

BY: VIEWPOINT & HAND DELIVERY

October 23, 2024

City of Portsmouth
Attn: Sefanie Casella, Planner
Zoning Board of Adjustment
1 Junkins Avenue
Portsmouth, NH 03801

**RE: Variance Application of Stephen and Kathryn Singlar
43 Holmes Court, Tax Map 101, Lot 14**

Dear Stefanie,

Our Office represents Stephen and Kathryn Singlar, owners of the property located at 43 Holmes Court. The following materials have been submitted for consideration at the Zoning Board of Adjustment's November 2024 meeting:

- 1) Variance Application (through Viewpoint);
- 2) Landowner Letter of Authorization;
- 3) Narrative to Variance Application;
- 4) Plans (Existing Conditions, Proposed Conditions, NH DES Wetlands, and Floor Plans/Elevations);
- 5) Photographs of the Property.

A copy of the application submission is being delivered to the Planning Department. Should you have any questions or concerns regarding the enclosed application materials, do not hesitate to contact me at your convenience.

Sincerely,



Derek R. Durbin, Esq.

LANDOWNER LETTER OF AUTHORIZATION

Stephen and Kathryn Singlar, record owners of property located at 43 Holmes Court, Portsmouth, NH 03801, Tax Map 101, Lot 14 (the "Property"), hereby authorizes **Durbin Law Offices, PLLC, Altus Engineering, Inc. and Brendan McNamara, and their agents and representatives** to file any building, zoning, planning or other municipal permit applications with the City of Portsmouth for said Property and to appear before its land use boards. This Letter of Authorization shall be valid until expressly revoked in writing.



Stephen Singlar

November 14, 2022



Kathryn Singlar

November 14, 2022

**CITY OF PORTSMOUTH
ZONING APPLICATION NARRATIVE**

Stephen Singlar and Kathryn Singlar
(Owners/Applicants)
Tax Map 101, Lot 14
43 Holmes Court
Portsmouth, NH 03801

INTRODUCTION

The Zoning Board of Adjustment previously reviewed and approved, on two separate occasions, the variances necessary to construct a new single-family home on the property located at 43 Holmes Court (the “Property”). In addition, the Historic District Commission has issued a Certificate of Approval for the Applicants’ house plans. Earlier in the year, the Conservation Commission recommended that the NH DES approve the Wetlands Dredge and Fill Permit (Wetlands Permit”) for the Property, and in April the NH DES approved it. Despite this, and the rigorous review and scrutiny the Applicants’ redevelopment plans have undergone, it was recently determined by the Inspections Department that a variance was needed from Section 10.628.20 of the Ordinance. Accordingly, the Applicants are submitting this variance request pursuant to that determination.

SUMMARY OF ZONING RELIEF

The Applicants seek a variance from Section 10.628.20 of the Ordinance to allow an unfinished basement to be constructed at a flood elevation of 5.75’ where 10’ is required and 5.75’ exists.

STANDARD VARIANCE CRITERIA

Granting the variances will not be contrary to the spirit and intent of the Zoning Ordinance or the public interest.

In the case of *Chester Rod & Gun Club, Inc. v. Town of Chester*, the Court noted that since the provisions of all ordinances represent a declaration of public interest, any variance will, in some measure, be contrary to the ordinance, but to be contrary to the public interest or injurious to public rights of others, "the variance must 'unduly, and in a marked degree' conflict with the ordinance such that it violates the ordinance's 'basic zoning objectives.'" *Id.* The Court observed that “[t]here are two methods of ascertaining whether granting a variance would violate an ordinance’s basic zoning objectives: (1) examining whether granting the variance would alter the essential character of the neighborhood or, in the alternative; and (2) examining whether granting the variance would threaten the public health, safety, or welfare.” *152 N.H. 577 (2005)*.

The primary purpose of Section 10.628.20 is to protect newly constructed buildings from flood damage and the inherent risks associated with it, including life safety risks. The Ordinance imposes a requirement that is 2' above what FEMA requires for the AE Zone, which has a base flood elevation requirement of 8'. It can be fairly assumed that the additional 2' is an additional protective measure that may be intended to account for a potential sea level rise.

The Ordinance does not account for the Property being significantly re-graded as part of the proposed redevelopment. The proposed re-grading of the Property was approved as part of the issuance of the Wetlands Dredge and Fill Permit ("Wetlands Permit") that was issued for the Property by the NH DES in April 2024. The re-grading of the Property will substantially minimize the risk of basement flooding and may ultimately result in the house being removed from the AE Flood Zone altogether. The Applicants intend to submit for a Letter of Map Amendment ("LOMA") from FEMA post-construction to remove the home from the AE Flood Zone, but there is no guarantee or certainty that FEMA will approve it, hence the need for the variance.

In addition to the re-grading of the Property, the basement will be unfinished and will not contain any electrical or mechanical components. The basement has been engineered to handle the load of the home against climate change and other major weather events and will be constructed with state-of-the-art water resistant materials.

It is important to point out that the existing basement is at elevation 5.75' and contains an electrical panel, wires and mechanical equipment, including a furnace, washer and dryer. The existing basement is structurally unsound and is comprised primarily of stone and is porous. The proposed basement would be at the same elevation as the existing basement but will be slightly further from the water and will not include any electricals or mechanicals. It would be purely used for the storage of personal belongings. Therefore, even without a re-grading of the Property, the flood risks that the Ordinance is designed to protect against will be addressed. They can also be reinforced through a condition of approval....*that so long it is determined by the City that Section 10.628.20 of the Ordinance applies to the Property, the basement shall not contain any electrical or mechanical equipment other than a sump pump or its equivalent.*

The Applicants are improving the conditions of the Property and bringing it into greater overall compliance with the Ordinance. They are also reducing impervious surface coverage from 40.9% to 24% and will be implementing a stormwater management plan to mitigate stormwater runoff.

For the foregoing reasons, granting the requested variance will not result in any threat to public health, safety or welfare nor would it alter the essential character of the neighborhood.

B. Substantial Justice will be done in granting the variance relief sought.

To determine whether substantial justice is done, the Board must balance the equities between the rights of a private landowner and the public interest in deciding whether to grant or deny a variance request. The “only guiding rule is that any loss to the individual that is not outweighed by a gain to the general public is an injustice.” New Hampshire Office of State Planning, *The Board of Adjustment in New Hampshire, A Handbook for Local Officials* (1997); [*Malachy Glen Assocs., Inc. v. Town of Chichester*, 155 N.H. 102 \(2007\)](#).

The Property is significantly constrained and burdened by local, state and federal regulations that apply to it. The plans for the Property do not provide for much storage space, as the Applicant has made a conscious effort to minimize the size, height and overall impact of the home. Allowing an unfinished basement on the Property will provide the Applicants with some much needed storage space. Denying the variance would not result in any gain to the public, as the Property is being re-graded to minimize any risk of flooding, and the proposed basement will be constructed of modern materials designed to prevent water intrusion. Moreover, the basement will remain unfinished and not contain any electrical or mechanical equipment. The loss to the Applicants of denying the variance outweighs any perceived gain that would be realized by the public.

C. Surrounding property values will not be diminished by granting the variance.

The Board has already determined on two prior occasions that the Applicants’ redevelopment plans will not negatively impact surrounding property values. It follows that allowing a basement below the first floor of the proposed house, which will be at elevation 13’, will not have any impact on surrounding property that may not have been previously contemplated by the Board.

D. Denying the variance would constitute an unnecessary hardship.

The Property has a myriad of special conditions that distinguish it from surrounding properties, all of which have been discussed and considered ad nauseum by the Board in the past two (2) years. The Property is so heavily burdened by local, state and federal regulations that it is an essentially unbuildable lot if it were not for the fact that there is an existing home on it. The existing basement is at flood elevation 5.75’. Because the Property is in the AE Flood Zone, the Ordinance requires that even the basement be located 2’ above the base flood elevation (8’) despite the fact it will remain unfinished and will only be used as storage space and will not contain any electrical or mechanical equipment. The Ordinance does not account for the fact that the Property will be substantially re-graded and that the proposed will be setback from the water further than the existing basement and will be constructed of materials designed to prevent water intrusion. The Applicants have addressed the risks that the Ordinance is intending to protect against.

As a result of the special conditions of the Property, there is no fair and substantial relationship between the general purposes of the restriction set forth in Section 10.628.20 of the Ordinance and its application to the proposed basement.

ADDITIONAL CRITERIA
Section 10.629

In addition to the variance criteria above, the Applicant must satisfy the standards set forth in Section 10.629 of the Ordinance, as more specifically addressed below:

- (a) **That the variance will not result in increased flood heights, additional threats to public safety, or extraordinary public expense;**

The Property is bordered by the Piscataqua River as opposed to wetlands where there could be a threat of water displacement. Water will not be displaced by placing the proposed basement at the same elevation as the existing basement. The Property will be re-graded as part of the Applicants' redevelopment plans. In addition, the proposed basement will be slightly further from the water and will be designed and constructed of materials that are intended to prevent water intrusion. The proposed basement will be unfinished and used for storage only and will not contain any mechanical or electrical equipment. For the foregoing reasons, the variance will not result in any increased flood heights, additional threats to public safety, or extraordinary public expense.

- (b) **That if the requested variance is for activity within a designated regulatory floodway, no increase in flood levels during the base flood discharge will result; and**

As indicated herein, there is an existing basement on the Property at the same elevation as the proposed basement. Notwithstanding The requested variance does not involve any activity within a designated floodway. Therefore, criteria (b) is not applicable.

- (c) **That the variance is the minimum necessary considering the flood hazard, to afford relief.**

There is a lessened risk of flooding at the basement level of the home due to the re-grading of the Property and the design and materials being used to construct the basement, as more specifically discussed above. This condition of the Property is ultimately being improved from what exists

CONCLUSION

In conclusion, the Applicants have demonstrated that their application meets the five (5) criteria for granting the variance and respectfully request the Board's approval.

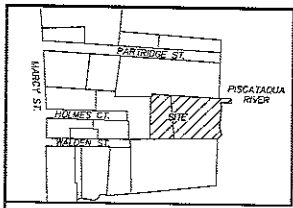
Respectfully Submitted,

Stephen and Katheryn Singlar

Dated: October 23, 2024
(revised October, 30, 2024)



By: Derek R. Durbin, Esq.
DURBIN LAW OFFICES PLLC
144 Washington Street
Portsmouth, NH 03801
(603)-287-4764
derek@durbinlawoffices.com



LOCUS
(N.T.S.)



REFERENCE PLANS:

1. PLAN OF LOT NO. 24 HOLMES COURT, PORTSMOUTH, NH, JUNE 1947, JOHN W. DURON FILE NO. 2611.
2. PLAN OF LOT, PORTSMOUTH, NH, NO. 39 HOLMES COURT, AUGUST 1975, JOHN W. DURON FILE NO. 2396, PLAN NO. 3273.
3. PLAN OF LOT, PORTSMOUTH, NH, FOR SAMUEL PENDELTON, JR., AUGUST 1975, JOHN W. DURON FILE NO. 2386, PLAN NO. 4383.
4. PLAN OF LAND FOR JOHN H. & JUDITH A. MILLER, 33 HOLMES COURT, PORTSMOUTH, NH, DATED MARCH 12, 1984, RECORDED AS RCRD PLAN #D-12396.

