

Findings of Fact | Site Plan Review

City of Portsmouth Planning Board

Date: 6/12/24

Property Address: 413 Lafayette Road, Friends of Lafayette House, Inc.

Application #: LU-23-208

Decision: Approve Deny Approve with Conditions

Findings of Fact:

Per RSA 676:3, I: The local land use board shall issue a final written decision which either approves or disapproves an application for a local permit and make a copy of the decision available to the applicant. **The decision shall include specific written findings of fact that support the decision. Failure of the board to make specific written findings of fact supporting a disapproval shall be grounds for automatic reversal and remand by the superior court upon appeal, in accordance with the time periods set forth in RSA 677:5 or RSA 677:15, unless the court determines that there are other factors warranting the disapproval.** If the application is not approved, the board shall provide the applicant with written reasons for the disapproval. If the application is approved with conditions, the board shall include in the written decision a detailed description of the all conditions necessary to obtain final approval.

Site Plan Regulations Section 2.9 Evaluation Criteria - in order to grant site plan review approval, the TAC and the Planning Board shall find that the application satisfies evaluation criteria pursuant to NH State Law and listed herein. In making a finding, the TAC and the Planning Board shall consider all standards provided in Articles 3 through 11 of these regulations.

	Site Plan Review Regulations Section 2.9 Evaluation Criteria	Finding (Meets Standard/Criteria)	Supporting Information
1	Compliance with all City Ordinances and Codes and these regulations. <u>Applicable standards:</u>	Meets Does Not Meet	<u>Applicable standards:</u> ZBA and TAC approval were obtained for this addition and we submitted waivers for items not necessary for this minor site plan.
2	Provision for the safe development, change or expansion of use of the site.	Meets Does Not Meet	Minor addition being added to the existing building with no expansion of use of the property.
3	Adequate erosion control and stormwater management practices and other mitigative measures, if needed, to prevent adverse effects on downstream water quality and flooding of the property or that of another.	Meets Does Not Meet	We requested a waiver from stormwater regulations as this is a small addition to the property with minimal increase in impervious coverage.
4	Adequate protection for the quality of groundwater.	Meets Does Not Meet	The small addition does not affect groundwater and we are not altering the limit of pavement, just a building addition.

	Site Plan Review Regulations Section 2.9 Evaluation Criteria	Finding (Meets Standard/Criteria)	Supporting Information
5	Adequate and reliable water supply sources.	Meets Does Not Meet	Adequate water supply is already on the property.
6	Adequate and reliable sewage disposal facilities, lines, and connections.	Meets Does Not Meet	Adequate sewer service is already on the property. All utility connections to the addition will be internal with no work needed outside of the buildings.
7	Absence of undesirable and preventable elements of pollution such as smoke, soot, particulates, odor, wastewater, stormwater, sedimentation or any other discharge into the environment which might prove harmful to persons, structures, or adjacent properties.	Meets Does Not Meet	This addition will not result in any undesirable elements.
8	Adequate provision for fire safety, prevention and control.	Meets Does Not Meet	Sprinkler system will be extended into the addition and the current building has a sprinkler system in place.
9	Adequate protection of natural features such as, but not limited to, wetlands.	Meets Does Not Meet	There are no wetlands on the property.
10	Adequate protection of historical features on the site.	Meets Does Not Meet	The existing building will remain and this is for a small addition. The building is not historical and there are no known historical features on the property.
11	Adequate management of the volume and flow of traffic on the site and adequate traffic controls to protect public safety and prevent traffic congestion.	Meets Does Not Meet	This addition does not alter the use of the property or the traffic flow as the addition is only for an expanded caretaker unit and there is no expansion of the number of people being cared for on the premises.
12	Adequate traffic controls and traffic management measures to prevent an unacceptable increase in safety hazards and traffic congestion off-site.	Meets Does Not Meet	This addition does not alter the use of the property or the traffic flow as the addition is only for an expanded caretaker unit and there is no expansion of the number of people being cared for on the premises.
13	Adequate insulation from external noise sources.	Meets Does Not Meet	The addition will not generate any external noise after construction and the insulation of the unit will meet the building code requirements as required by the City.

	Site Plan Review Regulations Section 2.9 Evaluation Criteria	Finding (Meets Standard/Criteria)	Supporting Information
14	Existing municipal solid waste disposal, police, emergency medical, and other municipal services and facilities adequate to handle any new demands on infrastructure or services created by the project.	Meets Does Not Meet	There is no expansion of the use and therefore no change to the solid waste or emergency services.
15	Provision of usable and functional open spaces of adequate proportions, including needed recreational facilities that can reasonably be provided on the site	Meets Does Not Meet	The property has extensive outdoor recreation for the tenants with gardens, lawn areas, outside patio space and connection to adjacent sidewalk infrastructure on Lafayette Road.
16	Adequate layout and coordination of on-site accessways and sidewalks in relationship to off-site existing or planned streets, accessways, bicycle paths, and sidewalks.	Meets Does Not Meet	The property has extensive outdoor recreation for the tenants with gardens, lawn areas, outside patio space and connection to adjacent sidewalk infrastructure on Lafayette Road.
17	Demonstration that the land indicated on plans submitted with the application shall be of such character that it can be used for building purposes without danger to health.	Meets Does Not Meet	We have provided existing conditions survey showing the features of the site and this area is currently lawn, walkways and fences and will not interfere with the existing parking area.
18	Adequate quantities, type or arrangement of landscaping and open space for the provision of visual, noise and air pollution buffers.	Meets Does Not Meet	The caretakers of the building are avid landscapers and gardeners and have extensive plantings around the property. There is minimal noise from the property.
19	Compliance with applicable City approved design standards.	Meets Does Not Meet	ZBA and TAC approval were obtained for this addition and we submitted waivers for items not necessary for this minor site plan.
	Other Board Findings:		

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

May 28, 2024

Portsmouth Technical Review Advisory Committee
Attn: Board Members
1 Junkins Avenue, Suite 3rd Floor
Portsmouth, NH 03801

RE: Waiver Request 2
Friends of Lafayette House
413 Lafayette Road, Portsmouth, NH
Tax Map 230, Lot 23A
JBE Project No. 23036

Dear Board Members,

Jones & Beach Engineers, Inc. respectfully submits a Waiver Request for the above-referenced parcel on behalf of our client & owner, Friends of Lafayette House. Jones & Beach respectfully requests a waiver for the following Articles and sub-articles of the Site Plan Regulations.

Article 2, Section 2.12 Site Plan Review Agreement:

1. A Site Plan Review Agreement to ensure the site is developed in accordance with the approved plan shall be drafted for all approved site plans. Terms and conditions of the Site Plan Review Agreement shall indicate any stipulation or condition which may be necessary to secure the public health, safety, and welfare and ensure compliance with all of the ordinances of the City of Portsmouth, all applicable state and local regulations, and requirements of the Building Code to ensure that all site development and construction is completed according to the Plan approved. A security shall be provided in a form and amount approved by the city.
REASONING: This proposed expansion is a small increase in the building size and there are no changes to the existing utilities outside of the building. Therefore, due to the small nature of the change to the site, we feel this waiver is justifiable.

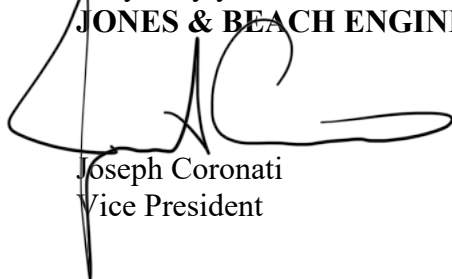
2. The Site Plan Review Agreement shall be considered fully executed when the Agreement has been endorsed by the owner of the property and the Planning Director, and when the security has been approved by the City Attorney and placed on file with the Planning Department.

REASONING: This proposed expansion is a small increase in the building size and there are no changes to the existing utilities outside of the building. Therefore, due to the small nature of the change to the site, we feel this waiver is justifiable.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,

JONES & BEACH ENGINEERS, INC.

A handwritten signature in black ink, appearing to read 'JC', is written over the printed name and title of Joseph Coronati.

Joseph Coronati
Vice President



LEED v4.1 BD+C
Project Checklist

Project Name: 413 Lafayette, Portsmouth, NH
Date: 5/24/2024

Y ? N

1			Credit	Integrative Process	1
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##	0	0	Location and Transportation	16	
			Credit	LEED for Neighborhood Development Location	16
1			Credit	Sensitive Land Protection	1
1			Credit	High Priority Site and Equitable Development	2
4			Credit	Surrounding Density and Diverse Uses	5
4			Credit	Access to Quality Transit	5
1			Credit	Bicycle Facilities	1
111			Credit	Reduced Parking Footprint	1
			Credit	Electric Vehicles	1

13	0	0	Sustainable Sites	10	
Y			Prereq	Construction Activity Pollution Prevention	Required
			Credit	Site Assessment	1
			Credit	Protect or Restore Habitat	2
1			Credit	Open Space	1
			Credit	Rainwater Management	3
			Credit	Heat Island Reduction	2
12			Credit	Light Pollution Reduction	1

2	0	0	Water Efficiency	11	
Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
2			Credit	Outdoor Water Use Reduction	2
			Credit	Indoor Water Use Reduction	6
			Credit	Optimize Process Water Use	2
			Credit	Water Metering	1

8	0	0	Energy and Atmosphere	33	
Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
			Credit	Enhanced Commissioning	6
7			Credit	Optimize Energy Performance	18
			Credit	Advanced Energy Metering	1
			Credit	Grid Harmonization	2
			Credit	Renewable Energy	5
1			Credit	Enhanced Refrigerant Management	1

13	0	0	Materials and Resources	13	
Y			Prereq	Storage and Collection of Recyclables	Required
1			Credit	Building Life-Cycle Impact Reduction	5
			Credit	Environmental Product Declarations	2
11			Credit	Sourcing of Raw Materials	2
			Credit	Material Ingredients	2
1			Credit	Construction and Demolition Waste Management	2

10	0	0	Indoor Environmental Quality	16	
Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
2			Credit	Enhanced Indoor Air Quality Strategies	2
2			Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
1			Credit	Indoor Air Quality Assessment	2
1			Credit	Thermal Comfort	1
1			Credit	Interior Lighting	2
			Credit	Daylight	3
1			Credit	Quality Views	1
1			Credit	Acoustic Performance	1

1	0	0	Innovation	6	
			Credit	Innovation	5
1			Credit	LEED Accredited Professional	1

0	0	0	Regional Priority	4	
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1

40	0	0	TOTALS	Possible Points: 110
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Gold: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

April 22, 2024

Portsmouth Technical Review Advisory Committee
Attn: Board Members
1 Junkins Avenue, Suite 3rd Floor
Portsmouth, NH 03801

**RE: Waiver Request
Friends of Lafayette House
413 Lafayette Road, Portsmouth, NH
Tax Map 230, Lot 23A
JBE Project No. 23036**

Dear Board Members,

Jones & Beach Engineers, Inc. respectfully submits a Waiver Request for the above-referenced parcel on behalf of our client & owner, Friends of Lafayette House. Jones & Beach respectfully requests a waiver for the following Articles and sub-articles of the Site Plan Regulations.

Article 3 – Vehicular Circulation Standards and all sub articles.

Reasoning: There is no change to the number of residents or employees and no change to the traffic pattern or parking spaces that exist today.

Article 6 – Landscaping and Screening Standards and sub articles.

Reasoning: We are not proposing to add any additional landscaping to the site at this time. There is minimal amount of landscaping being removed.

Article 7 – Water Resources Standards and sub articles.

Reasoning: The proposed addition is 635 square feet and we are removing some old sheds and have a net increase in impervious area of 596 square feet on a 33,096 square foot lot, which is a 1.8% increase on the lot. We feel that this is such a minor increase that it does not warrant a stormwater study nor require erosion control design. The addition will have utilities provided from the existing building, so there is no trenching or sitework needed elsewhere on the property.

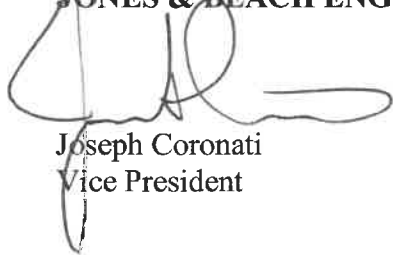
Article 10 – Outdoor Lighting and sub articles.

Reasoning: We are proposing any additional lighting other than small residential light at the new entrance door into the caretaker unit that is controlled by light switch within the unit.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,

JONES & BEACH ENGINEERS, INC.

A handwritten signature in black ink, appearing to read 'JC', with a long horizontal flourish extending to the right.

Joseph Coronati
Vice President



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Friends of Lafayette House Date Submitted: April 22, 2024

Application # (in City's online permitting): _____

Site Address: 413 Lafayette Road Map: 230 Lot: 23A

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Complete <u>application</u> form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))		N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)		N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)		
<input checked="" type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)		N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)		N/A

Site Plan Review Application Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E)		N/A
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1F)		N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G)		N/A
<input checked="" type="checkbox"/>	List of reference plans. (2.5.3.1H)		N/A
<input type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1I)		N/A

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. (2.5.4.1A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)		N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)		N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)		N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)		N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)		N/A

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	1. Existing Conditions: (2.5.4.3A) <ul style="list-style-type: none"> • Surveyed plan of site showing existing natural and built features; • Existing building footprints and gross floor area; • Existing parking areas and number of parking spaces provided; • Zoning district boundaries; • Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre; • Existing impervious and disturbed areas; • Limits and type of existing vegetation; • Wetland delineation, wetland function and value assessment (including vernal pools); • SFHA, 100-year flood elevation line and BFE data, as required. 	C1	
<input checked="" type="checkbox"/>	2. Buildings and Structures: (2.5.4.3B) <ul style="list-style-type: none"> • Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; • Elevations: Height, massing, placement, materials, lighting, façade treatments; • Total Floor Area; • Number of Usable Floors; • Gross floor area by floor and use. 	C1 & C2	
<input type="checkbox"/>	3. Access and Circulation: (2.5.4.3C) <ul style="list-style-type: none"> • Location/width of access ways within site; • Location of curbing, right of ways, edge of pavement and sidewalks; • Location, type, size and design of traffic signing (pavement markings); • Names/layout of existing abutting streets; • Driveway curb cuts for abutting prop. and public roads; • If subdivision; Names of all roads, right of way lines and easements noted; • AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC). 		Waiver
<input checked="" type="checkbox"/>	4. Parking and Loading: (2.5.4.3D) <ul style="list-style-type: none"> • Location of off street parking/loading areas, landscaped areas/buffers; • Parking Calculations (# required and the # provided). 	C2	
<input checked="" type="checkbox"/>	5. Water Infrastructure: (2.5.4.3E) <ul style="list-style-type: none"> • Size, type and location of water mains, shut-offs, hydrants & Engineering data; • Location of wells and monitoring wells (include protective radii). 	C1	
<input checked="" type="checkbox"/>	6. Sewer Infrastructure: (2.5.4.3F) <ul style="list-style-type: none"> • Size, type and location of sanitary sewage facilities & Engineering data, including any onsite temporary facilities during construction period. 	C1	

<input checked="" type="checkbox"/>	7. Utilities: (2.5.4.3G) <ul style="list-style-type: none"> The size, type and location of all above & below ground utilities; Size type and location of generator pads, transformers and other fixtures. 	C1	
<input checked="" type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H) <ul style="list-style-type: none"> The size, type and location of solid waste facilities. 	C1	
<input type="checkbox"/>	9. Storm water Management: (2.5.4.3I) <ul style="list-style-type: none"> The location, elevation and layout of all storm-water drainage. The location of onsite snow storage areas and/or proposed off-site snow removal provisions. Location and containment measures for any salt storage facilities Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures. 		Waiver
<input type="checkbox"/>	10. Outdoor Lighting: (2.5.4.3J) <ul style="list-style-type: none"> Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan. 		Waiver
<input type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)		Waiver
<input type="checkbox"/>	12. Landscaping: (2.5.4.3K) <ul style="list-style-type: none"> Identify all undisturbed area, existing vegetation and that which is to be retained; Location of any irrigation system and water source. 		Waiver
<input checked="" type="checkbox"/>	13. Contours and Elevation: (2.5.4.3L) <ul style="list-style-type: none"> Existing/Proposed contours (2 foot minimum) and finished grade elevations. 	C1	
<input checked="" type="checkbox"/>	14. Open Space: (2.5.4.3M) <ul style="list-style-type: none"> Type, extent and location of all existing/proposed open space. 	C2, Note 4	
<input checked="" type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	C1, Notes	
<input checked="" type="checkbox"/>	16. Character/Civic District (All following information shall be included): (2.5.4.3P) <ul style="list-style-type: none"> Applicable Building Height (10.5A21.20 & 10.5A43.30); Applicable Special Requirements (10.5A21.30); Proposed building form/type (10.5A43); Proposed community space (10.5A46). 	Architect Plans	
<input checked="" type="checkbox"/>	17. Special Flood Hazard Areas (2.5.4.3Q) <ul style="list-style-type: none"> The proposed development is consistent with the need to minimize flood damage; All public utilities and facilities are located and construction to minimize or eliminate flood damage; Adequate drainage is provided so as to reduce exposure to flood hazards. 	C1, Note 3	

Other Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)		N/A
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)		Waiver
<input checked="" type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)		
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. (7.4)		Waiver
<input type="checkbox"/>	Inspection and Maintenance Plan (7.6.5)		

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> • Waivers; • Driveway permits; • Special exceptions; • Variances granted; • Easements; • Licenses. (2.5.3.2A)		
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> • Calculations relating to stormwater runoff; • Information on composition and quantity of water demand and wastewater generated; • Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; • Estimates of traffic generation and counts pre- and post-construction; • Estimates of noise generation; • A Stormwater Management and Erosion Control Plan; • Endangered species and archaeological / historical studies; • Wetland and water body (coastal and inland) delineations; • Environmental impact studies. (2.5.3.2B)		Waiver
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)		N/A

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)		N/A
<input type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)		N/A
<input type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)		N/A
<input type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)		N/A

Applicant's Signature: _____



Date: _____

4/19/24

Letter of Authorization

Friends of Lafayette House, 400 Little Harbor Road, Suite 1104, Portsmouth, NH 03801, owner of property located in Portsmouth, NH, known as Tax Map 230, Lot 23A, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, and Bosen & Associates, 266 Middle Street, Portsmouth, NH 03801, to act on my behalf concerning the previously mentioned property. The parcel is located at 413 Lafayette Road in Portsmouth, NH.

We hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Witness

Melanie May

Friends of Lafayette House

12/20/23

Date



Ganz Law Office

Box 62

Cathy Ann Tracy

LCHIP	ROA474216	25.00
TRANSFER TAX	RO093549	2,884.00
RECORDING		14.00
SURCHARGE		2.00

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS that **Community Home Solutions, Inc.**, a New Hampshire corporation, of 14 New Zealand Road, Seabrook, New Hampshire 03874, for consideration paid, grant to **Friends of Lafayette House**, a New Hampshire non-profit corporation, with a mailing address of PO Box 4545, Portsmouth, New Hampshire 03802, with warranty covenants, the following:

A certain parcel of land, together with the buildings and improvements thereon, situate in Portsmouth, County of Rockingham and State of New Hampshire, identified as Lot 2 on subdivision plan entitled "Plan of Land of J. Philip McCaffery for Great Bay School and Training Center, by Richard P. Millette & Associates", dated December 1981, with Revision I dated January 7, 1982, and recorded in the Rockingham County Registry of Deeds as Plan No. D- 10590 (the "Premises"), as more particularly bounded and described as follows:

Beginning at a point which is 155 feet distant from the Southwest corner of land now or formerly of Lester A. and Priscilla M. Pettis, on a bearing S 79° 23' 39" E from Lafayette Road and from said point of beginning, and being at the Southerly side of Lot 3 on aforesaid plan; thence running S 79° 23' 39" E a distance of 154.32 feet to a point at land now or formerly of Church of Jesus Christ of Latter Day Saints; thence running South by said Church land S 22° 05' 21" W a distance of 179.22 feet to land now or formerly of the City of Portsmouth; thence running S 88° 21' 21"W a distance of 183.14 feet to Lot 1 on said Plan; thence running N 21° 15' 21" E a distance of 187.72 feet to a point at a right of way in common of fifty (50) feet in width; thence running S 79° 23' 39" E a distance of twenty (20) feet to a point; thence running N 21° 15' 21" E, a distance of 30.53 feet to the point of beginning.

