

200 Griffin Road, Unit 3, Portsmouth, NH 03801 Phone (603) 430-9282 Fax 436-2315

1 September 2023

Peter Stith, Chair, City of Portsmouth TAC 1 Junkins Avenue Portsmouth, NH 03801

#### RE: Request for TAC Workshop Review at 1155 Sagamore Road, Site Development

Dear Mr. Stith and TAC Members:

On behalf of Build America, we are pleased to submit the attached plan set for <u>TAC Workshop</u> <u>Review</u> for the above-mentioned project and request that we be placed on the agenda for your **September 12, 2023,** Meeting. The project is the demolition of the existing building and proposed new construction of a 4-unit residential condominium with the associated and required site improvements.

The following plans are included in our submission:

- Cover Sheet This shows the Development Team, Legend, Site Location, and Site Zoning.
- Existing Conditions & Demolition Plan C1 This plan shows the existing property boundaries and existing site conditions and notes the demolition.
- Site Plan C2 This plan shows the site development in detail with the associated zoning development standards and circulation / layout.
- Grading Plan C3 This plan shows proposed site grading. The site primarily flow to the west. Runoff will flow to a proposed rain garden.
- Utility Plan C4 This plan shows proposed site utilities. The project will connect to the e-one system low pressure sewer in an existing connection constructed for the purpose and brought to the property line.
- Erosion Control Notes and Details D1 and D2 These plans shows site details.

We look forward to TAC review of this submission and the Committees feedback on the proposed design.

Sincerely,

John R. Chagnon, PE

# PROPOSED BUILDING REPLACEMENT **BUILD AMERICA** 1155 SAGAMORE AVENUE PO BOX 1664 PORTSMOUTH NEW HAMPSHIRE SITE PERMIT PLANS

#### **OWNER:**

MICHAEL A. VALINSKI & MAUREEN OAKMAN 1155 SAGAMORE AVENUE PORTSMOUTH, NH 03802 TEL. (617) 877-6711

### CIVIL ENGINEER & LAND SURVEYOR:

AMBIT ENGINEERING, INC. A DIVISION OF HALEY WARD, INC. 200 GRIFFIN ROAD, UNIT 3 PORTSMOUTH, NH 03801 TEL. (603) 430-9282

## **APPLICANT:**

**BUILD AMERICA** 

PORTSMOUTH, NH 03802 TEL. (617) 877-6711

# **ARCHITECT/DESIGNER:**

**BUILD AMERICA** PO BOX 1664 PORTSMOUTH, NH 03802 TEL. (617) 877-6711

# PORTSMOUTH ZONING MAP

# Legend

Character Districts Character-Based Zoning Area (Refer to Zoning Map Sheet 2 of 2 Character Districts Regulating Plan)

Residential	Dist	ric
	-	

	R	Rural
	SRA	Single Residence A
	SRB	Single Residence B
	GRA	General Residence A
	GRB	General Residence B
	GRC	General Residence C
	GA/MH	Garden Apartment/Mobile Home Park
Mixe	d Resid	ential Districts
	MRO	Mixed Residential Office
	MRB	Mixed Residential Business
	G1	Gateway Cooridor
	G2	Gateway Center
Ruci	noce Die	stricts

#### **Business Districts**

GB
В
WB

**Business** Waterfront Business

General Business

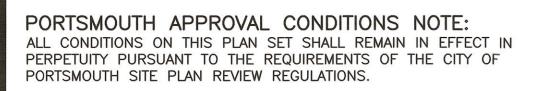
**Industrial Districts** Office Research OR

Industrial

Waterfront Industrial

INDEX OF SHEETS

<u>DWG No.</u>	
C1	EXISTING CONDITIONS & DEM
C2	SITE PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
D1-D2	DETAILS & EROSION CONTOL

