

Portsmouth, NH - Board of Adjustment
Variance Statement for: 129 Aldrich Street

Date:

Chairman of the Board of Adjustment
C/O Planning Department City of Portsmouth
1 Junkins Ave.
Portsmouth, NH 03801

To The Chairman of the Board of Adjustment,

Please find this statement as addressing the requirements for a variance on the proposed project located at 129 Aldrich Street.

Overview: The existing single-family structure was purchased by the current owners, Andrea and Matt Srebnik on 11.06.17 as a home in our community. The renovated home will remain single-family with some much-needed additional square footage for their growing family.

Per Section 10.322 – In order to comply to current building codes, we are not able to build the structure without expanding the gross footprint. We are proposing an addition off the back of 16'-0", a cantilevered addition of 2'-3" to the right side office, a garbage shed and a shed off the back of the property. The bulkhead will be relocated to the left side of the house off the proposed new deck.

Per Section 10.322 – We are proposing that we will be removing the existing roofline and raise the ridge height to 23" with dormers. This will allow us to maintain a tall bungalow-style home, true to Portsmouth architecture in the 1920's, while gaining living square feet on the 2nd floor.

Keeping in mind the 5 Criteria:

1. The new structure would be staying within the character of the neighborhood.
 - a. The houses in the neighborhood are a mix of Bungalows, New Englanders, capes and multi-family therefore staying in character with the neighborhood.
2. It would improve the safety and health of the homeowners and neighborhood.
 - a. Currently the structure has two bedrooms and one bath on the 2nd floor accessed by a very steep staircase. The staircase will be rebuilt to meet code and the bedrooms will also sit farther away from the staircase providing more safety.
3. Substantial justice is done.
 - a. No harm will be done to the neighborhood or community should this application be granted

4. The values of the surrounding properties are not diminished.
 - a. The neighborhood would improve with this proposed structure introduced into the neighborhood. This neighborhood has slowly been renovating over the last 10 years and 129 would be joining a large amount of homes that have renovated improving curb-appeal, function and safety in our community. Note: This home is located right at the new speed bump on Aldrich and they do appreciate the slower traffic.
5. Literal enforcement of the ordinance would result in unnecessary hardship
 - a. The existing structure is small modest home located on an equally small non-conforming lot; therefore, conforming to setbacks would eliminate the functional use of any space. The backyard is still maintained as a perfect space for children, dogs and adults alike to play.
 - b. The existing structure is not large enough for their growing family. With the housing prices and lack of inventor in Portsmouth, they are willing to invest in the home in order to stay and raise their family in Portsmouth and not have to leave our community.

We encourage the Portsmouth Board of Adjustment to grant the variance to the Srebnik Residence.

Submitted respectfully,

Amy Dutton
Amy Dutton Home
9 Walker Street
Kittery, Maine 03904
amy@amyduttonhome.com
207-337-2020

PHOTOS OF EXISTING PROPERTY:



FRONT ELEVATION



EAST SIDE ELEVATION



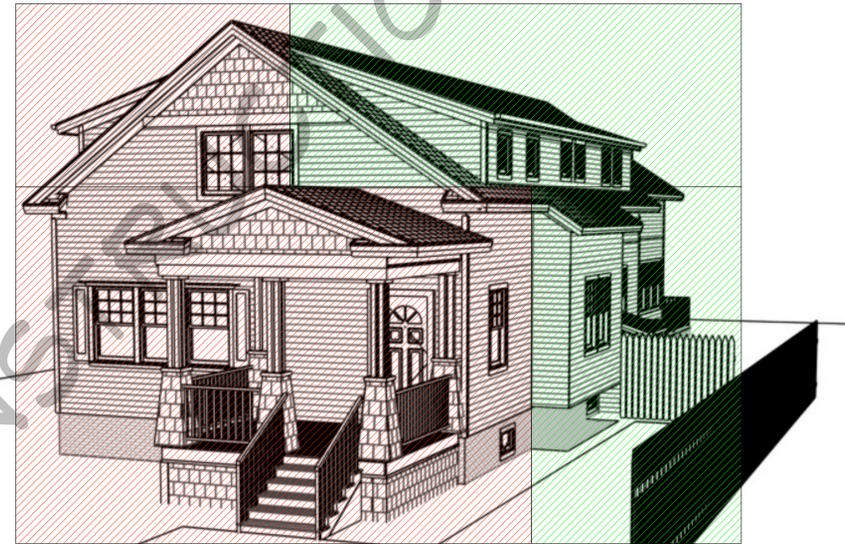
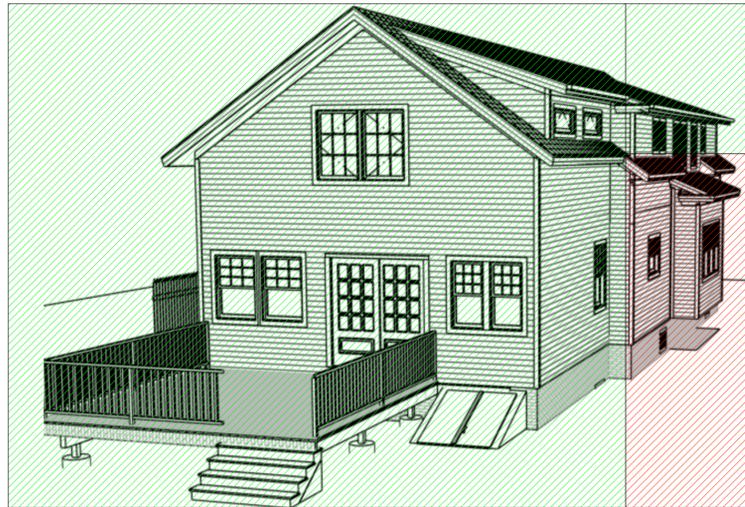
BACK ELEVATION



BACK SIDE PERSPECTIVE (showing the 4sf to be filled in)



WEST SIDE ELEVATION



OVERVIEW

SCALE: NTS

SPECIFICATIONS + NOTES

- *ROOFING MATERIAL: ASPHALT
- *ALL TRIM PACKAGE: PVC OR BORAL
- *SIDING: ALL NEW
- *BRACKETS: ProWood Market - Bracket 02T4 - P 32", H: 42", T: 5.5" (Ptd: WHITE)
- *COLUMNS:
- *STAIR SYSTEM:
 - _EXTERIOR:
 - *BROSCO: Liberty Extruded Rail System
 - *RISER: AZEC- WHITE
 - *TREAD: SELECTWOOD, ZURI "Weathered Grey"
 - _INTERIOR:
 - *NEWEL
 - *HANDRAIL
 - *BALUSTERS
 - *RISER FINISH
 - *TREAD
- *WINDOWS:
 - _MANUFACTURER: MARVIN ELEVATE OR EQ.
 - _EXT. FINISH:
 - _INT. FINISH:
- *DOORS:
 - _MANUFACTURER:
 - _EXT. FINISH:
 - _INT. FINISH:
- *BATHROOMS:
 - _FLOORING
 - _TUB DESIGN
 - _SHOWER FLOOR
 - _SHOWER WALLS
 - _SHOWER HEADS
 - _SHOWER NICHE VS. SHELVES
 - _SHOWER DOOR
 - _NOTE: MAJOR PLUMBING CHANGES

