



*Transmittal*

Date: \_\_\_\_\_ Job Number: \_\_\_\_\_

Project Name: \_\_\_\_\_

To: \_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

*We are sending these by*

- |              |         |       |
|--------------|---------|-------|
| US Mail      | FedEx   | UPS   |
| Hand Deliver | Courier | Other |

*We are sending you*

- |               |                          |                     |
|---------------|--------------------------|---------------------|
| Attached      | Under separate cover via | the following items |
| Shop drawings | Prints/Plans             | Samples             |
|               | Specifications           | Change Order        |
|               |                          | Other               |

Number	Date	Copy	Description

*These are transmitted as checked below:*

- |                        |                          |                  |
|------------------------|--------------------------|------------------|
| For your use           | Approved as submitted    | Resubmit         |
| As requested           | Approved as noted        | Submit           |
| For review and comment | Returned for corrections | Return           |
| Copies for approval    | Copies for distribution  | Corrected prints |

Copy to: \_\_\_\_\_ Signed: \_\_\_\_\_

Phone: \_\_\_\_\_



# City of Portsmouth, New Hampshire

## Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

**Applicant Responsibilities (Section 2.5.2):** Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Kimley Horn & Associates, Inc. Date Submitted: May 23, 2022

Application # (in City's online permitting): LU-22-35

Site Address: 333 Borthwick Ave., Portsmouth, NH 03801 Map: 240 Lot: 2-1

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Complete <a href="#">application</a> form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	LU-22-35	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)	ATTACHED	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	N/A	
<input checked="" type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	COVER SHEET C0.00 SITE DATA TABLE	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	COVER SHEET C0.00 SITE DATA TABLE	N/A

<b>Site Plan Review Application Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. <b>(2.5.3.1E)</b>	COVER SHEET C0.00	N/A
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. <b>(2.5.3.1F)</b>	Existing Conditions Plan	N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. <b>(2.5.3.1G)</b>	COVER SHEET C0.00	N/A
<input checked="" type="checkbox"/>	List of reference plans. <b>(2.5.3.1H)</b>	COVER SHEET C0.00	N/A
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. <b>(2.5.3.1I)</b>	COVER SHEET C0.00	N/A

<b>Site Plan Specifications</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. <b>(2.5.4.1A)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. <b>(2.5.4.1B)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. <b>(2.5.4.1C)</b>	SHEETS C0.02 (SURVEY BY OTHERS), C1.00 & C4.00, C401 NOTES	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. <b>(2.5.4.1D)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. <b>(2.5.4.1E)</b>	C1.00, C4.00, C401	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. <b>(2.5.4.2A)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. <b>(2.5.4.2B)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. <b>(2.5.4.2C)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. <b>(2.5.4.2D)</b>	Required on all plan sheets	N/A

**Site Plan Specifications – Required Exhibits and Data**

☑	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☑	<b>1. Existing Conditions: (2.5.4.3A)</b> <ul style="list-style-type: none"> <li>• Surveyed plan of site showing existing natural and built features;</li> <li>• Existing building footprints and gross floor area;</li> <li>• Existing parking areas and number of parking spaces provided;</li> <li>• Zoning district boundaries;</li> <li>• Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre;</li> <li>• Existing impervious and disturbed areas;</li> <li>• Limits and type of existing vegetation;</li> <li>• Wetland delineation, wetland function and value assessment (including vernal pools);</li> <li>• SFHA, 100-year flood elevation line and BFE data, as required.</li> </ul>	SITE SURVEY BY OTHERS C1.00 & COVER SHEET (DATA TABLE) C0.00 & C4.01 PARKING TABLE C1.00 EXISTING CONDITIONS PLAN C1.00, C4.00, C4.01, DATA TABLE ON C0.00 IMPERVIOUS AREA ON POND EXHIBIT LOD ON SITE DATA TABLE: C0.00 & C4.01 L1.00, C1.00, C0.02 (SURVEY), C2.00 WETLAND EXHIBIT, C1.00, C4.00, & C4.01 N/A - C1.00 & C4.00	
☑	<b>2. Buildings and Structures: (2.5.4.3B)</b> <ul style="list-style-type: none"> <li>• Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;</li> <li>• Elevations: Height, massing, placement, materials, lighting, façade treatments;</li> <li>• Total Floor Area;</li> <li>• Number of Usable Floors;</li> <li>• Gross floor area by floor and use.</li> </ul>	ARCH. PLANS A1.01B, A1.02A, A2.01, SITE PLAN - C4.01 & GRADING PLAN C5.00 ELEVATIONS & FACADE: A2.01 FLOOR AREA: C0.00 SITE DATA TABLE ARCH. PLANS A1.01B, A1.02A, A2.01 FLOOR AREA: C0.00 SITE DATA TABLE	
☑	<b>3. Access and Circulation: (2.5.4.3C)</b> <ul style="list-style-type: none"> <li>• Location/width of access ways within site;</li> <li>• Location of curbing, right of ways, edge of pavement and sidewalks;</li> <li>• Location, type, size and design of traffic signing (pavement markings);</li> <li>• Names/layout of existing abutting streets;</li> <li>• Driveway curb cuts for abutting prop. and public roads;</li> <li>• If subdivision; Names of all roads, right of way lines and easements noted;</li> <li>• AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).</li> </ul>	SITE LAYOUT C4.01; EXISTING FACILITY	
☑	<b>4. Parking and Loading: (2.5.4.3D)</b> <ul style="list-style-type: none"> <li>• Location of off street parking/loading areas, landscaped areas/buffers;</li> <li>• Parking Calculations (# required and the # provided).</li> </ul>	SITE LAYOUT C4.01 SITE DATA TABLE & PARKING TABLE	
☑	<b>5. Water Infrastructure: (2.5.4.3E)</b> <ul style="list-style-type: none"> <li>• Size, type and location of water mains, shut-offs, hydrants &amp; Engineering data;</li> <li>• Location of wells and monitoring wells (include protective radii).</li> </ul>	SITE UTILITY PLAN C6.00; INTERNALLY FED	
☑	<b>6. Sewer Infrastructure: (2.5.4.3F)</b> <ul style="list-style-type: none"> <li>• Size, type and location of sanitary sewage facilities &amp; Engineering data, including any onsite temporary facilities during construction period.</li> </ul>	SITE UTILITY PLAN C6.00; TIE INTO EXST	


<input checked="" type="checkbox"/>	<b>7. Utilities: (2.5.4.3G)</b> <ul style="list-style-type: none"> <li>The size, type and location of all above &amp; below ground utilities;</li> <li>Size type and location of generator pads, transformers and other fixtures.</li> </ul>	SITE UTILITY PLAN C6.00	
<input checked="" type="checkbox"/>	<b>8. Solid Waste Facilities: (2.5.4.3H)</b> <ul style="list-style-type: none"> <li>The size, type and location of solid waste facilities.</li> </ul>	N/A	
<input checked="" type="checkbox"/>	<b>9. Storm water Management: (2.5.4.3I)</b> <ul style="list-style-type: none"> <li>The location, elevation and layout of all storm-water drainage.</li> <li>The location of onsite snow storage areas and/or proposed off-site snow removal provisions.</li> <li>Location and containment measures for any salt storage facilities</li> <li>Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures.</li> </ul>	GRADING & DRAINAGE SHEET C5.00	
<input checked="" type="checkbox"/>	<b>10. Outdoor Lighting: (2.5.4.3J)</b> <ul style="list-style-type: none"> <li>Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan.</li> </ul>	N/A	
<input checked="" type="checkbox"/>	<b>11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)</b>	N/A	
<input checked="" type="checkbox"/>	<b>12. Landscaping: (2.5.4.3K)</b> <ul style="list-style-type: none"> <li>Identify all undisturbed area, existing vegetation and that which is to be retained;</li> <li>Location of any irrigation system and water source.</li> </ul>	LANDSCAPE PLAN - L100; EXISTING IRRIGATION SYSTEM TO BE EXTENDED	
<input checked="" type="checkbox"/>	<b>13. Contours and Elevation: (2.5.4.3L)</b> <ul style="list-style-type: none"> <li>Existing/Proposed contours (2 foot minimum) and finished grade elevations.</li> </ul>	Grading and Drainage Plan Sheet C500	
<input checked="" type="checkbox"/>	<b>14. Open Space: (2.5.4.3M)</b> <ul style="list-style-type: none"> <li>Type, extent and location of all existing/proposed open space.</li> </ul>	C0.00 & C4.01 & DRAINAGE AREA MAP	
<input checked="" type="checkbox"/>	<b>15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)</b>	C1.00 & C4.00	
<input checked="" type="checkbox"/>	<b>16. Character/Civic District (All following information shall be included): (2.5.4.3P)</b> <ul style="list-style-type: none"> <li>Applicable Building Height (10.5A21.20 &amp; 10.5A43.30);</li> <li>Applicable Special Requirements (10.5A21.30);</li> <li>Proposed building form/type (10.5A43);</li> <li>Proposed community space (10.5A46).</li> </ul>	SITE DATA TABLE C0.00 & C4.01	
<input checked="" type="checkbox"/>	<b>17. Special Flood Hazard Areas (2.5.4.3Q)</b> <ul style="list-style-type: none"> <li>The proposed development is consistent with the need to minimize flood damage;</li> <li>All public utilities and facilities are located and construction to minimize or eliminate flood damage;</li> <li>Adequate drainage is provided so as to reduce exposure to flood hazards.</li> </ul>	GRADING & DRAINAGE C5.00 UTILITY PLAN C6.00	

<b>Other Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. <b>(3.2.1-2)</b>	N/A	
<input checked="" type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. <b>(7.1)</b>	ATTACHED STORMWATER MANAGEMENT PLAN	
<input checked="" type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. <b>(7.3.1)</b>	N/A	
<input checked="" type="checkbox"/>	Stormwater Management and Erosion Control Plan. <b>(7.4)</b>	C3.00, C3.01, C3.02 & STORMWATER MANAGEMENT PLAN	
<input checked="" type="checkbox"/>	Inspection and Maintenance Plan <b>(7.6.5)</b>	ATTACHED	

<b>Final Site Plan Approval Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> <li>• Waivers;</li> <li>• Driveway permits;</li> <li>• Special exceptions;</li> <li>• Variances granted;</li> <li>• Easements;</li> <li>• Licenses.</li> </ul> <b>(2.5.3.2A)</b>	LU-22-35: AWAITING CONDITIONAL APPROVAL LETTER FROM CONSERVATION COMMITTEE FROM 5/11/22 MEETING.  BOA BUILDING SETBACK VARIANCE APPROVAL ATTACHED	
<input checked="" type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> <li>• Calculations relating to stormwater runoff;</li> <li>• Information on composition and quantity of water demand and wastewater generated;</li> <li>• Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls;</li> <li>• Estimates of traffic generation and counts pre- and post-construction;</li> <li>• Estimates of noise generation;</li> <li>• A Stormwater Management and Erosion Control Plan;</li> <li>• Endangered species and archaeological / historical studies;</li> <li>• Wetland and water body (coastal and inland) delineations;</li> <li>• Environmental impact studies.</li> </ul> <b>(2.5.3.2B)</b>	ATTACHED	
<input checked="" type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. <b>(2.5.3.2D)</b>	N/A; EXISTING BUILDING	

**Final Site Plan Approval Required Information**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. <b>(2.5.3.2E)</b>	N/A	
<input checked="" type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." <b>(2.5.4.2E)</b>	SITE LAYOUT C4.01 NOTE #14	N/A
<input checked="" type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. <b>(2.5.4.2F)</b>	N/A	
<input checked="" type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." <b>(2.13.3)</b>	SITE LAYOUT C4.01 NOTE #15	N/A

Applicant's Signature: \_\_\_\_\_  \_\_\_\_\_ Date: 5/24/2022



# CITY OF PORTSMOUTH

Planning Department  
1 Junkins Avenue  
Portsmouth, New  
Hampshire 03801  
(603) 610-7216

## TECHNICAL ADVISORY COMMITTEE

June 13, 2022

HCA Health Services of NH, Inc. dba Portsmouth Regional Hospital  
PO BOX 80610  
Indianapolis, IN 46280

RE: Amended Site Plan Approval for Property for Located at 333 Borthwick Avenue (LU-22-35)

Dear Owner:

The Technical Advisory Committee, at its regularly scheduled meeting of Tuesday, June 7, 2022, considered your application for Amended Site Plan Approval for an 8,700 square foot addition to the existing building with associated landscaping, utilities, sidewalk connectivity, and other related site work. Said property is shown on Assessor Map 240, Lot 2-1 and lies within the Office Research District (OR). As a result of said consideration, the Committee voted to **recommend approval** to the Planning Board with the following stipulations:

Items to be addressed prior to Planning Board approval:

- 1) A trip generation memo will be submitted to DPW for review and approval.
- 2) Fire department connection line will be labeled as such.
- 3) New sewer manhole will be a cut in manhole.
- 4) Borthwick Ave handicap access ramp flooding will be addressed and approved by DPW.

Conditions Subsequent:

- 5) The wetland area adjacent to the emergency area will be dredged from Borthwick to the oxygen tank area to restore free flowing drainage. This will be done in conjunction with an associated wetland enhancement along the edges of this same area.
- 6) Prior to release of bond, Applicant will work with DPW to determine fair share contribution amount that will be dedicated to City sediment mitigation project that is proposed for the area from the oxygen tanks to the Route 1 bypass area.

This matter will be placed on the agenda for the Planning Board meeting scheduled for **Thursday, July 21, 2022**. One (1) hard copy of all plans and supporting reports and exhibits as well as an updated electronic file (in a PDF format) must be filed in the Planning Department and uploaded to the online permit system no later than **Wednesday, June 29, 2022**.

*Per Section 2.5 of the Site Plan Regulations, a site plan review application to the Planning Board must include all applicable information and supporting materials including but not*



*limited to the following items:*

- *Full updated plan set*
- *Draft Easements*
- *Drainage Analysis*
- *Traffic Studies*
- *Etc.*

***All comments, corrections, and conditions identified as “Items to be addressed before Planning Board submittal” must be resolved/corrected for the Planning Board application submittal to be deemed complete.***

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,



Beverly Mesa-Zendt,  
Planning Director

cc:

Matthew Hamby, Project Manager, Kimley-Horn  
Matthew Larkin, COO, Portsmouth Regional Hospital  
Chris Dumont, Gould Turner Group

June 29, 2022

City of Portsmouth Planning Department  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

**RE: *Amended Site Plan Approval for Property Located at 333 Borthwick Avenue (LU-22-35)***

Dear Beverly Mesa-Zendt:

Kimley-Horn and Associates, Inc. (Kimley-Horn) is in receipt of the review comments for Portsmouth Regional Hospital located at 333 Borthwick Avenue – Application Number LU-22-35 – dated June 13, 2022. The City of Portsmouth Technical Advisory Committee conditions of approval are shown below, followed by our responses.

**ITEMS TO BE ADDRESSED PRIOR TO PLANNING BOARD APPROVAL:**

- 1.) A trip generation memo will be submitted to DPW for review and approval

***Attached.***

- 2.) Fire department connection line will be labeled as such.

***Revised. Please refer to site utility plan, C6.00.***

- 3.) New sewer manhole will be a cut in manhole.

***Revised. Please refer to site utility plan, C6.00 and updated detail #7 on C7.01.***

- 4.) Borthwick Ave handicap access ramp flooding will be addressed and approved by DPW.

***Existing curb ramp to be cleaned and maintained by hospital.***

**CONDITIONS SUBSEQUENT:**

5. The wetland area adjacent to the emergency area will be dredged from Borthwick to the oxygen tank area to restore free flowing drainage. This will be done in conjunction with an associated wetland enhancement along the edges of this same area.

***Gove Environmental is studying the original design drawings of the stormwater swale/wetlands and what the process will be for getting approval to dredge and restore to original functioning condition.***

6. Prior to release of bond, Applicant will work with DPW to determine fair share contribution amount that will be dedicated to City sediment mitigation project that is proposed for the area from the oxygen tanks to the Route 1 bypass area.

***Acknowledged.***

This matter will be placed on the agenda for the Planning Board meeting scheduled for **Thursday, July 21, 2022**. One (1) hard copy of all plans and supporting reports and exhibits as well as an updated electronic file (in a PDF format) must be filed in the Planning Department and uploaded to the online permit system no later than **Wednesday, June 29, 2022**.

***Acknowledged.***

Per Section 2.5 of the Site Plan Regulations, a site plan review application to the Planning Board must include all applicable information and supporting materials including but not limited to the following items:

- Full updated plan set
- Draft Easements
- Drainage Analysis
- Traffic Studies
- Etc.

***Required documents attached.***

I hope that the above responses are sufficient for you to complete the review of our application. Should you have any further questions, please feel free to contact me at (615) 645-4070. We greatly appreciate your assistance with this project.

Thank you,

Matthew Hamby  
Project Manager



February 22, 2022  
*Updated May 5, 2022*

City of Portsmouth

**RE: *Portsmouth Regional Hospital – Radiation Oncology Project Narrative***

The existing Portsmouth Regional Hospital is located at 333 Borthwick Ave, Portsmouth, NH 03801 (Map 240, Lot 2-1). The medical campus is located on the east side of Blue Star Turnpike (I-95), the west side of Borthwick Avenue, and can be accessed via multiple entrances from Borthwick Avenue. The scope of the proposed Radiation Oncology project consists of internal renovations, and a 1-story building addition located on the southeast corner of the existing hospital building.

The proposed footprint of the building addition is approximately ±8,700 square feet. The proposed sitework is anticipated to consist of asphalt, concrete, utility, landscape, and drive-under canopy demolition where the current patient discharge canopy and associated drive are located as well as removal of existing sidewalk and landscaping located along the south side of the existing hospital building. Site improvements are anticipated to consist of the new building addition, new drive-under canopy and associated drive, sidewalk connectivity, new granite curb, new mobile imaging pad, and associated new utilities/ utility relocations.

A portion of the project scope is located adjacent to and partially within a previously man-made stormwater management area which is now delineated as a city jurisdictional inland wetland and has an associated 100-ft wetland buffer, in which a portion of the site improvements will occur. A small amount of disturbance to the actual wetland is being proposed. Refer to the attached wetland exhibit. Please note, the overall wetland data has been calculated with older drawings by others. Only the wetland adjacent to this project was delineated and flagged by Gove Environmental Services, Inc., and surveyed by James Verra and Associates, Inc. Refer to attached letter and site survey.

**Wetlands and 100-foot buffer, Overall Site**

- Subject Parcel: Map 240, Lot2-1 (±20.87 ac)
- Total wetland area onsite: approximately ±2.7 acres
- Total area of 100-foot wetland buffer onsite: approximately ±8.4 acres

**Wetland and 100-foot buffer, Proposed Impact**

- Area of inland wetland to be disturbed:
  - Permanent (due to proposed building location): ±200 square feet (sf)
  - Temporary (due to construction of proposed building and utility relocations, but will be planted back as wetlands): ±4,400 square feet (sf)
  - Total disturbance: ±4,600 square feet (sf)
- Area of 100-ft wetland buffer to be disturbed:
  - Permanent: ±13,200 sf
  - Temporary: ±4,300 sf

**Stormwater drainage summary:**

The drainage area to the existing man-made stormwater management area/ inland wetland that is located within the proposed project area (**Pond 1**) was analyzed utilizing provided site surveys as well as previous design drawings for the medical campus. It appears a portion of the southeastern parking lot drains to another existing man-made stormwater management area/ inland wetland that is located along the north side of Borthwick Avenue (**Pond 2**). Pond 2 drains to Pond 1 via a 21” RCP pipe. The drainage area to the Pond 2 remains the same as the current existing condition.

The drainage area to the Pond 1 also remains relatively the same as existing conditions as a portion of the existing hospital building roof will continue to drain to Pond 1, new roof for the proposed building addition is located where existing sidewalks and drives are currently located, and some existing pavement is being removed to allow Pond 1 to expand to provide additional pond volume to attempt to offset any pond volume lost due to the proposed project. The existing 24” RCP pipe outfall from Pond 1 remains in place. Refer to the attached drainage area exhibit.

Existing pond volume: ±54,190 cubic feet (cf)

Proposed pond volume: ±56,265 cubic feet (cf)

A HydroCAD stormwater model was utilized to analyze both the pre-developed and post-developed conditions, and the following results were generated for Type III, 24-hour storm events:



Total drainage area to Pond 1: +/-4.2 acres

	CN	2-yr (cfs)	10-yr (cfs)	25-yr (cfs)	50-yr (cfs)	100-yr (cfs)
Pre-developed:	92	9.1	14.2	17.7	19.9	21.9
Post-Developed:	92	8.8	13.6	17.1	19.3	21.5

Per the table above, the stormwater discharge for the post-developed conditions from the revised Pond 1 are slightly less than the pre-developed conditions.

Please refer to the photos below, and attached supporting documentation. If you have any questions or need more information, please feel free to reach me by email ([chris.akers@kimley-horn.com](mailto:chris.akers@kimley-horn.com)) or by phone at 615-476-4764.

Sincerely,  
Chris Akers, Project Manager

Photographs	Observations
	<p>Southern portion of hospital campus with subject wetland (image taken from internal front drive).</p>
Photographs	Observations
	<p>East elevation of hospital building where Radiation Oncology addition is proposed (image taken from internal front drive).</p> <p>Construction activity from current ICU Med/ Surg Stepdown project.</p>



Southern portion of hospital campus with subject wetland (image taken from internal ambulance/ ED drive).

**Photographs**

**Observations**



Existing brick canopy at Patient Discharge to be removed.

Construction activity from current ICU Med/ Surg Stepdown project.



Brick emergency generator enclosure to remain.



# TRIP GENERATION MEMO



## Portsmouth Regional Hospital - Radiation Oncology Addition

ITE Code	Land Use	Setting/Location	Density	Daily	AM Peak Hour			PM Peak Hour			
					Total	Enter	Exit	Total	Enter	Exit	
610	Hospital (Average Rate)	General Urban/Suburban	8,700	s.f.	93	7	5	2	9	3	6
GROSS TRIPS					93	7	5	2	9	3	6

The above trip generation was determined using the ITE Trip Generation Manual - 10th Edition. The land use is considered a Hospital. The setting of the project is considered to be general urban / suburban. The added square footage of the hospital is 8,700 square feet. Based on these parameters, the daily trips generated based on this addition is 93 trips. The morning peak is 7 additional trips; the afternoon peak is 9 additional trips. This information is summarized in the table above.

# Details

<b>Property</b>	
Location	333 BORTHWICK AVE
Map-Lot	0240-0002-0001
Vision Account Number	35555

<b>Ownership</b>	
Owner	HCA HEALTH SVC OF NH INC D/B/A PRH 32902 C/O DUCCHARME MCMILLEN & ASSOC
Address	PO BOX 80610, INDIANAPOLIS, IN 46280

<b>Valuation</b>	
Total	\$86,709,000
Last Sale	\$0 on
Book/Page	2784/1340

<b>Land</b>	
Parcel Area (AC)	20.87

<b>Zoning</b>	
Zoning	OR

The map shows a property parcel outlined in blue, situated near Borthwick Ave and the Blue Star Turnpike. A search panel on the right displays the address 333 BORTHWICK AVE and the owner HCA HEALTH SVC OF NH INC D/B/A PRH 32902 C/O DUCCHARME MCMILLEN & ASSOC. The map also shows a Hospital Helipad and other nearby streets like Eileen Dondero Foley Ave.



February 21, 2022

Kimley-Horn and Associates, Inc.  
10 Lea Avenue, Suite 400  
Nashville, TN 37210

404 Wyman Street, Suite 385  
Waltham, MA 02451

**RE: Agent Authorization**

To Whom It May Concern:

Be advised that I am the Chief Executive Officer of the Portsmouth Regional Hospital located at 333 Borthwick Ave, Portsmouth, NH 03801. I am an authorized agent to the owners of HCA Health Services of New Hampshire, Inc. dba Portsmouth Regional Hospital. As the authorized agent, I hereby authorize and empower:

Kimley-Horn and Associates, Inc. to act as agent/ representative to communicate and submit required information as necessary in obtaining site-related approvals and permits for the proposed Radiation Oncology Addition project located at 333 Borthwick Ave, Portsmouth, NH 03801.

A handwritten signature in blue ink, appearing to read "D. M. Carucci", written over a horizontal line.

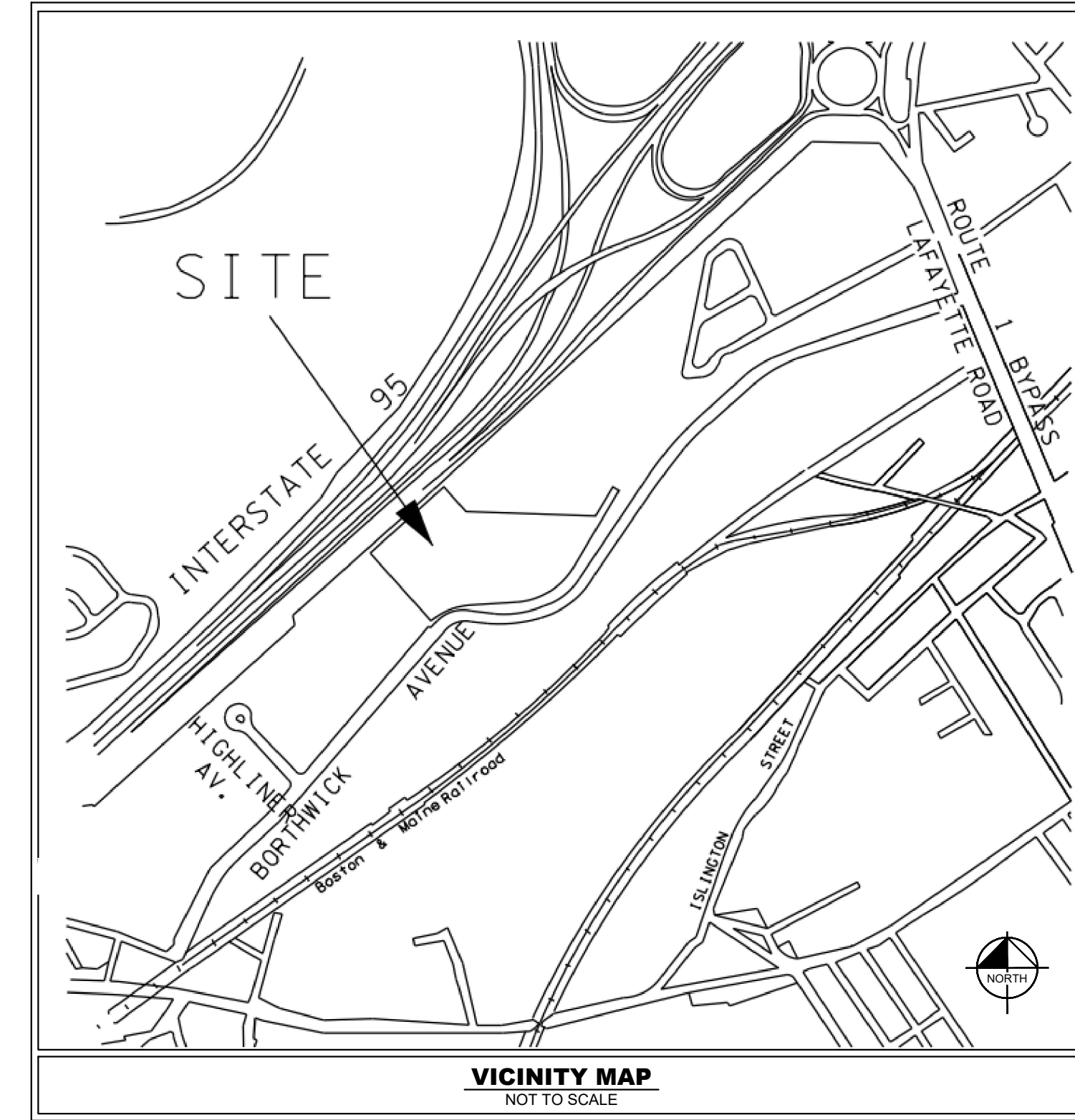
Owner's Signature  
Dean M. Carucci, CEO

# SITE CIVIL PLANS FOR PORTSMOUTH REGIONAL HOSPITAL RADIATION ONCOLOGY ADDITION

333 BORTHWICK AVENUE, PORTSMOUTH, NH 03801

TECHNICAL ADVISORY COMMITTEE: MAY 23, 2022  
PLANNING BOARD: JUNE 29, 2022

SITE DATA TABLE		
OWNER OF RECORD	HCA HEALTH SERVICES OF NH INC D/B/A PRH 32902	
SITE ADDRESS	333 BORTHWICK AVE. PORTSMOUTH, NH 03801	
SITE AREA	± 20.87 AC	
DISTURBANCE LIMITS W/ THIS PROJECT	± 0.7 AC	
TAX MAP & LOT ZONING	TAX MAP 240, LOT 2-1 OR - OFFICE RESEARCH	
SETBACKS	REQUIRED	PROPOSED
FRONT YARD SETBACK	50'-0"	±40'
REAR YARD SETBACK	50'-0"	±157'
SIDE YARD SETBACK	75'-0"	±71' * (EXISTING)
MIN. OPEN SPACE ON A LOT	30%	±39.0%
MAX BUILDING COVERAGE	30%	± 20.1%
BUILDING DATA		
	EXISTING	PROPOSED ADDITION
HOSPITAL BEDS	233	0
HOSPITAL/ MOB FLOOR PLATE	±173,916 SF	± 8,700 SF
HOSPITAL GROSS AREA	±427,495 SF	± 8,870 SF
MEDICAL OFFICE BUILDING GROSS AREA (ATTACHED TO HOSPITAL BUILDING)	±46,665 SF	0 SF
BUILDING HEIGHT	± 65'-4"	± 14'-8"



Sheet List Table	
SHEET NUMBER	SHEET TITLE
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C0.02	SURVEY BY OTHERS
C1.00	EXISTING CONDITIONS - OVERALL
C2.00	SITE DEMOLITION PLAN
C3.00	EROSION CONTROL PLAN - PHASE 1
C3.01	EROSION CONTROL PLAN - PHASE 2
C3.02	EROSION CONTROL DETAILS
C4.00	SITE LAYOUT - OVERALL
C4.01	SITE LAYOUT - ENLARGEMENT
C5.00	GRADING & DRAINAGE PLAN
C6.00	SITE UTILITY PLAN
C7.00	SITE DETAILS
C7.01	SITE DETAILS
L1.00	LANDSCAPE PLAN

PARKING SUMMARY				
	EXISTING	DEMOLISHED	PROPOSED	NET RESULT
ONSITE STANDARD SPACES	754	11	2	745
ONSITE ACCESSIBLE (INCLUDING VAN ACCESSIBLE)	29	4	6	31
OFFSITE STANDARD SPACES*	0	0	490	490
OFFSITE ACCESSIBLE (INCLUDING VAN ACCESSIBLE)*	0	0	11	11
TOTAL				1277

\*PER SATELLITE PARKING LOT DRAWINGS PREPARED BY TIGHE & BOND

REFERENCE PLANS
1. "LOT LINE REVISION PLAN FOR PORTSMOUTH HOSPITAL OFFICE BUILDING ASSOCIATION, ISLINGTON WOOD, LLC AND HCA REALTY, INC. (TAX MAP 234, LOTS 7-4A & 7-4B) (TAX MAP 240, LOT 2-2) BORTHWICK AVENUE EXTENSION PORTSMOUTH, NEW HAMPSHIRE" DATED JAN 13, 2006 PREPARED BY DOUCET SURVEY, INC., R.C.R.D. PLAN #0-33642
2. "TOPOGRAPHIC PLAN" AT PORTSMOUTH REGIONAL HOSPITAL FOR HCA HEALTH SERVICES OF NH, INC. DATED OCTOBER 10, 2007 BY DOUCET SURVEY.
3. "SIDEWALK SITE PLAN" FOR PORTSMOUTH REGIONAL HOSPITAL FOR HCA HEALTH SERVICES OF NH, INC. DATED OCTOBER 22, 2003 BY MILLETTE, SPRAGUE & COLWELL.
4. "SITE PLAN" FOR PORTSMOUTH REGIONAL HOSPITAL FOR HCA HEALTH SERVICES OF NH, INC. DATED AUGUST 19, 2002 BY MILLETTE, SPRAGUE & COLWELL. SHEET 2 OF 3.
5. JURISDICTIONAL WETLANDS WERE DELINEATED BY NHSC, INC. ON SEPTEMBER 25, 2007 IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, AS REQUIRED BY THE NH DES WETLANDS BUREAU.
6. "TOPOGRAPHIC WORKSHEET" OF THE POWERLINES BY ISLINGTON & BORTHWICK AVE. * PREPARED BY EASTERN TOPOGRAPHIC FOR DOUCET SURVEY, DATED SEPT 25, 2007.
7. "PORTSMOUTH REGIONAL HOSPITAL PHASE 1 ADDITIONS AND RENOVATIONS" BY APPLDORE ENGINEERING, INC., DATED APRIL 1, 2008.
8. JURISDICTIONAL WETLANDS DELINEATION BY GOVE ENVIRONMENTAL SERVICES, INC. DATED OCTOBER 2019.
9. TOPOGRAPHIC SURVEY BY JAMES VERRA & ASSOCIATES, INC. DATED 10/2019.
10. SHEETS C-2 AND C-2A OF "PORTSMOUTH HOSPITAL EXPANSION" BY APPLDORE ENGINEERING, DATED 8/4/11. *REVISED TO ADD REAR PARKING*

### PROJECT DESIGN TEAM

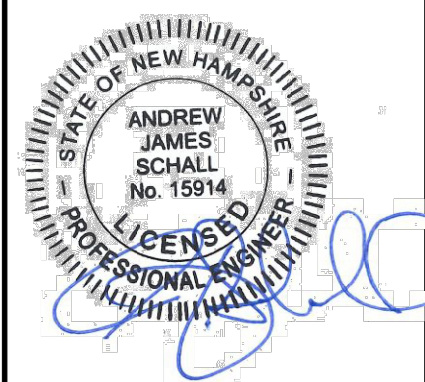
- |   |  |   |
|---|--|---|
| <p><b>ARCHITECT</b><br/>GOULD TURNER GROUP, P.C.<br/>615 3RD AVENUE SOUTH, SUITE 700<br/>NASHVILLE, TN 37210<br/>PHONE: (615) 254-1500<br/>CONTACT: CHRIS DUMONT, AIA</p> | <p><b>CIVIL ENGINEER</b><br/>KIMLEY-HORN AND ASSOCIATES, INC.<br/>404 WYMAN STREET, SUITE 385<br/>WALTHAM, MA 02451<br/>PHONE: (781) 328-0676<br/>CONTACT: MATTHEW HAMBY</p> | <p><b>M,P,E &amp; T CONSULTANTS</b><br/>I.C. THOMASSON ASSOCIATES, INC.<br/>2950 KRAFT DRIVE, SUITE 500<br/>NASHVILLE, TN 37204<br/>PHONE: (615) 346-3400<br/>CONTACT: BOYD JOHNSON</p>               |
| <p><b>SURVEY</b><br/>JAMES VERRA &amp; ASSOCIATES, INC.<br/>101 SHATTUCK WAY, SUITE 8<br/>NEWINGTON, NH 03801<br/>PHONE: (603) 436-3557<br/>CONTACT: JIM VERRA, LLS</p>   | <p><b>ENVIRONMENTAL</b><br/>GOVE ENVIRONMENTAL SERVICES, INC<br/>8 CONTINENTAL DR, UNIT H<br/>EXETER, NH 03833<br/>PHONE: (603) 778-0654<br/>CONTACT: BRENDEN WALDEN</p>     | <p><b>STRUCTURAL ENGINEER</b><br/>STANLEY D. LINDSEY &amp; ASSOCIATES, LTD.<br/>750 OLD HICKORY BLVD, BLD 1, SUITE 175<br/>BRENTWOOD, TN 37027<br/>PHONE: (615) 320-1735<br/>CONTACT: MARK HILNER</p> |