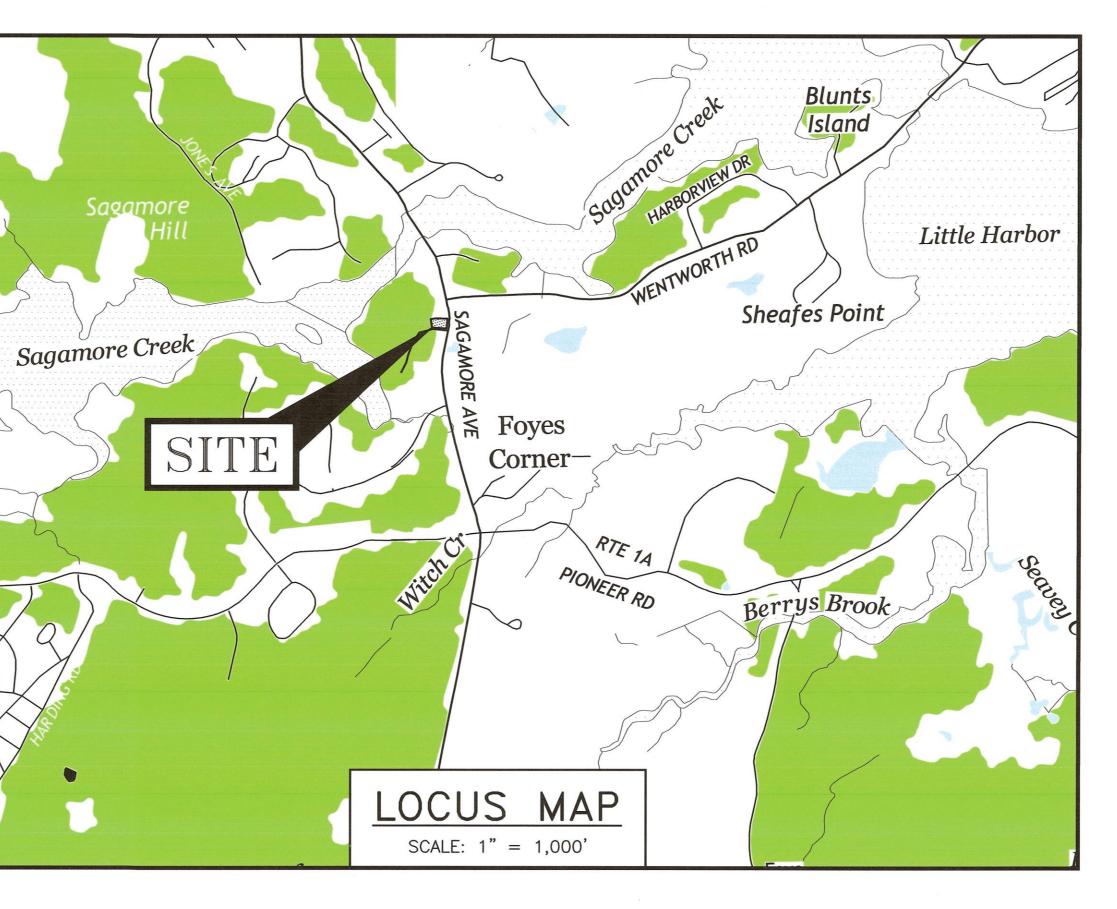


SRB

**PROJECT SITE:** 

TAX MAP 224, LOT 18

APPROVED BY THE PORTSMOUTH PLANNING BOARD





OLITION PLAN

# UTILITY CONTACTS

# **ELECTRIC:**

**EVERSOURCE** 1700 LAFAYETTE ROAD PORTSMOUTH, N.H. 03801 Tel. (603) 436-7708, Ext. 555.5678 ATTN: MICHAEL BUSBY, P.E. (MANAGER)

SEWER & WATER: PORTSMOUTH DEPARTMENT OF PUBLIC WORKS 680 PEVERLY HILL ROAD PORTSMOUTH, N.H. 03801 Tel. (603) 427-1530 ATTN: JIM TOW

NATURAL GAS: UNITIL 325 WEST ROAD PORTSMOUTH, N.H. 03801 Tel. (603) 294-5144 ATTN: DAVE BEAULIEU

COMMUNICATIONS: CONSOLIDATED COMMUNICATIONS JOE CONSIDINE 1575 GREENLAND ROAD GREENLAND, N.H. 03840 Tel. (603) 427-5525

CABLE: COMCAST 155 COMMERCE WAY PORTSMOUTH, N.H. 03801 Tel. (603) 679-5695 (X1037) ATTN: MIKE COLLINS

PROJECT PERMITS: PORTSMOUTH SITE PLAN: PENDING

### LEGEND:

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PROPERTY LINE SETBACK SEWER PIPE SEWER LATERAL GAS LINE STORM DRAIN WATER LINE WATER SERVICE UNDERGROUND ELECTRIC OVERHEAD ELECTRIC/WIRES FOUNDATION DRAIN FORCED SEWER MAIN EDGE OF PAVEMENT (EP) WOODS / TREE LINE CONTOUR SPOT ELEVATION UTILITY POLE SIGNS WALL MOUNTED EXTERIOR LIGHTS METER (GAS, WATER, ELECTRIC) TRANSFORMER ON CONCRETE PAD ELECTRIC HANDHOLD SHUT OFFS (WATER/GAS) GATE VALVE HYDRANT CATCH BASIN SEWER MANHOLE DRAIN MANHOLE TELEPHONE MANHOLE PARKING SPACE COUNT PARKING METER LANDSCAPED AREA TO BE DETERMINED CAST IRON PIPE COPPER PIPE DUCTILE IRON PIPE POLYVINYL CHLORIDE PIPE REINFORCED CONCRETE PIPE ASBESTOS CEMENT PIPE VITRIFIED CLAY PIPE EDGE OF PAVEMENT ELEVATION FINISHED FLOOR INVERT SLOPE FT/FT TEMPORARY BENCH MARK TO BE REMOVED TYPICAL

WINDOW WELL PHOTO LOCATION

200 Griffin Road, Unit 3

Portsmouth, NH 03801

603.430.9282

PROPOSED BUILDING REPLACEMENT **BUILD AMERICA 1155 SAGAMORE AVENUE** PORTSMOUTH, NH

> **MBIT ENGINEERING, INC.** DIVISION OF HALEY WARD, INC.

