

Findings of Fact | Detached Accessory Dwelling Unit

City of Portsmouth Planning Board

Date: July 18, 2024

Property Address: 480 Dennett Street

Application #: LU-24-120

Decision: Approve Deny Approve with Conditions

Findings of Fact:

Per RSA 676:3, I: The local land use board shall issue a final written decision which either approves or disapproves an application for a local permit and make a copy of the decision available to the applicant. **The decision shall include specific written findings of fact that support the decision. Failure of the board to make specific written findings of fact supporting a disapproval shall be grounds for automatic reversal and remand by the superior court upon appeal, in accordance with the time periods set forth in RSA 677:5 or RSA 677:15, unless the court determines that there are other factors warranting the disapproval.** If the application is not approved, the board shall provide the applicant with written reasons for the disapproval. If the application is approved with conditions, the board shall include in the written decision a detailed description of the all conditions necessary to obtain final approval.

Zoning Ordinance -10.814.60: Before granting a conditional use permit for a detached ADU, the Planning Board shall make the following findings:

	Section 10.814.62	Finding (Meets Requirement/ Criteria)	Supporting Information
1	10.814.621 The ADU complies with all applicable standards of this Section 10.814 or as may be modified by the conditional use permit.	Meets Does Not Meet	The DADU complies with the standards in Section 10.814 with no requested modifications.
2	10.814.622 The exterior design of the ADU is architecturally consistent with or similar in appearance to the existing principal dwelling on a lot.	Meets Does Not Meet	The design of the DADU is compatible with the existing principal dwelling.
3	10.814.623 The site plan provides adequate and appropriate open space and landscaping for both the ADU and the principal dwelling unit and complies with the off-street parking requirements of 10.814.26.	Meets Does Not Meet	The site plan provides adequate open space and the parking on the lot will exceed the requirement for the DADU.
4	10.814.624 The ADU will maintain a compatible relationship with the character of adjacent and neighborhood properties in terms of location, design, and off-street parking layout, and will not significantly reduce the privacy of adjacent properties.	Meets Does Not Meet	The new conforming location of the DADU will be compatible with the existing neighborhood and will not reduce the privacy of adjacent properties. The DADU will be located within the existing fenced yard in a conforming location.
5	<u>Other Board Findings:</u>		

Planning Department
City of Portsmouth

Re: 480 Dennett St

The property at 480 Dennett St is owned by the applicant and spouse. The house is occupied by the owner and family of three generations.

There is no plan for any change of ownership.

The application is for a detached ADU. The ADU will be occupied by the property owner and spouse. The primary residence will continue to be occupied by the owner's daughter and children.

There will not be a business operated from the residence per city regulations.

The property is currently connected to city water and sewer. No additional connections to city services. All connections for ADU will be provided by the primary residence.

The proposed DADU will be a one bedroom, one bathroom self contained standalone structure with separate access. All zoning requirements for lot coverage and lot line setbacks will be satisfied for an accessory structure.

There will be 4 off road parking spaces provided. There is also city planned on street parking directly in front of the residence.



Left side of backyard.



Left side of front yard.

Backyard from deck.



Right side of front yard.



DIMENSIONAL STANDARDS:

	REQUIRED:	EXISTING:	PROPOSED:
MIN. LAND AREA	7500 SQ FT	7648 SQ FT	7648 SQ FT
MIN. STREET FRONTAGE:	100'	64'	64'
MIN. LOT DEPTH:	70'	120'	120'
FRONT SETBACK:	15'	15'	15'
SIDE SETBACK:	10'	~8' (EXISTING HOUSE)	10' (ADU)
REAR SETBACK:	20'	24'	11'-4"
MAX. BUILDING HEIGHT:	35'	15'	15'
MAX. BUILDING LENGTH:	N/A		
MAX. BUILDING FOOTPRINT:	N/A		
MAX. BUILDING COVERAGE:	25%	18.40%	24.86%
LOT AREA/DWELLING UNIT	7500 SQ FT	7648 SQ FT	7648 SQ FT
MIN OPEN SPACE:	N/A		

