

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

WORK SESSION

**Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue**

2:00 PM

January 13, 2026

AGENDA

2:00 PM 238 Austin Street
 Ross Engineering
 (LUTW-26-1)

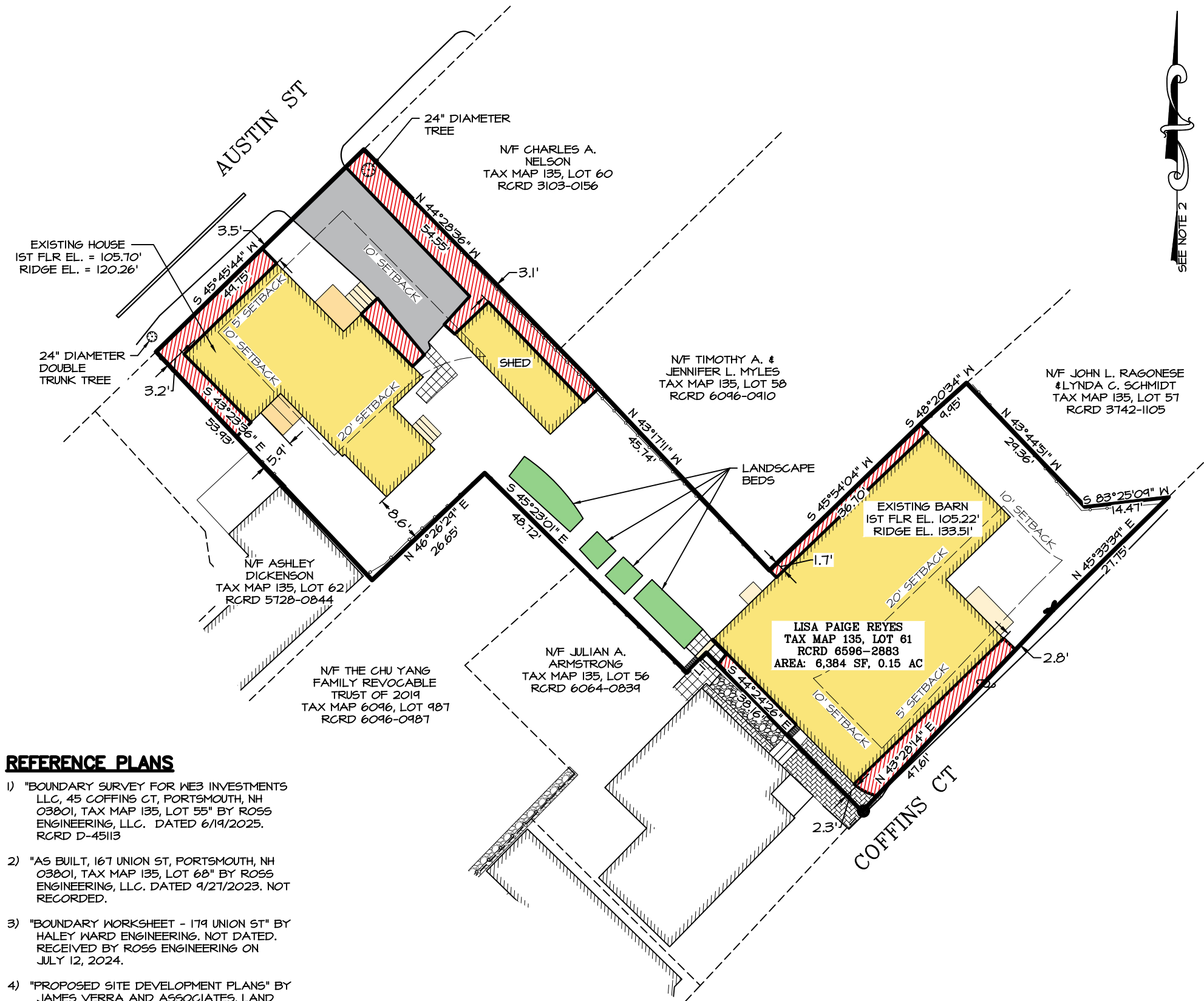
Site Plan Review

2:30 PM 479 Richards Avenue
 Haley Ward, Engineer
 (LUTW-26-2)

Subdivision

REFERENCE PLANS

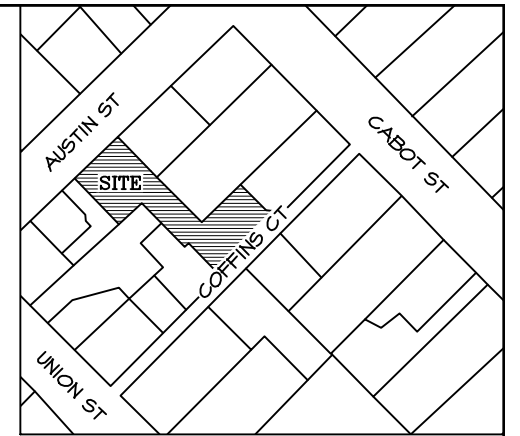
- "BOUNDARY SURVEY FOR WE3 INVESTMENTS LLC, 45 COFFINS CT, PORTSMOUTH, NH 03801, TAX MAP 135, LOT 55" BY ROSS ENGINEERING, LLC. DATED 6/14/2025. RCRD D-45113
- "AS BUILT, 167 UNION ST, PORTSMOUTH, NH 03801, TAX MAP 135, LOT 68" BY ROSS ENGINEERING, LLC. DATED 9/27/2023. NOT RECORDED.
- "BOUNDARY WORKSHEET - 179 UNION ST" BY HALEY WARD ENGINEERING. NOT DATED. RECEIVED BY ROSS ENGINEERING ON JULY 12, 2024.
- "PROPOSED SITE DEVELOPMENT PLANS" BY JAMES VERRA AND ASSOCIATES, LAND SURVEYORS. DATED MARCH 19, 2020. RCRD D-42277
- "RESUBDIVISION OF LAND PORTSMOUTH, N.H. FOR CONSTANCE S. & WILLIAM T. WARREN & HAROLD C. SWEETSER" BY JOHN W. DURGIN ASSOCIATES, INC. DATED AUGUST 24, 1986. RCRD D-14875
- "PLAN OF ANNIE OLIVER ESTATE" DATED AUGUST 19, 1941. RCRD 048



SEE NOTE 2

LEGEND

- MONUMENT FOUND
- UTILITY POLE
- WOODEN FENCE
- CHAIN LINK FENCE
- NON-OPEN SPACE



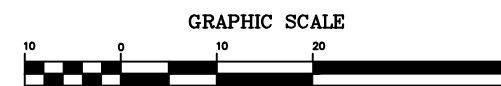
LOCUS PLAN
N.T.S.

NOTES

- OWNER OF RECORD:
LISA PAIGE REYES
TAX MAP 135, LOT 61
236 AUSTIN ST
PORTSMOUTH, NH 03801
RCRD: 6596-2883
AREA: 6,384 SF, 0.15 ACRES
- BASIS OF BEARING HELD FROM PLAN REFERENCE #1.
- PARCEL IS IN THE GENERAL RESIDENCE C (GRC) ZONE:
MINIMUM LOT AREA.....3,500 SF
MIN. LOT AREA PER DWELLING UNIT.....3,500 SF
MINIMUM FRONTAGE.....70 FT
MINIMUM DEPTH.....50 FT
SETBACKS:
FRONT.....5 FT
SIDE.....10 FT
REAR.....20 FT
MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
FLAT ROOF.....30 FT
MAXIMUM BUILDING COVERAGE.....35%
MINIMUM OPEN SPACE.....20%
- THE PARCEL IS NOT WITHIN A FEMA SPECIAL FLOOD HAZARD ZONE, AS PER FLOOD INSURANCE RATE MAP #33015C0259F, PANEL 259 OF 681, DATED JANUARY 29, 2021. VERTICAL DATUM IS NAVD 1988.
- BUILDING COVERAGE
HOUSE.....778 SF
BARN.....1554 SF
SHED.....190 SF
DECK > 18".....31 SF
STAIRS > 18".....12 SF
BULKHEAD.....26 SF
TOTAL.....2591 SF
COVERAGE = 2591 / 6384 = 40.6%
- OPEN SPACE
BUILDING COVERAGE.....2591 SF
STAIRS < 18".....28 SF
WALKWAY.....42 SF
RETAINING WALL.....6 SF
COBBLESTONE.....38 SF
RAMP.....27 SF
ASPHALT.....379 SF
NON-OPEN SPACE.....664 SF
TOTAL.....3775 SF
OPEN SPACE = 6384 - 3775 = 2609 SF
OPEN SPACE = 2609 / 6384 = 40.9%

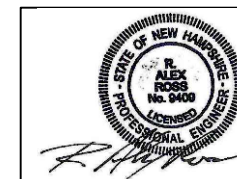
LENGTH TABLE

	BEARING	DISTANCE
LI	N 44°36'54" E	4.80'

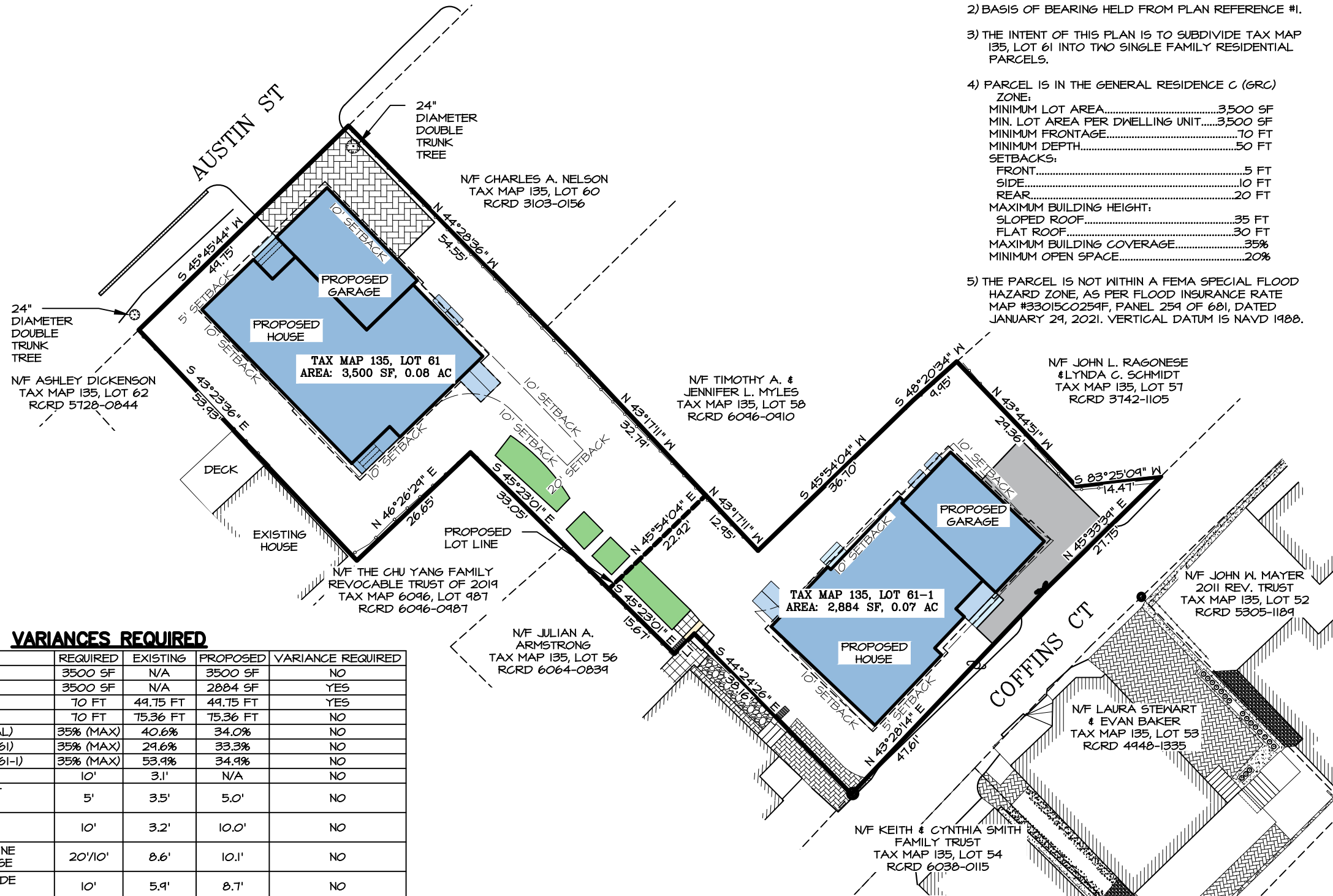


(IN FEET)
SCALE: 1" = 20'

