

AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

2 March 2022

Rick Chellman, Planning Board Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for Preliminary Conceptual Consultation and Design Review at 1 Congress Street, Office and Mixed Use Development

Dear Mr. Chellman and Planning Board Members:

On behalf of Mark McNabb and One Market Square, LLC we are pleased to submit the attached plan set for **Preliminary Conceptual Consultation as well as Design Review** for the above-mentioned project and request that we be placed on the agenda for your **March 17, 2021** Planning Board Meeting. The project includes the re-use of the existing commercial buildings at 1 and 3 Congress Street, some existing building demolition, and proposed new construction of a 3 story with a short 4th building to the rear of the existing buildings with the associated and required site improvements. The area behind the existing building is currently a surface parking lot. The surface parking will be lowered to below street level and be included with the new construction.

The site redevelopment consists of maintaining some of the existing uses at 1 and 3 Congress Street (with the possible elimination of the residential units) and constructing an office building to the rear. The property was 2 contiguous lots; the lots have been merged to create a 16,106 square foot development parcel. The properties are in CD – 4, CD – 5, Downtown Overlay, and Historic Districts. The application conforms to the required Density and Development Standards with the possible exception to building height. There is a draft ZBA application in that regard; although that may not be required.

This applicant seeks Planning Board input as required under Section 2.4.2.1 of the Site Plan Regulations (Preliminary Conceptual Consultation) and would like to go to a Public Hearing to get additional public feedback under the Design Review process.

The following plans are included in our submission:

On Site Improvements

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.

- Standard Boundary Survey Plan – These plans show the existing property boundaries. The survey was performed before the lot merger.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows portions of the existing buildings which will be removed.
- Overall Site Plan C3 – This plan shows the site development in detail with the associated Zoning Development Standards and Floor Area calculations.
- Utility Plan C4 – This plan shows proposed site utilities. The project will be coordinated with the Fleet Street improvements project.
- Grading Plan C5 – This plan shows proposed site grading. High Street is contemplated to be brought all to one surface level similar to Chestnut Street.

Off Site Improvements

The Development Team would like some feedback from the Planning Board on this part of the plan package; with the realization it is early in the design process and this work is not tied to the proposed site development directly. The possibility of connecting the McIntyre Building to the Worth Parking Lot with a pedestrian network is possible. This is a part of the developer's vision for the project and will involve public / private cooperation and is presented with some ideas for improvements.

- Context Plan A0 – This plan shows the context of the site surroundings. In the upper left is a diagram showing connectivity of a potential pedestrian network connecting the McIntyre Building to the Worth Parking Lot. This exciting possibility is a part of the developer's vision for the project and will involve public / private cooperation.
- Floor Plans A1 – These are preliminary on site building layouts; the project is in design review at the HDC.
- Elevations A2 – These are preliminary building elevations; the project is in design review at the HDC.
- 3D Views - These are preliminary site renderings; the project is in design review at the HDC.
- Garage Plan P1 – This plan shows a possible walkway connector to the Portsmouth Parking Garage. These are preliminary plans; the project is in design review at the HDC.
- Landscape Ideas – This plan shows proposed landscape features for the public spaces for review and comment.

We look forward to the Planning Boards review of this submission and the Boards feedback on the proposed design.

Sincerely,

John Chagnon

John R. Chagnon, PE

CC: Mark McNabb, Tracy Kozak, Terrance Parker

COMMERCIAL DEVELOPMENT

1 CONGRESS STREET PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS

OWNER:

ONE MARKET SQUARE LLC
3 PLEASANT STREET
SUITE #400
PORTSMOUTH, NH 03801
TEL. (603) 427-0725

LANDSCAPE ARCHITECT:

**TERRA FIRMA LANDSCAPE
ARCHITECTURE**
163A COURT STREET
PORTSMOUTH, NH 03801
TEL. (603) 430-8388

LAND SURVEYOR & CIVIL
ENGINEER:

AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

GEOTECHNICAL:

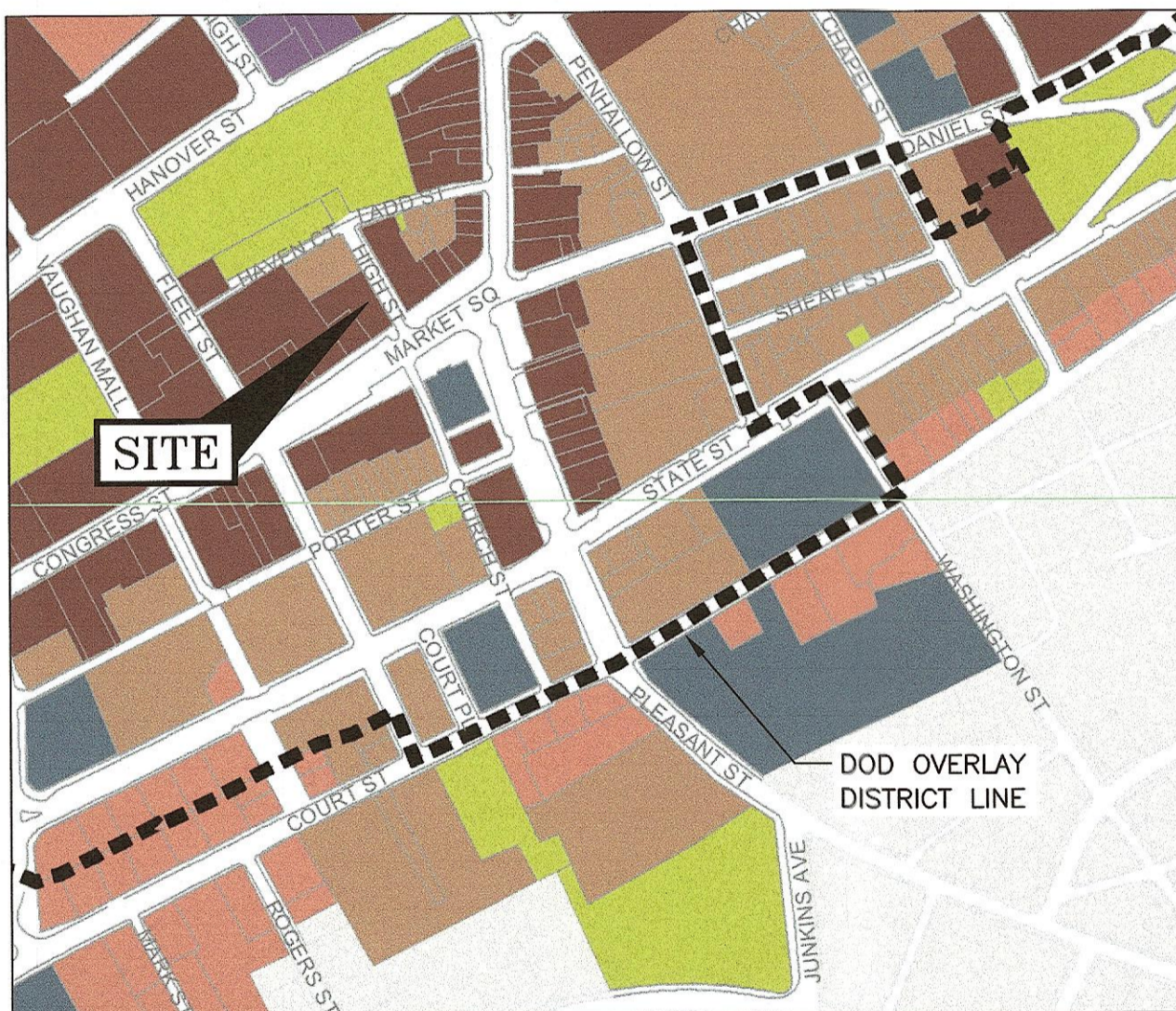
GEOTECHNICAL SERVICES INC.
18 COTE AVENUE, UNIT 11
GOFFSTOWN, N.H. 03045
Tel. (603) 624-2722

ARCHITECT:

ARCOVE LLC
3 CONGRESS STREET
SUITE 1
PORTSMOUTH, NH 03801
TEL. (603) 731-5187

LAND USE ATTORNEY:

BRUTON & BERUBE, PLLC
601 CENTRAL AVENUE
DOVER, N.H. 03820
Tel. (603) 749-4529

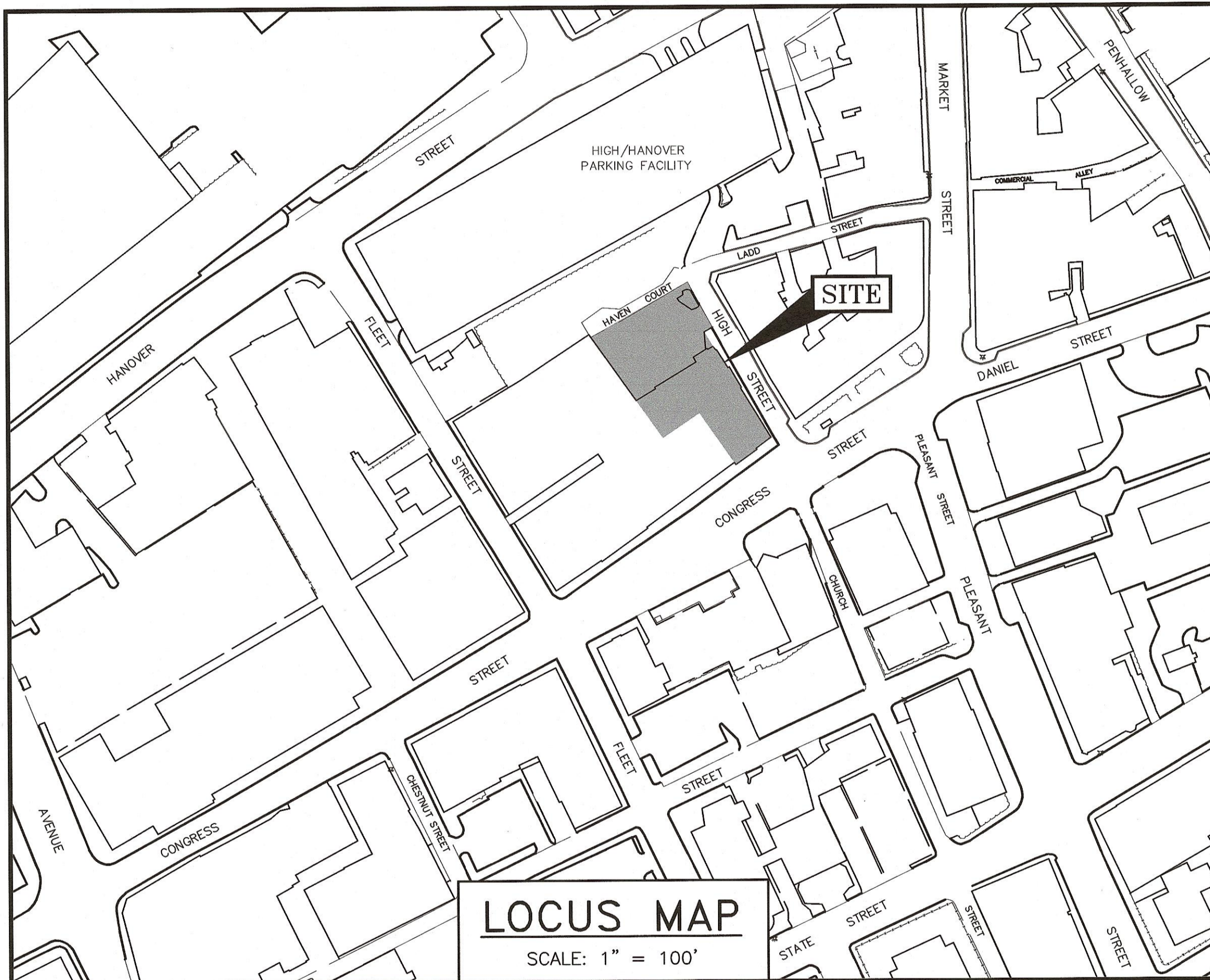


PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE _____



INDEX OF SHEETS

ON SITE DEVELOPMENT

- | | |
|----|--------------------------|
| — | BOUNDARY PLAN |
| C1 | EXISTING CONDITIONS PLAN |
| C2 | DEMOLITION PLAN |
| C3 | OVERALL SITE PLAN |
| C4 | UTILITY PLAN |
| C5 | GRADING PLAN |

OFF SITE IMPROVEMENTS

- | | |
|----|-----------------|
| A0 | CONTEXT |
| A1 | FLOOR PLANS |
| A2 | ELEVATIONS |
| A3 | 3D VIEWS |
| P1 | GARAGE PLAN |
| — | LANDSCAPE IDEAS |

UTILITY CONTACTS

ELECTRIC:

EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:

UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
0014013

COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

COMMUNICATIONS:

FAIRPOINT COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

PERMIT LIST:

NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED
PORTSMOUTH BOA: PENDING
PORTSMOUTH HDC: TO BE SUBMITTED
PORTSMOUTH SITE PLAN: TO BE SUBMITTED

LEGEND:

| <u>EXISTING</u> | <u>PROPOSED</u> | |
|-----------------|-----------------|------------------------------|
| | | PROPERTY LINE |
| | | SETBACK |
| | | SEWER PIPE |
| | | SEWER LATERAL |
| | | GAS LINE |
| | | STORM DRAIN |
| | | WATER LINE |
| | | WATER SERVICE |
| | | UNDERGROUND ELECTRIC |
| | | OVERHEAD ELECTRIC/WIRES |
| | | FOUNDATION DRAIN |
| | | EDGE OF PAVEMENT (EP) |
| | | CONTOUR |
| | | SPOT ELEVATION |
| | | UTILITY POLE |
| | | WALL MOUNTED EXTERIOR LIGHTS |
| | | TRANSFORMER ON CONCRETE PAD |
| | | ELECTRIC HANDHOLD |
| | | SHUT OFFS (WATER/GAS) |
| | | GATE VALVE |
| | | HYDRANT |
| | | CATCH BASIN |
| | | SEWER MANHOLE |
| | | DRAIN MANHOLE |
| | | TELEPHONE MANHOLE |
| | | PARKING SPACE COUNT |
| | | PARKING METER |
| | | LANDSCAPED AREA |
| | | TO BE DETERMINED |
| | | CAST IRON PIPE |
| | | COPPER PIPE |
| | | DUCTILE IRON PIPE |
| | | POLYVINYL CHLORIDE PIPE |
| | | REINFORCED CONCRETE PIPE |
| | | ASBESTOS CEMENT PIPE |
| | | VITRIFIED CLAY PIPE |
| | | EDGE OF PAVEMENT |
| | | ELEVATION |
| | | FINISHED FLOOR |
| | | INVERT |
| | | SLOPE FT/FT |
| | | TEMPORARY BENCH MARK |
| | | TYPICAL |



