

Portsmouth, NH - Board of Adjustment
Variance Statement for: 39 Dearborn Ext.

Date: 01.19.23

Chairman of the Board of Adjustment
C/O Planning Department City of Portsmouth
1 Junkins Ave.
Portsmouth, NH 03801

To The Chairman of the Board of Adjustment,

Please find this statement as addressing the requirements for a variance on the proposed project located at 39 Dearborn Ext.

Overview: The existing single-family structure was purchased by the current owners, Shawn and Michiyo Bardong as a home in our community with their three children. The renovated home will remain single-family with some much-needed additional square footage and upgrades to create a more functional home. The proposed renovation would include removing the existing second floor original failed roof system dating roughly to 1800 and replace it with a Dutch Colonial roof system. The second floor will become a primary suite, two small bedroom and a half-bath. There is a poorly built unconditioned mudroom off the front of the house and we are proposing the removal of this structure to be replaced by a conditioned, larger square footage family room. Lastly, we are proposing an extension off the existing kitchen to create a functional mudroom.

Per Section 10.233.21 – The variance will not be contrary to public interest. The house is very difficult to see from any public roadways. (I have included images for reference.) Only the direct neighbors can see the home and we will not be interrupting any views or sunlight to their structures.

Per Section 10.233.22 - The spirit of the Ordinance will be observed. With this addition / renovation we will be able to create a lovely courtyard with granite landing / steps between the driveway and house. This will finish a great deal of what has already been approved and bringing it to fruition.

Per Section 10.233.23 – Substantial Justice will be done. The existing home is already a non-conforming lot with the back setback 2'-6" and the right-side setback 2'-2". We will not be encroaching closer on any other property lines. No harm will be done to the neighborhood or community should this application be granted.

Per Section 10.233.24 - The values of the surrounding properties will not be diminished. The neighborhood is a lovely mix of historic homes, primarily colonials with additions. We believe a Dutch Colonial fits in nicely and is more in

keeping with the neighborhood. We are proposing that the roofline will raise up 7'-0" from the cape to Dutch Colonial and provide the mass needed for the additions to blend into. Instead of many little parts and shapes, we are creating a more consistent design with a nod to history.

Per Section 10.233.25 – Literal enforcement of the provisions of the ordinance would result in hardship.

- a. The current roof system does not have knee walls and with a center ridge of 11' from second floor this leaves very little functional space on the second floor which is currently two small bedroom. By no means could we reach the IRC 2018 building code with the current roof system – especially the energy code.
- b. The existing structure was barged over in roughly 1800 and was viewed as a "camp" of sorts. All other structures in the area are taller than this home.
- c. We are proposing that the family room and mudroom additions stay within the building structures already on the property so as not to encroach any closer to other properties or the water. With the house already tucked into the top left corner of the property, there were very few options of locating these spaces.
- d. The existing structure is not large enough for a family of five with both Shawn and Michiyo working from home. With the housing prices and lack of inventory in Portsmouth, they are willing to invest in the home and "love it back to life".

We encourage the Portsmouth Board of Adjustment to grant the variance to the Bardong Residence.

Submitted respectfully,

Amy Dutton
Amy Dutton Home
9 Walker Street
Kittery, Maine 03904
amy@amyduttonhome.com
207-337-2020

PHOTOS OF EXISTING PROPERTY:



FRONT VIEW



RIGHT SIDE VIEW



LEFT SIDE VIEW



BACK VIEW



VIEW FROM DENNET STREET

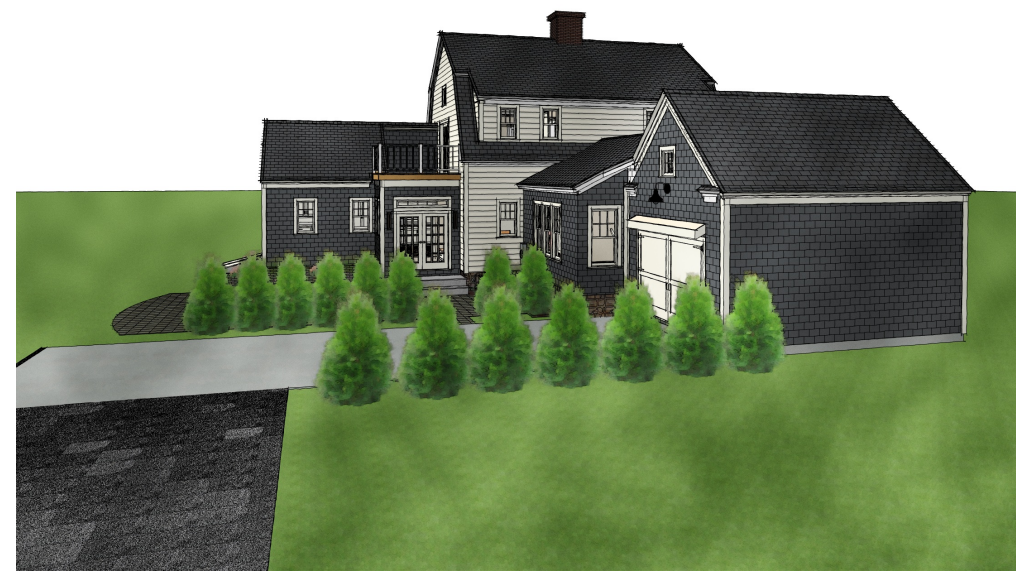


VIEW FROM DEARBORN STREET

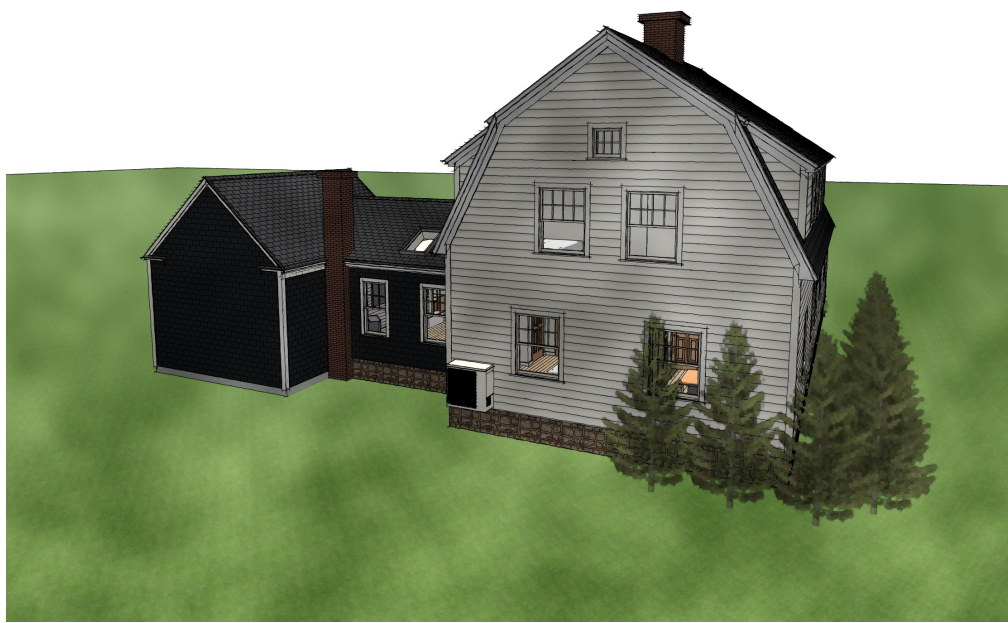


VIEW FROM MAPLEWOOD

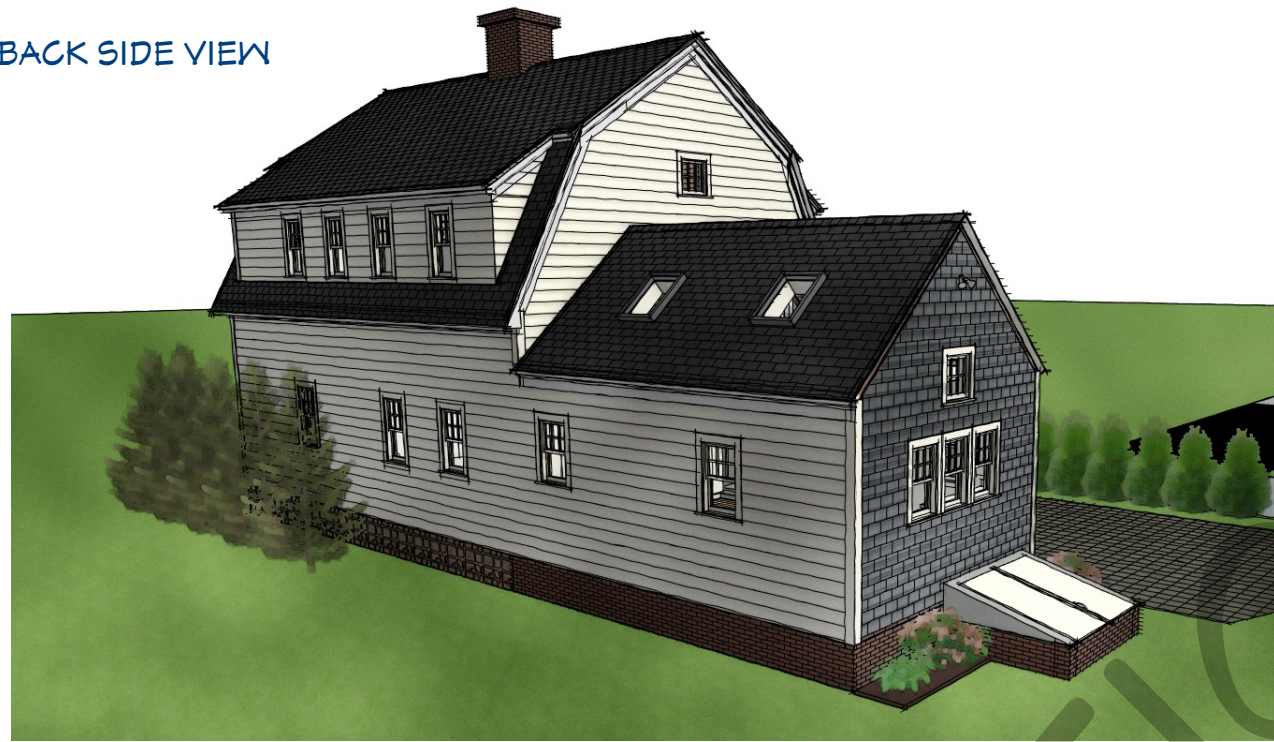
FRONT VIEW



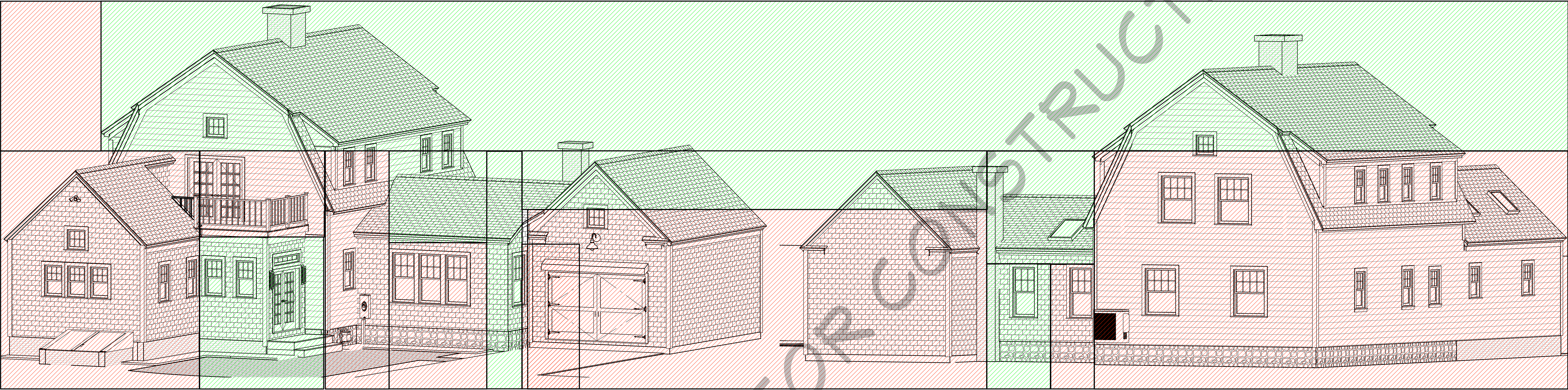
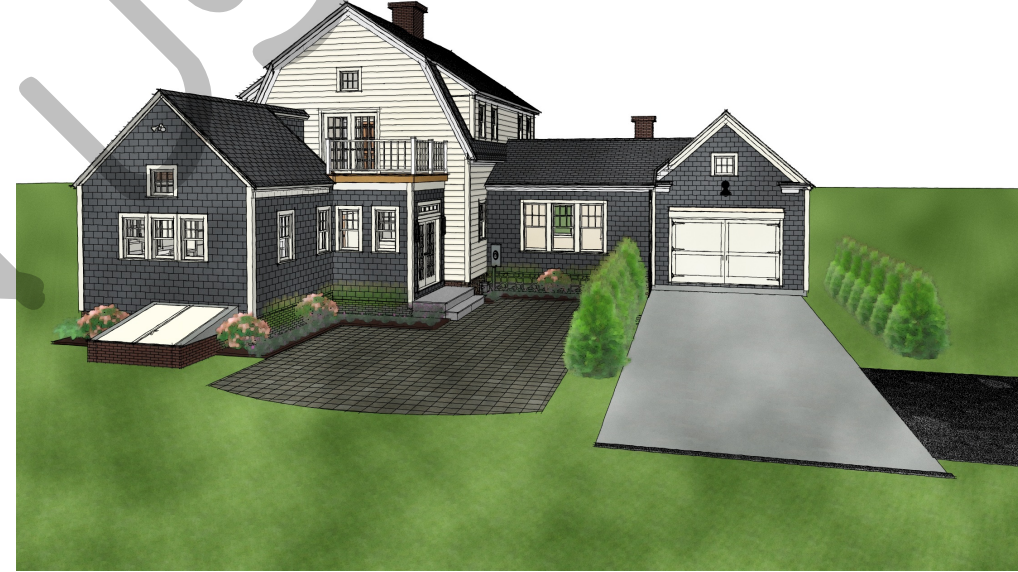
RIGHT SIDE VIEW



BACK SIDE VIEW



SIDE REAR VIEW



OVERVIEW

SCALE: NTS

SPECIFICATIONS + NOTES

- *ROOFING MATERIAL

*ALL TRIM PACKAGE: PVC OR BORAL

*SIDING:

*BRACKETS: ProWood Market - Bracket 02T9 - P 32", H:42", T: 5.5" (Ptd: WHITE)

*COLUMNS:

*STAIR SYSTEM:

 _EXTERIOR:

 *BROSCO: Liberty Extruded Rail System

 *RISER: AZEG- WHITE

 *TREAD: SELECTWOOD, ZURI "Weathered Grey"

 _INTERIOR:

 *NEWEL

 *HANDRAIL

 *BALUSTERS

 *RISER FINISH

 *TREAD

*WINDOWS:

 _MANUFACTURER:

 _EXT. FINISH:

 _INT. FINISH:

*DOORS:

 _MANUFACTURER:

 _EXT. FINISH:

 _INT. FINISH:

*BATHROOMS:

 _FLOORING

 _TUB DESIGN

 _SHOWER FLOOR

 _SHOWER WALLS

 _SHOWER HEADS

 _SHOWER NICHE VS. SHELVES

 _SHOWER DOOR

 _NOTE: MAJOR PLUMBING CHANGES
- *FLOORING:

 _1ST FLOOR:

 _2ND FLOOR:

 _HEATED FLOOR:

 _REFINISH AREAS:

*KITCHEN:

 _CABINETRY NOTES: Specs to be prepared on 11 x 17 doc.

 _BUILT-IN NOTES:

 _APPLIANCES

*MANTLE:

*FIREPLACE:

 _GAS

 _WOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK

 _HEARTH: RAISED VS. FLUSH

 *MATERIAL:

NOTES:

*CEILING HEIGHTS: 1ST FLOOR: _____ | 2ND FLOOR: _____

*CORNER BOARDS: 6" TYP

*WATER TABLE: 10" W/ COPPER FLASHING TYP.

*RAKE BOARD: 8" TYP. PVC OR BORAL. (FILLED & PAINTED)

*SOFFIT - BEADBOARD AZEG OR EQ.

*ROOF VENT - RIDGE VENT VS. BROSCO LOUVERED VENT VS. SOFFIT VENT

*ARCHITECTURAL DETAIL:

*WINDOW TRIM: 4-1/2" TYP. PVC

TOTAL SQUARE FOOTAGE:

 _NEW

 _RENOVATED SF

 _TOTAL

@ABRIGO HOME
DRAWINGS USED EXPRESSIVELY FOR
DESIGN ONLY FOR NOTED CLIENT. ALL
STRUCTURAL ENGINEERING PROVIDED BY
OTHER.

Building contractor / home owner to review and verify all
dimensions, specs and connections before construction
begins.
ELECTRICAL SYSTEM CODE: IEC 2017
MECHANICAL SYSTEM CODE: IMC 2015
PLUMBING SYSTEM CODE: 2021 Uniform Plumbing Code

FINAL CD SET DATE: 01.09.23

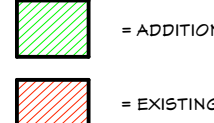
LIVING AREA

MAIN FLOOR	1342sqft
2ND FLOOR	744sqft
TOTAL	2086sqft

DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS.

WALL LEGEND



Layout Page Table

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C-1	KITCHEN CABINETRY
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C-3	CABINETRY
C-4	COUNTERTOP & TILE PLAN
C-5	COUNTERTOP & TILE QUANTITIES
C-6	CABINET SCHEDULE
FP-1	FURNITURE PLAN
FP-2	FURNITURE SCHEDULE

OVERVIEW

CLIENT:

ABRIGO HOME
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:

ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:

2/9/2023

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SCALED FOR:

24" X 36"

SCALE:

SEE SCALE

ON DRAWINGS

SHEET:

0-1

Revision Table

Number

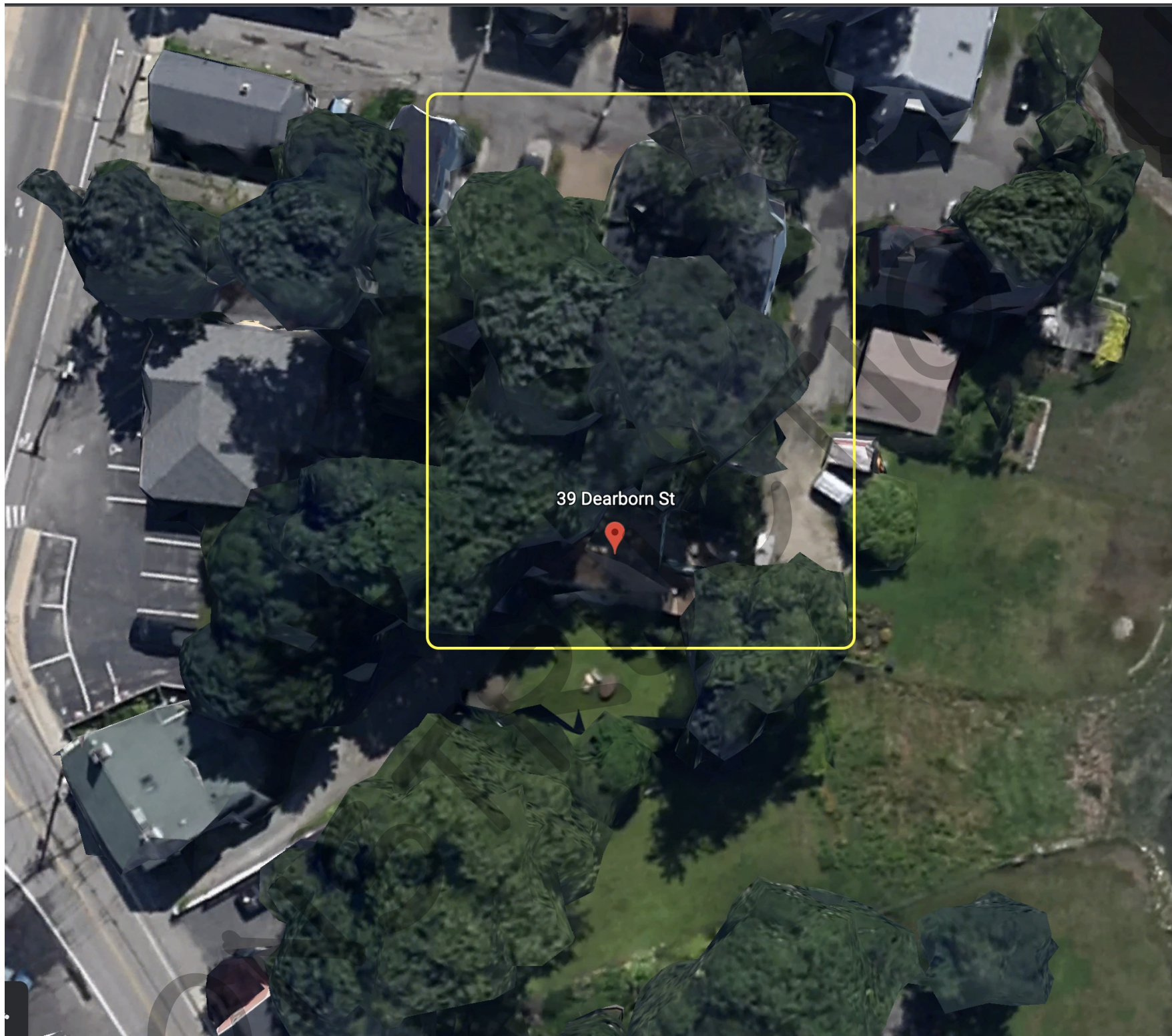
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Description

