

Portsmouth City Zoning Board

RE: Proposed veterinary clinic for. 650 Islington street, CH1, Portsmouth NH 03801

Special Exception request: veterinary clinic in the Business CD4-W district. (Article 4: section 10.440, use 7.5)

To the members of the zoning board:

I, Nicole Giusto DVM, am writing as a resident of the town of Portsmouth, Veterinarian and a proprietor of LoveWell Veterinary Services LLC, to seek a special exception to open a small animal veterinary clinic at 650 Islington Street, Unit CH1.

The purpose of this business is to care for the health of our local pet population in an easily accessible and walkable in-town location.

I have discussed the nature of the veterinary clinic with the building owner as well as the condo association and they have no objection to this type of business.

This letter serves to indicate that the space will meet the standards of Article 2, 10.232.20 of the Zoning Administration and enforcement.

With respect to the ordinances:

Special Exception:

10.232.21 Standards as provided by this Ordinance for the particular use permitted by special exemption

The space will be used as a one doctor small animal veterinary clinic. It will serve patients and their owners during regular business hours (8AM-6PM) and will not provide kennel, or overnight hospitalization services. The business will not deal in training, grooming or sale of animals. Veterinary use is listed as a special exception in the CD4-W zone. (Article 4: section 10.440, use 7.5) This business will not have kennel services (as outlined in the ordinance definitions section, 15-22) no exterior additions or changes are planned to the building (supplemental regulation 10.832)

10.232.22 No hazard to the public or adjacent property on account of potential fire, explosion or release of toxic chemicals.

The space will not represent hazard to the public or adjacent properties. No external changes are planned as outlined in submitted plans.

10.232.23 No detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial

districts on account of the location or scale of buildings and other structures, parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other material.

There will be no expected detriment to property values. The business will likely increase property values due to demand for veterinary services in this extremely pet friendly location. None of the above-mentioned negative factors are expected to occur in the proposed capacity.

10.232.24 No creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity.

There will be no substantial increase in traffic as the space will only accommodate 3 in person patient visits at any one time. The practice promotes telemedicine visits and day patients will be dropped off by their owners at the space, limiting parking usage. There is adequate parking to accommodate 3 patient visits at a time. The centrality of this location (Frank Jones Apartments, West End Yards, West End and North End neighborhoods) will allow many clients to walk from their homes, decreasing traffic and parking demands. Thus, this business will promote the Business CD4-W district goal of walkability and mixed use. (Article 4, section 10.410)

In addition, a veterinary business of this size requires 6 parking spaces : 1 space per 500 sf GFA (10.1112 : 7.5). The previous business to occupy this unit, Collins Engineering, required 10 parking spaces based on usage : 1 space per 350 sf GFA (10.1112 : 5.10) There will be a decreased parking demand by the veterinary business.

10.232.25 No excessive demand on municipal services, including but not limited to water, sewer, waste disposal, police, and fire protection and schools

There will be no significant increase in demand on municipal services. This is a small animal wellness clinic- providing general health care and treatment of minor animal illness.

10.232.26 No significant increase of storm water runoff onto adjacent property or streets.

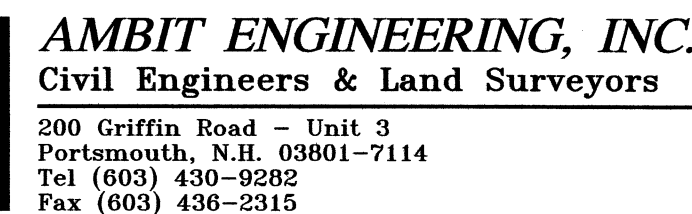
There will be no change in storm drain runoff. There is no planned external or plumbing change that would result in an increase.

Thank you for your consideration in this matter. Please feel free to reach out with any and all questions,

Sincerely,

A handwritten signature in black ink, appearing to read "Nicole Giusto DVM".

Nicole Giusto, DVM



1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER.

1666



- 1) UNIT AREAS ARE CALCULATED FROM OUTSIDE FACE OF WALL TO CENTERLINE OF WALL.
- 2) ALL DIMENSIONS ARE TO THE NEAREST INCH.
- 3) DATUM:
CITY OF PORTSMOUTH SEWER DATUM
(MEAN SEA LEVEL)

I, JOHN R. CHAGNON, PROFESSIONAL ENGINEER,
HEREBY CERTIFY:

- A) THAT THIS FLOOR PLAN ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS SHOWN HEREON, SPECIFICALLY UNITS CH1 & CH2, AND
- B) THAT SAID UNITS CH1 & CH2 HAVE BEEN SUBSTANTIALLY COMPLETED, AND
- C) THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 356-B : 20.

