



200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

20 November 2023

Peter Stith, Chair, City of Portsmouth TAC  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for Site Plan Approval at 569 Submarine Way, Museum Expansion**

Dear Mr. Stith and TAC Members:

On behalf of the Portsmouth Submarine Memorial Association, we are pleased to submit the attached plan set for **Amended Site Plan Approval** for the above-mentioned project and request that we be placed on the agenda for your **December 5, 2023, TAC Meeting**. The project is the proposed construction of an addition to the exiting Albacore Park with the associated and required site improvements. Albacore Park is operated by the Portsmouth Submarine Memorial Association (PSMA), a Non-Profit devoted to education and to the preservation of submarine history. The site includes the Albacore Museum and a Memorial Garden. The Park was created in 1985 with the existing museum building being constructed around 1986. The showpiece of the Park is the USS Albacore submarine. Albacore Park operates seven days a week with the majority of visitors during the summer months. Attractions include the USS Albacore submarine, the Memorial Gardens, and exhibits within the existing visitor center building. There is ample off-street parking available on the property. Between 2-4 staff members are present at the Property daily depending on the season and museum event schedule.

PSMA currently has access to more exhibits than there is space available to comfortably display the exhibits within the existing building and also intends to display more items relating to the maritime history of the Piscataqua River region. Meeting and office space is also severely limited. Accordingly, PSMA proposes to construct an approximately 1,588 square foot addition to the site and attach it to the existing visitor center building. The proposal will also include improvements to the walkway and ramp adjacent to the building for improved accessibility. Based upon the Parking Demand Analysis, even with the additional space there is ample parking at the site. The Property is located in a transitional area with frontage on both the US Route 1 By-Pass and Market Street. Recently the NH State DOT, as a part of the Sarah Mildred Long Bridge replacement, created a short street known as Submarine Way, which now serves as the park access point. The property is within the SRB Zoning District, adjacent to the Business, General Residence A and Waterfront Industrial Districts. It is surrounded by a mix of uses, with residences to the west and east (across Route 1 By-Pass), commercial fueling uses to the south and Bohenko Gateway Park to the north (across Market Street). The current museum use is a pre-existing permitted non-conforming use through the issuance of a 1983 special exception. The creation of additional museum space is considered an expansion of that non-conforming use which requiring zoning relief (Special Exception) which was granted by the Portsmouth Zoning Board. The proposed addition meets all dimensional requirements of the zoning ordinance.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Abutters.
- Boundary Plan C1 – This plan shows the existing site property boundary and the existing site easements.
- Existing Conditions Plan – Orthophoto C2 – This plan shows the existing site based on photography from a drone flight, as it was at the time. Note that the Ghost Ship has since been removed.
- Existing Conditions Plan C3 - This plan shows the existing site in detail.
- Amended Site Plan C4 – This plan shows the site development with the proposed addition and the circulation / access improvements and the building layout with setbacks. The project received a Special Exception from the Board of Adjustment for the expansion of the museum use.
- Utility Plan C5 – This plan shows site utilities. The project will connect utilities internally to the addition, with a section of an existing water service being relocated to the same building entrance.
- Grading and Drainage Plan C6 – This plan shows the relocation of existing drainage at the proposed addition, and the addition of a yard drain.
- Erosion Control Notes and Details D1 and Details D2 – These plans shows site details.
- Floor Plans and Elevations A1.1 and A 2.1 – This plan shows the Architectural design for the buildings.

We look forward to TAC review of this submission and request the Committee approval. We look forward to an in-person presentation.

Sincerely,



John R. Chagnon, PE

# Construction Cost Estimate

## Ambit Engineering

Date: November 20, 2023

Project: Albacore Park Museum Addition

5010373.452.02

Location: 569 Submarine Way

Scope: **Site Cost**

ITEM NO	DESCRIPTION	UNIT	AMOUNT	UNIT COST	TOTAL
1	Walkway Demolition	LS	1	\$750.00	\$750.00
2	Bike Racks	EA	4	\$550.00	\$2,200.00
4	New Walkway	LF	160	\$40.00	\$6,400.00
5	ADA Parking Signage	EA	3	\$200.00	\$600.00
6	Landscape Planting Relocation	LS	1	\$950.00	\$950.00
7	Concrete Landing / Stairs / Ramp	LS	2	\$7,500.00	\$15,000.00
8	Stop Line	LS	1	\$400.00	\$400.00
9	Force Main Relocation	LF	30	\$75.00	\$2,250.00
10	Water Service (Line)	LF	90	\$80.00	\$7,200.00
11	Yard Drain	EA	1	\$1,200.00	\$1,200.00
12	4 Inch Drain Pipe	LF	100	\$50.00	\$5,000.00
13	Erosion Control	LS	1	\$1,000.00	\$1,000.00
14	Existing Pipe Fill	LS	1	\$5,000.00	\$5,000.00
15	Drain Manhole	EA	1	\$4,500.00	\$4,500.00
	<b>TOTAL</b>				<b>\$52,450</b>

Note: This is an estimate of construction costs based upon various sources

November 20, 2023

Project: Albacore Park  
569 Submarine Way  
Portsmouth, NH

### Site Plan Review - Green Building Statement

The proposed ~1,600 sf addition to the existing welcome center & museum will be constructed as a Type V-B consisting of light-wood, conventionally framed walls and roof structure on concrete foundation.

The project is not pursuing a certification, but will aim to meet or exceed sustainable industry standards through the following measures:

#### Site Sustainability

- No additional parking hardscape developed for this addition
- Fully-accessible routes through site and to building addition
- No reduction of trees or landscaping other than turf-grass

#### Water Efficiency

- Low-flow (dual flush) toilets
- Low Flow faucets
- Replacement of existing toilet and faucet with new, low-flow fixtures

#### Energy Efficiency

- Meet or exceed IECC prescriptive method for wall assemblies
- Exceed IECC prescriptive roof assembly R-value by 20%
- Exceed below-grade wall (foundation) insulation requirements
- Reduced thermal bridging using continuous insulation
- LED lighting throughout
- Window units with less than 0.28 u-factor

#### Indoor Environment

- Low VOC paints & adhesives
- Flooring to be Floor Score or Sustainable Carpet Certified

#### Mechanical Systems

- Mechanical systems to meet or exceed 2018 IMC and ASHRAE standards
- Energy Recovery Ventilation

Respectfully Submitted,

Evan Mullen – Dir. Operations  
Port One Architects, Inc.  
emullen@portonearchitects.com  
603-436-8891, ext. 11



200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

23 September, 2023

**Parking Demand  
Proposed Museum Addition  
Albacore Park  
569 Submarine Way  
Portsmouth, NH**

The purpose of this calculation is to identify the proposed parking demand expected to be generated by the proposed Visitor Center addition at 569 Submarine Way in Portsmouth, NH. Currently, the site contains a 1,600 square foot Visitor Center with museum displays, the USS Albacore Submarine walk in exhibit, and a storage out building. The submarine has an estimated floor display area of 4,200 square feet. The project proposes to expand the Visitor Center building with a 1,600 +/- square foot addition.

In developing the expected parking demand Ambit Engineering considered the standard Parking Demand rates and equations published in the Institute of Transportation Engineers (ITE) Parking Generation Manual, 5<sup>th</sup> Edition. The land use category that best correlates with the site use is Museum (ITE Land Use Code 580). The parking demand, based upon the GFA of the existing and proposed building addition and the added 4 museum staff, is summarized below for the **Average Peak Period of Parking Demand on a Weekday, Saturday, and Sunday:**

Parking Demand Summary – PROPOSED

Peak Period of Demand - Weekday

Museum (0.98 vehicles per 1,000 SF GFA)	$0.98 \times 7.4 \text{ KSF} = 8 \text{ vehicles}$
Staff	4 staff = 4 vehicles
<u>Total</u>	<u>12 vehicles</u>

Peak Period of Demand - Saturday

Museum (2.50 vehicles per 1,000 SF GFA)	$2.50 \times 7.4 \text{ KSF} = 19 \text{ vehicles}$
Staff	4 staff = 4 vehicles
<u>Total</u>	<u>23 vehicles</u>

Peak Period of Demand - Sunday

Museum (4.34 vehicles per 1,000 SF GFA)	$4.34 \times 7.4 \text{ KSF} = 33 \text{ vehicles}$
Staff	4 staff = 4 vehicles
<u>Total</u>	<u>37 vehicles</u>

**Based on the calculation there is ample parking on the site to meet the peak demand of 37 vehicles. The site can easily accommodate the proposed museum addition.**

Please feel free to call if you have any questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to read 'JRC', with a long horizontal flourish extending to the right.

John R. Chagnon, PE  
Ambit Engineering – Haley Ward

# Museum (580)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GFA**

**On a: Weekday (Monday - Friday)**

**Setting/Location: Dense Multi-Use Urban**

Peak Period of Parking Demand: 10:00 a.m. - 2:00 p.m.

Number of Studies: 2

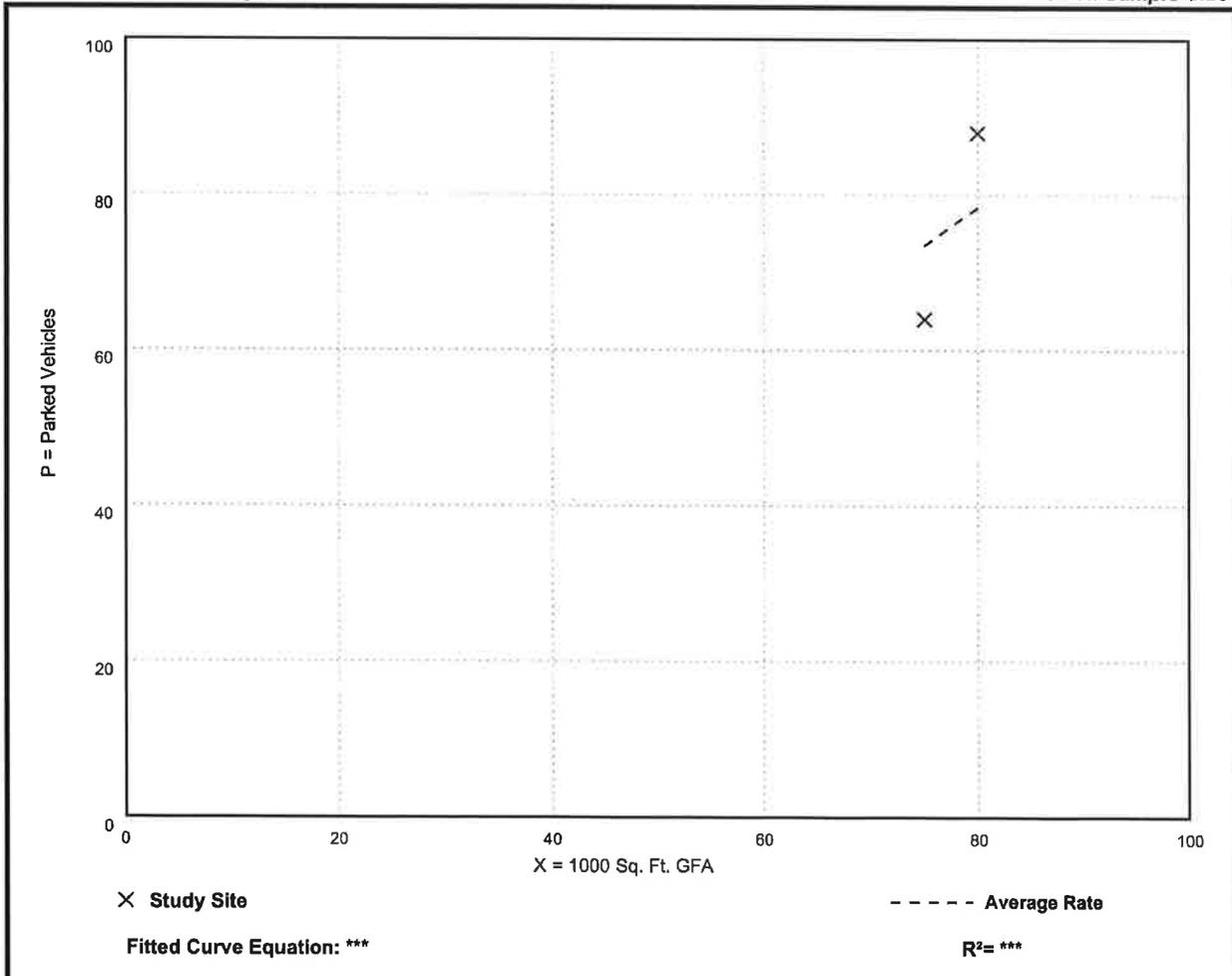
Avg. 1000 Sq. Ft. GFA: 78

## Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.98	0.85 - 1.10	*** / ***	***	*** ( *** )

## Data Plot and Equation

*Caution – Small Sample Size*



# Museum (580)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GFA**

**On a: Saturday**

**Setting/Location: Dense Multi-Use Urban**

Peak Period of Parking Demand: 12:00 - 4:00 p.m.

