

C5194-001 August 21, 2023

Mr. Peter Britz, Director of Planning & Sustainability City of Portsmouth Planning & Sustainability Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

## Re: Site Review & Subdivision Applications Proposed Single-Family Subdivision, Shearwater Drive, Portsmouth, NH

Dear Peter,

On behalf of Chinburg Properties (applicant), we are pleased to submit one (1) set of hard copies and one electronic file (.pdf) of the following information to support a request for a Site Review Permit and Subdivision Permit for the above referenced project:

- One (1) full size & one (1) half size copy of the Site Plan Set, dated August 21, 2023;
- Owner Authorization Letter, dated August 1, 2023;
- Applicant Authorization Letter, dated August 1, 2023:
- Site Review Checklist, dated August 21, 2023;
- Subdivision Checklist, dated August 21, 2023;
- Application Fee Calculation Form;
- Unitil Will Service Letter, dated August 14, 2023;
- Prototypical Architectural Plans, dated August 21, 2023:

The proposed project is located along Shearwater Drive on a parcel of land identified as Map 217 Block 2 Lot 1900 on the City of Portsmouth Tax Maps. The existing parcel had seven (7) existing buildings consisting of (5) duplexes, (1) 4-unit, and (1) 6-unit buildings that were previously demolished earlier this year. The project includes the subdivision of the 2.23 acre lot into nine (9) Single-Family lots and the construction of the associated residential buildings, stormwater management, landscaping, and utilities. All proposed buildings and lots have been designed to meet or exceed the current zoning and site review requirements.

The enclosed Site Plan Set includes nine (9) prototypical building layouts and designs. The final building location, size, and styles are to be determined prior to the issuance of a building permit. The applicant's intent is to provide the prospective buyer with the option of choosing any building layout that fits within the building setbacks and all applicable City of Portsmouth Site Plan and Zoning requirements.

Under separate cover, a Site Plan Review application fee in the amount of \$3,073.14, a Subdivision application fee in the amount of \$2,400.00 will be delivered to the Planning Department. A copy of the application fee calculation form is enclosed.



We respectfully request to be placed on the TAC meeting agenda for September 5, 2023. If you have any questions or need any additional information, please contact Neil Hansen by phone at (603) 294-9213 or by email at <a href="mailto:nahansen@tighebond.com">nahansen@tighebond.com</a>.

Neil A. Hansen, PE

Project Manager

Sincerely,

TIGHE & BOND, INC.

Patrick M. Crimmins, PE

Vice President

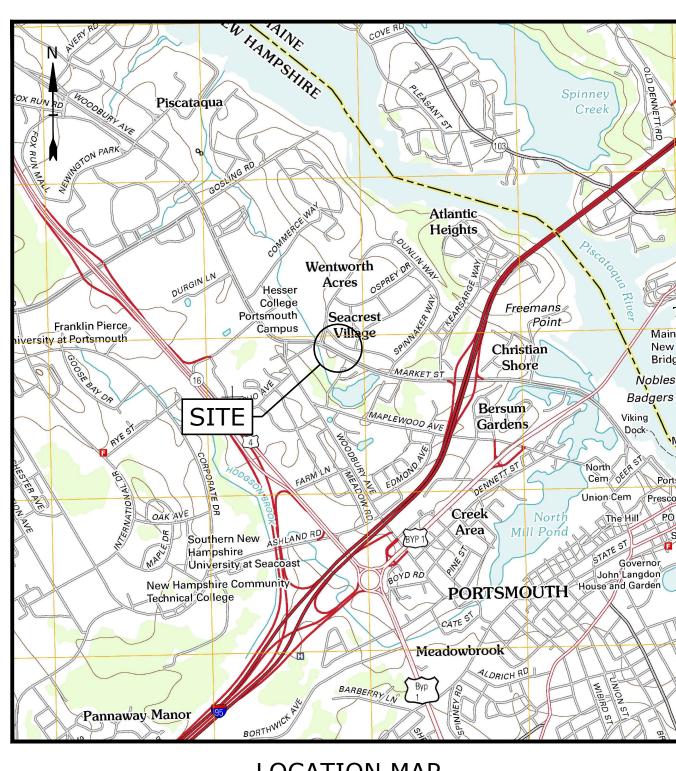
Copy: Chinburg Properties (via email)

# PROPOSED SINGLE-FAMILY SUBDIVISION

# SHEARWATER DRIVE PORTSMOUTH, NEW HAMPSHIRE AUGUST 1, 2023 LAST REVISED: AUGUST 21, 2023

LIST OF DRAWINGS			
SHEET NO.	SHEET TITLE	LAST REVISED	
	COVER SHEET	8/21/2023	
1 OF 1	SUBDIVISION PLAN	8/17/2023	
1 OF 1	EXISTING CONDITIONS PLAN	8/17/2023	
G-100	GENERAL NOTES AND LEGEND	8/21/2023	
C-101	EXISTING CONDITIONS & DEMOLITION PLAN	8/21/2023	
C-102	SITE PLAN	8/21/2023	
C-103	GRADING, DRAINAGE, & EROSION CONTROL PLAN	8/21/2023	
C-104	UTILITIES PLAN	8/21/2023	
C-105	LANDSCAPE PLAN	8/21/2023	
C-201	DRAINAGE EASEMENT LPAN	8/21/2023	
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	8/21/2023	
C-502	DETAILS SHEET	8/21/2023	
C-503	DETAILS SHEET	8/21/2023	
C-504	DETAILS SHEET	8/21/2023	
C-505	DETAILS SHEET	8/21/2023	

LIST OF PERMITS			
LOCAL	STATUS	DATE	
SITE PLAN REVIEW PERMIT	NOT SUBMITTED		
SUBDIVISION PERMIT	NOT SUBMITTED		
FEDERAL			
EPA - NPDES CGP (SWPPP) NOT SUBMITTED			



LOCATION MAP
SCALE: 1" = 2,000'

## PREPARED BY:

# Tighe&Bond

177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

## **OWNER:**

BANTRY BAY ASSOCIATION LLC 540 NORTH COMMERCIAL ST MANCHESTER, NH 03101

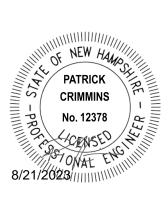
## **APPLICANT:**

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

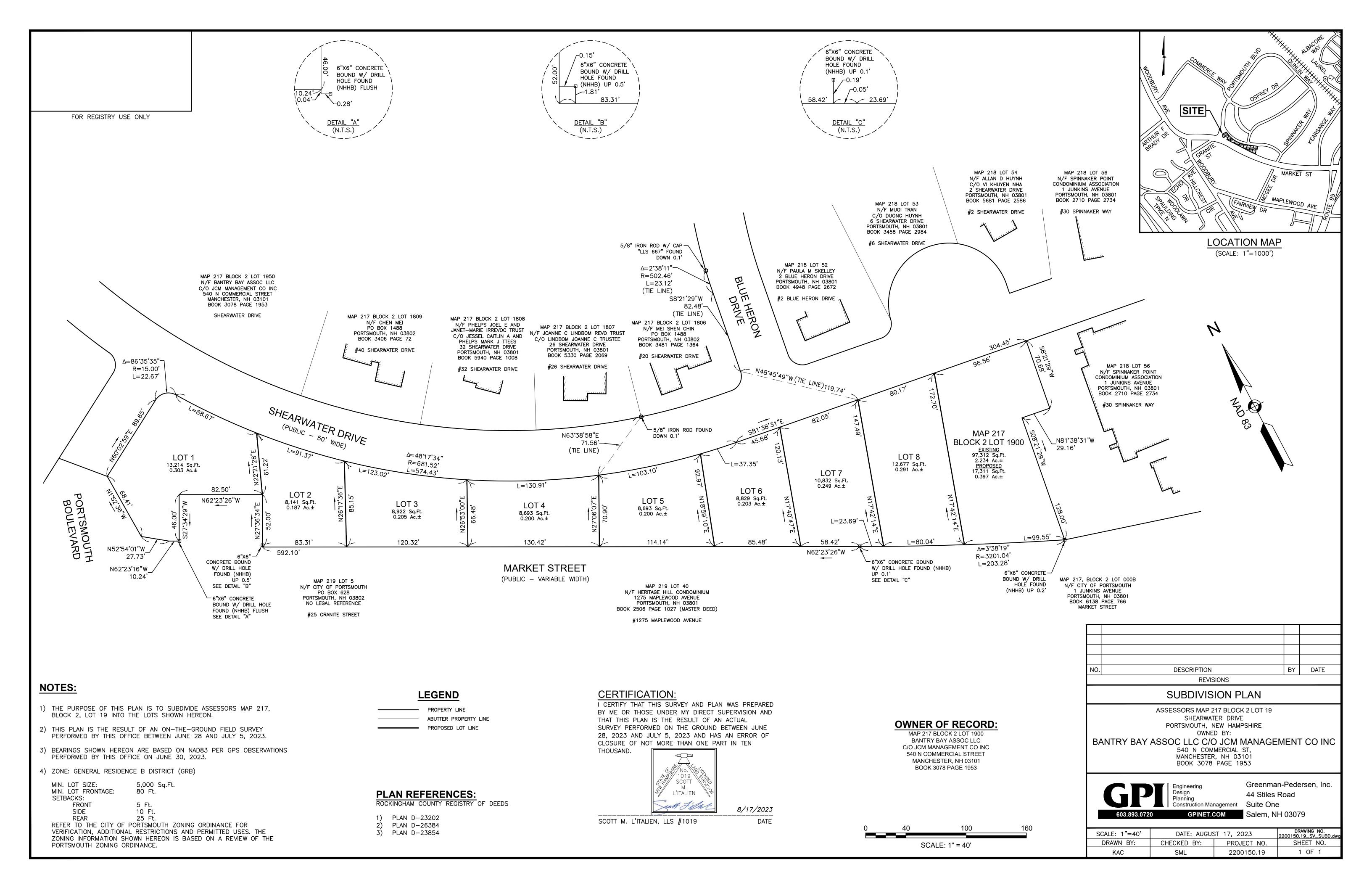
### **SURVEYOR:**

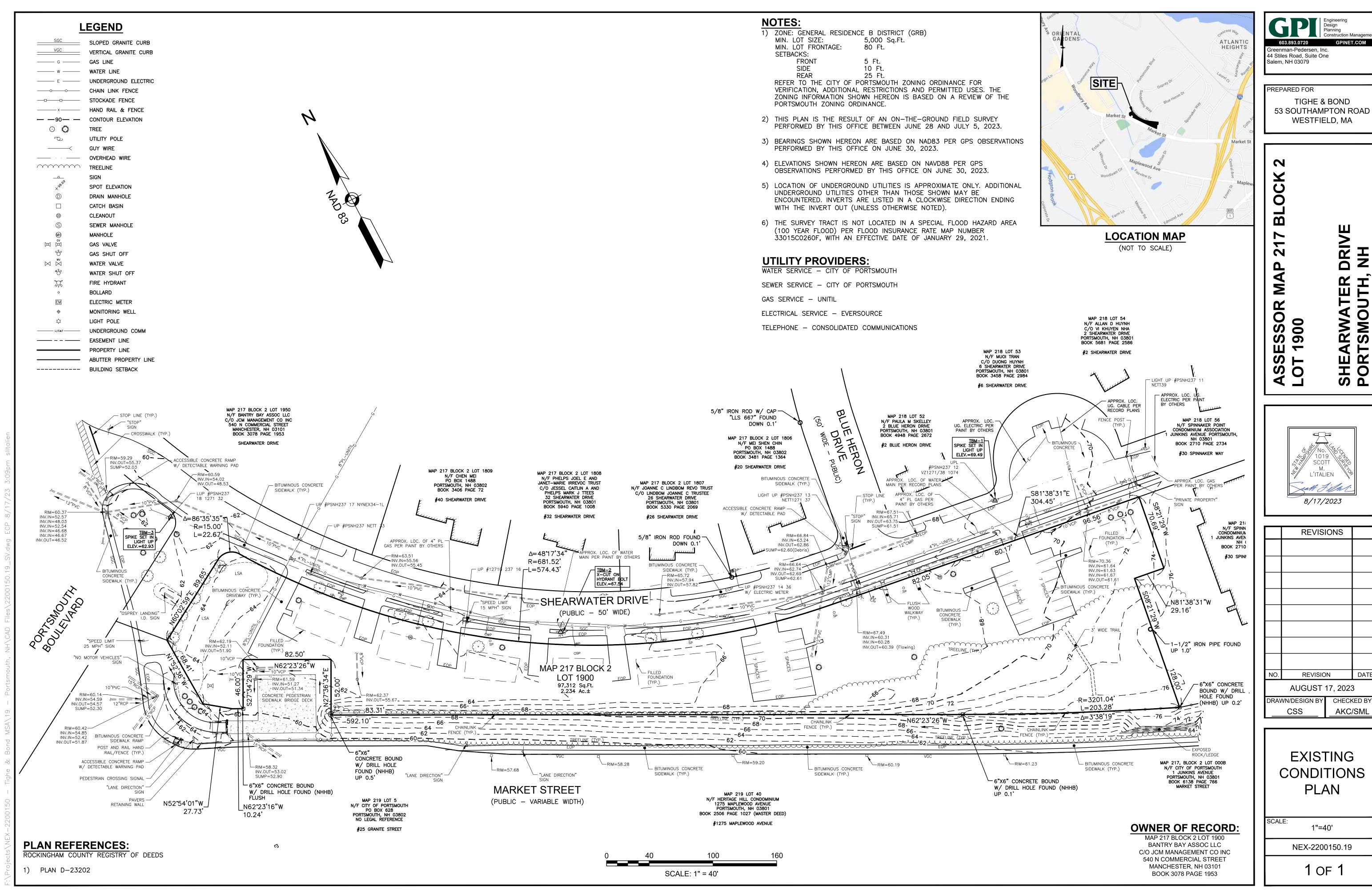
GREENMAN-PEDERSEN, INC.
44 STILES ROAD, SUITE ONE
SALEM, NH 03079





TAC SUBMISSION
COMPLETE SET 15 SHEETS





53 SOUTHAMPTON ROAD

	. (2 )		
NO.	REVISIO	N	DATE
	AUGUST	17, 2023	3
RAWN/DESIGN BY CHECK		KED BY	
	CSS	_AKC	/SML_

**CONDITIONS** 

- 1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 2. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 3. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES. 4. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE
- COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT
- 6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO
- COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING 7. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING
- BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS. 9. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND
- 11. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- 12. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
- 13. APPLICANT SHALL SUBMIT, AS PART OF THE FINAL POST APPROVAL PROCEDURES, RELEVANT PTAP INFORMATION USING THE MOST RECENT ONLINE DATA PORTAL CURRENTLY MANAGED BY THE UNH STORMWATER CENTER. THE PLANNING DEPARTMENT SHALL BE NOTIFIED AND COPIED OF THE PTAP DATA SUBMITTAL.

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES. 2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL
- 3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY. 4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR
- REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. 5. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- 7. ALL UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED. 8. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR
- UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE. 9. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- 10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- 11. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- 13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER
- 14. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND
- SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE. 15. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED
- UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN. 16. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- 3. SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- 4. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 5. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED, COORDINATE WITH BUILDING CONTRACTOR.
- 6. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.

WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY

- 7. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- 8. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 9. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, THE OWNER SHALL COORDINATE
- 10. ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS.

#### **GRADING AND DRAINAGE NOTES:**

1. COMPACTION REQUIREMENTS: BELOW PAVED OR CONCRETE AREAS TRENCH BEDDING MATERIAL AND

SAND BLANKET BACKFILL BELOW LOAM AND SEED AREAS

- \* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
- 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) UNLESS OTHERWISE
- 3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- 5. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
- 6. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- 7. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS. 8. CONTRACTOR TO FIELD VERIFY OUTLET INVERT PRIOR TO CONSTRUCTION.

#### **EROSION CONTROL NOTES**

1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY
- NATURAL GAS UNITIL
- WATER/SEWER CITY OF PORTSMOUTH
- ELECTRIC EVERSOURCE • COMMUNICATIONS - COMCAST/CONSOLIDATED COMMUNICATIONS/FIRST LIGHT
- 2. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- 3. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
- 4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED
- 5. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION. 6. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
- 7. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 8. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL
- APPLICABLE STATE AND LOCAL CODES. 9. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND
- THE APPLICABLE UTILITY COMPANIES. 10. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 11. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND
- 12. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES. 13. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER
- 14. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- 15. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 16. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 17. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER IN UNPAVED AREAS SHALL BE
- 18. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER
- 19. IF THE EXISTING WATER LINE IS LESS THAN 1" IN DIAMETER, IT SHALL BE CAPPED AT THE MAIN AND NEW 1" COPPER LINE AND WATER SHUT OFF VALVE SHALL BE CONSTRUCTED.
- 20. ALL WATER LINES SHALL BE EQUIPPED WITH WATER SHUT OF VALVES LOCATED WITH IN THE CITY RIGHT OF WAY.

- 1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER AND OR THE CITY OF PORTSMOUTH TREES & PUBLIC GREENERY COMMITTEE. ALL PLANTS SHALL BE NURSERY GROWN.
- 2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
- PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST
- REVISION. 4. PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO
- 5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS
- SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY. 6. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE
- REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED. 7. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- 8. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER
- AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED. 9. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION
- 10. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 11. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
- 12. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
- 13. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
- 14. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD. 15 EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN LINDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO
- REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN. WHICH IS REMOVED DURING CONSTRUCTION. SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB. 16. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND
- SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR 17. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE
- MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
- 21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

**EXISTING CONDITIONS PLAN NOTES:** 1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY GPI, SEE REFERENCE PLAN #1.

1. "EXISTING CONDITIONS PLAN - MAP 217 BLOCK 2 LOT 1900" PREPARED BY GPI, DATED JULY 19, 2023.

