

HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480
Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

August 31, 2022

HAND DELIVERED

Peter Stith, Principal Planner
Portsmouth City Hall
1 Junkins Avenue
Portsmouth, NH 03801

Re: Mary McDonald and John McDonald III, Owner/Applicant
Property Location: 74 Sunset Road
Tax Map 153, Lot 14
Single Residence B ("SRB")

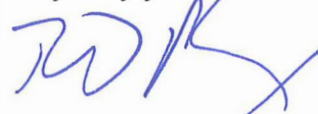
Dear Mr. Stith & Zoning Board Members:

On behalf of Mary McDonald and John McDonald III, enclosed please find the following in support of a request for zoning relief:

- Digital Application submitted via Viewpoint earlier today.
- Owner's Authorization.
- 8/31/2022 -- Memorandum and exhibits in support of Variance Application

We look forward to presenting this application to the Zoning Board at its September 20, 2022 meeting.

Very truly yours,



R. Timothy Phoenix

Enclosure

cc: Mary McDonald & John McDonald III
Eric Weinrieb, Altus Engineering
Butch Ricci, Ricci Construction

DANIEL C. HOEFLE
R. TIMOTHY PHOENIX
LAWRENCE B. GORMLEY
STEPHEN H. ROBERTS

R. PETER TAYLOR
KEVIN M. BAUM
GREGORY D. ROBBINS
MONICA F. KIESER

JACOB J.B. MARVELLEY
DUNCAN A. EDGAR
STEPHANIE J. JOHNSON

OF COUNSEL:
SAMUEL R. REID
JOHN AHLGREN

MEMORANDUM

TO: Portsmouth Zoning Board of Adjustment (“ZBA”)
FROM: R. Timothy Phoenix, Esquire
DATE: August 31, 2022
Re: Mary McDonald and John McDonald III, Owner/Applicant
Property Location: 74 Sunset Road
Tax Map 153, Lot 14
Single Residence B (“SRB”)

Dear Chairman Parrott and Zoning Board Members:

On behalf of Mary McDonald and John McDonald III (“McDonald”) Owner/Applicant (“McDonald”), we are pleased to submit this memorandum and attached exhibits in support of zoning relief to slightly expand their existing home.

I. EXHIBITS

- A. Board of Adjustment Site Plan-by Altus Engineering, Inc.
- B. Architectural Plans -by THA Architects.
- C. Site Photographs.
- D. Tax Map 153.

II. PROPERTY/PROJECT

74 Sunset Rd. is an 8936 ft.² lot upon which is located a +/-1300 sf (footprint) 4-bedroom cape style home, detached one car garage with a shed attached to it. The home (right) and garage (left) each slightly violate the side setbacks. At 23.4% (2093 ft.²), building coverage slightly exceeds the SRB limit of 20%. The front of the house meets but is very close to the 24 foot front setback.

McDonald proposes a reasonably modest project to include addition of a 240 ft.² entry porch with stairway access, front dormers to expand the 2nd floor (remaining 4-bedrooms), breezeway to attach the home to the detached garage, and the addition of a “doghouse” frame over the existing bulkhead. A right setback encroaching set of steps will be removed. The dormer, breezeway and doghouse all meet building setback requirements. Relief is required because the proposed entry porch, which must be attached to the house at its existing location, at 17 feet, will be within the 24 foot front setback. The front steps are setback at 16 ft. +/- . The project slightly further increases building coverage 3.1% (275 sf) (from 23.4% (2093sf) to

26.5% (2368 sf), all very reasonable given the size of the lot and the size and location of the home and garage upon the lot. A new front drip edge will control stormwater.

III. RELIEF REQUIRED

<u>Variance Section</u>	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
<u>PZO§10.521</u> <u>Front Setback</u>	24'	25'+/-	17' house/16' +/- steps over 18"
<u>Building Coverage</u>	20%	23.4%+/-	26.5% +/-

IV. VARIANCE REQUIREMENTS

1. The variances will not be contrary to the public interest.
2. The spirit of the ordinance is observed.

The first step in the ZBA's analysis is to determine whether granting the variances are not contrary to the public interest and are consistent with the spirit and intent of the ordinance, considered together pursuant to Malachy Glen Associates, Inc. v. Town of Chichester, 155 N.H. 102 (2007) and its progeny. Upon examination, it must be determined whether granting the variances "would unduly and to a marked degree conflict with the ordinance such that it violates the ordinance's basic zoning objectives." Id. "Mere conflict with the zoning ordinance is not enough." Id.

Portsmouth Zoning Ordinance ("PZO") Section 10.121 identifies the general purposes and intent of the ordinance "to promote the health, safety, and general welfare of Portsmouth...in accordance with the...Master Plan" This is accomplished by regulating:

1. The use of land, buildings and structures for business, industrial, residential and other purposes - This is a relatively modest expansion of the home on a small lot that makes the home more "livable." The use is permissible and the relief is slight.
2. The intensity of land use, including lot sizes, building coverage, building height and bulk, yards and open space – A single-family home exists and will remain. While variance relief is required for the entry porch, and slightly increased building coverage, the intensity of the land use is not increased.
3. The design of facilities for vehicular access, circulation, parking and loading – No change.

4. The impact on properties of outdoor lighting, noise, vibration, stormwater runoff and flooding – No change.
5. The preservation and enhancement of the visual environment – The entry porch, dormer and breezeway will improve both the livability and aesthetics of the home.
6. The preservation of historic districts and building and structures of historic architectural interest – This lot is not in the historic district; however, the project will improve the aesthetics of the home.
7. The protection of natural resources, including groundwater, surface water, wetlands, wildlife habitat and air quality - No change.

In considering whether variances “in a marked degree conflict with the ordinance such that they violate the ordinance’s basic zoning objectives,” Malachy Glen, supra, also held:

One way to ascertain whether granting the variance would violate basic zoning objectives is to determine whether it would alter the essential character of the locality... . Another approach to [determine] whether granting the variance violates basic zoning objectives is to examine whether granting the variance would threaten the public health, safety or welfare. (emphasis added)

There are many smallish houses on small lots in the vicinity. The 17 foot (home), 15 foot (steps) front setback is reasonable when considering the rights of the owners versus the general public. Similarly, a slight increase in lot coverage from 23.4% to 26.5% is reasonable. The changes affect no one other than the McDonald family. Accordingly, granting the variance neither alters the essential character of the locality, nor threatens the public health, safety or welfare.