*SCALE SHOWN IS FOR (11x17) PLAN SET



2	1/6/2026	TAC SUBMITTAL	
1	12/17/2025	ZBA SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 20'		
CHECKED	A.ROSS		
DRAWN	D.D.D.		
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 650 Idington St, 2nd Floor Portsmouth, NH 03801 (603) 433-7560			
CLIENT WARD DEVELOPMENT MIKE GARREPY & CHRIS WARD			
TITLE EXISTING CONDITIONS PLAN			
238 AUSTIN ST PORTSMOUTH, NH 03801 TAX MAP 135, LOT 61			
JOB NUMBER	DWG. NO.	ISSUE	
25-089	1 OF 5	2	



VARIANCES REQUIRED

SETBACKS	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT SIZE (LOT 61)	3500 SF	N/A	3500 SF	NO
LOT SIZE (LOT 61-1)	3500 SF	N/A	2884 SF	YES
FRONTAGE (LOT 61)	70 FT	49.75 FT	49.75 FT	YES
FRONTAGE (LOT 61-1)	70 FT	75.36 FT	75.36 FT	NO
BUILDING COVERAGE (TOTAL)	35% (MAX)	40.6%	34.0%	NO
BUILDING COVERAGE (LOT 61)	35% (MAX)	29.6%	33.3%	NO
BUILDING COVERAGE (LOT 61-1)	35% (MAX)	53.9%	34.9%	NO
SHED TO SIDE SETBACK	10'	3.1'	N/A	NO
AUSTIN ST HOUSE TO FRONT SETBACK	5'	3.5'	5.0'	NO
AUSTIN ST HOUSE TO SIDE SETBACK	10'	3.2'	10.0'	NO
AUSTIN ST HOUSE TO SIDELINE CLOSEST TO REAR OF HOUSE	20'/10'	8.6'	10.1'	NO
AUSTIN ST BULKHEAD TO SIDE SETBACK	10'	5.9'	8.7'	NO
COFFINS CT BUILDING TO FRONT SETBACK	5'	2.8'	5.2'	NO
COFFINS CT BUILDING TO SIDE SETBACK	10'	2.3'	10.2'	NO
COFFINS CT BUILDING TO SIDELINE CLOSEST TO REAR OF BUILDING	20'/10'	1.7'	10.2'	NO
COFFINS CT BULKHEAD TO SIDELINE CLOSEST TO REAR OF BUILDING	20'/10'	N/A	5.6'	YES
COFFINS CT BULKHEAD TO PROPOSED REAR LINE	20'	N/A	18.4'	YES

NOTES

- OWNER OF RECORD:
LISA PAIGE REYES
TAX MAP 135, LOT 61
236 AUSTIN ST
PORTSMOUTH, NH 03801
RCRD: 6596-2883
AREA: 6,384 SF, 0.15 ACRES
- BASIS OF BEARING HELD FROM PLAN REFERENCE #1.
- THE INTENT OF THIS PLAN IS TO SUBDIVIDE TAX MAP 135, LOT 61 INTO TWO SINGLE FAMILY RESIDENTIAL PARCELS.
- PARCEL IS IN THE GENERAL RESIDENCE C (GRC) ZONE:
MINIMUM LOT AREA.....3,500 SF
MIN. LOT AREA PER DWELLING UNIT.....3,500 SF
MINIMUM FRONTAGE.....10 FT
MINIMUM DEPTH.....50 FT
SETBACKS:
FRONT.....5 FT
SIDE.....10 FT
REAR.....20 FT
MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
FLAT ROOF.....30 FT
MAXIMUM BUILDING COVERAGE.....35%
MINIMUM OPEN SPACE.....20%
- THE PARCEL IS NOT WITHIN A FEMA SPECIAL FLOOD HAZARD ZONE, AS PER FLOOD INSURANCE RATE MAP #33015C0254F, PANEL 254 OF 681, DATED JANUARY 29, 2021. VERTICAL DATUM IS NAVD 1988.

6) COMBINED BUILDING COVERAGE

EXISTING	
HOUSE.....	778 SF
BARN.....	1554 SF
SHED.....	190 SF
DECK > 18\"	31 SF
STAIRS > 18\"	12 SF
BULKHEAD.....	26 SF
TOTAL.....	2591 SF
COVERAGE = 2591 / 6384 =	40.6%

PROPOSED	
HOUSE & ATTACHED GARAGE.....	2099 SF
PORCH.....	20 SF
STAIRS > 18\"	3 SF
BULKHEAD.....	50 SF
TOTAL.....	2172 SF
COVERAGE = 2172 / 6384 =	34.0%

7) COMBINED OPEN SPACE

EXISTING	
BUILDING COVERAGE.....	2591 SF
STAIRS < 18\"	28 SF
WALKWAY.....	42 SF
RETAINING WALL.....	6 SF
COBBLESTONE.....	38 SF
RAMP.....	27 SF
ASPHALT.....	379 SF
NON-OPEN SPACE.....	664 SF
TOTAL.....	3775 SF
OPEN SPACE = 6384 - 3775 =	2609 SF
OPEN SPACE = 2609 / 6384 =	40.9%

PROPOSED	
BUILDING COVERAGE.....	2172 SF
STAIRS < 18\"	27 SF
AC PAD.....	18 SF
COBBLESTONE.....	38 SF
RETAINING WALL.....	6 SF
WALKWAY.....	15 SF
PERVIOUS PAVER DRIVEWAY.....	258 SF
ASPHALT.....	299 SF
NON-OPEN SPACE.....	45 SF
TOTAL.....	2878 SF
OPEN SPACE = 6384 - 2878 =	3506 SF
OPEN SPACE = 3506 / 6384 =	54.9%

LENGTH TABLE

	BEARING	DISTANCE
LI	N 44°36'59\"	4.80'

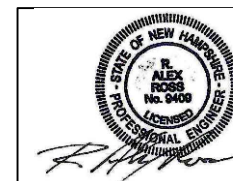
GRAPHIC SCALE



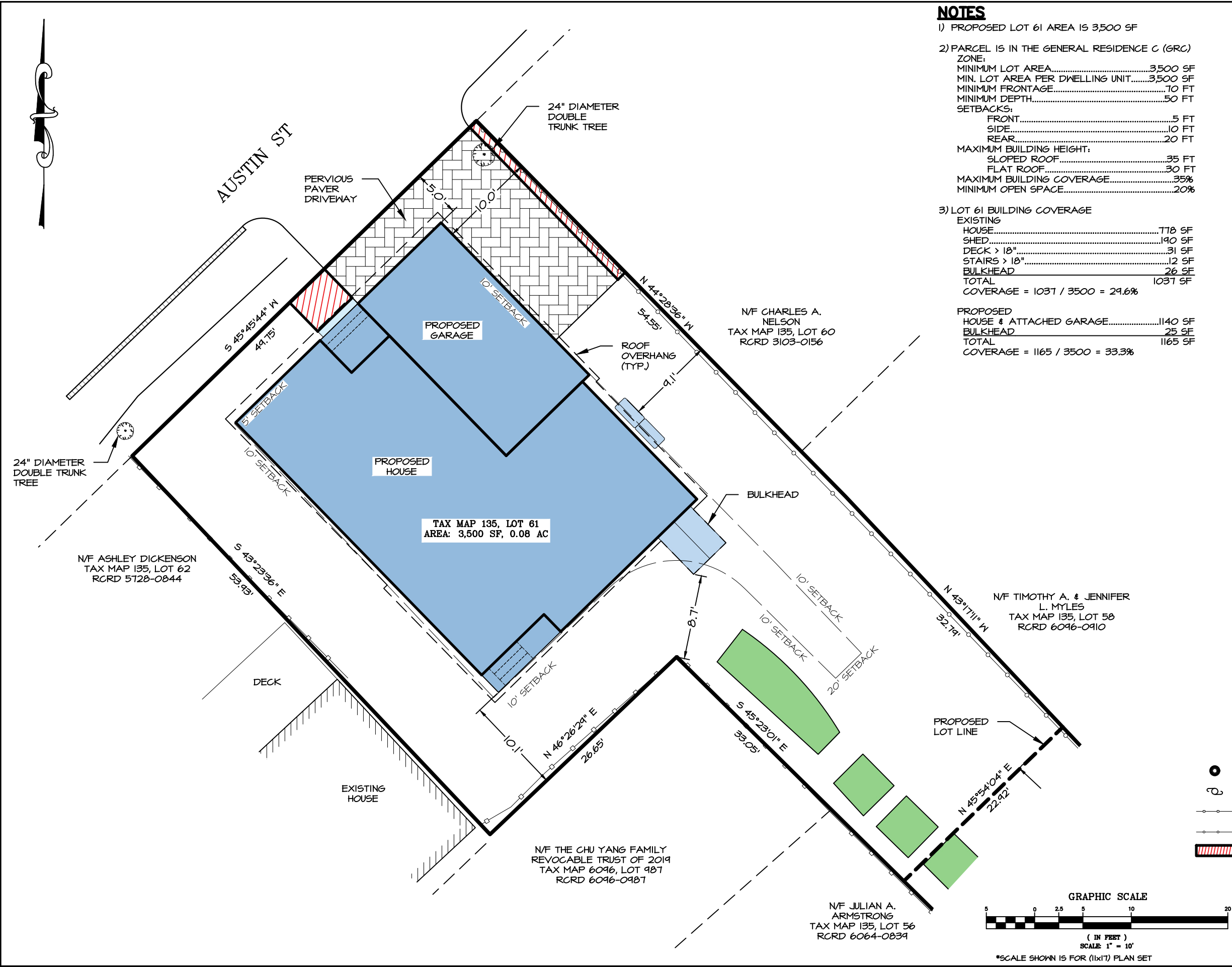
*SCALE SHOWN IS FOR (11x17) PLAN SET

LEGEND

- MONUMENT FOUND
- UTILITY POLE
- WOODEN FENCE
- CHAIN LINK FENCE



2	1/6/2026	TAC SUBMITTAL	
1	12/17/2025	ZBA SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 20'		
CHECKED	A.ROSS		
DRAWN	D.D.D.		
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 650 Islington St., 2nd Floor Portsmouth, NH 03801 (603) 433-7560			
CLIENT WARD DEVELOPMENT MIKE GARREPY & CHRIS WARD			
TITLE SUBDIVISION PLAN 238 AUSTIN ST PORTSMOUTH, NH 03801 TAX MAP 135, LOT 61			
JOB NUMBER	DWG. NO.	ISSUE	
25-089	2 OF 5	2	



NOTES

- 1) PROPOSED LOT 61 AREA IS 3,500 SF
- 2) PARCEL IS IN THE GENERAL RESIDENCE C (GRC) ZONE:
- | | |
|--------------------------------------|----------|
| MINIMUM LOT AREA..... | 3,500 SF |
| MIN. LOT AREA PER DWELLING UNIT..... | 3,500 SF |
| MINIMUM FRONTAGE..... | 70 FT |
| MINIMUM DEPTH..... | 50 FT |
- SETBACKS:
- | | |
|------------|-------|
| FRONT..... | 5 FT |
| SIDE..... | 10 FT |
| REAR..... | 20 FT |
- MAXIMUM BUILDING HEIGHT:
- | | |
|------------------|-------|
| SLOPED ROOF..... | 35 FT |
| FLAT ROOF..... | 30 FT |
- MAXIMUM BUILDING COVERAGE.....35%
MINIMUM OPEN SPACE.....20%
- 3) LOT 61 BUILDING COVERAGE
- | | |
|-------------------|---------|
| EXISTING | |
| HOUSE..... | 778 SF |
| SHED..... | 190 SF |
| DECK > 18"..... | 31 SF |
| STAIRS > 18"..... | 12 SF |
| BULKHEAD..... | 26 SF |
| TOTAL..... | 1037 SF |
- COVERAGE = 1037 / 3500 = 29.6%
- PROPOSED
- | | |
|------------------------------|---------|
| HOUSE & ATTACHED GARAGE..... | 1140 SF |
| BULKHEAD..... | 25 SF |
| TOTAL..... | 1165 SF |
- COVERAGE = 1165 / 3500 = 33.3%

