

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

WORK SESSION

**Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue**

2:00 PM

September 10, 2024

AGENDA

2:00 PM

185 Grafton Drive
Jim Jalbert, Owner
Civil Works New England, Engineer
(LUTW-24-11)

Site Plan Review

2:30 PM

1900 Lafayette Rd
HPIII Boston Portsmouth LLC, Owner
TF Moran, Engineer
(LU-124-148)

Amended Site Plan Review



To whom it may concern,

I am writing on behalf of C&J Bus Lines to formally communicate our plans for further development of the Portsmouth Transportation Center at 185 Grafton Drive. Our plans detail the implementation of paid parking controls, traffic flow improvements, and associated infrastructure. These development plans are the result of a nearly decade-long public-private partnership (P3) process with the New Hampshire Department of Transportation (NHDOT), the property owner. This initiative has been undertaken to address both long-term goals and short-term challenges in operating these facilities.

These site development plans aim to establish a secure, fee-based, user-friendly, and low-maintenance parking system that prevents parking abuse, allows for simple administration, and serves the needs of all facility users fairly. Key features of this system will include a fenced perimeter with gated entries and exits, user-friendly parking control kiosks and software, and an enhanced security system. Our goal is to ensure that the traffic flow and user experience remain consistent with what existing facility users are accustomed to. Importantly, access to the fifteen-minute parking spaces and the passenger drop-off curb will remain unobstructed and free to use, with no negative visual or auditory impact on surrounding residential neighborhoods after construction. After four years of successfully operating this model at our Seabrook facility, we have concluded that it significantly enhances public safety, accessibility, and customer experience.

Attached for review are the following documents:

- **Attachment A:** Fully engineered site development plans

C&J is finalizing construction sequencing plans for the Portsmouth site and will attach these in a separate email by 8/20.

The Portsmouth Transportation Center is governed by RSA 674:54 due to its nature as an open and accessible public transit facility and public parking area. Therefore, C&J will host a public hearing with the goal of receiving constructive comments on the site development and construction sequencing plans. We value the input of the Portsmouth community and are eager to incorporate their feedback as appropriate to ensure the success of our design.

We have previously held public meetings during the request for qualifications phase of this initiative and have worked through multiple stages of review with the NHDOT, incorporating rounds of feedback from State engineers. We are now submitting these plans to the NHDOT for their final review and approval.

Subject to the NHDOT's final approval of these plans and an associated lease agreement, we plan to commence construction at the tail-end of the third quarter. C&J proposes the following details for the public hearing:

- **Date:** September 3rd, 4th, or 5th
- **Start time:** Between 6:00 PM and 7:00 PM
- **Location:** C&J Portsmouth Terminal, 185 Grafton Drive

We eagerly anticipate receiving your comments and look forward to the public hearing, as well as any interim questions you may have.

Brooks Jalbert
Executive
C&J Bus Lines



C&J BUS LINES PARKING CONTROL PROGRAM PORTSMOUTH TRANSPORTATION CENTER

PORTSMOUTH, NH 03801

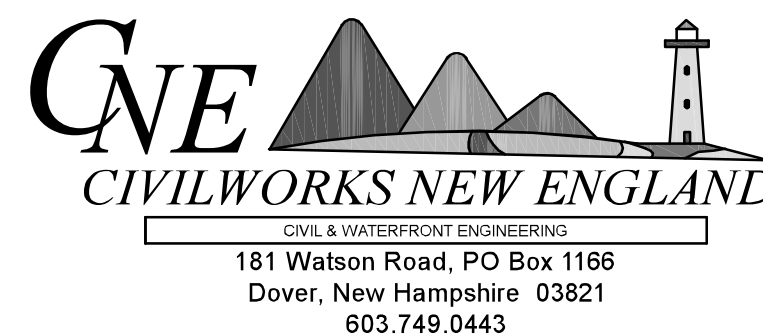
APRIL 15, 2024

REVISED: AUGUST 7, 2024

PREPARED FOR:

JALBERT LEASING, LLC
D/B/A C&J BUS LINES
185 GRAFTON DRIVE
PORTSMOUTH NH 03801

SITE CIVIL ENGINEER



GENERAL NOTES:

1. CONSTRUCT THIS PROJECT IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS UNLESS OTHERWISE INDICATED.
2. ADJUSTING, ALTERING AND RELOCATING THE PROPERTY OF ANY PUBLIC UTILITY SHALL BE DONE BY THE OWNER. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER IN THE PERFORMANCE OF THE WORK.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE EXACT LOCATION SHALL BE ESTABLISHED IN THE FIELD BY THE UTILITY COMPANY PRIOR TO ANY EXCAVATION OF POST DRIVING.
4. NO EXISTING MONUMENTS, BOUNDS OR BENCHMARKS SHALL BE DISTURBED WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
5. HORIZONTAL DATUM IS NEW HAMPSHIRE STATE PLANE NAD83 AND VERTICAL DATUM ID USGS NAVD88 BASED ON GPS OBSERVATION. CONTOUR INTERVAL 1 FOOT.
6. THE SITE IS NOT WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP (FORM) 33015C0270F, EFFECTIVE DATE 1-29-2021.

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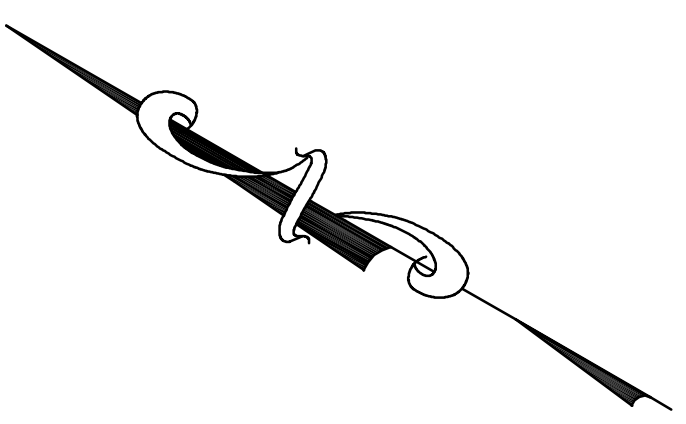
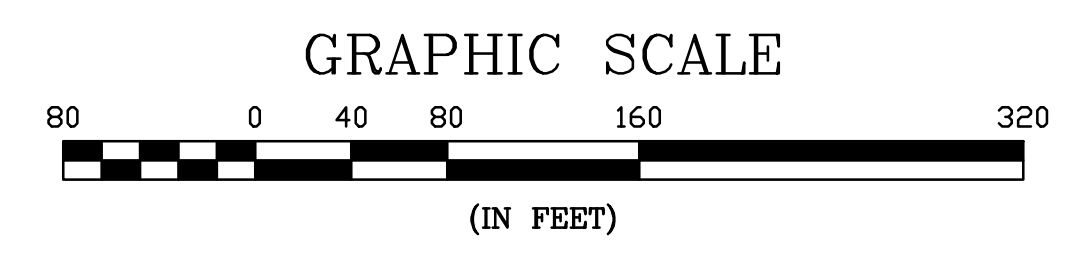
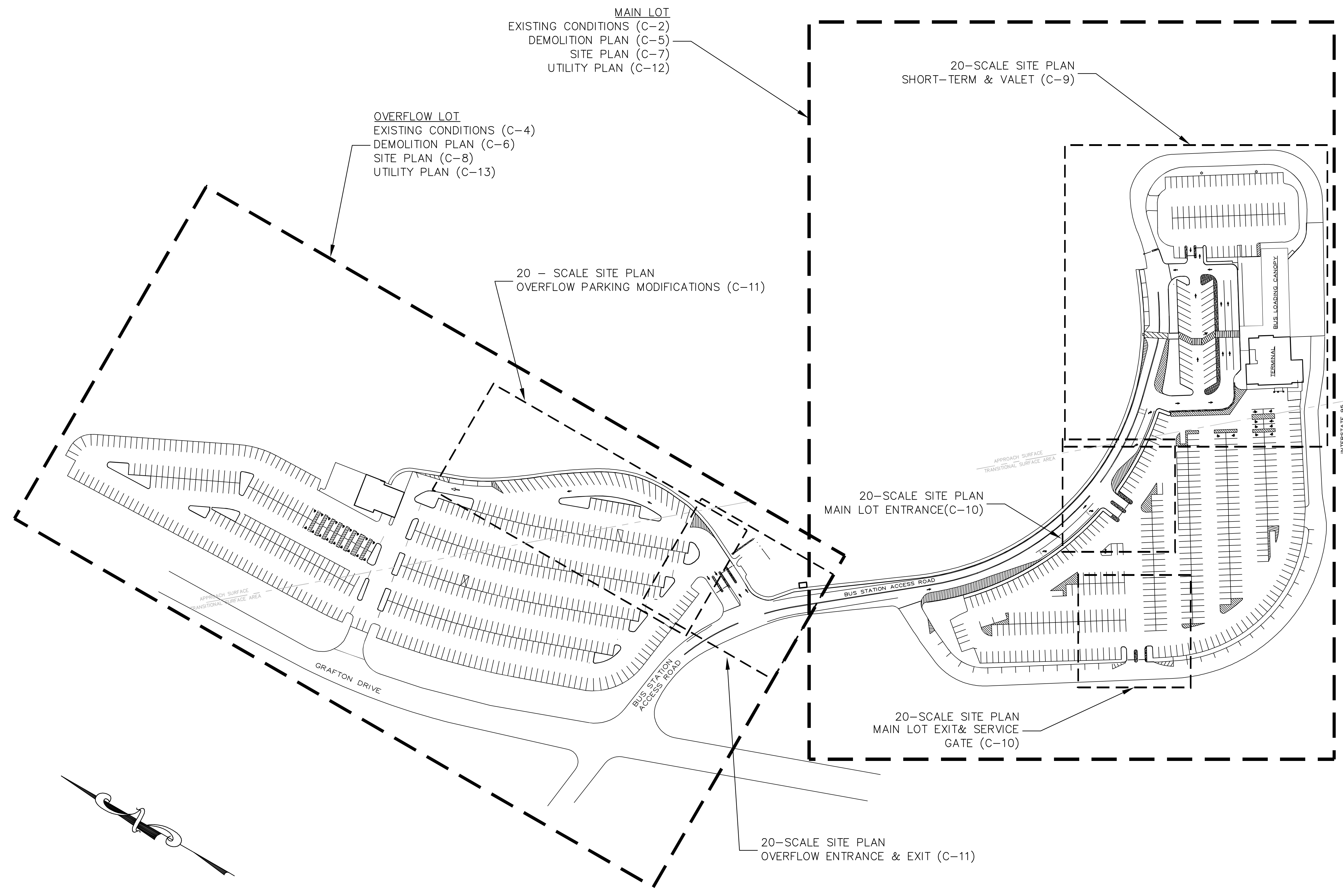
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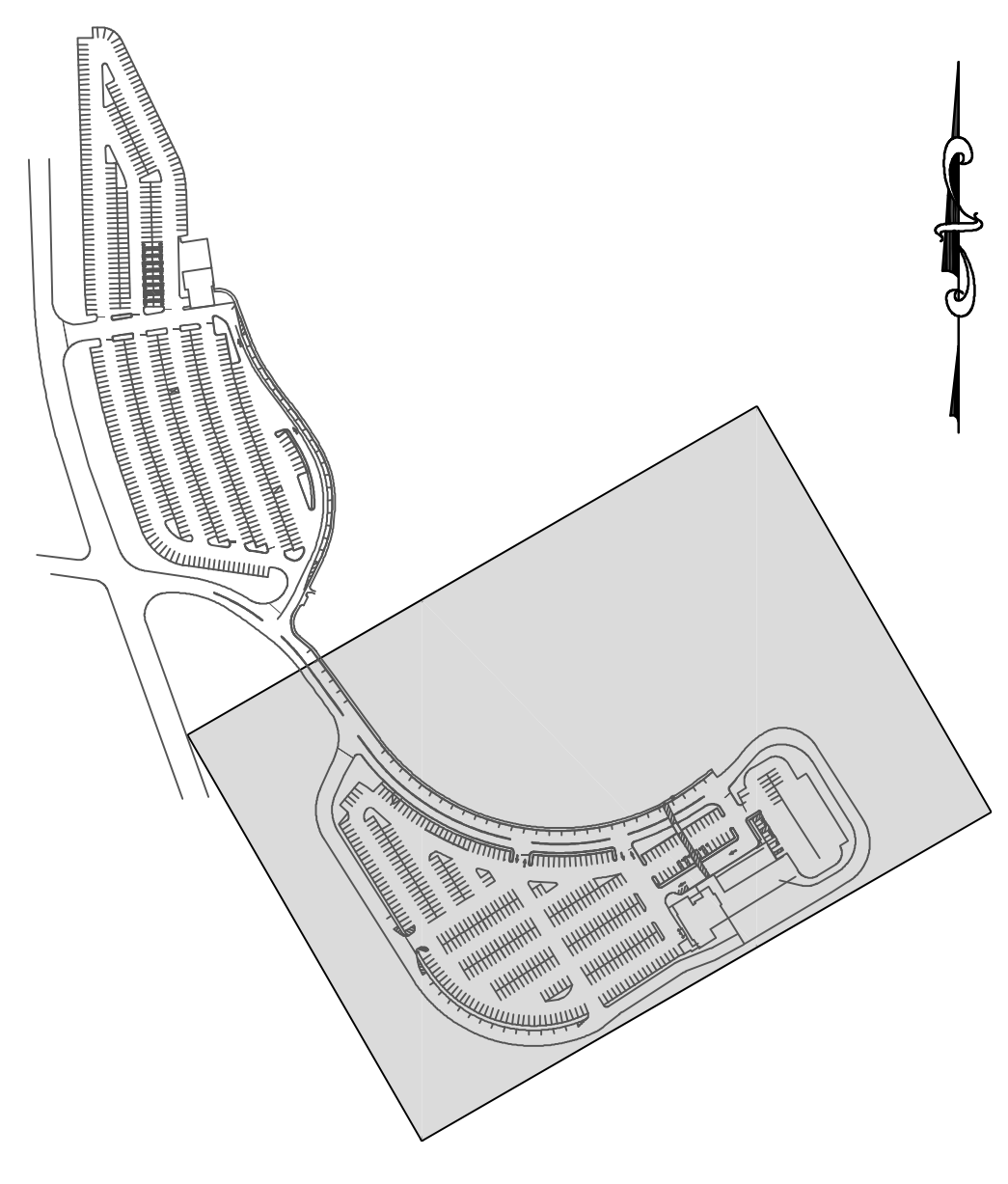
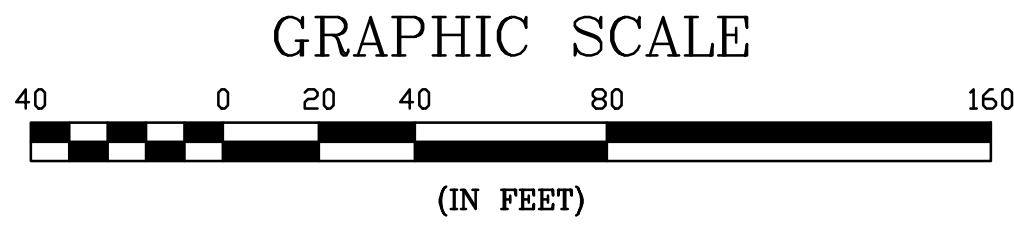
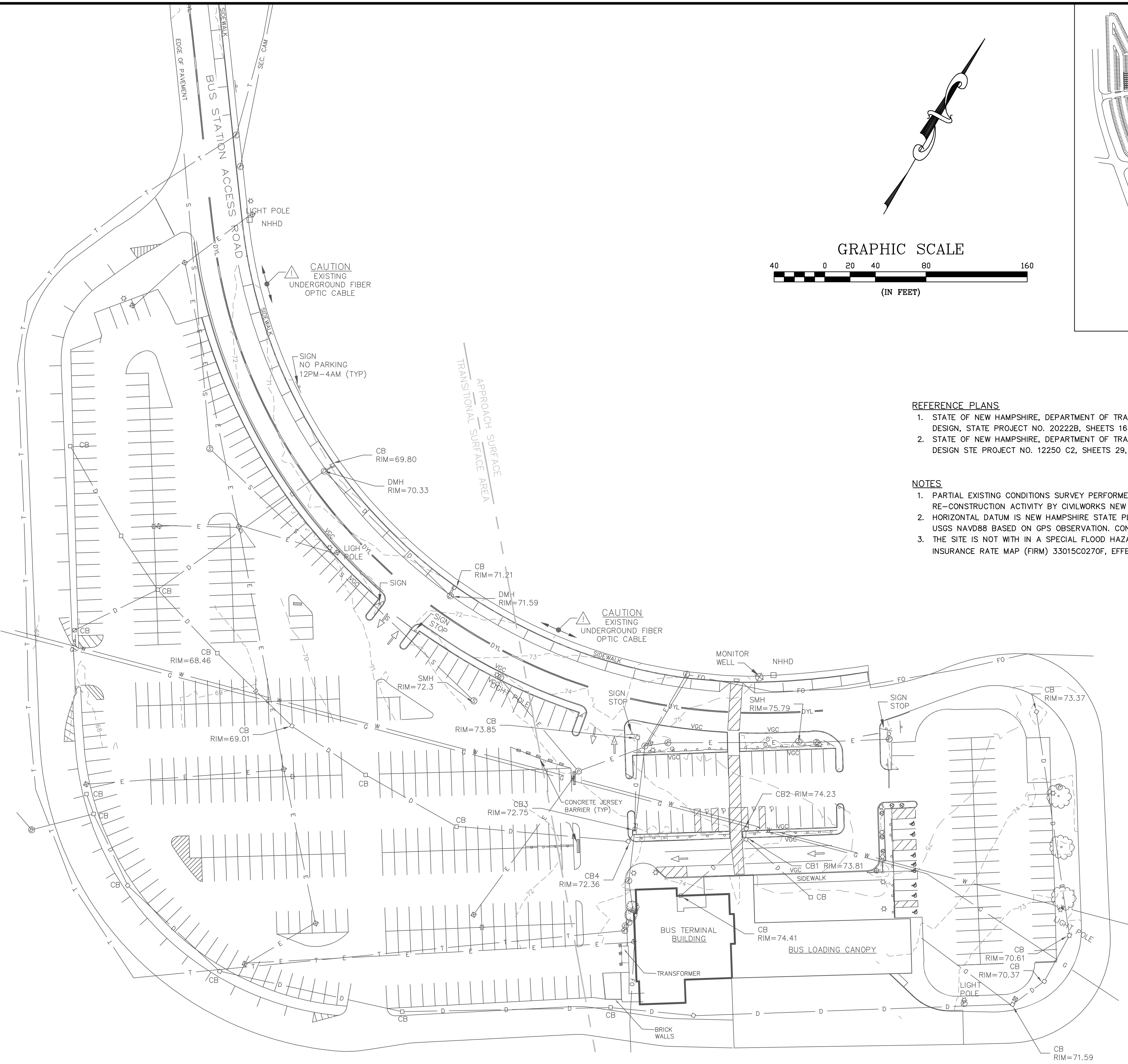
OVERALL KEY PLAN

**JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 GRAFTON DRIVE
PORTSMOUTH, NH**

**C & J BUS LINES
PARKING CONTROL PROGRAM
PORTSMOUTH
TRANSPORTATION CENTER**

C-2





KEY PLAN
NOT TO SCALE

REFERENCE PLANS

- STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAY DESIGN, STATE PROJECT NO. 20222B, SHEETS 16 & 21.
- STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAY DESIGN SITE PROJECT NO. 12250 C2, SHEETS 29, 41 & 43.

NOTES

- PARTIAL EXISTING CONDITIONS SURVEY PERFORMED IN AREA OF PROPOSED RE-CONSTRUCTION ACTIVITY BY CIVILWORKS NEW ENGLAND ON DECEMBER.
- HORIZONTAL DATUM IS NEW HAMPSHIRE STATE PLANE NAD83 AND VERTICAL DATUM IS USGS NAVD88 BASED ON GPS OBSERVATION. CONTOUR INTERVAL IS 1 FOOT.
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LEGEND

NHHD	NEW HAMPSHIRE HIGHWAY BOUND
☆	LUMINAIRE POLE
◇	CATCH BASIN
VGC	VERTICAL GRANITE CURB
SWL	SINGLE WHITE LINE
DYL	SINGLE WHITE LINE
⊙	SEWER MANHOLE
⊕	DRAIN MANHOLE
⊗	WATER SHUTOFF
⊚	SIGN
⊕	ELECTRICAL HANHOLE
⊕	PULLBOX
D	DRAIN PIPE
S	SEWER PIPE
W	WATER LINE
G	GAS LINE
FO	FIBER OPTICS LINE
---	DOUBLE YELLOW LINE
-73-	CONTOUR LINE
⊙	TREE

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CWE CIVILWORKS NEW ENGLAND
181 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.748.0443

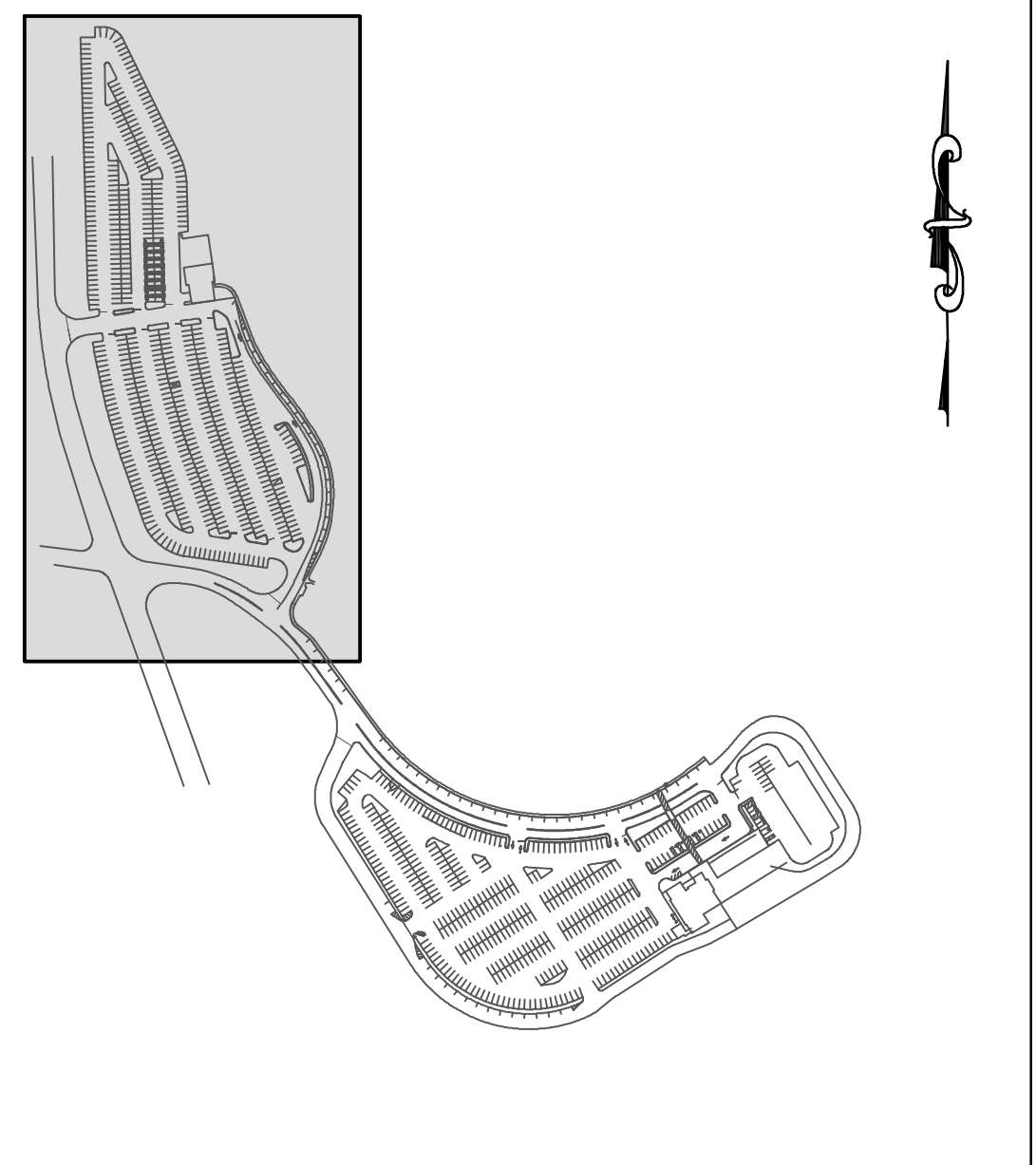
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4-4-24	1"=40'	SRD	DCL	BYDCL	1318	-DWG			

EXISTING CONDITION - MAIN LOT

JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 CRAFTON DRIVE
PORTSMOUTH, NH

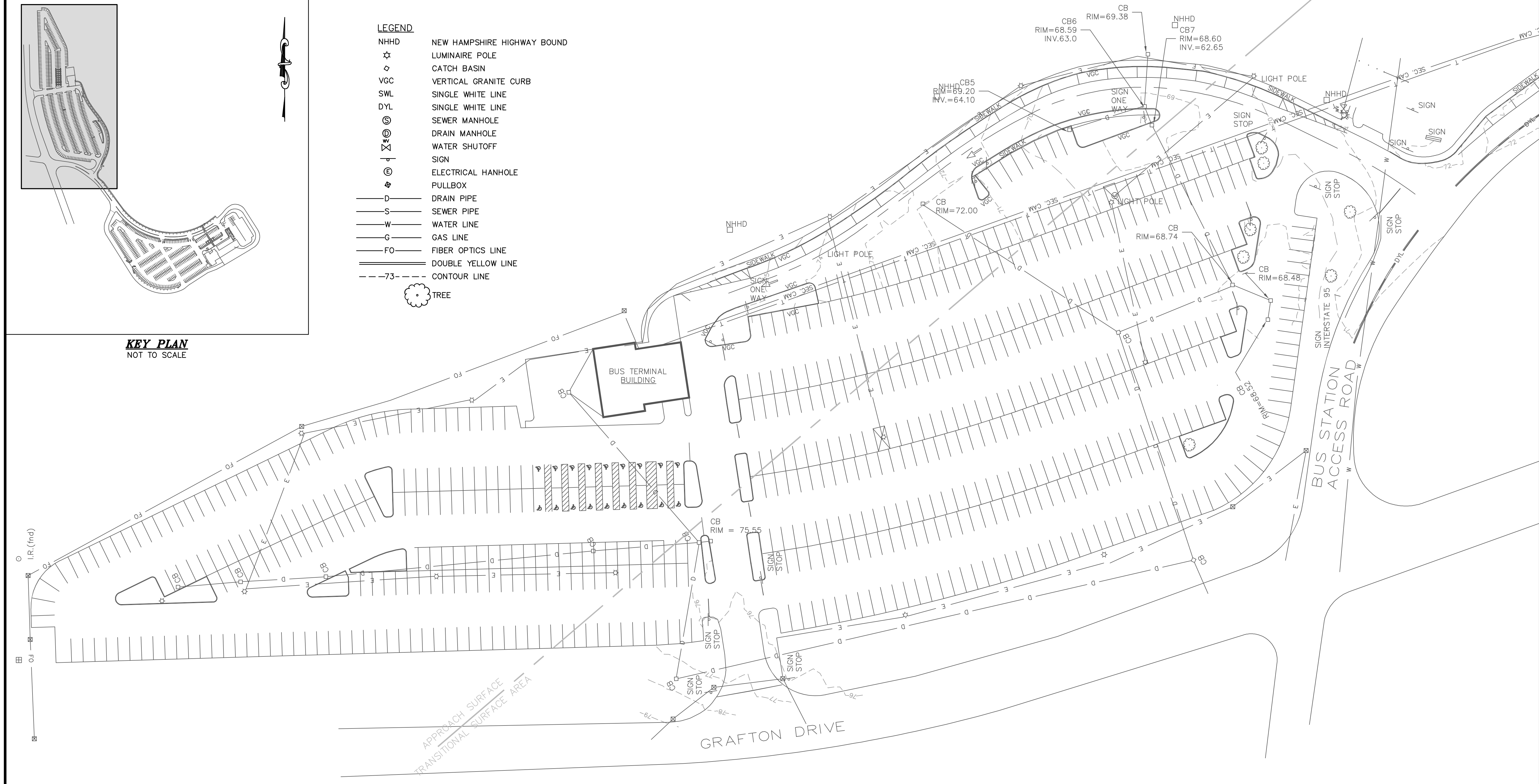
C & J BUS LINES
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PORTSMOUTH
TRANSPORTATION CENTER

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KEY PLAN
NOT TO SCALE

- LEGEND**
- NHHD NEW HAMPSHIRE HIGHWAY BOUND
 - ☆ LUMINAIRE POLE
 - ◇ CATCH BASIN
 - VGC VERTICAL GRANITE CURB
 - SWL SINGLE WHITE LINE
 - DYL SINGLE WHITE LINE
 - ⊙ SEWER MANHOLE
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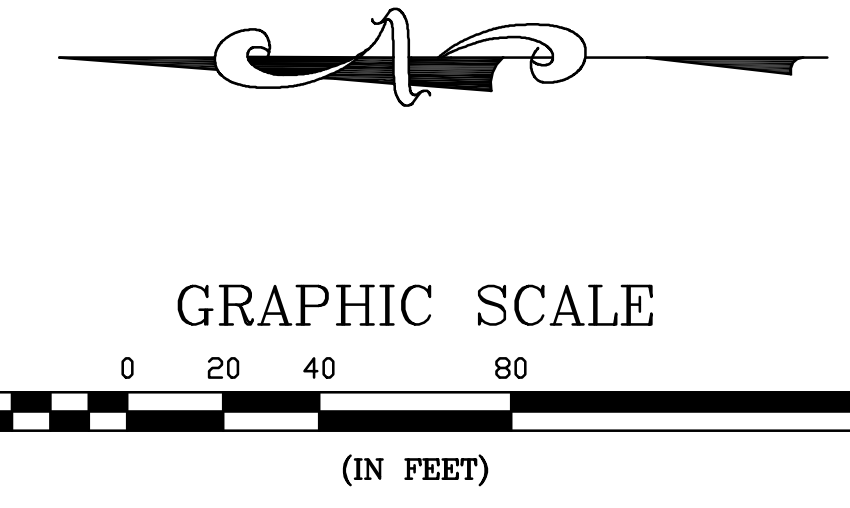


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CIVIL ENGINEERING
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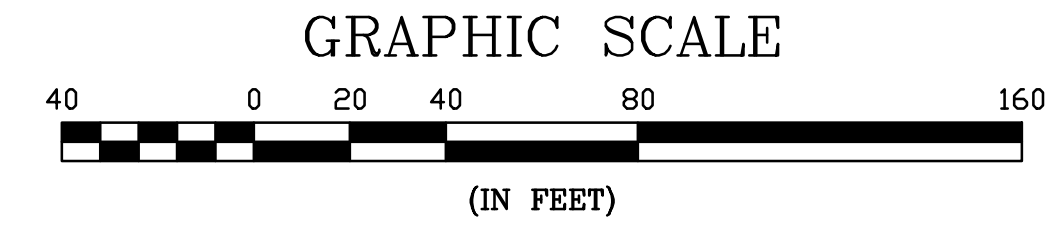
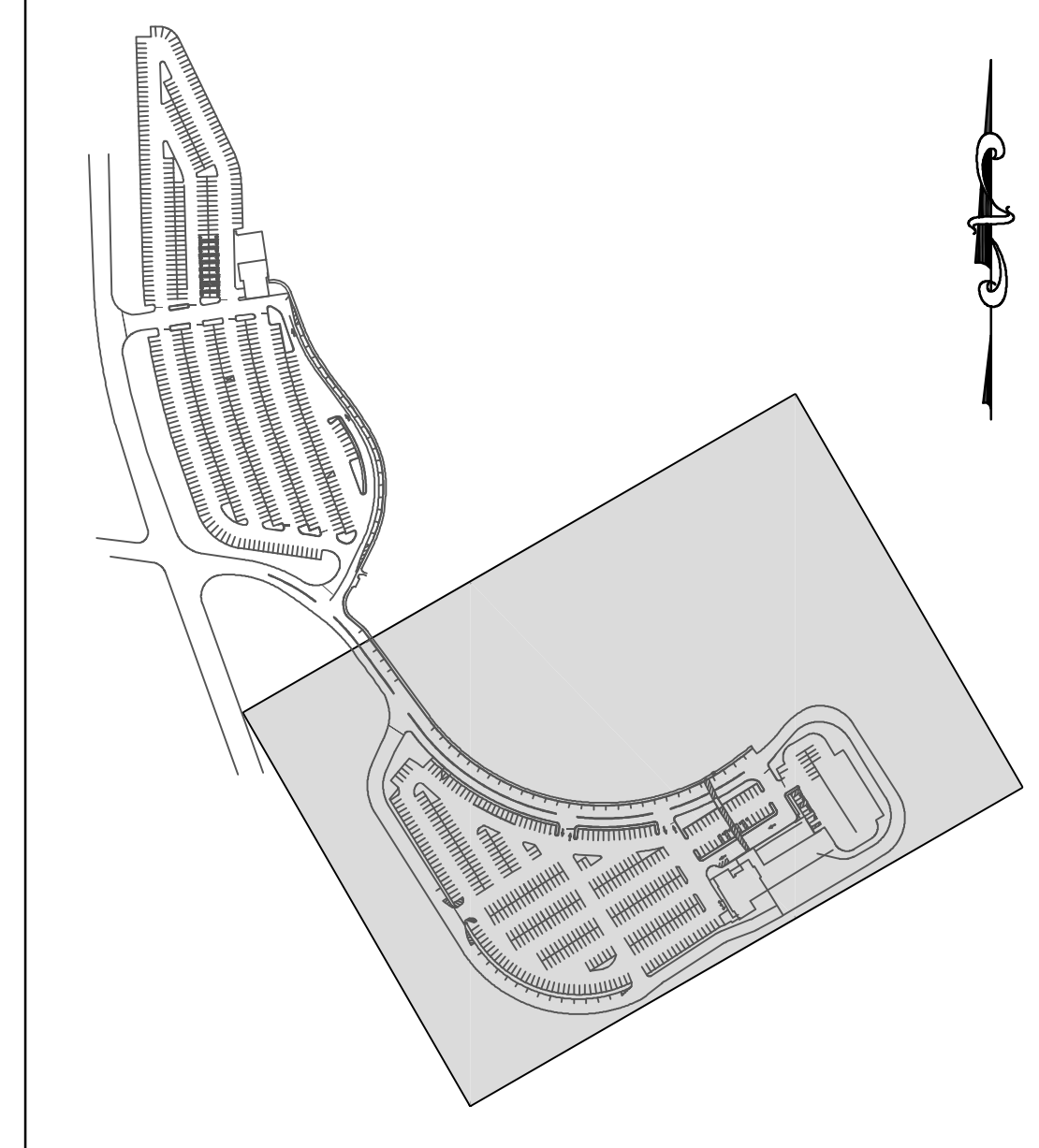
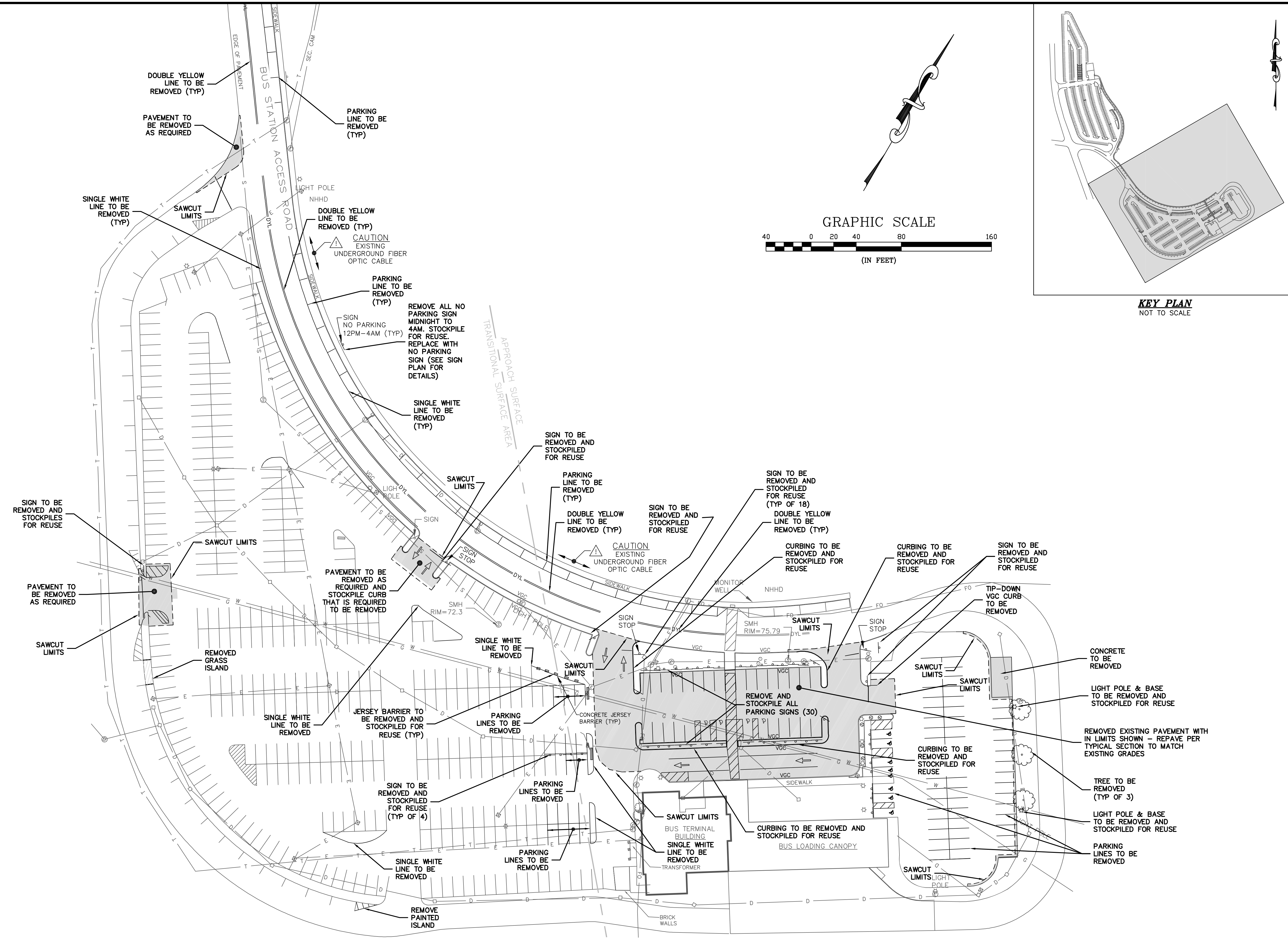
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APPROVED BY: DCL			
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FILE: C.P.P. -DWG			

EXISTING CONDITION - OVERFLOW LOT

JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 GRAFTON DRIVE
PORTSMOUTH, NH

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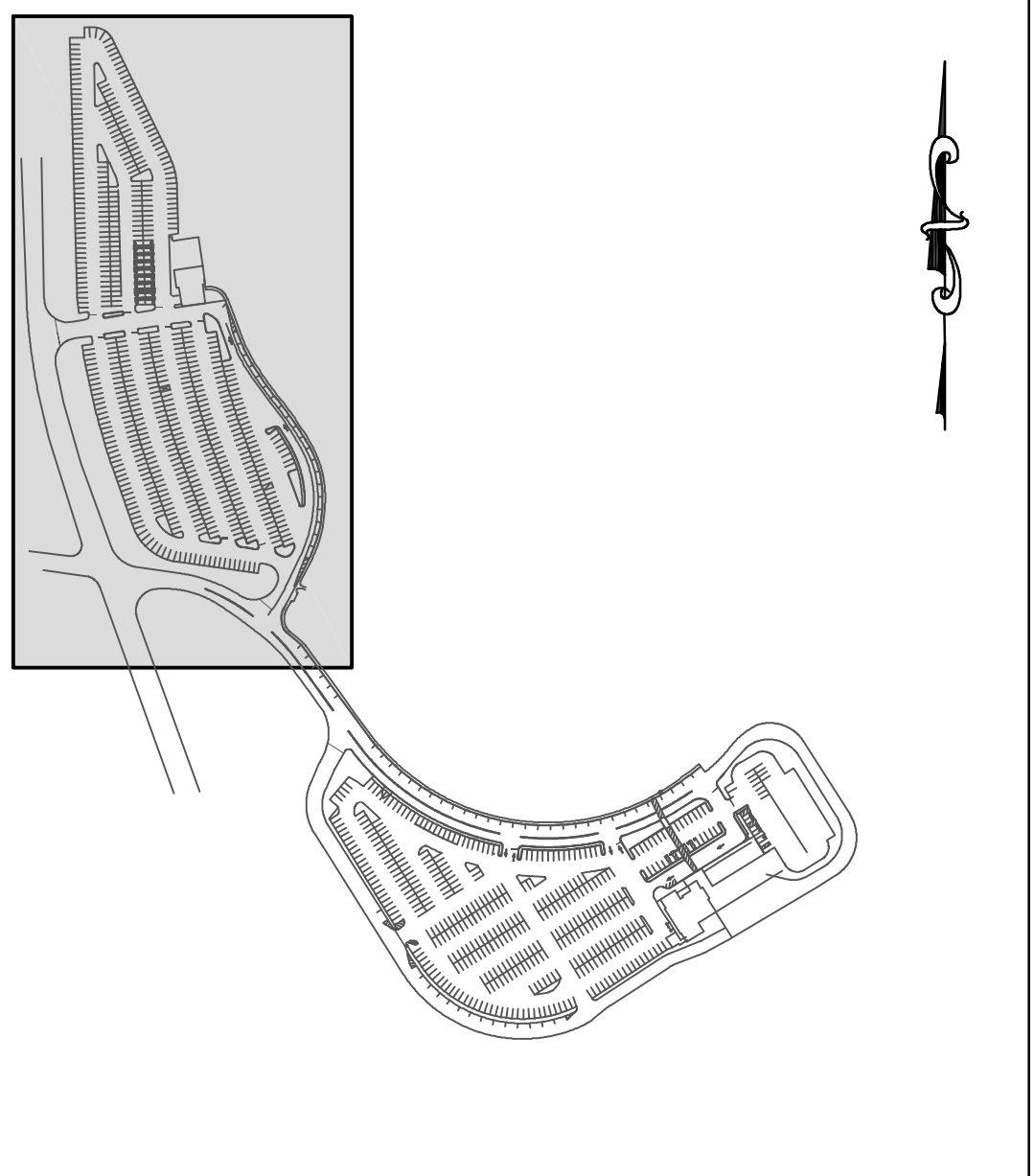
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DEMOLITION PLAN - MAIN LOT

