

AMENDED
APPLICATION OF HOGSWAVE, LLC
913 Sagamore Avenue, Portsmouth, NH
Map 223, Lot 27

APPLICANT'S NARRATIVE

I. **THE PROPERTY:**

The applicant, Hogswave, LLC, owns the property located at 913 Sagamore Avenue, upon which there currently exists a single family dwelling and two accessory outbuildings. The LLC's principal, Heidi Ricci, owns the property next door at 912 Sagamore Avenue, which has been her family's primary residence since 2015.

The 913 Sagamore property is large, irregularly "L-shaped" parcel that is actually set off from the main travel way by two properties. It is bounded to the south by Sagamore Creek. The northern portion of the property is wetlands. As noted, there are two existing outbuildings on the property and a single-story dwelling. It is in the Waterfront Business district. The existing dwelling is a pre-existing non-conforming use in this zone, however, four of the six lots bounded by the property have residential uses. The property has no frontage on Sagamore Avenue but is accessed by a private shared driveway that connects to it.

When the applicant acquired 913 Sagamore in November of 2019, between this lot and 912 Sagamore, there were five boat rentals total on both docks combined. The applicant has increased/upgraded the dock space on each lot to accommodate eight boats total on each dock, for a total of 16 boats between the two docks, which the applicant has leased to both commercial fishermen and recreational mariners. The applicant has thus had a demonstrable impact in advancing the purposes of the Waterfront Business district by encouraging and supporting business uses that depend on the water resource. The applicant wishes to continue and support and expand this endeavor by offering additional Waterfront Business services and desires to replace the existing 750 square foot utility shed furthest from the creek with a new 1,000 square foot "boathouse" structure which will include an apartment above and storage of waterfront business items such as trailers, floats, lines, etc. on the ground floor. The applicant also seeks to rebuild the pre-existing 960 SF dwelling on approximately same footprint, with a vertical expansion that will increase the square footage to approximately 1,840 square feet¹. It is the applicant's experience that residential use is necessary to support the water-dependent business uses along the creek and this project will permit the applicant to continue to do so.

¹ The exact size and dimensions of the proposed expanded dwelling will be subject to the applicant obtaining a Conditional Use Permit from the Planning Board, as well as a NH DES Wetlands Permit.

The Ricci's intend to move into the newly expanded pre-existing dwelling as their primary residence. The new structure replacing the utility shed will have a 1,000 square foot footprint, and the increase in coverage will not in any way overcrowd this lot, which exceeds three acres. It will replace the existing outbuilding in the similar location. Because the pre-existing, non-conforming dwelling sits in close proximity to the water, the proposed expansion required a review by the Conservation Commission which was unanimously approved on October 9, 2024. The applicant will also require a conditional use permit from the Planning Board, as well as a Wetlands Permit from the NH DES.

The proposal requires variances from the following provisions of the ordinance:

- 10.531 to allow frontage of 0 feet where 100 is required;
- 10.334 to allow a nonconforming residential use to be extended into another part of the remainder of the lot; and
- 10.331 to allow a lawful nonconforming residential use to be extended or enlarged.

II. THE VARIANCES:

The Applicant believes all criteria necessary to grant the requested variances are met.

Granting the requested variances will not be contrary to the spirit and intent of the ordinance nor will it be contrary to the public interest. The “public interest” and “spirit and intent” requirements are considered together pursuant to Malachy Glen Associates v. Chichester, 152 NH 102 (2007). The test for whether or not granting a variance would be contrary to the public interest or contrary to the spirit and intent of the ordinance is whether or not the variance being granted would substantially alter the characteristics of the neighborhood or threaten the health, safety and welfare of the public.

The essential characteristics of the neighborhood would not be altered by these variances. Residential use currently exists on this lot and on most of those that abut it, notwithstanding the preclusion of such use under the ordinance. A second apartment dwelling on a lot that is more than seven times the minimum lot size, which will replace an existing outbuilding in the similar location, will not have any impact on the essential characteristics of the neighborhood. The expansion of the existing dwelling is likewise consistent with the essential characteristics of the neighborhood.

As noted above, the proposed expansion of the existing dwelling will require further review by multiple municipal and state authorities, further assuring that the public health, safety and welfare will be adequately addressed and protected.

Substantial justice would be done by granting the variance. Whether or not substantial justice will be done by granting a variance requires the Board to conduct a balancing test. If the hardship upon the owner/applicant outweighs any benefit to the general public in denying the variance, then substantial justice would be done by granting the variance. It is substantially just to allow a property owner the reasonable use of his or her property.

In this case, there is no benefit to the public in denying the variances that is not grossly outweighed by the hardship upon the owner. The lack of frontage is a pre-existing condition that cannot be remedied. The project will also introduce a much-needed additional unit to the City's inadequate housing stock. The expansion of residential use on a very large lot that already has such use and is surrounded on three sides by lots with residential use is necessary to support the expanded waterfront business use.

Values of surrounding properties will not be diminished.

The proposed second dwelling and the expansion of the existing dwelling will be new, code-compliant construction and will include the introduction of associated landscaping and site improvements. The existing outbuilding is somewhat substandard and will be removed. The values of properties in the vicinity will be enhanced.

There are special conditions associated with the property which prevent the proper enjoyment of the property under the strict terms of the zoning ordinance and thus constitute unnecessary hardship. The property is clearly unique. It has no frontage on Sagamore Avenue but is accessible through a private driveway. It is surrounded on three sides by properties with residential uses despite such use being prohibited in the Waterfront Business zone. It is unusually large, more than three acres, and is bounded by the creek to the south and a sizeable amount of wetlands to its north. It has a pre-existing, non-conforming dwelling entirely within the tidal wetlands buffer.

The use is a reasonable use. The property has had residential use on it since at least 1970 according to City tax records. The surrounding properties have residential uses on them as well. The lot is clearly large enough to support a second dwelling designed to support the ongoing water-related business activities.

There is no fair and substantial relationship between the purpose of the ordinance as it is applied to this particular property. The frontage requirement cannot be met on this property. The prohibition against residential use cannot be applied to the pre-existing dwelling on the property, but that dwelling cannot be expanded and modernized without zoning relief. Rigid application of the ordinance in this instance would do nothing to promote purposes of the Waterfront Business district.

Accordingly, the proposed use requested here would not in any way frustrate the purpose of the ordinance and there is no fair and substantial relationship between the purpose of the ordinance and its application to this property.

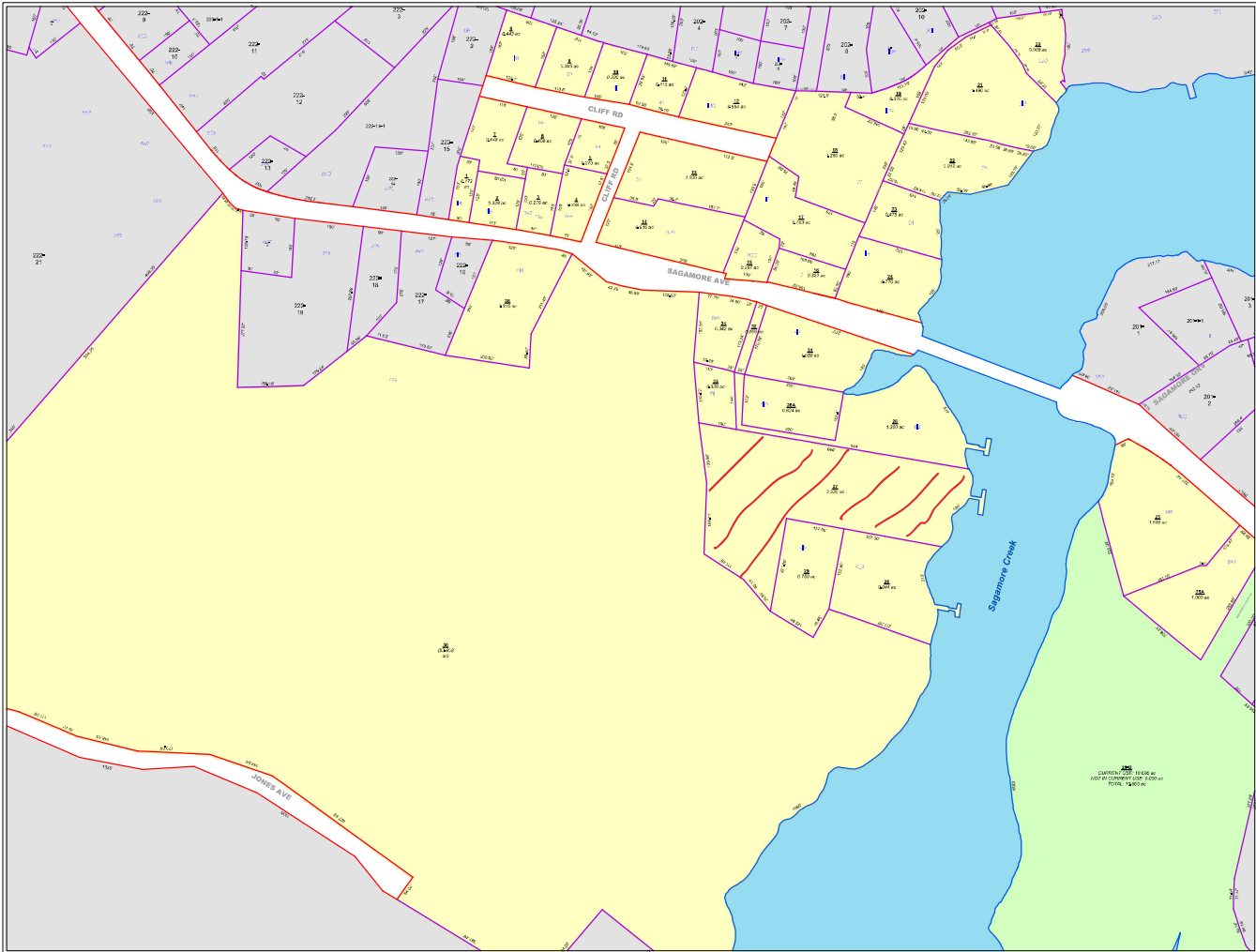
III. Conclusion.

For the foregoing reasons, the applicant respectfully requests the Board grant the variances as requested and advertised.