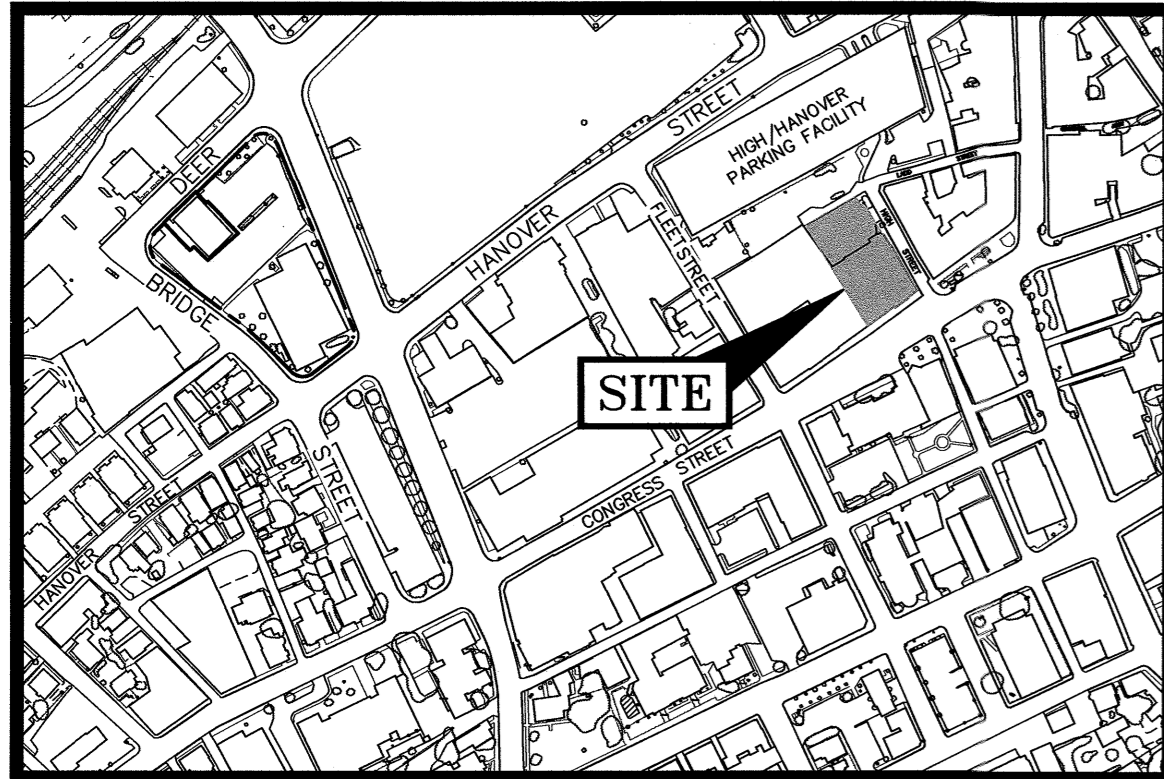
SITE PERMIT PLANS
COMMERCIAL DEVELOPMENT
ONE MARKET SQUARE
1 CONGRESS STREET
PORTSMOUTH, N.H.



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 2 MARCH 2022



LOCATION MAP

SCALE: 1" = 300'

LEGEND:

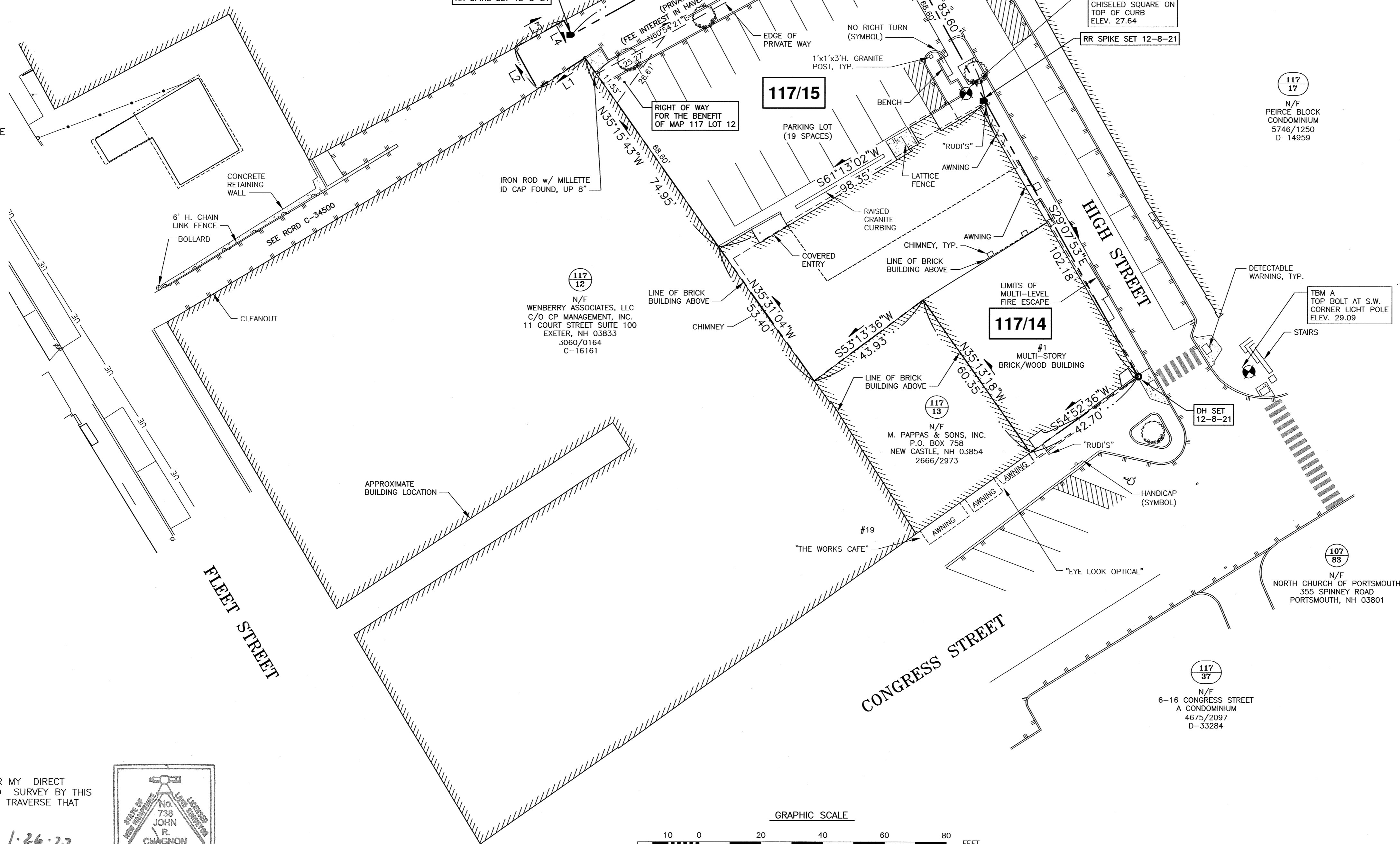
| | |
|---------------|-----------------------------|
| N/F | NOW OR FORMERLY |
| RP | RECORD OF PROBATE |
| RCRD | ROCKINGHAM COUNTY |
| | REGISTRY OF DEEDS |
| RR SPK | RAILROAD SPIKE |
| 11/21 | MAP 11/LOT 21 |
| ○ IR FND | IRON ROD FOUND |
| ○ IP FND | IRON PIPE FOUND |
| ● IR SET | IRON ROD SET |
| ● DH FND | DRILL HOLE FOUND |
| ● DH SET | DRILL HOLE SET |
| ■ NHHB | NHDOT BOUND FOUND |
| ■ TB | TOWN BOUND |
| ■ BND w/DH | BOUND WITH DRILL HOLE |
| ■ ST BND w/DH | STONE BOUND WITH DRILL HOLE |

LENGTH TABLE

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S57°27'42"W | 18.36' |
| L2 | N28°53'22"W | 15.00' |
| L3 | N61°07'46"E | 18.19' |
| L4 | S29°05'39"E | 5.28' |

PLAN REFERENCES:

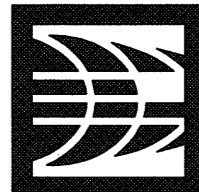
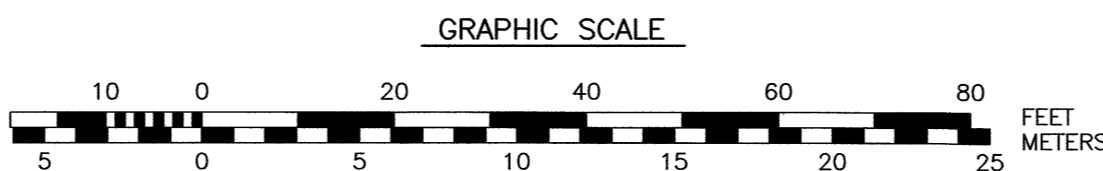
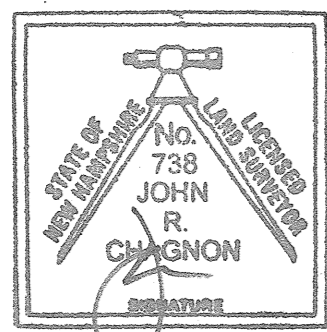
- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537.
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED.
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161.
- 9) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

JOHN R. CHAGNON, LLS 738

1-26-22
DATE



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:
ONE MARKET SQUARE, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6363/31 PARCEL 1 & PARCEL 2
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
- 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES
MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES
COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
- 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
- 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

| NO. | DESCRIPTION | DATE |
|-----|----------------------|---------|
| 1 | NEW OWNER | 1/26/22 |
| 0 | ISSUED FOR RECORDING | 12/8/21 |

REVISIONS

STANDARD BOUNDARY SURVEY
TAX MAP 117
LOTS 14 & 15

OWNER OF RECORD:
ONE MARKET SQUARE, LLC

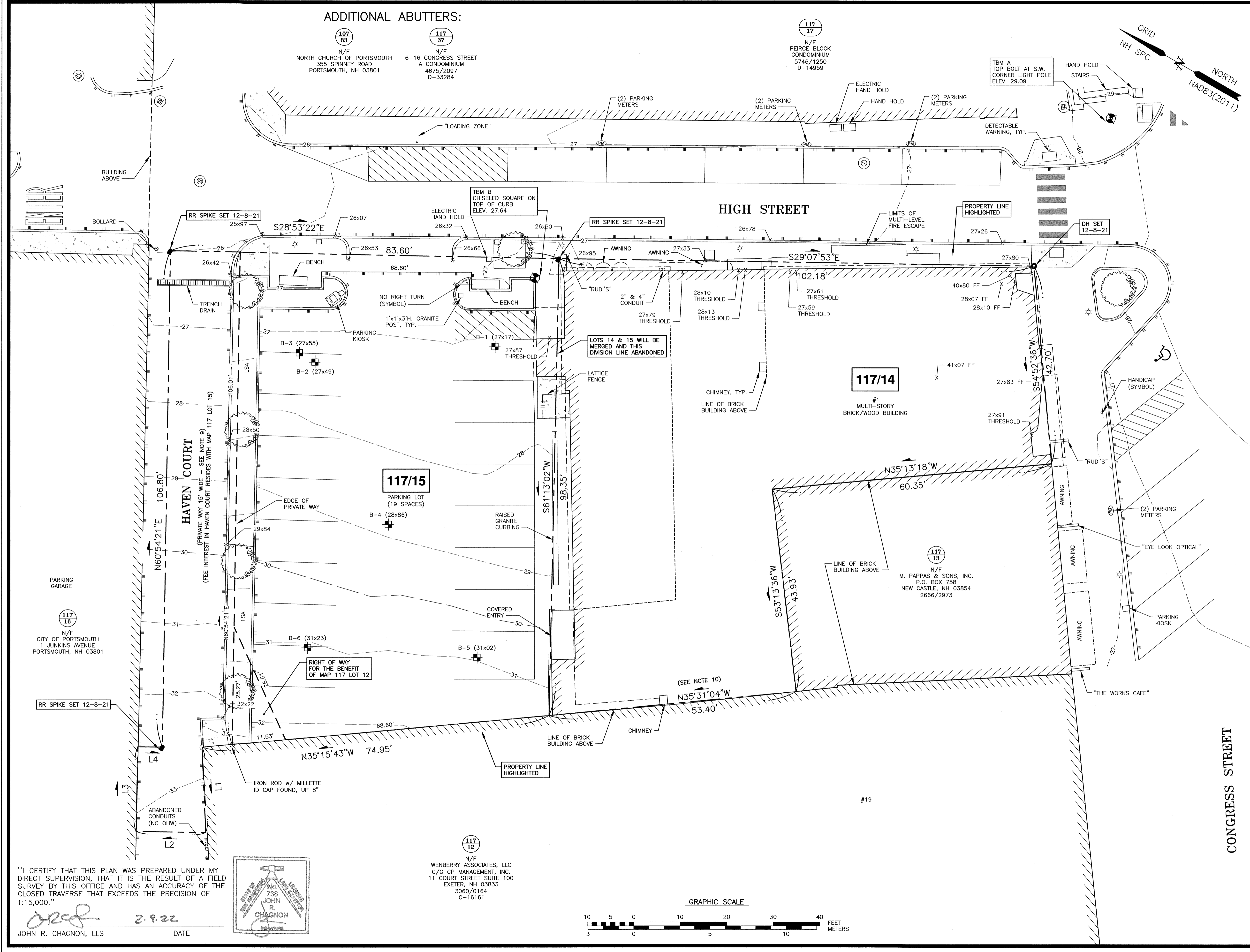
PROPERTY LOCATED AT:
**1 CONGRESS STREET & HIGH STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE**


SCALE: 1" = 20'

NOVEMBER 2021

FB 309 PG 15

3406



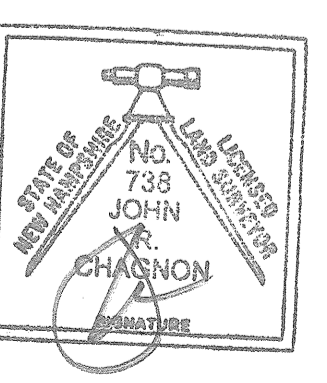


AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
 - 2) OWNER OF RECORD:
ONE MARKET SQUARE, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6363/31 PARCEL 1 & PARCEL 2
 - 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
 - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES
MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES
COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
 - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.