Number of Studies: 1

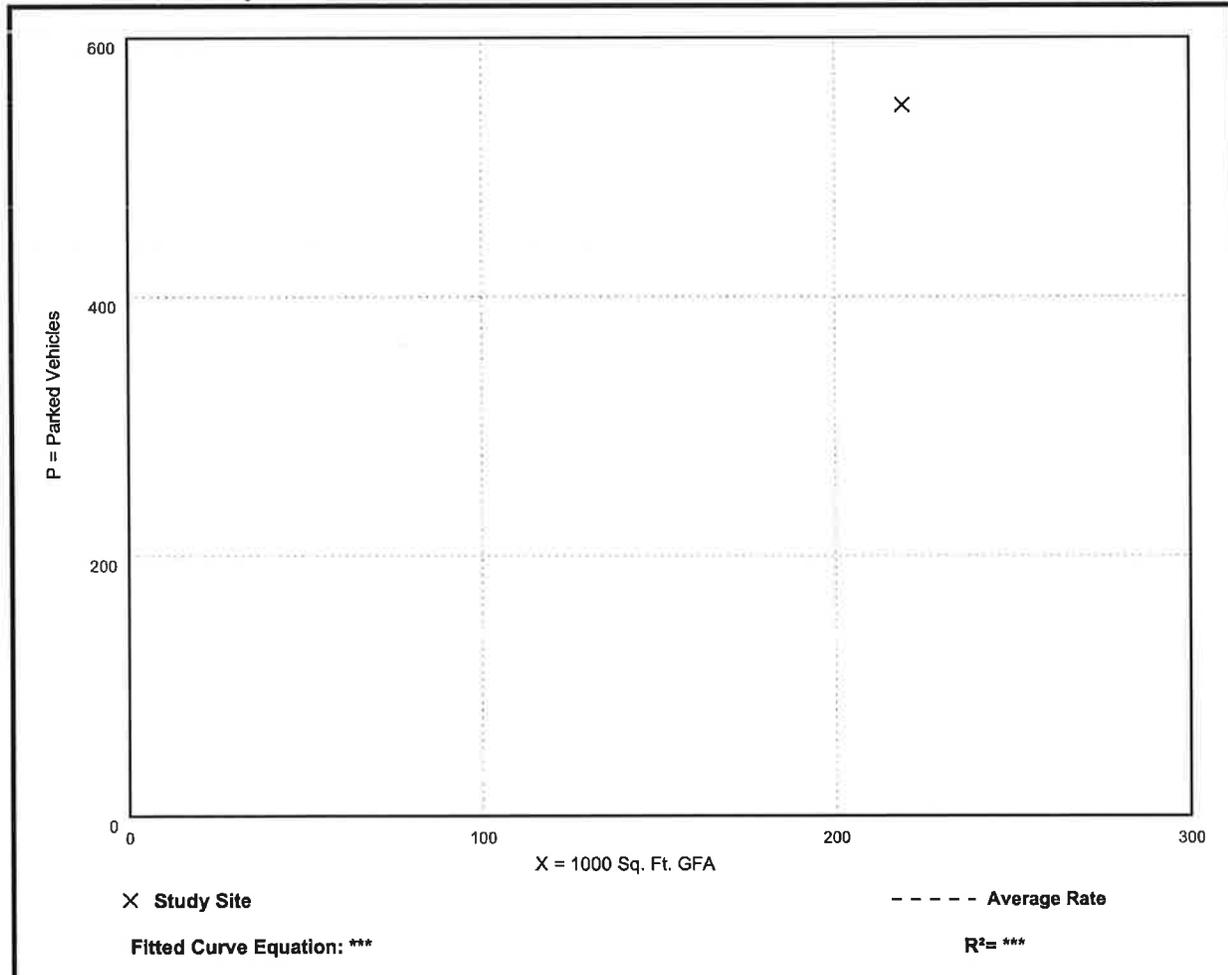
Avg. 1000 Sq. Ft. GFA: 219

## Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.50	2.50 - 2.50	*** / ***	***	*** (***)

## Data Plot and Equation

*Caution – Small Sample Size*





# Exhibit E Site Photographs



Aerial Views of Property



**Exhibit E  
Site Photographs**



View of Property from the North



View of Property from the North

**Exhibit E  
Site Photographs**



View of the Property from the South



View of the Property from the East (towards Leslie Drive)

**Exhibit E**  
**Site Photographs**



Visitors Center



Memorial Garden

# PROPOSED MUSEUM BUILDING ALBACORE PARK 569 SUBMARINE WAY PORTSMOUTH, NEW HAMPSHIRE SITE PLANS

**REQUIRED PERMITS:**  
PORTSMOUTH ZONING BOARD: APPROVED 10/17/2023  
PORTSMOUTH PLANNING BOARD: PENDING

**OWNER:**  
PORTSMOUTH SUBMARINE  
MEMORIAL ASSOCIATION  
569 SUBMARINE WAY  
PORTSMOUTH, NH 03801  
TEL: (603) 436-3680

**LAND SURVEYOR & CIVIL ENGINEER:**  
AMBIT ENGINEERING  
A DIVISION OF HALEY WARD, INC.  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, NH 03801  
(603) 430-9282

**ARCHITECT:**  
PORT ONE ARCHITECTS  
959 ISLINGTON STREET  
PORTSMOUTH, NH. 03801  
TEL: (603) 436-8891

**LAND USE ATTORNEY:**  
HOEFLE, PHOENIX, GORMLEY &  
ROBERTS, PLLC  
127 PARROTT AVENUE  
PORTSMOUTH, NH 03801  
TEL. (603) 436-0666

- INDEX OF SHEETS**
- C1 - BOUNDARY PLAN
  - C2 - EXISTING CONDITIONS PLAN ORTHOPHOTO
  - C3 - EXISTING CONDITIONS PLAN
  - C4 - AMENDED SITE PLAN
  - C5 - UTILITY PLAN
  - C6 - GRADING & DRAINAGE PLAN
  - D1-D2 - DETAILS
  - A1.1 & A2.1 - ARCHITECTURAL PLANS

**UTILITY CONTACTS**

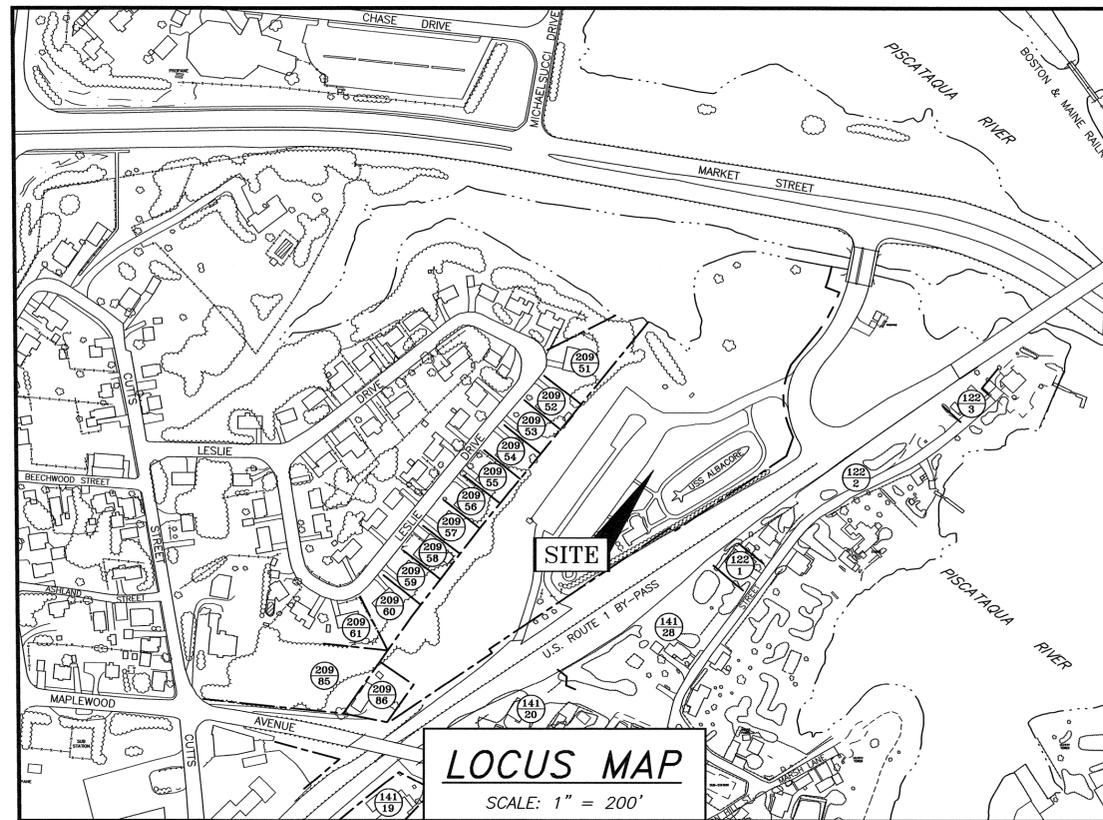
**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**CABLE:**  
XFINITY BY COMCAST  
180 GREENLEAF AVE.  
PORTSMOUTH, N.H. 03801  
Tel. (603) 266-2278  
ATTN: MIKE COLLINS

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT  
OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

**COMMUNICATIONS:**  
FAIRPOINT  
COMMUNICATIONS  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525  
ATTN: JOE CONSIDINE  
EMAIL:  
jconsidine@fairpoint.com



