SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE PORTSMOUTH, NEW HAMPSHIRE

WORK SESSION

Conference Room A City Hall, Municipal Complex, 1 Junkins Avenue

2:00 PM September 10, 2024

AGENDA

2:00 PM 185 Grafton Drive Site Plan Review

Jim Jalbert, Owner

Civil Works New England, Engineer

(LUTW-24-11)

2:30 PM 1900 Lafayette Rd Amended Site Plan Review

HPIII Boston Portsmouth LLC, Owner

TF Moran, Engineer (LU-124-148)



To whom it may concern,

I am writing on behalf of C&J Bus Lines to formally communicate our plans for further development of the Portsmouth Transportation Center at 185 Grafton Drive. Our plans detail the implementation of paid parking controls, traffic flow improvements, and associated infrastructure. These development plans are the result of a nearly decade-long publicprivate partnership (P3) process with the New Hampshire Department of Transportation (NHDOT), the property owner. This initiative has been undertaken to address both long-term goals and short-term challenges in operating these facilities.

These site development plans aim to establish a secure, fee-based, user-friendly, and low-maintenance parking system that prevents parking abuse, allows for simple administration, and serves the needs of all facility users fairly. Key features of this system will include a fenced perimeter with gated entries and exits, user-friendly parking control kiosks and software, and an enhanced security system. Our goal is to ensure that the traffic flow and user experience remain consistent with what existing facility users are accustomed to. Importantly, access to the fifteen-minute parking spaces and the passenger drop-off curb will remain unobstructed and free to use, with no negative visual or auditory impact on surrounding residential neighborhoods after construction. After four years of successfully operating this model at our Seabrook facility, we have concluded that it significantly enhances public safety, accessibility, and customer experience.

Attached for review are the following documents:

Attachment A: Fully engineered site development plans

C&J is finalizing construction sequencing plans for the Portsmouth site and will attach these in a separate email by 8/20.

The Portsmouth Transportation Center is governed by RSA 674:54 due to its nature as an open and accessible public transit facility and public parking area. Therefore, C&J will host a public hearing with the goal of receiving constructive comments on the site development and construction sequencing plans. We value the input of the Portsmouth community and are eager to incorporate their feedback as appropriate to ensure the success of our design.

We have previously held public meetings during the request for qualifications phase of this initiative and have worked through multiple stages of review with the NHDOT, incorporating rounds of feedback from State engineers. We are now submitting these plans to the NHDOT for their final review and approval.

Subject to the NHDOT's final approval of these plans and an associated lease agreement, we plan to commence construction at the tail-end of the third quarter. C&J proposes the following details for the public hearing:

Date: September 3rd, 4th, or 5th

Start time: Between 6:00 PM and 7:00 PM

Location: C&J Portsmouth Terminal, 185 Grafton Drive

We eagerly anticipate receiving your comments and look forward to the public hearing, as well as any interim questions you may have.

Brooks Jalbert Executive **C&J Bus Lines**



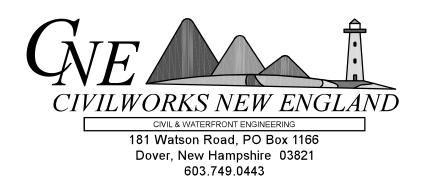
C&J BUS LINES PARKING CONTROL PROGRAM PORTSMOUTH TRANSPORTATION CENTER

PORTSMOUTH, NH 03801 APRIL 15, 2024 REVISED: AUGUST 7, 2024

PREPARED FOR:

JALBERT LEASING, LLC D/B/A C&J BUS LINES 185 GRAFTON DRIVE PORTSMOUTH NH 03801

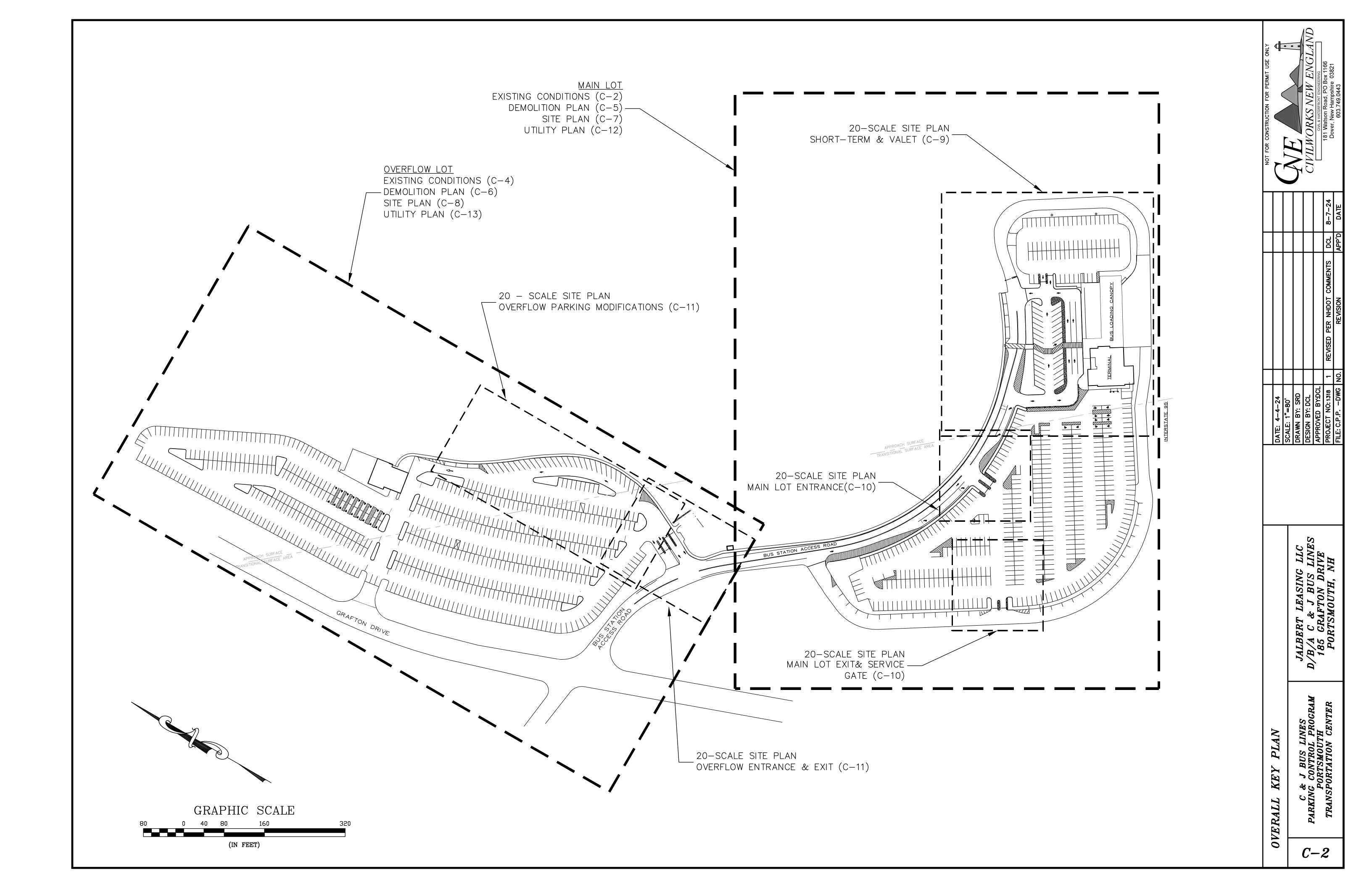
SITE CIVIL ENGINEER

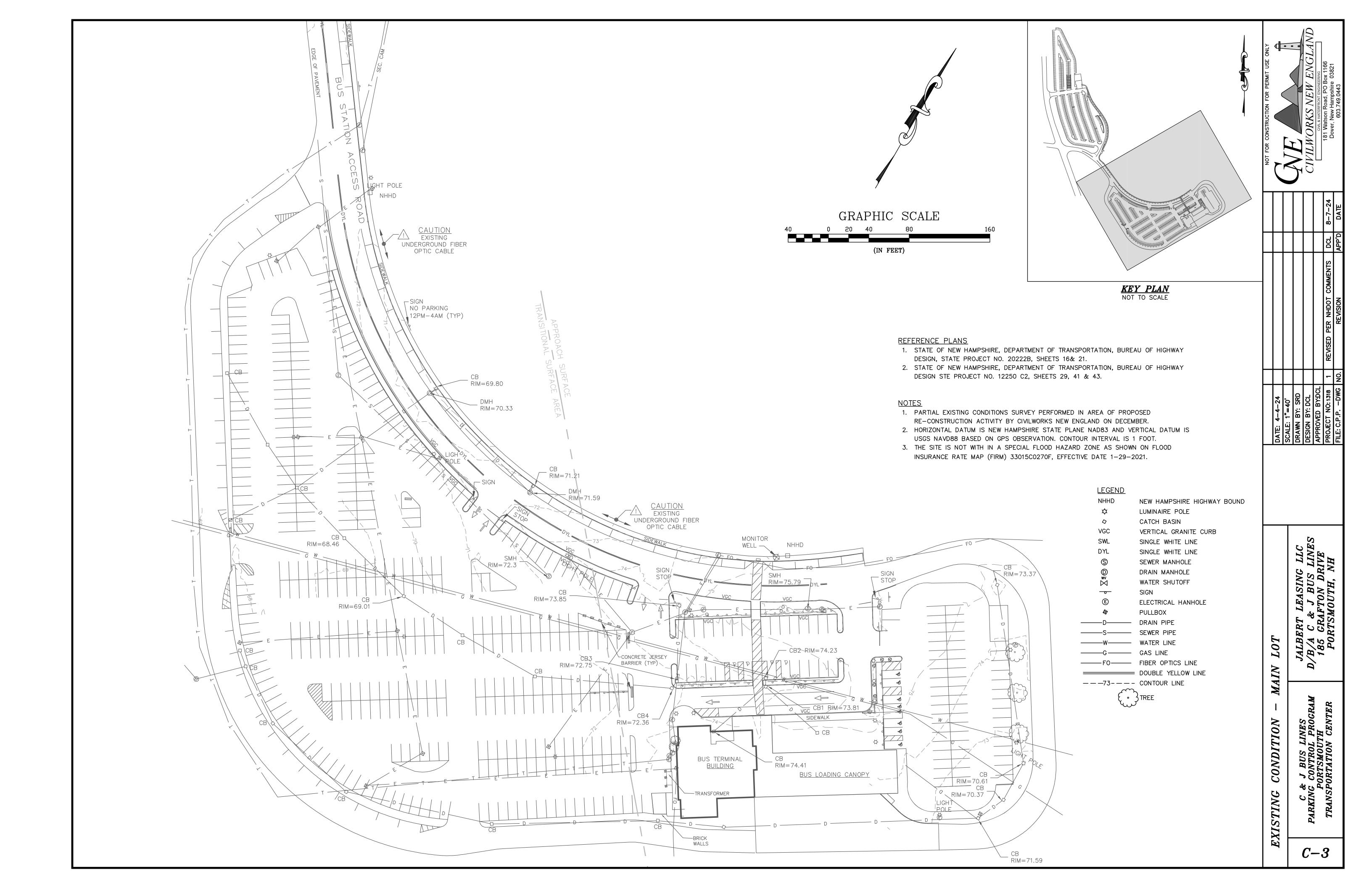


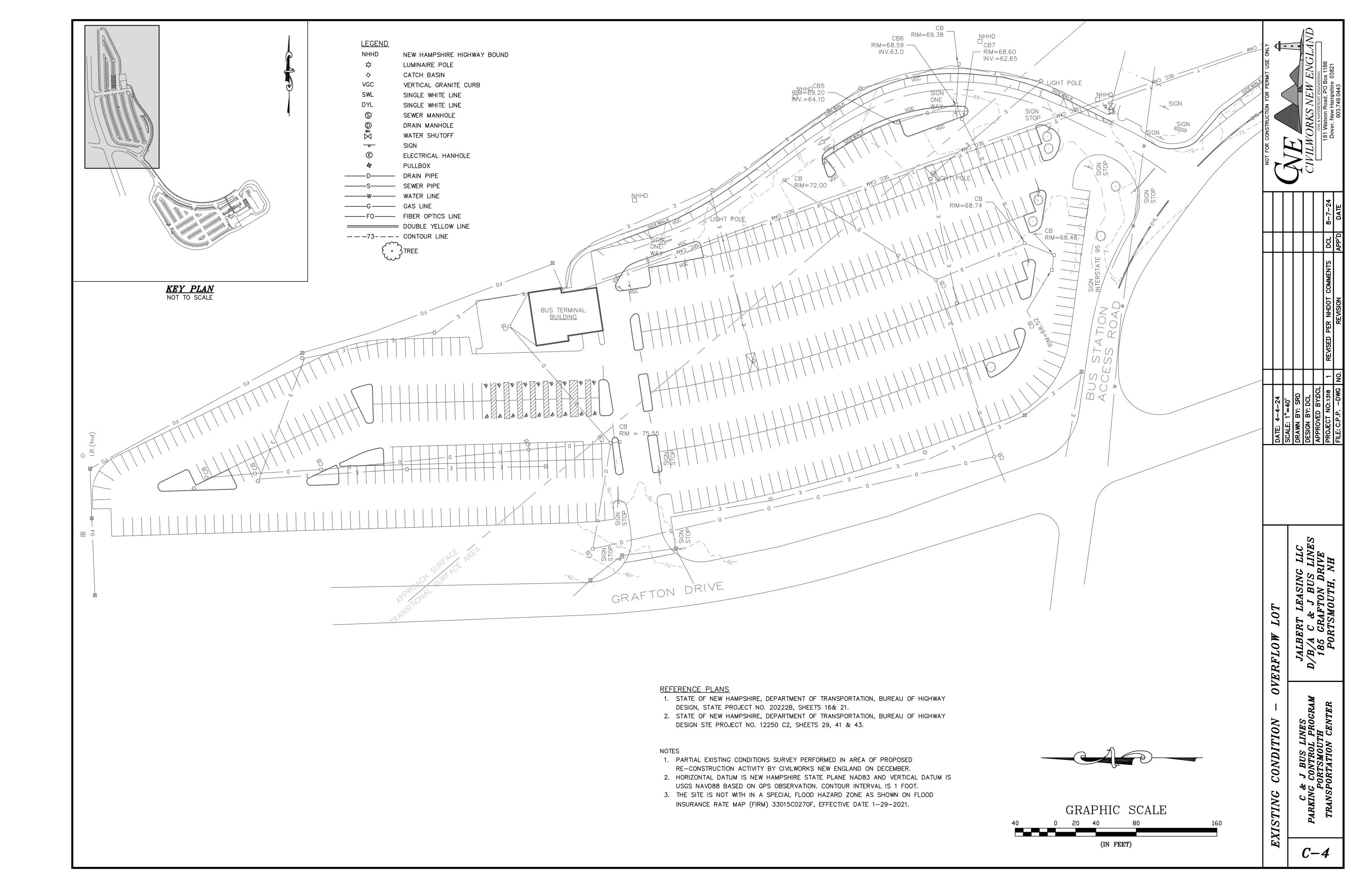
GENERAL NOTES:

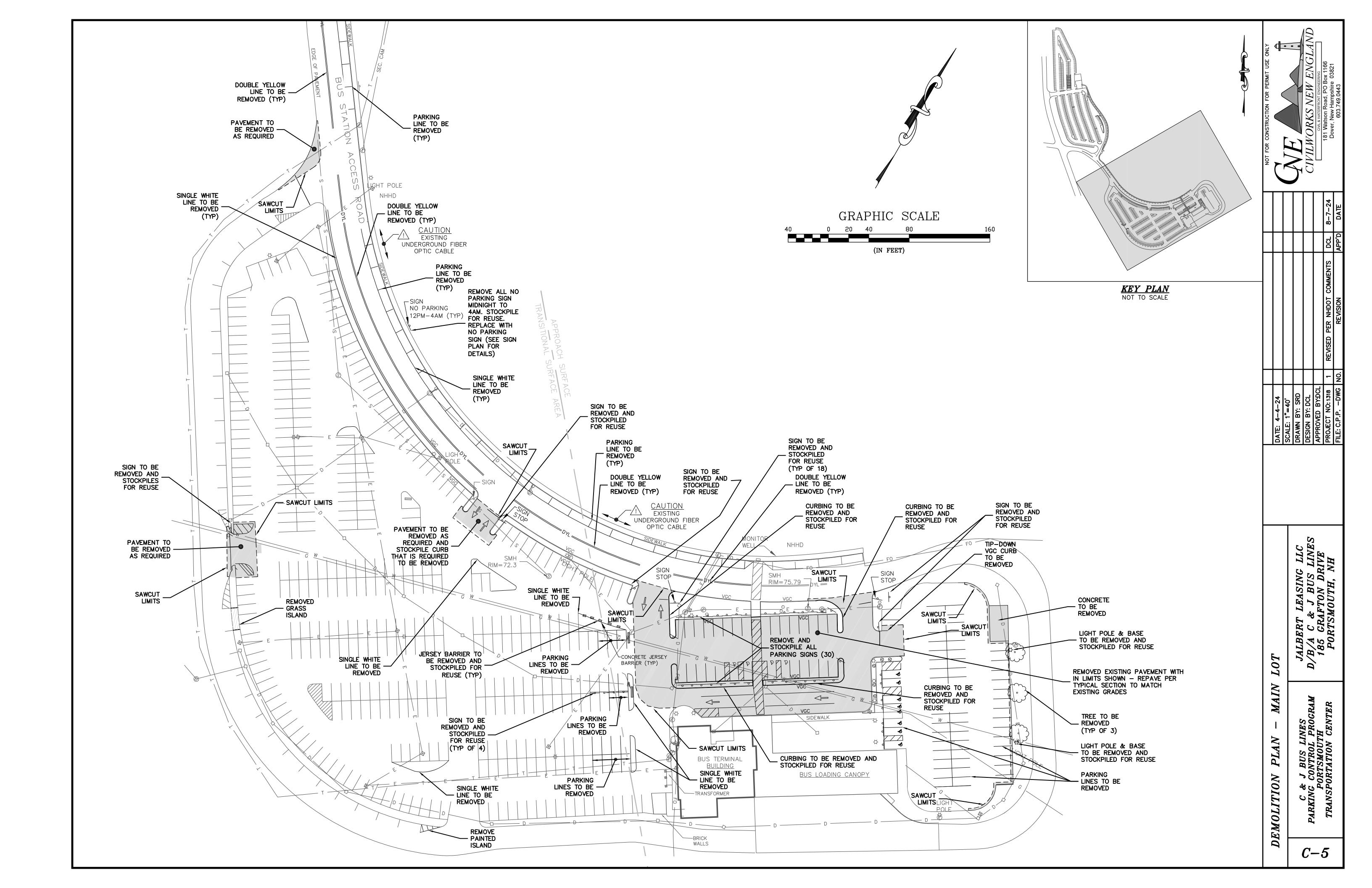
- 1. CONSTRUCT THIS PROJECT IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS UNLESS OTHERWISE INDICATED.
- 2. ADJUSTING, ALTERING AND RELOCATING THE PROPERTY OF ANY PUBLIC UTILITY SHALL BE DONE BY THE OWNER. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER IN THE PERFORMANCE OF THE WORK.
- 3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE EXACT LOCATION SHALL BE ESTABLISHED IN THE FIELD BY THE UTILITY COMPANY PRIOR TO ANY EXCAVATION OF POST DRIVING.
- 4. NO EXISTING MONUMENTS, BOUNDS OR BENCHMARKS SHALL BE DISTURBED WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
- 5. HORIZONTAL DATUM IS NEW HAMPSHIRE STATE PLANE NAD83 AND VERTICAL DATUM ID USGS NAVD88 BASED ON GPS OBSERVATION. CONTOUR INTERVAL 1 FOOT.
- 6. THE SITE IS NOT WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP (FORM) 33015C0270F, EFFECTIVE DATE 1-29-2021.

