



TO: Beverly Mesa-Zendt, AICP  
Planning Director  
City of Portsmouth, NH  
1 Junkins Avenue  
Portsmouth, NH 03801

DATE: 6-22-2022

RE: LU-20-190  
Map 283, Lot 11

Beverly,

Please consider this request of subdivision approval per Section III of the subdivision regulations for an extension of the time for completion, which shall not exceed 18 months from the original date of Planning Board approval of the subdivision for the subject application. As you know we are finalizing plans with the Planning and Legal departments and the extended time is necessary to facilitate that process.

Regards,



Michael Garrepy

**GARREPY PLANNING CONSULTANTS, LLC**  
real estate planning & development

phone: 603.944.7530 email: [garrepy.pc@gmail.com](mailto:garrepy.pc@gmail.com)



TO: Beverly Mesa-Zendt, AICP  
Planning Director  
City of Portsmouth, NH  
1 Junkins Avenue  
Portsmouth, NH 03801

DATE: 7/15/2022

RE: Map 283, Lot 11  
Plan Revisions

Dear Beverly,

Please find the attached plan set which depicts final revisions per our recent discussions. Changes were made to the plans as required by the Planning Department, primarily to provide information regarding the legal status of Hemlock Way (formerly Patricia Drive). The changes are as noted below:

1. Hatched portion of Right of Way, granted to City of Portsmouth by deed recorded at R.C.R.D Book 1748, Page 172 to be conveyed to abutting landowners, with undivided interest with reservation of rights of access by the public and drainage rights to the City. The intent of this conveyance is to provide rights consistent with the reversion of the remainder of Hemlock Way (formerly Patricia Drive), for which rights to the centerline reverted to the abutting landowners by operation of law, as noted below.
2. Ownership rights of the remaining portion (i.e. portion not conveyed to the City pursuant to the above-referenced deed) of existing private right of way (formerly Patricia Drive) reverted to abutting landowners, perpendicular to the centerline, pursuant to RSA 231:51 and *Sheris v. Morton*, 111 NH 66 (1971) upon dedication pursuant to R.C.R.D Plan #195 recorded April 10, 1964 without acceptance within 20 years.
3. The newly subdivided Tax Map 283, Lots 11 and 11.1 retain rights to pass over and develop Hemlock Way (formerly Patricia Drive) pursuant to *Duchesnaye v. Silva*, 118 N.H. 728 (1978), holding that the owners of lots abutting a former paper street retain an implied easement to pass over and develop the area for access to those lots.

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We trust these changes satisfactorily address the ownership matters raised by the Legal and Planning Departments.  
Upon your concurrence we will prepare mylars for recording.

Regards,  
Mike Garrepy

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phone: 603.944.7530    email: [garrepy.pc@gmail.com](mailto:garrepy.pc@gmail.com)

# 2 LOT SUBDIVISION PLAN FOR

# DUBE PLUS CONSTRUCTION,

## TAX MAP 283, LOT 11

## HEMLOCK WAY, PORTSMOUTH, NH 03801

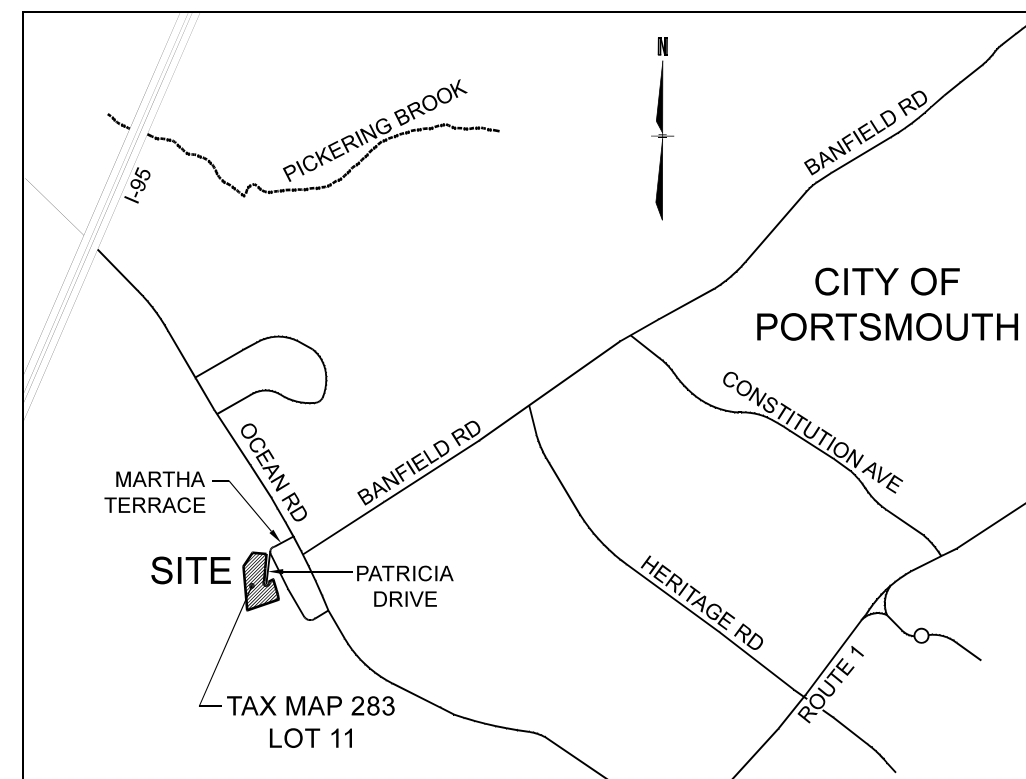
## ROCKINGHAM CO.

**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
2. THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
3. THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQFT).
4. THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
5. THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
6. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:
 

MIN. ROAD FRONTAGE	=150'
MIN. LOT DEPTH	=200'
MIN. LOT SIZE	=43,560 SF (1 ACRE)
MIN. ROAD SETBACK	=30'
MIN. REAR SETBACK	=40'
MIN. SIDE SETBACK	=20'
WETLAND/WATERBODY SETBACK	=100'
WETLAND/LIMITED CUT	=50'
WETLAND/VEGETATED BUFFER STRIP	=25'
MAXIMUM STRUCTURE HEIGHT	=35'
SEPTIC SETBACK	=75' HYDRIC SOILS

 OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
7. THE PROPOSED GRADING PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
8. THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
9. THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
10. SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
11. WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
12. RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
13. ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY granitview.unh.edu.
14. SHEET 9 OF 10 THIS SET WILL BE RECORDED, A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
15. THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E. EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
16. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
17. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
18. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
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**LOCATION PLAN**

SCALE: 1"=2,000'

**SHEET INDEX**

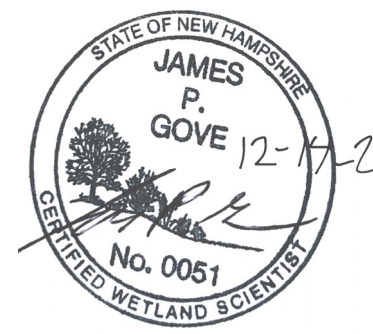
DWG	SHT NO.	DESCRIPTION
CVR	1 OF 10	COVER SHEET
ECP	2 OF 10	EXISTING CONDITIONS PLAN
DMP	3 OF 10	DEMOLITION PLAN
PGP	4 OF 10	PROPOSED GRADING PLAN
PDPP	5 OF 10	PROPOSED DRIVEWAY PLAN & PROFILE
PBIP	6 OF 10	PROPOSED BUFFER IMPACT PLAN
PUP	7 OF 10	PROPOSED UTILITY PLAN
PCP	8 OF 10	PROPOSED CONDITIONS PLAN
PSP	9 OF 10	PROPOSED SUBDIVISION
DET	10 OF 10	DETAIL SHEET

**PROFESSIONAL CONSULTANTS LIST**

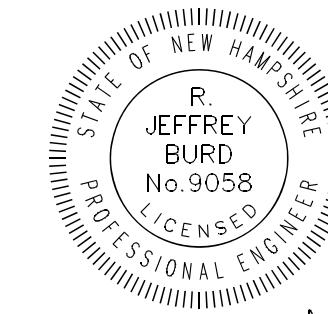
**SURVEYOR:** NEW HAMPSHIRE LAND CONSULTANTS, PLLC.  
683C FIRST NH TURNPIKE (RT.4)  
NORTHWOOD, NH 03261 PH: (603) 942-9220



**WETLAND/SOIL SCIENTIST:** GOVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DR., BLDG. 2, UNIT H,  
EXETER, NH 03833 PH: (603) 778-0644



**ENGINEER:** JEFF BURD, RJB ENGINEERING,  
2 GLENDALE ROAD,  
CONCORD NH, 03301  
PH: (603) 219-0194



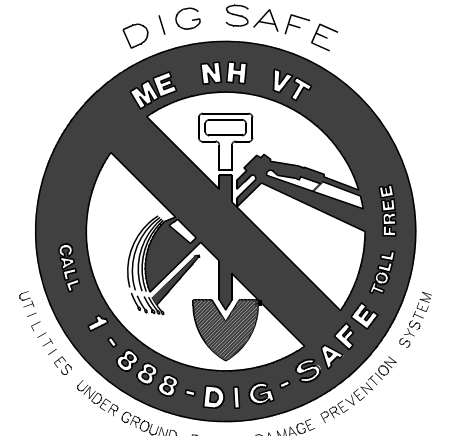
*R. Burd*

**OWNER:**  
HEMLOCK WAY REALTY INVESTMENTS, LLC  
10 BRICKETTS MILL ROAD, SUITE C  
HAMPSTEAD, NH 03841  
BK 6330 PG 796

**APPLICANT:**  
DUBE PLUS CONSTRUCTION,  
10 BRICKETTS MILL ROAD,  
HAMPSTEAD, NH 03841

**AGENCY APPROVALS**

NHDES SUBDIVISION : #eSA2021100607 APPROVED 10/6/2021



CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. NEW HAMPSHIRE LAND CONSULTANTS, PLLC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233).

**INITIAL PLAN SET SUBMISSION DATE**

**SEPTEMBER 23, 2020**  
Latest revision date:  
**JULY 15, 2022**

**NOTE:**

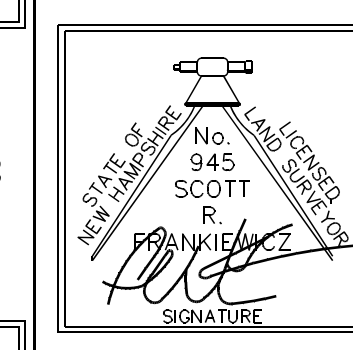
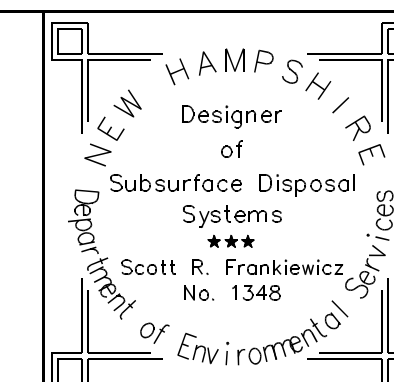
ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF PORTSMOUTH REGULATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
15	10/12/2021	FINAL APPROVED PLANS FOR RECORDING	TDB
16	12/14/2021	ADDED NOTING TO FINAL PLANS	TDB
18	02/03/2022	REVISIONS TO SHT 7,8 & 10 OF 10	SRF
19	03/16/2022	REVISED PER DPW COMMENTS FOR FINAL PLANS	TDB
20	07/15/2022	REVISED PER CITY COMMENTS FOR FINAL PLANS	SRF



**N.H. LAND Consultants**  
SURVEYING • LAND PLANNING • REAL ESTATE  
A VETERAN OWNED COMPANY

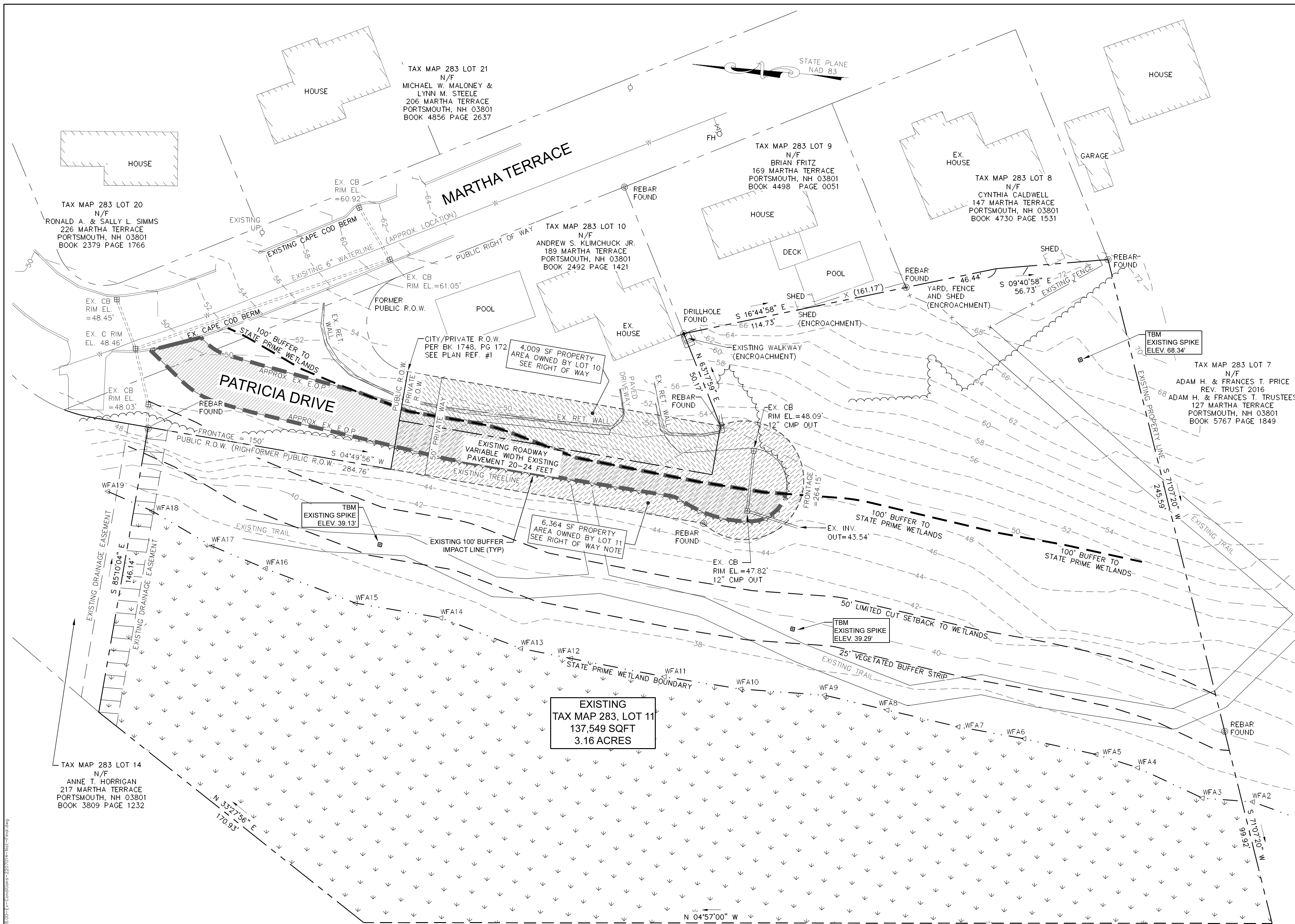
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM



**COVER SHEET**  
TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
HEMLOCK WAY, PORTSMOUTH NH 03801  
OWNED BY  
**HEMLOCK WAY REALTY INVESTMENTS, LLC**  
10 BRICKETTS MILL ROAD, SUITE C, HAMPSTEAD, NH 03841  
BOOK 6330 PAGE 796

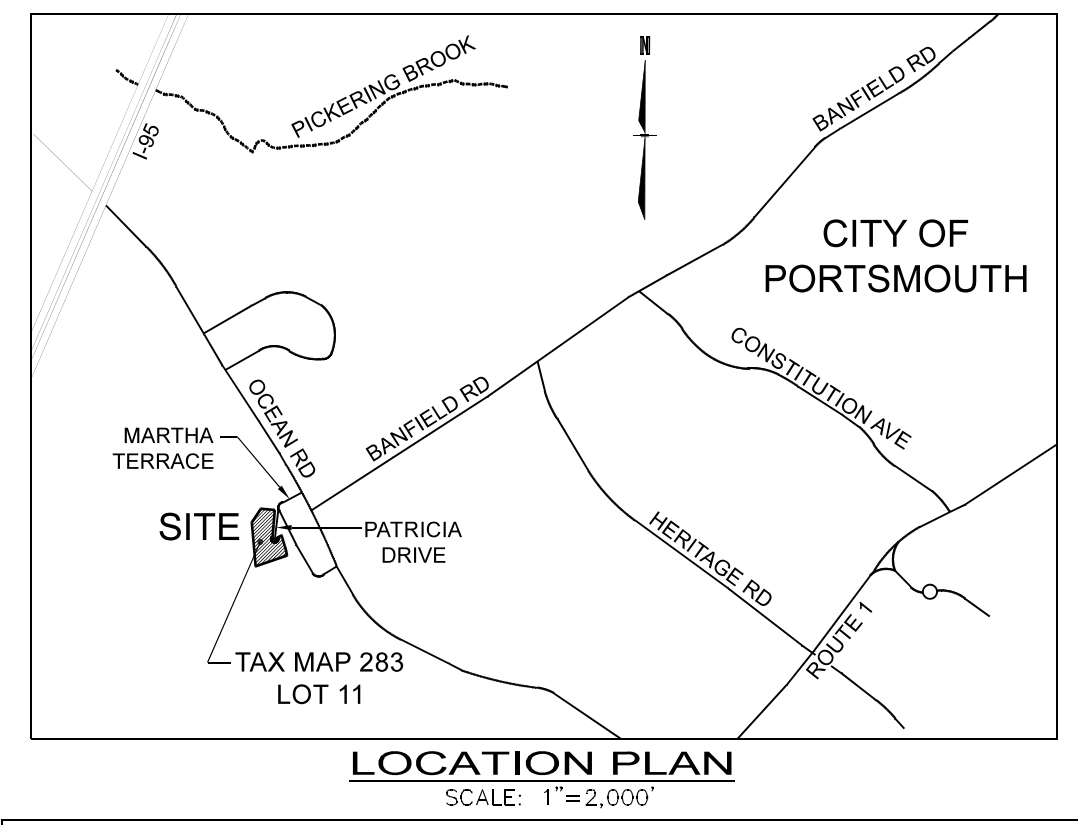
**JOB NO: 258.00**  
**ROCKINGHAM CO.**  
DATE: SEPTEMBER 23, 2020  
  
**CVR**  
  
SHT. 1 of 10





**ABUTTERS LIST:**

N/F	MAP 283 LOT 7	ADAM H. & FRANCES T. PRICE, ADAM H. & FRANCES T. TRUSTEES	127 MARTHA TERRACE, PORTSMOUTH, NH 03801	BOOK 5767 PAGE 1849
N/F	MAP 283 LOT 8	CYNTHIA CALDWELL	147 MARTHA TERRACE, PORTSMOUTH, NH 03801	BOOK 4730 PAGE 1531
N/F	MAP 283 LOT 9	BRIAN A. FRITZ	169 MARTHA TERRACE, PORTSMOUTH, NH 03801	BOOK 4491 PAGE 0051
N/F	MAP 283 LOT 10	ANDREW S. KLIMCHUCK JR.	189 MARTHA TERRACE, PORTSMOUTH, NH 03801	BOOK 2492 PAGE 1421
N/F	MAP 283 LOT 21	MICHAEL W. MALONEY & LYNN M. STEELE	206 MARTHA TERRACE, PORTSMOUTH, NH 03801	BOOK 4859 PAGE 2637
N/F	MAP 283 LOT 20	RONALD A. & SALLY L. SIMMS	228 MARTHA TERRACE, PORTSMOUTH, NH 03801	BOOK 2379 PAGE 1768
N/F	MAP 283 LOT 14	ANNE T. HERRIGAN	217 MARTHA TERRACE, PORTSMOUTH, NH 03801	BOOK 3809 PAGE 1232
N/F	MAP 283 LOT 13	CITY OF PORTSMOUTH, DPW	P.O. BOX 628, PORTSMOUTH, NH 03802	BOOK 2249 PAGE 0432
N/F	MAP 283 LOT 12	ELIZABETH J. ROLSTON	185 POST ROAD, GREENLAND, NH 03840	BOOK 2789 PAGE 2523



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- PLAN REFERENCES:**
- R.C.R.D. PLAN #195, RECORDED APRIL 10, 1964, TITLED: "PARCIAL PLAN OF OCEAN MANOR, PORTSMOUTH, NH", PREPARED FOR: HILTON HOMES, INC., GREENLAND NH, DATED, JANUARY, 1964, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=40', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD ON MARCH 20, 1964.
  - R.C.R.D. PLAN #05967, RECORDED MAY 21, 1976, TITLED: "RESUBDIVISION OF OCEAN MANNER", PREPARED FOR: ANDREWS PROPERTIES, INC., PORTSMOUTH NH, DATED: MARCH 1976, REVISED MAY 1976, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=50', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD DURING 1976.
  - R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
  - R.C.R.D. PLAN #D33328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 - LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH., SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