LEGEND:	
EXISTING	PROPOSED
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
	MAP 11/LOT 21
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
IR SET	IRON ROD SET
DH FND	DRILL HOLE FOUND
DH SET	DRILL HOLE SET
	GRANITE BOUND w/IRON ROD FOUND
FM	FORCE MAIN
S	SEWER PIPE
SL	SEWER LATERAL
PG	GAS LINE
D	STORM DRAIN
FD	FOUNDATION DRAIN
W	WATER LINE
FS	FIRE SERVICE LINE
UE	UNDERGROUND ELECTRIC SUPPLY
OHW	OVERHEAD ELECTRIC/WIRES
	RETAINING WALL
	EDGE OF PAVEMENT (EP)
100	CONTOUR
97+3	SPOT ELEVATION
E	UTILITY POLE
	ELECTRIC METER
	TRANSFORMER ON CONCRETE PAD
	ELECTRIC HANDHOLD/PULLBOX
	WATER SHUT OFF/CURB STOP
C.O.	PIPE CLEANOUT
	GATE VALVE
	HYDRANT
CB	CATCH BASIN
SMH	SEWER MANHOLE
DMH	DRAIN MANHOLE
WMH	WATER METER MANHOLE
#5	TEST BORING
IP 1	TEST PIT
LA	LANDSCAPED AREA
CI	CAST IRON PIPE
COP	COPPER PIPE
CMP	CORRUGATED METAL PIPE
DI	DUCTILE IRON PIPE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
HYD	HYDRANT
CL	CENTERLINE
EP	EDGE OF PAVEMENT
EL	ELEVATION
FF	FINISHED FLOOR
INV	INVERT
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
HH	UTILITY HANDHOLE

**LOCUS MAP**  
SCALE: 1" = 200'

**PROJECT ABUTTERS:**

141 19	N/F 1010 US ROUTE 1 BYPASS, LLC 720 LAFAYETTE ROAD SEABROOK, NH 03874 5582/0945	122 1	N/F ANDREA L. ARDITO & BRAD R. LEBO 121 NORTHWEST STREET PORTSMOUTH, NH 03801 5646/0912	209 51	N/F DONNA J. FLAGG LIVING TRUST DONNA J. FLAGG, TRUSTEE 920 SE 46th STREET APT. 2A CAPE CORAL, FL 33904 4235/1400	209 54	N/F JAMES J. & CARLA J. MURPHY REV TRUST JAMES J. & CARLA J. MURPHY TRUSTEES 214 LESLIE DRIVE PORTSMOUTH, N.H. 03801 5967/2916	209 57	N/F GERALD R. & DOLORES BROWN IRREVOCABLE TRUST GERALD R. & DOLORES BROWN TRUSTEES 174 LESLIE DRIVE PORTSMOUTH, N.H. 03801 4860/0981	209 60	N/F JEFFREY J. & KELLY L. MEE 130 LESLIE DRIVE PORTSMOUTH, N.H. 03801 6084/1599	209 86	N/F STATE OF NEW HAMPSHIRE P.O. BOX 483, 7 HAZEN DRIVE CONCORD, N.H. 03302 5014/1442		
141 20	N/F ALLAN I. PECHNER 399 MAPLEWOOD AVENUE #3 PORTSMOUTH, N.H. 03801 5573/1754	122 2	N/F AMANDA B. MORNEAULT 137 NORTHWEST STREET PORTSMOUTH, N.H. 03801 6479/2400	209 52	N/F MATTHEW C. BEAL & HEIDI L. MEDLYN 242 LESLIE DRIVE PORTSMOUTH, N.H. 03801 5766/2758	209 55	N/F SAMANTHA SMART & DEREK SWEITZER 202 LESLIE DRIVE PORTSMOUTH, N.H. 03801 6452/2890	209 58	N/F WILLIAM & MARTHA BOULANGER 354 POST ROAD GREENLAND, N.H. 03840 4614/0005	209 61	N/F JEANE CLEMENTS 122 LESLIE DRIVE PORTSMOUTH, N.H. 03801 5313/1380	122 2-1	N/F DAR BUILDERS LLC 305 MASSABESIC STREET MANCHESTER, N.H. 03103 6397/0611	122 4-1	N/F JOANNE S. & PETER K. MCGREN 250A NORTHWEST STREET PORTSMOUTH, NH 03801 6397/0611
141 28	N/F JULIANN C. LEHNE & WILLIAM A. LEHNE JR. 73 NORTHWEST STREET PORTSMOUTH, N.H. 03801 6198/2447	122 3	N/F MICHAEL GEORGE PETRIN KATIE MARIE LAVERRIERE 239 NORTHWEST STREET PORTSMOUTH, N.H. 03801 2304/1890	209 53	N/F JOSEPH F. & ROSE M. CALDERARA 230 LESLIE DRIVE PORTSMOUTH, N.H. 03801 2320/1967	209 56	N/F PAMELA EIFFE 189 LESLIE DRIVE PORTSMOUTH, NH 03801 6098/2784	209 59	N/F JEFFREY J. MEE & KELLY L. MICHAUD MEE TRUST JEFFREY J. MEE & KELLY L. MEE TRUSTEES 146 LESLIE DRIVE PORTSMOUTH, N.H. 03801 6497/2676	209 85	N/F CUTTS MANSION CONDOMINIUM 525 MAPLEWOOD AVENUE PORTSMOUTH, N.H. 03801 5549/413 D-38356	122 4-2	N/F BRIAN BLANCHETTE 250B NORTHWEST STREET PORTSMOUTH, NH 03801 4298/2699	122 4	N/F CHRISTIAN SHORE CONDOMINIUM 250 NORTHWEST STREET PORTSMOUTH, NH 03801

APPROVED BY THE PORTSMOUTH PLANNING BOARD

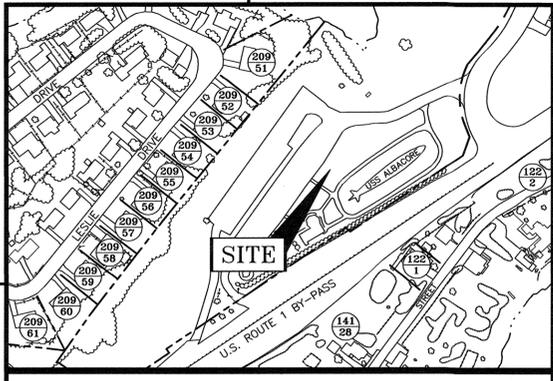
CHAIRMAN

DATE

**PROPOSED MUSEUM BUILDING  
ALBACORE PARK  
569 SUBMARINE WAY  
PORTSMOUTH, N.H.**

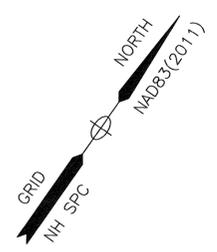
**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282  
WWW.HALEYWARD.COM  
PLAN SET SUBMITTAL DATE: 20 NOVEMBER 2023

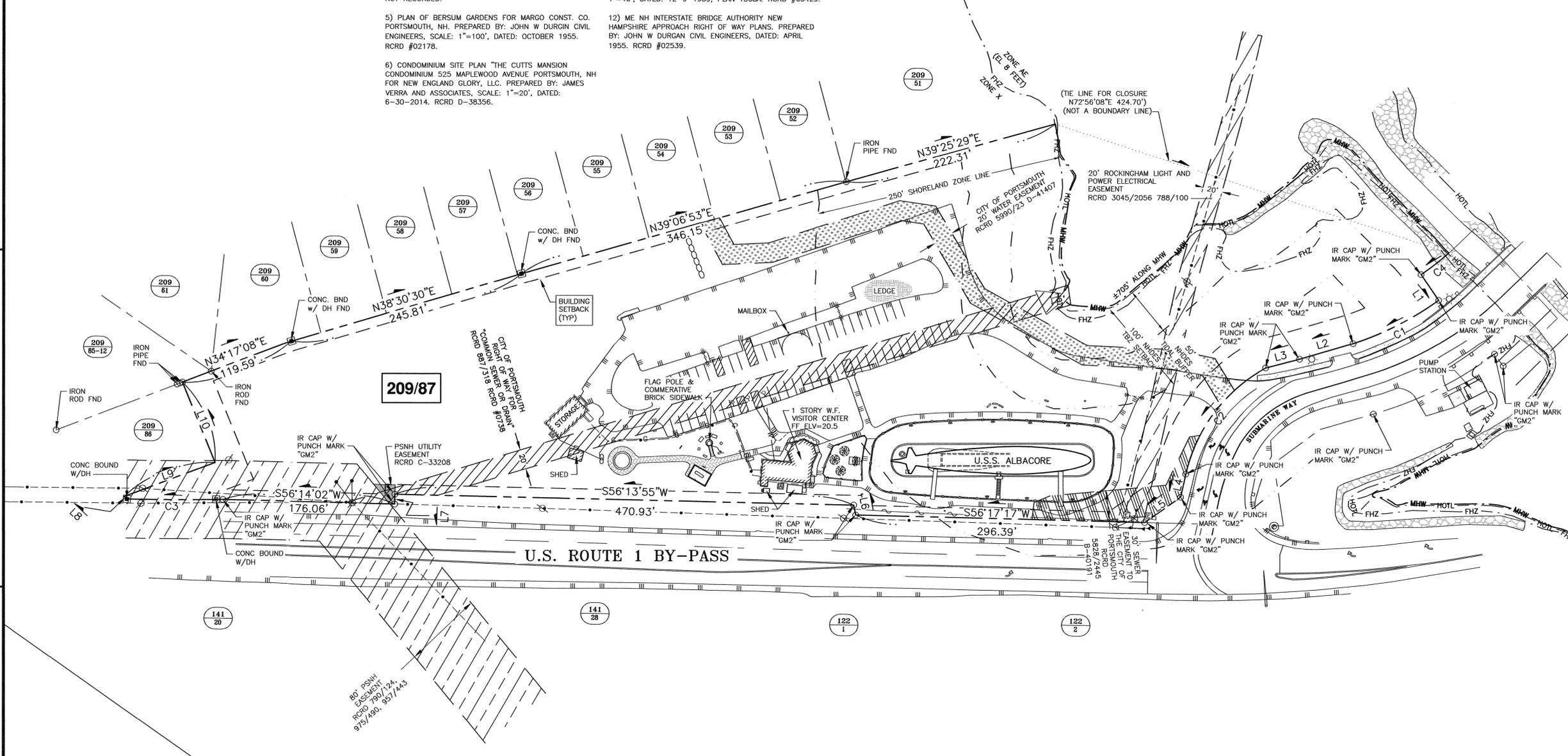


LOCATION MAP SCALE: 1" = 200'