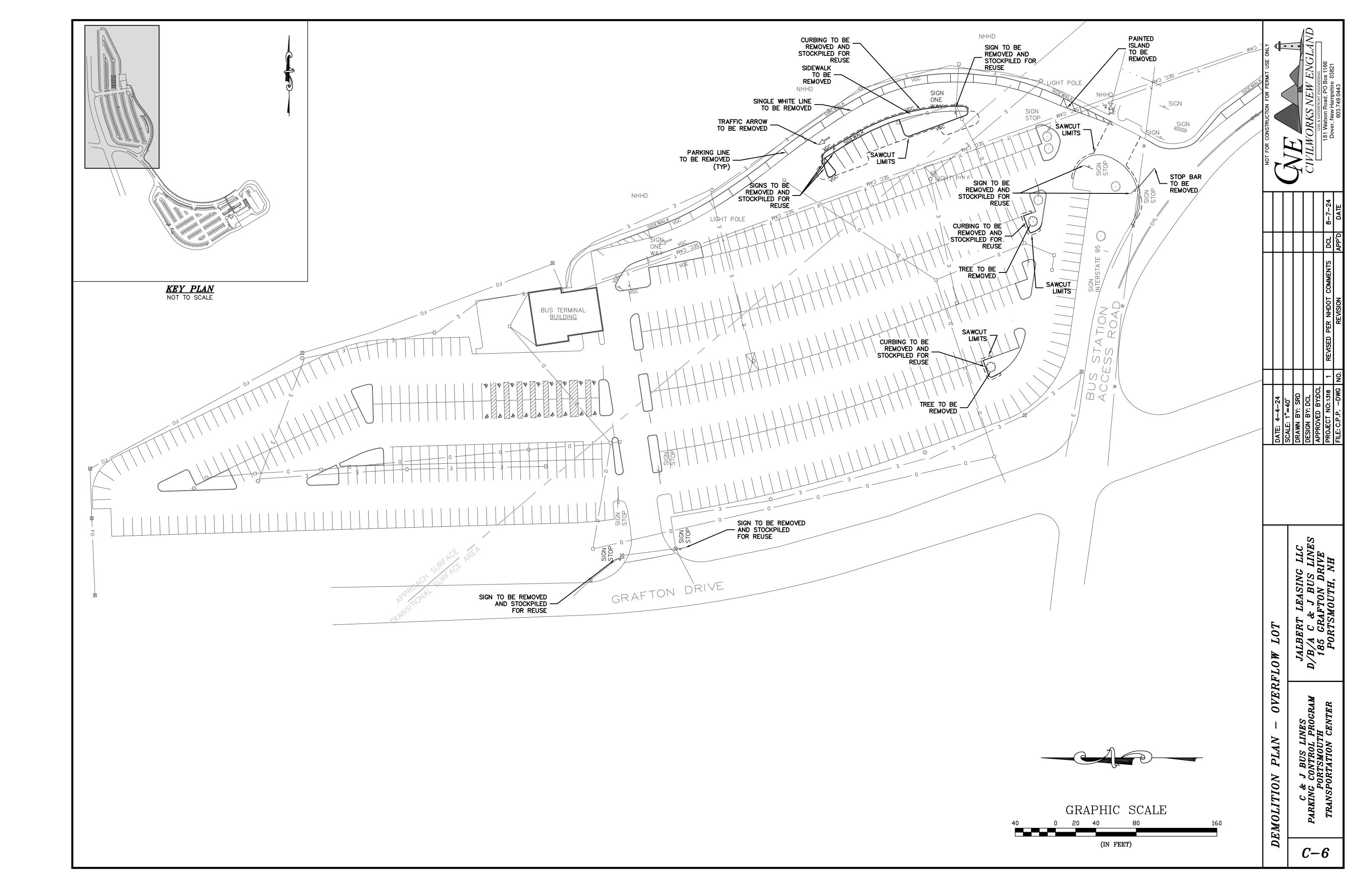
SHEET INDEX	SHEET
COVER SHEET	1
OVERALL KEY PLAN	2
EXISTING CONDITION - MAIN LOT	3
EXISTING CONDITION - OVERFLOW LOT	4
DEMOLITION PLAN - MAIN LOT	5
DEMOLITION PLAN - OVERFLOW LOT	6
SITE PLAN - MAIN LOT	7
SITE PLAN - OVERFLOW LOT	8
20-SCALE SITE PLAN- MAIN LOT	9-10
20-SCALE SITE PLAN - OVERFLOW LOT	11
UTILITY PLAN - MAIN LOT	12
UTILITY PLAN - OVERFLOW LOT	13
SIGN PLAN - MAIN LOT	14
SIGN PLAN - OVERFLOW LOT	15
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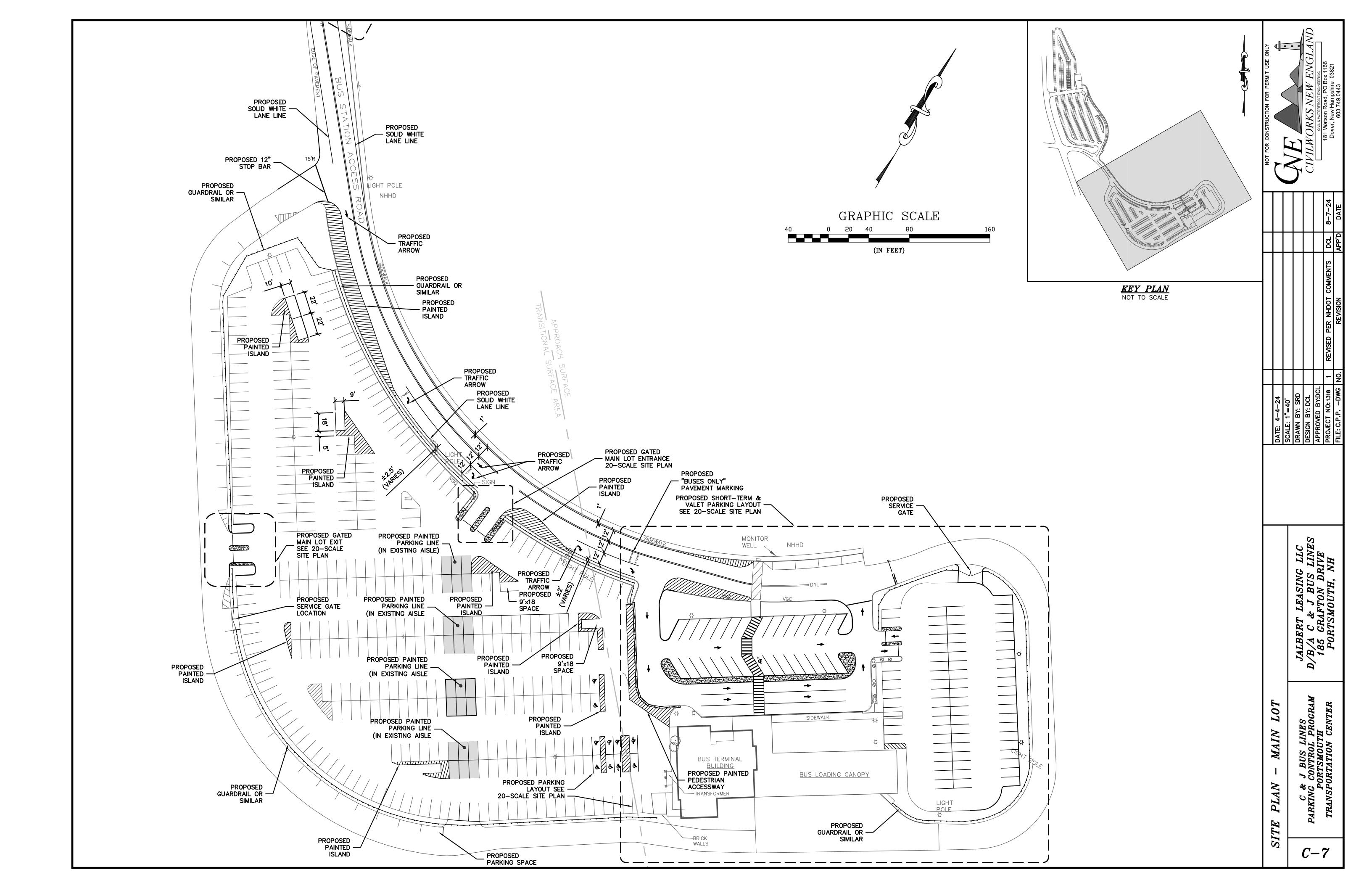


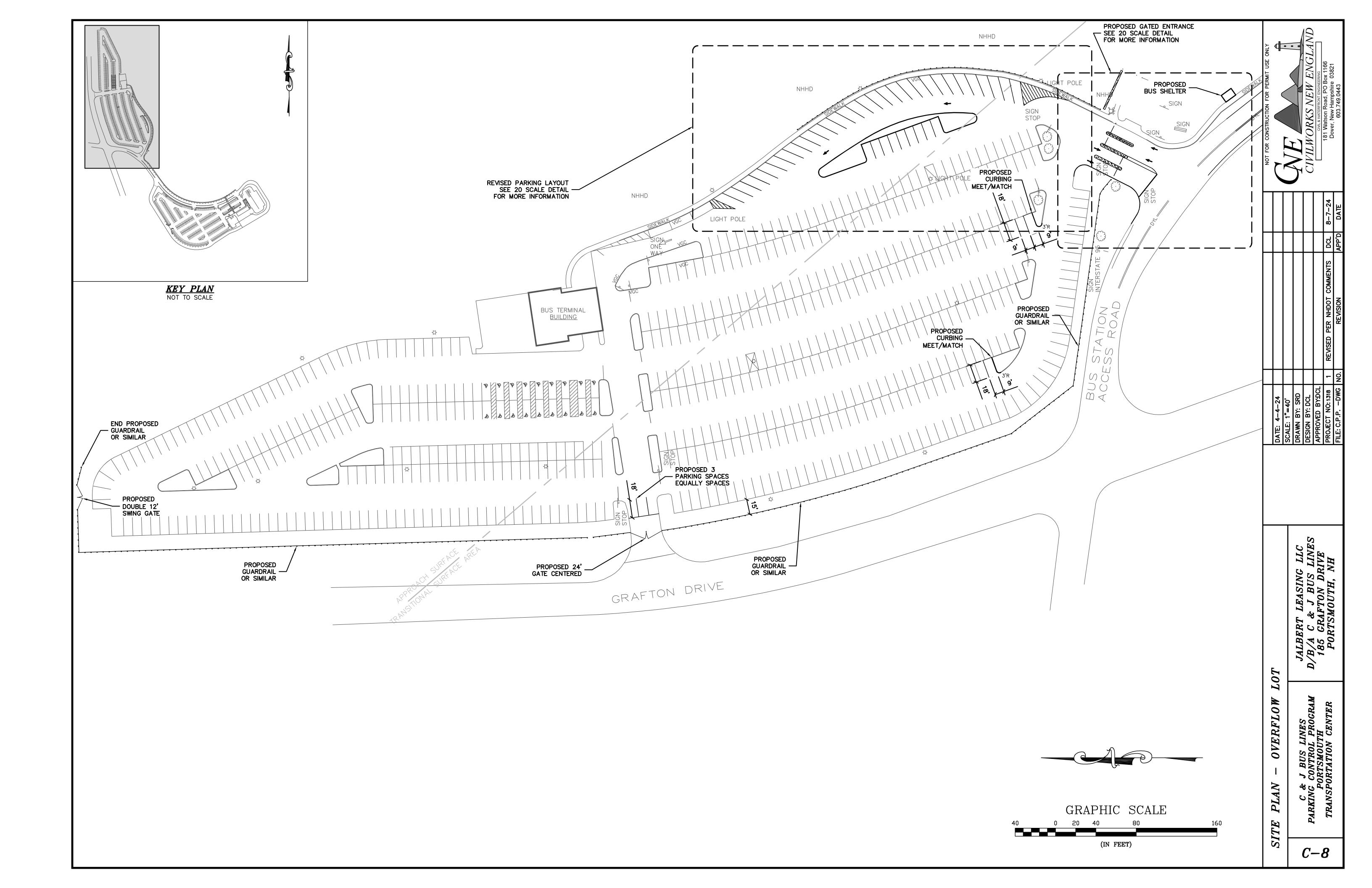


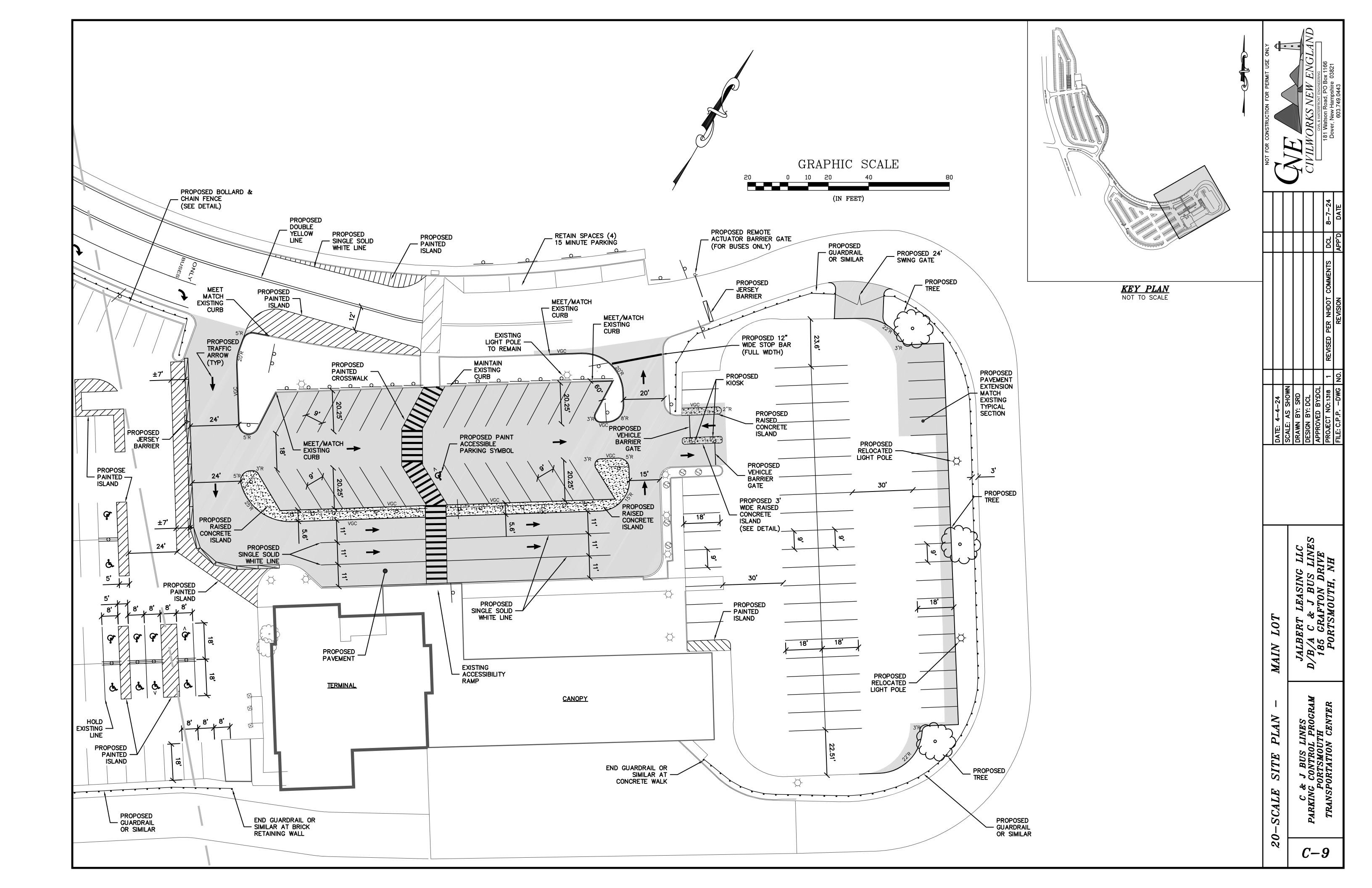


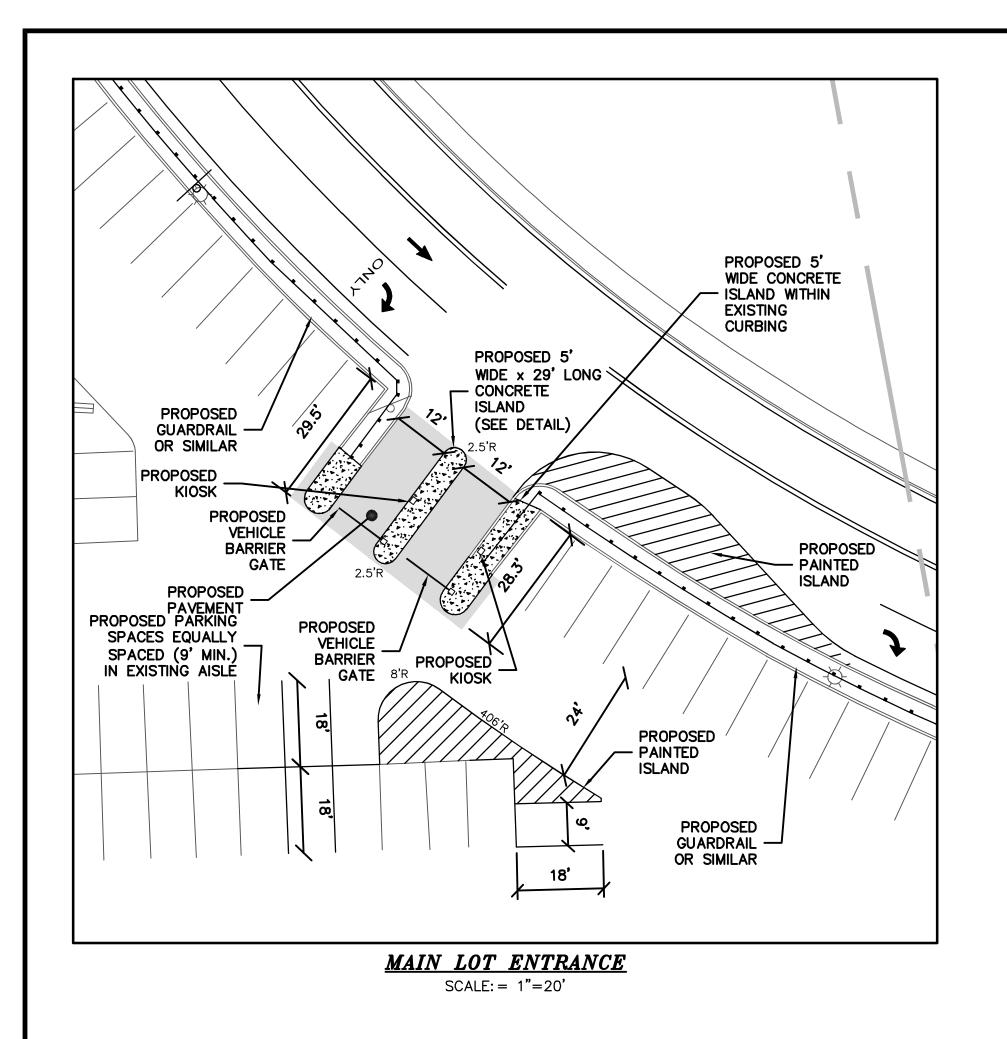


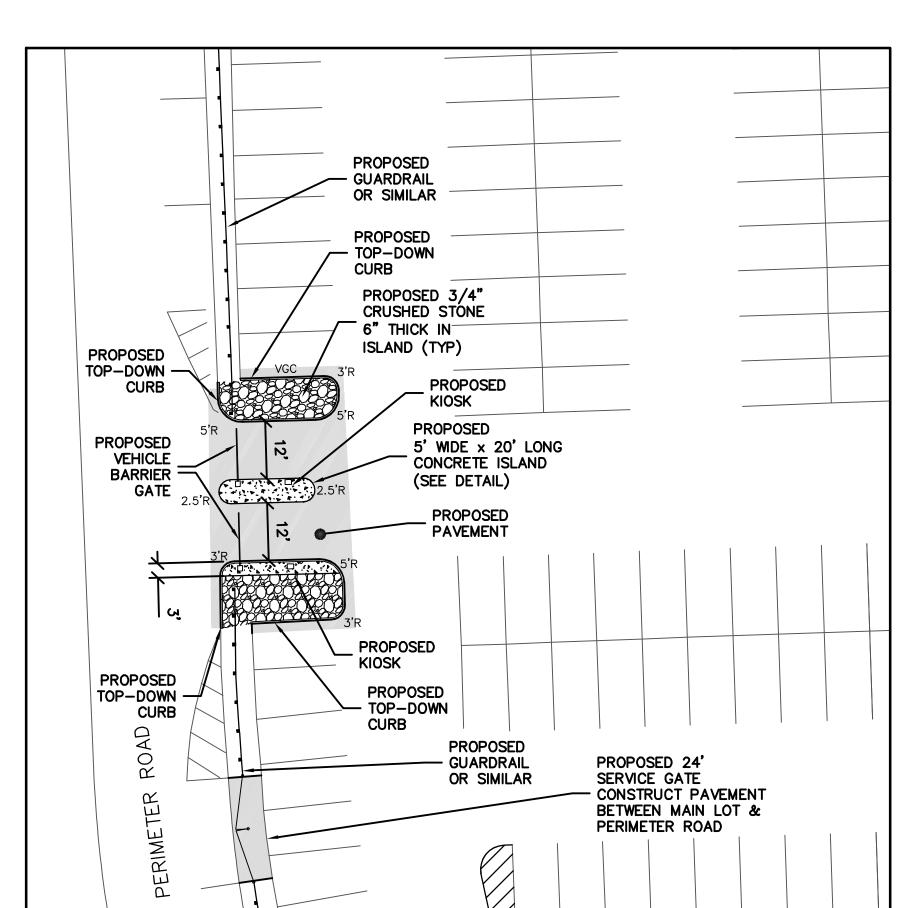






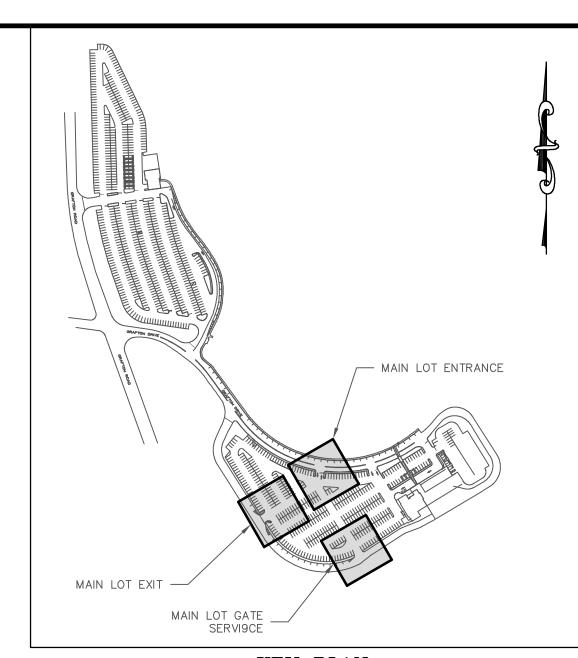




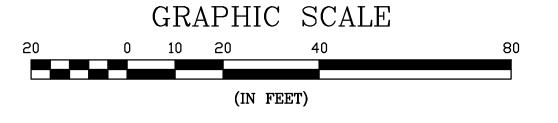


MAIN LOT EXIT & SERVICE GATE

SCALE: 1"=20'