JOHN R. CHAGNON, PE #7651

DATE _____

0	ISSUED FOR COMMENT	12/12/1
NO.	DESCRIPTION	DATE
REVISIONS		

CONDOMINIUM FLOOR PLAN
COOPER HOUSE
UNITS CH1 & CH2
TAX MAP 155, LOT 5
SHULTZE'S BREW YARD
CONDOMINIUM

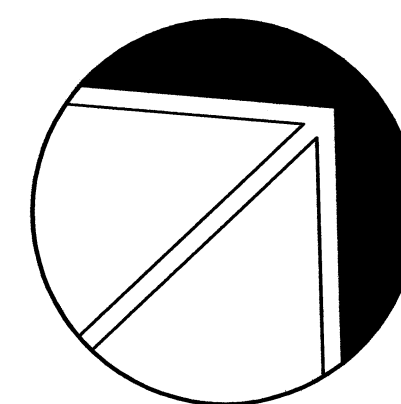
FOR

COOPER MALT, LLC
11, 33, & 55 JEWELL COURT, &
650 ISLINGTON STREET,
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: $3/16" = 1'$ SHEET 1 OF 4 DECEMBER 2011

FB 205 PG 1

1666

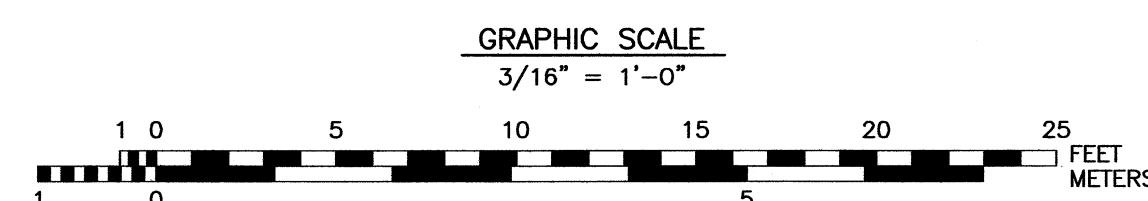


LEGEND:

LCA	LIMITED COMMON AREA
CA	COMMON AREA
CL	CLOSET
S.F.	SQUARE FEET
FF	FINISHED FLOOR
MECH.	MECHANICAL ROOM

UNIT AREAS:

UNIT CH1: 2560 S.F.
UNIT CH2: 2840 S.F.



