Tighe&Bond

C5194-001 September 27, 2023

Mr. Rick Chellman, Chair City of Portsmouth Planning Board 1 Junkins Avenue Portsmouth, New Hampshire 03801

Re: Site Review & Subdivision Applications Proposed Single-Family Subdivision, Shearwater Drive, Portsmouth, NH

Dear Chairman Chellman:

On behalf of Chinburg Properties (applicant), we are pleased to submit one (1) set of hard copies and one electronic file (.pdf) of the following information to support a request for a Site Review Permit and Subdivision Permit for the above referenced project:

- Site Plan Set, last revised September 27, 2023;
- TAC Stipulations Response Report, dated September 27, 2023;
- Owner Authorization Letter, dated August 1, 2023;
- Applicant Authorization Letter, dated August 1, 2023:
- Site Review Checklist, dated September 27, 2023;
- Subdivision Checklist, dated September 27, 2023;
- Application Fee Calculation Form;
- Unitil Will Service Letter, dated August 14, 2023;
- Prototypical Architectural Plans, dated August 21, 2023:

The proposed project is located along Shearwater Drive on a parcel of land identified as Map 217 Block 2 Lot 1900 on the City of Portsmouth Tax Maps. The existing parcel had seven (7) existing buildings consisting of (5) duplexes, (1) 4-unit, and (1) 6-unit buildings that were previously demolished earlier this year. The project includes the subdivision of the 2.23 acre lot into nine (9) Single-Family lots and the construction of the associated residential buildings, stormwater management, landscaping, and utilities. All proposed buildings and lots have been designed to meet or exceed the current zoning and site review requirements.

The enclosed Site Plan Set includes nine (9) prototypical building layouts and designs. The final building location, size, and styles are to be determined prior to the issuance of a building permit. The applicant's intent is to provide the prospective buyer with the option of choosing any building layout that fits within the building setbacks and all applicable City of Portsmouth Site Plan and Zoning requirements.

That applicant respectfully requests that a waiver be granted from Section IX.2 from the city of Portsmouth Subdivision Regulations, requiring that a maintenance bond in the amount of not to exceed 25% of the total improvement cost for the maintenance of the roads. The improvements depicted on the enclosed plans are limited to an existing right of way currently maintained by the City of Portsmouth, therefore the applicant believes that a maintenance bond would not be applicable to this application.

The enclosed plans and supplemental materials have been provided to address conditions of approval from the Technical Advisory Committee (TAC) in correspondence dated September 8, 2023, and at their meeting held on September 5, 2023. The enclosed TAC Stipulation Response Report addressed the status of each of the TAC stipulations.

We respectfully request to be placed on the Planning Board meeting agenda for October 19, 2023. If you have any questions or need any additional information, please contact Neil Hansen by phone at (603) 294-9213 or by email at <u>nahansen@tighebond.com</u>.

Sincerely, TIGHE & BOND, INC.

Patrick M. Crimmins, PE Vice President

Copy: Chinburg Properties (via email)

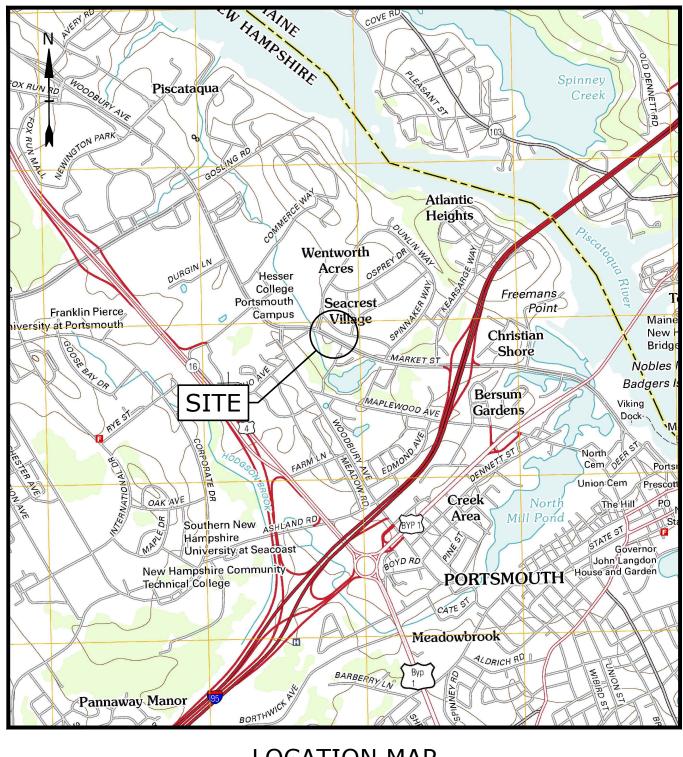
Neil A. Hansen, PE Project Manager

PROPOSED SINGLE-FAMILY SUBDIVISION SHEARWATER DRIVE PORTSMOUTH, NEW HAMPSHIRE AUGUST 1, 2023 LAST REVISED: SEPTEMBER 27, 2023

LIST OF DRAWINGS				
SHEET NO.	SHEET TITLE	LAST REVISED		
	COVER SHEET	9/27/2023		
1 OF 1	SUBDIVISION PLAN	8/17/2023		
1 OF 1	EXISTING CONDITIONS PLAN	8/17/2023		
G-100	GENERAL NOTES AND LEGEND	9/27/2023		
C-101	EXISTING CONDITIONS & DEMOLITION PLAN	9/27/2023		
C-102	SITE PLAN	9/27/2023		
C-103	GRADING, DRAINAGE, & EROSION CONTROL PLAN	9/27/2023		
C-104	UTILITIES PLAN	9/27/2023		
C-105	LANDSCAPE PLAN	9/27/2023		
C-201	DRAINAGE EASEMENT LPAN	9/27/2023		
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	9/27/2023		
C-502	DETAILS SHEET	9/27/2023		
C-503	DETAILS SHEET	9/27/2023		
C-504	DETAILS SHEET	9/27/2023		
C-505	DETAILS SHEET	9/27/2023		

LIST OF PERMI	TS	
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT	PENDING	
SUBDIVISION PERMIT	PENDING	
FEDERAL		
EPA - NPDES CGP (SWPPP)	NOT SUBMITTED	

T & B PROJECT NO: C-5194-001



LOCATION MAP SCALE: 1" = 2,000'

PREPARED BY: RPORATE DRIVE PORTSMOUTH, NEW HAMPSHIRE 03801 603-433-8818

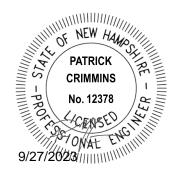
OWNER: BANTRY BAY ASSOCIATION LLC 540 NORTH COMMERCIAL ST MANCHESTER, NH 03101

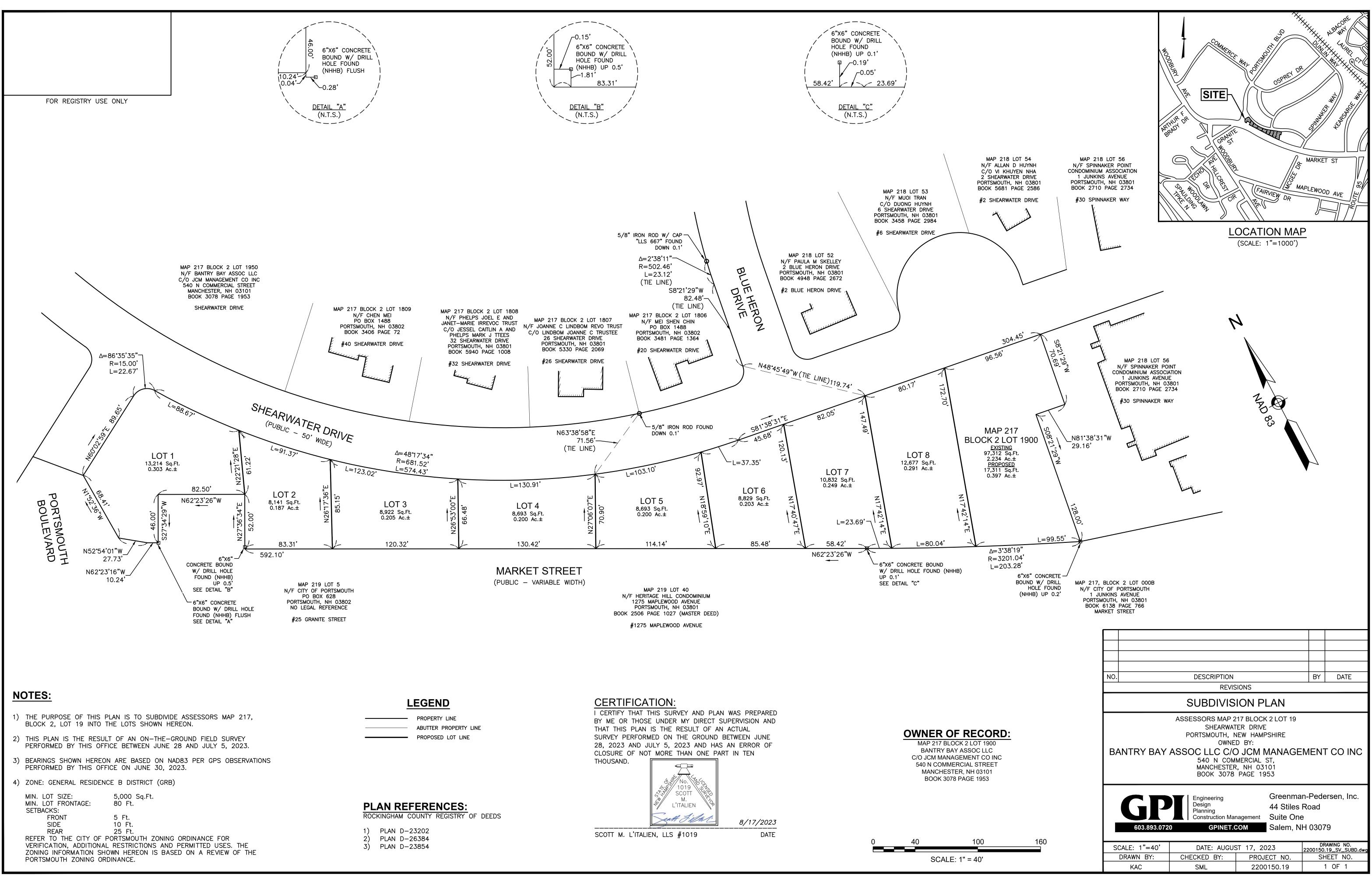
APPLICANT: CHINBURG PROPERTIES **3 PENSTOCK WAY** NEWMARKET, NH 03857

SURVEYOR: GREENMAN-PEDERSEN, INC. 44 STILES ROAD, SUITE ONE SALEM, NH 03079

PLANNING BOARD SUBMISSION **COMPLETE SET 15 SHEETS**





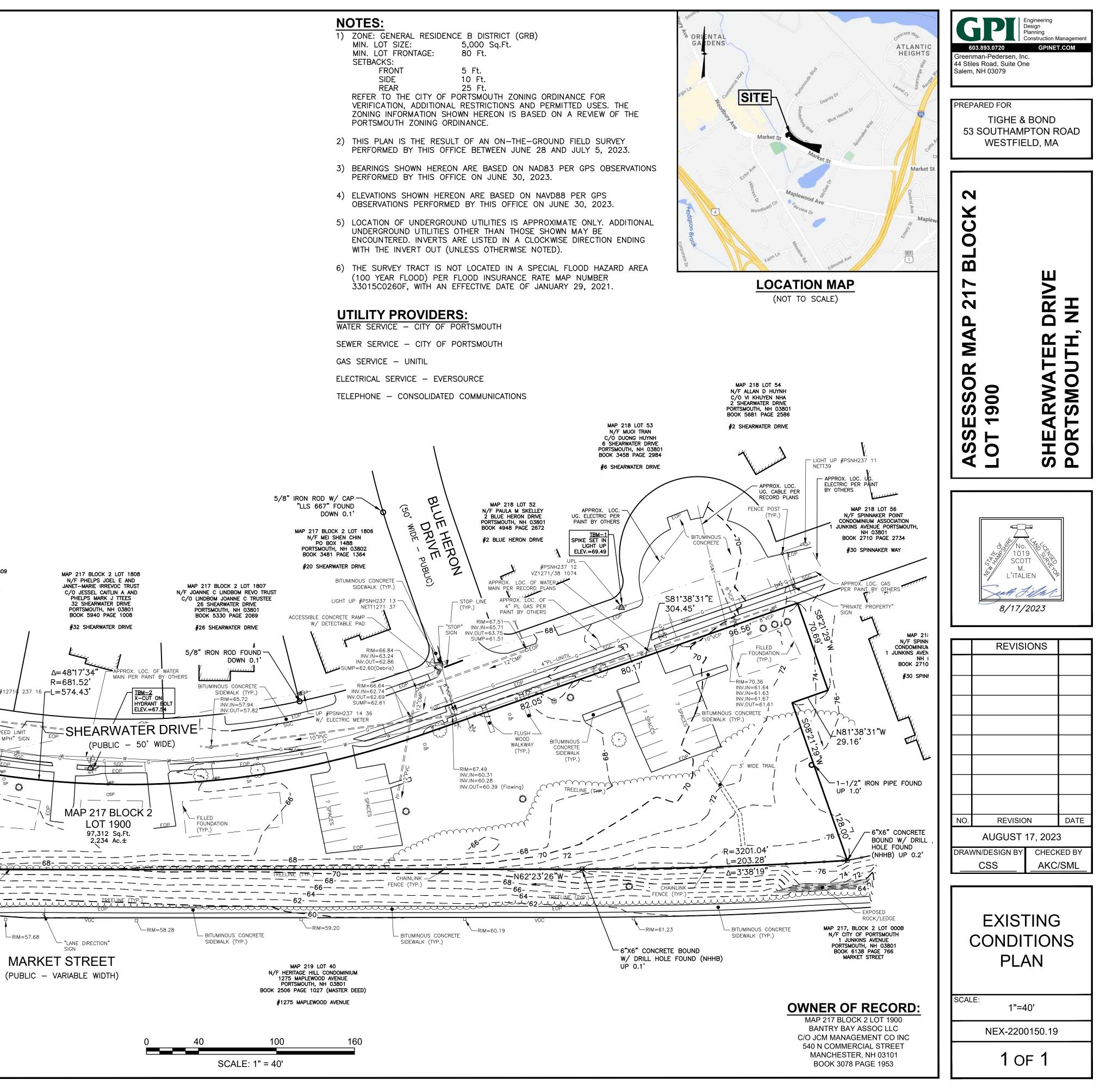


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#25 GRANITE STREET

PLAN REFERENCES: ROCKINGHAM COUNTY REGISTRY OF DEEDS

1) PLAN D-23202



- GENERAL NOTES 1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK. 2. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 3. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- 4. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT
- APPROVALS. 6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING
- JURISDICTION 7. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS. 9. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
- 11. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. 12. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
- 13. APPLICANT SHALL SUBMIT, AS PART OF THE FINAL POST APPROVAL PROCEDURES, RELEVANT PTAP INFORMATION USING THE MOST RECENT ONLINE DATA PORTAL CURRENTLY MANAGED BY THE UNH STORMWATER CENTER. THE PLANNING DEPARTMENT SHALL BE NOTIFIED AND COPIED OF THE PTAP DATA SUBMITTAL.

DEMOLITION NOTES:

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES. 2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES
- 3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY. 4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 5. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- 7. ALL UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
- 8. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE. 9. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED
- DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID. 10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES,
- RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING. 11. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- 13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER
- 14. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE. 15. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED
- UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN. 16. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

SITE NOTES

- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS. 3. SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- 4. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 5. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR. 6. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- 7. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- 8. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 9. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY
- 10. ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS.

GRADING AND DRAINAGE NOTES:

1. COMPACTION REQUIREMENTS:

- BELOW PAVED OR CONCRETE AREAS TRENCH BEDDING MATERIAL AND
- SAND BLANKET BACKFILL
- BELOW LOAM AND SEED AREAS
- 90% * ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS

DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922

- 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) UNLESS OTHERWISE SPECIFIED.
- 3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- 5. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH. 6. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND
- BRIDGES, LATEST EDITION. 7. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
- 8. CONTRACTOR TO FIELD VERIFY OUTLET INVERT PRIOR TO CONSTRUCTION.

- 1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.
- 1. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY • NATURAL GAS - UNITIL • WATER/SEWER - CITY OF PORTSMOUTH
- ELECTRIC EVERSOURCE

- 4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED
- 6. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
- FOR CAPPING OF WATER AND SEWER SERVICES.
- 8. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL
- APPLICABLE STATE AND LOCAL CODES. 9. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND
- THE APPLICABLE UTILITY COMPANIES.
- 11. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER OPERATIONAL
- 12. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- CROSSINGS.
- PAVEMENT AREAS TO REMAIN 15. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 17. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
- CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY
- 20. ALL WATER LINES SHALL BE EQUIPPED WITH WATER SHUT OF VALVES LOCATED WITH IN THE CITY RIGHT OF WAY.
- SHALL BE NURSERY GROWN.

- REVISION.
- DIGGING.
- SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
- PLACED IN ANY WETLAND AREA. AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
- SYSTEM. 10. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- SPECIAL PROVISIONS ARE MADE FOR DROUGHT. MAINTENANCE STANDARD PRACTICES.

- REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB. PERIOD SHALL BE REPLACED BY THE CONTRACTOR
- 17. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE
- MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
- ACCEPTANCE OF ALL THE PLANTINGS. PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

- 95% 95%

EROSION CONTROL NOTES

UTILITY NOTES:

• COMMUNICATIONS - COMCAST/CONSOLIDATED COMMUNICATIONS/FIRST LIGHT

2. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.

3. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.

5. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.

7. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS

10. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.

MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND

13. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER

14. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING

16. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.

18. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE

19. IF THE EXISTING WATER LINE IS LESS THAN 1" IN DIAMETER AND ANY MATERIAL OTHER THAN COPPER, IT SHALL BE CAPPED BY CORPORATION STOP AT THE MAIN AND NEW 1" COPPER LINE AND WATER SHUT OFF VALVE SHALL BE CONSTRUCTED.

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER AND OR THE CITY OF PORTSMOUTH TREES & PUBLIC GREENERY COMMITTEE. ALL PLANTS

2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING

PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST

4. PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO

5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS 6. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY

LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED. 7. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE

8. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER

9. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION

11. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.

12. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS

13. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT

14. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.

15. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED, ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK, ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE

16. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING

CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL

21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO

EXISTING CONDITIONS PLAN NOTES:

1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY GPI, SEE REFERENCE PLAN #1.