There is granted herewith a fifty (50) foot easement right of way as shown on said Plan, extending from Lot 2 to Lafayette Road. This right of way shall run with the land, for all purposes of vehicular and pedestrian passage, for the benefit of Lot 1, Lot 2 and Lot 3 on said Plan, and also for the benefit of land abutting this right of way to the North, now or formerly owned by Lester A. Pettis and Priscilla M. Pettis.

Premises are conveyed subject to the terms of an Option Agreement, a Notice of which is recorded in Rockingham County Registry of Deeds at Book 5879, Page 1258.

Said conveyance is subject to the mortgage to the Newburyport Five Cents Savings Bank dated December 14, 2017 and recorded at Book 5879, Page 120, the Assignment of Rents to the Newburyport Five Cents Savings Bank dated December 14, 2017 and recorded at Book 5879, Page 1247 and a UCC-1 Financing Statement dated December 14, 2017 and recorded at Book 5888, Page 630.

The grantee herein has assumed the financial obligations to Newburyport Five Cents Savings Bank.

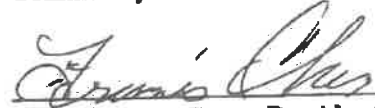
Subject to all rights, restrictions and easements of record.

This is not homestead property of Grantor.

Meaning and intending to describe the same premises conveyed to Grantor by deed of Great Bay Services, Inc. dated December 14, 2017 and recorded in the Rockingham County Registry of Deeds at Book 5879, Page 1225.

Executed this 10th day of December, 2019.

Community Home Solutions, Inc.



By Francis G. Chase, President

Witness

**STATE OF NEW HAMPSHIRE
ROCKINGHAM, SS.**

December 10, 2019

Then appeared the above-named **Francis G. Chase**, duly authorized **President of Community Home Solutions, Inc.**, known to me or satisfactorily proven through proof of identification (i.e. his driver's license) to be the individual who executed the foregoing instrument, and acknowledged same to be his voluntary act and deed.

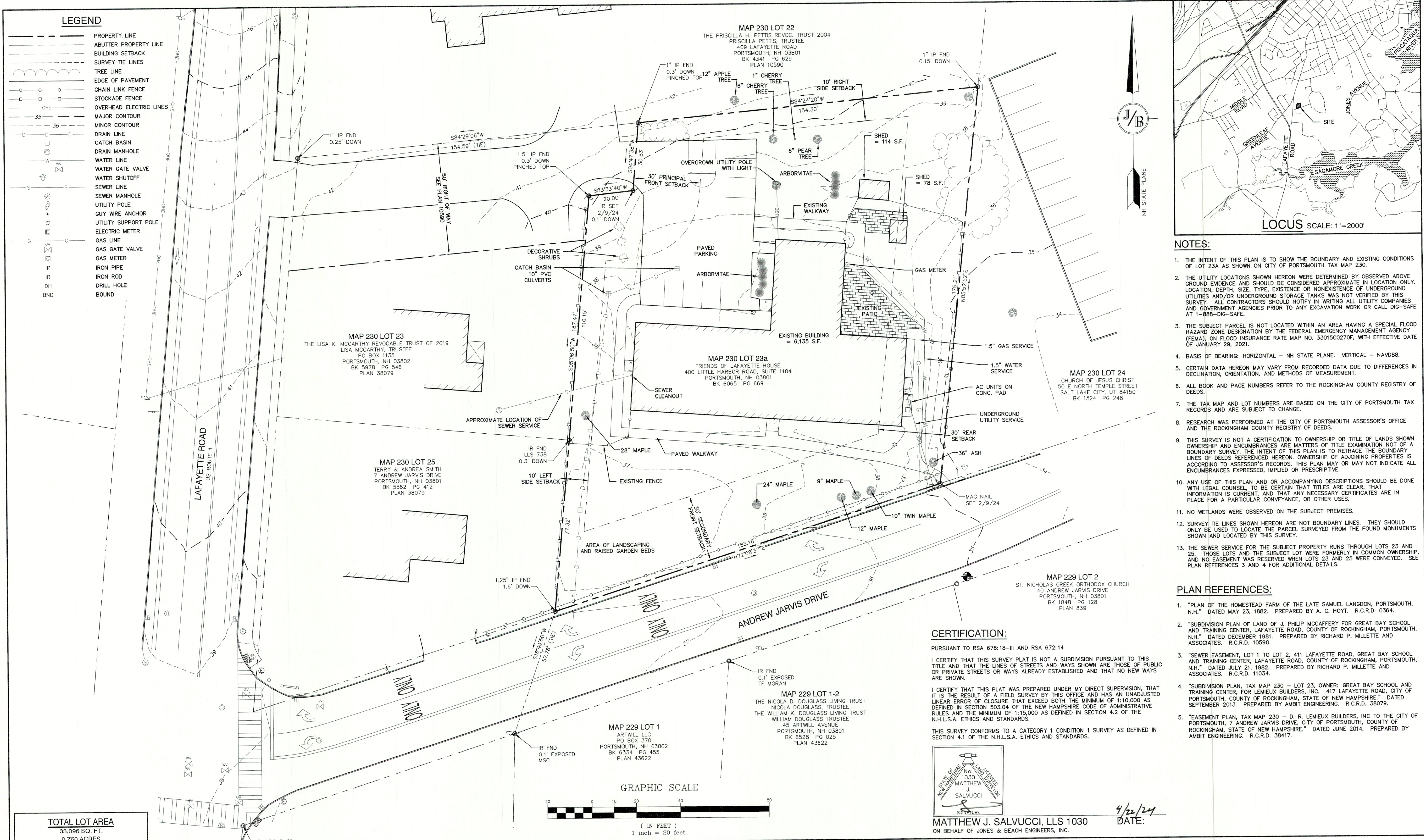
Before me,

**Mary Keohan Ganz, Justice of the Peace
State of New Hampshire
My Commission Expires: August 28, 2024**



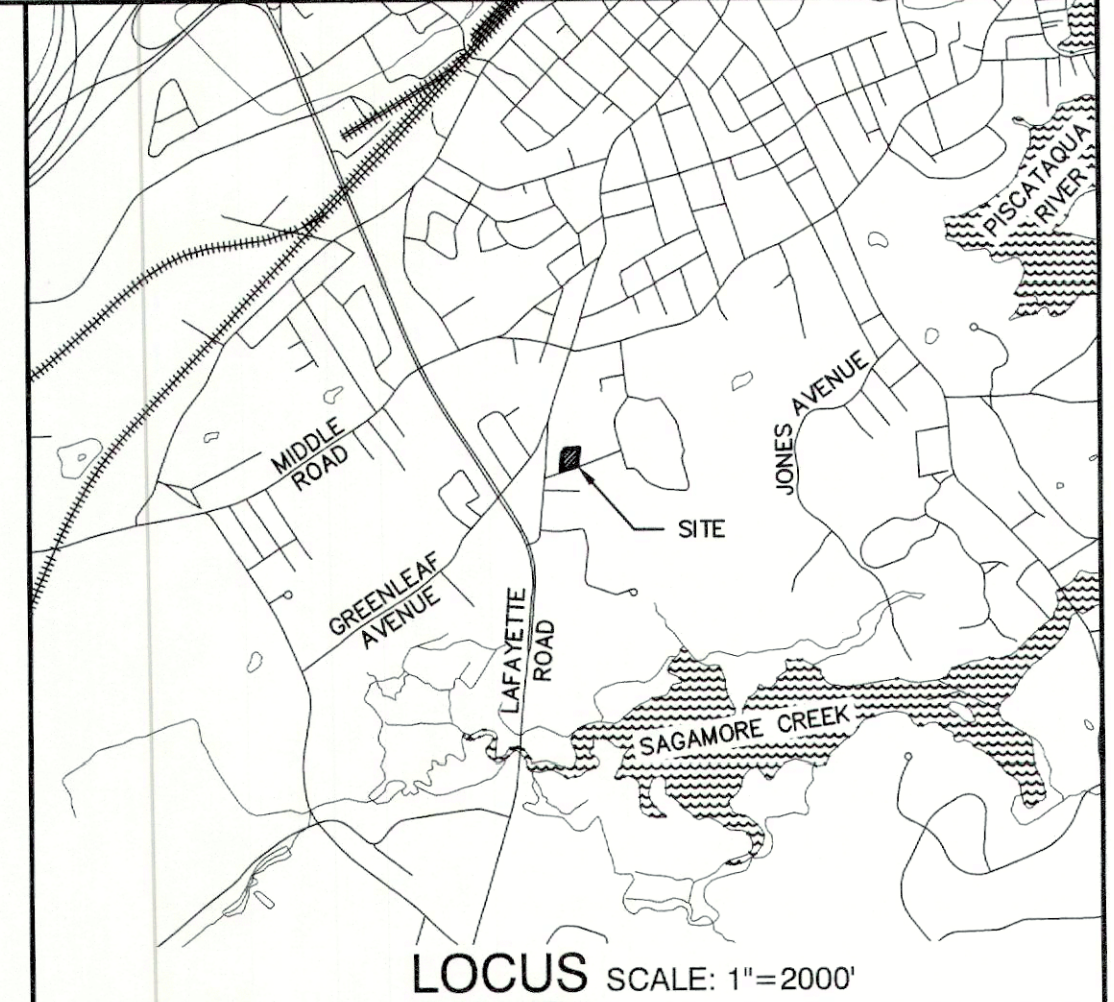
**Mary Keohan Ganz - Justice of the Peace
My Commission Expires: 08/28/2024**

#8784-A/BF



LEGEND

---	PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	BUILDING SETBACK
---	SURVEY TIE LINES
---	TREE LINE
---	EDGE OF PAVEMENT
---	CHAIN LINK FENCE
---	STOCKADE FENCE
---	OVERHEAD ELECTRIC LINES
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	DRAIN LINE
---	CATCH BASIN
---	DRAIN MANHOLE
---	WATER LINE
---	WATER GATE VALVE
---	WATER SHUTOFF
---	SEWER LINE
---	SEWER MANHOLE
---	UTILITY POLE
---	GUY WIRE ANCHOR
---	UTILITY SUPPORT POLE
---	ELECTRIC METER
---	GAS LINE
---	GAS GATE VALVE
---	GAS METER
---	IRON PIPE
---	IRON ROD
---	DRILL HOLE
---	BOUND



- NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS OF LOT 23a AS SHOWN ON CITY OF PORTSMOUTH TAX MAP 230.
 - THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
 - THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33015C0270F, WITH EFFECTIVE DATE OF JANUARY 29, 2021.
 - BASIS OF BEARING: HORIZONTAL - NH STATE PLANE. VERTICAL - NAVD88.
 - CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
 - ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
 - RESEARCH WAS PERFORMED AT THE CITY OF PORTSMOUTH ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
 - ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
 - NO WETLANDS WERE OBSERVED ON THE SUBJECT PREMISES.
 - SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
 - THE SEWER SERVICE FOR THE SUBJECT PROPERTY RUNS THROUGH LOTS 23 AND 25. THOSE LOTS AND THE SUBJECT LOT WERE FORMERLY IN COMMON OWNERSHIP, AND NO EASEMENT WAS RESERVED WHEN LOTS 23 AND 25 WERE CONVEYED. SEE PLAN REFERENCES 3 AND 4 FOR ADDITIONAL DETAILS.

- PLAN REFERENCES:**
- "PLAN OF THE HOMESTEAD FARM OF THE LATE SAMUEL LANGDON, PORTSMOUTH, N.H." DATED MAY 23, 1882. PREPARED BY A. C. HOYT. R.C.R.D. 0364.
 - "SUBDIVISION PLAN OF LAND OF J. PHILIP MCCAFFERY FOR GREAT BAY SCHOOL AND TRAINING CENTER, LAFAYETTE ROAD, COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H." DATED DECEMBER 1981. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 10590.
 - "SEWER EASEMENT, LOT 1 TO LOT 2, 411 LAFAYETTE ROAD, GREAT BAY SCHOOL AND TRAINING CENTER, FOR LEMIEUX BUILDERS, INC., 417 LAFAYETTE ROAD, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE," DATED SEPTEMBER 2013. PREPARED BY AMBIT ENGINEERING. R.C.R.D. 38079.
 - "EASEMENT PLAN, TAX MAP 230 - D. R. LEMIEUX BUILDERS, INC TO THE CITY OF PORTSMOUTH, 7 ANDREW JARVIS DRIVE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE," DATED JUNE 2014. PREPARED BY AMBIT ENGINEERING. R.C.R.D. 38417.

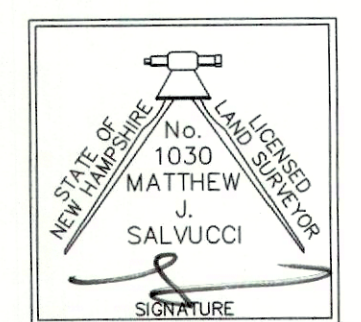
CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

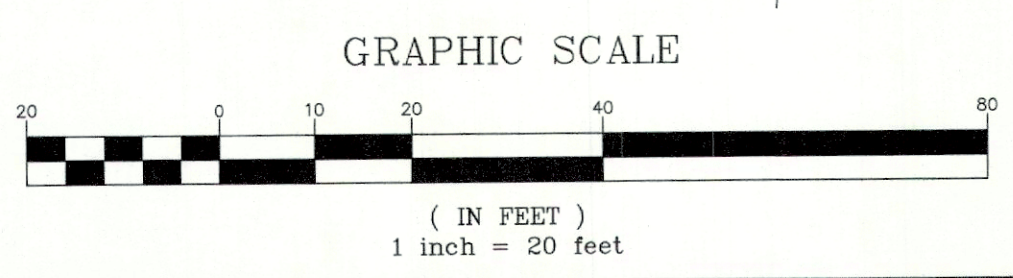
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.
DATE: 4/22/24

TOTAL LOT AREA
33,096 SQ. FT.
0.760 ACRES



Design: JAC	Draft: KDR	Date: 2/28/24
Checked: JAC	Scale: 1" = 20'	Project No.: 23036
Drawing Name: 23036-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
0	2/28/24	ADDING BUILDING SETBACKS	KDR

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	BUILDING ADDITION 413 LAFAYETTE ROAD, PORTSMOUTH, NH
Owner of Record:	FRIENDS OF LAFAYETTE HOUSE 400 LITTLE HARBOR ROAD, SUITE 1104, PORTSMOUTH, NH 03801

DRAWING No.
C1
SHEET 1 OF 2
JBE PROJECT NO. 23036

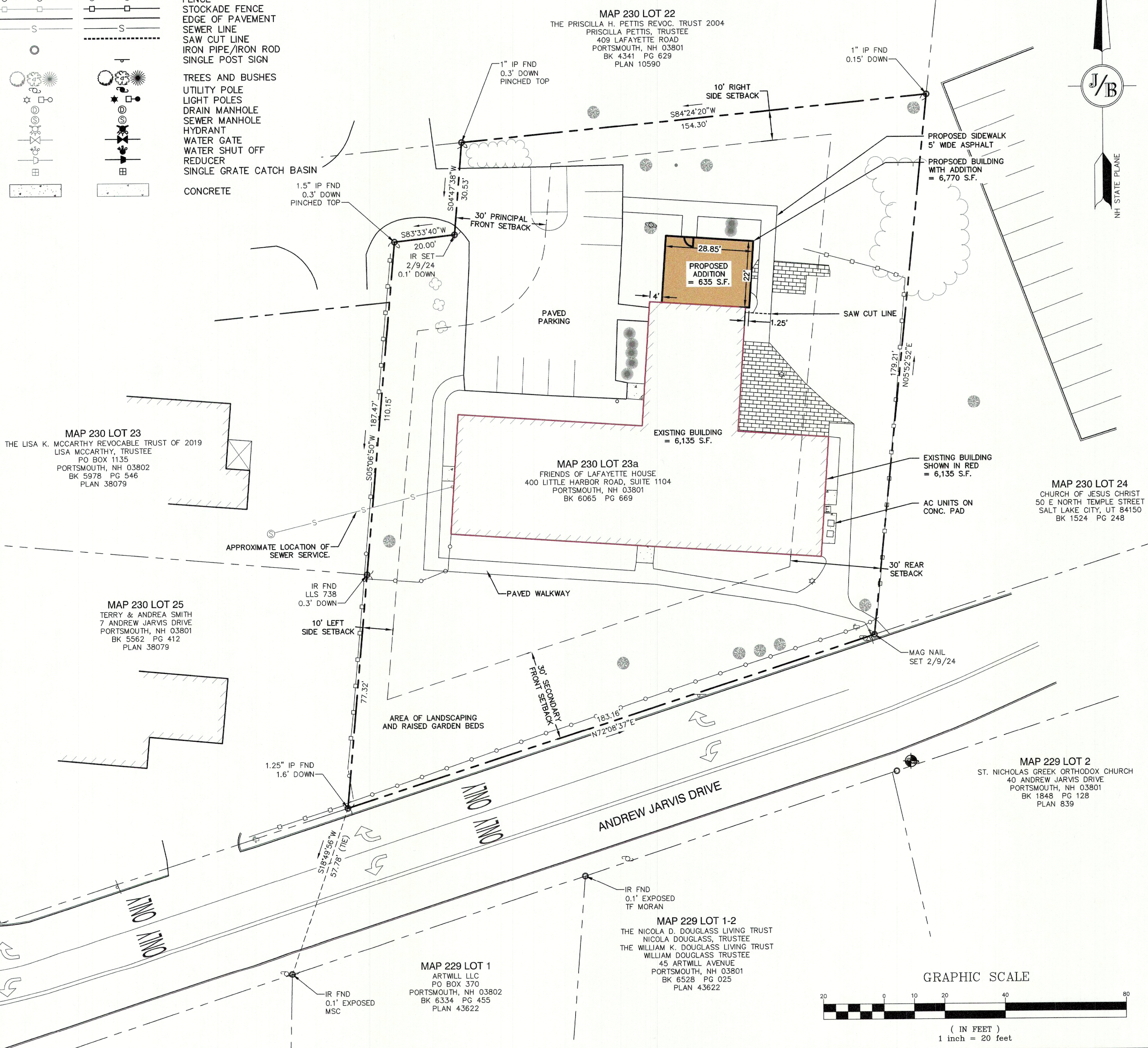
GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINES
		SETBACK LINES
		STREAM CHANNEL
		TREE LINE
		FENCE
		STOCKADE FENCE
		EDGE OF PAVEMENT
		SEWER LINE
		SAW CUT LINE
		IRON PIPE/IRON ROD
		SINGLE POST SIGN
		TREES AND BUSHES
		UTILITY POLE
		LIGHT POLES
		DRAIN MANHOLE
		SEWER MANHOLE
		HYDRANT
		WATER GATE
		WATER SHUT OFF
		REDUCER
		SINGLE GRATE CATCH BASIN
		CONCRETE