#### **ABBREVIATIONS**

TO BE REMOVED BLDG BUILDING TYPICAL **GROSS FOOT PRINT** COORD COORDINATE 30'R CURB RADIUS VERTICAL GRANITE CURB SLOPED GRANITE CURB SGC **HDPE** HIGH-DENSITY POLYETHYLENE FINISH FLOOR VERIFY IN FIELD

#### **LEGEND**

PROPOSED SAWCUT

PROPOSED SILT SOCK

BE MILLED AND OVERLAID

PAVEMENT TO BE REMOVED

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

PROPOSED BITUMINOUS

PAVEMENT SECTION

PROPOSED MILL AND

PROPOSED DRIP EDGE

PROPOSED MAJOR CONTOUR LINE

PROPOSED MINOR CONTOUR LINE

PROPOSED DRAIN LINE (TYP)

INLET PROTECTION SILT SACK

PROPOSED DRAIN MANHOLE

PROPOSED YARD DRAIN

EXISTING STORM DRAIN

EXISTING WATER

EXISTING GAS

EXISTING SANITARY SEWER

EXISTING OVERHEAD UTILITY

EXISTING UNDERGROUND ELECTRIC

OVERLAY SECTION

PROPOSED CURB

PROPOSED EDGE OF PAVEMENT

PROPOSED CONSTRUCTION EXIT

APPROXIMATE LIMIT OF

APPROXIMATE LIMIT OF PAVEMENT TO

LIMIT OF WORK

PROPOSED BUILDING

PROPOSED SANITARY SEWER PROPOSED WATER PROPOSED GAS APPROXIMATE SANITARY SEWER APPROXIMATE WATER APPROXIMATE STORM DRAIN EXISTING CATCHBASIN EXISTING DRAIN MANHOLE EXISTING SEWER MANHOLE EXISTING WATER VALVE EXISTING HYDRANT EXISTING ELECTRIC MANHOLE EXISTING TELEPHONE MANHOLE PROPOSED SEWER MANHOLE PROPOSED WATER VALVE PROPOSED HYDRANT

PROPOSED LIGHT POLE BASE PROPOSED SPOT GRADES PROPOSED FIRE HYDRANT PROPOSED WATER SHUT OFF

PROPOSED TREE PROTECTION BARRIER

PROPOSED SEWER CLEAN OUT PROPOSED TREE

**PROPERTIES** 

SHEARWATER DRIVE, PORTSMOUTH, NH

**PROPOSED** 

**CHINBURG** 

SINGLE-FAMILY

**SUBDIVISION** 

PATRICK

**CRIMMINS** 

No. 12378

CERNSE

HANSEN

No. 15227

8/21/2023///

1 8/21/2023 TAC Submission MARK DATE DESCRIPTION PROJECT NO: C5194-001 08/01/2023

**GENERAL NOTES** 

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NHW/CJK

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PMC

SCALE: AS SHOWN

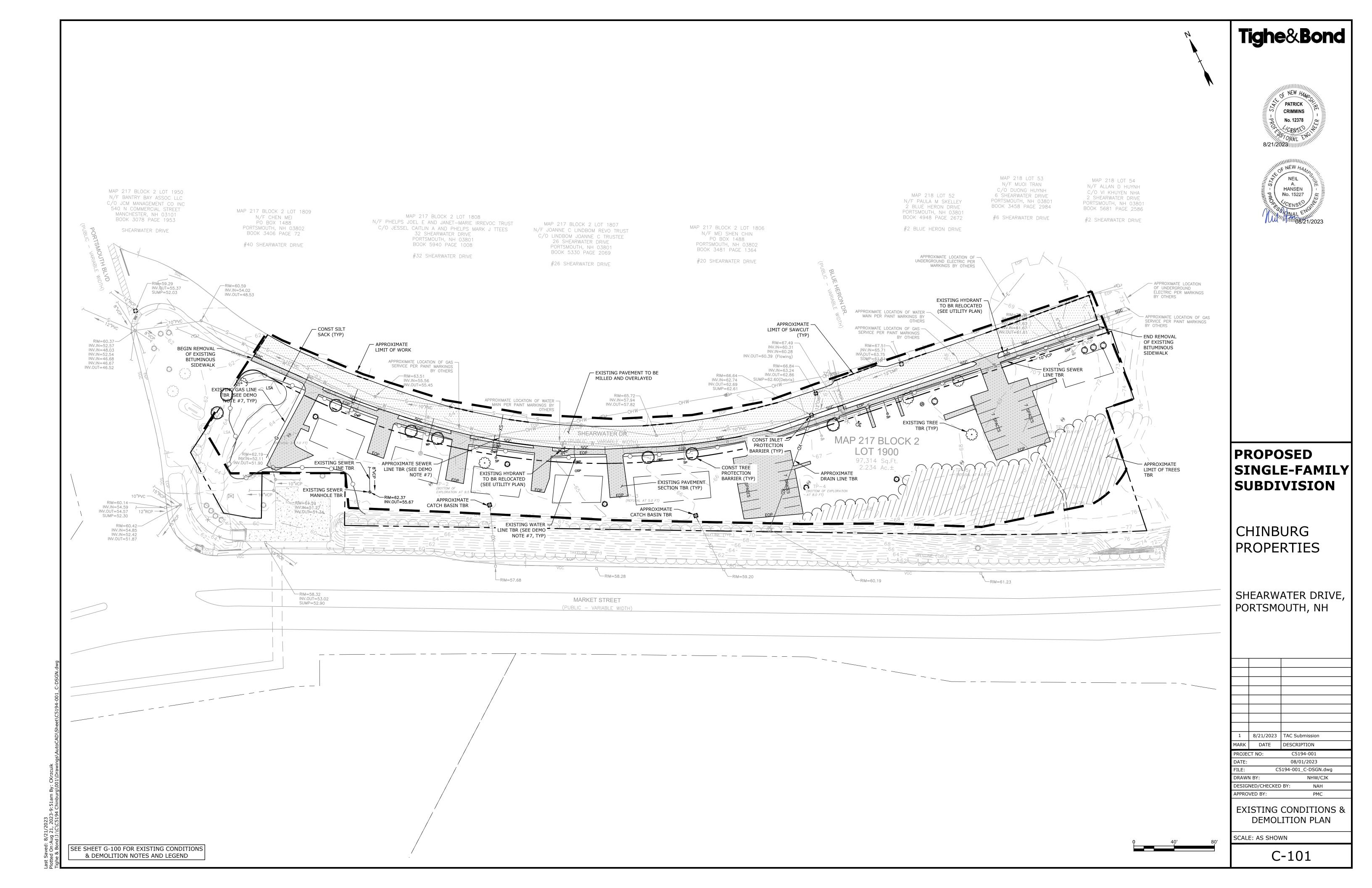
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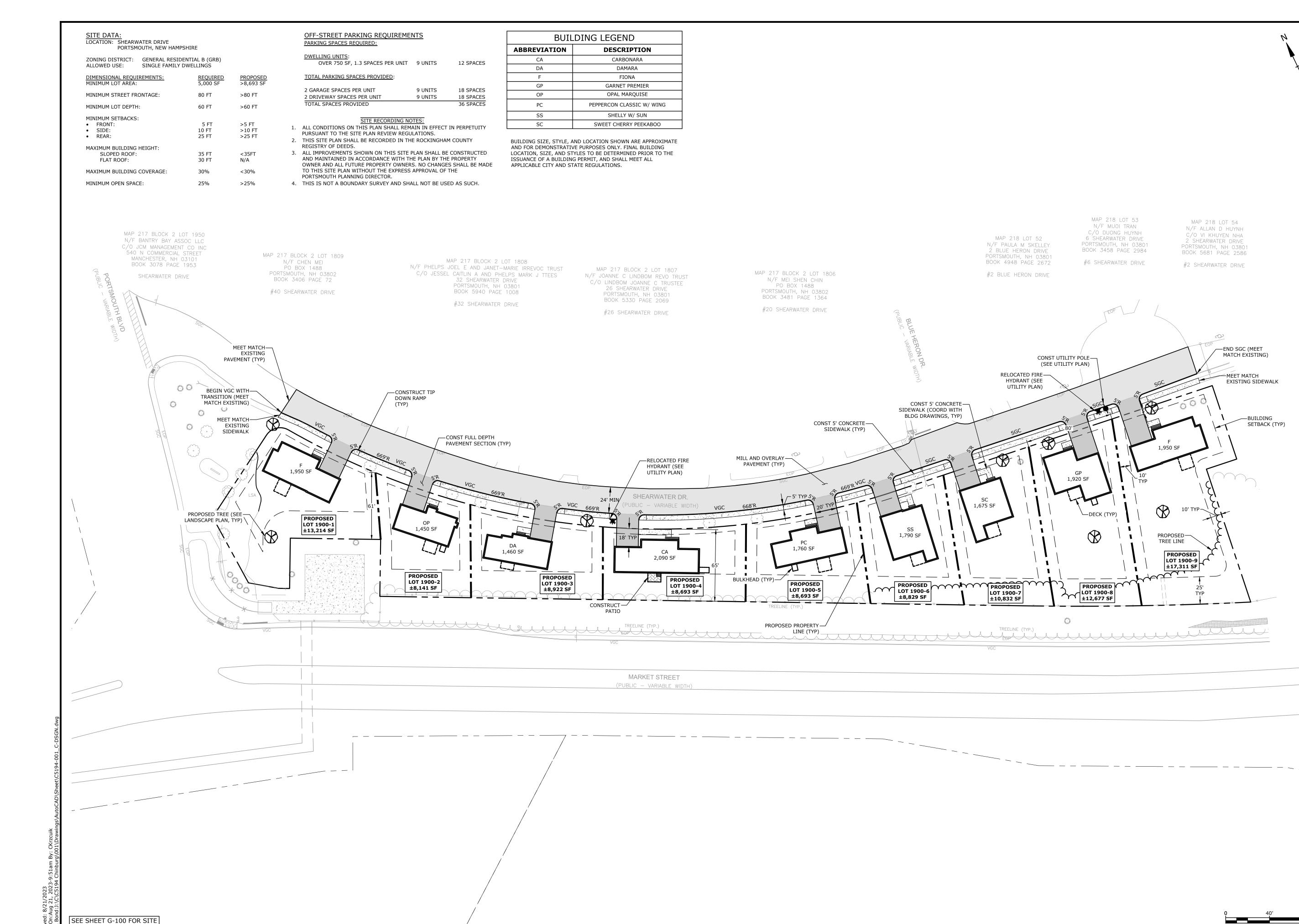
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PLAN NOTES AND LEGEND

Tighe&Bond

PATRICK
CRIMMINS
No. 12378
No. 12378
8/21/2023



PROPOSED
SINGLE-FAMILY
SUBDIVISION

CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

1	8/21/2023	TAC Submission		
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SITE PLAN

