

Chuck and Allison Dudas
32 Monteith Street
Portsmouth, NH 03801

March 18th, 2022

City of Portsmouth
c/o Beverly Zendt
Planning Board
1 Junkins Avenue
Portsmouth, NH 03801

Re: Attached Accessory Dwelling Unit Application
Tax Map 143 Lot 22
32 Monteith St
Portsmouth, NH 03801

Dear Beverly,

We are pleased to submit this memo and the attached documents to request a conditional use permit for the construction of an attached accessory dwelling unit at the April 21, 2022 meeting.

Exhibits:

- Site Plan
- Plan Set- issued by Amy Dutton Home
- Site Photographs
- Tax Map 143

Property/Project

32 Monteith is a 30,644 sq ft lot with a single family home. The property is located in the Single Residence A District and borders North Mill Pond with street frontage along Monteith St and Thornton St. We are proposing to demolish the existing shed and construct an attached 24'x24' garage with accessory dwelling unit above.

The project received a Wetlands Conditional Use Permit in June 2020. A 1-year extension was granted to the Wetlands Conditional Use Permit in June 2021.

The proposed 576 sq ft ADU would consist of a kitchen, bathroom, one bedroom and a living room. The second floor of the ADU would be accessed by an interior stairwell that connects the garage to the existing house.

There will be a total of (6) off-street parking spaces including the 2 spaces within the garage.

Criteria for the Attached ADU

10.814.31 The principal dwelling unit and the accessory dwelling unit shall not be separated in ownership

The ADU will be owned by us, the owners of the principal dwelling unit.

10.814.32 Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling as his or her principal place of residence.

My wife and I with our children will continue to occupy the principal dwelling unit.

10.814.33 Neither the principal dwelling unit nor the accessory dwelling unit shall be used for any business.

Neither the principal dwelling unit nor the ADU will be used for a business.

10.814.40 Standards for Attached Accessory Dwelling Unit

The proposed ADU meets the standards laid out in 10.814.40.

The primary access to the ADU will be through an interior door via a stairwell that also serves the principal dwelling unit.

The ADU will be one-bedroom and less than 750 sq ft.

The property will continue to appear as a single family dwelling. The exterior door that will be used to access the ADU will be on the side of the garage and will not appear as the principal entrance.

The ADU will be set back from the front lot line behind the principal dwelling unit.

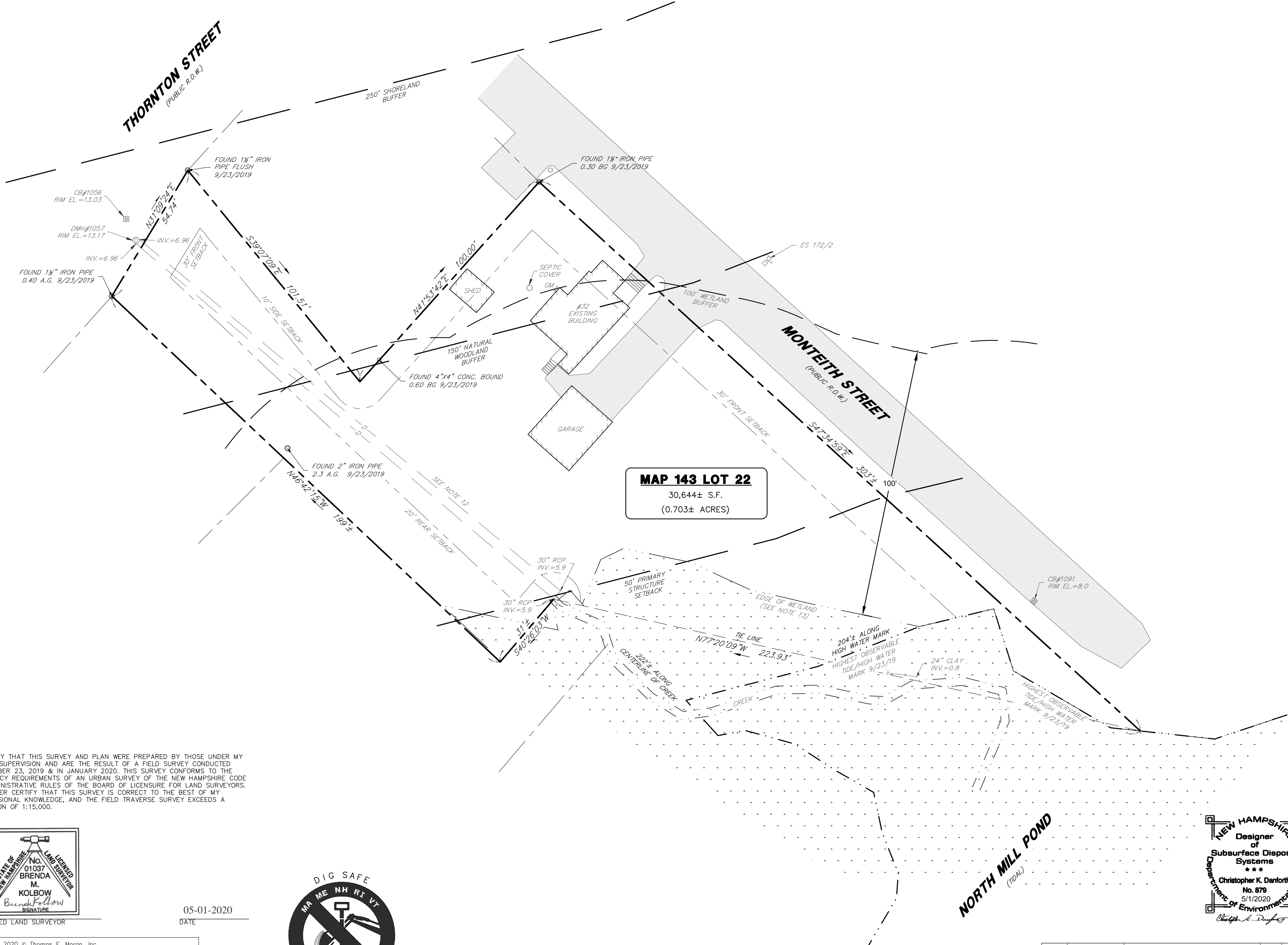
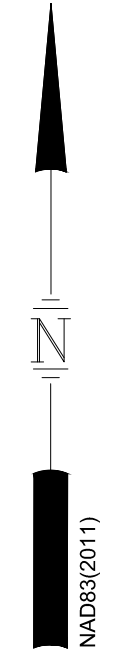
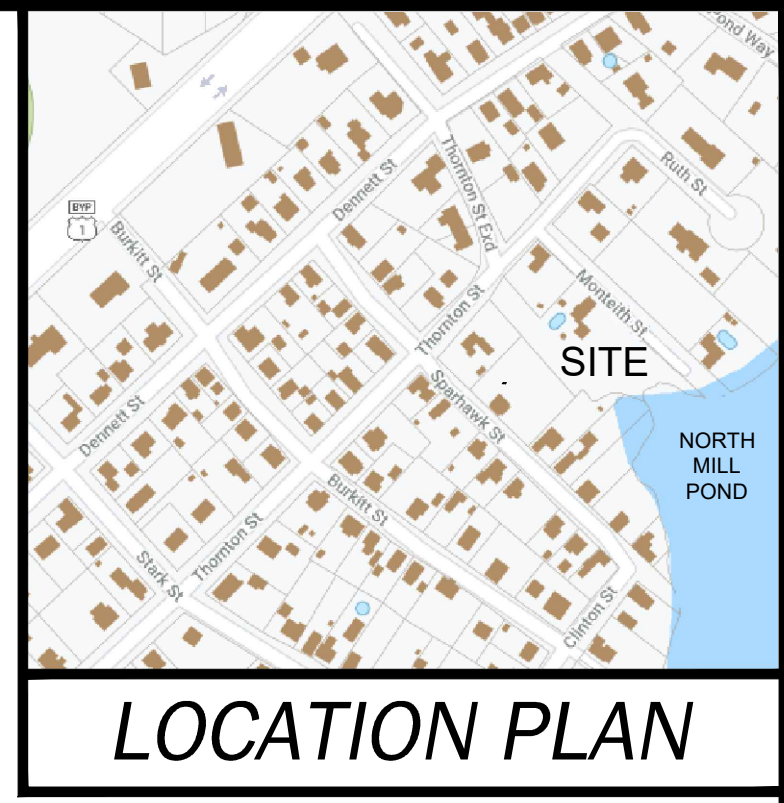
The ADU will be architecturally consistent with principal dwelling unit.

For the reasons described above, we respectfully request the Board grant this conditional use permit for the ADU.

Respectfully,

Handwritten signatures of Chuck and Allison Dudas in blue ink.

Chuck & Allison Dudas

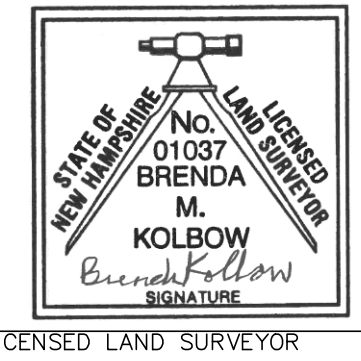


MAP 143 LOT 22
 30,644± S.F.
 (0.703± ACRES)

NOTES:

1. THE PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH OF ASSESSOR'S MAP 143 AS LOT 22.
3. THE PARCEL IS PARTIALLY LOCATED IN ZONES X & AE AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, MAP NUMBER 33015C0259E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
4. OWNER OF RECORD:
 MAP 143 LOT 22
 CHARLES & ALLISON DUDAS
 32 MONTEITH STREET
 PORTSMOUTH, NH 03801
 RCRD BK:5876 PG.#1963
5. PARCEL AREA:
 MAP 143 LOT 22:
 30,644± S.F.
 (0.703± ACRES)
6. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
7. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES AND CURRENT SITE CONDITIONS OF MAP 143 LOT 22.
8. FIELD SURVEY COMPLETED BY TCE ON SEPTEMBER 23, 2019 & JANUARY 2020 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
9. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS. VERTICAL DATUM IS NAVD 88 PER STATIC GPS OBSERVATIONS.
10. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
11. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
12. A PORTION OF THIS PARCEL MAY BE SUBJECT TO "THE RIGHT OF THE CITY OF PORTSMOUTH TO MAINTAIN IN AND OVER IT A PUBLIC SEWER AS NOW BUILT AND LOCATED THEREON." AS RECORDED IN RCRD BK.#786 PG.#69 AND BK.#1896 PG.# 406.
13. JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON SEPTEMBER 23, 2019 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFMORAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3). NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEWPPCC), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010. DOMINANCE OF HYDROPHITIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013, (VER. 3.1).