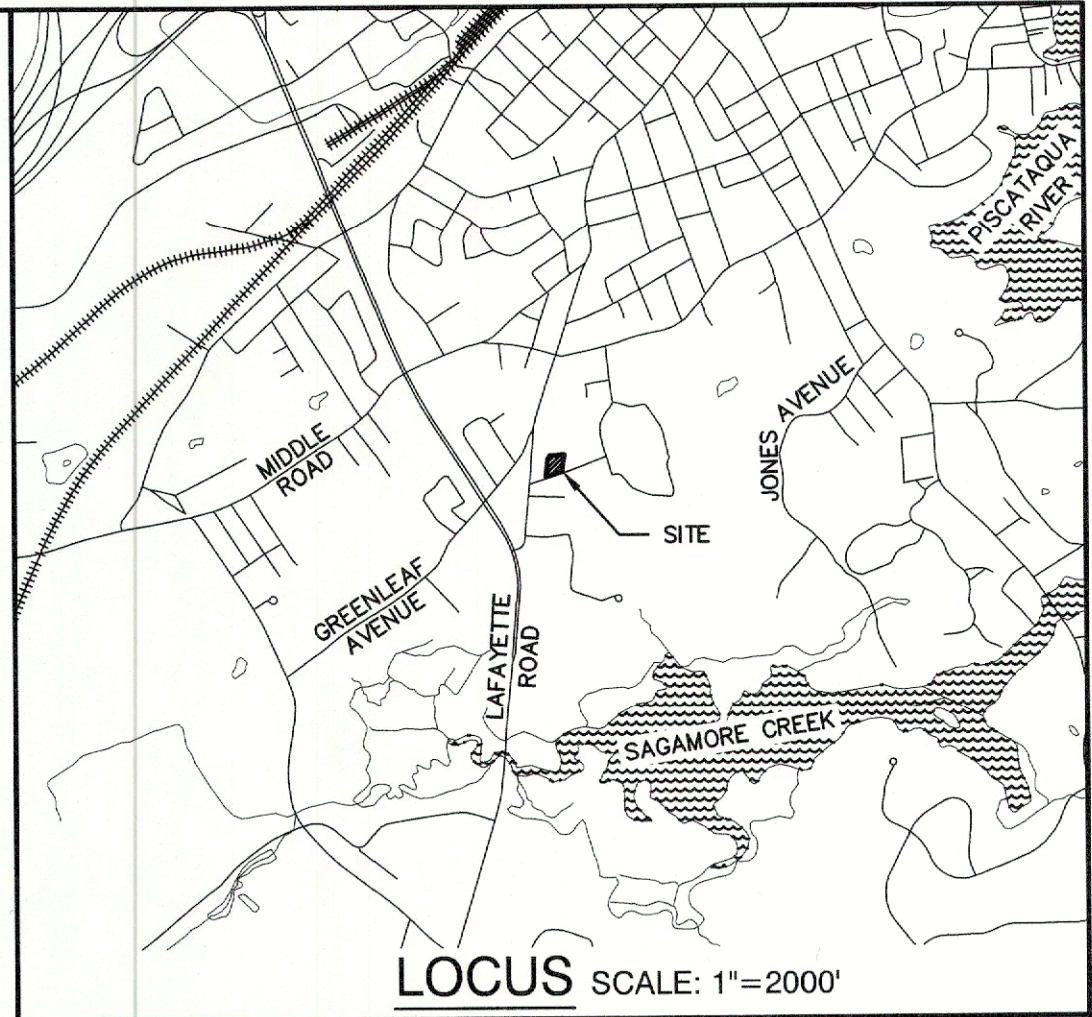
PROPERTY LINES
SETBACK LINES
STREAM CHANNEL
TREE LINE
FENCE
STOCKADE FENCE
EDGE OF PAVEMENT
SEWER LINE
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IRON PIPE/IRON ROD
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TREES AND BUSHES
UTILITY POLE
LIGHT POLES
DRAIN MANHOLE
SEWER MANHOLE
HYDRANT
WATER GATE
WATER SHUT OFF
REDUCER
SINGLE GRATE CATCH BASIN

CONCRETE



EXISTING & PROPOSED CONDITIONS (ZONE-SRB)			
LAND USE	EXISTING	PROPOSED	PERMITTED/REQUIRED
CARE TAKING UNIT ADDITION TO EXISTING STRUCTURE			PRIMARILY RESIDENTIAL
LOT AREA (S.F.)	33,096	33,096	15,000 MIN.
STREET FRONTAGE (ANDREW JARVIS DRIVE)(FT.)	183	183	100 MIN.
LOT DEPTH (FT.)	173	173	100 MIN.
PRINCIPAL FRONT YARD (FT.)	59'	59'	30 MIN.
SECONDARY FRONT YARD (FT.)	30'	30'	30' MIN.
LEFT YARD (FT.)	58.7'	37.6'	10 MIN.
RIGHT YARD (FT.)	25.7'	25.7'	10 MIN.
REAR YARD (FT.)	19.9'	19.9'	30 MIN.
HEIGHT (FT.)	18	18	35 MAX.
BUILDING COVERAGE (%)	19	20.4	20 MAX.
OPEN SPACE COVERAGE (%)	61	58.9	40 MIN.
PARKING	8	8	7 MIN.



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO ADD AN ADDITION FOR A CARETAKER UNIT.
- PARKING CALCULATIONS (ARTICLE 11, SECTION 10.1112.321.2 - ASSISTED LIVING FACILITY/RESIDENTIAL CARE FACILITY):
REQUIREMENT: 5 PARKING SPACES PER BED OR RESIDENT
13 TOTAL ROOMS EXISTING * .5 SPACES PER BED = 6.5 ≈ 7
7 PARKING SPACES REQUIRED
8 PARKING SPACES PROVIDED
- THE FOLLOWING VARIANCES HAVE BEEN APPROVED BY THE ZONING BOARD OF ADJUSTMENT ON: MARCH 19, 2024
A) SECTION 10.331 - TO EXTEND, ENLARGE, OR CHANGE THE LAWFUL NONCONFORMING USE WITHOUT CONFORMING TO THE ORDINANCE.
B) SECTION 10.334 - TO EXTEND THE NONCONFORMING USE TO A REMAINING PORTION OF THE LAND.
- EXISTING IMPERVIOUS CALCULATIONS:
EXISTING BUILDING = 6,135 S.F. (18.5%)
PATIO, WALKWAY, CONCRETE = 2,746 S.F. (8.3%)
PAVED SURFACES = 3,939 S.F. (11.9%)
SHEDS = 192 S.F.
TOTAL = 13,011 S.F. (39.3%)
PROPOSED IMPERVIOUS CALCULATIONS:
PROPOSED BUILDING FOOTPRINT = 6,770 S.F. (20.4%)
PATIO, WALKWAY, CONCRETE = 2,898 S.F. (8.8%)
PAVED SURFACES = 3,939 S.F. (11.9%)
TOTAL = 13,607 S.F. (41.1%)
- THE FACILITY SHALL BE LIMITED TO 12 CARE RESIDENTS OR RESIDENTS UNDER CARE.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THE SITE IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA OR AQUIFER PROTECTION AREA.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270FB, DATED JANUARY 29, 2021.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.

CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

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THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

4/22/24
DATE:

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON _____ DATE _____

TOTAL LOT AREA
33,096 SQ. FT.
0.760 ACRES

Design: JAC	Draft: KDR	Date: 2/28/24
Checked: JAC	Scale: 1" = 20'	Project No.: 23036
Drawing Name: 23036-PLAN.dwg		
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REV.	DATE	REVISION	BY
0	2/28/24	ADDING BUILDING SETBACKS	KDR

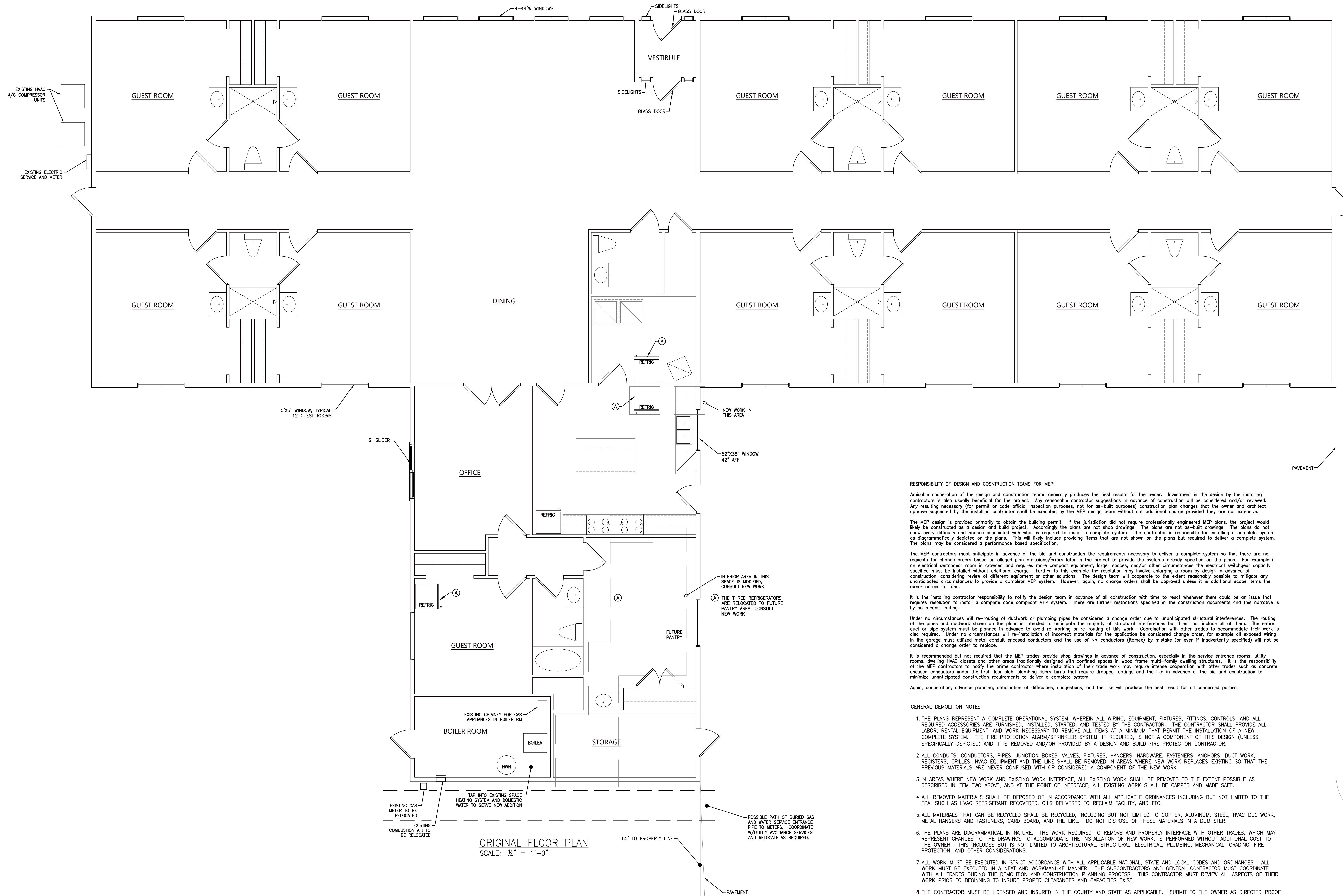
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SITE PLAN MAP 230, LOT 23A
Project:	BUILDING ADDITION 413 LAFAYETTE ROAD, PORTSMOUTH, NH
Owner of Record:	FRIENDS OF LAFAYETTE HOUSE 400 LITTLE HARBOR ROAD, SUITE 1104, PORTSMOUTH, NH 03801

DRAWING No.
C2
SHEET 2 OF 2
JBE PROJECT NO. 23036



ORIGINAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

RESPONSIBILITY OF DESIGN AND CONSTRUCTION TEAMS FOR MEP:

Amicable cooperation of the design and construction teams generally produces the best results for the owner. Investment in the design by the installing contractors is also usually beneficial for the project. Any reasonable contractor suggestions in advance of construction will be considered and/or reviewed. Any resulting necessary (for permit or code official inspection purposes, not for as-built purposes) construction plan changes that the owner and architect approve suggested by the installing contractor shall be executed by the MEP design team without additional charge provided they are not extensive.

The MEP design is provided primarily to obtain the building permit. If the jurisdiction did not require professionally engineered MEP plans, the project would likely be constructed as a design and build project. Accordingly, the plans are not shop drawings. The plans are not as-built drawings. The plans do not show every difficulty and nuance associated with what is required to install a complete system. The contractor is responsible for installing a complete system as diagrammatically depicted on the plans. This will likely include providing items that are not shown on the plans but required to deliver a complete system. The plans may be considered a performance based specification.

The MEP contractors must anticipate in advance of the bid and construction the requirements necessary to deliver a complete system so that there are no requests for change orders based on alleged plan omissions/errors later in the project to provide the systems already specified on the plans. For example if an electrical switchgear room is crowded and requires more compact equipment, larger spaces, and/or other circumstances the electrical switchgear capacity specified must be installed without additional charge. Further to this example the resolution may involve enlarging a room by design in advance of construction, considering review of different equipment or other solutions. The design team will cooperate to the extent reasonably possible to mitigate any unanticipated circumstances to provide a complete MEP system. However, again, no change orders shall be approved unless it is additional scope items the owner agrees to fund.

It is the installing contractor responsibility to notify the design team in advance of all construction with time to react whenever there could be an issue that requires resolution to install a complete code compliant MEP system. There are further restrictions specified in the construction documents and this narrative is by no means limiting.

Under no circumstances will re-routing of ductwork or plumbing pipes be considered a change order due to unanticipated structural interferences. The routing of the pipes and ductwork shown on the plans is intended to anticipate the majority of structural interferences but it will not include all of them. The entire duct or pipe system must be planned in advance to avoid re-working or re-routing of this work. Coordination with other trades to accommodate their work is also required. Under no circumstances will re-installation of incorrect materials for the application be considered change order, for example all exposed wiring in the garage must utilize metal conduit enclosed conductors and the use of NM conductors (Romex) by mistake (or even if inadvertently specified) will not be considered a change order to replace.

It is recommended but not required that the MEP trades provide shop drawings in advance of construction, especially in the service entrance rooms, utility rooms, dwelling HVAC closets and other areas traditionally designed with confined spaces in wood frame multi-family dwelling structures. It is the responsibility of the MEP contractors to notify the prime contractor where installation of their trade work may require intense cooperation with other trades such as concrete enclosed conductors under the first floor slab, plumbing risers turns that require dropped footings and the like in advance of the bid and construction to minimize unanticipated construction requirements to deliver a complete system.

Again, cooperation, advance planning, anticipation of difficulties, suggestions, and the like will produce the best result for all concerned parties.

GENERAL DEMOLITION NOTES

1. THE PLANS REPRESENT A COMPLETE OPERATIONAL SYSTEM, WHEREIN ALL WIRING, EQUIPMENT, FIXTURES, FITTINGS, CONTROLS, AND ALL REQUIRED ACCESSORIES ARE FURNISHED, INSTALLED, STARTED, AND TESTED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL LABOR, RENTAL EQUIPMENT, AND WORK NECESSARY TO REMOVE ALL ITEMS AT A MINIMUM THAT PERMIT THE INSTALLATION OF A NEW COMPLETE SYSTEM. THE FIRE PROTECTION ALARM/SPRINKLER SYSTEM, IF REQUIRED, IS NOT A COMPONENT OF THIS DESIGN (UNLESS SPECIFICALLY DEPICTED) AND IT IS REMOVED BY A DESIGN AND BUILD FIRE PROTECTION CONTRACTOR.
2. ALL CONDUITS, CONDUCTORS, PIPES, JUNCTION BOXES, VALVES, FIXTURES, HANGERS, HARDWARE, FASTENERS, ANCHORS, DUCT WORK, REGISTER, GRILLES, HVAC EQUIPMENT AND THE LIKE SHALL BE REMOVED IN AREAS WHERE NEW WORK REPLACES EXISTING SO THAT THE PREVIOUS MATERIALS ARE NEVER CONFUSED WITH OR CONSIDERED A COMPONENT OF THE NEW WORK.
3. IN AREAS WHERE NEW WORK AND EXISTING WORK INTERFACE, ALL EXISTING WORK SHALL BE REMOVED TO THE EXTENT POSSIBLE AS DESCRIBED IN ITEM TWO ABOVE, AND AT THE POINT OF INTERFACE, ALL EXISTING WORK SHALL BE CAPPED AND MADE SAFE.
4. ALL REMOVED MATERIALS SHALL BE DEPOSED OF IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES INCLUDING BUT NOT LIMITED TO THE EPA, SUCH AS HVAC REFRIGERANT RECOVERED, OILS DELIVERED TO RECLAIM FACILITY, AND ETC.
5. ALL MATERIALS THAT CAN BE RECYCLED SHALL BE RECYCLED, INCLUDING BUT NOT LIMITED TO COPPER, ALUMINUM, STEEL, HVAC DUCTWORK, METAL HANGERS AND FASTENERS, CARD BOARD, AND THE LIKE. DO NOT DISPOSE OF THESE MATERIALS IN A DUMPSTER.
6. THE PLANS ARE DIAGRAMMATICAL IN NATURE. THE WORK REQUIRED TO REMOVE AND PROPERLY INTERFACE WITH OTHER TRADES, WHICH MAY REPRESENT CHANGES TO THE DRAWINGS TO ACCOMMODATE THE INSTALLATION OF NEW WORK, IS PERFORMED WITHOUT ADDITIONAL COST TO THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, MECHANICAL, GRADING, FIRE PROTECTION, AND OTHER CONSIDERATIONS.
7. ALL WORK MUST BE EXECUTED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES. ALL WORK MUST BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. THE SUBCONTRACTORS AND GENERAL CONTRACTOR MUST COORDINATE WITH ALL TRADES DURING THE DEMOLITION AND CONSTRUCTION PLANNING PROCESS. THIS CONTRACTOR MUST REVIEW ALL ASPECTS OF THEIR WORK PRIOR TO BEGINNING TO INSURE PROPER CLEARANCES AND CAPACITIES EXIST.
8. THE CONTRACTOR MUST BE LICENSED AND INSURED IN THE COUNTY AND STATE AS APPLICABLE. SUBMIT TO THE OWNER AS DIRECTED PROOF OF INSURANCE INCLUSIVE OF LIMITS OF LIABILITY AND DEDUCTIBLE INFORMATION. ALL SUBCONTRACTORS OF SUBCONTRACTORS MUST BE LICENSED AND INSURED TOO.
9. SINCE THE PLANS ARE DIAGRAMMATICAL IN NATURE FOR CLARITY PURPOSES, THE CONTRACTOR MUST SUBMIT A SHOP DRAWING WHERE DEMOLITION IN COMPLEX OR COULD AFFECT OTHER ASPECTS OF THE WORK OR THAT MAY INCLUDE SUBSTANTIAL DIFFERENCES FROM THE PLANS, INCLUSIVE OF CALCULATIONS AND OTHER ITEMS TO THE OWNER PRIOR TO COMMENCING WORK. THE SHOP DRAWINGS MUST INCLUDE EXACT LOCATIONS, SPECIAL FITTINGS, AND VERIFICATION THAT THIS INFORMATION IS ACCURATE.
10. THE CONTRACTOR AND ALL SUBCONTRACTORS WARRANT THAT THEY HAVE VISITED THE PROJECT SITE, REVIEWED ALL OF THE CONTRACT DOCUMENTS, AND ARE OTHERWISE FAMILIAR WITH THE REQUIREMENTS NECESSARY TO COMPLETELY EXECUTE THE WORK REQUIRED TO COMPLY WITH THE DIAGRAMMATICAL WORK DEPICTED HEREIN. FURTHER, THE CONTRACTOR WARRANTS THAT, IN POSSESSING A THOROUGH KNOWLEDGE OF THE CODE AND INDUSTRY STANDARD CONSTRUCTION PRACTICES, THE BID FOR PERFORMING THE WORK WILL CONTAIN ALLOWANCES FOR NORMAL DIFFICULTIES EXPERIENCED DURING THE CONSTRUCTION OF A BUILDING OF THIS TYPE. MODIFICATIONS TO THE CONTRACT, WHICH DO NOT ADD VALUE TO THE PROJECT, WILL NOT BE CONSIDERED VALID.
11. THIS DESIGN IS NON TRANSFERABLE. IT IS INTELLECTUAL PROPERTY WITH TRADE SECRETS TO BE UTILIZED ON THIS PROJECT ONLY.
12. THE PLANS INDICATE QUANTITIES ON THE PLANS TO ENHANCE THE UNDERSTANDING OF THE DESIGN CONCEPT. THE QUANTITIES ARE RELIABLE, BUT NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE CORRECT QUANTITIES OF ITEMS REQUIRED TO REMOVE AND DELIVER A COMPLETE FUNCTIONING BUILDING.
13. THIS PROJECT MAY HAVE AREAS OF AN UNUSUAL INTENSE MEP COORDINATION REQUIREMENT, AND IT IS THE RESPONSIBILITY OF THE MEP TRADES TO INSURE THAT ALL ASPECTS OF THE WORK ARE PROPERLY REMOVED AND PROVIDED TO DELIVER A COMPLETE AND FUNCTIONING MEP SYSTEM.
14. WHERE THERE EXISTS A DISCREPANCY BETWEEN THE PLANS, DOCUMENTS, OR CODE THE CONTRACTOR SHALL PROVIDE FOR THE MOST EXPENSIVE METHOD AND ADVISE THE ARCHITECT IN WRITING PRIOR TO PERFORMING ANY WORK.

ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

PROJECT: LAFAYETTE HOUSE
PORTSMOUTH, NEW HAMPSHIRE

PROJECT ARCHITECT:
SCOTT ENGINEERING

PROJECT CONSULTING ENGINEER:
SCOTT ENGINEERING

PROJECT ARCHITECT:
SCOTT ENGINEERING

PROJECT ARCHITECT:
SCOTT ENGINEERING

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SCOTT ENGINEERING

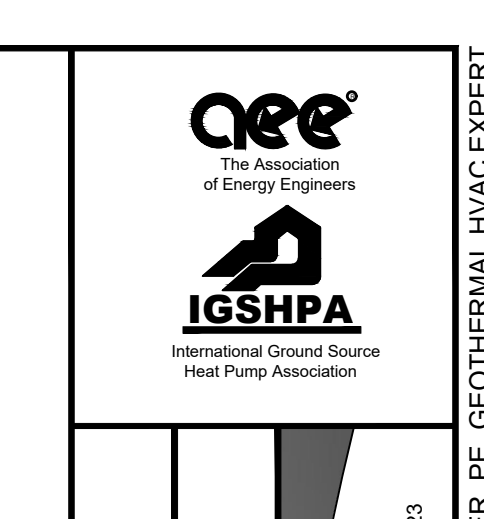
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SCOTT ENGINEERING

PROJECT ARCHITECT:
SCOTT ENGINEERING

PROJECT ARCHITECT:
SCOTT ENGINEERING

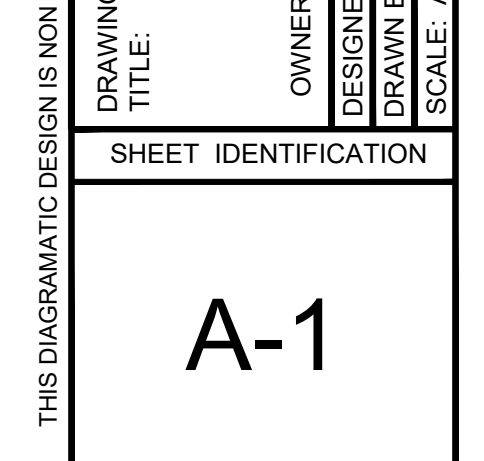
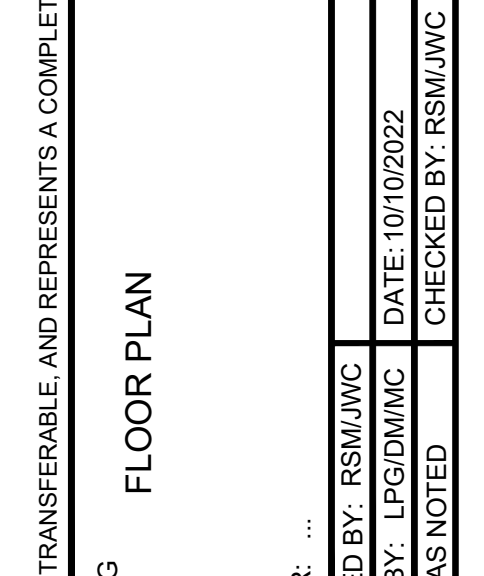
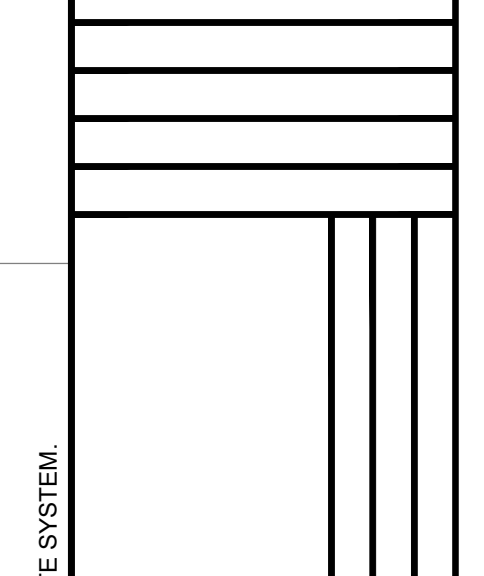
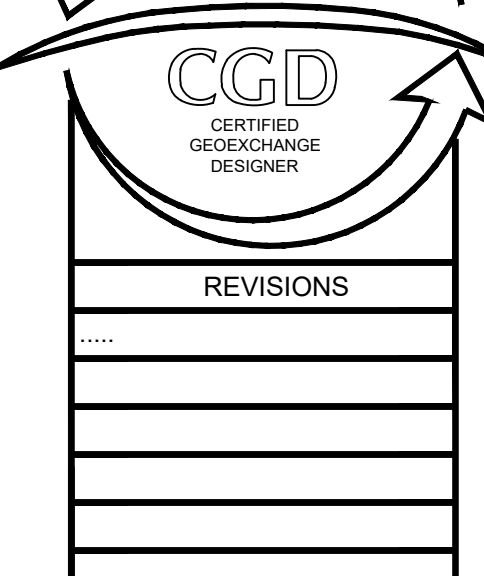
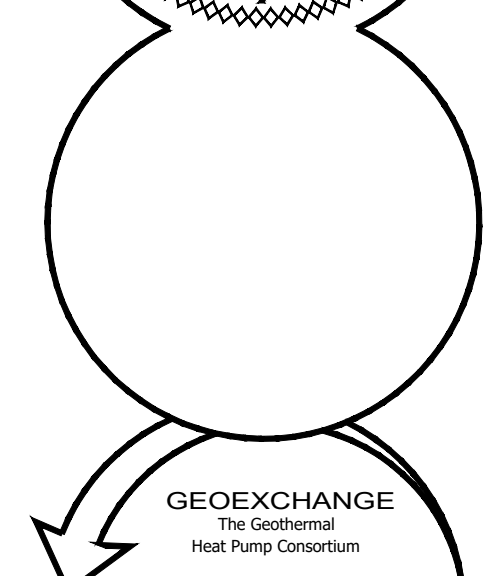
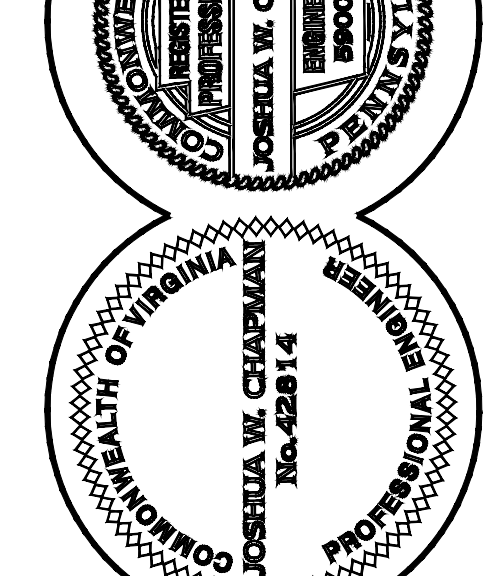
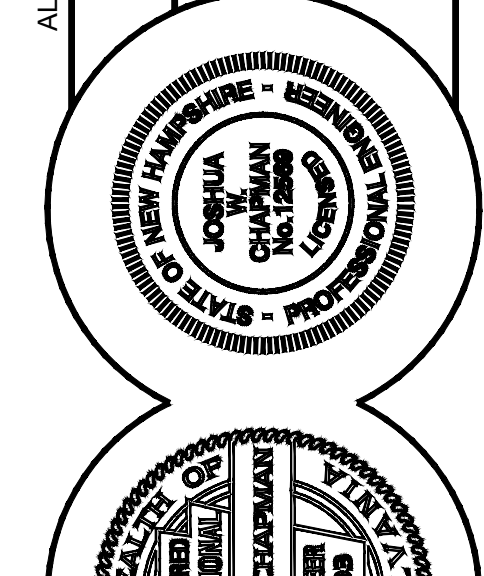
PROJECT ARCHITECT:
SCOTT ENGINEERING

PROJECT ARCHITECT:
SCOTT ENGINEERING



SCOTT ENGINEERING
INTERNATIONAL GROUND SOURCE HEAT PUMP ASSOCIATION
SINCE 1990
800 BURNING CREEK COURSE SUITE 100 FINEA ST FLDVA, VA 23039-2723
PH: 804-627-0477 FAX: 804-627-0478
www.scottingeering.com
PROJECT NO. 2021-0008

JOSHUA W. CHAPMAN, P.E., LEED AP, PRINCIPAL



THIS DIAGRAMMATIC DESIGN IS NON TRANSFERABLE, AND REPRESENTS A COMPLETE SYSTEM.

FLOOR PLAN

OWNER: ...
DESIGNED BY: RSM/JWC
DRAWN BY: LFG/DMC
DATE: 10/10/2022
SCALE: AS NOTED
CHECKED BY: RSM/JWC

REVISIONS

SHEET IDENTIFICATION

A-1

GENERAL DEMOLITION NOTES

1. THE PLANS REPRESENT A COMPLETE OPERATIONAL SYSTEM, WHEREIN ALL WIRING, EQUIPMENT, FIXTURES, FITTINGS, CONTROLS, AND ALL REQUIRED ACCESSORIES ARE FURNISHED, INSTALLED, STARTED, AND TESTED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL LABOR, RENTAL EQUIPMENT, AND WORK NECESSARY TO REMOVE ALL ITEMS AT A MINIMUM THAT PERMIT THE INSTALLATION OF A NEW COMPLETE SYSTEM. THE FIRE PROTECTION ALARM/SPRINKLER SYSTEM, IF REQUIRED, IS NOT A COMPONENT OF THIS DESIGN (UNLESS SPECIFICALLY DEPICTED) AND IT IS REMOVED AND/OR PROVIDED BY A DESIGN AND BUILD FIRE PROTECTION CONTRACTOR.
2. ALL CONDUITS, CONDUCTORS, PIPES, JUNCTION BOXES, VALVES, FIXTURES, HANGERS, HARDWARE, FASTENERS, ANCHORS, DUCT WORK, REGISTERS, GRILLES, HVAC EQUIPMENT AND THE LIKE SHALL BE REMOVED IN AREAS WHERE NEW WORK REPLACES EXISTING SO THAT THE PREVIOUS MATERIALS ARE NEVER CONFUSED WITH OR CONSIDERED A COMPONENT OF THE NEW WORK.
3. IN AREAS WHERE NEW WORK AND EXISTING WORK INTERFACE, ALL EXISTING WORK SHALL BE REMOVED TO THE EXTENT POSSIBLE AS DESCRIBED IN ITEM TWO ABOVE, AND AT THE POINT OF INTERFACE, ALL EXISTING WORK SHALL BE CAPPED AND MADE SAFE.
4. ALL REMOVED MATERIALS SHALL BE DEPOSED OF IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES INCLUDING BUT NOT LIMITED TO THE EPA, SUCH AS HVAC REFRIGERANT RECOVERED, OILS DELIVERED TO RECLAIM FACILITY, AND ETC.
5. ALL MATERIALS THAT CAN BE RECYCLED SHALL BE RECYCLED, INCLUDING BUT NOT LIMITED TO COPPER, ALUMINUM, STEEL, HVAC DUCTWORK, METAL HANGERS AND FASTENERS, CARD BOARD, AND THE LIKE. DO NOT DISPOSE OF THESE MATERIALS IN A DUMPSTER.
6. THE PLANS ARE DIAGRAMMATICAL IN NATURE. THE WORK REQUIRED TO REMOVE AND PROPERLY INTERFACE WITH OTHER TRADES, WHICH MAY REPRESENT CHANGES TO THE DRAWINGS TO ACCOMMODATE THE INSTALLATION OF NEW WORK, IS PERFORMED WITHOUT ADDITIONAL COST TO THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, MECHANICAL, GRADING, FIRE PROTECTION, AND OTHER CONSIDERATIONS.
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RESPONSIBILITY OF DESIGN AND CONSTRUCTION TEAMS:

Amicable cooperation of the design and construction teams generally produces the best results for the owner. Investment in the design by the installing contractors is also usually beneficial for the project. Any reasonable contractor suggestions in advance of construction will be considered and/or reviewed. Any resulting necessary (for permit or code official inspection purposes, not for as-built purposes) construction plan changes that the owner and architect approve suggested by the installing contractor shall be executed by the design team without additional charge provided they are not extensive.

The design is provided primarily to obtain the building permit. If the jurisdiction did not require professionally engineered plans, the project would likely be constructed as a design and build project. Accordingly, the plans are not shop drawings. The plans are not as-built drawings. The plans do not show every difficulty and nuance associated with what is required to install a complete system. The contractor is responsible for installing a complete system as diagrammatically depicted on the plans. This will likely include providing items that are not shown on the plans but required to deliver a complete system. The plans may be considered a performance based specification.

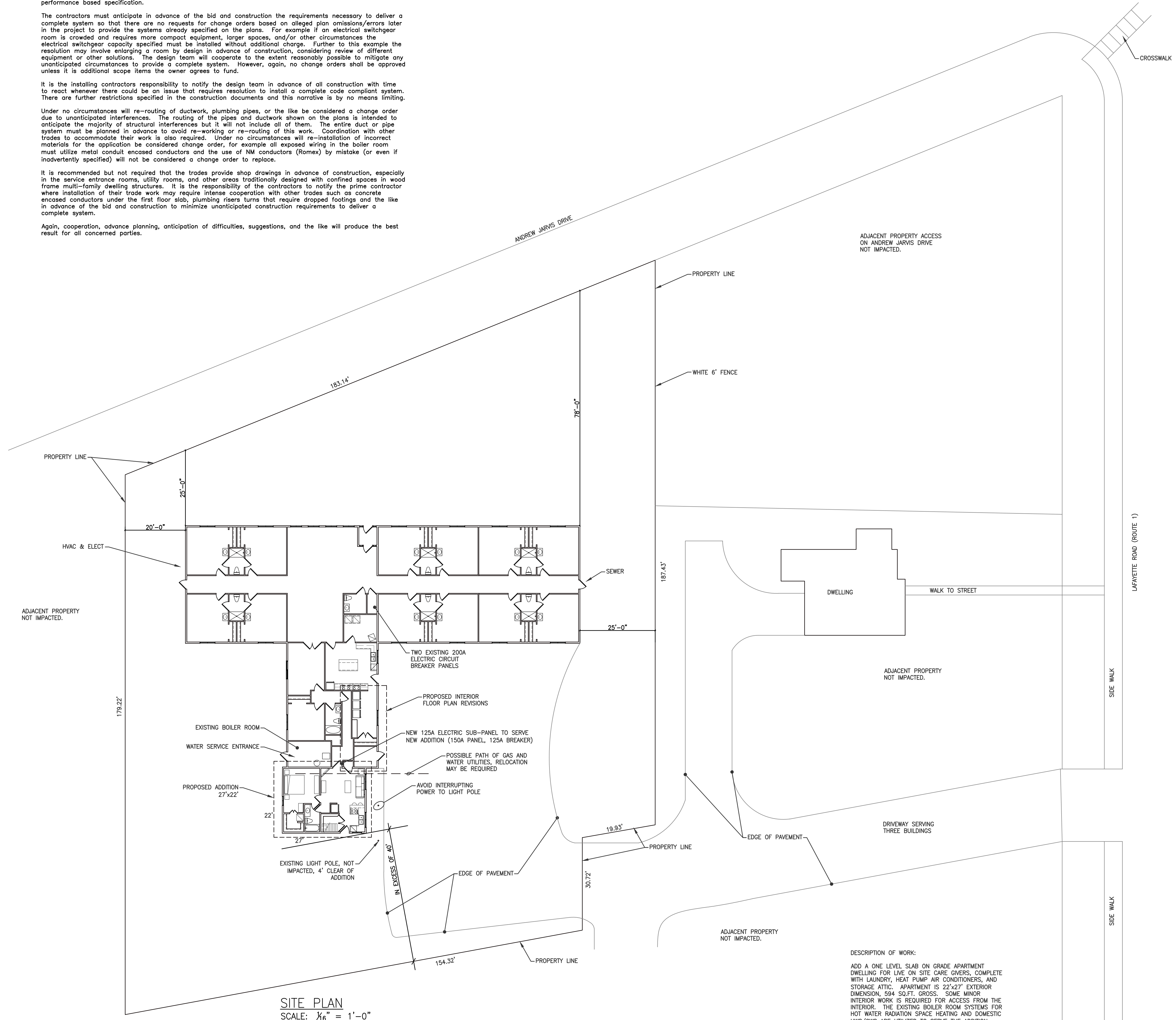
The contractors must anticipate in advance of the bid and construction the requirements necessary to deliver a complete system so that there are no requests for change orders based on alleged plan omissions/errors later in the project to provide the systems already specified on the plans. For example if an electrical switchgear room is crowded and requires more compact equipment, larger spaces, and/or other circumstances the electrical switchgear capacity specified must be installed without additional charge. Further to this example the resolution may involve enlarging a room by design in advance of construction, considering review of different equipment or other solutions. The design team will cooperate to the extent reasonably possible to mitigate any unanticipated circumstances to provide a complete system. However, again, no change orders shall be approved unless it is additional scope items the owner agrees to fund.

It is the installing contractors responsibility to notify the design team in advance of all construction with time to react whenever there could be an issue that requires resolution to install a complete code compliant system. There are further restrictions specified in the construction documents and this narrative is by no means limiting.

Under no circumstances will re-routing of ductwork, plumbing pipes, or the like be considered a change order due to unanticipated interferences. The routing of the pipes and ductwork shown on the plans is intended to anticipate the majority of structural interferences but it will not include all of them. The entire duct or pipe system must be planned in advance to avoid re-working or re-routing of this work. Coordination with other trades to accommodate their work is also required. Under no circumstances will re-installation of incorrect materials for the application be considered change order, for example all exposed wiring in the boiler room must utilize metal conduit enclosed conductors and the use of NM conductors (Romex) by mistake (or even if inadvertently specified) will not be considered a change order to replace.

It is recommended but not required that the trades provide shop drawings in advance of construction, especially in the service entrance rooms, utility rooms, and other areas traditionally designed with confined spaces in wood frame multi-family dwelling structures. It is the responsibility of the contractors to notify the prime contractor where installation of their trade work may require intense cooperation with other trades such as concrete enclosed conductors under the first floor slab, plumbing risers turns that require dropped footings and the like in advance of the bid and construction to minimize unanticipated construction requirements to deliver a complete system.

Again, cooperation, advance planning, anticipation of difficulties, suggestions, and the like will produce the best result for all concerned parties.



