SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE

WORK SESSION

Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue

2:00 PM **February 10, 2026**

AGENDA

2:00 PM	280 Marcy Street Altus Engineering (LUTW-26-3)	**Site Plan Review**
2:30 PM	181 Hill Street Altus Engineering (LUTW-26-4)	**Site Plan Review**
3:00 PM	361 Miller Avenue Ross Engineering, LLC (LUTW-26-5)	**Site Plan Review**

ALTUS ENGINEERING

Civil
Site Planning
Environmental
Engineering

133 Court Street
Portsmouth, NH
03801-4413

February 3, 2026

Peter Britz, Planning and Sustainability Director
City of Portsmouth Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Re: Request for TAC Work Session
Assessor's Map 103, Lot 48
280 Marcy Street
Altus Project No. 5691

Dear Peter,

On behalf of Portsmouth Music and Arts Center (PMAC) and The Schleyer Foundation, applicants, Altus Engineering submits a request to present an application for renovations to The South Meeting House at 280 Marcy Street. The parcel is owned by the City of Portsmouth and lies within the Municipal Zoning District which makes it exempt from all dimensional and intensity regulations.

The Schleyer Foundation has an agreement with the City. They are the lessee. PMAC has a sublease with The Schleyer Foundation and will occupy the premises.

PMAC proposes to expand their visual arts use by relocating from their Islington Street facility to The South Meeting House. Their initial plans include:

A. **Classroom and Studio Spaces:** Our design includes 2 flexible, state-of-the-art visual arts classrooms that can accommodate 10-15 students each, a digital visual arts classroom that can accommodate 8-10 students, and 2 small studio spaces designed for 1:1 instruction. These spaces will cater to students of all ages and skill levels, with a focus on fostering creativity and skill development in children and teenagers residing in Portsmouth and the surrounding communities. Visual arts educational offerings in this building will be focused on drawing, painting, photography, digital arts (including photography, film making, and animation), and more.

B. **Teaching Gallery Space:** A dedicated teaching gallery on the second floor will be open to the public on a regular schedule. The gallery will showcase rotating exhibitions that feature artwork by PMAC students, teaching artists, visiting educators, and occasional community shows. Students will be able to learn the theories and practices of gallery management, exhibition development and artist relations. We envision a versatile layout that can accommodate a variety of art forms, from paintings and sculptures to multimedia installations, enriching and encouraging cultural dialogue amongst our students and within the greater Portsmouth community.

C. **Administrative Office:** An administrative office for staff and teaching artists

D. **Restrooms:** Two first floor restrooms and one second floor restroom.

Most of the improvements will be in the interior of the structure. Minor exterior improvements include:

- Restriping the parking stalls
- Relocating the handicap accessible access to the building
- Adding a parking stall on the south side of the property
- Adding bicycle racks for patrons
- Constructing a new retaining wall
- Landscape improvements
- Replacing deteriorated curb with City owned used curb

Enclosed please find the following plans for discussion at the February 10th TAC Work Session:

- Preliminary Existing Conditions Plan
- Preliminary Site Plan
- Preliminary Grading Plan
- Landscape Plan (2 sheets)
- Architectural first floor plan and Elevations (2 sheets)

Please feel free to call or email me directly should you have any questions or need any additional information.

Respectfully submitted,

ALTUS ENGINEERING, LLC

Enclosure

eCopy: Russ Grazier, PMAC
David Schleyer, The Schleyer Foundation
Terrence Parker, TFLA
Tracy Kozak, Arcove
Meghan Boland, Chinburg Builders

wde/5691.00 ws cvr ltr.docx

Schleyer Foundation

P.O. Box 222
Rye Beach, New Hampshire 03871
603-502-4987
dschleyer@chinburg.com

Date: 02/03/2026

Re: Authorization to Perform Engineering and Design Services
Property: South Meeting House, 280 Marcy Street, Portsmouth, NH

To Whom It May Concern,

At its November 16 City Council meeting, the City of Portsmouth authorized the Schleyer Foundation to proceed with planning and design efforts related to the proposed reuse of the South Meeting House, located at 280 Marcy Street, Portsmouth, New Hampshire.

Accordingly, this letter authorizes the following consultants, acting on behalf of the Schleyer Foundation, to access the property for the purpose of performing planning, engineering, and design-related services in support of the project:

- **Petersen Engineering**
- **Altus Engineering**
- **Terrance Parker, Landscape Architect**

Authorized activities may include site visits, existing conditions assessments, field measurements, engineering evaluations, and preparation of preliminary planning and design documents. All work shall be non-invasive unless otherwise approved by the City and shall be conducted in a manner that minimizes disruption to the property.

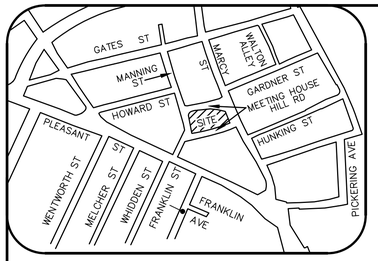
This authorization is issued solely for planning and design purposes. The City of Portsmouth retains full ownership of the property, and this letter does not convey any leasehold interest, right of possession, or ownership interest.

This authorization shall remain in effect until May 31, 2026, or until execution of a lease between the City of Portsmouth and the Schleyer Foundation, whichever occurs first.

Please feel free to contact me if you have any questions.

Sincerely,

Dave Schleyer
Trustee
Schleyer Foundation



LOCUS
(N.T.S.)

LEGEND

- BOUNDARY LINE
- MINOR CONTOUR
- MAJOR CONTOUR
- BOUNDARY ABUTTER
- D — DRAIN LINE
- W — WATER LINE
- S — SEWER LINE
- G — GAS LINE
- GRANITE BOUND FOUND
- MAG NAIL / SPIKE FOUND
- IRON ROD FOUND
- METAL FENCE POST FOUND
- TEMPORARY BENCHMARK
- UTILITY POLE
- WATER VALVE
- GAS VALVE
- SIGN
- DRAIN INVERT
- LIGHT POLE
- SEWER MANHOLE
- TREE
- ELECTRIC METER
- GAS METER
- ELECTRIC BOX
- BOLLARD
- HANDICAPPED PARKING
- HVAC
- GRAVEL
- CONCRETE
- BRICK
- PAVEMENT

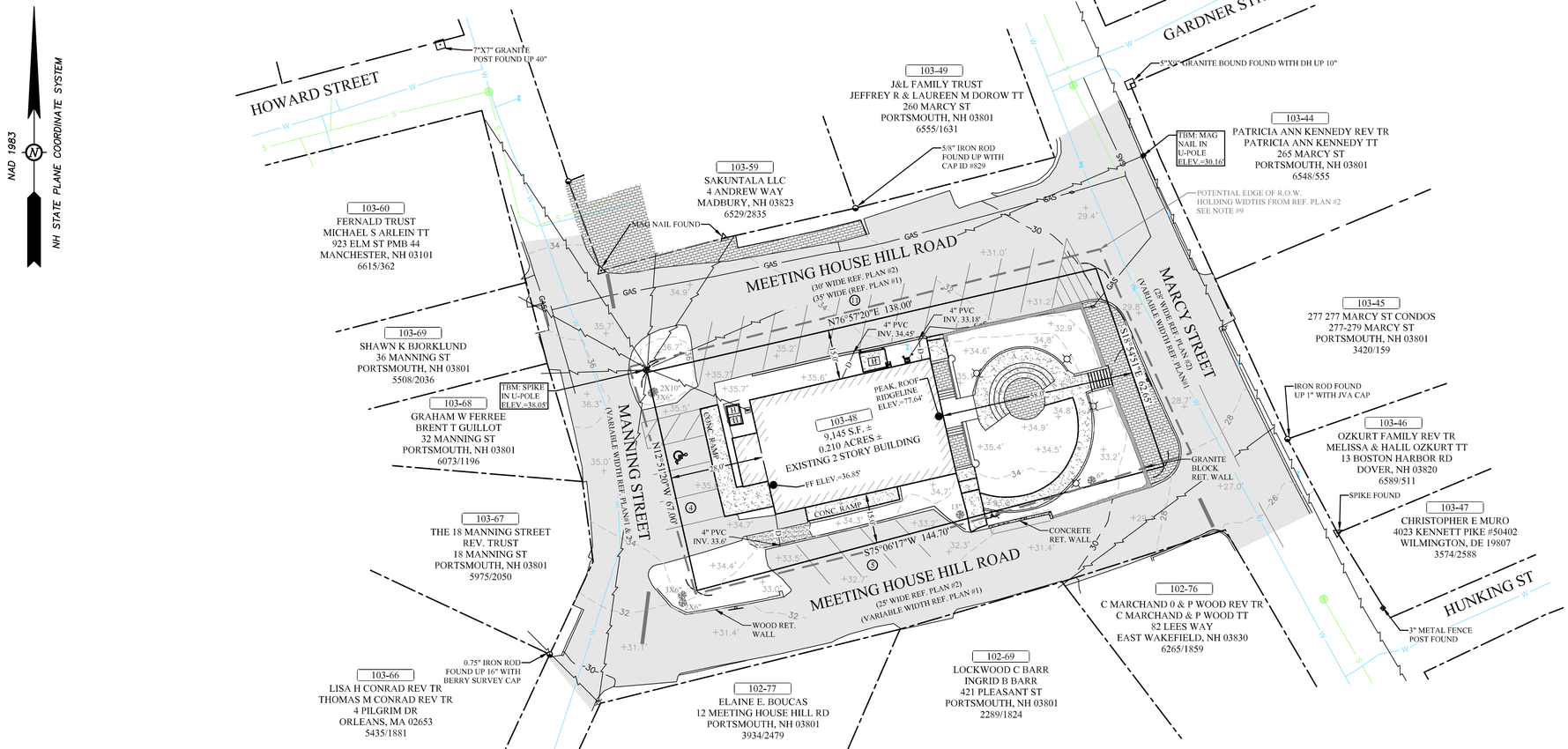
PLAN REFERENCES:

1. "PLAN OF MEETING HOUSE HILL IN PORTSMOUTH N.H." PREPARED BY A.M. HOYT, SURVEYOR. DATED 1866. ON FILE WITH THE CITY OF PORTSMOUTH.
2. "CITY OF PORTSMOUTH, LOCATION PLAN AND FOUNDATION FOR AN ELEVATED WATER TOWER 1,000,000 GALS. CAP." PREPARED BY L.E. SCRUTON, C.E., W.L. HASKELL, C. SPAULDING, COPYIST, DATED 1935. ON FILE WITH THE CITY OF PORTSMOUTH.
3. "BOUNDARY PLAN 11 MEETING HOUSE HILL ROAD PORTSMOUTH, NEW HAMPSHIRE TAX MAP 103 LOT 59 FOR SAKUNTALA, LLC." PREPARED BY THIS OFFICE. DATED 8/10/2024. RECORDED AT R.C.R.D AS PLAN D-44650.
2. "CONDOMINIUM SITE PLAN 353 & 355 PLEASANT STREET PORTSMOUTH, NEW HAMPSHIRE TAX MAP 103 LOT 64, FOR 355 PLEASANT STREET LLC. PREPARED BY THIS OFFICE DATED 5/29/2024. RECORDED AT R.C.R.D AS PLAN D-44527.
3. "BOUNDARY PLAN SAKUNTALA, LLC. 235 MARCY STREET PORTSMOUTH, NEW HAMPSHIRE TAX MAP 103 LOT 12 FOR SHIVA NANDA." PREPARED BY THIS OFFICE. DATED 7/5/2024. RECORDED AT R.C.R.D AS PLAN D-44601.

NOTES:

1. OWNER OF RECORD: CITY OF PORTSMOUTH
   ADDRESS: 280 MARCY STREET, 03801
   DEED REFERENCE: BK: 397 PG: 397
   TAX SHEET / LOT: 103 / 48
2. ZONED: MUNICIPAL (M)

   LOTS AND BUILDINGS IN THE MUNICIPAL DISTRICT ARE EXEMPT FROM ALL DIMENSIONAL AND INTENSITY REGULATIONS.
3. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE SUBJECT PARCELS, BOUNDARY INFORMATION AND THE IMPROVEMENTS THEREON.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS OF RECORD, AND PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
5. HORIZONTAL DATUM: NAD83, VERTICAL DATUM: NAVD88. ESTABLISHED BY SURVEY GRADE GPS OBSERVATIONS. UNITS: US SURVEY FOOT.
6. THE PLAN IS BASED UPON A FIELD SURVEY COMPLETED IN SEPTEMBER / OCTOBER 2025 WITH TRIMBLE S5 ROBOTIC TOTAL STATION, CARLSON BRX7 RTK GPS UNITS, PANASONIC FZ-M1/TRIMBLE TSC7 DATA COLLECTORS.
7. THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0259F, EFFECTIVE DATE 1/29/2021 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
8. CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.
9. THE BOUNDARY SHOWN IS BASED ON REFERENCE PLAN #1, HOLDING THE TIE DIMENSIONS OFF OF THE BUILDING LINES. THE DASHED GRAY LINE IS A POTENTIAL R.O.W. (RIGHT-OF-WAY) LINE BASED ON REFERENCE PLAN #2 AND HOLDING THE ESTABLISHED R.O.W. ACROSS THE STREET. THE CITY OF PORTSMOUTH COULD RELAY OUT THE EXISTING R.O.W. TO REESTABLISH THE WIDTH TO DEFINE THE LIMITS OF THE MEETINGHOUSE LOT FOR FUTURE USE.



GRAPHIC SCALE

20' 0 10' 20' 40' 80'

(IN FEET)
1 inch = 20' ft.

No.	DATE:	REVISION DESCRIPTION	BY	APPR.

SURVEYOR'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN FIFTEEN THOUSAND (1:15,000)."

LICENSED LAND SURVEYOR

11/20/2025
DATE

STATE OF NEW HAMPSHIRE — No. 1054 — RYAN M. FOWLER — LICENSED LAND SURVEYOR — SIGNATURE

EXISTING CONDITIONS PLAN
THE SOUTH MEETINGHOUSE
280 MARCY ST
PORTSMOUTH, NEW HAMPSHIRE
TAX MAP 103 LOT 48
PREPARED FOR: THE SCHLEYER FOUNDATION
LAND OF: CITY OF PORTSMOUTH

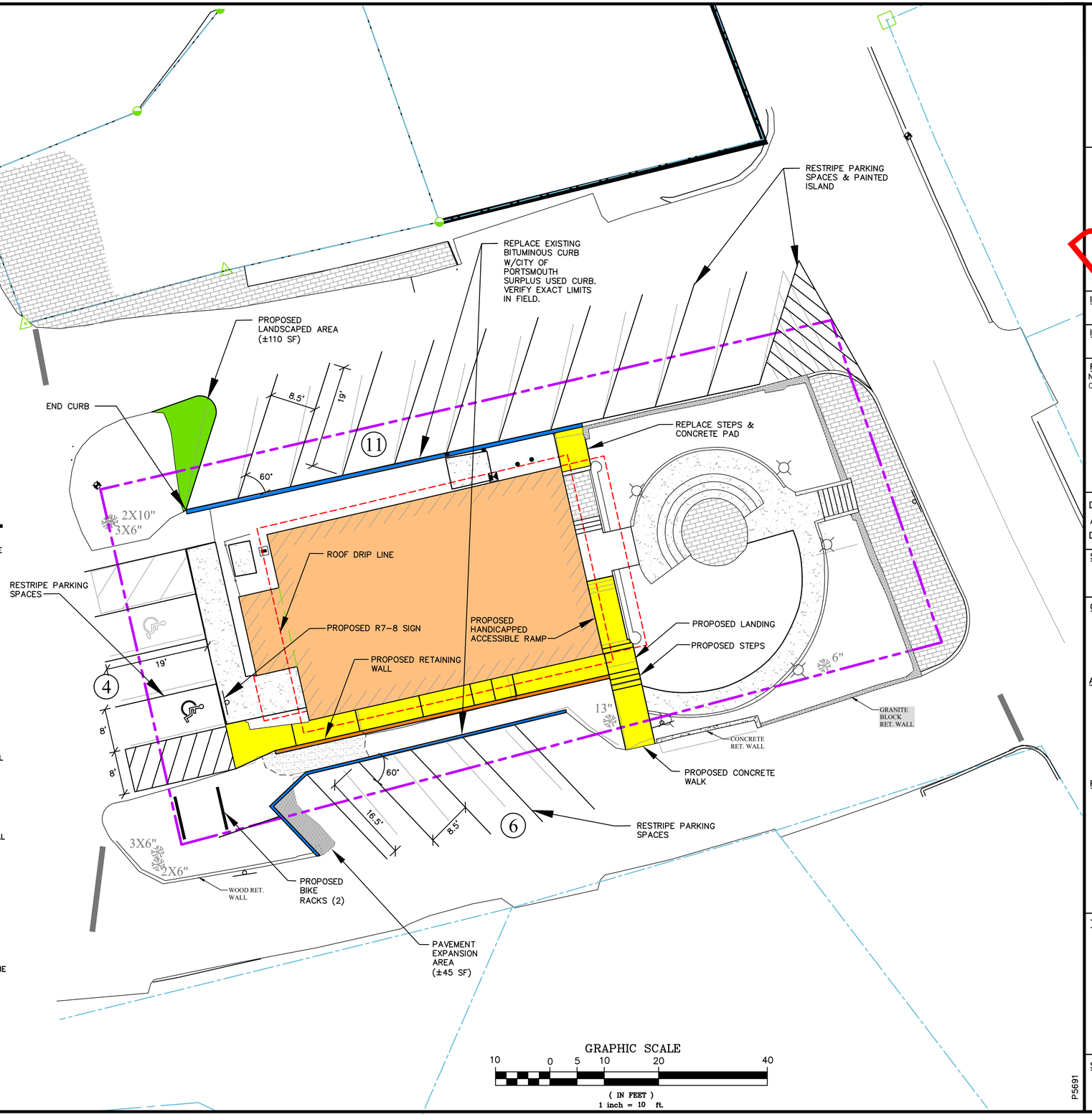
JAMES VERRA & ASSOCIATES, INC.
100 GRIFFIN WAY, UNIT C
PORTSMOUTH, N.H., 03801
603-436-3557 - ©2025
www.jvasurveyors.com

DATE:	JOB NO.
11/14/2025	25-2065
DRWN BY: BJM	CHK'D BY: RMF
DWG NAME: 25-2065-EXCON.DWG	SCALE: 1" = 20'

SHEET: V1

J:\2025 PROJECTS\25-2065 THE SOUTH MEETINGHOUSE 280 MARCY ST_DWG\25-2065-EXCON.dwg 2025-11-20

NAD 1983
NH STATE PLANE COORDINATE SYSTEM



SITE NOTES

1. DESIGN INTENT – THIS PLAN SET IS INTENDED TO DEPICT THE REDEVELOPMENT OF THE SOUTHY MEETING HOUSE INTO A VISUAL ARTS CENTER FOR PORTSMOUTH MUSIC AND ARTS CENTER.
2. THERE ARE NO WETLANDS OR WETLAND BUFFERS ON THIS SITE.
3. LOT AREA: ±9,145 (±0.210 ACRES)
4. ZONE: M (MUNICIPAL)
5. PARKING REQUIREMENTS:
   SCHOOL PARKING DEMAND ANALYSIS – TO BE PROVIDED
   20 SPACES EXISTING
   SPACES REQUIRED
   21 SPACES PROVIDED
6. SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN AREAS SHOWN HEREON, AND/OR TRUCKED OFF SITE AS APPROPRIATE.
7. NO SAND SHALL BE USED FOR WINTER PARKING AREA MAINTENANCE. WINTER MAINTENANCE CONTRACTOR SHALL BE NHDES GREEN SNOWPRO CERTIFIED.
8. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINES WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
9. PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3'-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS.
10. PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
11. ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
12. ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
13. THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
14. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
15. ALL PARKING LOT LIGHTS SHALL BE BUILDING MOUNTED & "DARK SKY COMPLIANT". WALKWAYS WILL BE ILLUMINATED WITH BOLLARD LIGHTS. SEE LANDSCAPE & ARCHITECTURAL PLANS.
16. VERIFY LATEST ARCHITECTURAL DRAWINGS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
17. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
18. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRICTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
19. TRASH & RECYCLING TOTES SHALL BE STORED INSIDE THE BUILDING.
20. PARCEL IS NOT IN A FLOOD HAZARD ZONE.
21. EXTERIOR SALT STORAGE IS PROHIBITED.
22. THE CONTRACTOR SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATION CARRIER APPROVED BY THE FIRE DEPARTMENT. THE RADIO COMMUNICATION CARRIER MUST BE FAMILIAR WITH THE POLICE & FIRE DEPARTMENT'S RADIO CONFIGURATION. IF SURVEY DETERMINES SIGNAL REPEATERS ARE NECESSARY, THE CONTRACTOR SHALL INSTALL REPEATERS AS NEEDED.