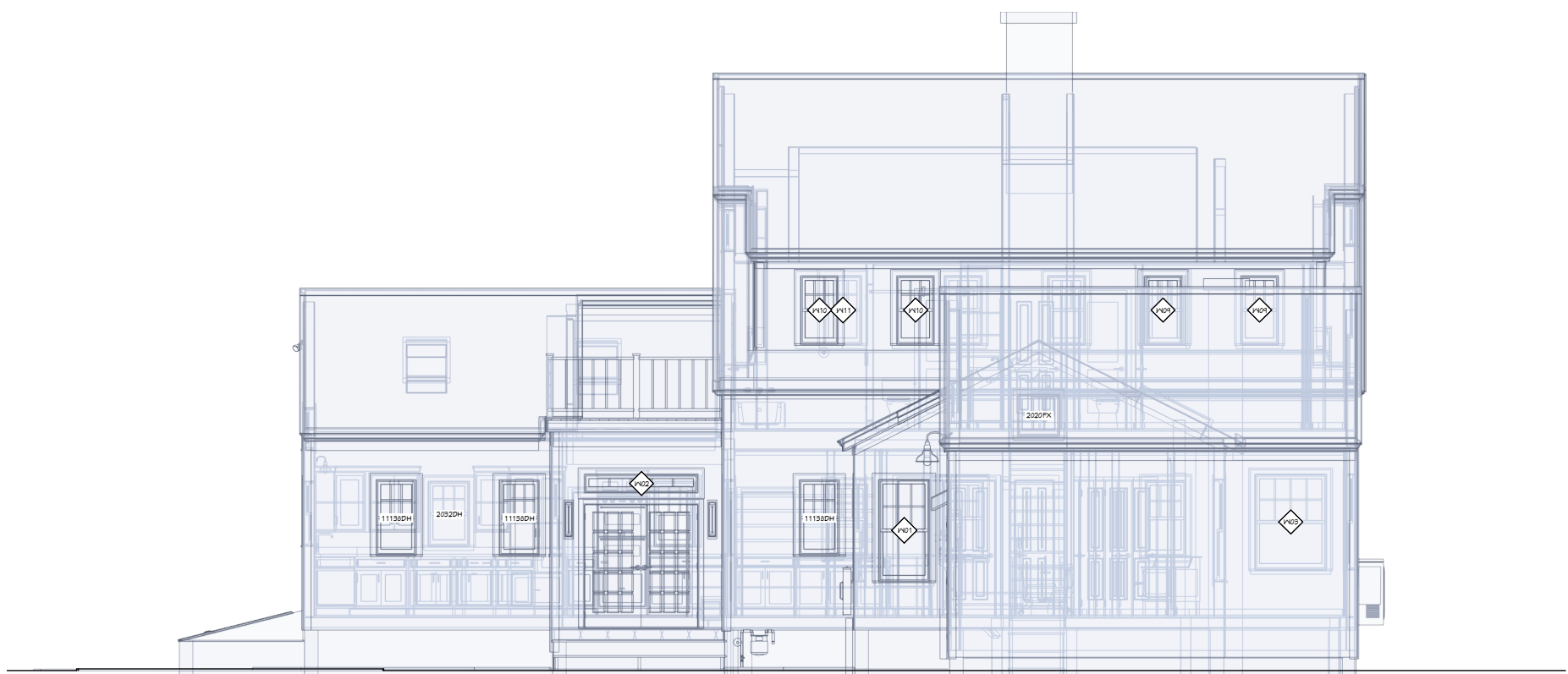


CITY OF PORTSMOUTH - MAP GEO GIS

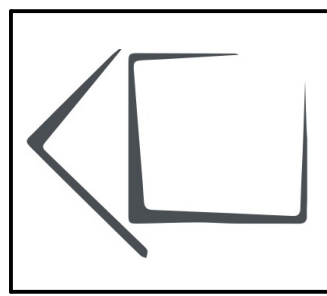
SITE PLAN



GOOGLE SATELITE SITE



GLASS HOUSE ELEVATION FROM EAST
SCALE: 1/8" = 1'-0"



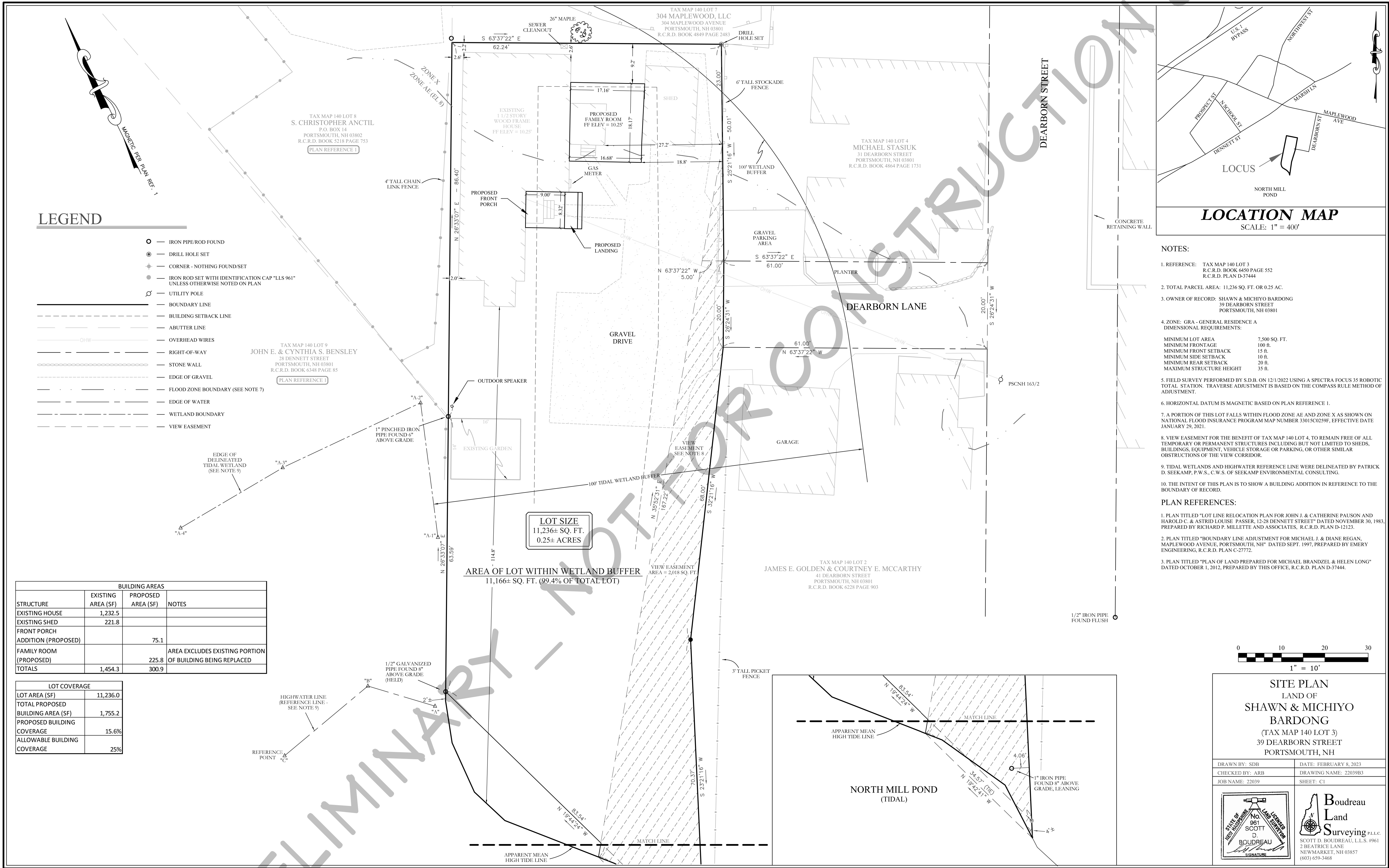
Revision Table	
Number	Description

PLOT PLAN

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
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PORTSMOUTH, NH 03801
201.345.6050

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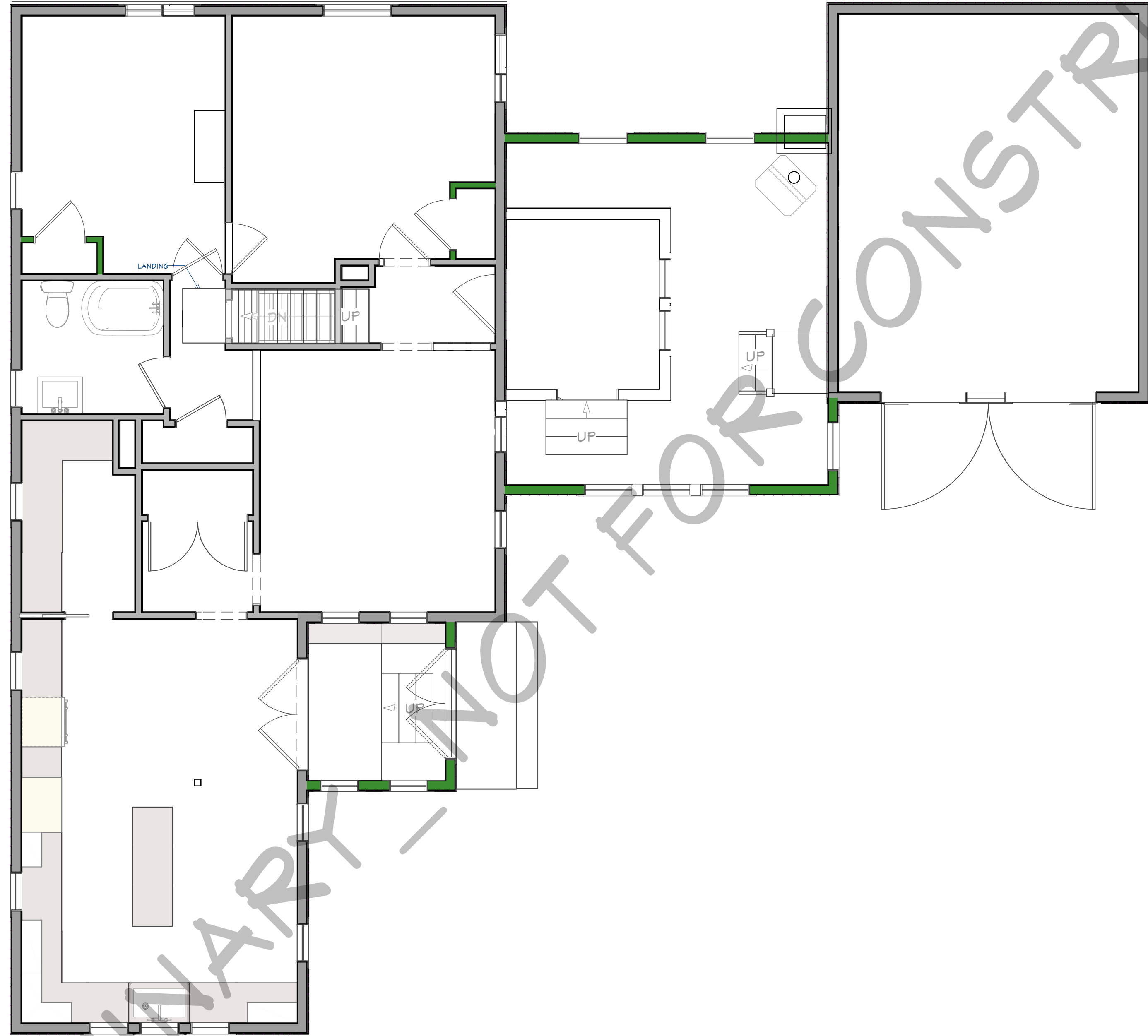
DEMOLITION NOTES