### UTILITY CONTACTS

- |   |   |  |   |
|---|---|--|---|
| <p><b>WATER/ SANITARY SEWER</b><br/>PORTSMOUTH DEPT OF PUBLIC WORKS<br/>MIKE JENKINS<br/>680 PEVERLY HILL ROAD<br/>PORTSMOUTH, NH 03801<br/>PHONE: (603) 427-1530</p> | <p><b>NATURAL GAS</b><br/>NORTHERN UTILITIES, INC.<br/>JEFF INGLISH<br/>325 WEST ROAD<br/>PORTSMOUTH, NH 03801<br/>PHONE (603) 436-0310</p> | <p><b>TELEPHONE/ CABLE</b><br/>CONSOLIDATED COMMUNICATIONS<br/>1575 GREENLOAD ROAD<br/>GREENLAND, NH 03840<br/>PHONE: (800) 240-5019</p> | <p><b>ELECTRIC</b><br/>PUBLIC SERVICES OF NH/ EVERSOURCE<br/>WAYNE BROOKS<br/>1700 LAFAYETTE ROAD<br/>PORTSMOUTH, NH 03801<br/>PHONE:(800) 662-7764</p> |
|---|---|--|---|

**Kimley»Horn**  
404 WYMAN STREET, SUITE 385 WALTHAM, MA 02451  
MAIN/781.328.0676 | WWW.KIMLEY-HORN.COM  
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PORTSMOUTH REGIONAL HOSPITAL  
RADIATION ONCOLOGY ADDITION  
PORTSMOUTH, NEW HAMPSHIRE



NO.	DATE	BY	REVISIONS																	
			1	2	3	4	5	6	7	8	9	10								

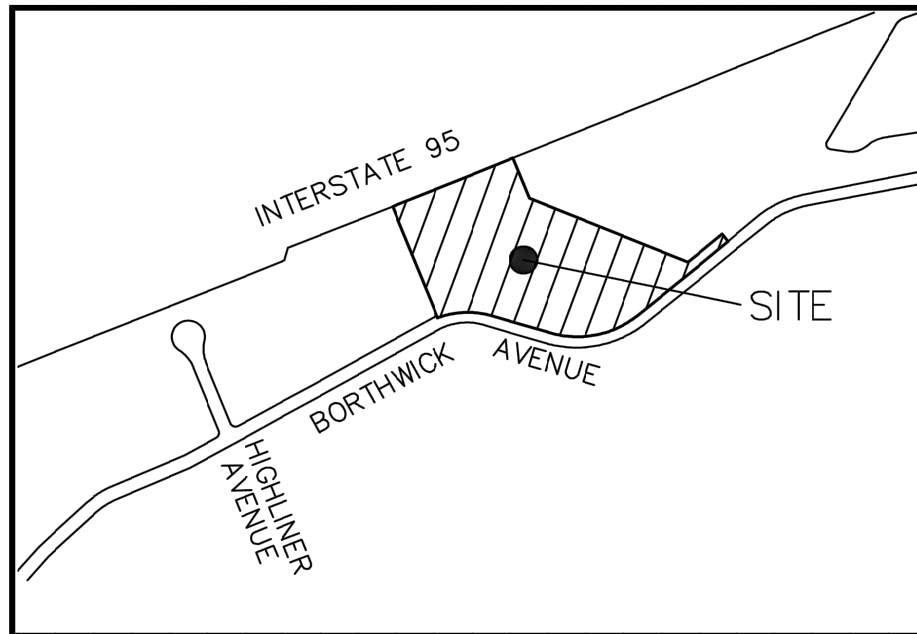
DESIGNED BY: ZCN  
DRAWN BY: ZCN  
CHECKED BY: MEH  
DATE: 06/28/2022  
KIMLEY-HORN PROJECT NO. 118252004

**COVER SHEET**

**C0.00**







**LOCUS**  
(N.T.S.)

INTERSTATE 95  
N 48°03'04" E  
684.16

AS-BUILT LOCATION OF 10' WIDE GAS MAIN EASEMENT PER RCRD PLAN #D-15830

**RIM AND INVERT DATA**

CB DPW#5741 RIM = 26.58  
WATER LEVEL=23.57  
CB DPW#5740 RIM = 25.42  
(1) INV (15"HDPE)=21.86  
(2) INV (15"RCP)=INACCESS.  
CB DPW#3189 RIM = 25.66  
INACCESSIBLE(FILLED)  
CONTECH DMH #4 RIM = 25.77  
(1) Inv (15"HDPE)=INACCESS.  
(2) Inv (15"HDPE)=INACCESS.  
SMH "A" RIM = 26.03  
(1) INV (8"PVC)=19.95  
(2) INV (8"PVC)=19.33  
SMH DPW#519 RIM = 26.35  
(1) INV (8"PVC)=19.31  
CL (18"ACP)=17.25  
SMH DPW#5481 RIM = 27.27  
(1) INV (8"PVC)=18.07  
(2) INV (10"PVC)=17.64  
(3) INV (10"PVC)=17.59  
SMH DPW#5482 RIM = 27.65  
(1) INV (8"PVC)=19.04  
(2) INV (8"PVC)=23.50  
(3) INV (8"PVC)=19.06  
SMH DPW#5483 RIM = 27.50  
(1) INV (8"PVC)=18.44  
(2) INV (8"PVC)=18.44

**BOUNDARY CURVE TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	294.05	464.64	36°15'38"	S 68°03'15" W	289.17

**BOUNDARY LINE TABLE**

LINE	BEARING	DISTANCE
L3	N 41°56'56" W	10.00
L15	N 87°57'24" W	895.13
L16	N 41°56'56" W	229.05

**DRAINAGE INVERT ELEVATION TABLE**

LOCATION	DESCRIPTION	ELEVATION
"A"	48" ARCHED CMP	21.01
"B"	24" RCP	20.52
"C"	24" RCP	20.90
"D"	21" RCP	21.04
"E"	21" RCP	21.72
"F"	12" PVC	22.04
"G"	16" PVC	21.32
"H"	16" PVC	21.44
"I"	16" PVC	21.43
"J"	16" PVC	21.51
"K"	4" PVC	24.38
"L"	15" RCP	21.18
"M"	6" METAL OUTLET	28.89
"N"	1" METAL OUTLET	28.58
"O"	4" METAL OUTLET	28.38
"P"	6" CAST IRON(C)	28.92
"Q"	12" CAST IRON(C)	21.23
"R"	12" CAST IRON(C)	21.22
"S"	6" METAL OUTLET	28.80
"T"	15" RCP	22.15

**BUILDING FLOOR ELEVATION TABLE**

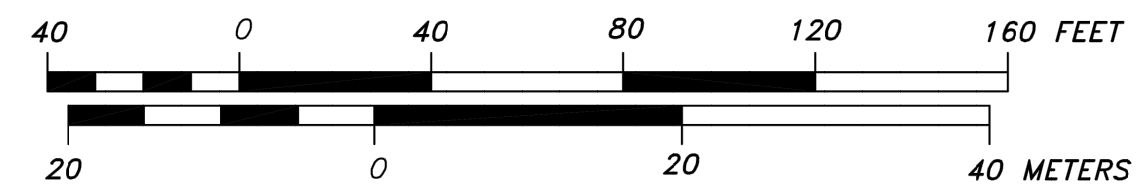
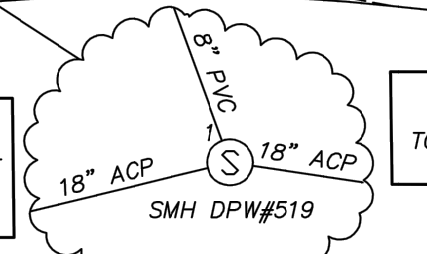
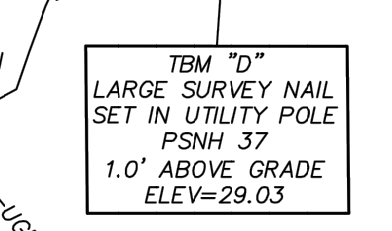
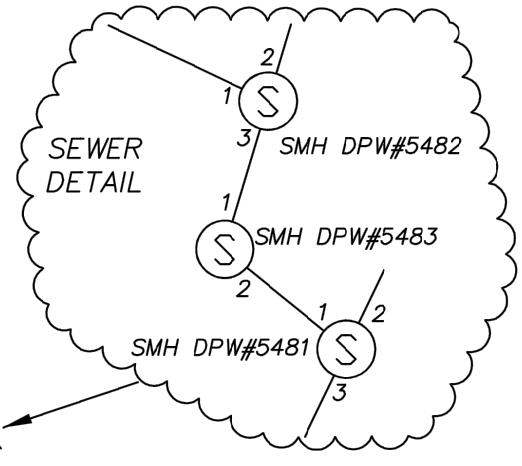
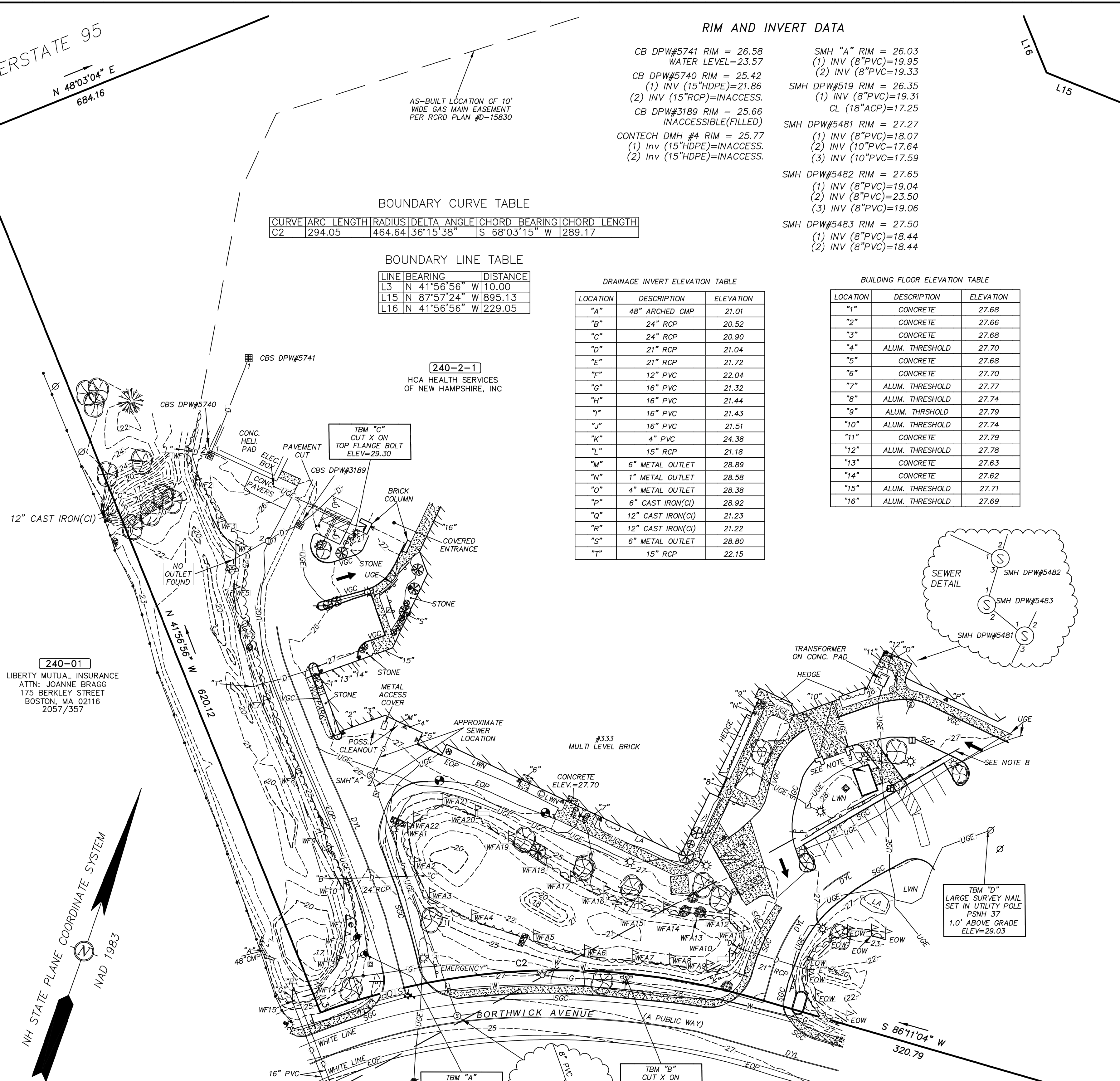
LOCATION	DESCRIPTION	ELEVATION
"1"	CONCRETE	27.68
"2"	CONCRETE	27.66
"3"	CONCRETE	27.68
"4"	ALUM. THRESHOLD	27.70
"5"	CONCRETE	27.68
"6"	CONCRETE	27.70
"7"	ALUM. THRESHOLD	27.77
"8"	ALUM. THRESHOLD	27.74
"9"	ALUM. THRESHOLD	27.79
"10"	ALUM. THRESHOLD	27.74
"11"	CONCRETE	27.79
"12"	ALUM. THRESHOLD	27.78
"13"	CONCRETE	27.63
"14"	CONCRETE	27.62
"15"	ALUM. THRESHOLD	27.71
"16"	ALUM. THRESHOLD	27.69

**LEGEND:**

- ..... IRON ROD (AS NOTED)
- △ ..... SURVEY NAIL (AS NOTED)
- ..... CHAIN LINK FENCE
- ..... UTILITY POLE
- ⊗ ..... UTILITY POLE W/TRANSFORMER
- ..... GUY
- ☆ ..... LIGHT POLE
- ◀ ..... DIRECTED WALL LIGHT
- OHW ..... OVERHEAD WIRES
- OHE ..... OVERHEAD ELECTRIC
- OHC ..... OVERHEAD COMMUNICATION WIRES
- UGC ..... UNDERGROUND COMMUNICATIONS
- UGE ..... UNDERGROUND ELECTRIC
- RCRD ..... ROCKINGHAM COUNTY REGISTRY OF DEEDS
- 240-02-01 ..... TAX SHEET / LOT NO.
- EOP ..... EDGE OF PAVEMENT
- LA ..... LANDSCAPED AREA
- RWS ..... STONE RETAINING WALL
- VGC ..... VERTICAL FACED GRANITE CURB
- SGC ..... SLOPED FACED GRANITE CURB
- PSNH ..... PUBLIC SERVICE CO. OF NH
- ♿ ..... HANDICAP SPACE
- ☑ ..... CATCH BASIN
- ⊙ ..... DRAIN MANHOLE
- ⊙ ..... SEWER MANHOLE
- ⊙ ..... BOLLARD
- ..... SIGN
- ..... DOUBLE POST SIGN
- ..... ELECTRICAL CONDUIT
- ..... ELECTRICAL PANEL
- ..... ELECTRICAL BOX
- ..... ELECTRIC METER
- ..... GAS VALVE
- w ..... WATER LINE
- s ..... SEWER LINE
- d ..... DRAIN LINE
- c ..... GAS LINE
- ..... BRUSH LINE
- ..... CONIFEROUS TREE
- ..... DECIDUOUS TREE
- ..... TREE LINE
- ..... CONIFEROUS SHRUB
- ..... DECIDUOUS SHRUB
- ..... TREE STUMP
- ..... MONITORING WELL
- ..... WATER GATE VALVE
- ..... WATER SHUT OFF VALVE
- ..... WATER METER PIT
- ..... HYDRANT
- ..... FIRE CONNECTION
- ..... POST INDICATOR VALVE
- ..... RIP RAP
- ..... CEMENT CONCRETE PAD
- ..... BORING
- ..... CABLE TV VAULT
- DYL ..... DOUBLE YELLOW LINE
- ..... STONE RETAINING WALL

240-01  
LIBERTY MUTUAL INSURANCE  
ATTN: JOANNE BRAGG  
175 BERKLEY STREET  
BOSTON, MA 02116  
2057/357

240-2-1  
HCA HEALTH SERVICES  
OF NEW HAMPSHIRE, INC



**NOTES:**

- OWNER OF RECORD.....HCA HEALTH SERVICES OF NH., D/B/A PRH 32902  
C/O DUCHARME MCMILLEN & ASSOCIATES  
ADDRESS.....PO BOX 80610, INDIANAPOLIS, IN 46280  
DEED REFERENCE.....2784/1340  
TAX SHEET / LOT.....240-02-01  
PARCEL AREA.....846,664 S.F 19.44 ACRES
- ZONED:.....OFFICE/RESEARCH (OR) FRONT YARD SETBACK.....50'  
MINIMUM LOT AREA...3 ACRES SIDE YARD SETBACK.....75'  
FRONTAGE.....300' REAR YARD SETBACK.....50'
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT.  
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ALBA"
- ENGINEER OR CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0260E, EFFECTIVE DATE MAY 17, 2005 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- LIMIT OF 300' EVERSOURCE ELECTRIC EASEMENT.
- BRICK GENERATOR ENCLOSURE. TOP OF CONCRETE ELEV.=27.20
- THE DELINEATION OF THE WETLANDS SHOWN HEREON WAS BY BRENDEN WALDEN NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST #297, GOVE ENVIRONMENTAL SERVICES, LLC., 8 CONTINENTAL DRIVE, UNIT H, EXETER, NH 03833.
- THE SUBSURFACE UTILITIES SHOWN HEREON WERE IDENTIFIED BY WADE HANSEN, GROUND PENETRATING RADAR SYSTEMS, INC., 5217 MONROE STREET, SUITE A, TOLEDO, OHIO 43623.
- AN EXISTING UNTIL GAS LINE SOUTHWESTERLY OF THE HOSPITAL IN THE VICINITY OF THE LIBERTY MUTUAL PARCEL & A 6" CLDI WATER LINE IN THE SAME AREA WERE NOT FIELD LOCATED BY GROUND PENETRATING RADAR SYSTEMS, INC.

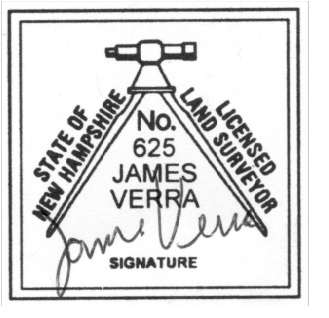
**REFERENCE PLANS:**

- GAS LINE AS-BUILT EASEMENT AND CONSERVATION PLAN, PREPARED FOR HOSPITAL CORPORATION OF AMERICA, PORTSMOUTH, NH, DATED 10/31/85. RCRD PLAN #D-15830.
- SCHILLER S/S-OCEAN ROAD S/S, 115 KV TRANSMISSION LINE #U181, MILE 4, PLANR-6775-A, DATED 7/10/2009, BY NORTHEAST UTILITIES, NOT RECORDED.
- SUBDIVISION OF LAND, FRANETAL REALTY TRUST COMPANY, OPTIONED TO LIBERTY MUTUAL INSURANCE COMPANY, PORTSMOUTH, NEW HAMPSHIRE, REVISED TO 2/19/71 RCRD PLAN #2190.

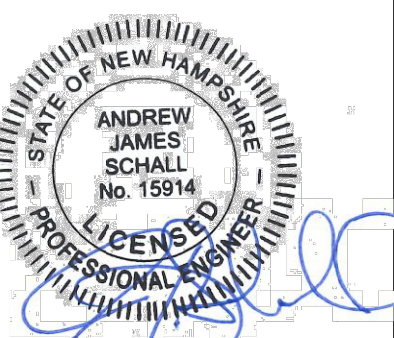
PURSUANT TO RSA 676:18,III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

James Verra  
JAMES VERRA  
11-19-2019  
DATE



REV. NO.	DATE	DESCRIPTION	JV APPR'D
0	11-08-2019	FOR REVIEW & COMMENT	
<b>LIMITED EXISTING CONDITIONS PLAN</b> <b>333 BORTHWICK AVENUE</b> <b>PORTSMOUTH, NEW HAMPSHIRE</b> <b>ASSESSOR'S PARCEL #240-002-001</b> for <b>HCA HEALTH SERVICES OF NEW HAMPSHIRE</b>			
<b>JAMES VERRA and ASSOCIATES, INC.</b> 101 SHATTUCK WAY SUITE 8 NEWINGTON, N.H., 03801-7876 603-436-3557			DATE: 11-19-2019 JOB NO: 23834 SCALE: 1" = 40' DWG NAME: 23834 PLAN NO: 23834 SHEET: 1 of 1
GTD PROJECT JV COPYRIGT © 2019 by JAMES VERRA and ASSOCIATES, INC.			

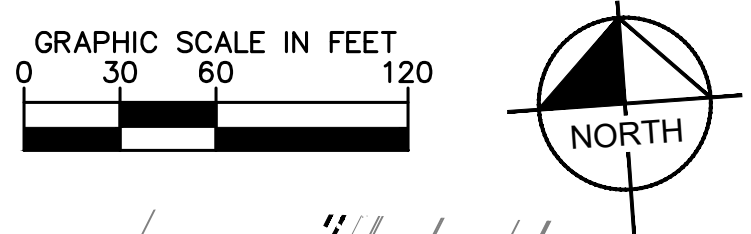


NO.	DATE	BY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DESIGNED BY: ZCN  
 DRAWN BY: ZCN  
 CHECKED BY: MEH  
 DATE: 06/28/2022  
 KIMLEY-HORN PROJECT NO. 118252004

**EXISTING CONDITIONS - OVERALL**

**C1.00**



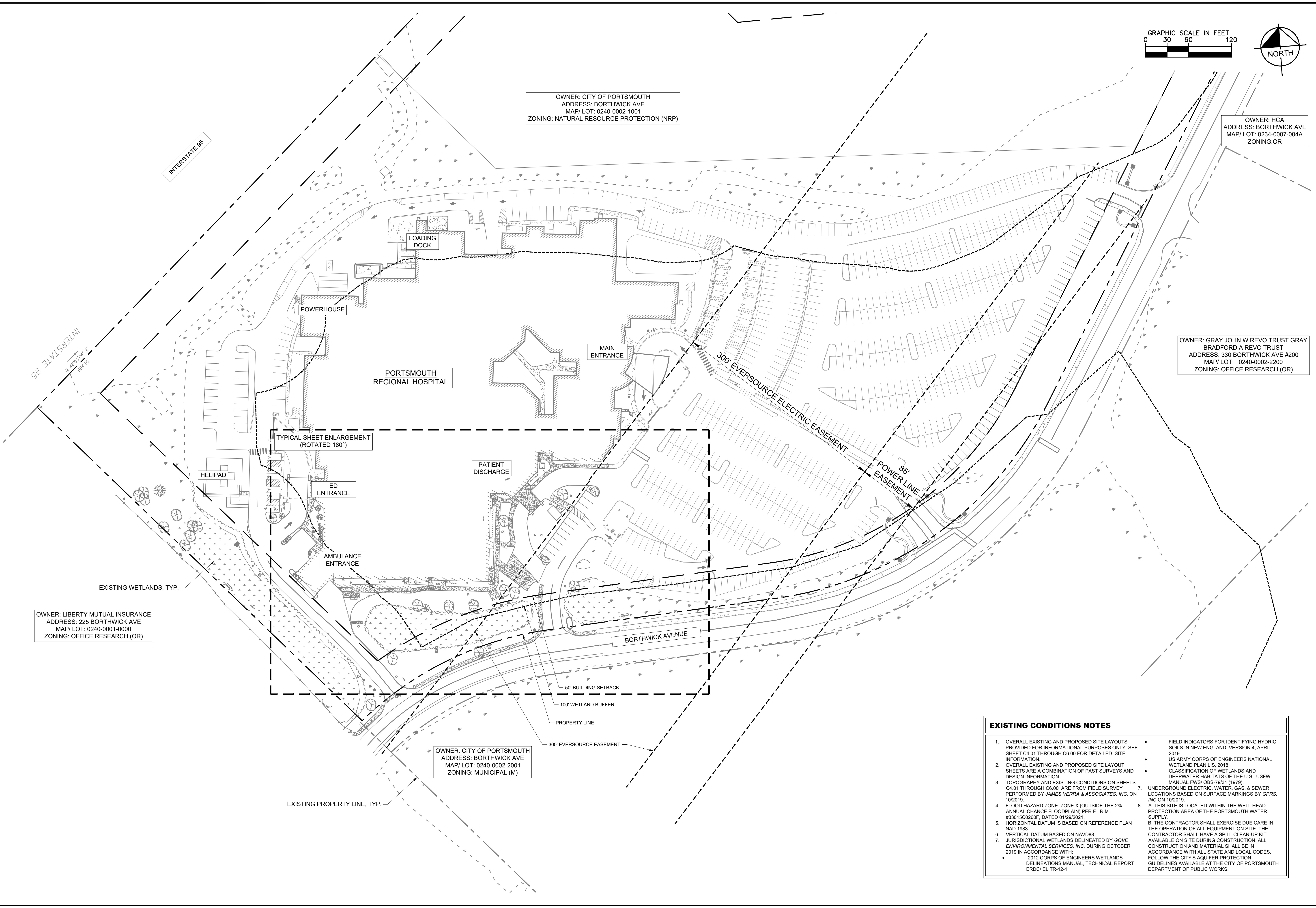
OWNER: CITY OF PORTSMOUTH  
 ADDRESS: BORTHWICK AVE  
 MAP/ LOT: 0240-0002-1001  
 ZONING: NATURAL RESOURCE PROTECTION (NRP)

OWNER: HCA  
 ADDRESS: BORTHWICK AVE  
 MAP/ LOT: 0234-0007-004A  
 ZONING: OR

OWNER: GRAY JOHN W REVO TRUST GRAY  
 BRADFORD A REVO TRUST  
 ADDRESS: 330 BORTHWICK AVE #200  
 MAP/ LOT: 0240-0002-2200  
 ZONING: OFFICE RESEARCH (OR)


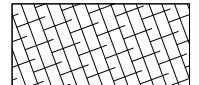





OWNER: LIBERTY MUTUAL INSURANCE  
 ADDRESS: 225 BORTHWICK AVE  
 MAP/ LOT: 0240-0001-0000  
 ZONING: OFFICE RESEARCH (OR)

OWNER: CITY OF PORTSMOUTH  
 ADDRESS: BORTHWICK AVE  
 MAP/ LOT: 0240-0002-2001  
 ZONING: MUNICIPAL (M)



- EXISTING CONDITIONS NOTES**
- OVERALL EXISTING AND PROPOSED SITE LAYOUTS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. SEE SHEET C4.01 THROUGH C6.00 FOR DETAILED SITE INFORMATION.
  - OVERALL EXISTING AND PROPOSED SITE LAYOUT SHEETS ARE A COMBINATION OF PAST SURVEYS AND DESIGN INFORMATION.
  - TOPOGRAPHY AND EXISTING CONDITIONS ON SHEETS C4.01 THROUGH C6.00 ARE FROM FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. ON 10/20/19.
  - FLOOD HAZARD ZONE: ZONE X (OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. #33015C0260F, DATED 01/29/2021.
  - HORIZONTAL DATUM IS BASED ON REFERENCE PLAN NAD 1983.
  - VERTICAL DATUM BASED ON NAVD88.
  - JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE WITH:
    - 2012 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT ERDC/EL TR-12-1.
    - FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, APRIL 2019.
    - US ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLAN LIS, 2018.
    - CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE U.S., USFW MANUAL FWS/OBS-79/31 (1979).
  - UNDERGROUND ELECTRIC, WATER, GAS, & SEWER LOCATIONS BASED ON SURFACE MARKINGS BY GPRS, INC. ON 10/20/19.
  - A. THIS SITE IS LOCATED WITHIN THE WELL HEAD PROTECTION AREA OF THE PORTSMOUTH WATER SUPPLY.  
 B. THE CONTRACTOR SHALL EXERCISE DUE CARE IN THE OPERATION OF ALL EQUIPMENT ON SITE. THE CONTRACTOR SHALL HAVE A SPILL CLEAN-UP KIT AVAILABLE ON SITE DURING CONSTRUCTION. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. FOLLOW THE CITY'S AQUIFER PROTECTION GUIDELINES AVAILABLE AT THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.

**DEMOLITION LEGEND**

-  REMOVE CONCRETE/ ASPHALT
-  REMOVE CANOPY
-  REMOVE UNDERGROUND UTILITY / STORM
-  REMOVE CURB & GUTTER/ CURB
-  REMOVE/ RELOCATE SITE OBJECT (HYDRANT, POLE, TREE, ETC.)
-  LIMITS OF DISTURBANCE
-  SAWCUT LINE

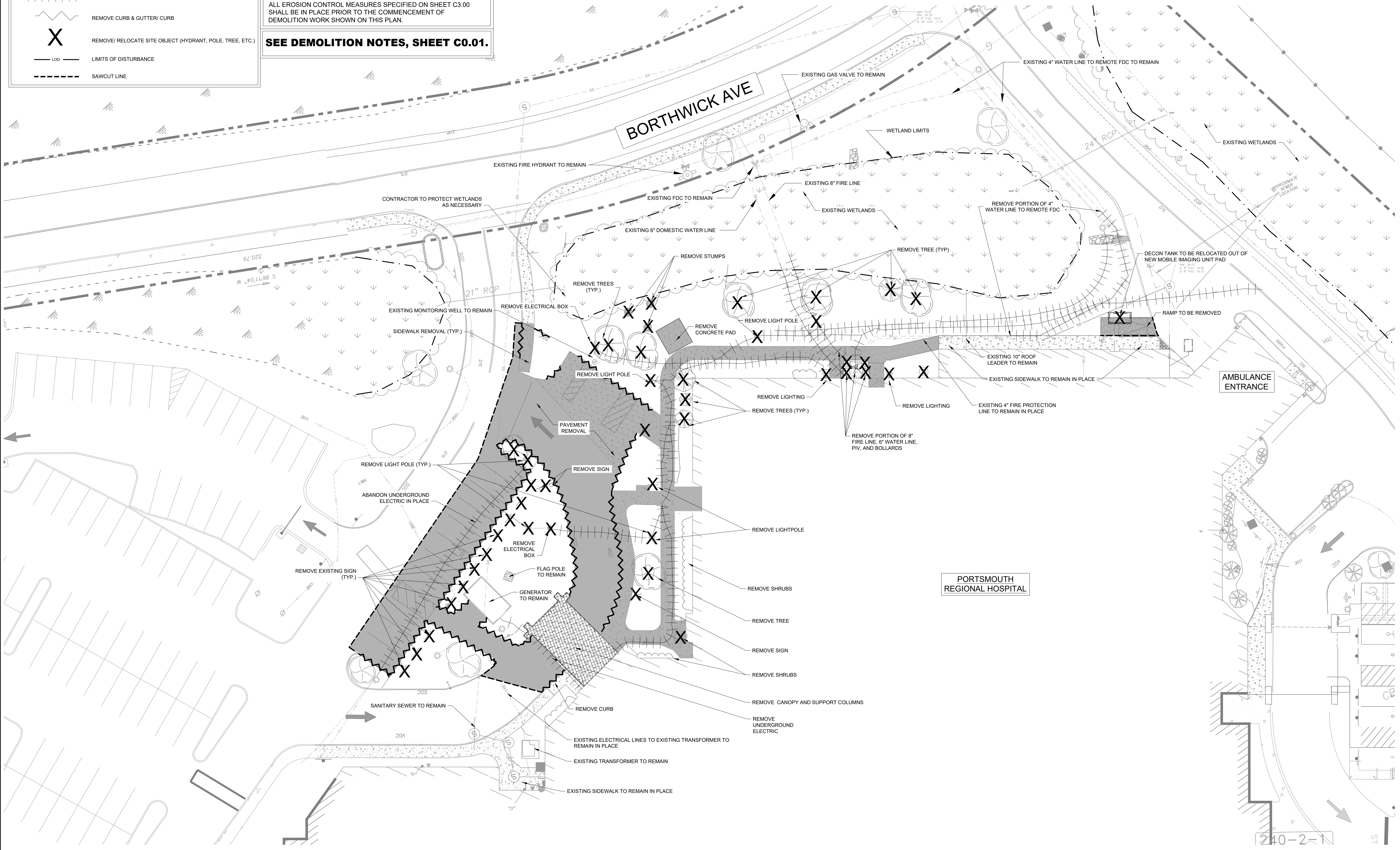
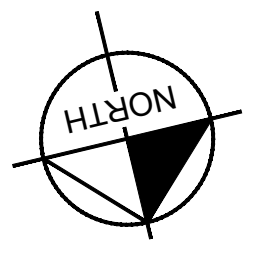
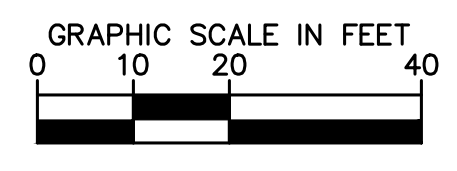
**EXISTING UTILITIES NOTE**

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

**CONTRACTOR NOTE**

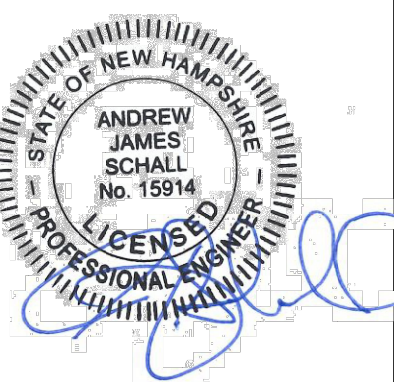
ALL EROSION CONTROL MEASURES SPECIFIED ON SHEET C3.00 SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK SHOWN ON THIS PLAN.