3. Granting the variances will not diminish surrounding property values.

The changes are relatively modest, and improve the look and livability of the existing home and lot. Sightlines will be maintained, with sufficient air and light considering that the improvements are no closer to the nearest neighbors to each side than existing conditions. Stormwater will be managed via the drip edge. There are numerous nearby homes on similarly small lots with setback encroachments. Thus, surrounding property values will in no way be diminished.

4. Denial of the variances results in an unnecessary hardship.

- a. Special conditions distinguish the property from others in the area.

The subject lot is approximately 40% smaller than the 15,000 ft.² SRB requirement. The existing home is very close to the front lot line. The right side of the home and the left side of the garage each slightly violate the right and left setbacks respectively. Building coverage presently slightly exceeds the 20% limit. Any addition or other improvement must be undertaken at the location of the existing home. A modestly-sized entry porch and breezeway connecting the house and garage can only be located as proposed. These factors combine to create special conditions.

- b. No fair and substantial relationship exists between the general public purposes of the ordinance and its specific application in this instance.

The purpose of setback and lot coverage requirements is to avoid overbulking and overcrowding, allow for adequate air and light, provide sightlines and area for stormwater treatment. It is reasonable for the McDonald family to add a modest proposed entry porch which cannot be located in a way that would avoid a variance. The porch and breezeway are both modest and reasonable, and do not violate any of the purposes of the front setback and/or building coverage purposes. The additional impervious (275± square feet) will be compensated for by the front drip edge. No one is actually affected in any negative way. Accordingly, there is no fair and substantial relationship between the purposes of the setback and building coverage requirements and its application in this instance.

- c. The proposed use is reasonable.

If the use is permitted, it is deemed reasonable. Vigeant v. Hudson, 151 N.H. 747 (2005). This is a permitted residential use proposing modest expansion.

5. Substantial justice will be done by granting the variances.

If “there is no benefit to the public that would outweigh the hardship to the applicant” this factor is satisfied. Harborside Associates, L.P. v. Parade Residence Hotel, LLC, 162 N.H. 508 (2011). That is, “any loss to the [applicant] that is not outweighed by a gain to the general public is an injustice.” Malachy Glen, supra at 109.

The McDonald family is generally constitutionally entitled to the use of the lot as they sees fit. “The right to use and enjoy one's property is a fundamental right protected by both the

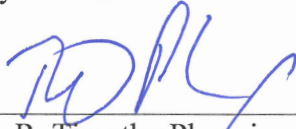
State and Federal Constitutions.” N.H. CONST. pt. I, arts. 2, 12; U.S. CONST. amends. V, XIV; Town of Chesterfield v. Brooks, 126 N.H. 64 (1985) at 68. Part I, Article 12 of the New Hampshire Constitution provides in part that “no part of a man's property shall be taken from him, or applied to public uses, without his own consent, or that of the representative body of the people.” Thus, our State Constitutional protections limit the police power of the State and its municipalities in their regulation of the use of property. L. Grossman & Sons, Inc. v. Town of Gilford, 118 N.H. 480, 482 (1978). “Property” in the constitutional sense has been interpreted to mean not the tangible property itself, *but rather the right to possess, use, enjoy and dispose of it*. Burrows v. City of Keene, 121 N.H. 590, 597 (1981) (emphasis added).

Because the front entry porch and breezeway causing the need for the variances are modest, cannot be located so as to avoid the need for variances, and do not violate the purposes of setback and lot coverage requirements, there is absolutely no harm to the public from granting these variances. Conversely, the McDonald family will be greatly harmed if the variances are denied because they in turn will be unable to provide these modest “livability” and aesthetic improvements. There is thus no benefit to the public from granting the variances that outweighs the harm to the McDonald family if the variances are denied.

V. CONCLUSION

For all of the reasons stated, the McDonald family and entire team respectfully request that the Portsmouth Zoning Board of Adjustment grant the requested variance.

Respectfully submitted,
Mary McDonald and John McDonald III


By: R. Timothy Phoenix

ZONE: SRB (SINGLE RESIDENCE B)
EXISTING LOT AREA: 8,936 S.F.± (0.21 AC.±)

ZONING SUMMARY

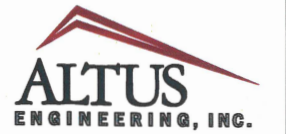
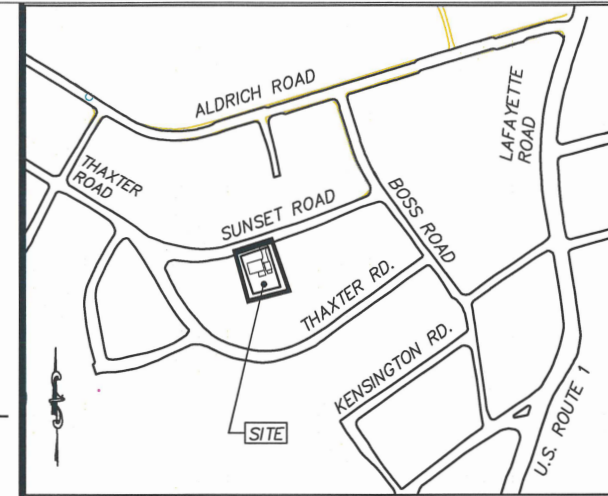
DIMENSIONAL REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	15,000 S.F.	±8,936 S.F.	±8,936 S.F.
MIN. STREET FRONTAGE:	100'	±80' (EX.) (SUNSET ROAD)	±80' (EXISTING)
MIN. LOT DEPTH:	100'	±110'± (EX.)	±110' (EXISTING)
FRONT SETBACK:	30' (24')**	±24' (EX.) (PER GIS)	±17' (PROP. PORCH) *
SIDE SETBACK:	10'	±8' (EX.) (PER GIS)	±8' (EX. GARAGE)
REAR SETBACK:	30'	±41' (EX.) (PER GIS)	±41' (EX. PORCH)
MAX. HEIGHT:	35'	<35' (EX.)	<35'
MAX. BUILDING COVERAGE:	20%	±23.4% (EX.) (±2,093 SF)	±26.5% (±2,365 SF) (INCL. PROP. BREEZEWAY, PORCH) *
MIN. OPEN SPACE:	40%	±66% (±5,893 SF)	±64% (±5,681 SF)
DWELLING COVERAGE:		±17.3% (EX.) (±1,550 SF)	±20.6% (±1,840 SF)

* ZONING RELIEF REQUIRED
** AVERAGE OF ADJACENT FRONT YARD BLDG. SETBACKS

PLAN REFERENCES:

1. "PLAN OF LOTS, PORTSMOUTH, NH FOR E.A. RICCI AND F.E. PATERSON" DATED AUGUST 1950, BY JOHN W. DURGIN, C.E., RECORDED PLAN.
2. PORTSMOUTH G.I.S. (MAPGEO) DATA BASE.
3. SITE OBSERVATIONS BY ALTUS ENGINEERING, INC. AUGUST 2022.



