SUBDIVISION PLAN, PROPOSED SUBDIVISION 27 SHAW ROAD, PORTSMOUTH, NH. SCALE: 1" = 20', DATED 11/18/21, PREPARED BY JONES AND BEACH ENGINEERS, INC., NOT RECORDED
- 3) LOT LINE REVISION PORTSMOUTH, N.H., FOR JAMES & VERONICA VAROTSIS. SCALE: 1" = 30', DATED: NOVEMBER 1976, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD C-6463.
- 4) SUBDIVISION PLAN, TRACING OF PROPOSED LAND TRANSFER PLAN FOR HAROLD H. SHAW & BARBARA L. KEENE, WALKER BUNGALOW ROAD, COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H., SCALE 1" = 30', DATED AUG 25, 1985, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, RCRD D-14539.
- 5) SUBDIVISION PLAN TAX MAP 223 LOT 18 PROPOSED SUBDIVISION 27 SHAW ROAD, PORTSMOUTH, NH. PREPARED BY JONES & BEACH ENGINEERS, INC. DATED 8/31/22. R.C.R.D. PLAN #D-43498.

LEGEND:

- | | |
|---------|-------------------------|
| N/F | NOW OR FORMERLY |
| RP | RECORD OF PROBATE |
| RCRD | ROCKINGHAM COUNTY |
| | REGISTRY OF DEEDS |
| (11/21) | MAP 11 / LOT 21 |
| --- | BOUNDARY |
| --- | SETBACKS |
| ○ | RAILROAD SPIKE FOUND |
| ○ | IRON ROD/PIPE FOUND |
| ○ | DRILL HOLE FOUND |
| ■ | STONE/CONCRETE |
| ■ | BOUND FOUND |
| ■ | RAILROAD SPIKE SET |
| ○ | IRON ROD SET |
| ○ | DRILL HOLE SET |
| ■ | GRANITE BOUND SET |
| --- | EDGE OF PAVEMENT (EP) |
| --- | WOODS / TREE LINE |
| ⊕ | UTILITY POLE (w/ GUY) |
| TYP. | TYPICAL |
| LSA | LANDSCAPED AREA |
| --- | OVERHEAD ELECTRIC/WIRES |



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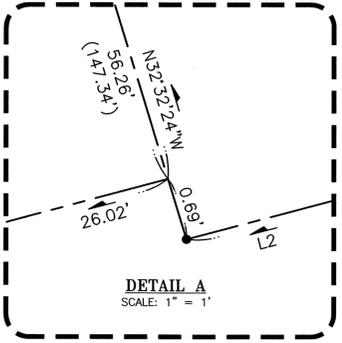
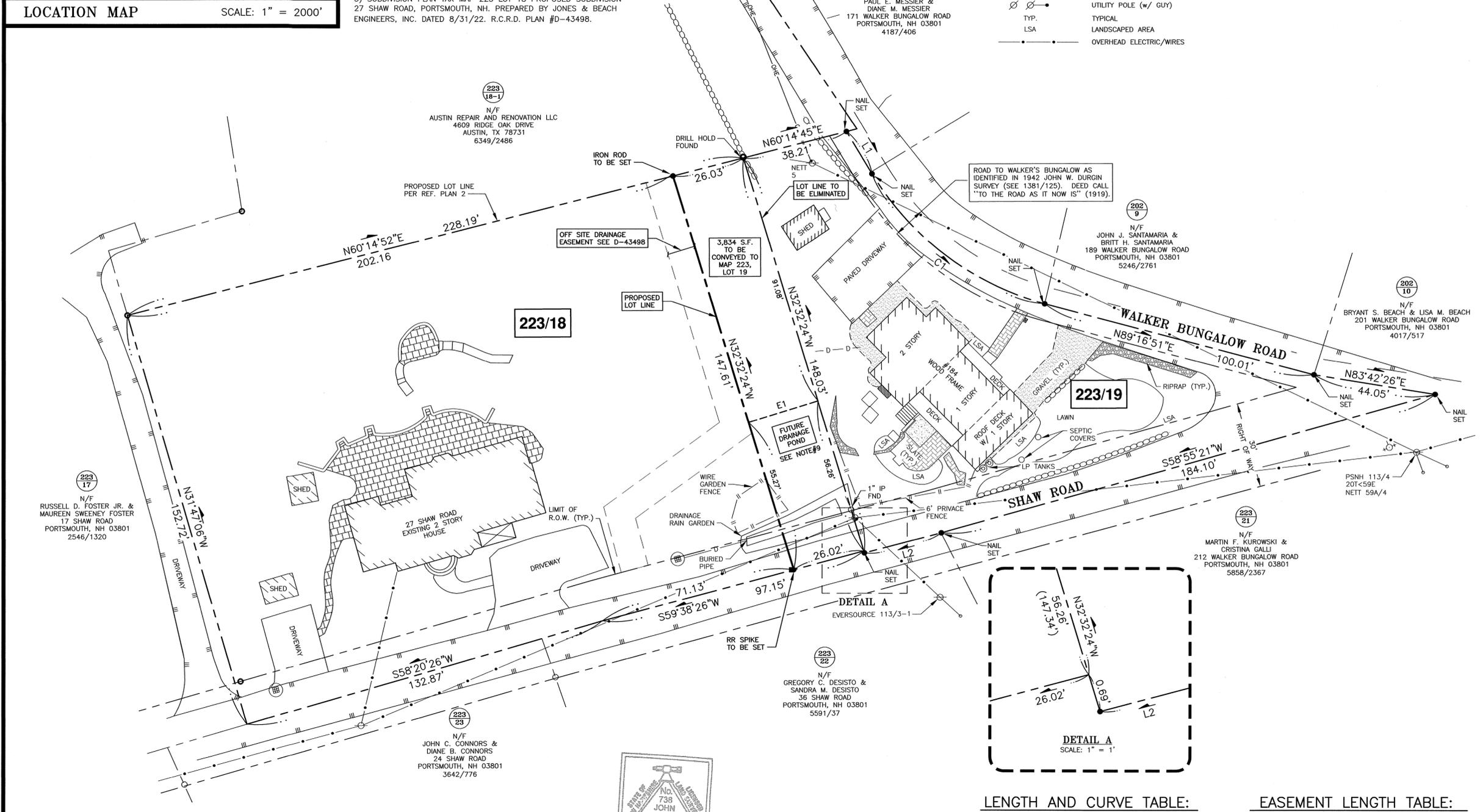
NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 223 AS LOTS 18 & 19
- 2) OWNERS OF RECORD:
 LOT 18
 AUSTIN REPAIR AND RENOVATION LLC
 4609 RIDGE OAK DRIVE
 AUSTIN, TX 78731
 6349/2486