**SEE DEMOLITION NOTES, SHEET C0.01.**



**Kimley»Horn**  
 404 WYMAN STREET, SUITE 385 WALTHAM, MA 02451  
 MAINT/781.328.0676 | WWW.KIMLEY-HORN.COM  
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**PORTSMOUTH REGIONAL HOSPITAL**  
**RADIATION ONCOLOGY ADDITION**  
 PORTSMOUTH, NEW HAMPSHIRE



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DESIGNED BY: ZCN  
 DRAWN BY: ZCN  
 CHECKED BY: MEH  
 DATE: 06/28/2022  
 KIMLEY-HORN PROJECT NO. 118252004

**SITE DEMOLITION PLAN**

**C2.00**



**EROSION CONTROL NOTES**

- CONTRACTOR SHALL COORDINATE WITH CITY OF PORTSMOUTH GROWTH MANAGEMENT AND THE COUNTY'S ENVIRONMENTAL INSPECTOR.
- ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED, DURING ANY PHASE OF DEVELOPMENT, AT THE DISCRETION OF THE CITY OF PORTSMOUTH'S ENVIRONMENTAL INSPECTOR.
- THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER THE NEW HAMPSHIRE STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. INSPECTOR TO BE DESIGNATED AND AVAILABLE AT THE PRE-CONSTRUCTION MEETING.
- SILT FENCE SHOWN ON THESE PLANS SHALL BE INSTALLED GENERALLY IN THE LOCATIONS INDICATED, ADJUSTED FOR FIELD CONSTRAINTS. ALL PROPOSED SILT FENCE LOCATED WITHIN THE CRITICAL PROTECTION ZONE OF A TREE SHALL BE OF A NON-TRENCHED VARIETY, UNLESS ARBORICULTURAL MITIGATION STATES OTHERWISE.
- CONTRACTOR SHALL INSPECT AND REPAIR ALL BMP's AT LEAST ONCE A WEEK, AND AFTER EVERY SIGNIFICANT RAIN EVENT (> 1/2" OF RAINFALL) A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
- ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF IDENTIFICATION OF THE NEED FOR SUCH CORRECTION.
- ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S. PERMIT AND THE CONDITIONS OF THE APPLICABLE ENVIRONMENTAL RESOURCE PERMIT.
- ALL DISTURBED AREAS TO BE LEFT IDLE LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH.
- NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CPZ OF PROTECTED TREES, EXCEPT WHERE DEBITS HAVE BEEN NOTED ON THE TREE REMOVAL PLANS OR WHERE TREES ARE TO BE IMPACTED/MITIGATED PER THE TREE MITIGATION PLANS.
- STREET SWEEPING WILL BE REQUIRED AS NECESSARY.
- IMPROVEMENTS SHOWN FOR REFERENCE ONLY.
- COORDINATE DISPOSAL OF EXCAVATED MATERIAL WITH OWNER.
- ALL EROSION CONTROL MEASURES ARE TO BE MADE OF NATURAL MATERIALS.

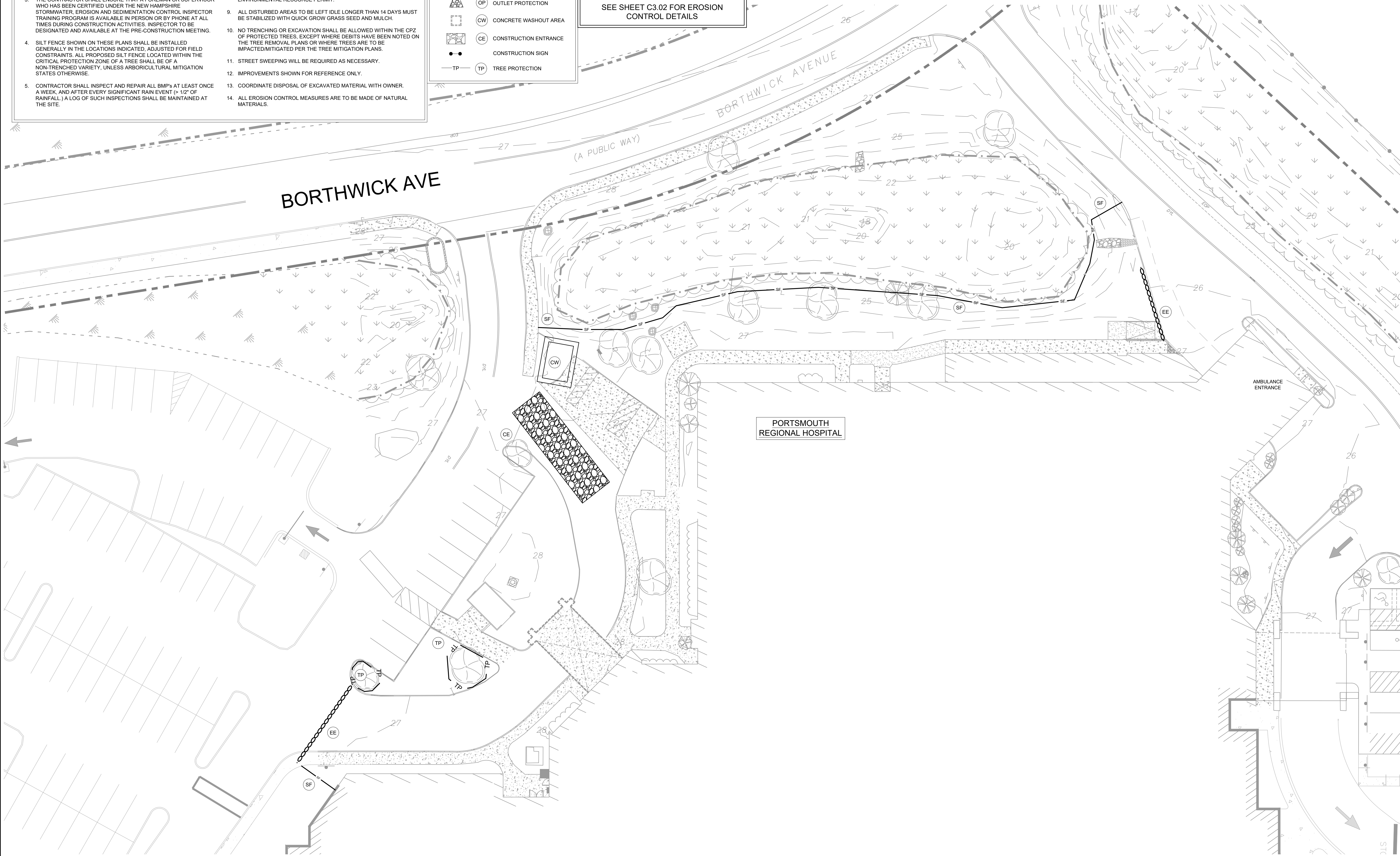
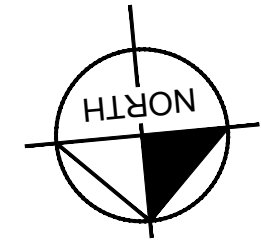
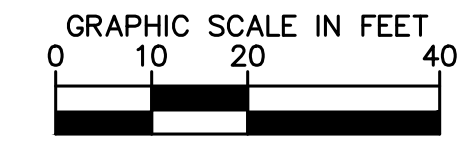
**EROSION CONTROL LEGEND**

- IP INLET PROTECTION
- SF SILT FENCE
- EE EROSION EELS
- OP OUTLET PROTECTION
- CW CONCRETE WASHOUT AREA
- CE CONSTRUCTION ENTRANCE
- CONSTRUCTION SIGN
- TP TREE PROTECTION

**PROPOSED GROUND COVER LEGEND**

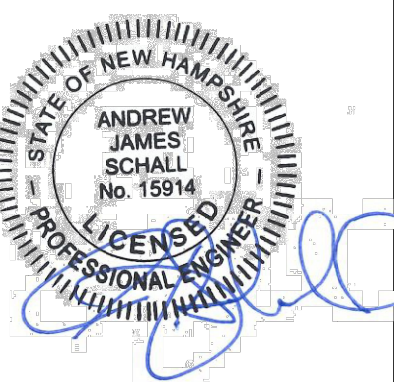
- CONSERVATION SEED MIX
- FESCUE/ BLUEGRASS SEED MIX

SEE SHEET C3.02 FOR EROSION CONTROL DETAILS



**Kimley»Horn**  
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**PORTSMOUTH REGIONAL HOSPITAL**  
**RADIATION ONCOLOGY ADDITION**  
 PORTSMOUTH, NEW HAMPSHIRE



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DESIGNED BY: ZCN  
 DRAWN BY: ZCN  
 CHECKED BY: MEH  
 DATE: 06/28/2022  
 KIMLEY-HORN PROJECT NO. 118252004

**EROSION CONTROL PLAN - PHASE 1**

**C3.00**

**EROSION CONTROL NOTES**

- CONTRACTOR SHALL COORDINATE WITH CITY OF PORTSMOUTH GROWTH MANAGEMENT AND THE COUNTY'S ENVIRONMENTAL INSPECTOR.
- ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED, DURING ANY PHASE OF DEVELOPMENT, AT THE DISCRETION OF THE CITY OF PORTSMOUTH'S ENVIRONMENTAL INSPECTOR.
- THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER THE NEW HAMPSHIRE STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. INSPECTOR TO BE DESIGNATED AND AVAILABLE AT THE PRE-CONSTRUCTION MEETING.
- SILT FENCE SHOWN ON THESE PLANS SHALL BE INSTALLED GENERALLY IN THE LOCATIONS INDICATED, ADJUSTED FOR FIELD CONSTRAINTS. ALL PROPOSED SILT FENCE LOCATED WITHIN THE CRITICAL PROTECTION ZONE OF A TREE SHALL BE OF A NON-TRENCHED VARIETY, UNLESS ARBORICULTURAL MITIGATION STATES OTHERWISE.
- CONTRACTOR SHALL INSPECT AND REPAIR ALL BMP's AT LEAST ONCE A WEEK, AND AFTER EVERY SIGNIFICANT RAIN EVENT (> 1/2" OF RAINFALL) A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
- ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF IDENTIFICATION OF THE NEED FOR SUCH CORRECTION.
- ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S. PERMIT AND THE CONDITIONS OF THE APPLICABLE ENVIRONMENTAL RESOURCE PERMIT.
- ALL DISTURBED AREAS TO BE LEFT IDLE LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH.
- NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CPZ OF PROTECTED TREES, EXCEPT WHERE DEBITS HAVE BEEN NOTED ON THE TREE REMOVAL PLANS OR WHERE TREES ARE TO BE IMPACTED/MITIGATED PER THE TREE MITIGATION PLANS.
- STREET SWEEPING WILL BE REQUIRED AS NECESSARY.
- IMPROVEMENTS SHOWN FOR REFERENCE ONLY.
- COORDINATE DISPOSAL OF EXCAVATED MATERIAL WITH OWNER.
- ALL EROSION CONTROL MEASURES ARE TO BE MADE OF NATURAL MATERIALS.

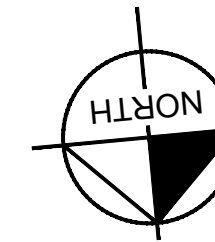
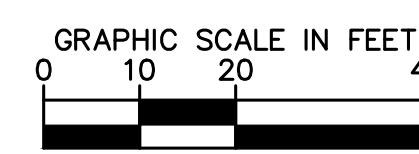
**EROSION CONTROL LEGEND**

- IP INLET PROTECTION
- SF SILT FENCE
- EE EROSION EELS
- OP OUTLET PROTECTION
- CW CONCRETE WASHOUT AREA
- CE CONSTRUCTION ENTRANCE
- CONSTRUCTION SIGN
- TP TREE PROTECTION

**PROPOSED GROUND COVER LEGEND**

- CONSERVATION SEED MIX
- FESCUE/ BLUEGRASS SEED MIX

SEE SHEET C3.02 FOR EROSION CONTROL DETAILS



BORTHWICK AVE

PORTSMOUTH REGIONAL HOSPITAL

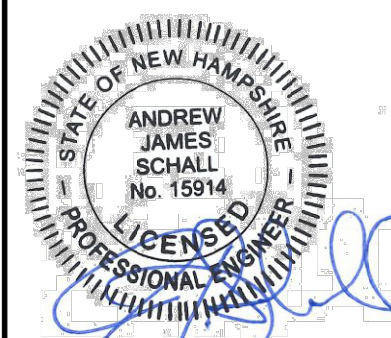
MOBILE UNIT

AMBULANCE ENTRANCE

WETLAND LIMITS

EXISTING WETLANDS

PORTSMOUTH REGIONAL HOSPITAL  
RADIATION ONCOLOGY ADDITION  
PORTSMOUTH, NEW HAMPSHIRE



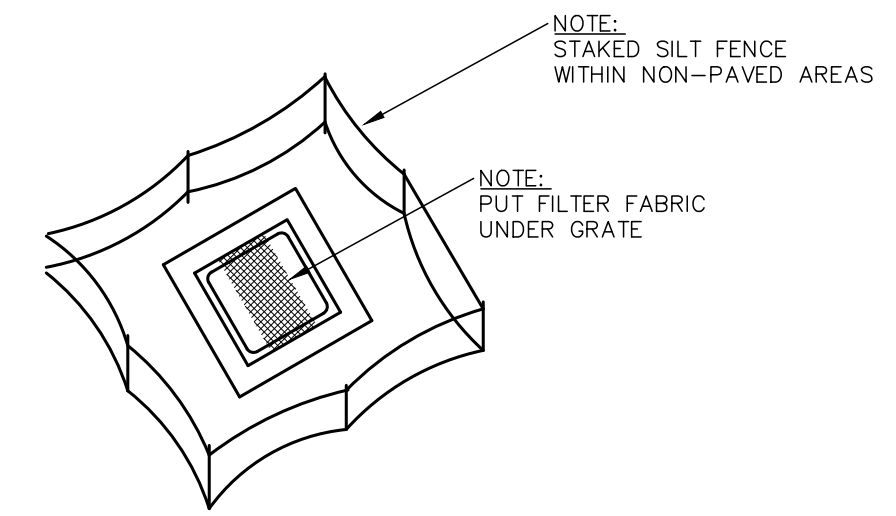
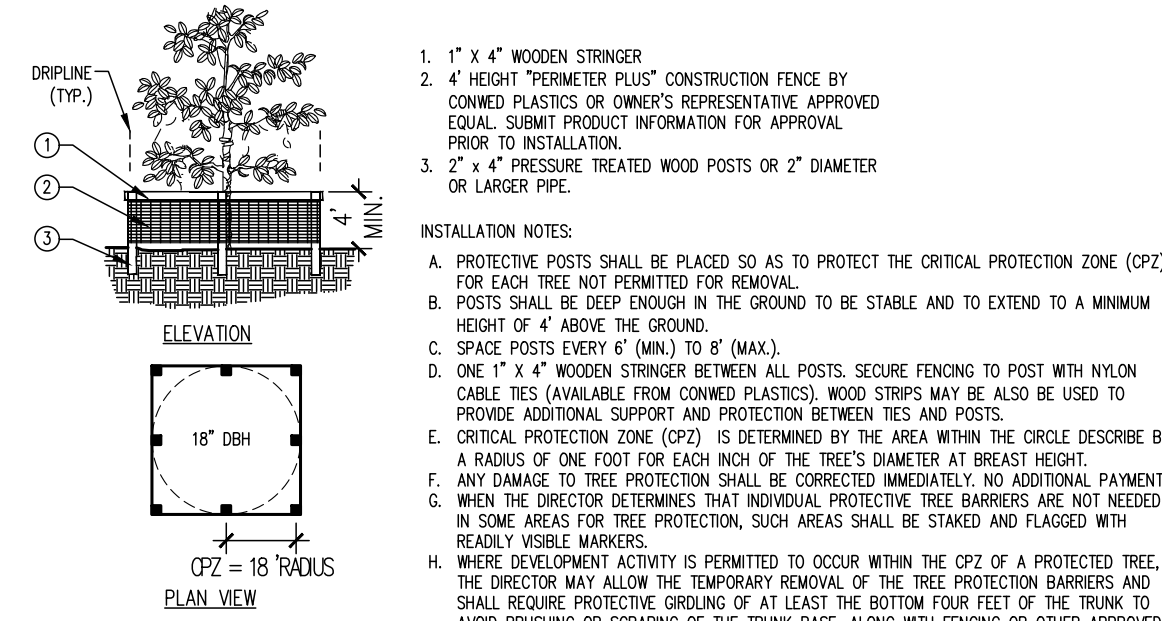
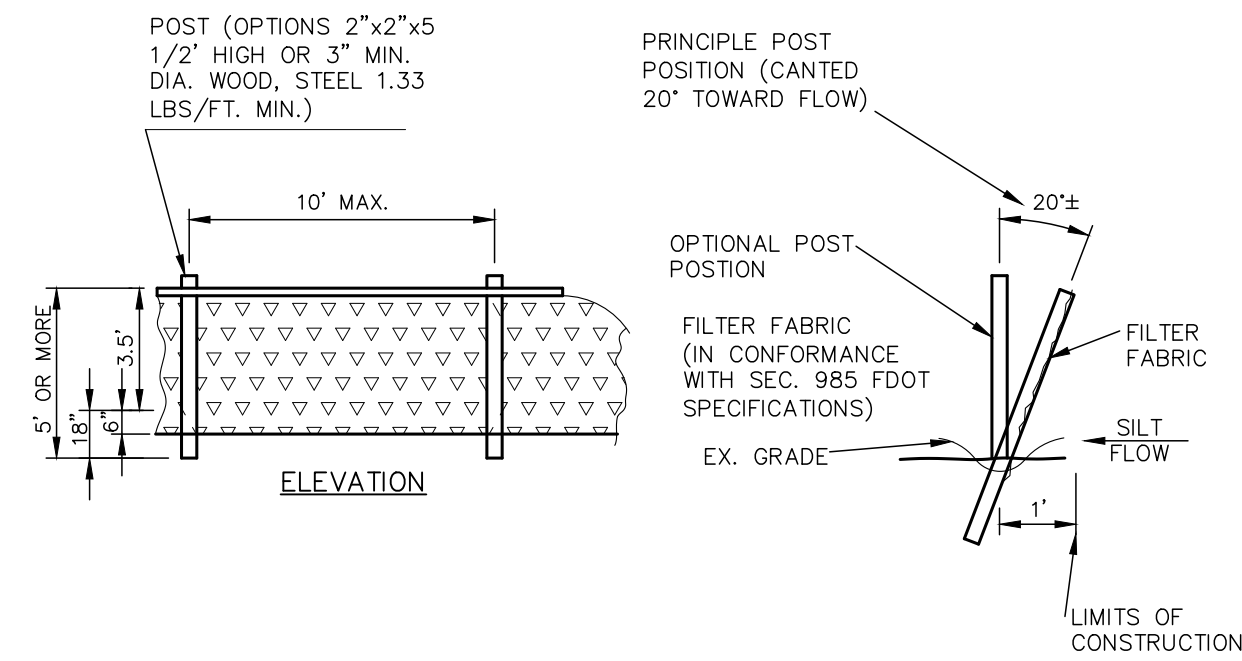
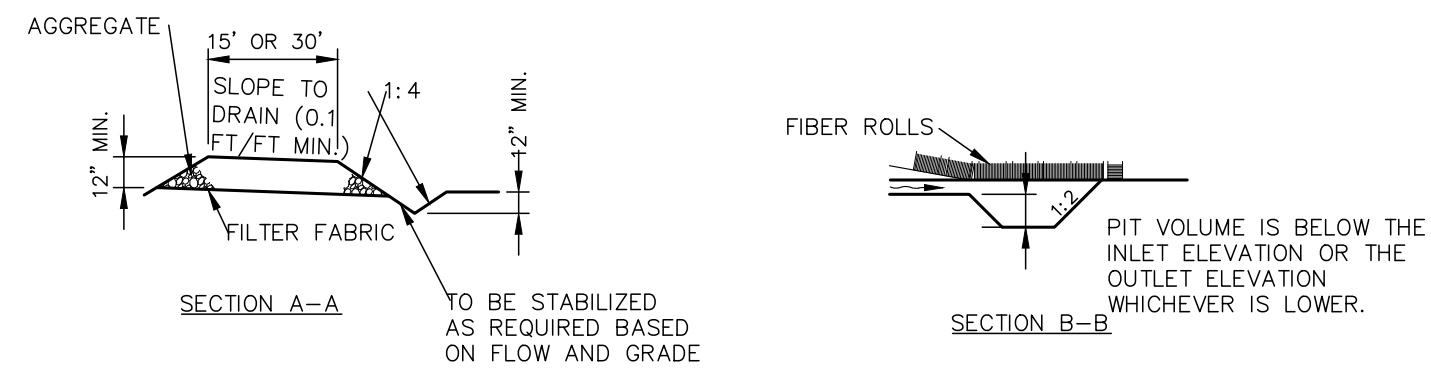
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DESIGNED BY: ZCN  
DRAWN BY: ZCN  
CHECKED BY: MEH  
DATE: 06/28/2022  
KIMLEY-HORN PROJECT NO. 118252004

**EROSION CONTROL PLAN - PHASE 2**

**C3.01**

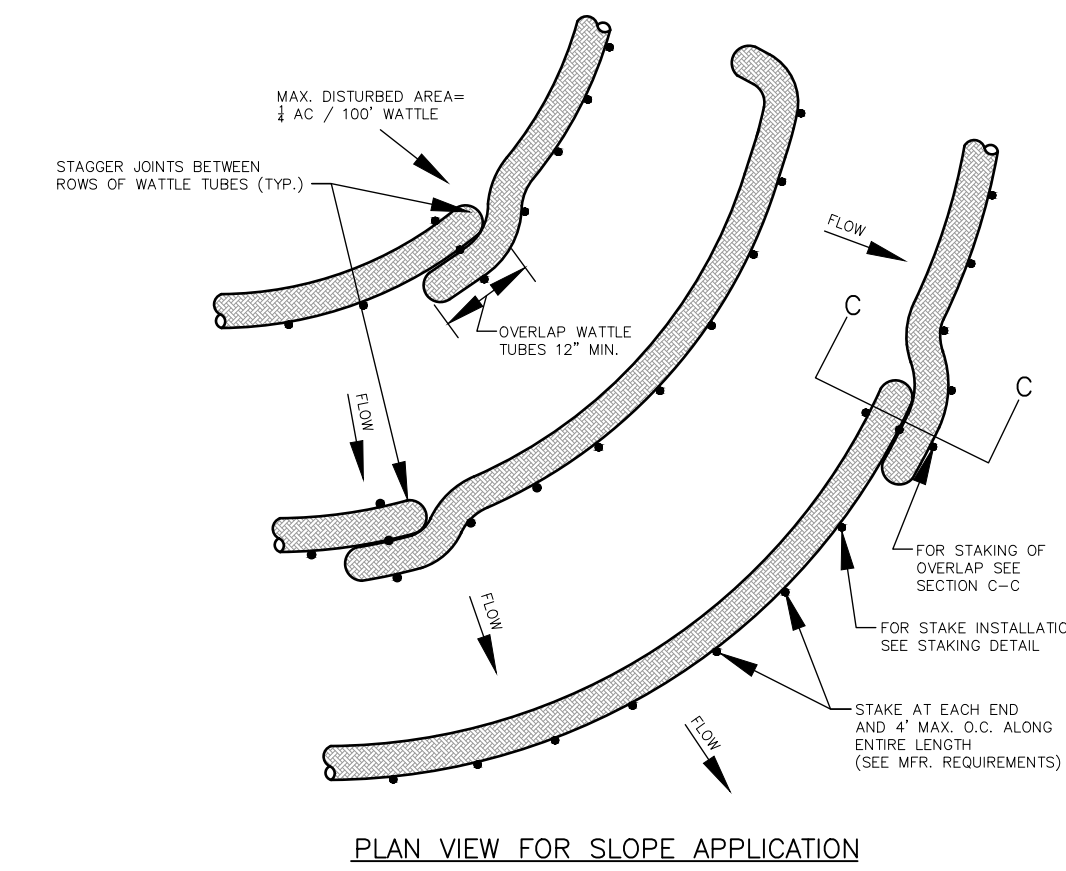
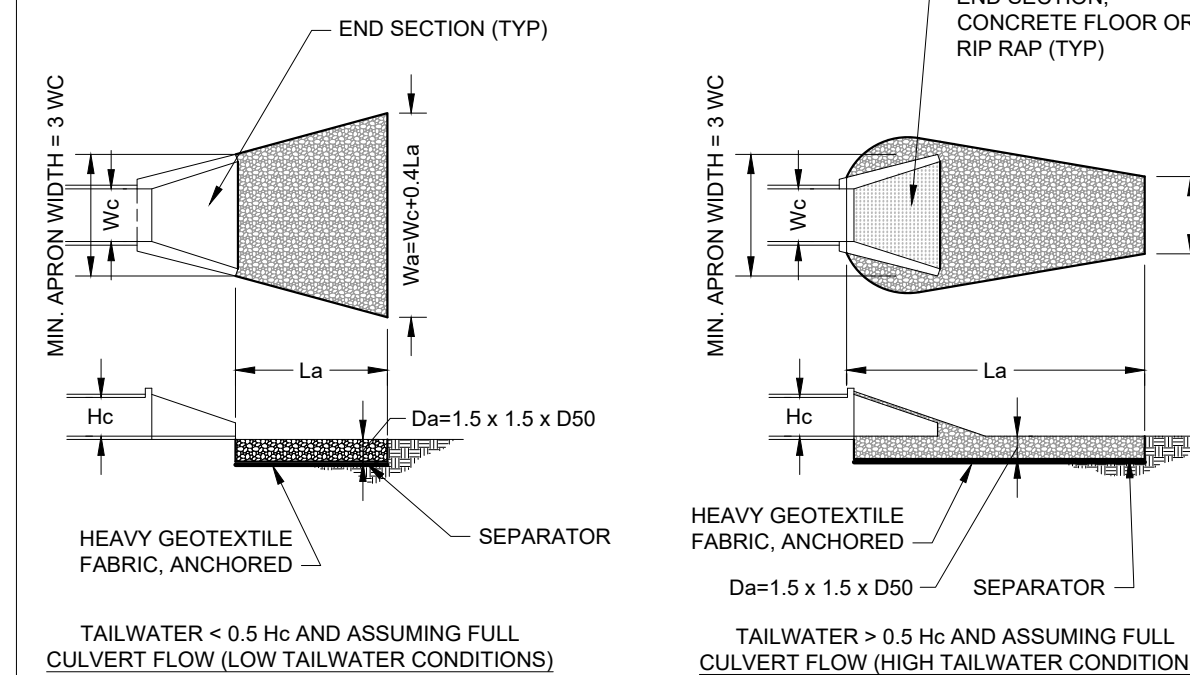
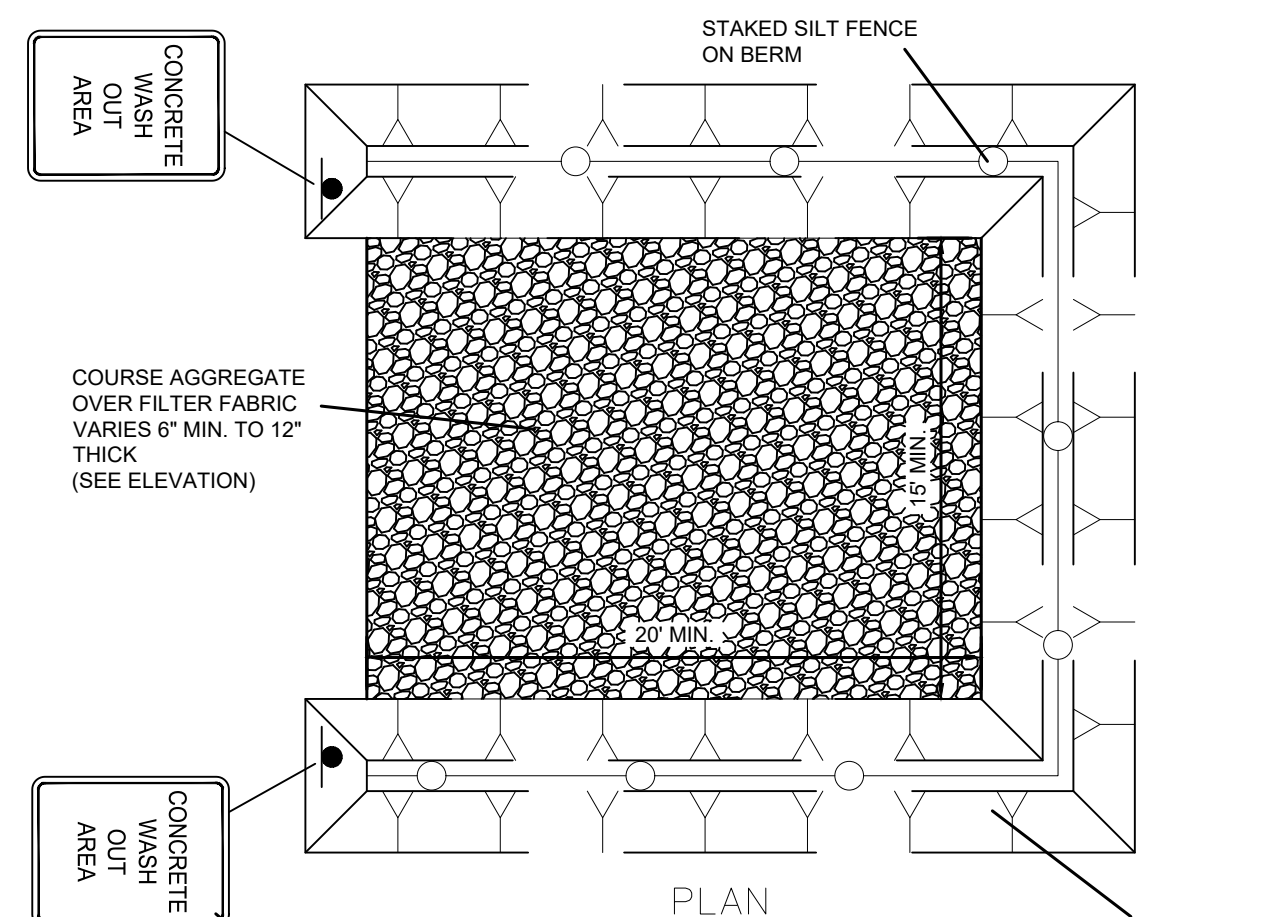
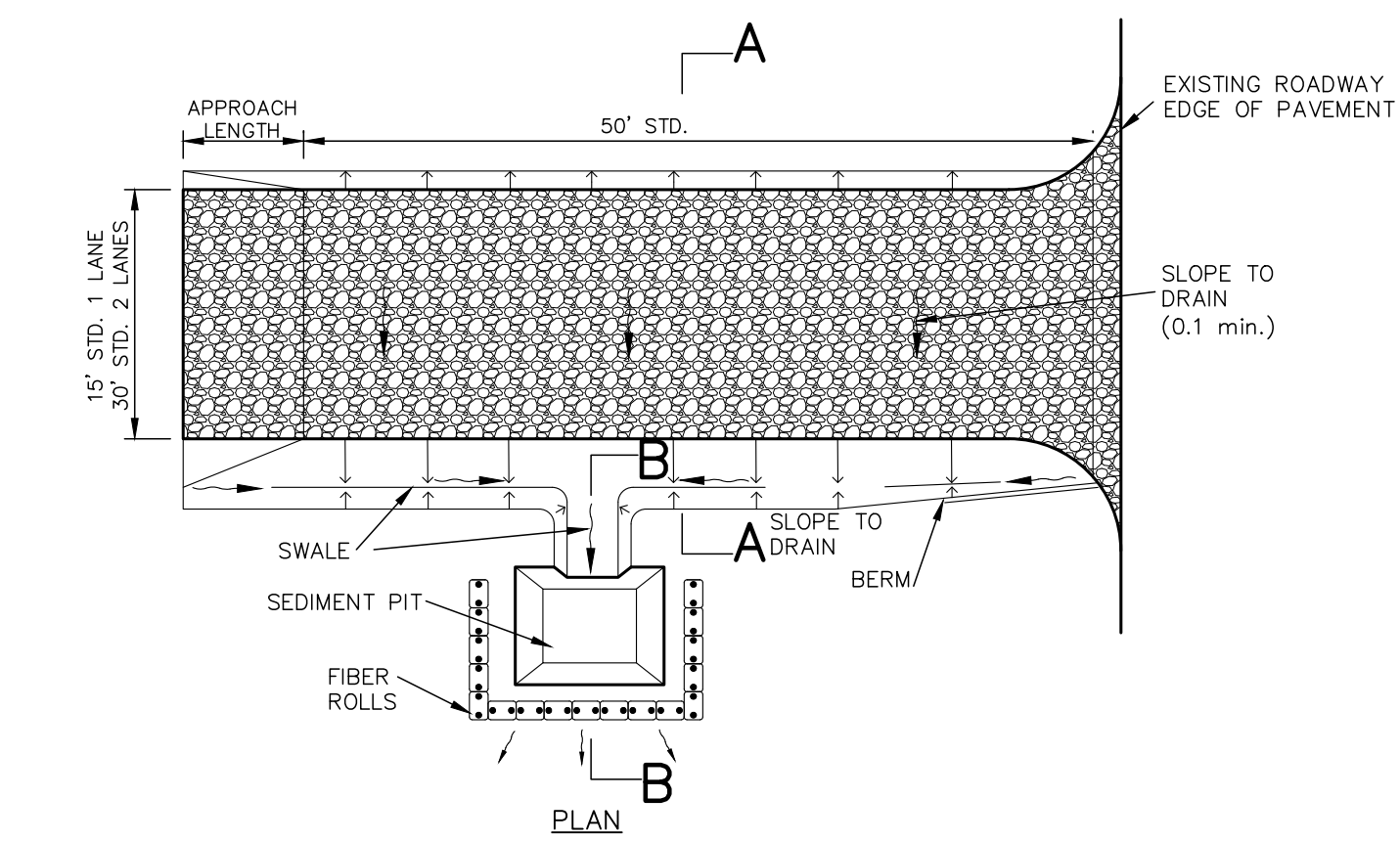
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**SF SILT FENCE (SEDIMENT BARRIER)**  
NOT TO SCALE

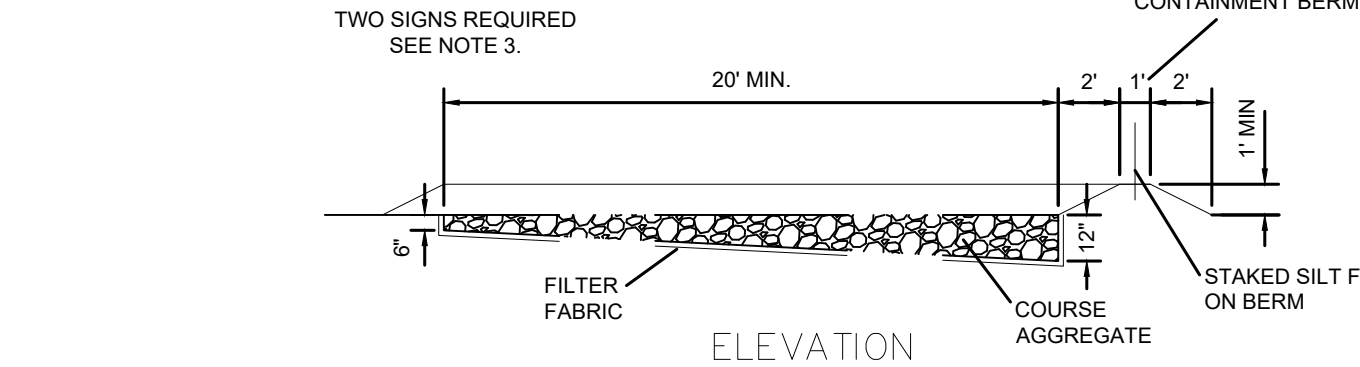
**TP TREE PROTECTION**  
NOT TO SCALE

**IP INLET PROTECTION**  
NOT TO SCALE

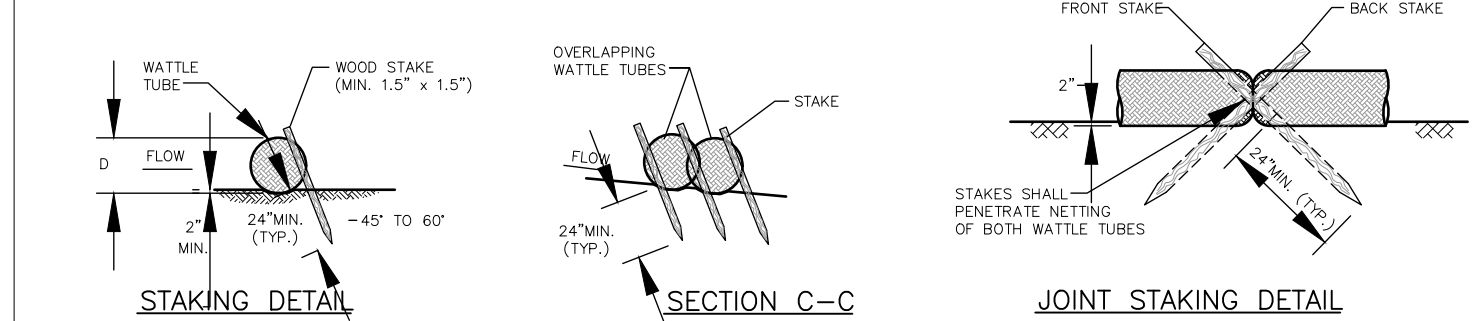


**NOTES:**  
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.  
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.  
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**CE CONSTRUCTION ENTRANCE (SOIL TRACKING PREVENTION)**  
NOT TO SCALE



**TAILWATER < 0.5 Hc AND ASSUMING FULL CULVERT FLOW (LOW TAILWATER CONDITIONS)**  
**TAILWATER > 0.5 Hc AND ASSUMING FULL CULVERT FLOW (HIGH TAILWATER CONDITIONS)**  
Hc = HEIGHT OF CULVERT  
Wc = WIDTH OF CULVERT  
La = LENGTH OF RIP-RAP APRON  
Wra = WIDTH OF RIP-RAP APRON AT END  
D50 = MEDIAN SIZE OF RIP-RAP  
Dmax = MAXIMUM SIZE OF RIP-RAP = 1.5 D50  
Da = DEPTH OF RIP-RAP APRON = 1.5 Dmax  
SEPARATOR = GEOTEXTILE UNDERLAYMENT OR GRAVEL FILTER BLANKET



**NOTES:**  
1. ALL MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF THE PROJECT.  
2. AGGREGATE SHALL BE REPLACED AS DIRECTED BY THE ENGINEER OF RECORD AND/OR THE CITY WHEN EXCESSIVE MATERIALS BUILDUP RENDERS THE WASH OUT AREA NO LONGER FUNCTIONAL.  
3. SIGNS SHALL BE 18" X 12" MIN. SIZE WITH 2" BLACK LETTERING ON A WHITE BACKGROUND AND MOUNTED A MINIMUM OF 7 FEET ABOVE GRADE FROM THE LOWEST EDGE OF THE SIGN FACE.