COMMERCIAL DEVELOPMENT ONE MARKET SQUARE PORTSMOUTH, N.H.

| NO. | DESCRIPTION | DATE |
|-----|------------------|---------|
| 2 | ADD TOPOGRAPHY | 2/9/22 |
| 1 | BORING LOCATIONS | 2/7/22 |
| 0 | PROPERTY LINES | 1/26/22 |

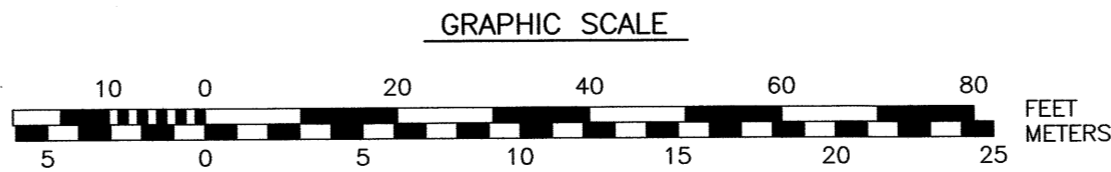
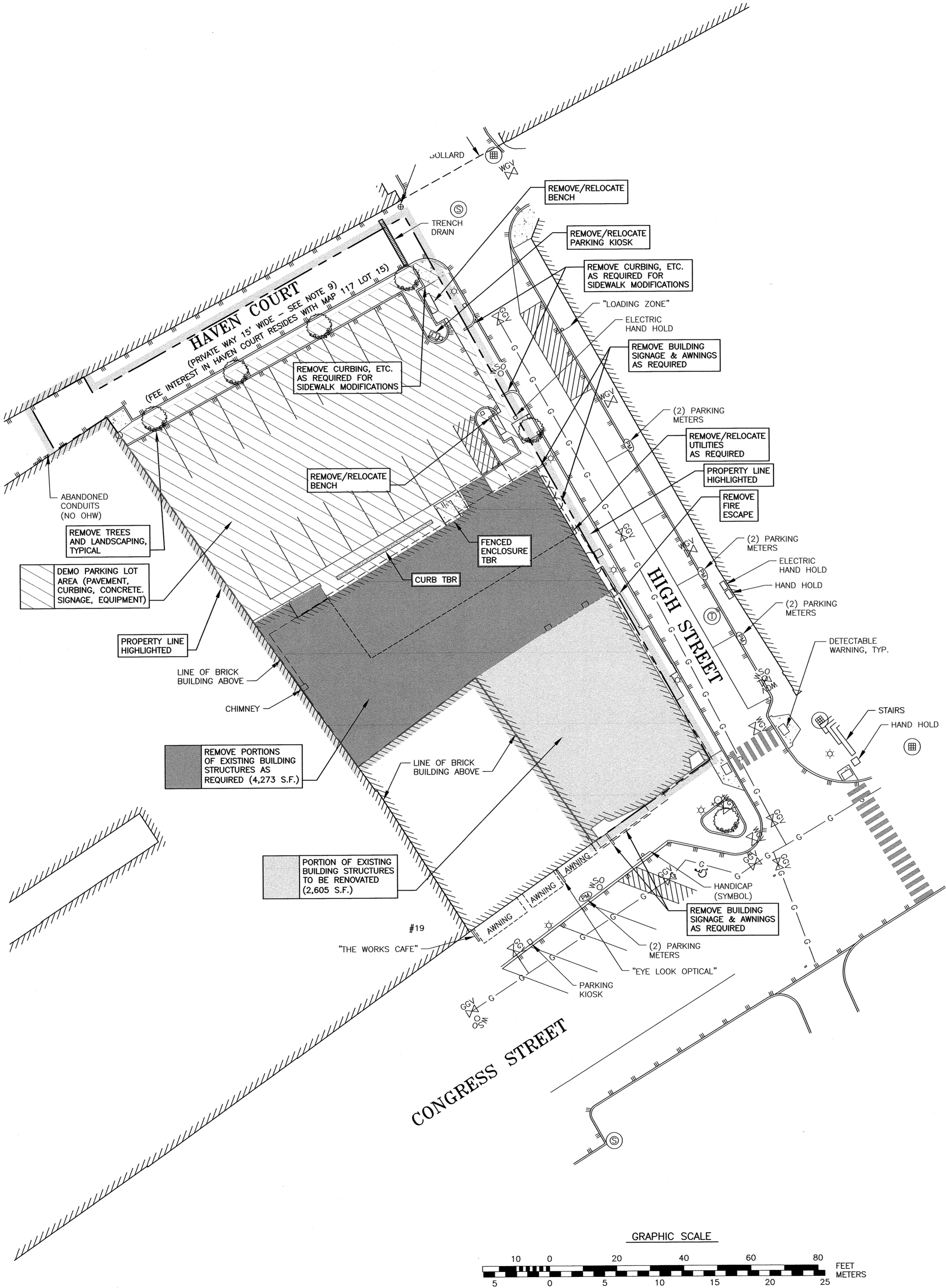


SCALE 1" = 10' NOVEMBER 2021

EXISTING CONDITIONS PLAN **C1**

DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



GRID
N
NAD83(2011)



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

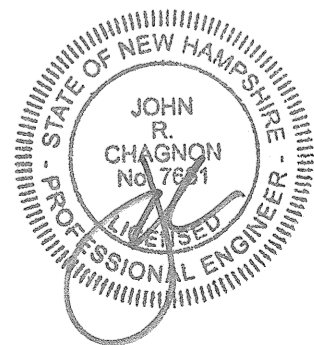
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

COMMERCIAL
DEVELOPMENT
ONE MARKET SQUARE
PORTSMOUTH, N.H.

| | | |
|-----|--------------------|---------|
| 0 | ISSUED FOR COMMENT | 1/26/22 |
| NO. | DESCRIPTION | DATE |

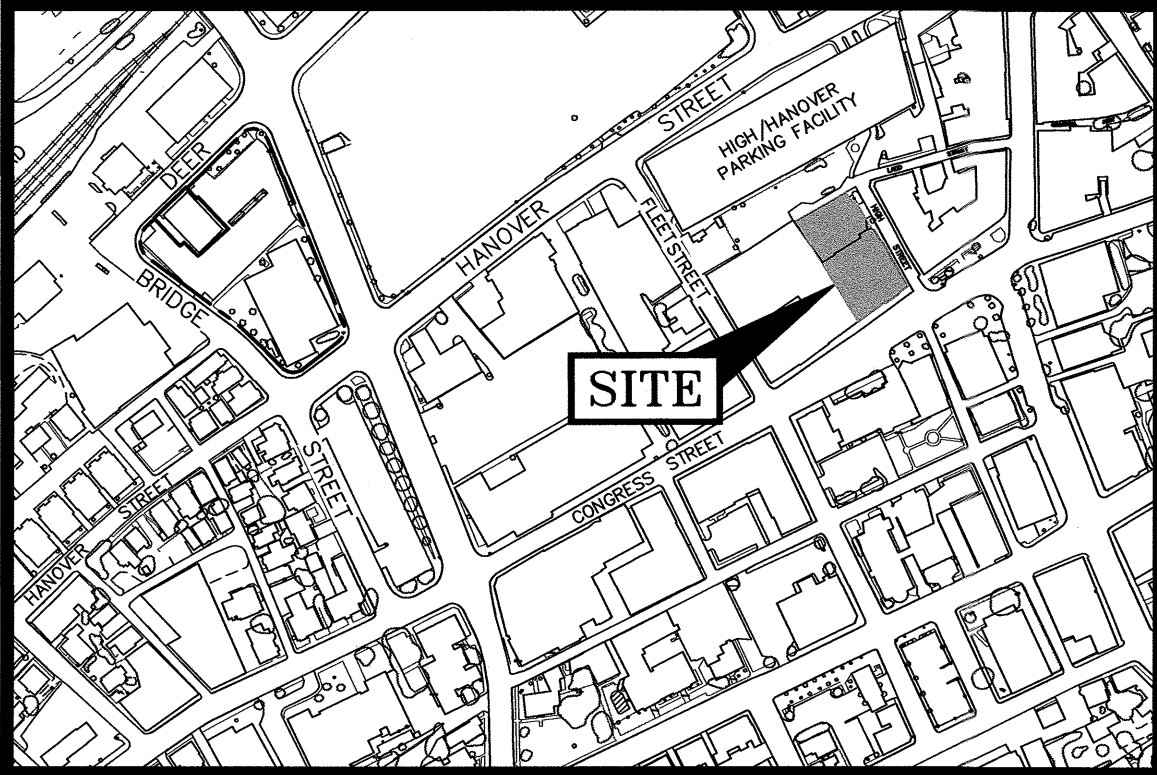
REVISIONS



SCALE 1" = 20' NOVEMBER 2021

DEMOLITION
PLAN

C2



LOCATION MAP

SCALE: 1" = 300'

PLAN REFERENCE:

STANDARD BOUNDARY SURVEY, TAX MAP 117, LOTS 14 & 15, FOR PETER H. JARVIS & SONS, LLC. 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2021, ISSUED FOR RECORDING 12/8/21. R.C.R.D. PLAN D-43095.

| ZONING DEVELOPMENT STANDARD | | | |
|---|---|---------------------|--------------------|
| CD4 (CD-4, DOD, HDC); CHARACTER DISTRICT 4 | | | |
| | REQUIRED | EXISTING | PROPOSED |
| Penthouses | may exceed bldg height by 2' | n/a | n/a |
| Roof appurtenance | may exceed bldg height by 10' | n/a | tbd, < 10'-0" |
| Facade Types | shopfront | n/a | yes |
| Building Types | commercial, live-work, mixed use, flex space & community. | n/a | commercial |
| Setbacks (ft) * | | | |
| Front (principle) max | 10 | n/a | 0'-0" |
| Front (secondary) max | 15 | n/a | 1'-6" |
| Side | n/a | n/a | 10'-0" |
| Rear, min | >of: 5' from rear line or 10' from d alley | n/a | 10'-0" |
| Front lotline buildout | 50% min | n/a | n/a |
| Lot area (sf) | NR | 0 | 8,840 |
| Lot area per dwelling | NR | 0 | n/a |
| Coverage, maximum | 90% | 0 | 67.39% |
| Footprint, max* | 10,543.40 | 0 | 5,957 |
| *10,543.43 increase for indoor parking if >50% gr. floor parking & 30% lot is community space | 30,000 ground (20,000 upper) | | 0 |
| Ground floor area per use, max | 15,000 | | 5,957 |
| Open space, minimum | 10% | | 32.61% |
| Permitted uses (cd4 & cd5) | multifamily, live/work, office, retail, restaurant (<500cc) | surface parking lot | commercial retail |
| Block length, max (ft) | 200 | n/a | 169'-3" |
| Facade modulation length, max (ft) | 80 | n/a | 67'-6" |
| Entrance spacing, max (ft) | 50 | n/a | 41'-9" |
| Floor height above sidewalk, max | 36" | n/a | 26" |
| Ground floor height, min | 12' | n/a | 13'-0" |
| Second floor height, min | 10' | n/a | 11'-0" |
| Glazing, shopfront, min | 70% | n/a | min 70% |
| Glazing, other | 20%-50% | n/a | 20%-50% |
| Roof types (pitch) | flat, gable (6:12-12:12), hip(>3:12), gambrel/mansard(6:12-30:12) | n/a | flat, mansard, hip |

BUILDING DATA:
PROPOSED BUILDING:
12,280 S.F. FOOTPRINT

HEIGHT DATA:

| LOT | REQUIRED HEIGHT & STORIES | PROPOSED HEIGHT & STORIES |
|-----|--------------------------------|----------------------------------|
| 14 | 2-3 STORIES WITH SHORT 4TH=45' | 44'-11" / 3 STORY WITH 4TH SHORT |
| 15 | 2 STORIES WITH SHORT 3RD=35' | 44'-11" / 3 STORY WITH 4TH SHORT |

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

| ZONING DEVELOPMENT STANDARD | | | |
|---|--|--|--------------------|
| CD5 (CD-5, DOD, HDC); CHARACTER DISTRICT 5 | | | |
| | REQUIRED | EXISTING | PROPOSED |
| Penthouses | may exceed bldg height by 2' | n/a | n/a |
| Roof appurtenance | may exceed bldg height by 10' | tbd, < 10'-0" | tbd, < 10'-0" |
| Facade Types | shop front | yes | yes |
| Building Types | commercial, live-work, mixed use, flex space & community. | commercial, mixed use | commercial |
| Setbacks (ft) * | | | |
| Front (principle) max | 5 | 0'-0" | 0'-0" |
| Front (secondary) max | 5 | 0'-0" | 1'-6" |
| Side | NR | 0'-0" | 0' - 10' |
| Rear, min | >of: 5' from rear line or 10' from d alley | 0'-3" | 10'-0" |
| Front lotline buildout | 80% min | 100% | n/a |
| Lot area (sf) | NR | 7,266 | 8,840 |
| Lot area per dwelling | NR | n/a | n/a |
| Coverage, maximum | 95% | 87.63% | 67.39% |
| Footprint, max* | 10,543.40 | 6,367 | 5,957 |
| *10,543.43 increase for indoor parking if >50% gr. floor parking & 30% lot is community space | 50,000 ground (30,000 upper) | 0 | 0 |
| Ground floor area per use, max | 15,000 | 6,367 | 5,957 |
| Open space, minimum | 5% | 12.37% | 32.61% |
| Permitted uses (cd4 & cd5) | commercial, live/work, mixed-use, flex space, community, office, retail, restaurant (<500cc) | commercial, mixed use, office, retail & restaurant | commercial retail |
| Block length, max (ft) | 225 | 102.18 | 169'-3" |
| Facade modulation length, max (ft) | 100 | 102.18 | 67'-6" |
| Entrance spacing, max (ft) | 50 | 50'-6" | 41'-9" |
| Floor height above sidewalk, max | 36" | 8" | 26" |
| Ground floor height, min | 12' | 13'-0" | 13'-0" |
| Second floor height, min | 10' | 11'-0" | 11'-0" |
| Glazing, shopfront, min | 70% | | min 70% |
| Glazing, other | 20%-50% | | 20%-50% |
| Roof types (pitch) | flat, gable (6:12-12:12), hip(>3:12), gambrel/mansard(6:12-30:12) | mansard and gable | flat, mansard, hip |