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 10 ft.

ALTUS ENGINEERING
133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

DRAFT

ISSUED FOR: TAC WORK SESSION

ISSUE DATE: JANUARY 29, 2026

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	–

DRAWN BY: RLH/EDW
APPROVED BY: EDW
DRAWING FILE: 5691.DWG

SCALE:
22" x 34" – 1" = 10'
11" x 17" – 1" = 20'

OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801

APPLICANT:
PORTSMOUTH
MUSIC AND ARTS
CENTER
VISUAL ARTS
280 MARCY STREET
PORTSMOUTH, NH 03801

PROJECT:
THE SOUTH MEETING HOUSE VISUAL ARTS
280 MARCY STREET
PORTSMOUTH, NH
TAX MAP 103, LOT 48

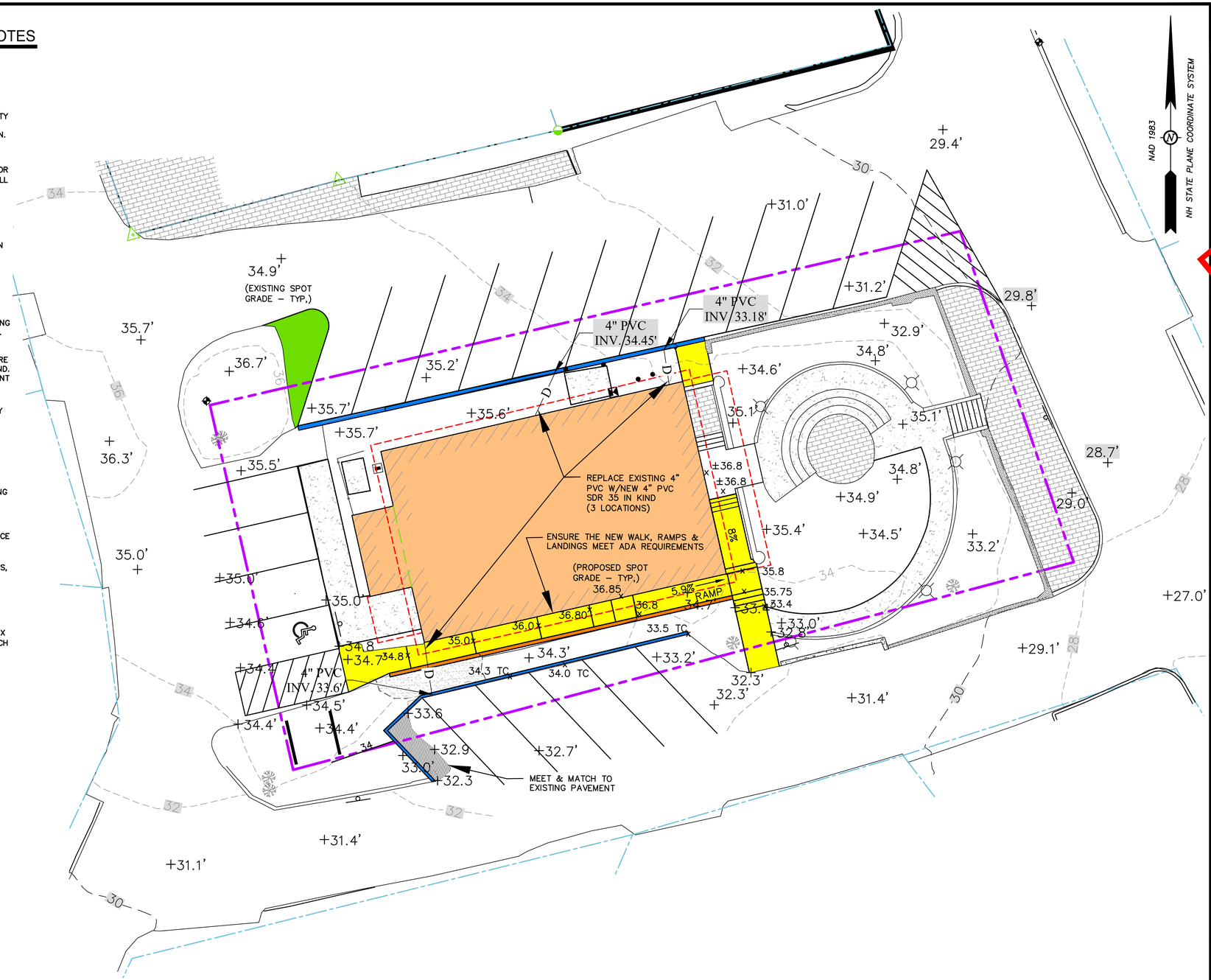
TITLE:
PRELIMINARY SITE PLAN

SHEET NUMBER:
C-1

P5691

GRADING, EROSION AND SEDIMENT CONTROL NOTES

1. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
2. CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
4. ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
5. UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBM) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
6. PRIOR TO CONSTRUCTION, FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING STORMWATER AND UTILITY LINES. PRESERVE AND PROTECT LINES TO BE RETAINED.
7. TEMPORARY INLET PROTECTION MEASURES SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS WITHIN 100' OF THE PROJECT SITE WHEN SITE WORK WITHIN CONTRIBUTING AREAS IS ACTIVE OR SAID AREAS HAVE NOT BEEN STABILIZED.
8. PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL. IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
9. IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS, DRAINAGE AND OTHER UTILITY STRUCTURES MAY NOT BE DRAWN TO SCALE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZING AND LOCATION OF ALL STRUCTURES AND IS DIRECTED TO RESOLVE ANY POTENTIAL DISCREPANCY WITH THE ENGINEER PRIOR TO CONSTRUCTION.
10. ALL CPP PIPE SHALL BE ADS N-12 OR APPROVED EQUAL.
11. NO EARTHWORK, STUMPING OR GRUBBING SHALL COMMENCE UNTIL ALL APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN GOOD WORKING ORDER FOR THE DURATION OF CONSTRUCTION AND THE SITE IS STABILIZED.
12. SEE DETAIL SHEETS FOR PERTINENT SEDIMENT AND EROSION CONTROL DETAILS AND ADDITIONAL NOTES.
13. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN STANDARDS AND SPECIFICATIONS SET FORTH IN THE NHDES NH STORMWATER MANUAL, DATED FEBRUARY 2025 AND AS AMENDED.
14. CONTRACTOR SHALL CONTROL DUST BY SPRAYING WATER, SWEEPING PAVED SURFACES, PROVIDING TEMPORARY VEGETATION, AND/OR MULCHING EXPOSED AREAS AND STOCKPILES.
15. THE CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT EROSION, PREVENT SEDIMENT FROM LEAVING THE SITE AND/OR ENSURE PERMANENT SOIL STABILIZATION.
16. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE SIX (6") INCHES OF COMPACTED LOAM, LIMESTONE, ORGANIC FERTILIZER, SEED, AND MULCH USING APPROPRIATE SOIL STABILIZATION TECHNIQUES.



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PROJECT:
THE SOUTH MEETING HOUSE VISUAL ARTS
280 MARCY STREET
PORTSMOUTH, NH
TAX MAP 103, LOT 48

TITLE:
PRELIMINARY GRADING, DRAINAGE & EROSION CONTROL PLAN

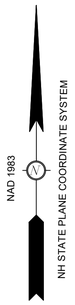
SHEET NUMBER:
C-2

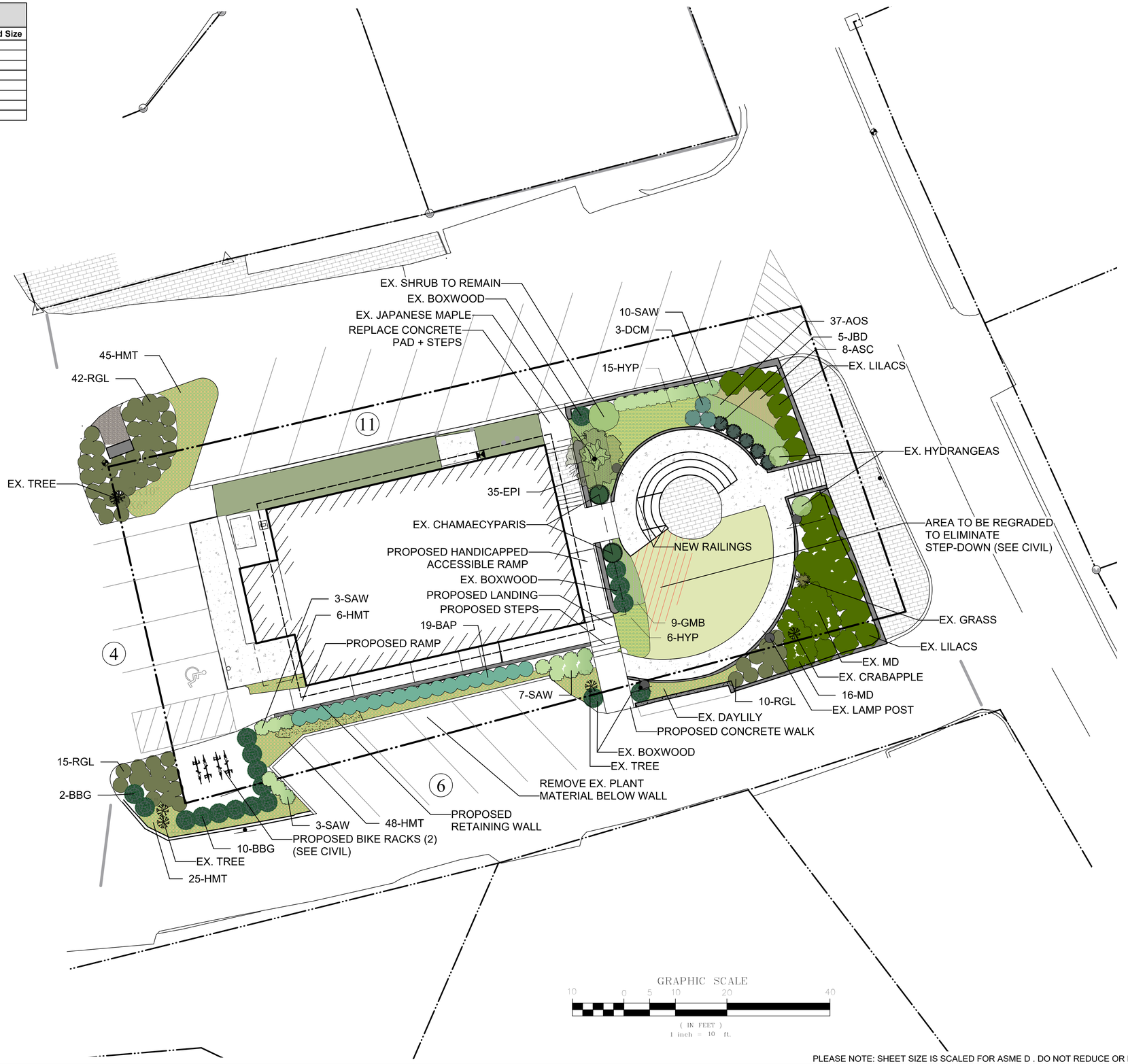
Plant List - Trees and Shrubs

ID	Qty	Botanical Name	Common Name	Scheduled Size
BBG	12	Buxus 'Baby Gem'	Baby Gem™ Buxus	3 Gal.
DCM	3	Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne	3 Gal.
HAnn	2	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3-4'
HYP	21	Hypericum x 'Hidcote'	Hidcote St. John's Wort	2 Gal.
JBD	5	Juniperus communis depressa 'Blueberry Delight'	Blueberry Delight Juniper	2 Gal.
MD	16	Microbiota decussata	Siberian Cypress	2 QT
RGL	67	Rhus aromatica 'Grow Low'	Grow Low Sumac	18"+ Ht.
SAW	23	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3-4'

Plant List - Perennials

ID	Qty	Botanical Name	Common Name	Scheduled Size
AOS	37	Aster oblongifolius 'October Skies'	Aromatic Aster	1 Gal.
ASC	8	Asclepias incarnata	Swamp Milkweed	1 Gal.
BAP	19	Baptisia australis	Blue False Indigo	1 Gal.
EPI	35	Epimedium rubrum	Barrenwort	1 Gal.
GMB	9	Geranium macrorrhizum 'Bevan's Vari	Bevan's Variety Geranium	1 Gal.
HMT	124	Hemerocallis 'Mary Todd'	Daylily	1 Gal.





GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

PLEASE NOTE: SHEET SIZE IS SCALED FOR ASME D . DO NOT REDUCE OR ENLARGE.

terra firma
landscape architecture

165.a Court Street Portsmouth, NH 03801
603.531.9109 | terrence@terrafirmalandarch.com

Portsmouth Music Arts Center

973 Islington St
Portsmouth, NH 03801

Project Title

Landscape Architect

Scale
(SEE DETAILS)

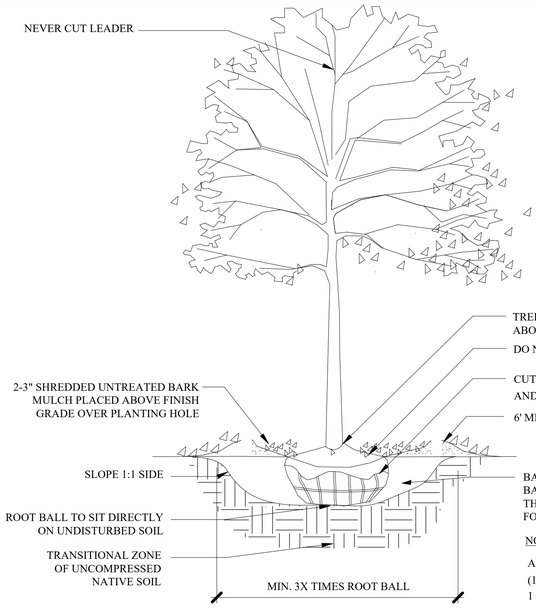
REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager
Drawn By
Date 2/3/2026
Reviewed By
Project ID Portsmouth Music Arts Center

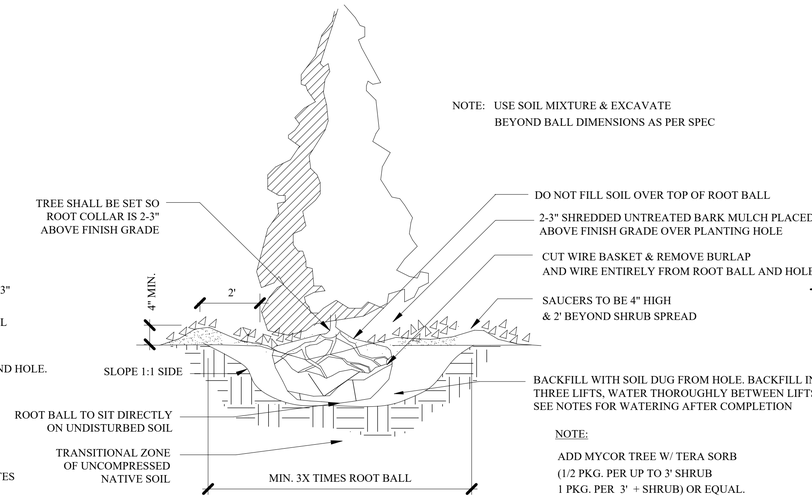
Sheet Title
Landscape Plan

Sheet No.
L-1



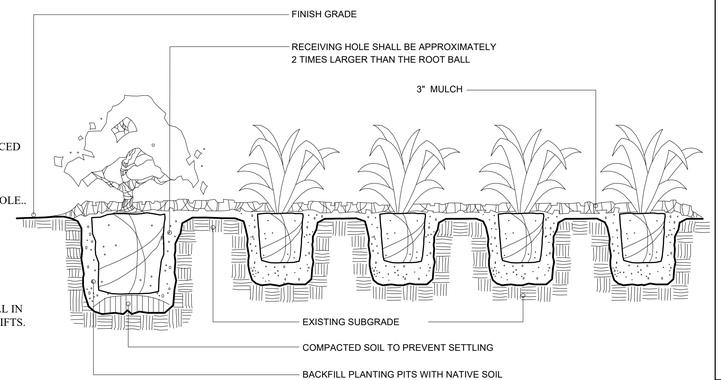
1 L-2

TREE PLANTING - 2"+ CAL.
SCALE: NTS



2 L-2

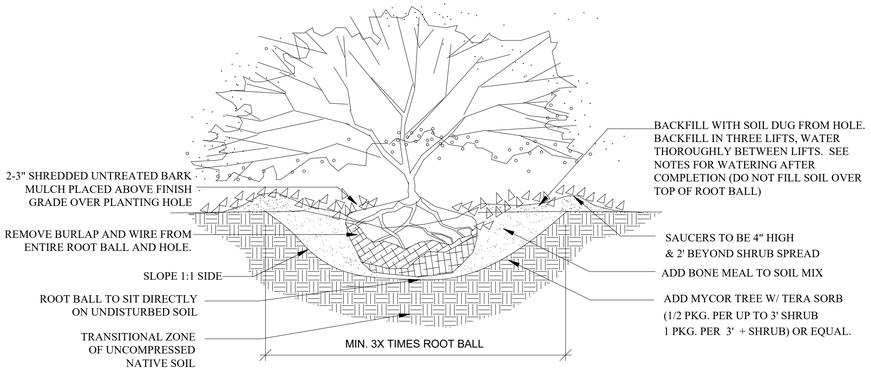
PYRAMIDAL EVERGREEN TREE PLANTING
SCALE: NTS



NOTE: SHRUBS SHALL BE PLANTED A MINIMUM OF 1" & NO MORE THAN 2" ABOVE FINISH GRADE, DEPENDING UPON SITE CONDITIONS.

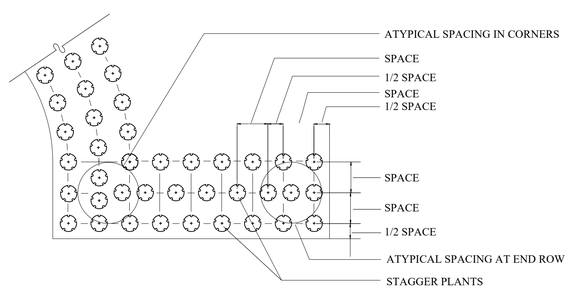
3 L-2

SHRUB/GROUND COVER PLANTING DETAIL
SCALE: NTS



4 L-2

B&B SHRUB PLANTING
SCALE: NTS



NOTES:

1. PLACE PLANTS IN BED AS SHOWN, SPACING AS SPECIFIED IN PLANT SCHEDULE.
2. GROUNDCOVER SHALL BE TRIANGULAR SPACED IN ROWS PARALLEL TO STRAIGHT EDGES AND SHALL BE EVENLY SPACED IN ROWS PARALLEL TO CURVE EDGES.

5 L-2

GROUND COVER SPACING DETAIL
SCALE: NTS

CITY OF PORTSMOUTH PLANTING REQUIREMENTS

1. All planting holes shall be dug by hand- NO MACHINES. The only exceptions are new construction where new planting pits, planting beds with granite curbing, and planting sites with Silva Cells are being created. If a machine is used to dig in any of these situations and planting depth needs to be raised the material in the bottom of the planting hole MUST be firmed with machine to prevent sinking of the root ball.
2. ALL Wire and Burlap shall be removed from the root ball AND planting hole.
3. The root ball of the tree shall be worked so that the root collar of the tree is visible and no girdling roots are present.
4. The root collar of the tree shall be 2"-3" above grade of planting hole for finished depth.
5. All plantings shall be backfilled with soil from the site and amended no more than 20% with Organic Compost. The only exceptions are new construction where engineered soil is being used in conjunction with Silva Cells and where new planting beds are being created.
6. All plantings shall be backfilled in three lifts and ALL lifts shall be watered so the planting will be set and free of air pockets- NO EXCEPTIONS.
7. An earth berm shall be placed around the perimeter of the planting hole except where curbed planting beds or pits are being used.
8. 2"-3" of mulch shall be placed over the planting area.
9. At the time the planting is complete the planting shall receive additional water to ensure complete hydration of the roots, backfill material and mulch layer.
10. Stakes and guys shall be used where appropriate and/or necessary. Guy material shall be nondamaging to the tree.
11. All planting stock shall be specimen quality, free of defects, and disease or injury. The City of Portsmouth, NH reserves the right to refuse/reject any plant material or planting action that fails to meet the standards set forth in the ANSI A300 Part 6 Standard Practices for Planting and Transplanting and/or The City of Portsmouth, NH Planting Requirements.