133 Court Street
(603) 433-2335
Portsmouth, NH 03801
www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR:

BOARD OF ADJUSTMENT

ISSUE DATE:

AUGUST 30, 2022

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	08/30/22

DRAWN BY: RLH

APPROVED BY: EDW

DRAWING FILE: 5378.dwg

SCALE:

22" x 34" - 1" = 10'
11" x 17" - 1" = 20'

OWNER/APPLICANT:

MARY R. &
JOHN THOMAS MCDONALD III

74 SUNSET ROAD
PORTSMOUTH, NH 03801

PROJECT:

SITE
IMPROVEMENTS

TAX MAP 153, LOT 14

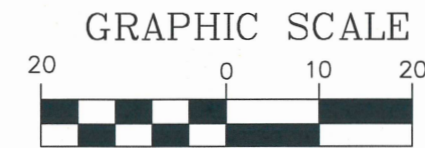
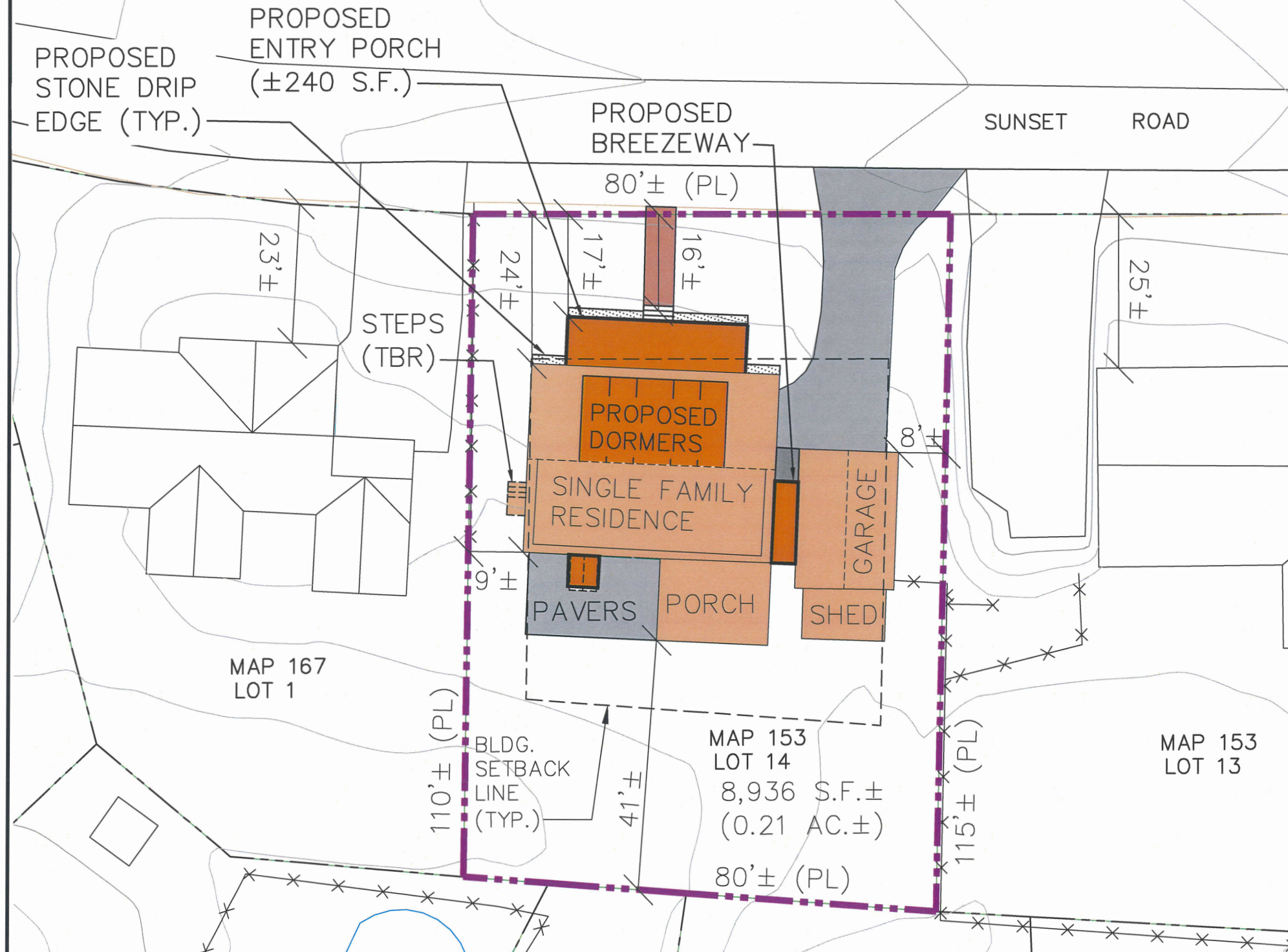
74 SUNSET ROAD
PORTSMOUTH, NH

TITLE:

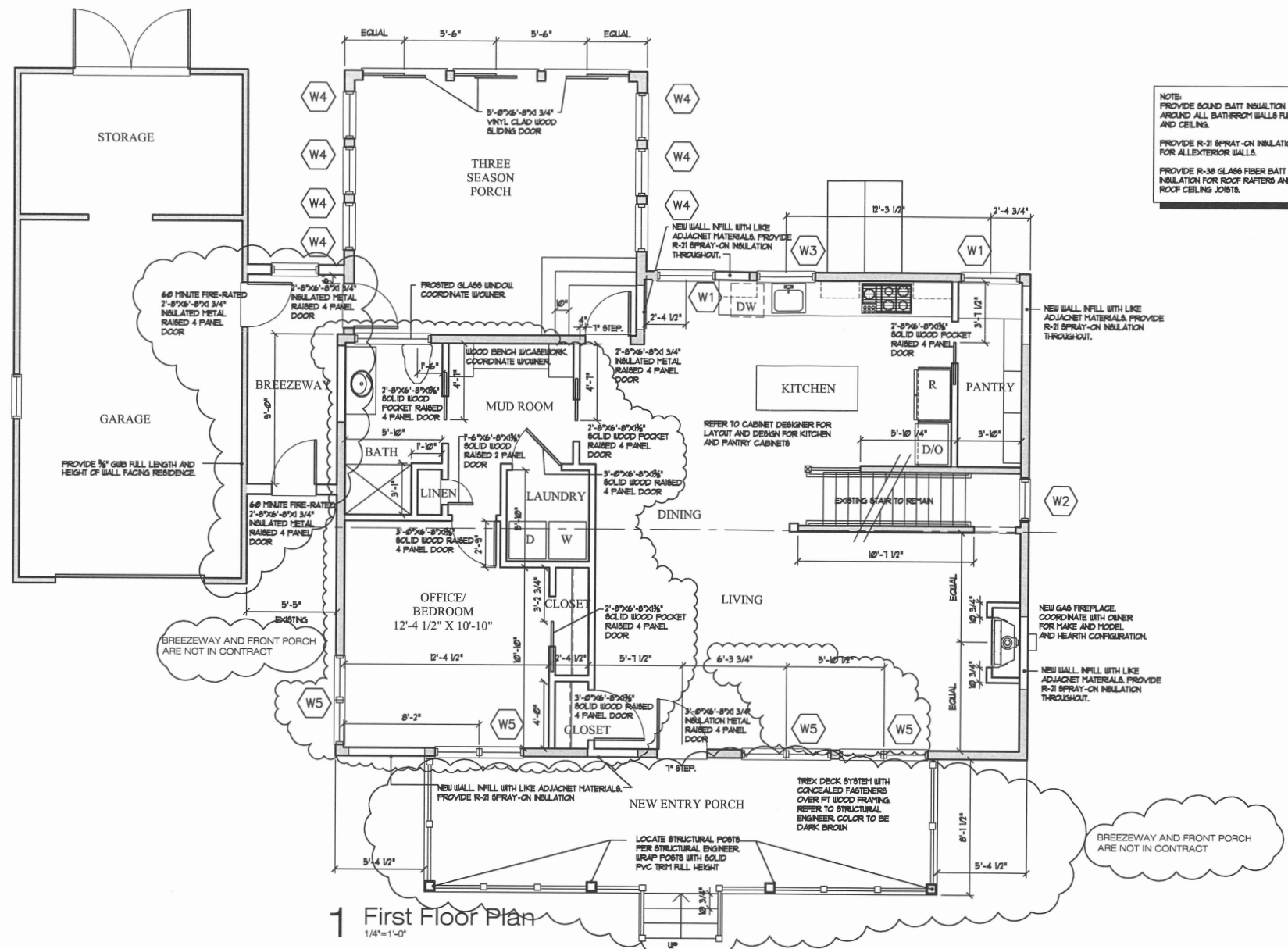
BOARD OF
ADJUSTMENT
SITE PLAN

SHEET NUMBER:

1 of 1



(IN FEET)
1 inch = 20 ft. (11" X 17")



GENERAL

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE ORDERING MATERIAL AND PROCEEDING WITH THE WORK.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW HAMPSHIRE STATE BUILDING CODE, 1989 INTERNATIONAL RESIDENTIAL CODE, AND ALL LOCAL ORDINANCES. IF THERE ARE DIFFERENCES BETWEEN THESE PLANS, A DETERMINATION SHALL BE MADE BY THE CONTRACTOR AND/OR LOCAL CODE ENFORCEMENT OFFICER AS TO WHICH IS MOST STRINGENT. THE MOST STRINGENT REQUIREMENT SHALL RULE.
3. ALL SECTIONS, DETAILS, NOTES, OR MATERIALS SHOWN AND/OR NOTED ON ANY PLAN, SECTION OR ELEVATION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE.
4. TESTING AND INSPECTION AGENCIES SELECTED BY THE OWNER. ALL WORK SHALL REQUIRE ADHERENCE TO THE REQUIREMENTS OF ASTM DESIGNATION E-309 ENTITLED "RECOMMENDED PRACTICE FOR INSPECTION AND TESTING AGENCIES FOR CONCRETE AND STEEL USED IN CONSTRUCTION."
5. FOOTINGS SHALL REST ON FIRM, UNDISTURBED MATERIAL CAPABLE OF SUSTAINING A BEARING PRESSURE OF TWO (2) TONS/SF.
6. THE CONTRACTOR SHALL RETAIN A PROFESSIONAL SOILS ENGINEER TO VERIFY SOIL BEARING PRESSURE.
7. ALL GRANULAR FILL MATERIAL UNDER SLABS SHALL BE PLACED TO 95% RELATIVE DENSITY.

8. ALL FOOTING EXCAVATIONS TO BE FINISHED BY HAND AND INSPECTED AND APPROVED BY THE TESTING ENGINEER BEFORE ANY CONCRETE IS PLACED.
9. BACKFILL SHALL BE PLACED TO EQUAL ELEVATIONS ON BOTH SIDES OF FOUNDATION WALLS WHERE BACKFILL IS ON ONE SIDE ONLY. WORK SHALL BE SHORED OR HAVE PERMANENT ADJACENT CONSTRUCTION IN PLACE BEFORE BACKFILLING.
10. THE SIDES OF ALL BEAMS, WALLS, FOOTINGS, ETC. SHALL BE FORMED AND CONCRETE SHALL NOT BE PLACED AGAINST EARTH CUTS.
11. FOOTINGS SHALL NOT BEAR ON FROZEN SOIL AND ALL EXTERIOR FOOTINGS SHALL BE NOT LESS THAN 4'-0" BELOW ADJACENT FINISH GRADE.
12. ALL CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI. IN AT 28 DAYS. MAXIMUM 1/2" AGGREGATE, AIR ENTRAINED.
13. REINFORCING STEEL SHALL COMPLY WITH THE REQUIREMENTS OF ASTM-A639 GRADE 60 BILLET STEEL. ASTM-A639 FOR WIRE MESH. BARS SHALL BE DEFORMED TO ASTM-A639.
14. STEEL REINFORCEMENT FABRICATION SHALL COMPLY WITH THE REQUIREMENTS OF "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" AS ADOPTED BY THE AMERICAN CONCRETE INSTITUTE.
15. CONCRETE COVER, FOOTINGS AND WALL - BOTTOM 3", SIDES 2".
16. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE SPECIFICATIONS ACI-308-RS.