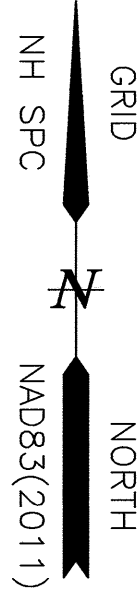
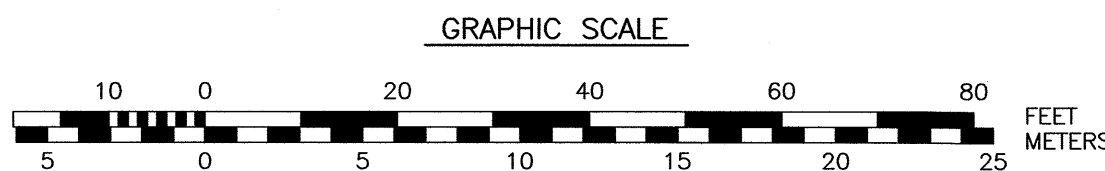
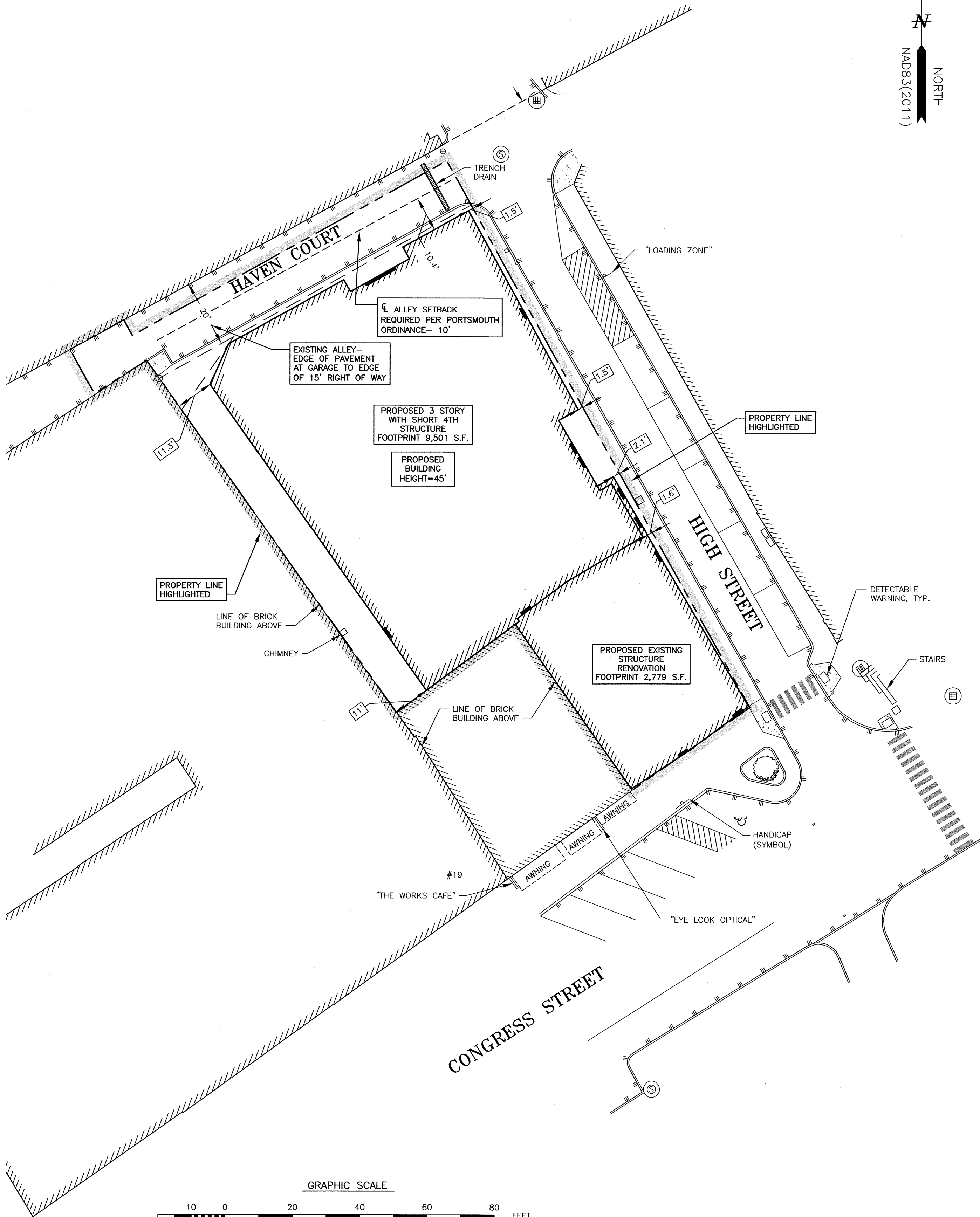
One Market Square

Conceptual Area Summary
1/25/2022

| addition | total gsf | cd4 - lot 15 | cd5 - lot 14 |
|-----------------------|-----------|--------------|--------------|
| 4th floor | 6,697 | 4,924 | 1,773 |
| 3rd floor | 9,609 | 5,957 | 3,652 |
| 2nd floor | 9,608 | 5,957 | 3,651 |
| 1st floor (footprint) | 9,608 | 5,957 | 3,651 |
| basement | 9,791 | 6,162 | 3,629 |
| total new | 45,313 | | |

| renovation | | |
|------------------|--------|--------------|
| 4th floor | 2,294 | residential |
| 3rd floor | 2,716 | residential |
| 2nd floor | 2,716 | office |
| 1st floor | 1,386 | restaurant |
| 1st floor | 1,330 | retail |
| basement | 2,717 | storage/mech |
| total renovation | 13,159 | |

| | |
|-----------------|--------|
| TOTAL FOOTPRINT | 12,324 |
| TOTAL GSF | 58,472 |



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

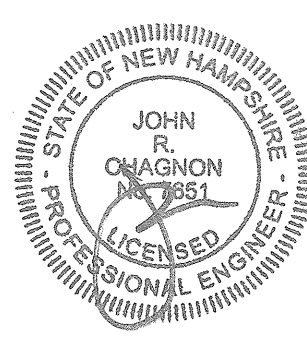
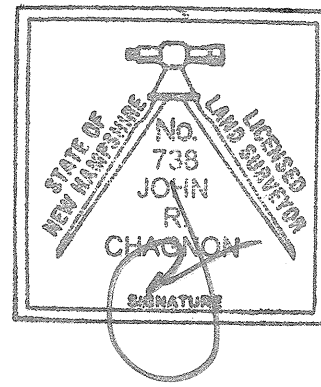
NOTES:

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:
ONE MARKET SQUARE, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6363/31 PARCEL 1 & PARCEL 2
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5. SEE TABLES THIS SHEET.
- 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES
MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES
COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
- 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
- 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCOD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS PLAN).

COMMERCIAL
DEVELOPMENT
ONE MARKET SQUARE
PORTSMOUTH, N.H.

| NO. | DESCRIPTION | DATE |
|-----|--------------------|---------|
| 0 | ISSUED FOR COMMENT | 1/26/22 |

REVISIONS



SCALE 1" = 20'

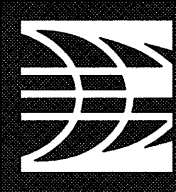
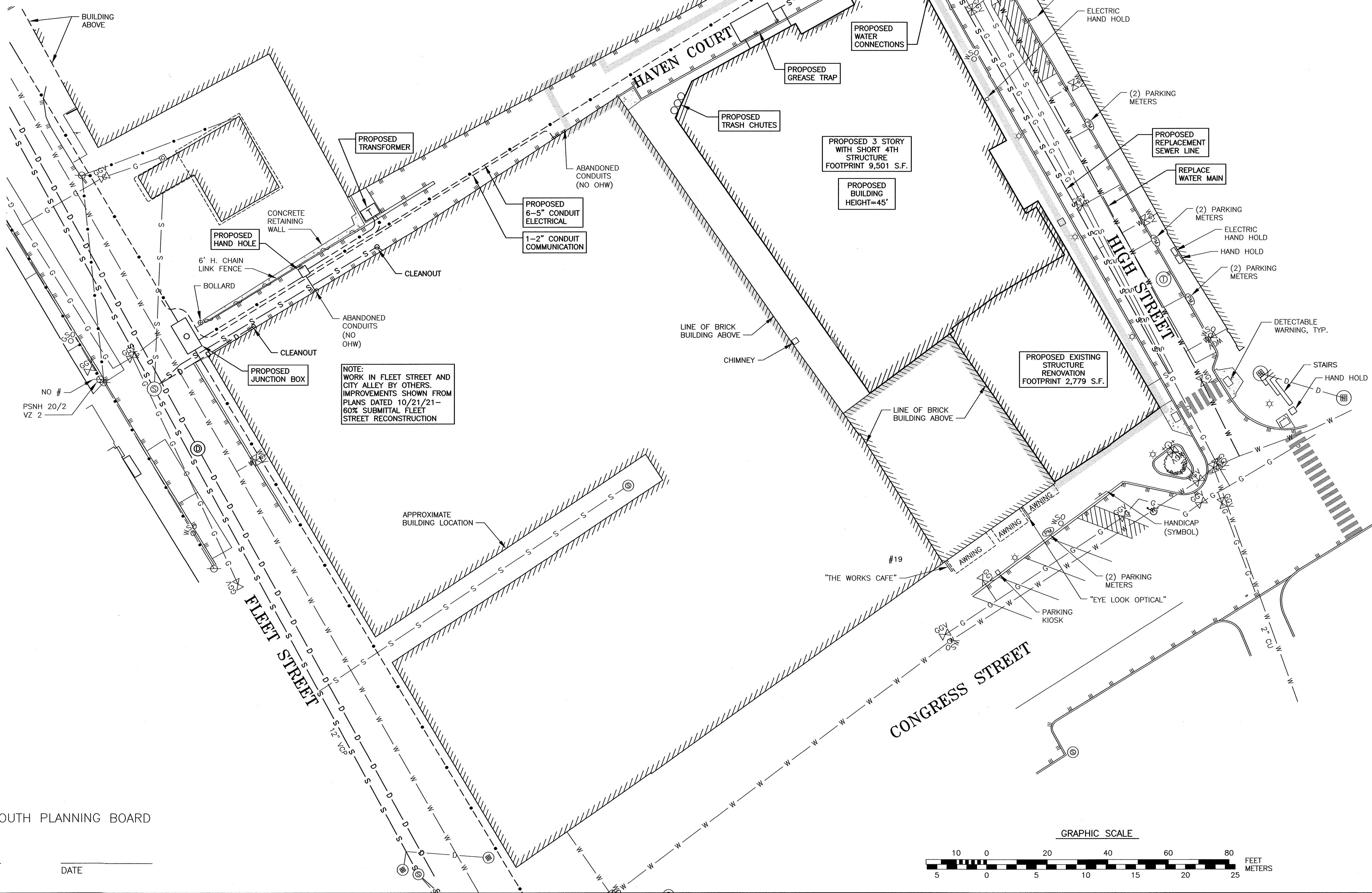
NOVEMBER 2021

OVERALL SITE
PLAN

C3

UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH UTILITY COMPANY AND AFFECTED ADJUTER.



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

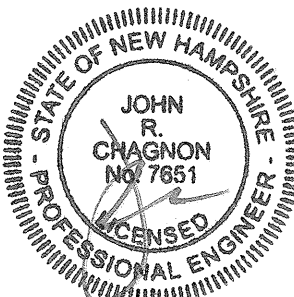
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER #7706719
- 8) PROPOSED SEWER FLOW (NEW CONSTRUCTION):
35,522 S.F. OFFICE SPACE.
35,522 X (2.5 GPD/100 S.F.) = 888 GALLONS PER DAY.

COMMERCIAL
DEVELOPMENT
ONE CONGRESS STREET
PORTSMOUTH, N.H.

| | | |
|-----|--------------------|--------|
| | | |
| | | |
| | | |
| | | |
| 0 | ISSUED FOR COMMENT | 3/2/22 |
| NO. | DESCRIPTION | DATE |

REVISIONS



SCALE 1" = 20' NOVEMBER 2021

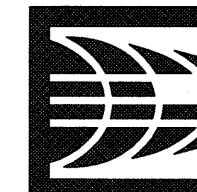
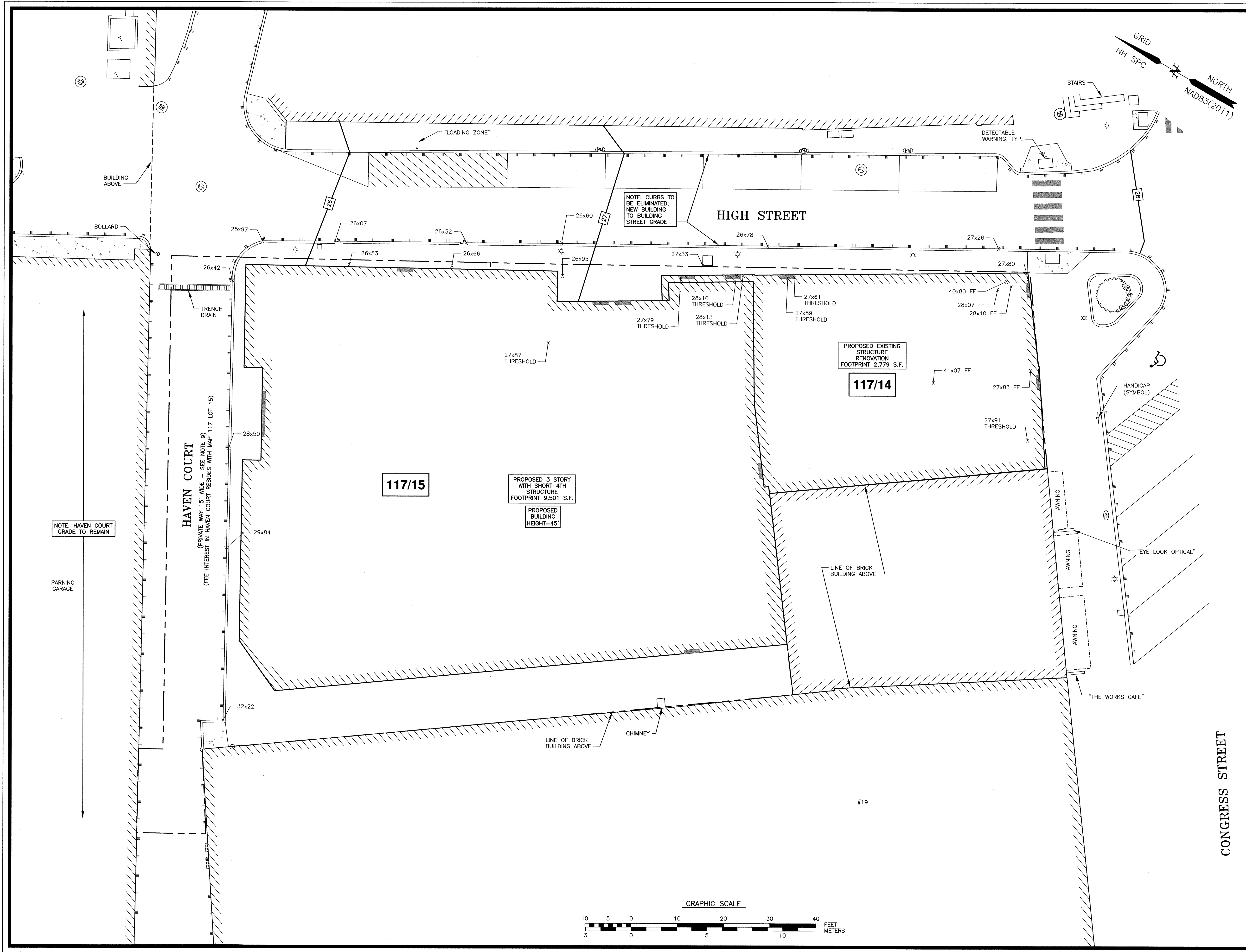
UTILITY
PLAN

C4

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE



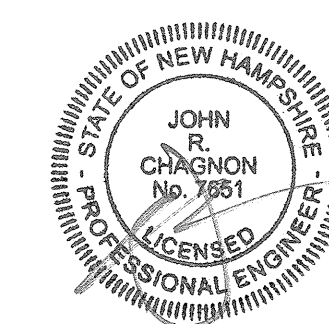
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

COMMERCIAL DEVELOPMENT ONE CONGRESS STREET PORTSMOUTH, N.H.