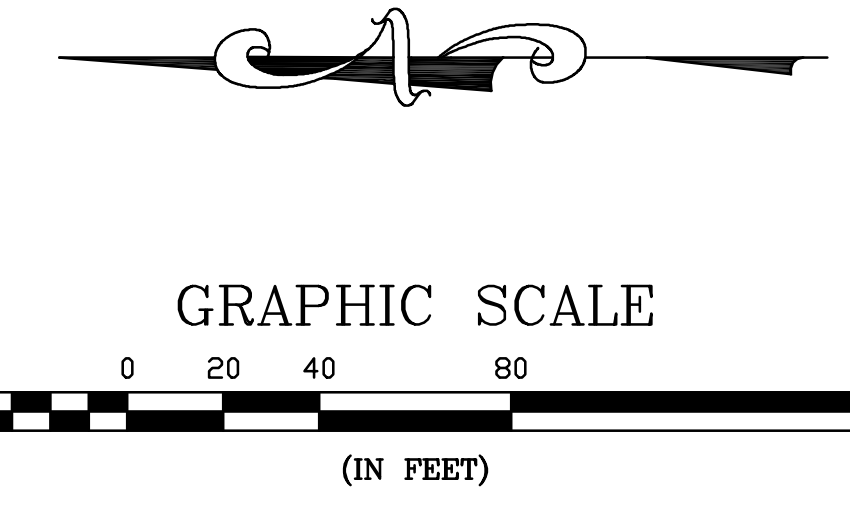
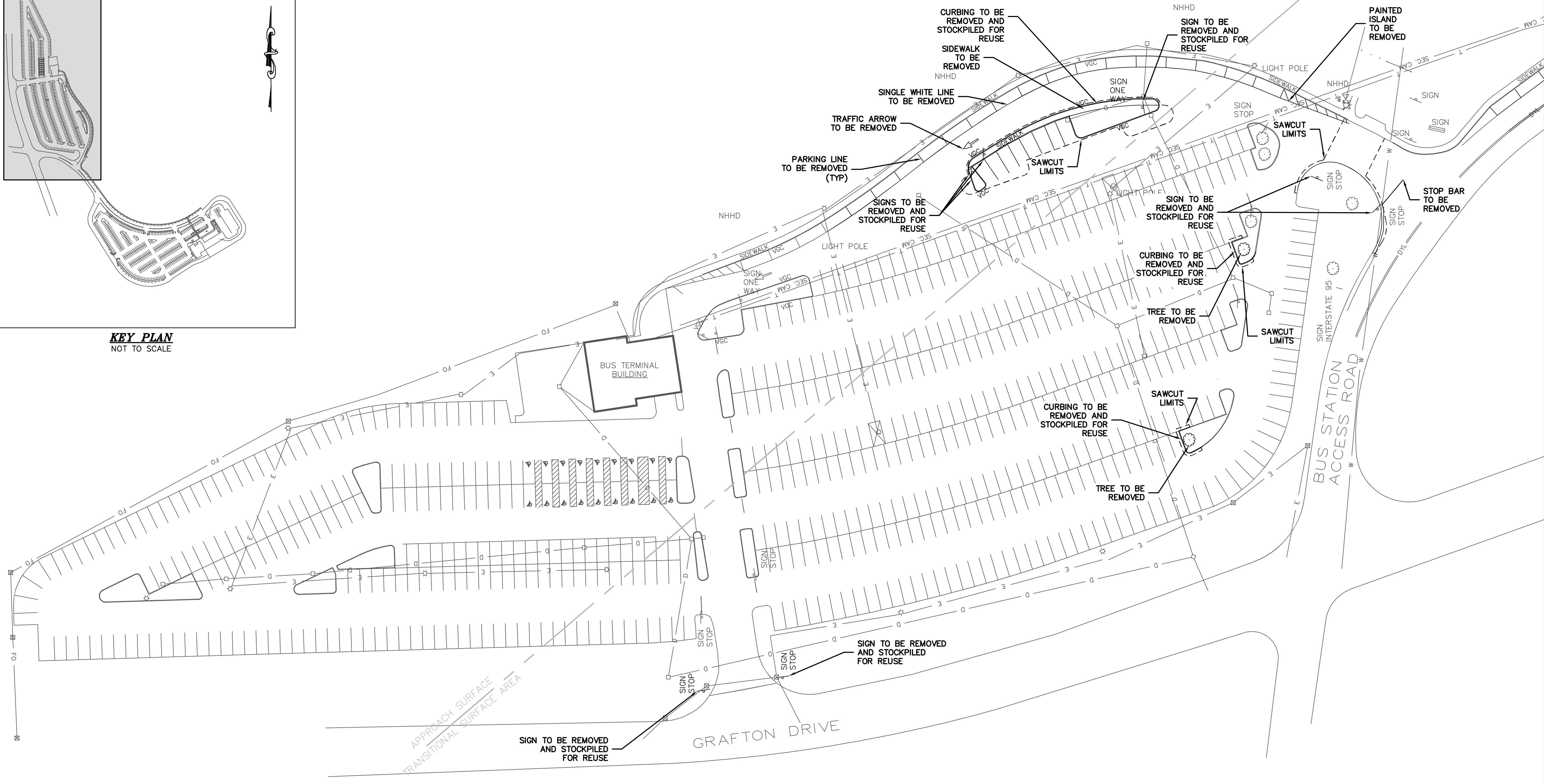
JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 CRAFTON DRIVE
PORTSMOUTH, NH

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KEY PLAN
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Dover, New Hampshire 03821
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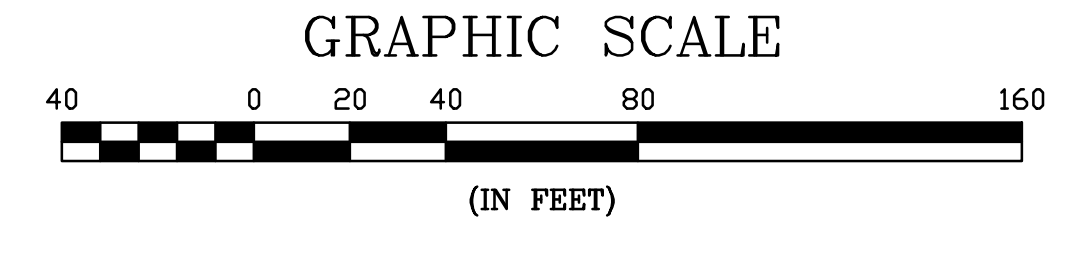
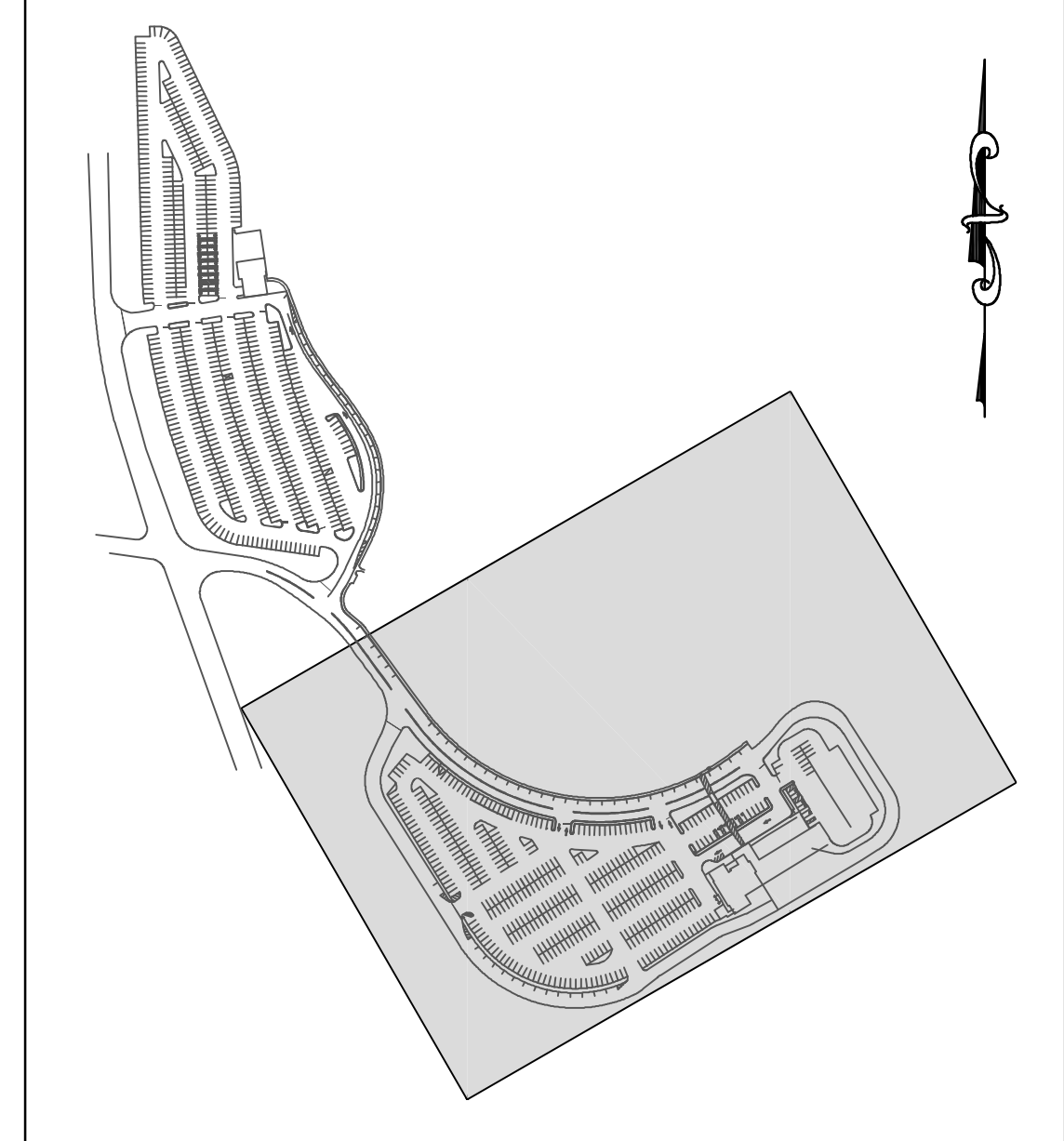
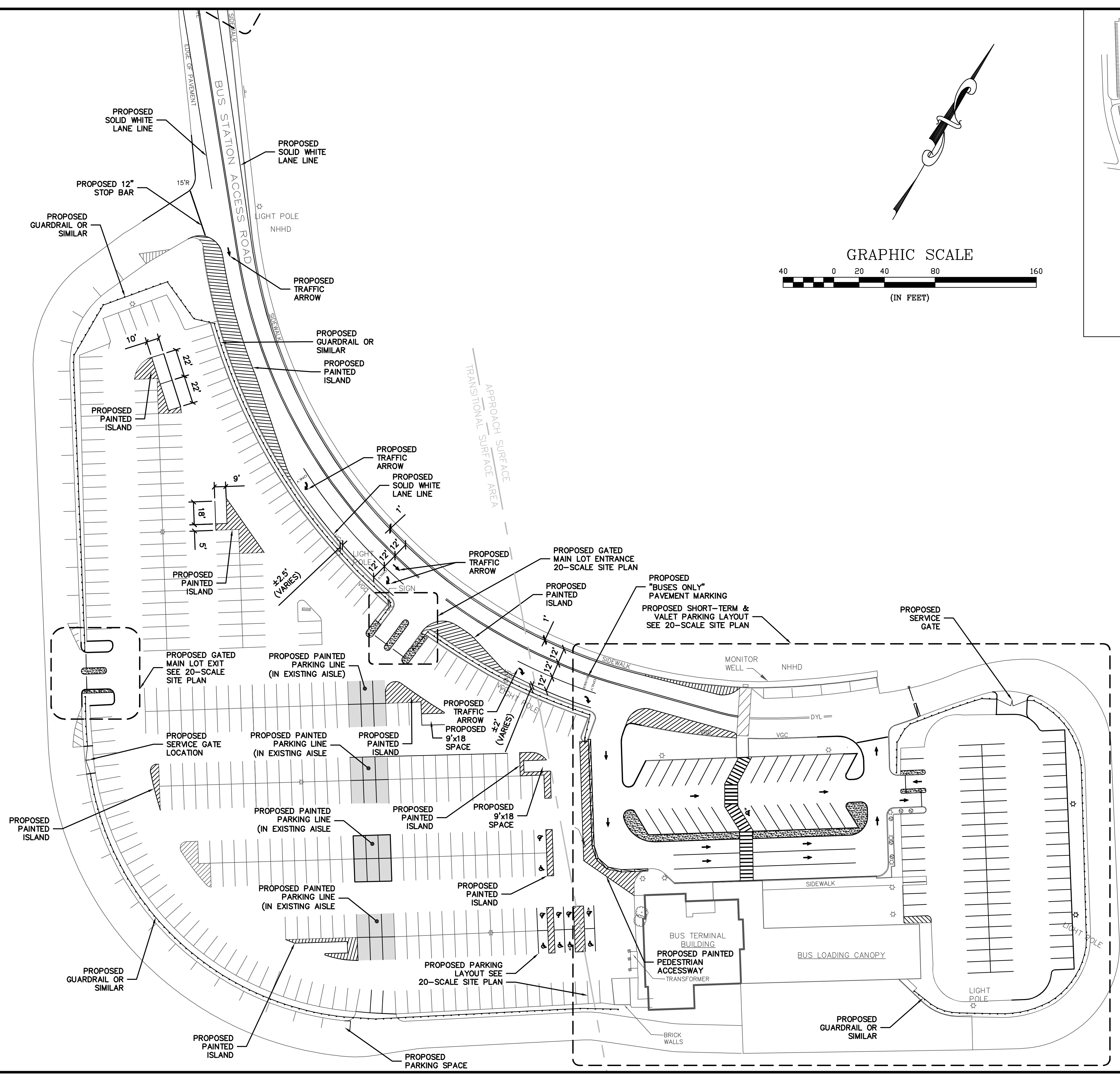
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DEMOLITION PLAN - OVERFLOW LOT

JALBERT LEASING LLC
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185 GRAFTON DRIVE
PORTSMOUTH, NH

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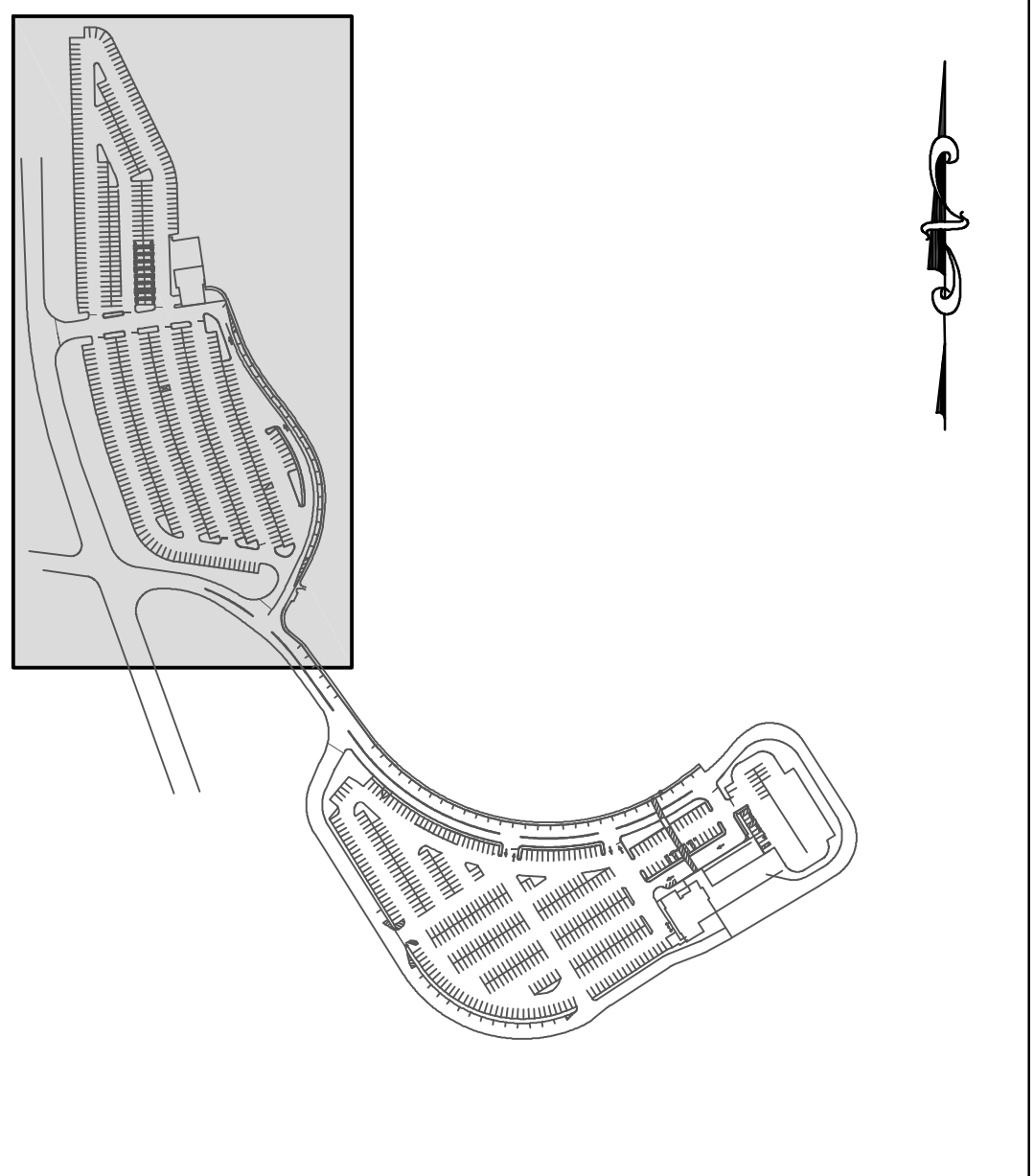
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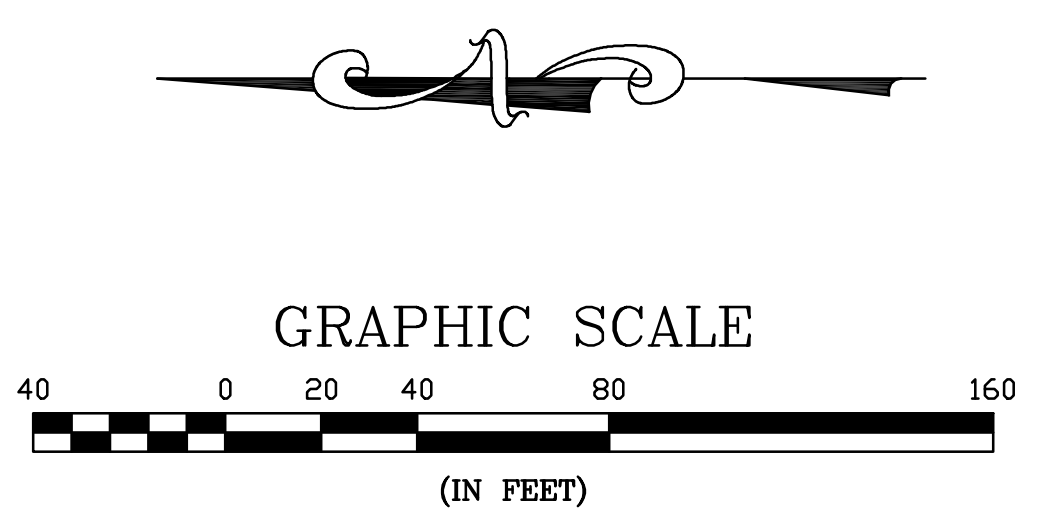
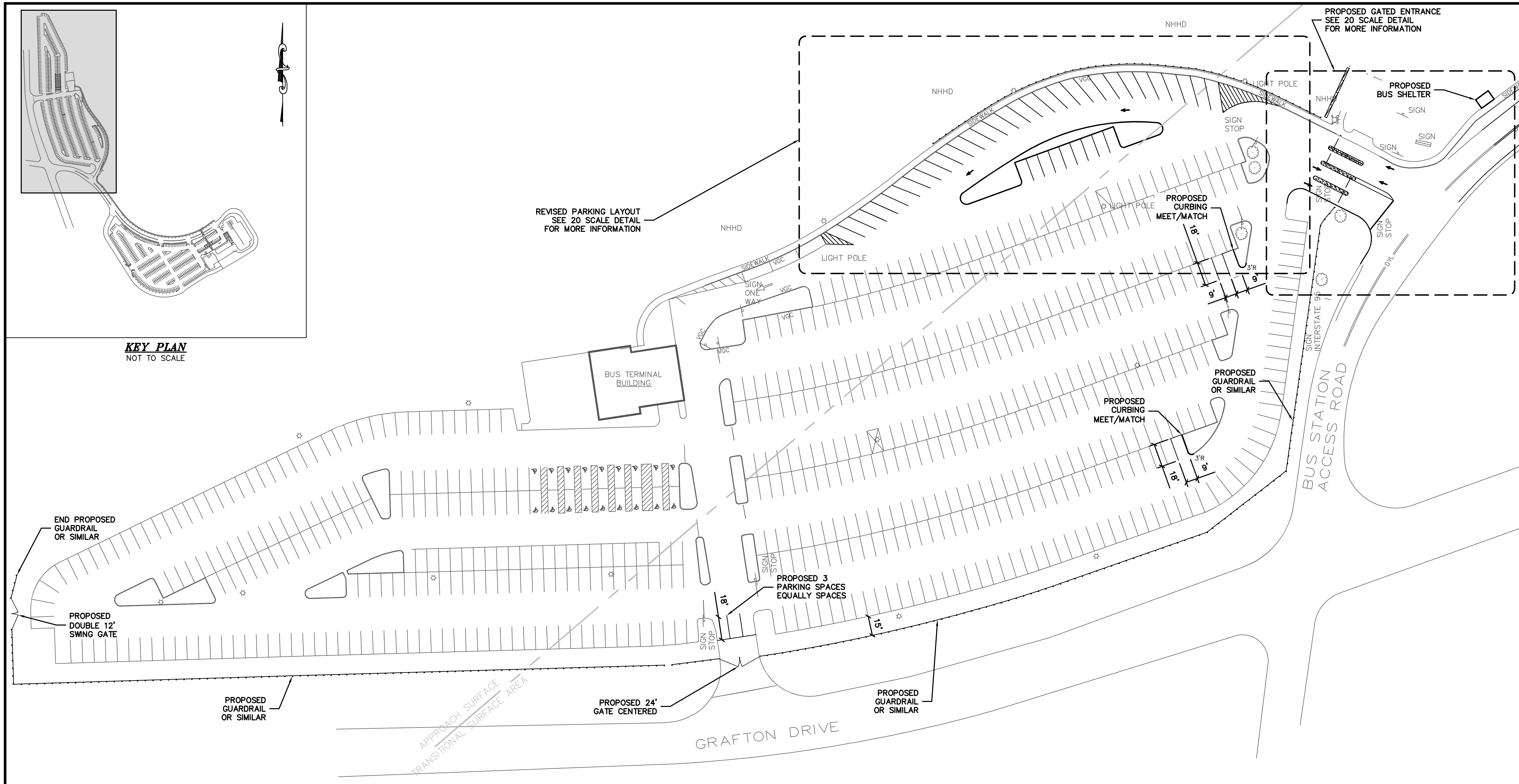
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SITE PLAN - MAIN LOT

C-7



KEY PLAN
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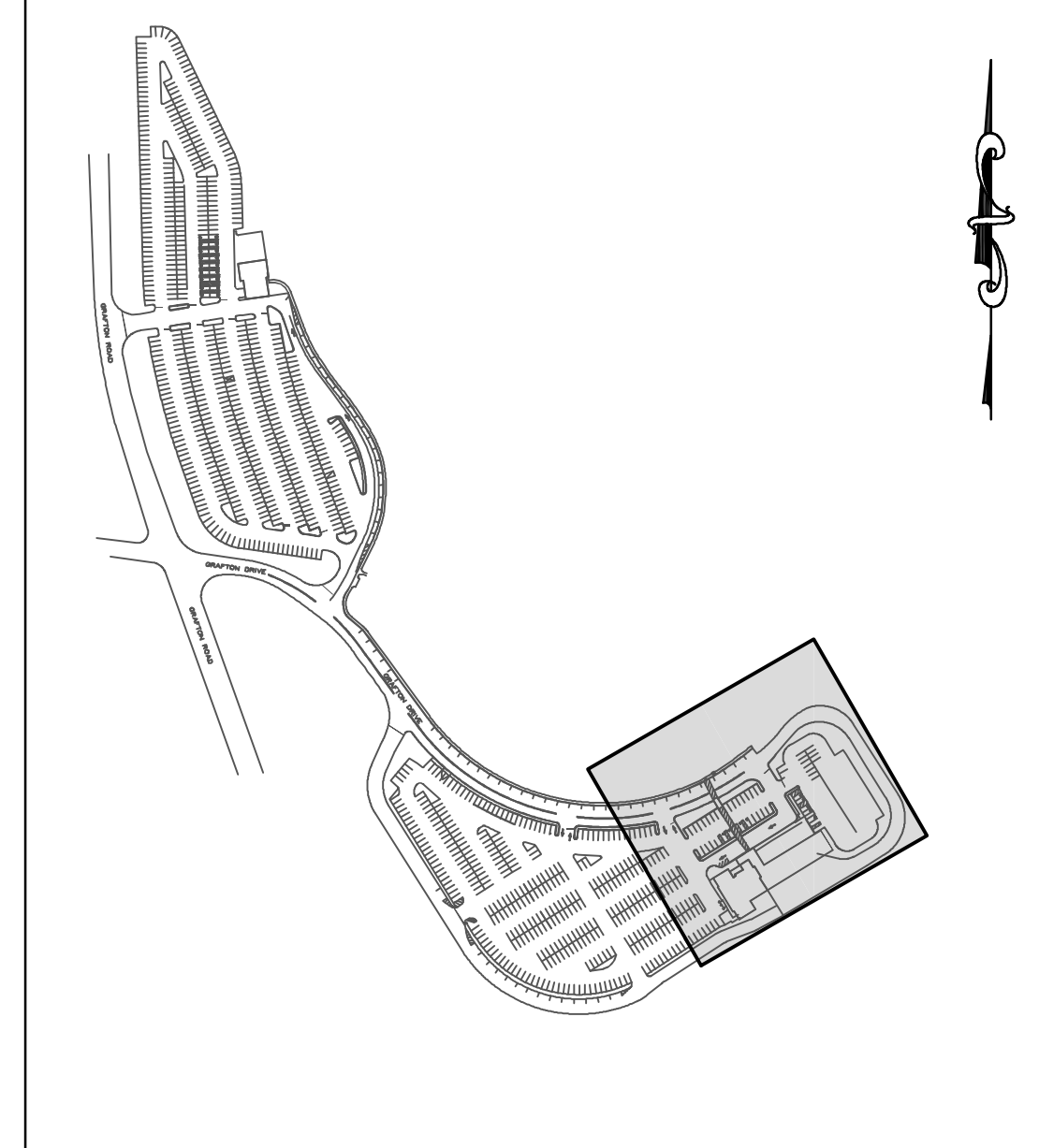
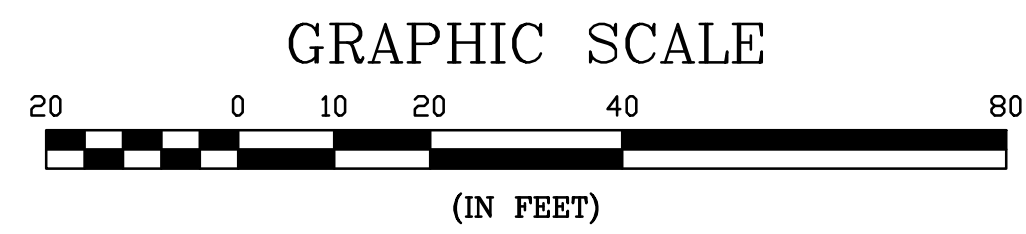
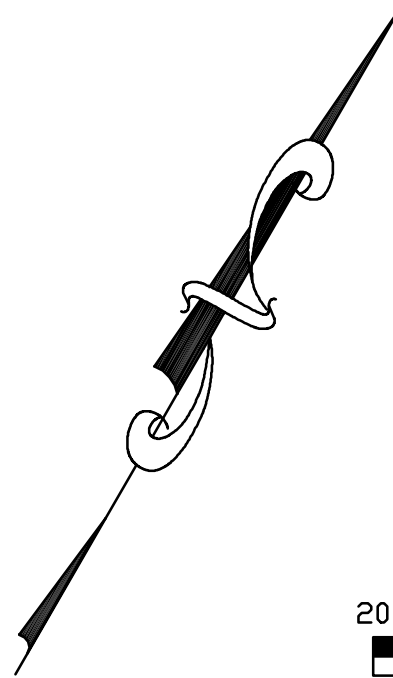
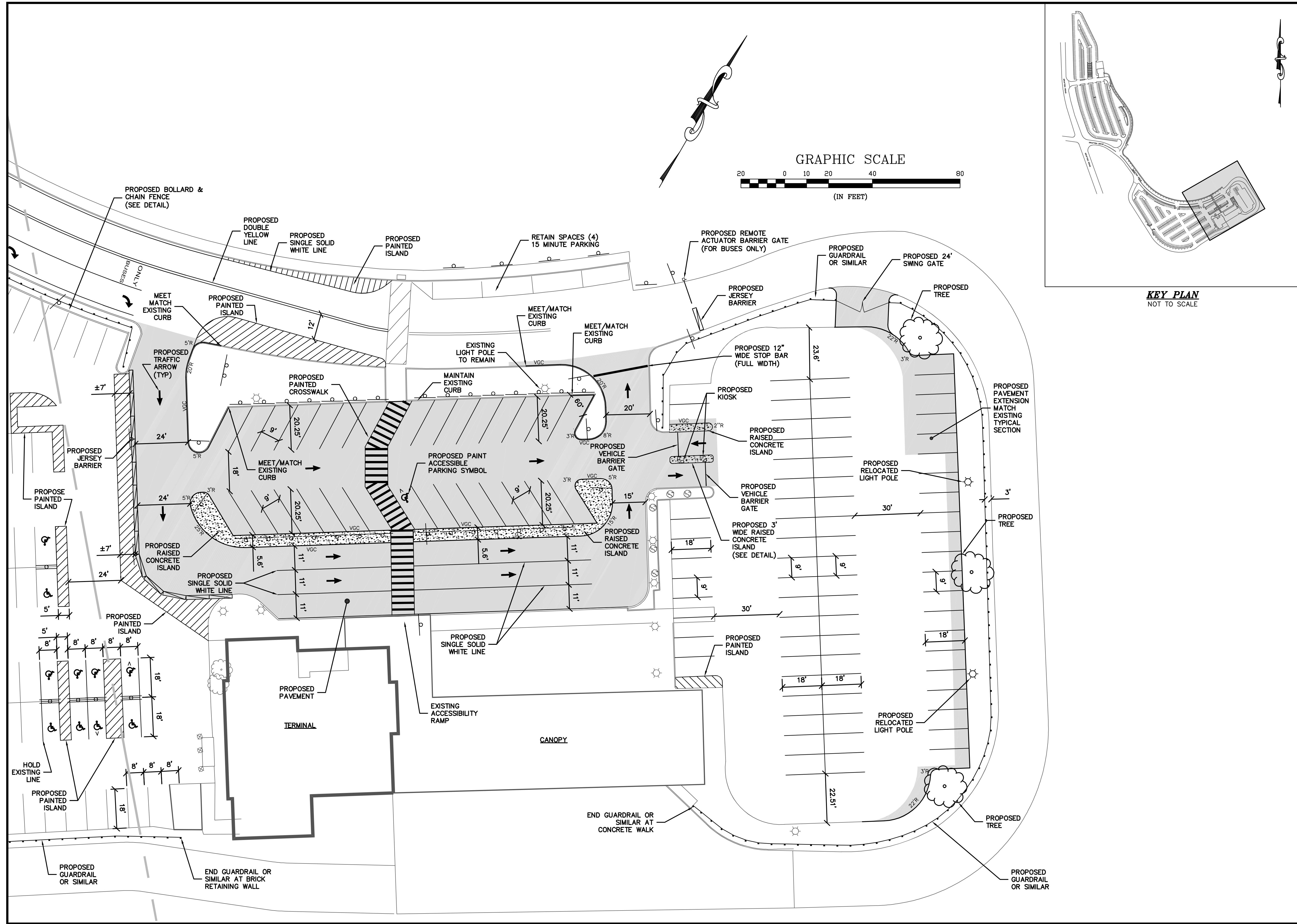
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APPROVED BY: DCL			
PROJECT NO: 1318			
FILE: C.P.P. - DWG			

SITE PLAN - OVERFLOW LOT

JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 GRAFTON DRIVE
PORTSMOUTH, NH

C & J BUS LINES
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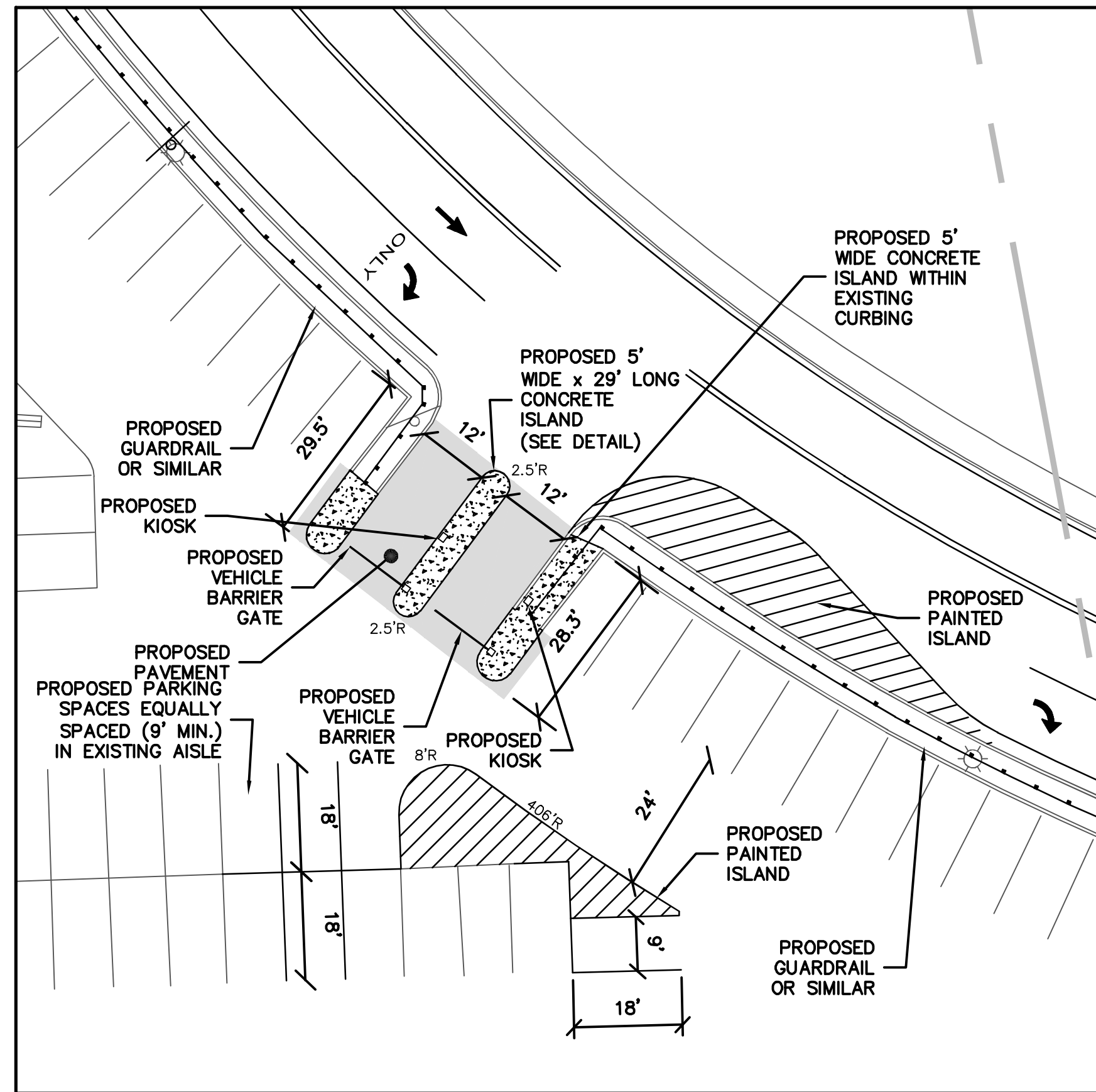
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20-SCALE SITE PLAN - MAIN LOT

JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 CRAFTON DRIVE
PORTSMOUTH, NH

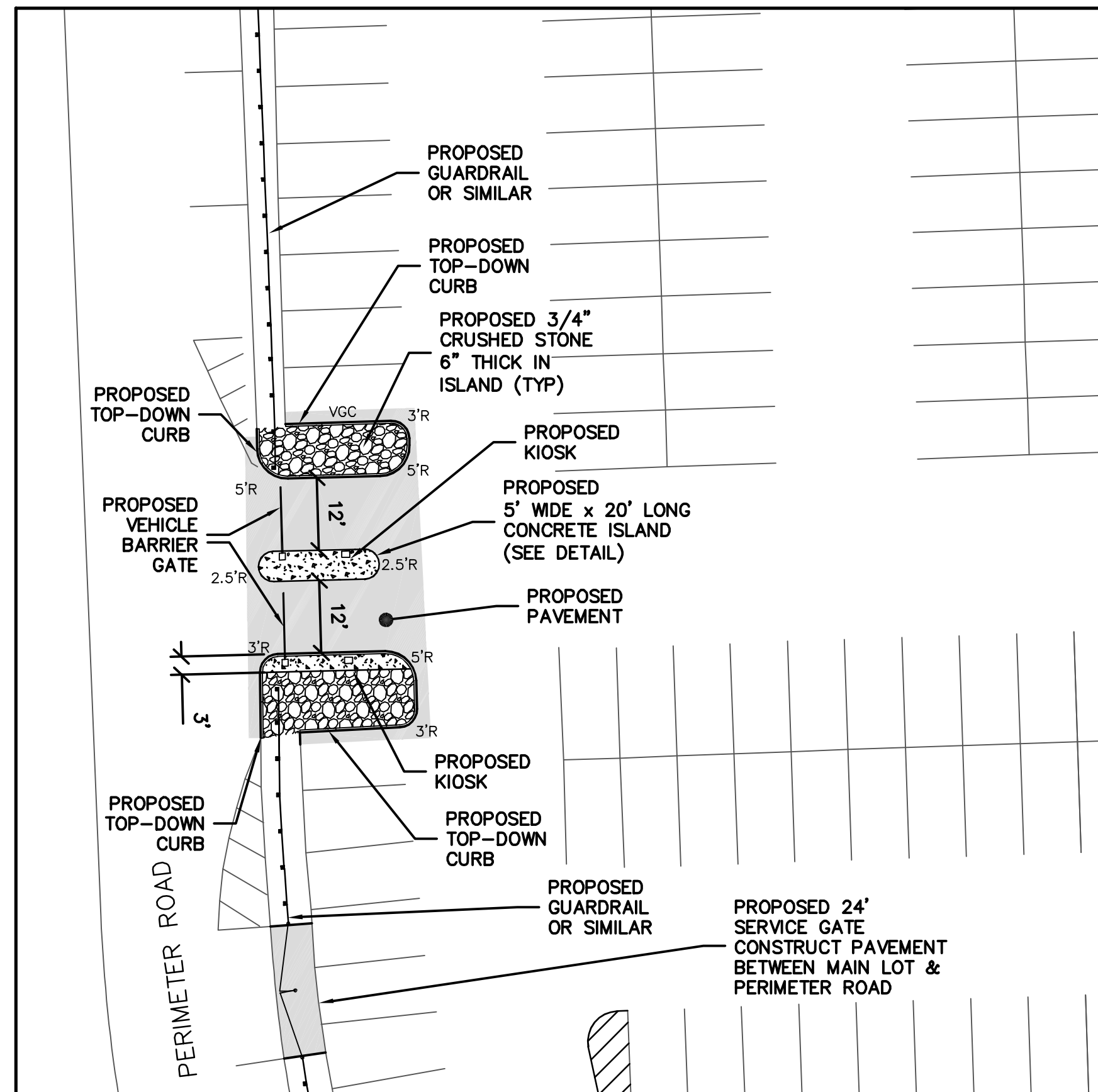
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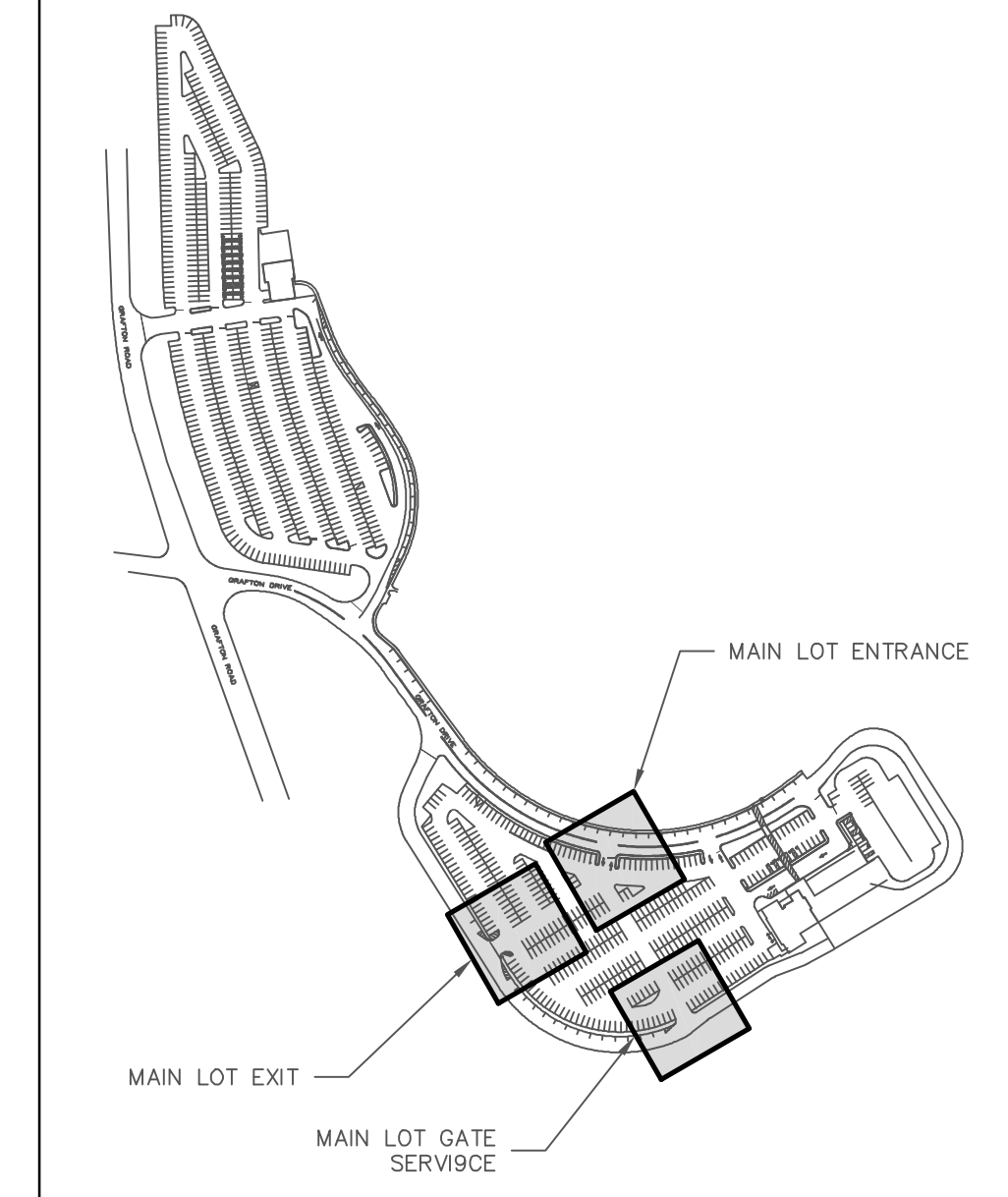
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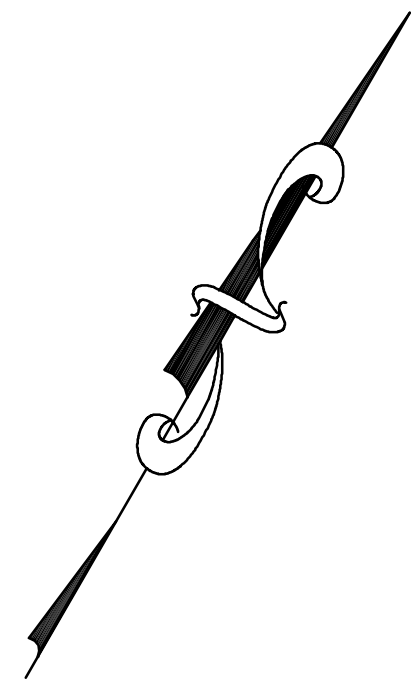
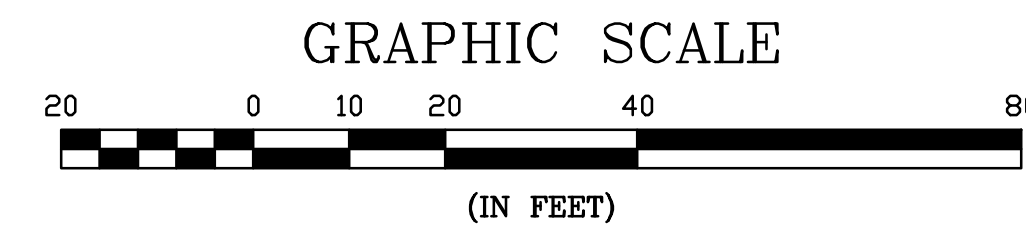