**CW CONCRETE WASHOUT**  
NOT TO SCALE

**OP OUTLET PROTECTION**  
NOT TO SCALE

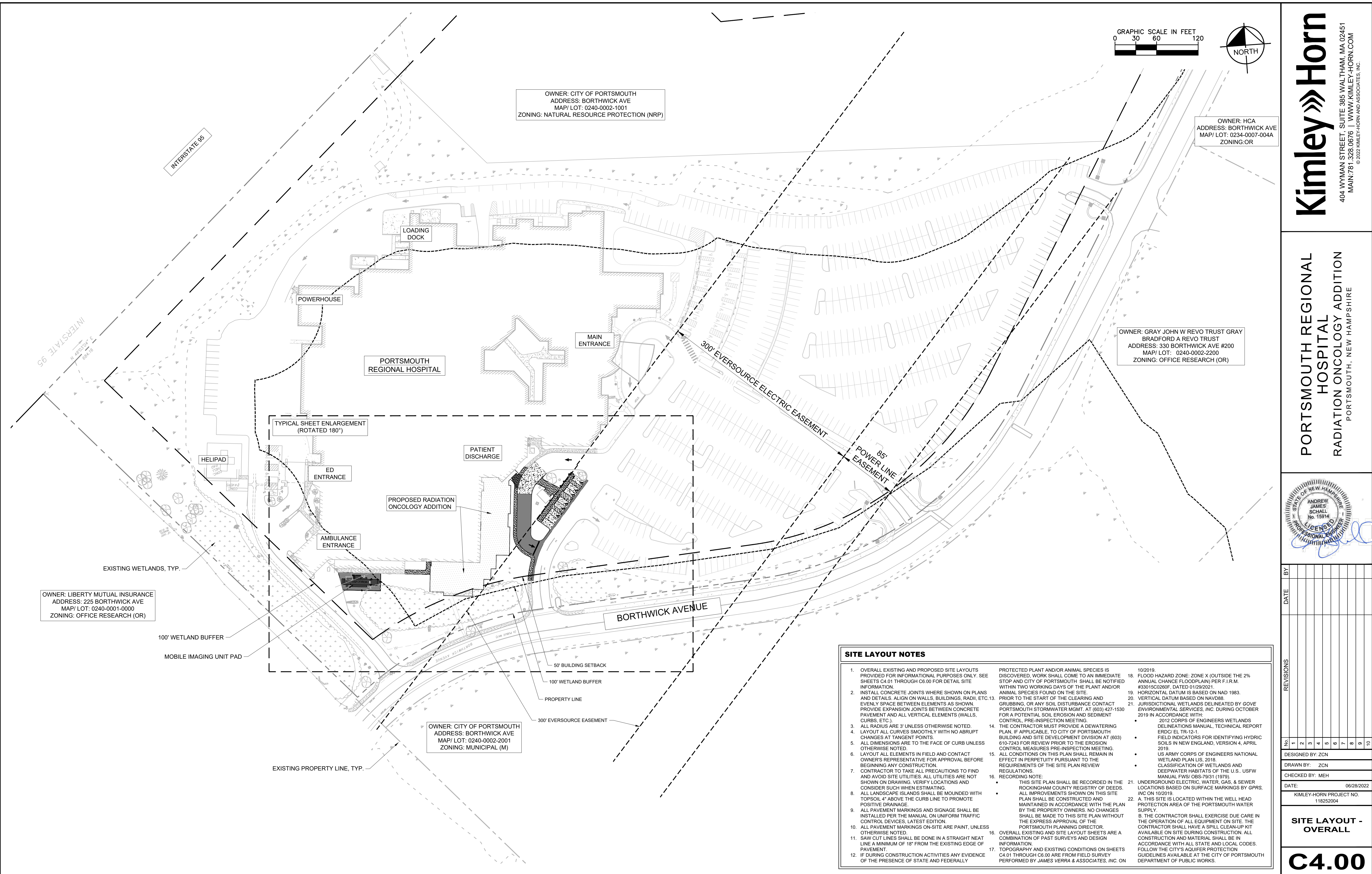
**EE EROSION EELS**  
NOT TO SCALE



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DESIGNED BY: ZCN  
DRAWN BY: ZCN  
CHECKED BY: MEH  
DATE: 06/28/2022  
KIMLEY-HORN PROJECT NO. 118252004

**EROSION CONTROL DETAILS**



OWNER: CITY OF PORTSMOUTH  
 ADDRESS: BORTHWICK AVE  
 MAP/ LOT: 0240-0002-1001  
 ZONING: NATURAL RESOURCE PROTECTION (NRP)

OWNER: HCA  
 ADDRESS: BORTHWICK AVE  
 MAP/ LOT: 0234-0007-004A  
 ZONING: OR

OWNER: GRAY JOHN W REVO TRUST GRAY  
 BRADFORD A REVO TRUST  
 ADDRESS: 330 BORTHWICK AVE #200  
 MAP/ LOT: 0240-0002-2200  
 ZONING: OFFICE RESEARCH (OR)

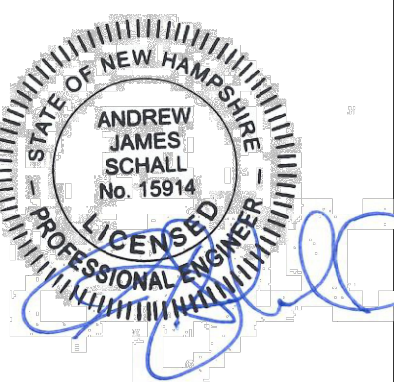
OWNER: LIBERTY MUTUAL INSURANCE  
 ADDRESS: 225 BORTHWICK AVE  
 MAP/ LOT: 0240-0001-0000  
 ZONING: OFFICE RESEARCH (OR)

OWNER: CITY OF PORTSMOUTH  
 ADDRESS: BORTHWICK AVE  
 MAP/ LOT: 0240-0002-2001  
 ZONING: MUNICIPAL (M)

- SITE LAYOUT NOTES**
- OVERALL EXISTING AND PROPOSED SITE LAYOUTS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. SEE SHEETS C4.01 THROUGH C6.00 FOR DETAIL SITE INFORMATION.
  - INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. 13. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
  - ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
  - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
  - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
  - ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
  - ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - ALL PAVEMENT MARKINGS ON-SITE ARE PAINT, UNLESS OTHERWISE NOTED.
  - SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
  - IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND CITY OF PORTSMOUTH SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.
  - PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE CONTACT PORTSMOUTH STORMWATER MGMT. AT (603) 427-1530 FOR A POTENTIAL SOIL EROSION AND SEDIMENT CONTROL, PRE-INSPECTION MEETING.
  - THE CONTRACTOR MUST PROVIDE A DEWATERING PLAN, IF APPLICABLE, TO CITY OF PORTSMOUTH BUILDING AND SITE DEVELOPMENT DIVISION AT (603) 610-7243 FOR REVIEW PRIOR TO THE EROSION CONTROL MEASURES PRE-INSPECTION MEETING.
  - ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
  - RECORDING NOTE:
    - THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
    - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
  - OVERALL EXISTING AND SITE LAYOUT SHEETS ARE A COMBINATION OF PAST SURVEYS AND DESIGN INFORMATION.
  - TOPOGRAPHY AND EXISTING CONDITIONS ON SHEETS C4.01 THROUGH C6.00 ARE FROM FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. ON 10/2019.
  - FLOOD HAZARD ZONE: ZONE X (OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. #3301SC0269F, DATED 01/29/2021.
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  - JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE WITH:
    - 2012 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT ERDC/EL TR-12-1.
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  - UNDERGROUND ELECTRIC, WATER, GAS, & SEWER LOCATIONS BASED ON SURFACE MARKINGS BY GPRS, INC ON 10/2019.
  - A. THIS SITE IS LOCATED WITHIN THE WELL HEAD PROTECTION AREA OF THE PORTSMOUTH WATER SUPPLY.
    - B. THE CONTRACTOR SHALL EXERCISE DUE CARE IN THE OPERATION OF ALL EQUIPMENT ON SITE. THE CONTRACTOR SHALL HAVE A SPILL CLEAN-UP KIT AVAILABLE ON SITE DURING CONSTRUCTION. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. FOLLOW THE CITY'S AQUIFER PROTECTION GUIDELINES AVAILABLE AT THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.

**Kimley»Horn**  
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PORTSMOUTH REGIONAL  
 HOSPITAL  
 RADIATION ONCOLOGY ADDITION  
 PORTSMOUTH, NEW HAMPSHIRE



NO.	DATE	BY	REVISIONS
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DESIGNED BY: ZCN  
 DRAWN BY: ZCN  
 CHECKED BY: MEH  
 DATE: 06/28/2022  
 KIMLEY-HORN PROJECT NO. 118252004

**SITE LAYOUT - OVERALL**

**C4.00**

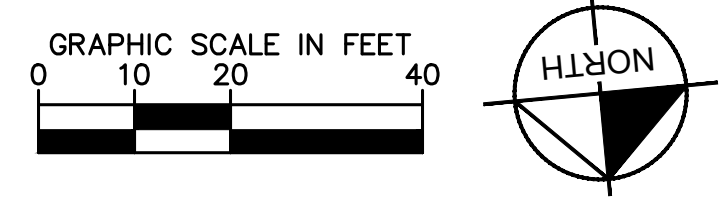
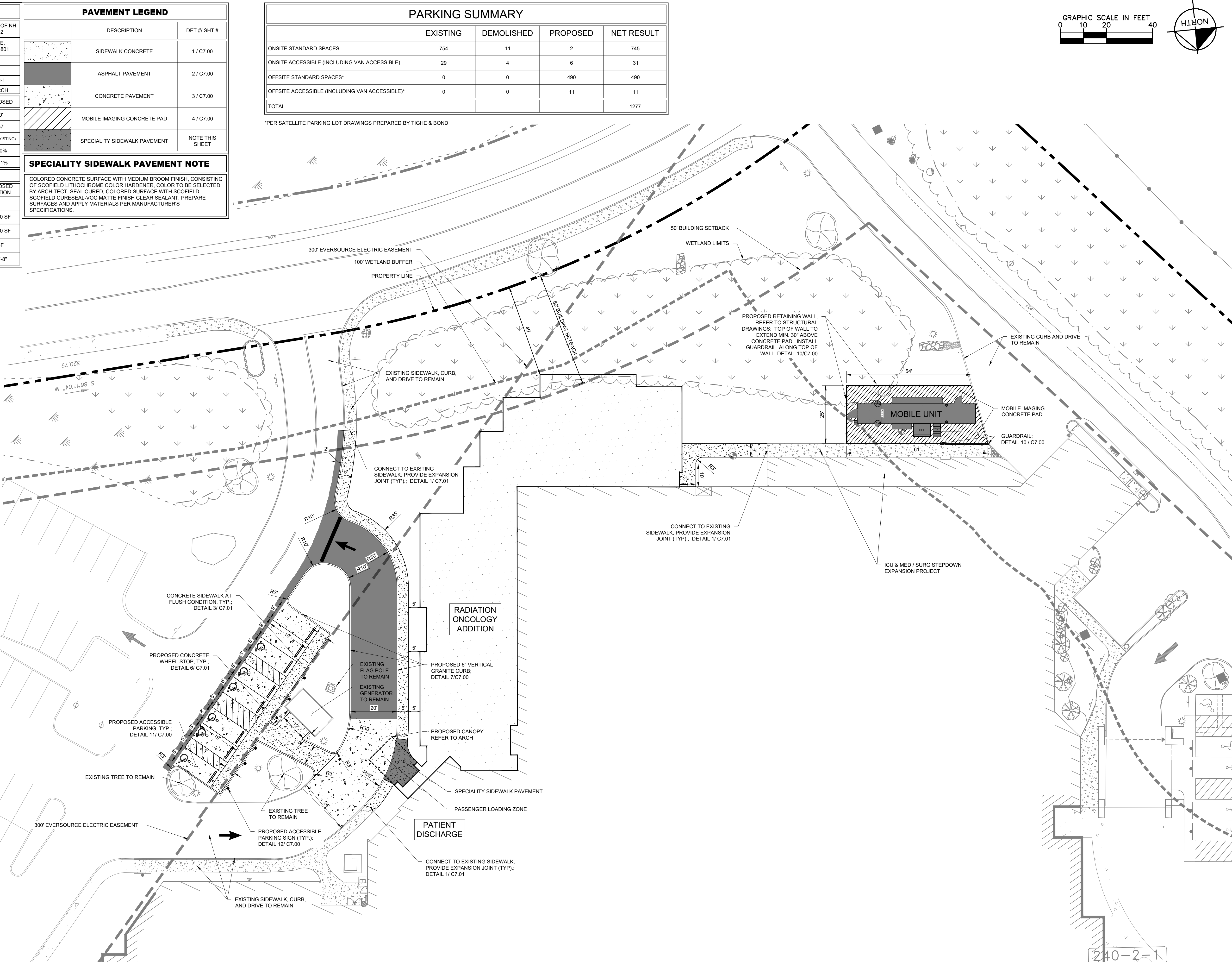
SITE DATA TABLE			
OWNER OF RECORD	HCA HEALTH SERVICES OF NH INC D/B/A PRH 32902		
SITE ADDRESS	333 BORTHWICK AVE PORTSMOUTH, NH 03801		
SITE AREA	± 20.87 AC		
DISTURBANCE LIMITS W/ THIS PROJECT	± 0.7 AC		
TAX MAP & LOT	TAX MAP 240, LOT 2-1		
ZONING	OR - OFFICE RESEARCH		
SETBACKS	REQUIRED	PROPOSED	
FRONT YARD SETBACK	50'-0"	±40'	
REAR YARD SETBACK	50'-0"	±157'	
SIDE YARD SETBACK	75'-0"	±71" (EXISTING)	
MIN. OPEN SPACE ON A LOT	30%	±39.0%	
MAX BUILDING COVERAGE	30%	± 20.1%	
BUILDING DATA			
	EXISTING	PROPOSED ADDITION	
HOSPITAL BEDS	233	0	
HOSPITAL/ MOB FLOOR PLATE	±173,916 SF	± 8,700 SF	
HOSPITAL GROSS AREA	±427,495 SF	± 8,870 SF	
MEDICAL OFFICE BUILDING GROSS AREA (ATTACHED TO HOSPITAL BUILDING)	±46,665 SF	0 SF	
BUILDING HEIGHT	± 65'-4"	± 14'-8"	

PAVEMENT LEGEND		
	DESCRIPTION	DET #/ C7.00
	SIDEWALK CONCRETE	1 / C7.00
	ASPHALT PAVEMENT	2 / C7.00
	CONCRETE PAVEMENT	3 / C7.00
	MOBILE IMAGING CONCRETE PAD	4 / C7.00
	SPECIALITY SIDEWALK PAVEMENT	NOTE THIS SHEET

PARKING SUMMARY				
	EXISTING	DEMOLISHED	PROPOSED	NET RESULT
ONSITE STANDARD SPACES	754	11	2	745
ONSITE ACCESSIBLE (INCLUDING VAN ACCESSIBLE)	29	4	6	31
OFFSITE STANDARD SPACES*	0	0	490	490
OFFSITE ACCESSIBLE (INCLUDING VAN ACCESSIBLE)*	0	0	11	11
TOTAL				1277

**SPECIALITY SIDEWALK PAVEMENT NOTE**  
 COLORED CONCRETE SURFACE WITH MEDIUM BROOM FINISH, CONSISTING OF SCOFIELD LITHOCHROME COLOR HARDENER, COLOR TO BE SELECTED BY ARCHITECT. SEAL CURED, COLORED SURFACE WITH SCOFIELD SCOFIELD CURESEAL-VOO MATTE FINISH CLEAR SEALANT. PREPARE SURFACES AND APPLY MATERIALS PER MANUFACTURER'S SPECIFICATIONS.

- SITE LAYOUT NOTES**
- INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
  - ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
  - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
  - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
  - ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
  - ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - ALL PAVEMENT MARKINGS ON-SITE ARE PAINT, UNLESS OTHERWISE NOTED.
  - SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
  - IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND CITY OF PORTSMOUTH SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.
  - PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE CONTACT PORTSMOUTH STORMWATER MGMT. AT (603) 427-1530 FOR A POTENTIAL SOIL EROSION AND SEDIMENT CONTROL PRE-INSPECTION MEETING.
  - THE CONTRACTOR MUST PROVIDE A DEWATERING PLAN, IF APPLICABLE, TO CITY OF PORTSMOUTH BUILDING AND SITE DEVELOPMENT DIVISION AT (603) 810-7243 FOR REVIEW PRIOR TO THE EROSION CONTROL MEASURES PRE-INSPECTION MEETING.
  - ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
  - RECORDING NOTE:  
 THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
  - TOPOGRAPHY AND EXISTING CONDITIONS FROM FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. ON 10/2019.
  - FLOOD HAZARD ZONE, ZONE X (OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. #33015C0260F, DATED 01/29/2021.
  - HORIZONTAL DATUM IS BASED ON NAD 1983.
  - VERTICAL DATUM BASED ON NAVD88.
  - JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE WITH:  
 • 2012 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT ERDC/EL TR-12-  
 • FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, APRIL 2019.  
 • US ARMY CORPS OF ENGINEERS NATIONAL WETLAND PLAN US, 2018.  
 • CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE U.S., USFW MANUAL FWS/OBS-79/31 (1979).
  - UNDERGROUND ELECTRIC, WATER, GAS, & SEWER LOCATIONS BASED ON SURFACE MARKINGS BY GPRS, INC ON 10/2019.



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PORTSMOUTH REGIONAL HOSPITAL  
 RADIATION ONCOLOGY ADDITION  
 PORTSMOUTH, NEW HAMPSHIRE



DATE	BY

DESIGNED BY: ZCN  
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 DATE: 06/28/2022  
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**SITE LAYOUT - ENLARGEMENT**

**C4.01**

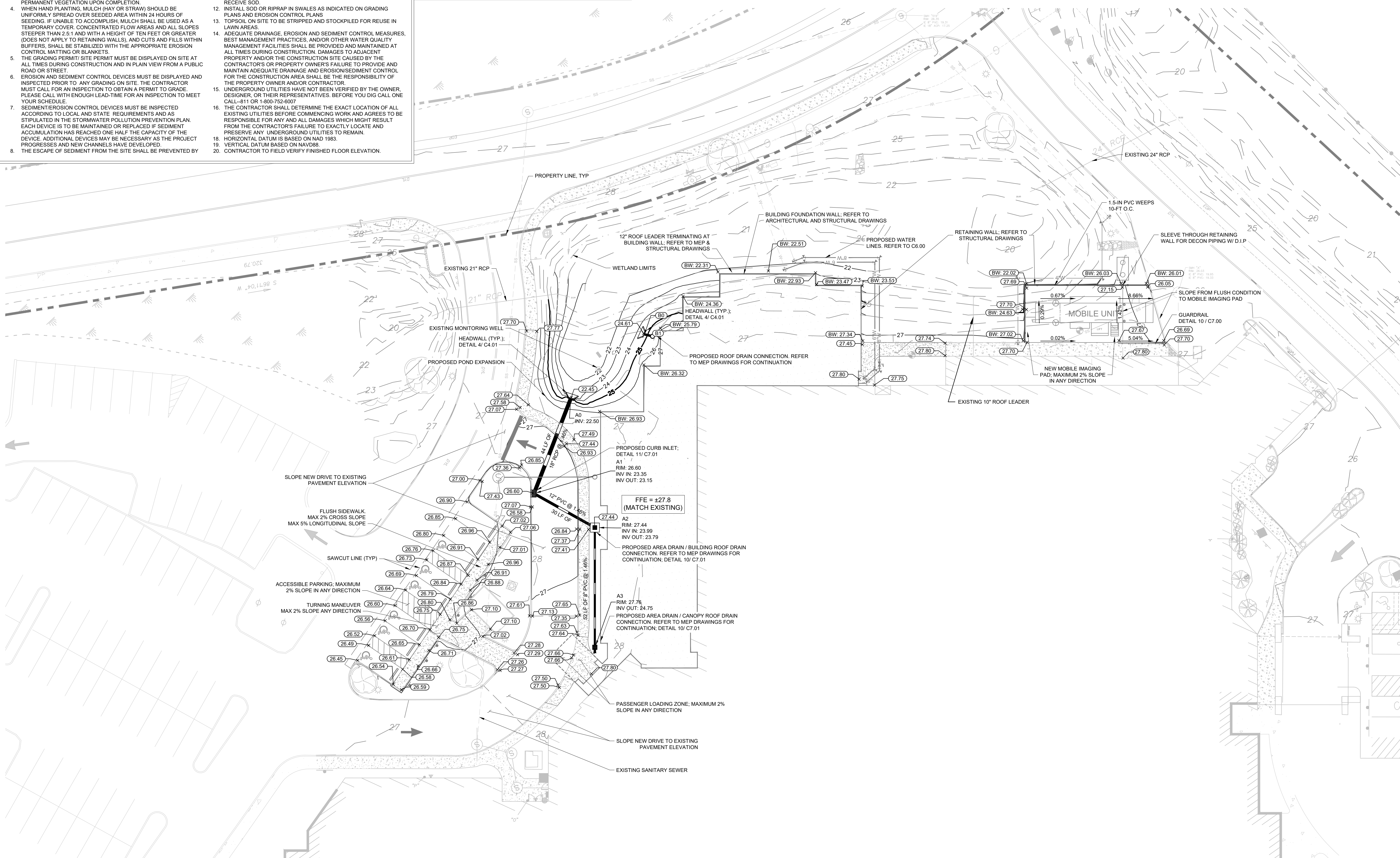
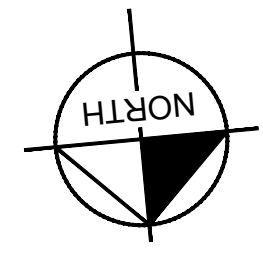
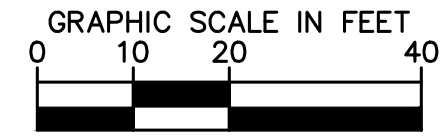
**GRADING NOTES**

- CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- THE GRADING PERMIT SITE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
- SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY

- THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
- INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
- TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-752-6007.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
- HORIZONTAL DATUM IS BASED ON NAD 1983.
- VERTICAL DATUM BASED ON NAVD83.
- CONTRACTOR TO FIELD VERIFY FINISHED FLOOR ELEVATION.

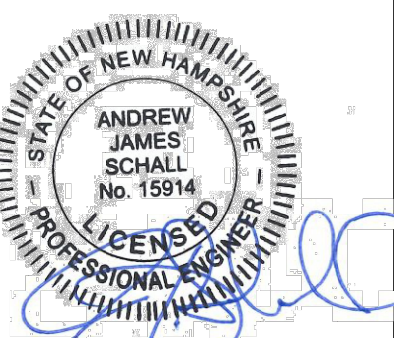
**GRADING PLAN LEGEND**

- SPOT ELEVATION
- HP HIGH POINT
- TC TOP OF CURB
- TW GRADE AT TOPSIDE OF WALL
- INV INVERT
- ME MATCH EXISTING
- FINISH FLOOR ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LP LOW POINT
- BC BOTTOM OF CURB / GUTTER LINE
- BW GRADE AT BOTTOM SIDE OF WALL
- RM RIM
- TOP OF GRATE / COVER



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**GRADING & DRAINAGE PLAN**

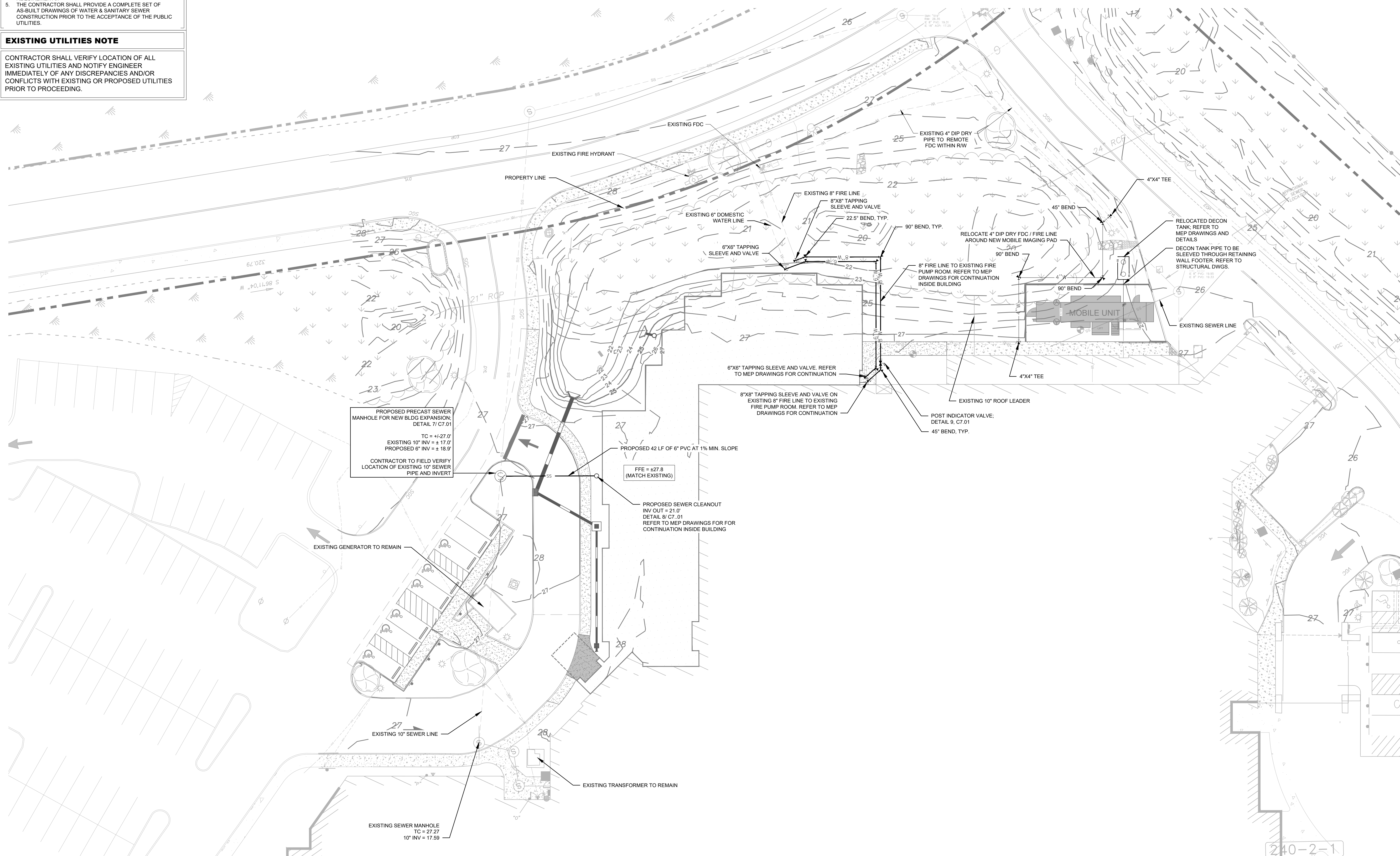
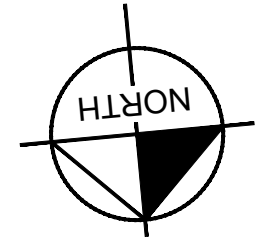
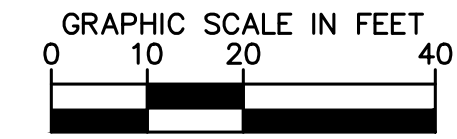
**C5.00**

**UTILITY NOTES**

1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH CITY OF PORTSMOUTH WATER/SEWER DEPARTMENT STANDARD SPECIFICATIONS.
3. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
4. REFER TO CITY OF PORTSMOUTH WATER/SEWER DEPARTMENT STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
5. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.

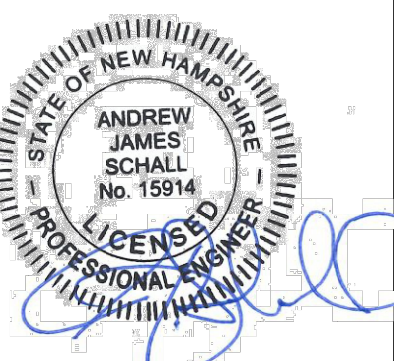
**EXISTING UTILITIES NOTE**

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.



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**RADIATION ONCOLOGY ADDITION**  
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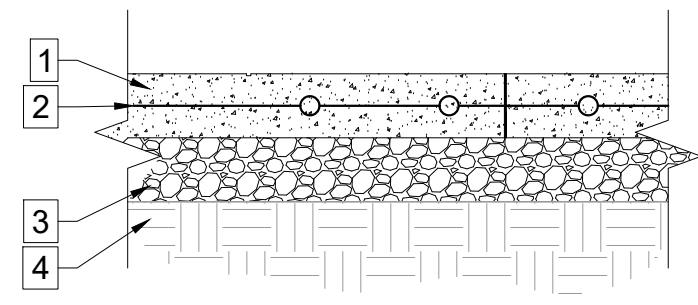


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**SITE UTILITY PLAN**

**C6.00**

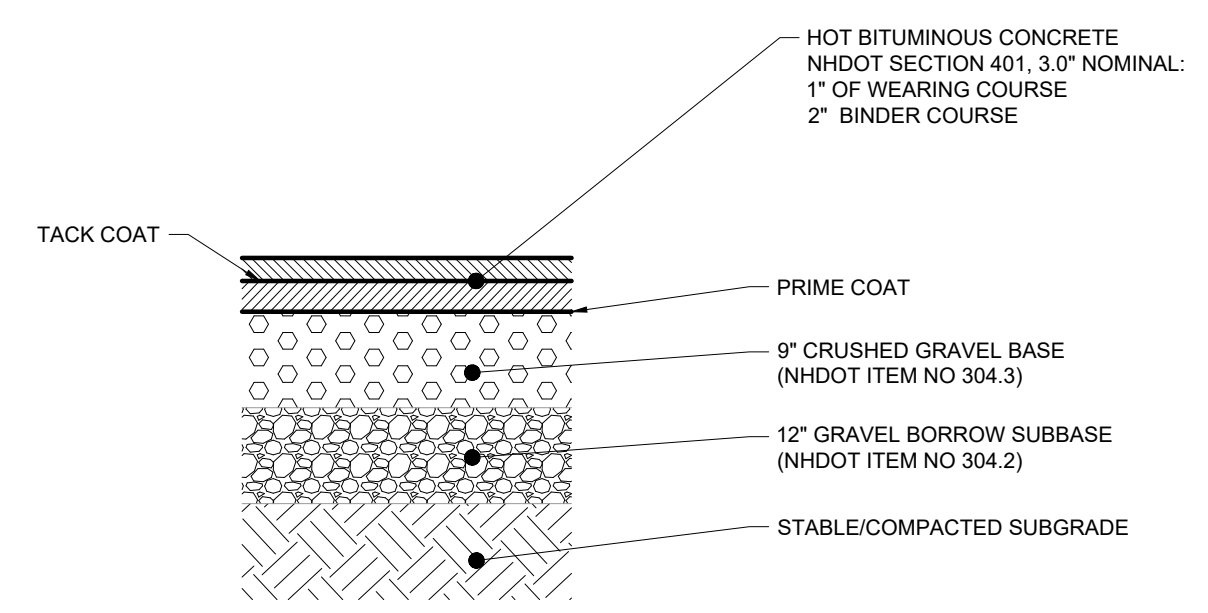


- NOTES:
- PAVEMENT SECTION TO BE PROVIDED BY GEOTECH REPORT. FINAL PAVEMENT SECTION TO BE DETERMINED BY ONSITE GEOTECH BASED UPON EXISTING SOIL CONDITIONS.
  - FIBER MESH REINFORCING CAN BE SUBSTITUTED FOR W/M. APPLICATION RATES SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH NH-DOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
  - LIGHT BROOM FINISH SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.