17. ALL REINFORCING TO BE SUPPORTED IN FORMS WITH NECESSARY ACCESSORIES AND SECURELY WIRED TOGETHER IN ACCORDANCE WITH CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS.
18. ALL REINFORCING SHALL BE LAPPED 48 BARS DIAMETERS (1'-0" MIN) EXCEPT AS OTHERWISE NOTED.
19. ALL SLABS ON GRADE SHALL HAVE A 15 MIL VAPOR BARRIER UNDERNEATH.
20. PLANS ARE SCHEMATIC IN NATURE AND SHOULD NOT BE SCALED. INSTALL ALL BRACING, BRACING, STEPPED, ETC. AS REQUIRED BY THE BUILDING CODE AND IN ACCORDANCE WITH GOOD FRAMING PRACTICES AND STANDARDS.
21. ALL ROOF RAFTERS AND TRUSSES SHALL HAVE HURRICANE TIE DOBBS.
22. GARAGE SHALL BE SEPARATED FROM MAIN HOUSE BY A FIRE RATED WALLS AND CEILING. REFER TO FIRST FLOOR PLAN.
23. CONTRACTOR TO CONTACT DIG SAFE LINE TO VERIFY UNDERGROUND UTILITIES.
24. PROVIDE SMOKE DETECTORS IN SUFFICIENT QUANTITIES AND LOCATIONS TO MEET REQUIREMENTS OF THE BUILDING CODE. PROVIDE NOT LESS THAN ONE SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT AND ATTICS CAPABLE OF BEING INHABITED.
 - PROVIDE ONE SMOKE DETECTOR IN EACH BEDROOM AREA.
 - PROVIDE NOT LESS THAN ONE SMOKE DETECTOR FOR EVERY 1,000 SF OF FLOOR SPACE.
 - PROVIDE PHOTO ELECTRIC SMOKE DETECTOR IF LOCATED LESS THAN 20 FEET FROM EITHER A KITCHEN OR A BATHROOM WITH A TUB OR SHOWER.

25. PROVIDE FIRE ALARMS PER BUILDING CODE.
26. DESIGN LOADS (ALL JOISTS AND RAFTER SIZES AND SPACING SHALL MEET OR EXCEED THE MINIMUM LOCAL BUILDING CODE REQUIREMENTS FOR LOAD CARRYING CAPACITY) (VERIFY WITH STRUCTURAL ENGINEER).
 - GROUND SNOW LOADS = 30 PSF PER IRC TABLE R502 (1).
 - SLOPED ROOF SNOW LOAD = 32 PSF
 - WIND SPEED = 150 MPH
 - SEISMIC CATEGORY IS 1C
 - LIVE LOADS = 40 PSF FOR LIVING SPACES, 30 PSF FOR SLEEPING AREAS.
 - DEAD LOADS = 10 PSF.
27. EACH BEDROOM ABOVE THE FIRST FLOOR SHALL BE EQUIPPED WITH AN EMERGENCY EGRESS WINDOW OF NOT LESS THAN A NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM CLEAR OPENING OF THE WINDOW SHALL NOT BE LESS THAN 20 INCHES IN WIDTH AND 24 INCHES IN HEIGHT.
28. TINTED GLASS TO BE PROVIDED WHEN THE BOTTOM EDGE OF THE GLASS IS LESS THAN 24" ABOVE FINISHED FLOOR PLAN.
29. 1/2" GYPHUM BOARD SHALL BE USED THROUGHOUT APARTMENT BATHS AND SIMILAR DAMP LOCATION EXCEPT WHERE BACKER BOARD IS REQUIRED. THE BACKER BOARD IS REQUIRED AT ALL LOCATION WHERE TILE IS TO BE PROVIDED.



THA
ARCHITECTS, LLC

ARCHITECTURE • DESIGN • PLANNING • INTERIOR DESIGN

89 WILLOWBROOK AVENUE
STRATHAM, NEW HAMPSHIRE 03885

Tel: (603) 770-2491
www.thaarc.com

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McDonald
Residence

74 Sunset Street
Portsmouth, NH

First
Floor Plan
Notes

SCALE:

ISSUED / DRAWN BY

June 8, 2022

© THA Architects, LLC

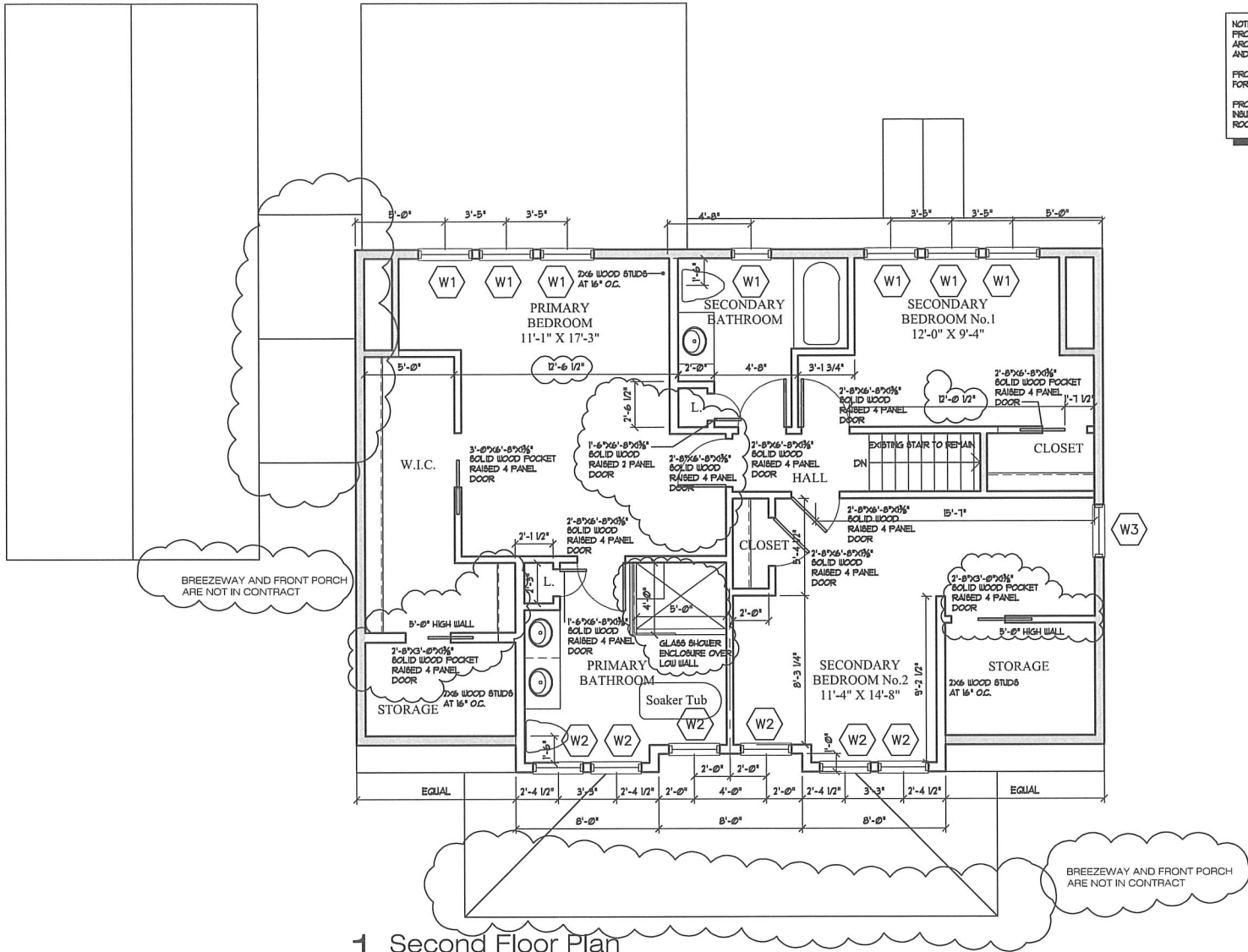
REVISED / REVISED BY

August 12, 2022

JOB NO: 22001

SHEET NUMBER

A-6



NOTE:
PROVIDE SOUND BATT INSULATION
AROUND ALL BATHROOM WALLS FILL
AND CEILING.

PROVIDE R-21 SPRAY-ON INSULATION
FOR ALLEXTERIOR WALLS.

PROVIDE R-38 GLASS FIBER BATT
INSULATION FOR ROOF RAFTERS AND
ROOF CEILING JOISTS.

1 Second Floor Plan
1/4"=1'-0"

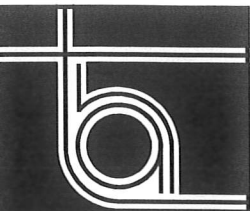
GENERAL

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4. TESTING AND INSPECTION AGENCIES SELECTED BY THE OWNER. ALL WORK SHALL REQUIRE ADHERENCE TO THE REQUIREMENTS OF ASTM DESIGNATION E-339 ENTITLED "RECOMMENDED PRACTICE FOR INSPECTION AND TESTING AGENCIES FOR CONCRETE AND STEEL USED IN CONSTRUCTION."
5. FOOTINGS SHALL REST ON FIRM, UNDISTURBED MATERIAL. CAPABLE OF SUSTAINING A BEARING PRESSURE OF TWO (2) TONS/FT.
6. THE CONTRACTOR SHALL RETAIN A PROFESSIONAL SOILS ENGINEER TO VERIFY SOIL BEARING PRESSURE.
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13. REINFORCING STEEL SHALL COMPLY WITH THE REQUIREMENTS OF ASTM-A63 GRADE 60 BILLET STEEL. ASTM-A305 FOR WIRE MESH. BARS SHALL BE DEFORMED TO ASTM-A325.
14. STEEL REINFORCEMENT FABRICATION SHALL COMPLY WITH THE REQUIREMENTS OF "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" AS ADOPTED BY THE AMERICAN CONCRETE INSTITUTE.
15. CONCRETE COVER: FOOTINGS AND WALL - BOTTOM 3", SIDES 2".
16. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE SPECIFICATIONS ACI-308-R2.

17. ALL REINFORCING TO BE SUPPORTED IN FORMS WITH NECESSARY ACCESSORIES AND SECURELY WIRED TOGETHER IN ACCORDANCE WITH CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS.
18. ALL REINFORCING SHALL BE LAPPED 48 BARS DIAMETERS (1'-0" MIN) EXCEPT AS OTHERWISE NOTED.
19. ALL SLABS ON GRADE SHALL HAVE A 5 MIL VAPOR BARRIER UNDERNEATH.
20. PLANS ARE SCHEMATIC IN NATURE AND SHOULD NOT BE SCALED. INSTALL ALL BRACING, BRACKS, STIFFBACKS, ETC. AS REQUIRED BY THE BUILDING CODE AND IN ACCORDANCE WITH GOOD FRAMING PRACTICES AND STANDARDS.
21. ALL ROOF RAFTERS AND TRUSSES SHALL HAVE HURRICANE TIE DOUGNS.
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24. PROVIDE SMOKE DETECTORS IN SUFFICIENT QUANTITIES AND LOCATIONS TO MEET REQUIREMENTS OF THE BUILDING CODE. PROVIDE NOT LESS THAN ONE SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT AND ATTIC. CAPABLE OF BEING INHABITED.
 - PROVIDE ONE SMOKE DETECTOR IN EACH BEDROOM AREA.
 - PROVIDE NOT LESS THAN ONE SMOKE DETECTOR FOR EVERY 1,200 SF OF FLOOR SPACE.
 - PROVIDE PHOTO ELECTRIC SMOKE DETECTOR IF LOCATED LESS THAN 20 FEET FROM EITHER A KITCHEN OR A BATHROOM WITH A TUB OR SHOWER.