MAIN LOT EXIT & SERVICE GATE

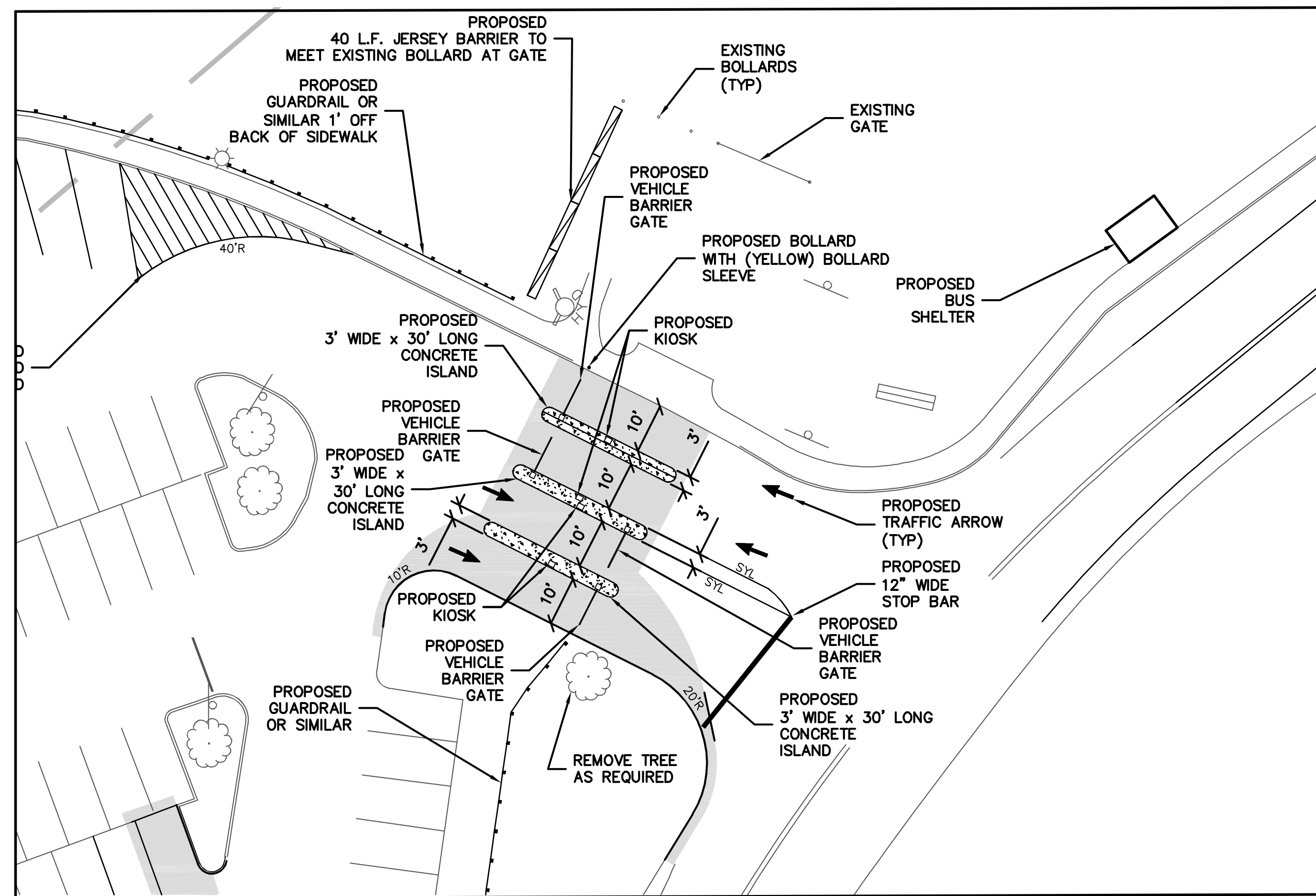
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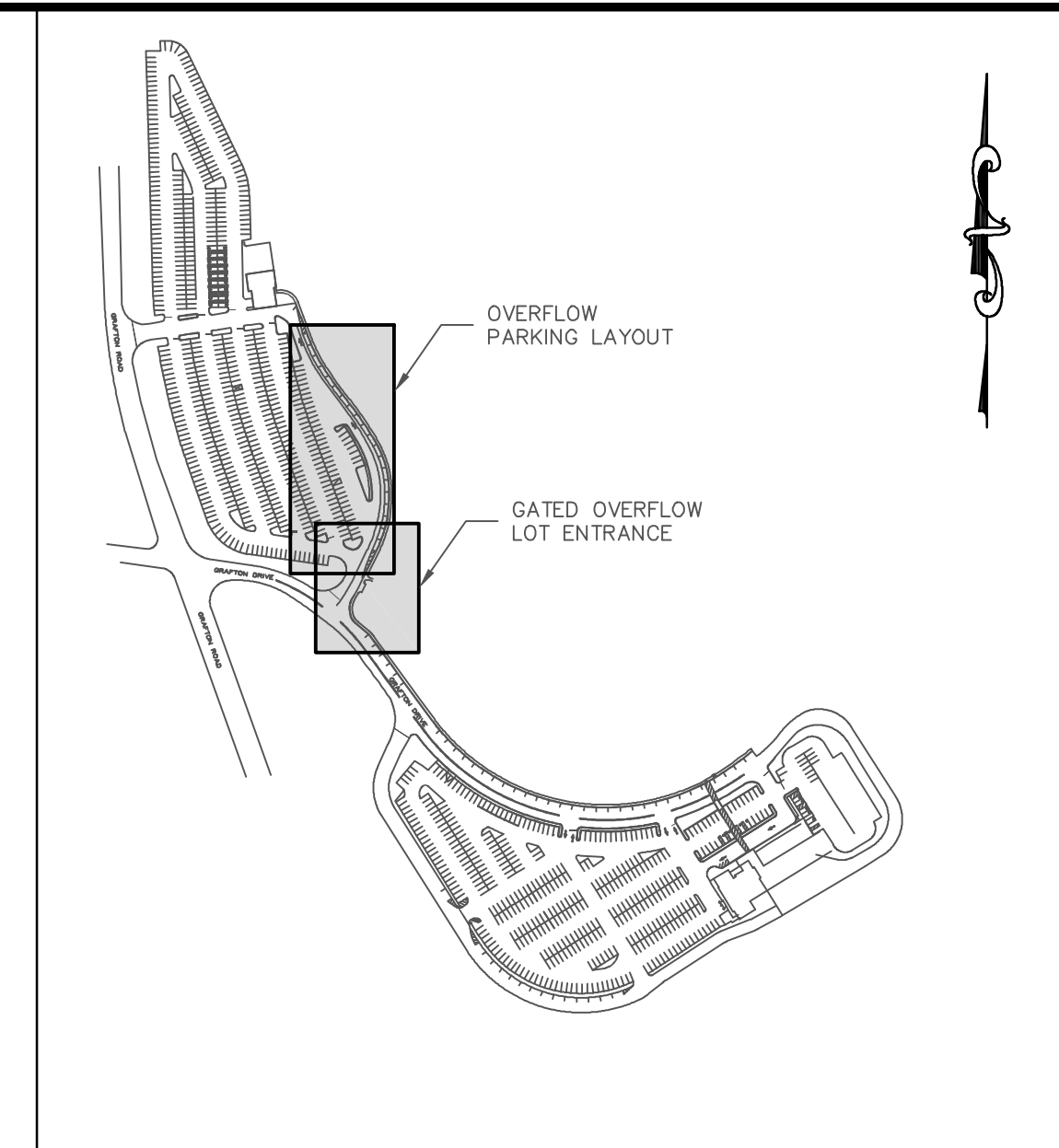
KEY PLAN
NOT TO SCALE



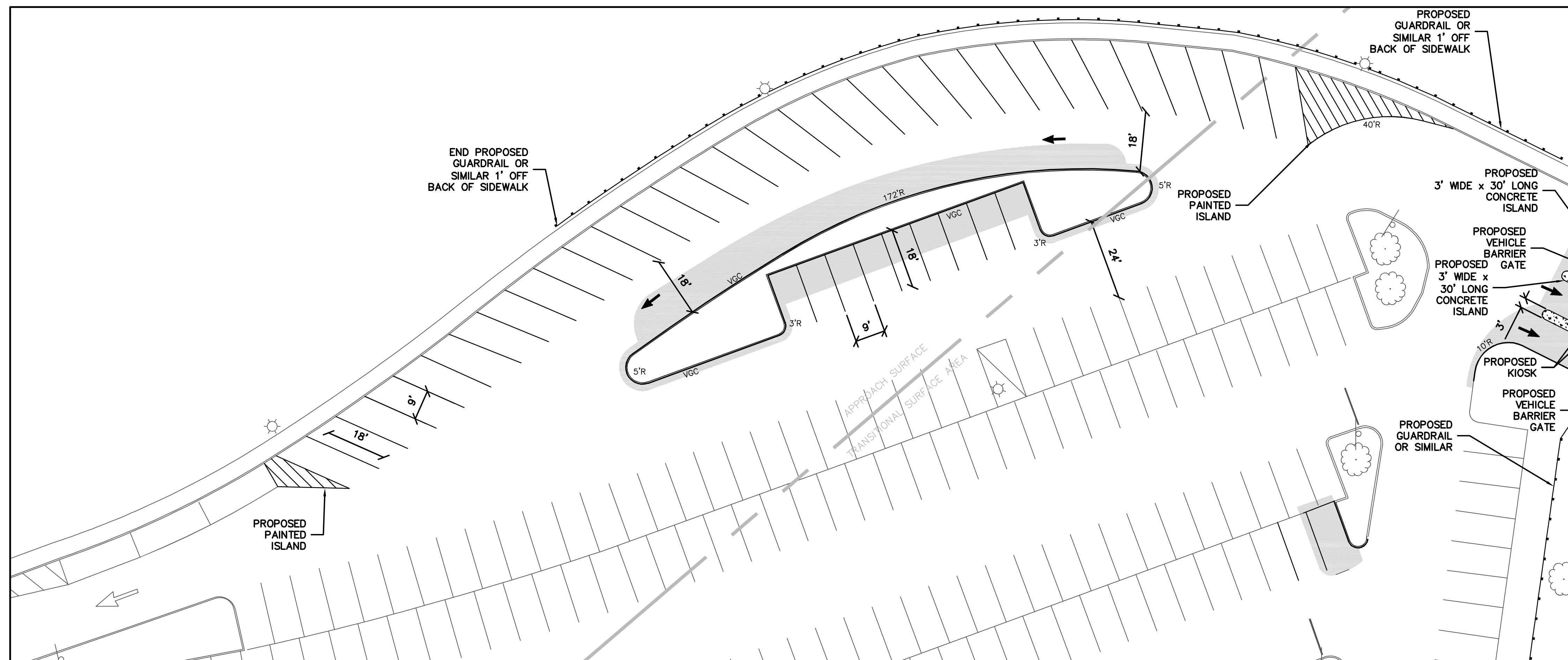
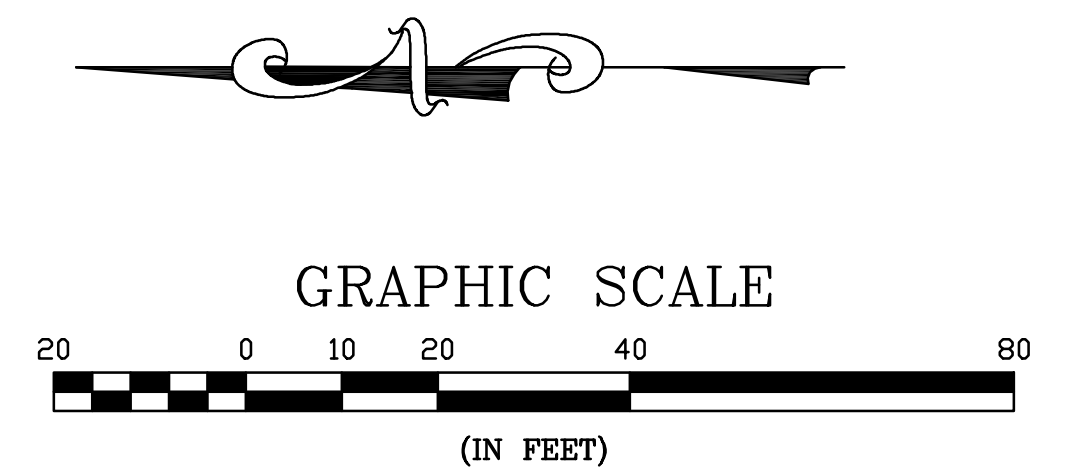
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		DESIGN BY: DCL		
		APPROVED BY: DCL		
		PROJECT NO: 1318		
		FILE: C.P.P. - DWG		



GATED OVERFLOW LOT ENTRANCE
SCALE: 1"=20'



KEY PLAN
NOT TO SCALE



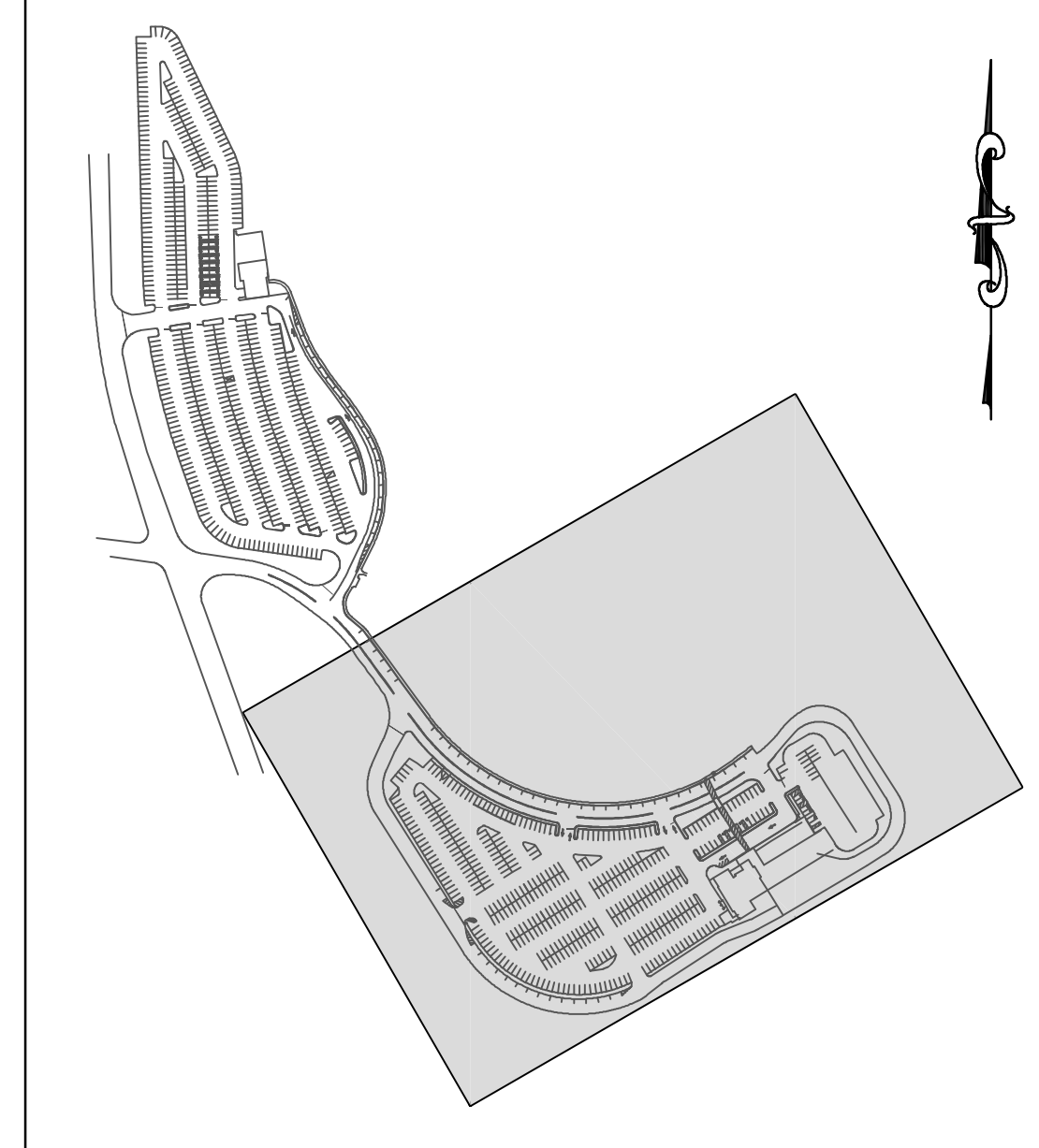
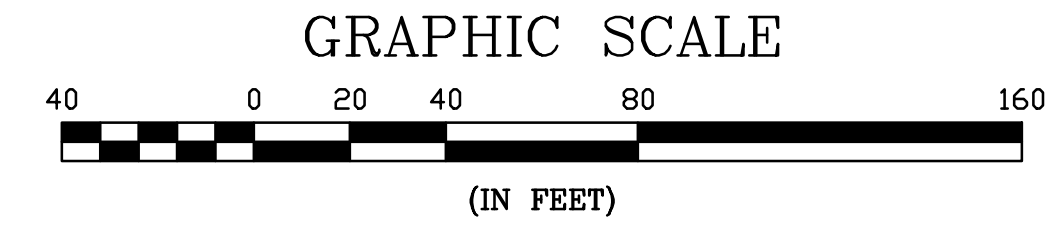
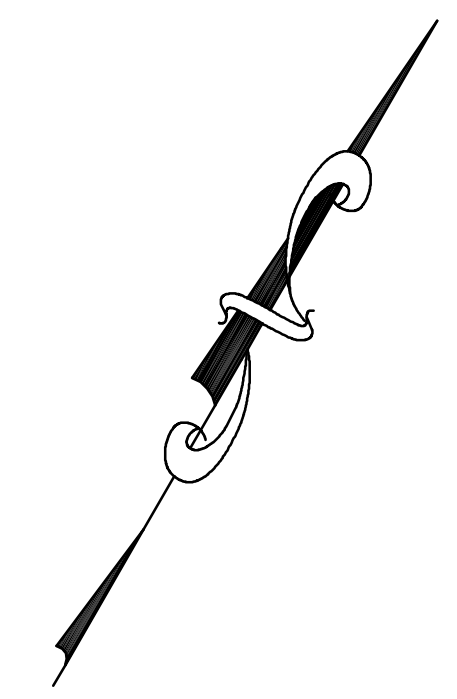
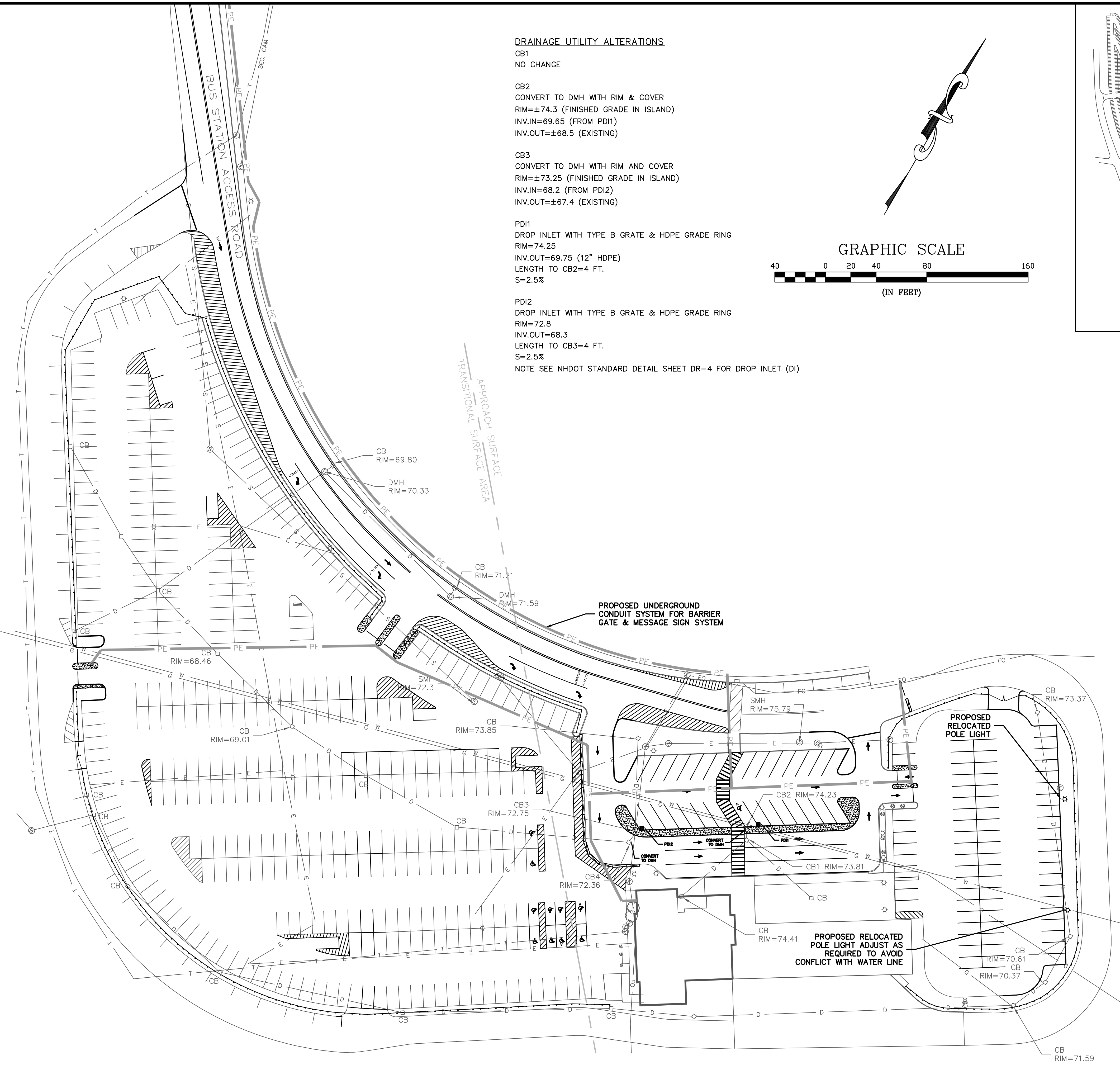
OVERFLOW PARKING LAYOUT
NOT TO SCALE

DATE	REVISION	APPROVED	DATE
4-4-24	1		8-7-24
SCALE: AS SHOWN			
DRAWN BY: SRD			
DESIGN BY: DCL			
APPROVED BY: DCL			
PROJECT NO: 1318			
FILE: C.P.P. - DWG			

20-SCALE SITE PLAN - OVERFLOW LOT

**JALBERT LEASING LLC
 D/B/A C & J BUS LINES
 185 CRAFTON DRIVE
 PORTSMOUTH, NH**

**C & J BUS LINES
 PARKING CONTROL PROGRAM
 PORTSMOUTH
 TRANSPORTATION CENTER**



NOT FOR CONSTRUCTION PERMIT USE ONLY

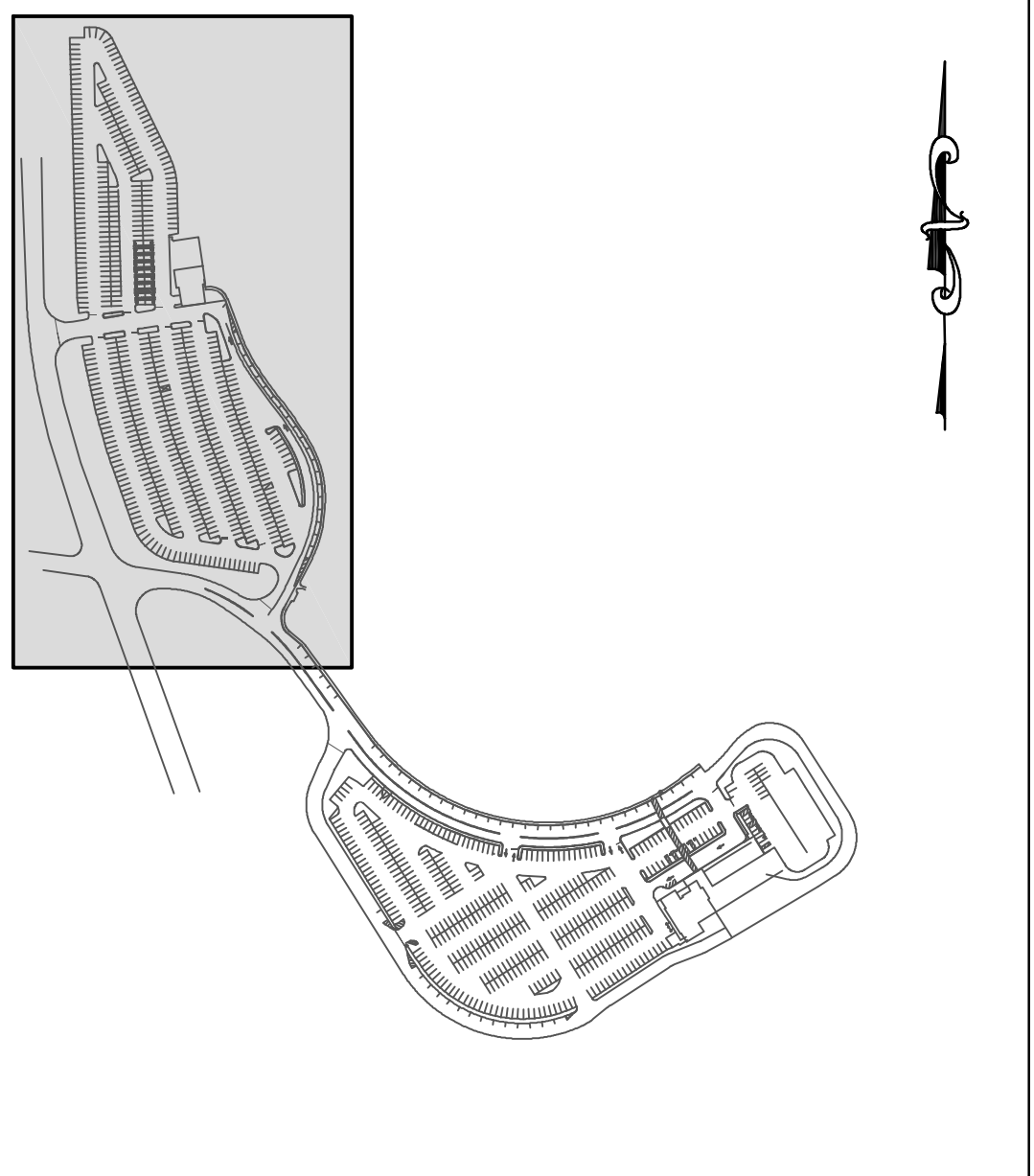
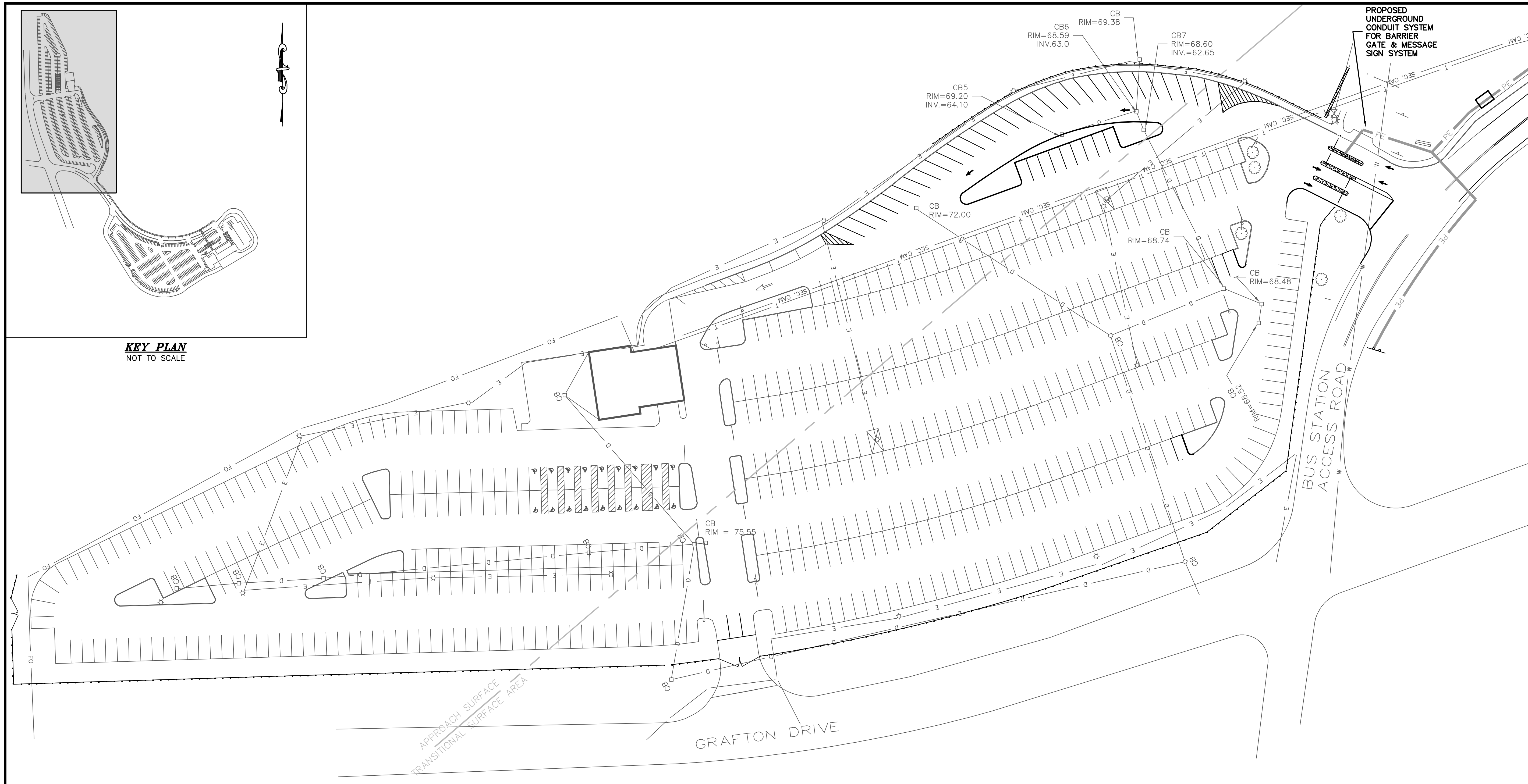
GNE CIVILWORKS NEW ENGLAND
181 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.748.0443

DATE	REVISION	APP'D	DATE
4-4-24			
1"=40'			
SRD			
DCL			
BY: DCL			
1318			
1			

UTILITY PLAN - MAIN LOT

JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 CRAFTON DRIVE
PORTSMOUTH, NH

C & J BUS LINES
PARKING CONTROL PROGRAM
PORTSMOUTH
TRANSPORTATION CENTER

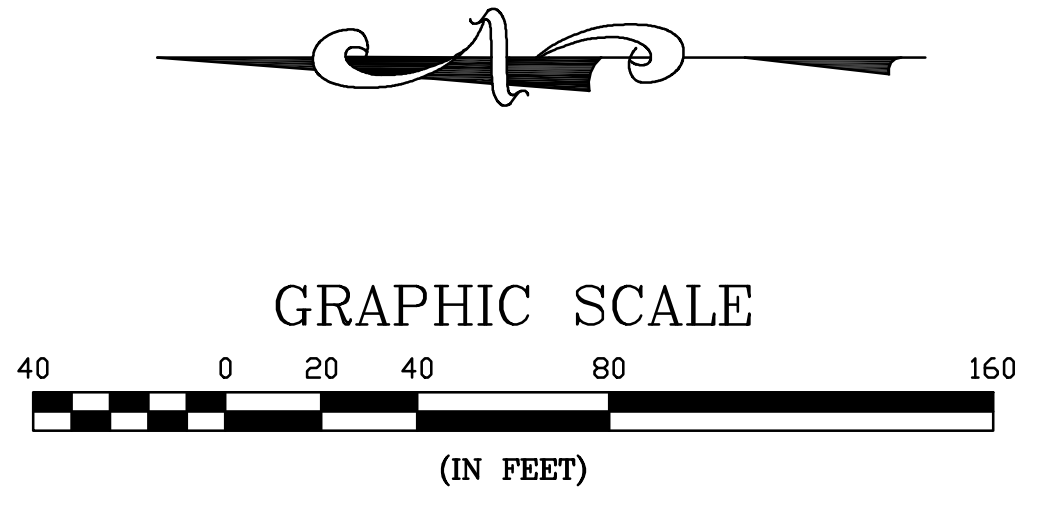


KEY PLAN
NOT TO SCALE

DRAINAGE UTILITY ALTERATIONS
 CB5
 TURN CONE SECTION 90° TO EAST TO CLEAR CURB

 CB6
 NO CHANGE

 CB7
 TURN CONE SECTION 180° (FRAME OVER CB OUTLET)
 FIELD ADJUST CURB ACCOMMODATE



NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

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 CIVILWORKS NEW ENGLAND
 181 Watson Road, PO Box 1166
 Dover, New Hampshire 03821
 603.749.0443

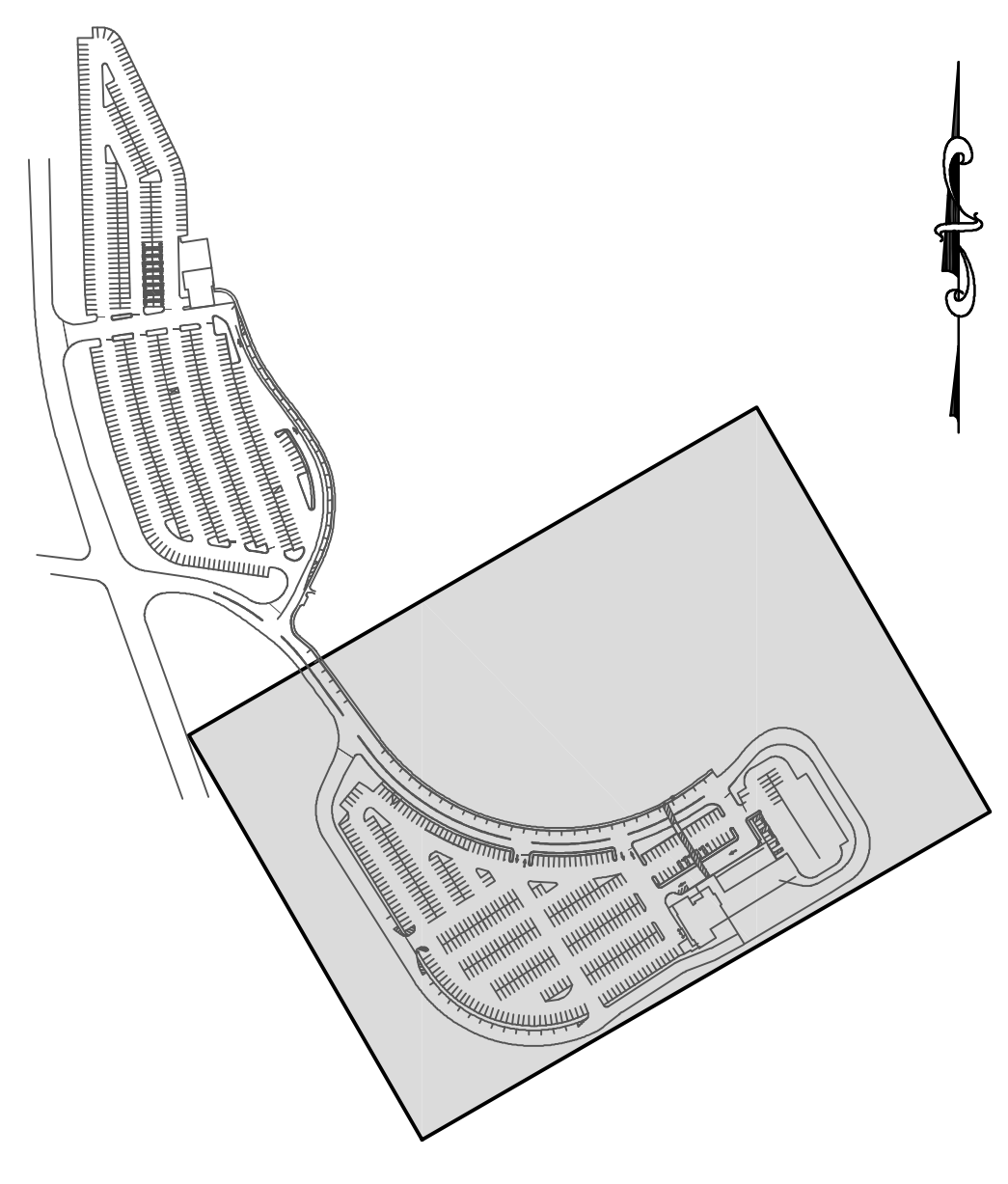
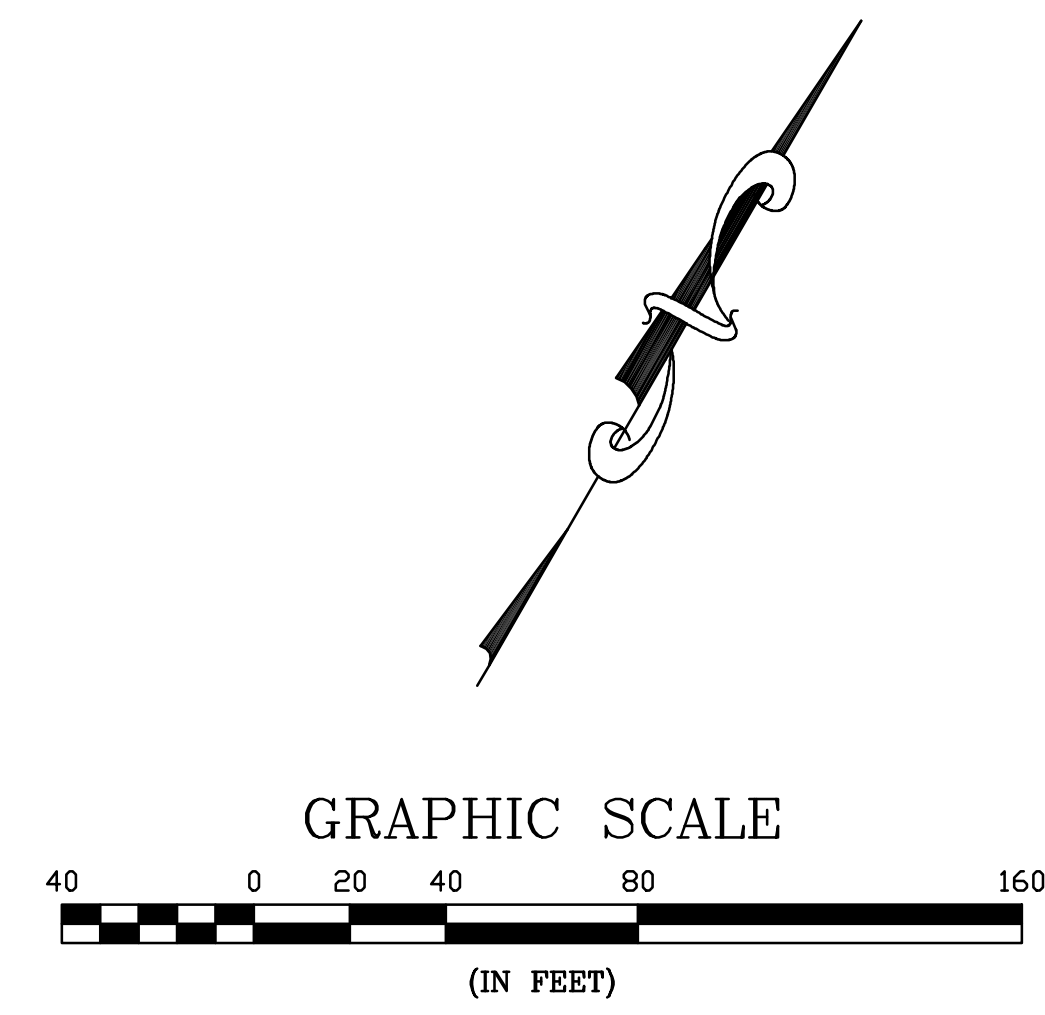
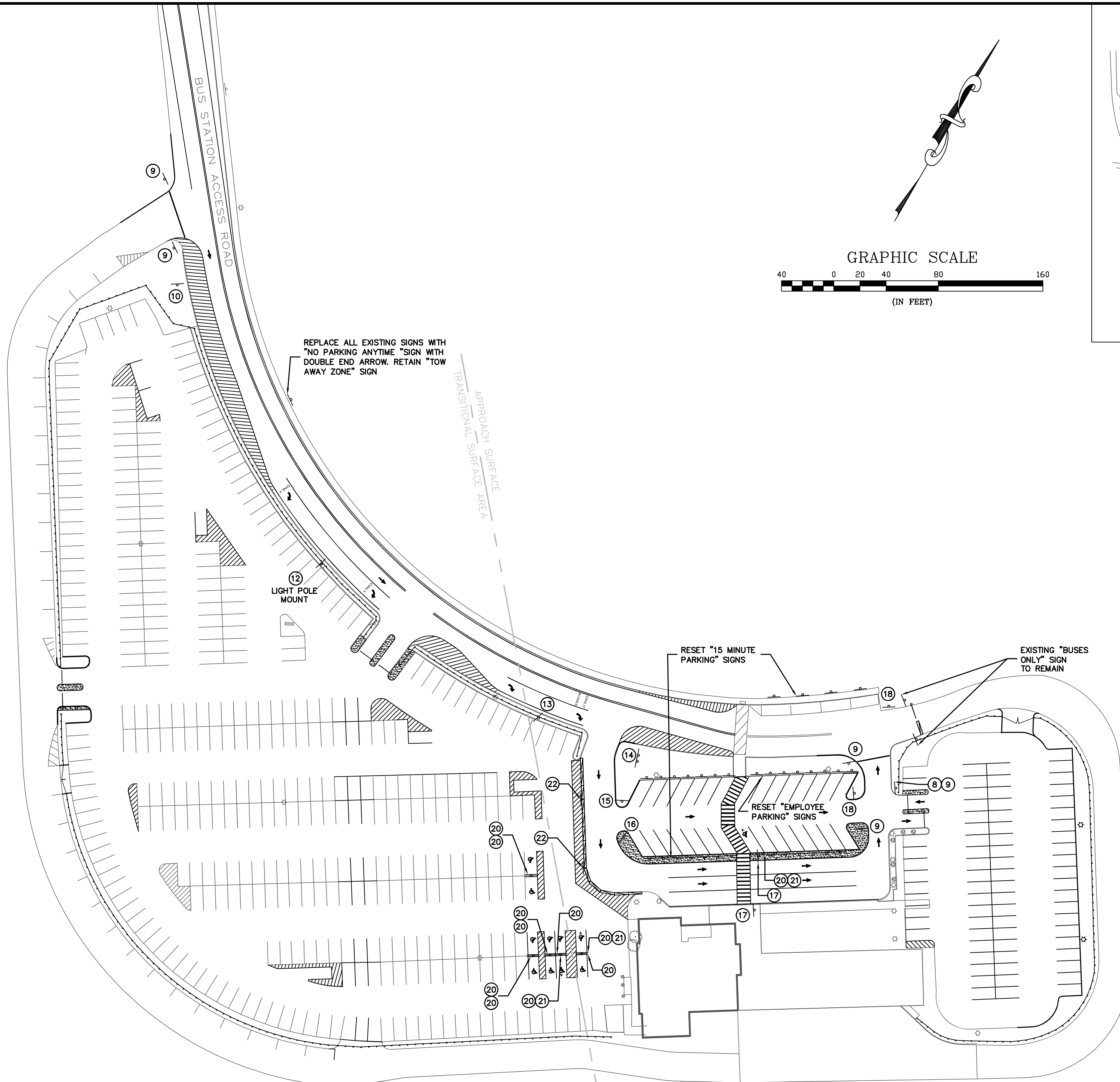
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4-4-24	100		8-7-24

