

C5194-001 August 1, 2023

Mr. Peter Britz, Director of Planning & Sustainability City of Portsmouth Planning & Sustainability Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

## Re: Request for TAC Work Session Proposed Single-Family Subdivision, Shearwater Drive, Portsmouth, NH

Dear Peter,

On behalf of Chinburg Properties (applicant), we are pleased to submit the following information to support a request to meet with the Technical Advisory Committee (TAC) at their next scheduled Work Session for the above referenced project:

- One (1) full size & one (1) half size copy of the Site Plan Set, dated August 1, 2023;
- One (1) copy of the Owner Authorization Letter, dated August 1, 2023;
- One (1) copy of the Applicant Authorization Letter, dated August 1, 2023:
- One (1) copy of the Prototypical Architectural Plans, dated August 1, 2023:

The proposed project is located along Shearwater Drive on a parcel of land identified as Map 217 Block 2 Lot 1900 on the City of Portsmouth Tax Maps. The existing parcel had seven (7) existing buildings consisting of (5) duplexes, (1) 4-unit, and (1) 6-unit buildings that were previously demolished earlier this year. The project includes the subdivision of the 2.23 acre lot into nine (9) Single-Family lots and the construction of the associated residential buildings, stormwater management, landscaping, and utilities.

The proposed project will require Site Plan Review Permit and Subdivision Permit approvals from the Planning Board. The applicant would like to solicit feedback from City staff on the project prior to submitting the formal applications for those permits. Thus, the applicant respectfully requests to meet with TAC at their next scheduled Work Session on August 8, 2023. If you have any questions or need any additional information, please contact Neil Hansen by phone at (603) 433-8818 or by email at <a href="mailto:nahansen@tighebond.com">nahansen@tighebond.com</a>.

Sincerely,

**TIGHE & BOND, INC.** 

Patrick M. Crimmins, PE

Vice President

Copy: Chinburg Properties (via email)

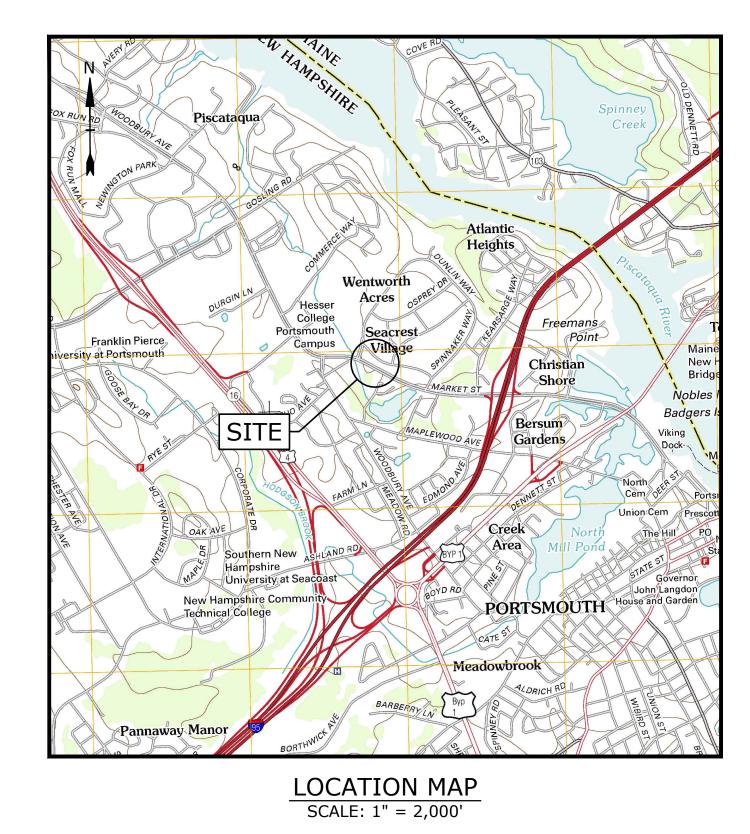
Neil A. Hansen, PE Project Manager

# PROPOSED SINGLE-FAMILY SUBDIVISION

# SHEARWATER DRIVE PORTSMOUTH, NEW HAMPSHIRE AUGUST 1, 2023

# DRAFT

	LIST OF DRAWINGS				
SHEET NO.	SHEET TITLE	LAST REVISED			
	COVER SHEET	8/1/2023			
1 OF 1	EXISTING CONDITIONS PLAN	7/19/2023			
G-100	GENERAL NOTES AND LEGEND	8/1/2023			
C-101	EXISTING CONDITIONS & DEMOLITION PLAN	8/1/2023			
C-102	SITE PLAN	8/1/2023			
C-103	GRADING & DRAINAGE PLAN	8/1/2023			
C-104	UTILITIES PLAN	8/1/2023			
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	8/1/2023			
C-502	DETAILS SHEET	8/1/2023			
C-503	DETAILS SHEET	8/1/2023			
C-504	DETAILS SHEET	8/1/2023			



## PREPARED BY:

## Tighe&Bond

177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

## **OWNER:**

BANTRY BAY ASSOCIATION LLC

540 NORTH COMMERCIAL ST MANCHESTER, NH 03101

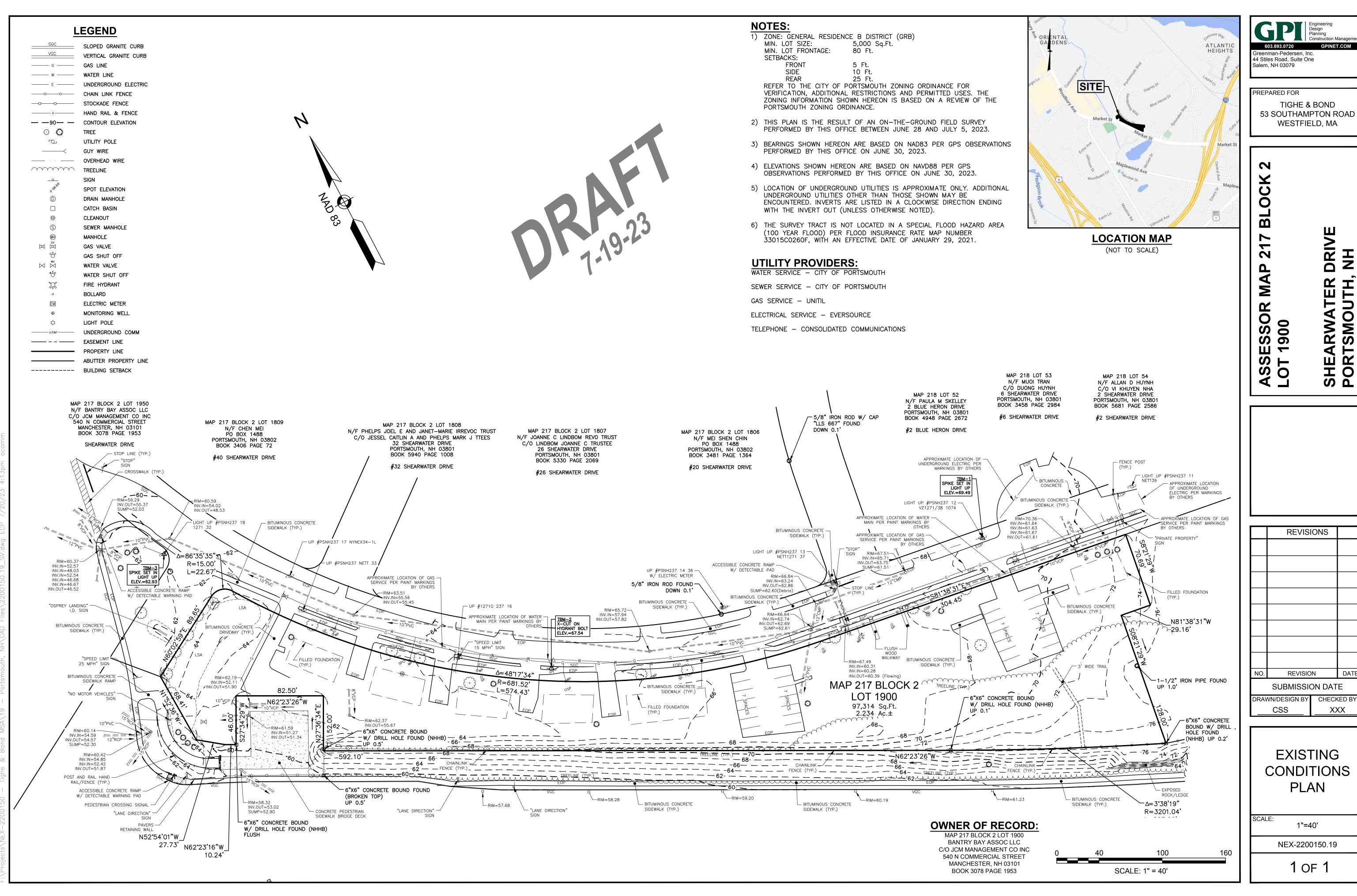
## **APPLICANT:**

CHINBURG PROPERTIES

3 PENSTOCK WAY NEWMARKET, NH 03857

LIST OF PERMITS					
LOCAL	STATUS	DATE			
SITE PLAN REVIEW PERMIT	NOT SUBMITTED				
SUBDIVISION PERMIT	NOT SUBMITTED				
FEDERAL					
EPA - NPDES CGP (SWPPP)	NOT SUBMITTED				

TAC WORK SESSION SUBMISSION
COMPLETE SET 11 SHEETS



53 SOUTHAMPTON ROAD

DATE CHECKED BY XXX

**CONDITIONS** 

### **GENERAL NOTES:**

- 1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 2. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 3. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES. 4. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE
- COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT
- 6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING
- JURISDICTION 7. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL
- COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER. 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
- 9. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND
- 11. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT
- IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. 12. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
- 13. APPLICANT SHALL SUBMIT, AS PART OF THE FINAL POST APPROVAL PROCEDURES, RELEVANT PTAP INFORMATION USING THE MOST RECENT ONLINE DATA PORTAL CURRENTLY MANAGED BY THE UNH STORMWATER CENTER. THE PLANNING DEPARTMENT SHALL BE NOTIFIED AND COPIED OF THE PTAP DATA SUBMITTAL.

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES. 2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL
- 3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY. 4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR
- REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. 5. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE
- PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN. 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE
- THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS. 7. ALL UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
- 8. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- 9. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID. 10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED
- TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING. 11. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN
- LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS. 12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED
- SURVEYOR TO REPLACE DISTURBED MONUMENTS. 13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN
- DEPTH OF THE BARRIER. 14. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- 15. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 16. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- 3. SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.
- 5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- 6. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS. 7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 8. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- 9. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- 10. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- 11. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- 12. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 13. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN
- REVIEW REGULATIONS. 14. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER FITHER ON OR NEAR THE
- WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY. 15. ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS.

## **GRADING AND DRAINAGE NOTES:**

PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE

- 1. COMPACTION REQUIREMENTS: BELOW PAVED OR CONCRETE AREAS TRENCH BEDDING MATERIAL AND
  - 95%
- SAND BLANKET BACKFILL BELOW LOAM AND SEED AREAS
- \* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
- 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) UNLESS OTHERWISE SPECIFIED.
- 3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- 5. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH. 6. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND
- BRIDGES, LATEST EDITION. 7. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.

### **EROSION CONTROL NOTES**

1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY. • NATURAL GAS - UNITIL
- WATER/SEWER CITY OF PORTSMOUTH
- ELECTRIC EVERSOURCE • COMMUNICATIONS - COMCAST/CONSOLIDATED COMMUNICATIONS/FIRST LIGHT
- 2. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE. 3. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT. 4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 5. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 6. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
- 7. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 8. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL
- APPLICABLE STATE AND LOCAL CODES. 9. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND
- THE APPLICABLE UTILITY COMPANIES. 10. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 11. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND
- OPERATIONAL. 12. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 13. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS
- 14. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- 15. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 16. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 17. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
- 18. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER

### **EXISTING CONDITIONS PLAN NOTES:**

1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY GPI, SEE REFERENCE PLAN #1.

### REFERENCE PLANS:

1. "EXISTING CONDITIONS PLAN - MAP 217 BLOCK 2 LOT 1900" PREPARED BY GPI, DATED JULY 19, 2023.