REFERENCE PLANS:

1. "EXISTING CONDITIONS PLAN - MAP 217 BLOCK 2 LOT 1900" PREPARED BY GPI, DATED JULY 19, 2023.

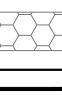
ABBREVIATIONS

TBR
BLDG
TYP
GFP
COORD
30'R
VGC
SGC
HDPE
FF

TO BE REMOVED BUILDING TYPICAL **GROSS FOOT PRINT** COORDINATE CURB RADIUS VERTICAL GRANITE CURB SLOPED GRANITE CURB HIGH-DENSITY POLYETHYLENE FINISH FLOOR VERIFY IN FIELD











LEGEND

—_PD-——OHW——— —___PS_____ —___PW_____ —XD—— 14.50

PROPOSED SAWCUT LIMIT OF WORK PROPOSED SILT SOCK

APPROXIMATE LIMIT OF PAVEMENT TO BE MILLED AND OVERLAID

APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED

PROPOSED CONSTRUCTION EXIT

EXISTING PROPERTY LINE PROPOSED PROPERTY LINE PROPOSED EDGE OF PAVEMENT PROPOSED CURB

PROPOSED BUILDING

PROPOSED BITUMINOUS PAVEMENT SECTION

PROPOSED MILL AND OVERLAY SECTION

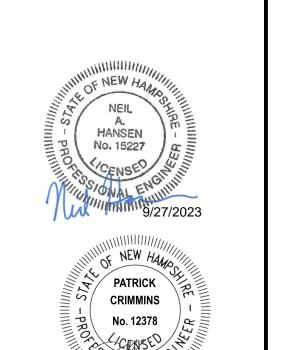
PROPOSED DRIP EDGE

PROPOSED MAJOR CONTOUR LINE PROPOSED MINOR CONTOUR LINE PROPOSED DRAIN LINE (TYP) INLET PROTECTION SILT SACK PROPOSED DRAIN MANHOLE PROPOSED YARD DRAIN EXISTING STORM DRAIN EXISTING SANITARY SEWER EXISTING WATER EXISTING GAS EXISTING UNDERGROUND ELECTRIC EXISTING OVERHEAD UTILITY PROPOSED SANITARY SEWER PROPOSED WATER PROPOSED GAS APPROXIMATE SANITARY SEWER APPROXIMATE WATER APPROXIMATE STORM DRAIN EXISTING CATCHBASIN EXISTING DRAIN MANHOLE EXISTING SEWER MANHOLE EXISTING WATER VALVE EXISTING HYDRANT EXISTING ELECTRIC MANHOLE EXISTING TELEPHONE MANHOLE PROPOSED SEWER MANHOLE PROPOSED WATER VALVE PROPOSED HYDRAN PROPOSED LIGHT POLE BASE PROPOSED SPOT GRADES PROPOSED FIRE HYDRANT PROPOSED WATER SHUT OFF

PROPOSED SEWER CLEAN OUT

PROPOSED TREE

PROPOSED TREE PROTECTION BARRIER



17 ONAT

9/27/20/23/11

Tighe&Bond

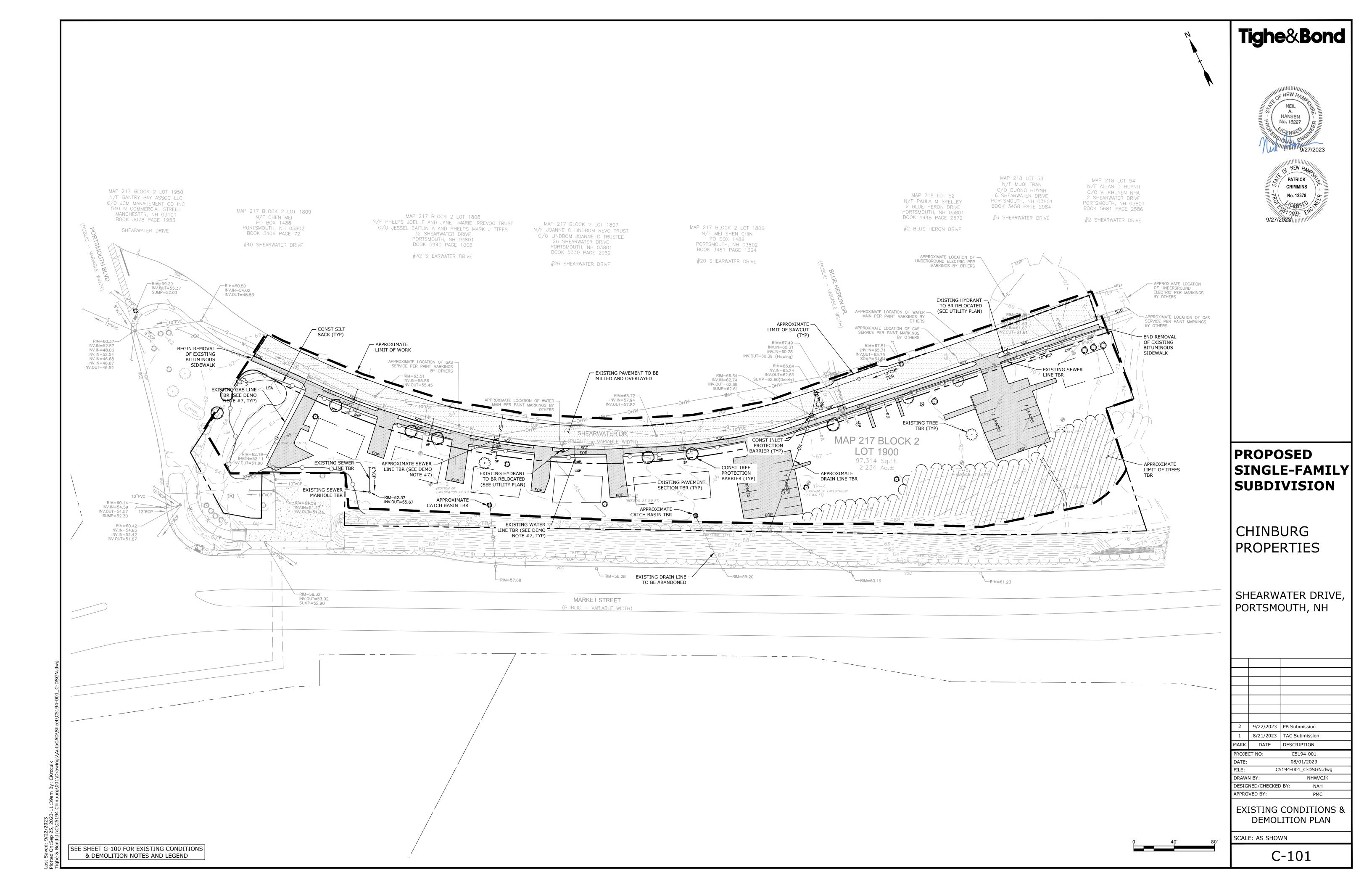
PROPOSED SINGLE-FAMILY **SUBDIVISION**

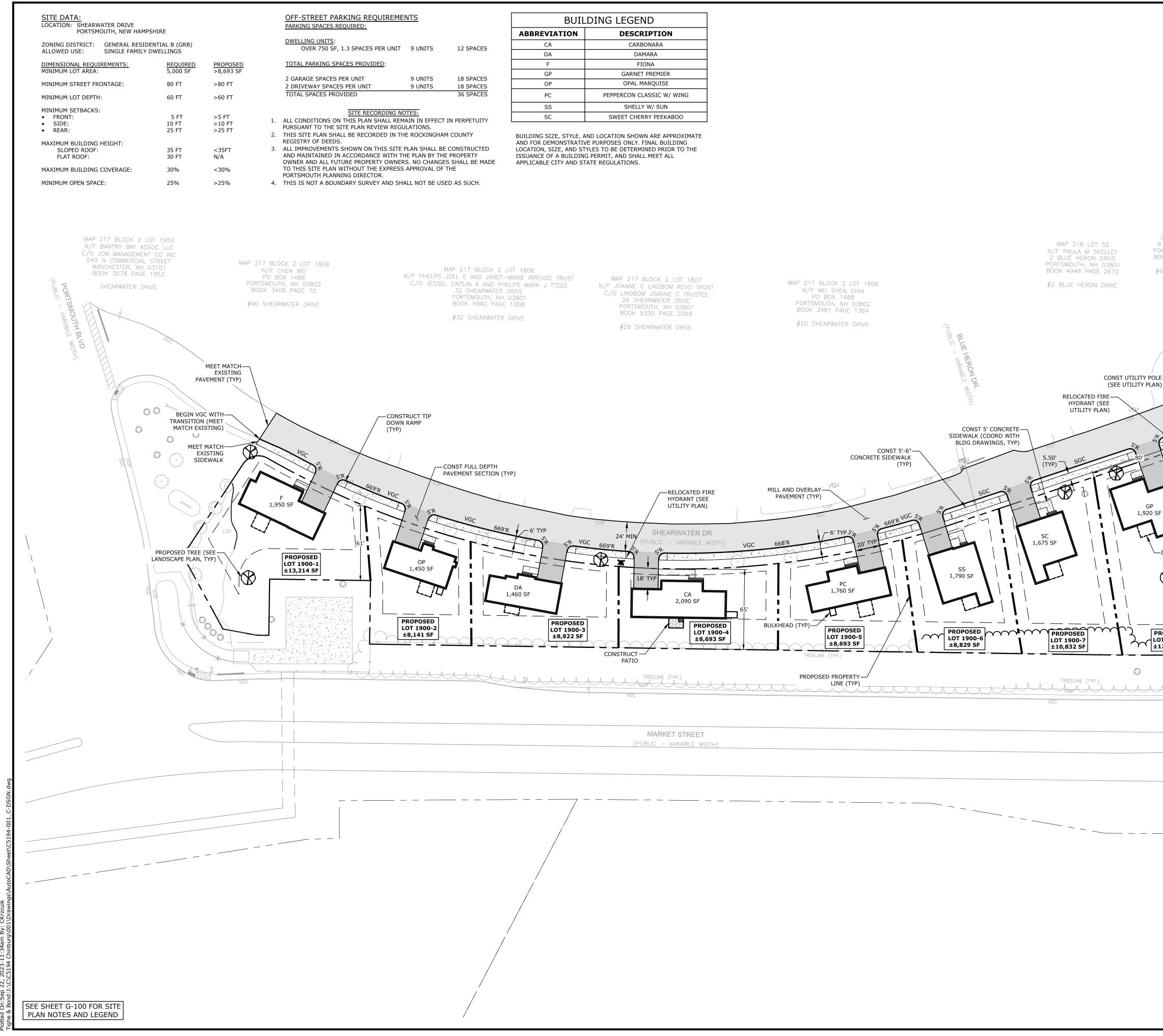
CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

2	9/22/2023	PB Submission
1	8/21/2023	TAC Submission
MARK	DATE	DESCRIPTION
PROJE	CT NO:	C5194-001
DATE:		08/01/2023
DATE: FILE:	C5	08/01/2023 5194-001_C-DSGN.dwg
FILE:		5194-001_C-DSGN.dwg NHW/CJK
FILE: DRAWI DESIG	N BY:	5194-001_C-DSGN.dwg NHW/CJK
FILE: DRAWI DESIG	N BY: NED/CHECKED VED BY:	5194-001_C-DSGN.dwg NHW/CJK D BY: NAH

