

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

WORK SESSION

**Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue**

2:00 PM

July 14, 2026

AGENDA

2:00 PM 221 Woodbury Ave
Ryan Trust, Owner
(LUTW-26-10)

Subdivision

2:30 PM 0 Lafayette Rd
Jones & Beach, Engineer
(LUTW-26-11)

Site Plan Review

Planning Department
Portsmouth City Hall
1 Junkins Avenue
Portsmouth, NH 03801

To: City of Portsmouth- Technical Advisory Committee

From: Martin Ryan

Date: July 07, 2026

Re: Request for TAC Work Session
Ryan Trust
221 Woodbury Ave, Tax map 175-10
General Residence A Zoning

Dear TAC Chairman Peter Stith & Technical Advisory Committee:

The Zoning Board of Adjustment reviewed this application on June 16th and unanimously approved the single variance requesting relief from the frontage requirement.

In support of the request for subdivision at 221 Woodbury Avenue, we respectfully submit this memorandum and the accompanying exhibits for the Planning Board's consideration at its meeting on July 16th, 2026.

Attachments:

- A. City Tax Map
- B. Drawing Set
 - T1- Title Sheet
 - C1- Historic Map & Figure Ground
 - C2- Existing Site Plan
 - C3- Proposed Site Plan
 - C4- Site Diagram
 - A1- Site Elevation
 - A2- Site Elevations
 - P1- Context Photographs
 - P2- Context Photographs
- C. Zoning Board of Adjustment Document

Property:

Located at 221 Woodbury Avenue, the subject property is a 17,351-square-foot corner parcel with approximately 135 feet of Woodbury Avenue frontage and approximately 145 feet of Thornton Street frontage (see C2 Existing site Plan). Existing structures include a well-maintained two-family residence constructed circa 1900 and a detached garage.

The applicants, who have resided at and maintained the property for 30 years, seek a subdivision due to health-related challenges that make the current dwelling unfeasible. The objective is to subdivide the large parcel to create a new, adjacent lot. This will facilitate the construction of a more suitable residence, enabling the applicants to age in place within their established community.

While the proposed subdivision creates two appropriately sized lots that is consistent with the neighborhood's land use patterns, the project did require the approval of a frontage variance for the newly created lot.

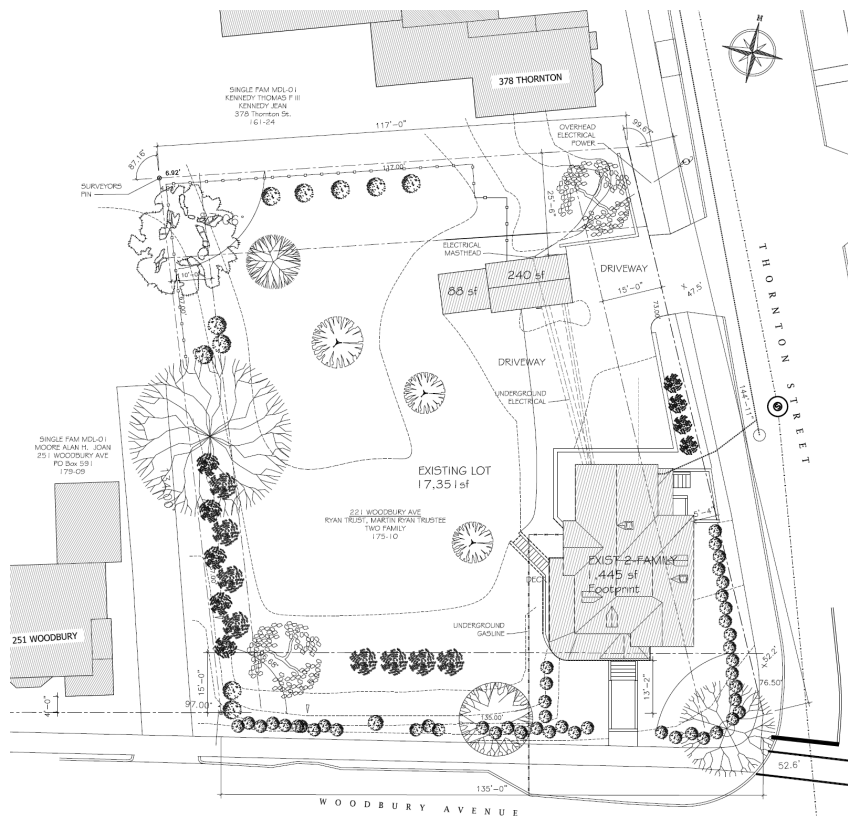


Figure #1 Existing Site Plan

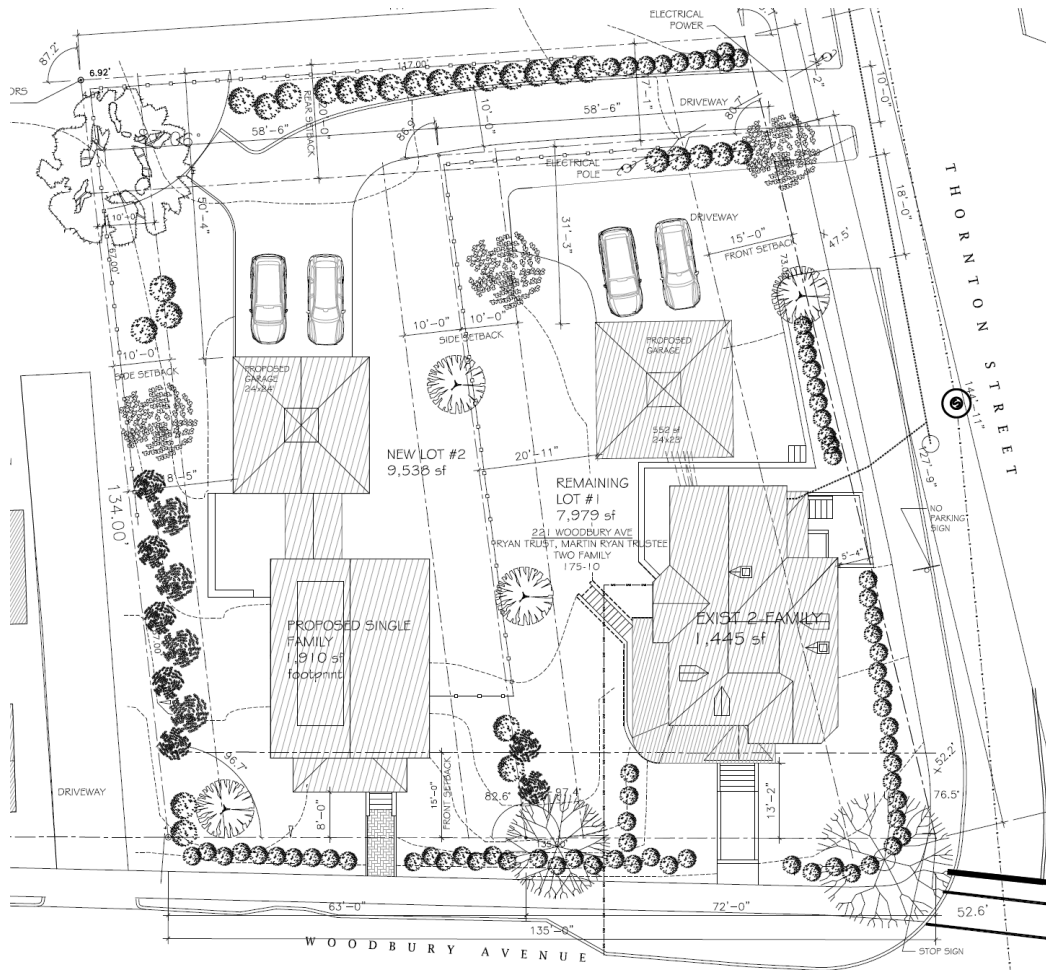


Figure #2 Proposed Site Plan

Parking:

Each dwelling unit, the existing and the proposed single-family structure, will be supported by a standard two-car garage with a footprint of 24' x 24'. The resulting off-street parking, accommodated via the driveways and garages, exceeds the regulatory thresholds of Section 10.1112.31 (*Parking Requirements for Residential Uses*).

Vehicular and Pedestrian Traffic:

To ensure independent vehicle access, both the proposed and existing single-family residences will utilize separate curb cuts and dedicated driveways. Each driveway configuration is intentionally designed with an integrated turnaround area, enabling vehicles to execute a safe three-point turn and exit onto the public right-of-way in a forward-facing direction, thereby eliminating the need to back out into the street.

The proposed driveway entrances on Thornton Street have been strategically positioned to minimize the visual impact of parked vehicles and driveway infrastructure, ensuring that vehicular traffic does not dominate the streetscape or the site's aesthetic character. Additionally, the layout prioritizes neighborhood safety by incorporating an on-site turnaround that prevents vehicles from reversing into street traffic, ensuring all egress onto Thornton Street is executed in a safe, forward-facing direction.

Sidewalks were installed in 2025 giving safe pedestrian movement along Thornton street and Woodbury avenue.

Screening and Landscaping:

To enhance the overall aesthetic of the streetscape and respect adjacent properties, the site design incorporates robust perimeter screening. This will feature a combination of high-quality privacy fencing and a curated mix of native evergreen trees and deciduous shrubs. This multi-tiered landscape buffer is strategically designed to provide year-round visual screening, soften the built environment, and harmonize the development with the neighborhood's existing character. A landscaping plan will be incorporated into the building permit for the new house.

Water and Sewage:

Municipal water and sewer services for the proposed residence will connect directly to the existing infrastructure on Woodbury Avenue. A new sewer tie-in will extend into the site from the 6-inch PVC sewer main, with its exact configuration subject to Portsmouth DPW approval. A dedicated 1-inch domestic water service line will be installed to serve the new home. Crucially, the existing home's utility connections will remain entirely separate, continuing to utilize the independent water and sewer lines currently serving the property from Thornton Street.

Stormwater management:

A civil engineer will be engaged to design a stormwater management plan to address the increase in impervious surfaces from the new home and driveway, ensuring compliance with all municipal requirements.