 LOT 19
 BRIAN L. NESTE & BRADY J. BYRD
 184 WALKER BUNGALOW ROAD
 PORTSMOUTH, NH 03801
 3960/629
- 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0286F. EFFECTIVE DATE JANUARY 29, 2021.
- 4) EXISTING LOT AREAS:
 LOT 18 34,205 S.F. 0.7852 ACRES
 LOT 19 14,489 S.F. 0.3326 ACRES

 PROPOSED LOT AREAS:
 LOT 18 30,370 S.F. 0.6972 ACRES
 LOT 19 18,323 S.F. 0.4206 ACRES
- 5) PARCEL IS LOCATED IN THE SINGLE RESIDENCE B (SRB) ZONING DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
 MIN. LOT AREA: 15,000 SQ.FT.
 MIN. FRONTAGE: 100 FEET
 MIN. DEPTH: 100 FEET
 SETBACKS: FRONT 30 FEET
 SIDE 10 FEET
 REAR 30 FEET

 MAXIMUM BUILDING HEIGHT: SLOPED ROOF 35 FEET
 FLAT ROOF 30 FEET
 MAXIMUM STRUCTURE COVERAGE: 20%
 MINIMUM OPEN SPACE: 40%
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED LOT LINE RELOCATION BETWEEN LOTS 18 AND 19 ON ASSESSOR'S MAP 223.
- 8) PER THE CITY OF PORTSMOUTH LEGAL DEPARTMENT MEMORANDUM DATED APRIL 30, 2021 SHAW ROAD IS A PUBLIC WAY ESTABLISHED BY PRESCRIPTION.
- 9) THE AREA TO BE CONVEYED IS SUBJECT TO A RESERVATION FOR USE AS A DRAINAGE POND.



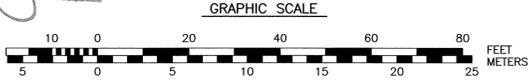
LENGTH AND CURVE TABLE:

LINE	BEARING	DISTANCE
L1	S46°43'04"E	17.71'
L2	S59°54'57"W	28.53'

EASEMENT LENGTH TABLE:

LINE	BEARING	DISTANCE
E1	N 57°27'36" E	26.00'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	104.46'	79.40'	77.50'	S68°31'49"E	43°33'01"



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

JOHN R. CHAGNON, LLS #738 11-17-22 DATE _____

NO.	DESCRIPTION	DATE
2	NOTES 8-10	11/17/22
1	DRAIN EASEMENT	9/23/22
0	ISSUED FOR COMMENT	4/22/22

LOT LINE RELOCATION PLAN
TAX MAP 223 LOTS 18 & 19
AUSTIN REPAIR & RENOVATION LLC
AND
BRIAN L. NESTE & BRADY J. BYRD
27 SHAW ROAD &
184 WALKER BUNGALOW ROAD
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE
SCALE: 1"=20' MARCH 2022