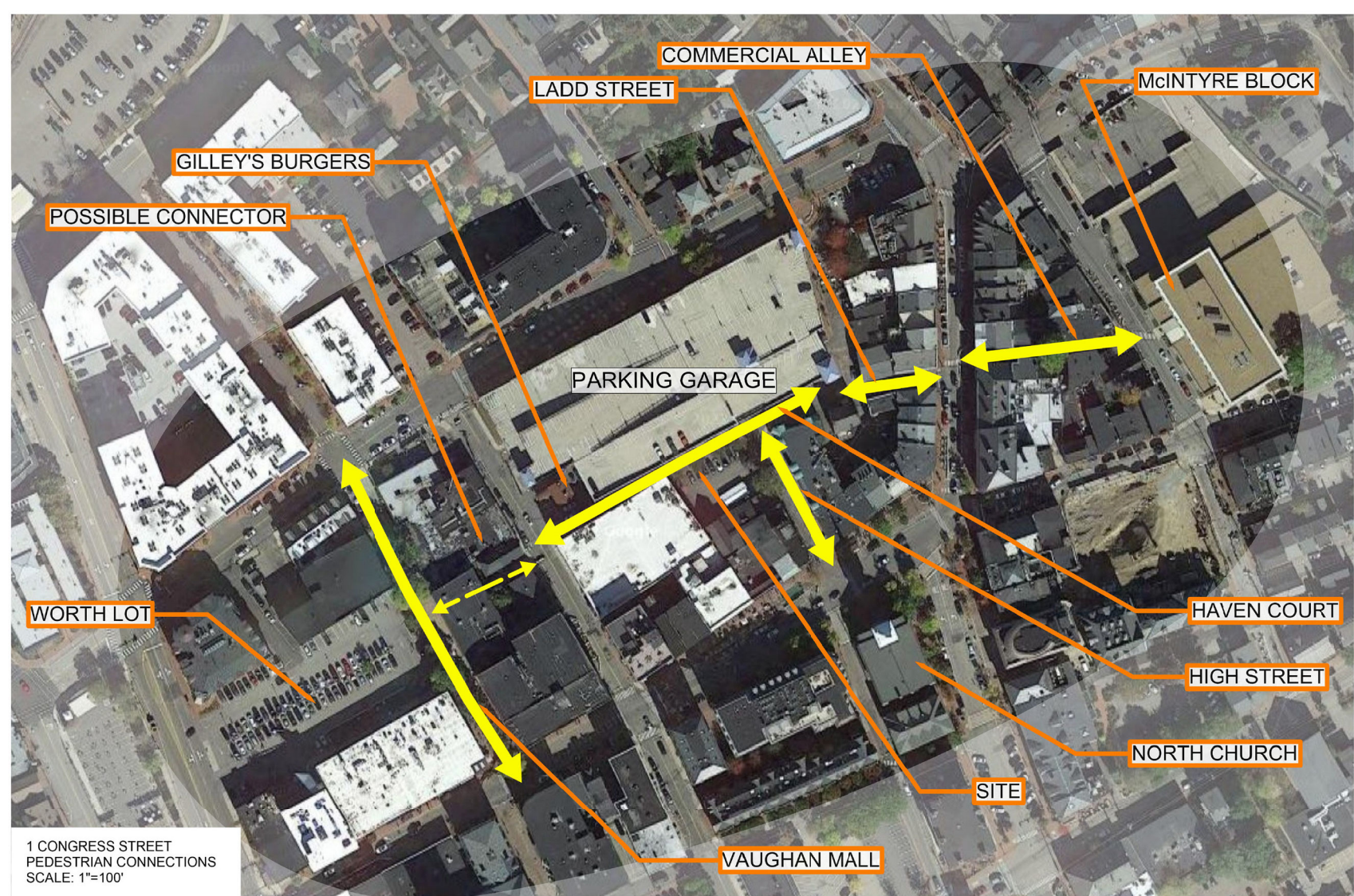
| NO. | DESCRIPTION | DATE |
|-----------|--------------------|--------|
| 0 | ISSUED FOR COMMENT | 3/2/22 |
| REVISIONS | | |



SCALE 1" = 10' NOVEMBER 2021

GRADING
PLAN

C5



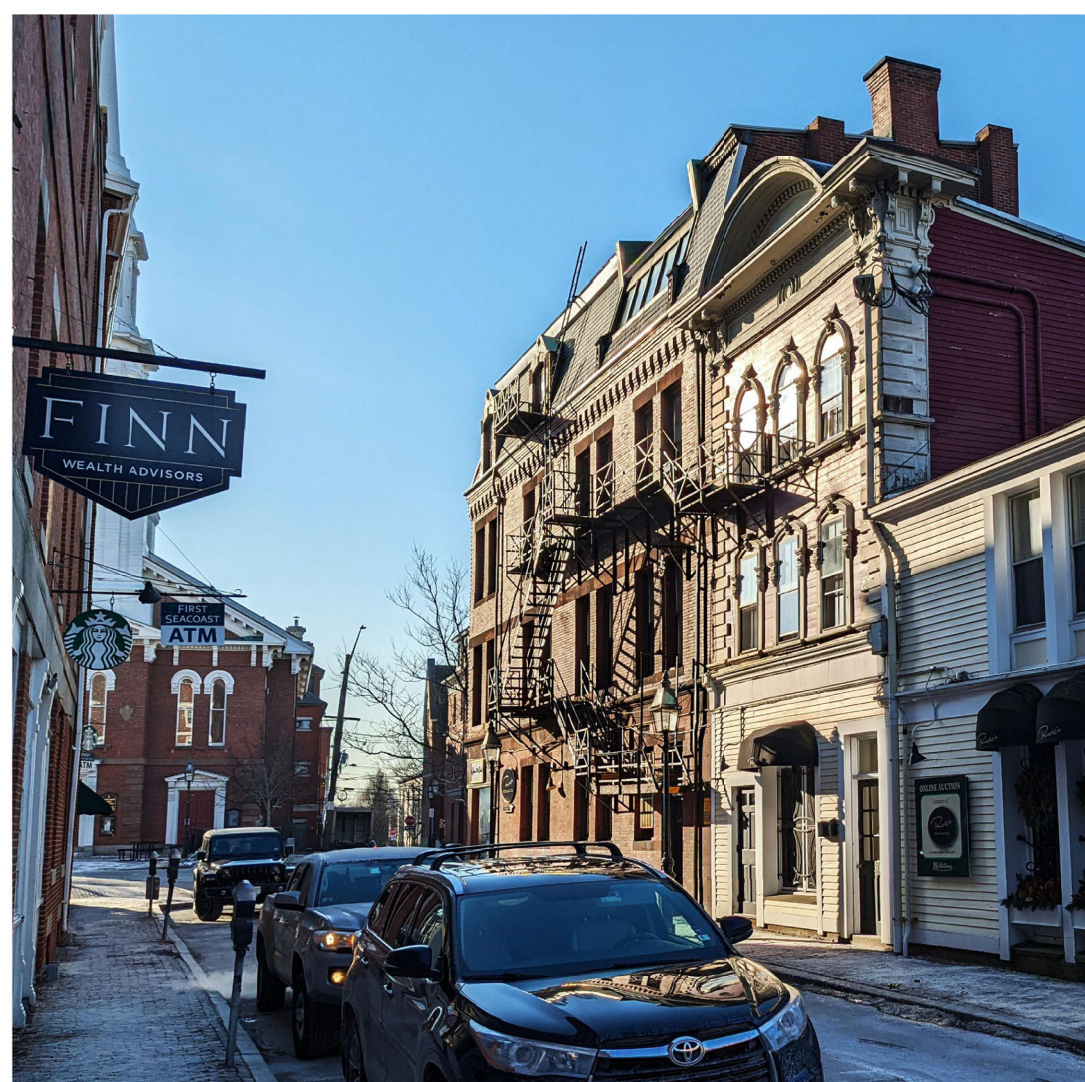
PEDESTRIAN CONNECTIONS

CONTEXT MAP

1 CONGRESS STREET

SCALE: 1"=100'

03/23/2022



EXISTING CONDITIONS PHOTOS

1 CONGRESS STREET

SCALE: 1"=100'

03/23/2022



HIGH STREET



LADD STREET



HIGH STREET

WAYFINDING

1 CONGRESS STREET

SCALE: 1"=100'

03/23/2022



3 Congress St. Ste 1
Portsmouth, NH 03801
T 603.731.5187
arcove.com

Ambit Engineering Inc
Civil Engineering
200 Griffin Rd Unit 3
Portsmouth NH 03801
(603) 430-9282
ambitengineering.com

Terra Firma Landscape
Landscape Architecture
163a Court St
Portsmouth NH 03801
(603) 531-9109
terrafirmalandarch.com

1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET
PORTSMOUTH, NH 03801

ONE MARKET SQUARE
LLC, OWNER

Scale:
Date: 03/02/2022
Project Number: 1002

| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |

CONCEPT DESIGN

CONTEXT

A0

COPYRIGHT © 2022



3 Congress St, Ste 1
Portsmouth, NH 03801
T 603.731.5187
arcove.com

Ambit Engineering Inc
Civil Engineering
200 Griffin Rd Unit 3
Portsmouth NH 03801
(603) 430-9282
ambitengineering.com

Terra Firma Landscape
Landscape Architecture
163a Court St
Portsmouth NH 03801
(603) 531-9109
terrafirmalandarch.com

1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET
PORTSMOUTH, NH 03801

ONE MARKET SQUARE
LLC, OWNER

Scale: 1/16" = 1'-0"
Date: 03/02/2022
Project Number: 1002

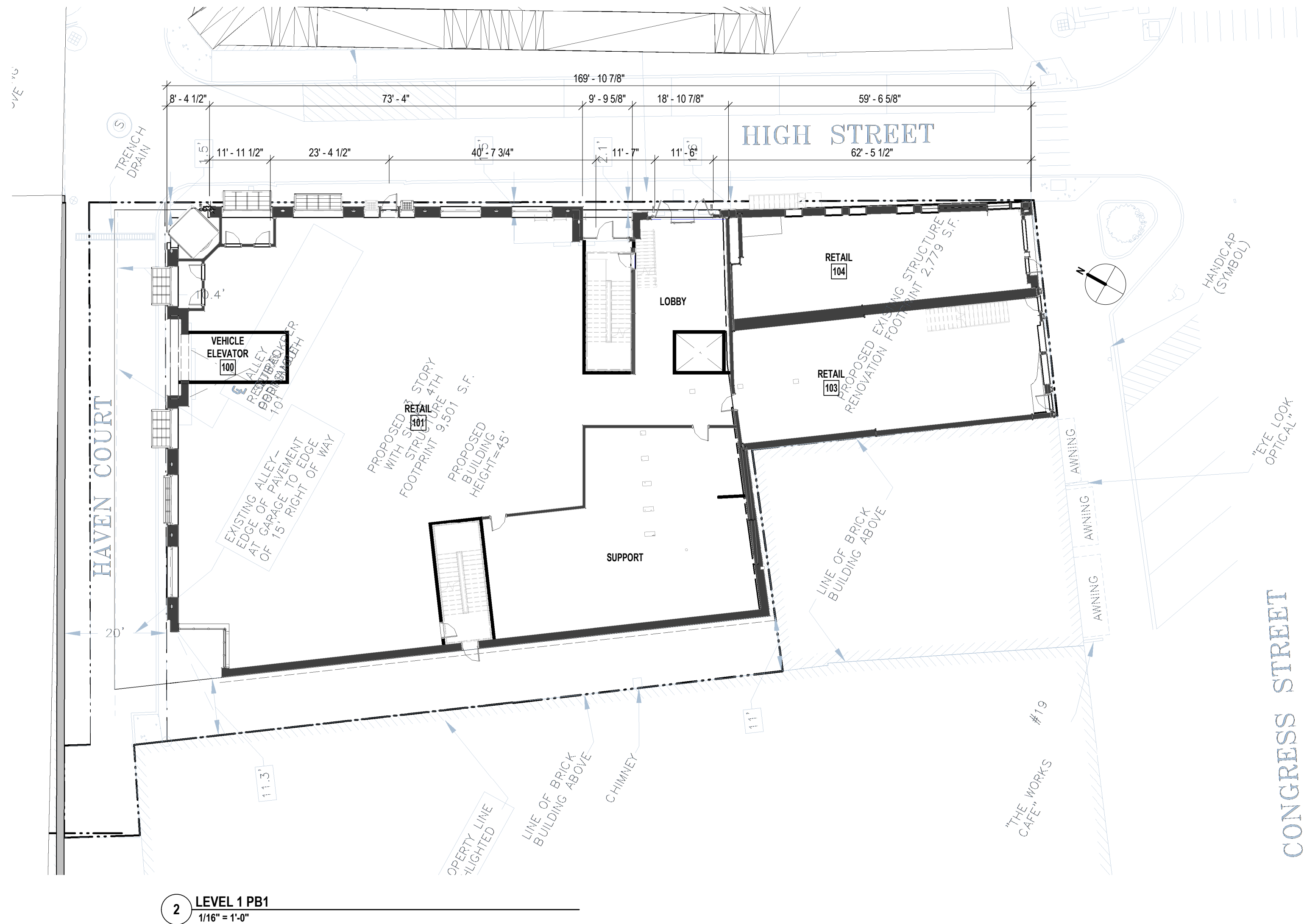
| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |

CONCEPT DESIGN

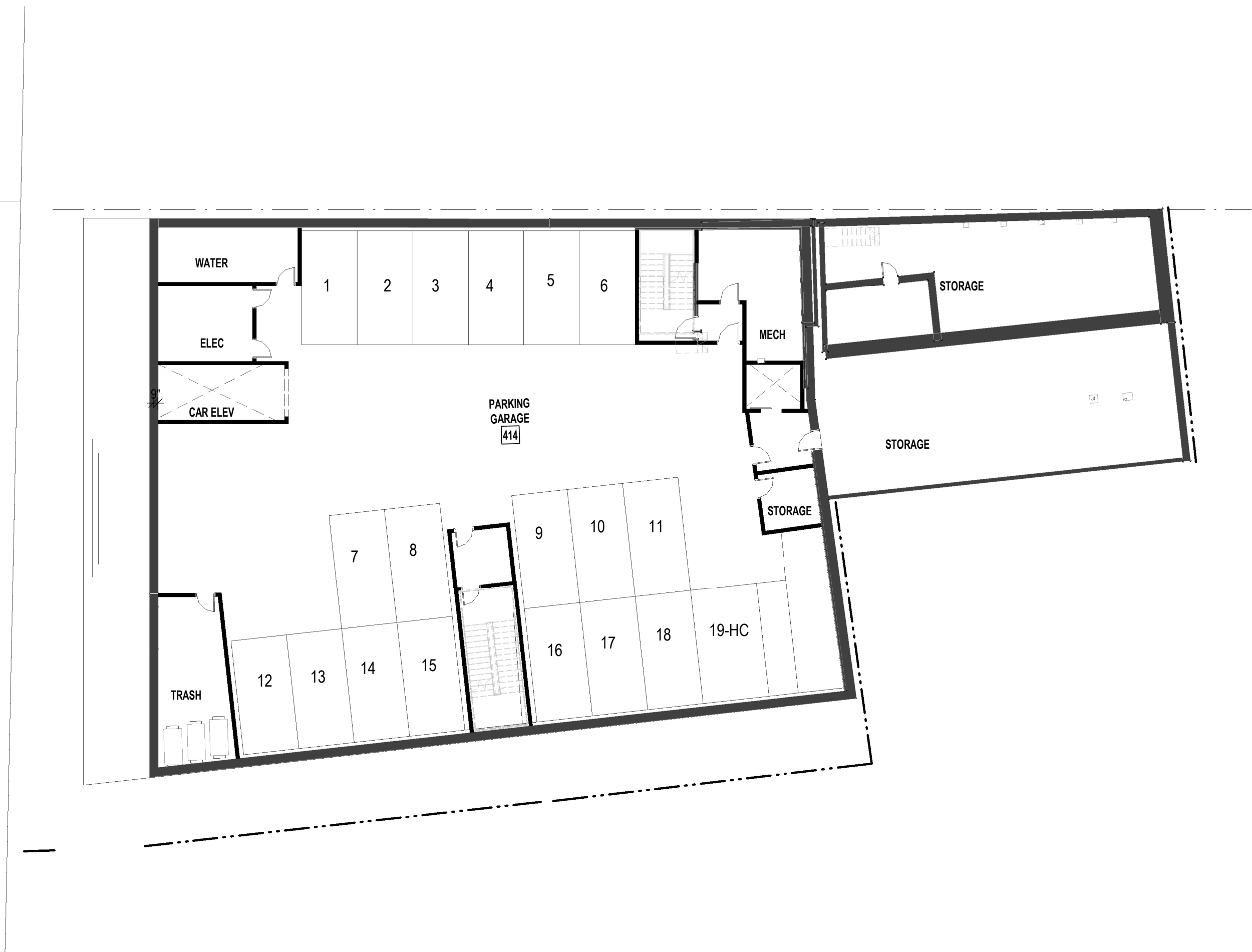
FLOOR PLANS

A1

COPYRIGHT © 2022



2 LEVEL 1 PB1
1/16" = 1'-0"



1 BASEMENT PB1
1/16" = 1'-0"

1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET
PORTSMOUTH, NH 03801

ONE MARKET SQUARE
LLC, OWNER

Scale: 3/32" = 1'-0"
Date: 03/02/2022
Project Number: 1002

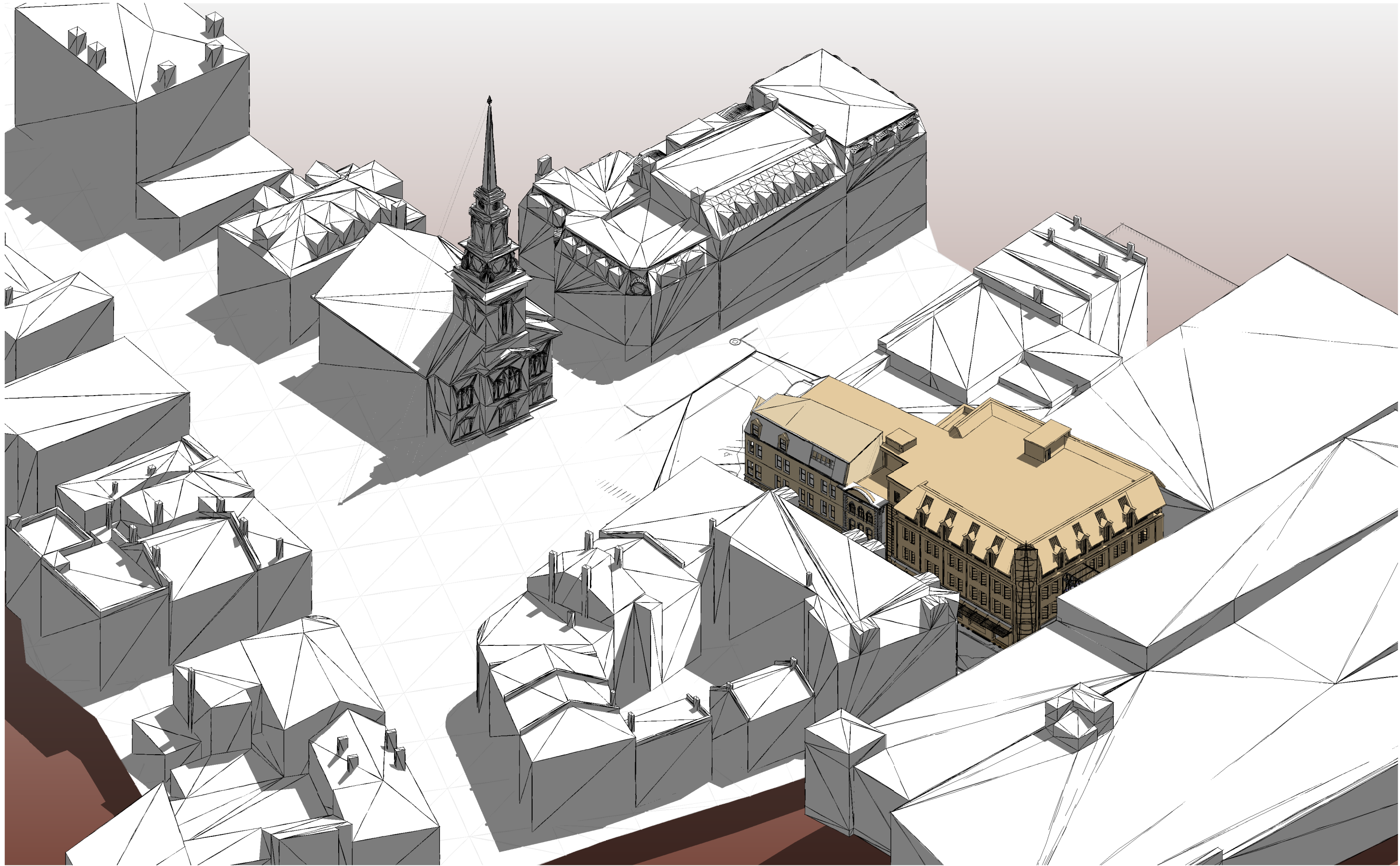
| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |

CONCEPT DESIGN

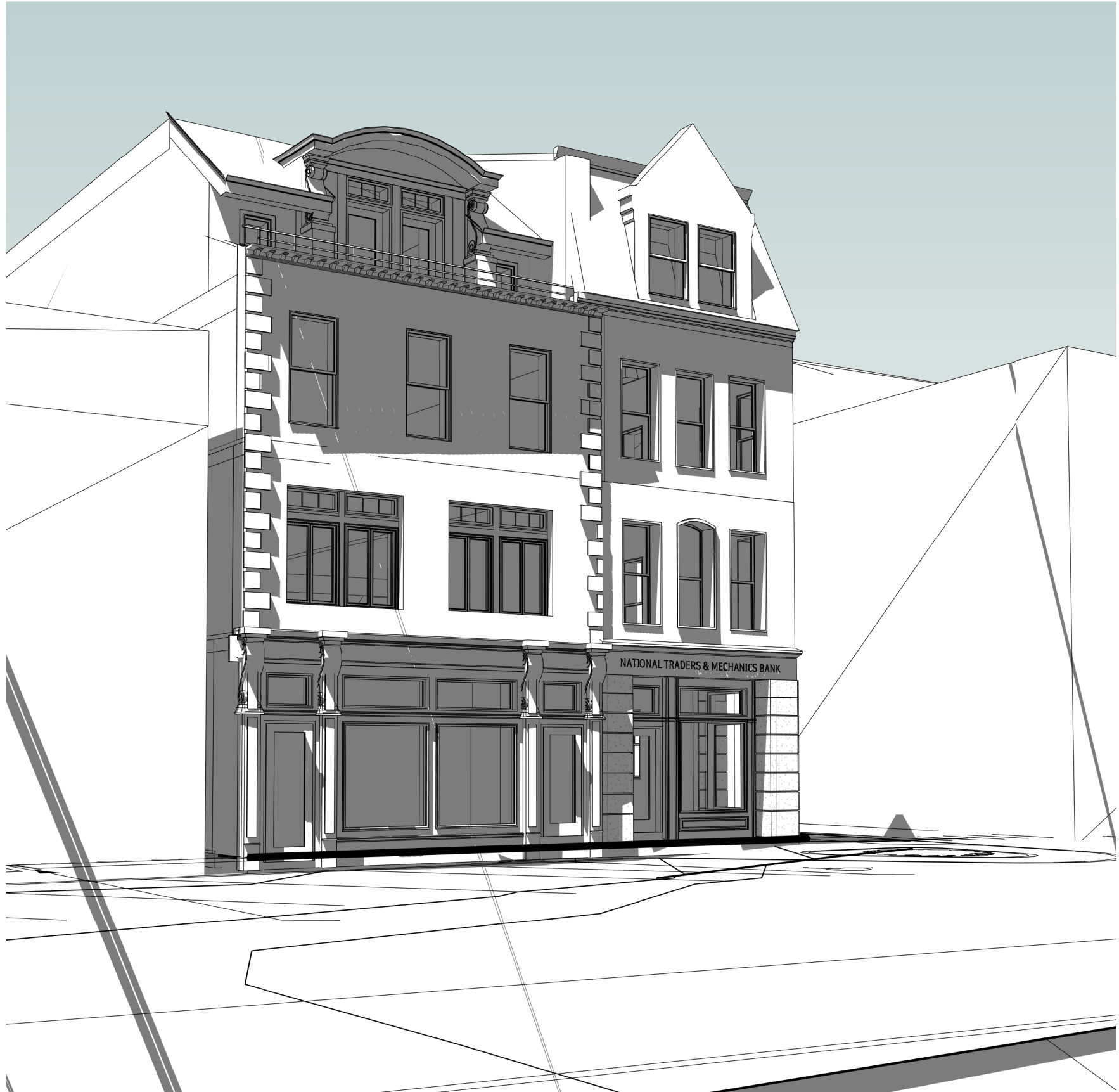
ELEVATIONS

A2





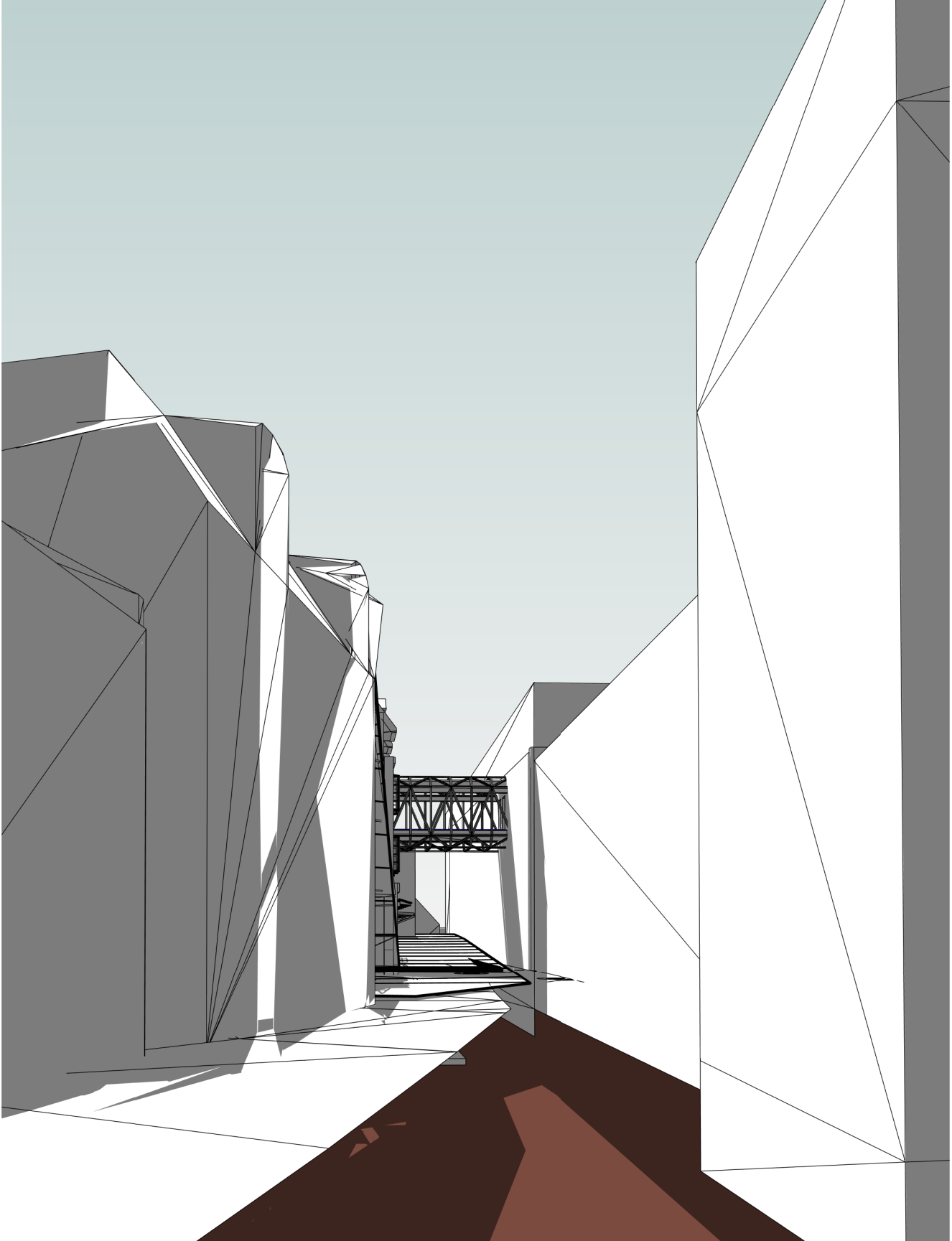
1 AXONOMETRIC FROM NE



6 VIEW FROM CONGRESS STREET



2 HIGH STREET FROM LADD STREET



5 FROM MARKET STREET AT LADD STREET



4 HAVEN COURT FROM LADD STREET



3 HIGH STREET FROM STARBUCKS



3 Congress St, Ste 1
Portsmouth, NH 03801
T 603.731.5187
arcove.com

Ambit Engineering Inc
Civil Engineering
200 Griffin Rd Unit 3
Portsmouth NH 03801
(603) 430-9282
ambitengineering.com