PURSUANT TO RSA 676:18, III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

James Verra 8-15-2022
JAMES VERRA DATE



NOTES:

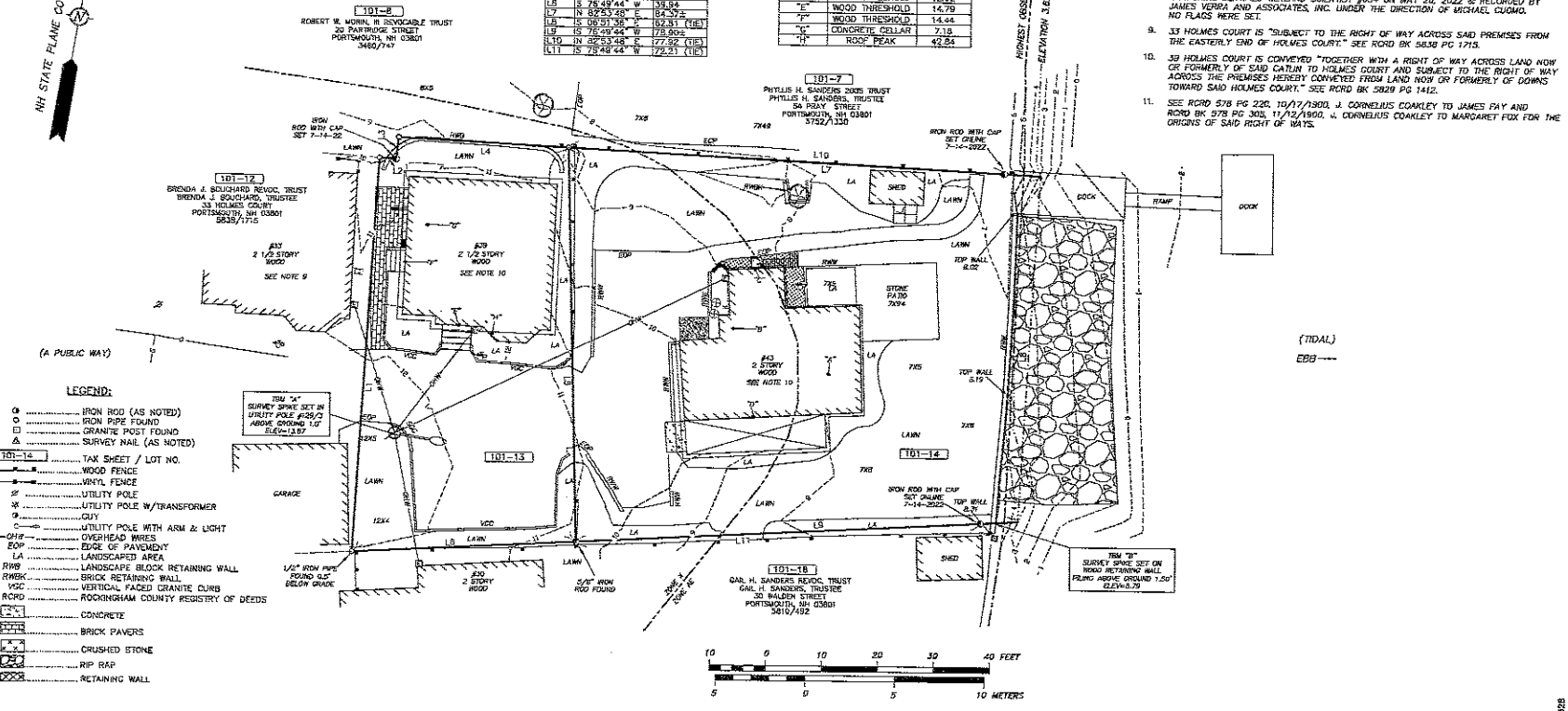
1. OWNER OF RECORD.....39 HOLMES COURT, LLC.
ADDRESS.....30 WALDEN STREET, PORTSMOUTH, NH 03801
DEED REFERENCE.....5809/1412
TAX SHEET / LOT.....101-13
PARCEL AREA.....2,672 S.F.
OWNER OF RECORD.....43 HOLMES COURT, LLC.
ADDRESS.....30 WALDEN STREET, PORTSMOUTH, NH 03801
DEED REFERENCE.....5829/1407
TAX SHEET / LOT.....101-14
PARCEL AREA.....3,308 S.F. (TO ELEV. 3.52)
2. ZONE:.....WATERFRONT BUSINESS FRONT YARD SETBACK.....10'
MINIMUM LOT AREA.....20,000 S.F. SIDE YARD SETBACK.....10'
FRONTAGE.....100' REAR YARD SETBACK.....10'
3. THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-800-DIG-SAFE.
5. HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION, REFERENCE FRAME NAD83 (2011 EPOCH: 2010.0000), US SURVEY FOOT.
VERTICAL DATUM: NAVD 1988, PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ROBE".
6. CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.
7. THE PARCELS SHOWN HEREON LIES WITHIN ZONE AE (ELEVATION B) & ZONE X (AREA OF ANIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 3301C0278F, EFFECTIVE DATE 1/25/2022, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
8. THE HIGHEST OBSERVABLE TIDE LINE WAS DELINEATED BY MICHAEL CUOMO, NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST FROM MAY 28, 2022 & RECORDED BY JAMES VERRA AND ASSOCIATES, INC. UNDER THE DIRECTION OF MICHAEL CUOMO. NO FLUDES WERE SET.
9. 33 HOLMES COURT IS SUBJECT TO THE RIGHT OF WAY ACROSS SAID PREMISES FROM THE EASTERLY END OF HOLMES COURT. SEE RCRD BK 5829 PG 1715.
10. 39 HOLMES COURT IS CONVEYED TOGETHER WITH A RIGHT OF WAY ACCESS LAND NOW OR FORMERLY OF SAID CATLIN TO HOLMES COURT AND SUBJECT TO THE RIGHT OF WAY ACROSS THE PREMISES HEREBY CONVEYED FROM LAND NOW OR FORMERLY OF DOWNS TOWARD SAID HOLMES COURT. SEE RCRD BK 5829 PG 1412.
11. SEE RCRD 578 PG 230, 10/12/1900, J. CORNELIUS COAKLEY TO JAMES PAY AND RCRD BK 578 PG 308, 11/22/1900, J. CORNELIUS COAKLEY TO MARGARET FOX FOR THE ORIGINS OF SAID RIGHT OF WAYS.

BOUNDARY LINE TABLE

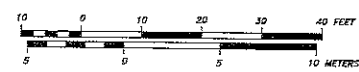
LINE	BENCHMARK	DISTANCE
L1	N 08°31'30" W	17.43
L2	N 23°21'11" E	13.02
L3	N 04°18'52" W	12.95
L4	N 08°45'48" E	100.7
L5	S 17°39'57" E	21.57
L6	S 78°49'44" W	33.54
L7	N 82°52'28" E	14.37
L8	S 09°31'38" E	02.31 (FIB)
L9	S 78°49'44" W	178.808
L10	N 08°31'30" E	177.976 (FIB)
L11	S 78°49'44" W	22.21 (LIE)

BUILDING ELEVATION TABLE

LOCATION	DESCRIPTION	ELEVATION
"A"	ROOF PEAK	30.55
"B"	WOOD THRESHOLD	12.02
"C"	WOOD THRESHOLD	8.35
"D"	WOOD THRESHOLD	12.02
"E"	WOOD THRESHOLD	14.79
"F"	WOOD THRESHOLD	14.44
"G"	CONCRETE CELLAR	7.18
"H"	ROOF PEAK	42.84



- LEGEND:**
- IRON ROD (AS NOTED)
 - IRON PIPE FOUND
 - △ GRANITE POST FOUND
 - ▲ SURVEY NAIL (AS NOTED)
 - 101-15 TAX SHEET / LOT NO.
 - WOOD FENCE
 - VINYL FENCE
 - UTILITY POLE
 - UTILITY POLE W/ TRANSFORMER
 - CITY
 - UTILITY POLE WITH ARM & LIGHT
 - OVERHEAD WIRES
 - EDGE OF PAVEMENT
 - LANDSCAPED AREA
 - LANDSCAPE BLOCK RETAINING WALL
 - BRICK RETAINING WALL
 - ROYAL CLIP ROAD CURB BELOW GRADE
 - VERTICAL FACED GRANITE CURB
 - ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - CONCRETE
 - BRICK PAVERS
 - CRUSHED STONE
 - RIP RAP
 - RETAINING WALL



James Verra and Associates, Inc.
LAND SURVEYORS
101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801 - 7876
603-430-3557
JOB NO: 23999

ALTUS ENGINEERING, INC.
133 COURT STREET PORTSMOUTH, NH 03801
(603) 438-2288 www.ALTUS-1949.com

ISSUED FOR: **ENGINEERING DESIGN**

ISSUE DATE: **8-15-2022**

REVISIONS NO. DESCRIPTION BY DATE

DRAWN BY: **CTD**

APPROVED BY: **JV**

DRAWING FILE: **23999.DWG**

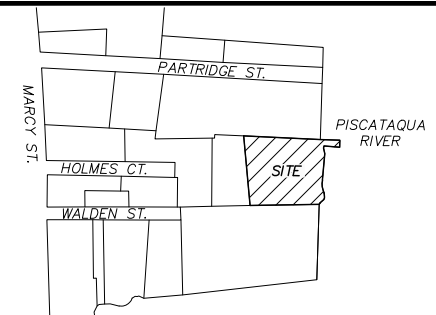
SCALE: **22" x 34" - 1" = 10'**
11" x 17" - 1" = 5'

OWNER: **30 HOLMES COURT, LLC. & 43 HOLMES COURT, LLC. 30 WALDEN STREET PORTSMOUTH, NH 03801 ASSESSOR'S PARCELS MAP 101 - LOTS 13 & 14**

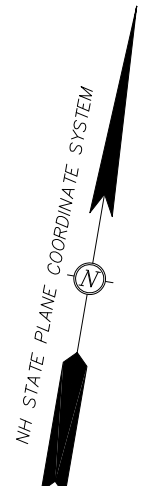
PROJECT: **PROPOSED SITE DEVELOPMENT PLANS HOLMES COURT #39 & #43 PORTSMOUTH, NH ASSESSOR'S PARCELS MAP 101-LOTS 13 & 14**

TITLE: **EXISTING CONDITIONS PLAN**

SHEET NUMBER: **1 OF 1**



LOCUS
(N.T.S.)



ZONING SUMMARY

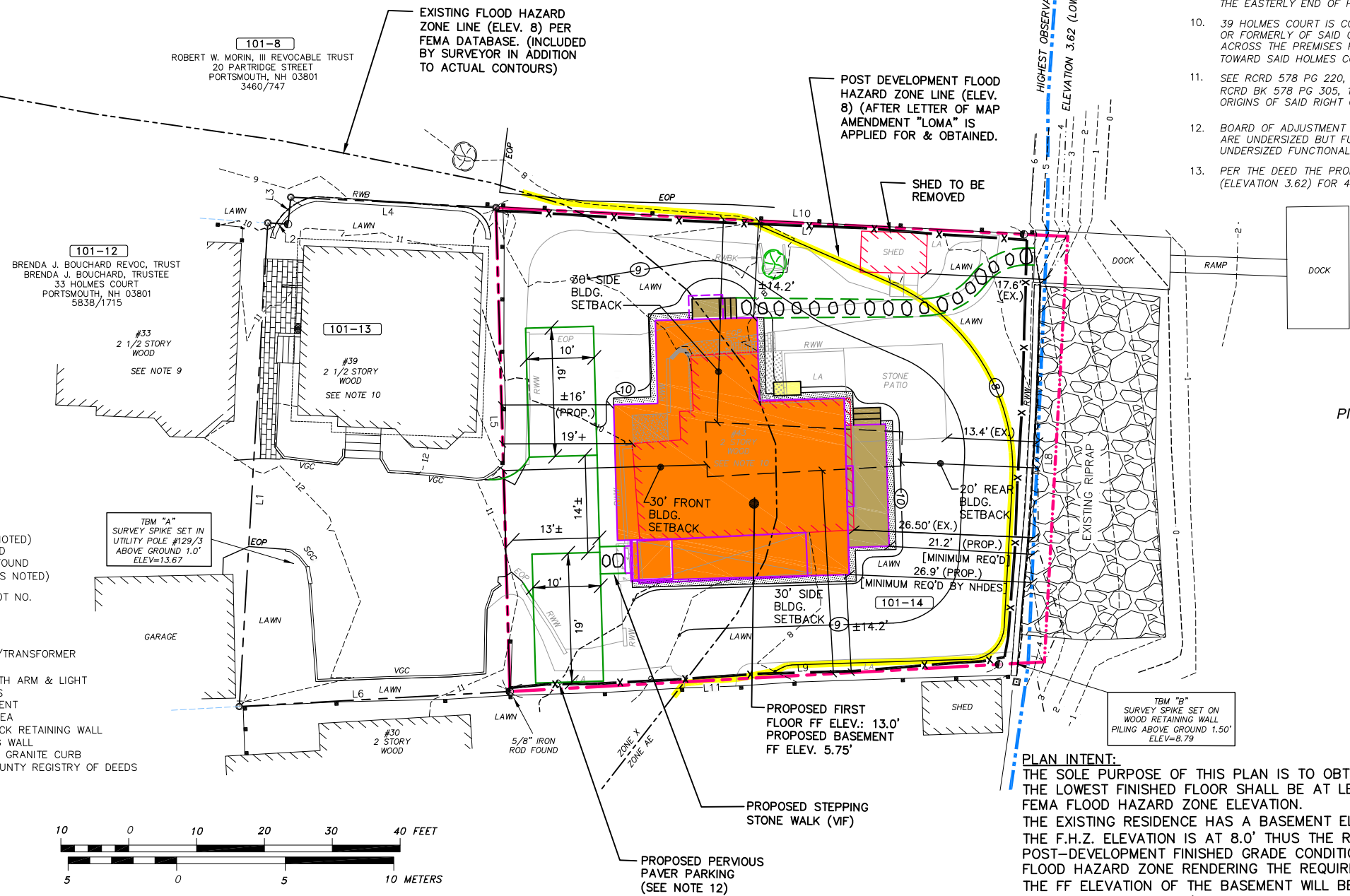
ZONE: WATERFRONT BUSINESS (WB) – SINGLE FAMILY RESIDENCE – EXISTING, TO BE REPLACED WITH SINGLE FAMILY RESIDENCE **
EXISTING LOT AREA: 5,353 S.F.± (0.12 AC.±)