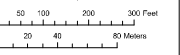
Respectfully submitted,

Dated: October 15, 2024

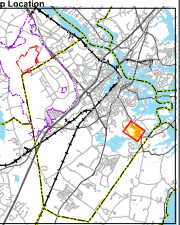
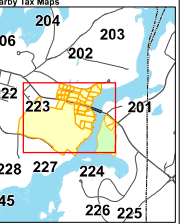
By: *John K. Bosen*
John K. Bosen, Esquire



- Partial Legend**
- See the cover sheet for the complete legend
- 204 Lot or Block Number
 - 230.00 Parcel area in acres (sector square feet)
 - 22 Address number
 - 230.00 Parcel number from a neighboring map
 - 230.00 Parcel the dimension
 - 230.00 Street name
- SIMS AVENUE
- Parcel boundary
 - Parcel boundary
 - Water boundary
 - Structure (1994 data)
 - Parcel covered by the map
 - Parcel not a neighboring map (see other map for current status)

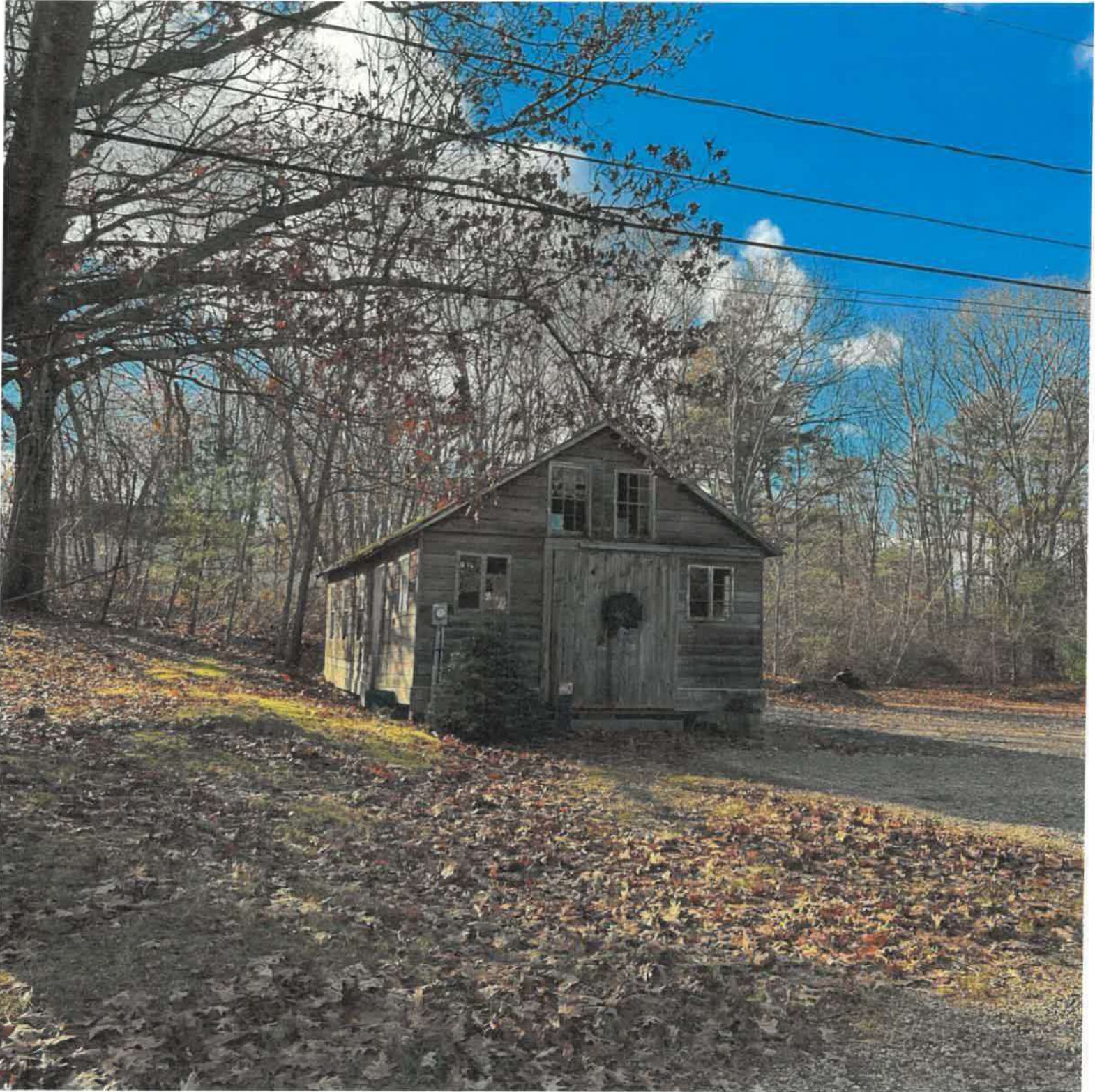


This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2020 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.

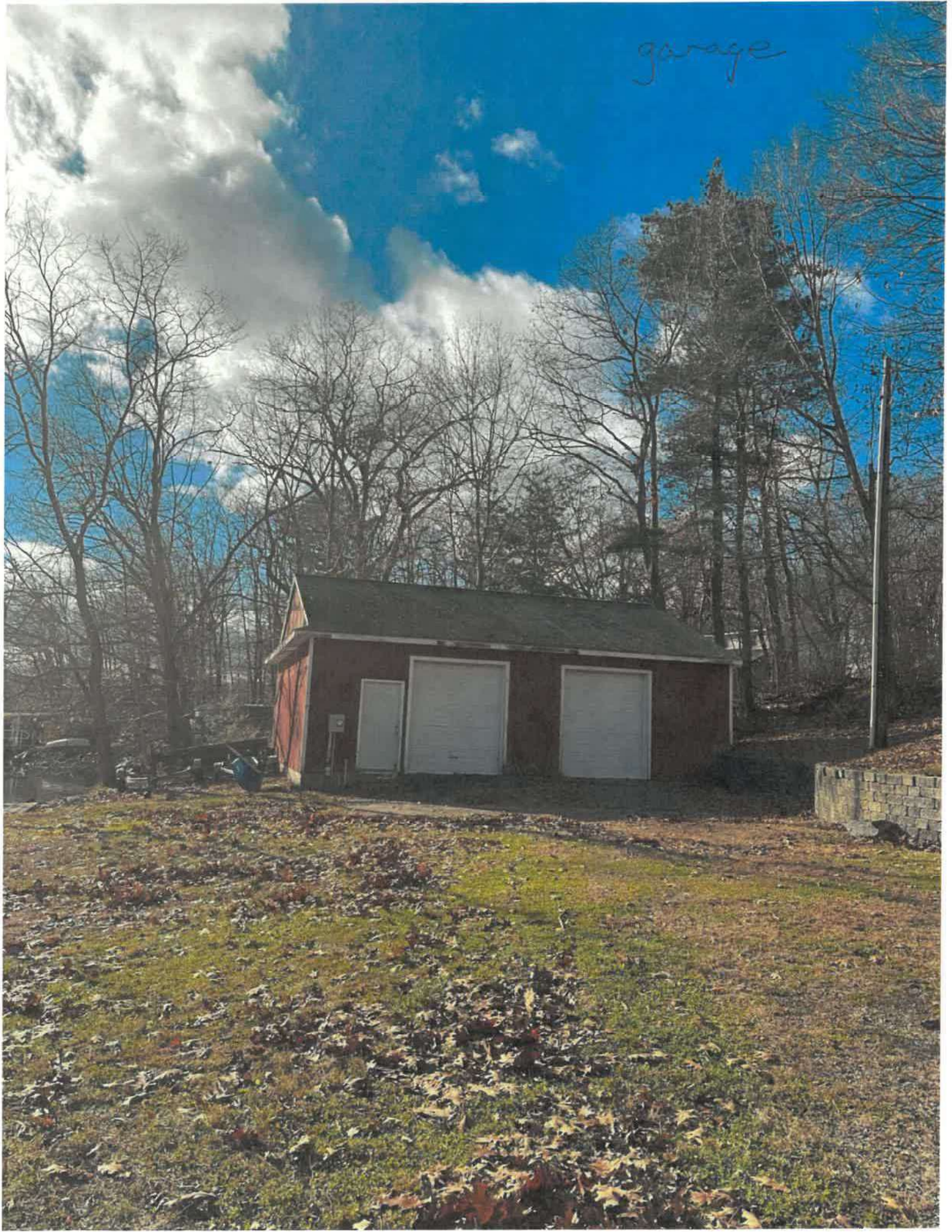


Portsmouth, New Hampshire
2022
Tax Map 223

"Boathouse"