- *FLOORING:
 - _1ST FLOOR:
 - _2ND FLOOR:
 - _HEATED FLOOR:
 - _REFINISH AREAS:
 - *KITCHEN:
 - _CABINETRY NOTES: Specs to be prepared on 11 x 17 doc.
 - _BUILT-IN NOTES:
 - _APPLIANCES
 - *MANTLE:
 - *FIREPLACE:
 - _GAS
 - _WOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK
 - _HEARTH: RAISED VS. FLUSH
 - *MATERIAL:
- NOTES:
- *CEILING HEIGHTS: 1ST FLOOR: _____ | 2ND FLOOR: _____
 - *CORNER BOARDS: 8" TYP
 - *WATER TABLE: 10" W/ COPPER FLASHING TYP.
 - *RAKE BOARD: 8" TYP. PVC OR BORAL. (FILLED & PAINTED)
 - *SOFFIT - BEADBOARD AZEC OR EQ.
 - *ROOF VENT - RIDGE VENT VS. BROSCO LOUVERED VENT VS. SOFFIT VENT
 - *ARCHITECTURAL DETAIL:
 - *WINDOW TRIM: 4-1/2" TYP. PVC
- TOTAL SQUARE FOOTAGE:
- _NEW
 - _RENOVATED SF
 - _TOTAL

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DESIGN ONLY FOR NOTED CLIENT. ALL
STRUCTURAL ENGINEERING PROVIDED BY
OTHER.

FINAL CD SET DATE: 04.13.22

EXISTING LIVING AREA	
MAIN FLOOR	1197 sqft
SECOND FLOOR	673 sqft
TOTAL	1870 sqft
FRONT PORCH	120 sqft

PROPOSED LIVING AREA	
MAIN FLOOR	1425 sqft
SECOND FLOOR	1240 sqft
TOTAL	2665 sqft
FRONT PORCH	120 sqft
GARAGE	196 sqft

WALL LEGEND

- = ADDITION
- = EXISTING

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DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS.



Revision Table	
Number	Date

OVERVIEW

CLIENT:
SREBNIK RESIDENCE
129 ALDRICH RD
FORTSMOUTH, NH

CONTACT:
AMY DUTTON HOME
4 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.351.2020

DATE:
4/19/2022

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE
ON DRAWINGS

SHEET:

0-1

CALCULATIONS

Map-Lot: 0153-0035-0000
 Vision Account: 34831
 Local District: SRB
ZONING MAXIMUMS:
 front setback: 30' (17' w/ 10.516.10 Exception)
 rear setback: 30'
 side setbacks: 10'
 building coverage: 20%

EXISTING CONDITIONS:
 LOT SIZE: 0.23
 ANTICIPATED DISTURBED AREA: 649 SF
 FRONT/REAR HEIGHT: 22' - 6"

LIVABLE SF: 1444 SF
 FIRST FLOOR 1076 SF
 3-QUARTER 368 SF
 BASEMENT 0

GROSS SF: 3429 SF
 FIRST FLOOR 1076 SF
 3-QUARTER 1050 SF
 BASEMENT 1050 SF
 ATTIC 0 SF
 GARAGE 0 SF
 PORCH, OPEN 120 SF
 PORCH, Encl. 133 SF

AREA OF FOOTPRINT: 1329 SF

EXISTING SETBACKS:
 FRONT: 15'-0" | 24' -10"
 REAR: 114'-6"
 LEFT: 5'-7"
 RIGHT: 13'-0"

EXISTING LOT COVERAGE: 13.3%
 EXISTING PARCEL AREA: 0.23 ACRES (10018.8 SF)

PROPOSED CONDITIONS:

FRONT/REAR HEIGHT: 24'-5"

LIVABLE SF: 2890 SF
 FIRST FLOOR 1477 SF
 3-QUARTER 1413 SF
 BASEMENT 0

GROSS SF: 4808 SF
 FIRST FLOOR 1477 SF
 3-QUARTER 1413 SF
 BASEMENT 1419 SF
 ATTIC 0 SF
 GARAGE 0 SF
 DECK 248 SF
 PORCH, Encl 133 SF
 GARBAGE shed 18 SF
 SHED 100 SF

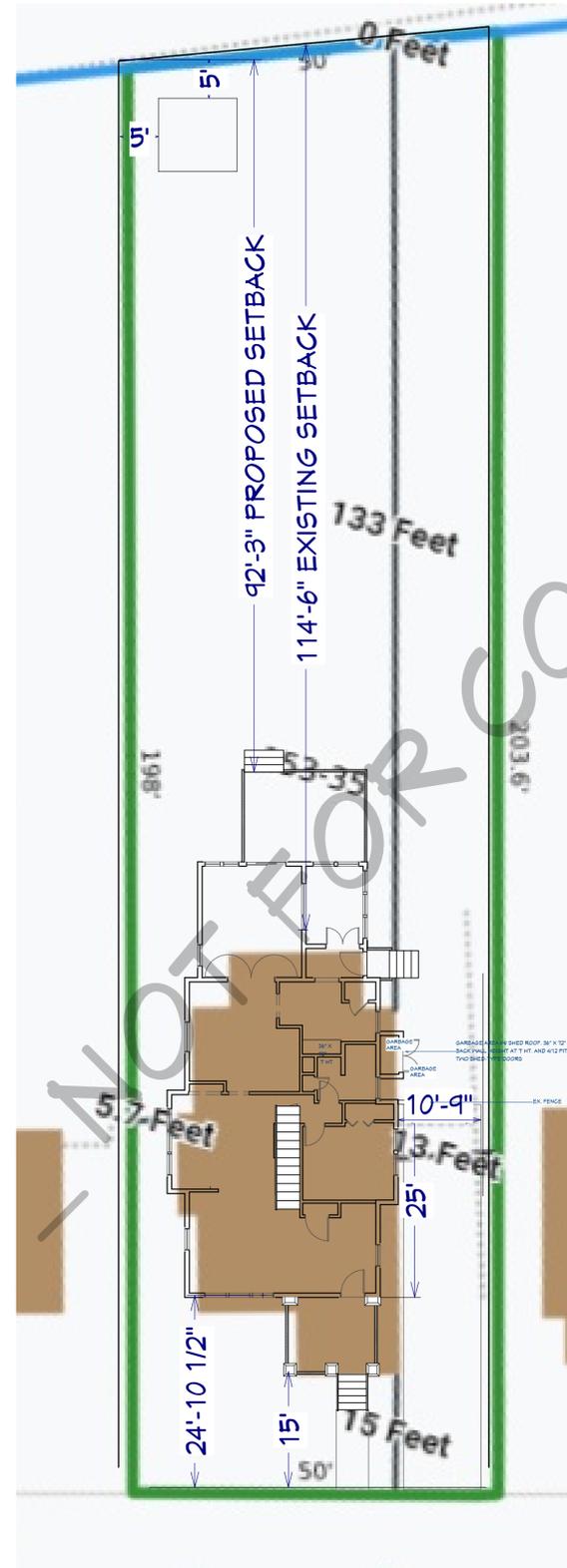
AREA OF FOOTPRINT: 1976 SF

PROPOSED SETBACKS:
 FRONT: 15'-0" | 24' -10"
 REAR: 92'-3"
 LEFT: 5'-7"
 RIGHT: 10'-9"

