

City of Portsmouth, New Hampshire

Department of Public Works Building Additions

ISSUED FOR TAC WORK SESSION
(NOT FOR CONSTRUCTION)

ISSUED: OCTOBER 1, 2024

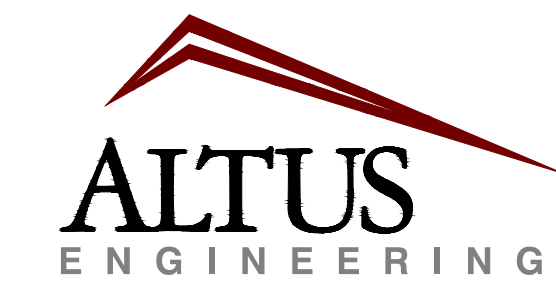
Prepared For:



DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801

Prepared By:

Civil Engineer:



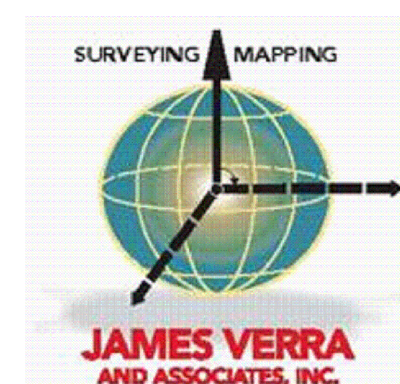
133 Court Street Portsmouth, NH 03801
 (603) 433-2335 www.altus-eng.com

Construction Manager:



10 Main Street
 Newfields, N.H. 03856
 Phone: (603) 431-6664

Surveyor:

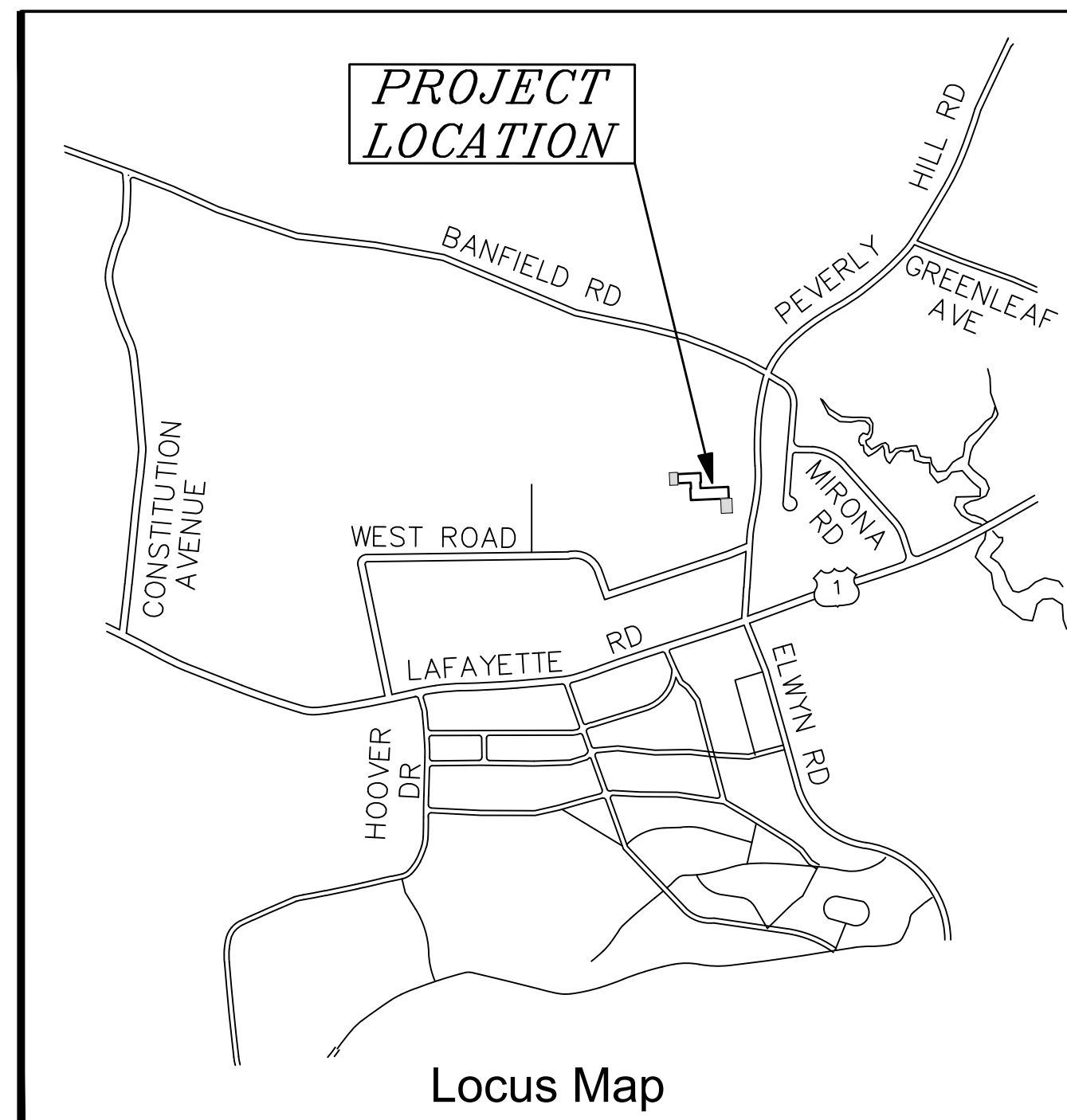


101 SHATTUCK WAY - SUITE 8
 NEWINGTON, N.H. 03801 - 7876
 603-436-3557

Architect:

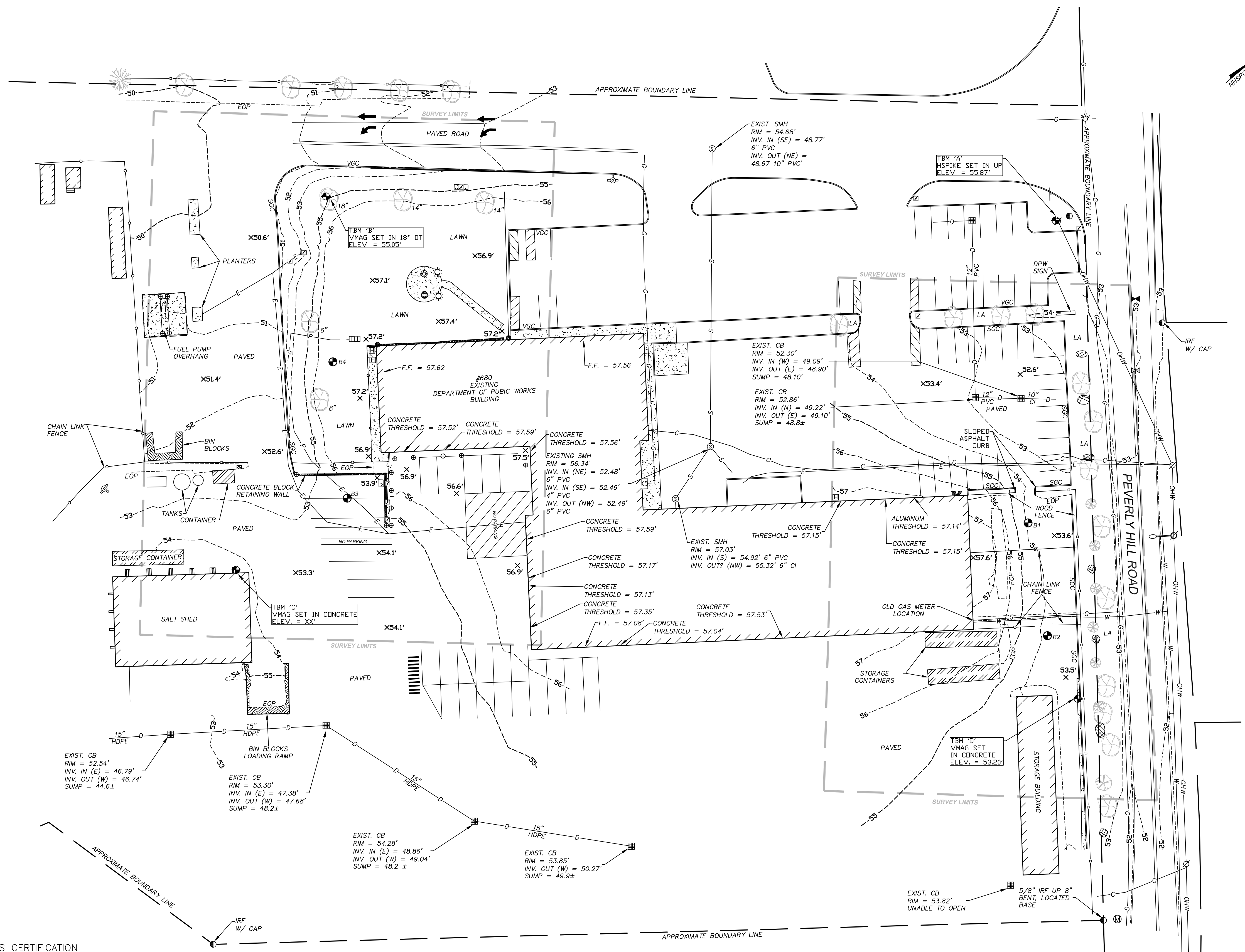
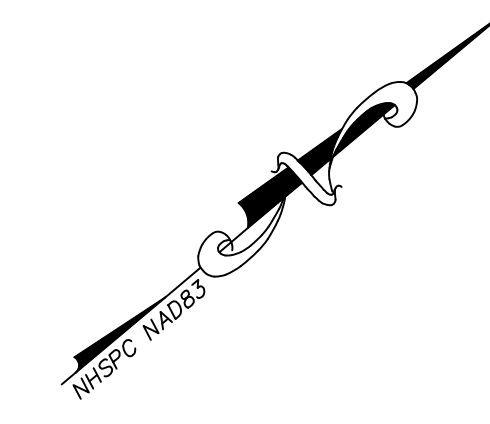