KEY PLAN
NOT TO SCALE



- MAIN LOT	JALBERT LEASING LLC D/B/A C & J BUS LINE 185 GRAFTON DRIVE PORTSMOUTH, NH
PLAN - 1	LINES L PROGRAM UTH N CENTER

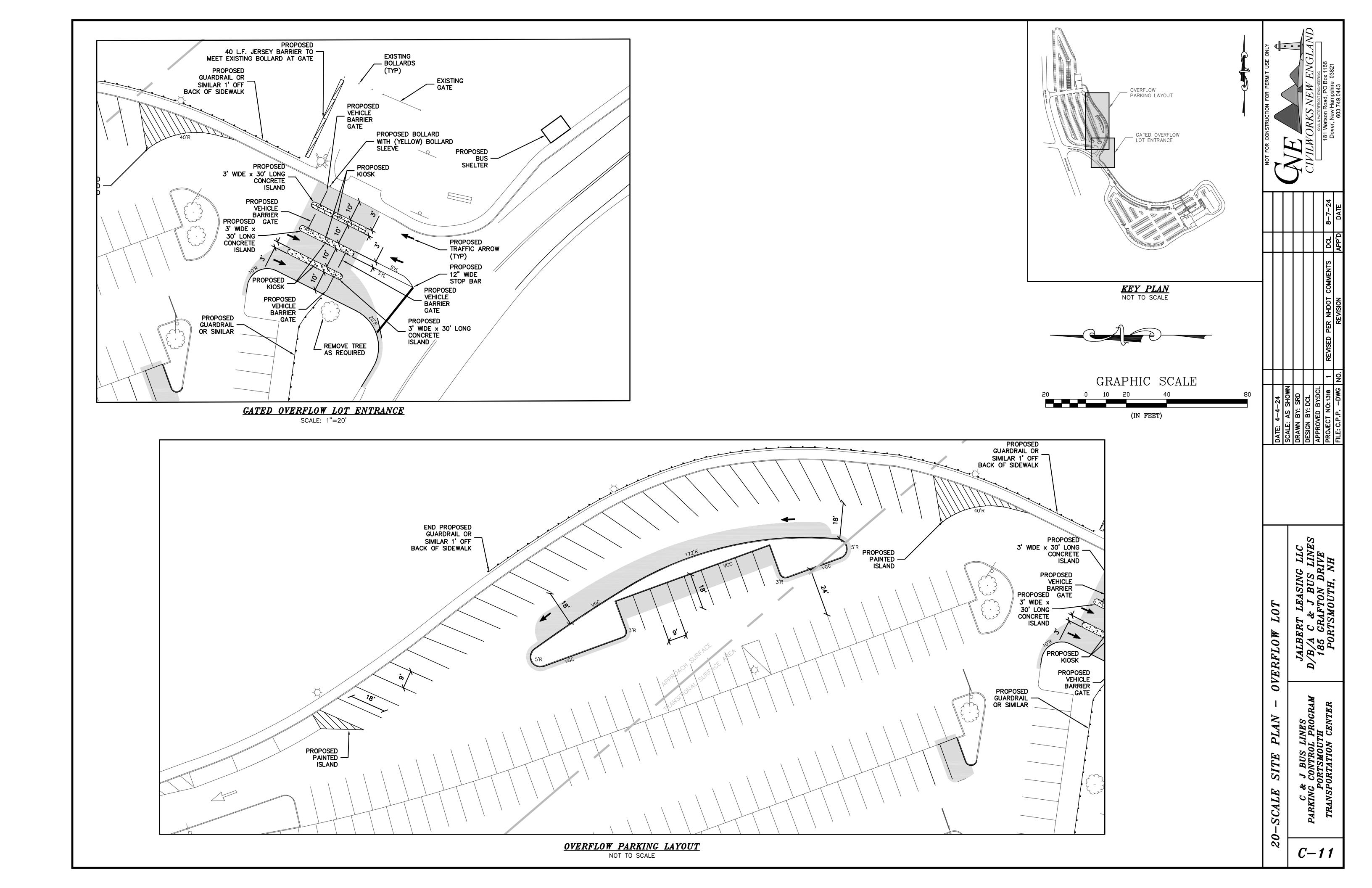
SITE

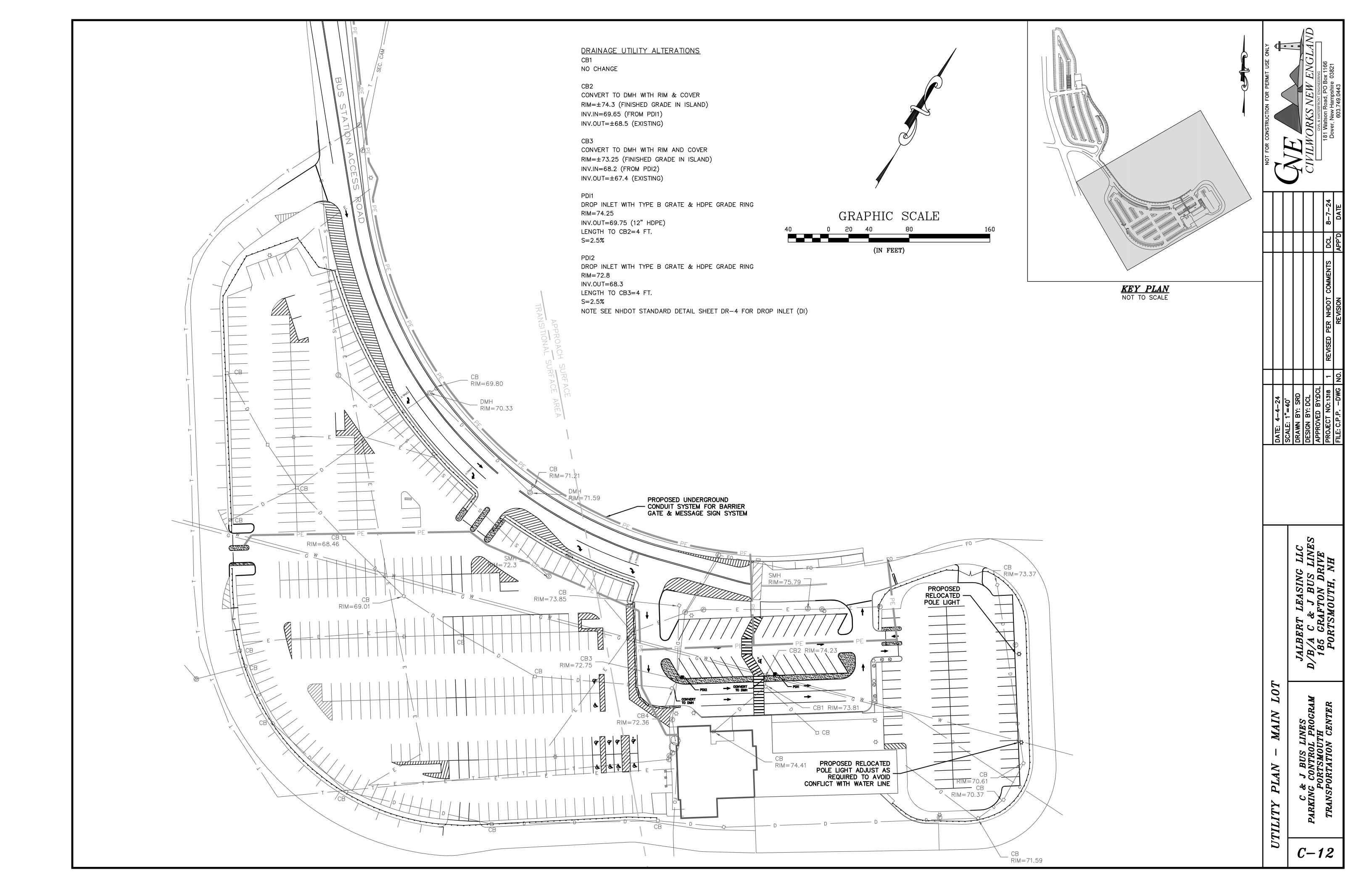
-SCALE

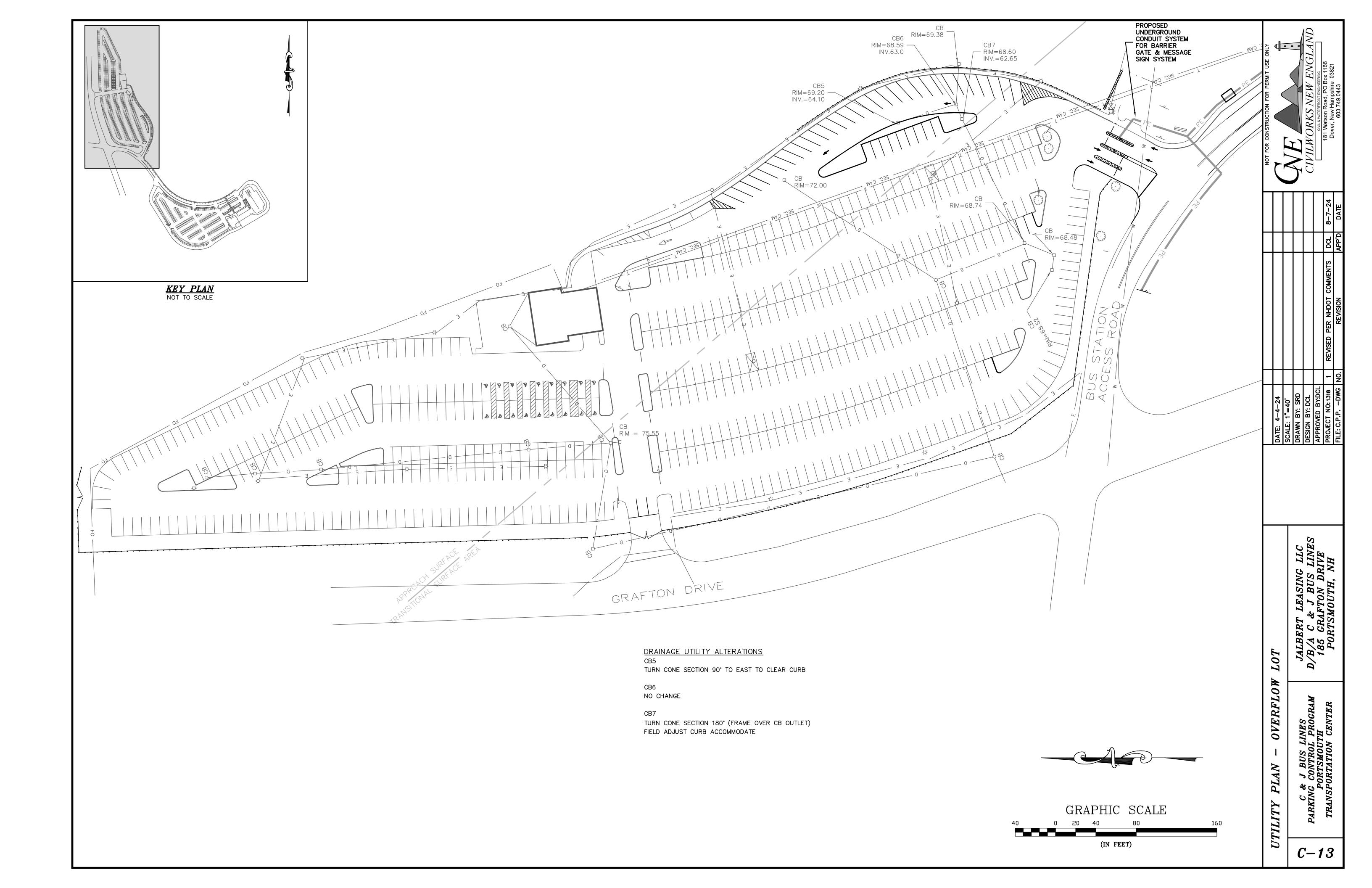
20.