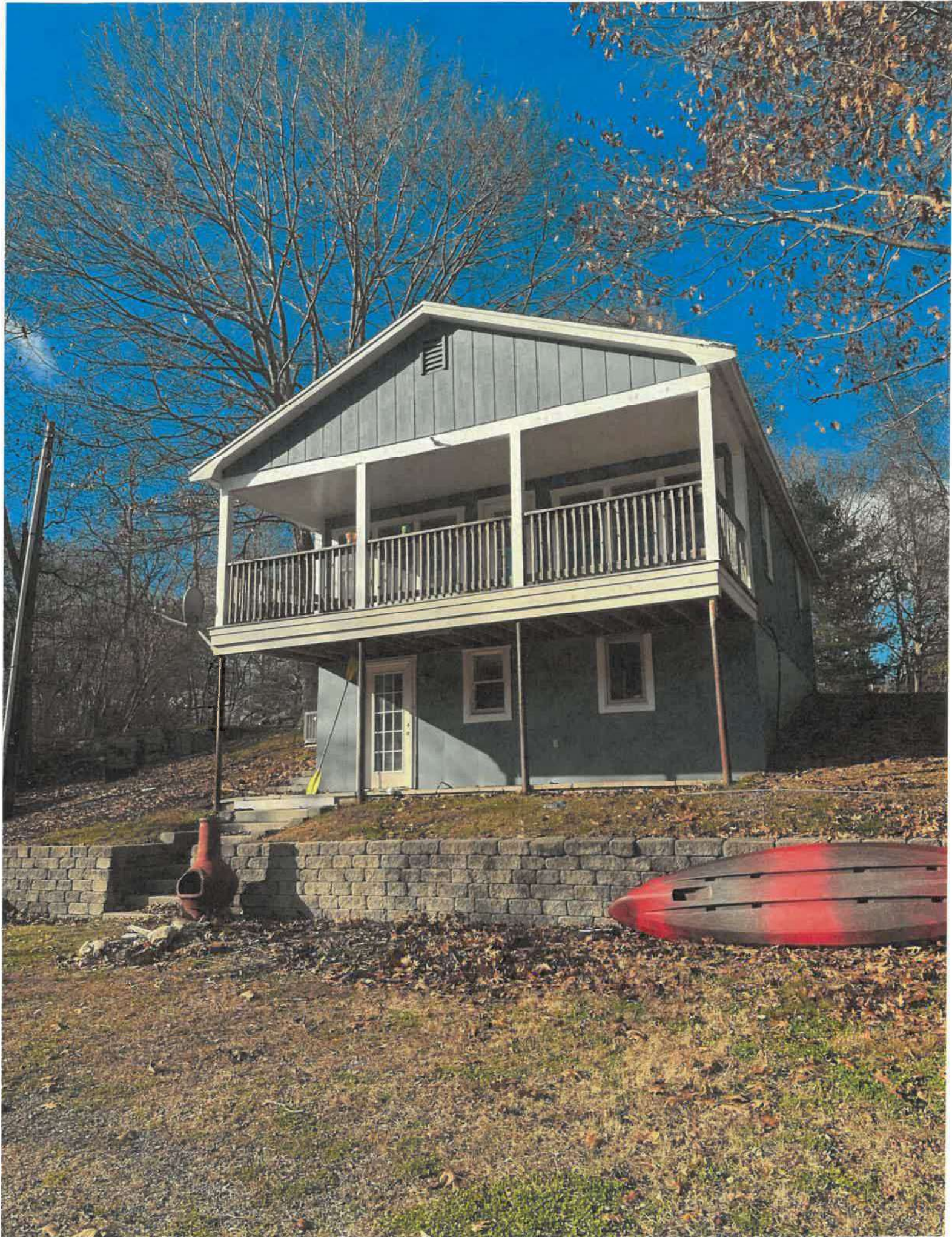


garage



dwelling







CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

CONSERVATION COMMISSION

October 11, 2024

Hogswave LLC.
912 Sagamore Avenue
Portsmouth, New Hampshire 03801

RE: Wetland Conditional Use Permit application for property located at 913 Sagamore Avenue, Portsmouth, NH. (LU-23-141)

Dear Property Owner:

The Conservation Commission, at its regularly scheduled meeting of **Wednesday, October 9, 2024**, considered your application for a Wetland Conditional Use Permit for the demolition of an existing residential structure and the construction of a new home, reconfiguration of the existing gravel driveway, the addition of a pervious paver patio, deck, removal of impervious surfaces, reconstruction of a retaining wall, grading, utility connections and landscaping. The existing conditions within the 100' wetland buffer include a one-story residential structure with 1,110 s.f. of impact and approximately 900 s.f. of impervious pavement. This application proposes the removal of the 1,110 s.f. of building impact within the buffer and the removal of 900 s.f. of pavement. The applicant is proposing to permanently impact approximately 7,727 s.f. of the 100' wetland buffer, compared to the existing condition of 7,743 s.f. of permanent impact.. Said property is shown on Assessor Assessor Map 223 Lot 27 and lies within the Waterfront Business (WB). As a result of said consideration, the Commission voted to **recommend approval** of this application to the Planning Board with the following stipulations:.

1. The proposed Northern Red Oaks should be at least of 2" caliper sizing.
2. The Conservation Commission recommends that the applicant follow NOFA standards on the site: https://nofaolc.wpenginepowered.com/wp-content/uploads/2019/10/nofa_organic_land_care_standards_6thedition_2017_opt.pdf
3. Wetland boundary markers shall be permanently installed prior the start of construction in locations noted on plan set.

This matter will be placed on the agenda for the Planning Board meeting scheduled for **Thursday, December 19, 2024**. One (1) hard copy of any revised plans and/or exhibits as well as an updated electronic file (in a PDF format) must be filed in the Planning Department and uploaded to the online permit system no later than Wednesday, November 27, 2024.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

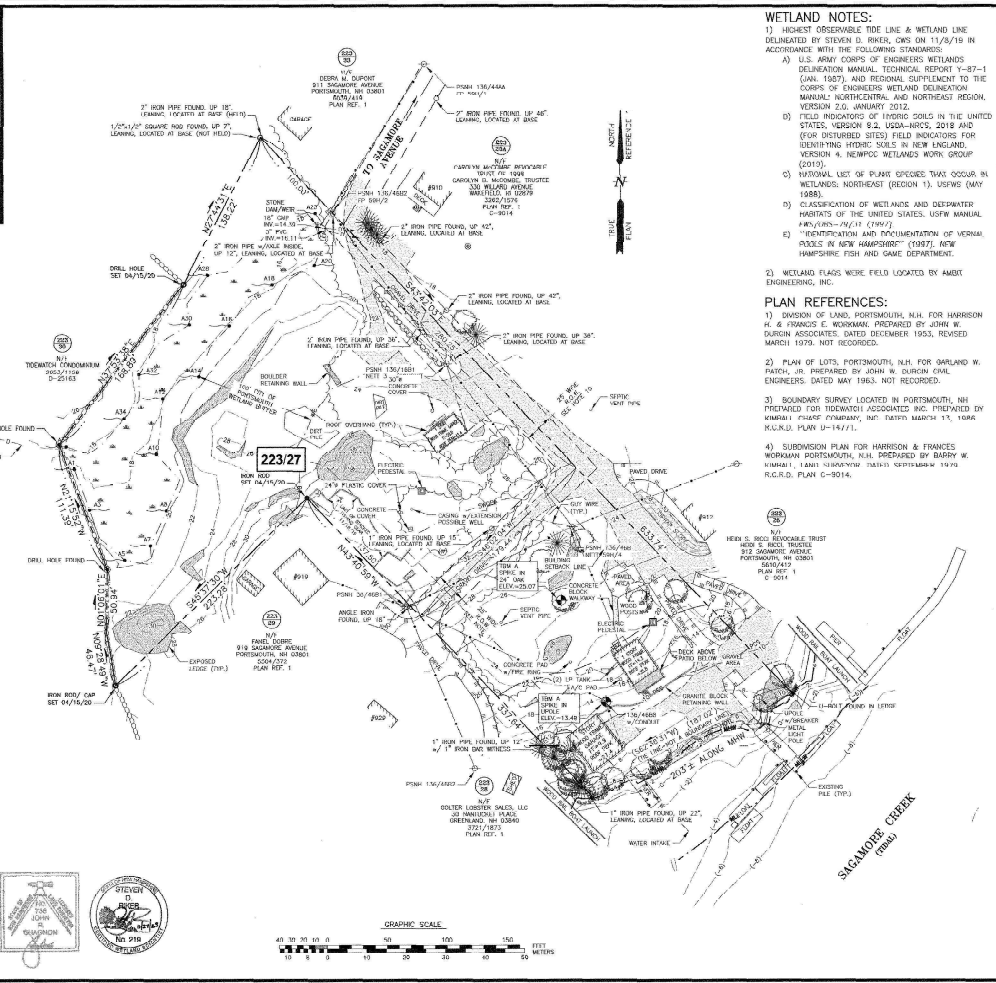
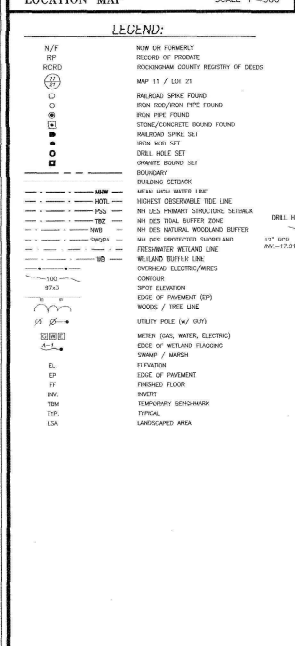
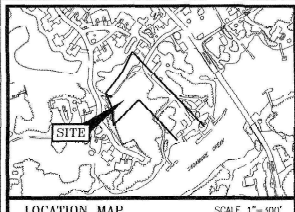
Very truly yours,

Barbara McMillan

Barbara McMillan, Vice-Chair
Conservation Commission

cc:

John Chagnon, Project Manager, Haley Ward



WETLAND NOTES:

- HIGHEST OBSERVABLE TIDE LINE & WETLAND LINE DELINEATED BY STEVEN D. PIERER, CWS ON 11/8/19 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (REV. 1987) AND FEDERAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHEASTAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - FIELD INDICATORS OF INVERTED SOILS IN THE UNITED STATES, VERSION 8.0, USA-NRCS, 2016 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRO SOILS IN NEW ENGLAND, VERSION 4, NEWPPC WETLANDS WORK GROUP (2013).
 - NATIONAL LIST OF PLANTS SPECIES THAT OCCUR IN WETLANDS, NORTHEAST (REGION 1), USFWS (MAY 1988).
 - CLASSIFICATION OF WETLANDS AND DRAINAGE HABITATS OF THE UNITED STATES, USFWS MANUAL, FWS/OBS-82/17 (1982).
 - "IDENTIFICATION AND DOCUMENTATION OF WETLAND WOODS IN NEW HAMPSHIRE" (1997), NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- WETLAND FIELDS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.

PLAN REFERENCES:

- DIVISION OF LAND, PORTSMOUTH, N.H. FOR HARRISON H. & FRANCIS E. WORKMAN, PREPARED BY JOHN W. BURTON ASSOCIATES, DATED FEBRUARY 1993, RECORDED MARCH 1979, NOT RECORDED.
- PLAN OF LOTS, PORTSMOUTH, N.H. FOR GARLAND W. PATON, JR. PREPARED BY JOHN W. BURTON CIVIL ENGINEERS, DATED MAY 1983, NOT RECORDED.
- BOUNDARY SURVEY LOCATED IN PORTSMOUTH, NH PREPARED FOR HODWATER ASSOCIATED INC. PREPARED BY HENRIK J. FRANKS SURVEYOR, NH, DATED MARCH 13, 1988, R.L.C.D. PLAN D-147/1.
- SUBDIVISION PLAN FOR HARRISON & FRANCIS WORKMAN PORTSMOUTH, N.H. PREPARED BY BARRY W. HANSEN, 1:8000, HANSEN SURVEYING, DATED SEPTEMBER 1970, R.L.C.D. PLAN G-9014.

