



23 December 2022

Peter Stith, TAC Committee Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for Site Plan Approval at 1 Congress Street, Proposed Site Development**

Dear Mr. Stith and TAC Members:

On behalf of Mark McNabb and One Market Square, LLC we are pleased to submit the attached plan set for **Site Plan** review for the above-mentioned project and request that we be placed on the agenda for your **January 3, 2023**, TAC Meeting. The project includes the re-use of the existing commercial buildings at 1 and 3 Congress Street, some existing building demolition, and proposed new construction of a 3 Story Structure with Attic Hip Top Mansard Roof to the rear of the existing buildings with the associated and required site improvements. The area behind the existing building is currently a surface parking lot. The surface parking will be lowered to below street level and be included with the new construction.

This submission is intended to address comments from the TAC Meeting of November 1, 2022. The project had been submitted as a site plan application which included some developer proposed off-site improvements to adjacent city streets. During the TAC Meeting part of the discussion was a desire to bifurcate the application into two parts: the Site Plan Approval and the Off-Site Improvements. Since the Off-Site Improvements are proposed on public property (city streets) it was determined that permitting that part of the proposed development would be best accomplished as a separate process. This submission, therefore, will only address those comments from the TAC Committee that pertain to the Site Plan approval. The specific comments, with response in bold text, are repeated below:

1. Please identify all temporary licenses that will be needed for construction in the city ROW. **The License Plan identifies the required licenses for the project. The licensing will consist of licensing some of the building awnings. The awnings on Congress Street are pre-existing.**
2. Please be prepared to discuss construction details, maintenance plans, and any easements required for improvements proposed for adjacent city streets. **The proposed developer funded city street improvements will be addressed in a separate submission.**
3. Please provide an easement plan identifying and describing all proposed temporary and permanent easements. Please include all proposed temporary and proposed easements and licenses for the areas from Fleet Street to the end of Ladd Street, and from the municipal garage to the end of High Street. **There are no proposed easements associated with the onsite building development project.**
4. New designs will need to go back to HDC. **The submitted building has been approved.**

5. Please provide an updated average grade plane plan and an average building height plan with the supporting calculations. **See Sheet C7 and supporting calculations provided.**
6. Please consider relocating the 3 dumpsters off of Haven Court. **Those dumpsters are not the responsibility of 1 Congress Street, they are used by the J. J. Newberry's building.**
7. Applicant needs to coordinate with the city on proposed improvements to High Street, Ladd Street, and Hanover Street prior to TAC recommendation. **The proposed developer funded city street improvements will be addressed in a separate submission.**
8. Please provide an easement plan if 3 or more easements are proposed. **No easements are proposed.**
9. Show existing 6" CI water on Existing plan. **Sheet C1 Existing Conditions has been revised.**
10. Replace SMH 2323. **So noted on Sheet C4.**
11. Replace existing sewer with 8" PVC or 12" depending on projected flow, provide separate sheet for State approval with Profile. Proximity to water main will necessitate a waiver from DES. **See added Sheet P1.**
12. Proposed SMH 'A' should be placed just upstream of the first sewer service. **Revised – see Sheet C4.**
13. Applicant should consider running storm drainage on the other side of High Street due to existing utility conflicts, relocating the gas main to under the sidewalks is preferable to the disturbing the telephone lines. **Drainage revised to be an added feature to the existing street. Basins proposed to be added at the existing curb line on the south / west side. No gas relocation proposed. The brick sidewalk on that side of the street will be re-constructed.**
14. Water main to be replaced with 8" ductile iron from the 12" pipe in Congress Street to the 4" line in Ladd Street. Do not reuse valves, tap main in Congress directly with new 12 x 8 tapping saddle and valve and abandon 6" system at 12" main. Provide 8" valve at intersection of Ladd and High to test against and tie into 4" thereafter directly (no tapping saddle). Provide temporary water for adjacent buildings during main installation. **Revised – see location and notes on Sheet C4.**
15. Confirm there will be at least 5.5' of sidewalk behind all Portsmouth style lanterns or provide other street lighting. Need conduit plan for the area. **This plan reflects the placement of the proposed building on the lot with the appropriate utility tie ins; therefore, there are no proposed changes to the High Street layout. The existing sidewalk (which is being replaced) has an insufficient width to provide 5.5 feet of clear space to the curb. This plan reflects an alternative lighting design. We propose the Portsmouth style lanterns mounted on round poles as you enter High Street (2 locations). Thereafter the building will provide the lighting in a series of building mounted wall sconces. Cut sheets are provided in the supplemental material.**
16. Use NHDOT standard catch basin Type B detail with CB liner/ booted connections etc. **See Detail R on Sheet D4.**
17. CB hoods to be Eliminator, City Standard on all structures in ROW. **See Detail T on Sheet D4.**
18. Provide valve box sleeve and cover over all Hayes style curb boxes in ROW. Hayes boxes are no longer accepted as a finished surface in the road or sidewalks. **See Detail V on Sheet D4.**



19. Provide reconstruction cross section for High Street, paver type, setting bed type and thickness, underlying asphalt thicknesses, roadbed gravels, typical grades etc. **See Detail W on Sheet D7.**
20. Provide clear intended limits of work lines on plans for review. **See location and notes on Sheet C4.**
21. Use Portsmouth Standard water and sewer installation details. **See supplied Portsmouth standards sheet for sewer. Water details await confirmation of layout.**
22. Provide details for pavers in ROW Detail H/C3 may not be appropriate for all areas. **The change of not including off-site improvements as a part of this plan means that the only paver surface in the ROW is the Brick Sidewalk; standard Portsmouth Detail included in the plan set.**
23. Erosion control notes on plans are not suitable for urban environment, please edit accordingly. **Sheet D1 has been edited.**
24. Need stair profile and details for staircase off Fleet to show interactions between retaining wall and stairs and railings. **This improvement is no longer a part of this application.**
25. Installation of electrical and possible communication conduit/manholes/pull boxes will be required in Haven Court prior to placing new gas or surface treatments. **This is acceptable provided timing can be agreed to.**
26. Curb on High Street will likely need full replacement. **Understand.**
27. Provide watertight basement system. **This can be noted as a condition of approval.**
28. Provide cross sections of foundation system depths in proximity to High Street. **The detail is on Sheet PB A. 8 of the Architectural plans.**
29. All materials used in Reconstructing public areas will meet DES / DOT / City standards and will need to be reviewed and approved prior to use. **Those improvements are no longer a part of this application.**
30. Replacement of CB1 may be required due to different pipe configurations. **So noted on Sheet C4.**
31. Confirm High Street slopes will not exceed ADA required maximum cross slopes. **The current plan is to replace the existing sidewalk.**
32. Handrail on stairs in alley must be ADA compliant. **This improvement is no longer a part of this application.**
33. Keep existing sidewalk and parking conditions in the High at Congress intersection. Do not want to lose more parking. **The plans reflect no changes to the High Street layout.**

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Standard Boundary Survey Plan – This plan shows the existing property boundaries. The survey was performed before the lot merger; the lots have been officially merged. The site is still bifurcated by a Zoning District boundary line along the old property line.
- License Plan – This shows the location of proposed awnings which will require a license from the City Council.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows portions of the existing buildings and other site features which will be removed.
- Project Site Plan C3 – This plan shows the site development and proposed building placement.
- Architectural Plans – These are Floor Plans, Roof Plan, Building Elevations and Rendered Views of the proposed building.

- Landscape Plans – These plans show proposed landscape with plant list and some lighting details.
- Utility Plan C4 – This plan shows proposed site utilities.
- Grading Plan C5 – This plan shows proposed site grading.
- Parking Level Plan C6 – This plan shows the layout of the parking (basement) level with required parking calculations.
- Average Grade Plane C7 – This plan shows the average grade plane for the proposed building.
- High Street Profile P1 – This plan shows the profile of High Street. Some utilities added.
- Detail Sheets D1 – D7 – These plans show site details.

**Also please find attached the following in support of the Application:**

- Lighting Cut Sheets

We look forward to the review of this submission and Staff / City Department input on this project.

Sincerely,

*John R. Chagnon*

John R. Chagnon, PE

CC: Mark McNabb, Tracy Kozak, Terrance Parker, FX Bruton

Average Grade Work Sheet						
Project	One Congress Street				Calculated	
Address:	1 Congress Street, Portsmouth, NH				10/26/2022	
6' offset from Building; Prop Grades 10' OC						
SECTION	Elev	Elev	Elev	Elev	Total	
SOUTH	27.84	27.79	27.74	27.97	111.34	AVG PER SECTION
	28.02				28.02	
			#	5	139.36	27.87
WEST	35.00	34.83	34.61	34.44	138.88	AVG PER SECTION
	34.25	34.04	33.86	33.68	135.83	
	33.50	33.32	33.14	33.03	132.99	
	32.50				32.5	
			#	13	440.20	33.86
NORTH	31.79	31.10	30.41	29.72	123.02	AVG PER SECTION
	29.03	28.28	27.70	27.09	112.10	
	26.54				26.54	
			#	9	261.66	29.07
EAST	27.83	27.71	27.59	27.47	110.60	AVG PER SECTION
	27.62	27.56	27.43	27.26	109.87	
	27.39	27.64	27.44	27.24	109.71	
	27.04	26.84	26.64	26.44	106.96	
	26.24				26.24	
			#	17	463.38	27.26
Total	1,304.60	>	AVERAGE GRADE			
#	44		29.65			

## 962TC GLEN ELLYN SERIES

## SPECIFICATIONS

### GENERAL

The 962TC Glen Ellyn series is a tall, Colonial four-sided fixture. It features a decorative cast sloped, paneled roof, a cast cage with straight edging, cage support legs, acrylic lens and a lift hinge access door and/or hinged roof for relamping. The roof shall be appointed with a cupola and cast decorative pedestal ball finial.

### POST FITTER

The fitter or base shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an inside diameter opening to fit a 3" diameter pole or tenon. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon.

### BALLAST

The 962TC shall have an integral ballast compartment. The ballast housing shall be heavy wall cast aluminum, 356 alloy for high tensile strength. The housing shall be mounted cast in one piece to the fitter to ensure a water-tight compartment. The ballast shall be attached to the ballast housing to ensure high capacity heat sinking of ballast temperatures, keeping the ballast cooler and ensuring long life. The ballast shall be mounted on a pull out door for easy ballast maintenance.

### ELECTRICAL

Fixture shall be U.L. or E.T.L. listed in U.S. and Canada. H.I.D. ballasts shall be high power factor with lamp starting down to -30 degrees C. Medium base and mogul base porcelain sockets are 4KV rated. The ballast/socket assembly shall be pre-wired when ballast is located in the fixture. All compact fluorescent (PL) ballasts shall be instant start electronic with a starting temperature of down to 0 degrees F. They shall have a 4-pin socket to accept quad or triple tube lamps. Ballasts shall be DOE EISA compliant.

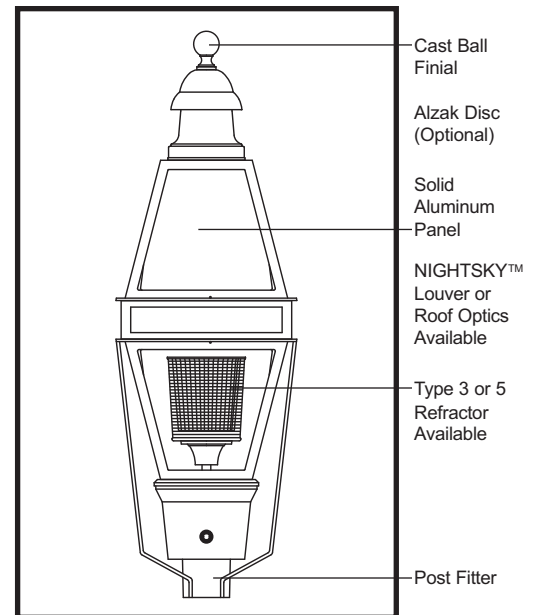
### FIXTURE HOUSING

The 962TC fixture shall be 14" wide and the overall height shall have 42". It shall be made of heavy wall cast aluminum, 356 alloy and lenses shall be made of vandal resistant acrylic, available in clear (CA), clear seeded (CSA), clear textured (CTA), prismatic (PA) and white (WA) acrylic. The fixture cage shall be cast in one piece and shall have a lift hinged door. The four paneled roof shall be closed with solid aluminum panels. Model 962TCGT shall have an open roof that will be lensed.

### OPTICAL OPTIONS

Refractors shall be 6" diameter borosilicate glass with an I.E.S. Type 3 (RE3) or Type 5 (RE5) distribution. It shall be secured to the socket stem with 3/8" plated steel threaded pipe nipple and rest on a cast aluminum holder with anti-shock gasket. The refractor will be secured to cast holder with a quarter-turn internal aluminum twist ring for ease of maintenance.

The NIGHTSKY® OPTI-SHIELD® Louver Optic System (LO) shall be a multi-tier reflector with 7" diameter rings to produce an I.E.S. cut-off Type 3 or 5 distribution. The Louver Optic System shall be made of highly specular anodized aluminum and shall come standard with medium base socket.

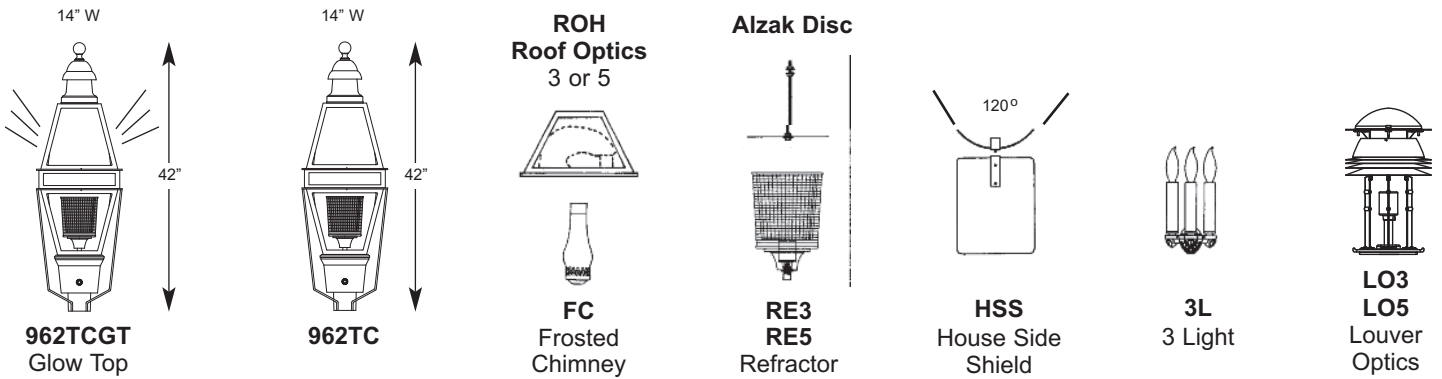


**EPA = 2.75 (ft²)**  
**WEIGHT = 25 LBS**

# 962TC GLEN ELLYN

# FIXTURES/ARMS PM-WB

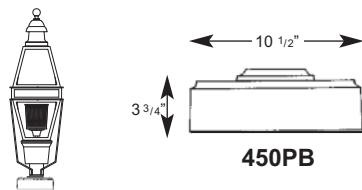
## FIXTURES / OPTICAL SYSTEMS



## LENSES

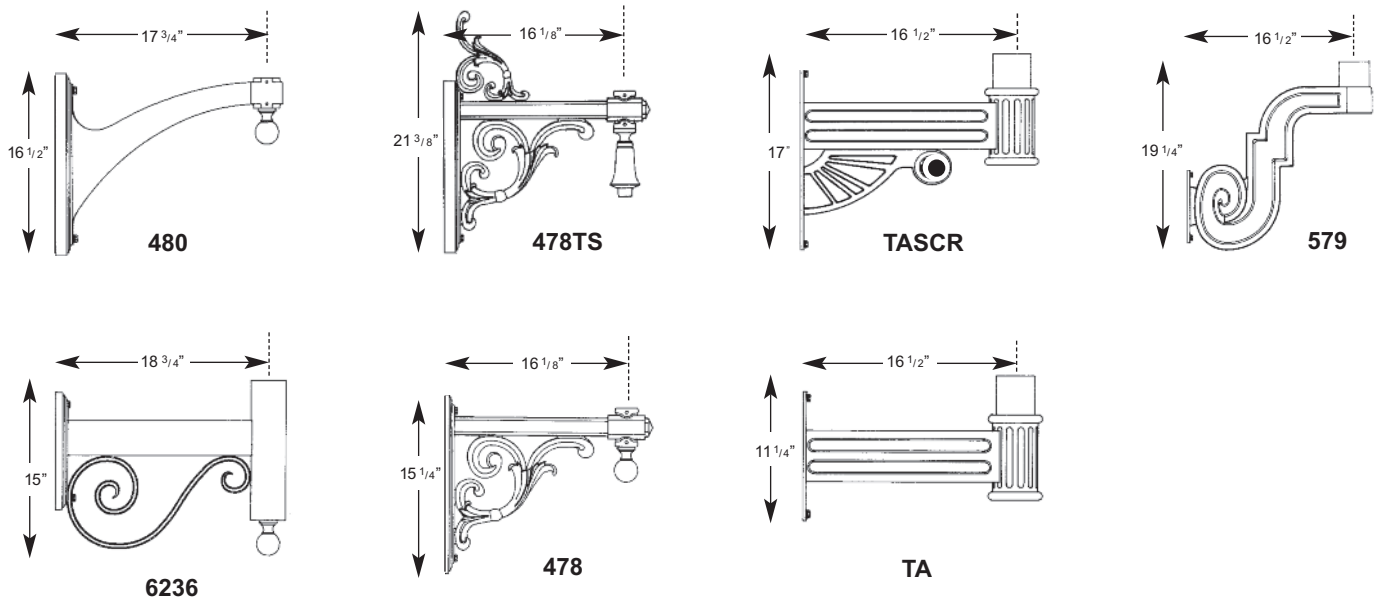


## PIER MOUNTS (PB)



## ARMS - POST MOUNT (PM) or WALL BRACKETS (WB)

See Arms Section for more information



# BUILDING A PART NUMBER

## POST & ARM FIXTURES

ARM MOUNTED FIXTURE	CENTER POST TOP FIXTURE (PT)	POST	POST CAP	LIGHT SOURCE BALLAST	OPTICS	OPTIONS	LENS	FINISH
NO. OF ARMS	FIXTURE / POSTARM	FIXTURE	(See Post Section)	WATTS / TYPE / VOLTS				
		962TC PT	2112FP5	100 HPS120	RE3	HPS100/MED	CSA	BK

## WALL FIXTURES

FIXTURE / WALLBRACKET	LIGHT SOURCE BALLAST	OPTICS	LENS	OPTIONS	FINISH
962TC/480WB	100 HPS120	RE3	CA	HPS100/MED	BK

## PIER FIXTURES

Uses same information boxes as wall fixture

962TC/450PB

FIXTURE / PIER BASE

## PART NUMBER SELECTIONS

### FIXTURES

- 962TC
- 962TCGT<sup>1</sup>

### OPTICS

- RE3G
- RE5G
- ALZAK
- HSS
- LO3
- LO5
- RO3<sup>5,6</sup>
- RO5<sup>5,6</sup>
- FHC<sup>3</sup>
- 3L

### POST ARMS

- 478PM
- 478TSPM
- 480PM
- 6236PM
- 579PT
- TAPT
- TASCRIPT

### PIER BASES

- PB44
- 450PB

### WALL BRACKET ARMS

- 478WB
- 478TSWB
- 480WB
- 480DWB
- 6236WB
- 579WB
- TAWB
- TASCROWB

### LENSES

- CSA
- CA
- CTA
- PA
- WA

### BALLASTS<sup>4,7</sup>

- 35HPS<sup>2</sup>
- 50HPS
- 70HPS
- 100HPS
- 150HPS
- 250HPS
- 50MHP
- 70MHP
- 100MHP
- 150MHP
- 200MHP<sup>8</sup>
- 250MHP<sup>8</sup>
- PLT26
- PLT32
- PLT42
- PLT57
- PLT70
- INCAND

### LAMPS<sup>7</sup>

- HPS35/MED
- HPS50/MED
- HPS70/MED
- HPS100/MED
- HPS150/MED
- HPS250/MOG/ED18
- MHP50/MED
- MHP70/MED
- MHP100/MED
- MHP150/MED
- MHP200/MOG/ED28<sup>8</sup>
- MHP250/MOG/ED28<sup>8</sup>
- PLT26
- PLT32
- PLT42
- PLT57
- PLT70

### STANDARD FINISHES\*

- BKT Black Textured
- WHT White Textured
- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

\*Smooth Finishes are available upon request

### CUSTOM FINISHES

- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

### STERNBERG SELECT FINISHES

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

### OPTIONS

- PEC1 Photocell-Bimetal 120 Volt
- PEC2 Photocell-Bimetal 208-277 Volt
- PEC1-E Photocell-Electronic 120 Volt
- PEC2-E Photocell-Electronic 208-277 Volt
- FHS Single Fuse and Holder-120,277 Volt
- FHD Dual Fuse and Holder-208,240,480 Volt
- QR Quartz Re-Strike
- PF Pineapple Finial or Font (TA, TASCRT)
- BF Ball Finial or Font (TA, TASCRT)
- LAMPS Select from List

### NOTES:

<sup>1</sup> RE3G, RE5G, FHC or 3L optic only.

<sup>2</sup> 35HPS is 120 volt only.

<sup>3</sup> Medium base socket only when used to house lamp.

<sup>4</sup> Medium base sockets standard with ballasts up to 150 watts HID. 4-pin for PL.

<sup>5</sup> Medium base lamp only, ED17. Consult factory for mogul base.

<sup>6</sup> Can support PLH or PLT up to 60 watts.

<sup>7</sup> Metal halide systems are pulse start.

<sup>8</sup> Consult factory for limitations.

**962TC GLEN ELLYN SERIES****SPECIFICATIONS****LIST NO.  
962TC  
GLEN ELLYN  
SERIES**

**NIGHTSKY® STAR-SHIELD® Roof Optics** distribution shall be delivered by multi-segmented roof mounted reflector systems which eliminate uplight and provide cut-off. The reflector cavity shall be made of specular anodized aluminum. Roof Optics Type 3 (RO3) or Type 5 (RO5) horizontal are available for medium base lamps.

**Frosted Glass Hurricane Chimney (FHC)** is an optic option which adds an authentic touch and can be used with Roof Optics.

**House Side Shield (HSS)** is an option which will block up to 120° of light in any one direction.

**3-Light (3L)** candelabra set is an option for incandescent application.

**PHOTOCELLS**

Photocells shall be either the thermo bi-metal button type or the electronic button type. On single post top fixtures the photocell shall be mounted in the fitter and pre-wired to ballast. On multiple head fixture assemblies photocells shall be mounted in the pole shaft on an access plate and are not pre-wired as ballast housing assemblies and fitters are packaged separately for ease of wiring to source. The thermo bi-metal photocell shall be designed to turn on at 1.0 footcandle and turn off at not more than 5 footcandles. The electronic button type photocell is instant on and a 5-10 second turn off and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocells are either 120 volt or 208 thru 277 volt.

**ARMS**

All arms are made of cast aluminum and/or extruded aluminum. Arms with decorative filigree have meticulously detailed scroll work and gracefully curved brackets. All 962TC fixtures will have its fitter either welded to the arm or will be mechanically attached at the factory to ensure arms will be plumb, secure and level over the life of the installation. Each arm shall be bolted to a post mount adapter, which is welded to the pole to ensure proper alignment to the base. Twin TA, TASCAR and 579 arms will be attached to a decorative center hub which will slip-fit the center tenon of the pole (not shown). Arms are pre-wired for ease of installation.

**FINISH**

Prior to coating, each assembly shall be chemically cleaned and etched in a 5-stage washing system which includes alkaline cleaning, rinsing, phosphoric etching, reverse osmosis water rinsing, and non-chrome sealing to ensure corrosion resistance and excellent adhesion for the finish coating. The finish coating shall be electrostatically applied semi-gloss, super durable polyester powder baked at 400 degrees for a durable and superior, color retentive finish. Our optional antique Verde Green finish and Swedish Iron finish are hand brushed using a 3-step process. The total assembly shall be wrapped in shockproof wrapping or fully enclosed in corrugated cartons.

**WARRANTY**

Five-year limited warranty. See product and finish warranty guide for details.



# 480 ARMS & WALL BRACKETS

The 480 arm includes a diverse family of sizes and orientations that allow for many mounting configurations that meet almost any project design requirements. These heavy cast arms look robust and substantial while still showing well-proportioned dimensions, scale and classic detailing. Matching well with traditional luminaires these arms can be pole or wall mounted in single or multiple head configurations.



## BUILD A PART NUMBER

ORDERING EXAMPLE: **480-PM-BKT**

Arm	Mounting Style	Finish

### Arms

• 480 • 480H • 480DH • 480LF • 480D  
D=Down Sweeping H=Hanging LF=Long Font

### Mounting Styles

• **PM** Post Mount  
• **WB** Wall Bracket  
• **WBBB** Wall Bracket With Ballast Box

### Finish (Click here to view paint finish sheet)

#### Standard Finishes<sup>1</sup>

• **BKT** Black Textured  
• **WHT** White Textured  
• **PGT** Park Green Textured  
• **ABZT** Architectural Medium Bronze Textured  
• **DBT** Dark Bronze Textured

<sup>1</sup>Smooth finishes are available upon request.

#### Custom Finishes<sup>2</sup>

• **CM** Custom Match  
• **OI** Old Iron  
• **RT** Rust  
• **WBR** Weathered Brown  
• **CD** Cedar

• **WBK** Weathered Black  
• **TT** Two Tone

<sup>2</sup>Custom colors require upcharge.

#### Sternberg Select Finishes

• **VG** Verde Green  
• **SI** Swedish Iron  
• **OWGT** Old World Gray Textured

## Arms

Cat. #	Detail	Dimension	Available Mounting Styles	Weight / EPA
480		17-3/4" L 15-1/4"H	PM WB WBBB	6.3 LBS 0.78 SQ FT
480H		17-3/4" L 18-3/8"H	PM WB WBBB	6.3 LBS 0.78 SQ FT
480DH		17-3/4" L 13-3/4"H	PM WB WBBB	6.3 LBS 0.78 SQ FT
480LF		17-3/4" L 15-1/4"H	PM WB WBBB	7.7 LBS 0.82 SQ FT
480D		17-3/4" W 18-3/4"H	PM WB WBBB	6.3 LBS 0.78 SQ FT

## Mounting Style

Mounting Style	Detail	Back Plate/ Rough In Dimensions	Extension	Fit
PM		2-1/2" W 13-3/4"H	17-3/4"	3" - 6" Poles
WB*		4-3/4" W 15-1/4"H	17-3/4"	Flat Wall
WBBB*		6" W 16-5/8"H	22-3/4"	Flat Wall

\*Click Mounting Style for installation instructions.





# 450 LEXINGTON SERIES

ARCHITECTURAL POLE

DIMENSIONS  
10.5" Ø  
3" TALL

5 YEAR  
WARRANTY

UL  
LISTED

ETL  
LISTED

CLICK  
FOR FAQ's

JOB NAME

FIXTURE TYPE

MEMO

BUILD A PART NUMBER

ORDERING EXAMPLE: 450FP4-12-188-BCC-GFILPIUC-SH/BKT

Base Model	Shaft	Height	Wall Thickness	Post Center Cap	Option Burial	Option Photocell	Option Ground Fault Breaker	Option Flag Pole Holder	Option Banner Arms	Option Planter Arms	Option Sign Arms	Option Speaker Hub	Option Sign Bracket	Option Steel Wreath Hook	Finish

Model

• 450

Shaft

- T4: 4"-3" Tapered Smooth
- P4: 4" Straight Smooth
- FP4: 4" Straight Fluted

<sup>1</sup>Not available in .250 wall.

Height

- 8'
- 10'
- 12'
- 14'

Wall Thickness

- .125: 1/8" Wall Thickness
- .188: 3/16" Wall Thickness
- .250: 1/4" Wall Thickness

Post Center Cap (if required)

(Click here to view post cap sheet)

- BCC

• FCC

• SCC

• TFCC
- SSCC

• RCC

• PCC

Options (Click here to view accessories sheet)

- DB4 Direct Burial mounting style pole, with 4' direct burial section (or advise other length)
- HXB Helix Base mounting style pole
- PCD Electronic Button Photocontrol, mounted on an access door (120v-277v)
- PCD4 Electronic Button Photocontrol, mounted on an access door (480v)
- GFI IUC 15 Amp duplex GFCI receptacles with a standard in-use cover
- GFI LPIUC 15 Amp duplex GFCI receptacles with a low-profile in-use cover
- DCO LPIUC Duplex receptacles with a low-profile in-use cover (NO GFCI PROTECTION)
- GFB Remote Ground Fault Breaker installed in pole base (for use with NON-GFCI receptacles)

- FH Cast Aluminum flag holder mount, for use with 1" diameter flag pole
- SBA Single Banner Arm, "PM" style mount
- DBA Double Banner Arms, "PM" style mount
- SBAR Single Banner Arm and Ring, for triangle banners, "PM" style mount
- HSBA Single Banner Arm, HUB mount style mount
- HDBA Double Banner Arms, HUB mount style mount
- BDBA6 Double Banner Arms, Break-Away style, to break with 60MPH wind gust
- BDBA9 Double Banner Arms, Break-Away style, to break with 90MPH wind gust
- C4SBA Single Banner Arm, Clamp-Style mount, for 4" diameter poles
- C4DBA Double Banner Arms at 180°, Clamp-Style mount, for 4" diameter poles
- DHPA Double Hooked Planter Arm
- SHPA Single Hooked Planter Arm
- DSPA Double Stepped Planter Arm
- SSPA Single Stepped Planter Arm
- PA478 Cast aluminum decorative planter arm
- SA78 Small cast aluminum decorative sign arm, with 24" long channel for blade sign by others
- SA478 Large cast aluminum decorative sign arm, with 24" long channel for blade sign by others
- SABA Banner arm style sign arm, with 24" long channel for blade sign by others
- SH Female threaded speaker hub, advise thread size
- SB Sign Bracket, vertically mounted on pole shaft
- WHK Steel wreath hook

Finish (Click here to view paint finish sheet)

Standard Finishes<sup>2</sup>

- BKT Black Textured
- WHT White Textured

- PGT Park Green Textured
- ABZ Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

<sup>2</sup>Smooth finishes are available upon request.

