603.441.2900



February 21, 2024

City of Portsmouth Zoning Board of Adjustment

1 Junkins Ave, 3rd Floor

Portsmouth, NH 03801

RE: Variance

Proposed ATM

750 Lafayette Rd, Portsmouth, NH 03801

Tax Map 244, Lot 8

Dear Members of the Board,

NES Group, Inc. ("Applicant") proposes to develop the above referenced site with an ATM as an accessory use to the principal use (bank) and we are proceeding with the entitlement process in support of same. The following documents have been included with this submission:

- Proposed Site Plans
- Existing Conditions Plan, completed by Control Point Associated, Inc., dated 11/9/2023
- Northeast Credit Union drawings, completed by Darren S. Antle, P.E., dated 07/25/2023
- NCR SelfServ ATM Elevations

The site (Tax Map 244, Lot 8) is 3.9+/- acres, located off Lafayette Road. The lot is located in the Gateway Corridor (G1) and is currently developed with multiple commercial buildings. The size, location, and access to existing buildings will remain the same. All proposed changes are within previous developed areas.

Please consider this correspondence as our request for a variance from the following requirements if and to the extent a variance is needed.

- ATM is permitted only as an accessory use to a related principal use, and is not permitted as a
 principal use or in a freestanding structure not attached to a principle use per Zoning Ordinance
 Section 10.1530
 - Per Zoning Ordinance Section 10.1530 the proposed project will not be contrary to public interest. The existing site contains one ATM, so the addition of one will not add a new use to the lot.
 - Per Zoning Ordinance Section 10.233.22 The spirit of the ordinance will be observed.
 While the proposed ATM is detached, the proposed use is allowed per the zoning ordinance.
 - Per Zoning Ordinance Section 10.233.23 Justice will be served due to the procedures in place. We will be placing an accessory use in on the property which is permitted due





- to the principal use. We are adding an additional ATM, which has a use that already exists on site. We will not be proposing a project that is contrary to public interest.
- Per Zoning Ordinance Section 10.233.24 As stated above, the project proposes a use which already exists on the site, therefore it is our belief that surrounding property values will not be diminished by the addition another ATM. The location of the proposed ATM is as close to the existing building as it can be placed, and faces inward within the Gateway Corridor, and not toward residential uses.
- O Per Zoning Ordinance Section 10.233.25 Literal enforcement of the provision of the ordinance would result in unnecessary hardship. The proposed location of the drive-thru ATM is the only place where the traffic patterns for the site would remain the same and an entire redesign of the site's layout would not be needed, as well as the only location it can be placed due to the location and features of the existing building. To have to move it anywhere else would mean a complete redesign of the site, interference with the other companies that lease the buildings on the site, and cancellation of the project entirely.

We look forward to discussing this project further with you. We trust that this information is sufficient for your needs at this time. Please do not hesitate to contact us at (603) 441-2900 should you have any questions or wish to discuss further.

Sincerely,

BOHLER ENGINEERING

Muh

Keith Curran, P.E.

PROPOSED SITE PLAN DOCUMENTS

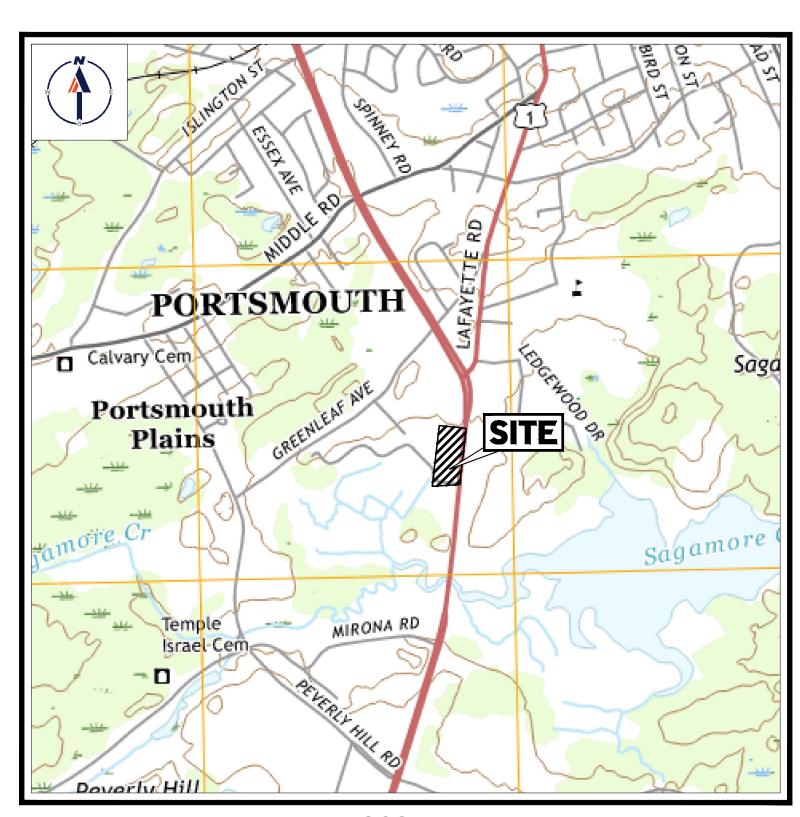


PROPOSED

DEVELOPMENT

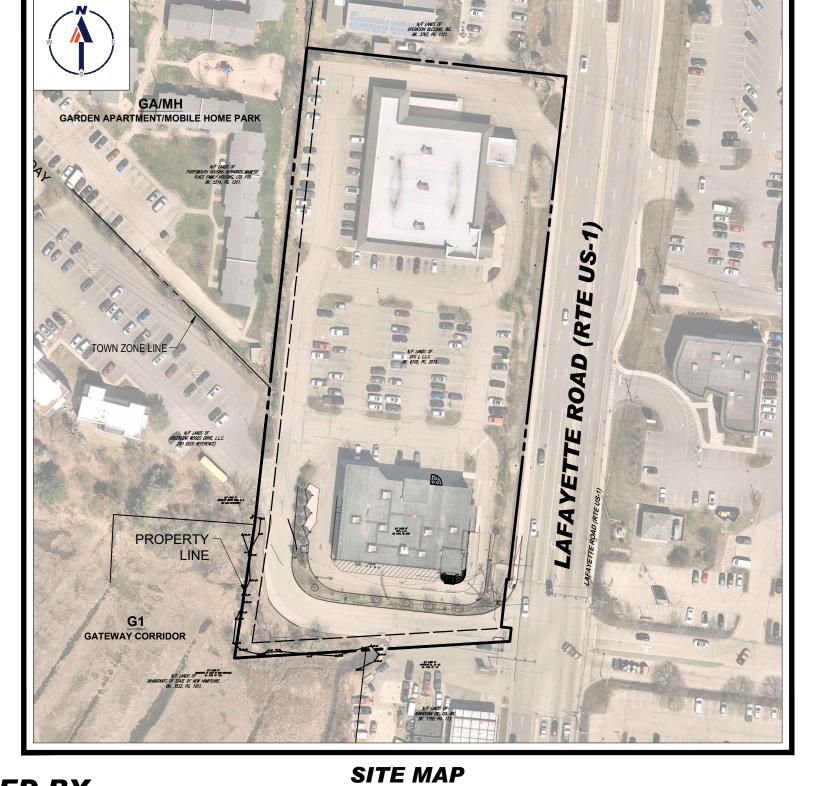
LOCATION OF SITE:

750 LAFAYETTE ROAD, CITY OF PORTSMOUTH ROCKINGHAM COUNTY, NEW HAMPSHIRE **MAP #244, LOT #8**



USGS MAP

SCALE: 1" = 1,000' SOURCE: PORTSMOUTH QUADRANGLE



SCALE: 1" = 100' SOURCE: GOOGLE EARTH

PREPARED BY

BOHLER//

REFERENCES

CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD, SOUTHBOROUGH, MA

STRUCTURAL PLAN: DARREN S. ANTLE, P.E. 299 N. WEISGARBER ROAD, SUITE 104,

DATE: 11/09/2023

KNOXVILLE, TN 37919 REVISED: 7/27/2023

* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

	REVISIONS				
,	DATE	COMMENT	DRAWN BY		
	2/21/2024	WETLAND DELINEATION	AP KWC		



ISSUED FOR PERMIT

DRAWN BY: **CHECKED BY:** DATE: CAD I.D.: MAA230369.00-SPPD-1/

SITE **DEVELOPMENT**

PROJECT:

PLANS



PROPOSED DEVELOPMENT

MAP #244, LOT #8 **750 LAFAYETTE ROAD CITY OF PORTSMOUTH ROCKINGHAM COUNTY, NEW HAMPSHIRE**

352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900

www.BohlerEngineering.com



COVER SHEET

C-101

REVISION 1 - 2/21/2023

DRAWING SHEET INDEX

SHEET INDEX	
SHEET TITLE	NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
SITE, GRADING, & UTILITY LAYOUT PLAN	C-301
SOIL EROSION & SEDIMENT CONTROL PLAN	C-601
SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES & DETAILS	C-702
DETAIL SHEET	C-901
REFERENCE PLANS	
BOUNDARY & TOPOGRAPHIC & UTILITY SURVEY	2 SHEETS

HE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH

HE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE

RESPONSIBLE FOR FAILING TO DO SO.

IMPLIED, UNDER ANY CIRCUMSTANCES.

MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD THE PROFESSIONAL OF

NVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY ONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES,

CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE PROFESSIONAL OF RECORD AND BOHLER, THE USE OF THE WORDS

CERTIFY OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF HE PROFESSIONAL OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH

THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR

INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE

PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY

RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT PROFESSIONAL OF RECORD SUFFERS AND COSTS THAT THE PROFESSIONAL

GENERAL SITE NOTES THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR

GENERAL DEMOLITION NOTES

AND THE FEDERAL STATE, AND LOCAL REGULATIONS.

THE SITE OR ADJACENT OR NEAR TO THE SAME.

THE COMMENCEMENT OF WORK.

COMPANY REQUIREMENTS.

COMPLIANT REMOVAL OF SAME

ALL LOCAL STRUCTURES AND THE LIKE.

CONTRACTOR'S SOLE COST

APPLICABLE UTILITY PROVIDER.

WORK SHOWN ON THESE PLANS.

FEATURES FOR GRAPHICAL CLARITY

REQUESTED BY DOT AND/OR THE MUNICIPALITY.

THE EXACT SIZE, DEPTH AND LOCATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

BE TERMINATED IN ACCORDANCE WITH MUNICIPAL / STATE TRANSPORTATION DEPARTMENT REQUIREMENTS

DEVELOPMENT.

THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC.

AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.

THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.

VNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST.

I'HE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREE

THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE

THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR

THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE

CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY

HE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY

OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFE SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST. MUST REPAIR ALL DAMAGE TO ALL ITEMS AND

AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE

ACTIVITIES THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL

EATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS

THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION

THER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION

PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. THE CONTRACTOR MUST, IN WRITING, RAISE ANY OUESTIONS CONCERNING THE

ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY

THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE PROFESSIONAL OF

RECORD AND BOHLER. IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE PROFESSIONAL OF RECORD AND BY BOHLER. IN WRITING, ALL

THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION

WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE

IURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS. RULES. STATUTES. LAWS. ORDINANCES AND CODES.

.0.6. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES

REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH

DEMOLITION ACTIVITIÉS MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE

ORTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE PROFESSIONAL OF RECORD AND ALL PUBLIC AGENCIES WITH JURISDICTION

NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO

10.3. INSTALL THE REQUIRED SOIL FROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED.

10.4. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY

LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLI

FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF

ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED

BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME, THESE ARE NOT THE PROFESSIONAL OF RECORD'S OR

ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY

OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO

BOHLER RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN

NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY

10.9 IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS

OR THE CONTRACT WITH THE OWNER/DEVELOPER. THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY

I'HE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS

DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AN

BACKELL MATERIALS AND MUST RE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST RE PERFORMED IN COMPLIANCE WITH THE

RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE PROFESSIONAL OF RECORD AND THE OWNER.

STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO, THE PUBLIC RIGHT-OF-WAY.