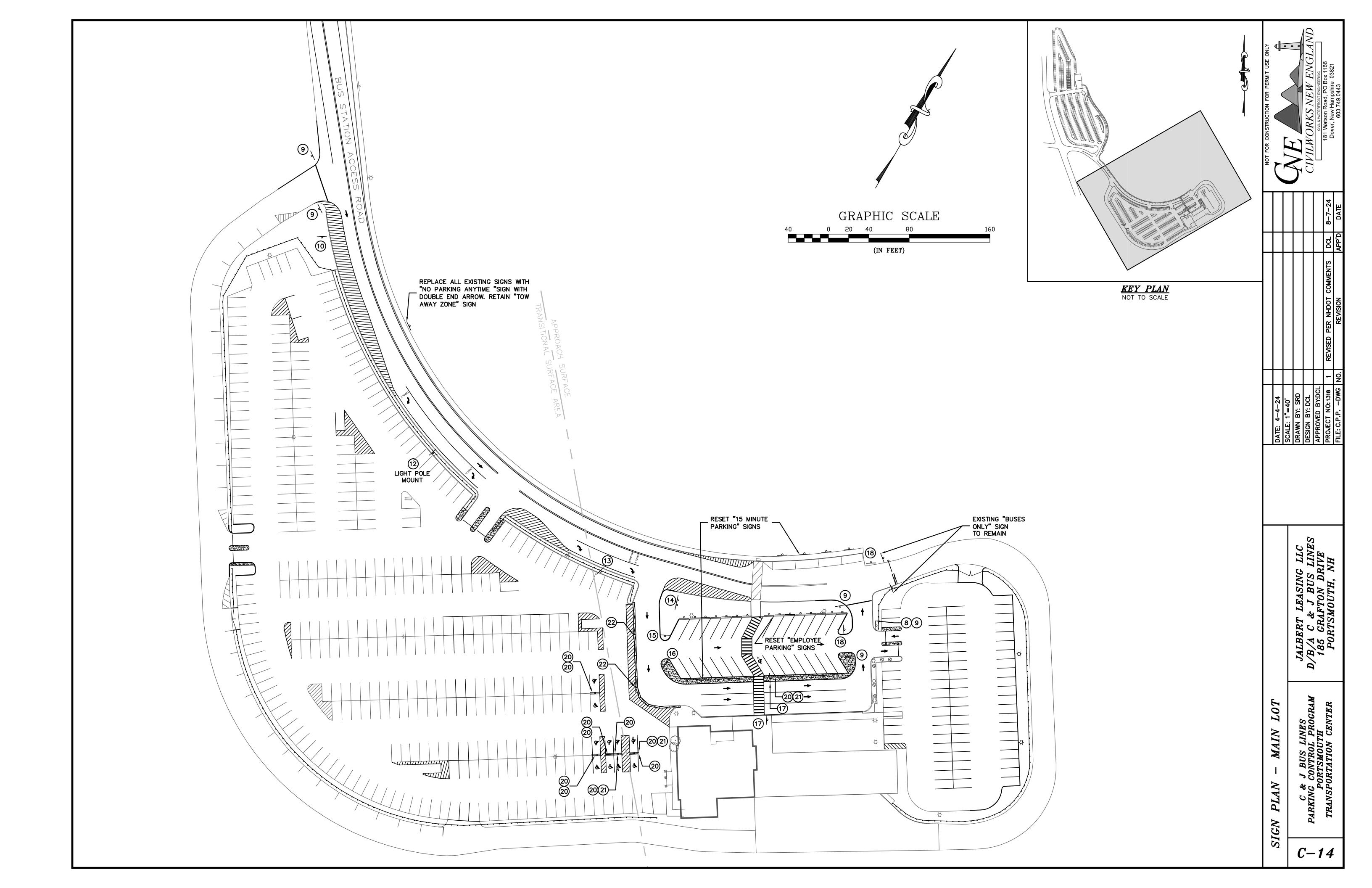
C-10

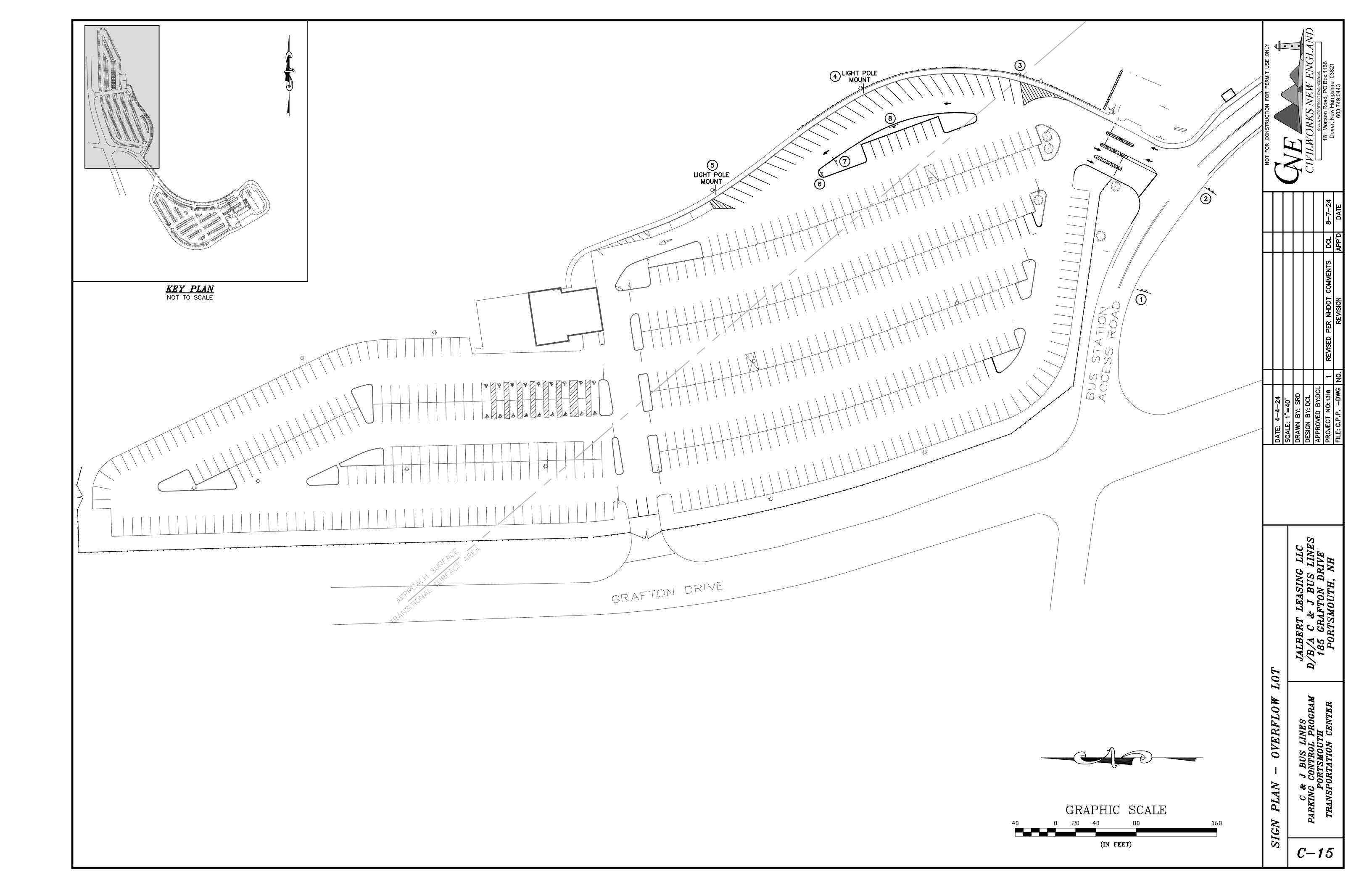


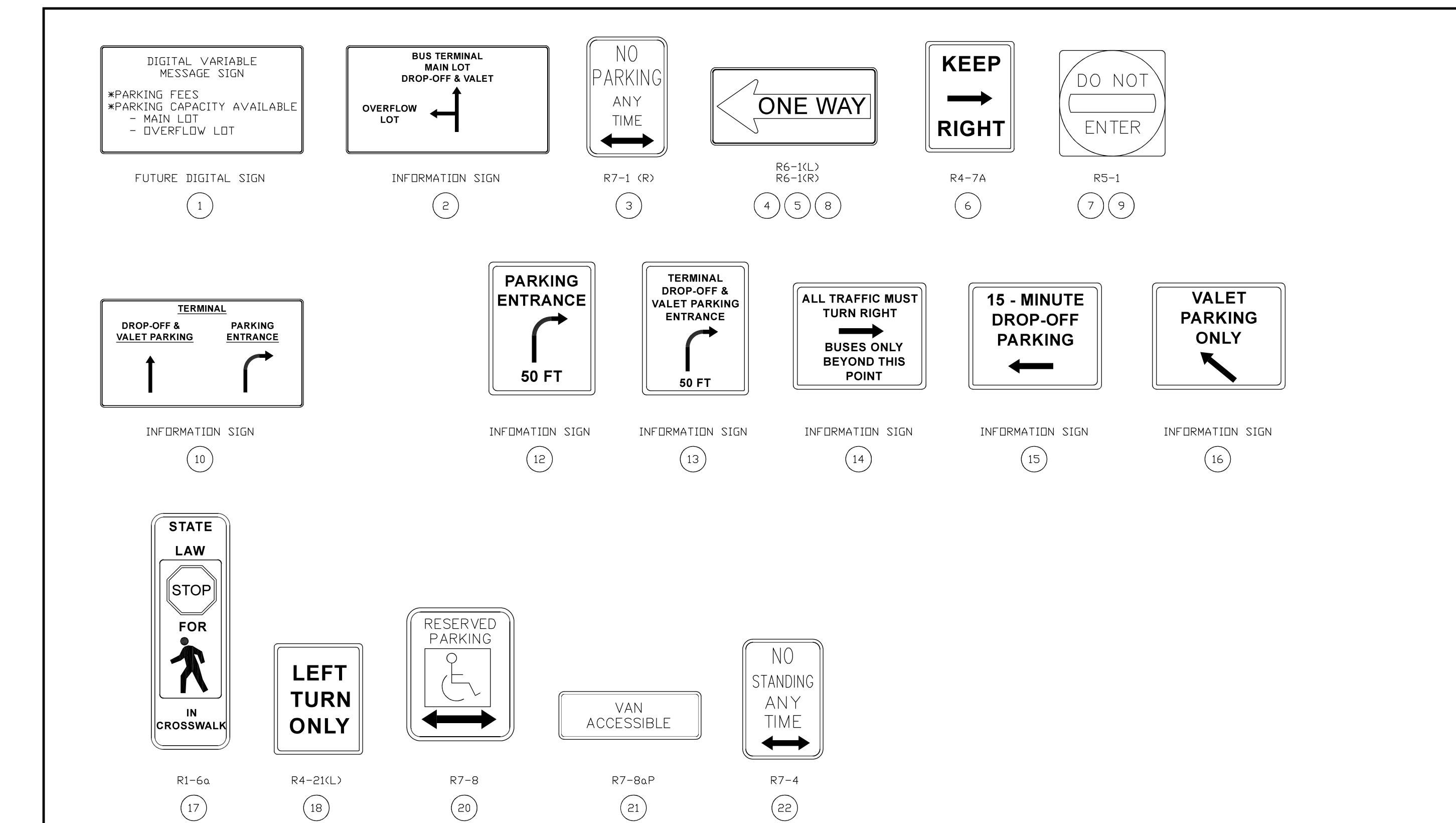






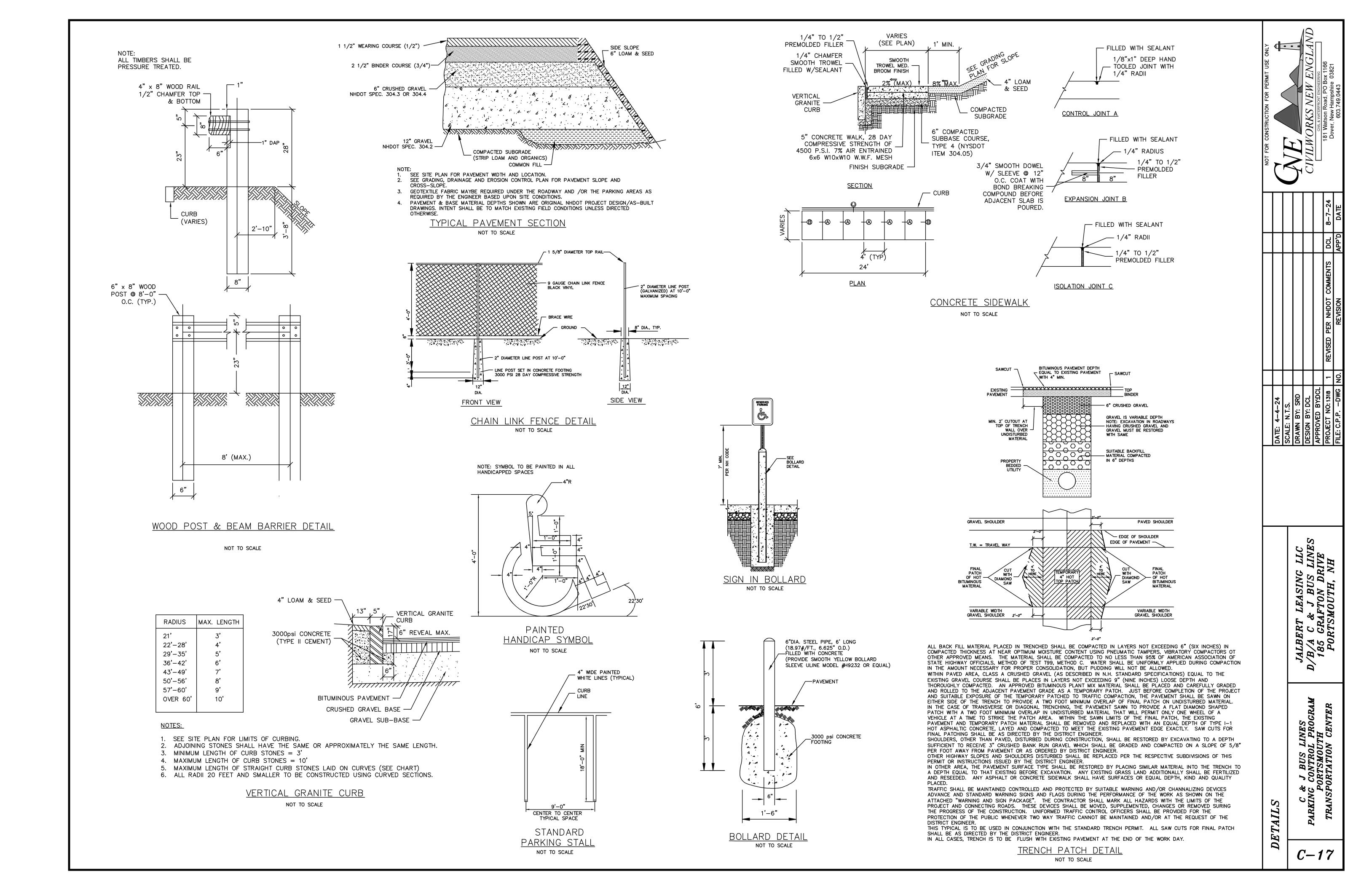


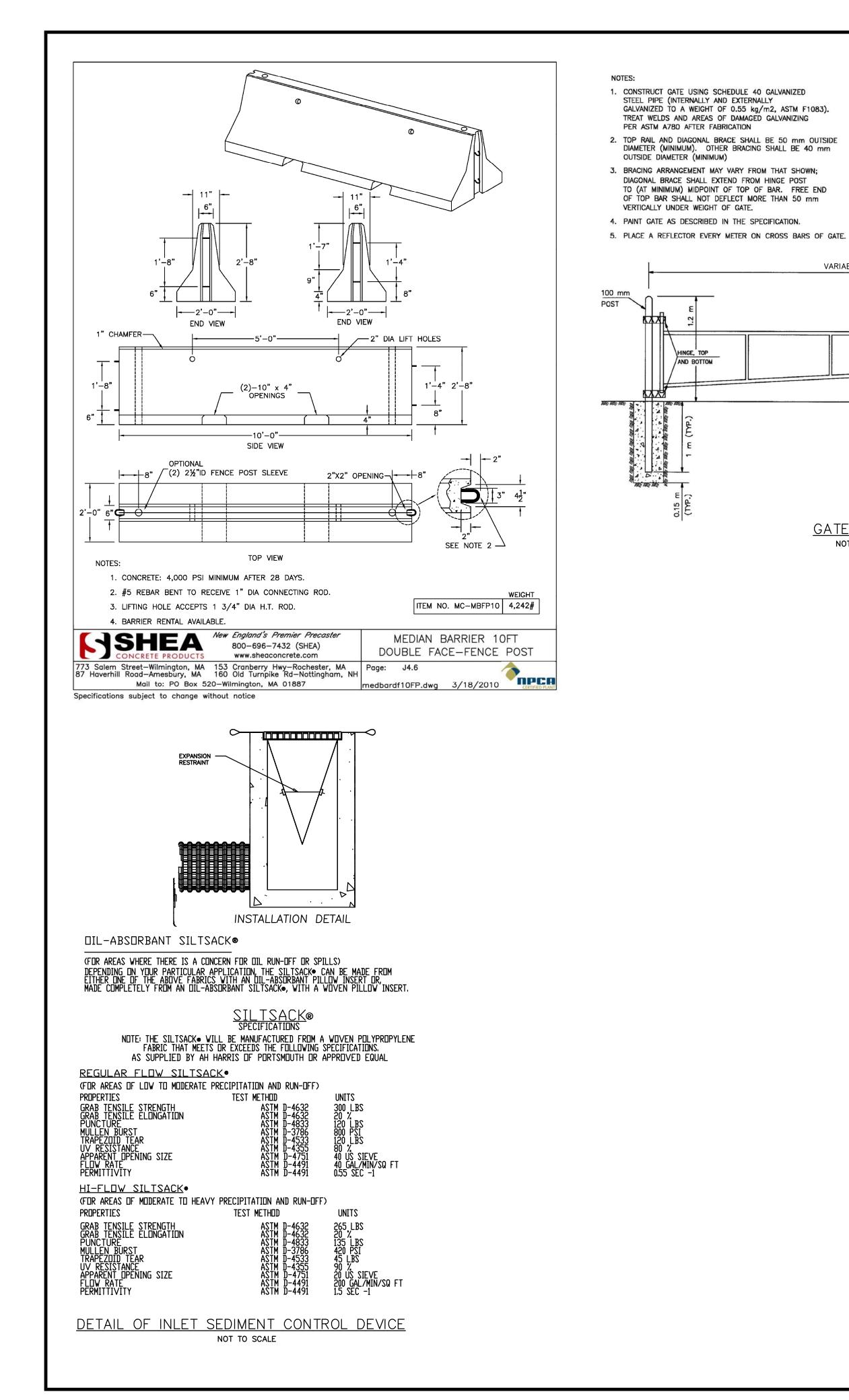




C-16

DETAILS





VARIABLE (SEE PLAN)

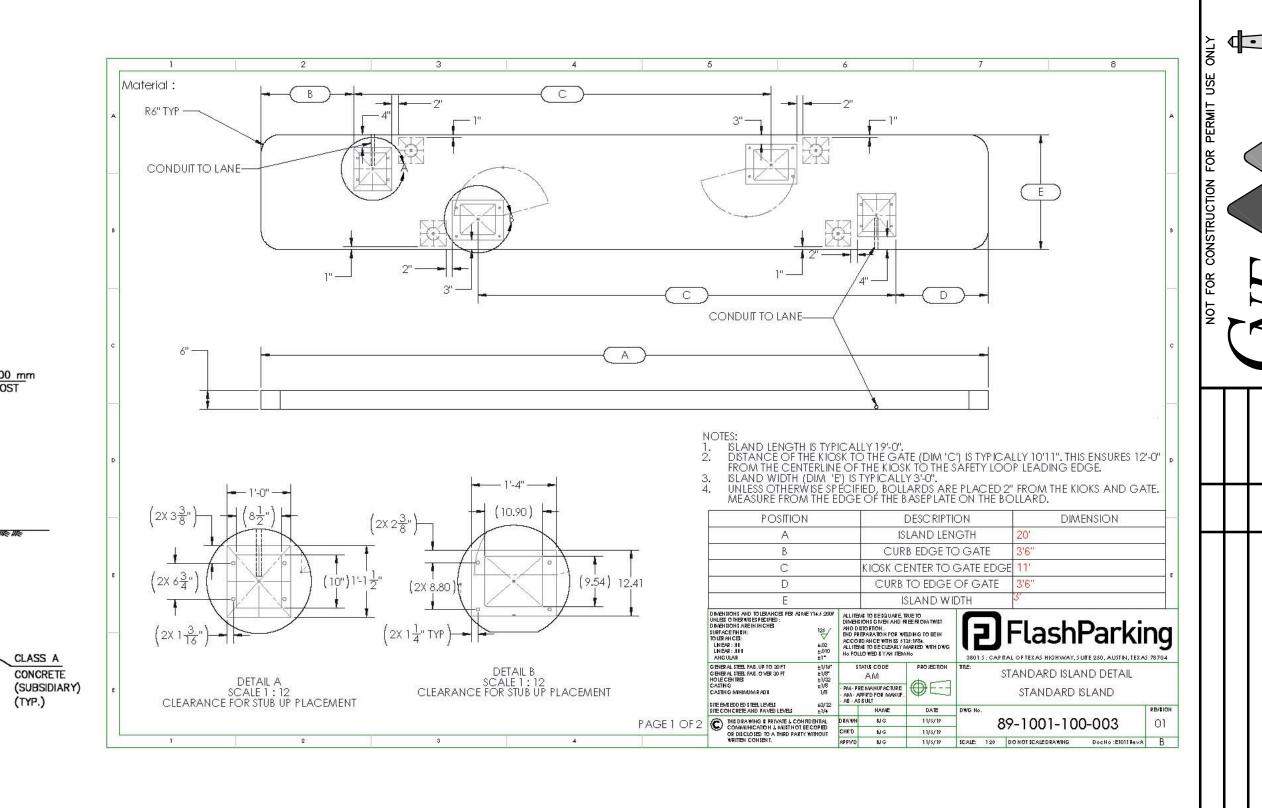
GATE DETAIL

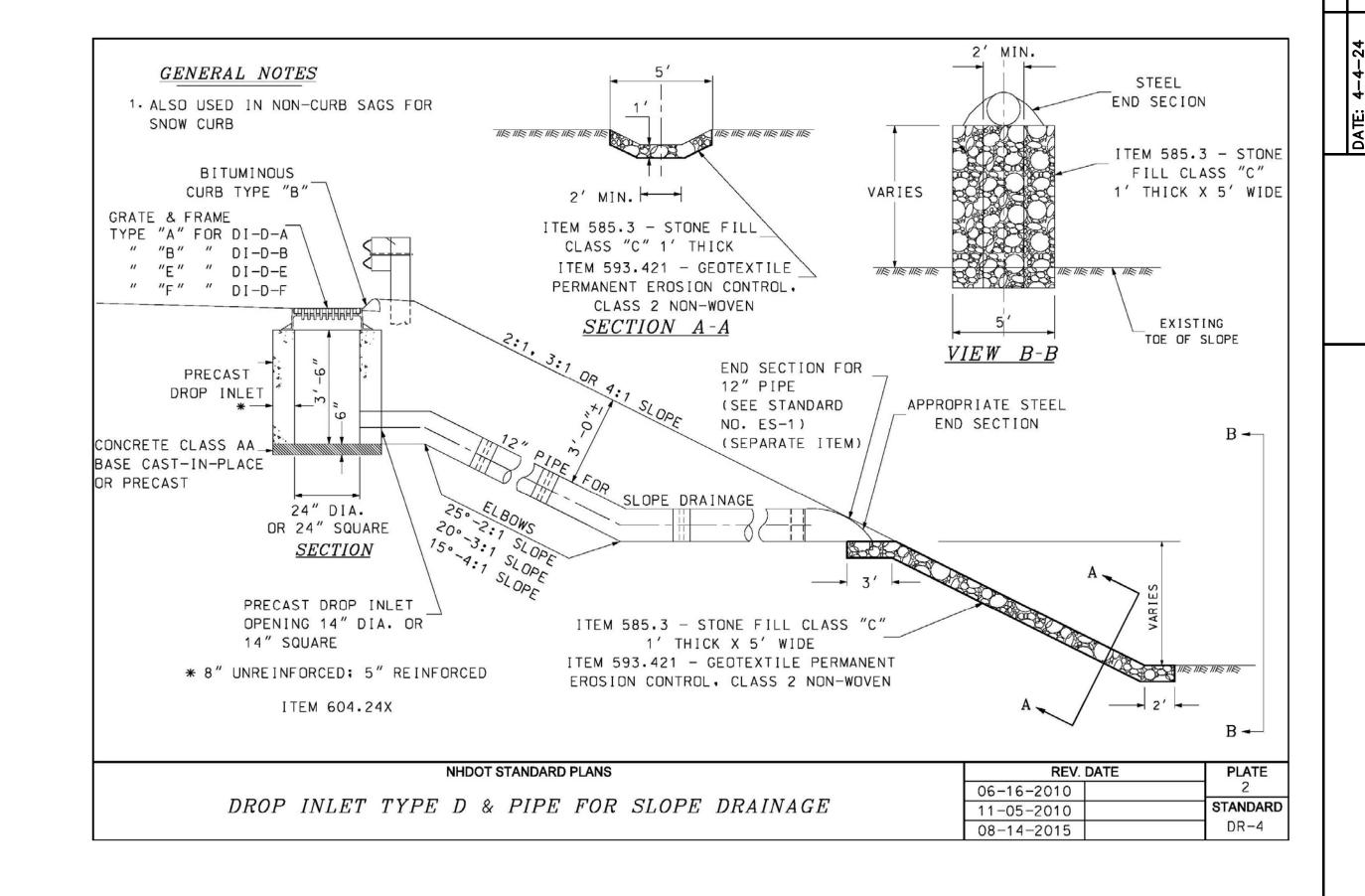
NOT TO SCALE

CLOSURE HARDWARE WITH

HORIZONTALLY AND VERTICALLY

LOCK TO SECURE GATE





C & J BUS LINES

PARKING CONTROL PROGRAM

PORTSMOUTH

TRANSPORTATION CENTER

JALBERT LEASIN

185 CRAFTON D

PORTSMOUTH,

C-18

DETAILS





August 20, 2024

Peter Britz, Director of Planning City of Portsmouth Planning Department 1 Junkins Ave, 3rd Floor Portsmouth, NH 03801

RE: Waiver Request

1900 Lafayette Road, Tax Map 267 Lot 8

Hammes Realty Services LLC.

Project #45407.17

Dear Peter Britz,

On behalf of our client, Hammes Realty Services LLC., we respectfully submit the following waiver request for the Site Plan Review Regulations.

Waiver Request #1

Requirement: Site Plan Review Regulations Section 6.6: Landscaped Areas, "Within parking areas, landscaped islands shall be provided between adjacent rows of parking and between groups of parking spaces with the goal of breaking up large contuously paved areas."

Reason for Waiver: We are proposing to place the required landscaped island at the end of the proposed new parking addition rather than between adjacent rows. The landscaped areas will add up to a minimum of 650ft² in order to allow for adequate landscaping. With the landscape proposed, the required landscape area is met, and it provides better screening from Lafayette Road.

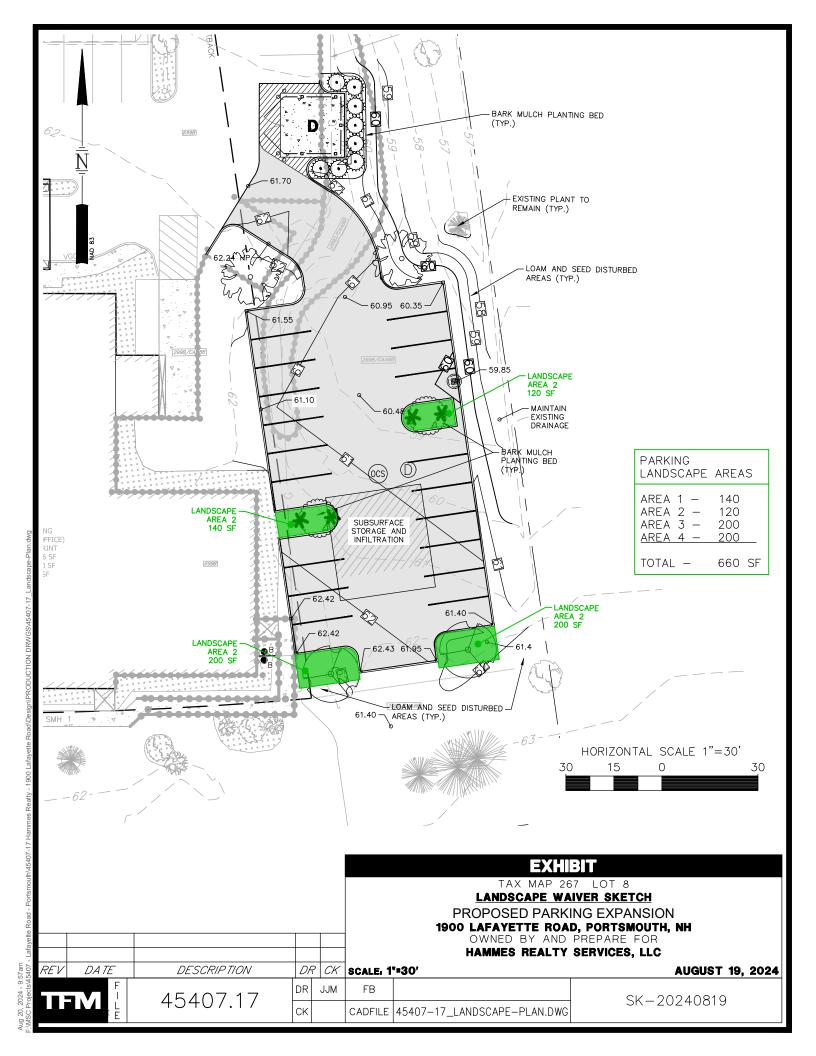
We appreciate your review and consideration of these matters. If you require additional information, please let us know.