## **ABBREVIATIONS**

TBR	TO BE REMOVED
BLDG	BUILDING
TYP	TYPICAL
GFP	GROSS FOOT PRINT
COORD	COORDINATE
30'R	CURB RADIUS
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
TC	TOP OF CURB
BC	BOTTOM OF CURB
HDPE	HIGH-DENSITY POLYETHYLENE
FF	FINISH FLOOR
VIF	VERIFY IN FIELD

## <u>LEGEND</u> PROPOSED SAWCUT LIMIT OF WORK PROPOSED SILT SOCK APPROXIMATE LIMIT OF PROPOSED CONSTRUCTION EXIT

\_ \_ \_ \_ \_ \_ \_

14.50 —\_\_\_\_

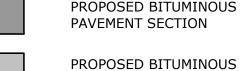
(14.50)

---OHW------

PAVEMENT TO BE REMOVED

EXISTING PROPERTY LINE PROPOSED PROPERTY LINE PROPOSED EDGE OF PAVEMENT PROPOSED CURB

PROPOSED BUILDING



PROPOSED MILL AND

OVERLAY SECTION

SIDEWALK SECTION

PROPOSED DRIP EDGE 

> PROPOSED MAJOR CONTOUR LINE PROPOSED MINOR CONTOUR LINE PROPOSED DRAIN LINE (TYP) INLET PROTECTION SILT SACK PROPOSED CATCHBASIN PROPOSED DRAIN MANHOLE PROPOSED YARD DRAIN EXISTING STORM DRAIN EXISTING SANITARY SEWER EXISTING WATER EXISTING GAS EXISTING UNDERGROUND ELECTRIC EXISTING OVERHEAD UTILITY PROPOSED SANITARY SEWER PROPOSED WATER PROPOSED GAS APPROXIMATE SANITARY SEWER APPROXIMATE WATER APPROXIMATE STORM DRAIN EXISTING CATCHBASIN EXISTING DRAIN MANHOLE EXISTING SEWER MANHOLE EXISTING WATER VALVE EXISTING HYDRANT EXISTING ELECTRIC MANHOLE EXISTING TELEPHONE MANHOLE PROPOSED SEWER MANHOLE PROPOSED WATER VALVE PROPOSED HYDRANT PROPOSED LIGHT POLE BASE PROPOSED SPOT GRADES EXISTING SPOT GRADES



## PROPOSED |SINGLE-FAMILY **SUBDIVISION**

CHINBURG **PROPERTIES** 

SHEARWATER DRIVE, PORTSMOUTH, NH

IARK	DATE	DESCRIPTION	
ROJE	CT NO:	C5194-001	
ATE:		08/01/2023	
ILE:	C5	5194-001_C-DSGN.dwg	

**GENERAL NOTES** 

NHW/C1K

NAH

PMC

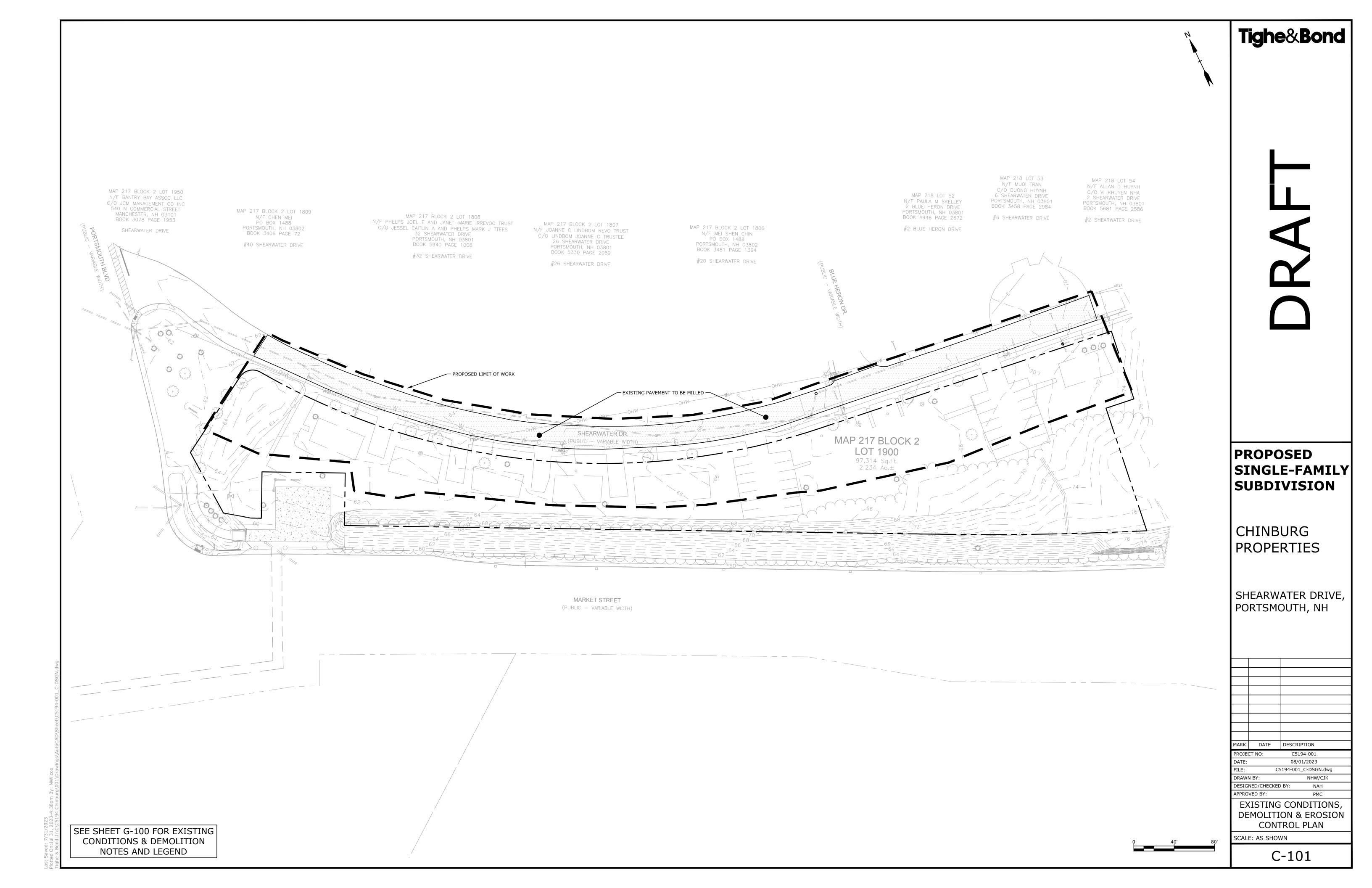
SCALE: AS SHOWN

DESIGNED/CHECKED BY:

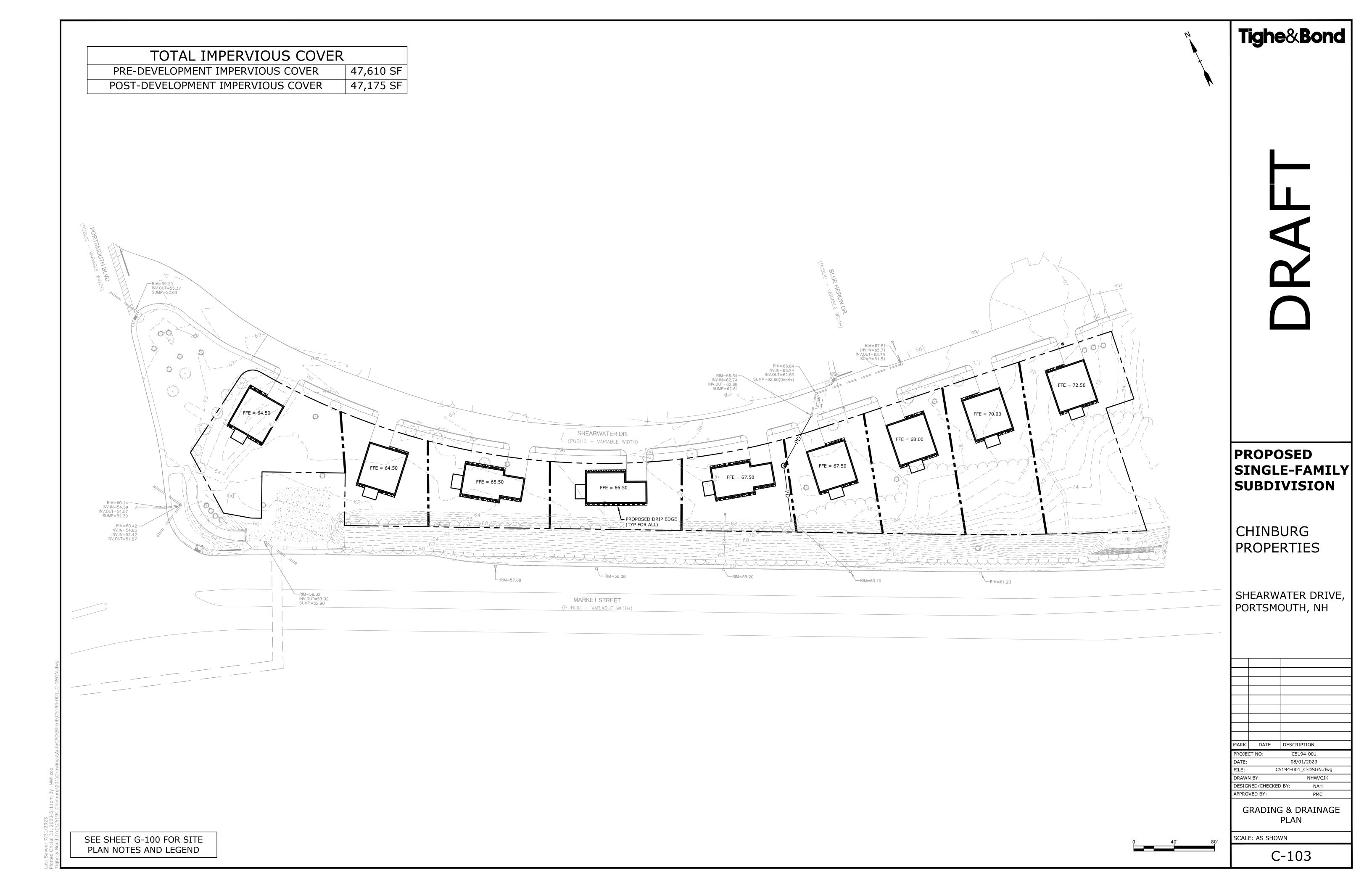
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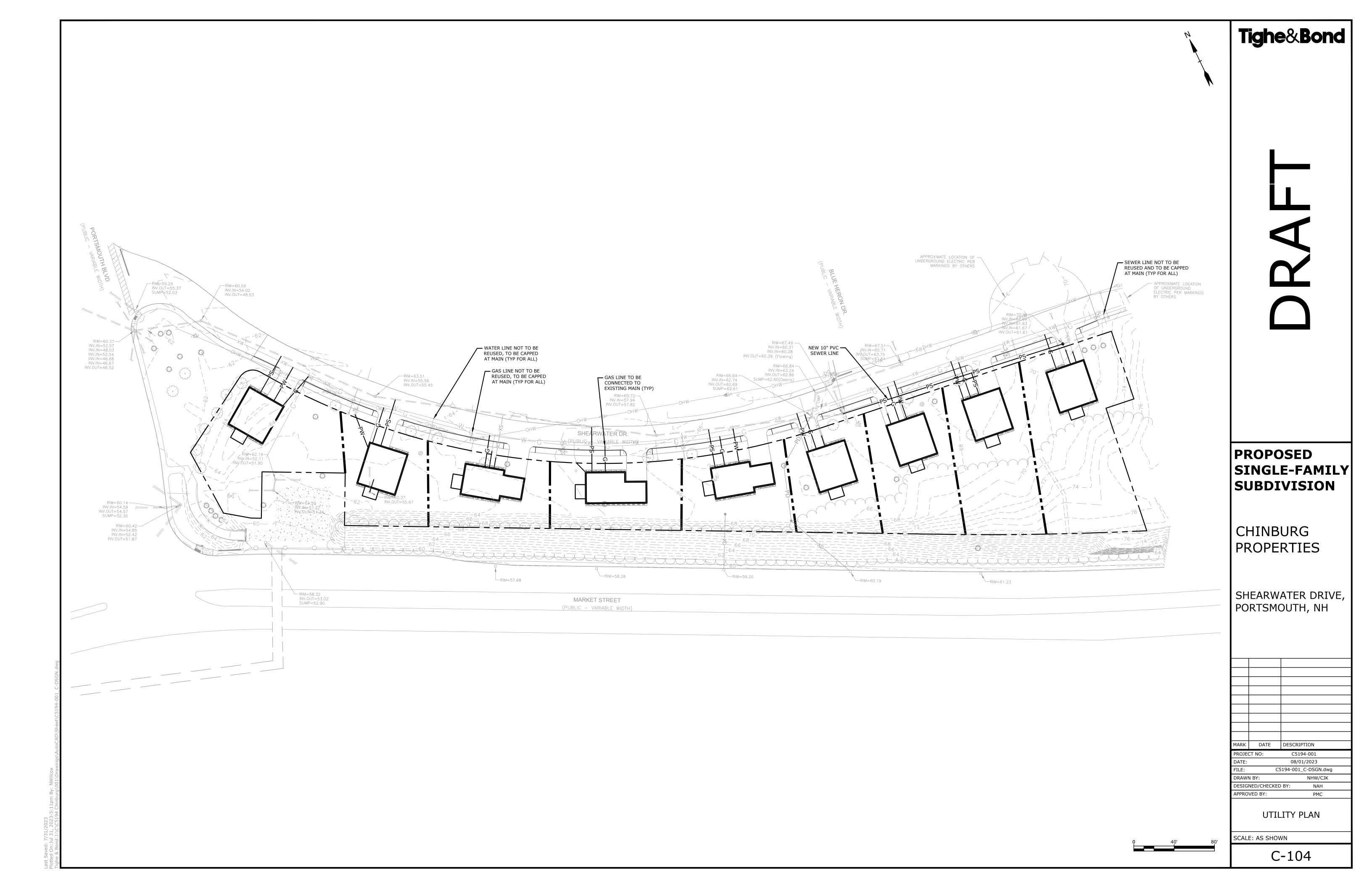
APPROVED BY:

G-100









PROJECT APPLICANT: CHINBURG PROPERTIES 3 PENSTOCK WAY

NEWMARKET, NH 03857 PROJECT NAME: PROPOSED SINGLE-FAMILY SUBDIVISION

PROJECT MAP / LOT: MAP 217 BLOCK 2 / LOT 1900 PROJECT ADDRESS: SHEARWATER DRIVE

PORTSMOUTH, NH 03801 PROJECT LATITUDE: 43°-05'-10" N

PROJECT LONGITUDE: 70°-46'-59" W

### PROJECT DESCRIPTION

THE PROJECT CONSISTS OF SUBDIVIDING THE EXISTING LOT INTO NINE (9) INDIVIDUAL PARCELS, THEN CONSTRUCTING A SINGLE-FAMILY HOME ON EACH. THE PROJECT ALSO CONSISTS OF IMPROVEMENTS TO SHEARWATER DRIVE.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 2.1 ACRES.

### **SOIL CHARACTERISTICS**

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH IS EXCESSIVELY DRAINED SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF X.

### NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH'S CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO NORTH MILL POND THEN TO THE PISCATAQUA RIVER OR DIRECTLY TO THE PISQUATAQUA

## CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:

## CUT AND CLEAR TREES.

- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
- NEW CONSTRUCTION
- CONTROL OF DUST
- CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL ROADWAYS AND PARKING AREAS ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES
- SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED. SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL
- SOILS ARE STABILIZED.
- 0. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 13. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

### **SPECIAL CONSTRUCTION NOTES:** THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT

OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

## **EROSION CONTROL NOTES:**

- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE <u>STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING</u> CONSTRUCTION" PREPARED BY THE NHDES.
- PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
- CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH
- BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND
- INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.

## CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED: C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.
- WINTER STABILIZATION PRACTICES:
- A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES 1. FIRE-FIGHTING ACTIVITIES; OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE **USED INCLUDE:**
- A. TEMPORARY SEEDING; B. MULCHING.

- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES

PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED. 6. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES,

PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
- 2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
- 3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND
- 2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- 3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE

INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.

4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES

## OFF SITE VEHICLE TRACKING:

. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

### TEMPORARY GRASS COVER: A. SEEDBED PREPARATION

- a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
- a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
- b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN
- SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED; APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;

### C. MAINTENANCE:

TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK

## VEGETATIVE PRACTICE

- A. FOR PERMANENT MEASURES AND PLANTINGS:
- a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
- b. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
- c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;
- d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
- HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE; THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REOUIRED. WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY

AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED,

- AND ALL NOXIOUS WEEDS REMOVED; g. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL
- ACCEPTED; h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

APPLICATION RATE CREEPING RED FESCUE 20 LBS/ACRE

TALL FESCUE 20 LBS/ACRE 2 LBS/ACRE REDTOP

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.

- 3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
- A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

## **CONCRETE WASHOUT AREA:**

- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
- A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
- B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS; D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY
- WHEN MATERIALS NEED TO BE REMOVED.

## **ALLOWABLE NON-STORMWATER DISCHARGES:**

- 2. FIRE HYDRANT FLUSHING; WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- 4. WATER USED TO CONTROL DUST; 5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED; 7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- 9. UNCONTAMINATED GROUND WATER OR SPRING WATER FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- 11. UNCONTAMINATED EXCAVATION DEWATERING; 12. LANDSCAPE IRRIGATION.

### WASTE DISPOSAL: WASTE MATERIAL:

A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE

- DEPOSITED IN A DUMPSTER;
- B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE; C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR
- WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE: A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED
- BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT
- A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

 CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.

2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO

- REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF
- A. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
- a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY
- MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE;
- c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
- d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
- e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
- f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF
- THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
- B. HAZARDOUS PRODUCTS THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
- a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE; b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT
- PRODUCT INFORMATION; c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING
- TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL
- BE FOLLOWED ON SITE: a. PETROLEUM PRODUCTS:
- i. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
- ii. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- v. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM

iv. INSPECT FUEL STORAGE AREAS WEEKLY;

USE;

FOR THIS PURPOSE;

REPLACING SPENT FLUID.

iii. SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;

PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS; vi. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS vii. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED

SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS,

- OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED. viii. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
  - (1) EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED
  - SUBSTANCES CLOSED AND SEALED; (2) PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS;
  - (3) HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN (4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED
  - (5) PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS
- SURFACE. ix. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.
- HTTPS://WWW.DES.NH.GOV/ORGANIZATION/COMMISSIONER/PIP/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF b. FERTILIZERS: i. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY
- THE SPECIFICATIONS ii. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO
- STORMWATER; iii. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- c. PAINTS: i. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR
- EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM iii. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
- D. SPILL CONTROL PRACTICES IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP: a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY
- LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES; b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY

POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE

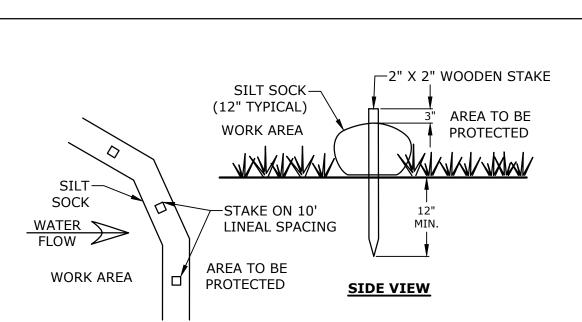
ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;

e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE

- d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
- APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED; f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
- E. VEHICLE FUELING AND MAINTENANCE PRACTICE: a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
- b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY; c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
- d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA; e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE; f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN

## **EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES**

- THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES.
- 2. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:
- A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25
- INCHES OR GREATER; AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED
- TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
- C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR
- MAINTENANCE AND REPAIR ACTIVITIES; D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

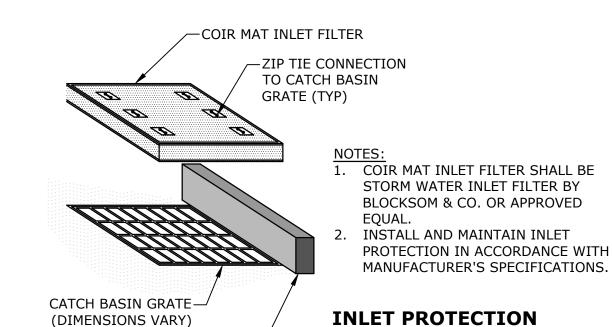


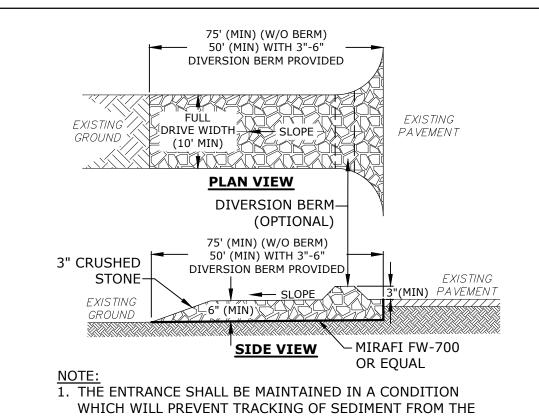
## **PLAN VIEW**

SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR APPROVED EQUAL.

2. INSTALL SILT SOCK IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

## SILT SOCK





NO SCALE

## STABILIZED CONSTRUCTION EXIT NO SCALE

SITE. WHEN WASHING IS REQUIRED, IT SHALL BE DONE SO

RUNOFF DRAINS INTO AN APPROVED SEDIMENT TRAPPING

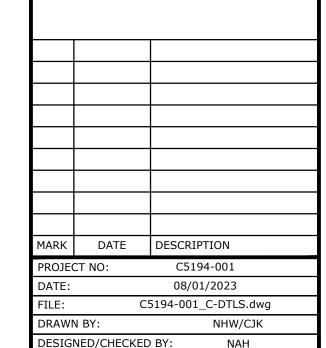
DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM

ENTERING STORM DRAINS, DITCHES, OR WATERWAYS

**PROPOSED** SINGLE-FAMILY **SUBDIVISION** 

**CHINBURG PROPERTIES** 

SHEARWATER DRIVE, PORTSMOUTH, NH



**EROSION CONTROL NOTES** 

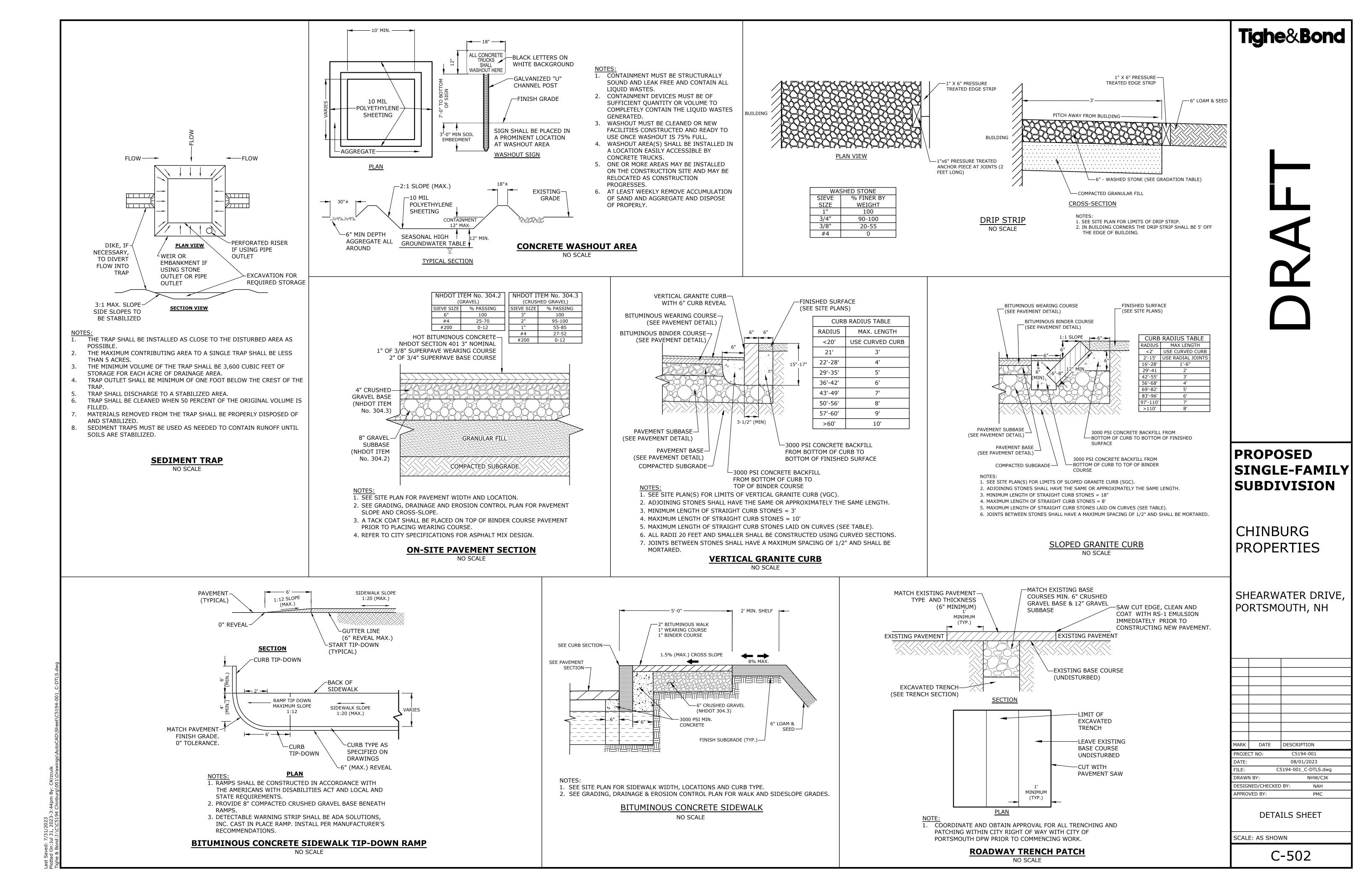
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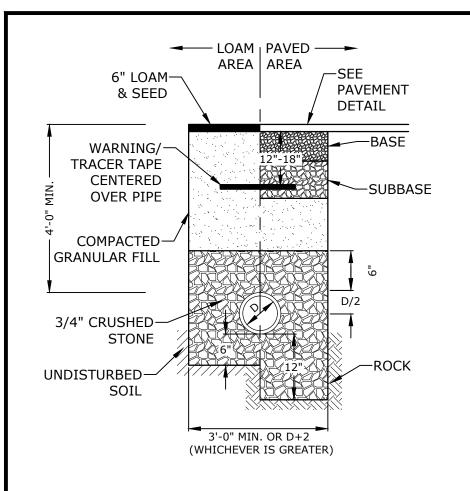
PMC

APPROVED BY:

SCALE: AS SHOWN

C-501

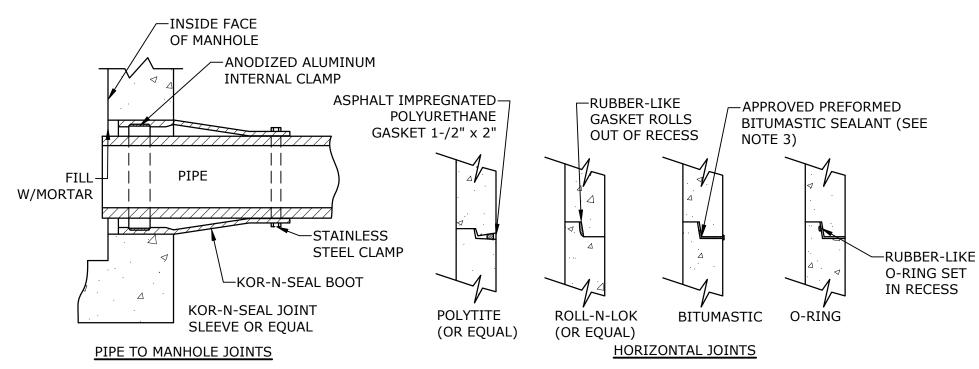




- CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
- ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

## STORM DRAIN TRENCH

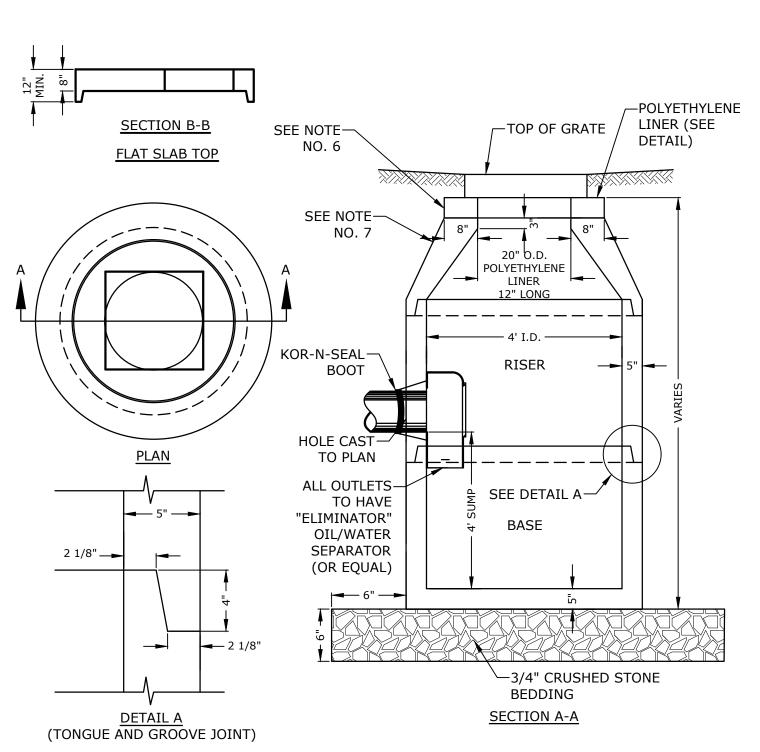
NO SCALE



- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS
- USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET. 2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
- 3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
- 4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH

## MANUFACTURERS' WRITTEN INSTRUCTIONS.

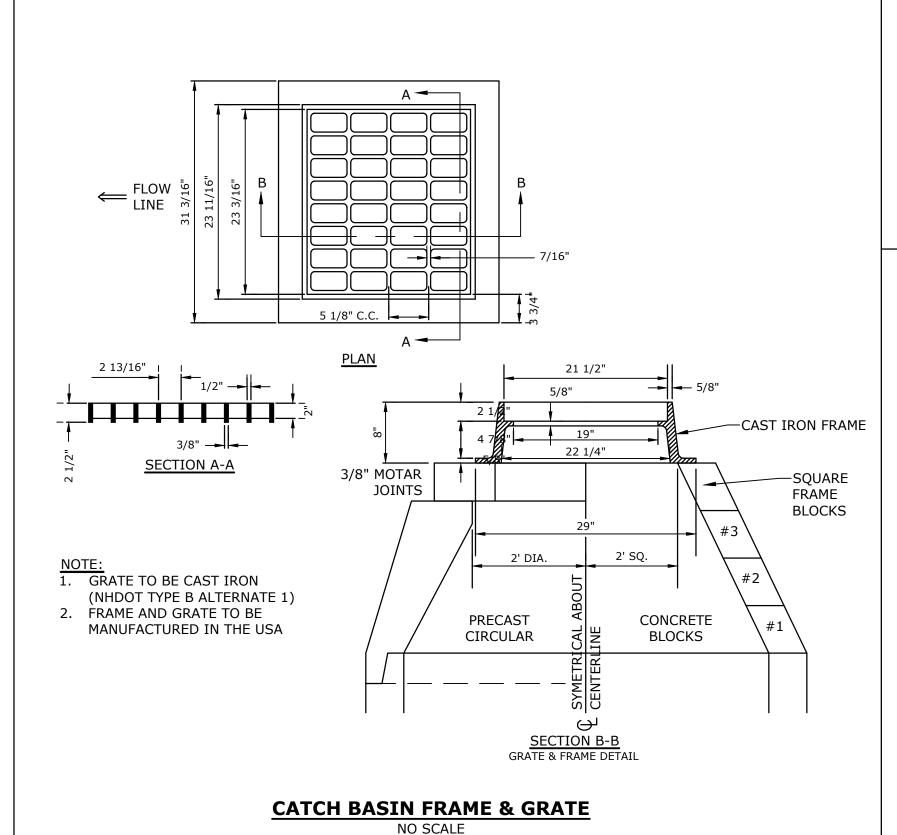
**MANHOLE JOINTS** NO SCALE



- 1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ.IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE
- PLACED IN THE CENTER THIRD OF THE WALL. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL
- REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
- RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH. 5. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
- FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2
- COURSES MAX.). CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE
- PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING
- OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE. 10. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN
- THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS. 11. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
- 12. "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

## 4' DIAMETER CATCHBASIN

NO SCALE



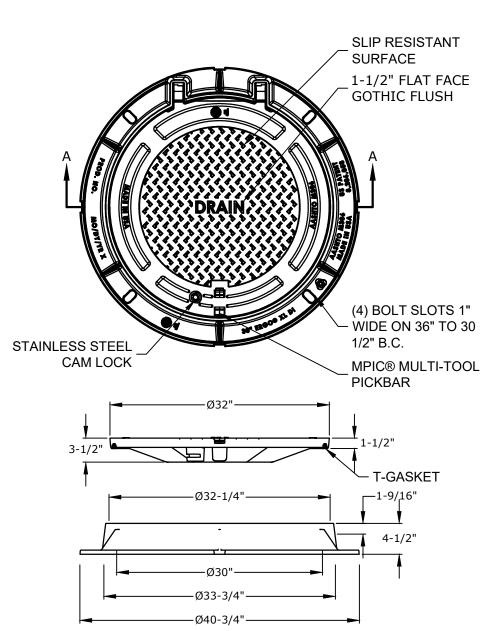
### NHDOT ITEM No. 304.4 (CRUSHED STONE - FINE) -MANHOLE FRAMES AND COVERS SHALL BE % PASSING SIEVE SIZE OF HEAVY DUTY DESIGN AND PROVIDE A 2" 100 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "DRAIN" SHALL 1-1/2" 85-100 BE PLAINLY CAST INTO THE CENTER OF 3/4" 45-75 EACH COVER. #4 10-45 -ADJUST TO GRADE WITH CONCRETE #200 0-5 GRADE RINGS OR CLAY BRICKS, FRAME 8" MIN. TO BE SET IN FULL BED OF MORTAR. (2 COURSES MAX). -SEE STRUCTURE JOINTS DETAIL 30" ---(TYP.) ←MORTAR ALL JOINTS 5" MIN ECCENTRIC TOP -MIN. 0.12 sq. in. STEEL PER VERTICAL FOOT, PLACED ACCORDING TO AASHTO DESIGNATION M199 HEIGHT OF RISER VARY FROM 1' TO 4' **→** 48" ± 1" DIA. → -PIPE OPENING TO BE PRECAST IN RISER SECTION —1 - #3 BAR AROUND OPENING FOR PIPES 18" DIAMETER AND OVER, 1" COVER -INVERT OF STRUCTURE TO BE CONCRETE CLASS "B" DIA. PIPE √3/4" CRUSHED STONE BEDDING KOR-N-SEAL BOOT 6" MIN. OR EQUAL PROVIDE "V" OPENING FINISH-CONST. BRICK SHELF-SUBGRADE

- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
- 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS

6" TYP.

- AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- 3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
- 4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
- THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
- PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE
- PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
- 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZNTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

## 4' DIAMETER DRAIN MANHOLE



**SECTION A-A** 

- 1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL
- BY EJ CO. ALL DIMENSIONS ARE NOMINAL.
- FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
- A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING. B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES

ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR

- ACCOMMODATIONS. C. ALL OTHER PERTINENT REQUIREMENTS OF THE
- SPECIFICATIONS ARE MET.
- 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER OF THE COVER.