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.

NOTE: 6 INCHES OF TOPSOIL WITH 25% COMPOST TO BE ADDED TO ALL PLANTING AREAS

PLEASE NOTE: SHEET SIZE IS SCALED FOR ASME D . DO NOT REDUCE OR ENLARGE.

terra firma
landscape architecture
165.a Court Street Portsmouth, NH 03801
603.551.9109 | terrence@terrafirmalandarch.com

Project Title
Portsmouth Music Arts Center
973 Islington St
Portsmouth, NH 03801

TERRENCE PARKER — LICENSED LANDSCAPE ARCHITECT — 00254 — STATE OF NEW HAMPSHIRE

Landscape Architect

Scale
(SEE DETAILS)

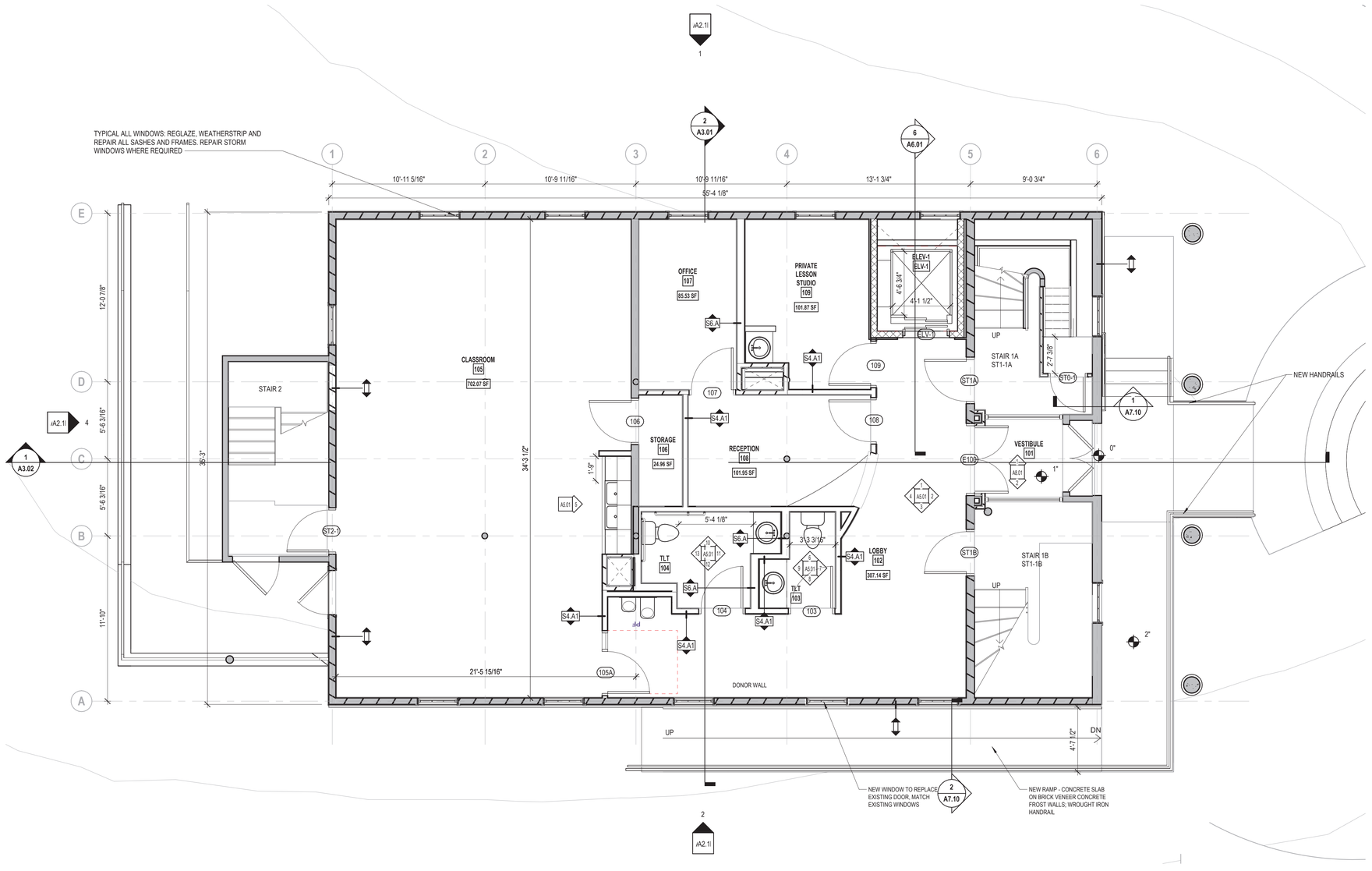
REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager | Drawn By
Date: 2/3/2026 | Reviewed By
Project ID: Portsmouth Music Arts Center

Sheet Title
Landscape Details

Sheet No.
L-2



1 LEVEL 1 Copy 1
1/4" = 1'-0"

ARCOVE ARCHITECTS
3 CONGRESS ST., SUITE1
PORTSMOUTH NH 03801
603.988.0042
www.ARCove.com

SOUTH MEETING HOUSE, PMAC VISUAL ARTS SCHOOL

280 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE, 03801

PROJECT NO: 1039

CLIENT

SCHLEYER FOUNDATION
PO BOX 222
RYE BEACH, NH 03871
603-531-3075

PORTSMOUTH MUSIC & ARTS CENTER (PMAC)
973 ISLINGTON STREET
PORTSMOUTH, NH 03801
603.431.4278

CONSULTANT

CIVIL ENGINEERING
ALTUS ENGINEERING
133 COURT ST
PORTSMOUTH NH 03801
(603) 433-2335

MEP ENGINEERING
PETERSEN ENGINEERING
127 PARROTT AVE
PORTSMOUTH, NH 03801
(603) 436-4233

STAMP

PLANNING BOARD

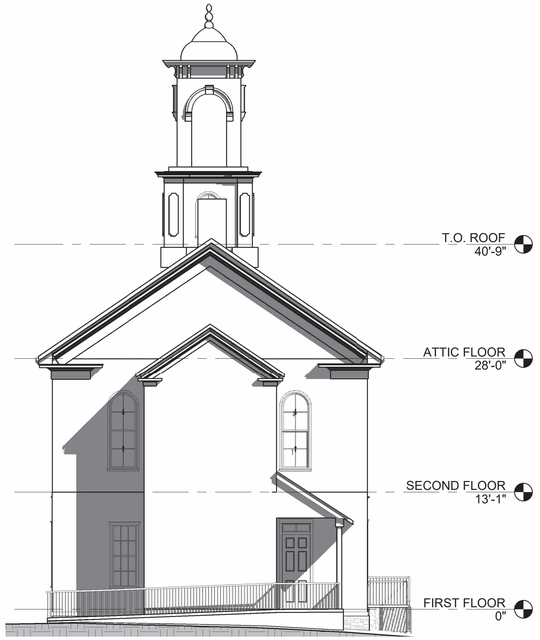
REVISIONS

NO.	DATE	DESCRIPTION

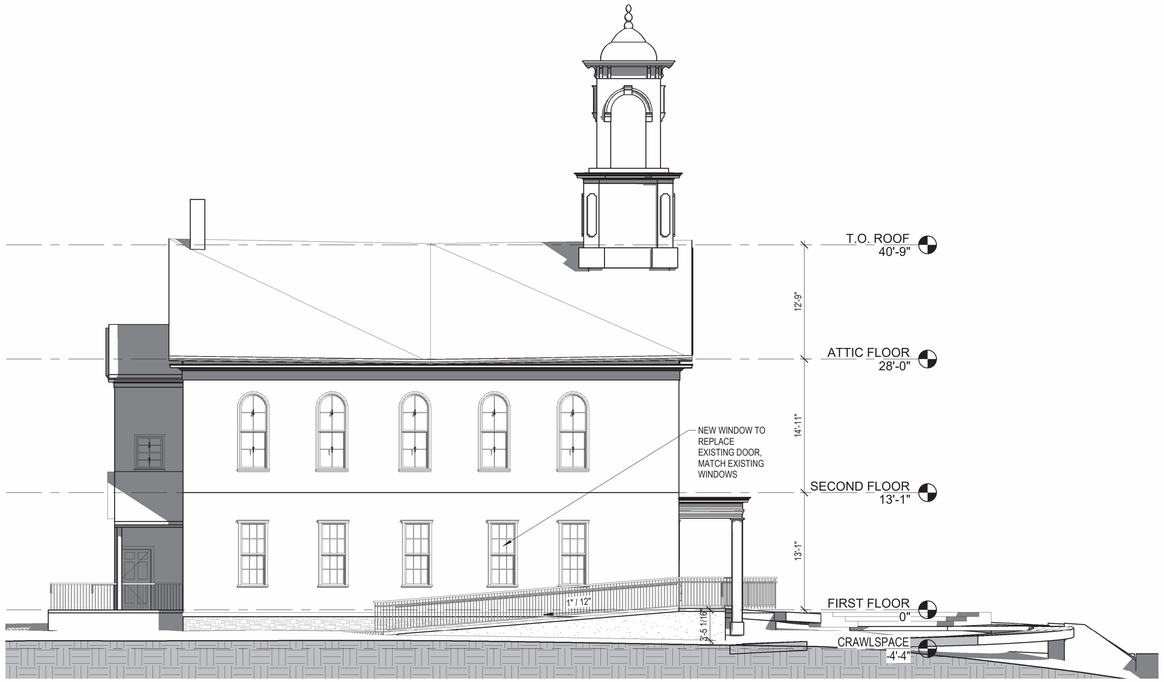
FLOOR PLANS

SCALE: 1/4" = 1'-0"
DATE: 02/03/2026
DRAWN: Author
CHECKED: Checker

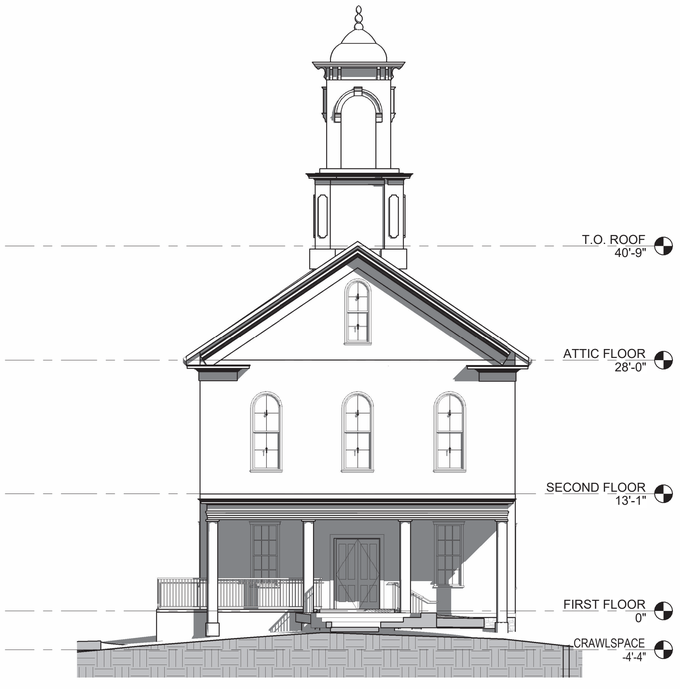
A1.2



4 **WEST ELEVATION PB**
1/8" = 1'-0"



2 **SOUTH ELEVATION PB**
1/8" = 1'-0"



3 **EAST ELEVATION PB**
1/8" = 1'-0"

1 **NORTH ELEVATION PB**
1/8" = 1'-0"

ARCOVE
ARCHITECTS

3 CONGRESS ST., SUITE1
PORTSMOUTH NH 03801
603.988.0042
www.ARCove.com

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MEP ENGINEERING
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127 PARROTT AVE
PORTSMOUTH, NH 03801
(603) 436-4233

STAMP

PLANNING BOARD

REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS

SCALE: 1/8" = 1'-0"
DATE: 02/03/2026
DRAWN: Author
CHECKED: Checker

A2.1

ALTUS ENGINEERING

Civil
Site Planning
Environmental
Engineering

133 Court Street
Portsmouth, NH
03801-4413

February 3, 2026

Mr. Peter Britz, Director of Planning & Sustainability
City of Portsmouth Planning & Sustainability Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Re: Application for TAC Work Session
Proposed 18-Unit Multi-Family Residential Development
181 Hill Street
Portsmouth, NH

Mr. Britz:

On behalf of Hill Hanover Group LLC and C/O JPK Properties LLC (Owner/Applicant), Altus Engineering, LLC (Altus) is pleased to submit the following materials in support of a Request for TAC Work Session for the Proposed 18-Unit Multi-Family Residential Development at 181 Hill Street. The project is located on a parcel of land between bound by Hanover Street to the south, Hill Street to the north, Autumn Street to the East, and an existing multi-family building to the west. The lot is identified as Map 125, Lot 14 on the City of Portsmouth Tax Maps and consists of approximately 16,127 square feet (0.37 acres) and is located within the Character District CD4-L1.

The site is currently developed with three dilapidated residential buildings. Each building is similar in size and massing, consisting of four residential units per building, for a total of twelve (12) existing dwelling units. Surface parking is currently provided along Hill Street, Autumn Street, and within driveways located between the buildings.

The proposed redevelopment includes a single three-story residential structure with a footprint area of approximately 9,378 square feet. The project proposes eighteen (18) residential units and includes an underground parking garage with 17 spaces and 6 surface spaces for a total of 23 parking spaces. This provides the required parking for the development on site.

As shown on the project plans, there are five variances that have been identified which will require Zoning Relief. It is understood that

- Front lot line build-out - to allow 88.2% where 60%-80% is required.
- Open space - to allow 12.0% where 25% is required.
- Building footprint - to allow 9,380± square feet where 2,500 is allowed
- Lot use - to allow an 18-unit multi-family building where 8 unit max building is allowed.
- Density - to allow a density of 1 unit per ±896 square feet where 3,000 is required.

We look forward to meeting with the Technical Advisory Committee in a work session to review the project and receive feedback on the site development prior to details design and a formal site plan review application. Items we would appreciate consideration by TAC include the following:

- Setbacks
  - Hanover Street = Primary Frontage
  - Autumn Street = Secondary Frontage
  - Hill Street = Rear (Private access)
  - West Side = Side
- Utility connection locations to municipal sewer and water
- Stormwater management requirements
- Parking – Development to provide 23 on-site parking spaces (22 required).
  - Three new spaces will be available on Hanover Street by filling sidewalk gaps.
- Open Space requirements – increase existing 4.5% to 12%
- Lighting requirements
- Potential sidewalk/ walkway along Autumn Street (private / public)
- Sidewalk along Hanover Street – reconstruct to city standards within City R/W?
  - This would require narrowing Hanover Street
- Snow & Trash Removal – To be provided by Private contractor
- ADA Accessibility–
  - Single ADA entrance to building on Hanover Street
  - Rear door to Hill Street be emergency egress only
  - External ADA Van stall and internal ADA stall
  - Elevator to provide access from basement /entrance levels
- First floor elevation above sidewalk grade – how is it measured?
- Are there other variances that TAC would anticipate being required?
- Any other considerations or concerns?

We appreciate the opportunity to meet with TAC and to discuss this project. Please contact me directly if you have any questions or require any additional information.

Sincerely,
ALTUS ENGINEERING, LLC

Cory D. Belden, P.E.
Principal

wde/5608-HH-TAC WS_ltr_020326.doc
Enclosure

Site Redevelopment Plans

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

181 HILL STREET
PORTSMOUTH, NH 03801

TAX MAP 125, LOT 14

Owner/ Applicant:

HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC

1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

Architect:

4 Market Street
Portsmouth, New Hampshire
603.430.0274
brought to you by
McHENRY ARCHITECTURE

Civil Engineer:

ALTUS ENGINEERING

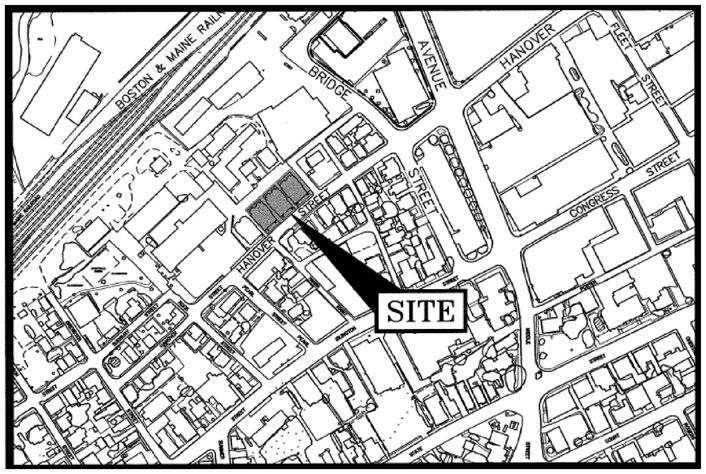
133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Surveyor:

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

Issued for:

FEBRUARY 3, 2026 TAC WORK SESSION



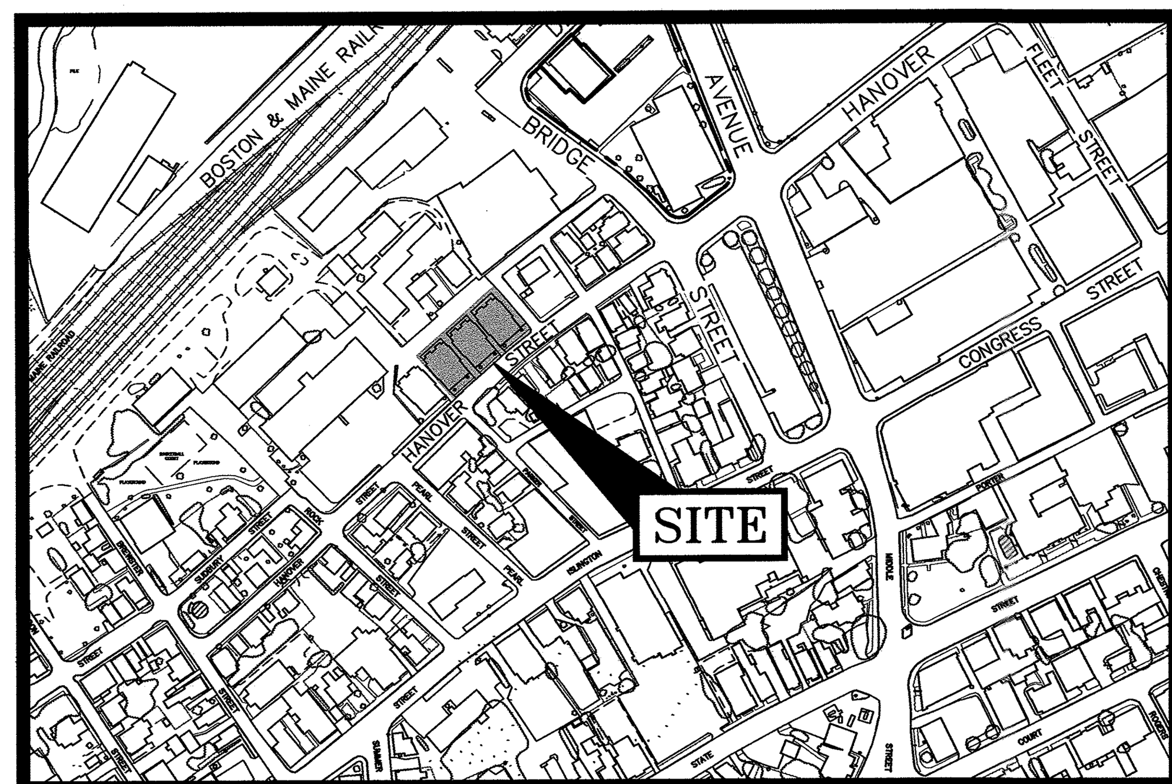
Locus Map
Scale: Not to Scale

Sheet Index

Title	*Sheet No.:*	*Rev.*	*Date*
Existing Conditions Plan (by AMBIT)	C1	0	09/27/21
Site Plan	C.2	0	02/03/26
Utilities Plan	C.3	0	02/03/26
Neighborhood Plan	C.4	0	02/03/26
Construction Details	C–5	0	02/03/26
Construction Details	C–6	0	02/03/26
Construction Details	C–7	0	02/03/26
Construction Details	C–8	0	02/03/26
Architectural Plans (by Portsmouth Architects)			
Existing Context – Perspectives	A–1	0	02/03/26
Existing Context – Approach	A2–A3	0	02/03/26
Conceptual Massing	A4	0	02/03/26
Conceptual Hanover St Elevation	A5	0	02/03/26
Basement Floor Plan	A6	0	02/03/26
1st Floor Plan	A7	0	02/03/26
2nd & 3rd Floor Plan	A8	0	02/03/26

VARIANCES REQUIRED

- FRONT LOT LINE BUILD–OUT – TO ALLOW 88.2% WHERE 60%–80% IS REQUIRED.
- OPEN SPACE – TO ALLOW 12.0% WHERE 25% IS REQUIRED.
- BUILDING FOOTPRINT – TO ALLOW 9,380± SQUARE FEET WHERE 2,500 IS ALLOWED.
- LOT USE – TO ALLOW 18 UNIT MULTI–FAMILY BUILDING WHERE 8 UNIT MAX MULTI–FAMILY BUILDING IS ALLOWED.
- DENSITY – TO ALLOW A DENSITY OF 1 UNIT PER ±896 SQUARE FEET WHERE 3,000 IS REQUIRED.