HE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVEI

RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST

BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS

(PLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL

CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON

HE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED. ABANDONED IN PLACE, OR

THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE,

THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO

CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IF REQUIRED, DIG EXPLORATORY TEST PITS TO CONFIRM EXACT LOCATION AND

BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE

STRUCTURES CAN NOT BE REUSED THEN THE CONTRACTOR SHALL PROVIDE A NEW STRUCTURE. THE CONTRACTOR SHALL COORDINATE SUCH WORK WITH THE

HE CONTRACTOR SHALL REVIEW THE PLANS VERSUS THE LOCATION OF EXISTING STRUCTURES, UTILITIES AND APPURTENANCES IN THE FIELD TO CONFIRM

WHERE THE LIMIT OF WORK COINCIDES WITH PROPERTY LINE, TREE LINE, PROPOSED SAWCUT OR COMBINATION THEREOF IT IS SHOWN ADJACENT TO THESE

ITRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS. DELETERIOUS MATERIALS. AND/OR DEBRIS THAT IMPEDE THI

ACCURACY OF SAME AND VERIFY ITEMS TO BE REMOVED. THE CONTRACTOR SHALL CARRY COSTS FOR REMOVAL OF ANY EXISTING STRUCTURES. APPURTENANCES.

STING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION UNLESS CLEARLY INDICATED OTHERWISE. REASONABLE CARE AND CAUTION SHALL BE

WAYS, ANY SUCH WORK SHALL BE PERFORMED BY A LICENSED / DOT APPROVED SIGNAL CONTRACTOR, ANY DAMAGED LOOPS OR OTHER SIGNAL EQUIPMENT SHALL

THE CONTRACTOR MUST FIELD VERIEY THE LOCATIONS WHERE PROPOSED LITH LITES CROSS EXISTING LINDERGROUND LITH LITES BY LISING A TEST PIT TO DETERMINE

29. CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED AT THE EXISTING MAIN AND/OR PROPERTY LINE. THESE SERVICES ARE TO

E REPAIRED IMMEDIATELY AFTER THE WORK IS COMPLETE. THE SIGNAL CONTRACTOR SHALL BE AVAILABLE TO MAKE ANY TEMPORARY SIGNAL CHANGES IF

CONTRACTOR SHALL INSPECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN FOR THE PROJECTS RE-USE TO VERIFY SUITABILITY FOR SAME, IF

THE CONTRACTOR SHALL MAINTAIN, ADJUST OR ABANDON EXISTING MONITORING WELLS IN ACCORDANCE WITH THE DIRECTION OF THE ENVIRONMENTA

ND UNDERGROUND UTILITIES. INCLUDING BUT NOT LIMITED TO, DRAIN, WATER, SEWER, STEAM, IRRIGATION, GAS, TELECOM AND ELECTRIC

COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE

RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE

AUTHORITIES PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE

. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIR

RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO

REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR

.6. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION.

INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE

THIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO

NOTIFY, IN WRITING AND VERBALLY. THE OWNER, PROFESSIONAL OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND

EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND

AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.

HAND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTE: PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION. THE CONTRACTOR MUST INSTALL SOIL FROSION CONTROL AND ANY STORMWATER POLLUTION. PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

UTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF

LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.
WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF ALL CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF JURISDICTIONAL STANDARD PSI AT 28 DAYS (OR 4,000 PSI) UNLESS OTHERWISE NOTED ON THE PLANS. DETAILS AND/OR GEOTECHNICAL REPORT

THE CONTRACTOR MUST FILE SITE SIGNAGE APPLICATION OR PERMIT UNDER SEPARATE APPLICATION UNLESS DONE SO AS PART OF JURISDICTIONAL PERMITTING THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, PAVEMENT MARKINGS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES WHETHER SPECIFIED ON THIS PLAN OR NOT.

WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT, HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS. TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH OF THE PROPOSED WALL RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT AN APPROPRIATELY LICENSED PROFESSIONAL DESIGNS ALL WALLS SHOWN HEREON AND PRIOR TO CONSTRUCTION. REFER TO GRADING NOTES REGARDING RETAINING WALL DESIGN.

2. CONTRACTOR IS CAUTIONED OF EXISTING UTILITY SERVICES TO REMAIN IN PROXIMITY TO PROPOSED BOLLARDS AND SIGNS, CONTRACTOR SHALL PROVIDE FIELD.

GENERAL GRADING NOTES

(REV. 1/2023)

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE . THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE ERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE CONTRACTOR MUST BE AMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES

SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER ROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALL THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. CEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSA FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE PROFESSIONAL OF RECORD, BOHLER AND THE OWNER PRIOR TO THE CONTRACTOR

COMMENCING ANY WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT FLEVATIONS PRIOR TO COMMENCING AN CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST. THE ONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL

(REV. 1/2023)

REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER. REGISTERED WITH THI TATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS O BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST OMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES ARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY

THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO. THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING. OF ANY DISCREPANCY(IES) AND/OR

> THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. ROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED.

THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES (EXCEPT WHERE ADA EQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES, 1.5% ON ASPHALT SURFACES, 1.5% IN LANDSCAPED AREAS AND 0.75% SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS TO PROVIDE POSITIVE DRAINAGE. WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS. TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE TOP AND BOTTOM OF THE WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER. AND MUST CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT THERE ARE NO UTILITIES ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY

BE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY SUPPORTING THE WALL IN ACCORDANCE WITH THE STANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES, ORDINANCES, LAWS AND STATUTES. MSE OR GRAVITY BLOCK WALLS SHALL BE CONSTRUCTED SUCH THAT UPON COMPLETION OF CONSTRUCTION THERE IS NO UNFINISHED SURFACE OR LIFTING RINGS VISIBLE (E.G. USE OF FINISHED TOP BLOCK OR CAP STONES) STORMWATER RUNGE WITHIN PROPERTY MUST BE COLLECTED ON-SITE WITH NO OVERLAND RUNGEF ONTO THE RIGHT-OF-WAY OR ADJACENT PROPERTIES TO HE MAXIMUM EXTENT POSSIBLE OR IN THE MANNER SHOWN ON THE CONSTRUCTION DRAWINGS. STORMWATER RUNOFF ONTO ADJACENT PROPERTIES SHALL BE

CONTROLLED AS TO NOT ADVERSELY IMPACT SAID PROPERTIES. EFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS WITH THEIR INTENDED FOR STRUCTURAL USES TO THE GEOTECHNICAL ENGINEER OF RECORD. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL ADA GUIDELINES AND REQUIREMENTS. 5. FOR ALL RETAINING WALLS 4 FEET OR GREATER IN HEIGHT:

15.1. THE OWNER OR THE OWNER'S CONTRACTOR IS TO PROVIDE A SITE-SPECIFIC RETAINING WALL DESIGN PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED (E.G. STRUCTURAL ENGINEER) IN THE STATE WHERE THE CONSTRUCTION OCCURS. SOIL TYPES, WATER TABLE ELEVATION, EXISTING & PROPOSED SURROUNDING IMPROVEMENTS/CONDITIONS (INCLUDING BUT NOT LIMITED TO SLOPES, DRIVE AISLES, ROADS, FENCING, GUIDERAILS, UTILITIES, DRAINAGE FACILITIES, STRUCTURES, FOUNDATIONS), LIVE LOADS AND OTHER SITE AMENITIES THAT COULD HAVE AN INFLUENCE OR IMPACT ON THE RETAINING WALL(S CONSTRUCTABILITY AND/OR LONGEVITY SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN AS WELL AS THE GLOBAL STABILITY

PEER REVIEW AND GLOBAL STABILITY ANALYSIS OF THE RETAINING WALL DESIGN MUST BE COMPLETED BY THE OWNER'S GEOTECHNICAL ENGINEER TO

CERTIFY THE DESIGN MEETS INDUSTRY STANDARDS FOR FACTOR OF SAFETY. SOIL TYPES, WATER TABLE ELEVATION AND DESIGN PROPERTIES AS NOTED CONTRACTOR SHALL INSTALL CONCRETE CURB ALONG FACE OF BUILDING / WALL AS SHOWN TO PROVIDE CONSISTENT WIDTH ALONG LENGTH OF PROPOSED CONTRACTOR SHALL REVIEW RETAINING WALL LOCATIONS VERSUS APPLICABLE STATE AND LOCAL CODES AND PROVIDE FALL PROTECTION (E.G. FENCING OR RAILING) IN ACCORDANCE WITH SAID CODE.
CONTRACTOR SHALL COORDINATE WITH OWNER/OPERATOR TO REVIEW EXISTING DEPRESSIONS WITHIN EXISTING PAVEMENT AREAS TO REMAIN AND SHALL

CONFIRM THAT THE SCOPE OF WORK SHALL PROVIDE POSITIVE DRAINAGE BY FIXING ANY EXISTING AREAS OF PONDING. BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS WITH THEIR INTENDED FOR STRUCTURAL USES TO THE GEOTECHNICAL ENGINEER OF RECORD.

GENERAL DRAINAGE & UTILITY NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST NDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND OMISSIONS IN WRITING. TO THE PROFESSIONAL OF

THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION. AT NO COST TO TH DWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES

WHICH OCCURS DURING CONSTRUCTION. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH PRIOR TO COMMENCEMENT OF CONSTRUCTION STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED

UPON FINAL ARCHITECTURAL PLANS THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS. RULES. STATUTES. LAWS ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE, WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS. OR WHERE ARCHITECTURAL PLAN UTILITY

CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME. ALL FILL, COMPÁCTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE SECTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE LITHITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOF DT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS 8. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE AN

INSTALLATIONS THAT DEVIATE IN ANY RESPECT. FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK THE CONTRACTOR MUST ENSURE THAT ALL LITILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

TILITY POLES. AND/OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRET 11. WATER SERVICE MATERIALS, RURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL LITHIUTY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS. REQUIREMENTS. RULES. STATUTES. LAWS. ORDINANCES AND CODES THE CONTRACTOR'S PRICE FOR WATER AND SEWER SERVICE INSTALLATIONS MUST INCLUDE ALL FEES, COSTS, AND APPURTENANCES REQUIRED BY THE UTILITY PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK) TO PROVIDE FULL AND COMPLETE WORKING SERVICE, INCLUDING (BUT NOT LIMITED TO) NECESSARY FEES, TESTING, DISINFECTING, INSPECTIONS, ROAD OPENING & BACKFILL REQUIREMENTS, TRAFFIC CONTROL AND SURETY BONDS AS DEFINED BY THE PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK). 14. ALL WORK ASSOCIATED WITH UTILITY POLES, OVERHEAD WIRES AND ANY/ALL APPURTENANCES SHALL BE COORDINATED BY THE GC WITH THE LOCAL UTILITY COMPANIES PRIOR TO THE ORDERING OF ANY MATERIALS. THIS MAY INCLUDE BUT IS NOT LIMITED TO THE REMOVAL, INSTALLATION, RELOCATION OR PROTECTION OF ANY BRACING, GUY WIRES, OVERHEAD WIRES, ETC. AS MAY BE REQUIRED TO ACCOMMODATE THE PROJECT

SEWERS CONVEYING SANITARY FLOW, OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST, AT A MINIMUM, BE IN SEPARATE TRENCHES WITH THE AT LEAST 18 INCHES OF VERTICAL SEPARATION FROM THE BOTTOM OF THE WATER MAIN TO THE TOP OF THE SEWER LINE. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION. ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR ROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SANITARY SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SANITARY SEWER MUST BE PROVIDED. ALL CROSSINGS SHALL BE IN ACCORDANCE WITH JURISDICTIONAL PERMITTING/UTILITY AUTHORITIES REGULATIONS. WHEN THESE PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL UTILITY SERVICES, INCLUDING BUT NOT LIMITED TO STORM, SANITARY, UTILITIES, AND IRRIGATION LINES, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH HE CONTRACTOR IS RESPONSIBLE THE CONTRACTOR MUST CAP ENDS OF INSTALLED UTILITIES AS APPROPRIATE, MARK UTILITY ENDS WITH MAGNETIC TRACER

TAPE, MARK TERMINUS LOCATIONS WITH A 2X4 STAKE, AND MUST NOTE THE LOCATION OF ALL UTILITY STUBS ON A CLEAN COPY OF THE PLAN. THIS RECORD

DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL 17 STORM AND SANITARY PIPE LENGTHS INDICATED ARE NOMINAL AND ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE LINESS. 3. UNLESS INDICATED OTHERWISE, ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC., MUST BE INSTALLED UNDERGROUND. ALL NEW UTILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STAND. SANITARY PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE CLEARLY INDICATED OTHERWISE. SANITARY LATERAL(S) MUST BE PVC SDR 26

UNLESS CLEARLY INDICATED OTHERWISE UNLESS CLEARLY INDICATED OTHERWISE, ALL STORM PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT/SOIL TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS IT MUST CONFORM TO AASHTO M252 FOR PIPES 4" TO 10" AND TO AASHTO M294 FOR PIPES 12" TO 60" AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT/SOIL TIGHT JOINT. PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 PVC OR SCHEDULE 40 UNLESS INDICATED OTHERWISE. HDPE PIPE JOINT GASKETS MUST BE PROVIDED AND CONFORM TO ASTM F477. DRAIN

PIPE INSTALLED WITH OVER TEN (10) FEET OVER COVER AND/OR IN HIGH GROUNDWATER CONDITIONS SHALL BE SANITITE HP POLYPROPYLENE PIPE (PP), OR UNLESS CLEARLY INDICATED OTHERWISE ALL SANITARY PIPE MUST BE

FOR PIPES LESS THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034. 21.2. FOR PIPES GREATER THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034.