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED SEPTEMBER 23, 2019 & IN JANUARY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

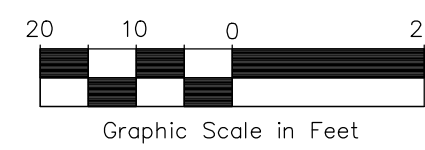


05-01-2020
 DATE

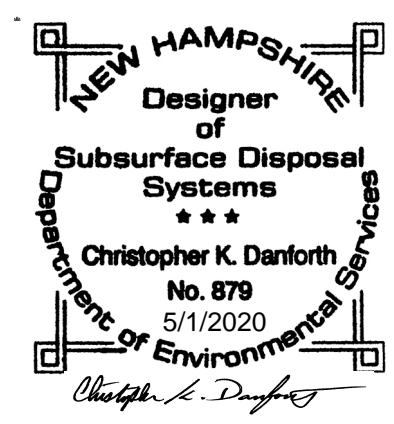


CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

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REV.	DATE	DESCRIPTION	DR	CK



TAX MAP 143 LOT 22
SKETCH PLAN
DUDAS RESIDENCE
 32 MONTEITH STREET
 PORTSMOUTH, NEW HAMPSHIRE
 COUNTY OF ROCKINGHAM
 OWNER
CHARLES & ALLISON DUDAS

SCALE: 1" = 20' (22x34)
 1" = 40' (11x17)

JANUARY 28, 2020

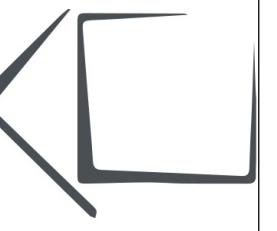
TFM **MSC**
 A division of TFMoran, Inc.

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

47375-00	DR	FB
	CK	CADFILE

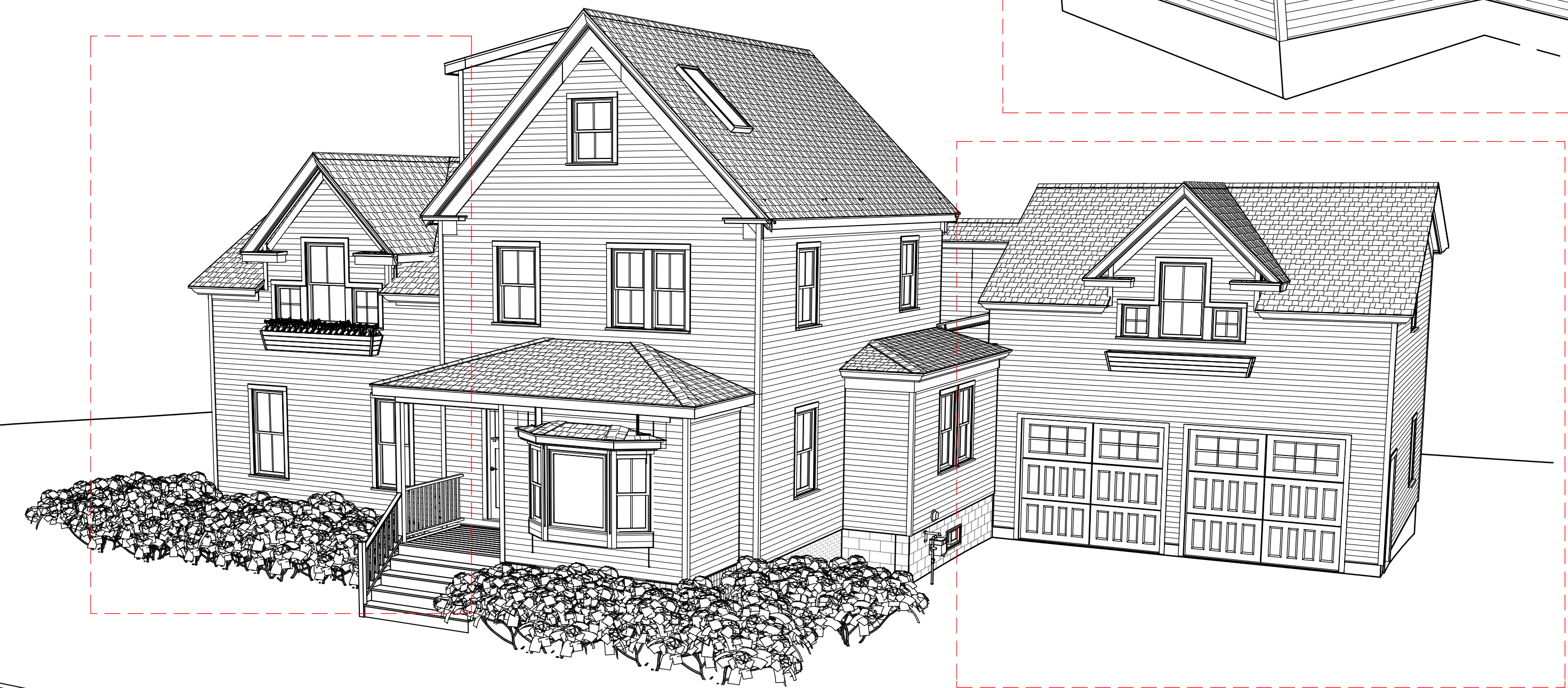
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OVERVIEW

DRAWING INDEX

1	OVERVIEW
2	SITE PLAN
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13	FRAMING
14	ELECTRICAL



OVERVIEW

SCALE: 1/4" = 1'-0"

SPECIFICATIONS + NOTES

- *ROOFING MATERIAL: TO MATCH EXISTING
- *ALL TRIM PACKAGE: TO MATCH EXISTING
- *SIDING: TO MATCH EXISTING
- *BRACKETS: TO MATCH EXISTING
- *STAIR SYSTEM:
 - _EXTERIOR:
 - *BROSCO: Liberty Extruded Rail System
 - *RISER: AZEC- WHITE
 - *TREAD: SELECTWOOD, ZURI "Weathered Grey"
 - _INTERIOR:
 - *NEWEL
 - *HANDRAIL
 - *BALUSTERS
 - *RISER FINISH
 - *TREAD
- *WINDOWS:
 - _MANUFACTURER:
 - _EXT. FINISH:
 - _INT. FINISH:
- *DOORS:
 - _MANUFACTURER:
 - _EXT. FINISH:
 - _INT. FINISH:

- *FLOORING:
 - _1ST FLOOR: WOOD
 - _2ND FLOOR: WOOD
 - _REFINISH AREAS:
- *KITCHEN:
 - _CABINETS: SPEC TO BE PREPARED
- *MANTLE:
 - _BUILT-IN IN GREATROOM AND AROUND FIREPLACE
- *FIREPLACE:
 - _GAS
 - _WOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK
 - _HEARTH: RAISED VS. FLUSH
 - *MATERIAL:

- NOTES:
 - *CEILING HEIGHTS: 1ST FLOOR: 8'-6" | 2ND FLOOR: 7'-8"
 - *CORNER BOARDS: TO MATCH EXISTING
 - *WATER TABLE: TO MATCH EXISTING
 - *RAKE BOARD: TO MATCH EXISTING
 - *SOFFIT - TO MATCH EXISTING
 - *ROOF VENT - TO MATCH EXISTING
 - *WINDOW TRIM: TO MATCH EXISTING

- GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS
 2. ALL TRASH GENERATED BY THE CONTRACTOR WILL BE PLACED IN A TRASH CONTAINER PROVIDED BY THE CONTRACTOR ON SITE AT THE END OF EACH DAY.
 3. VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIAL. NOTIFY DESIGNER OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.
 4. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE PERFORMED BY SUB-CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR AND INTERIOR DESIGNER WITH RESPECT TO LIGHTING AND CEILING DETAILS.
 5. COORDINATE ALL ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING, FLOOR, AND WALL SPACES. VERIFY LOCATIONS WITH DESIGNER.
 6. IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO COMPLETE THE WORK WITHIN THE RECOGNIZED STANDARDS OF THE CONSTRUCTION INDUSTRY.

CLIENT:
Charles and Allison Dudas
32 Monteth Street
Portsmouth, NH

CONTACT:
AMY DUTTON HOME
4 WALKER STREET | KITTERY, ME
amy@duttonhome.com
207.703.0696

DATE:

1/26/22

SCALE:

SCALED FOR:
24" X 36"

DRAWING SCALE
N.T.S

SHEET:

A1

CALCULATIONS

ZONING MAXIMUMS:

front setback: 15'
 rear setback: 20'
 side setbacks: 10'
 lot coverage: 25%

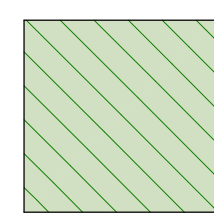
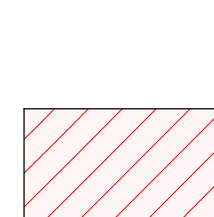
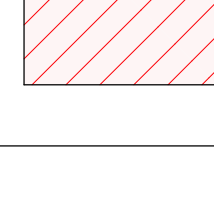
EXISTING CONDITIONS:

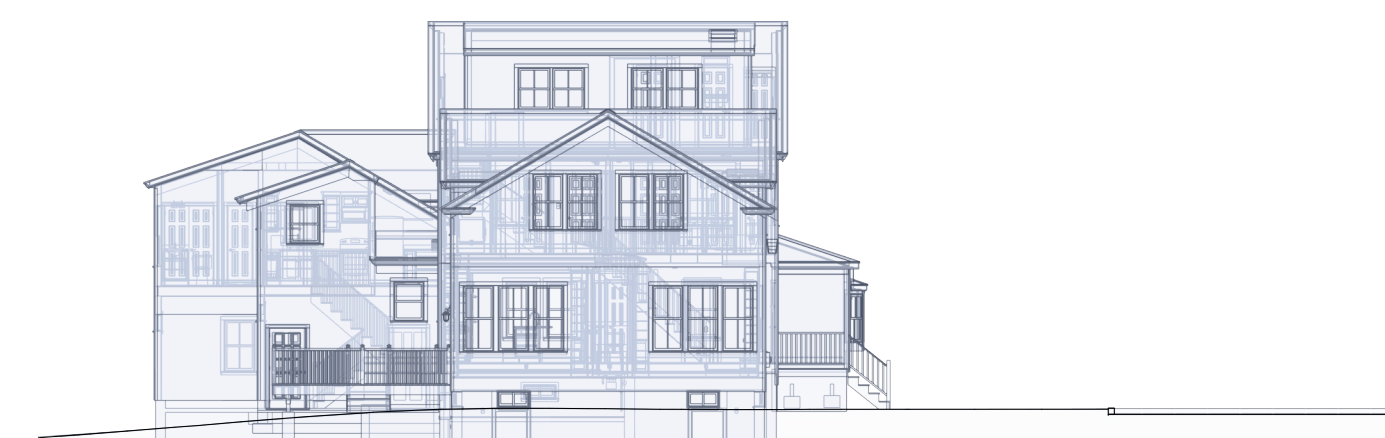
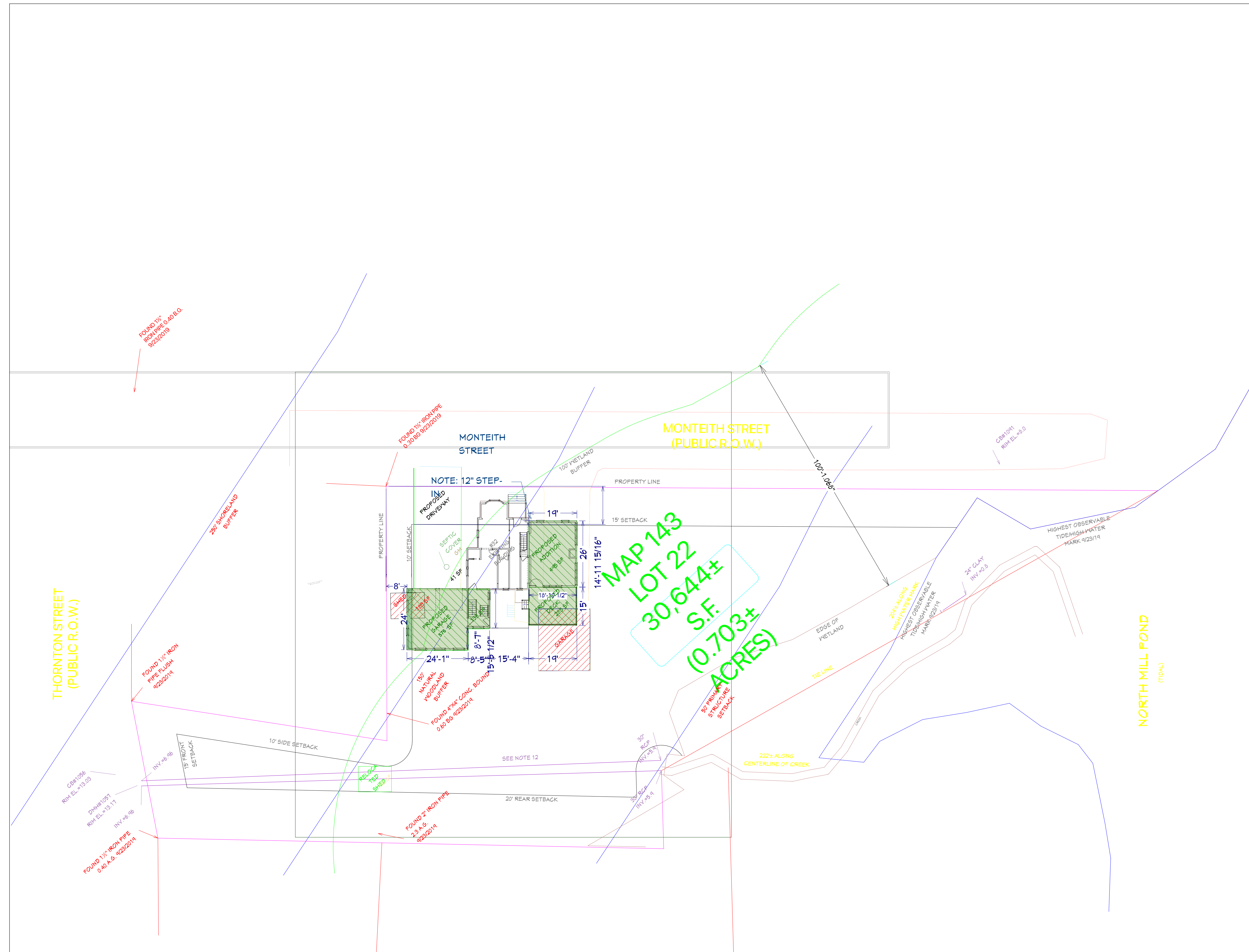
LOT SIZE: 0.70 ACRES
 GROSS SF: 2,544
 LIVABLE SF: 1,534
 FIRST FLOOR: 694 SF
 UPPER STORY: 560 SF
 HALF STORY: 280 SF
 EXISTING SETBACKS:
 FRONT: 6 FT, SECONDARY FRONT: 90 FT
 REAR: 129 FT (TO GARAGE)
 LEFT: 35 FT TO WETLAND
 RIGHT: 2 FT (TO SHED)
 EXISTING LOT COVERAGE: $809 + 496 + 130 = 1435 / 30644 = 4.7\%$
 EXISTING PARCEL AREA: 0.033 ACRES

PROPOSED CONDITIONS:

LIVABLE SF: 2,655
 FIRST FLOOR: 1321 SF
 UPPER STORY: 1054 SF
 HALF STORY: 280 SF
 PROPOSED SETBACKS:
 FRONT: 6 FT
 REAR: 20 FT
 LEFT: 47 FT TO WETLAND
 RIGHT: 8 FT
 PROPOSED LOT COVERAGE: $762 + 497 + 285 + 710 + 130 = 2384 / 30644 = 7.7\%$
 PROPOSED PARCEL AREA: 0.055 ACRES

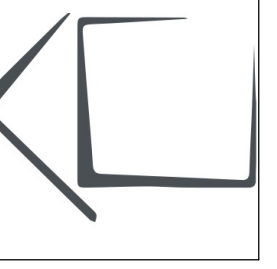
SITE PLAN LEGEND

-  = ADDITION & DECK ~ 778 SF
-  = GARAGE / MUDROOM ~ 710 SF
-  = GARAGE AND SHED TO BE REMOVED ~ 630 SF



SITE PLAN

SCALE: 1" = 20'-0"



SITE PLAN

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 Portsmouth, NH

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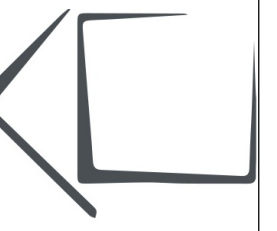
SCALE:

SCALED FOR:
 24" X 36"

DRAWING SCALE

SHEET:

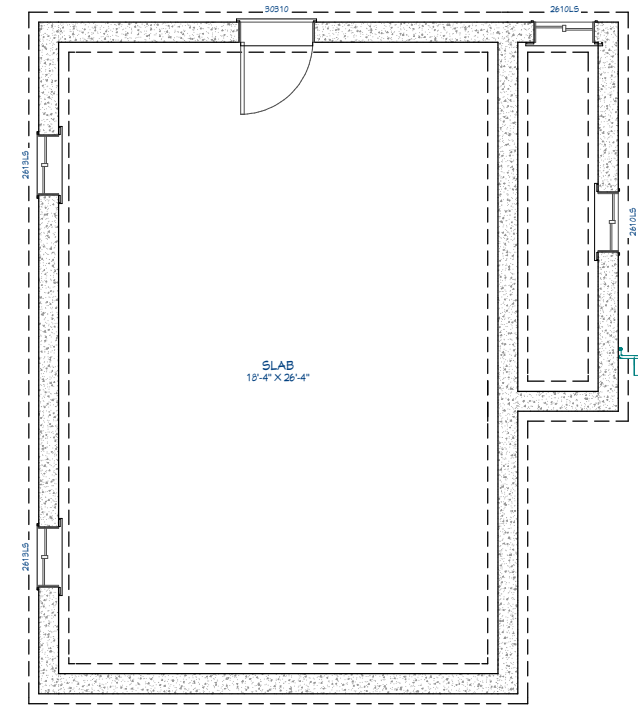
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FOUNDATION

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EXISTING FOUNDATION PLAN

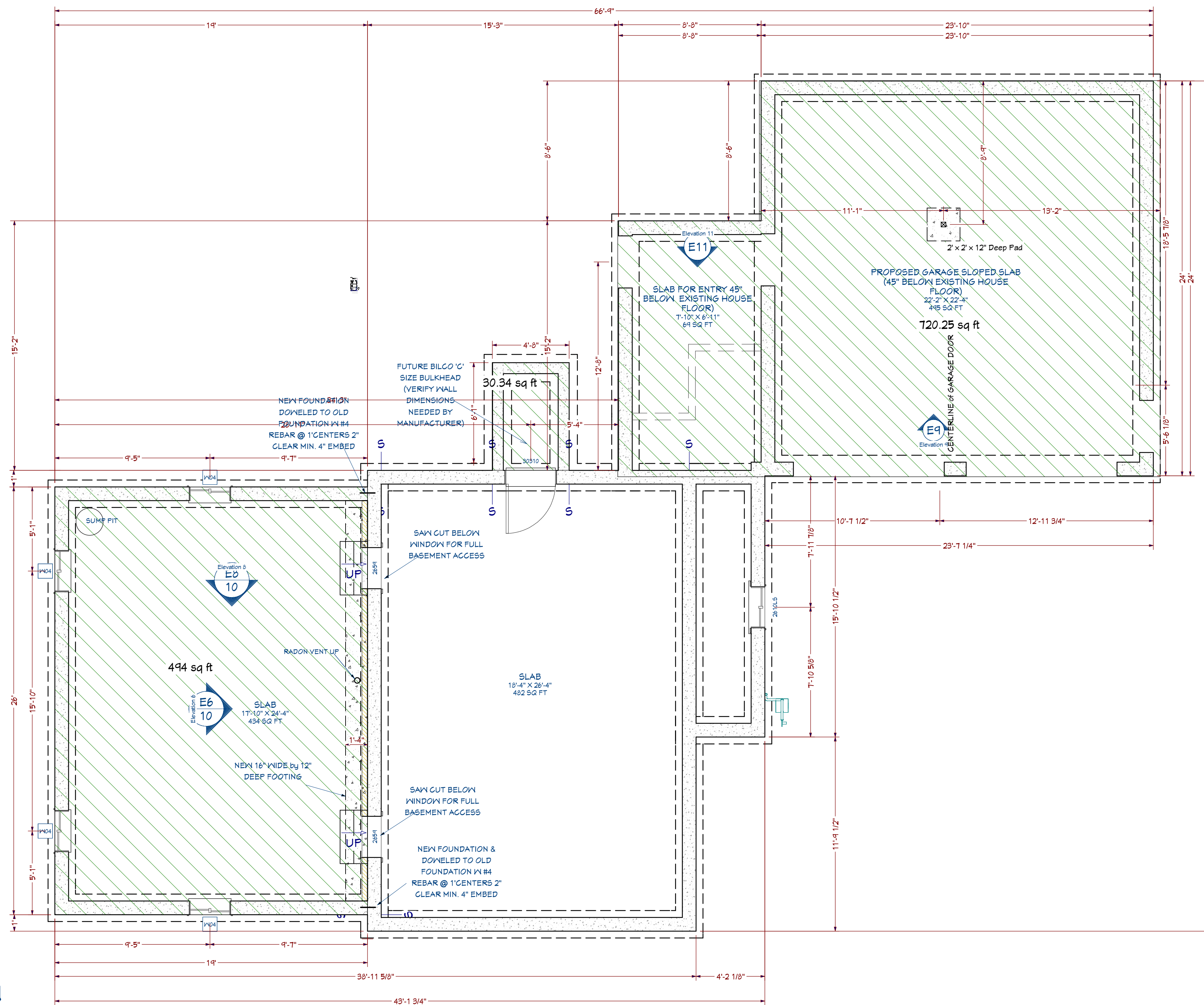
SCALE: 1/8" = 1'-0"

WINDOW NOTES:

- 1 WOOD INTERIOR WITH GLAD EXTERIOR
- 2 FULL SCREENS ON ALL WINDOWS
- 3 INTERIOR WINDOW COLOR: TBD
- 4 EXTERIOR WINDOW COLOR: TBD
- 5 HARDWARE MATERIAL: TBD
- 6 MANUFACTURER: MARVIN ELEVATE (WOOD, GLAD) ESSENTIAL (GLAD, CLAD), SIGNATURE COLLECTION
- 7 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES
- 8 BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44" OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 3'3" SOFFIT WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" AS TO MEET EGRESS

DOOR NOTES:

- 1 DOORS SHALL BE 96"
- 2 ALL DOORS SHALL BE SOLID CORE 1-3/4" THICK
- 3 INTERIOR DOORS SHALL BE FTD. OR STAINED, VERIFY WITH DESIGNER
- 4 DOORS BETWEEN GARAGE AND LIVING AREA SHOULD BE 1-3/4" TIGHT FITTING SOLID CORE DOORS
- 5 EXTERIOR EXT. DOORS SHALL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE
- 6 GARAGE DOORS TO BE SECTIONAL INSULATED, OVERHEAD DOORS. GLASS PANELS TO BE INSULATED
- 7 ALL GLAZING WITHIN 18" OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR ARE TO HAVE SAFETY GLAZING
- 8 ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- 9 BARN DOORS, MEASURE TO FIT OPENINGS. ALL HARDWARE TO BE STAINLESS



GENERIC WINDOW SCHEDULE (VERIFY R.O. FROM MANUFACTURER)

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS
W01	1933SC	2	1	1933SC	21"	39"	
W02	7148MU	1	2	7148	85"	56"	
W03	2024FX	4	2	2024FX	24"	28"	
W04	2613LS	4	0	2613LS	30"	15"	
W06	2656DH	8	1	2656DH	30"	65 1/2"	
W07	3050DH	2	2	3050DH	36"	60"	YES
W08	5448MU	2	2	5448	64"	55 1/2"	
W09	5636MU	1	3	5636	66"	42"	
W10	5636MU	1	3	5636	66 7/16"	42"	
W11	61056MU	1	1	61056	82"	65 1/2"	

GENERIC DOOR SCHEDULE (VERIFY R.O. FROM MANUFACTURER)

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
D01	2268	1	2	2268 L IN	26"	80"
D02	2468	1	2	2468 R IN	28"	80"
D03	2868	2	2	2868 L IN	32"	80"
D04	2878	1	1	2878 L EX	32"	92"
D05	2268	1	2	2268 R	26"	80"
D06	2468	1	2	2468 L	28"	80"
D07	2668	2	2	2668 L IN	30"	80"
D08	1968	1	2	1968 R IN	21"	80"
D09	2068	1	2	2068 R IN	24"	80"
D10	1768	1	1	1768 R IN	19"	80"
D11	3668	1	1	3668 L/R IN	42"	80"
D12	2068	1	1	2068 L	24"	80"
D13	3068	1	2	3068 L EX	36"	80"
D14	4068	1	2	4068 L/R IN	48"	80"
D15	2668	1	2	2668 R IN	30"	80"
D17	9080	2	1	9080	108"	96"

LEGEND

= ADDITION

PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CLIENT:
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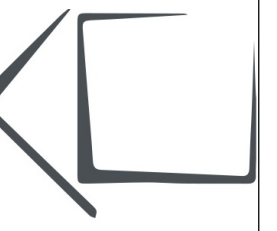
SCALE:

SCALED FOR:
24" X 36"

DRAWING SCALE
1/4" = 1'-0"

SHEET:

A4



FIRST FLOOR

DRAWING INDEX

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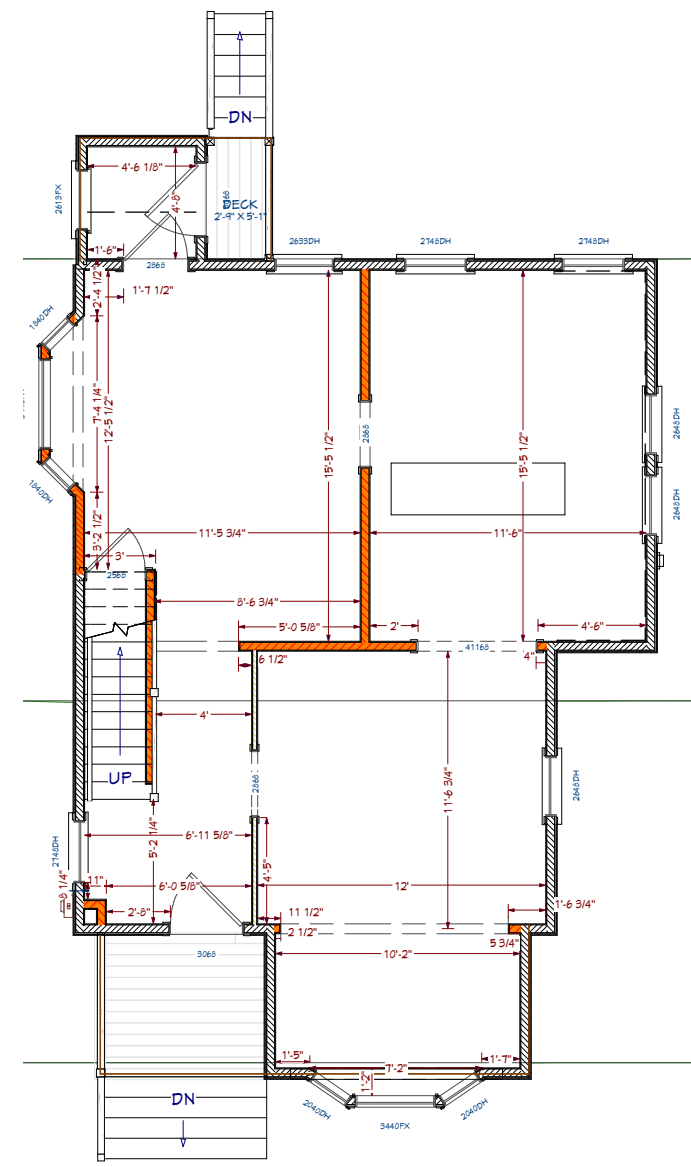
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SCALED FOR:
24" X 36"

DRAWING SCALE
1/4" = 1'-0"

SHEET:

A5



EXISTING FIRST FLOOR PLAN

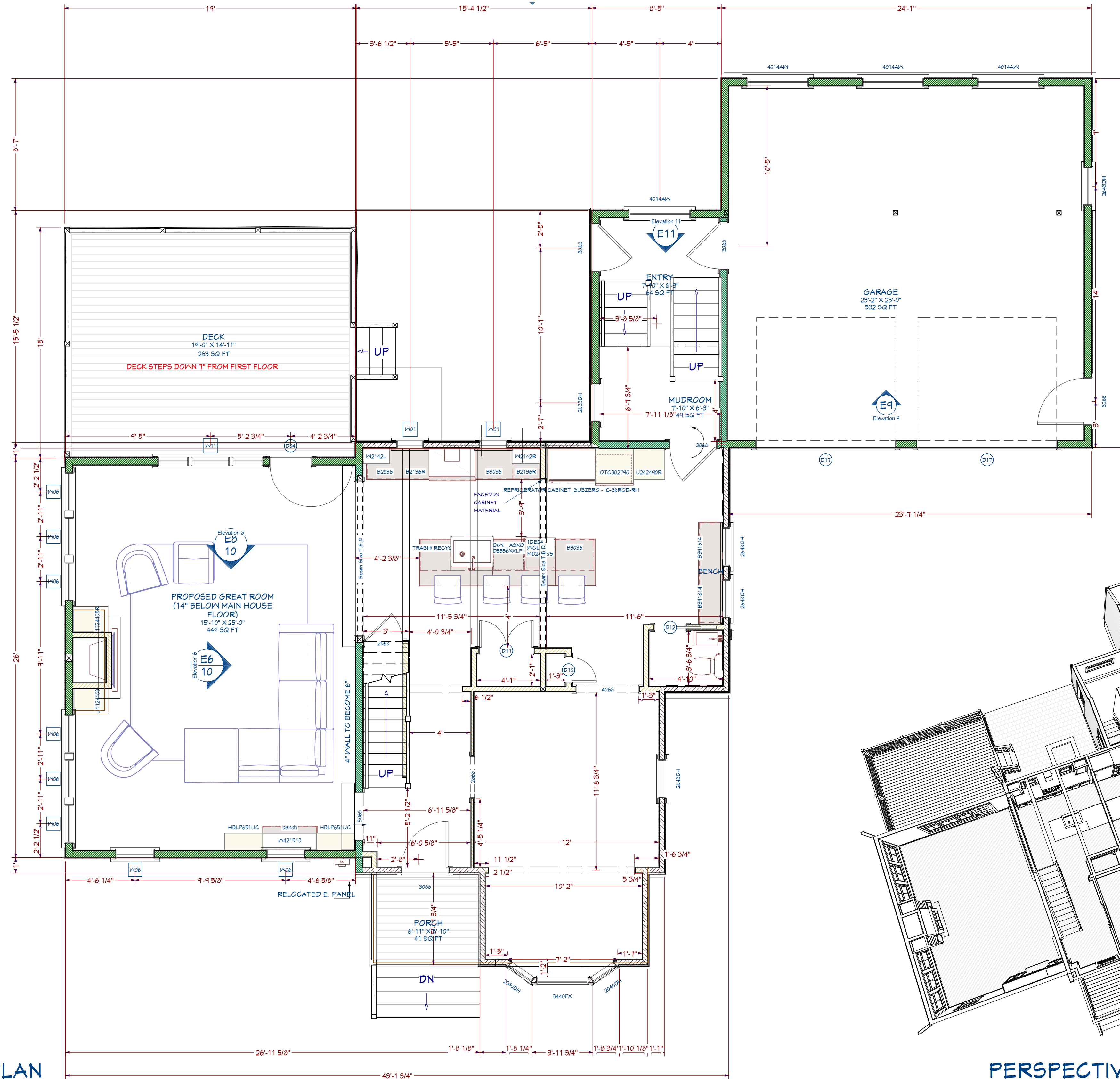
SCALE: 1/8" = 1'-0"

WINDOW NOTES:

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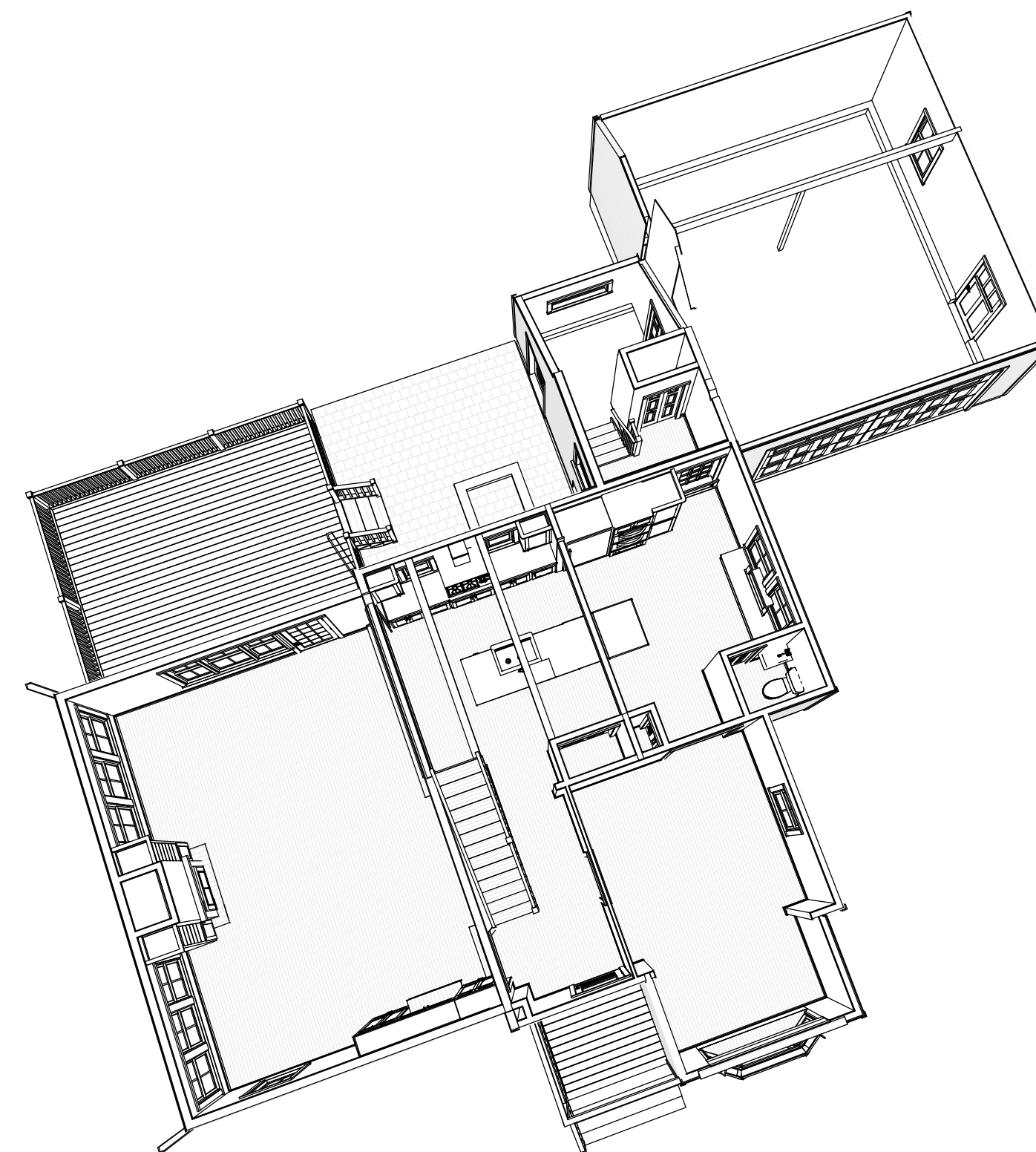
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- 6 GARAGE DOORS TO BE SECTIONAL INSULATED, OVERHEAD DOORS. GLASS PANELS TO BE INSULATED
- 7 ALL GLAZING WITHIN 36" OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR ARE TO HAVE SAFETY GLAZING
- 8 ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- 9 BARN DOORS, MEASURE TO FIT OPENINGS. ALL HARDWARE TO BE STAINLESS



GENERIC WINDOW SCHEDULE (VERIFY R.O. FROM MANUFACTURER)							
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS
W01	1433SC	2	1	1433SC	21"	34"	
W02	T148MU	1	2	T148	85"	56"	
W03	2024FX	4	2	2024FX	24"	28"	
W04	2613LS	4	0	2613LS	30"	15"	
W06	2656DH	8	1	2656DH	30"	65 1/2"	
W07	3050DH	2	2	3050DH	36"	60"	YES
W08	5448MU	2	2	5448	64"	55 1/2"	
W09	5636MU	1	3	5636	66"	42"	
W10	5636MU	1	3	5636	66 7/16"	42"	
W11	61056MU	1	1	61056	82"	65 1/2"	

GENERIC DOOR SCHEDULE (VERIFY R.O. FROM MANUFACTURER)						
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
D01	2268	1	2	2268 L IN	26"	80"
D02	2468	1	2	2468 R IN	28"	80"
D03	2868	2	2	2868 L IN	32"	80"
D04	2878	1	1	2878 L EX	32"	42"
D05	2268	1	2	2268 R	26"	80"
D06	2468	1	2	2468 L	28"	80"
D07	2668	2	2	2668 L IN	30"	80"
D08	1968	1	2	1968 R IN	21"	80"
D09	2068	1	2	2068 R IN	24"	80"
D10	1768	1	1	1768 R IN	19"	80"
D11	3668	1	1	3668 L/R IN	42"	80"
D12	2068	1	1	2068 L	24"	80"
D13	3068	1	2	3068 L EX	36"	80"
D14	4068	1	2	4068 L/R IN	48"	80"
D15	2668	1	2	2668 R IN	30"	80"
D17	4080	2	1	4080 R	108"	46"



PERSPECTIVE VIEW

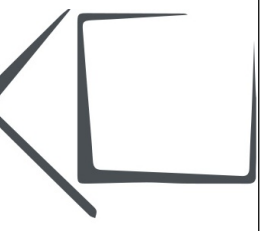
SCALE: NTS

WALL LEGEND

- = EXISTING EXTERIOR WALL
- = NEW EXTERIOR WALL
- = INTERIOR 6
- = EXISTING INTERIOR 4
- = NEW INTERIOR 4
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL

PROPOSED FIRST FLOOR PLAN

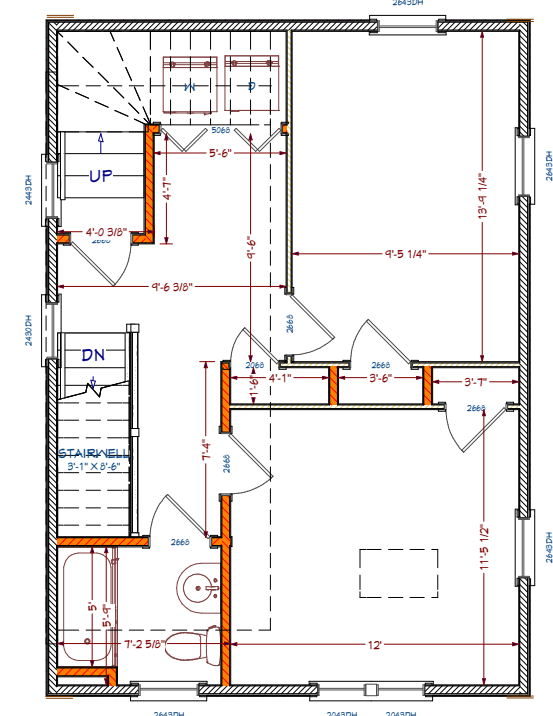
SCALE: 1/4" = 1'-0"



SECOND FLOOR

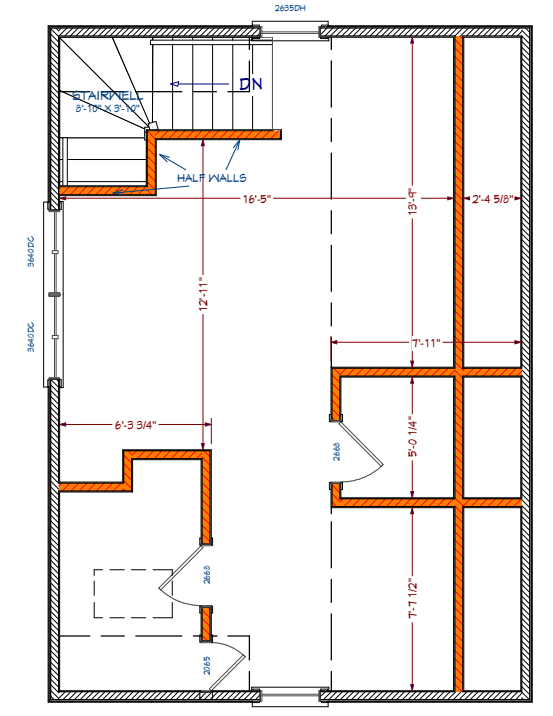
GENERIC WINDOW SCHEDULE (VERIFY R.O. FROM MANUFACTURER)							
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS
W01	1933SC	2	1	1933SC	21"	39"	
W02	7148MU	1	2	7148	85"	56"	
W03	2024FX	4	2	2024FX	24"	28"	
W04	2613LS	4	0	2613LS	30"	15"	
W06	2656DH	8	1	2656DH	30"	65 1/2"	
W07	3050DH	2	2	3050DH	36"	60"	YES
W08	5448MU	2	2	5448	64"	55 1/2"	
W09	5636MU	1	3	5636	66"	42"	
W10	5636MU	1	3	5636	66 7/16"	42"	
W11	61056MU	1	1	61056	82"	65 1/2"	

GENERIC DOOR SCHEDULE (VERIFY R.O. FROM MANUFACTURER)						
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
D01	2268	1	2	2268 L IN	26"	80"
D02	2468	1	2	2468 R IN	28"	80"
D03	2868	2	2	2868 L IN	32"	80"
D04	2878	1	1	2878 L EX	32"	92"
D05	2268	1	2	2268 R	26"	80"
D06	2468	1	2	2468 L	28"	80"
D07	2668	2	2	2668 L IN	30"	80"
D08	1968	1	2	1968 R IN	21"	80"
D09	2068	1	2	2068 R IN	24"	80"
D10	1768	1	1	1768 R IN	19"	80"
D11	3668	1	1	3668 L/R IN	42"	80"
D12	2068	1	1	2068 L	24"	80"
D13	3068	1	2	3068 L EX	36"	80"
D14	4068	1	2	4068 L/R IN	48"	80"
D15	2668	1	2	2668 R IN	30"	80"
D17	9080	2	1	9080	108"	96"