4) LOT 61 OPEN SPACE

EXISTING	
BUILDING COVERAGE.....	1037 SF
STAIRS < 18".....	16 SF
WALKWAY.....	27 SF
ASPHALT.....	379 SF
NON-OPEN SPACE.....	435 SF
TOTAL.....	1894 SF

OPEN SPACE = 3500 - 1894 = 1606 SF
OPEN SPACE = 1606 / 3500 = 45.9%

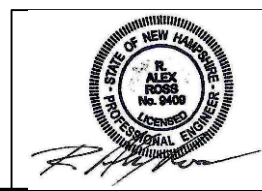
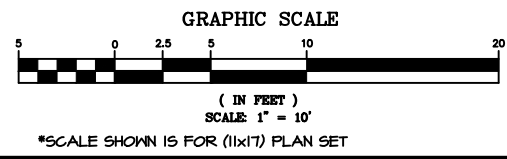
PROPOSED

BUILDING COVERAGE.....	1165 SF
STAIRS < 18".....	4 SF
AC PAD.....	9 SF
PERVIOUS PAVER DRIVEWAY.....	258 SF
NON-OPEN SPACE.....	21 SF
TOTAL.....	1457 SF

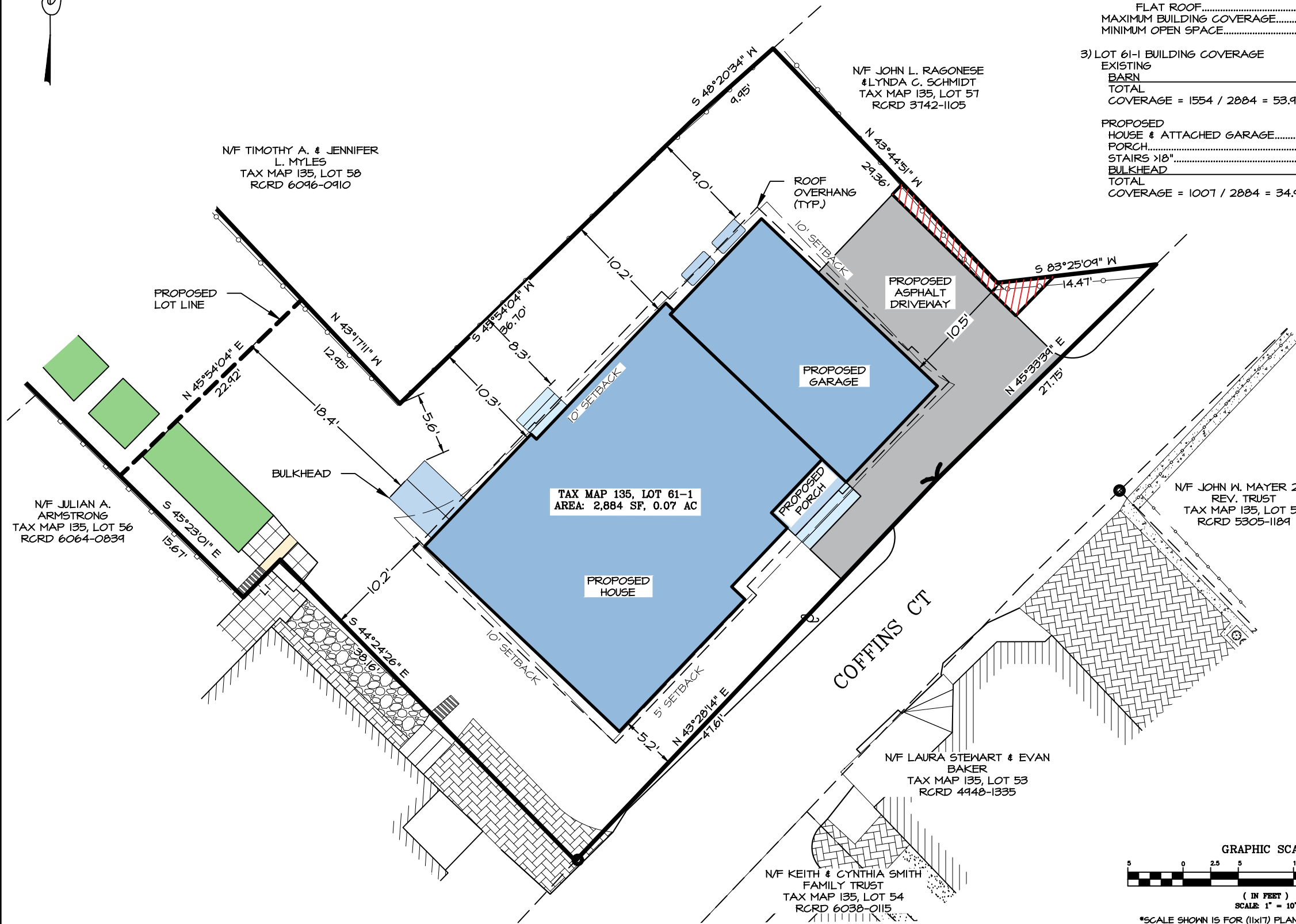
OPEN SPACE = 3500 - 1457 = 2043 SF
OPEN SPACE = 2043 / 3500 = 58.4%

LEGEND

- MONUMENT FOUND
- UTILITY POLE
- WOODEN FENCE
- CHAIN LINK FENCE
- ▨ NON-OPEN SPACE



2	1/6/2026	TAC SUBMITTAL	
1	12/17/2025	ZBA SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 10'		
CHECKED	A.ROSS		
DRAWN	D.D.D.		
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 650 Islington St, 2nd Floor Portsmouth, NH 03801 (603) 433-7560			
CLIENT WARD DEVELOPMENT MIKE GARREPY & CHRIS WARD			
TITLE SITE PLAN 238 AUSTIN ST PORTSMOUTH, NH 03801 TAX MAP 135, LOT 61			
JOB NUMBER	DWG. NO.	ISSUE	
25-089	3 OF 5	2	



NOTES

- 1) PROPOSED LOT 61-1 AREA IS 2,884 SF
- 2) PARCEL IS IN THE GENERAL RESIDENCE C (GRC) ZONE:
- MINIMUM LOT AREA.....3,500 SF
 - MIN. LOT AREA PER DWELLING UNIT.....3,500 SF
 - MINIMUM FRONTAGE.....10 FT
 - MINIMUM DEPTH.....50 FT
- SETBACKS:
- FRONT.....5 FT
 - SIDE.....10 FT
 - REAR.....20 FT
- MAXIMUM BUILDING HEIGHT:
- SLOPED ROOF.....35 FT
 - FLAT ROOF.....30 FT
- MAXIMUM BUILDING COVERAGE.....35%
- MINIMUM OPEN SPACE.....20%
- 3) LOT 61-1 BUILDING COVERAGE
- EXISTING
- | | |
|-------|---------|
| BARN | 1554 SF |
| TOTAL | 1554 SF |
- COVERAGE = 1554 / 2884 = 53.9%
- PROPOSED
- | | |
|-------------------------|---------|
| HOUSE & ATTACHED GARAGE | 959 SF |
| PORCH | 20 SF |
| STAIRS >18" | 3 SF |
| BULKHEAD | 25 SF |
| TOTAL | 1007 SF |
- COVERAGE = 1007 / 2884 = 34.9%

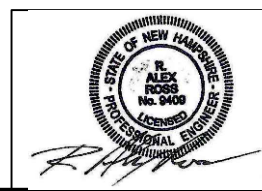
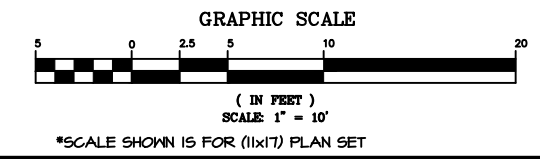
- 4) LOT 61-1 OPEN SPACE
- EXISTING
- | | |
|-------------------|---------|
| BUILDING COVERAGE | 1554 SF |
| STAIRS < 18" | 12 SF |
| WALKWAY | 15 SF |
| RETAINING WALL | 6 SF |
| COBBLESTONE | 38 SF |
| RAMP | 27 SF |
| NON-OPEN SPACE | 229 SF |
| TOTAL | 1881 SF |
- OPEN SPACE = 2884 - 1881 = 1003 SF
- OPEN SPACE = 1003 / 2884 = 34.8%
- PROPOSED
- | | |
|-------------------|---------|
| BUILDING COVERAGE | 1007 SF |
| STAIRS < 18" | 23 SF |
| AC PAD | 9 SF |
| COBBLESTONE | 38 SF |
| RETAINING WALL | 6 SF |
| WALKWAY | 15 SF |
| ASPHALT | 299 SF |
| NON-OPEN SPACE | 24 SF |
| TOTAL | 1421 SF |
- OPEN SPACE = 2884 - 1421 = 1463 SF
- OPEN SPACE = 1463 / 2884 = 50.7%

LENGTH TABLE

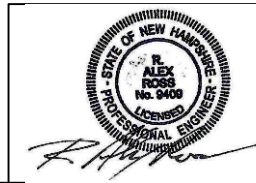
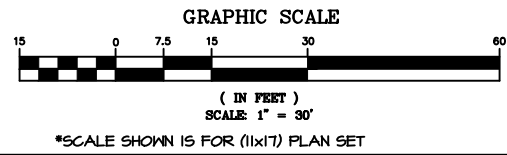
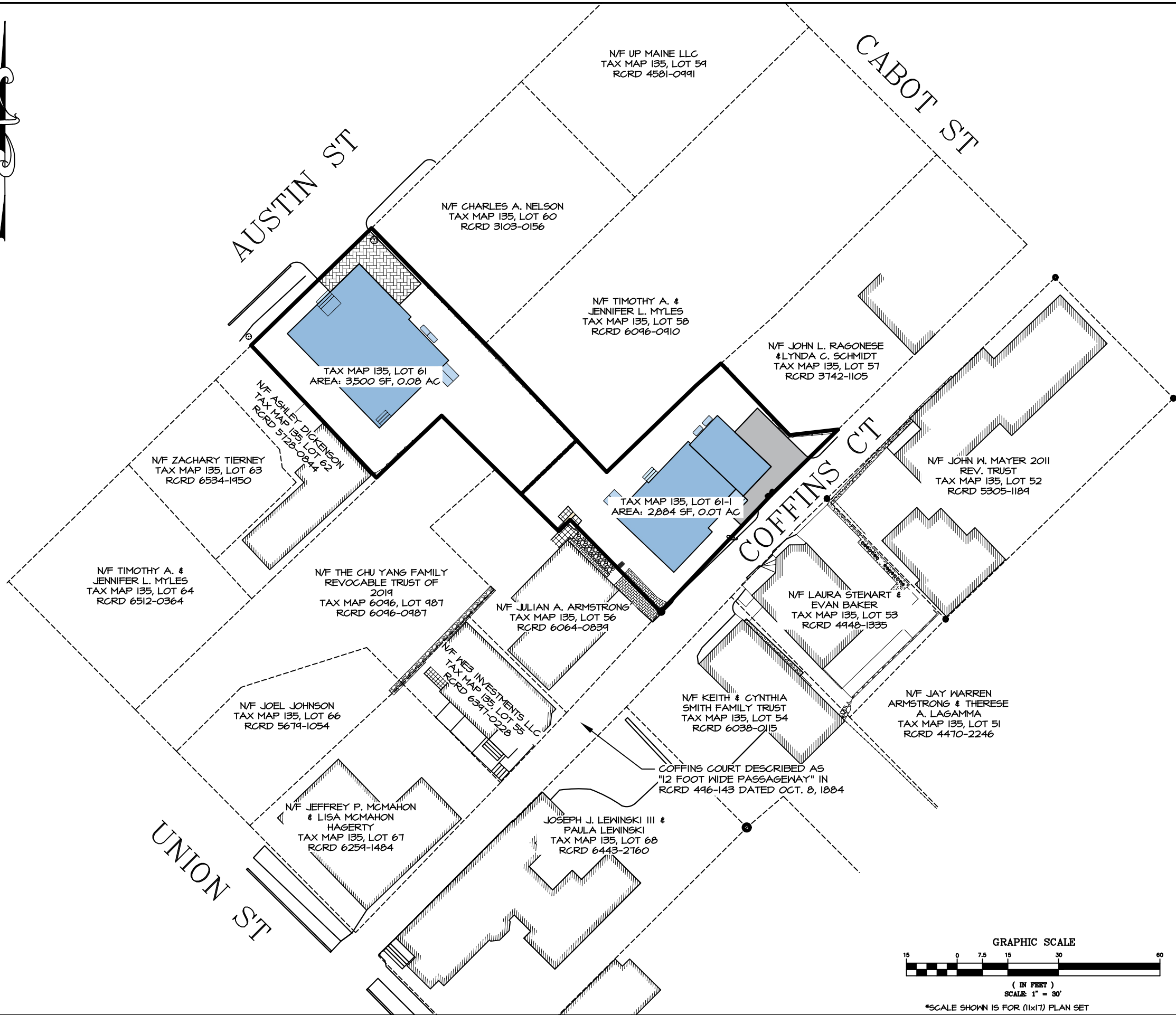
	BEARING	DISTANCE
LI	N 44°36'54" E	4.80'