**100' WETLAND BUFFER IMPACT AREAS**

EXISTING IMPERVIOUS SURFACE (PAVEMENT AREA) = 5,718 SF

EXISTING OVERALL IMPACT = 5,718 SF



TAX MAP 283 LOT 13  
N/F  
CITY OF PORTSMOUTH DPW  
P.O. BOX 628  
PORTSMOUTH, NH 03802  
BOOK 2249 PAGE 432

TAX MAP 283 LOT 12  
N/F  
ELIZABETH J. ROLSTON  
185 POST ROAD  
GREENLAND, NH 03840  
BOOK 2679 PAGE 2523

**RIGHT OF WAY NOTE**

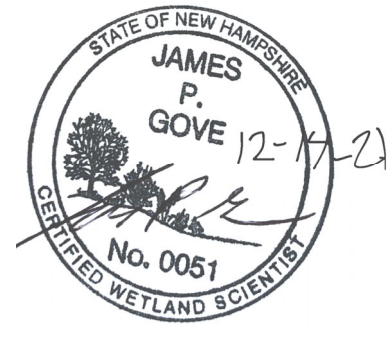
OWNERSHIP RIGHTS OF REMAINING PORTION OF PATRICIA DRIVE REVERTED TO ABUTTING LANDOWNERS, PERPENDICULAR TO THE CENTERLINE, PURSUANT TO RSA 231:51 AND SHERI V. MORTON, 111 NH 66 (1971) AFTER DEDICATION PURSUANT TO R.C.R.D PLAN #195 RECORDED APRIL 10, 1964 WITHOUT ACCEPTANCE WITHIN 20 YEARS

**LEGEND**

EXISTING RETAINING WALL	---	WETLANDS	---
ABUTTERS PROPERTY LINES	---	DRILL HOLE FOUND	○
SUBJECT PROPERTY LINES	---	REBAR W/ CAP FOUND	⊕
PROPOSED PROPERTY LINES	---	STONE BOUND FOUND	⊞
EXISTING TIE LINE	---	EXISTING GATE VALVE & FIRE HYDRANT	⊕
EDGE OF PAVEMENT	---		
PROPOSED BLDG SETBACK	---		
EXISTING CONTOUR (MNR)	-572-		
EXISTING CONTOUR (M.R)	-570-		

Standards Utilized:

US Army Corps of Engineers Wetlands Delineation Manual, Technical Report Y-87-1 (Jan 1987) AND Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Version 2.0, January 2012 AND Field Indicators for Identifying Hydric Soils in New England, Version 4, May 2017, New England Hydric Soils Technical Committee. Wetlands Delineated by Gove Environmental Services, Inc. staff: James P. Gove, CWS 051, CSS 004 on 6/4/20



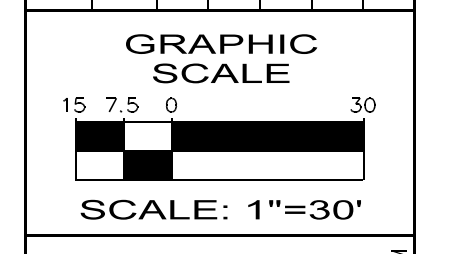
STATE OF NEW HAMPSHIRE  
JAMES P. GOVE  
12-17-21  
No. 0051  
REGISTERED WETLAND SCIENTIST

I CERTIFY THAT THIS PLAN IS BASED UPON THE PLAN REFERENCES AND A FIELD SURVEY CONDUCTED ON THE GROUND IN SPRING OF 2020, MEETING THE MINIMUM REQUIREMENTS FOR ACCURACY, 1:10,000 AND COMPLETENESS PER THE STATE OF NEW HAMPSHIRE AND THE CITY OF PORTSMOUTH, NH.

SCOTT R. FRANKIEWICZ, LLS  
DATE: 07/15/2022

**REVISIONS**

NO.	DATE	DESCRIPTION	BY
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16	12/14/2021	ADDED NOTING TO FINAL PLANS	TDE
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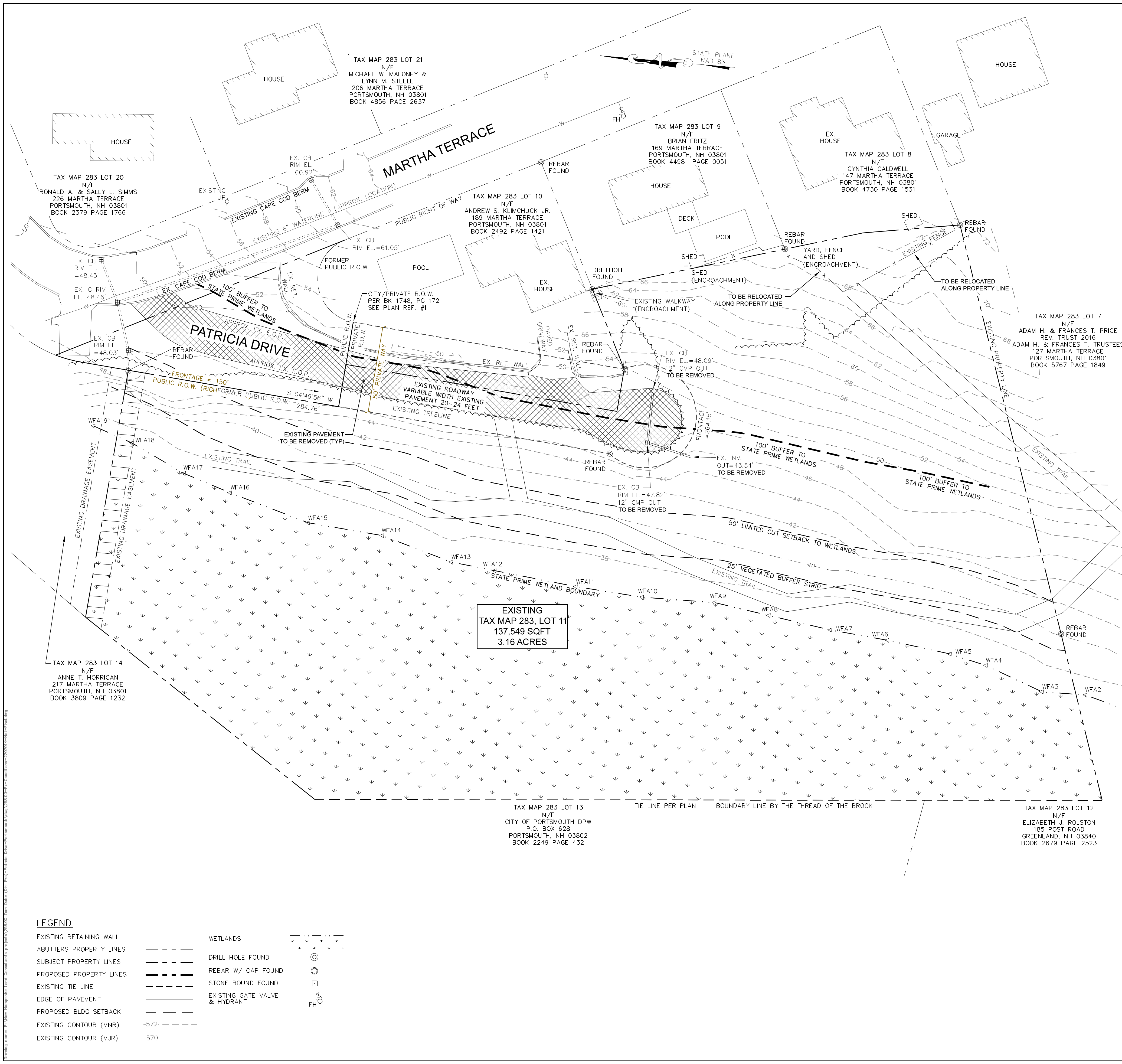
**N.H. LAND Consultants**  
SURVEYING • LAND PLANNING • REAL ESTATE  
A Veteran Owned Company

EXISTING CONDITIONS PLAN  
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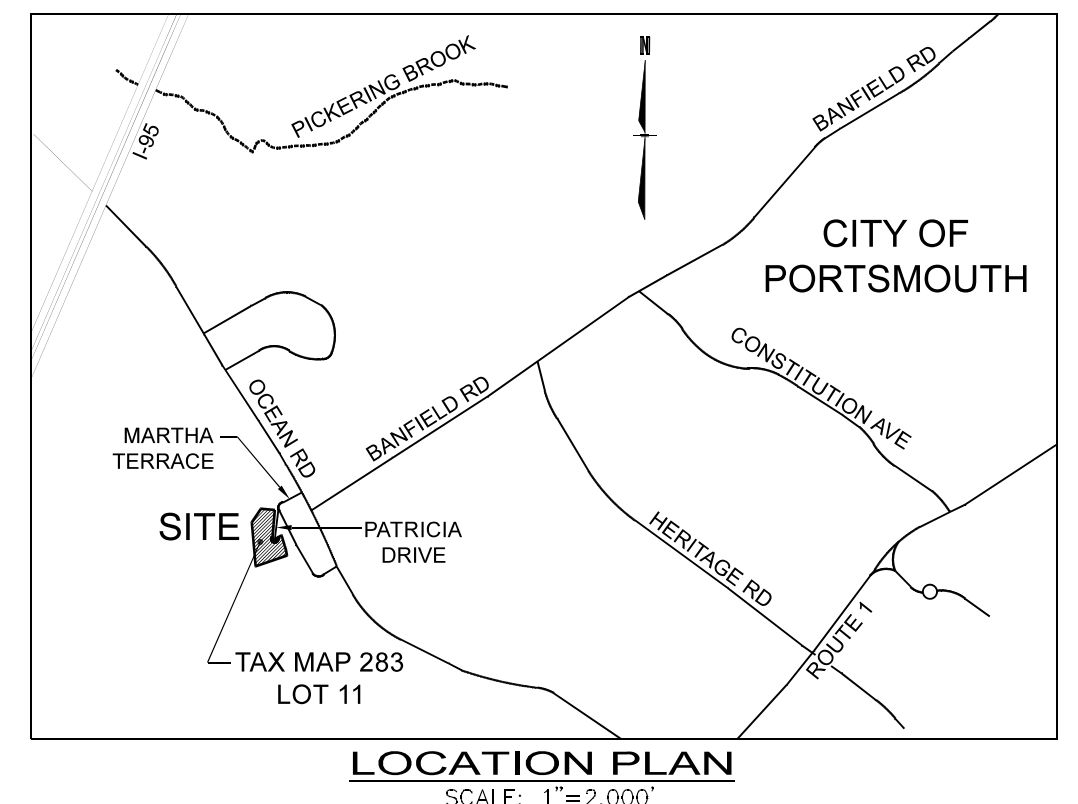
ROCKINGHAM CO.  
JOB NO: 258.00  
DATE: SEPTEMBER 23, 2020

**ECP**  
SHT. 2 of 10





- ABUTTERS LIST:**
- N/F MAP 283 LOT 7 ADAM H. & FRANCES T. PRICE, TRUSTEES 127 MARTHA TERRACE, PORTSMOUTH, NH 03801 BOOK 5767 PAGE 1849
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MIN. ROAD SETBACK =30'  
MIN. REAR SETBACK =40'  
MIN. SIDE SETBACK =20'  
WETLAND/WATERBODY SETBACK =100'  
WETLAND/LIMITED CUT =50'  
WETLAND/VEGETATED BUFFER STRIP =25'  
MAXIMUM STRUCTURE HEIGHT =35'  
SEPTIC SETBACK =55'  
OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
  - THE PROPOSED GRADING PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
  - THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
  - THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
  - SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
  - WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
  - ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY grantview.unh.edu.
  - SHEET 9 OF 10 THIS SET WILL BE RECORDED, A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
  - THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E, EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
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- PLAN REFERENCES:**
- R.C.R.D. PLAN #195, RECORDED APRIL 10, 1964, TITLED: "PARCIAL PLAN OF OCEAN MANOR, PORTSMOUTH, NH", PREPARED FOR: HILTON HOMES, INC. GREENLAND NH, DATED, JANUARY, 1964, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=40', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD ON MARCH 20, 1964.
  - R.C.R.D. PLAN #D5967, RECORDED MAY 21, 1976, TITLED: "RESUBDIVISION OF OCEAN MANNER", PREPARED FOR: ANDREWS PROPERTIES, INC., PORTSMOUTH NH, DATED: MARCH 1976, REVISED MAY 1976, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=50', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD DURING 1976.
  - R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
  - R.C.R.D. PLAN #D33328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 - LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH., SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

**LEGEND**

EXISTING RETAINING WALL	=====	WETLANDS	~~~~~
ABUTTERS PROPERTY LINES	-----	DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES	-----	REBAR W/ CAP FOUND	⊙
PROPOSED PROPERTY LINES	-----	STONE BOUND FOUND	⊙
EXISTING TIE LINE	-----	EXISTING GATE VALVE & HYDRANT	⊙
EDGE OF PAVEMENT	-----		
PROPOSED BLDG SETBACK	-----		
EXISTING CONTOUR (MNR)	-572-----		
EXISTING CONTOUR (M.R)	-570-----		

ENGINEER

NO.	DATE	DESCRIPTION	BY
15	10/12/2021	FINAL APPROVED PLANS FOR RECORDING	TDE
16	12/14/2021	ADDED NOTING TO FINAL PLANS	TDE
19	03/16/2022	REVISED PER DPTV COMMENTS FOR FINAL PLANS	TDE
20	07/15/2022	REVISED PER CITY COMMENTS FOR FINAL PLANS	SFF

**GRAPHIC SCALE**  
15 7.5 0 30  
SCALE: 1"=30'

**DEMOLITION PLAN**  
TAX MAP 283 LOT 11  
DUBE PLUS CONSTRUCTION  
HEMLOCK WAY, PORTSMOUTH NH 03801  
OWNED BY  
HEMLOCK WAY  
REALTY INVESTMENTS, LLC  
10 BRICKETS MILL ROAD, SUITE C, HAMPSTEAD, NH 03841  
BOOK 6330 PAGE 796

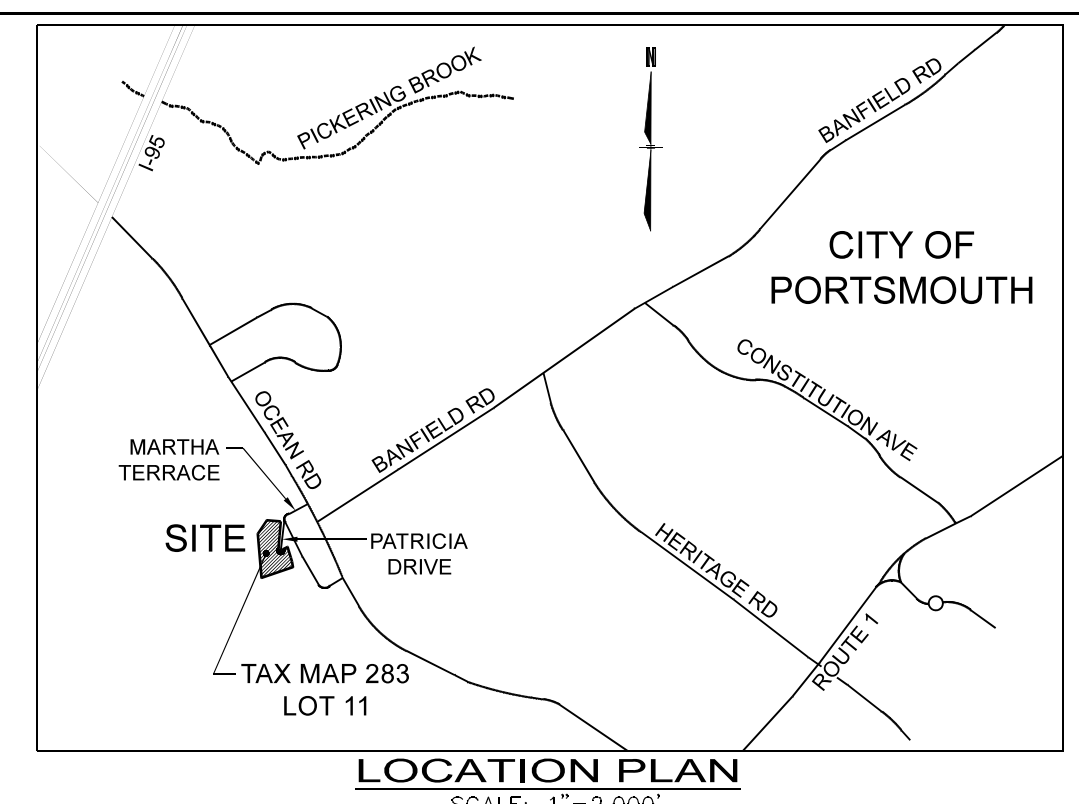
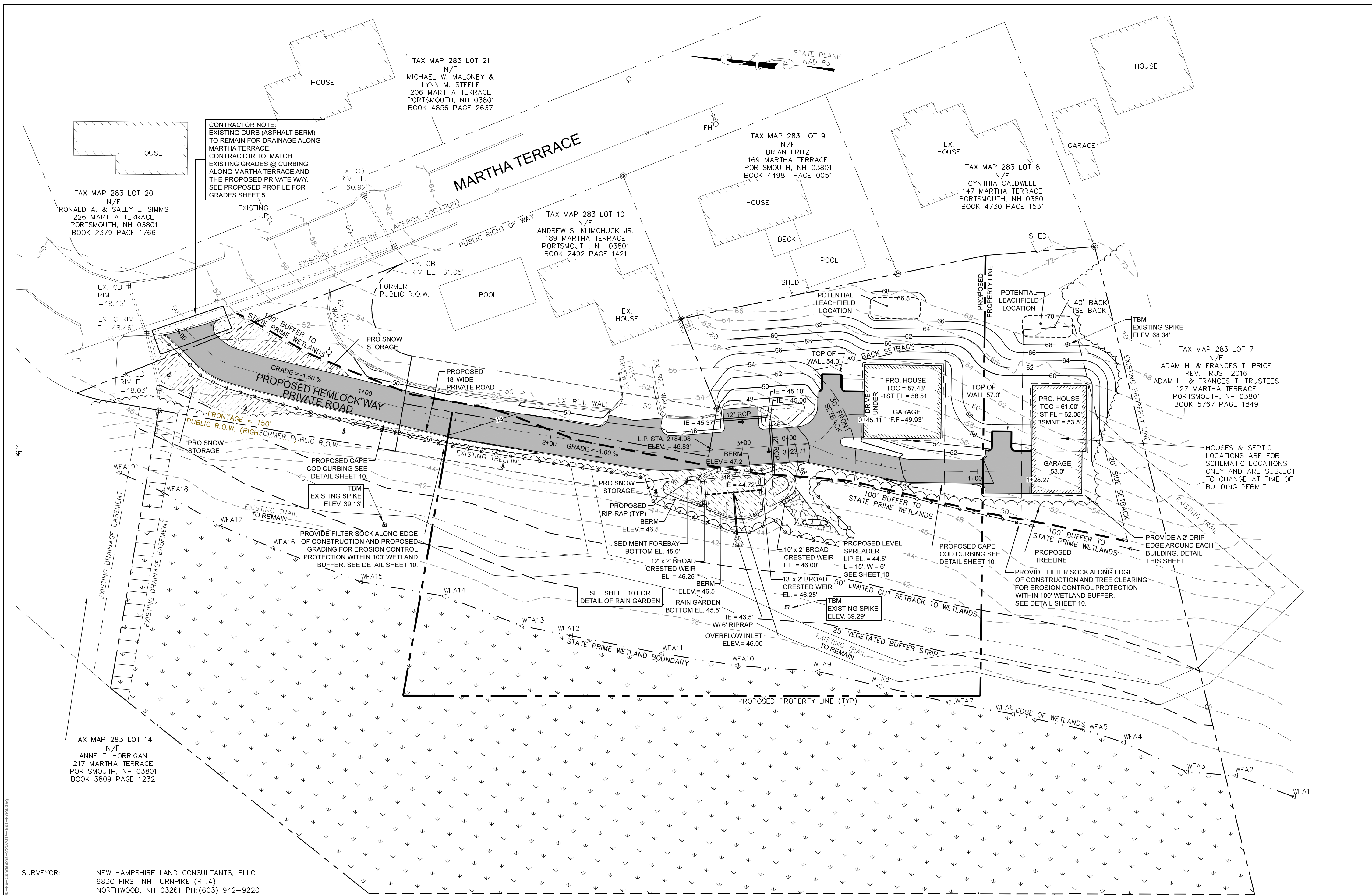
ROCKINGHAM CO.  
JOB NO: 258.00  
DATE: SEPTEMBER 23, 2020

**DMP**  
SHT. 3 of 10



683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH: 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM





LOCATION PLAN  
SCALE: 1"=2,000'

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
  - THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
  - THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQ. FT.).
  - THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
  - THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
  - DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:  
 MIN. ROAD FRONTAGE = 150'  
 MIN. LOT DEPTH = 200'  
 MIN. LOT SIZE = 43,560 SF (1 ACRE)  
 MIN. ROAD SETBACK = 30'  
 MIN. REAR SETBACK = 40'  
 MIN. SIDE SETBACK = 20'  
 WETLAND/WATERBODY SETBACK = 100'  
 WETLAND/LIMITED CUT = 50'  
 WETLAND/VEGETATED BUFFER STRIP = 25'  
 MAXIMUM STRUCTURE HEIGHT = 35'  
 SEPTIC SETBACK = 75' HYDRIC SOILS  
 OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
  - THE PROPOSED GRADING PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
  - THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
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  - SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
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  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
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**LEGEND:**