**PAVEMENT LEGEND**

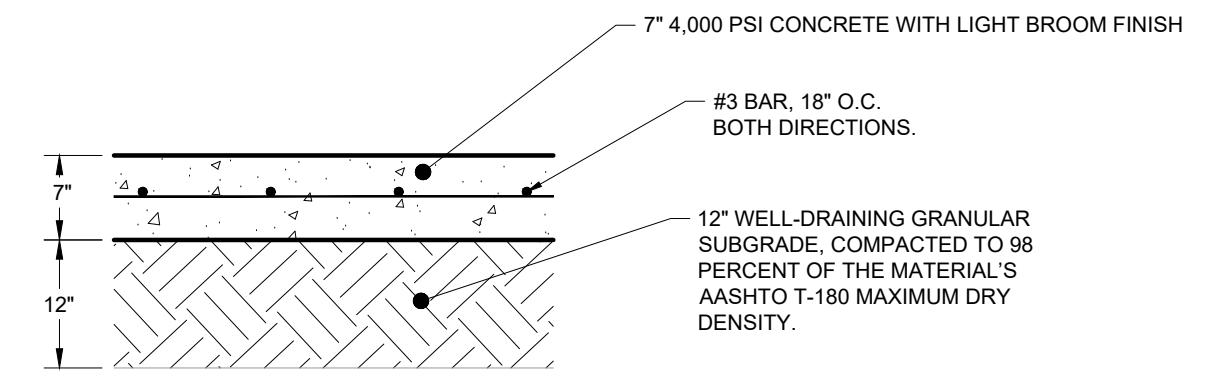
1	4" 3,500 PSI CONCRETE WITH LIGHT BROOM FINISH
2	6 X 6, 10, 10 W.W.M.
3	6" COMPACTED CRUSHED GRAVEL (NHDOT 304.3)
4	COMPACTED SUBGRADE

**1 CONCRETE SIDEWALK**  
NOT TO SCALE



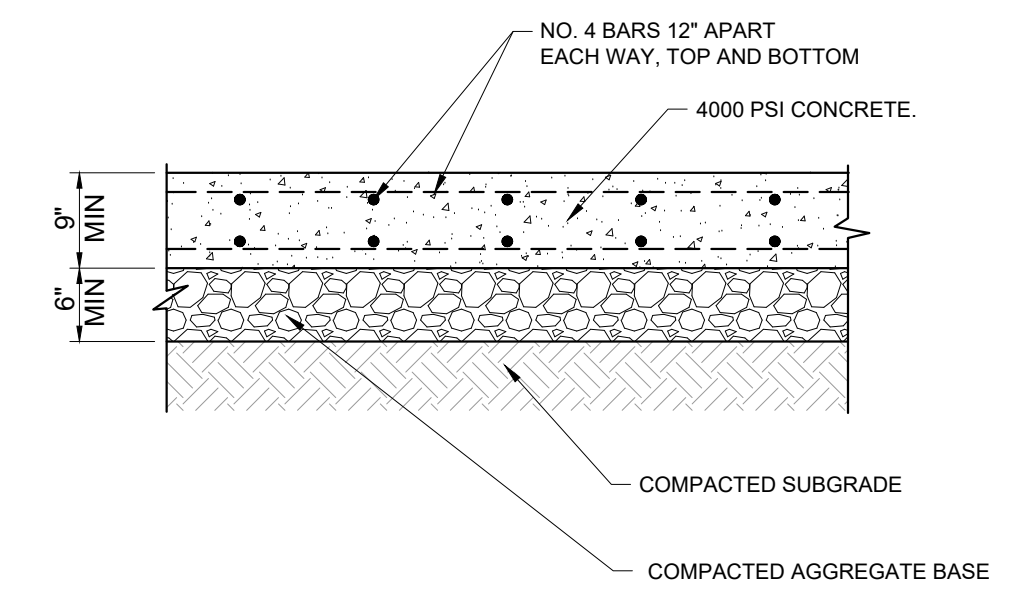
- NOTES:
- PAVEMENT SECTION PER GEOTECH ENGINEER REPORT PREPARED BY HALEY & ALDRICH, INC., DATED APRIL 2022. FINAL PAVEMENT SECTION TO BE DETERMINED BY ONSITE GEOTECH BASED UPON EXISTING SOIL CONDITIONS.
  - ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH NH-DOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.

**2 HEAVY DUT ASPHALT**  
NOT TO SCALE



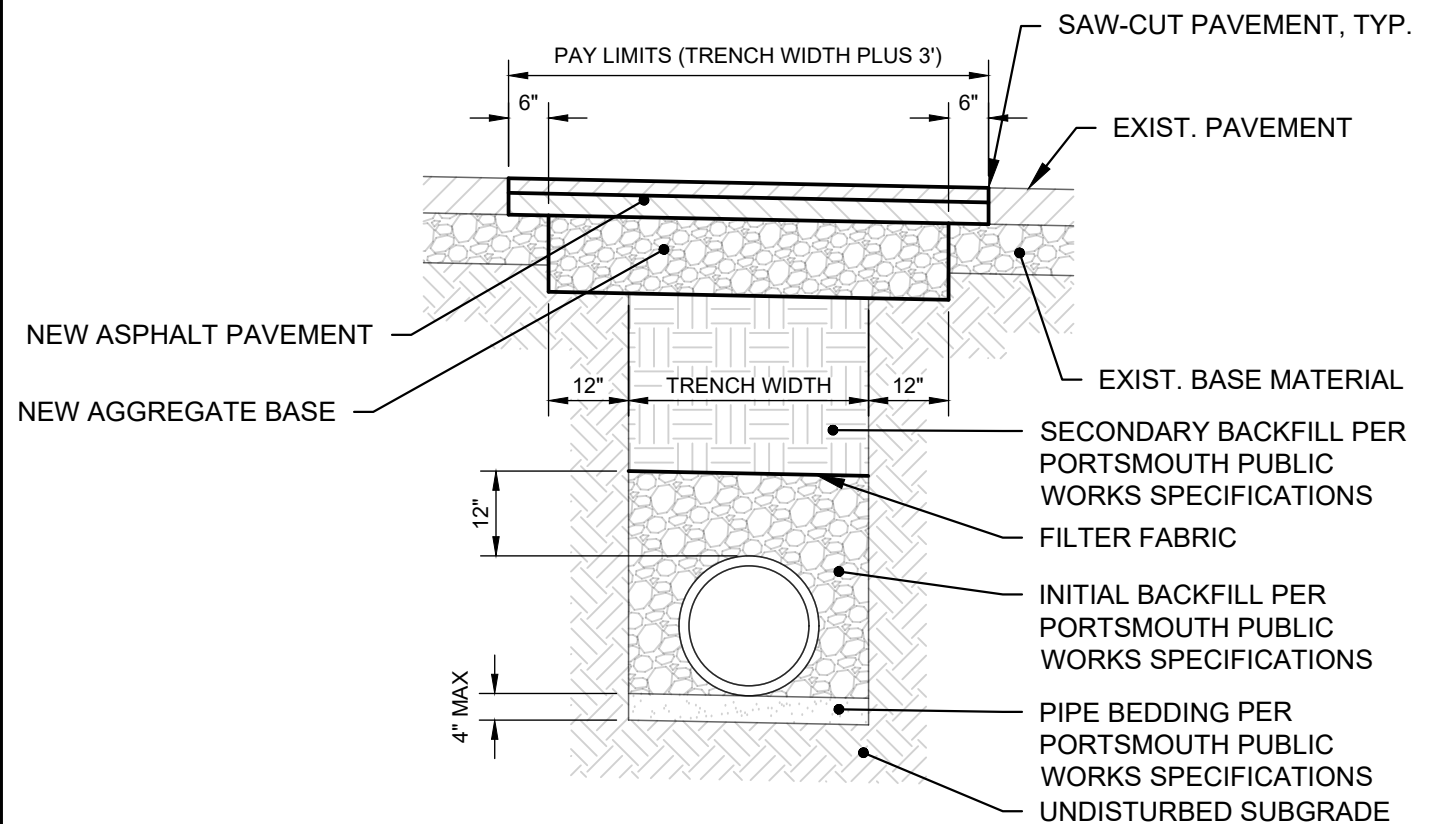
- NOTES:
- SEE GEOTECHNICAL SPECIFICATIONS FOR SUBGRADE REQUIREMENTS. PAVING SECTION PROVIDED IS TAKEN FROM THE ASSOCIATED GEOTECH REPORT.
  - ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
  - BROOM FINISH SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  - PLACE EXPANSION JOINTS AT A MAXIMUM OF 75' O.C. AND 1.75' DEEP.
  - PLACE CONTROL JOINTS AT A MAXIMUM OF 14' O.C.

**3 CONCRETE PAVEMENT**  
NOT TO SCALE



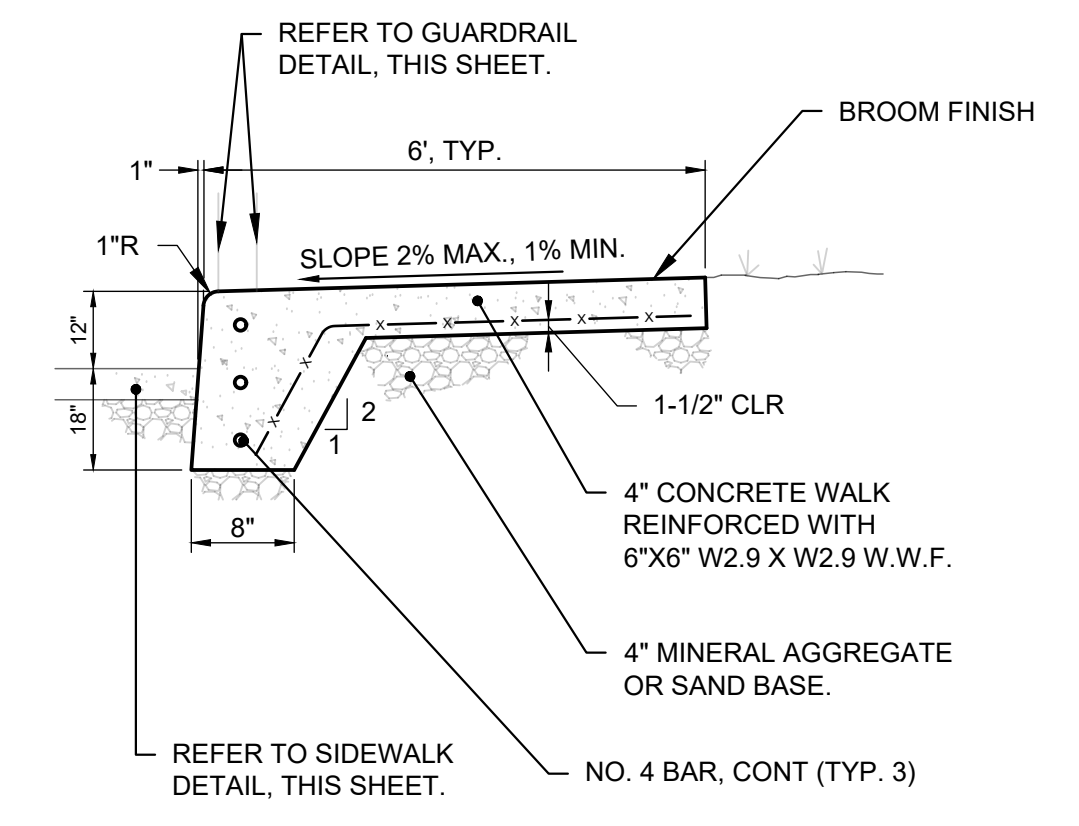
- NOTE:
- CONTRACTOR TO VERIFY SLAB THICKNESS AND REINFORCING WITH THE MOBILE IMAGING UNIT VENDOR. SOME SYSTEMS MAY REQUIRE THICKER PAVEMENT AND/OR NON-FERROUS REINFORCEMENT OR FIBERGLASS REINFORCED CONCRETE.

**4 MOBILE IMAGING CONCRETE PAD**  
NOT TO SCALE



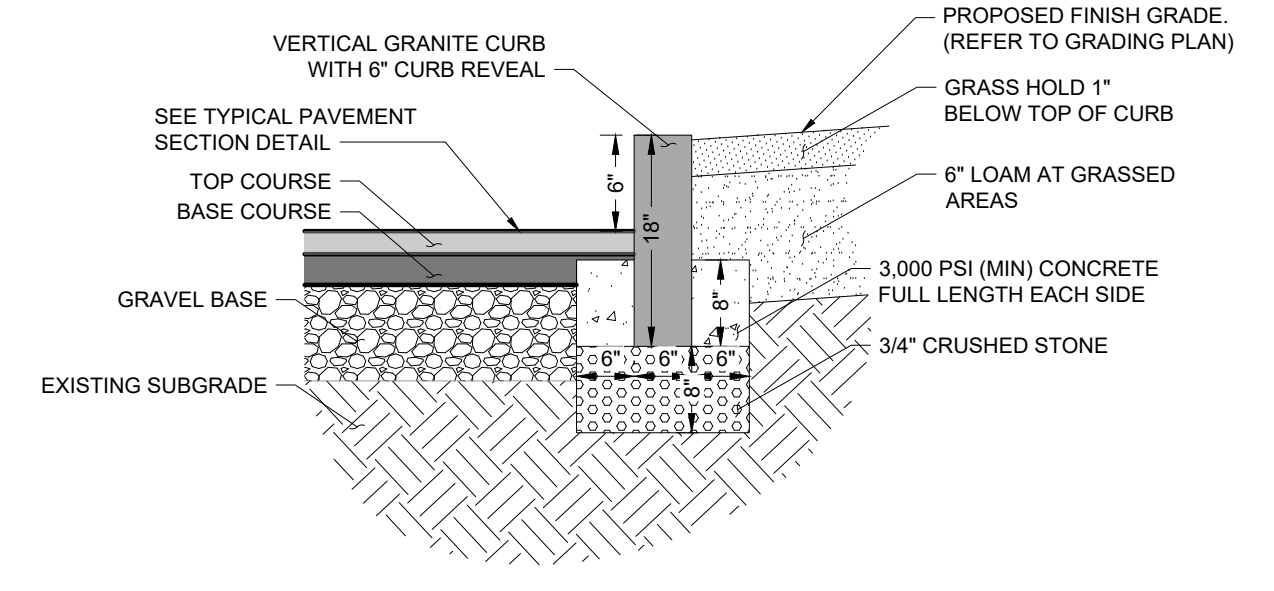
- NOTES:
- THE NEW ASPHALT PAVEMENT SHALL BE OF THE SAME TYPE AND, AT A MINIMUM, THE SAME THICKNESS AS THE EXISTING ASPHALT PAVEMENT.
  - THE NEW AGGREGATE BASE SHALL BE AT LEAST 1.5 TIMES THE THICKNESS OF THE EXISTING AGGREGATE BASE (6" MINIMUM).

**5 PAVEMENT TRENCH REPAIR**  
NOT TO SCALE



- NOTES:
- USE 4000 PSI CONCRETE AND GRADE 60 STEEL.
  - PROVIDE CONTROL JOINTS 5' APART AND EXPANSION JOINTS 25' APART, AND WHERE SIDEWALKS ABUT RIGID MATERIALS.

**6 SIDEWALK WITH 12" TURNDOWN**  
NOT TO SCALE

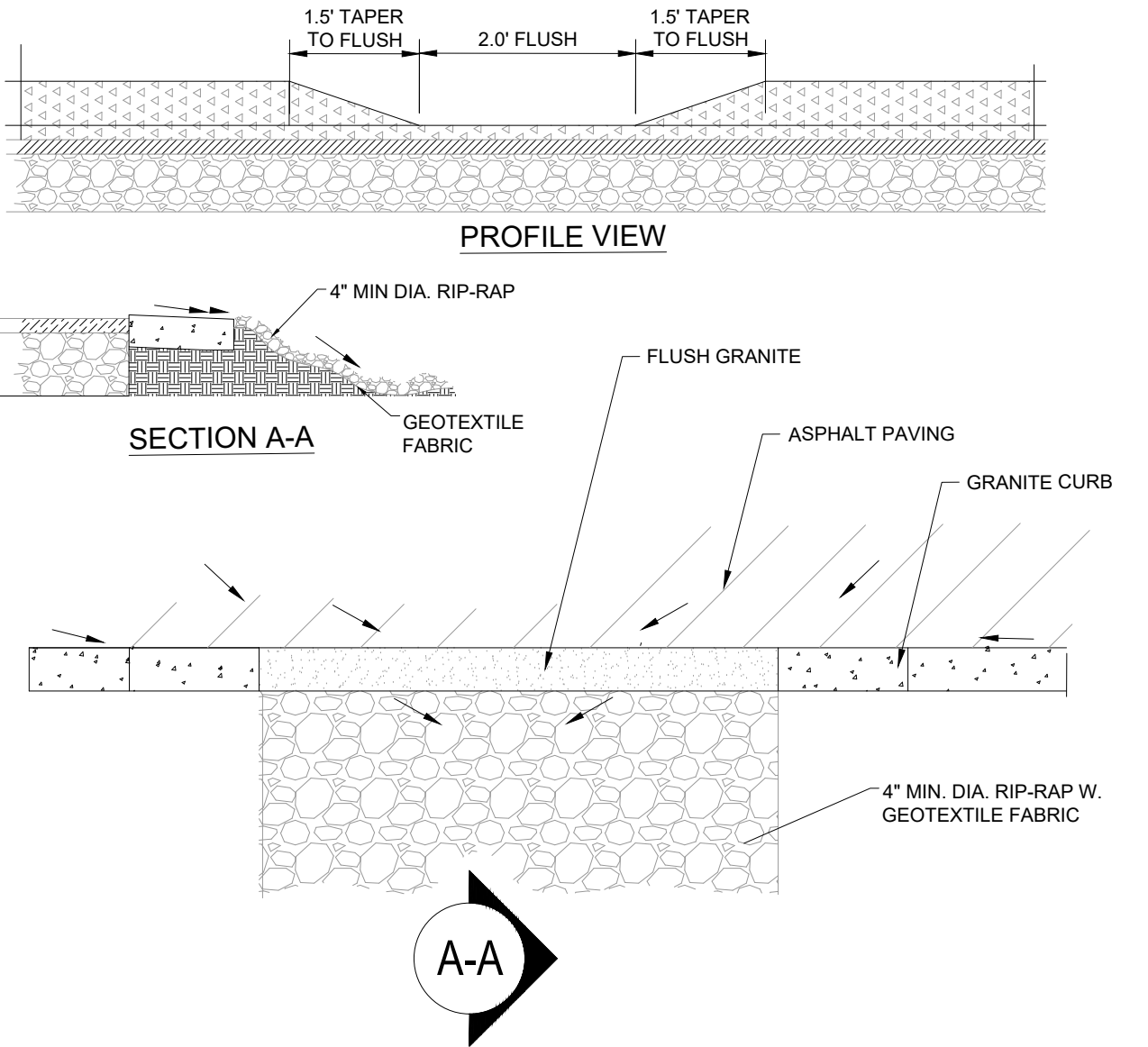


- NOTES:
- ADJOINING STONES SHALL HAVE THE SAME LENGTH.
  - JOINTS BETWEEN STONES SHALL HAVE A MAX SPACING OF 1/2" AND SHALL BE MORTARED.

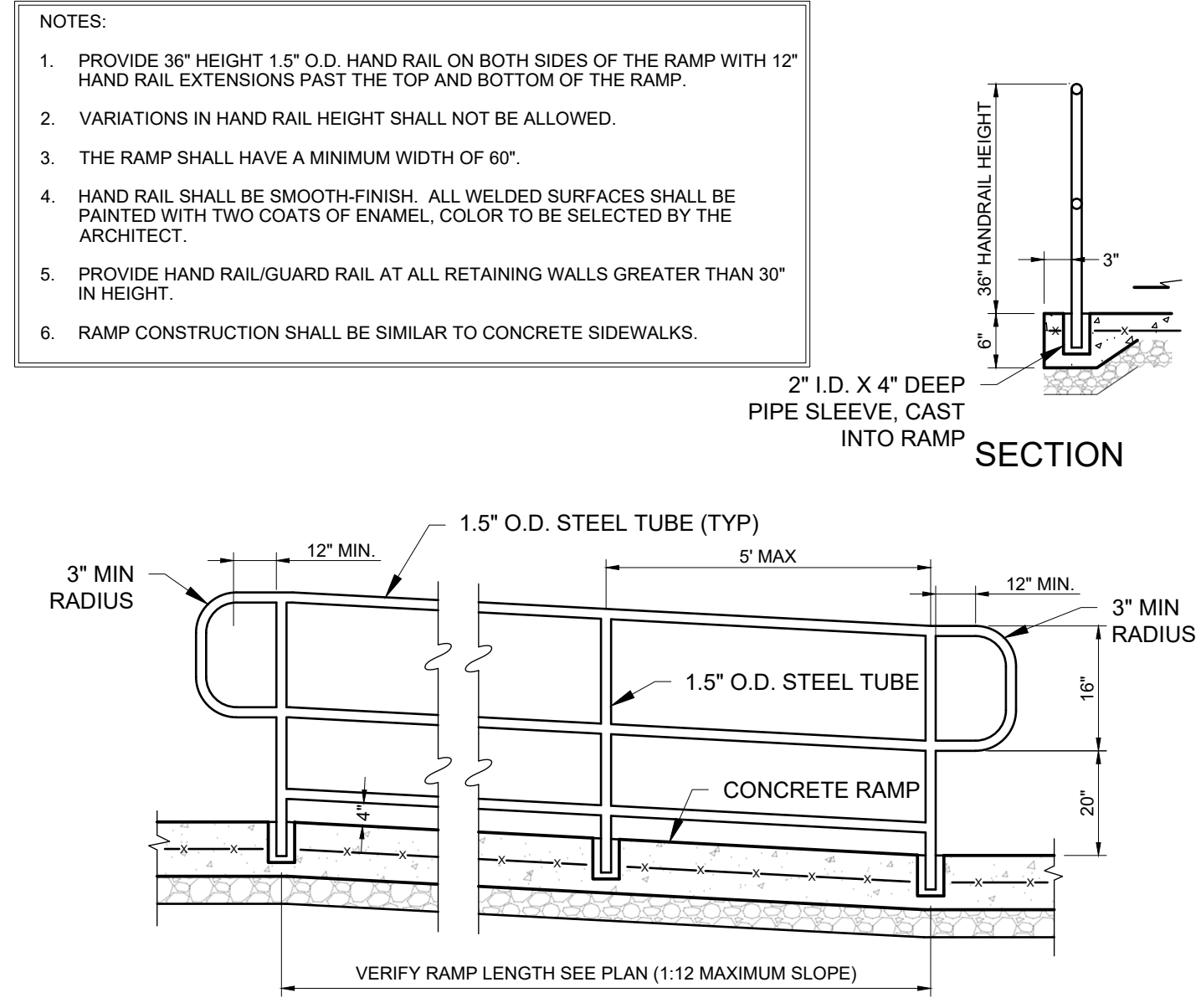
**7 6" VERTICAL GRANITE CURB**  
NOT TO SCALE

**CURB RADIUS TABLE**

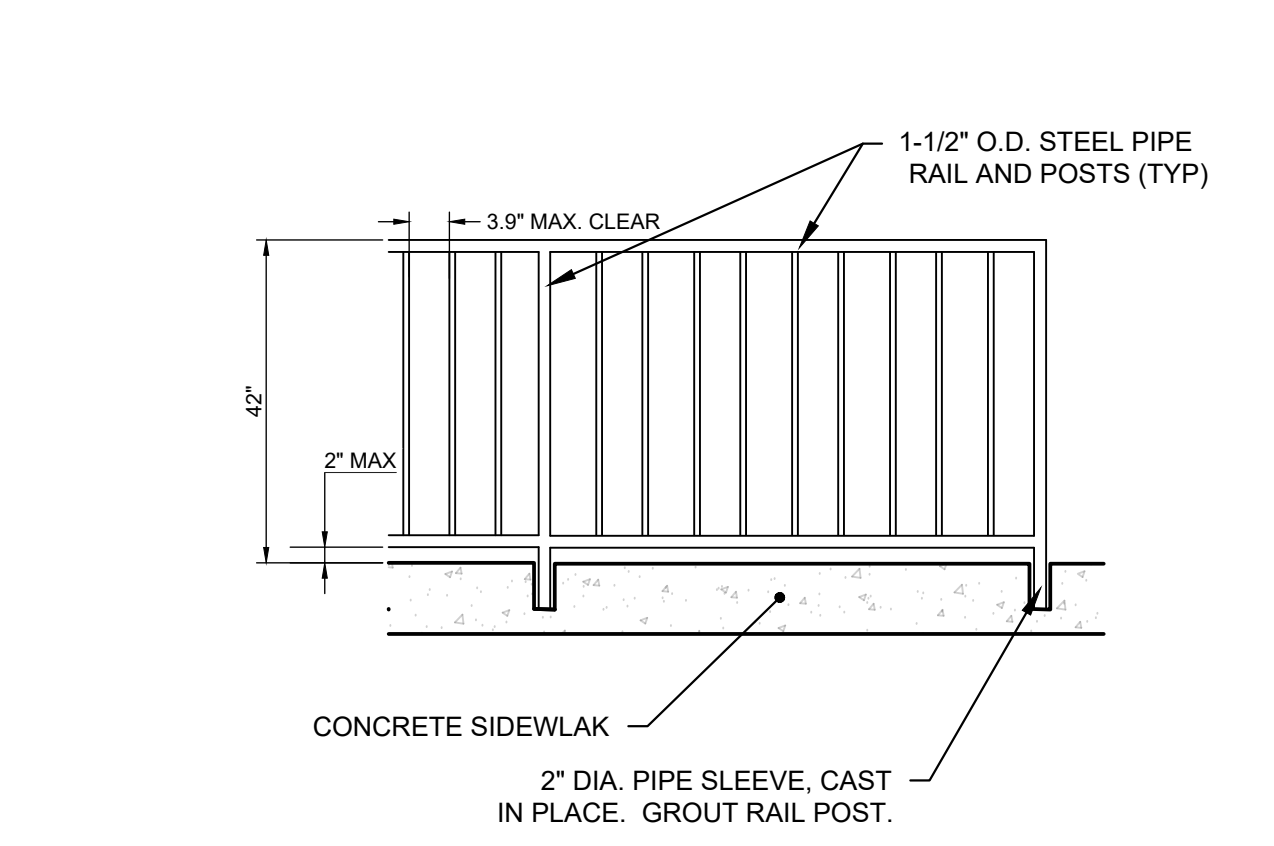
RADIUS	MAX LENGTH
<20'	USE CURVED CURB
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
>60'	10'



**8 CURB CUT**  
NOT TO SCALE

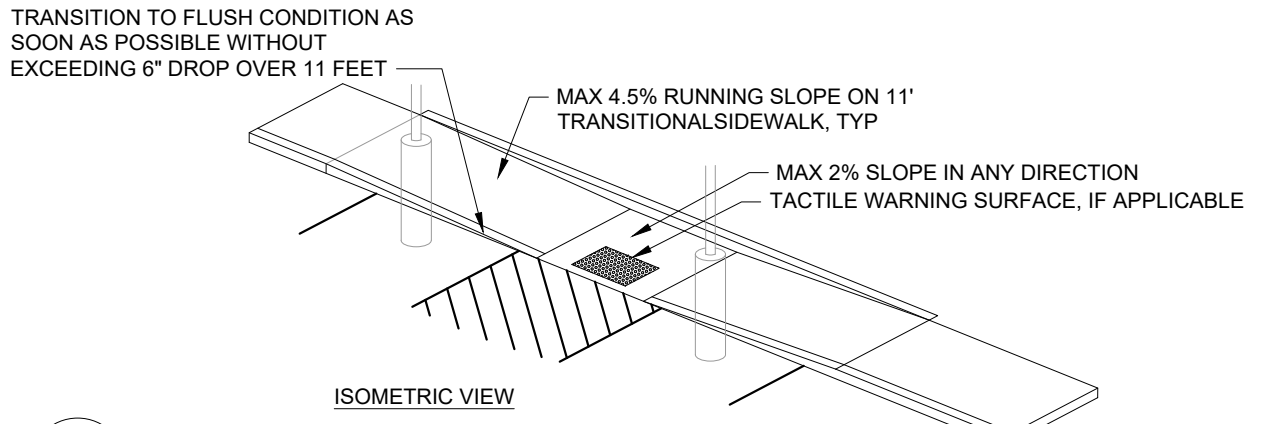
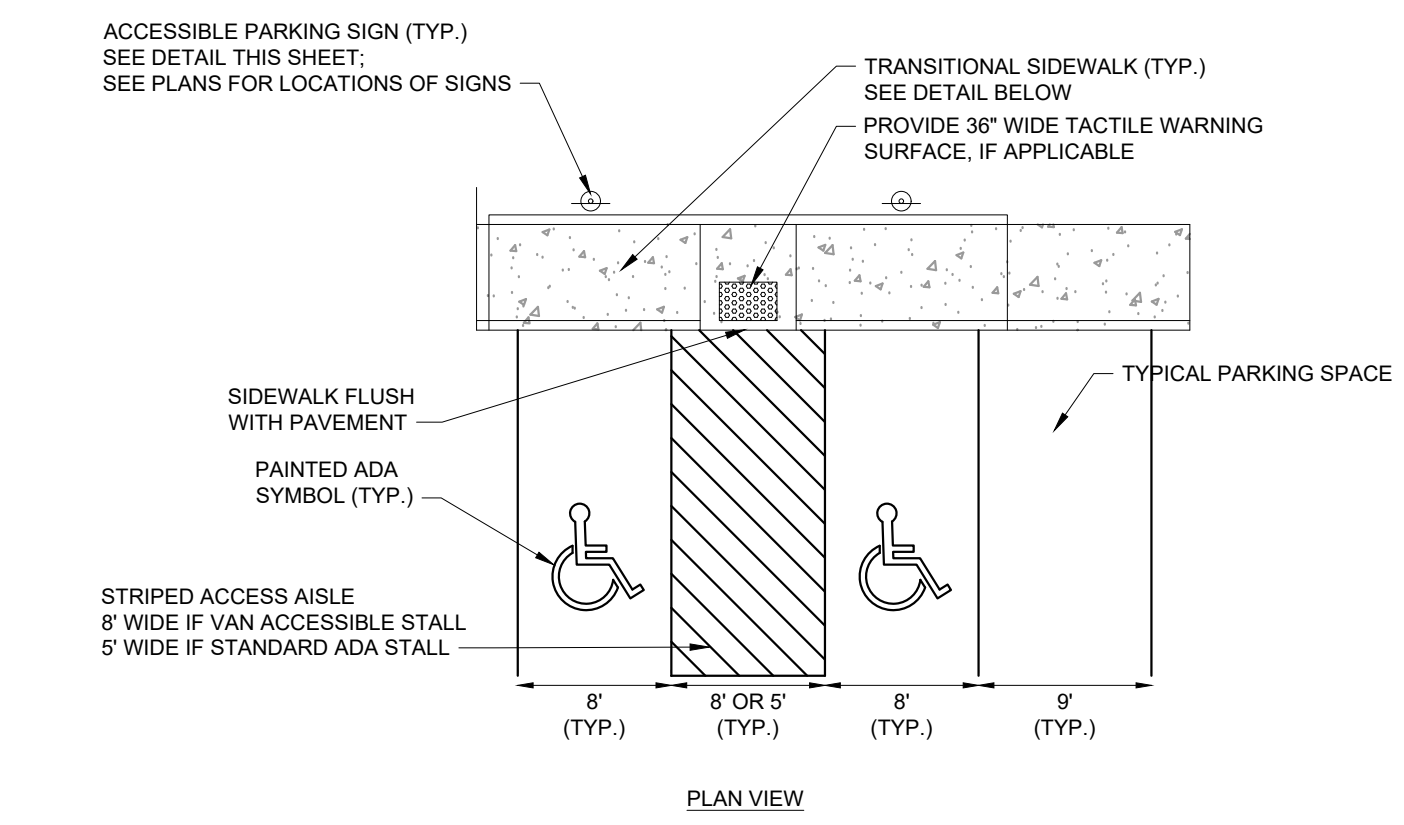


**9 ACCESSIBLE RAMP WITH HANDRAIL**  
NOT TO SCALE

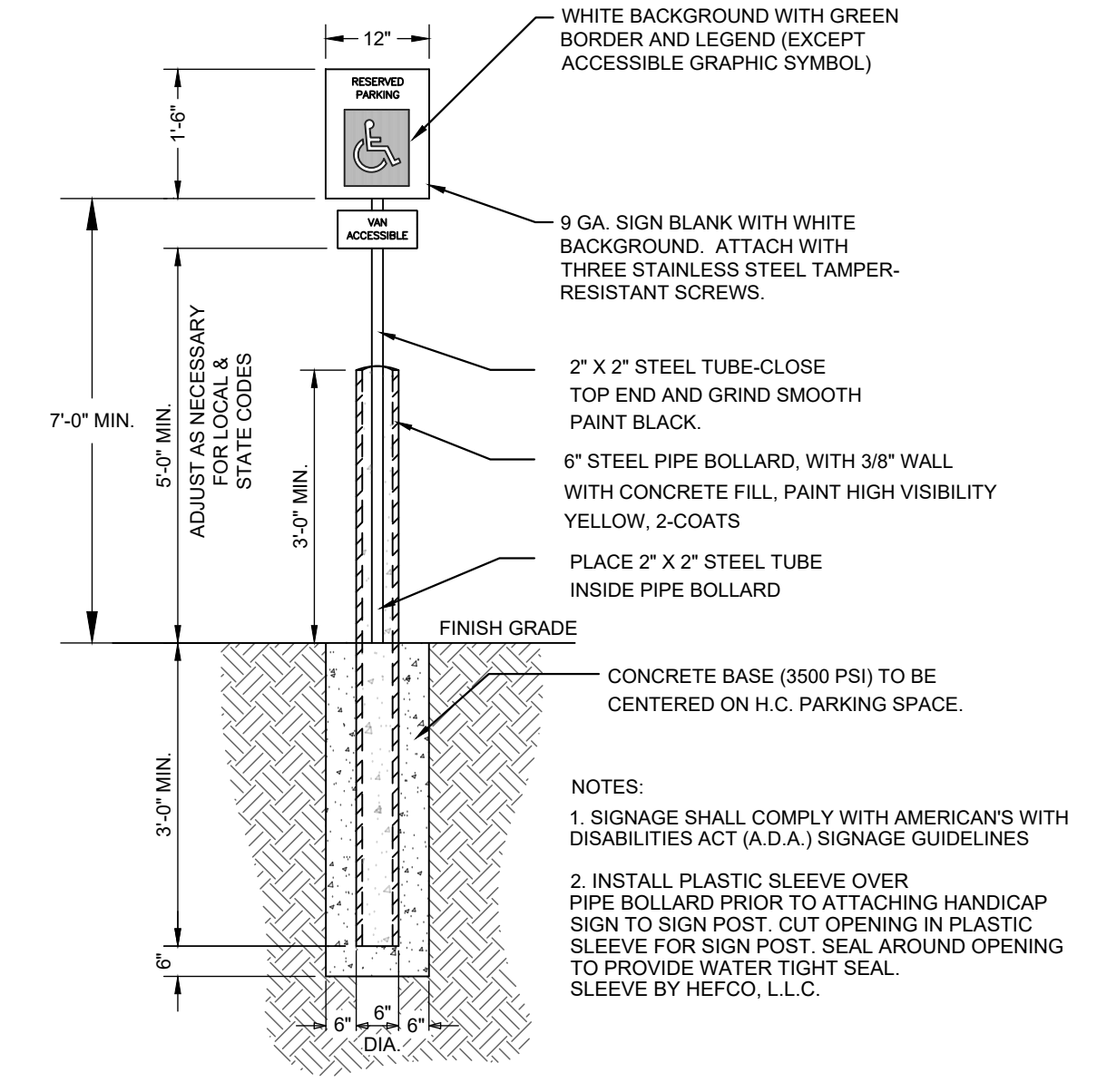


- NOTES:
- VARIATIONS IN GUARD RAIL HEIGHT SHALL NOT BE ALLOWED.
  - MAXIMUM CLEARANCE BETWEEN BOTTOM RAIL AND CONCRETE SHALL BE 2". GUARD RAIL SHALL BE SMOOTH-FINISHED, ALL WELDED SURFACES PRIMED AND PAINTED WITH TWO COATS OF ENAMEL. COLOR TO BE SELECTED BY ARCHITECT.