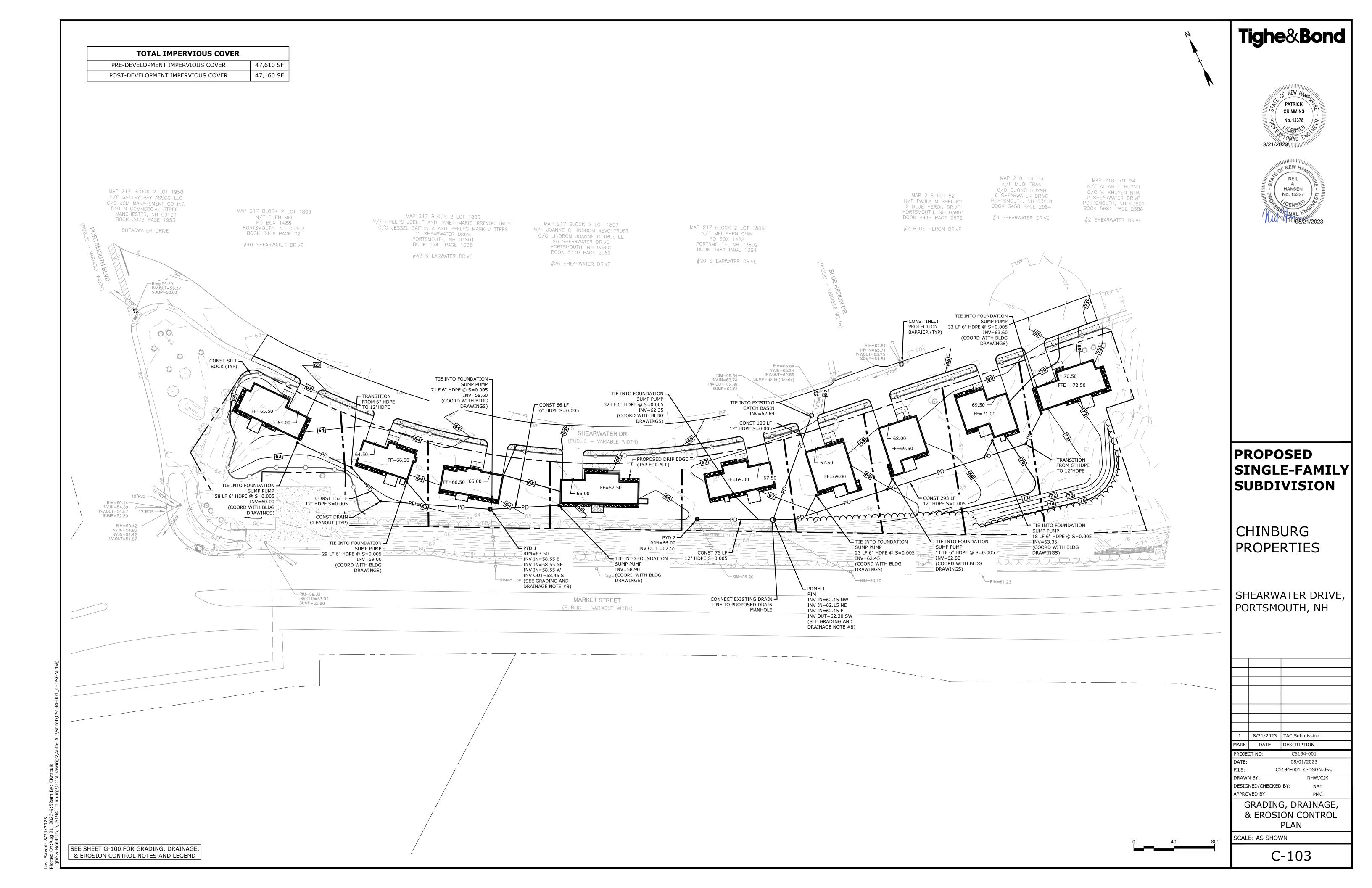
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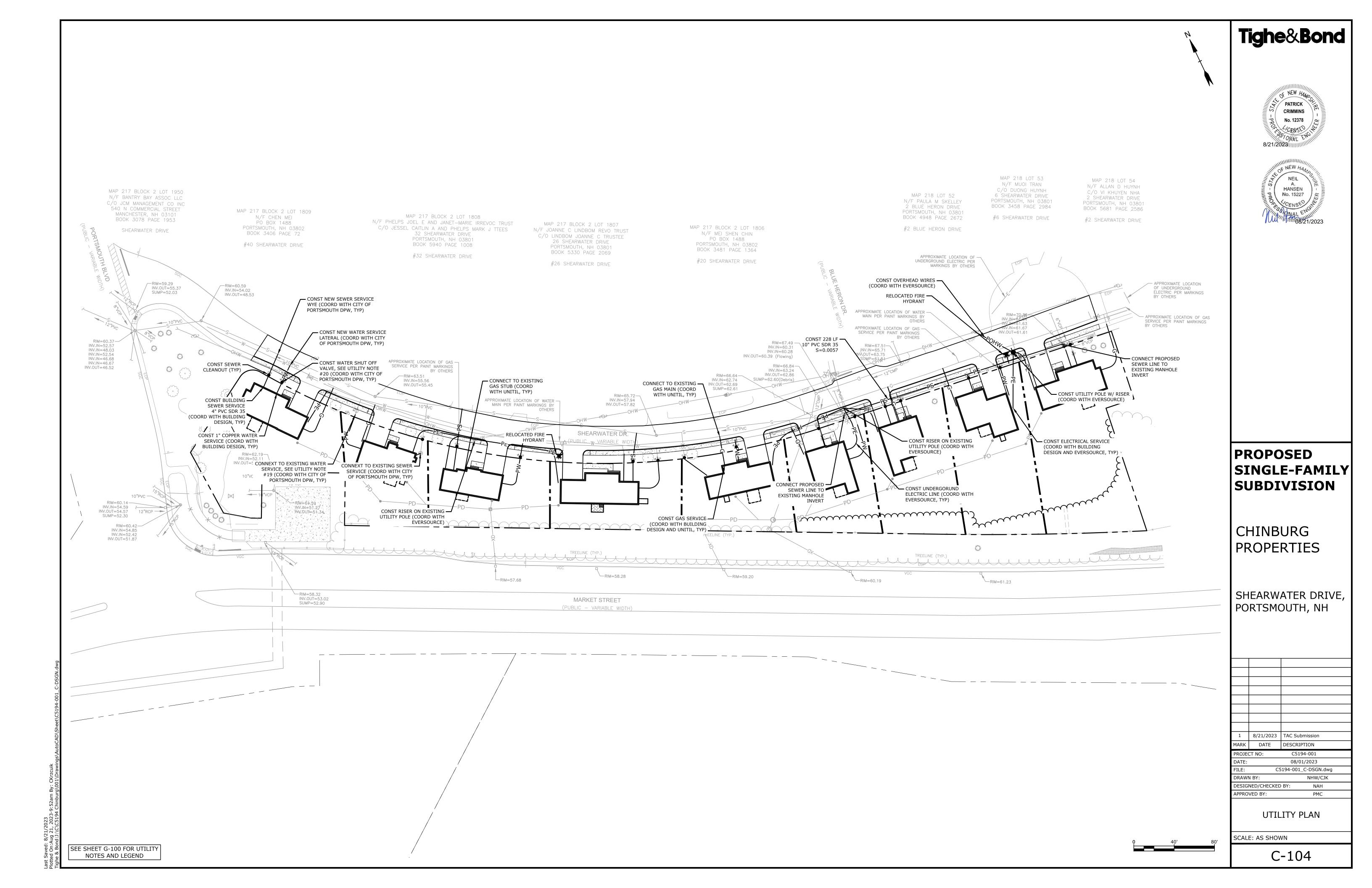
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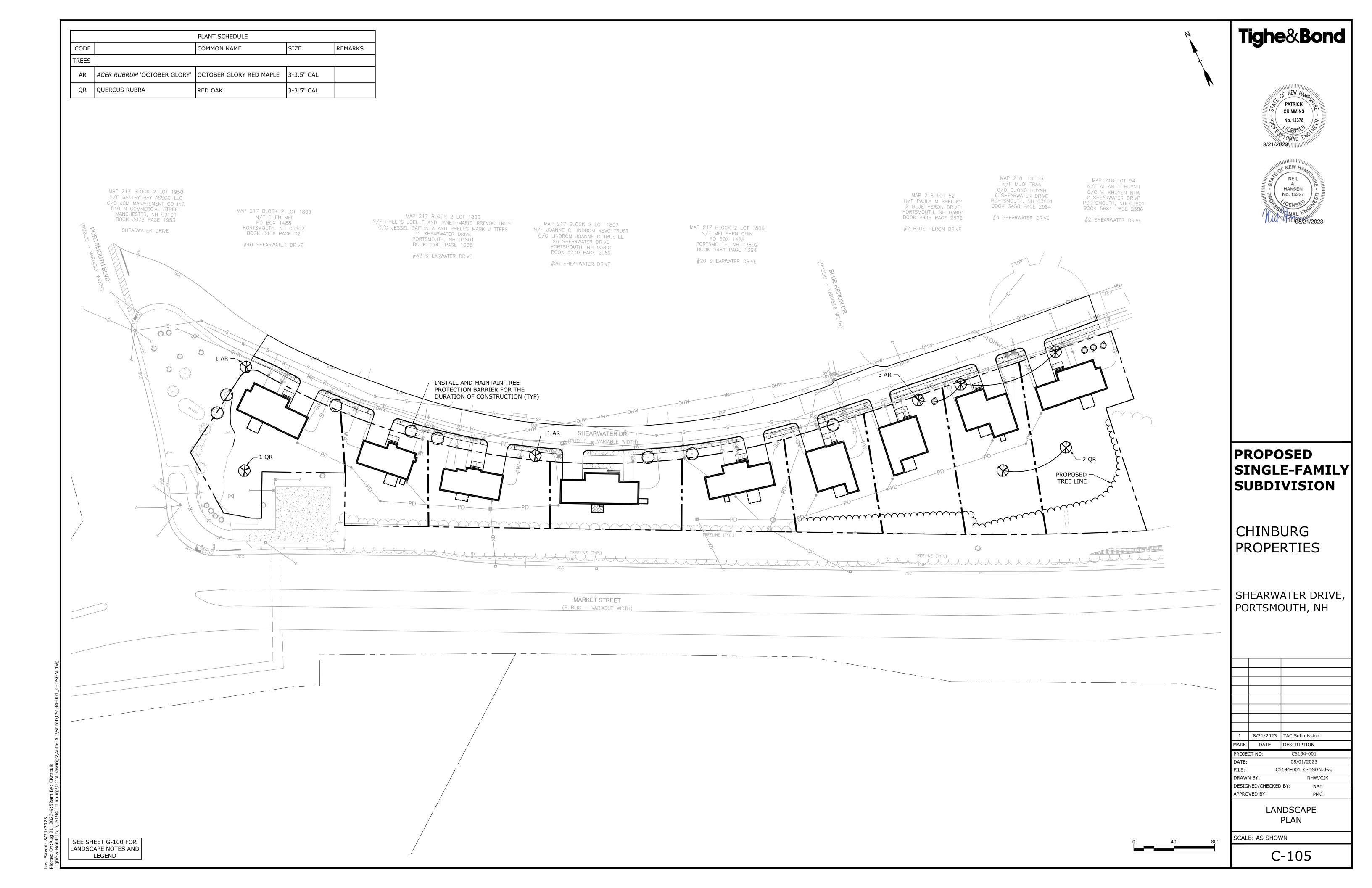
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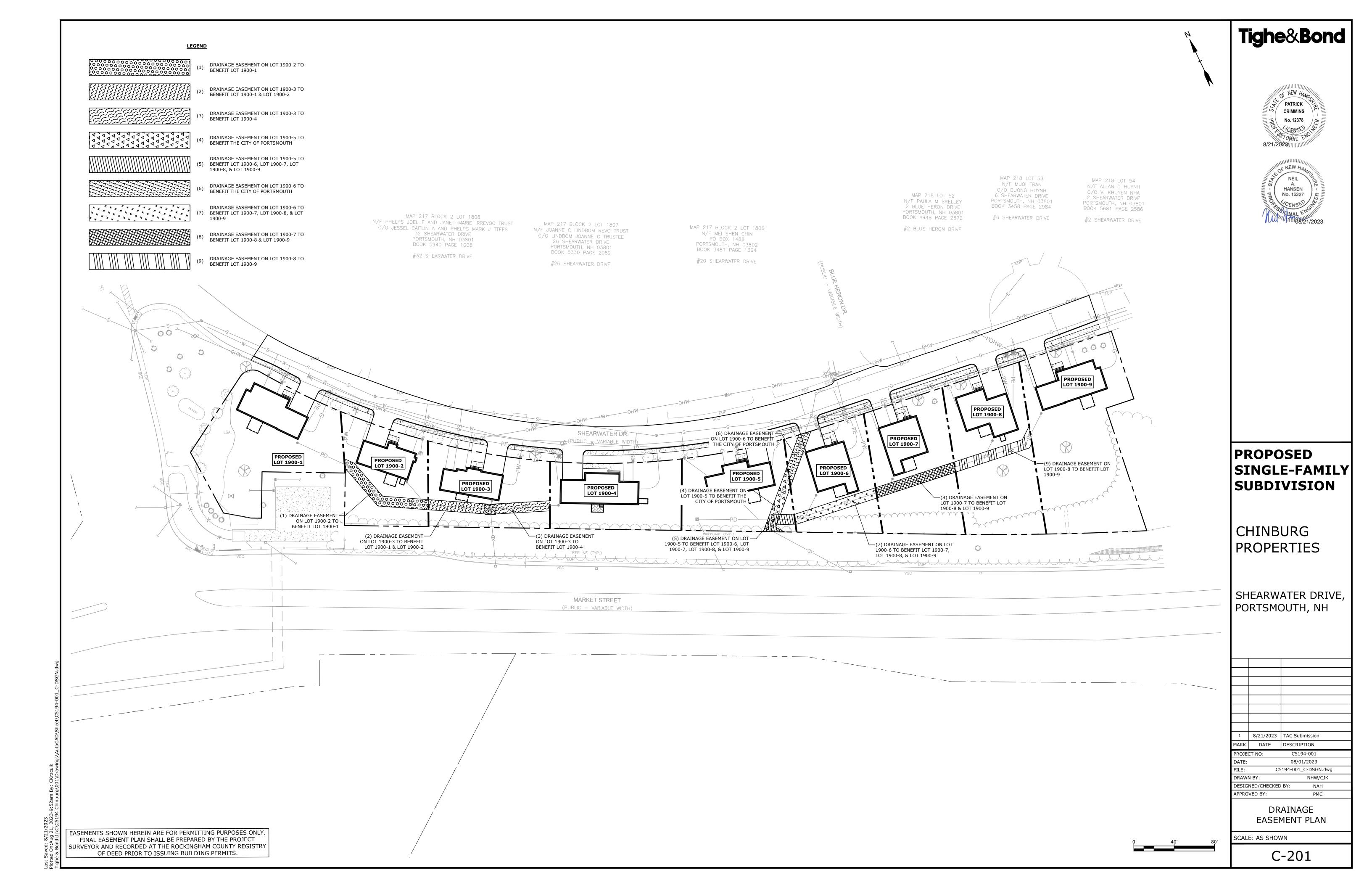
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APPROVED BY:









PROJECT APPLICANT: CHINBURG PROPERTIES

3 PENSTOCK WAY NEWMARKET, NH 03857 PROJECT NAME: PROPOSED SINGLE-FAMILY SUBDIVISION

PROJECT MAP / LOT: MAP 217 BLOCK 2 / LOT 1900 PROJECT ADDRESS: SHEARWATER DRIVE

PORTSMOUTH, NH 03801 PROJECT LATITUDE: 43°-05'-10" N PROJECT LONGITUDE: 70°-46'-59" W

#### PROJECT DESCRIPTION

THE PROJECT CONSISTS OF SUBDIVIDING THE EXISTING LOT INTO NINE (9) INDIVIDUAL PARCELS, THEN CONSTRUCTING A SINGLE-FAMILY HOME ON EACH. THE PROJECT ALSO CONSISTS OF IMPROVEMENTS TO SHEARWATER DRIVE.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 2.2 ACRES.

#### **SOIL CHARACTERISTICS**

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH IS WELL DRAINED SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF A.

#### NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH'S CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO THE PISCATAQUA RIVER.

#### **CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:**

- CUT AND CLEAR TREES. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
- NEW CONSTRUCTION CONTROL OF DUST
- CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED. GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL
- BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.
- FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

#### THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.

**SPECIAL CONSTRUCTION NOTES:** 

- THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT
- OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.

PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS

- FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY
- BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH
- BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE
- BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION
- CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND
- INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE
- EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1

#### STABILIZATION:

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED:
- C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.
- WINTER STABILIZATION PRACTICES:
- A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS
- APPROPRIATE FOR THE DESIGN FLOW CONDITIONS; AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES 1. FIRE-FIGHTING ACTIVITIES; OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH
- STORM EVENT; STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE
- **USED INCLUDE:** A. TEMPORARY SEEDING;
- B. MULCHING.
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES 1. WASTE MATERIAL: PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND

ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED. 6. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

- . THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE
- CONSTRUCTION PERIOD. 2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY
- 3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- 2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- 3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY. 4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION
- CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES **OFF SITE VEHICLE TRACKING:**

#### .. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

- .. TEMPORARY GRASS COVER:
- A. SEEDBED PREPARATION a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
- B. SEEDING:
- a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE; b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN
- SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED; APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;

#### C. MAINTENANCE:

TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK

#### 2. VEGETATIVE PRACTICE

A. FOR PERMANENT MEASURES AND PLANTINGS: a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE

OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;

- b. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
- c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;
- d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
- HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED;
- g. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
- h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:
  - APPLICATION RATE CREEPING RED FESCUE 20 LBS/ACRE
  - TALL FESCUE 20 LBS/ACRE REDTOP 2 LBS/ACRE
- IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
- 3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
- A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

#### **CONCRETE WASHOUT AREA:**

- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
- A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
- B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS
- AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER; C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
- D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

#### **ALLOWABLE NON-STORMWATER DISCHARGES:**

- FIRE HYDRANT FLUSHING; WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- WATER USED TO CONTROL DUST;
- 5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING 6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- 8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION; 9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
- 10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- 11. UNCONTAMINATED EXCAVATION DEWATERING; 12. LANDSCAPE IRRIGATION.

A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;

- B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE
- C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE: A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED
- BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER
- B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT
- A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

## SPILL PREVENTION:

- CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
- 2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF
- A. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
  - a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY
- MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE; c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE
- d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND
- DISPOSAL OF MATERIALS; e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
- WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF
- THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
- B. HAZARDOUS PRODUCTS THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
- a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
- b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION; c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING
- TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL. C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
- a. PETROLEUM PRODUCTS: i. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR
- PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE; ii. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE
- APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. iii. SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
- iv. INSPECT FUEL STORAGE AREAS WEEKLY;

b. FERTILIZERS:

viii. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:

v. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS; vi. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;

vii. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED

- SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
- (1) EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
- (2) PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS; (3) HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN
- (4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED
- (5) PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS
- ix. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.
- i. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS; ii. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO
- STORMWATER; iii. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE

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- PLASTIC BIN TO AVOID SPILLS. c. PAINTS: i. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR
- USE; ii. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM; iii. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
- D. SPILL CONTROL PRACTICES IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
- a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES; b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE
- MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY; d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
- e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
- f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS

E. VEHICLE FUELING AND MAINTENANCE PRACTICE: a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING

AND MAINTENANCE AT AN OFF-SITE FACILITY;

- CLEAN AND DRY; c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED; d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
- e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE; f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

## **EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES**

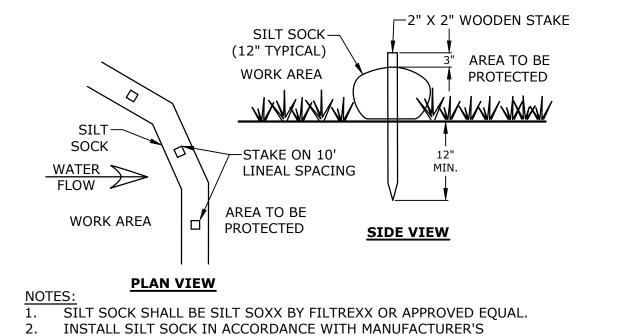
- 1. THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES.
- THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT
- SHALL BE FOLLOWED AS PART OF THIS PROJECT: A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25
- INCHES OR GREATER;
- AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
- C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES; D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.
- PATRICK **CRIMMINS**

No. 12378

CENSE ONAL EN

8/21/2023////

NEIL HANSEN No. 15227



SILT SOCK

COIR MAT INLET FILTER

Z X

TO CATCH BASIN

1. COIR MAT INLET FILTER SHALL BE

STORM WATER INLET FILTER BY

**BLOCKSOM & CO. OR APPROVED** 

INSTALL AND MAINTAIN INLET

**INLET PROTECTION** 

NO SCALE

PROTECTION IN ACCORDANCE WITH

MANUFACTURER'S SPECIFICATIONS.

GRATE (TYP)

SPECIFICATIONS.

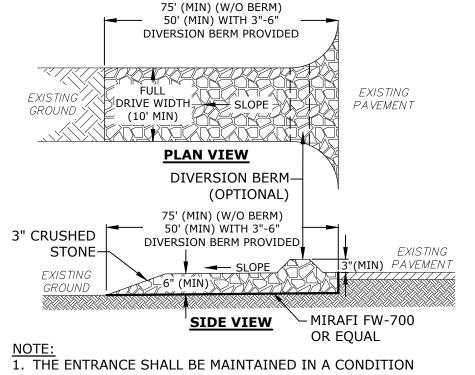
CATCH BASIN GRATE—

(DIMENSIONS VARY)

# **PROPOSED** SINGLE-FAMILY **SUBDIVISION**

**CHINBURG PROPERTIES** 

SHEARWATER DRIVE,



WHICH WILL PREVENT TRACKING OF SEDIMENT FROM THE SITE. WHEN WASHING IS REQUIRED, IT SHALL BE DONE SO RUNOFF DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS

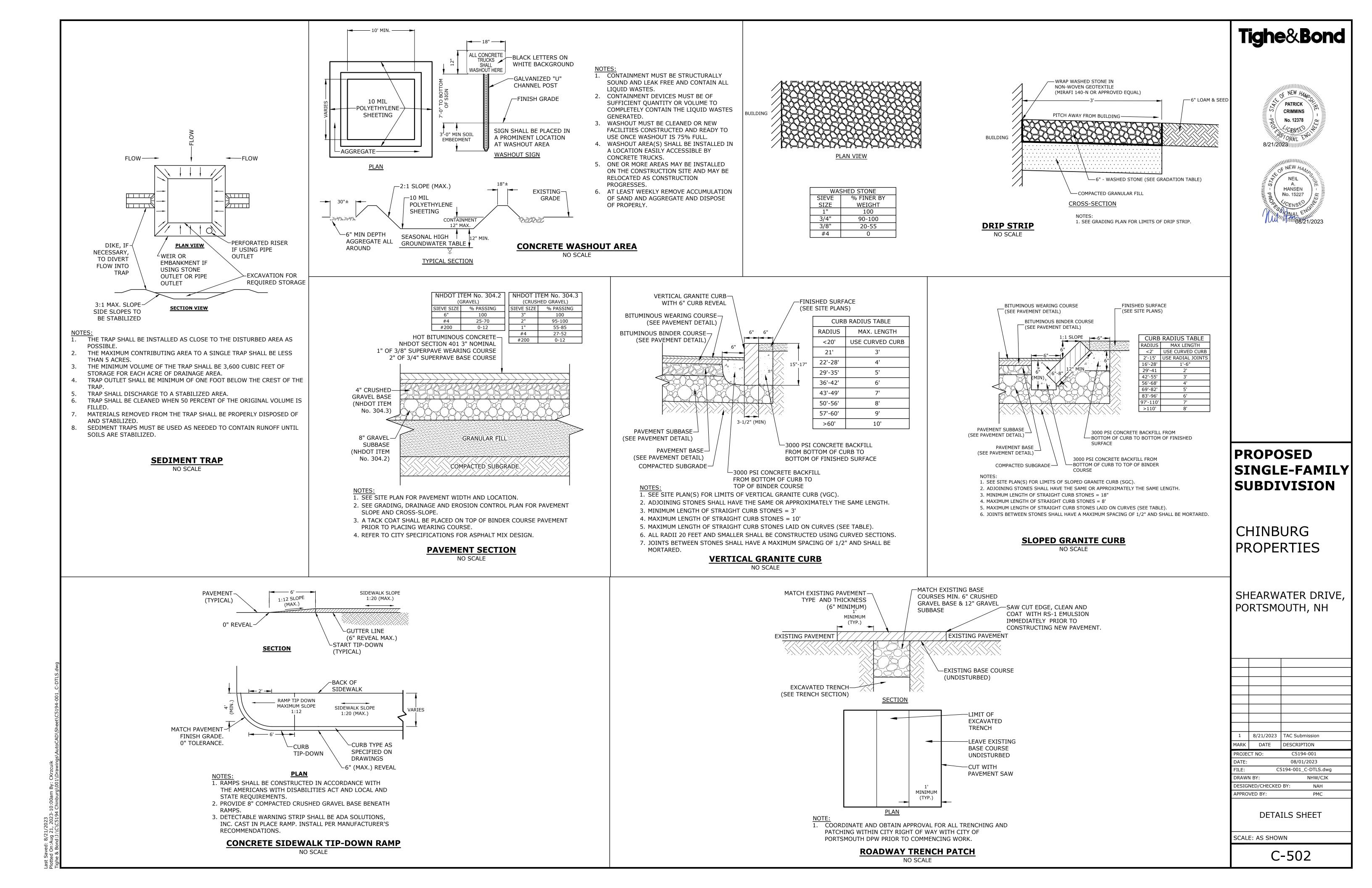
STABILIZED CONSTRUCTION EXIT NO SCALE

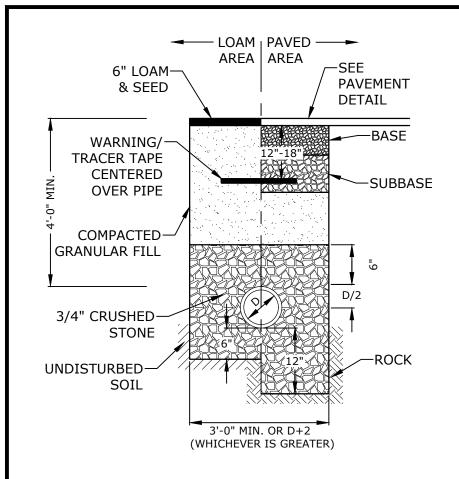
PORTSMOUTH, NH

1 8/21/2023 TAC Submission MARK DATE DESCRIPTION ROJECT NO: C5194-001 08/01/2023 C5194-001\_C-DTLS.dwg DRAWN BY NHW/CJK DESIGNED/CHECKED BY: NAH APPROVED BY: PMC

**EROSION CONTROL NOTES** AND DETAILS SHEET

SCALE: AS SHOWN



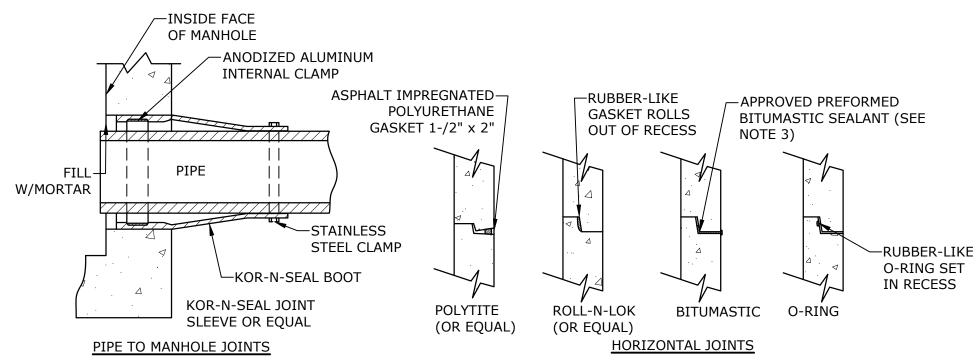


CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.

ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

#### STORM DRAIN TRENCH

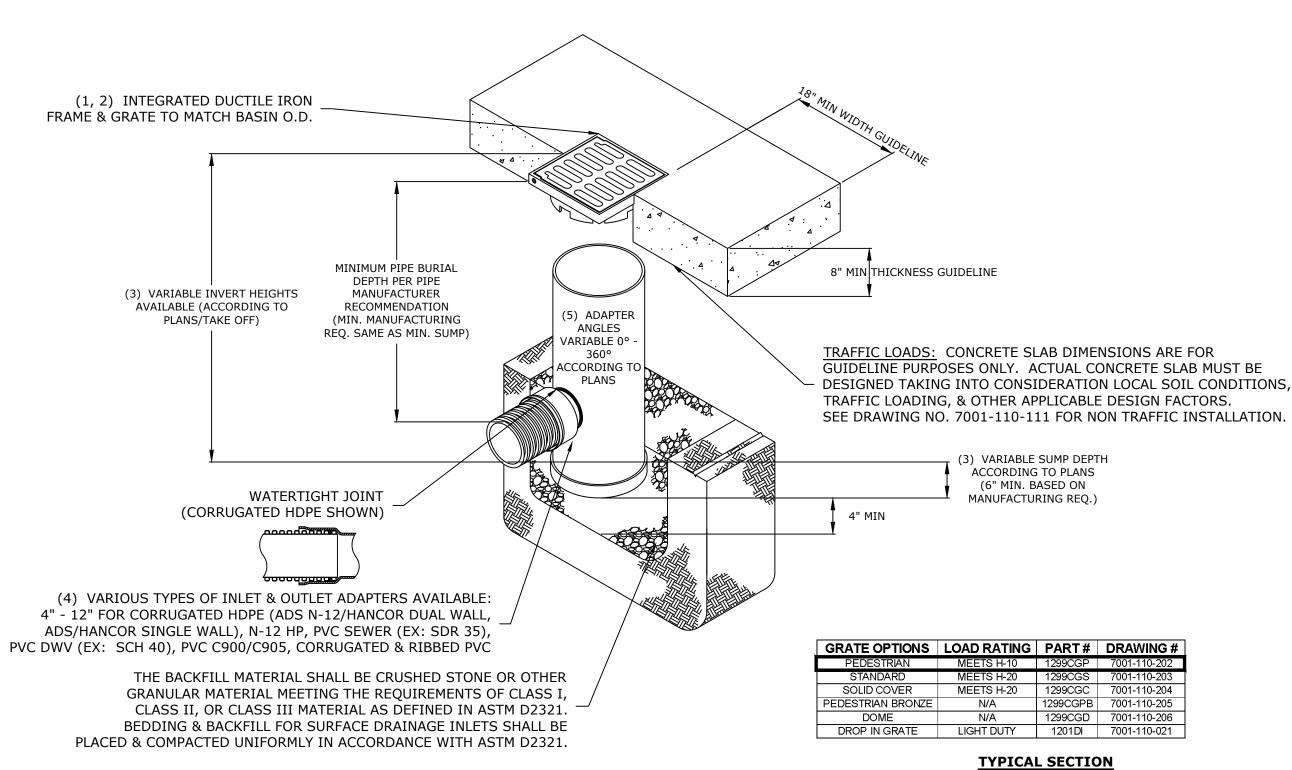
NO SCALE



- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
- 2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
- 3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
- 4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

#### MANHOLE JOINTS

NO SCALE



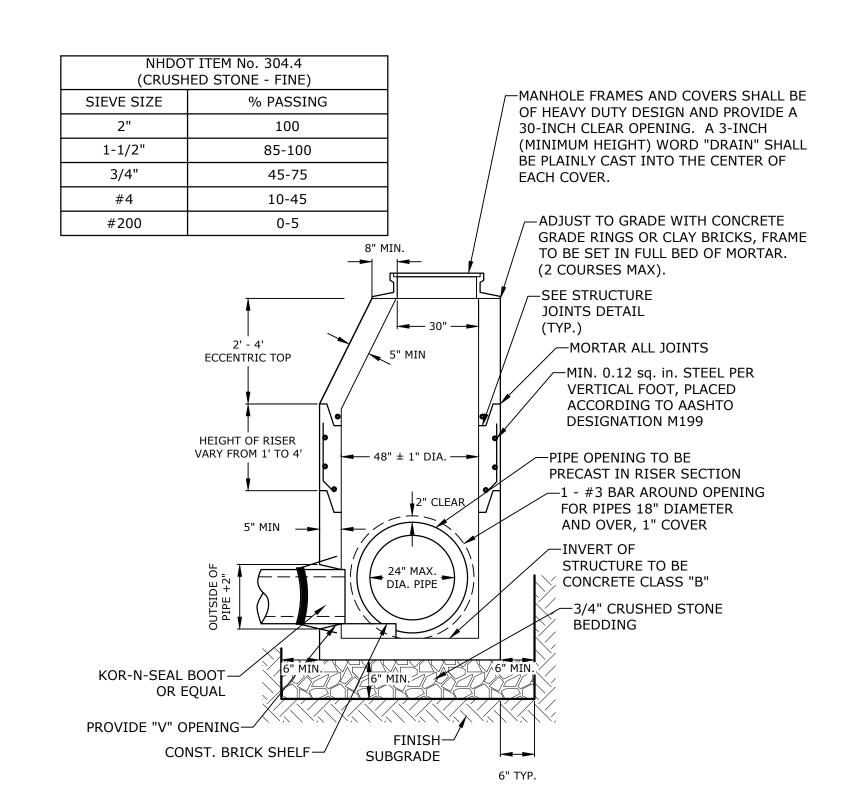
1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05,

WITH THE EXCEPTION OF THE BRONZE GRATE. 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05

SEE DRAWING NO. 7001-110-065

- 3 DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS.
- 4 DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL),
- N-12 HP, & PVC SEWER. 5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

**YARD DRAIN** 



- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
- CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS
- AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL. 3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL
- REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
- 4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
- THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
- OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE
- PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
- 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZNTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

#### 4' DIAMETER DRAIN MANHOLE

# **PROPOSED SINGLE-FAMILY SUBDIVISION**

PATRICK

**CRIMMINS** 

No. 12378

HANSEN

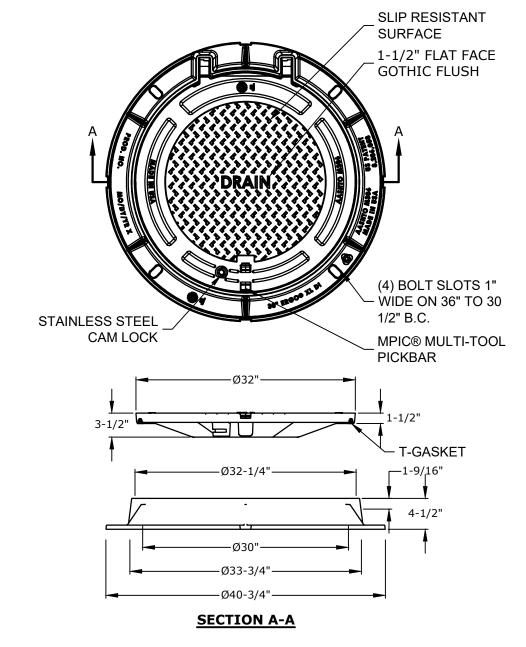
No. 15227

CONSED

8/21/2023////

# **CHINBURG PROPERTIES**

SHEARWATER DRIVE, PORTSMOUTH, NH



# 1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL

- BY EJ CO. ALL DIMENSIONS ARE NOMINAL.
- FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
- A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING. B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES
- ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS. C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
- 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER

OF THE COVER.

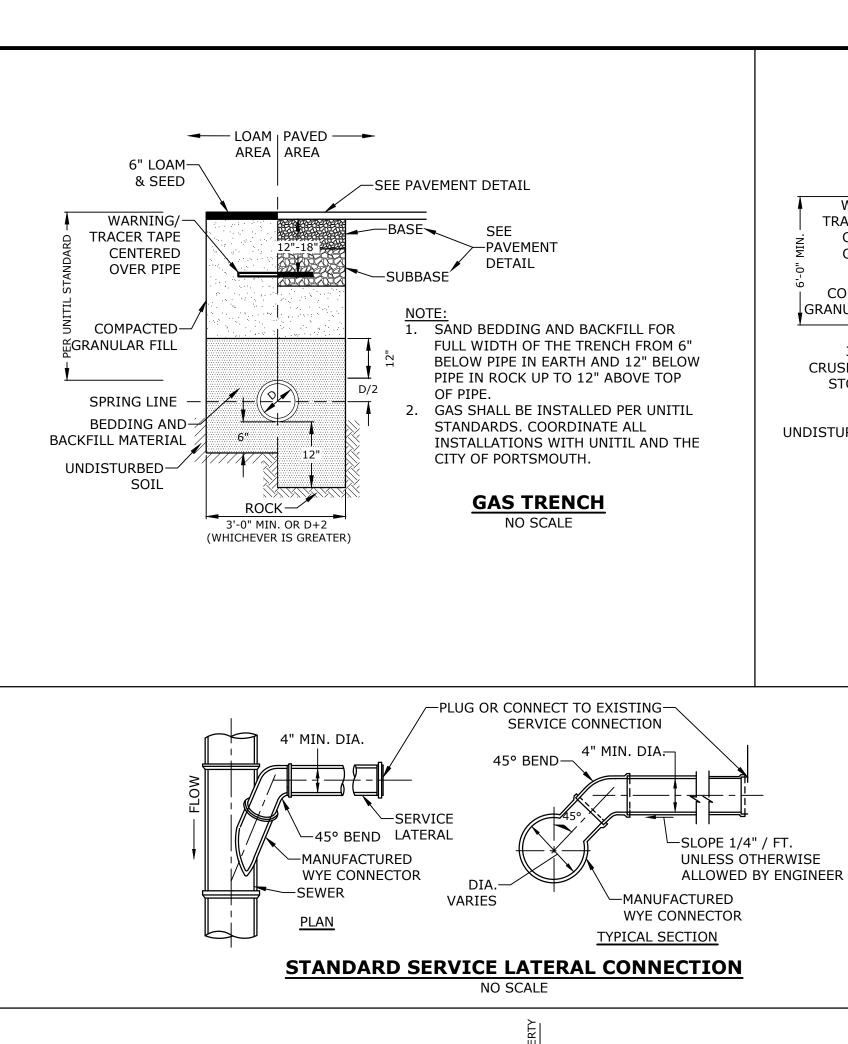
**DRAIN MANHOLE FRAME & COVER** 

NO SCALE

8/21/2023 TAC Submission MARK DATE DESCRIPTION PROJECT NO: C5194-001 08/01/2023 C5194-001\_C-DTLS.dwg DRAWN BY: NHW/CJK DESIGNED/CHECKED BY: NAH APPROVED BY: PMC

**DETAILS SHEET** 

SCALE: AS SHOWN



2" RIGID FOAM INSULATION-

1" COPPER-

PROVIDE 2 CU. FT. OF-

SCREENED GRAVEL

NOTE:

1. ALL WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CITY OF PORTSMOUTH STANDARDS.

WATER SERVICE CONNECTION

NO SCALE

FIRE HYDRANT

NO SCALE

SERVICE LINE

HYDRANT-

-VALVE BOX

6" MIN.

CRUSHED STONE-

15"x15"x4" CONCRETE BASE-

—WATER MAIN

CORPORATION-

THRUST BLOCK

WATER MAIN

6" MJ GATE VALVE-

(SEE DETAIL)

STOP

-FINISHED GRADE

-CURB STOP AND BOX

PORTSMOUTH DPW

—BALL VALVE CURB STOP

BRONZE FLARED TYPE

COMPRESSION FITTINGS

NOTE:

-THRUST BLOCK

(SEE DETAIL)

12" CRUSHED STONE

-HYDRANT DRAIN

TO BE PLUGGED

BELOW HYDRANT

-DRAIN PIT - 3' DIA. x 2'

COMPRESSION (NO DRAIN)

COORDINATE TYPE AND

LOCATION WITH CITY OF

-SERVICE LINE

PIPE SIZE AND TYPE

COPPER SERVICE LINE

-COUPLER AS REQUIRED FOR

1. HYDRANT TO BE KENNEDY TYPE K-81,

PORTSMOUTH FIRE DEPARTMENT.