EXISTING RETAINING WALL	---	WETLANDS	---
ADJUTERS PROPERTY LINES	---	DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES	---	REBAR W/ CAP FOUND	⊙
PROPOSED PROPERTY LINES	---	STONE BOUND FOUND	⊙
EXISTING TIE LINE	---	EXISTING GATE VALVE & HYDRANT	⊙
EDGE OF PAVEMENT	---		
PROPOSED BLDG SETBACK	---		
EXISTING CONTOUR (MNR)	-572-		
EXISTING CONTOUR (MJR)	-570-		

**SURVEYOR:** NEW HAMPSHIRE LAND CONSULTANTS, PLLC.  
683C FIRST NH TURNPIKE (RT.4)  
NORTHWOOD, NH 03261 PH: (603) 942-9220

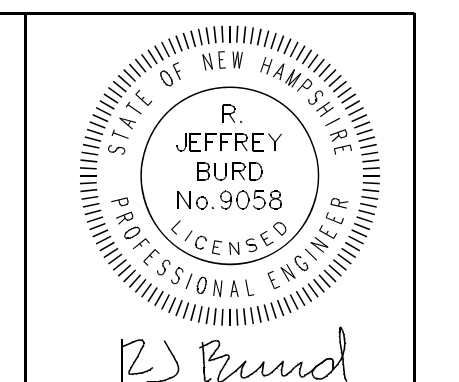
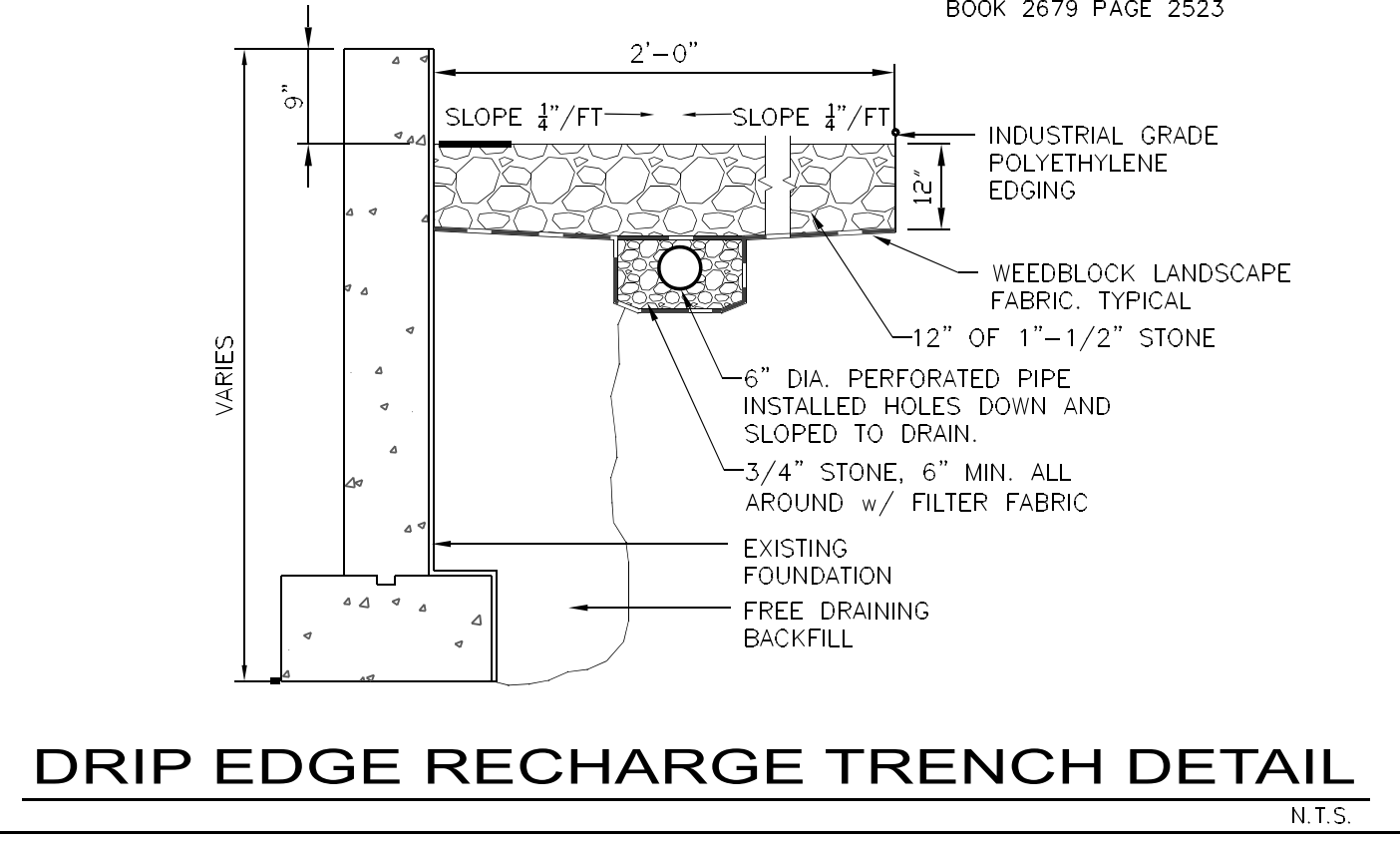
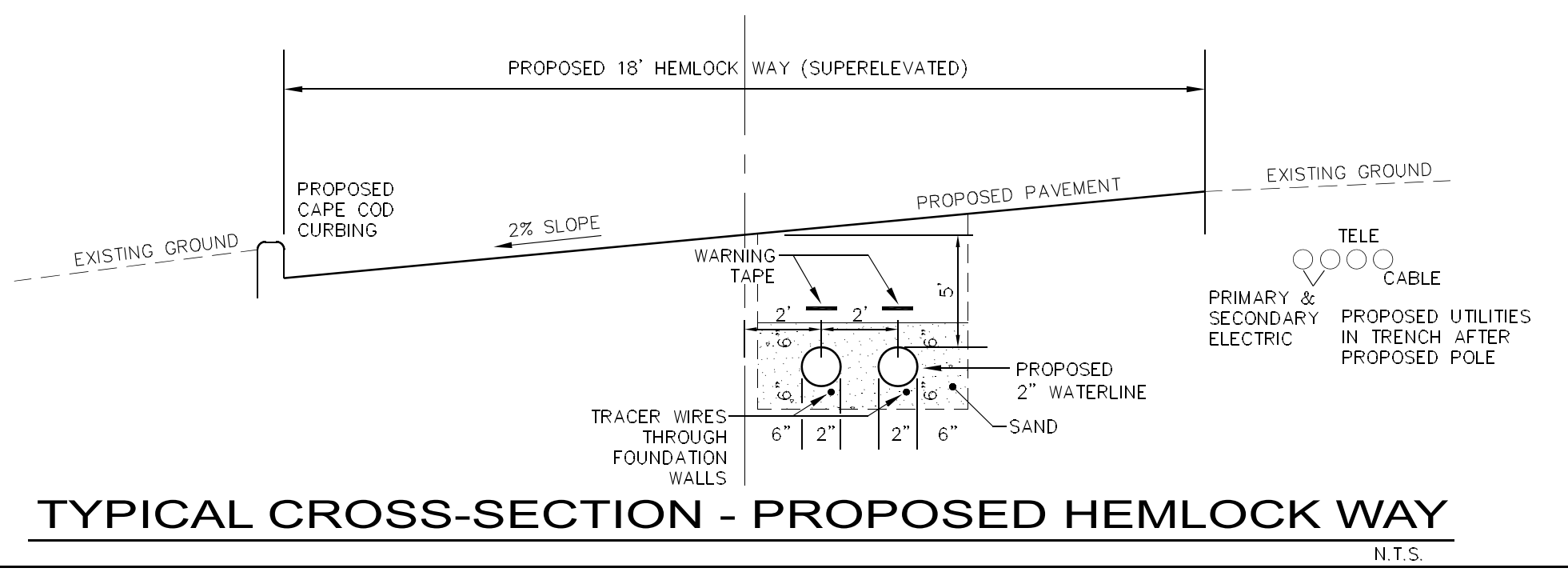
**WETLAND/SOIL SCIENTIST:** COVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DR. BLDG. 2, UNIT H  
EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

**ZONE:** SRA  
**LOT SIZE:** 1 ACRES  
**FRONTAGE:** 150'  
**LOT DEPTH:** 200'  
**FRONT SETBACK:** 30'  
**SIDE SETBACK:** 20'  
**REAR SETBACK:** 40'

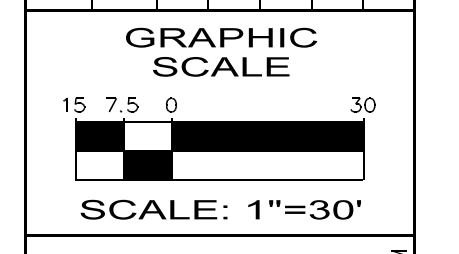
**SOILS:** 140B/C CHATFIELD-HOLLIS-CANTON COMPLEX  
CHATFIELD - NHDES GROUP 4  
HOLLIS - NHDES GROUP 4  
CANTON - NHDES GROUP 2

**LOT SIZE USING GROUP 4 SLOPE C = 48,000 SQ FT**  
**WITH PUBLIC WATER = 24,000 SQ FT.**



**REVISIONS**

NO.	DATE	DESCRIPTION	BY
15	10/12/2021	FINAL APPROVED PLANS FOR RECORDING	TBE
16	12/14/2021	ADDED NOTING TO FINAL PLANS	TBE
19	03/16/2022	REVISED PER DFC COMMENTS FOR FINAL PLANS	TBE
20	07/15/2022	REVISED PER CITY COMMENTS FOR FINAL PLANS	SFF



**N.H. LAND Consultants**  
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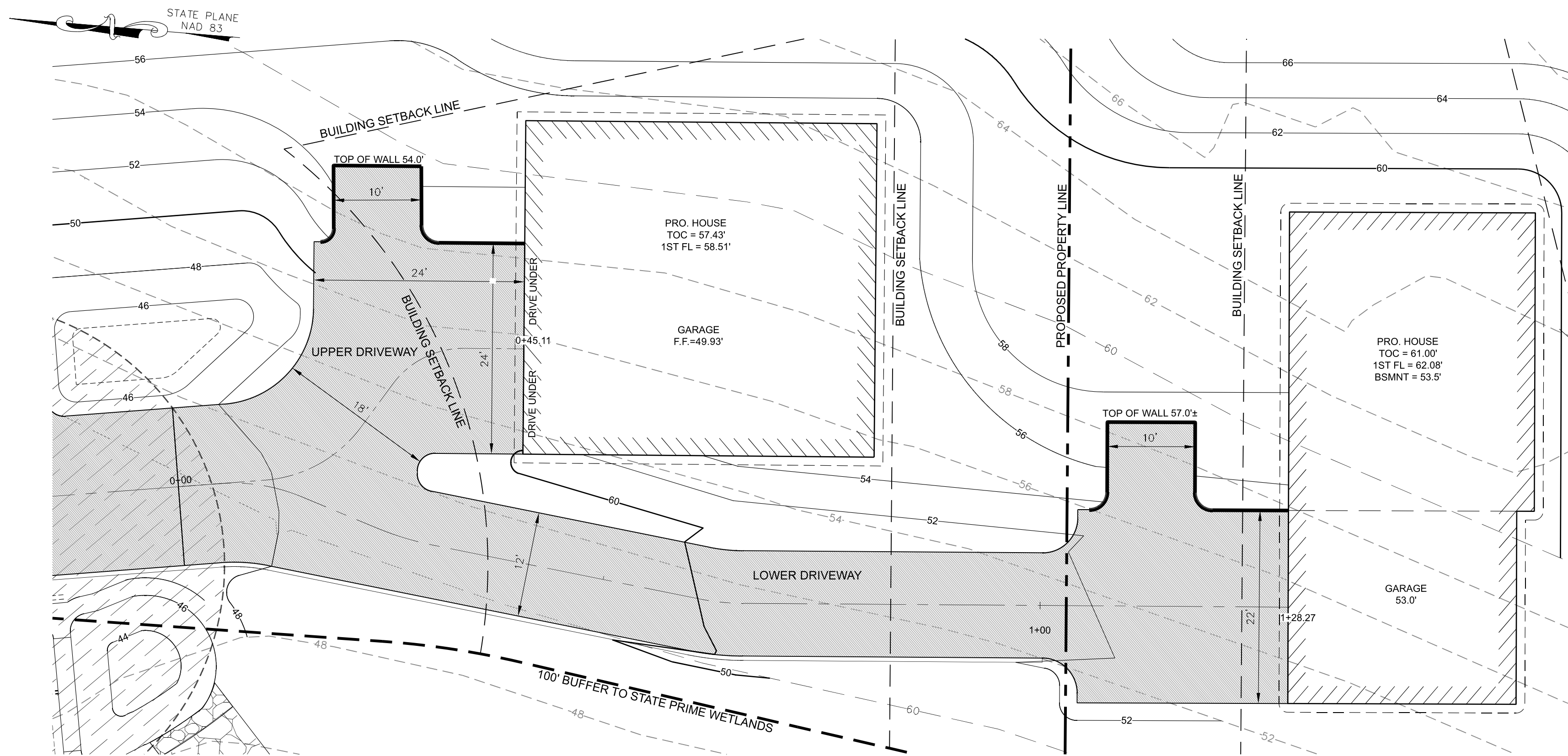
WEBSITE: NH.LANDCONSULTANTS.COM  
PH: 603-942-9220  
PH: 603-942-9220

**PROPOSED GRADING PLAN**  
TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
HEMLOCK WAY, PORTSMOUTH NH 03801  
OWNED BY  
**HEMLOCK WAY REALTY INVESTMENTS, LLC**  
10 BRICKETTS MILL ROAD, SUITE C, HAMPSHIRE, NH 03841  
BOOK 6330 PAGE 796

**ROCKINGHAM CO.**  
**JOB NO: 258.00**  
**DATE: SEPTEMBER 23, 2020**

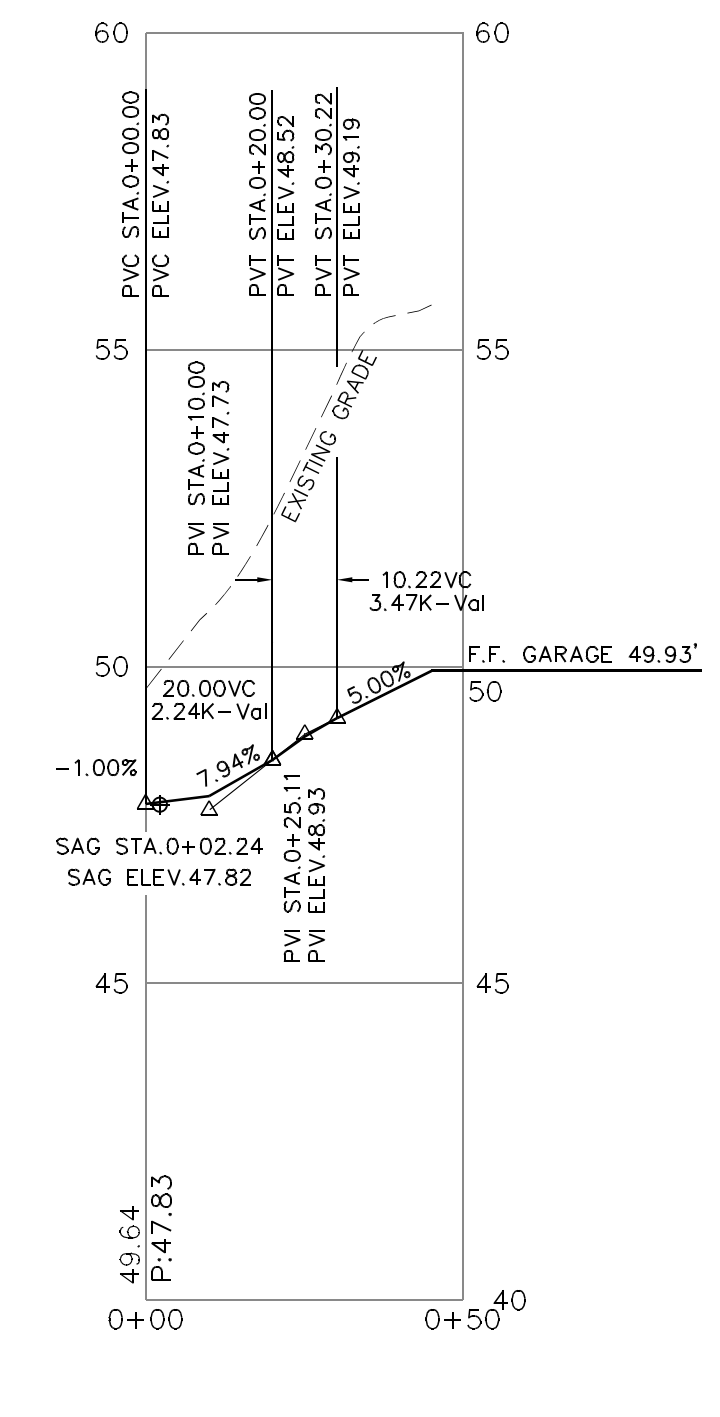
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SHT. 4 of 10





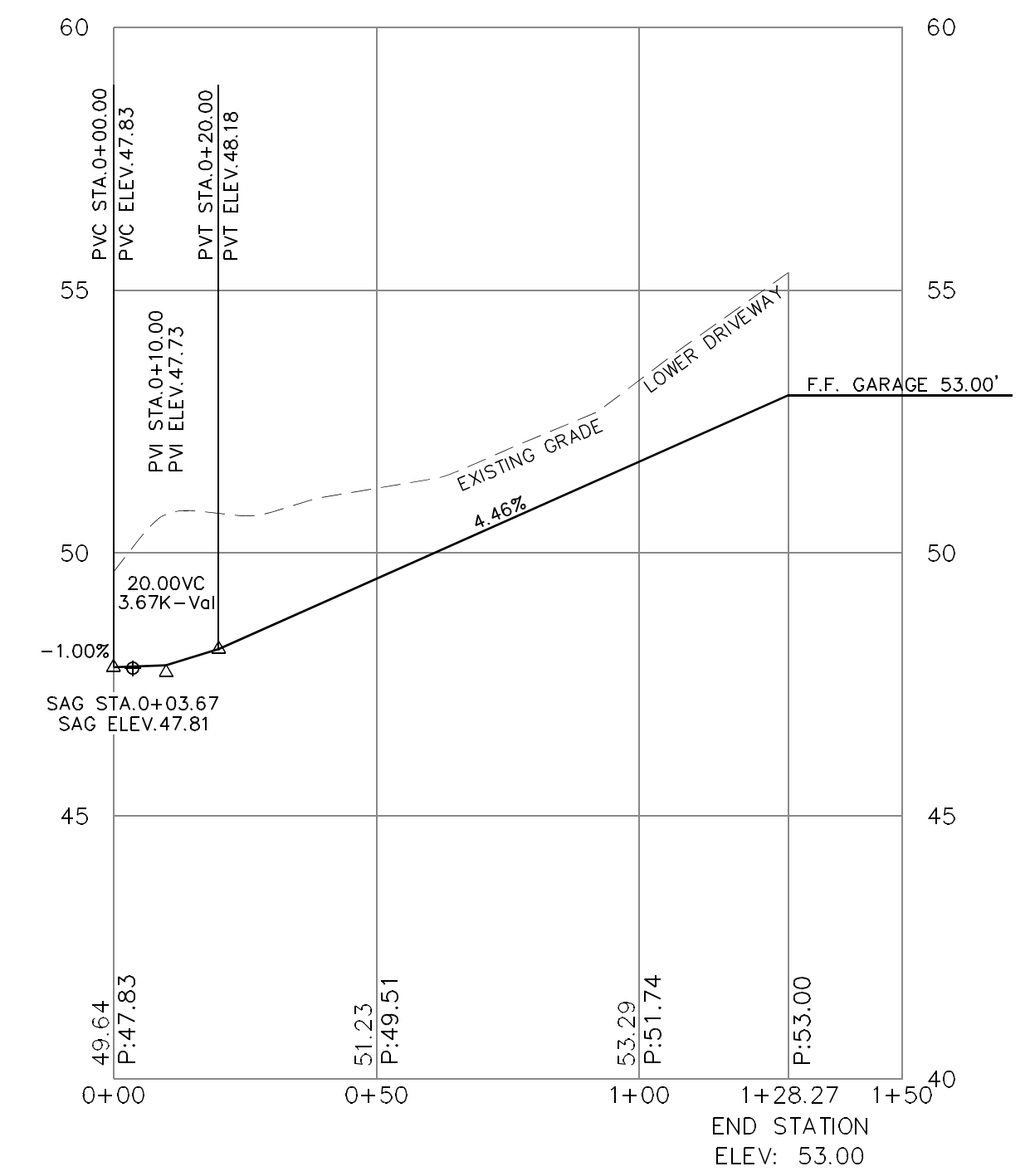
**PROPOSED UPPER AND LOWER DRIVEWAY PLAN VIEW**

SCALE: 1"=10'



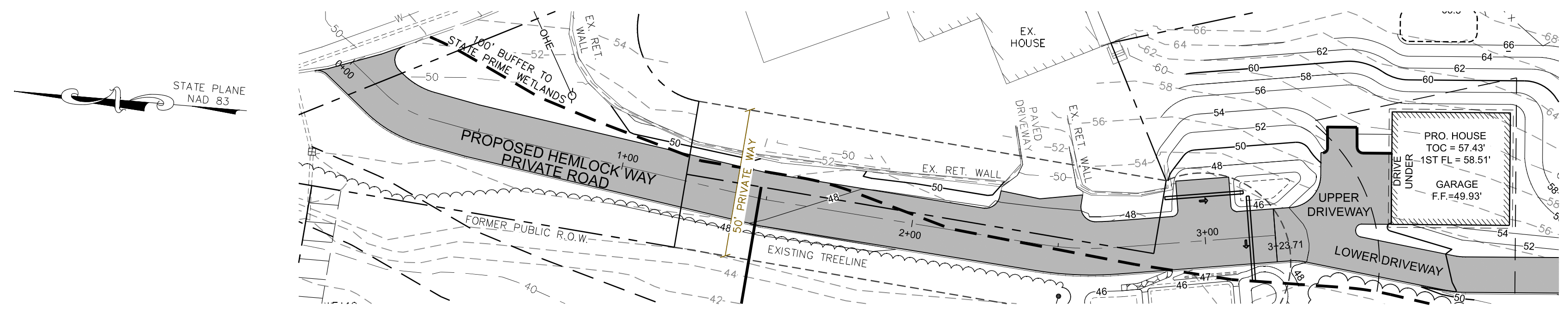
**PROFILE - UPPER DRIVEWAY**

SCALE: 1"=30'H, 3' VERT.