UTILITY PLAN - OVERFLOW LOT

JALBERT LEASING LLC
 D/B/A C & J BUS LINES
 185 GRAFTON DRIVE
 PORTSMOUTH, NH

C & J BUS LINES
 PARKING CONTROL PROGRAM
 PORTSMOUTH
 TRANSPORTATION CENTER

C-13



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CIVILWORKS NEW ENGLAND
CIVIL & SURVEYING ENGINEERS
181 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.748.0443

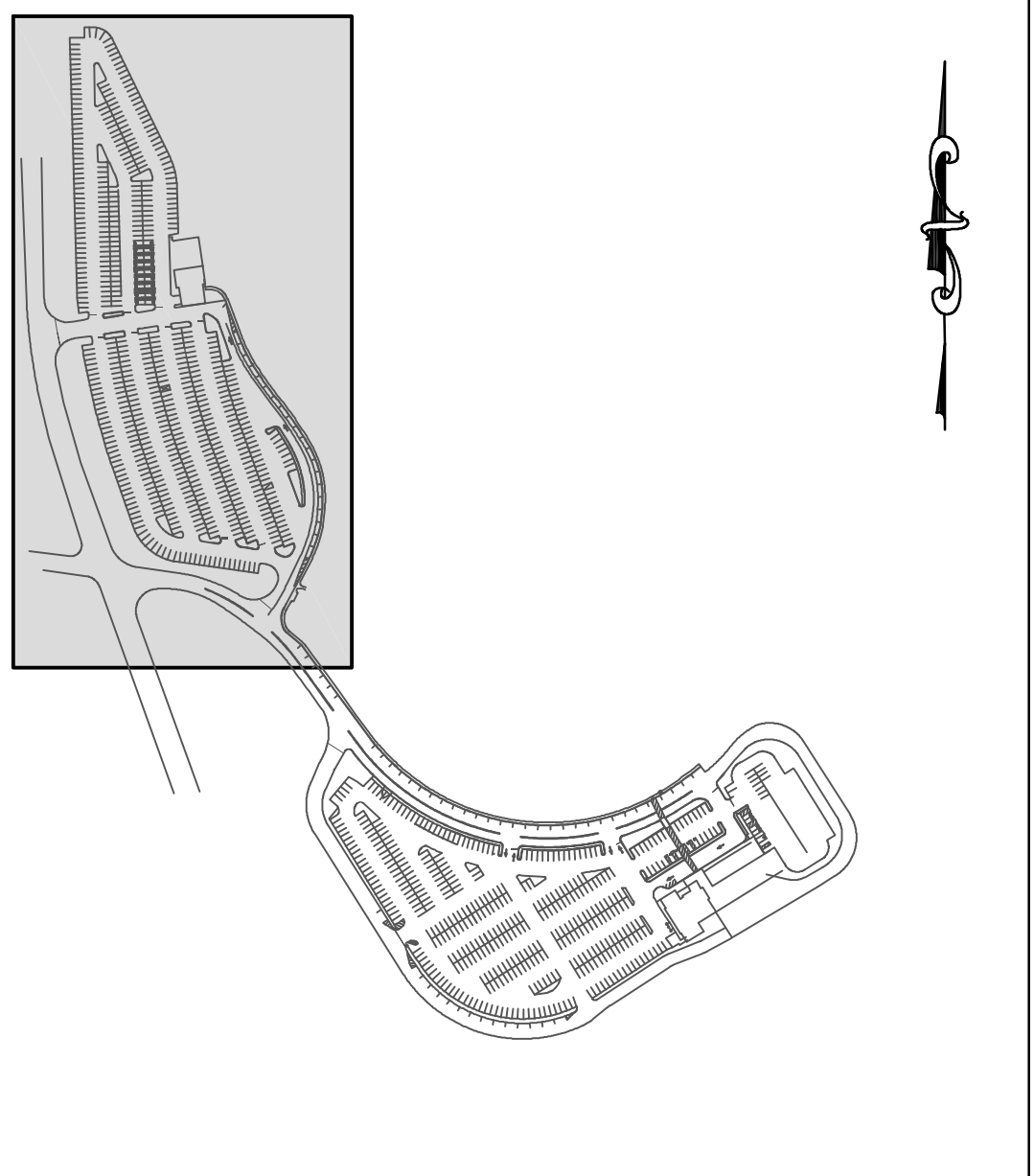
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4-4-24			
SCALE: 1"=40'			
DRAWN BY: SRD			
DESIGN BY: DCL			
APPROVED BY: DCL			
PROJECT NO: 1318	REVISED PER NH DOT COMMENTS	DCL	8-7-24
FILE: C.P.P. - DWG NO.			

SIGN PLAN - MAIN LOT

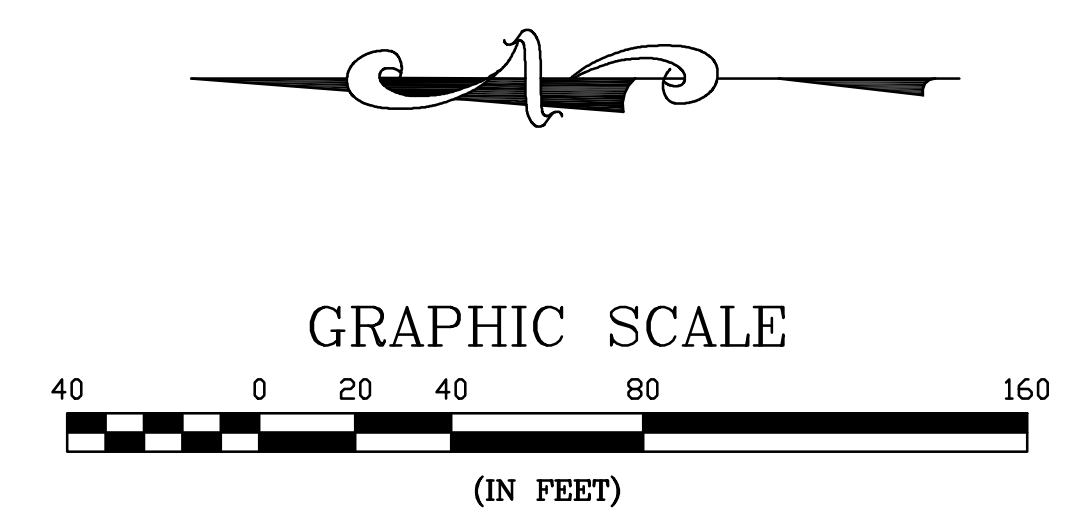
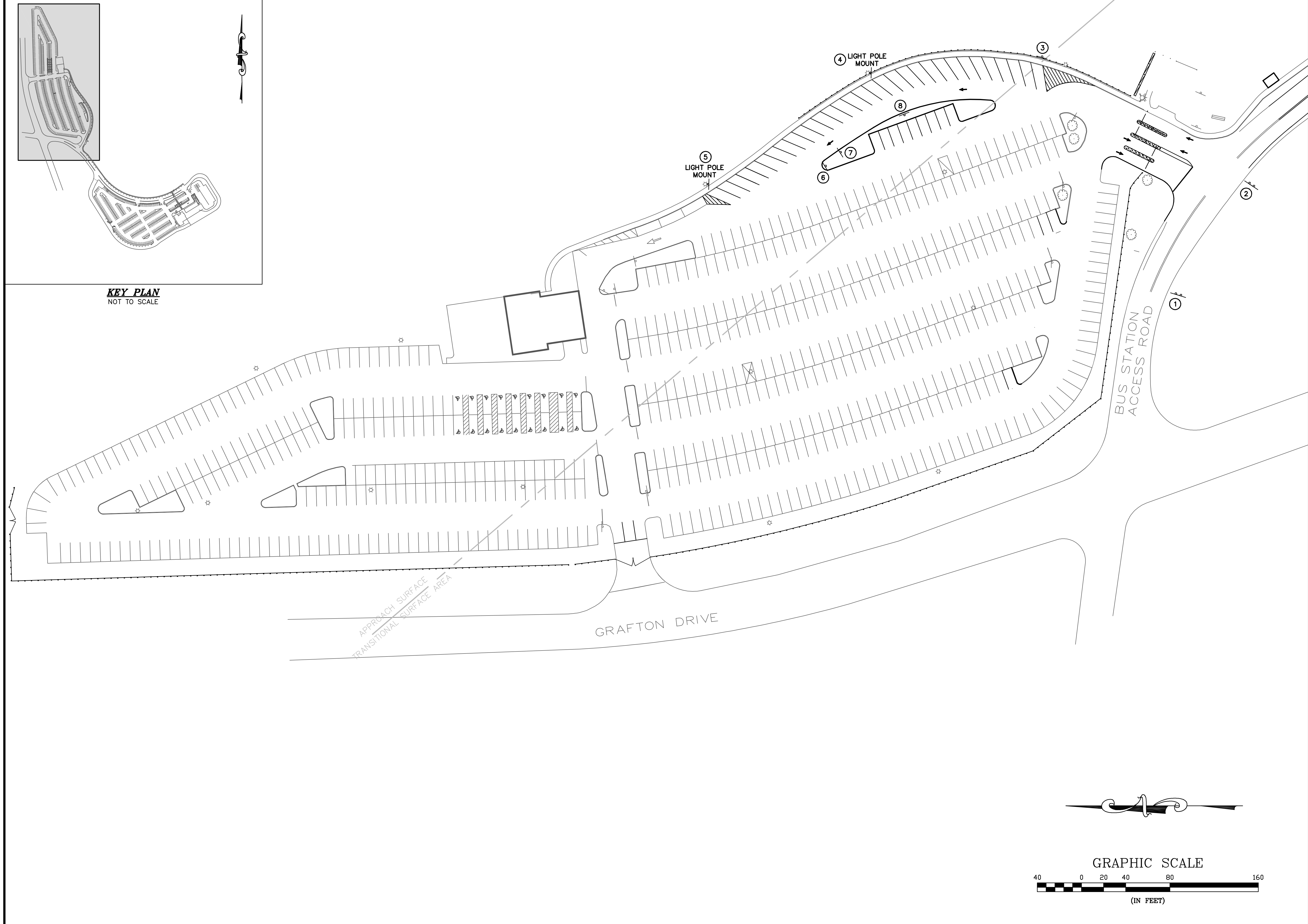
**JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 CRAFTON DRIVE
PORTSMOUTH, NH**

**C & J BUS LINES
PARKING CONTROL PROGRAM
PORTSMOUTH
TRANSPORTATION CENTER**

C-14



KEY PLAN
NOT TO SCALE



NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

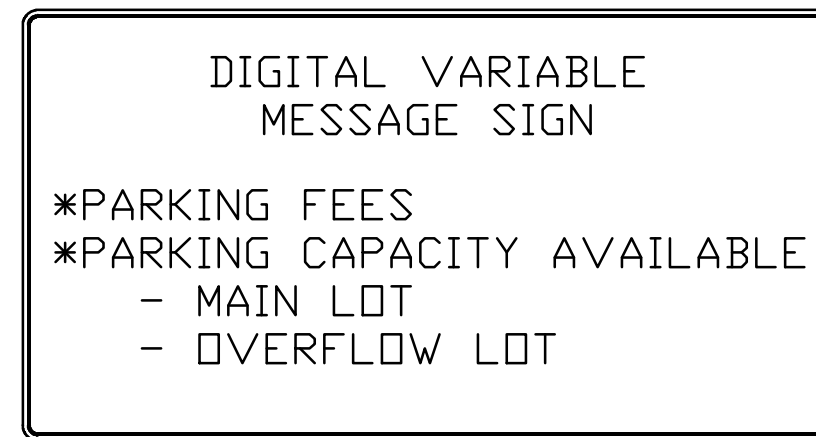
GNE
CIVILWORKS NEW ENGLAND
CIVIL & ENVIRONMENTAL ENGINEERING
181 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.748.0443

DATE: 4-4-24	REVISION	DATE
SCALE: 1"=40'		
DRAWN BY: SRD		
DESIGN BY: DCL		
APPROVED BY: DCL		
PROJECT NO: 1318		
FILE: C.P.P. - DWG		
	NO.	
	1	REVISED PER NHDOT COMMENTS
		DCL
		APPD

SIGN PLAN - OVERFLOW LOT

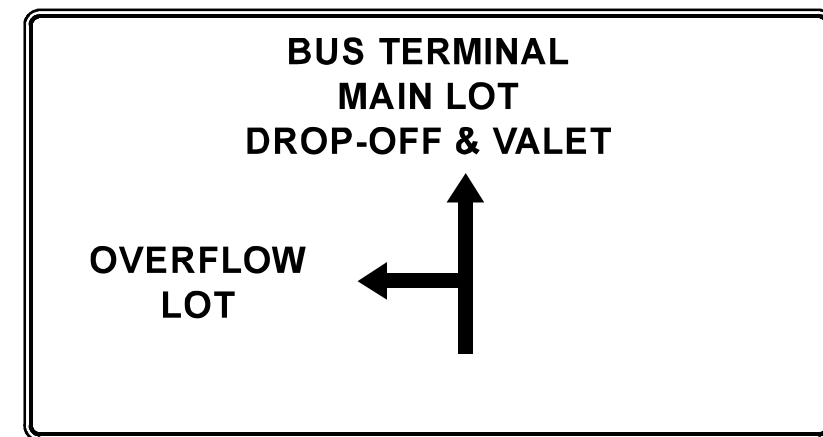
JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 GRAFTON DRIVE
PORTSMOUTH, NH

C & J BUS LINES
PARKING CONTROL PROGRAM
PORTSMOUTH
TRANSPORTATION CENTER



FUTURE DIGITAL SIGN

1



INFORMATION SIGN

2



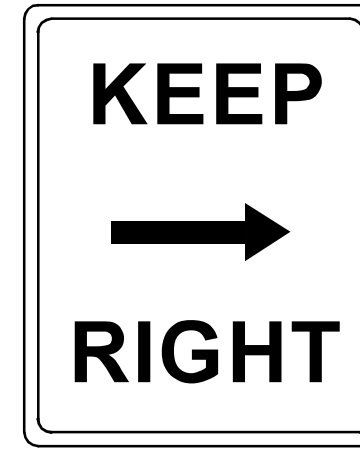
R7-1 (R)

3



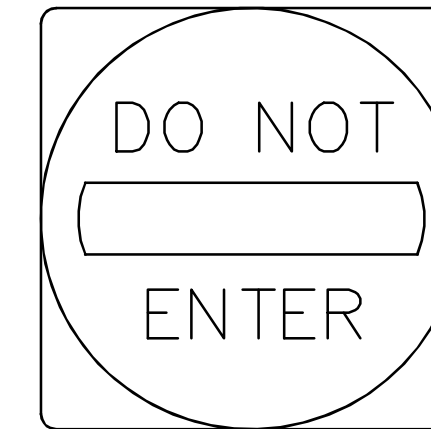
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R6-1(R)

4 5 8



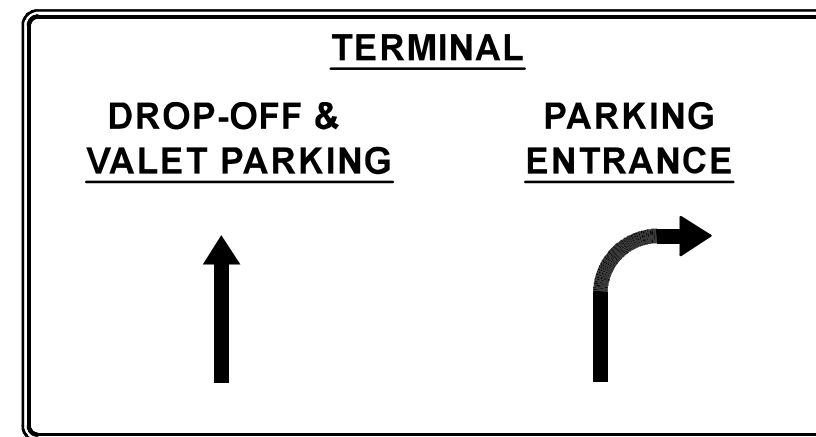
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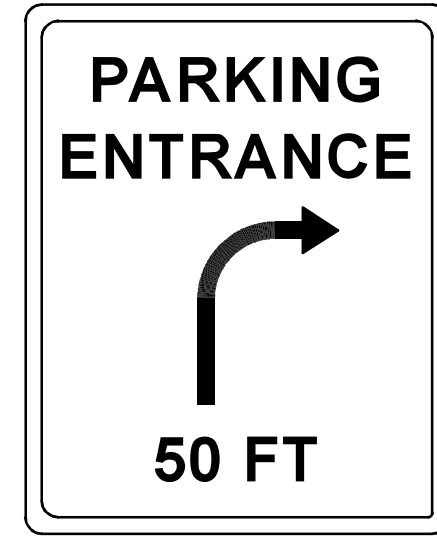
R5-1

7 9



INFORMATION SIGN

10



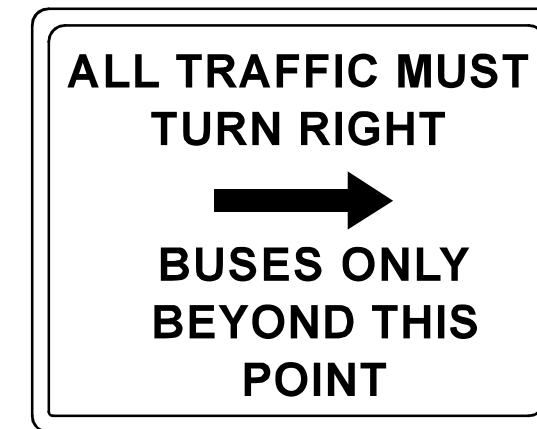
INFORMATION SIGN

12



INFORMATION SIGN

13



INFORMATION SIGN

14



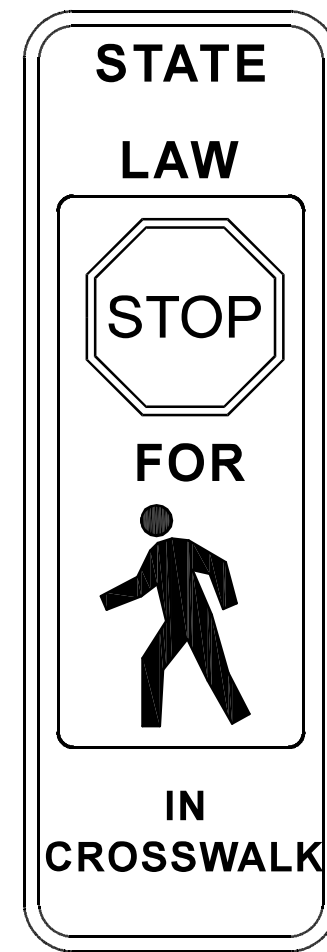
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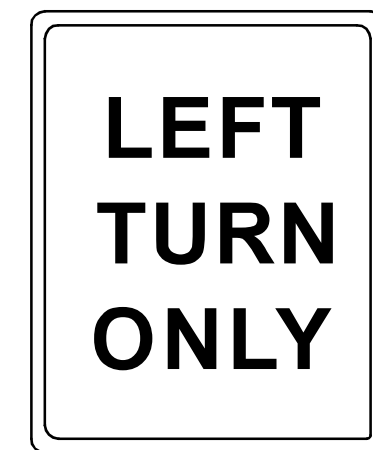
INFORMATION SIGN

16



R1-6a

17



R4-21(L)

18



R7-8

20



R7-8aP

21



R7-4

22

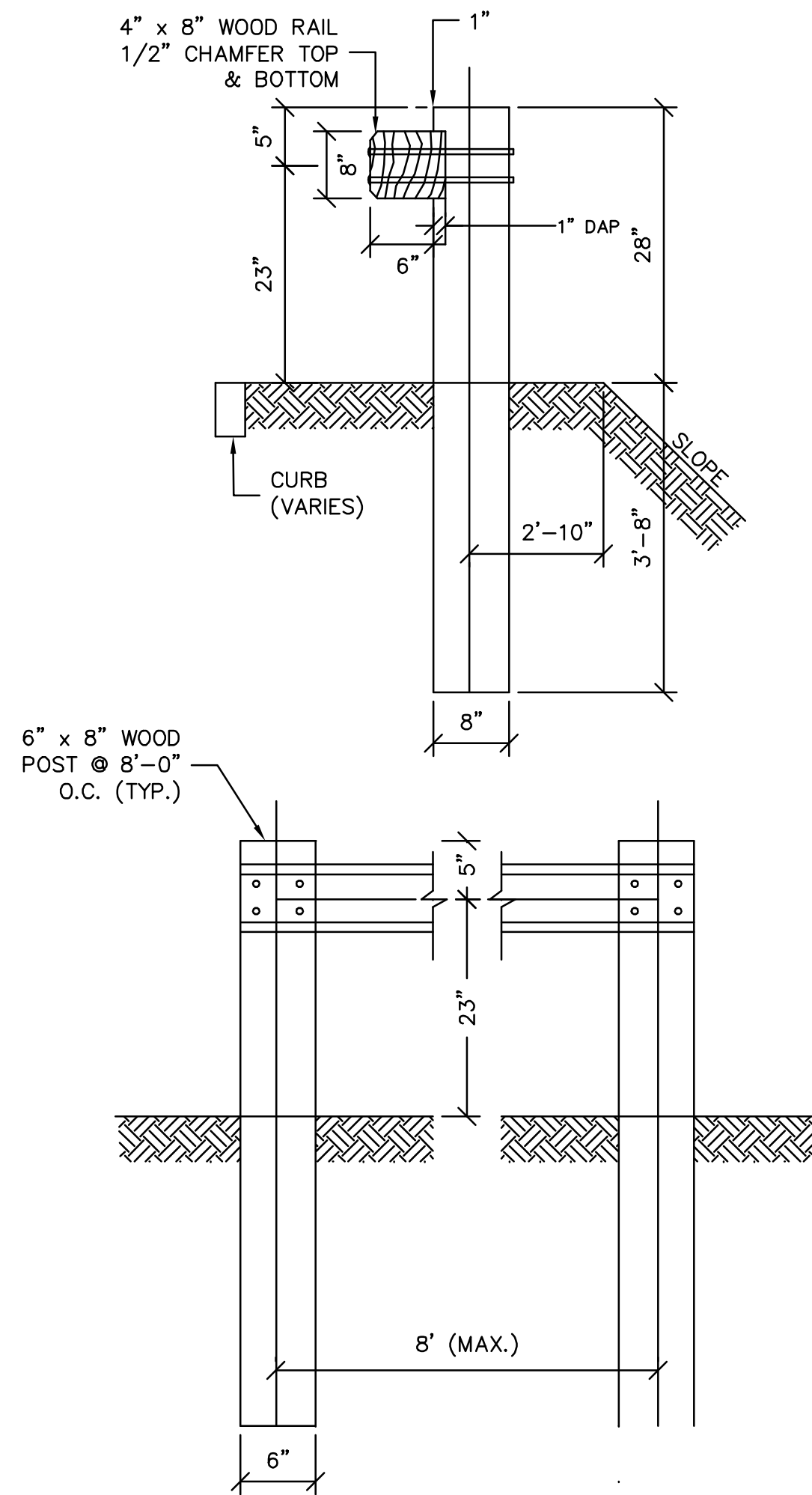
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SCALE: AS SHOWN		
DRAWN BY: SRD		
DESIGN BY: DCL		
APPROVED BY: DCL		
PROJECT NO: 1318	DCL	8-7-24
FILE: C.P.P. - DWG	APPD	

JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 CRAFTON DRIVE
PORTSMOUTH, NH

C & J BUS LINES
PARKING CONTROL PROGRAM
PORTSMOUTH
TRANSPORTATION CENTER

DETAILS

NOTE:
ALL TIMBERS SHALL BE
PRESSURE TREATED.



WOOD POST & BEAM BARRIER DETAIL

NOT TO SCALE

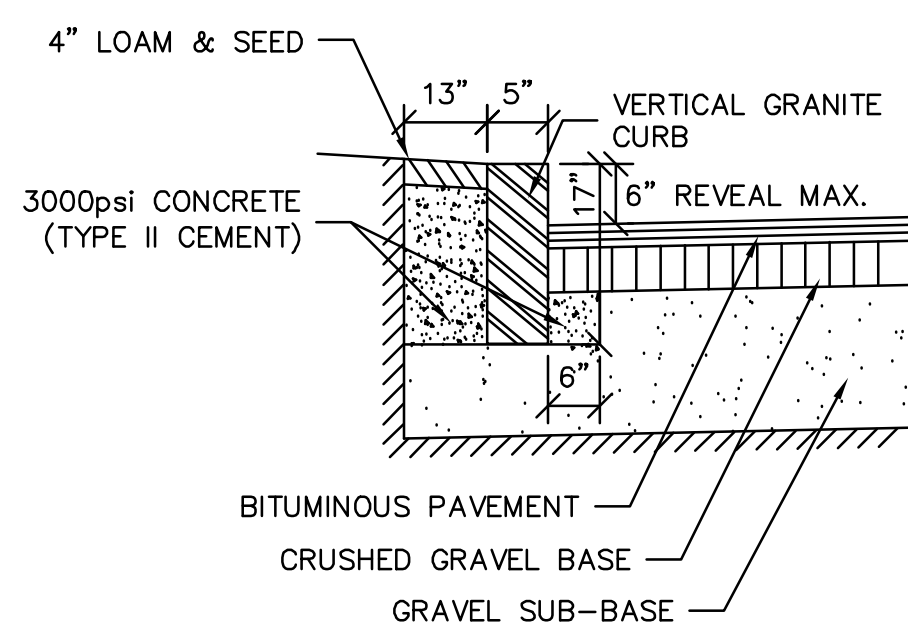
RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

NOTES:

- SEE SITE PLAN FOR LIMITS OF CURBING.
- ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
- MINIMUM LENGTH OF CURB STONES = 3'
- MAXIMUM LENGTH OF CURB STONES = 10'
- MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE CHART)
- ALL RADII 20 FEET AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

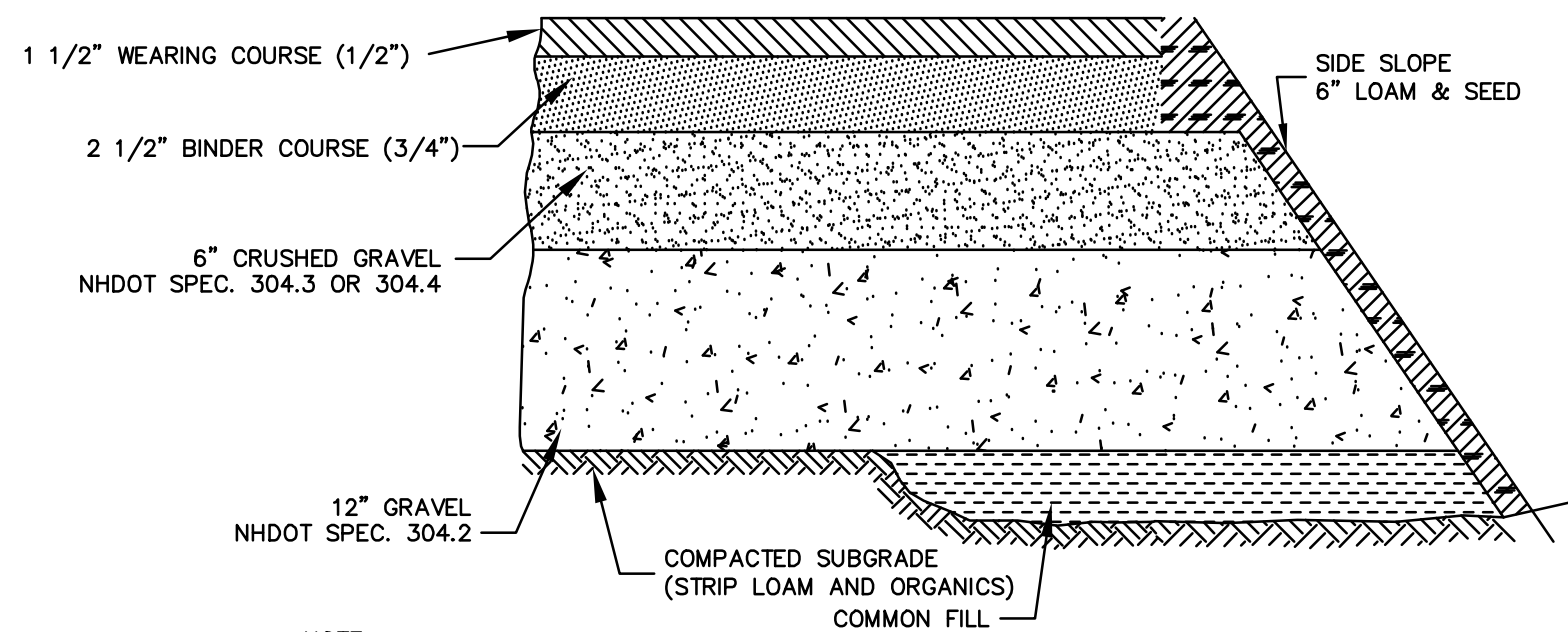
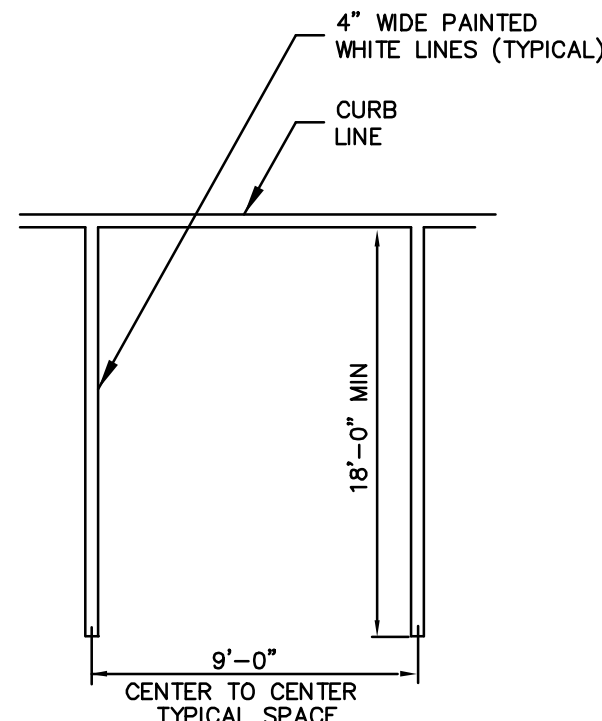
VERTICAL GRANITE CURB

NOT TO SCALE



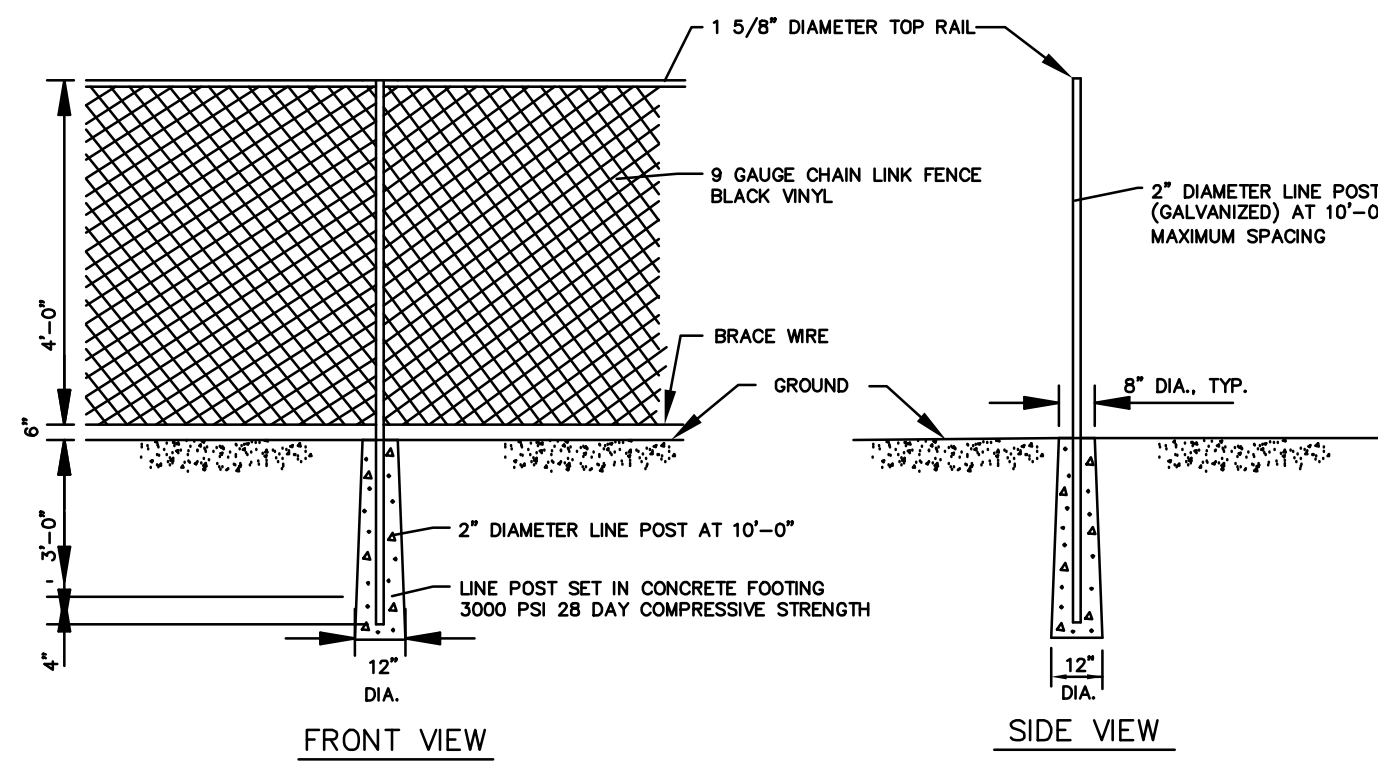
STANDARD PARKING STALL

NOT TO SCALE



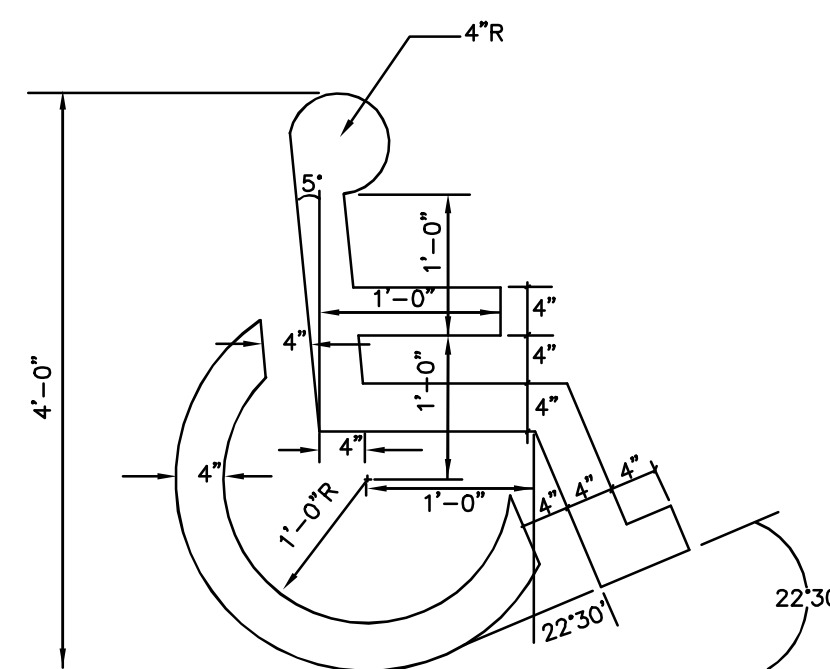
- NOTE:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 - SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - GEOTEXTILE FABRIC MAYBE REQUIRED UNDER THE ROADWAY AND /OR THE PARKING AREAS AS REQUIRED BY THE ENGINEER BASED UPON SITE CONDITIONS.
 - PAVEMENT & BASE MATERIAL DEPTHS SHOWN ARE ORIGINAL NHDOT PROJECT DESIGN (AS-BUILT DRAWINGS. INTENT SHALL BE TO MATCH EXISTING FIELD CONDITIONS UNLESS DIRECTED OTHERWISE.