Custom Finishes<sup>3</sup>

- CM Custom Match
- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

<sup>3</sup>Custom colors require upcharge.

Sternberg Select Finishes

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

Standard Urban Finishes (Click here to view paint finish sheet)

- UGMT Gun Metal Textured
- UGM Gun Metal Matte
- UBT Urban Bronze Textured
- UB Urban Bronze Matte
- USLT Urban Silver Textured
- USL Urban Silver Matte
- UWHT Urban White Textured
- UWH Urban White Matte

## Specifications

### Construction

The base shall be made of heavy wall, 356 alloy cast aluminum. It shall have a 3/4" thick floor cast as an integral part of the base. It shall have a cast anchor bolt cover designed with a curved relief. The shaft shall be double circumferentially welded internally and externally to the base for added strength.



SternbergLighting

ESTABLISHED 1923

800-621-3376  
555 Lawrence Ave., Roselle, IL 60172  
contactus@sternberglighting.com  
www.sternberglighting.com

# 450 LEXINGTON SERIES

ARCHITECTURAL POLE

### Tenon

Standard tenon size to be 3" OD x 3" tall. Consult factory for additional sizes.

### Shaft

The **straight smooth shaft** shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition

The **tapered smooth shaft** shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition

The **straight fluted shaft** shall be made of ASTM 6061 extruded aluminum and tempered to a T6 condition.

### Installation

Four 1/2" diameter, hot-dipped galvanized "L" type anchor bolts shall be provided with the post for anchorage, they shall be mounted in a 8" bolt circle. Post will be provided with an access door which shall be secured with tamper proof stainless steel hardware, includes a

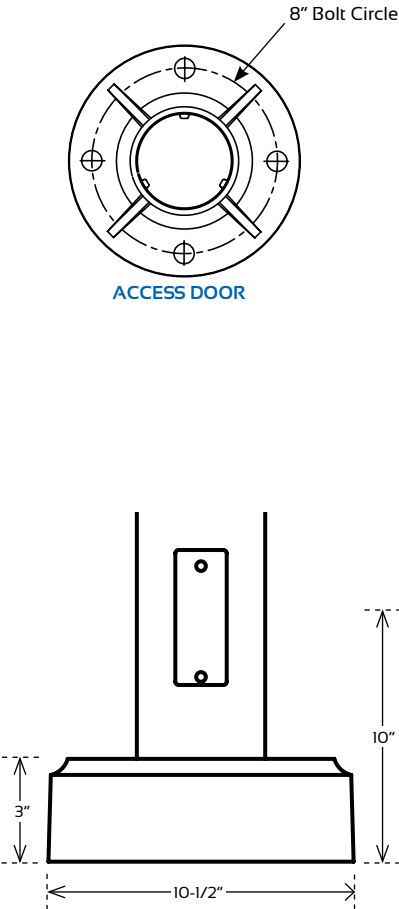
grounding stud behind the access door.

### Warranty

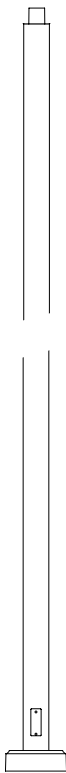
Five-year limited warranty. See product and finish warranty guide for details.

### Finish

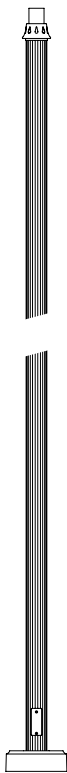
Refer to website for details.



TAPERED  
SMOOTH  
SHAFT



STRAIGHT  
SMOOTH  
SHAFT



STRAIGHT  
FLUTED  
SHAFT



**SternbergLighting**  
ESTABLISHED 1923

800-621-3376  
555 Lawrence Ave., Roselle, IL 60172  
contactus@sternberglighting.com  
www.sternberglighting.com

# 450 LEXINGTON SERIES

ARCHITECTURAL POLE

## EPA Chart - AASHTO 2009

POLE HEIGHT	90 MPH	100 MPH	110 MPH	120 MPH	130 MPH	140 MPH	150 MPH
FP4 4" Smooth Fluted Pole - 0.125" Wall Thickness							
8	6.94	5.42	4.30	3.44	2.77	2.25	1.82
10	5.16	3.92	3.00	2.30	1.76	1.33	0.99
12	3.83	2.79	2.02	1.43	0.97	0.61	
14	2.79	1.89	1.22	0.71			
FP4 4" Smooth Fluted Pole - 0.188" Wall Thickness							
8	10.42	8.23	6.62	5.39	4.44	3.68	3.07
10	7.98	6.21	4.89	3.89	3.12	2.50	2.00
12	6.22	4.72	3.61	2.77	2.12	1.60	1.18
14	4.85	3.56	2.60	1.87	1.31	0.86	
16	3.74	2.60	1.76	1.12	0.62		
P4 4" Straight Smooth Shaft - 0.125" Wall Thickness							
8	7.03	5.56	4.54	3.77	3.18	2.71	2.33
10	5.27	4.09	3.31	2.73	2.28	1.93	1.64
12	3.97	3.00	2.40	1.95	1.60	1.34	1.12
14	2.95	2.14	1.67	1.32	1.06	0.86	0.70
16	2.11	1.42	1.06	0.80	0.60		
P4 4" Straight Smooth Shaft - 0.188" Wall Thickness							
8	10.50	8.37	6.86	5.72	4.84	4.14	3.58
10	8.10	6.38	5.20	4.32	3.63	3.09	2.66
12	6.36	4.93	3.99	3.29	2.75	2.32	1.98
14	5.01	3.81	3.05	2.48	2.05	1.71	1.44
16	3.93	2.89	2.27	1.82	1.47	1.21	1.00
P4 4" Straight Smooth Shaft - 0.25" Wall Thickness							
10	10.60	8.41	6.88	5.73	4.84	4.13	3.57
12	8.47	6.65	5.41	4.48	3.76	3.19	2.74
14	6.84	5.29	4.27	3.51	2.92	2.47	2.10
16	5.54	4.19	3.35	2.72	2.24	1.87	1.57
T4"-3" Smooth Tapered Shaft - 0.125" Wall Thickness							
8	3.89	2.99	2.32	1.91	1.59	1.34	1.14
10	2.77	2.04	1.49	1.20	0.97	0.80	0.66
12	1.92	1.31	0.85	0.64			
T4"-3" Smooth Tapered Shaft - 0.188" Wall Thickness							
8	5.95	4.66	3.70	3.06	2.57	2.19	1.88
10	4.44	3.39	2.61	2.14	1.77	1.49	1.26
12	3.34	2.45	1.79	1.44	1.17	0.96	0.79
14	2.46	1.70	1.13	0.87	0.67	0.52	
T4"-3" Smooth Tapered Shaft - 0.25" Wall Thickness							
10	5.93	4.60	3.61	2.97	2.49	2.10	1.80
12	4.59	3.47	2.63	2.14	1.77	1.47	1.24
14	3.55	2.58	1.85	1.48	1.19	0.97	0.79
16	2.70	1.84	1.21	0.92	0.70	0.54	

\* Consult factory for other heights.

\*\* All EPA values expressed in square feet.



**SternbergLighting**

ESTABLISHED 1923

800-621-3376  
555 Lawrence Ave., Roselle, IL 60172  
contactus@sternberglighting.com  
www.sternberglighting.com

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# 962TC-XRLED GLEN ELYN SERIES

LED

EPA  
3.65 (ft<sup>2</sup>)  
WEIGHT  
36 LBS

5 YEAR  
WARRANTY

LUMEN  
RANGE  
1,550 to  
5,210

LIFE SPAN  
L70  
MINIMUM  
50,000  
HOURS

UL  
LISTED

CLICK  
FOR FAQ'S

JOB NAME

FIXTURE TYPE

MEMO

## BUILD A PART NUMBER

ORDERING EXAMPLE: **2A-962TC-XRLED-12L45T5-MDL14-CA-HSS-FHD/478PM/2112FP5/SCC/BKT**

Mounting Config.	Fixture	LED	CCT	Type	Driver	Lens	Option House Side Shield	Option Fuse	Option Internal Lens	Arm See Arm Spec Sheets	Pole See Pole Spec Sheets	Finish

### Mounting Configuration

(Click here to view mounting configuration sheet)

- IW • 2A • 3A90 • 1AM
- PT • 2A90 • 3APT • 2AM
- 1A • 2APT • 4A • 450PB
- 1APT • 3A • 4APT

W = Wall Mount PT = Post Top A = Arm Mount AM = Arm Mid-Mount PB = Pier Base

### Fixture

- 962TC • 962TCGT (Glow Top)<sup>1</sup>

<sup>1</sup> Add 10 watts.

### LED

- XRLED-9L • XRLED-12L

### CCT - Color Temperature (K)

- 45(00) • 35(00) • 27(00)

### Type

- T2 • T3 • T4 • T5

### Driver

- MDL07<sup>2</sup> (120v-277v, 700mA)
- MDL14 (120v-277v, 1400mA)
- MDH07<sup>2</sup> (347v-480v, 700mA)
- MDH14 (347v-480v, 1400mA)

<sup>2</sup> For use with 9L system only.

### Lens (Click here to link to lens options)

- SV1 (Flat Soft Vue Light Diffuse Acrylic)
- SV2 (Flat Soft Vue Moderate Diffuse Acrylic)
- CA (Clear Acrylic)
- CTA (Clear Textured Acrylic)
- CSA (Clear Seeded Acrylic)
- PA (Pristmatic Acrylic)
- WA (White Acrylic)

### Options (Click here to view accessories sheet)

- HSS House Side Shield
- FHD<sup>3</sup> Dual Fuse & Holder
- SVID Soft Vue Light Diffuse, Internal Dome Lens
- SV2D Soft Vue Moderate Diffuse, Internal Dome Lens

<sup>3</sup> Ships loose for installation in base.

### Arm (Click here to link to arm specification page)

See Arms & Wall Brackets specification sheets.

- 478 • 480 • 6236 • 579 • TA • TASCR

### Pole (Click here to link to pole specification page)

See Pole specification sheets.

### Finish (Click here to view paint finish sheet)

#### Standard Finishes<sup>4</sup>

- BKT Black Textured
- WHT White Textured
- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

<sup>4</sup> Smooth finishes are available upon request

#### Custom Finishes<sup>5</sup>

- CM Custom Match
- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

<sup>5</sup> Custom colors require upcharge.

#### Sternberg Select Finishes

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

## Specifications

### Fixture

The 962TC fixture shall be 14" wide and the overall height shall have 42". It shall be made of heavy wall cast aluminum, 356 alloy and lenses shall be made of vandal resistant acrylic. The fixture cage shall be cast in one piece and shall have a lift hinged door. The four paneled roof shall be closed with solid aluminum panels. The Luminaire shall be UL approved in US and Canada.

### Fitter

The fitter or base shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an inside diameter opening to accept a 3" diameter pole or tenon. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon.

### LEDs

The luminaire shall use high output, high brightness LED's. They shall be mounted in arrays, on printed circuit boards designed to maximize heat transfer to the heat sink surface. The arrays shall be downward facing to minimize up-light. The LED's and printed circuit boards shall be environmentally friendly and 100% recyclable, they shall also be protected from moisture and corrosion by a conformal coating of 1 to 3 mils. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. The LED life rating data shall be determined in accordance with IESNA LM-80. The High Performance white LED's will have a life expectancy of approximately 50,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 25°C. The High Brightness, High Output LED's shall be 4500K (3500K or 2700K option) color temperature with a typical of 70 CRI. Consult factory for custom color CCT. The luminaire shall have a minimum \_\_\_\_\_ (see table) delivered initial lumen rating when operated at steady state with an average ambient temperature of 25°C (77°F).

### Optics

The luminaire shall be provided with individual, refractor type optics applied to each LED. The luminaire shall provide Type \_\_\_\_ (2, 3, 4 or 5) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79.

See next page

## Electronic Drivers

The LED driver shall be U.L. Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload as well as short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be dimmable using a 0-10v signal.

**For sources over 50w:** The driver shall have a minimum efficiency of 90%. The driver shall be rated at full load with THD<20% and a power factor of greater than 0.90. The driver shall contain over-heat protection.

**For sources under 50w:** The driver shall have a minimum efficiency of 88%.

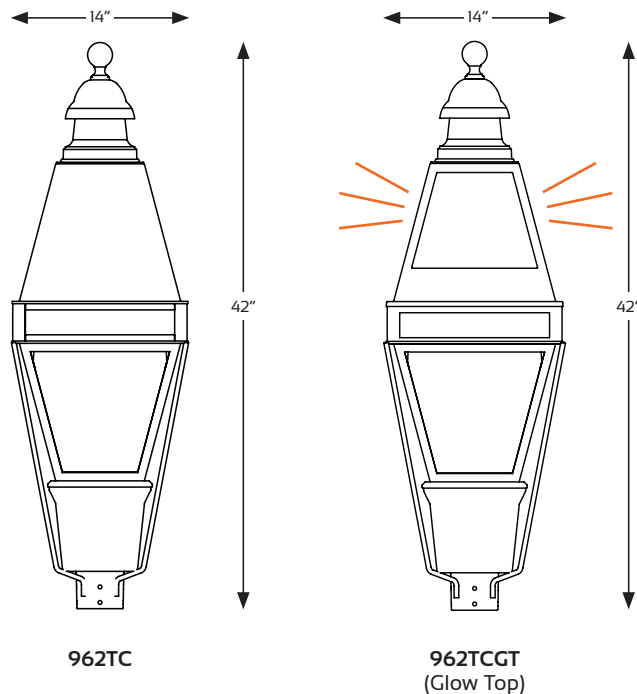
## Warranty

Five-year warranty. See product and finish warranty guide for details.

## Finish

Refer to website for details.

## Fixtures



## Performance (Based on CSA Lens)

LIGHT SOURCE	T2 DELIVERED LUMENS	EFFICACY (LPW)	T3 DELIVERED LUMENS	EFFICACY (LPW)	T4 DELIVERED LUMENS	EFFICACY (LPW)	T5 DELIVERED LUMENS	EFFICACY (LPW)	WATTAGE*
09L27T_-MDL07	1610	73.1	1600	72.6	1550	70.3	1670	75.9	22
09L35T_-MDL07	1895	86	1880	85.5	1820	82.8	1965	89.4	22
09L45T_-MDL07	2035	92.5	2025	92	1960	89	2115	96.1	22
09L27T_-MDL14	2860	59.6	2810	58.5	2745	57.1	2960	61.6	48
09L35T_-MDL14	3370	70.2	3310	68.9	3230	67.3	3485	72.6	48
09L45T_-MDL14	3625	75.5	3560	74.1	3470	72.3	3745	78	48
12L27T_-MDL14	4060	67.6	3960	66	3945	65.7	4120	68.6	60
12L35T_-MDL14	4780	79.6	4660	77.7	4640	77.4	4850	80.8	60
12L45T_-MDL14	5140	85.6	5010	83.5	4990	83.2	5210	86.9	60

\*Glow top option adds 10 watts.

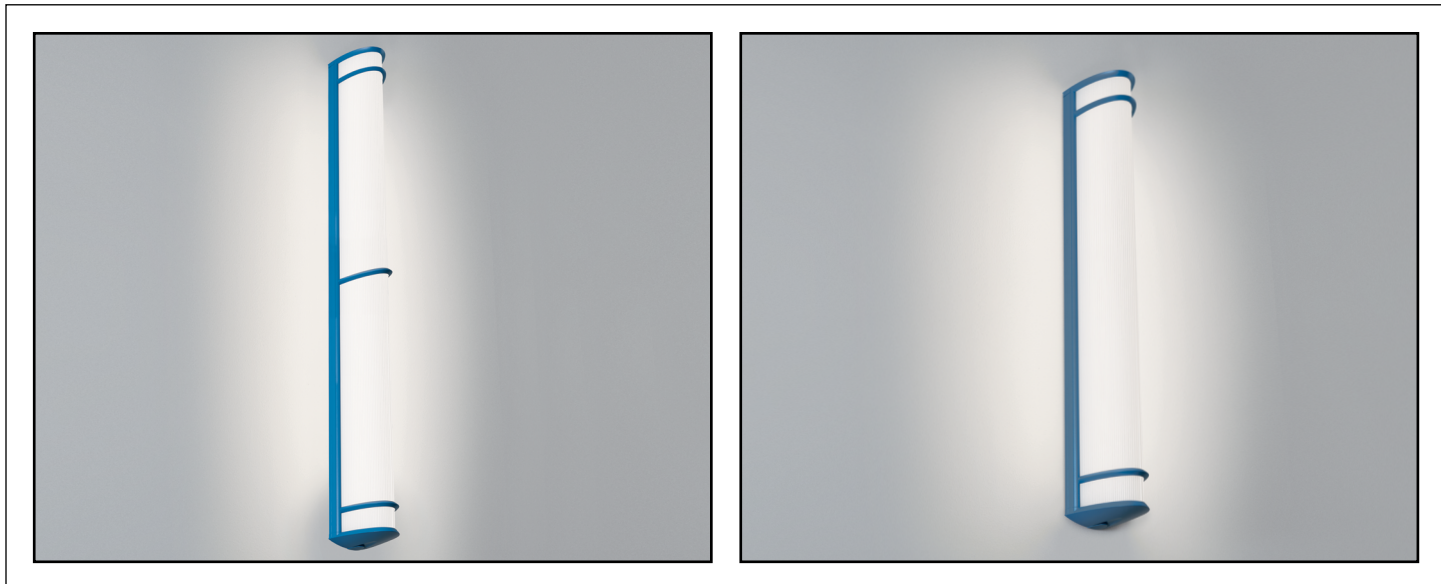
**RAVEN™**

OW1340/OW1342/OW1344/OW1346/OW1348

Outdoor models with Accent Bars


[VisaLighting.com/products/Raven](https://VisaLighting.com/products/Raven)

Type: \_\_\_\_\_ Project: \_\_\_\_\_ Location: \_\_\_\_\_

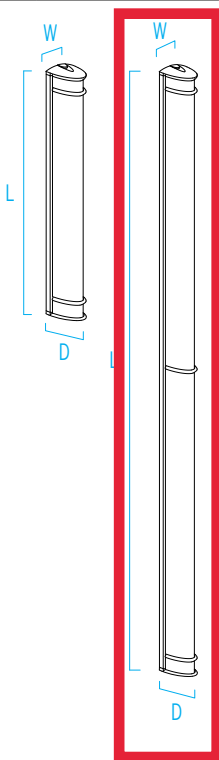
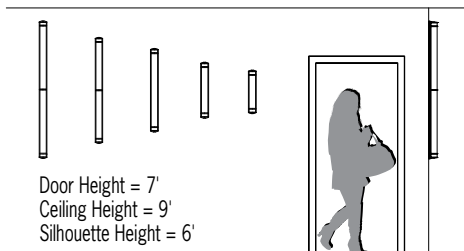
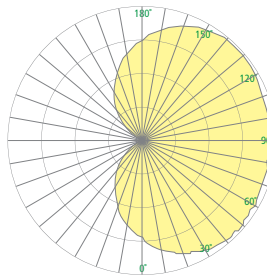
**DIMENSIONS<sup>1</sup>**

L = Length D = Depth W = Width WT = Weight

	OW1348	OW1340	OW1342	OW1344	OW1346
L	18-1/2" (470 mm)	24-3/4" (629 mm)	36-1/2" (927 mm)	48-3/8" (1229 mm)	60-1/8" (1527 mm)
D	4" (102 mm)				
W	3 -3/8" (86 mm)				

**FEATURES**

- Integral driver
- Vertical or horizontal mounting
- Mounts to 2 X 4 electrical junction box (by others) with provided hardware. Requires auxiliary mounting fasteners (provided). Orient junction box to match fixture's linear dimension (horizontal or vertical)
- Tamper resistant fasteners
- High impact extruded aluminum backplate/side rails, die-cast end caps and trim bars; gasketed and sealed construction
- Extruded clear prismatic performance lens and extruded white acrylic diffuser
- High impact extruded white acrylic, FI rated; UV stable; UL-94 HB Flame Class rated
- No VOC powder coat finish
- ETL listed for wet location mounting 4' above grade

**RELATIVE SCALE DRAWING****PHOTOMETRICS**

ADA



XPS



ETL Listed



5 Year Warranty

# RAVEN (cont.)

OW1340/OW1342/OW1344/OW1346/OW1348

Outdoor models with Accent Bars



Fill in shaded boxes using information listed below

MODEL <sup>1</sup>		SOURCE <sup>2</sup>		VOLTAGE MVOLT		FINISH		OPTION <sup>3</sup>	
OW1348 OW1340 OW1342 OW1344 OW1346		• L30K(H) • L30K(L) • L35K(H) • L35K(L) • L40K(H) • L40K(L)				See last page for finish order codes		XPS	

See page 1

## SOURCE<sup>2</sup> (Select One)

Dimmable 0-10V to 1%, Minimum 80CRI, within 3-step MacAdam

Source	CCT	OW1348		OW1340		OW1342		OW1344		OW1346	
		Delivered Lumens	Power/Watts	Delivered Lumens	Power/Watts	Delivered Lumens	Power/Watts	Delivered Lumens	Power/Watts	Delivered Lumens	Power/Watts
• L30K(H)	3000K	1100	10	1400	13	2800	26	3300	29	3900	35
• L30K(L)	3000K	750	7	800	7	1900	17	2200	19	2800	23
L35K(H)	3500K	1100	10	1400	13	2800	26	3300	29	3900	35
L35K(L)	3500K	750	7	800	7	1900	17	2200	19	2800	23
• L40K(H)	4000K	1100	10	1400	13	2900	26	3400	29	4100	35
• L40K(L)	4000K	750	7	800	7	2000	17	2300	19	2800	23

## OPTION<sup>3</sup>

⚠ Option availability may be interdependent with Other Options

**XPS** Express 10 day shipping. Items marked with a bullet (•) are not available with XPS

## VOLTAGE

**MVOLT** 120-277V, 50/60 Hz

## LUMEN MAINTENANCE RATING

L80 (reported) >50,000hrs

## Tamper Resistant Fastener



# RAVEN (cont.)

OW1340/OW1342/OW1344/OW1346/OW1348

Outdoor models with Accent Bars



## RAVEN PRODUCT FAMILY

Accent Bars	Outdoor	<ul style="list-style-type: none"> <li>• OW1348</li> <li>• OW1340</li> <li>• OW1342</li> <li>• OW1344</li> <li>• OW1346</li> </ul>
	Indoor	<ul style="list-style-type: none"> <li>• CV1818</li> <li>• CV1800</li> <li>• CV1802</li> <li>• CV1804</li> <li>• CV1806</li> </ul>
No Accent Bars	Outdoor	<ul style="list-style-type: none"> <li>• OW1350</li> <li>• OW1352</li> <li>• OW1354</li> <li>• OW1356</li> <li>• OW1358</li> </ul>
	Indoor	<ul style="list-style-type: none"> <li>• CV1820</li> <li>• CV1822</li> <li>• CV1824</li> <li>• CV1826</li> <li>• CV1828</li> </ul>

## SUGGESTED VARIATIONS

- 2700k–5000k color temperatures
- Increase fixture length up to 8' (indoor only)

See [Visalighting.com/products/Raven](https://visalighting.com/products/Raven) for more information



# RAVEN (cont.)

OW1340/OW1342/OW1344/OW1346/OW1348

Outdoor models with Accent Bars



## FINISHES

Specify color code when ordering. For accurate color matching, individual paint and finish samples are [available upon request](#).For more information about our finishes visit [visalighting.com/finishes](https://visalighting.com/finishes)

### Powder Coat Paint Finishes (Standard)

						
<b>AGGY</b> Agate Grey	<b>ALGN</b> Alpine Green	<b>BJBG</b> Baja Beige	<b>BMAT</b> Bronze Matt	<b>BRNZ</b> Bronze	<b>BLIL</b> Blade Silver	<b>CVBL</b> Cove Blue
						
<b>DEOR</b> Deoro Gold	<b>GLWT</b> Glacier White	<b>GSIL</b> Graphite Silver	<b>HRGR</b> Harbor Grey	<b>JTBK</b> Jet Black	<b>OCBL</b> Ocean Blue	<b>SHGR</b> Shoreline Grey
						
<b>SBGN</b> Sagebrush Green	<b>SLGR</b> Slate Grey	<b>SSTP</b> Sierra Taupe	<b>TRCN</b> Terracotta Canyon	<b>TRWT</b> Traffic White	<b>VBLK</b> Velvet Black	<b>VNRD</b> Vineyard Red



# COMMERCIAL DEVELOPMENT

## 1 CONGRESS STREET PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS

### OWNER:

ONE MARKET SQUARE LLC  
3 PLEASANT STREET  
SUITE #400  
PORTSMOUTH, NH 03801  
TEL. (603) 427-0725

### LANDSCAPE ARCHITECT:

TERRA FIRMA LANDSCAPE  
ARCHITECTURE  
163A COURT STREET  
PORTSMOUTH, NH 03801  
TEL. (603) 430-8388

### LAND SURVEYOR & CIVIL ENGINEER:

AMBIT ENGINEERING, INC.  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, N.H. 03801  
Tel. (603) 430-9282  
Fax (603) 436-2315

### GEOTECHNICAL:

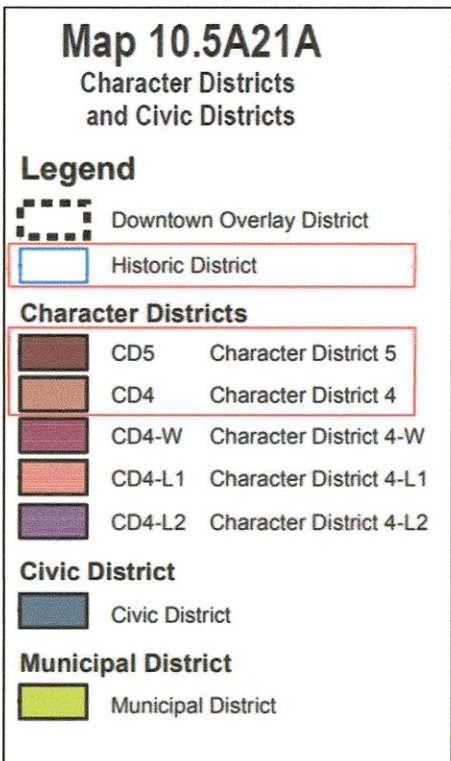
GEOTECHNICAL SERVICES INC.  
18 COTE AVENUE, UNIT 11  
GOFFSTOWN, N.H. 03045  
Tel. (603) 624-2722

### ARCHITECT:

ARCOVE LLC  
3 CONGRESS STREET  
SUITE 1  
PORTSMOUTH, NH 03801  
TEL. (603) 731-5187

### LAND USE ATTORNEY:

BRUTON & BERUBE, PLLC  
601 CENTRAL AVENUE  
DOVER, N.H. 03820  
Tel. (603) 749-4529

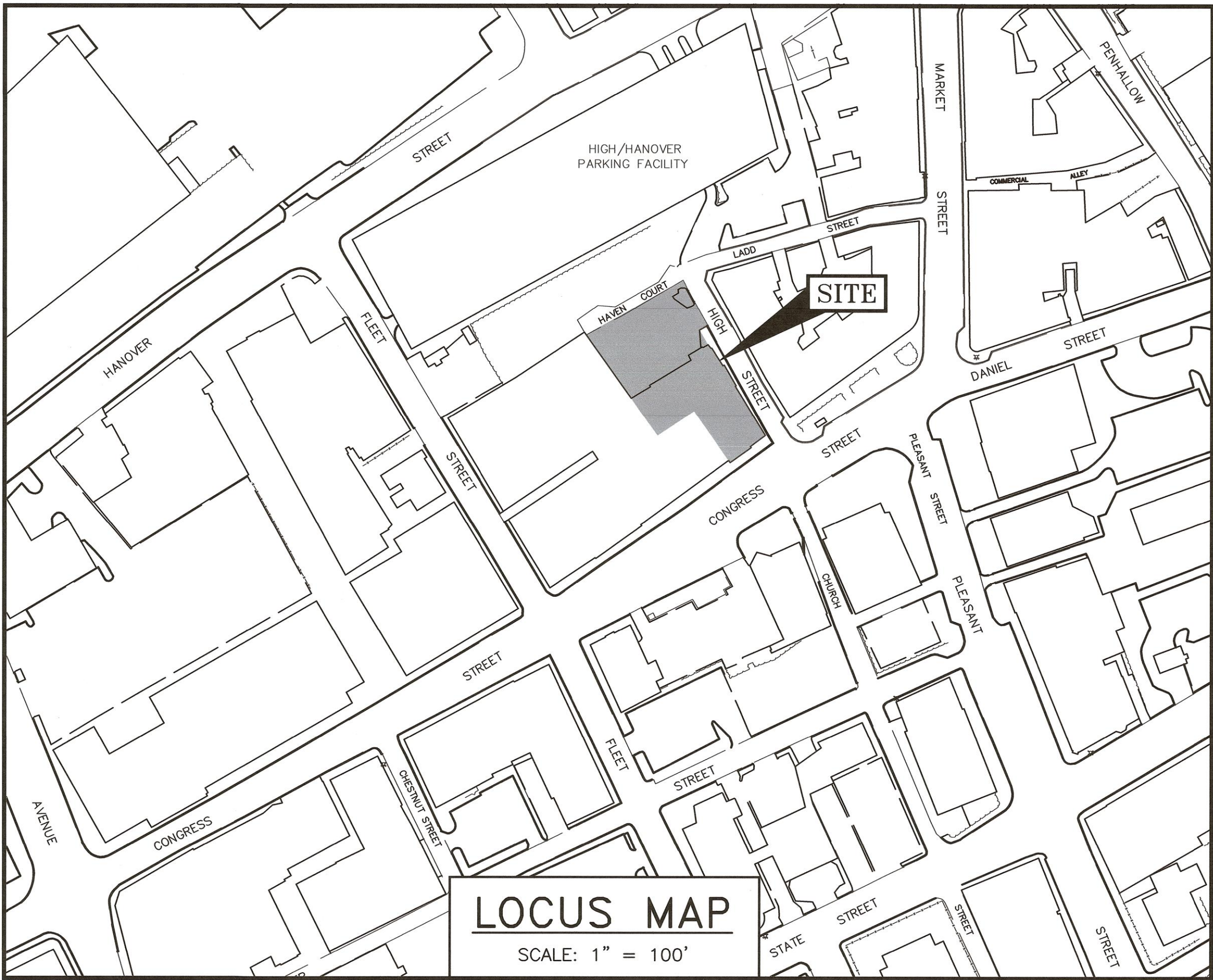


PORTSMOUTH APPROVAL CONDITIONS NOTE:  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN  
PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF  
PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE



### INDEX OF SHEETS

-	BOUNDARY PLAN
-	LICENSE PLAN
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	PROJECT SITE PLAN
-	ARCHITECTURAL PLANS
-	LANDSCAPE PLANS
C4	UTILITY PLAN
C5	GRADING PLAN
C6	PARKING LEVEL PLAN
C7	AVERAGE GRADE PLANE
P1	HIGH STREET PROFILE
D1-D7	DETAILS

### UTILITY CONTACTS

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**COMMUNICATIONS:**  
FAIRPOINT COMMUNICATIONS  
JOE CONSIDINE  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525

**CABLE:**  
COMCAST  
155 COMMERCE WAY  
PORTSMOUTH, N.H. 03801  
Tel. (603) 679-5695 (X1037)  
ATTN: MIKE COLLINS

### PERMIT LIST:

NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED  
PORTSMOUTH HDC: PENDING  
PORTSMOUTH SITE PLAN: PENDING

### LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC WIRES
UD	UD	FOUNDATION DRAIN
100	100	EDGE OF PAVEMENT (EP)
97x3	98x0	CONTOUR
98x0	98x0	SPOT ELEVATION
98x0	98x0	UTILITY POLE
98x0	98x0	WALL MOUNTED EXTERIOR LIGHTS
98x0	98x0	TRANSFORMER ON CONCRETE PAD
98x0	98x0	ELECTRIC HANDHOLD
98x0	98x0	SHUT OFFS (WATER/GAS)
98x0	98x0	GATE VALVE
98x0	98x0	HYDRANT
98x0	98x0	CATCH BASIN
98x0	98x0	SEWER MANHOLE
98x0	98x0	DRAIN MANHOLE
98x0	98x0	TELEPHONE MANHOLE
98x0	98x0	PARKING SPACE COUNT
98x0	98x0	PARKING METER
98x0	98x0	LANDSCAPED AREA
98x0	98x0	TO BE DETERMINED
98x0	98x0	CAST IRON PIPE
98x0	98x0	COPPER PIPE
98x0	98x0	DUCTILE IRON PIPE
98x0	98x0	POLYVINYL CHLORIDE PIPE
98x0	98x0	REINFORCED CONCRETE PIPE
98x0	98x0	ASBESTOS CEMENT PIPE
98x0	98x0	VITRIFIED CLAY PIPE
98x0	98x0	EDGE OF PAVEMENT
98x0	98x0	ELEVATION
98x0	98x0	FINISHED FLOOR
98x0	98x0	INVERT
98x0	98x0	SLOPE FT/FT
98x0	98x0	TEMPORARY BENCH MARK
98x0	98x0	TYPICAL



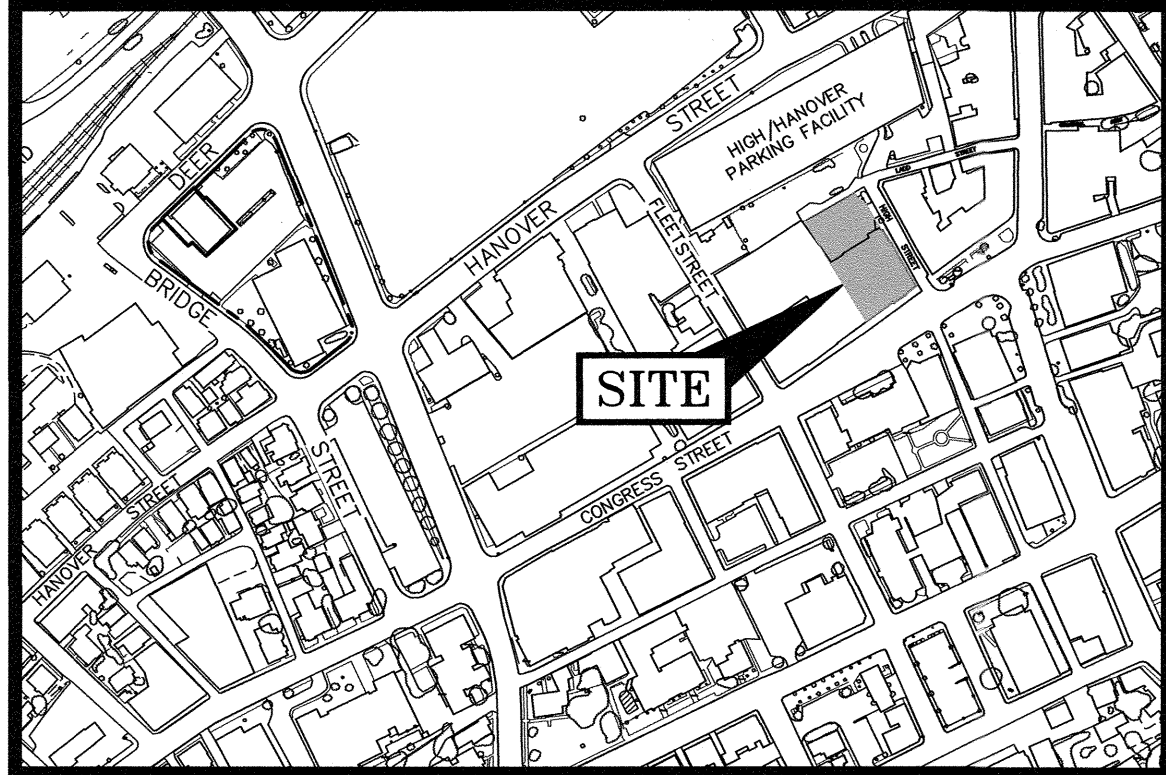
SITE PERMIT PLANS  
COMMERCIAL DEVELOPMENT  
1 CONGRESS STREET  
PORTSMOUTH, N.H.



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 20 DECEMBER 2022





LOCATION MAP

SCALE: 1" = 300'

LEGEND:

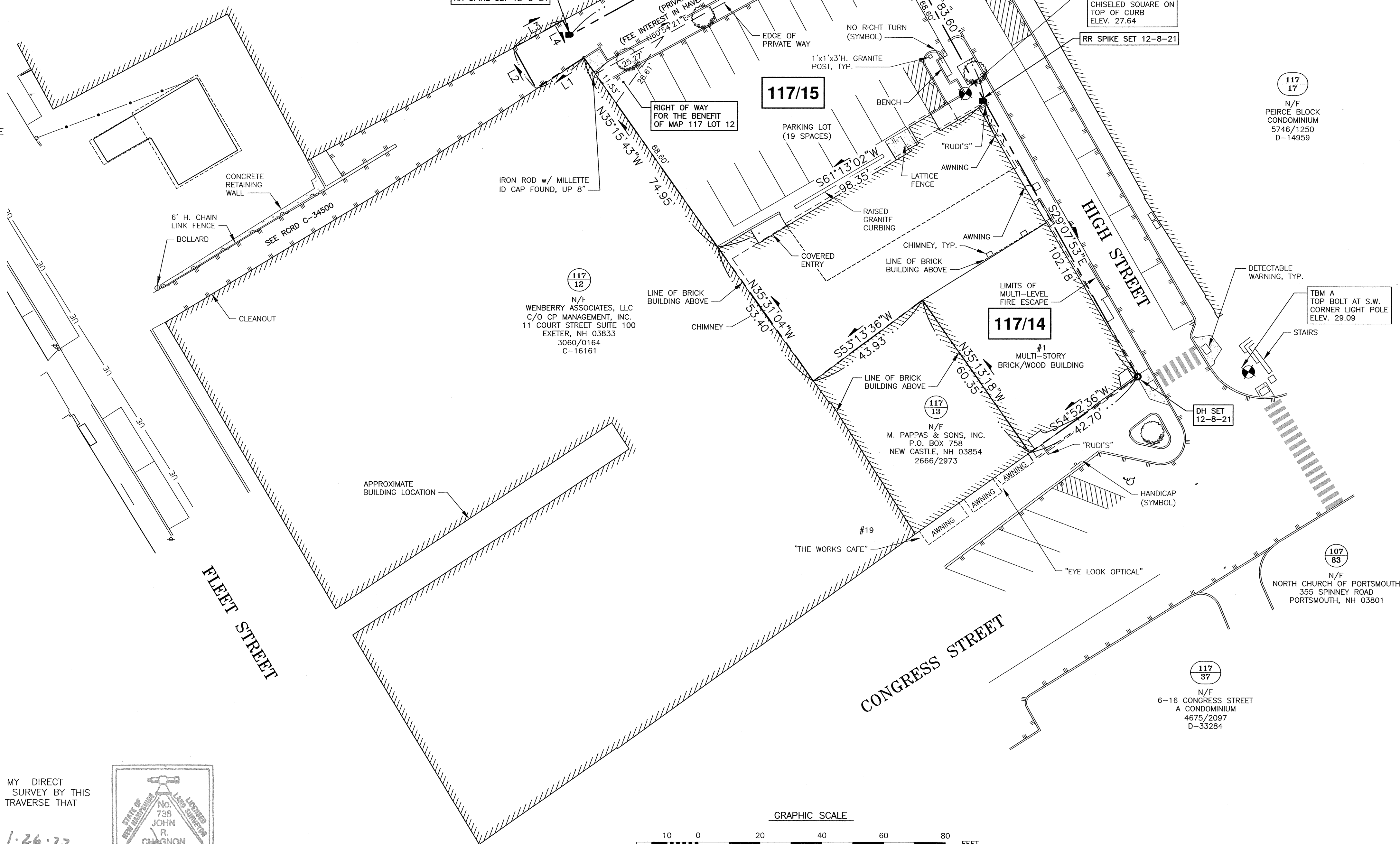
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
RR SPK	RAILROAD SPIKE
11/21	MAP 11/LOT 21
○ IR FND	IRON ROD FOUND
○ IP FND	IRON PIPE FOUND
● IR SET	IRON ROD SET
● DH FND	DRILL HOLE FOUND
● DH SET	DRILL HOLE SET
■ NHFB	NH DOT BOUND FOUND
■ TB	TOWN BOUND
■ BND w/DH	BOUND WITH DRILL HOLE
■ ST BND w/DH	STONE BOUND WITH DRILL HOLE

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S57°27'42"W	18.36'
L2	N28°53'22"W	15.00'
L3	N61°07'46"E	18.19'
L4	S29°05'39"E	5.28'

PLAN REFERENCES:

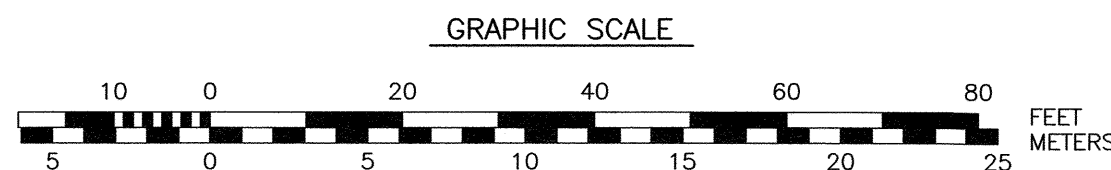
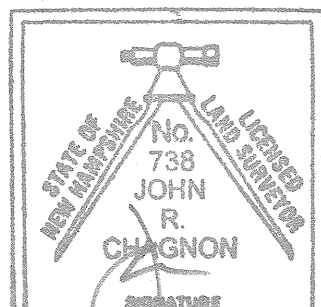
- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537.
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED.
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161.
- 9) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

JOHN R. CHAGNON, LLS 738

1-26-22  
DATE



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:  
ONE MARKET SQUARE, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
6363/31 PARCEL 1 & PARCEL 2
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
- 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES  
MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES  
COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
- 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
- 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

NO.	DESCRIPTION	DATE
1	NEW OWNER	1/26/22
0	ISSUED FOR RECORDING	12/8/21

STANDARD BOUNDARY SURVEY  
TAX MAP 117  
LOTS 14 & 15

OWNER OF RECORD:  
**ONE MARKET SQUARE, LLC**

PROPERTY LOCATED AT:  
1 CONGRESS STREET & HIGH STREET  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE

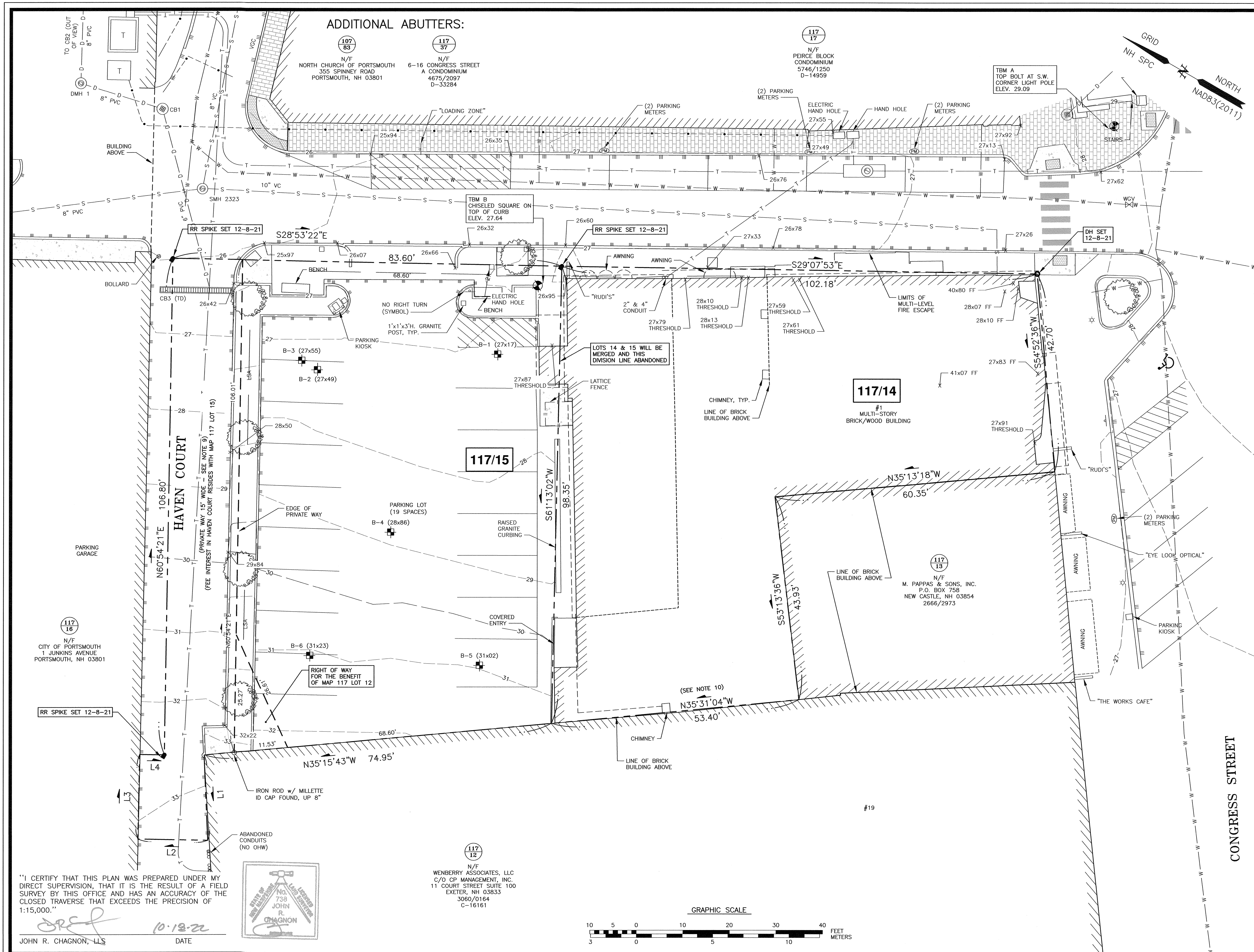
SCALE: 1" = 20' NOVEMBER 2021







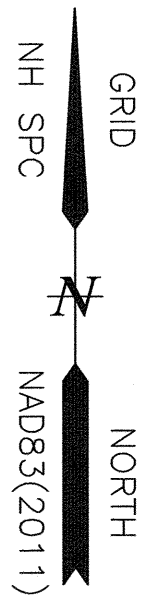
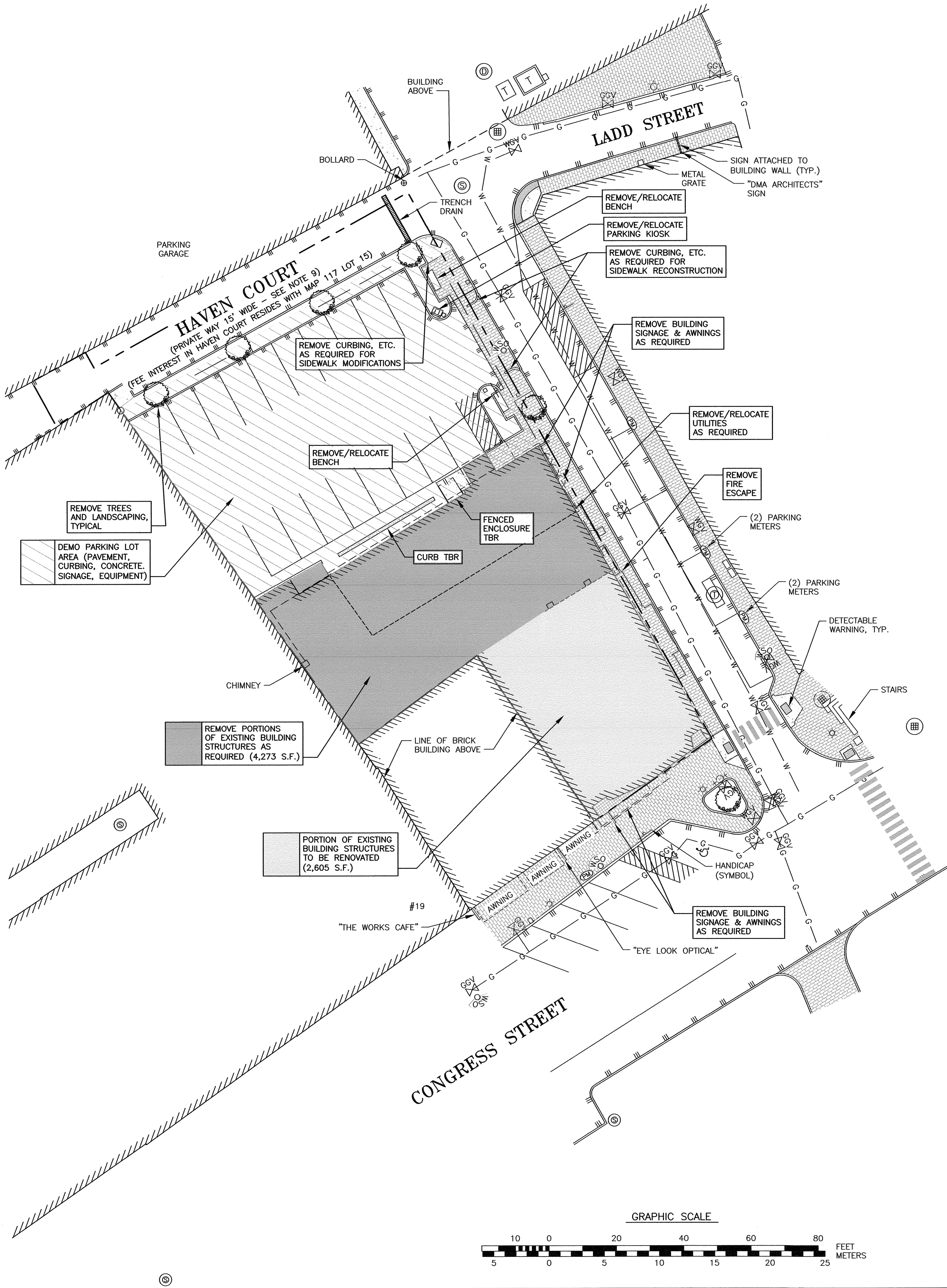
J:\0853\IN 3400\3400\3406\2021 Survey and Site Plan\Plan & Specs\Site\3406 Site 2022.dwg, 12/22/2022 3:41:15 PM, Canon TX-3000 Drafting.pc3





DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



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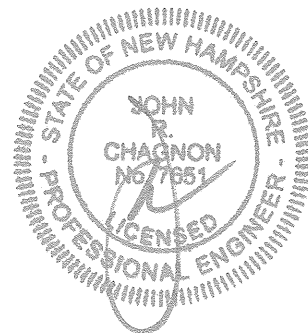
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

COMMERCIAL  
DEVELOPMENT  
ONE CONGRESS STREET  
PORTSMOUTH, N.H.

1	SIDEWALK/CURB NOTES	12/20/22
0	ISSUED FOR COMMENT	9/6/22
NO.	DESCRIPTION	DATE

REVISIONS

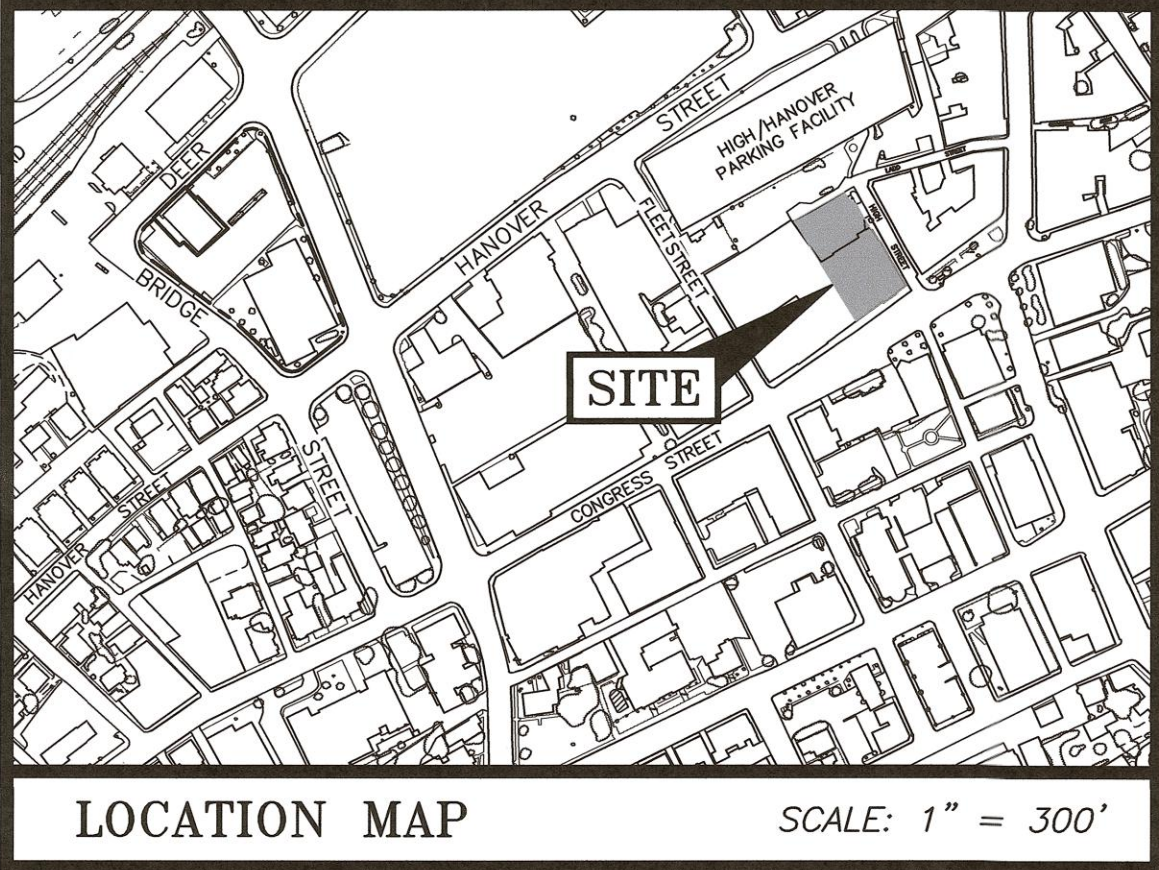


SCALE 1" = 20' SEPTEMBER 2022

DEMOLITION  
PLAN

C2





ZONING DEVELOPMENT STANDARD			
CD4 (CD-4, DOD, HOC) CHARACTER DISTRICT 4			
	EXISTING	REQUIRED	PROPOSED
Height	2 stories with short 3rd fl.	N/A	40' - 7 3/4"
Protrusions	may exceed bldg height by 2'	N/A	N/A
Roof appearance	may exceed bldg height by 10'	N/A	7' - 5 3/4"
Facade Types	brick/stone	yes	yes
Building Types	commercial, live-work, mixed use, flex space & community	N/A	mixed use (retail, office, apartments)
* 10.5A42.12 yards may be increased above the max permitted for truncated corners or other subtractive missing techniques, alleys, vehicular accessways, increased sidewalk width or community spaces.			
Setbacks (ft) *			
Front (principal) max	10	N/A	0'-0"
Front (secondary) max	15	N/A	2'-0"
Side	N/A	N/A	N/A
Rear, min	-adj. 5' from rear line or 10' from d alley	N/A	11' 3"
Front lotline buildout	50% min	N/A	100.00%
Lot area (sf)	N/A	0	5,800
LOT area per dwelling	N/A	0	N/A
Coverage, maximum	90%	0	65.0%
Footprint, max*	15,000	0	5,686
10.5A43.43 increase for indoor parking >50% or floor parking & 30% lot is community space	30,000 ground (20,000 upper)		0
Ground floor area per use, max	15,000		5,686
Open space, minimum	10%		36.4%
Permitted uses (add & subtract)	multifamily, live/work, office, retail, restaurant (<500cc)	surface parking lot	commercial retail
Block length, max (ft)	200	N/A	186' - 0 3/4"
Facade modulation length, max (ft)	N/A	N/A	77' - 3 7/8"
Entrance spacing, max (ft)	80	N/A	39' - 10 3/8"
Front height above sidewalk, max	50	N/A	16"
Ground floor height, min	12'	N/A	13' 5 5/8"
Second floor height, min	10'	N/A	21' 3"
Cladding, shophouse, min	20%	N/A	20%
Cladding, other	20%-50%	N/A	25%
Roof types(sloitch)	flat, gable (6:12-12:12), hipl-3-12), gambrel/mansard(6:12-30:12)	N/A	hipped mansard
Parking, off-street, DOD*	19	12	
* use CD-5 zoning chart for remainder of parking spaces			
UNIT-5000F-5 space/unit; 500-750d-1 space/unit; >750d-1.3 space/unit. ( = 1 visitor space/2 units)			
Residential (dwellings)	N/A	N/A	10
Professional office	N/A	N/A	N/A
* use CD-5 zoning chart for remainder of parking spaces			

ZONING DEVELOPMENT STANDARD			
CD4 (CD-4, DOD, HOC) CHARACTER DISTRICT 4			
	EXISTING	REQUIRED	PROPOSED
Height	2 1/2 stories with short 4th fl.	40' - 7 3/4"	40' - 7 3/4"
Protrusions	may exceed bldg height by 2'	N/A	N/A
Roof appearance	may exceed bldg height by 10'	8' 0 3/4"	7' - 5 3/4"
Facade Types	brick/stone	yes	yes
Building Types	commercial, live-work, mixed use, flex space & community	mixed use (retail, restaurant, office, apartments)	mixed use (retail, office, apartments)
* 10.5A42.12 yards may be increased above the max permitted for truncated corners or other subtractive missing techniques, alleys, vehicular accessways, increased sidewalk width or community spaces.			
Setbacks (ft) *			
Front (principal) max	5	0'-0"	0'-0"
Front (secondary) max	10	0'-0"	2'-0"
Side	N/A	0'-0"	N/A
Rear, min	-adj. 5' from rear line or 10' from d alley	0'-5"	0.00
Front lotline buildout	80% min	100%	100%
Lot area (sf)	180	7,200	5,800
LOT area per dwelling	N/A	N/A	N/A
Coverage, maximum	90%	13.5%	65.1%
Footprint, max*	20,000	2,726	3,701
10.5A43.43 increase for indoor parking >50% or floor parking & 30% lot is community space	50,000 ground (20,000 upper)	0	0
Ground floor area per use, max	15,000	2,726	3,701
Open space, minimum	10%	62.48%	10.3%
Permitted uses (add & subtract)	commercial, live/work, mixed-use, flex space, community, office, retail, restaurant (<500cc)	commercial, mixed use, office, retail & restaurant	COMMERCIAL (retail, restaurant, hotel lobby)
Block length, max (ft)	225	186' - 0 3/4"	186' - 0 3/4"
Facade modulation length, max (ft)	100	62' - 5 1/8"	22' - 11 1/8"
Entrance spacing, max (ft)	50	49' - 7 1/4"	35' - 6 1/4"
Front height above sidewalk, max	36"	4"	4"
Ground floor height, min	12'	12' - 8 3/8"	13' 5 5/8"
Second floor height, min	10'	11' 3"	11' 3"
Cladding, shophouse, min	20%	13%	5%
Cladding, other	20%-50%	28%	28%
Roof types(sloitch)	flat, gable (6:12-12:12), hipl-3-12), gambrel/mansard(6:12-30:12)	hipped mansard and gable	hipped mansard
Parking, off-street, DOD*	0	11	
* use CD-4 zoning chart for remainder of parking spaces			
UNIT-5000F-5 space/unit; 500-750d-1 space/unit; >750d-1.3 space/unit. ( = 1 visitor space/2 units)			
Residential (dwellings)	5	#	#
Professional office	N/A	N/A	N/A
* use CD-4 zoning chart for remainder of parking spaces			