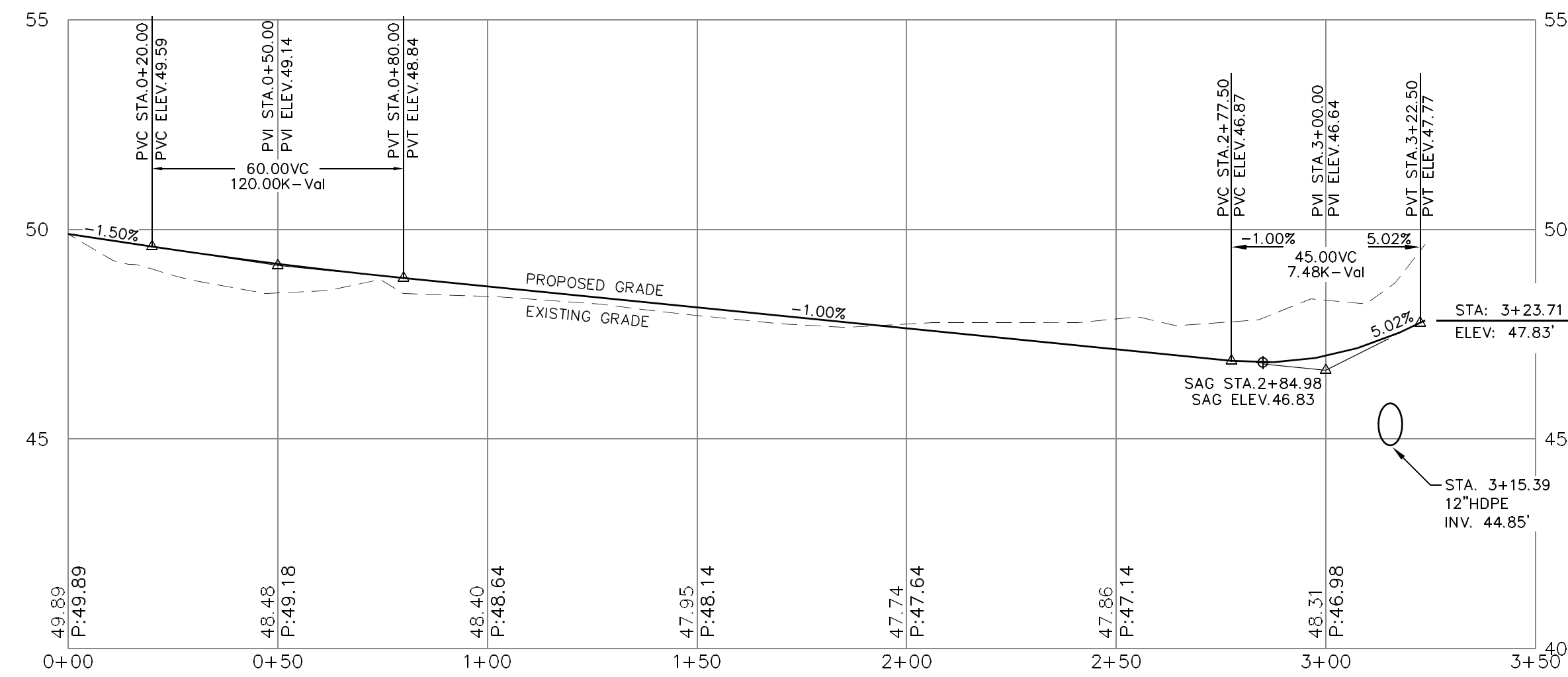
**PROFILE - LOWER DRIVEWAY**

SCALE: 1"=30'H, 3' VERT.



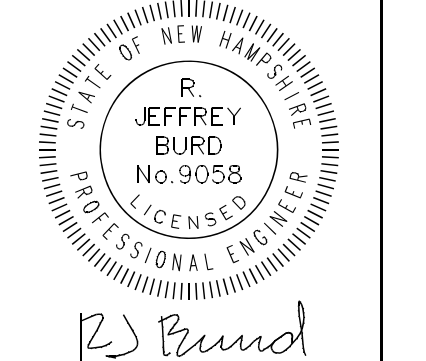
**PROPOSED HEMLOCK WAY - PLAN VIEW**

SCALE: 1"=30'



**PROPOSED HEMLOCK WAY - PROFILE**

SCALE: 1"=30' H 3' VERT.



R. Jeffrey Burd

REVISIONS				
NO.	DATE	DESCRIPTION	BY	TDE
15	10/12/2021	FINAL APPROVED PLANS FOR RECORDING	TDE	TDE
16	12/14/2021	ADDED NOTING TO FINAL PLANS	TDE	TDE
19	03/16/2022	REVISED PER DDP COMMENTS FOR FINAL PLANS	TDE	TDE
20	07/15/2022	REVISED PER CITY COMMENTS FOR FINAL PLANS	SFF	SFF

SCALE AS SHOWN

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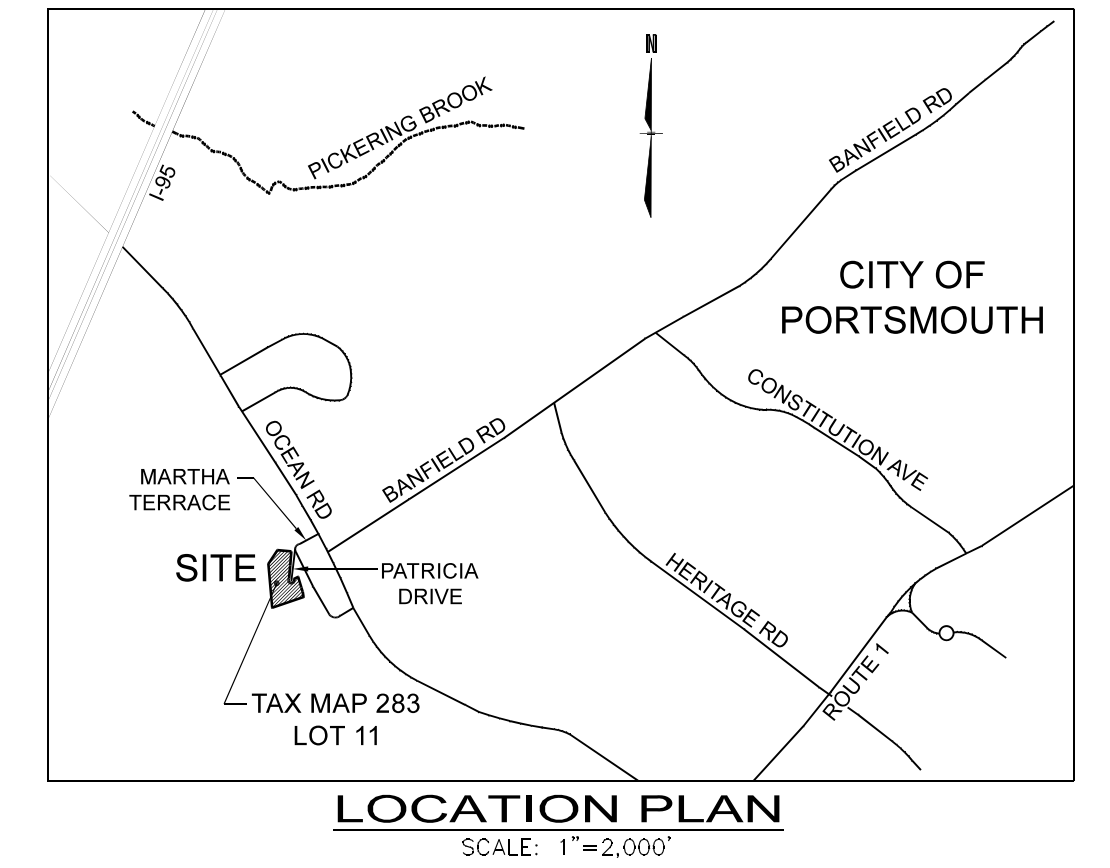
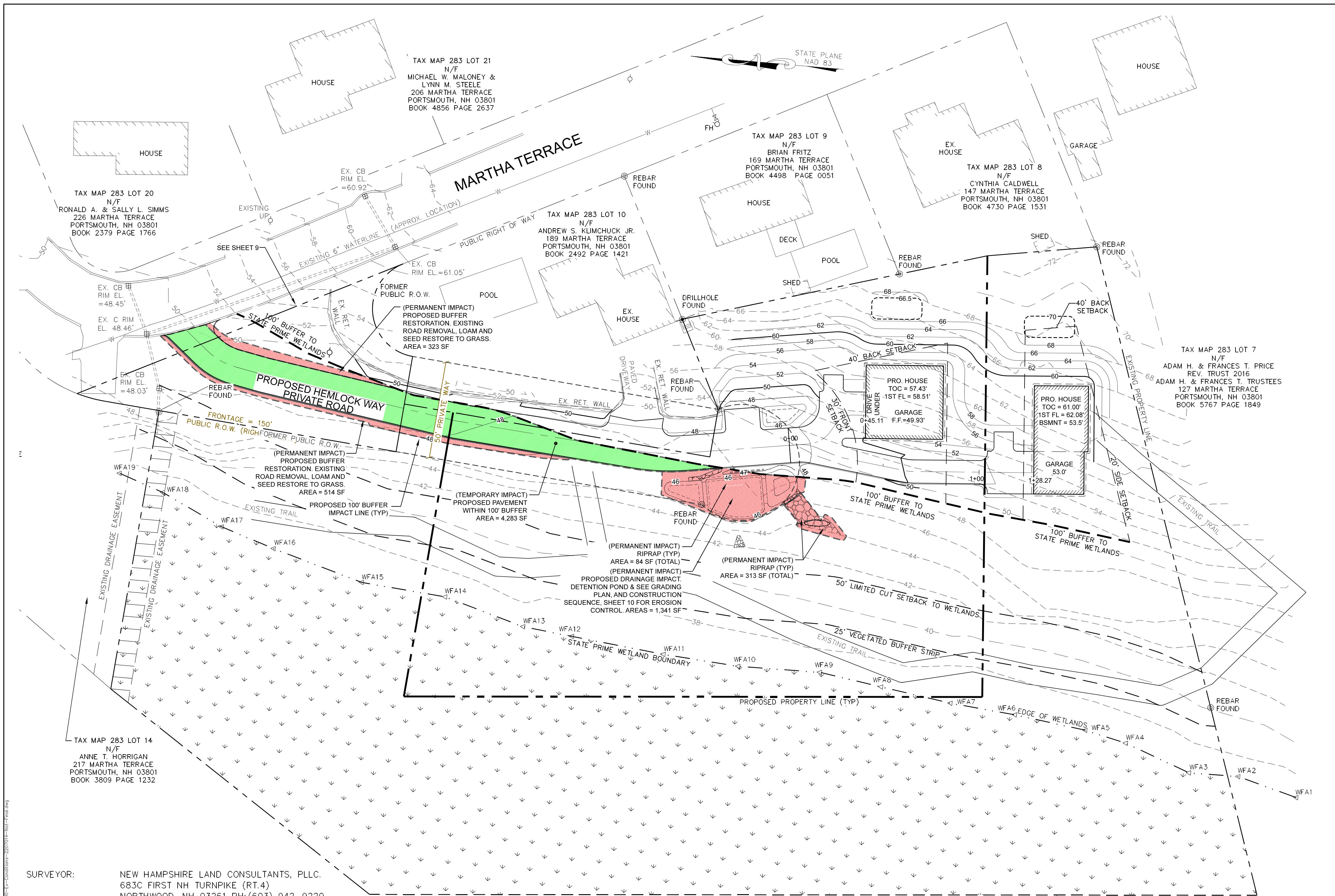
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH. 603-942-9220 WEBSITE: NH.LANDCONSULTANTS.COM

PROPOSED DRIVEWAY PLAN & PROFILES  
 TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
 HEMLOCK WAY, PORTSMOUTH NH 03801  
 OWNED BY  
**HEMLOCK WAY REALTY INVESTMENTS, LLC**  
 110 BRICKETTS MILL ROAD, SUITE C, HAMPSHIRE, NH 03841  
 BOOK 6330 PAGE 796

ROCKINGHAM CO.  
 JOB NO: 258.00  
 DATE: SEPTEMBER 23, 2020

**PDPP**  
 SHT. 5 of 10

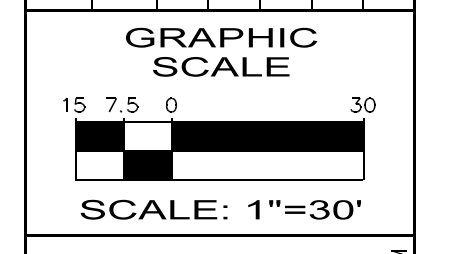




**BUFFER NOTES:**

1. PRIOR TO CONSTRUCTION, PERMANENT "WETLAND PROTECTION AREA" PLACARDS SHALL BE PLACED APPROXIMATELY EVERY FIFTY ALONG THE SOUTHERLY SIDE OF HEMLOCK WAY TO BE VERIFIED BY THE PLANNING.
2. PROPOSED PRIVATE DRIVE WILL BE A "NO SALT ZONE" WITHIN THE 100' STATE PRIME WETLAND BUFFER.
3. LANDSCAPE LAWN MAINTENANCE PER "NORTH EAST ORGANIC FARMING ASSOCIATION (NOFA) OR OTHER SUITABLE ORGANIC STANDARDS. SEE CONSTRUCTION SEQUENCE ON SHEET 10 FOR ADDITIONAL SEEDING NOTES.

REVISIONS				
NO.	DATE	DESCRIPTION	BY	TITLE
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WETLAND/SOIL SCIENTIST: GOVE ENVIRONMENTAL SERVICES, INC.  
 8 CONTINENTAL DR., BLDG. 2, UNIT H,  
 EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

ZONE: SRA  
 LOT SIZE: 1 ACRES  
 FRONTAGE: 150'  
 LOT DEPTH: 200'  
 FRONT SETBACK: 30'  
 SIDE SETBACK: 20'  
 REAR SETBACK: 40'

SOILS: 140B/C CHATFIELD-HOLLIS-CANTON COMPLEX  
 CHATFIELD - NHDES GROUP 4  
 HOLLIS - NHDES GROUP 4  
 CANTON - NHDES GROUP 2

LOT SIZE USING GROUP 4 SLOPE C = 48,000 SQ FT  
 WITH PUBLIC WATER = 24,000 SQ FT.

**LEGEND**

EXISTING RETAINING WALL	=====	WETLANDS	~~~~~
ADJUTERS PROPERTY LINES	-----	DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES	-----	REBAR W/ CAP FOUND	⊙
PROPOSED PROPERTY LINES	-----	STONE BOUND FOUND	⊙
EXISTING TIE LINE	-----	EXISTING GATE VALVE & HYDRANT	FH
EDGE OF PAVEMENT	-----		
PROPOSED BLDG SETBACK	-572-----		
EXISTING CONTOUR (MNR)	-570-----		
EXISTING CONTOUR (MJP)	-570-----		

**100' WETLAND BUFFER IMPACT AREAS (PERMANENT IMPACTS)**

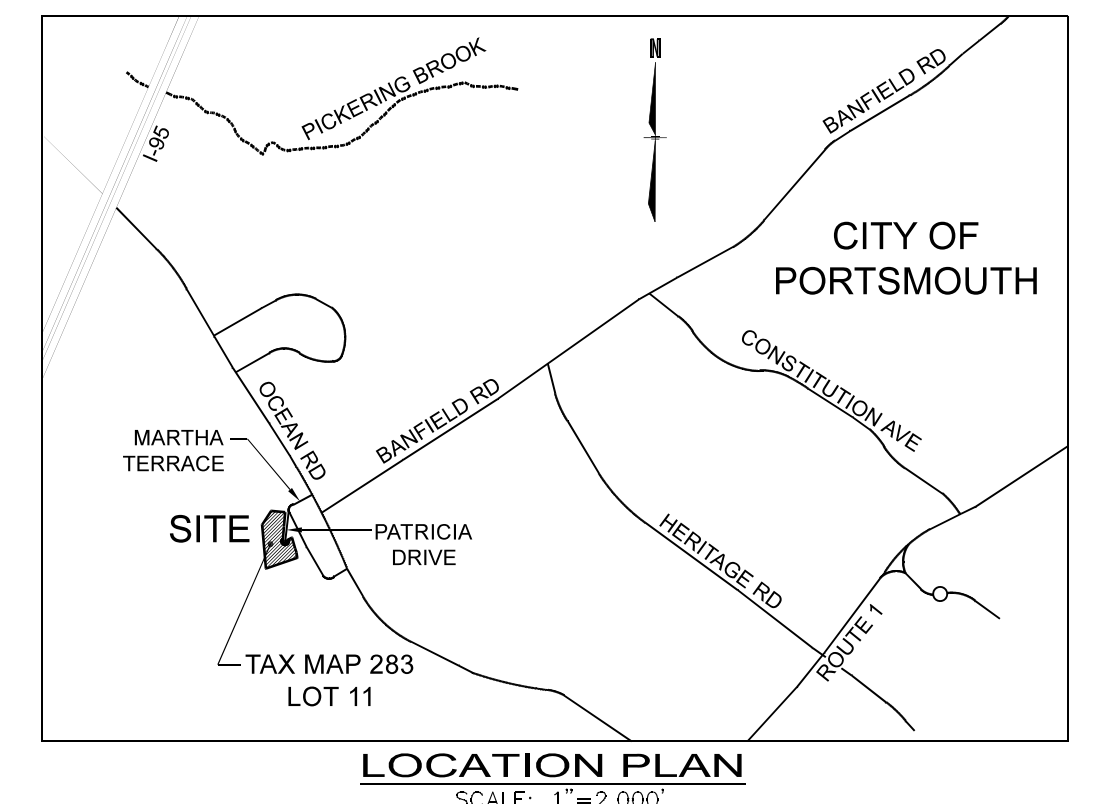
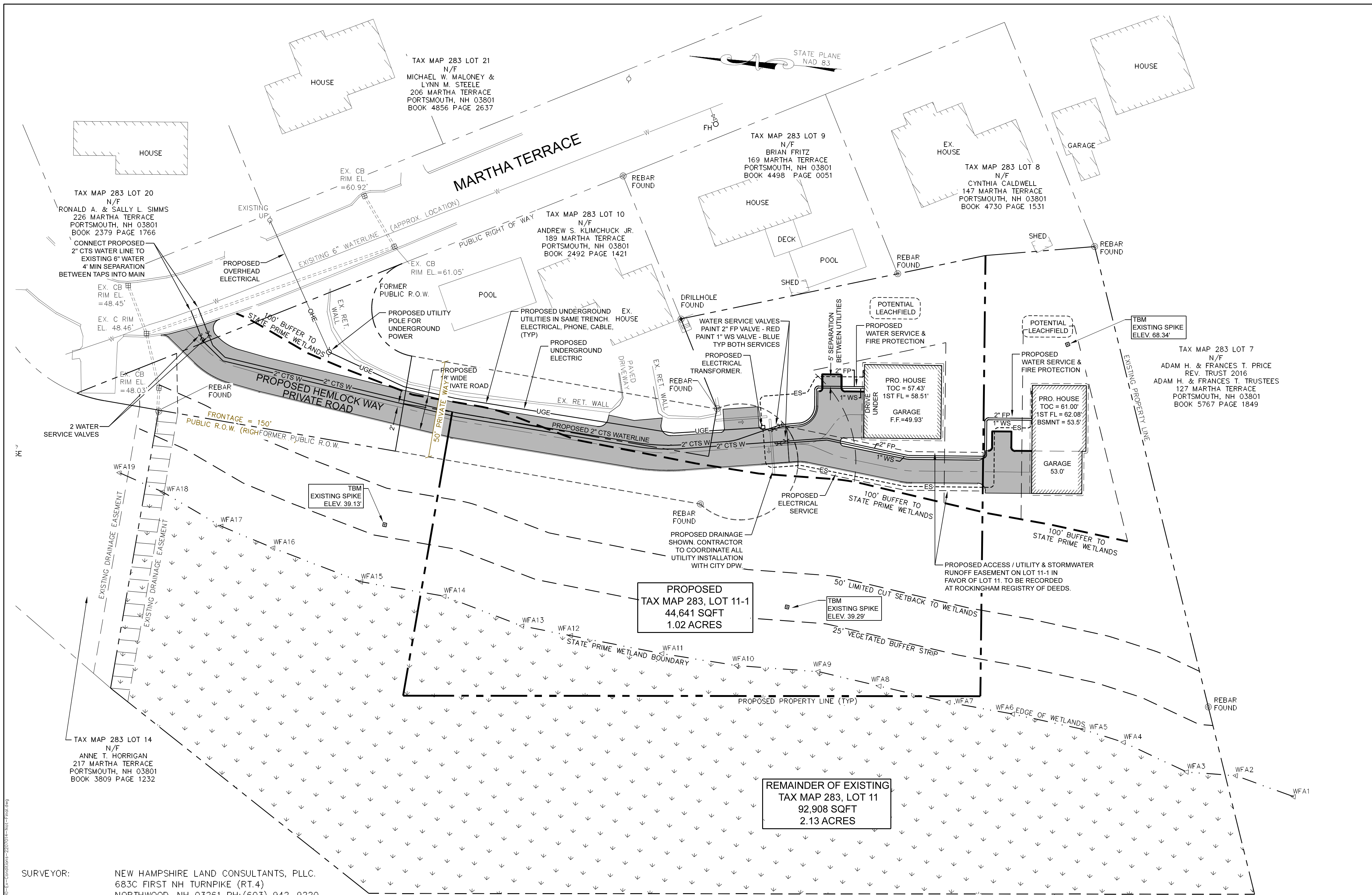
Permanent impacts (SF): (including all actual permanent impacts as they're normally defined; including areas changing from pavement to grass)	2,575 SF	<span style="display:inline-block; width:15px; height:15px; background-color: #FF69B4; border:1px solid black;"></span> PERMANENT IMPACT
Temporary impacts (SF): (including all areas that will be restored to the current-existing condition)	4,283 SF	<span style="display:inline-block; width:15px; height:15px; background-color: #90EE90; border:1px solid black;"></span> TEMPORARY IMPACT
Net reduction in impervious within the prime wetland buffer (SF):	837 SF	
Tree clearing within the prime wetland buffer (SF):	950 SF	

