



85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

July 20, 2021

Portsmouth Planning Board
Attn: Dexter Legg
1 Junkins Avenue, Suite 3rd Floor
Portsmouth, NH 03801

**RE: Response Letter 2 – TAC Comments
3400 Lafayette Road, Portsmouth, NH
Tax Map 297, Lot 11
JBE Project No. 20737**

Dear Mr. Legg,

Jones & Beach Engineers, Inc., is in receipt of comments from the TAC members dated July 6, 2021. Original review comments are italicized, and we offer the following responses below:

- a. *If an AOT Permit is required then no additional third party drainage review is required by the City at this time.*
RESPONSE: An AoT permit will be required for this project.
- b. *Water main pipe is required to be ductile iron. All valves and hydrants to open right.*
RESPONSE: The detail of the water trench has been updated to say ductile iron.
- c. *Please provide an update on the status of compliance with zoning as noted previously.*
RESPONSE: We do need a variance and the variance is being applied for.
- d. *Please identify which types of community space you are proposing (see section 10.5A.45 of the Zoning Ordinance).*
RESPONSE: Community Space table has been provided on sheet OVR.
- e. *Please indicate how you are satisfying the requirements for provision of bicycle parking (see section 10.1116 of the Ordinance)*
RESPONSE: Bike rack locations and detail have been provided.
- f. *In your responses to previous TAC comments, you indicated you will meet City standards as listed. Have plans and details been updated to reflect that?*
RESPONSE: Plans and details have been revised according to City Standards.
- g. *Hydrant locations shall be approved by the Fire Dept. prior to Planning Board review.*
RESPONSE: Hydrants have been added near station 4+25 and 9+80.

- h. *Per Section 10.1112.32 of the Zoning Ordinance, you are required to provide 10 visitor spaces (1 for every 5 dwellings) Please explain how you propose to satisfy this requirement?*

RESPONSE:. Visitor parking calculations have been added to Note #4 on Sheet C2.

- i. *You provided a number of documents related to the existing conservation easement on the property. Please explain whether these documents indicate that recreational trails and related improvements are permitted.*

RESPONSE: All of the documents we have found have been submitted to the City for their review. The NRP zone allows trails and the existing easement area is entirely within the NRP zone.

- j. *Your plans do not appear to be in compliance with Section 10.5B90 of the Zoning Ordinance (Pedestrian Access and Circulation). A minimum 8' wide pedestrian walkway should be provided throughout the site connection to the main entrances of buildings. Your internal pedestrian network is incomplete and the project should consider off-site connection to abutting land use along Route 1.*

RESPONSE: Where are we going to put the 8' pedestrian walkway

- k. *The stormwater for this site should not outlet into the wetland area that has been designed for mitigation. While the stormwater is being treated complete removal of all contaminants (i.e. chloride) is not possible with current technology. However, there will be impacts to this wetland area over the longterm if chlorine and other contaminants are allowed to be introduced to the wetland mitigation area.*

RESPONSE: Green SnoPro note was already on Note #20 on sheet C2.

- l. *There is community space proposed in an area with a conservation easement to the benefit of the City. This area is already accessible as community space and already protected with a conservation easement. It does not seem appropriate to use this area as credit for community space.*

RESPONSE: We are proposing a conservation easement on 10.3 acres of land and that counts towards our required community space. We are not counting the existing conservation easement as part of our community space.

- m. *Please provide a statement listing the green building components planned for this project.*

RESPONSE: A green building statement was submitted with our last submission but we have revised it and are submitting a new statement attached along with this letter.

- n. *The overall site plan is still too crowded and dense with too much impervious surface and too little usual internal open space. Consideration should be given to removing (or potentially relocating) the five units (in two separate buildings) located at the end of the development.*

RESPONSE: We revised the layout after meeting with City staff to modify the site design. We relocated the 2 units at the end of the road and reconfigured the layout. We have added textured pavement in front of units 39-50 to break up the asphalt in front of these units.

The site density far exceeds what we are proposing. We have 15.55 acres of Gateway G1 land which allows for 248 units. After we place a conservation easement on 10.3 acres of Gateway land, we have 5.25 acres of developable land remaining which allows a density of 84 units. We are only proposing 50 units on the property and therefore we do not feel we are too crowded or dense of a development.

- o. Egress from the last two units appear to require a vehicle to back up to the cul-de-sac in order to exit the site.*

RESPONSE: The 2 units have been relocated and the backup issue at the end of the road no longer exists.

- p. Snow storage areas appear inadequate due to the density of the proposed development.*

RESPONSE: Snow storage areas have been expanded.

- q. Additional usable or active community space is needed within the development area.*

RESPONSE: We do not feel that we need to provide additional community space as we are required to provide 10% of the total lot size or 4.4 acres of community space. We are providing a conservation easement on 10.3 acres of land, a dog park of 2,050 sf, a pocket park of 4,050 sf and proposed trails of 23,200 sf for a total of 11 acres. The conservation easement will have a proposed trail for the public to allow them to walk onto the property and connect to another proposed trail that leads to the sewer easement existing trail.

- r. Any trail system should consider connection to Coach Road and potential connection to Nathaniel Drive.*

RESPONSE: The proposed trail system is connected to Coach Road and DPW said at the last TAC meeting that the sewer easement trail doesn't connect to Nathaniel Drive because of a detention pond or wetland located on the abutting property.

- s. It should be clarified whether the applicant is proposing to deed an easement or the fee to the city got the proposed open space at the back of the site. Note that the City owns all the abutting property (in 6 separate parcels) to the northwest.*

RESPONSE: We are willing to consider either option for the proposed conservation easement land.

- t. The proposed concrete sidewalk should be set back at least two feet (with a turf belt) from the proposed sloped granite curb in order to preserve the edge. Conversely, vertical granite curb should be used if space is unavailable for the turf belt.*

RESPONSE: We have made the sidewalk 8' wide concrete with vertical granite curbing.

- u. In order to break up the massing along the main driveway, all garage door should be covered with either a second story balcony or a small projecting roof structure. Lighting should also be shown above the garage doors.*

RESPONSE: We are providing preliminary renderings showing that on homes with balconies on the garage side, the balconies will be above the garage door.

On buildings that do not have a balcony on the garage side, we are providing a projecting roof structure above the garage doors. As noted, lighting will be provided above or beside the garage doors.

The following is provided in support of this letter:

1. Two (2) Full Size Plan Sets.
2. One (1) Half-Size Plan Set.
3. Green Building Statement
4. Updated Building Renderings

Thank you very much for your time. If you have any questions, or need further assistance, please contact our office.

Very truly yours,

JONES & BEACH ENGINEERS, INC.

Joseph Coronati

Joseph Coronati

Vice President

cc: Michael Green, Green & Company (via email)
John Kuzinivich, Esq (via email)
John Bosen, Esq (via email)
Greg Mikolaities, consultant (via email)
Jamie Long, GZA (via email)
Lindsay White, GZA (via email)
Tom Severino (via email)



Bruce A. Bennett, Principal
Manager Building Energy Services
bruce.bennett@gdsassociates.com
direct 603-391-.0052
cell 603-860-0968

Green & Co
Attn: Michael Green
11 Lafayette Road, P.O. Box 1297
North Hampton, NH 03862

RE: 3400 Lafayette Road, Portsmouth, New Hampshire

Hello Michael:

Thank you for your continued commitment to NH Saves. We look forward to working with you on the energy ratings for the units being constructed at 3400 Lafayette Road. Our team here at GDS is happy to be working with Green and Company on another NH Saves project.

For the benefit of others not familiar with the NH Saves and the Home Energy Rating System index (HERS index) and what it means for homes receiving the label, these units are modeled and analyzed to estimate annual energy consumption but are more than just energy efficient. The program also includes an element of building durability and healthy building environments. The process includes energy modeling and performance-based testing as well as on-site inspections to confirm the modeling inputs, to identify opportunities to improve insulation and air-sealing prior to drywall, duct leakage testing, and blower door testing.

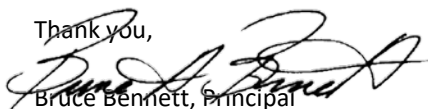
These homes are by design at least 30% more efficient than code built home (IECC 2015) and include high efficient HVAC and water heating equipment, insulation installed to attain an installation grading of grade, excellent window efficiencies (u-value ≤ 0.30) and high efficacy lighting and ENERGY STAR appliances.

Because NH Saves encourages tight, well insulated buildings, the program does not want to create any issues with indoor air quality. Therefore, the program requires some means of whole-house ventilation (compliant with ASHRAE Standard 62.2) and includes a moisture management checklist. All of this adds a non-energy benefit to constructing a home that is energy efficiency, healthy and durable.

Our plan is to utilize the NHSaves program (sponsored by Eversource, Unitil, Liberty and NHEC) to provide support for modeling and inspections.

Once we receive a set of plans we can begin the take-off and energy modeling. In the meantime, as always, please contact me with any questions or design changes that may impact the HERS index.

Thank you,



Bruce Bennett, Principal

GDS-Home Energy Ratings of New England is a RESNET-accredited Home Energy Rating Provider and registered ENERGY STAR Partner



1155 Elm Street • Suite 702 • Manchester, NH 03101 • 603-656-0336 • Fax 866-611-3791 • www.gdsassociates.com
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GATEWAY TOWNHOUSE:
SMALL FOOTPRINT ATTACHED SINGLE
FAMILY RESIDENTIAL BUILDINGS HAVE
A NARROW MASSING AND MAY BE
LOCATED ON INDIVIDUAL OR COMMON
LOTS. EACH UNIT IS SEPARATED
HORIZONTALLY BY A COMMON WALL.

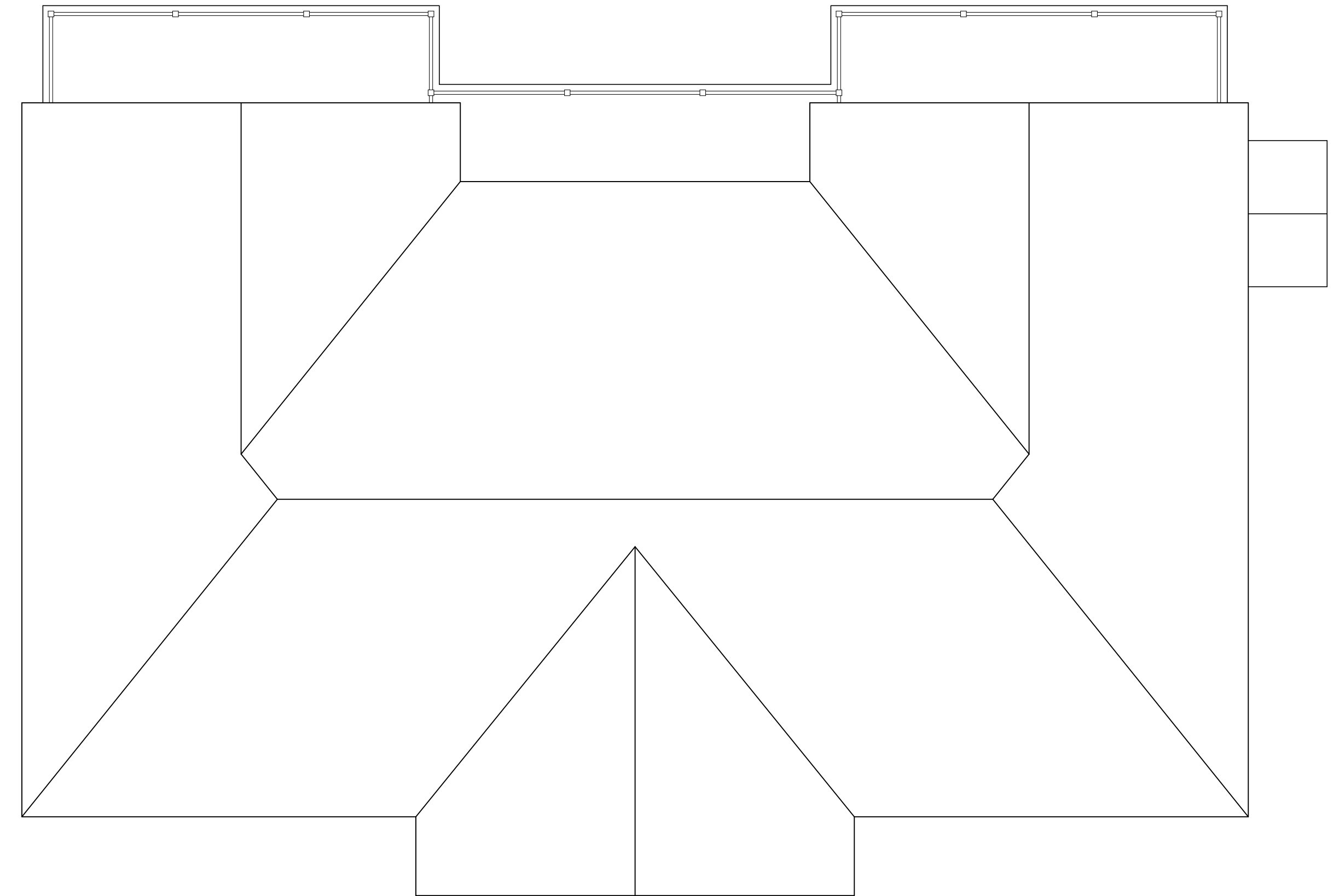
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

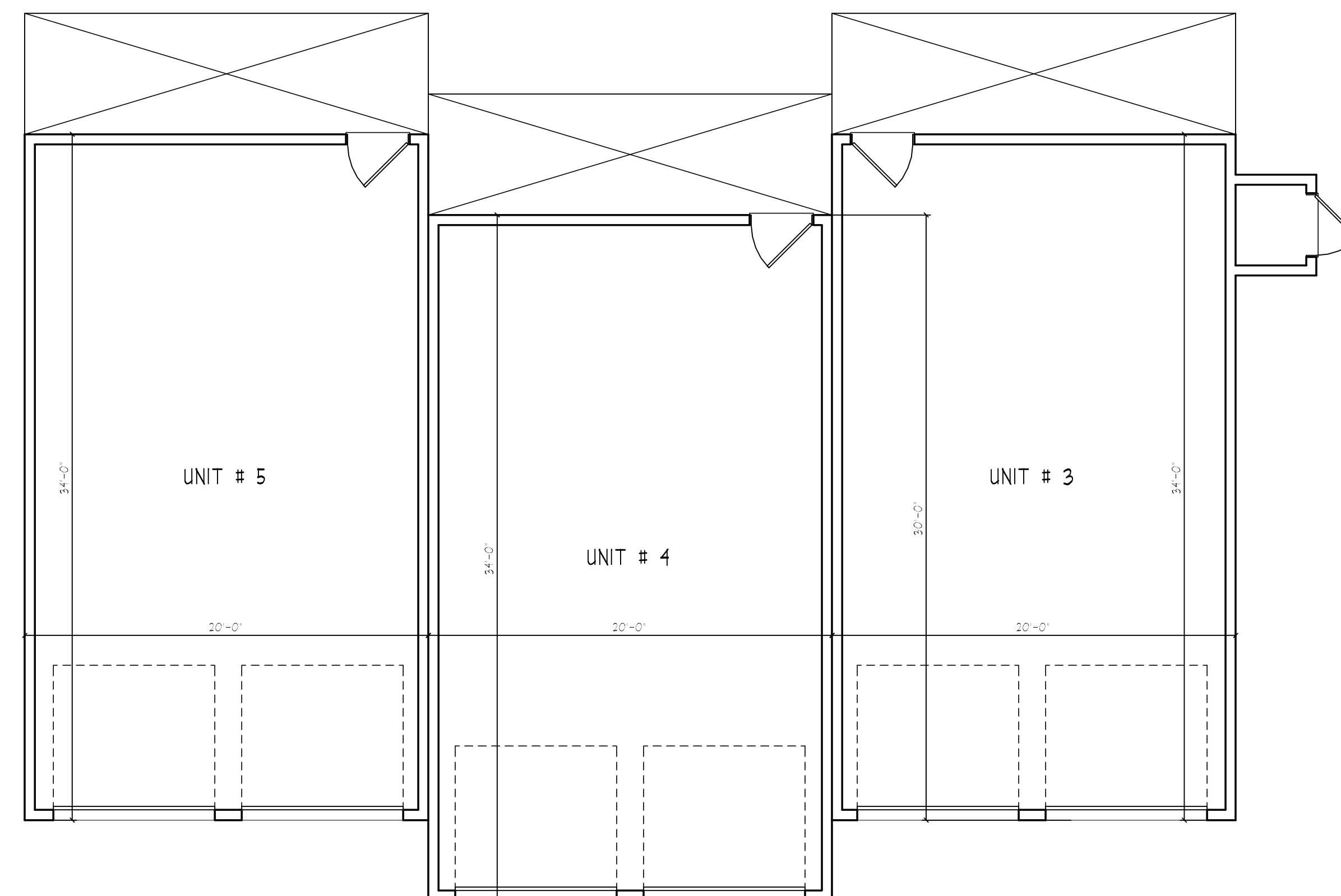
FACADE MODULATION MET BY STEPPING
UNITS, THE USE OF DECKS AND
RECESSED / COVERED ENTRIES PER
FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS
THAN EVERY FOURTH UNIT MEETING
MAXIMUM ALLOWABLE LENGTH PER
SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM
ALLOWANCE OF 8 UNITS



BUILDING # 2



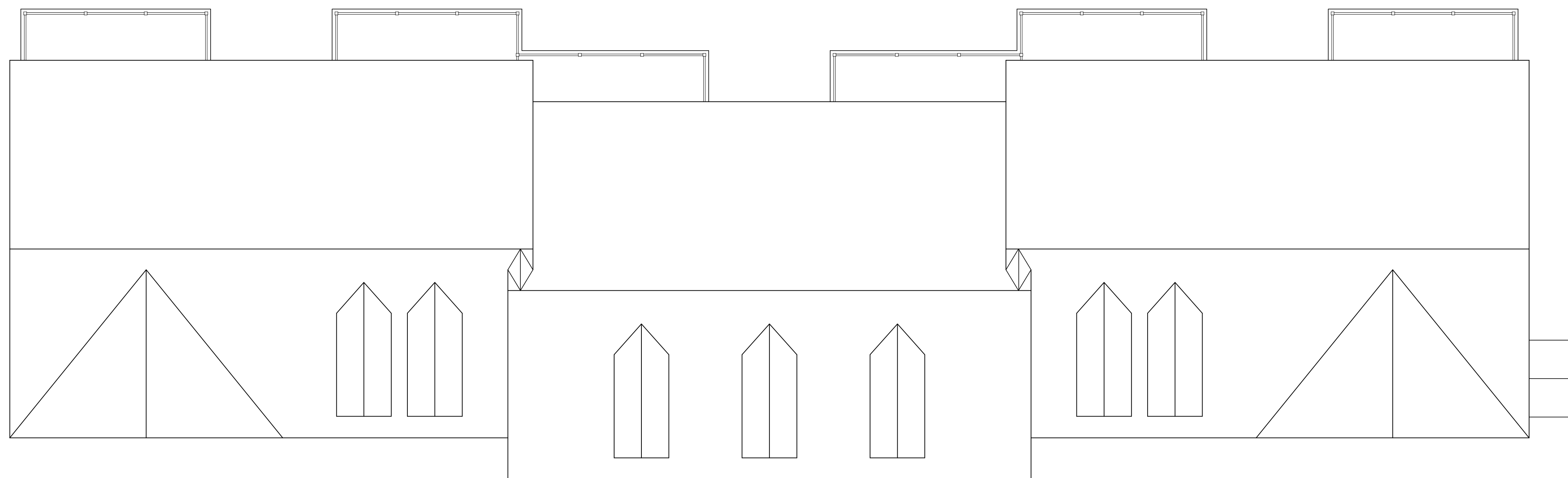
BUILDING # 2



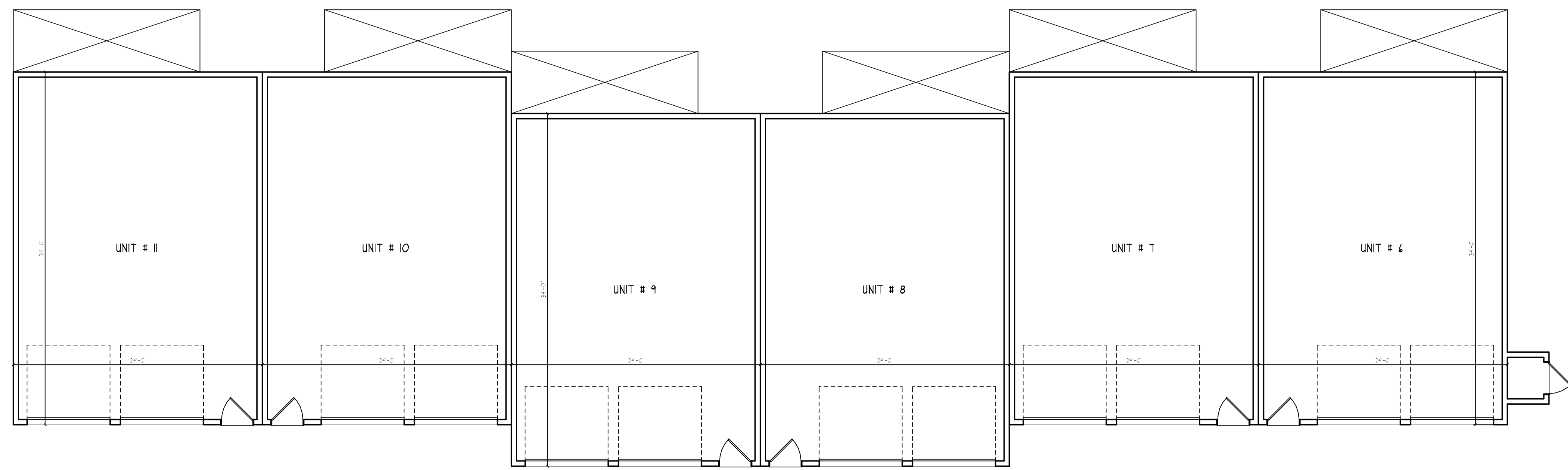
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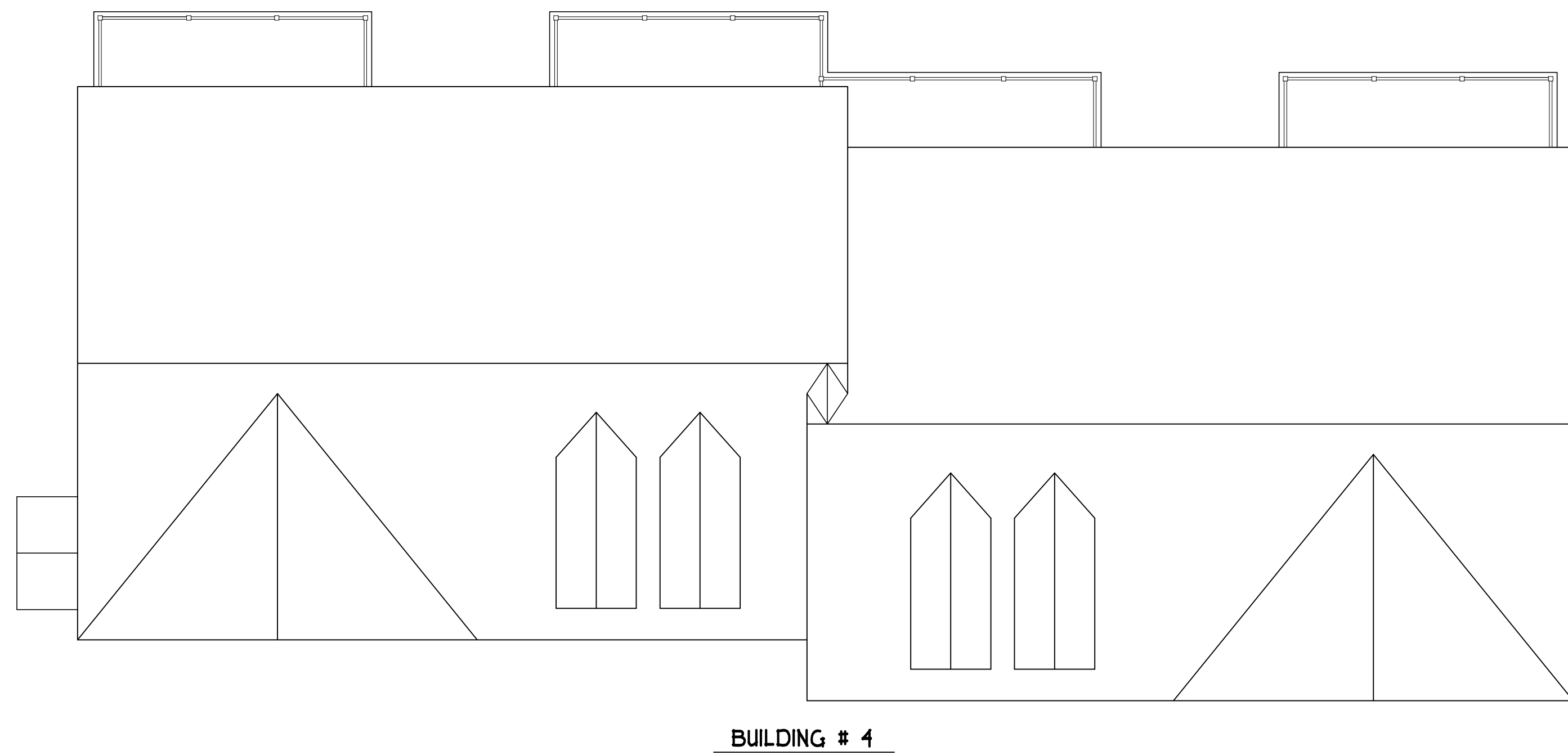
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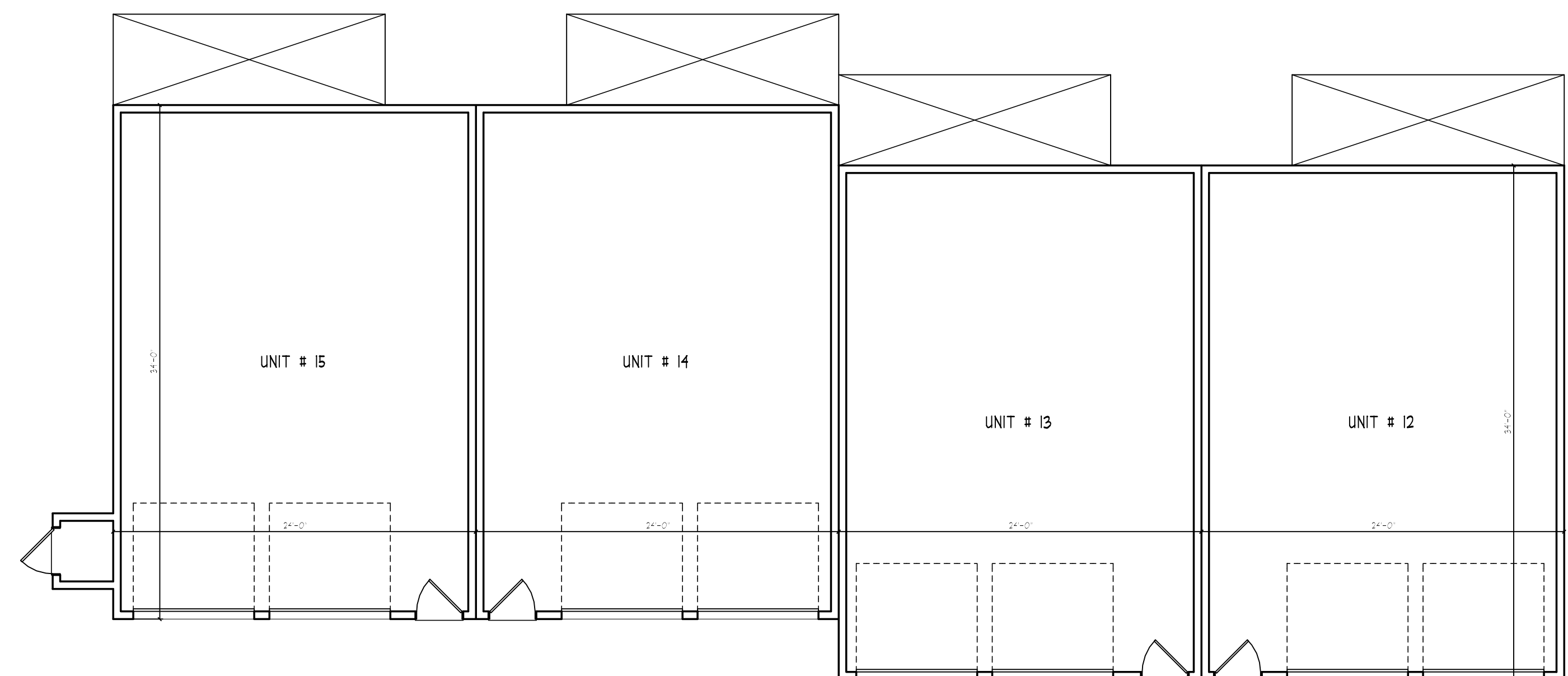
BUILDING # 3



BUILDING # 3



BUILDING # 4



BUILDING # 4



FRONT ELEVATION

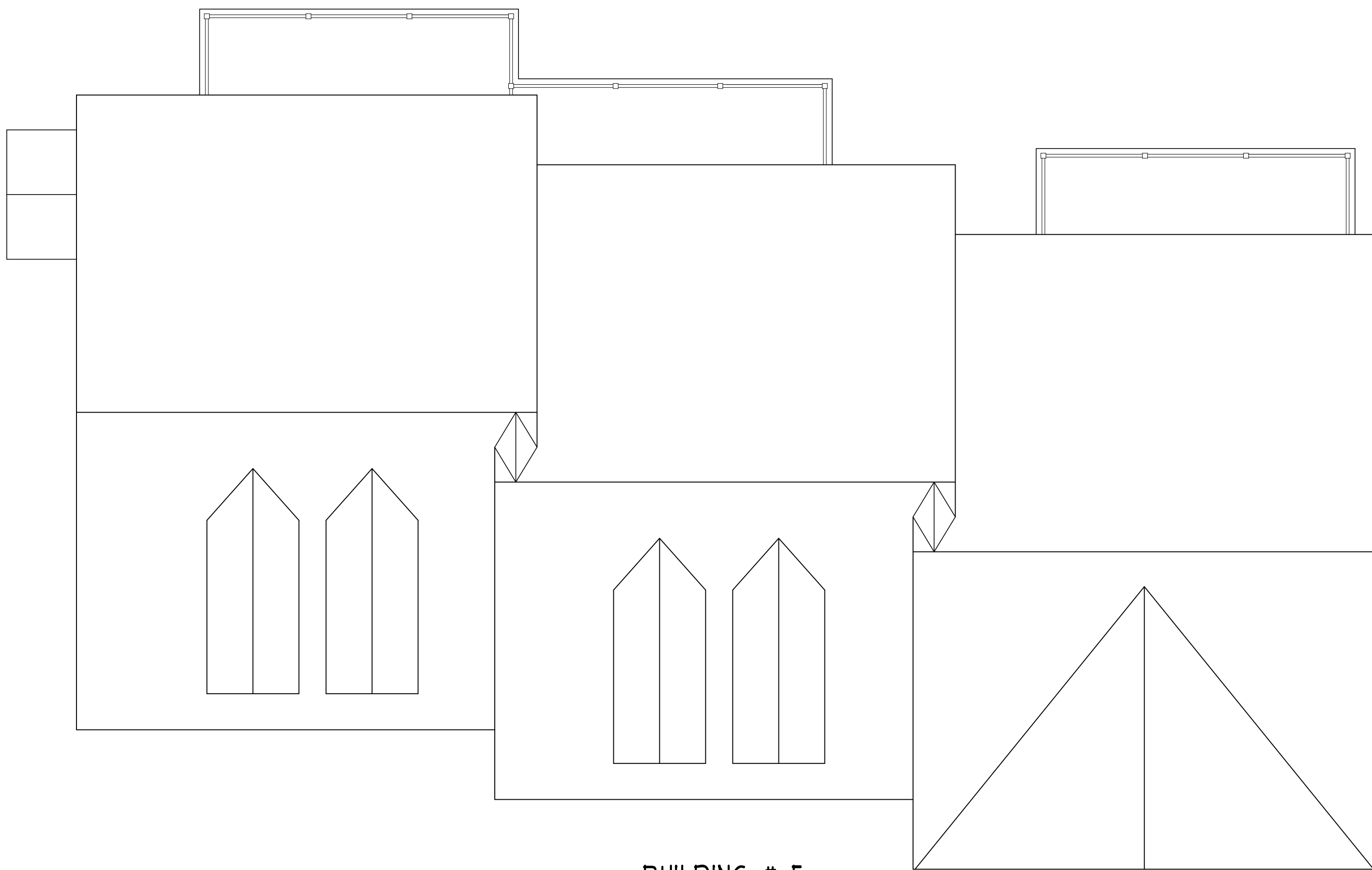
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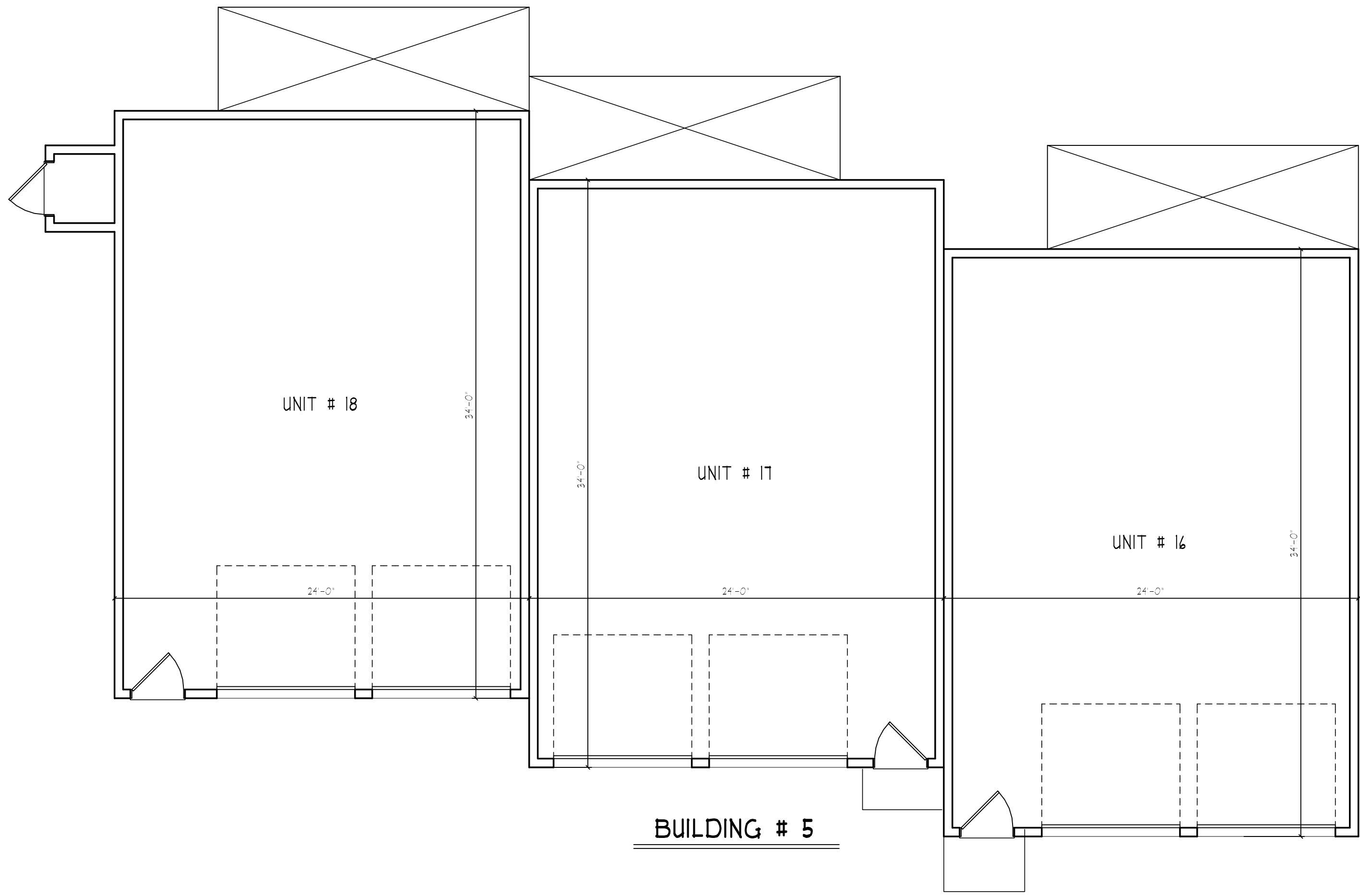
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BUILDING # 5



BUILDING # 5



FRONT ELEVATION

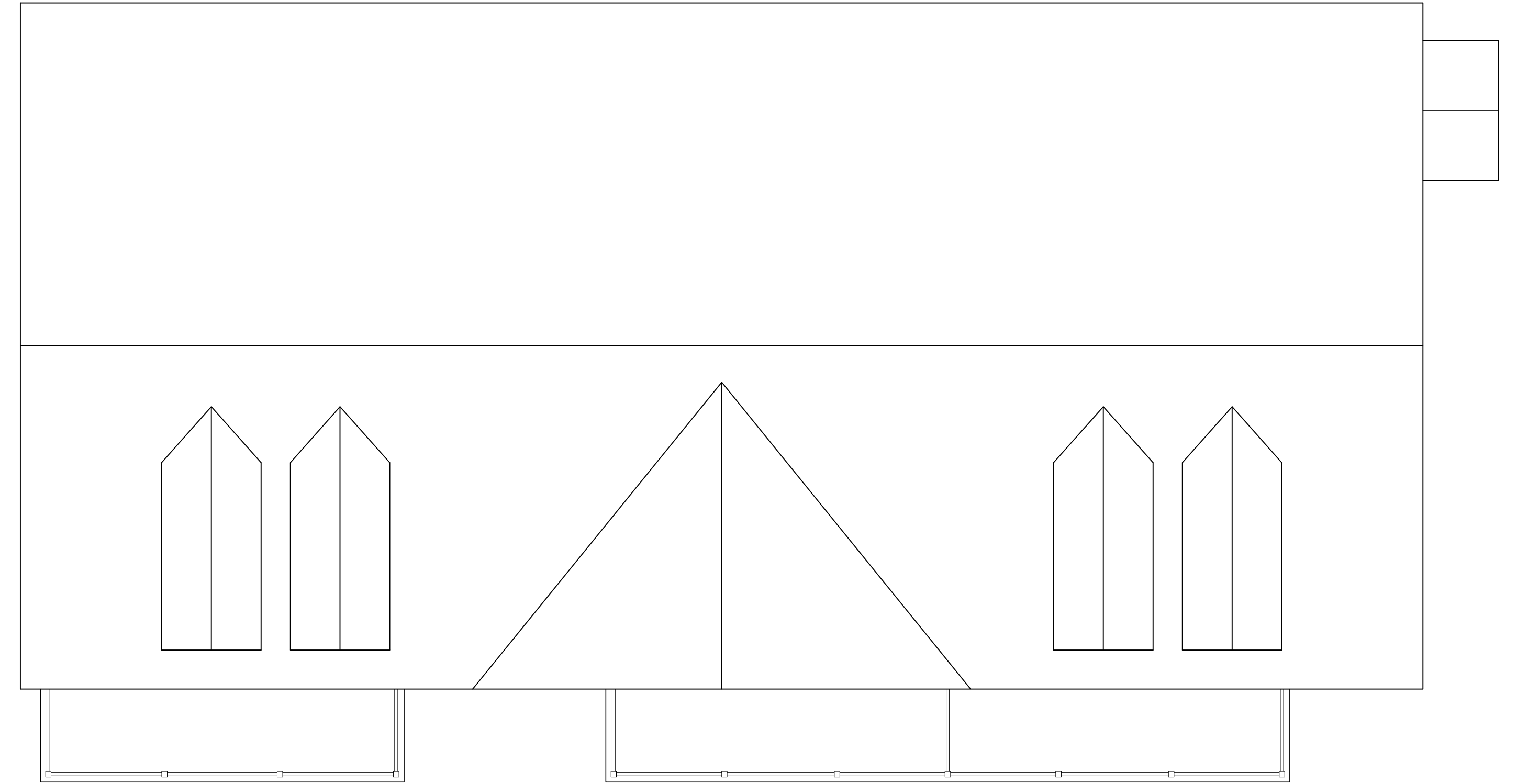
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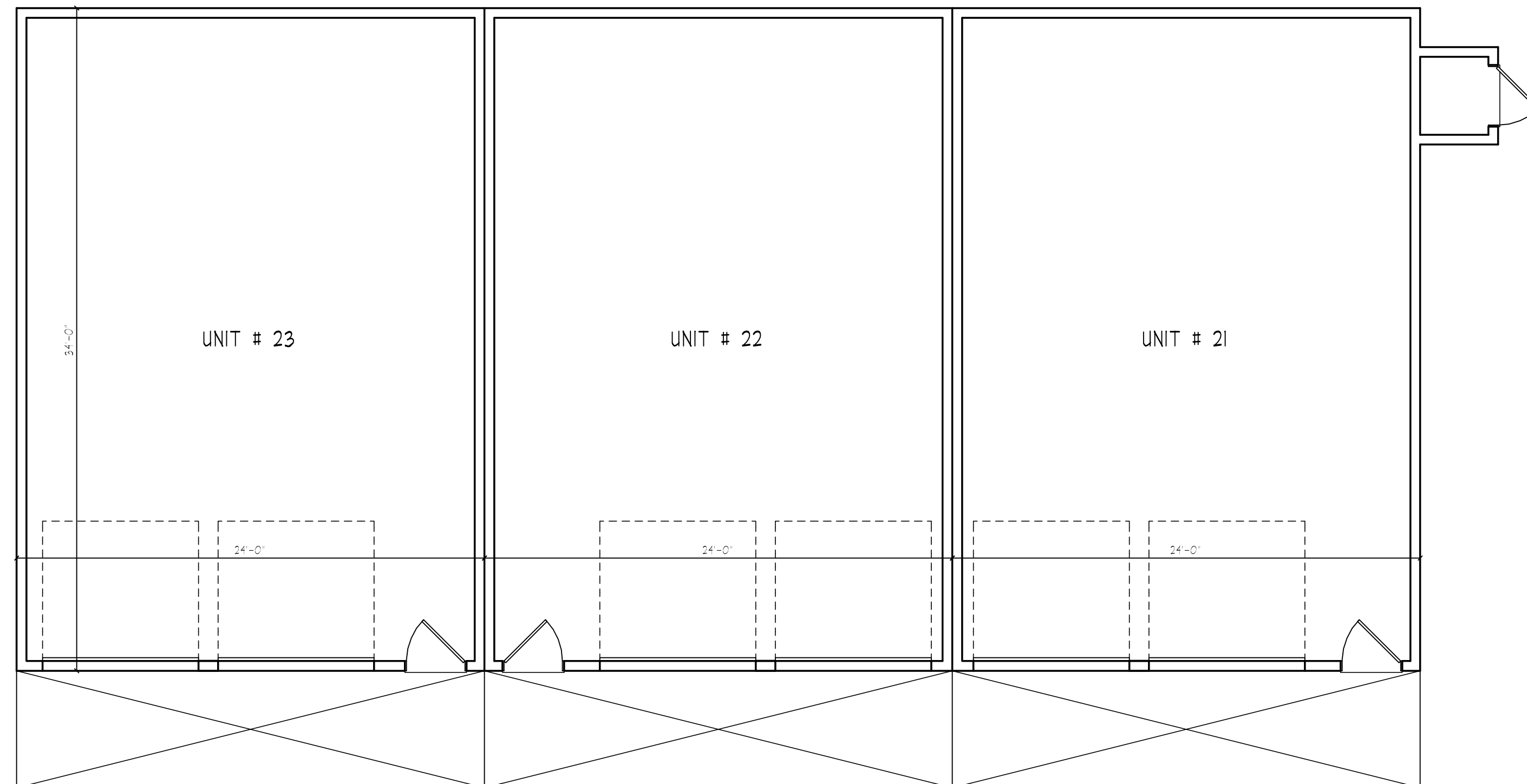
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BUILDING # 1