25. PROVIDE FIRE ALARMS PER BUILDING CODE.
26. DESIGN LOADS (ALL JOISTS AND RAFTER SIZES AND SPACING SHALL MEET OR EXCEED THE MINIMUM LOCAL BUILDING CODE REQUIREMENTS FOR LOAD CARRYING CAPACITY) (ERRY WITH STRUCTURAL ENGINEER)
 - GROUND SNOW LOADS + 50 PSF PER IRC TABLE R301.2 (1).
 - SLOPED ROOF SNOW LOAD + 32 PSF
 - WIND SPEED + 100 MPH
 - SEISMIC CATEGORY IS "C"
 - LIVE LOADS + 40PSF FOR LIVING SPACES.
 - DEAD LOADS + 10PSF.
27. EACH BEDROOM ABOVE THE FIRST FLOOR SHALL BE EQUIPPED WITH AN EMERGENCY EGRESS WINDOW OF NOT LESS THAN A NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM CLEAR OPENING OF THE WINDOW SHALL NOT BE LESS THAN 20 INCHES IN WIDTH AND 24 INCHES IN HEIGHT.
28. TEMPERED GLASS TO BE PROVIDED WHEN THE BOTTOM EDGE OF THE GLASS IS LESS THAN 24" ABOVE FINISHED FLOOR PLAN.
29. MR GYPSON BOARD SHALL BE USED THROUGHOUT APARTMENT BATHS AND SIMILAR D'AP LOCATION EXCEPT WHERE BACKER BOARD IS REQUIRED. THE BACKER BOARD IS REQUIRED AT ALL LOCATION WHERE TILE IS TO BE PROVIDED.



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ARCHITECTURE • DESIGN • PLANNING • INTERIOR DESIGN
89 WILLOWBROOK AVENUE
STRATHAM, NEW HAMPSHIRE 03885

Tel: (603) 770-2491
www.thaarc.com

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McDonald
Residence

74 Sunset Street
Portsmouth, NH

Second
Floor Plan
Notes

SCALE:

ISSUED / DRAWN BY

June 8, 2022

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August 11, 2022

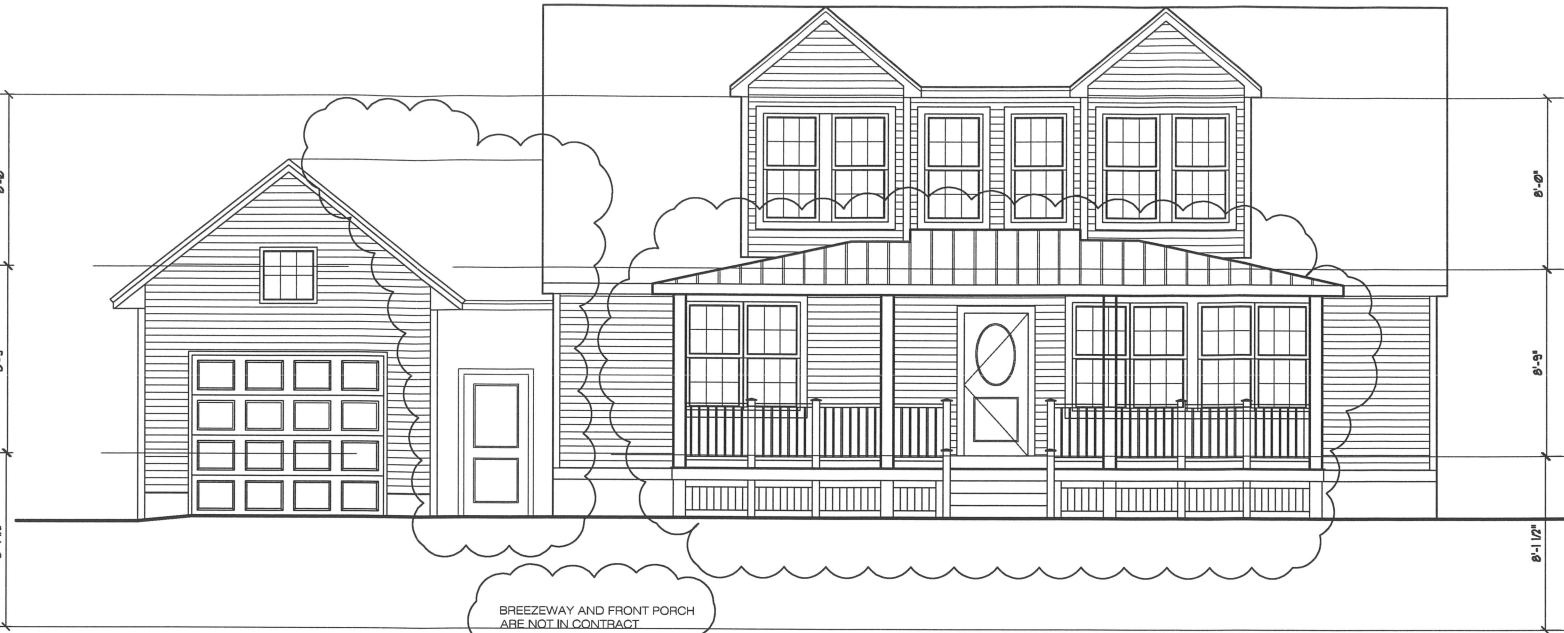
JOB NO: 22001

SHEET NUMBER

A-7



1 Left Elevation
1/4"=1'-0"



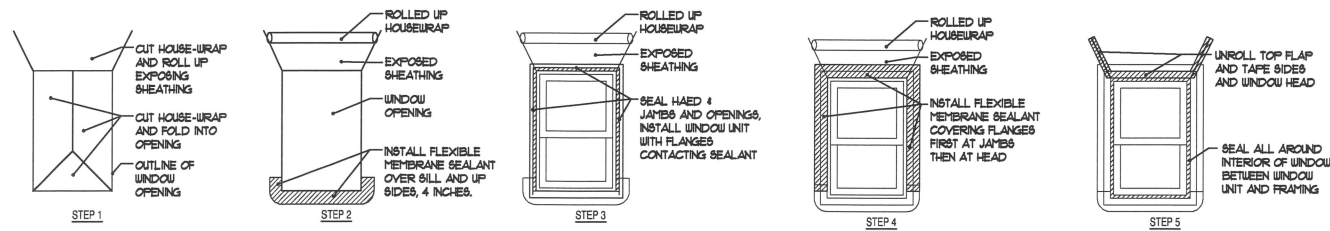
2 Front Elevation
1/4"=1'-0"