CITY STANDARD SPECIFICATIONS

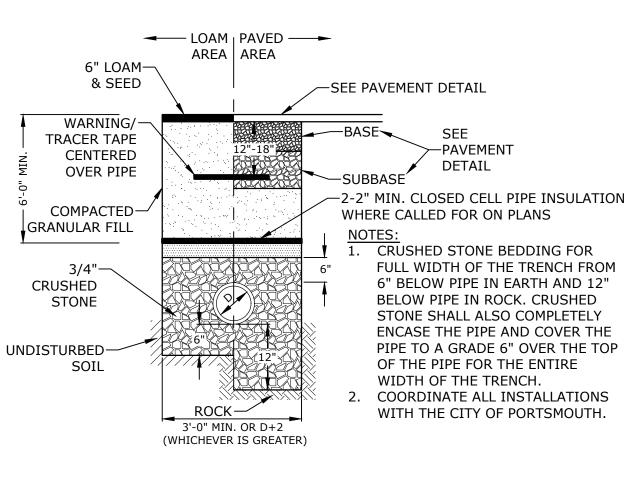
DEPARTMENT AND CITY OF

RIGHT OPEN (NO EQUAL). COORDINATE

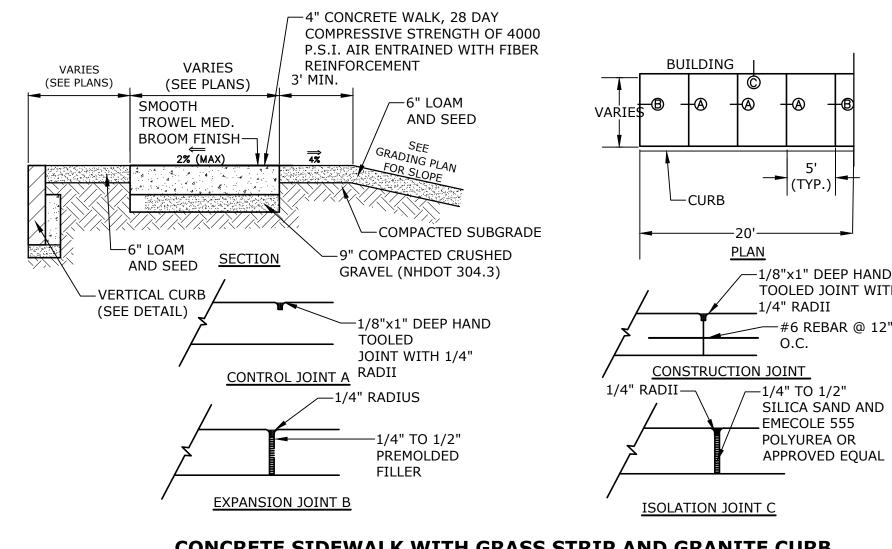
WITH CITY OF PORTSMOUTH WATER

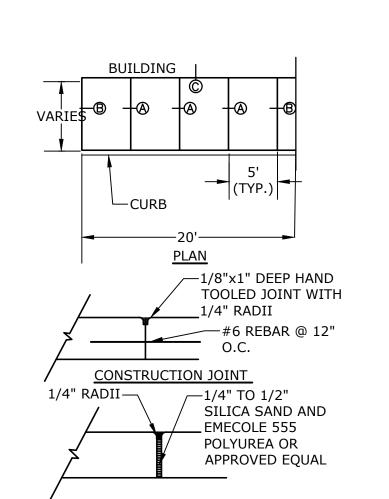
2. PAINT HYDRANT IN ACCORDANCE WITH

AFTER INSTALLATION AND TESTING.

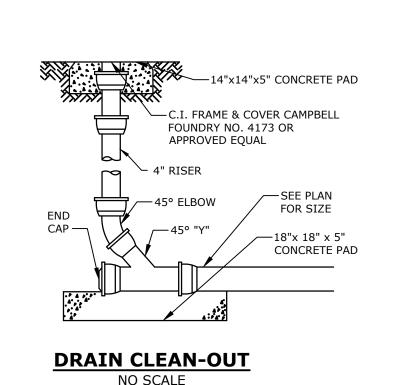


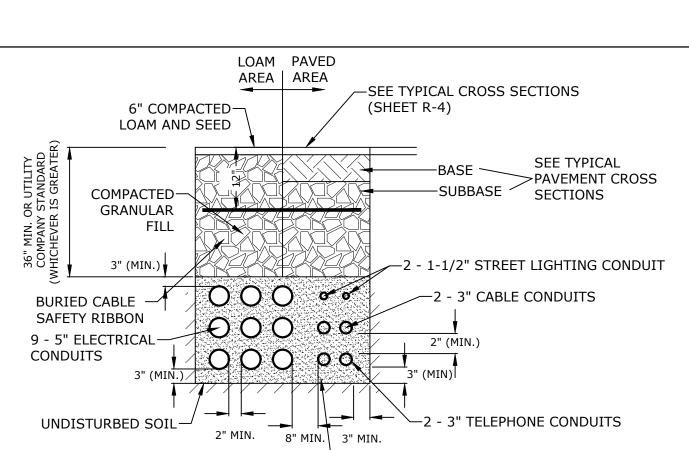
**SEWER SERVICE TRENCH** 

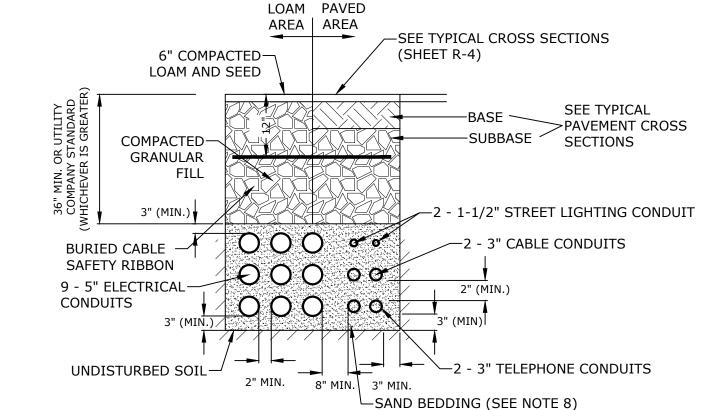




CONCRETE SIDEWALK WITH GRASS STRIP AND GRANITE CURB







NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.

4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL

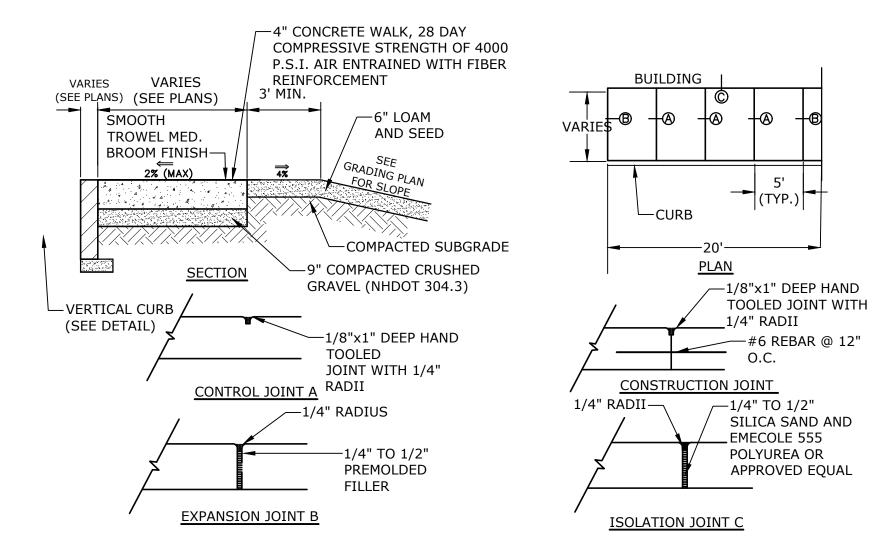
THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO

INSTALL ITS CABLE IN A SUITABLE MANNER. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.

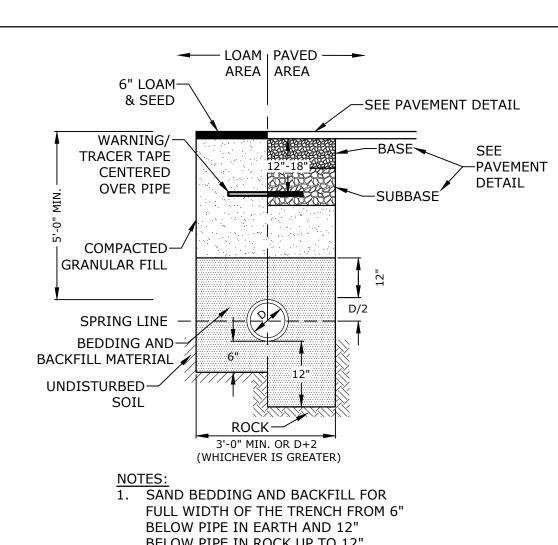
SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH

**ELECTRICAL AND COMMUNICATION CONDUIT** NO SCALE



**CONCRETE SIDEWALK WITHOUT GRASS STRIP WITH GRANITE CURB** 



BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE. 2. WATER MAIN SHALL BE INSTALLED PER CITY OF PORTSMOUTH STANDARDS. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.

WATER WAIN TRENCH

NO SCALE

No. 12378 CENSED ONAL EX 8/21/2023///// NEIL

HANSEN

No. 15227

Tighe&Bond

OF NEW HAME

PATRICK

CRIMMINS

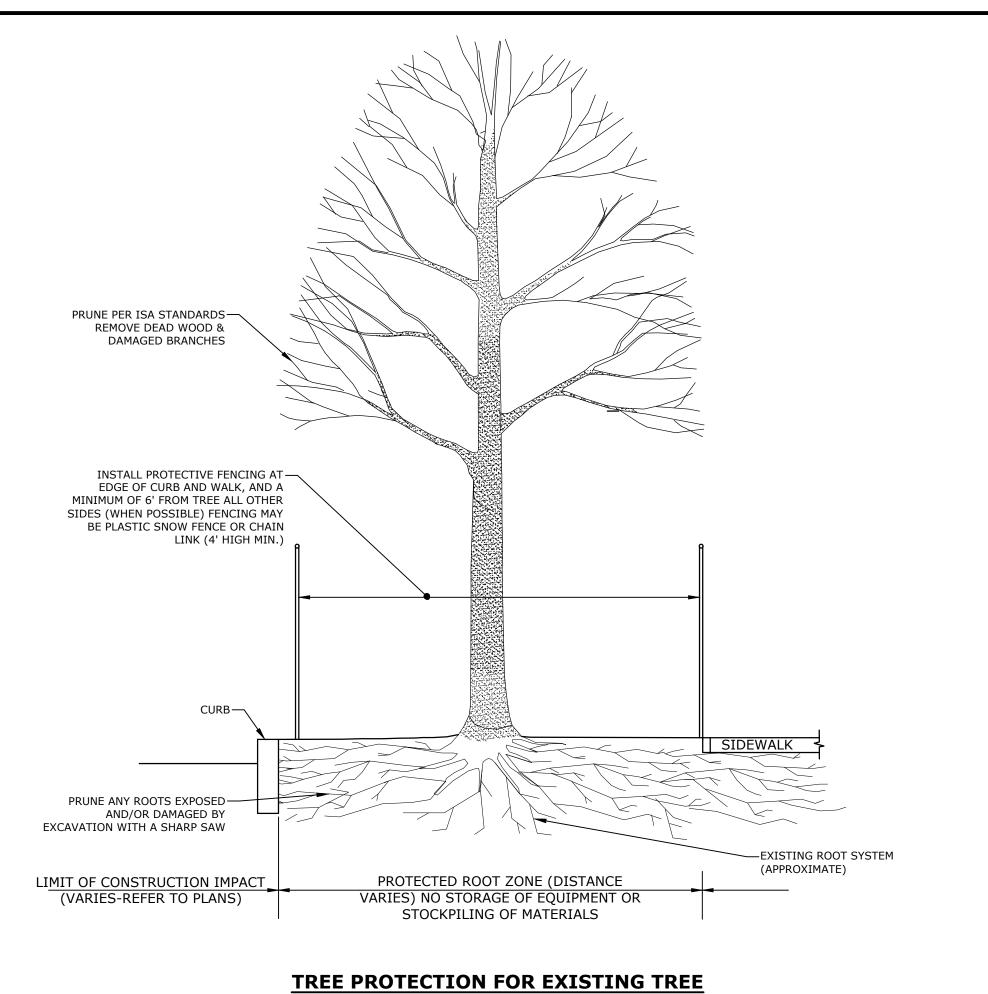
# **PROPOSED SINGLE-FAMILY SUBDIVISION**

**CHINBURG PROPERTIES** 

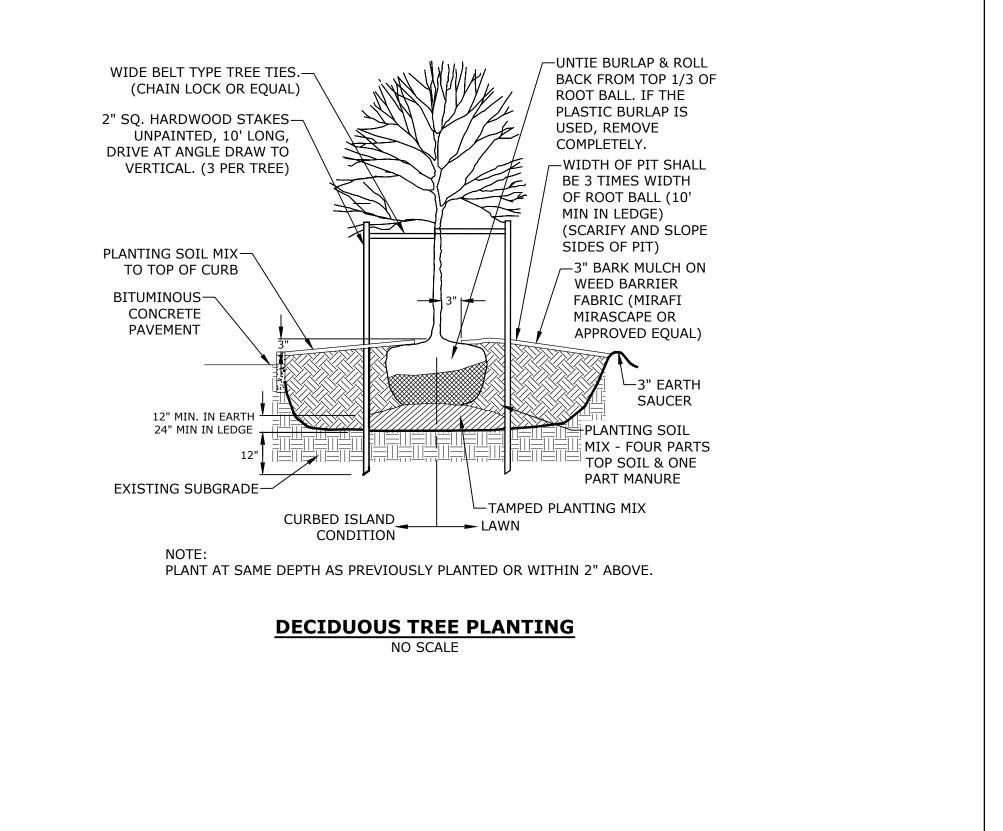
SHEARWATER DRIVE, PORTSMOUTH, NH

1	8/21/2023	TAC Submission	
MARK	DATE	DESCRIPTION	
PROJE	PROJECT NO: C5194-001		
DATE: 08/01/2023			
FILE: C5194-001_C-DTLS.dwg			
DRAWI	N BY:	NHW/CJK	
DESIG	NED/CHECKED	BY: NAH	
APPRO	APPROVED BY: PMC		
DETAILS SHEET			

SCALE: AS SHOWN







# Tighe&Bond





# PROPOSED SINGLE-FAMILY SUBDIVISION

CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

1	8/21/2023	TAC Submission
MARK	DATE	DESCRIPTION
PROJEC	CT NO:	C5194-001
DATE:	DATE: 08/01/2023	
FILE:	C!	5194-001_C-DTLS.dwg
DRAWN BY: NHW/CJK		NHW/CJK

**DETAILS SHEET** 

NAH

PMC

SCALE: AS SHOWN

DESIGNED/CHECKED BY:

APPROVED BY:

#### **Owner's Letter of Authorization**

This letter is to authorize <u>Chinburg Properties</u> (Applicant) to represent the interest of <u>Bantry Bay Assoc LLC</u> (owner) in all site design and permitting matters for the proposed subdivision and development project located at Shearwater Drive in Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block 2 Lot 1900. This authorization shall include any required signatures for local, state and federal permit applications.

John C Madden	dotloop verified 07/31/23 8:53 PM ADT T3Q8-ENTB-I9XF-SIFG	John C. Madden	
Sign	ature	Print Name	Date
Colton Gove	dotloop verified 07/31/23 8:02 PM EDT PRVL-UPND-TPFR-4TAW	Colton Gove	
Witr	1855	Print Name	Date

(C5194-001\_Owner Authorization Form.docx)

#### **Agent Letter of Authorization**

the proposed subdivision Portsmouth, New Hamps	nission to bon and don and don and donate do	pe my agent in all site desig evelopment project locate arcel of land identified as Ta	nt) hereby give <u>Tighe &amp; Bond</u> n and permitting matters for d at Shearwater Drive in x Map 217 Block 2 Lot 1900. cal, state and federal permit
Eric J Chinburg  dottoop verifie 07/29/23 10:06 AUQB-4CWG-4	AM EDT	Eric Chinburg	
Signature		Print Name	Date
			٦
dotloop verifi 07/29/23 10:0 52J9-58AD-W	8 AM EDT	Colton Gove	
Witness		Print Name	Date



# City of Portsmouth, New Hampshire Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A preapplication conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

**Applicant Responsibilities (Section 2.5.2):** Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. <u>Waiver requests must be submitted in writing with appropriate justification</u>.