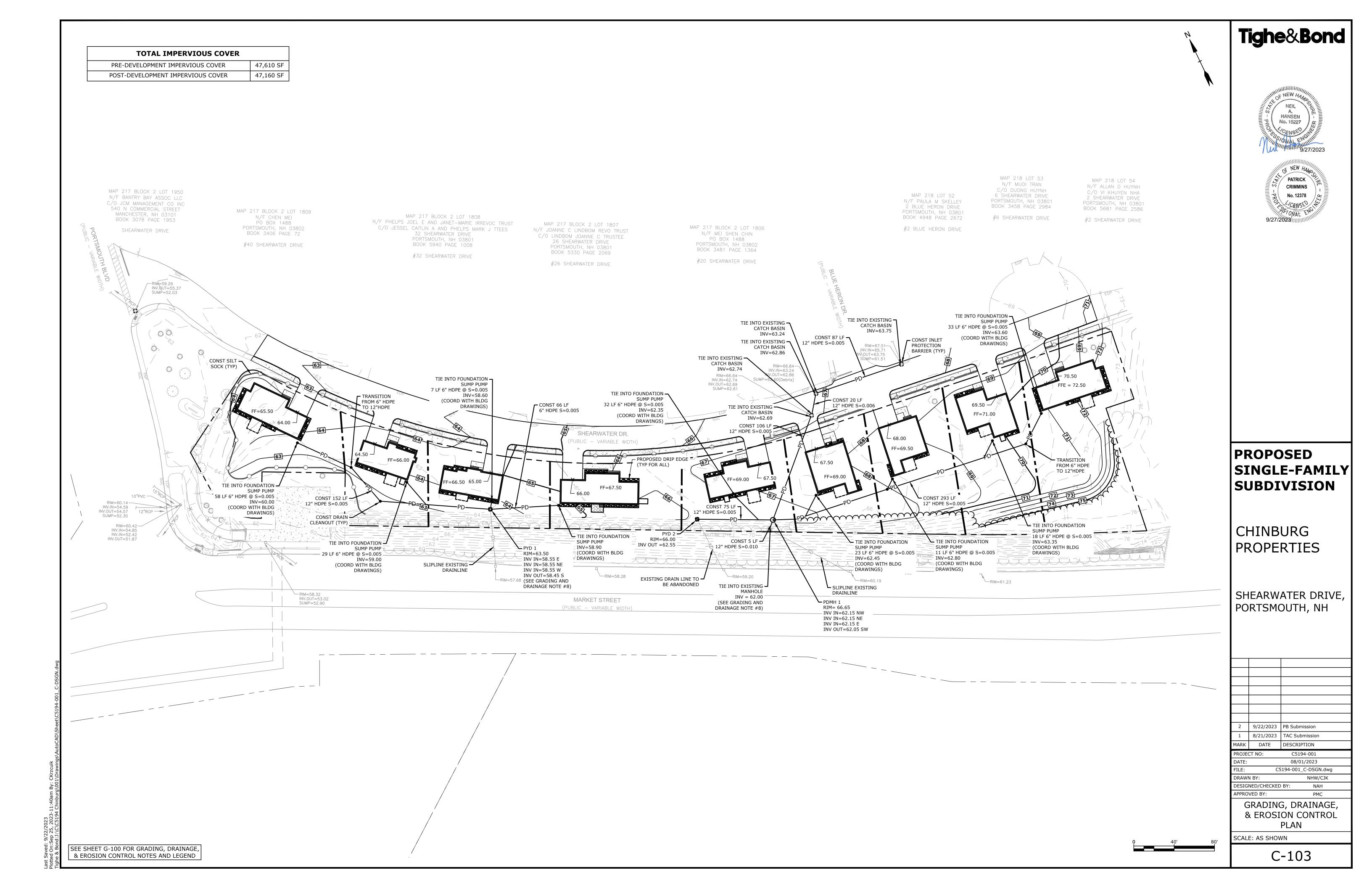
G-100

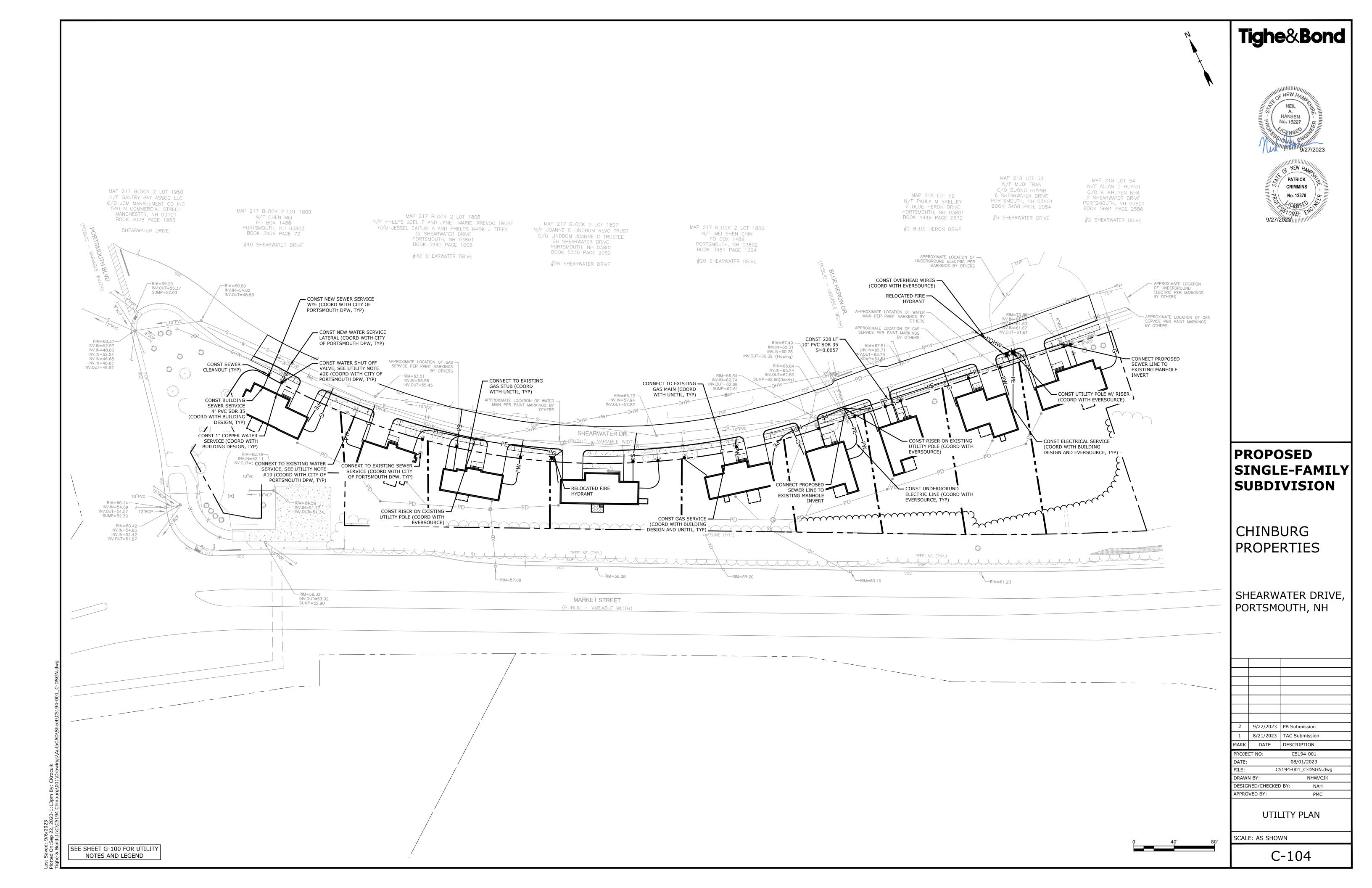


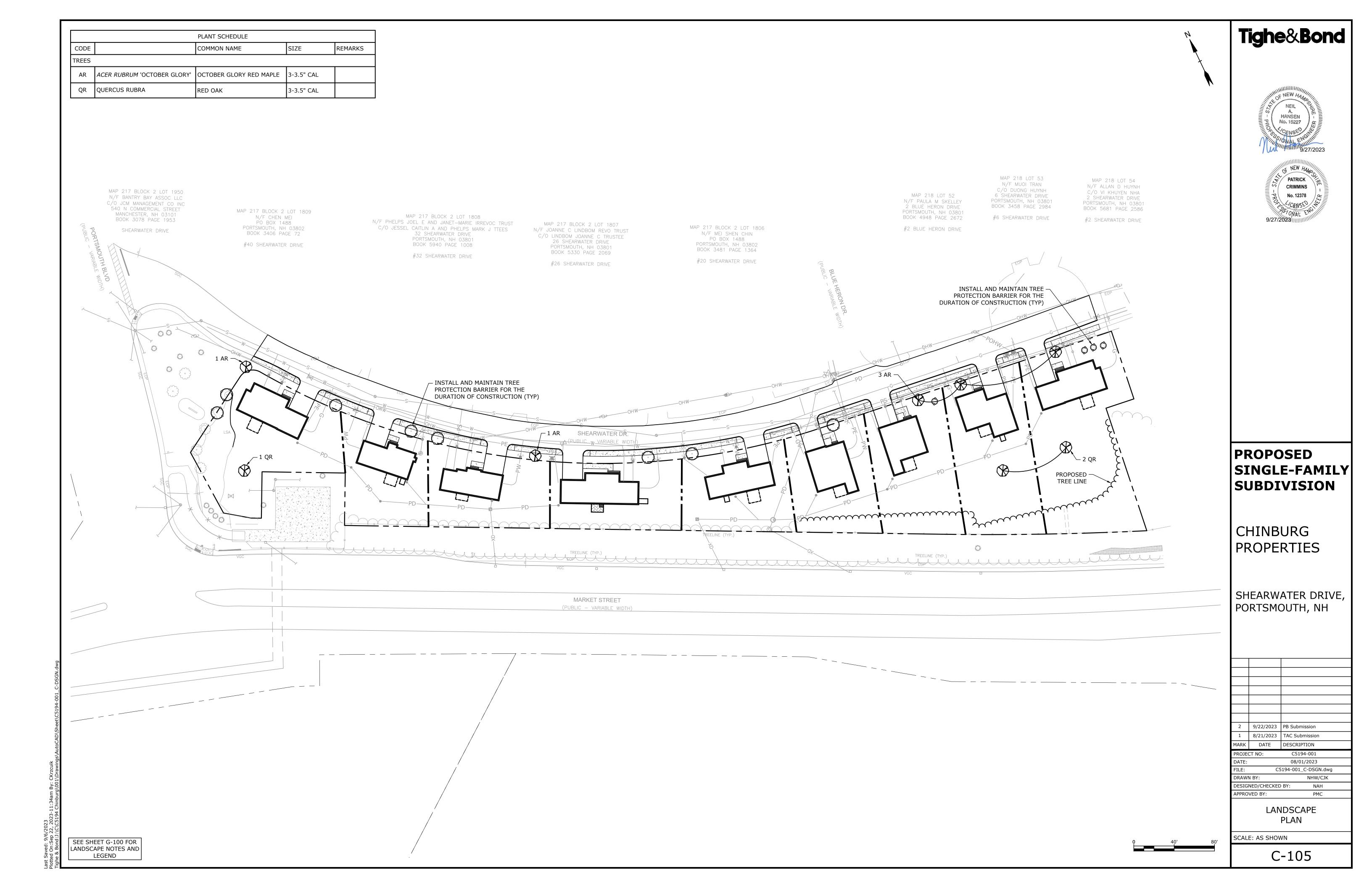


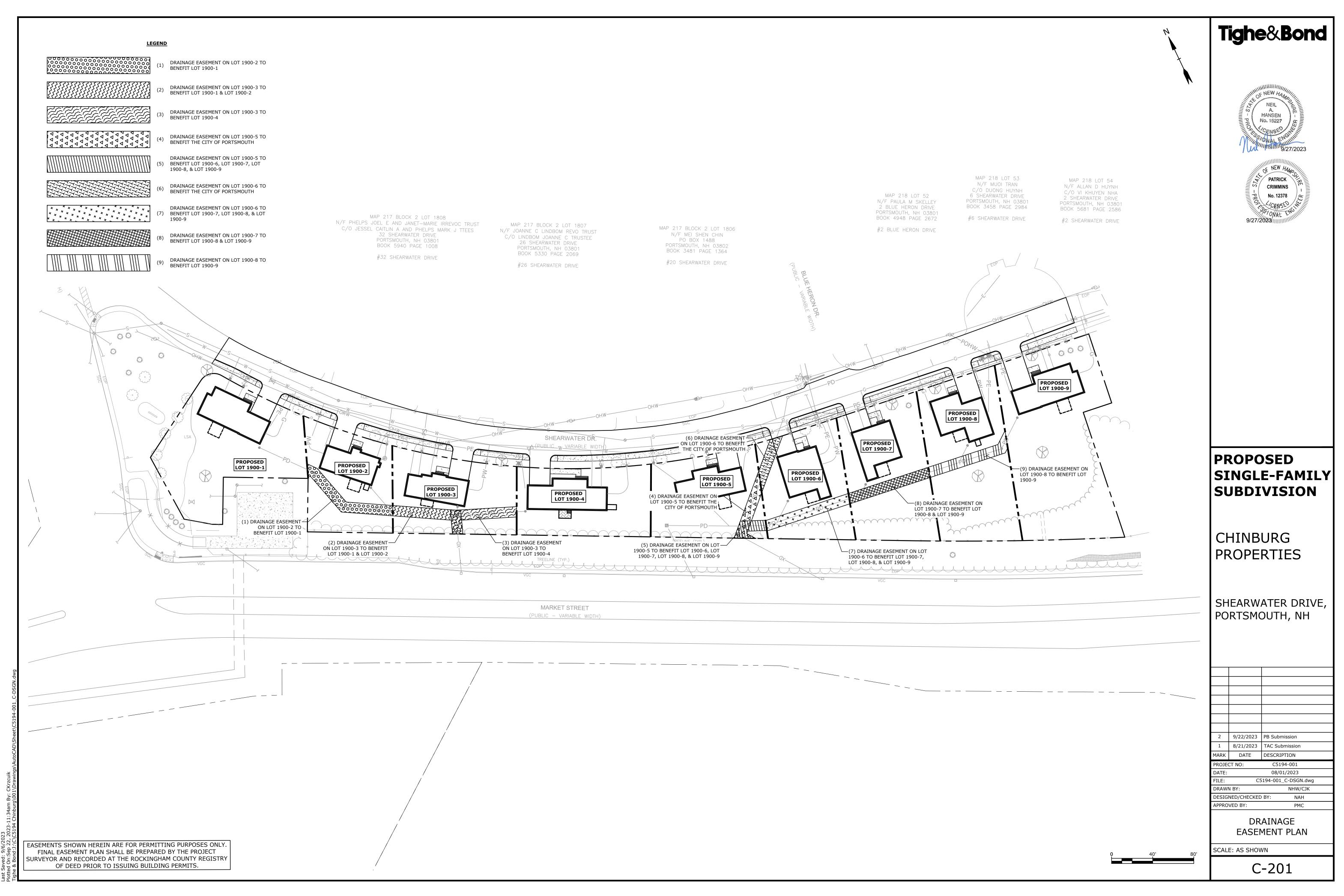
BUILDING LEGEND				
IATION	DESCRIPTION			
Ą	CARBONARA			
Ą	DAMARA			
	FIONA			
Р	GARNET PREMIER			
Р	OPAL MARQUISE			
C	PEPPERCON CLASSIC W/ WING			
S	SHELLY W/ SUN			
C	SWEET CHERRY PEEKABOO			

		N	Tighe&Bond
MAP 218 LOT 53 N/F MUOI TRAN C/O DUONG HUYNH S SHEARWATER DRIVE DRTSMOUTH, NH 03801 DOK 3458 PAGE 2984 6 SHEARWATER DRIVE	MAP 218 LOT 54 N/F ALLAN D HUYNH C/O VI KHUYEN NHA 2 SHEARWATER DRIVE PORTSMOUTH, NH 03801 BOOK 5681 PAGE 2586 #2 SHEARWATER DRIVE		Image: Normal State Sta
SGC SA STATISTICS	END SGC (MEET MATCH EXISTING) MEET MATCH EXISTING SIDEWAL BUILDING SETBACK (1)		
	DPOSED EE LINE PROPOSED LOT 1900-9 ±17,311 SF 25' TYP	-	PROPOSED SINGLE-FAMILY SUBDIVISION CHINBURG PROPERTIES
			SHEARWATER DRIVE, PORTSMOUTH, NH
			Image: matrix of the second
	0 40'	80'	SITE PLAN SCALE: AS SHOWN C-102









GENERAL PROJECT INFORMATION	ANY EARTH/DIKES SHALL BE REMOVED ONCE PER
PROJECT APPLICANT: CHINBURG PROPERTIES 3 PENSTOCK WAY	 DURING CONSTRUCTION, RUNOFF WILL BE DIVER PIPING OR STABILIZED CHANNELS WHERE POSSI
NEWMARKET, NH 03857 PROJECT NAME: PROPOSED SINGLE-FAMILY SUBDIVISION	FILTERED THROUGH SILT FENCES, MULCH BERMS STORM DRAIN BASIN INLETS SHALL BE PROVIDED
PROJECT MAP / LOT: MAP 217 BLOCK 2 / LOT 1900 PROJECT ADDRESS: SHEARWATER DRIVE	RACKS. THE SITE SHALL BE STABILIZED FOR THE DUST CONTROL:
PORTSMOUTH, NH 03801 PROJECT LATITUDE: 43°-05'-10" N	 THE CONTRACTOR SHALL BE RESPONSIBLE TO CC CONSTRUCTION PERIOD.
PROJECT LONGITUDE: 70°-46'-59" W	2. DUST CONTROL METHODS SHALL INCLUDE, BUT B
PROJECT DESCRIPTION THE PROJECT CONSISTS OF SUBDIVIDING THE EXISTING LOT INTO NINE (9) INDIVIDUAL PARCEL	
THEN CONSTRUCTING A SINGLE-FAMILY HOME ON EACH. THE PROJECT ALSO CONSISTS OF IMPROVEMENTS TO SHEARWATER DRIVE.	3. DUST CONTROL MEASURES SHALL BE UTILIZED SO FROM THE SITE TO ABUTTING AREAS.
DISTURBED AREA THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 2.2 ACRES.	STOCKPILES: 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWA
SOIL CHARACTERISTICS	CULVERTS. 2. ALL STOCKPILES SHOULD BE SURROUNDED WITH
BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH IS WELL DRAINED SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF A.	PRIOR TO THE ONSET OF PRECIPITATION.3. PERIMETER BARRIERS SHOULD BE MAINTAINED A
NAME OF RECEIVING WATERS THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE	ACCOMMODATE THE DELIVERY AND REMOVAL OF INTEGRITY OF THE BARRIER SHOULD BE INSPECT
SYSTEM TO THE CITY OF PORTSMOUTH'S CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO THE PISCATAQUA RIVER.	 PROTECT ALL STOCKPILES FROM STORMWATER RI CONTROL MEASURES SUCH AS BERMS, SILT SOCK
CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:	PREVENT MIGRATION OF MATERIAL BEYOND THE
 CUT AND CLEAR TREES. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL 	OFF SITE VEHICLE TRACKING: 1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED ANY EXCAVATION ACTIVITIES
FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:	O ANY EXCAVATION ACTIVITIES.
 NEW CONSTRUCTION CONTROL OF DUST 	 TEMPORARY GRASS COVER: A. SEEDBED PREPARATION:
 CONSTRUCTION DURING LATE WINTER AND EARLY SPRING 3. ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS 1 	a. APPLY FERTILIZER AT THE RATE OF 600 P
BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING RUNOFF TO THEM.	RATE OF THREE (3) TONS PER ACRE; B. SEEDING:
 CLEAR AND DISPOSE OF DEBRIS. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED. 	a. UTILIZE ANNUAL RYE GRASS AT A RATE O
6. GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHA BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.	SOIL TO A DEPTH OF TWO (2) INCHES BE c. APPLY SEED UNIFORMLY BY HAND, CYCLO
7. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.	INCLUDING SEED AND FERTILIZER). HYD BE LEFT ON SOIL SURFACE. SEEDING RAT
8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.	HYDROSEEDING;
9. SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNT SOILS ARE STABILIZED.	a. TEMPORARY SEEDING SHALL BE PERIODI THE SOIL SURFACE SHOULD BE COVE
 FINISH PAVING ALL ROADWAYS AND PARKING LOTS. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES. 	EROSION OR SEDIMENTATION IS APPARE TEMPORARY MEASURES USED IN THE INT
 COMPLETE PERMANENT SEEDING AND LANDSCAPING. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMO 	
TEMPORARY EROSION CONTROL MEASURES. SPECIAL CONSTRUCTION NOTES:	A. FOR PERMANENT MEASURES AND PLANTINGS a. LIMESTONE SHALL BE THOROUGHLY INCO
 THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTEN 	OF THREE (3) TONS PER ACRE IN ORDER
OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.	SURFACE. FERTILIZER APPLICATION RATE 10-20-20 FERTILIZER;
EROSION CONTROL NOTES: 1. ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHI	C SOIL CONDITIONERS AND FERTILIZER SH
STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.	UNTIL THE SURFACE IS FINELY PULVERIZ COMPACTED TO AN EVEN SURFACE CONF
2. PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.	GRADES WITH APPROVED ROLLERS WEIG POUNDS PER INCH OF WIDTH;
3. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE	d. SEED SHALL BE SOWN AT THE RATE SHO CALM, DRY DAY, PREFERABLY BY MACHIN
DRAWINGS AS THE FIRST ORDER OF WORK. 4. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH	WORKMEN IMMEDIATELY REFORE SEEDI
BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.	ANGLES TO THE ORIGINAL DIRECTION. I TO A DEPTH NOT OVER 1/4 INCH AND RO
5. PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BAL BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED	-E OVER 100 POUNDS PER LINEAR FOOT OF e. HAY MULCH SHALL BE APPLIED IMMEDIAT
AREAS HAVE BEEN STABILIZED. 6. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION	f. THE SURFACE SHALL BE WATERED AND K WITHOUT WASHING AWAY THE SOIL, UN
CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION. 7. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED ANI	AREAS WHICH ARE NOT SATISFACTORILY
FERTILIZER.8. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN	THE CONTRACTOR SHALL PROTECT AND I
STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZ EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.	h. A GRASS SEED MIXTURE CONTAINING TH BE APPLIED AT THE INDICATED RATE:
9. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.	SEED MIX APPLICATION CREEPING RED FESCUE 20 LBS/A
STABILIZATION: 1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED: A BASE COURSE CRAVELS HAVE BEEN INSTALLED IN APEAS TO BE PAVED:	TALL FESCUE 20 LBS/A REDTOP 2 LBS/AC
 A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; C. A MINIMUM OF 3" OF NON EPOSIVE MATERIAL SUCH AS STONE OF RUPPAR HAS BEEN 	IN NO CASE SHALL THE WEED CONTENT I SEED SHALL COMPLY WITH STATE AND FI
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;	DONE NO LATER THAN SEPTEMBER 15. IN SNOW.
 D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.; E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE 	SNOW. 3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SN A. FOLLOW PERMANENT MEASURES SLOPE, LIME
REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.	APPLY SEED MIXTURE AT TWICE THE INDICAT
 WINTER STABILIZATION PRACTICES: A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT 	PERMANENT MEASURES. CONCRETE WASHOUT AREA:
VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON	1. THE FOLLOWING ARE THE ONLY NON-STORMWATE NON-STORMWATER DISCHARGES ARE PROHIBITED
SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSIC	
CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR	B. IF IT IS NECESSARY, SITE CONTRACTOR SHAL AND DESIGN FACILITIES TO HANDLE ANTICIP
SPRING MELT EVENTS; B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT	C. CONTRACTOR SHALL LOCATE WASHOUT AREA
VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS	D. INSPECT WASHOUT FACILITIES DAILY TO DET WHEN MATERIALS NEED TO BE REMOVED.
APPROPRIATE FOR THE DESIGN FLOW CONDITIONS; C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS	ALLOWABLE NON-STORMWATER DISCHARGES:
STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHE OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE	2. FIRE HYDRANT FLUSHING;
THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;	4. WATER USED TO CONTROL DUST;
3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21)	 POTABLE WATER INCLUDING UNCONTAMINATED V ROUTINE EXTERNAL BUILDING WASH DOWN WHE
CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE	 PAVEMENT WASH WATERS WHERE DETERGENTS A UNCONTAMINATED AIR CONDITIONING/COMPRES
USED INCLUDE: A. TEMPORARY SEEDING;	9. UNCONTAMINATED GROUND WATER OR SPRING V 10. FOUNDATION OR FOOTING DRAINS WHICH ARE U
B. MULCHING.4. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.	 11. UNCONTAMINATED EXCAVATION DEWATERING; 12. LANDSCAPE IRRIGATION.
5. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED	OF WASTE DISPOSAL:
WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASE PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND	A. ALL WASTE MATERIALS SHALL BE COLLECTED
	RECEPTACLES. ALL TRASH AND CONSTRUCTIO DEPOSITED IN A DUMPSTER;

ERMANENT MEASURES ARE ESTABLISHED. ERTED AROUND THE SITE WITH EARTH DIKES, SIBLE. SHEET RUNOFF FROM THE SITE WILL BE 1S, HAY BALE BARRIERS, OR SILT SOCKS. ALL ED WITH FLARED END SECTIONS AND TRASH IE WINTER BY OCTOBER 15.