Respectfully, **TFMoran, Inc.**

Jack McTigue, PE, CPESC

Project Manager





RESOURCE LIST

PLANNING / ZONING DEPARTMENT 1 JUNKINS AVENUE PORTSMOUTH, NH 03801 (603) 610-7216 PETER BRITS, DIRECTOR OF PLANNING AND SUSTAINABILITY

BUILDING DEPARTMENT

1 JUNKINS AVENUE PORTSMOUTH, NH 03801 (603) 610-7243 SHANTI WOLPH, CHIEF BUILDING INSPECTOR

PUBLIC WORKS

680 PEVERLY HILL ROAD PORTSMOUTH, NH 03801 (603) 427-1530 PETER RICE, DIRECTOR

POLICE DEPARTMENT

3 JUNKINS AVENUE PORTSMOUTH, NH 03801 (603) 427-1500CHIEF MARK NEWPORT

FIRE DEPARTMENT

170 COURT STREET PORTSMOUTH, NH 03801 (603) 427-1515

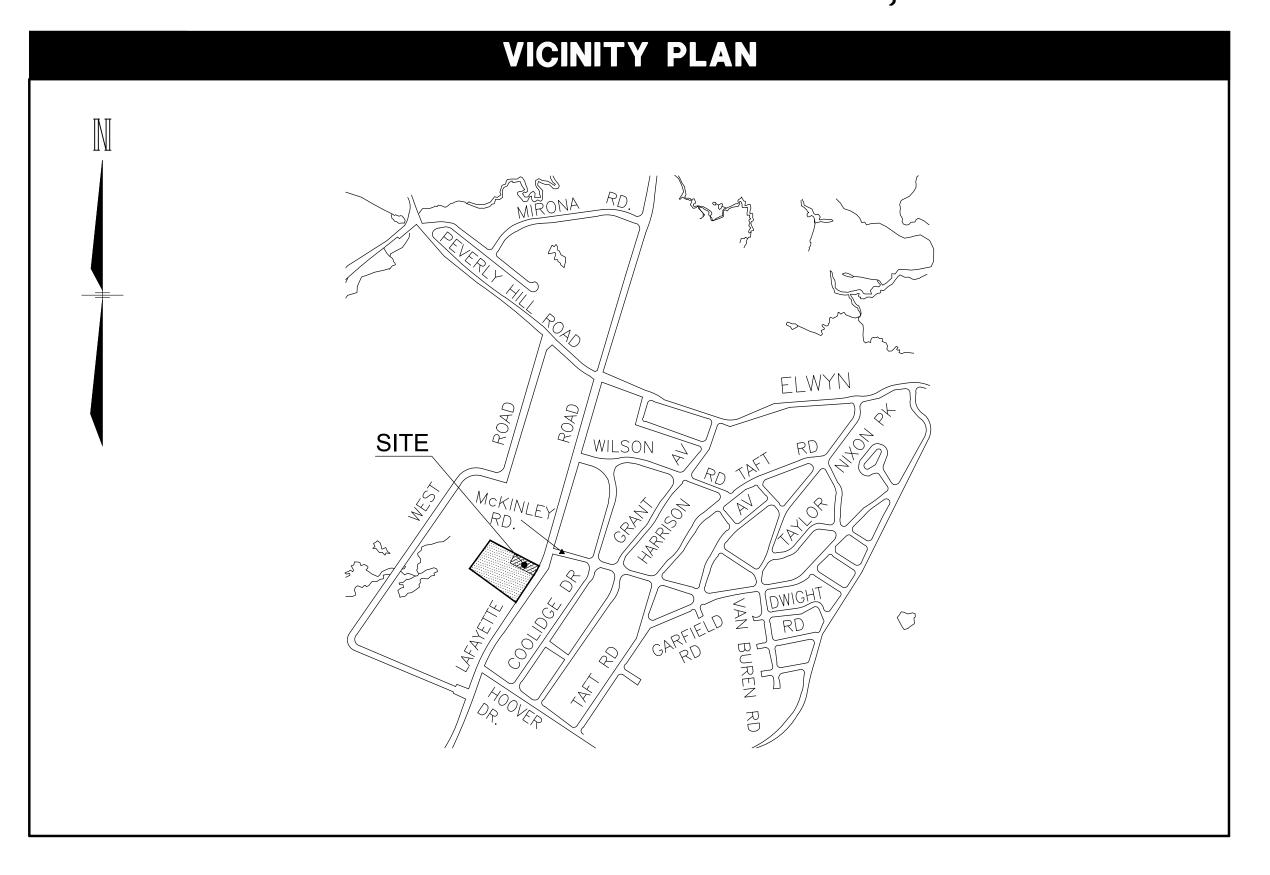
LIGHTING CONTRACTOR

EXPOSURE ESS 501 ISLINGTON STREET PORTSMOUTH, NH 03801 (603) 459-1043KEN SWEENEY, APPLICANT ENGINEER

ATLANTIC ORTHOPAEDICS

PARKING EXPANSION

1900 LAFAYETTE ROAD PORTSMOUTH, NH **JANUARY 24, 2024** LAST REVISED SEPTEMBER 9, 2024



INDEX OF SHEETS

SHEET	SHEET TITLE
C-00	COVER
S-01	EXISTING CONDITIONS PLAN
C-01	NOTES & LEGEND
C-02	SITE PREPARATION PLAN
C-03	SITE LAYOUT PLAN
C-04	GRADING AND DRAINAGE PLAN
C-05	LANDSCAPE PLAN
C-06	LANDSCAPE DETAILS
C-07	LIGHTING PLAN
C-08	EROSION CONTROL NOTES
C-09 to C-12	DETAIL SHEET 1S

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
CITY OF PORTSMOUTH SITE PLAN APPROVAL	-	-	-
CITY OF PORTSMOUTH CONDITIONAL USE PERMIT	-	-	-
NHDES ALT. OF TERRAIN	-	-	-

SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8

COVER

PROPOSED PARKING EXPANSION 1900 LAFAYETTE ROAD, PORTSMOUTH, NH

> OWNED BY & PREPARED FOR HAMMES REALTY SERVICES, LLC

SCALE: NTS

JANUARY 24, 2024

UPDATE DATES

REVISED INDEX OF SHEETS

DESCRIPTION

2 9/9/2024

1 7/31/2024

REV DATE

Seacoast Division Structural Engineers and Surveyors

170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 Landscape Architects www.tfmoran.com

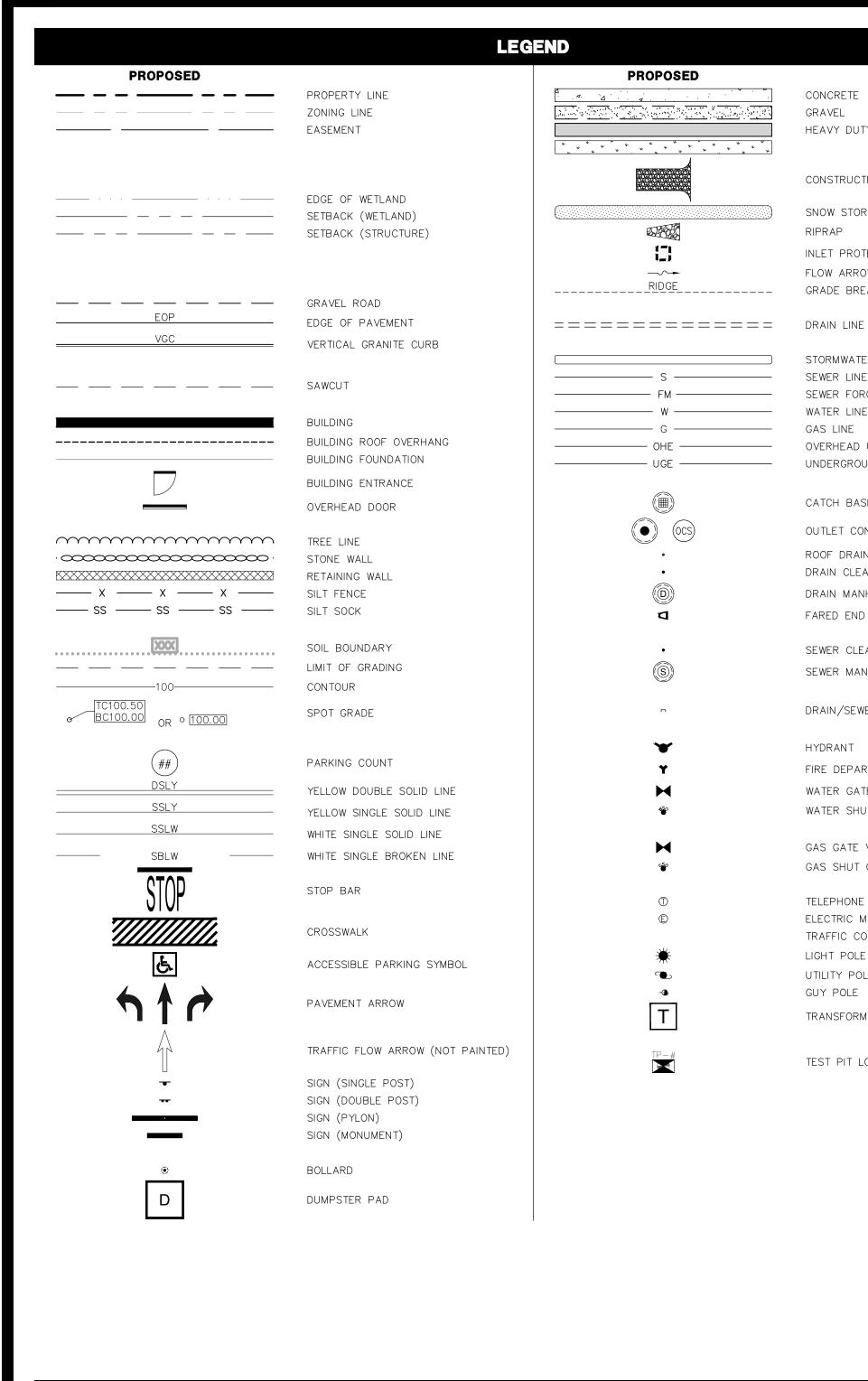
C-00 CK CRR CADFILE 45407-17_Cover.dwg

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This plan is not effective unless signed by a duly authorized officer of





GENERAL NOTES

- 1. THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
- 2. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE
- 3. THE SITE LAYOUT PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF
- 4. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING BOARD.
- 5. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- 6. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS OF ENV-WQ 1500. THE SITE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF CONSTRUCTION OF EACH STORMWATER FACILITY TO COORDINATE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL TAKE PROGRESS PHOTOS DURING CONSTRUCTION OF ALL STORMWATER DRAINAGE COMPONENTS AND SEND TO THE ENGINEER.
- 7. SEE EXISTING CONDITIONS PLAN FOR THE HORIZONTAL AND VERTICAL DATUM.
- 8. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS
- 9. CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
- 10. PRIOR TO COMMENCING ANY SITE WORK, ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD. 11. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES
- ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN
- 12. TEMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- 13. TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- 14. ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- 15. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- 16. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- 17. CONTRACTOR'S GENERAL RESPONSIBILITIES:
- A. THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
- B. TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST, AND UNSIGHTLY DEBRIS.
- C. MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
- D. IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
- E. COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- F. PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- H. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE AND/OR WETLAND SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
- J. PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
- K. IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS. AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE

- L. AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. [IF AOT PERMIT IT REQUIRED, SUBSTITUTE THE PREVIOUS STATEMENT WITH THE FOLLOWING THIS PROJECT IS SUBJECT TO THE AOT PERMIT LISTED ON THE COVER SHEET. THE CONTRACTOR SHALL CONFORM TO ALL CONDITIONS OF THE PERMIT AND PROVIDE THE FOLLOWING DOCUMENTATION TO OWNER AND
 - 1) ADVANCE WRITTEN NOTICE AT LEAST ONE WEEK PRIOR TO COMMENCING ANY WORK UNDER THE PERMIT AND NOTIFICATION TO AOT VIA THE START OF CONSTRUCTION FORM.
 - 2) IF ANY UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS WERE INSTALLED, FOR EACH SUCH SYSTEM:
 - A) REPRESENTATIVE PHOTOGRAPHS OF THE SYSTEM AFTER COMPLETION BUT PRIOR TO BACKFILLING; AND
 - B) A LETTER SIGNED BY A QUALIFIED ENGINEER WHO OBSERVED THE SYSTEM PRIOR TO BACKFILLING, THAT THE SYSTEM CONFORMS TO THE APPROVED PLANS AND SPECIFICATIONS.
 - 3) UPON COMPLETION OF CONSTRUCTION, NOTIFICATION TO AOT VIA THE COMPLETION OF CONSTRUCTION FORM AND WRITTEN CERTIFICATION THAT:
 - A) ALL WORK UNDER THE PERMIT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
 - B) IF ANY DEVIATIONS FROM THE APPROVED PLANS WERE MADE, WRITTEN DESCRIPTIONS AND AS-BUILT DRAWINGS OF ALL SUCH DEVIATIONS, STAMPED BY A QUALIFIED ENGINEER, SHALL BE PROVIDED.

GRADING & DRAINAGE NOTES

- 1. THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- 3. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE, INCLUDING AND NOT LIMITED TO DEWATERING METHODS, PERIMETER DRAINS AND TIE INTO STORMWATER MANAGEMENT SYSTEM, ETC.
- 4. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- 5. THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING
- 6. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
- 7. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- 8. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- 9. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- 10. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE
- 11. STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 12. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- 13. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER, AND MULCH.
- 14. DENSITY REQUIREMENTS:
- MINIMUM DENSITY* LOCATION BELOW PAVED OR CONCRETE AREAS 95% TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
- BELOW LOAM AND SEED AREAS *ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

UTILITY NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- 2. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- 3. PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT, AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- 4. UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- 5. THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

DRAINAGE PRIVATE SEWER MUNICIPAL WATER MUNICIPAL

GAS ELECTRIC EVERSOURC CONSOLIDATED COMMUNICATIONS AKA FAIRPOINT COMMUNICATIONS

CABLE

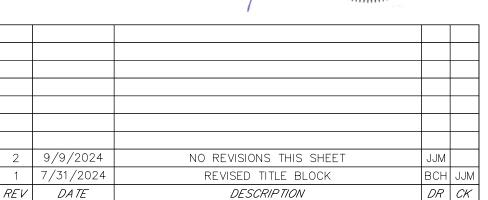
SITE DEVELOPMENT PLANS TAX MAP 267 LOT 8

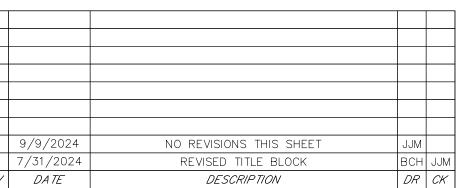
NOTES & LEGEND PROPOSED PARKING EXPANSION 1900 LAFAYETTE ROAD, PORTSMOUTH, NH

> OWNED BY & PREPARED FOR HAMMES REALTY SERVICES, LLC

SCALE: NTS

JANUARY 24, 2024







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DR JKC FB C - 01

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ABANDON

APPROXIMATE

BOOK & PAGE

BITUMINOUS

BUII DING

CONCRETE

COORDINATE

DIAMETER

BOTTOM OF CURB

BOTTOM OF SLOPE

BOTTOM OF WALL

ACRES

ADJUST

ABAN

ADJ

APPROX

BLDG

BS

BW

CONC

DIA

ELEV

FMoran, Inc.

COORD

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BEST MANAGEMENT PRACTICE

GENERAL

EDGE OF PAVEMENT

INVERT ELEVATION

INFILTRATION TEST

LANDSCAPE AREA

NOW OR FORMERLY

NOT TO SCALE

NEW HAMPSHIRE FISH & GAME

FINISHED FLOOR ELEVATION

EXISTING

FOUNDATION

HIGH POINT

LENGTH LINEAR FEET

MAXIMUM

MINIMUM

EXIST

FFE

FND

LSA

MAX

N/F

NTS

PROP PROPOSED RADIUS R&D REMOVE AND DISPOSE R&R REMOVE AND RESET REM RFMOVF RET RETAIN RIM ELEVATION RIM ROW RIGHT OF WAY SLOPE SQUARE FEET SW SIDEWALK TEMPORARY BENCHMARK TOP OF CURB TEST PIT TOP OF WALL

ABBREVIATIONS

OC

PAVE

PERF

TYP

WCR

ON CENTER PAVEMENT PERFORATED

TYPICAL UG

UNDERGROUND ACCESSIBLE WHEELCHAIR RAMP WITH

DCB DIP DMH F&C F&G FES GT НН HW

CB

CIP

CMP

CO

COND

CONCRETE

HEAVY DUTY PAVEMENT

CONSTRUCTION ENTRANCE

SNOW STORAGE

INLET PROTECTION

GRADE BREAK RIDGE

STORMWATER BMP

SEWER FORCE MAIN LINE

OVERHEAD UTILITY LINE

UNDERGROUND UTILITY LINE

OUTLET CONTROL STRUCTURE

DRAIN/SEWER/WATER PLUG OR CAP

FIRE DEPARTMENT CONNECTION

SEWER LINE

WATER LINE

CATCH BASIN

ROOF DRAIN

DRAIN CLEANOUT

DRAIN MANHOLE

FARED END SECTION

SEWER CLEAN OUT

WATER GATE VALVE

WATER SHUTOFF

GAS GATE VALVE

TELEPHONE MANHOLE

TRAFFIC CONTROL CABINET

ELECTRIC MANHOLE

TEST PIT LOCATION

LIGHT POLE

UTILITY POLE

GUY POLE

GAS SHUT OFF

SEWER MANHOLE

HYDRANT

GAS LINE

FLOW ARROW

RIPRAP

 $\neg \land \rightarrow$

GRAVFI

GREASE TRAP HDPE HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYD HYDRANT LIGHT POLE OCS PVC POLYVINYL CHLORIDE PIPE RCP RD ROOF DRAIN