SITE PLAN
SCALE: 1/8" = 1'-0"

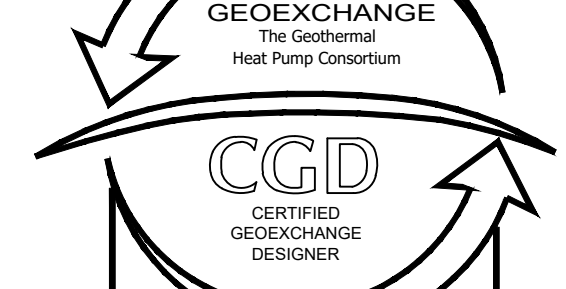
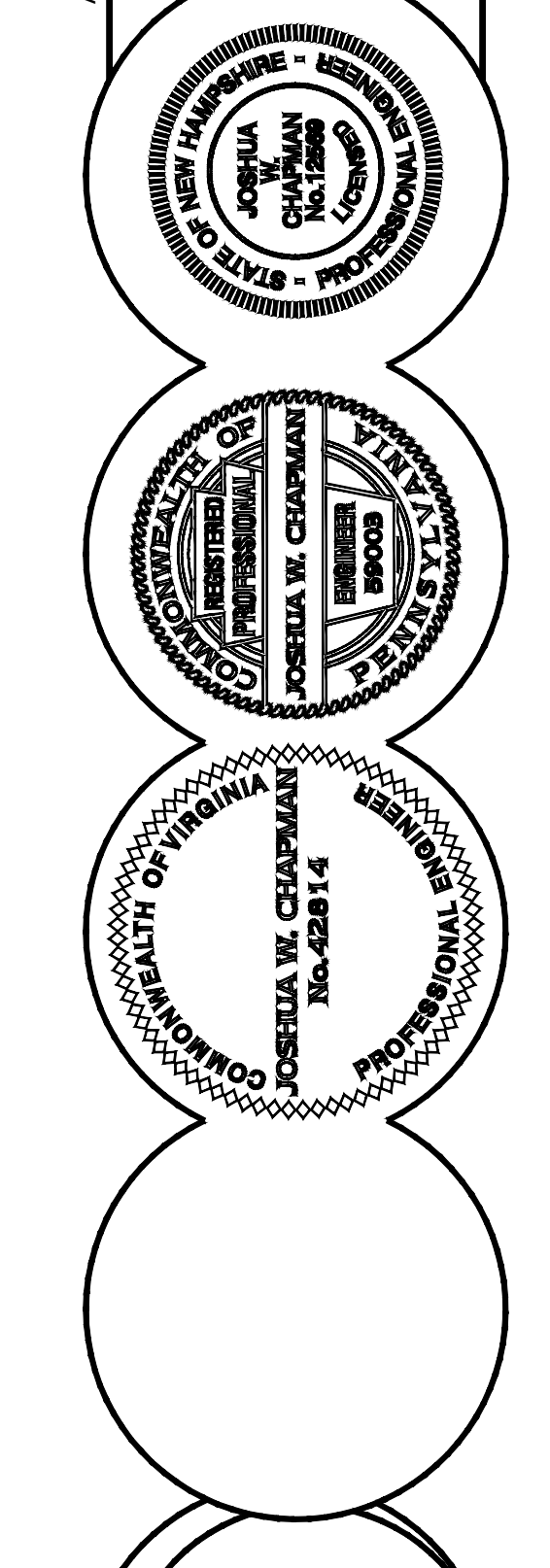
DESCRIPTION OF WORK:
ADD A ONE LEVEL SLAB ON GRADE APARTMENT DWELLING FOR LIVE ON SITE CARE GIVERS, COMPLETE WITH LAUNDRY, HEAT PUMP, AIR CONDITIONERS, AND STORAGE ATTIC. APARTMENT IS 22'x27' EXTERIOR DIMENSION, 594 SQ.FT. GROSS. SOME MINOR INTERIOR WORK IS REQUIRED FOR ACCESS FROM THE INTERIOR. THE EXISTING BOILER ROOM SYSTEMS FOR HOT WATER RADIATION SPACE HEATING AND DOMESTIC HWS/CWS ARE UTILIZED TO SERVE THE ADDITION WITHOUT INCREASING CAPACITIES.

CODES	SHEET INDEX
2015 IMC	S-1 SITE PLAN & COVER SHEET
2015 IECC	A-1 FLOOR PLAN
2015 IRC	A-2 FLOOR PLAN
2015 IBC	M-1 MECHANICAL NOTES & DETAILS
2017 NEC	M-2 FLOOR PLAN
	E-1 ELECTRICAL NOTES & DETAILS
	E-2 ELECTRICAL PLANS
	P-1 PLUMBING NOTES & LEGEND
	P-2 PLUMBING DETAILS & RISERS
	P-3 FLOOR PLAN

ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

PROJECT: LAFAYETTE HOUSE
PORTSMOUTH, NEW HAMPSHIRE

ARCHITECT: SCOT ENGINEERING
CONSULTING ENGINEER: JOSHUA W. CHAPMAN, P.E. LEED AP, PRINCIPAL



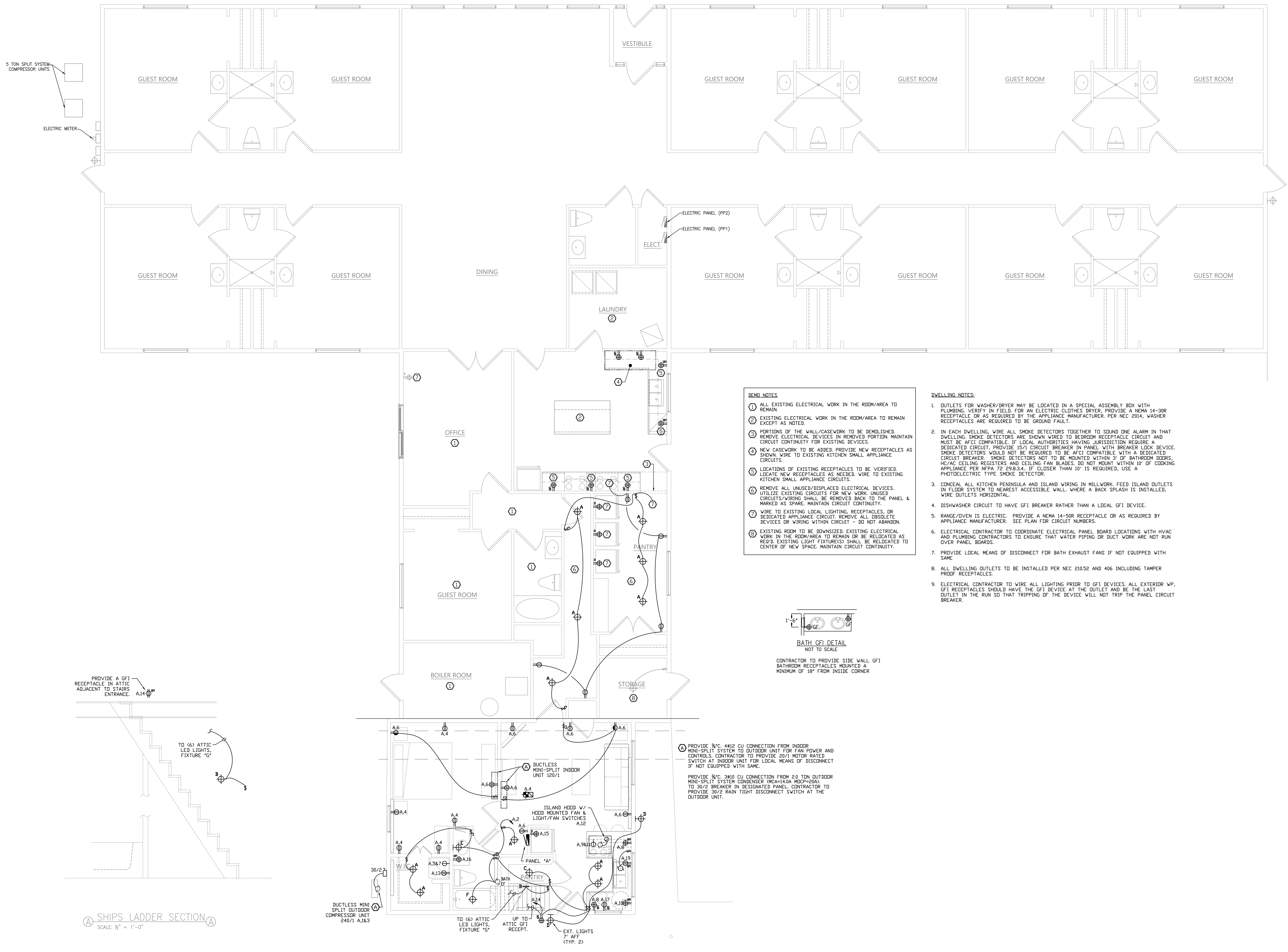
REVISIONS

NO.	DESCRIPTION

DRAWING TITLE: SITE PLAN & COVER SHEET
OWNER: ...
DESIGNED BY: RSM/JWC DATE: 10/10/2022
DRAWN BY: DP/GDM/KC CHECKED BY: RSM/JWC
SCALE: AS NOTED

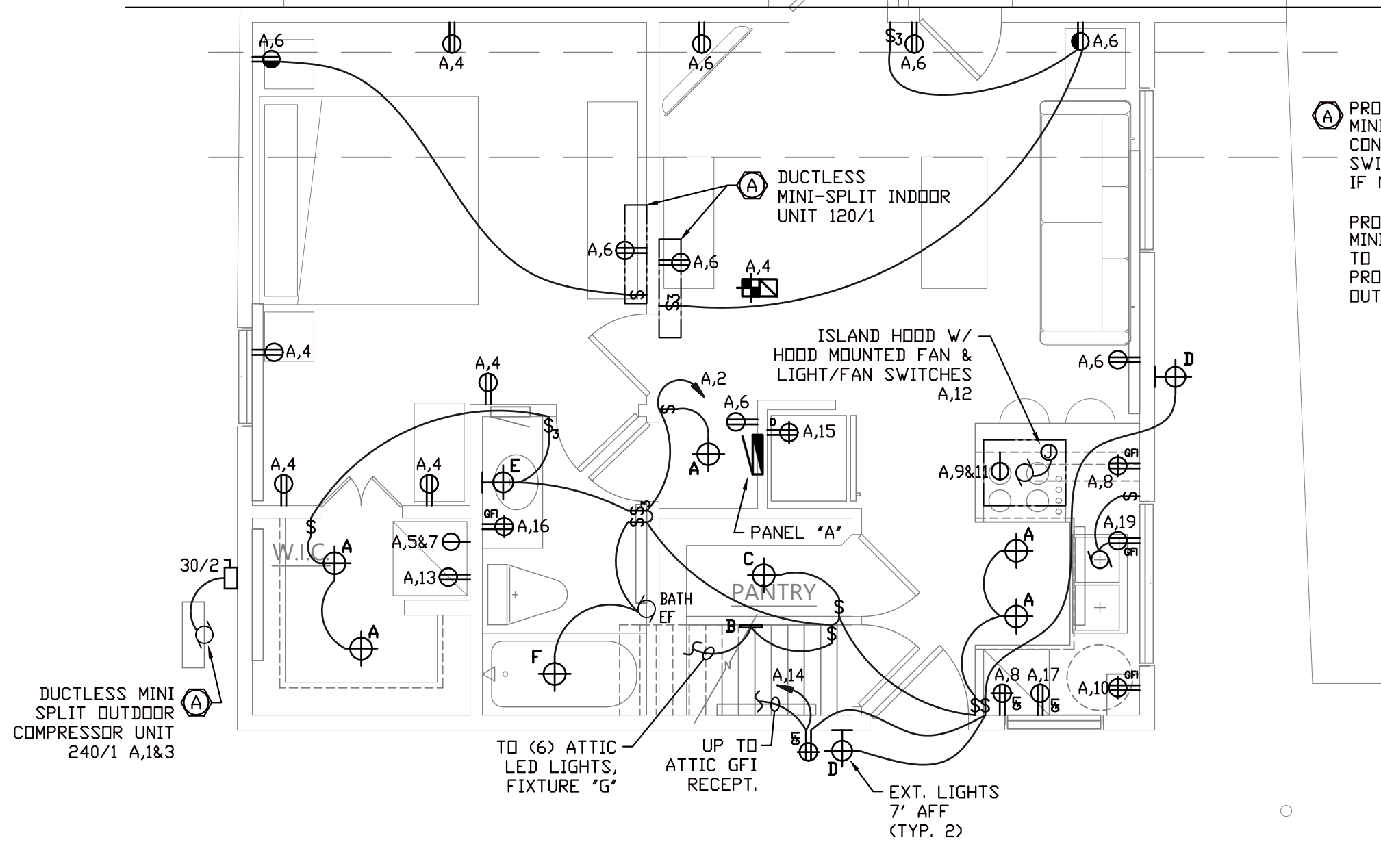
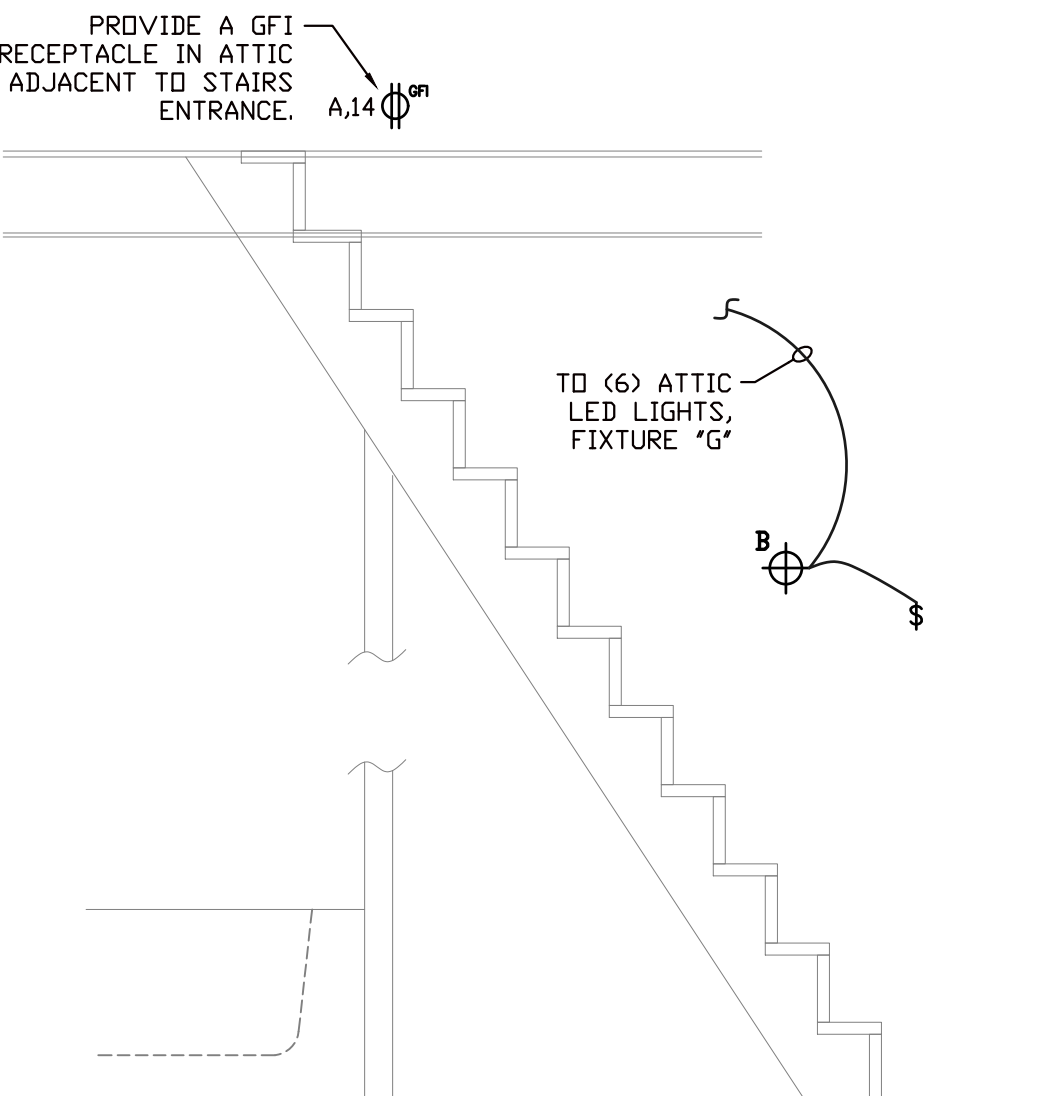
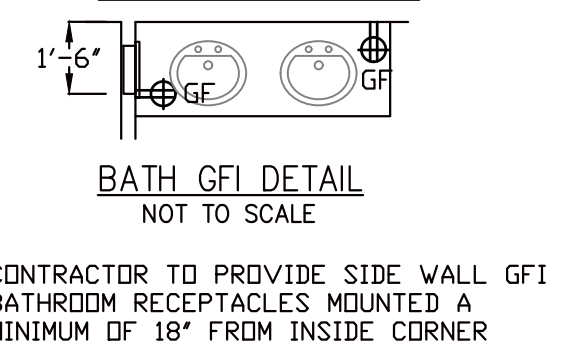
SHEET IDENTIFICATION

DRAWING TITLE	SHEET NO.	TOTAL SHEETS
SITE PLAN & COVER SHEET	S-1	1



- DEMO NOTES:**
1. ALL EXISTING ELECTRICAL WORK IN THE ROOM/AREA TO REMAIN.
 2. EXISTING ELECTRICAL WORK IN THE ROOM/AREA TO REMAIN EXCEPT AS NOTED.
 3. PORTIONS OF THE WALL/CASEWORK TO BE DEMOLISHED. REMOVE ELECTRICAL DEVICES IN REMOVED PORTION. MAINTAIN CIRCUIT CONTINUITY FOR EXISTING DEVICES.
 4. NEW CASEWORK TO BE ADDED. PROVIDE NEW RECEPTACLES AS SHOWN. WIRE TO EXISTING KITCHEN SMALL APPLIANCE CIRCUITS.
 5. LOCATIONS OF EXISTING RECEPTACLES TO BE VERIFIED. LOCATE NEW RECEPTACLES AS NEEDED. WIRE TO EXISTING KITCHEN SMALL APPLIANCE CIRCUITS.
 6. REMOVE ALL UNUSED/DISPLACED ELECTRICAL DEVICES. UTILIZE EXISTING CIRCUITS FOR NEW WORK. UNUSED CIRCUITS/WIRING SHALL BE REMOVED BACK TO THE PANEL & MARKED AS SPARE. MAINTAIN CIRCUIT CONTINUITY.
 7. WIRE TO EXISTING LOCAL LIGHTING, RECEPTACLES, OR DEDICATED APPLIANCE CIRCUIT. REMOVE ALL OBSOLETE DEVICES OR WIRING WITHIN CIRCUIT - DO NOT ABANDON.
 8. EXISTING ROOM TO BE DOWNSIZED. EXISTING ELECTRICAL WORK IN THE ROOM/AREA TO REMAIN OR BE RELOCATED AS NOTED. EXISTING LIGHT FIXTURE(S) SHALL BE RELOCATED TO CENTER OF NEW SPACE. MAINTAIN CIRCUIT CONTINUITY.

- DWELLING NOTES:**
1. OUTLETS FOR WASHER/DRYER MAY BE LOCATED IN A SPECIAL ASSEMBLY BOX WITH PLUMBING. VERIFY IN FIELD FOR AN ELECTRIC CLOTHES DRYER, PROVIDE A NEMA 14-30R RECEPTACLE OR AS REQUIRED BY THE APPLIANCE MANUFACTURER. PER NEC 2014, WASHER RECEPTACLES ARE REQUIRED TO BE GROUND FAULT.
 2. IN EACH DWELLING, WIRE ALL SMOKE DETECTORS TO SOUND ONE ALARM IN THAT DWELLING. SMOKE DETECTORS ARE SHOWN WIRED TO BEDROOM RECEPTACLE CIRCUIT AND MUST BE AFCI COMPATIBLE. IF LOCAL AUTHORITIES HAVING JURISDICTION REQUIRE A DEDICATED CIRCUIT, PROVIDE 15/1 CIRCUIT BREAKER IN PANEL WITH BREAKER LOCK DEVICE. SMOKE DETECTORS WOULD NOT BE REQUIRED TO BE AFCI COMPATIBLE WITH A DEDICATED CIRCUIT BREAKER. SMOKE DETECTORS NOT TO BE MOUNTED WITHIN 3' OF BATHROOM DOORS, HE/AC CEILING REGISTERS AND CEILING FAN BLADES. DO NOT MOUNT WITHIN 10' OF COOKING APPLIANCE. PER NFPA 72-99.8.3.4, IF CLOSER THAN 10' IS REQUIRED, USE A PHOTOELECTRIC TYPE SMOKE DETECTOR.
 3. CONCEAL ALL KITCHEN PENINSULA AND ISLAND WIRING IN MILLWORK. FEED ISLAND OUTLETS IN FLOOR SYSTEM TO NEAREST ACCESSIBLE WALL. WHERE A BACK SPLASH IS INSTALLED, WIRE OUTLETS HORIZONTAL.
 4. DISHWASHER CIRCUIT TO HAVE GFI BREAKER RATHER THAN A LOCAL GFI DEVICE.
 5. RANGE/OVEN IS ELECTRIC. PROVIDE A NEMA 14-30R RECEPTACLE OR AS REQUIRED BY APPLIANCE MANUFACTURER. SEE PLAN FOR CIRCUIT NUMBERS.
 6. ELECTRICAL CONTRACTOR TO COORDINATE ELECTRICAL PANEL BOARD LOCATIONS WITH HVAC AND PLUMBING CONTRACTORS TO ENSURE THAT WATER PIPING OR DUCT WORK ARE NOT RUN OVER PANEL BOARDS.
 7. PROVIDE LOCAL MEANS OF DISCONNECT FOR BATH EXHAUST FANS IF NOT EQUIPPED WITH SAME.
 8. ALL DWELLING OUTLETS TO BE INSTALLED PER NEC 210.52 AND 406 INCLUDING TAMPER PROOF RECEPTACLES.
 9. ELECTRICAL CONTRACTOR TO WIRE ALL LIGHTING PRIOR TO GFI DEVICES. ALL EXTERIOR WP, GFI RECEPTACLES SHOULD HAVE THE GFI DEVICE AT THE OUTLET AND BE THE LAST OUTLET IN THE RUN SO THAT TRIPPING OF THE DEVICE WILL NOT TRIP THE PANEL CIRCUIT BREAKER.