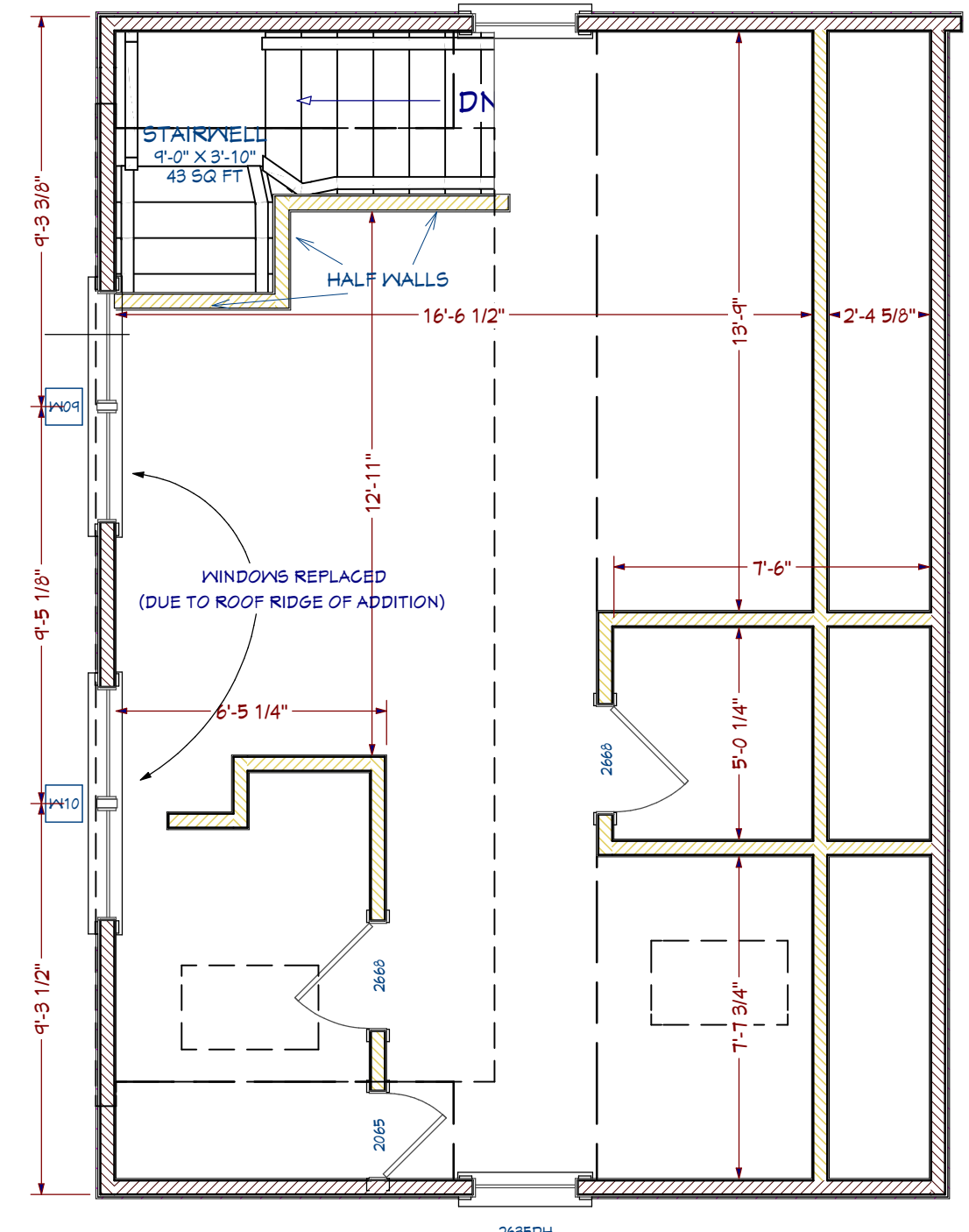
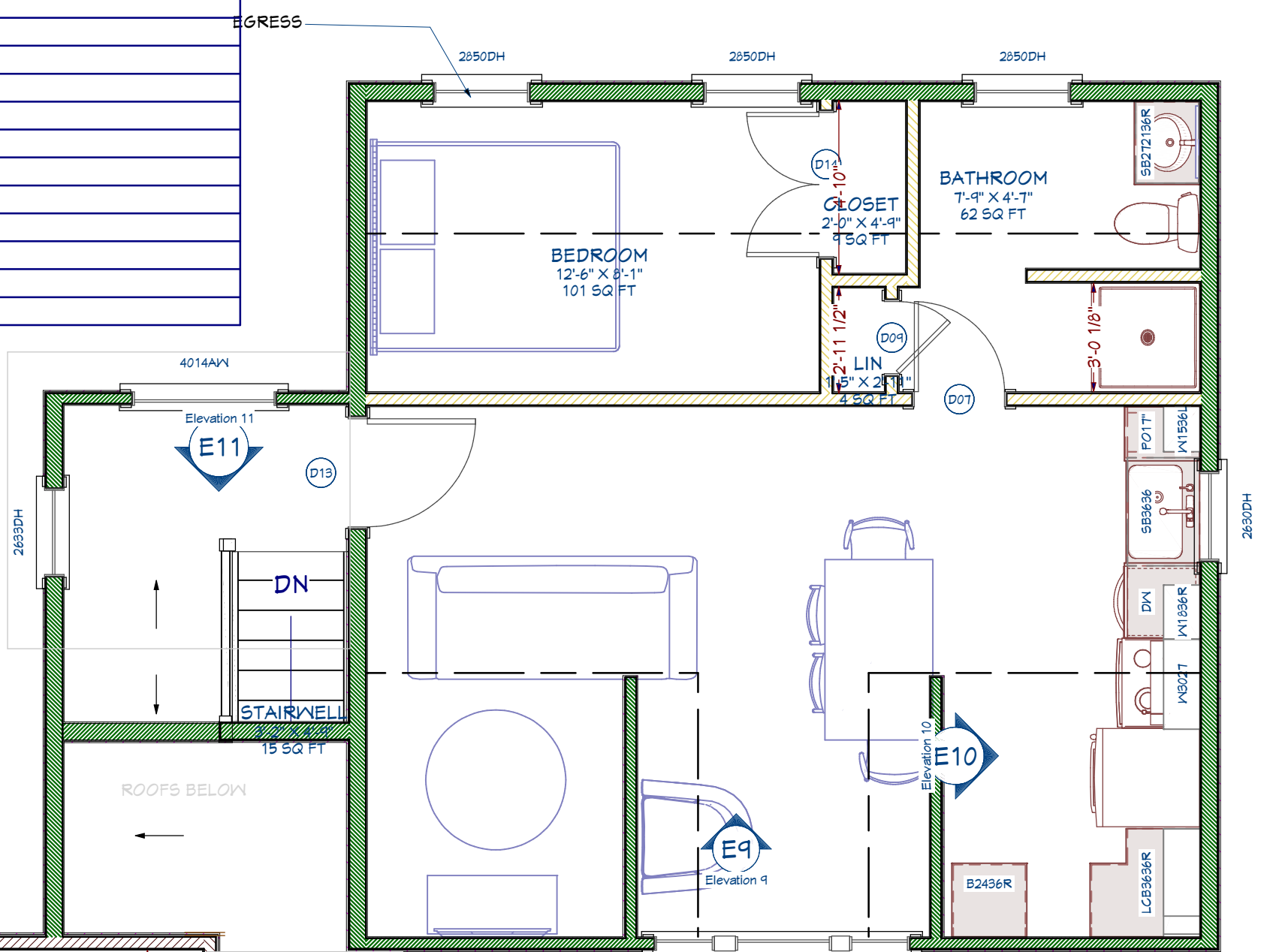
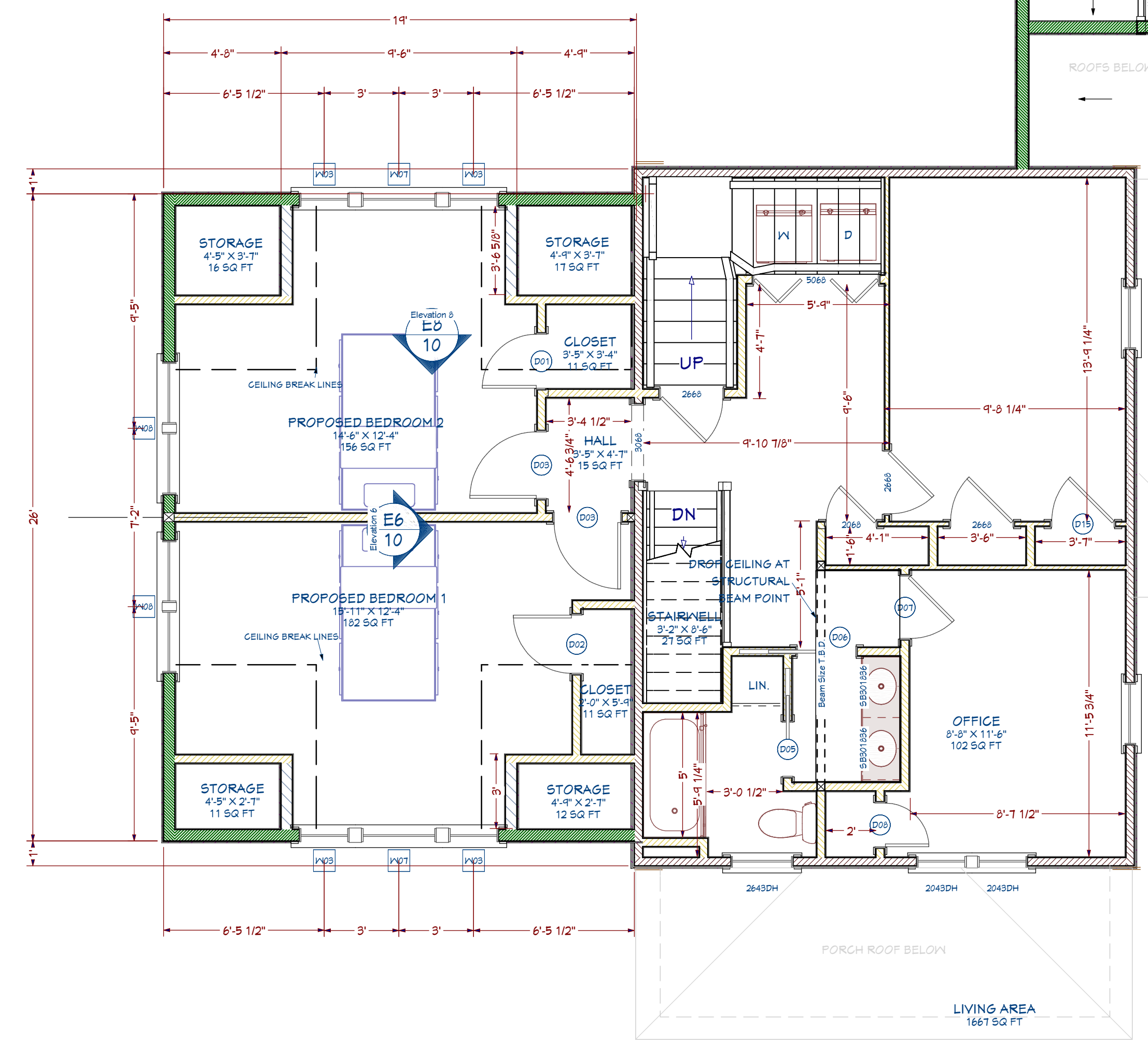
EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