REINFORCED CONCRETE PIPE SEWER MANHOLE SEDIMENT OIL SEPARATOR TAPPING SLEEVE, VALVE, AND BOX

OUTLET CONTROL STRUCTURE SMH SOS

UTILITIES

CORRUGATED METAL PIPE

DOUBLE CATCH BASIN

DUCTILE IRON PIPE

FRAME AND COVER

FRAME AND GRATE

FLARED END SECTION

DRAIN MANHOLF

CATCH BASIN

CLEANOUT

CONDUIT

CAST IRON PIPE

UTILITY POLF

REV DATE

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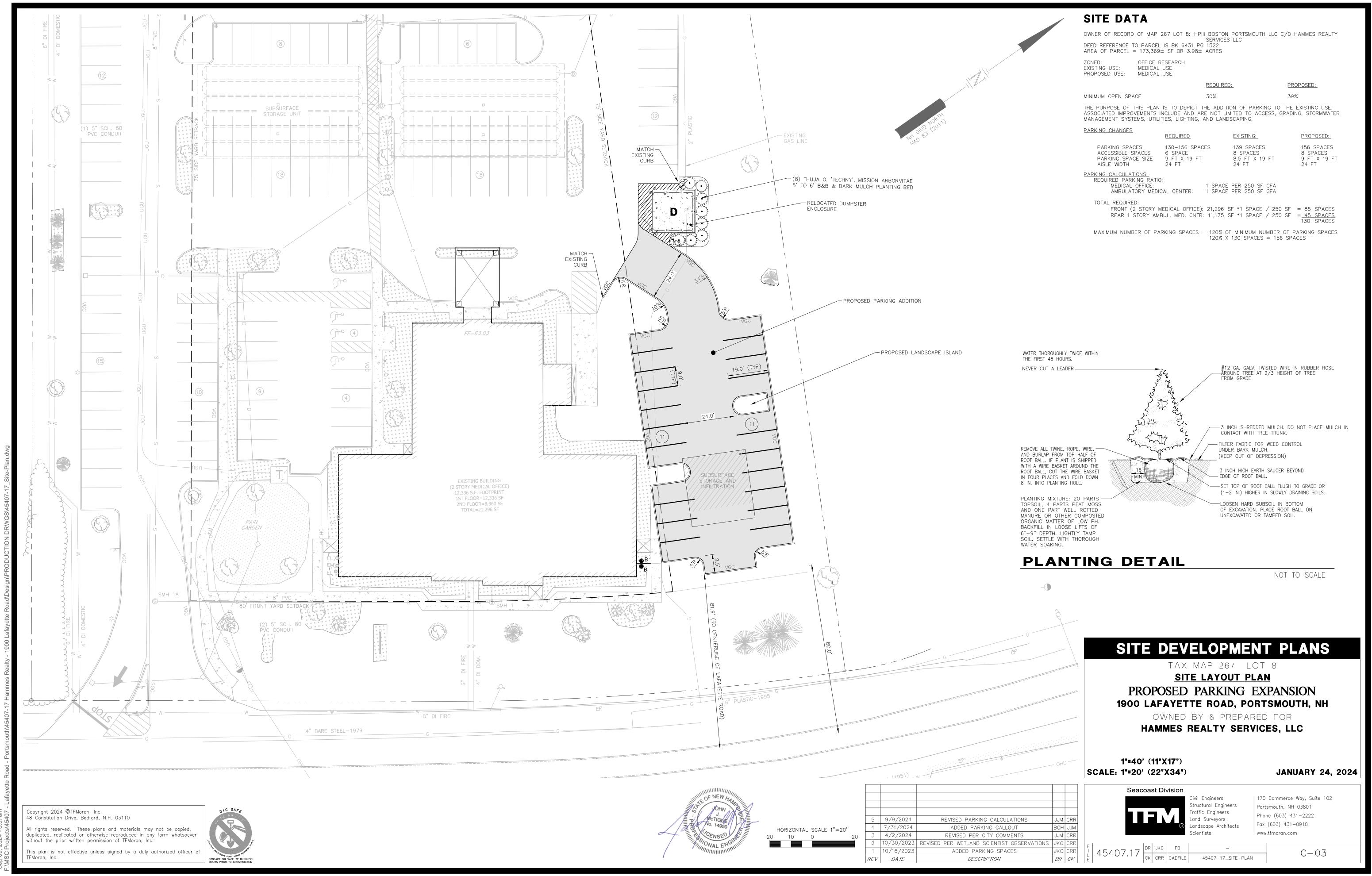
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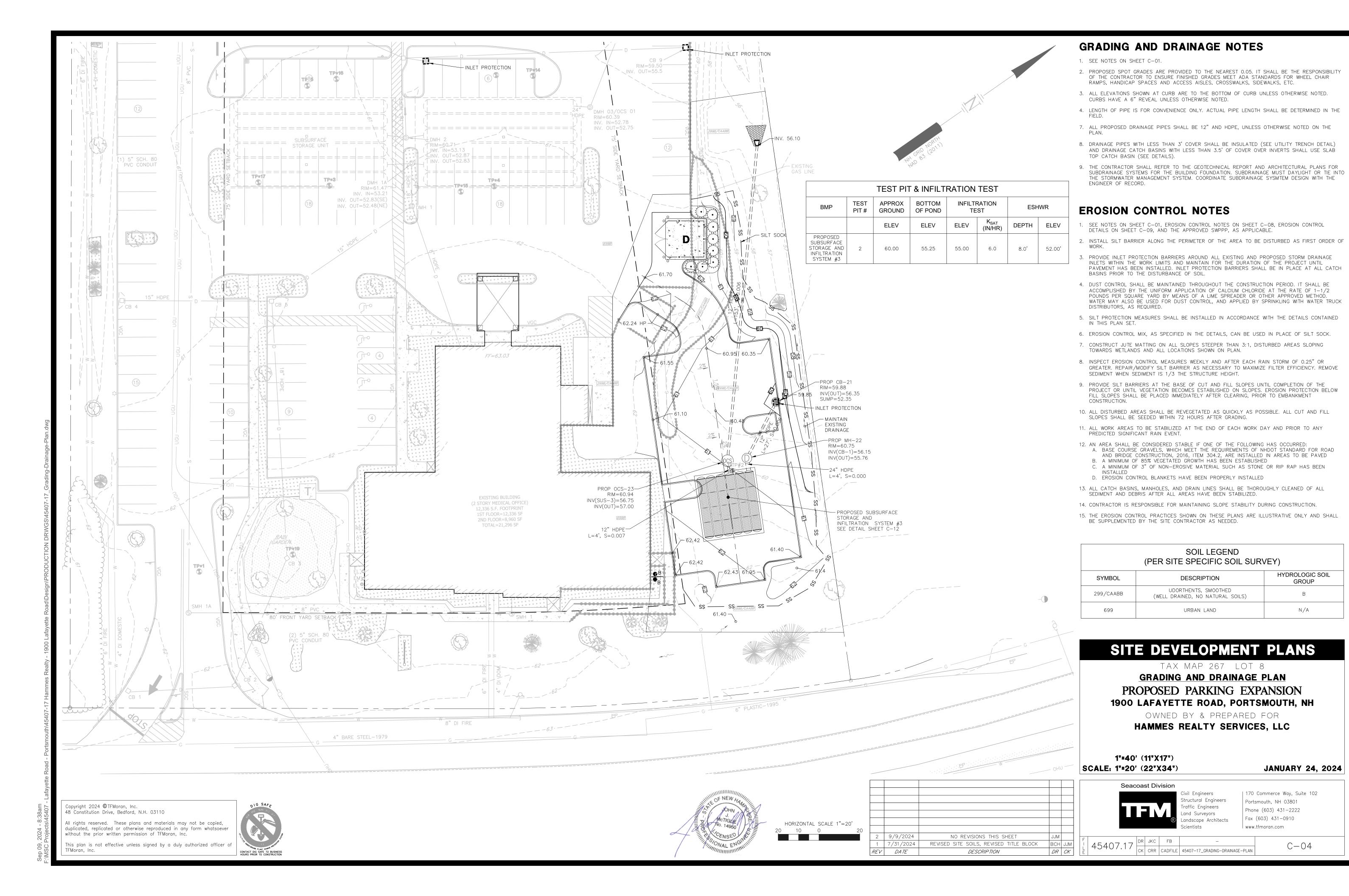
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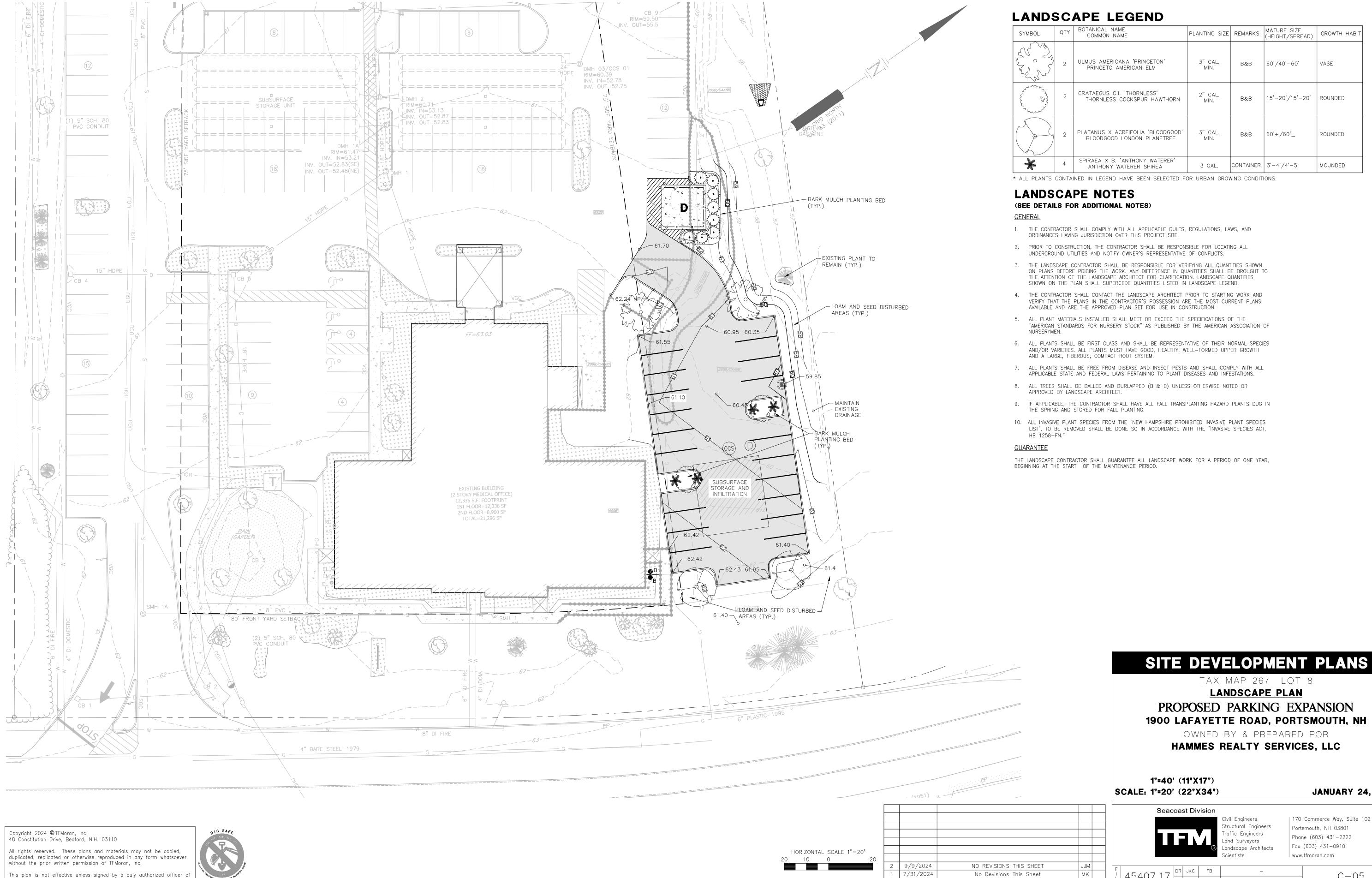
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DR CK

B&B

B&B

B&B

60'/40'-60'

60'+/60'_

15'-20'/15'-20' ROUNDED

VASE

ROUNDED

MOUNDED

- 2. ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODDED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
- 3. LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.6. LOAM SHALL CONTAIN A MINIMUM OF THREE PERCENT (3%) AND A MAXIMUM OF TWENTY PERCENT (20%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
- 4. NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE
- 5. SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- 6. APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- 7. THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

<u>PLANTING</u>

- 1. EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- 2. ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
- 3. DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- 4. FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- 5. DISH TOP OF BACKFILL TO ALLOW FOR MULCH PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6' DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2' BEYOND THE OUTER MOST BRANCHES.
- 6. MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
- 7. STAKE AND GUY TREES IMMEDIATELY AFTER PLANTING (TREE SUPPORT STAKES SHALL BE 2" X 3" X 8', WOOD STAKES. GUYING WIRE SHALL BE NO. 12 GAUGE GALVANIZED SOFT STEEL WIRE. HOSE FOR COVERING WIRE SHALL BE NEW OR USED TWO PLY RUBBER HOSE NOT LESS THAN 1/2 INCH INSIDE DIAMETER. (PLASTIC "CINCH-TIES" OR EQUIVALENT FASTENING DEVICE MAY BE AN ACCEPTABLE GUY WIRE AND HOSE PROTECTOR SUBSTITUTE.)
- 8. TREEGATOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
- 9. ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
- 10. TREES TO REMAIN STAKED FOR 1 FULL GROWING SEASON.
- 11. THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

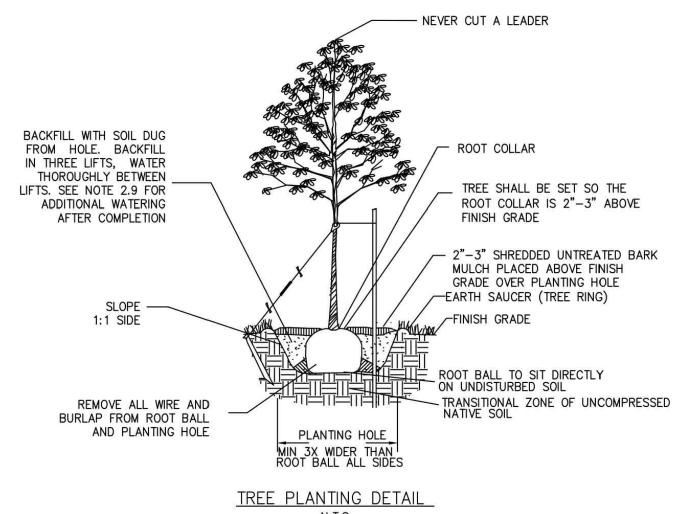
- 1. SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
- 2. SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
- 3. GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.

6" LOAM (ITEM 641) SEED (ITEM 644) LIMESTONE (ITEM 642) FERTILIZER (ITEM 643.11) APPLY RATIOS OF LIMESTONE AND FERTILIZER PER MANUFACTURERS -SPECIFICATION BASED ON SOIL TEST RESULTS. STRAW MULCH SHALL BE UTILIZED FOR EROSION CONTROL AT A RATE OF 3 TONS PER ACRE. HYDROSEEDING MAYBE UTILIZED AS AN

ALTERNATE METHOD. (SEE HYDROSEEDING NOTES)

LOAM & SEED

NOT TO SCALE



N.T.S.

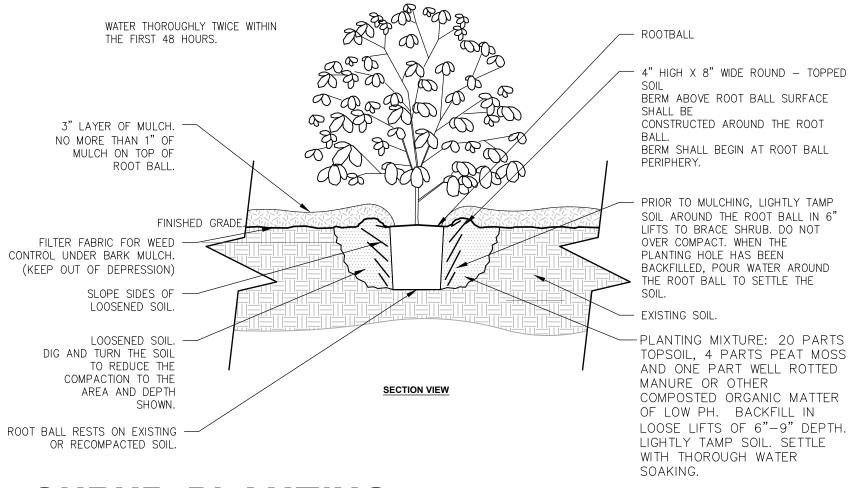
STANDARD DETAIL TREE **PLANTING** PORTSMOUTH, NEW HAMPSHIRE DRAWING SCALE: NTS March, 2019

PART 1 - GENERAL:

1.1 THE BASE OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING. ANSI A300 PART 6 LAYS OUT TERMS AND BASIC STANDARDS AS SET FORTH BY INDUSTRY BUT IT IS NOT THE "END ALL" FOR THE CITY OF PORTSMOUTH. THE FOLLOWING ARE THE CITY OF PORTSMOUTH, NH TREE PLANTING REQUIREMENTS THAT ARE IN ADDITION TO OR THAT GO BEYOND THE ANSI A300 PART 6.

PART 2 - EXECUTION:

- 2.1 ALL PLANTING HOLES SHALL BE DUG BY HAND NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBING, AND PLANTING SITES WITH SILVA CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS AND PLANTING DEPTH NEEDS TO BE RAISED THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMED WITH MACHINE TO PREVENT SINKING OF THE ROOT BALL.
- 2.2 ALL WIRE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.
- 2.3 THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GIRDLING ROOTS ARE
- 2.4 THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHING DEPTH.
- 2.5 ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST, THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.
- 2.6 ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS - NO EXCEPTIONS.
- 2.7 AN EARTH BERM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE
- 2.8 2"-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.
- 2.9 AT THE TIME OF PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS, BACKFILL MATERIAL AND MULCH LAYER.
- 2.10 STAKES AND GUYS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUY MATERIAL SHALL BE NON-DAMAGING TO THE TREE.
- 2.11 ALL PLANTING STOCK SHALL BE SPECIMEN QUALITY, FREE OF DEFECTS. AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH, NH RESERVES THE RIGHT TO REFUSE/REJECT ANY PLANT MATERIAL OR PLANTING ACTION THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPORTATION AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.



SHRUB PLANTING

NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8

LANDSCAPE DETAILS PROPOSED PARKING EXPANSION 1900 LAFAYETTE ROAD, PORTSMOUTH, NH

OWNED BY & PREPARED FOR HAMMES REALTY SERVICES, LLC

1"=40' (11"X17") | SCALE: 1"=20' (22"X34")

JANUARY 24, 2024

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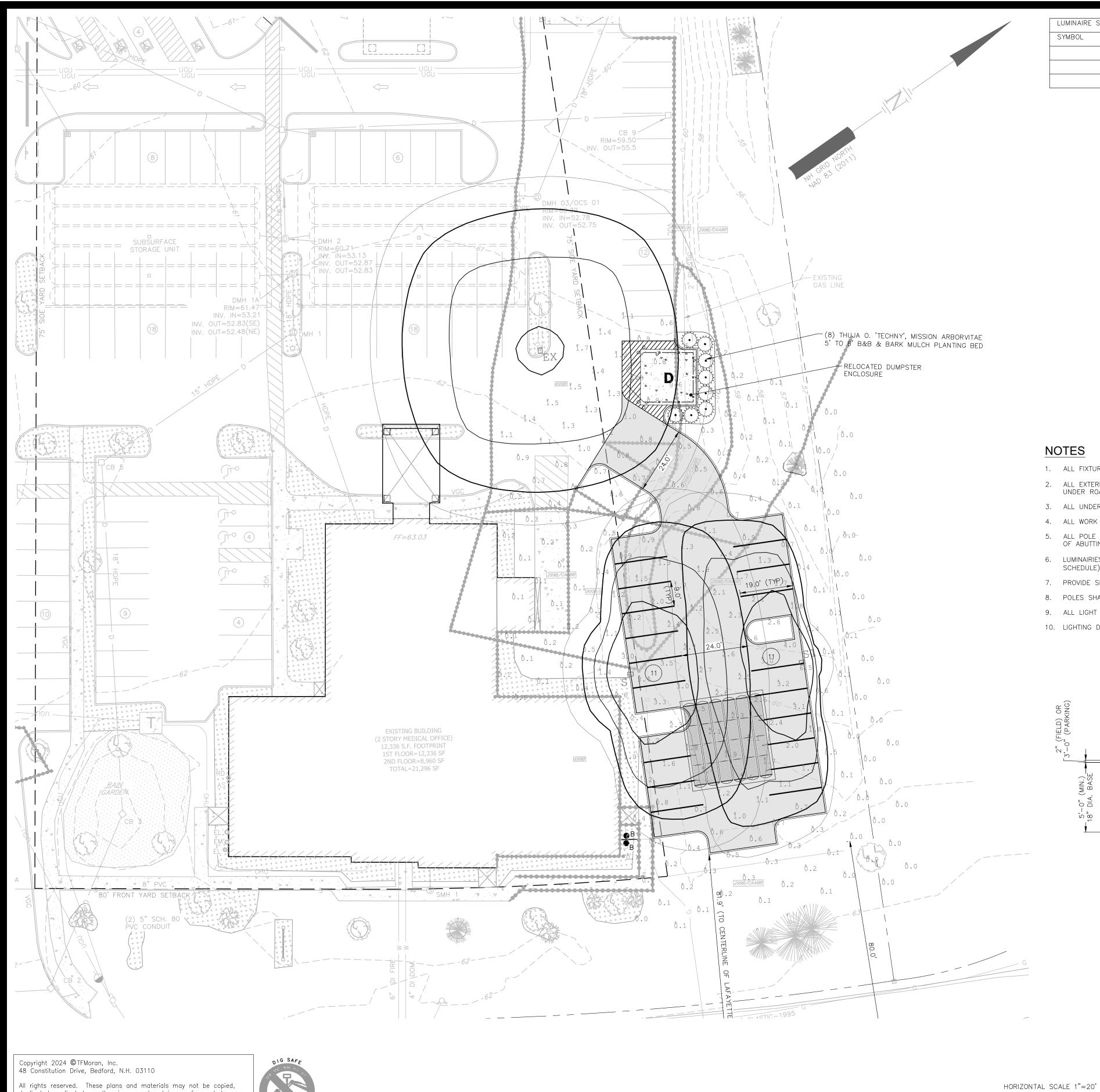
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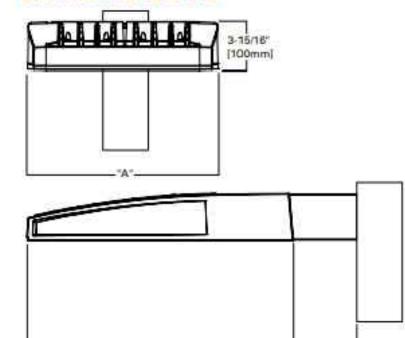


LUMINAIRE SCHEDULE				
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
<u></u>	1	S	SINGLE	GLEON-SA2A-740-U-T3 / 20' AFG
-	1	S1	SINGLE	GLEON-SA2A-740-U-SL3-HSS / 20' AFG
$\overline{\qquad}$	1	EX	SINGLE	EXISTING FIXTURE ON 20' POLE

PARKING LOT ILLUMINANCE (FC) AVERAGE = 2.02MAXIMUM = 6.5MINIMUM = 0.6

AVG/MIN RATIO = 3.37MAX/MIN RATIO = 10.83

Dimensional Details

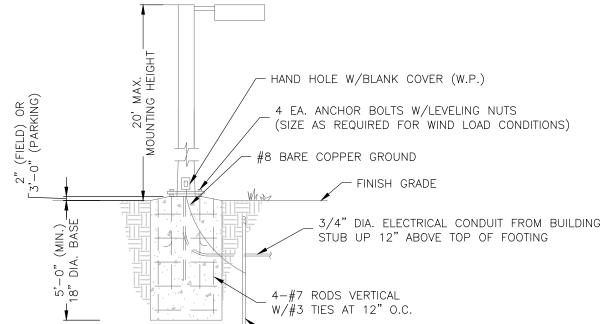


Number of Light Squares	'A' Width	Standard Arm Length	"B" Extended Arm Length "	"B" QM Arm Length	"B" QML Length	"B" QMEA Length
1-4	15-1/2*	7*	10*	10-5/8*	20	16-9/16
5-6	21-5/8*	7*	10*	10-5/8*	-	16-9/16
7-8	27-5/8*	7"	13*	10-5/8*	10-5/16"	H)
9-10	33-3/4"	7*	16"		10-5/16*	77.