DIMENSIONAL REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	20,000 S.F.	±5,353 S.F.	±5,353 S.F. **
MIN. STREET FRONTAGE:	100'	0' (EX.) (HOLMES)	±0' (EXISTING) (NON-CONFORMING) **
DEPTH:	100'	±75'	±75' **
FRONT SETBACK:	30'	19'+ (EX.)	±16' (PROPOSED) *
SIDE SETBACK:	30'	±14.2' (EX.)	±14.2' (PROPOSED) **
REAR SETBACK:	20'	±26'+ (EX.)	±26'+ (PROPOSED RESIDENCE)/20'+ (PR. DECK) **
MAX. HEIGHT:	35'	<25' (EX.)	<25' (PROP. RESIDENCE)
MAX. BUILDING COVERAGE:	30%	±16.7% (EX.)(±895 SF)	±21.7% (±1,160 S.F.)
MIN. OPEN SPACE:	20%	±59.1% (±3,164 SF)	±64.1% (±3,434 SF)

* ZONING RELIEF REQUIRED
** ZONING RELIEF PREVIOUSLY GRANTED

NOTES:

- OWNER OF RECORD.....STEPHEN A. SINGLAR and KATHRYN L. SINGLAR
ADDRESS.....21 ELLIOT STREET, EXETER, NH 03833
DEED REFERENCE.....6393/1443
TAX SHEET / LOT.....101-14
PARCEL AREA.....5,353 S.F.±(TO ELEV. 3.62)
- ZONED:.....WATERFRONT BUSINESS FRONT YARD SETBACK.....30'
MINIMUM LOT AREA.....20,000 S.F. SIDE YARD SETBACK.....30'
FRONTAGE.....100' REAR YARD SETBACK.....20'
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
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VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ROBE".
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- 33 HOLMES COURT IS "SUBJECT TO THE RIGHT OF WAY ACROSS SAID PREMISES FROM THE EASTERLY END OF HOLMES COURT." SEE RCRD BK 5838 PG 1715.
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- SEE RCRD 578 PG 220, 10/17/1900, J. CORNELIUS COAKLEY TO JAMES FAY AND RCRD BK 578 PG 305, 11/12/1900, J. CORNELIUS COAKLEY TO MARGARET FOX FOR THE ORIGINS OF SAID RIGHT OF WAYS.
- BOARD OF ADJUSTMENT NOTE: THE TWO EXISTING PARKING SPACES ON THE PARCEL ARE UNDERSIZED BUT FUNCTIONAL SPACES. THEY ARE BEING REPLACED WITH ONE UNDERSIZED FUNCTIONAL SPACE AND ONE STANDARD SIZE PARKING SPACE.
- PER THE DEED THE PROPERTY BOUNDARY LINE EXTENDS TO THE LOW WATER MARK (ELEVATION 3.62) FOR 43 HOLMES COURT.

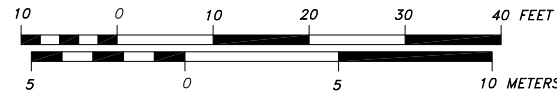


PISCATAQUA RIVER
(TIDAL)
EBB →

- PLAN REFERENCES:**
- "EXISTING CONDITIONS PLAN" DATED 8/15/22, BY JAMES VERRA AND ASSOCIATES, INC.
 - PORTSMOUTH G.I.S. (MAPGEO) DATA BASE.
 - SITE OBSERVATIONS BY ALTUS ENGINEERING, INC. OCTOBER 2022.

PLAN INTENT:
THE SOLE PURPOSE OF THIS PLAN IS TO OBTAIN ZONING RELIEF FROM THE RULE REQUIRING THE LOWEST FINISHED FLOOR SHALL BE AT LEAST 2- FEET HIGHER THAN ESTABLISHED BY FEMA FLOOD HAZARD ZONE ELEVATION.
THE EXISTING RESIDENCE HAS A BASEMENT ELEVATION OF 5.75'.
THE F.H.Z. ELEVATION IS AT 8.0' THUS THE REQUIREMENT WOULD BE 10', HOWEVER, IN THE POST-DEVELOPMENT FINISHED GRADE CONDITION THE RESIDENCE WILL NOT BE LOCATED IN THE FLOOD HAZARD ZONE RENDERING THE REQUIREMENT MOOT.
THE FF ELEVATION OF THE BASEMENT WILL BE AT 5.75' AND THE FF ELEVATION OF THE FIRST FLOOR WILL BE AT 13.0', AN IMPROVEMENT FROM THE EXISTING 12.09' ELEVATION.

- LEGEND:**
- IRON ROD (AS NOTED)
 - IRON PIPE FOUND
 - GRANITE POST FOUND
 - △ SURVEY NAIL (AS NOTED)
 - 101-14 TAX SHEET / LOT NO.
 - WOOD FENCE
 - VINYL FENCE
 - UTILITY POLE
 - ⊗ UTILITY POLE W/TRANSFORMER
 - GUY
 - UTILITY POLE WITH ARM & LIGHT
 - OHW..... OVERHEAD WIRES
 - EOP..... EDGE OF PAVEMENT
 - LA..... LANDSCAPED AREA
 - RWB..... LANDSCAPE BLOCK RETAINING WALL
 - RWBK..... BRICK RETAINING WALL
 - VGC..... VERTICAL FACED GRANITE CURB
 - RCRD..... ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - CONCRETE
 - BRICK PAVERS
 - CRUSHED STONE
 - RIP RAP
 - RETAINING WALL



ENGINEER:

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

ISSUED FOR:
BOARD OF ADJUSTMENT

ISSUE DATE:
OCTOBER 23, 2024

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	10/25/22
1	ADJUST LOCATION OF PROP. BLDG BASED ON NHDES WETLANDS REQUIREMENTS	EBS	04/25/24
2	ADD FG/ELEVS. INFO.	EBS	10/23/24

DRAWN BY: _____ RLH
APPROVED BY: _____ EBS
DRAWING FILE: 5328-BOA-FOR-BASEMENT

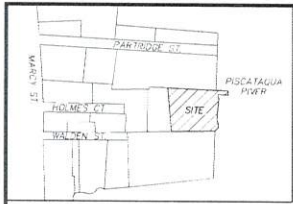
SCALE:
22" x 34" - 1" = 10'
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OWNER/APPLICANT:
STEPHEN A. & KATHRYN L. SINGLAR
21 ELLIOT STREET
EXETER, NH 03833

PROJECT:
PROPOSED SITE DEVELOPMENT PLANS
#43 HOLMES COURT
PORTSMOUTH, NH
ASSESSOR'S PARCEL MAP 101-LOT 14

TITLE:
BOARD OF ADJUSTMENT SITE PLAN

SHEET NUMBER:
1 OF 1



LOCUS
(N.T.S.)