PROPOSED LOT COVERAGE: 19.7%
 EXISTING PARCEL AREA: .23 AC | 10,018.8 SF

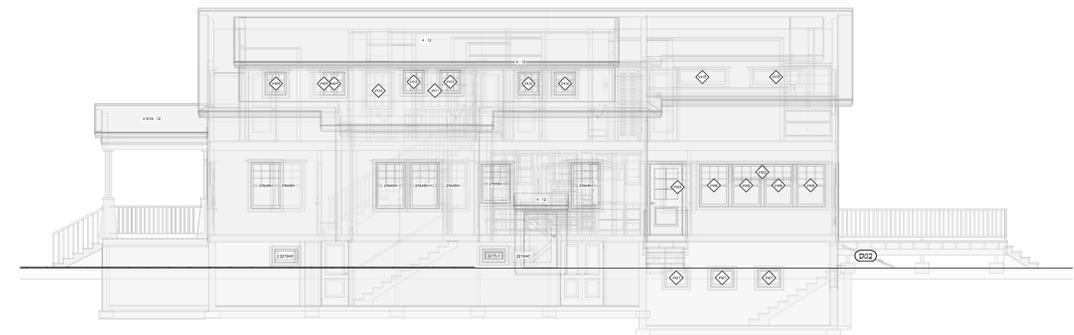
CAD BLOCK GUIDE

- EXISTING FOOTPRINT (1329 SQFT)
- PROPOSED ADDITION (6475QFT)
- PROPOSED DECK AND SHED (348 SQFT)



SITE PLAN

SCALE: 1" = 12'-0"



GLASS HOUSE ELEVATION FROM EAST

SCALE: 1/8" = 1'-0"



GIS INFO.

SCALE: 1/8" = 1'-0"

Building Sub-Areas (sq ft)		Legend	
Code	Description	Gross Area	Living Area
BAS	First Floor	1,076	1,076
EAF	Attic Expansion	1,050	368
FEP	Porch, Enclosed	133	0
FOP	Porch, Open	120	0
UBM	Basement, Unfinished	1,050	0
		3,429	1,444

VISION APPRAISAL INFO.

SCALE: 1/8" = 1'-0"



Revision Table	
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PLOT PLAN

CLIENT:
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 amy@amyduttonhome.com
 207.351.2020

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4/19/2022

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SCALED FOR: 24" X 36"

SCALE:

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SHEET:

S-1

PRELIMINARY

NOT FOR CONSTRUCTION USE

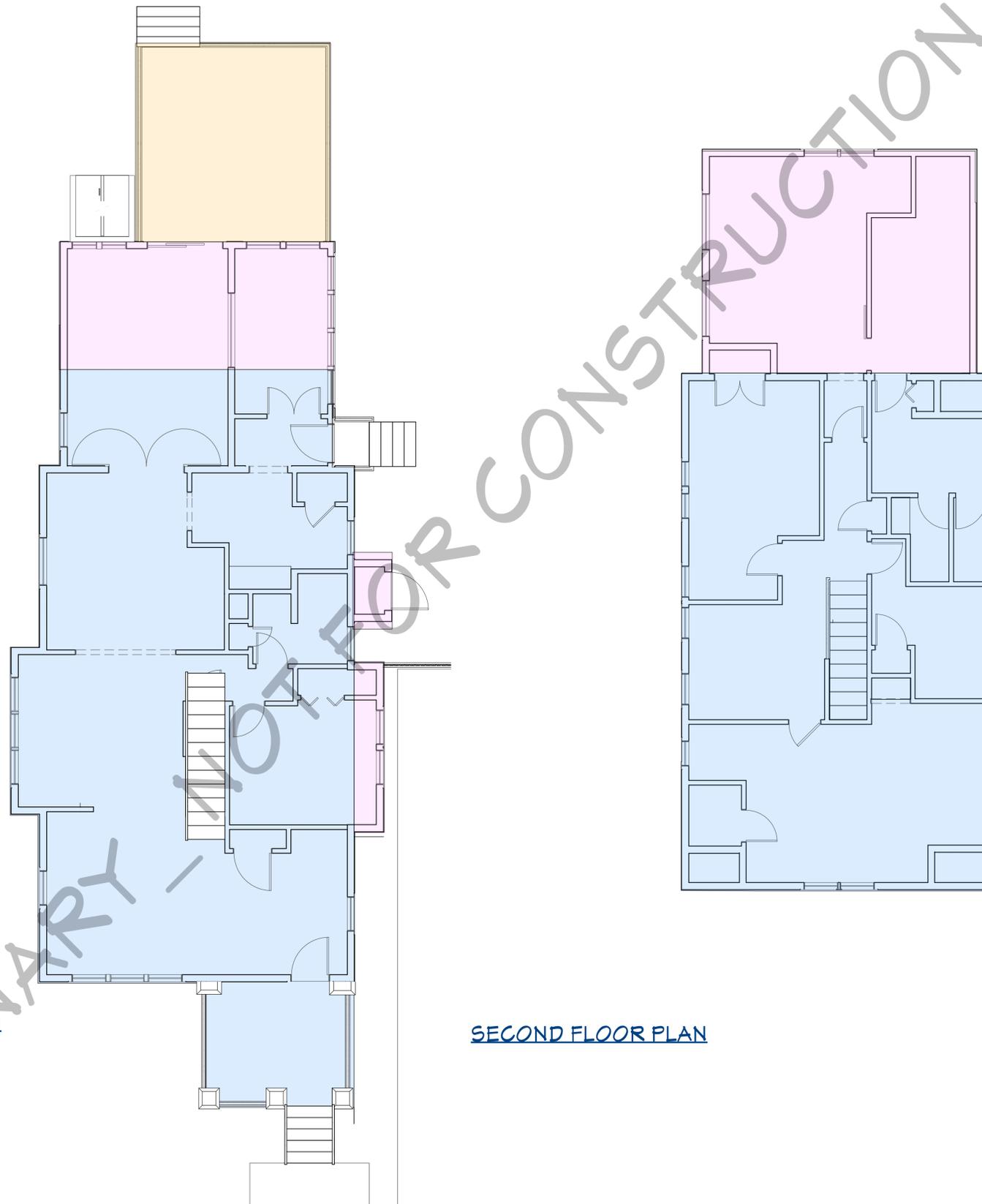
DEMOLITION NOTES

GENERAL NOTES

1. PROVIDE SELECTIVE DEMOLITION TO REMOVE EX. FLOOR, WALLS, CEILING, WINDOWS AND ROOF SYSTEMS IDENTIFIED. CONFIRM EXACT LOCATION W/ DESIGNER AND CIVIL ENGINEER PRIOR TO SELECTIVE DEMOLITION COMMENCEMENT. CONSULT WITH DESIGN PROFESSIONAL FOR ALL REQUIRED TEMPORARY SHORING AND SUPPORTS.
2. CUT EXISTING FOUNDATION TO LOCATION IDENTIFIED AND PREPARE FOR NEW FOUNDATION WALL.
3. EXISTING FOUNDATION WALL TO BE CUT AND REMAIN IN PLACE. REMOVE SILL PLATES OR OTHER LUMBER AND CUT BACK ANCHOR BOLTS TO TOP OF WALL. FILL VOID WITH SAND AND/ OR SOILS CONSISTENT WITH SURROUNDING MATERIALS.

CAD BLOCK GUIDE

- EXISTING FOOTPRINT (1329 SQFT)
- PROPOSED ADDITION (641 SQFT)
- PROPOSED DECK AND SHED (348 SQFT)



FIRST FLOOR PLAN

SECOND FLOOR PLAN

RENOVATION PLAN

SCALE: 1/8" = 1'-0"



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RENOVATION PLAN

CLIENT:
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SCALE:

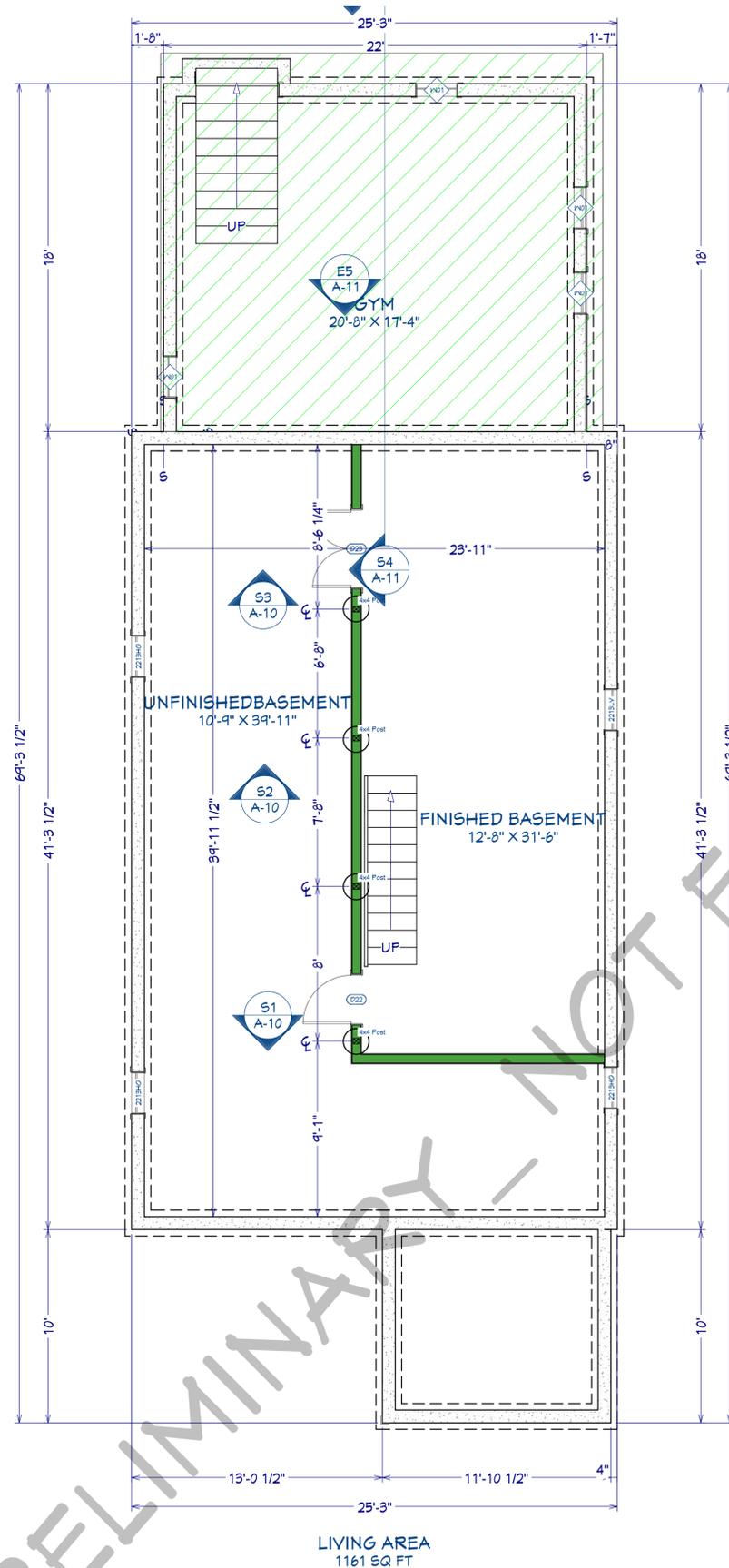
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R-2

EXISTING FOUNDATION PLAN

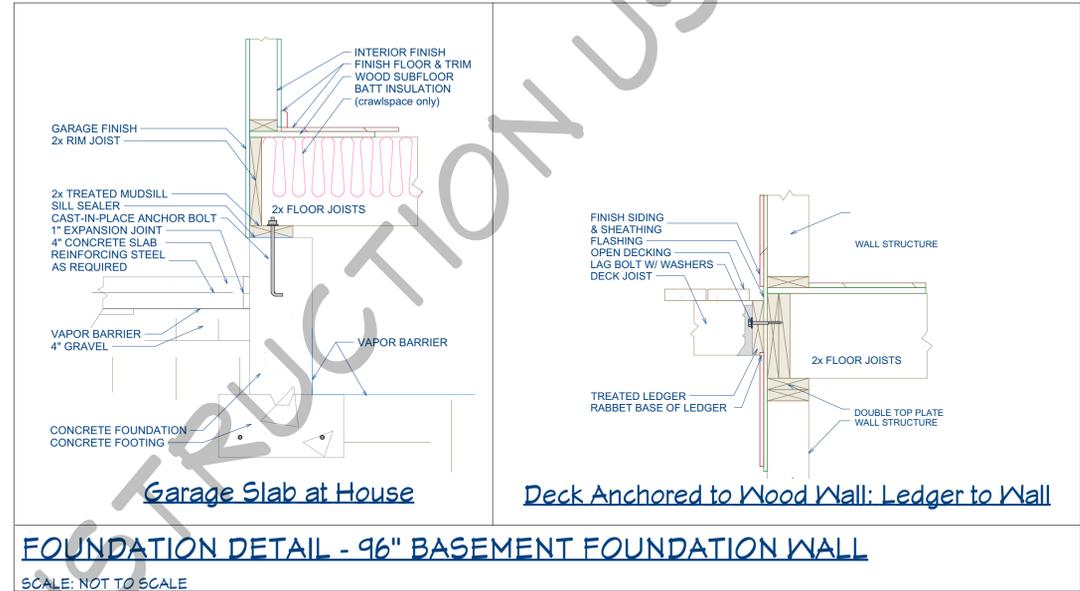
SCALE: 1/8" = 1'-0"