LEGEND

- MONUMENT FOUND
- UTILITY POLE
- WOODEN FENCE
- CHAIN LINK FENCE
- ▨ NON-OPEN SPACE



2	1/6/2026	TAC SUBMITTAL	
1	12/17/2025	ZBA SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 10'		
CHECKED	A.ROSS		
DRAWN	D.D.D.		
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 650 Islington St, 2nd Floor Portsmouth, NH 03801 (603) 433-7560			
CLIENT WARD DEVELOPMENT MIKE GARREPY & CHRIS WARD			
TITLE SITE PLAN 238 AUSTIN ST PORTSMOUTH, NH 03801 TAX MAP 135, LOT 61			
JOB NUMBER	DWG. NO.	ISSUE	
25-089	4 OF 5	2	



2	1/6/2026	TAC SUBMITTAL	
1	12/17/2025	ZBA SUBMITTAL	
ISS.	DATE	DESCRIPTION OF ISSUE	
SCALE 1" = 30'			
CHECKED A.ROSS			
DRAWN D.D.D.			
ROSS ENGINEERING, LLC Civil/Structural Engineering & Surveying 650 Islington St, 2nd Floor Portsmouth, NH 03801 (603) 433-7560			
CLIENT WARD DEVELOPMENT MIKE GARREPY & CHRIS WARD			
TITLE STREET PLAN 238 AUSTIN ST PORTSMOUTH, NH 03801 TAX MAP 135, LOT 61			
JOB NUMBER		DWG. NO.	ISSUE
25-089		5 OF 5	2



RIGHT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

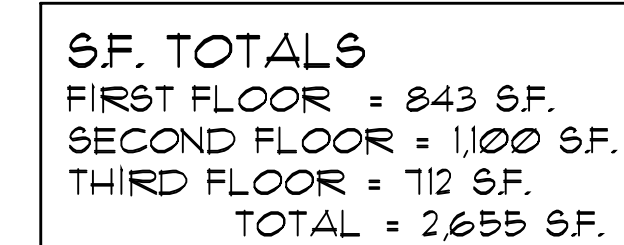
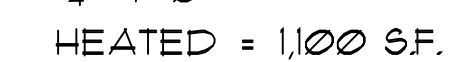


FRONT ELEVATION
1/4" = 1'-0"

1. THESE PLANS ARE BUILT TO FOLLOW THE IRC 2021 BUILDING CODE AND STATE FIRE CODE AS ADMINISTERED BY THE TOWN OF PORTSMOUTH, NH.
2. ALL DIMENSIONS ARE FRAMING DIMENSIONS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO EXCAVATION.
3. DO NOT SCALE DRAWING, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT: 238 Austin Street (Coffins Ct.) ZBA Portsmouth, NH 03801		
E-mail: tech-112@comcast.net	Phone: 603-964-1300 Fax: 603-960-1414	DATE: 12-16-25
Technical Illustrations		REVISED:
ARCHITECTURAL DRAFTING SERVICE		DWG. NO. 1
196 Bunker Hill Ave. Stratham, NH 03885		

AUSTIN STREET



EXISTING IMPERVIOUS COVERAGE = 1,432 S.F.
PROPOSED IMPERVIOUS COVERAGE 1,271 S.F.

3. DO NOT SCALE DRAWING, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

C:\TI-INC\2025\Austin StreetB0



RIGHT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

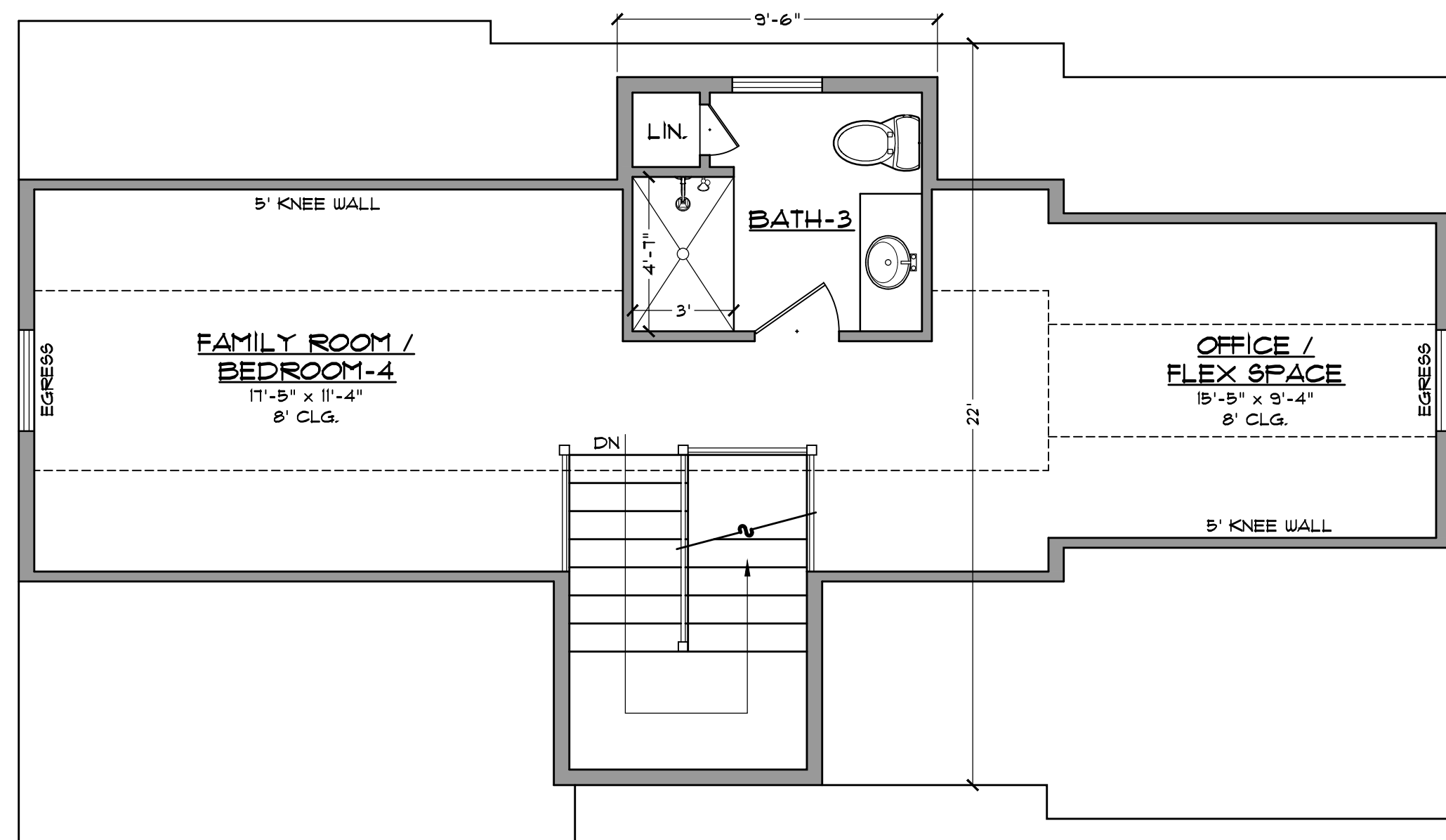


FRONT ELEVATION
1/4" = 1'-0"

COFFINS COURT

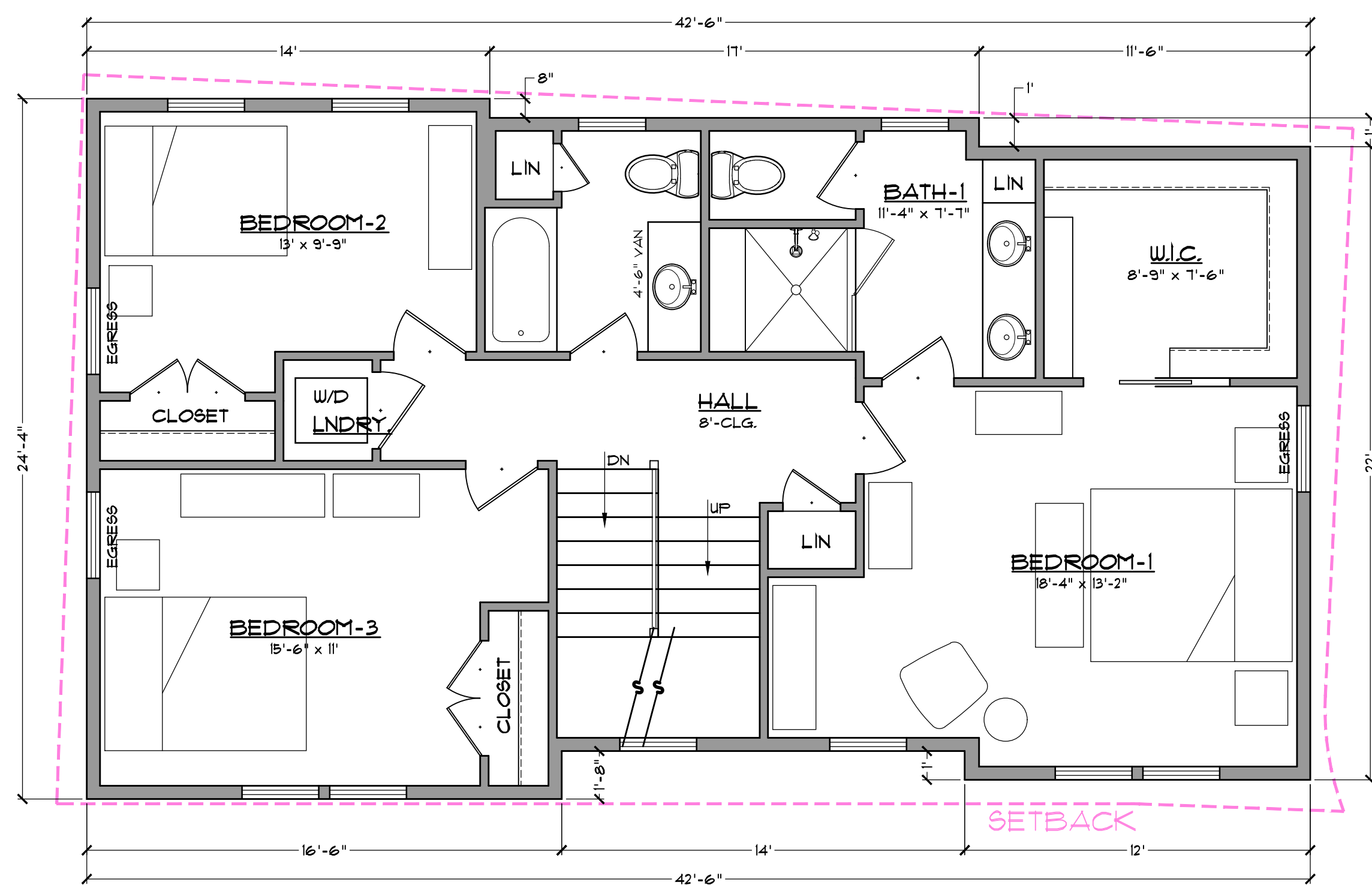
1. THESE PLANS ARE BUILT TO FOLLOW THE IRC 2021 BUILDING CODE AND STATE FIRE CODE AS ADMINISTERED BY THE TOWN OF PORTSMOUTH, NH.
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PROJECT: 238 Austin Street (Coffins Ct.) ZBA Portsmouth, NH 03801		
E-mail: tech-ill2@comcast.net	Phone: 603-964-1300 Fax: 603-960-1414	DATE: 12-16-25
Technical Illustrations		REVISED:
ARCHITECTURAL DRAFTING SERVICE		DWG. NO. 1
196 Bunker Hill Ave. Stratham, NH 03885		