LOCATION MAP SCALE: 1" = 300'

PLAN REFERENCES:

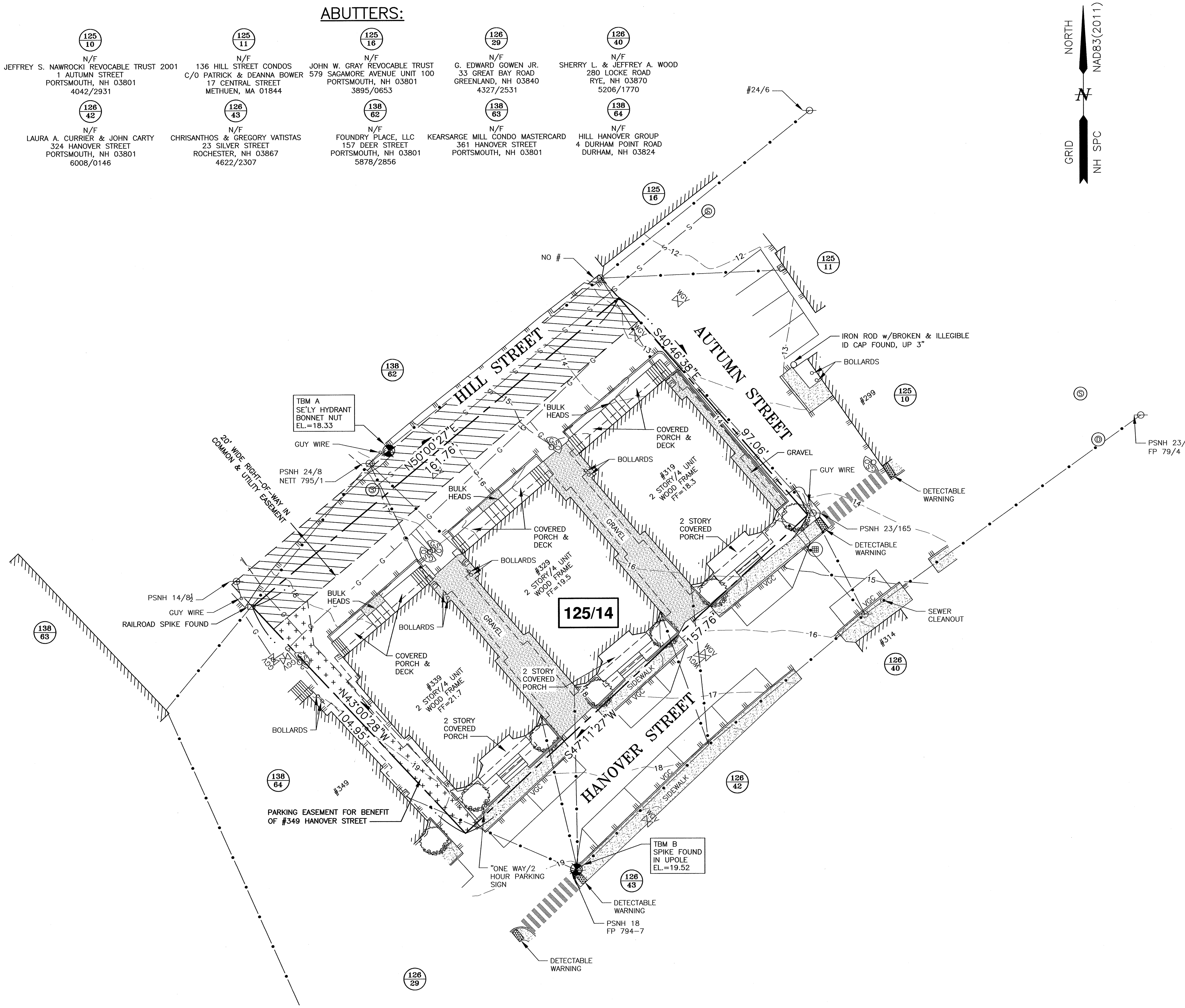
1) LOT LINE RELOCATION PLAN TAX MAP 125, LOT 14 & TAX MAP 138, LOT 62, OWNERS OF RECORD: HILL HANOVER GROUP, LLC c/o JPK PROPERTIES, LLC 1 NEW HAMPSHIRE AVENUE. #125 FOR DEER STREET ASSOCIATES, 159–181 HILL STREET & 317–339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2013, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D–38162.

2) UTILITY EASEMENT PLAN TAX MAP 125 – LOT 14 & TAX MAP 138 – LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES TO THE CITY OF PORTSMOUTH, 159–181 HILL STREET & 317–339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D–38163.

3) PARKING EASEMENT PLAN TAX MAP 125 – LOT 14 & TAX MAP 138 – LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES, 159–181 HILL STREET & 317–339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 12, 2014. R.C.R.D. PLAN D–38164.

ABUTTERS:

125/10 N/F JEFFREY S. NAWROCKI REVOCABLE TRUST 2001 1 AUTUMN STREET PORTSMOUTH, NH 03801 4042/2931	125/11 N/F 136 HILL STREET CONDOS C/O PATRICK & DEANNA BOWER 17 CENTRAL STREET METHUEN, MA 01844	125/16 N/F JOHN W. GRAY REVOCABLE TRUST 579 SAGAMORE AVENUE UNIT 100 PORTSMOUTH, NH 03801 3895/0653	126/29 N/F G. EDWARD GOWEN JR. 33 GREAT BAY ROAD GREENLAND, NH 03840 4327/2531	126/40 N/F SHERRY L. & JEFFREY A. WOOD 280 LOCKE ROAD RYE, NH 03870 5206/1770
126/42 N/F LAURA A. CURRIER & JOHN CARTY 324 HANOVER STREET PORTSMOUTH, NH 03801 6008/0146	126/43 N/F CHRISANTHOS & GREGORY VATISTAS 23 SILVER STREET ROCHESTER, NH 03867 4622/2307	138/62 N/F FOUNDRY PLACE, LLC 157 DEER STREET PORTSMOUTH, NH 03801 5878/2856	138/63 N/F KEARSARGE MILL CONDO MASTERCARD 361 HANOVER STREET PORTSMOUTH, NH 03801	138/64 N/F HILL HANOVER GROUP 4 DURHAM POINT ROAD DURHAM, NH 03824



GRAPHIC SCALE

10 0 20 40 60 80 FEET
5 0 5 10 15 20 25 METERS

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS DATE

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801–7114
Tel (603) 430–9282
Fax (603) 436–2315

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 14.

2) OWNER OF RECORD:
HILL–HANOVER GROUP, LLC
c/o JPK PROPERTIES, LLC
1 NEW HAMPSHIRE AVENUE, #125
PORTSMOUTH, NH 03801
4356/10
R.C.R.D PLANS D–38162, D–38163, & D–38164

3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4–L1 (LIMITED 1).

4) DIMENSIONAL REQUIREMENTS:
CHARACTER DISTRICT 4–L1 (CD4–L1):

MIN. LOT AREA:	3,000 S.F.
FRONTAGE:	NO REQUIREMENT
SETBACKS:	
FRONT (MAX.)	15 FEET (PRIMARY)
FRONT (MAX.)	12 FEET (SECONDARY)
SIDE	5–20 FEET (MAX)
REAR	5/10
MAXIMUM STRUCTURE HEIGHT:	2–3 STORIES 40 FEET
MAXIMUM STRUCTURE COVERAGE:	60%
MAXIMUM BUILDING FOOTPRINT:	2,500 S.F.
MINIMUM OPEN SPACE:	25%
MINIMUM FRONT LOT LINE BUILDOUT:	60–80%

5) LOT AREA: 16,127 S.F., 0.3702 ACRES.

6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 125, LOT 14 IN PORTSMOUTH, NH.

8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS NGS PID OC0290 – B 2 1923.

9) PARCEL IS SUBJECT TO A 20' WIDE UTILITY EASEMENT. SEE R.C.R.D. 5518/2759.

10) PARCEL IS SUBJECT TO AND BENEFITED BY A 20' WIDE RIGHT–OF–WAY IN COMMON. SEE R.C.R.D. 829/130.

11) PARCEL BENEFITS FROM AN EASEMENT FOR PARKING. SEE R.C.R.D. 5518/2747, SEE ALSO PARTIAL RELEASE R.C.R.D. 5751/1463.

RESIDENTIAL BUILDING
HILL–HANOVER GROUP, LLC
181 HILL STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	9/27/21

REVISIONS

SCALE 1" = 20' SEPTEMBER 2021

EXISTING CONDITIONS PLAN

C1

FB 265 PG 13

2725

SITE SUMMARY

1. DESIGN INTENT – THIS PLAN IS INTENDED TO DEPICT THE PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING TOGETHER WITH ASSOCIATED PARKING AND ACCESSWAYS.
2. THE BASE PLAN USED WAS DEVELOPED FROM THE EXISTING CONDITIONS PLAN PREPARED BY AMBIT ENGINEERING, INC., DATED SEPTEMBER 27, 2021.
3. ZONING DISTRICT: PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 DISTRICT
4. PROJECT PARCEL: TAX MAP 125 – LOT 14 16,127 S.F. (±0.37 AC.)
5. DIMENSIONAL REQUIREMENTS:

	CD4-L1	EXISTING	PROVIDED
MIN. LOT AREA:	3,000 S.F.	16,127 S.F.	16,127 S.F.
LOT AREA PER DWELLING:	3,000 S.F.	±1,344 S.F	±896 S.F.
DWELLING UNITS PER BLDG:	8 (MAX)	4 (12 TOTAL)	18
FRONT SETBACK:			
HANOVER STREET (PRIMARY)	15' MAX	±2.7'	±2.6'
AUTUMN STREET (SECONDARY)	12' MAX	±4.6'	±7.4'
SIDE SETBACK:	5' MIN – 20' MAX	±6.8	±10.5'
REAR SETBACK:	5' FROM LOT LINE OR 10' FROM C/L ALLEY	±26.9'	±25.4'
FRONT LOT LINE BUILD-OUT:	60% MIN – 80% MAX	±78.1%	±88.8%
MAX. BLDG. BLOCK LENGTH:	80'	±157.76' (EXIST)	±157.76'
MAX. BLDG. FOOTPRINT:	2,500 SF	±8,129 SF	±9,378 SF
MAX. BLDG. COVERAGE:	60%	±51.4%	±58.5%
MIN. OPEN SPACE:	25%	±4.5%	±12.0%
MAX. BUILDING HEIGHT:	40' (2-3 STORIES)	25'+	±39'-6"
MAX. FINISHED FLOOR ABOVE SIDEWALK:	36" (3.0')	±36"	2.8"

PARKING REQUIREMENTS:

DWELLING UNITS: 1.0 SPACES PER DWELLING UNIT
18 UNITS x 1.0 = 18 SPACES

VISITOR SPACES: 1.0 PER 5 UNITS
18 UNITS/5 X 1.0 = 3.6 SPACES

TOTAL PARKING REQUIRED: 22 SPACES TOTAL

PARKING SPACES PROVIDED: 17 (BASEMENT)
6 (EXTERIOR)
23 TOTAL

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)

P5608

ENGINEER:
ALTUS ENGINEERING
133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION

ARCHITECT:
4 Market Street
Portsmouth, New Hampshire
603.430.0274
brought to you by McHENRY ARCHITECTURE

ISSUED FOR:
TAC WORK SESSION

ISSUE DATE:
FEBRUARY 3, 2026

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TECHNICAL REVIEW	CDB	02/03/26

DRAWN BY: CDB
APPROVED BY: CDB
DRAWING FILE: 5608_SITE.DWG

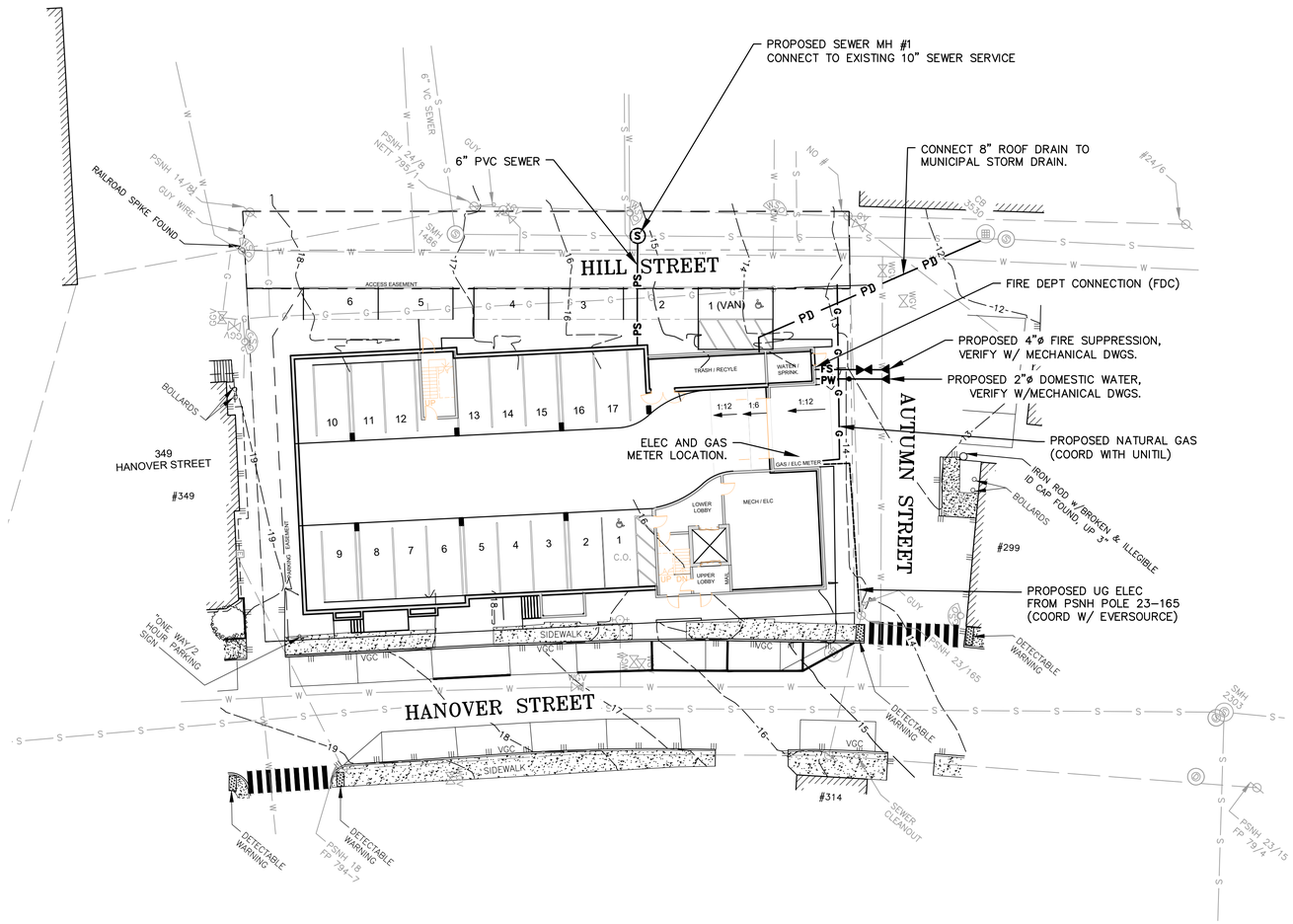
SCALE:
22" X 34" = 1" = 10'
11" X 17" = 1" = 20'

OWNER:
HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC
1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

PROJECT:
HILL / HANOVER MULTI-FAMILY
181 HILL STREET
PORTSMOUTH, NH 03801

TITLE:
SITE PLAN

SHEET NUMBER:
C.2



GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)

P5608

UTILITY NOTES

1. ALL ROAD/LANE CLOSURES OR OTHER TRAFFIC INTERRUPTIONS ON CITY ROADS SHALL BE COORDINATED WITH THE PORTSMOUTH POLICE DEPARTMENT AND/OR PORTSMOUTH DPW.
2. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL PERMIT CONDITIONS AND REQUIREMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
4. ALL WATER MAIN INSTALLATIONS AND SERVICE CONNECTIONS SHALL CONFORM TO PORTSMOUTH WATER DEPARTMENT STANDARDS. WATER MAIN SHALL BE WRAPPED WITH A WATER TIGHT POLYETHYLENE WRAPPING. ALL JOINTS SHALL HAVE THREE (3) WEDGES PER JOINT.
5. THE WATER MAIN IN SAGAMORE GROVE WILL BE REPLACED AT THE SAME TIME AS THE LOW PRESSURE SEWER INSTALLATION. THE NEW WATER SERVICE SHALL CONNECT TO ACTIVE MAIN LINE SAGAMORE GROVE. COORDINATE WITH CITY OF PORTSMOUTH WATER DEPARTMENT.
6. FIRE ALARM PANEL SHALL MONITORED THROUGH A THIRD-PARTY SECURITY COMPANY. CONTRACTOR SHALL COORDINATE ALL PANEL LOCATIONS AND INTERCONNECTIONS WITH FIRE DEPARTMENT.
7. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATION DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE APPLICANT SHALL BE REQUIRED TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES A REPEATER IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY. THE SURVEY SHALL BE COMPLETED AND THE REPEATER, IF DETERMINED IT IS REQUIRED, SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.
8. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
9. SITEWORK CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL DRAWINGS.
10. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDINGS. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING RELATED WORK.
11. FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ARCHITECT.
12. CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS.
13. CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH COMCAST.
14. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
15. DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.

ENGINEER:
ALTUS ENGINEERING
133 Court Street Portsmouth, NH 03801
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ISSUE DATE:
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APPROVED BY: CDB
DRAWING FILE: 5608_SITE.DWG

SCALE:

OWNER:
HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC

1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

PROJECT:
HILL / HANOVER
MULTI-FAMILY
181 HILL STREET
PORTSMOUTH, NH 03801

TITLE:
UTILITIES PLAN

SHEET NUMBER:
C.3

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)

P5608

ENGINEER:

ALTUS ENGINEERING

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PORTSMOUTH, NH 03801

PROJECT:

HILL / HANOVER
MULTI–FAMILY

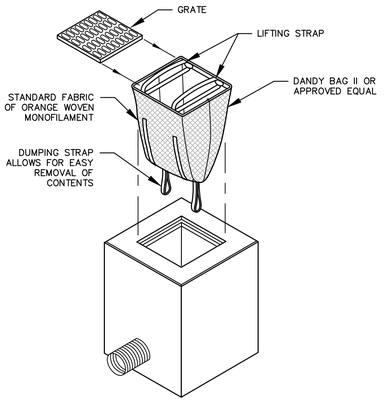
181 HILL STREET
PORTSMOUTH, NH 03801

TITLE:

NEIGHBORHOOD PLAN

SHEET NUMBER:

C.4



INSTALLATION AND MAINTENANCE:

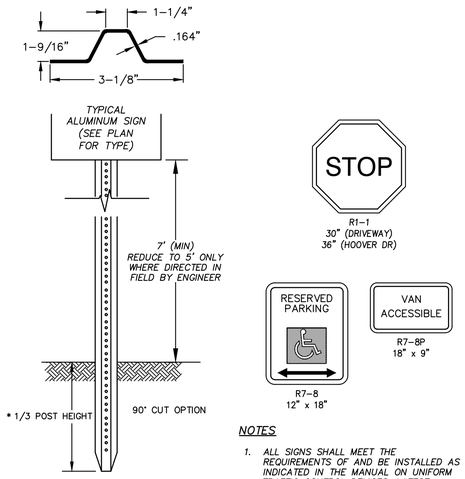
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN UNIT. STAND GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO CATCH BASIN INSERT SO THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE CATCH BASIN INSERT. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY THE UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

UNACCEPTABLE INLET PROTECTION METHOD:

A SIMPLE SHEET OF GEOTEXTILE UNDER THE GRATE IS NOT ACCEPTABLE.