BLUE = Permit Parking Only

YELLOW = Customer & Permit Parking

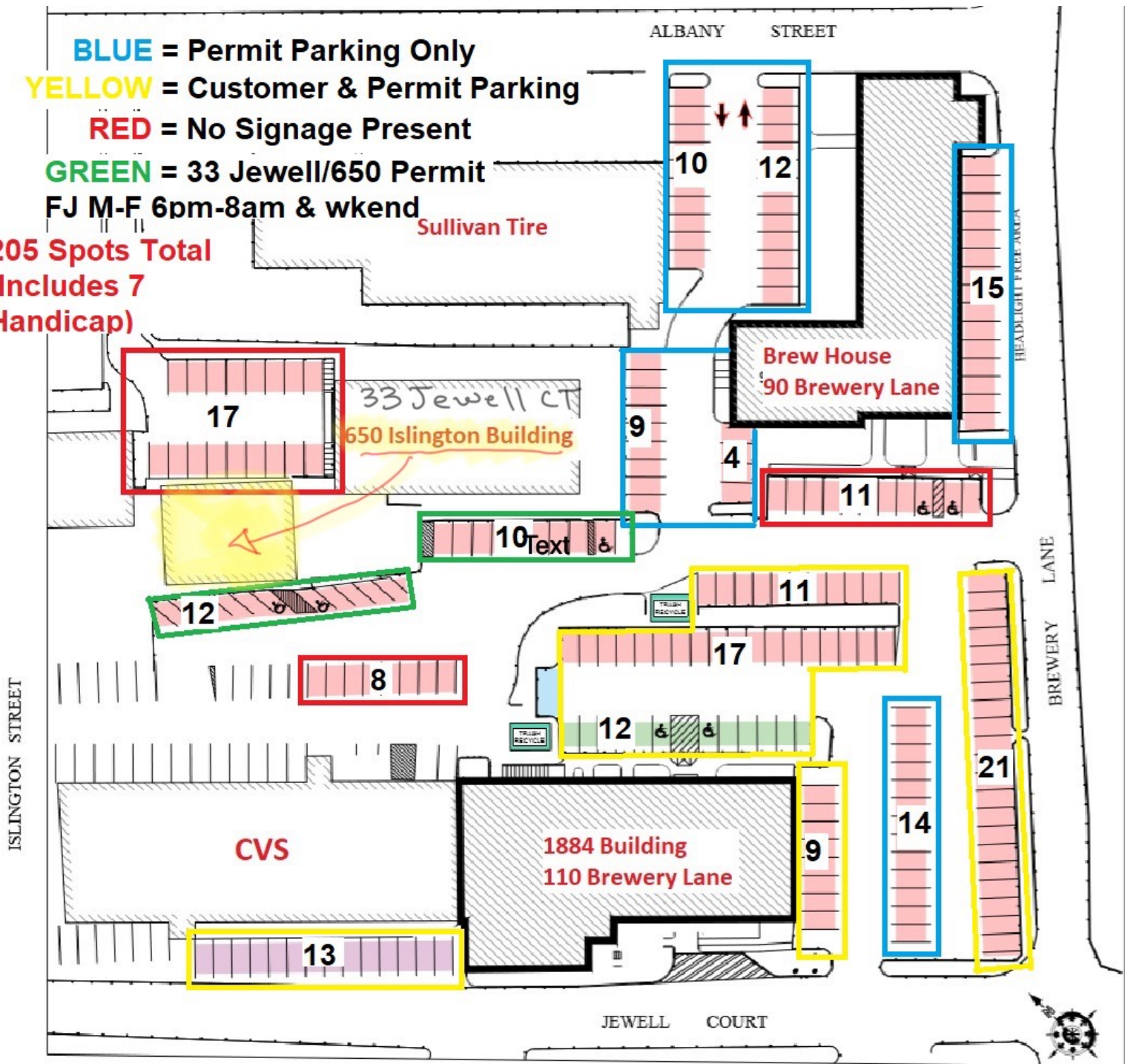
RED = No Signage Present

GREEN = 33 Jewell/650 Permit

FJ M-F 6pm-8am & wkend

Sullivan Tire

205 Spots Total
(Includes 7
Handicap)

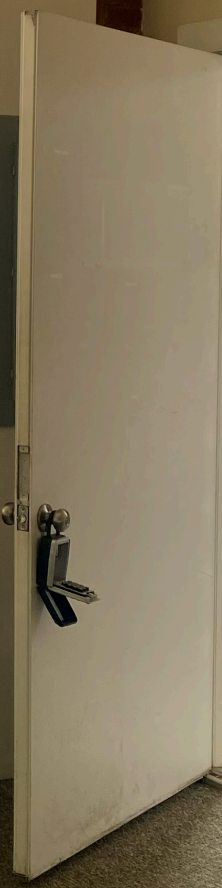




KRE
NOW LEASING
207-934-7622



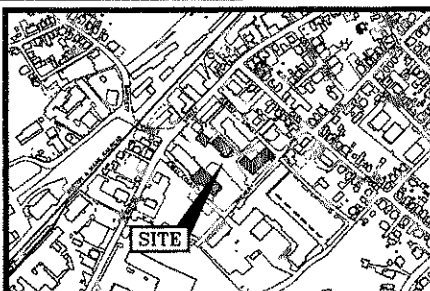
EXIT











LOCATION MAP

SCALE 1"=400'

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
MAP 11/LOT 21	
RR SPK FND	RAILROAD SPIKE FOUND / SET
RR FND	IRON ROD FOUND / SET
RR PND	IRON PIPE FOUND / SET
RR HND	DRILL HOLE FOUND / SET
RR W/OH	BOUND WITH DRILL HOLE
RR BND W/OH	STONE BOUND WITH DRILL HOLE
RR ST BND W/OH	STONE BOUND WITH DRILL HOLE
RETAINING WALL	
CONCRETE PAD	
LANDSCAPED AREA	
LSA	

PLAN REFERENCES:

- 1) ALTA/ANSA LAND TITLE SURVEY FOR SCHUBERT REALTY CO. INC., 674 ISLINGTON STREET, ALBANY STREET, BREWERY LANE & JEWELL COURT, PORTSMOUTH, N.H., SCALE: 1" = 30' DATED OCTOBER 6, 1997 BY MILLETTE, SPRAGUE & COLWELL, INC. RCRD PLAN D-25787.
- 2) BOUNDARY CONSOLIDATION PLAN FOR SCHUBERT REALTY CO. INC., BREWERY LANE, PORTSMOUTH, N.H., SCALE: 1" = 30' DATED MAY 27, 1997 BY RICHARD P. MILLETTE AND ASSOCIATES. RCRD PLAN D-25788.

I, JOHN R. CHAGNON, LICENSED LAND SURVEYOR, HEREBY CERTIFY:

- A) THAT THIS SITE PLAN ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS SHOWN HEREON, SPECIFICALLY UNITS SH1, CH1 & CH2, FH1, AND SH1, AND
- B) THAT SAID UNITS SH1, AND CH1 & CH2 HAVE BEEN SUBSTANTIALLY COMPLETED, AND
- C) THAT SAID UNITS BH1, AND FH1 ARE NOT YET COMPLETED, AND ARE SUBMITTED AS CONVERTIBLE SPACE, AND
- D) THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 356-B : 20.

John R. Chagnon
JOHN R. CHAGNON, LLS #738

1/24/13
DATE



THIS PLAN IS A CONDOMINIUM INSTRUMENT UNDER RSA CHAPTER 356-B AND IS NOT A SUBDIVISION OF LAND.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