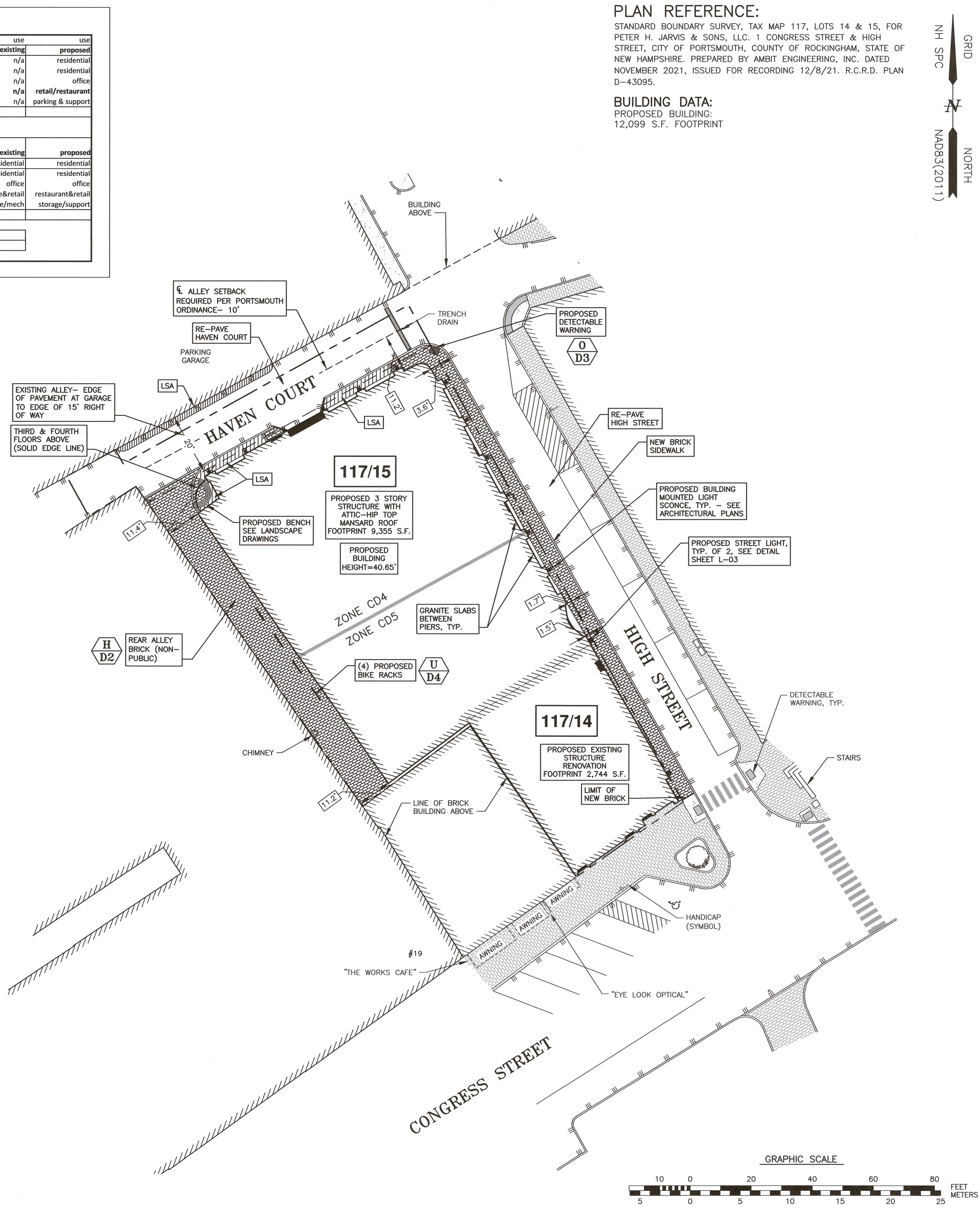
THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

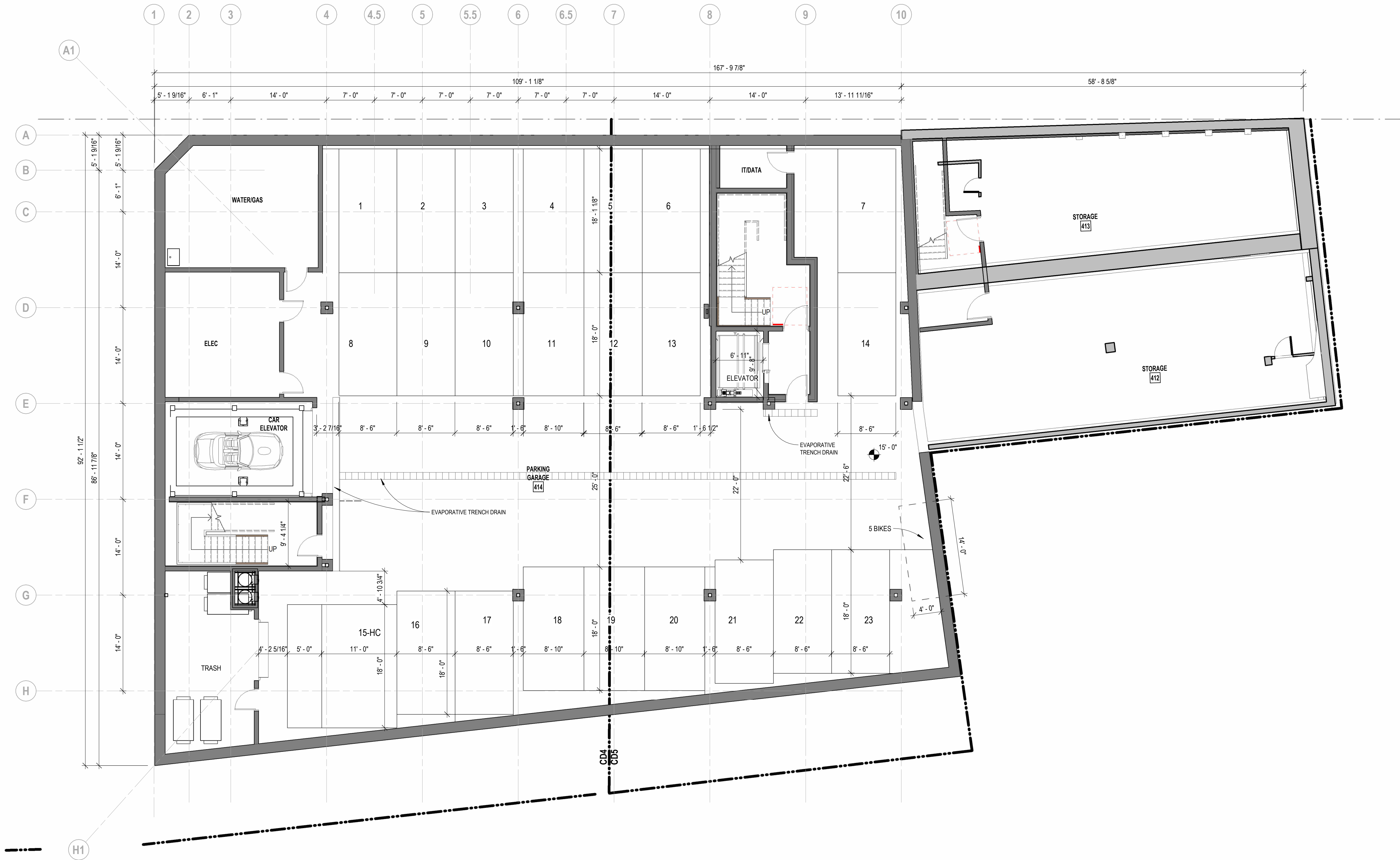
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

Schematic Area Summary			
10/18/2022			
	gsf	use existing	use proposed
new construction	total new		
4th floor	7,812	n/a	residential
3rd floor	9,355	n/a	residential
2nd floor	9,355	n/a	office
1st floor (footprint)	9,355	n/a	retail/restaurant
basement	9,581	n/a	parking & support
total new	45,458		
existing to remain and be renovated		existing	proposed
4th floor - 18.3 Congress St	2,422	residential	residential
3rd floor - 18.3 Congress St	2,725	residential	residential
2nd floor - 18.3 Congress St	2,725	office	office
1st floor - 18.3 Congress St (footprint)	2,725	office&retail	restaurant&retail
basement - 18.3 Congress	2,725	storage/mech	storage/support
total renovation	13,322		
TOTAL FOOTPRINT new + reno	12,080		
TOTAL BUILDING new + reno	58,780		
roof decks	889		





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3 Congress St, Ste 1  
PORTSMOUTH, NH 03801  
T 603.731.5187  
arcove.com

**Ambit Engineering Inc**  
Civil Engineering  
200 Griffin Rd Unit 3  
Portsmouth NH 03801  
(603) 430-9282  
ambitengineering.com

**Terra Firma Landscape**  
Landscape Architecture  
163a Court St  
Portsmouth NH 03801  
(603) 531-9109  
terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE  
LLC



Scale: 1/8" = 1'-0"  
Date: 12/22/2022  
Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

BASEMENT  
FLOOR PLAN

PB.A0

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arcove.com

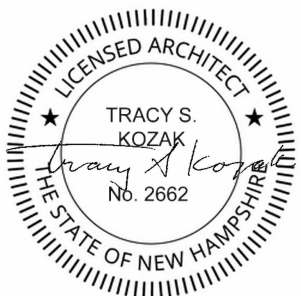
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1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE  
LLC



Scale: 1/8" = 1'-0"  
Date: 12/22/2022  
Project Number: 1002

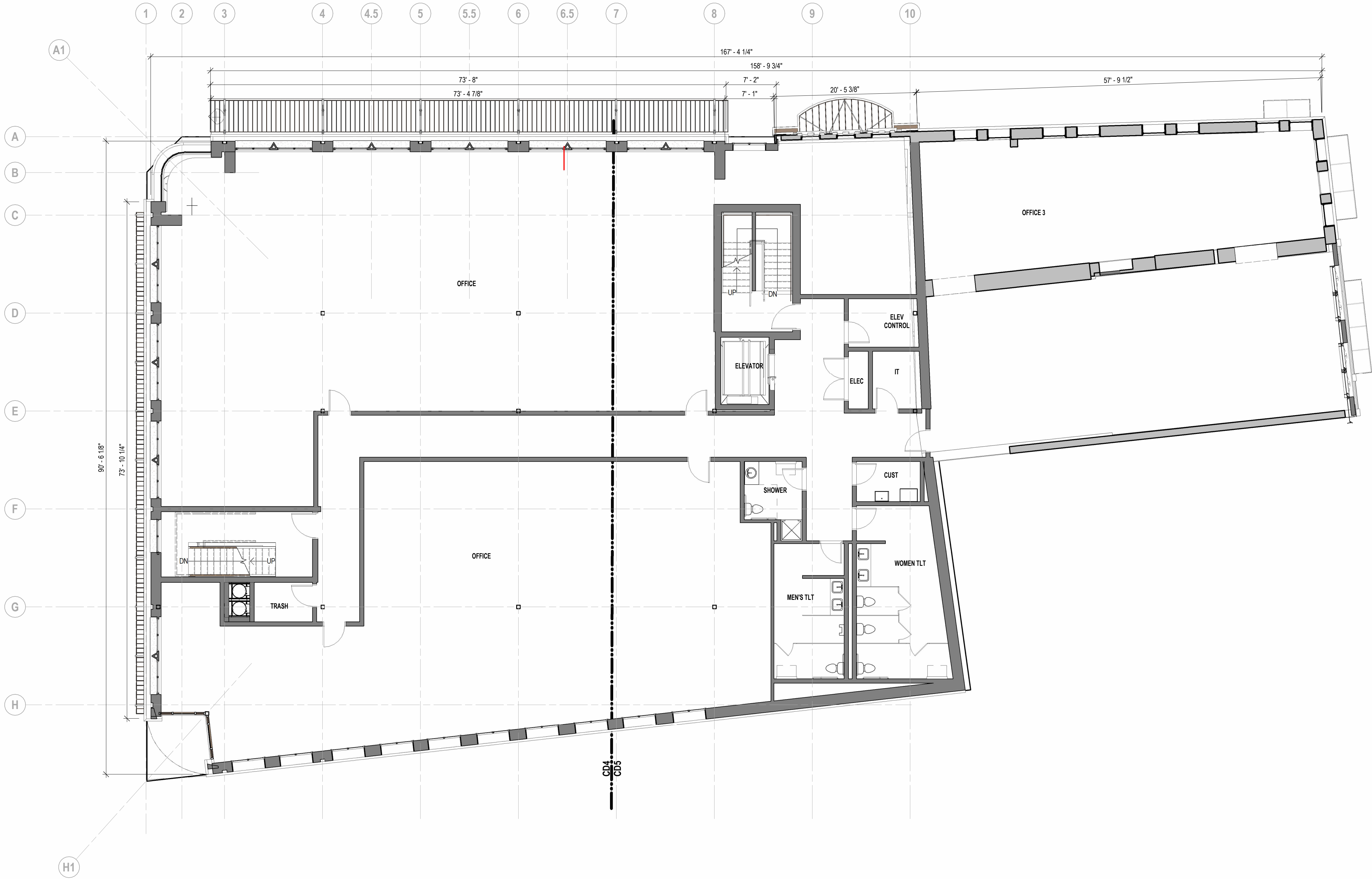
REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

SECOND FLOOR  
PLAN

PB.A2

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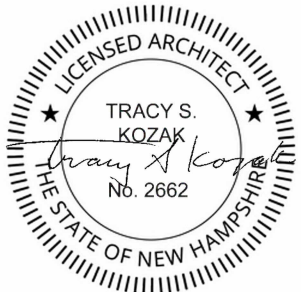
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ambitengineering.com

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terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE  
LLC



Scale: 1/8" = 1'-0"  
Date: 12/22/2022  
Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

THIRD FLOOR  
PLAN

PB.A3

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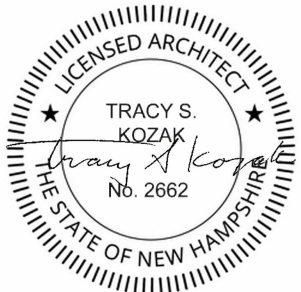
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200 Griffin Rd Unit 3  
Portsmouth NH 03801  
(603) 430-9282  
ambitengineering.com

**Terra Firma Landscape**  
Landscape Architecture  
163a Court St  
Portsmouth NH 03801  
(603) 531-9109  
terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE  
LLC



Scale: 1/8" = 1'-0"  
Date: 12/22/2022  
Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

FOURTH FLOOR  
PLAN

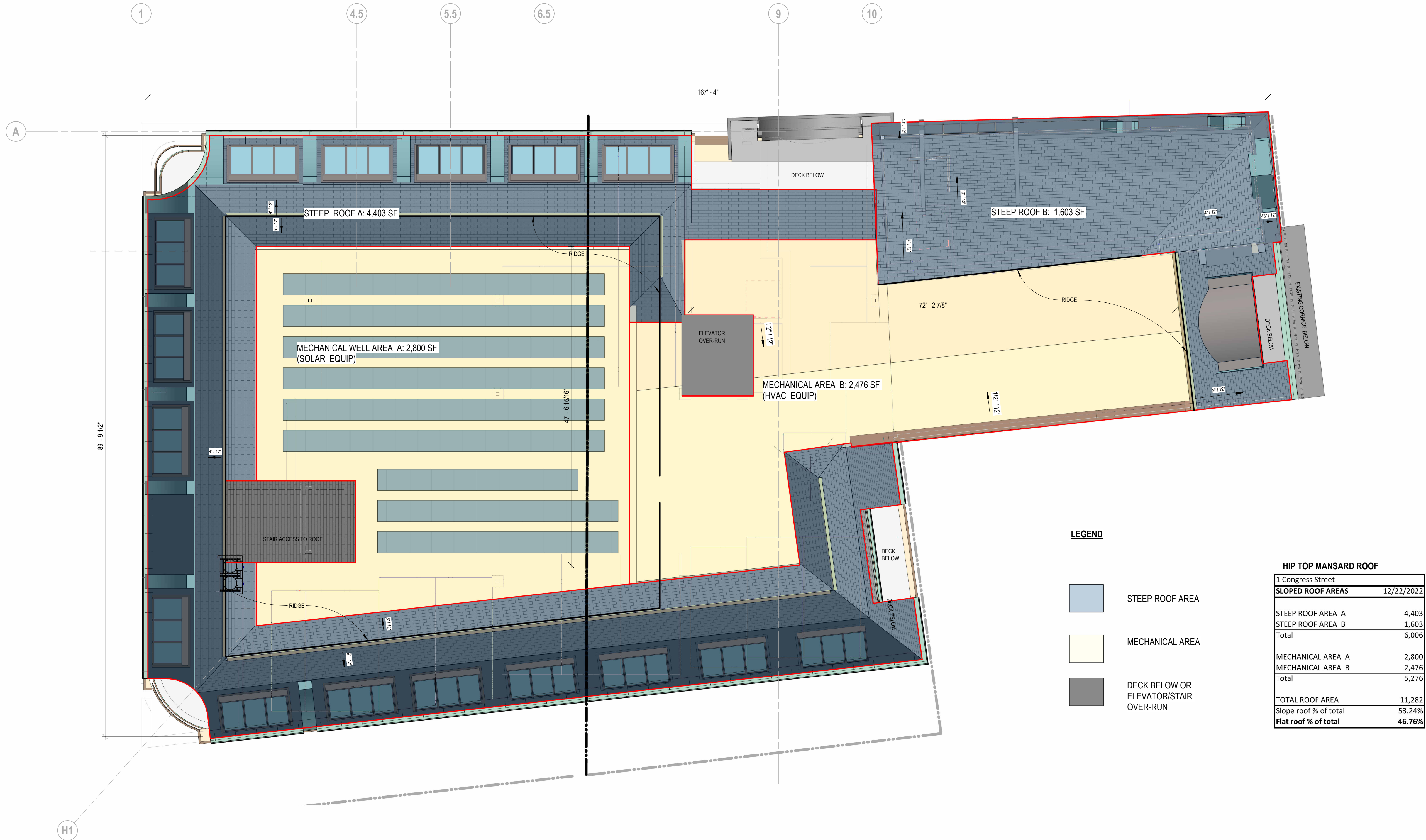
PB.A4

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T 603.731.5187  
arcove.com

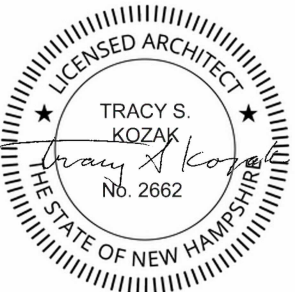
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ambitengineering.com

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terrafirmalandarch.com

1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE  
LLC



Scale: 1/8" = 1'-0"  
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REVISIONS		
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SITE PLAN REVIEW

ROOF PLAN

PB.A5

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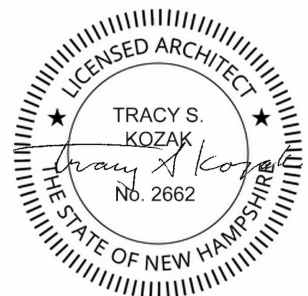
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## 1 CONGRESS STREET

PORTSMOUTH, NH

## ONE MARKET SQUARE LLC



Scale: 1/16" = 1'-0"  
Date: 12/22/2022  
Project Number: 1002

### REVISIONS

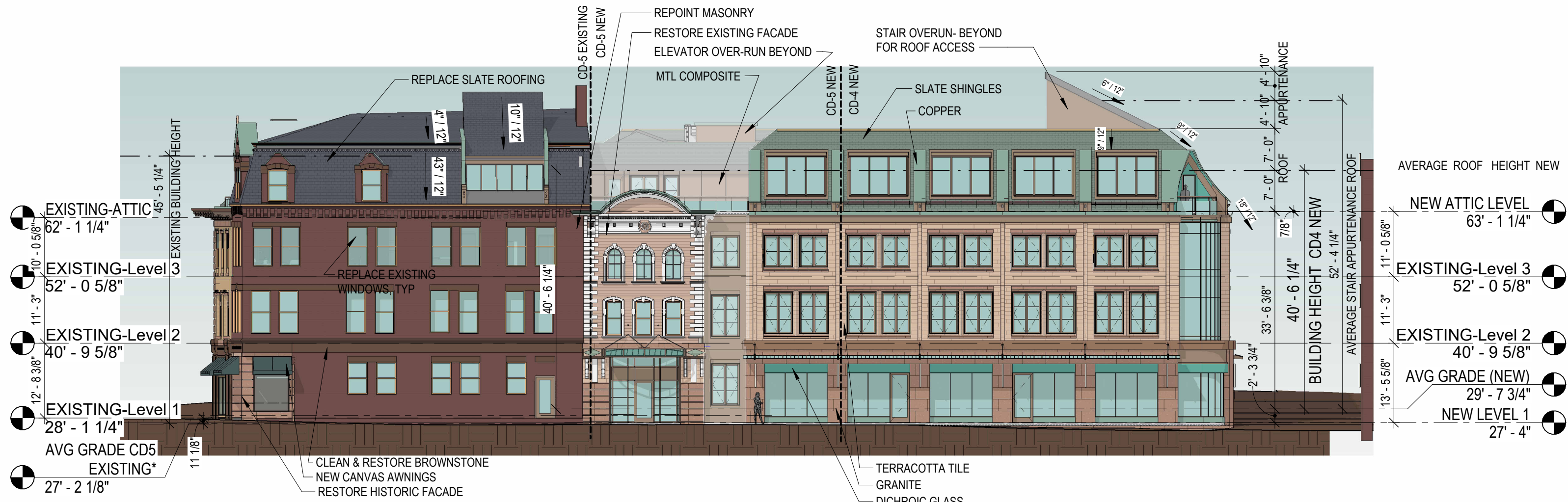
NO.	DESCRIPTION	DATE
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## SITE PLAN REVIEW

## ELEVATIONS

# PB.A6

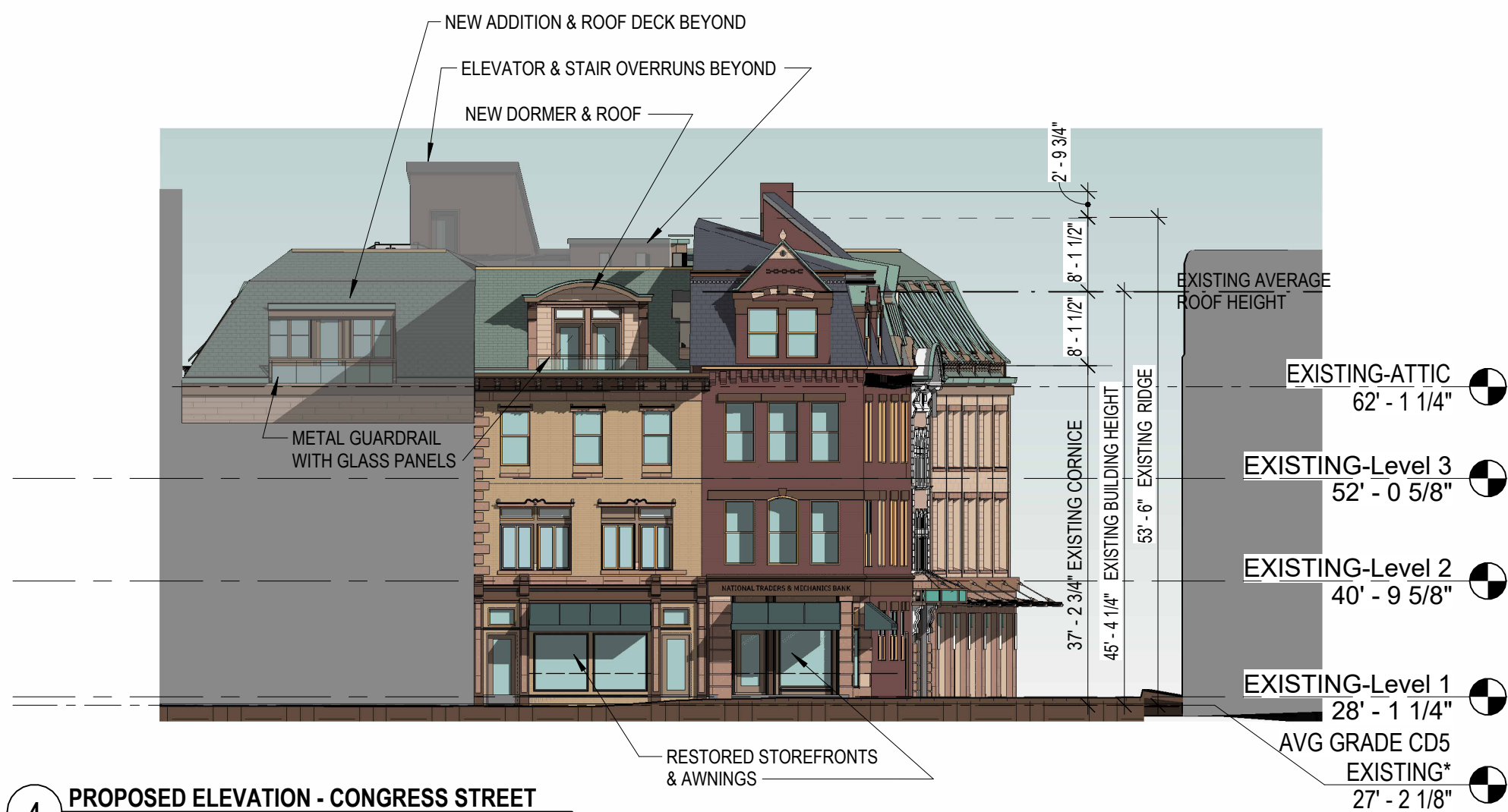
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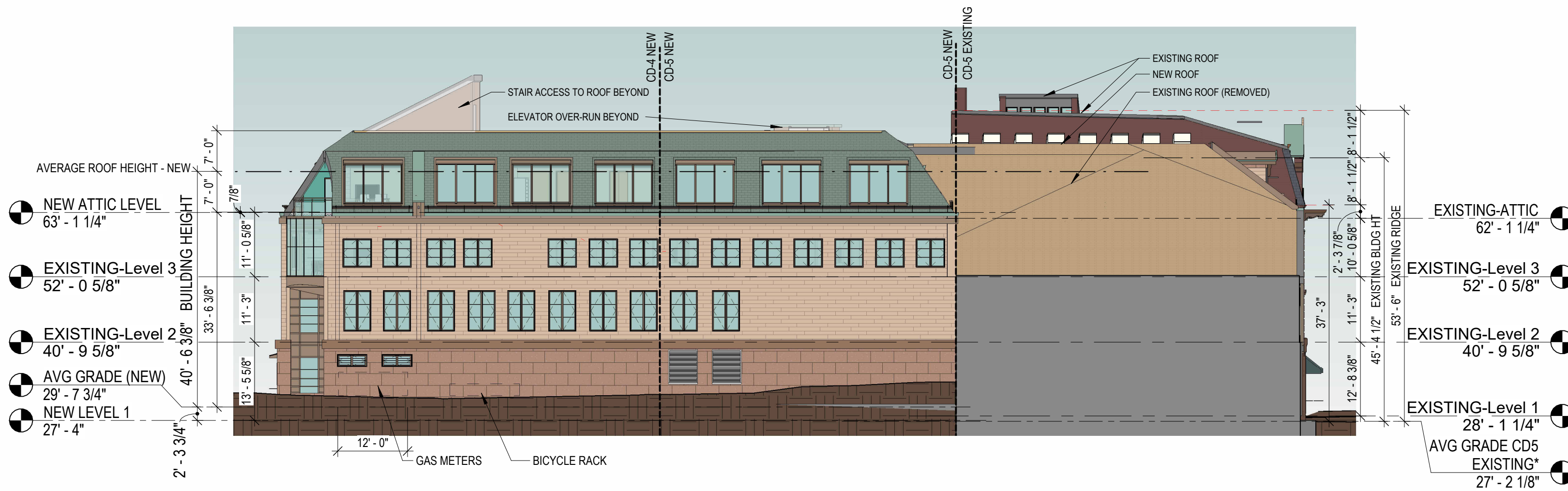
1 PROPOSED ELEVATION - NE - HIGH STREET  
1/16" = 1'-0"



2 PROPOSED ELEVATION - NW HAVEN COURT  
1/16" = 1'-0"



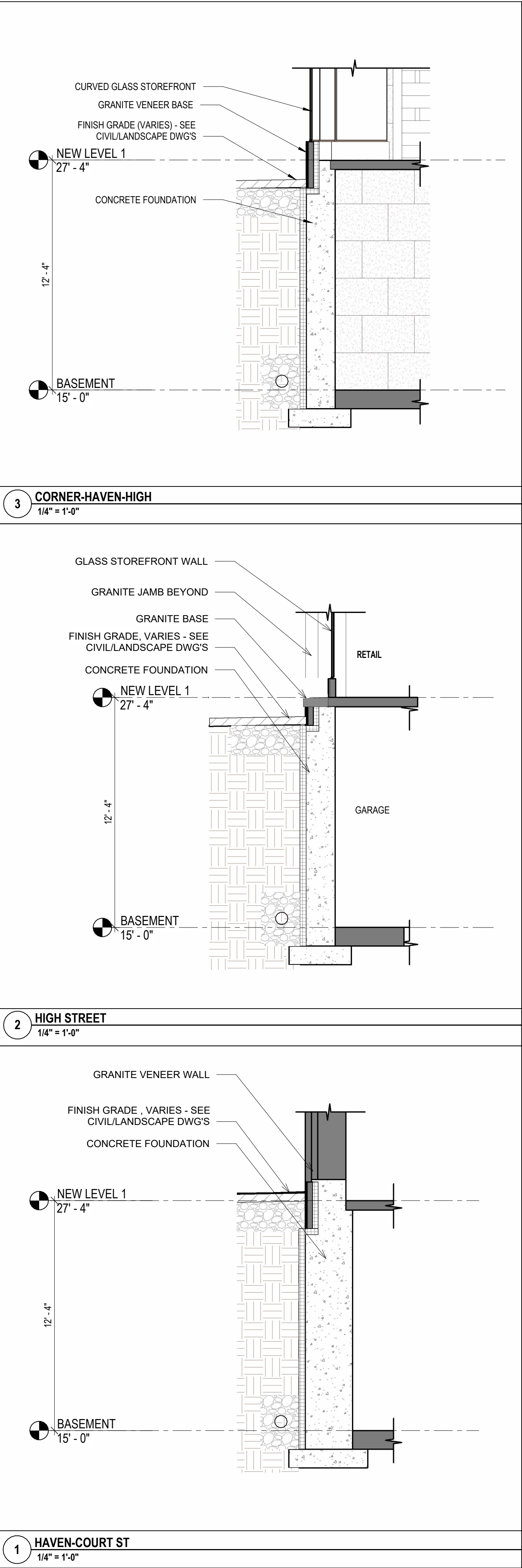
4 PROPOSED ELEVATION - CONGRESS STREET  
1/16" = 1'-0"