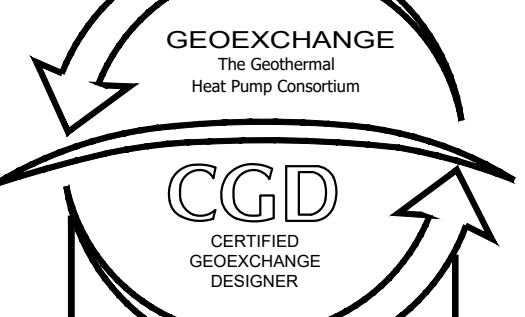
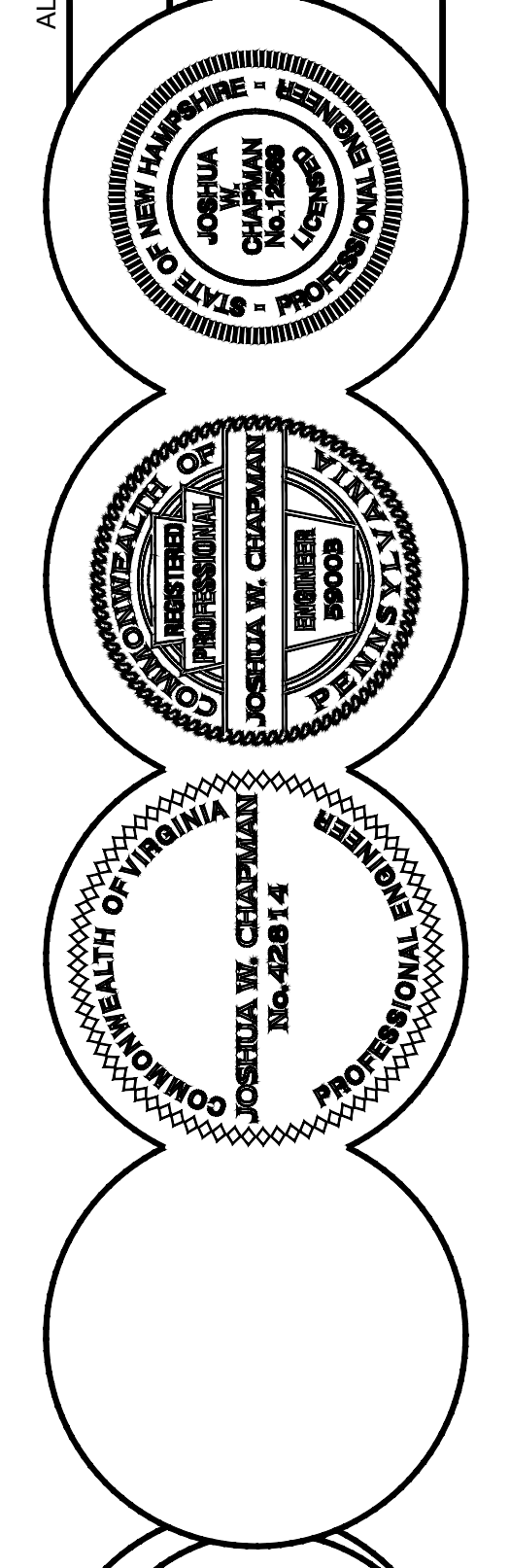


- A. PROVIDE 3/4" CU CONNECTION FROM INDOOR MINI-SPLIT SYSTEM TO OUTDOOR UNIT FOR FAN POWER AND CONTROLS. CONTRACTOR TO PROVIDE 20/1 MOTOR RATED SWITCH AT INDOOR UNIT FOR LOCAL MEANS OF DISCONNECT IF NOT EQUIPPED WITH SAME.
- B. PROVIDE 3/4" CU CONNECTION FROM 2.0 TON OUTDOOR MINI-SPLIT SYSTEM CONDENSER (MCA=14.0A MDP=20A) TO 30/2 BREAKER IN DESIGNATED PANEL. CONTRACTOR TO PROVIDE 30/2 RAIN TIGHT DISCONNECT SWITCH AT THE OUTDOOR UNIT.

PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

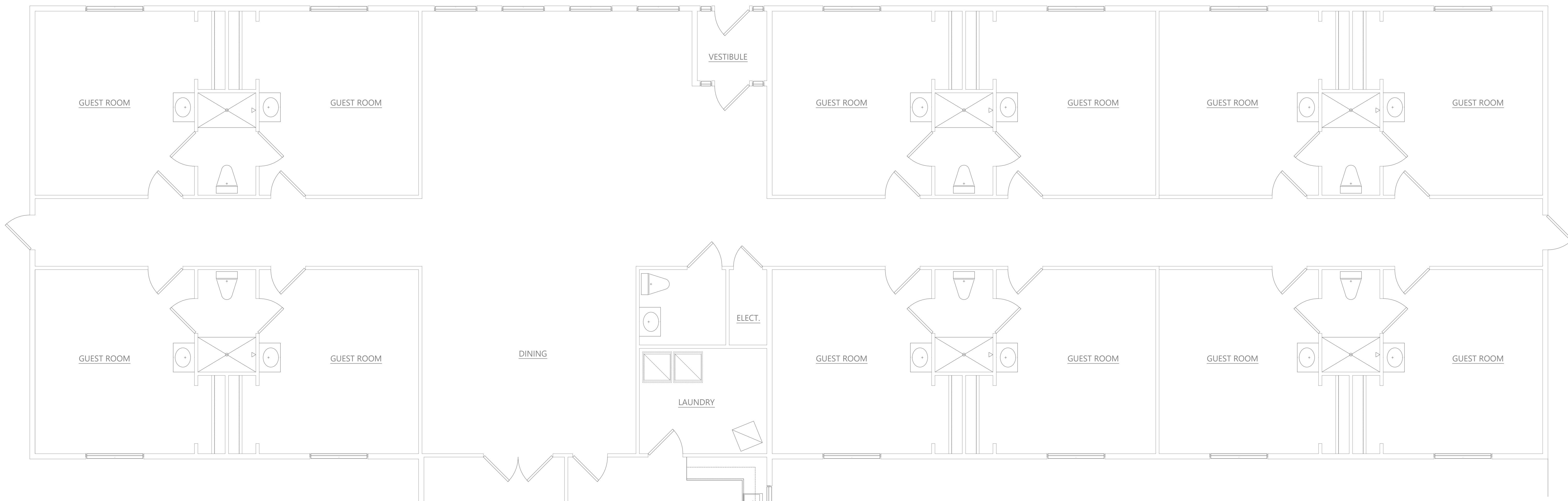
ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

PROJECT: LAFAYETTE HOUSE
PORTSMOUTH, NEW HAMPSHIRE



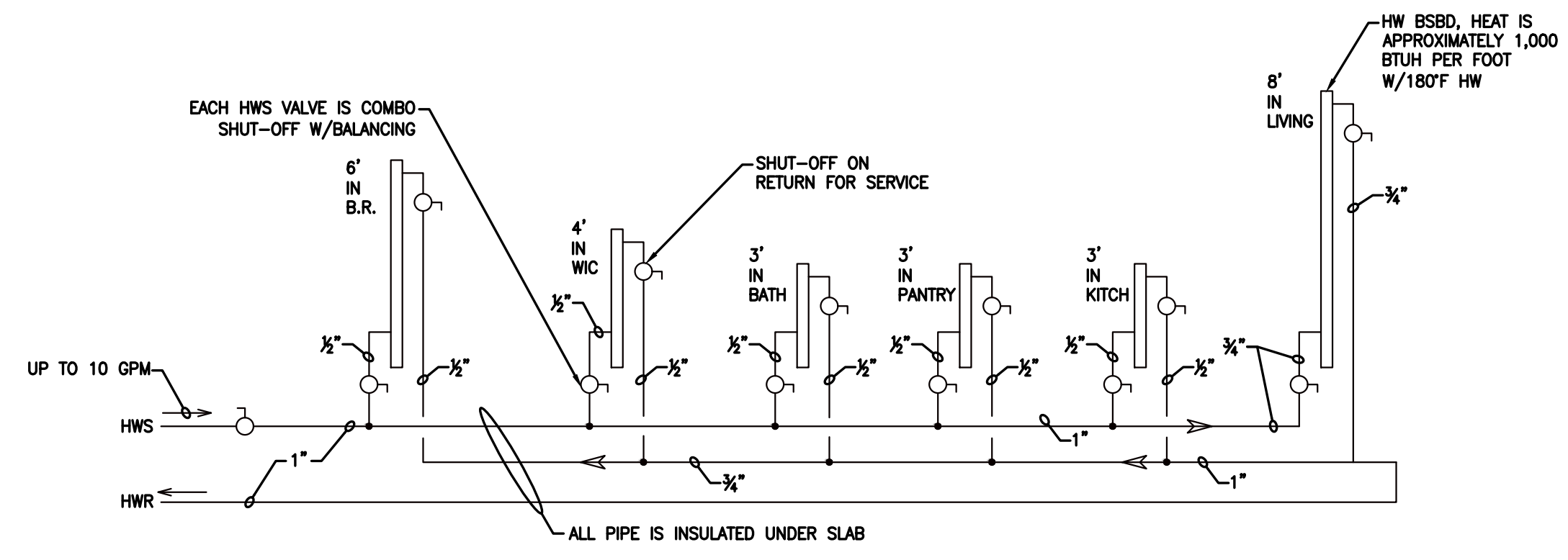
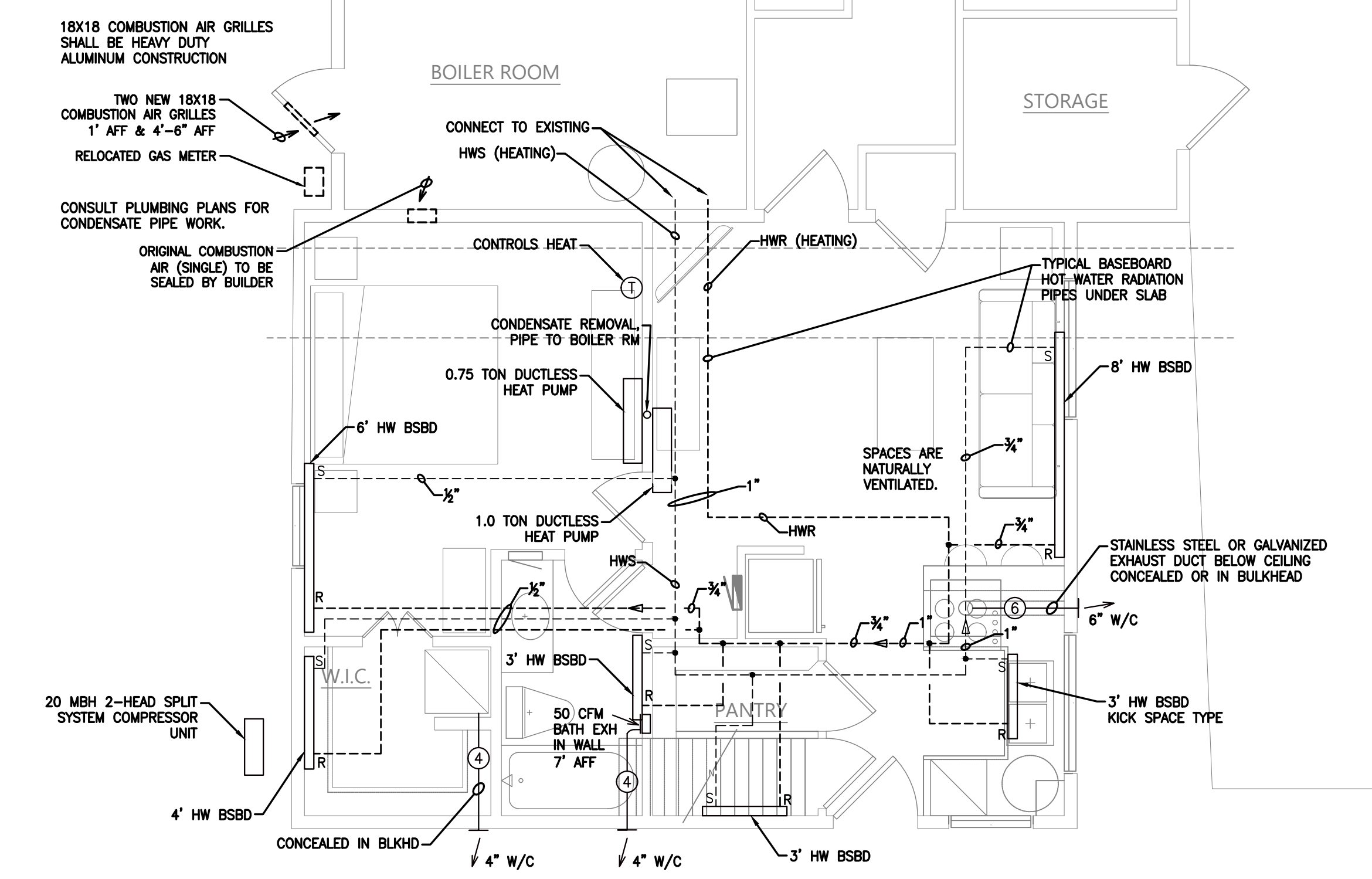
REVISIONS

DESIGNED BY: RSM/JWC	DATE: 10/10/2022
DRAWN BY: DPG/DMC	CHECKED BY: RSM/JWC
SCALE: AS NOTED	
SHEET IDENTIFICATION	

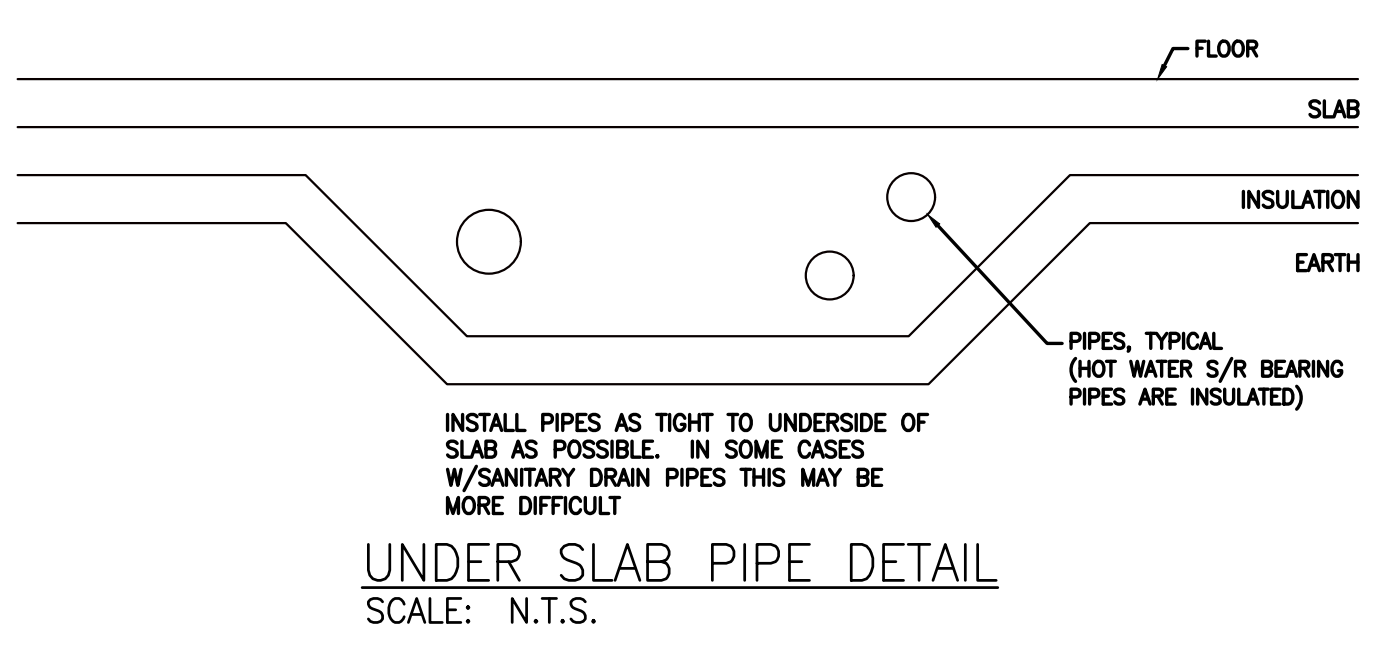


DUCTLESS SPLIT SYSTEM HEAT PUMP SCHEDULE (240V-1)

COMPRESSOR UNIT:	MITSUBISHI MODEL	MAK22C20NA3U	OR EQUAL
INDOOR UNITS:	MITSUBISHI MODEL	INDR2M6H W/HIP	OR EQUAL
	MITSUBISHI MODEL	INDR0M6H W/HIP	OR EQUAL



SPACE HEATING SCHEMATIC DIAGRAM
SCALE: N.T.S.



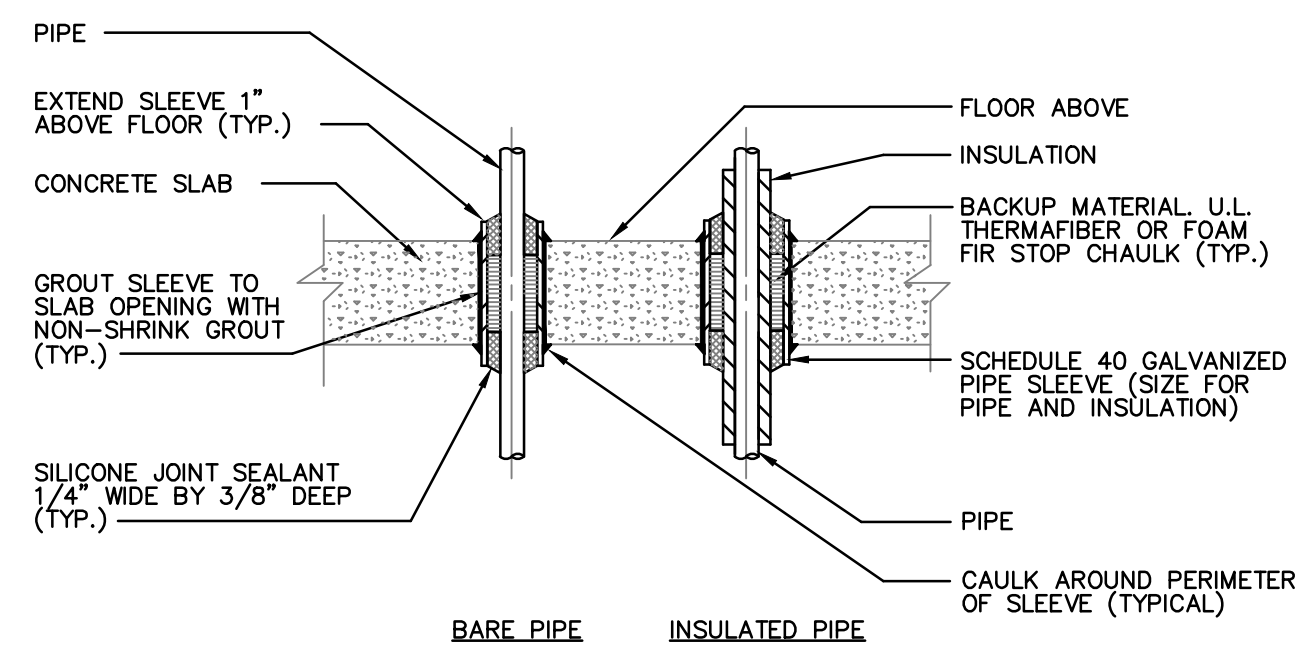
PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

THE EXHAUST DUCTS ARE BELOW CEILING W/SEALED DRYWALL ABOVE IT. DO NOT FAIL TO SEPARATE HORIZONTAL EXH DUCTS FROM ATTIC W/SEALED DRYWALL, VAPOR BARRIER AND INSULATION.