Address: 480 Dennett St. Portsmouth, NH

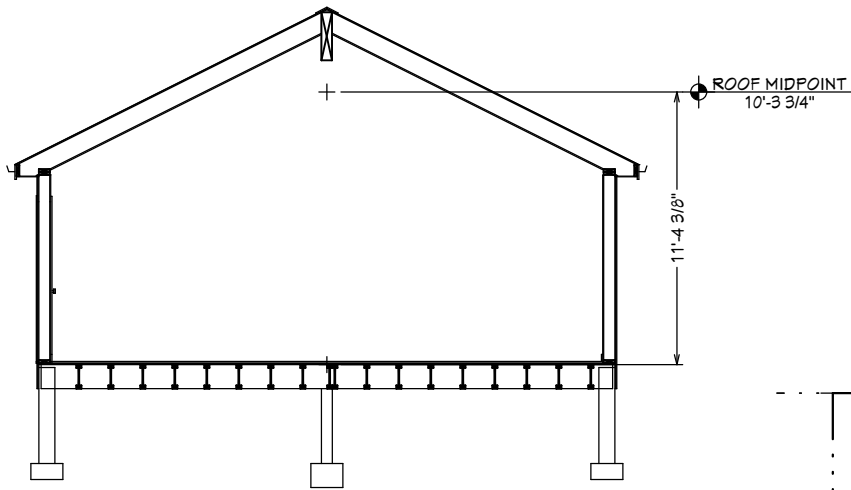
Zone: GRA

Proposal: D-ADU

Proposal area: 750 sq. ft.

Bedrooms: 1

Bathrooms: 1



Abutting Lot
172 Thornton St.
~.2 ac
PID: 34965
Mblu: 160-20

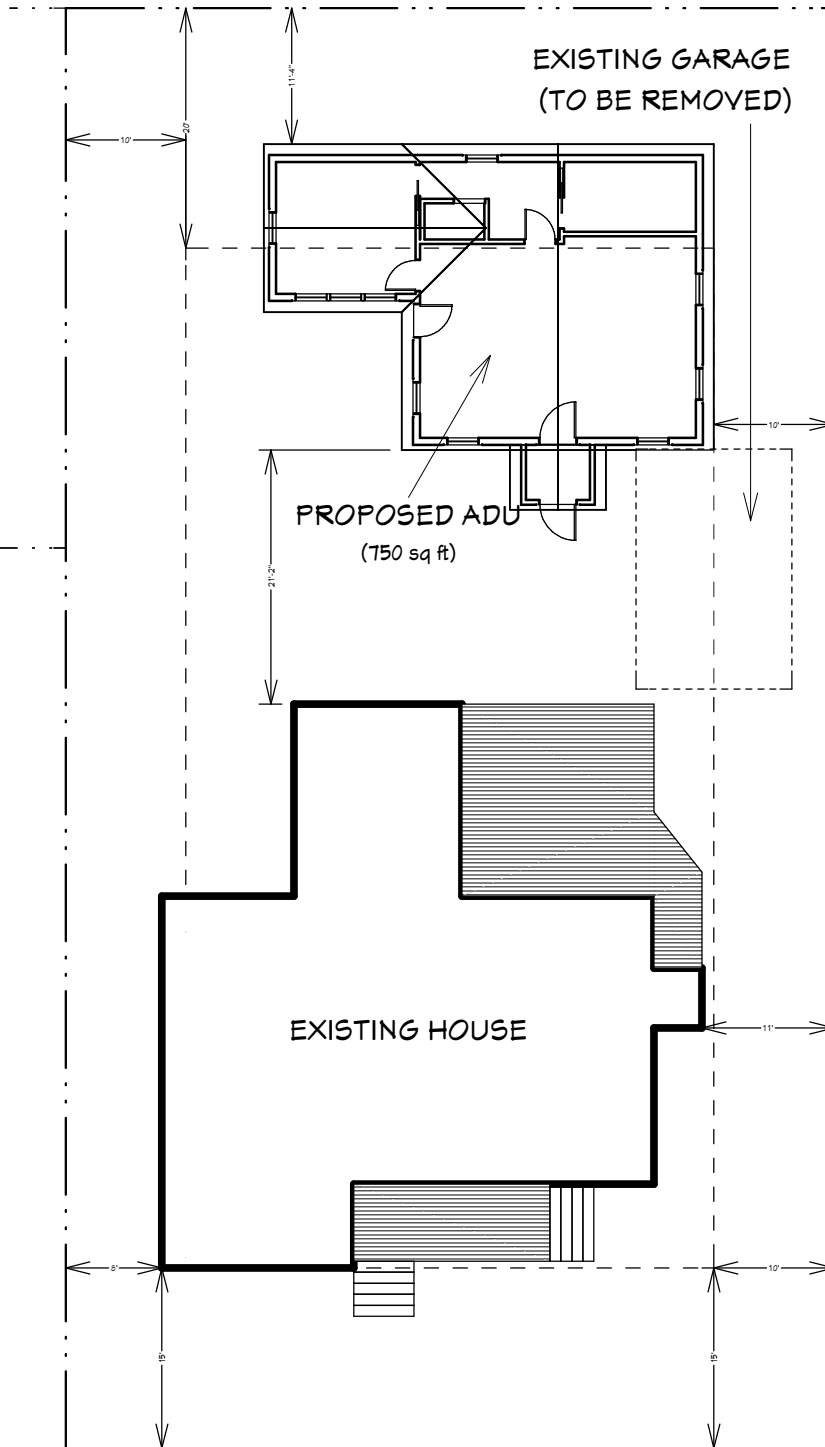
Abutting Lot
190 Thornton St.
~.21 ac
PID: 34991
Mblu: 161-05