WARRENSTREET ARCHITECTS
 PLANNERS, ARCHITECTS, LANDSCAPE ARCHITECTS, INTERIOR DESIGNERS
 4 CRESCENT STREET, UNIT 2, CONCORD, NEW HAMPSHIRE 03303
 40 STARK STREET, MANCHESTER, NEW HAMPSHIRE 03103
 P. (603) 225-0640



SHEET INDEX

No.	Title	Date
1	Cover Sheet	10/01/24
2	S-1 Overall Plan (by JVA)	8/04/23
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SURVEYOR:
James Verra & Associates, Inc.
 LAND SURVEYORS
 101 SHATTUCK WAY - SUITE 8
 NEWINGTON, N.H. 03801-7876
 603-436-3557
 JOB NO: 23-2023

ENGINEER:

 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:
ENGINEERING REVIEW
 ISSUE DATE:
6/22/2023

NO.	DESCRIPTION	BY	DATE
1	ADD SEWER INFO	RMF	8/4/23

DRAWN BY: BJM/RMF
 APPROVED BY: RMF
 DRAWING FILE: 23-2023_EXCON.DWG

SCALE:
 22" x 34" - 1" = 30'
 11" x 17" - 1" = 60'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
RPF #30-23
680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:
LIMITED EXISTING CONDITIONS SITE PLAN

SHEET NUMBER:
S-2

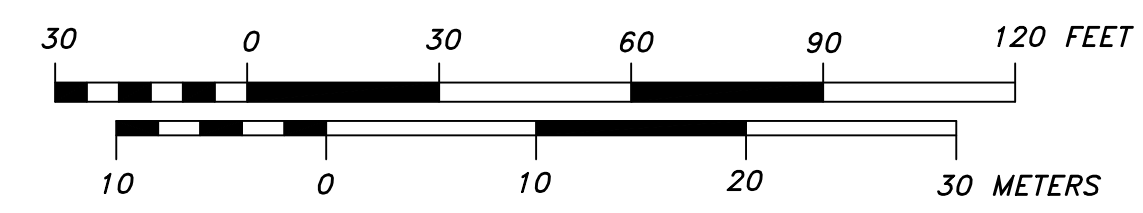
ALTUS JOB #

SURVEYOR'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN FIFTEEN THOUSAND (1:15,000)."

LICENSED LAND SURVEYOR _____ DATE _____

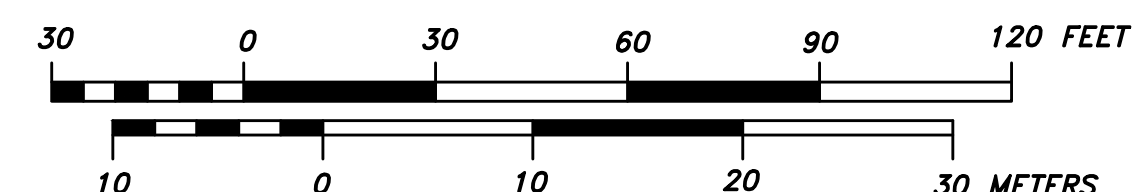
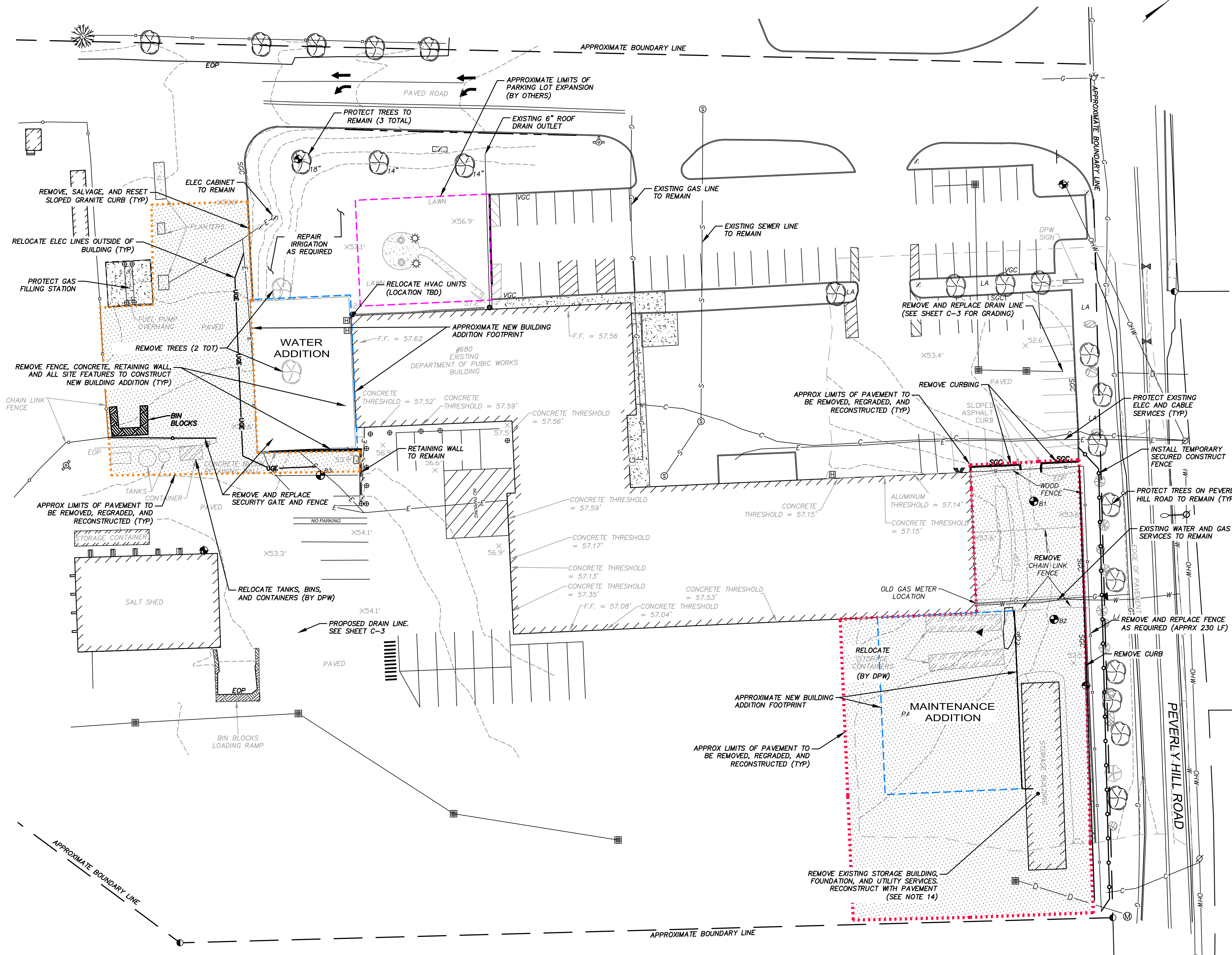
PRELIMINARY
SUBJECT TO CHANGE



SEE S-1 FOR LEGEND

DEMOLITION NOTES

- THIS DEMOLITION PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.
- CONTRACTOR SHALL SAFELY SECURE THE SITE WITH SECURITY FENCING. FENCING SHALL BE LOCKED DURING NON-WORK HOURS. COORDINATE WITH DPW.
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
- ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
- ALL STRUCTURES, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM PROPOSED DEVELOPMENT AREAS AND REPLACED WITH SUITABLE MATERIALS SUITABLE MEETING THE PROJECT SPECIFICATIONS. REFERENCE GEOTECHNICAL REPORT BY SW COLE.
- WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, ETC. SHALL BE ADJUSTED TO FINISH GRADE.
- HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- IN AREAS WHERE CONSTRUCTION IS TO BE ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG THE PROPERTY LINE IN ALL AREAS WHERE SILT FENCING IS NOT OTHERWISE REQUIRED.
- SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR EROSION CONTROL REQUIREMENTS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO; SILT BARRIERS, STABILIZED CONSTRUCTION SITE EXITS, AND STORM DRAIN INLET PROTECTION.
- ALL DEMOLISHED MATERIALS OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED TO BE SALVAGED BY THE OWNER.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS AND CODES.
- SEE GEOTECHNICAL REPORT FOR SOIL CONDITIONS AT BORING LOCATIONS.
- CONTRACTOR SHALL COORDINATE WITH DPW FOR DEMOLITION OF EXISTING STORAGE BUILDING AND POTENTIAL RELOCATION OF BUILDING.