TYPICAL PAVEMENT SECTION
NOT TO SCALE

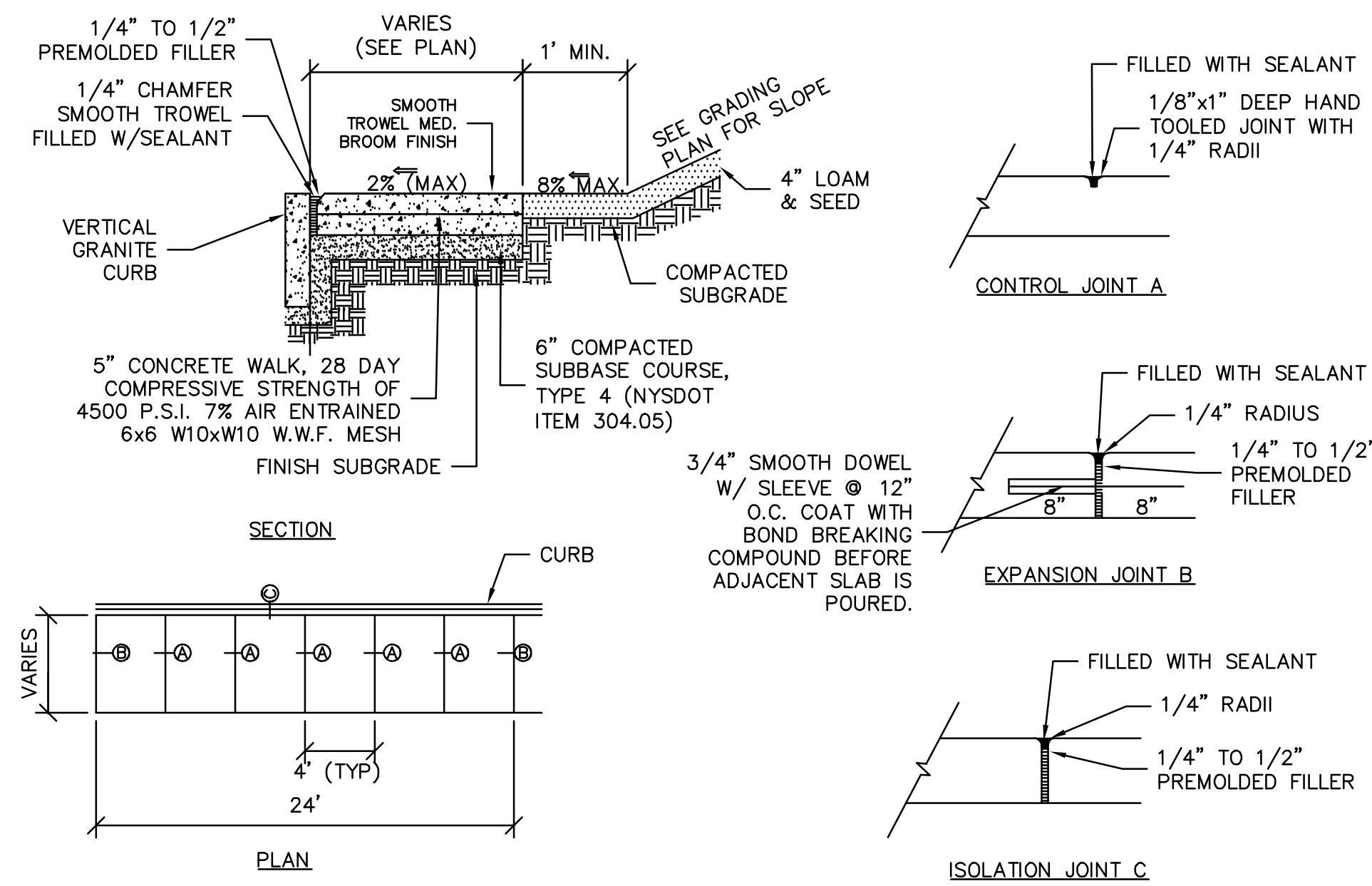


CHAIN LINK FENCE DETAIL
NOT TO SCALE

NOTE: SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES

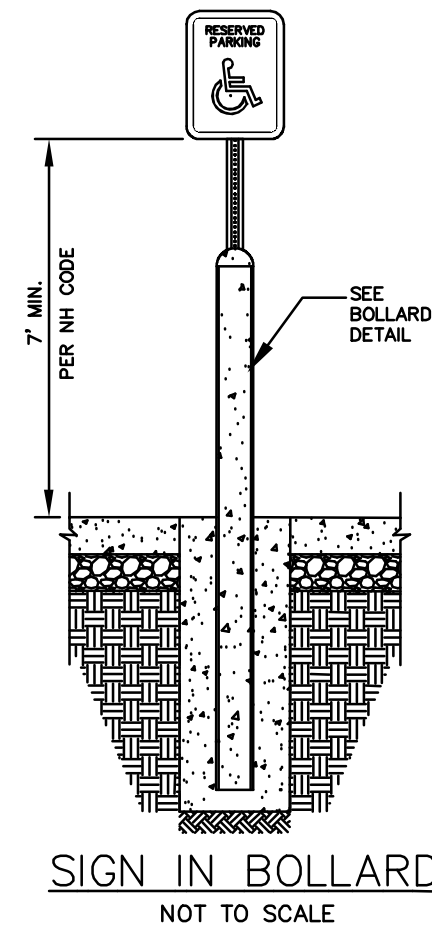


PAINTED HANDICAP SYMBOL
NOT TO SCALE

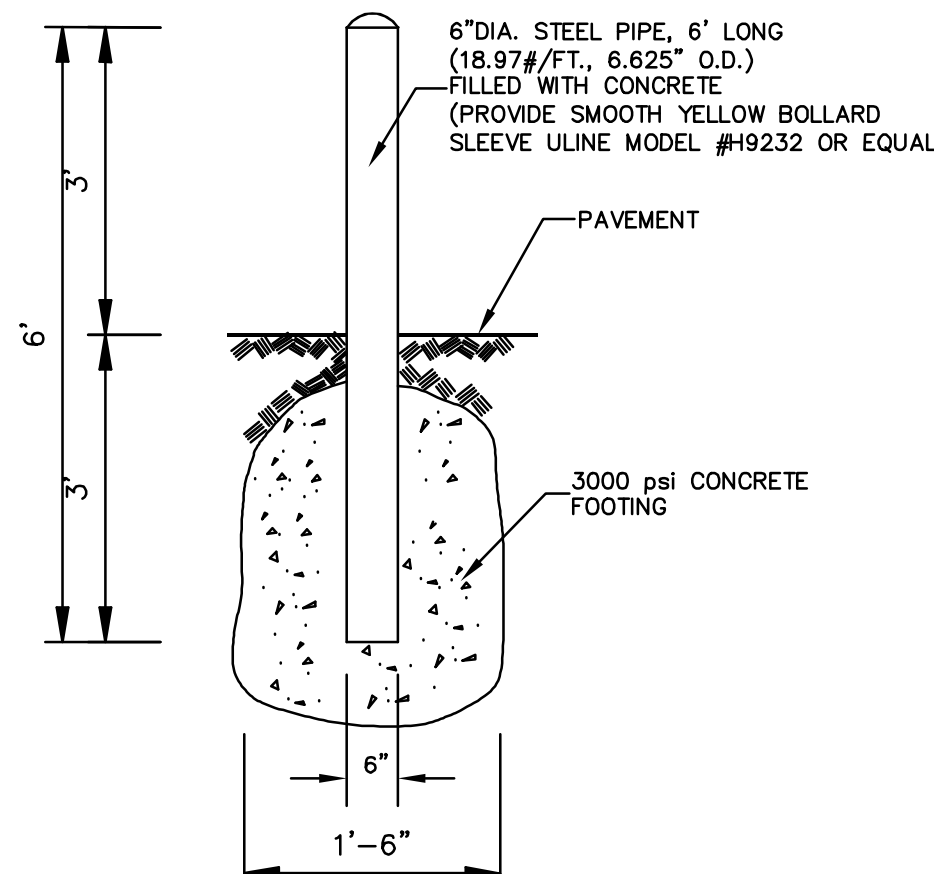


CONCRETE SIDEWALK

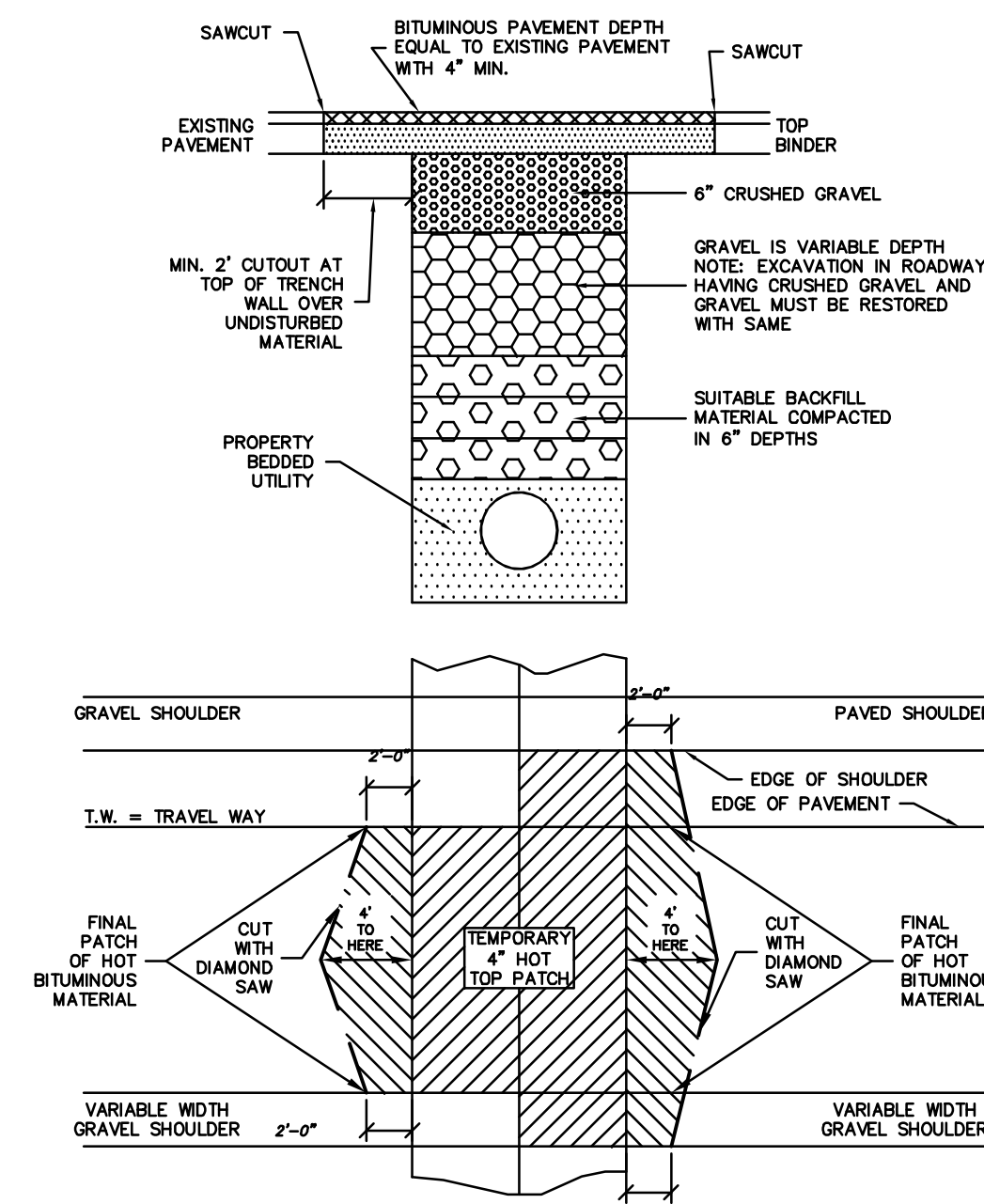
NOT TO SCALE



SIGN IN BOLLARD
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



TRENCH PATCH DETAIL
NOT TO SCALE

ALL BACK FILL MATERIAL PLACED IN TRENCHED SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 6" (SIX INCHES) IN COMPACTED THICKNESS AT NEAR OPTIMUM MOISTURE CONTENT USING PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. THE MATERIAL SHALL BE COMPACTED TO NO LESS THAN 95% OF AMERICAN ASSOCIATION OF STATE HIGHWAY OFFICIALS, METHOD OF TEST T99. METHOD C. WATER SHALL BE UNIFORMLY APPLIED DURING COMPACTION IN THE AMOUNT NECESSARY FOR PROPER CONSOLIDATION, BUT PUDGING WILL NOT BE ALLOWED. WITHIN PAVED AREA, CLASS A CRUSHED GRAVEL (AS DESCRIBED IN N.H. STANDARD SPECIFICATIONS) EQUAL TO THE EXISTING GRAVEL COURSE SHALL BE PLACED IN LAYERS NOT EXCEEDING 9" (NINE INCHES) LOOSE DEPTH AND THOROUGHLY COMPACTED. AN APPROVED BITUMINOUS PLANT MIX MATERIAL SHALL BE PLACED AND CAREFULLY GRADED AND ROLLED TO THE ADJACENT PAVEMENT GRADE AS A TEMPORARY PATCH. JUST BEFORE COMPLETION OF THE PROJECT AND SUITABLE EXPOSURE OF THE TEMPORARY PATCHED TO TRAFFIC COMPACTION, THE PAVEMENT SHALL BE SAWN ON EITHER SIDE OF THE TRENCH TO PROVIDE A TWO FOOT MINIMUM OVERLAP OF FINAL PATCH ON UNDISTURBED MATERIAL. IN THE CASE OF TRANSVERSE OR DIAGONAL TRENCHING, THE PAVEMENT SAWN TO PROVIDE A FLAT DIAMOND SHAPED PATCH WITH A TWO FOOT MINIMUM OVERLAP IN UNDISTURBED MATERIAL THAT WILL PERMIT ONLY ONE WHEEL OF A VEHICLE AT A TIME TO STRIKE THE PATCH AREA. WITHIN THE SAWN LIMITS OF THE FINAL PATCH, THE EXISTING PAVEMENT AND TEMPORARY PATCH MATERIAL SHALL BE REMOVED AND REPLACED WITH AN EQUAL DEPTH OF TYPE I-1 HOT ASPHALTIC CONCRETE, LAYED AND COMPACTED TO MEET THE EXISTING PAVEMENT EDGE EXACTLY. SAW CUTS FOR FINAL PATCHING SHALL BE AS DIRECTED BY THE DISTRICT ENGINEER. OTHER HIGHWAY SLOPES AND SHOULDERS DISTURBED SHALL BE REPLACED PER THE RESPECTIVE SUBDIVISIONS OF THIS PERMIT OR INSTRUCTIONS ISSUED BY THE DISTRICT ENGINEER. IN OTHER AREA, THE PAVEMENT SURFACE TYPE SHALL BE RESTORED BY PLACING SIMILAR MATERIAL INTO THE TRENCH TO A DEPTH EQUAL TO THAT EXISTING BEFORE EXCAVATION. ANY EXISTING GRASS LAND ADDITIONALLY SHALL BE FERTILIZED AND RESEEDED. ANY ASPHALT OR CONCRETE SIDEWALK SHALL HAVE SURFACES OR EQUAL DEPTH, KIND AND QUALITY PLACED. TRAFFIC SHALL BE MAINTAINED CONTROLLED AND PROTECTED BY SUITABLE WARNING AND/OR CHANNALIZING DEVICES ADVANCE AND STANDARD WARNING SIGNS AND FLAGS DURING THE PERFORMANCE OF THE WORK AS SHOWN ON THE ATTACHED "WARNING AND SIGN PACKAGE". THE CONTRACTOR SHALL MARK ALL HAZARDS WITH THE LIMITS OF THE PROJECT AND CONTINGENT ROADS. THESE DEVICES SHALL BE MOVED, SUPPLEMENTED, CHANGES OR REMOVED DURING THE PROGRESS OF THE CONSTRUCTION. UNIFORMED TRAFFIC CONTROL OFFICERS SHALL BE PROVIDED FOR THE PROTECTION OF THE PUBLIC WHENEVER TWO WAY TRAFFIC CANNOT BE MAINTAINED AND/OR AT THE REQUEST OF THE DISTRICT ENGINEER. THIS TYPICAL IS TO BE USED IN CONJUNCTION WITH THE STANDARD TRENCH PERMIT. ALL SAW CUTS FOR FINAL PATCH SHALL BE AS DIRECTED BY THE DISTRICT ENGINEER. IN ALL CASES, TRENCH IS TO BE FLUSH WITH EXISTING PAVEMENT AT THE END OF THE WORK DAY.

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

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181 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.748.0443

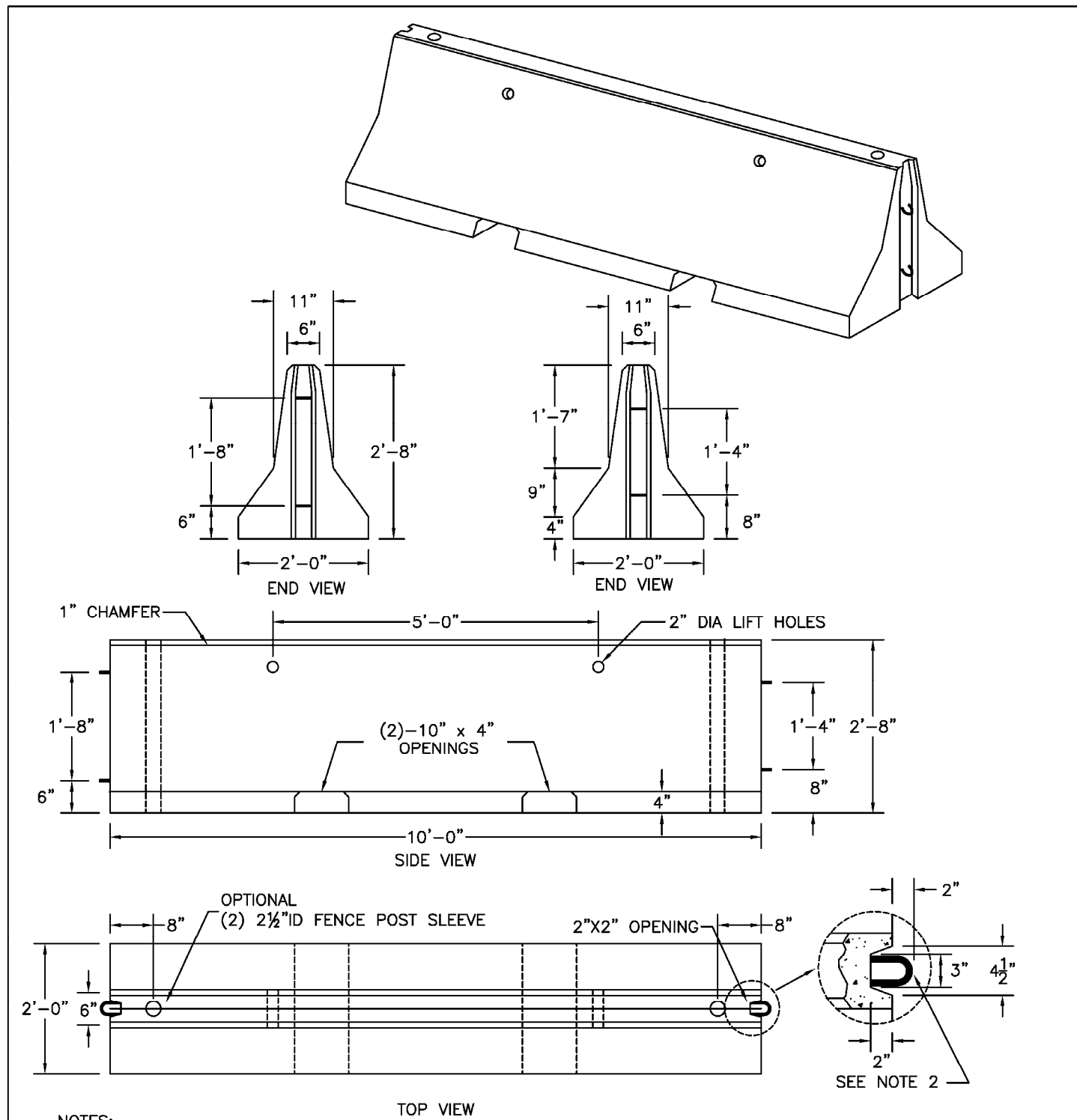
DATE	SCALE	DRAWN BY	DESIGN BY	APPROVED BY	PROJECT NO.	REVISED PER	REVISION	NO.
4-4-24	N.T.S.	SRD	DCL	BYDCL	1318	NHDOT COMMENTS		
8-7-24								

JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 CRAFTON DRIVE
PORTSMOUTH, NH

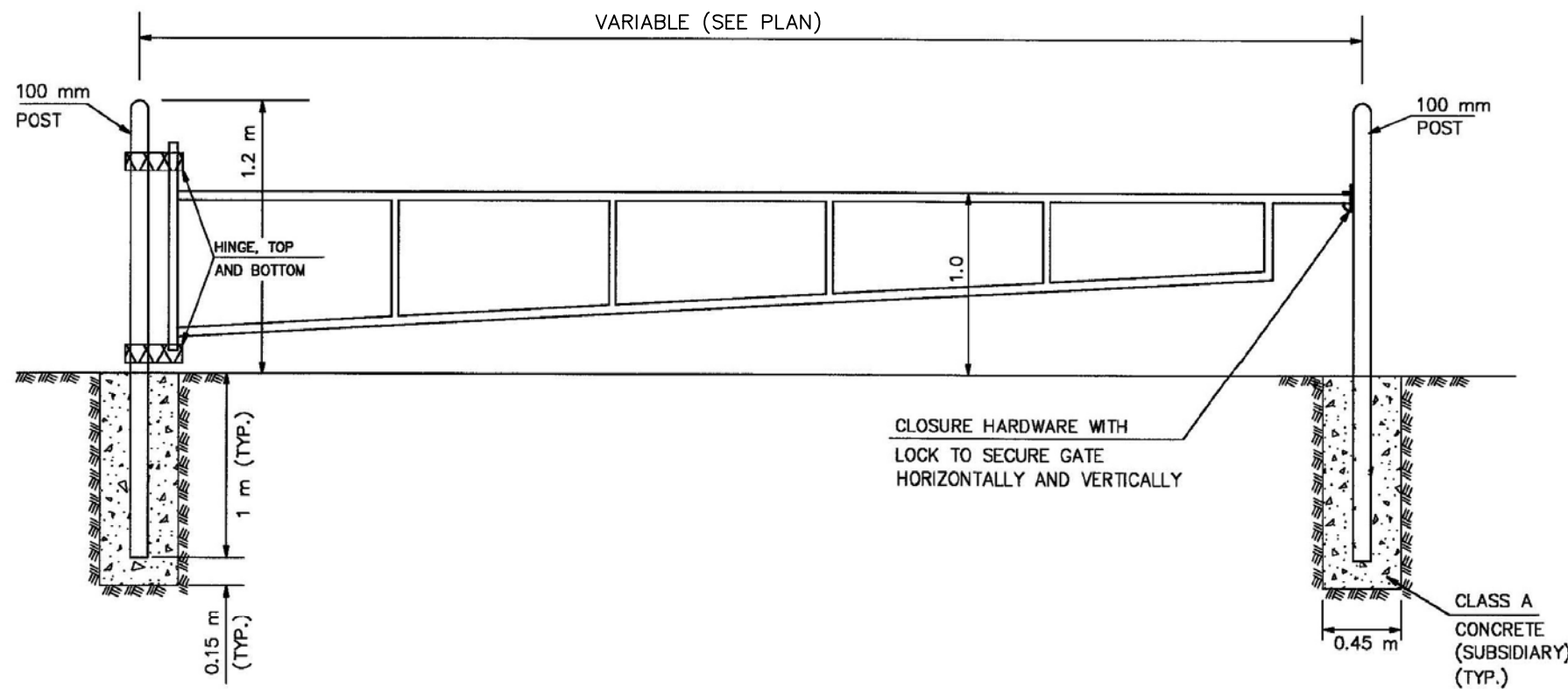
C & J BUS LINES
PARKING CONTROL PROGRAM
PORTSMOUTH
TRANSPORTATION CENTER

DETAILS

C-17



- NOTES:
- CONSTRUCT GATE USING SCHEDULE 40 GALVANIZED STEEL PIPE (INTERNALLY AND EXTERNALLY GALVANIZED TO A WEIGHT OF 0.55 kg/m², ASTM F1083). TREAT WELDS AND AREAS OF DAMAGED GALVANIZING PER ASTM A780 AFTER FABRICATION.
 - TOP RAIL AND DIAGONAL BRACE SHALL BE 50 mm OUTSIDE DIAMETER (MINIMUM). OTHER BRACING SHALL BE 40 mm OUTSIDE DIAMETER (MINIMUM).
 - BRACING ARRANGEMENT MAY VARY FROM THAT SHOWN; DIAGONAL BRACE SHALL EXTEND FROM HINGE POST TO (AT MINIMUM) MIDPOINT OF TOP OF BAR. FREE END OF TOP BAR SHALL NOT DEFLECT MORE THAN 50 mm VERTICALLY UNDER WEIGHT OF GATE.
 - PAINT GATE AS DESCRIBED IN THE SPECIFICATION.
 - PLACE A REFLECTOR EVERY METER ON CROSS BARS OF GATE.



GATE DETAIL
NOT TO SCALE

- NOTES:
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - #5 REBAR BENT TO RECEIVE 1" DIA CONNECTING ROD.
 - LIFTING HOLE ACCEPTS 1 3/4" DIA H.T. ROD.
 - BARRIER RENTAL AVAILABLE.

ITEM NO.	MC-MBFP10	WEIGHT	4,242#
----------	-----------	--------	--------

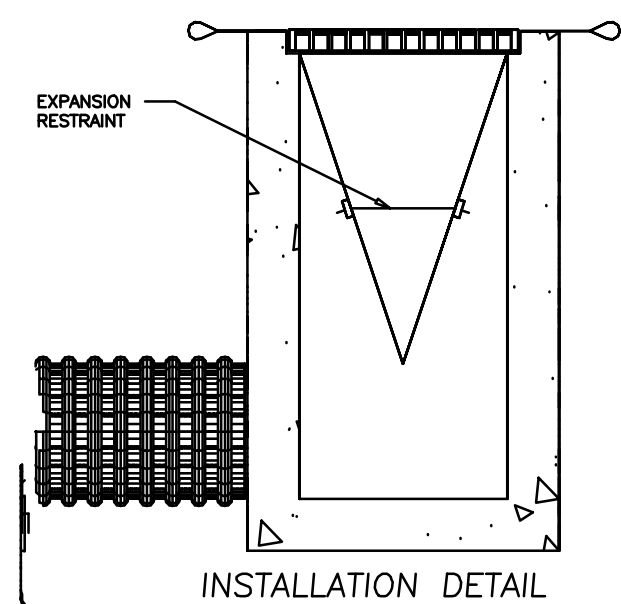
SHEA CONCRETE PRODUCTS
New England's Premier Precaster
800-696-7432 (SHEA)
www.sheaconcrete.com

MECHANICAL MEDIAN BARRIER 10FT
DOUBLE FACE-FENCE POST

273 Salem Street-Wilmington, MA 01983
57 Haverhill Road-Amesbury, MA 01820
153 Cranberry Hwy-Rochester, MA 01867
180 Old Turnpike Rd-Nottingham, NH 03055
Mail to: PO Box 520-Wilmington, MA 01887

Page: J4.8
medbard10FP.dwg 3/18/2010

Specifications subject to change without notice



OIL-ABSORBANT SILTSACK

(FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS)
DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSACK® CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLLOW INSERT OR MADE COMPLETELY FROM AN OIL-ABSORBANT SILTSACK® WITH A WOVEN PILLLOW INSERT.

SILTSACK®
SPECIFICATIONS

NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.
AS SUPPLIED BY AH HARRIS OF PORTSMOUTH OR APPROVED EQUAL

REGULAR FLOW SILTSACK

(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

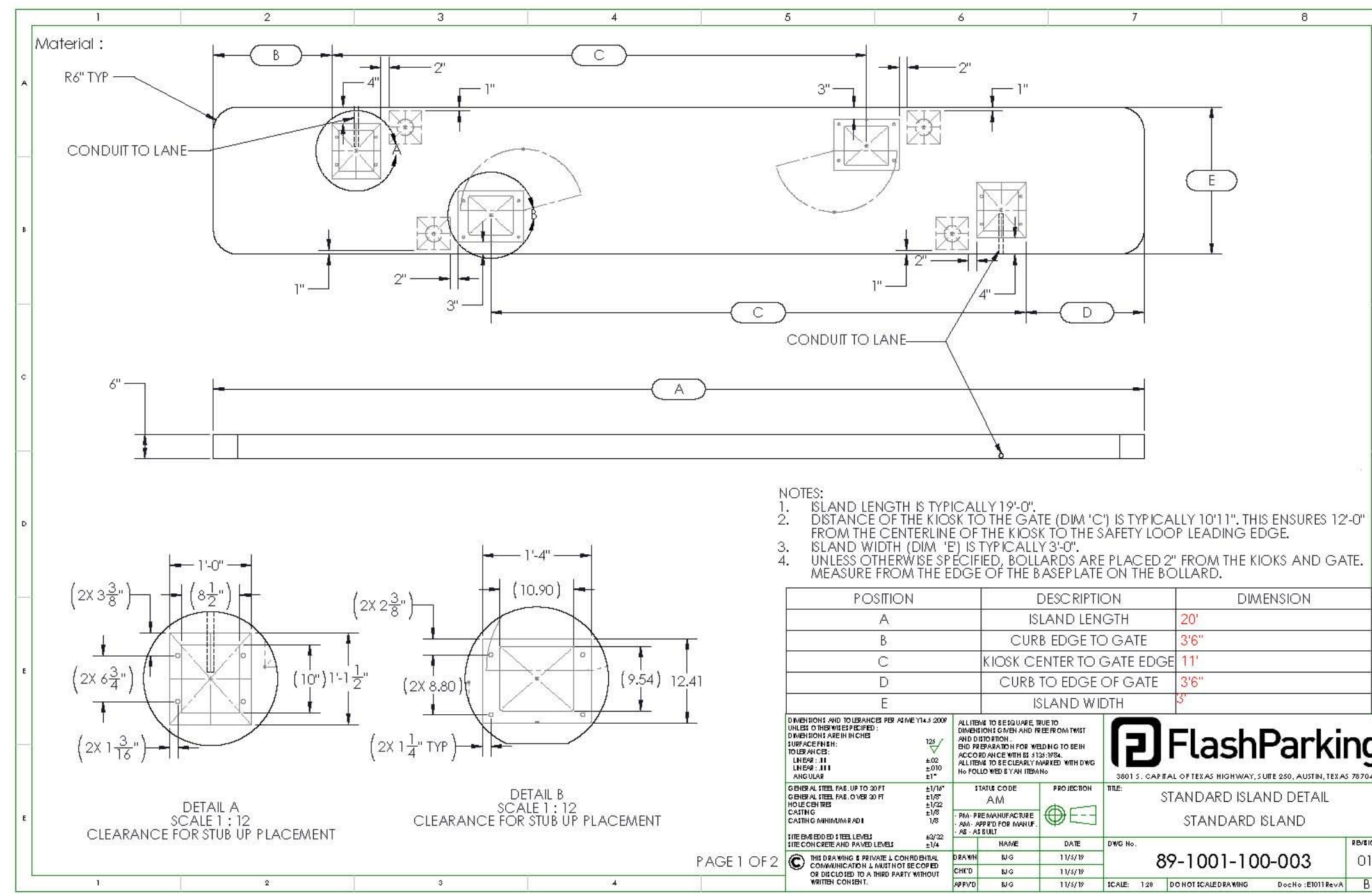
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPEARANT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.35 SEC -1

HI-FLOW SILTSACK

(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	450 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPEARANT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	500 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

DETAIL OF INLET SEDIMENT CONTROL DEVICE
NOT TO SCALE

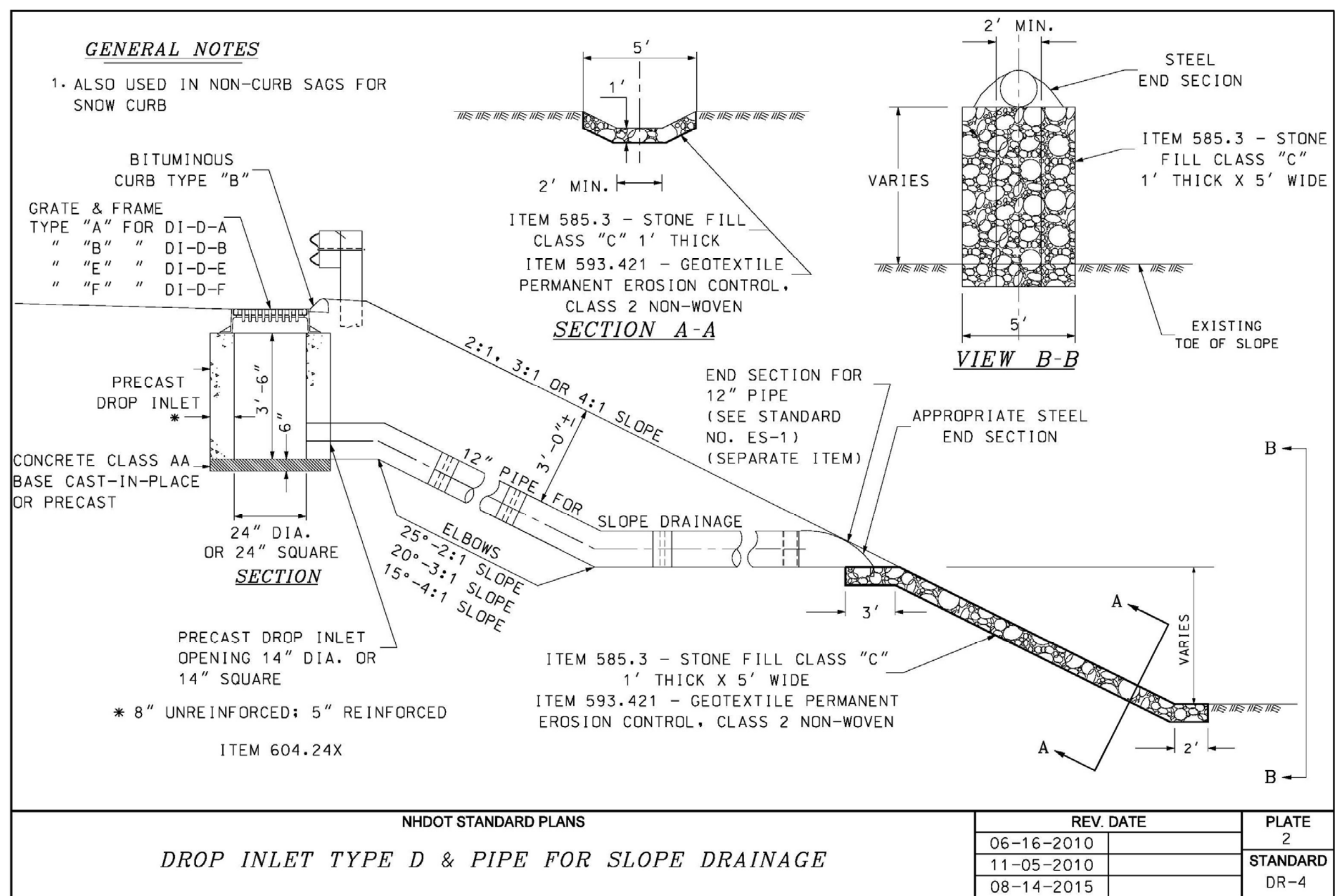


FlashParking

STANDARD ISLAND DETAIL
STANDARD ISLAND

89-1001-100-003

01



REV. DATE	PLATE
06-16-2010	2
11-05-2010	STANDARD
08-14-2015	DR-4

C&J CIVILWORKS NEW ENGLAND
181 Watson Road, PO Box 1166
Dover, New Hampshire 03821
603.748.0443

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

DATE: 4-4-24
SCALE: N.T.S.
DRAWN BY: SRD
DESIGN BY: DCL
APPROVED BY: DCL
PROJECT NO: 1318
FILE: C.P.P. -DWG

REVISION

NO.	REVISION	DATE
1	REVISED PER NHDOT COMMENTS	8-7-24

JALBERT LEASING LLC
D/B/A C & J BUS LINES
185 CRAFTON DRIVE
PORTSMOUTH, NH

C & J BUS LINES
PARKING CONTROL PROGRAM
PORTSMOUTH
TRANSPORTATION CENTER

C-18



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists



August 20, 2024

Peter Britz, Director of Planning
 City of Portsmouth
 Planning Department
 1 Junkins Ave, 3rd Floor
 Portsmouth, NH 03801

RE: Waiver Request
1900 Lafayette Road, Tax Map 267 Lot 8
Hammes Realty Services LLC.
Project #45407.17

Dear Peter Britz,
 On behalf of our client, Hammes Realty Services LLC., we respectfully submit the following waiver request for the Site Plan Review Regulations.


Waiver Request #1

Requirement: Site Plan Review Regulations Section 6.6: Landscaped Areas, "Within parking areas, landscaped islands shall be provided between adjacent rows of parking and between groups of parking spaces with the goal of breaking up large contuously paved areas."

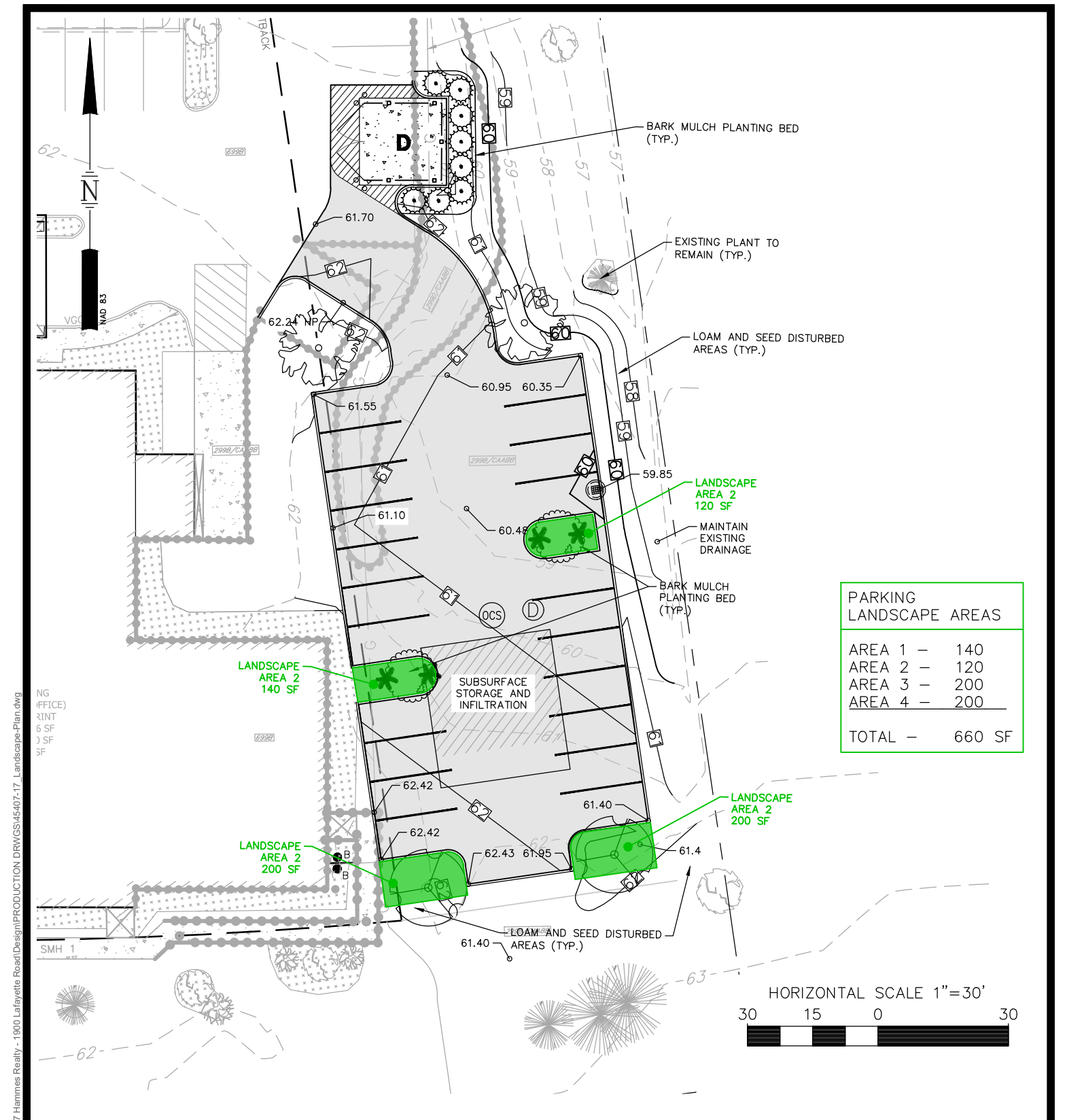
Reason for Waiver: We are proposing to place the required landscaped island at the end of the proposed new parking addition rather than between adjacent rows. The landscaped areas will add up to a minimum of 650ft² in order to allow for adequate landscaping. With the landscape proposed, the required landscape area is met, and it provides better screening from Lafayette Road.

We appreciate your review and consideration of these matters. If you require additional information, please let us know.

Respectfully,
TFMoran, Inc.