THIS DIAGRAMATIC DESIGN IS NON-TRANSFERABLE AND REPRESENTS A COMPLETE SYSTEM.

NO.	REVISIONS

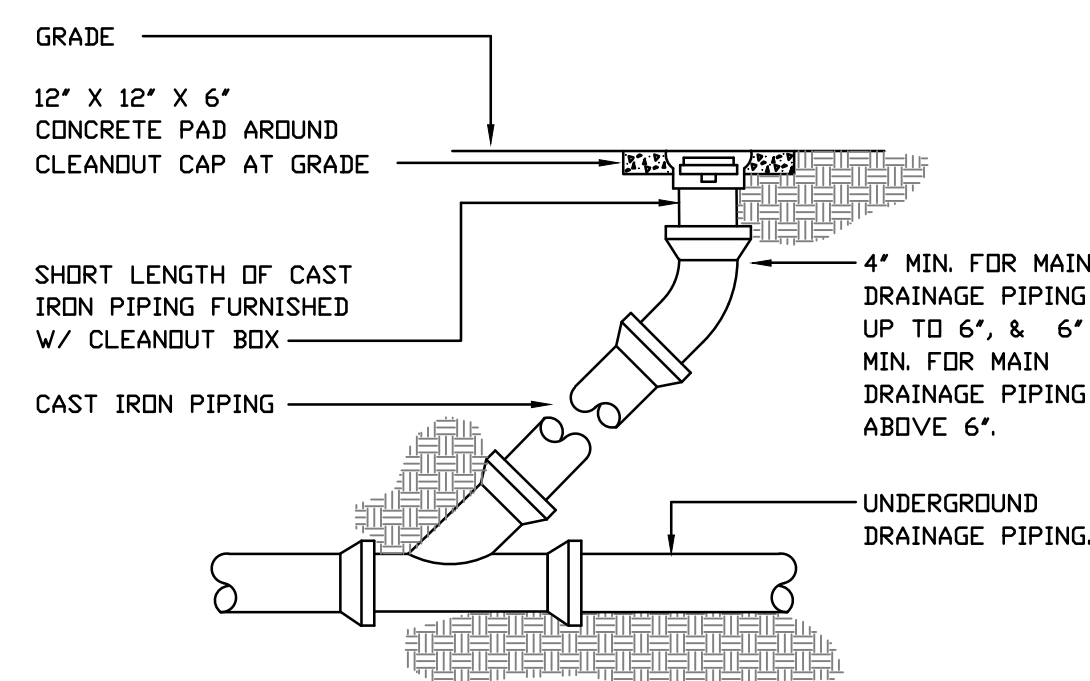
DRAWING TITLE:	FLOOR PLAN
DESIGNED BY:	RSM/JWC
DRAWN BY:	DP/GDM/C
DATE:	10/10/2022
CHECKED BY:	RSM/JWC
SCALE:	AS NOTED



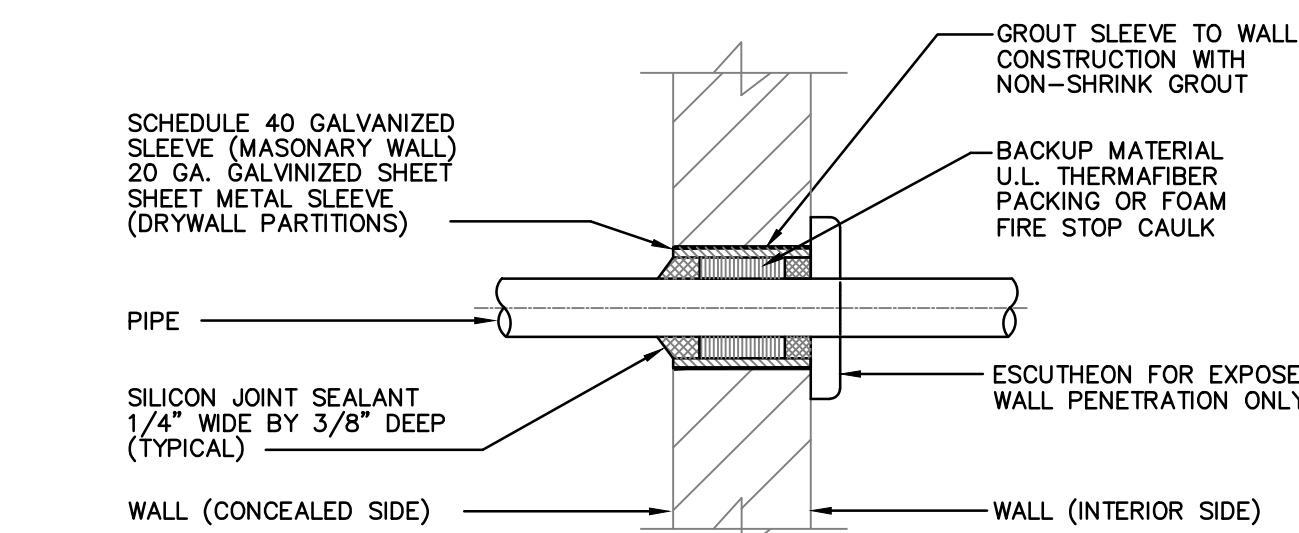
PIPE SLEEVE THRU CONCRETE SLAB DETAIL
NO SCALE

NOTES

- 1) AT THE CONTRACTORS' OPTION A U.L. LISTED/APPROVED FIRE STOP PIPE SLEEVE ASSEMBLY MAY BE SUBMITTED FOR APPROVAL.
- 2) GALVANIZED SLEEVE SHALL BE CAST INTO NEW CONCRETE WALL POURS.



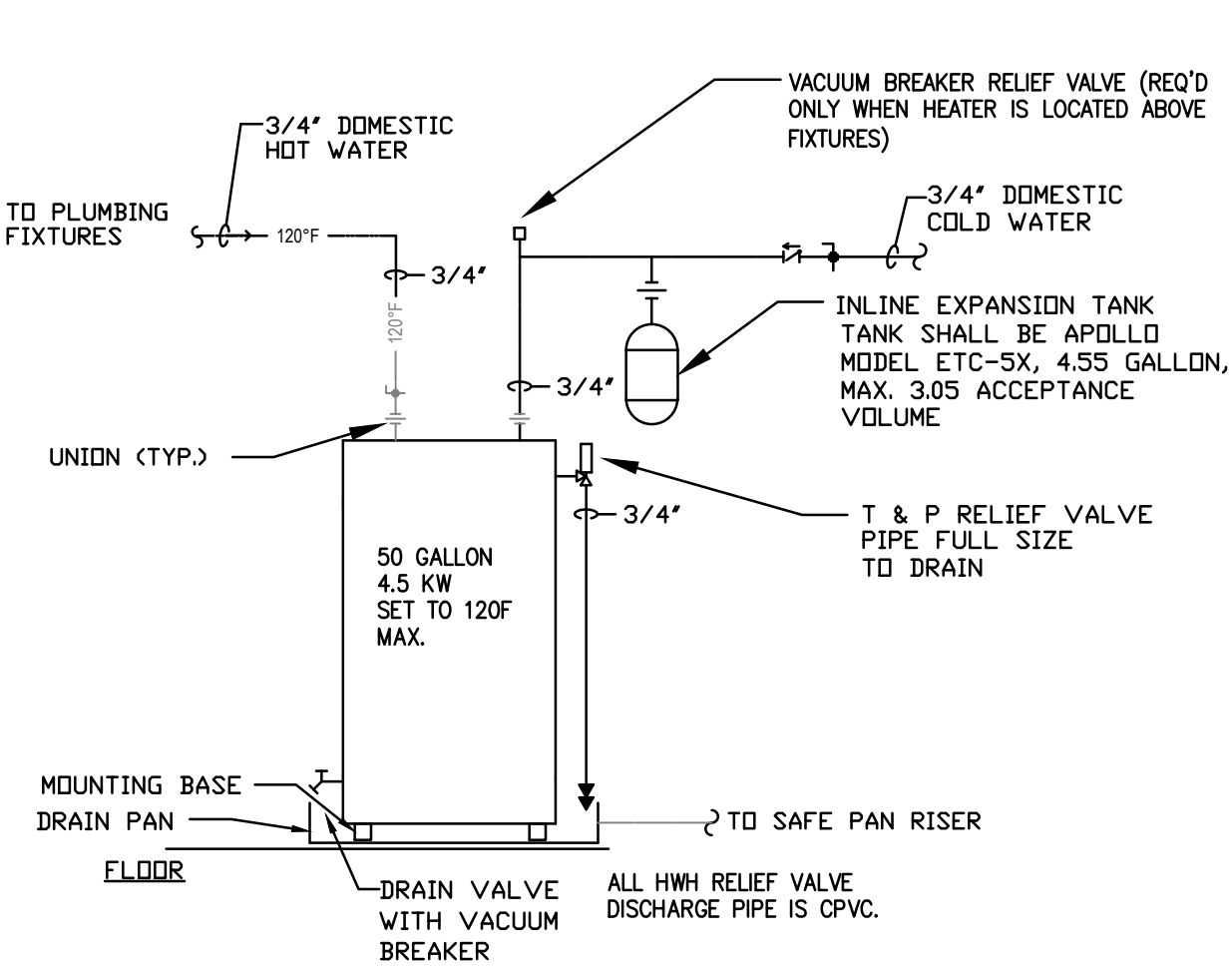
EXTERIOR CLEANOUT DETAIL
NO SCALE



PIPE SLEEVE FOR BARE PIPE THRU WALL DETAIL
NO SCALE

NOTES

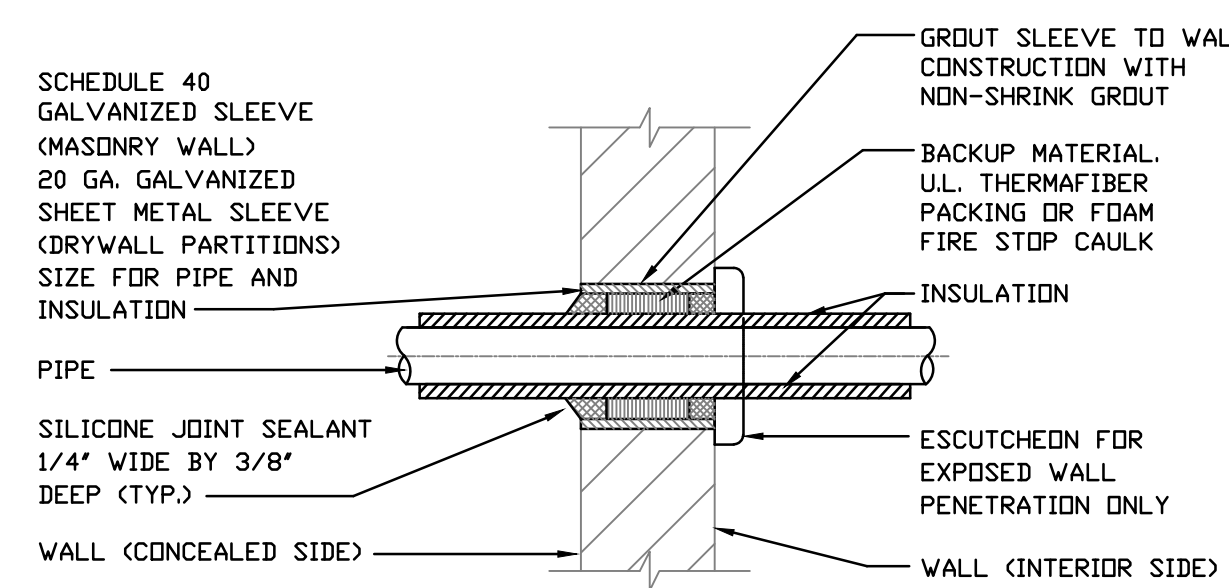
- 1) AT THE CONTRACTORS' OPTION A U.L. LISTED/APPROVED FIRE STOP PIPE SLEEVE ASSEMBLY MAY BE SUBMITTED FOR APPROVAL.
- 2) GALVANIZED SLEEVE SHALL BE CAST INTO NEW CONCRETE WALL POURS.



ELECTRIC WATER HEATER PIPING SCHEMATIC
NO SCALE - Dwelling HWHs

NOTE:

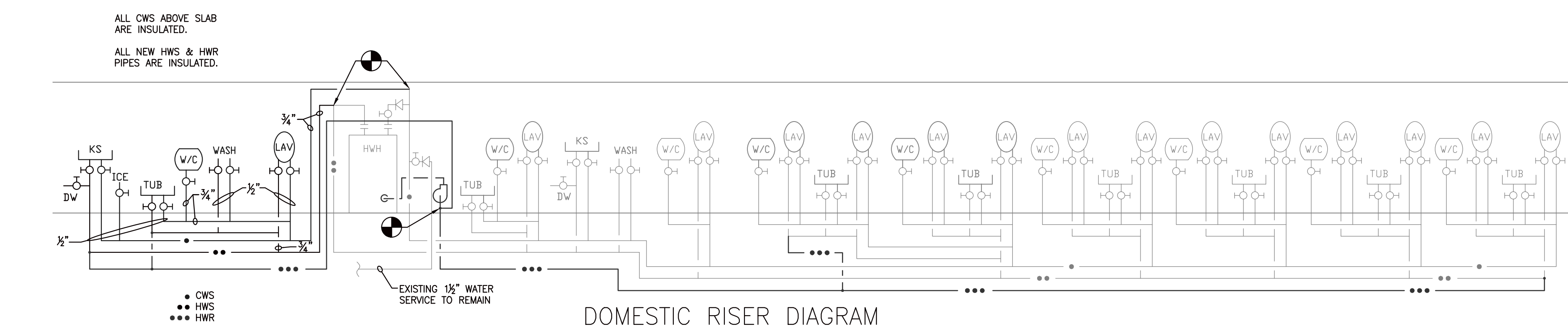
- 1) DRAIN PAN BELOW ELEC WATER HEATER SHALL BE 26\"/>



PIPE SLEEVE FOR INSULATED PIPE THRU WALL DETAIL
NO SCALE

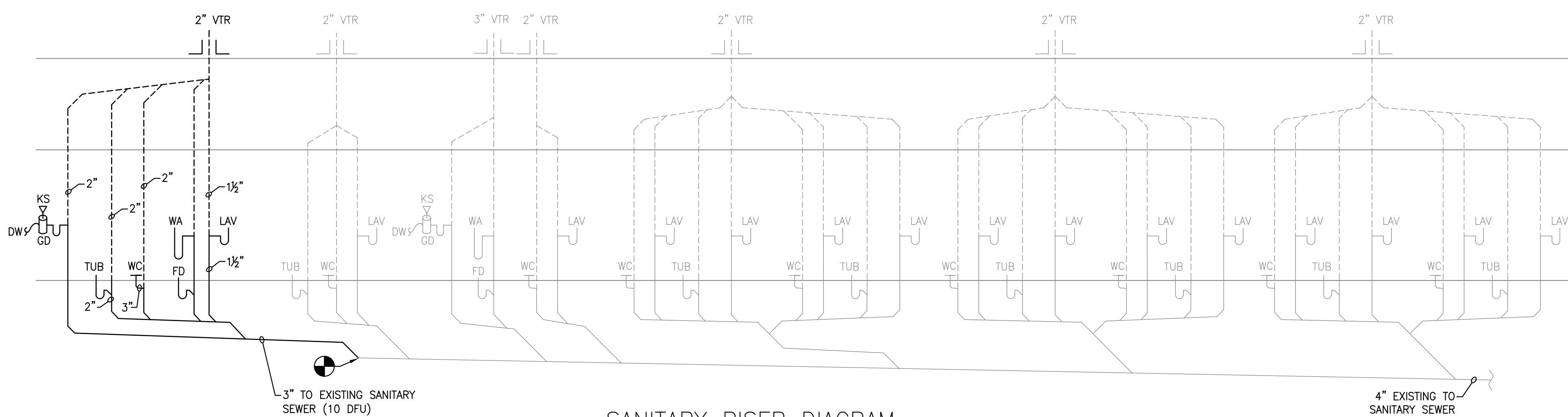
NOTES

- 1) AT THE CONTRACTORS' OPTION A U.L. LISTED/APPROVED FIRE STOP PIPE SLEEVE ASSEMBLY MAY BE SUBMITTED FOR APPROVAL.
- 2) GALVANIZED SLEEVE SHALL BE CAST INTO NEW CONCRETE WALL POURS.



DOMESTIC RISER DIAGRAM
N.T.S.

WORK SHOWN IN BOLD IS NEW CONSTRUCTION.
WORK SHOWN IN LIGHT GRAY IS EXISTING TO REMAIN.



SANITARY RISER DIAGRAM
N.T.S.