PROPOSED FOUNDATION PLAN

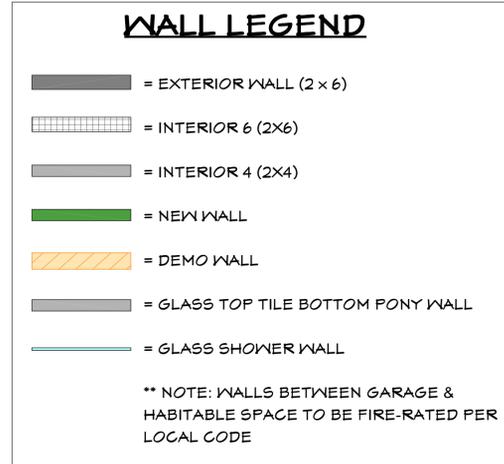
SCALE: 1/8" = 1'-0"

- NOTE:
1. ALL DIMENSIONS ARE FROM FRAMING TO FRAMING
 2. ALL BOTTOM OF HEADERS TO BE HUNG 80"



FOUNDATION DETAIL - 96" BASEMENT FOUNDATION WALL

SCALE: NOT TO SCALE



FOUNDATION NOTES:

- * FOUNDATION WALL: 8-10" CONT. FOUR (2)#4 BAR HORIZONTAL (TOP & BOTTOM) (1) #6 BAR VERTICAL @ 48" OC LAP CORNERS & SPLICES OF REBAR PER CODE
- SECURE SILL TO FOUNDATION W/ 1/2" D. ANCHOR BOLTS THAT EXTEND 1" INTO CONCRETE TIGHTEN W/ NUT & WASHER @ 6' OC & MAX 12" FROM CORNER
- * FOOTING: 10-12" X 20-24" (2) #4 HORIZONTAL (BOTTOM) (1) #4 DOWEL BAR @ 48" OC
- * LALLY COLUMN PAD: 30" X 30" X 12" (2) #4 EACH WAY (BOTTOM)
- * FOUNDATION WALL TO BE 7'-10" HIGH (TYP. WHEN POSSIBLE)
- * MAINTAIN CONTINUOUS 4'-0" FROST DEPTH
- * 1/2" CTR. ANCHOR BOLD @ 4'-0" OC - 3 EA. CORNER / 2 EA. JOINT

PORCH FOUNDATION

- * 12" CTR. CONCRETE FILLED SONOTUBE (1) #6 BAR VERTICAL @ CTR SPREAD FOOTINGS & ANCHOR BOLD ELEVATED 4X4 OR 6X6 POST BASE
- * POSTS UNDER DECK CAN BE SOLID 4X4 UP TO 48" IN HEIGHT, SOLID 6X6 PT FOR HIGHER DECKS.
- * PRECAST BELL OR Poured FOOTINGS @ PORCH, 20" BASE TO FROST WITH 8" SONOTUBE

DECK + PORCH

- * BOLT / SCREW CONNECTION : R502.2.2.1
- * LATERAL CONNECTION: R502.2.2.3

CONCRETE NOTES:

- * 3,000 PSI @ 28 DAY MINIMUM
- * STEEL REINFORCING: GRADE 40MIN.
- * MIN. LAP LENGTH: 40 BAR DIMETERS
- * 1/8" PER FOOT SLOPE FROM BACK OF GARAGE TO DOORS

BULKHEAD NOTES:

- * BILCO CLASSIC SIZE C DOOR SHOWN
- * 55"W X 72"L X 14.5" H (67" X 48" OPENING)
- * CONTRACTOR TO CONFIRM SIZE & LOCATION



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FOUNDATION

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SCALE:

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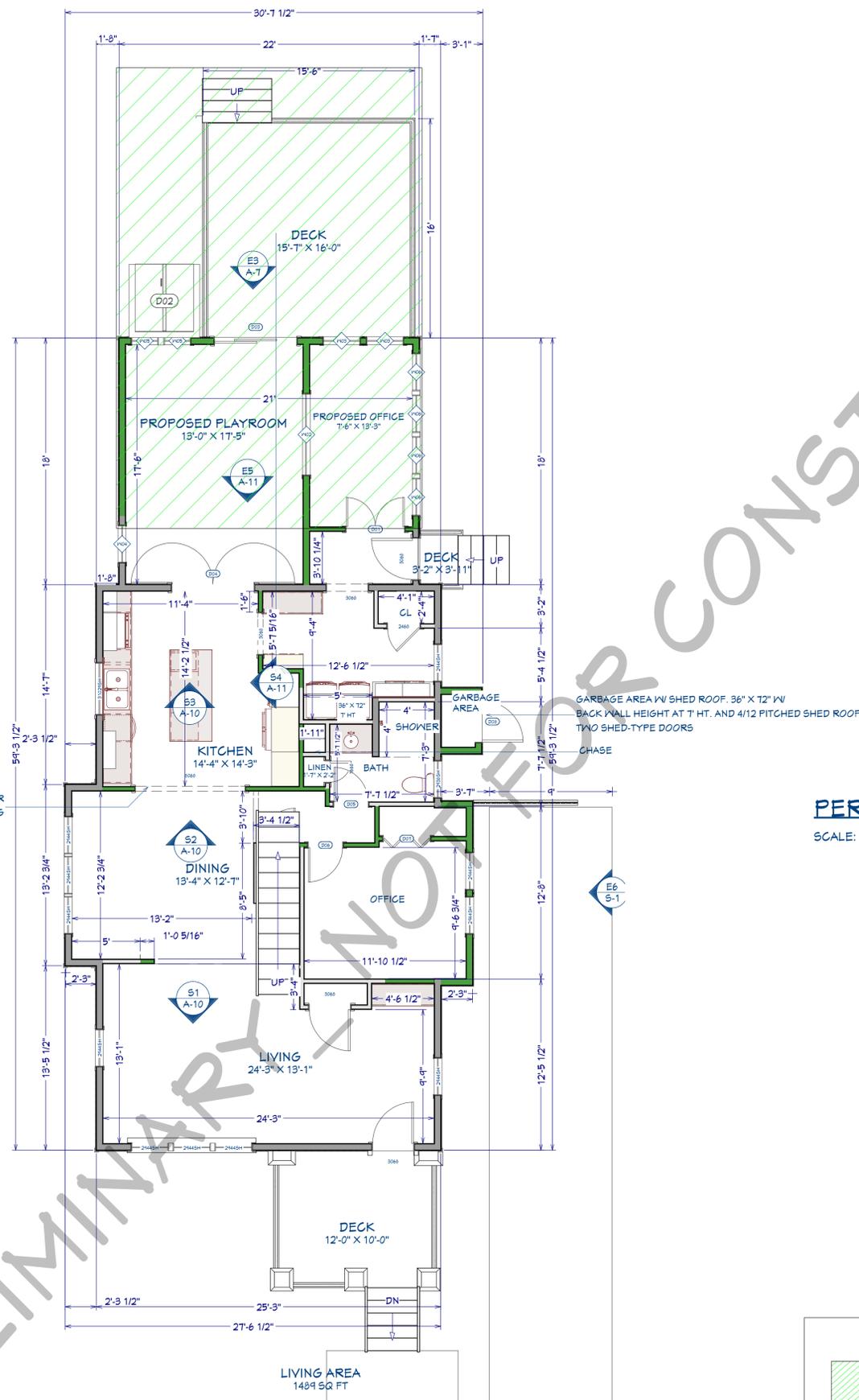
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A-1