STORM DRAIN INLET PROTECTION NOT TO SCALE



NOTES

1. ALL SIGNS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

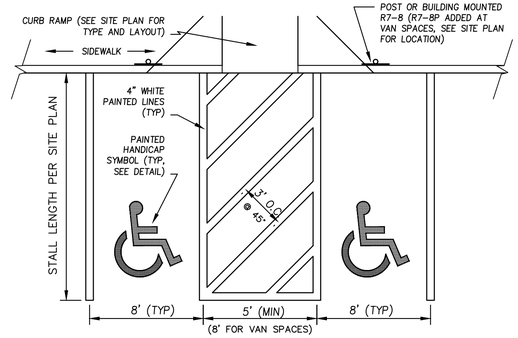
LENGTH: AS REQUIRED

WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)

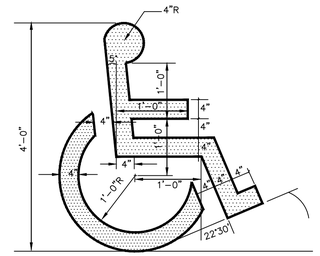
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH

STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)

SIGN DETAILS NOT TO SCALE



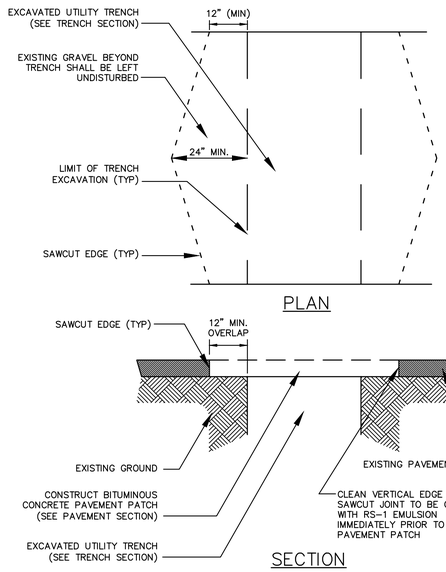
PARKING STALL LAYOUT NOT TO SCALE



NOTES

1. SYMBOL TO BE PAINTED IN ALL HANDICAPPED ACCESSIBLE SPACES IN WHITE PAINT (BLUE-PAINTED SQUARE BACKGROUND OPTIONAL).

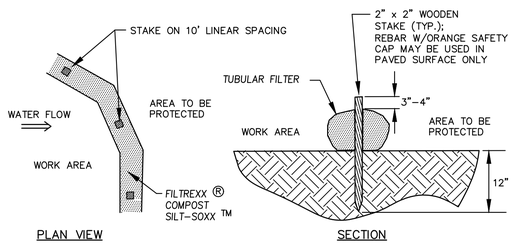
PAINTED ADA SYMBOL NOT TO SCALE



NOTES

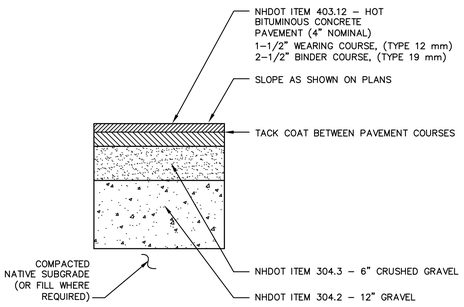
1. MACHINE CUT EXISTING PAVEMENT.
2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
3. DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

TYPICAL TRENCH PATCH NOT TO SCALE



NOTES:
1. SILTSOXX OR APPROVED EQUAL SHALL BE USED FOR TUBULAR SEDIMENT BARRIERS.
2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS.
3. COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
4. ALL SEDIMENT TRAPPED BY BARRIER SHALL BE DISPOSED OF PROPERLY.

TUBULAR SEDIMENT BARRIER DETAIL NOT TO SCALE



PENDING GEOTECH REPORT PAVEMENT CROSS SECTION

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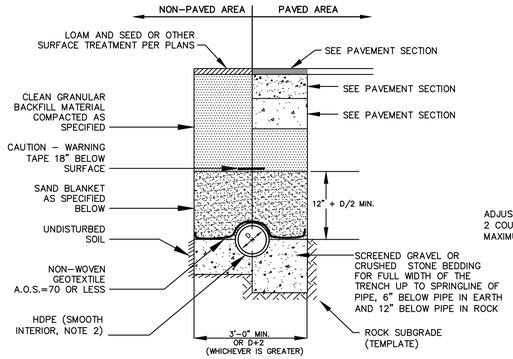
PORTSMOUTH, NH 03801

PROJECT:
HILL / HANOVER MULTI-FAMILY
181 HILL STREET
PORTSMOUTH, NH 03801

TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: C.5

P5608



NOTES:
1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
2. ALL PIPE SHALL BE HDPE WITH SMOOTH INTERIOR AND CORRUGATED EXTERIOR, ADS TYPE N-12 OR APPROVED EQUAL.

SAND BLANKET/BARRIER

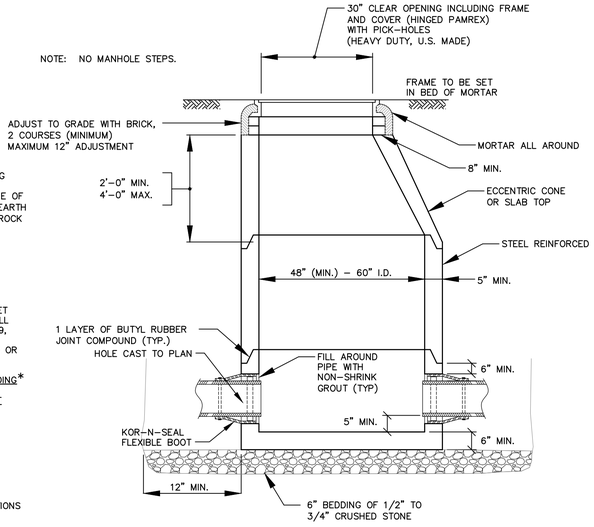
SIEVE SIZE	% FINER BY WEIGHT
1/2"	90 - 100
200	0 - 15

SCREENED GRAVEL OR CRUSHED STONE BEDDING*

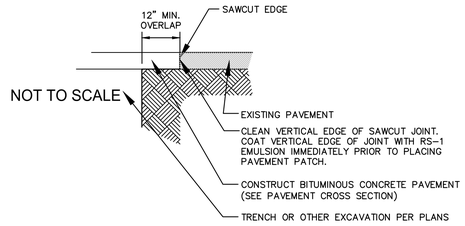
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0 - 10
# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

STORM DRAIN TRENCH NOT TO SCALE

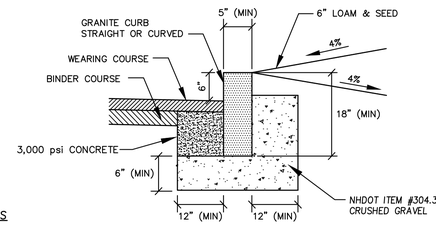


DRAIN MANHOLE DETAIL NOT TO SCALE



NOT TO SCALE

TYPICAL PAVEMENT SAWCUT NOT TO SCALE

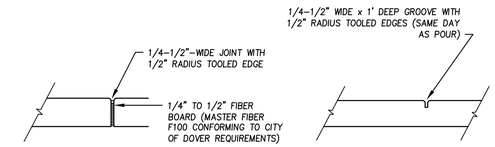


NOTES

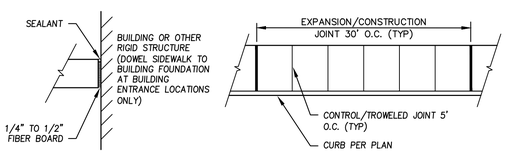
1. SEE PLANS FOR CURB LOCATION.
2. SEE PLANS FOR PAVEMENT CROSS SECTION.
3. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
4. MINIMUM LENGTH OF CURB STONES = 4'.
5. MAXIMUM LENGTH OF CURB STONES = 10'.
6. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
7. CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALL FOR ON THE PLANS.
8. CURB SHALL BE INSTALLED PRIOR TO PLACEMENT OF TOP PAVEMENT COURSE.
9. JOINTS BETWEEN CURB STONES SHALL BE MORTARED.

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

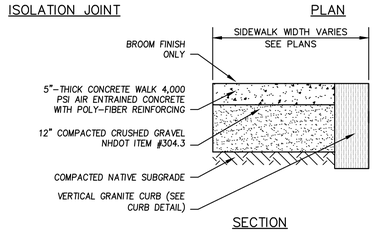
VERTICAL GRANITE CURB NOT TO SCALE



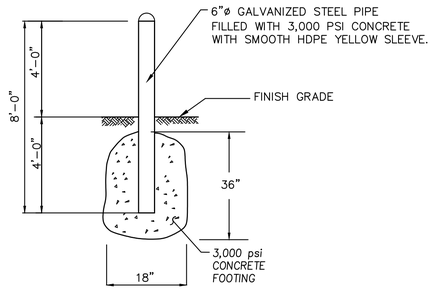
EXPANSION/CONSTRUCTION JOINT CONTROL/TROWELED JOINT



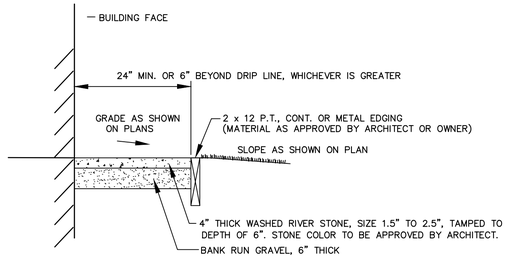
ISOLATION JOINT



CONCRETE SIDEWALK DETAIL NOT TO SCALE



BOLLARD NOT TO SCALE



DRIP EDGE DETAIL NOT TO SCALE

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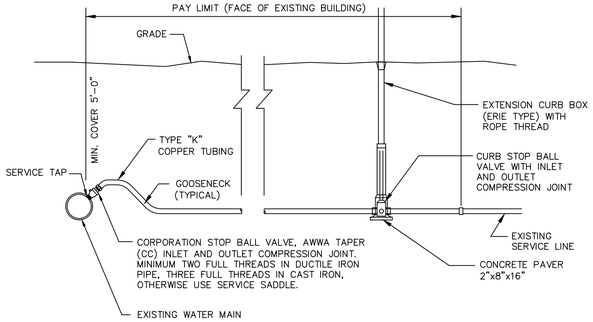
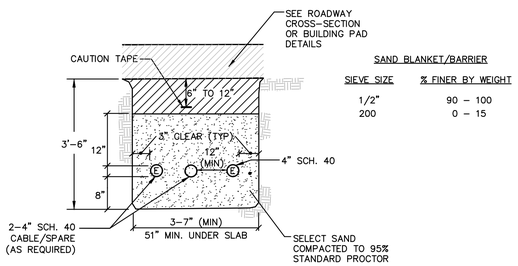


NOTES

1. PROVIDE NEW LINE USING CONTINUOUS LENGTHS OF COPPER. NO COUPLING ALLOWED IN ROADWAY WITHOUT APPROVAL OF ENGINEER.
2. TAPS TO BE MADE AT APPROXIMATELY 2:00 & 10:00
3. PROVIDE FOR SERVICE LINE CONTRACTION AND EXPANSION BY INSTALLING "S" IN SERVICE LINE NEAR MAIN.
4. IF SERVICE IS INSTALLED WITH LESS THAN 5' COVER, INSULATE OVER LINE.
5. REMOVE EXISTING CURB STOP.
6. CONNECT CURB STOP TO EXISTING SERVICE LINE AT PROPERTY LINE OR AT LOCATION APPROVED BY THE ENGINEER (NO COUPLING WITHOUT APPROVAL OF ENGINEER) AFTER PRESSURE TESTING AND DISINFECTION.
7. SHUT OFF EXISTING CORPORATION AND REMOVE OR ABANDON EXISTING SERVICE LINE.
8. CURB BOX SHALL BE SET IN THE GRASS/LANDSCAPE AREA BETWEEN CURB AND SIDEWALK UNLESS DIRECTED OTHERWISE.
9. 2" OR LARGER SERVICE CONNECTIONS SHALL USE A STAINLESS STEEL SERVICE SADDLE.

SERVICE CONNECTION DETAIL NOT TO SCALE



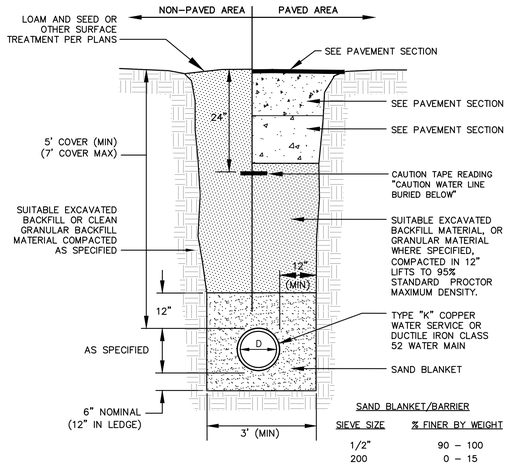
SAND BLANKET/BARRIER

SIEVE SIZE	% FINER BY WEIGHT
1/2"	90 – 100
200	0 – 15

NOTES

1. ALL CONDUIT IS TO BE SCHEDULE 40 PVC, ELECTRICAL GRADE, GRAY IN COLOR AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. A 10-FOOT HORIZONTAL SECTION OF RIGID GALVANIZED STEEL CONDUIT WILL BE REQUIRED AT EACH SWEEP, UNLESS IN THE OPINION OF THE SERVICE PROVIDER DESIGNER, THE SWEEP-PVC JOINT IS NOT SUBJECT TO FAILURE DURING PULLING OF THE CABLE. ALL JOINTS ARE TO BE WATERTIGHT.
2. ALL 90 DEGREE SWEEPS WILL BE MADE WITH RIGID GALVANIZED STEEL WITH A MINIMUM RADIUS OF 36 INCHES FOR PRIMARY CABLES AND 24 INCHES FOR SECONDARY CABLES.
3. BACKFILL MAY BE MADE WITH EXCAVATED MATERIAL OR COMPARABLE, UNLESS MATERIAL IS DEEMED UNSUITABLE BY SERVICE PROVIDER. BACKFILL SHALL BE FREE OF FROZEN LUMPS, ROCKS, DEBRIS, AND RUBBISH. ORGANIC MATERIAL SHALL NOT BE USED AS BACKFILL. BACKFILL SHALL BE IN 6-INCH LAYERS AND THOROUGHLY COMPACTED.
4. A SUITABLE PULLING STRING, CAPABLE OF 300 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE SERVICE PROVIDER IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT. A MINIMUM OF TWENTY-FOUR (24") INCHES OF ROPE SLACK SHALL REMAIN AT THE END OF EACH DUCT. PULL ROPE SHALL BE INSTALLED IN ALL CONDUIT FOR FUTURE PULLS. PULL ROPE SHALL BE NYLON ROPE HAVING A MINIMUM TENSILE STRENGTH OF THREE HUNDRED (300#) LBS.
5. SERVICE PROVIDER SHALL BE GIVEN THE OPPORTUNITY TO INSPECT ALL CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD SERVICE PROVIDER BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
6. TYPICAL CONDUIT SIZES ARE 3-INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4-INCH FOR THREE PHASE SECONDARY, AND 5-INCH FOR THREE PHASE PRIMARY. HOWEVER, SERVICE PROVIDERS MAY REQUIRE DIFFERENT NUMBERS, TYPES AND SIZES OF CONDUIT THAN THOSE SHOWN HERE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDUIT SIZES, TYPES AND NUMBERS WITH EACH SERVICE PROVIDER PRIOR TO ORDERING THEM.
7. ROUTING OF CONDUIT, LOCATION OF MANHOLES, TRANSFORMERS, CABINETS, HANDHOLES, ETC., SHALL BE DETERMINED BY SERVICE PROVIDER DESIGN PERSONNEL. THE CONTRACTOR SHALL COORDINATE WITH ALL SERVICE PROVIDERS PRIOR TO THE INSTALLATION OF ANY CONDUIT.
8. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE. WHERE REQUIRED BY UTILITY PROVIDER, CONDUIT SHALL BE SUPPORTED IN PLACE USING PIPE STANCHIONS PLACED EVERY FIVE (5') FEET ALONG THE CONDUIT RUN.
9. UNDER A BUILDING SLAB THE CONDUIT SHALL BE ENCASED IN 8" OF CONCRETE ON ALL SIDES.
10. ALL CONDUIT TERMINATIONS SHALL BE CAPPED TO PREVENT DEBRIS FROM ENTERING CONDUIT.

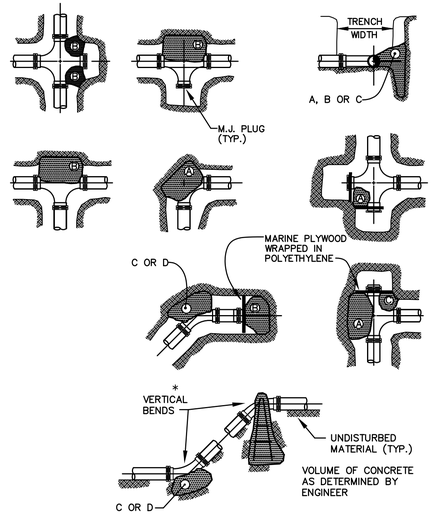
ELECTRIC / COMMUNICATION TRENCH NOT TO SCALE



NOTES

1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
2. WATER MAINS SHALL BE POLY WRAPPED.
3. WATER MAINS SHALL HAVE 3 WEDGES PER JOINT.

WATER TRENCH NOT TO SCALE

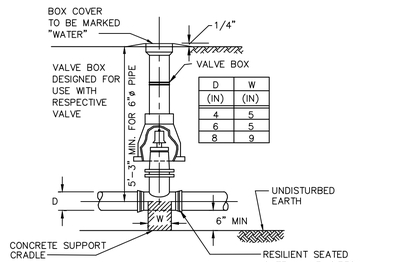


TEST PRESSURE = 150 psi	SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL					
	REACTION TYPE	PIPE SIZE				
		4"	6"	8"	10"	12"
	A 90°	0.89	2.19	3.82	11.14	17.24
	B 180°	0.65	1.55	2.78	8.38	12.00
	C 45°	0.48	1.19	2.12	6.02	9.32
	D 22-1/2°	0.25	0.60	1.06	3.08	4.74
	E 11-1/4°	0.13	0.30	0.54	1.54	2.38

NOTES:

1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
5. POLYETHYLENE (6 MIL) SHALL BE PLACED AROUND FITTINGS PRIOR TO CONCRETE PLACEMENT.

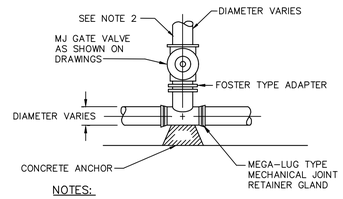
THRUST BLOCKING DETAIL NOT TO SCALE



D (IN)	W (IN)
4	5
6	5
8	9

SECTION

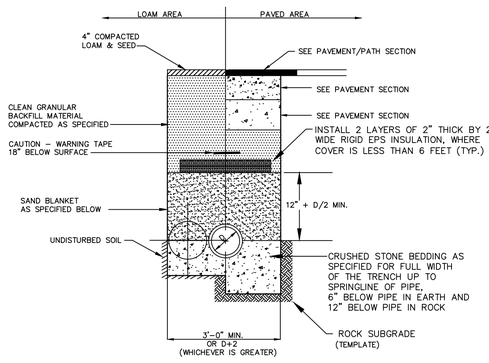
WATER VALVE DETAIL NOT TO SCALE



NOTES:

1. GATE VALVES SHALL OPEN RIGHT, PER CITY STANDARDS.
2. BRANCH PIPING SHALL BE MECHANICALLY RESTRAINED AS NOTED UNDER THRUST BLOCK DETAIL REQUIREMENTS.