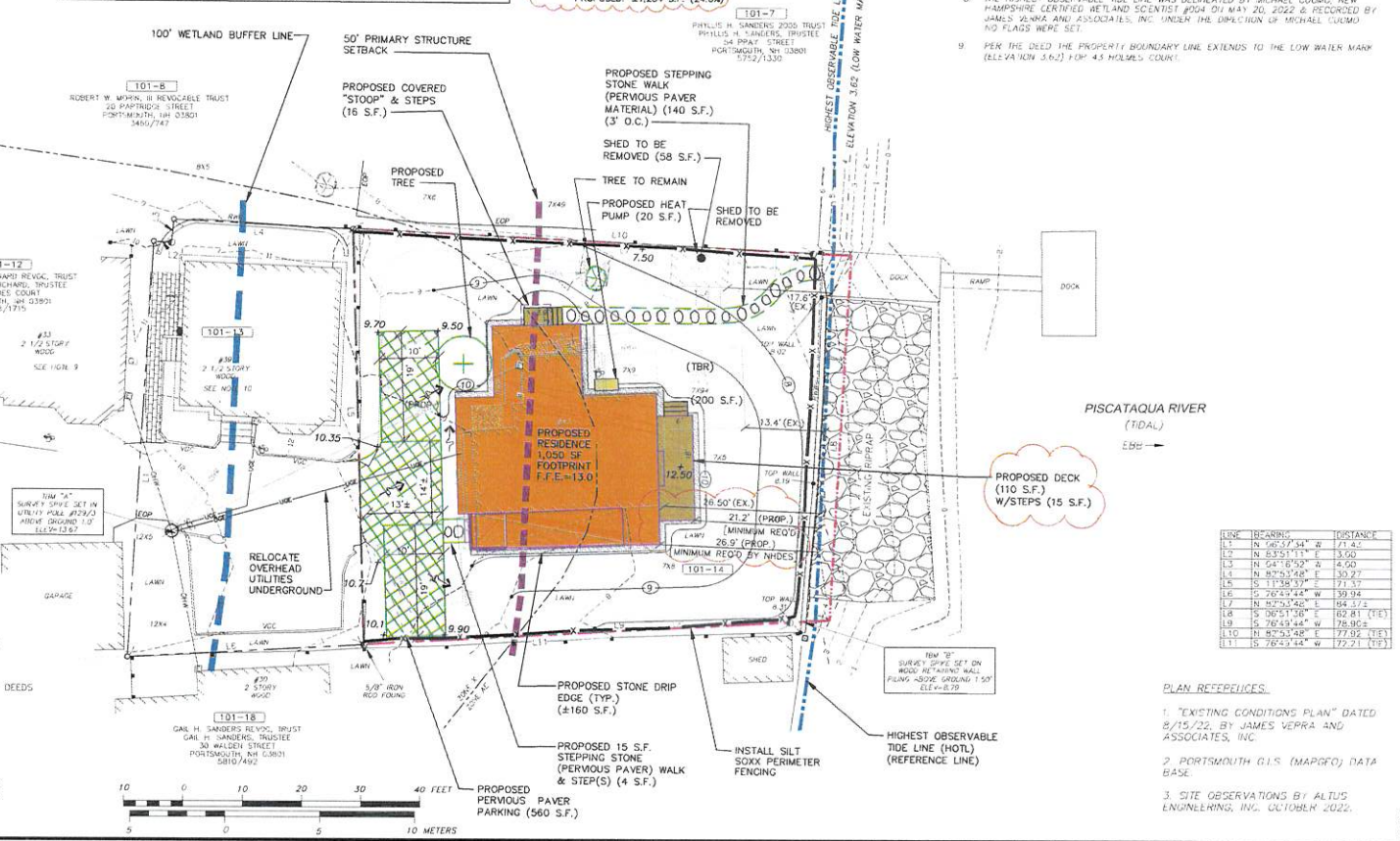
SITE NOTES

- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- WETLAND AND BUFFER IMPACTS:**
NHDES AREA OF WETLAND IMPACT: 0 S.F.
AREA OF BUFFER DISTURBANCE: ±4,650 S.F. (PERMANENT)
TOTAL DISTURBANCE: ±4,650 S.F. (0.11 ACRE)
- NHDES WETLANDS PERMIT REQUIRED (PENDING).
- NO WORK REQUIRED BEYOND THE 100' TIDAL BUFFER FOR 43 HOLMES COURT, NHDES SHORELAND PERMIT NOT REQUIRED.
- AREA OF DISTURBANCE IS UNDER 43,560 S.F. COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT IS NOT REQUIRED.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES TO PREVENT SEDIMENT FROM CONSTRUCTION ACTIVITIES LEAVING THE SITE. PERIMETER EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN GOOD WORKING ORDER FOR THE DURATION OF CONSTRUCTION AND ARE NOT TO BE REMOVED UNTIL THE UPRILL CONTRIBUTING AREAS ARE STABILIZED. CONTROLS SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER ALL RAIN EVENTS OF 0.25 INCHES OR GREATER. ANY DEFICIENCIES IN THE CONTROLS SHALL BE ADDRESSED IMMEDIATELY AND BROUGHT TO THE ATTENTION OF THE OWNER.
- ON-SITE LOAM SHALL BE REUSED IN ITS ENTIRETY. IMPORTED LOAM SHALL BE MIXED WITH NATIVE LOAM PRIOR TO APPLICATION TO AVOID SEGREGATED SOIL ZONES.
- EXISTING VEGETATION TO BE RETAINED TO THE GREATEST EXTENT POSSIBLE.
- MEET & MATCH ALL PAVEMENT AND LAWN GRADES. COORDINATE ELEVATIONS OF CONCRETE HVAC PAD, PATIO & DECK WITH ARCHITECT.
- TREE GRID NOTE: THERE IS ONE COUNTABLE TREE WITHIN 50'-FEET OF THE RESOURCE LINE.
- ORGANIC LAWN AND LANDSCAPE CARE METHODS SHALL BE AS SPECIFIED IN THE NORA ORGANIC STANDARDS LAWN CARE INCLUDING THE USE OF ORGANIC FERTILIZERS ONLY.
- IMPERVIOUS COVERAGE:**
EXISTING: ±2,189 S.F. (40.0%)
PROPOSED: ±1,284 S.F. (24.0%)

PROPOSED IMPACTS IN THE WETLAND BUFFER INCLUDE RAZING AND REPLACING THE SINGLE FAMILY RESIDENCE, CONSTRUCTION OF A NEW DECK, PLACING OVERHEAD UTILITIES UNDERGROUND, INSTALLATION OF HVAC PAD & EQUIPMENT, REMOVAL OF PAVED PATH & SHED, INSTALLATION OF WALKWAY AND LANDSCAPING (4,650 SF PERMANENT IMPACT). ANY ADDITIONAL WORK IN THE 100-FOOT WETLAND BUFFER OR 250-FOOT SHORELAND PROTECTION BUFFER WILL REQUIRE A SEPARATE PERMIT.

SURVEY NOTES:

- OWNER OF RECORD: STEPHEN A. & KATHRYN SINGLAR
ADDRESS: 21 ELLIOT STREET, EXETER, NH 03833
DEED REFERENCE: 6593/1443
TAX SHEET: L31-101-14
PARCEL AREA: 5,253 S.F. (±10 ELEV. 3.62)
- ZONED: WATERFRONT BUSINESS FRONT YARD SETBACK: 30'
MINIMUM LGT AREA: 20,000 S.F. SIDE YARD SETBACK: 30'
FRONTAGE: 100' REAR YARD SETBACK: 20'
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (E.C. CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COPIED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY IN WRITING SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRAVE GPS OBLIGATION AND HAS "OPTIC" COLLISION REFERENCE FRAME: NAD83 (2011 EPOCH); 2011.0000; US SURVEY FOOT.
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "RUBEL"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.
- THE PARCELS SHOWN HEREON LIES WITHIN ZONE AF (ELEVATION R) & ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0278, EFFECTIVE DATE 1/29/2021 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THE HIGHEST OBSERVABLE TIDE LINE WAS DELINEATED BY MICHAEL CUDMO, NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST #004 01 MAY 20, 2022 & RECORDED BY JAMES VERRA AND ASSOCIATES, INC. UNDER THE DIRECTION OF MICHAEL CUDMO #0 FLOOD WISE SET.
- PER THE DEED THE PROPERTY BOUNDARY LINE EXTENDS TO THE LOW WATER MARK (ELEVATION 3.62) FOR 43 HOLMES COURT.



ENGINEER:
ALTUS
ENGINEERING
133 Court Street Portsmouth, NH 03801
(603) 433-1335 www.altus-eng.com



ISSUED FOR: APPROVAL

ISSUE DATE: MARCH 6, 2024

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	02/17/24
1	PER NHDES COMMENTS	EBS	04/26/23
2	PER NHDES RF#1	OS	06/19/23
3	PER NHDES RF#1	EBS	01/12/24
4	PER NHDES RF#1	EBS	03/05/24

CORRECT DIMENSIONS
CHANGE DECK TO IMPERVIOUS

DRAWN BY: RLH
APPROVED BY: EBS
DRAWING FILE: 9328-2024-02-23-10-M

SCALE:
22" x 34" - 1" = 10'
11" x 17" - 1" = 20'

OWNER/APPLICANT:
STEPHEN A. &
KATHRYN L. SINGLAR
21 ELLIOT STREET
EXETER, NH 03833

PROJECT:
PROPOSED SITE DEVELOPMENT PLANS
#43 HOLMES COURT
PORTSMOUTH, NH
ASSESSOR'S PARCEL
MAP 101-LOT 14

TITLE:
NHDES WETLANDS PERMIT PLAN & STORM WATER MANAGEMENT PLAN

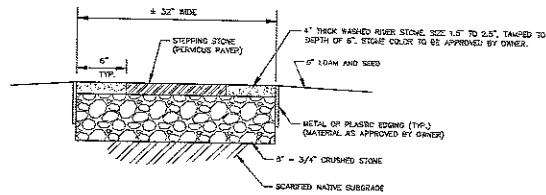
SHEET NUMBER:
1 OF 2

LINE	BEARING	DISTANCE
L2	N 26°27'44" W	71.40
L3	N 83°51'11" E	3.00
L4	N 04°0'52" W	4.50
L5	N 80°55'58" E	23.27
L6	S 11°38'59" E	71.57
L7	S 76°49'44" W	39.94
L8	N 82°53'42" E	68.57
L9	S 06°51'26" E	82.81 (FIE)
L10	S 76°49'44" W	78.96±
L11	N 82°53'42" E	77.66 (FIE)
L12	S 76°49'44" W	72.21 (FIE)

PLAN REFERENCES:

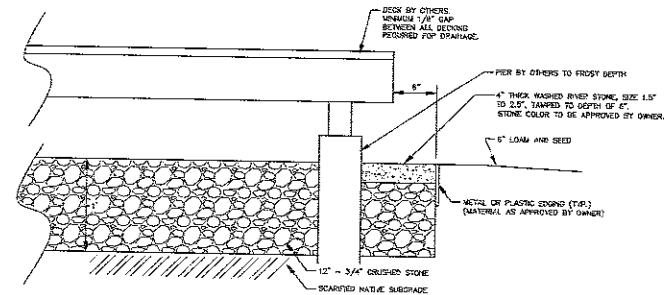
- "EXISTING CONDITIONS PLAN" DATED 8/15/22, BY JAMES VERRA AND ASSOCIATES, INC.
- PORTSMOUTH G.I.S. (MAPPGO) DATA BASE.
- SITE OBSERVATIONS BY ALTUS ENGINEERING, INC. OCTOBER 2022.

PS28

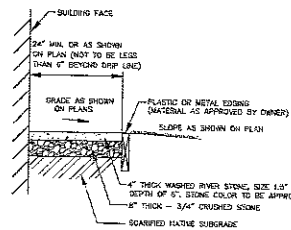


PERMEABLE STEPPING STONES (PAVERS) CLEANING AND MAINTENANCE
 Function = Permeable paver stepping stones are designed to capture rainwater runoff containing suspended solids, nutrients and pollutants. These systems require periodic maintenance to insure infiltration and storage capacity.
 Maintenance = Permeable stepping stone pavers should be observed periodically during rain events for proper water infiltration into the system and inspected at least once per year to verify water flow and infiltration. Sediment and debris should be removed from the surface of the paver and stone surface to increase infiltration through light vacuuming on a semi-annual basis.

PERMEABLE STEPPING STONE WALKWAY DETAIL NOT TO SCALE

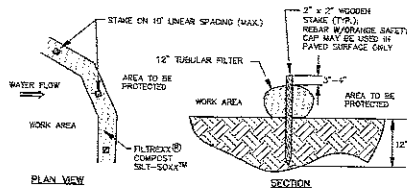


IMPERVIOUS DECK DETAIL NOT TO SCALE



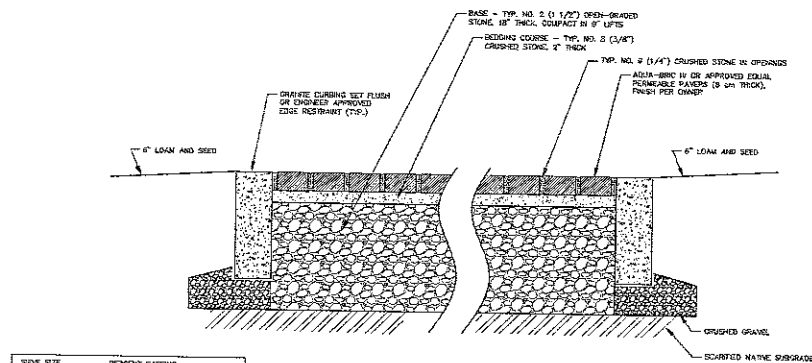
STONE DRIP EDGE CLEANING AND MAINTENANCE
 Function = Stone drip edges are designed to capture rainwater runoff containing suspended solids, nutrients and pollutants. These systems require periodic maintenance to insure infiltration and storage capacity.
 Maintenance = Stone drip edge surfaces should be observed periodically during rain events for proper water infiltration into the system and inspected at least once per year to verify water flow and infiltration. Sediment, vegetation and debris should be removed from the joint/void opening to increase infiltration on a semi-annual basis.

DRIP EDGE DETAIL NOT TO SCALE



NOTES:
 1. FILTERS OF APPROVED EQUAL SHALL BE USED FOR TUBULAR SEDIMENT BARRIERS.
 2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS.
 3. GRANITE/SCAL/POSSIBLE FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THIS SPECIFIC APPLICATION.
 4. ALL SEDIMENT TRAPPED BY BARRIER SHALL BE DISPOSED OF PROPERLY.

TUBULAR SEDIMENT BARRIER NOT TO SCALE



SEIVE SIZE	PERCENT PASSING		
	No. 2 (10')	No. 8 (20')	No. 20 (0.85')
3 in	-	-	100
2 1/2 in	-	-	80 - 100
2 in	-	-	35 - 70
1 1/2 in	-	-	0 - 45
3/4 in	-	-	0 - 5
1/2 in	100	100	-
3/8 in	80 - 100	85 - 100	-
No. 4	30 - 85	10 - 35	-
No. 8	5 - 30	0 - 10	-
No. 16	0 - 10	0 - 5	-
No. 30	0 - 5	-	-

PERMEABLE PAVES CLEANING AND MAINTENANCE
 Function = Pavers are designed to capture rainwater runoff containing suspended solids, nutrients and pollutants. These systems require periodic maintenance to insure infiltration and storage capacity.
 Maintenance = Permeable pavers should be observed periodically during rain events for proper water infiltration into the system and inspected at least once per year to verify water flow and infiltration. Sediment and debris should be removed from the joint/void opening to increase infiltration through light vacuuming on a semi-annual basis.