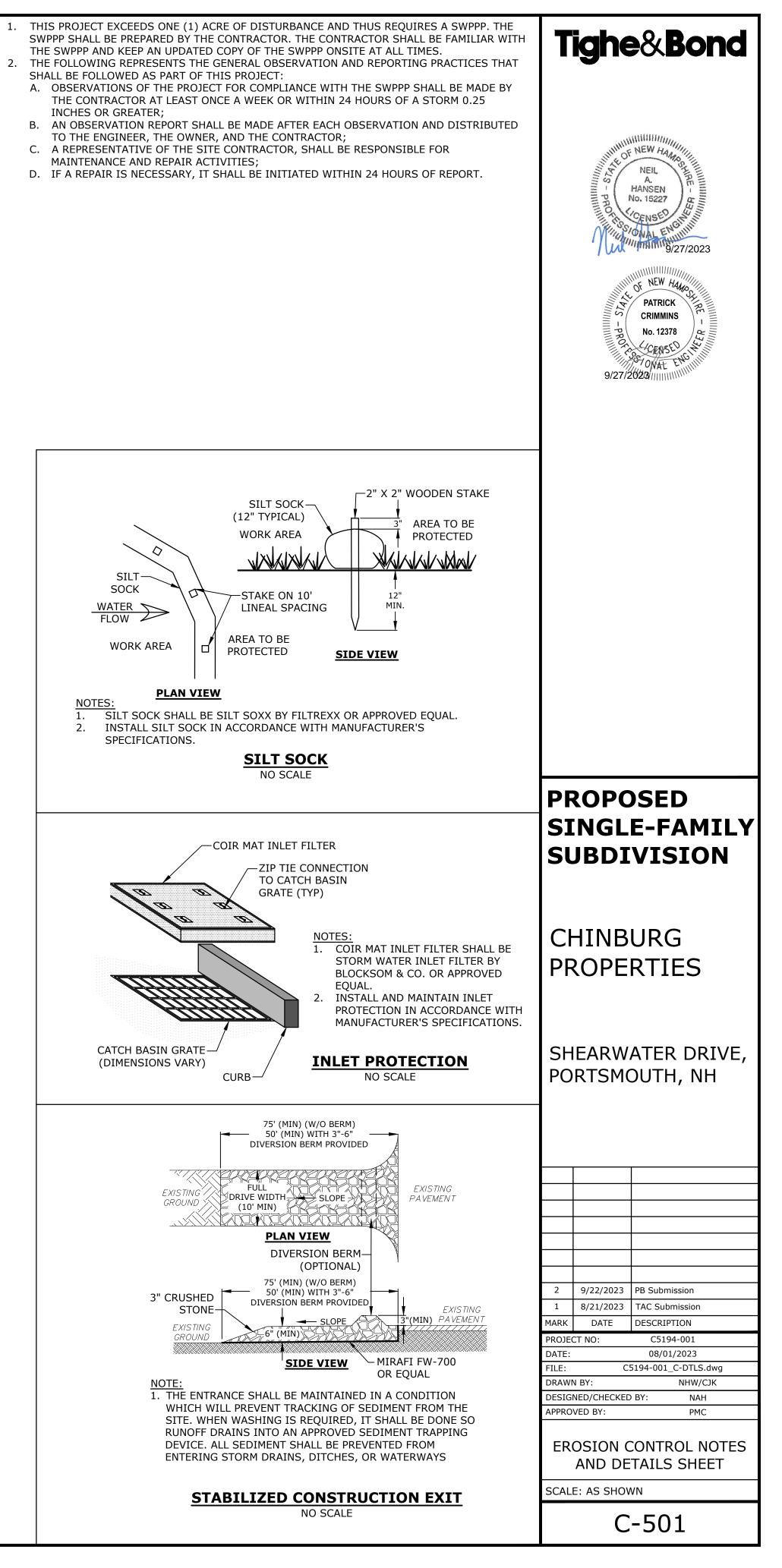
CONTROL DUST THROUGHOUT THE

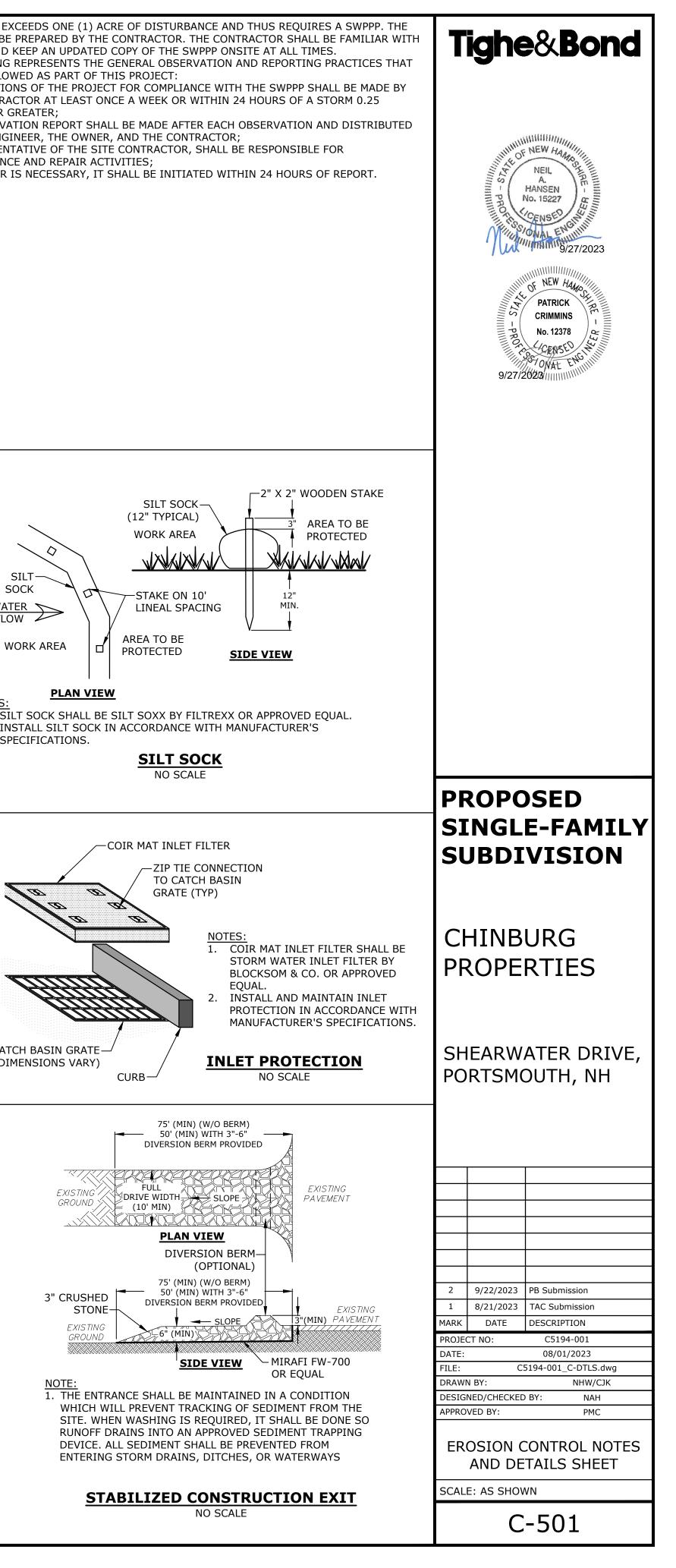
- BE NOT LIMITED TO SPRINKLING WATER ON JCKS LEAVING THE SITE, AND TEMPORARY
- SO AS TO PREVENT THE MIGRATION OF DUST
- NAY FROM CATCH BASINS, SWALES, AND
- TH TEMPORARY EROSION CONTROL MEASURES
- AT ALL TIMES, AND ADJUSTED AS NEEDED TO F MATERIALS FROM THE STOCKPILE. THE CTED AT THE END OF EACH WORKING DAY. RUN-OFF USING TEMPORARY EROSION CK, OR OTHER APPROVED PRACTICE TO IMMEDIATE CONFINES OF THE STOCKPILES.
- ZED CONSTRUCTION ENTRANCE(S) PRIOR TO
- POUNDS PER ACRE OF 10-10-10. APPLY NT CALCIUM PLUS MAGNESIUM OXIDE) AT A
- E OF 40 LBS/ACRE;
- ED BY CONSTRUCTION OPERATIONS, LOOSEN BEFORE APPLYING FERTILIZER, LIME AND SEED; LONE SEEDER, OR HYDROSEEDER (SLURRY DROSEEDINGS, WHICH INCLUDE MULCH, MAY ATES MUST BE INCREASED 10% WHEN
- DICALLY INSPECTED. AT A MINIMUM, 95% OF VERED BY VEGETATION. IF ANY EVIDENCE OF RENT, REPAIRS SHALL BE MADE AND OTHER NTERIM (MULCH, FILTER BARRIERS, CHECK
- CORPORATED INTO THE LOAM LAYER AT A RATE R TO PROVIDE A PH VALUE OF 5.5 TO 6.5; TOP LAYER OF LOAM AND WORKED INTO THE TE SHALL BE 800 POUNDS PER ACRE OF
- SHALL BE APPLIED AT THE RECOMMENDED ORKED INTO THE LOAM. LOAM SHALL BE RAKED
- IZED, SMOOTH AND EVEN, AND THEN NFORMING TO THE REQUIRED LINES AND IGHING BETWEEN 4-1/2 POUNDS AND 5-1/2
- IOWN BELOW. SOWING SHALL BE DONE ON A HINE, BUT IF BY HAND, ONLY BY EXPERIENCED DING, THE SOIL SHALL BE LIGHTLY RAKED. ONE DIRECTION AND THE OTHER HALF AT RIGHT IT SHALL BE LIGHTLY RAKED INTO THE SOIL ROLLED WITH A HAND ROLLER WEIGHING NOT = WIDTH:
- ATELY AFTER SEEDING AS INDICATED ABOVE KEPT MOIST WITH A FINE SPRAY AS REQUIRED, INTIL THE GRASS IS WELL ESTABLISHED. ANY ILY COVERED WITH GRASS SHALL BE RESEEDED,
- MAINTAIN THE SEEDED AREAS UNTIL
- THE FOLLOWING SEED REQUIREMENTS SHALL
- RATE
- /ACRE
- /ACRE ACRE
- EXCEED ONE (1) PERCENT BY WEIGHT. ALL FEDERAL SEED LAWS. SEEDING SHALL BE IN NO CASE SHALL SEEDING TAKE PLACE OVER
- SNOWFALL):
- ME, FERTILIZER AND GRADING REQUIREMENTS. ATED RATE. APPLY MULCH AS INDICATED FOR
- TER DISCHARGES ALLOWED. ALL OTHER
- TED ON SITE: WHENEVER POSSIBLE, USE WASHOUT
- TCH FACILITY;
- ALL DESIGNATE SPECIFIC WASHOUT AREAS CIPATED WASHOUT WATER;
- EAS AT LEAST 150 FEET AWAY FROM STORM
- R DELINEATED WETLANDS; ETECT LEAKS OR TEARS AND TO IDENTIFY
- ERGENTS ARE NOT USED;
- WATER LINE FLUSHING; HERE DETERGENTS ARE NOT USED; S ARE NOT USED;
- ESSOR CONDENSATION; WATER;
- UNCONTAMINATED

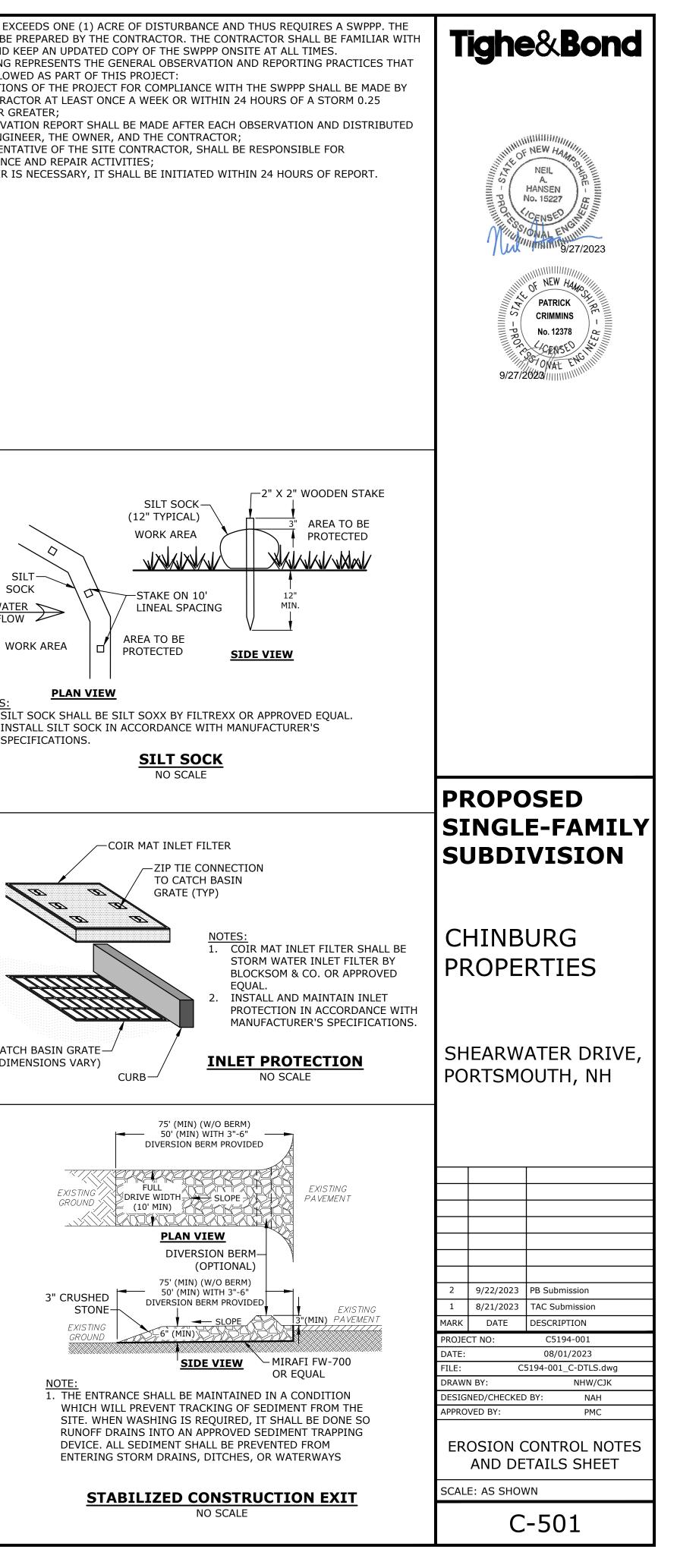
ED AND STORED IN SECURELY LIDDED TION DEBRIS FROM THE SITE SHALL BE

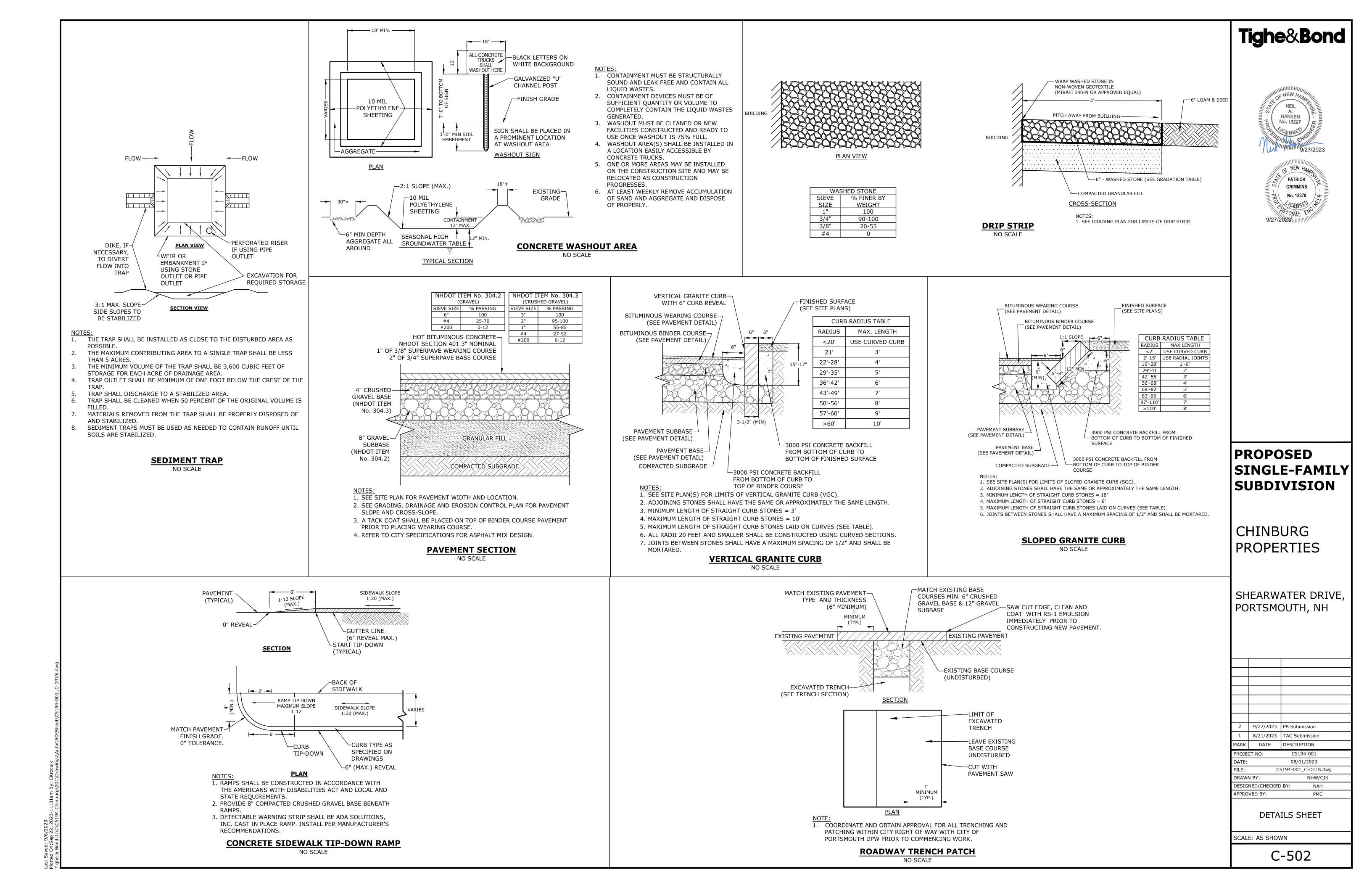
- B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE; C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE:
- A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER; B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT
- 3. SANITARY WASTE: A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF
- ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. SPILL PREVENTION:
- CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
- 2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
 - A. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION: a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON
 - SITE; b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE,
 - UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE; c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
 - d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
 - e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
 - f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - g. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
 - B. HAZARDOUS PRODUCTS THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
 - a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE; b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT
 - **PRODUCT INFORMATION;** c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING
- TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL. C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
- a. PETROLEUM PRODUCTS:
- i. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
- ii. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- iii. SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
- iv. INSPECT FUEL STORAGE AREAS WEEKLY; v. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE
- MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS;
- vi. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;
- vii. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED. viii. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
 - (1) EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
 - (2) PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS; (3) HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
 - (4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED
 - SUBSTANCES; (5) PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
- ix. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.
- HTTPS://WWW.DES.NH.GOV/ORGANIZATION/COMMISSIONER/PIP/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF b. FERTILIZERS:
- i. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
- ii. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER; iii. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF
- ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS. c. PAINTS:
- i. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;
- ii. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM; iii. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
- D. SPILL CONTROL PRACTICES IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
- a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
- b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
- d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
- e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE
- APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED; f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
- E. VEHICLE FUELING AND MAINTENANCE PRACTICE: a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
- b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
- c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
- d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
- e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
- f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN
- REPLACING SPENT FLUID.