EXISTING FIRST FLOOR PLAN

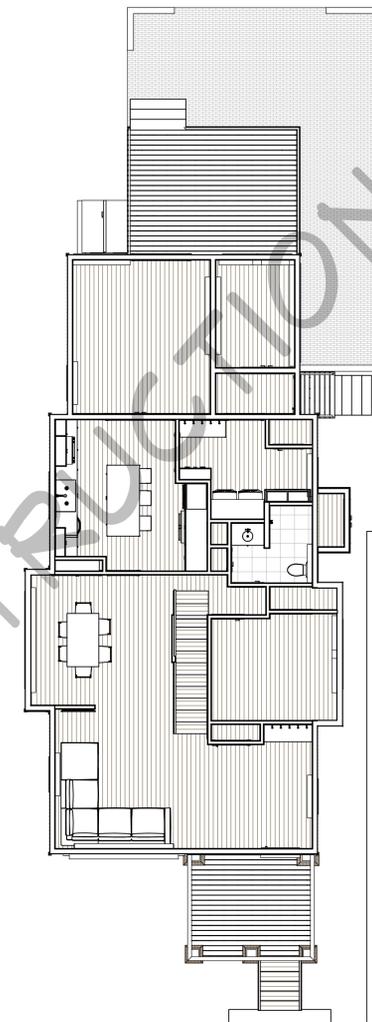
SCALE: 1/8" = 1'-0"

REMOVE EX. BULTIN AND DOOR
CREATE 8'-0" OPENING



PROPOSED FIRST FLOOR PLAN

SCALE: 1/5" = 1'-0"



PERSPECTIVE VIEW

SCALE: NTS

DIMENSIONS:
DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
CLOSETS ARE 24" CLEAR INSIDE, UNLESS DIMENSIONED OTHERWISE.

SQUARE FOOTAGES:

1. Square foot numbers are interior to room and use in calculating finishes.
2. Cabinet and fixtures are not subtracted.
3. Add for doorways when floor finishes run through.

NOTES:

1. Exterior walls 2x6 wood stud @ 16" oc. Provide insulation and vapor barrier conforming to state and local codes. Interior sheathing 1/2" gypsum board. Provide 1/2" exterior rated sheathing, house wrap with drainage pland and siding. Provide step flashing at walls adjacent to roof planes.
2. Interior walls 2x4 stud @ 16" oc, unless noted otherwise.
3. Roof - see structural for rafter sizes. provide 5/8" exterior rated roof sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and asphalt shingles or metal roofing. Structure not calculated to support slate or tile. Polish all penetrations. Provide cricket at any added chimneys.
4. Provide roof and / or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy. (Verify with code office - closed cell spray foam or dense-pack cellulose installed at rafters and filling ridge and eaves generally contra-indicated venting, batt insulation always requires venting.)
5. Provide smoke detectors where shown, where required by code and where required by local authorities.
6. Provide fire resistive materials where required by code, including but not limited to, firestopping at penetrations, 1/2" drywall on walls and 5/8" drywall on ceilings to separate garage (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation material.
7. Confirm bottom of window openings relative to frame. Adjust head heights as required to conform to IRC 2015 or provide code approved guards.
8. Compliance with code requirements for room size and clearances (hallway widths, room sizes, etc) assume 1/2" drywall on walls and 1/2" drywall on 3/4" strapping on ceilings. Adjust as required if materials differ.
9. Some windows must be installed with a head height greater or lesser than the standard 80" or 82-1/2" to provide clearance at kitchen counters, to meet code sill height or to clear roofs. Where approx. 84" head height is called for, install 2x10 header tight to the double top plate, frame, window RO tight to header.
10. Shear is only called out where Continuous Portal Frame will not suffice. See IRC 2015 code.

WALL LEGEND

- = EXTERIOR WALL (2 x 6)
- = INTERIOR 6 (2X6)
- = INTERIOR 4 (2X4)
- = NEW WALL
- = DEMO WALL
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL

** NOTE: WALLS BETWEEN GARAGE & HABITABLE SPACE TO BE FIRE-RATED PER LOCAL CODE

WALL LEGEND

- = ADDITION
- = EXISTING



Revision Table	Description
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FIRST FLOOR