4\"/>

GENERAL DEMOLITION NOTES

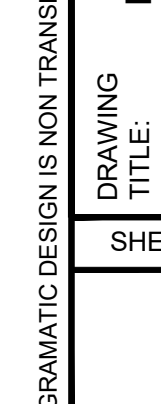
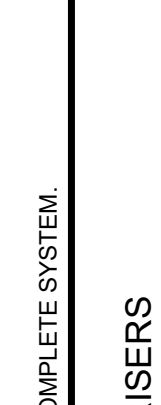
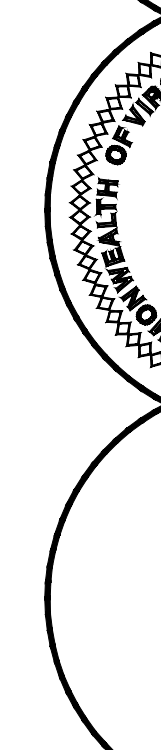
1. THE PLANS REPRESENT A COMPLETE OPERATIONAL SYSTEM, WHEREIN ALL WIRING, EQUIPMENT, FIXTURES, FITTINGS, CONTROLS, AND ALL REQUIRED ACCESSORIES ARE FURNISHED, INSTALLED, STARTED, AND TESTED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL LABOR, RENTAL EQUIPMENT, AND WORK NECESSARY TO REMOVE ALL ITEMS AT A MINIMUM THAT PERMIT THE INSTALLATION OF A NEW COMPLETE SYSTEM. THE FIRE PROTECTION ALARM/SPRINKLER SYSTEM, IF REQUIRED, IS NOT A COMPONENT OF THIS DESIGN (UNLESS SPECIFICALLY DEPICTED) AND IT IS REMOVED AND/OR PROVIDED BY A DESIGN AND BUILD FIRE PROTECTION CONTRACTOR.
2. ALL CONDUITS, CONDUCTORS, PIPES, JUNCTION BOXES, VALVES, FIXTURES, HANGERS, HARDWARE, FASTENERS, ANCHORS, DUCT WORK, REGISTERS, GRILLES, HVAC EQUIPMENT AND THE LIKE SHALL BE REMOVED IN AREAS WHERE NEW WORK REPLACES EXISTING SO THAT THE PREVIOUS MATERIALS ARE NEVER CONFUSED WITH OR CONSIDERED A COMPONENT OF THE NEW WORK.
3. IN AREAS WHERE NEW WORK AND EXISTING WORK INTERFACE, ALL EXISTING WORK SHALL BE REMOVED TO THE EXTENT POSSIBLE AS DESCRIBED IN ITEM TWO ABOVE, AND AT THE POINT OF INTERFACE, ALL EXISTING WORK SHALL BE CAPPED AND MADE SAFE.
4. ALL REMOVED MATERIALS SHALL BE DEPOSED OF IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES INCLUDING BUT NOT LIMITED TO THE EPA, SUCH AS HVAC REFRIGERANT RECOVERED, OILS DELIVERED TO RECLAIM FACILITY, AND ETC.
5. ALL MATERIALS THAT CAN BE RECYCLED SHALL BE RECYCLED, INCLUDING BUT NOT LIMITED TO COPPER, ALUMINUM, STEEL, HVAC DUCTWORK, METAL HANGERS AND FASTENERS, GARD BOARD, AND THE LIKE. DO NOT DISPOSE OF THESE MATERIALS IN A DUMPSTER.
6. THE PLANS ARE DIAGRAMMATICAL IN NATURE. THE WORK REQUIRED TO REMOVE AND PROPERLY INTERFACE WITH OTHER TRADES, WHICH MAY REPRESENT CHANGES TO THE DRAWINGS TO ACCOMMODATE THE INSTALLATION OF NEW WORK, IS PERFORMED WITHOUT ADDITIONAL COST TO THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, MECHANICAL, GRADING, FIRE PROTECTION, AND OTHER CONSIDERATIONS.
7. ALL WORK MUST BE EXECUTED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES. ALL WORK MUST BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. THE SUBCONTRACTORS AND GENERAL CONTRACTOR MUST COORDINATE WITH ALL TRADES DURING THE DEMOLITION AND CONSTRUCTION PLANNING PROCESS. THIS CONTRACTOR MUST REVIEW ALL ASPECTS OF THEIR WORK PRIOR TO BEGINNING TO INSURE PROPER CLEARANCES AND CAPACITIES EXIST.
8. THE CONTRACTOR MUST BE LICENSED AND INSURED IN THE COUNTY AND STATE AS APPLICABLE. SUBMIT TO THE OWNER AS DIRECTED PROOF OF INSURANCE INCLUSIVE OF LIMITS OF LIABILITY AND DEDUCTIBLE INFORMATION. ALL SUBCONTRACTORS OF SUBCONTRACTORS MUST BE LICENSED AND INSURED TOO.
9. SINCE THE PLANS ARE DIAGRAMMATICAL IN NATURE FOR CLARITY PURPOSES, THE CONTRACTOR MUST SUBMIT A SHOP DRAWING WHERE DEMOLITION IN COMPLEX OR COULD AFFECT OTHER ASPECTS OF THE WORK OR THAT MAY INCLUDE SUBSTANTIAL DIFFERENCES FROM THE PLANS, INCLUDING OF CALCULATIONS AND OTHER ITEMS TO THE OWNER PRIOR TO COMMENCING WORK. THE SHOP DRAWINGS MUST INCLUDE EXACT LOCATIONS, SPECIAL FITTINGS, AND VERIFICATION THAT THIS INFORMATION IS ACCURATE.
10. THE CONTRACTOR AND ALL SUBCONTRACTORS WARRANT THAT THEY HAVE VISITED THE PROJECT SITE, REVIEWED ALL OF THE CONTRACT DOCUMENTS, AND ARE OTHERWISE FAMILIAR WITH THE REQUIREMENTS NECESSARY TO COMPLETELY EXECUTE THE WORK REQUIRED TO COMPLY WITH THE DIAGRAMMATICAL WORK DEPICTED HEREIN. FURTHER, THE CONTRACTOR WARRANTS THAT, IN POSSESSING A THOROUGH KNOWLEDGE OF THE CODE AND INDUSTRY STANDARD CONSTRUCTION PRACTICES, THE BID FOR PERFORMING THE WORK WILL CONTAIN ALLOWANCES FOR NORMAL DIFFICULTIES EXPERIENCED DURING THE CONSTRUCTION OF A BUILDING OF THIS TYPE. MODIFICATIONS TO THE CONTRACT, WHICH DO NOT ADD VALUE TO THE PROJECT, WILL NOT BE CONSIDERED VALID.
11. THIS DESIGN IS NON TRANSFERABLE. IT IS INTELLECTUAL PROPERTY WITH TRADE SECRETS TO BE UTILIZED ON THIS PROJECT ONLY.
12. THE PLANS INDICATE QUANTITIES ON THE PLANS TO ENHANCE THE UNDERSTANDING OF THE DESIGN CONCEPT. THE QUANTITIES ARE RELIABLE, BUT NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE CORRECT QUANTITIES OF ITEMS REQUIRED TO REMOVE AND DELIVER A COMPLETE FUNCTIONING BUILDING.
13. THIS PROJECT MAY HAVE AREAS OF AN UNUSUAL INTENSE MEP COORDINATION REQUIREMENT, AND IT IS THE RESPONSIBILITY OF THE MEP TRADES TO INSURE THAT ALL ASPECTS OF THE WORK ARE PROPERLY REMOVED AND PROVIDED TO DELIVER A COMPLETE AND FUNCTIONING MEP SYSTEM.
14. WHERE THERE EXISTS A DISCREPANCY BETWEEN THE PLANS, DOCUMENTS, OR CODE THE CONTRACTOR SHALL PROVIDE FOR THE MOST EXPENSIVE METHOD AND ADVISE THE ARCHITECT IN WRITING PRIOR TO PERFORMING ANY WORK.

ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

PROJECT: LAFAYETTE HOUSE
PORTSMOUTH, NEW HAMPSHIRE

ARCHITECT:
PROJECT CONSULTING ENGINEER:

JOSHUA W. CHAPMAN P.E. LEED AP, PRINCIPAL



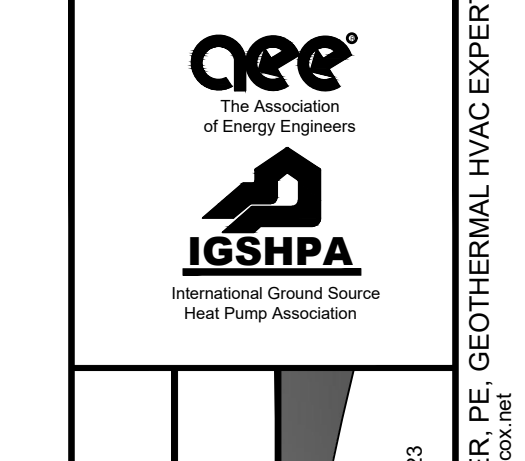
THIS DIAGRAMMATIC DESIGN IS NON TRANSFERABLE AND REPRESENTS A COMPLETE SYSTEM.

DESIGNED BY: RSM/JWC DATE: 10/10/2022
DRAWN BY: DPG/DMMIC
SCALE: AS NOTED CHECKED BY: RSM/JWC

PLUMBING DETAILS & RISERS

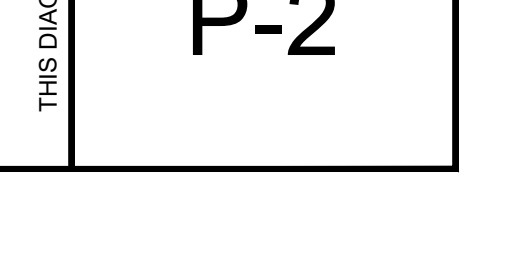
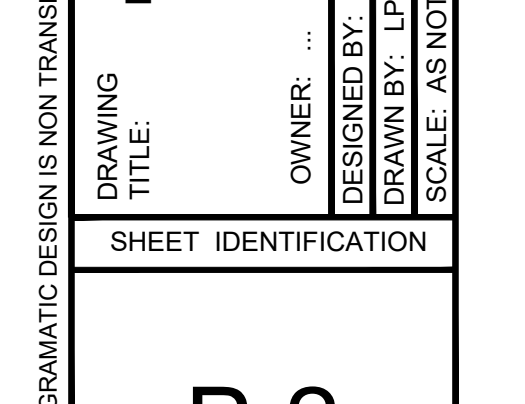
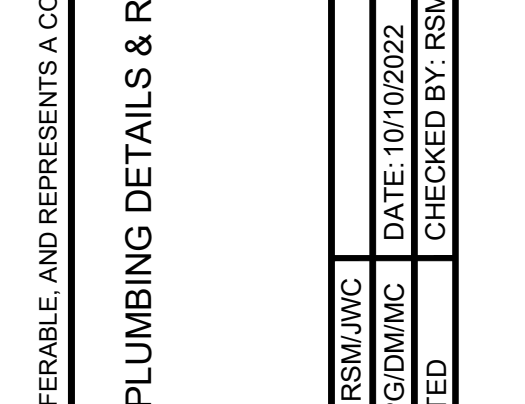
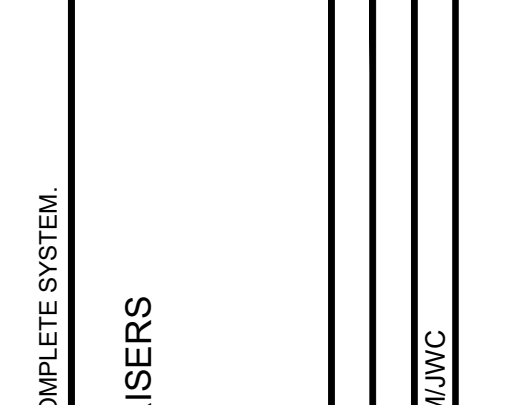
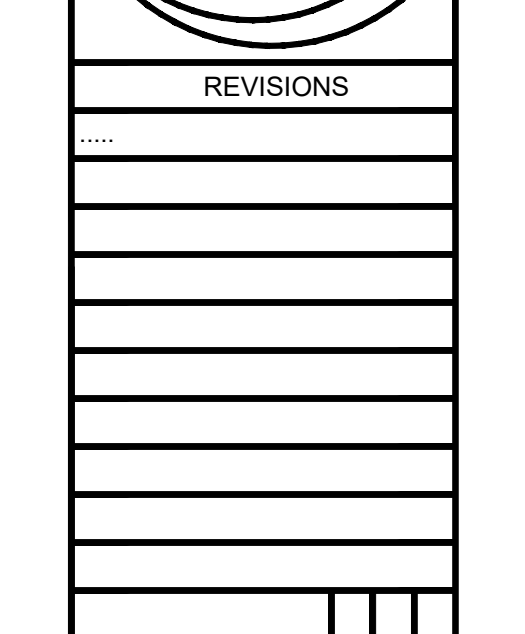
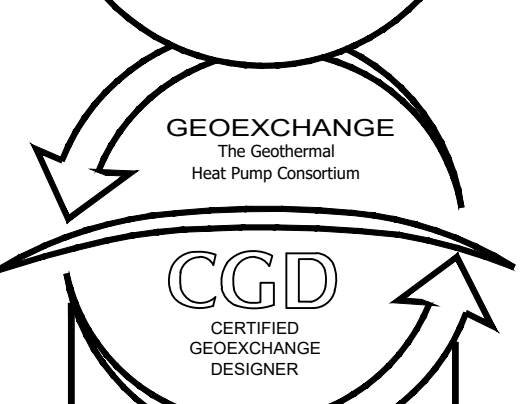
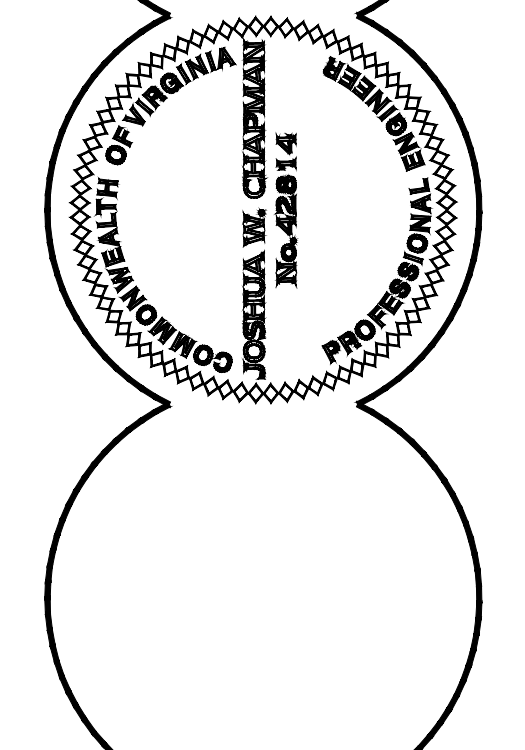
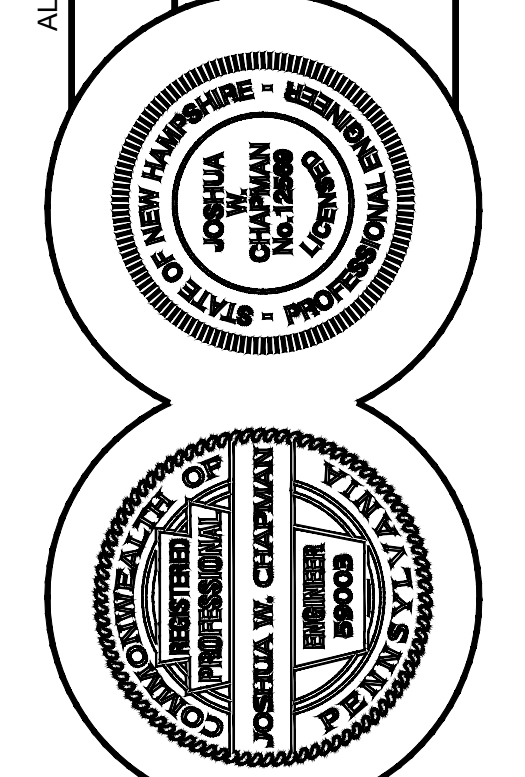
SHEET IDENTIFICATION

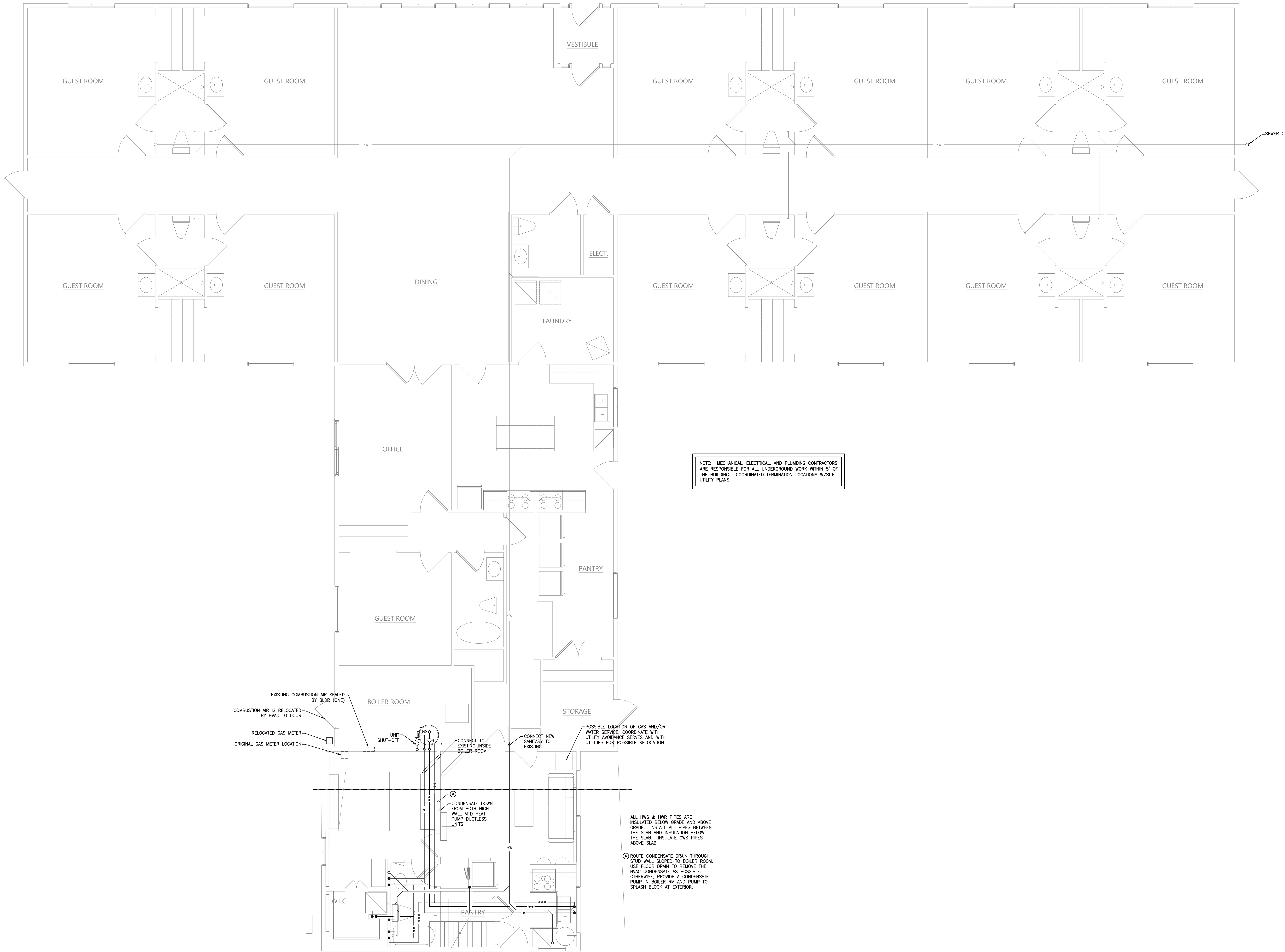
P-2



SCOT ENGINEERING
INTERNATIONAL Ground Source Heat Pump Association
8000 BURNING WOOD COURT, SUITE 100, NEWARK, VA 23093-2723
PHOTOGRAPHY: 757-225-5741, 1-800-451-5555
PROJECT: 2021-12-01-2022-03-01

JOSHUA W. CHAPMAN P.E. LEED AP, PRINCIPAL





PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

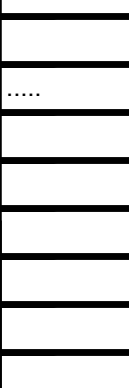
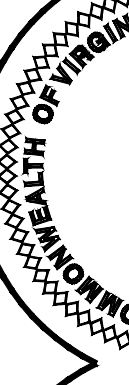
NOTE: MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS ARE RESPONSIBLE FOR ALL UNDERGROUND WORK WITHIN 5' OF THE BUILDING. COORDINATED TERMINATION LOCATIONS W/SITE UTILITY PLANS.

EXISTING COMBUSTION AIR SEALED BY BLDG (ONE)
 COMBUSTION AIR IS RELOCATED BY HVAC TO DOOR
 RELOCATED GAS METER
 ORIGINAL GAS METER LOCATION
 UNIT SHUT-OFF
 CONNECT TO EXISTING INSIDE BOILER ROOM
 CONNECT NEW SANITARY TO EXISTING
 POSSIBLE LOCATION OF GAS AND/OR WATER SERVICE, COORDINATE WITH UTILITY AND GAS SERVICES AND WITH UTILITIES FOR POSSIBLE RELOCATION

CONDENSATE DOWN FROM BOTH HIGH WALL WITH HEAT PUMP DUCTLESS UNITS
 A1 ROUTE CONDENSATE DRAIN THROUGH STUD WALL SLOPED TO BOILER ROOM. USE FLOOR DRAIN TO REMOVE THE HVAC CONDENSATE AS POSSIBLE. OTHERWISE, PROVIDE A CONDENSATE PUMP IN BOILER RM AND PUMP TO SPLASH BLOCK AT EXTERIOR.

ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

PROJECT: LAFAYETTE HOUSE
 PORTSMOUTH, NEW HAMPSHIRE



THIS DIAGRAMATIC DESIGN IS NON-TRANSFERABLE AND REPRESENTS A COMPLETE SYSTEM.

OWNER: ...

DESIGNED BY: RSM/JWC DATE: 10/10/2022

DRAWN BY: DP/GDM/MJC CHECKED BY: RSM/JWC

SCALE: AS NOTED

TITLE: FLOOR PLAN

SHEET IDENTIFICATION

PROJECT: LAFAYETTE HOUSE

ARCHITECT: ...

CONSULTING ENGINEER: SCOT ENGINEERING

INTERNATIONAL Ground Source Heat Pump Association

INTERNATIONAL Ground Source Heat Pump Association

THE ASSOCIATION OF Energy Engineers