21.3. UNLESS LOCAL OR STATE BUILDING / PLUMBING CODE CLEARLY SPECIFIES DIFFERENTLY, SANITARY LATERALS MUST BE PVC SDR 26.
21.4. FOR ALL UTILITY PIPING (INCLUDING DRAIN) WITHIN 10 FT OF A BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE LOCAL OR STATE BUILDING AND PLUMBING CODES, CONTRACTOR SHALL REFER TO PLUMBING ENGINEERING PLANS AND VERIFY PIPE MATERIAL WITH LOCAL OFFICIAL PRIOR TO ORDERING

22 WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER COMPANY IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST

CONTRACTOR SHALL VERIFY THE CONNECTION OF EXTERIOR PIPING TO ANY FIXTURES (SUCH AS AN EXTERIOR GREASE INTERCEPTOR) OR OTHER DRAINAGE

COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION. 23. GAS METERS MUST BE PROTECTED AS REQUIRED BY THE JURISDICTIONAL GAS PROVIDER.

ADA INSTRUCTIONS TO CONTRACTOR

ABBREVIATIONS

BITUMINOUS CONCRETE CURB

DESCRIPTION

AG / ABVG | ABOVE GROUND

ARCHITECT

BACK OF CURB

RENCHMARI

BUILDING

CONCRETE

DECORATIV

DEPRESSED

ELEVATION

FINISH FLOOR

HIGH POINT

INTERSECTION

LANDSCAPE AREA

LIMIT OF WORK

LOW POINT

MIJMIXAM

NUMBER

PROPOSED

RADIUS OR RAD

RIGHT-OF-WAY

SEWER MANHOL

O BE REMOVE

TOP OF CURB

TOP OF WALI

TRANSITION

VERIFY IN FIELD

UG / UNDG UNDERGROUND

SQUARE FOOT

STATION

PLUS OR MINUS

POINT OF CURVATUR

POINT OF TANGENCY

POINT OF INTERSECTION

POLYVINYL CHLORIDE PIPE

REINFORCED CONCRETE PIPE

SLOPED GRANITE CURB

TREE PROTECTION FENCE

VERTICAL GRANITE CURB

TO BE REMOVED AND REPLACED

POINT OF VERTICAL INTERSECTION

LINEAR FOOT / FEE

MECHANICAL, ELECTRICAL,

MEET OR MATCH EXISTING

EXISTING

DRAIN MANHOLI

DUCTILE IRON PIP

EDGE OF PAVEMENT

FINISH FLOOR FLEVATION

GENERAL CONTRACTOR

HIGH DENSITY POLYETHYLENE PIPE

FXTRUDED CONCRETE CURB

DIAMETER

BOTTOM OF CURB

BOTTOM OF WALL

CONCRETE CURE

CAPE COD BERM

KEY

CONC.

1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET. AT A MINIMUM. THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED

THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT. MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE. BUT ARE NOT LIMITED

THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY. COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION 3.2. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH, VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.

(REV. 1/2023)

3.3. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS ANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION, RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. 3.4. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%), WHERE FLARED SIDES ARE PROVIDED. THEY MUST NOT EXCEED 1:10 (10%) SLOPE LEVEL

LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE

TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND

OTHER REFERENCES INCORPORATED BY CODE) 3.6. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING OORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF IUSTICE'S ADA STANDARDS FOR ACCESSIRI E DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM

LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT

TYPICAL LINE TYPE LEGEND

PROPOSED

PROPOSED

PROPOSED

PROPOSED

PROPOSED

PROPOSED

PROPOSED

PROPOSED

PROPOSE

FXISTING

EXISTING

PROPOSED

ROPOSED

PROPOSED

PROPOSE

PROPOSED

PROPOSED

EXISTING

EXISTING

FXISTING

FXISTING

FXISTING

EXISTING

EXISTING

EXISTING

4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE

PROPERTY LINE

ADJACENT PROPERTY

RIGHT-OF-WAY LINE

SETBACK OR BUFFER

WETLAND BOUNDARY

WETLAND BUFFER

WATER WAY BOUNDARY

WETLAND OR WATERWA

RIGHT-OF-WAY CENTER

APPROX. LIMIT OF WORK EXISTING

OR BASE LINE

TREE LINE

SURFACE OR

SUBSURFACE BASIN

OVERHEAD WIRES

FENCE OR RAILING

RETAINING WALL

CONTOURS

DRAIN PIPE

SEWER PIPE

ELECTRIC

CABLE TV

WATER

SEWER FORCE MAIN

TELECOMMUNICATIONS

SWALE

OR DISTURBANCE

APPROX. SAWCUT LINE

NATERWAY BUFFER

EASEMENT LINE

REVISIONS

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ı		DELINEATION	KWC

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MAA220369

PROJECT:

CAD I.D.

SITE DEVELOPMENT **PLANS**

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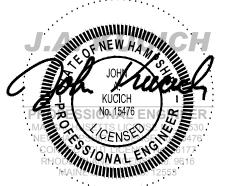


PROPOSED DEVELOPMENT

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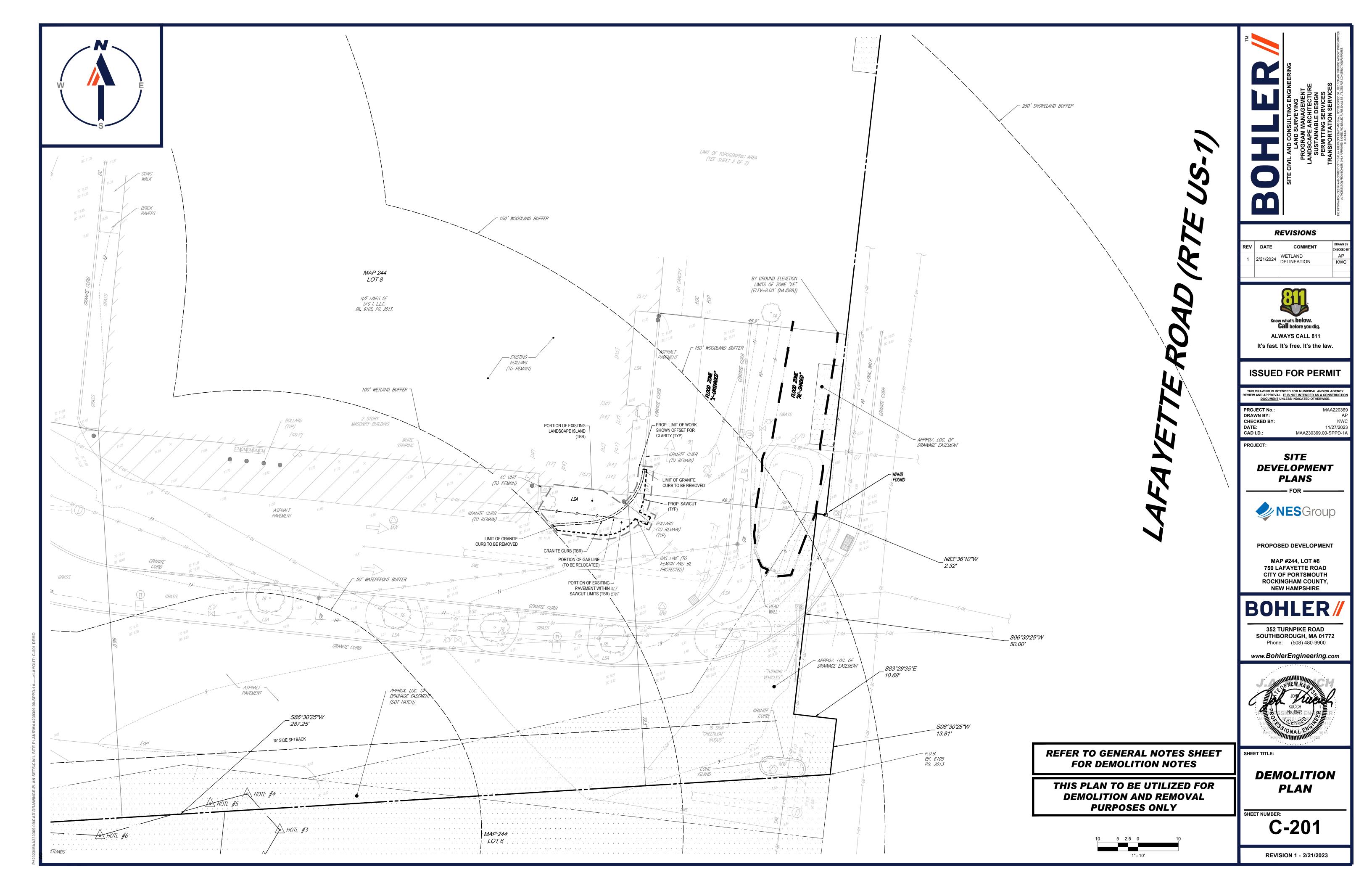
GENERAL NOTES SHEET

