



HALEY WARD

200 Griffin Road, Unit 14, Portsmouth, NH 03801
Phone (603) 430-9282

4 November 2025

Peter Stith, TAC Committee Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for TAC Workshop Review at 175 Fleet Street, Proposed Gilley's Addition

Dear Mr. Stith and Technical Advisory Committee Members:

On behalf of Ralph 1912 LLC, we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **November 13, 2025**, TAC Workshop Meeting. The project consists of a proposed addition to the existing Gilley's Restaurant at 175 Fleet Street and the addition of two food trucks on the site with the associated and required site improvements. The addition will add much needed ADA compliant bathrooms to the site. The added Food Trucks will broaden the appeal of the destination and serve a larger client base, and will anchor the newly created pedestrian friendly Newberry Way. The site is in a desirable downtown location within walking distance of amenities such as the Parking Garage, Music Loft, and Music Hall. We believe that the downtown area will be better served if the site is expanded. The plan also varies the proposed grades on Newberry Way. We seek TAC input before we engage in final designs.

Project Overview

The project is a re-purposing of the Gilley's Restaurant site shown on Tax Map 117 – Lot 8. The site is famous in Portsmouth folklore as a food truck.....before the modern food truck era. The introduction of added modern food trucks will serve to complement the site appeal and bring the dining experience forward.

Site Plan Submission

The submission requirements of the City of Portsmouth Site Plan Regulations have been reviewed. The submission herein complies with the requirements. Plans are drawn in accordance with scale and size requirements, with dates, titles, north orientation, Map and Lot, Zoning, revision blocks, and Legends. The proposed uses and square footage of use are shown on the architectural plans. The professional's seals with license numbers are on the submitted plans. The Existing Conditions plan shows the site topography, building location with floor elevation, feature locations, and driveway access / egress and current parking configuration. Available utility information is shown. Subsequent plans show the proposed development with the associated site improvements and construction details.

Site Zoning

Consistent with other properties along Fleet Street, the property is zoned Character District 5 (CD5). The CD5 District is an urban zoning district that allows for a wide array of higher density commercial and residential uses. The Property is also subject to several Overlay Districts. The property is located within Historic District Commission (HDC) overview and the Downtown Overlay District (DOD).

The proposed food trucks conform to an allowed use under Section 9.20 Restaurant Take Out Only. Site Plan C201 shows the proposed open space non-impervious areas in green color. The proposed project reduces the impervious surface with landscaping areas and brings the site to conformance with 5.8% open space.

Vehicular and Pedestrian Circulation

The site change brings the site to a fully pedestrian experience. On site, inefficient parking gives way to an enhanced pedestrian experience. Proximity to available public parking make this a good site transition. Serving as an anchor to the newly created Newberry Way enhances the re-use and redevelopment of that forgotten corridor, which will be converted. This is consistent with that repurpose. Site development includes seating areas. Bike racks, bathrooms and trash receptacles are provided.

Screening and Landscaping

The site currently is only landscaped along the rear, along the city parking garage wall. The proposed landscaping improvements expand the site landscaping along the Fleet Street frontage, as well as within the site. Landscaping is detailed on Landscape Plan L01D.

Water and Sewage Systems

The site is served by municipal water and sewer. The development proposes no changes to the existing connections to the water and sewer infrastructure on Fleet Street. The plan will show water and sewer changes based on the future Fleet Street improvement plans, to be set up for future coordination. The existing gas service will be relocated to have the meters behind the building, on the new addition, and the food trucks will be served from this new gas meter location. Electrical services to the food truck electrical hookup locations are shown coming from the existing building as an added circuit. The utility demand generated by the additions and added food trucks are not expected to exceed the capacity of the existing infrastructure. Utilities are detailed on the Utility Plan C202.

Stormwater Management

The proposed site decreases the impervious surfaces, therefore there are no negative impacts to downstream receptors or adjacent properties anticipated as a result of this project.

Site Lighting

Adequate lighting of the site and the Newberry Way pedestrian corridor to provide a welcoming and safe pedestrian experience will be designed. The lighting will be building mounted, as well as catenary. The preliminary lighting design is detailed on Landscape Plan L01D.

Site Utilities and Solid Waste

The plan shows the creation of a semi-public Waste Station for the site as well as adjacent business properties. Trash will be collected in a fenced off area supplied with waste totes, with access for trash haulers to roll them out for pick up on a regular schedule. Access to this area will be provided to local businesses via an access code or fob card system. The area is partially on city property; so, an access easement is shown on the plan. It is understood that additional city approval is required for that land use.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Standard Boundary Survey & Existing Conditions Plan V101 – This plan shows the existing site conditions in detail.
- Site Plan C201 – This plan shows the site development layout with the associated Impervious Coverage Table and notations.
- Landscape and Lighting Plan L01D – This plan shows the proposed landscape areas and the site lighting.
- Architectural Plans PA 101 to 401 – These plans show the proposed architectural features of the addition and the food trucks.
- Grading & Utility Plan C202 – This plan shows proposed site utilities and grading.
- Offsite Improvements Plan & Profile C301 – This plan shows proposed grading in Newberry Way.
- Detail Plans C501 to 502 – These plans shows proposed site details.

We look forward to an in-person presentation to the Technical Advisory Committee and the review of this submission and feedback on the proposed design.

Sincerely,

A handwritten signature in black ink, appearing to read 'JRC', with a long horizontal flourish extending to the right.

John R. Chagnon, PE

P:\NH\5010156-McNabb_Properties\004-175 Fleet St., Portsmouth-JRC\03-WIP_Files\City of Portsmouth Site Plan\TAC Workshop Submission Letter 11-4-25.doc

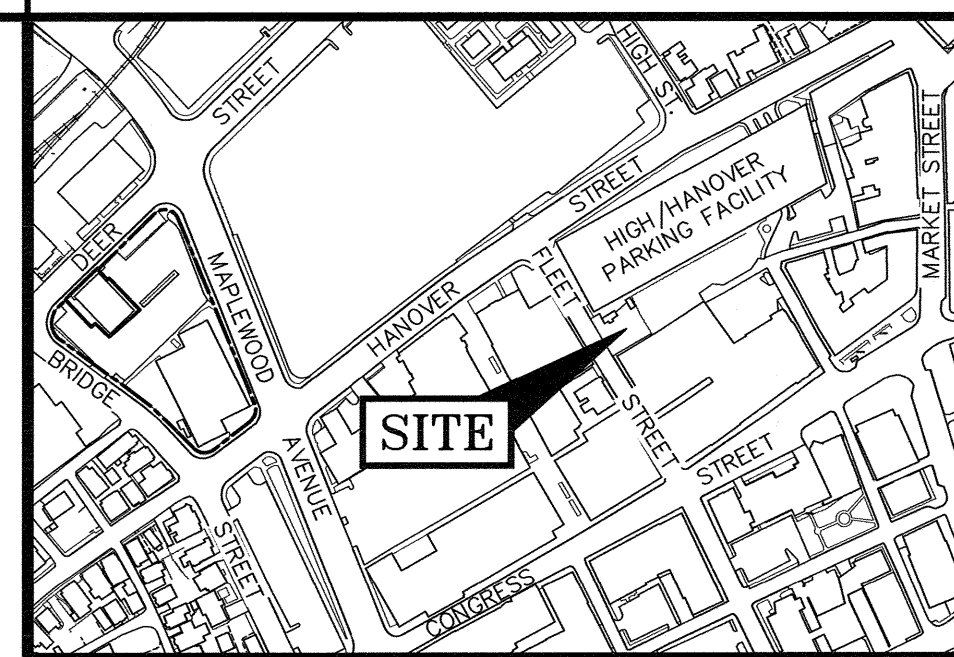
LEGEND:

- N/F
RP
RCRD
RR SPK
IR FND
IP FND
IR SET
DH FND
DH SET
SEWER LINE
GAS LINE
STORM DRAIN
WATER LINE
UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC/WIRES
CONTOUR
SPOT ELEVATION
EDGE OF PAVEMENT (EP)
UTILITY POLE
WATER SHUT OFF/CURB STOP
GAS SHUT OFF
GATE VALVE
HYDRANT
METER (GAS, WATER, ELECTRIC)
CATCH BASIN
TELEPHONE MANHOLE
SEWER MANHOLE
DRAIN MANHOLE
ELEVATION
EP
FF
INV
TBM
TYP
VGC/SGC
- NOW OR FORMERLY
RECORD OF PROBATE
ROCKINGHAM COUNTY
RAILROAD SPIKE
MAP 11/LOT 21
IRON ROD FOUND
IRON PIPE FOUND
IRON ROD SET
DRILL HOLE FOUND
DRILL HOLE SET
BOUND FOUND
SEWER LINE
GAS LINE
STORM DRAIN
WATER LINE
UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC/WIRES
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CATCH BASIN
TELEPHONE MANHOLE
SEWER MANHOLE
DRAIN MANHOLE
ELEVATION
EP
FF
INV
TBM
TYP
VGC/SGC

PLAN REFERENCES:

- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1" = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537.
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED.

- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, RCRD C-16161.
- 9) EXISTING CONDITIONS PLAN HIGH/HANOVER PARKING FACILITY, HANOVER STREET, PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, SCALE: 1" = 20', DATED: 5/5/99, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., NOT RECORDED.
- 10) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.
- 11) STANDARD BOUNDARY SURVEY TAX MAP 17 LOTS 14 & 15, OWNER OF RECORD: PETER H. JARVIS & SONS, LLC, PROPERTY LOCATED AT: 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED: NOVEMBER 2021, SCALE: 1" = 20', PREPARED BY AMBIT ENGINEERING, INC., RCRD D-43095.
- 12) SITE PLAN FOR HOUSE-GOODMAN LIMITED PARTNERSHIP 43-49 CONGRESS STREET PORTSMOUTH, N.H. PREPARED BY: RICHARD P. MILLETTE AND ASSOCIATES, SCALE: 1"=10', DATED: NOVEMBER 15, 1983, NOT RECORDED.



LOCATION MAP SCALE: 1" = 300'

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 117 AS LOT 8.
- 2) OWNERS OF RECORD:
RALPH 1912 LLC
10 PLEASANT STREET, SUITE 300
PORTSMOUTH, NH 03801
6637/2224
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
- 4) EXISTING LOT AREA:
4,017 S.F.
0.0922 ACRES
- 5) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) DISTRICT, HISTORIC DISTRICT & DOWNTOWN OVERLAY DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY AND EXISTING CONDITIONS OF ASSESSOR'S TAX MAP 117, LOT 8 IN THE CITY OF PORTSMOUTH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 9) PARCEL IS BENEFITED BY A RIGHT OF WAY OVER ASSESSOR'S MAP 117 LOT 12 AS SHOWN HEREON AND DESCRIBED IN RCRD 1041/244.
- 10) PARCEL IS SUBJECT TO AND BENEFITED BY A PARTY WALL AGREEMENT ADJACENT TO THE EASTERLY LOT LINE AS DESCRIBED IN RCRD 1059/52. PARTY WALL APPEARS TO HAVE BEEN REMOVED AS PART OF THE CONSTRUCTION OF THE HILL / HANOVER PARKING FACILITY ON ASSESSOR'S MAP 117 LOT 16.
- 11) ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSORS GIS WEBSITE.