PERMEABLE PAVERS DETAIL (DRIVEWAY) NOT TO SCALE

ENGINEER:
ALTUS ENGINEERING
 133 Court Street Portsmouth, NH 03801
 (603) 435-2335 www.altus-eng.com



ISSUED FOR: APPROVAL
 ISSUE DATE: MARCH 5, 2024

NO	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EBS	04/28/23
1	INTEGRATED RFS# 0	EBS	01/17/24
2	INTEGRATED RFS# 0	EBS	02/06/24

DRAWN BY: RLH
 APPROVED BY: EBS
 DRAWING FILE: 2324.DWG

SCALE:
 22" x 34" - NOT TO SCALE
 11" x 17" - NOT TO SCALE

OWNER/APPLICANT:
 STEPHEN A. & KATHRYN L. SINGLAR
 21 ELLIOT STREET
 EXETER, NH 03833

PROJECT:
 PROPOSED SITE DEVELOPMENT PLANS
 #43 HOLMES COURT
 PORTSMOUTH, NH
 ASSESSOR'S PARCEL MAP 101-L0T 14

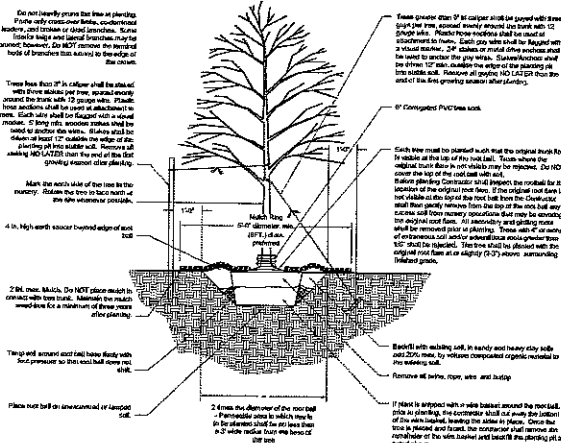
TITLE:

DETAIL SHEET

SHEET NUMBER:
 2 OF 2

Landscape Notes

- Design is based on drawings by Alton Engineering and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to establish and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any excavation.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes to layout and/or grade/relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the edge of the minimum 100ft. tree buffer, trunk and bark of the trees to be protected shall be wrapped with a material to protect the integrity of the tree. Do not store any refuse or construction materials or materials within the tree protection area.
- The plan is for reference purposes only. NOT for Construction. Construction Documents will be provided upon request.
- Location, support, protection, and restoration of all existing utility and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-800-244-7232.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall include levels of pH, nitrate, nitro-nitro-nitrate, iron, available salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed planting to follow. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the proposed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed below. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical name and quantity of size, culture, and quality for the highest grade and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock.
- A complete list of plants, including a schedule of sizes, quantities, and other notes appears as shown on the drawings. In the event that quantity discrepancies or material variations occur in the plant materials list, the planting plans stand govern.
- All plants shall be irrigated with proper advanced means.
- The Contractor shall install all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants prior to delivery for conformity to specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all areas of the place of growth and reserves the right to approve a representative sample of each type of shrub, tree, or plant material. Annual and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in the work.
- No substitutions of plants may be made without the prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with the following:
 - Quality tree stumps to be installed a maximum of 150 feet apart, and
 - An underground irrigation system, or
 - A temporary irrigation system designed for a two-year period of plant establishment.
- If an automatic irrigation system is installed, all irrigation valves/bodies shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plants material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from on site, should it not be available on site.
- Contractor shall provide an alternate plan for irrigating all newly landscaped areas and creating of any existing irrigation that will be disturbed during planting. Contractor shall provide irrigation design for review by Landscape Architect or Owner's Representative when awarded the project.
- All finished areas will be dressed with 6" of topsoil and planted as noted on the plans or selected except plant beds. Plant beds shall be prepared to a depth of 12" with 70% loam and 25% compost.
- Trunks, ground cover, and shrub bases shall be mulched to a depth of 2" with one-year-old, well-composted, absorbent native bark not longer than 4" in length and 1/2" in width, free of weeds and twigs. Mulch for ferns and hostas/ornamentals shall be no larger than 1" in length. Trees in lawn areas shall be mulched by 6" diameter mulch circles. Color of mulch shall be black.
- Drip pipe shall extend to 6" beyond root overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stems of a plant nor shall mulch ever be more than 3" thick (including previously applied mulch) over the root ball of any plant.
- Structural lateral branches of deciduous trees overhanging walkways and pedestrian walkways shall be pruned to 1/2 height of 6" to allow clear and safe passage of vehicles and pedestrians at all times. Within the right-of-way, all limbs shall be pruned at intervals not exceeding the canopy shall be limited to 6" per.
- Stump shall be staked a minimum of 5' from shrubs and trunks of trees. Landscape Architect is not responsible for the means and methods of the contractor.

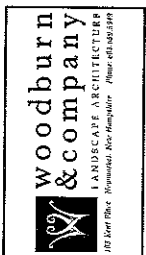
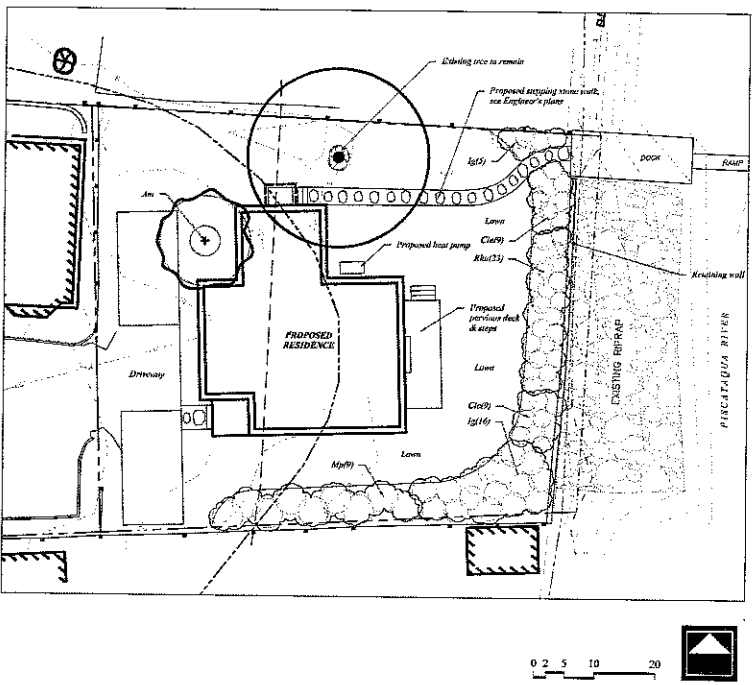


Tree Planting Detail

Plant List

TREES	Symbol	Botanical Name	Common Name	Quantity	Size	Comments
	Am	<i>American's grandiflora</i> Autumn Brilliance®	Autumn Brilliance Serviceberry	1	10-12' Ht	888, Main stem

SHRUBS	Symbol	Botanical Name	Common Name	Quantity	Size	Comments
	Ch	<i>Chamaelirium luteum</i> 'Hummel's	Hummel's Compact Summerweet	15	3 gal	
	L	<i>Lonicera xylosteum</i>	Shamrock Honeysuckle	21	5 gal	Call for ground
	Mp	<i>Myrica pensylvanica</i>	Maritime Bayberry	9	5 gal	
	Rlu	<i>Rosa arvensis</i> 'Glow-Low'	Glow Low Rose	23	3 gal	



Singlar Residence

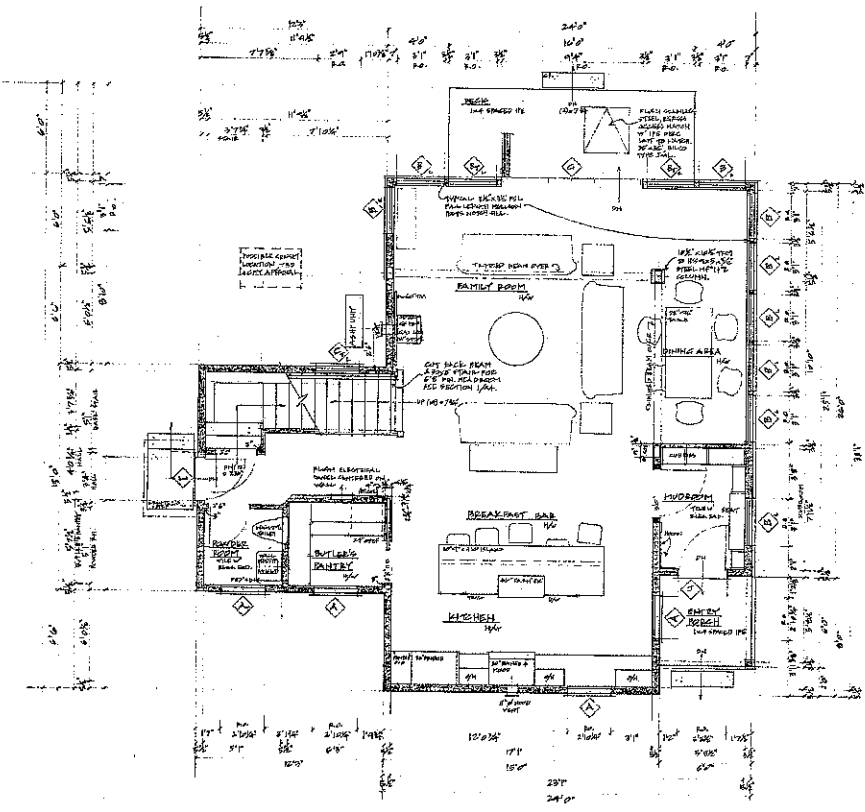
PLANTING PLAN

43 Holmes Court Portsmouth, New Hampshire

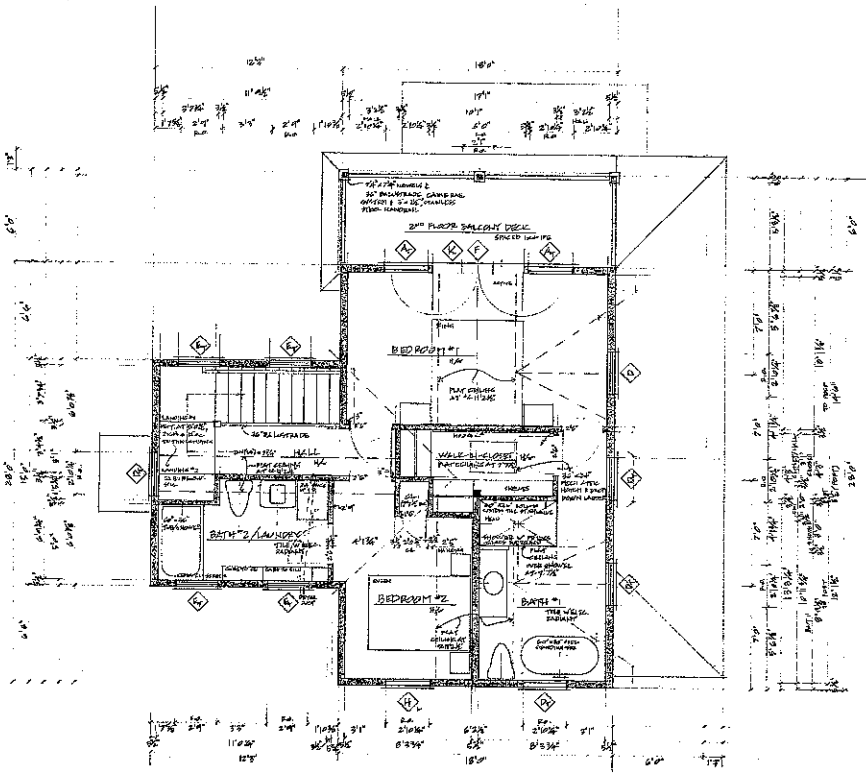
Drawn By: VM
 Checked By: RW
 Scale: 1" = 10' - 0"
 Date: November 14, 2023
 Revisions:

L-1

Sheet 1 of 1



PROPOSED FIRST FLOOR PLAN AREA = 6004



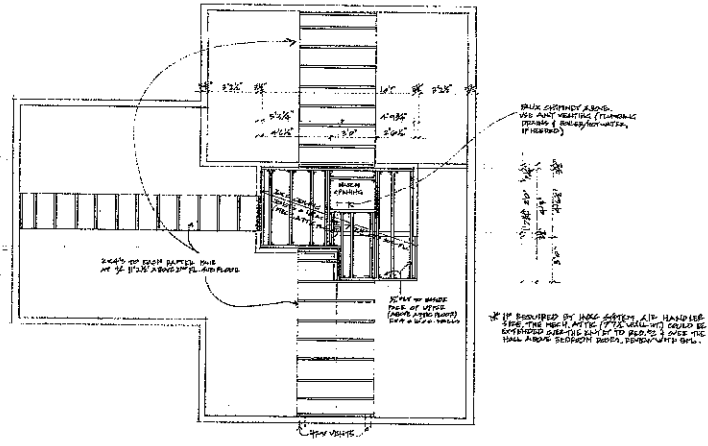
PROPOSED SECOND FLOOR PLAN AREA = 6004

EXTERIOR DOOR & WINDOW SCHEDULE		43 HOLMES CRT, PORTSMOUTH, NH	
No.	Size (WxH)	Material / Notes	Qty
A	2'10 1/2" x 4'8 3/8"	66 IMPH 2052 DOUBLE HUNG WITH 16 SCREWS	4
A1	2'10 1/2" x 4'8 3/8"	66 IMPH 2052 TEMPERED GLASS	8
B	3'1" x 8'3/4"	93 1/2" x 120" CASHEMETS, SHED FUNCTIONAL, W/ ACCESSORIES (1) (2) (3)	4
B1	3'1" x 8'3/4"	93 1/2" x 120" (TEMP. GLASS)	8
C	2'9" x 2'9 1/2"	93 1/2" x 120" CASHEMET, W/ SCREEN, TEMP. GLASS (1)	1
D	2'10 1/2" x 4'1 3/8"	66 1/2" x 120" DOUBLE HUNG, WITH 16 SCREWS	4
D1	2'10 1/2" x 4'1 3/8"	66 1/2" x 120" TEMPERED GLASS	8
E	2'9" x 2'9 1/2"	93 1/2" x 120" ANYTHING WITH SCREENS, TEMPERED GLASS	4
F	2'1" x 2'1 1/4"	240 1/2" x 120" FIXED AWNING	1
G	9'4" x (FRAME 7'4 3/8")	7'4 3/8" x 120" FOLDING EXTENDING (3) PANEL, 2000, 2000, W/ 120" x 120" (1) (2) (3)	1
H	2'10 1/2" x 4'1 3/8"	66 1/2" x 120" CASHEMET EXPRESS TO MATCH D WINDOW (LEFT HUNG)	4
I	2'10 1/2" x 2'2 1/8"	7'2 1/8" x 120" ARCHIT. 2020 DRAWING, LEFT HUNG 200	4
J	2'2 1/8" x (FRAME 7'2 1/8")	7'2 1/8" x 120" ARCHIT. 2020 DRAWING, RIGHT HUNG 200	4
K	8'0" x 6'11"	6'11" x 120" ARCHIT. 2020 DRAWING, LEFT HUNG, SHED FUNCTIONAL W/ 16 SCREWS	1

EXTERIOR: WHITE INTERIOR: WHITE
 HARDWARE: OIL RUBBER BRONZE
 4" STAINLESS STEEL OPERATING HARDWARE, COASTAL. SILLS: TYPE 'E', 3/4" HISTORIC

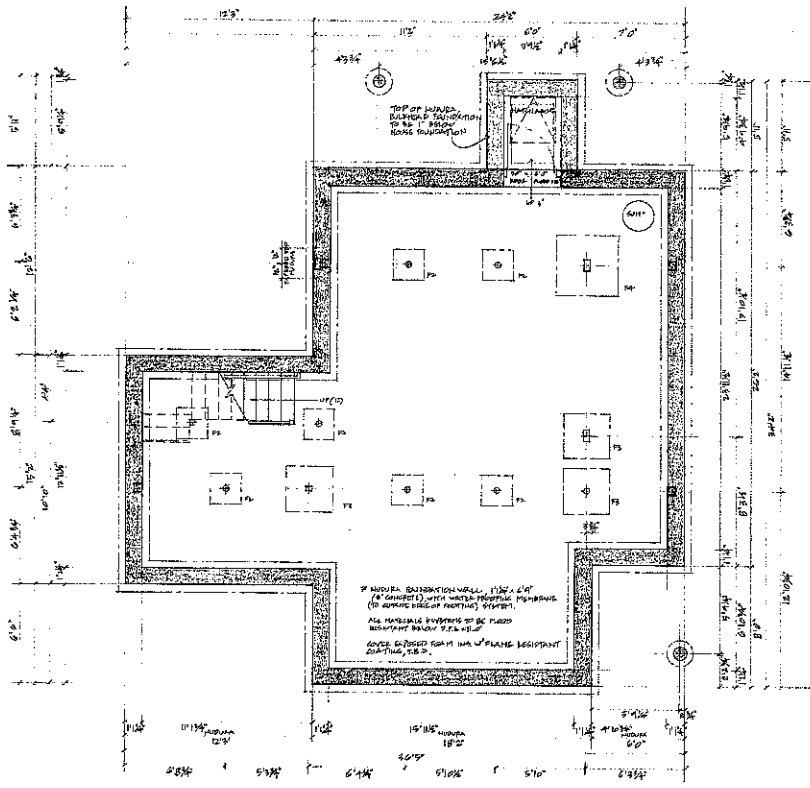
NOTE DIMENSIONAL OPDITY TO LIGHT ROOM FROM TO GREEN MOUNTAIN WINDOW HEAD CASING.

SAME ISSUE AS PER 'G'

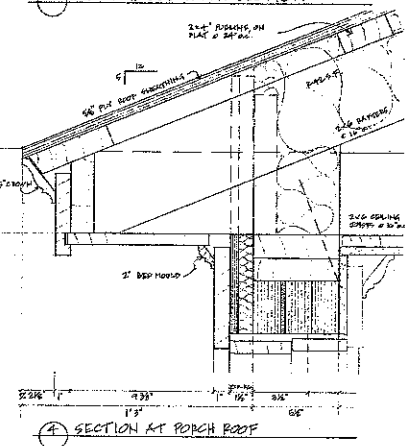
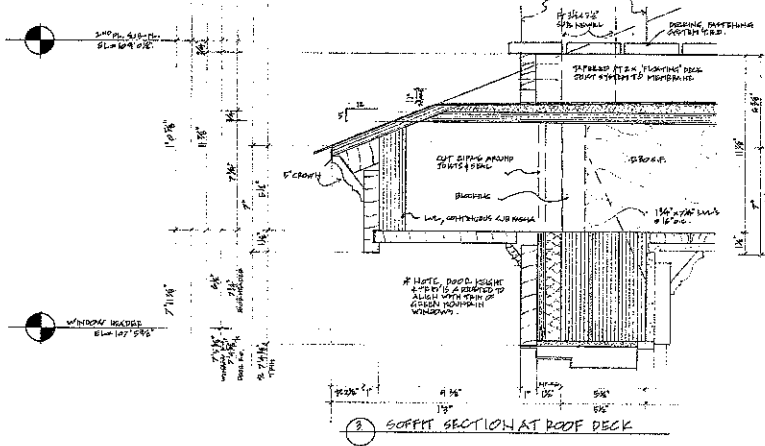
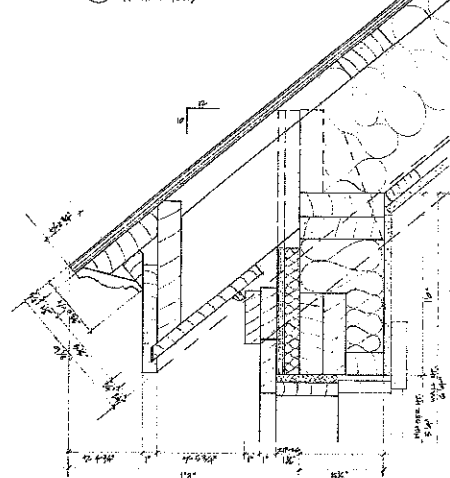
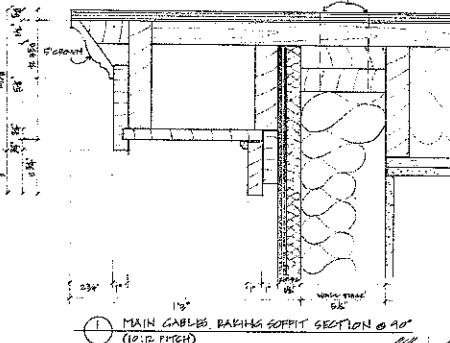


MECHANICAL ATTIC FRAMING PLAN

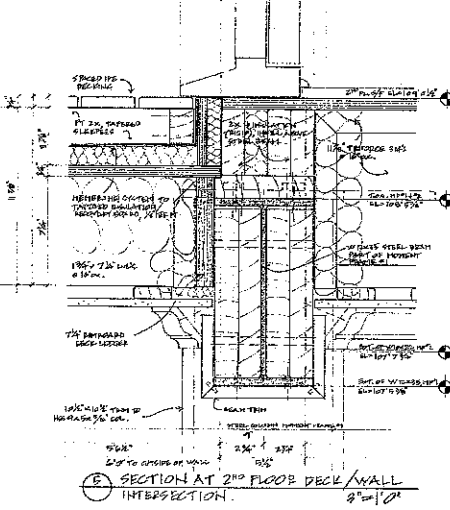
BRENDAN MCNAMARA
 ARCHITECT
 603.882.1105
 brennanc@comcast.net
 PROPOSED NEW STRUCTURE TITLE: PROPOSED FLOOR PLANS, EXTERIOR WINDOW & DOOR SCHED.
 AT 43 HOLMES COURT, SCALE: 1/4"=1'-0"
 PORTSMOUTH, NH. DATE: 2.6.2023
 REVISIONS: 4.18.2023 7.20.2023
 PAGE A1.