Site Lighting:

To prevent light pollution in the surrounding neighborhood, all proposed site lighting will be wall-mounted and designed at minimal levels. This configuration is optimized to deliver a safe, welcoming pedestrian experience without the use of free standing fixtures or flood lights.

Trash Collection:

Solid waste disposal for both the existing and new dwellings will be managed through the Portsmouth curbside collection service. Bins will be placed along the Thornton Street frontage for pickup.

Site Utilities:

Electrical service currently originates from an overhead utility pole at the northeast corner of the site, running overhead to the existing garage where it is metered before continuing underground to the existing residence.

As part of this project, the garage will be demolished, and all electrical and communication lines for the existing residence will be transitioned to a fully underground service originating from the same northeast utility pole.

To serve the proposed new residence, a separate, independent utility service will be established from the same pole and routed entirely underground. All final services for both structures will be located underground, eliminating overhead lines across the site.

Snow Removal:

The proposed snow removal strategy utilizes on-site plowing to clear all asphalt driveways and access points. Accumulated snow will be stockpiled in the dedicated, demarcated snow storage areas shown on the site plans. These storage zones are

strategically located adjacent to the driveways to minimize transport distances and ensure that melt runoff is directed toward approved drainage systems without impacting adjacent properties.

Zoning Relief:

The proposed subdivision was formally presented to the Portsmouth Zoning Board of Adjustment (ZBA) for review. The applicant requested a dimensional variance to permit 63 linear feet (LF) of frontage for the newly created lot, where a minimum of 100 LF is required under the current zoning district regulations.

All other applicable dimensional and setback requirements for both lots were fully satisfied. Following a review of the application materials and public testimony, the ZBA found that the request met the criteria for municipal relief and voted unanimously (6-0) to grant the variance.

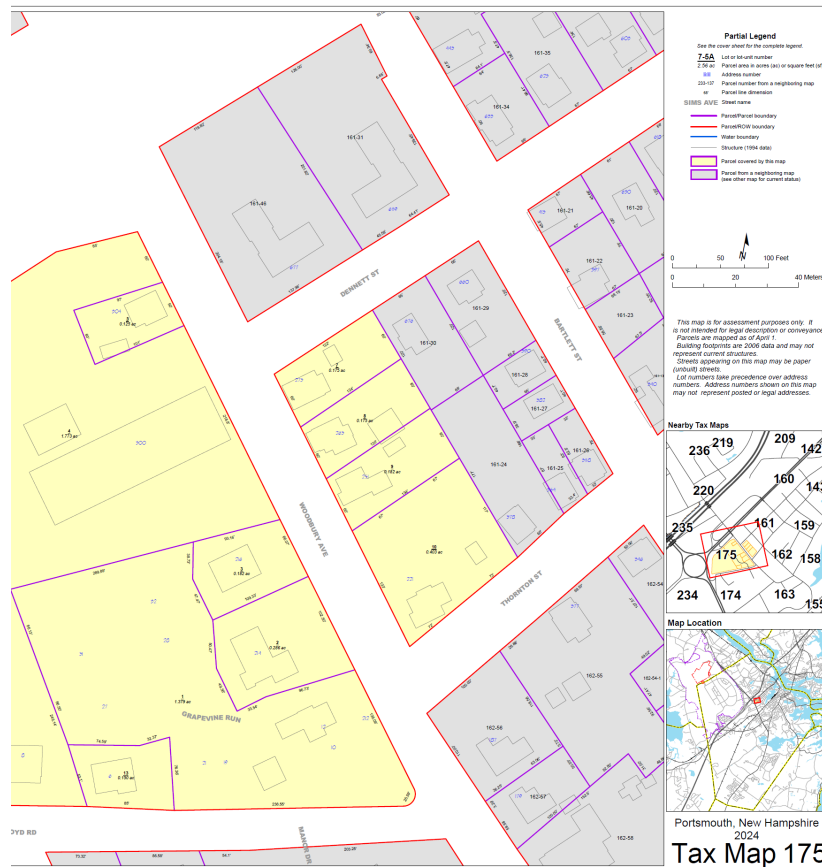


Figure 3. – Tax Map.

Site Layout:

The proposed subdivision is deliberately designed to maintain the neighborhood's character by preventing driveways and garages from dominating the property's architectural facade.

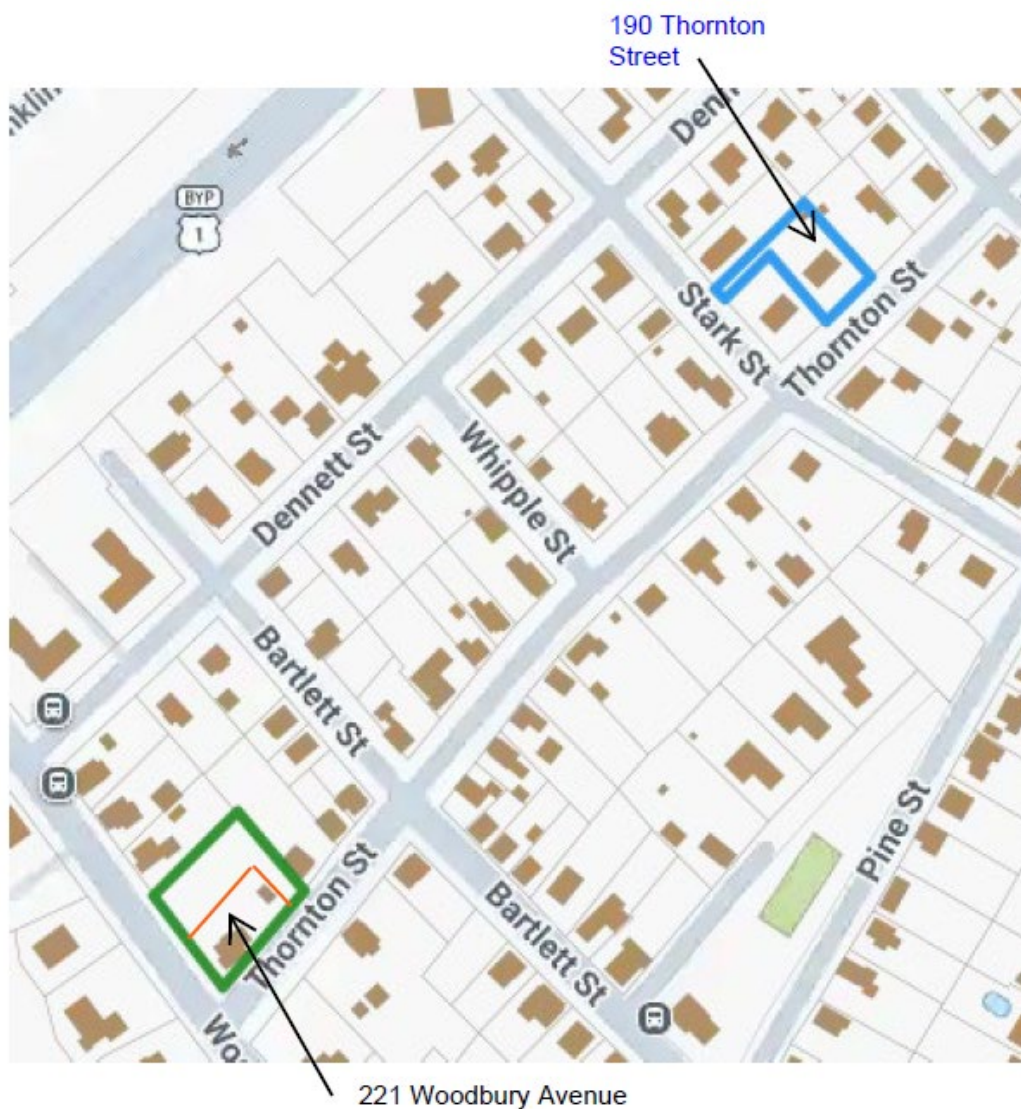
**SUBDIVISION PRECEDENT**

Figure 4. - Precedent for lot configuration.

By relocating these visual elements to the interior of the lot, the proposed lot configuration successfully preserves the existing streetscape and the historic charm of the area. This approach would maintain the historic language of the “urban street wall”.

July 14, 2026

Additionally, this driveway configuration eliminates the danger of backing into street traffic. A comparable precedent for this L-shaped lot and driveway configuration can be found at 190 Thornton Street.

In this case, were the subdivision to be granted, there would be no change in the essential characteristics of the neighborhood. A second dwelling lot is entirely appropriate and consistent with the existing subdivision in which this property sits. It does not increase the amount of residential density beyond what is permitted by right. Thus, the fundamental residential character of the neighborhood will not be altered and the health, safety and welfare of the public will not be threatened.

Thank you for your consultation on this matter.

Respectfully Submitted,

A handwritten signature in black ink that reads "Martin Ryan". The script is fluid and cursive, with the first letters of "Martin" and "Ryan" being capitalized and prominent.