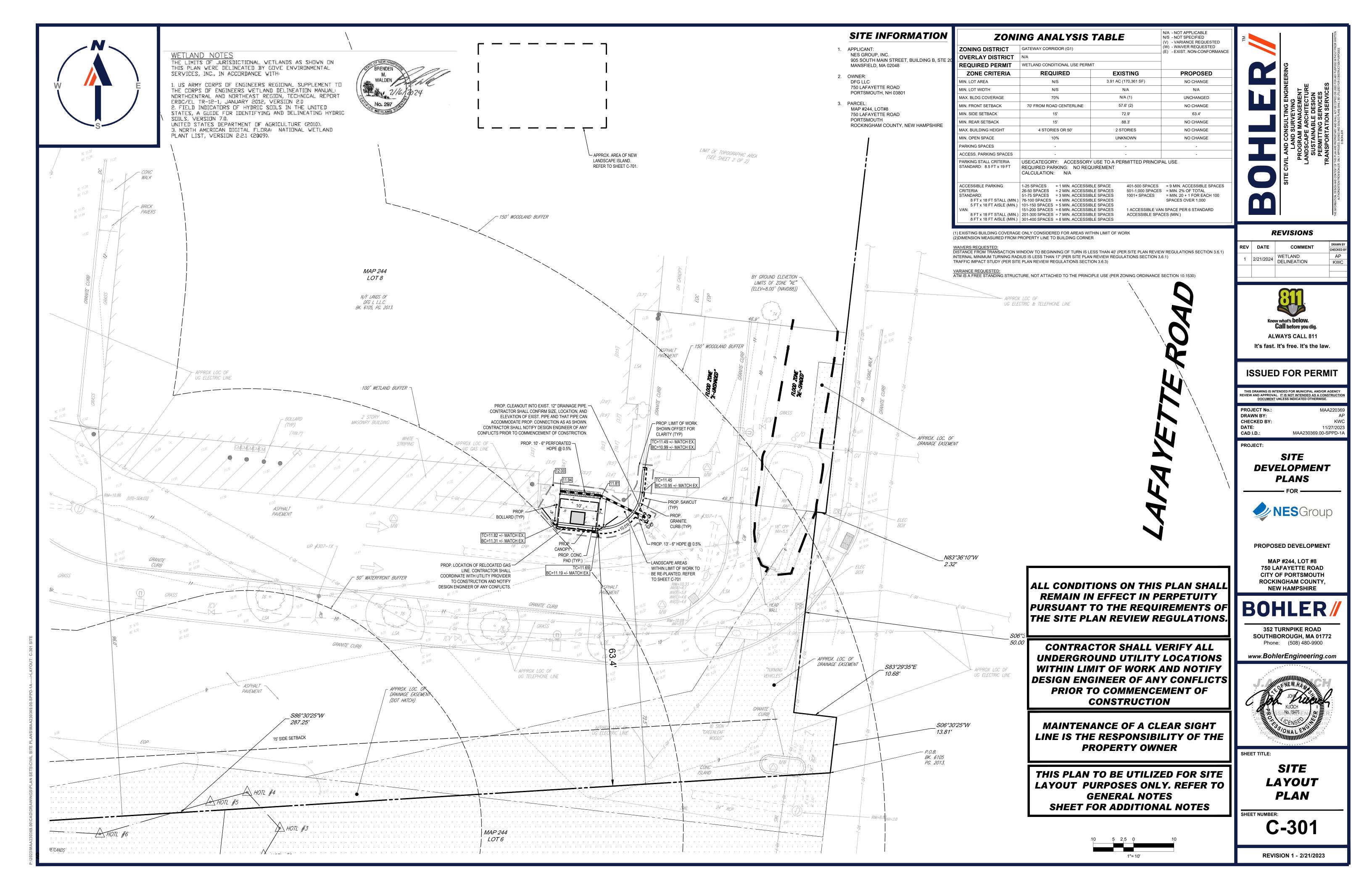
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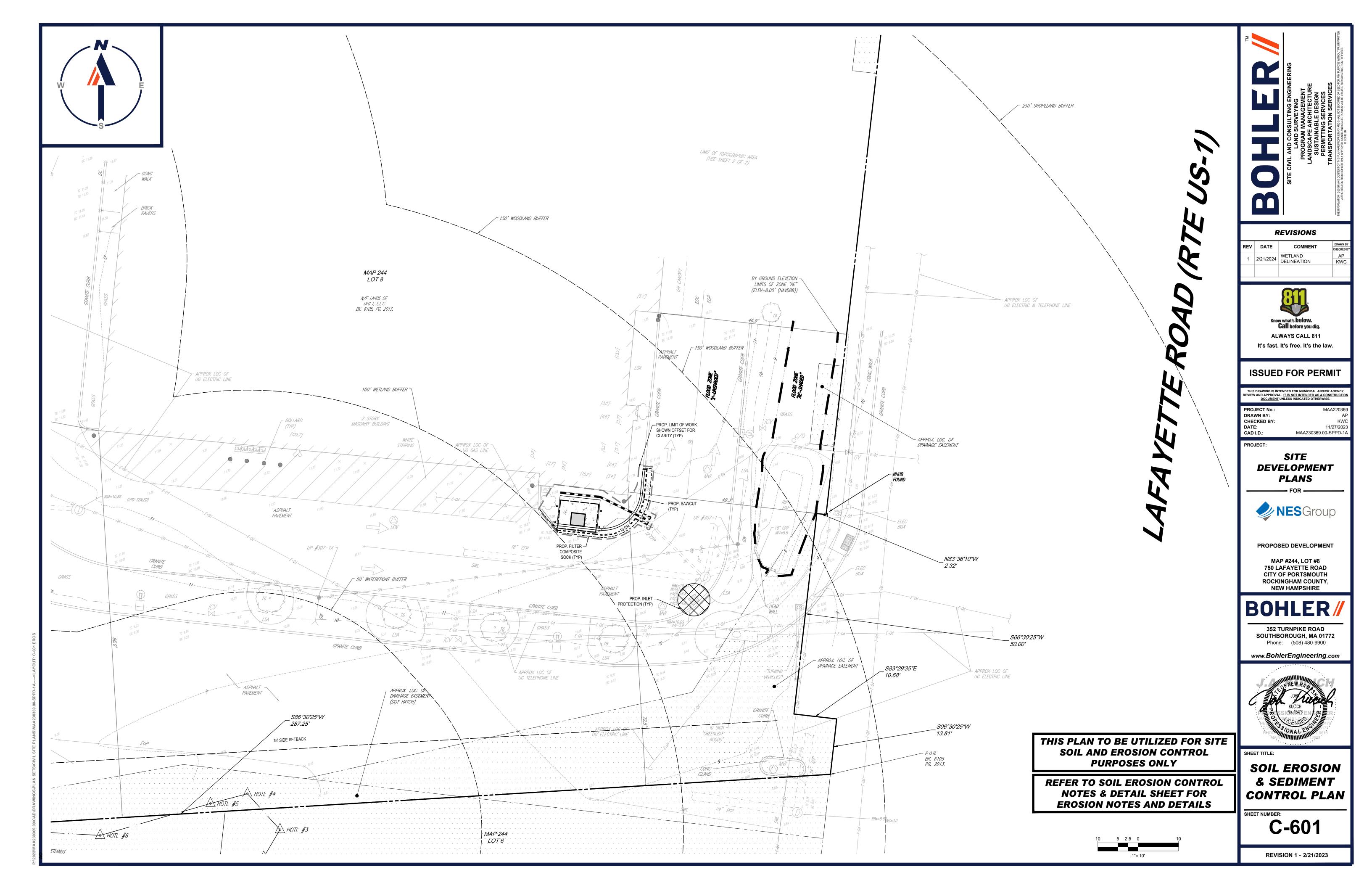
REVISION 1 - 2/21/2023

REFER TO SITE LAYOUT PLAN FOR **ZONING ANALYSIS TABLE AND LAND USE | ZONING INFORMATION & NOTES**

REFER TO EROSION AND SEDIMENT **CONTROL NOTES & DETAILS SHEET** FOR TYPICAL EROSION NOTES AND **DETAILS**







EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). OR IN THE ABSENCE OF A SWPPP. THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEARLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION, SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR
- TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS
- 10.1. SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
- 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER1,000 SF)
- 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE. 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03. LBS PER 1.000 SF LAWN, QUALITY SOD MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1, SOD ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
- 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1.000 SF, A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKEI

 AGGREGITION TO LAGITOTONI II NOT BLING ACTIVELY WORKED.			
LOCATION PROTECTED AREA	MULCH STRAW	MULCH RATE (1000 SF) 100 POUNDS	
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS	
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED	

(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT) * A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS

CURASOL OF RMB SHALL BE USED TO ADDITIONAL WIND CONTROL MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED

- PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION.SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS
- 15.1. TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER NEW HAMPSHIRE DES REQUIREMENTS AND PROVIDE A MINIMUM OF 1,800 CF PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO. AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION. ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE WITH THE GRADING AND LANDSCAPE PLANS.
- STOCKPILING OF MATERIALS (DIRT. WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
- THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED) IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
- THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

. WINTER CONSTRUCTION PERIOD: OCTOBER 1 THROUGH MAY 1.

GREATER THAN 3:1

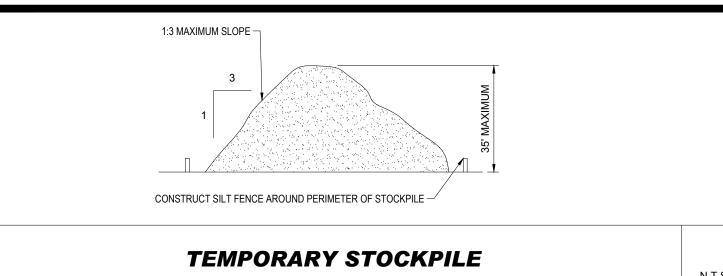
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- . EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY.
- I. AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED. MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE
- . BETWEEN THE DATES OF OCTOBER 15TH AND MAY 1ST. LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER OCTOBER 15TH AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED. AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM FROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT. UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNITESS TREATED IN THE ABOVE MANNER, UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
- 26.1. BETWEEN THE DATES OF OCTOBER 15TH AND MAY 1ST ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER
- 26.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- 26.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER OCTOBER 15TH THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- B. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.

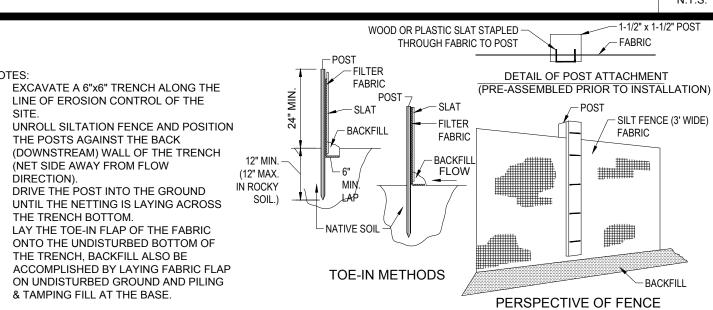
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES
- FROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN FROSION AND SEDIMENT CONTROL UNITES OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, ANI SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 0.50 ACRES.
- . THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:

REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT

- A. STABILIZED CONSTRUCTION ENTRANCE/ EXIT A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE
- PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE. B. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND SOIL STOCKPILES
- C. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
- 5. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE
- EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET
- THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT
- ACCORDANCE WITH BEST MANAGEMENT PRACTICES THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE
- NCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND
- URF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS
- 10. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF
- 11. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION
- 12 THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY FROSION AND SEDIMENTATION CONTROL FACILITIES. MEASURES AND STRUCTURES
- ADDITIONAL FACILITIES. MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- 1.3. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
- 14. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION 15. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY
- 16 SOIL FROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES
- 17. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED

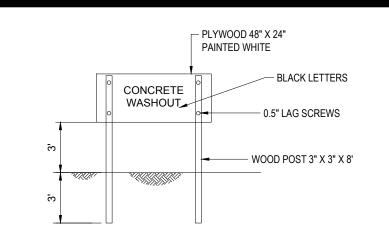




TYP. SILTATION FENCE

- STRAW BALE

(SEE NOTE 6)





TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT. FROM STORM DRAIN INLETS.

STAPLE DETAIL

SECTION A-A

DIRECTION)

THE TRENCH BOTTOM.

2 PER BALE)

□ 10 MIL PLASTIC

- NATIVE MATERIAI

(OPTIONAL)

STAKES (2 PER BALE)

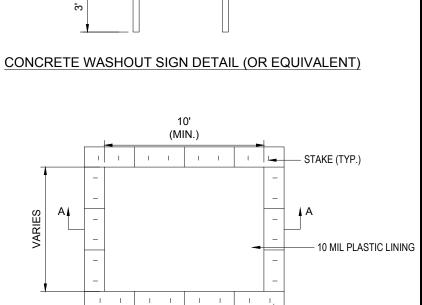
WOOD OR METAL

1/8" DIA. STEEL WIRE -

- . ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN. THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF OFF-SITE. CONTRACTOR TO DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS. 3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED
- WASHOUT FACILITY. 4. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE

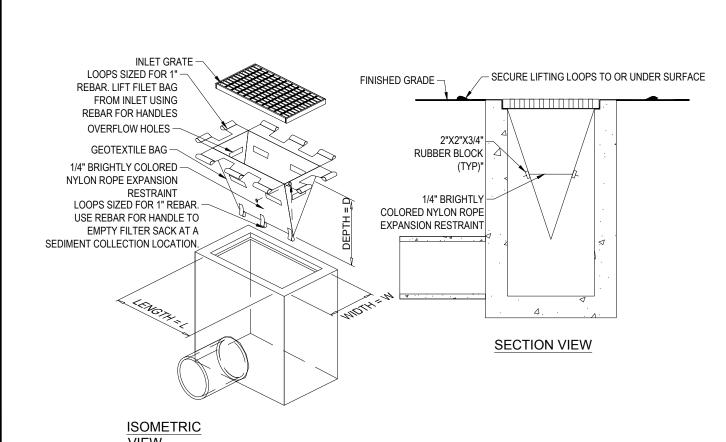
WITHIN 30 FT. OF THE TEMPORARY CONCRETE

- . WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL
- STRAW BALE AND STAPLES MAY BE SUBSTITUTED WITH ALTERNATE SECURING MEASURES SUCH AS CONCRETE BLOCK.



STRAW BALE (TYP.)

N.T.S.



THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

-INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)

-INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS

-EARTHWORK AND EXCAVATION/FILLING AS NECESSARY

-SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH

-CLEARING AND GRUBBING

-CONSTRUCTION OF UTILITIES

-CONSTRUCTION OF BUILDINGS

-PAVE PARKING LOT

EXISTING GROUND -

PROFILE

- FXISTING

PLAN VIEW

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY

PERCENT SLOPE OF ROADWAY

2% TO 5%

N.T.S.

-FINAL GRADING OF ALL SLOPED AREAS

-LANDSCAPING PER LANDSCAPING PLAN

-REMOVAL OF THE TEMPORARY SEDIMENT BASINS

-DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)

-INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)

-DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)

-STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING

-CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS

-PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE

RECOMMENDED CONSTRUCTION SEQUENCE

SEE CHART 1

PROVIDE APPROPRIATE

SEE CHART 1PUBLIC R.O.W.

LENGTH OF STONE REQUIRED

ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)

STABILIZED CONSTRUCTION ENTRANCE

200F

COARSE GRAINED SOIL\$ FINE GRAINED SOILS

TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND

R.O.W.

- PUBLIC -

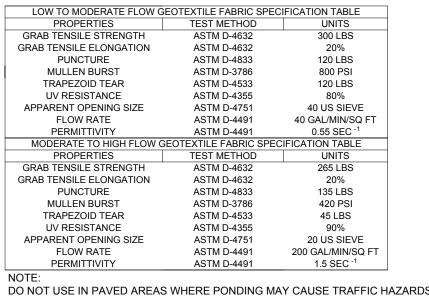
RIGHT OF

-REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER

2-1/2" CLEAN STONE -

-INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)

-INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)



PAVEMENT OR

WATER FLOW

ALL MATERIAL TO MEET MANUEACTURER SPECIFICATIONS.

WORK AREA

FILTER MEDIA TO BE DISPERSED ON SITE AT COMPLETION OF CONSTRUCTION

AFTER STABILIZATION IS ACHIEVED. AS DETERMINED BY ENGINEER IN OWNER

COMPOST FILTER SOCK

(PAVED CONDITION)

IMPERVIOUS SURFACE

2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR **EXCEEDS REQUIREMENTS** IN THE SPECIFICATIONS

COMPOST FILTER SOCK (SEE PLAN FOR SIZE)

CONCRETE BLOCKS OR SAND

PROTECTED

BAGS SIZED AS NEEDED (10' O.C.)

CONCRETE BLOCKS OR SAND BAGS SIZED AS NEEDED (10' O.C.)

AREA TO BE PROTECTED

COMPOST FILTER SOCK

(SEE PLAN FOR SIZE)

3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.

1. REMOVE TRAPPED

SEDIMENT WHEN

BRIGHTLY COLORED

EXPANSION RESTRAINT

CAN NO LONGER BE SEEN.

OR APPROVED EQUIVALENT

4. INSPECT PER REGULATORY REQUIREMENTS 5. THE WIDTH, "W", OF THE

FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET 6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE

> BETWEEN 18 INCHES AND THE LENGTH, "L", OF THE FILTER SACK SHALL

MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

REVISIONS

ν	DATE	COMMENT	DRAWN E
V			CHECKED
	2/21/2024	WETLAND	AP
		DELINEATION	KWC



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PROJECT No MAA22036 DRAWN BY: CHECKED BY: 11/27/2023 MAA230369.00-SPPD-1/ CAD I.D.

PROJECT:

SITE **DEVELOPMENT PLANS**

NESGroup

PROPOSED DEVELOPMENT

MAP #244, LOT #8 **750 LAFAYETTE ROAD** CITY OF PORTSMOUTH **ROCKINGHAM COUNTY, NEW HAMPSHIRE**

SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900

352 TURNPIKE ROAD

www.BohlerEngineering.com



SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

C-602

REVISION 1 - 2/21/2023

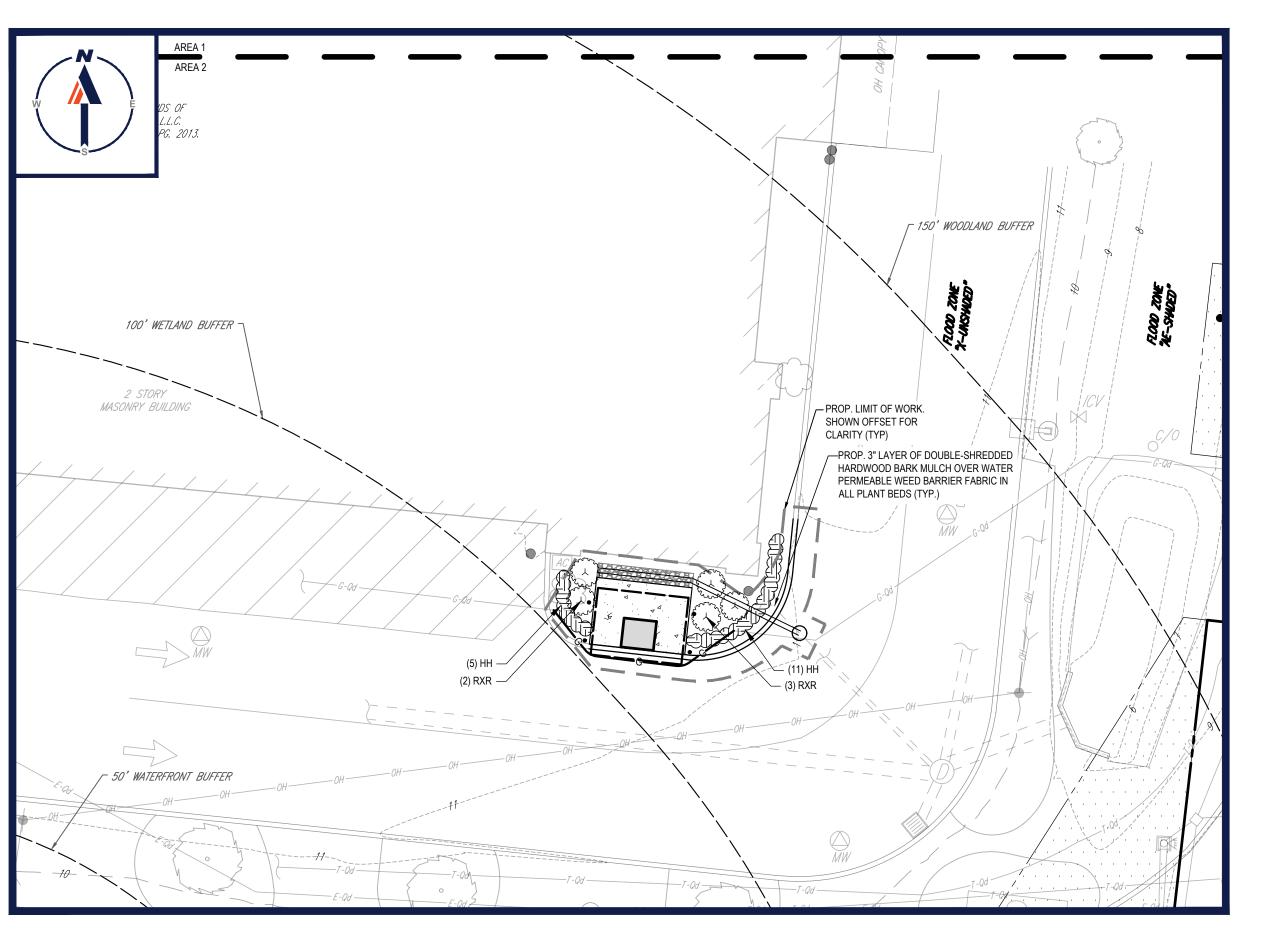
CONCRETE WASTE MANAGEMENT AREA

FILTER SACKS (GRATED INLETS)

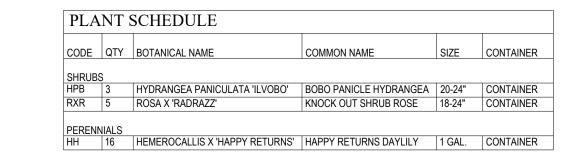
N.T.S.



AREA 1



AREA 2





SITE CIVIL AND CONSULT

LAND SURVI

PROGRAM MAN

LANDSCAPE ARCI

SUSTAINABLE

PERMITTING SI

TRANSPORTATIOI

REVISIONS

DRAWN
HECKE
AP
KW
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ALWAYS CALL 811

It's fast. It's free. It's the law.

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PROJECT No.: DRAWN BY: CHECKED BY:

PROJECT:

SITE DEVELOPMENT PLANS

— FOR ———

MAA230369.00-SPPD-1A



PROPOSED DEVELOPMENT

MAP #244, LOT #8 750 LAFAYETTE ROAD CITY OF PORTSMOUTH ROCKINGHAM COUNTY, NEW HAMPSHIRE

BOHLER/

3 EXECUTIVE PARK DRIVE, FLOOR 2 BEDFORD, NH 03110 Phone: (603) 441-2900

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OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
 TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.

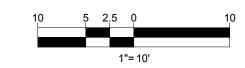
VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION
OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT
LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
 FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR

FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS



SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER

C-701

REVISION 1 - 2/21/2023

LANDSCAPE SPECIFICATIONS

SCOPE OF WORK:

- 1.1 THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION. PERMANENT SEEDING OR SODDING PLANTING AND MULCHING INCLUDING ALL LABOR MATERIALS TOOLS AND FOUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT. UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- 2.1. GENERAL ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
- 2.2. TOPSOIL NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS. ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY
- 2.3. LAWN ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN
- 2.3.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
- SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON 2.3.2. SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
- 2.4. MULCH ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH. UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES /DETAILS.

- FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE
- FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED
- 2.6. PLANT MATERIAL
- ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
- IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL 2.6.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
- TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS,
- CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
- SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. 2.6.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

GENERAL WORK PROCEDURES

- 3.1. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY
- 3.2. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

- 4.1. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN
- 4.2. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
- 4.3. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

- 5.1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE. WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
- 5.2. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
- WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED. IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- 5.4. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

SOIL MODIFICATIONS

- 6.1. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY
- 6.2. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
- 6.3. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY
- TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH
- TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
- 6.3.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

- 7.1. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE
- 7.2. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).
- 7.3. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- 7.4. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

TOPSOILING 8.1. CONTRACTOR SHALL PROVIDE A <u>6"</u> THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO

- ACHIEVE THE DESIRED COMPACTED THICKNESS 8.2. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
- 8.3. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
- ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):
- 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER
- 8.4.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
- 8.5. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

PLANTING

- INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
- 9.2. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

- 9.3. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED
- 9.4. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKELLING
- 9.5. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED
- 9.6. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN. MUST BE INSTALLED. INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS,

VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS

- 9.6.1. PLANTS: MARCH 15 TO DECEMBER 15
- 9.6.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- 9.6.3. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL
- 9.7. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
 - ACER RUBRUM PLATANUS X ACERIFOLIA BETULA VARIETIES POPULUS VARIETIES **CARPINUS VARIETIES** PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIETIES QUERCUS VARIETIES KOELREUTERIA LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES
- 9.8. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
- 1 PART PEAT MOSS
- 9.8.2. 1 PART COMPOSTED COW MANURE BY VOLUME
- 3 PARTS TOPSOIL BY VOLUME
- 9 8 4 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED FOLIAL) AS FOLLOWS:
- 2 TABLETS PER 1 GALLON PLANT 9.8.4.2. 3 TABLETS PER 5 GALLON PLANT
- 4 TABLETS PER 15 GALLON PLANT
- LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK 9.8.4.4. 9.9. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER
- THOROUGHLY. 9.10. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET
- AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
- 9.11. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
- 9.12. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION
- 9.13. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING
- STRUCTURES AND SIDEWALKS.
- 9.14. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- 9.15. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING

10. TRANSPLANTING (WHEN REQUIRED)

SPECIFICATIONS AS LISTED HEREIN.