PROPOSED MECHANICAL & STORAGE BASEMENT FLOOR PLAN
 FLOOR FLOORED + ONLY FLOOD RESISTANT MATERIALS BELOW D.F.E. = 11.0'

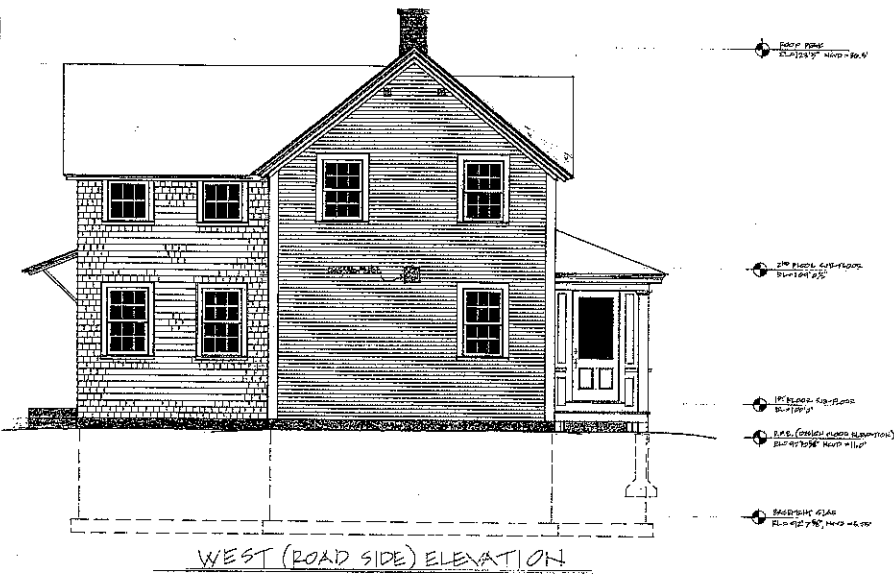


INSULATION SCHEDULE
 INSULATION INSTALLATION IS TO MEET, OR EXCEED, THAT DESCRIBED IN THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS DEFINED FOR ZONE 5A.
 USE "VALUE ENGINEERING" FRAMING TECHNIQUES WHERE POSSIBLE TO ENSURE ACCESSIBILITY FOR SPRAYFOAM APPLICATION.
 NOTE 2" RIGID FOAM AS HEADER STUDS OR 3" TO 1 1/2" HEADERS, FILL ANY VOIDS IN FRAMING THAT OCCUR WITH RIGID FOAM TO ELIMINATE ANY AIRSPACE. SEE SECTIONS FOR GRAPHICAL DESCRIPTION.
 EXTERIOR CLOSED CELL POLYURETHANE SPRAYFOAM, RATED TO 6.5 POUND PER INCH CUBIC, ALLOW 21 DAYS BEFORE COVERING WITH SHEATHING TO MINIMIZE SHRINKAGE.
 ROOF: R42, NOTE FURFILL DETAIL, NOTE THE ATTIC MECHANICAL AREA WILL NEED TO HAVE SPRAY FOAM COVERED BY FLAME RESISTANT COATING.
 WALLS AND RUM/JOISTS: R21, MINIMUM, NOTE THE USE OF ZIP-R6 AS EXTERIOR WALL SHEATHING.
 WINDOWS AND DOORS: LOW EXPANSION FOAM TO ALL OPENINGS, ENSURE COMPLETE FILL (4 9/16"), WITHOUT EFFECTING WINDOW/DOOR OPERATION.
 INTERIOR R11 AND R52 ROCKWOL (OR SIMILAR, OR BETTER) TO ALL INTERIOR WALLS FOR SOUND, USE TO SUIT 2X4 AND 2X6 WALL THICKNESS, R19 TO 2" FLOOR JOIST SYSTEM AND ATTIC CEILING JOISTS.
 AIR INFILTRATION FROM BLOWER DOOR TEST, THE BUILDING MUST ACHIEVE A MINIMUM OF 0.25 ACH, CAULK ALL "BAND" FRAMING MEMBERS AND PLATE/FLOOR CONNECTIONS, SEAL ALL PENETRATIONS AS PER MANUFACTURERS REQUIREMENTS, AN ENERGY RECOVERY VENTILATION SYSTEM WILL BE INSTALLED AND UTILIZED FOR BATHROOM VENTILATION WHERE POSSIBLE.

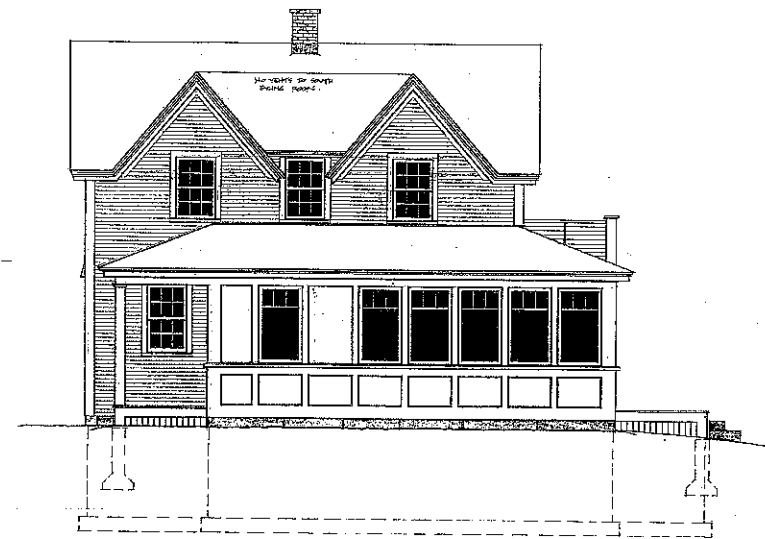


TITLE : PROP BASEMENT/FDN FLOOR PLAN, SOFFIT SECTIONS
 SCALE : 1/4" = 1'-0"
 DATE : 2.6.2023
 REVISIONS : 1.23.2023 7.20.2023
 PROPOSED NEW STRUCTURE
 AT 49 HOLMES COURT,
 PORTSMOUTH, NH.

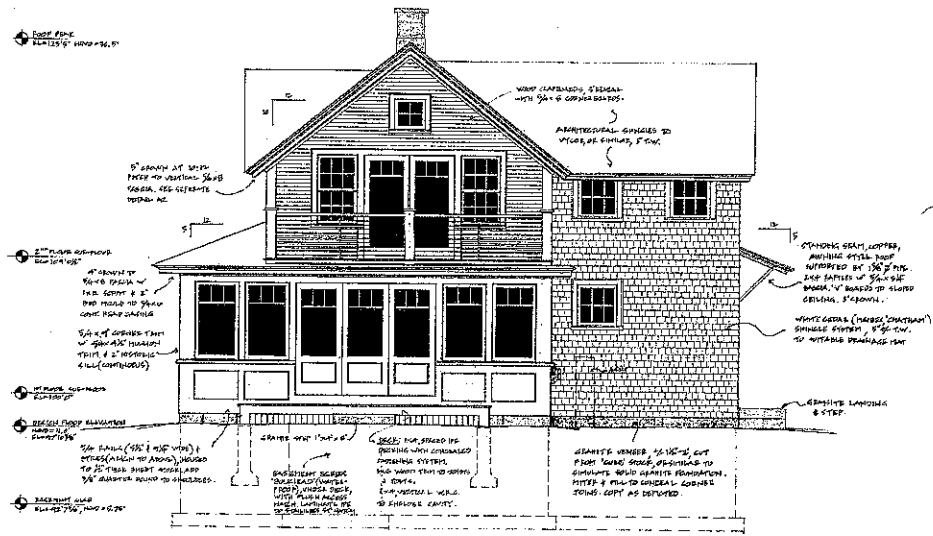
Brendan McNamara
 brennam@smcmaine.com
 603.662.1105



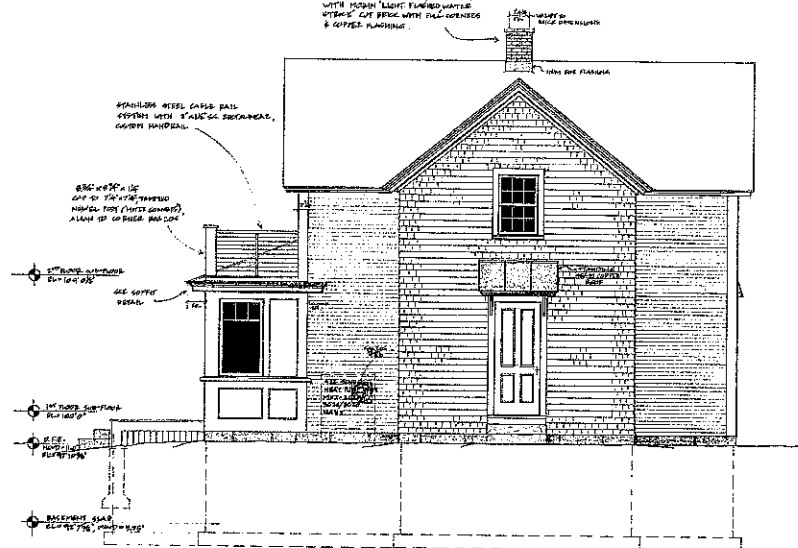
WEST (ROAD SIDE) ELEVATION



PROPOSED SOUTH (RIGHT SIDE) ELEVATION
1/4"=1'-0"



PROPOSED EAST (RIVER SIDE) ELEVATION

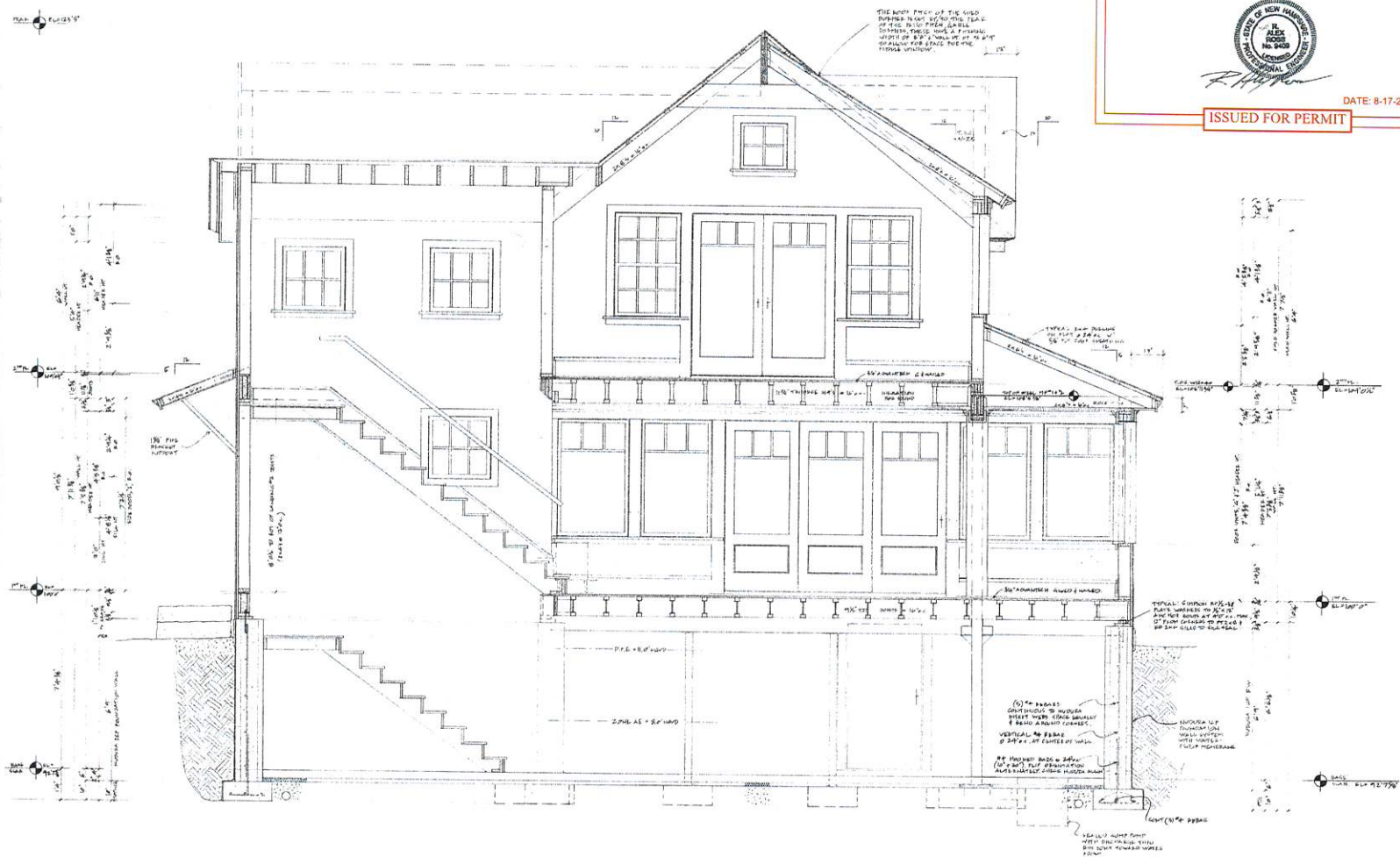


PROPOSED NORTH (LEFT SIDE) ELEVATION
1/4"=1'-0"

Brendan McNamara
Architect
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603.882.1105 brennamara@connecticut.net

TITLE: PROPOSED ELEVATIONS
SCALE: 1/4"=1'-0"
DATE: 2.6.2023
REVISIONS: 4.18.2023 7.20.2023

PROPOSED NEW STRUCTURE
AT 49 HOLMES COURT,
PORTSMOUTH, NH.