ENGINEER:

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR:
TAC WORK SESSION

ISSUE DATE:
OCTOBER 1, 2024

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/01/24

DRAWN BY: _____ CDB
APPROVED BY: _____ EDW
DRAWING FILE: _____ 5421-SITE.DWG

SCALE:
22" x 34" - 1" = 30'
11" x 17" - 1" = 60'

APPLICANT:
**PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.**

OWNER:
**CITY OF PORTSMOUTH
1 JUNKINS AVE.
PORTSMOUTH, N.H. 03801**

PROJECT:
**PUBLIC WORKS
BUILDING ADDITIONS
City Prj. #16122**

**680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH**

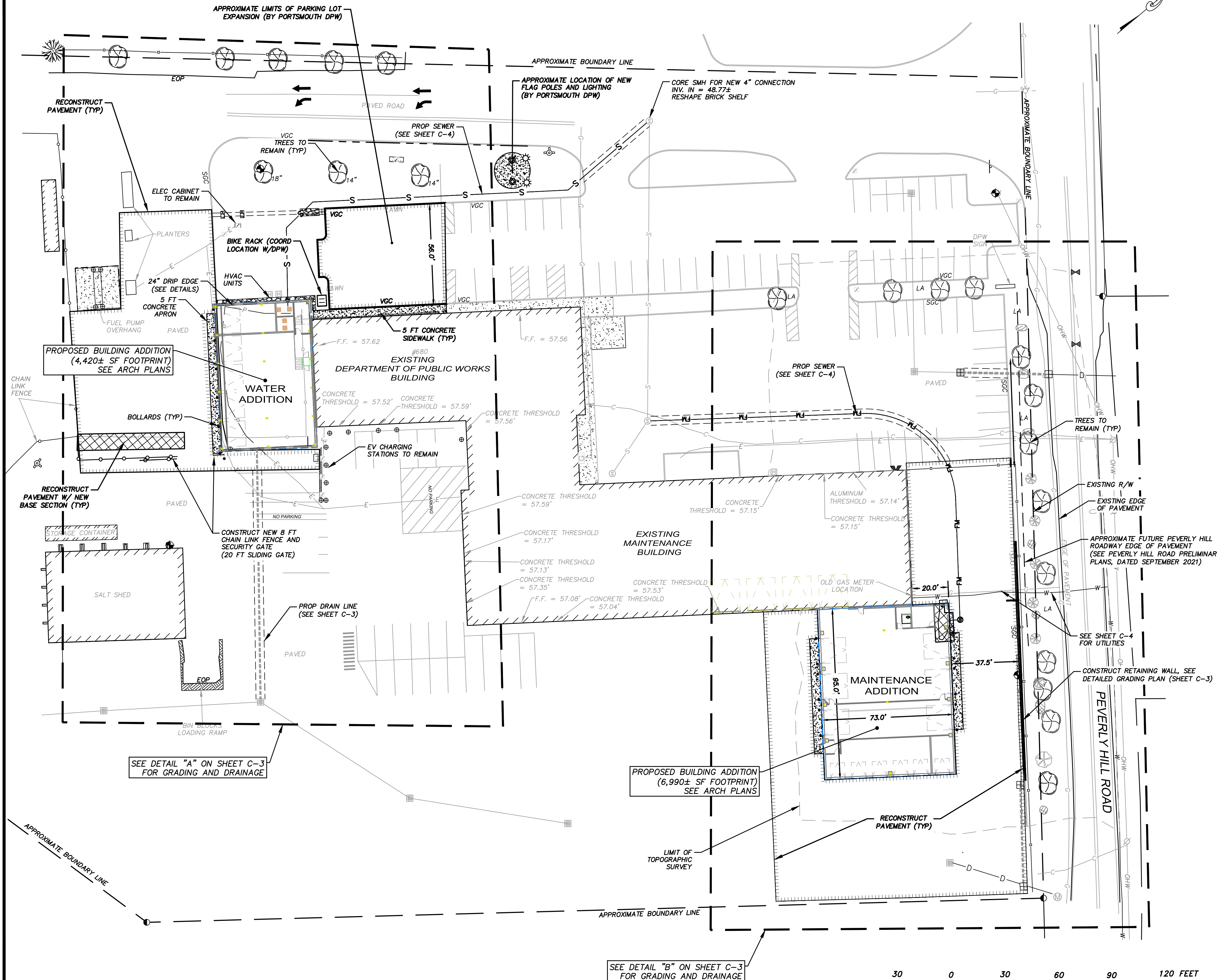
TITLE:
**DEMOLITION
PLAN**

SHEET NUMBER:
C - 1

P5597

SITE NOTES

1. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
2. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
3. THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
5. AREA OF DISTURBANCE IS UNDER 43,560 SF COVERAGE, THEREFORE EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT IS NOT REQUIRED. CONTRACTOR SHALL MANAGE SITE STORMWATER RUNOFF PER CITY OF PORTSMOUTH REQUIREMENTS TO PREVENT SEDIMENT DISCHARGE TO THE MUNICIPAL STORM DRAIN SYSTEM.
6. PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
7. SITEWORK CONTRACTOR SHALL PREPARE A LICENSED LAND SURVEYOR (LLS) STAMPED AS-BUILT SITE PLAN & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.



LEGEND

- SEE SHEET S-1 FOR EXISTING FEATURES
- LIMITS OF NEW PAVEMENT
- CONSTRUCT CONCRETE SIDEWALK/APRON
- PROPOSED FENCE AND GATE

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REVISIONS	NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL		CDB	10/01/24

DRAWN BY: _____ CDB
 APPROVED BY: _____ EDW
 DRAWING FILE: 5421-SITE.DWG

SCALE:
 22" x 34" - 1" = 30'
 11" x 17" - 1" = 60'

APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.

OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

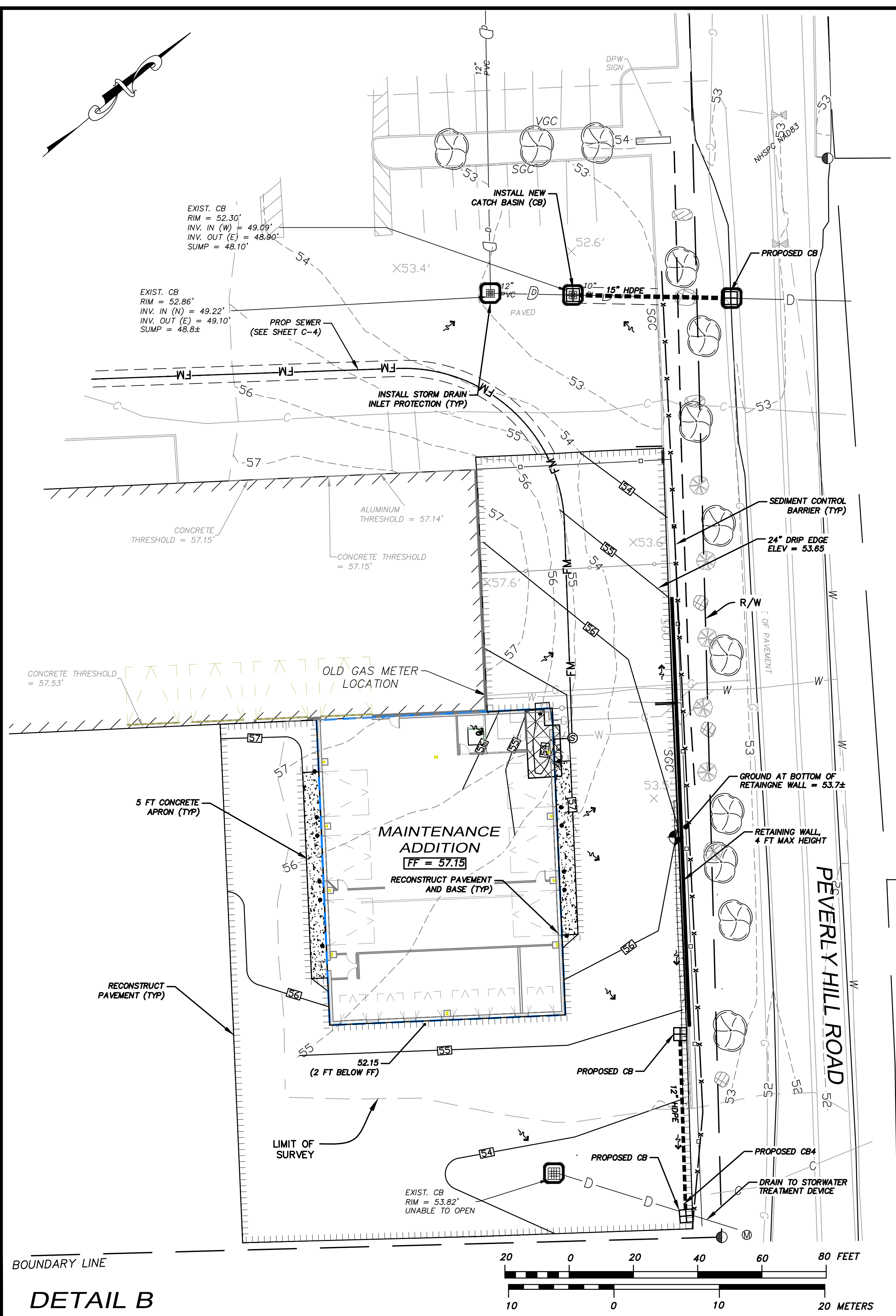
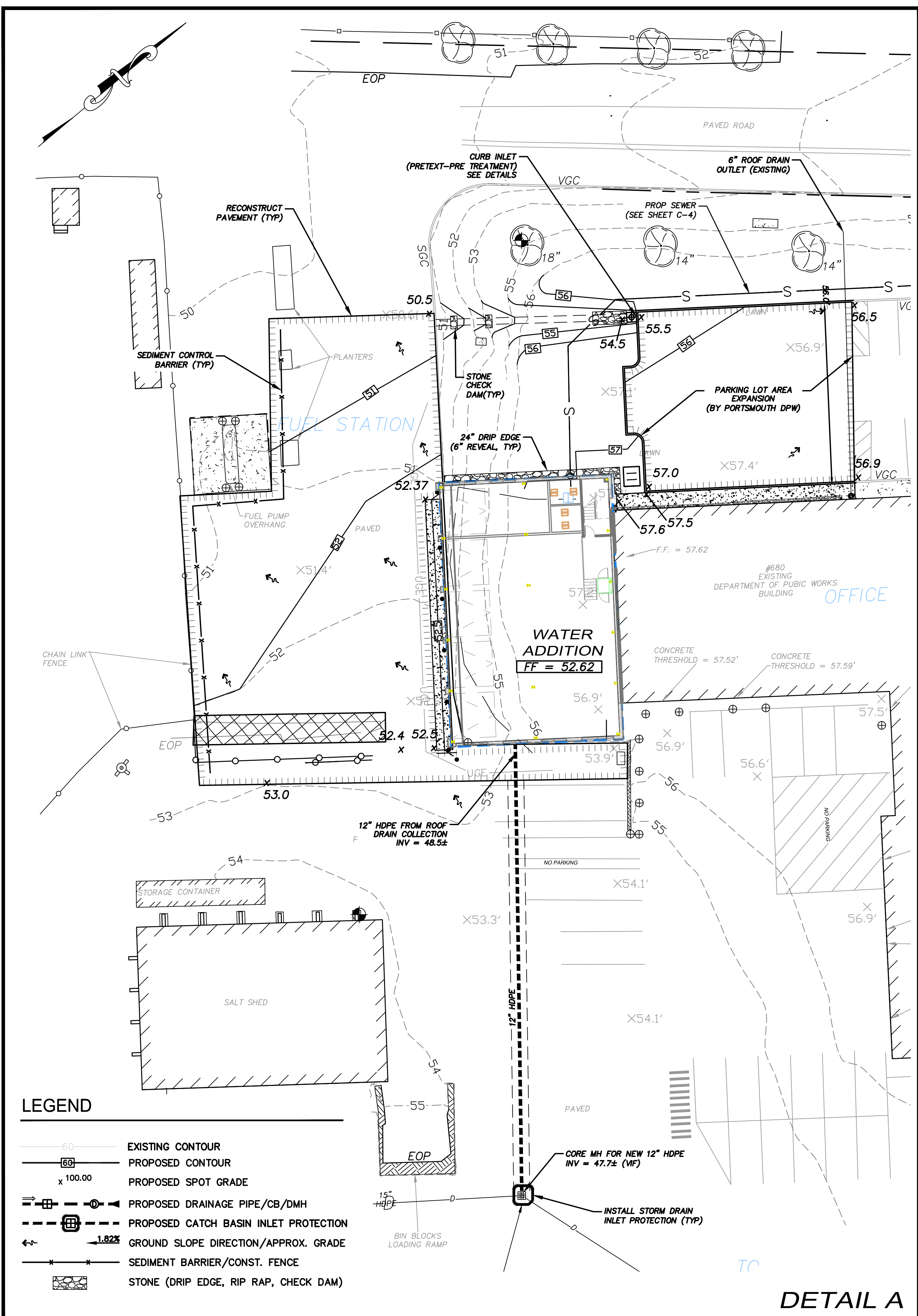
PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122

680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C - 2

P5597



ENGINEER:

ALTUS
ENGINEERING

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DRAWN BY: _____ CDB
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SCALE:
22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVE.
PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
City Prj. #16122

680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

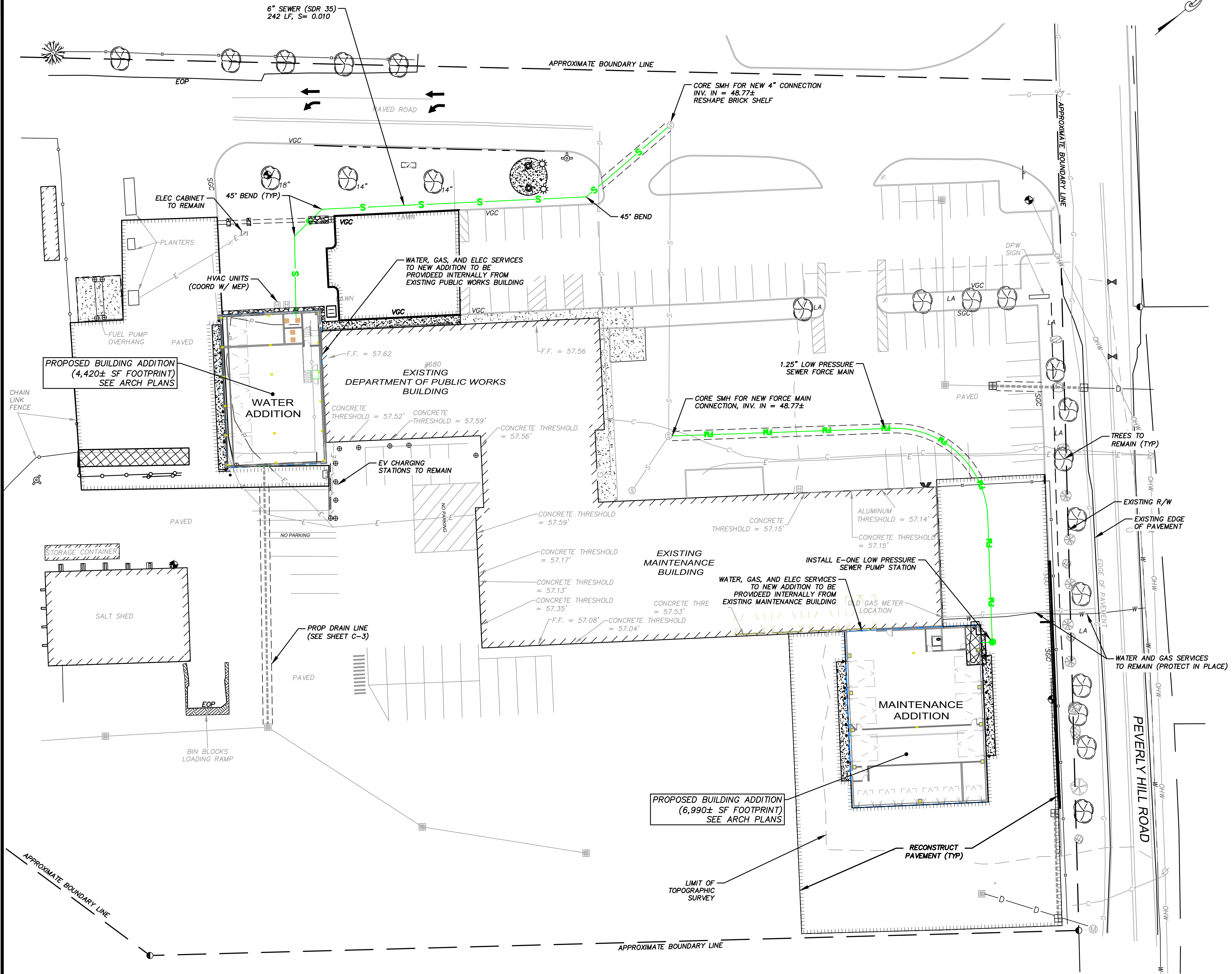
TITLE:
DETAILED GRADING, DRAINAGE, AND EROSION CONTROL PLAN

SHEET NUMBER:
C - 3

P5597

UTILITY NOTES

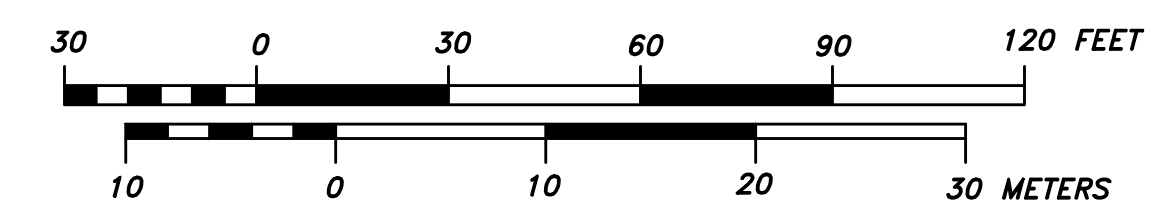
- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL PERMIT CONDITIONS AND REQUIREMENTS.
- ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
- SITWORK CONTRACTOR SHALL COORDINATE ALL WORK WITH ARCHITECTURAL, PLUMBING AND MECHANICAL DRAWINGS.
- FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
- DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.