- PLAN REFERENCES:**
- 1) LAND OF INTERSTATE BRIDGE AUTHORITY FOR ALBACORE MEMORIAL PARK ROUTE 1-BYPASS PORTSMOUTH, NH. PREPARED BY: RICHARD P MILLETTE AND ASSOCIATES, SCALE: 1"=60', DATED: 11/16/84. RCRD D-13159.
  - 2) STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY PLANS X-5379(025) NH PROJECT NO. 13455 US ROUTE 1 BYPASS OVER PISCATAQUA RIVER BRIDGE NO. 251/108. PREPARED BY: GM2 ASSOCIATES, SCALE: 1"=20', DATED: JULY 17, 2019. RCRD D-41603.
  - 3) EASEMENT PLAN FOR MUDFLAT & SALTMARSH MITIGATION SITES ALONG INNER INNER CUTTS COVE ADJACENT TO MARKET STREET EXTENSION PORTSMOUTH, NH. PREPARED BY: KIMBALL CHASE FOR BALSAM ENVIRONMENTAL CONSULTANTS, INC., DATED: APRIL, 1994. SCALE: 1"=60'. NOT RECORDED.
  - 4) SITE PLAN PLAN FOR MUDFLAT & SALTMARSH MITIGATION SITES ALONG INNER INNER CUTTS COVE ADJACENT TO MARKET STREET EXTENSION PORTSMOUTH, NH. PREPARED BY: KIMBALL CHASE FOR NEW HAMPSHIRE PORT AUTHORITY, DATED: APRIL 14, 1994, SCALE: 1"=60'. NOT RECORDED.
  - 5) PLAN OF BERSUM GARDENS FOR MARGO CONST. CO. PORTSMOUTH, NH. PREPARED BY: JOHN W DURGIN CIVIL ENGINEERS, SCALE: 1"=100', DATED: OCTOBER 1955. RCRD #02178.
  - 6) CONDOMINIUM SITE PLAN "THE CUTTS MANSION CONDOMINIUM 525 MAPLEWOOD AVENUE PORTSMOUTH, NH FOR NEW ENGLAND GLORY, LLC. PREPARED BY: JAMES VERRA AND ASSOCIATES, SCALE: 1"=20', DATED: 6-30-2014. RCRD D-38356.
  - 7) PORTSMOUTH POWER COMPANY POWER TRANSMISSION LINE ACROSS LAND OF RICHARD H HAM PORTSMOUTH, NH. SCALE: 1"=200', DATED: MARCH 21, 1924. RCRD #0353.
  - 8) CITY OF PORTSMOUTH, NH BOARD OF PUBLIC WORKS LAYOUT OF PROPOSED SEWER ON PROPERTY OF R.H. HAM MAPLEWOOD AVENUE. PREPARED BY: JOHN W DURGIN, SCALE: 1"=200', DATED: FEBRUARY 1929. RCRD #0738.
  - 9) WATER EASEMENT PLAN ACROSS LAND OF ALBACORE TRUST LESLIE DRIVE COUNTY OF ROCKINGHAM PORTSMOUTH, NH. PREPARED BY: RICHARD P MILLETTE AND ASSOCIATES, SCALE: 1"=10', DATED: JULY 26, 1984. RCRD C-12849.
  - 10) EASEMENT PLAN PORT OF PORTSMOUTH MARITIME MUSEUM ASSOCIATION & PUBLIC SERVICE OF NEW HAMPSHIRE ALBACORE PARK PORTSMOUTH, NH. PREPARED BY: WILLIAM T WORMELL, SCALE: 1"=50', DATED: 11/2/05. RCRD C-33208.
  - 11) NEW HAMPSHIRE GAS & ELECTRIC COMPANY PLAN SHOWING REROUTING OF TRANSMISSION LINE ROUTE T503 FROM JACKSON HILL SUB STATION THROUGH POLE T21-5038 SHOWING RIGHT OF WAY CHANGES. SCALE: 1"=40', DATED: 12-9-1939, PLAN Y368A. RCRD #03429.
  - 12) ME NH INTERSTATE BRIDGE AUTHORITY NEW HAMPSHIRE APPROACH RIGHT OF WAY PLANS. PREPARED BY: JOHN W DURGIN CIVIL ENGINEERS, DATED: APRIL 1955. RCRD #02539.



INNER INNER CUTTS COVE



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 209 AS LOT 87.
  - 2) OWNERS OF RECORD: PORTSMOUTH SUBMARINE MEMORIAL ASSOCIATION 569 SUBMARINE WAY PORTSMOUTH, N.H. 03801 2532/1623, 5551/1278
  - 3) PARCEL IS PARTIALLY IN SPECIAL FLOOD HAZARD AREA (AE EL. 8) AS SHOWN ON FIRM PANEL 33015C0259F. DATED JANUARY 29, 2021.
  - 4) EXISTING LOT AREA: 302,176 S.F.± 6.9370 AC.± 705'± ALONG MEAN HIGH WATER
  - 5) PARCEL IS LOCATED IN SINGLE RESIDENCE B DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 15,000 S.F.  
FRONTAGE: 100 FEET  
SETBACKS: FRONT 30 FEET  
SIDE 30 FEET  
REAR 35 FEET  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: 20%  
MINIMUM OPEN SPACE: 40%
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY OF ASSESSOR'S MAP 209 LOT 87 IN THE CITY OF PORTSMOUTH.
  - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT GNSS OBSERVATIONS.
  - 9) MEAN HIGH WATER SHOWN AT ELEVATION 3.81' (NAVD88) PER NOAA STATION 8419870 SEAVY ISLAND, PORTSMOUTH HARBOR TIDAL DATUM.
  - 10) PARCEL IS BURDENED BY AN 80' WIDE UTILITY EASEMENT TO PUBLIC SERVICE OF NEW HAMPSHIRE, SEE RCRD 790/124, 975/490, 957/443.
  - 11) PARCEL IS BURDENED BY A PUBLIC SERVICE UTILITY EASEMENT "A" SEE RCRD C-33208.
  - 12) PARCEL IS BURDENED BY A 30' SEWER EASEMENT TO THE CITY OF PORTSMOUTH, SEE RCRD 5828/2445 AND RCRD B-40191.
  - 13) PARCEL IS BURDENED BY A 20' WATER EASEMENT TO THE CITY OF PORTSMOUTH, SEE RCRD 5990/23 AND RCRD D-41407.
  - 14) PARCEL IS BURDENED BY A RIGHT OF WAY FOR COMMON SEWER OR DRAIN TO THE CITY OF PORTSMOUTH, SEE RCRD 887/318 AND RCRD #0738.
  - 15) PARCEL IS BURDENED BY A 20' POWER AND ELECTRIC EASEMENT TO ROCKINGHAM LIGHT AND POWER, SEE RCRD 3045/2056 AND 788/100.

1	11/20/23	ISSUED FOR TAC APPROVAL	SJR	JRC
0	11/7/23	ISSUED FOR COMMENT	RJB	JRC
No.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS  
TAC SUBMISSION



200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

PROJECT  
**ALBACORE PARK BUILDING ADDITION**  
569 SUBMARINE WAY PORTSMOUTH, NEW HAMPSHIRE

TITLE  
**BOUNDARY PLAN**

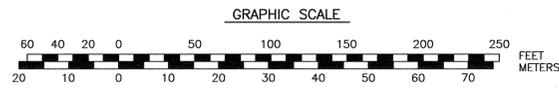
DATE	OCTOBER 2023	SCALE	SCALE: 1" = 60'
DRAWN BY	RJB	DESIGNED BY	---
CHECKED BY	JRC	PROJECT NO.	5010373-452.02
SHEET NO.	---	FIELD BOOK & PAGE	FB 347 PG 20
SIGNATURE		SIGNATURE	
DATE		DATE	

**LINE TABLE:**

LINE	BEARING	DISTANCE
L1	S69°16'14"E	32.00'
L2	S38°45'23"W	57.13'
L3	S40°26'15"W	35.88'
L4	S22°28'48"E	24.15'
L5	S19°49'28"W	45.11'
L6	N46°29'25"W	10.31'
L7	S33°36'34"E	10.00'
L8	N82°03'04"W	3.84'
L9	N34°27'30"E	99.58'
L10	N57°20'18"W	88.89'

**CURVE TABLE:**

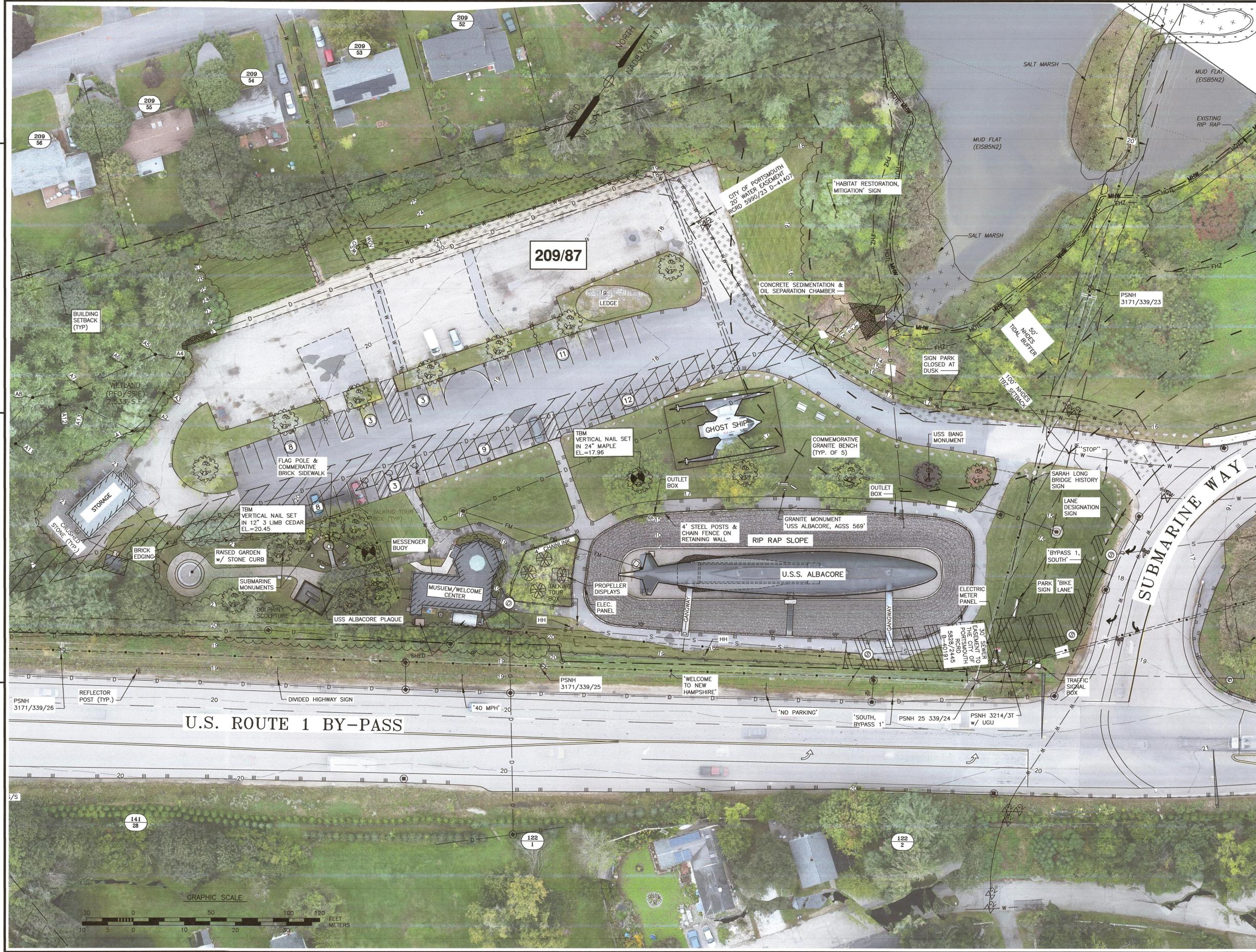
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	325.00'	98.66'	98.28'	S28°00'59"W	17°23'37"
C2	165.00'	140.18'	136.01'	S01°51'33"W	48°40'43"
C3	2915.00'	98.67'	98.66'	S55°13'39"W	1°56'22"
C4	280.00'	36.07'	36.05'	S17°02'20"W	7°22'52"



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

*John R. Chagnon*  
JOHN R. CHAGNON, LLS 738  
DATE 11-20-23

P:\NH\01073-Portsmouth-Submarine\_Memorial\_Asyn452.02-1-Submarine\_Way\_Portsmouth-IRC\023\_Site\_Plan\Plans & Specs\Site\452.02\_Survey\_2023.dwg, 11/20/2023, 12:14:15 PM, Portsmouth Pletter Chagnon TX3000.dwg



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 209 AS LOT 87.
  - 2) OWNERS OF RECORD:  
PORTSMOUTH SUBMARINE MEMORIAL ASSOCIATION  
569 SUBMARINE WAY  
PORTSMOUTH, N.H. 03801  
2532/1623, 5551/1278
  - 3) PARCEL IS PARTIALLY IN SPECIAL FLOOD HAZARD AREA (AE) AS SHOWN ON FIRM PANEL 33015C0259F, DATED JANUARY 29, 2021.
  - 4) EXISTING LOT AREA:  
302,176 S.F.±  
6.9370 AC.±
  - 5) PARCEL IS LOCATED IN SINGLE RESIDENCE B DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 15,000 S.F.  
FRONTAGE: 100 FEET  
SETBACKS: FRONT 30 FEET  
SIDE 10 FEET  
REAR 30 FEET  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: 20%  
MINIMUM OPEN SPACE: 40%
  - 7) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT GNSS OBSERVATIONS.
  - 8) MEAN HIGH WATER SHOW AT ELEVATION 3.81' (NAVD88) PER NOAA STATION 8419870 SEAVY ISLAND, PORTSMOUTH HARBOR TIDAL DATUM.
  - 9) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S TAX MAP 209 LOT 87 IN THE CITY OF PORTSMOUTH.