TEE & GATE VALVE ASSEMBLY DETAIL NOT TO SCALE



BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

SAND BLANKET

SIEVE SIZE	% FINER BY WEIGHT
1/2"	90 – 100
200	0 – 15

CRUSHED STONE BEDDING *

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 – 100
3/8"	20 – 55
# 4	0 – 10
# 8	0 – 5

* EQUIVALENT TO STANDARD STONE SIZE #67 – SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

SEWER TRENCH SECTION NOT TO SCALE

STANDARD TRENCH NOTES:

1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE: BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN OF THE DRAWING.
2. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE NO. 67.
   100% PASSING 1 INCH SCREEN
   90 – 100% PASSING 3/4 INCH SCREEN
   20 – 55% PASSING 3/8 INCH SCREEN
   0–10% PASSING #4 SIEVE
   0–5% PASSING #8 SIEVE
   WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1–1/2 INCH TO 1/2 INCH SHALL BE USED.
3. SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90 – 100% PASSES 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER, THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
4. SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
5. BASE COURSE AND PAVEMENT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES – DIVISIONS 300 AND 400 RESPECTIVELY.
6. SHEETING, IF REQUIRED: WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAT 1 FOOT ABOVE THE TOP OF THE PIPE.
7. W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
8. FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
9. CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATION REQUIREMENTS FOR CLASS A (3000#) CONCRETE AS FOLLOWS:
   CEMENT: 6.0 BAGS PER CUBIC YARD WATER: 5.75 GALLONS PER BAG CEMENT MAXIMUM SIZE OF AGGREGATE: 1 INCH CONCRETE ENCASEMENT IS NOT ALLOWED FOR PVC PIPE.
10. CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
11. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE TEN FEET (10') SEPARATION BETWEEN WATER AND SEWER. REFER TO CITY'S STANDARD SPECIFICATIONS FOR METHODS OF PROTECTION IN AREAS THAT CANNOT MEET THESE REQUIREMENTS.

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THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION

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603.430.0274
brought to you by McHENRY ARCHITECTURE

ISSUED FOR: TAC WORK SESSION

ISSUE DATE: FEBRUARY 3, 2026

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TECHNICAL REVIEW	CDB	02/03/26

DRAWN BY: CDB
APPROVED BY: CDB
DRAWING FILE: 5608_SITE.DWG

SCALE:

OWNER:
HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC
1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

PROJECT:
HILL / HANOVER MULTI-FAMILY
181 HILL STREET
PORTSMOUTH, NH 03801

TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:
C.7

P5608

MANHOLE NOTES:

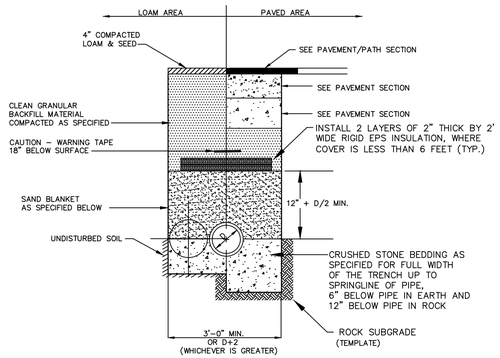
1. IT IS THE INTENTION OF THE NHDES THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE COMMISSION FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT IN ANY APPROVED MANHOLE. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H–20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MAN–HOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE, A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
2. BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED.
3. PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
4. LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN'S STANDARD SPECIFICATIONS.
5. INVERTS AND SHELVES MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES, OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
6. FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30–INCH CLEAR OPENING. A 3–INCH (MINIMUM HEIGHT) LETTER "S" FOR SEWERS OR "D" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
7. BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33.

   100% PASSING 1 INCH SCREEN 0–10% PASSING #4 SIEVE
   90–100% PASSING 3/4 INCH SCREEN 0–5% PASSING #8 SIEVE
   20–55% PASSING 3/8 INCH SCREEN

   WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1–1/2" TO 1/2" SHALL BE USED.
8. CONCRETE FOR DROP SUPPORT SHALL CONFORM TO THE REQUIREMENT FOR CLASS A (3000 LBS.) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:

   CEMENT 6.0 BAGS PER CUBIC YARD
   WATER 5.75 GALLONS PER BAG CEMENT
   MAXIMUM SIZE OF AGGREGATE 1 INCH
9. FLEXIBLE JOINT A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:

   PVC PIPE – 60"
   RCP & CI PIPE – ALL SIZES – 48"
   AC & VC PIPE – UP THROUGH 12" DIAMETER – 18"
   AC & VC PIPE – LARGER THAN 12" DIAMETER – 36"
10. SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H–20 LOADS.



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SIEVE SIZE	% FINER BY WEIGHT
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CRUSHED STONE BEDDING *	
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10. CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
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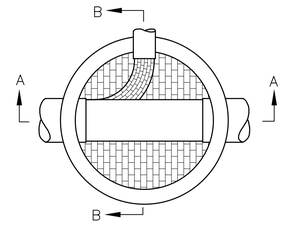
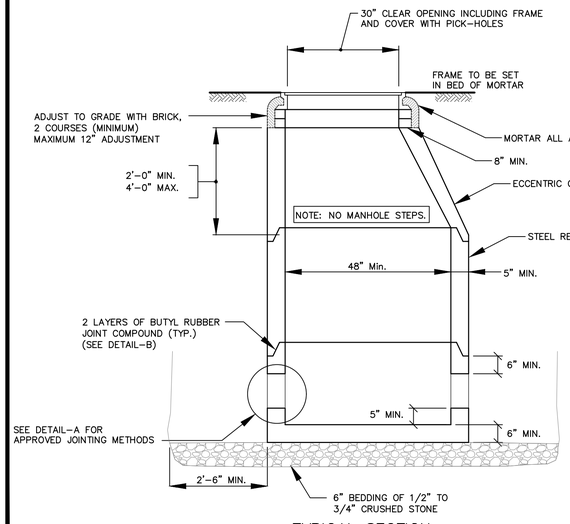
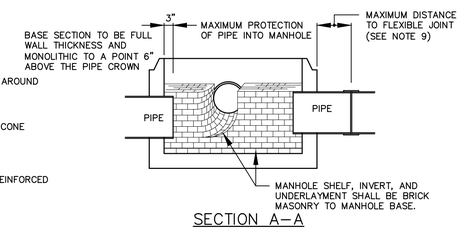


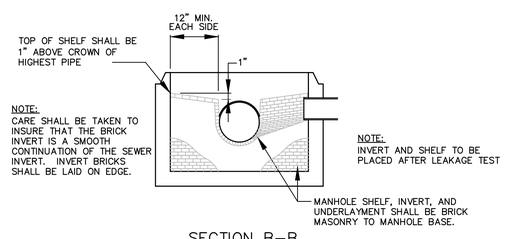
PLAN



TYPICAL SECTION

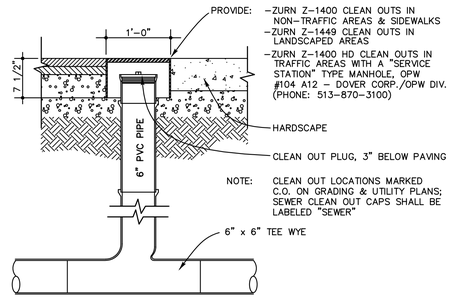


SECTION A–A

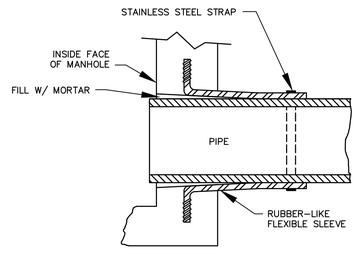


SECTION B–B

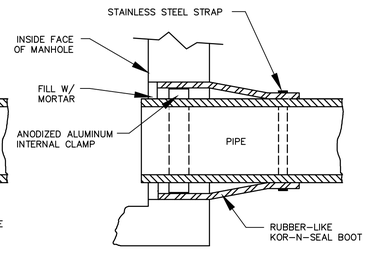
SEWER MANHOLE DETAILS NOT TO SCALE



CLEANOUT DETAIL NOT TO SCALE



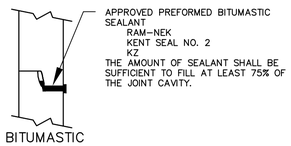
LOCK–JOINT FLEXIBLE MANHOLE SLEEVE
(OR EQUAL)



KOR–N–SEAL JOINT SLEEVE
(OR EQUAL)

NOTE: ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

DETAIL–A



BITUMASTIC

NOTE: ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

DETAIL–B
(APPROVED MANHOLE SECTION JOINTING METHODS)

P5608

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brought to you by McHENRY ARCHITECTURE

ISSUED FOR:
TAC WORK SESSION

ISSUE DATE:
FEBRUARY 3, 2026

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TECHNICAL REVIEW	CDB	02/03/26

DRAWN BY: CDB
APPROVED BY: CDB
DRAWING FILE: 5608_SITE.DWG

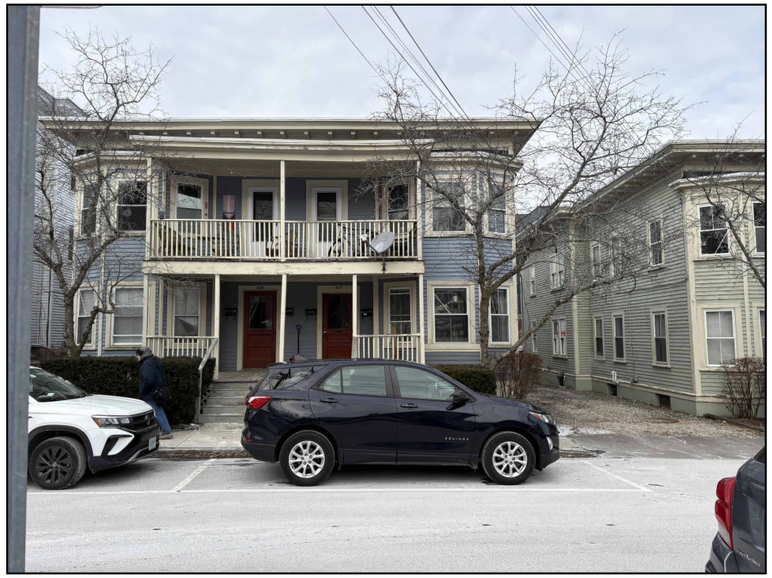
SCALE:

OWNER:
HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC
1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

PROJECT:
HILL / HANOVER MULTI–FAMILY
181 HILL STREET
PORTSMOUTH, NH 03801

TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:
C.8



HANOVER STREET ELEVATION OF 339 HANOVER STREET

HANOVER STREET ELEVATION OF 329 HANOVER STREET

HANOVER STREET ELEVATION OF 319 HANOVER STREET

HANOVER STREET ELEVATIONS OF
339-319 HANOVER STREET

AUTUM STREET ELEVATION OF 319 HANOVER STREET

HILL STREET ELEVATIONS OF 339-319
HANOVER STREET

HILL / HANOVER MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

EXISTING - PERSPECTIVES

CITY OF PORTSMOUTH TECHNICAL ADVISORY COMMITTEE | FEBRUARY 2026

4 Market Street
Portsmouth, New Hampshire
603.430.0274

brought to you by
McHENRY ARCHITECTURE

A1

02/03/2026
PA: RD / MG
Project Number: 24083
NOT TO SCALE

Z:\Active Project Files\24083-HILL HANOVER GROUP\Dwgs\2-SD\24083 - HILL HANOVER MULTI - C.rvt

HILL STREET APPROACH FROM NORTH EAST
(BRIDGE STREET)

HILL STREET APPROACH FROM NORTH EAST

HILL STREET APPROACH FROM NORTH EAST
(AUTUMN STREET)

HILL STREET APPROACH FROM SOUTH WEST
(FROM 361 HANOVER STREET)

HILL STREET APPROACH FROM SOUTH WEST
(FROM 361 HANOVER STREET)

APPROACH FROM FOUNDRY PLACE APPARTMENTS

HILL / HANOVER MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

EXISTING CONTEXT - APPROACH

CITY OF PORTSMOUTH TECHNICAL ADVISORY
COMMITTEE | FEBRUARY 2026

4 Market Street
Portsmouth, New Hampshire
603.430.0274

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A2

02/03/2026
PA: RD / MG
Project Number: 24083
NOT TO SCALE

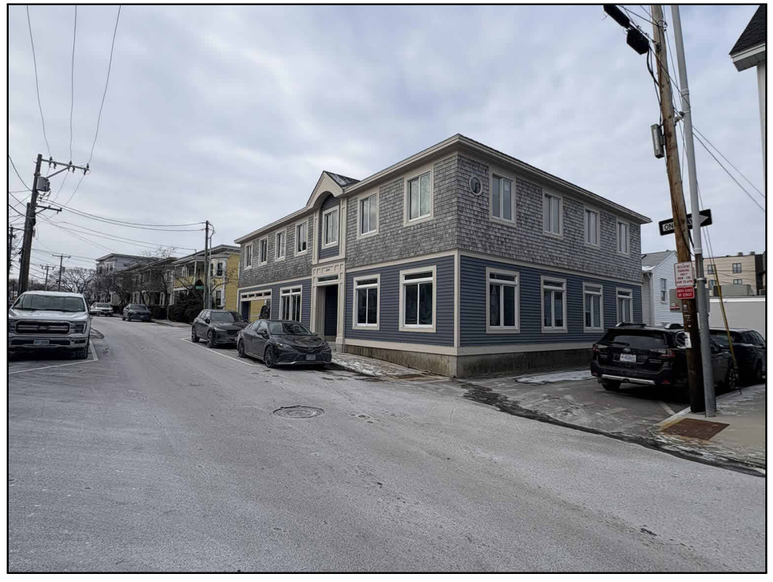
Z:\Active Project Files\24083-HILL HANOVER GROUP\Dwgs\2-SD\24083 - HILL HANOVER MULTI - C.rvt

HANOVER STREET APPROACH FROM SOUTH WEST
(PEARL STREET)

PARKER STREET APPROACH FROM SOUTH
(TANNER COURT)

PARKER STREET APPROACH FROM SOUTH

HANOVER STREET APPROACH FROM NORTH EAST
(BRIDGE STREET)



HANOVER STREET APPROACH FROM NORTH EAST
(TANNER STREET)

HANOVER STREET APPROACH FROM NORTH EAST
(AUTUMN STREET)

HILL / HANOVER MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

EXISTING CONTEXT - APPROACH

CITY OF PORTSMOUTH TECHNICAL ADVISORY COMMITTEE | FEBRUARY 2026

4 Market Street
Portsmouth, New Hampshire
603.430.0274

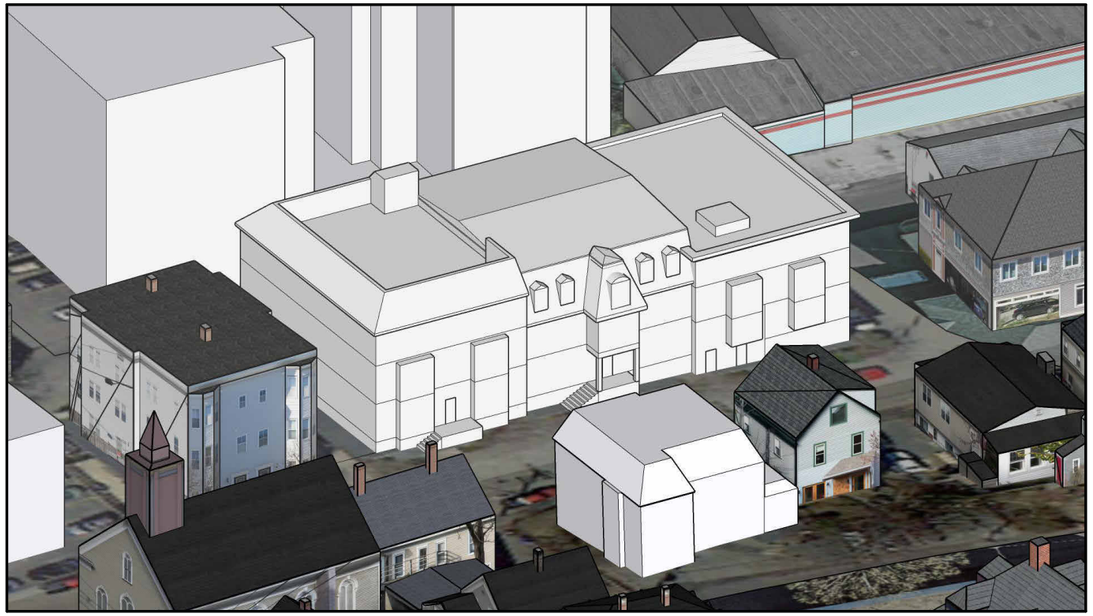
brought to you by
McHENRY ARCHITECTURE

A3

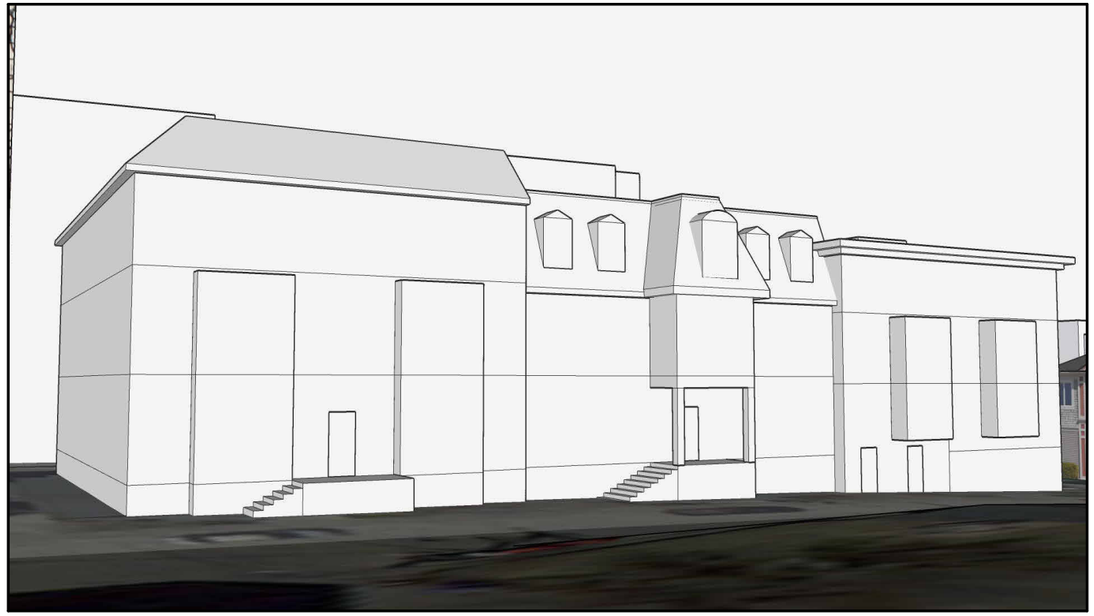
02/03/2026
PA: RD / MG
Project Number: 24083
NOT TO SCALE

Z:\Active Project Files\24083-HILL HANOVER GROUP\Dwgs\2-SD\24083 - HILL HANOVER MULTI - C.rvt

AERIAL AXONOMETRIC FROM EAST



AERIAL AXONOMETRIC FROM SOUTH



PERSPECTIVE FROM PARKER STREET (PROPOSED 332 HANOVER STREET OMITTED)

PERSPECTIVE FROM HANOVER STREET LOOKING WEST

NOTE: ADJACENT BUILDINGS AND TOPOGRAPHY PROVIDED VIA CITY OF PORTSMOUTH 3D CITY MODEL AND MODELED BASED ON PLANS SUBMITTED TO THE CITY OF PORTSMOUTH INCLUDING APPROVED PROJECTS NOT YET CONSTRUCTED, THE ARCHITECT IS NOT RESPONSIBLE FOR DIFFERENCES IN SIZES DEPICTED IN THE CITY MODEL COMPARED TO WHAT EXISTS