Name of Applicant: Chinburg Properties	Date Submitted: August 21, 2023	
Application # (in City's online permitting): LU 23-		Block 2
Site Address: 0 Shearwater Drive	Map: _217 _ Lot: _	

	Application Requirements				
Ø	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested		
Ø	Complete <u>application</u> form submitted via the City's web-based permitting program (2.5.2.1 <b>(2.5.2.3A)</b>	Enclosed	N/A		
Ø	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline.  (2.5.2.8)	Enclosed	N/A		

	Site Plan Review Application Required Information				
Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested		
A	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	Enclosed	Yes		
Ø	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor.  (2.5.3.1C)	Prototypical Architectural Plans	N/A		
A	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	Existing Conditions Sheet 1 OF 1	N/A		

	Site Plan Review Application Required Information				
Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested		
V	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E)	Enclosed Cover Sheet	N/A		
Ø	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property.  (2.5.3.1F)	Existing Conditions Sheet 1 OF 1	N/A		
V	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G)	Cover Sheet	N/A		
Ø	List of reference plans. (2.5.3.1H)	General Notes Sheet G-100	N/A		
V	List of names and contact information of all public or private utilities servicing the site. (2.5.3.11)	General Notes Sheet G-100	N/A		

	Site Plan Specifications		
Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
Ø	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director (2.5.4.1A)	Required on all plan sheets	N/A
A	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans.  (2.5.4.1B)	Required on all plan sheets	N/A
N	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	Existing Conditions Plan Sheet 1 OF 1	N/A
Ø	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
Ø	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	N/A	N/A
Ø	Title (name of development project), north point, scale, legend. (2.5.4.2A)	Required on all plan sheets	N/A
Ø	Date plans first submitted, date and explanation of revisions. <b>(2.5.4.2B)</b>	Required on all plan sheets	N/A
V	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
Ø	Source and date of data displayed on the plan. (2.5.4.2D)	Required on all plan sheets	N/A

	Site Plan Specifications – Required Exhibits and Data				
V	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested		
	<ul> <li>Existing Conditions: (2.5.4.3A)</li> <li>Surveyed plan of site showing existing natural and built features;</li> <li>Existing building footprints and gross floor area;</li> <li>Existing parking areas and number of parking spaces provided;</li> <li>Zoning district boundaries;</li> <li>Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre;</li> <li>Existing impervious and disturbed areas;</li> <li>Limits and type of existing vegetation;</li> <li>Wetland delineation, wetland function and value assessment (including vernal pools);</li> <li>SFHA, 100-year flood elevation line and BFE data, as required.</li> </ul>	Existing Conditions Plan Sheet 1 OF 1			
<b>\sqrt{1}</b>	<ul> <li>2. Buildings and Structures: (2.5.4.3B)</li> <li>Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;</li> <li>Elevations: Height, massing, placement, materials, lighting, façade treatments;</li> <li>Total Floor Area;</li> <li>Number of Usable Floors;</li> <li>Gross floor area by floor and use.</li> </ul>	Site Plan Sheet C-102 & Prototypical Architectural Plans			
	<ul> <li>3. Access and Circulation: (2.5.4.3C)</li> <li>Location/width of access ways within site;</li> <li>Location of curbing, right of ways, edge of pavement and sidewalks;</li> <li>Location, type, size and design of traffic signing (pavement markings);</li> <li>Names/layout of existing abutting streets;</li> <li>Driveway curb cuts for abutting prop. and public roads;</li> <li>If subdivision; Names of all roads, right of way lines and easements noted;</li> <li>AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).</li> </ul>	Site Plan Sheet C-102			
Ø	<ul> <li>4. Parking and Loading: (2.5.4.3D)</li> <li>Location of off street parking/loading areas, landscaped areas/buffers;</li> <li>Parking Calculations (# required and the # provided).</li> </ul>	Site Plan Sheet C-102			
$\square$	<ul> <li>5. Water Infrastructure: (2.5.4.3E)</li> <li>Size, type and location of water mains, shut-offs, hydrants &amp; Engineering data;</li> <li>Location of wells and monitoring wells (include protective radii).</li> </ul>	Utilities Plan Sheet C-104			
$\square$	<ul> <li>Sewer Infrastructure: (2.5.4.3F)</li> <li>Size, type and location of sanitary sewage facilities &amp; Engineering data, including any onsite temporary facilities during construction period.</li> </ul>	Utilities Plan Sheet C-104			

			1
	7. Utilities: (2.5.4.3G)	Utilities Plan Sheet	
	The size, type and location of all above & below ground utilities;      Size type and location of apparatus gode transferment and others.	C-104	
	<ul> <li>Size type and location of generator pads, transformers and other fixtures.</li> </ul>		
Н	11 11		
ш	8. Solid Waste Facilities: (2.5.4.3H)	N/A	
	The size, type and location of solid waste facilities.	N/A	
	9. Storm water Management: (2.5.4.3I)		
	The location, elevation and layout of all storm-water drainage.		
	The location of onsite snow storage areas and/or proposed off- cite snow removed provisions.	Utilities Plan Sheet	
	<ul><li>site snow removal provisions.</li><li>Location and containment measures for any salt storage facilities</li></ul>	C-104	
	Location of proposed temporary and permanent material storage		
	locations and distance from wetlands, water bodies, and		
	stormwater structures.		
	10. Outdoor Lighting: (2.5.4.3J)		
	Type and placement of all lighting (exterior of building, parking lot	N/A	
	and any other areas of the site) and photometric plan.		
	<b>11.</b> Indicate where dark sky friendly lighting measures have been implemented. <b>(10.1)</b>	N/A	
	12. Landscaping: (2.5.4.3K)		
╽┕╴	Identify all undisturbed area, existing vegetation and that	Landscape Plan Sheet	
	which is to be retained;	C-105	
	<ul> <li>Location of any irrigation system and water source.</li> </ul>	0 100	
	13. Contours and Elevation: (2.5.4.3L)	Grading, Drainage, &	
	<ul> <li>Existing/Proposed contours (2 foot minimum) and finished</li> </ul>	Erosion Control Plan	
	grade elevations.	C-105	
	14. Open Space: (2.5.4.3M)	Site Plan Sheet	
	<ul> <li>Type, extent and location of all existing/proposed open space.</li> </ul>	C-102	
	15. All easements, deed restrictions and non-public rights of	Drainage Easement	
	ways. (2.5.4.3N)	Plan Sheet C-201	
	16. Character/Civic District (All following information shall be		
	included): (2.5.4.3P)		
	<ul> <li>Applicable Building Height (10.5A21.20 &amp; 10.5A43.30);</li> </ul>	Site Plan Sheet	
	Applicable Special Requirements (10.5A21.30);  Programmed by idding forms (type (10.5A43));	C-102	
	<ul> <li>Proposed building form/type (10.5A43);</li> <li>Proposed community space (10.5A46).</li> </ul>		
	Froposed community space (10.3A40).		
	17. Special Flood Hazard Areas (2.5.4.3Q)		
_	<ul> <li>The proposed development is consistent with the need to</li> </ul>		
	minimize flood damage;		
	All public utilities and facilities are located and construction to	N/A	
	<ul><li>minimize or eliminate flood damage;</li><li>Adequate drainage is provided so as to reduce exposure to</li></ul>		
	flood hazards.		

	Other Required Information				
V	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested		
	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)	N/A			
	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	Grading, Drainage, & Erosion Control Plan C	105		
	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A			
	Stormwater Management and Erosion Control Plan. (7.4)	Grading, Drainage, & Erosion Control Plan C-	105		
	Inspection and Maintenance Plan (7.6.5)	N/A			

	Final Site Plan Approval Required Information				
V	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested		
	All local approvals, permits, easements and licenses required, including but not limited to:  • Waivers;  • Driveway permits;  • Special exceptions;  • Variances granted;  • Easements;  • Licenses.  (2.5.3.2A)	Cover Sheet			
	<ul> <li>Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul> <li>Calculations relating to stormwater runoff;</li> <li>Information on composition and quantity of water demand and wastewater generated;</li> <li>Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls;</li> <li>Estimates of traffic generation and counts pre- and post-construction;</li> <li>Estimates of noise generation;</li> <li>A Stormwater Management and Erosion Control Plan;</li> <li>Endangered species and archaeological / historical studies;</li> <li>Wetland and water body (coastal and inland) delineations;</li> <li>Environmental impact studies.</li> </ul> </li> <li>(2.5.3.2B)</li> </ul>	N/A			
	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site.  (2.5.3.2D)	Unitil Will Serve Letter has been included. The applicant is currently working with Eversource to get a will serve letter.			

	Final Site Plan Approval Required Info	1	
$\overline{\mathbf{A}}$	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	A list of any required state and federal permit applications required for the project and the status of same.  (2.5.3.2E)	Cover Sheet	
	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations."  (2.5.4.2E)	Site Plan Sheet C-102	N/A
	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)	N/A	
	Plan sheets submitted for recording shall include the following notes:  a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds."  b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director."  (2.13.3)	Site Plan Sheet C-102	N/A

Applicant's Signature:	Date:	
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# City of Portsmouth, New Hampshire Subdivision Application Checklist

This subdivision application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all subdivision review requirements. Please refer to the Subdivision review regulations for full details.

**Applicant Responsibilities (Section III.C):** Applicable fees are due upon application submittal along with required number of copies of the Preliminary or final plat and supporting documents and studies. Please consult with Planning staff for submittal requirements.

Owner: Bantry Bay Association LLC	Date Submitted: <u>8/21/2023</u>	<b>J</b>
Applicant: Chinburg Properties		
Phone Number: 603-969-9148	E-mail: _massia@chinburg.com	
Site Address 1: 0 Shearwater Drive		Block 2 p: 217 Lot 1900
Site Address 2: TBD	Ma	p: Lot:

	Application Requirements				
Ø	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested		
✓	Completed Application form. (III.C.2-3)	Enclosed	N/A		
<b>V</b>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive.  (III.C.4)	Enclosed	N/A		

Requirements for Preliminary/Final Plat				
Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<b>V</b>	Name and address of record owner, any option holders, descriptive name of subdivision, engineer and/or surveyor or name of person who prepared the plat.  (Section IV.1/V.1)	Cover Sheet	☑ Preliminary Plat ☑ Final Plat	N/A

Requirements for Preliminary/Final Plat				
V	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
\ \ \	Preliminary Plat Names and addresses of all adjoining property owners. (Section IV.2) Final Plat Names and addresses of all abutting property owners, locations of buildings within one hundred (100) feet of the parcel, and any new house numbers within the subdivision. (Section V.2)	Existing Conditions Sheet 1 OF 1	☑ Preliminary Plat ☑ Final Plat	N/A
<b>V</b>	North point, date, and bar scale. (Section IV.3/V3)	Required on all Plan Sheets	☑ Preliminary Plat ☑ Final Plat	N/A
<b>V</b>	Zoning classification and minimum yard dimensions required. (Section IV.4/V.4)	Site Plan Sheet C-102	☑ Preliminary Plat ☑ Final Plat	N/A
	Preliminary Plat Scale (not to be smaller than one hundred (100) feet = 1 inch) and location map (at a scale of 1" = 1000'). (Section IV.5) Final Plat Scale (not to be smaller than 1"=100'), Location map (at a scale of 1"=1,000') showing the property being subdivided and its relation to the surrounding area within a radius of 2,000 feet. Said location map shall delineate all streets and other major physical features that my either affect or be affected by the proposed development. (Section V.5)	Existing Conditions Plan Sheet 1 OF 1  Subdivision Plan Sheet 1 OF 1	☑ Preliminary Plat ☑ Final Plat	N/A
<b>\</b>	Location and approximate dimensions of all existing and proposed property lines including the entire area proposed to be subdivided, the areas of proposed lots, and any adjacent parcels in the same ownership. (Section IV.6)	Subdivision Plan Sheet 1 OF 1	☑ Preliminary Plat ☑ Final Plat	
	Dimensions and areas of all lots and any and all property to be dedicated or reserved for schools, parks, playgrounds, or other public purpose. Dimensions shall include radii and length of all arcs and calculated bearing for all straight lines.  (Section V.6/ IV.7)	Subdivision Plan Sheet 1 OF 1	☑ Preliminary Plat ☑ Final Plat	N/A
<b>\</b>	Location, names, and present widths of all adjacent streets, with a designation as to whether public or private and approximate location of existing utilities to be used. Curbs and sidewalks shall be shown.  (Section IV.8/V.7)	Site Plan Sheet C-102 Utilities Plan Sheet C-104	☑ Preliminary Plat ☑ Final Plat	

	Requirements for Pr	eliminary/Final Plat		
V	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
\   	Location of significant physical features, including bodies of water, watercourses, wetlands, railroads, important vegetation, stone walls and soils types that my influence the design of the subdivision.  (Section IV.9/V.8)	Existing Conditions Plan Sheet 1 OF 1	☑ Preliminary Plat ☑ Final Plat	
<b>\</b>	Preliminary Plat Proposed locations, widths and other dimensions of all new streets and utilities, including water mains, storm and sanitary sewer mains, catch basins and culverts, street lights, fire hydrants, sewerage pump stations, etc. (Section IV.10) Final Plat	Existing Conditions Plan Sheet 1 OF 1	☑ Preliminary Plat ☑ Final Plat	
	Proposed locations and profiles of all proposed streets and utilities, including water mains, storm and sanitary sewer mains, catchbasins and culverts, together with typical cross sections. Profiles shall be drawn to a horizontal scale of 1"=50' and a vertical scale of 1"=5', showing existing centerline grade, existing left and right sideline grades, and proposed centerline grade.  (Section V.9)	Site Plan Sheet C-102 Grading, Drainage, & Erosion Control Plan C-105 Utilities Plan Sheet C-104		
<b>\</b>	When required by the Board, the plat shall be accompanied by profiles of proposed street grades, including extensions for a reasonable distance beyond the subject land; also grades and sizes of proposed utilities.  (Section IV.10)	N/A	☑ Preliminary Plat ☑ Final Plat	
<b>\</b>	Base flood elevation (BFE) for subdivisions involving greater than five (5) acres or fifty (50) lots.  (Section IV.11)	N/A	☑ Preliminary Plat ☑ Final Plat	
	For subdivisions of five (5) lots or more, or at the discretion of the Board otherwise, the preliminary plat shall show contours at intervals no greater than two (2) feet.  Contours shall be shown in dotted lines for existing natural surface and in solid lines for proposed final grade, together with the final grade elevations shown in figures at all lot corners. If existing grades are not to be changed, then the contours in these areas shall be solid lines.  (Section IV.12/ V.12)	Existing Conditions Plan Sheet 1 OF 1 Grading, Drainage, & Erosion Control Plan C-103	☑ Preliminary Plat ☑ Final Plat	

	Requirements for Preliminary/Final Plat				
Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested	
<b>\</b>	Dates and permit numbers of all necessary permits from governmental agencies from which approval is required by Federal or State law.  (Section V.10)	Cover Sheet	□ Preliminary Plat ☑ Final Plat		
<b>\</b>	For subdivisions involving greater than five (5) acres or fifty (50) lots, the final plat shall show hazard zones and shall include elevation data for flood hazard zones.  (Section V.11)	N/A	□ Preliminary Plat ☑ Final Plat		
<b>\</b>	Location of all permanent monuments. (Section V.12)	Subdivision Plan Sheet 1 OF 1	☐ Preliminary Plat ☐ Final Plat		

	General Requiremen	nts <sup>1</sup>	
<b>I</b>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	<ul> <li>1. Basic Requirements: (VI.1)</li> <li>a. Conformity to Official Plan or Map</li> <li>b. Hazards</li> <li>c. Relation to Topography</li> <li>d. Planned Unit Development</li> </ul>	Subdivision Plan Sheet 1 OF 1 PUD not proposed	
	<ul><li>2. Lots: (VI.2)</li><li>a. Lot Arrangement</li><li>b. Lot sizes</li><li>c. Commercial and Industrial Lots</li></ul>	Subdivision Plan Sheet 1 OF 1 No commercial or industrial development proposed	
	a. Relation to adjoining Street System b. Street Rights-of-Way c. Access d. Parallel Service Roads e. Street Intersection Angles f. Merging Streets g. Street Deflections and Vertical Alignment h. Marginal Access Streets i. Cul-de-Sacs j. Rounding Street Corners k. Street Name Signs l. Street Names m. Block Lengths n. Block Widths o. Grade of Streets p. Grass Strips	N/A  No new streets proposed	
<b>✓</b>	4. Curbing: (VI.4)	Site Plan Sheet C-102	
✓	5. Driveways: (VI.5)	Site Plan Sheet C-102	
	6. Drainage Improvements: (VI.6)	Sheet C-103	
	7. Municipal Water Service: (VI.7)	Sheet C-104	
\ \ \ \	<ul> <li>8. Municipal Sewer Service: (VI.8)</li> <li>9. Installation of Utilities: (VI.9) <ul> <li>a. All Districts</li> <li>b. Indicator Tape</li> </ul> </li> </ul>	Sheet C-104 Sheet C-104	
<ul><li>✓</li><li>✓</li></ul>	10. On-Site Water Supply: (VI.10)	N/A	
	11. On-Site Sewage Disposal Systems: (VI.11)	N/A	
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	<ul><li>12. Open Space: (VI.12)</li><li>a. Natural Features</li><li>b. Buffer Strips</li><li>c. Parks</li><li>d. Tree Planting</li></ul>	Site Plan Sheet C-102	
	13. Flood Hazard Areas: (VI.13)  a. Permits  b. Minimization of Flood Damage  c. Elevation and Flood-Proofing Records  d. Alteration of Watercourses	N/A	
<b>✓</b>	14. Erosion and Sedimentation Control (VI.14)	Sheet C-103	

Ø	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	<ul><li>15. Easements (VI.15)</li><li>a. Utilities</li><li>b. Drainage</li></ul>	Drainage Easement Plan Sheet C-201	
<b>V</b>	16. Monuments: (VI.16)	Subdivision Plan Sheet 1 OF 1	
<b>✓</b>	17. Benchmarks: (VI.17)	Subdivision Plan Sheet 1 OF 1	
$ lap{}$	18. House Numbers (VI.18)	TBD	

		Design Standards		
		Required Items for Submittal	Indicate compliance and/or provide explanation as to alternative design	Waiver Requested
	1.	Streets have been designed according to the design standards required under Section (VII.1).  a. Clearing b. Excavation c. Rough Grade and Preparation of Sub-Grade d. Base Course e. Street Paving f. Side Slopes g. Approval Specifications h. Curbing i. Sidewalks j. Inspection and Methods	Site Plan Sheet C-102 Grading, Drainage, & Erosion Control Plan C-105 Utilities Plan Sheet C-104	
<b>V</b>	2.	Storm water Sewers and Other Drainage Appurtenances have been designed according to the design standards required under Section (VII.2).  a. Design  b. Standards of Construction	Grading, Drainage, & Erosion Control Plan C-105	
<b>V</b>	3.	Sanitary Sewers have been designed according to the design standards required under Section (VII.3).  a. Design b. Lift Stations c. Materials d. Construction Standards	Utilities Plan Sheet C-104	
<b>V</b>	4.	Water Mains and Fire Hydrants have been designed according to the design standards required under Section (VII.4).  a. Connections to Lots b. Design and Construction c. Materials d. Notification Prior to Construction	Utilities Plan Sheet C-104	

Applicant 3/ Nepresentative 3 Signature	Applicant's/Representative's Signature:	Date: 8/21/2023
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 $<sup>^{1}</sup>$  See City of Portsmouth, NH Subdivision Rules and Regulations for details. Subdivision Application Checklist/January 2018

#### **Site Plan Review Application Fee**

Project:	0 Shearwater Drive		Map/Lot: Map 2	217 Block 2 Lot 1900
Applicant:	Chinburg Properties			
All developm	ent			
Base fee \$600	)			\$600.00
Plus \$5.00 pe	r \$1,000 of site costs Site costs	\$300,000		+ \$1,500.00
Plus \$10.00 p	er 1,000 S.F. of site develo Site development area	ppment area 97,314 S	.F.	+ \$973.14
			Fee	\$3,073.14
Maximum fee	e: \$20,000.00			
Fee received	by:		Da	te:

Note: Initial application fee may be based on the applicant's estimates of site costs and site development area. Following site plan approval, the application fee will be recalculated based on the approved site plan and site engineer's corresponding site cost estimate as approved by the Department of Public Works, and any additional fee shall be paid prior to the issuance of a building permit.