Abutting Lot
24 Burkitt St.
~.09 ac
PID: 34968
Mblu: 160-23

Abutting Lot
17 Stark St.
~.18 ac
PID: 834989
Mblu: 161-03

Abutting Lot
466 Dennett St.
~.07 ac
PID: 34970
Mblu: 160-25

Abutting Lot
500 Dennett St.
~.12 ac
PID: 34987
Mblu: 161-01



DENNETT ST

P-1

SHEET:

1" = 12'

SCALE:

6/23/2024

DATE:

DRAWINGS PROVIDED BY:

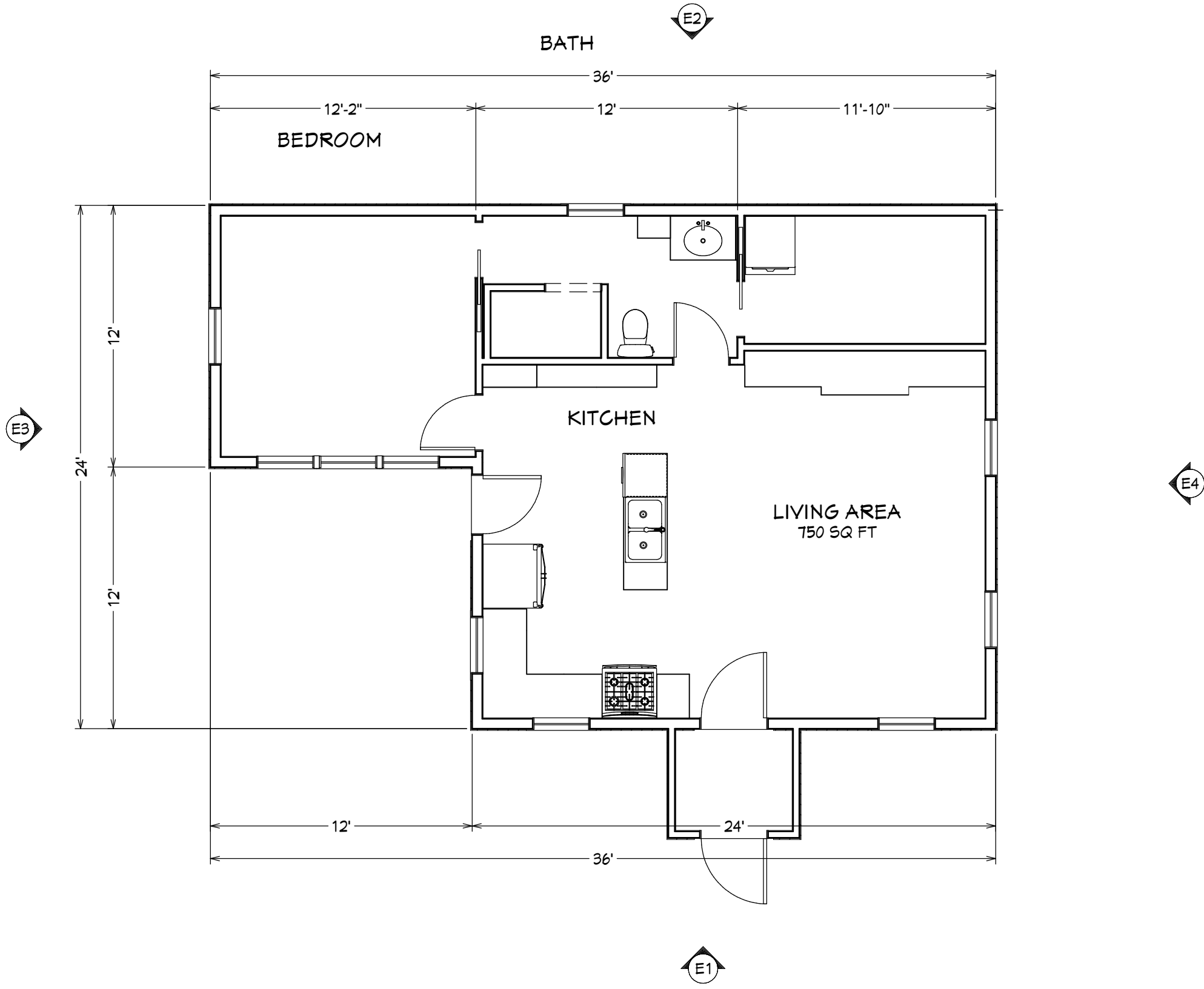
Wild Eden Design
ryan@wildedendesign.com
603.502.9475

GREENWOOD RESIDENCE
480 DENNETT ST.
PORTSMOUTH, NH 03801

SITE PLAN

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

FLOOR PLAN 3/16" : 1'