EXISTING THIRD FLOOR PLAN

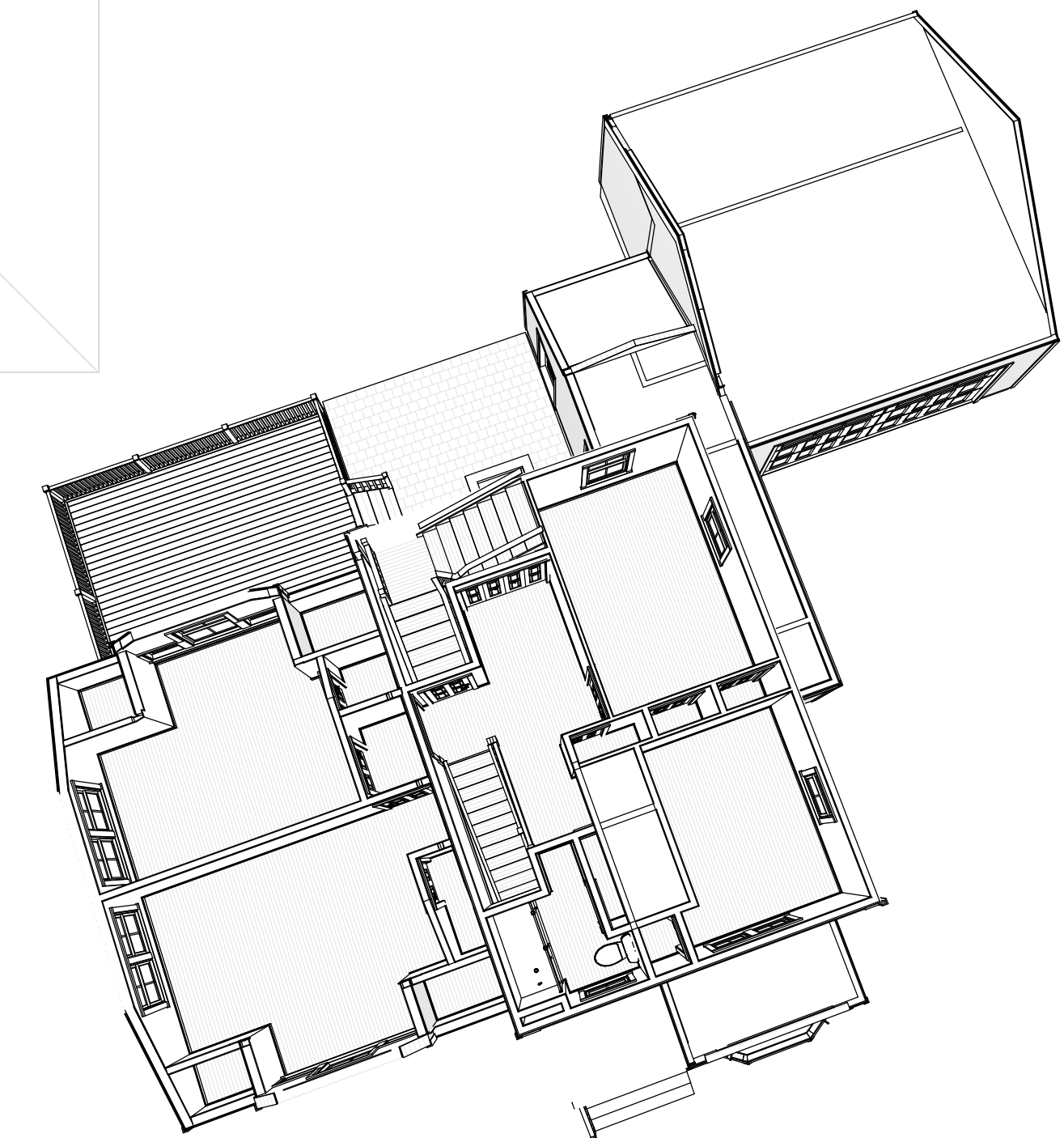
SCALE: 1/8" = 1'-0"



PROPOSED THIRD FLOOR PLAN

WINDOWS CHANGED ONLY

SCALE: 1/4" = 1'-0"



PERSPECTIVE VIEW

SCALE: NTS

PROPOSED SECOND FLOOR & THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

DRAWING INDEX

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2	SITE PLAN
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6	SECOND FLOOR
7	ROOFS
8	ELEVATIONS
9	ELEVATIONS
10	SECTIONS
11	FRAMING
12	FRAMING
13	FRAMING
14	ELECTRICAL

CLIENT:
Charles and Allison Dudas
32 Monteth Street
Portsmouth, NH

CONTACT:
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4 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.703.0696

DATE:

1/26/22

SCALE:

SCALED FOR:
24" X 36"

DRAWING SCALE
1/4" = 1'-0"

SHEET:

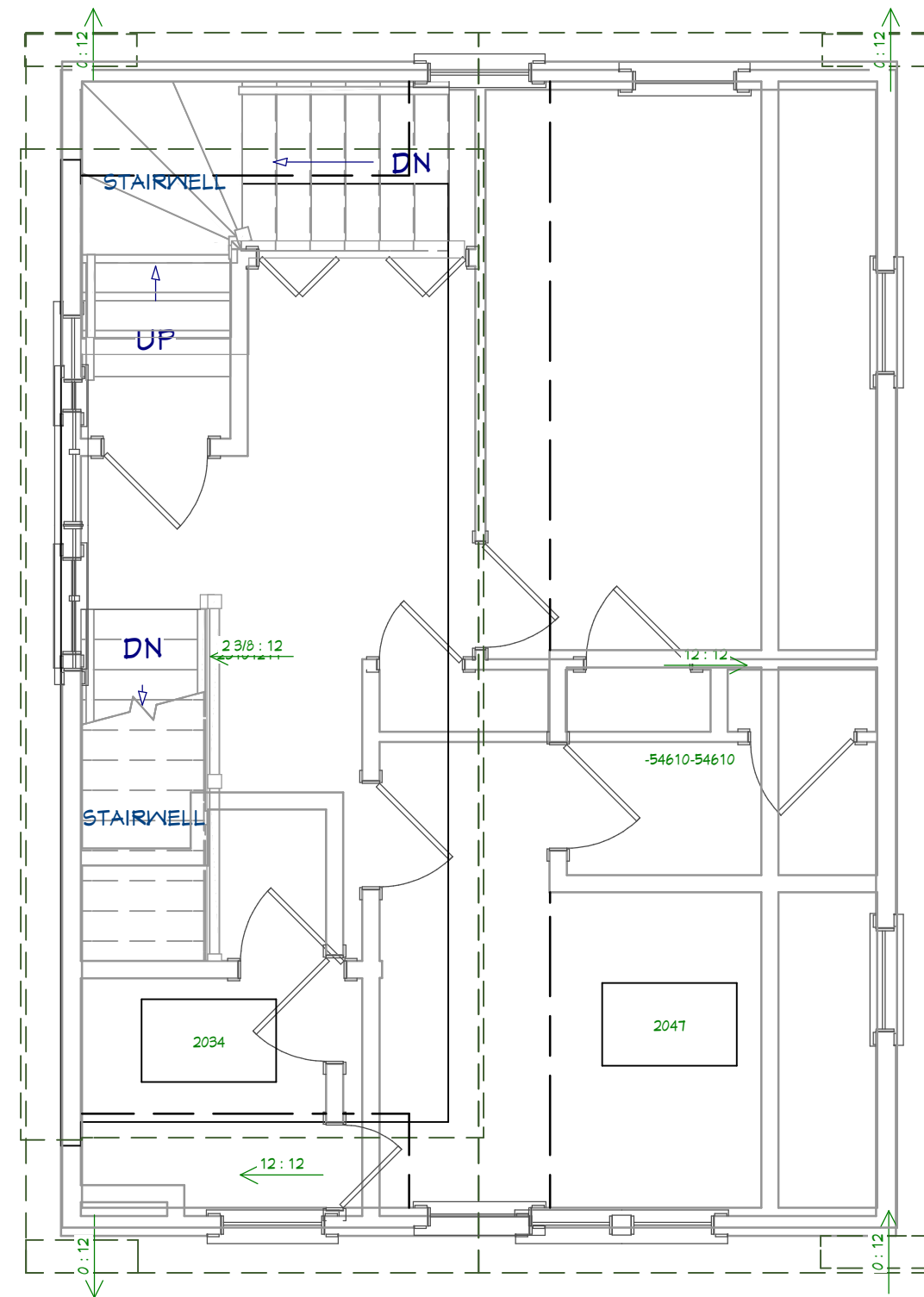
A6

WALL LEGEND

	= EXISTING EXTERIOR WALL
	= NEW EXTERIOR WALL
	= INTERIOR 6
	= EXISTING INTERIOR 4
	= NEW INTERIOR 4
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL

NOTES:

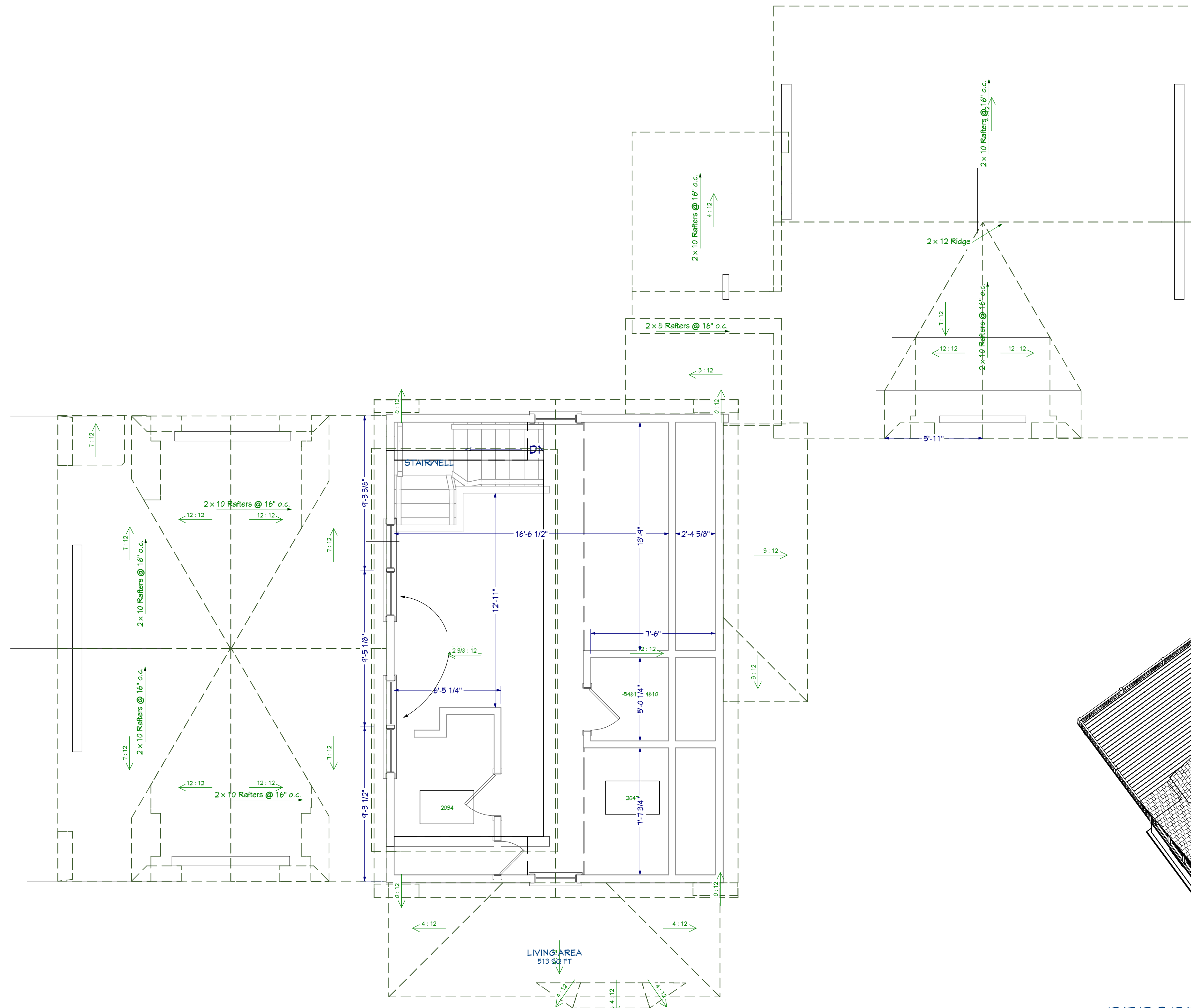
1. PROVIDE 2 X 10 FLOOR JOISTS AT 16" o.c. TYPICAL
2. INTERIOR NON-BEARING STUD WALLS ARE 2 X 4 AT 16" o.c.
3. INTERIOR BEARING WALLS ARE 2 X 6 AT 16" o.c. #5-2 OR BETTER
4. HEADERS FOR DOORS AND WINDOWS UP TO 6 FEET ARE (2) 2 X 10'S
5. ENGINEERED FLOOR BEAM TO BE DESIGNED AND SUBMITTED PRIOR TO CONSTRUCTION BY STRUCTURAL ENGINEER.
6. CEILING JOISTS FOR THE SECOND FLOOR ARE 2X6.
7. EXISTING 3RD FLOOR WALLS ARE GREY
8. ROOF PLANES ARE GREEN