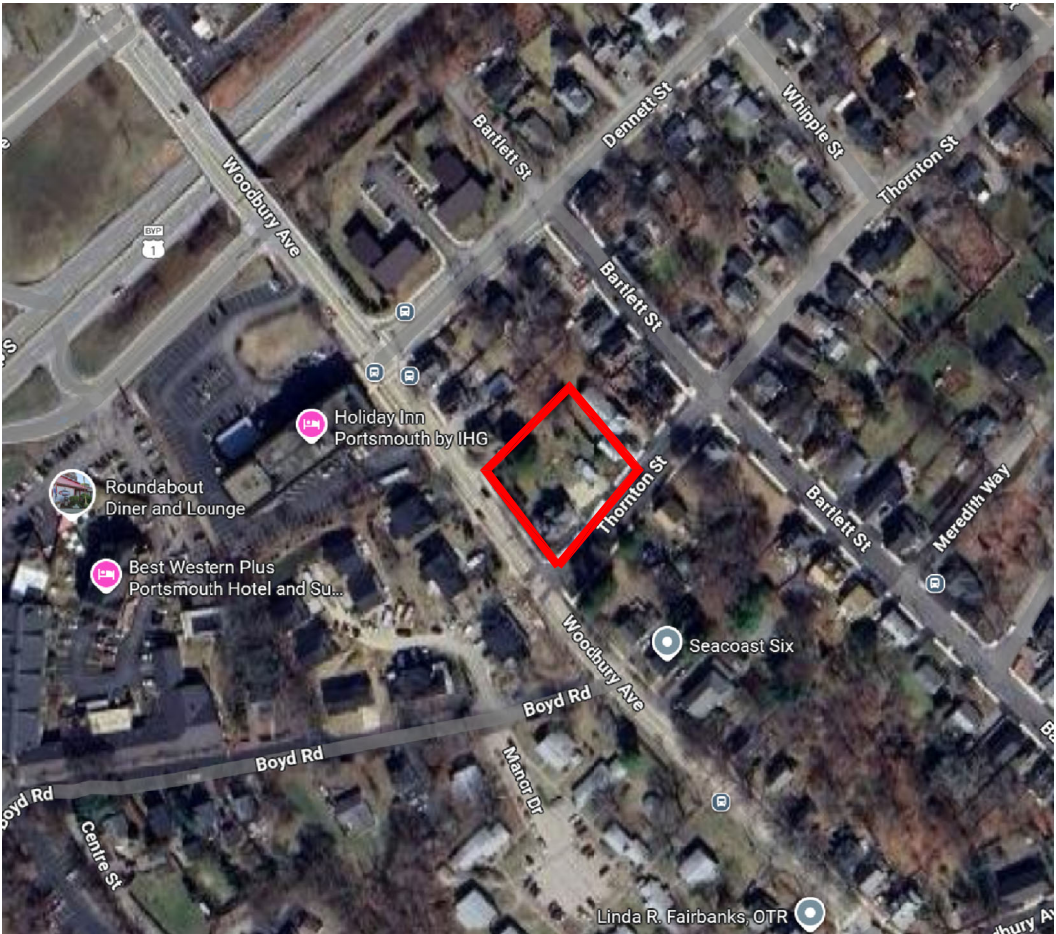
Martin Ryan

DRAWING LIST

NO	TITLE
T1	TITLE SHEET
C1	HISTORIC MAP & FIGURE GROUND
C2	EXISTING SITE PLAN
C3	PROPOSED SITE PLAN
C4	SITE DIAGRAMS
A1	SITE ELEVATIONS
A2	SITE ELEVATIONS
P1	CONTEXT PHOTOGRAPHS
P2	CONTEXT PHOTOGRAPHS

221 WOODBURY AVENUE
PORTSMOUTH, NH 03801
SUBDIVISION PROPOSAL PLAN
TAC WORK SESSION

OWNER- RYAN TRUST
JULY 14, 2026



AERIAL VIEW
SCALE: NTS

MARTIN RYAN ARCHITECT
221 Woodbury Ave
Portsmouth, NH 03801
+

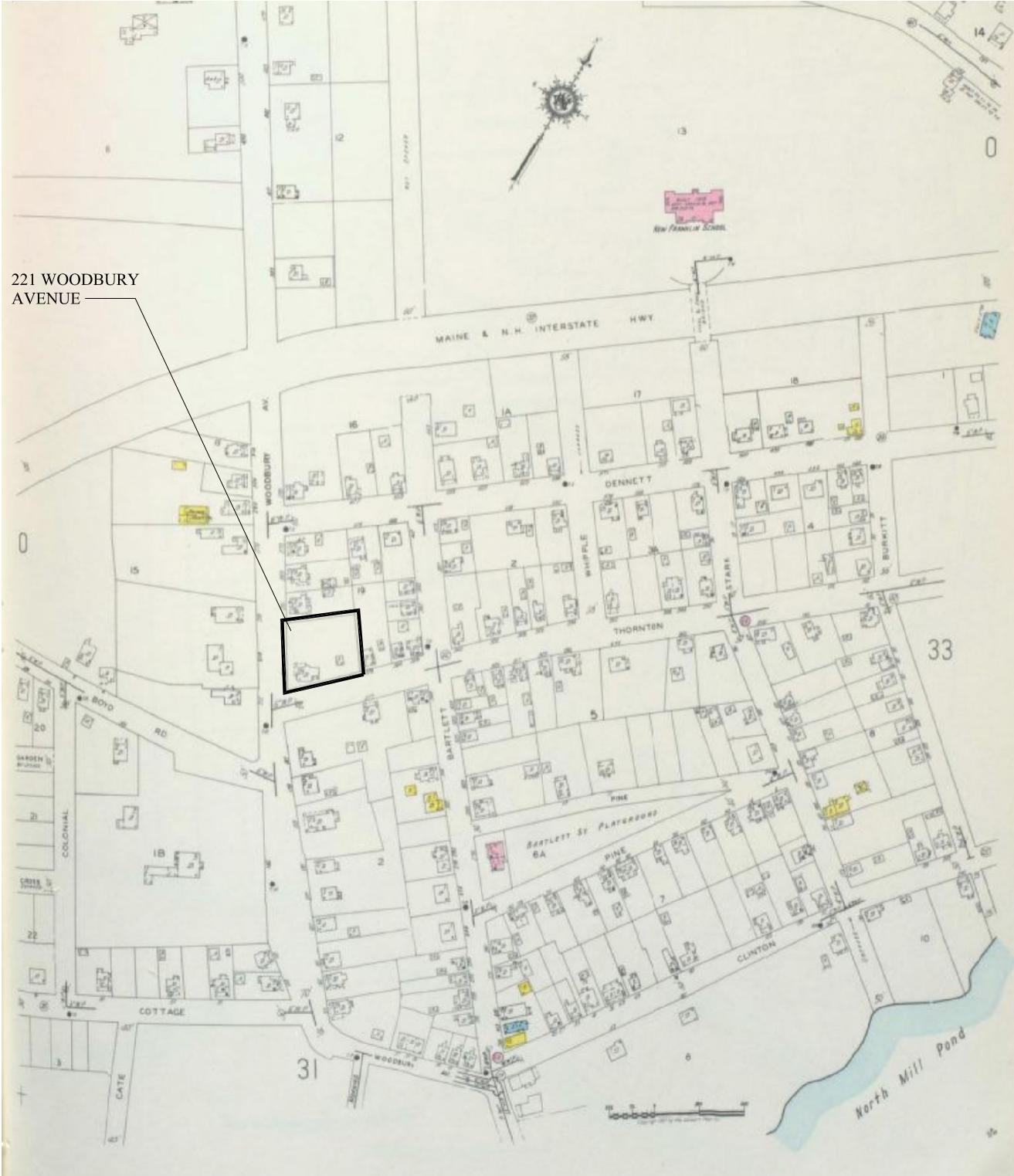
JULY 14, 2026
TAC WORK
SESSION

221 WOODBURY AVE
PORTSMOUTH, NH
SUBDIVISION PLAN

DATE: 05-22-26
DESIGN: MLR
DRAWN: MLR
CHECKED:
SCALE:
JOB:

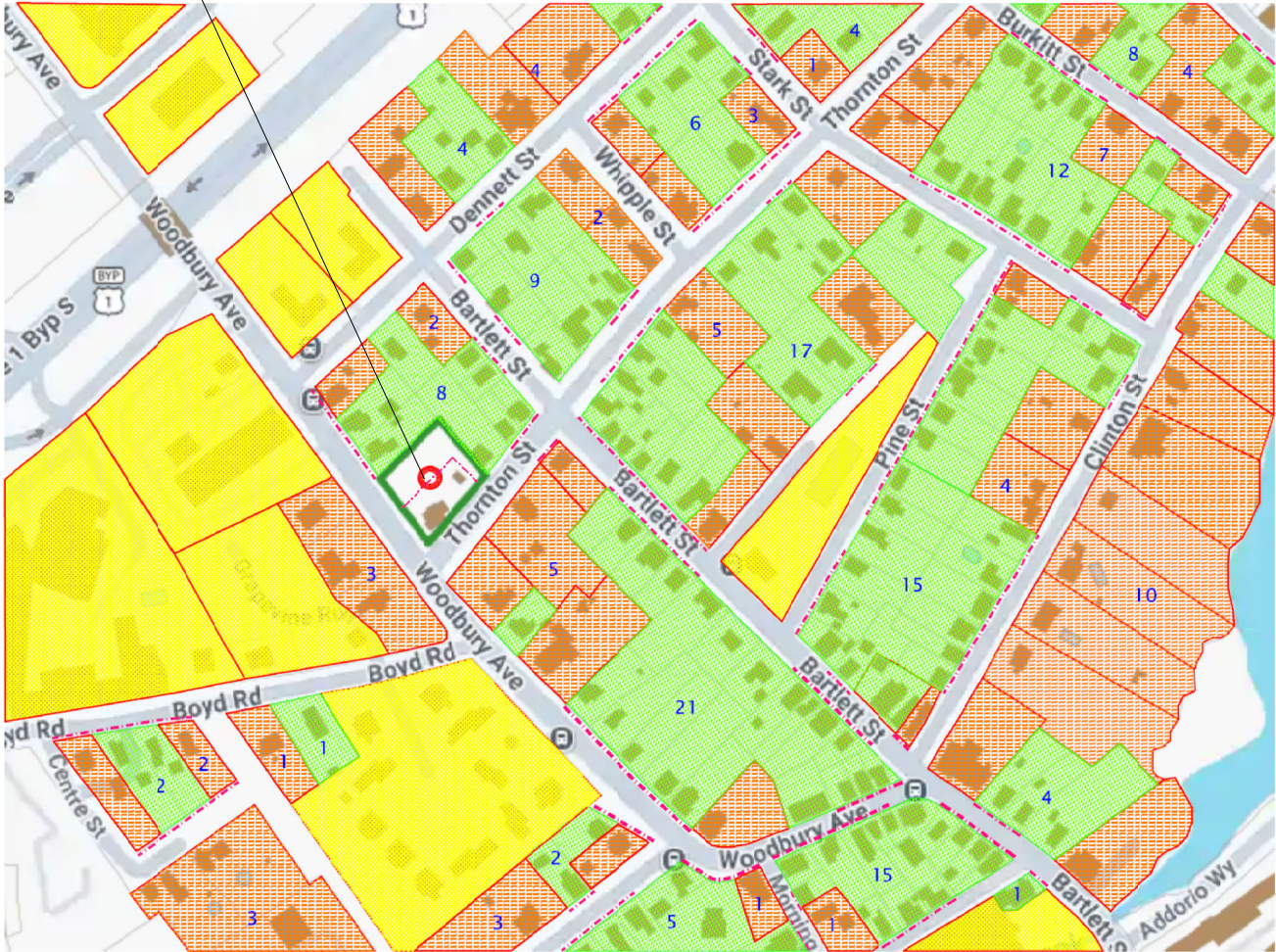
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SHEET