LEGEND

SEE SHEET S-1 FOR EXISTING FEATURES

- BORING LOCATION (SEE GEOTECHNICAL RPT)
- PROPOSED THRUST BLOCK/WATER/CURB STOP/VALVE/HYDRANT
- PROPOSED SEWER/MANHOLE/CLEANOUT
- PROPOSED SEWER FORCEMAIN
- PROPOSED GAS
- PROPOSED OVERHEAD UTILITIES/UTILITY POLE
- PROPOSED UNDERGROUND ELEC/PHONE/TV
- SAWCUT PAVEMENT
- APPROX. LIMITS OF PAVEMENT REMOVAL
- BUILDING REMOVAL



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SCALE:
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APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
 PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122
 680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

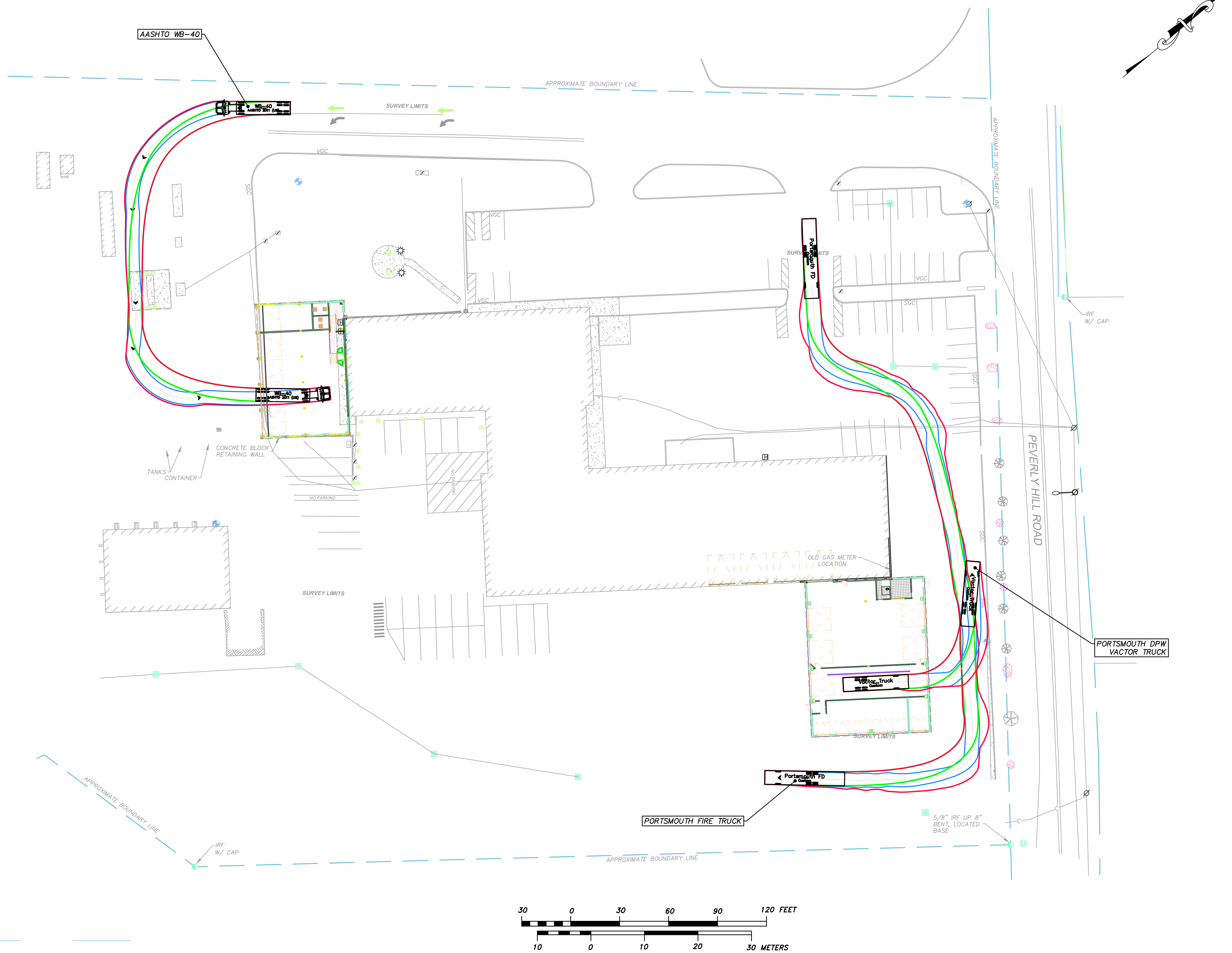
TITLE:

UTILITIES PLAN

SHEET NUMBER:

C - 4

P5597



NOT FOR CONSTRUCTION

ISSUED FOR:
TAC WORK SESSION

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OCTOBER 1, 2024

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DRAWN BY: _____ CDB
 APPROVED BY: _____ EDW
 DRAWING FILE: 5421-SITE.DWG