Jack McTigue, PE, CPESC
 Project Manager





PARKING LANDSCAPE AREAS	
AREA 1 -	140
AREA 2 -	120
AREA 3 -	200
AREA 4 -	200
TOTAL -	660 SF

EXHIBIT

TAX MAP 267 LOT 8
LANDSCAPE WAIVER SKETCH
 PROPOSED PARKING EXPANSION
1900 LAFAYETTE ROAD, PORTSMOUTH, NH
 OWNED BY AND PREPARE FOR
HAMMES REALTY SERVICES, LLC

REV	DATE	DESCRIPTION	DR	CK	SCALE: 1"=30'	AUGUST 19, 2024
			DR	JJM	FB	SK-20240819
			CK		CADFILE 45407-17_LANDSCAPE-PLAN.DWG	



45407.17

Aug 20, 2024 - 8:57 am
 F:\WSC Projects\45407 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRW\GS\45407-17 Landscape-Plan.dwg

GENERAL INFORMATION

OWNER

HPIII BOSTON PORTSMOUTH LLC
 C/O HAMMES REALTY SERVICE LLC
 1400 N. WATER STREET, SUITE 500
 MILWAUKEE, WISCONSIN 53202

RESOURCE LIST

PLANNING/ ZONING DEPARTMENT
 1 JUNKINS AVENUE
 PORTSMOUTH, NH 03801
 (603) 610-7216
 PETER BRITS, DIRECTOR OF PLANNING AND SUSTAINABILITY

BUILDING DEPARTMENT

1 JUNKINS AVENUE
 PORTSMOUTH, NH 03801
 (603) 610-7243
 SHANTI WOLPH, CHIEF BUILDING INSPECTOR

PUBLIC WORKS

680 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 (603) 427-1530
 PETER RICE, DIRECTOR

POLICE DEPARTMENT

3 JUNKINS AVENUE
 PORTSMOUTH, NH 03801
 (603) 427-1500
 CHIEF MARK NEWPORT

FIRE DEPARTMENT

170 COURT STREET
 PORTSMOUTH, NH 03801
 (603) 427-1515

LIGHTING CONTRACTOR

EXPOSURE ESS
 501 ISLINGTON STREET
 PORTSMOUTH, NH 03801
 (603) 459-1043
 KEN SWEENEY, APPLICANT ENGINEER

ATLANTIC ORTHOPAEDICS PARKING EXPANSION

**1900 LAFAYETTE ROAD
 PORTSMOUTH, NH
 JANUARY 24, 2024
 LAST REVISED SEPTEMBER 9, 2024**

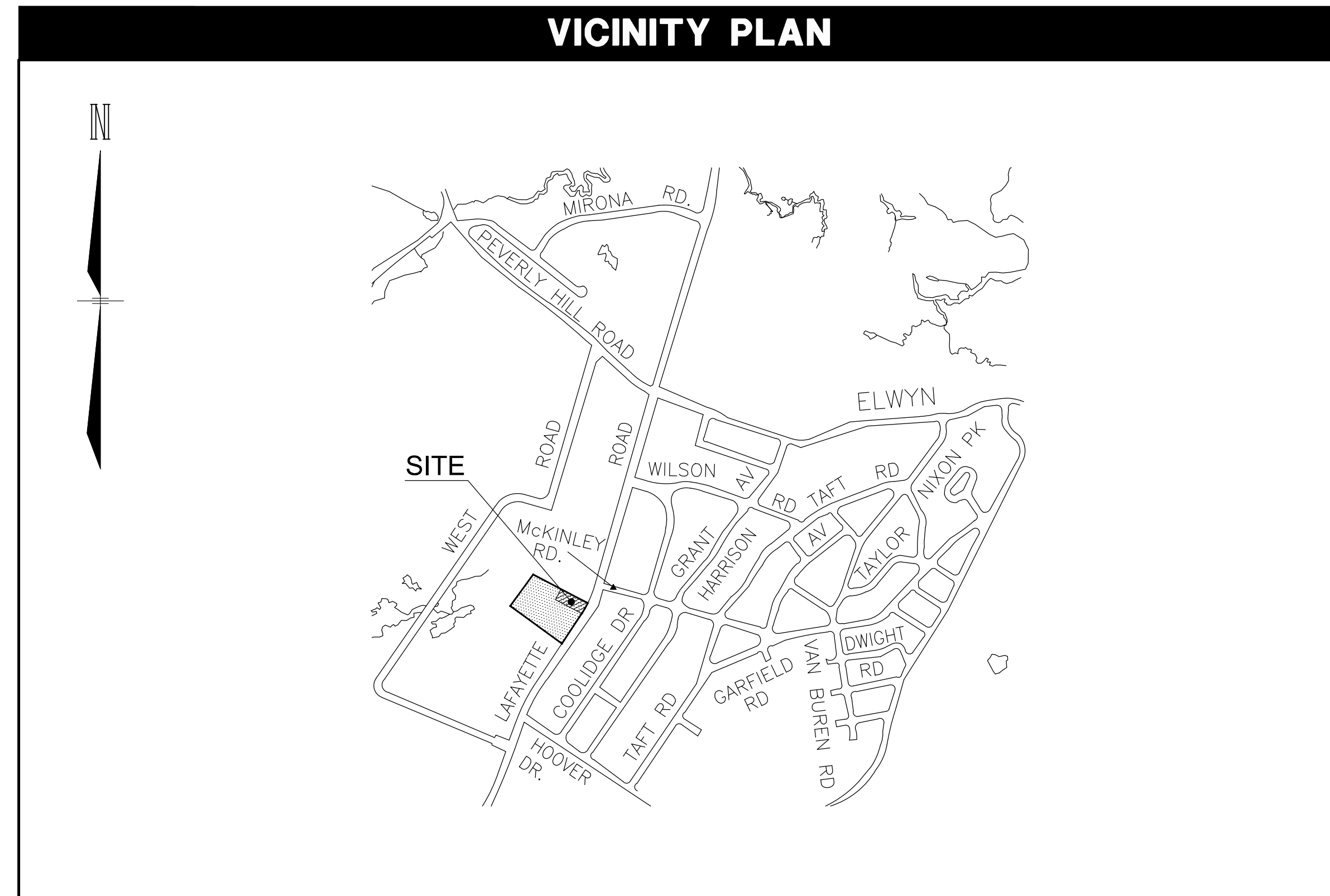
INDEX OF SHEETS

SHEET	SHEET TITLE
C-00	COVER
S-01	EXISTING CONDITIONS PLAN
C-01	NOTES & LEGEND
C-02	SITE PREPARATION PLAN
C-03	SITE LAYOUT PLAN
C-04	GRADING AND DRAINAGE PLAN
C-05	LANDSCAPE PLAN
C-06	LANDSCAPE DETAILS
C-07	LIGHTING PLAN
C-08	EROSION CONTROL NOTES
C-09 to C-12	DETAIL SHEET 1S

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
CITY OF PORTSMOUTH SITE PLAN APPROVAL	-	-	-
CITY OF PORTSMOUTH CONDITIONAL USE PERMIT	-	-	-
NHDES ALT. OF TERRAIN	-	-	-

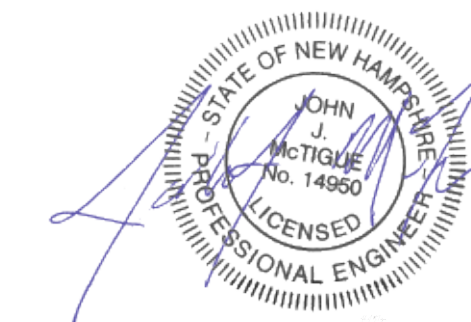
VICINITY PLAN



SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8
COVER
PROPOSED PARKING EXPANSION
1900 LAFAYETTE ROAD, PORTSMOUTH, NH
 OWNED BY & PREPARED FOR
HAMMES REALTY SERVICES, LLC

SCALE: NTS **JANUARY 24, 2024**



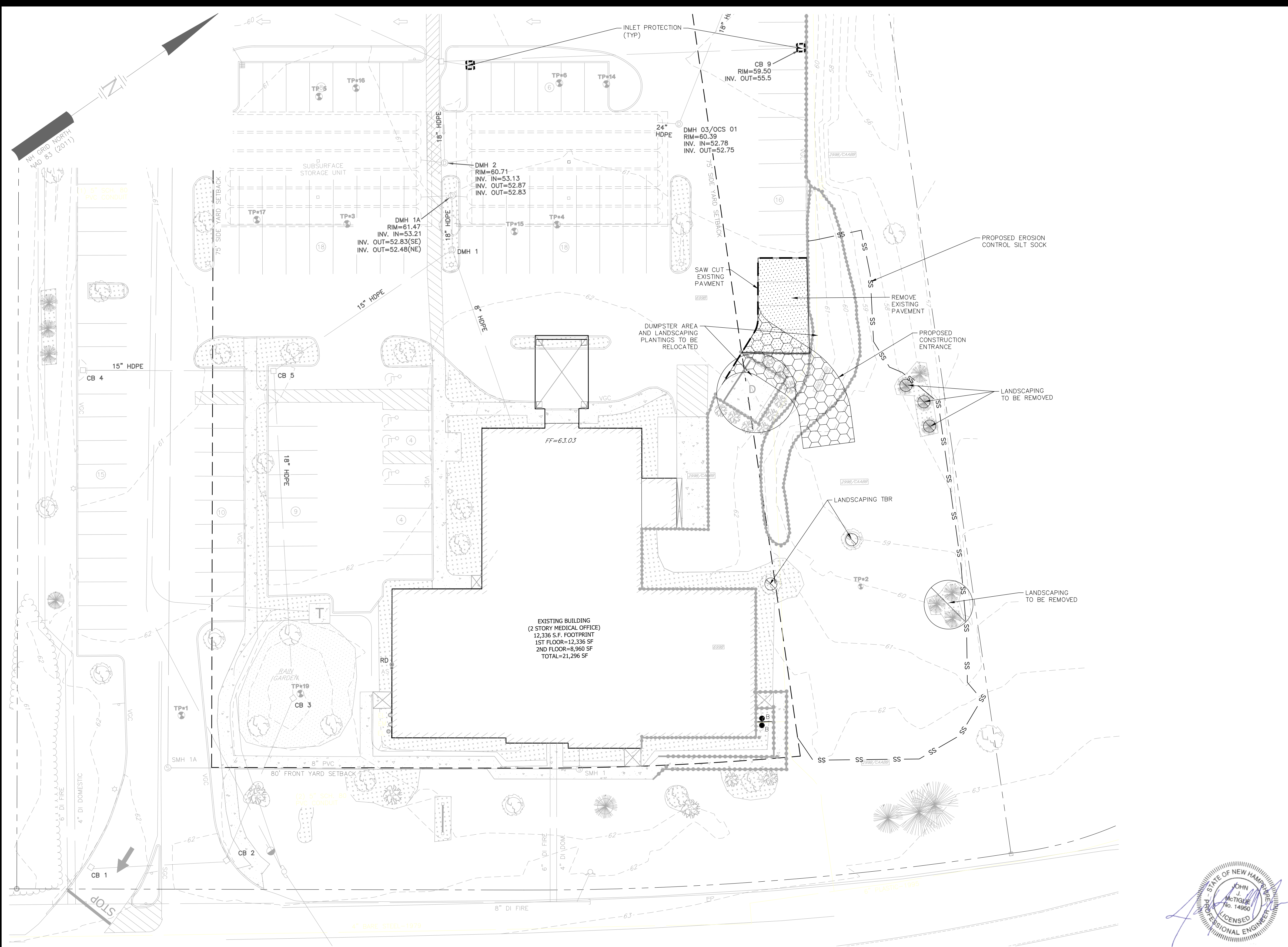
REV	DATE	DESCRIPTION	DR	CK
2	9/9/2024	UPDATE DATES	JJM	
1	7/31/2024	REVISED INDEX OF SHEETS	BCH	JJM

Seacoast Division 		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
FILE	45407.17	DR JKC CK CRR	FB CADFILE
			C-00

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Sep 09, 2024 - 8:37am F:\MISC Projects\45407-17 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWG\SM45407-17 Site-Prep.dwg



NOTES

- SEE NOTES ON SHEET C-01.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
- THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
- CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP-LINE OF THE TREES TO BE SAVED.
- CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

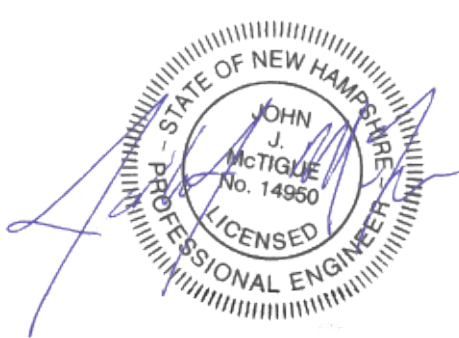
CONSTRUCTION SEQUENCE NOTES

- TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
- MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
- THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO STORMWATER BMP'S. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.
- DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
 - INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - STORMWATER TREATMENT PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
 - DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
 - DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
 - CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
 - ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
 - CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
 - CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
 - BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
 - PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 - INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
 - CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
 - COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
 - COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
 - DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
 - SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

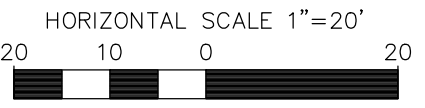
SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8
SITE PREPARATION PLAN
PROPOSED PARKING EXPANSION
1900 LAFAYETTE ROAD, PORTSMOUTH, NH
 OWNED BY & PREPARED FOR
HAMMES REALTY SERVICES, LLC

1"=40' (11"X17')
SCALE: 1"=20' (22"X34') **JANUARY 24, 2024**



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REV	DATE	DESCRIPTION	DR	CK
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	No Revisions This Sheet		

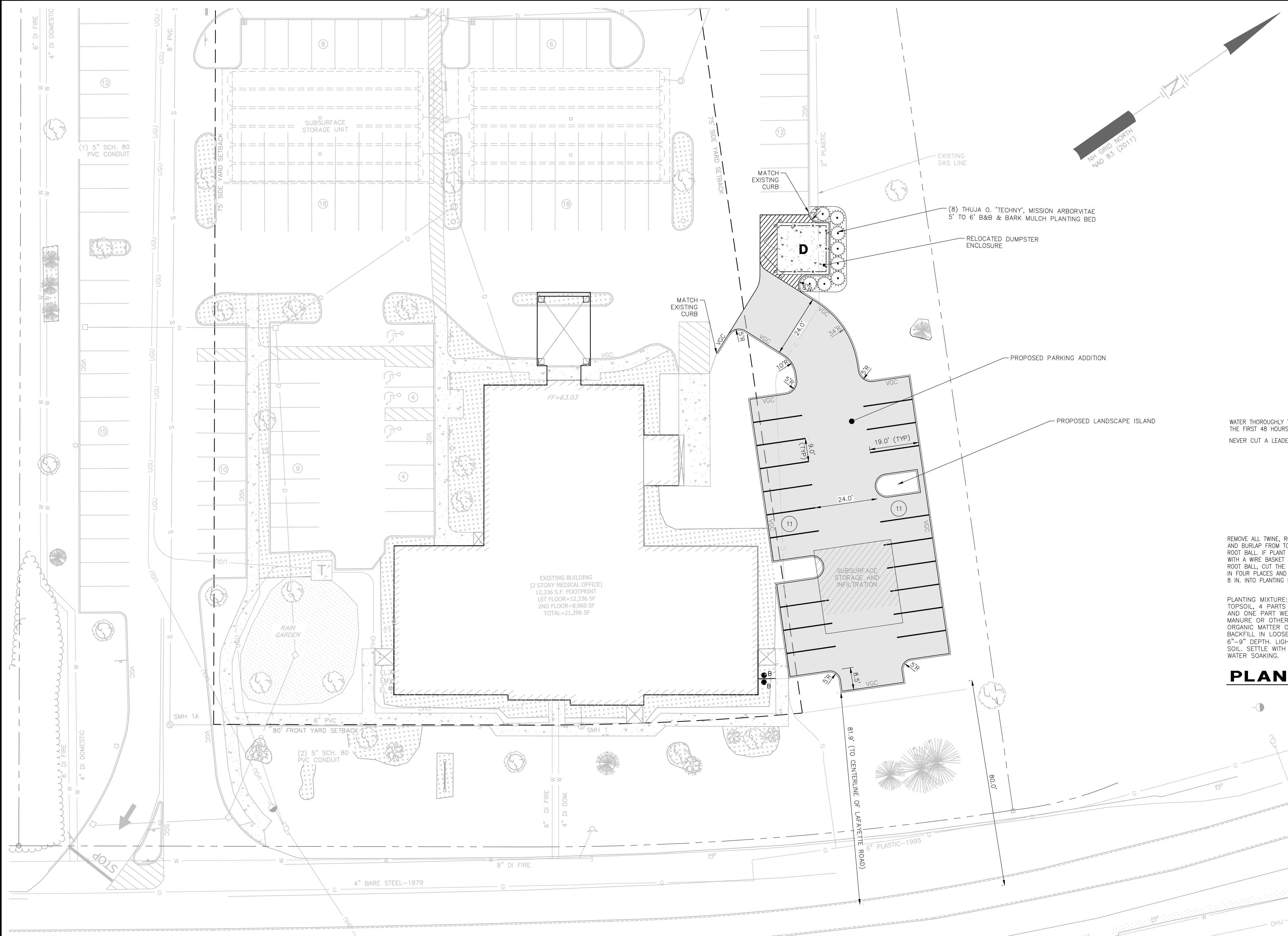
Seacoast Division

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

45407.17 DR JKC FB
 CK CRR CADFILE 45407-17_SITE-PREP C-02

Sep 09, 2024 - 8:37am F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWG\M45407-17 Site-Plan.dwg



SITE DATA

OWNER OF RECORD OF MAP 267 LOT 8: HPIII BOSTON PORTSMOUTH LLC C/O HAMMES REALTY SERVICES LLC
 DEED REFERENCE TO PARCEL IS BK 6431 PG 1522
 AREA OF PARCEL = 173,369± SF OR 3.98± ACRES

ZONED: OFFICE RESEARCH
 EXISTING USE: MEDICAL USE
 PROPOSED USE: MEDICAL USE

	REQUIRED:	EXISTING:	PROPOSED:
MINIMUM OPEN SPACE	30%		39%

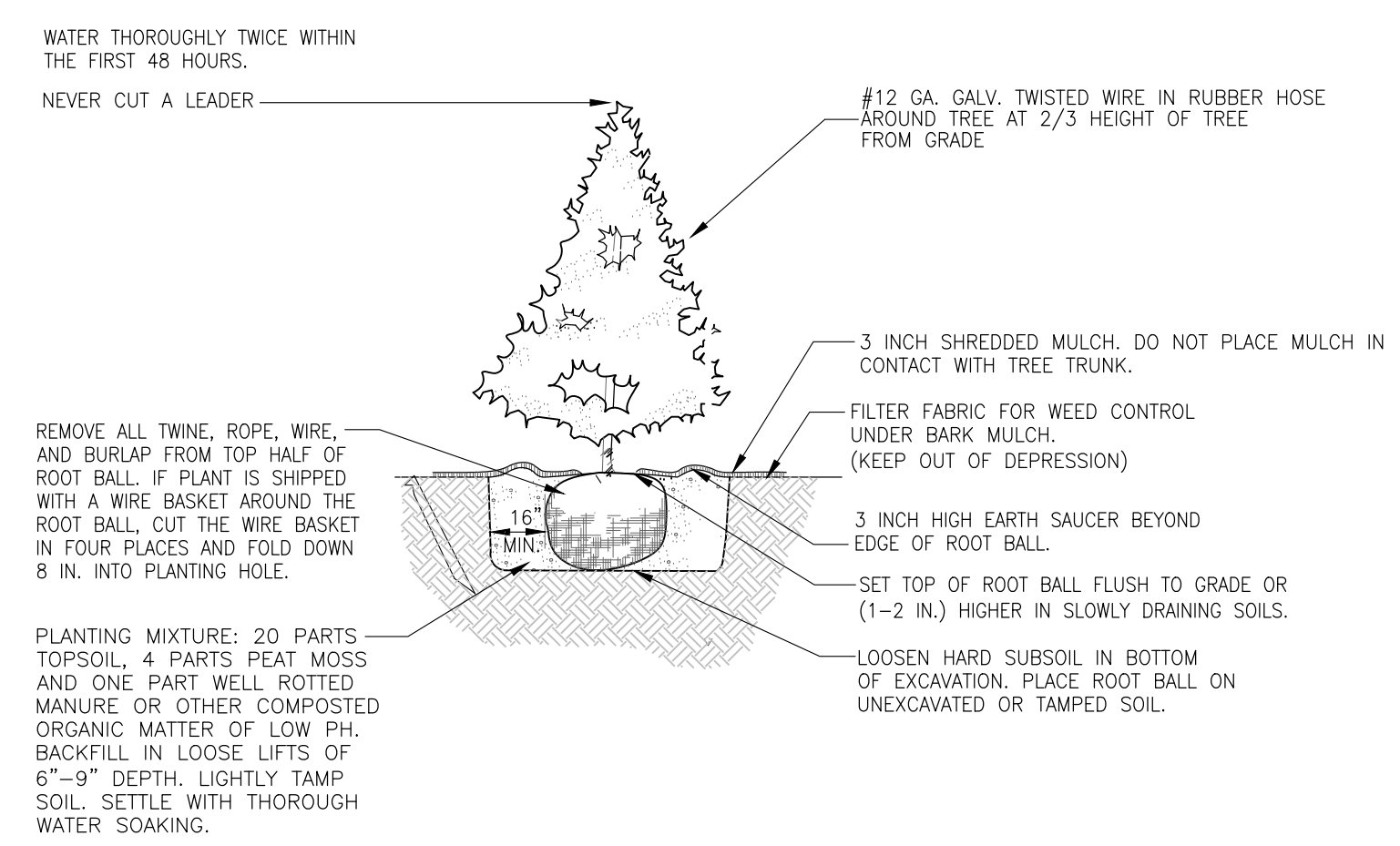
THE PURPOSE OF THIS PLAN IS TO DEPICT THE ADDITION OF PARKING TO THE EXISTING USE. ASSOCIATED IMPROVEMENTS INCLUDE AND ARE NOT LIMITED TO ACCESS, GRADING, STORMWATER MANAGEMENT SYSTEMS, UTILITIES, LIGHTING, AND LANDSCAPING.

PARKING CHANGES	REQUIRED	EXISTING:	PROPOSED:
PARKING SPACES	130-156 SPACES	139 SPACES	156 SPACES
ACCESSIBLE SPACES	6 SPACE	8 SPACES	8 SPACES
PARKING SPACE SIZE	9 FT X 19 FT	8.5 FT X 19 FT	9 FT X 19 FT
AISLE WIDTH	24 FT	24 FT	24 FT

PARKING CALCULATIONS:
 REQUIRED PARKING RATIO:
 MEDICAL OFFICE: 1 SPACE PER 250 SF GFA
 AMBULATORY MEDICAL CENTER: 1 SPACE PER 250 SF GFA

TOTAL REQUIRED:
 FRONT (2 STORY MEDICAL OFFICE): 21,296 SF * 1 SPACE / 250 SF = 85 SPACES
 REAR 1 STORY AMBUL. MED. CNTR: 11,175 SF * 1 SPACE / 250 SF = 45 SPACES
 130 SPACES

MAXIMUM NUMBER OF PARKING SPACES = 120% OF MINIMUM NUMBER OF PARKING SPACES
 120% X 130 SPACES = 156 SPACES



PLANTING DETAIL
 NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8
SITE LAYOUT PLAN
PROPOSED PARKING EXPANSION
1900 LAFAYETTE ROAD, PORTSMOUTH, NH
 OWNED BY & PREPARED FOR
HAMMES REALTY SERVICES, LLC

1"=40' (11"X17')
SCALE: 1"=20' (22"X34') **JANUARY 24, 2024**

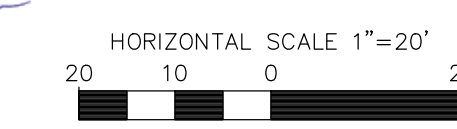
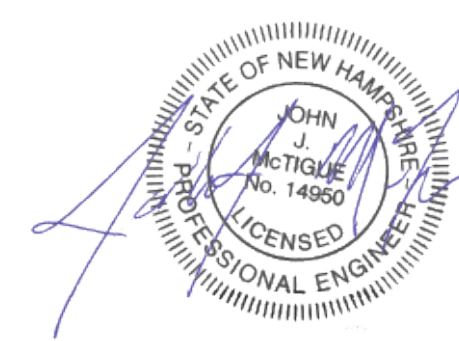
Seacoast Division		Civil Engineers	170 Commerce Way, Suite 102
TFM		Structural Engineers	Portsmouth, NH 03801
		Traffic Engineers	Phone (603) 431-2222
		Land Surveyors	Fax (603) 431-0910
		Landscape Architects	www.tfmoran.com
		Scientists	

FILE NO.	45407.17	DR	JKC	FB	-	C-03
REV	DATE	DESCRIPTION	DR	CK		
5	9/9/2024	REVISED PARKING CALCULATIONS	JJM	CRR		
4	7/31/2024	ADDED PARKING CALLOUT	BCH	JJM		
3	4/2/2024	REVISED PER CITY COMMENTS	JJM	CRR		
2	10/30/2023	REVISED PER WETLAND SCIENTIST OBSERVATIONS	JKC	CRR		
1	10/16/2023	ADDED PARKING SPACES	JKC	CRR		

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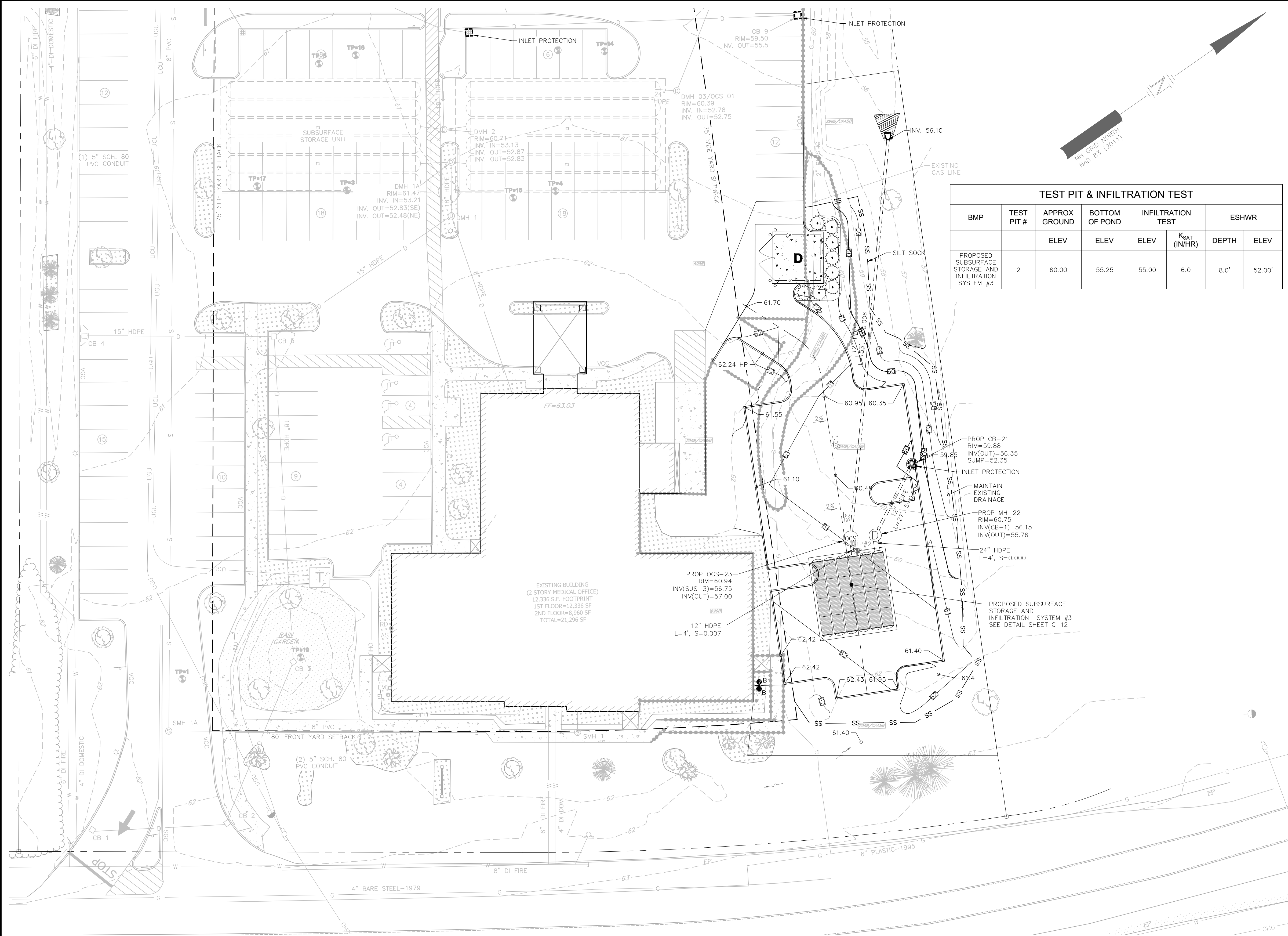


CONTACT US 24 HOURS A DAY, 72 HOURS A WEEK PRIOR TO CONSTRUCTION



5	9/9/2024	REVISED PARKING CALCULATIONS	JJM	CRR
4	7/31/2024	ADDED PARKING CALLOUT	BCH	JJM
3	4/2/2024	REVISED PER CITY COMMENTS	JJM	CRR
2	10/30/2023	REVISED PER WETLAND SCIENTIST OBSERVATIONS	JKC	CRR
1	10/16/2023	ADDED PARKING SPACES	JKC	CRR
REV	DATE	DESCRIPTION	DR	CK

Sep 09, 2024 - 8:38am F:\MISC Projects\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWGSM45407-17_Grading-Drainage-Plan.dwg



GRADING AND DRAINAGE NOTES

- SEE NOTES ON SHEET C-01.
- PROPOSED SPOT GRADES ARE PROVIDED TO THE NEAREST 0.05. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE FINISHED GRADES MEET ADA STANDARDS FOR WHEEL CHAIR RAMPS, HANDICAP SPACES AND ACCESS AISLES, CROSSWALKS, SIDEWALKS, ETC.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED DRAINAGE PIPES SHALL BE 12" AND HDPE, UNLESS OTHERWISE NOTED ON THE PLAN.
- DRAINAGE PIPES WITH LESS THAN 3' COVER SHALL BE INSULATED (SEE UTILITY TRENCH DETAIL) AND DRAINAGE CATCH BASINS WITH LESS THAN 3.5' OF COVER OVER INVERTS SHALL USE SLAB TOP CATCH BASIN (SEE DETAILS).
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS FOR SUBDRAINAGE SYSTEMS FOR THE BUILDING FOUNDATION. SUBDRAINAGE MUST DAYLIGHT OR TIE INTO THE STORMWATER MANAGEMENT SYSTEM. COORDINATE SUBDRAINAGE SYSTEM DESIGN WITH THE ENGINEER OF RECORD.

TEST PIT & INFILTRATION TEST						
BMP	TEST PIT #	APPROX GROUND ELEV	BOTTOM OF POND ELEV	INFILTRATION TEST		ESHWR
		ELEV	ELEV	ELEV	K _{SAT} (IN/HR)	DEPTH
PROPOSED SUBSURFACE STORAGE AND INFILTRATION SYSTEM #3	2	60.00	55.25	55.00	6.0	8.0'

EROSION CONTROL NOTES

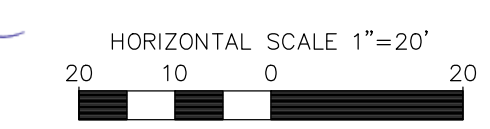
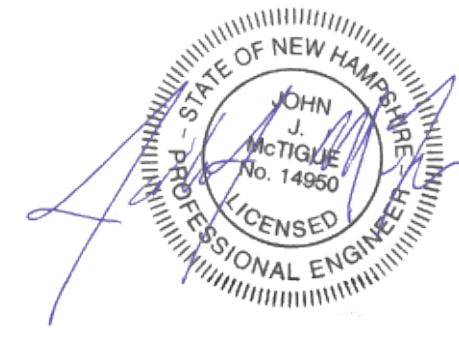
- SEE NOTES ON SHEET C-01, EROSION CONTROL NOTES ON SHEET C-08, EROSION CONTROL DETAILS ON SHEET C-09, AND THE APPROVED SWPPP, AS APPLICABLE.
- INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
- PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
- DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
- SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
- EROSION CONTROL MIX, AS SPECIFIED IN THE DETAILS, CAN BE USED IN PLACE OF SILT SOCK.
- CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
- INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.25" OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
- PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
- ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, ARE INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
- THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

SOIL LEGEND (PER SITE SPECIFIC SOIL SURVEY)		
SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP
299/CAABB	UDORTHERTS, SMOOTHED (WELL DRAINED, NO NATURAL SOILS)	B
699	URBAN LAND	N/A

SITE DEVELOPMENT PLANS
TAX MAP 267 LOT 8
GRADING AND DRAINAGE PLAN
PROPOSED PARKING EXPANSION
1900 LAFAYETTE ROAD, PORTSMOUTH, NH
OWNED BY & PREPARED FOR
HAMMES REALTY SERVICES, LLC

1"=40' (11"X17')
SCALE: 1"=20' (22"X34') **JANUARY 24, 2024**

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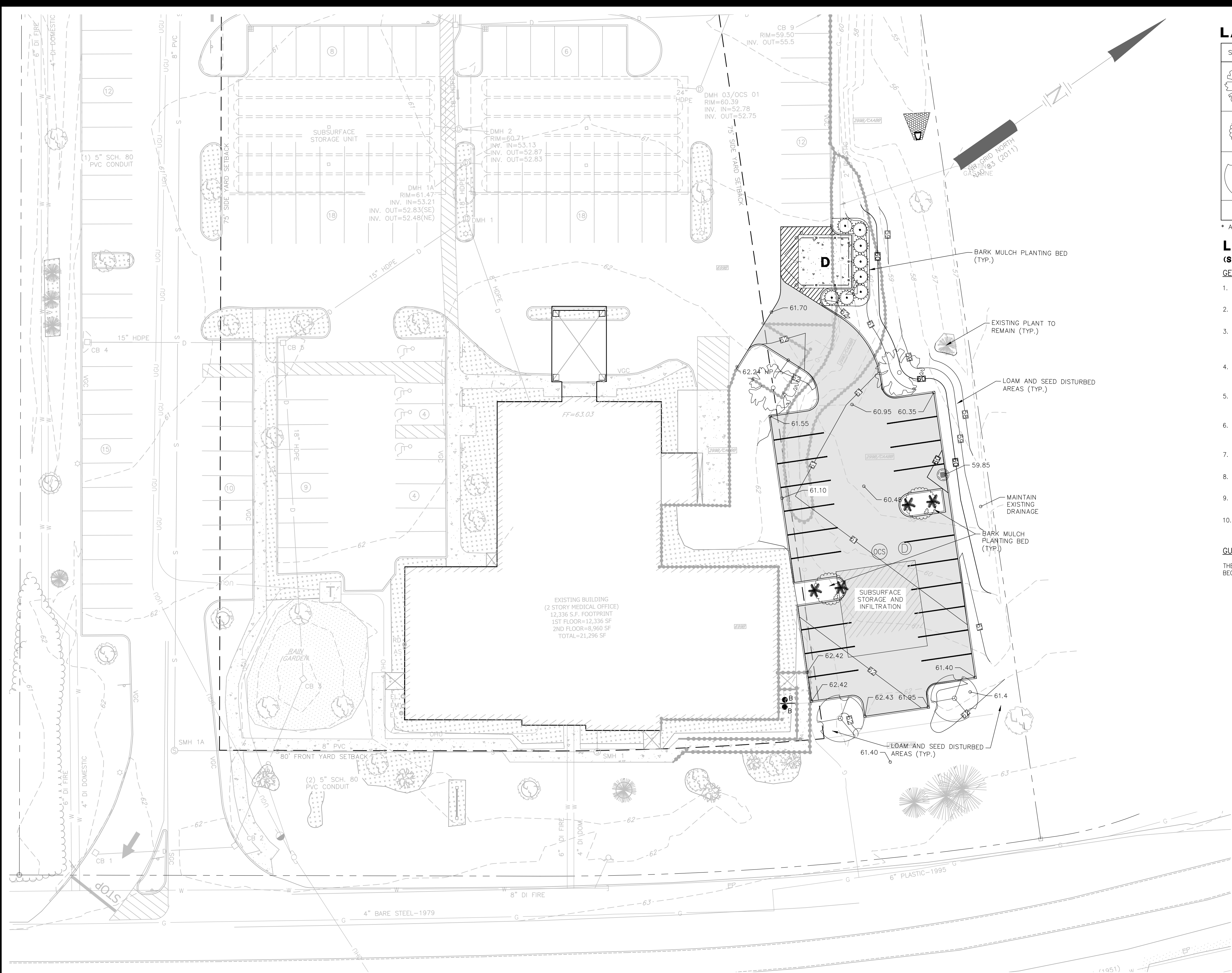
REV	DATE	DESCRIPTION	DR	CK
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	REVISED SITE SOILS, REVISED TITLE BLOCK	BCH	JJM

Seacoast Division
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Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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www.tfmoran.com

45407.17 DR JKC FB
CK CRR CADFILE 45407-17_GRADING-DRAINAGE-PLAN C-04

Sep 09, 2024 - 8:38am F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-17 Hammes Realty - 1900 Lafayette Road\Design\PRODUCTION DRWG\M45407-17 Landscape-Plan.dwg



LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	REMARKS	MATURE SIZE (HEIGHT/SPREAD)	GROWTH HABIT
	2	ULMUS AMERICANA 'PRINCETON' PRINCETO AMERICAN ELM	3" CAL. MIN.	B&B	60'/40'-60'	VASE
	2	CRATAEGUS C.J. 'THORNLESS' THORNLESS COCKSPUR HAWTHORN	2" CAL. MIN.	B&B	15'-20'/15'-20'	ROUNDED
	2	PLATANUS X ACREFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	3" CAL. MIN.	B&B	60'+/60'_	ROUNDED
	4	SPIRAEA X B. 'ANTHONY WATERER' ANTHONY WATERER SPIREA	3 GAL.	CONTAINER	3'-4'/4'-5'	MOUNDED

* ALL PLANTS CONTAINED IN LEGEND HAVE BEEN SELECTED FOR URBAN GROWING CONDITIONS.

LANDSCAPE NOTES

(SEE DETAILS FOR ADDITIONAL NOTES)

GENERAL

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
- THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
- ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBEROUS, COMPACT ROOT SYSTEM.
- ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
- IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."

GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

SITE DEVELOPMENT PLANS

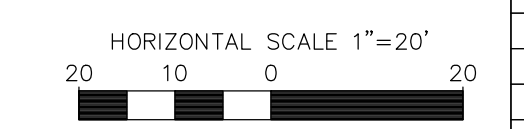
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PROPOSED PARKING EXPANSION
1900 LAFAYETTE ROAD, PORTSMOUTH, NH
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1	7/31/2024	No Revisions This Sheet	MK	

45407.17	DR JKC	FB		
	CK CRR	CADFILE	45407-17_LANDSCAPE-PLAN	C-05

LANDSCAPE SPECIFICATIONS

SITE AND SOIL PREPARATION

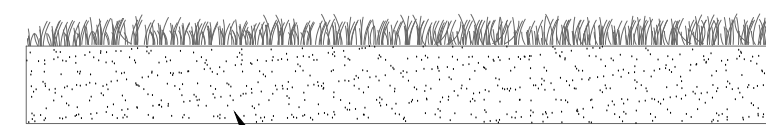
- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
- ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODDED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
- LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER. SUBSOIL, ROOTS, AND WEEDS: THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.6. LOAM SHALL CONTAIN A MINIMUM OF THREE PERCENT (3%) AND A MAXIMUM OF TWENTY PERCENT (20%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
- NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
- SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

PLANTING

- EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
- DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- DISH TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6' DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2' BEYOND THE OUTER MOST BRANCHES.
- MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
- STAKE AND GUY TREES IMMEDIATELY AFTER PLANTING (TREE SUPPORT STAKES SHALL BE 2" X 3" X 6', WOOD STAKES, GUYING WIRE SHALL BE NO. 12 GAUGE GALVANIZED SOFT STEEL WIRE. HOSE FOR COVERING WIRE SHALL BE NEW OR USED TWO PLY RUBBER HOSE NOT LESS THAN 1/2 INCH INSIDE DIAMETER. (PLASTIC "CINCH-TIES" OR EQUIVALENT FASTENING DEVICE MAY BE AN ACCEPTABLE GUY WIRE AND HOSE PROTECTOR SUBSTITUTE.)
- TREEGATOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
- ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
- TREES TO REMAIN STAKED FOR 1 FULL GROWING SEASON.
- THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

SEEDING

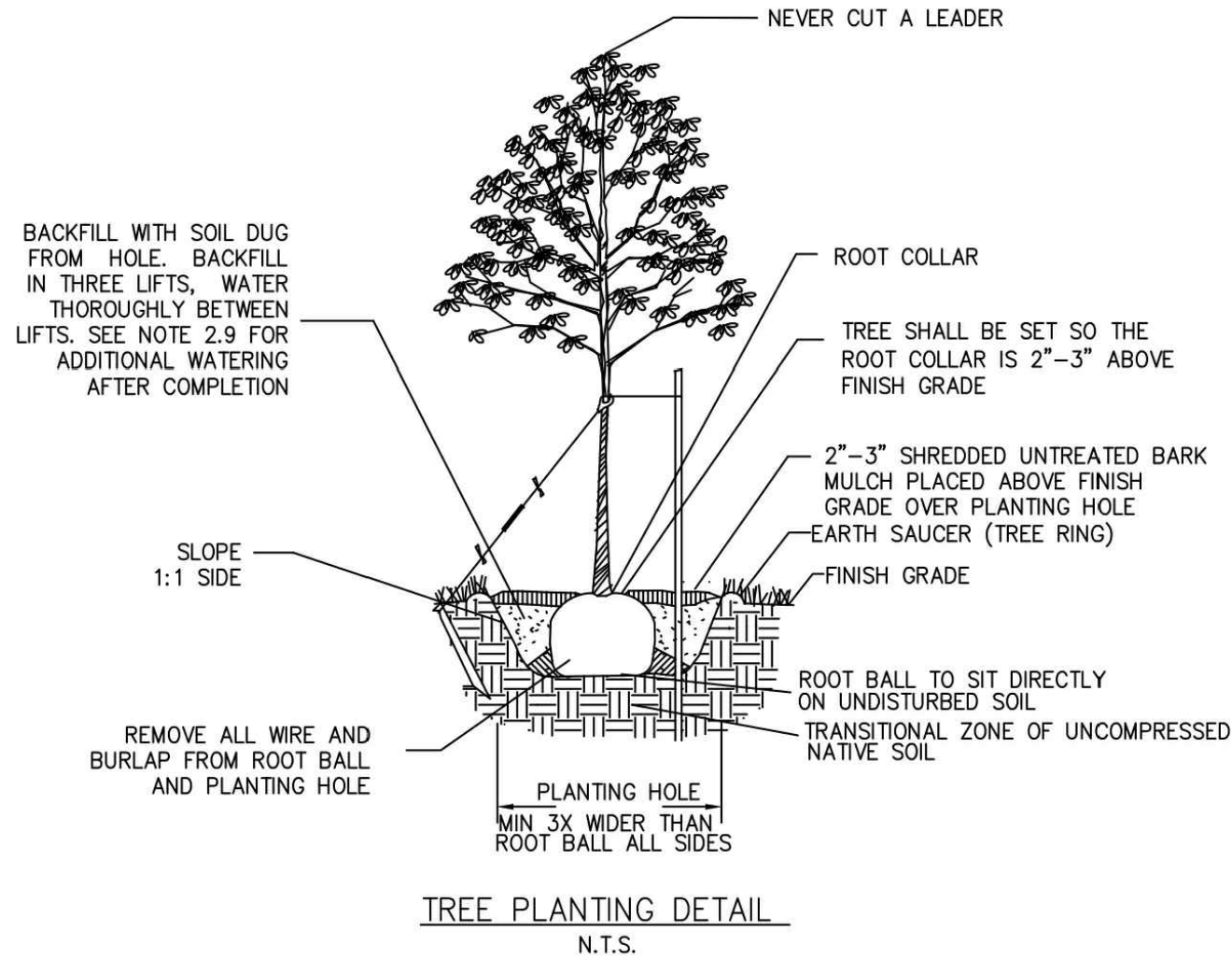
- SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
- SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
- GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.