SHEET:
 SCALE: 1" : 12'
 DATE: 6/23/2024

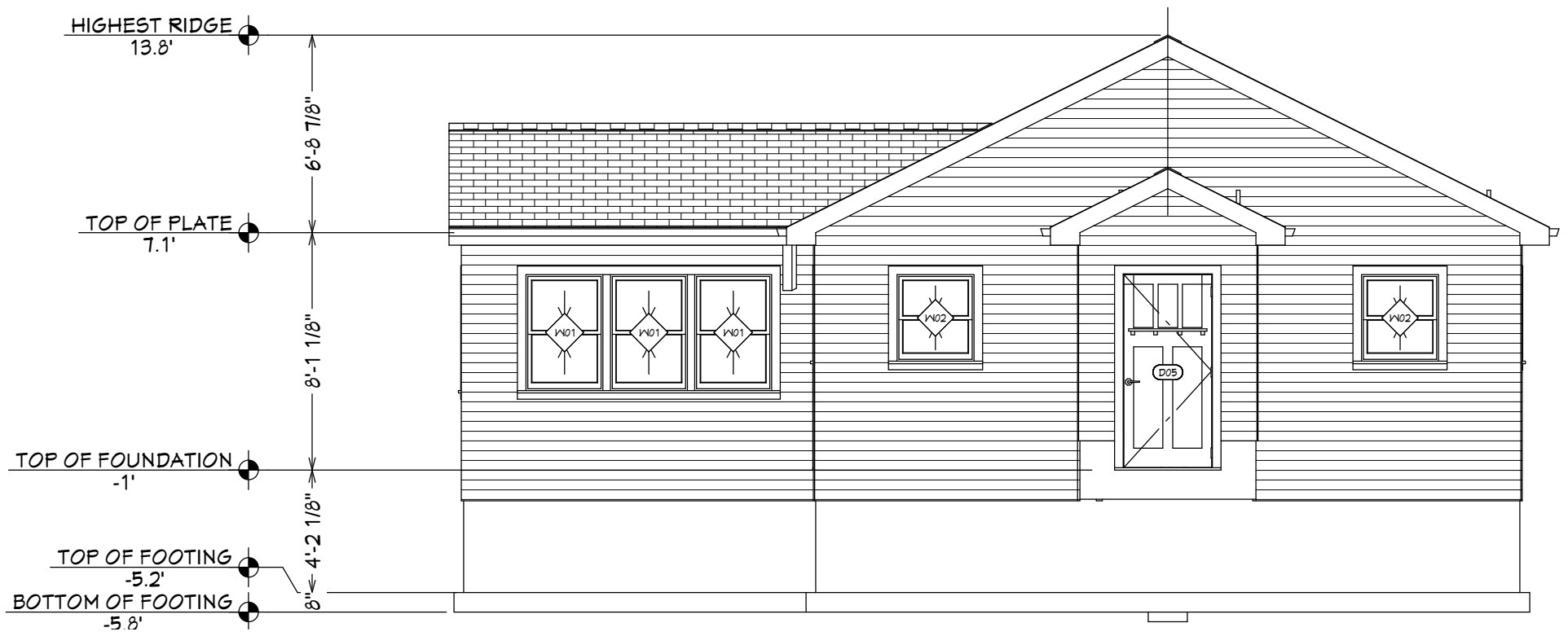