3 SW ELEVATION - REAR ALLEY PB2  
1/16" = 1'-0"



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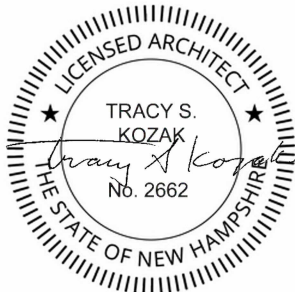
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1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE  
LLC



Scale: 1/4" = 1'-0"  
Date: 12/22/2022  
Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

WALL SECTIONS

PB.A8

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VIEW FROM MARKET SQUARE



VIEW FROM HIGH STREET AT LADD STREET



VIEW FROM LADD STREET



VIEW FROM HAVEN COURT AT NEWBERRY'S



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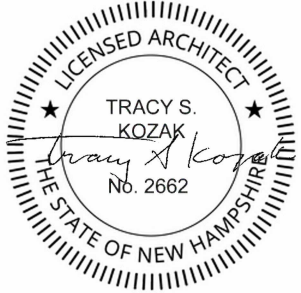
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## 1 CONGRESS STREET

PORTSMOUTH, NH

ONE MARKET SQUARE  
LLC



Scale:  
Date: 12/22/2022  
Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

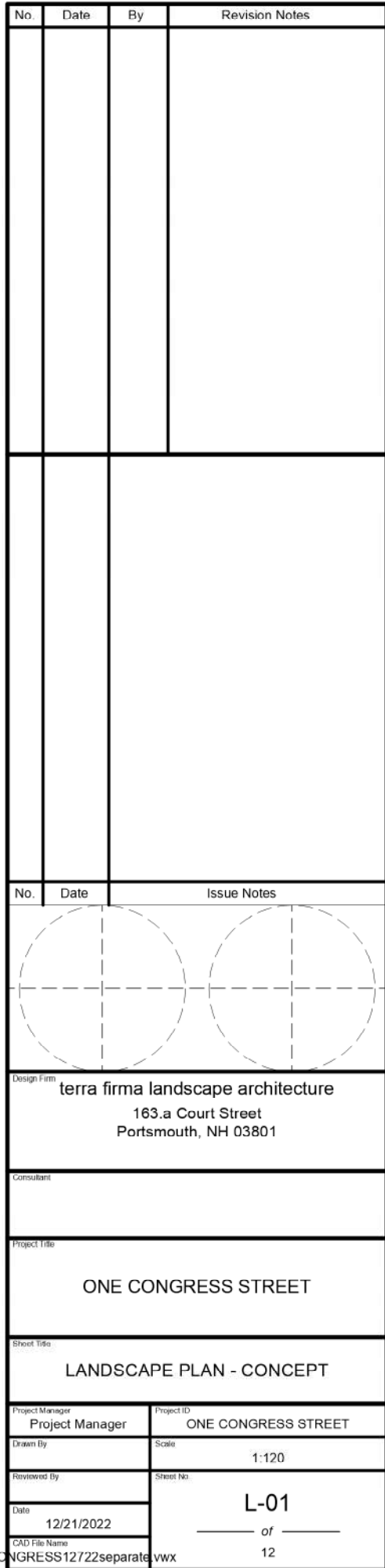
## SITE PLAN REVIEW

3D VIEWS

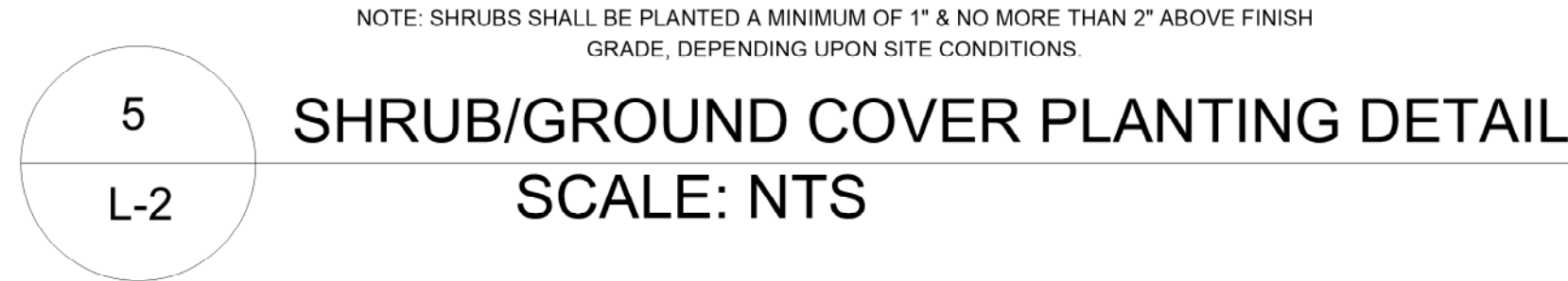
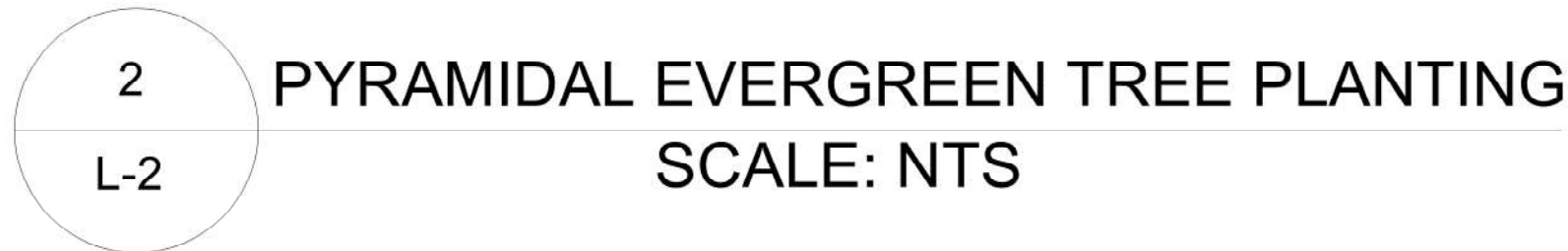
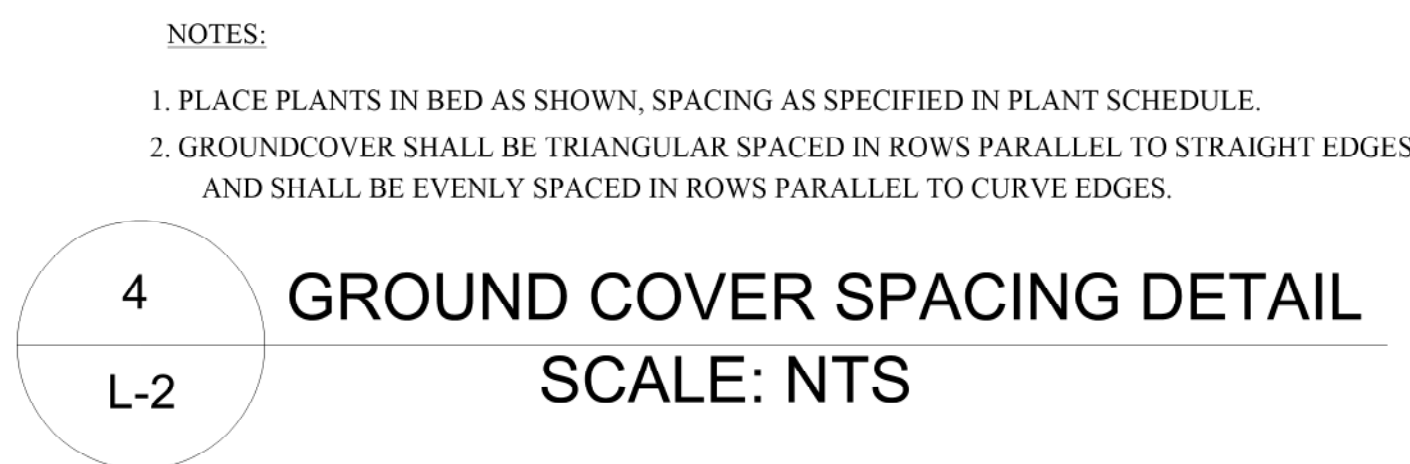
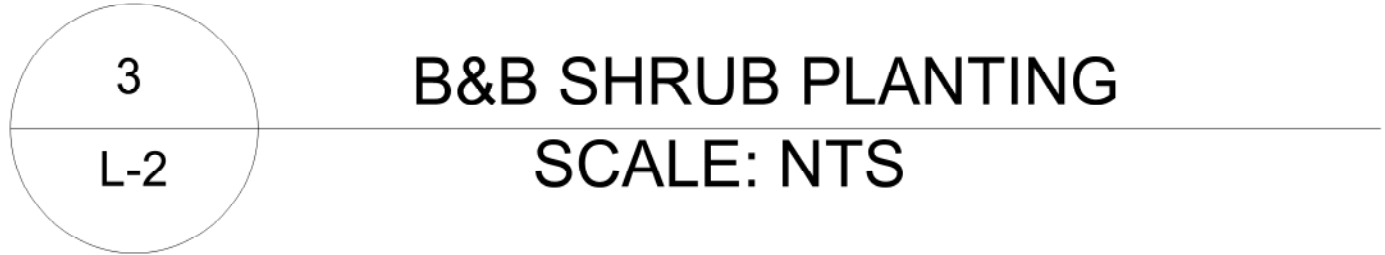
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terra firma  
landscape architecture

[illegible]





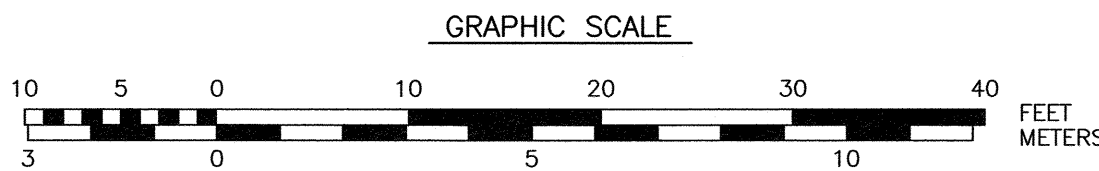
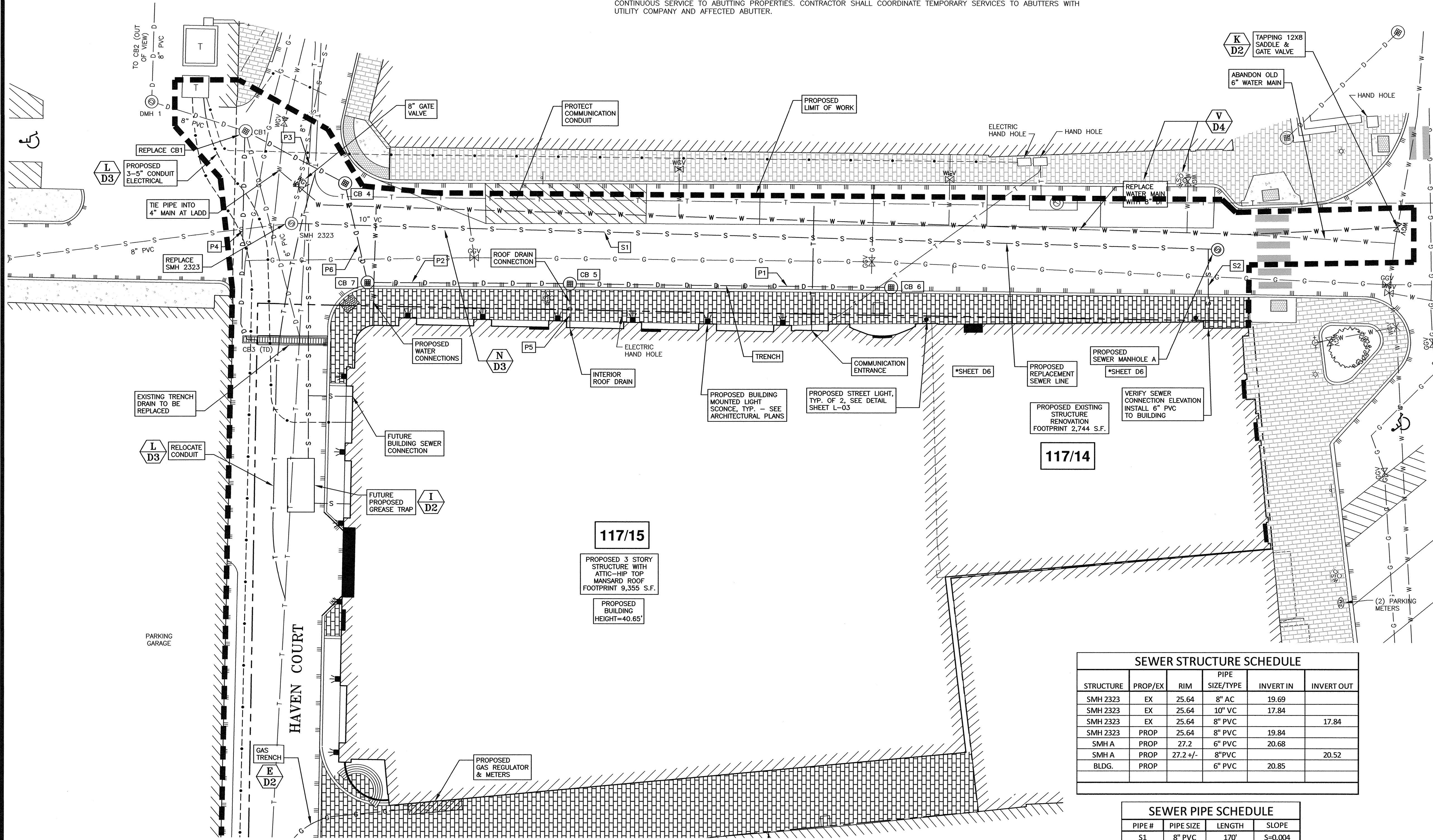


UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.


UTILITY NOTES CONTINUED:

- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6" COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.



SEWER STRUCTURE SCHEDULE					
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT
SMH 2323	EX	25.64	8" AC	19.69	
SMH 2323	EX	25.64	10" VC	17.84	
SMH 2323	EX	25.64	8" PVC		17.84
SMH 2323	PROP	25.64	8" PVC	19.84	
SMH A	PROP	27.2	6" PVC	20.68	
SMH A	PROP	27.2 +/-	8" PVC		20.52
BLDG.	PROP		6" PVC	20.85	

SEWER PIPE SCHEDULE			
PIPE #	PIPE SIZE	LENGTH	SLOPE
S1	8" PVC	170'	S=0.004
S2	6" PVC	15'	S=0.01



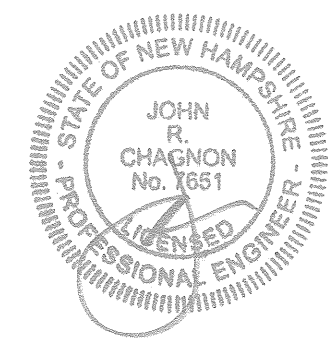
**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
  - 4) PROVIDE TEMPORARY WATER SERVICES TO ALL IMPACTED PROPERTIES DURING NEW WATER MAIN INSTALLATION.
  - 5) PROPOSED SEWER FLOW:  
1ST FLOOR: 9,355 SF RETAIL/RESTAURANT:  
460-3,000 GPD  
2ND FLOOR: OFFICE: 470 GPD  
REMAINDER: 18 RESIDENTIAL UNITS:  
3,000 GPD  
TOTAL PROPOSED FLOW: 3,930-6,470 GPD

COMMERCIAL DEVELOPMENT  
ONE CONGRESS STREET  
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
3	RE-DESIGN	12/20/22
2	PROPOSED ELECTRICAL & COMMS	10/27/22
1	BUILDING FOOTPRINT	10/18/22
0	ISSUED FOR COMMENT	9/6/22

REVISIONS

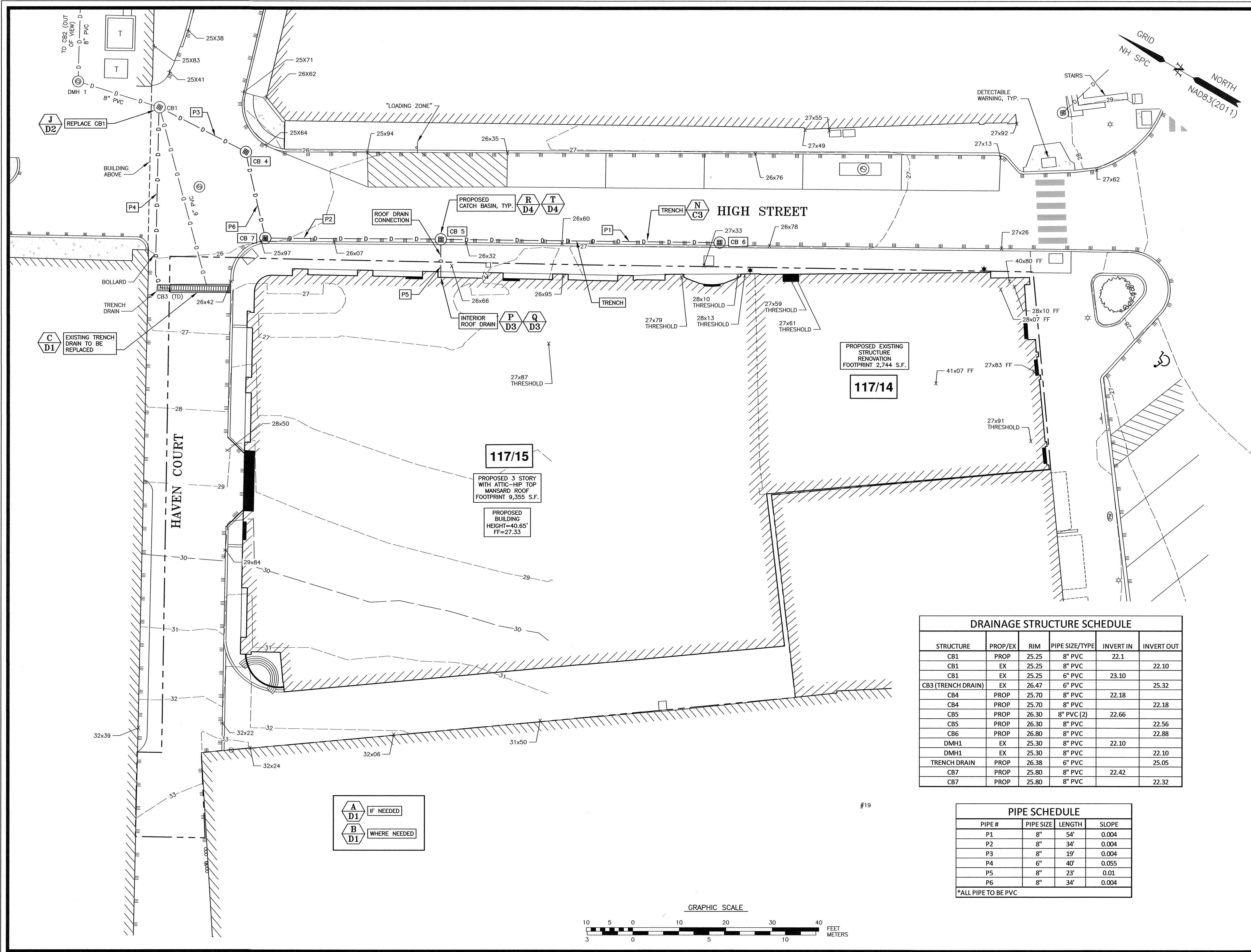


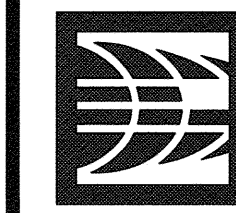
SCALE 1" = 10' SEPTEMBER 2022

UTILITY PLAN

C4







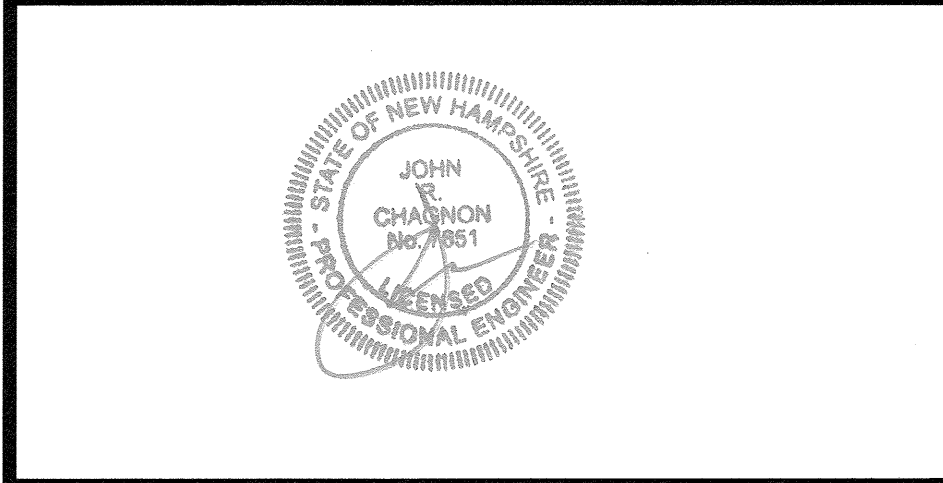
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  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**COMMERCIAL  
DEVELOPMENT  
ONE CONGRESS STREET  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	REVISED	12/20/22
1	BUILDING FOOTPRINT, GRADING	10/18/22
0	ISSUED FOR COMMENT	9/6/22

**REVISIONS**



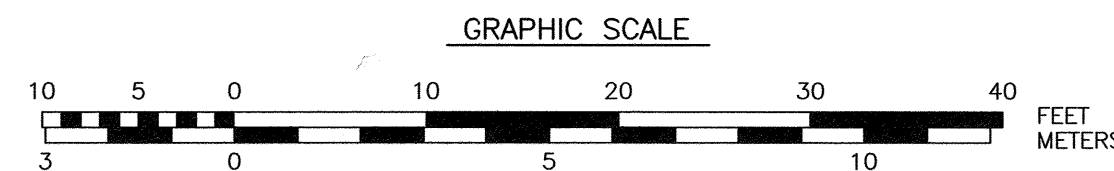
SCALE 1" = 10'      SEPTEMBER 2022

**GRADING  
PLAN**

**C5**

DRAINAGE STRUCTURE SCHEDULE					
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT
CB1	PROP	25.25	8" PVC	22.1	
CB1	EX	25.25	8" PVC		22.10
CB1	EX	25.25	6" PVC	23.10	
CB3 (TRENCH DRAIN)	EX	26.47	6" PVC		25.32
CB4	PROP	25.70	8" PVC	22.18	
CB4	PROP	25.70	8" PVC		22.18
CB5	PROP	26.30	8" PVC (2)	22.66	
CB5	PROP	26.30	8" PVC		22.56
CB6	PROP	26.80	8" PVC		22.88
DMH1	EX	25.30	8" PVC	22.10	
DMH1	EX	25.30	8" PVC		22.10
TRENCH DRAIN	PROP	26.38	6" PVC		25.05
CB7	PROP	25.80	8" PVC	22.42	
CB7	PROP	25.80	8" PVC		22.32

PIPE SCHEDULE			
PIPE #	PIPE SIZE	LENGTH	SLOPE
P1	8"	54'	0.004
P2	8"	34'	0.004
P3	8"	19'	0.004
P4	6"	40'	0.055
P5	8"	23'	0.01
P6	8"	34'	0.004
*ALL PIPE TO BE PVC			



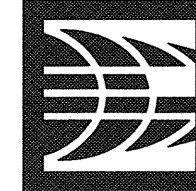
**A**  
**D1**

IF NEEDED

**B**  
**D1**

WHERE NEEDED

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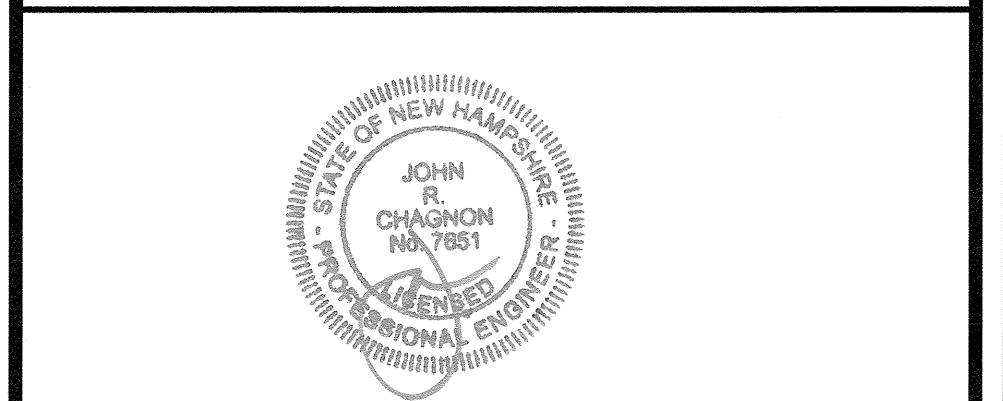
#### NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:  
ONE MARKET SQUARE, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
6363/31 PARCEL 1 & PARCEL 2
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSORS MAP 117 AS LOTS 14 AND 15. IN THE CITY OF PORTSMOUTH.
- 4) REQUIRED PARKING:  
PROPOSED USE: RETAIL, OFFICE, RESIDENTIAL.  
  
FIRST FLOOR: EXEMPT FROM REQUIREMENT.  
2ND FLOOR: OFFICE- NOT REQUIRED.  
UPPER FLOORS: 18 RESIDENTIAL UNITS  
  
REQUIRED PARKING: 27 (SEE TABLE).  
DOD CREDIT: <4>  
TOTAL REQUIRED: 23  
PROVIDED: 23

## COMMERCIAL DEVELOPMENT ONE CONGRESS STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	BUILDING FOOTPRINT	10/18/22
0	ISSUED FOR COMMENT	9/6/22

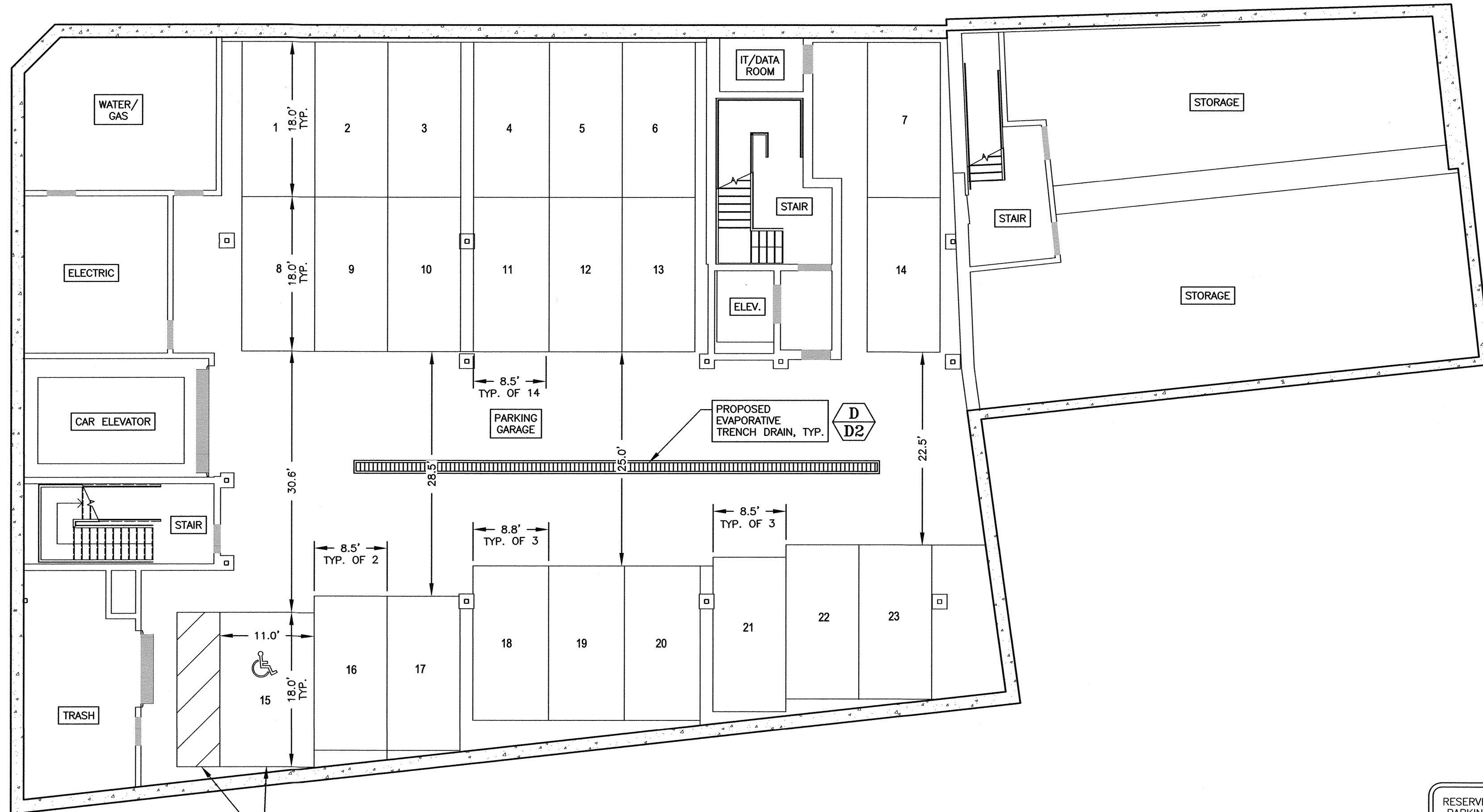
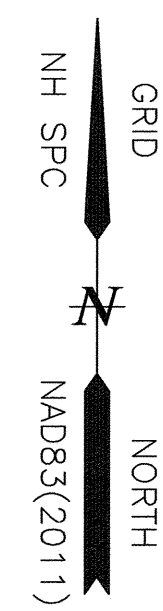
#### REVISIONS