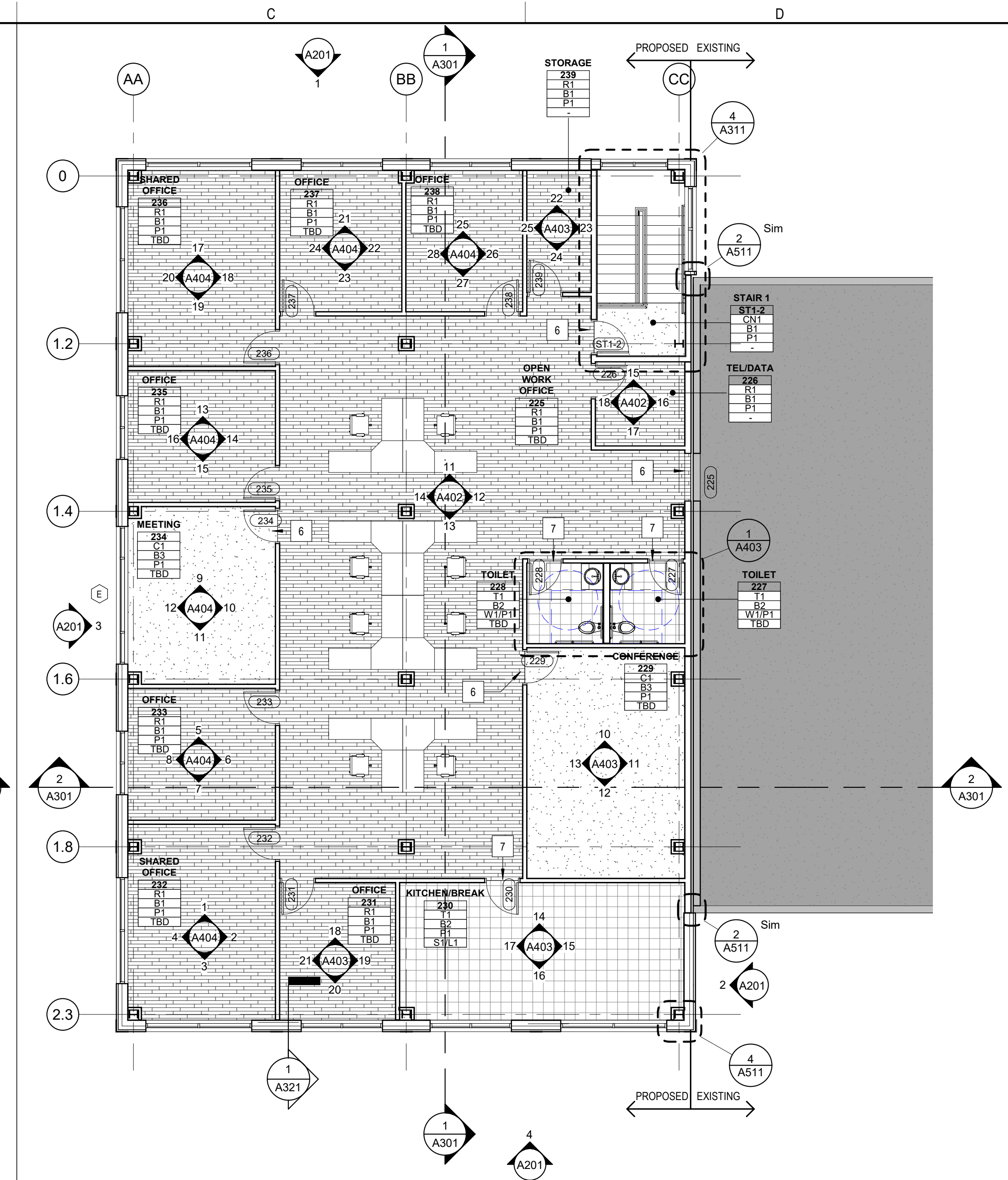
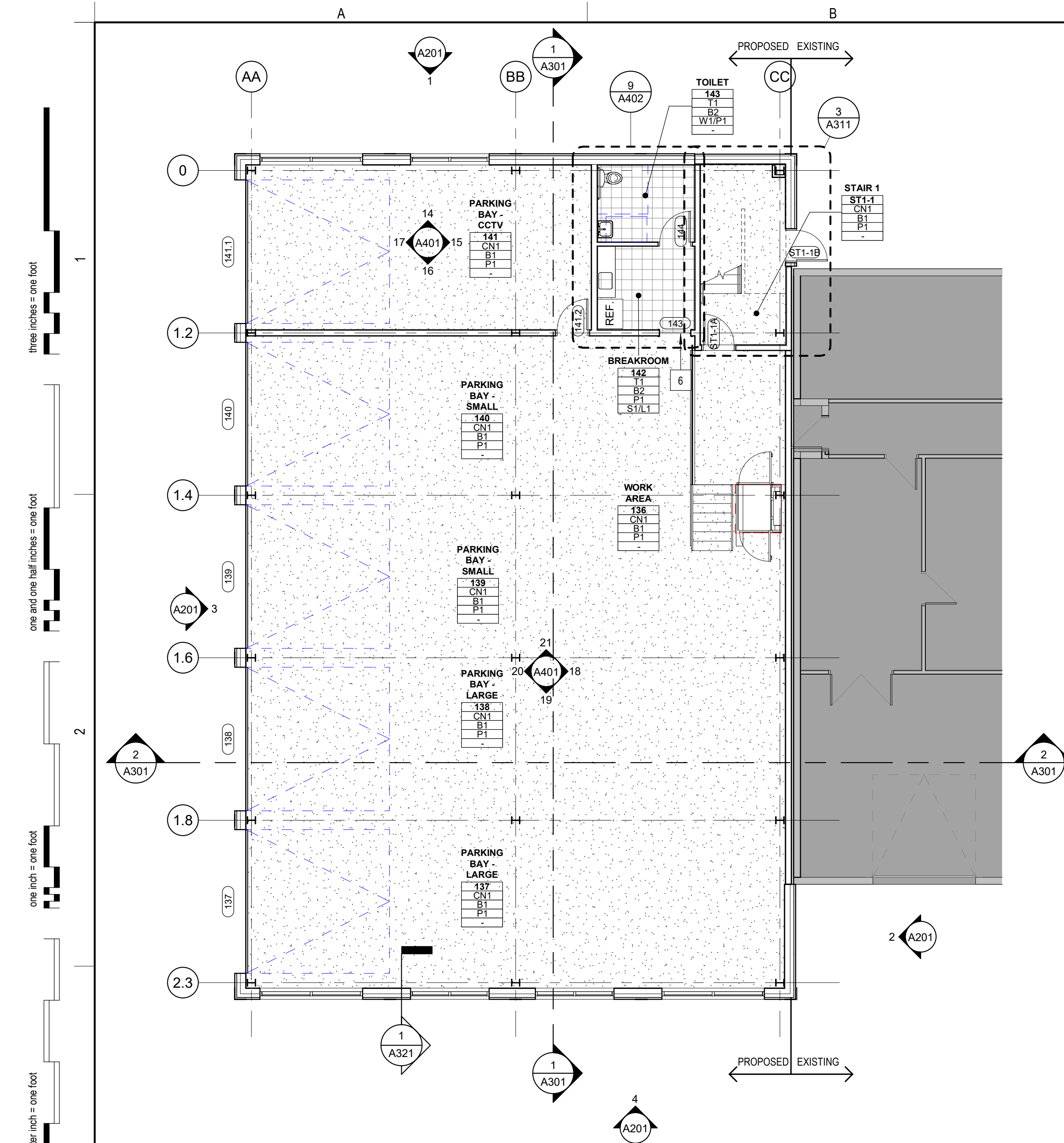
SCALE:
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 11" x 17" - 1" = 60'

APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122
 680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

TITLE:
TRUCK TURNING MOVEMENTS

SHEET NUMBER:
T - 1



- ### GENERAL FINISH NOTES
- SEE INTERIOR MATERIALS LEGEND FOR FINISH DESIGNATIONS.
 - SEE DOOR SCHEDULE FOR DOOR & FRAME PAINT COLORS.
 - SEE INTERIOR ELEVATIONS ON 'A00' SERIES SHEETS.
 - RESILIENT FLOOR SHALL EXTEND UNDER ALL CASEWORK.
 - ALL ELECTRICAL FIXTURE PLATES AND COVERS SHALL BE U.O.
 - PAINT METAL STAIR GUARD, HANDRAILS & STRINGERS COLOR U.O.N.
 - UNDERSIDE GWB OF STAIR SHALL BE PAINTED WHITE, U.O.N.
 - TEST ALL EXISTING AND NEW CONCRETE SLABS FOR MOISTURE VAPOR EMISSIONS (ASTM F1869), INTERNAL RELATIVE HUMIDITY (ASTM F170), AND ALKALINITY (ASTM F710). IN THE EVENT THAT TEST VALUES EXCEED FLOORING MANUFACTURER'S LIMITS, NOTIFY ARCHITECT TO DETERMINE REMEDIATION METHOD.
- ### GENERAL PLAN NOTES
- ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
 - ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.O. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
 - DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
 - REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
 - VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
 - ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
 - REVIEW PRIOR TO INSTALLATION, ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
 - PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
 - COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

- ### FLOORING INSTALLATION METHOD
- QUARTER TURN
 - MONOLITHIC
 - BRICK
 - ASHLAR
 - STAGGER
- ### FLOOR PLAN LEGEND
- 101 DOOR TAG, SEE DOOR SCHEDULE
 - X WINDOW TAG, SEE WINDOW SCHEDULE
 - 11 ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
 - A KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
 - STRUCTURAL GRID LINE
 - NEW CONSTRUCTION
 - EXISTING CONSTRUCTION
 - NEW DOOR
 - EXISTING DOOR

- ### FINISH PLAN LEGEND
- FINISH PLAN ROOM TAG
- ROOM NAME
 - FLOOR FINISH
 - BASE / CHAIR RAIL
 - WALL (ABOVE/BELOW)
 - MILLWORK / MISC.
- MATERIAL CALLOUT TAG
- MATERIAL TAG
 - ACCENT PAINT LOCATION IN PLAN
 - KEYNOTE, SEE KEYNOTE LEGEND BELOW
- ### EQUIPMENT PLAN LEGEND
- 11 EQUIPMENT TAG
 - A KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
 - STRUCTURAL GRID LINE
 - NEW CONSTRUCTION
 - EXISTING CONSTRUCTION
- ### GENERAL KEYNOTES
- | KEY # | DESCRIPTION |
|-------|---|
| 1 | TRENCH DRAIN |
| 2 | COORDINATE EQUIPMENT LOCATIONS WITH OWNER |
| 3 | PROVIDE EXPANSION JOINTS BETWEEN EXISTING BUILDING & NEW ADDITION, REFER TO DETAILS |
| 4 | OPENING TO MATCH EXISTING |
| 6 | FA1 FLOOR TO FLOOR TRANSITION |
| 7 | FA2 FLOOR TO FLOOR TRANSITION |

OWNER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSTRUCTION MANAGER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSULTANTS:
CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

Warrenstreet
Planning Landscapes Architecture
WARRENSTREET ARCHITECTS, INC.
4 CRESCENT STREET, UNIT 2
CONCORD, NEW HAMPSHIRE 03303
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP
SEAL:

PROJECT TITLE / ADDRESS:
PORTSMOUTH PUBLIC WORKS ADDITION
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

PLAN KEY:
W

TRUE NORTH
PROJECT NORTH

SCALE: AS NOTED DWN BY: JT
PROJECT #: 1234 CHK BY: CHECKER
PRINT DATE: 9/20/2024 2:28:57 PM

ISSUE DATE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

1 FIRST FLOOR
A111 1/8" = 1'-0"

2 SECOND FLOOR
A111 1/8" = 1'-0"

INTERIOR FINISH MATERIALS LEGEND

TAG	ITEM	SPEC NO.	MANUFACTURER	COLLECTION / MODEL	COLOR	SIZE	INSTALL	NOTES
FLOORING								
CN1	CONCRETE, SEALED	03 30 00						
T1	CERAMIC FLOOR TILE	09 30 13						
CEILINGS								
ACT1	ACOUSTICAL TILE CEILINGS	09 51 23						
WALL BASE								
B1	RESILIENT BASE & ACCESSORIES	09 65 00						
B2	TILE BASE	09 30 13						
WALL								
P1	PAINT	09 90 00						
W1	FRP	06 64 00						
MILLWORK								
S1	COUNTERS	12 36 00						
L1	PLASTIC LAMINATE	06 41 16						
MISCELLANEOUS								
FA1	FLOOR TO FLOOR TRANSITION	09 30 13	SCHLUTER	RENO-U				
FA2	FLOOR TO FLOOR TRANSITION	09 30 13	SCHLUTER	RENO-T				