BUILDING # 1



FRONT ELEVATION

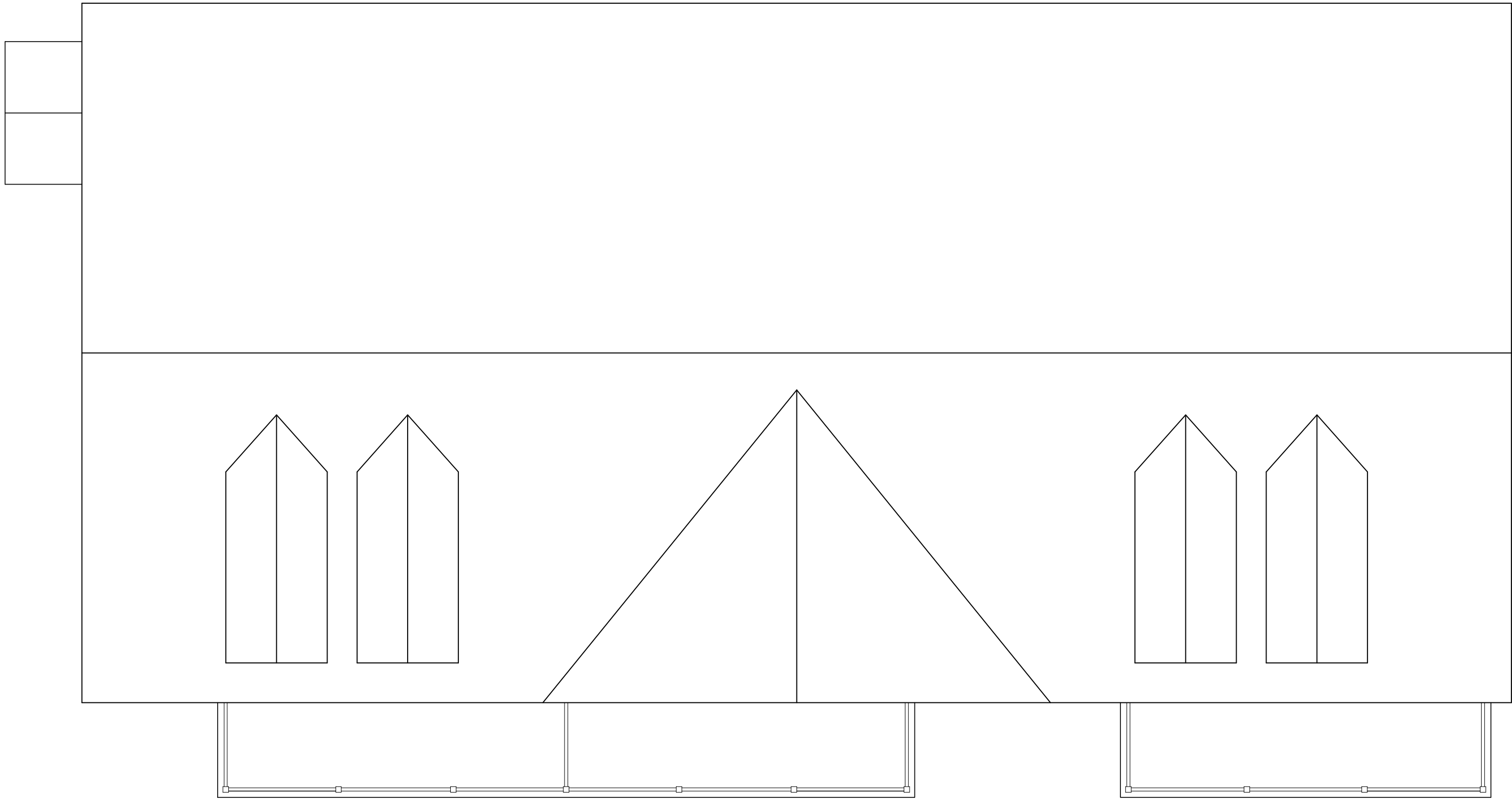
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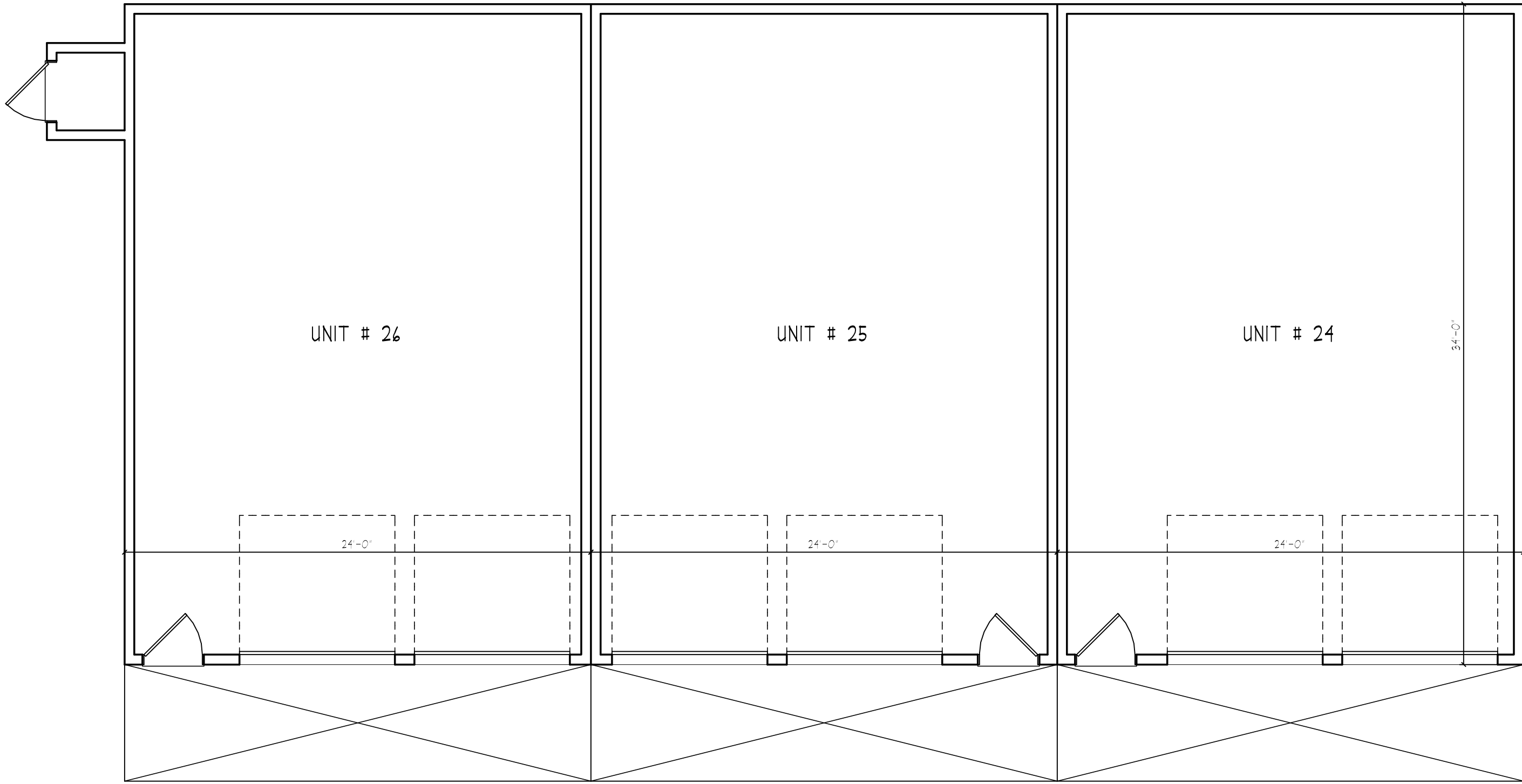
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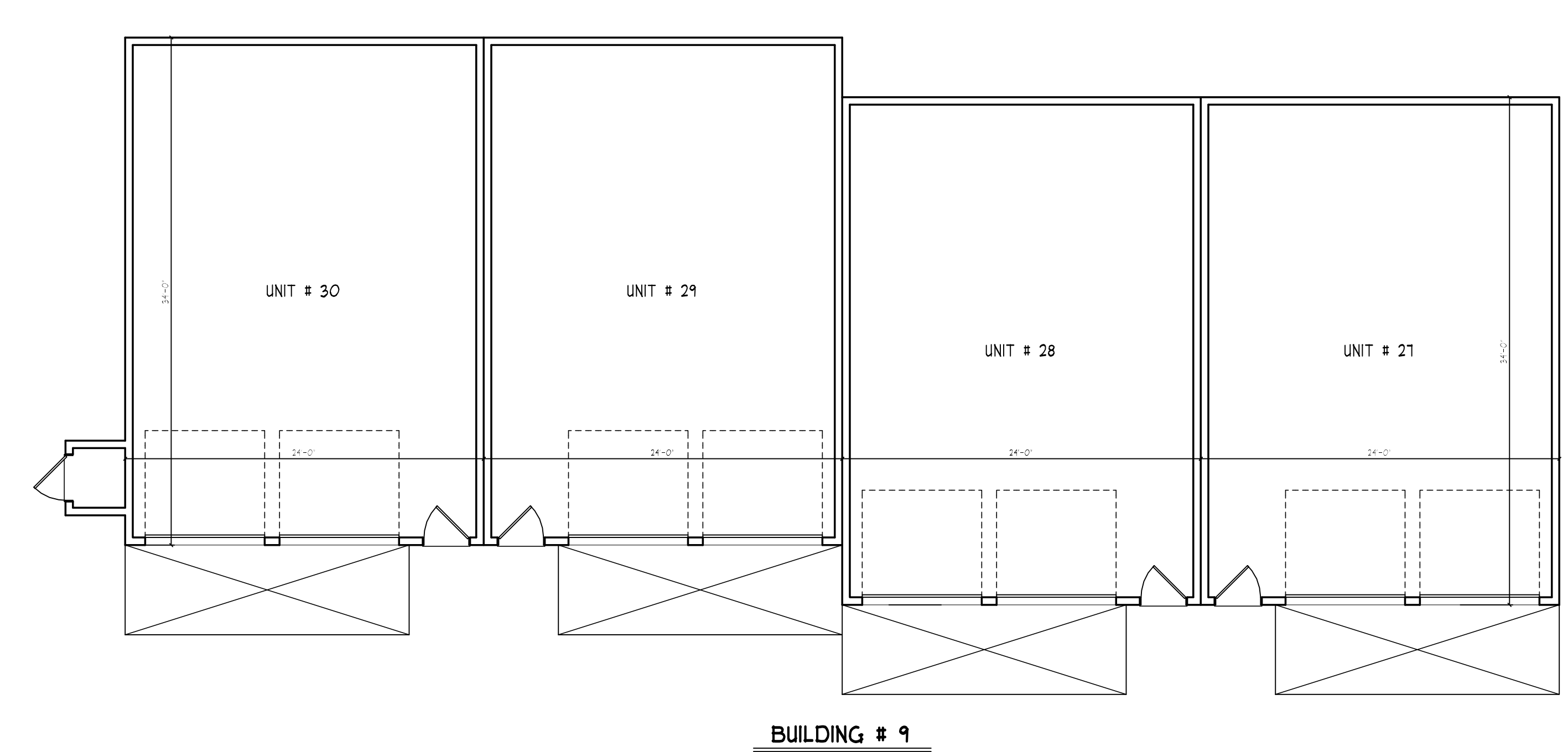
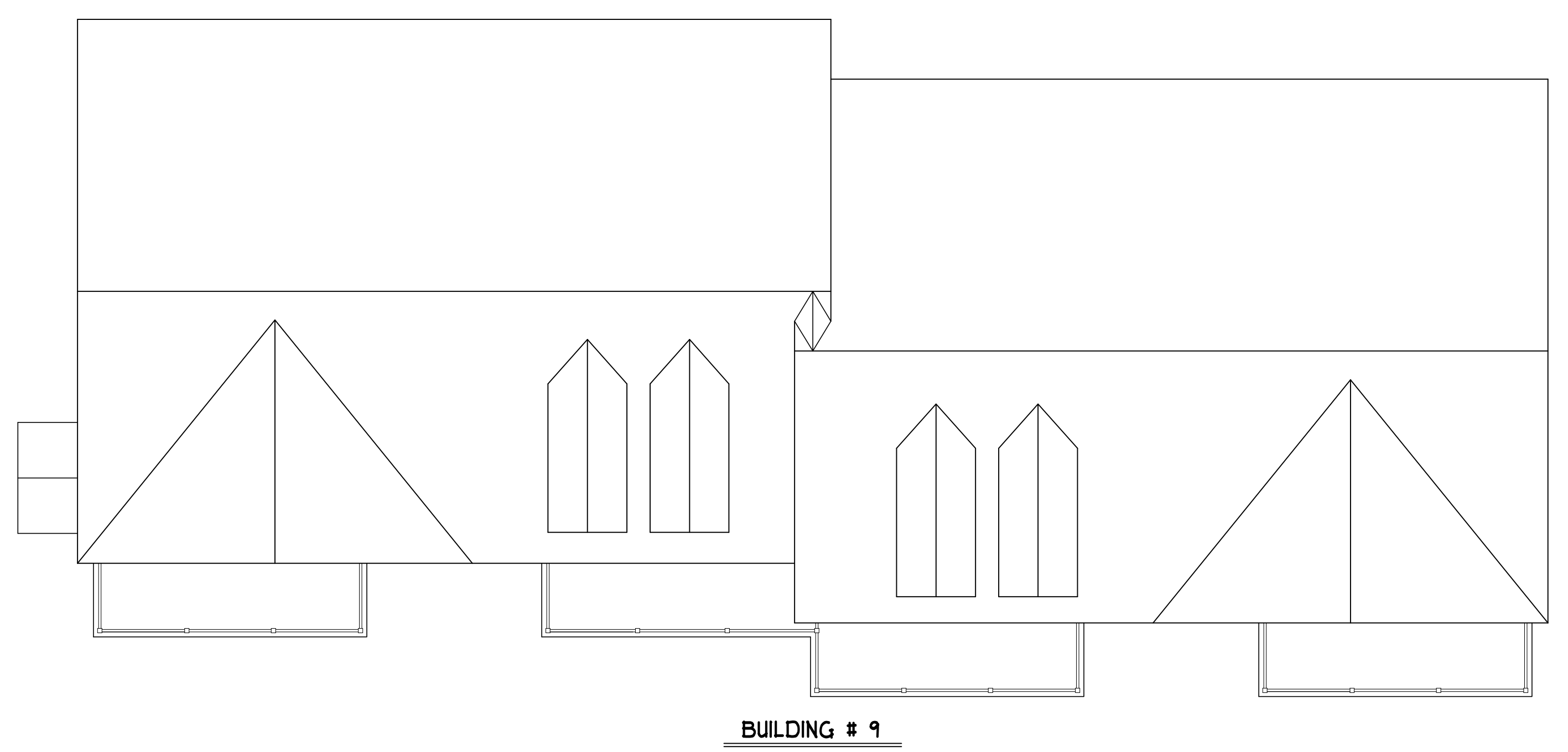
BUILDINGS DO NOT EXCEED MAXIMUM
ALLOWANCE OF 8 UNITS



BUILDING # 8



BUILDING # 8



MINIMUM ROOF SLOPE GUIDELINES
MET BY USING 8:12 ROOF SLOPE
ON MAIN ROOF AND 10:12 ROOF
SLOPE ON GABLES

FACADE MODULATION MET BY STEPPING
UNITS. THE USE OF DECKS AND
RECESSED / COVERED ENTRIES PER
FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS
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MAXIMUM ALLOWABLE LENGTH PER
SECTION 10.5A42.20.

BUILDINGS DO NOT EXCEED MAXIMUM
ALLOWANCE OF 8 UNITS

BUILDINGS OVER 100'-0"
ARE BROKEN UP TO
LOOK LIKE A SERIES OF
SMALLER BUILDINGS BY
STEPPING UNITS BACK,
CHANGING ROOF LINES,
ADDING DORMERS, ETC.

CEILING HGT.
27'-5 1/8" A.F.F.

THIRD FLR.
18'-4" A.F.F.

SECOND FLR.
9'-8" A.F.F.

GROUND FLR.
0'-0" A.F.F.

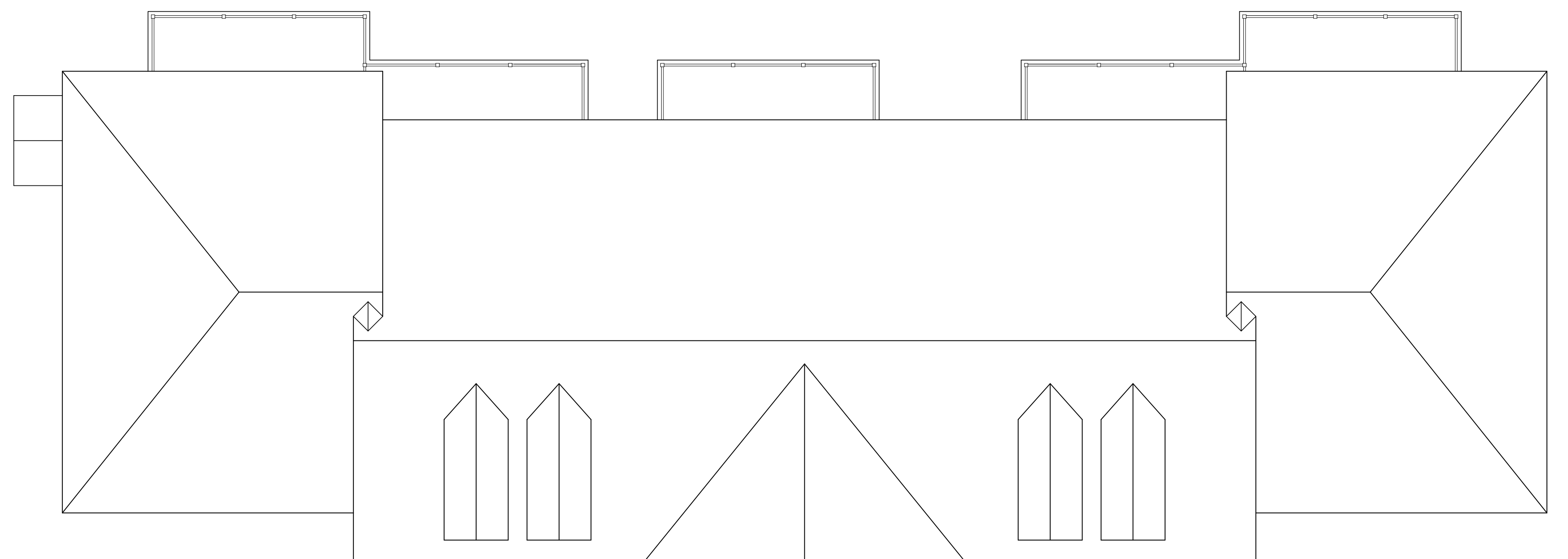
AVERAGE BUILDING HEIGHT LESS THAN MAXIMUM ALLOWABLE HEIGHT OF 35'-0"



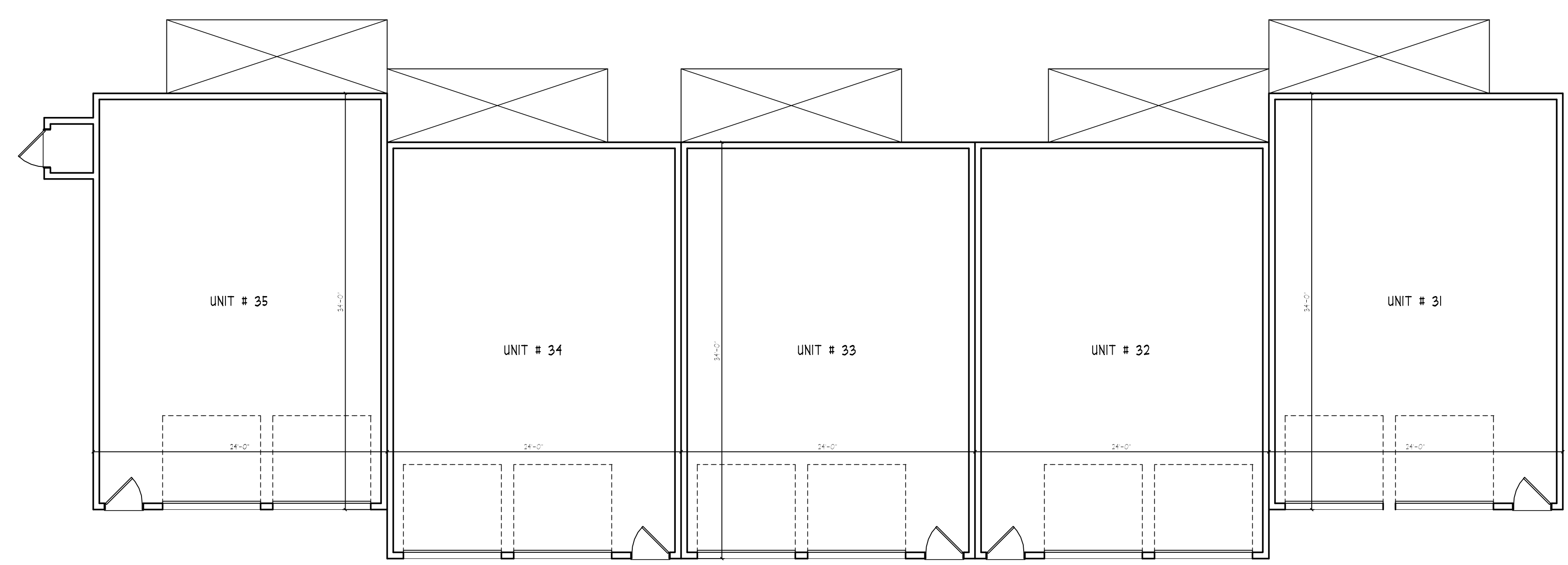
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GATEWAY TOWNHOUSE:
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BUILDING # 10



BUILDING # 10

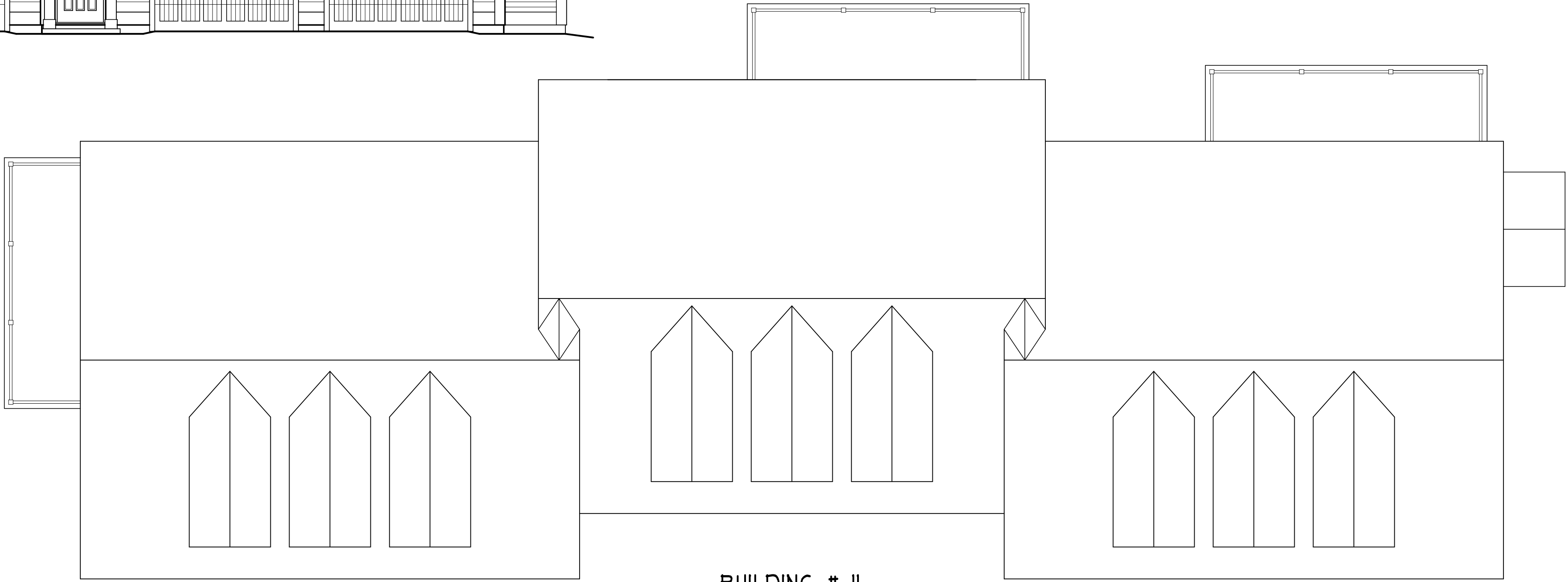
BUILDINGS OVER 100'-0" ARE BROKEN UP TO LOOK LIKE A SERIES OF SMALLER BUILDINGS BY STEPPING UNITS BACK, CHANGING ROOF LINES, ADDING DORMERS, ETC.



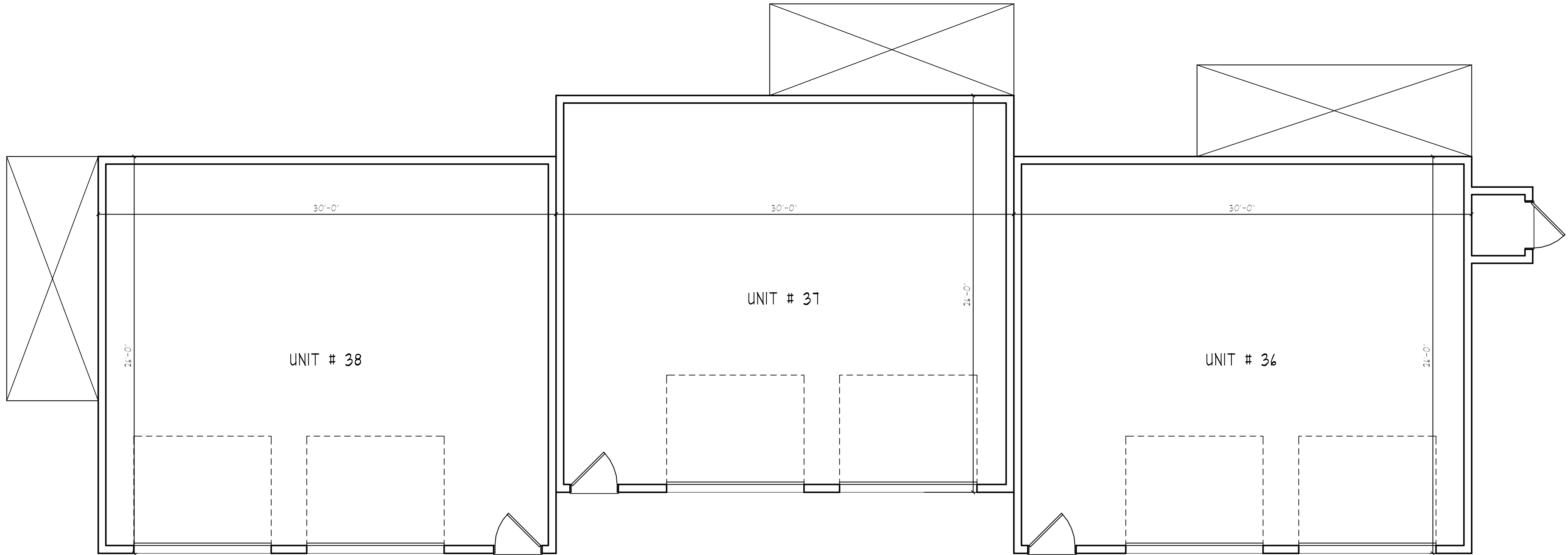
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING # II



BUILDING # II

MINIMUM ROOF SLOPE GUIDELINES
MET BY USING 8:12 ROOF SLOPE
ON MAIN ROOF AND 10:12 ROOF
SLOPE ON GABLES

BUILDINGS OVER 100'-0"
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FACADE MODULATION OCCURS LESS
THAN EVERY FOURTH UNIT MEETING
MAXIMUM ALLOWABLE LENGTH PER
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BUILDINGS DO NOT EXCEED MAXIMUM
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CEILING HGT.
21'-8 1/8" A.F.F.

THIRD FLR.
18'-4" A.F.F.

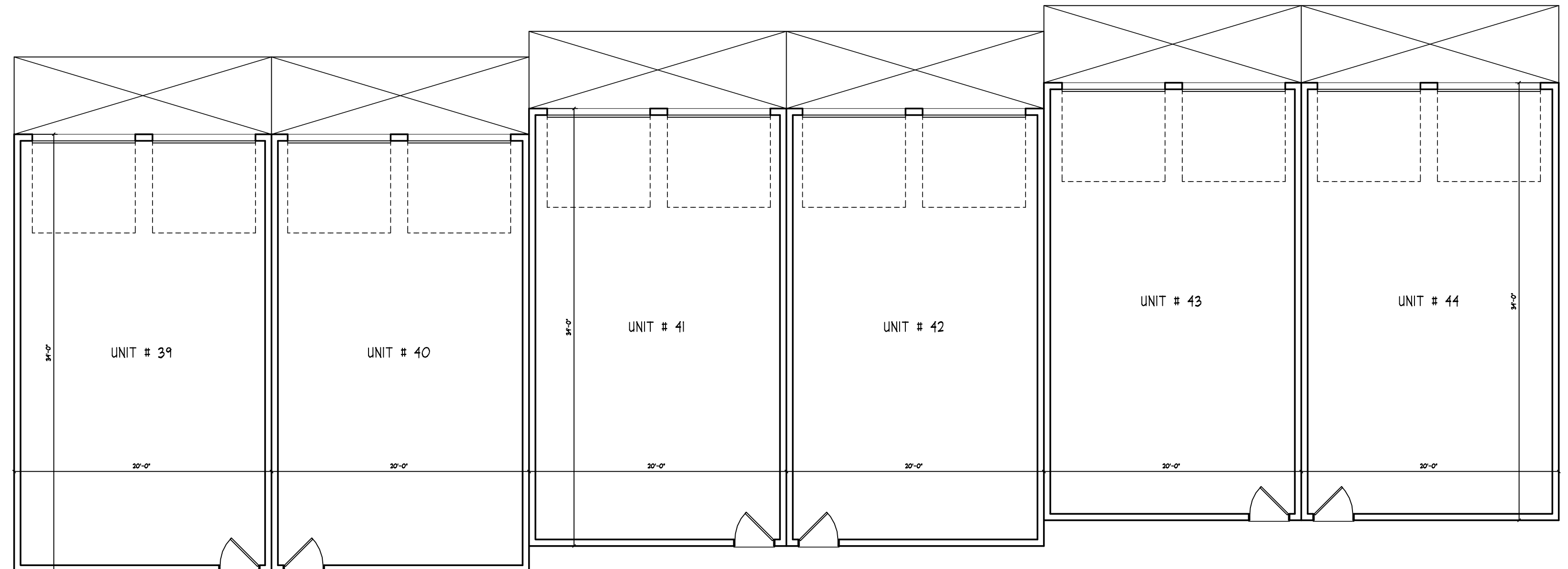
SECOND FLR.
9'-8" A.F.F.

GROUND FLR.
0'-0" A.F.F.

AVERAGE BUILDING HEIGHT LESS THAN MAXIMUM ALLOWABLE HEIGHT OF 35'-0"

BUILDING # 12

BUILDING # 12

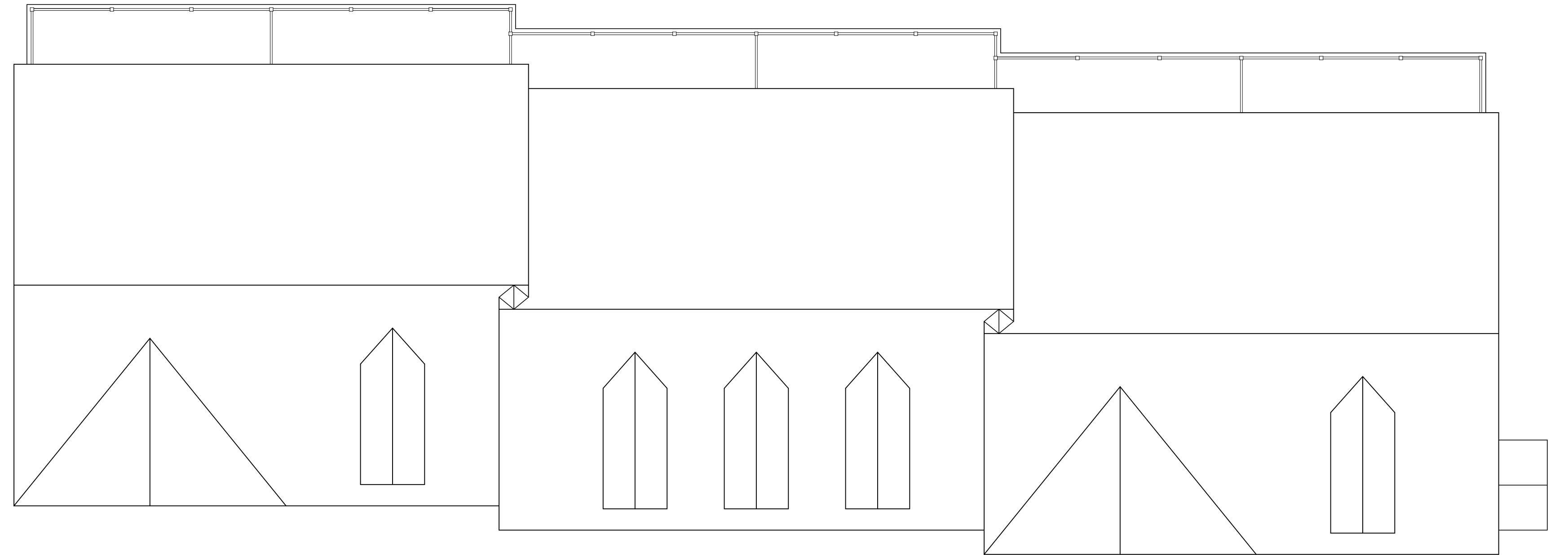




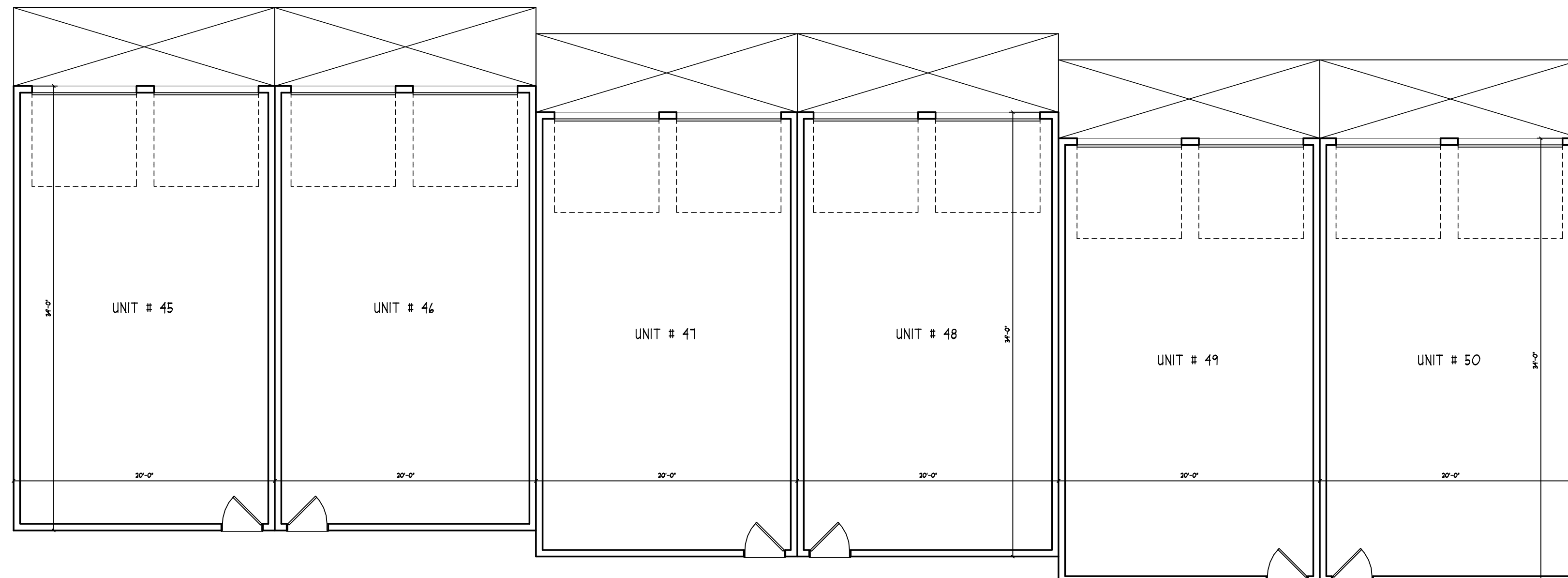
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BUILDING # 13

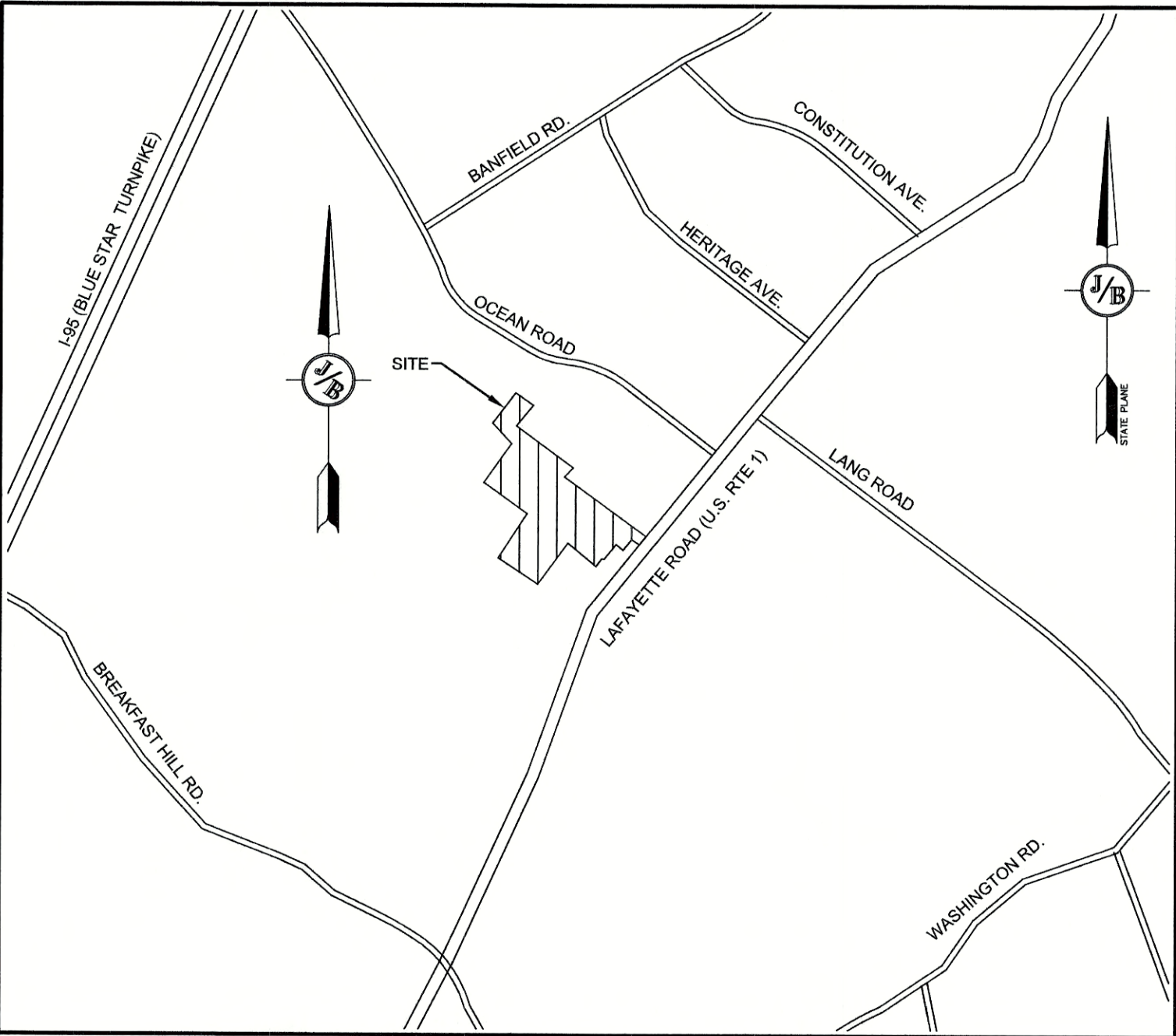


BUILDING # 13

RESIDENTIAL CONDOMINIUMS
TAX MAP 297, LOT 11
3400 LAFAYETTE ROAD, PORTSMOUTH, NH

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL



LOCUS MAP
SCALE 1" = 2000'

SHEET INDEX

CS	COVER SHEET
A1	BOUNDARY PLAN
EXOVR	OVERVIEW EXISTING CONDITIONS PLAN
C1	EXISTING CONDITONS PLAN
OVR	OVERVIEW SITE PLAN
C2	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4-C5	UTILITY PLAN
L1	LIGHTING PLAN
P1-P3	ROAD PLAN AND PROFILE
P4-P6	SEWER PROFILES
D1-D6	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS
T1	TRUCK TURNING PLAN
TR1	STORMWATER TREATMENT PLAN
LS-1-4	LANDSCAPE PLANS

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: JOSEPH CORONATI
EMAIL: JCORONATI@JONESANDBEACH.COM

WETLAND CONSULTANT
GZA ENVIRONMENTAL
5 COMMERCE PARK NORTH
SUITE 201
BEDFORD, NH 03110
603-623-3600
CONTACT: JAMES LONG

APPLICANT
GREEN & COMPANY
11 LAFAYETTE ROAD
PO BOX 1297
NORTH HAMPTON, NH 03862
603-964-7572
CONTACT: MICHAEL GREEN
MPG114@GMAIL.COM

LANDSCAPE ARCHITECT
TF MORAN, INC.
48 CONSTITUTION DRIVE
BEDFORD, NH 03110
603-472-4488
CONTACT: MIKE KRZEMINSKI
MKRZEMINSKI@TFMORAN.COM

ARCHITECT:
STONEARCH DEVELOPMENT
(603) 817-5758
CONTACT: MICHAEL MACNEIL

ELECTRIC
EVERSOURCE ENERGY
74 OLD DOVER ROAD
ROCHESTER, NH 03867
(603) 555-5334
CONTACT: NICHOLAI KOSKO

TELEPHONE
FAIRPOINT COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
(603) 427-5525
CONTACT: JOE CONSIDINE

CABLE TV
COMCAST COMMUNICATION CORPORATION
334-B CALEF HIGHWAY
EPPING, NH 03042-2325
(603) 679-5695

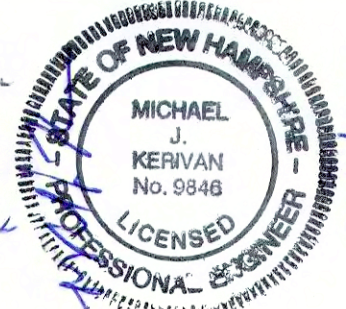
PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 297, LOT 11

TOTAL LOT AREA
1,931,721 SQ. FT. ±
44.35 ACRES ±

APPROVED – PORTSMOUTH, NH
PLANNING BOARD

DATE:

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS NOTED	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
7	7/20/21	REVISIONS PER CITY REVIEW	LAZ
6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2			
1			

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	CS
SHEET 1 OF 26	JBE PROJECT NO. 20737

PROJECT NAME AND LOCATION
JBE # 20737
REVISION 9/5/21

NATHANIEL DRIVE

MAP 292 LOT 246
7 TRACKS REALTY
THOMAS KELLAWAY TRUSTEE
5 LIAMS CT
GREENLAND, NH 03840
BK 4958 PG 308
PLAN 28133

MAP 292 LOT 245
BRYAN HANLON
SARA CUMMINGS
4 MARYANN LN
MERRIMACK NH 03054
BK 6191 PG 552
PLAN 28133

MAP 292 LOT 244
JOHN & SHIRLEY OLEARY
50 NATHANIEL DR
PORTSMOUTH NH 03801
BK 3603 PG 1403
PLAN 28133

MAP 292 LOT 163
MACPHAIL MICHAEL K
MCPHAIL CHELSEA L
3334 LAFAYETTE ROAD
PORTSMOUTH NH 03801

MAP 297 LOT 12
KRUKOFF PATRICIA
96 COAKLEY RD
PORTSMOUTH NH 03801

MAP 291 LOT 9
WESTCHESTER CORNER LLC
72 SOUTH BROADWAY
SALEM NH 03079
BK 5617 PG 1043
PLAN 38075

MAP 297 LOT 10
ROBERT NELSON
FIFI WENAS
3430 LAFAYETTE RD
PORTSMOUTH NH 03801
BK 4933 PG 2134

MAP 297 LOT 9
JOSEPH & PATRICIA
ROBERGE
3448 LAFAYETTE RD
PORTSMOUTH NH 03801
BK 3404 PG 2132

MAP 297 LOT 8
OLD TEX MEX LLC
PO BOX 372
GREENLAND NH 03840
BK 4721 PG 1943

MAP 297 LOT 6
NAVEESHA HOSPITALITY LLC
440 BEDFORD ST
LEXINGTON MA 02420
BK 5230 PG 888

MAP 297 LOT 5
PORTSMOUTH LAFAYETTE RD LLC
67 MOUNTAIN BLVD SUITE 201
WARREN NJ 07059
BK 6090 PG 325
PLAN 12460

MAP 297 LOT 4
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
BK 4601 PG 1186
PLAN 12848

MAP 296 LOT 11
CITY OF PORTSMOUTH
CONSERVATION COMM.
PO BOX 6697
PORTSMOUTH, NH 03802
BK 2484 PG 311

LINE	BEARING	DISTANCE
L1	N35°59'50"E	378.06'
L2	N36°59'58"E	35.16'
L3	N34°54'13"E	30.65'
L4	N38°51'51"E	35.83'
L5	N33°51'16"E	41.69'
L6	N37°10'52"E	59.44'
L7	N33°21'24"E	56.95'
L8	N40°14'01"E	31.94'
L9	S46°52'29"E	39.28'
L10	S50°03'35"E	82.08'
L11	S48°42'40"E	137.96'
L12	S53°55'43"E	36.68'
L13	S48°09'47"E	131.94'
L14	S49°33'18"E	39.86'
L15	N36°48'00"E	114.97'
L16	S52°39'09"E	34.99'
L17	N36°58'03"E	270.24'
L18	S54°10'12"E	117.40'
L19	N35°49'48"E	180.50'
L20	S54°10'12"E	102.31'
L21	N36°31'52"E	128.03'
L22	N54°44'40"W	643.59'
L23	N55°24'35"W	194.43'
L24	N54°56'09"W	255.65'
L25	N54°38'29"W	182.42'
L26	N42°52'40"E	95.06'
L27	N43°42'48"E	77.78'

PLAN REFERENCES:

- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH," DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEOFFRION. R.C.R.D. 02163.
- "STAG ESTATES SECTION NO 1, PARTIAL SUBDIVISION IN PORTSMOUTH NH," DATED AUGUST 28, 1973. PREPARED BY MOULTON ENGINEERING. R.C.R.D. 4098.
- "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4186.
- "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED NOVEMBER 1979. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
- "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED FEBRUARY 6, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9458.
- "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9680.
- "EASTLAND PARK, PORTSMOUTH, NH," DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12460.
- "COACH PARK, PORTSMOUTH, NH," DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN," DATED SEPTEMBER 20, 1999. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE A PORTION OF THE EXISTING BOUNDARY OF TAX MAP 297 LOT 11.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270F, DATED JANUARY 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE
VERTICAL - NAVD88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED THROUGH THE CITY OF PORTSMOUTH GIS DATABASE, AND AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES LONG CWS #007 IN JANUARY, 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- ALL BOUNDARY LINES PERTINENT TO THE DEVELOPMENT SHOWN IN THIS PLAN SET HAVE BEEN SURVEYED BY THIS OFFICE. ALL BOUNDARY LINES NOT ANNOTATED WITH BEARING AND DISTANCES ARE PER CITY TAX MAPS, AND SHALL BE CONSIDERED APPROXIMATE.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- MAP 297 LOT 10 FIRST CONVEYED IN 1955 (BOOK 1363 PAGE 229) AS LOT 28 ON "SUBDIVISION PLAT OF SOUTHSIDE MANOR." LOT 28 IS BOUNDED NORTHEASTERLY BY EDGEWOOD ROAD, PER DEED DESCRIPTION. THE DESCRIPTION OF THIS LOT DOES NOT CORRESPOND TO THE LOTS SHOWN ON PLAN REFERENCE 1. NO OTHER PLANS OF SOUTHSIDE MANOR HAVE BEEN FOUND RECORDED AT R.C.R.D. A WIDTH OF 35' WAS ASSUMED FOR EDGEWOOD ROAD, TO BE CONSISTENT WITH THE RECORDED PLAN.