PROPOSED BUFFER IMPACT PLAN  
 TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
 HEMLOCK WAY, PORTSMOUTH, NH 03801  
 OWNED BY  
**HEMLOCK WAY REALTY INVESTMENTS, LLC**  
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ROCKINGHAM CO.  
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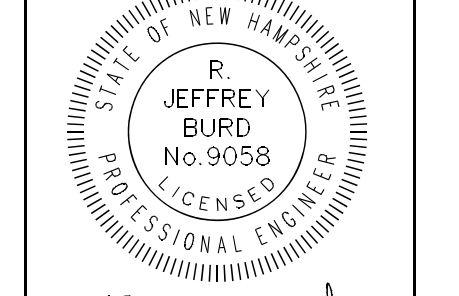
**PBIP**  
 SH. 6 of 10





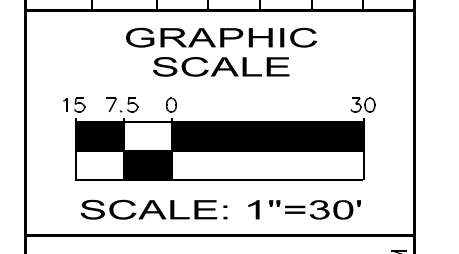
- NOTES:**
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  - THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
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  - THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
  - DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:
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    - MIN. LOT SIZE = 43,560 SF (1 ACRE)
    - MIN. ROAD SETBACK = 30'
    - MIN. REAR SETBACK = 40'
    - MIN. SIDE SETBACK = 20'
    - WETLAND/WATERBODY SETBACK = 100'
    - WETLAND/LIMITED CUT = 50'
    - WETLAND/VEGETATED BUFFER STRIP = 25'
    - MAXIMUM STRUCTURE HEIGHT = 35'
    - SEPTIC SETBACK = 75' HYDRIC SOILS
    - OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
  - THE PROPOSED GRADING PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
  - THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
  - THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
  - SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
  - WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
  - SHEET 9 OF 10 THIS SET WILL BE RECORDED, A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
  - THE FEMA NUMBER FOR THIS SITE IS 33015002706. EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
  - ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
  - EASEMENT TO BE PROVIDED TO THE CITY OF PORTSMOUTH OVER THE ENTIRE PRIVATE R.O.W. AREA FOR THE PURPOSES OF ACCESSING WATER VALVES AND LEAK DETECTION OF WATER LINES. TO BE RECORDED AT ROCKINGHAM REGISTRY OF DEEDS.

- PLAN REFERENCES:**
- R.C.R.D. PLAN #195, RECORDED APRIL 10, 1964, TITLED: "PARCIAL PLAN OF OCEAN MANOR, PORTSMOUTH, NH", PREPARED FOR: HILTON HOMES, INC., GREENLAND NH, DATED, JANUARY, 1964, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=40', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD ON MARCH 20, 1964.
  - R.C.R.D. PLAN #05967, RECORDED MAY 21, 1976, TITLED: "RESUBDIVISION OF OCEAN MANNER", PREPARED FOR: ANDREWS PROPERTIES, INC., PORTSMOUTH NH, DATED: MARCH 1976, REVISED MAY 1976, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=50', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD DURING 1976.
  - R.C.R.D. PLAN #08102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
  - R.C.R.D. PLAN #033328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 - LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC. CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH., SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.



**REVISIONS**

NO.	DATE	DESCRIPTION	BY
15	10/12/2021	FINAL APPROVED PLANS FOR RECORDING	TBE
16	12/14/2021	ADDED NOTING TO FINAL PLANS	TBE
19	03/16/2022	REVISED PER DPW COMMENTS FOR FINAL PLANS	TBE
20	07/15/2022	REVISED PER CITY COMMENTS FOR FINAL PLANS	SFF



**N.H. LAND Consultants**  
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 A Veteran Owned Company

WEBSITE: NH.LANDCONSULTANTS.COM  
 PH: 603-942-9220  
 683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261

**SURVEYOR:** NEW HAMPSHIRE LAND CONSULTANTS, PLLC.  
 683C FIRST NH TURNPIKE (RT.4)  
 NORTHWOOD, NH 03261 PH: (603) 942-9220

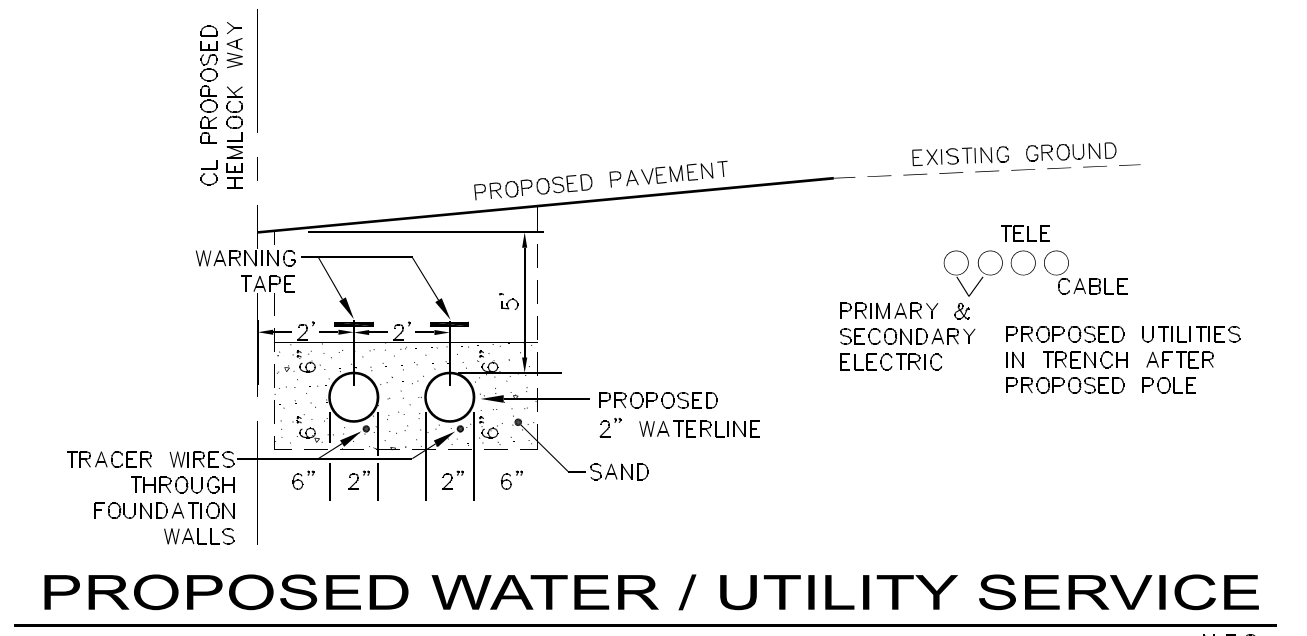
**WETLAND/SOIL SCIENTIST:** GOVE ENVIRONMENTAL SERVICES, INC.  
 8 CONTINENTAL DR., BLDG. 2, UNIT H,  
 EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

- UTILITY NOTES:**
- ALL PROPOSED UTILITY WORK WITH IN THE CITY RIGHT OF WAY SHALL BE COORDINATED WITH CITY OF PORTSMOUTH DPW.
  - PULL BOXES, ELECTRICAL EQUIPMENT TO BE SUPPLIED BY ELECTRICAL COMPANY.
  - CONTRACTOR TO COORDINATE W/ POWER COMPANY AND LOCAL UTILITIES FOR INSTALLATION OF POWER, PHONE AND CABLE.
  - CONTRACTOR TO COORDINATE THE CONNECTION AND INSTALLATION OF WATER SERVICE WITH CITY OF PORTSMOUTH DPW.
  - INSTALLATION OF WATERLINE SHALL BE (2") 2" CTS PIPE TAPPED FROM THE EXISTING 6" MAIN ON MARTHA TERRACE. EACH 2" PIPE W/ 4" SEPARATION, WILL BE DEDICATED TO EACH NEW HOME, PROVIDING WATER SERVICE AND FIRE PROTECTION.
  - NEAREST EXISTING FIRE HYDRANT IS LOCATED ON MARTHA TERRACE AND IS APPROXIMATELY 570' TO 585' TO THE FURTHEST PROPOSED HOUSE DEPENDING ON METHOD OF MEASUREMENT.
  - IF THE FIRE DEPARTMENT REQUIRES FIRE SUPPRESSION IN THE PROPOSED HOMES, THE ENGINEER OF RECORD SHALL REVIEW THE PROPOSED WATER SERVICE SHOWN, AND SHOW THAT THE DESIGN WILL BE SUFFICIENT FOR PRESSURE AND FLOW.
  - SEPTIC DESIGNS TO BE APPROVED BY NHDES.

**LEGEND**

EXISTING RETAINING WALL	PROPOSED 2" WATER MAIN	2" CTS W
ABUTTERS PROPERTY LINES	FIRE PROTECTION & WATER SERVICE SAME TRENCH	FP-WS
SUBJECT PROPERTY LINES		
PROPOSED PROPERTY LINES	WETLANDS	
EDGE OF PAVEMENT		
PROPOSED BLDG SETBACK	DRILL HOLE FOUND	
PROPOSED ELECTRICAL SERVICE	REBAR W/ CAP FOUND	
PROPOSED WATER SERVICE	STONE BOUND FOUND	
	EXISTING GATE VALVE & HYDRANT	

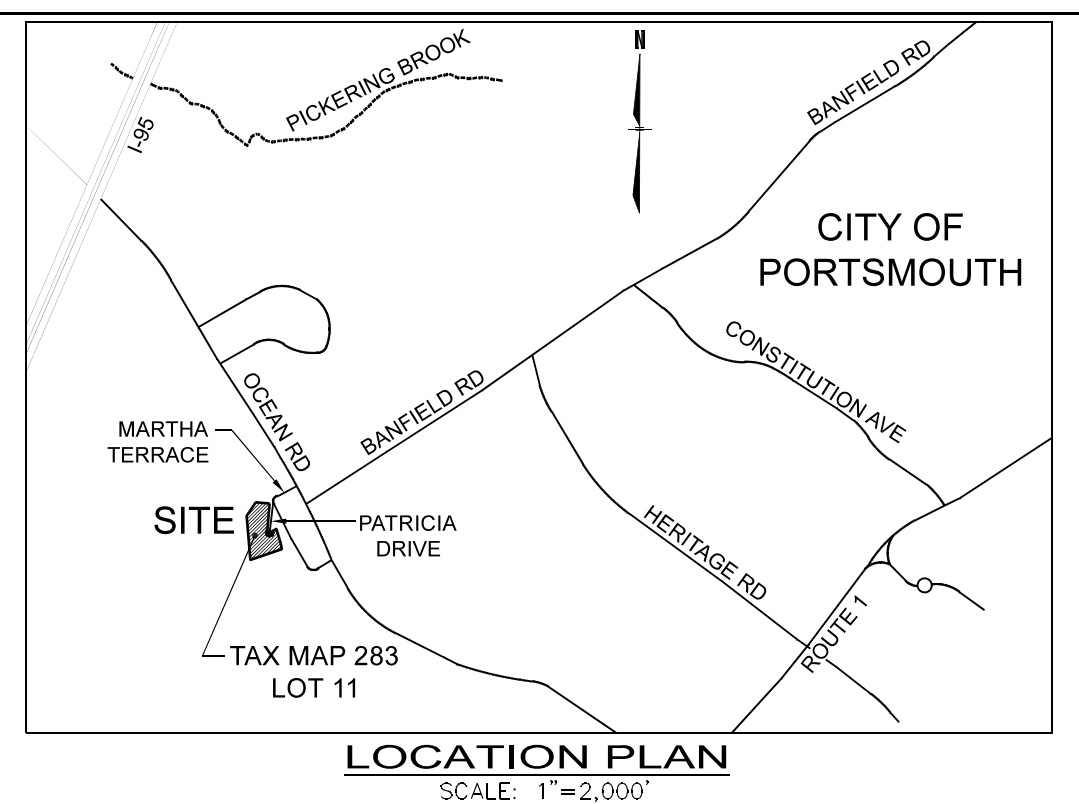
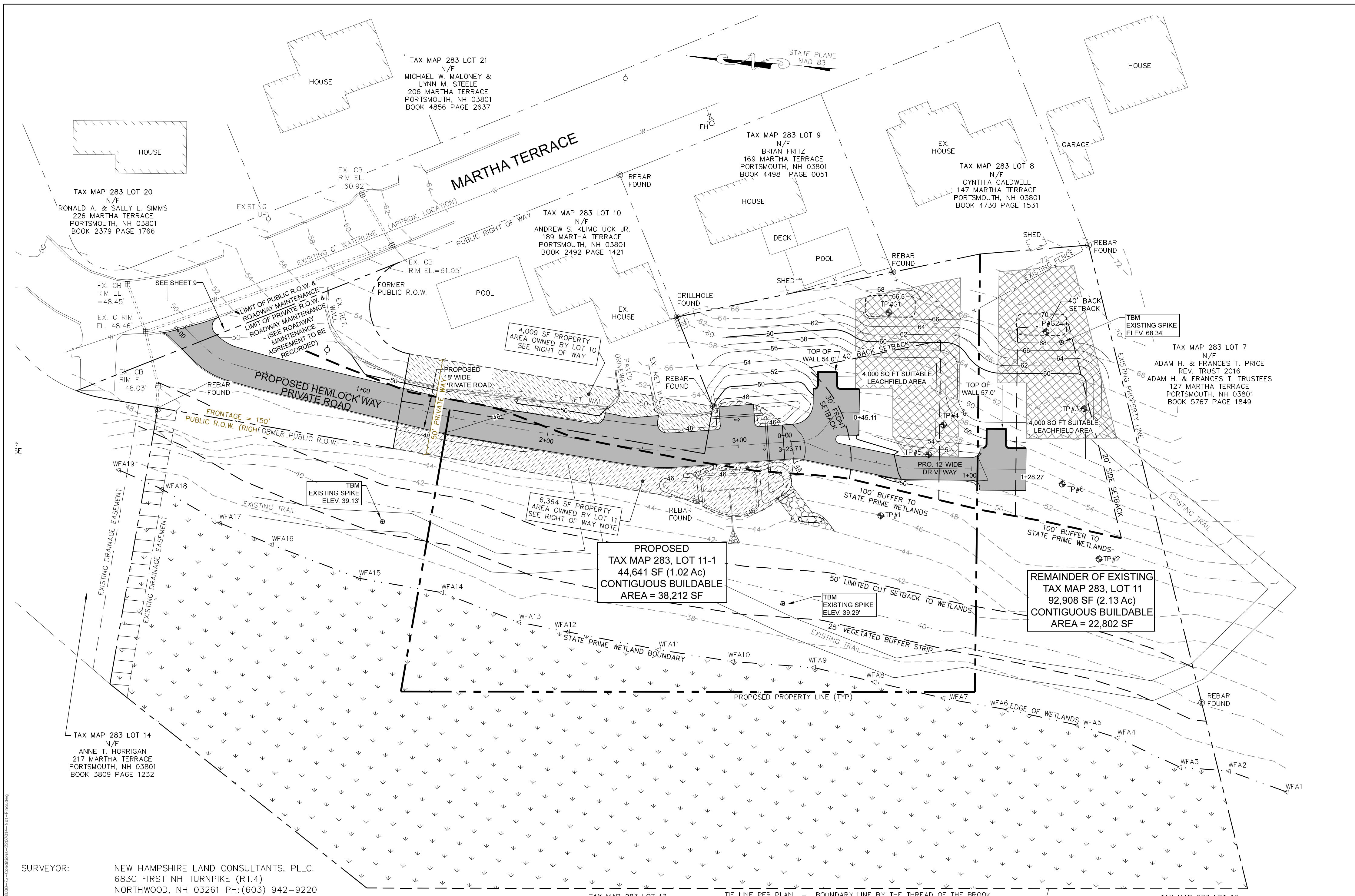


**PROPOSED UTILITY PLAN**  
 TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
 HEMLOCK WAY, PORTSMOUTH NH 03801  
 OWNED BY  
**HEMLOCK WAY REALTY INVESTMENTS, LLC**  
 10 BRICKETTS MILL ROAD, SUITE C, HAMPSHIRE, NH 03841  
 BOOK 6330 PAGE 796

ROCKINGHAM CO.  
 JOB NO: 258.00  
 DATE: SEPTEMBER 23, 2020

**PUP**  
 SHT. 7 of 10





- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
  - THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
  - THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQ. FT.).
  - THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
  - THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
  - DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:  
 MIN. ROAD FRONTAGE = 150'  
 MIN. LOT DEPTH = 200'  
 MIN. LOT SIZE = 43,560 SF (1 ACRE)  
 MIN. ROAD SETBACK = 30'  
 MIN. REAR SETBACK = 40'  
 MIN. SIDE SETBACK = 20'  
 WETLAND/WATERBODY SETBACK = 100'  
 WETLAND/LIMITED CUT = 50'  
 WETLAND/VEGETATED BUFFER STRIP = 25'  
 MAXIMUM STRUCTURE HEIGHT = 35'  
 SEPTIC SETBACK = 75' HYDRIC SOILS  
 OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
  - THE PROPOSED GRADING PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
  - THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
  - THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
  - SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
  - WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
  - ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY grantview.unh.edu.
  - SHEET 9 OF 10 THIS SET WILL BE RECORDED, A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
  - THE FEMA MAP NUMBER FOR THIS SITE IS 3301500270E, EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
  - ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
  - EASEMENT TO BE PROVIDED TO THE CITY OF PORTSMOUTH OVER THE ENTIRE PRIVATE R.O.W. AREA FOR THE PURPOSES OF ACCESSING WATER VALVES AND LEAK DETECTION OF WATER LINES. TO BE RECORDED AT ROCKINGHAM REGISTRY OF DEEDS.