Autodesk Docs/0305 PORTSMOUTH
 PUBLIC WORKS ADDITION/3825
 PORTSMOUTH-PUBLIC WORKS
 ADDITION - ALTERN08/11/2022/SSAL
 SW

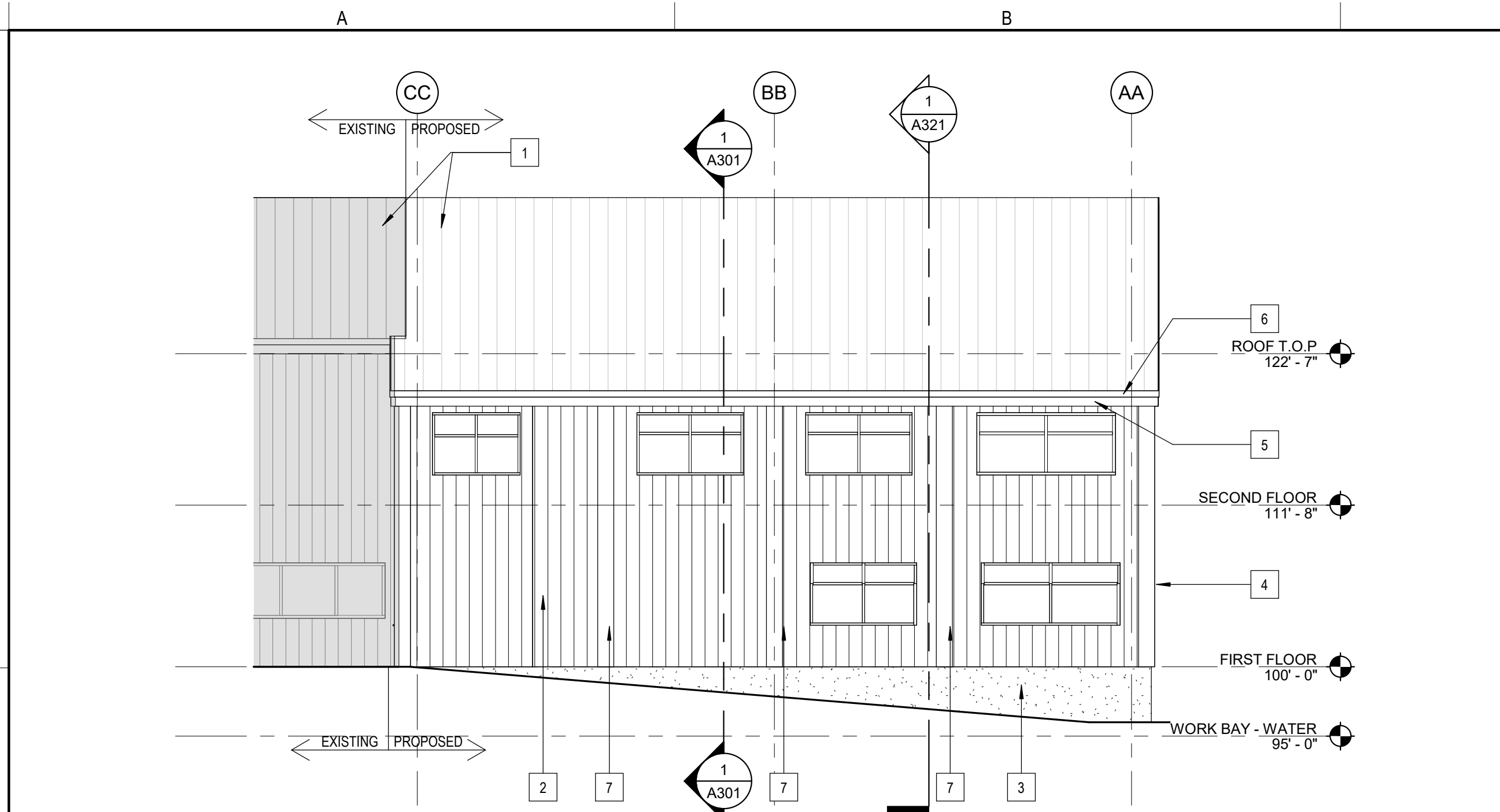
PROGRESS NOT FOR CONSTRUCTION

WATER DEPARTMENT FLOOR PLANS

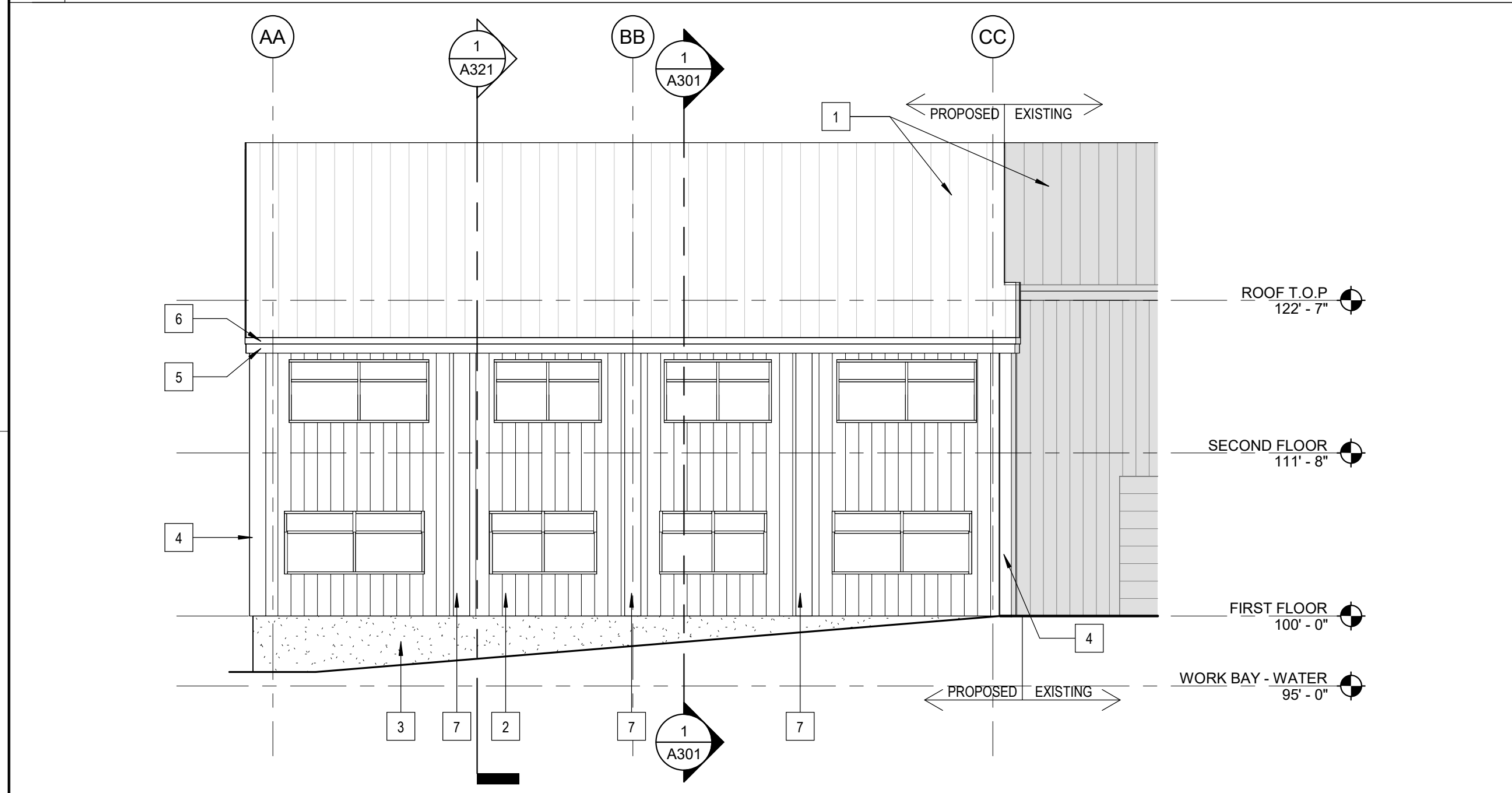
A111

SHEET NUMBER: 2 OF 6 ARCHITECTURAL
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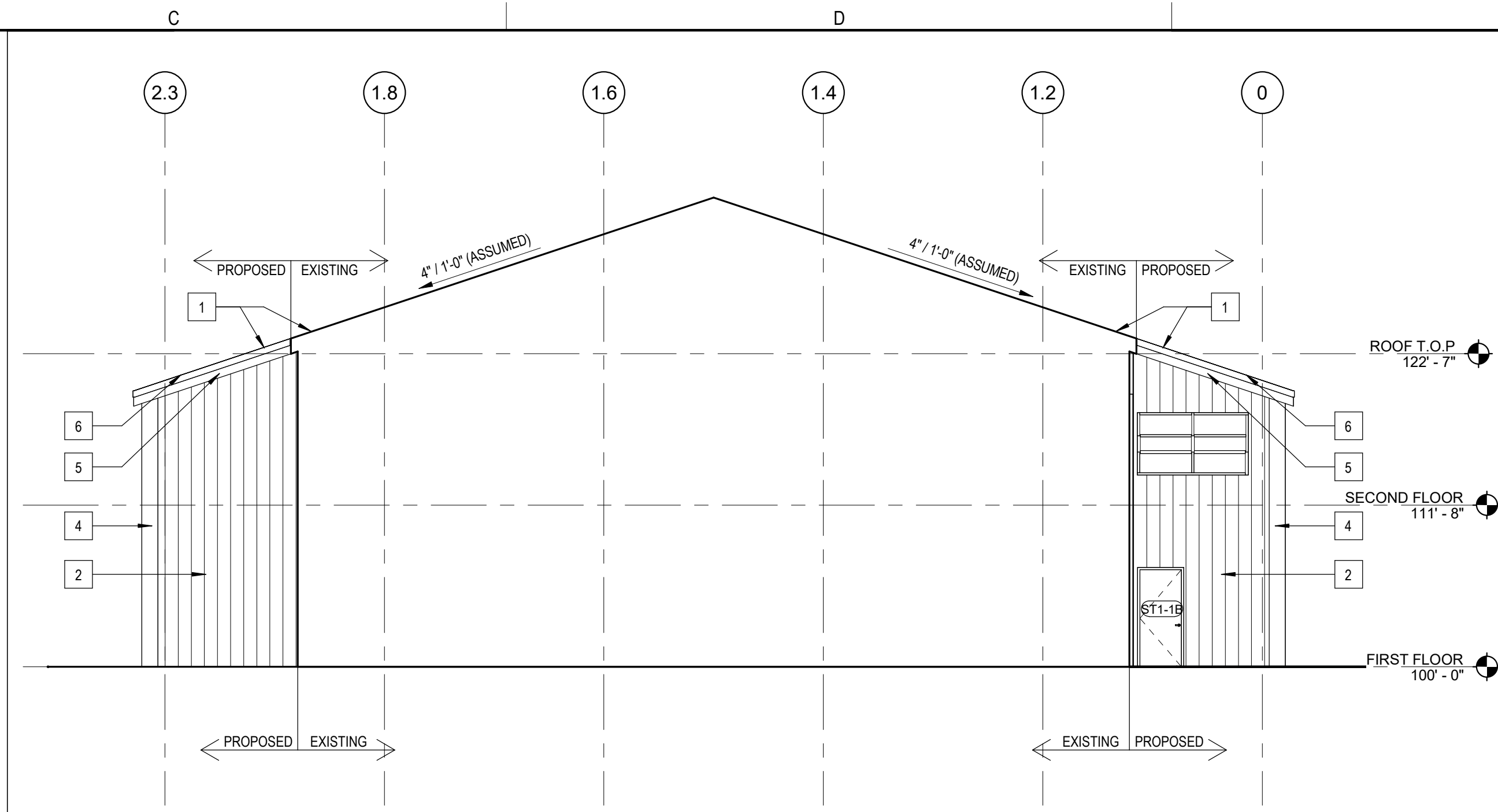
Autodesk Docs/0305 PORTSMOUTH
 PUBLIC WORKS ADDITION/0305
 PORTSMOUTH-PUBLIC WORKS
 ADDITION - ALTERN08/11/2022/SAL
 3/11



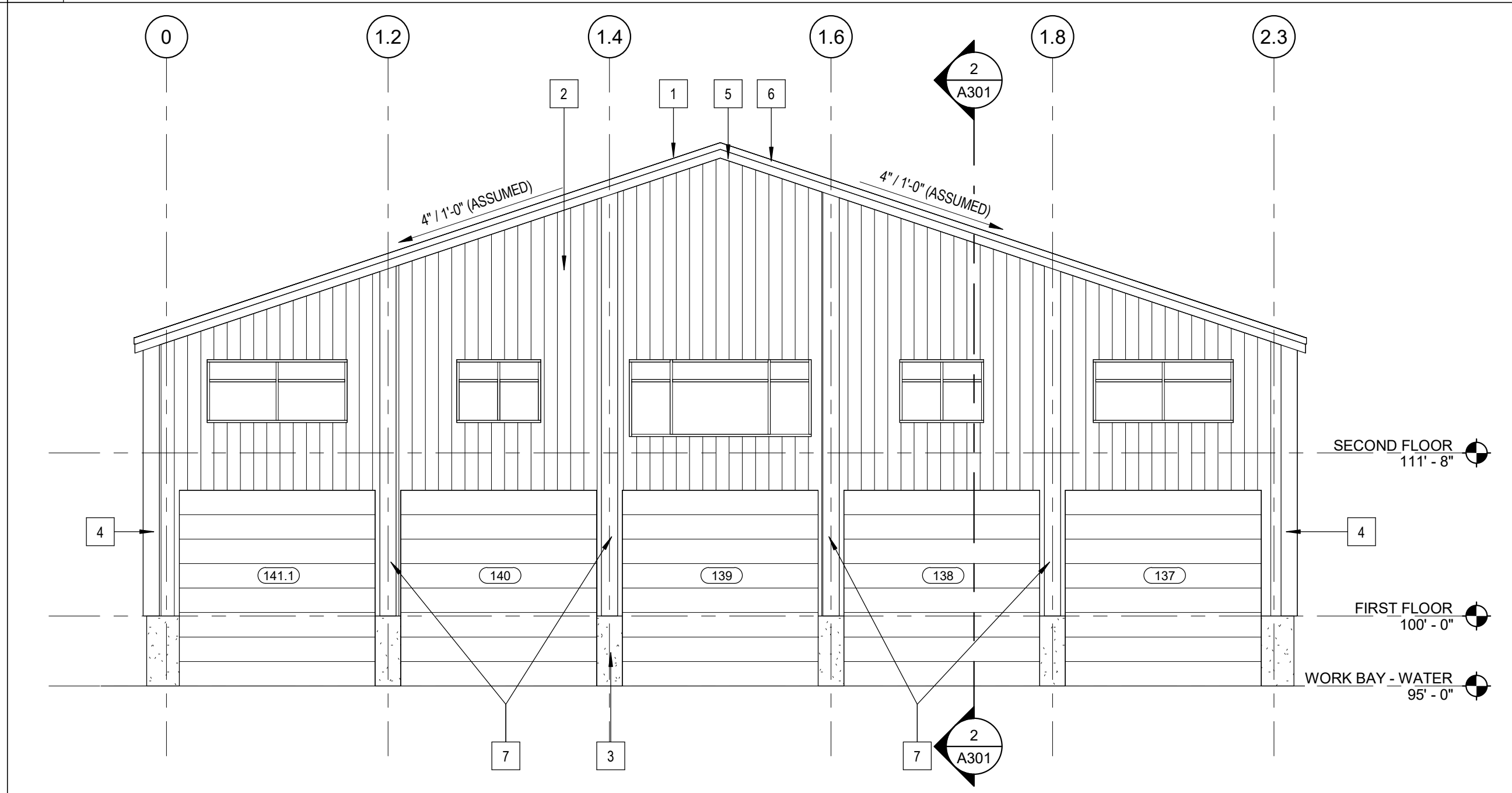
1 WATER DEPARTMENT - NORTH
A201 1/8" = 1'-0"



4 WATER DEPARTMENT - SOUTH
A201 1/8" = 1'-0"



2 WATER DEPARTMENT - EAST
A201 1/8" = 1'-0"



3 WATER DEPARTMENT - WEST
A201 1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

A KEYNOTE, SEE ELEVATION KEYNOTE LEGEND

X WINDOW TAG, SEE DOOR SCHEDULE SHEET

CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	SLOPE & ELEVATION OF ROOF TO MATCH EXISTING ADJACENT
2	FLUTED PANEL TO MATCH EXISTING, SEE WALL SECTIONS
3	CONCRETE FOUNDATION WALL
4	PVC CORNER, COLOR TBD
5	PVC FASCIA
6	6" ALUMINUM DRIP EDGE
7	EXTERIOR TRIM TBD

OWNER

TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSTRUCTION MANAGER

TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSULTANTS:

CIVIL

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PLUMBING / MECHANICAL

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

OTHER

NAME
STREET
CITY, STATE, ZIP
TELEPHONE

Warrenstreet
Planning Landscapes Architecture

WARRENSTREET ARCHITECTS, INC.
4 CRESCENT STREET, UNIT 2
CONCORD, NEW HAMPSHIRE 03303
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

SEAL:

PROJECT TITLE / ADDRESS:
PORTSMOUTH PUBLIC WORKS ADDITION
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

PLAN KEY:

SCALE: AS NOTED DWN BY: JT
PROJECT #: 1234 CHK BY: CHECKER
PRINT DATE: 9/20/2024 2:28:59 PM

ISSUE DATE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

WATER DEPARTMENT EXTERIOR ELEVATIONS

A201

SHEET NUMBER: 5 OF 6 ARCHITECTURAL

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