LIVING AREA
510 SQ FT

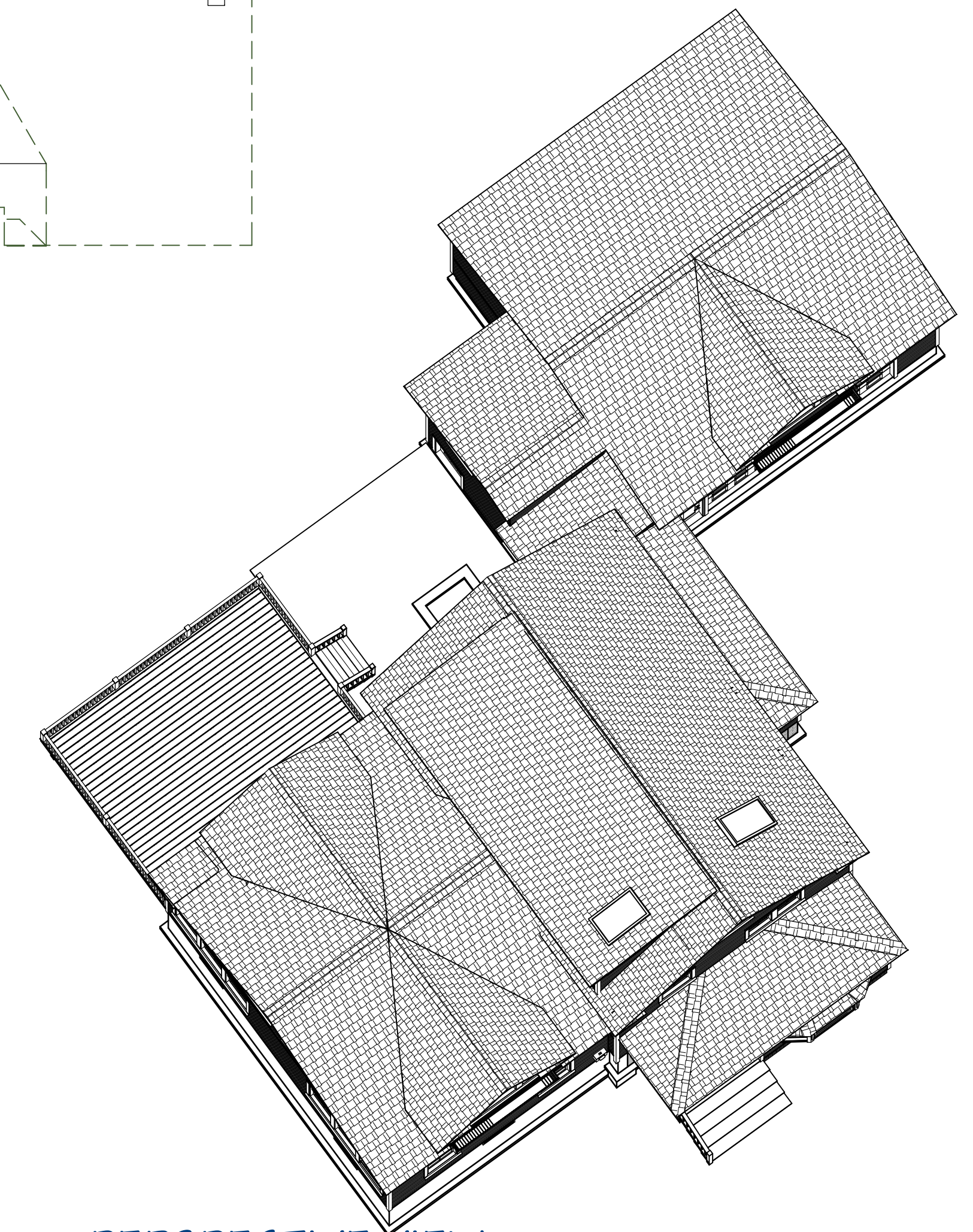
EXISTING ROOF

SCALE: 1/8" = 1'-0"



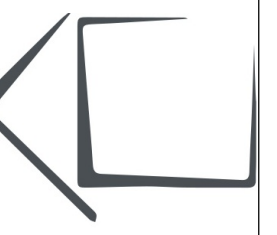
PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



PERSPECTIVE VIEW

SCALE: NTS



ROOFS

DRAWING INDEX

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| 10 | SECTIONS |
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| 12 | FRAMING |
| 13 | FRAMING |
| 14 | ELECTRICAL |

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DATE:

1/26/22

SCALE:

SCALED FOR:
24" X 36"

DRAWING SCALE

1/2" = 1'-0"

SHEET:

A7



NORTH ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"

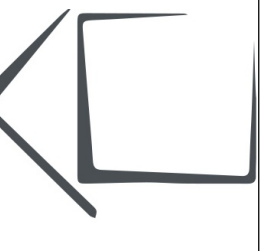


SOUTH ELEVATION | REAR VIEW

SCALE: 1/4" = 1'-0"

TYPICAL NOTES:

- ASPHALT SHINGLES, TO MATCH EXISTING.
- RIDGE VENT, TO MATCH EXISTING.
- PVC RAKE AND BHADOW TRIM BOARDS, TO MATCH EXISTING.
- PVC TRIM BOARDS, TO MATCH EXISTING
- ALUMINUM OR PVS RAILING SYSTEMS, TO MATCH EXISTING.
- SHINGLE OR CLAPBOARD SIDING ON SHEATHING
- DECORATIVE PVC TRIM
- NEW WINDOWS PER SCHEDULE
- FOUNDATION MATERIAL (IE. STONE VENEER) TO MATCH EXISTING
- NEW FOUNDATION WALLS



ELEVATIONS

DRAWING INDEX

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1/26/22

SCALE:

SCALED FOR:
24" X 36"

DRAWING SCALE
1/4" = 1'-0"

SHEET:

A8
ELEVATIONS



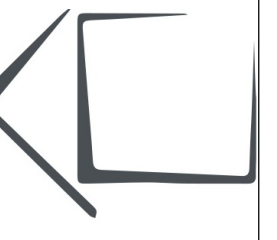
EAST ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



WEST ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



ELEVATIONS

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DATE:

1/26/22

SCALE:

SCALED FOR:
24" X 36"

DRAWING SCALE

1/4" = 1'-0"

SHEET:

A9
ELEVATIONS



Front View (from Monteith St)



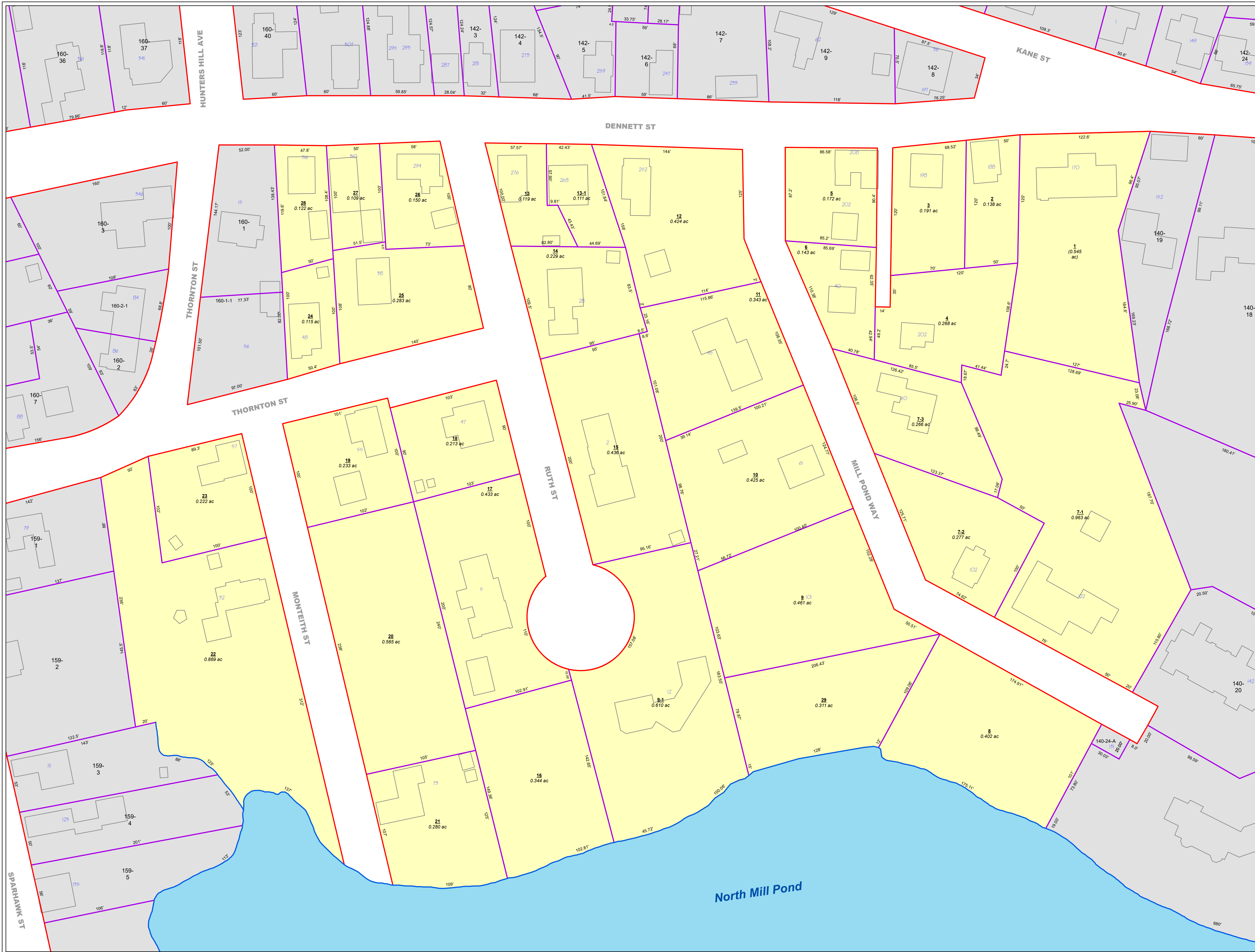
Rear View (towards Monteith St)



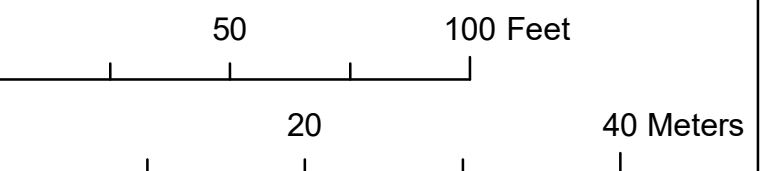
Side View of House & Shed (facing east)



Right Side Neighbors View (facing west)



- Partial Legend**
 See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
 - 2.56 ac Parcel area in acres (ac) or square feet (sf)
 - 25 Address number
 - 233-137 Parcel number from a neighboring map
 - 68' Parcel line dimension
 - Street name
- Parcel/Parcel boundary
 - Parcel/ROW boundary
 - Water boundary
 - Structure (1994 data)
- Parcel covered by this map
 - Parcel from a neighboring map (see other map for current status)



This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.