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PARKING LEVEL  
PLAN

C6



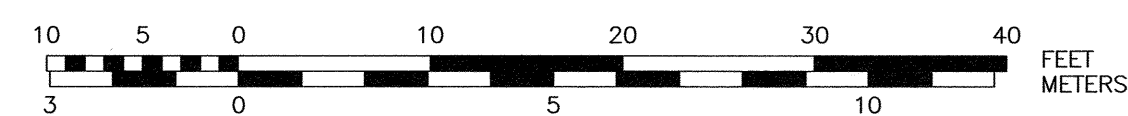
ADA SIGNAGE  
AND STRIPING  
1  
C6

Residential Vehicular Parking	Qty	parking per unit	parking required	parking available
units > 750 sf	16	1.30	20.80	
units 500-750 sf	1	1.00	1.00	
Units <500 sf	1	0.50	0.50	
<b>resident units total</b>	<b>18</b>		<b>22.30</b>	
DOD deduct			-4.00	
1 visitor space for every 5 units			3.6	
<b>TOTAL</b>			<b>21.90</b>	<b>23.00</b>

Unit NO.	BR's	SF	parking/unit	parking available
301	2	1,067	1.3	
302	1	885	1.3	
303	1	925	1.3	
304	1	574	1.0	
305	1	1,014	1.3	
306	1	986	1.3	
307	1	982	1.3	
308	1	913	1.3	
309	2	1,324	1.3	
401	2	946	1.3	
402	1	851	1.3	
403	1	894	1.3	
404	st	343	0.5	
405	1	1,023	1.3	
406	1	838	1.3	
407	1	894	1.3	
408	1	906	1.3	
409	2	1,200	1.3	
<b>resident units total</b>		<b>16,565</b>	<b>22.3</b>	
DOD deduct			-4.0	
1 visitor space for every 5 units			3.6	
<b>TOTAL parking</b>			<b>21.90</b>	<b>23</b>

Bicycle Parking	
One space for every 5 units	3.6
<b>TOTAL required, rounded up</b>	<b>4</b>

#### GRAPHIC SCALE

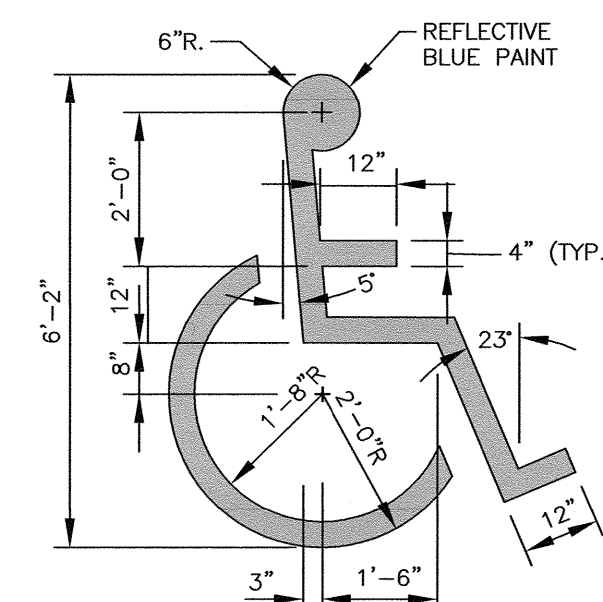


R7-8a  
12" x 18"  
SIGN ON POST  
  
EACH SPACE  
SHALL HAVE  
THIS SIGN  
DISPLAYED PER  
ADA CODE

#### SIGNAGE



LEGEND SYMBOL



#### HANDICAP ACCESSIBLE SYMBOL

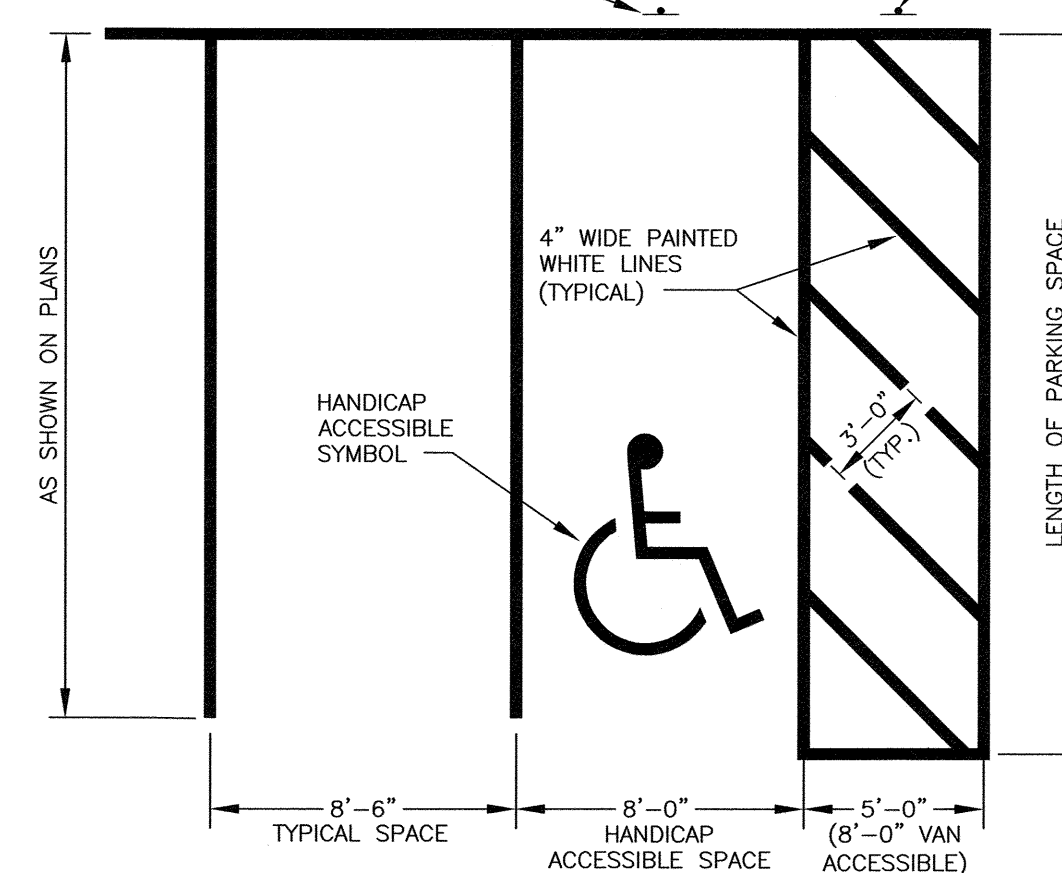
PROVIDE SIGN (PER ADA  
CODE) AT EACH HANDICAP  
ACCESSIBLE SPACE



K-4438  
12" x 18"  
SIGN ON POST

#### SIGNAGE

HANDICAP ACCESS AISLE  
NO PARKING SIGN



#### 1 C6 HANDICAP PARKING DETAIL

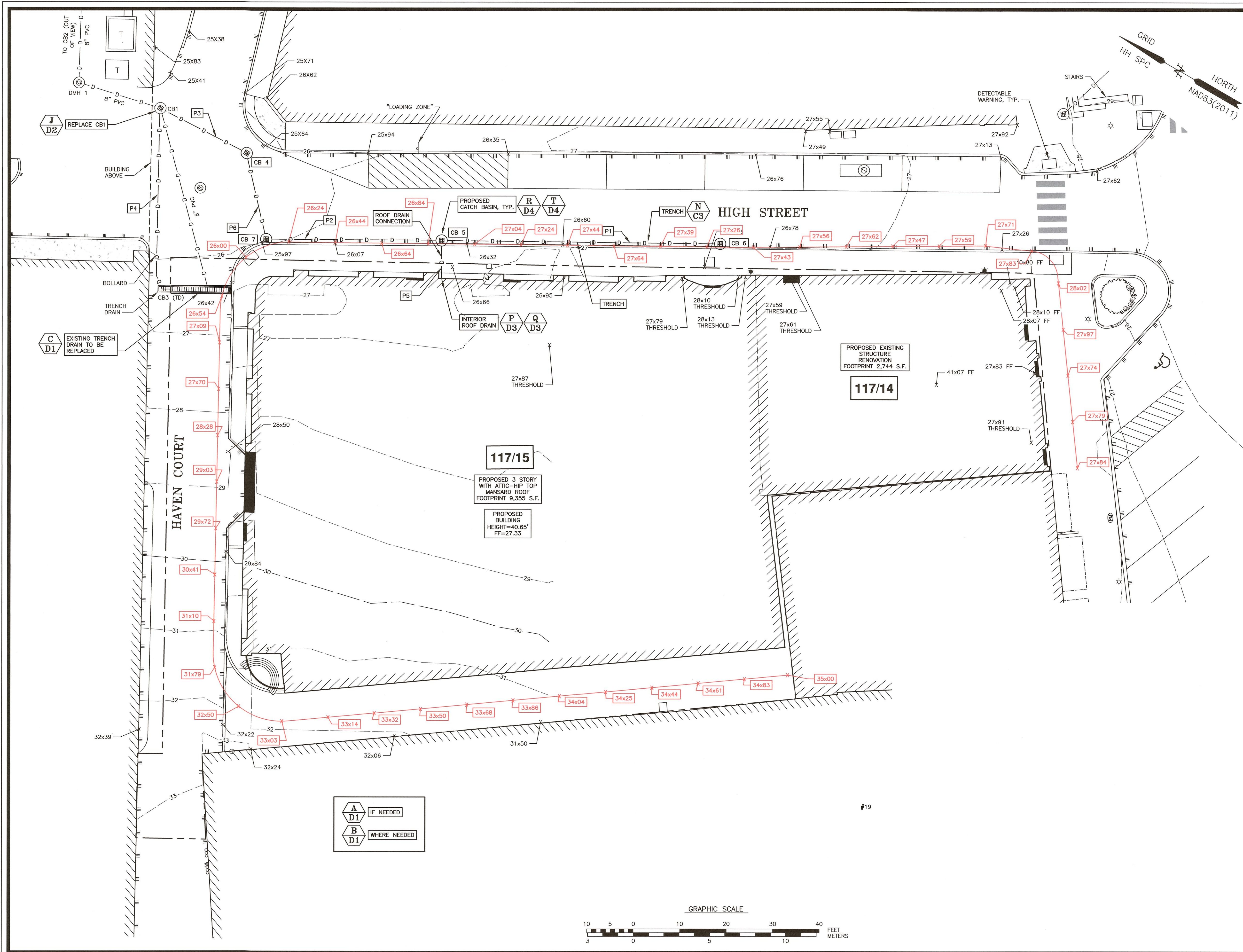
NTS

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE





**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2316

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**COMMERCIAL DEVELOPMENT  
ONE CONGRESS STREET  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	REVISED	12/20/22
1	BUILDING FOOTPRINT, GRADING	10/18/22
0	ISSUED FOR COMMENT	9/6/22

REVISIONS

SCALE 1" = 10'      SEPTEMBER 2022

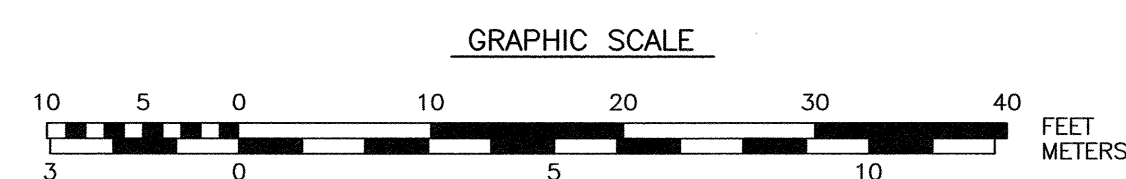
AVERAGE GRADE PLANE

C7





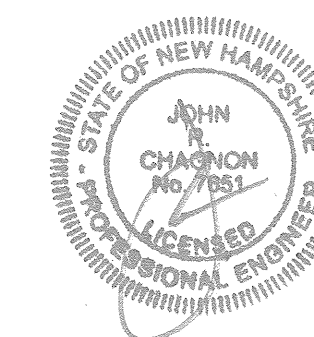
3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



SCALE:  $1'' = 10'$  (HOR.)  
 $1'' = 2'$  (VERT.)

1	REVISED	12/20/22
0	ISSUED FOR COMMENT	12/14/22
NO.	DESCRIPTION	DATE

## REVISIONS



SCALE H:1"=10' V:1"=2' NOVEMBER 2021

## PLAN & PROFILE

P1



EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

- THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:
1. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
  2. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
  3. A REPRESENTATIVE OF THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
  4. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

INSTALL PERIMETER CONTROLS, I.E., SILTSOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES. PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. REMOVE WALL AND STORE.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT SIDEWALKS.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A BUILDING REDEVELOPMENT WITH ASSOCIATED UTILITIES AND PARKING.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.370 ACRES.

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH HAS AN UNSPECIFIED HYDROLOGIC SOIL GROUP RATING, ASSUMED D.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO THE PISCATAQUA RIVER.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3600 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3600 RELATIVE TO INVASIVE SPECIES.

DUST CONTROL: DUST CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.

DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILTSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILTSOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304-2 HAVE BEEN INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

STABILIZATION MEASURES TO BE USED INCLUDE:

- TEMPORARY SEEDING;
- MULCHING.

1. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
2. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THESE AREAS, SILTSOXX, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
3. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILTSOXX, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

MAINTENANCE AND PROTECTION

THE SILTSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILTSOXX SHALL BE REMOVED ONCE SITE IS STABILIZED, AND DISTURBED AREAS RESULTING FROM SILTSOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

THE CATCH BASIN INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;

STOCKPILES

1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

CONCRETE WASHOUT AREA

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:

1. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
2. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
3. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
4. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES

1. FIRE-FIGHTING ACTIVITIES;
2. FIRE HYDRANT FLUSHING;
3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
4. WATER USED TO CONTROL DUST;
5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
11. UNCONTAMINATED EXCAVATION DEWATERING;
12. LANDSCAPE IRRIGATION.

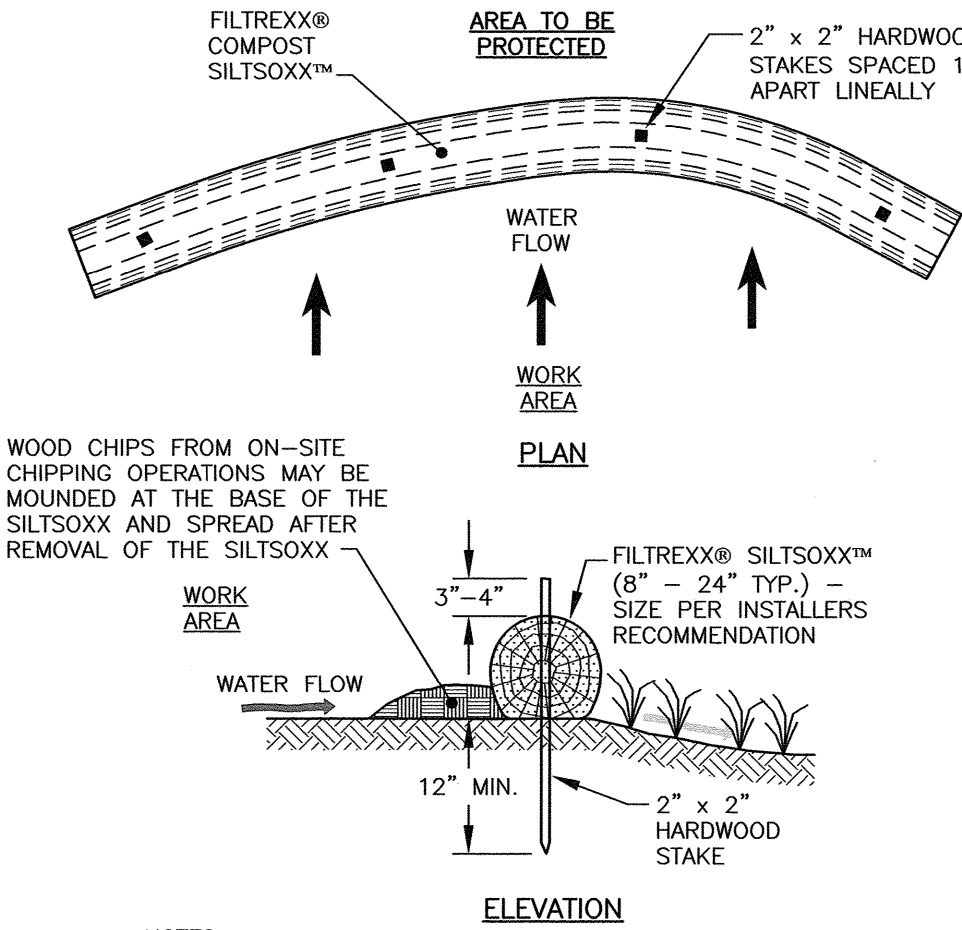
WASTE DISPOSAL

1. WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
  - NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
  - ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE
  - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
  - SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
  - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

BLASTING NOTES

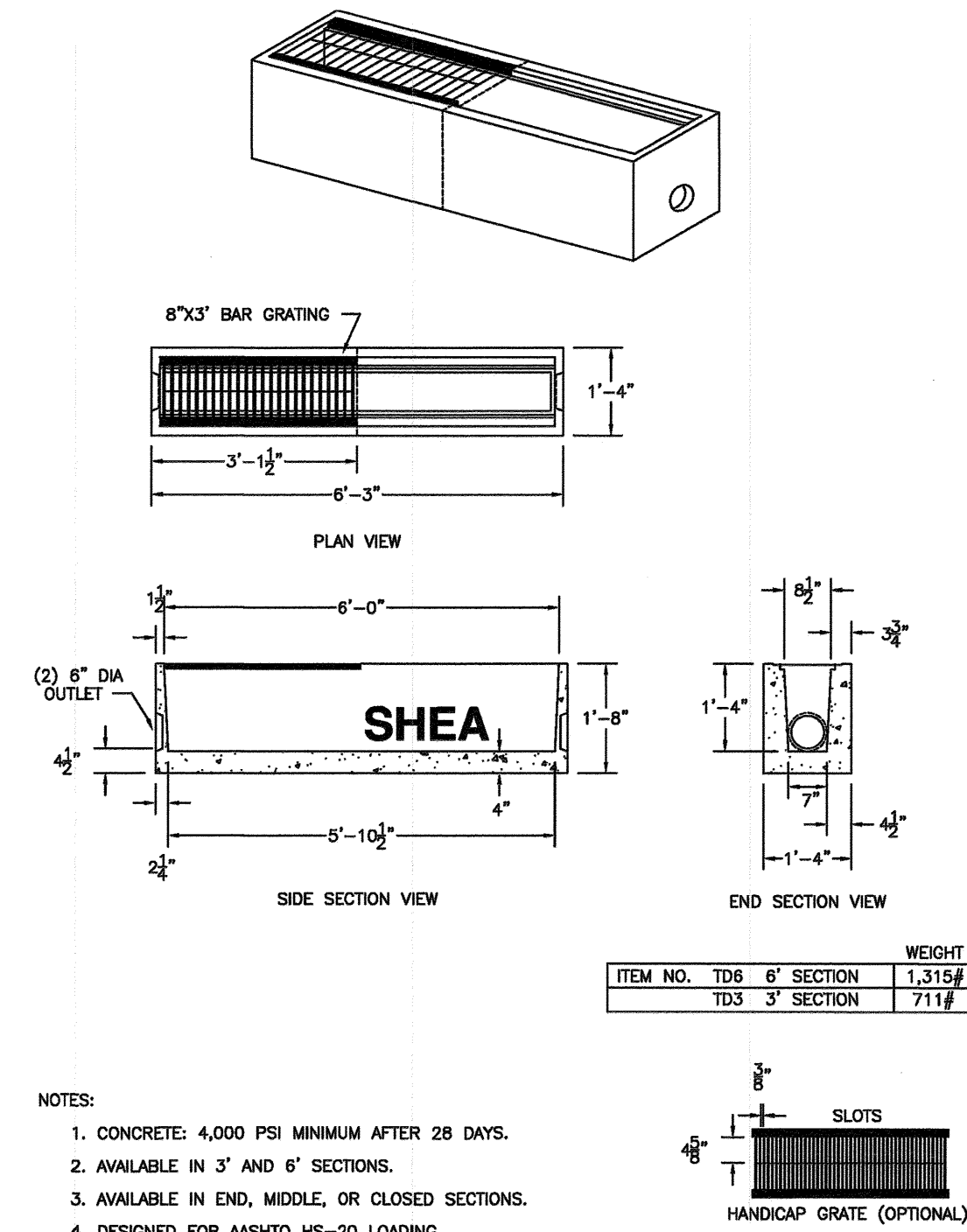
1. CONTRACTOR SHALL CONTACT THE NHDES AND/OR LOCAL JURISDICTION PRIOR TO COMMENCING ANY BLASTING ACTIVITIES.
2. FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL SUBMIT A BLASTING PLAN THAT IDENTIFIES:
  - WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR;
  - THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND
  - SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.

NOTE: THAT HIGH STREET SHALL BE SWEEPED DAILY DURING THE EXCAVATION PHASE OF THE BUILDING CONSTRUCTION.



- NOTES:
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
  2. FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
  3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
  4. SILTISOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
  5. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

**FILTREXX®**  
**SILTISOXX™ FILTRATION SYSTEM**  
(IF NEEDED) NTS



SHEA PRODUCT ID: TD3/TD6  
TRENCH DRAIN 8\"/>

**C**  
**C5** TRENCH DRAIN NTS

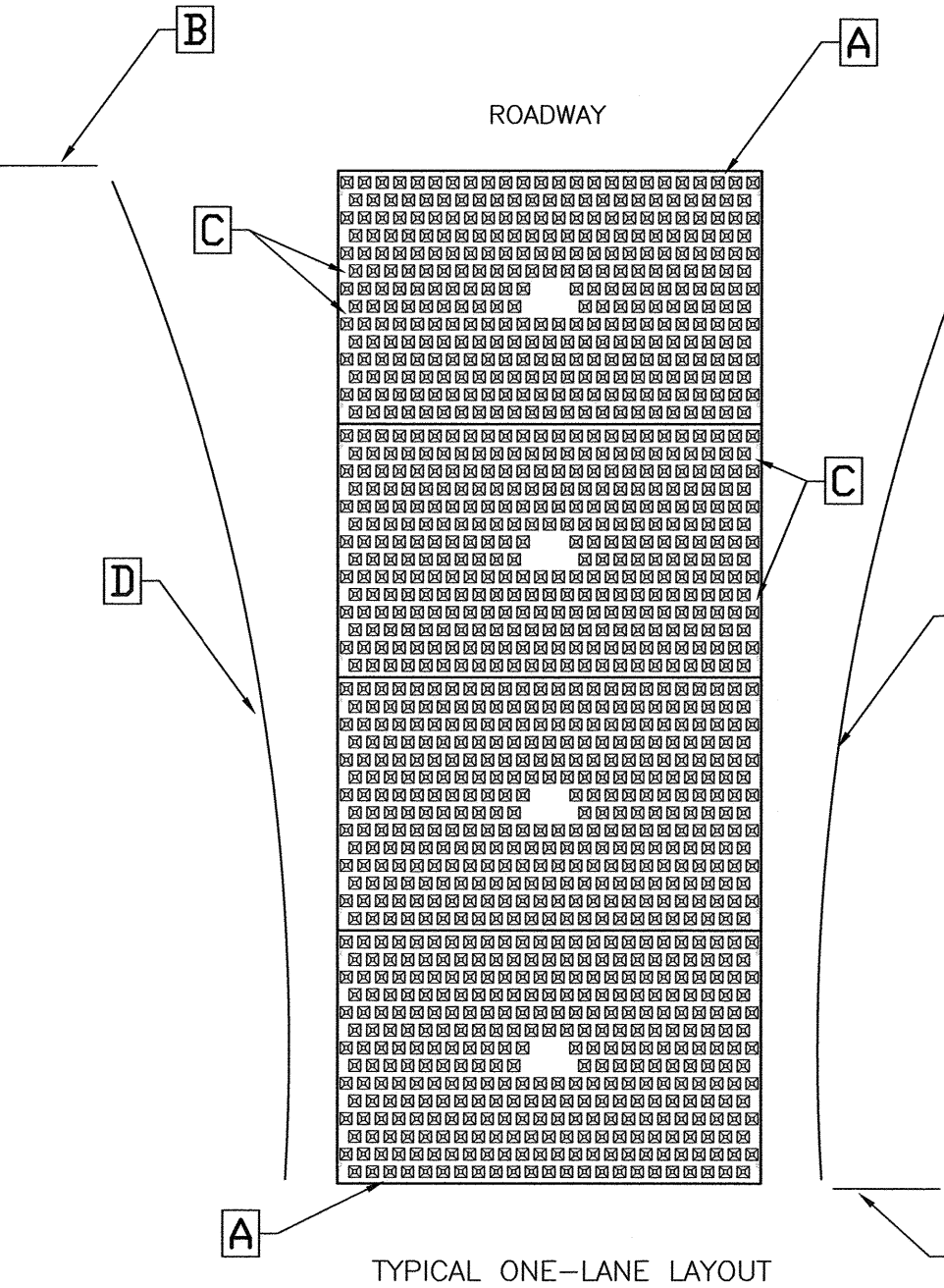
FODS TRACKOUT CONTROL SYSTEM

INSTALLATION:

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

KEY NOTES:

- A. FODS TRACKOUT CONTROL SYSTEM MAT.
- B. FODS SAFETY SIGN.
- C. ANCHOR POINT.
- D. SILT OR ORANGE CONSTRUCTION FENCE.



- INSTALLATION:
1. THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
  2. CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
  3. ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
  4. THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
  5. AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
  6. AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
  7. ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
  8. NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
  9. UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
  10. SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

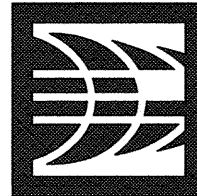
USE AND MAINTENANCE

1. VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT OUT ACROSS THE MATS.
2. DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM.
3. MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
4. THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

REMOVAL

1. REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
2. STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
3. THE ANCHORS SHOULD BE REMOVED.
4. THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
5. STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

**B**  
**C5** FODS (USE AS REQUIRED) NTS



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors

200 Griffin Road – Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

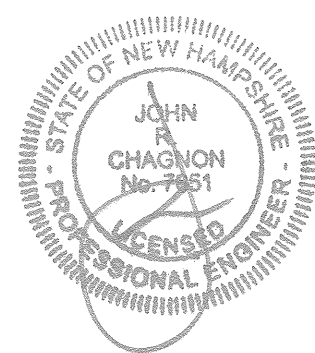
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- 4) HIGH AND LADD STREETS SHALL BE SWEEPED DAILY DURING EXCAVATION PHASE OF THE BUILDING CONSTRUCTION.

COMMERCIAL  
DEVELOPMENT  
ONE CONGRESS STREET  
PORTSMOUTH, N.H.

2	UPDATED FOR URBAN AREAS	12/19/22
1	DETAIL C	10/18/22
0	ISSUED FOR COMMENT	9/6/22

NO.	DESCRIPTION	DATE
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REVISIONS



SCALE: AS SHOWN SEPTEMBER 2022

EROSION PROTECTION  
NOTES AND DETAILS

D1













## AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
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3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

4) CATCH BASIN POLYETHYLENE LINER NOTES:

POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.

PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME AND POLYETHYLENE SHEET.

PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).

USE ON DRAINAGE STRUCTURES 4' MIN. DIAMETER ONLY.

TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).

THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.

PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.

SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING, LOCATING AND POLYETHYLENE LINER DETAILS," FOR ADDITIONAL INFORMATION.

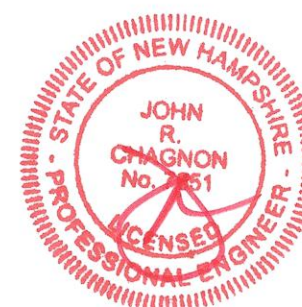
CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER.

5) ALL WATER MAIN & CONNECTIONS SHALL BE INSTALLED PER CITY OF PORTSMOUTH CONSTRUCTION STANDARDS.