- PLAN REFERENCES:**
- R.C.R.D. PLAN #195, RECORDED APRIL 10, 1964, TITLED: "PARCEL PLAN OF OCEAN MANOR, PORTSMOUTH, NH", PREPARED FOR: HILTON HOMES, INC., GREENLAND NH, DATED, JANUARY, 1964, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=40', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD ON MARCH 20, 1964.
  - R.C.R.D. PLAN #05967, RECORDED MAY 21, 1976, TITLED: "RESUBDIVISION OF OCEAN MANNER", PREPARED FOR: ANDREWS PROPERTIES, INC., PORTSMOUTH NH, DATED: MARCH 1976, REVISED MAY 1976, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=50', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD DURING 1976.
  - R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
  - R.C.R.D. PLAN #033328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 - LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH., SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

**LEGEND**

EXISTING RETAINING WALL	=====	WETLANDS	~~~~~
ABUTTERS PROPERTY LINES	-----	DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES	-----	REBAR W/ CAP FOUND	⊙
PROPOSED PROPERTY LINES	-----	STONE BOUND FOUND	⊙
EXISTING TIE LINE	-----	EXISTING GATE VALVE & HYDRANT	⊙
EDGE OF PAVEMENT	-----		
PROPOSED BLDG SETBACK	-----		
EXISTING CONTOUR (MNR)	-572-		
EXISTING CONTOUR (MJR)	-570-		

**SURVEYOR:** NEW HAMPSHIRE LAND CONSULTANTS, PLLC.  
683C FIRST NH TURNPIKE (RT.4)  
NORTHWOOD, NH 03261 PH: (603) 942-9220

**WETLAND/SOIL SCIENTIST:** GOVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DR., BLDG. 2, UNIT H,  
EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

**ZONE:** SRA  
**LOT SIZE:** 1 ACRES  
**FRONTAGE:** 150'  
**LOT DEPTH:** 200'  
**FRONT SETBACK:** 30'  
**SIDE SETBACK:** 20'  
**REAR SETBACK:** 40'

**SOILS:** 140B/C CHATFIELD-HOLLIS-CANTON COMPLEX  
 CHATFIELD - NHDES GROUP 4  
 HOLLIS - NHDES GROUP 4  
 CANTON - NHDES GROUP 2

**LOT SIZE USING GROUP 4 SLOPE C = 48,000 SQ FT**  
**WITH PUBLIC WATER = 24,000 SQ FT.**

TEST PIT #1	TEST PIT #2	TEST PIT #3	TEST PIT #4	TEST PIT #5	TEST PIT #6	TEST PIT #G1	TEST PIT #G2
DATE: 5-26-20 PERFORMED BY: SCOTT FRANKIEWICZ PERMIT #1348	DATE: 5-26-20 PERFORMED BY: SCOTT FRANKIEWICZ PERMIT #1348	DATE: 5-26-20 PERFORMED BY: SCOTT FRANKIEWICZ PERMIT #1348	DATE: 5-26-20 PERFORMED BY: SCOTT FRANKIEWICZ PERMIT #1348	DATE: 9-18-20 PERFORMED BY: SCOTT FRANKIEWICZ PERMIT #1348	DATE: 9-18-20 PERFORMED BY: SCOTT FRANKIEWICZ PERMIT #1348	DATE: 1-12-2022 PERFORMED BY: JAMES GOVE, CSS	DATE: 1-12-2022 PERFORMED BY: JAMES GOVE, CSS
0-6" Topsoil	0-6" Topsoil	0-6" Topsoil	0-6" Topsoil	0-6" Topsoil	0-6" Topsoil	0-5" Fine Sandy Loam Granular, Friable 10YR 3/2 - Very Dark Grayish Brown	0-5" Fine Sandy Loam Granular, Friable 10YR 3/2 - Very Dark Grayish Brown
6-24" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-30" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-30" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-26" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-36" Gravelly Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-34" Gravelly Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	5-30" Fine Sandy Loam Granular/Friable 10 YR 4/6 - Dark Yellowish Brown	5-20" Fine Sandy Loam Granular/Friable 10 YR 4/6 - Dark Yellowish Brown
24-60" Loam Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	30-56" Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	30-56" Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	26-70" Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	36-60" Gravelly Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	34-60" Gravelly Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	30-60" Fine Sandy Loam Play/Firm 2.5Y 5/3 - Light Olive Brown	20-60" Fine Sandy Loam Play/Firm 2.5Y 5/3 - Light Olive Brown
ESHWT = 24" Roots to 24" No ledge observed No water observed Many stones throughout hole Perc Rate = 10 min/inch	ESHWT = 30" Roots to 30" No ledge observed No water observed Many stones throughout hole Perc Rate = 10 min/inch	ESHWT = 30" Roots to 30" No ledge observed No water observed Many stones throughout hole Perc Rate = 10 min/inch	ESHWT = 26" Roots to 26" No ledge observed No water observed Many stones throughout hole Perc Rate = 10 min/inch	ESHWT = 36" Roots to 34" No ledge observed No water observed Many stones throughout hole Perc Rate = 10 min/inch	ESHWT = 34" Roots to 34" No ledge observed No water observed Many stones throughout hole Perc Rate = 10 min/inch	ESHWT = 30" No ledge observed No water observed Termination @ 60"	ESHWT = 20" No ledge observed No water observed Termination @ 60"

**REVISIONS**

NO.	DATE	DESCRIPTION	BY
15	10/12/2021	FINAL APPROVED PLANS FOR RECORDING	TBE
16	12/14/2021	ADDED NOTING TO FINAL PLANS	TBE
19	03/16/2022	REVISED PER DFC COMMENTS FOR FINAL PLANS	TBE
20	07/15/2022	REVISED PER CITY COMMENTS FOR FINAL PLANS	SFF

**GRAPHIC SCALE**  
15 7.5 0 30  
SCALE: 1"=30'

**PROPOSED CONDITIONS PLAN**  
**DUBE PLUS CONSTRUCTION**  
 HEMLOCK WAY, PORTSMOUTH NH 03801  
 OWNED BY  
**HEMLOCK WAY REALTY INVESTMENTS, LLC**  
 10 BRICKETS MILL ROAD, SUITE C, HAMPSHIRE  
 BOOK 6330 PAGE 796

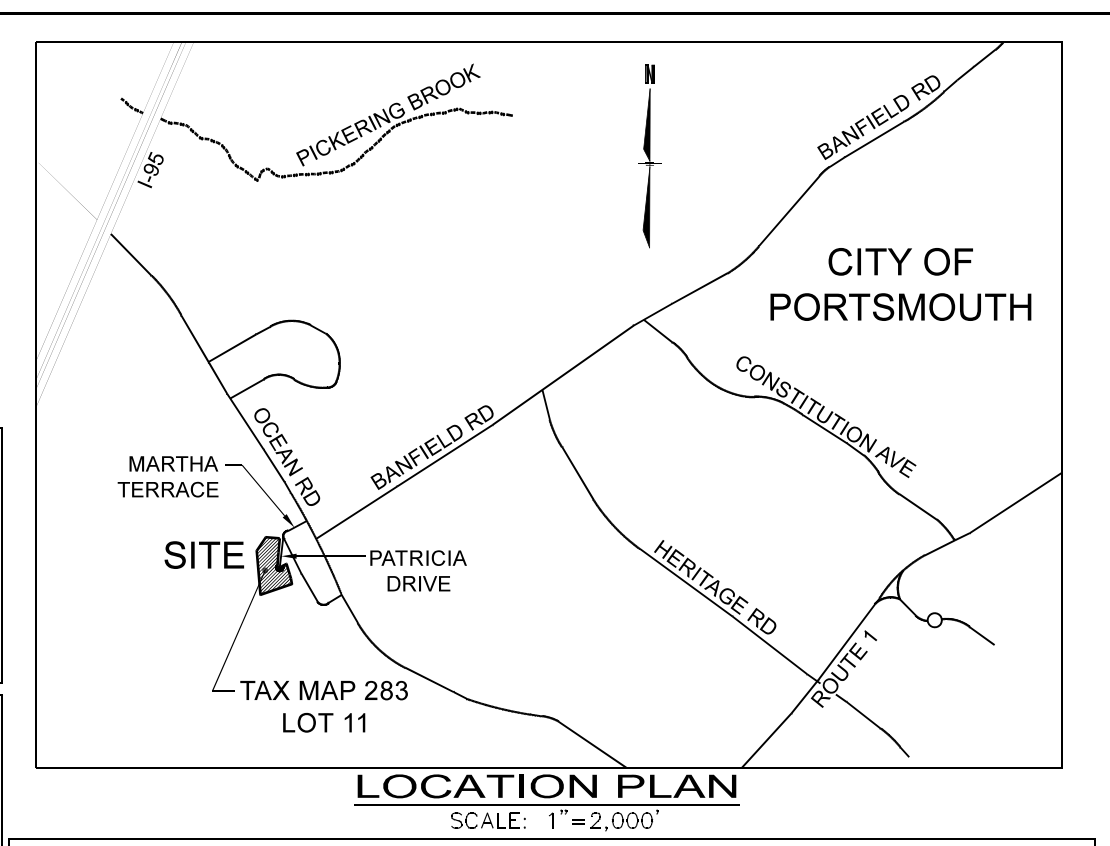
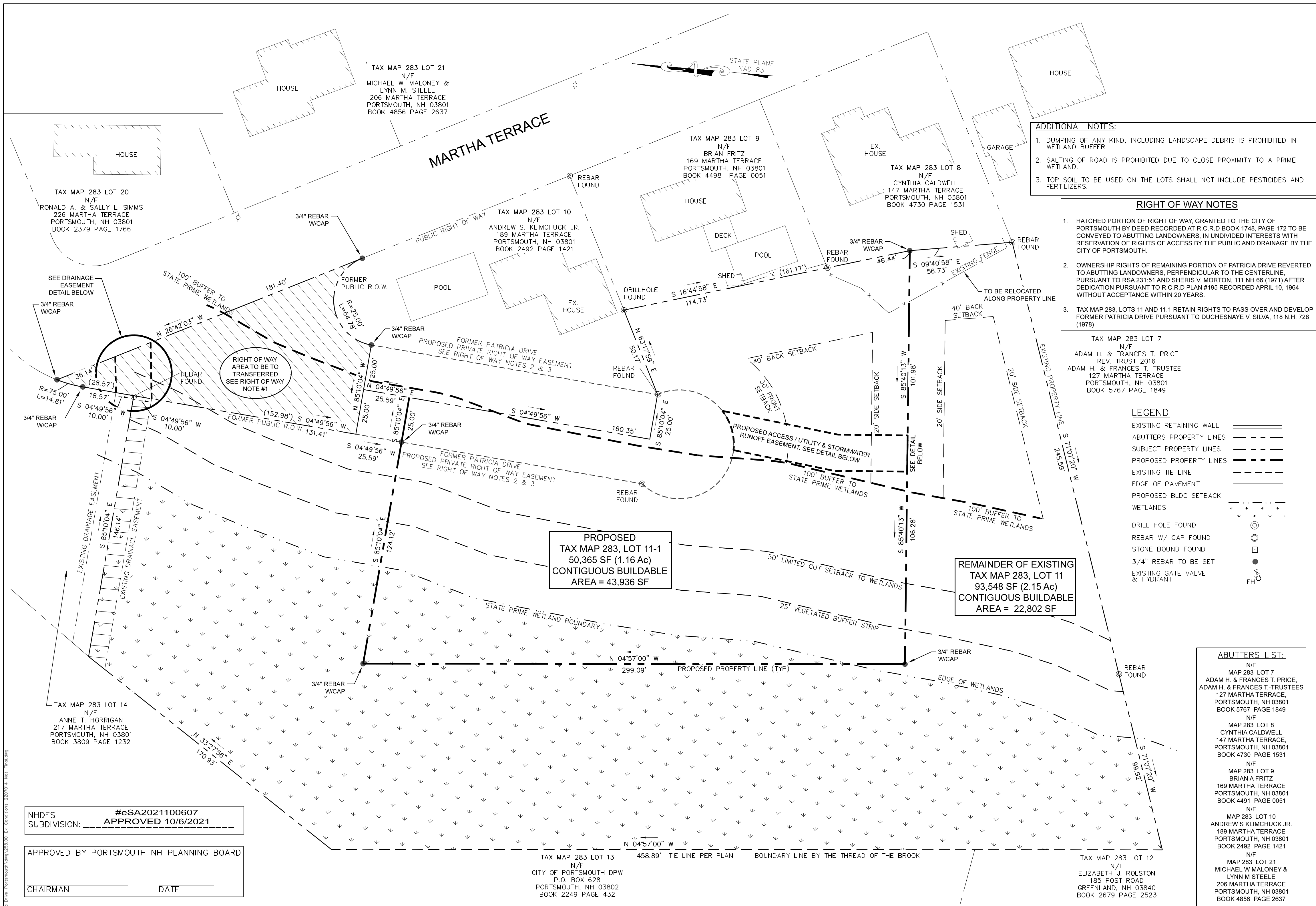
**ROCKINGHAM CO.**  
**JOB NO: 258.00**  
**DATE: SEPTEMBER 23, 2020**

**PCP**  
SHT. 8 of 10

**N.H. LAND Consultants**  
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 A Veteran Owned Company

683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH: 603-942-9220  
 WEBSITE: NHLANDCONSULTANTS.COM





- ADDITIONAL NOTES:**
- DUMPING OF ANY KIND, INCLUDING LANDSCAPE DEBRIS IS PROHIBITED IN WETLAND BUFFER.
  - SALTING OF ROAD IS PROHIBITED DUE TO CLOSE PROXIMITY TO A PRIME WETLAND.
  - TOP SOIL TO BE USED ON THE LOTS SHALL NOT INCLUDE PESTICIDES AND FERTILIZERS.

- RIGHT OF WAY NOTES**
- HATCHED PORTION OF RIGHT OF WAY, GRANTED TO THE CITY OF PORTSMOUTH BY DEED RECORDED AT R.C.R.D. BOOK 1748, PAGE 172 TO BE CONVEYED TO ADJUTING LANDOWNERS, IN UNDIVIDED INTERESTS WITH RESERVATION OF RIGHTS OF ACCESS BY THE PUBLIC AND DRAINAGE BY THE CITY OF PORTSMOUTH.
  - OWNERSHIP RIGHTS OF REMAINING PORTION OF PATRICIA DRIVE REVERTED TO ADJUTING LANDOWNERS, PERPENDICULAR TO THE CENTERLINE, PURSUANT TO RSA 231:51 AND SHERIS V. MORTON, 111 NH 66 (1971) AFTER DEDICATION PURSUANT TO R.C.R.D. PLAN #195 RECORDED APRIL 10, 1964 WITHOUT ACCEPTANCE WITHIN 20 YEARS.
  - TAX MAP 283, LOTS 11 AND 11.1 RETAIN RIGHTS TO PASS OVER AND DEVELOP FORMER PATRICIA DRIVE PURSUANT TO DUCHESNAYE V. SILVA, 118 N.H. 728 (1978)

TAX MAP 283 LOT 7  
N/F  
ADAM H. & FRANCES T. PRICE  
REV. TRUST 2016  
ADAM H. & FRANCES T. TRUSTEE  
127 MARTHA TERRACE  
PORTSMOUTH, NH 03801  
BOOK 5767 PAGE 1849

- LEGEND**
- EXISTING RETAINING WALL
  - ADJUTING PROPERTY LINES
  - SUBJECT PROPERTY LINES
  - PROPOSED PROPERTY LINES
  - EXISTING LINE
  - EDGE OF PAVEMENT
  - PROPOSED BLDG SETBACK
  - WETLANDS
  - DRILL HOLE FOUND
  - REBAR W/ CAP FOUND
  - STONE BOUND FOUND
  - 3/4" REBAR TO BE SET
  - EXISTING GATE VALVE & HYDRANT

- ADJUTERS LIST:**
- N/F  
MAP 283 LOT 7  
ADAM H. & FRANCES T. PRICE,  
ADAM H. & FRANCES T. TRUSTEES  
127 MARTHA TERRACE,  
PORTSMOUTH, NH 03801  
BOOK 5767 PAGE 1849
  - N/F  
MAP 283 LOT 8  
CYNTHIA CALDWELL  
147 MARTHA TERRACE,  
PORTSMOUTH, NH 03801  
BOOK 4730 PAGE 1531
  - N/F  
MAP 283 LOT 9  
BRIAN FRITZ  
169 MARTHA TERRACE  
PORTSMOUTH, NH 03801  
BOOK 4491 PAGE 0051
  - N/F  
MAP 283 LOT 10  
ANDREW S. KLIMCHUCK JR.  
189 MARTHA TERRACE  
PORTSMOUTH, NH 03801  
BOOK 2492 PAGE 1421
  - N/F  
MAP 283 LOT 11  
ELIZABETH J. ROLSTON  
185 POST ROAD  
PORTSMOUTH, NH 03840  
BOOK 2679 PAGE 2523
  - N/F  
MAP 283 LOT 12  
MICHAEL W. MALONEY &  
LYNN M. STEELE  
206 MARTHA TERRACE  
PORTSMOUTH, NH 03801  
BOOK 4856 PAGE 2637
  - N/F  
MAP 283 LOT 14  
ANNIE T. HERRIGAN  
217 MARTHA TERRACE  
PORTSMOUTH, NH 03801  
BOOK 3809 PAGE 1232
  - N/F  
MAP 283 LOT 13  
CITY OF PORTSMOUTH, DPW  
P.O. BOX 628  
PORTSMOUTH, NH 03802  
BOOK 2249 PAGE 0432
  - N/F  
MAP 283 LOT 12  
ELIZABETH J. ROLSTON  
185 POST ROAD  
GREENLAND, NH 03840  
BOOK 2769 PAGE 2523

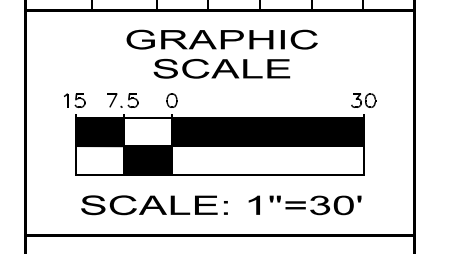
- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
  - THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
  - THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQ. FT.)
  - THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
  - THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
  - DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:  
MIN. ROAD FRONTAGE = 150'  
MIN. LOT DEPTH = 200'  
MIN. LOT SIZE = 43,560 SF (1 ACRE)  
MIN. ROAD SETBACK = 30'  
MIN. REAR SETBACK = 40'  
MIN. SIDE SETBACK = 20'  
WETLAND/WATERBODY SETBACK = 100'  
WETLAND/LIMITED CUT = 50'  
WETLAND/VEGETATED BUFFER STRIP = 25'  
MAXIMUM STRUCTURE HEIGHT = 35'  
SEPTIC SETBACK = 75' HYDRIC SOILS  
OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
  - THE PROPOSED GRADING, PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
  - THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
  - THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
  - SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
  - WATER TO BE PROVIDED BY MUNICIPAL WATER.
  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
  - ADJUTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY grantview.unh.edu.
  - SHEET 9 OF 10 THIS SET WILL BE RECORDED, A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
  - THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E, EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODPLAIN.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
  - ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A STATON ESTABLISHED BY THE DPW ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE DPW SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
  - EASEMENT TO BE PROVIDED TO THE CITY OF PORTSMOUTH OVER THE ENTIRE PRIVATE R.O.W. AREA FOR THE PURPOSES OF ACCESSING WATER VALVES AND LEAK DETECTION OF WATER LINES. TO BE RECORDED AT ROCKINGHAM REGISTRY OF DEEDS.

- PLAN REFERENCES:**
- R.C.R.D. PLAN #195, RECORDED APRIL 10, 1964, TITLED: "PARCIAL PLAN OF OCEAN MANOR, PORTSMOUTH, NH", PREPARED FOR: HILTON HOMES, INC., GREENLAND NH, DATED, JANUARY, 1964, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=40', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD ON MARCH 20, 1964.
  - R.C.R.D. PLAN #05967, RECORDED MAY 21, 1976, TITLED: "RESUBDIVISION OF OCEAN MANNER", PREPARED FOR: ANDREWS PROPERTIES, INC., PORTSMOUTH NH, DATED: MARCH 1976, REVISED MAY 1976, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=50', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD DURING 1976.
  - R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
  - R.C.R.D. PLAN #033328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 - LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH, NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH, SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

- BUFFER NOTES:**
- PRIOR TO CONSTRUCTION, PERMANENT "WETLAND PROTECTION AREA" PLACARDS SHALL BE PLACED APPROXIMATELY EVERY FIFTY FEET ALONG THE SOUTHERLY SIDE OF HEMLOCK WAY TO BE VERIFIED BY THE PLANNING.
  - PROPOSED PRIVATE DRIVE WILL BE A "NO SALT ZONE" WITHIN THE 100' STATE PRIME WETLAND BUFFER.
  - LANDSCAPE LAWN MAINTENANCE PER "NORTH EAST ORGANIC FARMING ASSOCIATION (NOFA) OF OTHER SUITABLE ORGANIC STANDARDS. SEE CONSTRUCTION SEQUENCE ON SHEET 10 FOR ADDITIONAL SEEDING NOTES.