Terra Firma Landscape
Landscape Architecture
163a Court St
Portsmouth NH 03801
(603) 531-9109
terrafirmalandarch.com

1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET
PORTSMOUTH, NH 03801

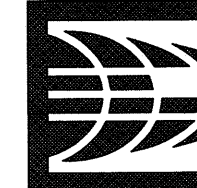
ONE MARKET SQUARE
LLC, OWNER

Scale:
Date: 03/02/2022
Project Number: 1002

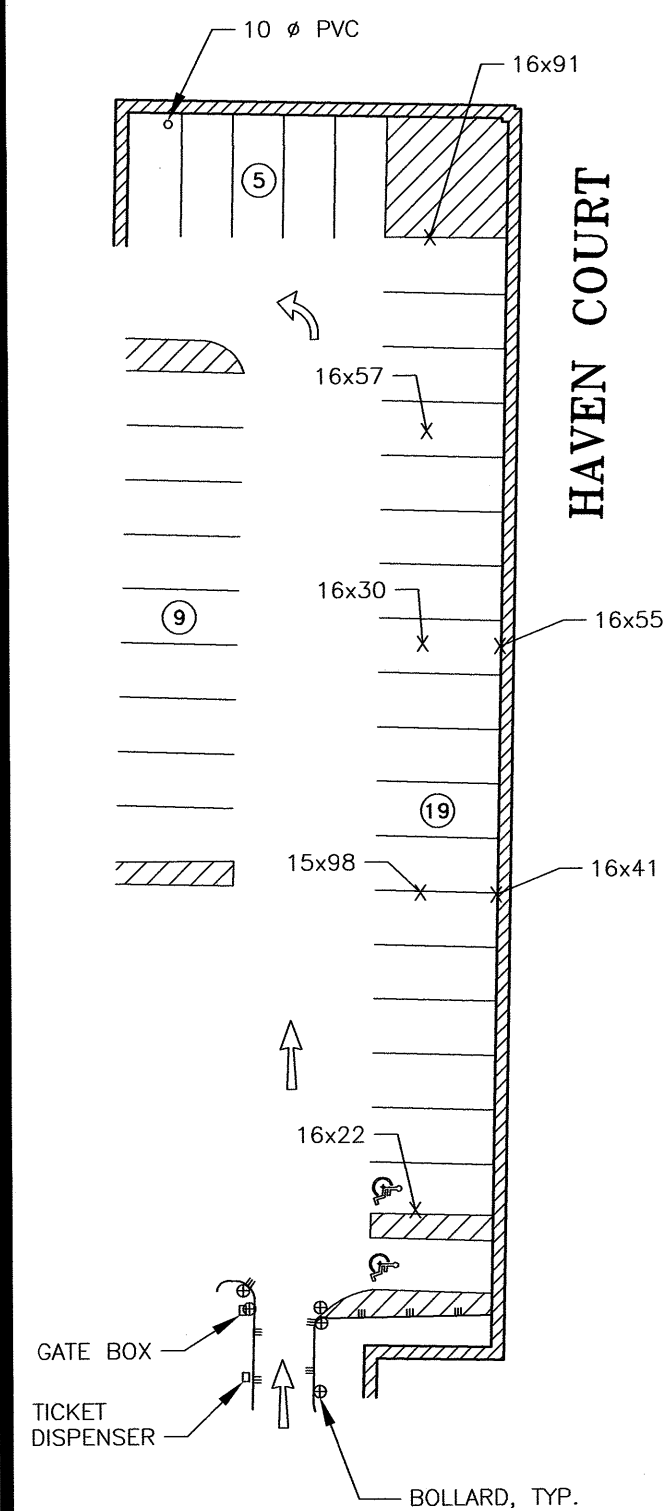
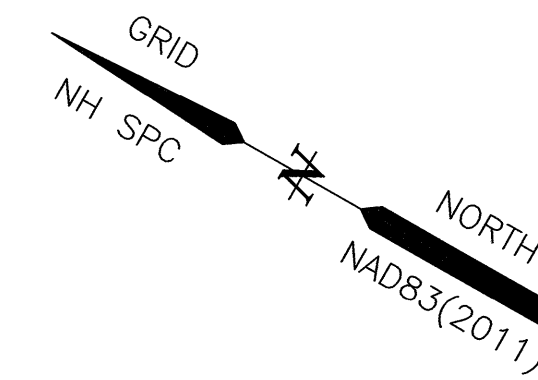
| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |

CONCEPT DESIGN

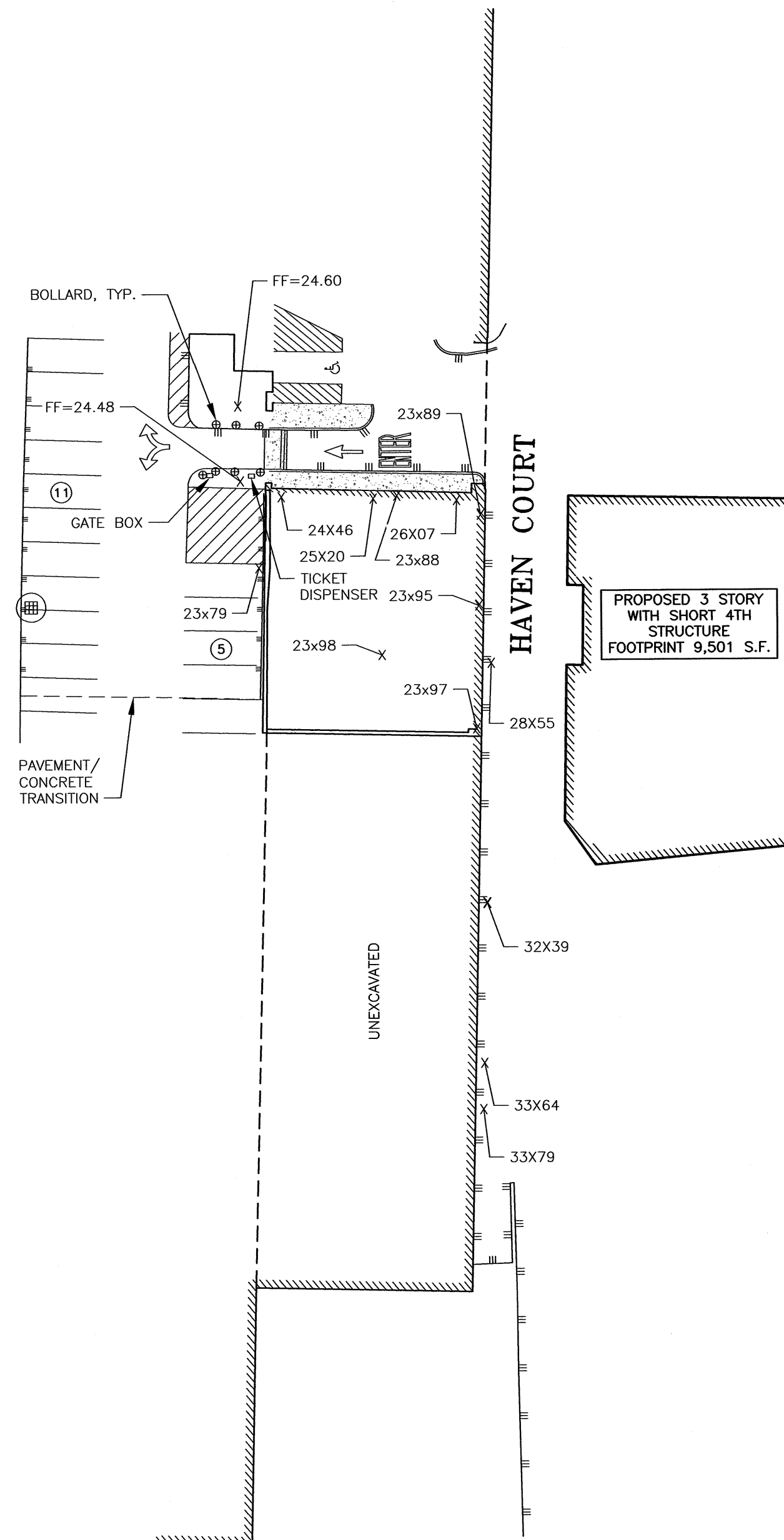
3D VIEWS



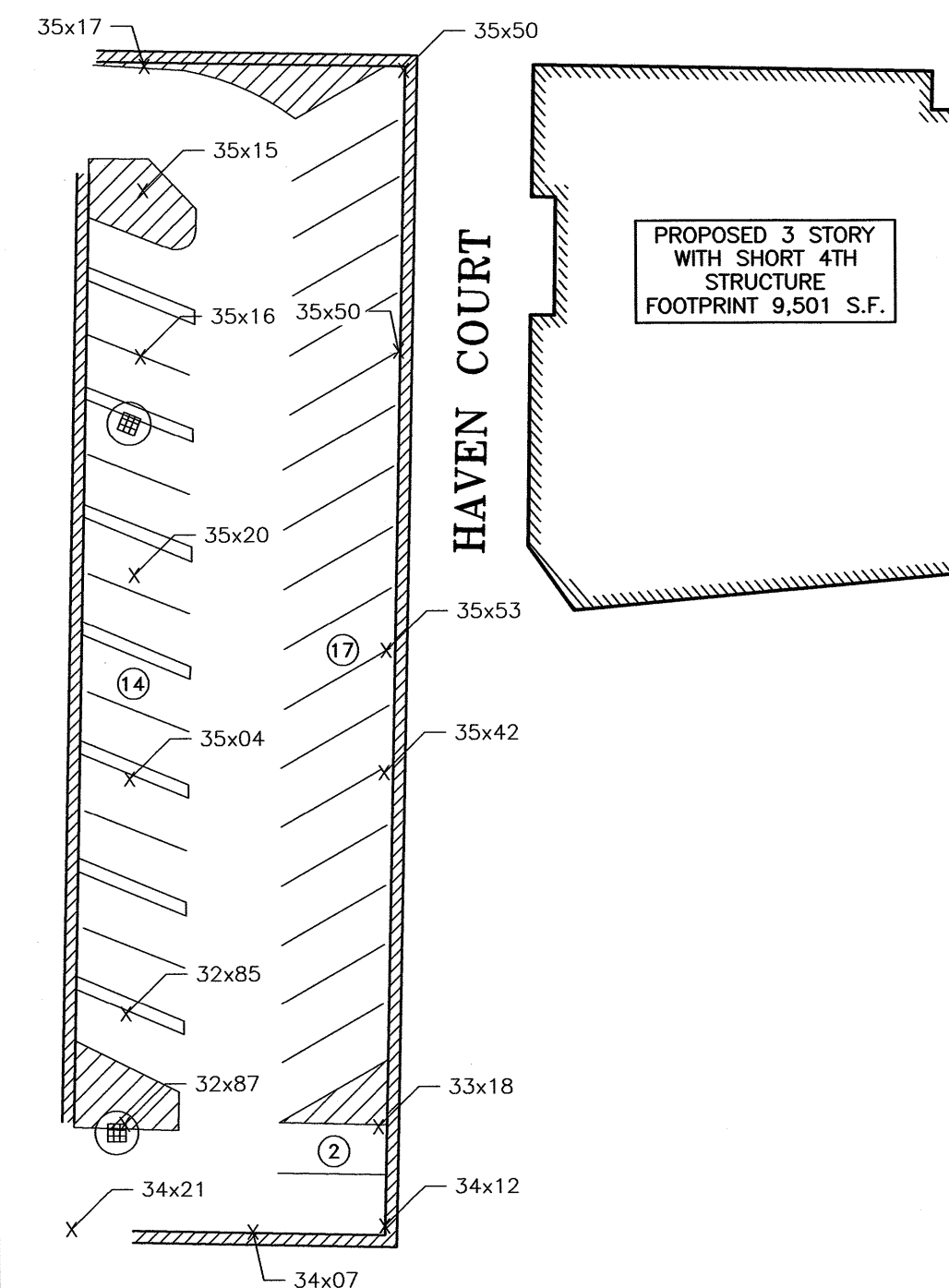
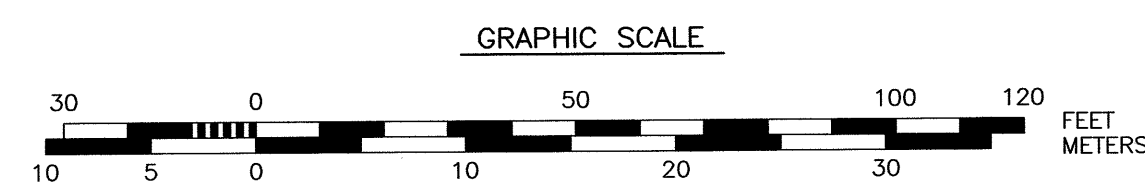
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-8282
Fax (603) 436-2315