T1



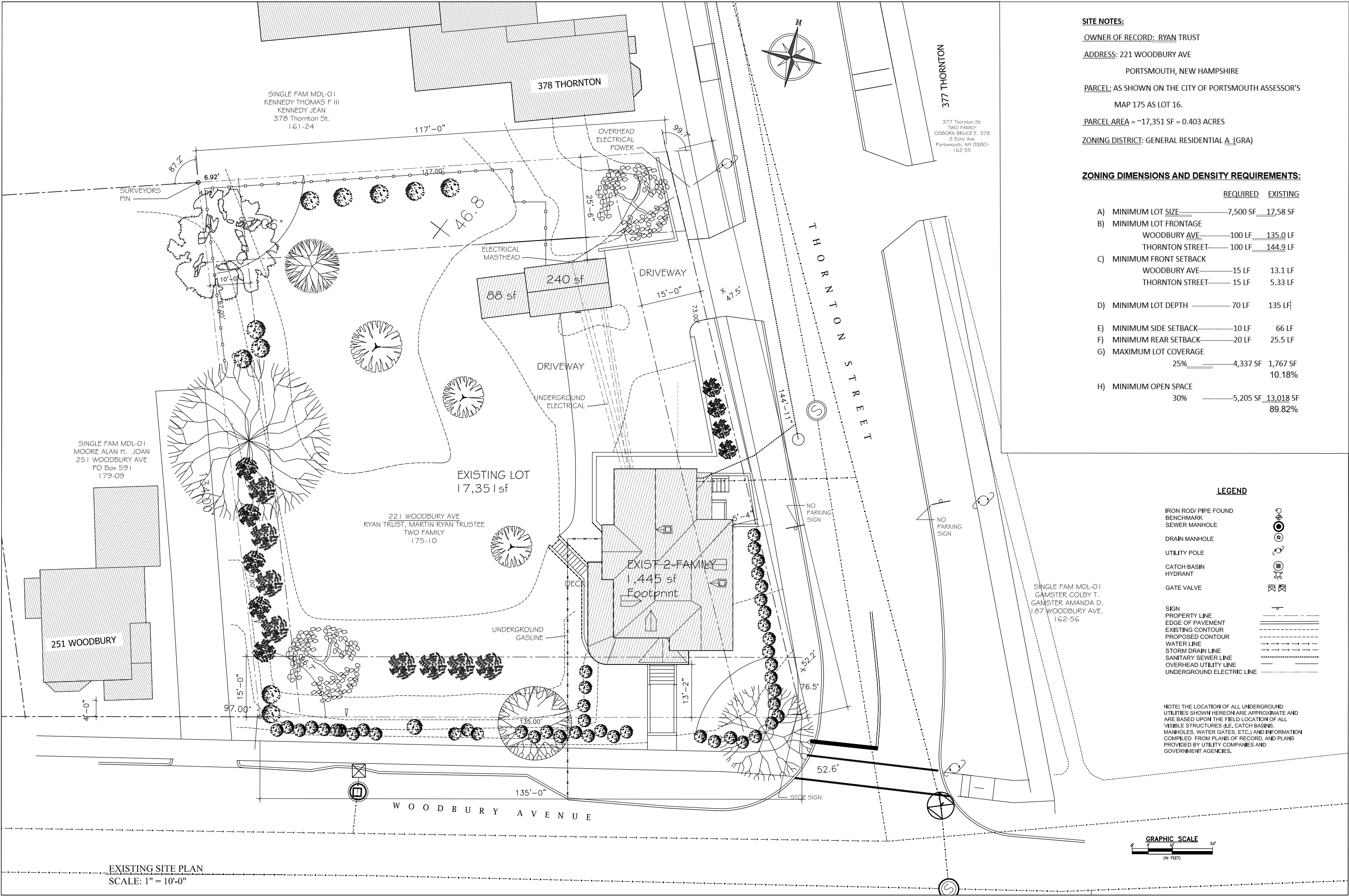
SANBORNE MAP 1920
SCALE: NTS

221 WOODBURY
AVENUE



- GREEN— LOTS WITH LESS THAN THE 100LF REQUIRED STREET FRONTAGE (TOTAL 134 LOTS)
- ORANGE— LOTS THAT MEET THE 100 LF STREET FRONTAGE REQUIREMENT (TOTAL 60 LOTS)
- YELLOW— COMMERCIAL OR MULT-FAMILY LOTS
- FRONTAGE EQUAL OR LESS THAN 63 LF (82 TOTAL)
- SITE— 221 WOODBURY AVENUE
- 204 LOTS TOTAL SHOWN

FIGURE GROUND
SCALE: NTS



SITE NOTES:
OWNER OF RECORD: RYAN TRUST
ADDRESS: 221 WOODBURY AVE
PORTSMOUTH, NEW HAMPSHIRE
PARCEL: AS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S
MAP 175 AS LOT 16.
PARCEL AREA = ~17,351 SF = 0.403 ACRES
ZONING DISTRICT: GENERAL RESIDENTIAL A (GRA)

ZONING DIMENSIONS AND DENSITY REQUIREMENTS:		
	REQUIRED	EXISTING
A) MINIMUM LOT SIZE	7,500 SF	17,58 SF
B) MINIMUM LOT FRONTAGE		
WOODBURY AVE	100 LF	135.0 LF
THORNTON STREET	100 LF	144.9 LF
C) MINIMUM FRONT SETBACK		
WOODBURY AVE	15 LF	13.1 LF
THORNTON STREET	15 LF	5.33 LF
D) MINIMUM LOT DEPTH	70 LF	135 LF
E) MINIMUM SIDE SETBACK	10 LF	66 LF
F) MINIMUM REAR SETBACK	20 LF	25.5 LF
G) MAXIMUM LOT COVERAGE		
25%	4,337 SF	1,767 SF
		10.18%
H) MINIMUM OPEN SPACE		
30%	5,205 SF	13,018 SF
		89.82%

LEGEND	
IRON ROD/ PIPE FOUND	
BENCHMARK	
SEWER MANHOLE	
DRAIN MANHOLE	
UTILITY POLE	
CATCH BASIN	
HYDRANT	
GATE VALVE	
SIGN	
PROPERTY LINE	
EDGE OF PAVEMENT	
EXISTING CONTOUR	
PROPOSED CONTOUR	
WATER LINE	
STORM DRAIN LINE	
SANITARY SEWER LINE	
OVERHEAD UTILITY LINE	
UNDERGROUND ELECTRIC LINE	

NOTE: THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (I.E., CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS OF RECORD, AND PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES.

MARTIN RYAN ARCHITECT
221 Woodbury Ave
Portsmouth, NH 03801

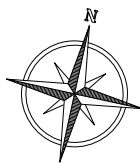
JULY 14, 2026
TAC WORK
SESSION

221 WOODBURY AVE
PORTSMOUTH, NH
SUBDIVISION PLAN

DATE: 05-22-26
DESIGN: MLR
DRAWN: MLR
CHECKED:
SCALE:
JOB:

EXISTING SITE
PLAN

C2



378 Thornton St. SINGLE FAM
MDL-01
KENNEDY THOMAS F III
KENNEDY JEAN
378 THORNTON ST.
161-24

378 THORNTON

377 Thornton St.
TWO FAMILY
OSBORN BRUCE E. 378
2 Echo Ave
Portsmouth, NH 03801
162-55

PROPOSED SITE NOTES:

OWNER OF RECORD: RYAN TRUST

ADDRESS: 221 WOODBURY AVE

PORTSMOUTH, NEW HAMPSHIRE

PARCEL: AS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 175 AS LOT 16.

PARCEL AREA = ~17,351 SF = 0.403 ACRES

ZONING DISTRICT: GENERAL RESIDENTIAL A (GRA)

ZONING DIMENSIONS AND DENSITY REQUIREMENTS:

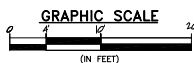
	REQUIRED	EXISTING	LOT#1	LOT#2
A) MINIMUM LOT SIZE-----	7,500 SF	17,358 SF	7,979 SF	9,538 SF
B) MINIMUM LOT FRONTAGE				
WOODBURY AVE-----	100 LF	135.0 LF	72.0 LF	63.0 LF*
THORNTON STREET-----	100 LF	144.9 LF	127.8 LF	N/A
C) MINIMUM FRONT SETBACK				
WOODBURY AVE-----	15 LF	13.1 LF	13.1 LF	9.33 LF
THORNTON STREET-----	15 LF	5.33 LF	5.4 LF	N/A
D) MINIMUM LOT DEPTH-----	70 LF	139 LF	123 LF	136 LF
E) MINIMUM SIDE SETBACK-----	10 LF	66 LF	19.1 LF	18.4 LF
F) MINIMUM REAR SETBACK-----	20 LF	25.5 LF	29.8 LF	49 LF
G) MAXIMUM LOT COVERAGE				
25% -----	4,337 SF	1,812 SF	1,997 SF	1,910 SF
25%				20%
H) MINIMUM OPEN SPACE				
30% -----	5,205 SF	13,018 SF	5,982 SF	7,628 SF
30%			75%	80%

LEGEND

IRON ROD/ PIPE FOUND	
BENCHMARK	
SEWER MANHOLE	
DRAIN MANHOLE	
UTILITY POLE	
CATCH BASIN	
HYDRANT	
GATE VALVE	
SIGN	
PROPERTY LINE	
EDGE OF PAVEMENT	
EXISTING CONTOUR	
PROPOSED CONTOUR	
WATER LINE	
STORM DRAIN LINE	
SANITARY SEWER LINE	
OVERHEAD UTILITY LINE	
UNDERGROUND ELECTRIC LINE	

NOTE: THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE, CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS OF RECORD, AND PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES.