#### **Subdivision Application Fee**

Map/Lot: Map 217 Block 2 Lot 1900

**Project:** 

0 Shearwater Drive

Applicant: Chinburg Properties	
X Residential subdivision	
\$600 plus \$200 per lot	
Number of lots 9	Fee \$2,400.00
☐ Non-residential subdivision	
\$800 plus \$300 per lot	
Number of lots	Fee \$0.00
☐ Lot line revision/verification	
\$250	_
	Fee
☐ Filing of condominium site	
\$100	- 40.00
	Fee \$0.00
☐ Lot consolidation	
\$175	5 40.00
	Fee \$0.00
	Total fee \$2,400.00
Fee received by:	Date:



August 14, 2023

Matt Assia Chinburg Development 3 Penstock Way Newmarket NH 03857

RE: Natural Gas Availability to Shearwater Dr Portsmouth NH

Dear Matt,

Unitil's natural gas division has reviewed the requested site for natural gas service.

Unitil hereby confirms natural gas service will be available to the Shearwater Dr Portsmouth Project to serve nine new residential single family homes.

Installation is pending an authorized installation agreement with Chinburg Development and street opening approval from the City of Portsmouth DPW.

Let me know if you have any questions. You can email me at oliver@unitil.com. My phone number is 603-294-5174.

Sincerely,

Janet Oliver Senior Business Development Representative



# CARBONARA CLASSIC W WING 1027.127 GL

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

BUILDING SIZE, STYLE, AND LOCATION SHOWN ARE APPROXIMATE AND FOR DEMONSTRATIVE PURPOSES ONLY. FINAL BUILDING LOCATION, SIZE, AND STYLES TO BE DETERMINED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL MEET ALL APPLICABLE CITY AND STATE REGULATIONS.



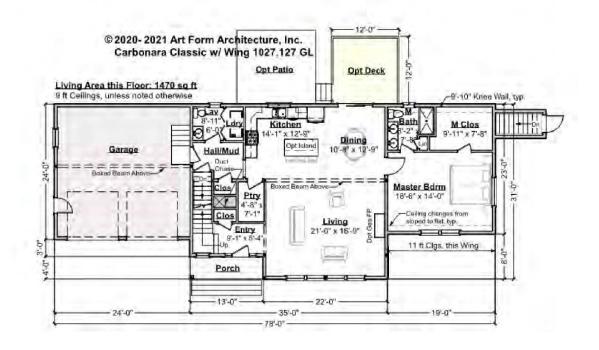
CT	ET	and an a market profit ET
Width 78.00 FT	<b>Depth</b> 31.00 <sup>F1</sup>	Height 26.83 FT
<b>Widtii</b> 70.00	Debili 31.00	Heidill 20.03

LIVING AREA	2885 <sup>FT</sup>	BEDROOMS	5	BATHROOMS	3.5
Main	2885 FT	Main	3	Main	3.5
Future	0 FT	Future	2	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



# CARBONARA CLASSIC W WING - 1<sup>ST</sup> FLOOR 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



#### CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

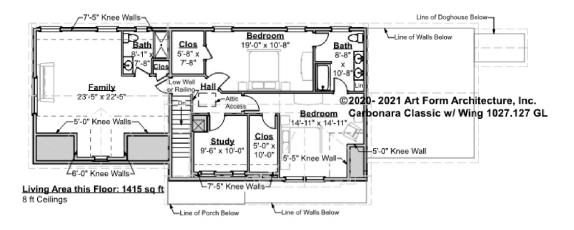
\* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1470 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	1470.00 <sup>FT</sup>	Main	1.00	Main	1.50
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# CARBONARA CLASSIC W WING - 2<sup>ND</sup> FLOOR 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



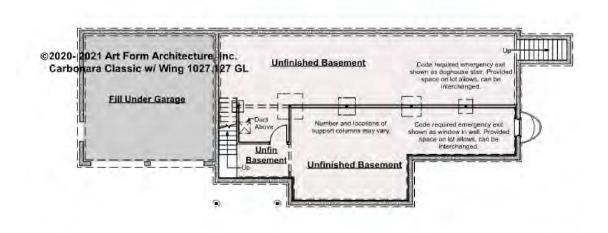
#### CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1415 <sup>FT</sup>	F1 BEDROOMS	4	F1 BATHROOMS	2
Main	1415.00 FT	Main	2.00	Main	2.00
Future	0.00 <sup>FT</sup>	Future	2.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# CARBONARA CLASSIC W WING - BASEMENT 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



#### CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



### CARBONARA CLASSIC W WING -FRONT ELEVATION 1027.127 GL





### CARBONARA CLASSIC W WING -RIGHT ELEVATION 1027.127 GL





### CARBONARA CLASSIC W WING -REAR ELEVATION 1027.127 GL





# CARBONARA CLASSIC W WING - LEFT ELEVATION 1027.127 GL





# **DAMARA** 861.124 GR

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

BUILDING SIZE, STYLE, AND LOCATION SHOWN ARE APPROXIMATE AND FOR DEMONSTRATIVE PURPOSES ONLY. FINAL BUILDING LOCATION, SIZE, AND STYLES TO BE DETERMINED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL MEET ALL APPLICABLE CITY AND STATE REGULATIONS.

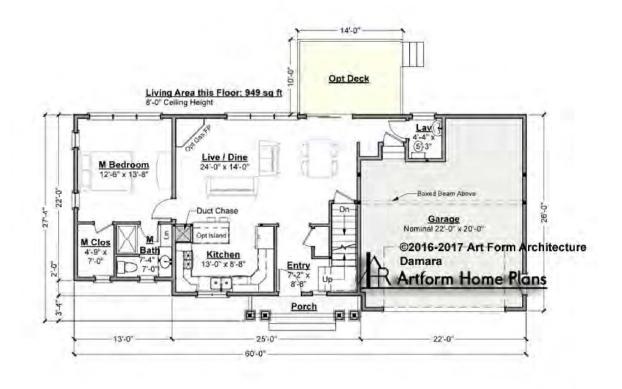


LIVING AREA	2029 FT	BEDROOMS	4	BATHROOMS	3.5
Main	2029 FT	Main	4	Main	3.5
Future	0 FT	Future	0	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



## DAMARA - 1<sup>ST</sup> FLOOR 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



#### CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	949 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	949.00 FT	Main	1.00	Main	1.50
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## DAMARA - 2<sup>ND</sup> FLOOR 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



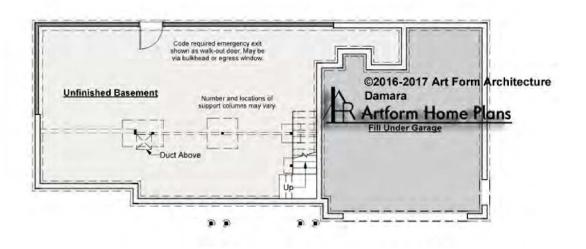
#### CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1080 <sup>FT</sup>	F1 BEDROOMS	3	F1 BATHROOMS	2
Main	1080.00 FT	Main	3.00	Main	2.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



#### **DAMARA - BASEMENT** 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



#### CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



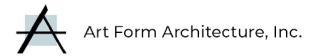
#### **DAMARA - FRONT ELEVATION** 861.124 GR





#### **DAMARA - RIGHT ELEVATION** 861.124 GR





#### **DAMARA - REAR ELEVATION** 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

D Second floor windows over 8 ft first floors over walkout basements DO qualify as egress without lowering window. If first floor is raised to 9 ft, window will need to be lowered, which triggers other requirements, such as window guards and/or tempering





#### **DAMARA - LEFT ELEVATION** 861.124 GR





# Art Form Architecture, Inc.

#### FIONA 395.124.v5 GR

We have this in reverse as well (Garage on the Left), at no additional charge.

Reverse plan available.

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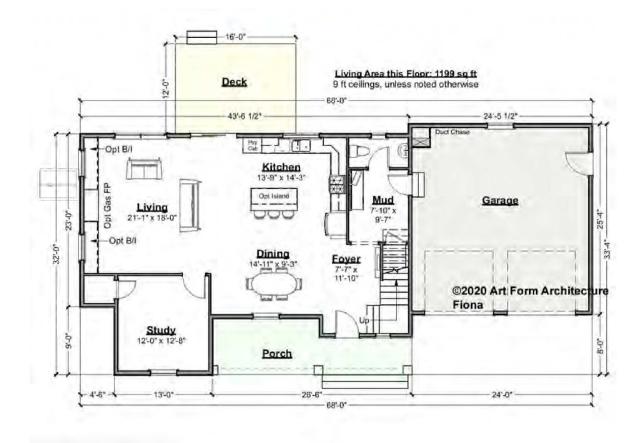
MILLION ON PT	FT	
Width 68.00 FT	<b>Depth</b> 32.00 F1	<b>Height</b> 26.16 F

LIVING AREA	2804 <sup>FT</sup>	BEDROOMS	4	BATHROOMS	2.5
Main	2804 FT	Main	3	Main	2.5
Future	0 FT	Future	1	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



## FIONA - 1<sup>ST</sup> FLOOR 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



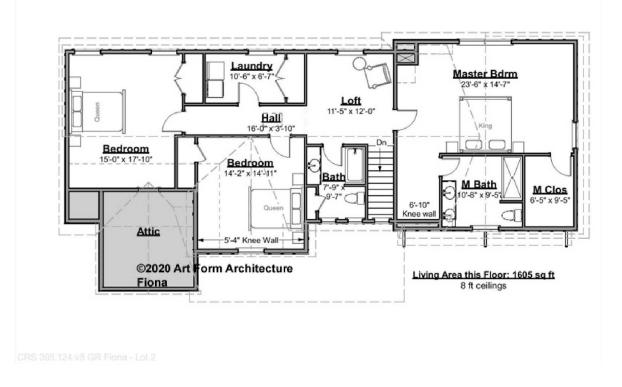
#### CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1199 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	0.5
Main	1199.00 FT	Main	0.00	Main	0.50
Future	0.00 FT	Future	1.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## FIONA - 2<sup>ND</sup> FLOOR 395.124.v5 GR

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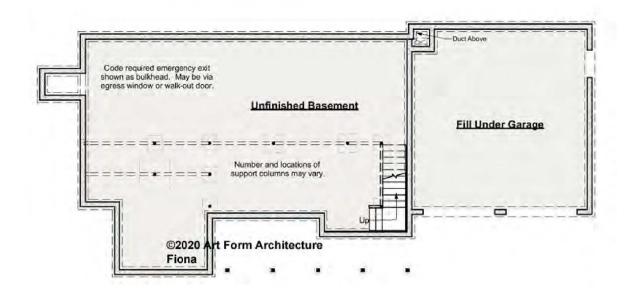
#### CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1605 <sup>FT</sup>	F1 BEDROOMS	3	F1 BATHROOMS	2
Main	1605.00 FT	Main	3.00	Main	2.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



#### FIONA - BASEMENT 395.124.v5 GR

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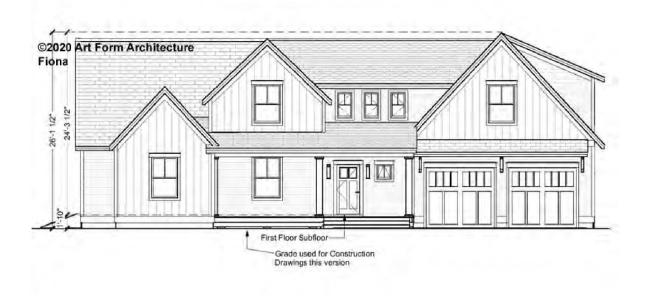


#### CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



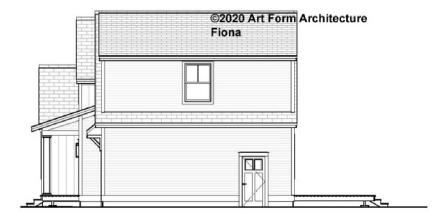
# FIONA - FRONT ELEVATION 395.124.v5 GR





# FIONA - RIGHT ELEVATION 395.124.v5 GR

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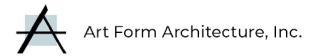


CRS 395 124 v5 GR Fiona - Lot 2



# FIONA - REAR ELEVATION 395.124.v5 GR





# FIONA - LEFT ELEVATION 395.124.v5 GR

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CRS 395.124.v5 GR Fiona - Lot :



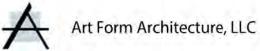
#### FIONA - REAR RENDER 395.124.v5 GR



#### **Garnet Premier**

384.129.v35 GR (8/8/2023)

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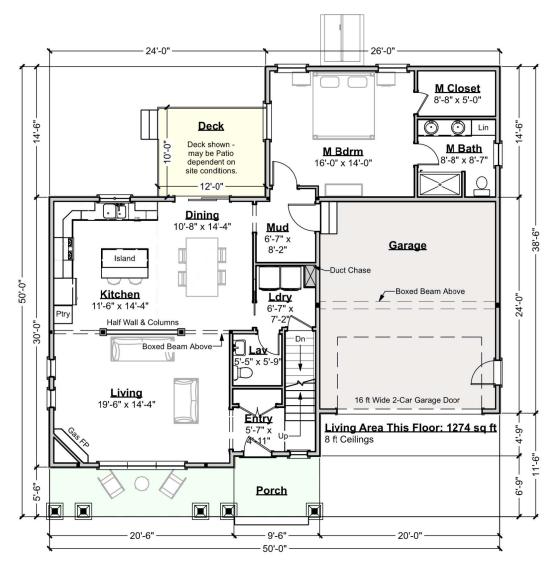
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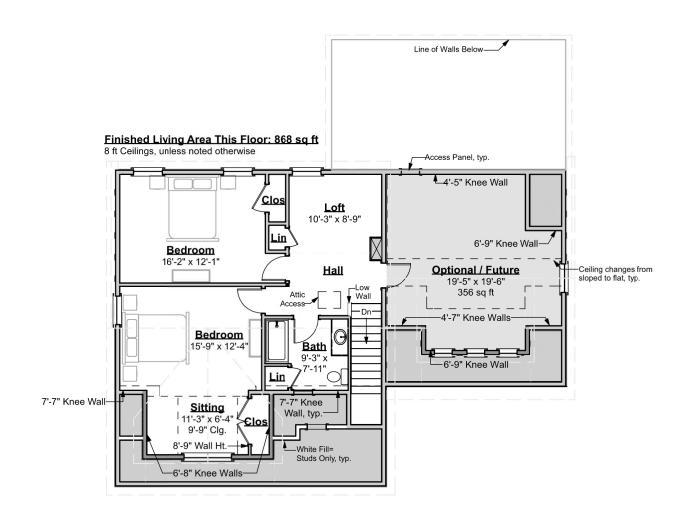
# **First Floor Plan**

Scale: 3/32" = 1'-0"

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## **Second Floor Plan**

Scale: 3/32" = 1'-0"

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Code required emergency exit shown as bulkhead. May be via egress window or walk-out door. Duct Above **Unfinished Basement** Fill Under Garage Number and locations of support columns may vary.