## COMMERCIAL DEVELOPMENT ONE CONGRESS STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	DETAIL V	12/20/22
1	DETAIL S	10/18/22
0	ISSUED FOR COMMENT	9/6/22

### REVISIONS

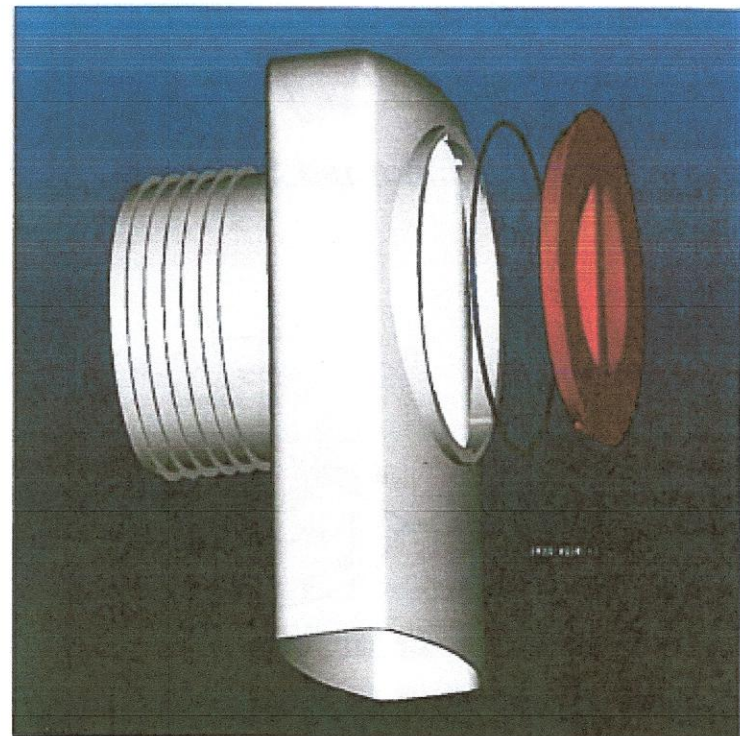


SCALE: AS SHOWN

SEPTEMBER 2022

DETAILS

D4

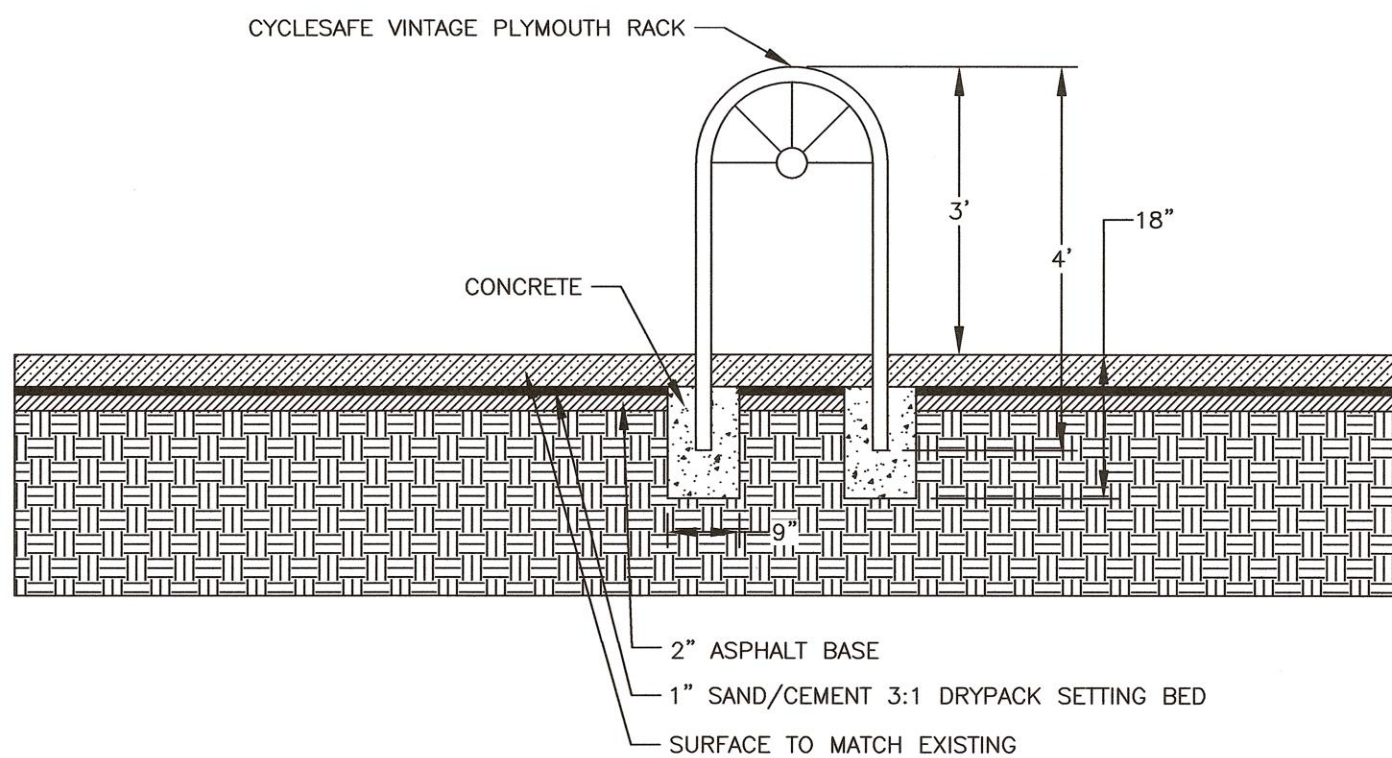


### NOTES:

1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP.

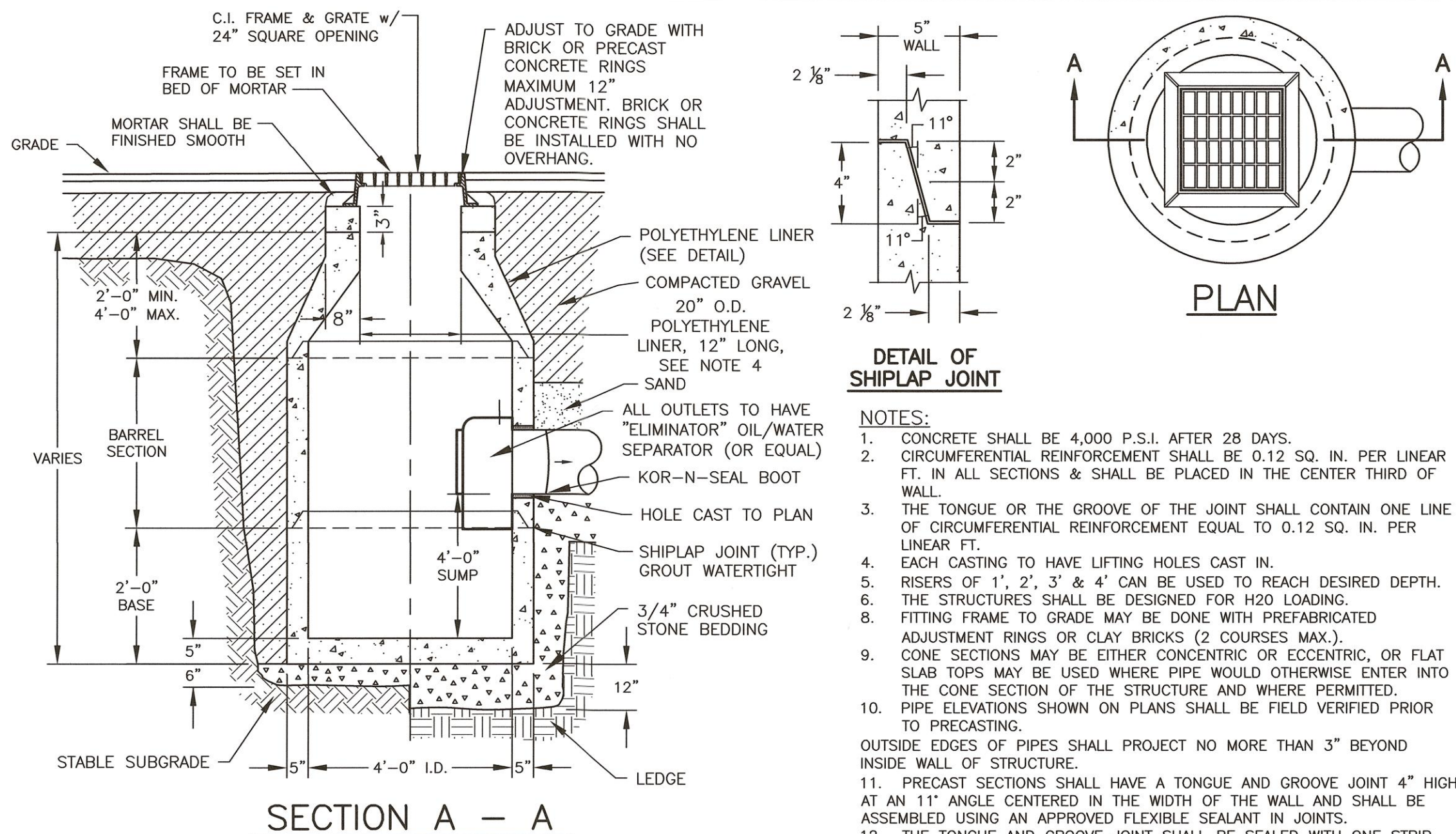
## CATCH BASIN OIL TRAP THE "ELIMINATOR"

NTS



## BIKE RACK

NTS



## SECTION A - A

## CATCH BASIN DETAIL

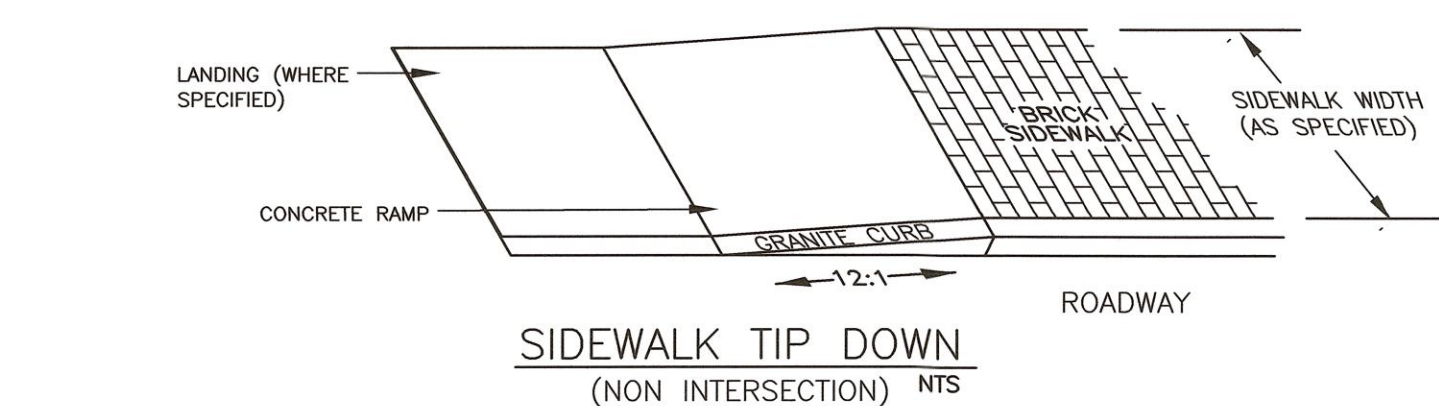
C5

### DETAIL OF SHIPLAP JOINT

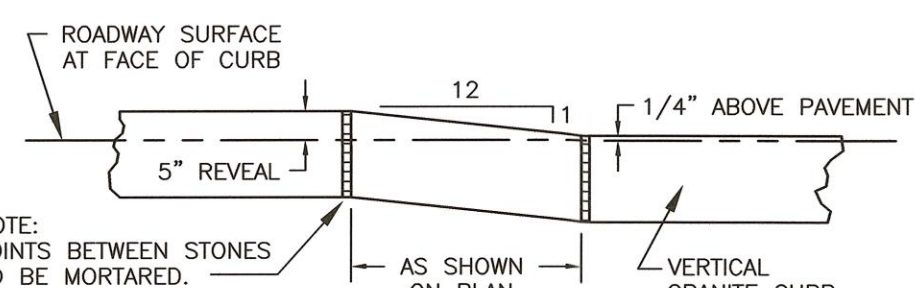
#### NOTES:

1. CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.
2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS & SHALL BE PLACED IN THE CENTER THIRD OF WALL.
3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
5. RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
6. THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
7. FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2 COURSES MAX.).
8. CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.
9. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
10. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
11. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
12. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
13. "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

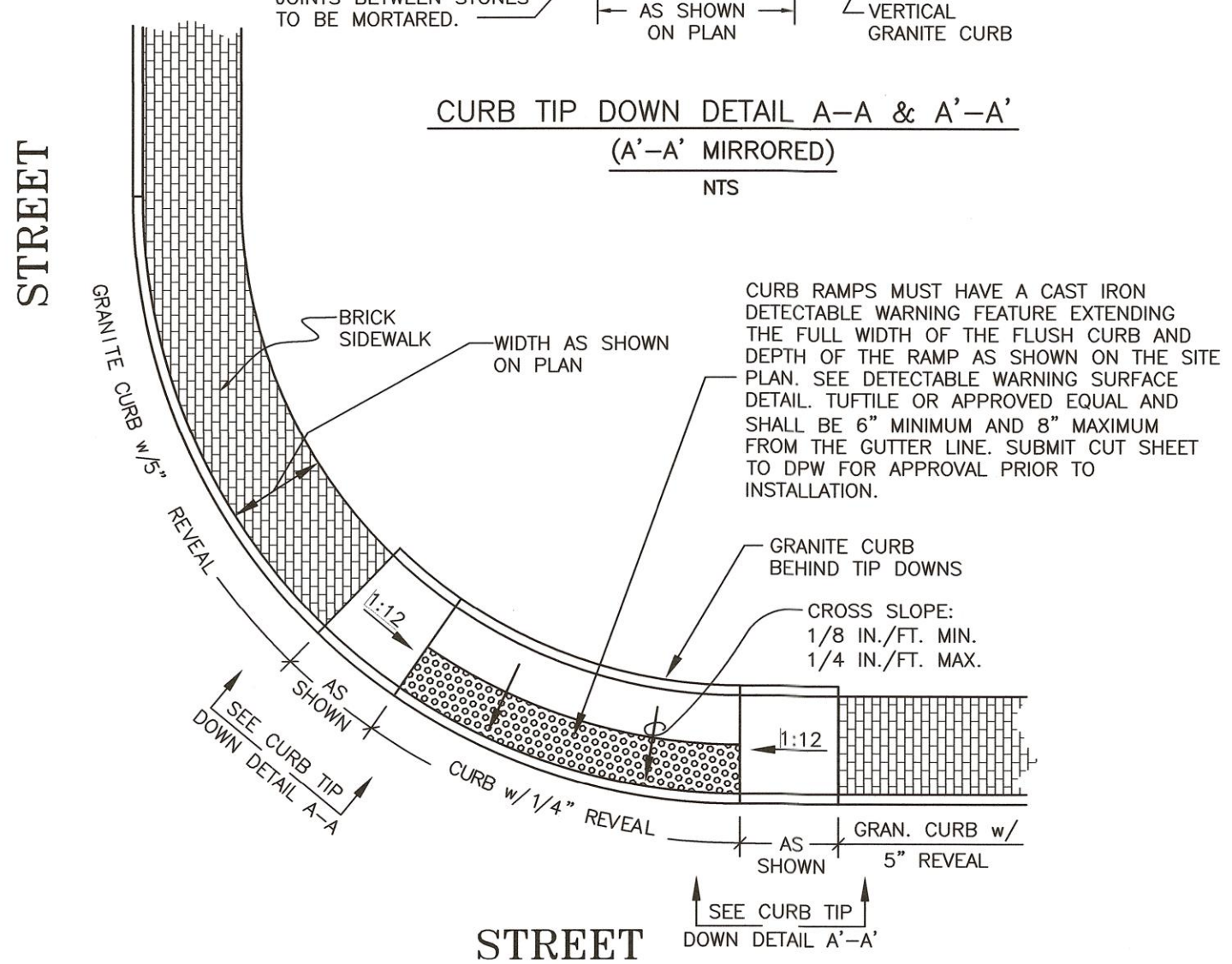
NTS



## SIDEWALK TIP DOWN (NON INTERSECTION) NTS



## CURB TIP DOWN DETAIL A-A & A'-A' (A'-A' MIRRORRED) NTS



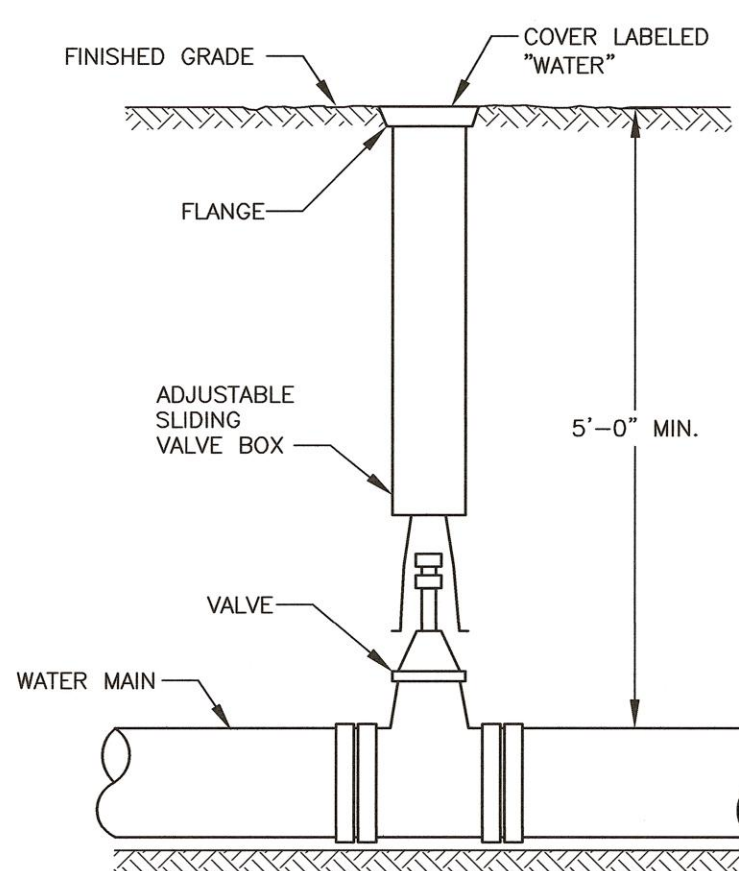
## SIDEWALK TIP DOWN AT INTERSECTION NTS

## TYPICAL SIDEWALK TIP DOWNS

WITH FLUSH CURB RAMP IS ELIMINATED

S

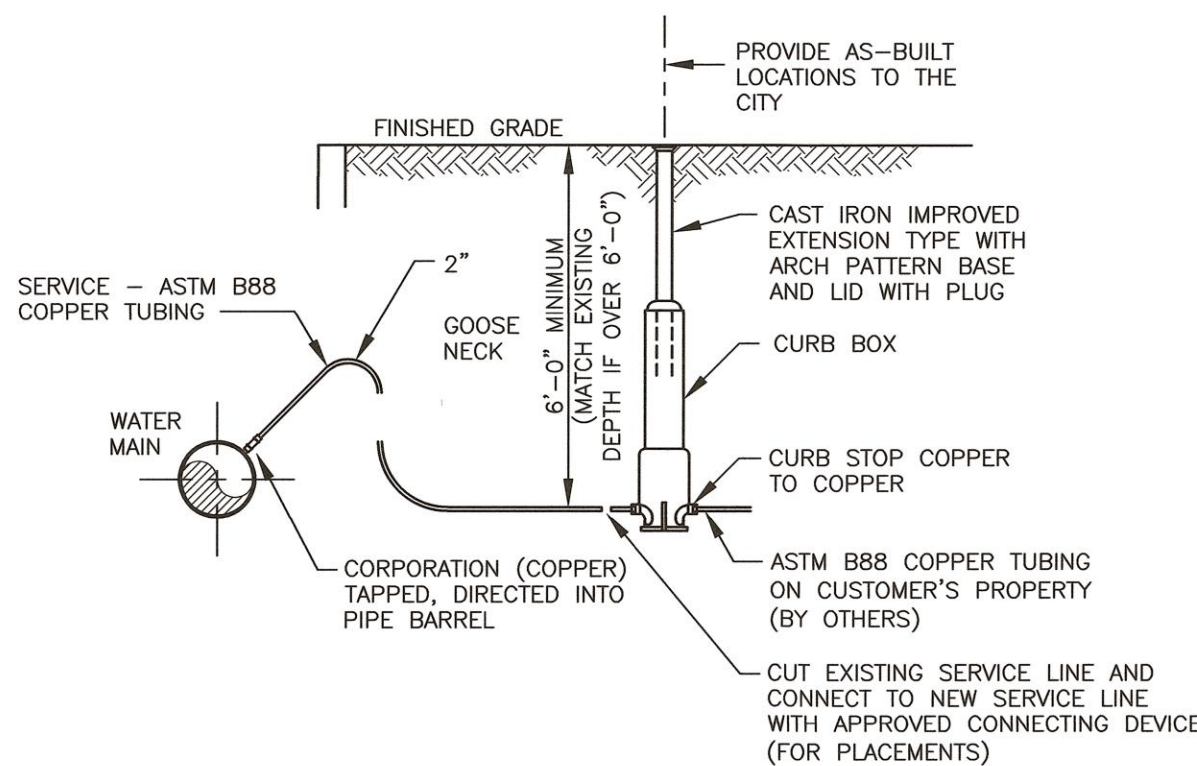
C3



## VALVE AND BOX DETAIL NTS

### NOTES:

1. GATE VALVE TO BE LOCATED WITHIN ROADWAY PAVEMENT WHERE POSSIBLE.
2. PROPER SIZE VALVE BOX SHALL BE INSTALLED WHERE GATE VALVES ARE SHOWN ON PLANS.



## TYPICAL WATER SERVICE CONNECTION

V

C4

## WATER MAIN & SERVICE CONNECTION

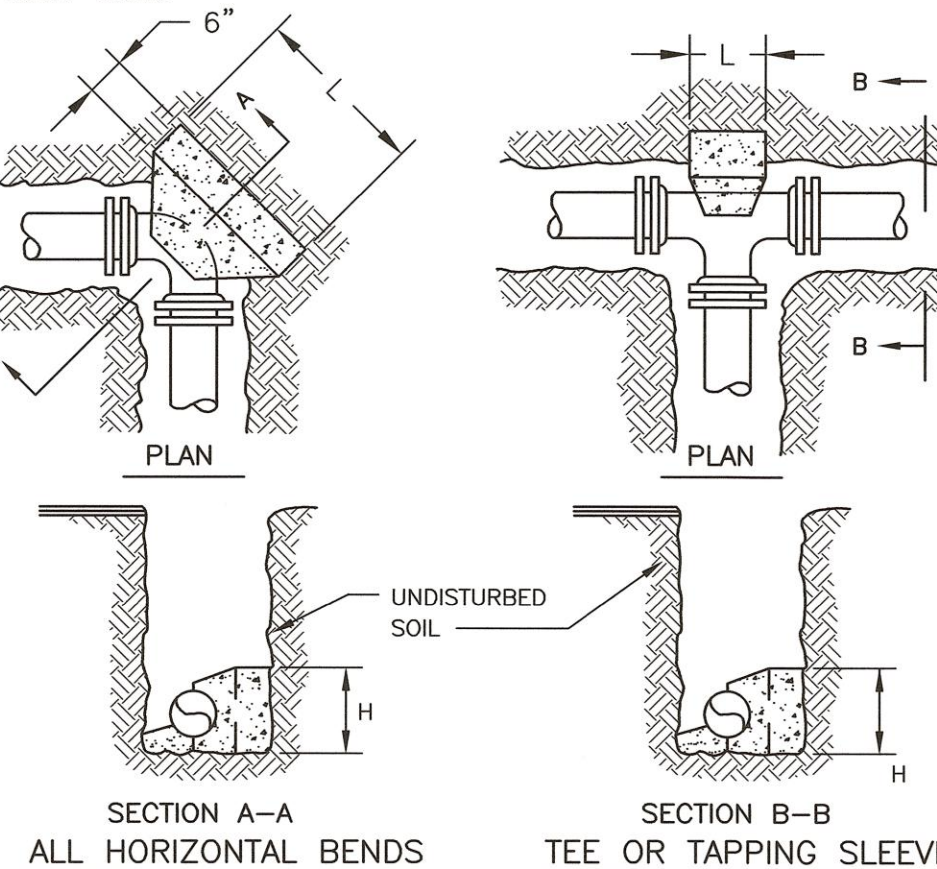
HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK											
UP TO 150 P.S.I. WORKING PRESSURE											
PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND		ROD DIA.
	H	L	H	L	H	L	H	L	H	L	
4"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	1'-0"
6"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	1'-0"
8"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	1'-0"
10"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	1'-0"
12"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	1'-0"

\* - FOR 3" AND SMALLER PIPES

HORIZONTAL ANCHOR DIMENSIONS FOR AVERAGE SOIL CONDITIONS											
UP TO 150 P.S.I. WORKING PRESSURE											
PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND		ROD DIA.
	H	L	H	L	H	L	H	L	H	L	
4"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"	1'-0"	1'-0"
6"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"	1'-0"	1'-0"
8"	1'-4"	2'-8"	1'-4"	2'-8"	1'-4"	1'-6"	1'-0"	1'-0"	0'-9"	1'-0"	1'-0"
10"	1'-8"	3'-4"	1'-8"	3'-4"	1'-8"	2'-0"	1'-3"	1'-3"	1'-0"	1'-0"	1'-0"
12"	2'-0"	4'-0"	2'-0"	4'-0"	2'-0"	2'-2"	1'-6"	1'-6"	1'-3"	1'-3"	1'-0"

\* - FOR 3" AND SMALLER PIPES

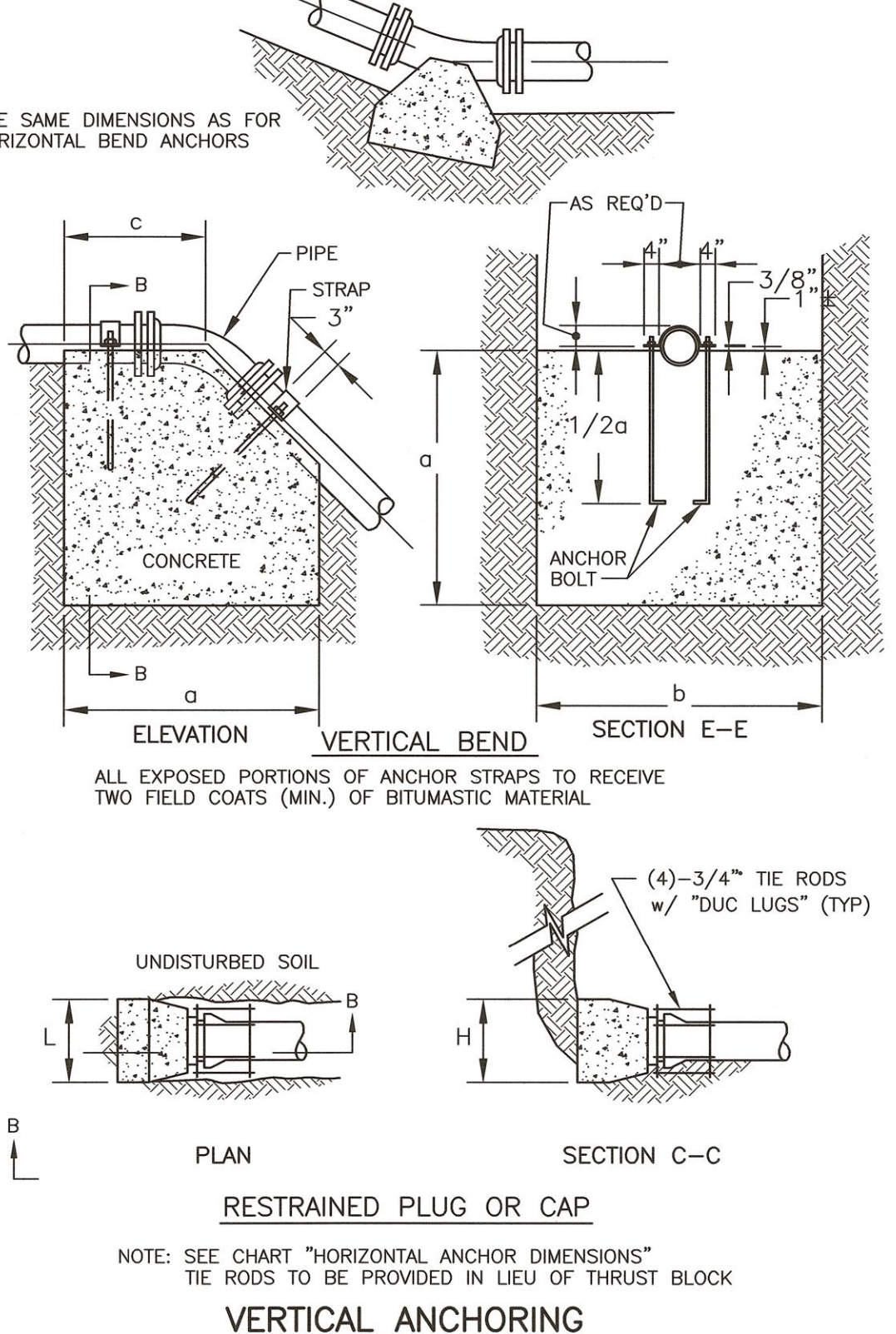
- NOTES:
- 1) TABLES ARE BASED ON AN ALLOWABLE SOIL PRESSURE OF 3000 PSF ON UNDISTURBED EARTH BEHIND THE ANCHOR BLOCK. WHERE SOIL HAS BEEN DISTURBED BY ADJACENT EXCAVATIONS OR WHERE SOIL CANNOT WITHSTAND SUCH A PRESSURE, THE TABLE DOES NOT APPLY.
  - 2) WHERE ENTIRE DEPTH OF PIPE IS BELOW THE TOP SURFACE OF SOUND ROCK, USE "HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK" TABLE.