John R. Chagnon
JOHN R. CHAGNON, LLS #738

1/24/13
DATE

PROPERTY SUBJECT TO:
1) DEED OF EASEMENT AT 3242/2919
2) DRAINAGE EASEMENT AT 3248/813

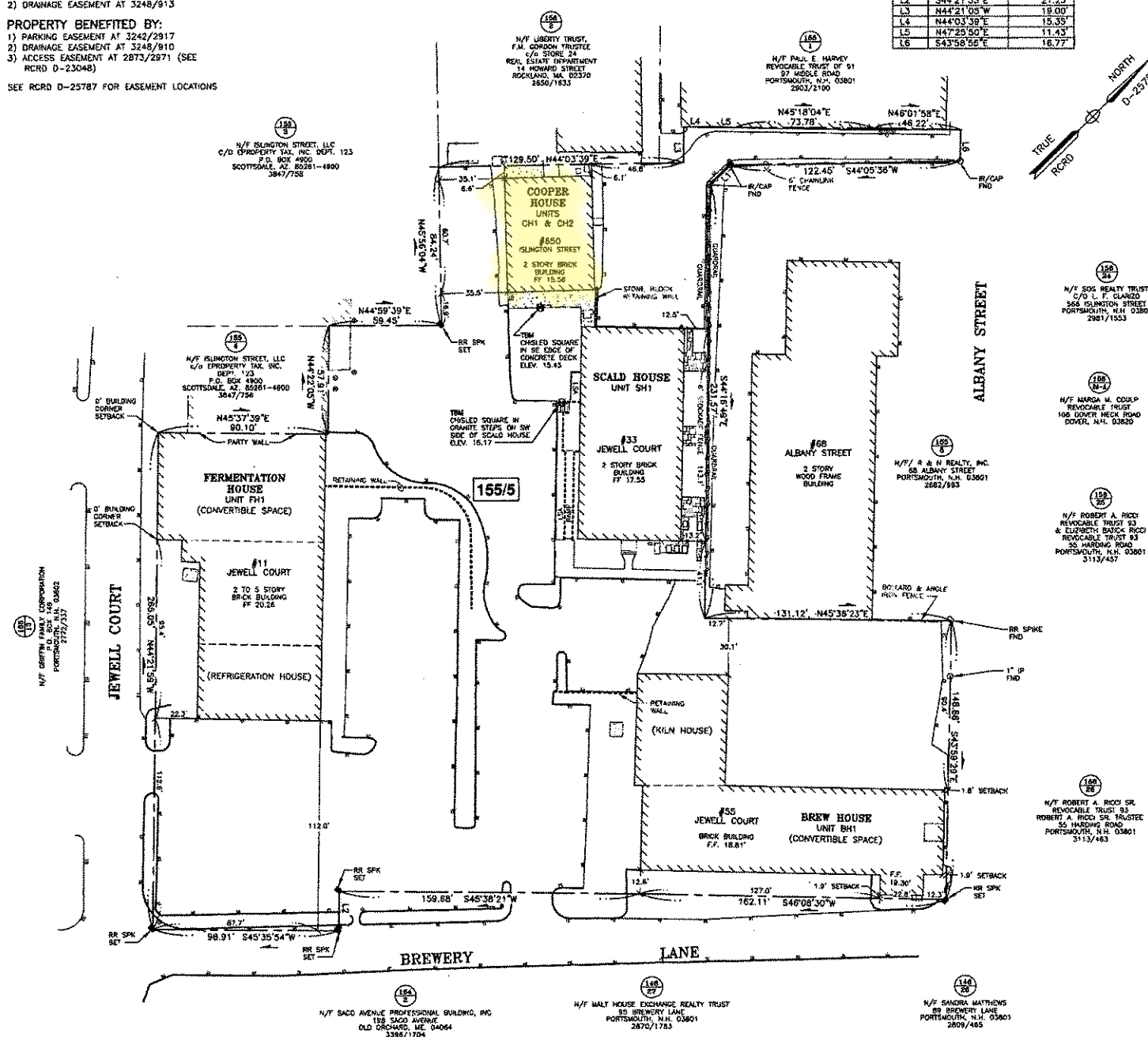
PROPERTY BENEFITED BY:
1) PARKING EASEMENT AT 3242/2917
2) DRAINAGE EASEMENT AT 3248/810
3) ACCESS EASEMENT AT 2873/2871 (SEE RCRD D-23048)

SEE RCRD D-25787 FOR EASEMENT LOCATIONS

ISLINGTON STREET

LENGTH TABLE

L1	S00°01'48"E	14.36'
L2	S44°21'55"E	21.25'
L3	N44°21'05"W	19.00'
L4	N44°03'39"E	15.35'
L5	N47°59'50"E	11.43'
L6	S43°58'55"E	16.77'



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffith Road - Unit 2
Portsmouth, N.H. 03801-7114
Tel: (603) 438-0282
Fax: (603) 438-0215

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 155 AS LOT 5.
- 2) OWNER OF RECORD/DECLARANT:
COOPER MALT, LLC
125 BREWERY LANE
SUITE 7
PORTSMOUTH, N.H. 03801
4509/1170
D-25788
- 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 3301SC0259E, MAY 17, 2005.
- 4) SUBMITTED AREA:
119,112 S.F.
2.7344 ACRES
DECLARATION AT RCRD 5400/1808
- 5) PARCEL IS LOCATED IN THE BUSINESS DISTRICT (B).
- 6) SEE RCRD D-25787 FOR COMPLETE PROPERTY EASEMENT & RESTRICTION INFORMATION.
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW AN AMENDMENT TO THE CONDOMINIUM TO REMOVE UNITS SH2 & SH3.
- 8) DATUM: CITY OF PORTSMOUTH SEWER DATUM (MEAN SEA LEVEL)
- 9) OFFSETS SHOWN HEREON ARE TO BUILDING FACE AND ARE PERPENDICULAR TO BOUNDARY LINES