GENERAL NOTES

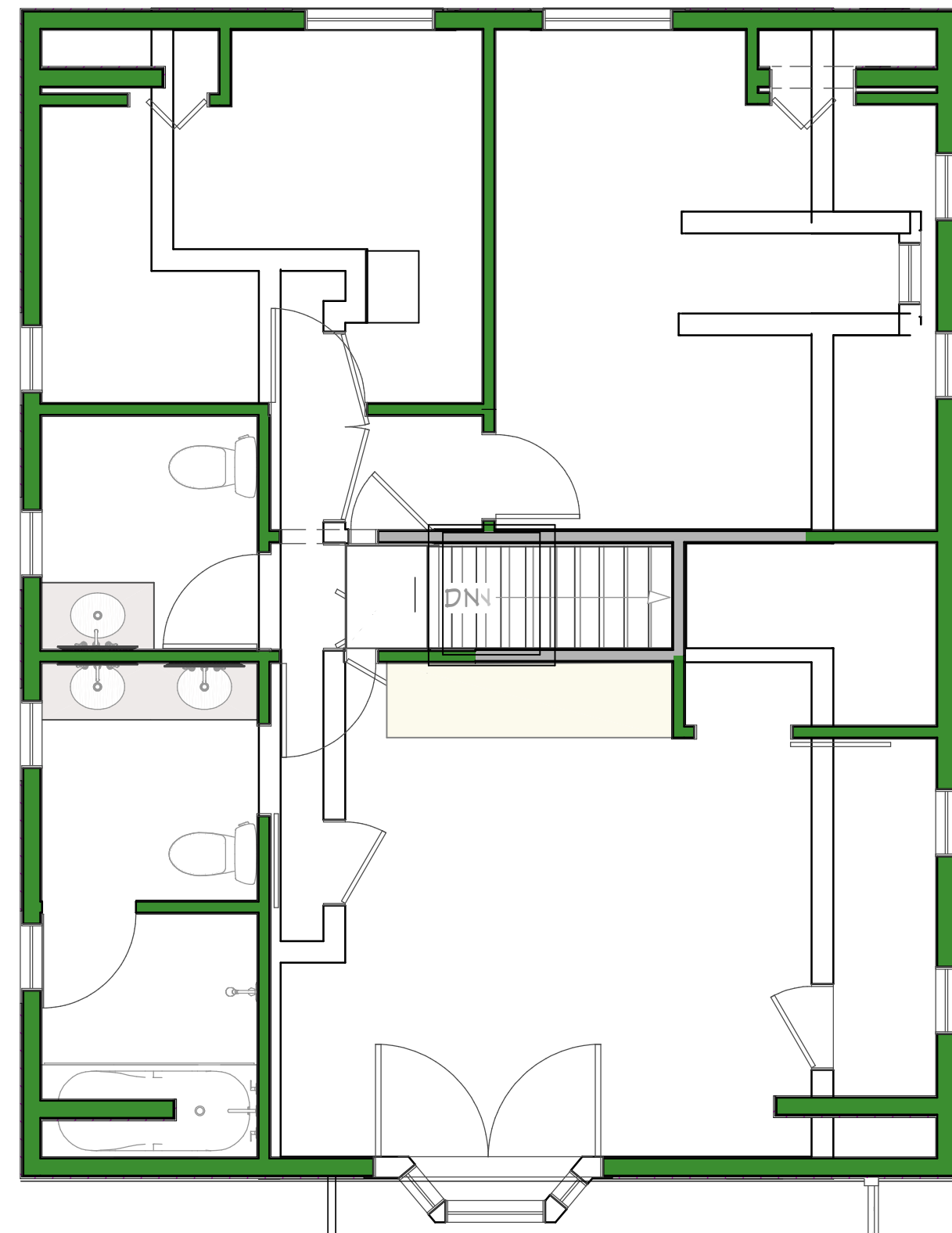
1. PROVIDE SELECTIVE DEMOLITION TO REMOVE EX. FLOOR, WALLS, CEILING, WINDOWS AND ROOF SYSTEMS IDENTIFIED. CONFIRM EXACT LOCATION W/ DESIGNER AND CIVIL ENGINEER PRIOR TO SELECTIVE DEMOLITION COMMENCEMENT. CONSULT WITH DESIGN PROFESSIONAL FOR ALL REQUIRED TEMPORARY SHORING AND SUPPORTS.
2. CUT EXISTING FOUNDATION TO LOCATION IDENTIFIED AND PREPARE FOR NEW FOUNDATION WALL.
3. EXISTING FOUNDATION WALL TO BE CUT AND REMAIN IN PLACE. REMOVE SILL PLATES OR OTHER LUMBER AND CUT BACK ANCHOR BOLTS TO TOP OF WALL. FILL VOID WITH SAND AND/ OR SOILS CONSISTENT WITH SURROUNDING MATERIALS.

WALL LEGEND

- █ = EXTERIOR WALL
- ▤ = INTERIOR 6
- ▥ = INTERIOR 4
- █ = NEW WALL
- ▨ = DEMO WALL
- ▩ = GLASS TOP TILE BOTTOM PONY WALL
- ▬ = GLASS SHOWER WALL



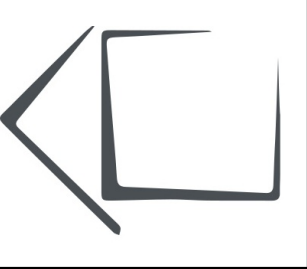
FIRST FLOOR



SECOND FLOOR

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



Revision Table	
Number	Description

DEMOLITION PLAN

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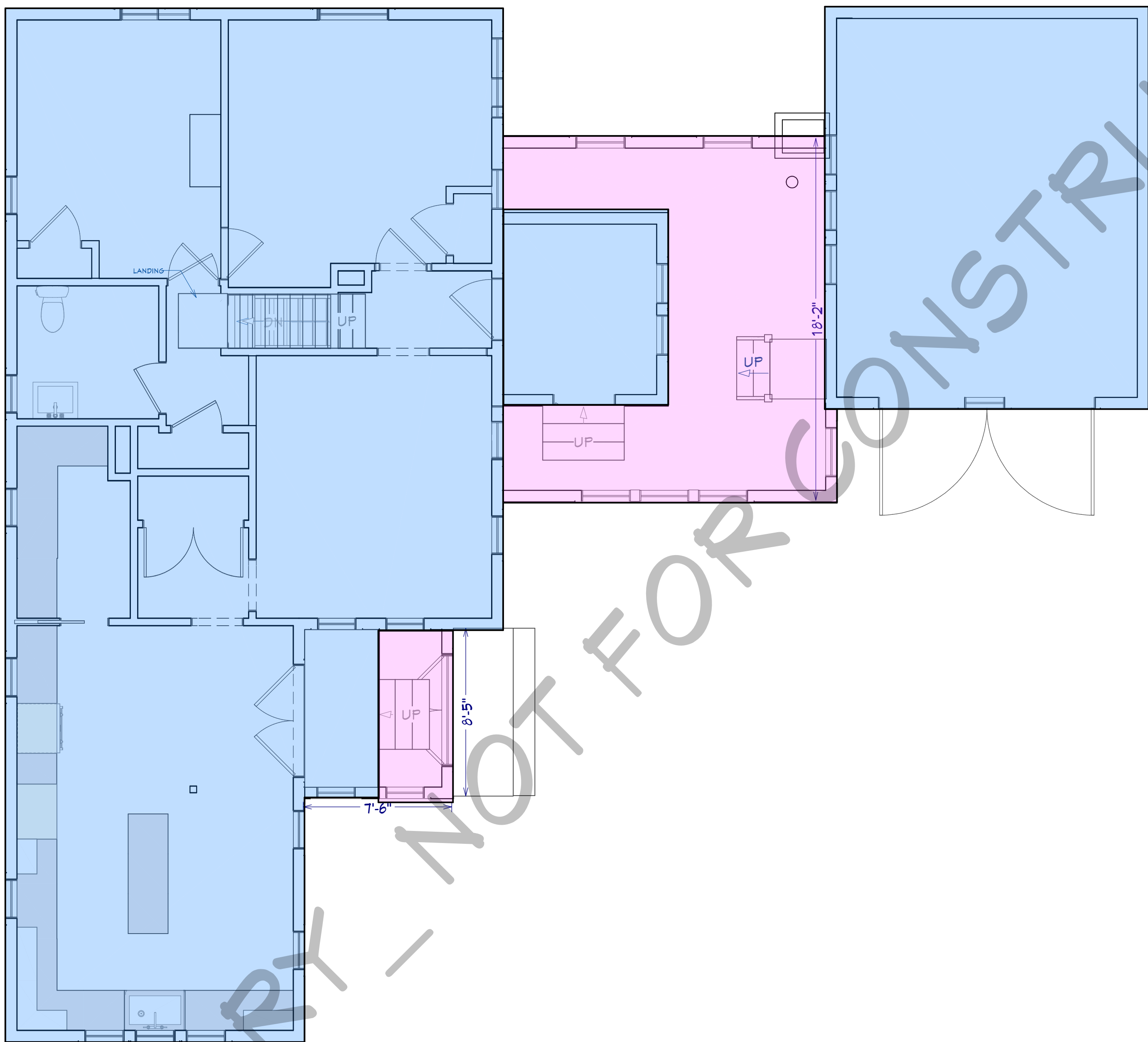
DEMOLITION NOTES

GENERAL NOTES

1. PROVIDE SELECTIVE DEMOLITION TO REMOVE EX. FLOOR, WALLS, CEILING, WINDOWS AND ROOF SYSTEMS IDENTIFIED. CONFIRM EXACT LOCATION W/ DESIGNER AND CIVIL ENGINEER PRIOR TO SELECTIVE DEMOLITION COMMENCEMENT. CONSULT WITH DESIGN PROFESSIONAL FOR ALL REQUIRED TEMPORARY SHORING AND SUPPORTS.
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CAD BLOCK GUIDE

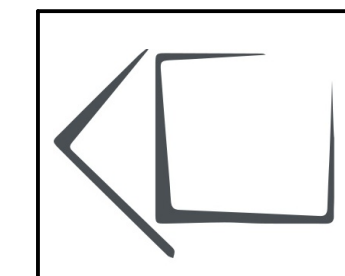
- EXISTING FOOTPRINT (1609 SQFT)
- PROPOSED ADDITION (1161 SQFT)
- PROPOSED DECK (439 SQFT)



FIRST FLOOR

RENOVATION PLAN

SCALE: 1/4" = 1'-0"



Revision Table	
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RENOVATION PLAN

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SCALE:








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WALL LEGEND

-  = EXTERIOR WALL
-  = INTERIOR 6
-  = INTERIOR 4
-  = NEW WALL
-  = DEMO WALL
-  = GLASS TOP TILE BOTTOM PONY WALL
-  = GLASS SHOWER WALL