**REVISIONS**

NO.	DATE	DESCRIPTION	BY
15	10/12/2021	FINAL APPROVED PLANS FOR RECORDING	TDE
16	12/14/2021	ADDED NOTING TO FINAL PLANS	TDE
19	03/16/2022	REVISED PER DPW COMMENTS FOR FINAL PLANS	TDE
20	07/15/2022	REVISED PER CITY COMMENTS FOR FINAL PLANS	SFF



**N.H. LAND Consultants**  
SURVEYING • LAND PLANNING • REAL ESTATE  
A VETERAN OWNED COMPANY

6832 FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH: 603-942-9220 WEB: NH.LANDCONSULTANTS.COM

**PROPOSED SUBDIVISION PLAN**  
TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
HEMLOCK WAY, PORTSMOUTH NH 03801

OWNED BY  
**HEMLOCK WAY REALTY INVESTMENTS, LLC**

10 BRICKETS MILL ROAD, SUITE C, HAMPSHIRE, NH 03841  
BOOK 6330 PAGE 796

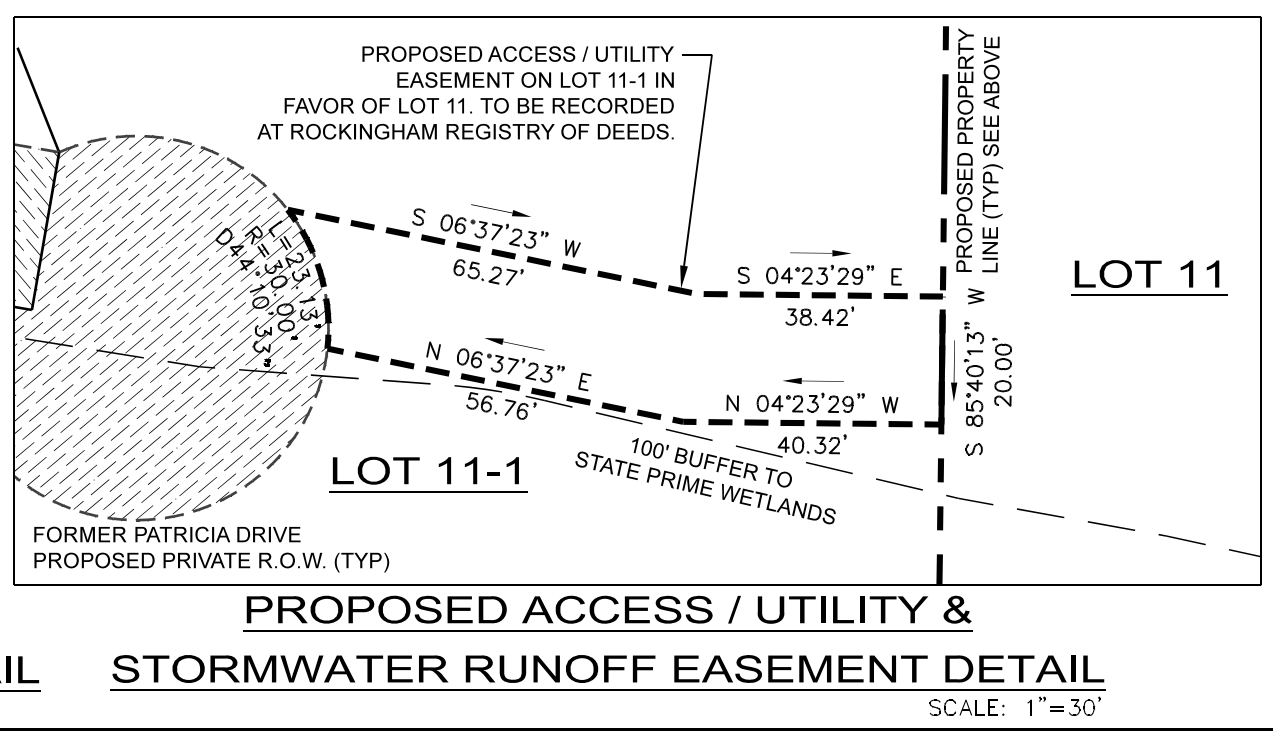
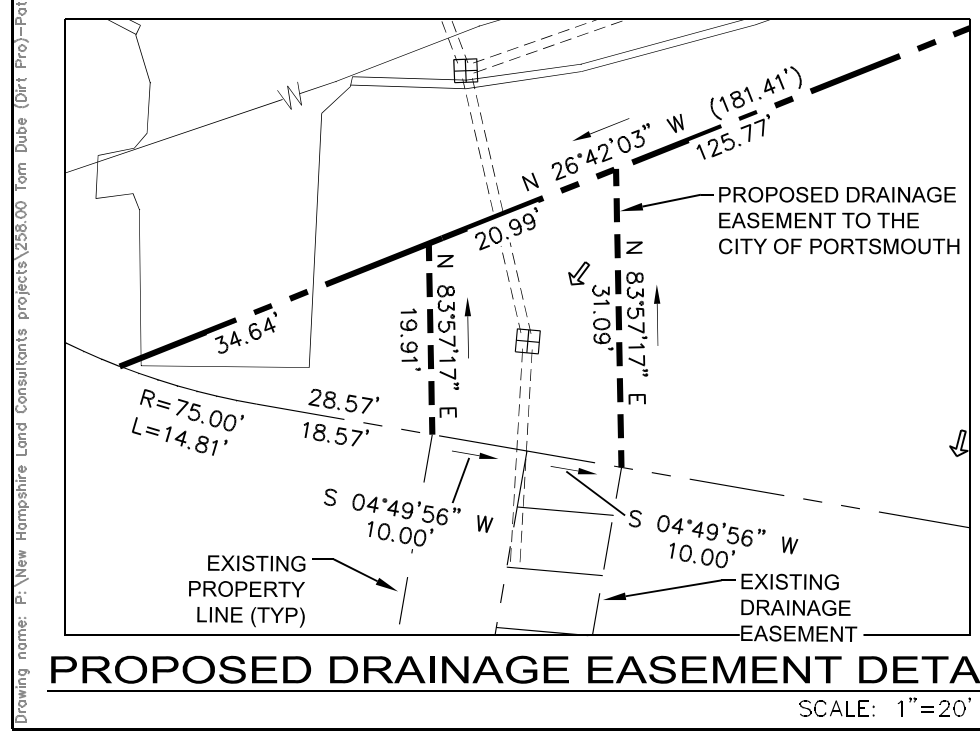
RECORDED AT  
**ROCKINGHAM CO.**  
JOB NO: 258.00  
DATE: SEPTEMBER 23, 2020

**PSP**  
SHT. 9 of 10

NHDES #eSA2021100607  
SUBDIVISION: APPROVED 10/6/2021

APPROVED BY PORTSMOUTH NH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



MONUMENTS AND BOUNDS SHOWN ON PLAN HAVE OR WILL BE SET UNDER HIS/HER SUPERVISION PRIOR TO CONVEYANCE OF ANY PROPOSED LOTS.

THE SUBDIVISION REGULATIONS OF THE CITY OF PORTSMOUTH ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF ALL THE REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS AND SUBJECT TO ANY CONDITIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS PLAN IS BASED UPON THE PLAN REFERENCES AND A FIELD SURVEY CONDUCTED ON THE GROUND IN SPRING OF 2020, MEETING THE MINIMUM REQUIREMENTS FOR ACCURACY, 1:10,000 AND COMPLETENESS PER THE STATE OF NEW HAMPSHIRE AND THE CITY OF PORTSMOUTH, NH.

*Scott R. Frankiewicz*  
SCOTT R. FRANKIEWICZ, LLS  
DATE: 07/15/2022



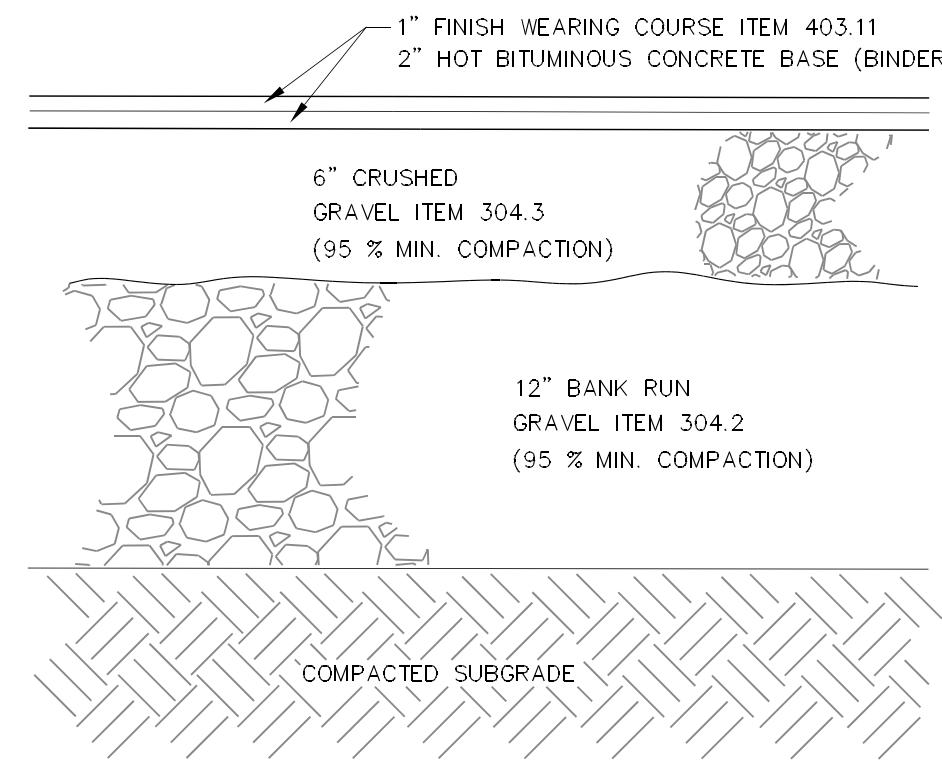
# CONSTRUCTION SEQUENCE:

- CUT AND CLEAR TREES, REMOVE EXISTING PAVEMENT WITHIN LIMIT OF WORK (PROPOSED TREE LINE), UNLESS OTHERWISE NOTED. ALL STUMPS, BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF, PREFERABLY OFF SITE.
- CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES (DETENTION BASIN, DIVERSION BERM, GRASS SWALE) PRIOR TO ANY EARTH MOVING OPERATION.
- ALL AREAS SHALL BE PROTECTED FROM EROSION. SIDE SLOPES AND DETENTION POND SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- POND SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE (BEFORE ROUGH GRADING THE SITE).
- ALL STORM DRAINAGE SYSTEMS SUCH AS DETENTION/RETENTION BASINS, LEVEL SPREADERS SHALL BE PROTECTED FROM EROSION. ALL STORM DRAINAGE SYSTEMS SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM.
- CONSTRUCT TEMPORARY CULVERTS, DIVERSION DITCHES/SWALES OR BERMS AS REQUIRED TO MINIMIZE THE EROSION AFFECTS OF STORMWATER RUNOFF DURING ALL CONSTRUCTION ACTIVITIES. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS STABILIZED.
- ALL MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SEEDED WITH WINTER RYE AND IF NECESSARY, SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO PREVENT OR CONTAIN SOIL EROSION.
- ALL MATERIAL SUITABLE FOR FILL OR SELECT MATERIAL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO CONTAIN SOIL EROSION.
- REMOVE ALL IMPROPER ROADWAY MATERIAL WITHIN 18" OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL ACCORDING TO THE STATE/TOWN SPECIFICATIONS. ALL SUITABLE FILL MATERIAL SHALL BE COMPACTED TO AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM D-1556) REQUIREMENTS.
- CONSTRUCT ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO DRAIN, DATA, CABLE AND POWER.
- ROUGH GRADE SITE WITHIN LIMIT OF WORK AND COMMENCE CONSTRUCTION OF ROADWAY.
- SITE SHALL BE STABILIZED WITHIN 72 HOURS OF FINISHED GRADE.
- COMPLETE ROADWAY SLOPE GRADING/EMBANKMENT CONSTRUCTION. ALL SLOPES SHALL BE STABILIZED AND SEEDED IMMEDIATELY AFTER GRADING. THE CONTRACTOR SHALL STABILIZE SLOPES WITH APPROPRIATE SEEDING PROGRAM OR JUTE MAT, WHEREVER SPECIFIED. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- APPLY TOPSOIL TO SITE SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED SHALL BE NATIVE ORGANIC MATERIAL SCREENED AS TO BE FREE FROM ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDED, AND MULCHED. CONSERVATION SEED MIX SHALL BE USED ALONG "PROPOSED PRIVATE DRIVE" AND WILDFLOWER MIX TO BE USED IN DETENTION BASIN AND OTHER OPEN AREAS. THE CONTRACTOR SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- MAINTAIN, REPAIR, AND REPLACE TEMPORARY EROSION CONTROL MEASURES AS NECESSARY FOR A MINIMUM PERIOD OF 12 MONTHS FOLLOWING SUBSTANTIAL COMPLETION.
- AFTER STABILIZATION (12 MONTHLY FOLLOWING SUBSTANTIAL COMPLETION), REMOVE AND PROPERLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES, PREFERABLY OFF SITE.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

DEFINITION OF THE WORD STABLE: AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- A: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
- B: A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
- C: A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
- D: OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.



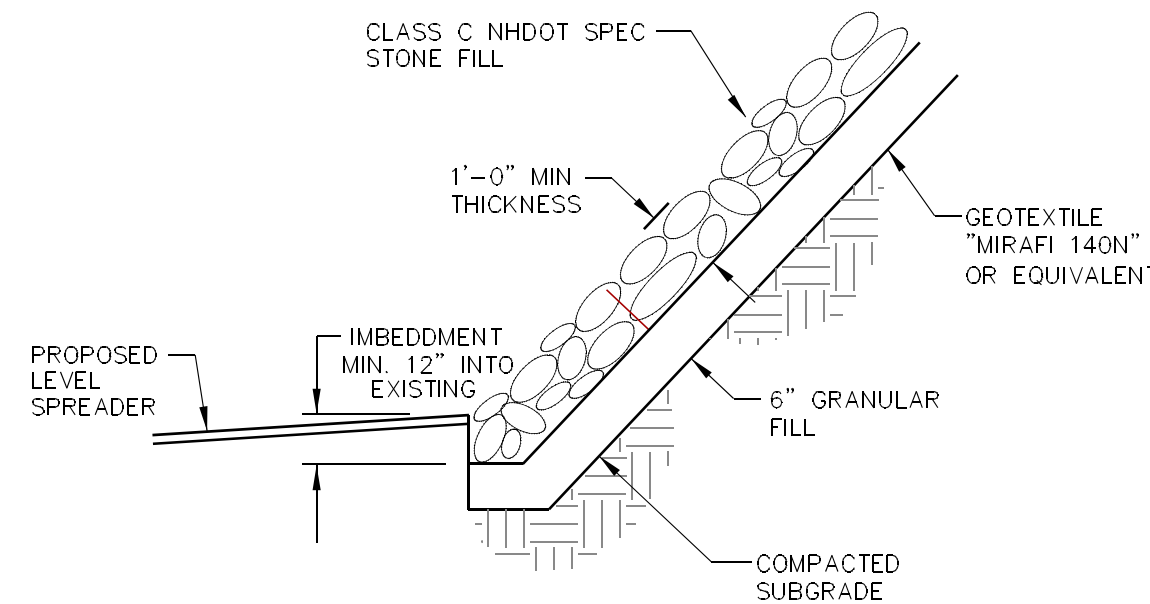
### CONSTRUCTION NOTES:

REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER ROAD FOUNDATION MATERIAL WITHIN 2' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO APPROVING AGENCY. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.

ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION, AND THE CITY OF PORTSMOUTH PUBLICS WORKS DIVISION.

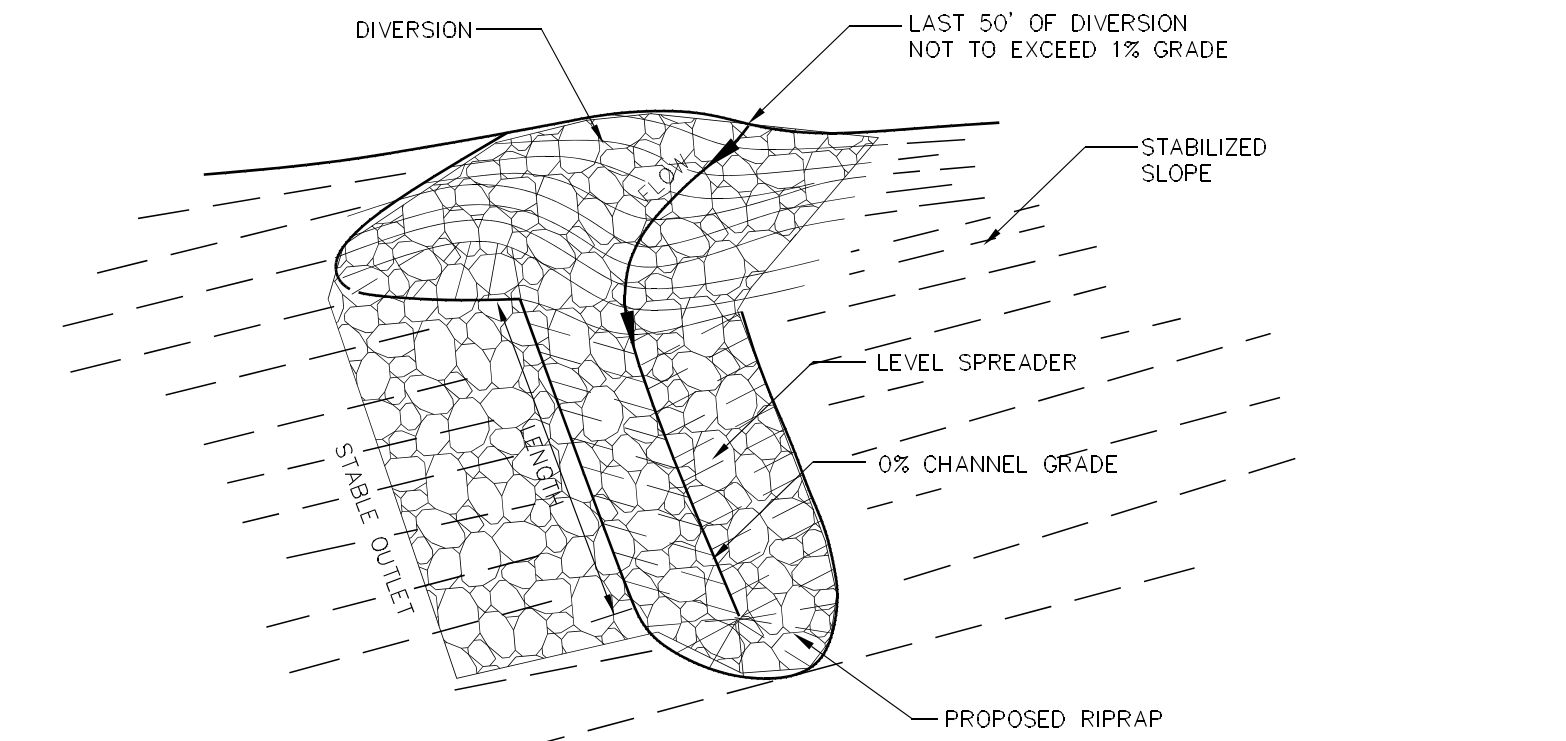
### PAVEMENT SECTION

NOT TO SCALE

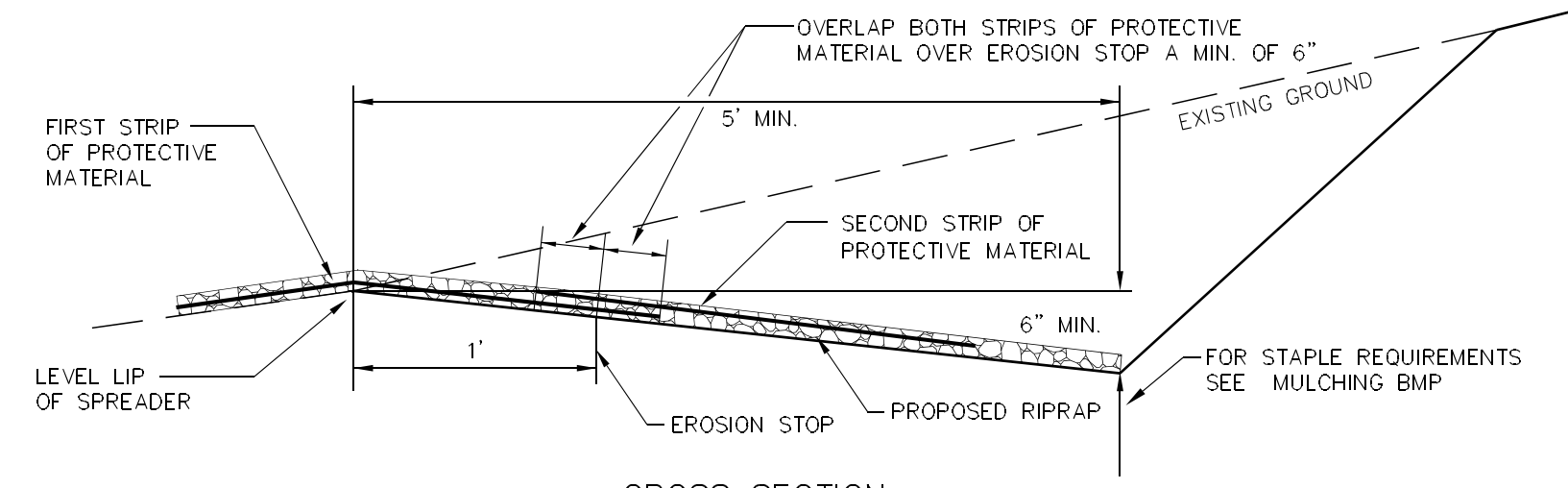


### RIPRAP DETAIL

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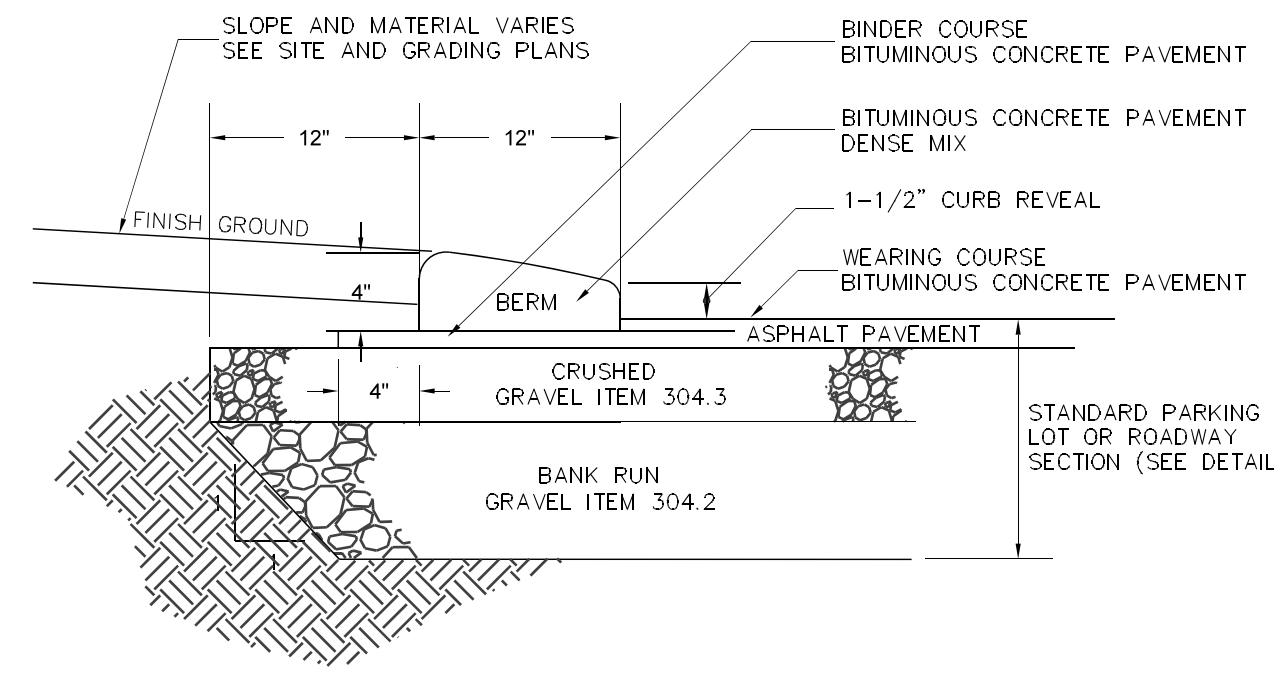
### ISOMETRIC VIEW