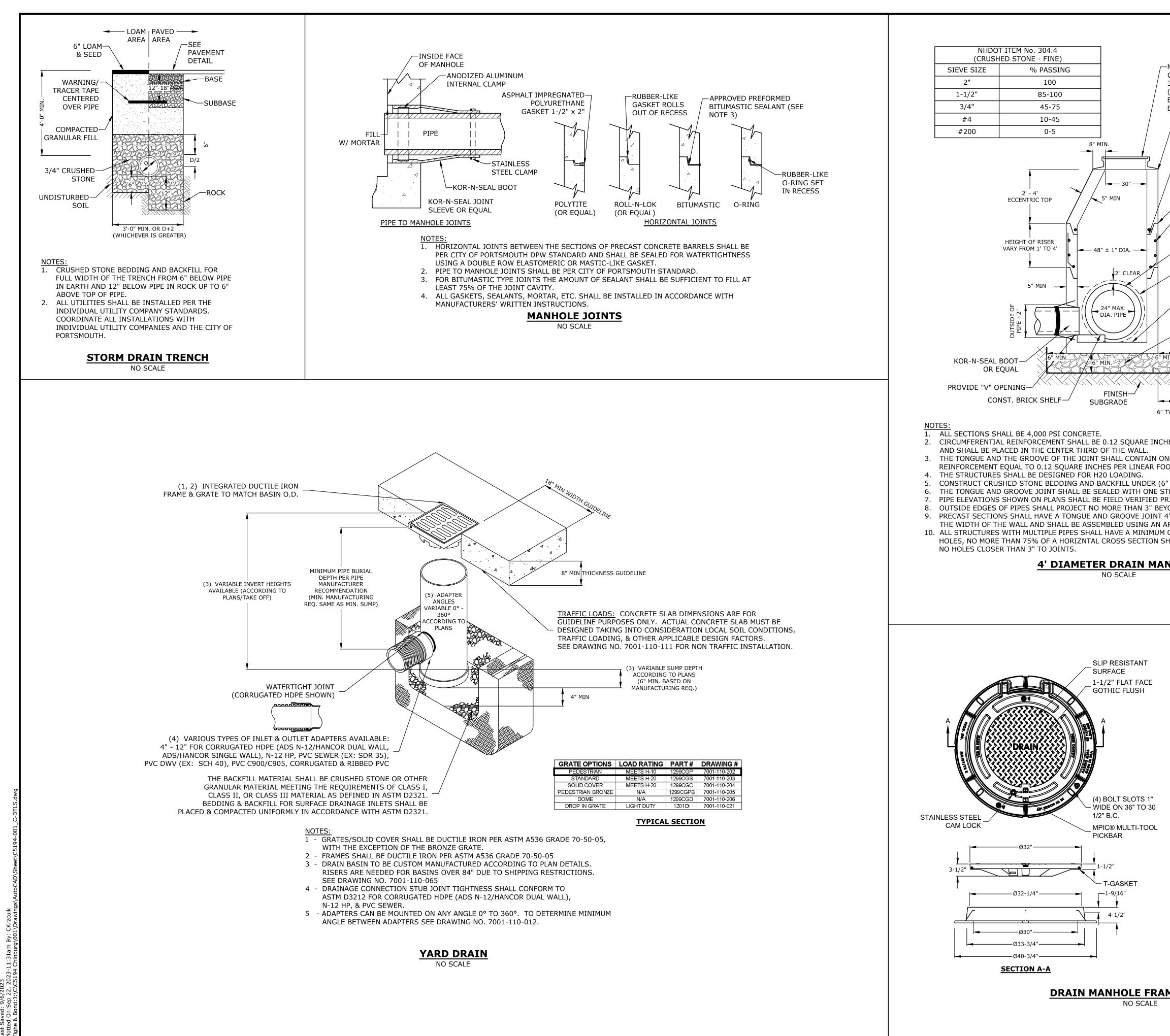
EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES



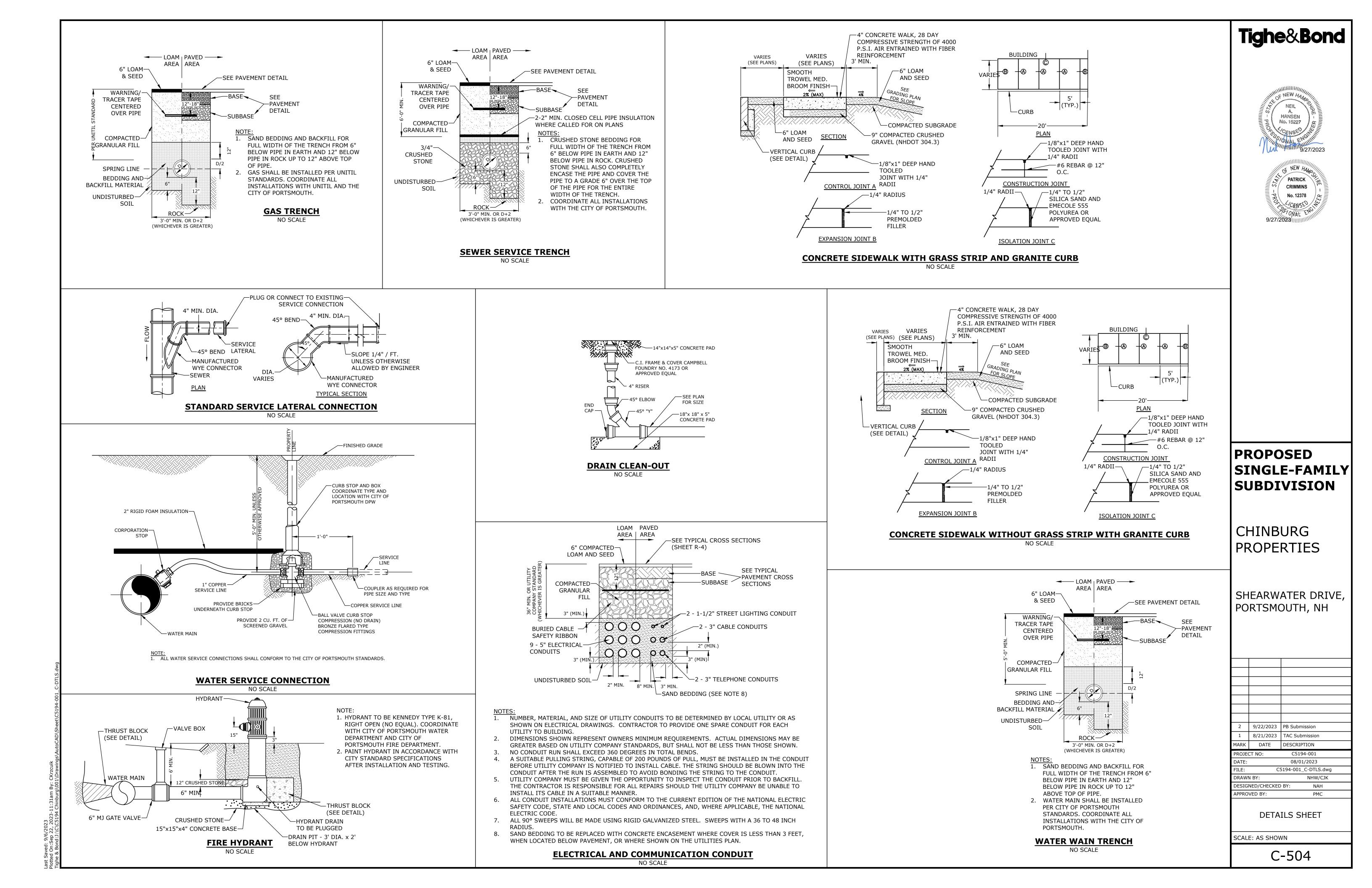


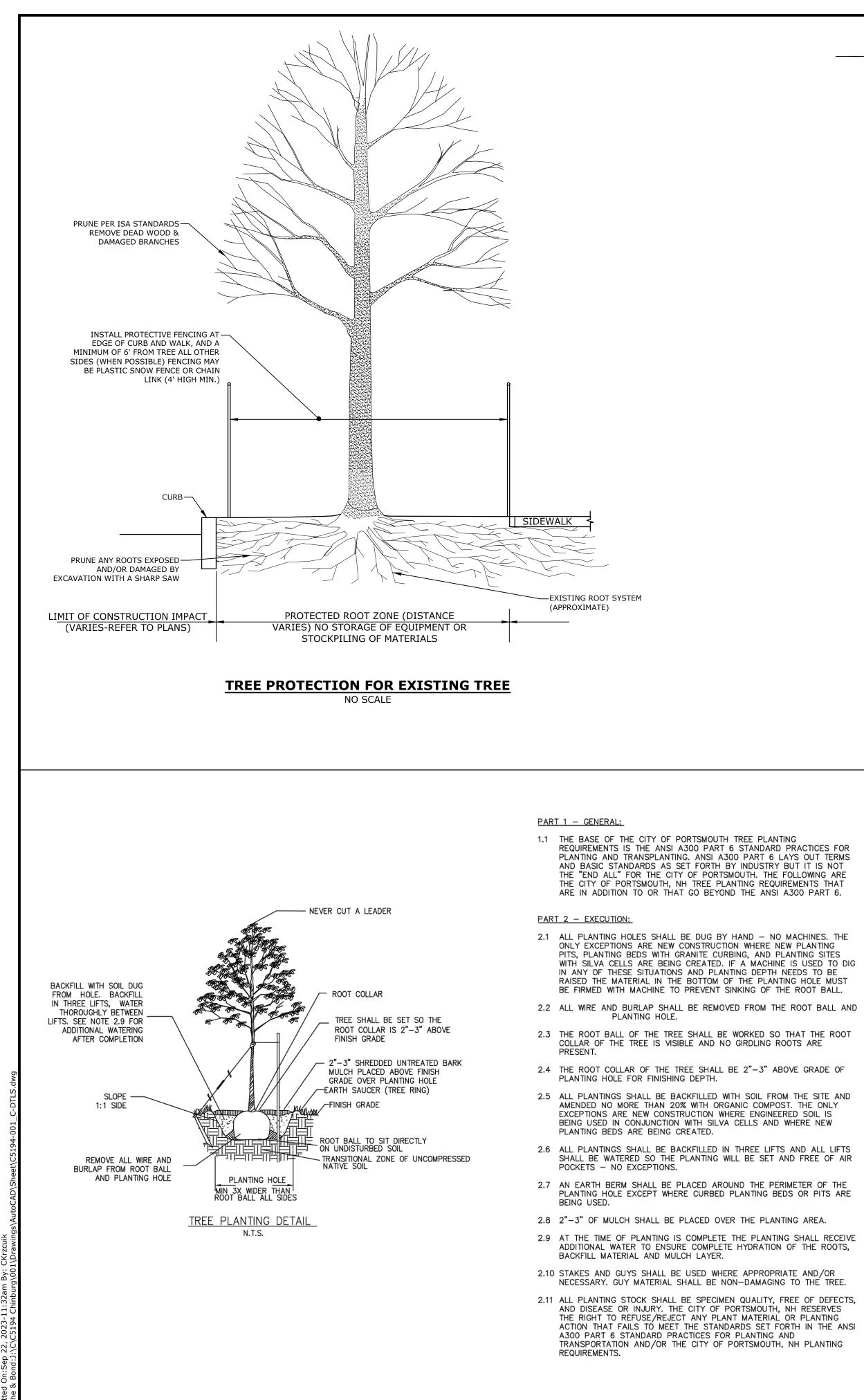




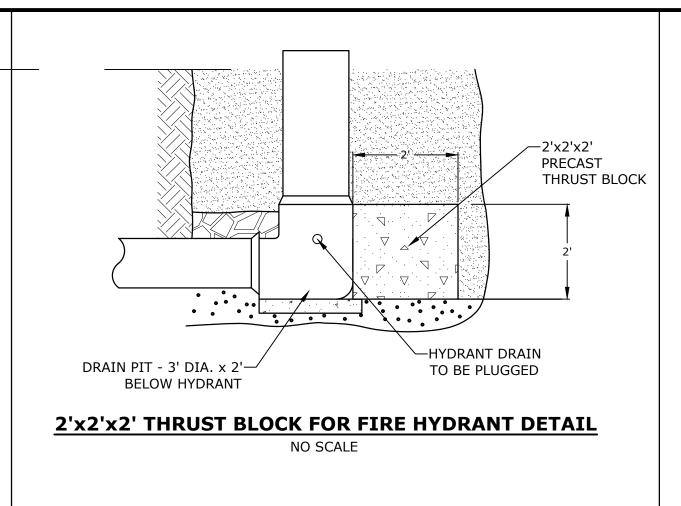


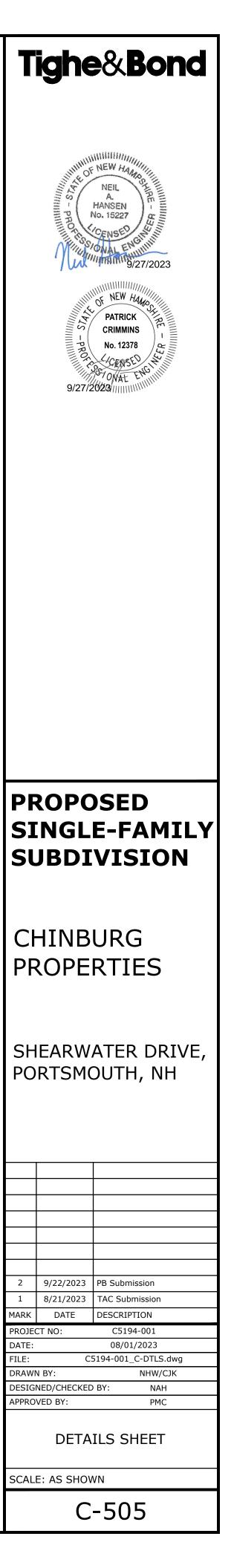
	Tighe&Bond
MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING, A 3-INCH (MINIMUM HEIGHT) WORD "DRAIN" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. ADJUST TO GRADE WITH CONCRETE GRADE RINGS OR CLAY BRICKS, FRAME TO BE SET IN FULL BED OF MORTAR. (2 COURSES MAX). SEE STRUCTURE JOINTS DETAIL (TYP.) MORTAR ALL JOINTS MIN. 0.12 sq. in. STEEL PER VERTICAL FOOT, PLACED ACCORDING TO AASHTO DESIGNATION M199 PIPE OPENING TO BE PRECAST IN RISER SECTION 1 - #3 BAR AROUND OPENING FOR PIPES 18" DIAMETER AND OVER, 1" COVER INVERT OF STRUCTURE TO BE CONCRETE CLASS "B" 3/4" CRUSHED STONE BEDDING ES PER LINEAR FOOT IN ALL SECTIONS	Image: New Harmon New Ha
IE LINE OF CIRCUMFERENTIAL DT. MINIMUM THICKNESS)	
RIP OF BUTYL RUBBER SEALANT. IOR TO PRECASTING. OND INSIDE WALL OF STRUCTURE. " HIGH AT AN 11° ANGLE CENTERED IN PPROVED FLEXIBLE SEALANT IN JOINTS. OF 12" OF INSIDE SURFACE BETWEEN	
IALL BE HOLES, AND THERE SHALL BE	PROPOSED SINGLE-FAMILY SUBDIVISION
	CHINBURG PROPERTIES
	SHEARWATER DRIVE, PORTSMOUTH, NH
 NOTES: MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL BY EJ CO. ALL DIMENSIONS ARE NOMINAL. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED: A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING. B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS. C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER OF THE COVER. 	2 9/22/2023 PB Submission 1 8/21/2023 TAC Submission 1 8/21/2023 TAC Submission MARK DATE DESCRIPTION PROJECT NO: C5194-001 DATE: 08/01/2023 FILE: C5194-001_C-DTLS.dwg DRAWN BY: NHW/CJK DESIGNED/CHECKED BY: NAH APPROVED BY: PMC
ME & COVER	SCALE: AS SHOWN
	C-503





n Q





Shearwater Drive - City of Portsmouth TAC CONDITIONS RESPONSE

	TAC Comment	Applicant Response	Sheet
Condi	tions from 9/8 Correspondence:	•	•
2.1	Sidewalk along frontage must be concrete, 5.5' wide with grass strip between curb and sidewalk.	Sidewalk along frontage has been adjusted to 5.5' wide. Per discussion with TAC sidewalk will remain along curbline in front of first 5 lots in order to not impact existing mature street trees.	C-102
2.2	Old water service taps shall have corp closed and capped at main.	Utility Note 19 has been modified for water lines to be capped by corporation stop.	G-100
	Applicant will coordinate with DPW to abandon or replace all existing cross country drains with HDPE to Market Street.	Existing cross country drainlines have been called out to be abandoned. Lines connecting to Market Street to remain will be either replaced, or where crossing under the berm along Market Street sliplined.	C-103
2.4	Applicant will replace CMP drain in Shearwater near Blue Heron Drive with HDPE.	CMP drain in shearwater near Blue Heron Drive has been called out to be replaced with HDPE.	C-103
2.5	City standards will be used for planting and loam and seed details.	City standard planting detail and notes have been added to the plan set.	C-505
2.6	Drainage easements will extend over cross country pipes to Market Street right of way.	Drainage easement has been adjusted accordingly.	C-201
2.7	Drain detail to show mortar in annular space around boot connection.	Manhole joint detail shows mortar in annular space around boot connection.	C-503
	Applicant will work with City Staff to coordinate offsite improvements including sidewalk to Granite Street crossing Market Street and installing pedestrian signals as part of crosswalk.	Applicant has met with City Staff and agreed to a \$25,000 fair share contribution for offsite improvements listed in the Condition.	N/A
2.9	Hydrant will be relocated to be 10' from driveways.	Hydrants have been moved to 10' away from driveways.	C-104
2.10	Brick under curb stop will be shown in water service detail.	Brick has been added under curb stop in water service detail.	C-504
2.11	Details will be updated to show thrust blocks for hydrant will be 2'x2'x2' precast.	Thrust block for fire hydrant detail has been changed to 2'x2'x2' precast.	C-505
2.12	Applicant will work with the legal department to overcome the doctrine of merger.	Applicant has been coordinating with the legal department to overcome the doctrine of merger.	N/A
2.13	Waiver will be requested for a maintenance bond if needed.	A waiver request for the maintenance bond requirement is included in this submission package.	N/A

Date: September 27, 2023

Owner's Letter of Authorization

This letter is to authorize <u>Chinburg Properties</u> (Applicant) to represent the interest of <u>Bantry</u> <u>Bay Assoc LLC</u> (owner) in all site design and permitting matters for the proposed subdivision and development project located at Shearwater Drive in Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block 2 Lot 1900. This authorization shall include any required signatures for local, state and federal permit applications.