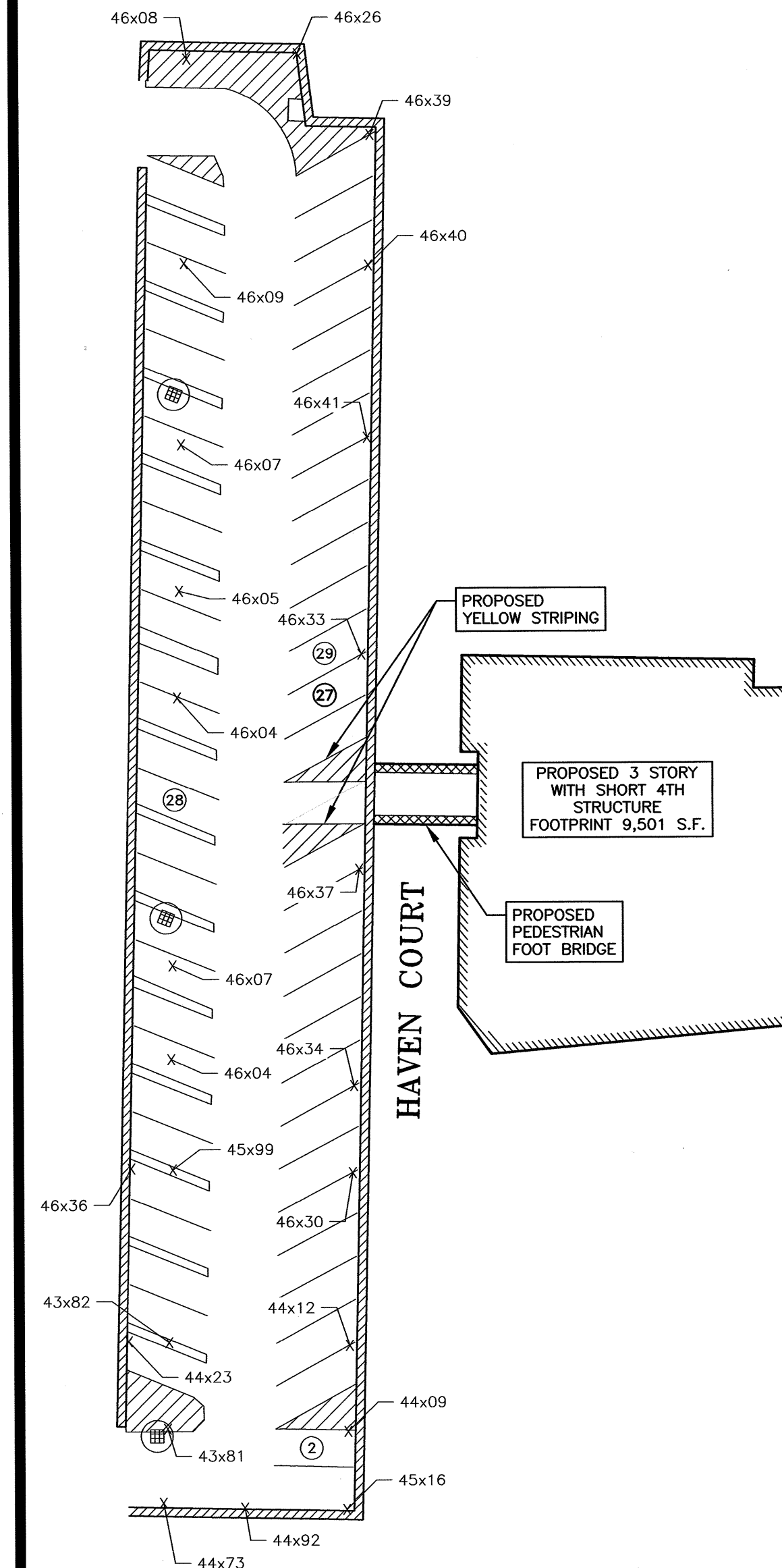
PARKING GARAGE
BASEMENT LEVEL



PARKING GARAGE
FIRST FLOOR



PARKING GARAGE
SECOND FLOOR

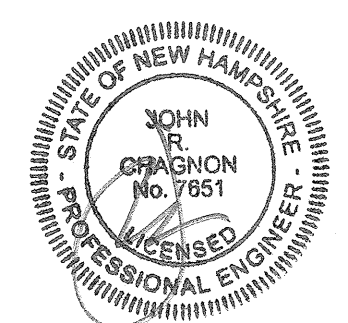


PARKING GARAGE
THIRD FLOOR

COMMERCIAL DEVELOPMENT ONE CONGRESS STREET PORTSMOUTH, N.H.

| NO. | DESCRIPTION | DATE |
|-----|----------------------|--------|
| 1 | ISSUED FOR PB REVIEW | 3/2/22 |
| 0 | ISSUED FOR COMMENT | 2/7/22 |

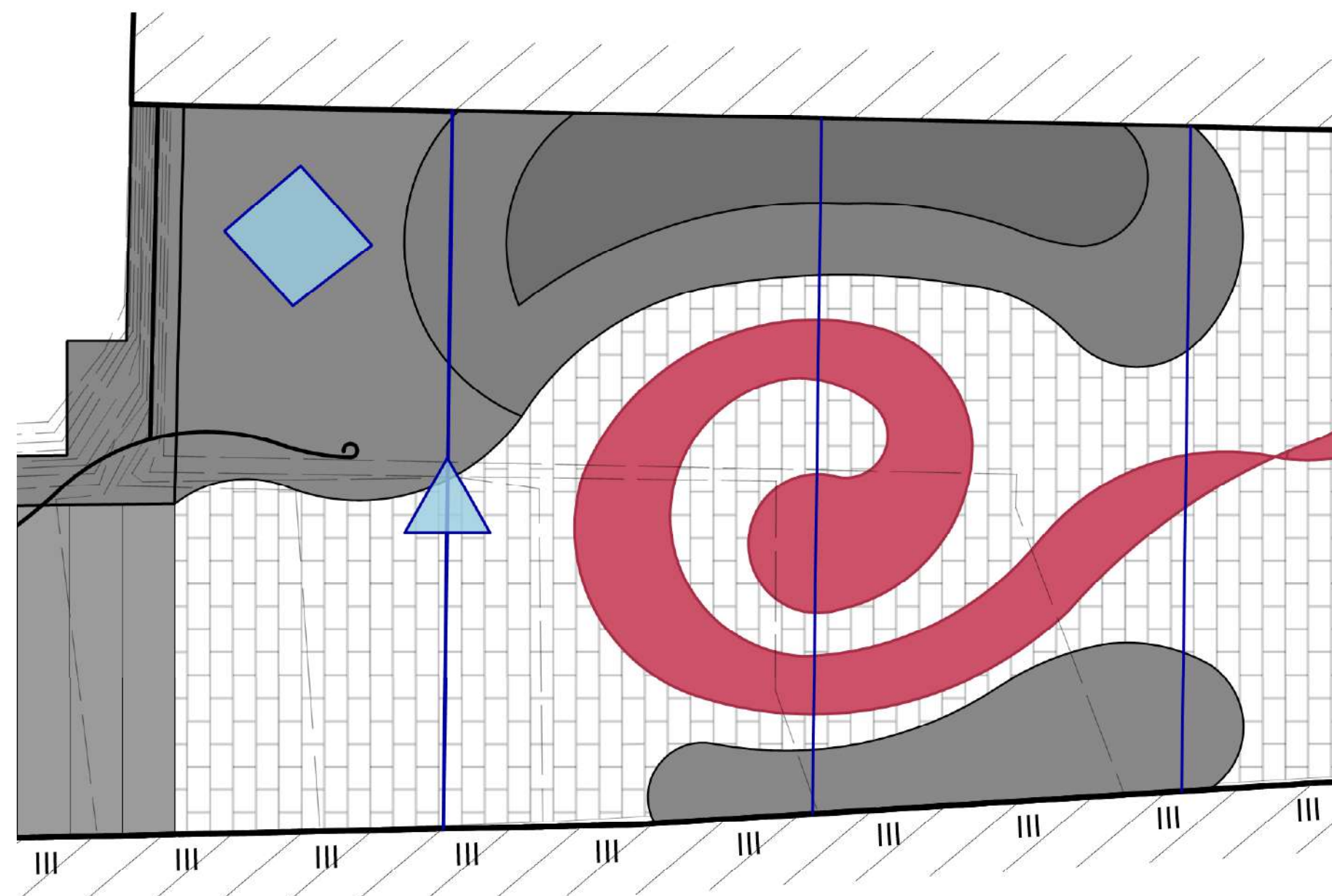
REVISIONS



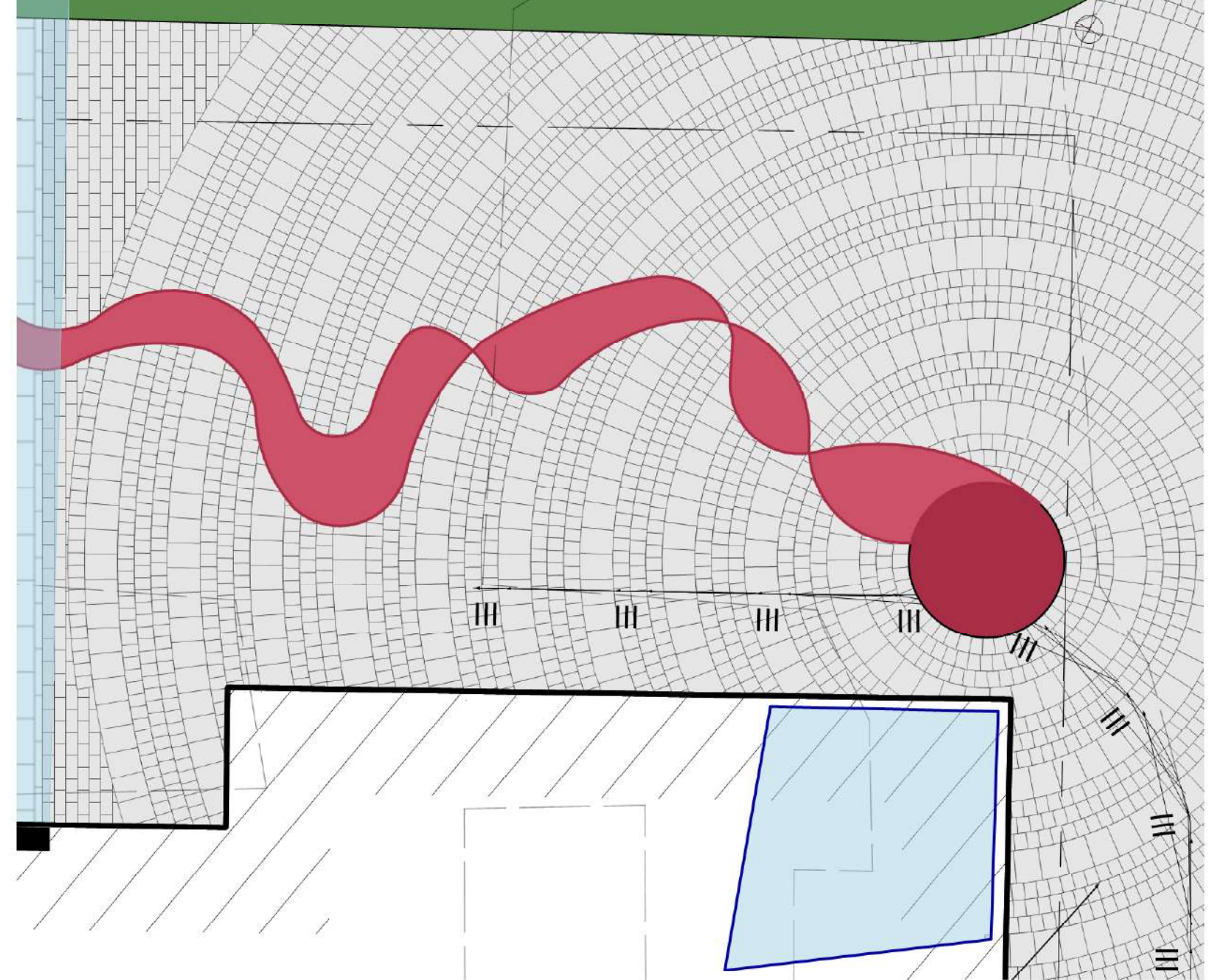
SCALE 1" = 30' NOVEMBER 2021

GARAGE
PLAN

P1



AMPHITHEATER DETAIL WITH SERPENTINE END



SERPENTINE BEGINNING DETAIL



CATENARY LIGHTING



STONE SEATING



STONE SEATING



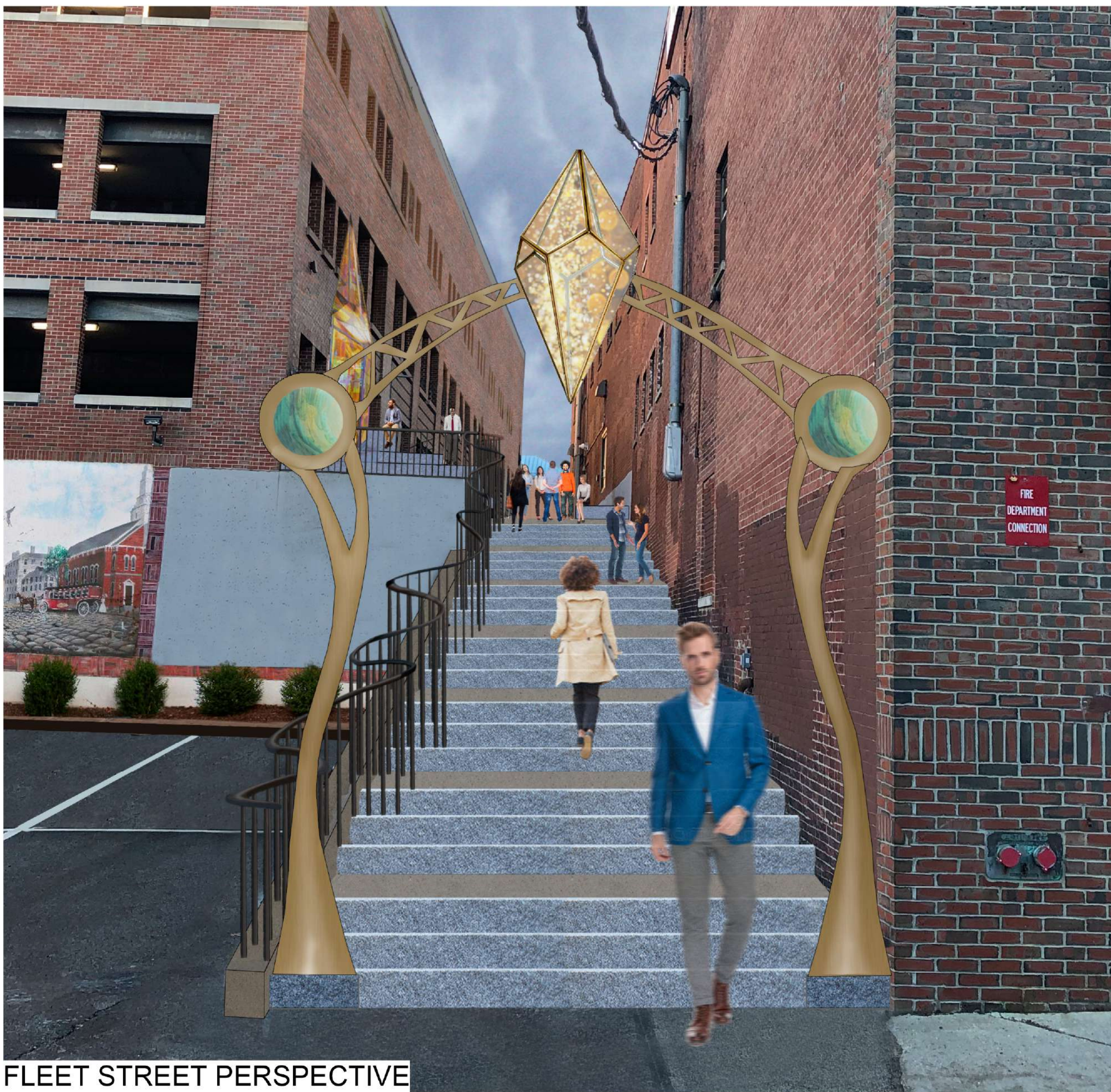
LABYRINTH INSPIRES + INFORMS THE SERPENTINE PAVING



PRISM TOWER



LIGHT FIXTURE



FLEET STREET PERSPECTIVE

LANDSCAPE IDEAS

1 CONGRESS STREET



terra *firma*
landscape architecture
163 a court street - portsmouth, nh 03801
office 603.430.8388 | terrence@terrafirmalandarch.com