0	11/7/23	ISSUED FOR COMMENT	RJB	JRC
No.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS  
**TAC SUBMISSION**

**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

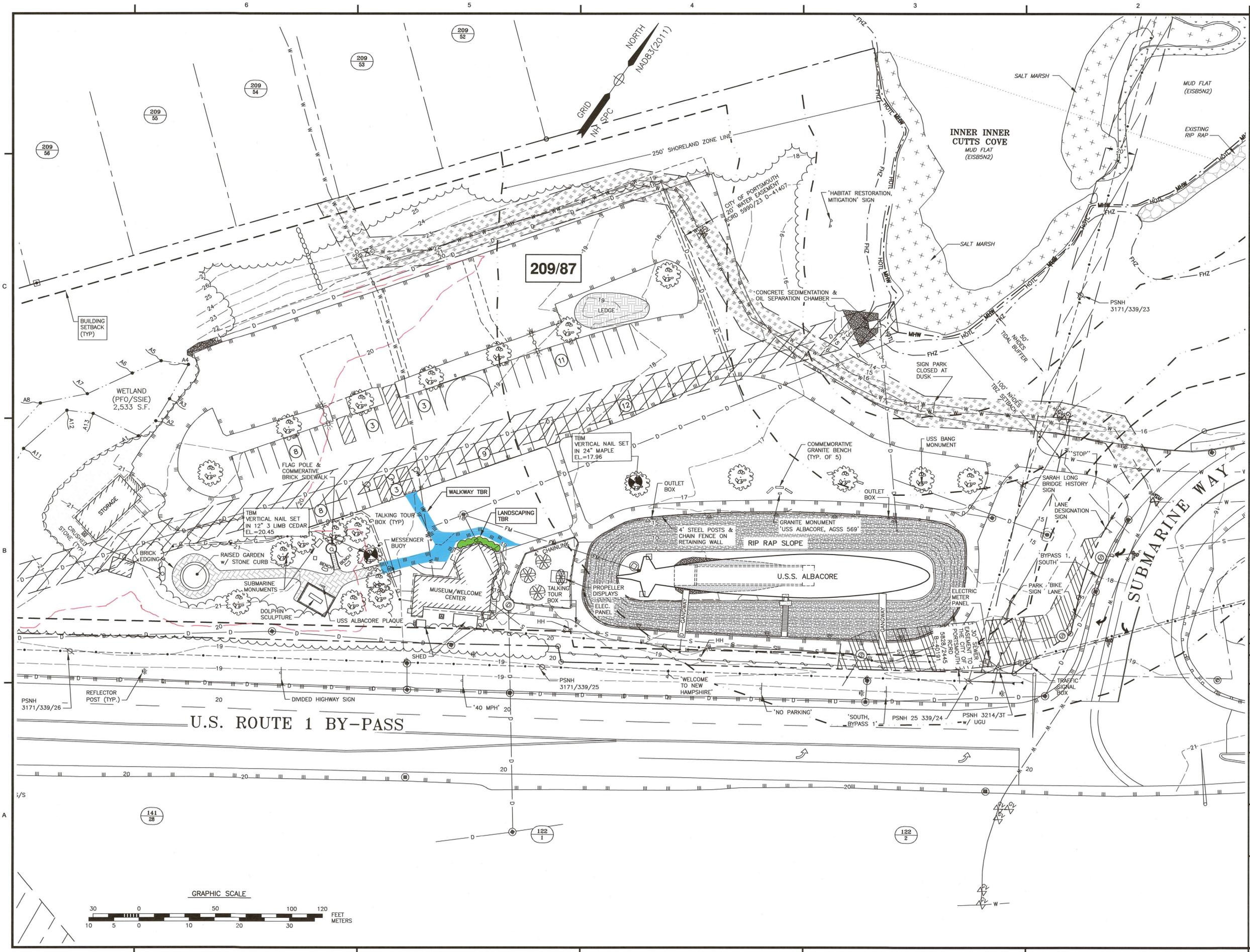
200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

WWW.HALEYWARD.COM  
PROJECT  
**ALBACORE PARK BUILDING ADDITION**  
569 SUBMARINE WAY PORTSMOUTH, NEW HAMPSHIRE

TITLE  
**EXISTING CONDITIONS PLAN**  
ORTHOPHOTO

DATE	OCTOBER 2023	SCALE	SCALE: 1" = 30'
DRAWN BY	RJB	DESIGNED BY	—
CHECKED BY	JRC		
PROJECT No.	5010373-452.02	FIELD BOOK & PAGE	FB 347 PG 20
SHEET No.		DWG No.	
<b>SHEET 2</b>		<b>C2</b>	

P:\NH\5010373-Portsmouth\_Memorial\_Assn\452.02 - Submarine Way, Portsmouth - JRC\2023\_Site Plans\Plans & Specs\Site\452.02\_Survey 2023.dwg, 11/07/2023 11:55:48 AM.  
 Portsmouth Plotted: Chon TX3000.dwg



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 209 AS LOT 87.
  - 2) OWNERS OF RECORD:  
PORTSMOUTH SUBMARINE MEMORIAL ASSOCIATION  
569 SUBMARINE WAY  
PORTSMOUTH, N.H. 03801  
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  - 3) PARCEL IS PARTIALLY IN SPECIAL FLOOD HAZARD AREA (AE, EL. 8) AS SHOWN ON FIRM PANEL 33015C0259F, DATED JANUARY 29, 2021.
  - 4) EXISTING LOT AREA:  
302,176 S.F. ±  
6.9370 AC. ±
  - 5) PARCEL IS LOCATED IN SINGLE RESIDENCE B DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 15,000 S.F.  
FRONTAGE: 100 FEET  
SETBACKS: FRONT 30 FEET  
SIDE 10 FEET  
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MAXIMUM BUILDING COVERAGE: 20%  
MINIMUM OPEN SPACE: 40%
  - 7) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT GNSS OBSERVATIONS.
  - 8) MEAN HIGH WATER SHOWN AT ELEVATION 3.81' (NAVD88) PER NOAA STATION 8419870 SEAVY ISLAND, PORTSMOUTH HARBOR TIDAL DATUM.
  - 9) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S TAX MAP 209 LOT 87 IN THE CITY OF PORTSMOUTH.

1	11/20/23	GHOST SHIP, DRAINS	SJR	JRC
0	11/7/23	ISSUED FOR COMMENT	RJB	JRC
No.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS  
**TAC SUBMISSION**

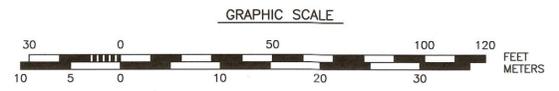
**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

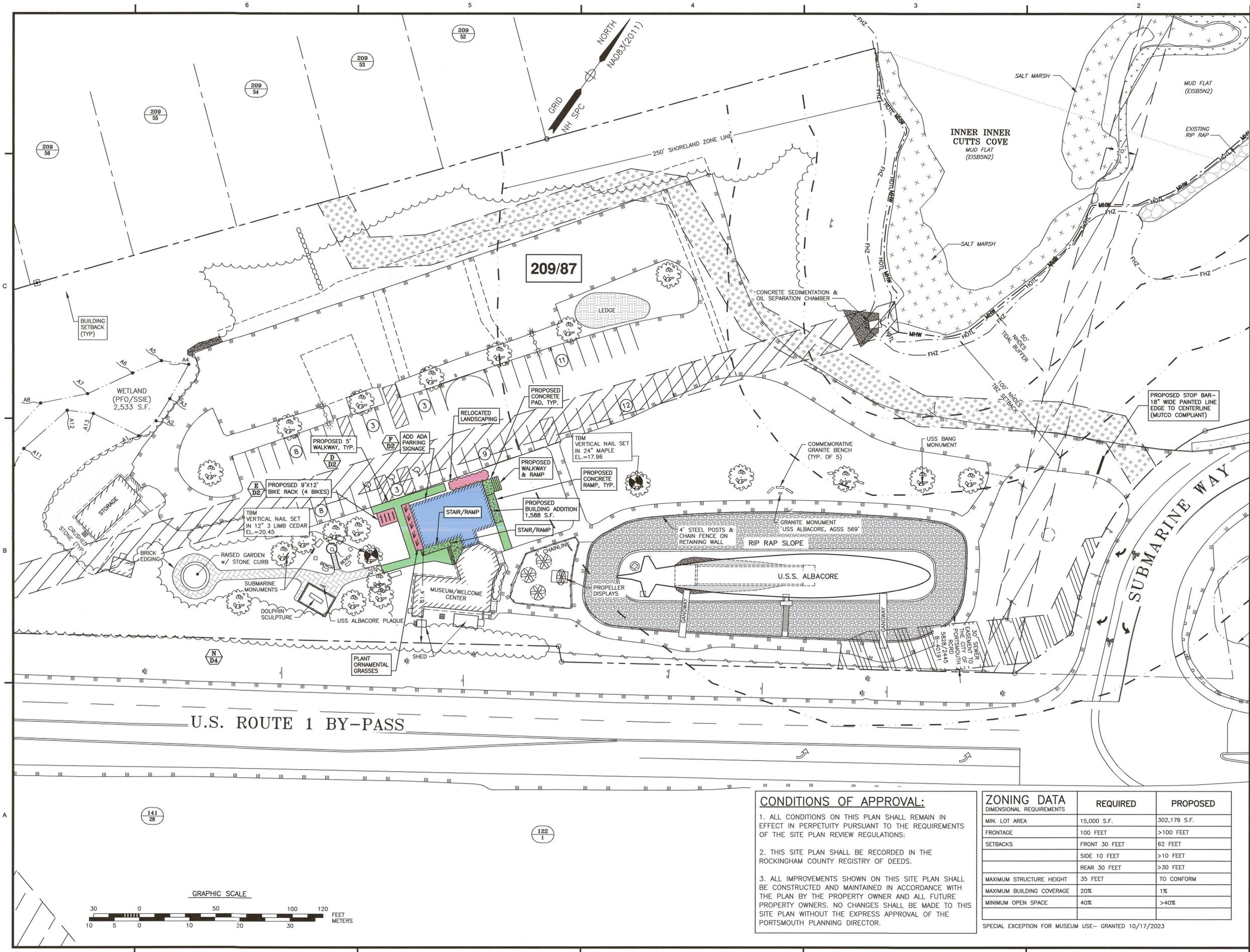
WWW.HALEYWARD.COM  
PROJECT  
**ALBACORE PARK BUILDING ADDITION**  
569 SUBMARINE WAY PORTSMOUTH, NEW HAMPSHIRE