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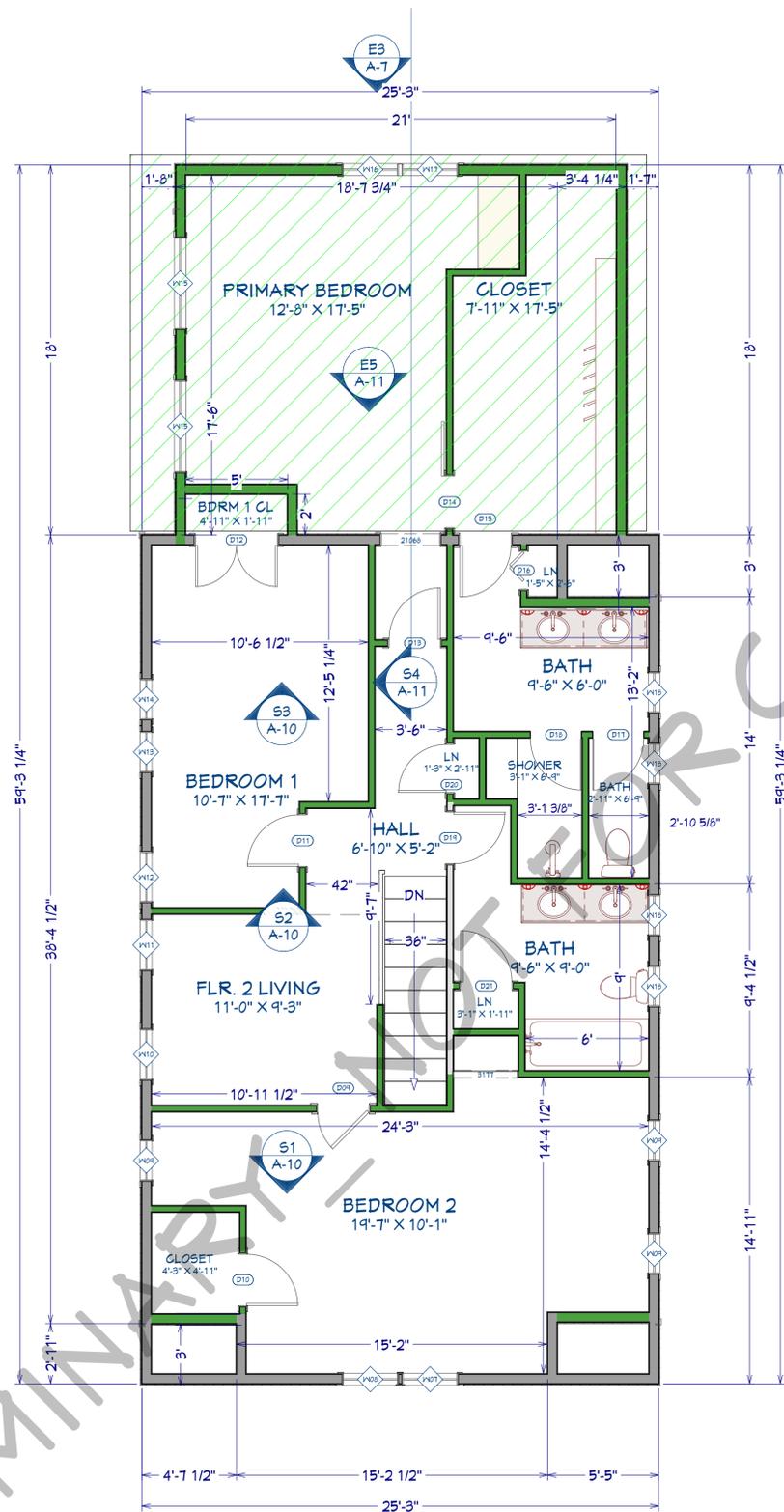
SEE SCALE ON DRAWINGS

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A-2

EXISTING SECOND FLOOR PLAN

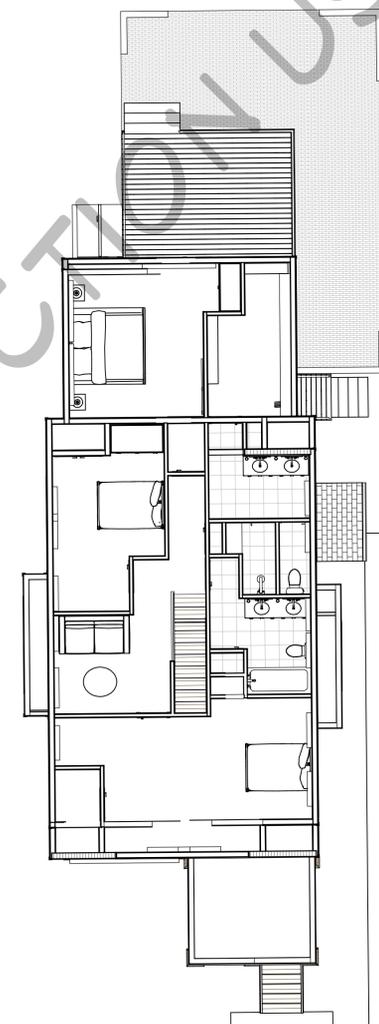
SCALE: 1/8" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

LIVING AREA
1363 SQ FT



PERSPECTIVE VIEW

SCALE: NTS

WALL LEGEND

	= ADDITION
	= EXISTING

WALL LEGEND

	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table	
Number	Description

SECOND FLOOR

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FORTSMOUTH, NH

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SCALE:
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SHEET:

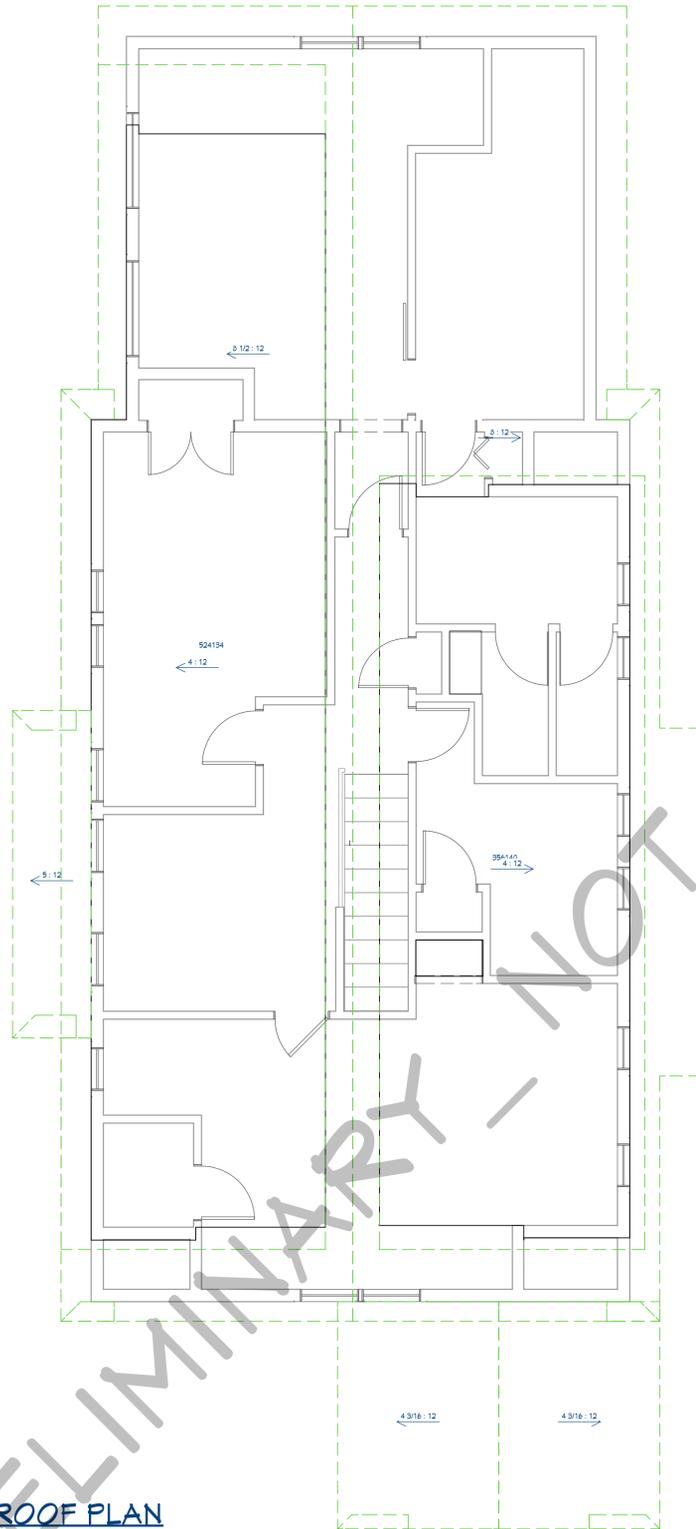
A-3

NOTES:

1. PROVE 2 X 10 FLOOR JOISTS AT 16" o.c. TYPICAL
2. INTERIOR NON-BEARING STUD WALLS ARE 2 X 4 AT 16" o.c.
3. INTERIOR BEARING WALLS ARE 2 X 6 AT 16" o.c. #5-2 OR BETTER
4. HEADERS FOR DOORS AND WINDOWS UP TO 6 FEET ARE (2) 2 X 10's
5. ENGINEERED FLOOR BEAM TO BE DESIGNED AND SUBMITTED PRIOR TO CONSTRUCTION BY STRUCTURAL ENGINEER.
6. CEILING JOISTS FOR THE SECOND FLOOR ARE 2X6.
7. WALLS ARE GREY
8. ROOF PLANES ARE GREEN

EXISTING ROOF PLAN

SCALE: 1/8" = 1'-0"

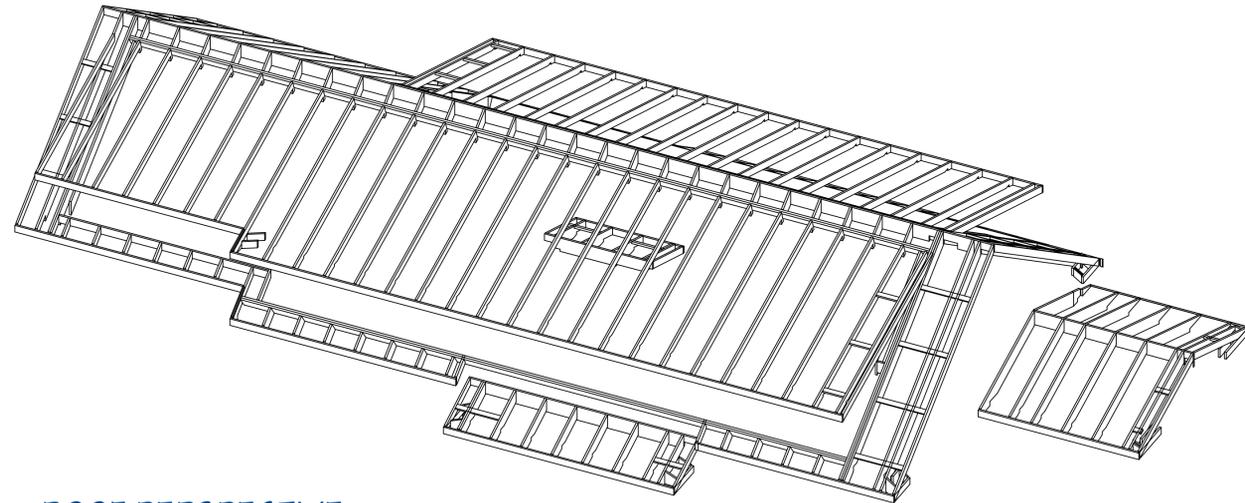
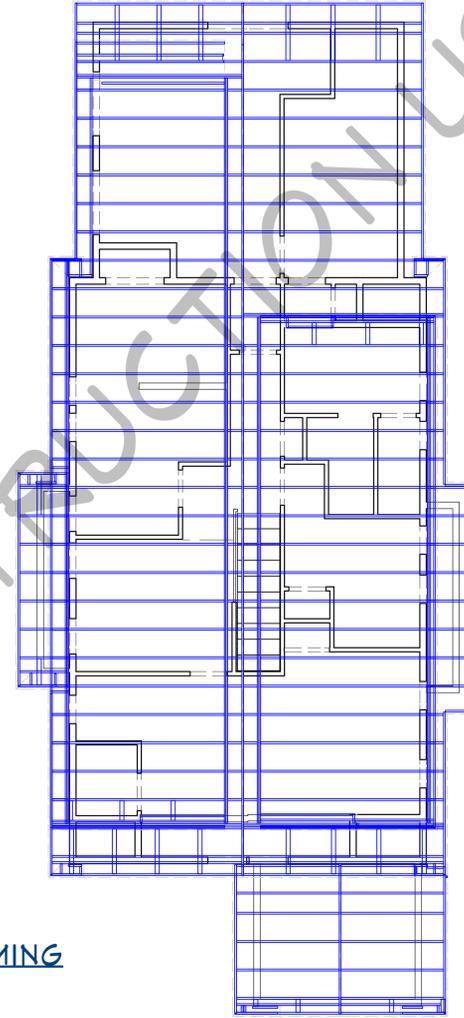


PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

PROPOSED ROOF FRAMING

SCALE: NTS



ROOF PERSPECTIVE

SCALE: NTS



Revision Number	Date	Description

ROOFS

CLIENT:
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 129 ALDRICH RD
 FORTSMOUTH, NH

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SCALED FOR: 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-4



NORTH ELEVATION EXISTING | FRONT VIEW

SCALE: 1/4" = 1'-0"



NORTH ELEVATION PROPOSED | FRONT VIEW

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION EXISTING | REAR VIEW

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION PROPOSED | REAR VIEW

SCALE: 1/4" = 1'-0"

ELEVATIONS



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SCALED FOR:
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SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-7

TYPICAL NOTES:

- ASPHALT SHINGLES, TYP.
- RIDGE VENT, TYP.
- VINYL RAKE AND SHADOW TRIM BOARDS, TYP
- VINYL TRIM BOARDS, TYP
- PVS RAILING SYSTEMS, TYP.
- PLATINUM SIDING ON SHEATHING
- NEW WINDOWS AND DOORS PER SCHEDULE
- FOUNDATION MATERIAL-CONCRETE
- NEW FOUNDATION WALL



EAST ELEVATION EXISTING SIDEVIEW

SCALE: 1/4" = 1'-0"



EAST ELEVATION PROPOSED SIDEVIEW

SCALE: 1/4" = 1'-0"



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 4 WALKER STREET | KITTERY, ME
 amy@amyduttonhome.com
 207.351.2020

DATE:

4/19/2022

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SCALED FOR: 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-8
 ELEVATIONS



WEST ELEVATION EXISTING | SIDEVIEW

SCALE: 1/4" = 1'-0"



WEST ELEVATION PROPOSED | SIDEVIEW

SCALE: 1/4" = 1'-0"



Revision Table
Number | Date | Description

Number	Date	Description

ELEVATIONS

CLIENT:
SREBNIK RESIDENCE
129 ALDRICH RD
FORTSMOUTH, NH

CONTACT:
AMY DUTTON HOME
4 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.351.2020

DATE:

4/19/2022

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-9
ELEVATIONS

Hello,

This letter authorizes Amy Dutton to submit the application pertaining to 129 Aldrich Road. Thank you.

Regards,

Matt & Annie Srebnik