1	10/24/25	OWNER OF RECORD, ABUTTER, TOPO	SJR	JRC
0	11/26/24	ISSUED FOR COMMENT	CSA	PAY
No	DATE	DESCRIPTION	BY	CHK

PERMIT PLANS

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

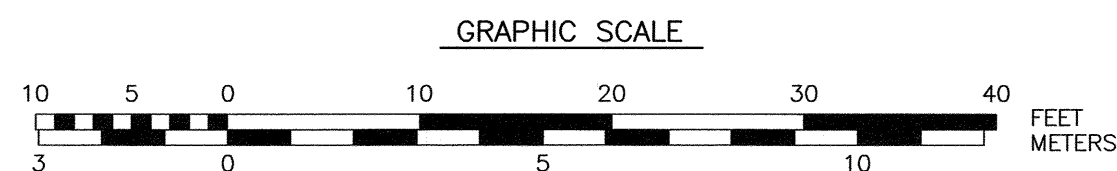
PROJECT
GILLEY'S DINER
175 FLEET STREET, PORTSMOUTH, NH

TITLE
**STANDARD BOUNDARY SURVEY
& EXISTING CONDITIONS PLAN**

		DATE OCTOBER 2025		SCALE 1" = 10'	
DRAWN BY CSA		DESIGNED BY ---		CHECKED BY PAY	
PROJECT No. 5010156.3406		FIELD BOOK & PAGE FB 309 PG 68			
SHEET No. V101				DWG No. 1	

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

Philip A. Yetman
PHILIP A. YETMAN, LLS 1122
DATE
10/29/2025



IMPERVIOUS SURFACE AREAS

(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	741	*914
PAVEMENT	2,942	2,563
CONCRETE	0	51
STAIRS	66	81
RETAINING WALL	149	103
CURB	0	69
TOTAL	3898	3712
LOT SIZE	4,017	4,017
% LOT COVERAGE	97.0%	92.4%

GREEN SPACE = 236 S.F.

*FOOD TRUCK OVER PAVEMENT--NOT ADDED TO STRUCTURE IMPERVIOUS

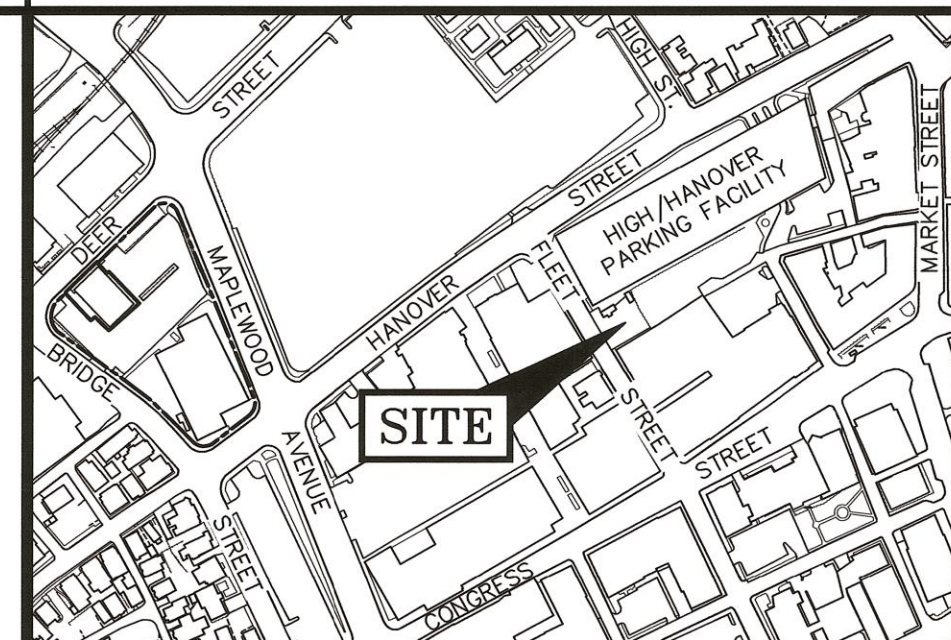
APPROVED CONDITIONS:

1. (2.5.4.2E): ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

2. (2.13.3):

a. THIS SITE SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

b. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL THE FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.



LOCATION MAP

SCALE: 1" = 300'

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6637/2224
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- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE ADDITION TO AN EXISTING DINER AND CREATION OF A FOOD TRUCK COURT ON ASSESSOR'S TAX MAP 117, LOT 8 IN THE CITY OF PORTSMOUTH.
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- 11) ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSORS GIS WEBSITE.

0	11/04/25	ISSUED FOR COMMENT	SJR	JRC
No	DATE	DESCRIPTION	BY	CHK

DRAWING ISSUE STATUS

PERMIT PLANS

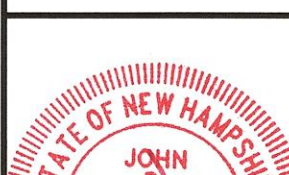


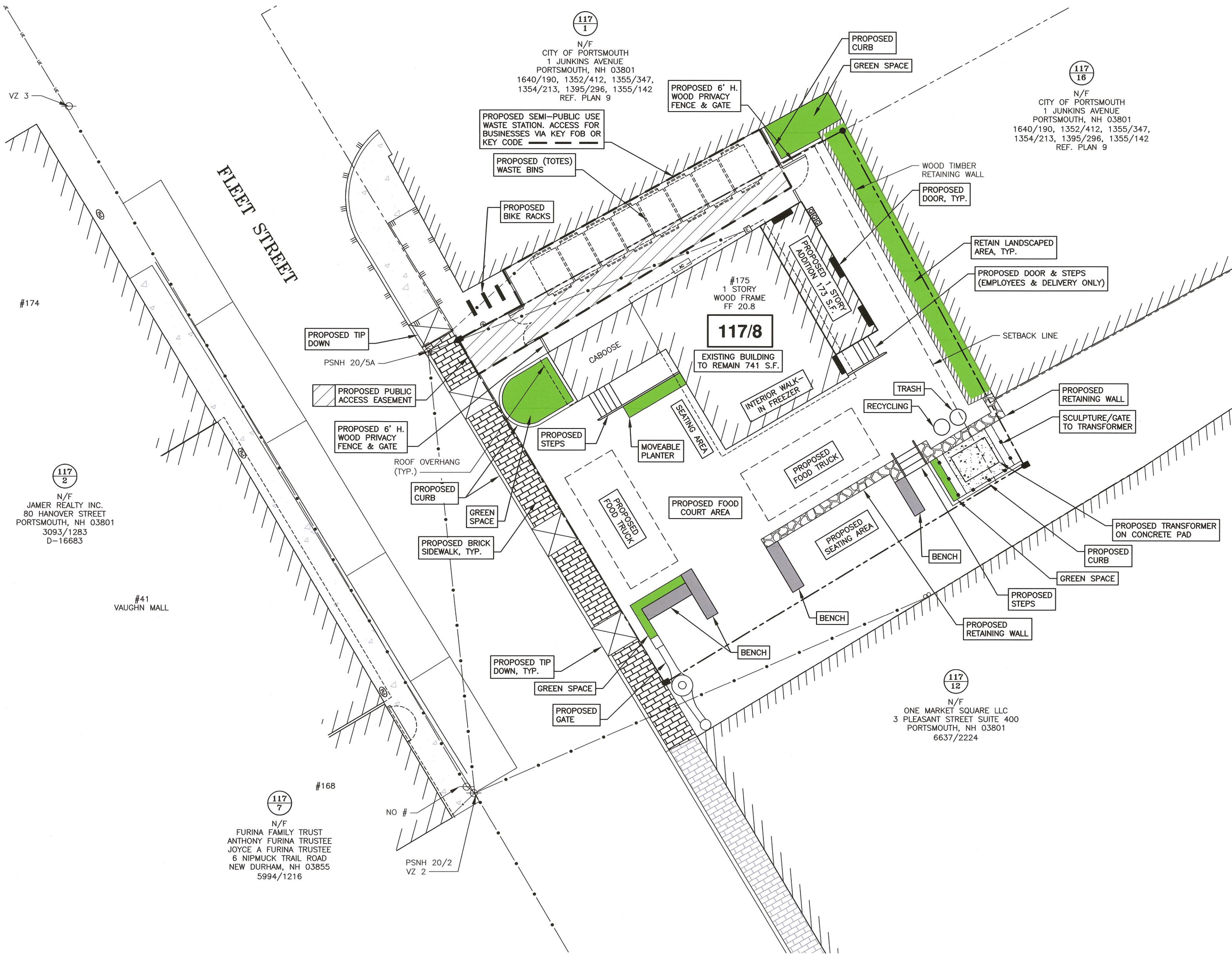
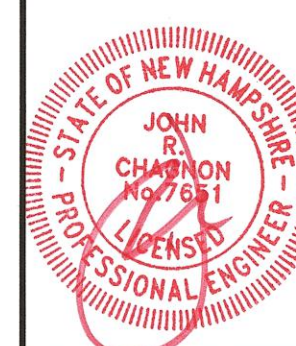
PROJECT

GILLEY'S DINER
175 FLEET STREET, PORTSMOUTH, NH

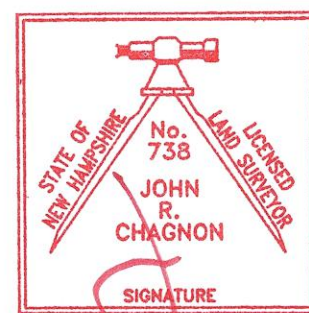
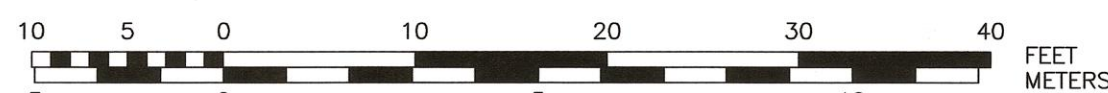
TITLE

SITE PLAN

	DATE OCTOBER 2025	SCALE 1" = 10'	
	DRAWN BY SJR	DESIGNED BY SJR	CHECKED BY JRC
	PROJECT No. 5010156.004	FIELD BOOK & PAGE FB 309 PG 68	
	SHEET No.		DWG No.
	C201		0



GRAPHIC SCALE



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS

DATE

11.4.25

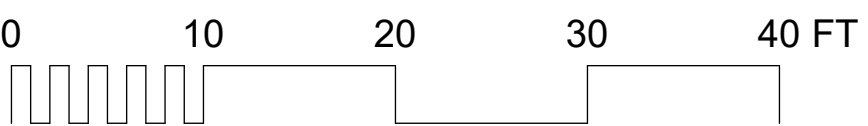
APPROVED BY THE PORTSMOUTH PLANNING BOARD

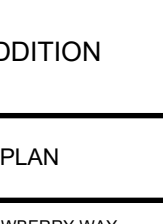
CHAIRMAN

DATE



1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.