## **DRAIN MANHOLE FRAME & COVER**

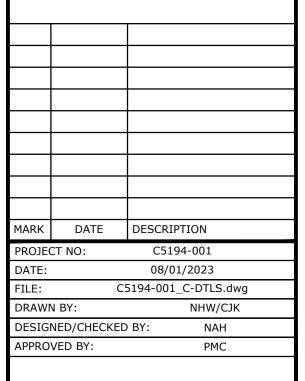
NO SCALE

Tighe&Bond

## **PROPOSED SINGLE-FAMILY SUBDIVISION**

**CHINBURG PROPERTIES** 

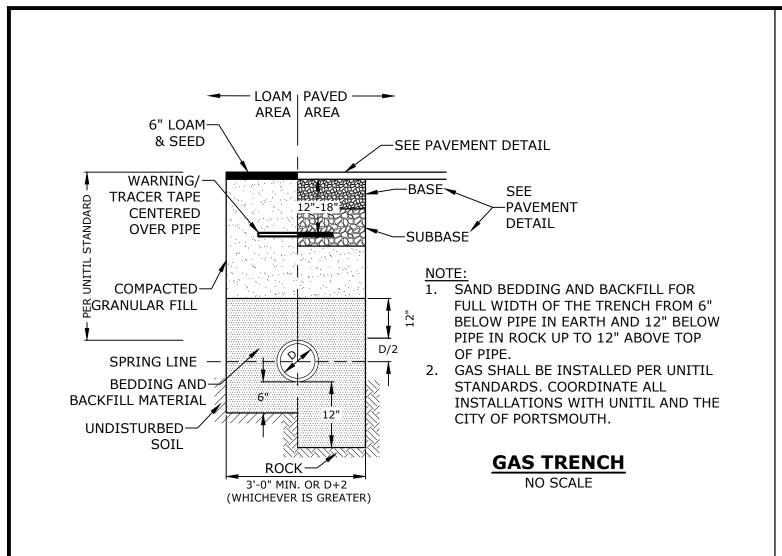
SHEARWATER DRIVE, PORTSMOUTH, NH

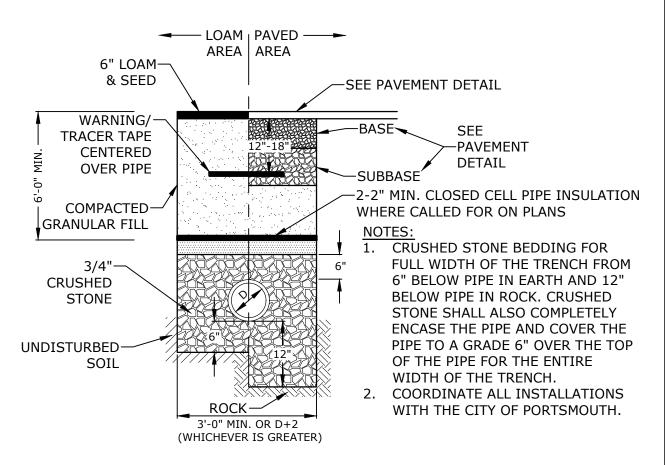


**DETAILS SHEET** 

SCALE: AS SHOWN

C-503





**SEWER SERVICE TRENCH** 

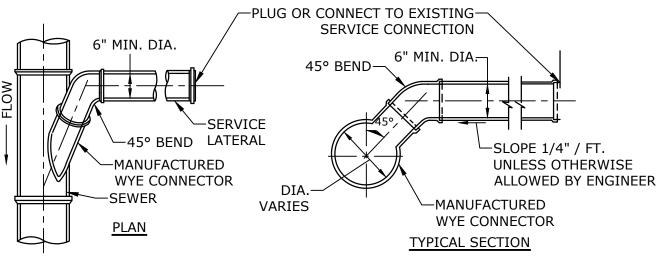
## $\frac{1}{4}$ " POLYETHYLENE SHEET-(SEE Notes 1 & 5) -20" O.D. POLYETHYLENE DOWNSPOUT 3'-1"± ── <u>PLAN</u> —— 4' SQUARE (MIN.) —— -WEARING COURSE -FRAME & GRATE -SAWCUT (SUBSIDIARY SILICONE SEALANT TO DRAINAGE ITEM) (SEE NOTE 2) EMULSIFIED ASPHALT FOR TACK COAT (SUBSIDIARY TO DRAINAGE STRUCTURE) POLYETHYLENE SHEET-(SEE NOTES 1 & 5) -ADJUST GRATE ELEVATION WITH CONCRETE ADJUSTING RING OR CLAY BRICK (SEE SPEC. 604.2.4) 20" O.D. POLYETHYLENE— DOWNSPOUT 12" LONG **SECTION A-A**

- 1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET
- WELDED TO THE POLYETHYLENE SHEET. 2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME
- AND POLYETHYLENE SHEET. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
- USE ON DRAINAGE STRUCTURES 4' MIN. DIAMETER ONLY. 5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
- 6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
- PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT. SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS", FOR ADDITIONAL
- INFORMATION. 9. CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER

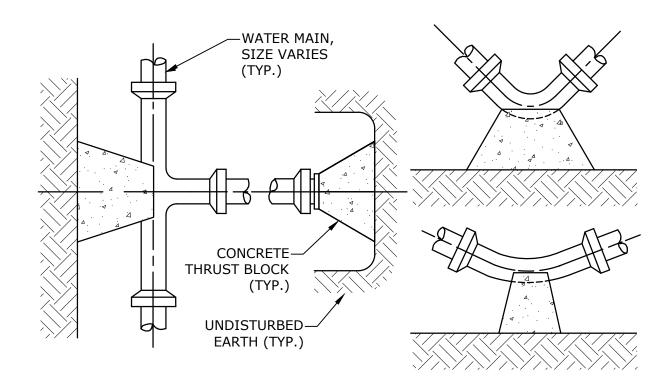
**POLYETHYLENE LINER** 

NO SCALE

Tighe&Bond



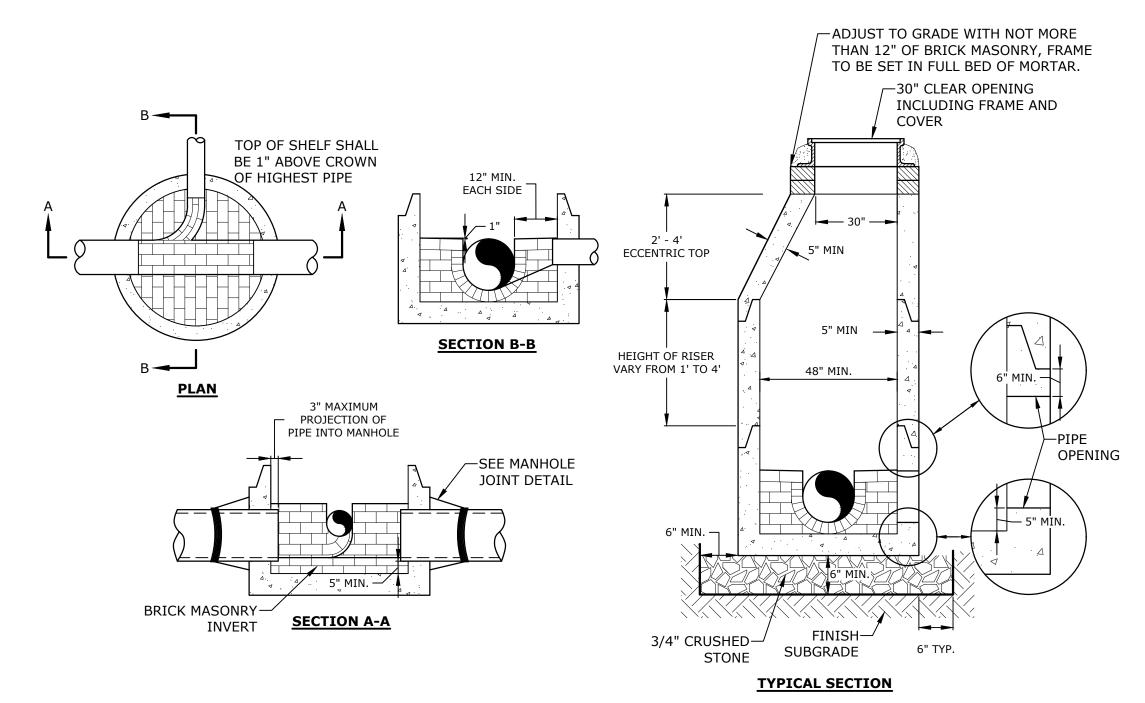
## STANDARD SERVICE LATERAL CONNECTION NO SCALE



00psi	SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL							
2	REACTION	REACTION PIPE SIZE						
(F =	TYPE	4"	6"	8"	10"	12"		
SURE	A 90°	0.89	2.19	3.82	11.14	17.24		
PRES	B 180°	0.65	1.55	2.78	8.38	12.00		
1. 1	C 45°	0.48	1.19	2.12	6.02	9.32		
TEST	D 22-1/2°	0.25	0.60	1.06	3.08	4.74		
	E 11-1/4°	0.13	0.30	0.54	1.54	2.38		

- 1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
- 2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF
- 3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST
- BLOCKS. 4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
- 5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

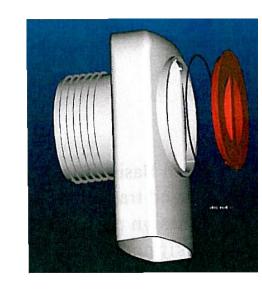
## THRUST BLOCKING DETAIL NO SCALE



- . INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
- 2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. 3. INVERT BRICKS SHALL BE LAID ON EDGE.
- 4. TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
- 5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY EJ. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
- 6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
- 7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM C478-06.

## **SEWER MANHOLE**

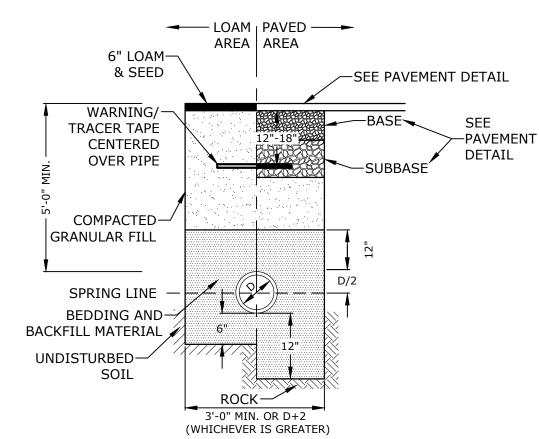
NO SCALE



1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP

- MANUFACTURED BY KLEANSTREAM (NO EQUAL) 2. INSTALL DEBRIS TRAP TIGHT TO
- INSIDE OF STRUCTURE 3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

## "ELIMINATOR" OIL **FLOATING DEBRIS TRAP**



- SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
- 2. WATER MAIN SHALL BE INSTALLED PER CITY OF PORTSMOUTH STANDARDS. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.

## WATER TRENCH

NO SCALE

## **PROPOSED SINGLE-FAMILY SUBDIVISION**

## CHINBURG **PROPERTIES**

SHEARWATER DRIVE, PORTSMOUTH, NH

			_
IARK	DATE	DESCRIPTION	
ROJE	CT NO:	C5194-001	
ATE:		08/01/2023	
ILE:	C.	5194-001_C-DTLS.dwg	
RAWI	N BY:	NHW/CJK	
ESIG	NED/CHECKED	BY: NAH	
PPRO	VED BY:	PMC	

**DETAILS SHEET** 

SCALE: AS SHOWN

C-504

### **Owner's Letter of Authorization**

This letter is to authorize <u>Chinburg Properties</u> (Applicant) to represent the interest of <u>Bantry Bay Assoc LLC</u> (owner) in all site design and permitting matters for the proposed subdivision and development project located at Shearwater Drive in Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block 2 Lot 1900. This authorization shall include any required signatures for local, state and federal permit applications.