HILL / HANOVER MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

CONCEPTUAL MASSING

CITY OF PORTSMOUTH TECHNICAL ADVISORY COMMITTEE | FEBRUARY 2026

4 Market Street
Portsmouth, New Hampshire
603.430.0274

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McHENRY ARCHITECTURE

A4

02/03/2026
PA: RD / MG
Project Number: 24083
NOT TO SCALE

HILL / HANOVER MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

CONCEPTUAL HANOVER ST ELEVATION

CITY OF PORTSMOUTH TECHNICAL ADVISORY COMMITTEE | FEBRUARY 2026

4 Market Street
Portsmouth, New Hampshire
603.430.0274

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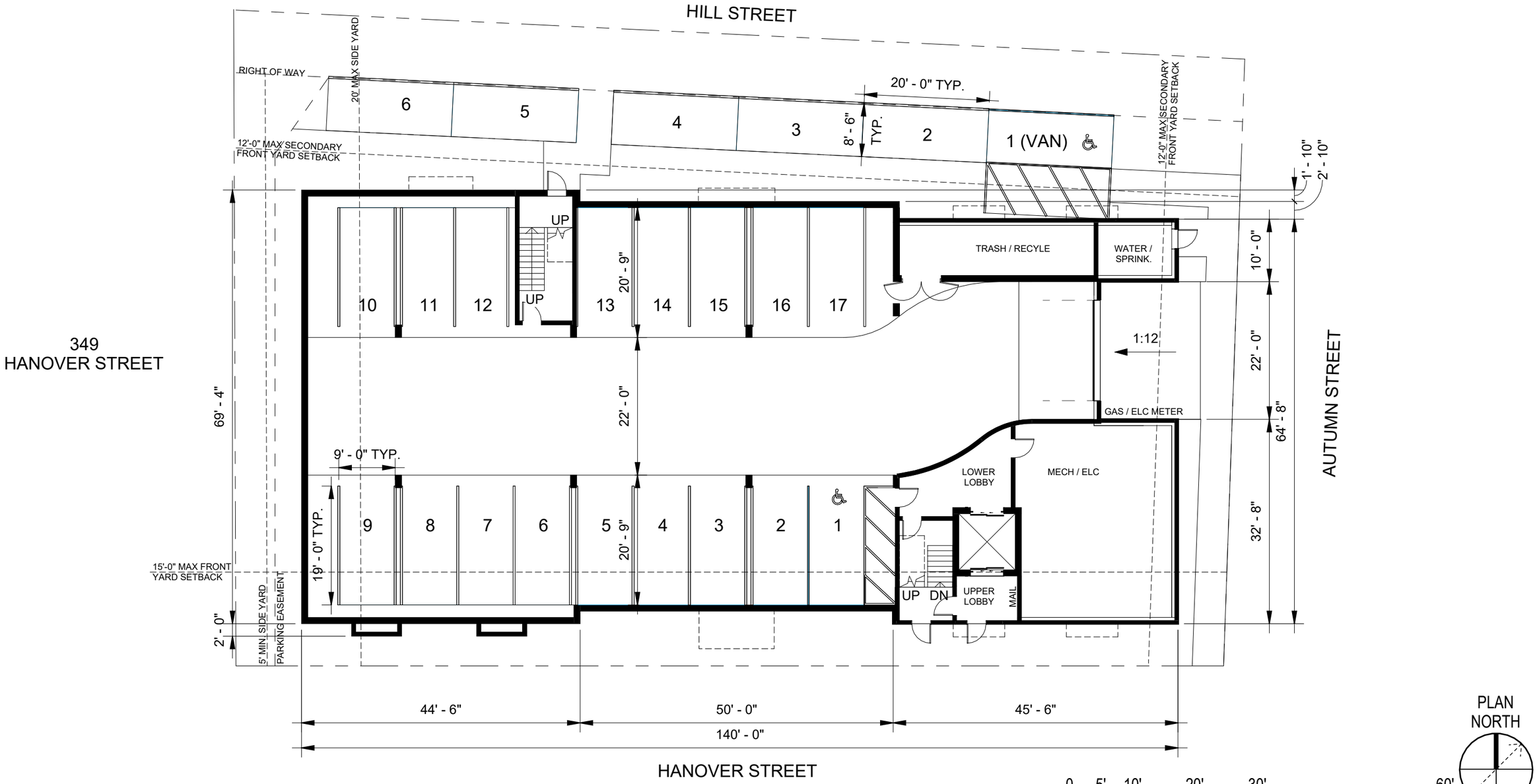
McHENRY ARCHITECTURE

A5

02/03/2026
PA: RD / MG
Project Number: 24083
Scale: 1/16" = 1'-0"

Z:\Active Project Files\24083-HILL HANOVER GROUP\Dwgs\2-SD\24083 - HILL HANOVER MULTI - C.rvt



HILL / HANOVER MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

BASEMENT FLOOR PLAN

CITY OF PORTSMOUTH TECHNICAL ADVISORY COMMITTEE | FEBRUARY 2026

4 Market Street
Portsmouth, New Hampshire
603.430.0274

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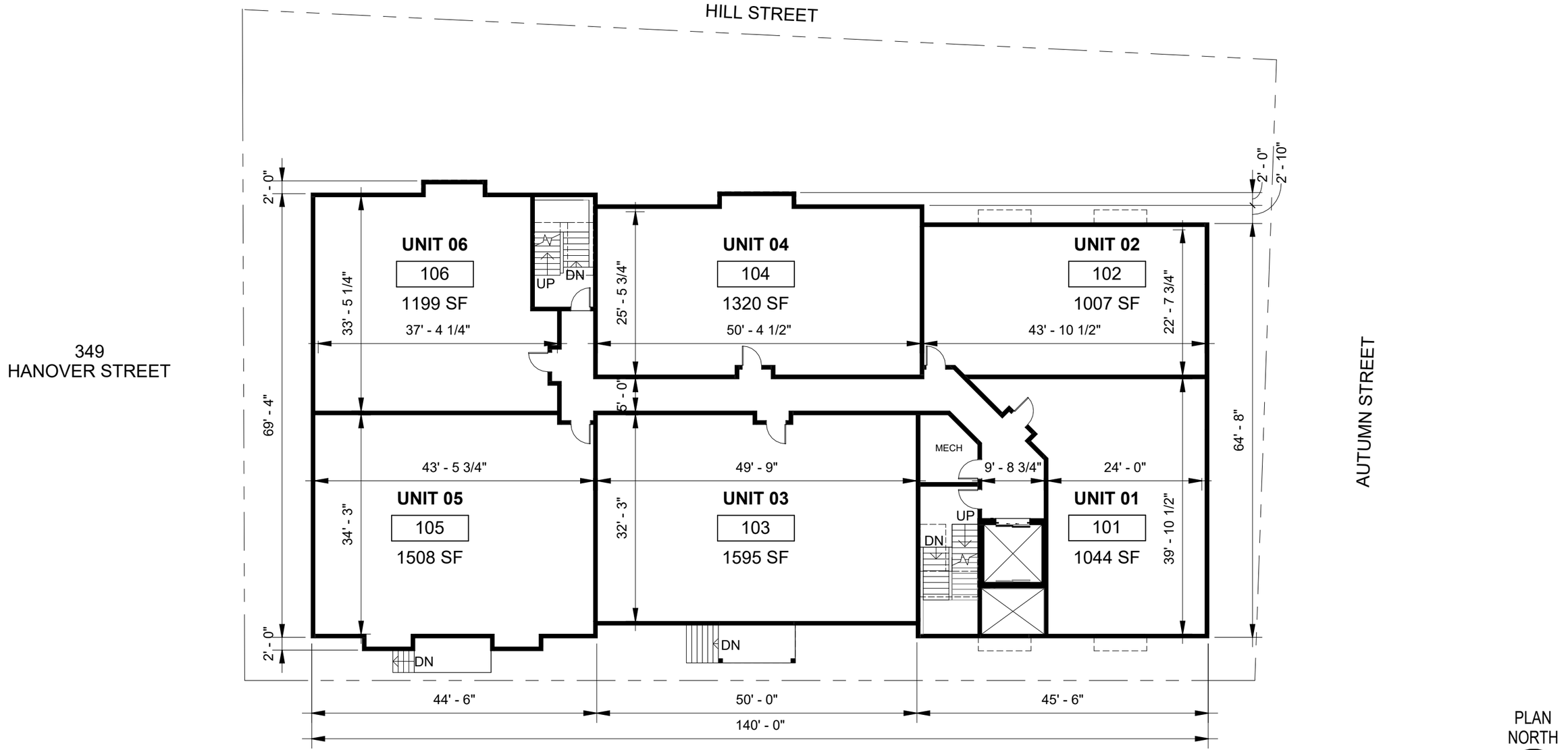
A6

	02/03/2026
PA:	RD / MG
Project Number:	24083
Scale:	1/16" = 1'-0"

Z:\Active Project Files\24083-HILL HANOVER GROUP\Dwgs\2-SD\24083 - HILL HANOVER MULTI - C.rvt



HILL / HANOVER MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

1ST FLOOR PLAN

CITY OF PORTSMOUTH TECHNICAL ADVISORY COMMITTEE | FEBRUARY 2026

4 Market Street
Portsmouth, New Hampshire
603.430.0274
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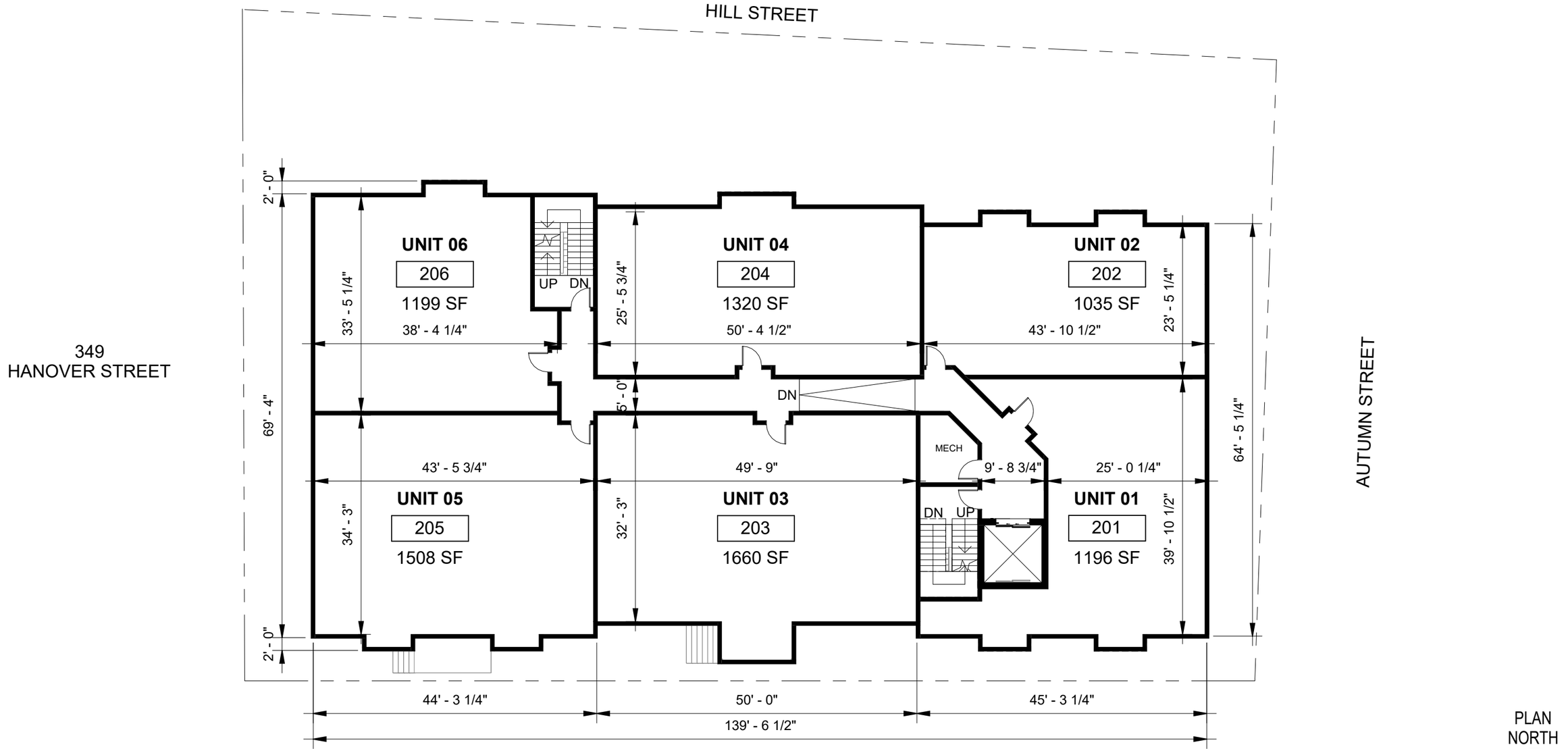
McHENRY ARCHITECTURE

A7

	02/03/2026
PA:	RD / MG
Project Number:	24083
Scale:	1/16" = 1'-0"

Z:\Active Project Files\24083-HILL HANOVER GROUP\Dwgs\2-SD\24083 - HILL HANOVER MULTI - C.rvt



HILL / HANOVER MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

2ND & 3RD FLOOR PLAN

CITY OF PORTSMOUTH TECHNICAL ADVISORY COMMITTEE | FEBRUARY 2026

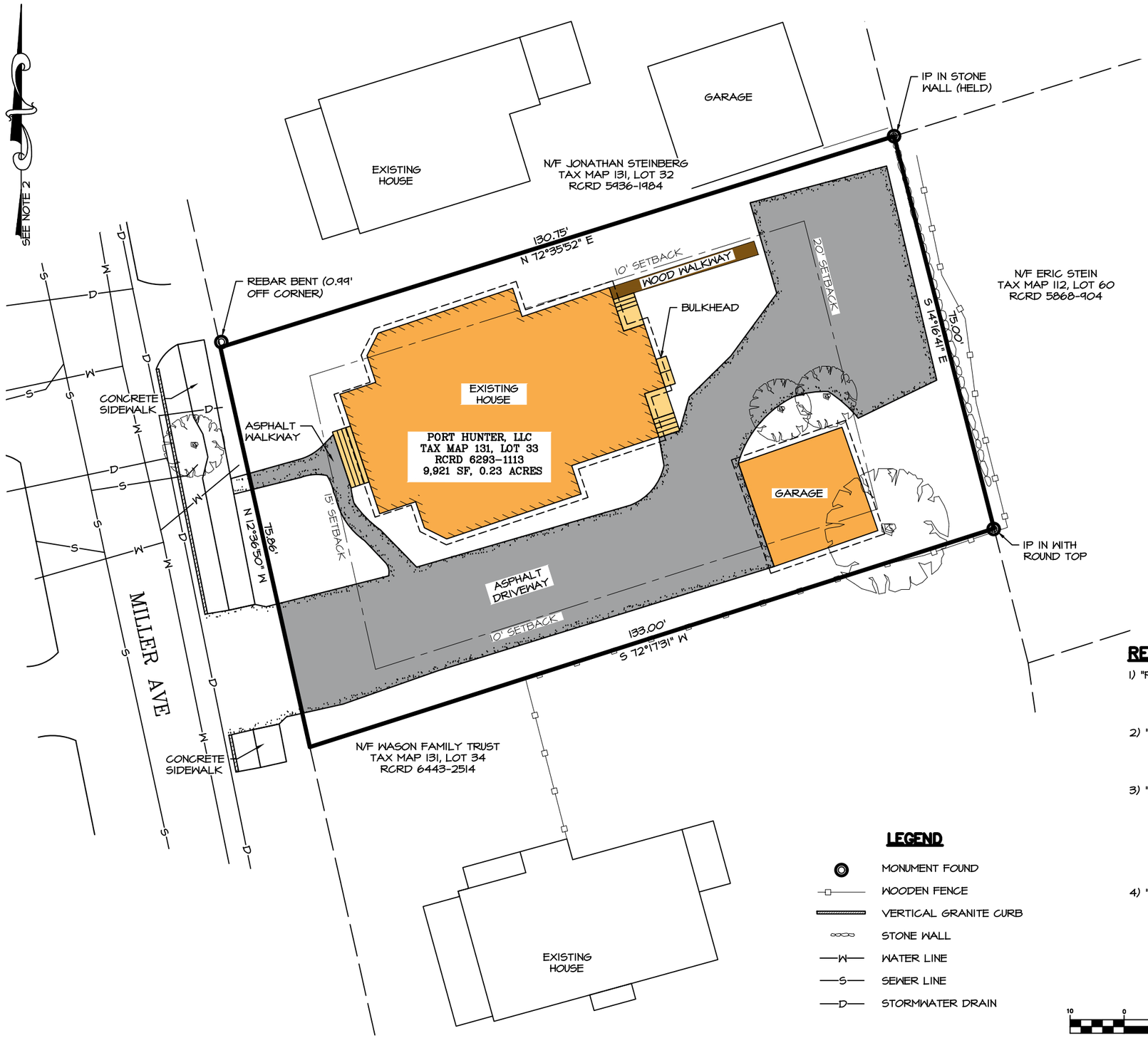
4 Market Street
Portsmouth, New Hampshire
603.430.0274

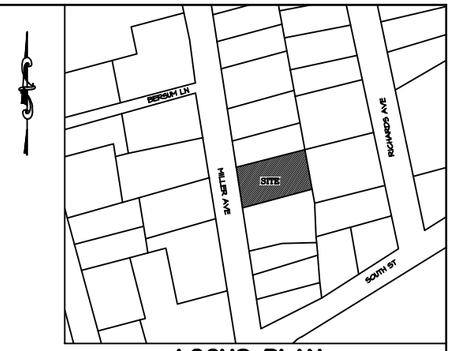
brought to you by
McHENRY ARCHITECTURE

A8

	02/03/2026
PA:	RD / MG
Project Number:	24083
Scale:	1/16" = 1'-0"

Z:\Active Project Files\24083-HILL HANOVER GROUP\Dwgs\2-SD\24083 - HILL HANOVER MULTI - C.rvt





LOCUS PLAN
N.T.S.

NOTES

1) OWNER OF RECORD:
PORT HUNTER, LLC
TAX MAP 131, LOT 33
361 MILLER AVE
PORTSMOUTH, NH 03801
RCRD: 6293-1113
AREA: 9,921 SF, 0.23 ACRES

2) BASIS OF BEARING HELD FROM PLAN REFERENCE #1.

3) PARCEL IS IN GENERAL RESIDENCE A ZONE (GRA):
MINIMUM LOT AREA.....7,500 SF
MIN. LOT AREA PER DWELLING UNIT.....7,500 SF
MINIMUM FRONTAGE.....100 FT
MINIMUM DEPTH.....70 FT
SETBACKS:
FRONT.....15 FT
SIDE.....10 FT
REAR.....20 FT
MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
FLAT ROOF.....30 FT
MAXIMUM BUILDING COVERAGE.....25%
MINIMUM OPEN SPACE.....30%

4) THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE, AS PER FLOOD INSURANCE RATE MAP #33015C0259F, PANEL 259 OF 681, DATED JANUARY 29, 2021. VERTICAL DATUM IS NAVD 1988.

5) LOCATION OF EXISTING UTILITY LINES SHOWN ON PLAN ARE BASED FROM INFORMATION PROVIDED BY PORTSMOUTH D.P.W. IN JANUARY 2026. EXACT LOCATION OF UTILITIES MAY VARY. ADDITIONAL UTILITY LINES MAY EXIST.

REFERENCE PLANS

1) "PLAN SHOWING PROPERTY OF EMERY BOYNTON & GAIFFIN, PORTSMOUTH NH" DATED OCTOBER 1898 BY L.E. SCRUTON. RCRD 00125.

2) "PLAN OF LOTS IN PORTSMOUTH NEW HAMPSHIRE FOR M.J. GRIFFIN" BY WN A. GROVER. DATED MARCH 31, 1914. RCRD 062.

3) "STANDARD PROPERTY SURVEY, TAX MAP 112 LOT 6, PROPERTY OF THE MCAULIFFE FAMILY REVOCABLE TRUST OF 2011, 452 & 460 RICHARDS AVENUE PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM" BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. DATED SEPTEMBER 14, 2012. NOT RECORDED.

4) "THE CONDOMINIUMS AT LINCOLN HILL MANOR SITE PLAN 352&354 MILLER AVE" FOR WILLIAM H HOAGLAND & LEAH A ORTON, KENNETH &BEVERLY BELLEVUE & KAREN M DRISCOLL" BY ROSS ENGINEERING. DATED MARCH 26, 2018 RCRD D-40723.

LEGEND

- MONUMENT FOUND
- WOODEN FENCE
- VERTICAL GRANITE CURB
- STONE WALL
- WATER LINE
- SEWER LINE
- STORMWATER DRAIN

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
SCALE: 1" = 20'

ISS.	DATE	DESCRIPTION OF ISSUE
4	2/2/2026	TAC WORK SESSION
3	5/21/2025	ZBA SUBMITTAL
2	5/10/2024	FOR REVIEW
SCALE	1" = 20'	
CHECKED	A.ROSS	
DRAWN	D.D.D.	