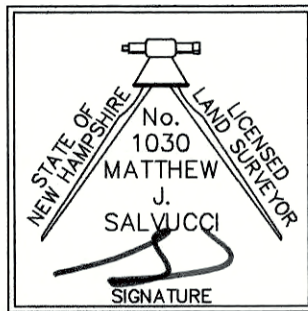
CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEED BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

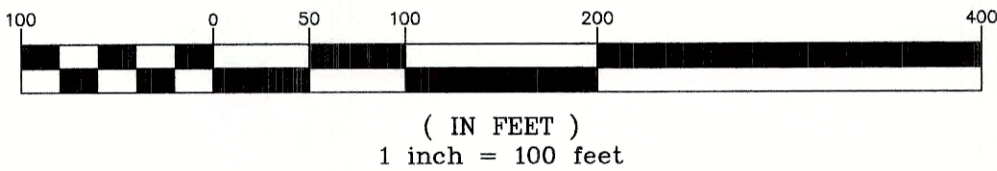


MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:

7/2/24

GRAPHIC SCALE



Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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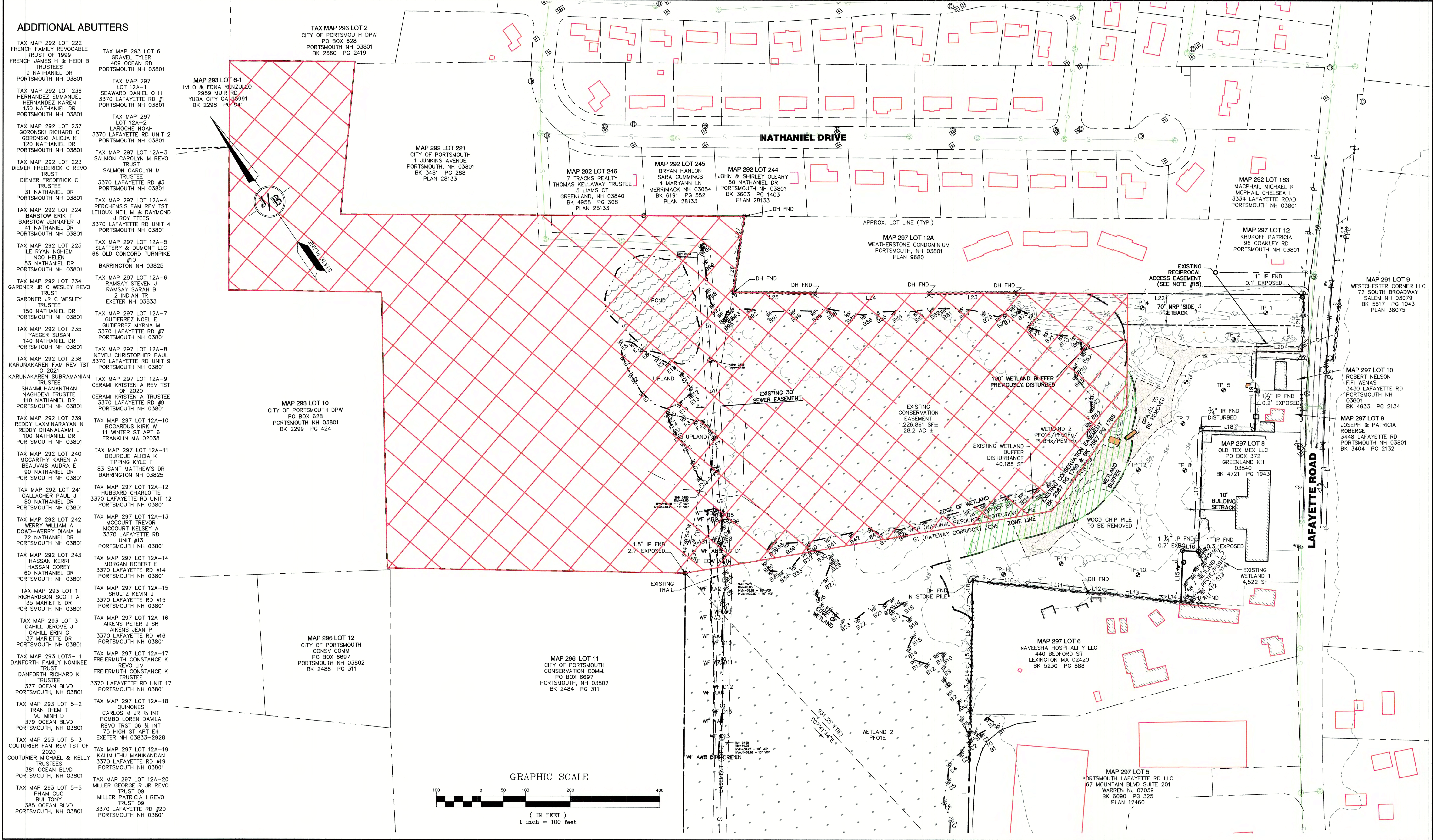


7	7/20/21	REVISIONS PER CITY REVIEW	LAZ
6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
REV.	DATE	REVISION	BY

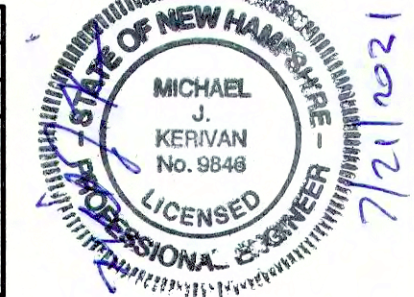
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	BOUNDARY PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	A1
SHEET 2 OF 26	JBE PROJECT NO. 20737



Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

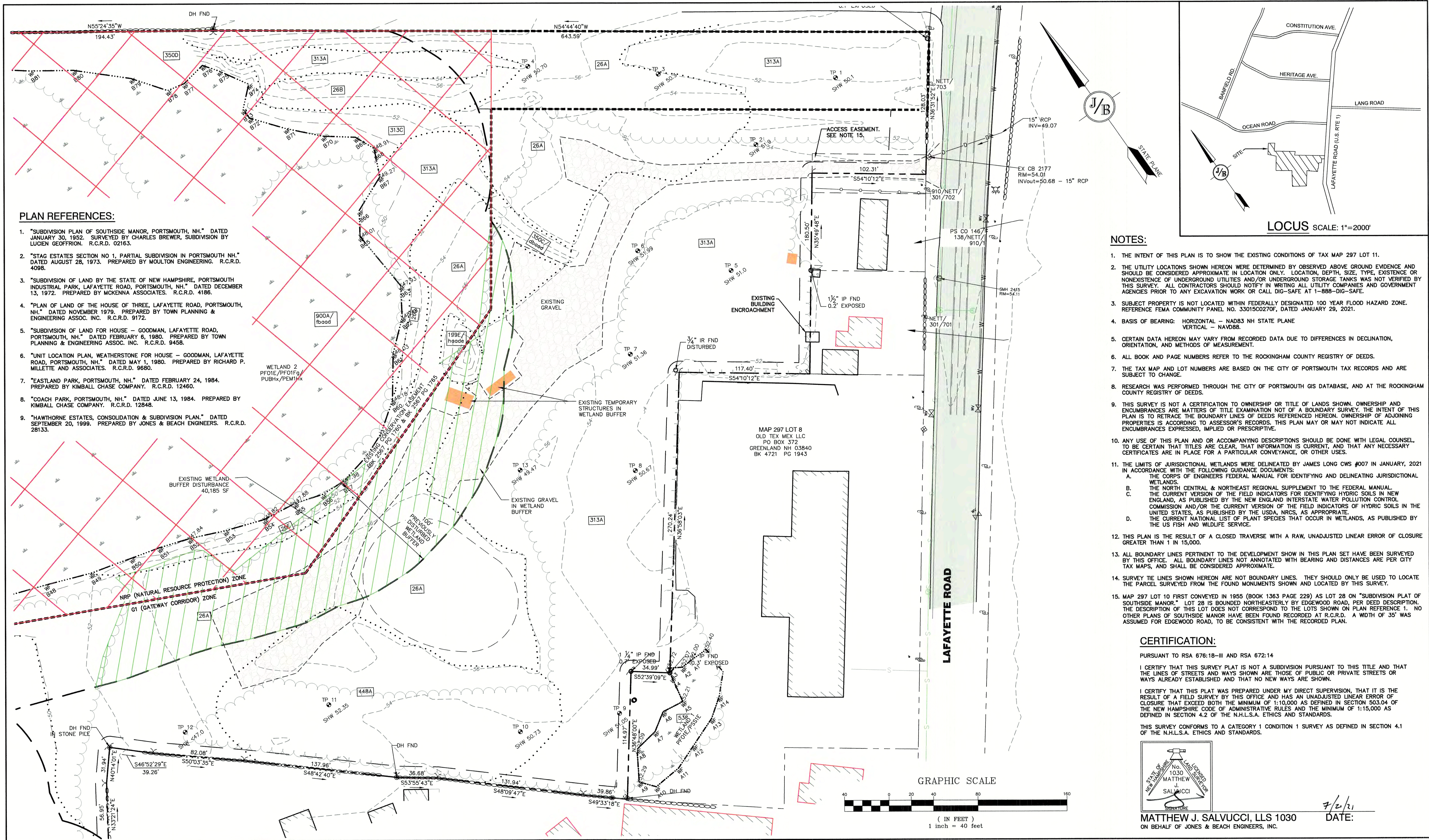
Designed and Produced in NH
Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	OVERVIEW EXISTING CONDITIONS PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.

EXOVR

SHEET 4 OF 26
JBE PROJECT NO. 20737



PLAN REFERENCES:

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- "EASTLAND PARK, PORTSMOUTH, NH." DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12460.
- "COACH PARK, PORTSMOUTH, NH." DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN." DATED SEPTEMBER 20, 1999. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

NOTES:

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- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270F, DATED JANUARY 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE
VERTICAL - NAVD88.
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B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
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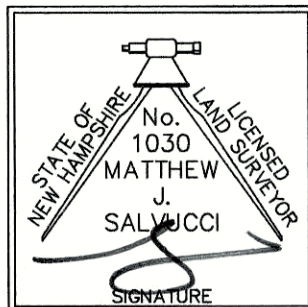
CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEED BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

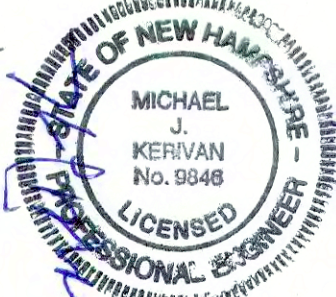
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 7/2/21

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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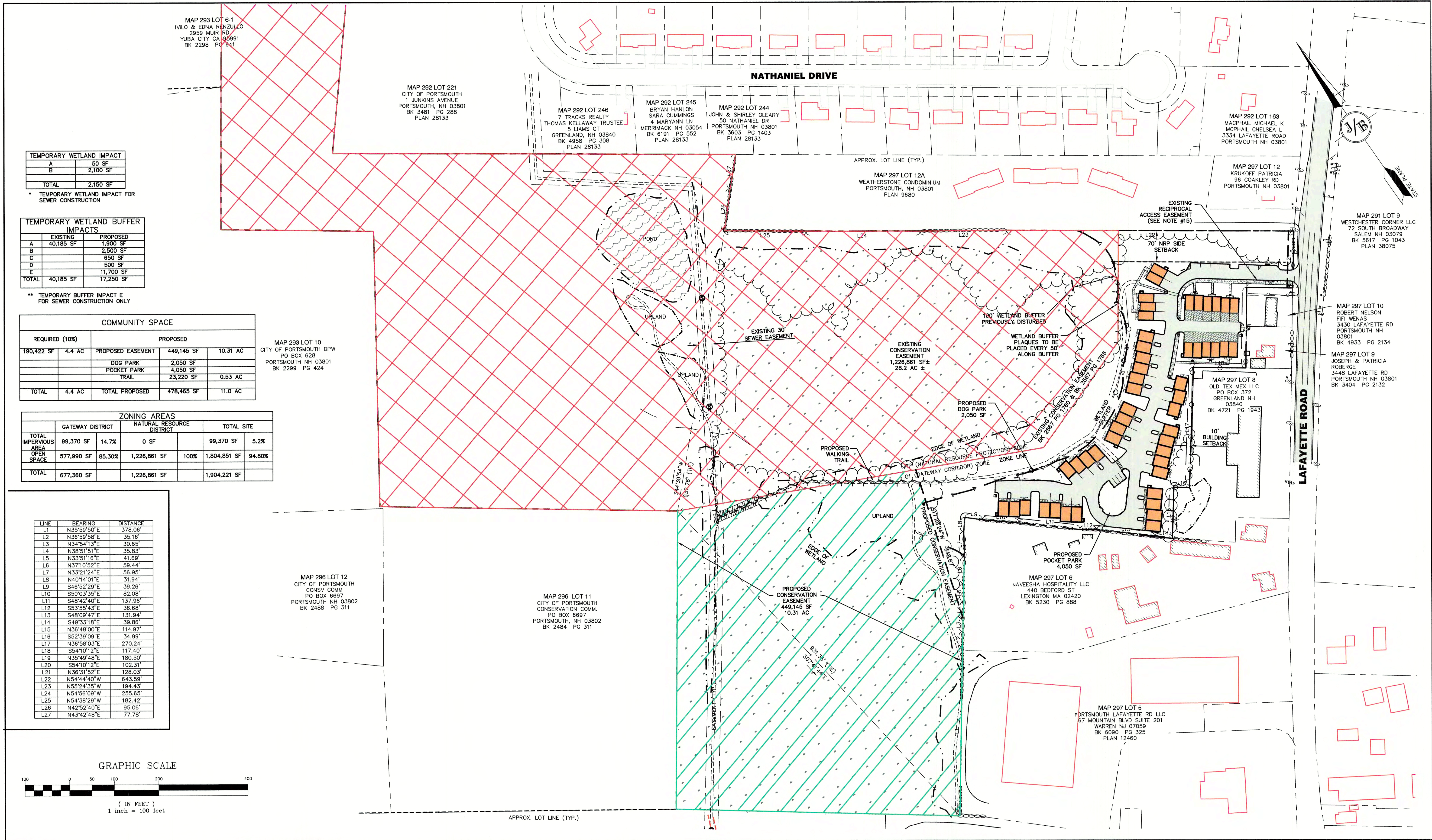


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6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
REV.	DATE	REVISION	BY

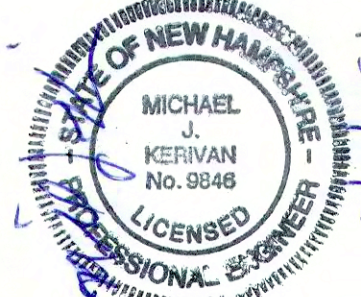
J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	C1
SHEET 5 OF 26	JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
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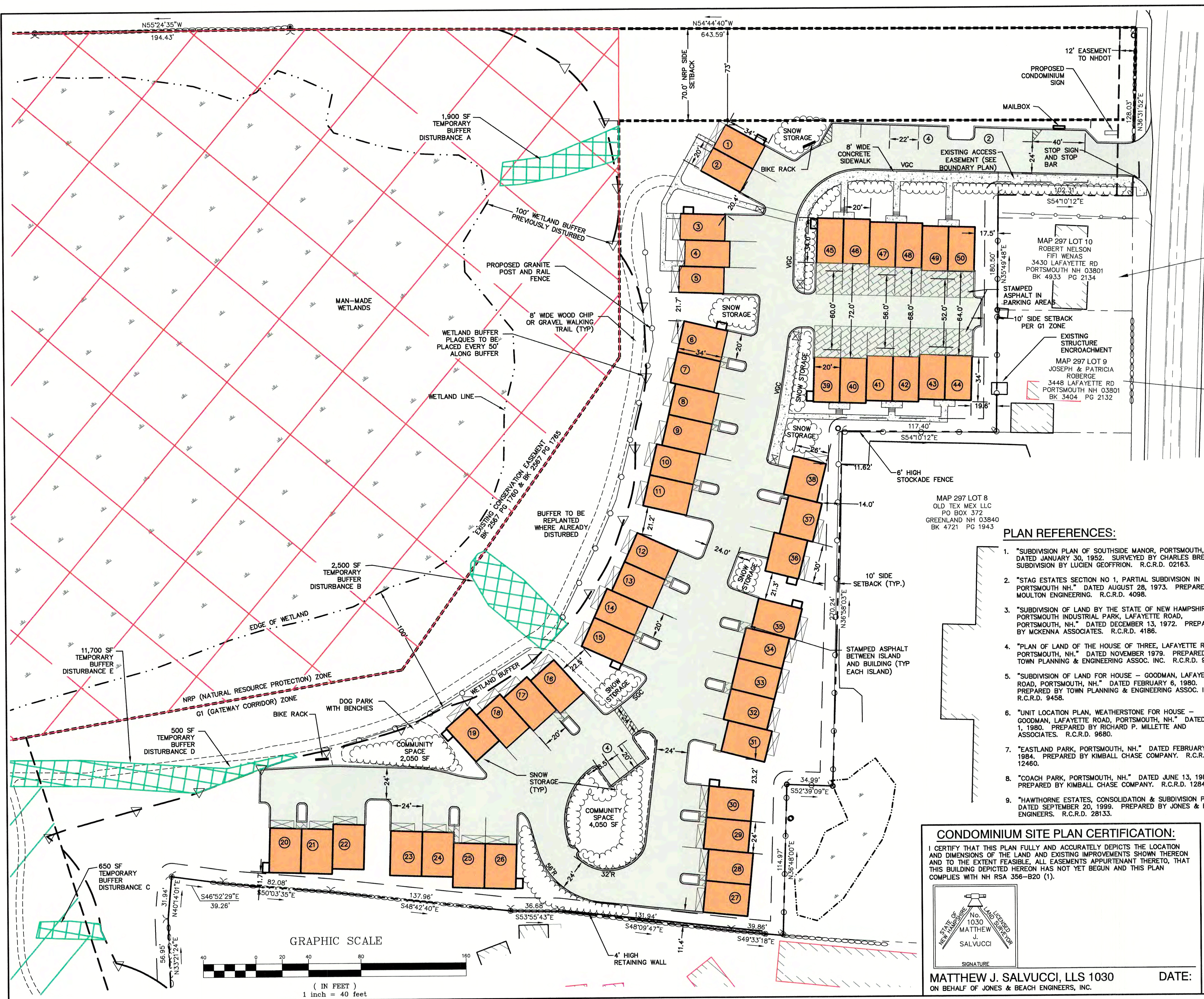


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1	3/3/21	ADDED SURVEY INFO	LAZ

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Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	OVERVIEW SITE PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.
OVR
SHEET 6 OF 26
JBE PROJECT NO. 20737



SITE NOTES:

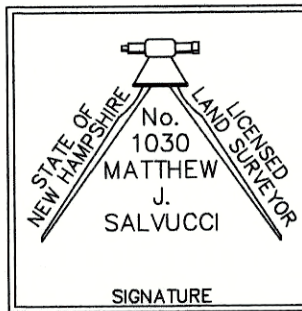
- THE INTENT OF THIS PLAN IS SHOW THE SITE LAYOUT FOR A 50-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON TAX MAP 297 LOT 11.
- ZONING DISTRICT: GATEWAY CORRIDOR (G1), USE: GATEWAY TOWNHOUSE
LOT AREA MINIMUM = NO REQUIREMENT FOUND
LOT FRONTAGE MINIMUM = 100'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 70' FROM CENTERLINE OF LAFAYETTE ROAD
SIDE SETBACK = 10'
REAR SETBACK = 15'
WETLAND SETBACK = 100'
MAX. BUILDING HEIGHT = 35'
AREA OF LOT WITHIN G1 DISTRICT = 677,360 S.F. = 15.55 AC
MIN. OPEN SPACE = 20%
OPEN SPACE PROPOSED WITHIN G1 DISTRICT = 577,990 S.F. = 85.3% ±
MAX. BUILDING COVERAGE = 50%
BUILDING COVERAGE PROPOSED WITHIN G1 DISTRICT = 38,108 S.F. = 5.6%
DENSITY ALLOWED = 16 UNITS/ACRE = 16 X 15.55 AC = 248 UNITS ALLOWED
ZONING DISTRICT: NATURAL RESOURCE PROTECTION (NRP)
LOT AREA MINIMUM = NO REQUIREMENT
LOT FRONTAGE MINIMUM = NO REQUIREMENT
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 70'
SIDE SETBACK = 70'
REAR SETBACK = 70'
MAX. BUILDING HEIGHT = 35'
MAX. BUILDING COVERAGE = NO REQUIREMENT
AREA OF LOT WITHIN NRP DISTRICT = 1,226,861 S.F. ± = 28.2 AC
MIN. OPEN SPACE = 95%
OPEN SPACE PROPOSED = 1,226,861 S.F. = 28.2 AC - 100% WITHIN NRP DISTRICT
EXISTING CONSERVATION EASEMENT = 28.16 AC = 64.4% OF SITE
PROPOSED CONSERVATION EASEMENT = 10.3 AC = 23.6% OF SITE
TOTAL CONSERVATION EASEMENT = 38.5 AC = 88.0% OF SITE
TOTAL IMPERVIOUS AREA = 99,370 SF = 5.2% OF SITE
TOTAL DISTURBED AREA = 211,700 SF = 4.8 AC = 11.1% OF SITE
- PARKING CALCULATIONS:
1.3 SPACES PER UNIT > 750 S.F.
TOTAL NUMBER OF UNITS = 50. EACH UNIT HAS 2 SPACES IN GARAGE.
10 OUTDOOR PARKING SPACES PROVIDED.
TOTAL SPACES REQUIRED = 65, TOTAL SPACES PROVIDED = 110
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 3301500270E, DATED MAY 17, 2005.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE CITY ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYL BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE. ALL STOP BARS SHALL BE 18" IN WIDTH; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- THERE SHALL BE NO PARKING ALONG THE ACCESS ROAD.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THE SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- EACH UNIT TO HAVE TRASH CANS INSIDE THE UNITS AND TO BE PICKED UP BY A PRIVATE TRASH HAULER.
- SNOW TO BE TRUCKED OFFSITE WHEN DESIGNATED SNOW STORAGE AREA ARE FULL. GREEN SNOW PRO TECHNIQUES TO BE UTILIZED ON THIS SITE.
- THE FOLLOWING STATE PERMITS ARE REQUIRED FOR THIS PROJECT:
NHDES ALTERNATION OF TERRAIN PERMIT
NHDES WETLAND PERMIT
NHDES SEWER CONNECTION PERMIT
NHDOT DRIVEWAY PERMIT
- A VARIANCE FROM THE PORTSMOUTH ZONING BOARD OF ADJUSTMENT FOR BUILDING SETBACKS IS PENDING.

PLAN REFERENCES:

- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH," DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEOFFRION. R.C.R.D. 02163.
- "STAG ESTATES SECTION NO. 1, PARTIAL SUBDIVISION IN PORTSMOUTH, NH," DATED AUGUST 28, 1973. PREPARED BY MOULTON ENGINEERING. R.C.R.D. 4098.
- "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4186.
- "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED NOVEMBER 1979. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
- "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED FEBRUARY 6, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9458.
- "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9680.
- "EASTLAND PARK, PORTSMOUTH, NH," DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12460.
- "COACH PARK, PORTSMOUTH, NH," DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN," DATED SEPTEMBER 20, 1999. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

CONDOMINIUM SITE PLAN CERTIFICATION:

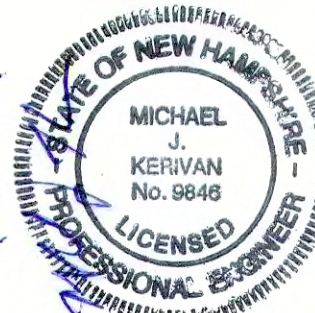
I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE LAND AND EXISTING IMPROVEMENTS SHOWN THEREON AND TO THE EXTENT FEASIBLE, ALL EASEMENTS APPURTENANT THERETO, THAT THIS BUILDING DEPICTED HEREON HAS NOT YET BEGUN AND THIS PLAN COMPLIES WITH NH RSA 356-B20 (1).



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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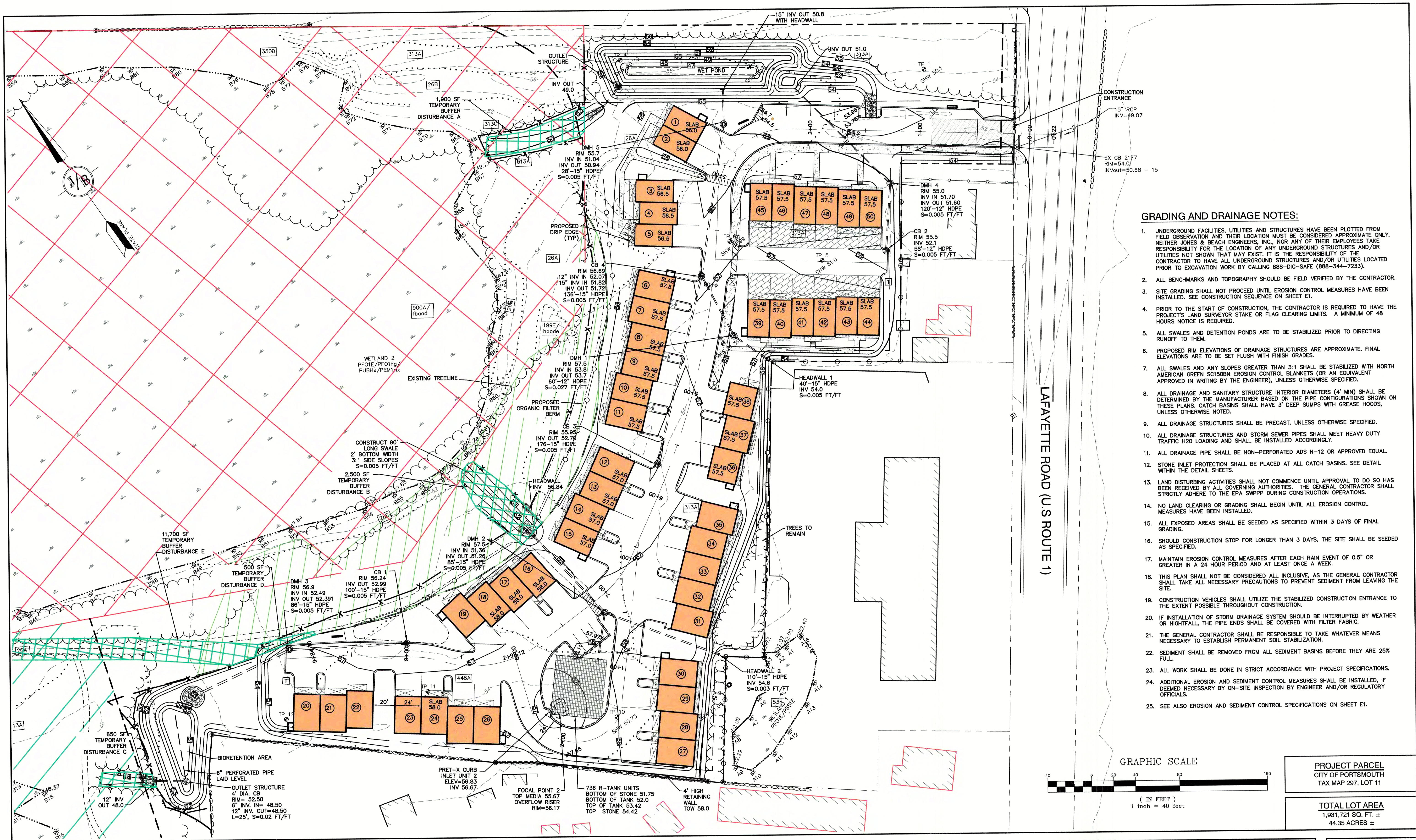
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	CONDOMINIUM SITE PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

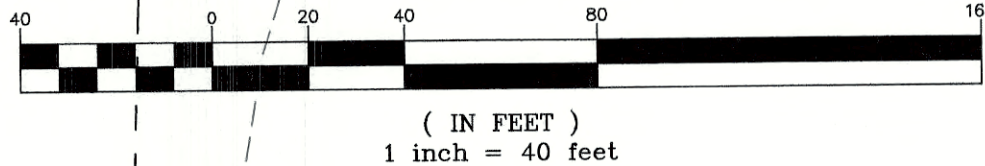
Drawing No.	C2
SHEET 7 OF 26	JBE PROJECT NO. 20737



GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN SC150BN EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.

GRAPHIC SCALE



PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 297, LOT 11

TOTAL LOT AREA
1,931,721 SQ. FT. ±
44.35 ACRES ±

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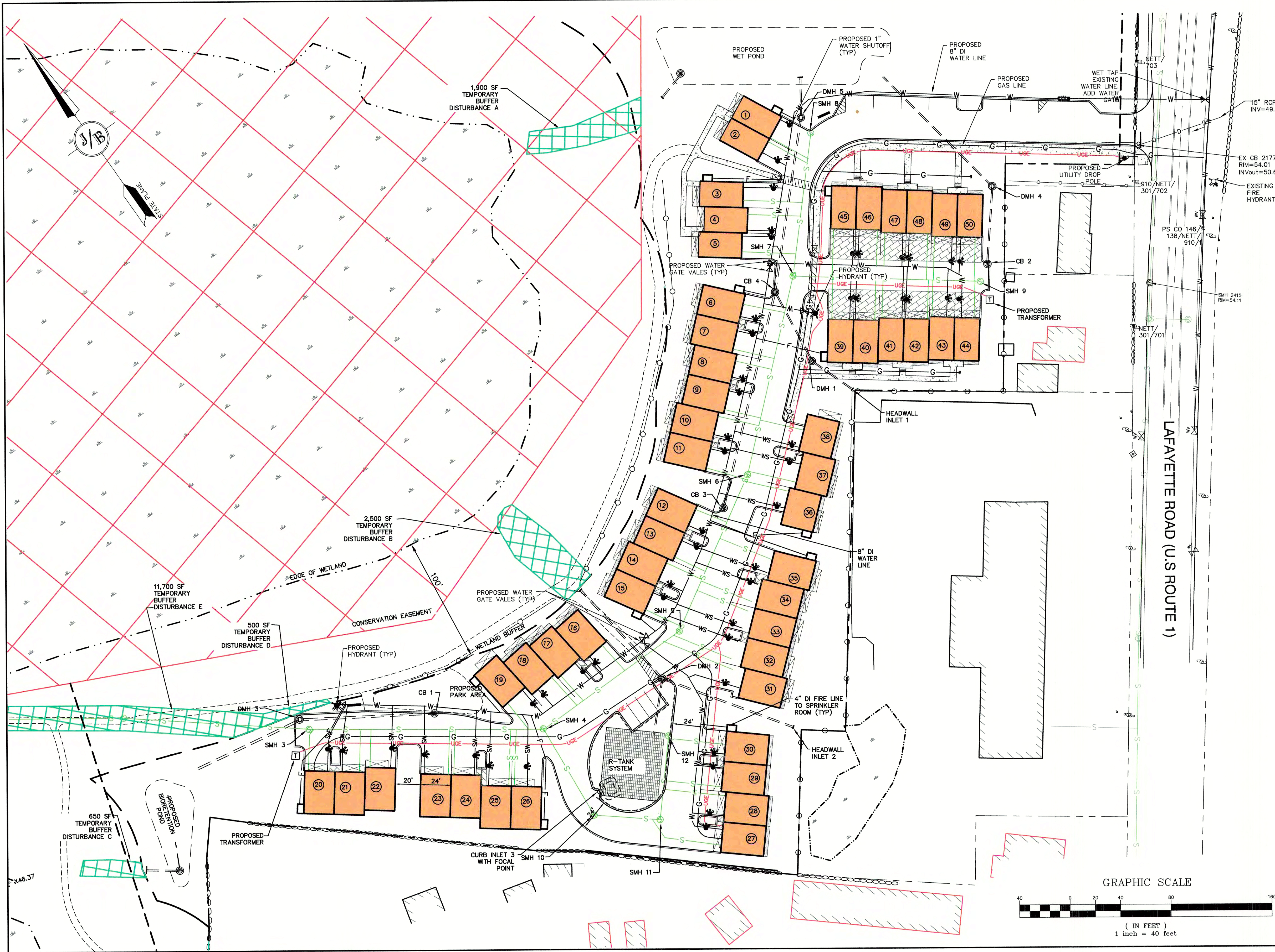
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PO Box 219 FAX: 603-772-0227
Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING AND DRAINAGE PLAN**
Project: **3400 LAFAYETTE ROAD
PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC.
225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No.

C3

SHEET 8 OF 26
JBE PROJECT NO. 20737



UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE CITY STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
10. INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF SHALL CONSIST OF BRICK MASONRY.
11. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
12. SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
13. CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
14. SANITARY SEWER FLOW CALCULATIONS:
50 - THREE BEDROOM UNITS @ 150 GPD/BEDROOM =
TOTAL FLOW = 22,500 GPD
15. ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
16. PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
17. ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
18. WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMAINS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 800. WATERMAINS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
19. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
20. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
21. THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
22. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
23. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
24. ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
25. ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700, ADOPTED ON 10-15-14.
26. ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNBELLEVUE ASSOCIATION UNI-9-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
27. ENV-WQ 704.17 SEWER MANHOLE TESTING: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVES AND INVERTS.
28. SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
29. SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
30. THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE CITY SEWER DEPARTMENT.
31. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
32. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.

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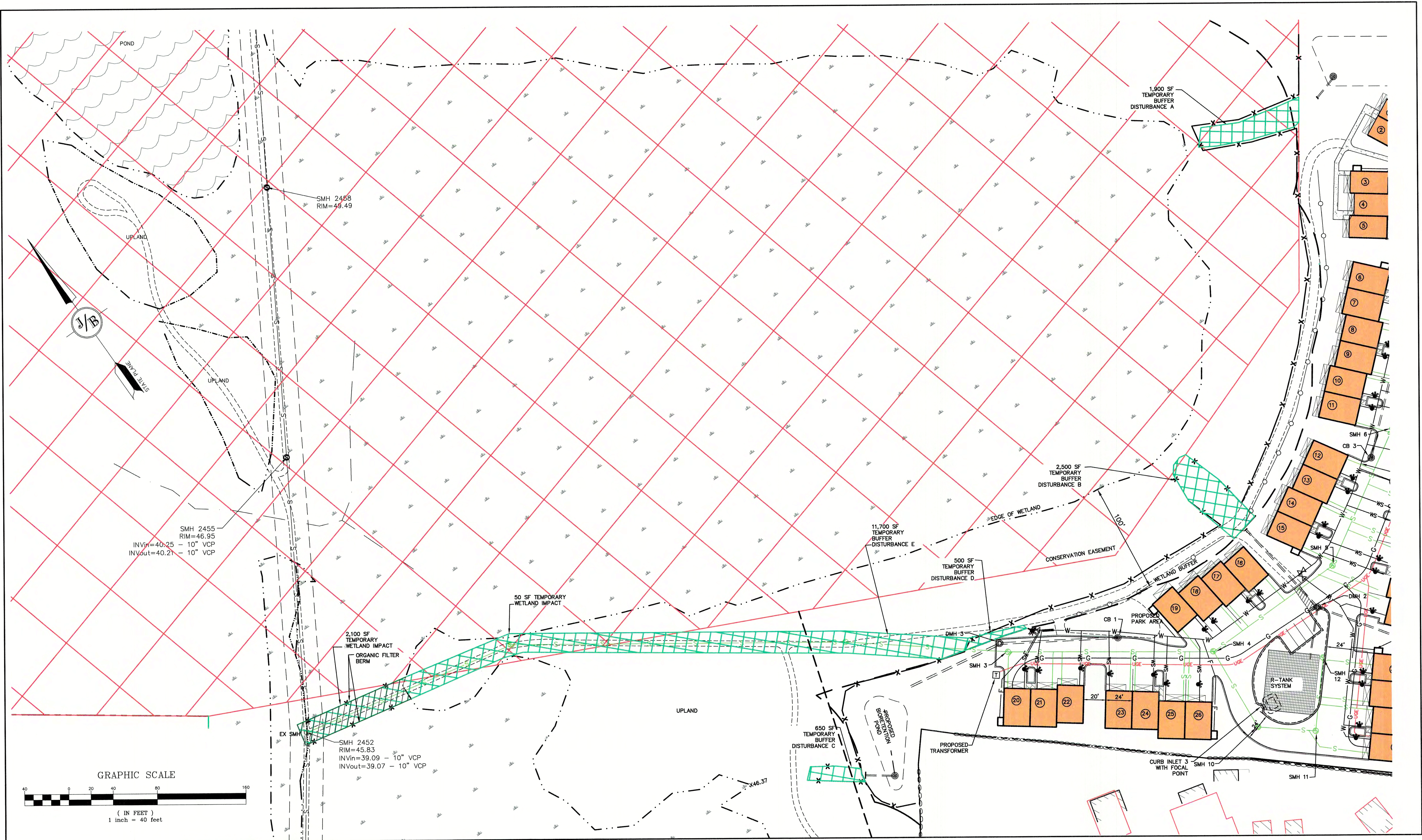


REV.	DATE	REVISION	BY
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6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
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Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **UTILITY PLAN**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **C4**
SHEET 9 OF 26
JBE PROJECT NO. 20737



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Civil Engineering Services

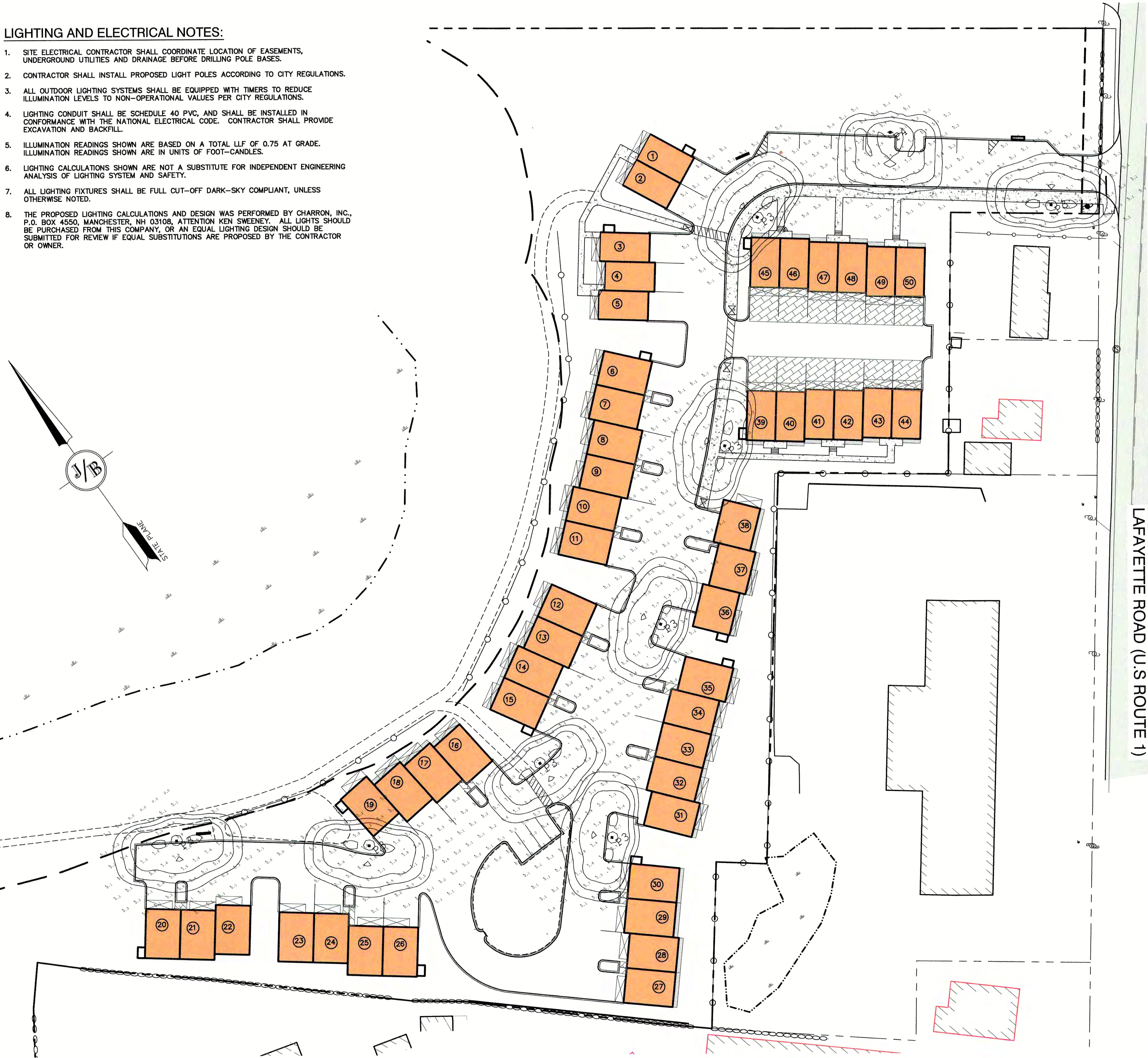
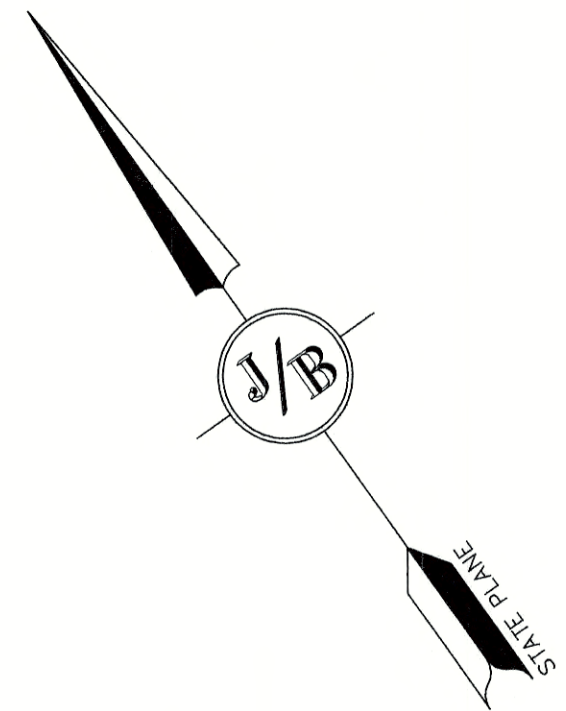
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FAX: 603-772-0227
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Plan Name: **UTILITY PLAN**
Project: **3400 LAFAYETTE ROAD
PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC.
225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **C5**
SHEET 10 OF 26
JBE PROJECT NO. 20737

LIGHTING AND ELECTRICAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO CITY REGULATIONS.
3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER CITY REGULATIONS.
4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
5. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDLES.
6. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
7. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
8. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.