No.	Date	By	Revision Notes
No.	Date	Issue Notes	
			
Design firm terra firma landscape architecture 163.a Court Street Portsmouth, NH 03801			
Consultant			
Project title GILLEY'S ADDITION			
Drawn file LANDSCAPE PLAN			
Project Manager		Project ID	
		NEWBERRY WAY	
Drawn By	TC	Date	
	TP	1"-20'-0"	
Civil No.	114/2023	Sheet No.	
DWG file name:	newberry102923.vwx	L-01D	
		_____ of _____ 1	



ARCOVE
ARCHITECTS

767 Islington St., Suite 2A
PORTSMOUTH NH 03801
603.988.0042
www.ARCove.com

**GILLEY'S
ADDITION**

175 FLEET STREET
PORTSMOUTH, NH, 03801

PROJECT NO: 1002.1

OWNER
ONE MARKET SQUARE, LLC
10 PLEASANT STREET, SUITE 3
PORTSMOUTH, NH 03801
603.427.0725

CIVIL ENGINEERING
AMBIT ENGINEERING, A DIVISION OF
HALEY WARD
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, NH 03801
603.430.9282
<https://www.haleyward.com/>

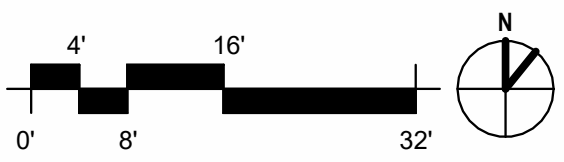
LANDSCAPE ARCHITECTURE
TERRAFIRMA
163-A Court Street
Portsmouth, NH 03801
603.531.9109
www.terrafirmalandarch.com

**SITE PLAN
REVIEW**

REVISIONS

NO.	DATE	DESCRIPTION

PLANS



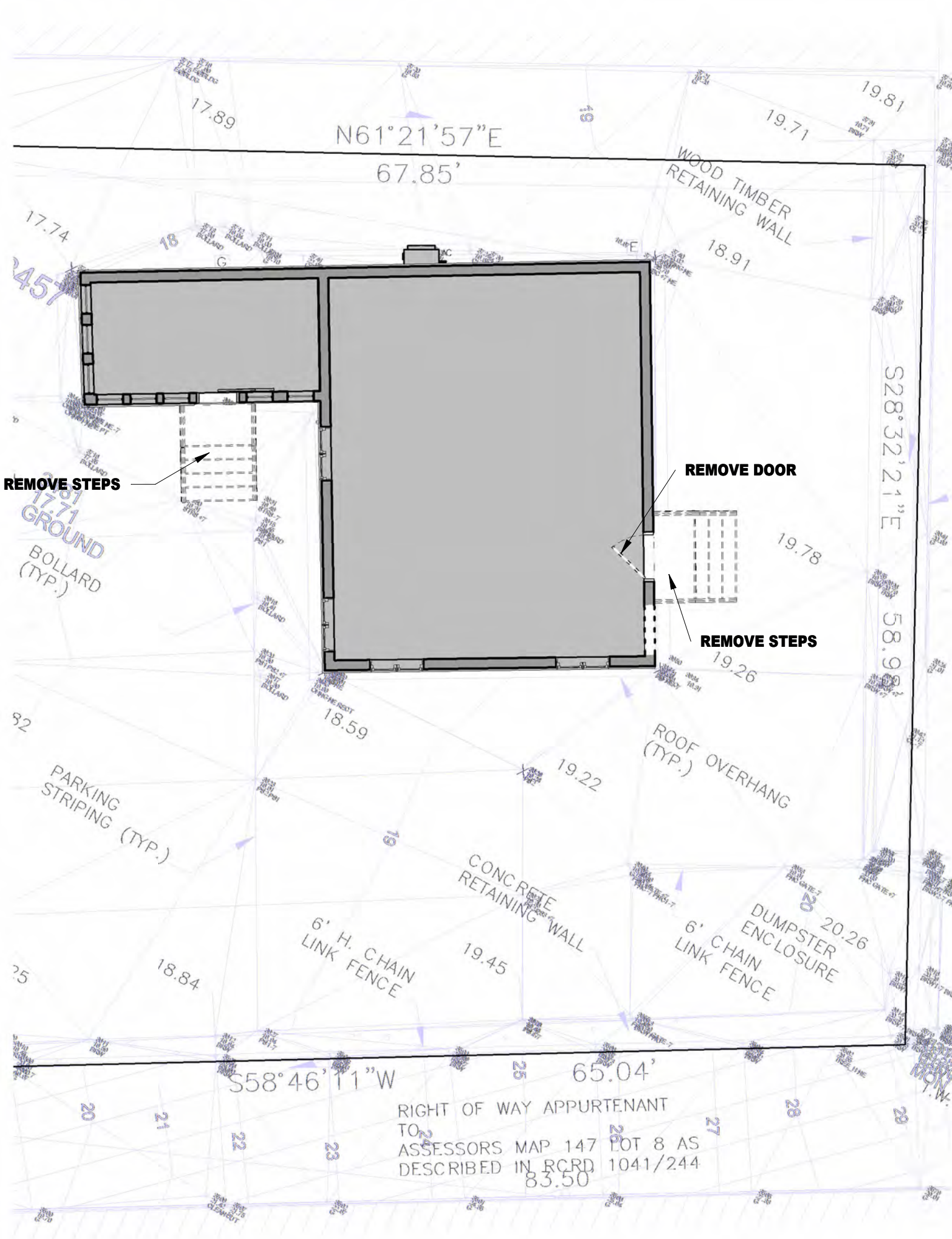
SCALE: 1/8" = 1'-0"

DATE: 11/04/2025

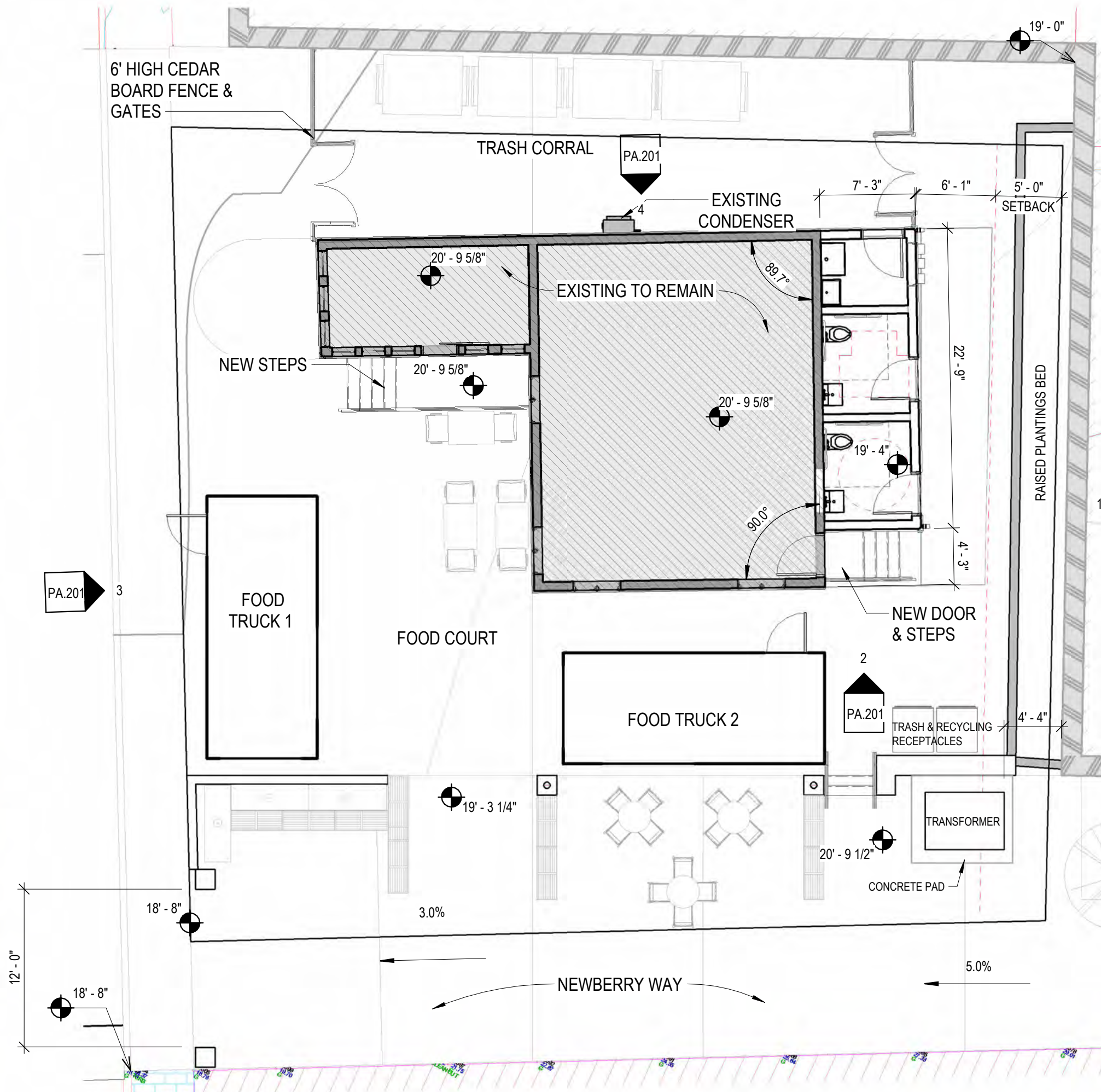
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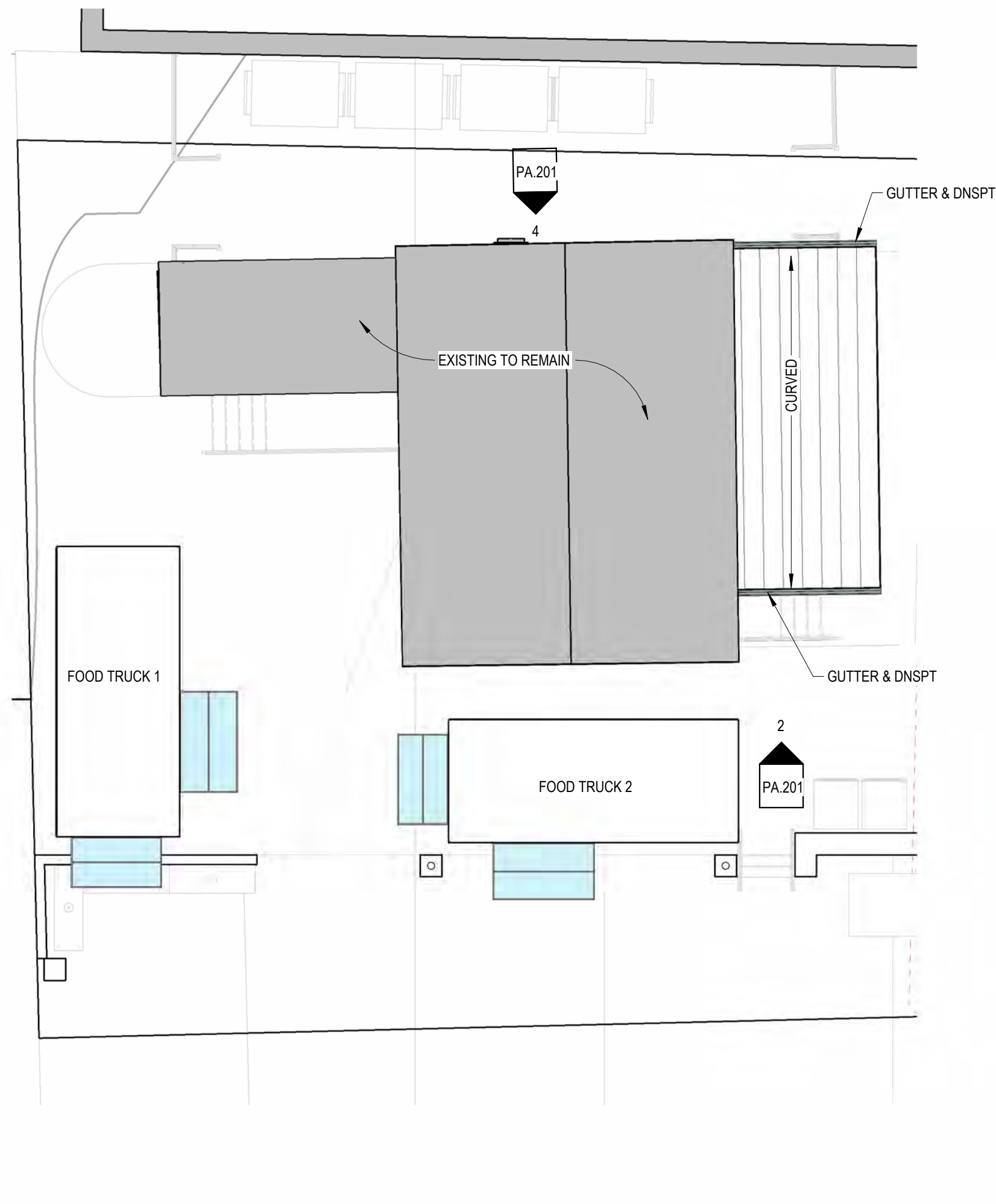
PA.101