TITLE  
**EXISTING CONDITIONS PLAN**

	DATE	OCTOBER 2023	SCALE	SCALE: 1" = 30'
	DRAWN BY	RJB	DESIGNED BY	—
	CHECKED BY	—	CHECKED BY	JRC
	PROJECT No.	5010373-452.02	FIELD BOOK & PAGE	FB 347 PG 20
SHEET No.	<b>SHEET 3</b>		DWG No.	<b>C3</b>



P:\NH\5010373-Portsmouth\_Submarine\_Memorial\_Asyn\452.02-1\_Submarine\_Way\_Portsmouth-RC\2023\_Site\_Plan\Plns & Specs\Site\452.02\_Survey\_2023.dwg, 11/20/2023 12:11:32 PM, Portsmouth Plotter, Canon TX3000.pc3



- NOTES:**
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  - 2) OWNERS OF RECORD:  
PORTSMOUTH SUBMARINE MEMORIAL ASSOCIATION  
569 SUBMARINE WAY  
PORTSMOUTH, N.H. 03801  
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302,176 S.F.±  
6.9370 AC.±
  - 5) PARCEL IS LOCATED IN SINGLE RESIDENCE B DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 15,000 S.F.  
FRONTAGE: 100 FEET  
SETBACKS: FRONT 30 FEET  
SIDE 10 FEET  
REAR 30 FEET  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: 20%  
MINIMUM OPEN SPACE: 40%
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED MUSEUM BUILDING ADDITION ON ASSESSOR'S TAX MAP 209 LOT 87 IN THE CITY OF PORTSMOUTH. ADDITION TO BE OVER CRAWL SPACE.
  8. ADD MOTION ACTIVATED BUILDING MOUNTED DARK SKY LIGHTS TO ILLUMINATE THE NEW WALKWAYS.
  9. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF PROPOSED CONCRETE BUILDING EXIT PADS, CONCRETE RAMPS, AND STEPS TO ENGINEER & ARCHITECT PRIOR TO CONSTRUCTION.

1	11/20/23	ISSUED FOR TAC APPROVAL	SJR	JRC
0	11/7/23	ISSUED FOR COMMENT	RJB	JRC
No.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS  
**TAC SUBMISSION**

**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.7282

PROJECT  
**ALBACORE PARK BUILDING ADDITION**  
569 SUBMARINE WAY PORTSMOUTH, NEW HAMPSHIRE

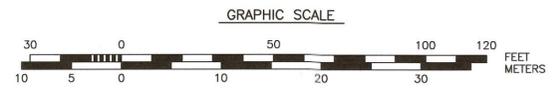
TITLE  
**AMENDED SITE PLAN**

	DATE	OCTOBER 2023	SCALE	SCALE: 1" = 30'
	DRAWN BY	OMS	DESIGNED BY	JRC
	CHECKED BY	JRC	FIELD BOOK & PAGE	FB 347 PG 20
	PROJECT No.	5010373-452.02	SHEET No.	<b>SHEET 4</b>
DWG No.		<b>C4</b>		

- CONDITIONS OF APPROVAL:**
1. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
  2. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  3. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

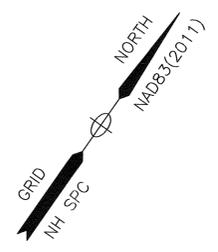
ZONING DATA DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
MIN. LOT AREA	15,000 S.F.	302,176 S.F.
FRONTAGE	100 FEET	>100 FEET
SETBACKS	FRONT 30 FEET	62 FEET
	SIDE 10 FEET	>10 FEET
	REAR 30 FEET	>30 FEET
MAXIMUM STRUCTURE HEIGHT	35 FEET	TO CONFORM
MAXIMUM BUILDING COVERAGE	20%	1%
MINIMUM OPEN SPACE	40%	>40%

SPECIAL EXCEPTION FOR MUSEUM USE- GRANTED 10/17/2023



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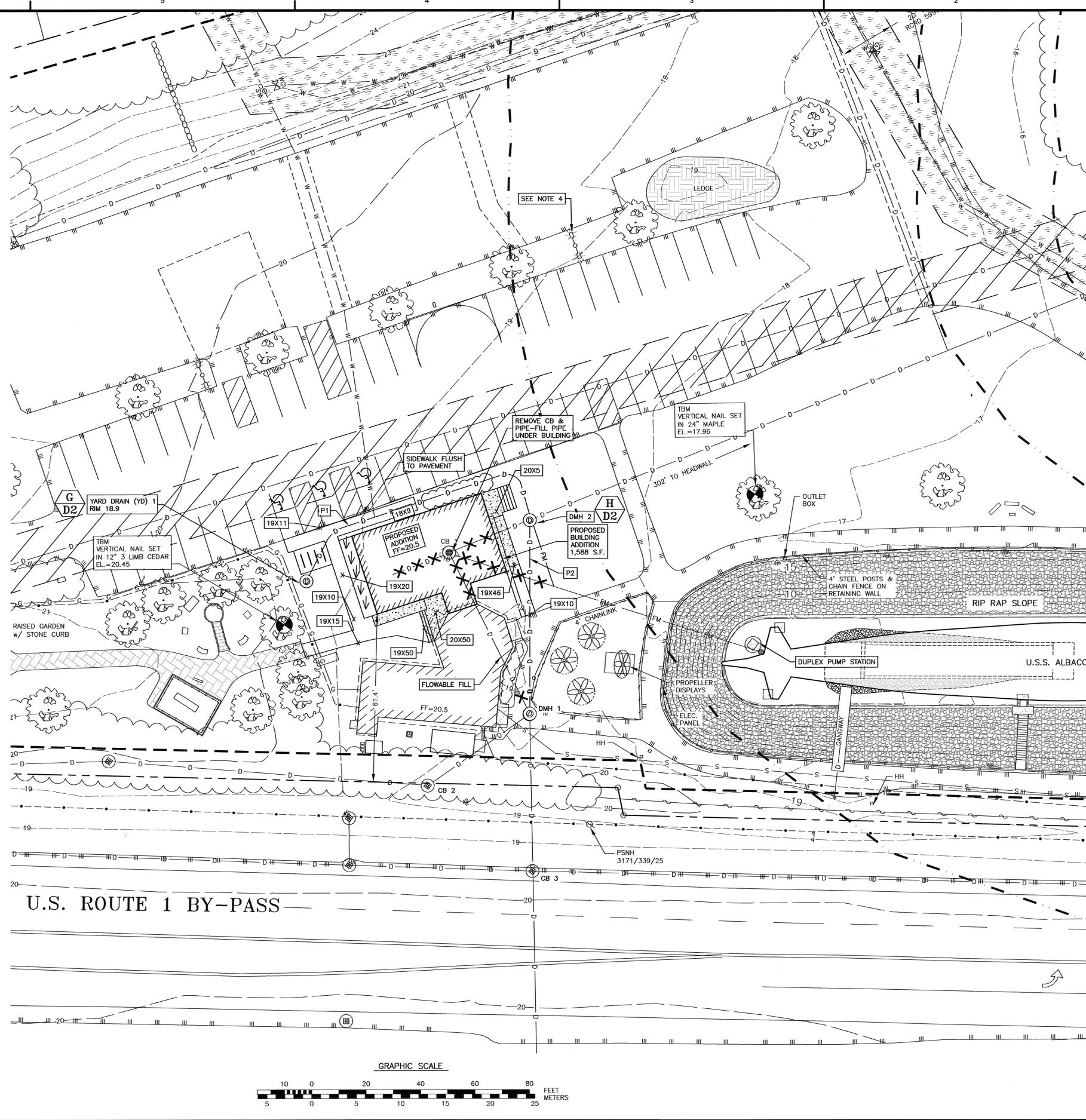




DRAINAGE STRUCTURE SCHEDULE				
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT
CB 1	EX	17.74	18" C. PVC	8.84
CB 1	EX	17.74	18" PVC	8.84
CB 1	EX	17.74	(2) 4" PVC	13.84
CB 1	EX	17.74	4" CPP	11.54
CB 2	EX	18.98	12" PVC	13.68
CB 2	EX	18.98	12" PVC	13.58
CB 3	EX	16.98	12" CMP	13.43
CB 3	EX	16.98	18" RCP	13.33
CB 3	EX	16.98	12" CMP	13.12
DMH 1	EX	18.90	18" PVC IN	10.32
DMH 1	EX	18.90	12" PVC IN	12.88
DMH 1	EX	18.90	18" PVC OUT	10.22
DMH 2	PROP	18.50	4" PVC IN	14.50
DMH 2	PROP	18.50	18" PVC IN	9.51
DMH 2	PROP	18.50	18" PVC OUT	8.53
YD 1	PROP	18.90	4" PVC OUT	15.50

PIPE SCHEDULE			
PIPE #	PIPE SIZE	LENGTH	SLOPE
1	4"	100'	0.01
2	18"	71'	0.01

\*ALL PIPE TO BE HDPE



- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
  - 4) CONTRACTOR TO DETERMINE LOCATION OF EXTERIOR LIGHTING CONDUIT (TO POLE MOUNTED LIGHTS) AND SUBMIT TO ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE ANY CONFLICTS/RESOLUTIONS.

No.	DATE	DESCRIPTION	BY	CHK.
1	11/20/23	ISSUED FOR TAC APPROVAL	SJR	JRC
0	11/7/23	ISSUED FOR COMMENT	OMS	JRC

DRAWING ISSUE STATUS: TAC SUBMISSION

**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

WWW.HALEYWARD.COM

PROJECT: ALBACORE PARK BUILDING ADDITION  
569 SUBMARINE WAY PORTSMOUTH, NEW HAMPSHIRE

TITLE: GRADING & DRAINAGE PLAN

DATE: OCTOBER 2023	SCALE: 1" = 20'
DRAWN BY: OMS	DESIGNED BY: JRC
CHECKED BY: JRC	
PROJECT NO.: 5010373-452.02	FIELD BOOK & PAGE: FB 347 PG 20
SHEET NO.:	DWG NO.:
<b>SHEET 6</b>	<b>C6</b>



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# EROSION CONTROL NOTES

## CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I.) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

- OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
- AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
- A REPRESENTATIVE OF THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
- IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

INSTALL PERIMETER CONTROLS, I.E., SILT/SOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES. PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED.

ROUGH GRADE SITE/EXCAVATE FOR FOUNDATION.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT SIDEWALKS.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

## PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A BUILDING ADDITION WITH WALKWAYS.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 10,000 S.F.

BASED ON THE USCS WEH SOIL SURVEY THE SOILS ON SITE CONSIST OF 799 WHICH IS URBAN LAND COMPLEX. SITE WAS DISTURBED FOR PARK CONSTRUCTION.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO INNER INNER CUTS COVE THEN TO THE PISCATAQUA RIVER.

## GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DUST CONTROL: DUST CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.

DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS. IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOADED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:  
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED  
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED  
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED  
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.  
 - IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

STABILIZATION MEASURES TO BE USED INCLUDE:  
 - TEMPORARY SEEDING;  
 - MULCHING.

- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THESE AREAS, SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

## MAINTENANCE AND PROTECTION

THE SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILT/SOXX SHALL BE REMOVED ONCE SITE IS STABILIZED, AND DISTURBED AREAS RESULTING FROM SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

THE CATCH BASIN INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

## WINTER NOTES

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;

## STOCKPILES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

## CONCRETE WASHOUT AREA

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:

- THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY.
- IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
- INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

## ALLOWABLE NON-STORMWATER DISCHARGES

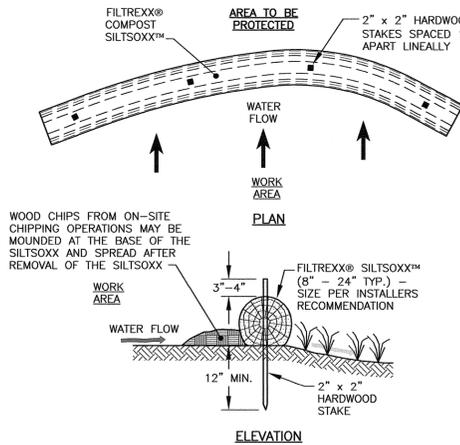
- FIRE-FIGHTING ACTIVITIES;
- FIRE HYDRANT FLUSHING;
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- WATER USED TO CONTROL DUST;
- POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- UNCONTAMINATED GROUND WATER OR SPRING WATER;
- FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- UNCONTAMINATED EXCAVATION Dewatering;
- LANDSCAPE IRRIGATION.