NOTES:

- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 223 AS LOT 27.
- OWNERS OF RECORD: HOGSWAVE, LLC 912 SAGAMORE AVENUE PORTSMOUTH, NH 03801 92821421
- PORTIONS OF THE PARCEL ARE IN A SPECIAL FLOOD HAZARD AREA ZONE AFEZ(1) AS SHOWN ON FIRM PANEL 330150270E, EFFECTIVE DATE MAY 17, 2005.
- EXISTING LOT AREA: 136,872.57 SQ. FT. TO MEAN HIGH WATER 3.10909 ACRES TO MEAN HIGH WATER
- PARCEL IS LOCATED IN THE WATERFRONT BUSINESS (WB) ZONING DISTRICT.
- DIMENSIONAL REQUIREMENTS:

MIN. LOT AREA:	20,000 S.F.
FRONTAGE:	100 FEET
DEPTH:	100 FEET
SETBACKS:	FRONT 30 FEET
	SIDE 30 FEET
	REAR 30 FEET
MAXIMUM STRUCTURE HEIGHT:	30 FEET
MAXIMUM BUILDING COVERAGE:	30%
MINIMUM OPEN SPACE:	0.05
- THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY OF ASSESSOR'S MAP 223 LOT 27 IN THE CITY OF PORTSMOUTH.
- VERTICAL DATUM IS MEAN SEA LEVEL, NAVD83, BASIS OF VERTICAL DATUM IS REJUNDAUT 17TH OF OBSERVATION (L.O.2).
- MEAN HIGH WATER LINE SHOWN AT ELEVATION 3.81 FEET FROM STATION 8419870 SEABY ISLAND, PORTSMOUTH HARBOR.
- PROPERTY IS SUBJECT TO AND BENEFITS FROM A 25 FOOT WIDE RIGHT-OF-WAY IN COMMON WITH OTHERS FROM SAGAMORE AVENUE.
- PROPERTY IS SUBJECT TO A 25 FOOT WIDE RIGHT-OF-WAY FOR THE BENEFIT OF ASSESSOR'S MAP 223 LOTS 28 & 29.

STANDARD BOUNDARY & TOPOGRAPHIC SURVEY TAX MAP 223 - LOT 27

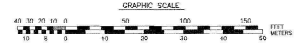
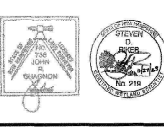
OWNER:
HOGSWAVE, LLC
PROPERTY LOCATED AT:
**912 SAGAMORE AVENUE
CITY OF PORTSMOUTH
STATE OF NEW HAMPSHIRE**

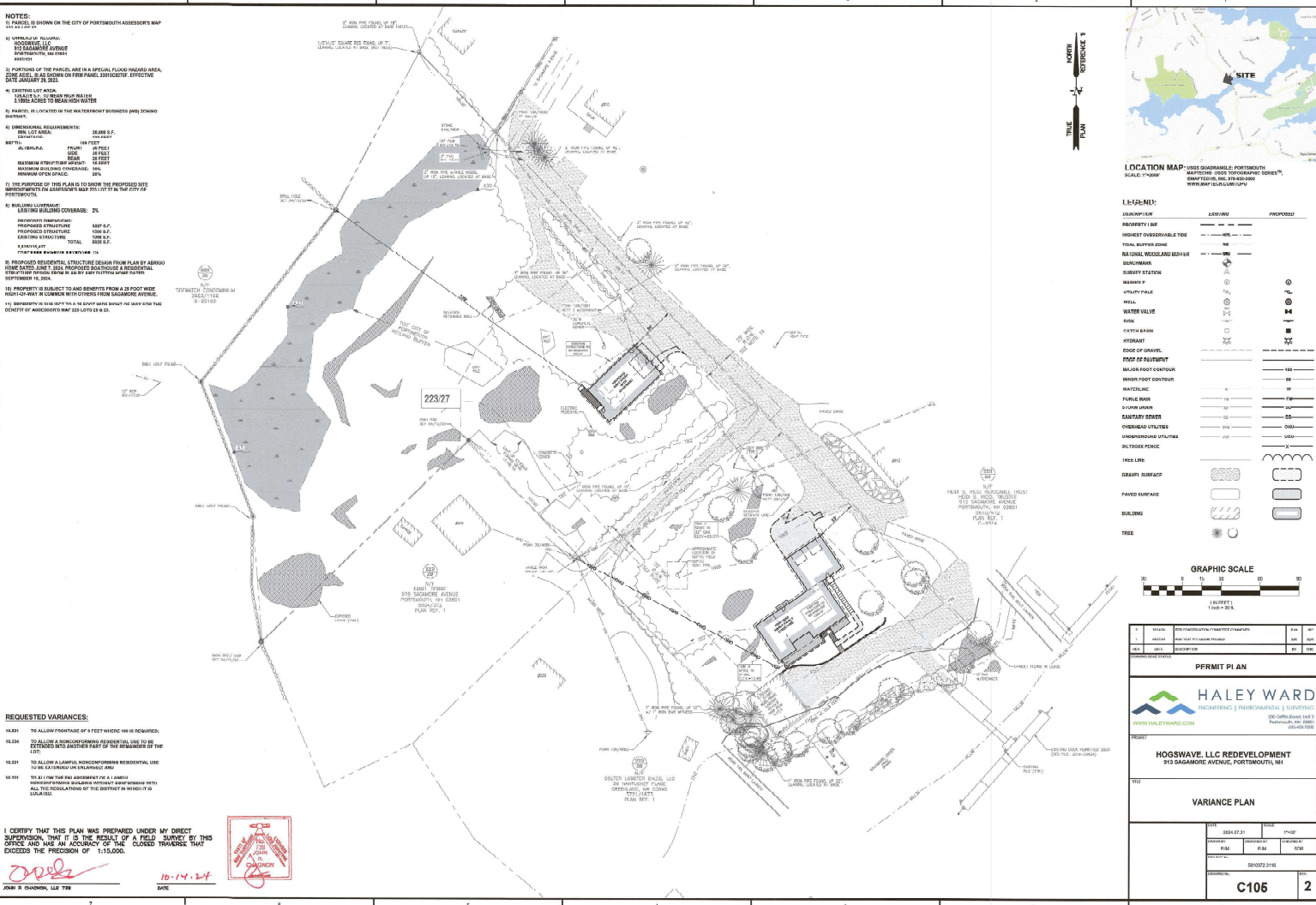
SCALE 1"=40'
DECEMBER 2019
FB 373 PG 6

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY IN THE 1/25,000 HORIZONTAL THAT EXCEEDS THE PRECISION OF 1:125,000.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF TENEMENTS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

JOHN R. CHAMBERLAIN, PLS #730
DATE 12-3-19





- NOTES:**
1. THE LOTS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP TO BE SHOWN TO THE CITY OF PORTSMOUTH ASSESSOR'S MAP.
2. THE PROPERTY IS LOCATED IN THE WATERBURY BUSINESS (WB) ZONING DISTRICT.
3. THE PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON FEMA PANEL 310502017, EFFECTIVE DATE JANUARY 15, 2013.
4. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
5. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
6. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
7. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE IMPROVEMENTS TO THE CITY OF PORTSMOUTH.
8. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
9. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
10. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
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13. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
14. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
15. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
16. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
17. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
18. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
19. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.
20. THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED TO BEAN HIGH WATER.

REQUESTED VARIANCES:

1. TO ALLOW FRONTAGE OF A FEET WHEREAS IS REQUIRED;

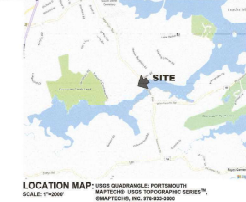
2. TO ALLOW NONCONFORMING RESIDENTIAL USE TO BE EXTENDED INTO ANOTHER PART OF THE REAR PART OF THE LOT;

3. TO ALLOW A LARGE, NONCONFORMING RESIDENTIAL USE TO BE EXTENDED INTO ANOTHER PART OF THE REAR PART OF THE LOT;

4. TO ALLOW THE USE OF A LARGE, NONCONFORMING RESIDENTIAL USE TO BE EXTENDED INTO ANOTHER PART OF THE REAR PART OF THE LOT.

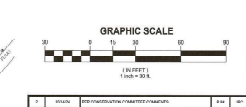
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVELING THAT EXCEEDS THE PRECISION OF 1:15,000.

JOHN R. CHANDLER, L.S. 729
10-14-24
D/C



LEGEND:

SYMBOL/NAME	EXISTING	PROPOSED
PROPERTY LINE	---	---
HIGHEST OBSERVABLE FLOOR	---	---
FINAL SURFACE DRAIN	---	---
NATURAL WOODLAND BOUNDARY	---	---
SEWER STATION	⊕	⊕
WELL	⊕	⊕
UTILITY POLE	⊕	⊕
WATER VALVE	⊕	⊕
SOIL	⊕	⊕
GRAVE	⊕	⊕
STORM	⊕	⊕
EDGE OF GRAVEL	---	---
PROF OF RAUPURTY	---	---
MAJOR FOOT CONTOUR	---	---
MINOR FOOT CONTOUR	---	---
WATER LINE	---	---
PURGE HOSE	---	---
PHONE HOSE	---	---
SAUNTRY SEWER	---	---
OVERHEAD UTILITY	---	---
UNDERGROUND UTILITY	---	---
RAILROAD FENCE	---	---
TREE LINE	---	---
GRAVEL SURFACE	---	---
PAVED SURFACE	---	---
BUILDING	---	---
TREE	---	---



NO.	DATE	DESCRIPTION	BY
1	10/14/24	PERMIT PLAN	JOHN R. CHANDLER
2	10/14/24	VARIANCE PLAN	JOHN R. CHANDLER

PERMIT PLAN

HALEY WARD
ENGINEERING | ARCHITECTURAL | SURVEYING
www.haleyward.com
ONE Cotton Street, 3rd Fl.
Portsmouth, NH 03801
603.433.8888