# **Foundation Plan**

Scale: 3/32" = 1'-0"

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**Front Elevation** 

Scale: 1/8" = 1'-0"

# **Garnet Premier**

384.129.v35 GR (8/8/2023)

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Right Elevation Scale: 1/8" = 1'-0"

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**Rear Elevation** 

Scale: 1/8" = 1'-0"

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**Left Elevation** 

Scale: 1/8" = 1'-0"

## Opal Marquise, 30x28

370.124.v20 GL (8/8/2023)

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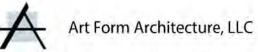
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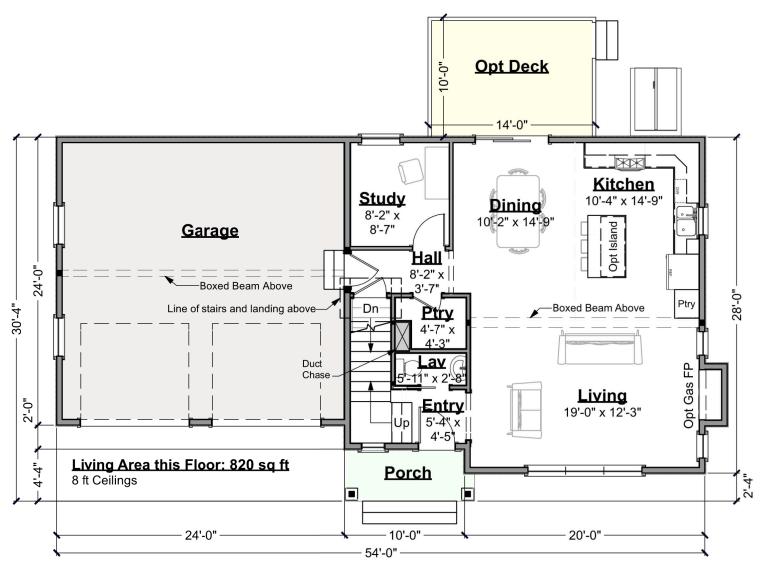
370.124.v20 GL (8/8/2023)

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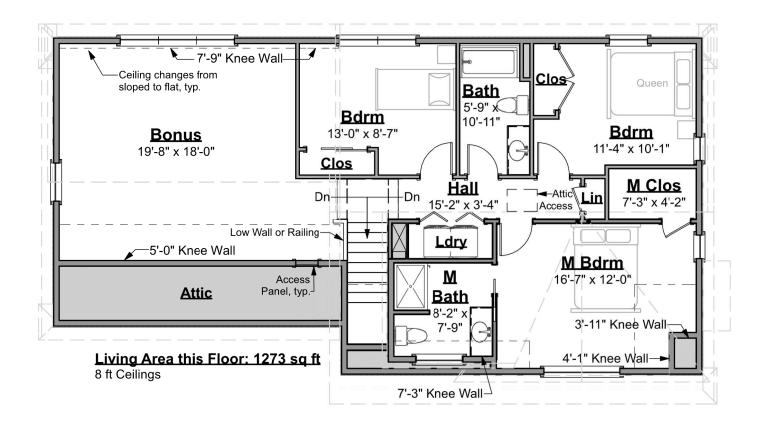


#### **First Floor Plan**

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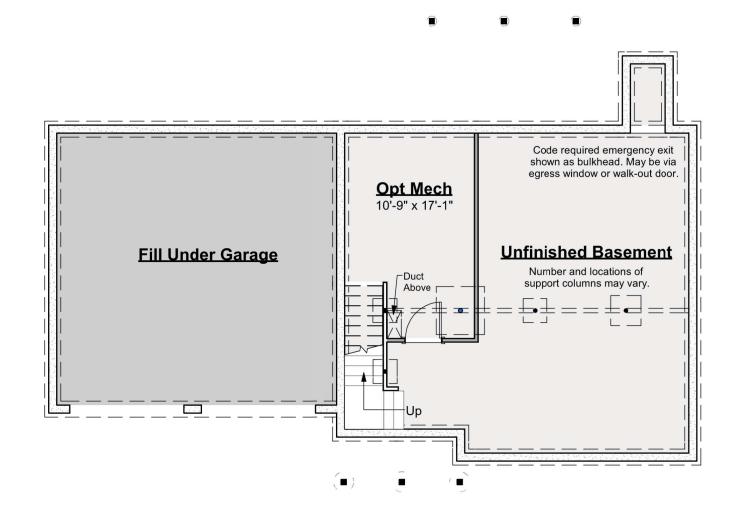
#### **Second Floor Plan**

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#### **Foundation Plan**

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**Front Elevation** 

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Right Elevation

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**Rear Elevation** 

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**Left Elevation** 



# PEPPERCORN CLASSIC WITH WING 975.127.v3 GL

This plan is Tier 2 because original was for Portland Maine that doesn't allow us to give you the choices we normally give. Tier 2 gives us the time to add that back in.

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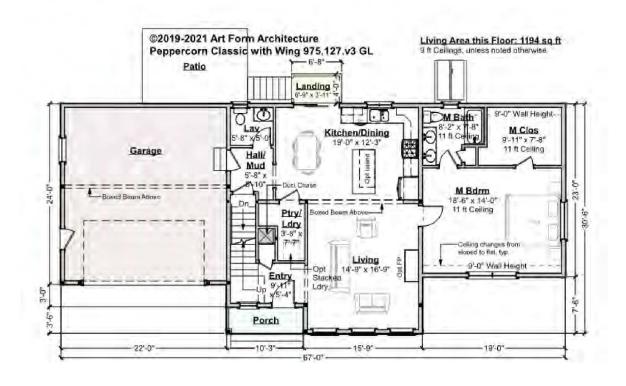
144 44 AT AA FT	aa aa FT	Height 25.66 FT
Width 67.00 FT	<b>Depth</b> 30.60 <sup>F1</sup>	Height 25 66 ' '

LIVING AREA	2294 <sup>FT</sup>	BEDROOMS	3	BATHROOMS	2.5
Main	2294 <sup>FT</sup>	Main	3	Main	2.5
Future	0 FT	Future	0	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



## PEPPERCORN CLASSIC WITH WING - 1<sup>ST</sup> FLOOR 975.127.v3 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



#### CLG HT SHOWN 9'-0" CLG HT POSSIBLE 9'-0"

\* Major Change Fee, see website plan page for cost

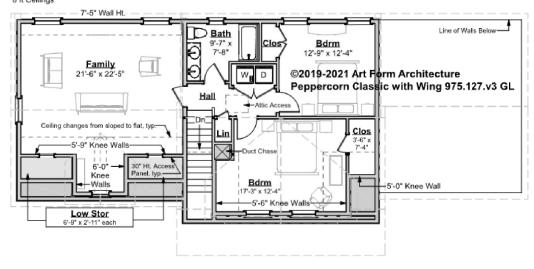
F1 LIVING AREA	1194 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	1194.00 <sup>FT</sup>	Main	1.00	Main	1.50
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## PEPPERCORN CLASSIC WITH WING - 2<sup>ND</sup> FLOOR 975.127.v3 GL

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#### Living Area this Floor: 1100 sq ft 8 ft Ceilings



#### CLG HT SHOWN 8'-0" CLG HT POSSIBLE 9'-0"

\* Major Change Fee, see website plan page for cost

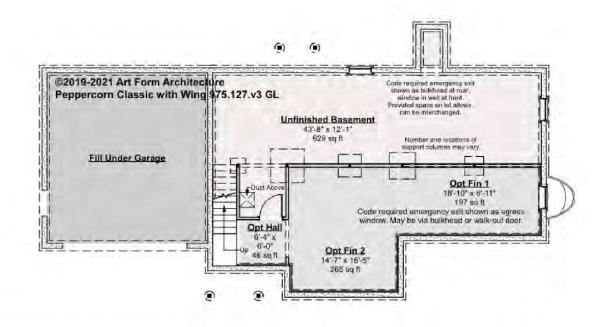
F1 LIVING AREA	1100 <sup>FT</sup>	F1 BEDROOMS	2	F1 BATHROOMS	1
Main	1100.00 FT	Main	2.00	Main	1.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



#### PEPPERCORN CLASSIC WITH WING -BASEMENT 975.127.v3 GL

The construction drawings show this lower level as finished. We don't include that in our data chart so Search isn't misleading. Everybody knows you can finish a basement!

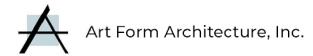
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#### CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

\* Major Change Fee, see website plan page for cost

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



#### PEPPERCORN CLASSIC WITH WING -FRONT ELEVATION 975.127.v3 GL





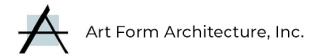
#### PEPPERCORN CLASSIC WITH WING -RIGHT ELEVATION 975.127.v3 GL





#### PEPPERCORN CLASSIC WITH WING -REAR ELEVATION 975.127.v3 GL





#### PEPPERCORN CLASSIC WITH WING -LEFT ELEVATION 975.127.v3 GL



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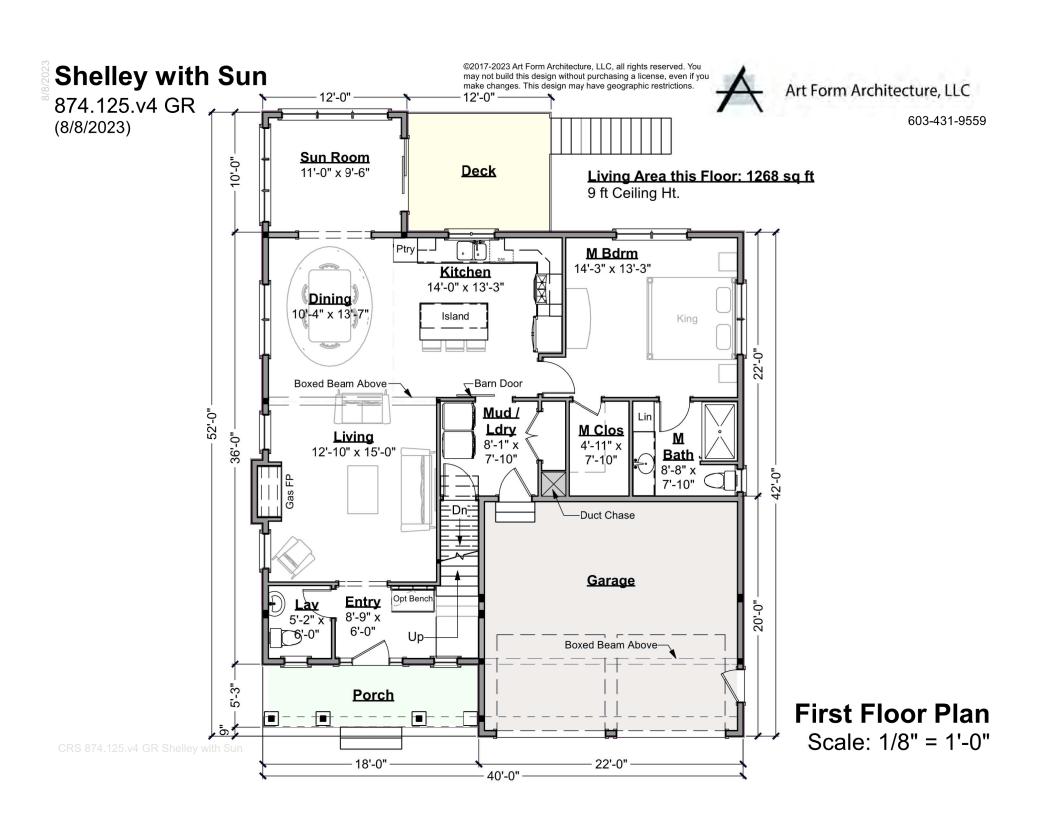
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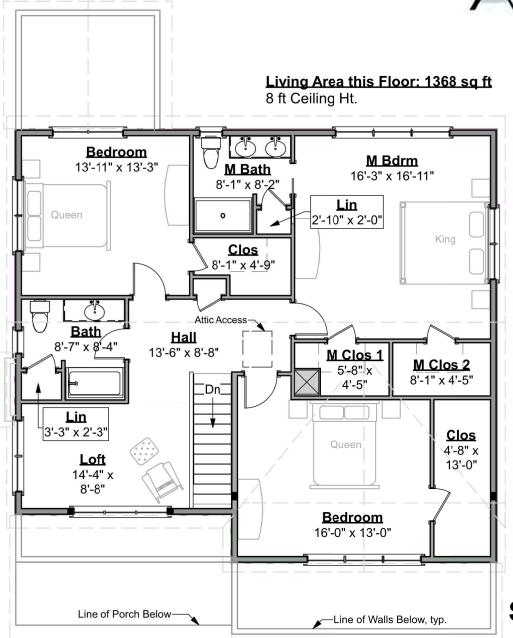
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**Second Floor Plan** 

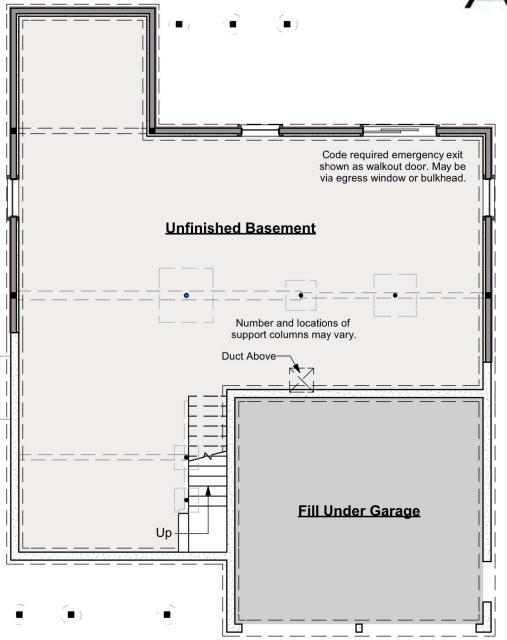
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**Foundation Plan** 

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**Front Elevation** 

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**Right Elevation** 

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**Rear Elevation** 

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**Left Elevation** 

1020.124.v4 GR (8/8/2023)

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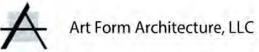
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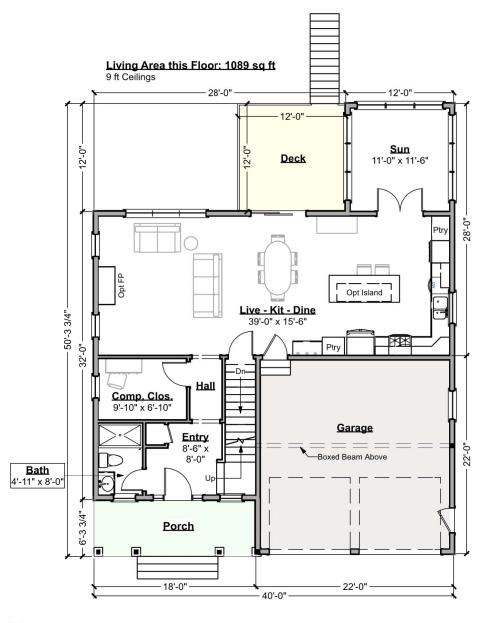


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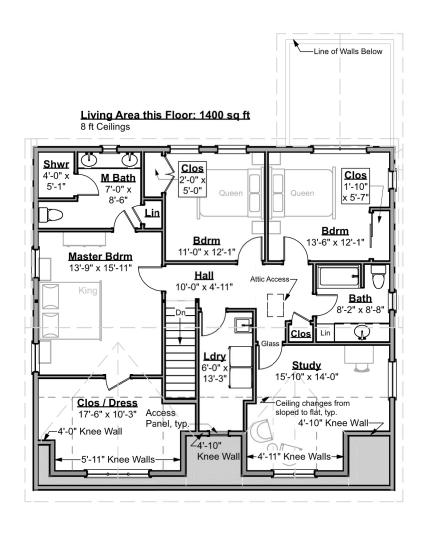
**First Floor Plan** 

Scale: 3/32" = 1'-0"

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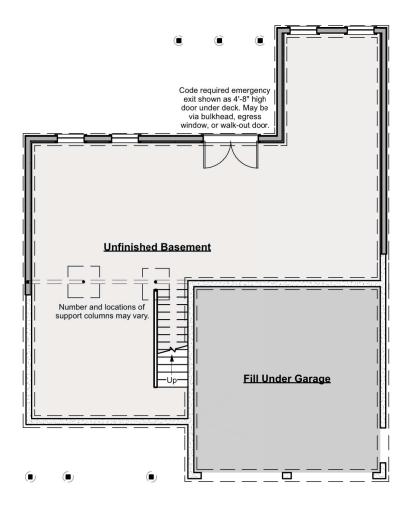
**Second Floor Plan** 

Scale: 3/32" = 1'-0"

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**Foundation Plan** 

Scale: 3/32" = 1'-0"

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**Front Elevation** 

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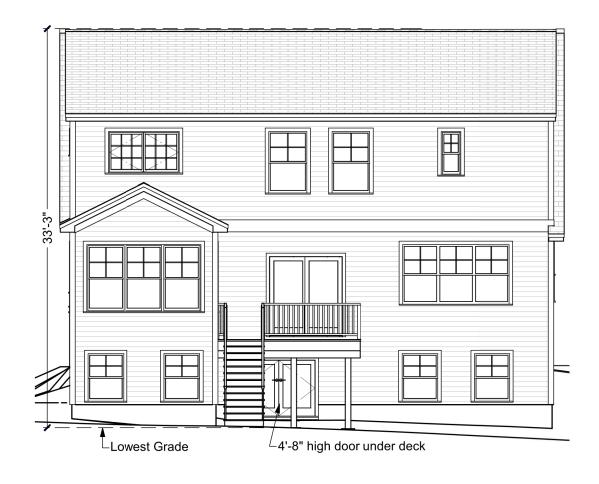
Right Elevation

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**Rear Elevation** 

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**Left Elevation**