## WASTE DISPOSAL

- WASTE MATERIAL  
 - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;  
 - NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
- HAZARDOUS WASTE  
 - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;  
 - SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE  
 - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

## BLASTING NOTES

- CONTRACTOR SHALL CONTACT THE NHDES AND/OR LOCAL JURISDICTION PRIOR TO COMMENCING ANY BLASTING ACTIVITIES.
- FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL SUBMIT A BLASTING PLAN THAT IDENTIFIES:  
 - WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR;  
 - THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND  
 - SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.



### NOTES:

- ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
- FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
- THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
- SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
- THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.



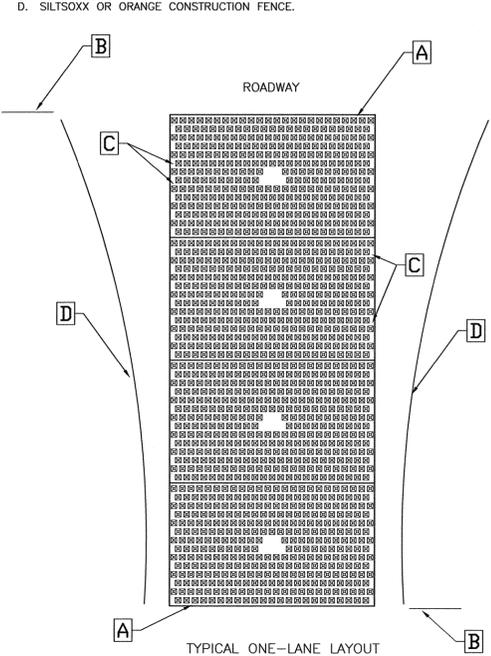
## FODS TRACKOUT CONTROL SYSTEM

### INSTALLATION:

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

### KEY NOTES:

- FODS TRACKOUT CONTROL SYSTEM MAT.
- FODS SAFETY SIGN.
- ANCHOR POINT.
- SILT/SOXX OR ORANGE CONSTRUCTION FENCE.



### INSTALLATION:

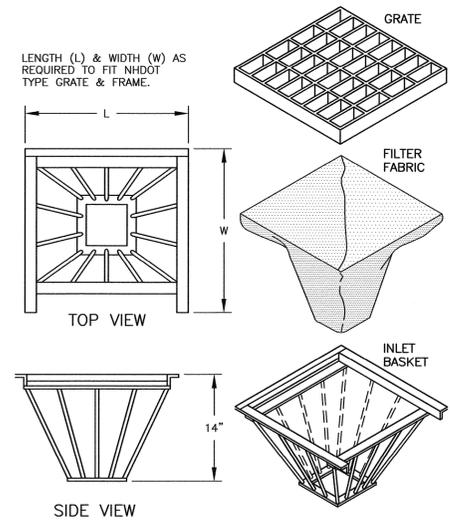
- THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
- ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
- THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
- AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
- AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
- ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
- NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
- UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
- SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

### USE AND MAINTENANCE

- VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
- DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
- MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
- THE USE OF ICE MELT, ROCK SALT, SODA MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

### REMOVAL

- REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
- STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
- THE ANCHORS SHOULD BE REMOVED.
- THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
- STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.



- INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.

- VALUE: 2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.

- VALUE: 3) THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:

- RAD STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)
- MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)

- VALUE: 4) THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SEIVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)
- VALUE: 5) THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.

- VALUE: 6) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.



## NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

0	11/7/23	ISSUED FOR COMMENT	OMS	JRC
No.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS

TAC SUBMISSION



200 Griffin Road, Unit 3  
 Portsmouth, NH 03801  
 603.430.7262

WWW.HALEYWARD.COM

PROJECT

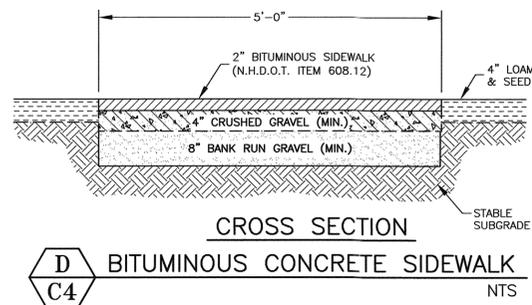
ALBACORE PARK BUILDING ADDITION  
 569 SUBMARINE WAY PORTSMOUTH, NEW HAMPSHIRE

TITLE

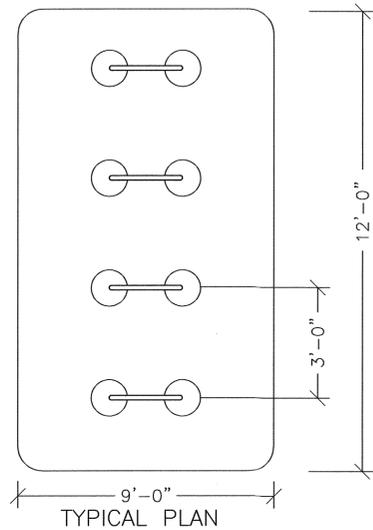
EROSION PROTECTION NOTES & DETAILS

DATE	SCALE	
OCTOBER 2023	SCALE: AS SHOWN	
DRAWN BY	DESIGNED BY	CHECKED BY
OMS	JRC	JRC
PROJECT No.	FIELD BOOK & PAGE	
5010373-452.02	FB 347 PG 20	
SHEET No.	DWG No.	
<b>SHEET 7</b>	<b>D1</b>	

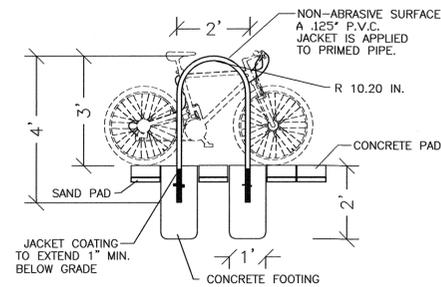




**D** BITUMINOUS CONCRETE SIDEWALK  
C4 NTS



TYPICAL PLAN



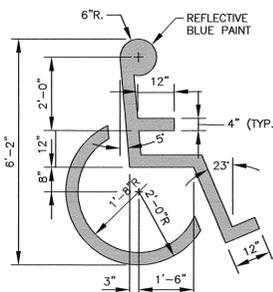
**E** BICYCLE RACK  
C4 NTS



R7-8g  
12" x 18"  
SIGN ON POST  
EACH SPACE  
SHALL HAVE  
THIS SIGN  
DISPLAYED PER  
ADA CODE

SIGNAGE

LEGEND SYMBOL



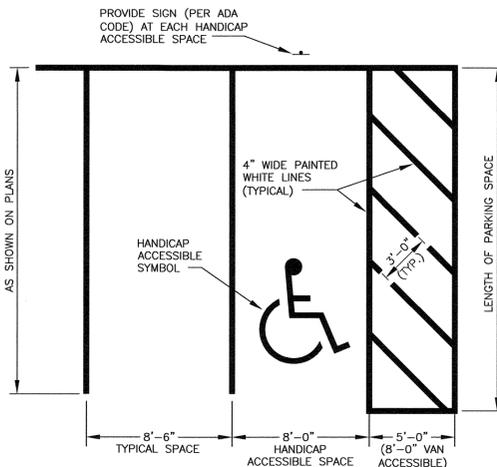
HANDICAP ACCESSIBLE SYMBOL

NOTES:

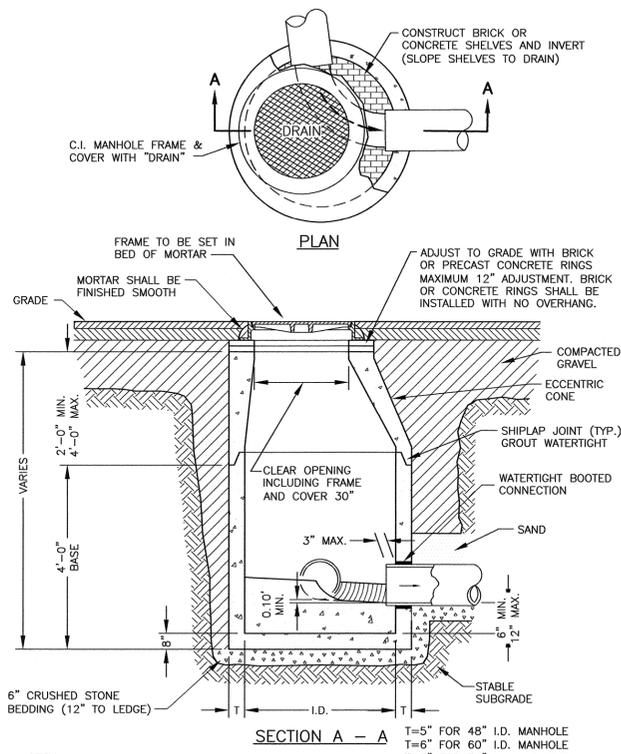
- 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
- 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
- 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.



VAN ACCESSIBLE

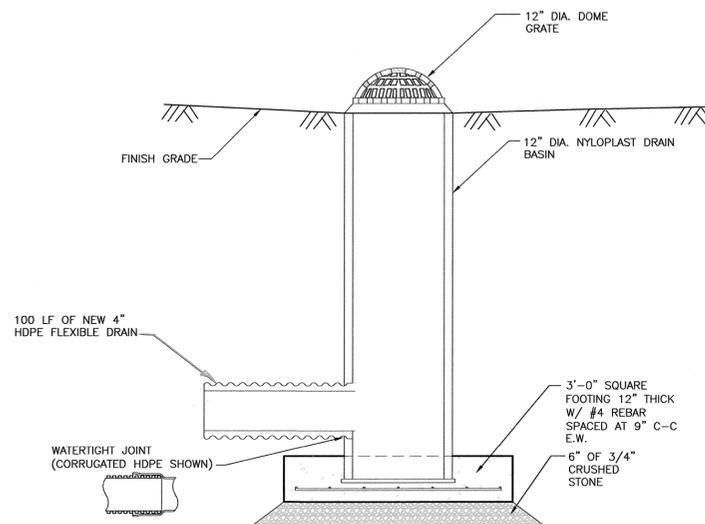


**F** HANDICAP PARKING  
C4 NTS



- NOTES:
1. CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.
  2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
  3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FOOT.
  4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
  5. ALL MANHOLES SHALL BE 48" I.D. UNLESS SPECIFIED OTHERWISE ON THE PLANS.
  6. MANHOLE SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND H-20 LOADING.

**H** DRAIN MANHOLE W/BOOT  
C6 NTS



**G** YARD DRAIN  
C6 NTS

NOTES:

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0	11/20/23	ISSUED FOR TAC APPROVAL	OMS	JRC
No.	DATE	DESCRIPTION	BY	CHK.