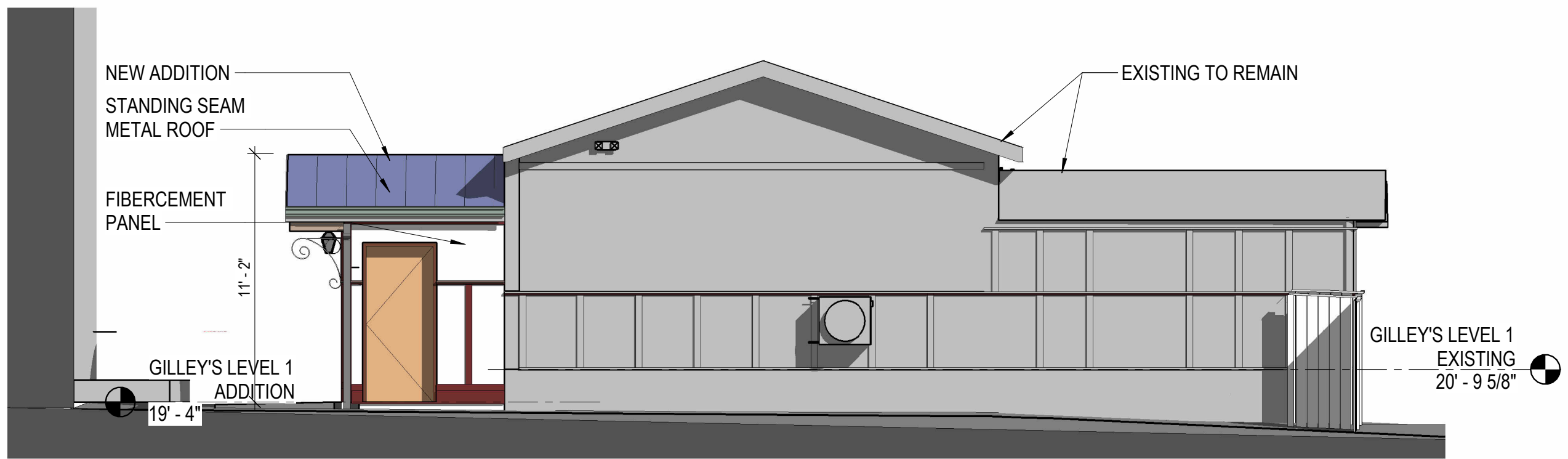
2 DEMOLITION PLAN PB
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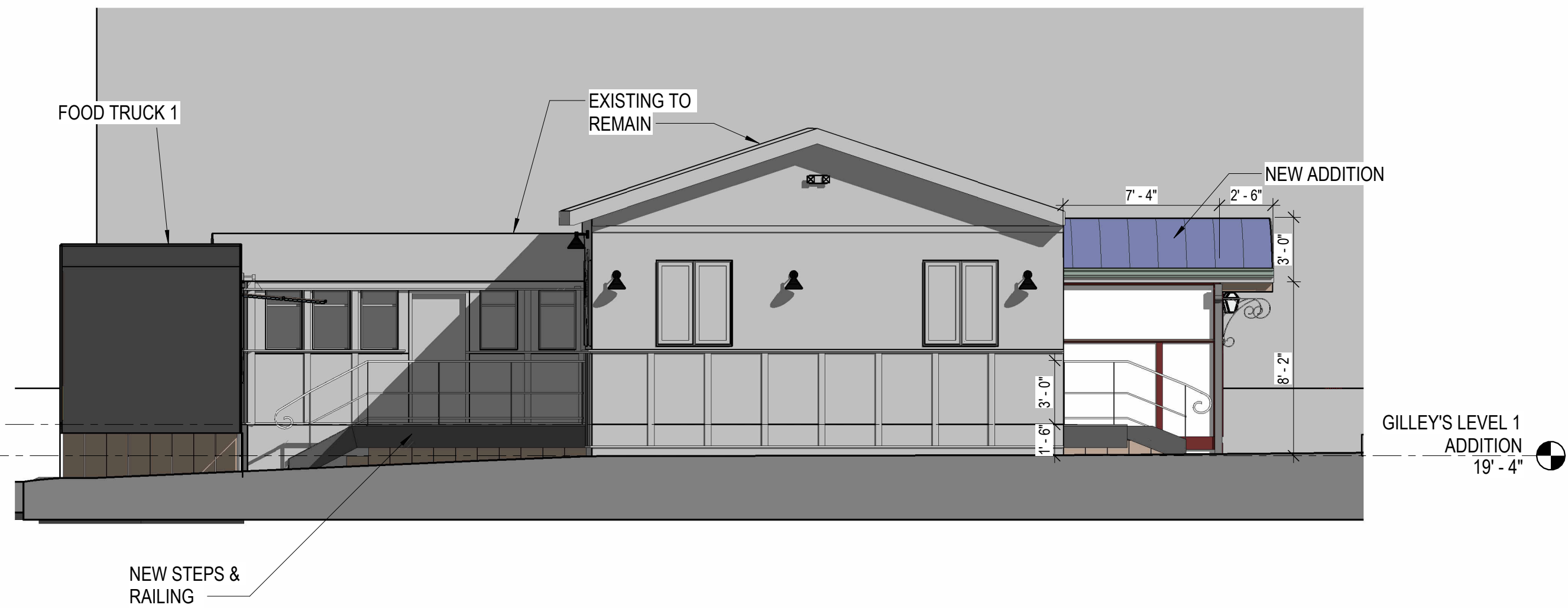
1 FIRST FLOOR PLAN PB
1/8" = 1'-0"



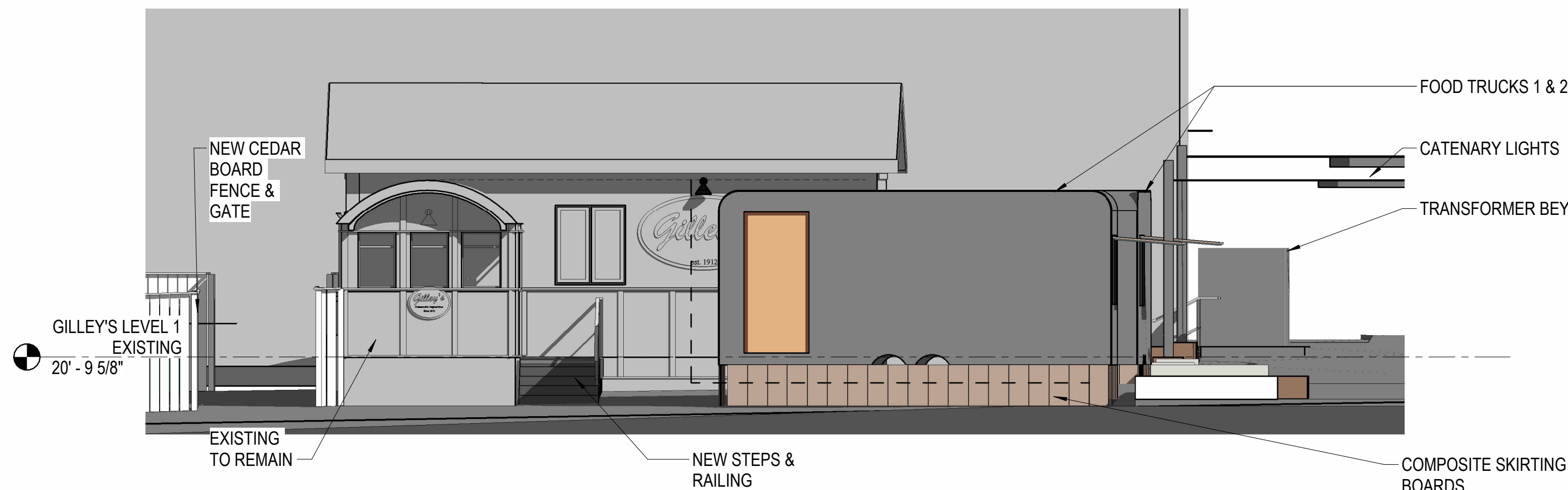
3 ROOF PLAN PB
1/8" = 1'-0"



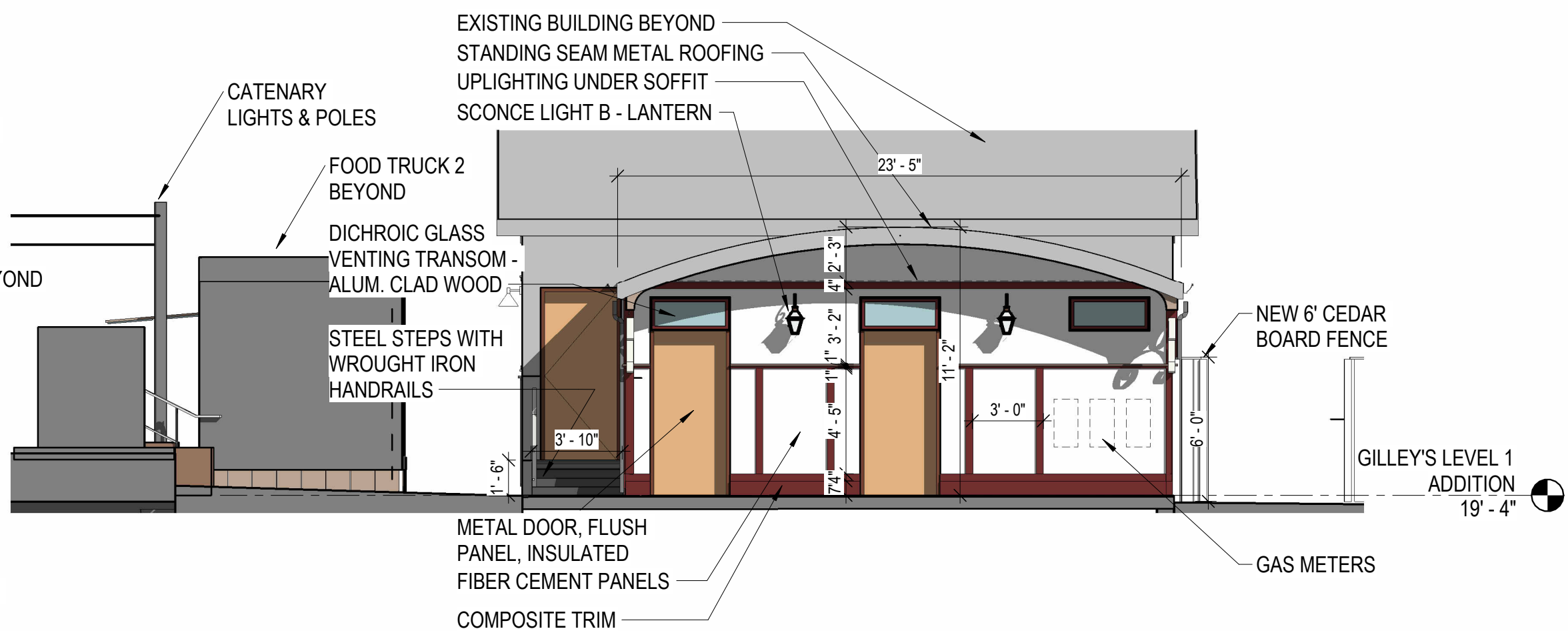
1 GILLEY'S NORTH ELEVATION - TRASH ENCLOSURE
3/16" = 1'-0"



2 GILLEY'S ADDITION SOUTH ELEVATION
3/16" = 1'-0"



3 GILLEY'S WEST ELEVATION - FLEET STREET VIEW
3/16" = 1'-0"



4 GILLEY'S ADDITION EAST ELEVATION
3/16" = 1'-0"



5 3D VIEW FROM FLEET STREET (DESIGN OF FOODTRUCKS IN PROCESS & PER HDC REVIEW)



6 BIRDSEYE AXONOMETRIC



ARCOVE
ARCHITECTS

767 Islington St., Suite 2A
PORTSMOUTH NH 03801
603.988.0042
www.ARCove.com

GILLEY'S ADDITION

175 FLEET STREET
PORTSMOUTH, NH, 03801

PROJECT NO: 1002.1

OWNER
ONE MARKET SQUARE, LLC
10 PLEASANT STREET, SUITE 3
PORTSMOUTH, NH 03801
603.427.0725

CIVIL ENGINEERING
AMBIT ENGINEERING, A DIVISION OF
HALEY WARD
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, NH 03801
603.430.9282
<https://www.haleyward.com/>

LANDSCAPE ARCHITECTURE
TERRAFIRMA
163-A Court Street
Portsmouth, NH 03801
603.531.9109
www.terrafirmalandarch.com

SITE PLAN REVIEW

REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS & 3D

SCALE: 3/16" = 1'-0"

DATE: 11/04/2025

DRAWN: Author

CHECKED: Checker

PA.201



REICO
CraftVan R4-RE Food Trailer



Craft Your Brand, Serve Your Story.