TBM

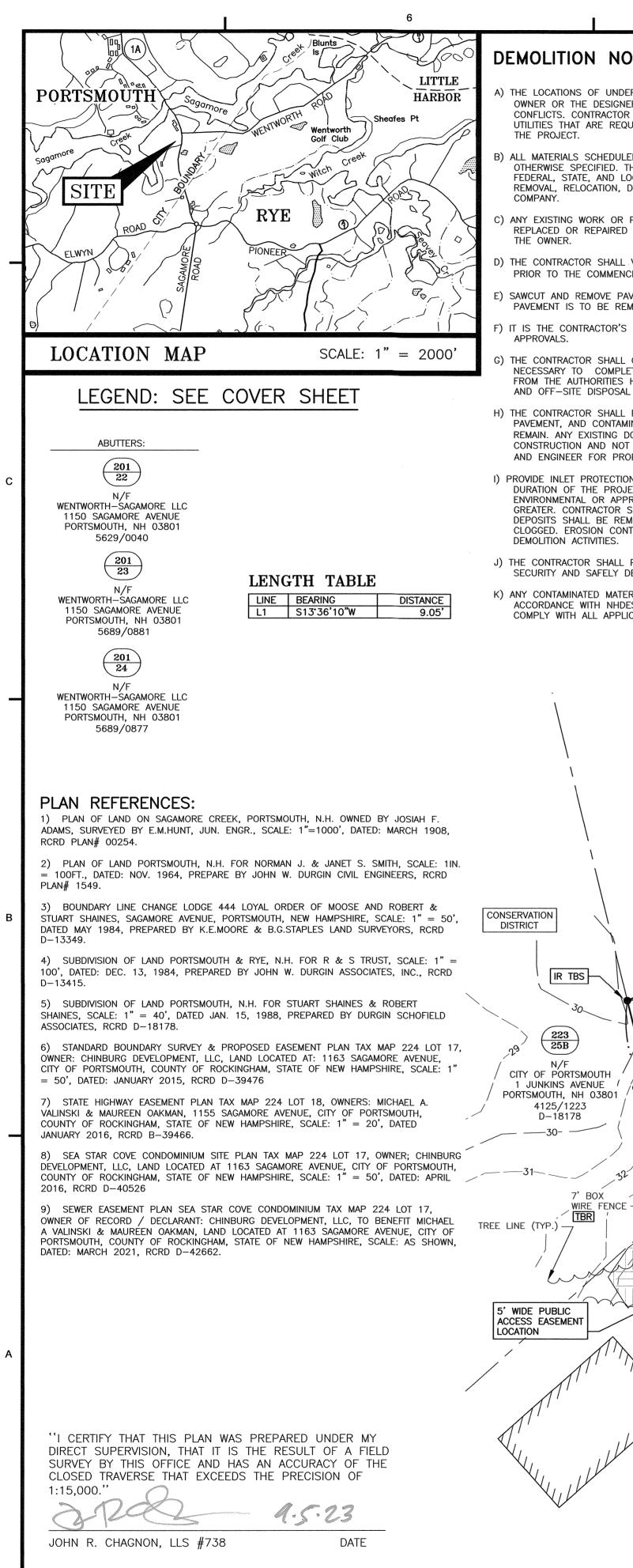
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W.W

WWW.HALEYWARD.COM

PLAN SET SUBMITTAL DATE: 5 SEPTEMBER 2023



#### DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- J) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- K) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS

ATT.