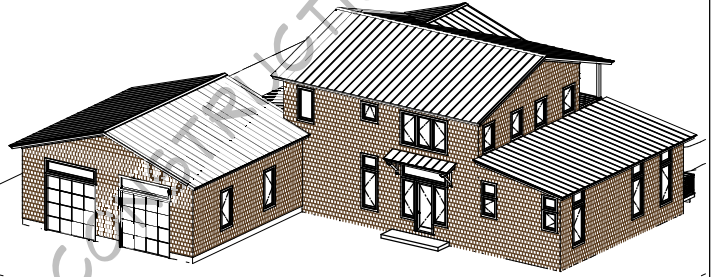
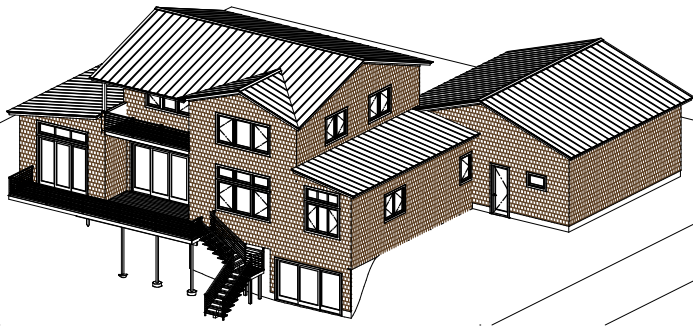
HOGSWAVE LLC REDEVELOPMENT
915 SAKAMORE AVENUE, PORTSMOUTH, NH

VARIANCE PLAN

NO.	DATE	DESCRIPTION	BY
1	10/14/24	VARIANCE PLAN	JOHN R. CHANDLER

C106

2



PERSPECTIVE
SCALE: NTS

SPECIFICATIONS + NOTES

***ROOFING MATERIAL**
ALL TRIM PACKAGE: PVC OR BORAL

***SIDING**
BRICKS: Proflood Market - Bracket (2TH - P 32", H42", T: 5.5" (P&: WHITE)

***COLUMNS**
STAIR SYSTEM

***EXTERIOR**
BRISCO: Liberty Extruded Rail System
RISER: AZEC: WHITE
TREAD: SELECTWOOD, ZURI "Weathered Grey"

***INTERIOR**
NEVEL
HANDRAIL
BALUSTERS
RISER FINISH
TREAD

***WINDOWS**
MANUFACTURER:
EXT. FINISH:
INT. FINISH:

***DOORS**
MANUFACTURER:
EXT. FINISH:
INT. FINISH:

***BATHROOMS**
FLOORING
TUB DESIGN
SHOWER FLOOR
SHOWER WALLS
SHOWER HEADS
SHOWER NICHE VS. SHELVES
SHOWER DOOR
NOTE: MAJOR PLUMBING CHANGES

***FLOORING**
1ST FLOOR:
2ND FLOOR:
HEATED FLOOR:
REFINISH AREAS:

***KITCHEN**
CABINETS: Space to be prepared on 11 x 11 doc.
BUILT-IN NOTES:
APPLIANCES

***MANTLE**
FINISHER:
GAS
FLOOR: INT. FIREBOX, RED BRICK VS. YELLOW BRICK
HEARTH: RAISED VS. FLUSH
MATERIAL:

NOTES:
CEILING HEIGHTS: 1ST FLOOR: _____ 2ND FLOOR: _____
CORNER BOARDS: 2" TOP
WATER TABLE TO PVC COPPER FLASHING TYP.
RAKE BOARD: 2" TYP. PVC OR BORAL (FILLED & PAINTED)
SOFFITS: BR/BOSS AZEC OR BGO
ROOF VENT: RIDGE VENT VS. BRISCO LOUVERED VENT VS. SOFFIT VENT
ARCHITECTURAL DETAIL
WINDOW TRIM: 4-1/2" TYP. PVC

TOTAL SQUARE FOOTAGE:
NET
RENOVATED SF
TOTAL

@ABRIGO HOME DRAWINGS USED EXPRESSIVELY FOR DESIGN ONLY FOR NOTED CLIENT. ALL STRUCTURAL ENGINEERING PROVIDED BY OTHER.

Building contractor / Home owner to review and verify all dimensions, specs and connections before construction begins.
ELECTRICAL SYSTEM CODE: IEC 2011
MECHANICAL SYSTEM CODE: IMC 2015
PLUMBING SYSTEM CODE: 2021 Uniform Plumbing Code

FINAL CD SET DATE: 06.06.23

LIVING AREA	
MAIN FLOOR	sqft
TOTAL	sqft
GARAGE	sqft
FRONT PORCH	sqft
DECK	sqft

@ABRIGO HOME DRAWINGS USED EXPRESSIVELY FOR DESIGN ONLY FOR NOTED CLIENT. ALL STRUCTURAL ENGINEERING PROVIDED BY OTHER.

DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.

OVERVIEW

SCALE: NTS

Label	Title
G-1	GENERAL NOTES
G-2	GENERAL NOTES
G-3	GENERAL NOTES
A-1	SITE PLAN
A-2	FOUNDATION
F-1	FIRST FLOOR
A-3	SECOND FLOOR
A-4	ROOF
A-5	WINDOW SCHEDULE
A-6	WINDOW SCHEDULE
A-7	DOOR SCHEDULE
A-8	ELEVATIONS
A-9	ELEVATIONS
A-10	SECTION
F-1	FRAMING
F-2	FRAMING OVERVIEW
D-1	DETAILS
E-1	ELECTRICAL

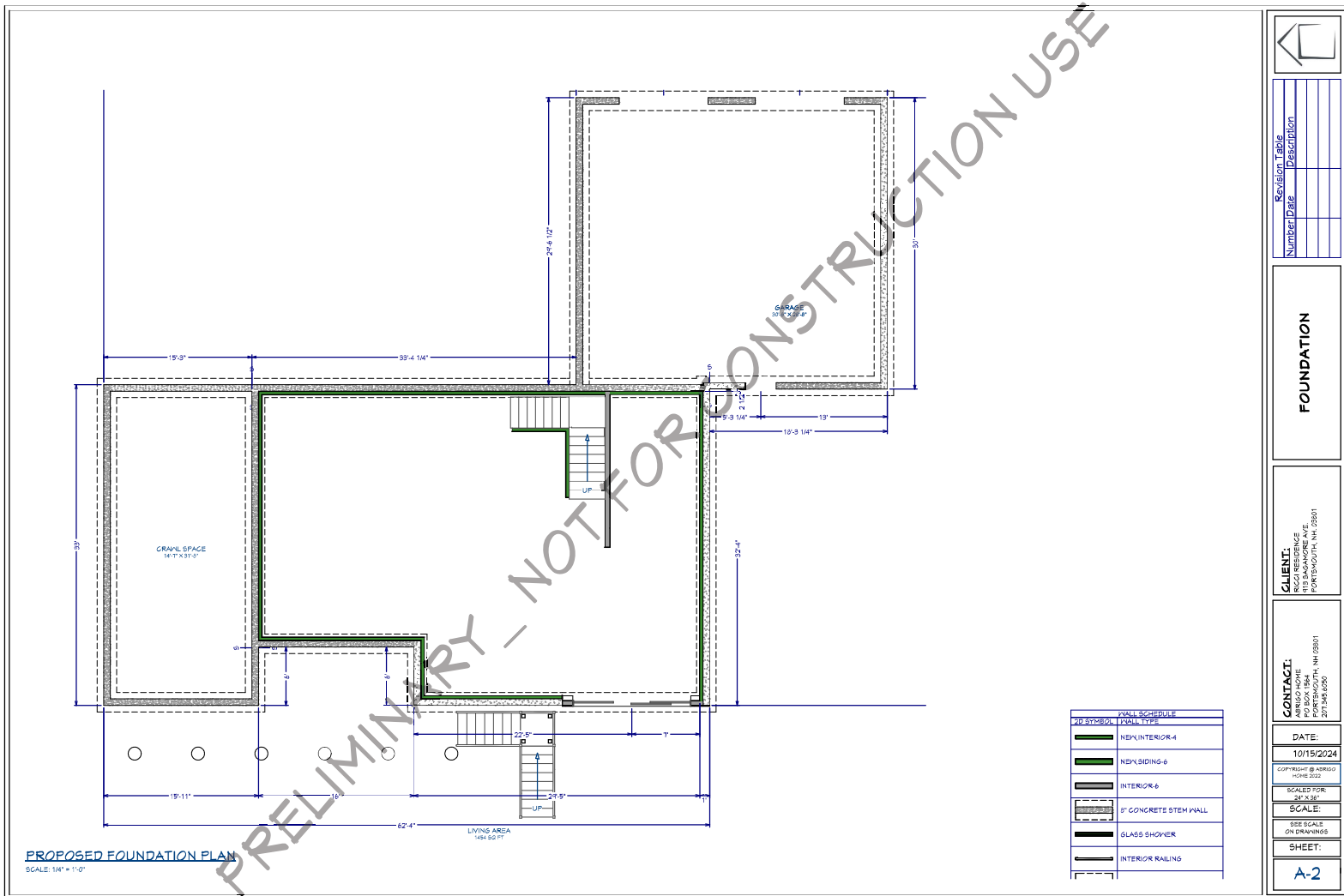
Revision Table	Number	Date	Description

PERSPECTIVES

CLIENT:
918 SAGAMORE AVE
PORTSMOUTH, NH 03801

CONTACT:
700 BOX 154
PORTSMOUTH, NH 03801
207.262.6226

DATE: 10/15/2024
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SCALE FOR: 1/8"=1'-0"
SCALE: 1/8"=1'-0"
SEE SCALE ON DRAWINGS
SHEET:



Revision Table	
Number	Date

FOUNDATION

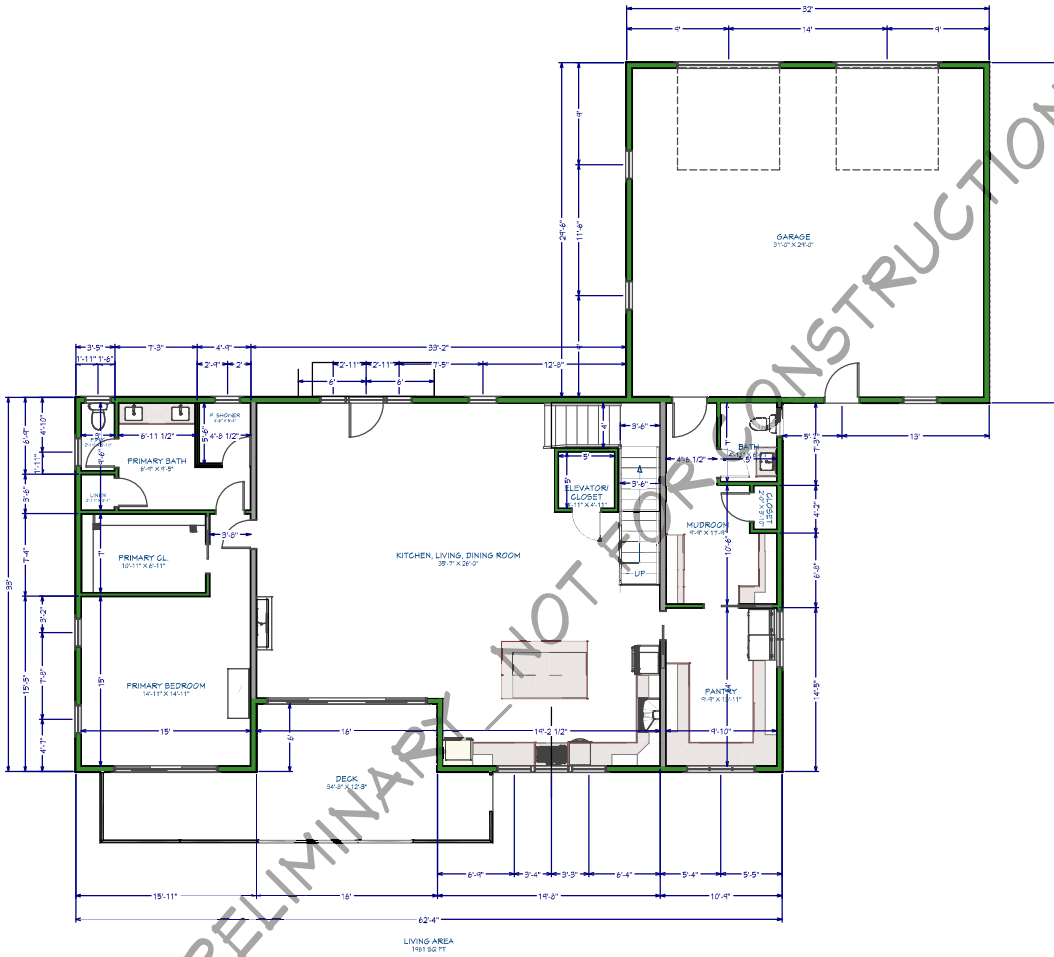
CLIENT:
918 SAGAMORE AVE
PORTSMOUTH, NH 03801

CONTACT:
PO BOX 154
PORTSMOUTH, NH 03801
207-262-8226

DATE:
10/15/2024

SCALE:
SEE SCALE ON DRAWINGS

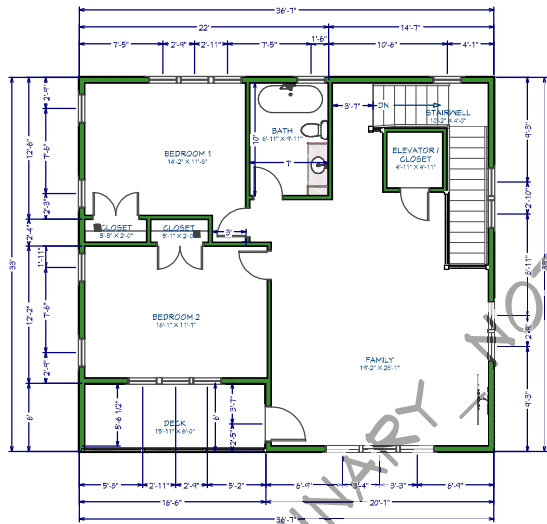
SHEET:
A-2



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

SYMBOL	WALL SCHEDULE
	NEX INTERIOR-4
	NEX SIDING-6
	INTERIOR-6
	8' CONCRETE STEM WALL
	GLASS SHOWER
	INTERIOR RAILING
	SIDING-6

Revision Table	Description
Number	Date
FIRST FLOOR	
CLIENT: 915 SAGAMORE AVE PORTSMOUTH, NH 02801	
CONTACT: 100 BOX 154 PORTSMOUTH, NH 02801 207.262.6226	
DATE:	10/15/2024
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SCALE FOR:	1/4" = 1'-0"
SCALE:	1/4" = 1'-0"
SEE SCALE	ON DRAWINGS
SHEET:	A-3



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION USE

3D SYMBOL	3XALL SCHEDULE
	NEW/INTERIOR-4
	NEW/SIDING-6
	INTERIOR-6
	1" CONCRETE STEM WALL
	GLASS SHOWER
	INTERIOR RAILING
	SIDING-6



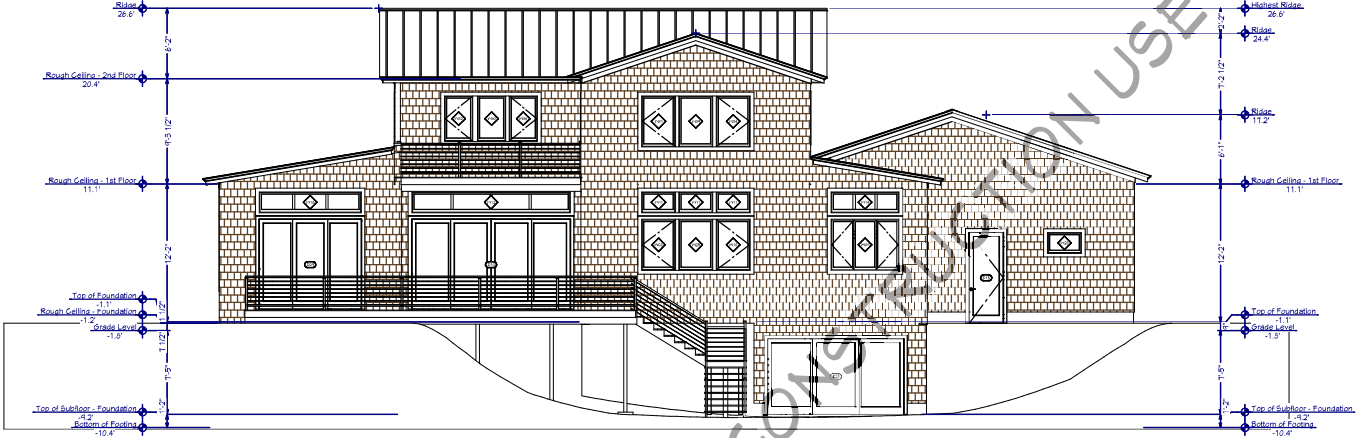
Revision Table	
Number	Date

SECOND FLOOR

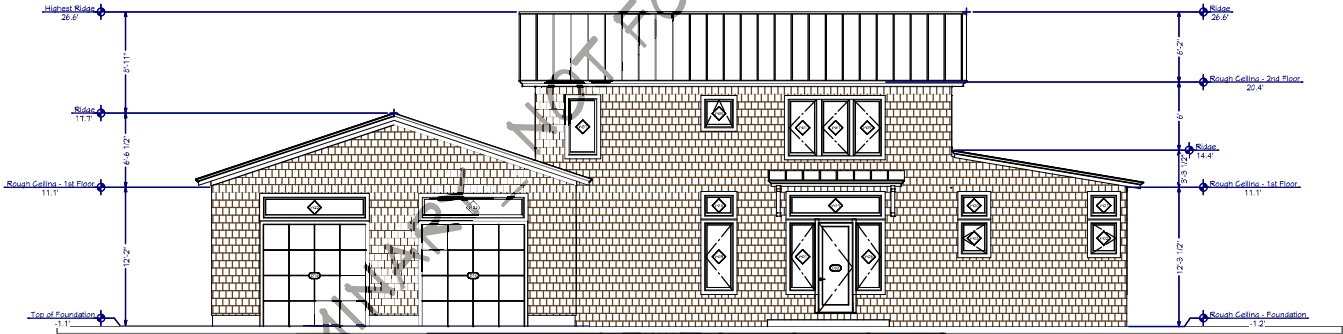
CLIENT:
918 SAGAMORE AVE
PORTSMOUTH, NH 03801

CONTACT:
70 BOX 154
PORTSMOUTH, NH 03801
207-262-6226

DATE:	10/15/2024
COPYRIGHT ©	488020 10/15/2024
SCALED FOR:	36" X 36"
SCALE:	SEE SCALE ON DRAWINGS
SHEET:	A-4



PROPOSED NORTH ELEVATION | FRONT VIEW
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION | REAR VIEW
SCALE: 1/4" = 1'-0"

ELEVATIONS
SCALE: 1/4" = 1'-0"

Revision Table	Number	Date	Description

ELEVATIONS

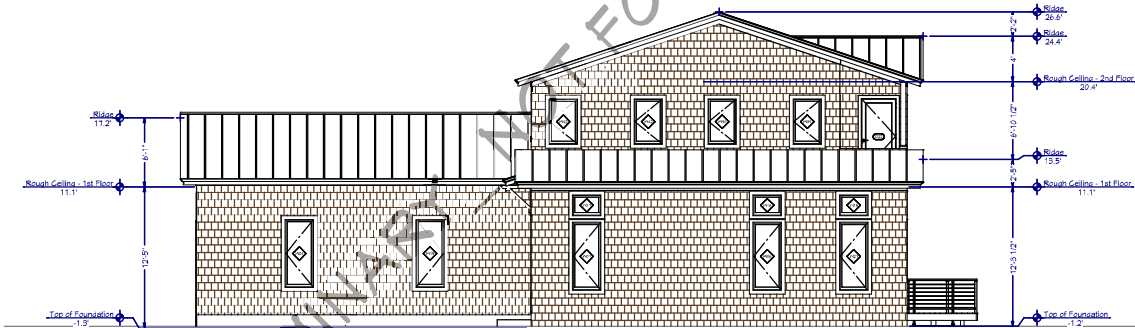
CLIENT:
918 SAGAMORE AVE
PORTSMOUTH, NH 03801

CONTACT:
799 BOX 154
PORTSMOUTH, NH 03801
203.262.6226

DATE:	10/15/2024
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SCALED FOR:	36" X 36"
SCALE:	
SEE SCALE ON DRAWINGS	
SHEET:	A-9