DESCRIPTION

The Traditionaire LED outdoor luminaire displays the old-fashioned charm of traditional area lighting, enhancing any setting with distinctive styling. As a decorative luminaire, the Traditionaire LED tastefully complements the architectural and environmental design of parks and roadways. The high-lumen downlight configuration uses Cooper Lighting Solutions' patented LightBAR™ technology to deliver uniform and efficient illumination to pedestrian and roadway applications.

SPECIFICATION FEATURES

Construction
Hinged (stainless steel hinge pins) die-cast aluminum housing and cover with cupola. 3G vibration tested to ensure strength of construction and longevity in application.

Optics
Choice of six patented, high-efficiency AccuLED Optic™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT. For the ultimate level of spill

light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2 or SL3 optics.

Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V/60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature an IP66 enclosure rating and

maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21.

Mounting
Self-aligning pole-top fitter for 3" O.D. pole tops or vertical tenons. Square headed 1-1/4" polymer coated mounting bolts with a lock nut.

Finish
Cast components finished in a super durable black TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include: bronze, grey and white. RAL and custom color matches available.

Warranty
Five-year warranty.

Streetworks

Catalog #	Type
Project	
Comments	Date
Prepared by	

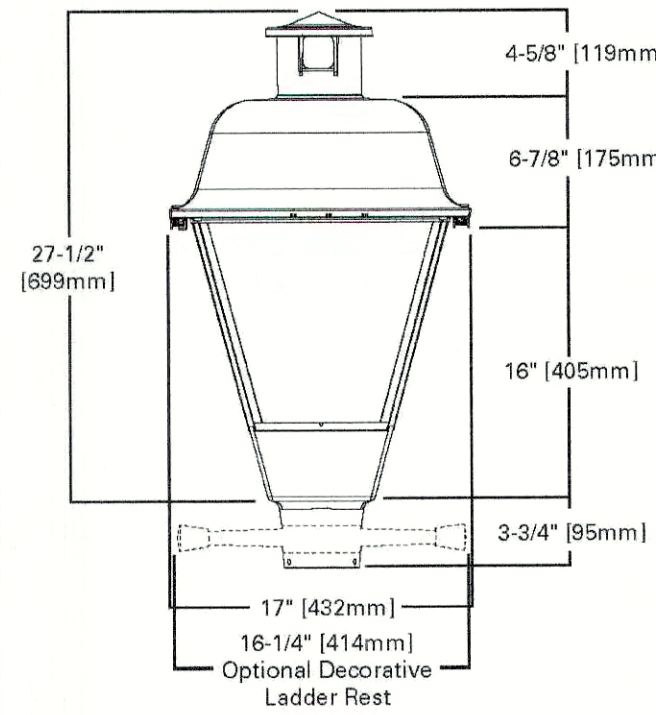


UTLD
TRADITIONAIRE
LED DOWNLIGHT

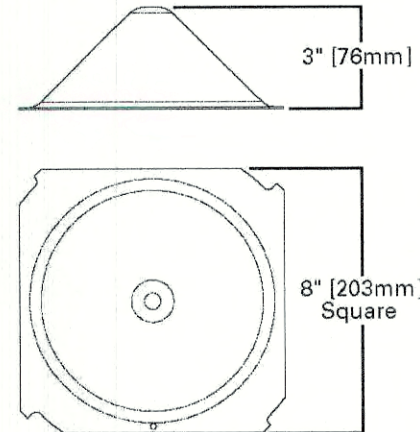
1 - 3 LightBARs
Solid State LED

DECORATIVE POST TOP
LUMINAIRE

DIMENSIONS



OPTIONAL BIRD CONE



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
3G Vibration Rated
IP66 LightBARs
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

EPA

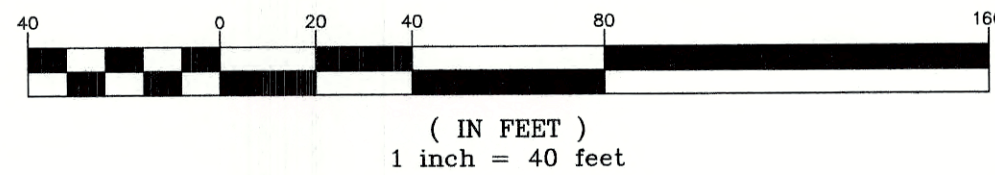
Effective Projected Area: (Sq. Ft.)
2.3

SHIPPING DATA

Approximate Net Weight:
37 lbs. (17 kgs.)

Luminaire Schedule			
Symbol	Qty	Label	Description
1	24	SINGLE	UTLD-P02-LED-B-U-SL4/ MTD ON 12' POLE TBD
2	3	SINGLE	UTLD-P02-LED-B-U-T3/ MTD ON A 12' POLE TBD

GRAPHIC SCALE



Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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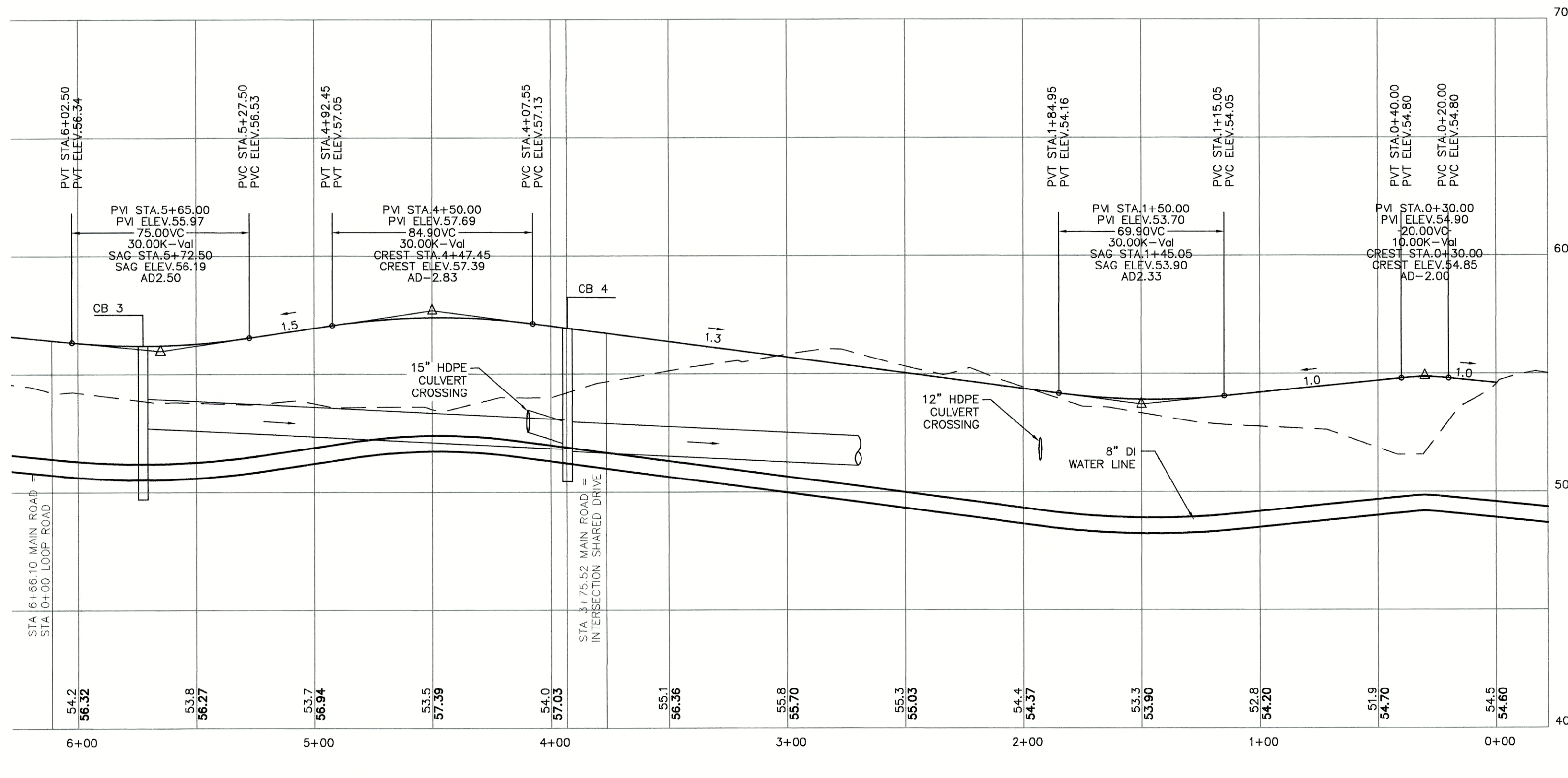
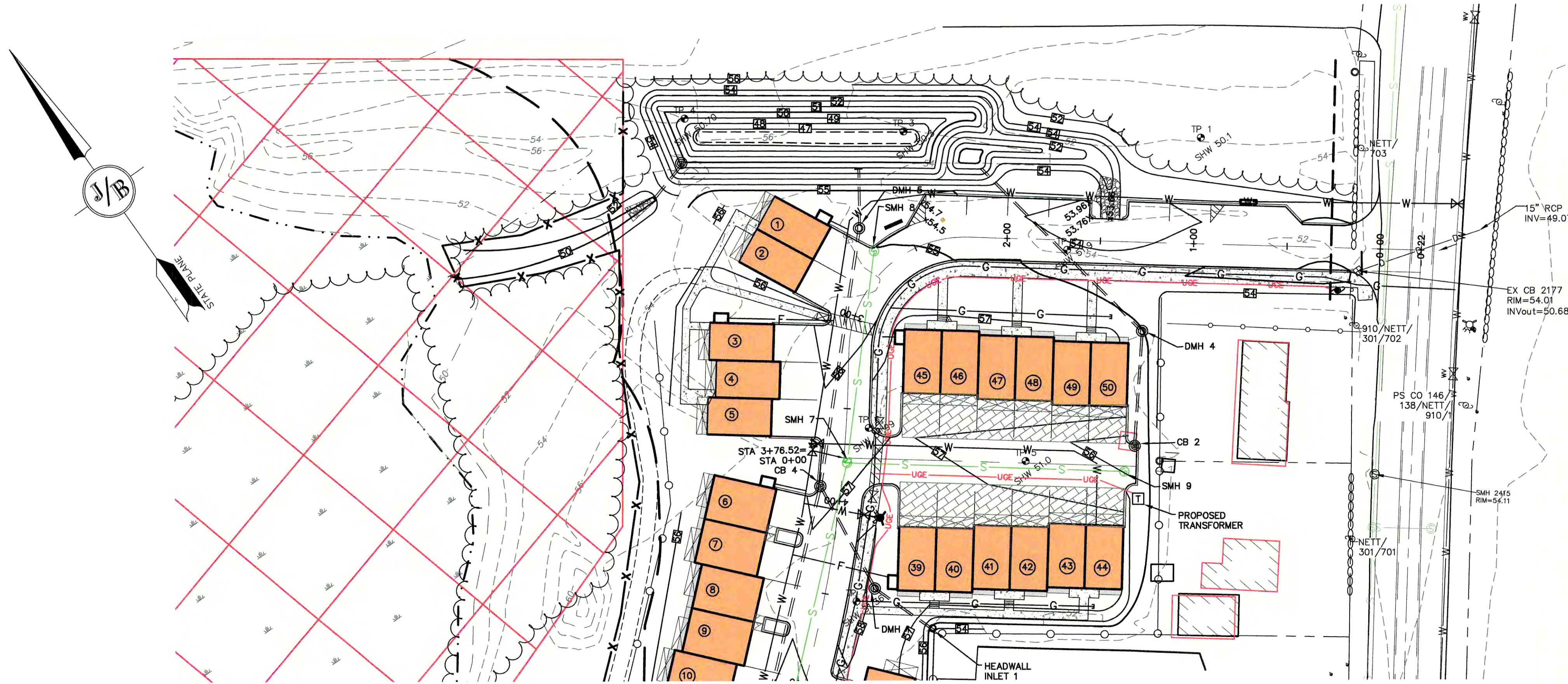


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603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM
Designed and Produced in NH
Civil Engineering Services

Plan Name:	LIGHTING PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	L1
SHEET 11 OF 28 JBE PROJECT NO. 20737	

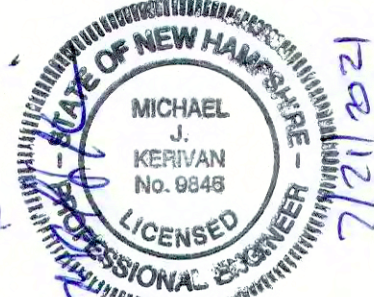


GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft Horiz.
1 inch = 4 ft Vert.

NOTES:

- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT [HTTP://CFPUB.EPA.GOV/NPDES/STORMWATER/NOI/NOISEARCH.CFM](http://cfpub.epa.gov/npdes/stormwater/noi/noisearch.cfm). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR
 - ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
- ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY, AND NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- AS-BUILT PLANS TO BE SUBMITTED TO THE CITY PRIOR TO ACCEPTANCE OF THE ROADWAY.
- DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV, TELEPHONE, AND FIRE ALARM PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
- THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
- ALL DISTURBED AREAS NOT STABILIZED BY NOVEMBER 1st SHALL BE COVERED WITH AN EROSION CONTROL BLANKET. PRODUCT TO BE SPECIFIED BY THE ENGINEER.
- FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
- ROADWAY INTERSECTIONS WITH SLOPE GRANITE CURB SHALL EXTEND AROUND RADIUS WITH 6' STRAIGHT PIECE ALONG TANGENT.
- 6" PERFORATED ADS UNDER DRAIN PLACEMENT TO BE DETERMINED BY THE ENGINEER DURING TIME OF SUBGRADE INSPECTION. CONTRACTOR TO ADJUST LOCATION IN THE FIELD ONLY WITH PRIOR APPROVAL OF PROJECT ENGINEER OR PUBLIC WORKS DEPARTMENT. CONTRACTOR TO INCLUDE 3000 LF IN BID PRICE.
- ALL DRIVEWAYS TO BE CONSTRUCTED MAXIMUM 10% SLOPE. SEE DETAIL SHEET.
- ENGINEER TO INSTALL PERMANENT BENCHMARK (REINFORCED GRANITE MARKER) AT LOCATIONS SHOWN ON PLANS. BENCH MARKS TO BE TIED TO STATE PLANE COORDINATE SYSTEM.
- DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: ORGANIC FILTER BERM WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE BERM STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SUMPS BELOW THE INLET OF CULVERTS SEMIANNUALLY, AS WELL AS FROM CATCH BASINS. FOLLOWING MAJOR STORM EVENTS, THE STAGE DISCHARGE OUTLET STRUCTURES ARE TO BE INSPECTED AND ANY DEBRIS REMOVED FROM THE ORIFICE, TRASH TRACK AND EMERGENCY SPILL WAY. INFREQUENTLY, SEDIMENT MAY ALSO HAVE TO BE REMOVED FROM THE SUMP OF THE STRUCTURE.
- ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
- DETENTION PONDS REQUIRE TIMELY MAINTENANCE AND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT, AS WELL AS FREQUENTLY DURING THE FIRST YEAR OF OPERATION, AND ANNUALLY THEREAFTER. EVERY FIVE YEARS, THE SERVICES OF A PROFESSIONAL ENGINEER SHOULD BE RETAINED TO PERFORM A THOROUGH INSPECTION OF THE DETENTION POND AND ITS INFRASTRUCTURE. ANY DEBRIS AND SEDIMENT ACCUMULATIONS SHOULD BE REMOVED FROM THE OUTLET STRUCTURE(S) AND EMERGENCY SPILLWAY(S) AND DISPOSED OF PROPERLY. DETENTION POND BERMS SHOULD BE MOWED AT LEAST ONCE ANNUALLY SO AS TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION. TREES SHOULD NEVER BE ALLOWED TO GROW ON A DETENTION POND BERM, AS THEY MAY DESTABILIZE THE STRUCTURE AND INCREASE THE POTENTIAL FOR FAILURE. AREAS SHOWING SIGNS OF EROSION OR THIN OR DYING VEGETATION SHOULD BE REPAIRED IMMEDIATELY BY WHATEVER MEANS NECESSARY, WITH THE EXCEPTION OF FERTILIZER. RODENT BORROWS SHOULD BE REPAIRED IMMEDIATELY AND THE ANIMALS SHOULD BE TRAPPED AND RELOCATED IF THE PROBLEM PERSISTS.
- THE DETENTION PONDS ARE TO BE CONSTRUCTED PRIMARILY THROUGH EXCAVATION. IN THOSE AREAS WHERE THE BERMS MUST BE CONSTRUCTED BY THE PLACEMENT OF FILL, THE ENTIRE EMBANKMENT AREA OF THE DETENTION PONDS SHALL BE EXCAVATED TO PROPOSED GRADE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 95% AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. IN THE EVENT THE FOUNDATION MATERIAL EXPOSED DOES NOT ALLOW THE SPECIFIED COMPACTION, AN ADDITIONAL ONE FOOT (1') OF EXCAVATION AND THE PLACEMENT OF A ONE FOOT (1') THICK, TWELVE FOOT (12') WIDE PAD OF THE MATERIAL DESCRIBED IN THE NOTE BELOW, COMPACTED TO 95% OF ASTM D-1557 MAY BE NECESSARY. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED WITHIN FOR ANY REASON.
- EMBANKMENT MATERIAL FOR THE BERMS SHALL BE CLEAN MINERAL SOIL WITH A CLAY COMPONENT FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHOULD BE INSTALLED IN 6" LIFTS AND COMPACTED TO 95% OS ASTM D-1557, AND SHOULD MEET THE FOLLOWING SPECIFICATIONS: 4" PASSING 100%, #4 SIEVE 25-70%, #200 SIEVE 10-29% (IN TOTAL SAMPLE).
- EMBANKMENT IS TO HAVE 3:1 SIDE SLOPES (MAX.) AND IS TO BE BROUGHT TO SPECIFIED GRADES PRIOR TO THE ADDITION OF LOAM (4" MINIMUM) SO AS TO ALLOW FOR THE COMPACTION OF THE STRUCTURE OVER TIME WHILE MAINTAINING THE PROPER BERM ELEVATION.
- COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION, AND ON THE FOUNDATION OF THE BERM AND ON EVERY LIFT OF NEWLY PLACED MATERIAL.
- ORNAMENTAL STREET LIGHTING SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION. LIGHTING SHALL NOT TO BE OWNED OR MAINTAINED BY THE CITY.
- SLOPED GRANITE CURB TO BE TIPPED DOWN AT ALL DRIVEWAY ENTRANCES BY THE CONTRACTOR. ALL DRIVEWAY LOCATIONS SHALL BE REVIEWED AND APPROVED BY PUBLIC WORKS PRIOR TO ISSUANCE OF BUILDING PERMIT.

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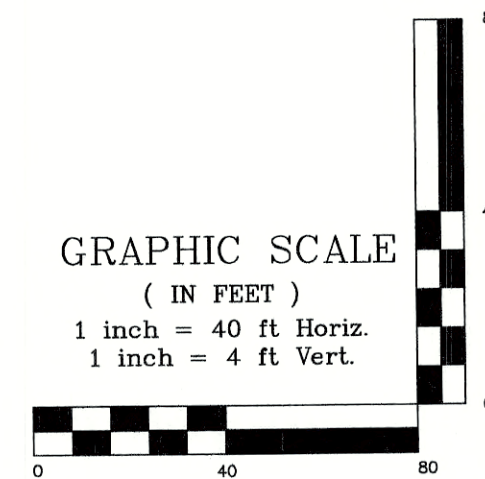
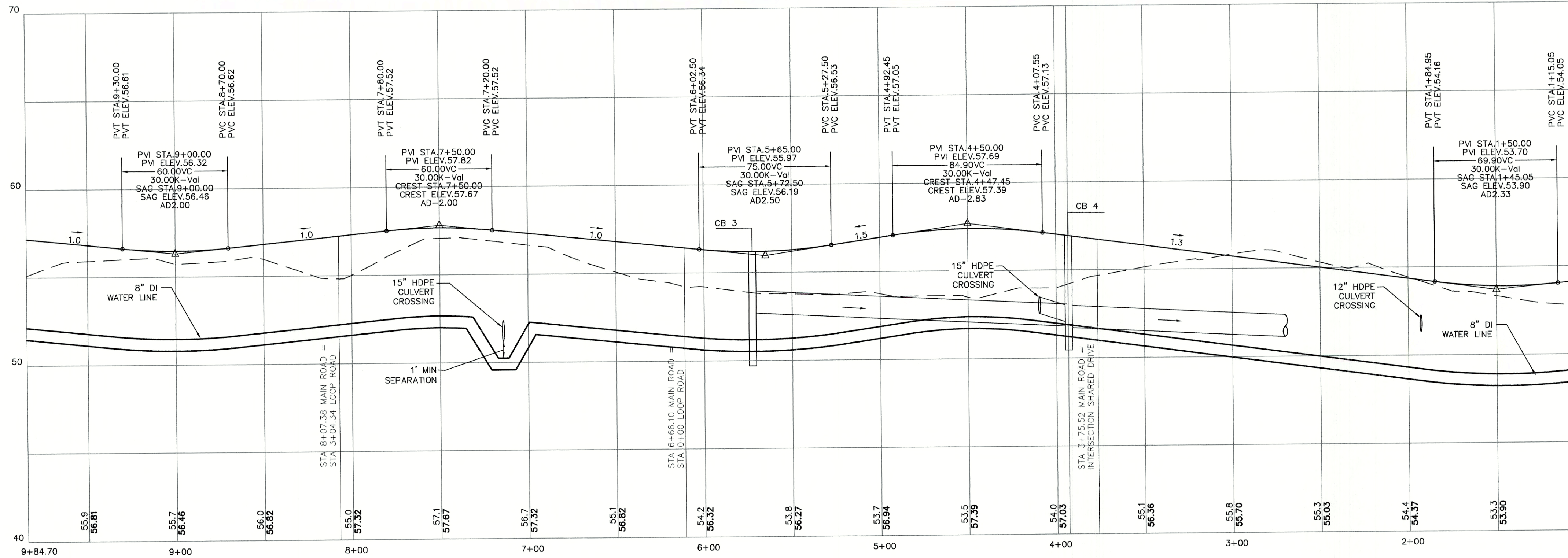
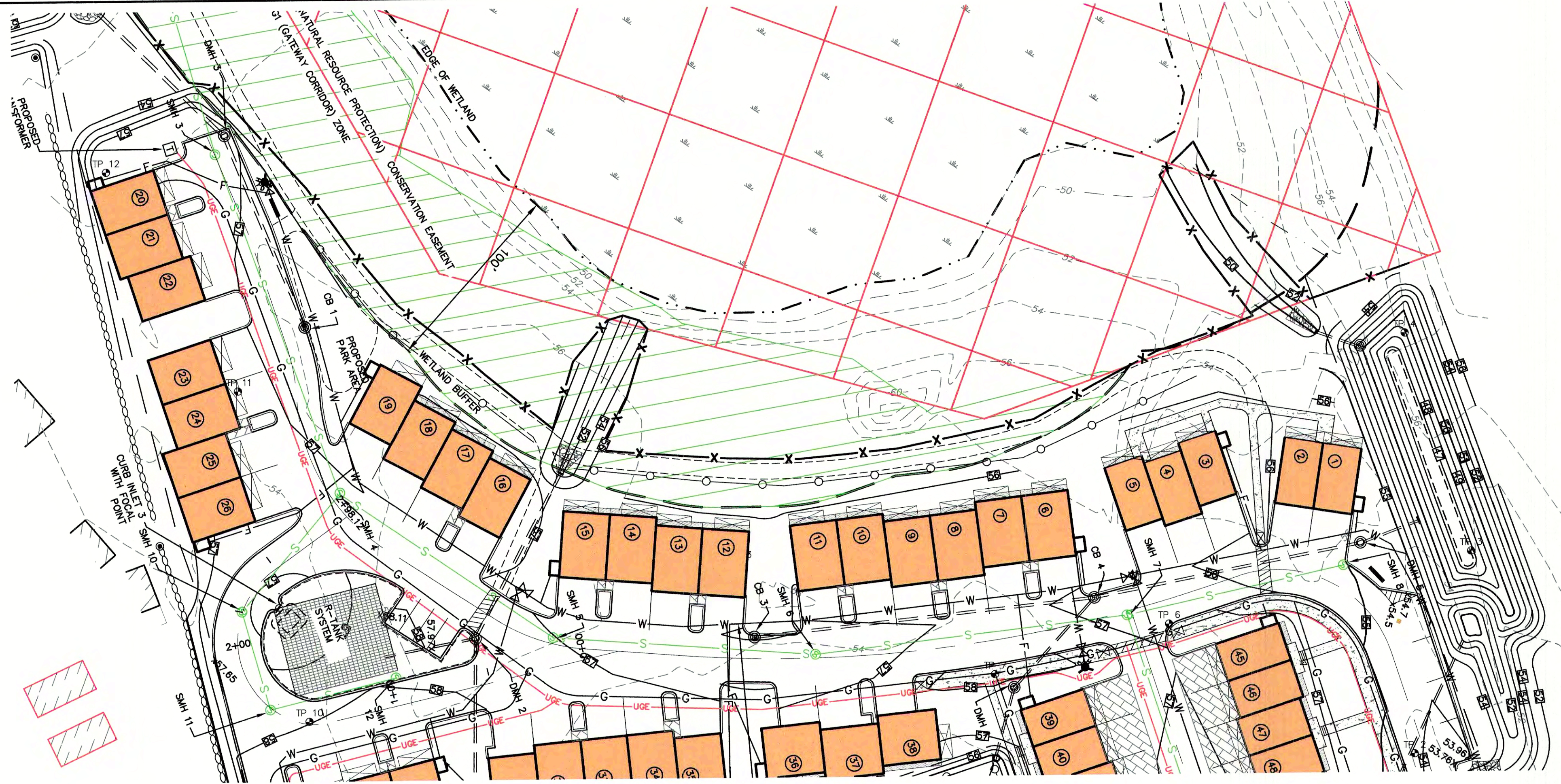
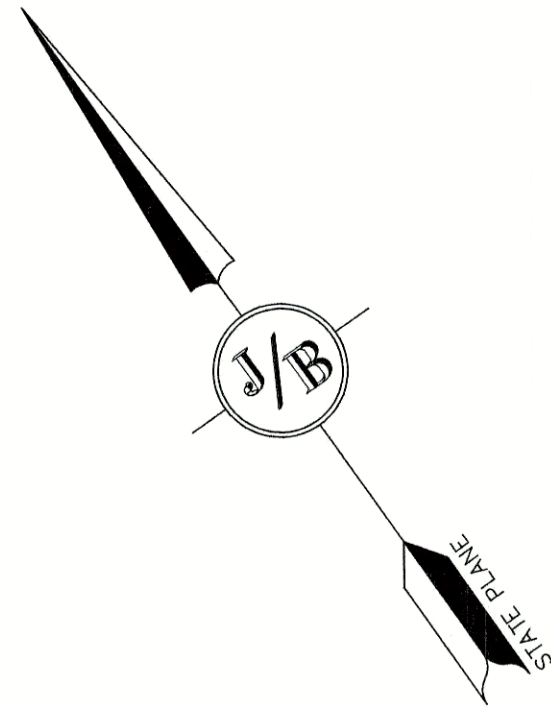


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1			

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Plan Name:	PLAN AND PROFILE
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.
P1
SHEET 12 OF 26
JBE PROJECT NO. 20737



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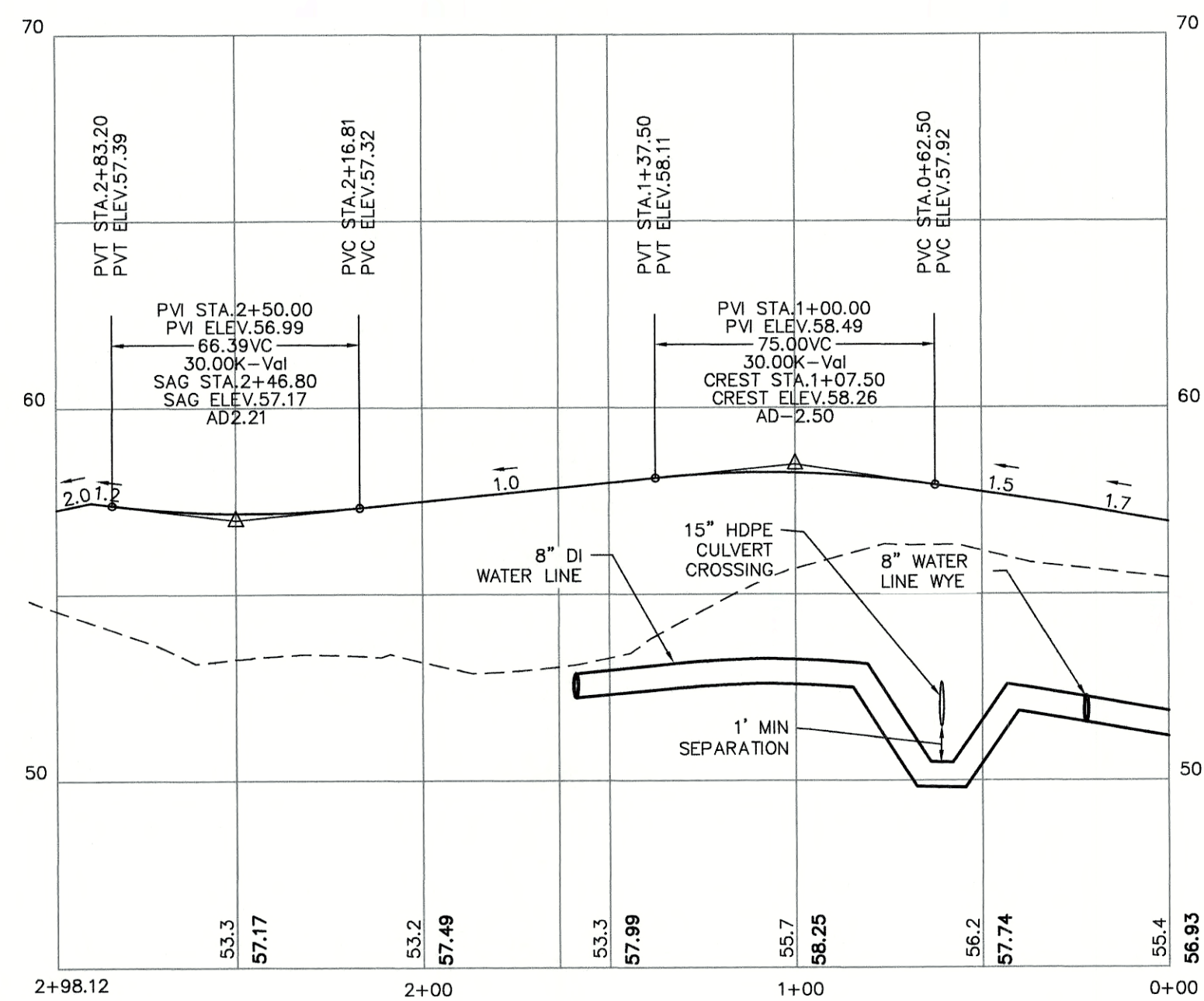
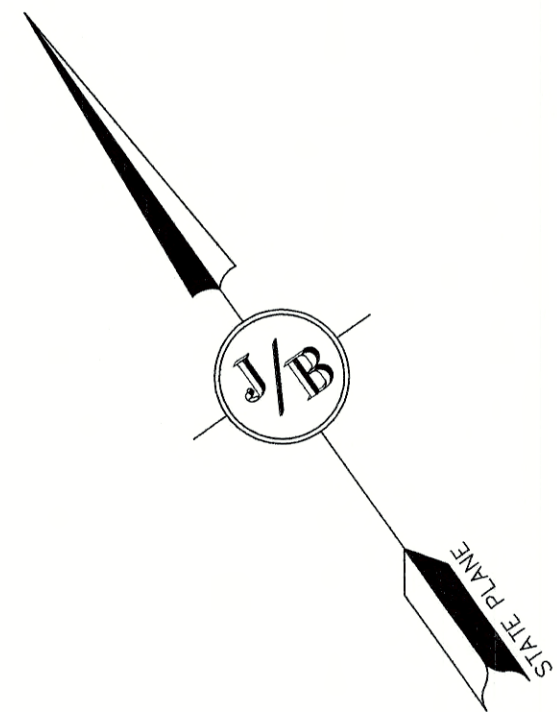


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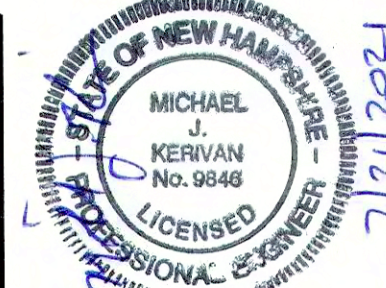
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DRAWING No.
P2
SHEET 13 OF 26
JBE PROJECT NO. 20737



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft Horiz.
1 inch = 4 ft Vert.

Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg
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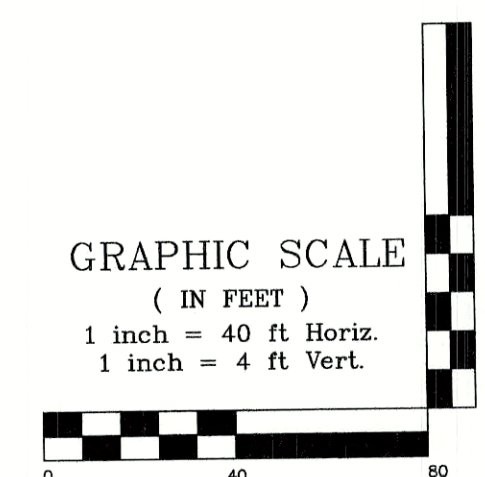
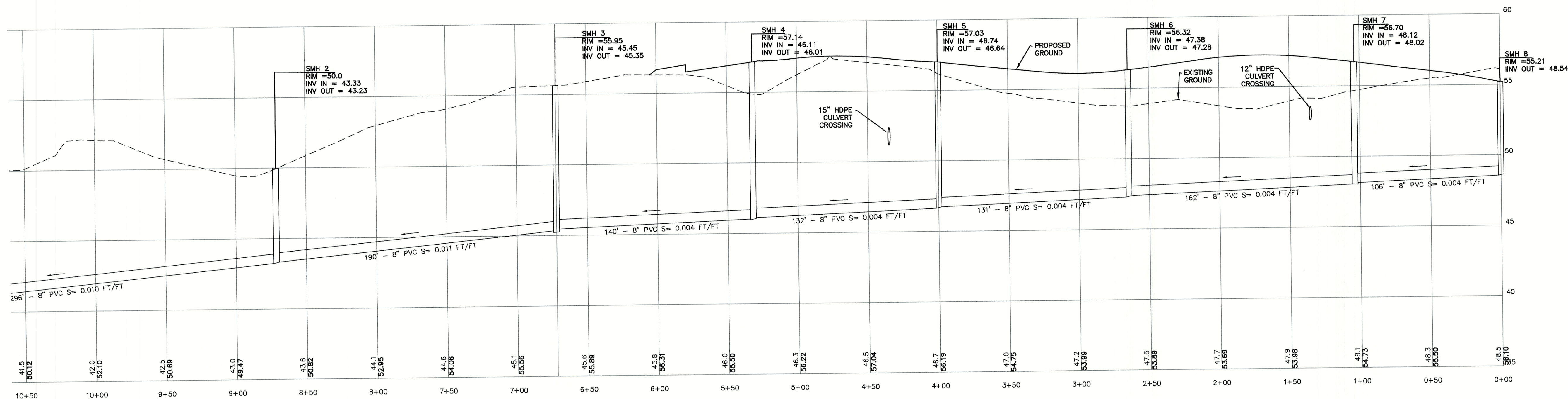


REV.	DATE	REVISION	BY
7	7/20/21	REVISIONS PER CITY REVIEW	LAZ
6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
REV.	DATE	REVISION	BY

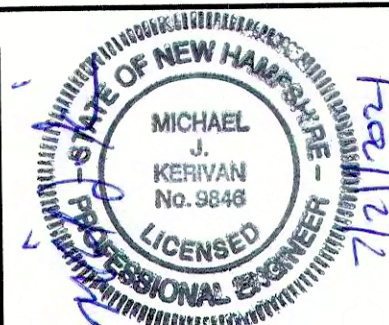
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P3**
SHEET 14 OF 26
JBE PROJECT NO. 20737



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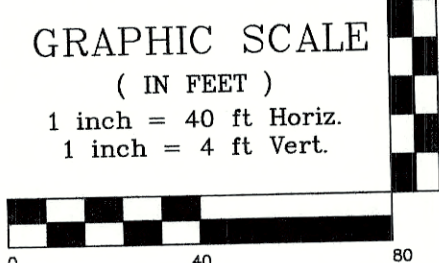
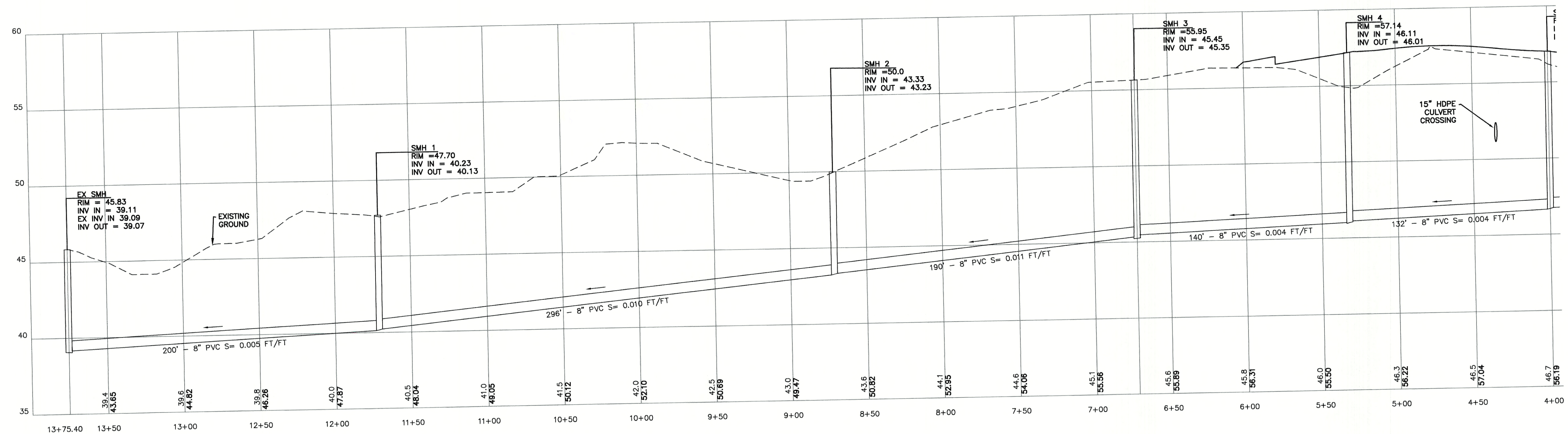
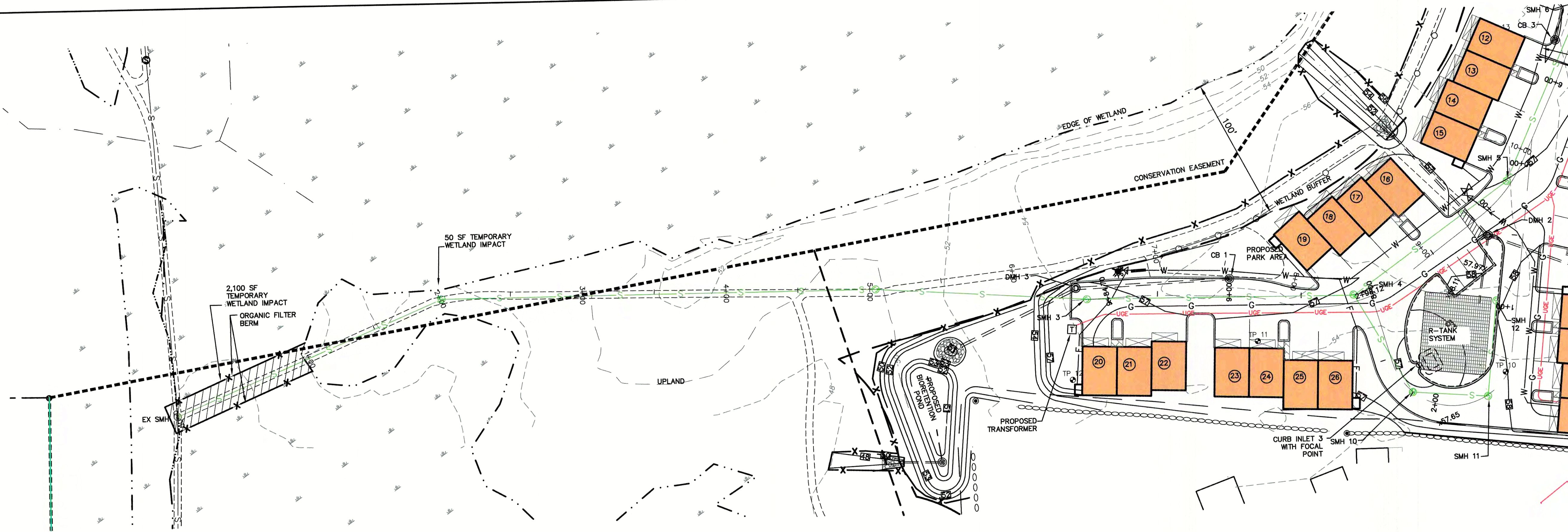


7	7/20/21	REVISIONS PER CITY REVIEW	LAZ
6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
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3	3/3/21	ADDED SURVEY INFO	LAZ
REV.	DATE	REVISION	BY

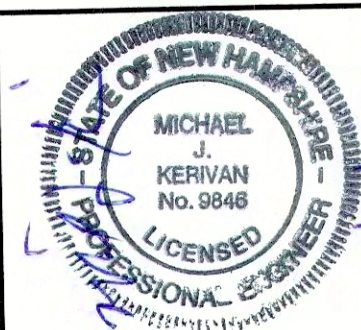
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Civil Engineering Services
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603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SEWER PROFILE**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No.
P4
SHEET 15 OF 26
JBE PROJECT NO. 20737



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6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2			
1			