SEE PREVIOUS SITE
PLAN RECORDED AT
RCRD D-37570

NO.	DESCRIPTION	DATE
1	ISSUED FOR RECORDING	1/24/13
REVISIONS		

**AMENDED
CONDOMINIUM SITE PLAN
TAX MAP 155, LOT 5
SHULTZ'S BREW YARD
CONDOMINIUM**

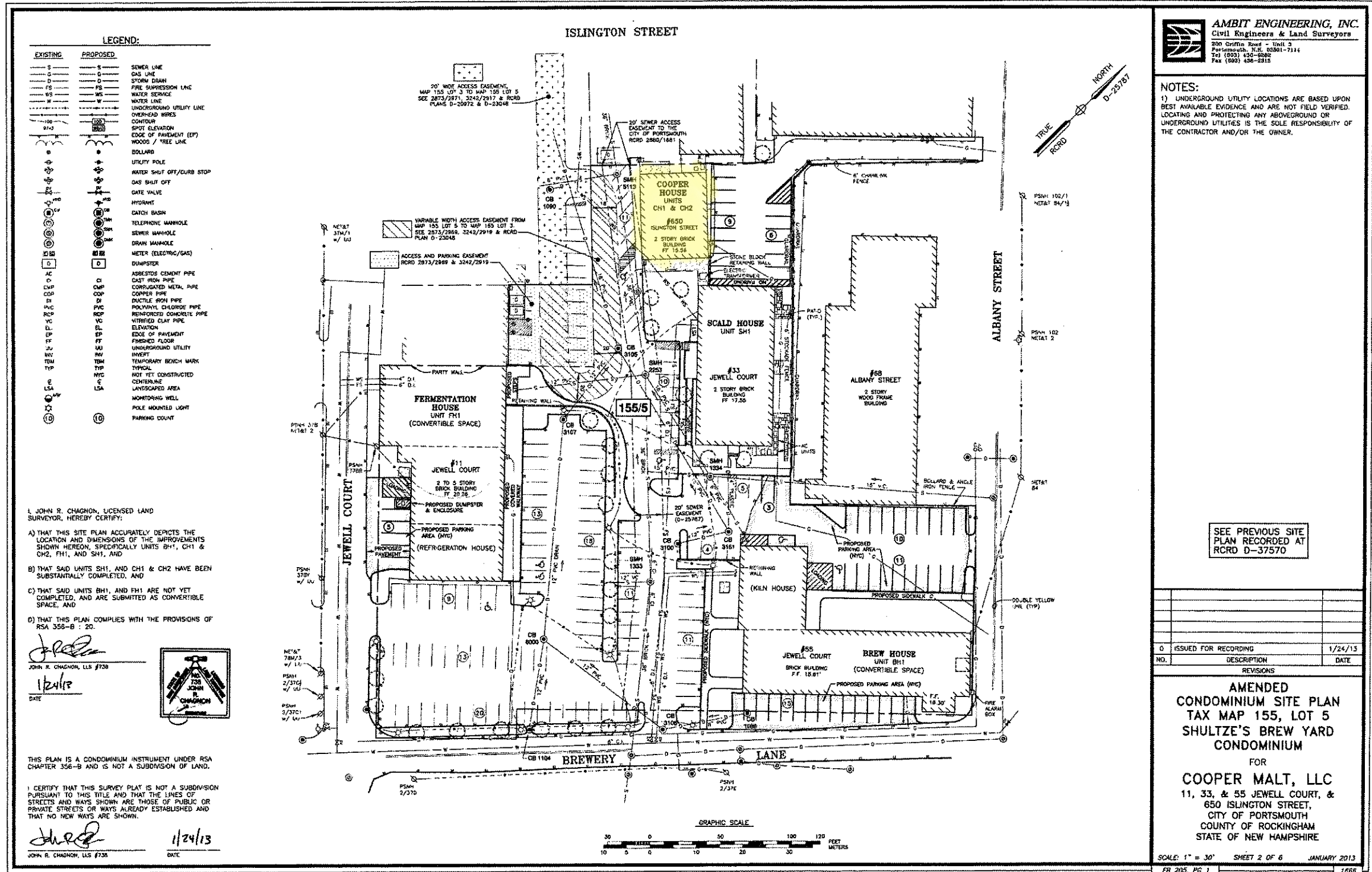
FOR
COOPER MALT, LLC
11, 33, & 55 JEWELL COURT, &
650 ISLINGTON STREET,
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: 1" = 30' SHEET 1 OF 6 JANUARY 2013

FB 205, PG 1

1866

D-37574 sheet 1 of 6



I, JOHN R. CHAGNON, LICENSED LAND SURVEYOR, HEREBY CERTIFY:

A) THAT THIS SITE PLAN ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS SHOWN HEREON, SPECIFICALLY UNITS BH1, CH1 & CH2, FH1, AND SH1, AND

B) THAT SAID UNITS BH1, AND CH1 & CH2 HAVE BEEN SUBSTANTIALLY COMPLETED, AND

C) THAT SAID UNITS BH1, AND FH1 ARE NOT YET COMPLETED, AND ARE SUBMITTED AS CONVERTIBLE SPACE, AND

D) THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 358-B : 20.

[Signature]
JOHN R. CHAGNON, LLS #738

1/24/13
DATE



THIS PLAN IS A CONDOMINIUM INSTRUMENT UNDER RSA CHAPTER 358-B AND IS NOT A SUBDIVISION OF LAND.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

[Signature]
JOHN R. CHAGNON, LLS #738

1/24/13
DATE

D-37574 sheet 2 of 6



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 8
Portsmouth, N.H. 03801-7114
Tel: (603) 450-8308
Fax: (603) 450-2316

NOTES:

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- D) THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 358-B : 20.