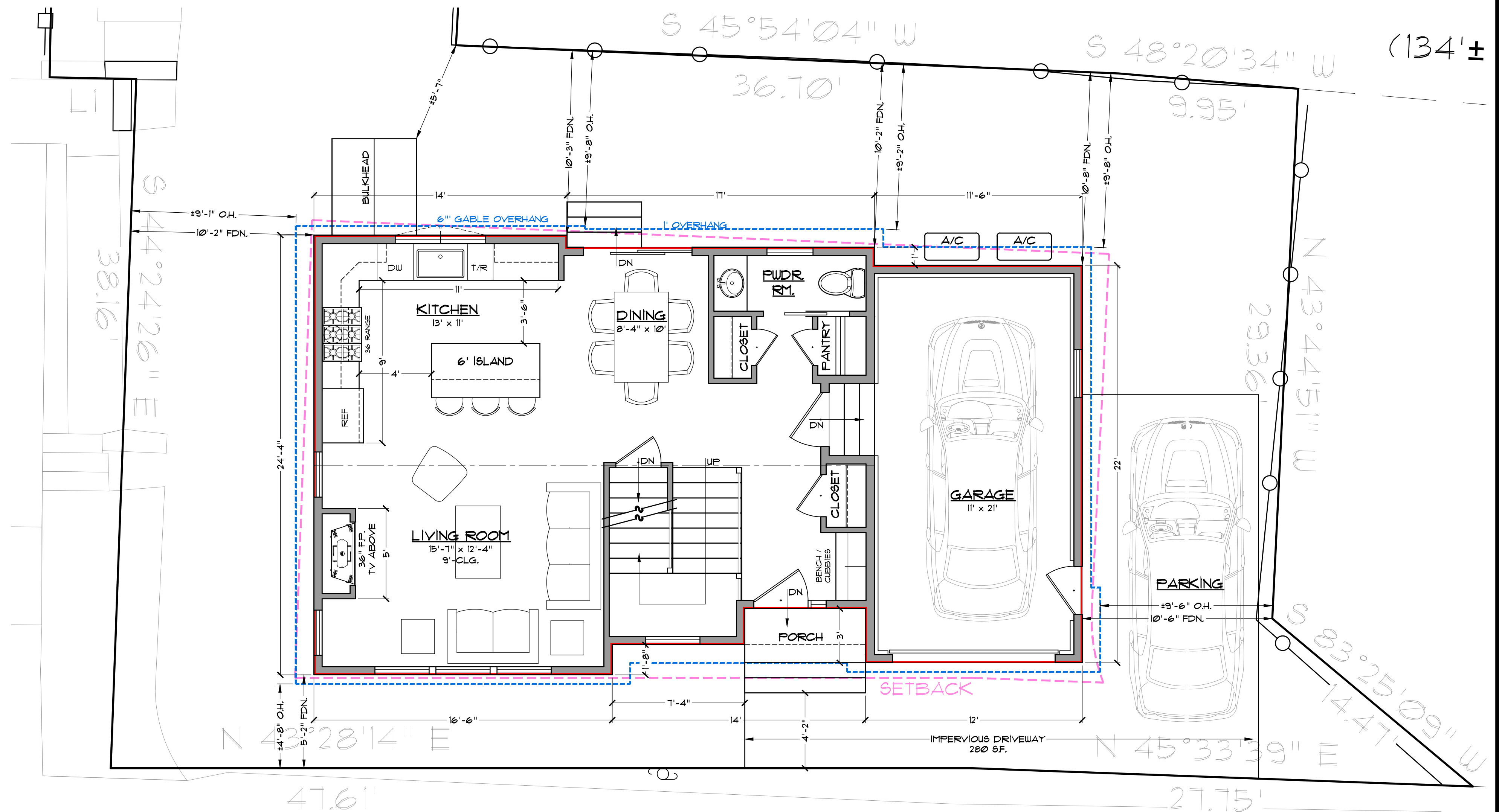
THIRD FLOOR PLAN

1/4" = 1'-0"
HEATED = 486 S.F.



SECOND FLOOR PLAN

1/4" = 1'-0"
HEATED = 912 S.F.
60 S.F. DEDUCT FOR STAIRS



FIRST FLOOR PLAN

1/4" = 1'-0"
HEATED = 695 S.F.
GARAGE = 265 S.F.
TOTAL = 960 S.F.

S.F. TOTALS	
FIRST FLOOR	= 695 S.F.
SECOND FLOOR	= 912 S.F.
THIRD FLOOR	= 486 S.F.
TOTAL	= 2,093 S.F.

EXISTING IMPERVIOUS COVERAGE = 1,554 S.F.
PROPOSED IMPERVIOUS COVERAGE = 1,408 S.F.
STRUCTURE = 1,128 S.F.
DRIVEWAY = 280 S.F.

FIRE PREVENTION PLAN

- ① SMOKE DETECTOR
- ② SMOKE / CARBON MONOXIDE DETECTOR
- ③ HEAT DETECTOR

1. THESE PLANS ARE BUILT TO FOLLOW THE IRC 2021 BUILDING CODE AND STATE FIRE CODE AS ADMINISTERED BY THE TOWN OF PORTSMOUTH, NH.

2. ALL DIMENSIONS ARE FRAMING DIMENSIONS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO EXCAVATION.

3. DO NOT SCALE DRAWING, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

COFFINS CT.

PROJECT: 238 Austin Street (Coffins Ct.) ZBA Portsmouth, NH 03801		
E-mail: tech-112@comcast.net	Phone: 603-964-1300 Fax: 603-580-1414	DATE: 12-16-25
Technical Illustrations		REVISED:
ARCHITECTURAL DRAFTING SERVICE		DWG. NO. 3
196 Bunker Hill Ave. Stratham, NH 03885		



HALEY WARD

200 Griffin Road, Unit 14, Portsmouth, NH 03801
Phone (603) 430-9282

6 January 2026

Peter Stith, TAC Committee Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for TAC Workshop Review, 479 Richards Avenue and South Street, Lot Line Relocation and Subdivision

Dear Mr. Stith and Technical Advisory Committee (TAC) Members:

On behalf of Chinburg Development, we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **January 13, 2026**, Meeting. The project is the relocation of a property line and the subsequent subdivision of one of the parcels into two lots. The parcels are shown on the City of Portsmouth Assessors Map 112 as Lot 23 & Lot 24A. The existing home will remain, the southerly driveway will be removed and the vacant lot will be subdivided and two new homes. We are requesting the Technical Advisory Committee (TAC) review the project as a part of the approval process, prior to a completed Subdivision application at the site, and we look forward to an in-person presentation and the TAC Committee review of this submission.

The subdivision of the site will need to comply with the applicable ordinance, design, safety, and operational standards, including building code compliance. The vacant lot, currently undeveloped as it may have been for some time, will need a utility easement across Proposed Lot 1 to access city sewer; otherwise, utilities are available from South Street. The lots will meet setback, building coverage, and open space requirements.

The following plans are included in our submission:

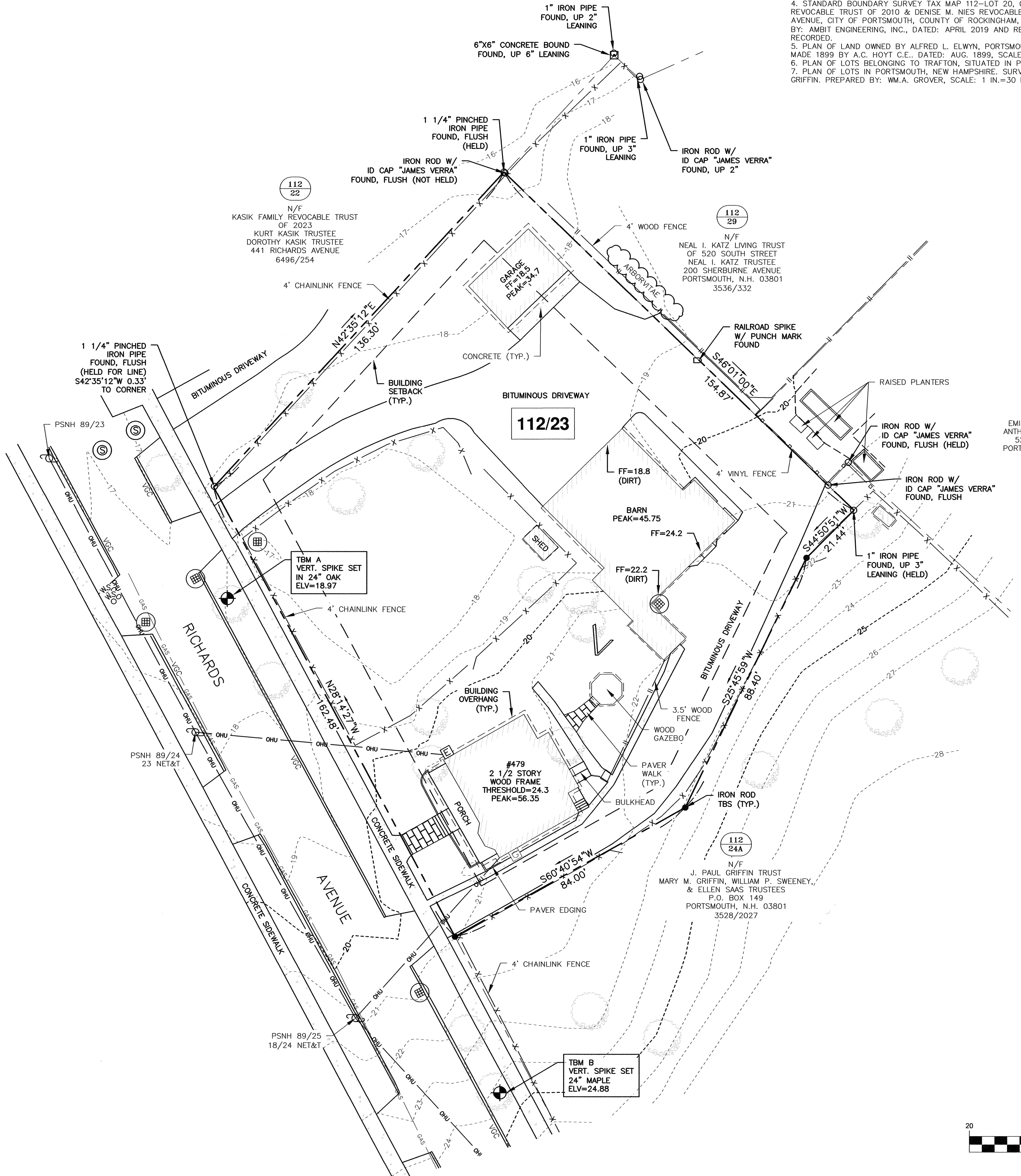
- Existing Conditions Plan(s) - These plans, one for each lot, show the existing conditions on the properties.
- Lot Line Relocation Plan Lot 23 and 24A – This plan shows the proposed relocation of the existing property line.
- Subdivision Plan Lot 24A - This plan shows the proposed subdivision, after the property line relocation.