- 10.1. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
- 10.2. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY
- WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND. 10.3. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
- 10.4. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
- 10.5. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
- 10.6. F TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES

- 11.1. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE
- 11.2. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY
- 11.3. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE

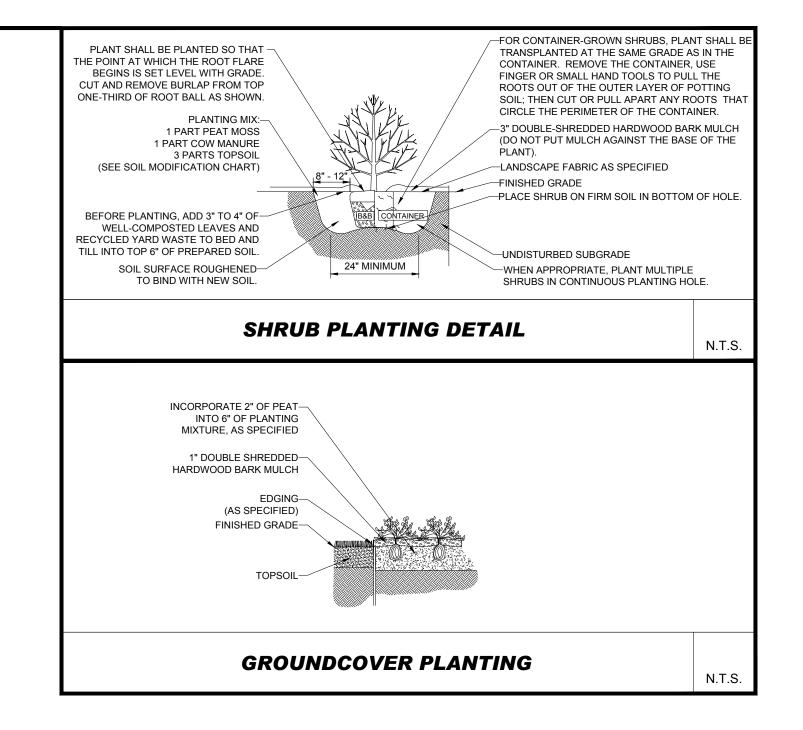
- 12.1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED
- 12.2. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION
- 12.3. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
- 12.4. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

CLEANUP 13.1. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.

13.2. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE

14. MAINTENANCE (ALTERNATIVE BID):

14.1. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED. THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE





REVISIONS

REV DATE COMMENT 2/21/2024 DELINEATION



ISSUED FOR PERMIT

MAA22036

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PROJECT No.: DRAWN BY: **CHECKED BY:**

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SITE DEVELOPMENT **PLANS**

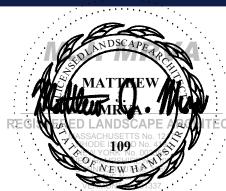


PROPOSED DEVELOPMENT

MAP #244, LOT #8 750 LAFAYETTE ROAD CITY OF PORTSMOUTH **ROCKINGHAM COUNTY. NEW HAMPSHIRE**

3 EXECUTIVE PARK DRIVE, FLOOR BEDFORD, NH 03110 Phone: (603) 441-2900

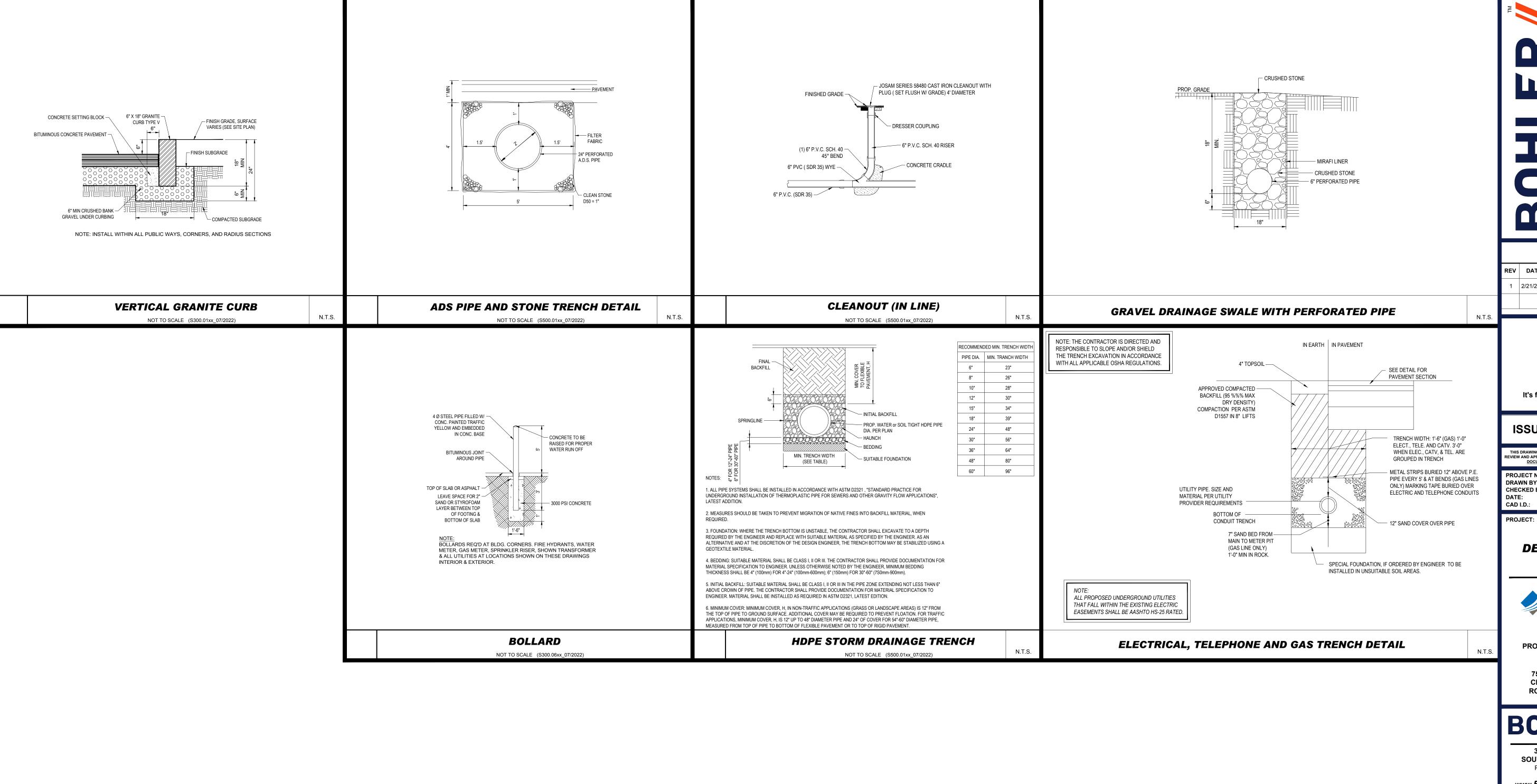
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SHEET TITLE:

LANDSCAPE **NOTES & DETAILS**

REVISION 1 - 2/21/2023





REVISIONS

<i>,</i>	DATE	COMMENT	DRAWN BY
			CHECKED BY
	2/21/2024	WETLAND	AP
		DELINEATION	KWC



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SITE **DEVELOPMENT PLANS**

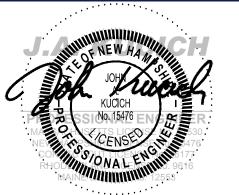


PROPOSED DEVELOPMENT

MAP #244, LOT #8 **750 LAFAYETTE ROAD** CITY OF PORTSMOUTH **ROCKINGHAM COUNTY, NEW HAMPSHIRE**

352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900

www.BohlerEngineering.com



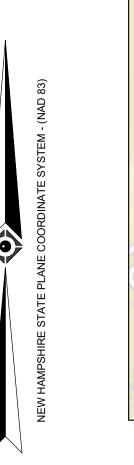
SHEET TITLE:

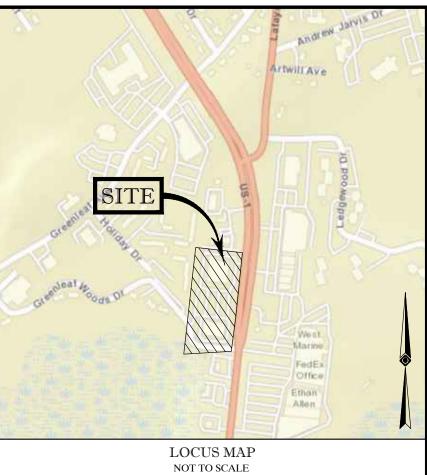
DETAIL SHEET

C-901

REVISION 1 - 2/21/2023

MAP 243 LOT 2BREFERENCES: N/F LANDS OF OPERATION BLESSING, INC. 1. THE TAX ASSESSOR'S MAP OF CITY OF PORTSMOUTH, ROCKINGHAM COUNTY, MAP 244. BK. 3767, PG. 1721. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), PANEL 270 OF 681," MAP NUMBER 33015C0270F, MAP REVISED: JANUARY 29, 2021. S83°41'48"E IRON PIN -FOUND MAP ENTITLED "PLAN OF LAND BOURNIVAL, INC., LAFAYETTE ROAD, PORTSMOUTH, NEW HAMPSHIRE," PREPARED BY MOULTON ENGINEERING, CO., DATED JULY, 1977, RECORDED WITH ROCKINGHAM COUNTY REGISTRY OF DEED AS PLAN # C-7485. MAP ENTITLED "PLAN OF LAND PORTSMOUTH, NEW HAMPSHIRE," PREPARED BY JOHN W. DURGIN, CIVIL ENGINEERS., DATED AUGUST, 1964, RECORDED WITH ROCKINGHAM COUNTY REGISTRY OF DEED AS PLAN # MAP ENTITLED "PLAN OF LAND PORTSMOUTH, NEW HAMPSHIRE," PREPARED BY JOHN W. DURGIN, CIVIL ENGINEERS., DATED SEPTEMBER, 1976, RECORDED WITH ROCKINGHAM COUNTY REGISTRY OF DEED AS PLAN - APPROX. LOC. OF MAP ENTITLED "AS-BUILT, CONDOMINIUM SITE PLAN OF GREENLEAF WOODS FOR GREENLEAF INVESTMENT APPROX. LOC. OF GROUP," PREPARED BY SEACOAST, ENGINEERING ASSOCIATES, INC., DATED MARCH 8, 1988, RECORDED WITH 50' WIDE RIGHT OF WAY DRAINAGE EASEMENT ROCKINGHAM COUNTY REGISTRY OF DEED AS PLAN # D-17717, SHEETS 1 & 1A OF 9. (PER REF. #3) (PER REF. #9) _(DOT HATCH) MAP ENTITLED "RIGHT OF WAY, PLANS OF PROPOSED FEDERAL AID PROJECT," PREPARED BY KIMBALL CHASE., DATED MARCH 14, 2000, SHEET 7 OF 7. MAP 243 LOT38. UNDERGROUND ELECTRIC MAPPING IN THE AREA PROVIDED BY EVERSOURCE. N/F LANDS OF PORTSMOUTH HOUSING AUTHORITY WAMESIT MAP ENTITLED "AS BUILT PLANS, GENERAL PLAN 02," PREPARED BY MCFARLAND JOHNSON, DATED OCTOBER, PLACE FAMILY HOUSING, LTD. PTR. 2010, LAST REVISION APRIL, 2012. SHEETS 34 & 35 OF 157. BK. 5214, PG. 1201. S06°30'25"W 527.38' – APPROX. LOC. OF 125' WIDE SEYBOLTNOTERS, INC. MAP 244 TO SEYBOLT REALTY CORP. (PER REF. #3) LOT8(CROSS HATCH) N/F LANDS OF BK. 6105, PG. 2013. APPROX. LOC. OF DRAINAGE EASEMENT - APPROX. LOC. OF (PER REF. #9) 20' WIDE SEWER EASEMENT (PER REF. #3) (DOT HATCH) MAP 243 LOT6N/F LANDS OF GREENLEAF WOODS DRIVE, L.L.C. (NO DEED REFERENCE) APPROX. LOC. OF DRAINAGE EASEMENT (PER REF. #9) LIMIT OF TOPOGRAPHIC AREA (SEE SHEET 2 OF 2) MASONRY BUILDING - APPROX. LOC. OF DRAINAGE EASEMENT Y GROUND ELEVETION LIMITS OF ZONE "AE" (ELEV=8.00' (NAVD88)) N08°35'22"E (PER REF. #2) 140.61' N83°36'10"W 2.32' APPROX. LOC. OF DRAINAGE EASEMENT (PER REF. #9) S06°30'25"W S83°29'35"E50.00' S86°30'25"W S06°30'25"W BK. 6105 *MAP 244* LOT3N/F LANDS OF INHABITANTS OF STATE OF NEW HAMPSHIRE. BK. 3532, PG. 1051. LOT6N/F LANDS OF ARANOSIAN OIL. CO. INC. BK. 1750, PG. 113. DRAINAGE EASEMENT (PER REF. #7) (DOT HATCH) **GRAPHIC SCALE**





- 1. PROPERTY KNOWN AS LOT 8 AS SHOWN ON THE CITY OF PORTSMOUTH, ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, MAP NO. 244.
- 2. AREA = 170,361 SQUARE FEET OR 3.911 ACRES.
- 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:

- QUALITY LEVEL D UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
- QUALITY LEVEL C LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING
 - TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
- 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE X- UNSHADED (AREAS OF MINIMAL FLOOD HAZARD) AND PARTIALLY LOCATED IN FLOOD HAZARD ZONE AE (AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; BASE FLOOD ELEVATIONS DETERMINED; ELEV = 8.00'
- 7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD
- 8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS). TEMPORARY BENCH MARKS SET:

TBM-A: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 9.49'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

- 9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- 10. PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.