**10 GUARD RAIL**  
NOT TO SCALE



**11 ADA PARKING STALL LAYOUT**  
NOT TO SCALE



**12 ACCESSIBLE PARKING SIGNAGE**  
NOT TO SCALE

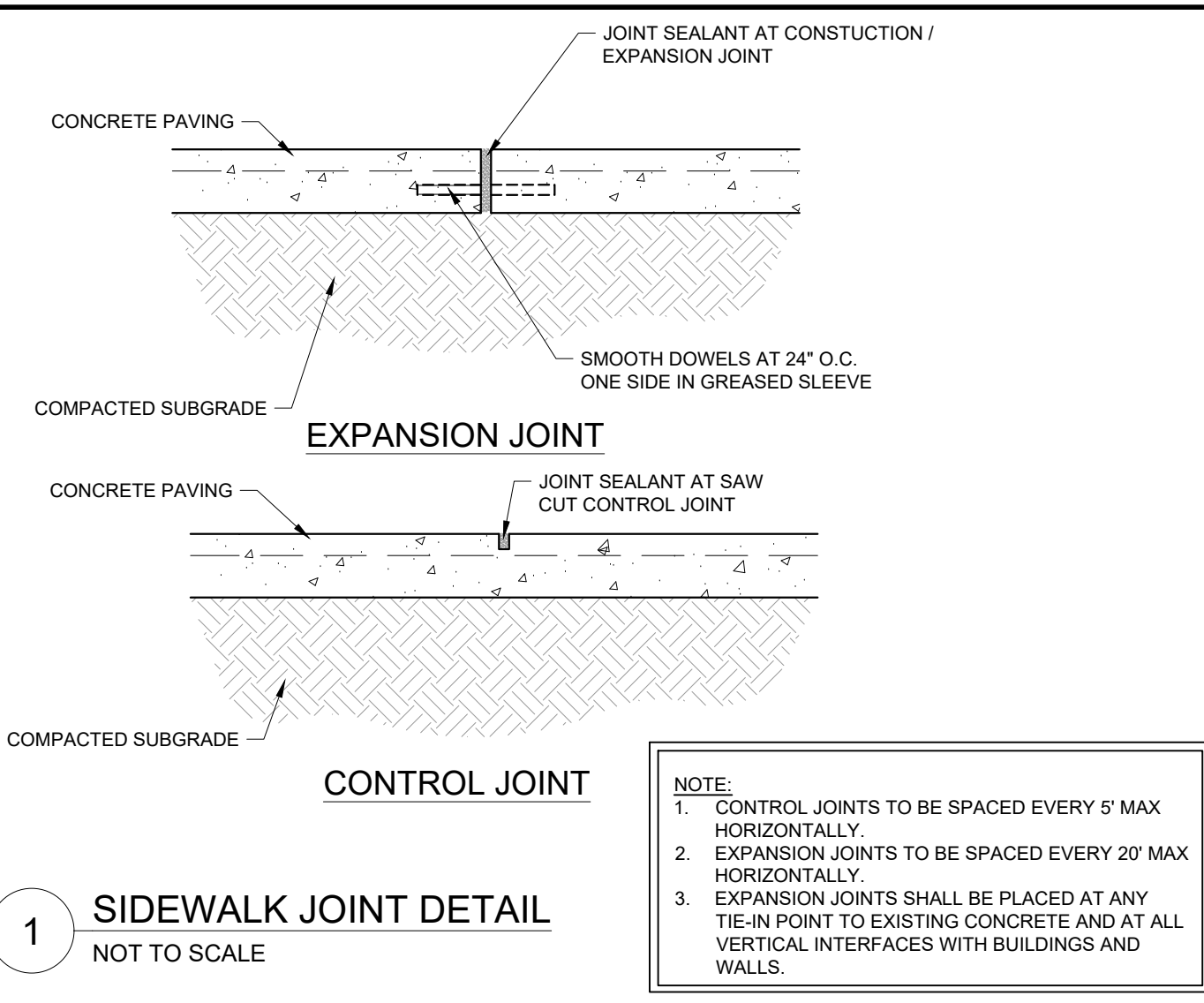


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DESIGNED BY: ZCN  
DRAWN BY: ZCN  
CHECKED BY: MEH  
DATE: 06/28/2022  
KIMLEY-HORN PROJECT NO. 118252004

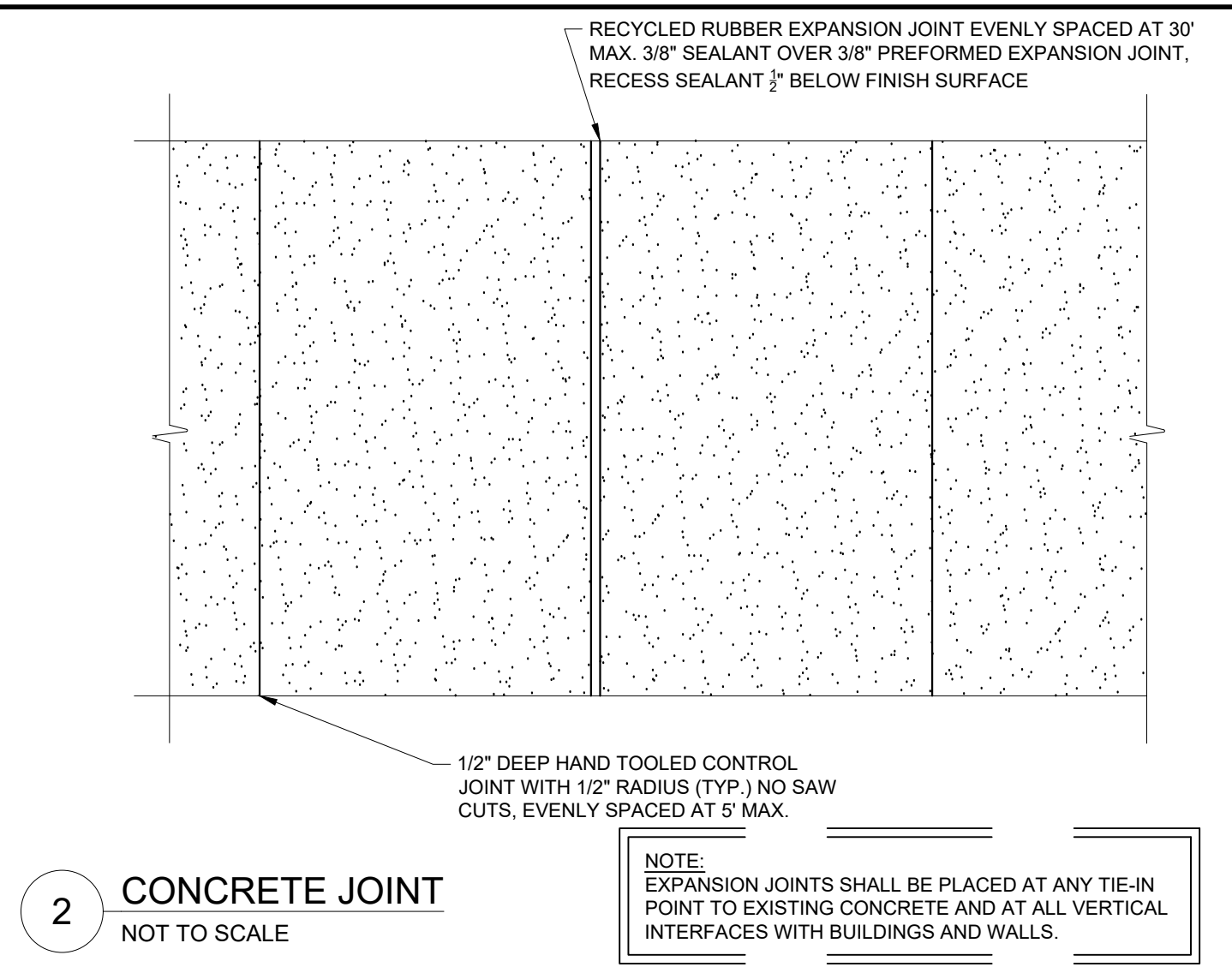
**SITE DETAILS**





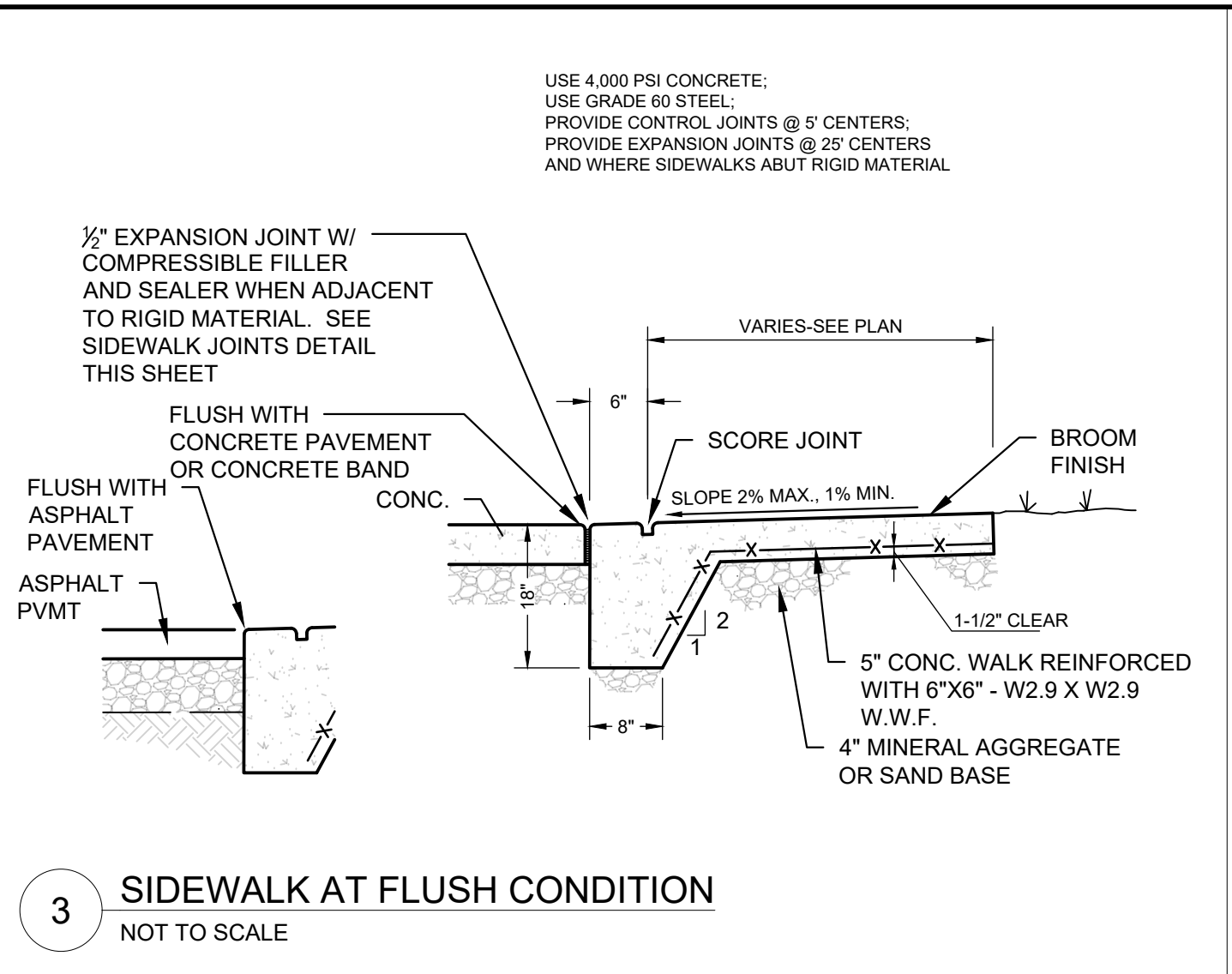
1 **SIDEWALK JOINT DETAIL**  
NOT TO SCALE

**NOTE:**  
1. CONTROL JOINTS TO BE SPACED EVERY 5' MAX HORIZONTALLY.  
2. EXPANSION JOINTS TO BE SPACED EVERY 20' MAX HORIZONTALLY.  
3. EXPANSION JOINTS SHALL BE PLACED AT ANY TIE-IN POINT TO EXISTING CONCRETE AND AT ALL VERTICAL INTERFACES WITH BUILDINGS AND WALLS.

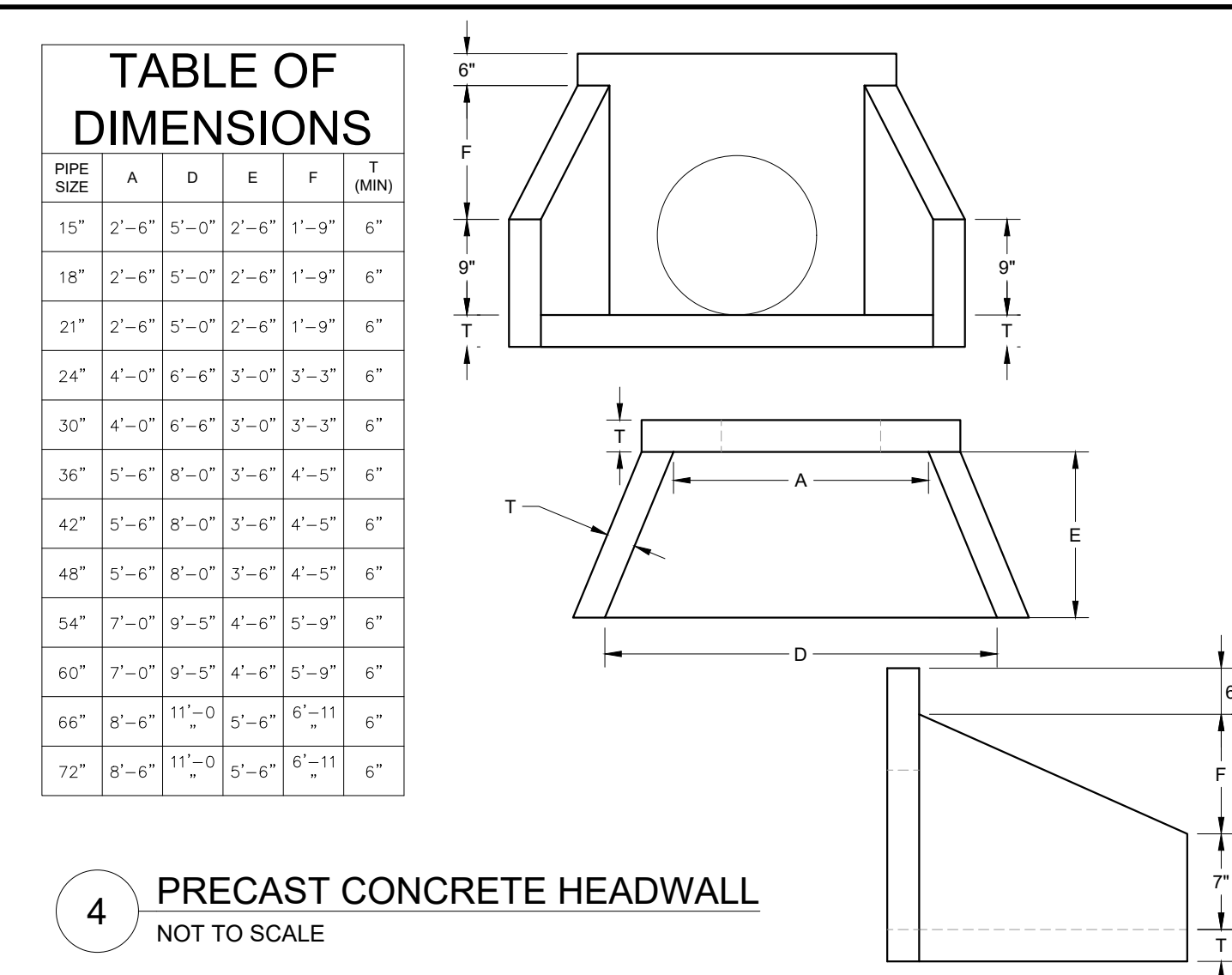


2 **CONCRETE JOINT**  
NOT TO SCALE

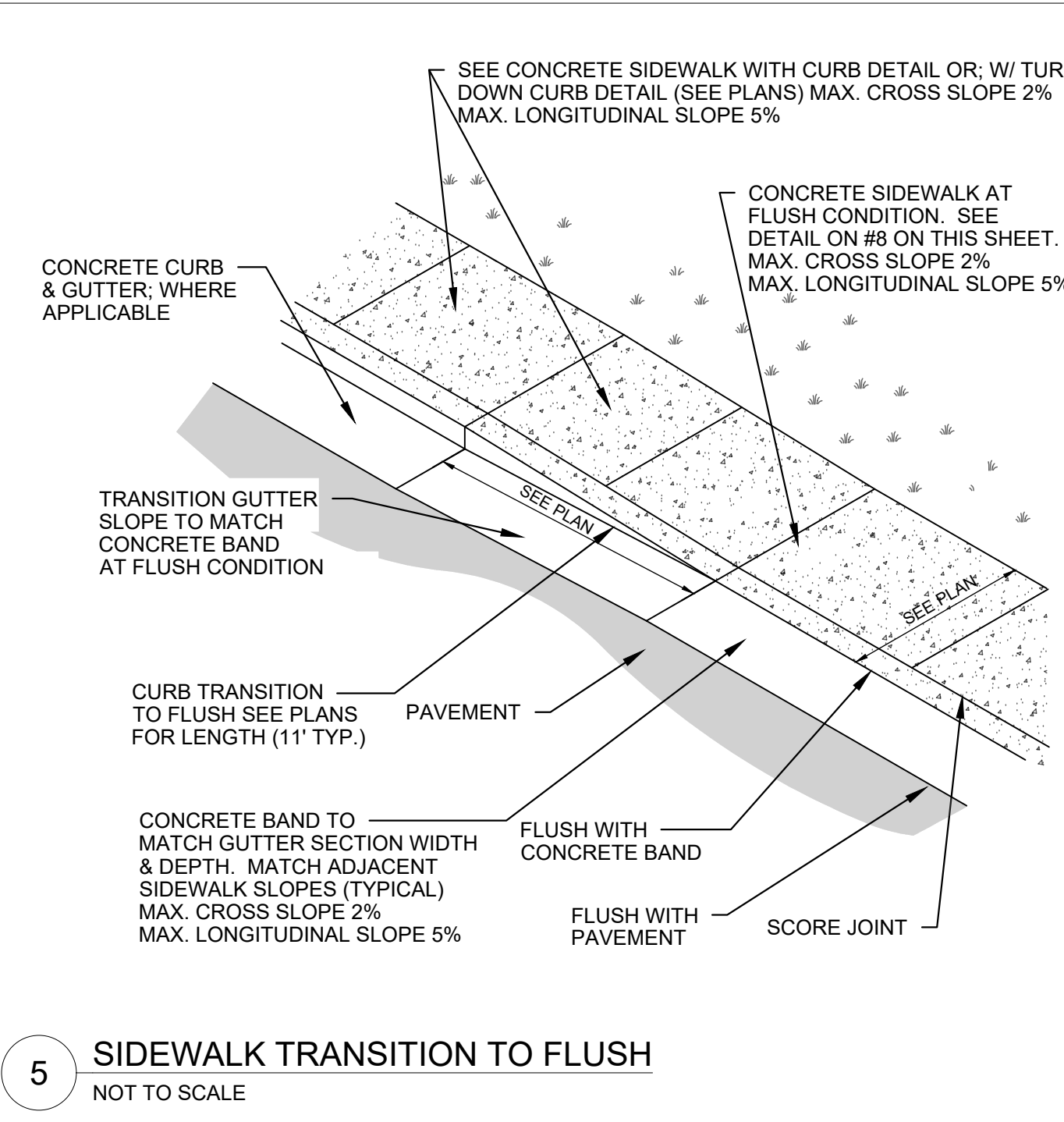
**NOTE:**  
EXPANSION JOINTS SHALL BE PLACED AT ANY TIE-IN POINT TO EXISTING CONCRETE AND AT ALL VERTICAL INTERFACES WITH BUILDINGS AND WALLS.



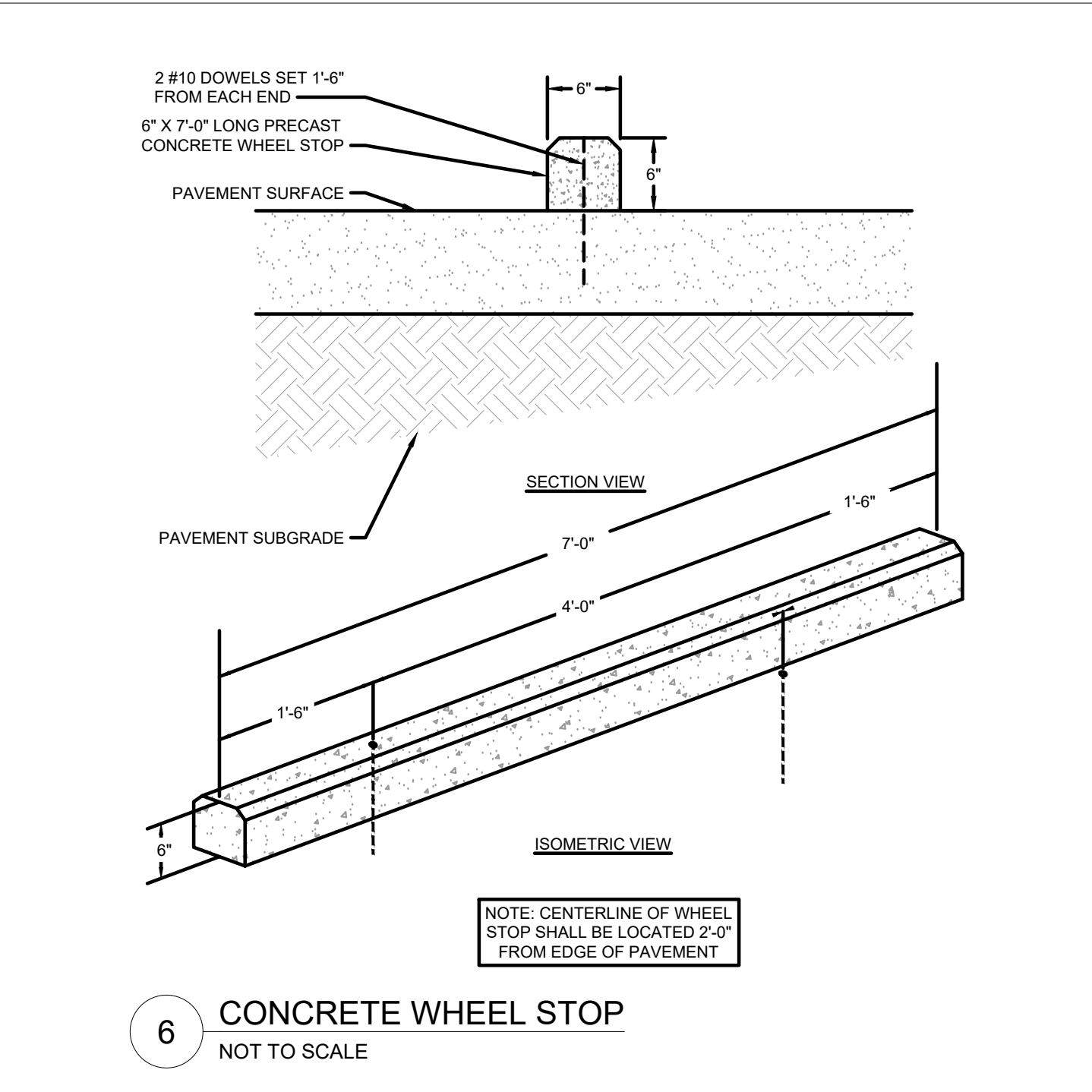
3 **SIDEWALK AT FLUSH CONDITION**  
NOT TO SCALE



4 **PRECAST CONCRETE HEADWALL**  
NOT TO SCALE

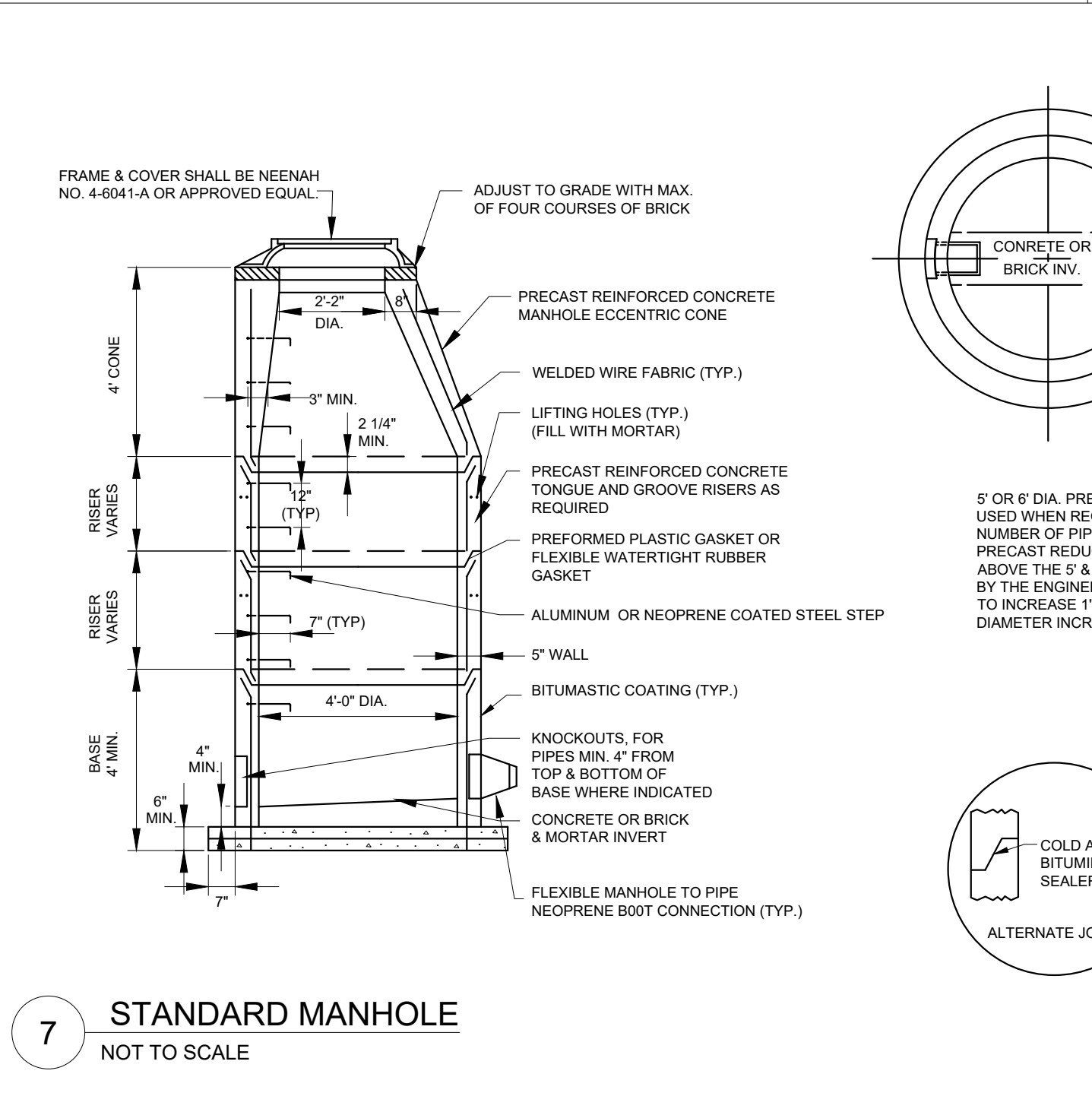


5 **SIDEWALK TRANSITION TO FLUSH**  
NOT TO SCALE



6 **CONCRETE WHEEL STOP**  
NOT TO SCALE

**NOTE:** CENTERLINE OF WHEEL STOP SHALL BE LOCATED 2'-0" FROM EDGE OF PAVEMENT

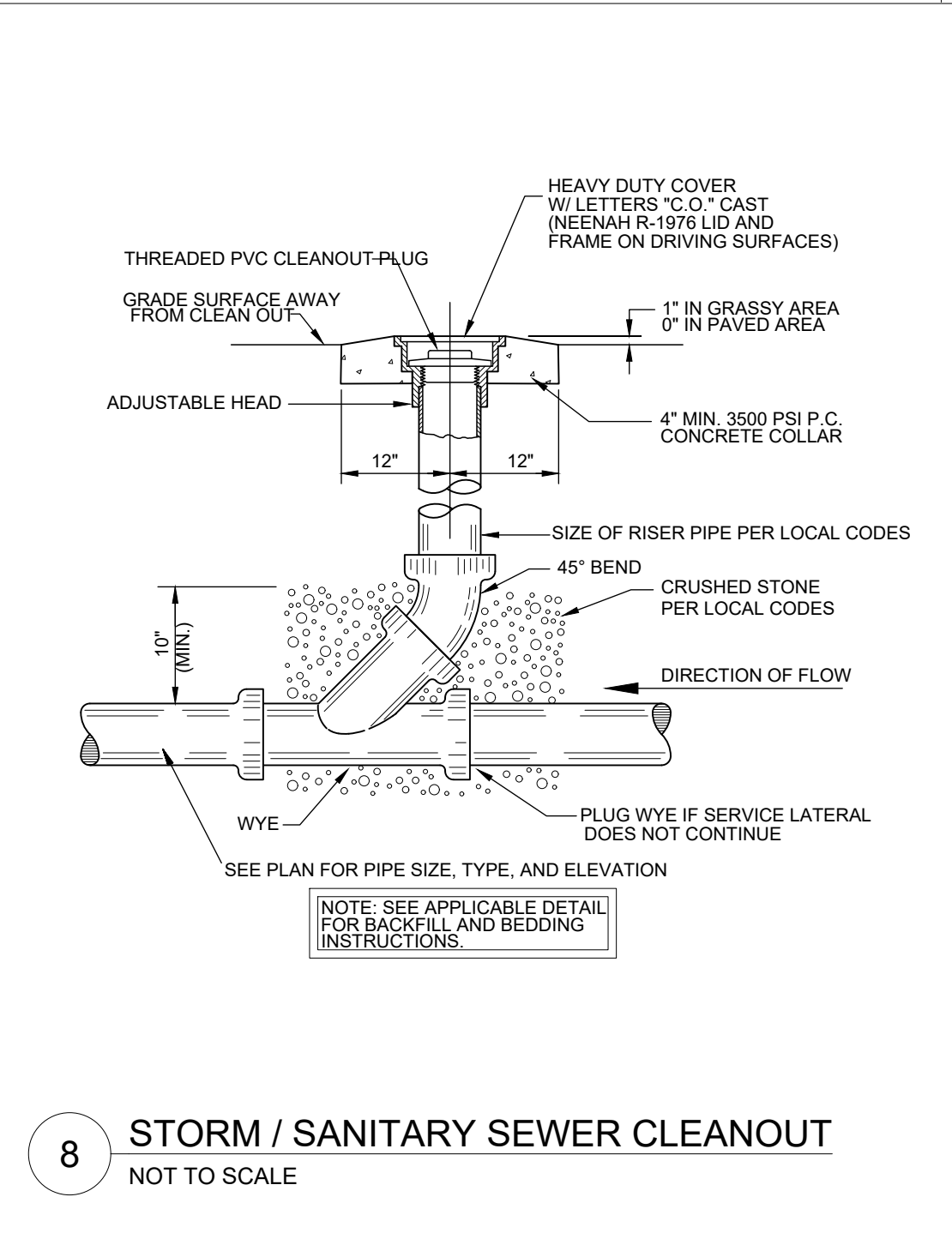
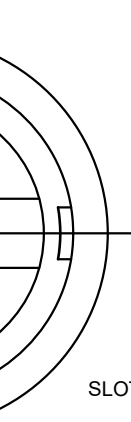


7 **STANDARD MANHOLE**  
NOT TO SCALE

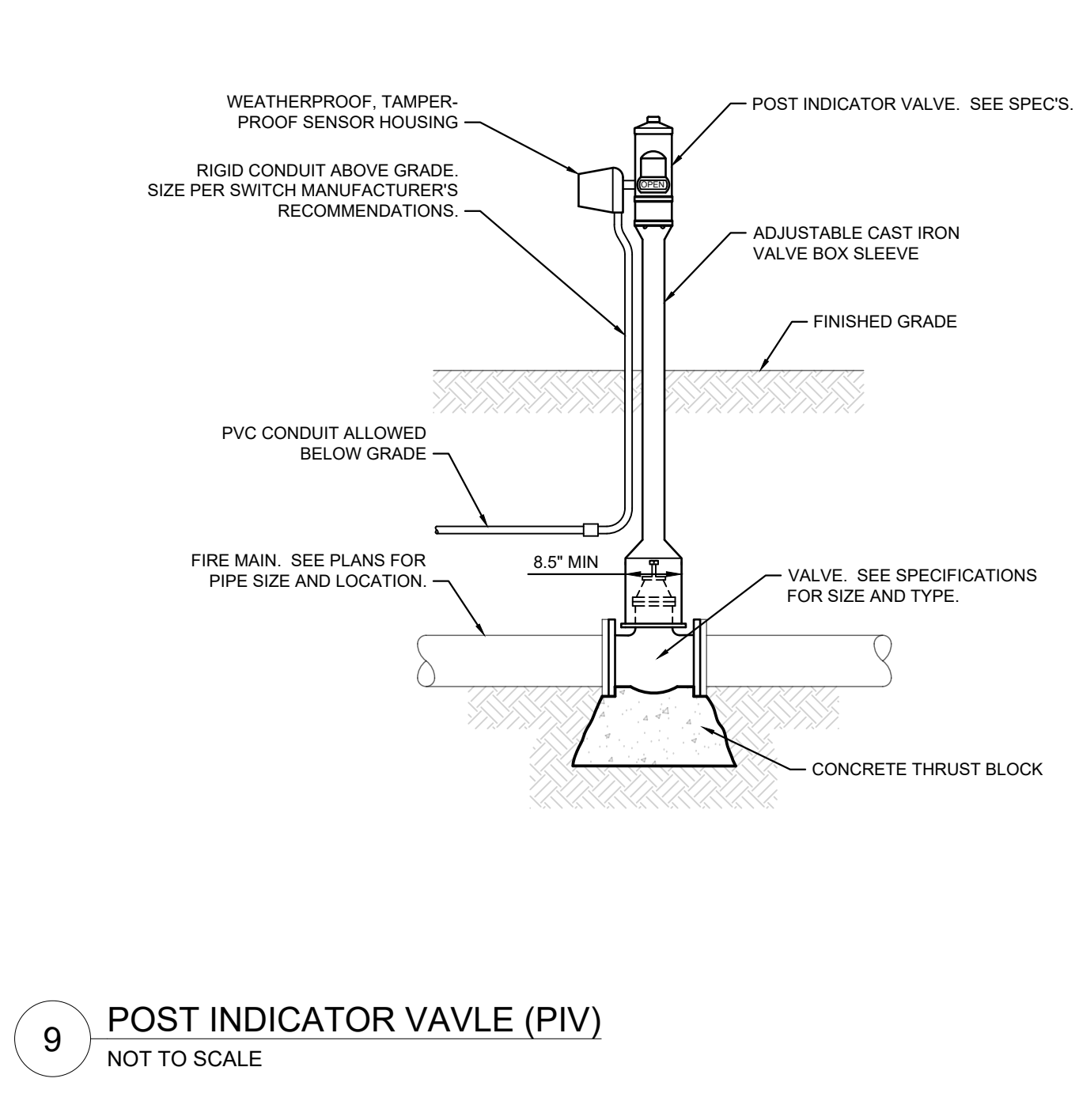
5' OR 6' DIA. PRECAST BASES MAY BE USED WHEN REQUIRED DUE TO SIZE OR NUMBER OF PIPES AT THE MANHOLE. PRECAST REDUCERS WILL BE PLACED ABOVE THE 5' & 6' BASES AS DIRECTED BY THE ENGINEER. WALL THICKNESS TO INCREASE 1" FOR EACH 1" OF INSIDE DIAMETER INCREASE.