187 Woodbury Ave
SINGLE FAM MDL-01
GAMESTER COLBY T.
GAMESTER AMANDA D.
187 WOODBURY AVE.
162-56



SITE PLAN

SCALE: 1" = 10'-0"

MARTIN RYAN ARCHITECT
221 Woodbury Ave
Portsmouth, NH 03801

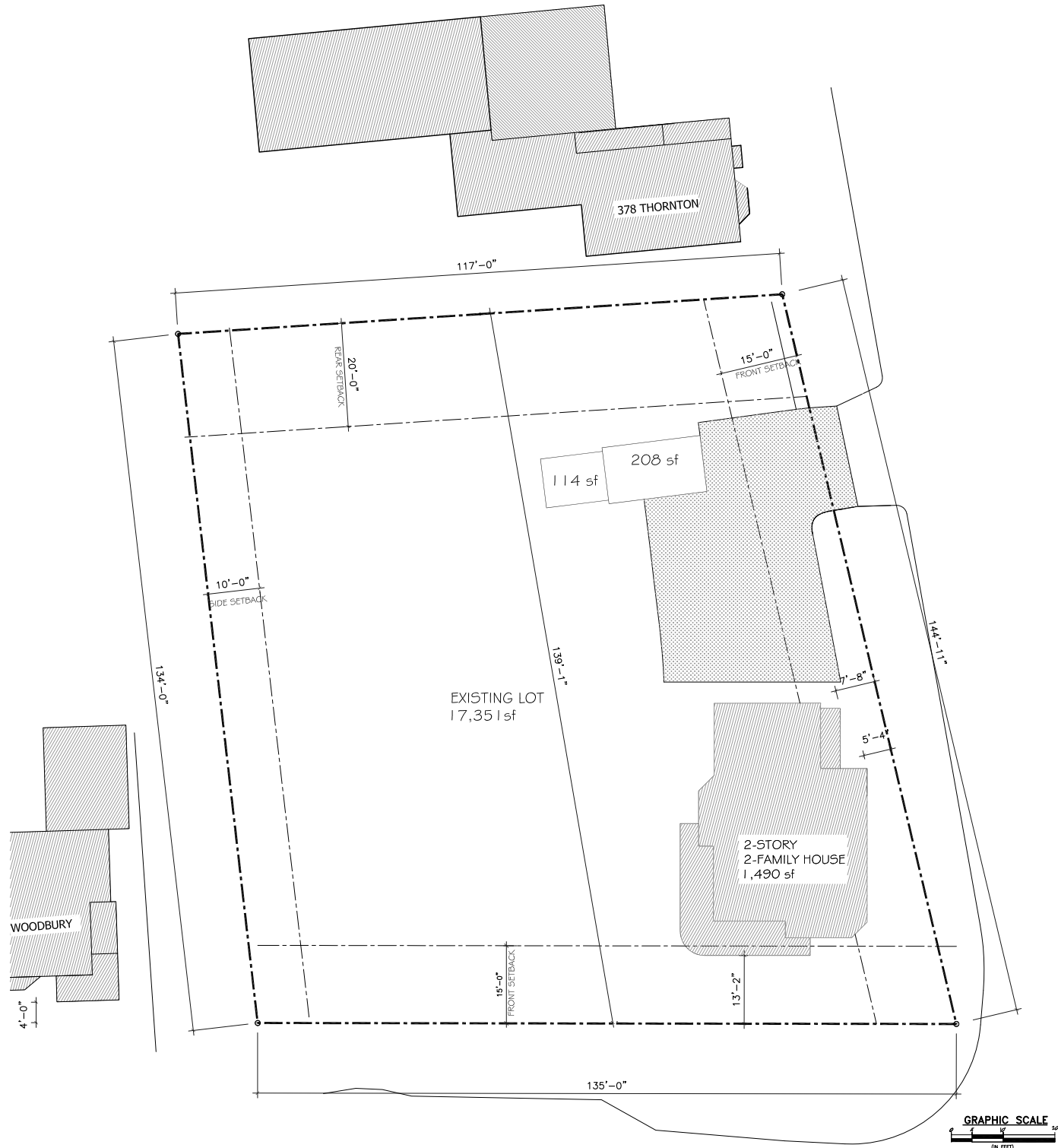
JULY 14, 2026
TAC WORK
SESSION

221 WOODBURY AVE
PORTSMOUTH, NH
SUBDIVISION PLAN

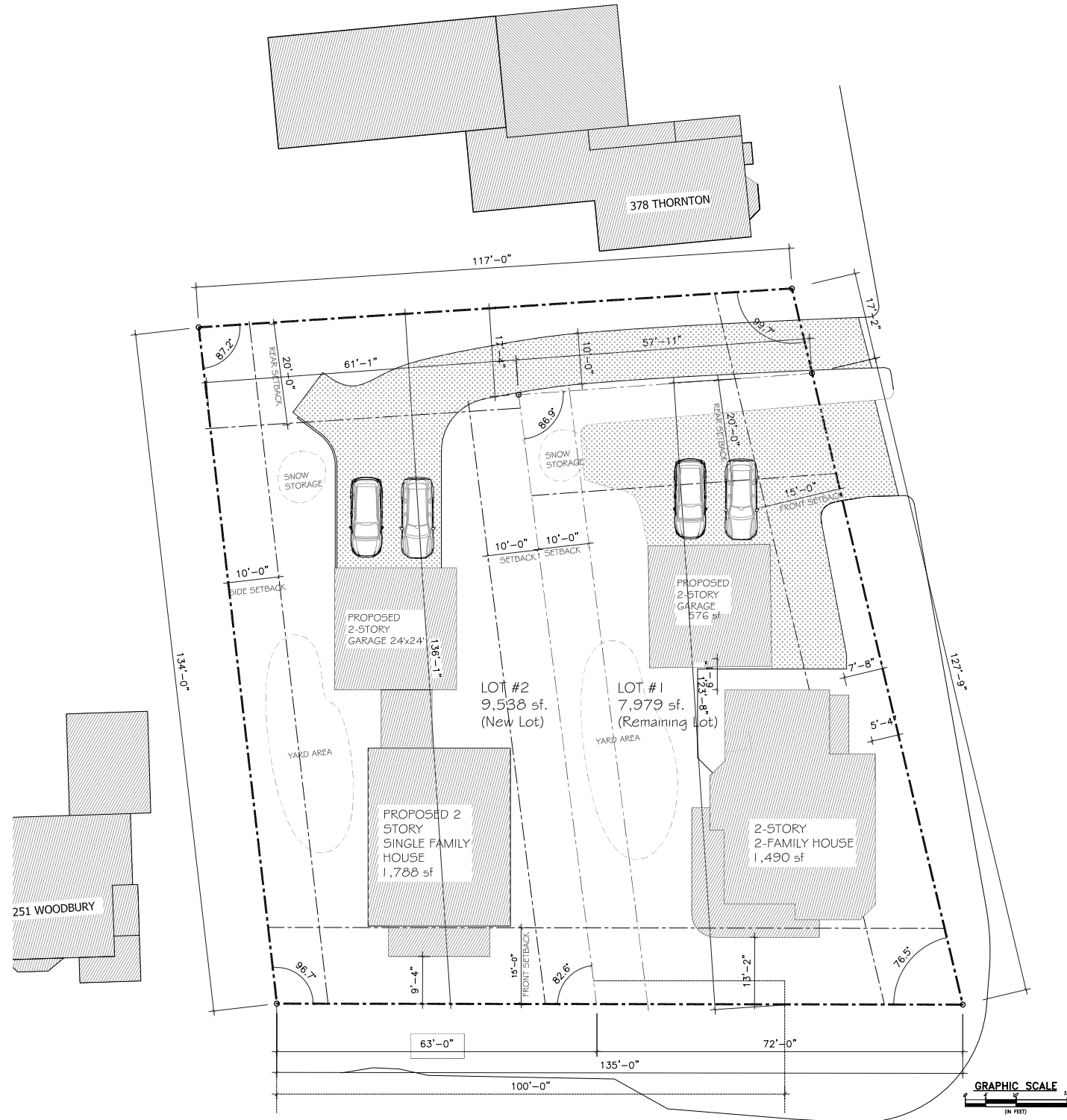
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DESIGN: MLR
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SCALE:
JOB:

PROPOSED SITE
PLAN

C3

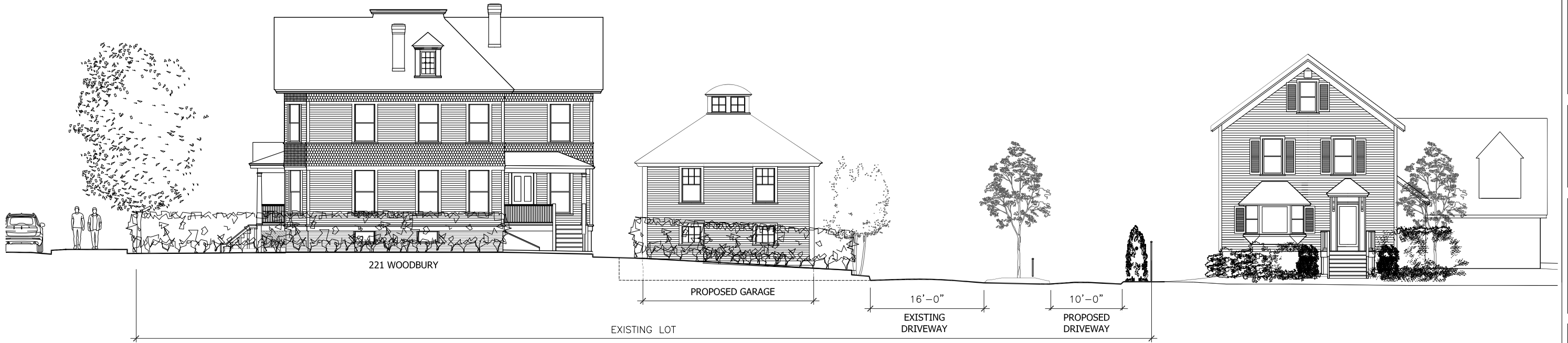


EXISTING SITE DIAGRAM
SCALE: NTS

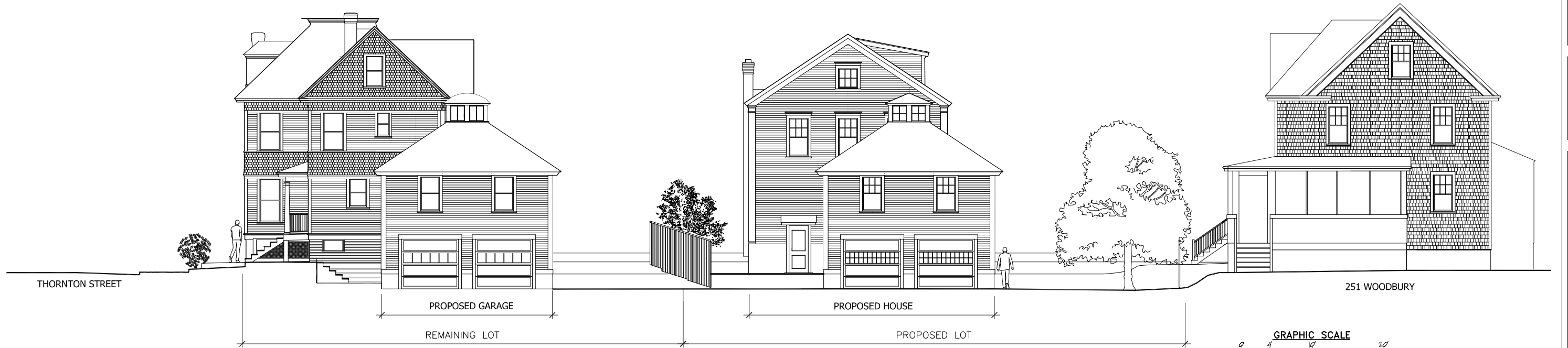


PROPOSED SITE DIAGRAM
SCALE: NTS





3 THORNTON STREET ELEVATION



4 NORTH ELEVATION

MARTIN RYAN ARCHITECT
221 Woodbury Ave
Portsmouth, NH 03801

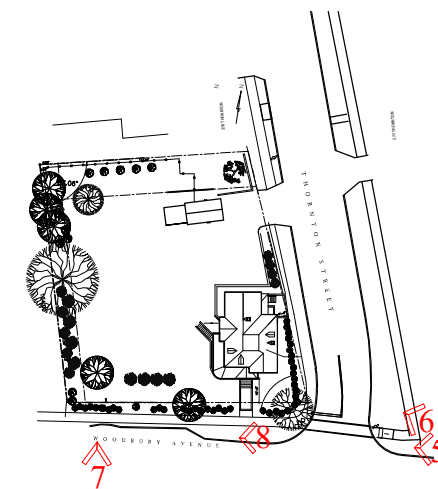
JULY 14, 2026
TAC WORK
SESSION

221 WOODBURY AVE
PORTSMOUTH, NH
SUBDIVISION PLAN

DATE: 05-22-26
DESIGN: MLR
DRAWN: MLR
CHECKED:
SCALE:
JOB:

SITE
ELEVATIONS

A2



MARTIN RYAN ARCHITECT
221 Woodbury Ave
Portsmouth, NH 03801
+

JULY 14, 2026
TAC WORK
SESSION

221 WOODBURY AVE
PORTSMOUTH, NH
SUBDIVISION PLAN

DATE: 08-01-21
DESIGN:
DRAWN:
CHECKED:
SCALE:
JOB:

CONTEXT
PHOTOGRAPHS

P2



PHOTOGRAPH #1



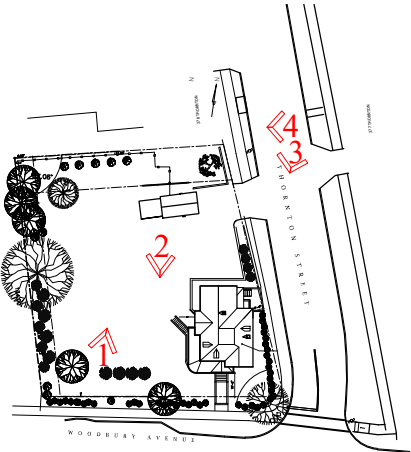
PHOTOGRAPH #2



PHOTOGRAPH #3



PHOTOGRAPH #4

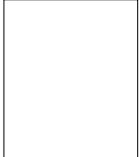


SITE KEY PLAN
SCALE: NTS

DATE: 08-01-21
DESIGN:
DRAWN:
CHECKED:
SCALE:
JOB:

221 WOODBURY AVE
PORTSMOUTH, NH
PROPOSAL

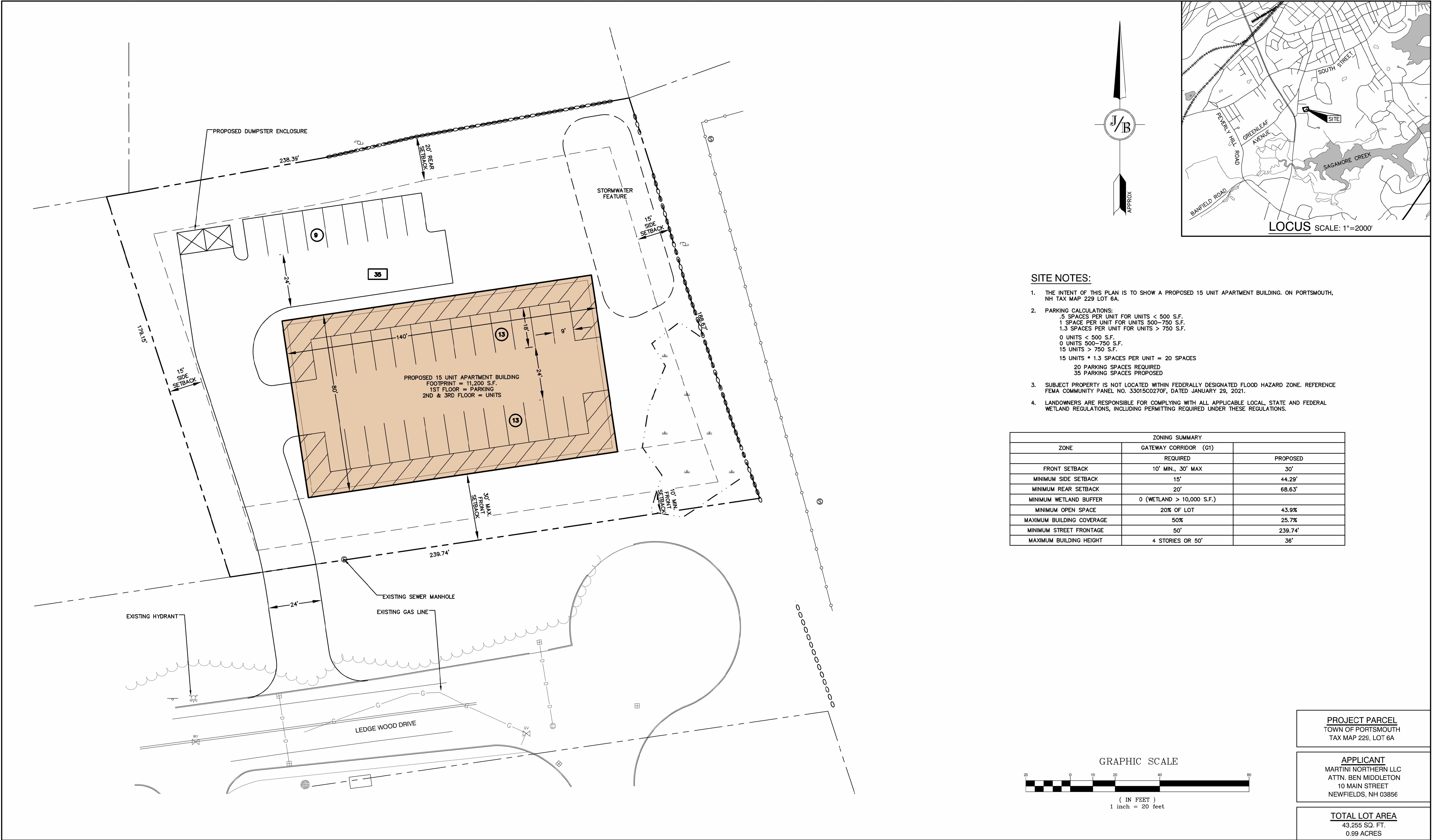
JULY 14, 2026
TAC WORK
SESSION



MARTIN RYAN ARCHITECT
221 Woodbury Ave
Portsmouth, NH 03801
+

CONTEXT
PHOTOGRAPHS

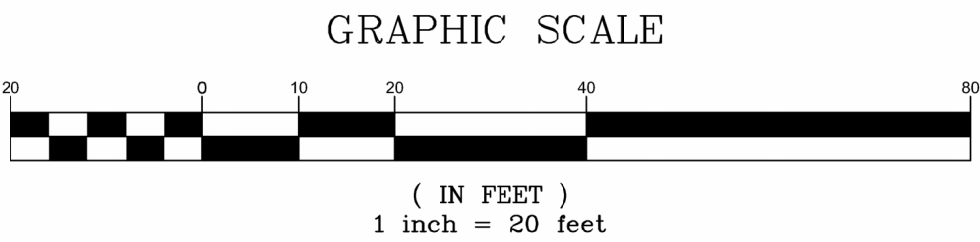
P1



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW A PROPOSED 15 UNIT APARTMENT BUILDING, ON PORTSMOUTH, NH TAX MAP 229 LOT 6A.
- PARKING CALCULATIONS:
 - .5 SPACES PER UNIT FOR UNITS < 500 S.F.
 - 1 SPACE PER UNIT FOR UNITS 500-750 S.F.
 - 1.3 SPACES PER UNIT FOR UNITS > 750 S.F.
 - 0 UNITS < 500 S.F.
 - 0 UNITS 500-750 S.F.
 - 15 UNITS > 750 S.F.
 - 15 UNITS * 1.3 SPACES PER UNIT = 20 SPACES
 - 20 PARKING SPACES REQUIRED
 - 35 PARKING SPACES PROPOSED
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 3301500270F, DATED JANUARY 29, 2021.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.