① SECTIONAL VIEW, NORTH/SOUTH (LEFT/RIGHT) 1/8"=1'-0"

ROSS ENGINEERING STRUCTURAL REVIEW

All structural members for the roof frame, floor frame and foundation have been reviewed to meet IRC 2018 primary structural requirements. These structures have been reviewed for gravity loads. Refer to structural drawings for more details.

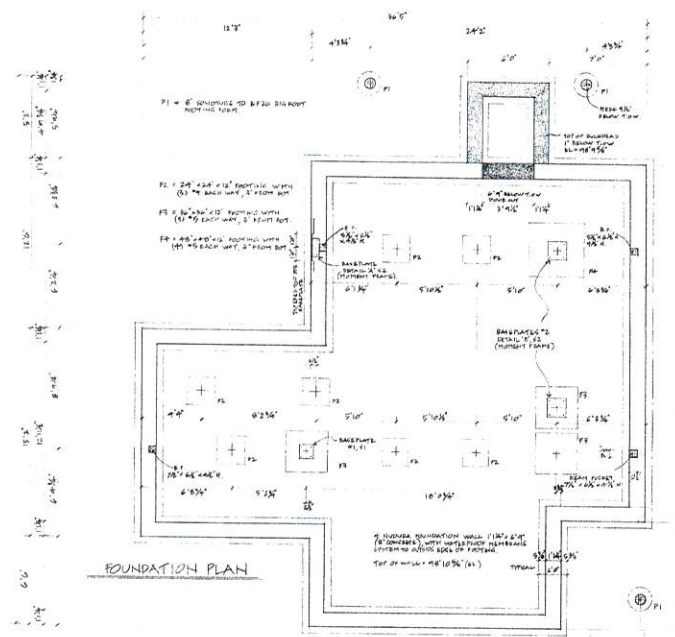
DATE: 8-17-2023

ISSUED FOR PERMIT

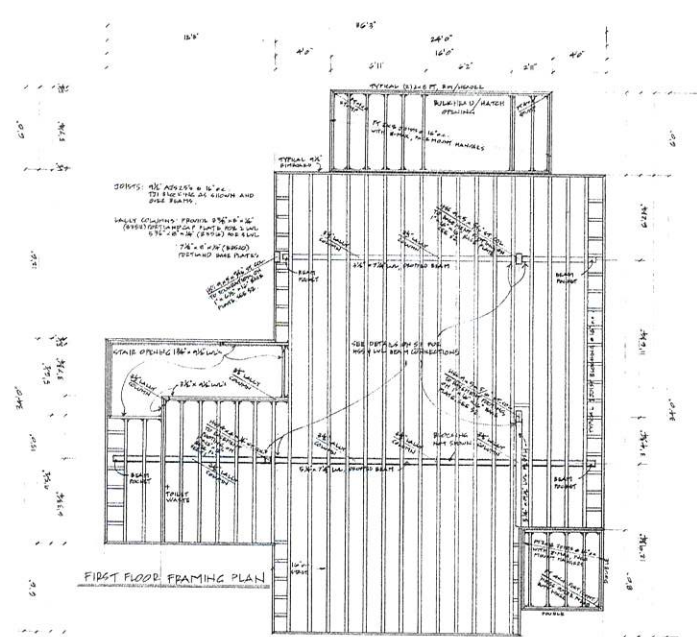
Brendan McNamara
 Structural Engineer
 603.681.1105
 brennamara@comcast.net

TITLE: PROPOSED SECTIONAL VIEW, NORTH/SOUTH
 SCALE: 1/8"=1'-0"
 DATE: 2.6.2023
 REVISIONS: 3.23.2023, 4.18.2023, 7.20.2023

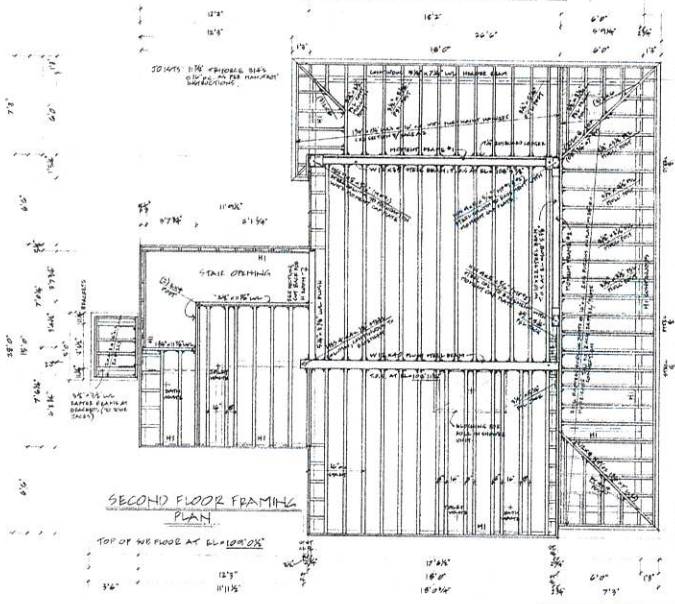
PROPOSED NEW STRUCTURE
 AT 43 HOLMES COURT,
 PORTSMOUTH, NH



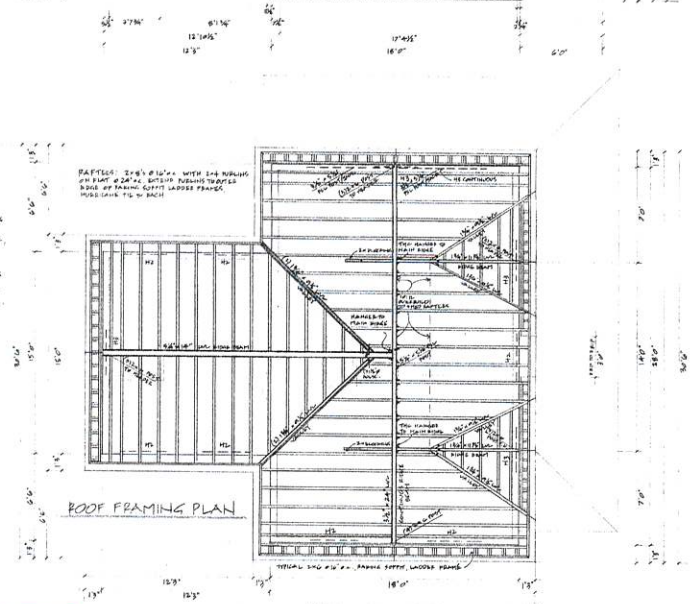
FOUNDATION PLAN



FIRST FLOOR FRAMING PLAN



SECOND FLOOR FRAMING PLAN



ROOF FRAMING PLAN

HEADER SCHEDULE:
 H1 - (2) 12x12 LVL with (2) 2x12 SIPS, 1012x SIPS
 H2 - (2) 12x12 LVL with (2) 2x12 SIPS, 1012x SIPS
 H3 - (2) 12x12 LVL with (2) 2x12 SIPS, 1012x SIPS
 H4 - (2) 12x12 LVL with (2) 2x12 SIPS, 1012x SIPS

Brendan McNamara
 ARCHITECTURAL ARCHITECTURE
 brennamara@comcast.net
 603.882.2105

TITLE : FOUNDATION & FRAMING PLANS
 SCALE : 1/8"=1'-0"
 DATE : 3.22.2023
 REVISIONS : 7.20.2023

PROPOSED NEW STRUCTURE
 AT 43 HOLMES COURT,
 PORTSMOUTH, N.H.

PAGE 35.

ROSS ENGINEERING STRUCTURAL REVIEW

All structural members for the roof frame, floor frame and foundation have been reviewed to meet IRC 2018 primary structural requirements. These structures have been reviewed for gravity loads. Refer to structural drawings for more details.

DATE: 8-17-2023

ISSUED FOR PERMIT



Front Elevation View



Left Elevation View



Rear Elevation View



View of Rear Yard



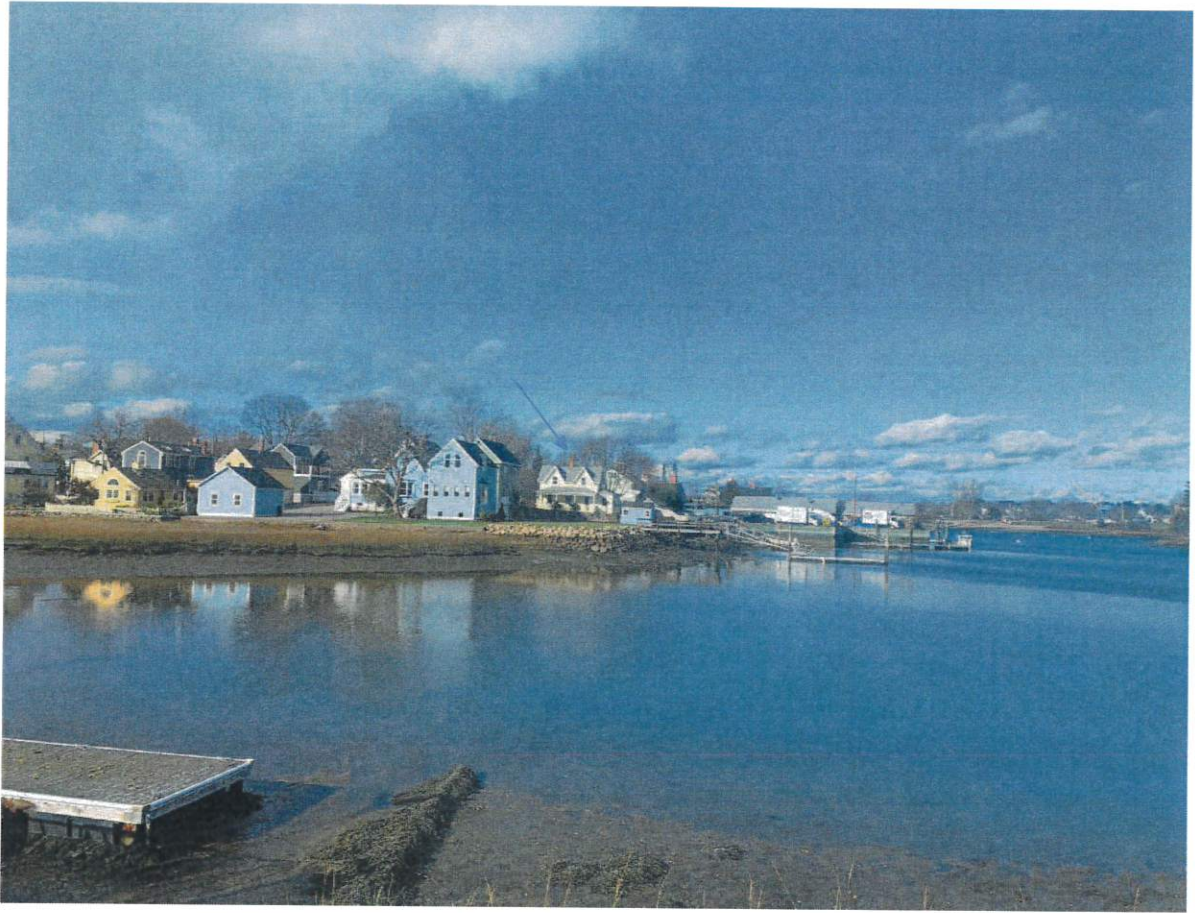
Right Elevation View



View of Parking Area



View of Holmes Court



View of 43 Holmes Court from New Castle Avenue