John C Madden	dotloop verified 07/31/23 8:53 PM ADT T3Q8-ENTB-I9XF-SIFG	John C. Madden	
Sign	ature	Print Name	Date
Colton Gove	dotloop verified 07/31/23 8:02 PM EDT PRVL-UPND-TPFR-4TAW	Colton Gove	
Witr	1855	Print Name	Date

(C5194-001\_Owner Authorization Form.docx)

## **Agent Letter of Authorization**

I, <u>Eric Chinburg</u> , of <u>Chinburg Properties</u> (Applicant) hereby give <u>Ti</u> (site/civil Engineer) permission to be my agent in all site design and permitting the proposed subdivision and development project located at Shearwate Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block This authorization shall include any required signatures for local, state and fed applications.				
Eric J Chinburg  dottoop verifie 07/29/23 10:06 AUQB-4CWG-4	AM EDT	Eric Chinburg		
Signature		Print Name	Date	
			٦	
Colton Gove dotloop verifi 07/29/23 10:0 52J9-58AD-W	8 AM EDT	Colton Gove		
Witness		Print Name	Date	



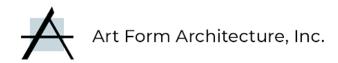
## CARBONARA CLASSIC W WING 1027.127 GL

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

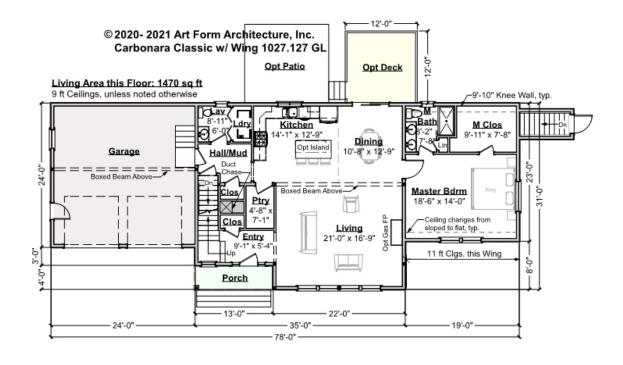


		200			
LIVING AREA	2885 <sup>FT</sup>	BEDROOMS	5	BATHROOMS	3.5
Main	2885 <sup>FT</sup>	Main	3	Main	3.5
Future	0 FT	Future	2	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



## CARBONARA CLASSIC W WING - 1<sup>ST</sup> FLOOR 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



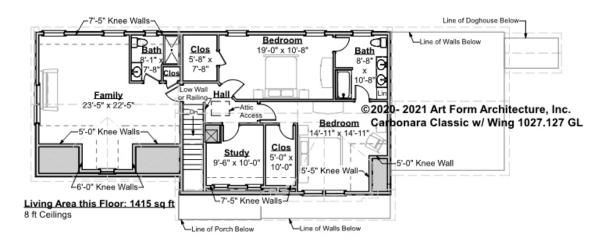
### CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1470 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	1470.00 FT	Main	1.00	Main	1.50
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## CARBONARA CLASSIC W WING - 2<sup>ND</sup> FLOOR 1027.127 GL

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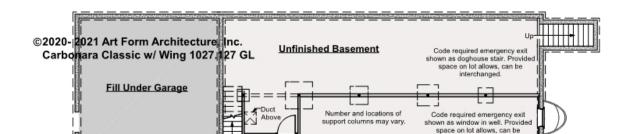
### CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1415 <sup>FT</sup>	F1 BEDROOMS	4	F1 BATHROOMS	2
Main	1415.00 <sup>FT</sup>	Main	2.00	Main	2.00
Future	0.00 FT	Future	2.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## CARBONARA CLASSIC W WING -BASEMENT 1027.127 GL

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**Unfinished Basement** 

Unfin Basement interchanged.

CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

F1 LIVING AREA	0 <sup>FT</sup>	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## CARBONARA CLASSIC W WING -FRONT ELEVATION 1027.127 GL





## CARBONARA CLASSIC W WING -RIGHT ELEVATION 1027.127 GL





## CARBONARA CLASSIC W WING -REAR ELEVATION 1027.127 GL





## CARBONARA CLASSIC W WING - LEFT ELEVATION 1027.127 GL





## **DAMARA** 861.124 GR

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

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Width 60.00 FT

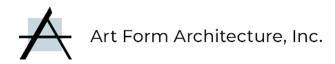
Depth 27.33 FT

Height 25.08 FT

LIVING AREA	2029 FT
Main	2029 FT
Future	0 FT
2 <sup>nd</sup> Unit	0 FT

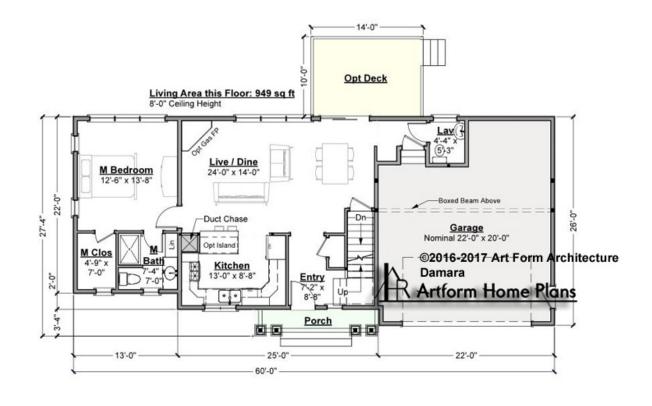
BEDROOMS	4
Main	4
Future	0
2 <sup>nd</sup> Unit	0

BATHROOMS	3.5
Main	3.5
Future	0
2 <sup>nd</sup> Unit	0



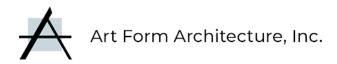
## DAMARA - 1<sup>ST</sup> FLOOR 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	949 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	949.00 FT	Main	1.00	Main	1.50
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



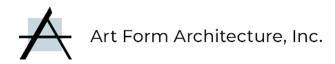
## DAMARA - 2<sup>ND</sup> FLOOR 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



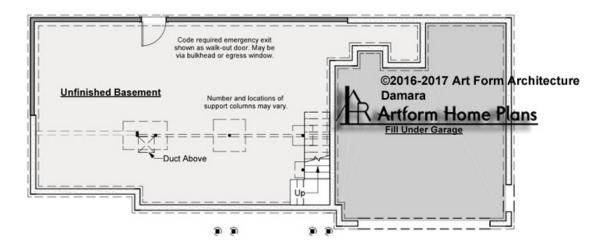
CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1080 <sup>FT</sup>	F1 BEDROOMS	3	F1 BATHROOMS	2
Main	1080.00 FT	Main	3.00	Main	2.00
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## DAMARA - BASEMENT 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

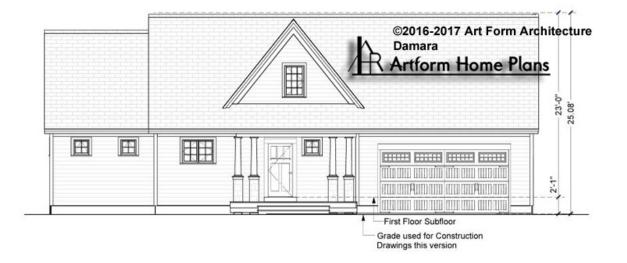


### CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

F1 LIVING AREA	0 <sup>FT</sup>	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 <sup>FT</sup>	Main	0.00	Main	0.00
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## **DAMARA - FRONT ELEVATION** 861.124 GR





## DAMARA - RIGHT ELEVATION 861.124 GR

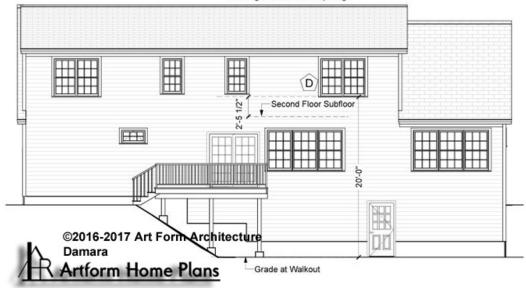




## **DAMARA - REAR ELEVATION** 861.124 GR

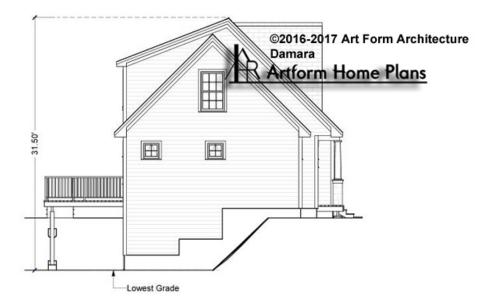
Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

D Second floor windows over 8 ft first floors over walkout basements DO qualify as egress without lowering window. If first floor is raised to 9 ft, window will need to be lowered, which triggers other requirements, such as window guards and/or tempering





## **DAMARA - LEFT ELEVATION** 861.124 GR





## Art Form Architecture, Inc.

## FIONA 395.124.v5 GR

We have this in reverse as well (Garage on the Left), at no additional charge.

Reverse plan available.

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.



Depth 32.00 FT

3

0

**Width** 68.00 FT

LIVING AREA	2804 <sup>FT</sup>	BEDROOMS
Main	2804 <sup>FT</sup>	Main
Future	0 FT	Future
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit

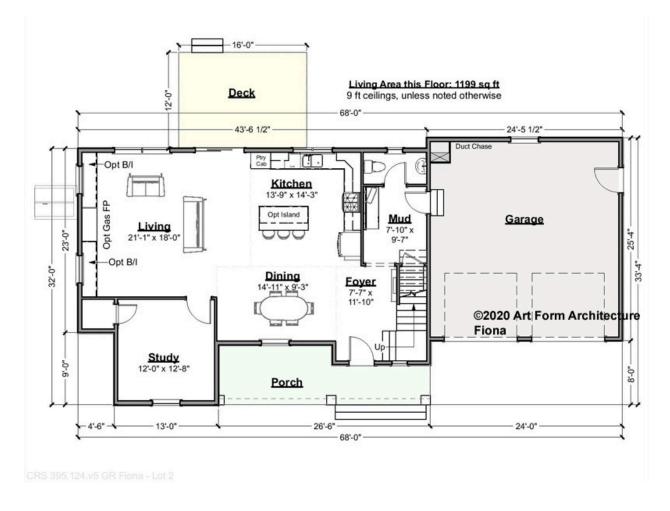
Height 26.16 FT

BATHROOMS	2.5
Main	2.5
Future	0
2 <sup>nd</sup> Unit	0



## FIONA - 1<sup>ST</sup> FLOOR 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



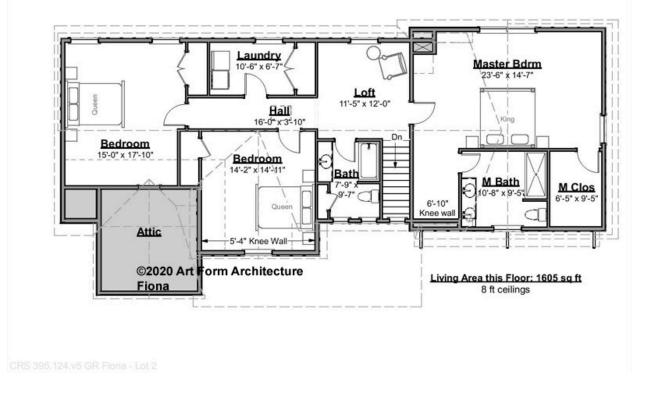
CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1199 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	0.5
Main	1199.00 FT	Main	0.00	Main	0.50
Future	0.00 FT	Future	1.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## FIONA - 2<sup>ND</sup> FLOOR 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



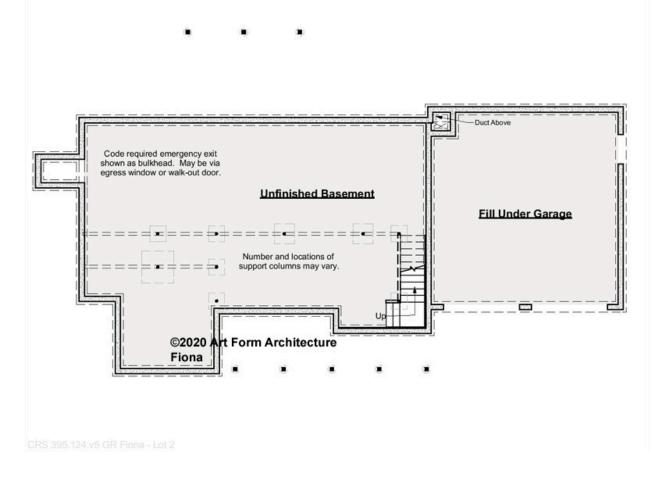
CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1605 <sup>FT</sup>	F1 BEDROOMS	3	F1 BATHROOMS	2
Main	1605.00 FT	Main	3.00	Main	2.00
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



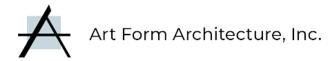
## FIONA - BASEMENT 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



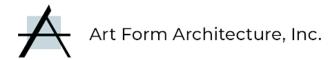
CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 <sup>FT</sup>	Main	0.00	Main	0.00
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## FIONA - FRONT ELEVATION 395.124.v5 GR



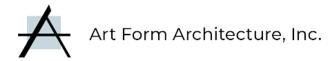


## FIONA - RIGHT ELEVATION 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

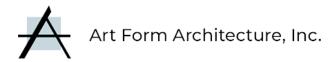


CRS 395,124.v5 GR Fiona - Lot



# FIONA - REAR ELEVATION 395.124.v5 GR





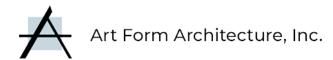
# FIONA - LEFT ELEVATION 395.124.v5 GR

—

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CRS 395, 124, v5 GR Fiona - Lot