## HORIZONTAL ANCHORING

VERTICAL ANCHOR DIMENSIONS											
UP TO 150 P.S.I. WORKING PRESSURE											
PIPE SIZE	45° BEND			22 1/2° BEND			11 1/4° BEND			ROD DIA.	ROD DIA.
	a	b	c	a	b	c	a	b	c		
4"	3'-0"	3'-0"	2'-0"	3/4"	2'-6"	2'-3"	1'-6"	3/4"	2'-0"	2'-0"	1'-6"
6"	3'-0"	3'-0"	2'-0"	3/4"	2'-6"	2'-3"	1'-6"	3/4"	2'-0"	2'-0"	1'-6"
8"	3'-6"	3'-6"	2'-6"	3/4"	3'-0"	3'-0"	1'-9"	3/4"	2'-6"	2'-6"	1'-3"
10"	4'-3"	4'-0"	3'-0"	3/4"	3'-6"	3'-3"	2'-0"	3/4"	2'-9"	2'-9"	1'-6"
12"	4'-9"	4'-6"	3'-3"	3/4"	4'-0"	3'-9"	2'-6"	3/4"	3'-3"	3'-3"	1'-9"

\* - FOR 3" AND SMALLER PIPES



## VERTICAL ANCHORING

## RESTRAINED PLUG OR CAP

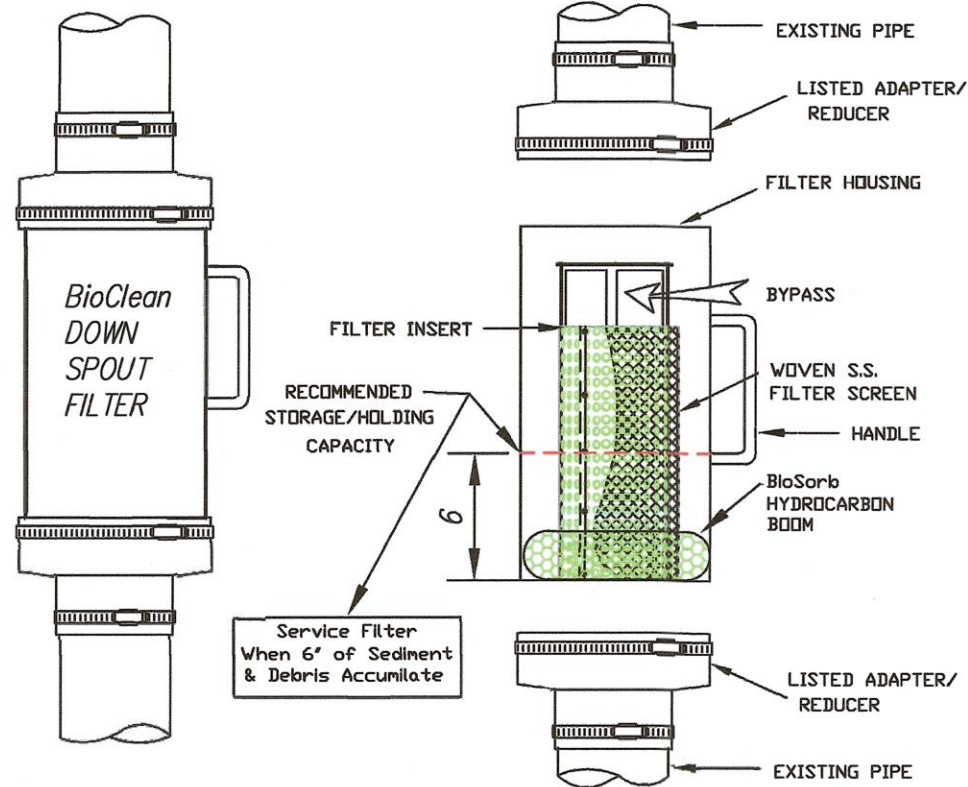
NOTE: SEE CHART "HORIZONTAL ANCHOR DIMENSIONS" TIE RODS TO BE PROVIDED IN LIEU OF THRUST BLOCK

INSTALL PER PORTSMOUTH REQUIREMENTS NTS



SERVICE MANUAL  
(Cleaning Procedures)

Bio Clean DOWNSPOUT FILTER  
Screen Type With Hydrocarbon Boom



TOOLS AND EQUIPMENT NEEDED:

1. Medium size flat screed driver
2. BioSorb hydrocarbon boom. 25-1/2" X 2" dia.  
(Call Bio Clean to order)
3. Trash container or bag
4. Wooden dowel approx. 3' x 1/2" dia.

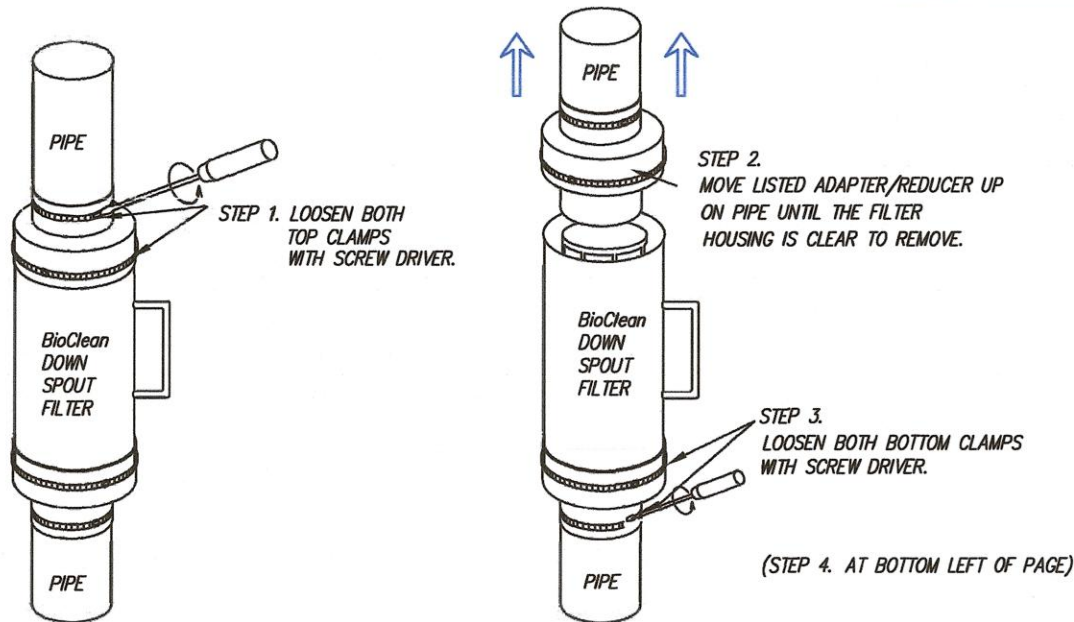
DETAIL OF PARTS



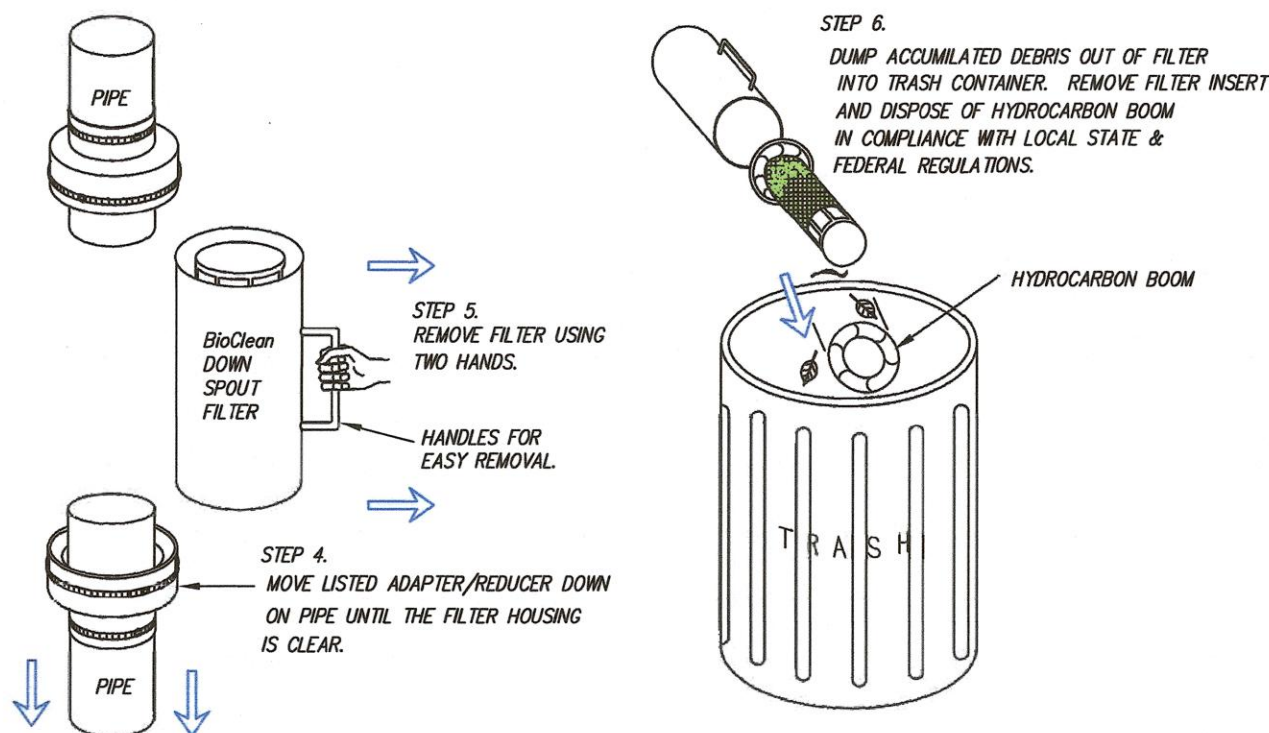
P.O. BOX 869, Oceanside, Ca. 92049  
(760) 433-7640 Fax (760) 433-3176  
www.biocleanenvironmental.net

PAGE 1 OF 5

REMOVING FILTER

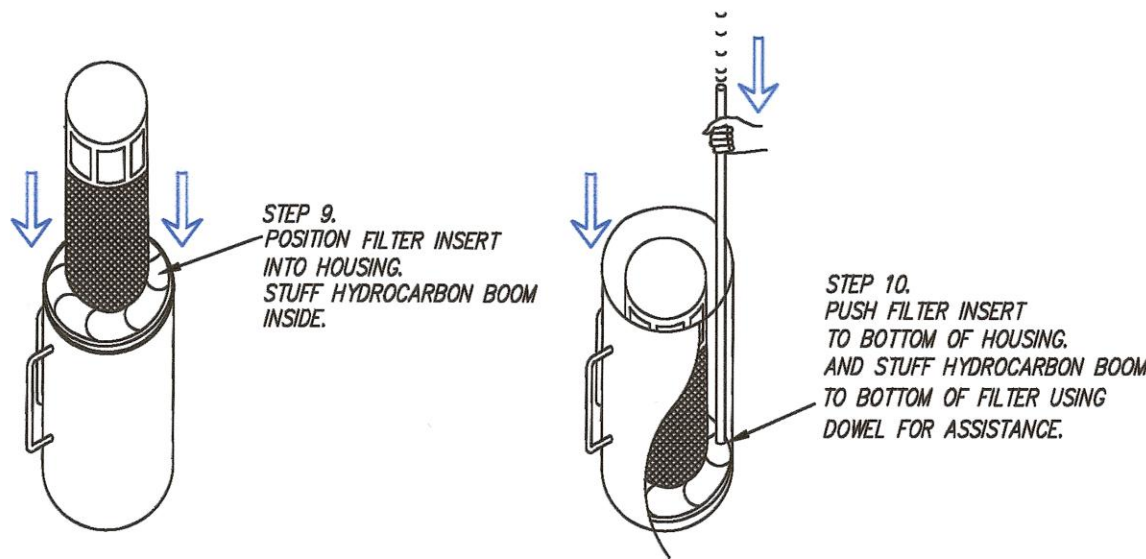


CLEANING FILTER



PAGE 2 OF 5

REPLACING FILTER INSERT



PAGE 3 OF 5

DOWNSPOUT FILTER

MAINTENANCE:

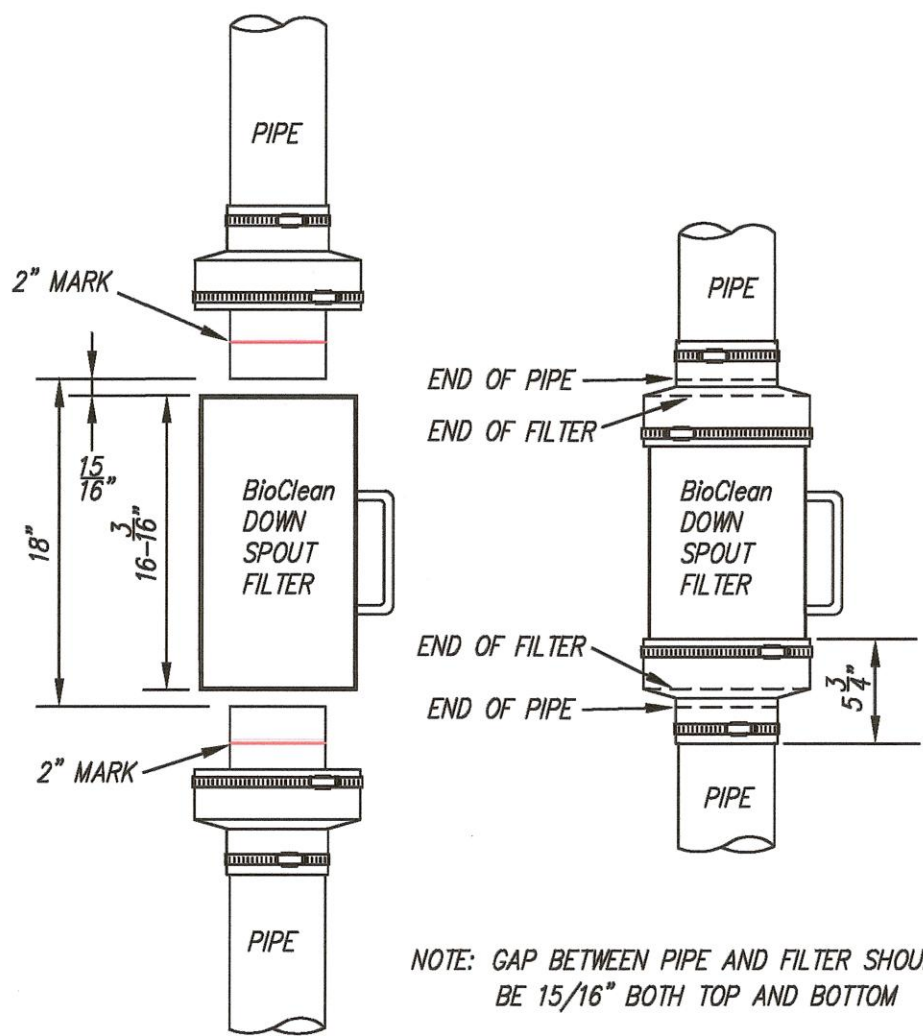
THE FILTER IS DESIGNED TO ALLOW FOR THE USE OF MANUAL OR VACUUM REMOVAL OF CAPTURED MATERIALS IN THE FILTER STRUCTURE. FILTERS CAN BE CLEANED EASILY BY SIMPLY LOOSENING THE METAL CLAMPS AND REMOVING THE FILTER. THE HYDROCARBON ADSORBENT MEDIA THEN IS REMOVED AND THE TRASH AND DEBRIS CAN BE REMOVED FROM THE STRUCTURE. AT EACH CLEANING, NEW HYDROCARBON ADSORBENT MEDIA SHOULD BE REINSTALLED.

MAINTENANCE NOTES:

1. BIO CLEAN ENVIRONMENTAL SERVICES, INC. RECOMMENDS CLEANING AND DEBRIS REMOVAL MAINTENANCE A MINIMUM OF TWO TO FOUR TIMES PER YEAR, AND REPLACEMENT OF MEDIA BOOMS A MINIMUM OF TWICE A YEAR.
2. THE DOWNSPOUT FILTER CAN BE CLEANED BY LOOSING THE METAL CLAMPS AT BOTTOM AND TOP OF RUBBER BOOTS. REMOVE THE FILTER BY GRASPING THE HANDLES, SLIDE DOWN THE BOTTOM BOOT OVER THE OUTFLOW PIPE AND SLIDE UP THE TOP BOOT OVER INFLOW PIPE. PLACE THE FILTER ON THE GROUND. DISPOSE OF ANY TRASH AND SEDIMENTS COLLECTED IN FILTER.
3. ONCE THE FILTER IS FREE, REMOVE THE INTERIOR INSERT. REMOVE THE HYDROCARBON ADSORBENT MEDIA BY UNWRAPPING IT FROM THE INTERIOR INSERT AND REPLACING WITH A NEW MEDIA, WRAPPING IT THE SAME WAY.
4. PLACE THE INTERIOR INSERT BACK INTO THE FILTER.
5. PLACE THE FILTER BACK IN LINE WITH THE PIPE AND SLIDE BACK THE TOP AND BOTTOM BOOTS IN PLACE AND TIGHTEN THE METAL CLAMPS SECURELY.
6. EVALUATION OF THE HYDROCARBON MEDIA SHALL BE PERFORMED AT EACH CLEANING. IF THE MEDIA IS FILLED WITH HYDROCARBONS AND OILS IT SHOULD BE REPLACED.
7. TRANSPORT ALL DEBRIS, TRASH, ORGANICS AND SEDIMENTS TO APPROVED FACILITY FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
8. THE HYDROCARBON MEDIA WITH ABSORBED HYDROCARBONS IS CONSIDERED HAZARDOUS WASTE AND NEEDS TO BE HANDLED AND DISPOSED OF AS HAZARDOUS MATERIAL. PLEASE REFER TO STATE AND LOCAL REGULATIONS FOR THE PROPER DISPOSAL OF USED MOTOR OIL/FILTERS.
9. FOLLOWING MAINTENANCE AND/OR INSPECTION, THE MAINTENANCE OPERATOR SHALL PREPARE A MAINTENANCE/INSPECTION RECORD. THE RECORD SHALL INCLUDE ANY MAINTENANCE ACTIVITIES PERFORMED, AMOUNT AND DESCRIPTION OF DEBRIS COLLECTED, AND CONDITION OF FILTER.
10. THE OWNER SHALL RETAIN THE MAINTENANCE/INSPECTION RECORD FOR A MINIMUM OF FIVE YEARS FROM THE DATE OF MAINTENANCE. THESE RECORDS SHALL BE MADE AVAILABLE TO THE GOVERNING MUNICIPALITY FOR INSPECTION UPON REQUEST AT ANY TIME.
11. ANY TOXIC SUBSTANCE OR ITEM FOUND IN THE FILTER IS CONSIDERED AS HAZARDOUS MATERIAL AND CAN ONLY BE HANDLED BY A CERTIFIED HAZARDOUS WASTE TRAINED PERSON (MINIMUM 24-HOUR HAZWOPER).

APPROPRIATE INSTALLATION

FILTER CENTERED BETWEEN PIPES WITH EVEN GAPS ON TOP AND BOTTOM



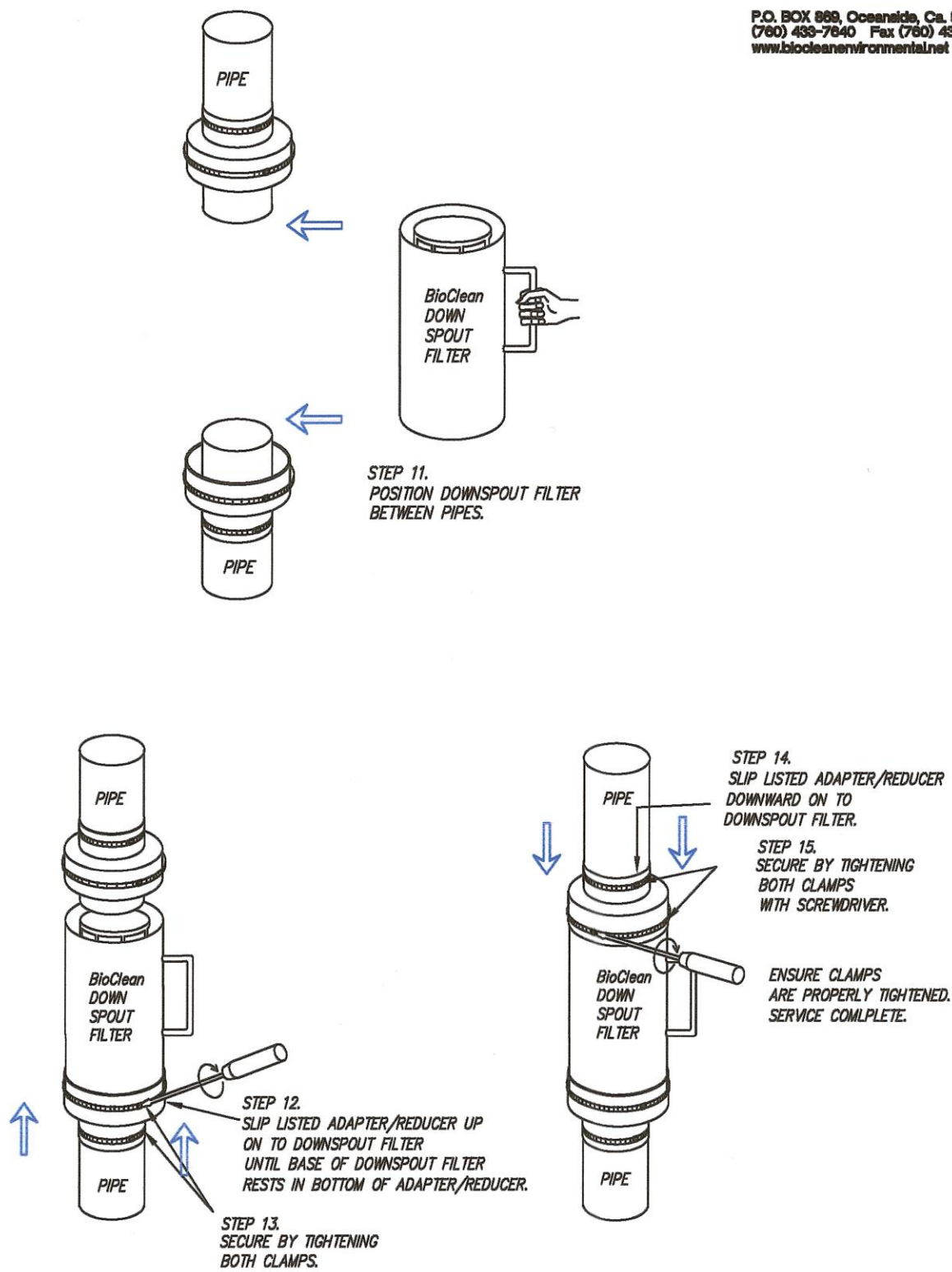
NOTE: GAP BETWEEN PIPE AND FILTER SHOULD BE 15/16" BOTH TOP AND BOTTOM



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REPLACING FILTER



PAGE 4 OF 5



AMBIT ENGINEERING, INC.  
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 430-2315

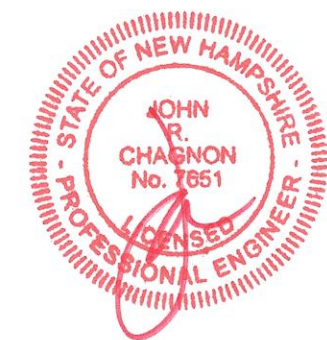
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

COMMERCIAL  
DEVELOPMENT  
ONE CONGRESS STREET  
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ADDED MAINTENANCE	12/20/22
1	ISSUED FOR APPROVAL	10/18/22
0	ISSUED FOR COMMENT	9/6/22

REVISIONS



SCALE: AS SHOWN

AUGUST 2022

DETAILS

D5



1. GENERAL: SEWER MANHOLES, INCLUDING ALL COMPONENT PARTS, SHALL BE ASSEMBLED OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, IN ANY APPROVED MANHOLE. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H2O LOADING) WITHOUT FAILURE, AND TO PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.

3. PRECAST CONCRETE: BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C478.

5. **INVERTS AND SHELVES:** MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES USING LONGER BRICKS TANGENT TO THE CENTER LINE OF THE SEWER. PIPES, SHELVES SHALL BE CONSTRUCTED TO AN ELEVATION OF 1" ABOVE THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.

7. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE  
FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING  
ASTM C33. STONE SIZE NO. 67.

8. WHERE THE MATERIAL BELOW MANHOLE STRUCTURE IS SOFT OR YIELDING, AND WHERE DIRECTED BY THE ENGINEER, INSTALL DOUBLE LAYER OF GEOGRID (TENSAR TX160 OR EQUAL). PAY AS ITEM 1.8B (LFx2).

10. FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:  
RCP AND CI PIPE - ALL SIZES - 48"  
AC AND VC PIPE - UP THROUGH 12" DIA. - 18"  
AC AND VC PIPE - LARGER THAN 12" DIA. - 36"  
DI PIPE - NONE REQUIRED  
PVC - UP THROUGH 15" DIA. - NONE REQUIRED  
PVC - LARGER THAN 15" DIA. - 48"/60"  
ABS (ASTM D2680) - ALL SIZES - SAME AS VC ABOVE.

## JOINTING AND SEALING NOTES

2. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY. APPROVED BITUMASTIC SEALANTS: RAM-NEK E Z KENT SEAL NO.2

FILL WITH MORTAR

ANODIZED ALUMINUM INTERNAL CLAMP

PIPE

STAINLESS STEEL CLAMP

RUBBER-LIKE KOR-N-SEAL BOOT

KOR-N-SEAL

TWO APPLICATIONS OF APPROVED PREFORMED BITUMASTIC SEALANT SEE NOTE 2

PRECAST CONC. BARREL SEALANT — BITUMASTIC



1. TRENCH DRAINS TO BE AT LOCATIONS SHOWN ON THE PLAN OR AS DIRECTED TO CONTROL BACK WATER IN STONE BEDDING, SUBSIDIARY.

1. SEE DETAILS FOR SERVICE CONNECTION REQUIREMENTS.

2. SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE.
3. CLEANOUTS SHALL BE INSTALLED AT EACH SERVICE CONNECTION.
4. REBAR SHALL BE PLACED AT SIDE OF CLEANOUT.
5. CLEANOUT SHALL BE USED TO PLUG AND TEST ALL NEW LATERALS WITH MINIMAL INTERRUPTION TO OPERATION OF HOMEOWNER SANITARY SYSTEM.
6. CLEANOUT RISER PIPE AND FITTINGS SHALL BE INCIDENTAL AND SHALL NOT BE CONSIDERED FOR PAYMENT.
7. IN LOCATIONS WHERE THERE IS LESS THAN 18" OF SEPARATION BETWEEN THE WATER MAIN AND SEWER SERVICE PIPE, A MAXIMUM OF SDR 26 PVC PIPE SHALL BE INSTALLED.
8. IN CASES WHERE TRANSITIONS FROM SDR 26 TO SDR 35 ARE REQUIRED (I.E. AT TEES), A COUPLING/FITTING SPECIFICALLY MANUFACTURED FOR SAID TRANSITION SHALL BE USED. NO OTHER COUPLING SYSTEM (I.E. FLEXIBLE FERNOCO) WILL BE ACCEPTED.



1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE:  
BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN  
ON THE DRAWINGS.

3. SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90-100% PASSES A 1/2" INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER, THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.

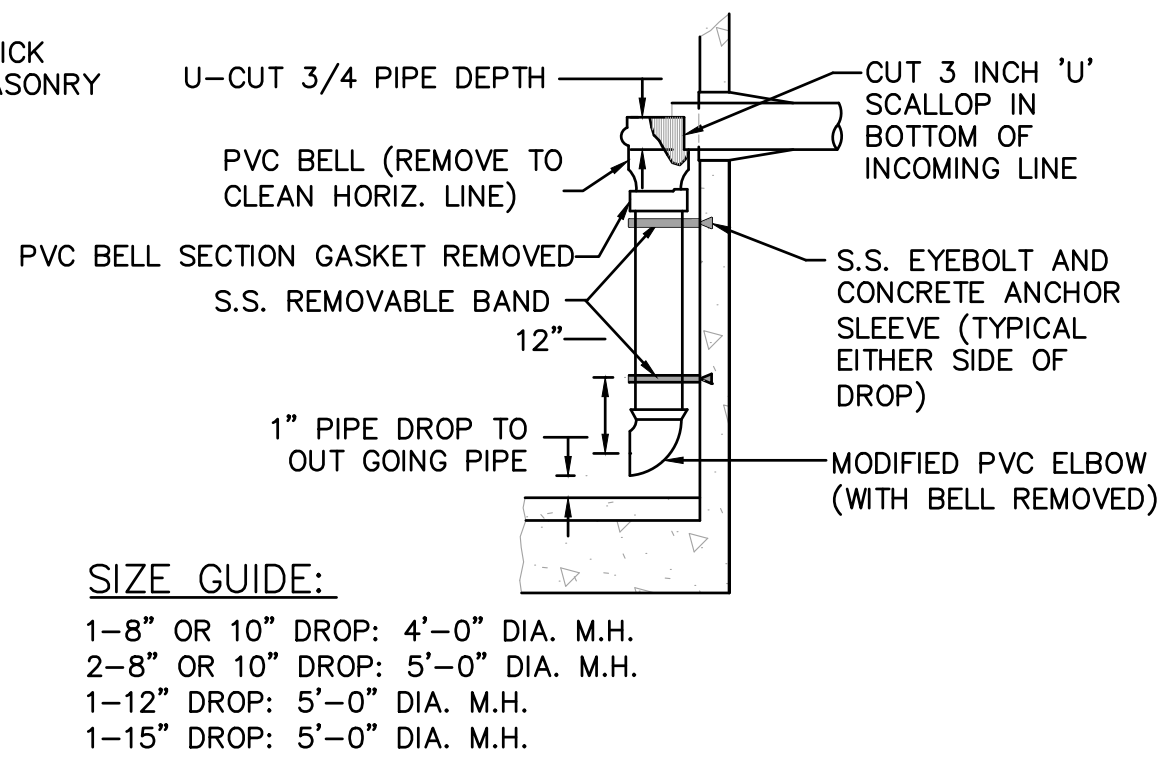
4. SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR SOFT CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN RECONSTRUCTION OF EXISTING CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK, OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER, FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WILL BE PRESERVED.

5. BASE COURSE AND PAVEMENT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES – DIVISIONS 300 AND 400 RESPECTIVELY.

6. W = MAXIMUM ALLOWABLE TRENCH PAYMENT WIDTH FOR ROCK  
EXCAVATION, FOR ORDERED EXCAVATION BELOW GRADE AND HANDLING  
OF EXCAVATED CONTAMINATED SOILS. FOR PIPES 15 INCHES NOMINAL  
DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES  
GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24  
INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.)

7. FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

8. WHERE TRENCH BOTTOM IS SOFT OR YIELDING, AND WHERE DIRECTED BY THE ENGINEER, INSTALL SINGLE LAYER OF GEOGRID (TX160 OR EQUAL) ACROSS THE ENTIRE WIDTH OF TRENCH BOTTOM. PAY AS ITEM 1.8A (L.F.).






NOTES:

1. MAINTAIN 18" SEPARATION BETWEEN NEW SEWER SERVICE AND NEW OR EXISTING WATER MAIN (WATER SHALL BE OVER SEWER).



DOUBLE WYE BRANCH ONLY  
TO BE USED WHERE  
APPROVED BY ENGINEER

STANDARD SEWER DETAILS		 25 Vaughan Mall, Portsmouth, N.H. 03801 Tel. 603-436-6192 Fax. 603-431-4733			Drawn/Chk	RMG	Δ
ISLINGTON STREET CORRIDOR IMPROVEMENTS					Designed	DJR	Δ
PHASE 2		Checked	PDM	Δ	Approval		
CITY OF PORTSMOUTH		Approved		Δ	Date	6/29/22	By
PORTSMOUTH, NEW HAMPSHIRE		Book No.	12453	Δ	CONSTRUCTION		
		Project No.	2705	Δ	Date		
		Dwg. ID	2705-details	Δ	RECORD DWG		
		Scale	AS SHOWN	Δ	By		
				NO	REVISIONS		APPD