John C. Madden	dotloop verified 07/31/23 8:53 PM ADT T3Q8-ENTB-I9XF-SIFG	John C. Madden	
Sign	ature	Print Name	Date
Colton Gove	dotloop verified 07/31/23 8:02 PM EDT PRVL-UPND-TPFR-4TAW	Colton Gove	
Witn	ess	Print Name	Date

(C5194-001_Owner Authorization Form.docx)

Agent Letter of Authorization

I, <u>Eric Chinburg</u>, of <u>Chinburg Properties</u> (Applicant) hereby give <u>Tighe & Bond</u> (site/civil Engineer) permission to be my agent in all site design and permitting matters for the proposed subdivision and development project located at Shearwater Drive in Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block 2 Lot 1900. This authorization shall include any required signatures for local, state and federal permit applications.

Signature Print Name	Date
Cotton Gove dottoop verified 07/29/23 10:08 AM EDT 52/9-58AD-WKTW-52DR Colton Gove	
Witness Print Name	Date



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A preapplication conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Chinburg Properties Date Submitted: August 21, 2023

Map: 217 Lot: Lot 1900

Application # (in City's online permitting): LU 23-138

Site Address: 0 Shearwater Drive

Application Requirements \mathbf{M} **Required Items for Submittal** Item Location Waiver (e.g. Page or Requested Plan Sheet/Note #) $\mathbf{\nabla}$ Complete application form submitted via the City's web-based N/A Enclosed permitting program (2.5.2.1(2.5.2.3A) \mathbf{N} All application documents, plans, supporting documentation and N/A other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans Enclosed and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)

	Site Plan Review Application Required Information			
Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested	
Ø	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	Enclosed	Yes	
Ŋ	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	Prototypical Architectural Plans	N/A	
Ŋ	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	Existing Conditions Sheet 1 OF 1	N/A	

Site Plan Application Checklist/December 2020

Block 2

	Site Plan Review Application Required Information				
Ŋ	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested		
Ø	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E)	Enclosed Cover Sheet	N/A		
Ø	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1F)	Existing Conditions Sheet 1 OF 1	N/A		
Ŋ	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G)	Cover Sheet	N/A		
A	List of reference plans. (2.5.3.1H)	General Notes Sheet G-100	N/A		
\mathbf{N}	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1)	General Notes Sheet G-100	N/A		

	Site Plan Specifications			
M	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested	
A	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director (2.5.4.1A)	Required on all plan sheets	N/A	
Ŋ	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A	
Ø	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	Existing Conditions Plan Sheet 1 OF 1	N/A	
Ŋ	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A	
Ŋ	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	N/A	N/A	
V	Title (name of development project), north point, scale, legend. (2.5.4.2A)	Required on all plan sheets	N/A	
Ŋ	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	Required on all plan sheets	N/A	
N	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A	
Ŋ	Source and date of data displayed on the plan. (2.5.4.2D)	Required on all plan sheets	N/A	

Site Plan Application Checklist/December 2020

	Site Plan Specifications – Required Exhibits and Data			
Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested	
	 Existing Conditions: (2.5.4.3A) Surveyed plan of site showing existing natural and built features; Existing building footprints and gross floor area; Existing parking areas and number of parking spaces provided; Zoning district boundaries; Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre; Existing impervious and disturbed areas; Limits and type of existing vegetation; Wetland delineation, wetland function and value assessment (including vernal pools); SFHA, 100-year flood elevation line and BFE data, as required. 	Existing Conditions Plan Sheet 1 OF 1		
	 2. Buildings and Structures: (2.5.4.3B) Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; Elevations: Height, massing, placement, materials, lighting, façade treatments; Total Floor Area; Number of Usable Floors; Gross floor area by floor and use. 	Site Plan Sheet C-102 & Prototypical Architectural Plans		
	 3. Access and Circulation: (2.5.4.3C) Location/width of access ways within site; Location of curbing, right of ways, edge of pavement and sidewalks; Location, type, size and design of traffic signing (pavement markings); Names/layout of existing abutting streets; Driveway curb cuts for abutting prop. and public roads; If subdivision; Names of all roads, right of way lines and easements noted; AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC). 	Site Plan Sheet C-102		
R	 4. Parking and Loading: (2.5.4.3D) Location of off street parking/loading areas, landscaped areas/buffers; Parking Calculations (# required and the # provided). 	Site Plan Sheet C-102		
	 5. Water Infrastructure: (2.5.4.3E) Size, type and location of water mains, shut-offs, hydrants & Engineering data; Location of wells and monitoring wells (include protective radii). 	Utilities Plan Sheet C-104		
Ø	 6. Sewer Infrastructure: (2.5.4.3F) Size, type and location of sanitary sewage facilities & Engineering data, including any onsite temporary facilities during construction period. 	Utilities Plan Sheet C-104		

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 7. Utilities: (2.5.4.3G) The size, type and location of all above & below ground utilities; Size type and location of generator pads, transformers and other fixtures. 	Utilities Plan Sheet C-104
8. Solid Waste Facilities: (2.5.4.3H)	N/A
The size, type and location of solid waste facilities.	N/A
 9. Storm water Management: (2.5.4.3I) The location, elevation and layout of all storm-water drainage. The location of onsite snow storage areas and/or proposed off-site snow removal provisions. Location and containment measures for any salt storage facilities Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures. 	Utilities Plan Sheet C-104
 10. Outdoor Lighting: (2.5.4.3J) Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan. 	N/A
 Indicate where dark sky friendly lighting measures have been implemented. (10.1) 	N/A
 12. Landscaping: (2.5.4.3K) Identify all undisturbed area, existing vegetation and that which is to be retained; Location of any irrigation system and water source. 	Landscape Plan Sheet C-105
 13. Contours and Elevation: (2.5.4.3L) Existing/Proposed contours (2 foot minimum) and finished grade elevations. 	Grading, Drainage, & Erosion Control Plan C-105
 14. Open Space: (2.5.4.3M) Type, extent and location of all existing/proposed open space. 	Site Plan Sheet C-102
 All easements, deed restrictions and non-public rights of ways. (2.5.4.3N) 	Drainage Easement Plan Sheet C-201
 16. Character/Civic District (All following information shall be included): (2.5.4.3P) Applicable Building Height (10.5A21.20 & 10.5A43.30); Applicable Special Requirements (10.5A21.30); Proposed building form/type (10.5A43); Proposed community space (10.5A46). 	Site Plan Sheet C-102
 17. Special Flood Hazard Areas (2.5.4.3Q) The proposed development is consistent with the need to minimize flood damage; All public utilities and facilities are located and construction to minimize or eliminate flood damage; Adequate drainage is provided so as to reduce exposure to flood hazards. 	N/A

	Other Required Information		
Ŋ	Required Items for Submittal Item Location (e.g. Page/line or Plan Sheet/Note #)		Waiver Requested
	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)	N/A	
	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	Grading, Drainage, & Erosion Control Plan C	105
	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
	Stormwater Management and Erosion Control Plan. (7.4)	Grading, Drainage, & Erosion Control Plan C-	105
	Inspection and Maintenance Plan (7.6.5)	N/A	

	Final Site Plan Approval Required Information			
V	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested	
	 All local approvals, permits, easements and licenses required, including but not limited to: Waivers; Driveway permits; Special exceptions; Variances granted; Easements; Licenses. (2.5.3.2A) 	Cover Sheet		
	 Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: Calculations relating to stormwater runoff; Information on composition and quantity of water demand and wastewater generated; Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; Estimates of traffic generation and counts pre- and post-construction; Estimates of noise generation; A Stormwater Management and Erosion Control Plan; Endangered species and archaeological / historical studies; Wetland and water body (coastal and inland) delineations; Environmental impact studies. 	N/A		
	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	Unitil Will Serve Letter has been included. The applicant is currently working with Eversource to get a will serve letter.		

Site Plan Application Checklist/December 2020

$\mathbf{\nabla}$	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	Cover Sheet	
	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	Site Plan Sheet C-102	N/A
	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)	N/A	
	 Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3) 	Site Plan Sheet C-102	N/A



City of Portsmouth, New Hampshire

Subdivision Application Checklist

This subdivision application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all subdivision review requirements. Please refer to the Subdivision review regulations for full details.

Applicant Responsibilities (Section III.C): Applicable fees are due upon application submittal along with required number of copies of the Preliminary or final plat and supporting documents and studies. Please consult with Planning staff for submittal requirements.

Owner: Bantry Bay Association LLC	Date Submitted: <u>8/21/2023</u>
Applicant: Chinburg Properties	
Phone Number:603-969-9148	_{E-mail:} massia@chinburg.com
Site Address 1: 0 Shearwater Drive	Block 2 Map: <u>217</u> Lot 1900
Site Address 2:	Map: Lot:

	Application Requirements				
Ø	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested		
	Completed Application form. (III.C.2-3)	Enclosed	N/A		
	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive. (III.C.4)	Enclosed	N/A		

Requirements for Preliminary/Final Plat				
Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
	Name and address of record owner, any option holders, descriptive name of subdivision, engineer and/or surveyor or name of person who prepared the plat. (Section IV.1/V.1)	Cover Sheet	☑ Preliminary Plat ☑ Final Plat	N/A

	Requirements for Pro	-	1	
Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
	Preliminary Plat Names and addresses of all adjoining property owners. (Section IV.2) Final Plat Names and addresses of all abutting property owners, locations of buildings within one hundred (100) feet of the parcel, and any new house numbers within the subdivision. (Section V.2)	Existing Conditions Sheet 1 OF 1	 ☑ Preliminary Plat ☑ Final Plat 	N/A
 	North point, date, and bar scale. (Section IV.3/V3)	Required on all Plan Sheets	☑ Preliminary Plat ☑ Final Plat	N/A
✓	Zoning classification and minimum yard dimensions required. (Section IV.4/V.4)	Site Plan Sheet C-102	☑ Preliminary Plat ☑ Final Plat	N/A
	Preliminary Plat Scale (not to be smaller than one hundred (100) feet = 1 inch) and location map (at a scale of 1" = 1000'). (Section IV.5) Final Plat Scale (not to be smaller than 1"=100'), Location map (at a scale of 1"=1,000') showing the property being subdivided and its relation to the surrounding area within a radius of 2,000 feet. Said location map shall delineate all streets and other major physical features that my either affect or be affected by the proposed development. (Section V.5)	Existing Conditions Plan Sheet 1 OF 1 Subdivision Plan Sheet 1 OF 1	 ✓ Preliminary Plat ✓ Final Plat 	N/A
	Location and approximate dimensions of all existing and proposed property lines including the entire area proposed to be subdivided, the areas of proposed lots, and any adjacent parcels in the same ownership. (Section IV.6)	Subdivision Plan Sheet 1 OF 1	 ✓ Preliminary Plat ✓ Final Plat 	
	Dimensions and areas of all lots and any and all property to be dedicated or reserved for schools, parks, playgrounds, or other public purpose. Dimensions shall include radii and length of all arcs and calculated bearing for all straight lines. (Section V.6/ IV.7)	Subdivision Plan Sheet 1 OF 1	☑ Preliminary Plat ☑ Final Plat	N/A
 	Location, names, and present widths of all adjacent streets, with a designation as to whether public or private and approximate location of existing utilities to be used. Curbs and sidewalks shall be shown. (Section IV.8/V.7)	Site Plan Sheet C-102 Utilities Plan Sheet C-104	☑ Preliminary Plat ☑ Final Plat	

Requirements for Preliminary/Final Plat Image: Colspan="2">Image: Colspan="2">Requirements for Preliminary/Final Plat Image: Colspan="2">Required Items for Submittal Image: Colspan="2">Item Location Required Items for Submittal Item Location Required for Waiver						
V	Required Items for Submittal	(e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Requested		
 	Location of significant physical features, including bodies of water, watercourses, wetlands, railroads, important vegetation, stone walls and soils types that my influence the design of the subdivision. (Section IV.9/V.8)	Existing Conditions Plan Sheet 1 OF 1	☑ Preliminary Plat ☑ Final Plat			
	Preliminary Plat Proposed locations, widths and other dimensions of all new streets and utilities, including water mains, storm and sanitary sewer mains, catch basins and culverts, street lights, fire hydrants, sewerage pump stations, etc. (Section IV.10) Final Plat Proposed locations and profiles of all	Existing Conditions Plan Sheet 1 OF 1	☑ Preliminary Plat ☑ Final Plat			
	proposed locations and promes of an proposed streets and utilities, including water mains, storm and sanitary sewer mains, catchbasins and culverts, together with typical cross sections. Profiles shall be drawn to a horizontal scale of 1"=50' and a vertical scale of 1"=5', showing existing centerline grade, existing left and right sideline grades, and proposed centerline grade. (Section V.9)	Site Plan Sheet C-102 Grading, Drainage, & Erosion Control Plan C-105 Utilities Plan Sheet C-104				
 	When required by the Board, the plat shall be accompanied by profiles of proposed street grades, including extensions for a reasonable distance beyond the subject land; also grades and sizes of proposed utilities. (Section IV.10)	N/A	☑ Preliminary Plat ☑ Final Plat			
 	Base flood elevation (BFE) for subdivisions involving greater than five (5) acres or fifty (50) lots. (Section IV.11)	N/A	☑ Preliminary Plat ☑ Final Plat			
	For subdivisions of five (5) lots or more, or at the discretion of the Board otherwise, the preliminary plat shall show contours at intervals no greater than two (2) feet. Contours shall be shown in dotted lines for existing natural surface and in solid lines for proposed final grade, together with the final grade elevations shown in figures at all lot corners. If existing grades are not to be changed, then the contours in these areas shall be solid lines.	Existing Conditions Plan Sheet 1 OF 1 Grading, Drainage, & Erosion Control Plan C-103	☑ Preliminary Plat ☑ Final Plat			

	Requirements for Preliminary/Final Plat				
Ŋ	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested	
	Dates and permit numbers of all necessary permits from governmental agencies from which approval is required by Federal or State law. (Section V.10)	Cover Sheet	☐ Preliminary Plat ☑ Final Plat		
	For subdivisions involving greater than five (5) acres or fifty (50) lots, the final plat shall show hazard zones and shall include elevation data for flood hazard zones. (Section V.11)	N/A	☐ Preliminary Plat ☑ Final Plat		
 Image: A start of the start of	Location of all permanent monuments. (Section V.12)	Subdivision Plan Sheet 1 OF 1	□ Preliminary Plat ☑ Final Plat		

	General Requirement	s ¹	
	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
< 	 Basic Requirements: (VI.1) a. Conformity to Official Plan or Map b. Hazards c. Relation to Topography 	Subdivision Plan Sheet 1 OF 1 PUD not proposed	
	d. Planned Unit Development		
	 2. Lots: (VI.2) a. Lot Arrangement b. Lot sizes c. Commercial and Industrial Lots 	Subdivision Plan Sheet 1 OF 1 No commercial or industrial development proposed	
	 3. Streets: (VI.3) a. Relation to adjoining Street System b. Street Rights-of-Way c. Access d. Parallel Service Roads e. Street Intersection Angles f. Merging Streets g. Street Deflections and Vertical Alignment h. Marginal Access Streets i. Cul-de-Sacs j. Rounding Street Corners k. Street Name Signs l. Street Names m. Block Lengths n. Block Widths o. Grade of Streets 	N/A No new streets proposed	
	4. Curbing: (VI.4)	Site Plan Sheet C-102	
	5. Driveways: (VI.5)	Site Plan Sheet C-102	
	6. Drainage Improvements: (VI.6)	Sheet C-103	
	7. Municipal Water Service: (VI.7)	Sheet C-104	
> 	 8. Municipal Sewer Service: (VI.8) 9. Installation of Utilities: (VI.9) a. All Districts b. Indicator Tape 	Sheet C-104 Sheet C-104	
✓	10. On-Site Water Supply: (VI.10)	N/A	
	11. On-Site Sewage Disposal Systems: (VI.11)12. Open Space: (VI.12)a. Natural Featuresb. Buffer Stripsc. Parksd. Tree Planting	N/A Site Plan Sheet C-102	
	 13. Flood Hazard Areas: (VI.13) a. Permits b. Minimization of Flood Damage c. Elevation and Flood-Proofing Records d. Alteration of Watercourses 	N/A	
\checkmark	14. Erosion and Sedimentation Control (VI.14)	Sheet C-103	

Subdivision Application Checklist/January 2018

Page **5** of **6**

Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
$\mathbf{\nabla} \mathbf{\Box} \mathbf{\nabla}$	15. Easements (VI.15) a. Utilities b. Drainage	Drainage Easement Plan Sheet C-201	
\checkmark	16. Monuments: (VI.16)	Subdivision Plan Sheet 1 OF 1	
\checkmark	17. Benchmarks: (VI.17)	Subdivision Plan Sheet 1 OF 1	
\checkmark	18. House Numbers (VI.18)	TBD	

	Design Standards		
	Required Items for Submittal	Indicate compliance and/or provide explanation as to alternative design	Waiver Requested
1.	 Streets have been designed according to the design standards required under Section (VII.1). a. Clearing b. Excavation c. Rough Grade and Preparation of Sub-Grade d. Base Course e. Street Paving f. Side Slopes g. Approval Specifications h. Curbing i. Sidewalks j. Inspection and Methods 	Site Plan Sheet C-102 Grading, Drainage, & Erosion Control Plan C-105 Utilities Plan Sheet C-104	
2.	Storm water Sewers and Other Drainage Appurtenances have been designed according to the design standards required under Section (VII.2). a. Design b. Standards of Construction	Grading, Drainage, & Erosion Control Plan C-105	
3.	 Sanitary Sewers have been designed according to the design standards required under Section (VII.3). a. Design b. Lift Stations c. Materials d. Construction Standards 	Utilities Plan Sheet C-104	
4.	 Water Mains and Fire Hydrants have been designed according to the design standards required under Section (VII.4). a. Connections to Lots b. Design and Construction c. Materials d. Notification Prior to Construction 	Utilities Plan Sheet C-104	

Applicant's/Representative's Signature: Mil Hanne (Applicant's Agent) Date: 9/27/23

¹ See City of Portsmouth, NH Subdivision Rules and Regulations for details. Subdivision Application Checklist/January 2018

City of Portsmouth Planning Department

Site Plan Review Application Fee

Project:	0 Shearwater Drive	Map/Lot: Map 217 Block 2 Lot 1900
Applicant:	Chinburg Properties	
All developm	nent	
Base fee \$60	0	\$600.00
Plus \$5.00 pe	er \$1,000 of site costs Site costs \$300,000	+ \$1,500.00
Plus \$10.00 µ	<i>per 1,000 S.F. of site development area</i> Site development area 97,314	S.F. + \$973.14
		Fee \$3,073.14
Maximum fe	e: \$20,000.00	
Fee received	by:	Date:

Note: Initial application fee may be based on the applicant's estimates of site costs and site development area. Following site plan approval, the application fee will be recalculated based on the approved site plan and site engineer's corresponding site cost estimate as approved by the Department of Public Works, and any additional fee shall be paid prior to the issuance of a building permit.