Sincerely,

Shawn Tobey, PE

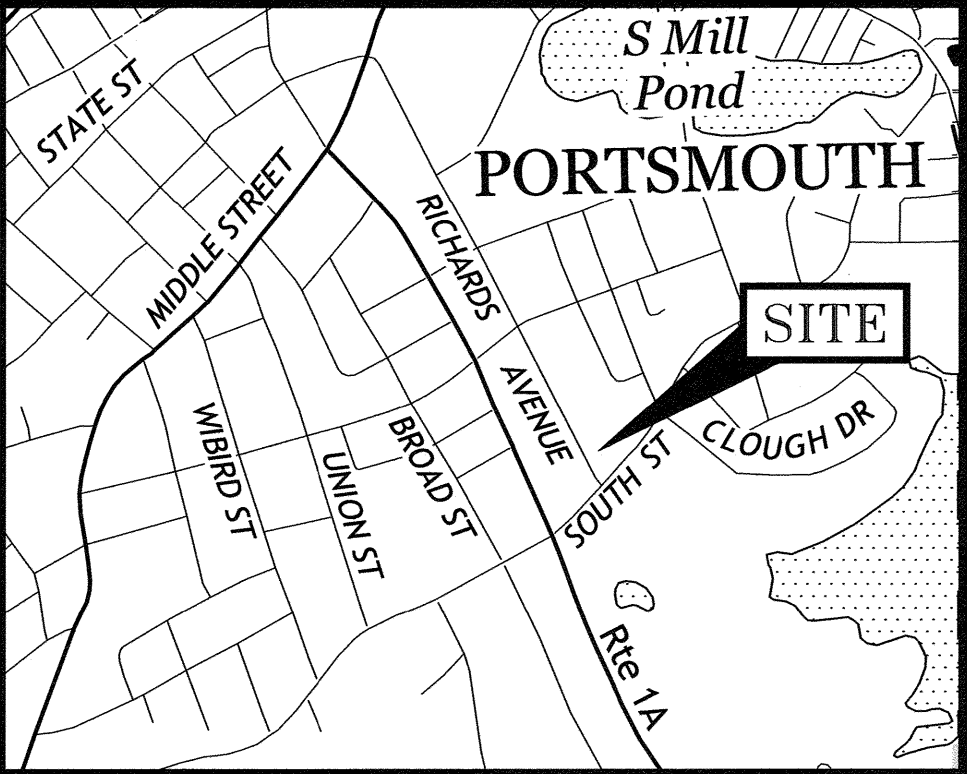
Southern Maine & New Hampshire
Land Development Manager

LEGEND:	
DESCRIPTION	EXISTING
1234/123	DEED BOOK/PAGE
N/F	NOW OR FORMALLY
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
TBS	TO BE SET
TYP.	TYPICAL
DYL	DOUBLE YELLOW LINE
ELV.	ELEVATION
FF	FINISHED FLOOR
LSA	LANDSCAPE AREA
SGC	SLOPED GRANITE CURB
SWL	SINGLE WHITE LINE
VGC	VERTICAL GRANITE CURB
BENCHMARK	
BOUND	
IRON ROD/PIPE FOUND	
RAILROAD SPIKE	
MAP 21 LOT 8	
SET 5/8" REBAR WITH SURVEYOR'S CAP	
CATCH BASIN	
DRAIN MANHOLE	
SEWER MANHOLE	
GAS/ELECTRIC METER	
GAS/WATER SHUTOFF	
GATE VALVE	
HYDRANT	
LIGHT POLE	
UTILITY POLE	
SIGN	
TREES	
APPROXIMATE EXTERIOR PROPERTY LINE	
PROPERTY LINE	
OVERHEAD UTILITY LINE	
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
MAJOR FOOT CONTOUR	
MINOR FOOT CONTOUR	
STONE WALL	
TREELINE	
GAS LINE	



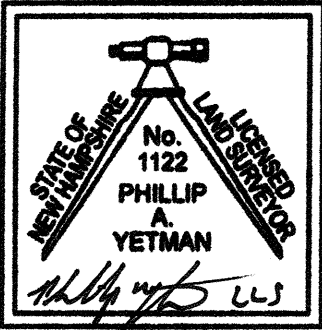
PLAN REFERENCES:

1. LOT LINE REVISION PLAN 520 SOUTH STREET PORTSMOUTH, NEW HAMPSHIRE. ASSESSOR'S PARCELS 112-24 & 112-29 FOR: NEAL I. KATZ LIVING TRUST, NEAL I. KATZ TRUSTEE. PREPARED BY: JAMES VERRA AND ASSOCIATES, INC., DATED: 10-27-2014, SCALE: 1"=20'. RCRD D-38647.
2. LOT LINE REVISION SOUTH STREET PORTSMOUTH, NEW HAMPSHIRE FOR GRIFFIN FAMILY CORP.. PREPARED BY: JAMES VERRA AND ASSOCIATES, INC., DATED: 9/24/98, SCALE: 1"=30'. RCRD D-26740.
3. SUBDIVISION & LOT LINE REVISION PLAN OF LAND, SOUTH STREET & ELWYN AVENUE PORTSMOUTH, NEW HAMPSHIRE FOR GRIFFIN FAMILY CORP.. PREPARED BY: JAMES VERRA AND ASSOCIATES, INC., DATED: 4/21/97, SCALE: 1"=30'. RCRD D-25545.
4. STANDARD BOUNDARY SURVEY TAX MAP 112-LOT 20, OWNERS OF RECORD: THOMAS A. NIES REVOCABLE TRUST OF 2010 & DENISE M. NIES REVOCABLE TRUST OF 2010, 419 RICHARDS AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY: AMBIT ENGINEERING, INC., DATED: APRIL 2019 AND REVISED 4/25/19. SCALE: 1"=10'. NOT RECORDED.
5. PLAN OF LAND OWNED BY ALFRED L. ELWYN, PORTSMOUTH, N.H., COMPILED FROM A SURVEY MADE 1899 BY A.C. HOYT C.E., DATED: AUG. 1899, SCALE: 100 FT. TO AN INCH. RCRD #00176.
6. PLAN OF LOTS BELONGING TO TRAFION, SITUATED IN PORTSMOUTH, N.H. RCRD #00168.
7. PLAN OF LOTS IN PORTSMOUTH, NEW HAMPSHIRE. SURVEYED MARCH 31, 1914 FOR M.J. GRIFFIN. PREPARED BY: W.M.A. GROVER, SCALE: 1 IN.=30 FT., RCRD #062.



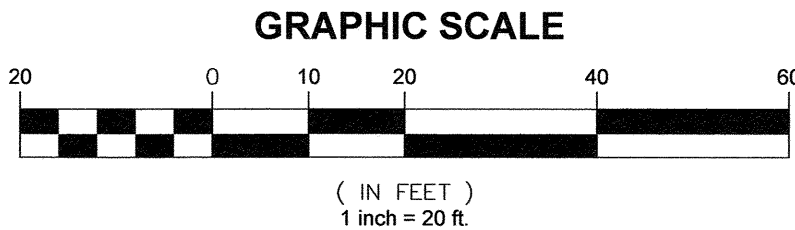
LOCATION MAP SCALE: 1" = 1,000'

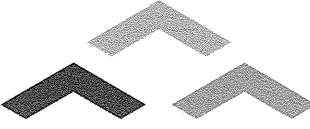
- NOTES:**
1. PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 112 AS LOT 23.
 2. OWNER OF RECORD:
THE RUTH LEWIN-GRIFFIN TRUST
RUTH LEWIN-GRIFFIN, TRUSTEE
479 RICHARDS AVENUE
PORTSMOUTH, N.H. 03801
DEED BOOK 2336, PAGE 708
 3. PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 330150259F, EFFECTIVE JANUARY 29, 2021.
 4. EXISTING LOT AREA:
26,913 S.F.
0.6178 ACRES
 5. PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) DISTRICT.
 6. DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA 7,500 S.F.
MINIMUM STREET FRONTAGE: 100 FEET
MINIMUM DEPTH: 70 FEET
SETBACKS: FRONT 15 FEET
SIDE 10 FEET
REAR 20 FEET
MAXIMUM STRUCTURE HEIGHT:
FLAT ROOF 30 FEET
SLOPPED ROOF 35 FEET
ROOF APPURTENANCE 8 FEET
MAXIMUM BUILDING COVERAGE 25%
MINIMUM OPEN SPACE 30%
 7. THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF AN EXISTING CONDITIONS SURVEY OF ASSESSOR'S MAP 112, LOT 23 IN THE CITY OF PORTSMOUTH.
 8. VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 9. ABUTTER INFORMATION TAKEN FROM THE (CITY OR TOWN) ASSESSORS GIS WEBSITE.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PHILLIP A. YETMAN, LLS 6/12/2025
DATE



0	6/10/25	ISSUED FOR COMMENT	RJB	PAY
REV.	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
SITE SURVEY				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 200 Griffin Road, Unit 14 Portsmouth, NH 03801 603-430-9282				
PROJECT RUTH LEWIN-GRIFFIN FAMILY TRUST 479 RICHARDS AVENUE PORTSMOUTH, N.H.				
TITLE EXISTING CONDITIONS PLAN				
DATE JUNE 2025		SCALE 1"=20'		
DRAWN BY RJB		DESIGNED BY ---		CHECKED BY PAY
PROJECT No. 5010544.001		FIELD BOOK / PAGE FB 478 PG 14		
DRAWING No. V101		REV 0		

LEGEND:

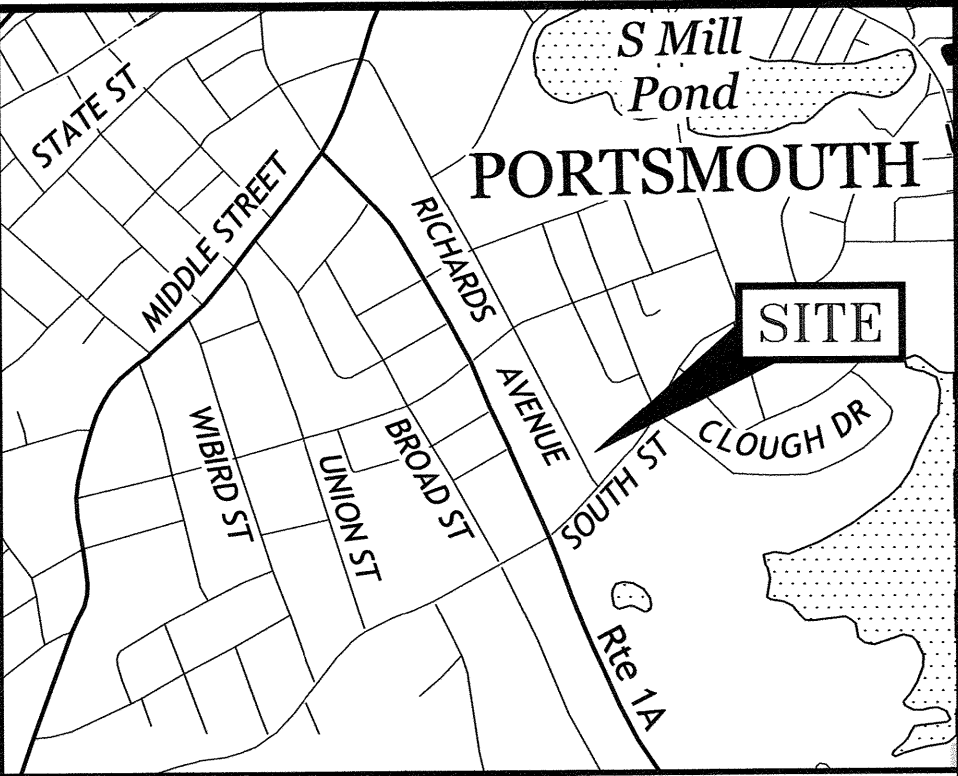
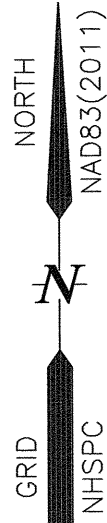
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BENCHMARK	
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MAP 21 LOT 8	
SET 5/8" REBAR WITH SURVEYOR'S CAP	
CATCH BASIN	
DRAIN MANHOLE	
SEWER MANHOLE	
GAS/ELECTRIC METER	
GAS/WATER SHUTOFF	
GATE VALVE	
HYDRANT	
LIGHT POLE	
UTILITY POLE	
SIGN	
TREES	
APPROXIMATE EXTERIOR PROPERTY LINE	
PROPERTY LINE	
OVERHEAD UTILITY LINE	
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
MAJOR FOOT CONTOUR	
MINOR FOOT CONTOUR	
STONE WALL	
TREELINE	
GAS LINE	

LINE TABLE:

LINE	BEARING	DISTANCE
L1	N46°01'10"W	11.67'
L2	N42°33'08"E	9.71'