TAC SUBMISSION



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ALBACORE PARK BUILDING ADDITION  
569 SUBMARINE WAY PORTSMOUTH, NEW HAMPSHIRE

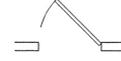
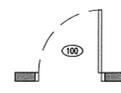
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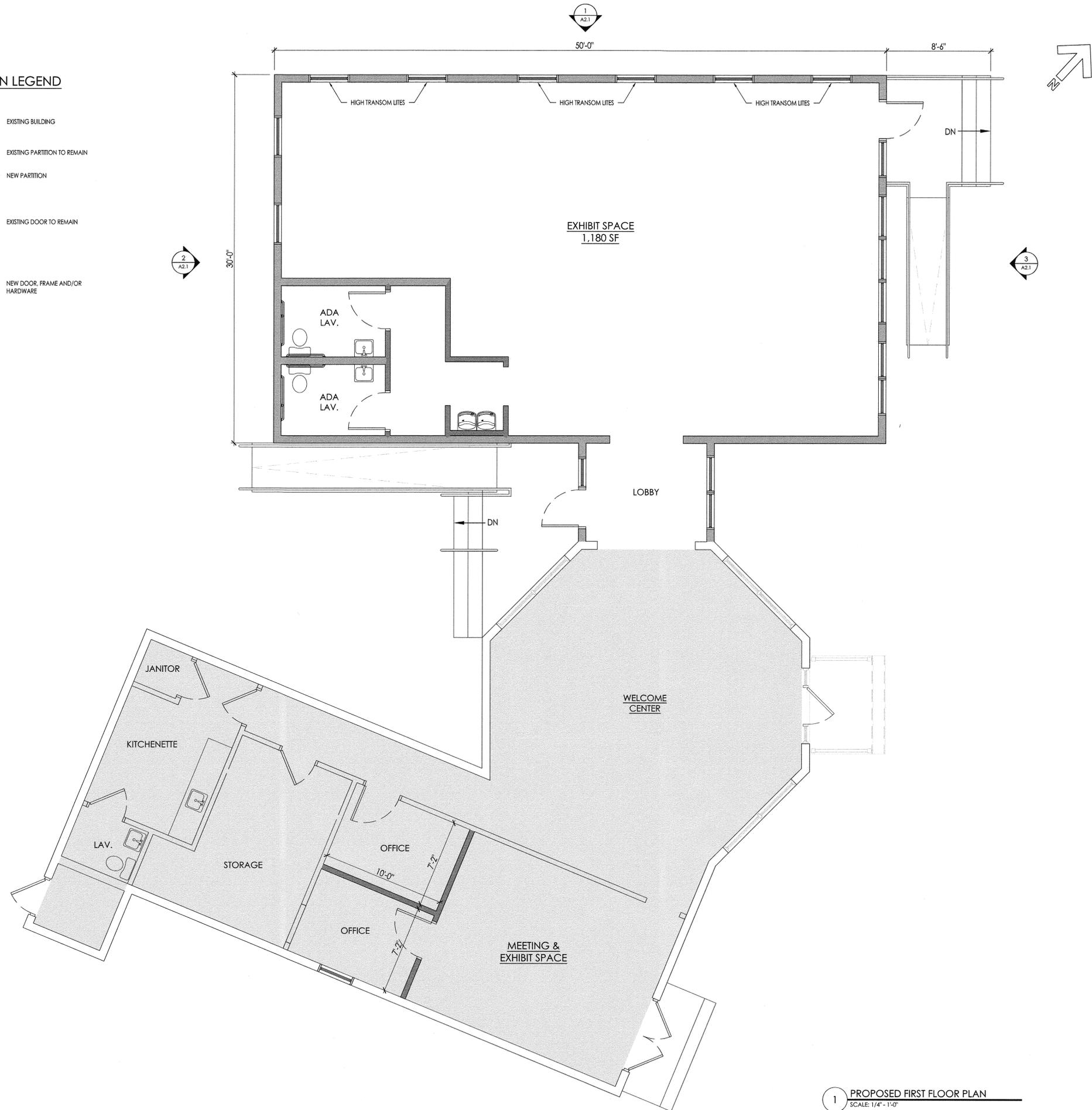
DATE	OCTOBER 2023	SCALE	SCALE: AS SHOWN
DRAWN BY	OMS	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT No.	5010373-452.02
FIELD BOOK & PAGE	FB 347 PG 20	SHEET No.	DWG No.



**SHEET 8 D2**

**FLOOR PLAN LEGEND**

-  EXISTING BUILDING
-  EXISTING PARTITION TO REMAIN
-  NEW PARTITION
-  EXISTING DOOR TO REMAIN
-  NEW DOOR, FRAME AND/OR HARDWARE



OWNER:  
**ALBACORE PARK BUILDING COMMITTEE**  
 ALBACORE PARK  
 PORTSMOUTH, NH

---

ARCHITECT:  
**PORT ONE ARCHITECTS**

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 info@portonearchitects.com

---

CONTRACTOR:

CIVIL / STRUCTURAL ENGINEER:

---

MEPFP ENGINEER:

Revision History		
#	Date	Issuance

SEAL

**SCHEMATIC DESIGN**

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LOCUS MAP

PROJECT NAME:  
**ALBACORE PARK WELCOME CENTER ADDITION & RENOVATIONS**

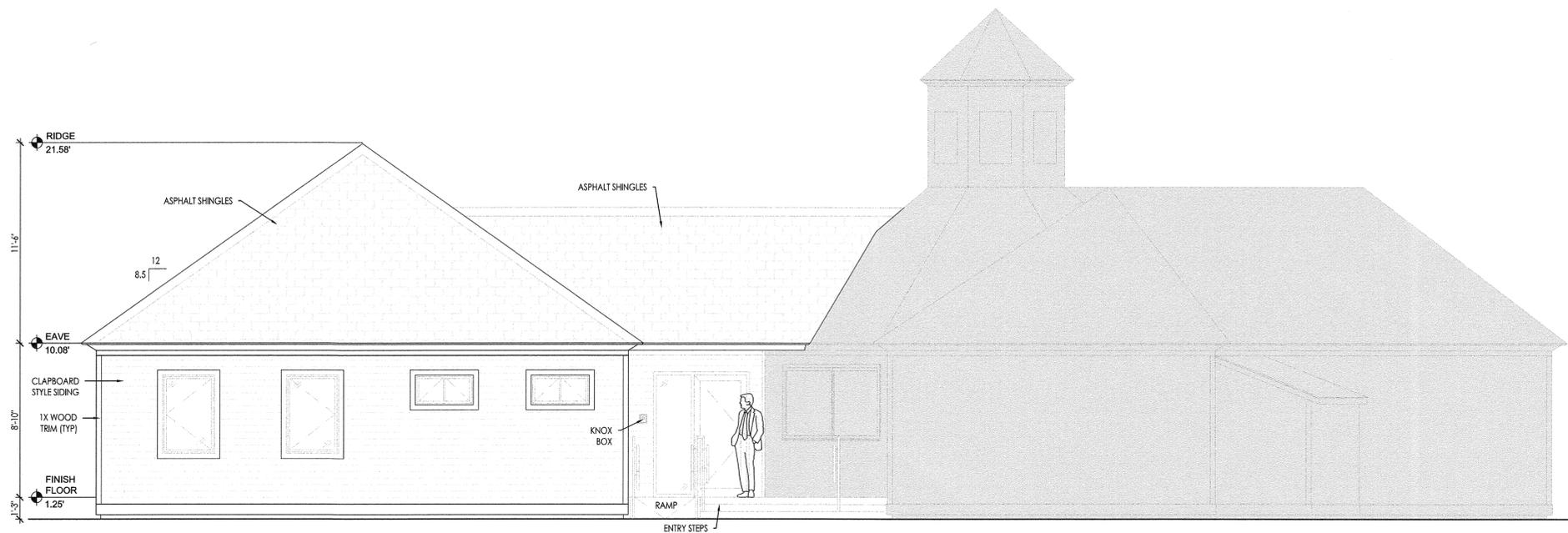
DRAWING TITLE:  
**SCHEMATIC FLOOR PLAN**

PROJECT No: 23-041  
 DATE: Nov. 7, 2023  
 DRAWING SCALE: As indicated  
 DRAWING No:

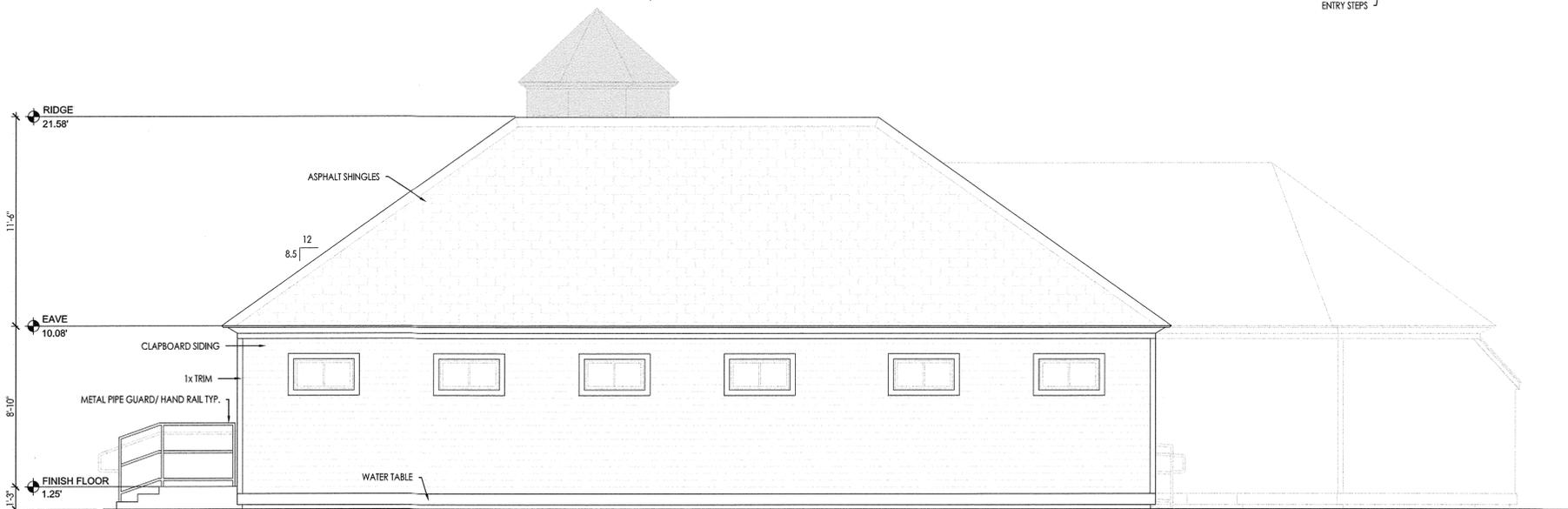
**1 PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



3 PROPOSED NORTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



1 PROPOSED WEST EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

OWNER:  
ALBACORE PARK  
BUILDING COMMITTEE

ALBACORE PARK  
PORTSMOUTH, NH

ARCHITECT:  
**PORT ONE**  
ARCHITECTS

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CONTRACTOR:

CIVIL / STRUCTURAL ENGINEER:

MEPP ENGINEER:

Revision History		
#	Date	Issuance

SEAL

SCHEMATIC DESIGN

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LOCUS MAP

PROJECT NAME:

ALBACORE PARK  
WELCOME CENTER  
ADDITION &  
RENOVATIONS

DRAWING TITLE:

EXTERIOR  
ELEVATIONS

PROJECT No: 23-041

DATE: Nov. 7, 2023

DRAWING SCALE: As indicated

DRAWING No:

A2.1