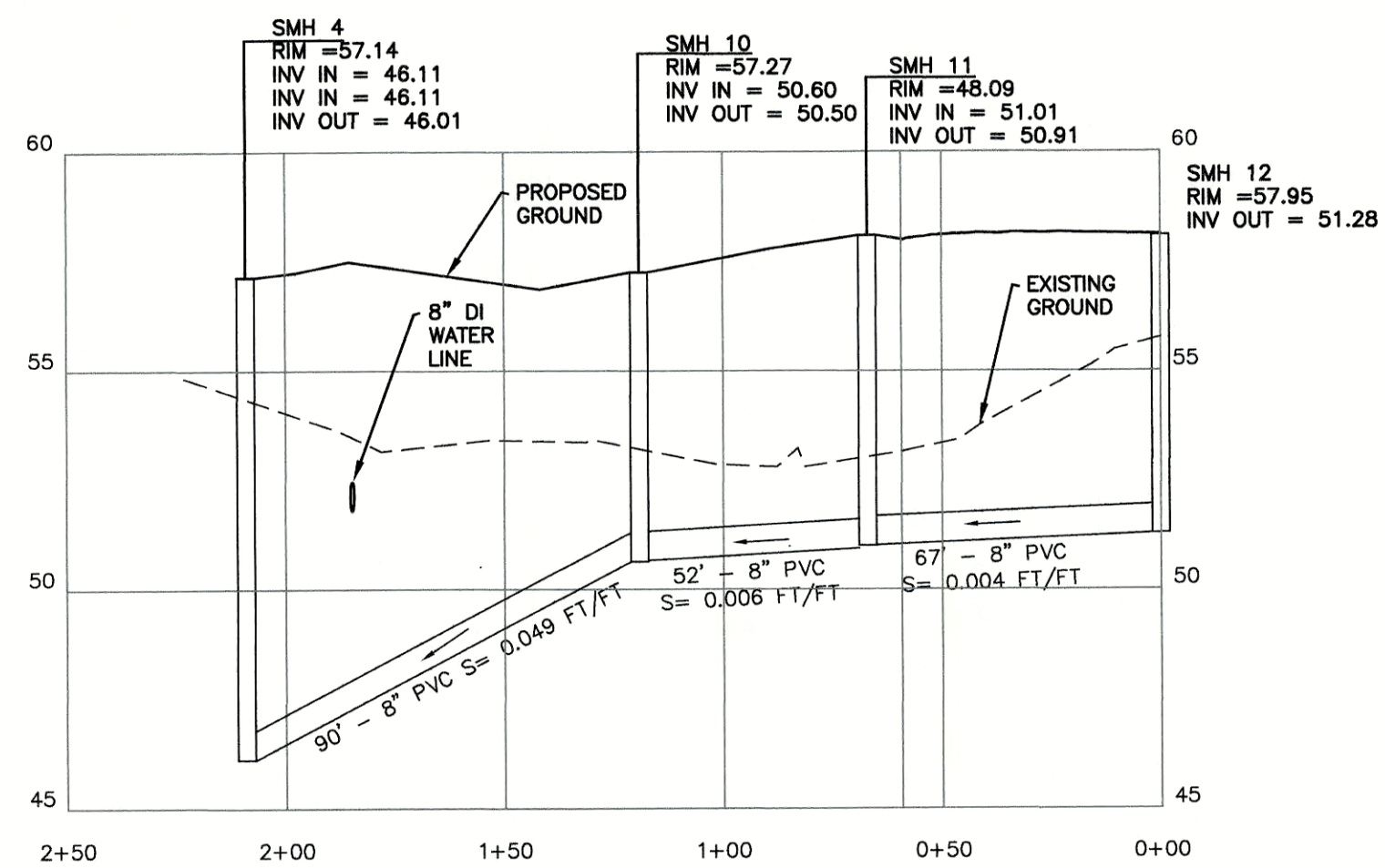
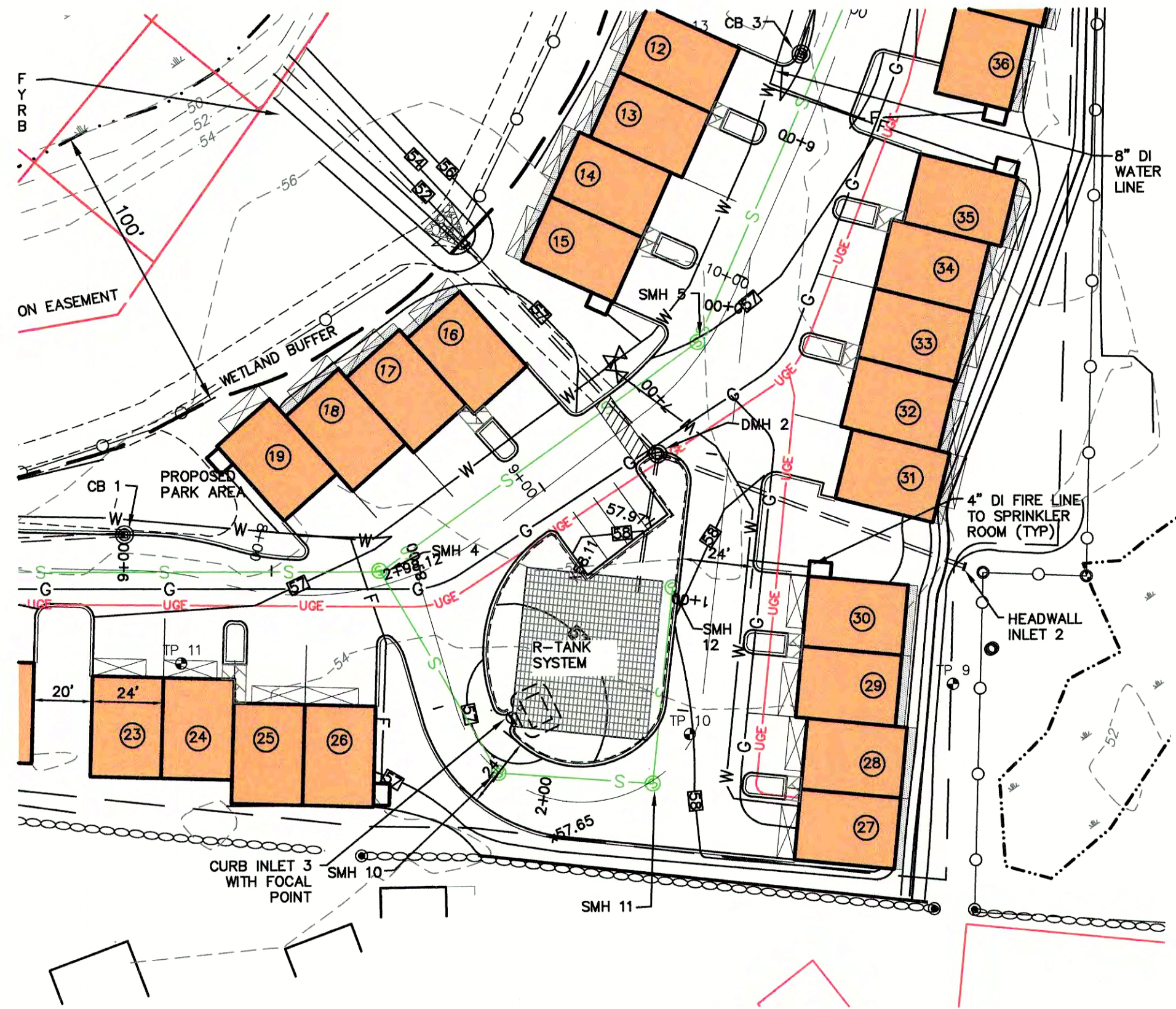
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Plan Name: **SEWER PROFILE**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

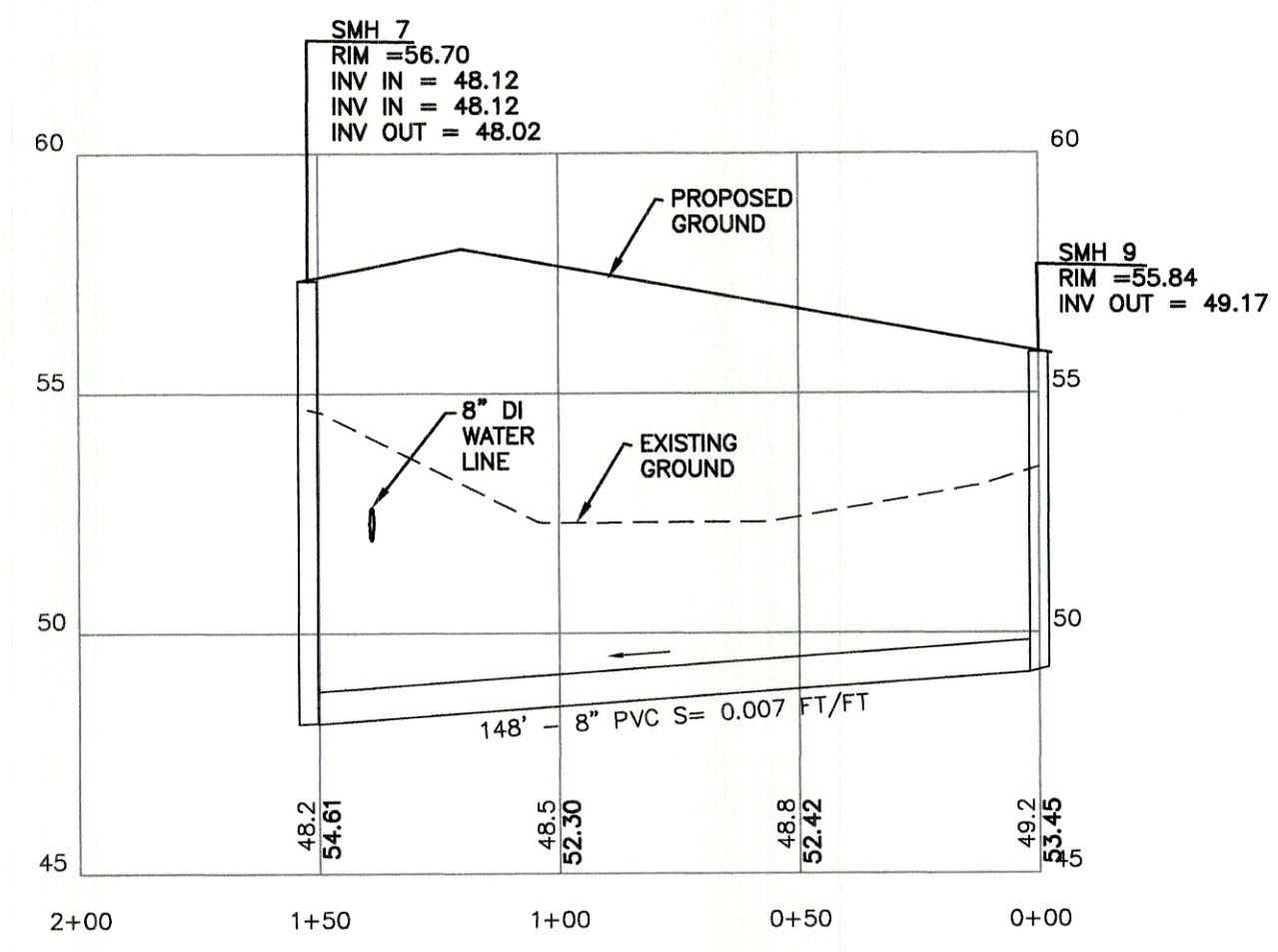
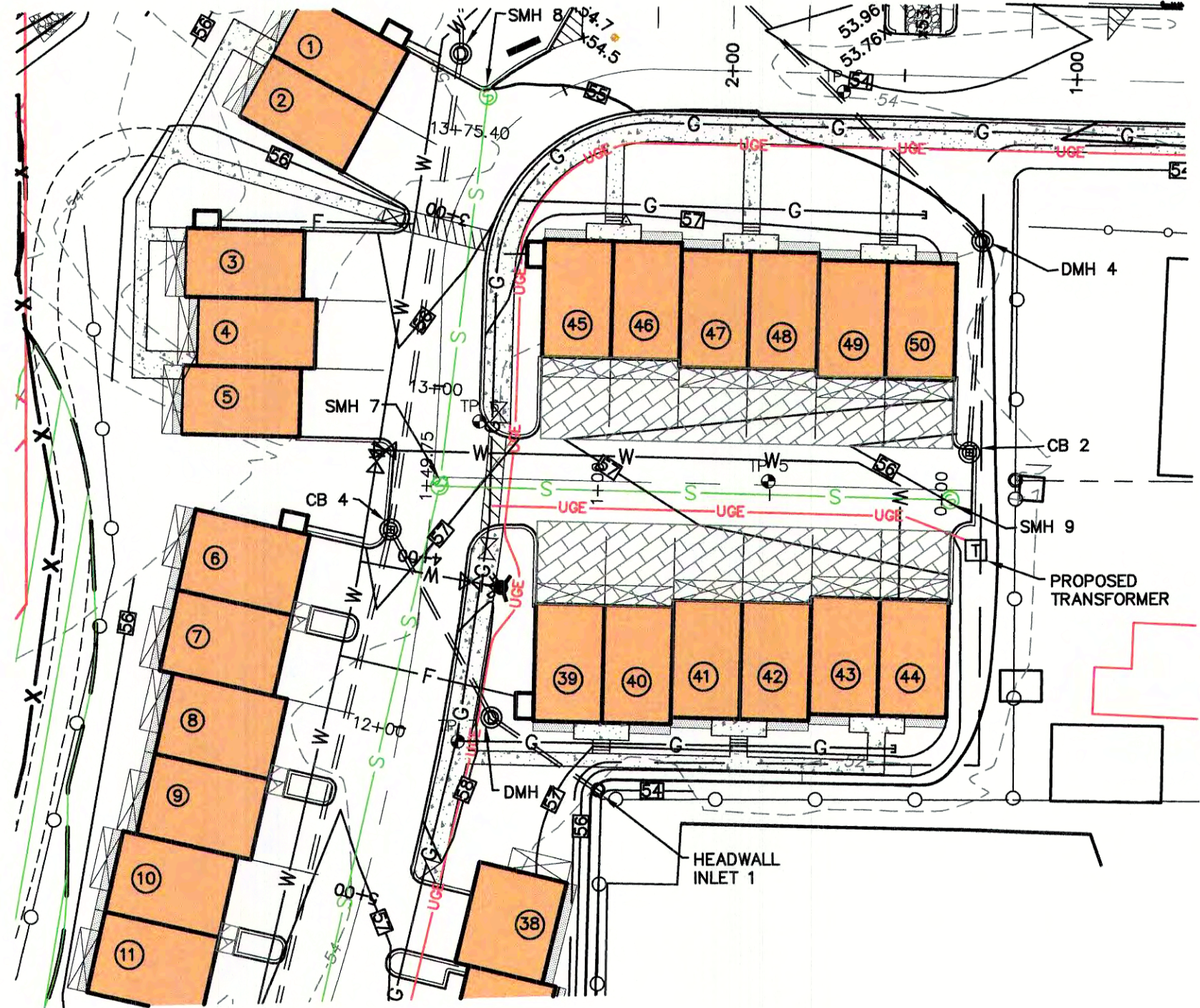
DRAWING No.

P5

SHEET 16 OF 26
 JBE PROJECT NO. 20737



LOOP ROAD



SHARED DRIVEWAY

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft Horiz.
1 inch = 4 ft Vert.

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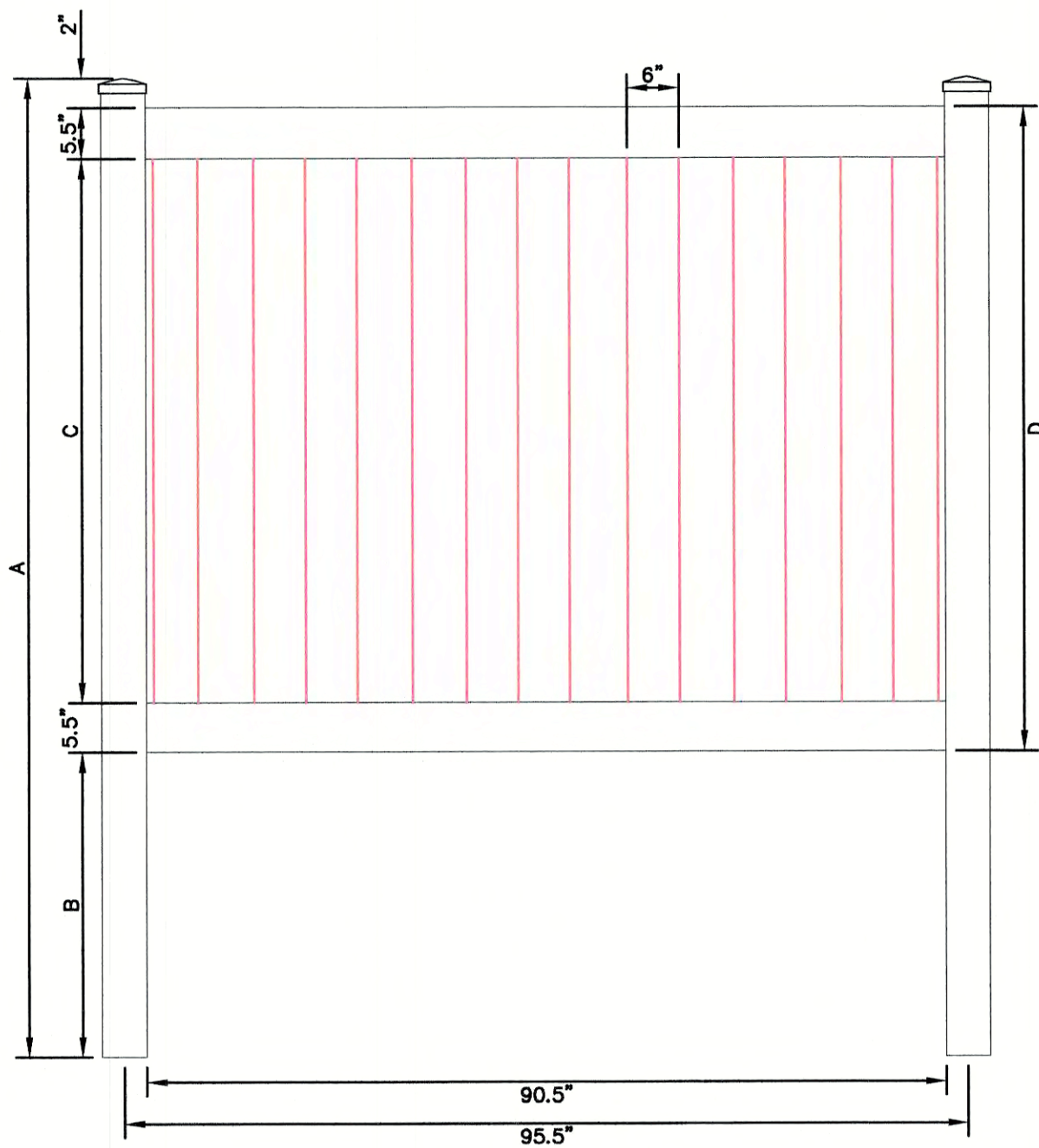


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5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
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Plan Name: **SEWER PROFILE**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P5**
SHEET 17 OF 26
JBE PROJECT NO. 20737



FRONT ELEVATION

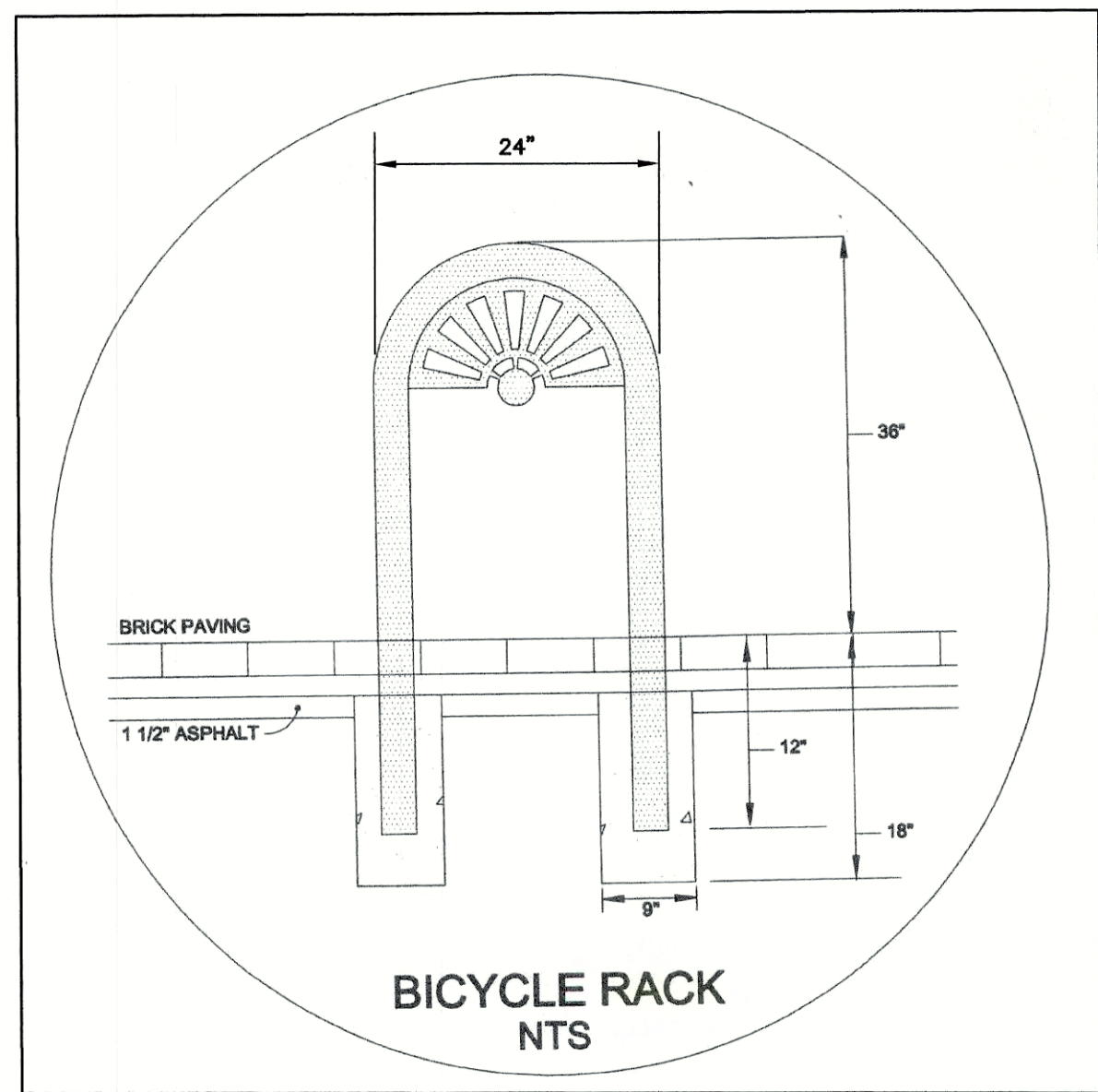
A		B		C		D	
H(FT)	INCHES	H(FT)	INCHES	H(FT)	INCHES	H(FT)	INCHES
3	60	3	22	3	25	3	36
4	84	4	34	4	37	4	48
5	96	5	34	5	49	5	60
6	108	6	34	6	61	6	72

NOTES:

1. CONTRACTOR TO PROVIDE FENCE SPEC TO ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
2. VINYL FENCE SHALL MEET ASTM F964-09 STANDARDS.

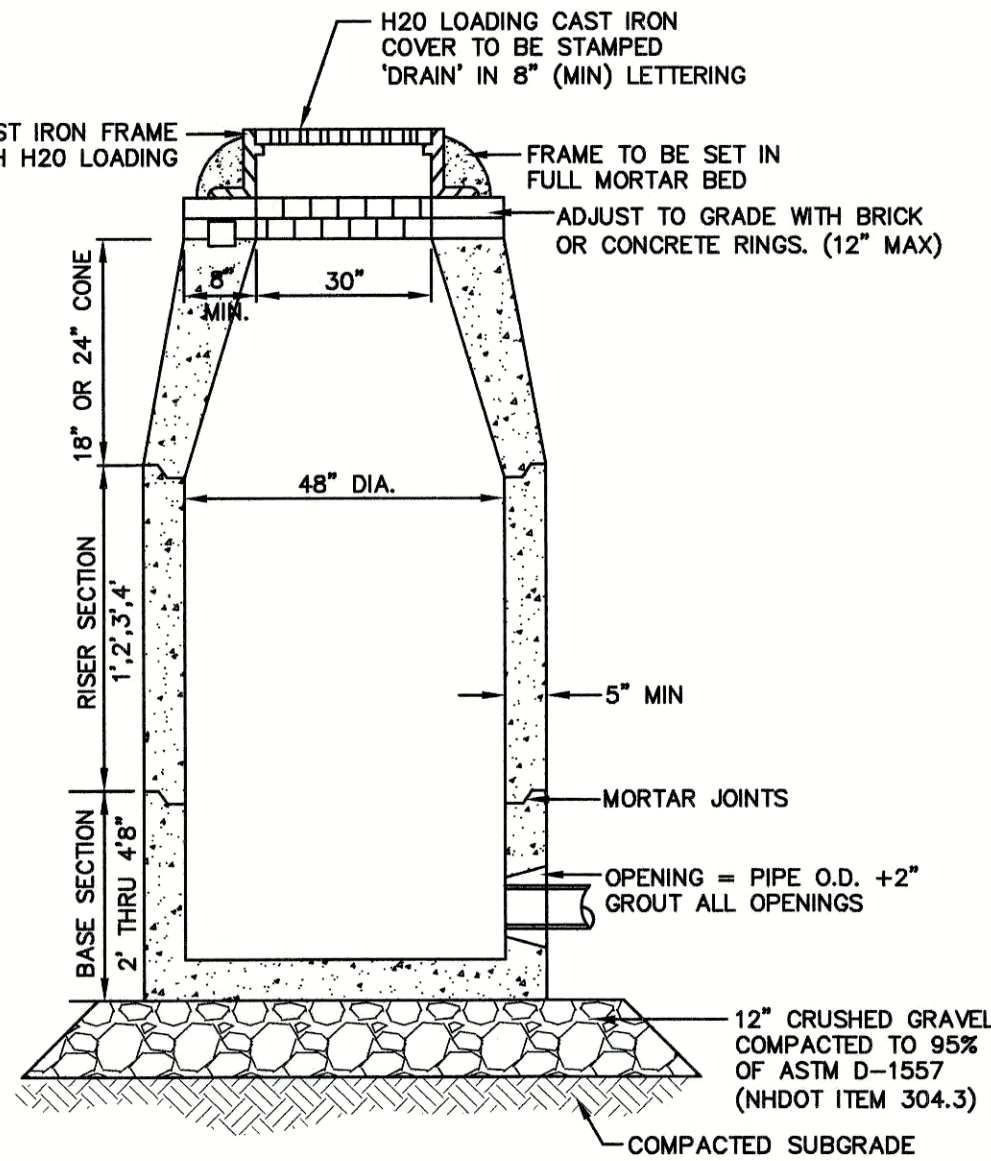
6' VINYL STOCKADE FENCE

NOT TO SCALE



PORTSMOUTH BICYCLE RACK

NOT TO SCALE

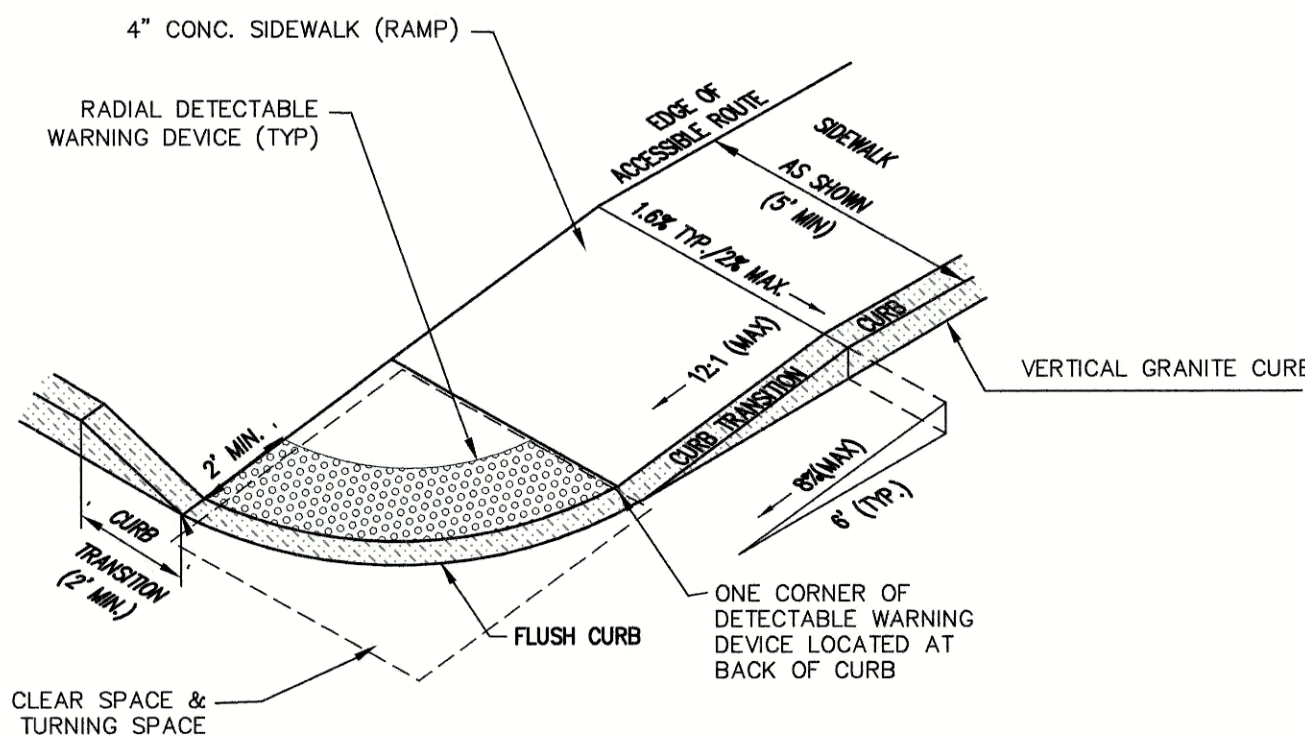


NOTES:

1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
7. ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NHDOT TYPE MH-1, OR NEENAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
8. STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

DRAIN MANHOLE

NOT TO SCALE

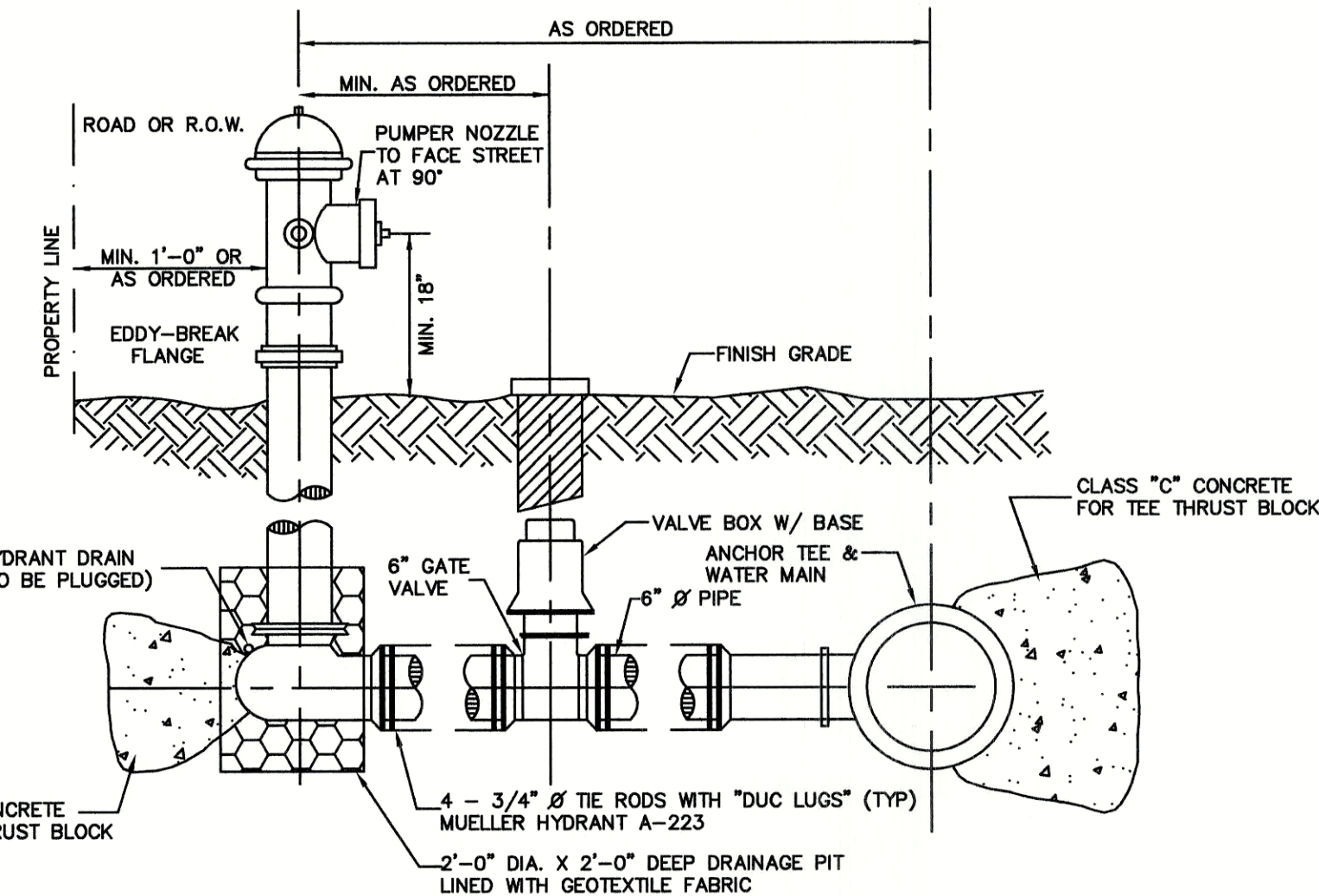


NOTES:

1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8.3%.
4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.
8. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE AND/OR THE TOP OF THE CURB RAMP. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.
9. TURNING SPACE MAXIMUM CROSS SLOPE IS 2% IN ANY DIRECTION.
10. BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4'x4' MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK, AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES AND DROP CURBS.

ACCESSIBLE CURB RAMP (NHDOT OPTION 3)

NOT TO SCALE

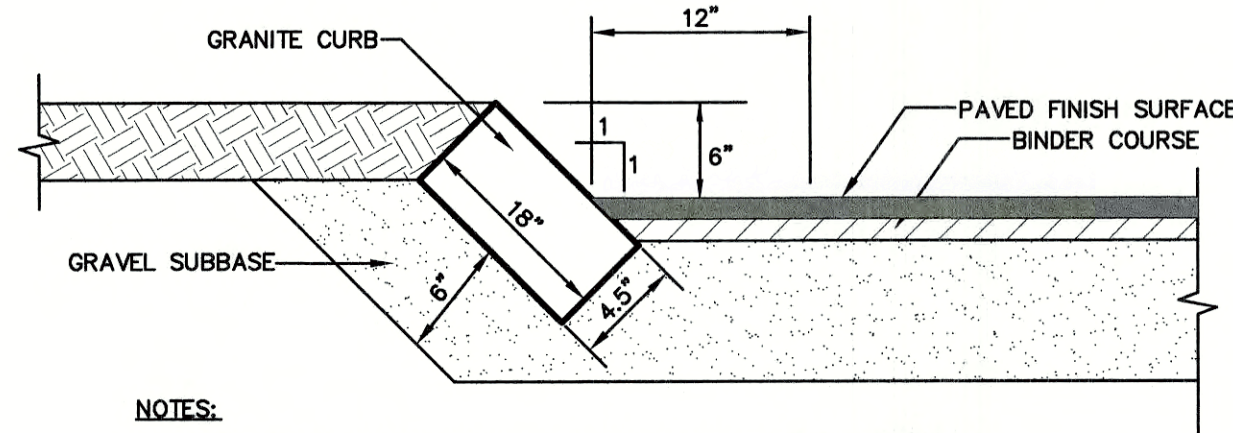


NOTES:

1. ALL PIPE FITTINGS TO BE D.I. PRESSURE CLASS 350, THICKNESS CLASS 52.
2. HYDRANT TO BE PAINTED RED WITH WHITE "REFLECTOR" PAINT ON BONNET.
3. MECHANICAL JOINTS SHALL HAVE MEGALUG RETAINING GLANDS AS MADE BY EBBA OR APPROVED EQUAL.
4. STEAMER NOZZLE TO BE "STORCH" TYPE.
5. NATIONAL STANDARD THREAD.

HYDRANT INSTALLATION

NOT TO SCALE

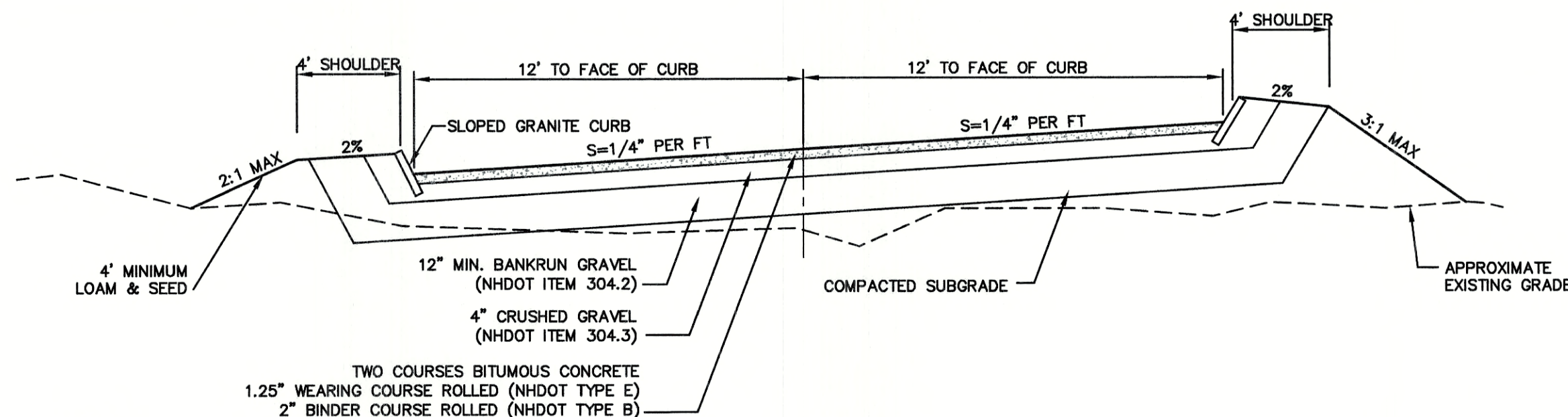


NOTES:

1. CURB TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.

SLOPE GRANITE CURB

NOT TO SCALE

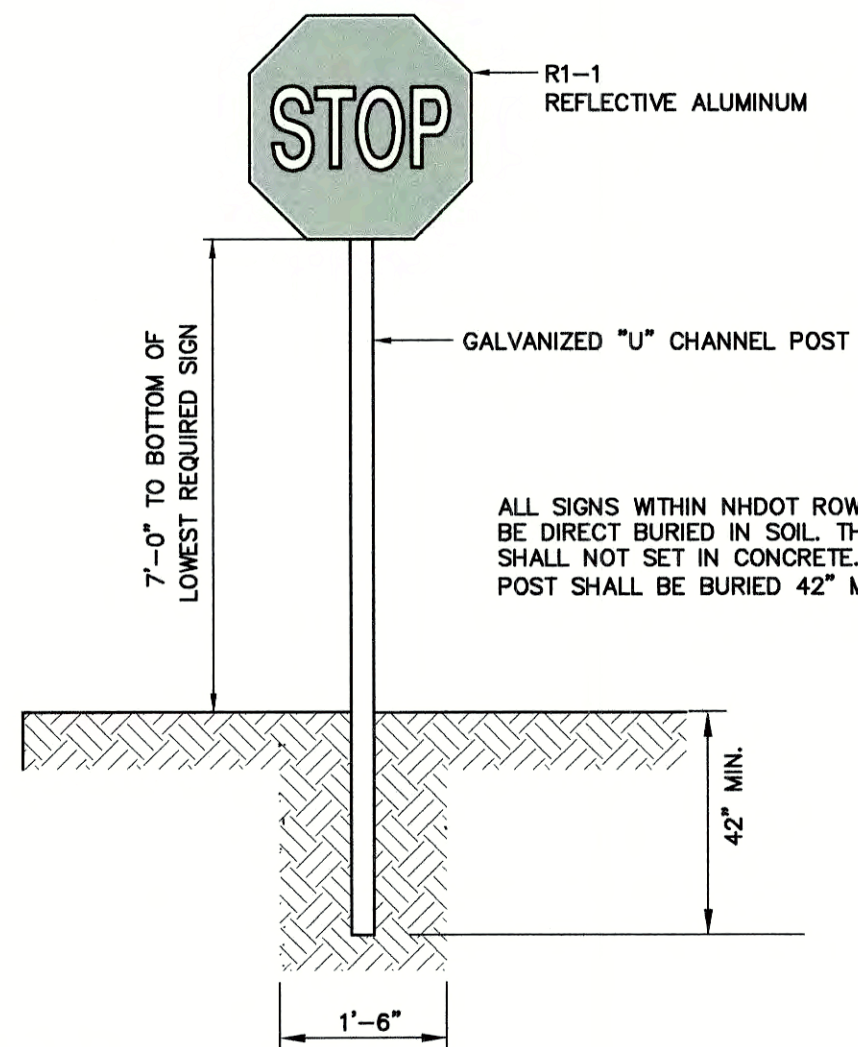


NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
2. ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
3. TOWN MAY REQUIRE UNDERDRAIN AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.