JRC
JOHN R. CHAGNON, L.S. #738
1/24/13
DATE



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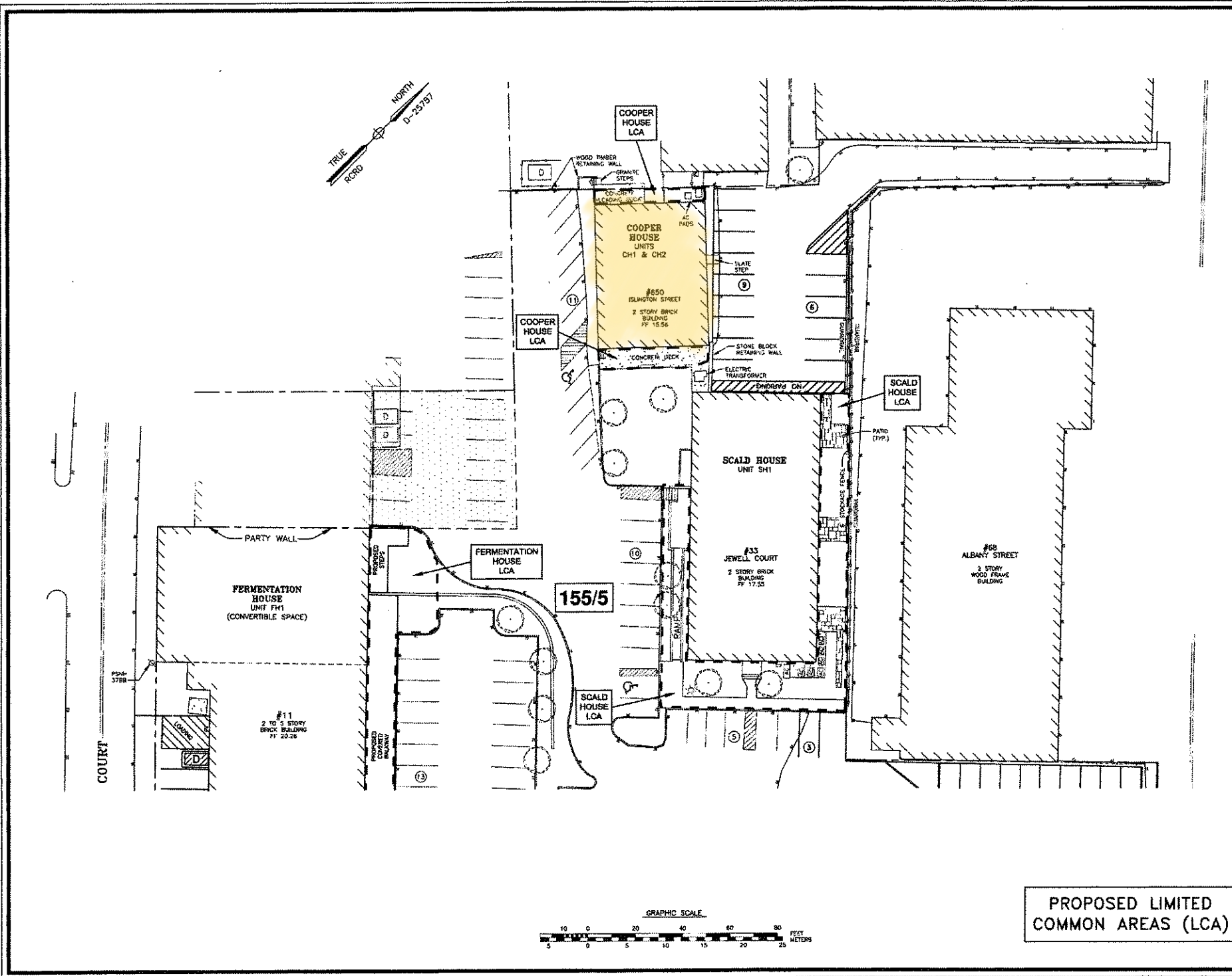
JRC
JOHN R. CHAGNON, L.S. #738
1/24/13
DATE

SEE PREVIOUS SITE
PLAN RECORDED AT
RCRD D-37570

NO.	DESCRIPTION	DATE
0	ISSUED FOR RECORDING	1/24/13
REVISIONS		

**AMENDED
CONDOMINIUM SITE PLAN
TAX MAP 155, LOT 5
SHULTZ'S BREW YARD
CONDOMINIUM**
FOR
COOPER MALT, LLC
11, 33, & 55 JEWELL COURT, &
650 ISLINGTON STREET,
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: 1" = 20' SHEET 3 OF 6 JANUARY 2013
FB 205, PG 1 1666



**PROPOSED LIMITED
COMMON AREAS (LCA)**

D-37574 sheet 3 of 6

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, R.I. 02871-7114
Tel (603) 436-0882
Fax (603) 436-0315

- NOTES:**
- 1) UNIT AREAS ARE CALCULATED FROM OUTSIDE FACE OF WALL TO CENTERLINE OF WALL.
 - 2) ALL DIMENSIONS ARE TO THE NEAREST INCH.
 - 3) DATUM:
CITY OF PORTSMOUTH SEWER DATUM
(MEAN SEA LEVEL)



I, JOHN R. CHAGNON, PROFESSIONAL ENGINEER,
HEREBY CERTIFY:
A) THAT THIS FLOOR PLAN ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS SHOWN HEREON, SPECIFICALLY UNIT SH1, AND
B) THAT SAID UNIT SH1 HAS BEEN SUBSTANTIALLY COMPLETED, AND
C) THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 358-B : 20.