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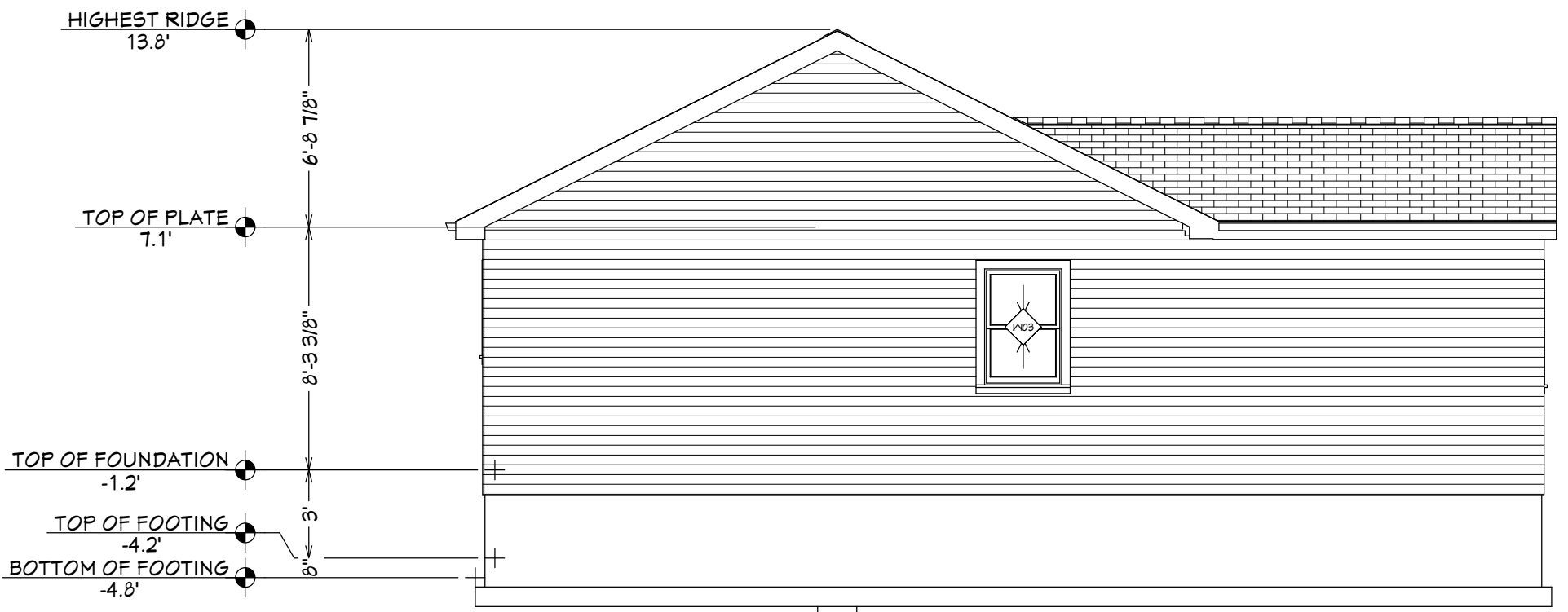
FLOOR PLAN