Subdivision Application Fee

Project: 0 Shearwater Drive Map/Lot: Map 217 Block 2 Lot 1900

Applicant: Chinburg Properties

IX Residential subdivision	
\$600 plus \$200 per lot	
Number of lots 9	Fee \$2,400.00
Non-residential subdivision	
\$800 plus \$300 per lot	
Number of lots	Fee \$0.00
Lot line revision/verification	
\$250	
	Fee
Filing of condominium site	
\$100	Fee \$0.00
Lot consolidation	
\$175	Fee \$0.00
	Total fee \$2,400.00



August 14, 2023

Matt Assia Chinburg Development 3 Penstock Way Newmarket NH 03857

RE: Natural Gas Availability to Shearwater Dr Portsmouth NH

Dear Matt,

Unitil's natural gas division has reviewed the requested site for natural gas service.

Unitil hereby confirms natural gas service will be available to the Shearwater Dr Portsmouth Project to serve nine new residential single family homes.

Installation is pending an authorized installation agreement with Chinburg Development and street opening approval from the City of Portsmouth DPW.

Let me know if you have any questions. You can email me at oliver@unitil.com. My phone number is 603-294-5174.

Sincerely,

Janet Oliver Senior Business Development Representative



CARBONARA CLASSIC W WING 1027.127 GL

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LIVING AREA	2885 FT	BEDROOMS	5	BATHROOMS	3.5
Main	2885 ^{FT}	Main	3	Main	3.5
Future	0 ^{FT}	Future	2	Future	0
2 nd Unit	0 FT	2 nd Unit	0	2 nd Unit	0

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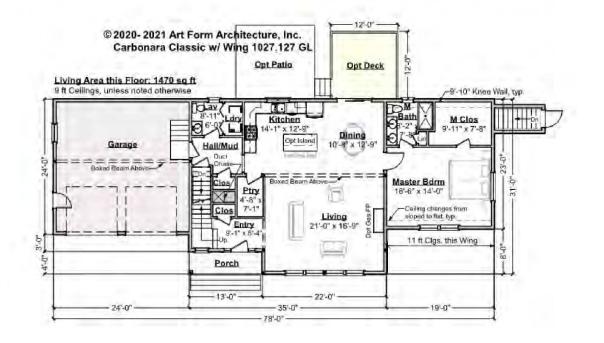
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CARBONARA CLASSIC W WING - 1ST FLOOR 1027.127 GL

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CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1470 ^{FT}	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	1470.00 FT	Main	1.00	Main	1.50
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{ft}	2 nd Unit	0.00	2 nd Unit	0.00

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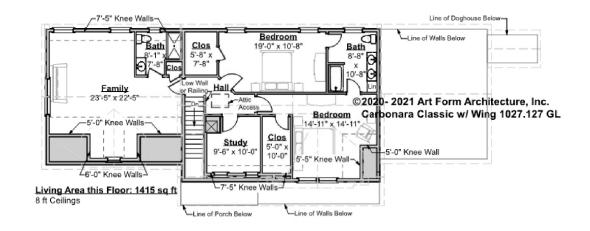
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CARBONARA CLASSIC W WING - 2ND FLOOR 1027.127 GL

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CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1415 ^{FT}	F1 BEDROOMS	4	F1 BATHROOMS	2
Main	1415.00 FT	Main	2.00	Main	2.00
Future	0.00 ^{FT}	Future	2.00	Future	0.00
2 nd Unit	0.00 ^{FT}	2 nd Unit	0.00	2 nd Unit	0.00

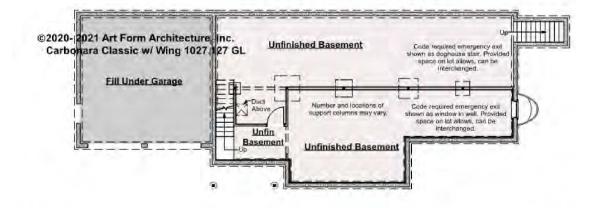
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CARBONARA CLASSIC W WING -BASEMENT 1027.127 GL

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CLG HT SHOWN 7'-8"

CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{ft}	2 nd Unit	0.00	2 nd Unit	0.00

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CARBONARA CLASSIC W WING -FRONT ELEVATION 1027.127 GL

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CARBONARA CLASSIC W WING -RIGHT ELEVATION 1027.127 GL

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CARBONARA CLASSIC W WING -REAR ELEVATION 1027.127 GL

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CARBONARA CLASSIC W WING - LEFT ELEVATION 1027.127 GL

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DAMARA 861.124 GR

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Width 60.00 ^{FT}		Depth 27.33 FT		Height 25.08 FT	
LIVING AREA	2029 ^{FT}	BEDROOMS	4	BATHROOMS	3.5
Main	2029 FT	Main	4	Main	3.5
Future	0 ^{FT}	Future	0	Future	0
2 nd Unit	0 FT	2 nd Unit	0	2 nd Unit	0

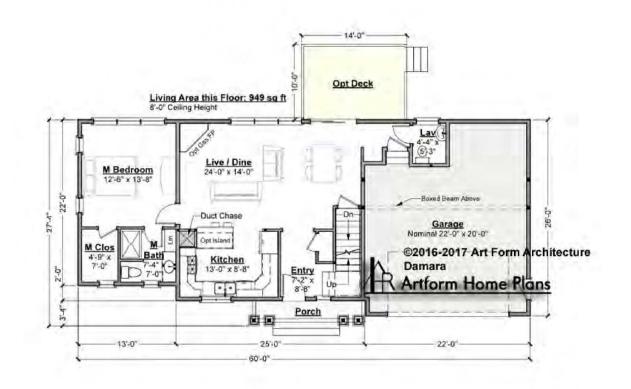
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DAMARA - 1ST FLOOR 861.124 GR

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CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	949 ^{FT}	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	949.00 FT	Main	1.00	Main	1.50
Future	0.00 ^{FT}	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{FT}	2 nd Unit	0.00	2 nd Unit	0.00

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DAMARA - 2ND FLOOR 861.124 GR

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CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1080 ^{FT}	F1 BEDROOMS	3	F1 BATHROOMS	2
Main	1080.00 FT	Main	3.00	Main	2.00
Future	0.00 ^{FT}	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{FT}	2 nd Unit	0.00	2 nd Unit	0.00

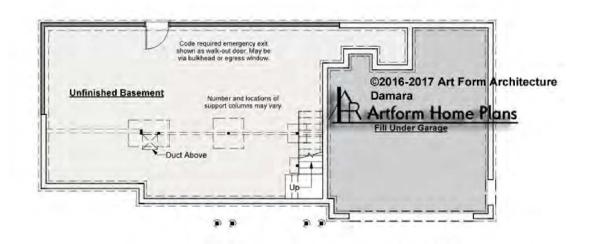
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DAMARA - BASEMENT 861.124 GR

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CLG HT SHOWN 7'-8"

CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 ^{FT}	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{FT}	2 nd Unit	0.00	2 nd Unit	0.00

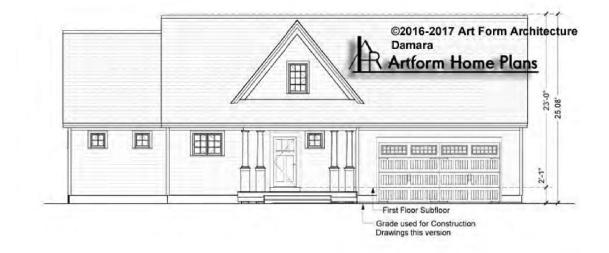
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DAMARA - FRONT ELEVATION 861.124 GR

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DAMARA - RIGHT ELEVATION 861.124 GR

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DAMARA - REAR ELEVATION 861.124 GR

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D Second floor windows over 8 ft first floors over walkout basements DO qualify as egress without lowering window. If first floor is raised to 9 ft, window will need to be lowered, which triggers other requirements, such as window guards and/or tempering





DAMARA - LEFT ELEVATION 861.124 GR

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FIONA 395.124.v5 GR

We have this in reverse as well (Garage on the Left), at no additional charge.

Reverse plan available.

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Width 68.00 ^{FT}		Depth 32.00 FT		Height 26.16 FT	
LIVING AREA	2804 ^{FT}	BEDROOMS	4	BATHROOMS	2.5
Main	2804 ^{FT}	Main	3	Main	2.5
Future	0 ^{FT}	Future	1	Future	0
2 nd Unit	0 FT	2 nd Unit	0	2 nd Unit	0

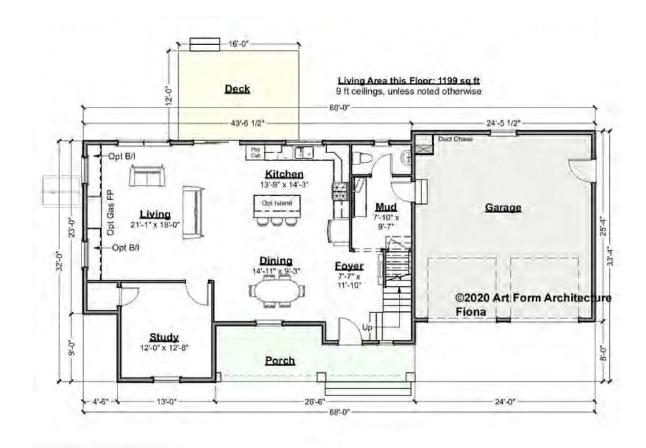
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FIONA - 1ST FLOOR 395.124.v5 GR

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CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1199 ^{FT}	F1 BEDROOMS	1	F1 BATHROOMS	0.5
Main	1199.00 ^{FT}	Main	0.00	Main	0.50
Future	0.00 FT	Future	1.00	Future	0.00
2 nd Unit	0.00 ^{ft}	2 nd Unit	0.00	2 nd Unit	0.00

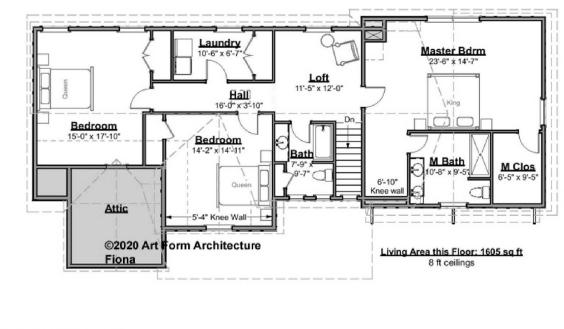
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FIONA - 2ND FLOOR 395.124.v5 GR

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CRS 395,124.v5 GR Fiona - Lot 2

CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1605 ^{FT}	F1 BEDROOMS	3	F1 BATHROOMS	2
Main	1605.00 FT	Main	3.00	Main	2.00
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{ft}	2 nd Unit	0.00	2 nd Unit	0.00

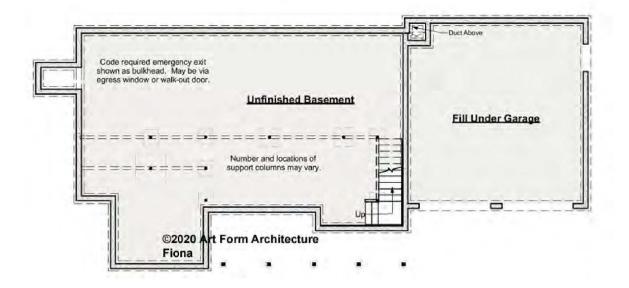
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FIONA - BASEMENT 395.124.v5 GR

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CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{FT}	2 nd Unit	0.00	2 nd Unit	0.00

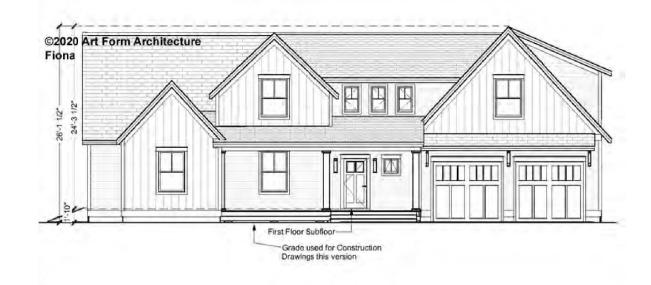
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FIONA - FRONT ELEVATION 395.124.v5 GR

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FIONA - RIGHT ELEVATION 395.124.v5 GR

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CRS 395.124.v5 GR Fiona - Lot 2

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FIONA - REAR ELEVATION 395.124.v5 GR

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CRS 395,124.v5 GR Fiona - Lot 2

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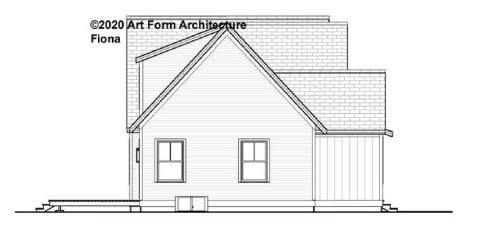
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FIONA - LEFT ELEVATION 395.124.v5 GR

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CRS 395.124.v5 GR Fiona - Lot 2

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FIONA - REAR RENDER 395.124.v5 GR

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Garnet Premier

384.129.v35 GR (8/8/2023)

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Garnet Premier

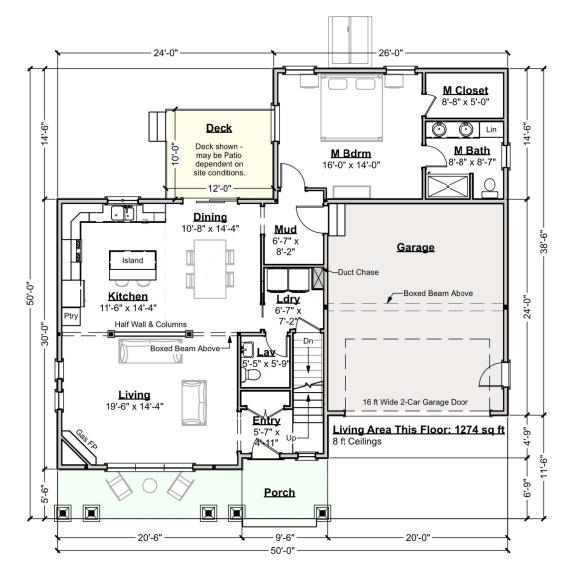
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First Floor Plan Scale: 3/32" = 1'-0"

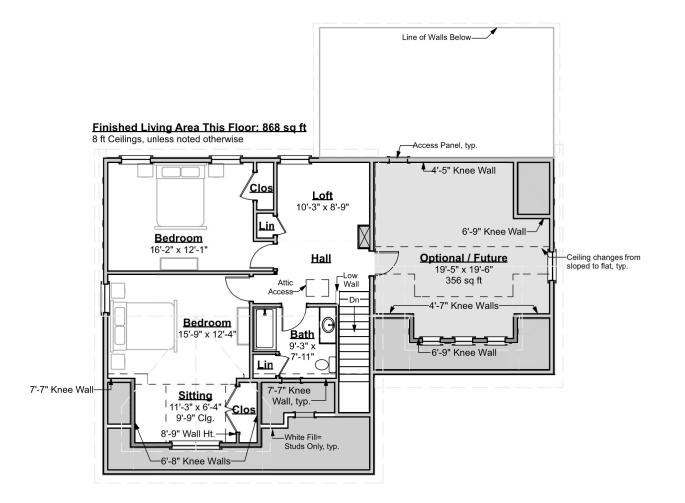
CRS 384.129.v35 GR Garnet Premier





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Scale: 3/32" = 1'-0"

CRS 384.129.v35 GR Garnet Premier

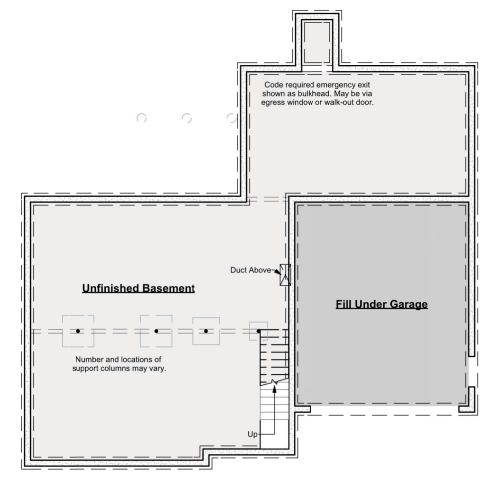
Garnet Premier

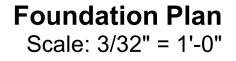
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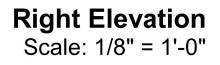






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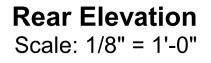






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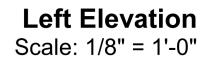






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Opal Marquise, 30x28

370.124.v20 GL (8/8/2023)