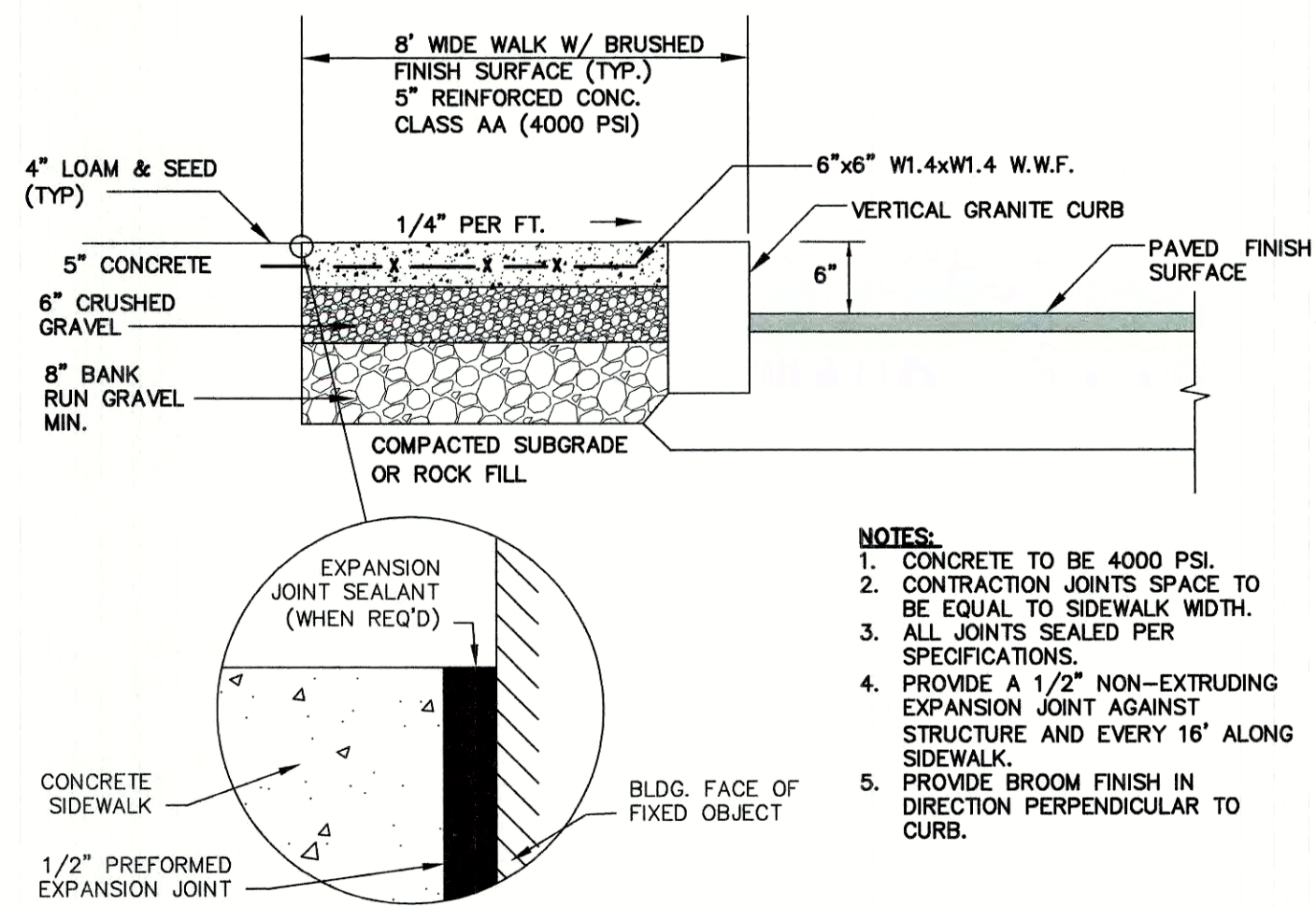
TYPICAL ROADWAY SECTION W/CURBING

NOT TO SCALE



STOP SIGN (R1-1)

NOT TO SCALE



NOTES:

1. CONCRETE TO BE 4000 PSI.
2. CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
3. ALL JOINTS SEALED PER SPECIFICATIONS.
4. PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.
5. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

CONCRETE SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE

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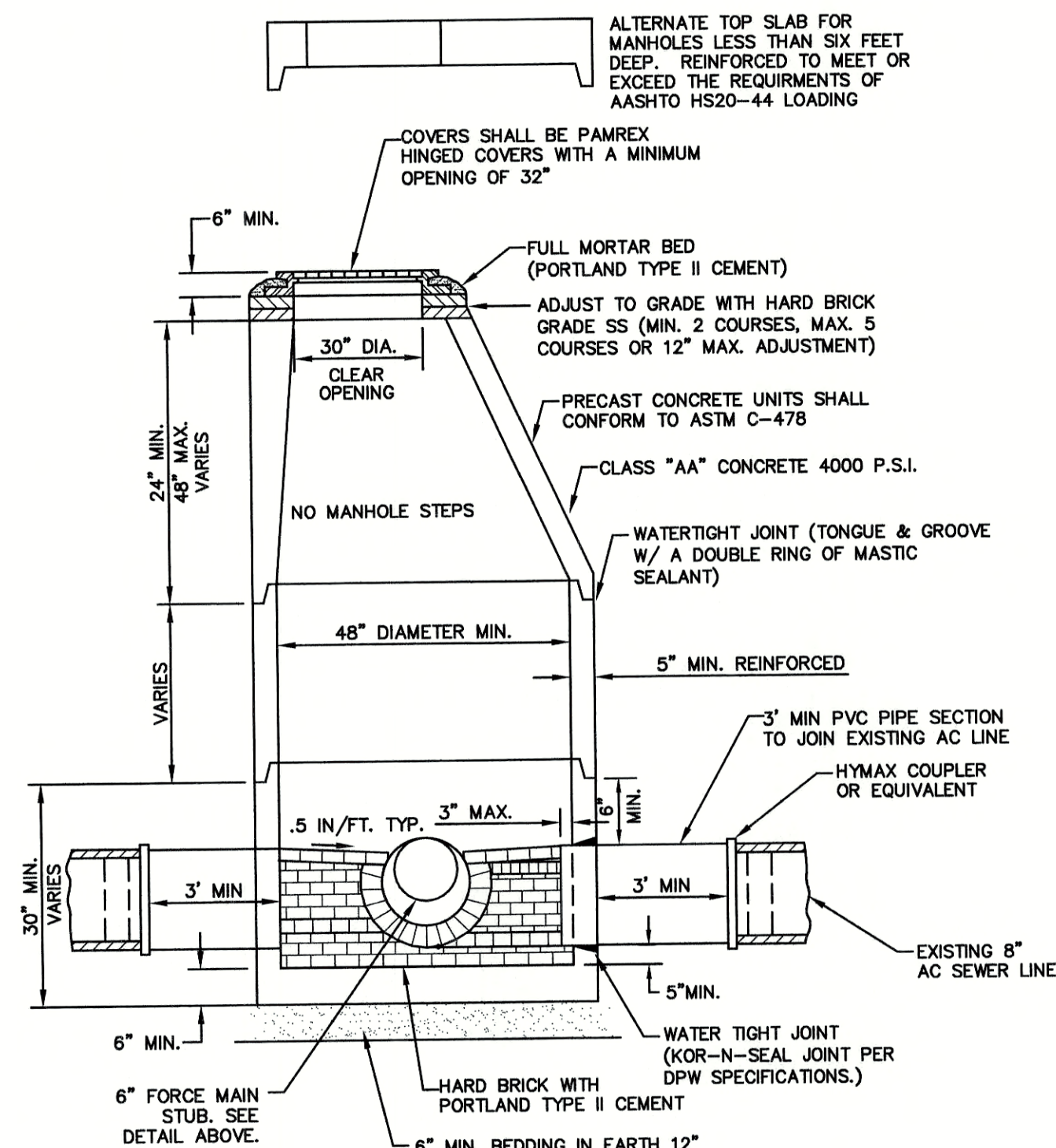
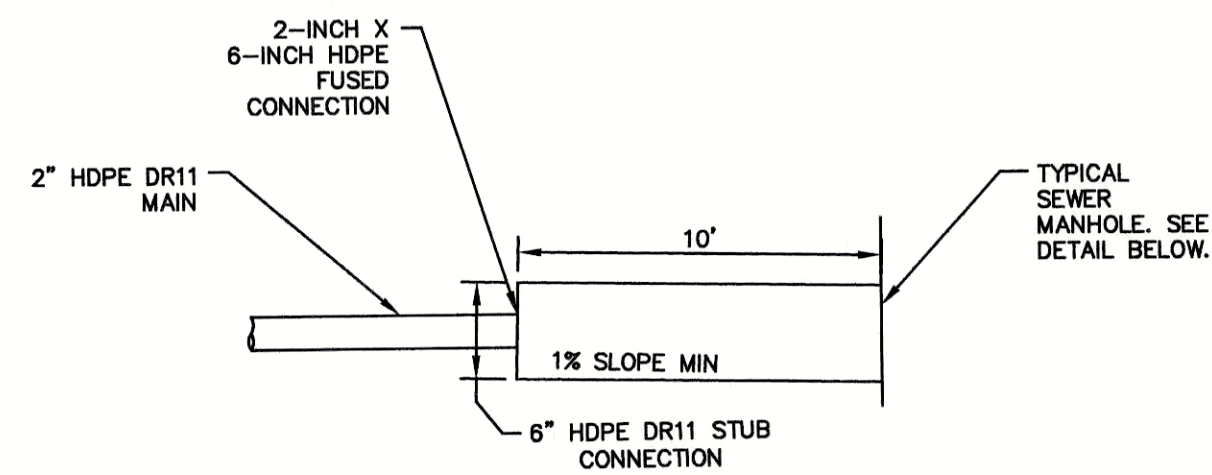


REV.	DATE	REVISIONS PER CITY REVIEW	LAZ
7	7/20/21	REVISIONS PER CITY REVIEW	LAZ
6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
REV.	DATE	REVISION	BY

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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
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FAX: 603-772-0227
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Plan Name:	DETAIL SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	D1
SHEET 18 OF 26	JBE PROJECT NO. 20737

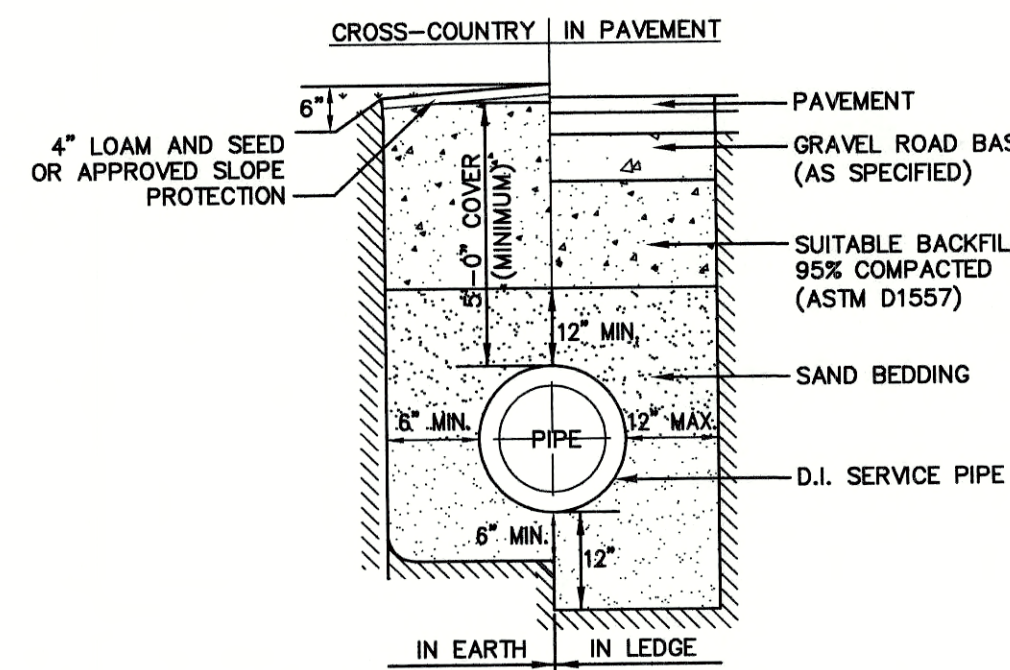


- NOTES:**

1. PER NHDES ENV-WQ 704.13(C), THE MORTAR SPECIFICATION SHALL BE AS FOLLOWS:
 1. MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION;
 2. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
 - A. 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
 - B. 0.5 PARTS SAND, ONE PART CEMENT AND 0.5 PART HYDRATED LIME;
 3. CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05;
 4. HYDRATED LIME SHALL BE TYPE S CONFORMING TO THE ASTM C207-08 "STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES";
 5. SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO THE ASTM C33-03 "STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES";
2. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL IN ACCORDANCE WITH ENV-WQ 704.12 (K).
3. ALL MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH ENV-WQ 704.17 (a) THROUGH (e).
4. SEWER MANHOLE COVERS SHALL CONFORM TO ASTM A48 WITH A CASTING EQUAL TO CLASS 30 IN ACCORDANCE WITH ENV-WQ 704.13 (a).
5. ALL ASBESTOS CONTAINING WASTE MATERIALS MUST BE PROPERLY IDENTIFIED, PACKAGED AND DELIVERED TO A LICENSED BY THE NHDES SOLID WASTE MANAGEMENT PROGRAM FOR DISPOSAL. CALL (603) 271-2925 FOR MORE INFORMATION.
6. PORTSMOUTH STANDARD SEWER MANHOLE SHALL BE USED.
7. CONTRACTOR TO PURCHASE SEWER MANHOLE COVERS FROM THE CITY OF PORTSMOUTH DIRECTLY.
8. MANHOLE BASE SECTIONS SHALL BE MONOLITHIC TO A POINT AT LEAST 6" ABOVE THE HIGHEST INCOMING SEWER PIPE PER ENV-WQ 704.12 (e).
9. MANHOLE CASTINGS SHALL CONFORM TO ASTM A48 PER ENV-WQ 704.13 (a) (8).

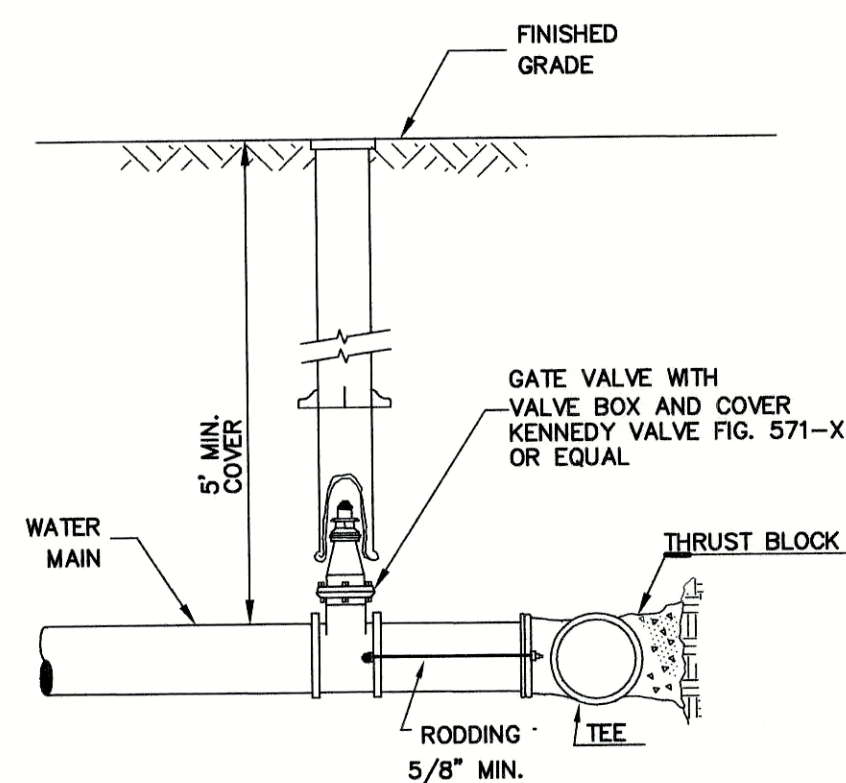
PORTSMOUTH SEWER MANHOLE

NOT TO SCALE



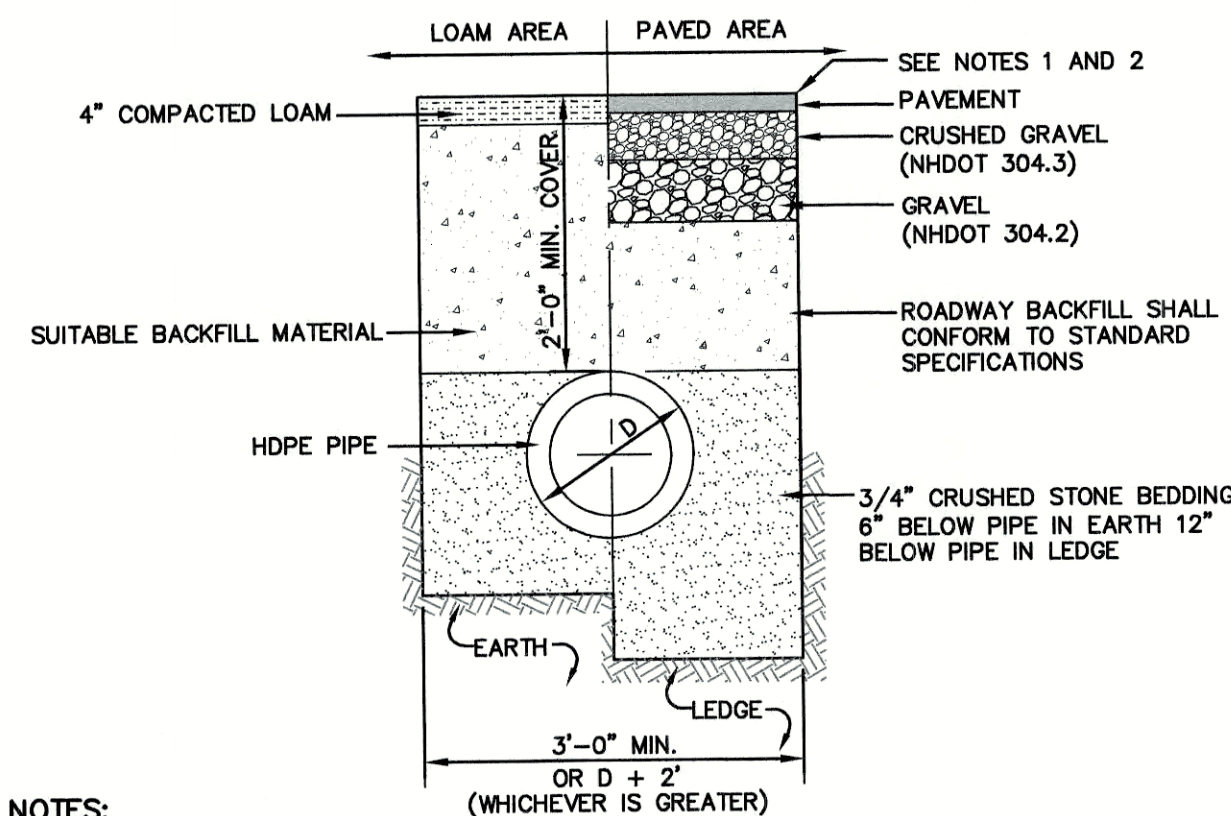
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NOT TO SCALE



BURIED GATE VALVE DETAIL

NOT TO SCALE

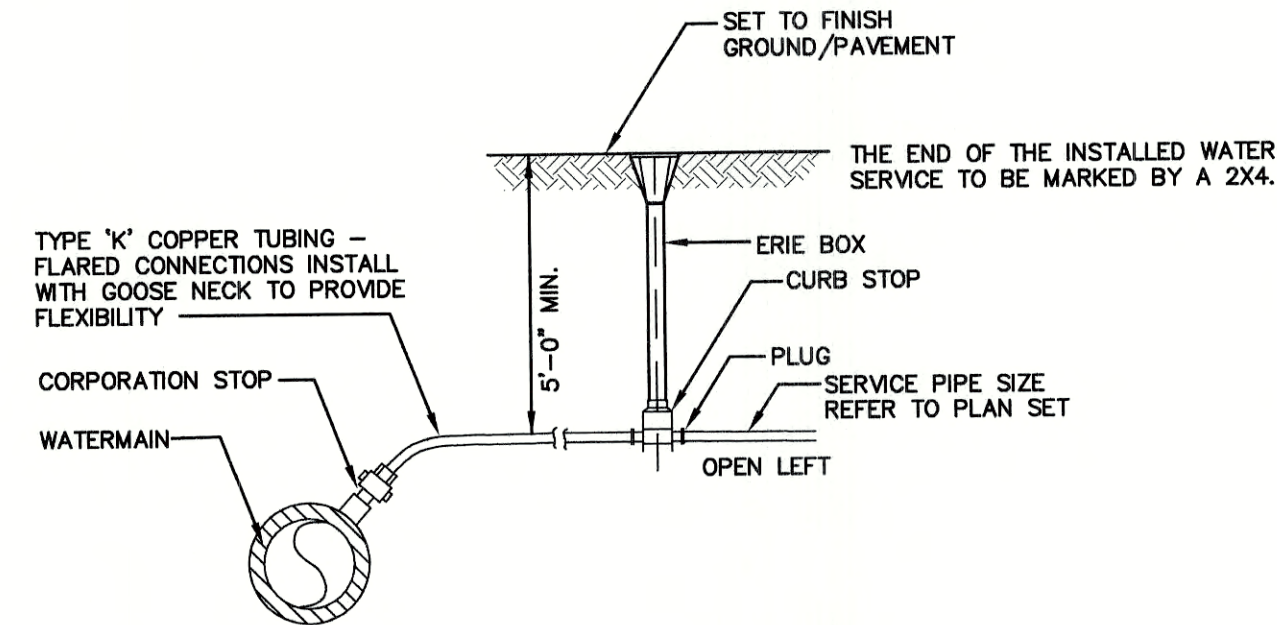


- NOTES:**

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
3. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

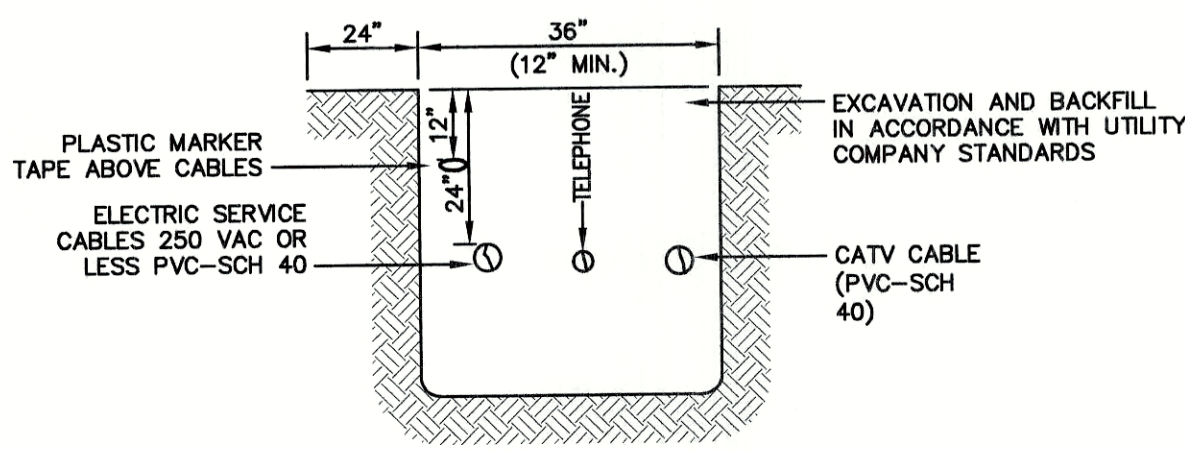
DRAINAGE TRENCH

NOT TO SCALE



WATER SERVICE CONNECTION-COPPER PIPE

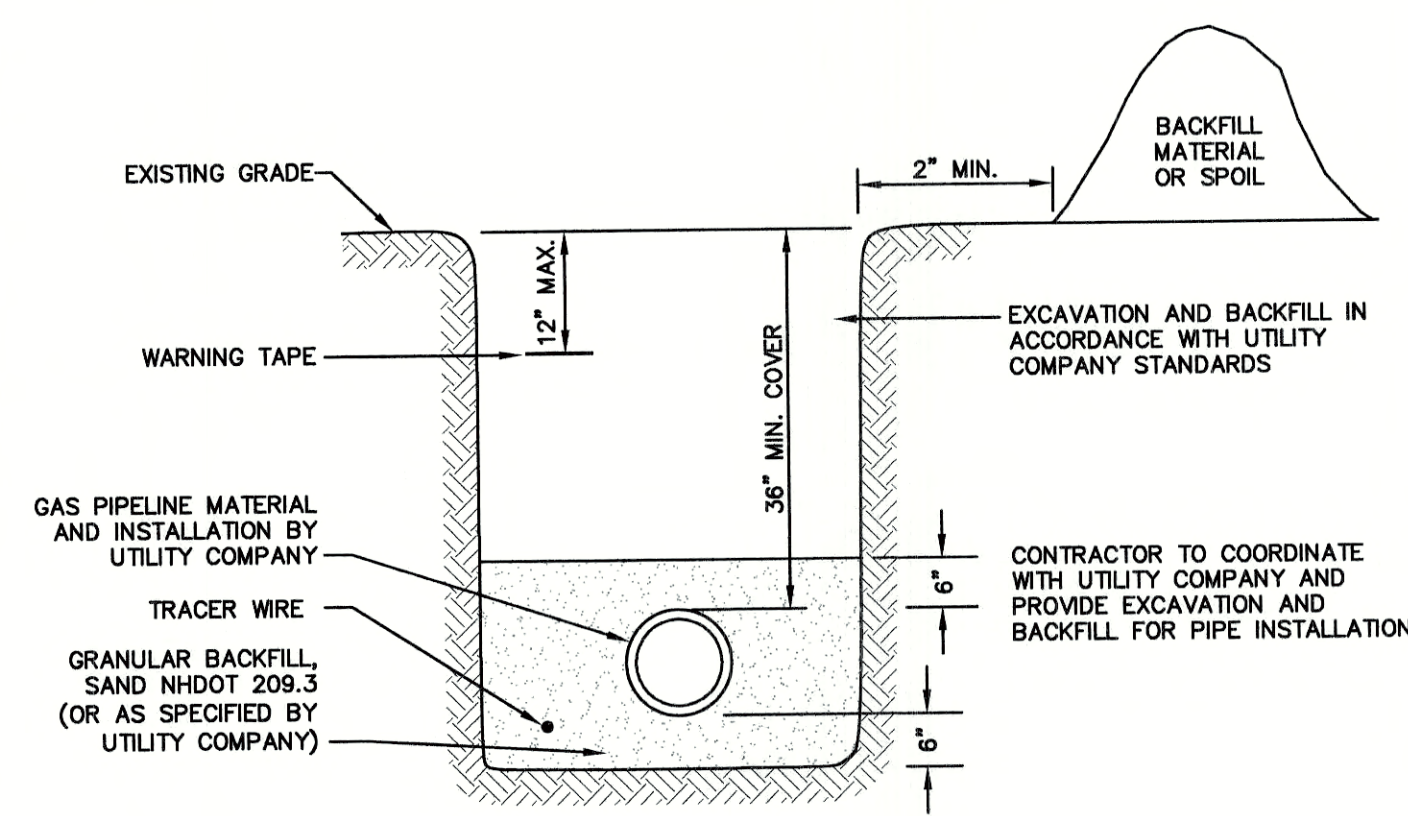
NOT TO SCALE



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

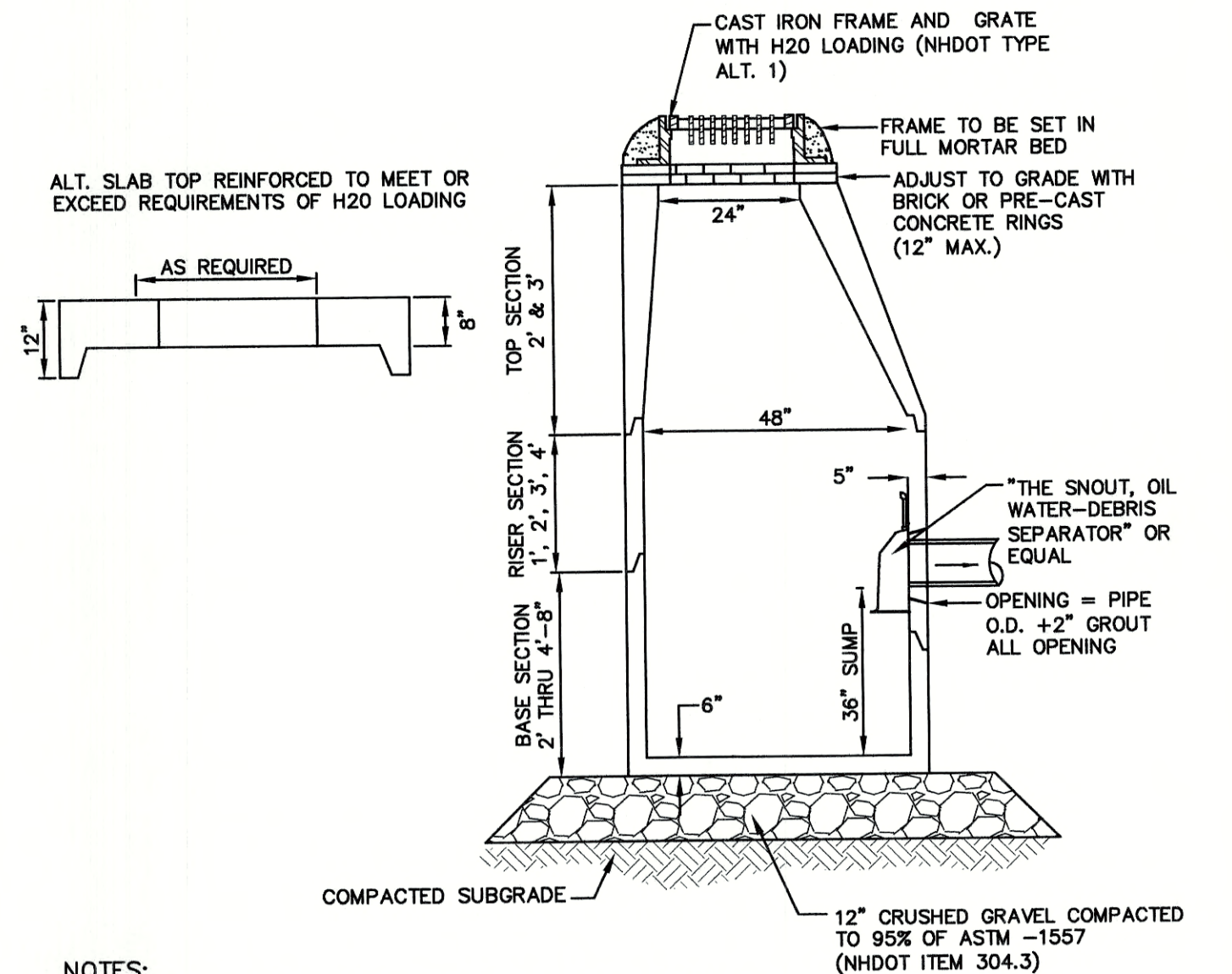
UTILITY TRENCH

NOT TO SCALE



GAS TRENCH

NOT TO SCALE

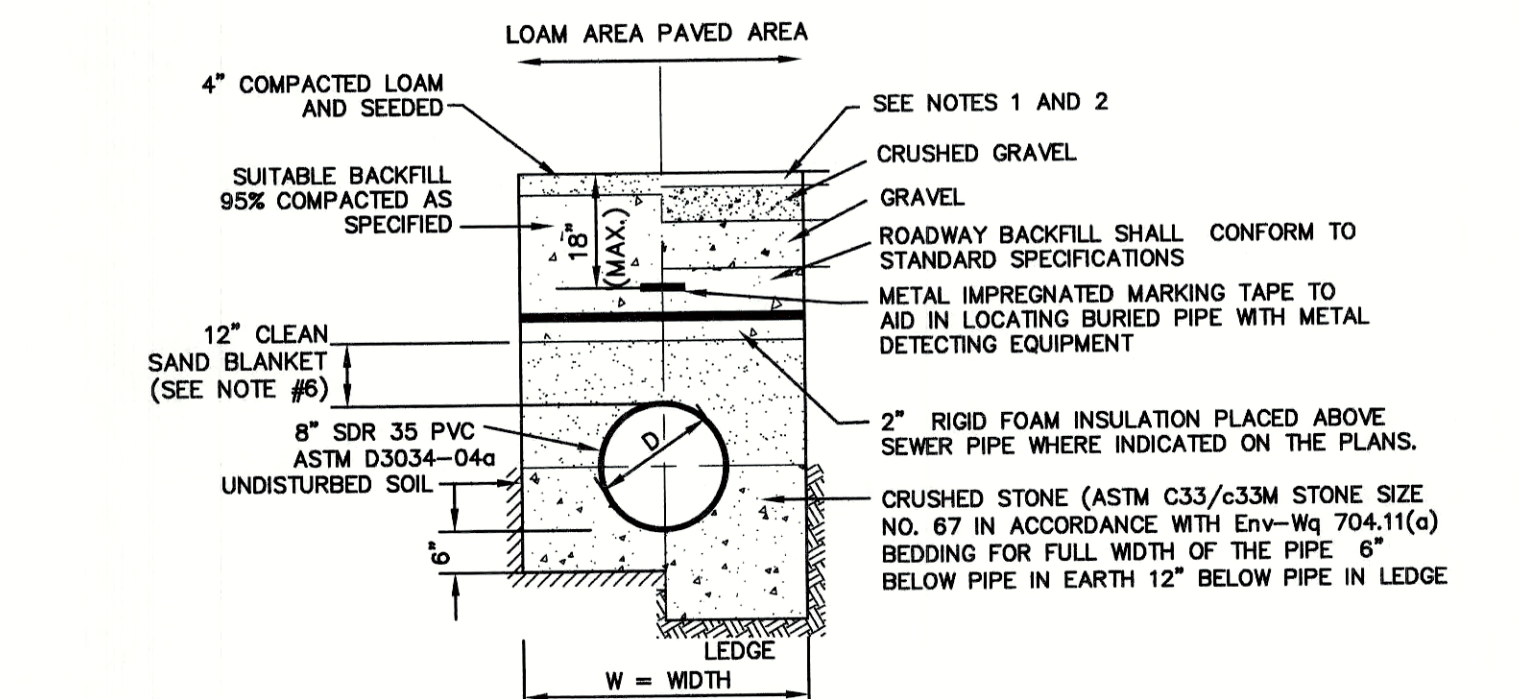


- NOTES:

- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".
 9. ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

CATCH BASIN WITH GREASE HOOD

NOT TO SCALE



- NOTES:

- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO PAVEMENT DETAILS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
 3. TRENCH BACKFILL SHALL CONFORM WITH ENV. Wq 704.11(h) AND BE FREE OF DEBRIS, PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE OR ROCKS OVER SIX INCHES.
 4. W= MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, WIDTH SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, WIDTH SHALL BE 24 INCHES PLUS PIPE O.D. WIDTH SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 5. RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6" AND CROSS COUNTRY IS LESS THAN 4' WHERE INDICATED ON THE DES APPROVED PLANS.
 6. PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND, FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND A MAXIMUM OF 15% PASSES A #200 SIEVE IN ACCORDANCE WITH Env-wq 704.11(b).
 7. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE PER Env-Wq 704.05 (e).

SEWER TRENCH

NOT TO SCALE

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FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

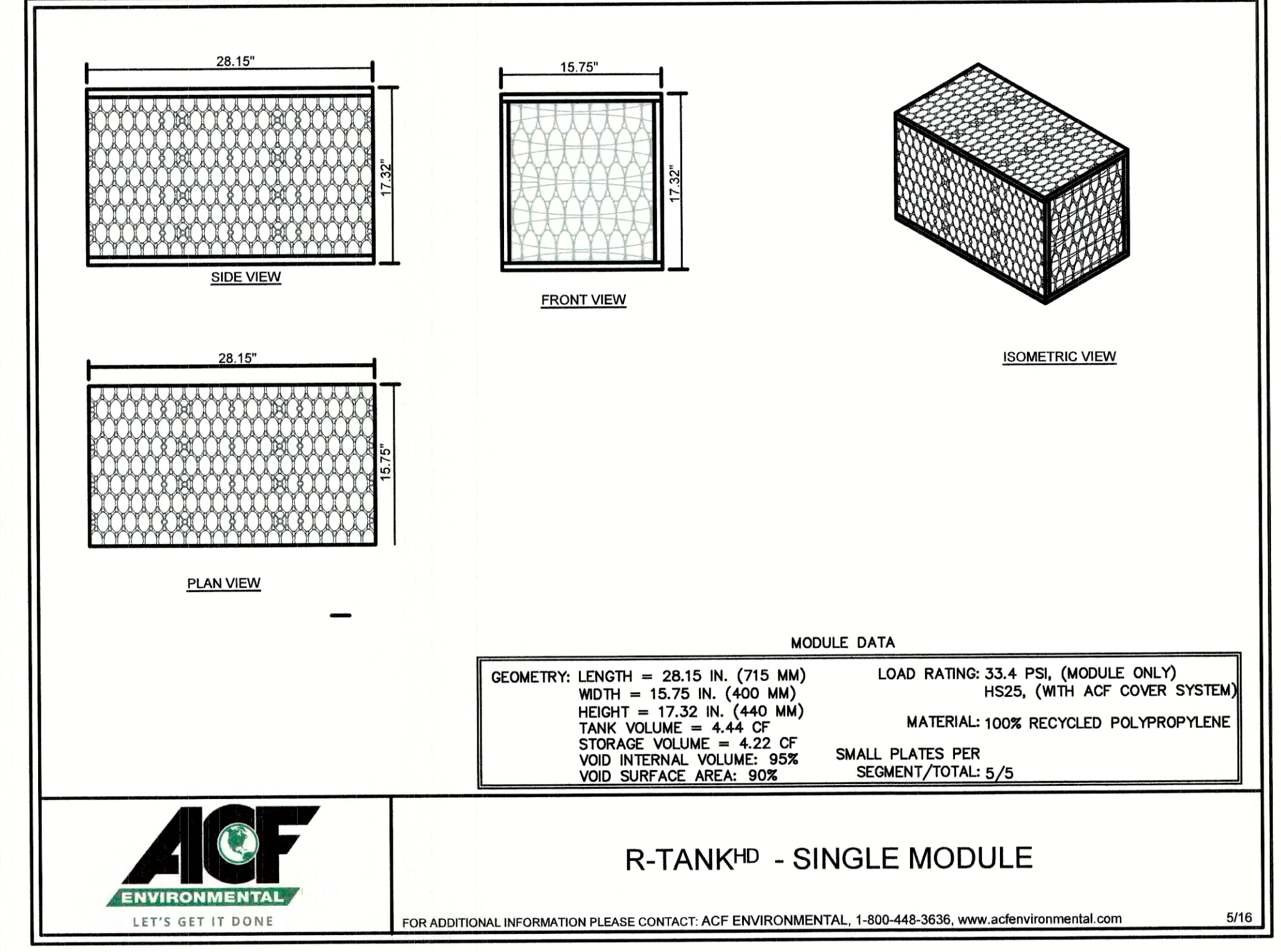
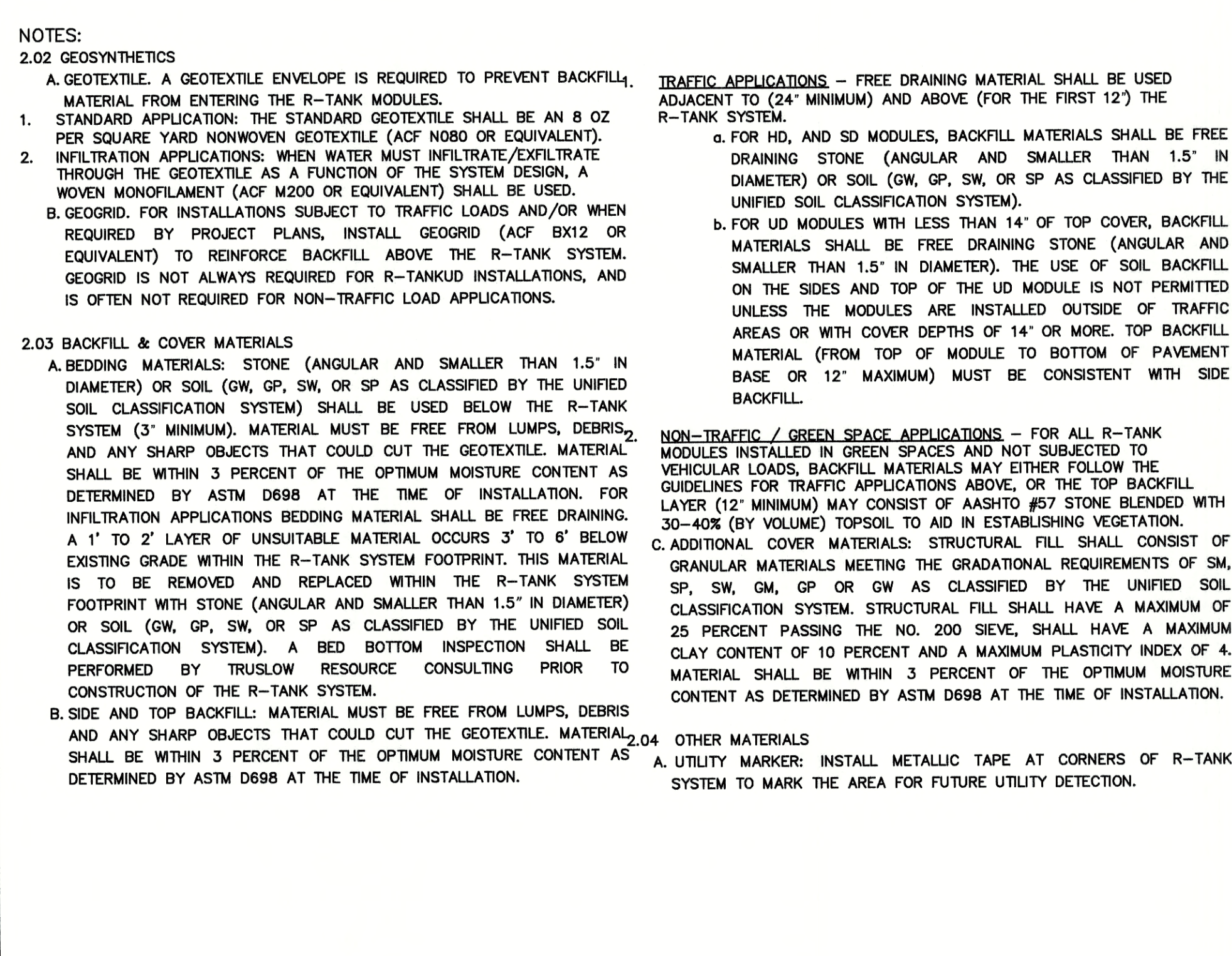
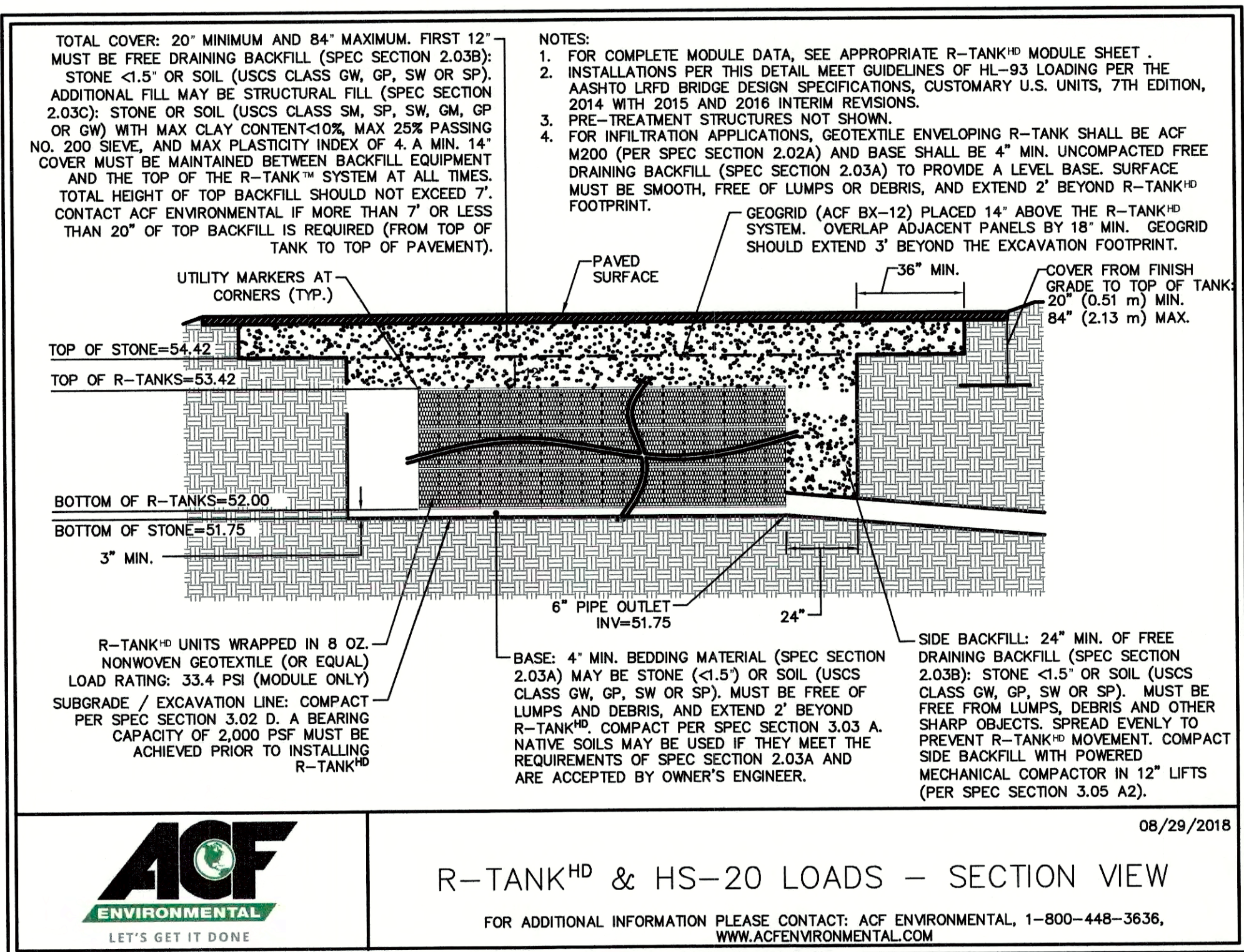
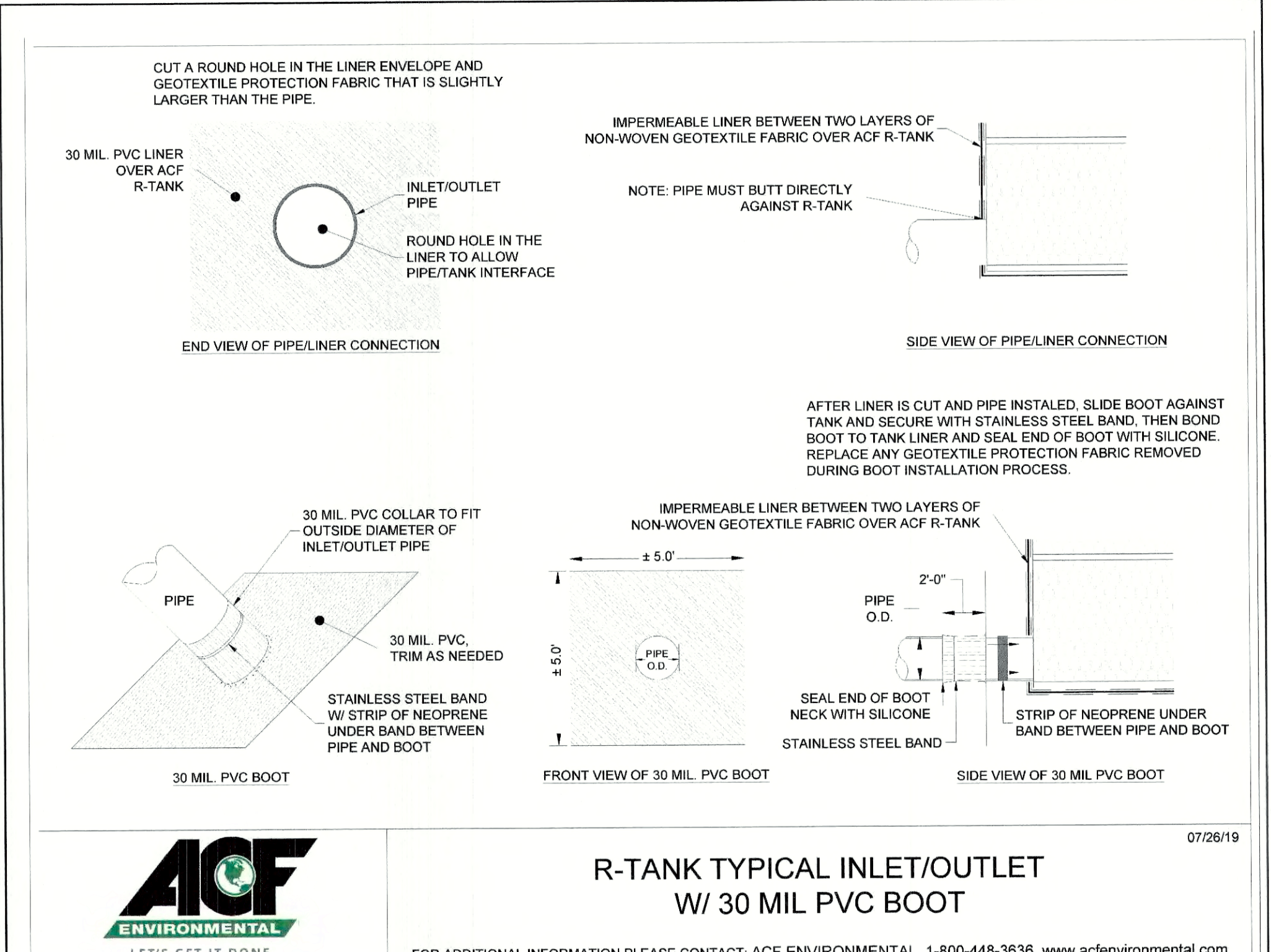
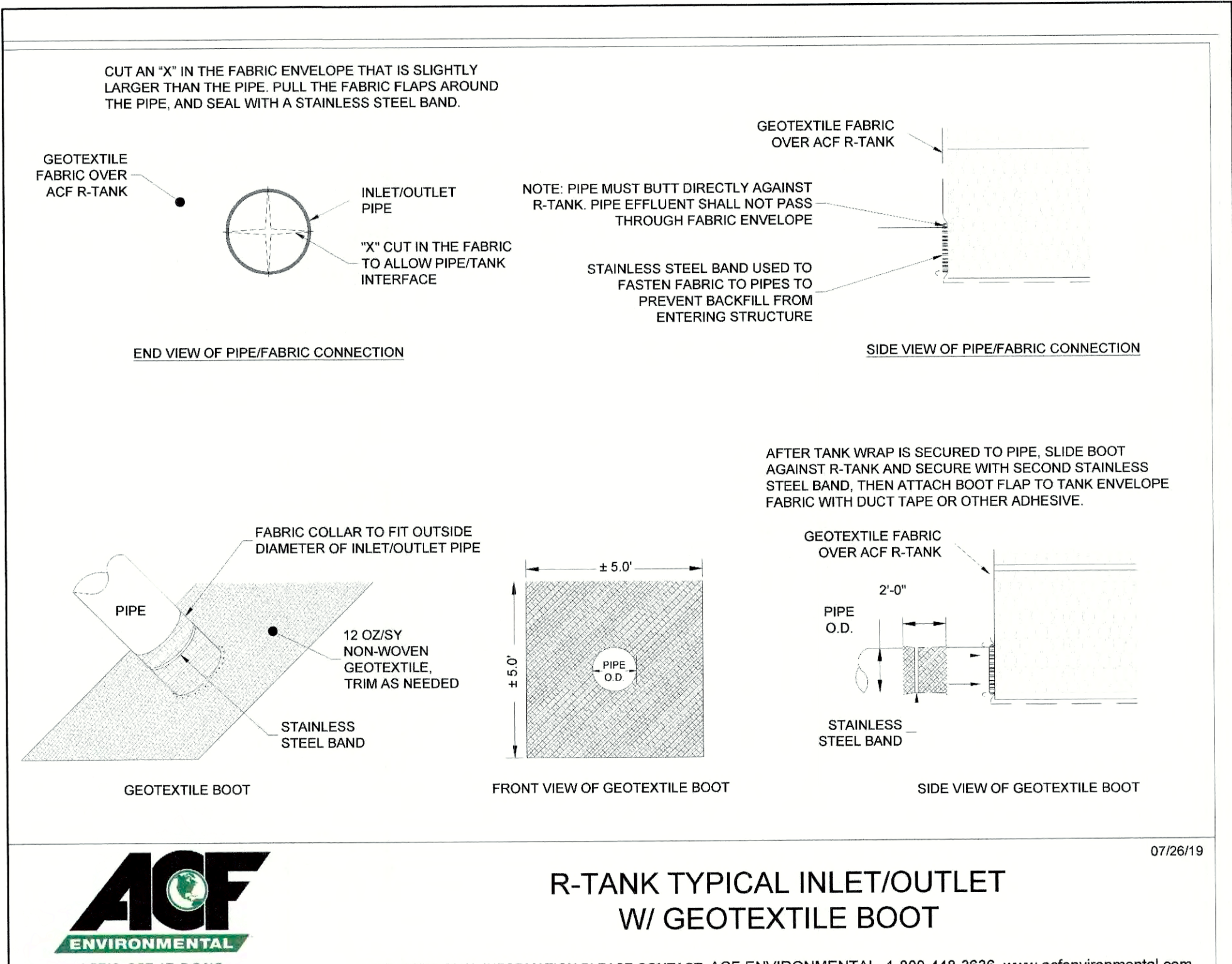
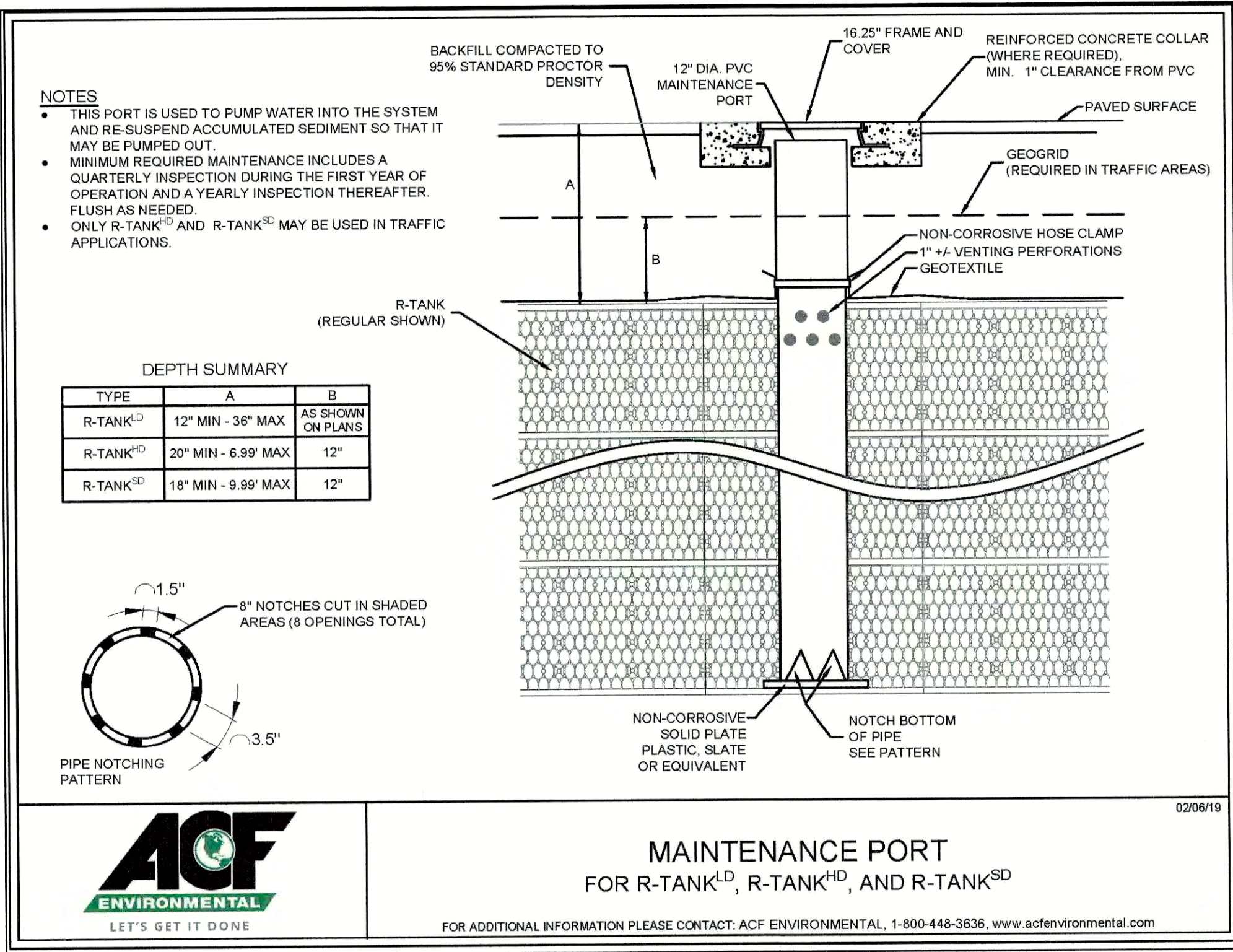
Plan Name:	DETAIL SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.