7'BOX

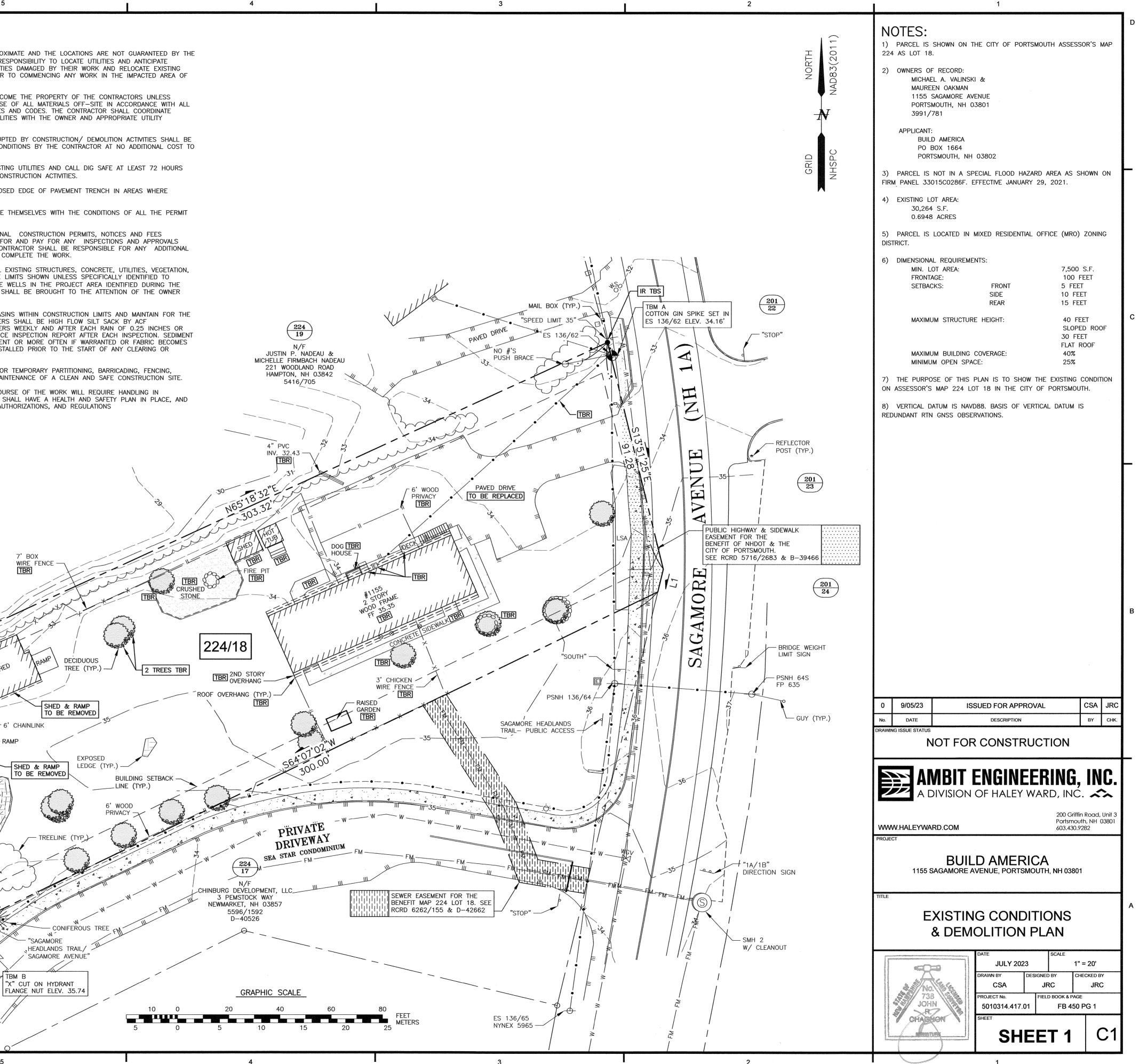
- 6' CHAINLINK

- RAMP

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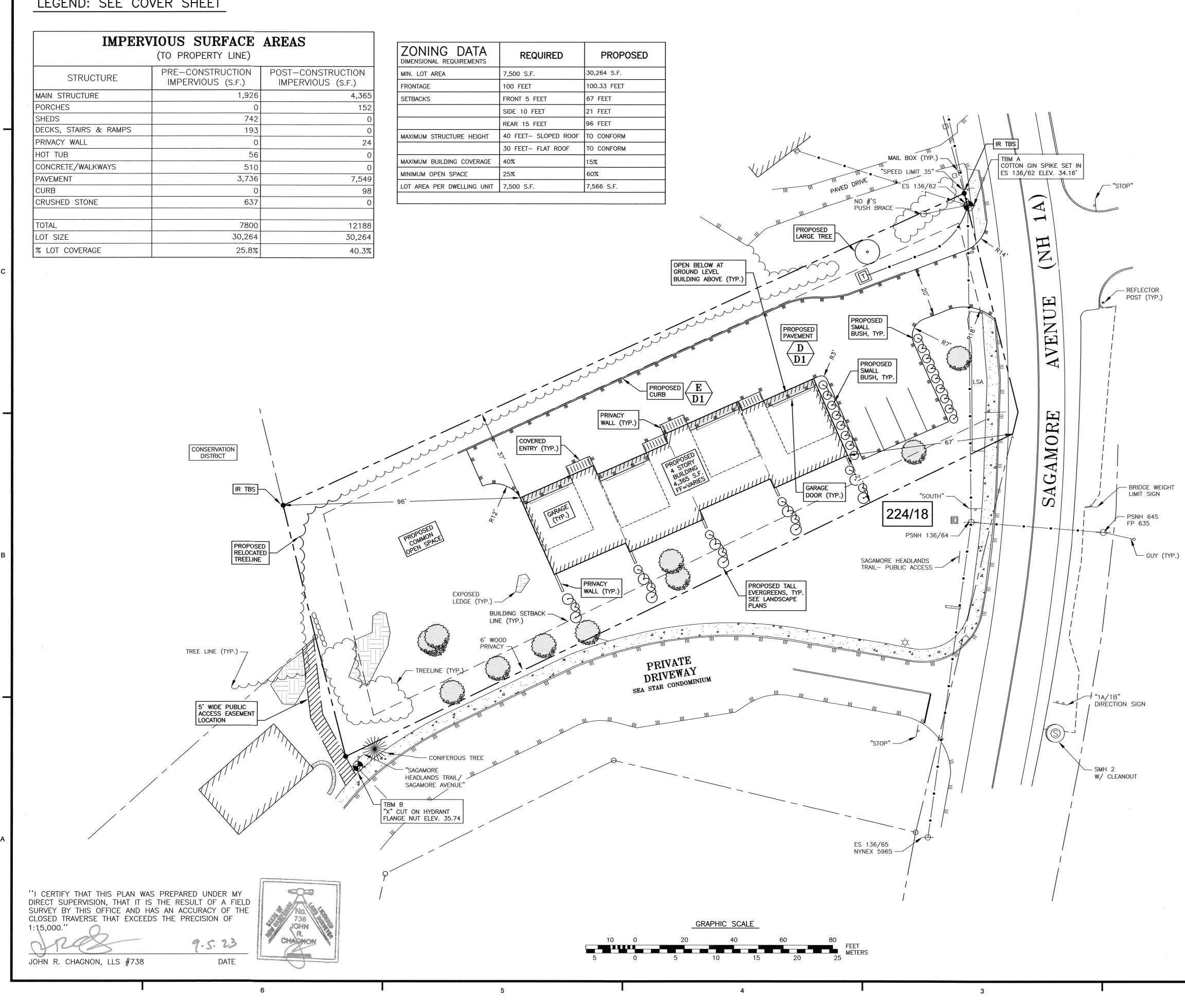
WIRE FENCE



IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)						
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)				
MAIN STRUCTURE	1,926	4,365				
PORCHES	0	152				
SHEDS	742	0				
DECKS, STAIRS & RAMPS	193	0				
PRIVACY WALL	0	24				
HOT TUB	56	0				
CONCRETE/WALKWAYS	510	0				
PAVEMENT	3,736	7,549				
CURB	0	98				
CRUSHED STONE	637	0				
TOTAL	7800	12188				
LOT SIZE	30,264	30,264				
% LOT COVERAGE	25.8%	40.3%				