1. ALL FIXTURES SHALL BE LED FIXUTRES MEETING FULL CUT-OFF, DARK-SKY COMPLIANCE.

- 21-3/4" (553mm) -

- 2. ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE A MINIMUM 1 1/2" DIAMETER SCHEDULE 40 PVC. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE MINIMUM COVER OF 24 INCHES.
- 3. ALL UNDERGROUND CONDUITS WILL HAVE NYLON PULL ROPE.
- 4. ALL WORK SHALL MEET REQUIREMENTS OF NATIONAL ELECTRIC CODE.
- 5. ALL POLE MOUNTED LIGHT FIXTURES SHALL BE RECESSED TO SHIELD THE ILLUMINATION SOURCE FROM THE VIEW OF ABUTTING PROPERTIES.
- 6. LUMINAIRIES AND FIXTURE MOUNTING HEIGHT SHALL BE SET AT A MAXIMUM OF A 20 FEET HIGH (SEE LUMINAIRE
- 7. PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
- 8. POLES SHALL BE FACTORY CUT AS REQUIRED TO PROVIDE REQUIRED FIXTURE MOUNTING HEIGHT.
- 9. ALL LIGHT BASES TO BE SQUARE.
- 10. LIGHTING DESIGN, CALCULATIONS AND PHOTOMETRICS PROVIDED BY CHARRON, INC.





- 1. BASE SHOWN IS PROTOTYPICAL. VERIFY THAT LIGHT POLE BASE INSTALLED MEETS LIGHT POLE MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH ELECTRICAL CONTRACTOR.
- 2. WHERE LIGHT POLE BASES ARE PLACED IN AREAS NOT PROTECTED BY CURBING, A 3'-0" REVEAL OF BASE IS REQUIRED WITH REVEAL TO BE PAINTED SAFETY YELLOW. WHERE LIGHT POLE BASES ARE PLACED IN FIELD APPLICATIONS OR PROTECTED BY CURBING, THE BASE IS TO BE PLACED 2" ABOVE FINISHED GRADE.

8' X 5/8" DIAMETER GROUND ROD

- 3. BASE CONCRETE TO BE 4,000 PSI, SMOOTH FINISH.
 4. POLES SHALL BE FACTORY CUT TO PROVIDE REQUIRED MOUNTING
- 5. POLES AND LIGHT FIXTURES TO BE BRONZE.

LIGHT POLE BASE



MCGRAW-EDISON GLEON GALLEON POLE FIXTURE

SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8

LIGHTING PLAN PROPOSED PARKING EXPANSION 1900 LAFAYETTE ROAD, PORTSMOUTH, NH

> OWNED BY & PREPARED FOR HAMMES REALTY SERVICES, LLC

1"=40' (11"X17") SCALE: 1"=20' (22"X34")

JANUARY 24, 2024

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THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 13,510 SQUARE FEET (0.311 ACRES).

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH APPLICABLE CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP, AND PERMIT

SEQUENCE OF MAJOR ACTIVITIES

- 1. INSTALL PERIMETER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED SITE DEVELOPMENT PLANS, PERMITS, OR SWPPP IF REQUIRED, PRIOR TO EARTH
- 2. DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL. INSTALL STORMWATER TREATMENT PONDS AND SWALES BEFORE ROUGH GRADING THE SITE.
- F. COMPLETE MAJOR GRADING OF SITE.
- 5. CONSTRUCT PARKING AREAS. S. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT
- BARRIERS, AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES. 7. CONSULT APPLICABLE REGULATIONS, PERMITS, AND CONDITIONS.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL D. BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE

- 1. BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- 2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;

4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE, SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS, ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSIVE VELOCITIES ARE ENCOUNTERED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

INSTALLATION, MAINTENANCE, AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

A. <u>GENERAL</u>

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

- 1. STABILIZATION OF ALL SWALES, DITCHES, AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
- 2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME. (5 AC MAX)
- 3. ALL CONTROL MEASURES WILL BE INSPECTED IN ACCORDANCE WITH APPLICABLE REGULATIONS, PERMITS, AND CONDITIONS AND AT LEAST EVERY 7 DAYS <u>OR</u> EVERY 14 DAYS AND AFTER A 0.25 INCHES RAIN EVENT OR
- 4. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
- 5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF
- 6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- 7. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY
- 8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
- 9. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

FILTERS / BARRIERS

1. SILT SOCKS

A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

TEST REQUIREMENTS 5.0 TO 8.0

TMECC 02.02-B 2" SIEVE AND MIN. 60% GREATER

STND TESTING < 60%

PARTICLE SIZE

THAN THE 3" SIEVE

MOISTURE CONTENT

MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS

MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.

- B. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.
- C. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.

2. SEQUENCE OF INSTALLATION

SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

3. MAINTENANCE

- A. SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
- B. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
- D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

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C. <u>MULCHING</u>

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

A. APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100' OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.

B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

2. GUIDELINES FOR WINTER MULCH APPLICATION.

A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

3. MAINTENANCE

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

VEGETATIVE PRACTICE

- 1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF 4". THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED IHICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND REPOLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.
- 2. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER, AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER 1" IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.
- 3. THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO 3. ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.
- 4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.
- 5. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDED.
- 6. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
- 7. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER
- APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER. 8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED,

SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND

- GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH. 9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING. THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH
- 10. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

NOT OVER 1/4" AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF

- 11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.
- 12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.
- 13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30. WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK, IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:
- A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.

2.5 LBS/1,000 SF

2.0 LBS/1,000 SF

1.5 TONS/ACRE

B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 500 POUNDS PER ACRE. MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

WINTER RYE (FALL SEEDING)

OATS (SPRING SEEDING)

CATCH BASIN INLET PROTECTION

BECOMES CLOGGED

1. INLET BASKET STRUCTURE

- A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- B. MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.
- C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:

GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682) MULLEN BURST STRENGTH: MIN. 60PSI (ASTM D774)

D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.

E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING

EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING. F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC

F. WINTER CONSTRUCTION SEQUENCE

- 1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.
- 2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- 3. AFTER OCTOBER 15TH, INCOMPLETE PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

> FOR SINGLE/DUPLEX FAMILY SUBDIVISIONS, WHEN LOT DEVELOPMENT IS NOT PART OF THE PERMIT, THEN LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

WASTE DISPOSAL

WASTE MATERIALS

- ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT
- 2. HAZARDOUS WASTE
- ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

HE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION

- A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
- B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
- E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
- A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT
- SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

PRODUCT SPECIFICATION PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

CONTAINED AREA DESIGNATED ON SITE.

INFORMATION.

ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

2 | 9/9/2024

1 7/31/2024

REV DATE

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

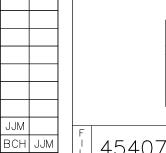
CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A

SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8

EROSION CONTROL NOTES PROPOSED PARKING EXPANSION 1900 LAFAYETTE ROAD, PORTSMOUTH, NH

SCALE: NTS



DR CK

NO REVISIONS THIS SHEET

REVISED TITLE BLOCK

DESCRIPTION

Seacoast Division ivil Engineers Structural Engineers raffic Engineers and Surveyors cientists

170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com

DR JKC FB CK CRR CADFILE 45407-17_EROSION-CTR_NOTES

C - 08

JANUARY 24, 2024

G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

SPILL CONTROL PRACTICES

CLEANUP SUPPLIES.

SPECIFICALLY FOR THIS PURPOSE.

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION

A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE

PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND

B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA

ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS,

RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS

D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE

E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL

F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE,

THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.

AND THE CLEANUP MEASURES WILL BE INCLUDED.

CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

OWNED BY & PREPARED FOR HAMMES REALTY SERVICES, LLC

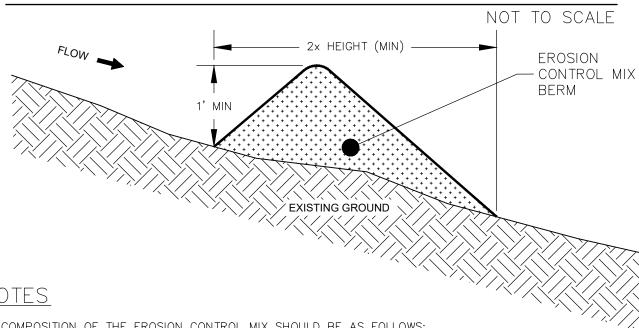
andscape Architects

NOTES

- 1. SILT SOCK SHALL BE FILTREXXTM SILTSOXXTM OR APPROVED EQUIVALENT.
- 2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
- SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.

COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

SILT SOCK



- 1. COMPOSITION OF THE EROSION CONTROL MIX SHOULD BE AS FOLLOWS:
- EROSION CONTROL MIX SHOULD CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH. THE MIX COMPOSITION SHOULD MEET THE FOLLOWING STANDARDS:
- THE ORGANIC MATTER CONTENT SHOULD BE BETWEEN 25% AND 65%, DRY WEIGHT BASIS.

EROSION CONTROL MIX BERM

EXISTING PAVEMENT TO BE REMOVED

1. USE KEY JOINT AT ALL LOCATIONS WHERE OVERLAY MEETS EXISTING PAVEMENT OR CONCRETE.

2. NEW PAVEMENT SHALL BE FLUSH WITH EXISITING PAVEMENT AND SHALL MEET OVERLAY GRADE WHERE IT

NOT TO SCALE

- PARTICLE SIZE BY WEIGHT SHOULD BE 100% PASSING A 3" SCREEN, 90% TO 100% PASSING A 1" SCREEN, 70% TO 100% PASSING A 34" SCREEN, AND A MAXIMUM OF 30% TO 75% PASSING A 34" SCREEN.
- THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
- THE MIX SHOULD NOT CONTAIN SILTS, CLAYS OR FINE SANDS.
- SOLUBLE SALTS CONTENT SHOULD BE < 4.0 mmhos/cm.

OVERLAY AREA

ABUTS EXISTING PAVEMENT TO BE OVERLAYED.

PAVEMENT

NOTES

- THE pH SHOULD BE BETWEEN 5.0 AND 8.0.
- THE BARRIER MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OF WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BARRIER THROUGH THE GRASS BLADES OR PLANT STEMS.
- 3. THE BARRIER MUST BE A MINIMUM OF 12" HIGH, AS MEASURED ON THE UPHILL SIDE OF THE BARRIER, AND A MINIMUM OF TWO FEET WIDE.

NOT TO SCALE

STANDARD 2" OVERFLOW AREA TYPICAL RECTANGULAR INLET FILTER

FLEXSTORM CATCH-IT FILTERS

- 1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT $> \frac{1}{2}$ ". EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
- SPRAY WITH OPTIMAL FILTRATION. 5. REPLACE BAG IF TORN OR PUNCTURED TO $> \frac{1}{2}$ " DIAMETER ON LOWER

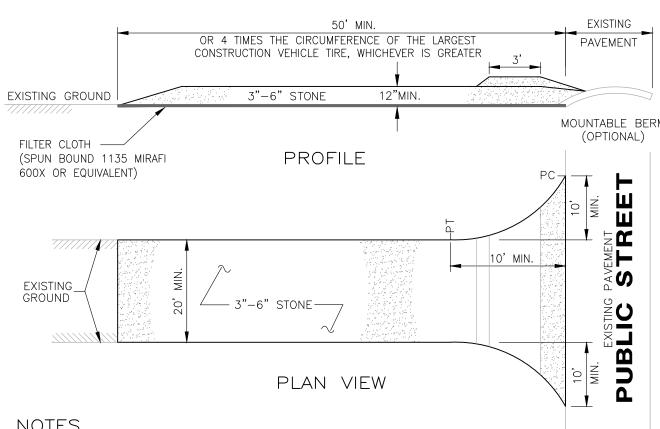
REMOVED CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM

(866) 287-8655 INFO@INLETFILTERS.COM

INLET PROTECTION

NOT TO SCALE



- 1. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
- . WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED
- . MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE
- 4. WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

- METAL POSTS

TEMPORARY

FENCE

CONSTRUCTION

FINISHED GRADE SEE

PLAN FOR MATERIAL

BOLLARD DETAIL

6" Ø SCHEDULE 40

POST FILLED WITH

- GRADE

FOOTING

(BOLLARD COVERING TO BE PROVIDED BY OWNER)

1'-6" Ø CONCRETE

- CONCRETE COMPRESSIVE STRENGTH (28 DAYS) =

- COMPACTED SUBGRADE

LIGHTED BOLLARDS AT FRONT OF

BUILDING TO BE PROVIDED BY

NOT TO SCALE

CONCRETE

MOUNTABLE BERM

NOTES

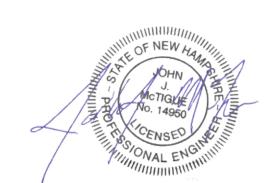
- ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND

STABALIZED CONSTRUCTION ENTRANCE

- 1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO
- 3. ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3'-0" OC

TYPICAL PARKING LAYOUT

NOT TO SCALE



TAX MAP 267 LOT 8

PROPOSED PARKING EXPANSION 1900 LAFAYETTE ROAD, PORTSMOUTH, NH

> OWNED BY & PREPARED FOR HAMMES REALTY SERVICES, LLC

2 9/9/2024 NO REVISIONS THIS SHEET BCH JJM 1 7/31/2024 REVISED TITLE BLOCK REV DATE **DESCRIPTION** DR CK

Seacoast Division cientists DR JKC FB

170 Commerce Way, Suite 102 Civil Engineers Structural Engineers Portsmouth, NH 03801 Traffic Engineers Phone (603) 431-2222 and Surveyors Fax (603) 431-0910 andscape Architects www.tfmoran.com

C - 09CK CRR CADFILE 45407-17_DETAILS

SITE DEVELOPMENT PLANS

MODIFIED PROCTOR MAXIMUM DRY DENSITY.

BE REPAIRED AND REPLACED.

LOCATIONS SHALL BE HEAVY DUTY.

<u>LENGTH:</u> AS REQUIRED

MINIMUM OF 2

90° CUT OPTION

SIGN POST

GALVANIZED

STEEL POST

PROPOSED.

DUMPSTER

NOT TO SCALE

4" WIDE BLUE

PAINTED LINES

ENCLOSURE

WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN)

HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH

BE COMPLETE BEFORE PAINTING.

LATEST NHDOT STANDARD SPECIFICATIONS.

1.5" BITUMINOUS CONCRETE

2.0" BITUMINOUS CONCRETE

PAVEMENT SECTION

1. SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE

A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE

3. REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.

4. BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION

5. BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5%

OR AASHTO T209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310

6. PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A

7. PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS

9. ALL PARKING SPACES SHALL BE STANDARD DUTY. ALL OTHER

MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.

STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95%

8. THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD

OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041

PAVEMENT PRIOR TO PLACING THE WEARING COURSE.

2. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE

AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY,

AND CROSS—SLOPE.

DEGREES FAHRENHEIT.

(NHDOT 1/2 INCH SURFACE COURSE)

(NHDOT 3/4 INCH BINDER COURSE)

6" CRUSHED GRAVEL 12" GRAVEL (NHDOT 304.3) / (NHDOT 304.2)

> COMPACTED SUBGRADE (STRIP LOAM AND ORGANICS)

> > NOT TO SCALE

STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)

FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED

1. WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A

CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.

2. ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC

3. SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE

MEDIUM GREEN BAKED-ON OR AIR-DRIED PAINT OF

WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL

NOT TO SCALE

DETAIL SHEET 1

SCALE: NTS

JANUARY 24, 2024

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KEY JOINT

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TEMPORARY CONSTRUCTION FENCE

CHARLOTTE, N.C. OR APPROVED EQUAL.

1. CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS

MANUFACTURED BY EXXON CHEMICAL COMPANY ATLANTA, GA; "KONTROL SAFETY FENCE" AS MANUFACTURED BY MIRAFI,

6' O.C. (TYP.)

NOT TO SCALE

4" WIDE WHITE PAINTED LINES LANDSCAPE ISLAND

STOP BAR

RETROREFLECTIVE PAINT PAVEMENT

1. STOP SIGN TO BE 30" WIDE X 30" HIGH.

FOR STREETS AND HIGHWAYS.

NHDOT ITEM 632.0112 -

MARKING, 12" WIDE

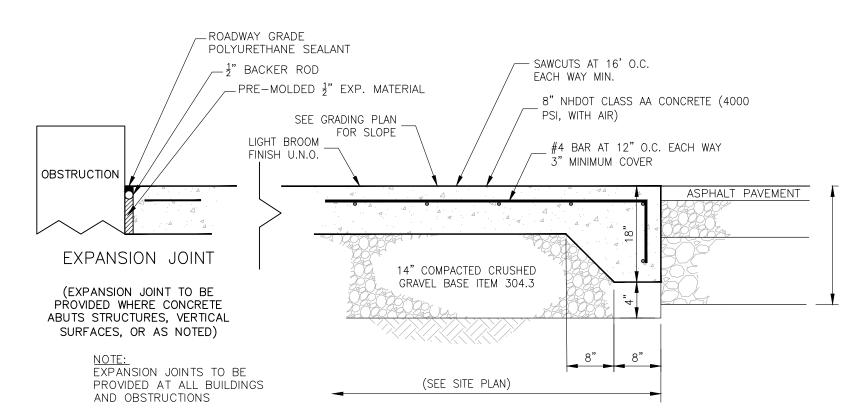
STOP BAR & STOP SIGN

2. REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

- 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.
- BORDERED BY 4" WIDE LINES.
- 4. 2% MAXIMUM CROSS SLOPE ALLOWED IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.