ROSS ENGINEERING, LLC
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

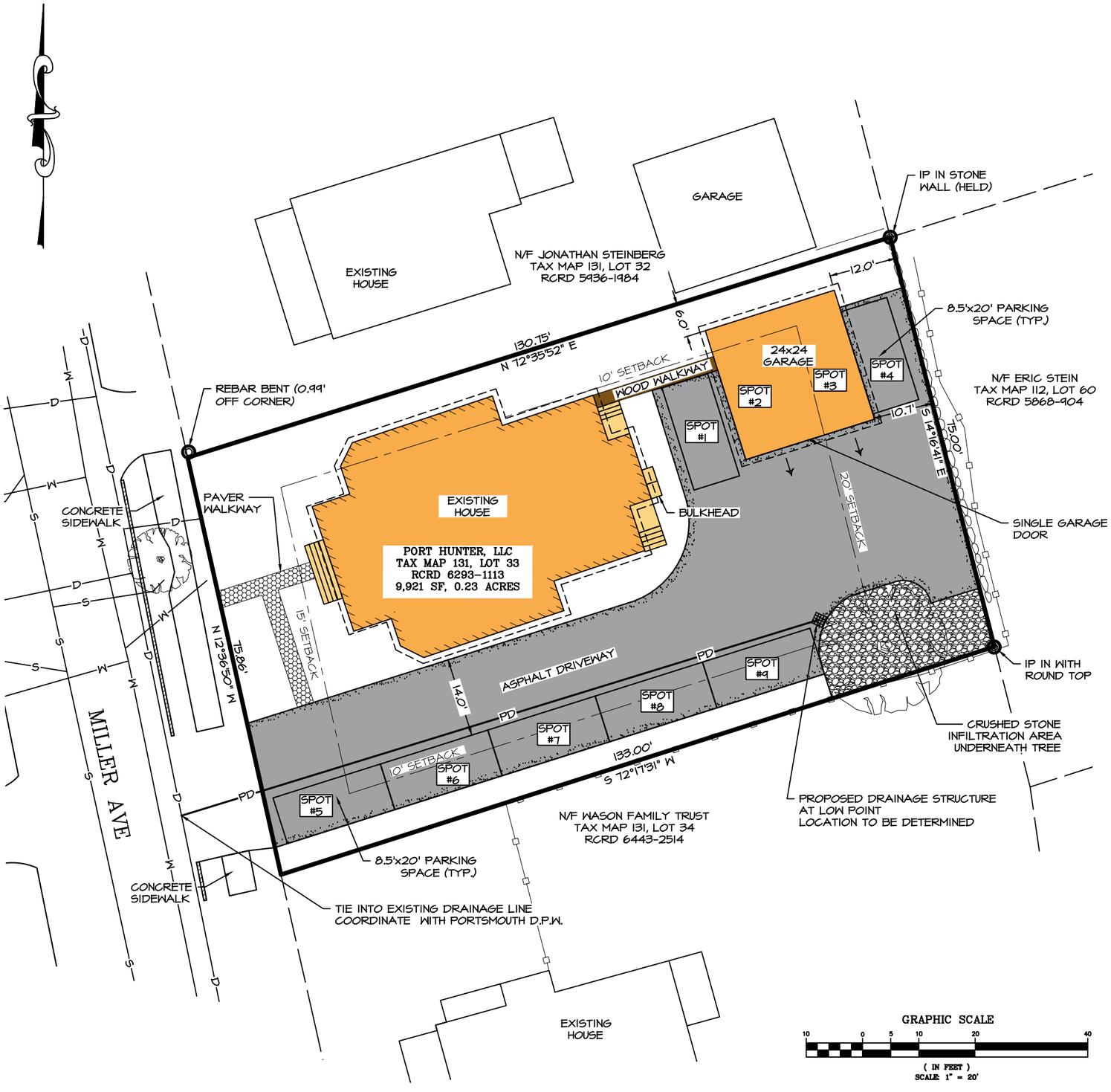
CLIENT
ELIZABETH PESCE
361 MILLER AVE
PORTSMOUTH, NH 03801

TITLE

EXISTING CONDITIONS PLAN

361 MILLER AVE
PORTSMOUTH, NH 03801
TAX MAP 131, LOT 33

JOB NUMBER	DWG. NO.	ISSUE
23-035	1 OF 2	4



NOTES

1) OWNER OF RECORD:
PORT HUNTER,LLC
361 MILLER AVE
PORTSMOUTH, NH 03801
RCRD: 6293-1113
AREA: 9,921 SF, 0.23 ACRES

2) PARCEL IS IN GENERAL RESIDENCE A ZONE (GRA):

MINIMUM LOT AREA	7,500 SF
MIN. LOT AREA PER DWELLING UNIT	7,500 SF
MINIMUM FRONTAGE	100 FT
MINIMUM DEPTH	70 FT
SETBACKS:	
FRONT	15 FT
SIDE	10 FT
REAR	20 FT
MAXIMUM BUILDING HEIGHT:	
SLOPED ROOF	35 FT
FLAT ROOF	30 FT
MAXIMUM BUILDING COVERAGE	25%
MINIMUM OPEN SPACE	30%

3) COVERAGES:

BUILDING COVERAGE

EXISTING BUILDING COVERAGE

HOUSE	1,883 SF
DECKS & STAIRS >18"	65 SF
BULKHEAD	11 SF
GARAGE	412 SF
EXISTING STRUCTURE	2,371 SF
BUILDING COVERAGE 2,371 / 9,921 = 23.9%	

PROPOSED BUILDING COVERAGE

HOUSE	1,883 SF
DECKS & STAIRS > 18"	65 SF
BULKHEAD	11 SF
GARAGE	576 SF
PROPOSED STRUCTURE	2,535 SF
BUILDING COVERAGE 2,535 / 9,921 = 25.6%	

OPEN SPACE

EXISTING OPEN SPACE

BUILDING COVERAGE	2,371 SF
OVERHANG	160 SF*
STAIRS < 18"	32 SF
ASPHALT	3,371 SF
WOOD WALKWAY	70 SF
TOTAL LOT COVERAGE	6,004 SF

EXISTING OPEN SPACE =9,921-6,004 = 3,917 SF
EXISTING OPEN SPACE = 3,917 / 9,921 = 39.5%

PROPOSED OPEN SPACE

BUILDING COVERAGE	2,535 SF
OVERHANG	132 SF*
STAIRS < 18"	32 SF
ASPHALT	4,012 SF
PAVER WALKWAY	115 SF
WOOD WALKWAY	54 SF
TOTAL LOT COVERAGE	6,880 SF

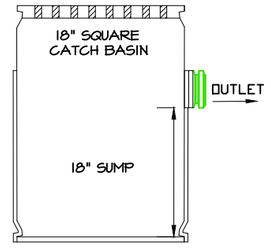
PROPOSED OPEN SPACE =9,921-6,880 = 3,041 SF
PROPOSED OPEN SPACE = 3,041 / 9,921 = 30.7%

*OVERHANG SHOWN IS THE ROOF OVERHANG THAT IS ABOVE PERVIOUS SURFACES. OVERHANG THAT IS OVER AN IMPERVIOUS SURFACE HAS NOT BEEN INCLUDED, SO AS TO NOT DOUBLE COUNT IMPERVIOUS AREAS.

4) PARKING REQUIRED AS PER 10.1112.30
-DWELLING UNIT FLOOR AREA > 500 SF = 1.0 SPACES PER UNIT
-A LOT CONTAINING MORE THAN 4 DWELLING UNITS SHALL PROVIDE ONE VISITOR PARKING SPACE FOR EVERY 5 DWELLING UNITS.
-OFFICE SPACE = 1 SPACE PER 350 SF GFA

6 DWELLING UNITS > 500 SF = 1 X 6 = 6 SPACES
(6 DWELLING UNITS) X (1 VISITOR SPACE / 5 DWELLING UNITS) = 1.2 VISITOR SPACES
(412 SF GFA OFFICE SPACE) X (1 SPACE / 350 SF GFA) = 1.2 OFFICE SPACES
TOTAL SPACES REQUIRED = 6 + 1.2 + 1.2 = 8.4 SPACES
TOTAL SPACES REQUIRED = 9 SPACES

5) PARKING PROVIDED
7 PARKING SPOTS HAVE BEEN PROVIDED IN THE PROPOSED ASPHALT DRIVEWAY. 2 SPACES WILL BE PROVIDED IN THE PROPOSED GARAGE. 9 TOTAL SPACES HAVE BEEN PROVIDED.



TYP. 18" ADS NYLOPLAST BASIN
N.T.S.

LEGEND

- MONUMENT FOUND
- WOODEN FENCE
- VERTICAL GRANITE CURB
- STONE WALL
- —W— WATER LINE
- —S— SEWER LINE
- —D— STORMWATER DRAIN
- —PD— PROPOSED STORMWATER DRAIN

ISS.	DATE	DESCRIPTION OF ISSUE
4	2/2/2026	TAC WORK SESSION
3	5/21/2025	ZBA SUBMITTAL
2	5/10/2024	FOR REVIEW

SCALE 1" = 20'
CHECKED A.ROSS
DRAWN D.D.D.

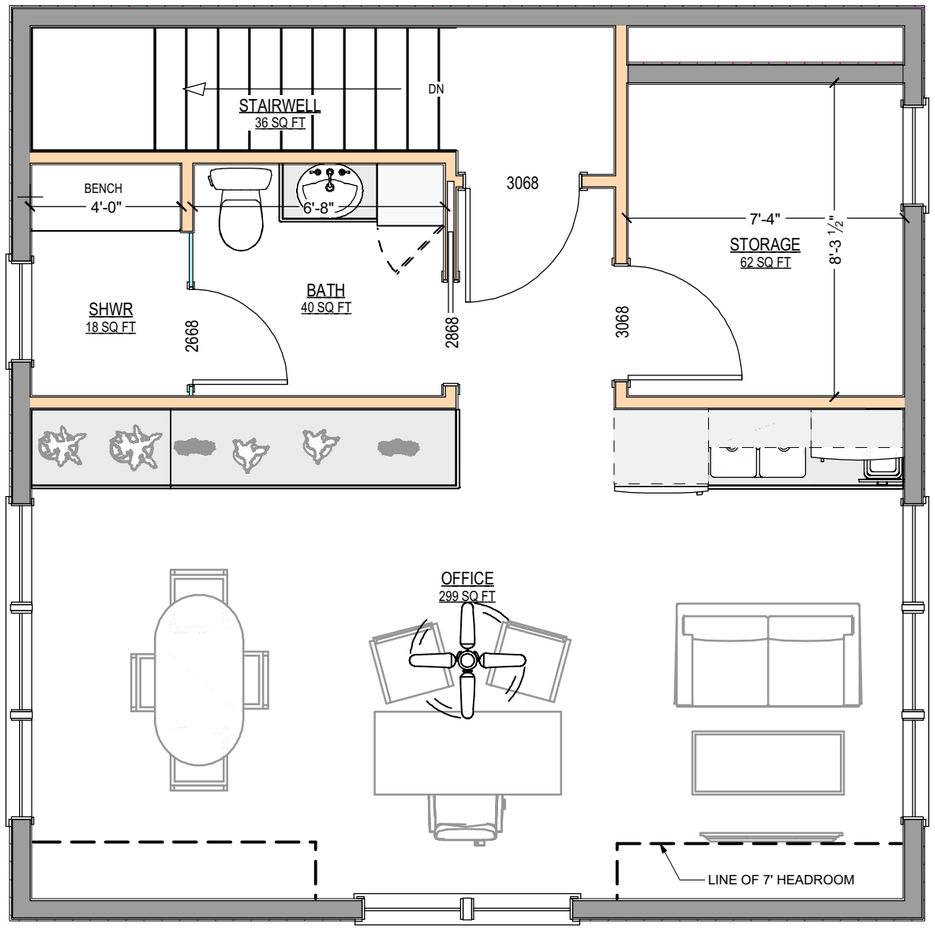
ROSS ENGINEERING, LLC
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

CLIENT
ELIZABETH PESCE
361 MILLER AVE
PORTSMOUTH, NH 03801

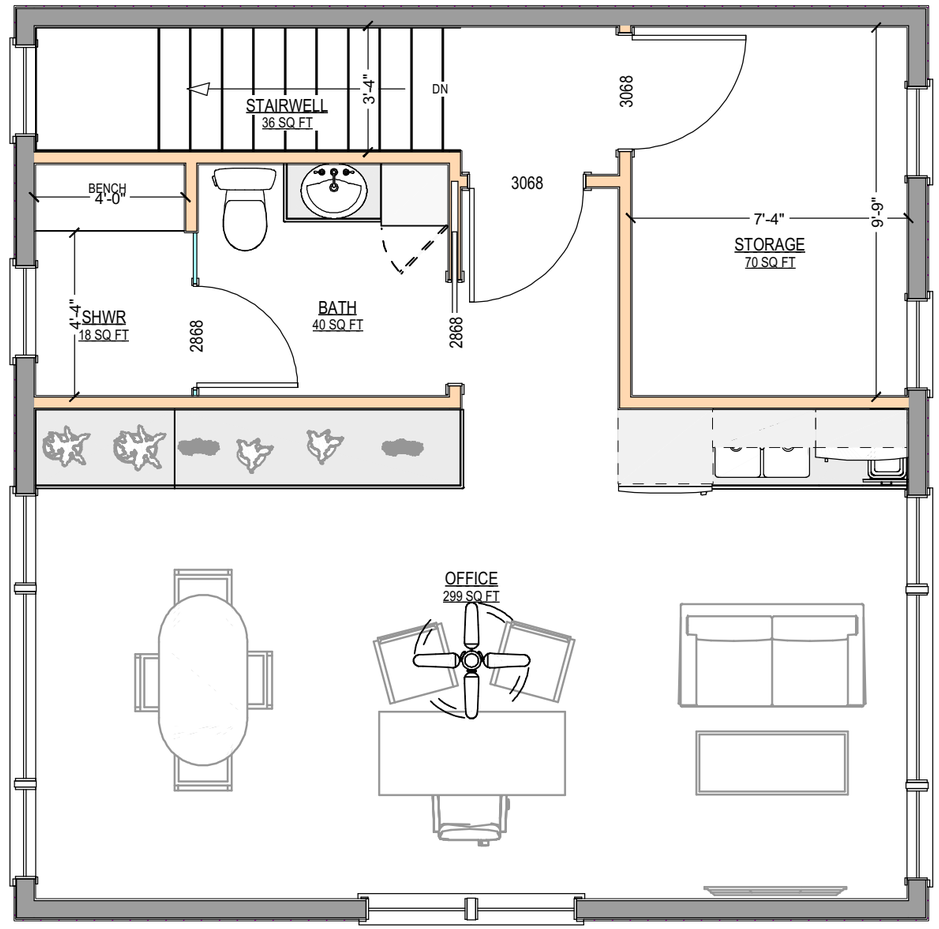
TITLE
SITE PLAN

361 MILLER AVE
PORTSMOUTH, NH 03801
TAX MAP 131, LOT 33

JOB NUMBER	DWG. NO.	ISSUE
23-035	2 OF 2	4



1) FLOOR PLAN W/ TRADITIONAL DORMER
1/4" = 1'-0"



2) FLOOR PLAN W/ FALSE DORMER
1/4" = 1'-0"

VAKOTA
architecture, pllc
41 East 11th St. 11th Floor
New York, New York 11225
212.655.9875

PROJECT INFO:
PORT HUNTER, LLC
GARAGE
361 MILLER AVE
PORTSMOUTH, NEW HAMPSHIRE

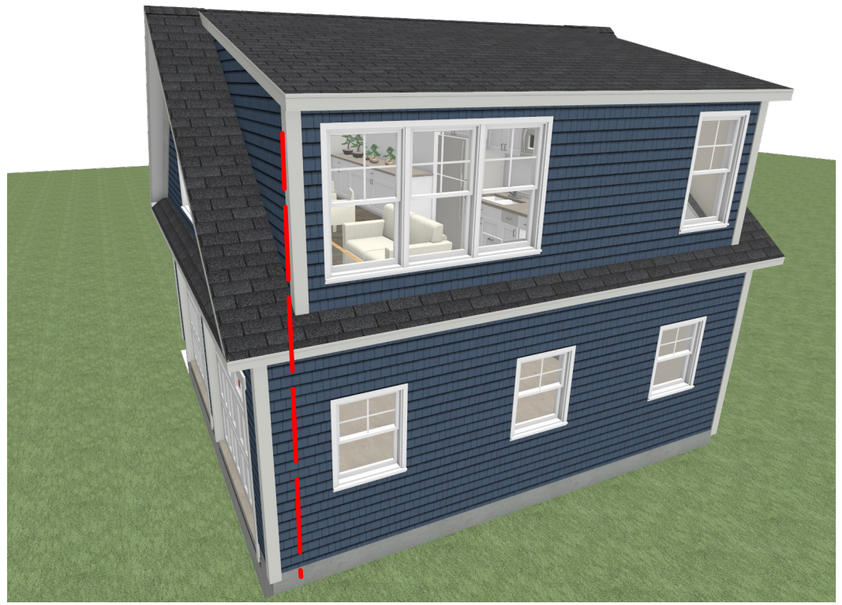
SHEET TITLE:
PROPOSED FLOOR PLANS

PROJECT STATUS: SCHEMATIC

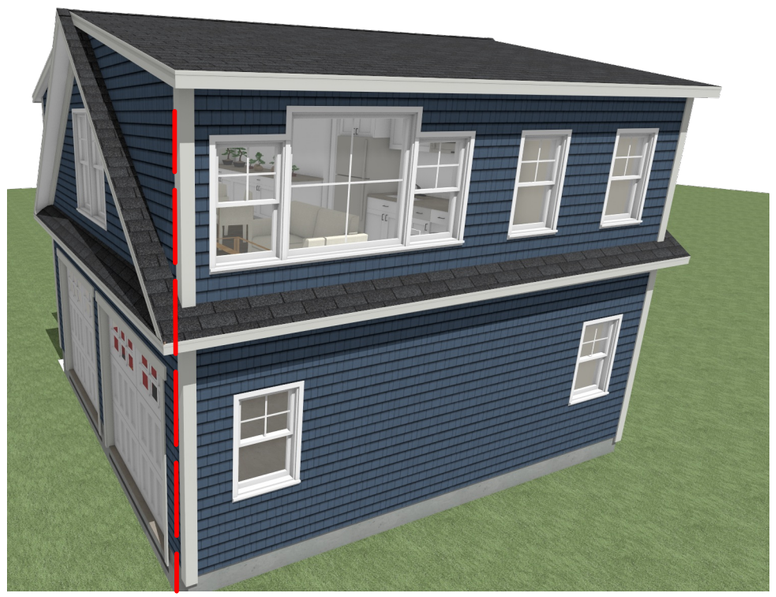
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

DATE: 09/25/2025
SCALE: 1/4"=1'0"
SHEET NUMBER:
A2



TRADITIONAL DORMER



FALSE DORMER

VAKOTA
architecture, pllc
41 East 11th St. 11th Floor
New York, New York 11225
212.655.9875

PROJECT INFO:
PORT HUNTER, LLC
GARAGE
361 MILLER AVE
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:
3D ILLUSTRATIONS

PROJECT STATUS: SCHEMATIC

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

DATE: 09/25/2025
SCALE: NTS
SHEET NUMBER:
A3

Ross Engineering, LLC
Civil / Structural Engineering

650 Islington Street, 2nd
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

361 Miller Ave
Project Description

February 3, 2026

This site review application is for improvements to an existing fully developed site. This project requires T.A.C. and Planning Board review due to the existing property containing a multi-family dwelling structure. The existing lot includes a six-unit residential multi-family dwelling structure, and a two-car garage structure. Attachment A includes a street-view image of the property.

Proposed Site Improvements include:

- Removing the existing garage and concrete slab and creating a bed of crushed stone around the base of the large, silver maple tree behind the existing garage in the southeast corner of the property in order to protect the health of this historic tree, which is over 200 years old and is one of the largest trees in Rockingham County.
- Relocating the existing garage with the construction of a new 24' x 24', two-story, two-car garage with office space on the second floor, in the northeast corner of the property to provide for indoor parking and additional storage.
- Reconfiguring the asphalt drive and walkways, and regrading of the backyard in order to provide additional parking, improved drainage, as well as better snow and traffic management.
- Implementing a stormwater catch basin in the backyard that would tie into the municipal stormwater line on Miller Ave, in order to improve drainage on the property and for abutting properties.

This project was reviewed by the Zoning Board of Adjustment at its regularly scheduled meeting of July 15, 2025, where the following variances were granted:

1) Variance from Section 10.521 to allow a building coverage of 26% where a maximum of 25% is permitted.
2) Variance from Section 10.573.20 to a) allow an accessory building with a 10.5' rear setback where 20 feet is required; and b) a 6 foot left side yard setback where 10 feet is required.

Sincerely,

Alex Ross, P.E.

Ross Engineering, LLC
Civil / Structural Engineering

650 Islington Street, 2nd
Portsmouth, NH 03801

603-433-7560
alexross@comcast.net

Attachment A: Street-View of 361 Miller Ave