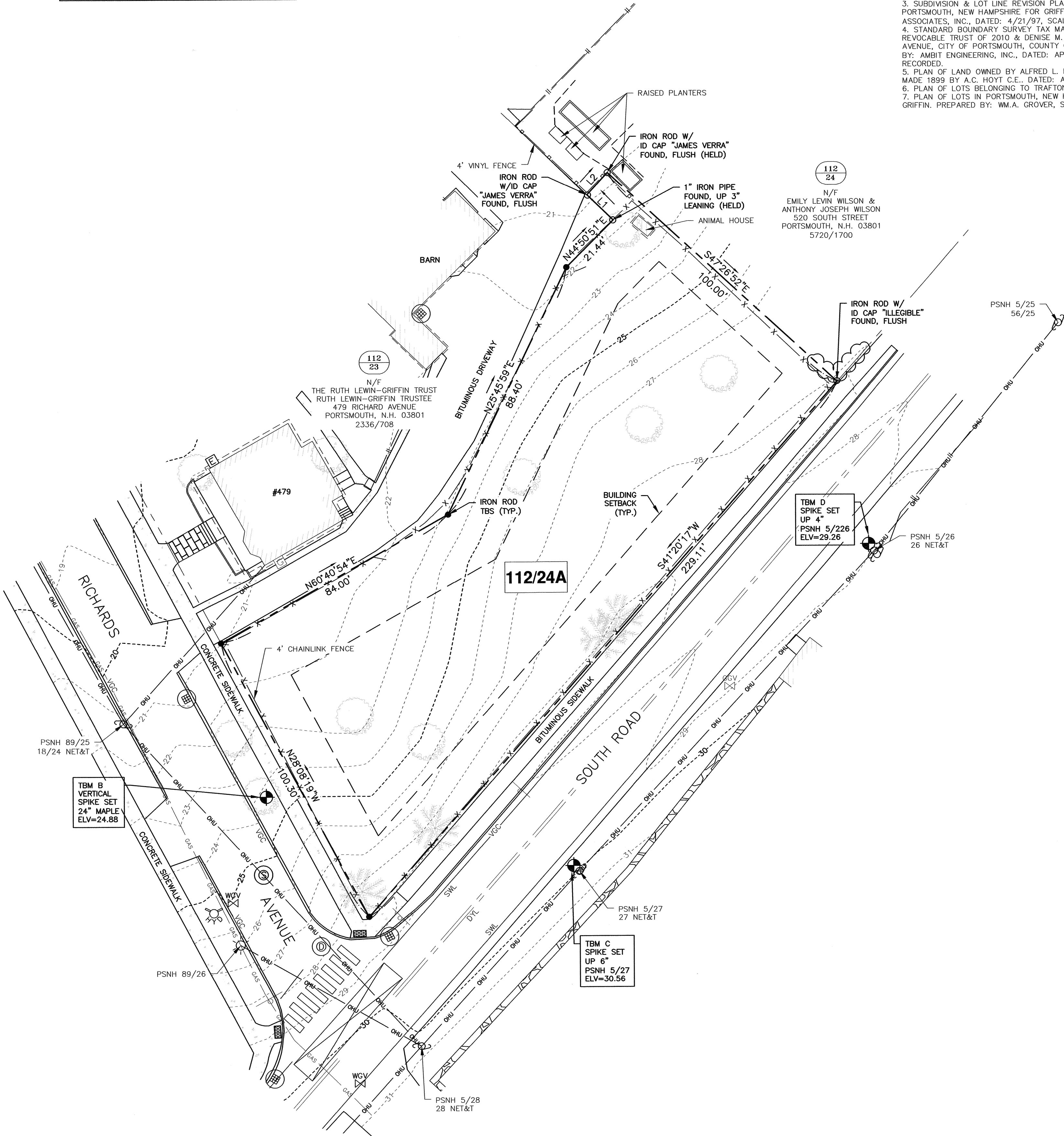
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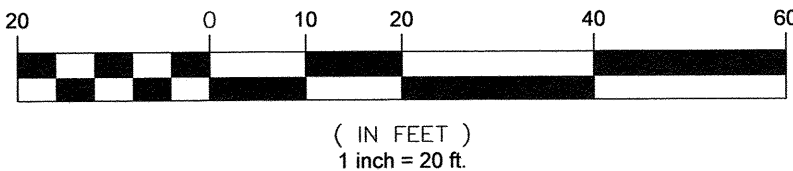


NOTES:

- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 112 AS LOT 24A.
- OWNER OF RECORD:
J. PAUL GRIFFIN FAMILY TRUST
(AKA THE GRIFFIN FAMILY TRUST)
PETER J. GRIFFIN, TRUSTEE
P.O. BOX 149
PORTSMOUTH, N.H. 03801
DEED BOOK 6640, PAGE 1025
- PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
- EXISTING LOT AREA:
17,459 S.F.
0.4008 ACRES
- PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) DISTRICT.
- DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA: 7,500 S.F.
MINIMUM STREET FRONTAGE: 100 FEET
MINIMUM DEPTH: 70 FEET
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MAXIMUM BUILDING COVERAGE: 25%
MINIMUM OPEN SPACE: 30%
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- ABUTTER INFORMATION TAKEN FROM THE (CITY OR TOWN) ASSESSORS GIS WEBSITE.
- BOUNDARY LINES SHOWN HEREON ARE FROM PLAN REFERENCE 2.

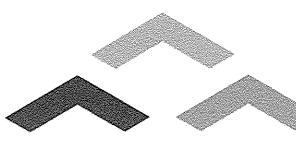


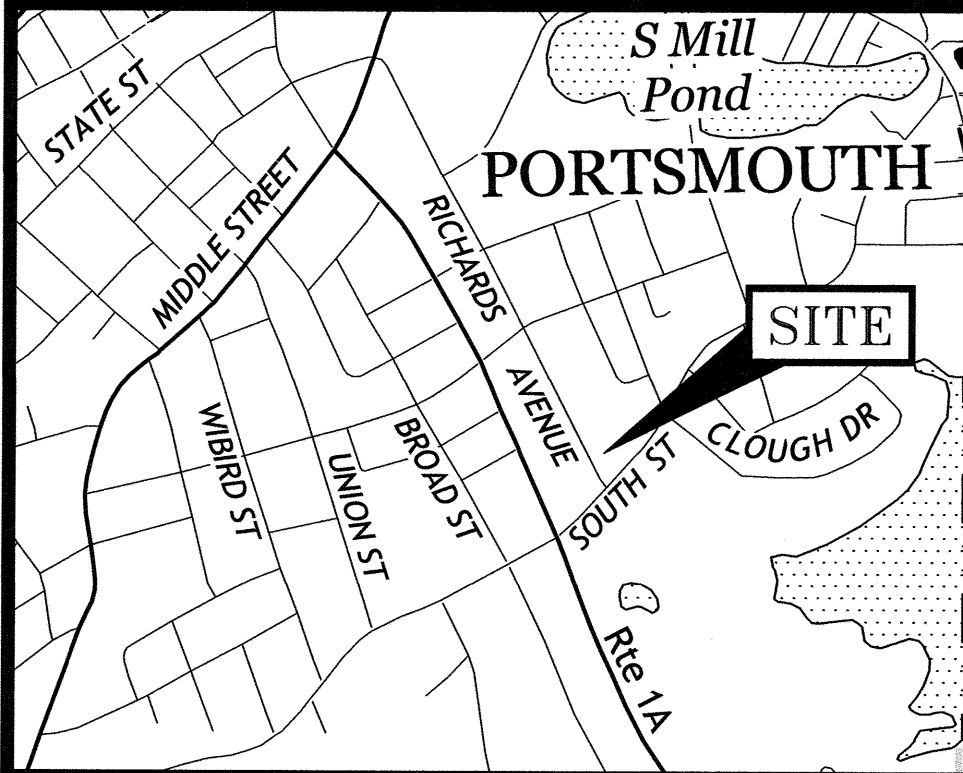
GRAPHIC SCALE



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PHILLIP A. YETMAN, L.L.S. 8/12/2025
DATE

1	8/12/25	UPDATE OWNER INFORMATION AND DEED REFERENCE	RJB	PAY
0	6/12/25	ISSUED FOR COMMENT	RJB	PAY
REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
SITE SURVEY				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 200 Griffin Road, Unit 14 Portsmouth, NH 03801 603-430-9282				
PROJECT				
J. PAUL GRIFFIN FAMILY TRUST SOUTH STREET PORTSMOUTH, N.H.				
TITLE				
EXISTING CONDITIONS PLAN				
DATE		SCALE		
JUNE 2025		1"=20'		
DRAWN BY		DESIGNED BY		CHECKED BY
RJB		---		PAY
PROJECT NO.		FIELD BOOK / PAGE		
5010561.001		FB 478 PG 14		
DRAWING NO.		REV.		
V101		1		



LOCATION MAP SCALE: 1" = 1,000'

LEGEND:

DESCRIPTION	EXISTING
RCRD 1234/123	ROCKINGHAM COUNTY REGISTRY OF DEEDS
N/F	DEED BOOK/PAGE
TYP.	NOW OR FORMALLY
VGC	TYPICAL
	VERTICAL GRANITE CURB

LENGTH TABLE

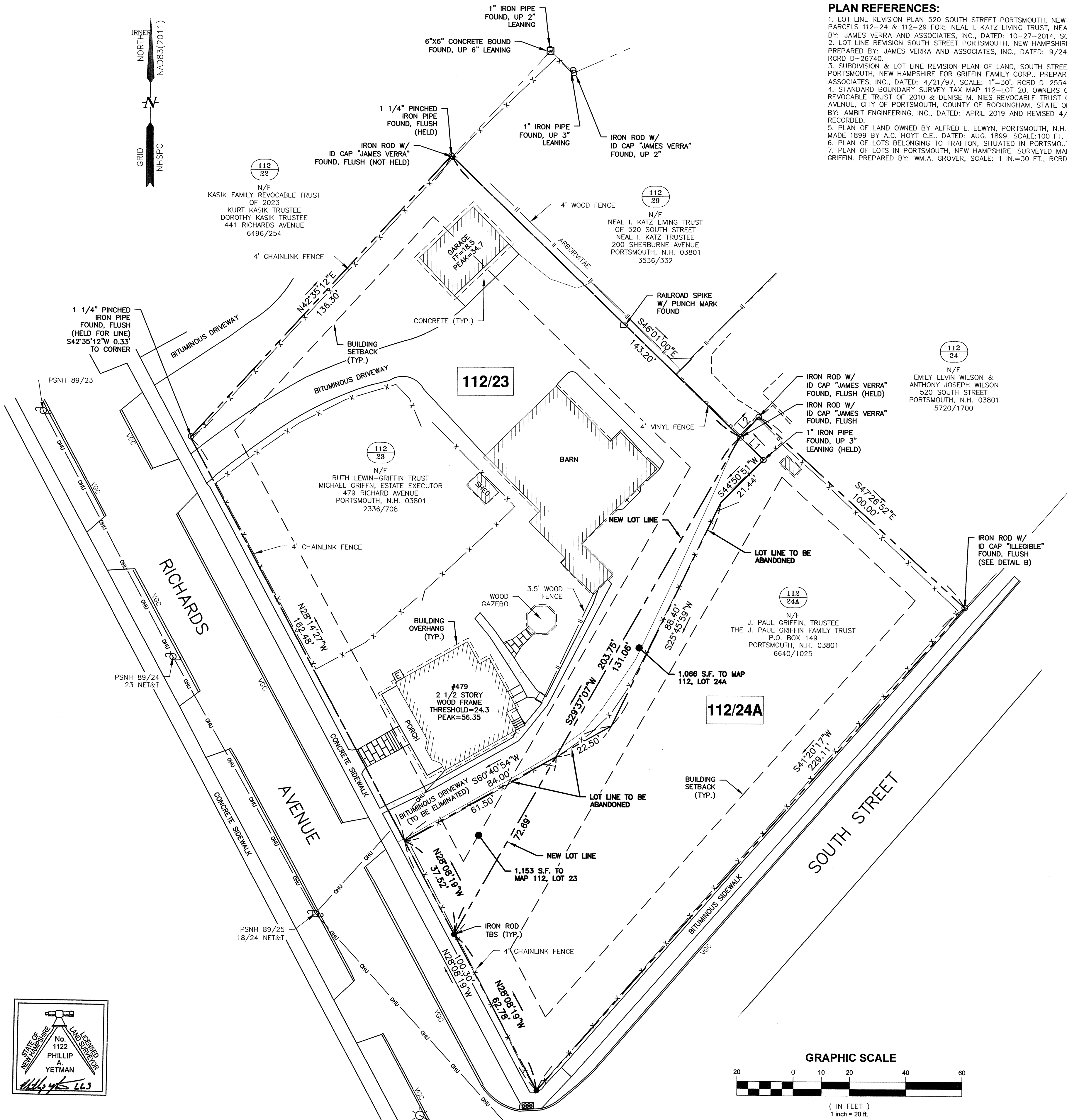
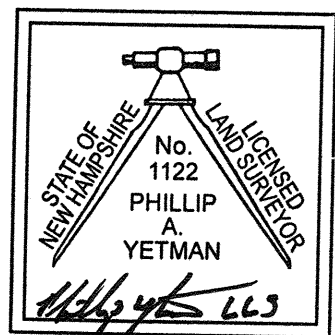
LINE	BEARING	DISTANCE
L1	N46°01'10"W	11.67'
L2	N42°33'08"E	9.71'

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PHILLIP A. YETMAN, LLS 1122 11/6/2026 DATE



PLAN REFERENCES:

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HALEY WARD

ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282

NOTES:

- PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 112 AS LOT 23 AND LOT 24A.
- OWNER OF RECORD MAP 112, LOT 23, 479 RICHARDS AVENUE:
THE RUTH LEWIN-GRIFFIN TRUST
MICHAEL GRIFFIN, ESTATE EXECUTOR
479 RICHARDS AVENUE
PORTSMOUTH, N.H. 03801
DEED BOOK 2336, PAGE 708

OWNER OF RECORD MAP 112, LOT 24A, SOUTH STREET:
J. PAUL GRIFFIN FAMILY TRUST
(AKA THE GRIFFIN FAMILY TRUST)
PETER J. GRIFFIN, TRUSTEE
P.O. BOX 149
PORTSMOUTH, N.H. 03801
DEED BOOK 6640, PAGE 1025

- PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.