CENTER

CENTER

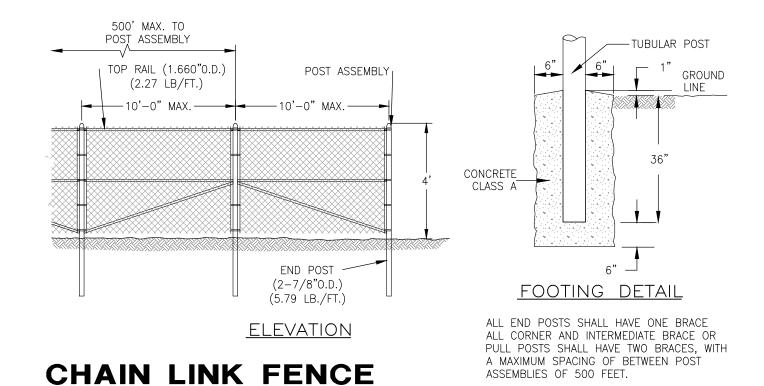


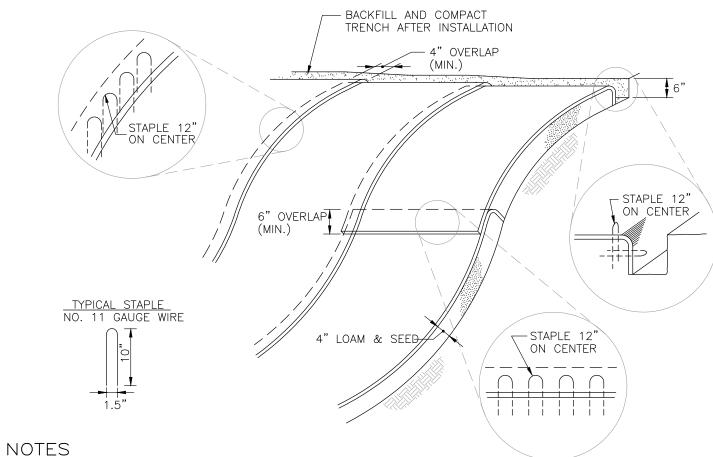
HEAVY DUTY CONCRETE PAD

NOTES

1. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT - USE TACK COAT 2. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS

NOT TO SCALE





1. INSTALL AT DISTURBED LOCATIONS WITH 2:1 SLOPES OR GREATER AND AS INDICATED PER PLANS.

- 2. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
- 3. ROLL THE BLANKET DOWN THE SLOPE OR SWALE IN THE DIRECTION OF THE WATER FLOW.
- 4. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
- 5. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
- 6. BLANKET SHALL BE NORTH AMERICAN GREEN C125BN, EAST COAST EROSION CONTROL ECC-2B, AMERICAN EXCELSIOR COMPANY CURLEX III FIBRENET, ROLANKA GEONATURAL EROSION & SEDIMENT CONTROL MATTE JUTEMAT OR BIOD-OCF 30, OR APPROVED EQUAL.
- 7. BLANKET SHALL BE PLACED WITHIN 24-HRS AFTER SOWING SEE IN THE AREA BEING COVERED

EROSION CONTROL BLANKET NOT TO SCALE

MAINTENANCE:

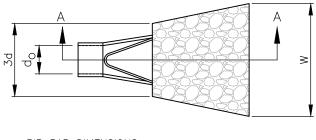
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

CONSTRUCTION SPECIFICATIONS:

- 1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON
- 2. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12".
- 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
- 5. ADD ANIMAL SCREEN TO FLARED END SECTION

LENGTH OF FES GEOTEXTILE FABRIC TO BE PLACED BETWEEN RIP RAP AND SOIL (TYP)-

SECTION A-A



RIP RAP DIMENSIONS LOCATION

LOCATION	FES-21
d50 STONE SIZE:	6"
LENGTH OF APRON (L):	9.0'
WIDTH OF APRON (W):	6.5'
DEPTH OF RIP RAP (T):	9"
% OF WEIGHT SMALLER	
THAN THE GIVEN SIZE SIZE	OF STONE (INCHES)
100	9.00 TO 12.00

7.80 TO 10.80 6.00 TO 9.00 1.80 TO 3.00

RIP RAP AND FLARED END SECTION

WITH OUTLET PROTECTION

NOT TO SCALE

TRASH ENCLOSURE WITH RECYCLING PAN NOT TO SCALE

17'-9"

5'-11"

5'-11"

DUMPSTERS

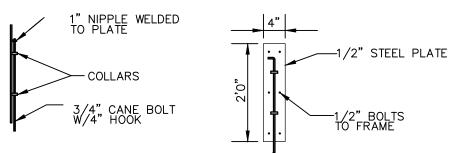
5'-11"

DUMPSTERS/

6' HIGH BLACK CHAIN LINK

FENCE WITH PRIVACY SLATS

4'-9"



TRASH ENCLOSURE GATE STOP NOT TO SCALE

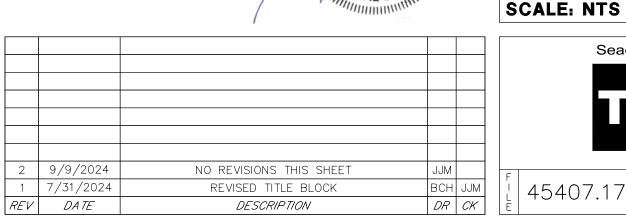
SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8

DETAIL SHEET 2 PROPOSED PARKING EXPANSION 1900 LAFAYETTE ROAD, PORTSMOUTH, NH

> OWNED BY & PREPARED FOR HAMMES REALTY SERVICES, LLC

45407-17_DETAILS





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JANUARY 24, 2024

NOT TO SCALE

SECTION A-A

1. SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.

6 x DRAINAGE ÀRÉA (ACRES)

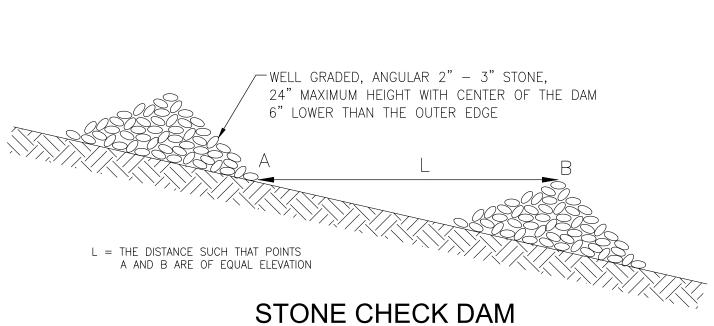
SEDIMENT TRAP - ISOMETRIC VIEW

SEDIMENT TRAP

NOTES

DIKE, IF NECESSARY, TO DIVERT FLOW INTO TRAP

NOT TO SCALE



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- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR

POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

- CHAMBER ROWS SHALL PROVIDE CONTINUOUS. UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN
- REQUIREMENTS FOR HANDLING AND INSTALLATION:

FOR THERMOPI ASTIC PIPE

- TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL. INTERLOCKING STACKING LUGS.
- TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
- TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER. THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR FOLIAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.

ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS

CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740

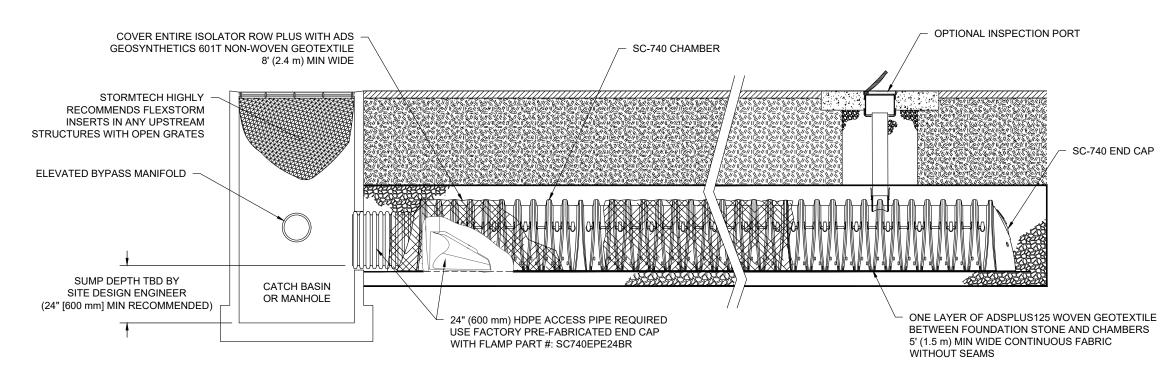
- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED LINTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS
- 2. STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH
- SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- 3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE
 - STORMTECH RECOMMENDS 3 BACKFILL METHODS: STONESHOOTER LOCATED OFF THE CHAMBER BED.
- BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE. BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- 5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2"
- 8. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE

NOTES FOR CONSTRUCTION EQUIPMENT

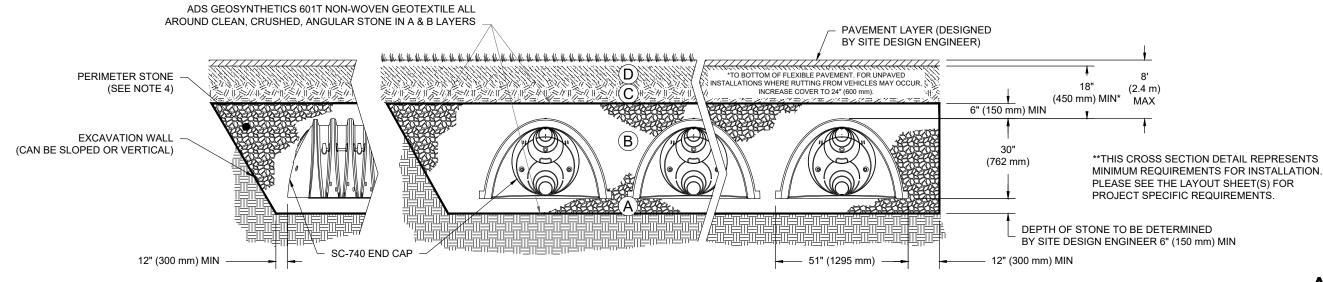
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED: NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
- NO RUBBER TIRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE"
- WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



SC-740 ISOLATOR ROW PLUS DETAIL



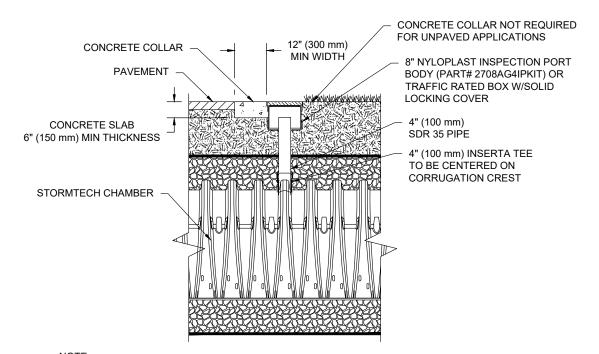
INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT

- A. INSPECTION PORTS (IF PRESENT) A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD
- ON MAINTENANCE LOG A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT
- LEVELS (OPTIONAL) A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO
- B. ALL ISOLATOR PLUS ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE
- ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING
- B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
 - A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

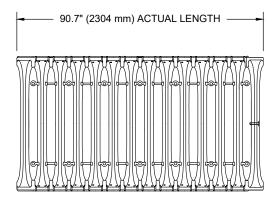
NOTES

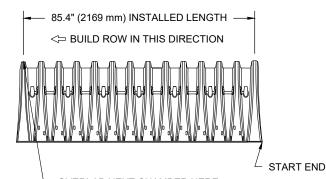
- 1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER
- 2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS



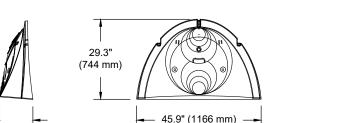
INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

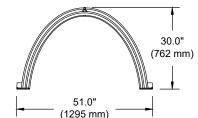
4" INSPECTION PORT DETAIL





OVERLAP NEXT CHAMBER HERE (OVER SMALL CORRUGATION)





NOMINAL CHAMBER SPECIFICATIONS SIZE (W X H X INSTALLED LENGTH) CHAMBER STORAGE MINIMUM INSTALLED STORAGE

SC740EPE24BR

51.0" X 30.0" X 85.4" (1295 mm X 762 mm X 2169 mm) 45.9 CUBIC FEET 74.9 CUBIC FEET 75.0 lbs.

(1.30 m³) (2.12 m³)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

0.1" (3 mm)

PRE-FAB STUB AT BOTTOM OF END CAP WITH FLAMP END WITH "BR" PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"

PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" $\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \$						
PART#	STUB	Α	В	С		
SC740EPE06T / SC740EPE06TPC	- 6" (150 mm) 10.9	10.0" (277 mm)	18.5" (470 mm)			
SC740EPE06B / SC740EPE06BPC		10.9" (277 mm)		0.5" (13 mm)		
SC740EPE08T /SC740EPE08TPC	— 8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)			
SC740EPE08B / SC740EPE08BPC		12.2 (310 11111)		0.6" (15 mm)		
SC740EPE10T / SC740EPE10TPC	10" (250 mm)	0" (250 mm) 13.4" (340 mm)	14.5" (368 mm)			
SC740EPE10B / SC740EPE10BPC	10 (230 11111)			0.7" (18 mm)		
SC740EPE12T / SC740EPE12TPC	12" (300 mm)	' (300 mm) 14.7" (373 mm)	12.5" (318 mm)			
SC740EPE12B / SC740EPE12BPC	12 (300 11111)			1.2" (30 mm)		
SC740EPE15T / SC740EPE15TPC	15" (375 mm)	5" (375 mm) 18.4" (467 mm)	9.0" (229 mm)			
SC740EPE15B / SC740EPE15BPC	15" (375 mm)	10.4 (407 11111)		1.3" (33 mm)		
SC740EPE18T / SC740EPE18TPC	18" (450 mm)	18" (450 mm) 19.7" (500 mm)	5.0" (127 mm)			
SC740EPE18B / SC740EPE18BPC	10 (430 11111)			1.6" (41 mm)		
SC740EPE24B*	24" (600 mm)	18.5" (470 mm)		0.1" (3 mm)		

ALL STUBS, EXCEPT FOR THE SC740EPE24B/SC740EPE24BR ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT

24" (600 mm) 18.5" (470 mm)

* FOR THE SC740EPE24B/SC740EPE24BR THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL. NOTE: ALL DIMENSIONS ARE NOMINAL

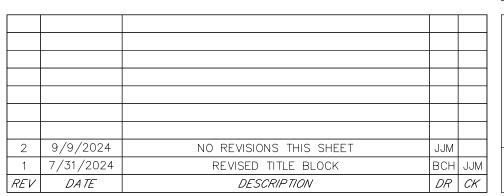
ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

SC-740 TYPICAL CROSS SECTION DETAIL NOT TO SCALE NOTES:

- 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- 2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". 3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE
- DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS 4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- 5. REQUIREMENTS FOR HANDLING AND INSTALLATION: • TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
- TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
- TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

	D MATERIAL LOCATION FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT	
			EBOTTOM OF FLEXIBLE ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.		PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.	
	С	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).	
-	В	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.	
	А	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}	

- 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE:
- "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE" 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY
- 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED



SITE DEVELOPMENT PLANS TAX MAP 267 LOT 8 **DETAIL SHEET 3** PROPOSED PARKING EXPANSION

1900 LAFAYETTE ROAD, PORTSMOUTH, NH OWNED BY & PREPARED FOR HAMMES REALTY SERVICES, LLC

SCALE: NTS

JANUARY 24, 2024



Structural Engineers and Surveyors andscape Architects

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GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION. This plan is not effective unless signed by a duly authorized officer of

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NOT TO SCALE

30" NEW HAMPSHIRE STANDARD MANHOLE FLAT TOOL JOINT ON ALL CAST IRON FRAME AND COVER EXPOSED BRICK H-20 LOADING SET GRADE FINISH CAST IRON FRAME SET ON - FULL BED OF MORTAR AND IF NECESSARY ADJUST SEALED WITH MORTAR TO GRADE WITH HARD RED BRICK-2C MINIMUM, 12" MAX. (CONCRETE COLLARS AND BARREL OUTLET BLOCKS ARE NOT ACCEPTABLE.) CONTROL OPENING **STRUCTURE** 8" PRECAST 5" MINIMUM WALL THICKNESS (8" IF UNREINFORCED) **TABLE** SLAB SECTION EMERGENCY OVERFLOW SEAL ALL FACTORY PRECAST 12" ORIFICE -INV. OCS-23 JOINTS W/BITUMINOUS SEAL INV.=D___12" HDPE PIPE RIM 60.94 -12" HDPE TEE END OF PIPE TO ORIFICE 56.75 SEAL AROUND PIPES WITH ■ BE FLUSH WITH ✓ NON−SHRINK MORTAR INSIDE WALL FLUSH WITH STRUCTURE INV.=A NA INV.=B 12" HDPE NA _INV.=E 59.15 -12" HDPE PIPE 57.00 SEAL IN PLACEWITH NON-SHRINK MORTAR _EXISTING SUBGRADE OR COMPACTED FILL 6" MINIMUM DRAINAGE STONE BEDDING 1. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI).

FRAME AND GRATE (NHDOT TYPE B ALT 1) CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN

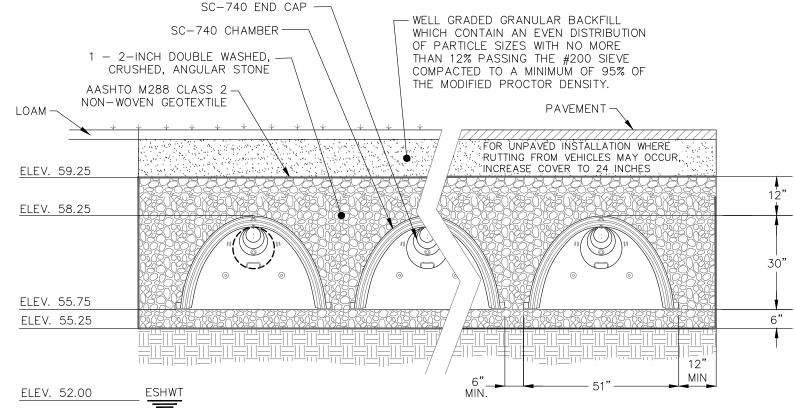
LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER 2. ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE

WALL. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE

OUTLET STRUCTURE

NOT TO SCALE



2-13/16 C-C\

WATERWAY OPENING

STORMTECH SC-740 CHAMBER SYSTEM CROSS SECTION DETAIL STORMTECH SYSTEM

SITE DEVELOPMENT PLANS

FOR DOUBLE GRATE,

ONE SIDE ON EACH ,

CAST IRON FRAME & GRATE

_BRICK RISERS (IF REQUIRED) SEE STRUCTURE DETAILS

NOT TO SCALE

TO BE SYMMETRICAL ABOUT

OPENING IN STRUCTURE

PLAN VIEW

DOUBLE GRATE

OMIT FLANGE ON

FRAME-

-GRATES TO BE

(IF APPLICABLE)

CAST IRON 2" THICK

PLAN VIEW

SINGLE GRATE

OPENING

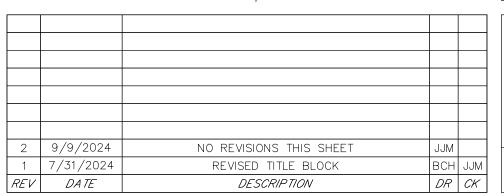
SECTION B-B

2 1/2"

TAX MAP 267 LOT 8

DETAIL SHEET 4 PROPOSED PARKING EXPANSION 1900 LAFAYETTE ROAD, PORTSMOUTH, NH

> OWNED BY & PREPARED FOR HAMMES REALTY SERVICES, LLC





SCALE: NTS

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SUBSURFACE STORATE AND INFILTRATION SYSTEM #2

NOT TO SCALE

FACE OF CURBING ---FINISH GRADE FLAT TOOL JOINT ON SEE FRAME AND GRATE DETAIL -SEE FRAME AND GRATE DETAIL -ALL EXPOSED BRICK FINISH GRADE CAST IRON FRAME SET CAST IRON FRAME SET -ON FULL BED OF MORTAR ON FULL BED OF MORTAR AND SEALED WITH MORTAR. AND SEALED WITH MORTAR. ADJUST TO GRADE WITH 8" PRECAST SLAB | 12" - HARD RED BRICK-HARD RED BRICK-SECTION 2C MINIMUM, 12" MAX. 2C MINIMUM, 12" MAX. (CONCRETE COLLARS AND (CONCRETE COLLARS AND BARREL BLOCKS ARE NOT BARREL BLOCKS ARE NOT ACCEPTABLE.) ACCEPTABLE.) 24"x24" OPENING (SINGLE GRATE) 24"x48" OPENING (DOUBLE GRATE) FLAT TOOL JOINT ON ALL EXPOSED BRICK 5" MINIMUM WALL THICKNESS 5" MINIMUM WALL THICKNESS FOR A GREASE TRAP BASIN (8" IF UNREINFORCED) 48" MINIMUM USE TEE (MATCH PIPE SIZE) 48" MINIMUM FOR A GREASE TRAP BASIN (8" IF UNREINFORCED) USE TEE (MATCH PIPE SIZE) END OF PIPE TO BE END OF PIPE TO BE FLUSH WITH INSIDE WALL FLUSH WITH INSIDE WALL SEAL ALL FACTORY PRECAST SEAL AROUND PIPES WITH SEAL AROUND PIPES WITH -NON-SHRINK MORTAR FLUSH JOINTS W/BITUMINOUS SEAL SEAL ALL FACTORY PRECAST NON-SHRINK MORTAR FLUSH WITH STRUCTURE JOINTS W/BITUMINOUS SEAL WITH STRUCTURE 12" TALL CONCRETE COUNTERWEIGHT RING, — COMPLETELY AROUND THE STRUCTURE. COUNTERWEIGHT SHALL BE 4,000 PSI CLASS AA CONCRETE WITH 7% AIR ENTRAINED, PINNED TO STRUCTURE USING EXISTING SUBGRADE OR EIGHT (8) #4 DOWELS, 6" LONG, EVENLY COMPACTED FILL SPACED AROUND THE SLAB. (SEE COUNTERWEIGHT NOTE FOR WIDTH OF (SEE COUNTERWEIGHT NOTE) (SEE COUNTERWEIGHT NOTE) 6" MINIMUM DRAINAGE STONE 6" MINIMUM DRAINAGE STONE NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478 NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478 EXISTING SUBGRADE OR **CATCH BASIN** COMPACTED FILL **CATCH BASIN** CONCENTRIC CONE NOT TO SCALE

SLAB TOP

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