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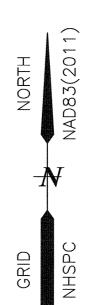
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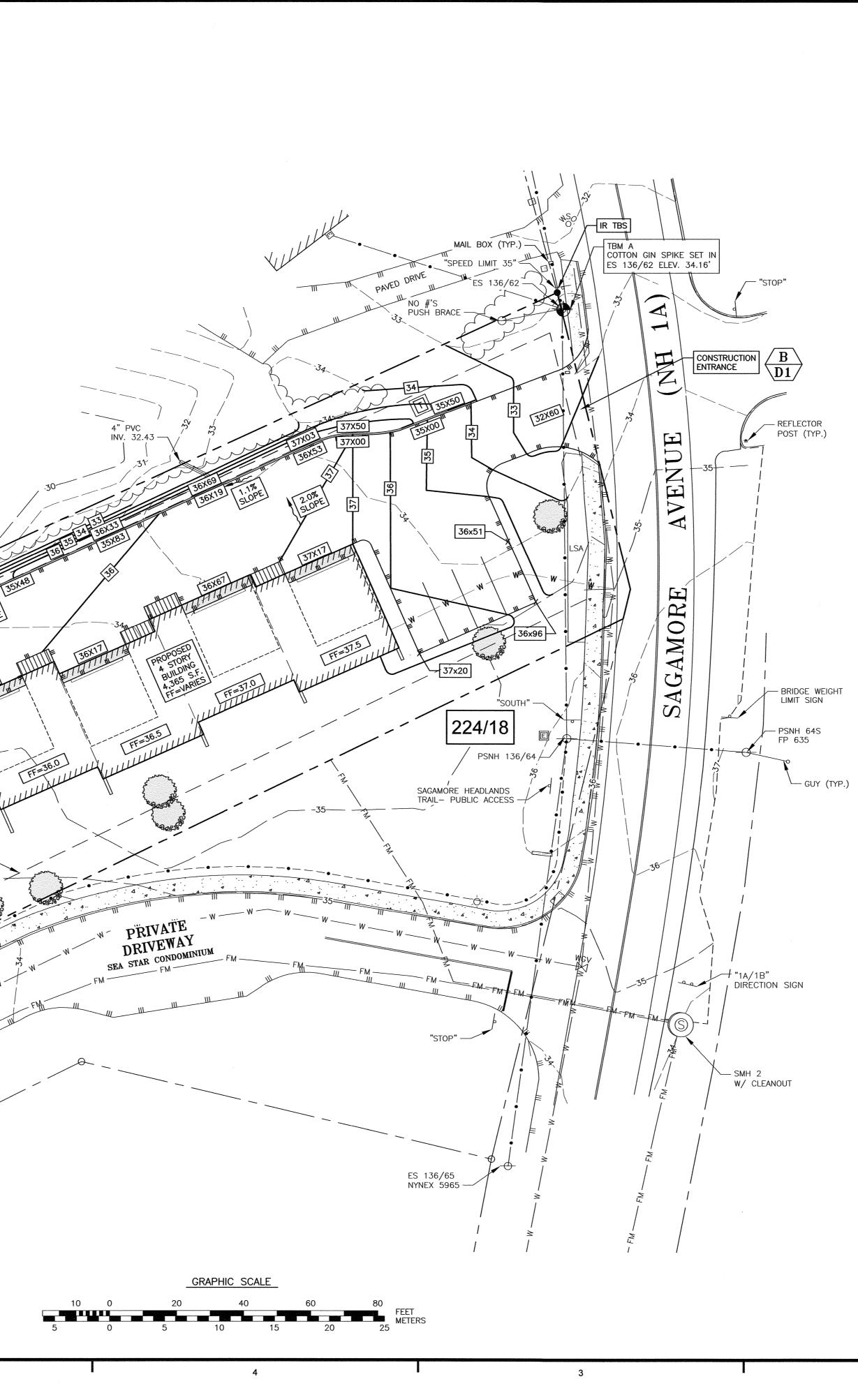
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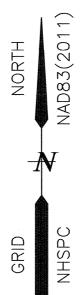
5 LEGEND: SEE COVER SHEET 1:1 SIDE SLOPE OUTLET CONTROL STRUCTURE CONSERVATION DISTRICT HEADWALL IR TBS RAIN GARDEN OVERFLOW BYPASS Kç? -30 EXPOSED LEDGE (TYP.) —— BUILDING SETBACK – \_LINE (TYP.) 6' WOOD PRIVACY —> **Vege** TREE LINE (TYP.) ----TREELINE (TYP.) 5' WIDE PUBLIC ACCESS EASEMENT LOCATION  $\bigvee$ - CONIFEROUS TREE N -"SAGAMORE , HEADLANDS TRAIL/ SAGAMORE AVENUE" TBM B "X" CUT ON HYDRANT FLANGE NUT ELEV. 35.74 "I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000." 9.5.23 JOHN R. CHAGNON, LLS #738 DATE 6 5

8uild\_America\417.01-1155 Sagamore Ave., Portsmouth-JRC\2023 Site Plan\Plans & Specs\Site\417\_01-5010314 SITE 2023.dwg, 8/30/2023 5:35:08 PM, Portsr