### FIONA - REAR RENDER 395.124.v5 GR



### **Garnet Premier**

384.129.v27 GR (5/5/2022)

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- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

Floor plan layout and/or Structural Changes:

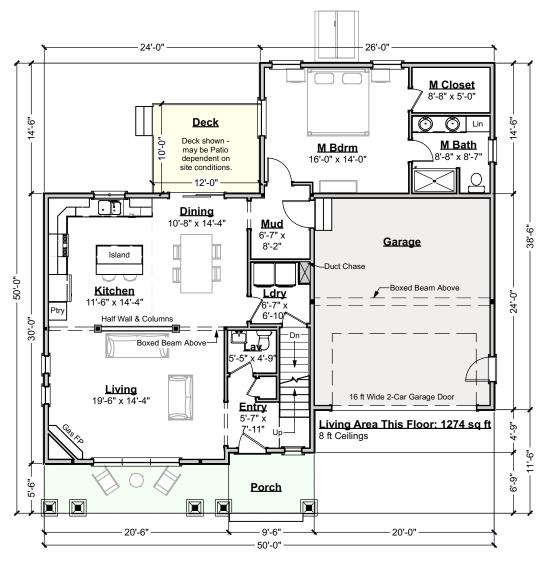
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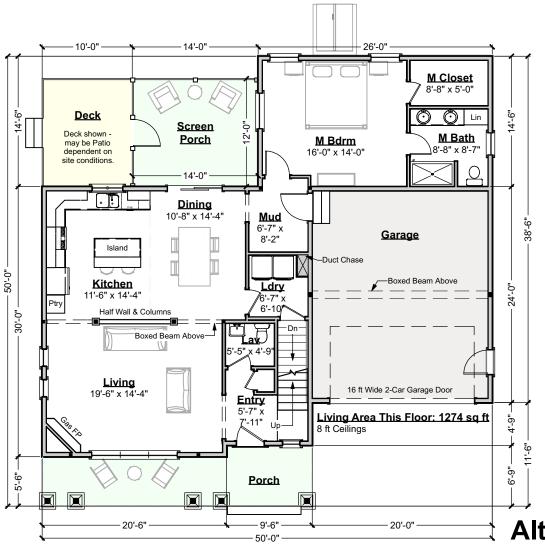


**First Floor Plan** 

554.126.v64 GR (5/5/2022)

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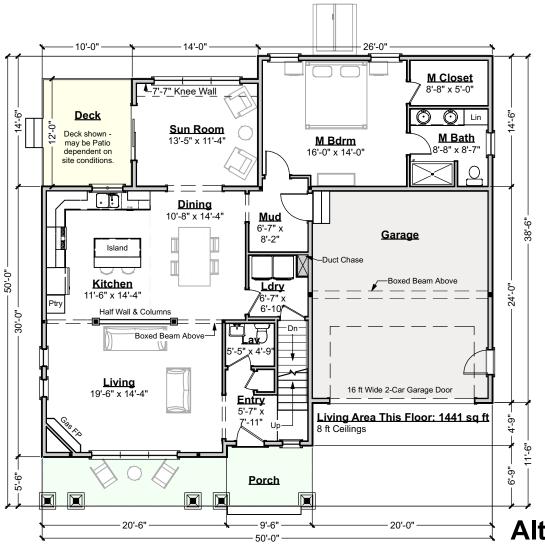


Alternate First Floor Plan - Screen Porch

554.126.v65 GR (5/5/2022)

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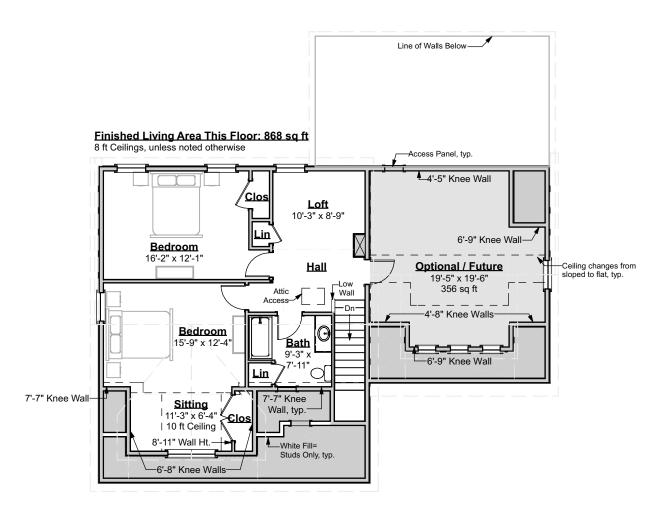




Alternate First Floor Plan - Sun Room

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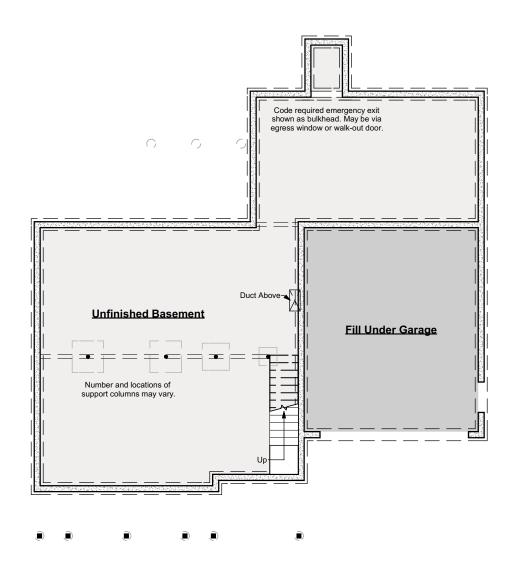


### **Second Floor Plan**



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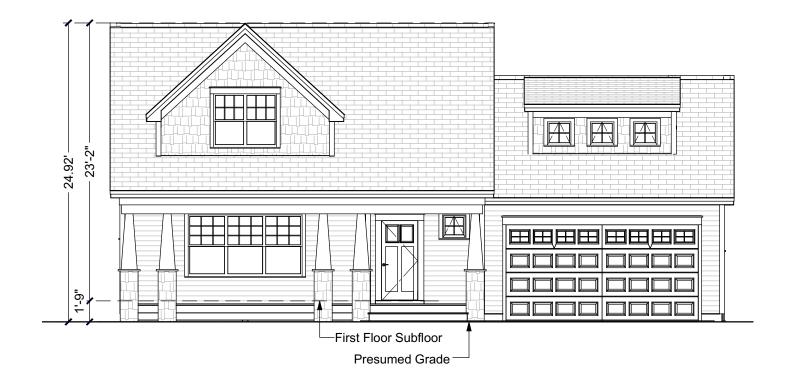


## **Foundation Plan**

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## **Front Elevation**

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Right Elevation Scale: 1/8" = 1'-0"

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**Rear Elevation** 

Scale: 1/8" = 1'-0"

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## **Left Elevation**

Scale: 1/8" = 1'-0"



# OPAL MARQUISE CLASSIC, 30X28 370.124.v19 GL

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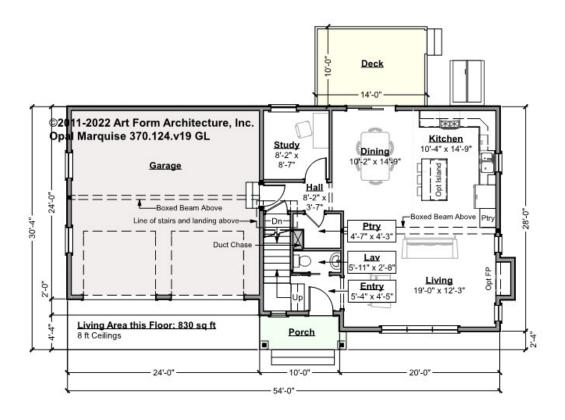


LIVING AREA	2104 <sup>FT</sup>	BEDROOMS	5	BATHROOMS	3.5
Main	2104 <sup>FT</sup>	Main	3	Main	2.5
Future	0 FT	Future	2	Future	1
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



# OPAL MARQUISE CLASSIC, 30X28 - 1<sup>ST</sup> FLOOR 370.124.v19 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

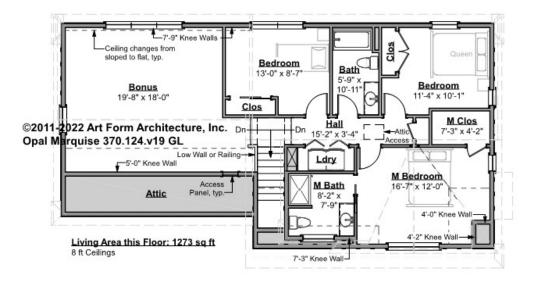
F1 LIVING AREA	830 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	0.5
Main	830.00 FT	Main	0.00	Main	0.50
Future	0.00 <sup>FT</sup>	Future	1.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# OPAL MARQUISE CLASSIC, 30X28 - 2<sup>ND</sup> FLOOR 370.124.v19 GL

We're listing a future bath for this floor because there's enough head height and floor space in the "bonus" to add one.

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



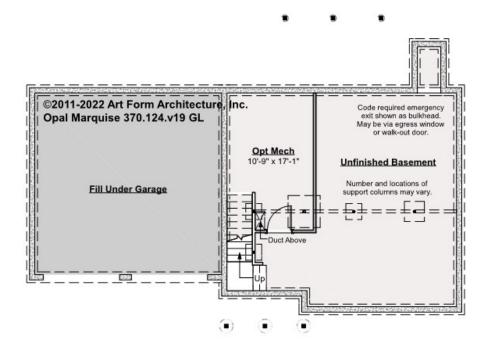
#### CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

F1 LIVING AREA	1274 <sup>FT</sup>	F1 BEDROOMS	4	F1 BATHROOMS	3
Main	1274.00 <sup>FT</sup>	Main	3.00	Main	2.00
Future	0.00 FT	Future	1.00	Future	1.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# OPAL MARQUISE CLASSIC, 30X28 - BASEMENT 370.124.v19 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

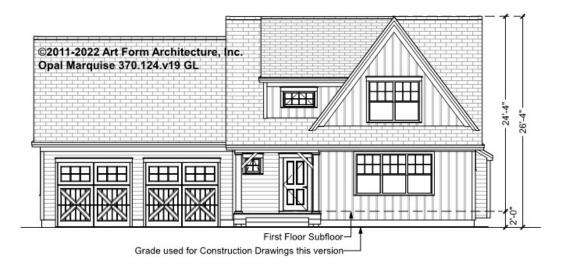


#### CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 <sup>FT</sup>	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# OPAL MARQUISE CLASSIC, 30X28 - FRONT ELEVATION 370.124.v19 GL





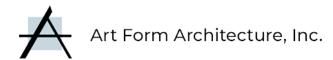
# OPAL MARQUISE CLASSIC, 30X28 - RIGHT ELEVATION 370.124.v19 GL



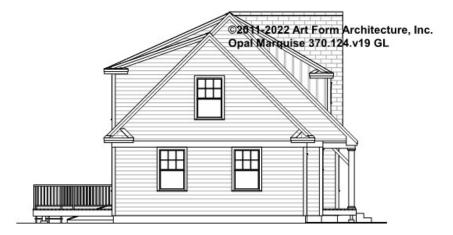


# OPAL MARQUISE CLASSIC, 30X28 - REAR ELEVATION 370.124.v19 GL





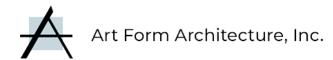
# OPAL MARQUISE CLASSIC, 30X28 - LEFT ELEVATION 370.124.v19 GL





# OPAL MARQUISE CLASSIC, 30X28 - REAR RENDER 370.124.v19 GL





# PEPPERCORN CLASSIC WITH WING 975.127.v3 GL

This plan is Tier 2 because original was for Portland Maine that doesn't allow us to give you the choices we normally give. Tier 2 gives us the time to add that back in.