Description: CraftVan Series retro food trailer for sale combines nostalgic charm with modern functionality, making it ideal for coffee, dessert, and bakery businesses. Designed with a retro caravan-style body, it can be customized with wooden interior finishes or smooth modern surfaces, offering both vintage appeal and contemporary options. Perfect as a coffee trailer, dessert trailer, bakery trailer, or mobile bar trailer, CraftVan is popular among entrepreneurs and lifestyle brands seeking a trailer that doubles as a showcase. Unlike standard box trailers, CraftVan delivers personality, flexibility, and eye-catching retro design. Optimized for searches like "retro food trailer for sale", "vintage food truck", and "custom food trailer", it helps businesses attract attention and customers instantly. Secure your CraftVan today with a 50% deposit and enjoy free global shipping.

Highlights: retro food trailer, vintage food truck, craft trailer, concession trailer, coffee trailer, dessert trailer, bakery trailer, mobile bar trailer, wood interior trailer, custom retro food trailer, retro food trailer for sale, vintage food truck for sale, buy craft food trailer

Core Features: Retro caravan-style body, customizable surface finishes, optional wooden interior décor, available in both vintage and modern editions.

Target Users: Coffee and dessert vendors, artisan bakers, retro-themed cafés, mobile bars, lifestyle brands seeking nostalgic appeal.

Differentiation: Unlike standard box trailers, CraftVan offers a classic retro design with optional wood-textured interiors and customizable surface materials. With both vintage-inspired and modern-style versions available, it delivers flexibility for entrepreneurs who want a trailer that's not only functional but also a storytelling centerpiece.

Pricing Information

Basic Appearance Customization

Power Supply Options



CraftVan R4-RE Food Trailer



AVAILABLE
SIZES

- S: 2-4m (2-3 people)
- M: 5-6m (4-6 people)
- L: 7-8m (6-8 people)
- Choose from a range of trailer sizes
- Custom sizes available.



Exterior
Material & Color

- Stainless steel, FRP, aluminum, or galvanized steel panels with anti-rust coating and waterproof seams.
- Exterior materials, colors, and finishes are fully customizable to match your brand and operational needs.



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GILLEY'S
ADDITION

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PORTSMOUTH, NH, 03801

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SITE PLAN
REVIEW

REVISIONS

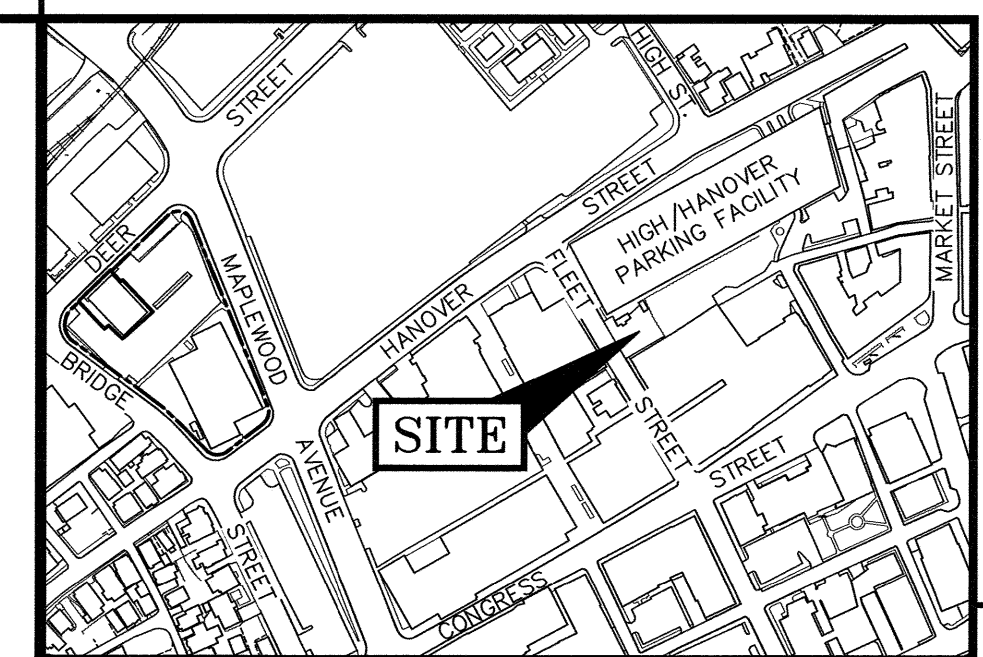
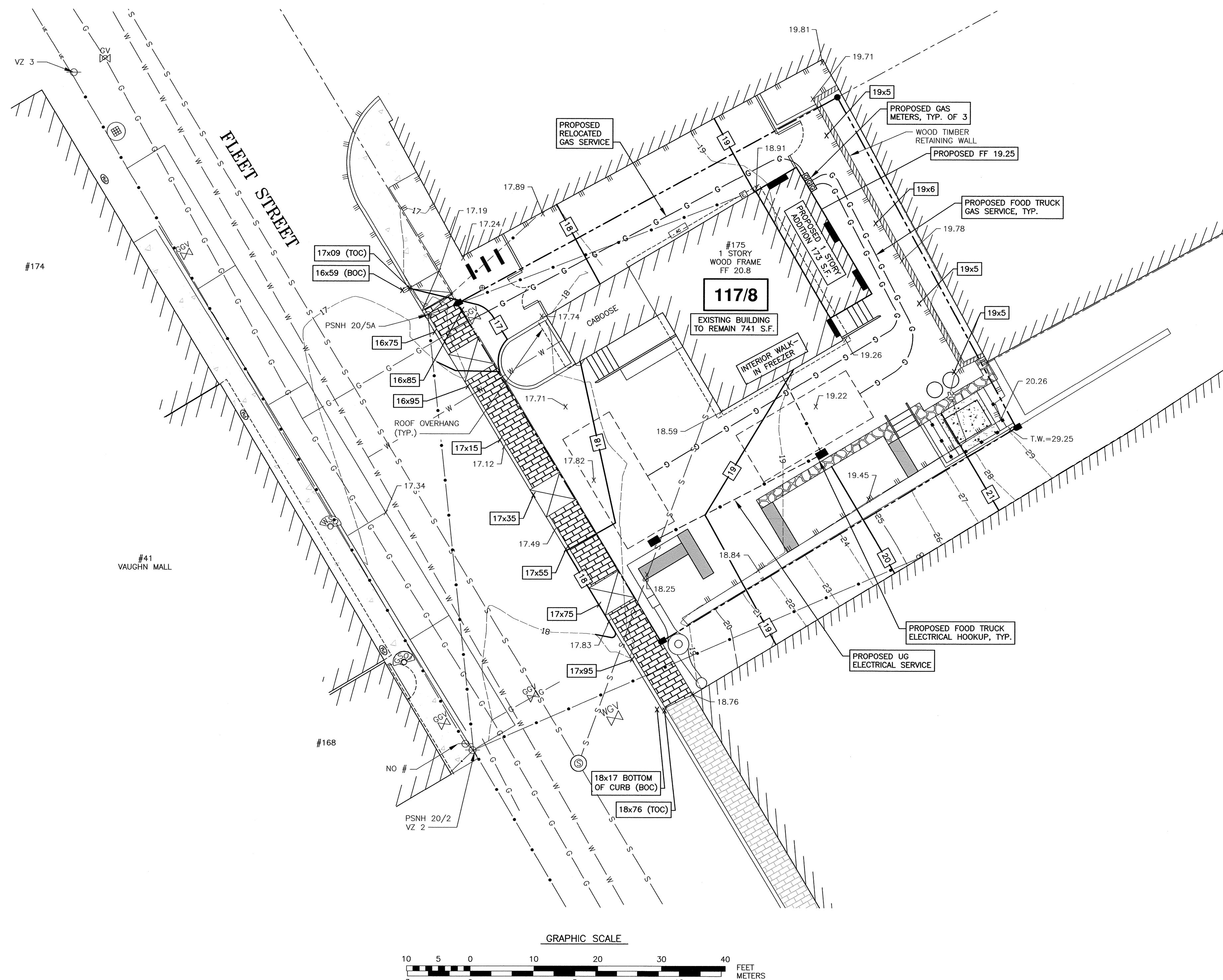
NO.	DATE	DESCRIPTION

FOOD TRUCK

SCALE:

DATE: 11/04/2025
DRAWN: Author
CHECKED: Checker

PA.301



LOCATION MAP SCALE: 1" = 300'

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

0	11/04/25	ISSUED FOR COMMENT	SJR	JRC
No.	DATE	DESCRIPTION	BY	CHK.