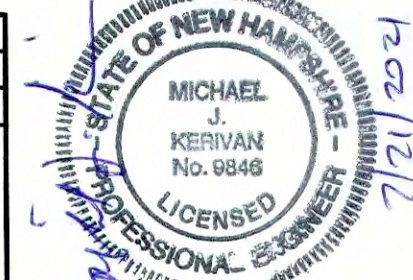
02

SHEET 19 OF 26
BE PROJECT NO. 20737

SHEET 20 OF 26
JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS NOTED Project No.: 20737
Drawing Name: 20737-PLAN.dwg
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7	7/20/21	REVISIONS PER CITY REVIEW	LAZ
6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
REV.	DATE	REVISION	BY

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **D4**
SHEET 21 OF 26
JBE PROJECT NO. 20737

PRETX SPECIFICATIONS

A. GENERAL

1. PRETX SYSTEMS ARE A PRE-FILTER AND CRITICAL MAINTENANCE DEVICE THAT EXTENDS THE OPERATING LIFE AND REDUCES THE MAINTENANCE BURDEN OF BIORETENTION SYSTEMS, RAIN GARDENS, BIOSWALES AND OTHER TYPES OF SURFACE BEST MANAGEMENT PRACTICES BY FILTERING OUT SEDIMENT, TRASH AND DEBRIS AT THE INLET.

B. PRODUCTS

1. PRETX IS AVAILABLE IN 3 MODELS THAT MANAGE MOST BIORETENTION INLET CONFIGURATIONS: CURB, DROP, AND IN-LINE.
2. PRETX-CURB IS FOR EDGE OF PAVEMENT RUNOFF AT A CURB CUT IN LIEU OF A STONE SPREADER.
3. PRETX-DROP IS FOR USE AS A DROP INLET CONFIGURATION ALONG A CURB LINE AND WOULD BE INSTALLED WITH A STANDARD DROP INLET GRATE.
4. PRETX-IN-LINE IS FOR USE WITH SUBSURFACE INLET AND OUTLET PIPE.
5. PRETX IS SIZED TO PRETREAT WATER QUALITY FLOWS AND BYPASS LARGER FLOWS THAT HAVE MINIMAL TRASH AND DEBRIS. PRETX CAN BE USED BOTH IN RETROFIT OR NEW INSTALLATIONS.
6. ACCEPTABLE SYSTEM SUPPLIER:
CONVERGENT WATER TECHNOLOGIES, INC. OR ITS AUTHORIZED VALUE-ADDED RESELLER
(800) 711-5428
WWW.CONVERGENTWATER.COM

C. SUBMITTALS

1. SUBMIT PROPOSED LAYOUT DRAWINGS. DRAWINGS SHALL INCLUDE TYPICAL SECTION DETAILS ANNOTED WITH SYSTEM ELEVATIONS (E.G., RIM, PIPE INVERTS, OUTSIDE BOTTOM OF STRUCTURE, ETC.).
2. SUBMIT MATERIAL CERTIFICATES FOR FRAMES AND COVERS.
3. ANY PROPOSED EQUAL ALTERNATE PRODUCT SUBSTITUTION TO THIS SPECIFICATION MUST BE SUBMITTED FOR REVIEW AND APPROVED PRIOR TO BID OPENING.
4. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER A MINIMUM OF TWO FULL BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.

D. EXECUTION

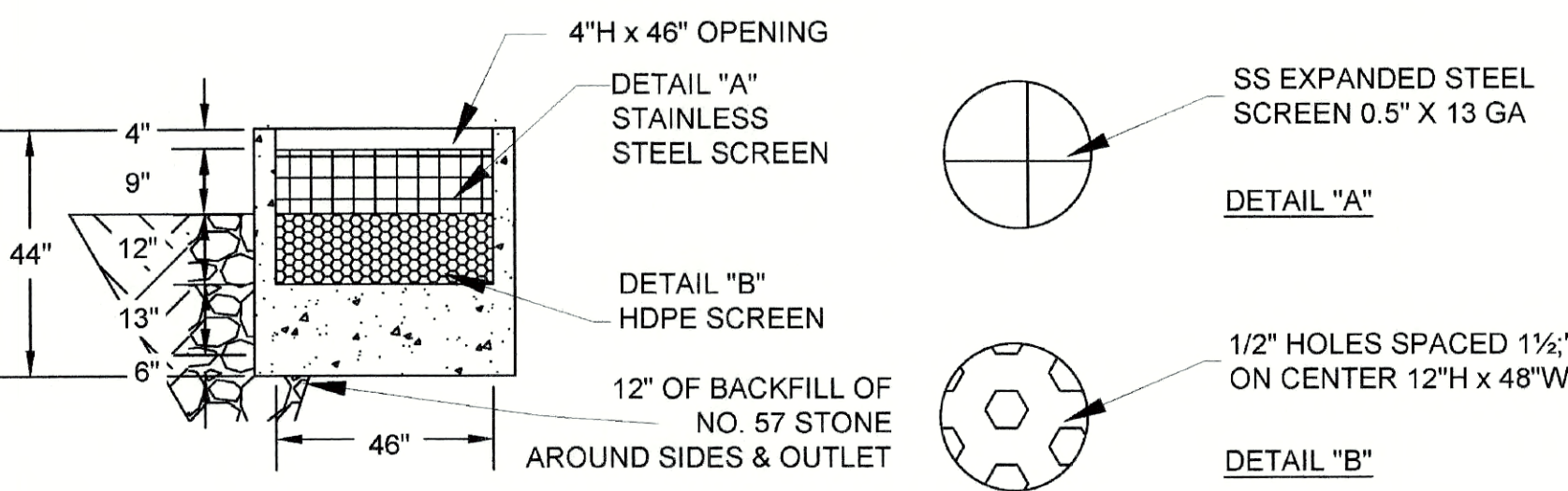
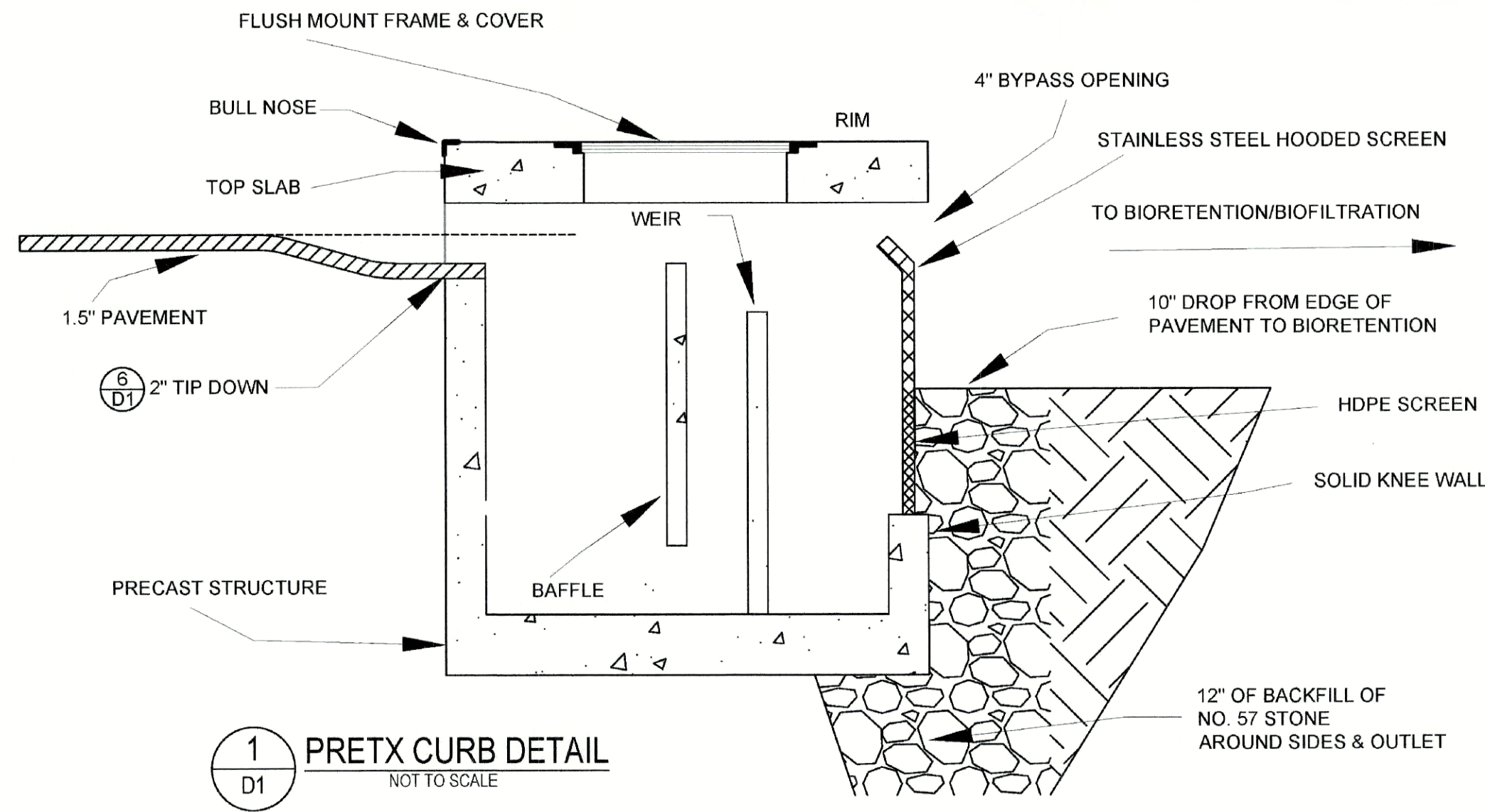
1. ALL PUBLIC STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AND ACCORDING TO LOCAL MUNICIPAL REQUIREMENTS.
2. ALL STORM DRAINAGE SYSTEM CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER.
3. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER A MINIMUM OF TWO FULL BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.
4. TO PROTECT STORMWATER FLOW CONTROL AND QUALITY TREATMENT FACILITIES FROM SEDIMENTATION, THEY SHALL BE CONNECTED TO THE STORM CONVEYANCE SYSTEM ONLY AFTER ALL SITE WORK, ROAD CONSTRUCTION, UTILITY WORK AND LANDSCAPING ARE IN PLACE IN ALL AREAS ABOVE AND UPSTREAM OF THE FACILITY.
5. THE EXISTING STORM SEWER SYSTEM SHALL STAY ISOLATED FROM THE NEW SYSTEM UNTIL THE NEW SYSTEM IS CLEANED, AND APPROVED FOR USE. THERE SHALL BE NO DEBRIS IN THE LINES OR FURTHER CLEANING WILL BE REQUIRED PRIOR TO ACCEPTANCE.
6. PROVIDE A 1/2" MINIMUM GAP BETWEEN THE KNOCKOUT WALL AND THE OUTSIDE OF THE PIPE. AFTER THE PIPE IS INSTALLED, FILL THE GAP WITH JOINT MORTAR.
7. THE OPENING SHALL BE MEASURED AT THE TOP OF THE PRECAST BASE SECTION.
8. ALL PICKUP HOLES SHALL BE GROUTED FULL AFTER THE BASIN HAS BEEN PLACED.
9. STANDARD CURB INLETS AND TIPDOWNS SHALL BE PRECAST CONCRETE OR ASPHALT.
10. PIPE ENDS SHALL BE FLUSH WITH THE INNER WALL OR 1" MAXIMUM INTRUSION. MASONRY, CINDER BLOCKS, OR SIMILAR MATERIALS MAY BE USED TO ADJUST THE RISERS TO GRADE PRIOR TO GROUTING.
11. GROUTING SHALL BE SUFFICIENT TO PREVENT LEAKS BETWEEN THE PRECAST COMPONENTS OF THE COMPLETED STRUCTURE & SHALL BE PERFORMED INSIDE, BETWEEN & OUTSIDE OF ALL RISERS, JOINTS & PIPE PENETRATIONS.
12. MANHOLES TO BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M-189 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATIONS.
13. ALL REINFORCED CAST IN PLACE CONCRETE SHALL BE CLASS 4000. ALL PRECAST CONCRETE SHALL BE CLASS 4000.
14. RECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM.
15. MATING SURFACES OF MANHOLE RINGS AND COVERS SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITIONS.

E. CONSTRUCTION AND SEQUENCING

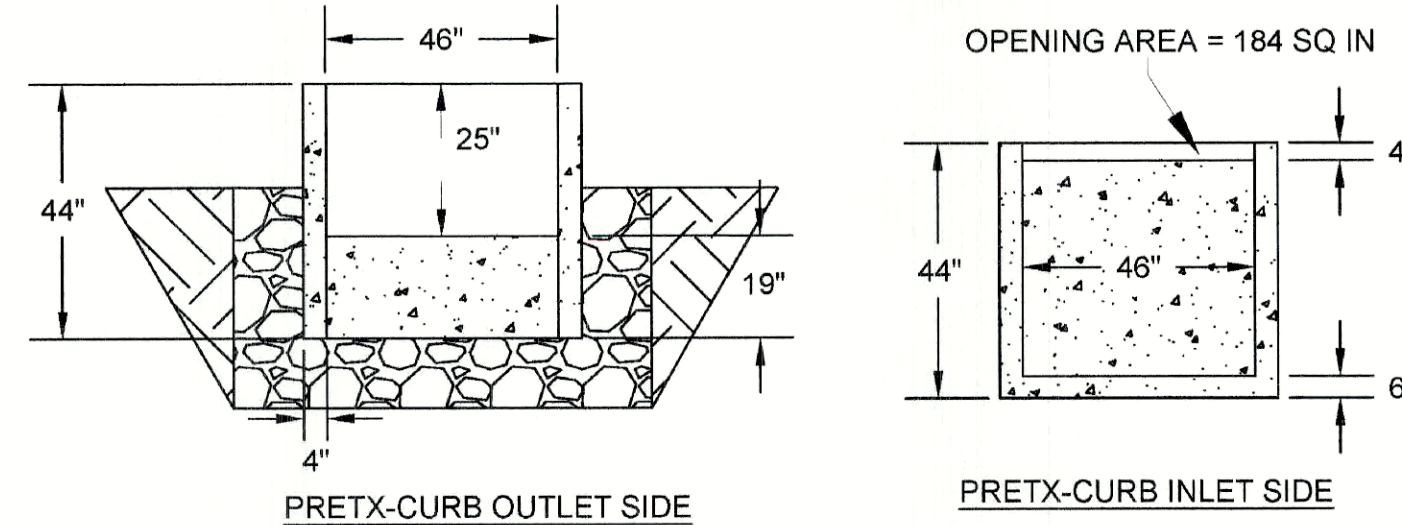
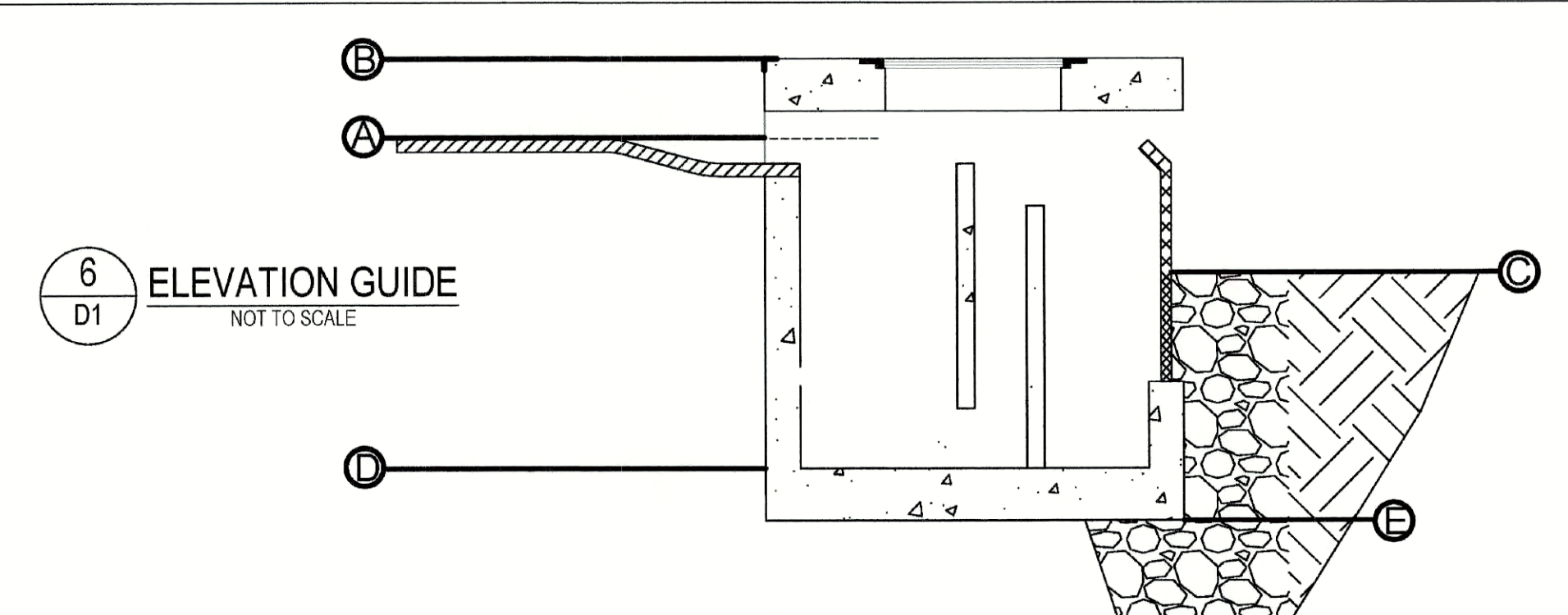
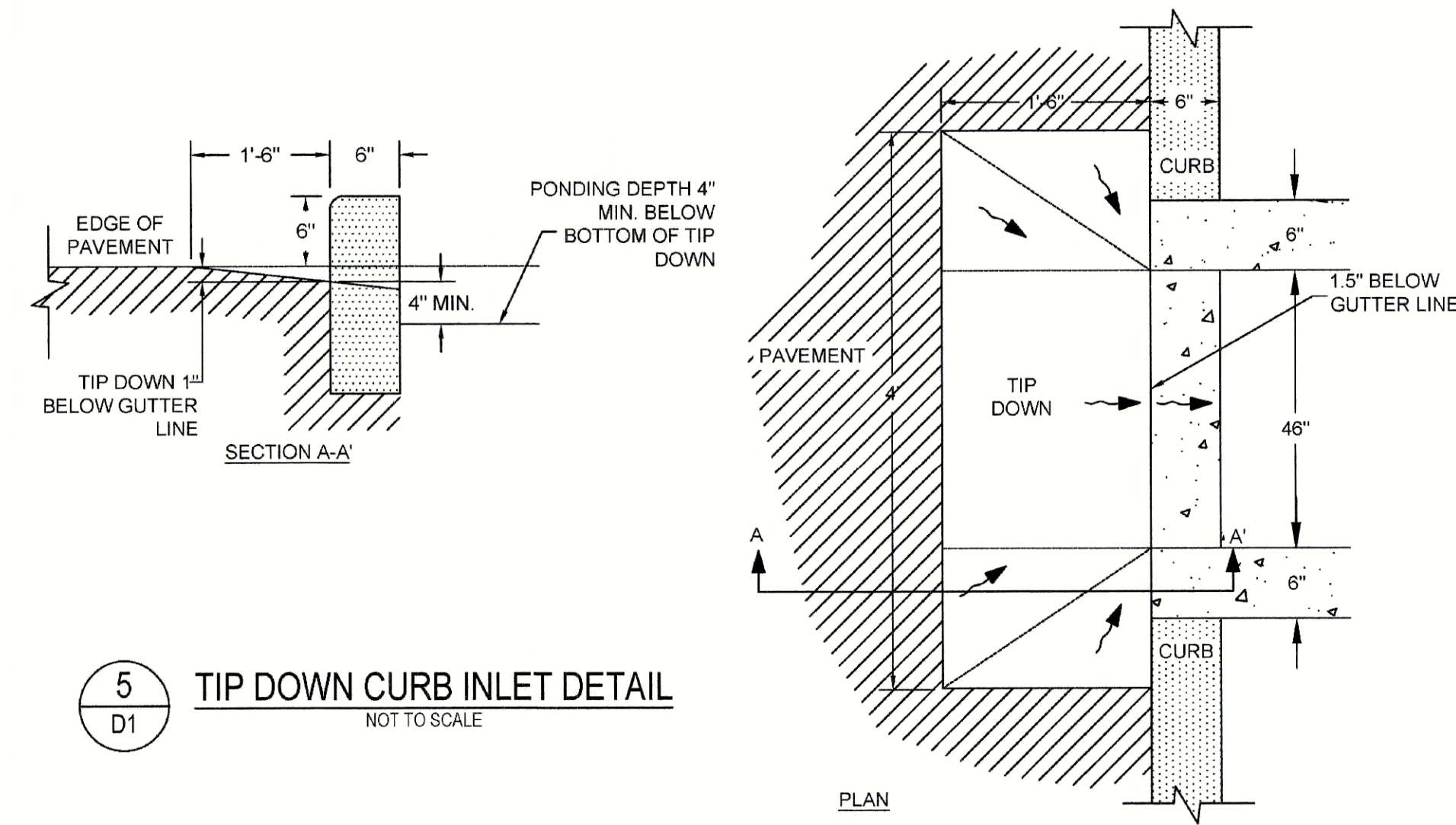
1. EXAMINATION
A. VERIFY LAYOUT AND ORIENTATION OF PRETX SYSTEM AREA INCLUDING EDGE OF PAVEMENT, TIP DOWN, CURBS AND SIDEWALK, BIOFILTRATION SYSTEM, AND CONNECTIONS.
B. VERIFY EXCAVATION BASE IS READY TO RECEIVE WORK AND EXCAVATIONS, DIMENSIONS, AND ELEVATIONS ARE AS INDICATED ON DRAWINGS.
2. PREPARATION
A. CALL DIG SAFE AND RECEIVE APPROVAL BEFORE PERFORMING WORK.
B. REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITHIN AND SURROUNDING CONSTRUCTION AREAS.
C. IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND DATUM.
D. CLEAR AND GRUB THE PROPOSED PRETX SYSTEM AREA.
3. EXCAVATION AND INSTALLATION
A. THE FOLLOWING CONSTRUCTION SEQUENCE IS TO BE USED AS A GENERAL GUIDELINE. COORDINATE WITH THE OWNER, AND ENGINEERS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
B. INSTALL TEMPORARY EROSION AND SEDIMENT CONTROLS TO DIVERT STORM WATER AWAY FROM THE PRETX SYSTEM AREA.
C. EXCAVATE TO THE BOTTOM INVERT OF THE SYSTEM.
D. TO MINIMIZE COMPACTION OF ADJACENT BIOFILTRATION SYSTEMS, WORK EXCAVATORS OR BACKHOES FROM THE SIDES TO EXCAVATE THE PRETX SYSTEM AREA TO ITS APPROPRIATE DESIGN DEPTH AND DIMENSIONS.
E. ROUGH GRADE THE PRETX SYSTEM AREA DURING GENERAL CONSTRUCTION. EXCAVATE THE PRETX SYSTEM FACILITIES TO WITHIN 1 FOOT OF STRUCTURE BOTTOM.
F. PLACE 1 FOOT BED OF COARSE STONE TO ELEVATION OF BASE OF STRUCTURE.
G. ESTABLISH ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT AND TIP DOWN, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS AS INDICATED ON DRAWINGS.
4. INSTALLATION
A. PLACE THE PRECAST SYSTEM TO NECESSARY ELEVATION.
B. VERIFY ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT, PAVEMENT GRADING FOR INLET GRATE FOR PRETX-DROP, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS, OUTLET INVERT FOR KNEE WALL.
C. FOR PRETX-SURFACE:
a. VERIFY ELEVATIONS FOR ADJACENT CURBS.
b. VERIFY EDGE OF PAVEMENT TIP DOWN PAVEMENT GRADING FOR INLET GRATE.
c. VERIFY CURB ELEVATION IN RELATION TO PAVEMENT AND TIP DOWN.
d. VERIFY OUTLET INVERT FOR KNEE WALL IN RELATION TO FILTER MEDIA.
D. FOR PRETX-DROP:
a. VERIFY ALL INLET PIPES ENTER THE STRUCTURE UPSTREAM OF BAFFLE.
b. VERIFY FRAME AND GRATE OFFSET ON INLET SIDE AND UPSTREAM OF BAFFLE.
c. VERIFY CURB LOCATION WITH RESPECT TO FRAME AND GRATE ORIENTATION.
E. INSTALL BAFFLES, WEIR, AND SCREENS AS INDICATED ON DRAWINGS.
F. VERIFY MAINTENANCE ACCESS THROUGH GRATE OR COVER AND CLEARANCE FOR VEHICLE.
G. INSTALL TOP OF STRUCTURE LEVEL WITH ADJACENT CURB OR SIDEWALK AS PER MANUFACTURERS SPECIFICATIONS. ENGINEER FIELD VISIT REQUIRED PRIOR TO BACKFILLING.
5. BACKFILLING
A. BACKFILL WITH APPROVED SOIL AND STONE TO THE DESIGN GRADE AS SPECIFIED IN THE DRAWINGS.
B. BACKFILL WITH 12" OF NO. 57 STONE AROUND REAR, LEFT, AND RIGHT SIDES TO LEVEL WITH TOP OF HDPE SCREEN.
C. BACKFILL WITH BIORETENTION SOIL MIX BEYOND STONE BACKFILL TO EQUAL ELEVATION OF THE TOP OF HDPE SCREEN.
D. DO NOT BACKFILL SOIL OR STONE AGAINST STAINLESS SCREEN.
E. DO NOT COMPACT ADJACENT FILTRATION SYSTEM SOIL WITH MECHANICAL EQUIPMENT.
F. STABILIZE REMAINING DISTURBED AREAS AND SIDE SLOPES WITH SEEDING, HYDROSEEDING, AND/OR EROSION CONTROL BLANKETS AS INDICATED ON DRAWINGS.
6. CLEAN UP
A. AFTER COMPLETION OF THE WORK, REMOVE AND PROPERLY DISPOSE ALL DEBRIS, CONSTRUCTION MATERIALS, RUBBISH, EXCESS SOIL, ETC., FROM THE PROJECT SITE. REPAIR PROMPTLY ANY IDENTIFIED DEFICIENCIES AND LEAVE THE PROJECT SITE IN A CLEAN AND SATISFACTORY CONDITION.

PRETX-CURB ELEVATION GUIDE

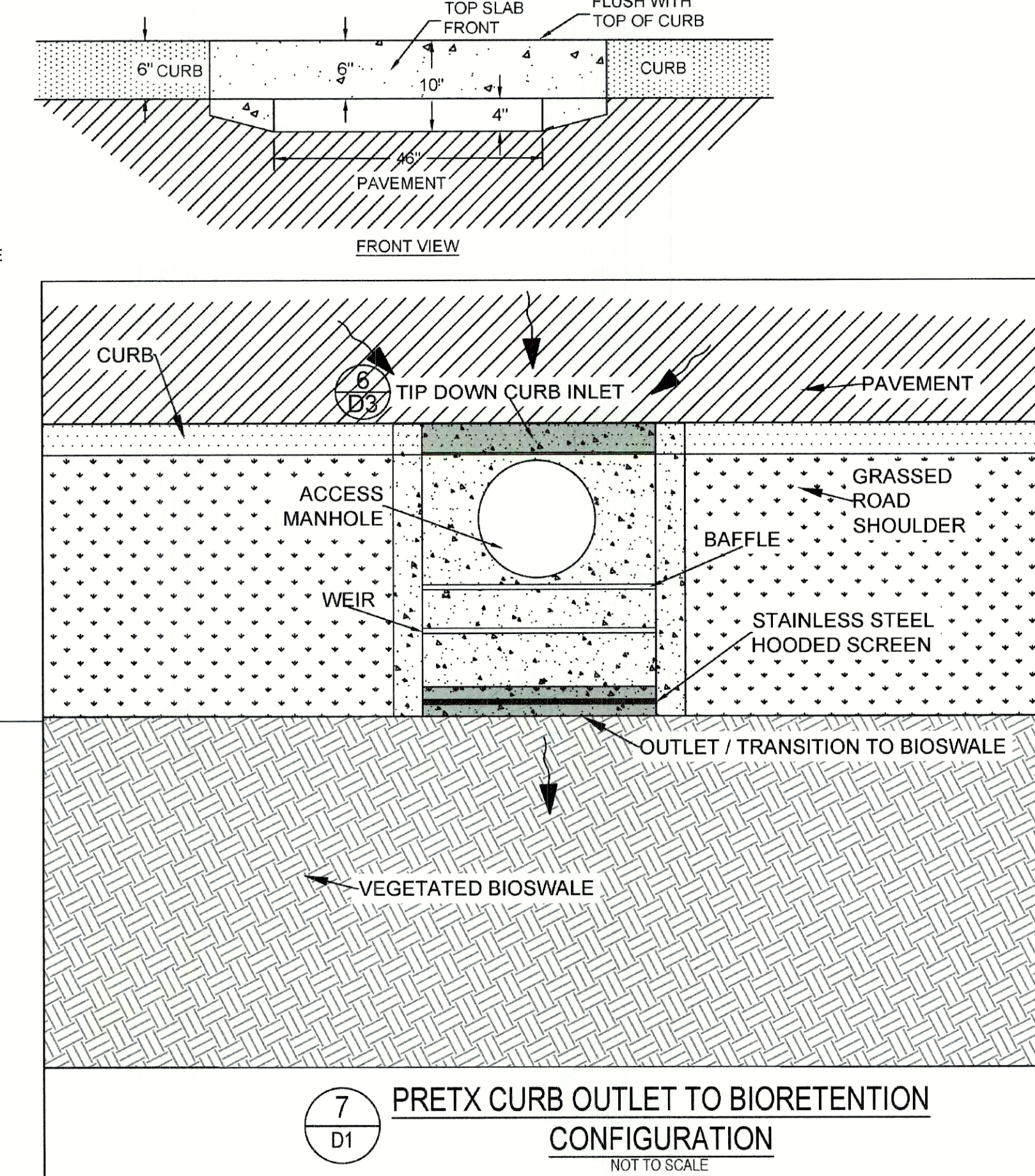
POINT	DESCRIPTION	HEIGHT IN REFERENCE TO PT. A
A	EDGE OF PAVEMENT	0 INCHES
B	OUTSIDE TOP SLAB	8 INCHES
C	TOP OF BIORETENTION	12 INCHES
D	SUMP INVERT	36 INCHES
E	OUTSIDE BOTTOM	42 INCHES



3 PRETX CURB OUTLET SIDE
NOT TO SCALE



4 PRETX CURB SIDE DETAIL
NOT TO SCALE



7 PRETX CURB OUTLET TO BIORETENTION
CONFIGURATION
NOT TO SCALE

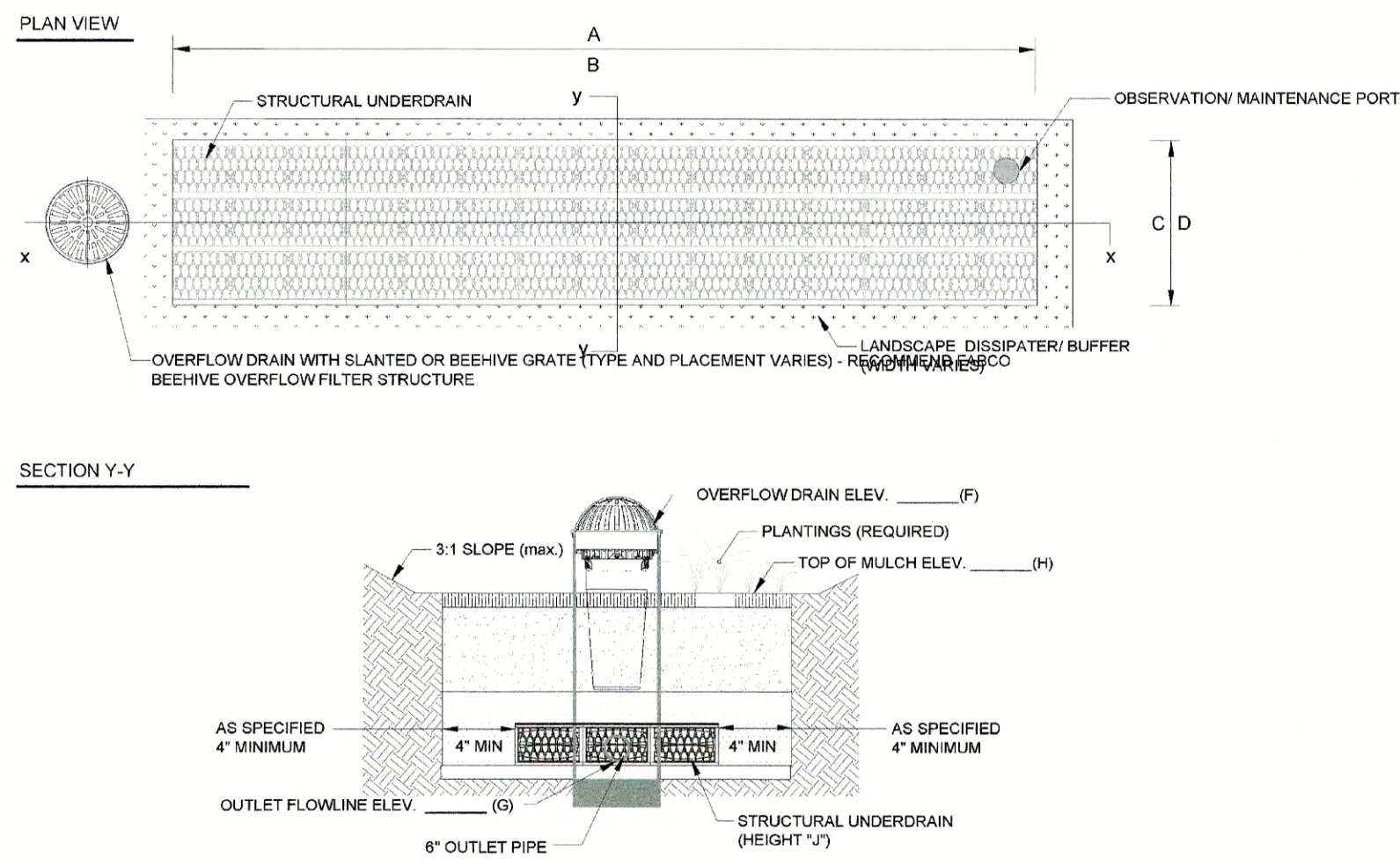
D-1 PRETX™ CURB INLET PRETREATMENT DETAIL

TO FIND A VALUE ADDED RESELLER IN YOUR AREA VISIT
WWW.CONVERGENTWATER.COM/STORMWATER-PRODUCTS
OR CONTACT CONVERGENT WATER TECHNOLOGIES AT
1.800.711.5428

CONVERGENT
WATER TECHNOLOGIES



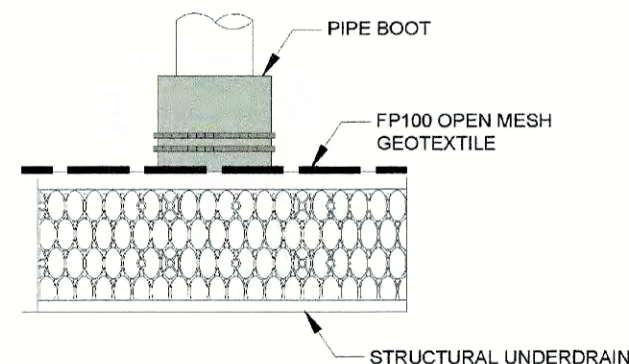
REVISED 11/20/18; ELEVATION DETAILS ADDED; CHECKED BY RR



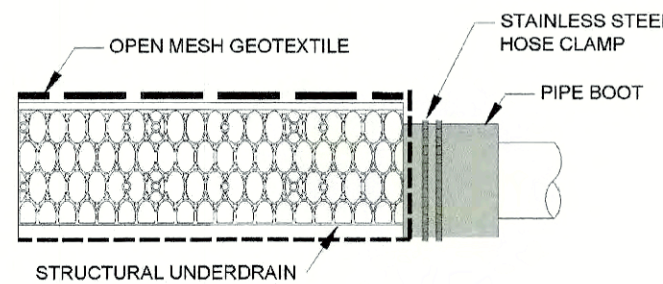
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TYPICAL LAYOUT AND SECTION Y-Y

OBSERVATION/ MAINTENANCE PORT CONNECTION



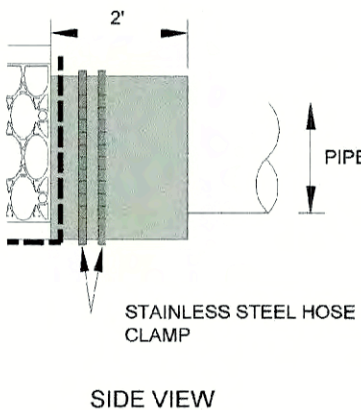
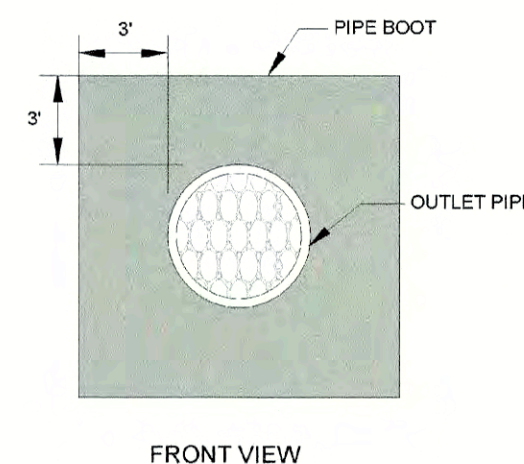
OUTLET/ INLET PIPE CONNECTION