[Signature] 1/24/13
JOHN R. CHAGNON, PE #7651 DATE

SEE PREVIOUS FLOOR
PLAN RECORDED AT
RCRD D-37571

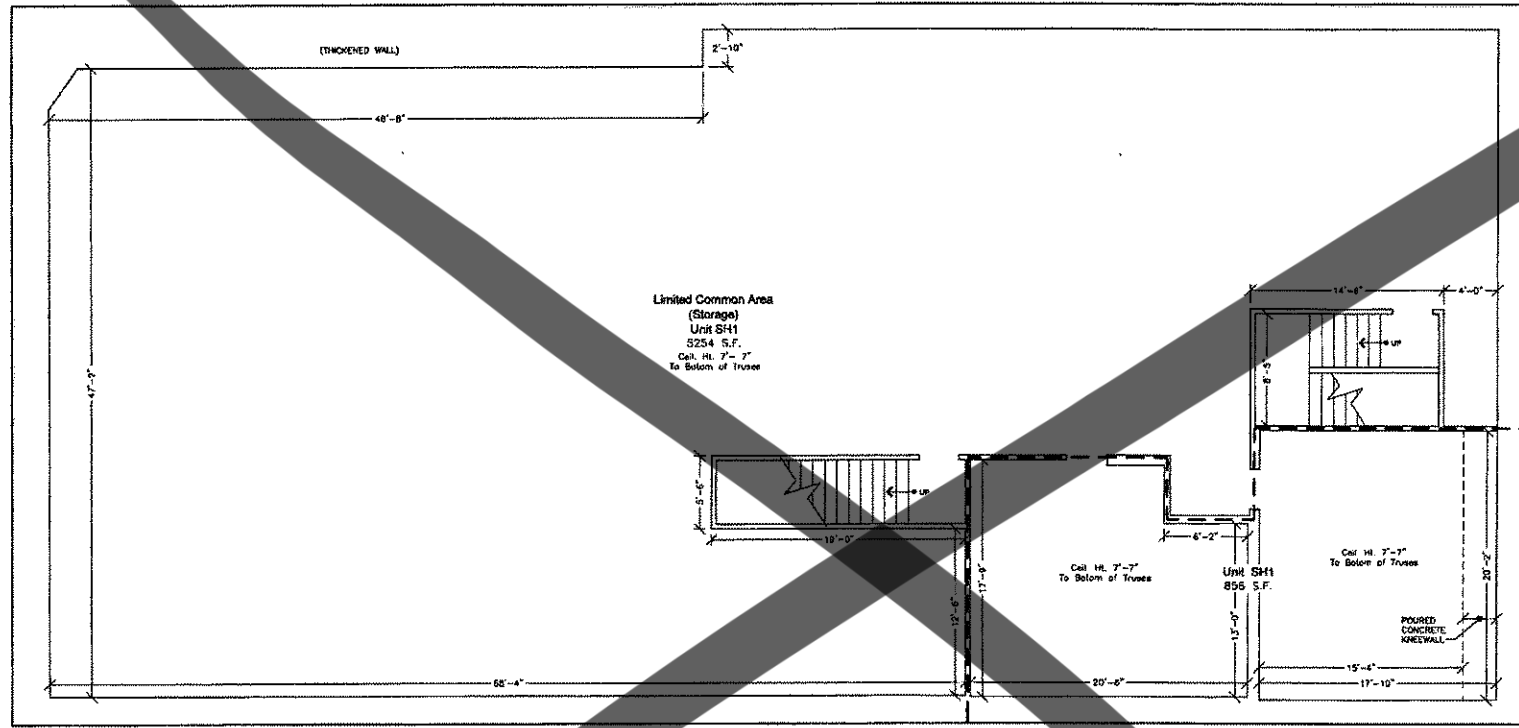
0	ISSUED FOR RECORDING	1/24/13
NO.	DESCRIPTION	DATE
	REVISIONS	

**AMENDED
CONDOMINIUM FLOOR PLAN
SCALD HOUSE
UNIT SH1
TAX MAP 155, LOT 5
SHULTZE'S BREW YARD
CONDOMINIUM**

FOR
COOPER MALT, LLC
11, 33, & 55 JEWELL COURT, &
650 ISLINGTON STREET,
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

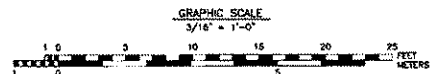
SCALE: 3/16" = 1' SHEET 4 OF 6 JANUARY 2013
FB 205 PG 1 1666

(ISLINGTON STREET)



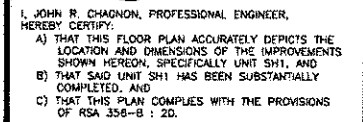
BASEMENT
FF ELEVATION 8.85

- LEGEND:**
- LCA LIMITED COMMON AREA
 - CA COMMON AREA
 - CL CLOSET
 - S.F. SQUARE FEET
 - FF FINISHED FLOOR





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- 3) DATUM:
CITY OF PORTSMOUTH SEWER DATUM
(MEAN SEA LEVEL)