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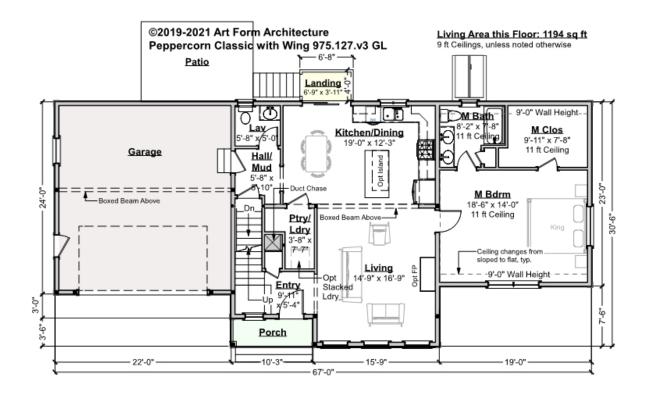


<b>Width</b> 67.00 「		<b>Depth</b> 30.60 「		Height 25.66 <sup>-1</sup>	
LIVING AREA	2294 <sup>FT</sup>	BEDROOMS	3	BATHROOMS	2.5
Main	2294 <sup>FT</sup>	Main	3	Main	2.5
Future	0 FT	Future	0	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



# PEPPERCORN CLASSIC WITH WING - 1<sup>ST</sup> FLOOR 975.127.v3 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



#### CLG HT SHOWN 9'-0" CLG HT POSSIBLE 9'-0"

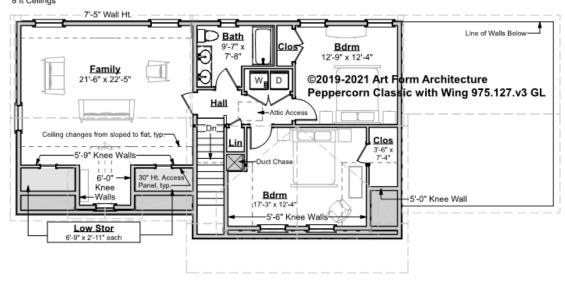
F1 LIVING AREA	1194 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	1194.00 FT	Main	1.00	Main	1.50
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# PEPPERCORN CLASSIC WITH WING - 2<sup>ND</sup> FLOOR 975.127.v3 GL

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### Living Area this Floor: 1100 sq ft



#### CLG HT SHOWN 8'-0" CLG HT POSSIBLE 9'-0"

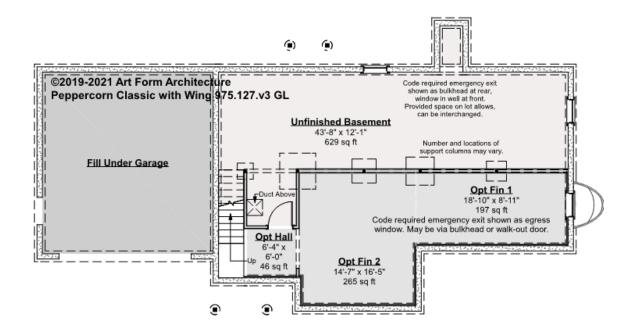
F1 LIVING AREA	1100 <sup>FT</sup>	F1 BEDROOMS	2	F1 BATHROOMS	1
Main	1100.00 FT	Main	2.00	Main	1.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



### PEPPERCORN CLASSIC WITH WING -BASEMENT 975.127.v3 GL

The construction drawings show this lower level as finished. We don't include that in our data chart so Search isn't misleading. Everybody knows you can finish a basement!

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#### CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

F1 LIVING AREA	0 <sup>FT</sup>	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00

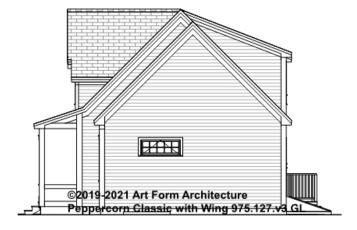


### PEPPERCORN CLASSIC WITH WING -FRONT ELEVATION 975.127.v3 GL





### PEPPERCORN CLASSIC WITH WING -RIGHT ELEVATION 975.127.v3 GL





### PEPPERCORN CLASSIC WITH WING -REAR ELEVATION 975.127.v3 GL





### PEPPERCORN CLASSIC WITH WING -LEFT ELEVATION 975.127.v3 GL



## **Shelley with Sun**

874.125.v3 GR (6/7/2023)

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- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

Floor plan layout and/or Structural Changes:

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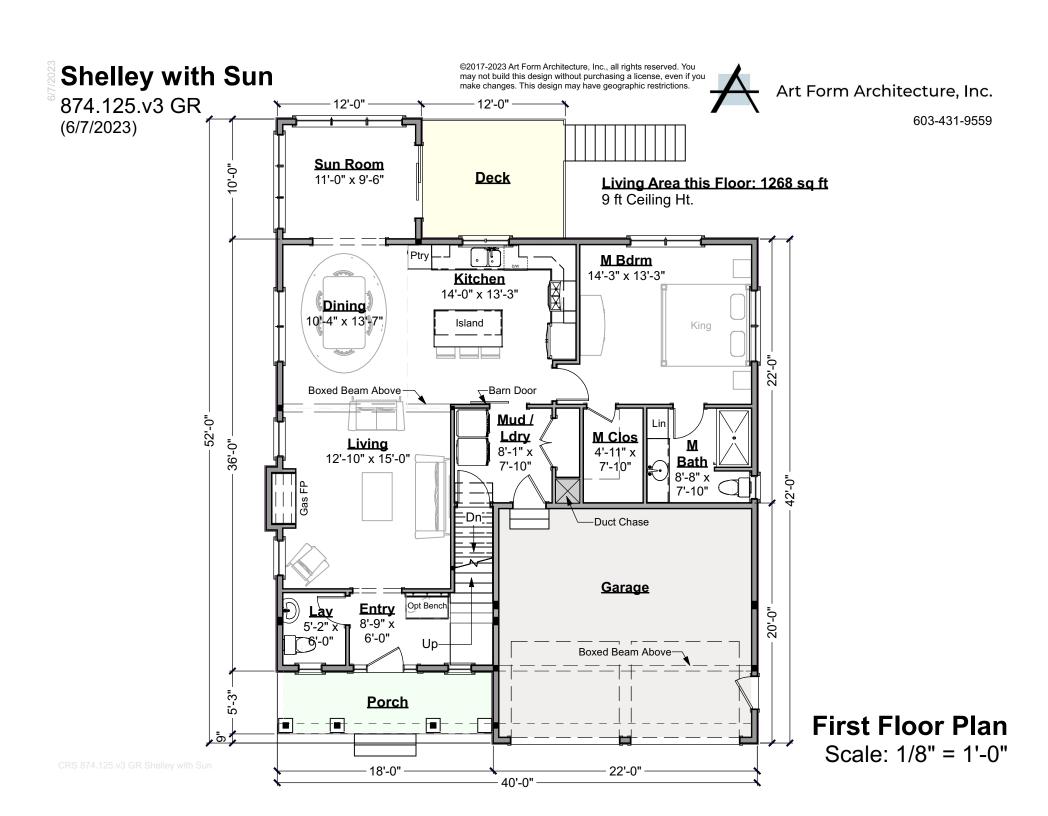




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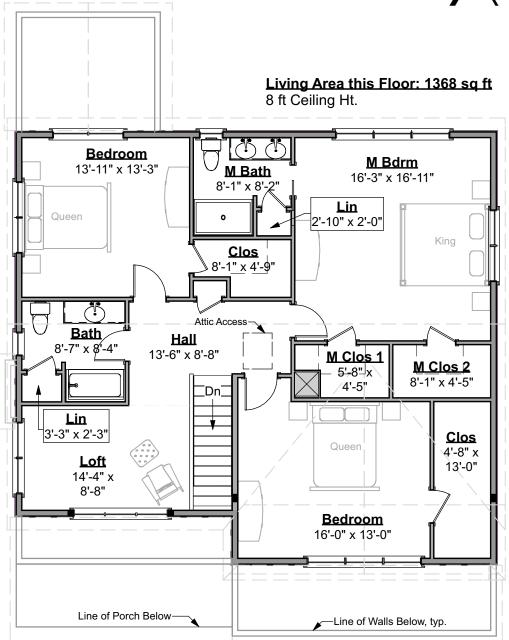
874.125.v3 GR (6/7/2023)

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**Second Floor Plan** 

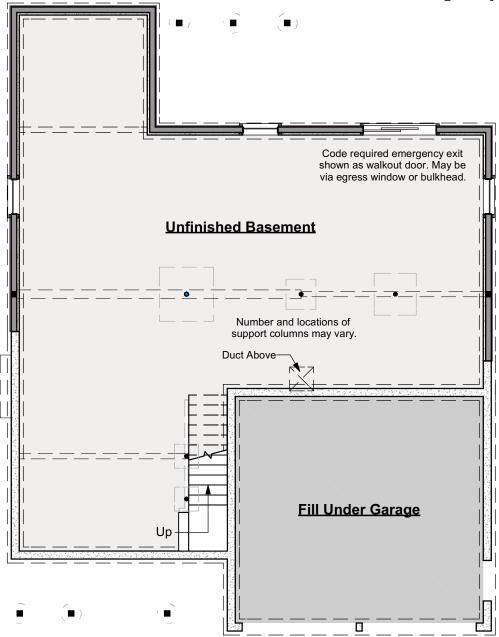
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**Foundation Plan** 



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### **Front Elevation**

874.125.v3 GR (6/7/2023)

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# Right Elevation Scale: 1/8" = 1'-0"

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**Rear Elevation** 

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### **Left Elevation**

# Sweet Cherry Peekaboo

1020.124.v2 GR (7/25/2022)

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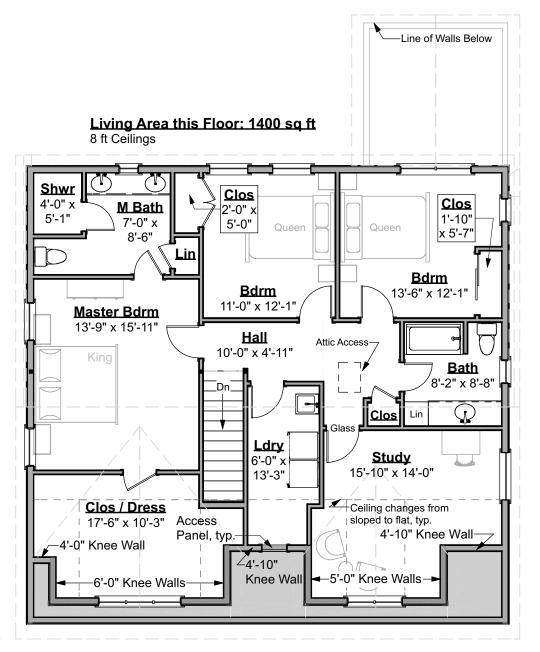


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Second Floor Plan

### **Sweet Cherry Peekaboo**

1020.124.v2 GR (7/25/2022)

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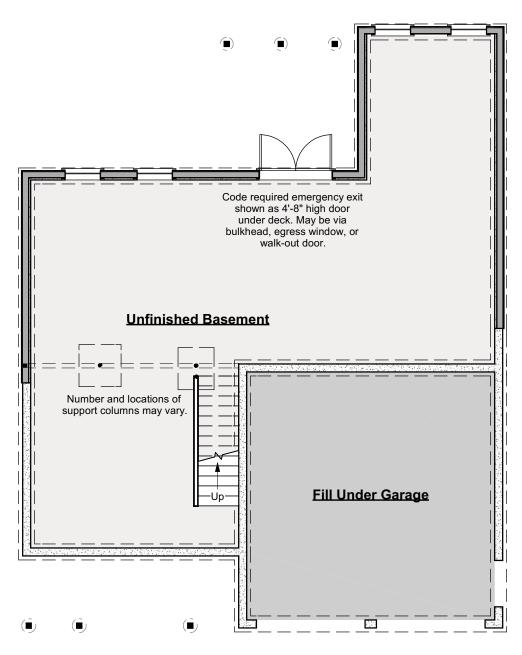


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### IMPORTANT BASEMENT NOTES:

- Unless an area is specifically designed as "no posts", additional posts may be required.
- Unless specifically noted otherwise, basement beams will be framed below the floor joists.
- Basement spaces accommodate utilities, mechanical equipment and the horizontal movement of plumbing pipes, electrical wires and heating ducts. Both as part of any Construction Drawings produced based on this design and as future decisions made by the builder, changes to accommodate these items must be expected.
- Basement window locations are dependent on site conditions and utility locations. Clarify number and location with your builder.



Foundation Plan Scale: 1/8" = 1'-0"



603-431-9559



Front Elevation



603-431-9559



Right Elevation Scale: 1/8" = 1'-0"



603-431-9559



Rear Elevation



603-431-9559



Left Elevation