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

ELEVATION 1 3/16" : 1'



ELEVATION 2 3/16" : 1'



SHEET:	1" : 12'	SCALE:	6/23/2024	DATE:
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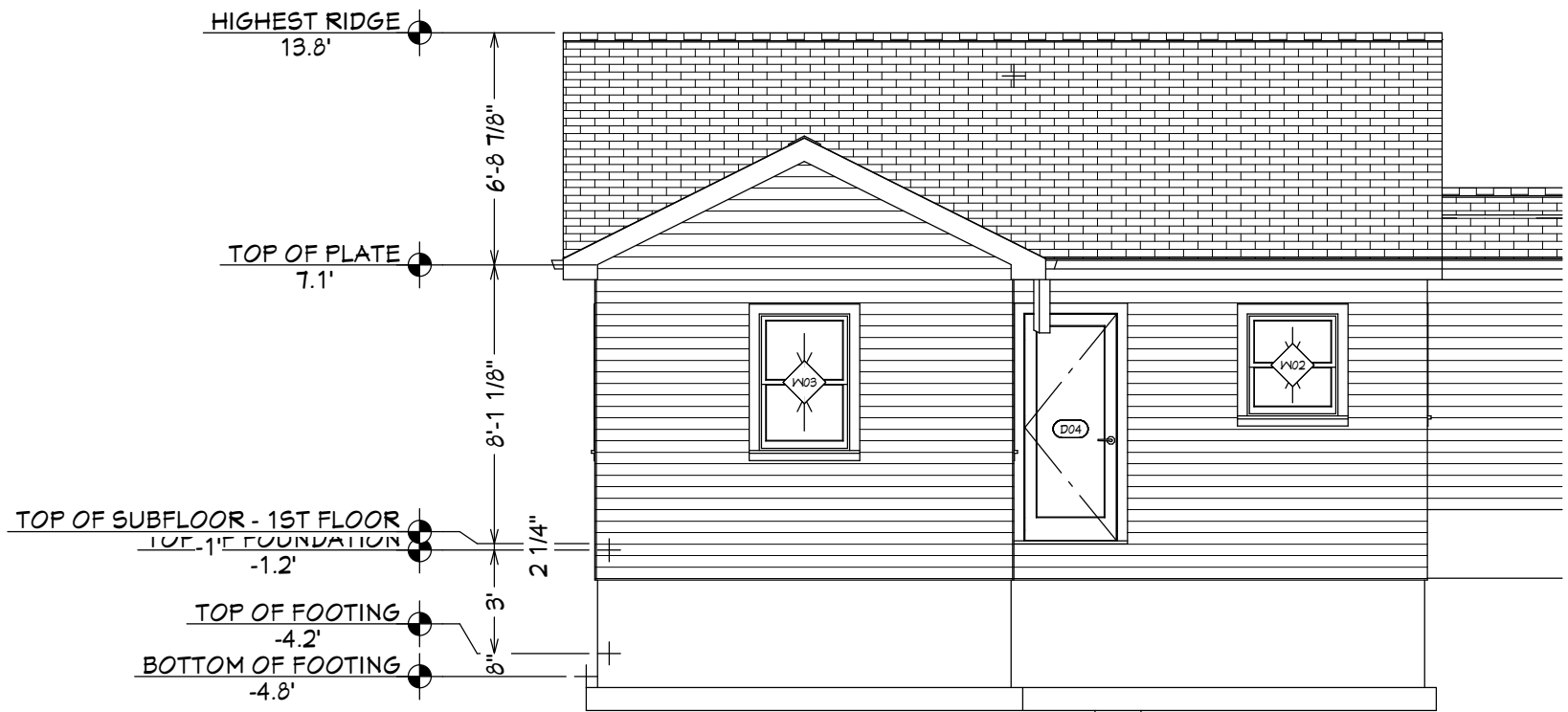
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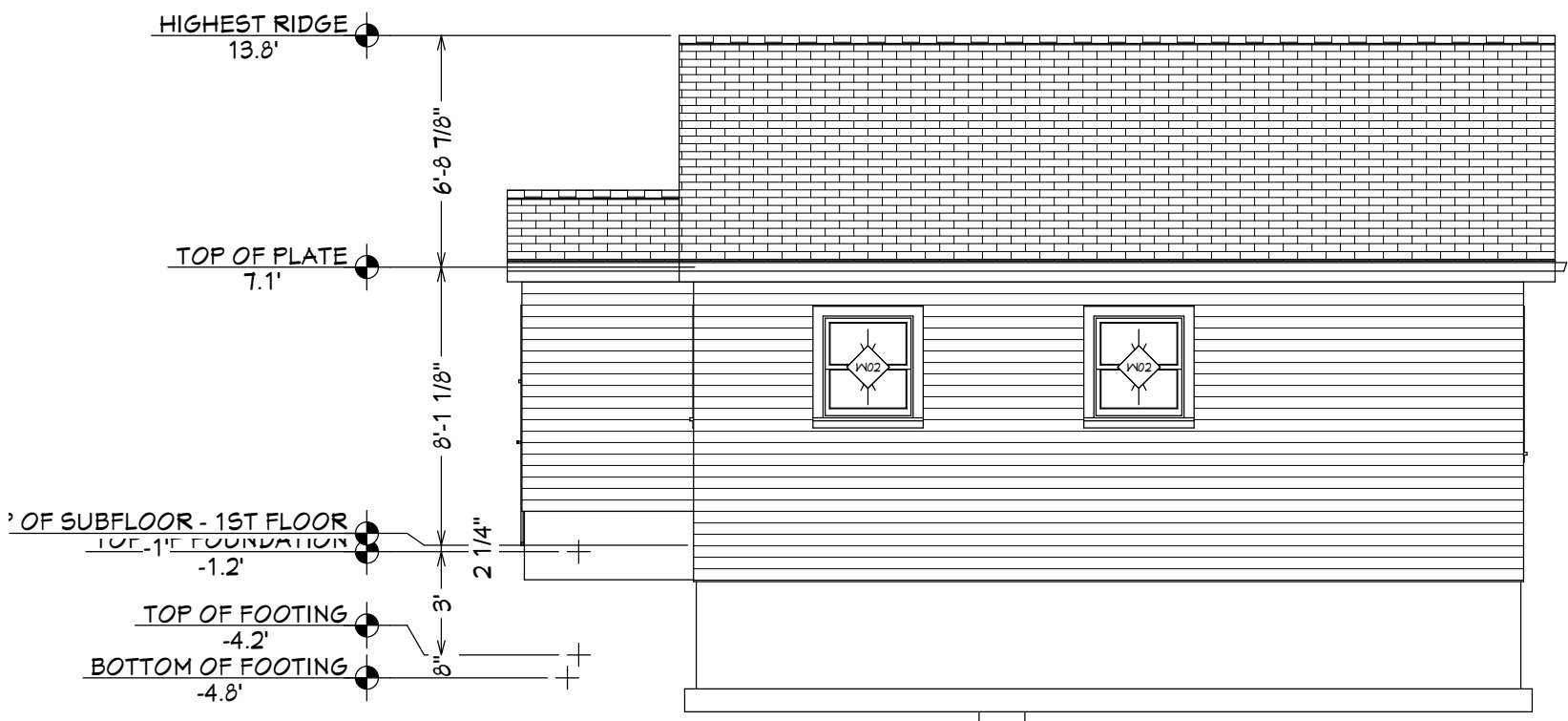
ELEVATIONS

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

ELEVATION 3 3/16" : 1'



ELEVATION 4 3/16" : 1'



SHEET:

1" : 12'

SCALE:

6/23/2024

DATE:

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ELEVATIONS

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NUMBER	DATE	REVISED BY	DESCRIPTION