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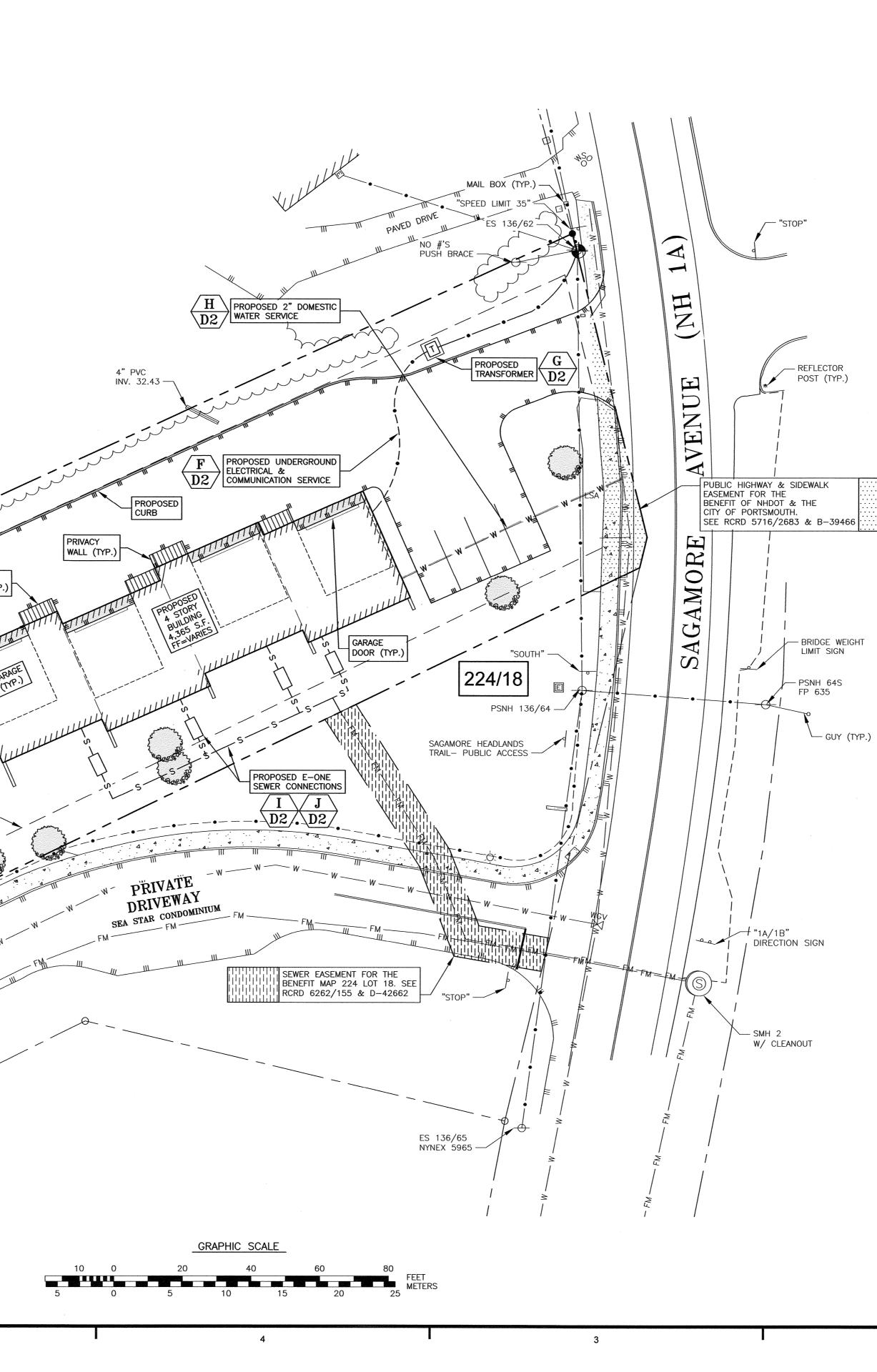


	THE CITY OF PORTSMOUTH ASSESS		D
MAP 224 AS LOT 18. 2) OWNERS OF RECORD: MICHAEL A. VALINSK MAUREEN OAKMAN 1155 SAGAMORE AN PORTSMOUTH, NH C 3991/781	/ENUE		
APPLICANT: BUILD AMERICA PO BOX 1664 PORTSMOUTH, NH	03802		
	PLAN IS TO SHOW THE SITE GRAD 18 IN THE CITY OF PORTSMOUTH.	ING ON	
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AVAILABLE EVIDENCE AND AR PROTECTING ANY ABOVEGROU SOLE RESPONSIBILITY OF TH	LOCATIONS ARE BASED UPON BEST E NOT FIELD VERIFIED. LOCATING A IND OR UNDERGROUND UTILITIES IS E CONTRACTOR AND/OR THE OWNE BE REPORTED AT ONCE TO THE DE	AND 5 THE 1R.	
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	L NOTIFY DIG SAFE AT 1—888—DIG ST 72 HOURS PRIOR TO COMMENC PRIVATE PROPERTY.		
12) GARAGE SLAB SHALL BE	4" BELOW FLOOR ELEVATION LIST	ED.	
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WWW.HALEYWARD.COM		Road, Unit 3 1, NH 03801 32	
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	ON 4)	ASSESSOR'S VERTICAL D	MAP 224 LO ATUM IS NAVE	PLAN IS TO SHOW THE SITE T 18 IN THE CITY OF PORTS 088. BASIS OF VERTICAL DATI	MOUTH.	1013
GRID	7)	PO E PORT	D AMERICA BOX 1664 TSMOUTH, NH			
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NORTH NAD83(2011					SESSOR'S	

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# EROSION CONTROL NOTES

#### CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

INSTALL SILT SOXX TO CONTROL EROSION AND SEDIMENTATION PRIOR TO ANY EARTH MOVING ACTIVITIES.