Revision Table	
Number	Date Description

FOUNDATION

CLIENT:
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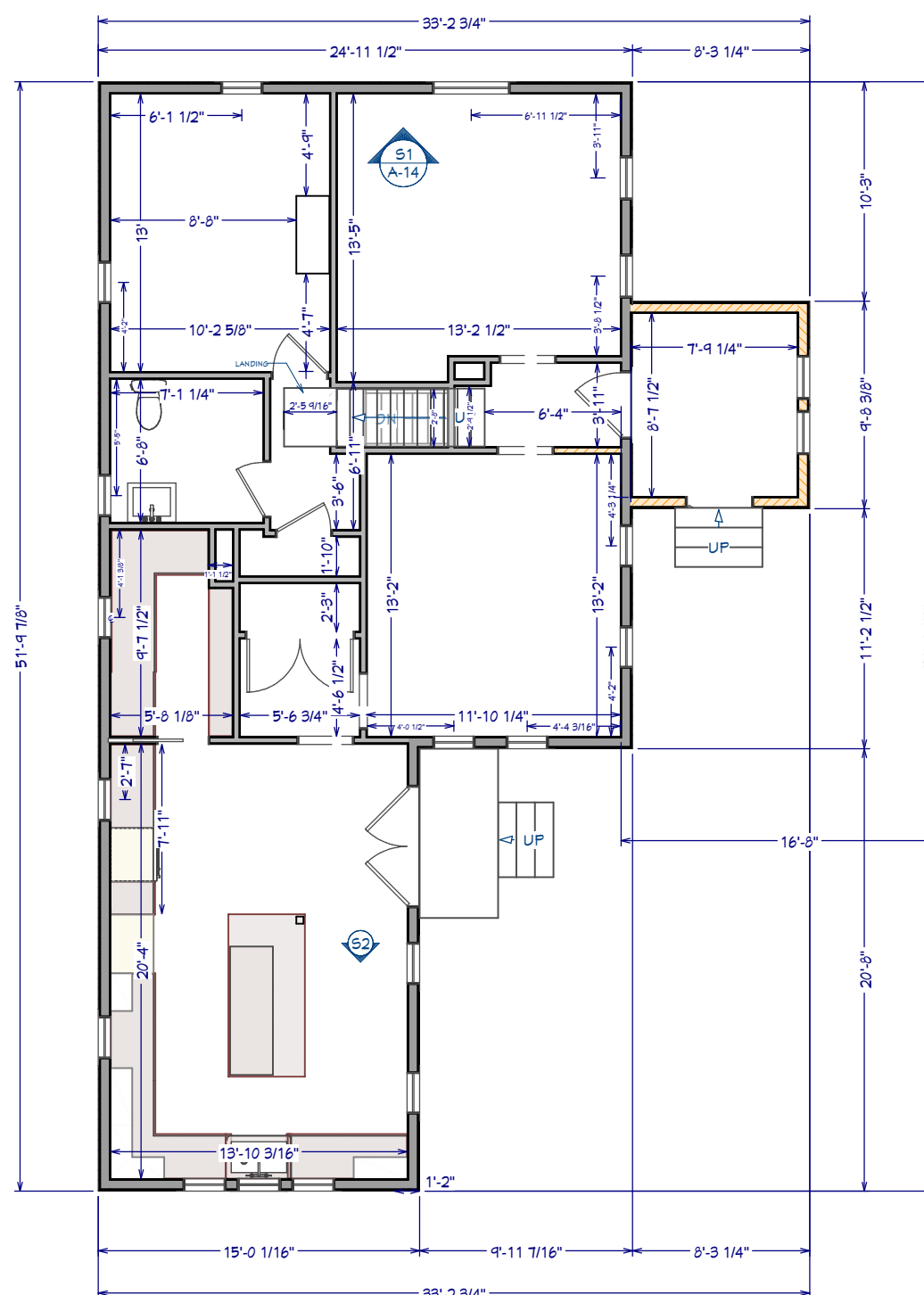
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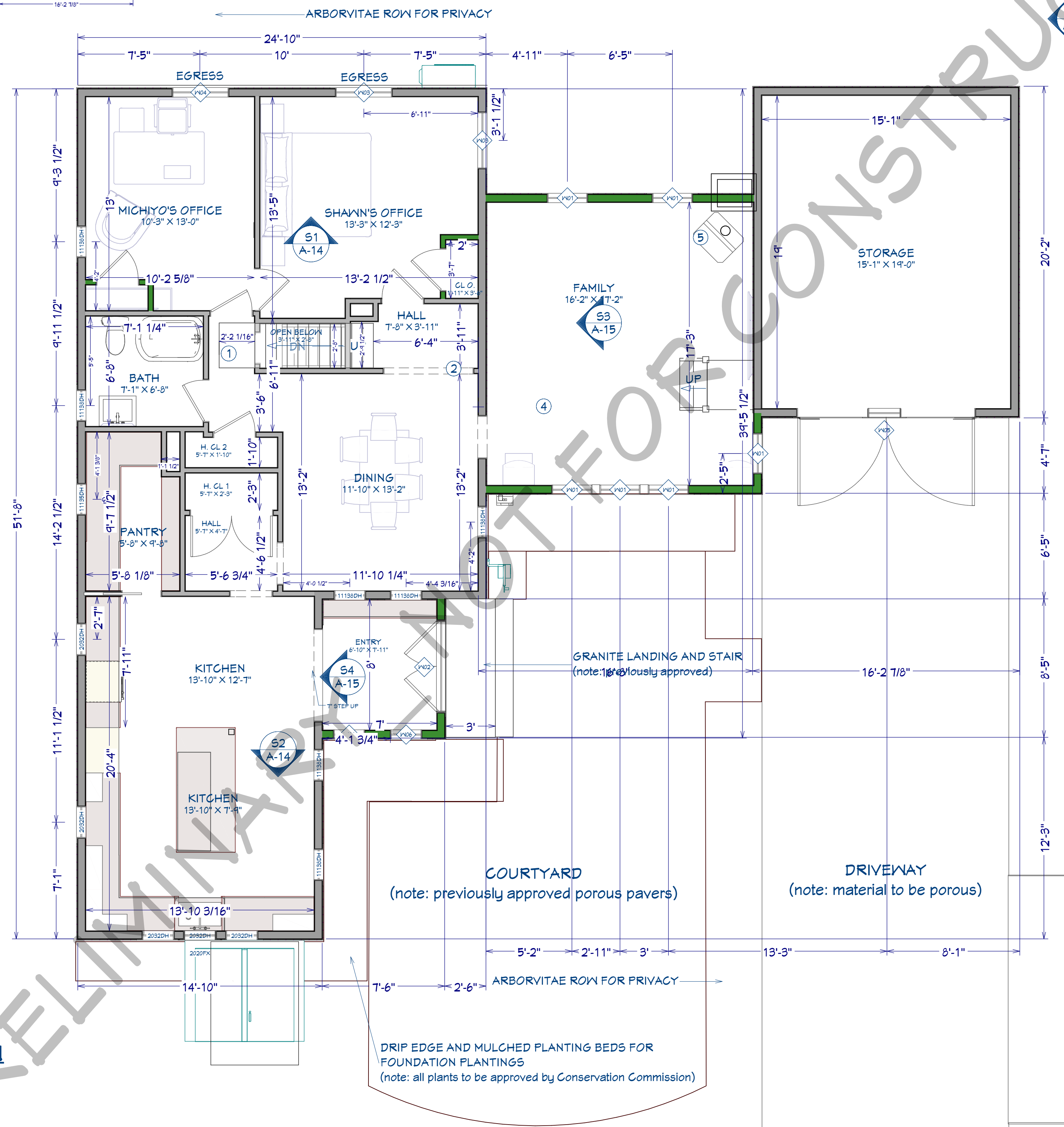
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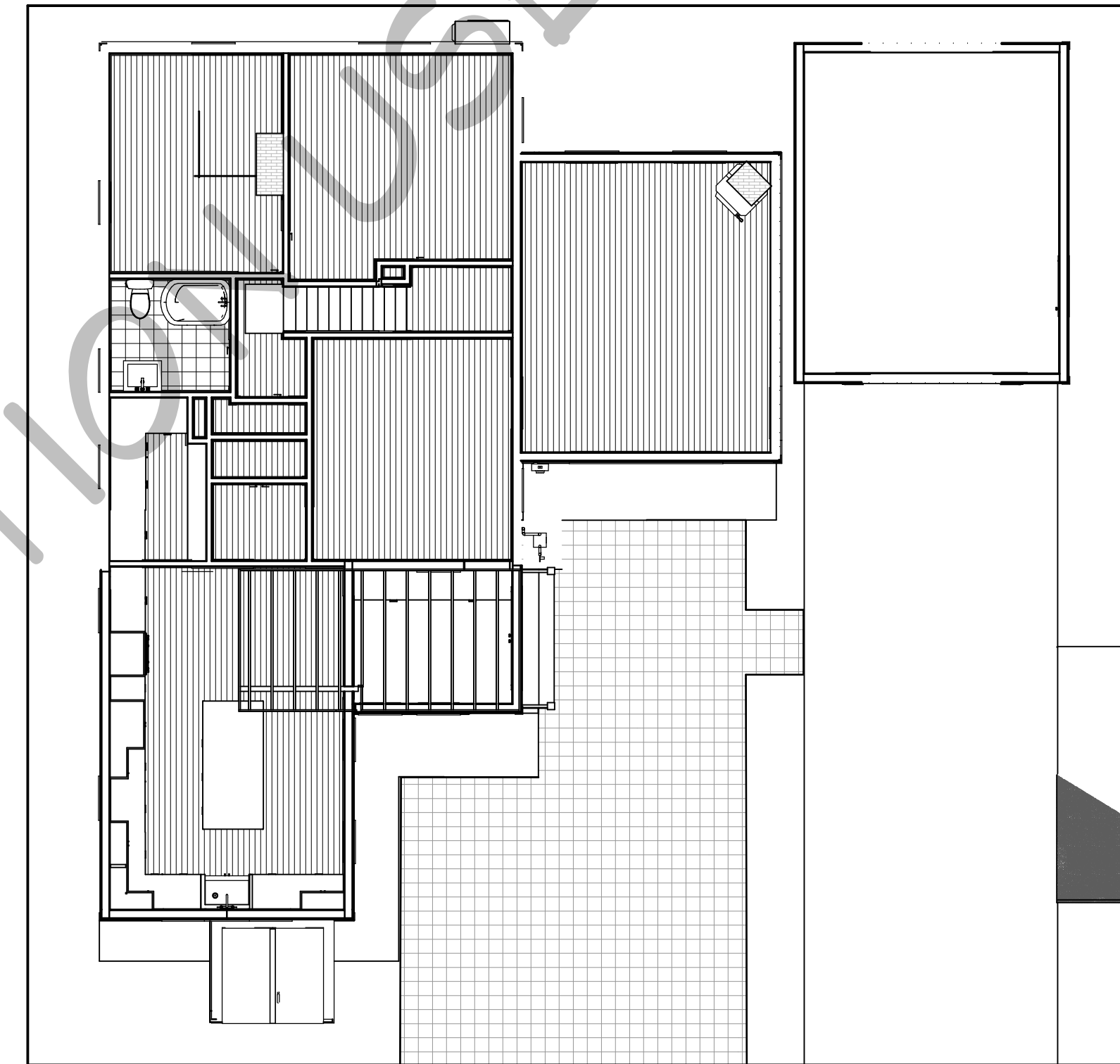
A-4



EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PERSPECTIVE VIEW
SCALE: NTS

NOTE SCHEDULE	
①	LANDING
②	OPEN KIDER
④	DOOR TO BE MOVED
⑤	WOOD STOVE

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL

Revision Table		
Number	Date	Description

FIRST FLOOR

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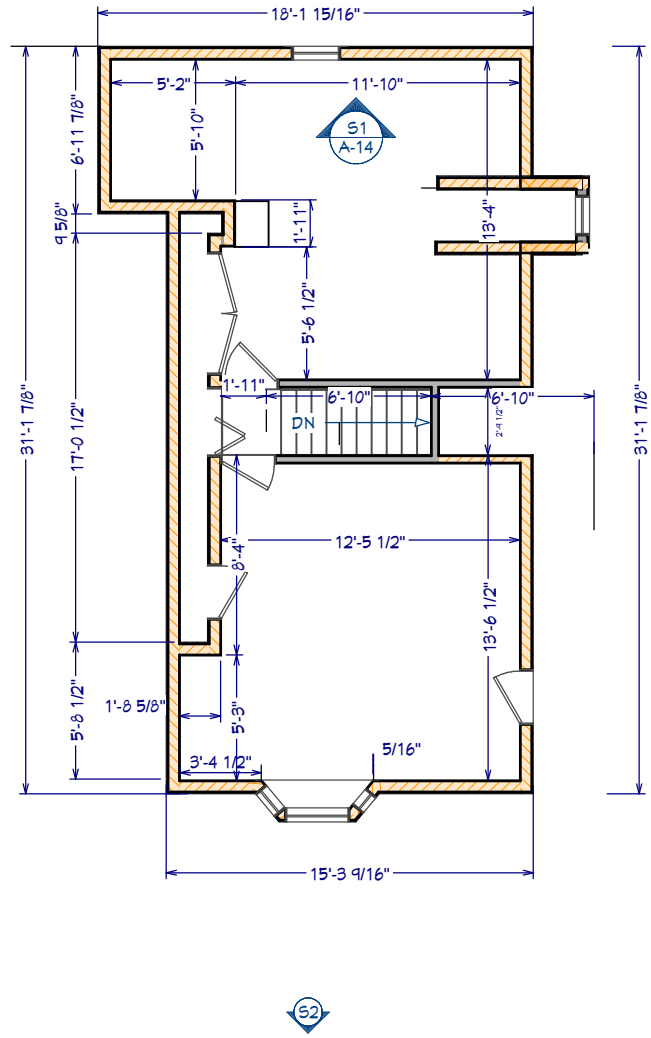
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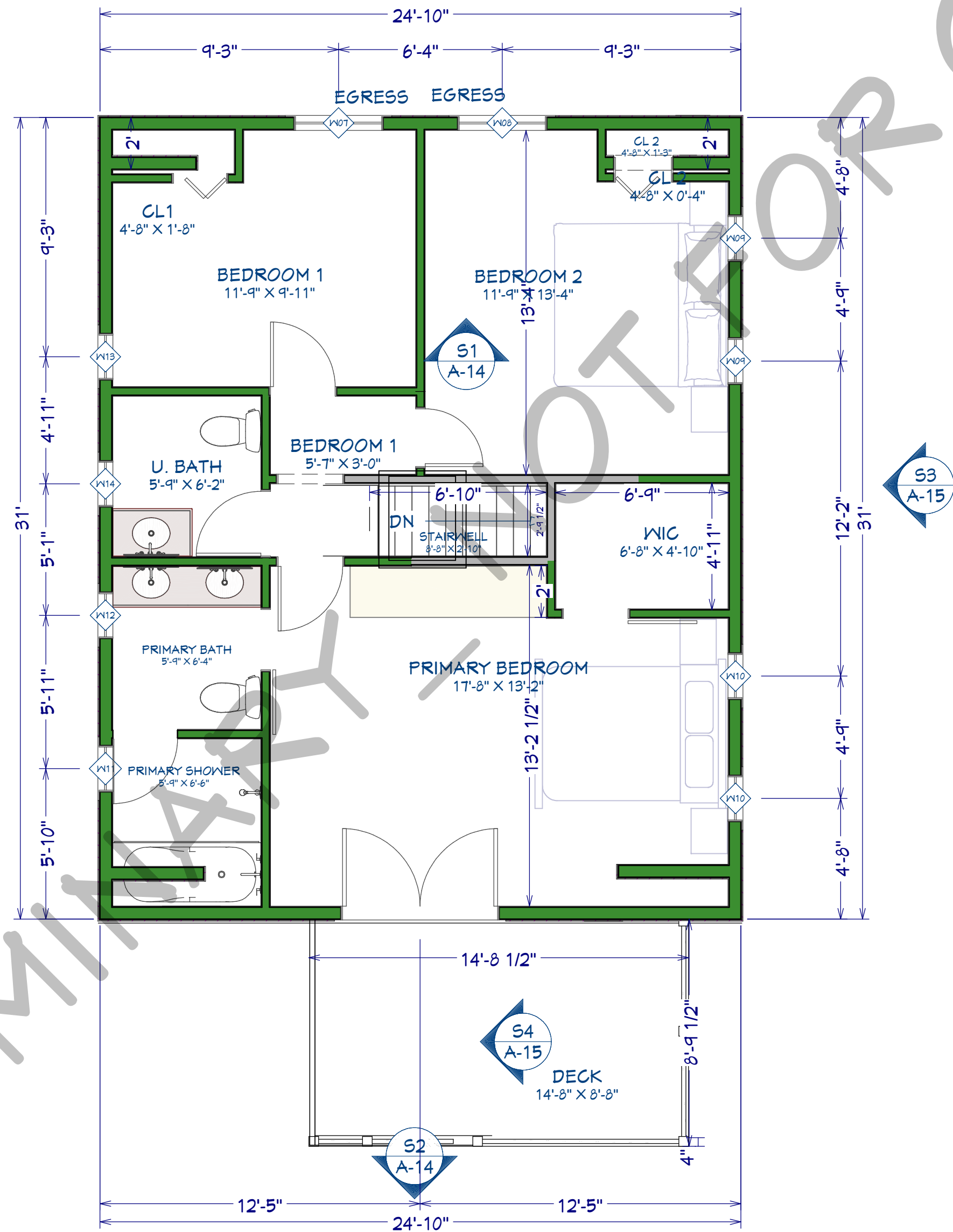
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SCALE:
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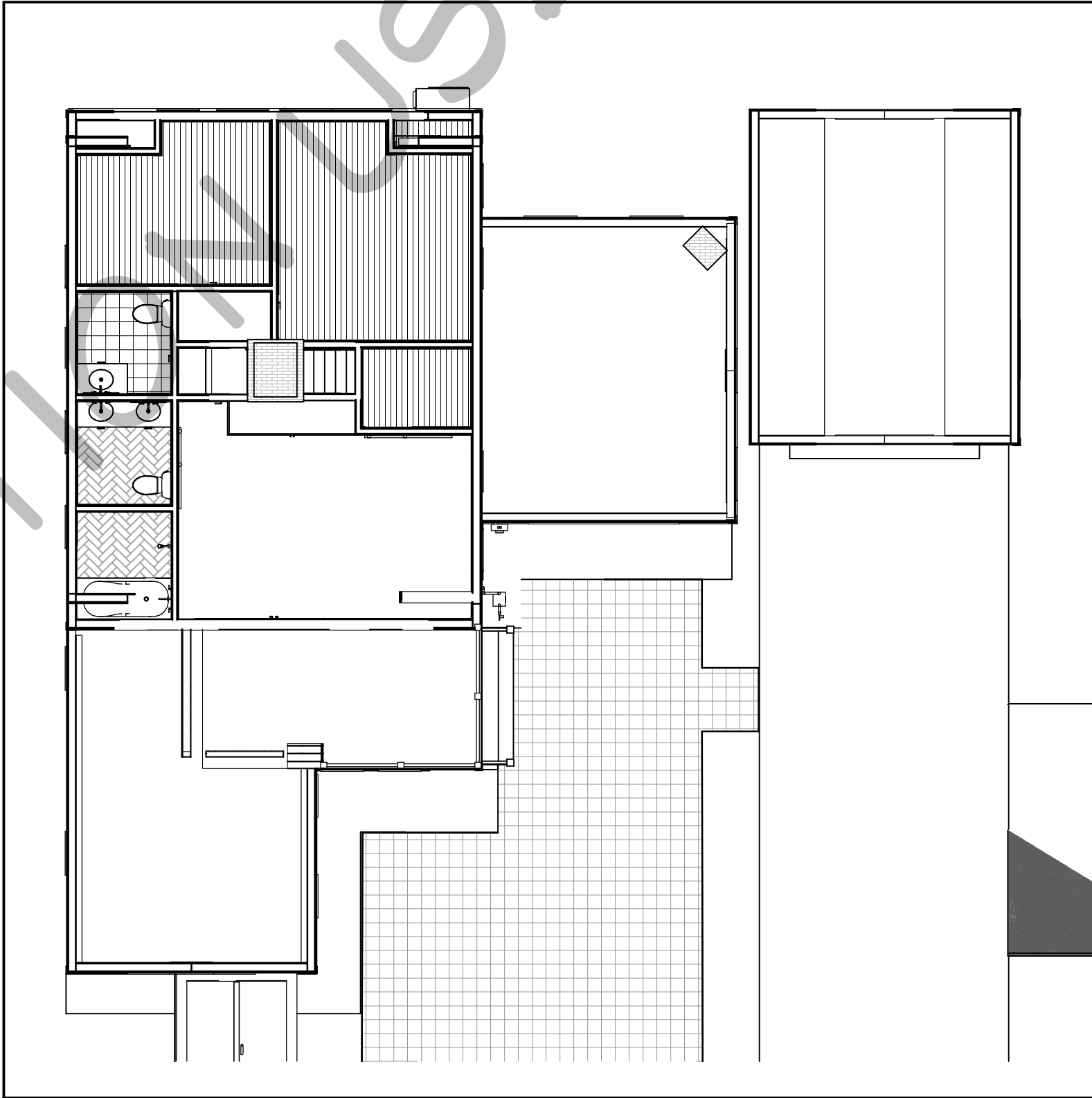
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A-5



EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



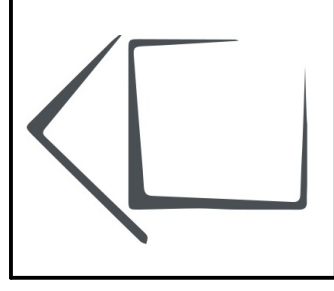
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PERSPECTIVE VIEW
SCALE: NTS