ZONING SUMMARY		
ZONE	GATEWAY CORRIDOR (G1)	
	REQUIRED	PROPOSED
FRONT SETBACK	10' MIN., 30' MAX	30'
MINIMUM SIDE SETBACK	15'	44.29'
MINIMUM REAR SETBACK	20'	68.63'
MINIMUM WETLAND BUFFER	0 (WETLAND > 10,000 S.F.)	
MINIMUM OPEN SPACE	20% OF LOT	43.9%
MAXIMUM BUILDING COVERAGE	50%	25.7%
MINIMUM STREET FRONTAGE	50'	239.74'
MAXIMUM BUILDING HEIGHT	4 STORIES OR 50'	36'



PROJECT PARCEL
TOWN OF PORTSMOUTH
TAX MAP 229, LOT 6A

APPLICANT
MARTINI NORTHERN LLC
ATTN. BEN MIDDLETON
10 MAIN STREET
NEWFIELDS, NH 03856

TOTAL LOT AREA
43,255 SQ. FT.
0.99 ACRES

Design: EMP	Draft: TCR	Date: 01/08/26
Checked: EMP	Scale: 1" = 20'	Project No.: 25071.2
Drawing Name: 25071.2-CONCEPT2.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

0	06/15/26	ISSUED FOR REVIEW	TCR
REV.	DATE	REVISION	BY

J/B

Jones & Beach Engineers, Inc.

Designed and Produced in NH

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

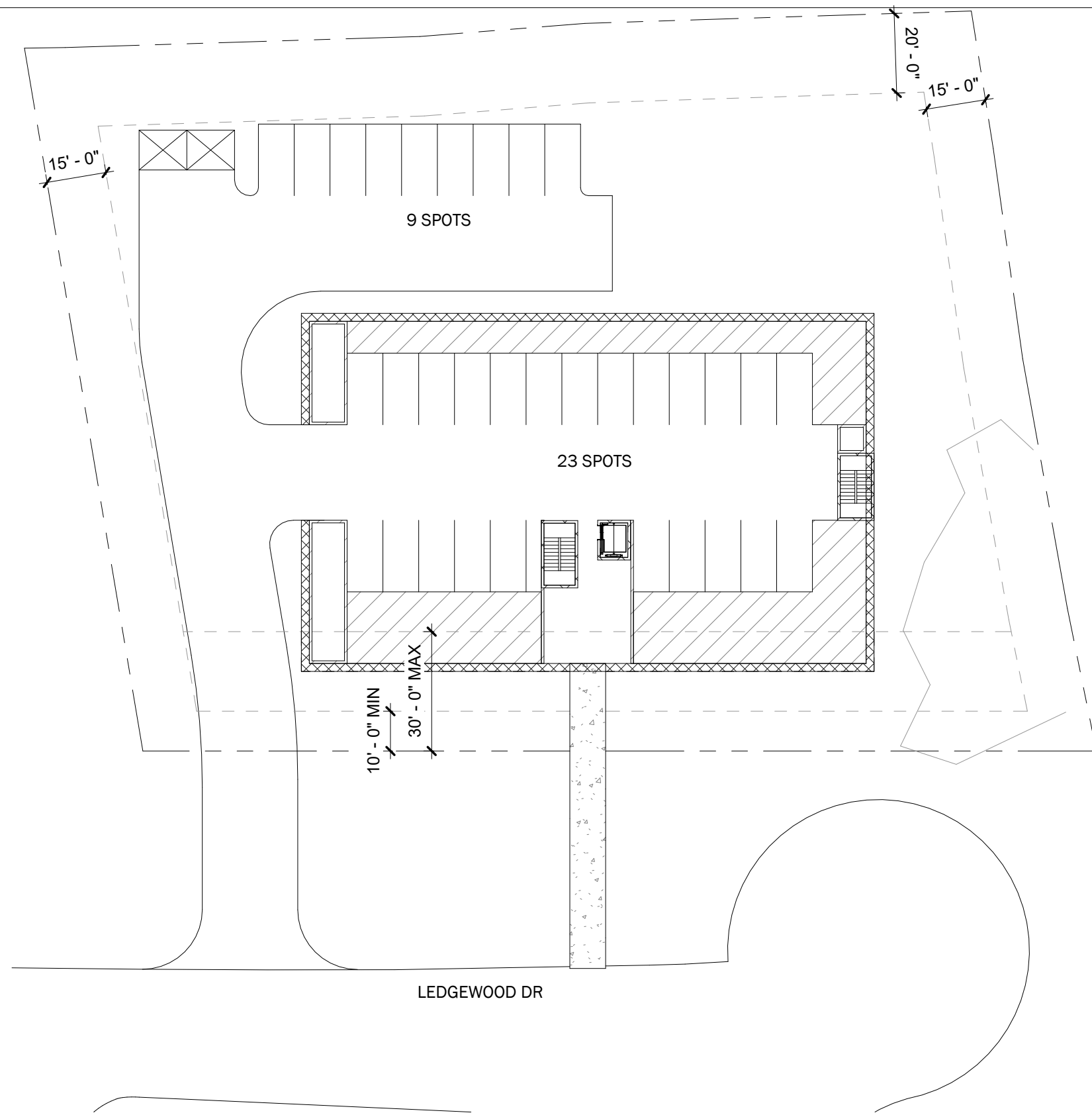
603-772-4746
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SITE PLAN MAP 229, LOT 6A
Project:	MARTINI APARTMENTS LEDGEWOOD DRIVE, PORTSMOUTH, NH
Owner of Record:	ST NICHOLAS GREEK ORTHODOX CHURCH 40 ANDREW JARVIS DRIVE, PORTSMOUTH, NH 03801

DRAWING No.

CP2

SHEET 1 OF 1
JBE PROJECT NO. 25071.2



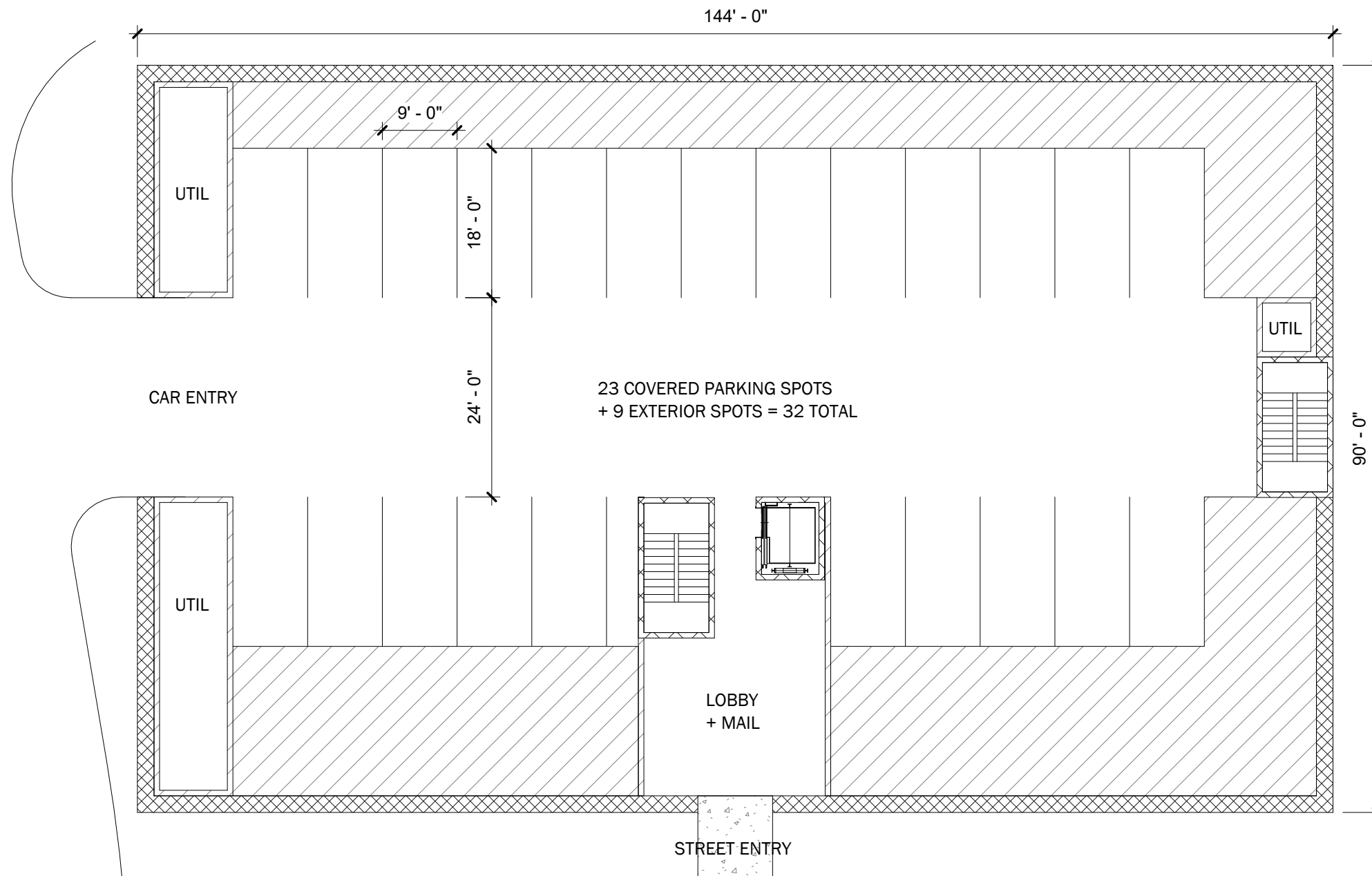
1 01.1 - SITE SKETCH OPTION 1
1/32" = 1'-0"