EXISTING LOT AREA	PROPOSED LOT AREA:
26,913 S.F. 0.6178 ACRES	MAP 112, LOT 23 27,000 S.F. 0.6198 ACRES
17,459 S.F. 0.4008 ACRES	MAP 112, LOT 24A 17,372 S.F. 0.398 ACRES

- PARCELS ARE LOCATED IN THE GENERAL RESIDENCE A (GRA) DISTRICT.
- DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA 7,500 S.F.
MINIMUM STREET FRONTAGE: 100 FEET
MINIMUM DEPTH 70 FEET
SETBACKS: FRONT 15 FEET
SIDE 10 FEET
REAR 20 FEET
MAXIMUM STRUCTURE HEIGHT:
FLAT ROOF 30 FEET
SLOPPED ROOF 35 FEET
ROOF APPURTENANCE 8 FEET
MAXIMUM BUILDING COVERAGE 25%
MINIMUM OPEN SPACE 30%

- THE PURPOSE OF THIS PLAN IS TO SHOW A LOT LINE RELOCATION BETWEEN ASSESSOR'S MAP 112, LOT 23 AND MAP 112, LOT 24A IN THE CITY OF PORTSMOUTH.
- VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSORS GIS WEBSITE.

REV.	DATE	ISSUED FOR COMMENT	PAY	PAY
0	11/31/2025	ISSUED FOR COMMENT	BY	CHK.

DRAWING ISSUE STATUS

SITE SURVEY

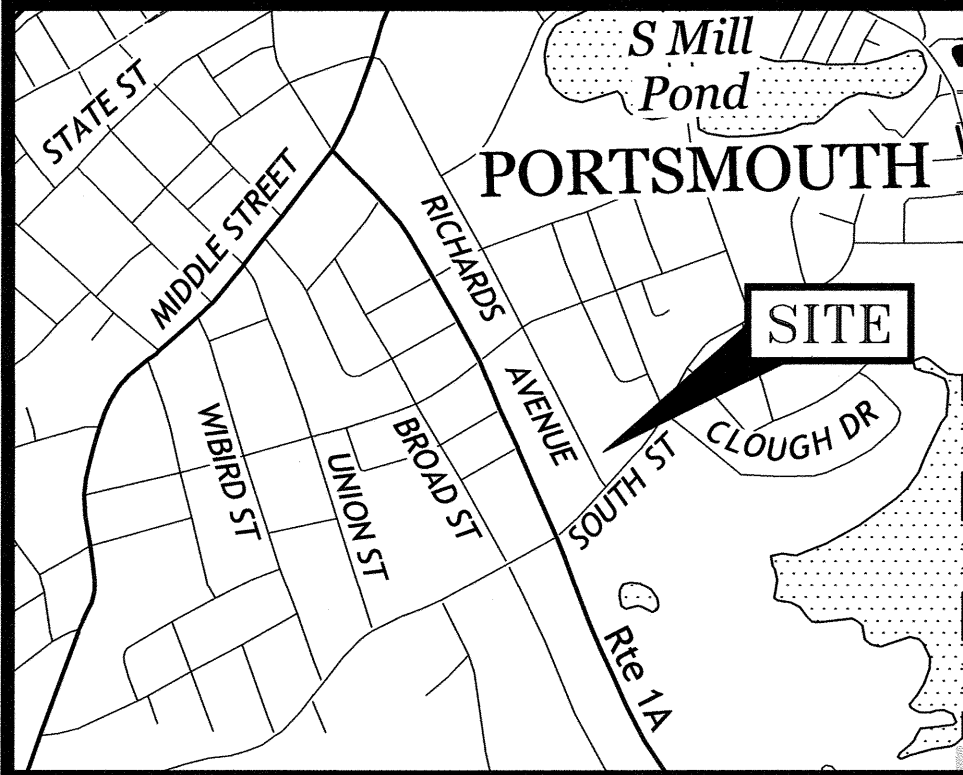
LOT LINE RELOCATION PLAN
TAX MAP 112 - LOT 23 & 24A

OWNERS:
MAP 112, LOT 23
THE RUTH LEWIN-GRIFFIN TRUST
MICHAEL GRIFFIN, ESTATE EXECUTIVE

MAP 112, LOT 24A
J. PAUL GRIFFIN FAMILY TRUST
(AKA THE GRIFFIN FAMILY TRUST)
PETER J. GRIFFIN, TRUSTEE

479 RICHARDS AVENUE & SOUTH STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: 1" = 20' NOVEMBER 31, 2025



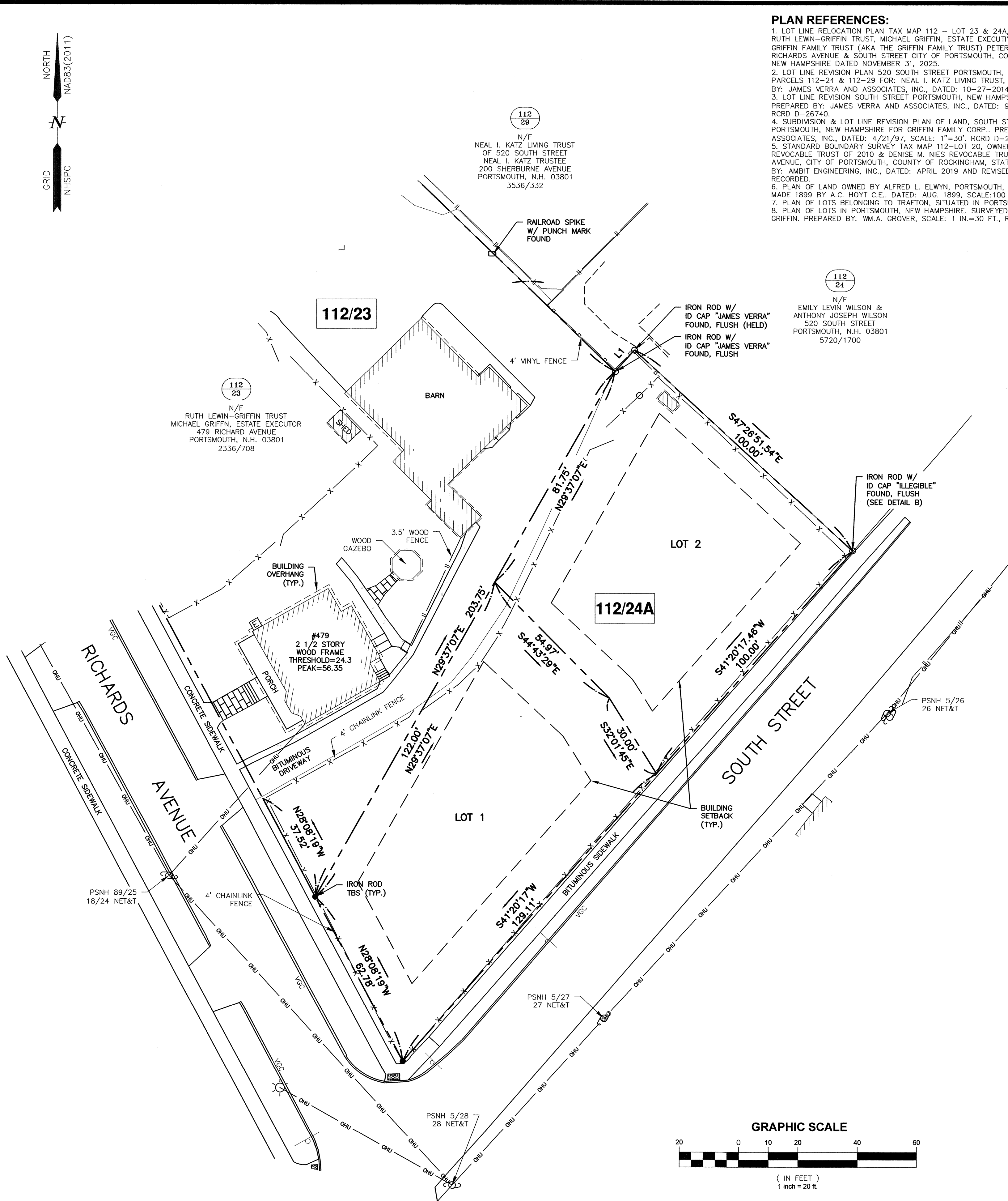
LOCATION MAP SCALE: 1" = 1,000'

LEGEND:

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1234/123	DEED BOOK/PAGE
N/F	NOW OR FORMALLY
TYP.	TYPICAL
VGC	VERTICAL GRANITE CURB

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	N42°33'08"E	9.71'



PLAN REFERENCES:

- LOT LINE RELOCATION PLAN TAX MAP 112 - LOT 23 & 24A, MAP 112, LOT 23 OWNERS: THE RUTH LEWIN-GRIFFIN TRUST, MICHAEL GRIFFIN, ESTATE EXECUTOR; MAP 112, LOT 24A, J. PAUL GRIFFIN FAMILY TRUST (AKA THE GRIFFIN FAMILY TRUST) PETER J. GRIFFIN, TRUSTEE, 479 RICHARDS AVENUE & SOUTH STREET CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE DATED NOVEMBER 31, 2025.
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HALEY WARD

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200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282

NOTES:

- PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 112, LOT 24A.
- OWNER OF RECORD MAP 112, LOT 24A, SOUTH STREET:
J. PAUL GRIFFIN FAMILY TRUST
(AKA THE GRIFFIN FAMILY TRUST)
PETER J. GRIFFIN, TRUSTEE
P.O. BOX 149
PORTSMOUTH, N.H. 03801
DEED BOOK 6640, PAGE 1025

- PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021.

- EXISTING LOT AREA: 17,372 S.F. 0.3988 ACRES

PROPOSED LOT AREA:

	MAP 112, LOT 24A
LOT 1	8,816 S.F. 0.2024 ACRES
LOT 2	8,556 S.F. 0.1964 ACRES

- PARCELS ARE LOCATED IN THE GENERAL RESIDENCE A (GRA) DISTRICT.

6. DIMENSIONAL REQUIREMENTS:	
MINIMUM LOT AREA	7,500 S.F.
MINIMUM STREET FRONTAGE	100 FEET
MINIMUM DEPTH	70 FEET
SETBACKS:	
FRONT	15 FEET
SIDE	10 FEET
REAR	20 FEET
MAXIMUM STRUCTURE HEIGHT:	
FLAT ROOF	30 FEET
SLOPPED ROOF	35 FEET
ROOF APPURTENANCE	8 FEET
MAXIMUM BUILDING COVERAGE	25%
MINIMUM OPEN SPACE	30%

- THE PURPOSE OF THIS PLAN IS TO SHOW A 2 LOT SUBDIVISION OF ASSESSOR'S MAP 112, LOT 24A IN THE CITY OF PORTSMOUTH.

- VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

- ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSOR'S GIS WEBSITE.

0	12/18/2025	ISSUED FOR COMMENT	PAY	PAY
REV.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS

SITE SURVEY

SUBDIVISION PLAN OF LAND
TAX MAP 112 - LOT 24A

OWNER:

MAP 112, LOT 24A
J. PAUL GRIFFIN FAMILY TRUST
(AKA THE GRIFFIN FAMILY TRUST)
PETER J. GRIFFIN, TRUSTEE

SOUTH STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: 1" = 20'

December 18, 2025

FB 478 PG 14

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