NOTE SCHEDULE	
①	LANDING
②	OPEN WIDER
④	DOOR TO BE MOVED
⑤	WOOD STOVE

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



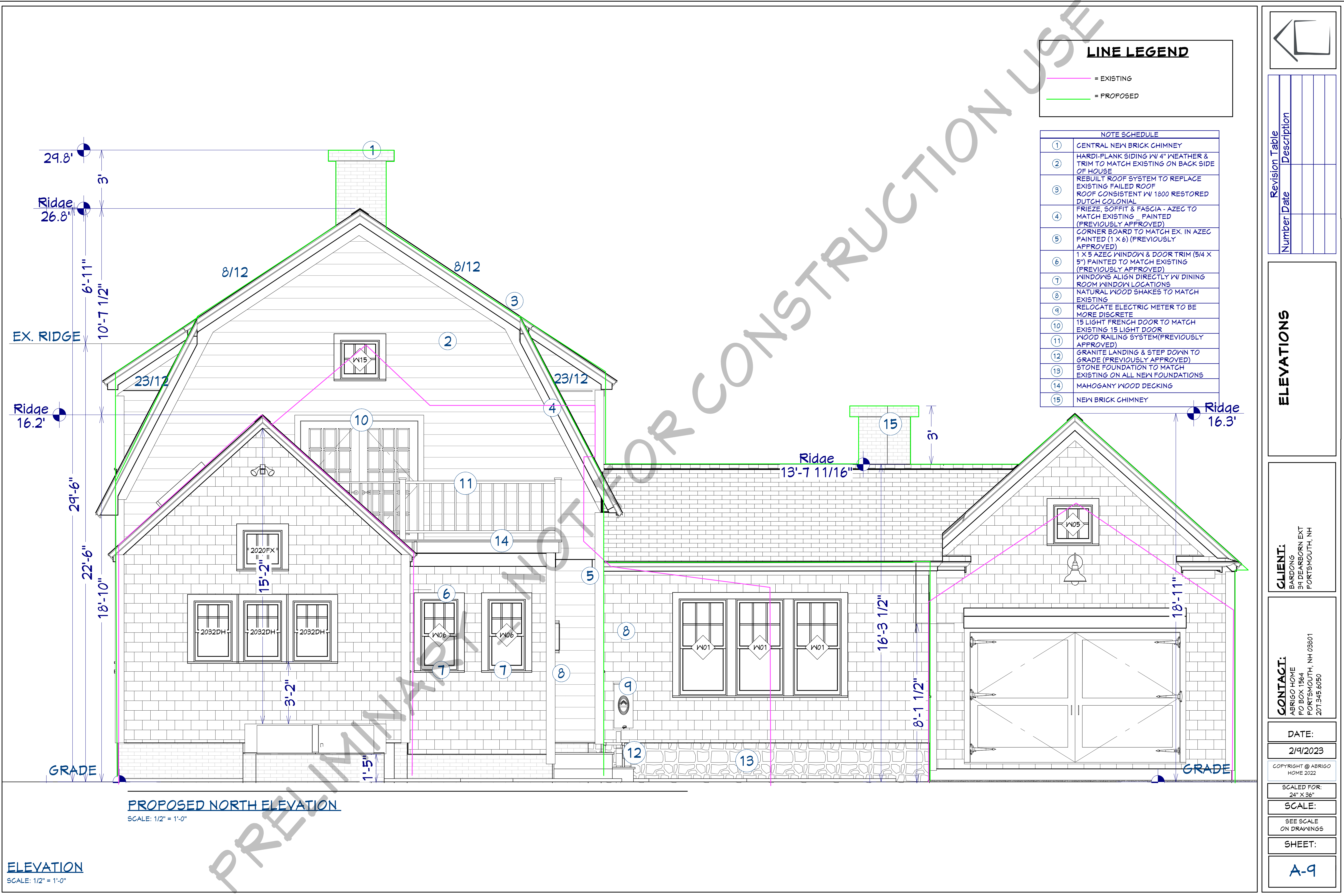
Revision Table	
Number	Date

SECOND FLOOR

CLIENT:
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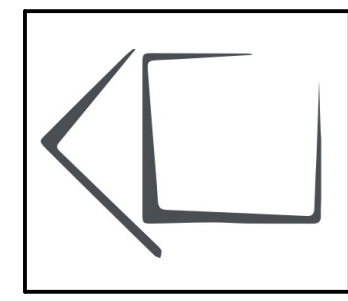
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LINE LEGEND	
—	= EXISTING
—	= PROPOSED

NOTE SCHEDULE	
①	CENTRAL NEW BRICK CHIMNEY
②	HARDI-PLANK SIDING W/ 4" WEATHER & TRIM TO MATCH EXISTING ON BACK SIDE OF HOUSE
③	REBUILT ROOF SYSTEM TO REPLACE EXISTING FAILED ROOF. ROOF CONSISTENT W/ 1800 RESTORED DUTCH COLONIAL
④	FRIEZE, SOFFIT & FASCIA - AZEC TO MATCH EXISTING. PAINTED (PREVIOUSLY APPROVED)
⑤	CORNER BOARD TO MATCH EX. IN AZEC PAINTED (1 X 6) (PREVIOUSLY APPROVED)
⑥	1 X 5 AZEC WINDOW & DOOR TRIM (5/4 X 5") PAINTED TO MATCH EXISTING (PREVIOUSLY APPROVED)
⑦	WINDOWS ALIGN DIRECTLY W/ DINING ROOM WINDOW LOCATIONS
⑧	NATURAL WOOD SHAKES TO MATCH EXISTING
⑨	RELOCATE ELECTRIC METER TO BE MORE DISCRETE
⑩	15 LIGHT FRENCH DOOR TO MATCH EXISTING 15 LIGHT DOOR
⑪	WOOD RAILING SYSTEM (PREVIOUSLY APPROVED)
⑫	GRANITE LANDING & STEP DOWN TO GRADE (PREVIOUSLY APPROVED)
⑬	STONE FOUNDATION TO MATCH EXISTING ON ALL NEW FOUNDATIONS
⑭	MAHOGANY WOOD DECKING
⑮	NEW BRICK CHIMNEY



Revision Table	
Number	Date

ELEVATIONS

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EXISTING FRONT HOUSE



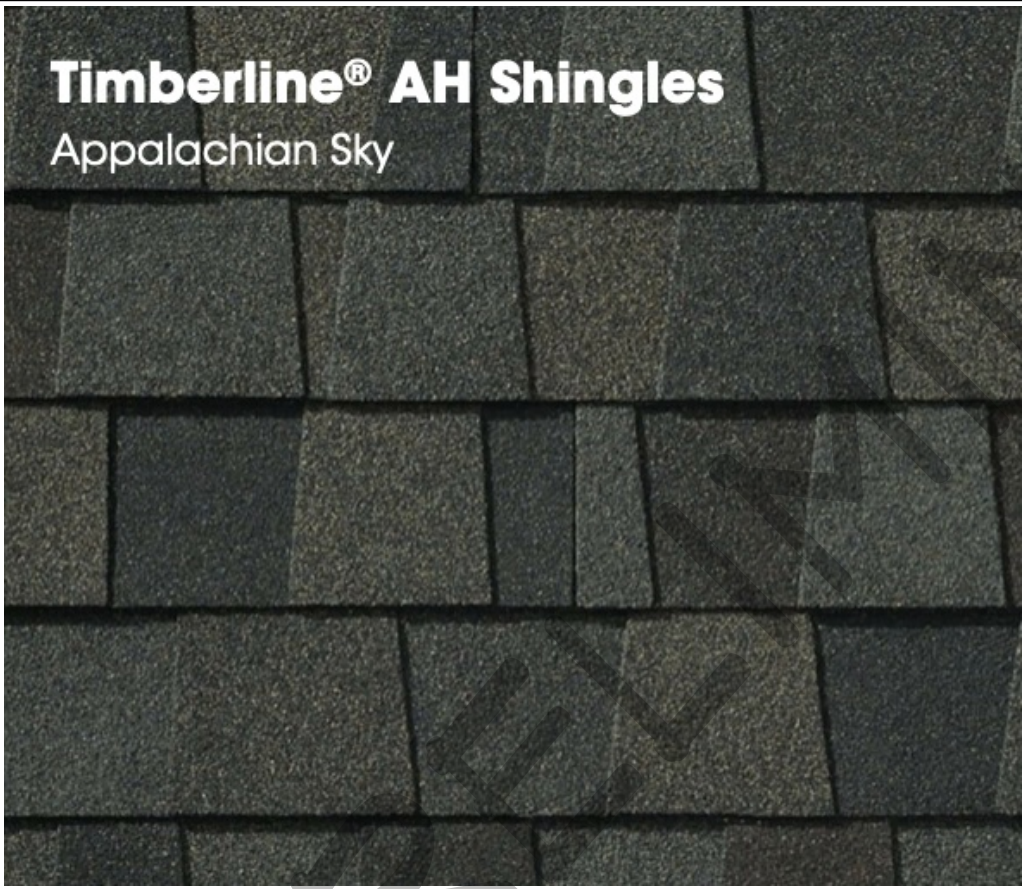
EXISTING VIEW OF ENTRY AND MUDROOM AREA



EXISTING WEST ELEVATION | FRONT VIEW
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION | FRONT VIEW
SCALE: 1/4" = 1'-0"



ASPHALT ROOF
GAF TIMBERLINE



EXISTING FRONT DOOR



EXISTING 15-LITE FRENCH DOOR
PROPOSED 15 LITE DOOR TO MATCH IN PRIMARY
PROPOSED TRANSOM INSTALLED OVER THIS RELOCATED 15-LITE DOOR



INCANDESCENT BULB_40W
NIGHT SKY COMPLIANT
BRONZE FINISH

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ELEVATIONS

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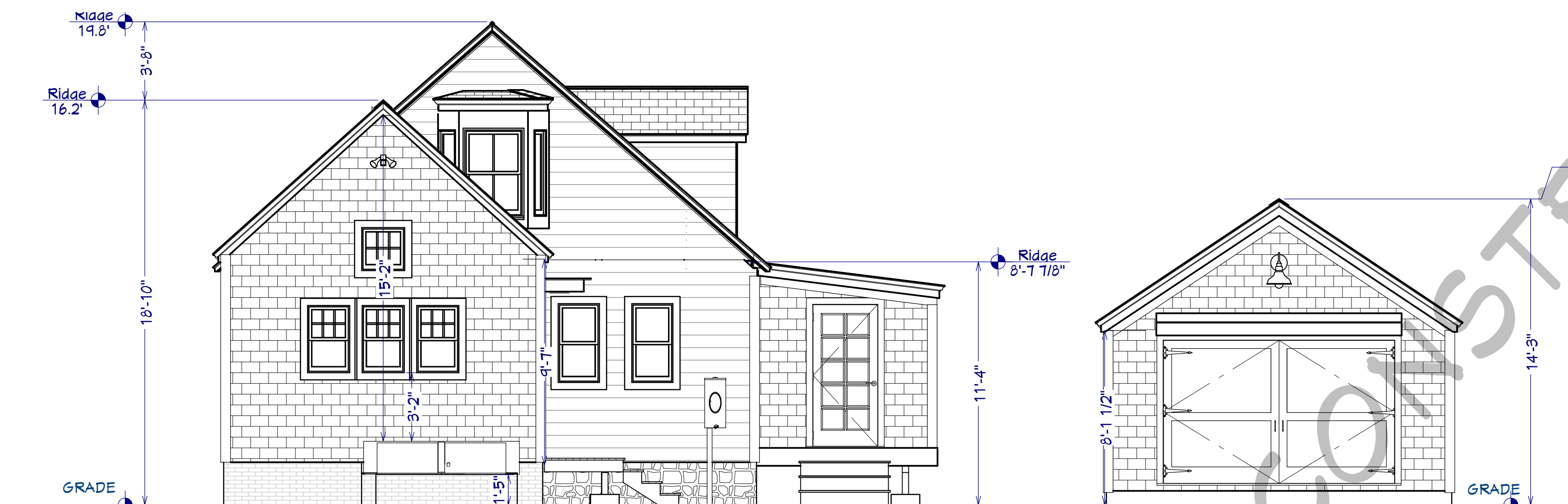
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SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-10
ELEVATIONS