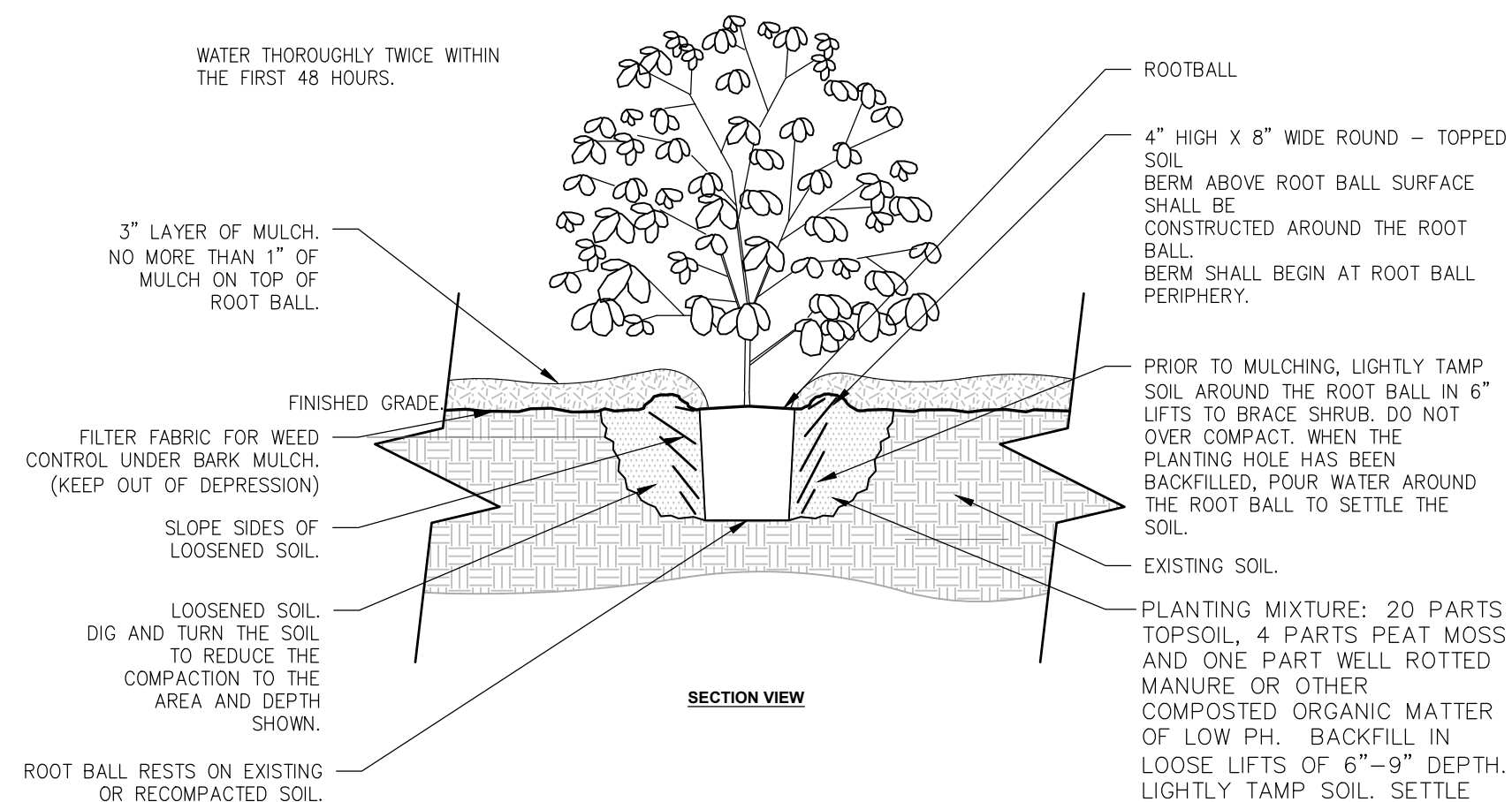
6" LOAM (ITEM 641)
SEED (ITEM 644) LIMESTONE (ITEM 642) FERTILIZER (ITEM 643.11)
APPLY RATIOS OF LIMESTONE AND FERTILIZER PER MANUFACTURERS SPECIFICATION BASED ON SOIL TEST RESULTS.
STRAW MULCH SHALL BE UTILIZED FOR EROSION CONTROL AT A RATE OF 3 TONS PER ACRE. HYDROSEEDING MAYBE UTILIZED AS AN ALTERNATE METHOD. (SEE HYDROSEEDING NOTES)

LOAM & SEED

NOT TO SCALE



STANDARD DETAIL OF TREE PLANTING
PORTSMOUTH, NEW HAMPSHIRE
DRAWING SCALE: NTS
March, 2019



SHRUB PLANTING

NOT TO SCALE

PART 1 - GENERAL:

- THE BASE OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING. ANSI A300 PART 6 LAYS OUT TERMS AND BASIC STANDARDS AS SET FORTH BY INDUSTRY BUT IT IS NOT THE "END ALL" FOR THE CITY OF PORTSMOUTH. THE FOLLOWING ARE THE CITY OF PORTSMOUTH, NH TREE PLANTING REQUIREMENTS THAT ARE IN ADDITION TO OR THAT GO BEYOND THE ANSI A300 PART 6.

PART 2 - EXECUTION:

- ALL PLANTING HOLES SHALL BE DUG BY HAND - NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBING, AND PLANTING SITES WITH SILVA CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS AND PLANTING DEPTH NEEDS TO BE RAISED THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMED WITH MACHINE TO PREVENT SINKING OF THE ROOT BALL.
- ALL WIRE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.
- THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GIRDLING ROOTS ARE PRESENT.
- THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHING DEPTH.
- ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.
- ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS - NO EXCEPTIONS.
- AN EARTH BERM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.
- 2"-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.
- AT THE TIME OF PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS, BACKFILL MATERIAL AND MULCH LAYER.
- STAKES AND GUYS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUY MATERIAL SHALL BE NON-DAMAGING TO THE TREE.
- ALL PLANTING STOCK SHALL BE SPECIMEN QUALITY, FREE OF DEFECTS, AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH, NH RESERVES THE RIGHT TO REFUSE/REJECT ANY PLANT MATERIAL OR PLANTING ACTION THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPORTATION AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.

SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8
LANDSCAPE DETAILS
PROPOSED PARKING EXPANSION
1900 LAFAYETTE ROAD, PORTSMOUTH, NH
OWNED BY & PREPARED FOR
HAMMES REALTY SERVICES, LLC

1"=40' (11'X17')
SCALE: 1"=20' (22'X34') JANUARY 24, 2024

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45407.17	DR	JJK	FB	-	C-06
	CK	CR	CADFILE	45407-17_LANDSCAPE-PLAN	

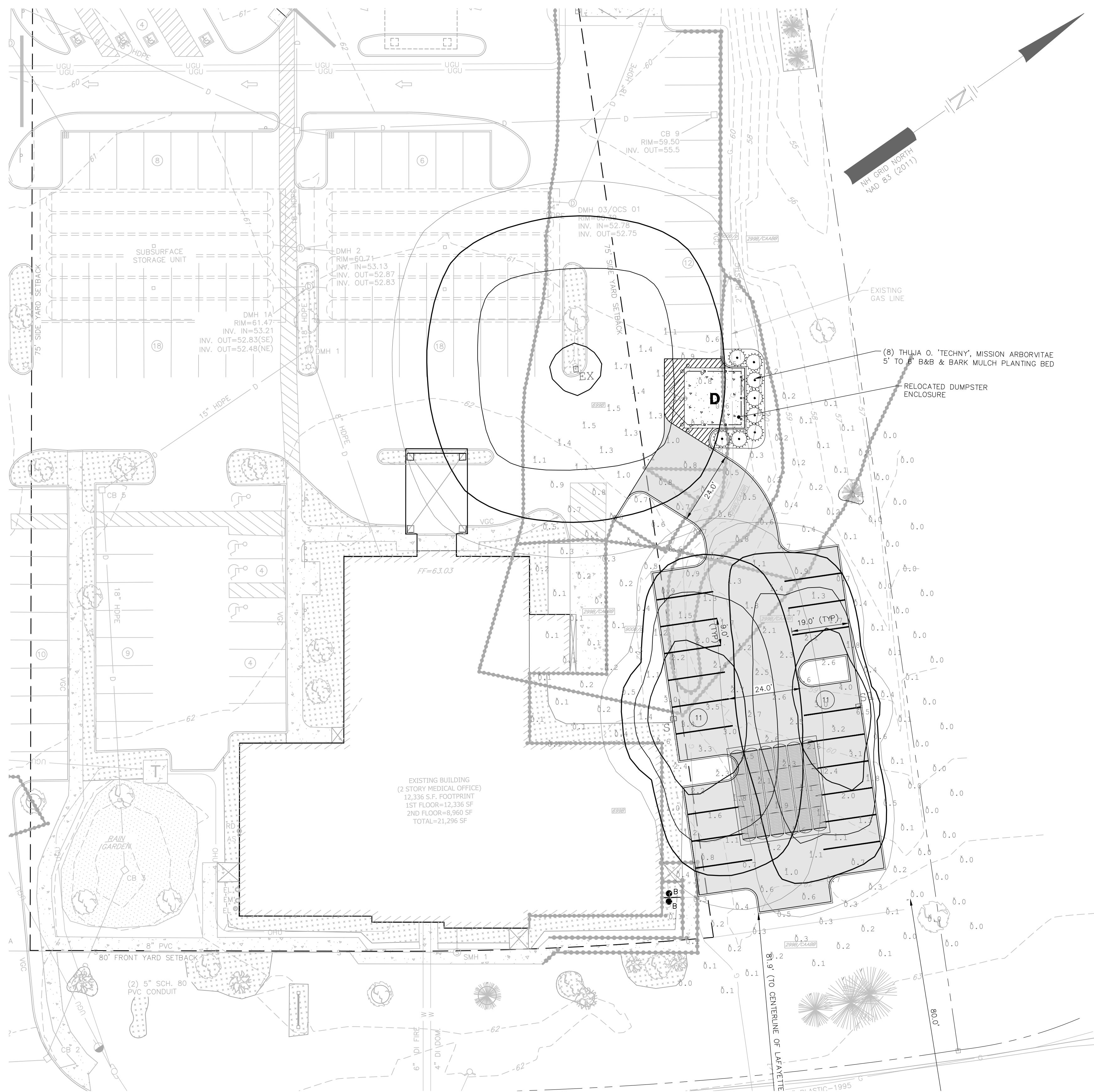
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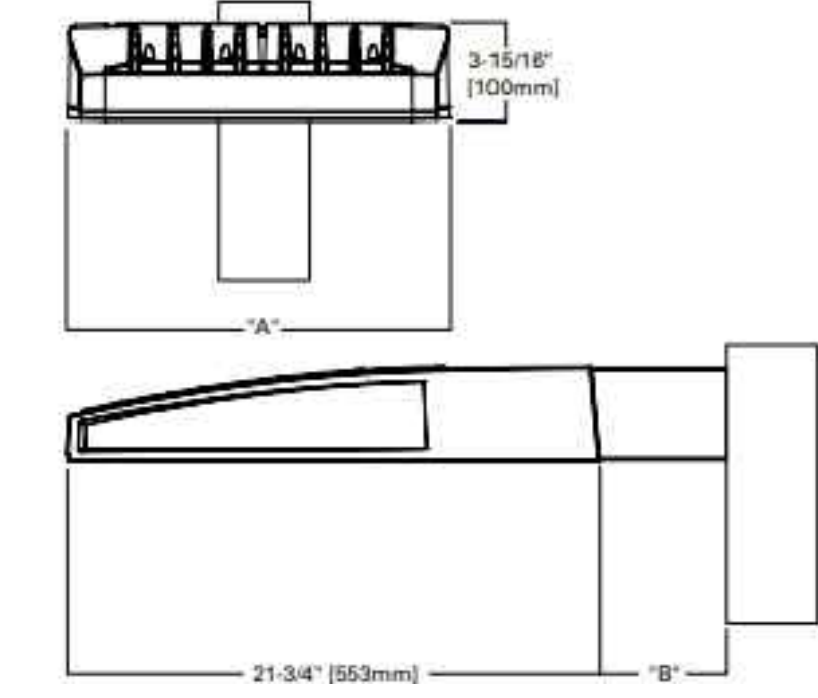
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LUMINAIRE SCHEDULE				
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION
[Symbol]	1	S	SINGLE	GLEON-SA2A-740-U-T3 / 20' AFG
[Symbol]	1	S1	SINGLE	GLEON-SA2A-740-U-SL3-HSS / 20' AFG
[Symbol]	1	EX	SINGLE	EXISTING FIXTURE ON 20' POLE

PARKING LOT
 ILLUMINANCE (FC)
 AVERAGE = 2.02
 MAXIMUM = 6.5
 MINIMUM = 0.6
 AVG/MIN RATIO = 3.37
 MAX/MIN RATIO = 10.83

Dimensional Details



Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Extended Arm Length ¹	"B" QM Arm Length	"B" OML Length	"B" OMEA Length
1-4	15-1/2"	7'	10'	10-5/8"	-	16-9/16"
5-6	21-5/8"	7'	10'	10-5/8"	-	16-9/16"
7-8	27-5/8"	7'	13'	10-5/8"	10-5/16"	-
9-10	33-3/4"	7'	16'	-	10-5/16"	-

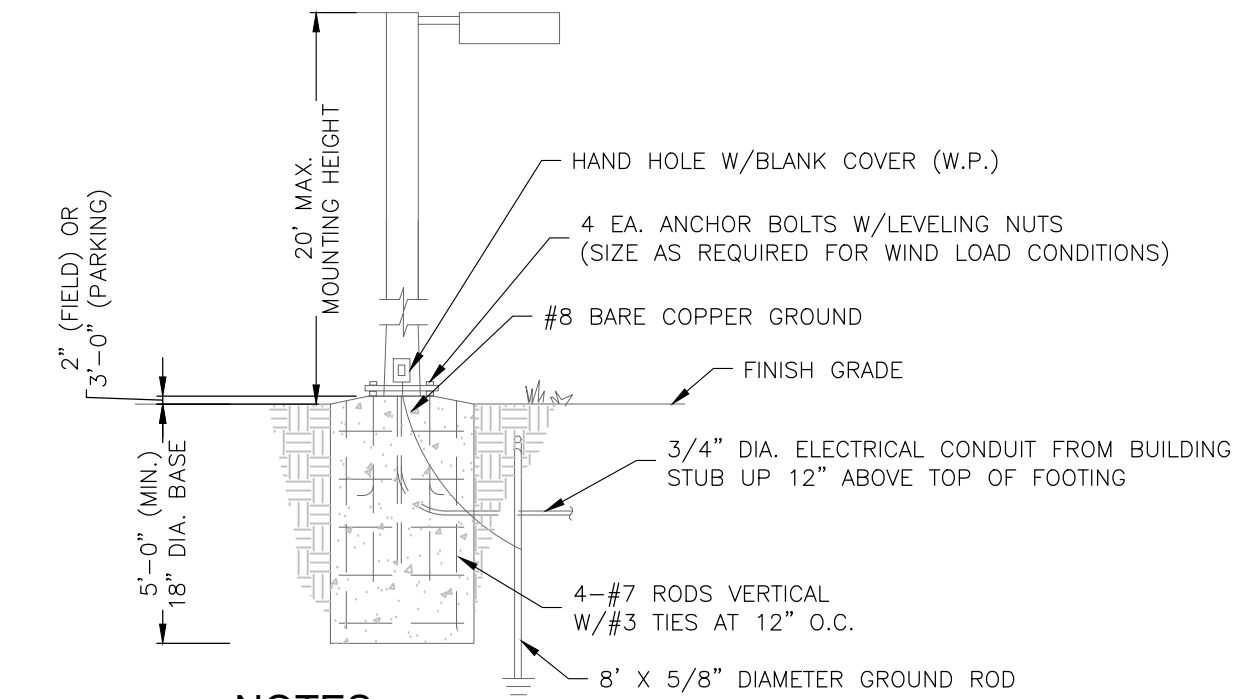
NOTES:
For arm selection requirements and additional line art, see Mounting Details section.

NOTES

- ALL FIXTURES SHALL BE LED FIXTURES MEETING FULL CUT-OFF, DARK-SKY COMPLIANCE.
- ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE A MINIMUM 1 1/2" DIAMETER SCHEDULE 40 PVC. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE MINIMUM COVER OF 24 INCHES.
- ALL UNDERGROUND CONDUITS WILL HAVE NYLON PULL ROPE.
- ALL WORK SHALL MEET REQUIREMENTS OF NATIONAL ELECTRIC CODE.
- ALL POLE MOUNTED LIGHT FIXTURES SHALL BE RECESSED TO SHIELD THE ILLUMINATION SOURCE FROM THE VIEW OF ADJACENT PROPERTIES.
- LUMINAIRES AND FIXTURE MOUNTING HEIGHT SHALL BE SET AT A MAXIMUM OF A 20 FEET HIGH (SEE LUMINAIRE SCHEDULE).
- PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
- POLES SHALL BE FACTORY CUT AS REQUIRED TO PROVIDE REQUIRED FIXTURE MOUNTING HEIGHT.
- ALL LIGHT BASES TO BE SQUARE.
- LIGHTING DESIGN, CALCULATIONS AND PHOTOMETRICS PROVIDED BY CHARRON, INC.



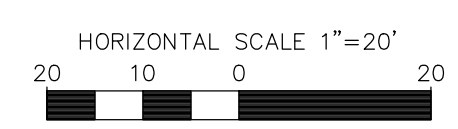
**McGRAW-EDISON
GLEON GALLEON
POLE FIXTURE**



NOTES

- BASE SHOWN IS PROTOTYPICAL. VERIFY THAT LIGHT POLE BASE INSTALLED MEETS LIGHT POLE MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH ELECTRICAL CONTRACTOR.
- WHERE LIGHT POLE BASES ARE PLACED IN AREAS NOT PROTECTED BY CURBING, A 3'-0" REVEAL OF BASE IS REQUIRED WITH REVEAL TO BE PAINTED SAFETY YELLOW. WHERE LIGHT POLE BASES ARE PLACED IN FIELD APPLICATIONS OR PROTECTED BY CURBING, THE BASE IS TO BE PLACED 2" ABOVE FINISHED GRADE.
- BASE CONCRETE TO BE 4,000 PSI, SMOOTH FINISH.
- POLES SHALL BE FACTORY CUT TO PROVIDE REQUIRED MOUNTING HEIGHTS.
- POLES AND LIGHT FIXTURES TO BE BRONZE.

LIGHT POLE BASE
NOT TO SCALE



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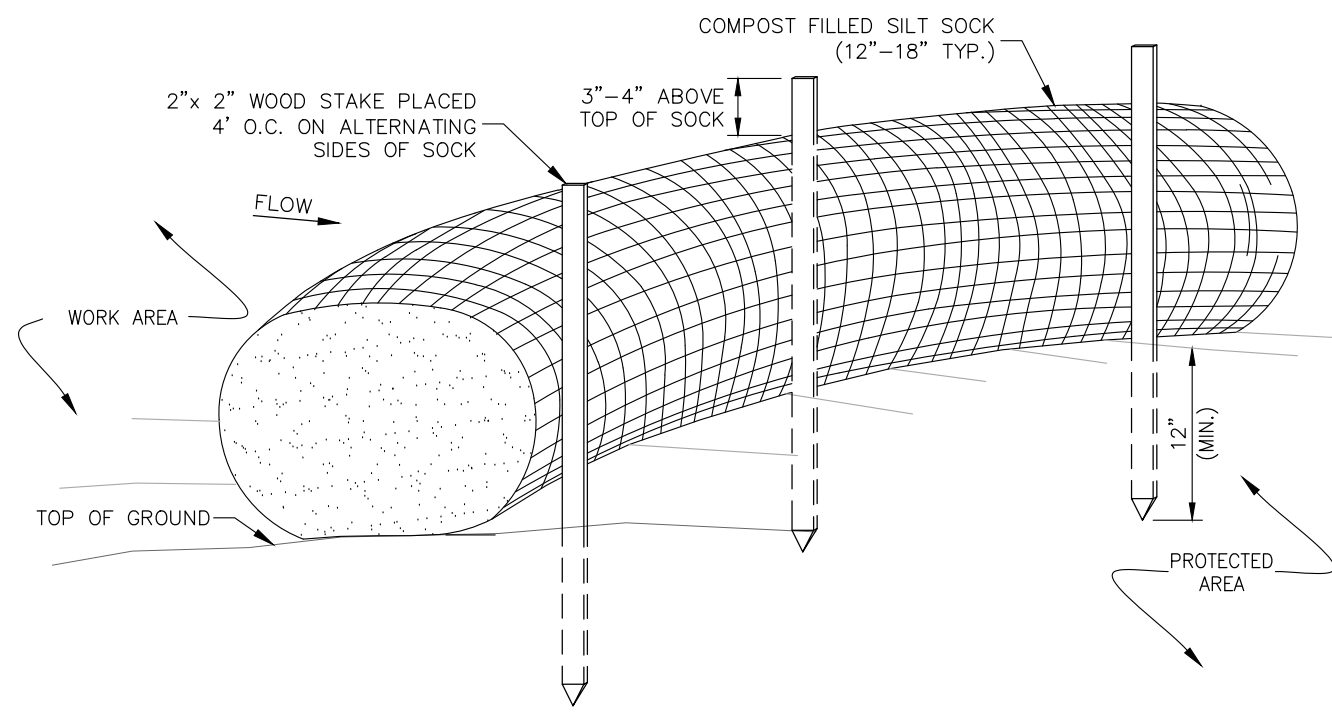
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1900 LAFAYETTE ROAD, PORTSMOUTH, NH
 OWNED BY & PREPARED FOR
HAMMES REALTY SERVICES, LLC

1"=40' (11"X17')
SCALE: 1"=20' (22"X34') **JANUARY 24, 2024**

Seacoast Division		Civil Engineers	170 Commerce Way, Suite 102
TFM		Structural Engineers	Portsmouth, NH 03801
		Traffic Engineers	Phone (603) 431-2222
		Land Surveyors	Fax (603) 431-0910
		Landscape Architects	www.tfmoran.com
		Scientists	

45407.17	DR JKC	FB	-	C-07
	CK CRR	CADFILE	45407-17_LIGHTING	

REV	DATE	DESCRIPTION	DR	CK
2	9/9/2024	NO REVISIONS THIS SHEET	JJM	
1	7/31/2024	No Revisions This Sheet		

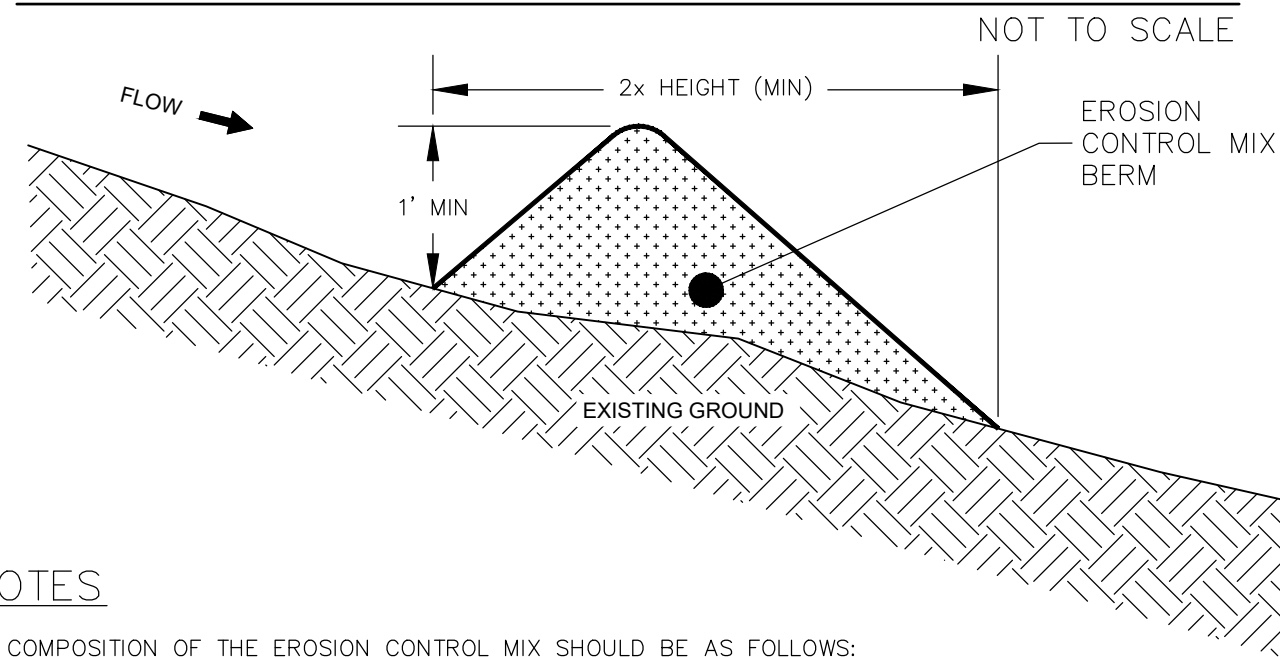


NOTES

1. SILT SOCK SHALL BE FILTREXXSM SILT SOCKSM OR APPROVED EQUIVALENT.
2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.

SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

SILT SOCK

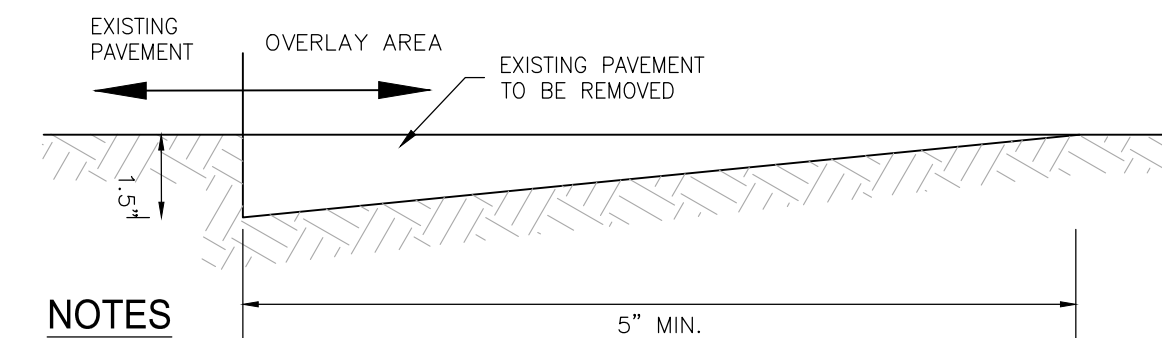


NOTES

1. COMPOSITION OF THE EROSION CONTROL MIX SHOULD BE AS FOLLOWS:
 - EROSION CONTROL MIX SHOULD CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH. THE MIX COMPOSITION SHOULD MEET THE FOLLOWING STANDARDS:
 - THE ORGANIC MATTER CONTENT SHOULD BE BETWEEN 25% AND 65%, DRY WEIGHT BASIS.
 - PARTICLE SIZE BY WEIGHT SHOULD BE 100% PASSING A 3" SCREEN, 90% TO 100% PASSING A 1" SCREEN, 70% TO 100% PASSING A 3/4" SCREEN, AND A MAXIMUM OF 30% TO 75% PASSING A 1/4" SCREEN.
 - THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
 - THE MIX SHOULD NOT CONTAIN SILTS, CLAYS OR FINE SANDS.
 - SOLUBLE SALTS CONTENT SHOULD BE < 4.0 mmhos/cm.
 - THE pH SHOULD BE BETWEEN 5.0 AND 8.0.
2. THE BARRIER MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BARRIER THROUGH THE GRASS BLADES OR PLANT STEMS.
3. THE BARRIER MUST BE A MINIMUM OF 12" HIGH, AS MEASURED ON THE UPHILL SIDE OF THE BARRIER, AND A MINIMUM OF TWO FEET WIDE.

EROSION CONTROL MIX BERM

NOT TO SCALE

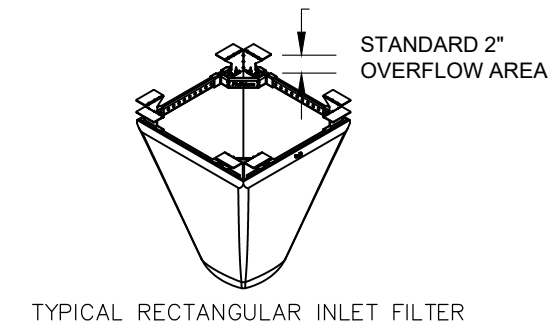


NOTES

1. USE KEY JOINT AT ALL LOCATIONS WHERE OVERLAY MEETS EXISTING PAVEMENT OR CONCRETE.
2. NEW PAVEMENT SHALL BE FLUSH WITH EXISTING PAVEMENT AND SHALL MEET OVERLAY GRADE WHERE IT ABUTS EXISTING PAVEMENT TO BE OVERLAPPED.

KEY JOINT

NOT TO SCALE



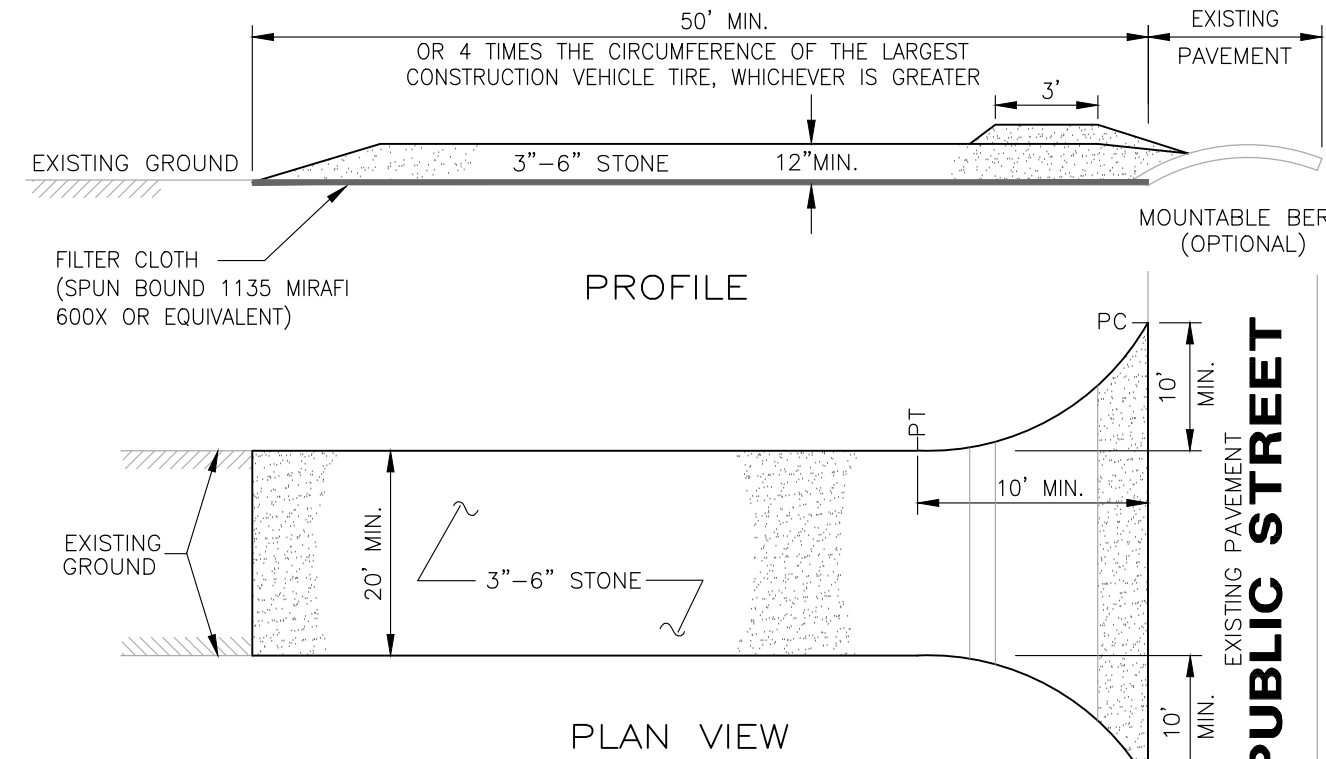
NOTES:

1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
2. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT > 1/4".
3. EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
4. REMOVED CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
5. REPLACE BAG IF TORN OR PUNCTURED TO > 1/4" DIAMETER ON LOWER HALF OF BAG.

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8655 INFO@INLETFILTERS.COM

INLET PROTECTION

NOT TO SCALE

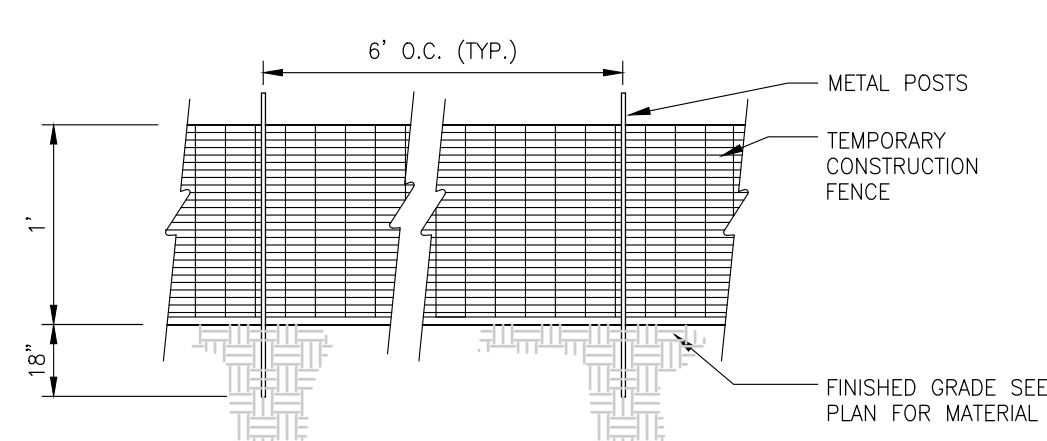


NOTES

1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

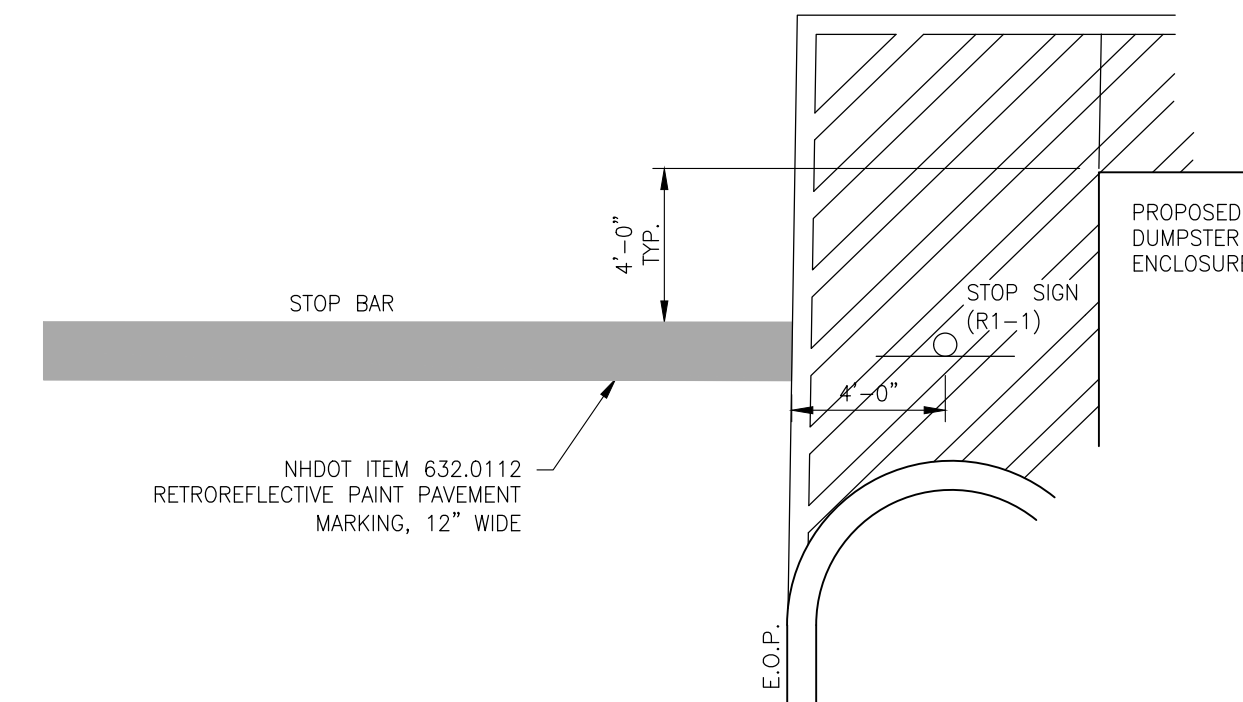
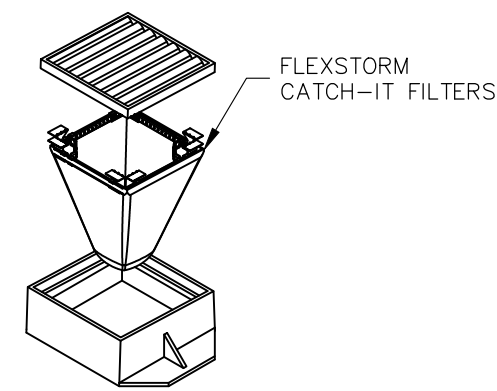


NOTE:

1. CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS MANUFACTURED BY EXXON CHEMICAL COMPANY ATLANTA, GA; "KONTROL SAFETY FENCE" AS MANUFACTURED BY MIRAFIL, CHARLOTTE, N.C. OR APPROVED EQUAL.

TEMPORARY CONSTRUCTION FENCE

NOT TO SCALE

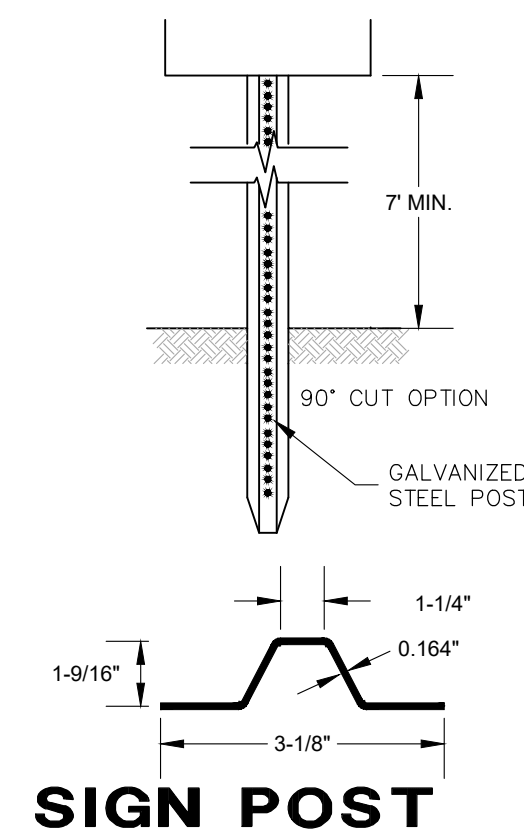


STOP BAR & STOP SIGN

NOT TO SCALE

NOTE

1. STOP SIGN TO BE 30" WIDE X 30" HIGH.
2. REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS.

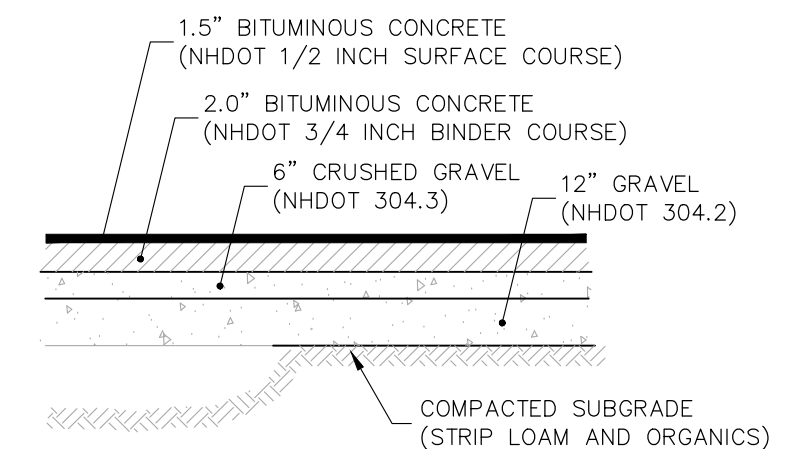


SIGN POST

NOT TO SCALE

LENGTH: AS REQUIRED
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN)
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM GREEN BAKED-ON OR AIR-DRYED PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

- NOTE:**
1. WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A MINIMUM OF 2".
 2. ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.
 3. SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHDOT STANDARD SPECIFICATIONS.

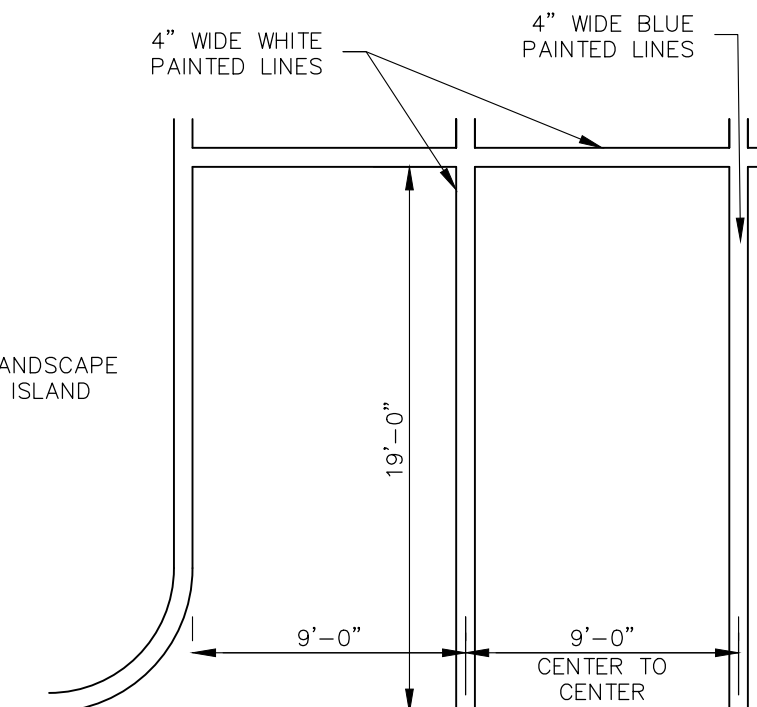


PAVEMENT SECTION

NOT TO SCALE

NOTES

1. SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
2. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
3. REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
4. BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
5. BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041 OR AASHTO T209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
6. PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
7. PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY.
8. THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
9. ALL PARKING SPACES SHALL BE STANDARD DUTY. ALL OTHER LOCATIONS SHALL BE HEAVY DUTY.