REMOVE EXISTING BUILDINGS AND OTHER SITE FEATURES TO BE REMOVED.

CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.

CUT AND REMOVE ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND OTHER DEBRIS AND RUBBISH AS REQUIRED.

STRIP AND STOCKPILE LOAM FROM SITE. STOCKPILES SHALL BE SURROUNDED WITH SILT SOXX TO CONTROL SEDIMENT RUN OFF.

ROUGH GRADE SITE AND CONSTRUCT DRAINAGE STRUCTURES, RAIN GARDEN AND SWALES. INSTALL AND MAINTAIN EROSION CONTROL DEVICES AS SHOWN ON THE PLANS. ALL PERMANENT DITCHES, AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. CONSTRUCT BUILDING FOUNDATIONS.

LOAM AND SEED DISTURBED AREAS IN ACCORDANCE WITH VEGETATIVE PRACTICE AND GENERAL CONSTRUCTION NOTES. CUT AND FILL SLOPES SHALL BE SEEDED IMMEDIATELY AFTER THEIR CONSTRUCTION.

CONSTRUCT UTILITIES, BUILDINGS AND PAVEMENT BASE COURSE.

PLANT LANDSCAPING.

С

CONSTRUCT PAVEMENT WEARING COURSE.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

#### GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE".

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR
- RIPRAP HAS BEEN INSTALLED; OR • EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM OF 0.5" OR GREATER. ALL DAMAGED SILT FENCES SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS. CONSTRUCT SILT FENCE AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED BY GRINDING OR FILL IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT EXCEEDING 8 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DISTURBED AREAS SHALL BE SEEDED WITHIN 72 HOURS FOLLOWING FINISHED GRADING.

AT NO TIME SHALL ANY DISTURBED AREA REMAIN UNSTABILIZED FOR LONGER THAN 72 HOURS. ALL AREAS WHERE CONSTRUCTION IS NOT COMPLETE WITHIN THIRTY DAYS OF THE INITIAL DISTURBANCE SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

#### VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

#### VEGETATIVE PRACTICE. Cont'd

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREEPING RED FESCUE KENTUCKY BLUEGRASS	50% 50%	100 LBS/ACRE
<u>SLOPE_SEED</u> (USED ON ALI	_ SLOPES GI	REATER THAN OR EQUAL TO 3:1)
CREEPING RED FESCUE TALL FESCUE BIRDSFOOT TREFOIL	42% 42% 16%	48 LBS/ACRE

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS: MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES: PERENNIAL RYE: 0.7 LBS/1,000 S.F. MULCH: 1.5 TONS/ACRE

#### MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILTSOXX SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

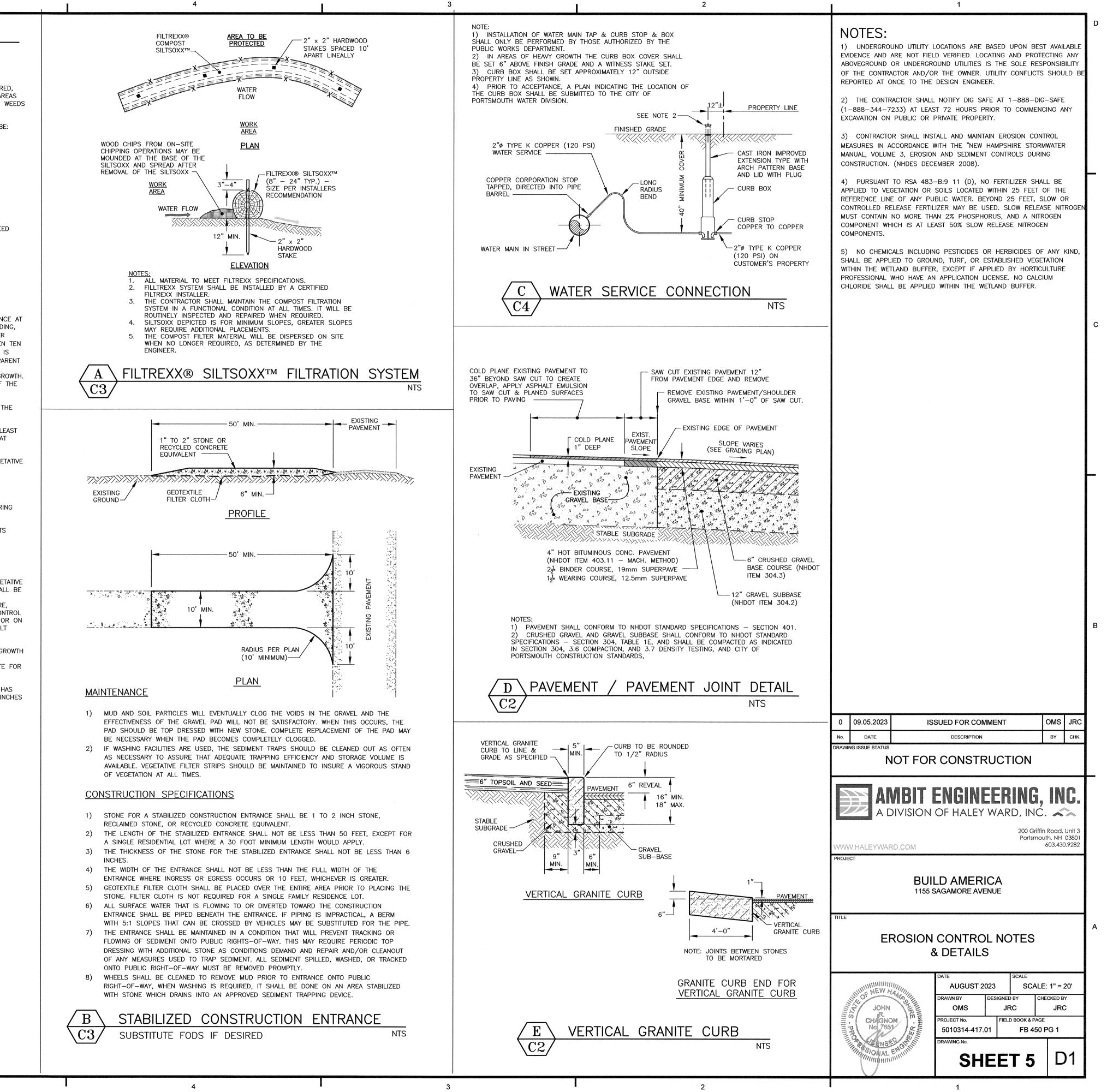
ONCE VEGETATION IS ESTABLISHED, SILTSOXX CAN BE OPEN AND ORGANIC CONTENTS DISPERSED WITH A RAKE; DISTURBED AREAS RESULTING FROM SILTSOXX SHALL BE PERMANENTLY SEEDED.