WINTER HOLBEN

LEDGEWOOD DR
PORTSMOUTH, NH

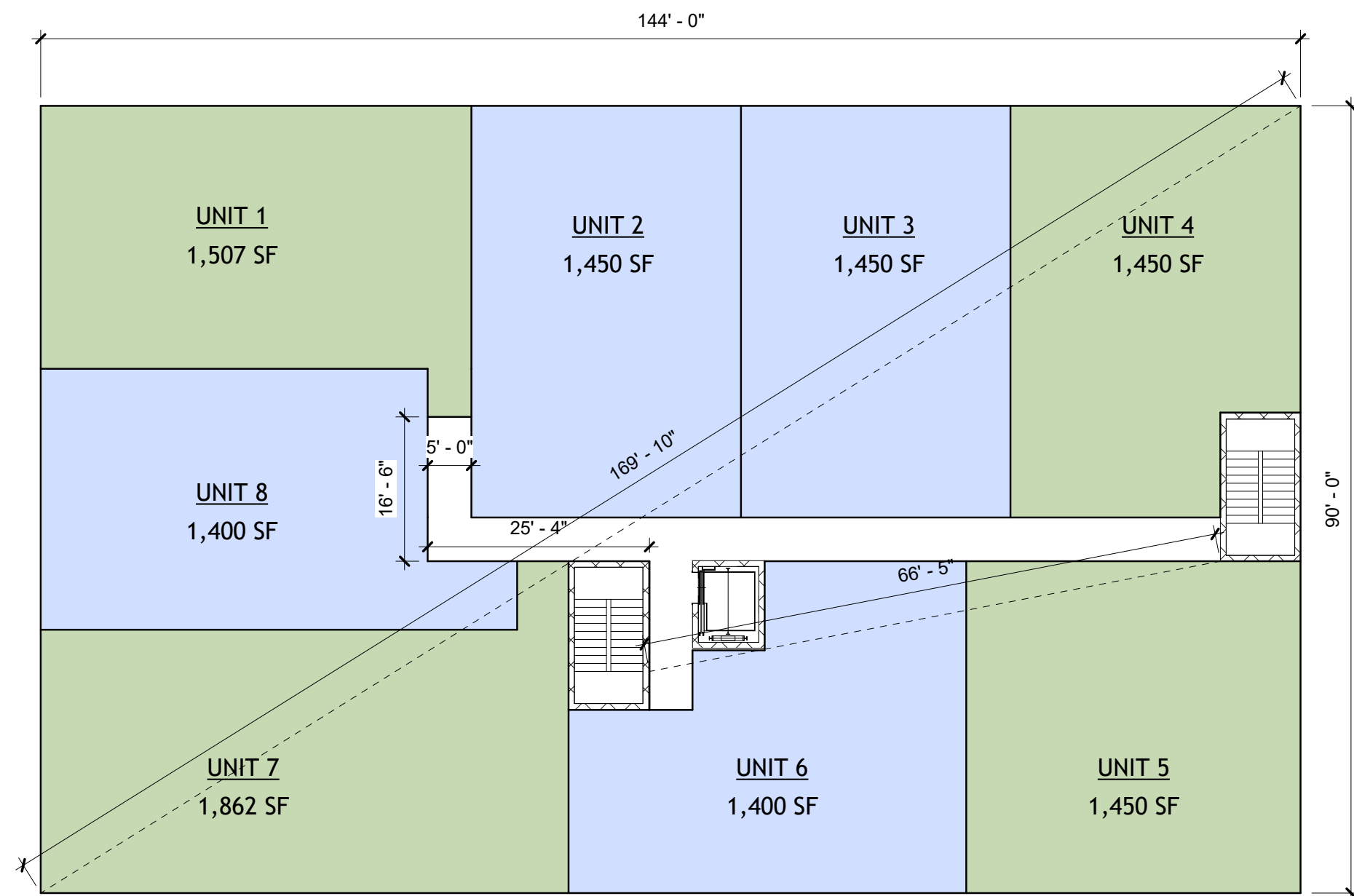


SITE SKETCH
A-P100
Scale: 1/32" = 1'-0"



1 PARKING PLAN OPTION 1
1/16" = 1'-0"





1 FIRST FLOOR OPTION 1
1/16" = 1'-0"

UNIT AREAS OPTION 1		
ROOM NAME	ROOM TYPE	AREA

1ST FLOOR

UNIT 1	3 BED	1,507 SF
UNIT 2	2 BED	1,450 SF
UNIT 3	2 BED	1,450 SF
UNIT 4	3 BED	1,450 SF
UNIT 5	3 BED	1,450 SF
UNIT 6	2 BED	1,400 SF
UNIT 7	3 BED	1,862 SF
UNIT 8	2 BED	1,400 SF

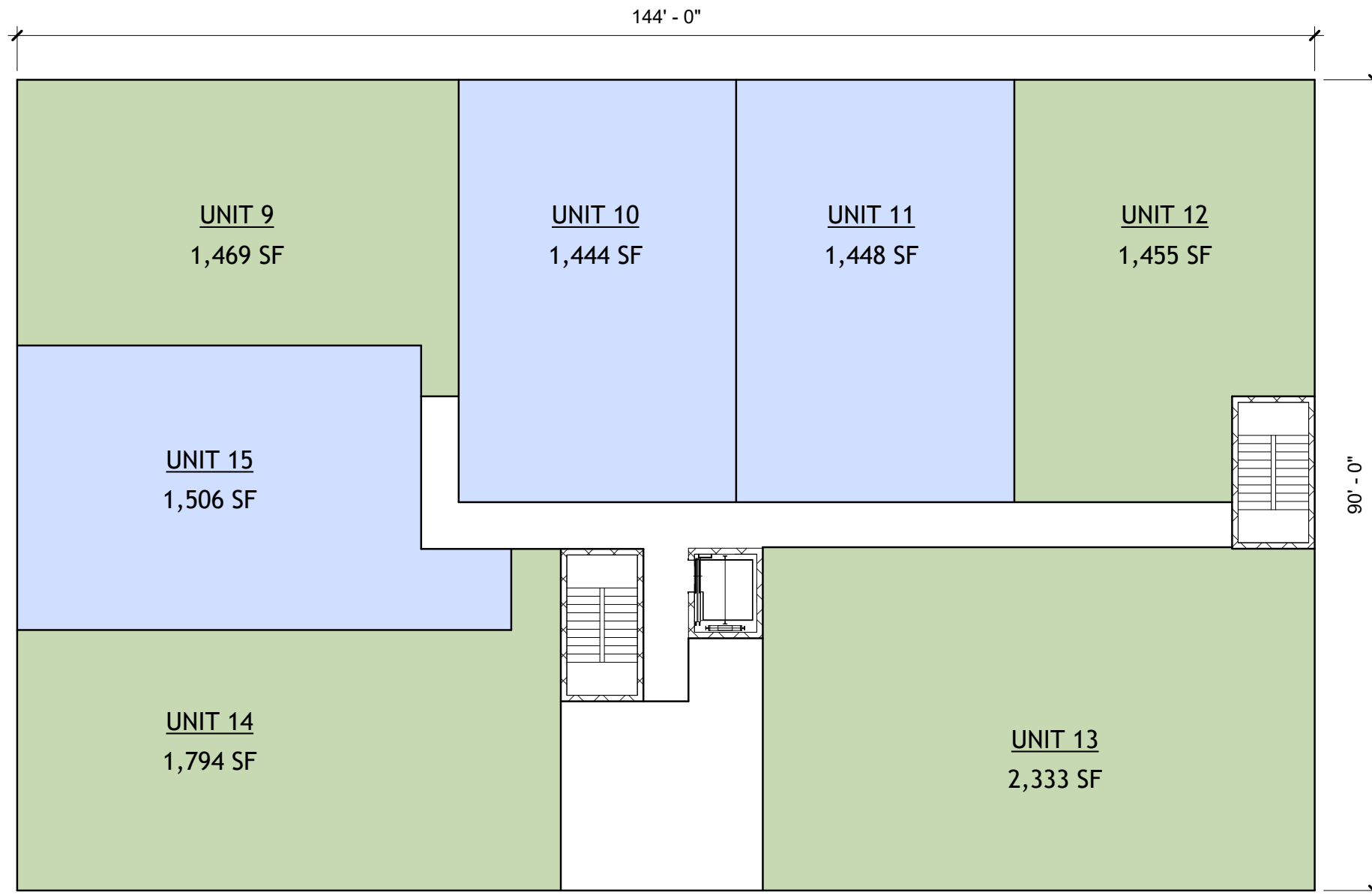
8 11,969 SF

2ND FLOOR

UNIT 9	3 BED	1,469 SF
UNIT 10	2 BED	1,444 SF
UNIT 11	2 BED	1,448 SF
UNIT 12	3 BED	1,455 SF
UNIT 13	3 BED	2,333 SF
UNIT 14	3 BED	1,794 SF
UNIT 15	2 BED	1,506 SF

7 11,449 SF
23,418 SF





① SECOND FLOOR OPTION 1
1/16" = 1'-0"

UNIT AREAS OPTION 1		
ROOM NAME	ROOM TYPE	AREA

1ST FLOOR

UNIT 1	3 BED	1,507 SF
UNIT 2	2 BED	1,450 SF
UNIT 3	2 BED	1,450 SF
UNIT 4	3 BED	1,450 SF
UNIT 5	3 BED	1,450 SF
UNIT 6	2 BED	1,400 SF
UNIT 7	3 BED	1,862 SF
UNIT 8	2 BED	1,400 SF

8 11,969 SF

2ND FLOOR

UNIT 9	3 BED	1,469 SF
UNIT 10	2 BED	1,444 SF
UNIT 11	2 BED	1,448 SF
UNIT 12	3 BED	1,455 SF
UNIT 13	3 BED	2,333 SF
UNIT 14	3 BED	1,794 SF
UNIT 15	2 BED	1,506 SF

7 11,449 SF
23,418 SF