COLD APPLIED BITUMINOUS SEALER

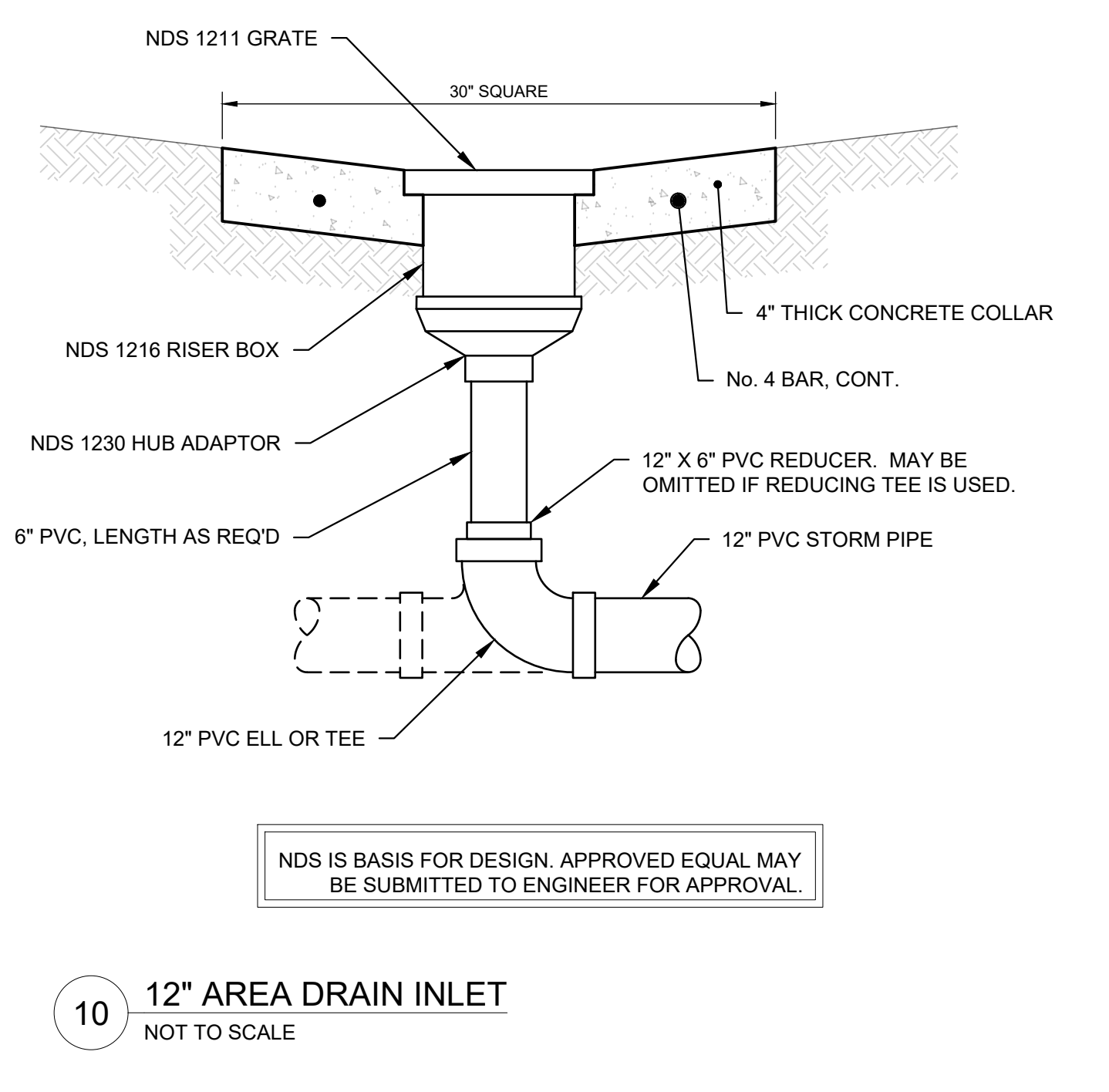
ALTERNATE JOINT



8 **STORM / SANITARY SEWER CLEANOUT**  
NOT TO SCALE

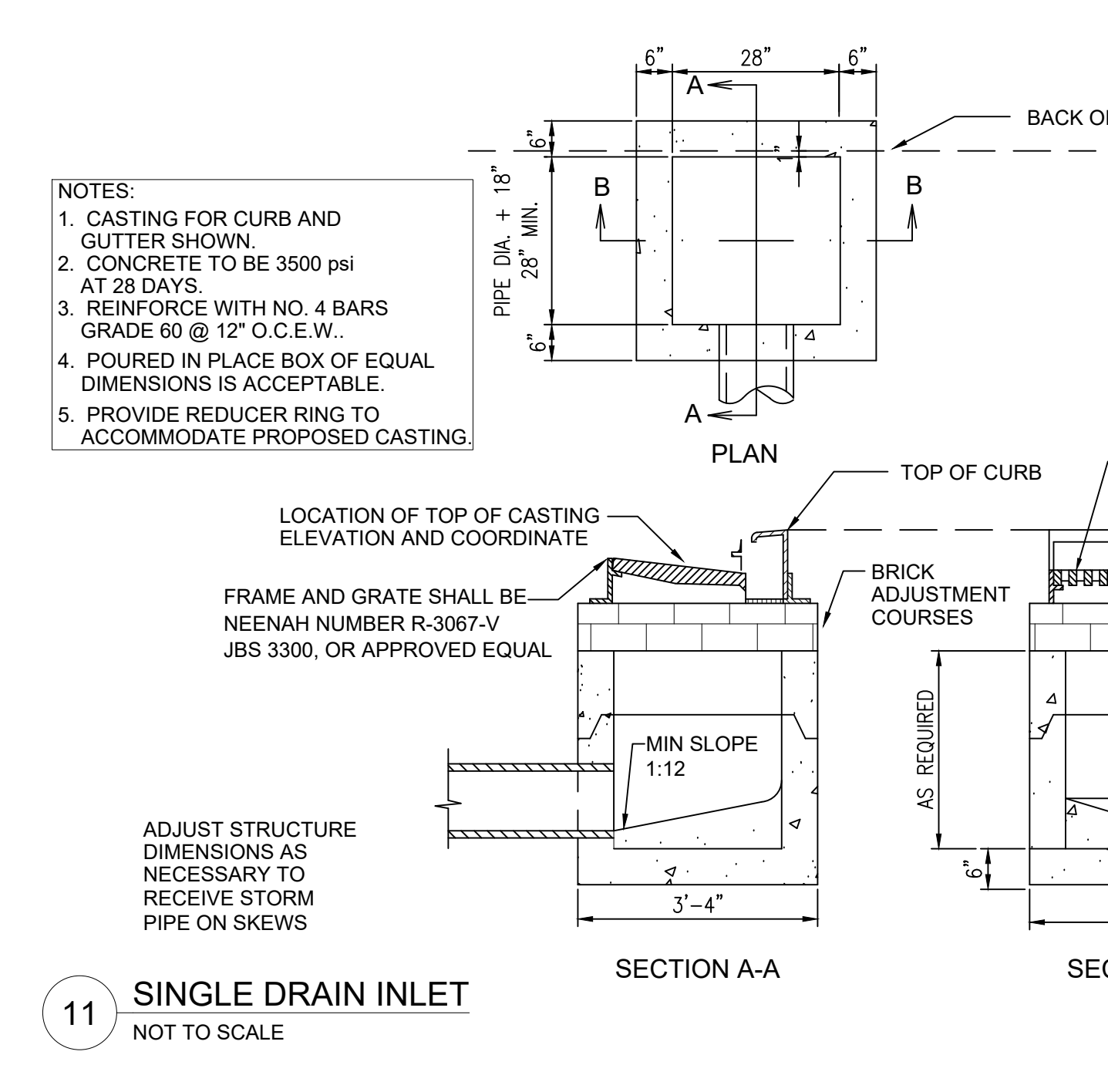


9 **POST INDICATOR VAVLE (PIV)**  
NOT TO SCALE



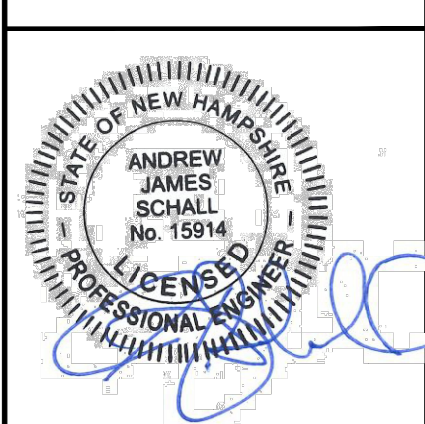
10 **12" AREA DRAIN INLET**  
NOT TO SCALE

NDS IS BASIS FOR DESIGN. APPROVED EQUAL MAY BE SUBMITTED TO ENGINEER FOR APPROVAL.



11 **SINGLE DRAIN INLET**  
NOT TO SCALE

**NOTES:**  
1. CASTING FOR CURB AND GUTTER SHOWN.  
2. CONCRETE TO BE 3500 psi AT 28 DAYS.  
3. REINFORCE WITH NO. 4 BARS GRADE 60 @ 12" O.C.E.W..  
4. POURED IN PLACE BOX OF EQUAL DIMENSIONS IS ACCEPTABLE.  
5. PROVIDE REDUCER RING TO ACCOMMODATE PROPOSED CASTING.



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DESIGNED BY: ZCN  
DRAWN BY: ZCN  
CHECKED BY: MEH  
DATE: 06/28/2022  
KIMLEY-HORN PROJECT NO. 118252004

**SITE DETAILS**

**C7.01**





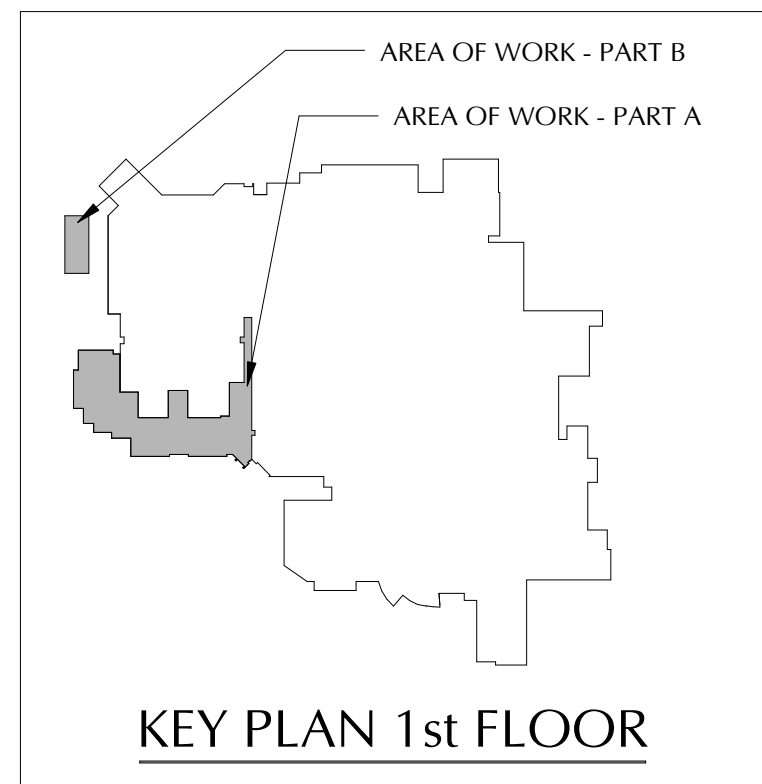


- KEYNOTES:**
1. REMOVE AND SALVAGE ACT AND/OR SUSPENSION GRID TO SUPPORT MEP SCOPE OF WORK SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION
  2. REMOVE AND SALVAGE ACOUSTICAL CEILING TILE AND/OR SUSPENSION GRID FOR APPROXIMATELY 80-FEET TO SUPPORT ELECTRICAL SCOPE OF WORK. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

- GENERAL FLOOR PLAN NOTES**
1. REFER TO A0.01 FOR ADDITIONAL GENERAL NOTES.
  2. SEE SHEET A4.01 FOR PARTITION TYPES AND DETAILS.
  3. MECHANICAL AND/OR ELECTRICAL PORTIONS OF THE WORK MAY REQUIRE WORK ON THE FLOOR BELOW OR IN SPACES ADJACENT TO THE WORK. THE SCOPE OF PROJECT INCLUDES WORK NECESSARY TO ACCESS THESE AREAS AND TO REPAIR OR REPLACE ANY FINISHES, FLOORS, WALLS, CEILINGS OR OTHER ITEMS DAMAGED OBTAINING SUCH ACCESS.
  4. WHEN PENETRATING FLOOR SLAB OR REMOVING MECHANICAL, PLUMBING, ELECTRICAL, AND LOW VOLTAGE FROM FLOOR, SEAL PENETRATION WITH A TESTED FIRE PROTECTION ASSEMBLY WITH A RATING EQUAL TO THE SURROUNDING CONSTRUCTION.
  5. REFER TO SOUND TRANSMISSION PLANS FOR SOUND BATT LOCATIONS AND REQUIRED STC RATINGS REQUIRED.
  6. REFER TO FINISH AND FURNITURE PLANS FOR TACK BOARD/MARKER BOARD/CLOCK LOCATIONS. PROVIDE NECESSARY BLOCKING FOR THESE ITEMS, WHICH SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR, & FOR ITEMS PROVIDED BY OTHERS.
  7. SEE FINISH PLANS FOR CORNER GUARD, HANDRAIL AND DOOR GUARD LOCATIONS.
  8. PROVIDE FIRE RETARDANT WOOD BLOCKING AS REQUIRED BY PROJECT CONDITIONS.
  9. O.F.E. - OWNER FURNISHED EQUIPMENT INSTALLED BY THE CONTRACTOR, VENDOR OR OWNER. REFER TO THE O.F.E. BROCHURE TO DETERMINE THE PARTY RESPONSIBLE FOR INSTALLATION. OWNER TO PURCHASE AND DELIVER ALL NEW EQUIPMENT TO THE SITE. CONTRACTOR SHALL COORDINATE DELIVERY SCHEDULE WITH OWNER. CONTRACTOR SHALL PROVIDE MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS REQUIRED FOR ALL EQUIPMENT IN THE O.F.E. BROCHURE.
  10. SEE SPECIFICATIONS FOR SPECIFIC LEVEL OF FINISH AND PREPARATION REQUIREMENTS FOR EACH SURFACE.
  11. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL COORDINATE AND PROPERLY INSTALL THE FOLLOWING:
    - A. AT EACH SINK/LAVATORY LOCATION, ONE SOAP DISPENSER UNLESS NOTED OTHERWISE. VERIFY LOCATIONS WITH OWNER'S REPRESENTATIVE.
    - B. AT EACH PATIENT CARE, UTILITY AND WORK AREA ONE SHARPS DISPOSAL UNIT, GLOVES DISPENSER AND HAND GEL DISPENSER, AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  12. WALL MOUNTED SINKS AND LAVATORIES SHALL BE MOUNTED SO THAT THE CENTERLINE OF THE SINK IS 1'-7" MIN. TO FACE OF ADJACENT FIXED EQUIPMENT, SIDE WALL, CASEWORK, ETC.
  13. CLINICAL SINKS SHALL BE MOUNTED SO THAT THE CENTERLINE OF THE SINK IS 1'-6" MIN. TO THE FACE OF THE ADJACENT FIXED EQUIPMENT, SIDE WALL, CASEWORK, ETC.

**PARTITION LEGEND** - SEE SHEET A4.01

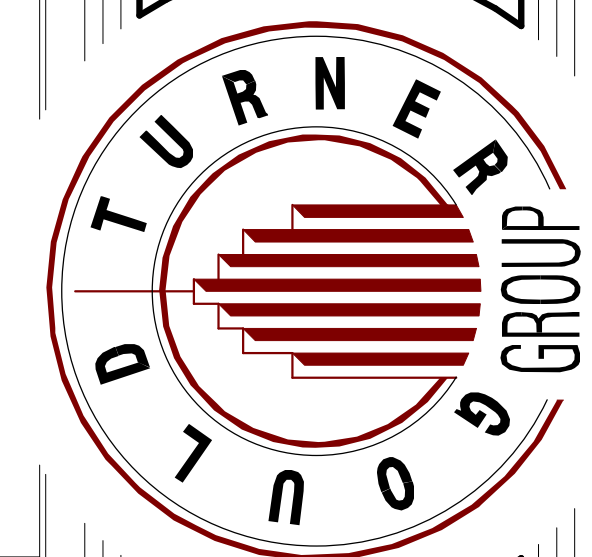
HIGHEST PRIORITY	DESCRIPTION	SYMBOL
1	TWO HOUR RATED FIRE & SMOKE BARRIER - SHAFTWALL	2S 2S 2S
2	TWO HOUR RATED FIRE & SMOKE BARRIER	2FS 2FS 2FS
3	TWO HOUR RATED FIRE BARRIER	2F 2F 2F
4	ONE HOUR RATED FIRE & SMOKE BARRIER - SHAFTWALL	1S 1S 1S
5	ONE HOUR RATED FIRE & SMOKE BARRIER	1FS 1FS 1FS
6	ONE HOUR RATED FIRE BARRIER	1F 1F 1F
7	ONE HOUR RATED FIRE BARRIER - (INCIDENTAL USE/HAZARDOUS AREA)	1HR 1HR 1HR
8	SMOKE PARTITION	NS NS NS
9	PARTITION TO CEILING - STUDS TO DECK, STOP GYPSUM BOARD 4" ABOVE CEILING.	



NOTED 1ST FLOOR PLAN PART A

REVISIONS:  
**CONSTRUCTION - PRICING DOCUMENTS - SET**

**GOULD TURNER GROUP, P.C.**  
 ARCHITECTURE  
 615 3RD AVENUE SOUTH, SUITE 700  
 NASHVILLE, TENNESSEE 37210  
 © Copyright by Gould Turner Group - 2022



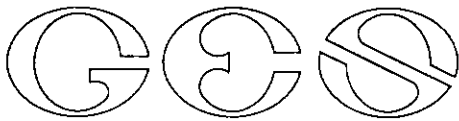
**PORTSMOUTH REGIONAL HOSPITAL**  
 RADIATION ONCOLOGY ADDITION  
 333 Borthwick Ave., PORTSMOUTH, NH 03801

**GENERAL CONTRACTORS**  
 CIVIL CONSULTANT: KIMLEY-HORN & ASSOCIATES, INC.  
 STRUCTURAL CONSULTANT: STANLEY D. LINDSEY & ASSOC., LTD.  
 M.P.E. & T. CONSULTANT: I.C. THOMASSON ASSOCIATES, INC.

**VENDOR INFORMATION**  
 QUANTA SERVICES - Storage  
 HCA HealthCare - Security  
 HCA Construction Manager - RYAN MACGUIRE

RESPONSIBILITY: Author  
 CHECKED BY: [Signature]  
 PLOTTED ON: 4/26/2022 3:12:33 PM





GOVE ENVIRONMENTAL SERVICES, INC.

October 15, 2019

Portsmouth Regional Hospital

Subject: Wetland Delineation Report  
Portsmouth Regional Hospital  
333 Borthwick Ave, Portsmouth, NH

Dear Chris Akers,

Per your request, this letter is to verify that Gove Environmental Services, Inc., performed a site inspection to identify wetlands at Portsmouth Regional Hospital, 333 Borthwick Ave, Portsmouth, NH. Wetlands were evaluated utilizing the following standards:

1. *US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region*, Technical Report ERDC/EL TR-12-1 (January 2012).
2. *Field Indicators for Identifying Hydric Soils in New England – Version 4, April 2019*. New England Hydric Soils Technical Committee.
3. *US Army Corps of Engineers National Wetland Plant List, 2018*.
4. *Classification of Wetlands and Deepwater Habitats of the United States*. USFW Manual FWS/OBS-79/31 (1979).

Brenden Walden performed the site inspection on 9/17/19. During the site inspection, two areas of wetland were identified on the Site. The wetland areas were demarcated with a series of pink “Wetland Delineation” flagging consecutively labeled:

1 Start – 15 Stop & A1-A22

The attached sketch plan depicts the general location of the flag series, which were used to identify the resource areas in the field. A general description of the wetlands is also provided

The wetland demarcated by the **1 Start – 15 Stop** series of flags, delineated a drainage area dominated by emergent vegetation, hydric soils on the wetland border consisted of NE-S1 & HTM-S hydric soil classifications, soil saturation and water staining were also observed. Bordering upland area consisted developed area and impervious surface.

The wetland demarcated by the **A1-A22** series of flags, delineated the wetland boundary for a detention basin vegetated with emergent vegetation. The wetland boundary consisted of NE-S with areas of HTM-S. Bordering upland areas consist of maintained lawn areas and impervious surface from surrounding development.

This concludes the wetland delineation report. If I can be of further assistance, please feel free to contact me at (603) 778-0644.

Sincerely,

Brenden Walden  
Business Manager & Wetland Scientist  
Gove Environmental Services, Inc.

Enc. Wetland Delineation Sketch



8 Continental Dr Unit H, Exeter, NH 03833-7507

Ph (603) 778 0644 / Fax (603) 778 0654

[www.gesinc.biz](http://www.gesinc.biz)

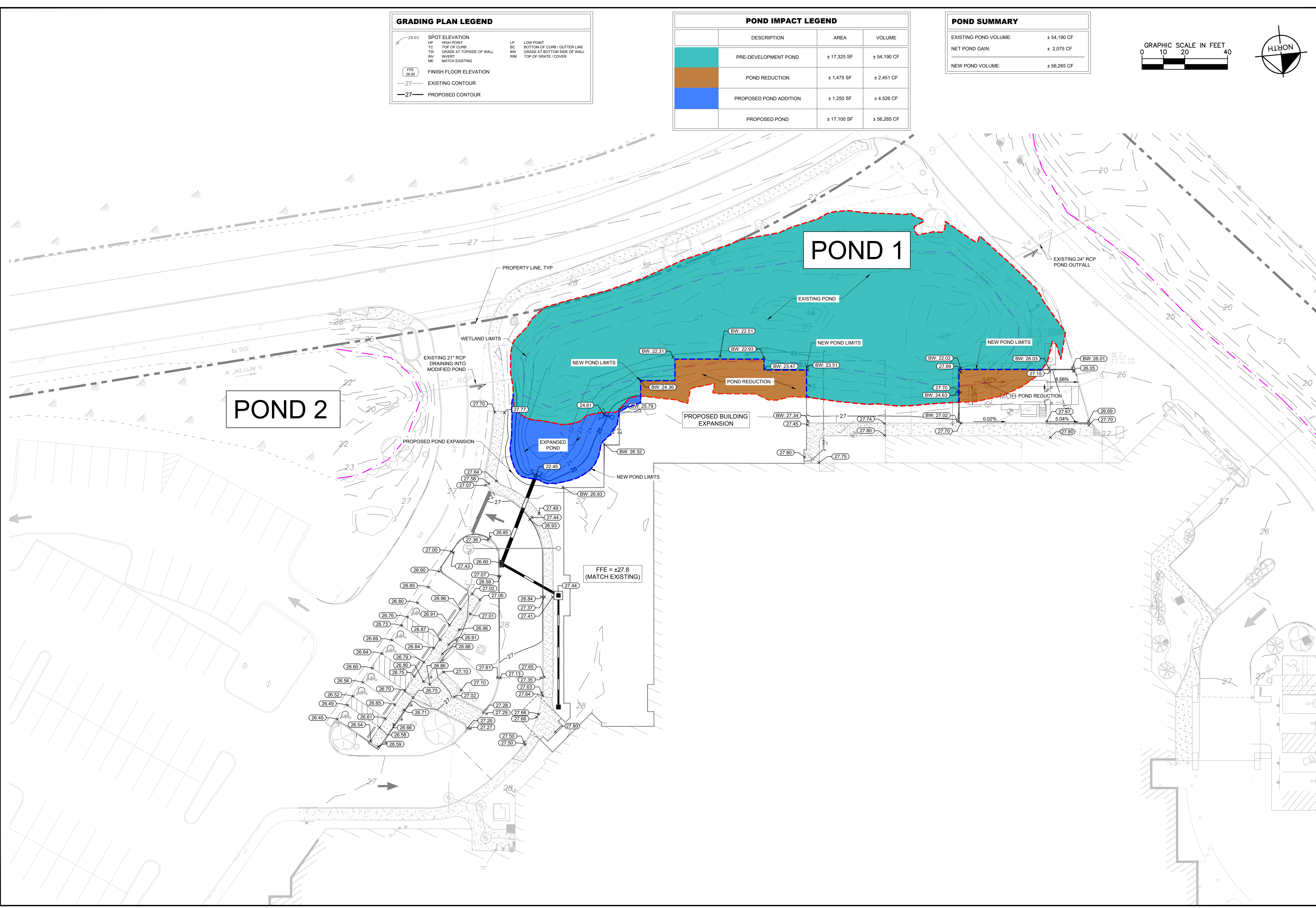
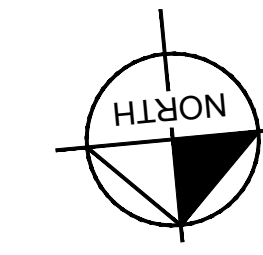
[info@gesinc.biz](mailto:info@gesinc.biz)



GRADING PLAN LEGEND			
26.60	SPOT ELEVATION	LP	LOW POINT
HP	HIGH POINT	BC	BOTTOM OF CURB / GUTTER LINE
TC	TOP OF CURB	BW	GRADE AT BOTTOM SIDE OF WALL
TW	GRADE AT TOPSIDE OF WALL	RM	TOP OF GRATE / COVER
IN	INVERT		
ME	MATCH EXISTING		
FFE	FINISH FLOOR ELEVATION		
27	EXISTING CONTOUR		
27	PROPOSED CONTOUR		

POND IMPACT LEGEND			
	DESCRIPTION	AREA	VOLUME
	PRE-DEVELOPMENT POND	± 17,325 SF	± 54,190 CF
	POND REDUCTION	± 1,475 SF	± 2,451 CF
	PROPOSED POND ADDITION	± 1,250 SF	± 4,526 CF
	PROPOSED POND	± 17,100 SF	± 56,265 CF

POND SUMMARY	
EXISTING POND VOLUME:	± 54,190 CF
NET POND GAIN:	± 2,075 CF
NEW POND VOLUME:	± 56,265 CF



**Kimley»Horn**  
 404 WYMAN STREET, SUITE 385 WALTHAM, MA 02451  
 MAINT/781.328.0676 | WWW.KIMLEY-HORN.COM  
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.

PORTSMOUTH REGIONAL  
 HOSPITAL  
 RADIATION ONCOLOGY ADDITION  
 PORTSMOUTH, NEW HAMPSHIRE

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 DRAWN BY:  
 CHECKED BY:  
 DATE: 05/05/2022  
 KIMLEY-HORN PROJECT NO. 118252004

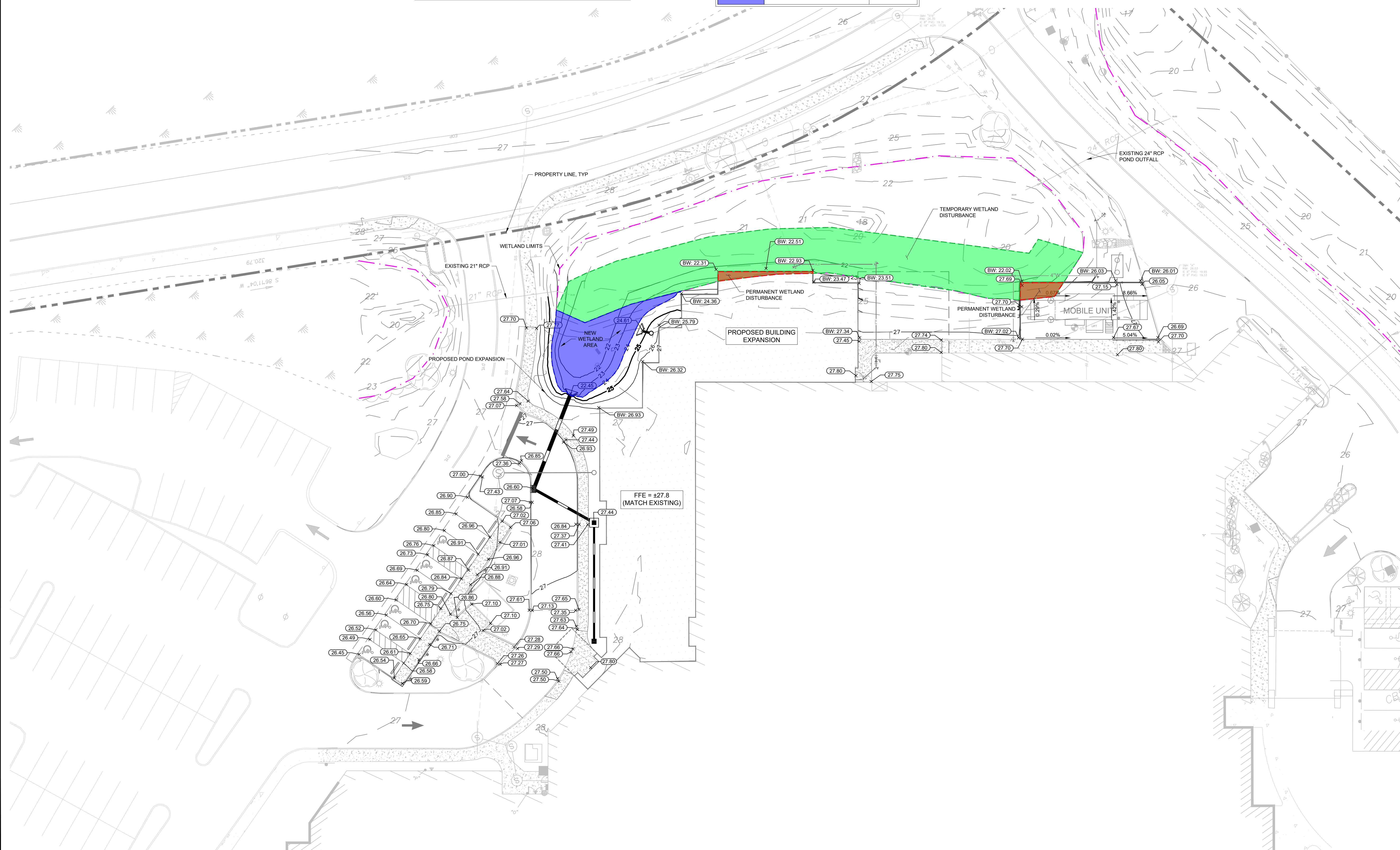
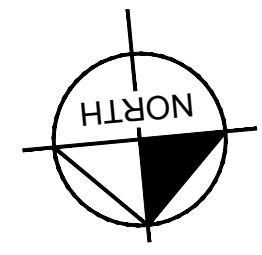
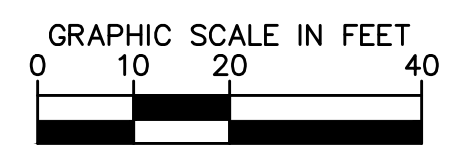
POND MODIFICATION  
**EX. B**



GRADING PLAN LEGEND	
26.60	SPOT ELEVATION
HP	HIGH POINT
TC	TOP OF CURB
TW	GRADE AT TOPSIDE OF WALL
IN	INVERT
ME	MATCH EXISTING
FFE	FINISH FLOOR ELEVATION
27	EXISTING CONTOUR
27	PROPOSED CONTOUR
LP	LOW POINT
BC	BOTTOM OF CURB / GUTTER LINE
BW	GRADE AT BOTTOM SIDE OF WALL
RM	TOP OF GRATE / COVER

WETLAND IMPACT LEGEND		
	DESCRIPTION	AREA
	TEMPORARY WETLAND DISTURBANCE	± 4,400 SF
	PERMANENT WETLAND DISTURBANCE	± 200 SF
	PROPOSED WETLANDS	± 1,150 SF

WETLAND SUMMARY	
EXISTING WETLAND AREA:	± 10,300 SF
PERMANENT WETLAND DISTURBANCE:	± 200 SF
PROPOSED WETLAND ADDED:	± 1,150 SF
NEW WETLAND AREA:	± 11,250 SF



**Kimley»Horn**  
 404 WYMAN STREET, SUITE 385 WALTHAM, MA 02451  
 MAINT/781.328.0676 | WWW.KIMLEY-HORN.COM  
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.

**PORTSMOUTH REGIONAL  
 HOSPITAL  
 RADIATION ONCOLOGY ADDITION**  
 PORTSMOUTH, NEW HAMPSHIRE

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 CHECKED BY:  
 DATE: 05/05/2022  
 KIMLEY-HORN PROJECT NO. 118252004

**WETLAND  
 DISTURBANCE  
 EX. A**

# Stormwater Management

## Long-Term Maintenance & Operation Plan

---

### *Portsmouth Regional Medical Center South Stormwater Wetland Pond*

333 Borthwick Avenue  
Portsmouth, NH

May 23, 2022

Revised June 01, 2022

*Prepared by:*  
Kimley-Horn and Associates, Inc.  
404 Wyman St, Ste 385  
Waltham, MA 02451

**Kimley»»Horn**

## Summary

This document describes the stormwater system components of the development and outlines the inspection and maintenance required to ensure the efficacy of the on-site stormwater system. The routine long term maintenance to be in compliance with the NOFA Standards for Organic Land Care, latest edition.

## Description of Stormwater System Components

There is an existing stormwater wetland pond along the south side of the existing hospital facility that detains stormwater runoff from pavement areas and building roof that is captured in a system of pipes and routed to the stormwater wetland pond. The existing stormwater wetland pond is denoted in Exhibit A.

## Maintenance Inspections of Stormwater Sensitive Areas

The owner is responsible for the maintenance of the property and adhering to the maintenance guidelines of this agreement as noted below. A major storm event is defined as any storm event which causes local flooding or where there are fallen trees or large tree limbs, debris, or road obstructions as a result of the event.

### Maintenance Operations for Stormwater Wetland Pond

- Spot Reseeding. Inspectors should look for bare or eroding areas in the contributing drainage area or around the wetland stormwater pond and make sure they are immediately stabilized with conservation seed mix.
- Remove and replace dead plants. Since up to 10% of the plant stock may die off in the first year, construction contracts should include a care and replacement warranty to ensure that vegetation is properly established and survives during the first growing season following construction. The typical thresholds below which replacement is required are 85% survival of plant material and 100% survival of trees.
- Check for sediment buildup at curb cuts, gravel diaphragms or pavement edges that prevents flow from getting into the bed, and check for other signs of bypassing.
- Check for any winter- or salt-killed vegetation, and replace it with hardier native wetland species.
- Note presence of accumulated sand, sediment and/ or trash and remove it.
- Inspect stormwater wetland pond side slopes for evidence of any rill or gully erosion, and repair it.
- Check the stormwater wetland pond for evidence of excessive ponding, dead plants or concentrated flows, and take appropriate remedial action.
- Check inflow points for clogging, and remove any sediment.
- Look for any bare soil or sediment sources in the contributing drainage area, and stabilize them immediately.
- Check for clogged or slow-draining soil, a crust formed on the top layer, or other causes of insufficient filtering time, and restore proper filtration characteristics

Checklists, which further indicate what should be evaluated during inspections, are included with this document.