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Opal Marquise, 30x28

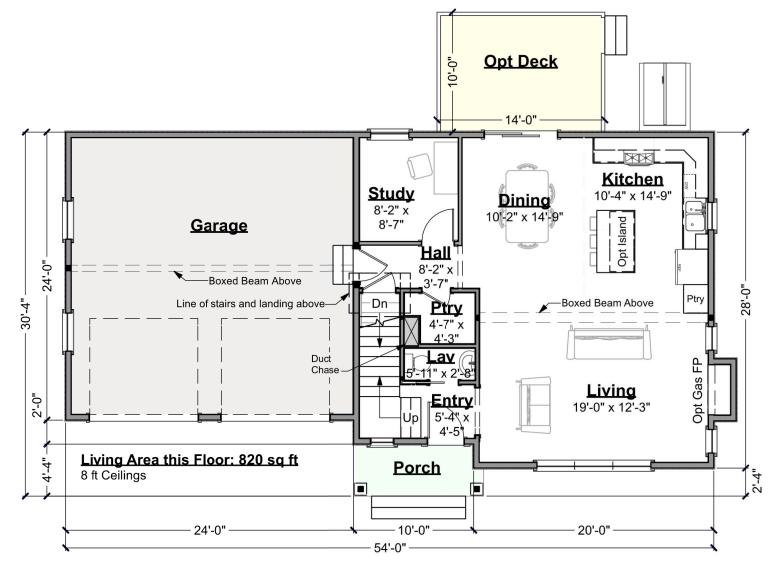
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First Floor Plan Scale: 1/8" = 1'-0"

CRS 370.124.v20 GL Opal Marquise, 30x28



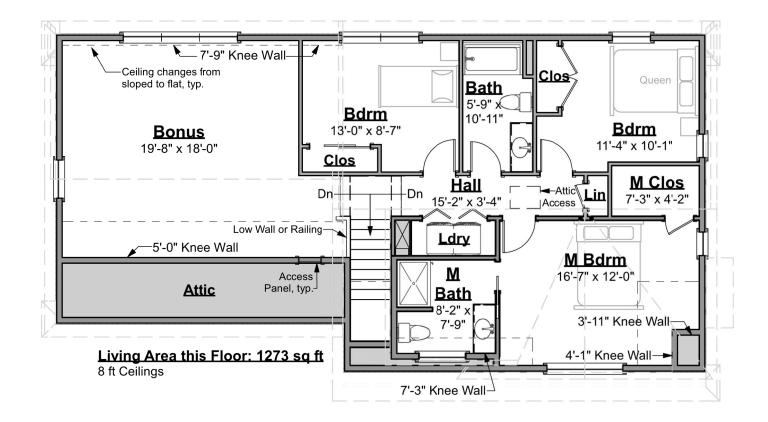
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Scale: 1/8" = 1'-0"



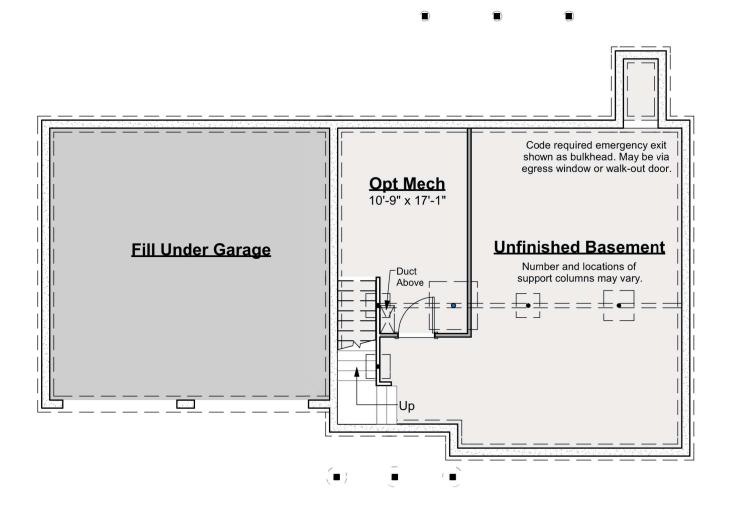
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Foundation Plan Scale: 1/8" = 1'-0"



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Front Elevation Scale: 1/8" = 1'-0"





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CRS 370.124.v20 GL Opal Marquise, 30x28

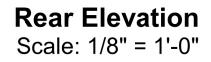




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CRS 370.124.v20 GL Opal Marquise, 30x28



PEPPERCORN CLASSIC WITH WING 975.127.v3 GL

This plan is Tier 2 because original was for Portland Maine that doesn't allow us to give you the choices we normally give. Tier 2 gives us the time to add that back in.

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		Deptil 30.00		rieigint 23.00	
LIVING AREA	2294 ^{FT}	BEDROOMS	3	BATHROOMS	2.5
Main	2294 ^{FT}	Main	3	Main	2.5
Future	0 FT	Future	0	Future	0
2 nd Unit	0 FT	2 nd Unit	0	2 nd Unit	0

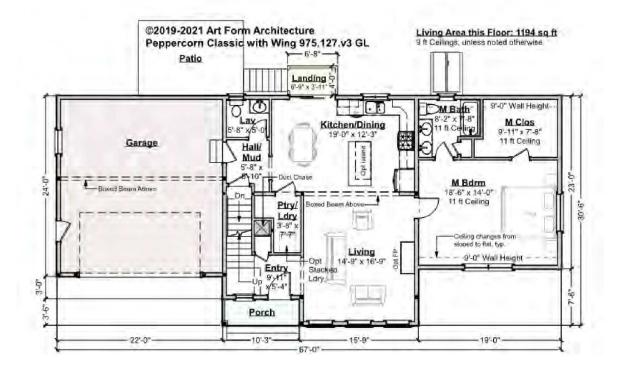
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PEPPERCORN CLASSIC WITH WING -1ST FLOOR 975.127.v3 GL

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CLG HT SHOWN 9'-0" CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1194 ^{FT}	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	1194.00 ^{FT}	Main	1.00	Main	1.50
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{ft}	2 nd Unit	0.00	2 nd Unit	0.00

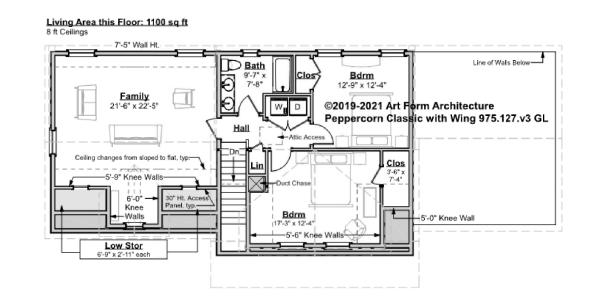
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PEPPERCORN CLASSIC WITH WING -2ND FLOOR 975.127.v3 GL

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CLG HT SHOWN 8'-0"

CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1100 FT	F1 BEDROOMS	2	F1 BATHROOMS	1
Main	1100.00 FT	Main	2.00	Main	1.00
Future	0.00 ^{FT}	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{ft}	2 nd Unit	0.00	2 nd Unit	0.00

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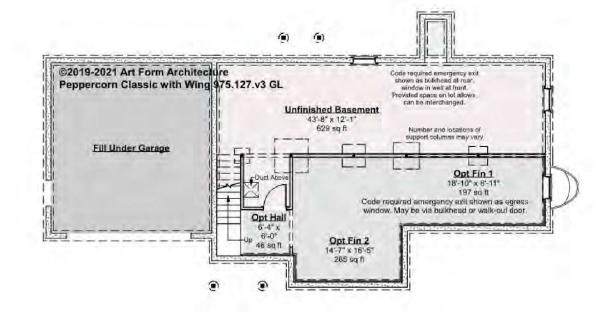
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PEPPERCORN CLASSIC WITH WING -BASEMENT 975.127.v3 GL

The construction drawings show this lower level as finished. We don't include that in our data chart so Search isn't misleading. Everybody knows you can finish a basement!

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CLG HT SHOWN 7'-8"

CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	FT	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{ft}	2 nd Unit	0.00	2 nd Unit	0.00

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PEPPERCORN CLASSIC WITH WING -FRONT ELEVATION 975.127.v3 GL

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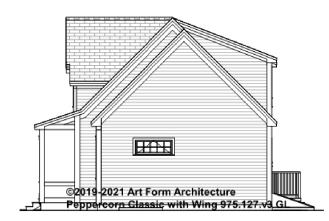




PEPPERCORN CLASSIC WITH WING -RIGHT ELEVATION 975.127.v3 GL

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PEPPERCORN CLASSIC WITH WING -REAR ELEVATION 975.127.v3 GL

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PEPPERCORN CLASSIC WITH WING -LEFT ELEVATION 975.127.v3 GL

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Shelley with Sun

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Shelley with Sun

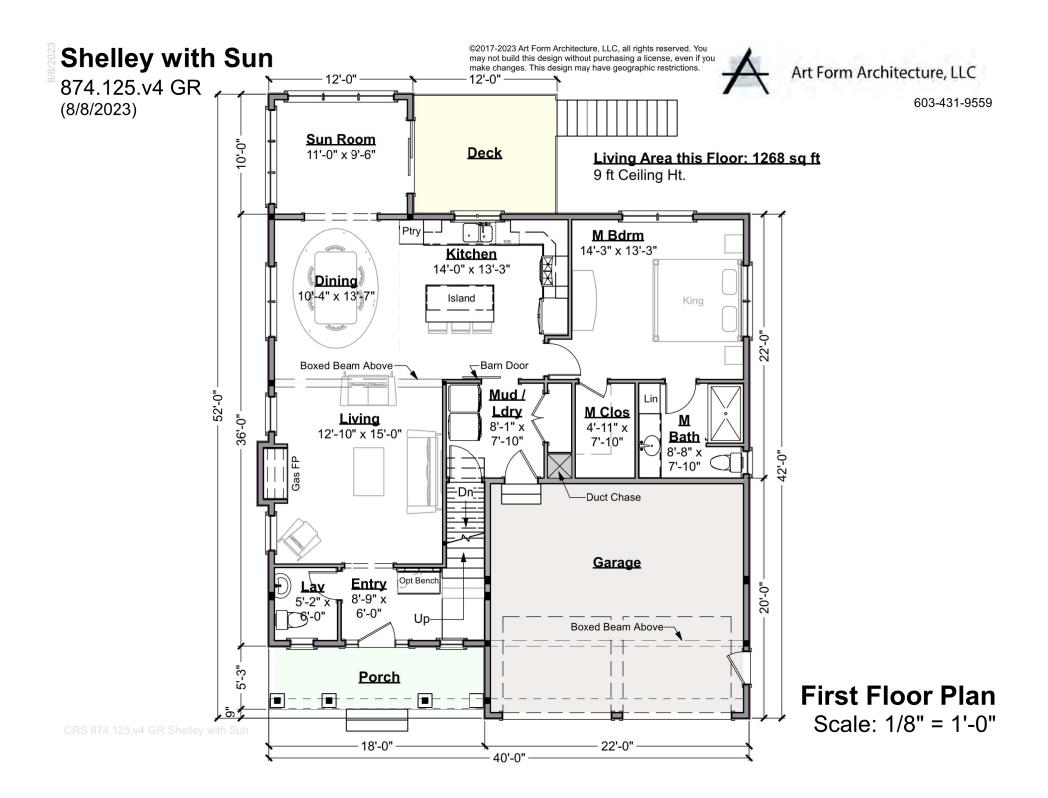
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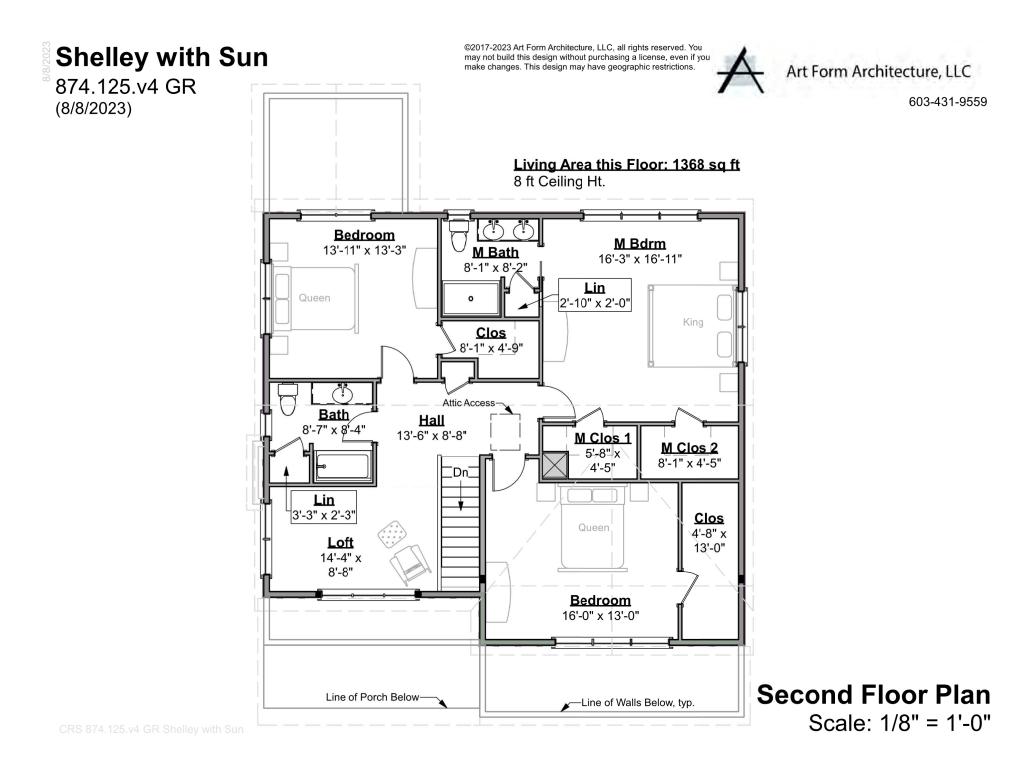


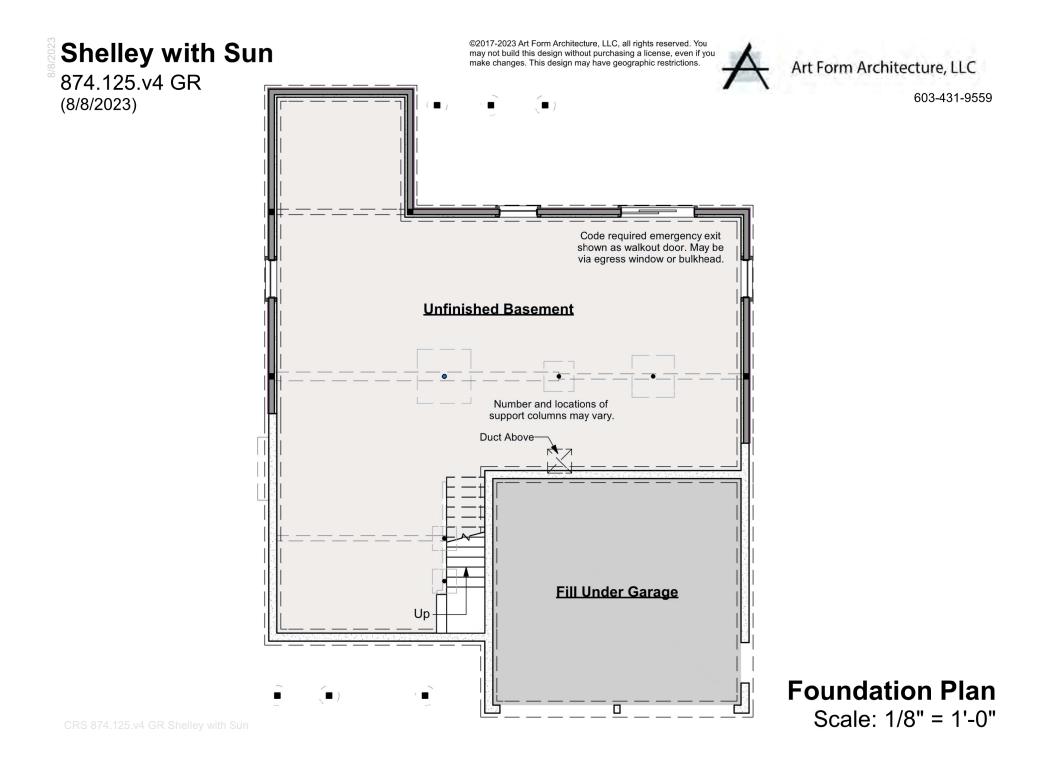
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Shelley with Sun 874.125.v4 GR

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Front Elevation Scale: 1/8" = 1'-0"



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Right Elevation Scale: 1/8" = 1'-0"

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Rear Elevation Scale: 1/8" = 1'-0"

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Left Elevation

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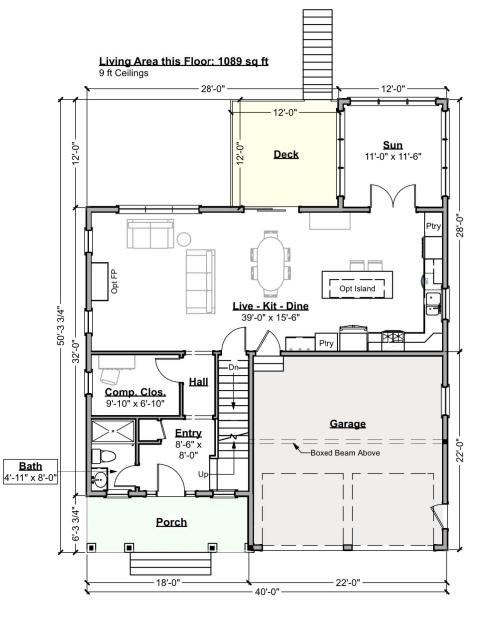
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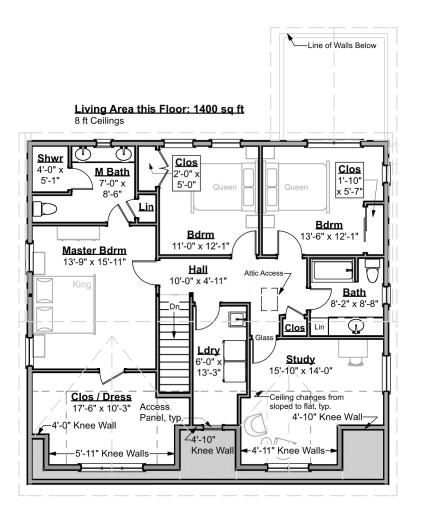
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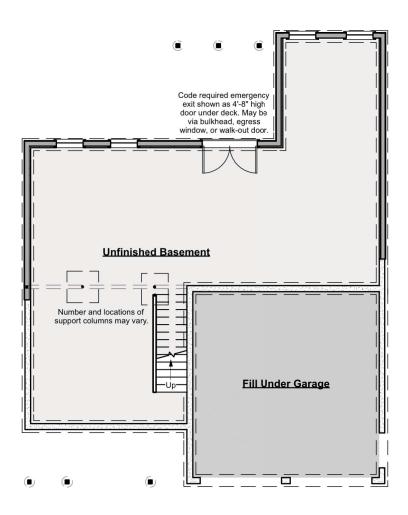
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Rear Elevation Scale: 1/8" = 1'-0"

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