PROPOSED EAST ELEVATION | SIDE VIEW
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION | SIDE VIEW
SCALE: 1/4" = 1'-0"

ELEVATIONS
SCALE: 1/4" = 1'-0"



Number	Date	Description

ELEVATIONS

CLIENT:
M. J. SAGANOWSKI
918 SAGANOWSKI AVE
PORTSMOUTH, NH 03801

CONTACT:
M. J. SAGANOWSKI
PO BOX 154
PORTSMOUTH, NH 03801
203.262.6226

DATE:

10/15/2024

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10/15/2024

SCALE FOR

1/4" = 1'-0"

SCALE IS:

SEE SCALE

ON DRAWINGS

SHEET:

A-10



SPECIFICATIONS + NOTES

*ROOFING MATERIAL
 *ALL TRIM PACKAGE: PVC OR BORAL
 *SIDING:
 *BRICKETS: Proflood Market - Bracket 0211 - P 32', H42", T: 5.5" (Pst: WHITE)
 *COLUMNS:
 *STAIR SYSTEM:
 _EXTERIOR:
 *BROSGO: Liberty Extruded Rail System
 *RISER: AZEC: WHITE
 *TREAD: SELECTWOOD, ZURN "Weathered Grey"
 _INTERIOR:
 *NEVEL
 *HANDRAIL
 *BALUSTERS
 *RISER FINISH
 *TREAD
 *WINDOWS:
 _MANUFACTURER:
 _EXT. FINISH:
 _INT. FINISH:
 *DOORS:
 _MANUFACTURER:
 _EXT. FINISH:
 _INT. FINISH:
 *BATHROOMS:
 _FLOORING:
 _TUB DESIGN
 _SHOWER FLOOR
 _SHOWER WALLS
 _SHOWER HEADS
 _SHOWER NICHE VS. SHELVES
 _SHOWER DOOR
 _NOTE: MAJOR PLUMBING CHANGES

*FLOORING:
 _1ST FLOOR:
 _2ND FLOOR:
 _HEATED FLOOR:
 _REFINISH AREAS:
 *KITCHEN:
 _CABINETS: Space to be prepared on 11 x 11 doc.
 _SUITLINE NOTES:
 _APPLIANCES
 *FINISHES:
 _GAS
 _PAINT: INT. FIREBON RED BRICK VS. YELLOW BRICK
 _HEARTH: RAISED VS. FLUSH
 *MATERIAL:
 NOTES:
 *CEILING HEIGHTS: 1ST FLOOR: _____ 2ND FLOOR: _____
 *CORNER BOARDS: 2" TOP
 *WATER TABLE: PVC COPPER FLASHING TYP.
 *RAKE BOARD: 2" TOP, PVC OR BORAL (FILLED & PAINTED)
 *SOFFIT: BRICK OR AZEC OR BEO
 *ROOF VENT: RIDGE VENT VS. BROSGO LOUVERED VENT VS. SOFFIT VENT
 *ARCHITECTURAL DETAIL
 *WINDOW TRIM: 4-1/2" TYP. PVC
 TOTAL SQUARE FOOTAGE:
 _NET
 _RENOVATED SF
 _TOTAL

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 DRAWINGS USED EXPRESSIVELY FOR
 DESIGN ONLY FOR NOTED CLIENT. ALL
 STRUCTURAL ENGINEERING PROVIDED BY
 OTHER.

Building contractor / Home owner to review and verify all
 dimensions, specs and connections before construction
 begins.
 ELECTRICAL SYSTEM CODE: IEG 2011
 MECHANICAL SYSTEM CODE: IMC 2015
 PLUMBING SYSTEM CODE: 2021 Uniform Plumbing Code

FINAL CD SET DATE: 09.15.24

LIVING AREA	
EXISTING GARAGE	400 sgr
PROPOSED GARAGE	1500 sgr
PROPOSED ADU OVER GARAGE	1500 sgr
PROPOSED DECK	1202 sgr

DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER
 TO REVIEW AND VERIFY ALL DIMENSIONS,
 SPECS, AND CONNECTIONS BEFORE
 CONSTRUCTION BEGINS.

OVERVIEW

SCALE: NTS

Code	Single Page Title
A1	LOG
A2	OVERVIEW
A3	FOOT PLAN
A4	FOUNDATION PLAN
A5	FOUNDATION PLAN
A6	GENERAL NOTES
A7	GENERAL NOTES
A8	FOUNDATION FIRST FLOOR
A9	SECOND FLOOR
A10	NOSE
A11	INDOOR/DOOR SCHEDULE
A12	ELEVATIONS
A13	ELEVATIONS
A14	ELEVATIONS
A15	ELEVATIONS
A16	ELEVATIONS
A17	ELEVATIONS
A18	ELEVATIONS
A19	ELEVATIONS
A20	ELEVATIONS
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A96	ELEVATIONS
A97	ELEVATIONS
A98	ELEVATIONS
A99	ELEVATIONS
A100	ELEVATIONS
F1	FURNITURE PLAN

Revision Table

Number	Date	Description

OVERVIEW

CLIENT: RUCI RESIDENCE
 4 WALKERS STREET, WETTER, NH
 PORTSMOUTH, NH

CONTACT: RUCI RESIDENCE
 4 WALKERS STREET, WETTER, NH
 PORTSMOUTH, NH
 203-753-7200
 ruci@ruciresidence.com

DATE: 10/15/2024

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SCALE FOR: 1/8"=1'-0"

SCALE: SEE SCALE ON DRAWINGS

SHEET: 0-1

DEMOLITION NOTES

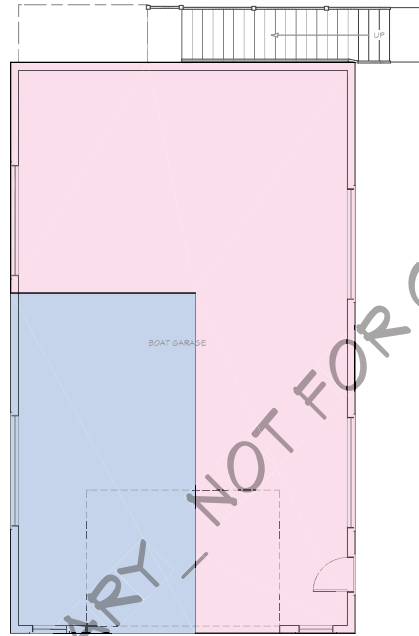
- GENERAL NOTES**
1. PROVIDE SELECTIVE DEMOLITION TO REMOVE EX. FLOOR, WALLS, CEILING, WINDOWS AND ROOF SYSTEMS IDENTIFIED. CONFIRM EXACT LOCATION IN DESIGNER AND CIVIL ENGINEER PRIOR TO SELECTIVE DEMOLITION COMMENCEMENT. CONSULT WITH DESIGN PROFESSIONAL FOR ALL REQUIRED TEMPORARY SHORING AND SUPPORTS.
 2. CUT EXISTING FOUNDATION TO LOCATION IDENTIFIED AND PREPARE FOR NEW FOUNDATION WALL.
 3. EXISTING FOUNDATION WALL TO BE CUT AND REMAIN IN PLACE. REMOVE SILL PLATES OR OTHER LUMBER AND CUT BACK ANCHOR BOLTS TO TOP OF WALL. FILL VOID WITH SAND AND/OR SOILS CONSISTENT WITH SURROUNDING MATERIALS.

CAD BLOCK GUIDE

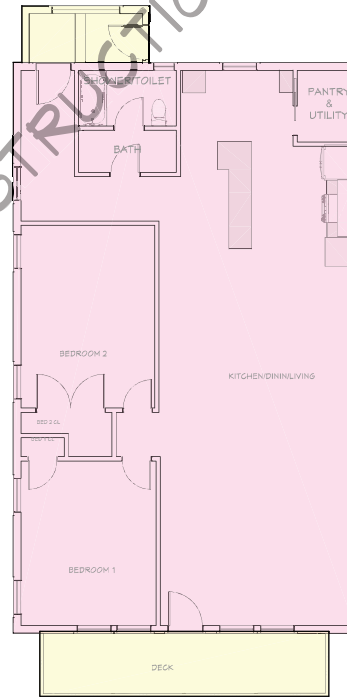
- EXISTING FOOTPRINT (454 SQFT)
- PROPOSED ADDITION (1,800 SQFT)

SECOND FLOOR CAD BLOCK GUIDE

- PROPOSED ADDITION (1,800 SQFT)
- PROPOSED DECK (202 SQFT)



FIRST FLOOR

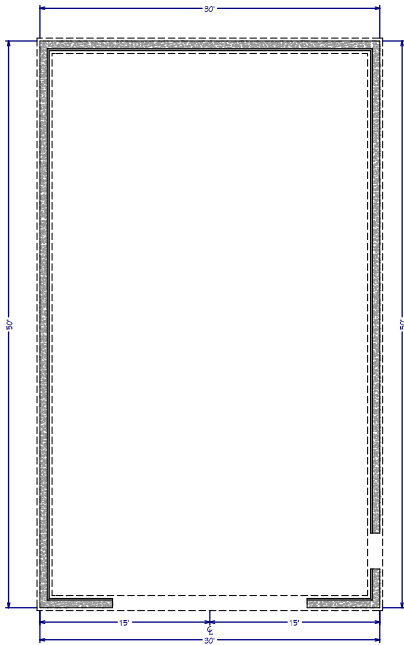


SECOND FLOOR

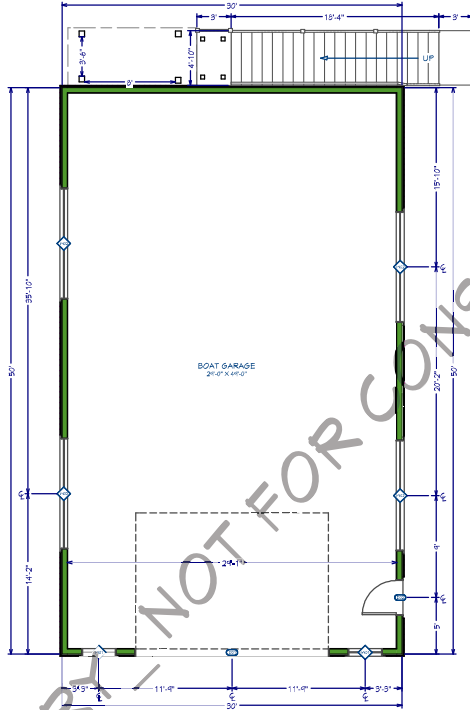
PRELIMINARY - NOT FOR CONSTRUCTION USE

RENOVATION PLAN
SCALE: 1/4" = 1'-0"