PERMIT PLANS



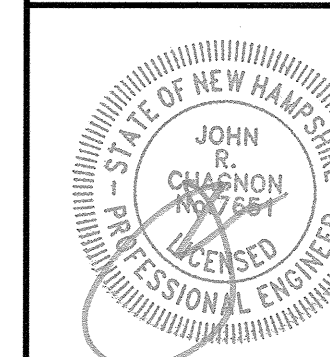
HALEY WARD |

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200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282

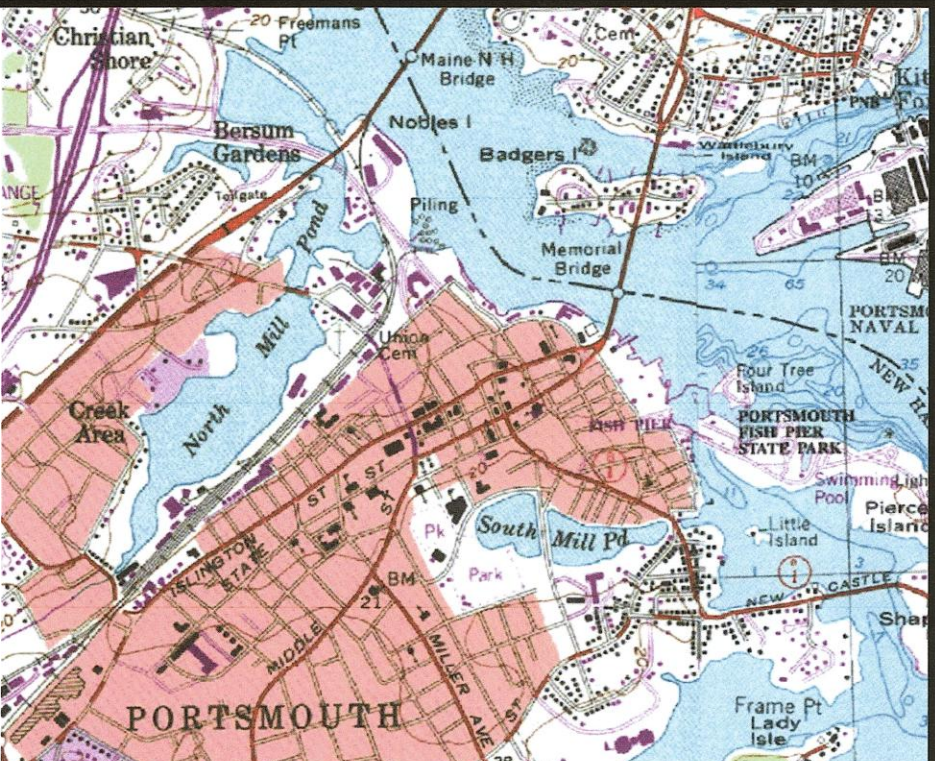
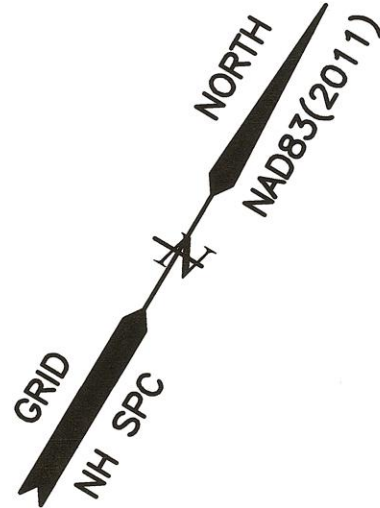
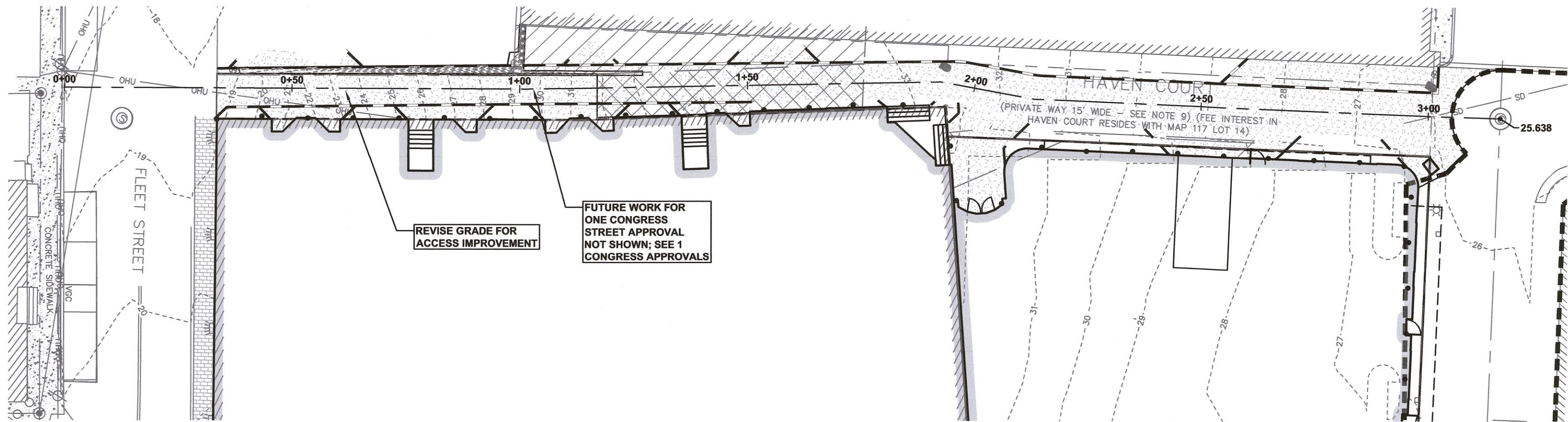
PROJECT

GILLEY'S DINER
175 FLEET STREET, PORTSMOUTH, NH

GRADING & UTILITY PLAN



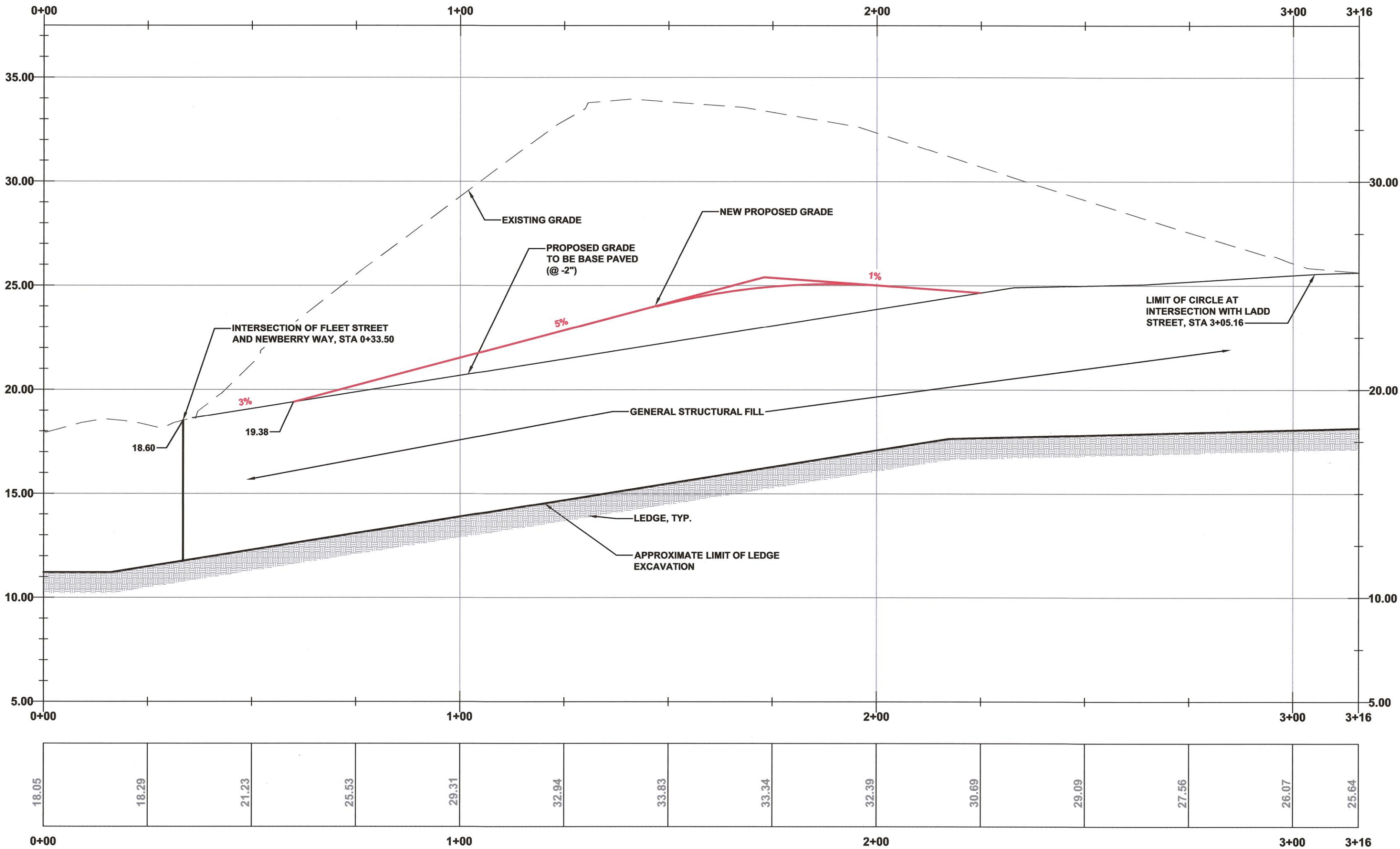
DATE		SCALE	
OCTOBER 2025		1" = 10'	
DRAWN BY	DESIGNED BY	CHECKED BY	
SJR	SJR	JRC	
PROJECT No.		FIELD BOOK & PAGE	
5010156.004		FB 309 PG 68	
SHEET No.		DWG No.	
C202		0	



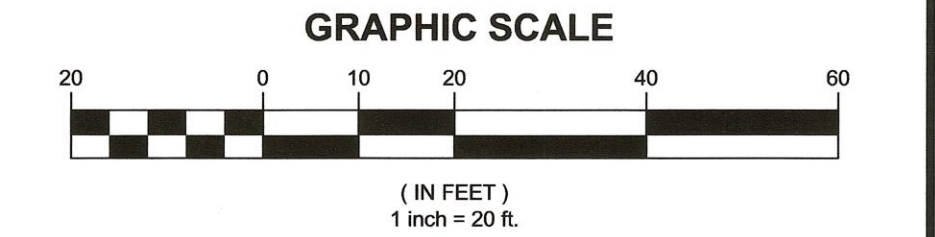
LOCATION MAP: USGS QUADRANGLE: PORTSMOUTH
MAPTECH® USGS TOPOGRAPHIC SERIES™
SCALE: 1"=2000'
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- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
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 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

- PROFILE NOTES:**
- 1) EXISTING & PROPOSED GRADES SHOWN DEPICT CONDITIONS ALONG THE PROPOSED ALIGNMENT.
 - 2) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED VERTICAL AND HORIZONTAL ALIGNMENT ON NEWBERRY WAY. THE CONSTRUCTION OF THE STREET GRADE AND TEMPORARY PAVING IS NEEDED TO COMPLETE THE ADJACENT GILLEY'S DINER CONSTRUCTION.



PROFILE VIEW OF NEWBERRY WAY - STA 0+00 TO 3+16
SCALE: H: 1"=20' / V: 1"=4'



0	10/27/25	ISSUED FOR COMMENT	SJR	JRC
REV.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS				
PERMIT PLANS				



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PROJECT

GILLEY'S DINER
175 FLEET STREET, PORTSMOUTH, N.H.

TITLE

OFFSITE IMPROVEMENTS PLAN & PROFILE
NEWBERRY WAY



DATE	OCTOBER 2025	SCALE	1" = 20'
DRAWN BY	PJM	DESIGNED BY	---
CHECKED BY	JRC	PROJECT No.	5010156.004
SHEET No.	C301		
REV. No.	0		

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

- OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER.
- AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR.
- A REPRESENTATIVE OF THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
- IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

INSTALL PERIMETER CONTROLS, i.e., SILT/SOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES. PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. REMOVE WALL AND STORE.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING ADDITION.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SITE AND WALKWAYS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED AND SITE WORK.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A BUILDING REDEVELOPMENT WITH ASSOCIATED UTILITIES AND PARKING.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.226 ACRES.

BASED ON THE USGS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH HAS AN UNSPECIFIED HYDROLOGIC SOIL GROUP RATING, ASSUMED D.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO THE PISCATAQUA RIVER.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT" CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DUST CONTROL: DUST CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

STABILIZATION MEASURES TO BE USED INCLUDE:

- TEMPORARY SEEDING;
- MULCHING.

- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF

NEARBY SURFACE WATERS OR DELINEATED WETLANDS. THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THESE AREAS, SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT/SOXX, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

MAINTENANCE AND PROTECTION

THE SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILT/SOXX SHALL BE REMOVED ONCE SITE IS STABILIZED, AND DISTURBED AREAS RESULTING FROM SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

THE CATCH BASIN INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;

STOCKPILES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

CONCRETE WASHOUT AREA

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:

- THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY.
- IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
- INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES

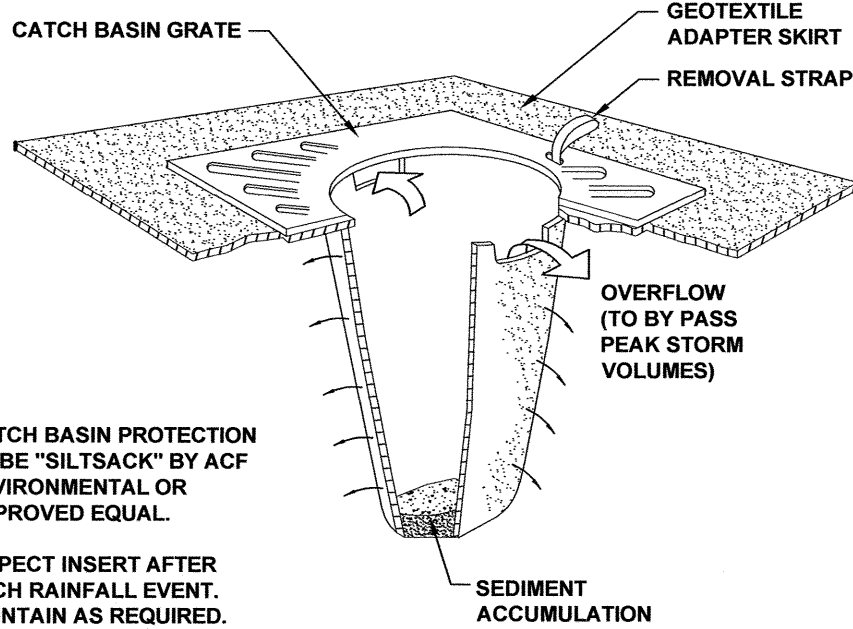
- FIRE-FIGHTING ACTIVITIES;
- FIRE HYDRANT FLUSHING;
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- WATER USED TO CONTROL DUST;
- POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- UNCONTAMINATED GROUND WATER OR SPRING WATER;
- FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- UNCONTAMINATED EXCAVATION DEWATERING;
- LANDSCAPE IRRIGATION.

WASTE DISPOSAL

- WASTE MATERIAL
 - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
 - NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
 - ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL, BY THE SUPERINTENDENT.
- HAZARDOUS WASTE
 - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
 - SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE
 - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

BLASTING NOTES

- CONTRACTOR SHALL CONTACT THE NHDES AND/OR LOCAL JURISDICTION PRIOR TO COMMENCING ANY BLASTING ACTIVITIES.
- FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL SUBMIT A BLASTING PLAN THAT IDENTIFIES:
 - WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR;
 - THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND
 - SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.

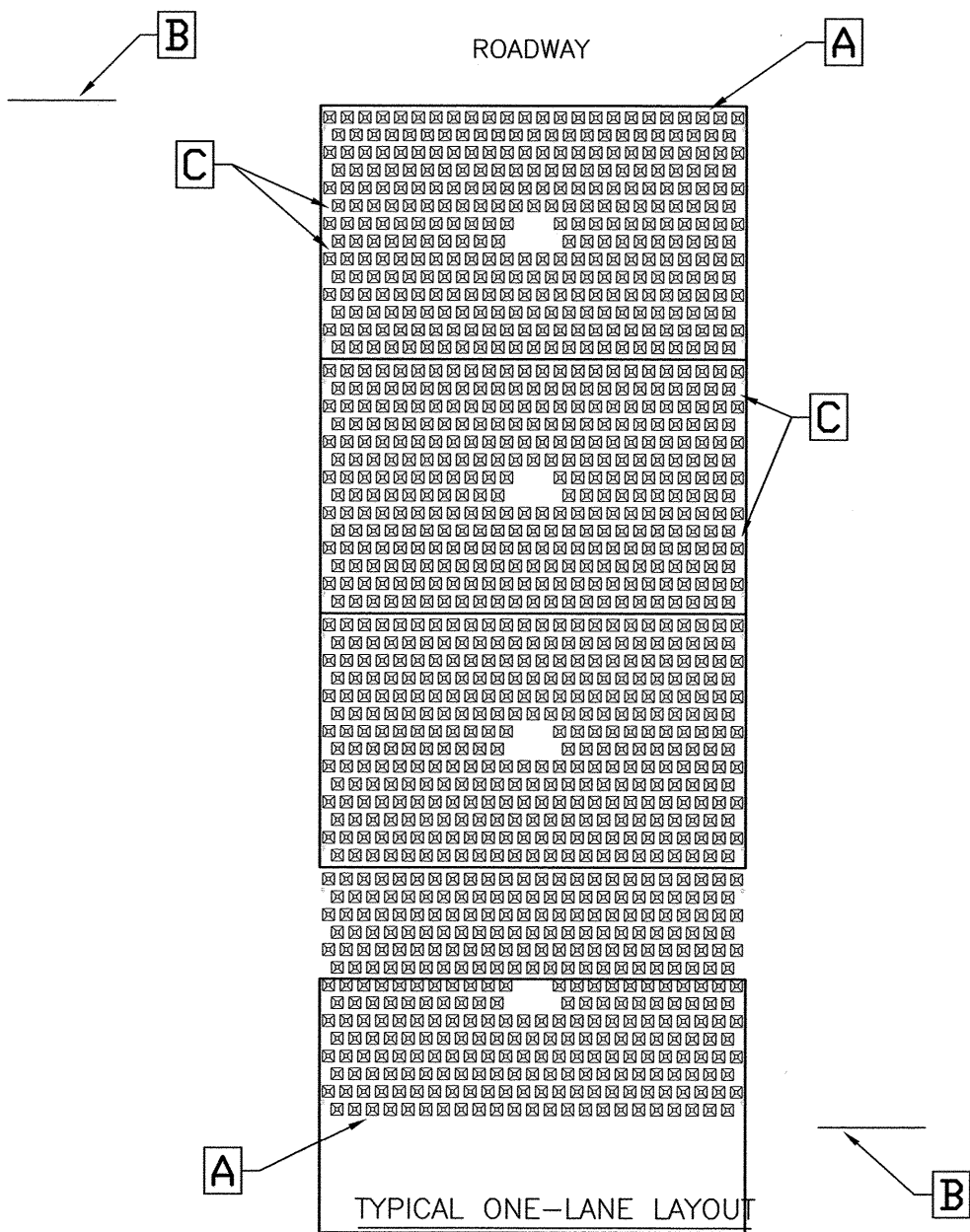


NOTES:

- CATCH BASIN PROTECTION TO BE "SILT/SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL.
- INSPECT INSERT AFTER EACH RAINFALL EVENT. MAINTAIN AS REQUIRED.
- SEDIMENT WITHIN INSERT SHALL BE EMPTIED WHEN 1/2 FULL.

SEDIMENT SACK INLET PROTECTION DETAIL

NTS



INSTALLATION:

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

KEY NOTES:

- FODS TRACKOUT CONTROL SYSTEM MAT.
- FODS SAFETY SIGN.
- ANCHOR POINT.

INSTALLATION:

- THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
- ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
- THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
- AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
- AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
- ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
- NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
- UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
- SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

USE AND MAINTENANCE

- VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
- DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
- MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
- THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

REMOVAL

- REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
- STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
- THE ANCHORS SHOULD BE REMOVED.
- THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
- STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

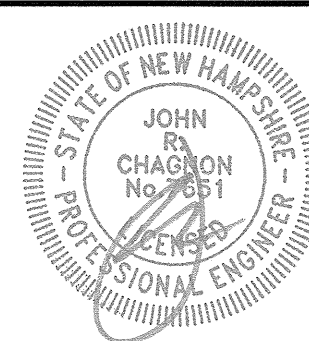
FODS SEDIMENT TRACKING SYSTEM DETAIL

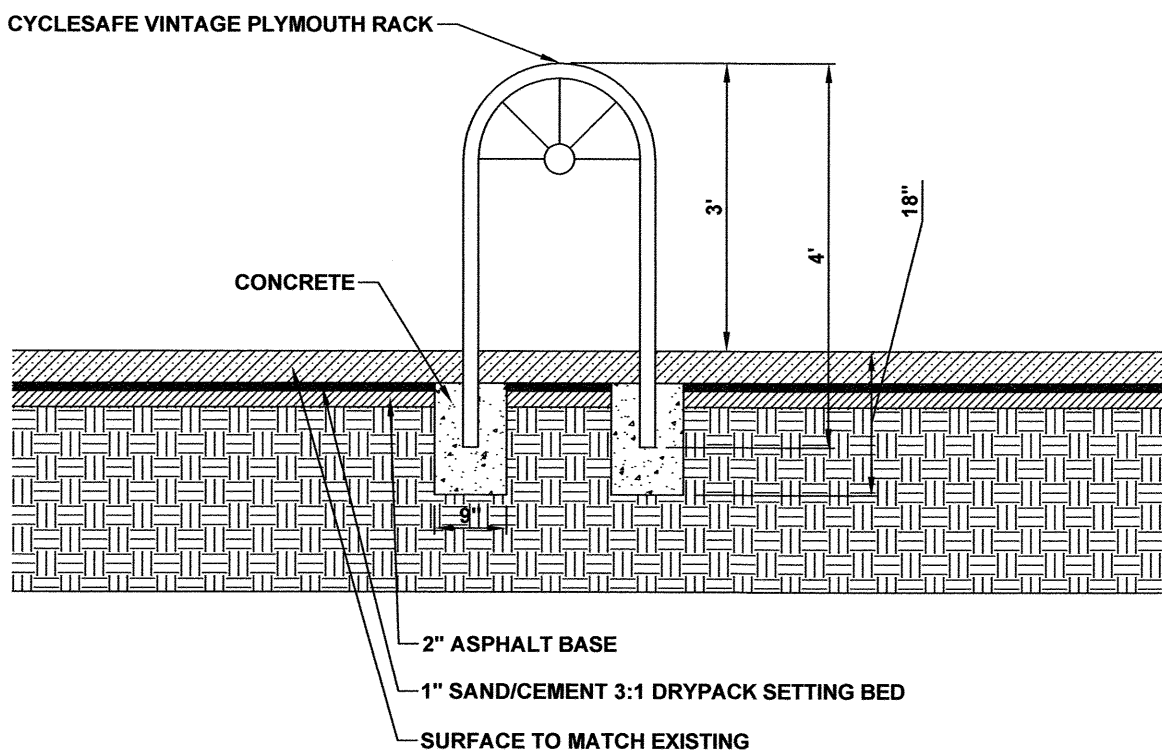
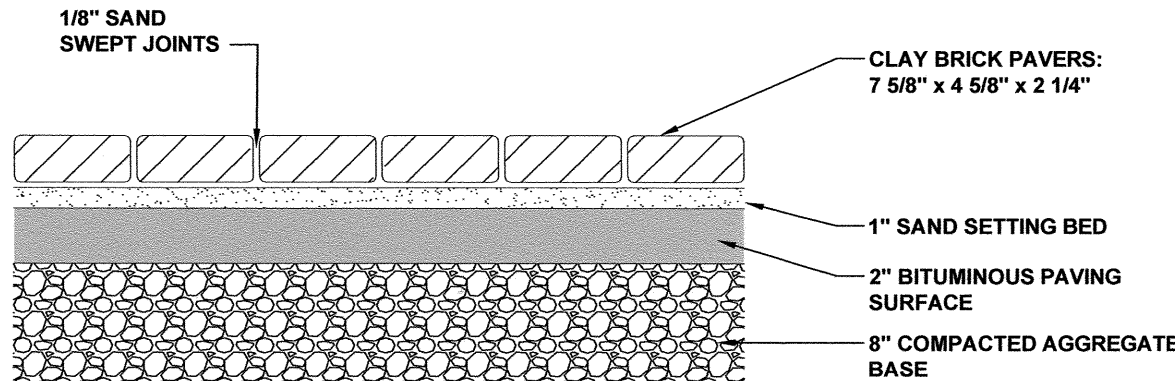
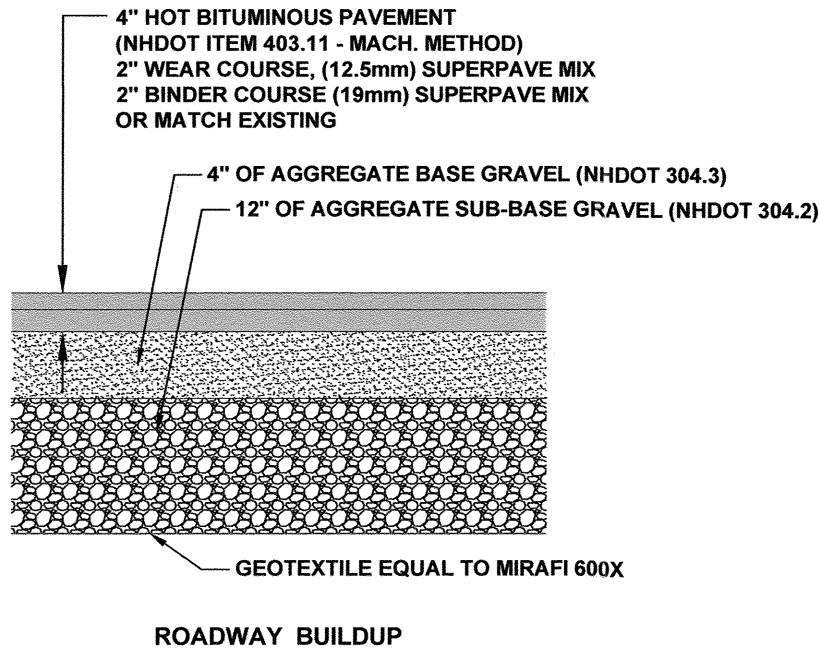
NTS

NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

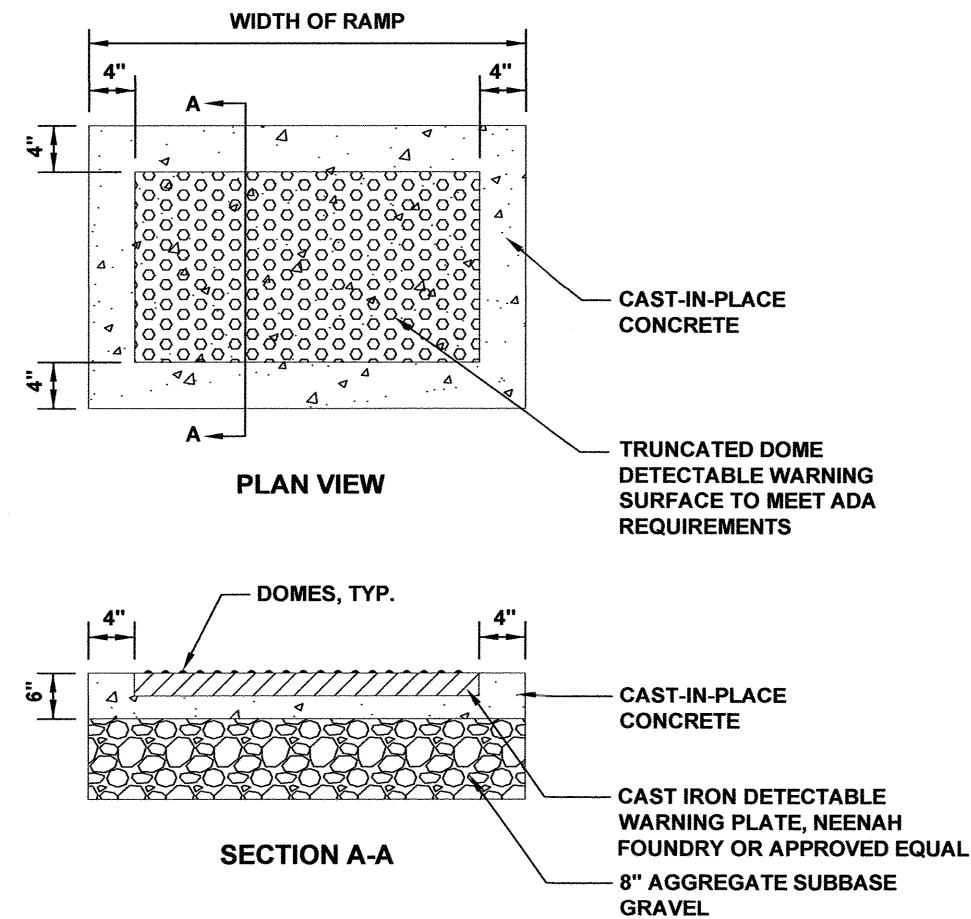
0	11/04/25	ISSUED FOR COMMENT	SJR	JRC
No.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
PERMIT PLANS				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 200 Griffin Rd, Unit 14 Portsmouth, New Hampshire 03801 603.430.9282 WWW.HALEYWARD.COM				
PROJECT GILLEY'S DINER 175 FLEET STREET, PORTSMOUTH, NH				
TITLE DETAILS				
DATE OCTOBER 2025		SCALE 1" = 10'		
DRAWN BY SJR	DESIGNED BY SJR	CHECKED BY JRC		
PROJECT No. 50101156.004		FIELD BOOK & PAGE FB 309 PG 68		
SHEET No.		DWG No.		
C501		0		





TYPICAL ROADWAY BUILDUP DETAIL

NTS



NOTES:

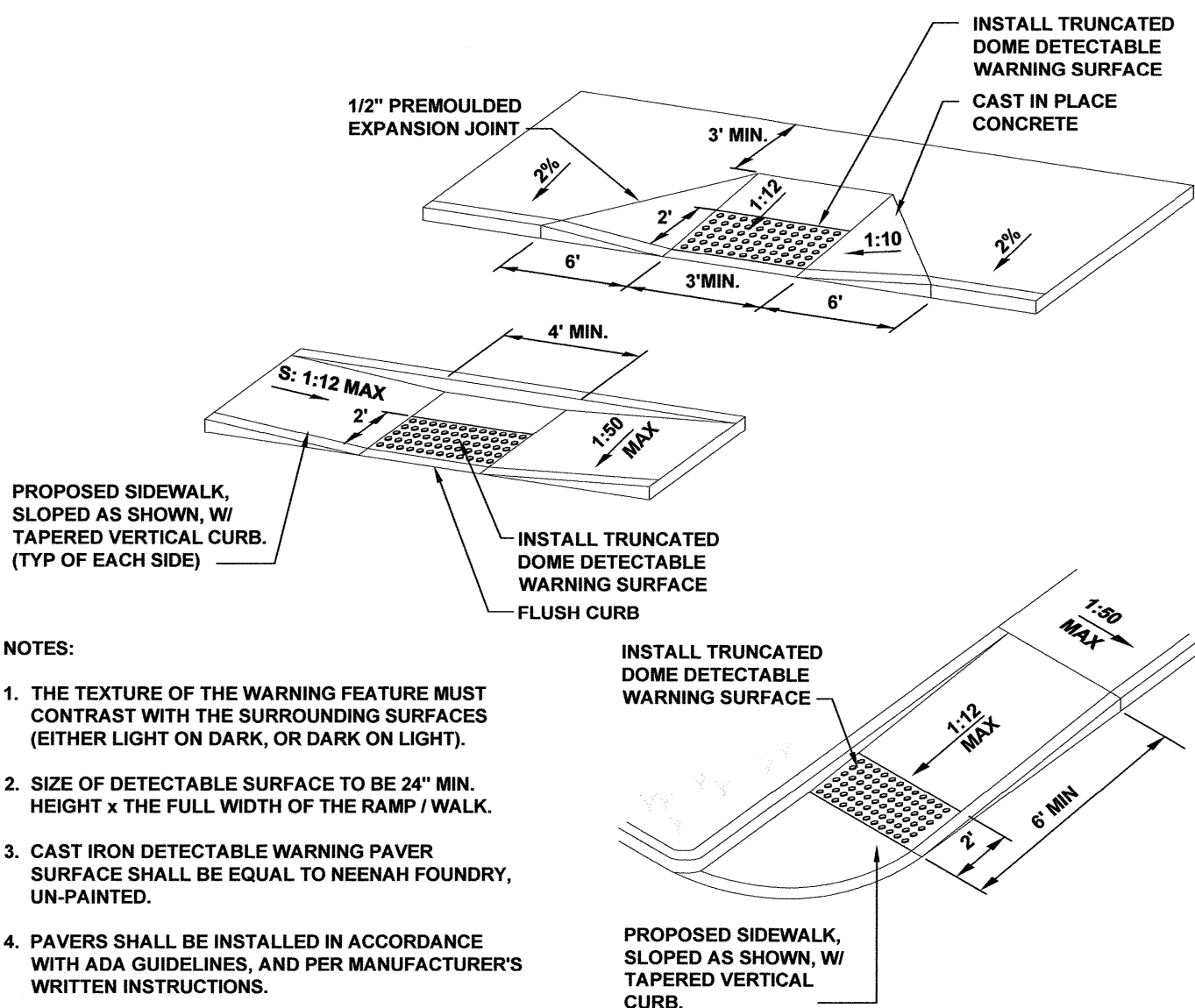
1. DETECTABLE WARNINGS SHALL BE AN INTEGRAL PART OF THE RAMP AND COMPLY WITH ALL SECTIONS OF THE ADA ACCESSIBILITY GUIDELINES AND ALL SECTIONS OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
2. ALL DETECTABLE WARNING AREAS SHALL START 6-10" FROM THE FLOW LINE OF THE CURB, BE 24" IN DEPTH AND COVER THE COMPLETE WIDTH OF THE RAMP AREA ONLY. MATCH ROADWAY RADIUS, TYP.

TYPICAL DETECTABLE WARNING SURFACE DETAIL

NTS

TYPICAL BRICK SIDEWALK DETAIL

NTS



NOTES:

1. THE TEXTURE OF THE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT ON DARK, OR DARK ON LIGHT).
2. SIZE OF DETECTABLE SURFACE TO BE 24" MIN. HEIGHT x THE FULL WIDTH OF THE RAMP / WALK.
3. CAST IRON DETECTABLE WARNING PAVER SURFACE SHALL BE EQUAL TO NEENAH FOUNDRY, UN-PAINTED.
4. PAVERS SHALL BE INSTALLED IN ACCORDANCE WITH ADA GUIDELINES, AND PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

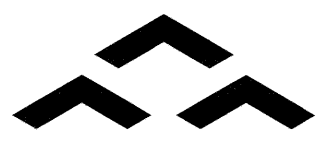
TYPICAL HANDICAP CURB RAMP DETAILS

NTS

- NOTES:
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DRAWING ISSUE STATUS				
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ENGINEERING | ENVIRONMENTAL | SURVEYING
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PROJECT

GILLEY'S DINER
175 FLEET STREET, PORTSMOUTH, NH

TITLE

DETAILS

DATE OCTOBER 2025		SCALE 1" = 10'	
DRAWN BY SJR	DESIGNED BY SJR	CHECKED BY JRC	
PROJECT No. 5010156.004		FIELD BOOK & PAGE FB 309 PG 68	
SHEET No. C502		DWG No. 0	