### CROSS SECTION

### LEVEL SPREADER DETAIL

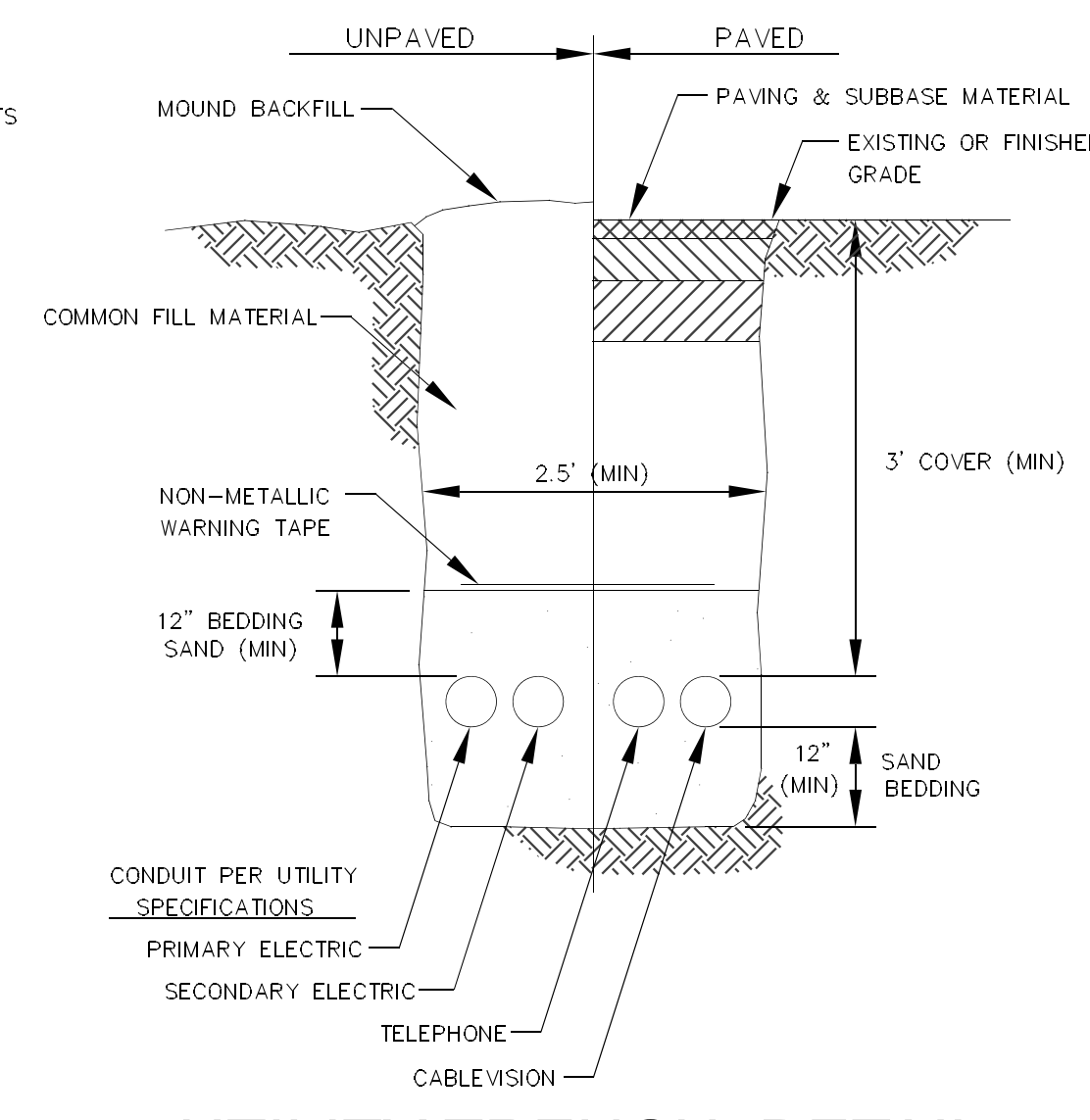
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### CAPE COD CURB (ASPHALT) DETAIL

NOT TO SCALE

- ### MAINTENANCE
- THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND TO DETERMINE THAT THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF FILLING HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED AND REVEGETATED. THE VEGETATION SHOULD BE MOWED OCCASIONALLY TO CONTROL WEEDS AND THE ENCROACHMENT OF WOODY VEGETATION. CLIPPINGS SHOULD BE REMOVED AND DISPOSED OF OUTSIDE THE SPREADER AND AWAY FROM THE OUTLET AREA. FERTILIZATION SHOULD BE DONE AS NECESSARY TO KEEP THE VEGETATION HEALTHY AND DENSE.
- ### CONSTRUCTION SPECIFICATIONS
- CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO GRADE TO INSURE UNIFORM SPREADING RUNOFF.
  - LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
  - AN EROSION STOP SHALL BE PLACED VERTICALLY A MINIMUM OF SIX INCHES DEEP IN A SILT TRENCH ONE FOOT BACK OF THE LEVEL LIP AND PARALLEL TO THE LIP. THE EROSION STOP SHALL EXTEND THE ENTIRE LENGTH OF THE LEVEL LIP.
  - THE ENTIRE LIP AREA SHALL BE PROTECTED BY PLACING TWO STRIPS OF JUTE OR EXCELSTOR MATTING ALONG THE LIP. EACH STRIP SHALL OVERLAP THE EROSION STOP BY AT LEAST SIX INCHES.
  - THE ENTRANCE CHANNEL TO THE LEVEL SPREADER SHALL NOT EXCEED A 1 PERCENT GRADE FOR AT LEAST 50 FEET BEFORE ENTERING INTO THE SPREADER.
  - THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.

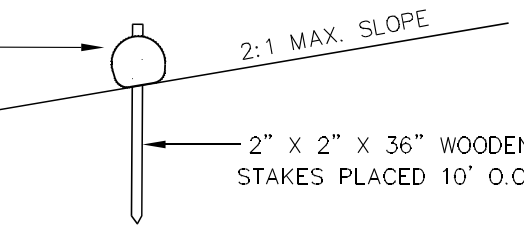


### UTILITY TRENCH DETAIL

NOT TO SCALE

### FILTER SOCK DETAIL

FILTREXX® OR APPROVED EQUAL NOT TO SCALE

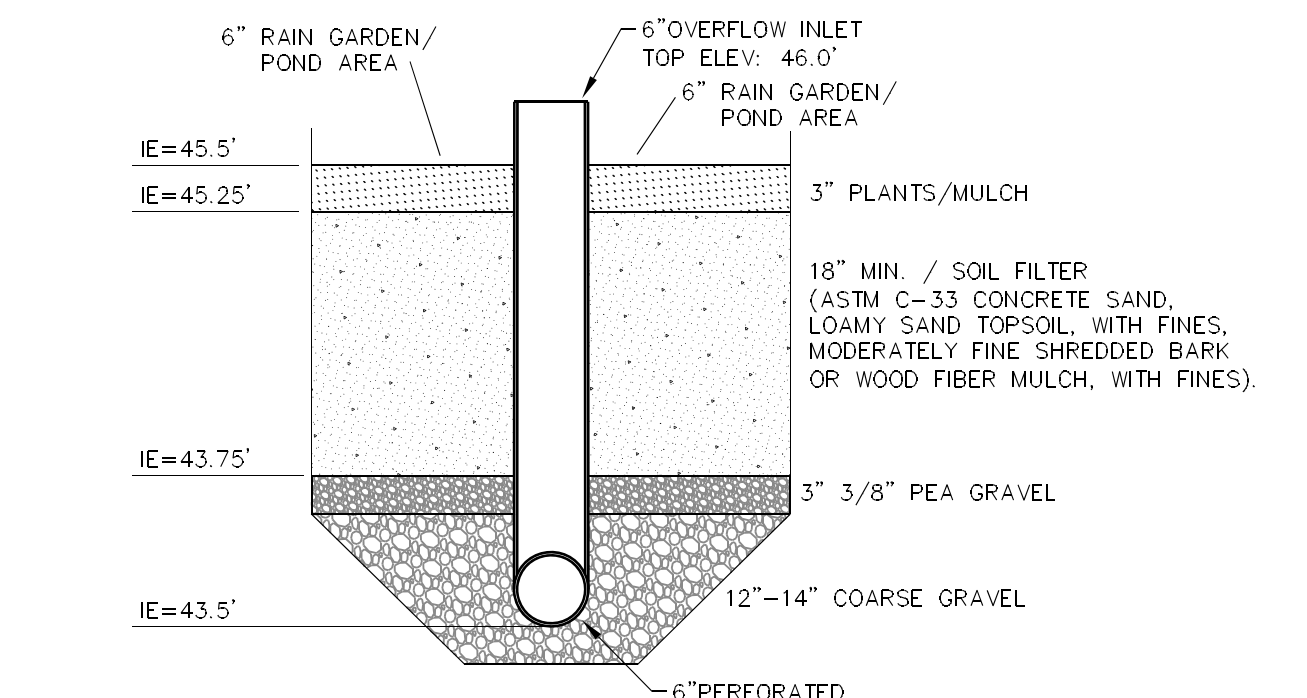


### NOTES:

- THE INLET/OUTLET APRON SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION (d50=2").
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES (ALL SIDES).
- RIP-RAP MAY BE PLACED BY EQUIPMENT (AS TO PREVENT SEGREGATION OF THE STONE SIZES) AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION.

### MAINTENANCE:

- THE OUTLET PROTECTION SHALL BE CHECKED AT LEAST BI-ANNUALLY AND AFTER EVERY SIGNIFICANT RAIN EVENT IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING.
- THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS AND SEDIMENT THAT COULD CHANGE THE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES.
- ALL REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID DAMAGE TO THE OUTLET PROTECTION APRON.

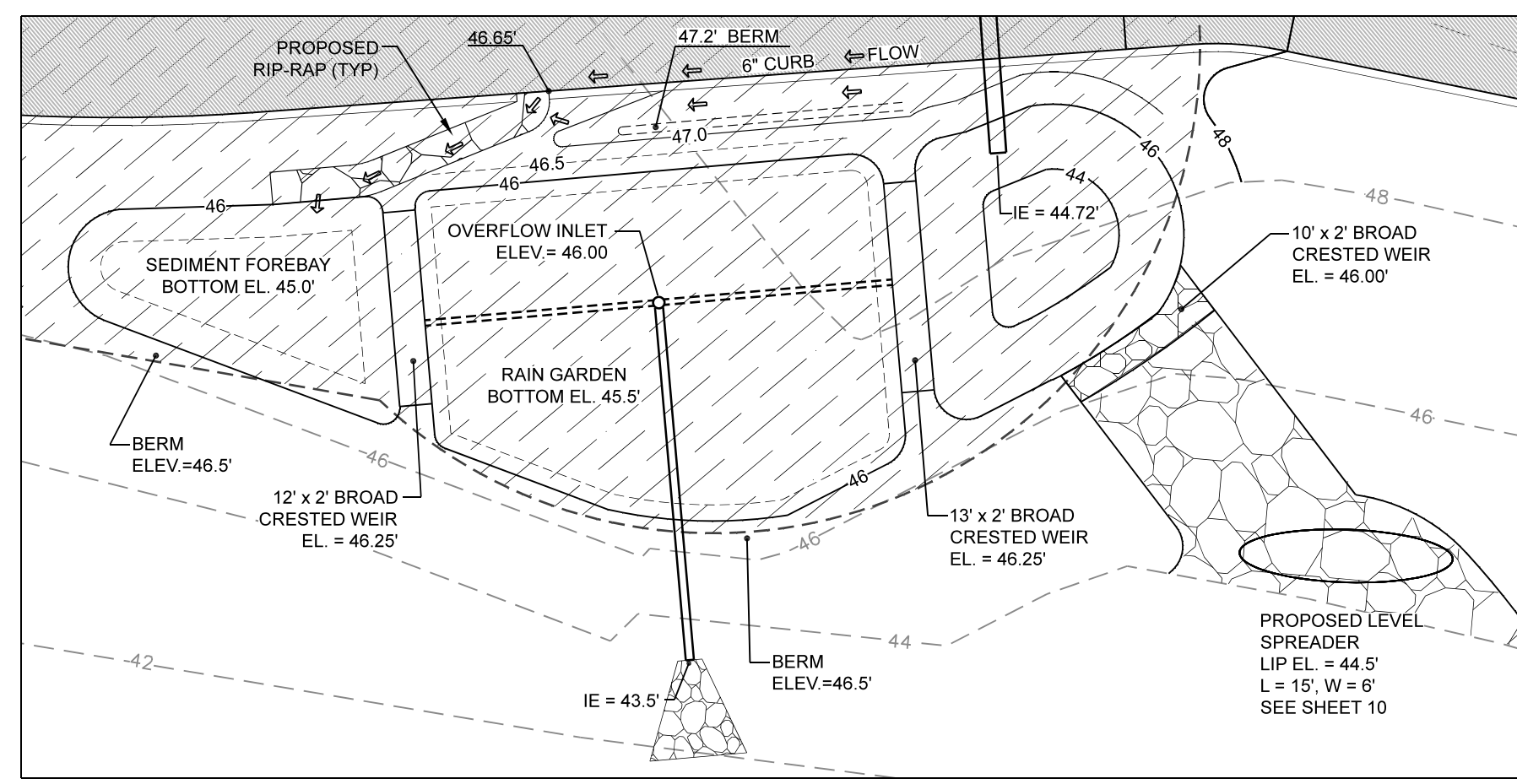


### MAINTENANCE REQUIREMENTS:

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWN DOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
- PROPOSED STORM WATER BASIN SHALL BE SEEDED WITH WILD FLOWER SEED MIX.

### TYPICAL SECTION - RAIN GARDEN DETAIL

NOT TO SCALE



### RAIN GARDEN DETAIL

SCALE: 1"=10'

### NOTE

THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP-RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.

THE ROCK USED FOR RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.

GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 11 INCHES.

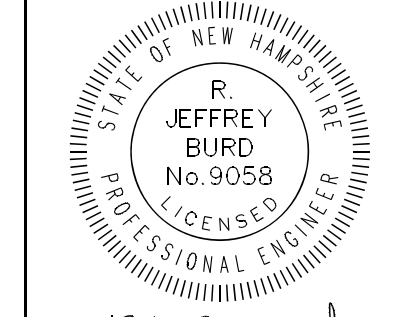
STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

### MAINTENANCE

THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS AND SEDIMENT THAT COULD CHANGE THE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

### RIP-RAP OUTLET PROTECTION APRON

NOT TO SCALE



R. J. Burd

REVISIONS	
NO.	DATE
15	10/12/2021
16	12/14/2021
19	03/16/2022
20	07/15/2022

SCALE AS SHOWN

**N.H. LAND Consultants**  
SURVEYING • LAND PLANNING • REAL ESTATE  
A Veteran Owned Company

DETAIL SHEET  
TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
HEMLOCK WAY, PORTSMOUTH NH 03801  
OWNED BY  
**HEMLOCK WAY REALTY INVESTMENTS, LLC**  
10 BRICKETS MILL ROAD, SUITE C, HAMPSTEAD, NH 03841  
BOOK 6330 PAGE 796

ROCKINGHAM CO.  
JOB NO: 258.00  
DATE: SEPTEMBER 23, 2020

**DET**  
SHT. 10 of 10

Drawing name: P:\New Hampshire Land Consultants\projects\258.00 Tom Dube (Drt Proj)-Patricia Drive-Portsmouth Vaw\258.00-Ex-Conditions-220701.rvt-Not-Final.dwg





# CITY OF PORTSMOUTH

Planning Department  
1 Junkins Avenue  
Portsmouth, New  
Hampshire 03801  
(603) 610-7216

## PLANNING BOARD

February 23, 2021

Fritz Family Revocable Living Trust  
Edgar H. Fritz Trustee  
50 Shore Drive  
Northwood, NH 03261

RE: Subdivision for property located at 0 Patricia Drive (LU-20-190)

Dear Mr. Fritz:

The Planning Board, at its regularly scheduled meeting of Thursday, February 18, 2021, considered your application for Preliminary and Final Subdivision approval to subdivide a lot with an area of 137,549 sq. ft. and 414 ft. of continuous street frontage on a private road into two (2) lots as follows: Proposed Lot 1 with an area of 92,908 sq. ft. and 150 ft. of continuous street frontage on a private road; Proposed Lot 2 with an area of 44,641 s.f. and 264 ft. of continuous street frontage on a private road. Said property is shown on Assessor Map 283, lot 1 and lies within the Single Residence A (SRA). As a result of said consideration, the Board voted as follows:

- 1) To grant a waiver to the Subdivision Regulations -- Section VI(3)(B) Street Rights of Way and Residential Street Minimum Standards to allow 18' of pavement width where 32' is the minimum allowed by finding that specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.
- 2) To grant Preliminary and Final Subdivision approval with the following stipulations:
  - 2.1) On Plan Sheet 4 – Update contractor's note to remove asphalt berm on Martha's Terrace to be removed.
  - 2.2) On Plan Sheet 9 – remove reference to "water services to the City of Portsmouth" in note 20 and Proposed Access Easement detail and in note 20 – Sheet 8.
  - 2.3) On Sheet 9 – Note 20 to be revised to "Easement to be provided to the City of Portsmouth over the entire private ROW area for the purposes of accessing water valves and leak detection of the water lines."
  - 2.4) Sheet 9, add to drainage easement note in detail that the easement is to the "City of Portsmouth"
  - 2.5) Rain garden design and detail shall be reviewed and approved by DPW.
  - 2.6) Applicant shall grant and record an easement granting stormwater flowage rights across Lot 11-1 from the Private ROW.
  - 2.7) Property monuments shall be set as required by the Department of public Works prior to the filing of the plat.
  - 2.8) GIS data shall be provided to the Department of Public Works in the form as required by the City.
  - 2.9) The final plat(s) shall be recorded at the Registry of deeds by the City or as deemed appropriate by the Planning Department.
  - 2.10) The Board recommends release of the public portion of the right-of-way to the



developer as a private road as shown on the plans submitted. This is subject to final approval by the City Council.

3) To recommend to the City Council that the private road be renamed to Hemlock Way.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

All stipulations of subdivision approval, including recording of the plat as required by the Planning Department, shall be completed within six (6) months of the date of approval, unless an extension is granted by the Planning Director or the Planning Board in accordance with Section III.D of the Subdivision Rules and Regulations. If all stipulations have not been completed within the required time period, the Planning Board's approval shall be deemed null and void.

This subdivision approval is not final until the Planning Director has certified that the applicant has complied with the conditions of approval imposed by the Planning Board.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Dexter R. Legg".

Dexter R. Legg, Chairman of the Planning Board

cc: Rosann Maurice-Lentz, City Assessor

Michael Garrepy  
Kevin Baum, Esq., Hoefle, Phoenix, Gormley & Roberts, PLLC