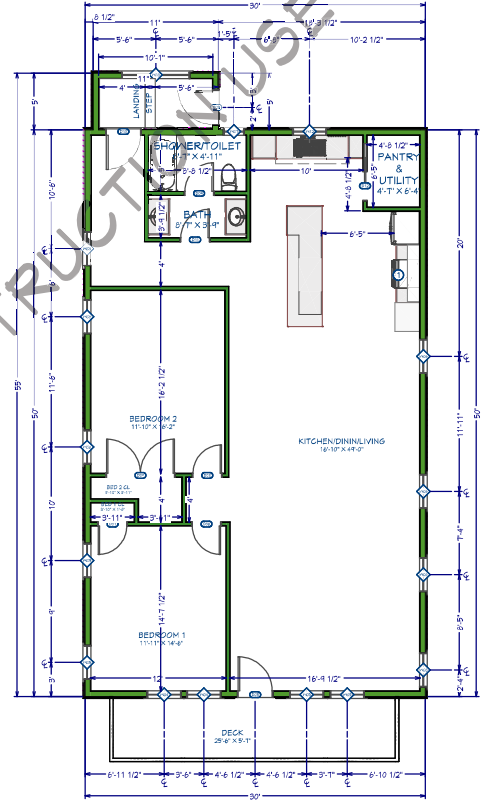
Revision Table												
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Number	Date	Description										
RENOVATION PLAN												
CLIENT: RUCCI RESIDENCE 4 HAZARD STREET PORTSMOUTH, NH												
CONTACT: JEFFREY W. HARRIS 4 HAZARD STREET, PORTSMOUTH, NH 203.875.1000 jeff@jeffharris.com												
DATE: 10/15/2024												
COPYRIGHT © 2024 JWH												
SCALE FOR: 1/4" = 1'-0"												
SCALE: 1/4" = 1'-0"												
SEE SCALE ON DRAWINGS												
SHEET: A-3												



PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
1	30" COOKHOOD
2	18" OVERHANG
3	6" CORNER BOARD, TYP.
4	WINDOW HUNG @ 80
5	STAIRS TO GRADE
6	DECK

WALL LEGEND	
	= NSM WALL
	= NSM FOUNDATION WALL



Number	Date	Description

FOUNDATION | FIRST FLOOR

CLIENT:
RUCI RESIDENCE
4 WALKER STREET, RITTERY, NH
PORESMOUTH, NH

CONTACT:
RUCI RESIDENCE
4 WALKER STREET, RITTERY, NH
PORESMOUTH, NH
203-753-7200
ruciresidence.com

DATE:

10/15/2024

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NSM 2024

SCALE FOR:

30" x 30"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-4

NOTE SCHEDULE	
1	30" COOKHOOD
2	18" OVERHANG
3	6" CORNER BOARD, TYP.
4	WINDOW HUNG @ 30
5	STAIRS TO GRADE
6	DECK

Revision Table		
Number	Date	Description

ELEVATIONS

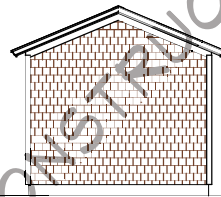
CLIENT:
RICCI RESIDENCE
 4 HAZARD STREET, WITTERY, NH
 PORTSMOUTH, NH

CONTACT:
 4 HAZARD STREET, WITTERY, NH
 203.886.5000
 203.886.5000

DATE:	10/15/2024
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SCALE FOR:	36" X 36"
SCALE:	1/4" = 1'-0"
SEE SCALE ON DRAWINGS	
SHEET:	A-9



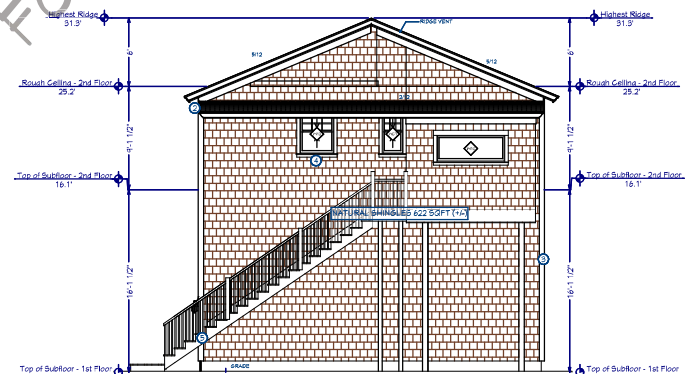
EXISTING NORTH ELEVATION | FRONT VIEW
 SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION | REAR VIEW
 SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION | FRONT VIEW
 SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION | REAR VIEW
 SCALE: 1/4" = 1'-0"

ELEVATIONS

SCALE: 1/4" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION USE

GARAGE SLAB HEIGHT MAY VARY. IF GARAGE SLAB HEIGHT IS LOWER THAN SHOWN, CONSULT ARCHITECT FOR AESTHETIC DIRECTION. TALLER GARAGE DOORS, TRANSOMS, LINTELS AND/OR ADDITIONAL FRIEZE BOARDS MAY BE REQUIRED TO ACHIEVE DESIRED LOOK.

NOTE & SCHEDULE	
1	30" COOKHOOD
2	18" OVERHANG
3	6" CORNER BOARD, TYP.
4	WINDOW HUNG @ 80
5	STAIRS TO GRADE
6	DECK

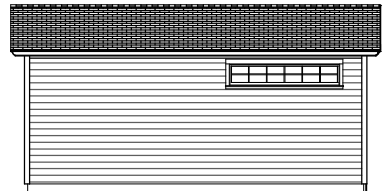
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Number	Date	Description

ELEVATIONS

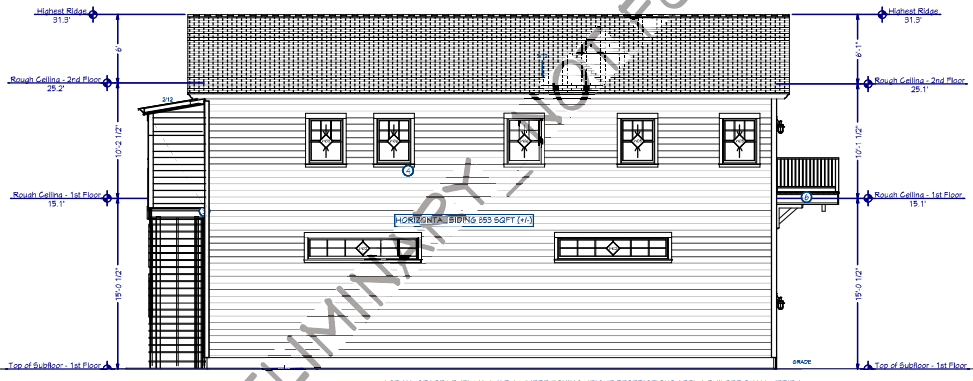
CLIENT:
 RICCI RESIDENCE
 4 HAZARD STREET, RIFTERY, NH
 PORTSMOUTH, NH

CONTACT:
 4 HAZARD STREET, RIFTERY, NH
 203.885.5000
 203.885.5000

DATE: 10/15/2024
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 SCALE: 1/4" = 1'-0"
 SEE SCALE ON DRAWINGS
 SHEET: A-10



EXISTING EAST ELEVATION | SIDE VIEW
 SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION | SIDE VIEW
 SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY WHERE ZONING HEIGHT RESTRICTIONS APPLY. BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.

ELEVATIONS
 SCALE: 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION USE

NOTE & SCHEDULE	
1	30" COOKHOOD
2	18" OVERHANG
3	6" CORNER BOARD, TYP.
4	WINDOW HUNG @ 80
5	STAIRS TO GRADE
6	DECK

Revision Table		
Number	Date	Description

ELEVATIONS

CLIENT:
 RICCI RESIDENCE
 4 HAWKERS STREET, RITTERY, NH
 PORTSMOUTH, NH

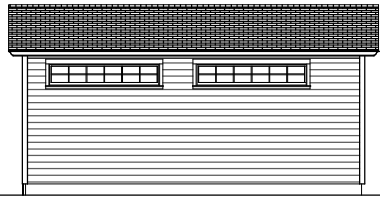
CONTACT:
 4 HAWKERS STREET, RITTERY, NH
 203.875.5000
 203.875.5000

DATE:
 10/15/2024

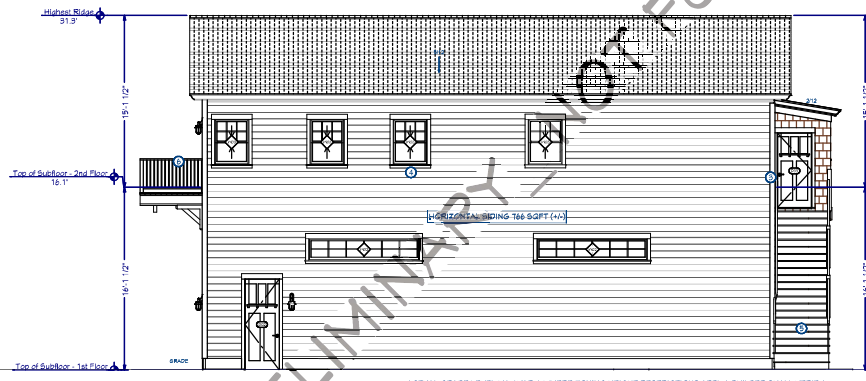
SCALE FOR DECK:
 1/4" = 1'-0"

SCALE FOR ELEVATIONS:
 1/4" = 1'-0"

SHEET:
 A-11



EXISTING WEST ELEVATION | SIDE VIEW
 SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION | SIDE VIEW
 SCALE: 1/4" = 1'-0"

ACTUAL GRADE LEVEL MAY VARY WHERE ZONING HEIGHT RESTRICTIONS APPLY. BUILDER SHALL VERIFY CONFORMANCE. MANUAL MARKUP OF DRAWINGS TO DEMONSTRATE COMPLIANCE IS RECOMMENDED.

ELEVATIONS
 SCALE: 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION USE