POINT ASSOCIATES, INC. ON JANUARY 9, 2024.

11. THE WETLAND DELINEATION LINE WAS PLACED IN THE FIELD BY OTHERS AND FIELD LOCATED BY CONTROL

REVISED TO SHOW WETLANDS

DESCRIPTION OF REVISION

SEE SHEET 2 OF 2 FOR TOPOGRAPHY & UTILITIES

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



BOUNDARY & TOPOGRAPHIC & UTILITY SURVE 09-28-202 FIELD BOOK N 750 LAFAYETTE ROAD MAP 244, LOT 8 FIELD BOOK PO CITY OF PORTSMOUTH, ROCKINGHAM COUNTY 134 & 135 STATE OF NEW HAMPSHIRE FIELD CREW S.M.C.

352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX APPROVED:

11-9-2023

R.A.B. REVIEWED: CONTROL POINT ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-580-2645 ASSOCIATES, INC. MANHATTAN, NY 646-780-041 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099 DWG. NO.

03-230460-00

S.C. R.J.K. C.R.M. 1-10-2024

FIELD CREW | DRAWN: | APPROVED: | DATE

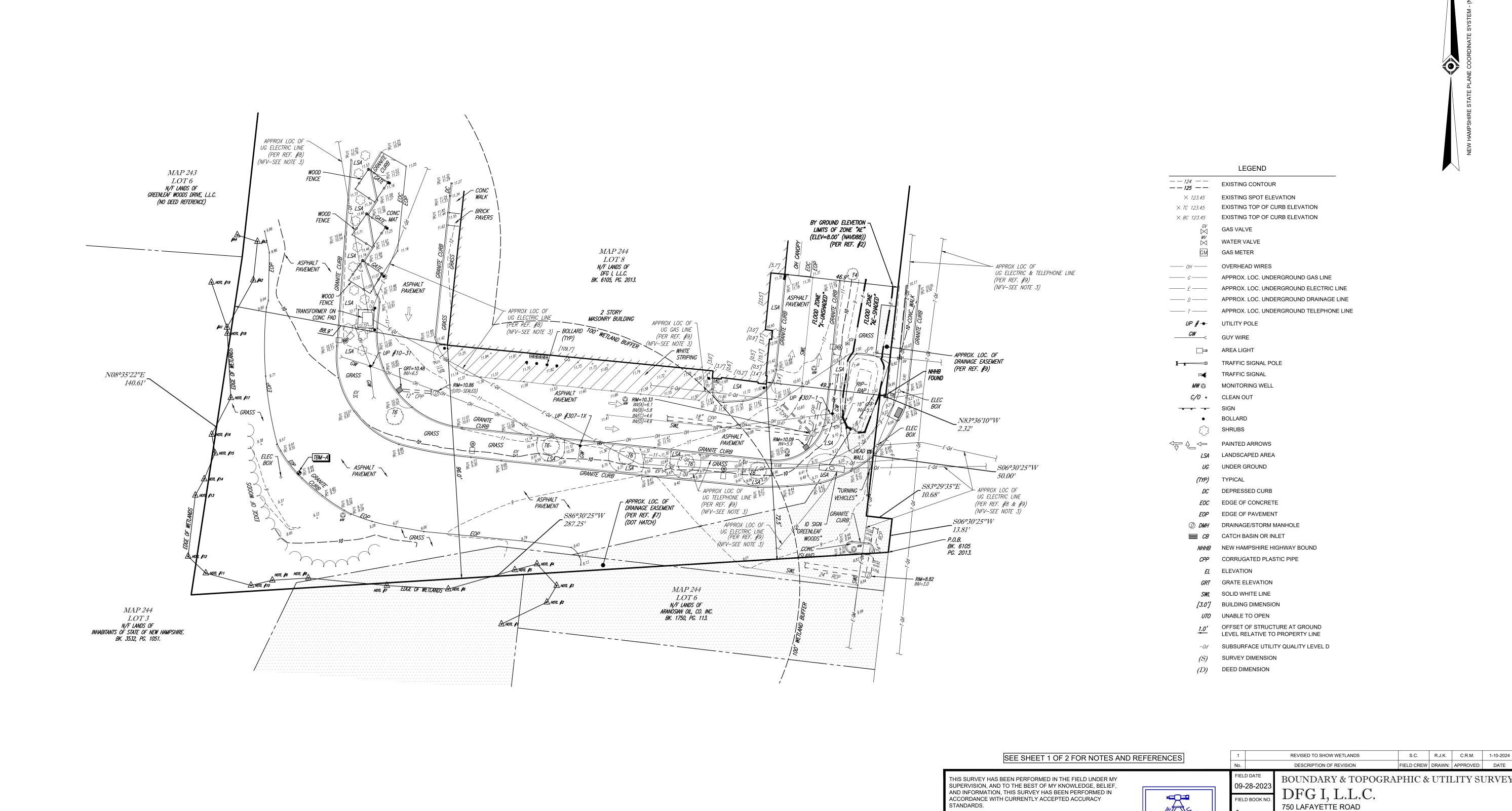
CHRISTOPHER R. MICHAUD, PLS NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #1116

1-10-2024 DATE

THE STATE OF NEW HAMPSHIRE REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

(IN FEET)

1 inch = 40' ft.



MAP 244, LOT 8

APPROVED:

C.R.M.

STATE OF NEW HAMPSHIRE

352 TURNPIKE ROAD

SOUTHBOROUGH, MA 01772

508.948.3000 - 508.948.3003 FAX

11-9-2023 1"=20'

CITY OF PORTSMOUTH, ROCKINGHAM COUNTY

CONTROL POINT

A S S O C I A T E S, I N C. CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-580-2645

MANHATTAN, NY 646-780-0411

MT LAUREL, NJ 609-857-2099

DWG. NO.

03-230460-00 2 OF 2

WARREN, NJ 908-668-0099

FIELD BOOK PG.

134 & 135

FIELD CREW

S.M.C.

R.A.B.

REVIEWED:

1-10-2024

DATE

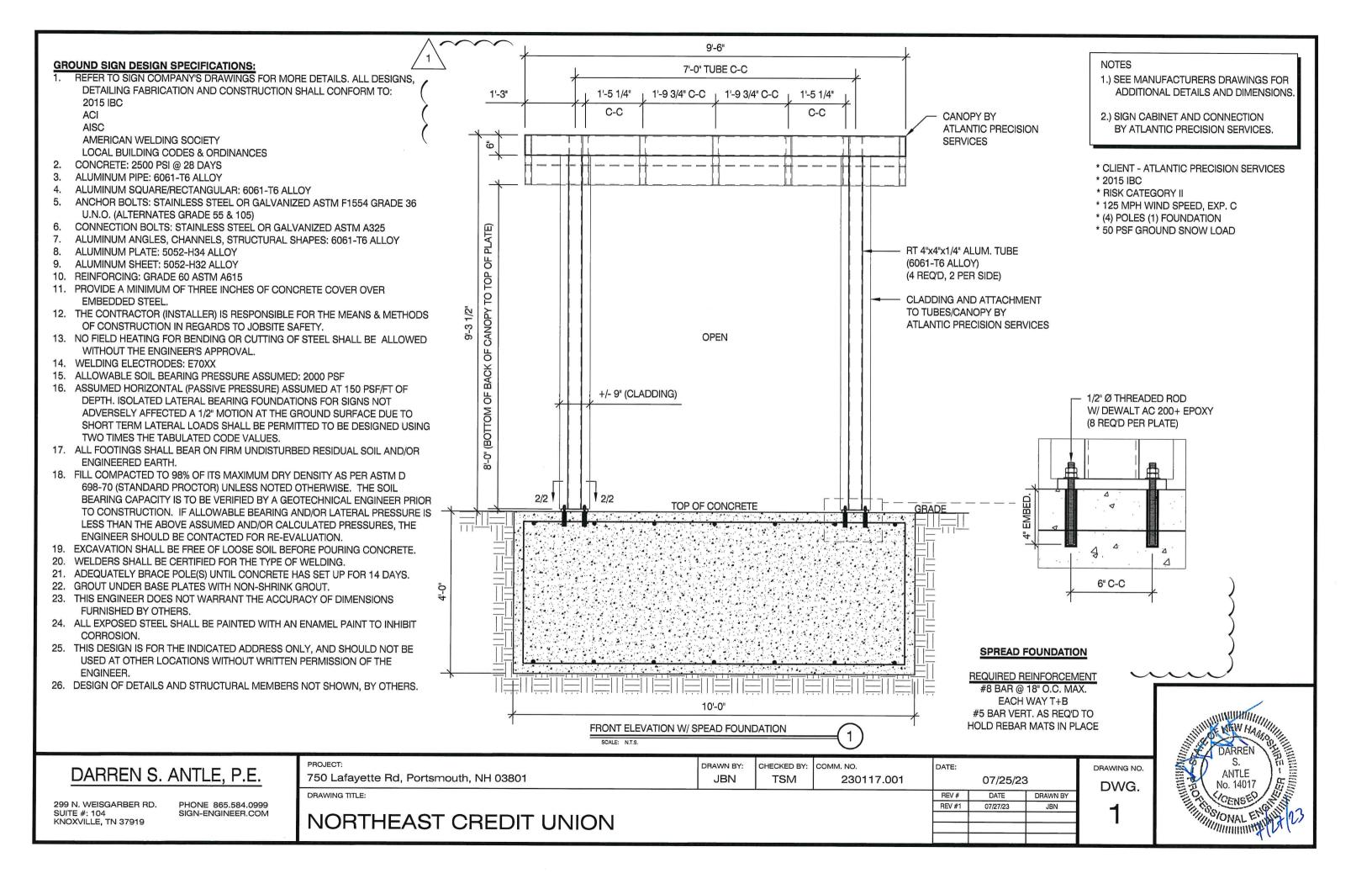
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED

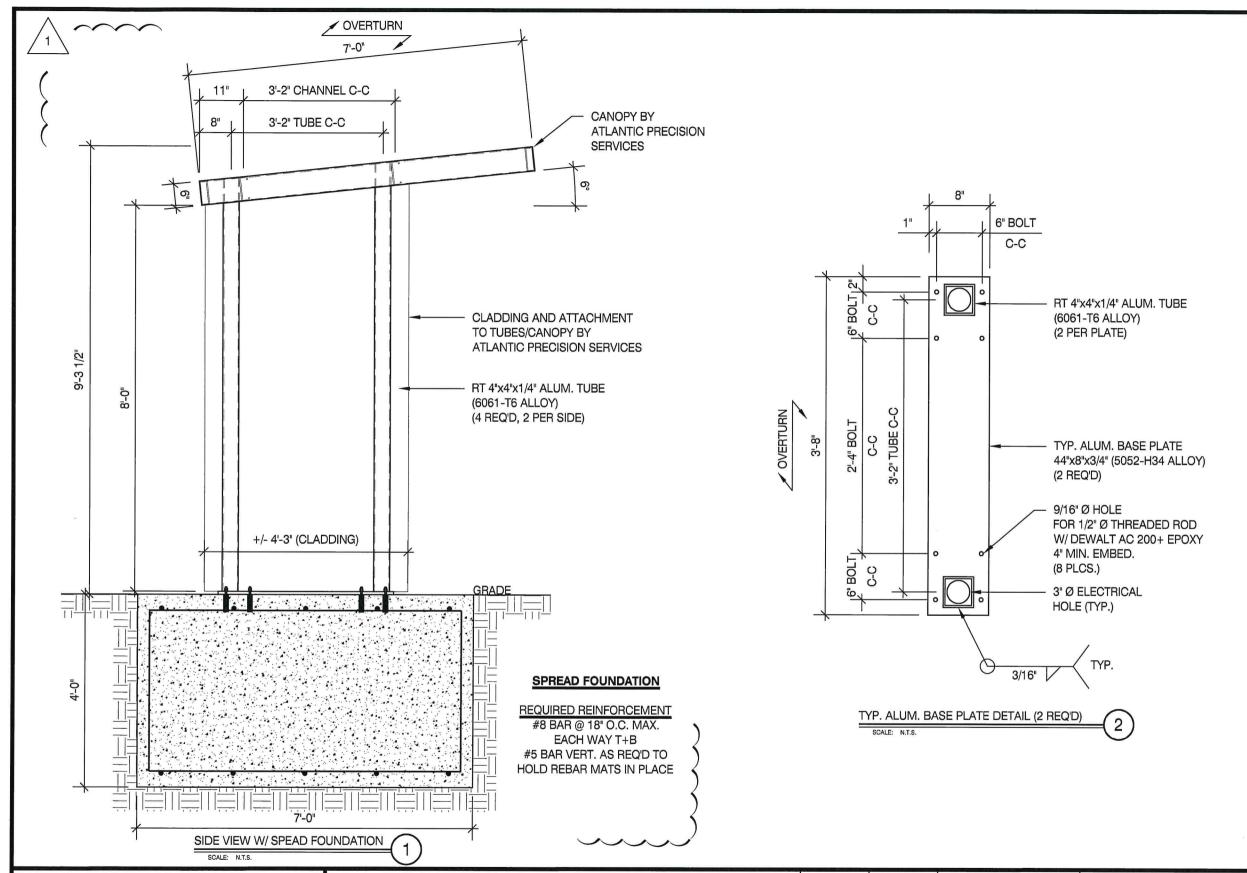
CHRISTOPHER R. MICHAUD, PLS

NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #1116

WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GRAPHIC SCALE (IN FEET) 1 inch = 20' ft.





NOTES

- SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS.
- 2.) SIGN CABINET AND CONNECTION BY ATLANTIC PRECISION SERVICES.
- * CLIENT ATLANTIC PRECISION SERVICES
- * 2015 IBC
- * RISK CATEGORY II
- * 125 MPH WIND SPEED, EXP. C
- * (4) POLES (1) FOUNDATION
- * 50 PSF GROUND SNOW LOAD

DARREN S. ANTLE, P.E.

299 N. WEISGARBER RD. SUITE #: 104 KNOXVILLE, TN 37919 PHONE 865.584.0999 SIGN-ENGINEER.COM ECT:

750 Lafayette Rd, Portsmouth, NH 03801

DRAWING TITL

NORTHEAST CREDIT UNION

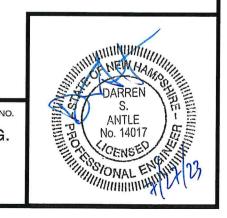
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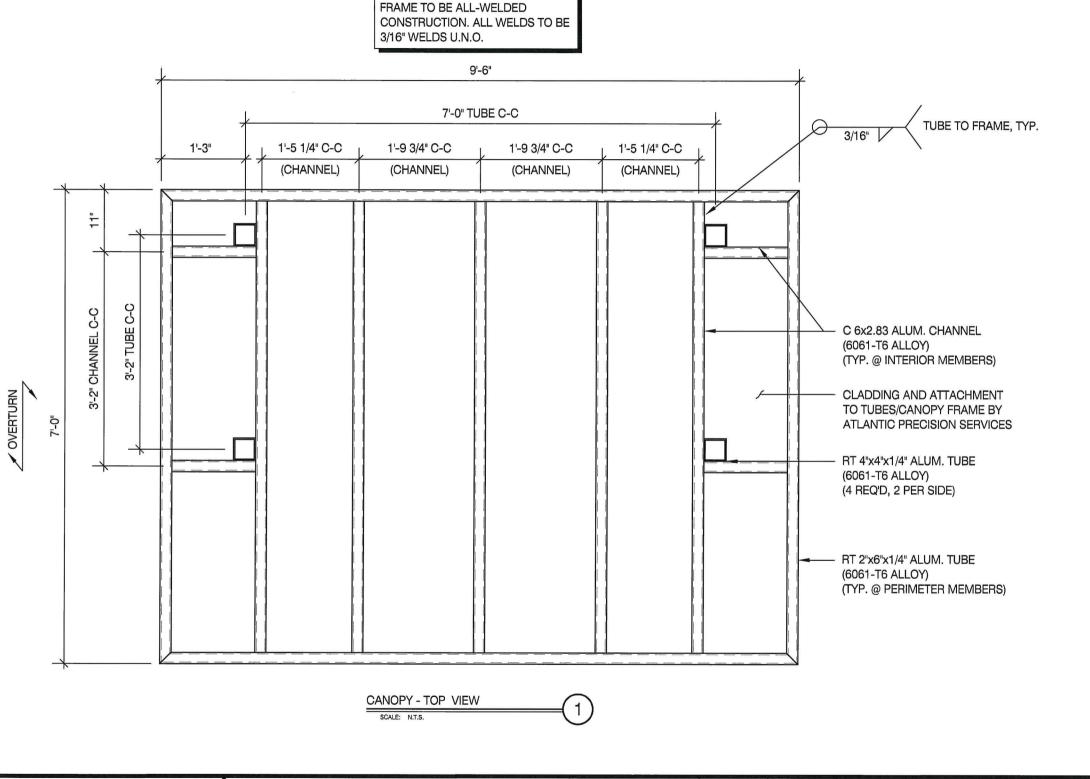
JBN TSM 230117.001

REV # DATE DRAWN BY
REV #1 07/27/23 JBN

DWG.

2

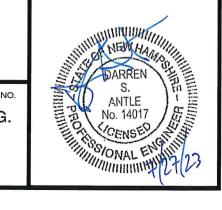




NOTES

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DRAWING NO.



DARREN S. ANTLE, P.E.

299 N. WEISGARBER RD. SUITE #: 104 KNOXVILLE, TN 37919

PHONE 865.584.0999 SIGN-ENGINEER.COM PROJECT:

750 Lafayette Rd, Portsmouth, NH 03801

NORTHEAST CREDIT UNION

NOTE:

JBN

DRAWN BY:

CHECKED BY: COMM. NO. **TSM** 230117.001

DATE:

07/25/23 DATE REV# REV #1 07/27/23

DWG. DRAWN BY

JBN

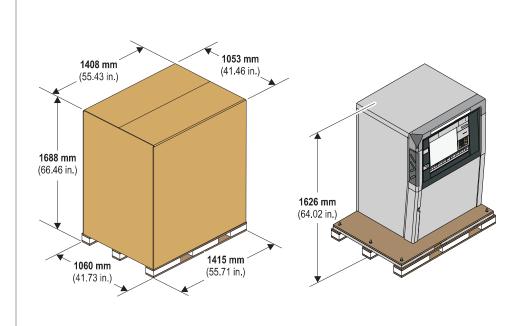


NCR SelfServ[™] 88 ATM Site Preparation

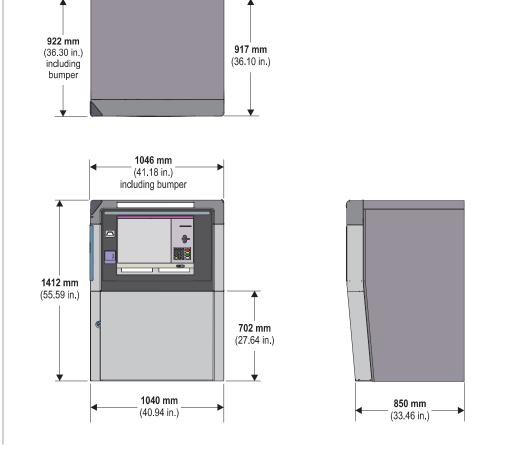


Variant Details

PACKAGE DIMENSIONS



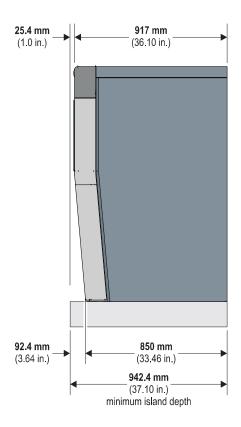
ATM DIMENSIONS



ATM POSITION ON ISLAND

The illustration below shows the dimensions for the minimum island size.

NCR recommends that the base of the ATM be positioned **92.4 mm** (3.64 in.) from the front of the island, so that the front bollards are in line with the facia surround (refer to Island Dimensions and Bollard Locations illustration).

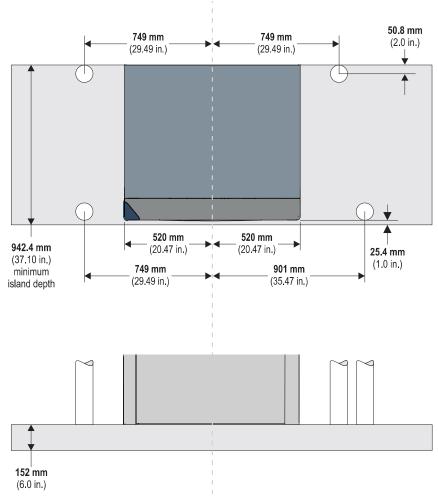


ISLAND DIMENSIONS AND BOLLARD LOCATIONS

The illustration below shows the dimensions for the minimum island size for a drive-up installation.

NCR recommends that the rear bollards are **102 mm** (4.0 in.) in diameter, and positioned in line with the rear of the ATM, front bollards are **102 mm** (4.0 in.) in diameter and positioned **25.4 mm** (1.0 in.) back from the front of the island.

When locating the bollards allow sufficient working space for servicing the air conditioning unit.



Anti-theft Bollards

If anti-theft bollards (also known as anti lassoing bollards) are to be fitted, the bollard exclusion zone around the ATM must be complied with to allow sufficient access for removing panels, refer to the Servicing Areas section.





February 16, 2024

Subject: Wetland Delineation Letter

Greenleaf Woods Drive Portsmouth, NH

Dear Keith Curran,

Per your request, this letter is to verify that Gove Environmental Services, Inc. (GES), performed a site inspection to identify wetlands and other jurisdictional areas adjacent to the subject property located on Tax Map 244 Lot 8 on 750 Lafayette Rd in Portsmouth, NH. Wetlands were evaluated utilizing the following standards:

- 1. US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Technical Report ERDC/EL TR-12-1 (January 2012).
- 2. Field Indicators for Identifying Hydric Soils in New England Version 4, June 2020. New England Hydric Soils Technical Committee.
- 3. US Army Corps of Engineers National Wetland Plant List, 2018.
- 4. Classification of Wetlands and Deepwater Habitats of the United States. USFW Manual FWS/OBS-79/31 (1979).

The delineation requested was performed by Brenden Walden CWS #297 of Gove Environemtnatl Servies, Inc. on December 1st 2023. This inspection was to evaluate wetlands that were identified on the City of Portsmouth's GIS to have potential to encroach on to the identified subject property and have potential impacts relative to local and state permitting for proposed site improvements. During the site investigation an area of tidal wetland was observed on the southern edge of Greenleaf Woods Drive. This tidal marsh area is dominantly composed of emergent grasses with some areas of dense Phragmites with notable ditching observed on the aerials. The HOTL line was delineated as the limit of the wetland which was identified by the notably steep slope transition between the wetland and uplands paired with the evidence of tidal activity and debris in at the boundary. During the delineation a contributing freshwater wetland was identified to the west of the subject property. This contributing area is due to the existing discharge pipe that outlets water to the marsh. Tidal areas were delineated using Blue flagging demarked HOTL1 start to HOTL19 stop, with the freshwater wetland connecting to HOTL18 and demarked using Pink Wetland Delineation Flagging A1 to A4 Stop. During the in-office review of the wetland it was noted that this area is also identified as a NH State Prime Wetland with a Duly Establish 100 ft buffer. No other Jurisdictional areas were observed during the site inspection.

This concludes the wetland delineation report. If I can be of further assistance, please feel free to contact me at (603) 778-0644.

Sincerely,

Brenden Walden Business Manager & Wetland Scientist Gove Environmental Services, Inc.

Enc. Wetland Delineation Sketch