4

PIPE CONNECTION DETAIL

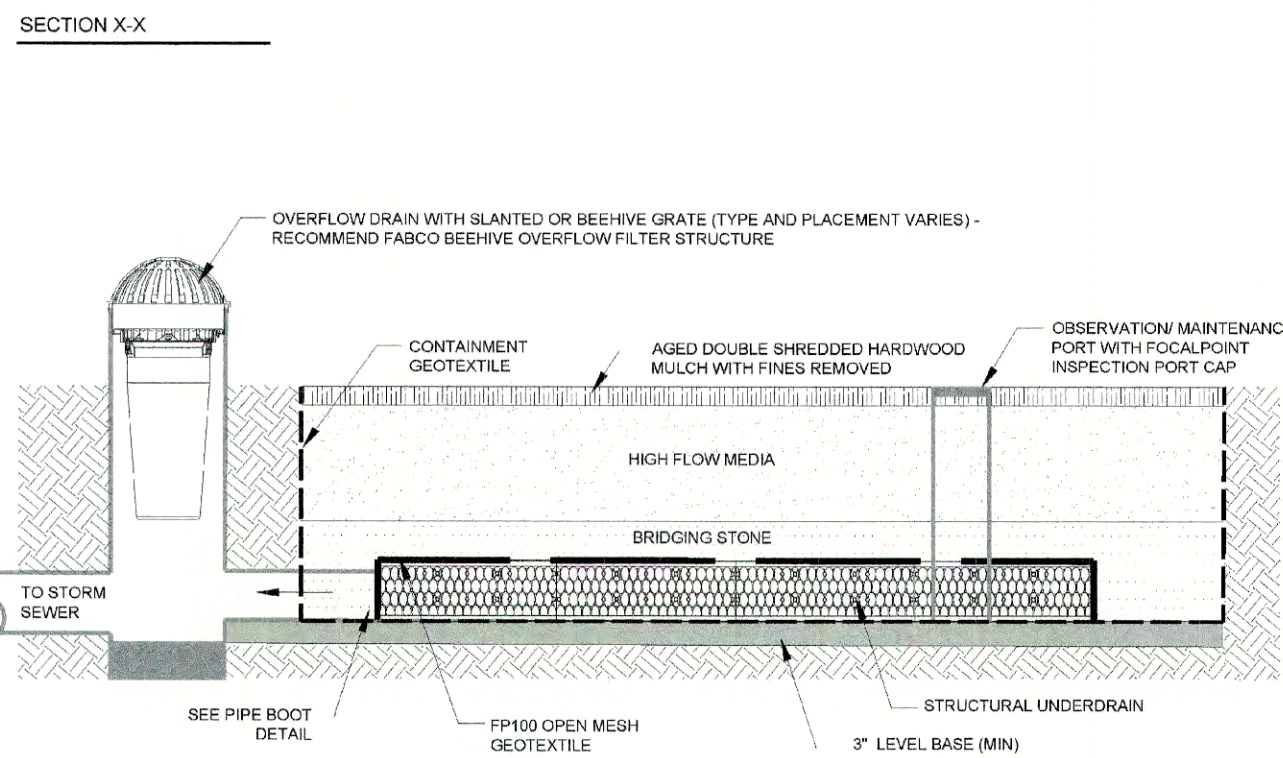
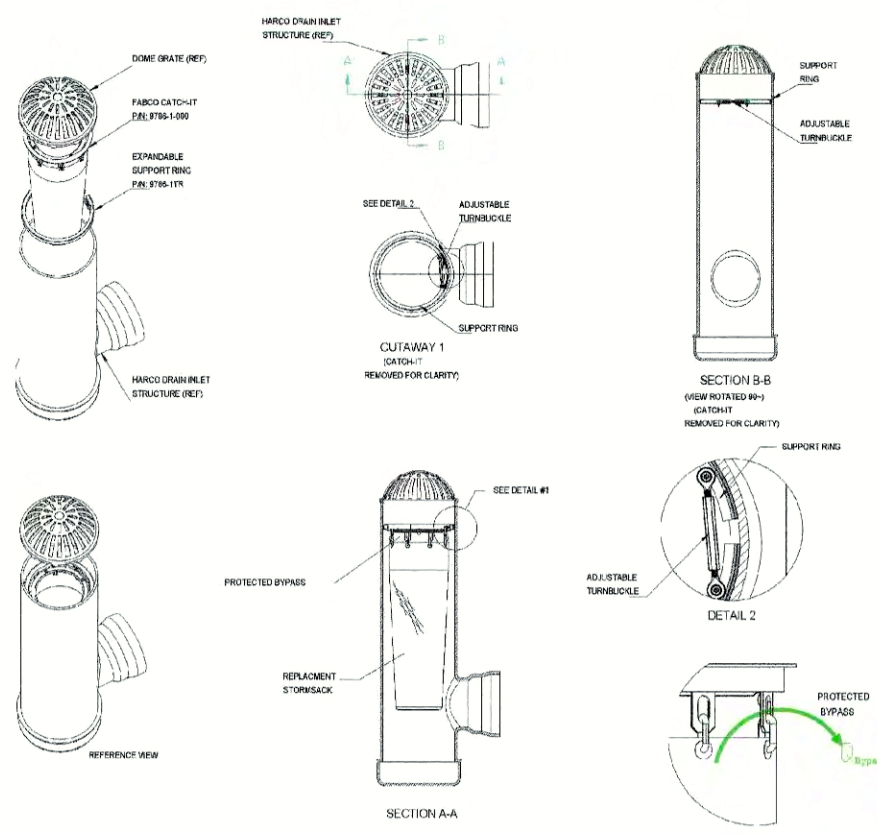
PIPE BOOT DETAIL



7

R-TANK[®] TYPICAL TANK INLET/OUTLET DETAIL

STRUCTURE DIAMETER (INCHES)	DEBRIS CAPACITY (CF)	FILTERED FLOWRATE (CFS)	BYPASS FLOWRATE (CFS)	TOTAL SYSTEM FLOWRATE (CFS)
12	0.77	2.2	1.2	3.4
18	1.85	2.5	1.0	3.5
24	3.60	4.9	2.4	7.3
30	6.20	4.9	2.4	7.3

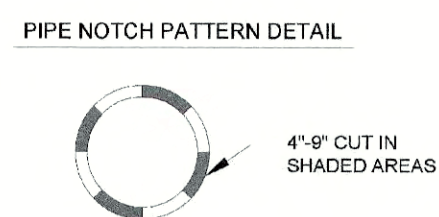
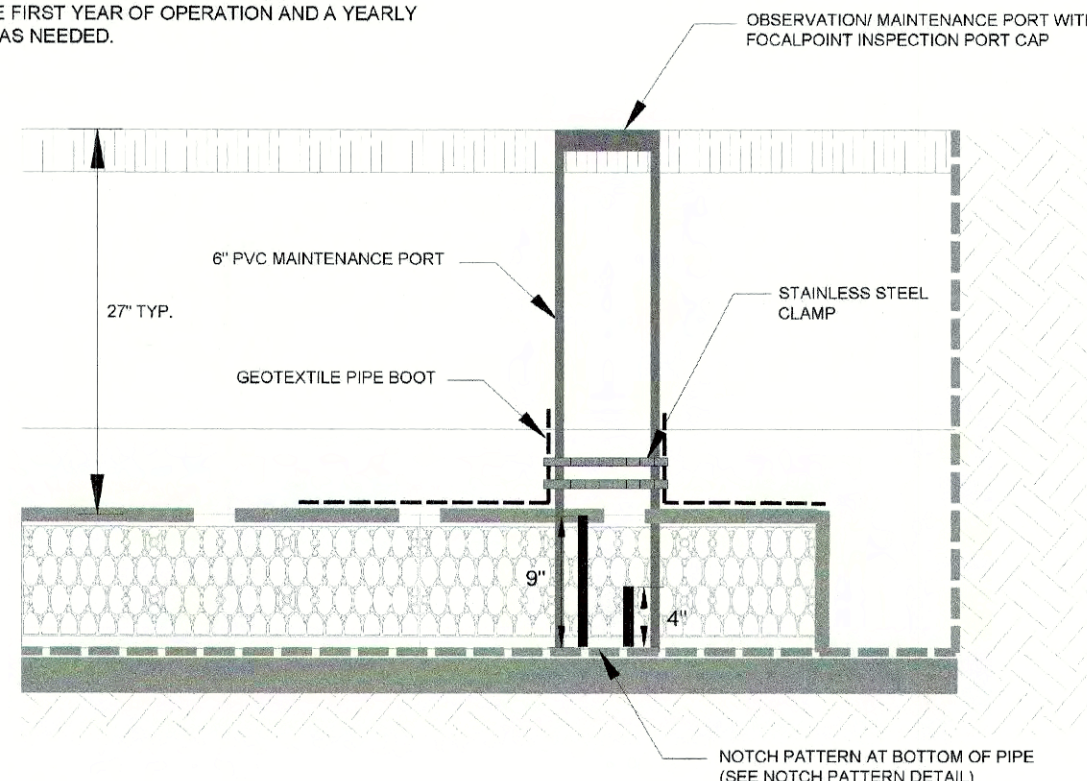


2

SECTION X-X

OBSERVATION/ MAINTENANCE PORT

PORT USED FOR INSPECTION PURPOSES AND FOR SYSTEM MAINTENANCE AS REQUIRED. WATER SHALL BE PUMPED INTO THE SYSTEM AND RESUSPEND ACCUMULATED SEDIMENT. MINIMUM REQUIRED MAINTENANCE INCLUDES A QUARTERLY INSPECTION FOR THE FIRST YEAR OF OPERATION AND A YEARLY INSPECTION THEREAFTER FLUSH AS NEEDED.



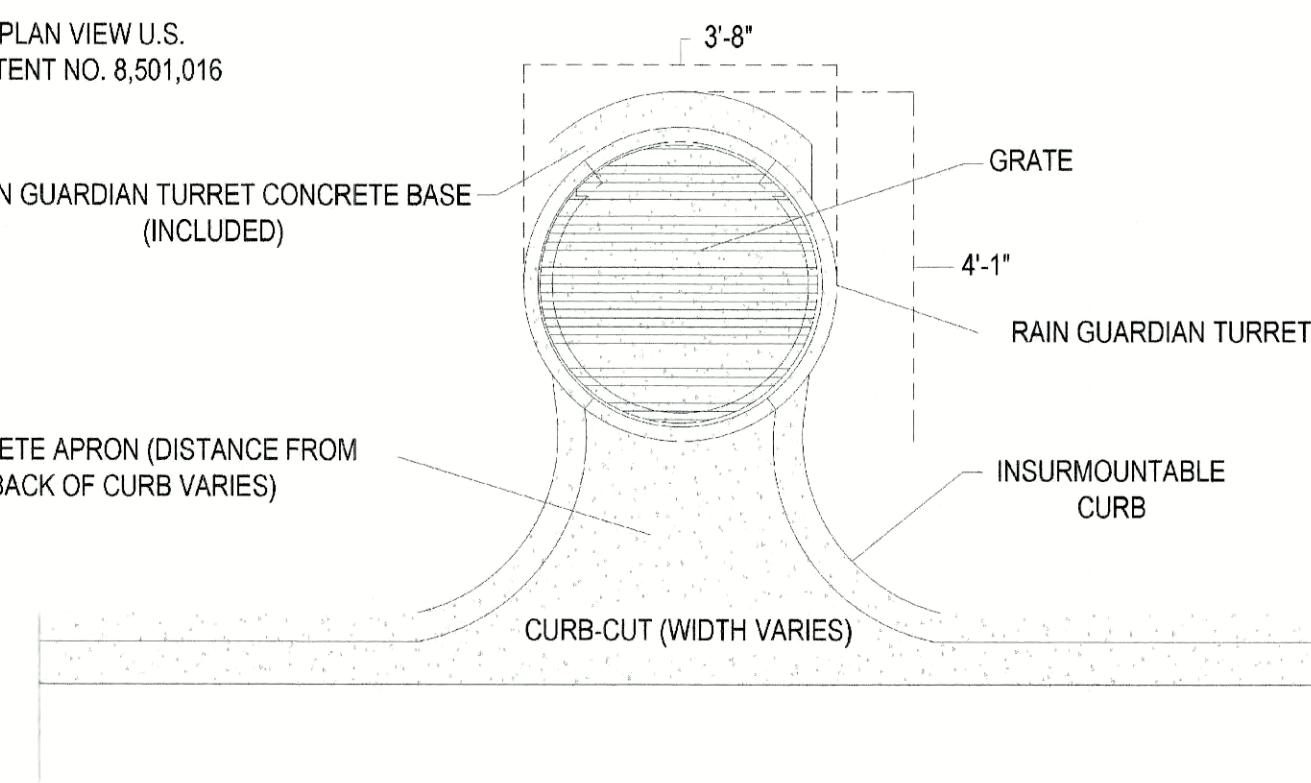
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INSPECTION PORT DETAIL

PLAN VIEW U.S. PATENT NO. 8,501,016

RAIN GUARDIAN TURRET CONCRETE BASE (INCLUDED)

CONCRETE APRON (DISTANCE FROM BACK OF CURB VARIES)



8

RAIN GUARDIAN TURRET (PLAN)

FOCALPOINT HP PERFORMANCE SPECIFICATION:

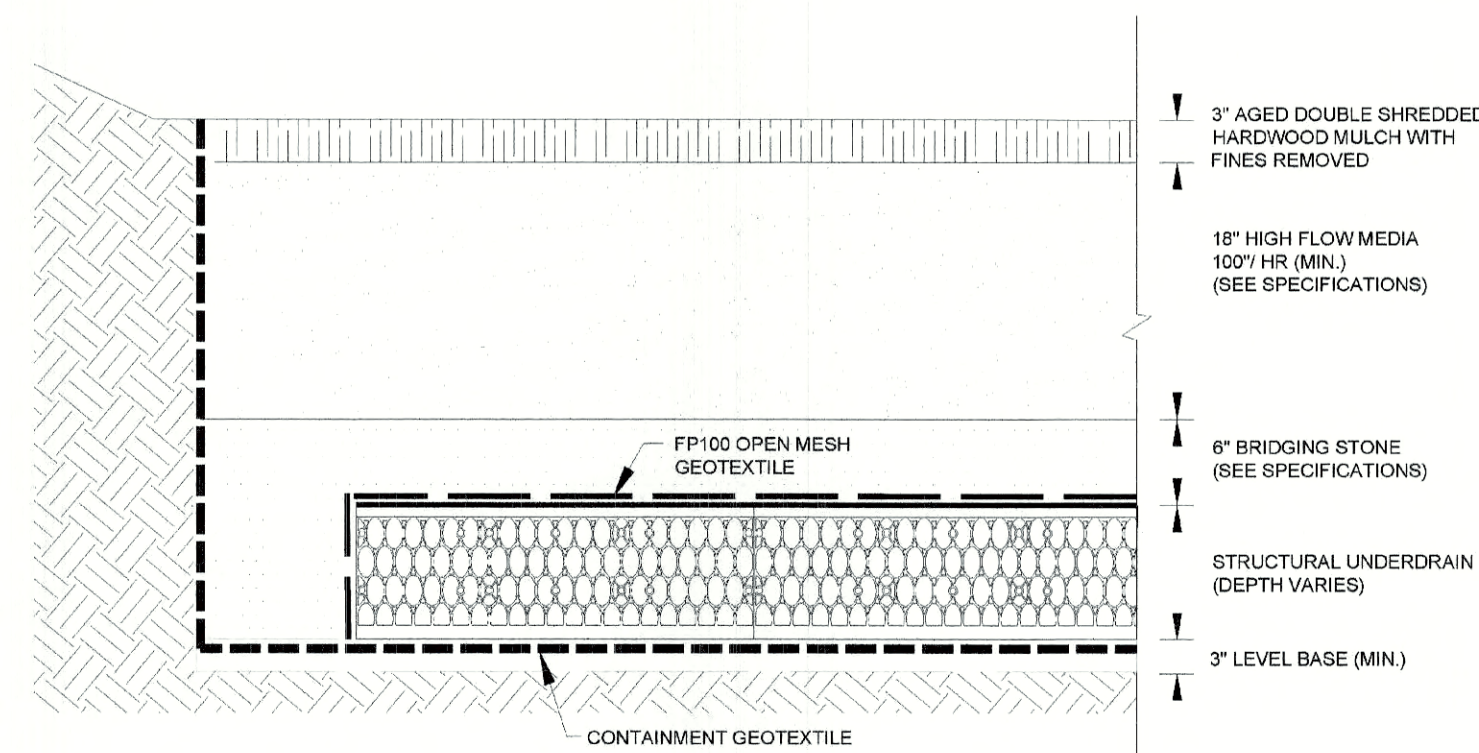
HIGH PERFORMANCE MEDIA
HIGH PERFORMANCE MEDIA MUST MEET A MINIMUM OF 100" PER HOUR INFILTRATION RATE. FIELD HYDRAULIC CONDUCTIVITY TESTING MUST BE CONDUCTED WITHIN 30 DAYS OF INSTALLATION. FIELD TEST MUST BE CONDUCTED WITH PROSCRIBED INFILTRMETER AND SOP (SEE SPECIFICATION) FAILURE TO MEET FIELD TESTING WILL RESULT IN THE REMOVAL OF MEDIA ND REPLACEMNT FROM ALTERNATE BATCH.

HIGH PERFORMANCE STRUCTURAL UNDERDRAIN

MUST HAVE A MINIMUM OF 19 SQUARE INCHES OF ORIFICE OPENING PER SQUARE FOOT. MUST MEET H2O LOADING REQUIREMENTS MUST BE MODULAR IN NATURE AND ASSEMBLED ON SITE. MUST HAVE MINIMUM 90% INTERIOR VOID SPACE.

PLANT COMPONENT

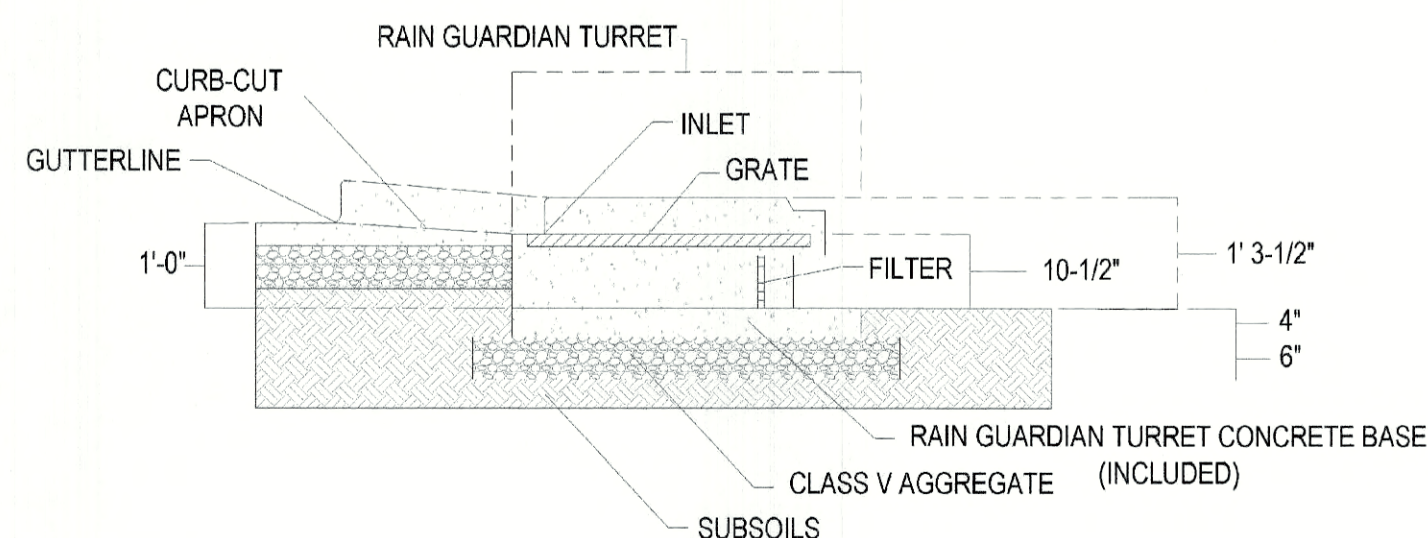
SUPPLIER SHALL PROVIDE LIST OF ACCEPTABLE PLANTS IF PLANTS ARE NOT INCLUDED IN THE LANDSCAPE CONTRACT/PLANS. SITE CONTRACTOR SHALL PROVIDE PLANTS. PLANTS SHALL BE INSTALLED AT THE TIME OF THE SYSTEM IS COMMISSIONED FOR USE. PLANTING OUTSIDE THIS TIME REQUIRES APPROVAL BY THE ENGINEER OF RECORD. SEE FOCALPOINT INSTALLATION GUIDE FOR PLANT SPACING, PLANTING PROCEDURES, ETC.



6

DETAILED CROSS SECTION

CROSS-SECTION VIEW U.S. PATENT NO. 8,501,016



9

RAIN GUARDIAN TURRET (SECTION)

FOR ADDITIONAL INFORMATION PLEASE CONTACT
ACF ENVIRONMENTAL 1-800-448-363
www.acfenvironmental.com

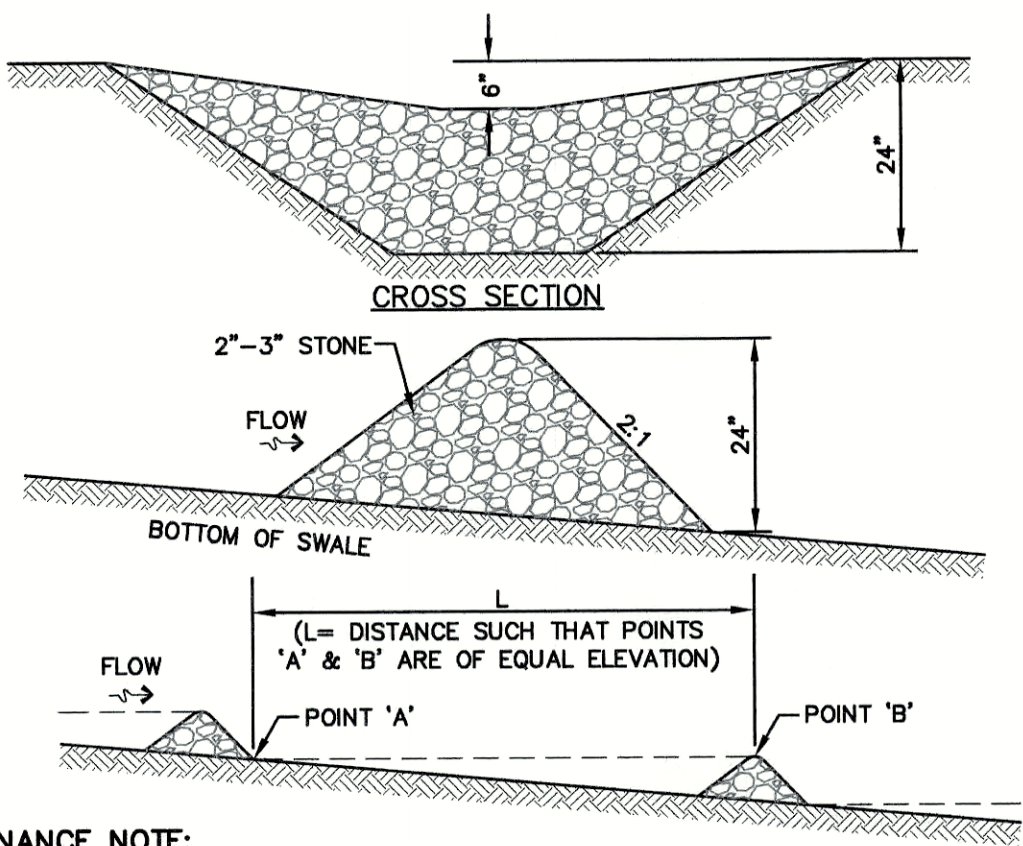


FOCALPOINT DETAILS

PROJECT NO.
35.336
DATE
AUG 15, 2019
SHEET NO.

FP-1

NOTE: ENGINEER OF RECORD TO REVIEW, APPROVE AND ENDORSE FINAL SITE SPECIFIC DESIGN.

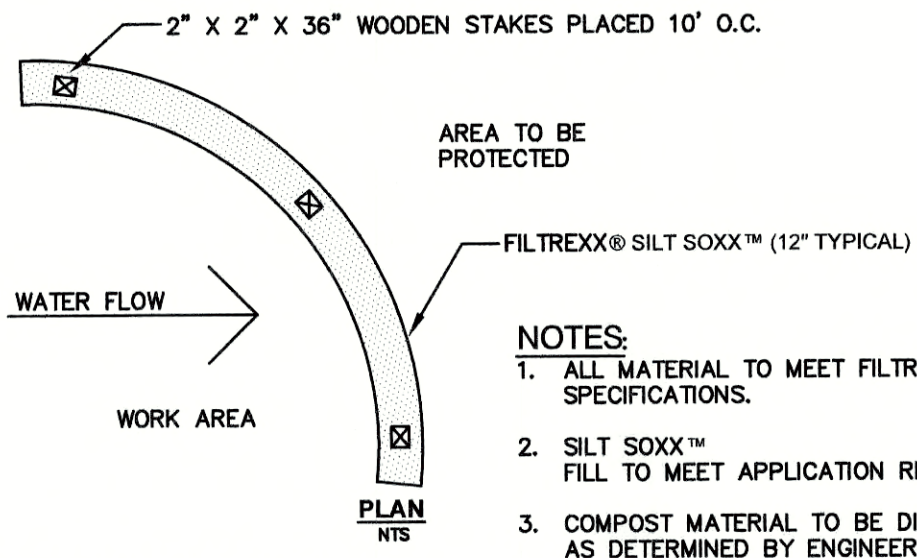
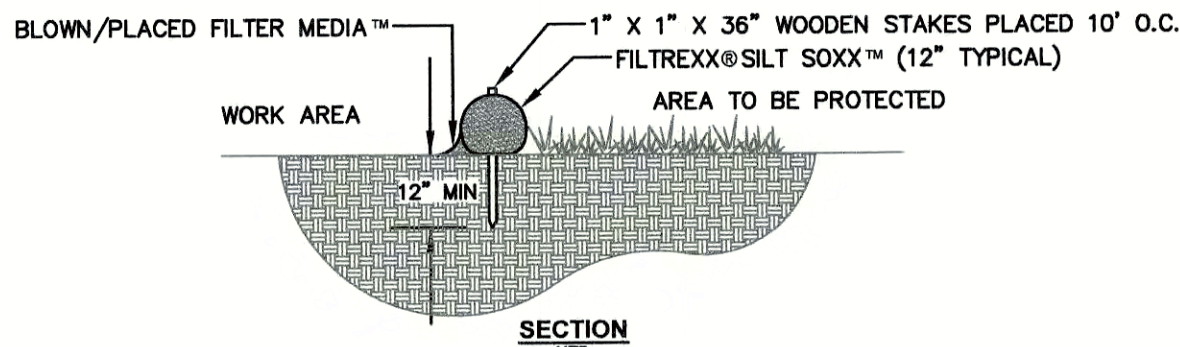


MAINTENANCE NOTE:

1. STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

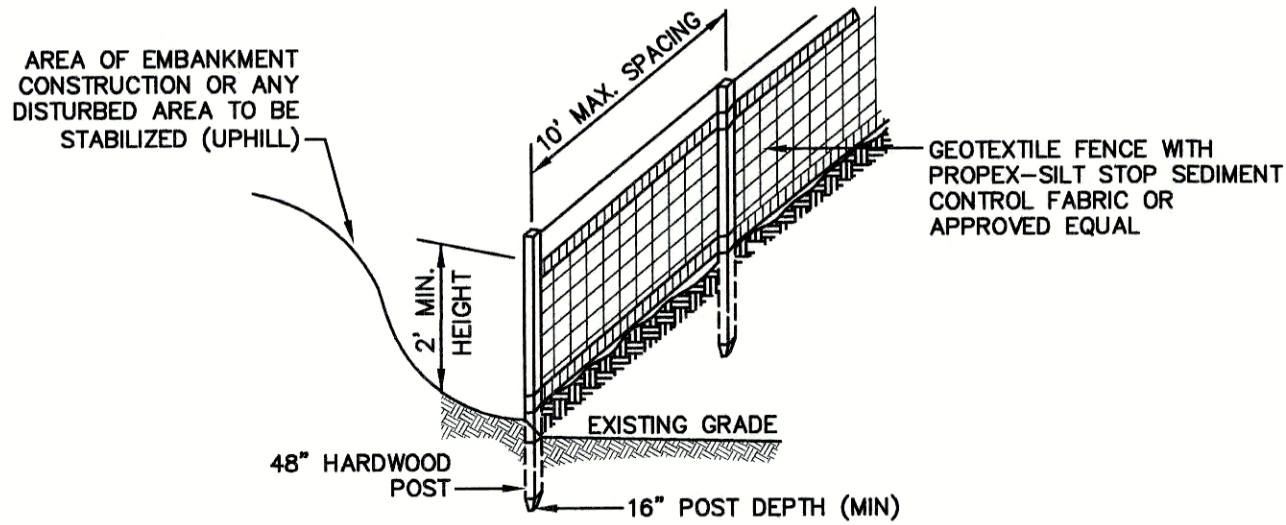
STONE CHECK DAM

NOT TO SCALE



FILTREXX® SILT SOXX™

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

1. WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
2. THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
5. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
6. SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

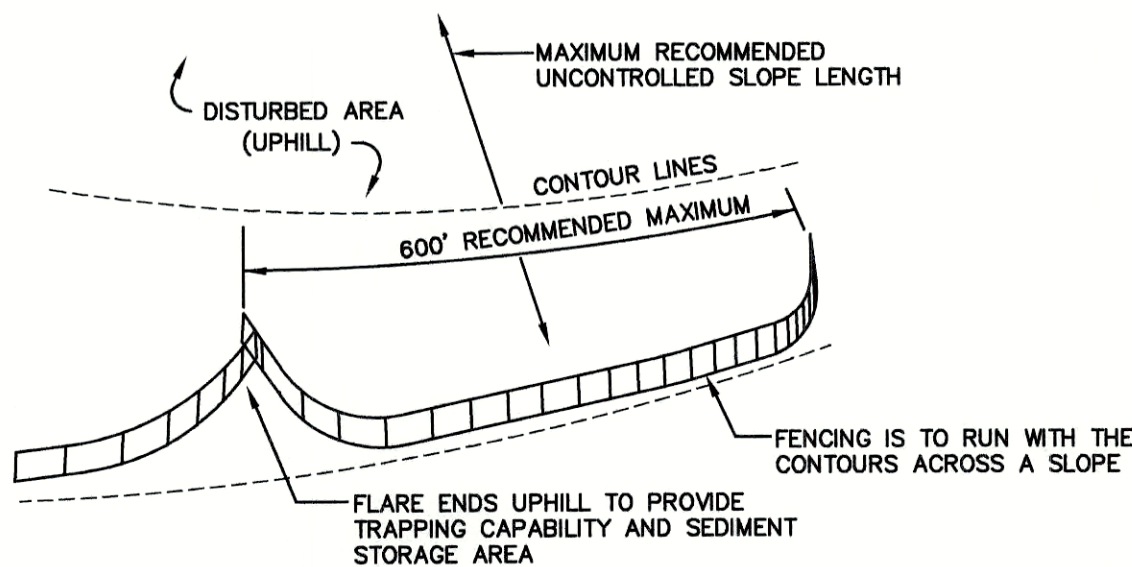
SILT FENCE

NOT TO SCALE

TEMPORARY EROSION CONTROL NOTES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
4. SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
7. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANCHORED NETTING ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
8. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
9. AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
10. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- a. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - b. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - c. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

11. FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
12. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
13. PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
14. IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
- a. A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE SITE SPECIFIC PERMIT ("PERMIT").
 - b. DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY ½ INCH OR GREATER RAIN EVENT (I.E. ½ INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - c. THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
 - d. WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL (RIDGELY MAUCK AT: RIDGELY.MAUCK@DES.NH.GOV).
 - e. THE MONITOR SHALL MEET WITH DES TO DECIDE UPON A REPORT FORMAT. THE REPORT FORMAT SHALL BE REVIEWED AND APPROVED BY DES PRIOR TO THE START OF CONSTRUCTION.



7. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
- A. SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - B. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDED PREPARATION
- A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
- A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - C. REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT, TREFOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
4. MULCH
- A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
5. MAINTENANCE TO ESTABLISH A STAND
- A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

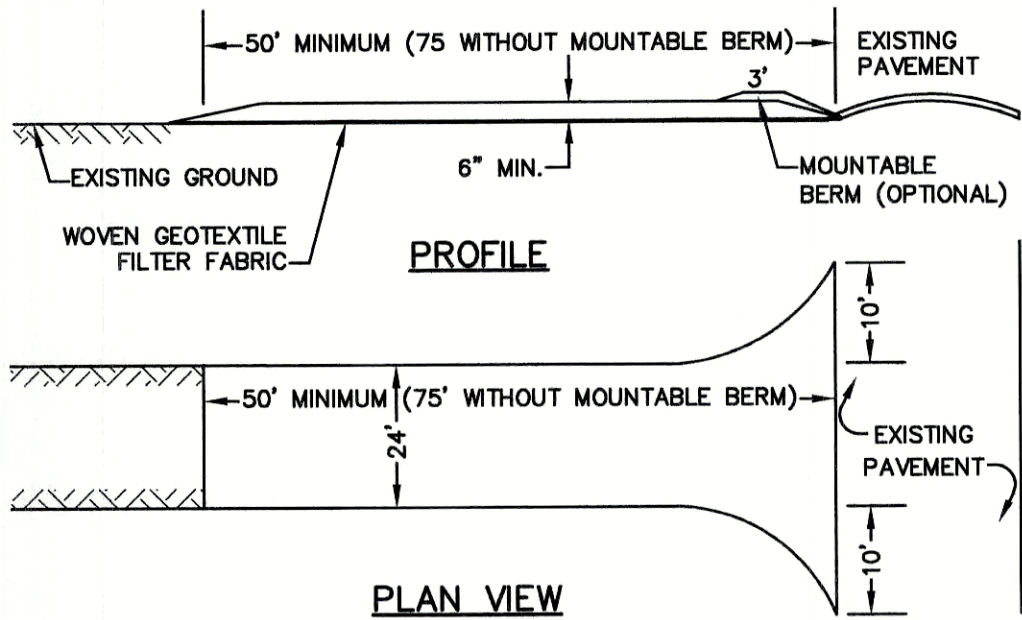
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES



NOTES:

1. STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, 75' WITHOUT A MOUNTABLE BERM, AND EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

CONSTRUCTION SEQUENCE

1. PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
2. WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
3. CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
4. INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
5. CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
6. CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
7. STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
8. PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
9. INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
10. INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
11. ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
12. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
13. PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF 'SELECT' SUBGRADE MATERIALS.
14. PAVE ALL ROADWAYS WITH INITIAL 'BASE COURSE'.
15. PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
16. LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
17. FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH 'FINISH' COURSE.
18. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
19. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
20. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
21. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
22. CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
23. INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
24. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
25. UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS NOTED	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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6	8/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

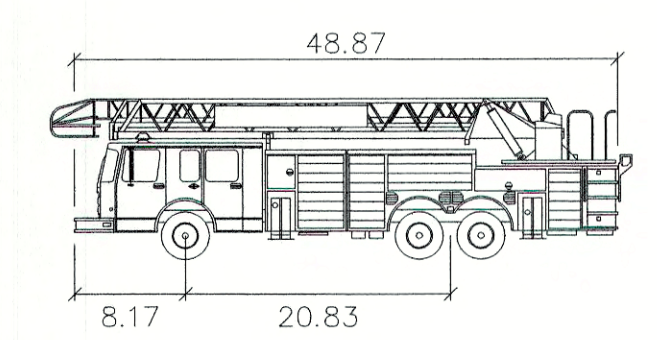
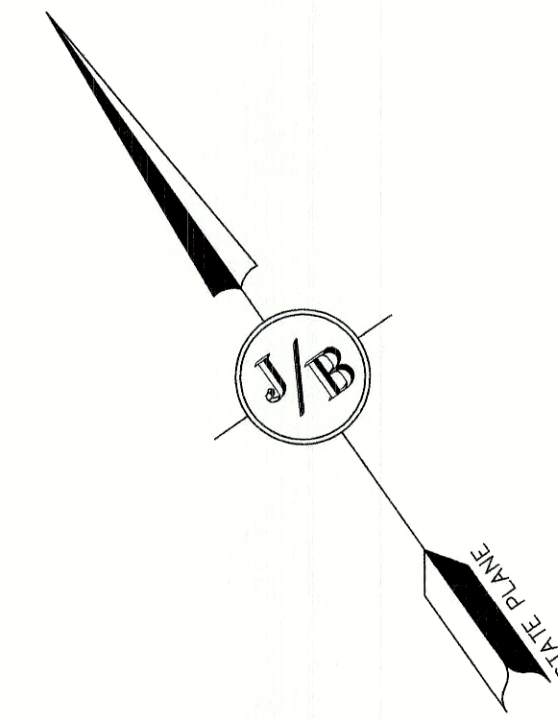
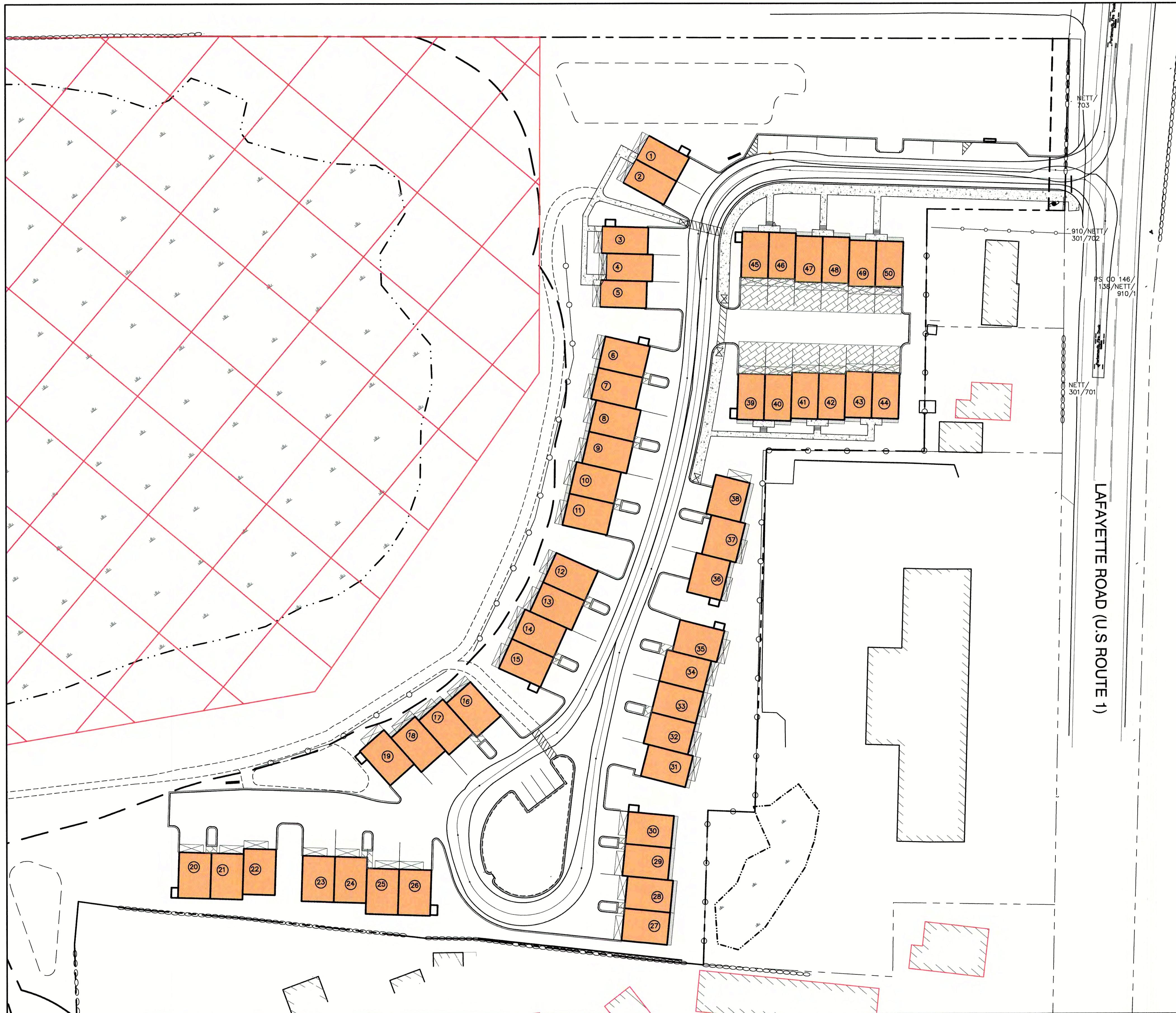
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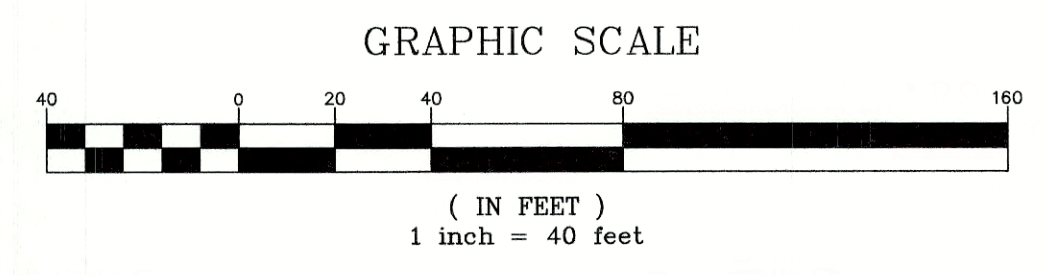
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	E1
SHEET 24 OF 28	JBE PROJECT NO. 20737



Portsmouth Fire Truck	
	feet
Width	: 8.50
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 38.7



Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg
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7	7/20/21	REVISIONS PER CITY REVIEW	LAZ
6	6/22/21	REVISIONS PER CITY REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
REV.	DATE	REVISION	BY

J/B

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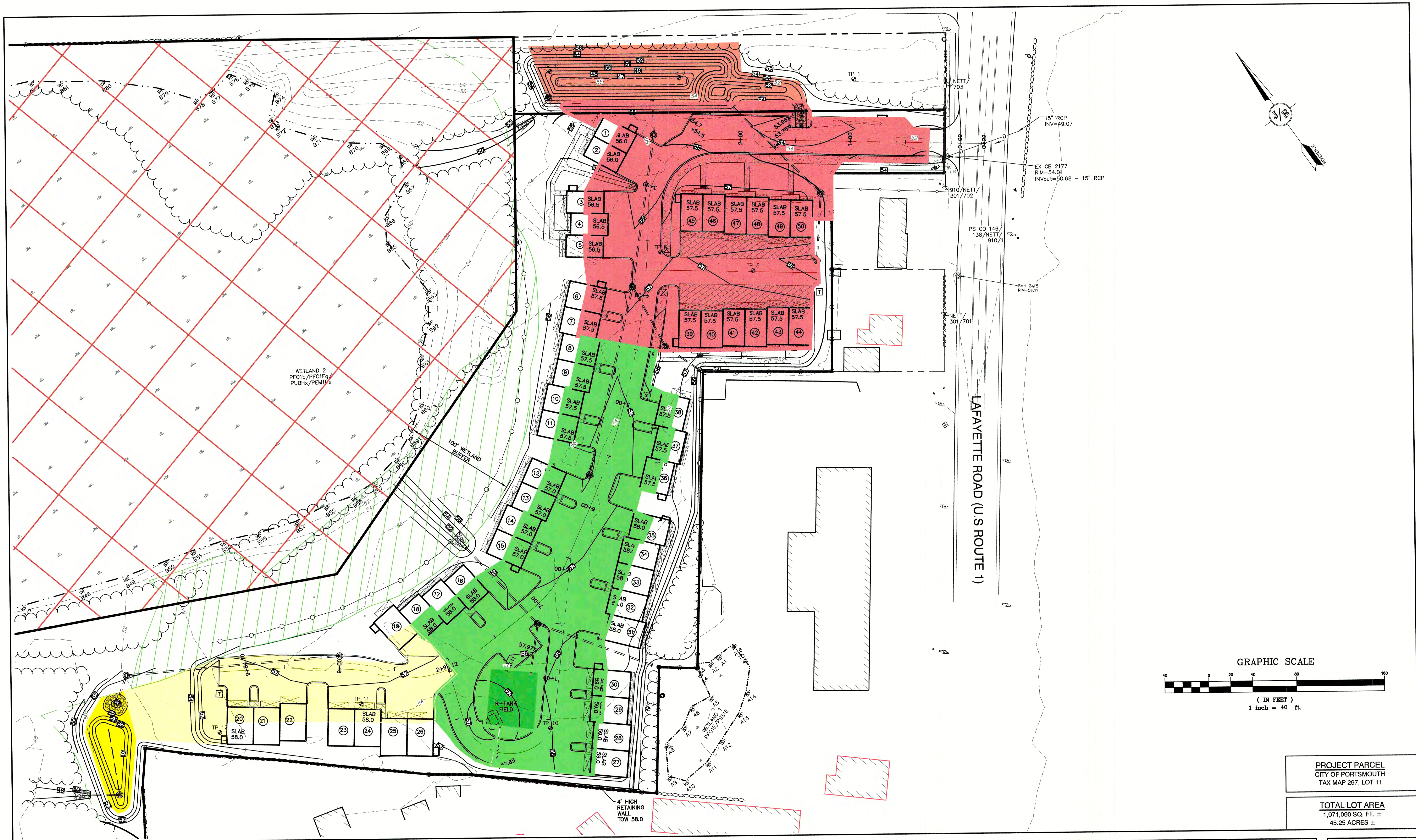
Designed and Produced in NH
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	TRUCK TURNING PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.

T1

SHEET 25 OF 26
JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
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REV.	DATE	REVISION	BY
0	5/17/21	ISSUED FOR REVIEW	MJK

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603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PROPOSED TREATMENT PLAN**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

Drawing No. **TR1**
SHEET 26 OF 26
JBE PROJECT NO. 20737

PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 297, LOT 11

TOTAL LOT AREA
1,971,090 SQ. FT. ±
45.25 ACRES ±