## Routine and Non-Routine Maintenance Tasks

Maintenance of the stormwater wetland pond should be integrated into routine landscape maintenance tasks. If landscaping contractors will be expected to perform maintenance, their contracts should contain specifics on unique stormwater wetland pond landscaping needs, such as maintaining elevation differences needed for ponding, sediment and trash removal, and no use of fertilizers and pesticides.

## Pollutant Disposal

All trash and pollutants should be removed from the site and deposited in a permitted landfill. Deposited sediment can be used in gardens or landscaped areas but should be applied in thin layers and not stock piled in a location where it could erode any further. Leaves and other organic materials can be deposited or composted.

## Responsible Party

The responsible party for the inspection and maintenance of the stormwater wetland pond:

Portsmouth Regional Hospital  
333 Borthwick Avenue  
Portsmouth, New Hampshire 03801

South Stormwater Wetland Pond Area					
Maintenance Item	Condition				Comment
	Good	Marginal	Poor	N/A*	
General Inspection					
Access to the site is adequately maintained for inspection and maintenance.					
Area is clean (trash, debris, grass clippings, etc. removed).					
Inlet/ Outlet Structures					
Drainage ways (overland flow or pipes) to the practice are free of trash, debris, large branches, etc.					
Area around the inlet structure is maintained and trimmings are removed.					
No evidence of gullies, rills, or excessive erosion around the inlet structure.					
Main Treatment					
Wetland area is free of trash, debris, and sediment.					
Vegetation within and around practice is maintained per landscaping plan. Any trimmings are removed.					
Plants seem to be healthy and in good condition. Comment on condition of plants.					
Results					
Overall condition of Wetland Area					
Additional Comments					
Notes: *If a specific maintenance item was not checked, please check N/A and explain why in the appropriate comment box.					



# CITY OF PORTSMOUTH

Planning Department  
1 Junkins Avenue  
Portsmouth, New  
Hampshire 03801  
(603) 610-7216

## ZONING BOARD OF ADJUSTMENT

April 28, 2022

HCA Health Services of NH, Inc. dba Portsmouth Regional Hospital  
PO BOX 80610  
Indianapolis, IN 46280

**RE: Board of Adjustment Request for Property Located at 333 Borthwick Avenue (LU-22-35)**

Dear Owner:

The Zoning Board of Adjustment, at its regularly scheduled meeting of **Tuesday, April 26, 2022**, considered your application for building an addition on the existing hospital which requires the following: 1) A Variance from Section 10.531 to allow a 40' front yard where 50' is required. Said property is shown on Assessor Map 240, Lot 2-1 and lies within the Office Research District. As a result of said consideration, the Board voted to **grant** the request as presented and advertised.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Approvals may also be required from other City Commissions or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of two (2) years from the date granted unless an extension is granted in accordance with Section 10.236 of the Zoning Ordinance.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

Arthur Parrott, Chairman of the Zoning Board of Adjustment

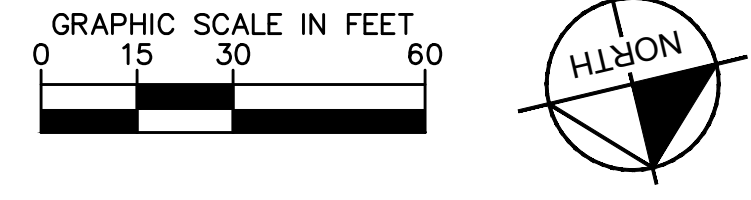
cc: Shanti Wolph, Chief Building Inspector

Rosann Maurice-Lentz, City Assessor

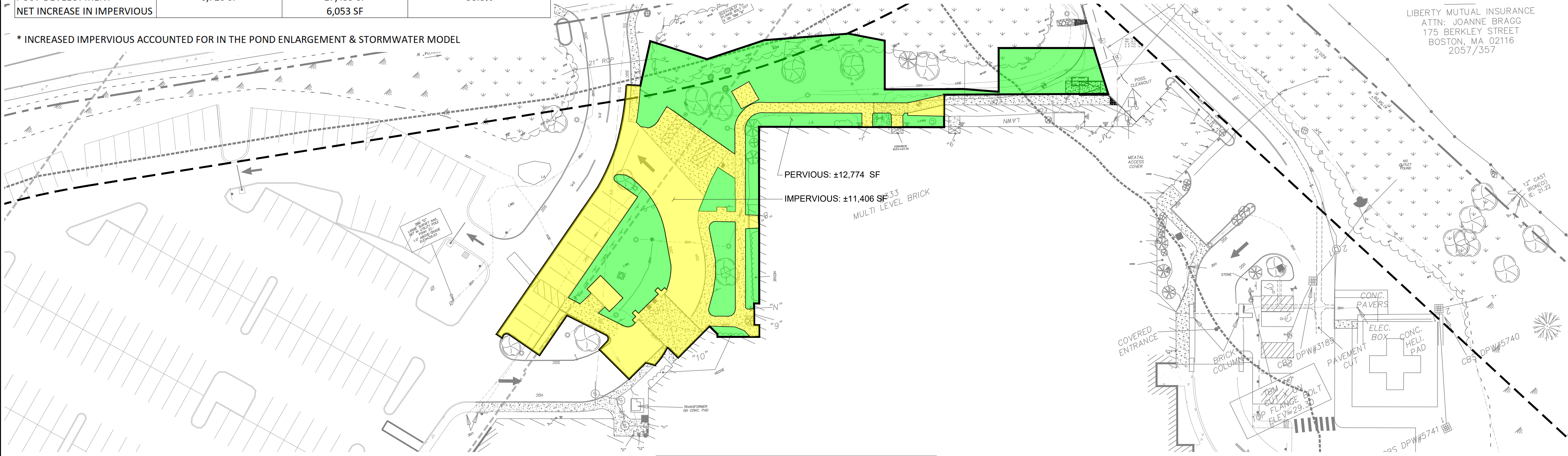
Chris Akers, Project Manager, Kimley-Horn

LAND COVER DATA TABLE			
	PERVIOUS AREA	IMPERVIOUS AREA	OVERALL CAMPUS OPENSACE
PRE-DEVELOPMENT	12,774 SF	11,406 SF	39.0%
POST-DEVELOPMENT	6,720 SF	17,459 SF	38.3%
NET INCREASE IN IMPERVIOUS		6,053 SF	

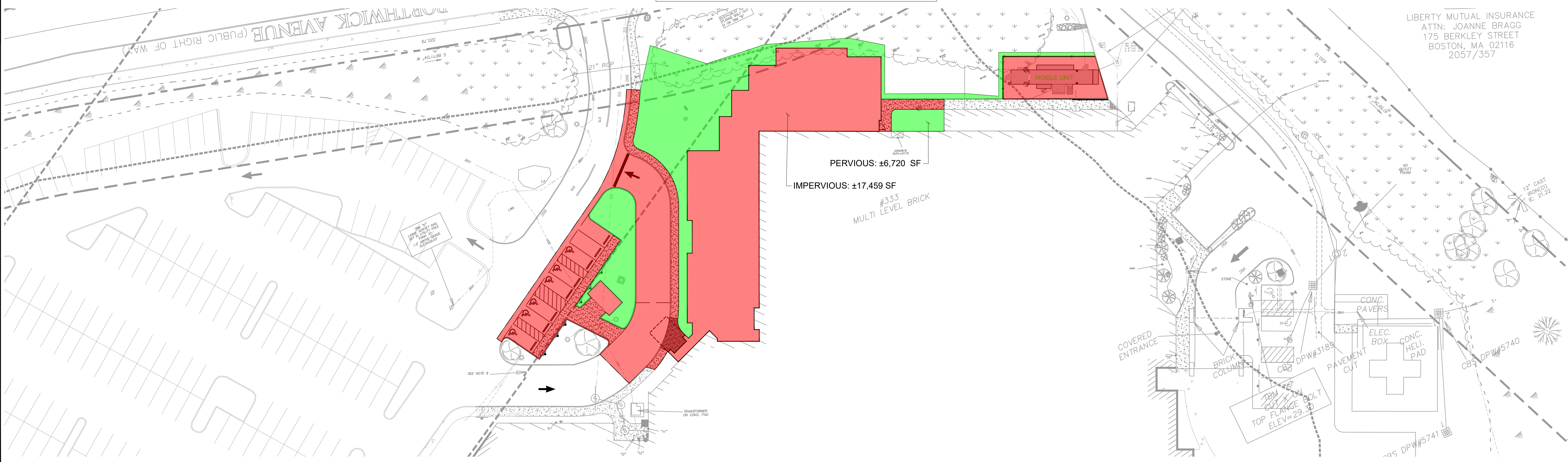
\* INCREASED IMPERVIOUS ACCOUNTED FOR IN THE POND ENLARGEMENT & STORMWATER MODEL



LIBERTY MUTUAL INSURANCE  
ATTN: JOANNE BRAGG  
175 BERKLEY STREET  
BOSTON, MA 02116  
2057/357



PRE-DEVELOPMENT LAND COVERAGE  
1" = 30'



POST-DEVELOPMENT LAND COVERAGE  
1" = 30'

LIBERTY MUTUAL INSURANCE  
ATTN: JOANNE BRAGG  
175 BERKLEY STREET  
BOSTON, MA 02116  
2057/357

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DESIGNED BY: CRA  
DRAWN BY: MEH  
CHECKED BY: BB  
DATE: 04/25/2022  
KIMLEY-HORN PROJECT NO. 118252004

PRE & POST DEVELOPMENT LAND COVERAGE

# Hydrograph Return Period Recap

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	-----	-----	16.61	-----	23.20	28.61	36.05	41.44	47.34	PRE-DEVELOPMENT RUNOFF
2	SCS Runoff	-----	-----	16.61	-----	23.20	28.61	36.05	41.44	47.34	POST-DEVELOPMENT RUNOFF
3	Reservoir	1	-----	9.051	-----	10.72	14.18	17.71	19.92	21.93	PRE-DEVELOPMENT
4	Reservoir	2	-----	8.827	-----	10.59	13.57	17.12	19.33	21.45	POST-DEVELOPMENT



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	16.61	2	716	35,198	-----	-----	-----	PRE-DEVELOPMENT RUNOFF	
2	SCS Runoff	16.61	2	716	35,198	-----	-----	-----	POST-DEVELOPMENT RUNOFF	
3	Reservoir	9.051	2	722	33,767	1	22.45	9,429	PRE-DEVELOPMENT	
4	Reservoir	8.827	2	722	33,767	2	22.41	9,733	POST-DEVELOPMENT	
POND EXISTING.gpw					Return Period: 2 Year			Thursday, 05 / 5 / 2022		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

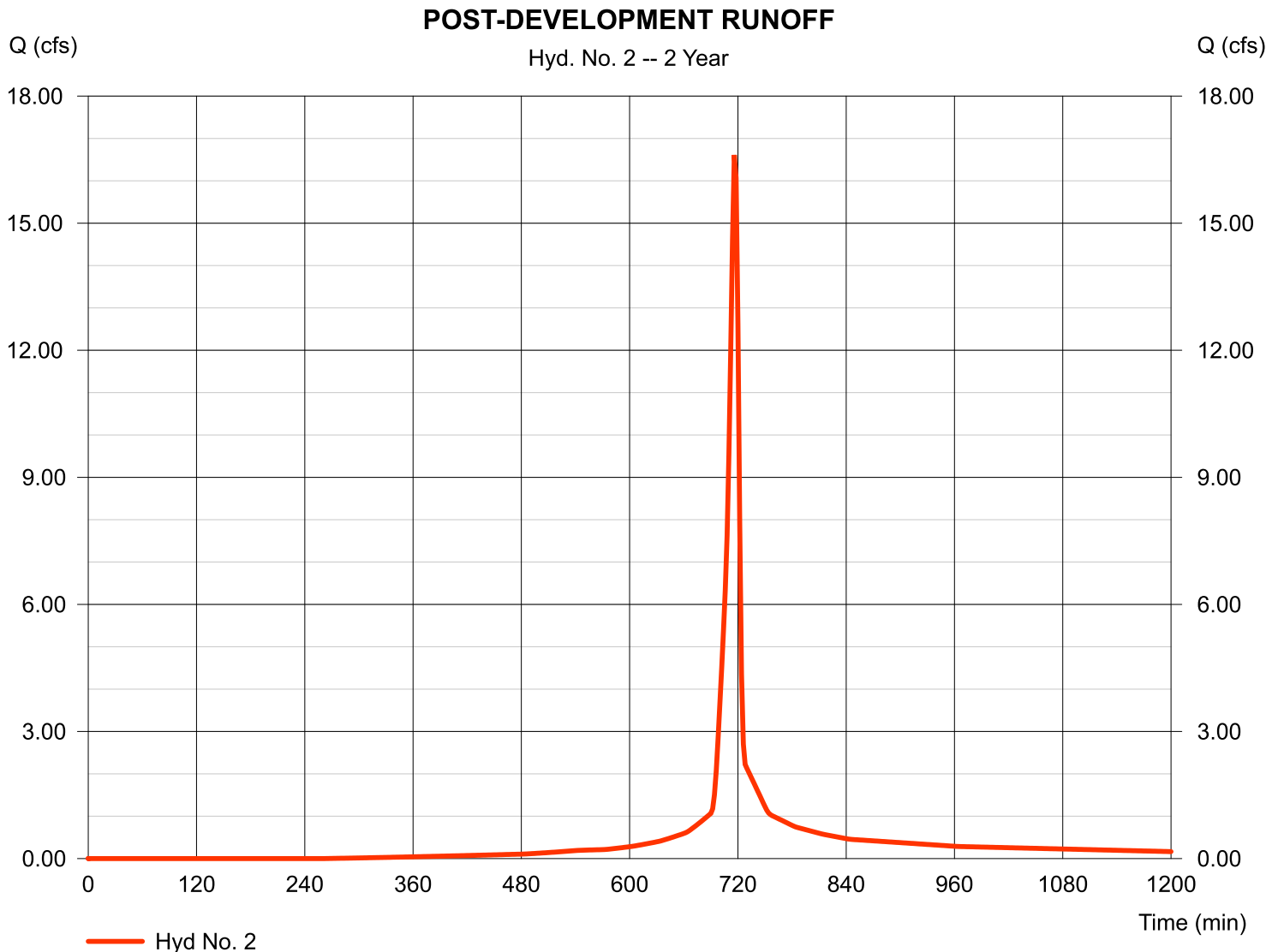
Thursday, 05 / 5 / 2022

## Hyd. No. 2

### POST-DEVELOPMENT RUNOFF

Hydrograph type	= SCS Runoff	Peak discharge	= 16.61 cfs
Storm frequency	= 2 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 35,198 cuft
Drainage area	= 4.180 ac	Curve number	= 92*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 5.00 min
Total precip.	= 3.33 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.910 x 98) + (1.320 x 79) + (1.950 x 98)] / 4.180



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	23.20	2	716	50,272	-----	-----	-----	PRE-DEVELOPMENT RUNOFF	
2	SCS Runoff	23.20	2	716	50,272	-----	-----	-----	POST-DEVELOPMENT RUNOFF	
3	Reservoir	10.72	2	722	48,841	1	22.91	13,320	PRE-DEVELOPMENT	
4	Reservoir	10.59	2	724	48,841	2	22.80	13,648	POST-DEVELOPMENT	
POND EXISTING.gpw					Return Period: 5 Year			Thursday, 05 / 5 / 2022		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

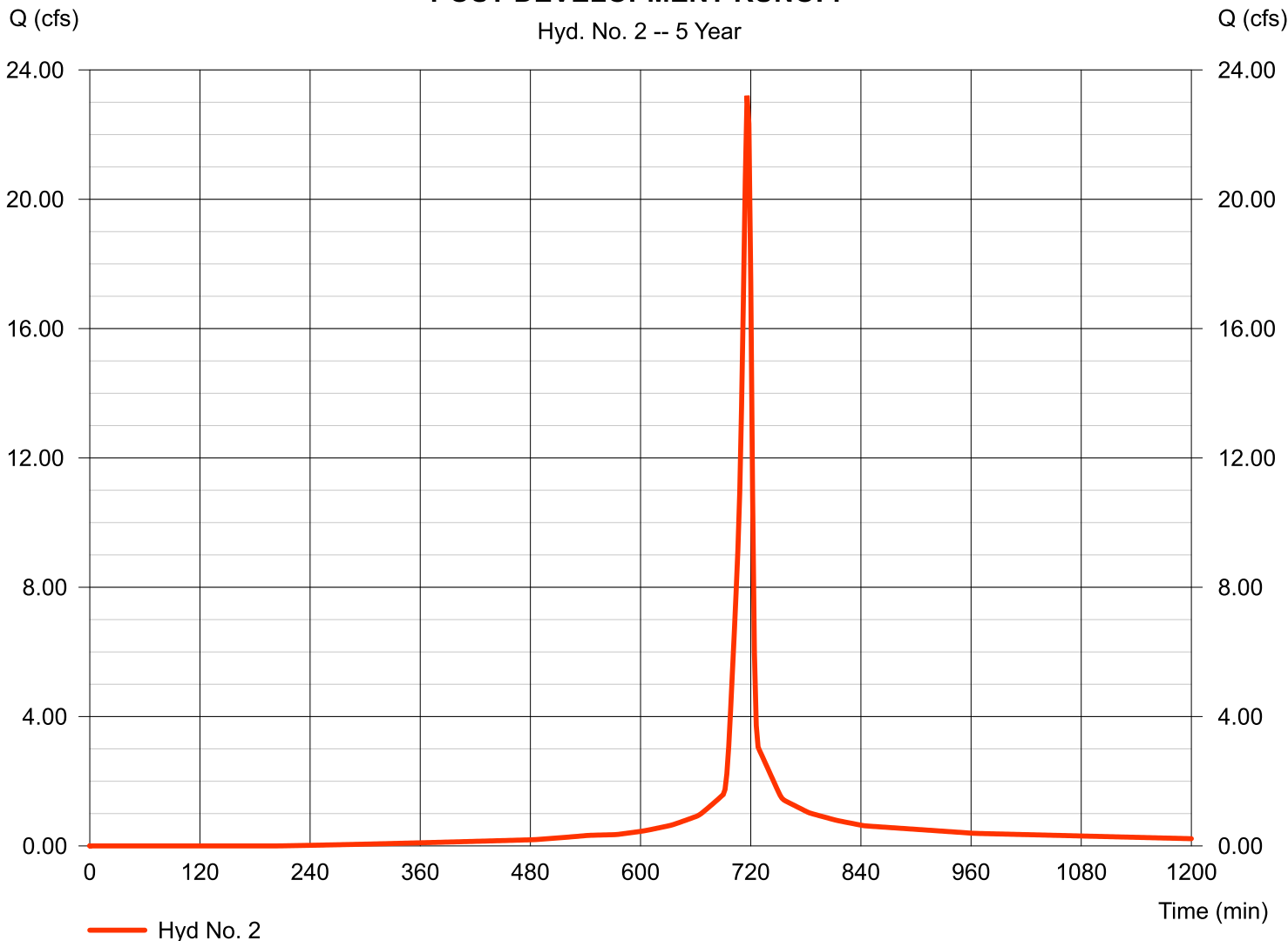
## Hyd. No. 2

### POST-DEVELOPMENT RUNOFF

Hydrograph type	= SCS Runoff	Peak discharge	= 23.20 cfs
Storm frequency	= 5 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 50,272 cuft
Drainage area	= 4.180 ac	Curve number	= 92*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 5.00 min
Total precip.	= 4.43 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.910 x 98) + (1.320 x 79) + (1.950 x 98)] / 4.180

### POST-DEVELOPMENT RUNOFF



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	28.61	2	716	62,900	-----	-----	-----	PRE-DEVELOPMENT RUNOFF	
2	SCS Runoff	28.61	2	716	62,900	-----	-----	-----	POST-DEVELOPMENT RUNOFF	
3	Reservoir	14.18	2	722	61,470	1	23.21	16,336	PRE-DEVELOPMENT	
4	Reservoir	13.57	2	722	61,469	2	23.15	16,866	POST-DEVELOPMENT	
POND EXISTING.gpw					Return Period: 10 Year			Thursday, 05 / 5 / 2022		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

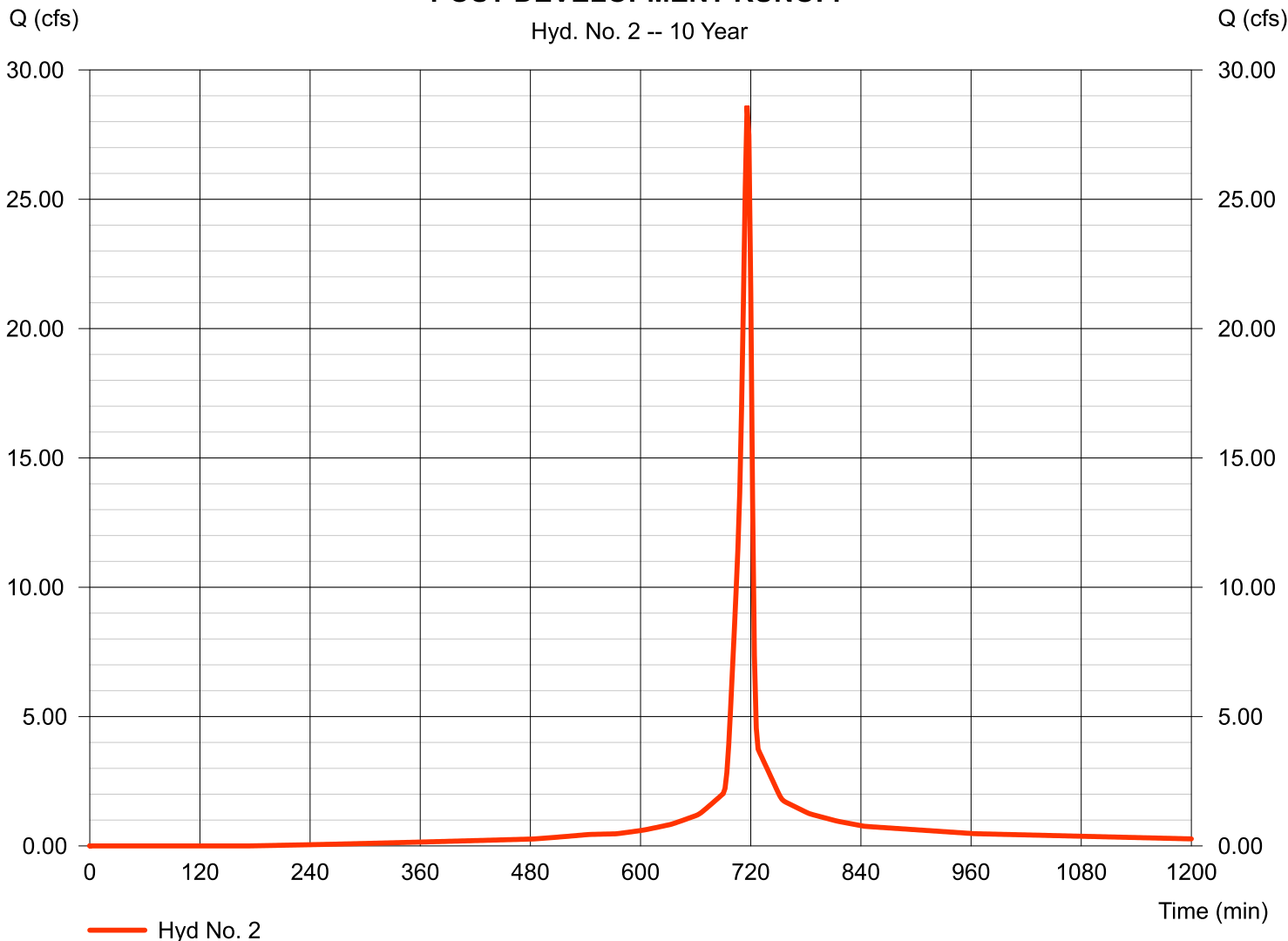
## Hyd. No. 2

### POST-DEVELOPMENT RUNOFF

Hydrograph type	= SCS Runoff	Peak discharge	= 28.61 cfs
Storm frequency	= 10 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 62,900 cuft
Drainage area	= 4.180 ac	Curve number	= 92*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 5.00 min
Total precip.	= 5.34 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.910 x 98) + (1.320 x 79) + (1.950 x 98)] / 4.180

### POST-DEVELOPMENT RUNOFF



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	36.05	2	716	80,516	-----	-----	-----	PRE-DEVELOPMENT RUNOFF	
2	SCS Runoff	36.05	2	716	80,516	-----	-----	-----	POST-DEVELOPMENT RUNOFF	
3	Reservoir	17.71	2	722	79,085	1	23.60	20,589	PRE-DEVELOPMENT	
4	Reservoir	17.12	2	722	79,085	2	23.53	21,204	POST-DEVELOPMENT	
POND EXISTING.gpw					Return Period: 25 Year			Thursday, 05 / 5 / 2022		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

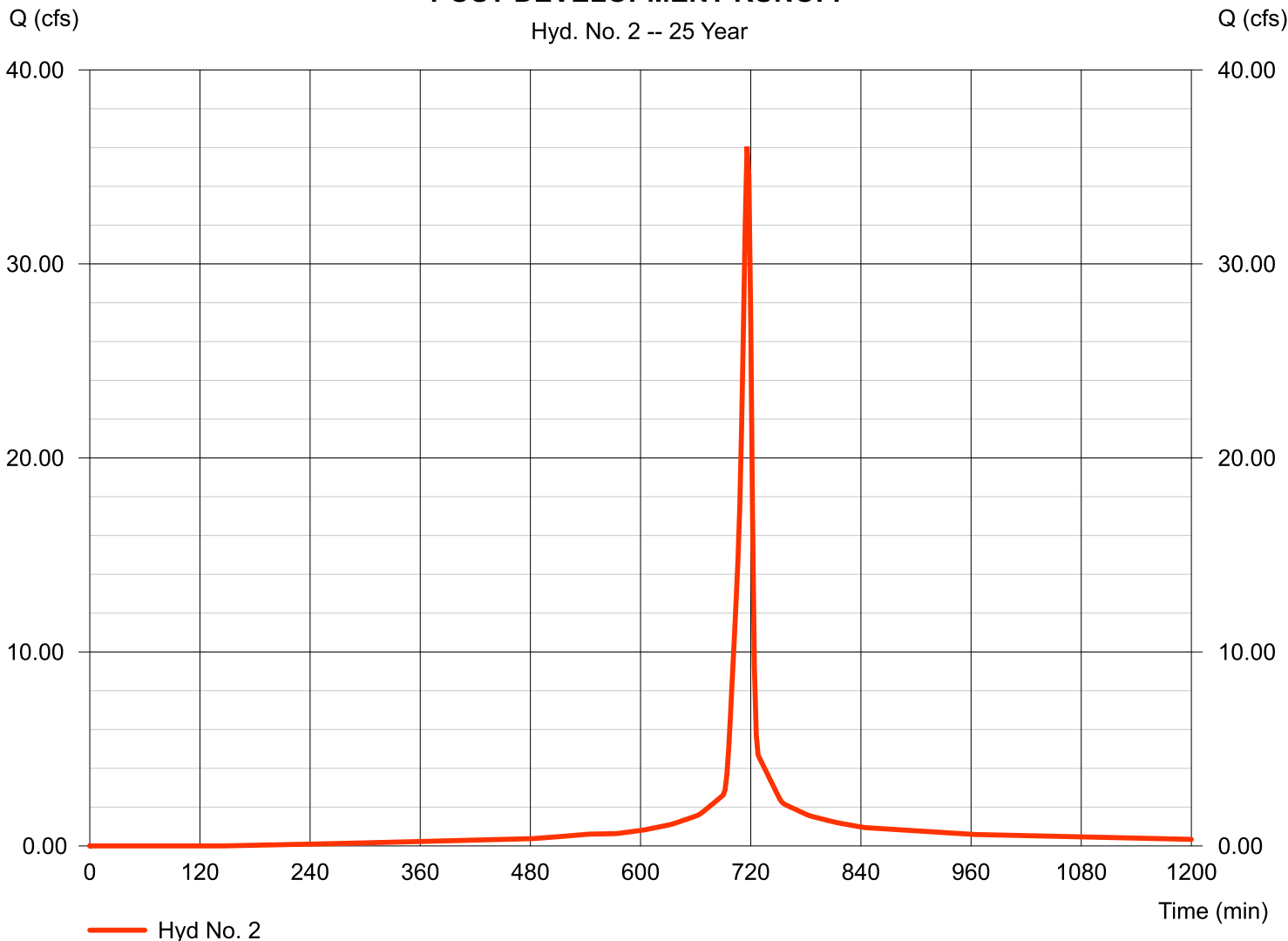
## Hyd. No. 2

### POST-DEVELOPMENT RUNOFF

Hydrograph type	= SCS Runoff	Peak discharge	= 36.05 cfs
Storm frequency	= 25 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 80,516 cuft
Drainage area	= 4.180 ac	Curve number	= 92*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 5.00 min
Total precip.	= 6.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.910 x 98) + (1.320 x 79) + (1.950 x 98)] / 4.180

### POST-DEVELOPMENT RUNOFF





# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	41.44	2	716	93,438	-----	-----	-----	PRE-DEVELOPMENT RUNOFF	
2	SCS Runoff	41.44	2	716	93,438	-----	-----	-----	POST-DEVELOPMENT RUNOFF	
3	Reservoir	19.92	2	722	92,008	1	23.88	23,729	PRE-DEVELOPMENT	
4	Reservoir	19.33	2	722	92,007	2	23.80	24,417	POST-DEVELOPMENT	
POND EXISTING.gpw					Return Period: 50 Year			Thursday, 05 / 5 / 2022		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

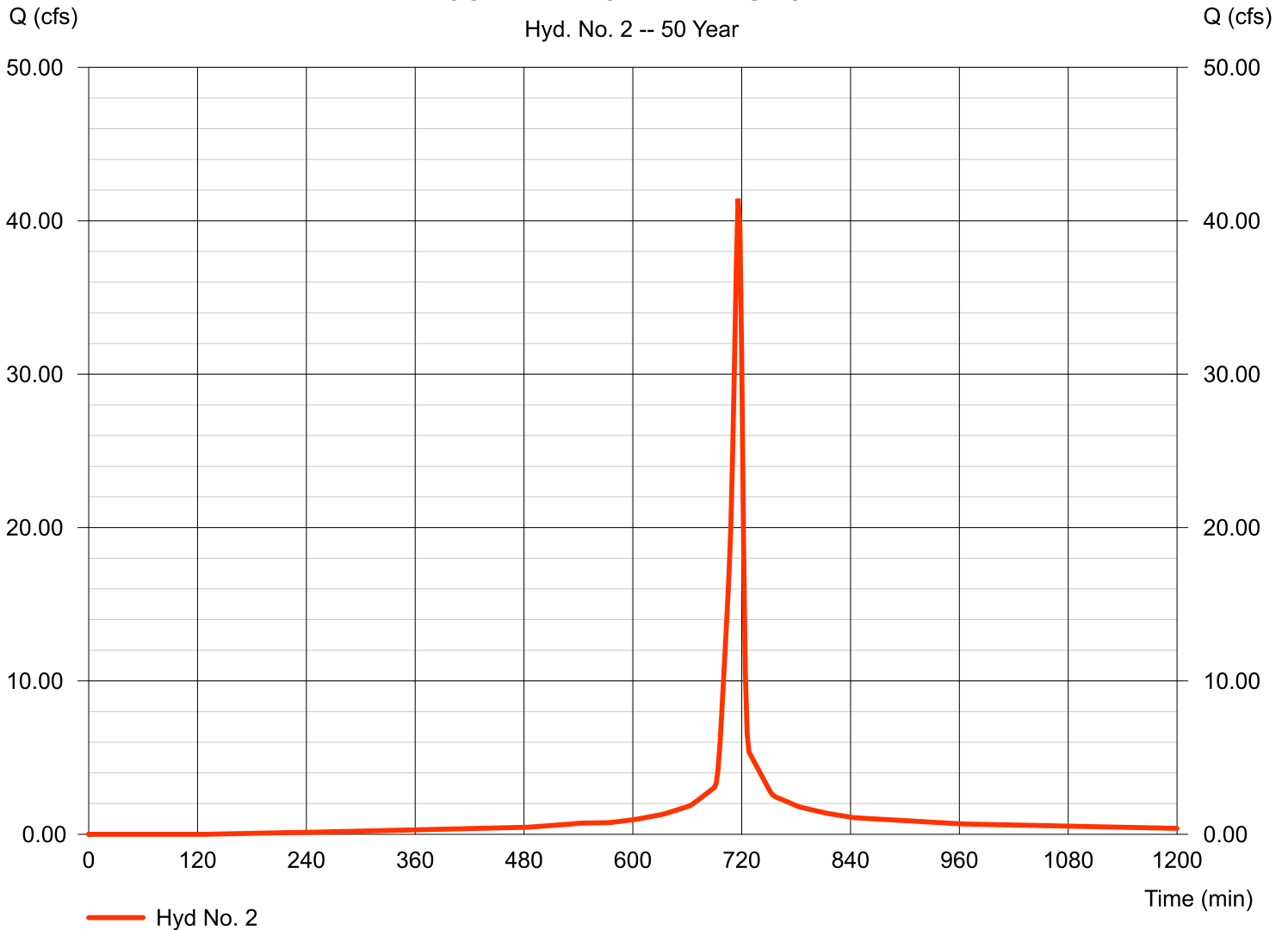
## Hyd. No. 2

### POST-DEVELOPMENT RUNOFF

Hydrograph type	= SCS Runoff	Peak discharge	= 41.44 cfs
Storm frequency	= 50 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 93,438 cuft
Drainage area	= 4.180 ac	Curve number	= 92*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 5.00 min
Total precip.	= 7.52 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.910 x 98) + (1.320 x 79) + (1.950 x 98)] / 4.180

### POST-DEVELOPMENT RUNOFF



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	47.34	2	716	107,662	-----	-----	-----	PRE-DEVELOPMENT RUNOFF	
2	SCS Runoff	47.34	2	716	107,662	-----	-----	-----	POST-DEVELOPMENT RUNOFF	
3	Reservoir	21.93	2	722	106,232	1	24.17	27,298	PRE-DEVELOPMENT	
4	Reservoir	21.45	2	722	106,231	2	24.10	28,058	POST-DEVELOPMENT	
POND EXISTING.gpw					Return Period: 100 Year			Thursday, 05 / 5 / 2022		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2020.4

Thursday, 05 / 5 / 2022

## Hyd. No. 2

### POST-DEVELOPMENT RUNOFF

Hydrograph type	= SCS Runoff	Peak discharge	= 47.34 cfs
Storm frequency	= 100 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 107,662 cuft
Drainage area	= 4.180 ac	Curve number	= 92*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 5.00 min
Total precip.	= 8.53 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.910 x 98) + (1.320 x 79) + (1.950 x 98)] / 4.180

### POST-DEVELOPMENT RUNOFF