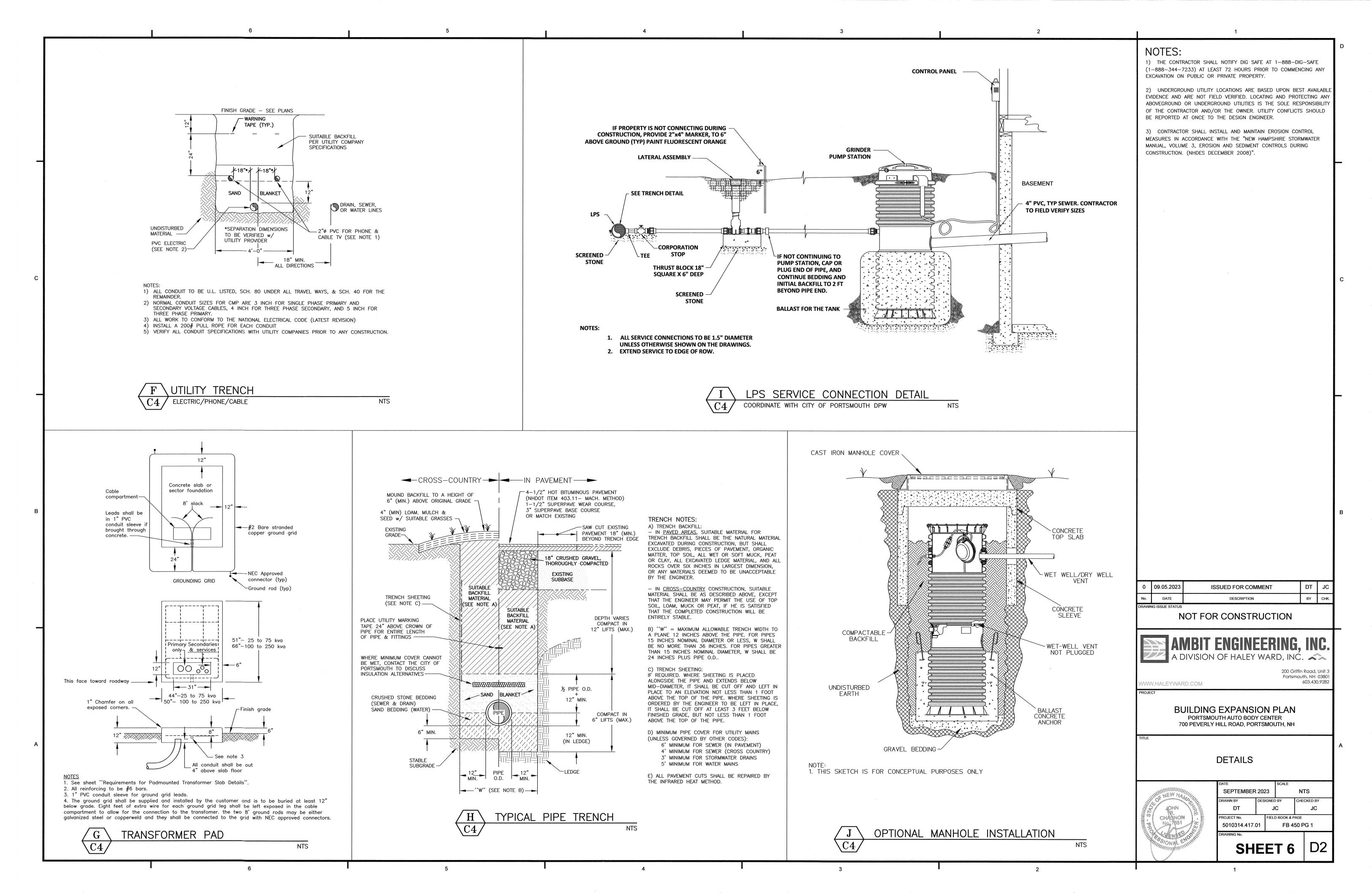
#### WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.





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