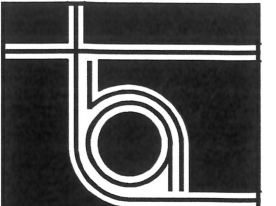
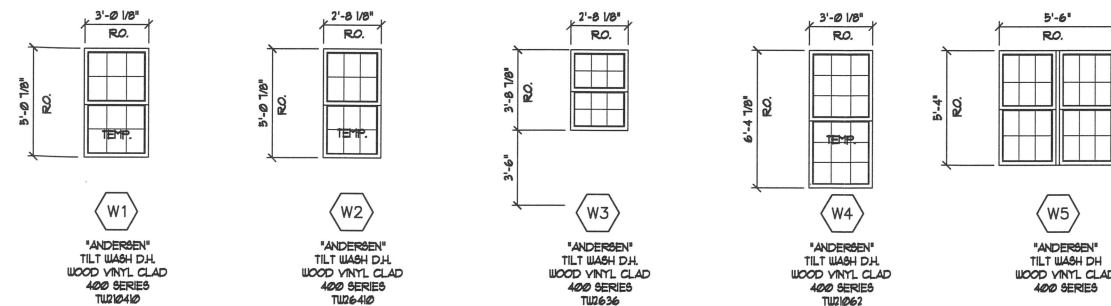
3 Right Elevation
1/4"=1'-0"



4 Rear Elevation
1/4"=1'-0"



Window Installation
NO SCALE



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74 Sunset Street
Portsmouth, NH

Elevations
Window Detail

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SHEET NUMBER

A-9

EXHIBIT C

Google Maps 69 Sunset Rd



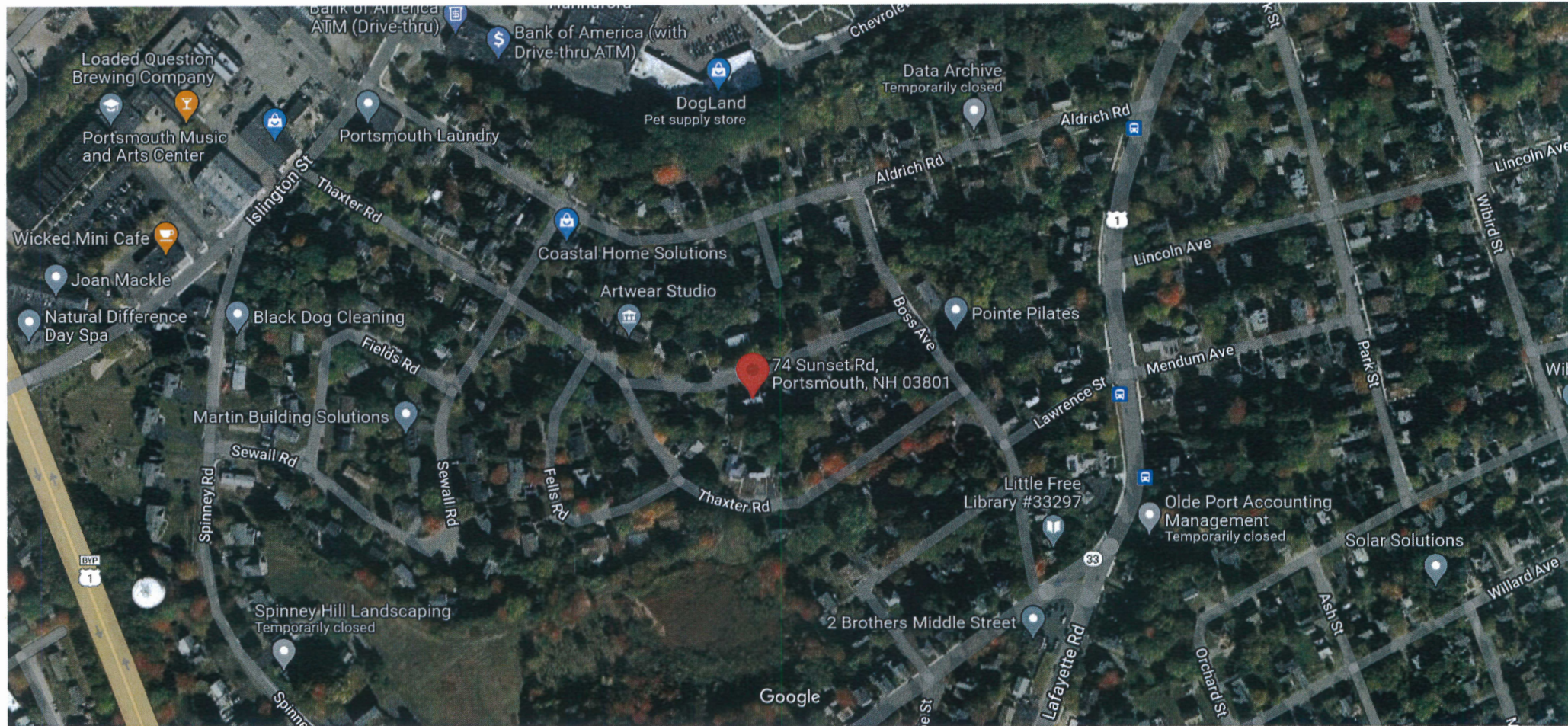
Portsmouth, New Hampshire

Google

Street View - Sep 2011

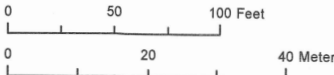
Image capture: Sep 2011 © 2022 Google







- Partial Legend**
See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
 - 2.56 ac Parcel area in acres (ac) or square feet (sf)
 - 25 Address number
 - 233-137 Parcel number from a neighboring map
 - 68 Parcel line dimension
 - SIMS AVE** Street name
 - Parcel/Parcel boundary
 - Parcel/ROW boundary
 - Water boundary
 - Structure (1994 data)
 - Parcel covered by this map
 - Parcel from a neighboring map (see other map for current status)



This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.