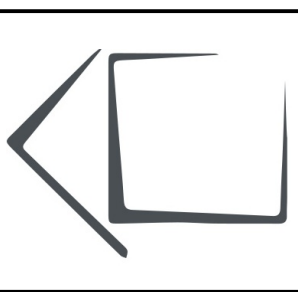
EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING VIEW FROM WATER



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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SCALE:

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ON DRAWINGS

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A-11

EXISTING PHOTOS



SOUTH SIDE VIEW



REAR VIEW

BACK | SIDE ROOF, SIDING & PROPERTY LINE

ELEVATIONS

SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION | REAR VIEW

SCALE: 1/4" = 1'-0"



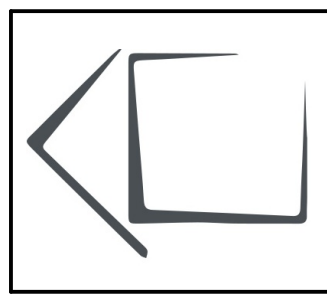
PROPOSED SOUTH ELEVATION | REAR VIEW

SCALE: 1/4" = 1'-0"

LINE LEGEND

— = EXISTING

— = PROPOSED



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PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

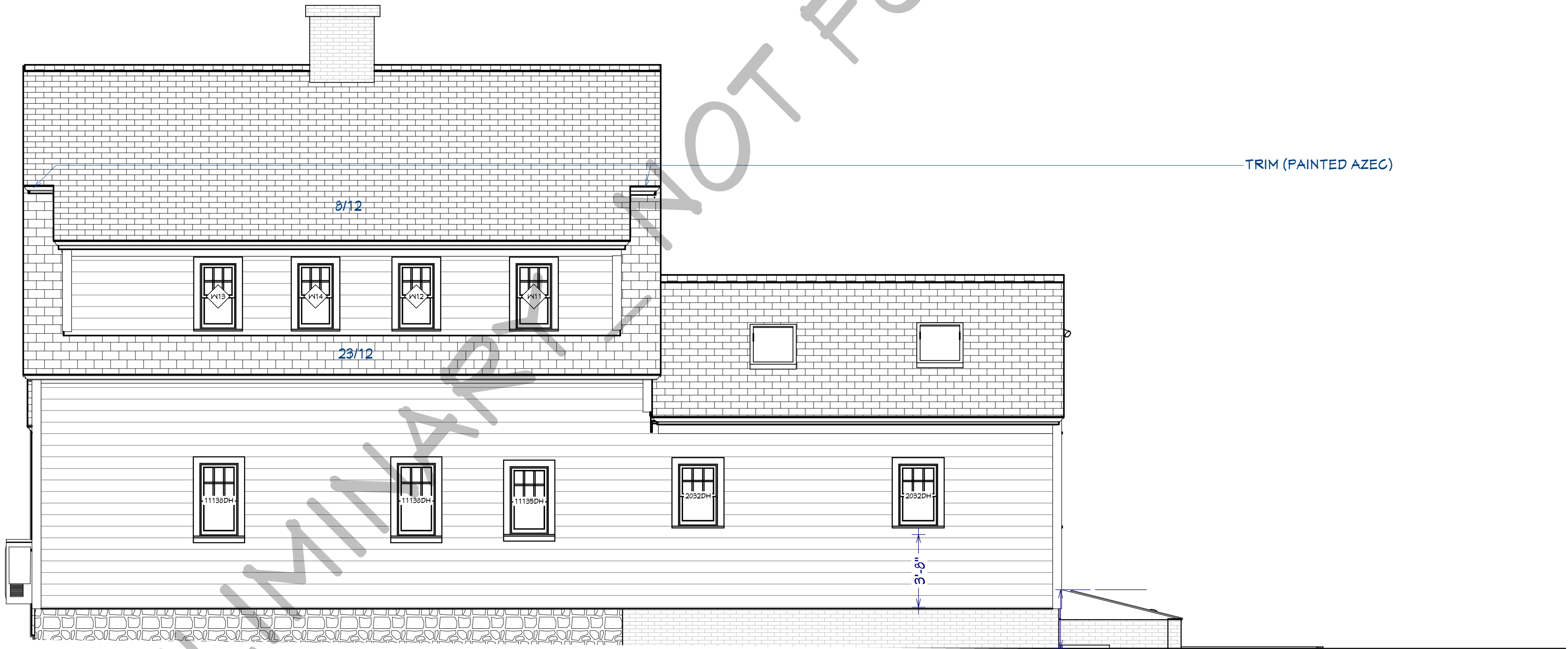
DATE:
2/9/2023
COPYRIGHT © ABRIGO HOME 2022
SCALED FOR: 24" X 36"
SCALE:
SEE SCALE ON DRAWINGS
SHEET:
A-12



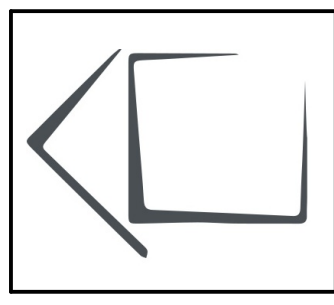
EXISTING EAST ELEVATION | SIDEVIEW
SCALE: 1/4" = 1'-0"



EXISTING PHOTO
SCALE: NTS



PROPOSED EAST ELEVATION | SIDEVIEW
SCALE: 1/4" = 1'-0"



Revision Table	
Number	Description

ELEVATIONS

CLIENT:
BARDONG
39 DEARBORN EXT
PORTSMOUTH, NH

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24" X 36"

SCALE:

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ON DRAWINGS

SHEET:

A-13
ELEVATIONS

LEGEND

- — IRON PIPE/ROD FOUND
- ⊙ — DRILL HOLE SET
- ✦ — CORNER - NOTHING FOUND/SET
- — IRON ROD SET WITH IDENTIFICATION CAP "LLS 961" UNLESS OTHERWISE NOTED ON PLAN
- ⊘ — UTILITY POLE
- — BOUNDARY LINE
- - - BUILDING SETBACK LINE
- - - ABUTTER LINE
- - - OVERHEAD WIRES
- - - RIGHT-OF-WAY
- — STONE WALL
- - - EDGE OF GRAVEL
- - - FLOOD ZONE BOUNDARY (SEE NOTE 7)
- - - EDGE OF WATER
- - - WETLAND BOUNDARY
- - - VIEW EASEMENT

BUILDING AREAS			
STRUCTURE	EXISTING AREA (SF)	PROPOSED AREA (SF)	NOTES
EXISTING HOUSE	1,232.5		
EXISTING SHED	221.8		
FRONT PORCH			
ADDITION (PROPOSED)		75.1	
FAMILY ROOM (PROPOSED)		225.8	AREA EXCLUDES EXISTING PORTION OF BUILDING BEING REPLACED
TOTALS	1,454.3	300.9	

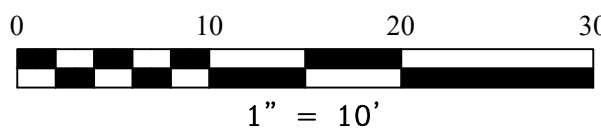
LOT COVERAGE	
LOT AREA (SF)	11,236.0
TOTAL PROPOSED BUILDING AREA (SF)	1,755.2
PROPOSED BUILDING COVERAGE	15.6%
ALLOWABLE BUILDING COVERAGE	25%

NOTES:

- REFERENCE: TAX MAP 140 LOT 3
R.C.R.D. BOOK 6450 PAGE 552
R.C.R.D. PLAN D-37444
- TOTAL PARCEL AREA: 11,236 SQ. FT. OR 0.25 AC.
- OWNER OF RECORD: SHAWN & MICHIO BARDONG
39 DEARBORN STREET
PORTSMOUTH, NH 03801
- ZONE: GRA - GENERAL RESIDENCE A
DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA 7,500 SQ. FT.
MINIMUM FRONTAGE 100 ft.
MINIMUM FRONT SETBACK 15 ft.
MINIMUM SIDE SETBACK 10 ft.
MINIMUM REAR SETBACK 20 ft.
MAXIMUM STRUCTURE HEIGHT 35 ft.
- FIELD SURVEY PERFORMED BY S.D.B. ON 12/1/2022 USING A SPECTRA FOCUS 35 ROBOTIC TOTAL STATION. TRAVERSE ADJUSTMENT IS BASED ON THE COMPASS RULE METHOD OF ADJUSTMENT.
- HORIZONTAL DATUM IS MAGNETIC BASED ON PLAN REFERENCE 1.
- A PORTION OF THIS LOT FALLS WITHIN FLOOD ZONE AE AND ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM MAP NUMBER 33015C0259F, EFFECTIVE DATE JANUARY 29, 2021.
- VIEW EASEMENT FOR THE BENEFIT OF TAX MAP 140 LOT 4, TO REMAIN FREE OF ALL TEMPORARY OR PERMANENT STRUCTURES INCLUDING BUT NOT LIMITED TO SHEDS, BUILDINGS, EQUIPMENT, VEHICLE STORAGE OR PARKING, OR OTHER SIMILAR OBSTRUCTIONS OF THE VIEW CORRIDOR.
- TIDAL WETLANDS AND HIGHWATER REFERENCE LINE WERE DELINEATED BY PATRICK D. SEEKAMP, P.W.S., C.W.S. OF SEEKAMP ENVIRONMENTAL CONSULTING.
- THE INTENT OF THIS PLAN IS TO SHOW A BUILDING ADDITION IN REFERENCE TO THE BOUNDARY OF RECORD.

PLAN REFERENCES:

- PLAN TITLED "LOT LINE RELOCATION PLAN FOR JOHN J. & CATHERINE PAUSON AND HAROLD C. & ASTRID LOUISE PASSER, 12-28 DENNETT STREET" DATED NOVEMBER 30, 1983, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, R.C.R.D. PLAN D-12123.
- PLAN TITLED "BOUNDARY LINE ADJUSTMENT FOR MICHAEL J. & DIANE REGAN, MAPLEWOOD AVENUE, PORTSMOUTH, NH" DATED SEPT. 1997, PREPARED BY EMERY ENGINEERING, R.C.R.D. PLAN C-27772.
- PLAN TITLED "PLAN OF LAND PREPARED FOR MICHAEL BRANDZEL & HELEN LONG" DATED OCTOBER 1, 2012, PREPARED BY THIS OFFICE, R.C.R.D. PLAN D-37444.



SITE PLAN
LAND OF
SHAWN & MICHIO
BARDONG
(TAX MAP 140 LOT 3)
39 DEARBORN STREET
PORTSMOUTH, NH

DRAWN BY: SDB	DATE: FEBRUARY 8, 2023
CHECKED BY: ARB	DRAWING NAME: 22039B3
JOB NAME: 22039	SHEET: C1