1/24/13

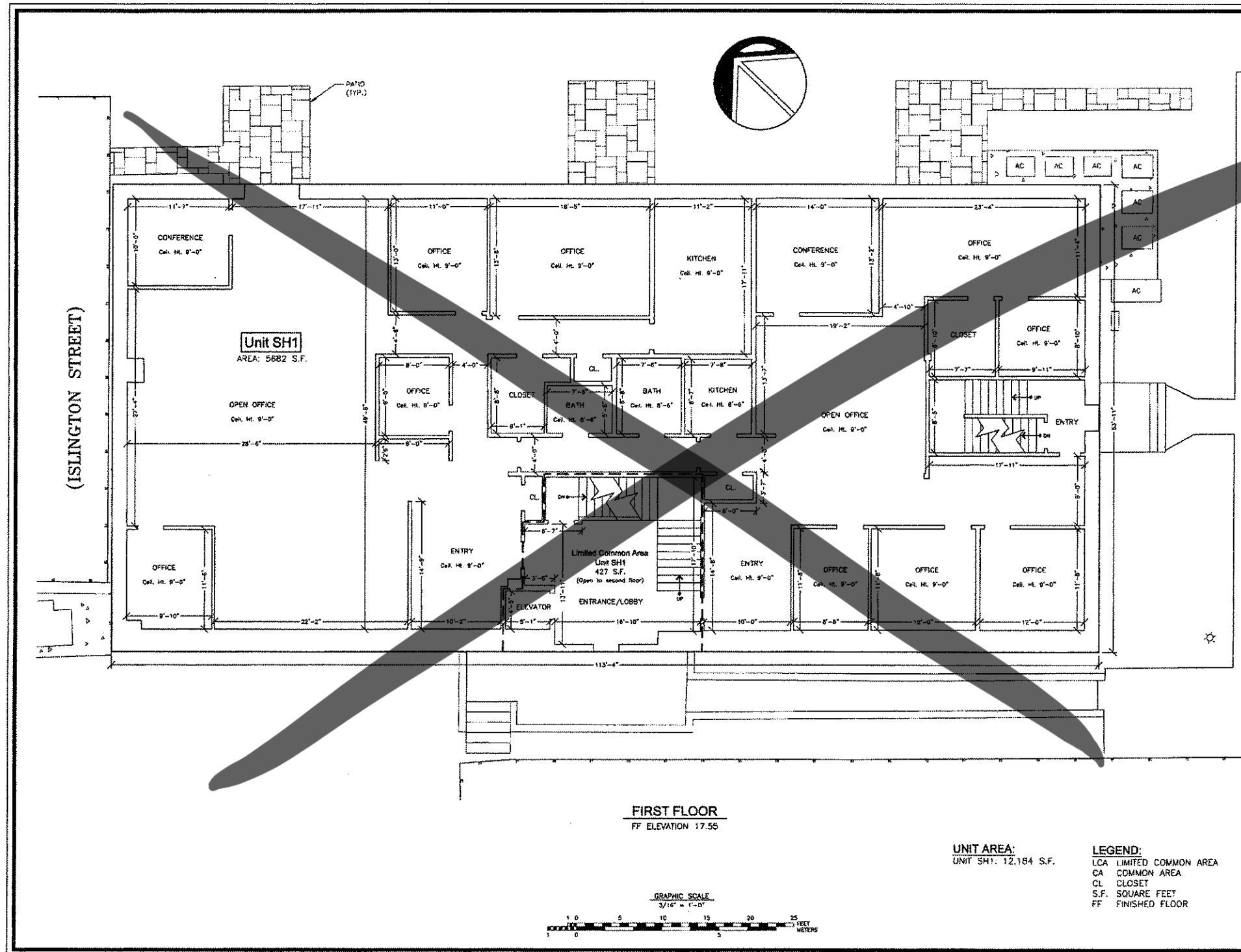
SEE PREVIOUS FLOOR
PLAN RECORDED AT
RCRD D-37571

0	ISSUED FOR RECORDING	1/24/13
NO.	DESCRIPTION	DATE
REVISIONS		

AMENDED
CONDOMINIUM FLOOR PLAN
SCALD HOUSE
UNIT SH1
TAX MAP 155, LOT 5
SHULTZE'S BREW YARD
CONDOMINIUM
FOR
COOPER MALT, LLC
11, 33, & 55 JEWELL COURT, &
650 ISLINGTON STREET,
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: 3/16" = 1' SHEET 5 OF 6 JANUARY 2013

FB 205 PG 1	1666
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D-37574 sheet 5 of 6



NOTES:

-

A) THAT THIS FLOOR PLAN ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE IMPROVEMENTS SHOWN HEREON, SPECIFICALLY UNIT SH1, AND

B) THAT SAID UNIT SH1 HAS BEEN SUBSTANTIALLY COMPLETED, AND

C) THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 356-B : 20.

1/24/13
DATE

0	ISSUED FOR RECORDING	1/24/13
NO.	DESCRIPTION	DATE

FOR
COOPER MALT, LLC
11, 33, & 55 JEWELL COURT, &
650 ISLINGTON STREET,
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

GRAPHIC SCALE
3/16" = 1'-0"

A horizontal graphic scale bar. The top scale is in feet, with major markings at 0, 5, 10, 15, 20, and 25. The bottom scale is in meters, with major markings at 0, 5, 10, 15, 20, and 25. The bar is divided into alternating black and white segments for each unit.

D-37574 sheet 6 of 6