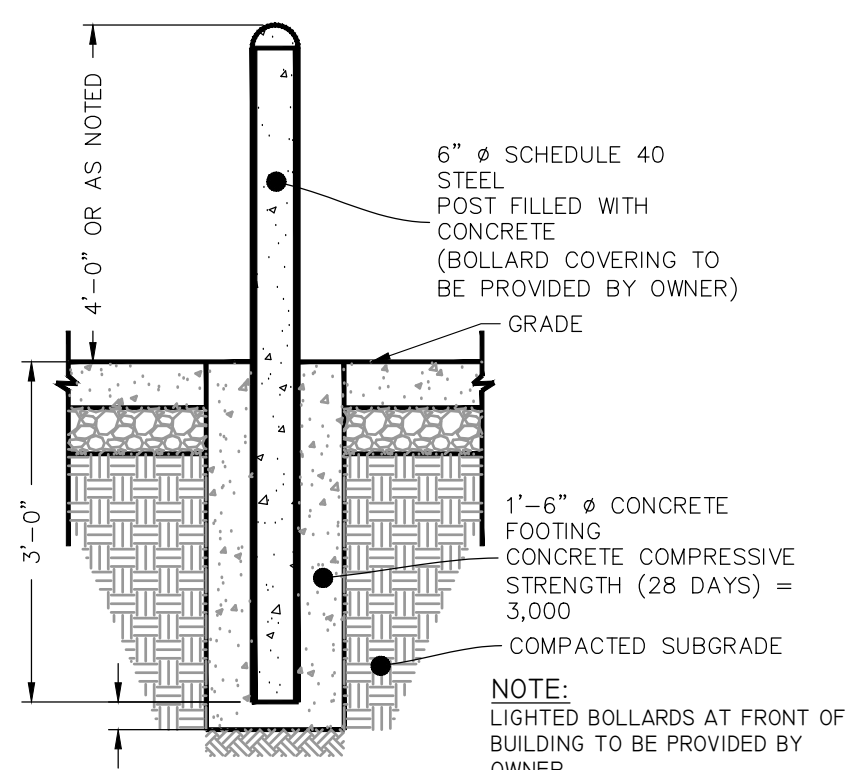


NOTE

1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.
3. ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3'-0" OC BORDERED BY 4" WIDE LINES.
4. 2% MAXIMUM CROSS SLOPE ALLOWED IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.

TYPICAL PARKING LAYOUT

NOT TO SCALE



BOLLARD DETAIL

NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8
DETAIL SHEET 1
PROPOSED PARKING EXPANSION
1900 LAFAYETTE ROAD, PORTSMOUTH, NH
OWNED BY & PREPARED FOR
HAMMES REALTY SERVICES, LLC

SCALE: NTS

JANUARY 24, 2024

Seacoast Division



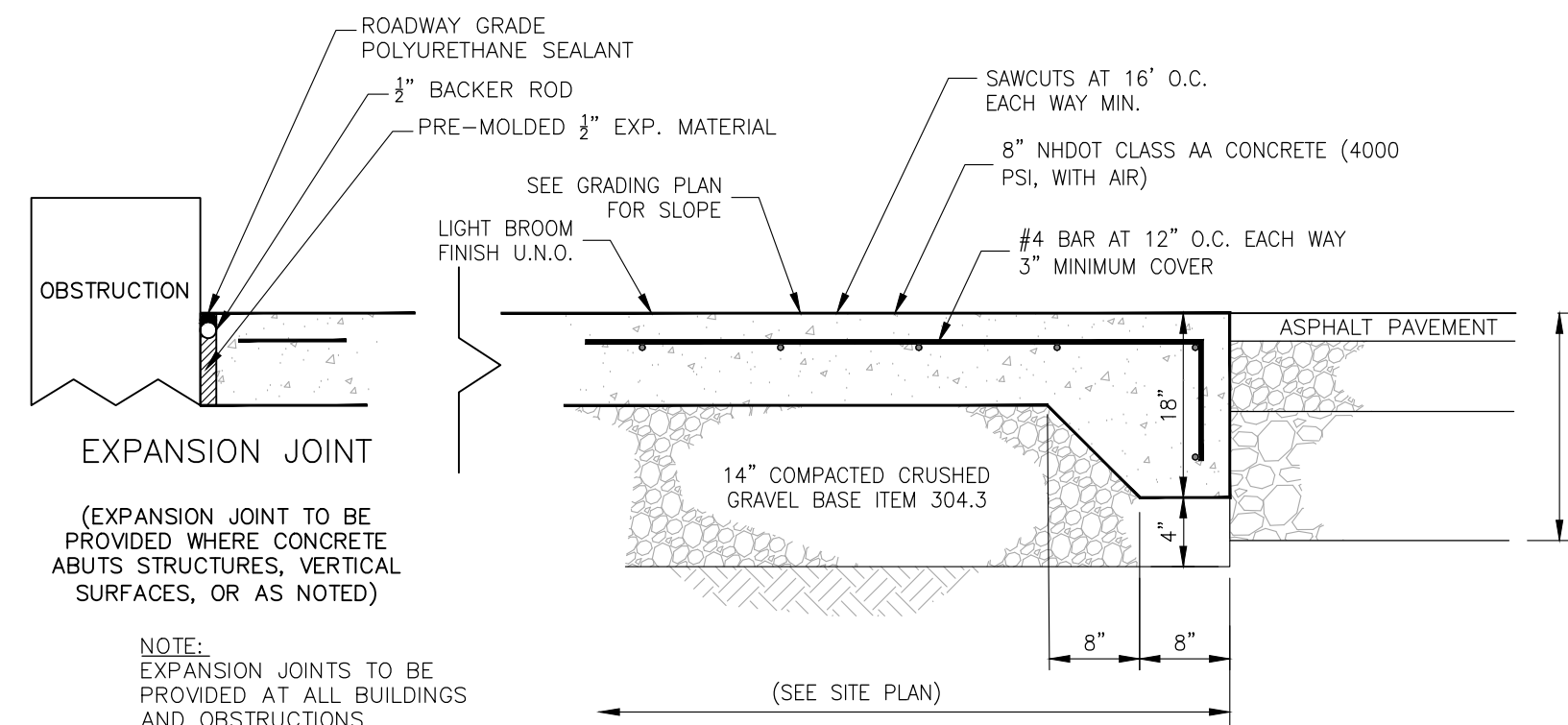
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
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1	7/31/2024	REVISED TITLE BLOCK	BCH	JJM

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	CK	CKR	CADFILE	45407-17-DETAILS

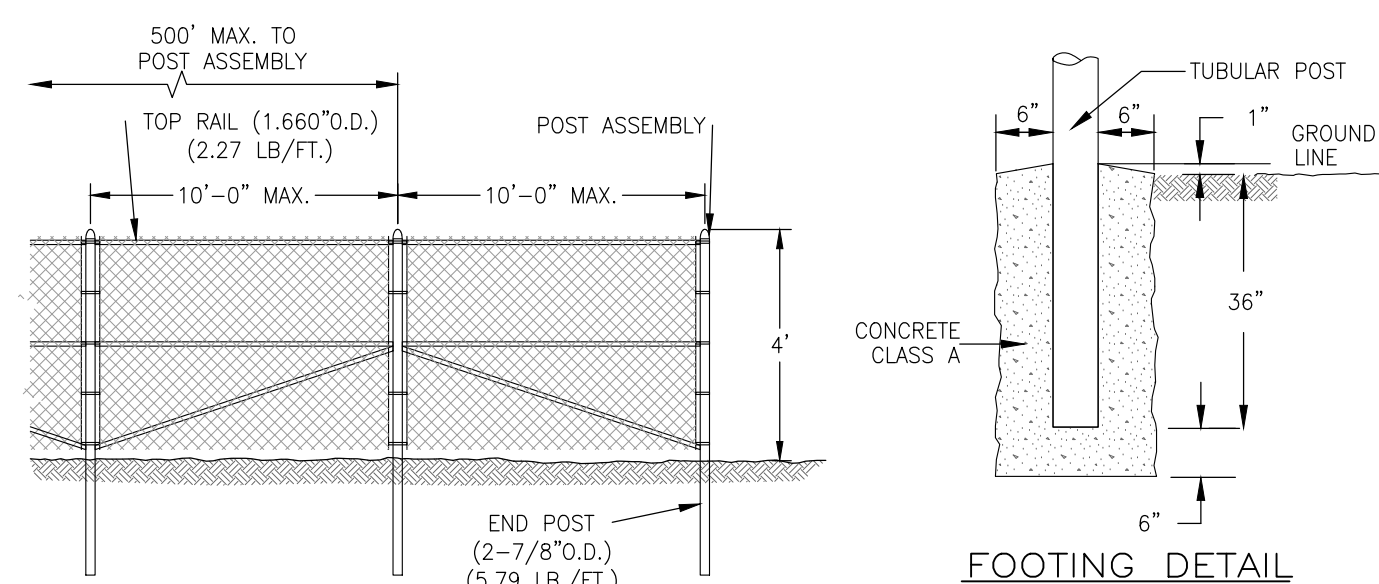
C-09



HEAVY DUTY CONCRETE PAD
NOT TO SCALE

NOTES

1. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT - USE TACK COAT
2. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS



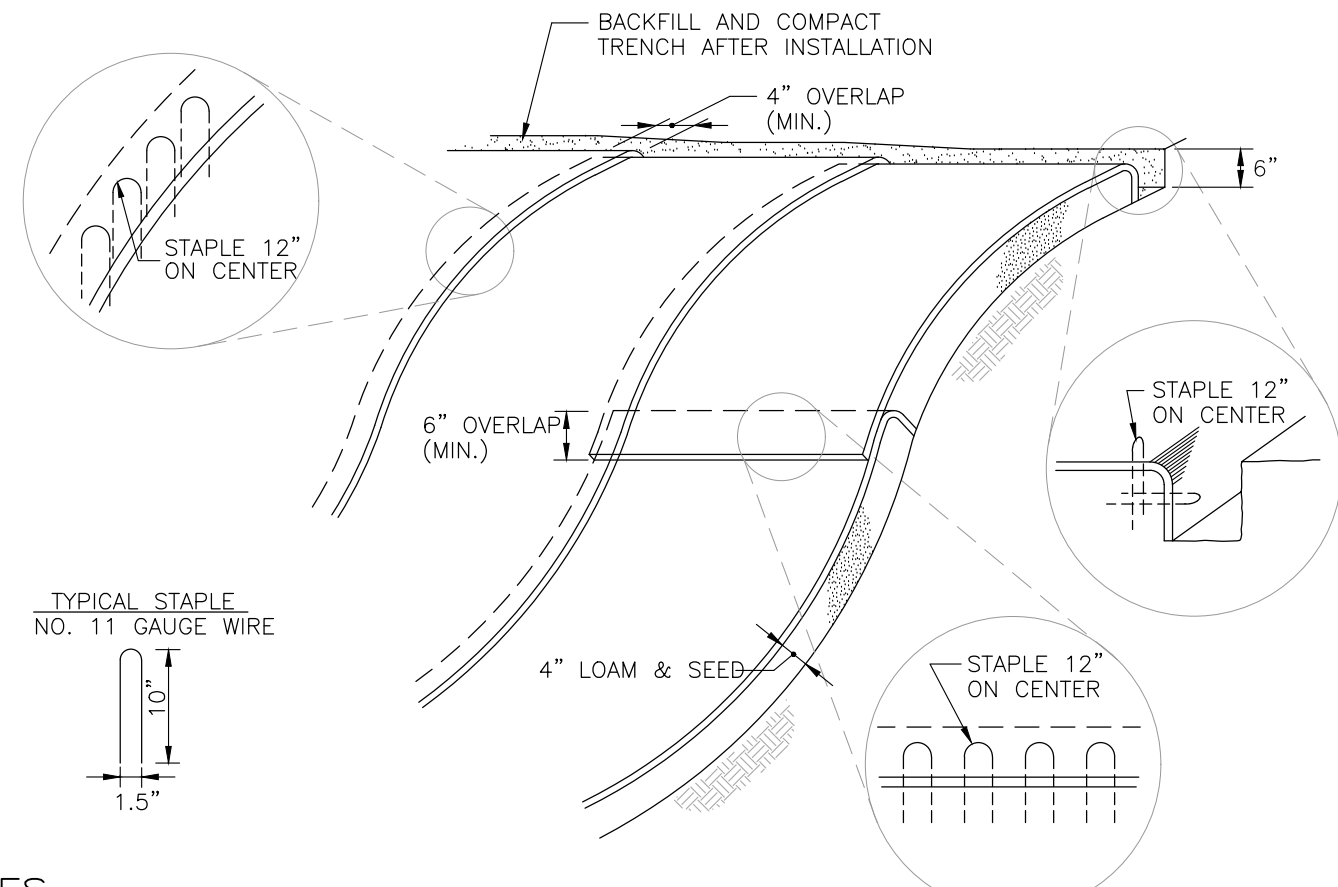
ELEVATION

FOOTING DETAIL

ALL END POSTS SHALL HAVE ONE BRACE
ALL CORNER AND INTERMEDIATE BRACE OR
PULL POSTS SHALL HAVE TWO BRACES, WITH
A MAXIMUM SPACING OF BETWEEN POST
ASSEMBLIES OF 500 FEET.

CHAIN LINK FENCE

NOT TO SCALE



NOTES

1. INSTALL AT DISTURBED LOCATIONS WITH 2:1 SLOPES OR GREATER AND AS INDICATED PER PLANS.
2. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
3. ROLL THE BLANKET DOWN THE SLOPE OR SWALE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
6. BLANKET SHALL BE NORTH AMERICAN GREEN C125BN, EAST COAST EROSION CONTROL ECC-2B, AMERICAN EXCELSIOR COMPANY CURLEX III FIBRENET, ROLANKA GEONATURAL EROSION & SEDIMENT CONTROL MATTE JUTEMAT OR BIOD-DCF 30, OR APPROVED EQUAL.
7. BLANKET SHALL BE PLACED WITHIN 24-HRS AFTER SOWING SEE IN THE AREA BEING COVERED

EROSION CONTROL BLANKET

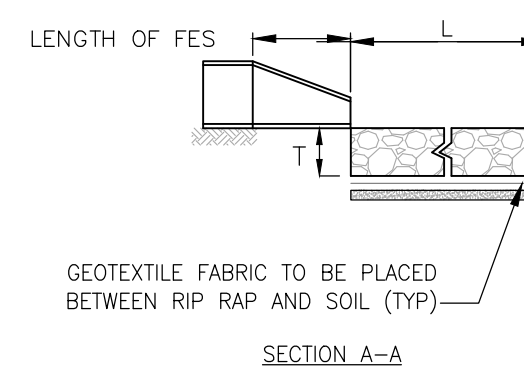
NOT TO SCALE

MAINTENANCE:

THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

CONSTRUCTION SPECIFICATIONS:

1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12".
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. ADD ANIMAL SCREEN TO FLARED END SECTION OUTLET.



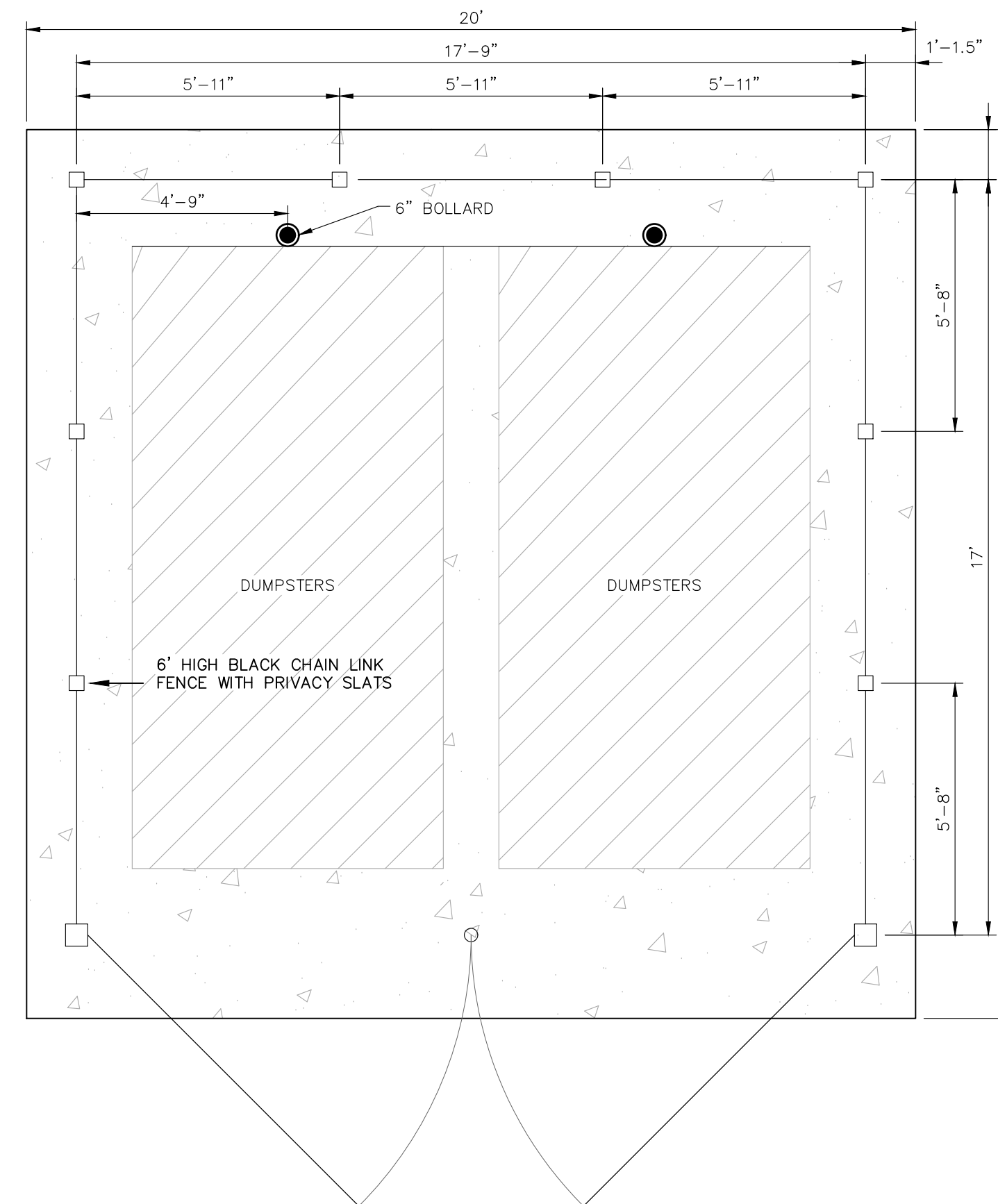
RIP RAP DIMENSIONS

LOCATION	FES-21
d50 STONE SIZE:	6"
LENGTH OF APRON (L):	9.0'
WIDTH OF APRON (W):	6.5'
DEPTH OF RIP RAP (T):	9"

% OF WEIGHT SMALLER THAN THE GIVEN SIZE OF STONE (INCHES)	9.00 TO 12.00	7.50 TO 10.00	6.00 TO 9.00	1.80 TO 3.00
100				
85				
50				
15				

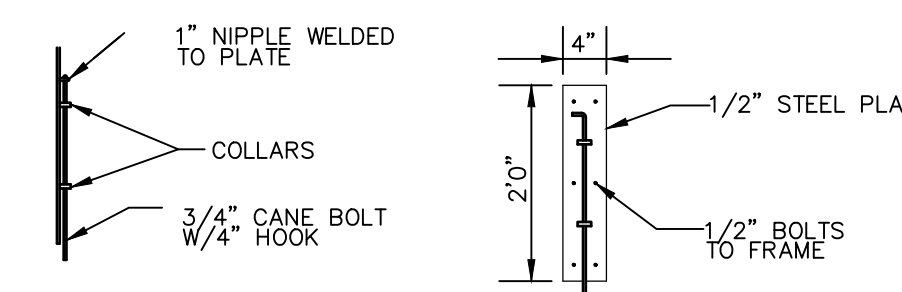
RIP RAP AND FLARED END SECTION WITH OUTLET PROTECTION

NOT TO SCALE



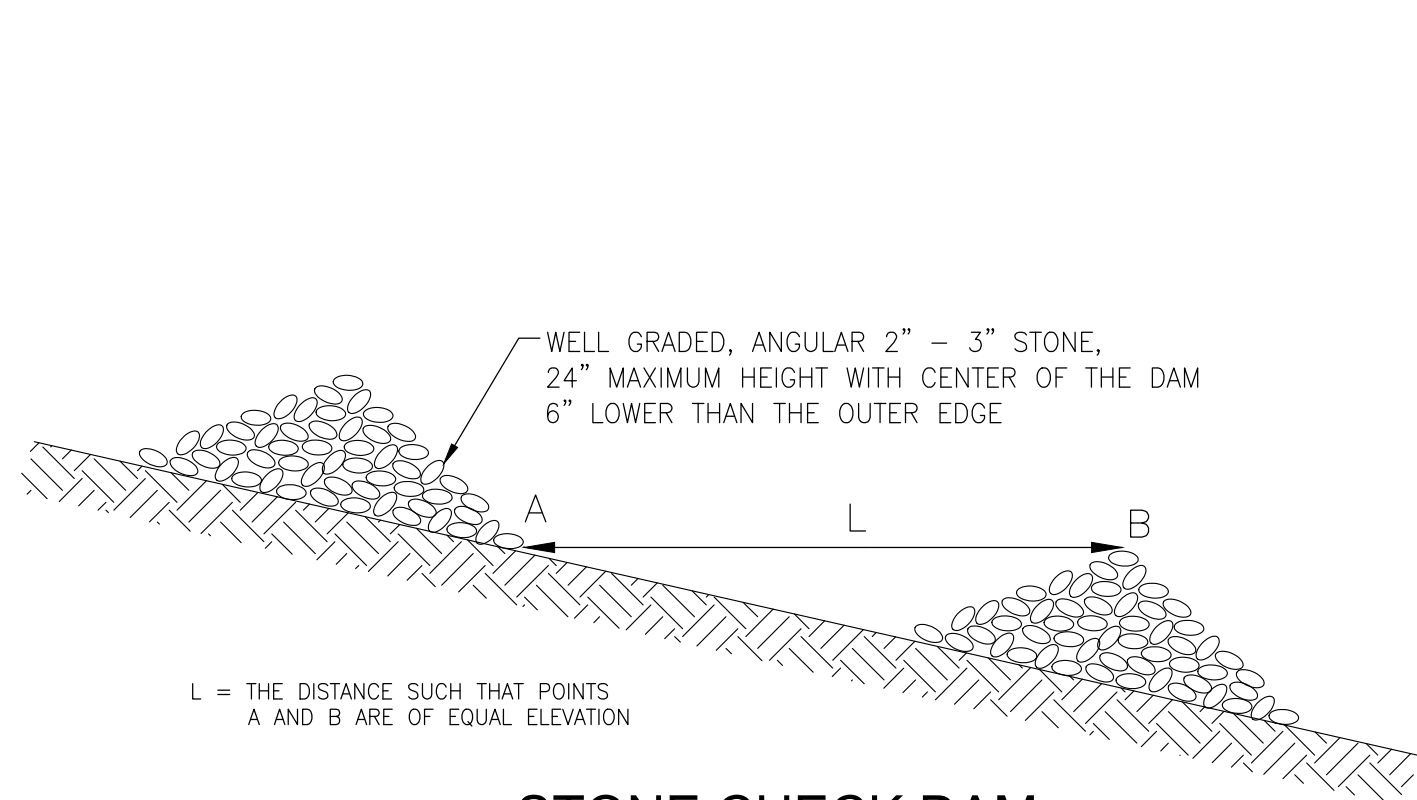
TRASH ENCLOSURE WITH RECYCLING PAN

NOT TO SCALE



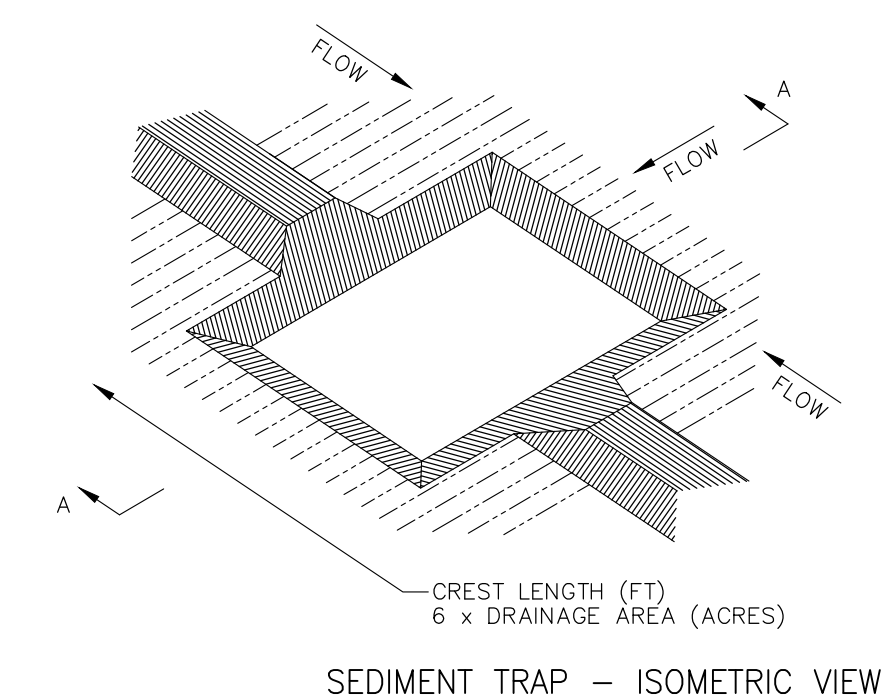
TRASH ENCLOSURE GATE STOP

NOT TO SCALE

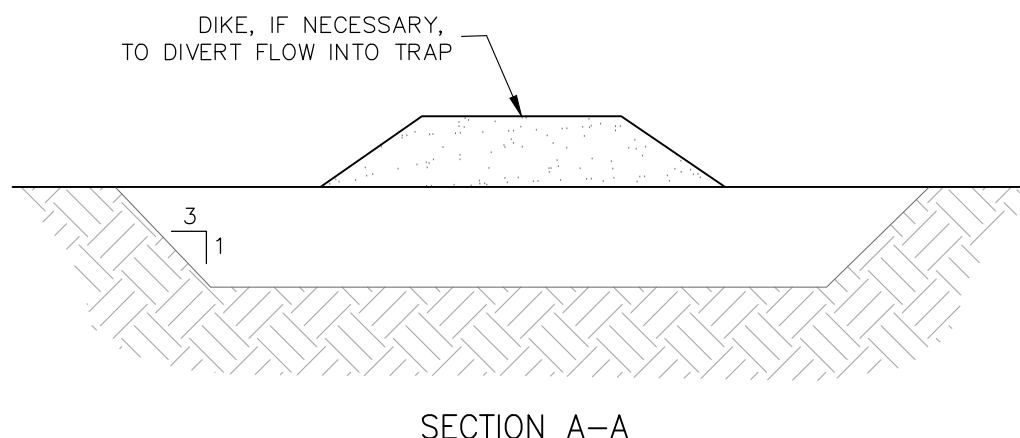


STONE CHECK DAM

NOT TO SCALE



SEDIMENT TRAP - ISOMETRIC VIEW



SECTION A-A

NOTES

1. SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.

SEDIMENT TRAP

NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8

DETAIL SHEET 2

PROPOSED PARKING EXPANSION

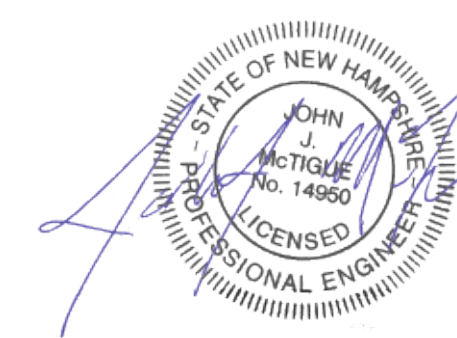
1900 LAFAYETTE ROAD, PORTSMOUTH, NH

OWNED BY & PREPARED FOR

HAMMES REALTY SERVICES, LLC

SCALE: NTS

JANUARY 24, 2024



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Seacoast Division

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Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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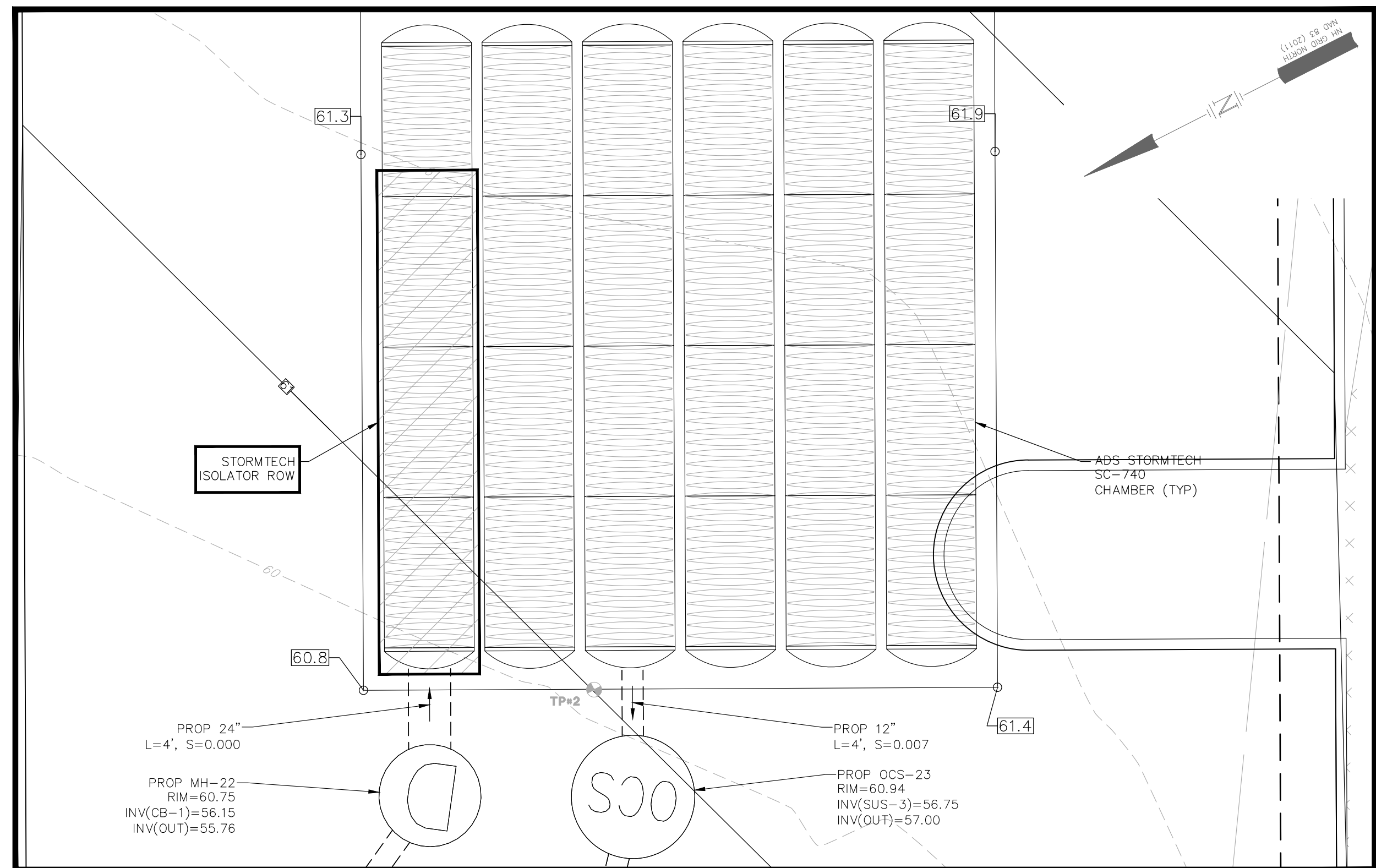
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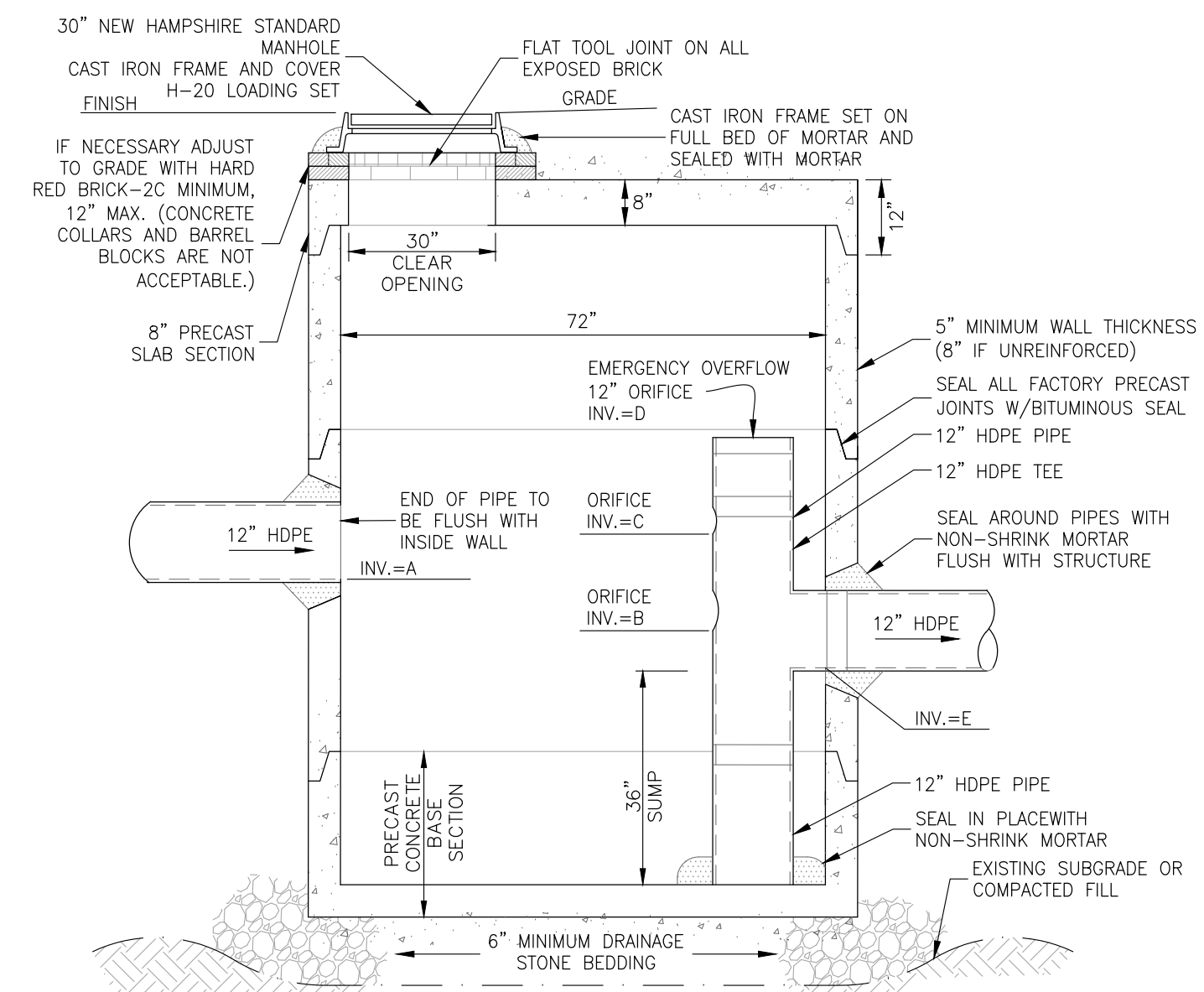
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SUBSURFACE STORAGE AND INFILTRATION SYSTEM #2

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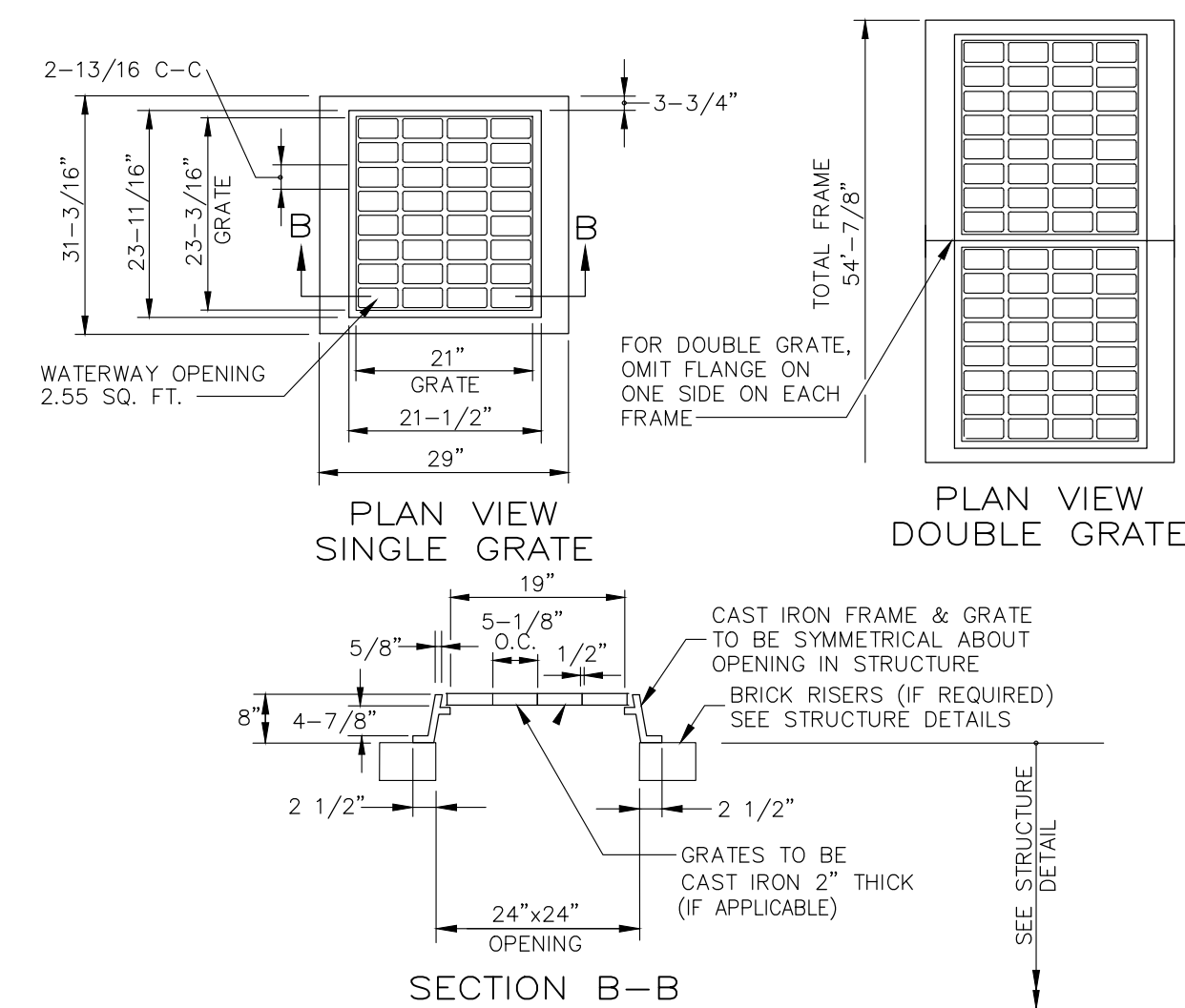
- NOTE**
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
 2. ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

OUTLET STRUCTURE

NOT TO SCALE

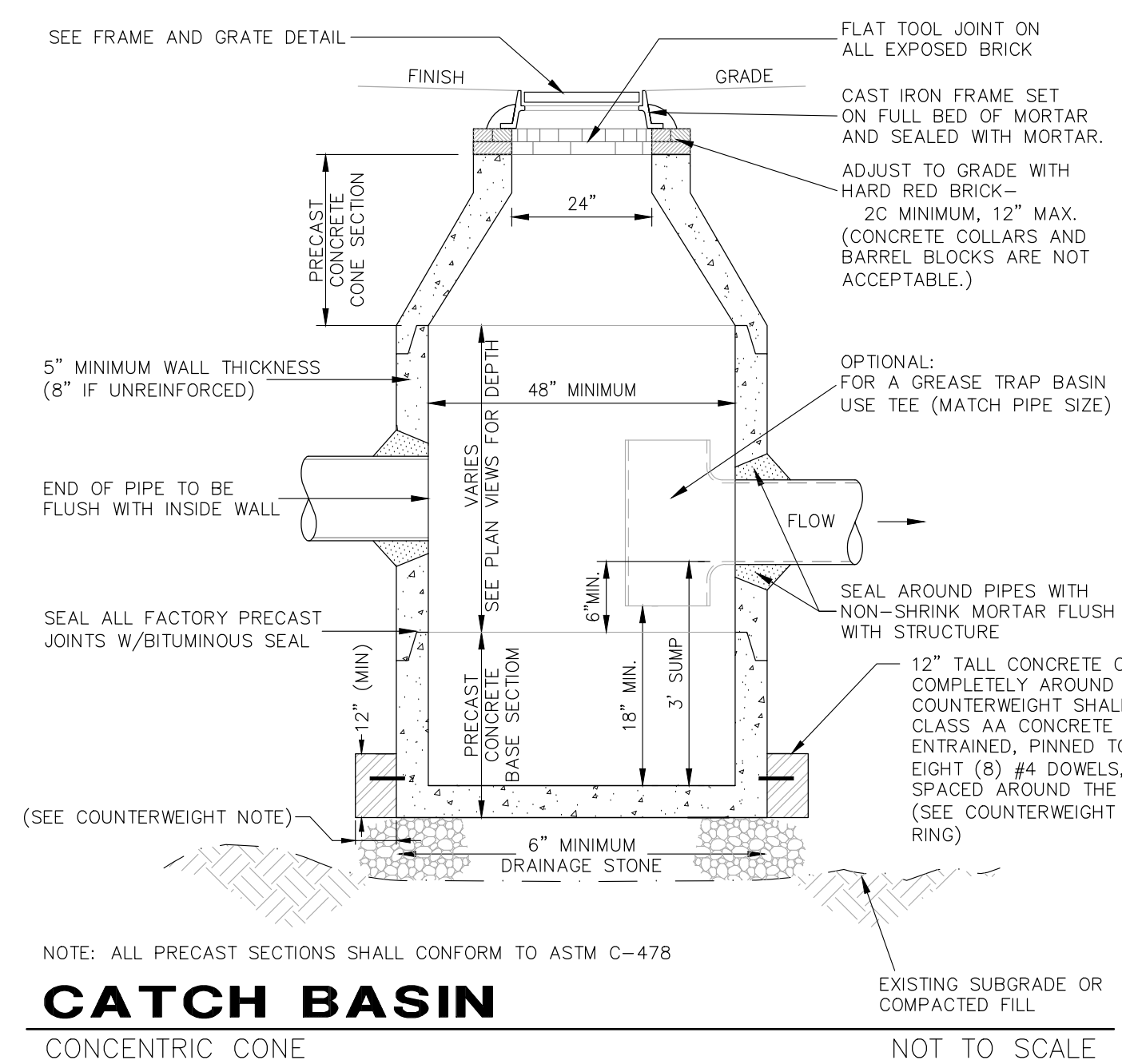
OUTLET CONTROL STRUCTURE TABLE

INV.	OCS-23
RIM	60.94
A	56.75
B	NA
C	NA
D	59.15
E	57.00



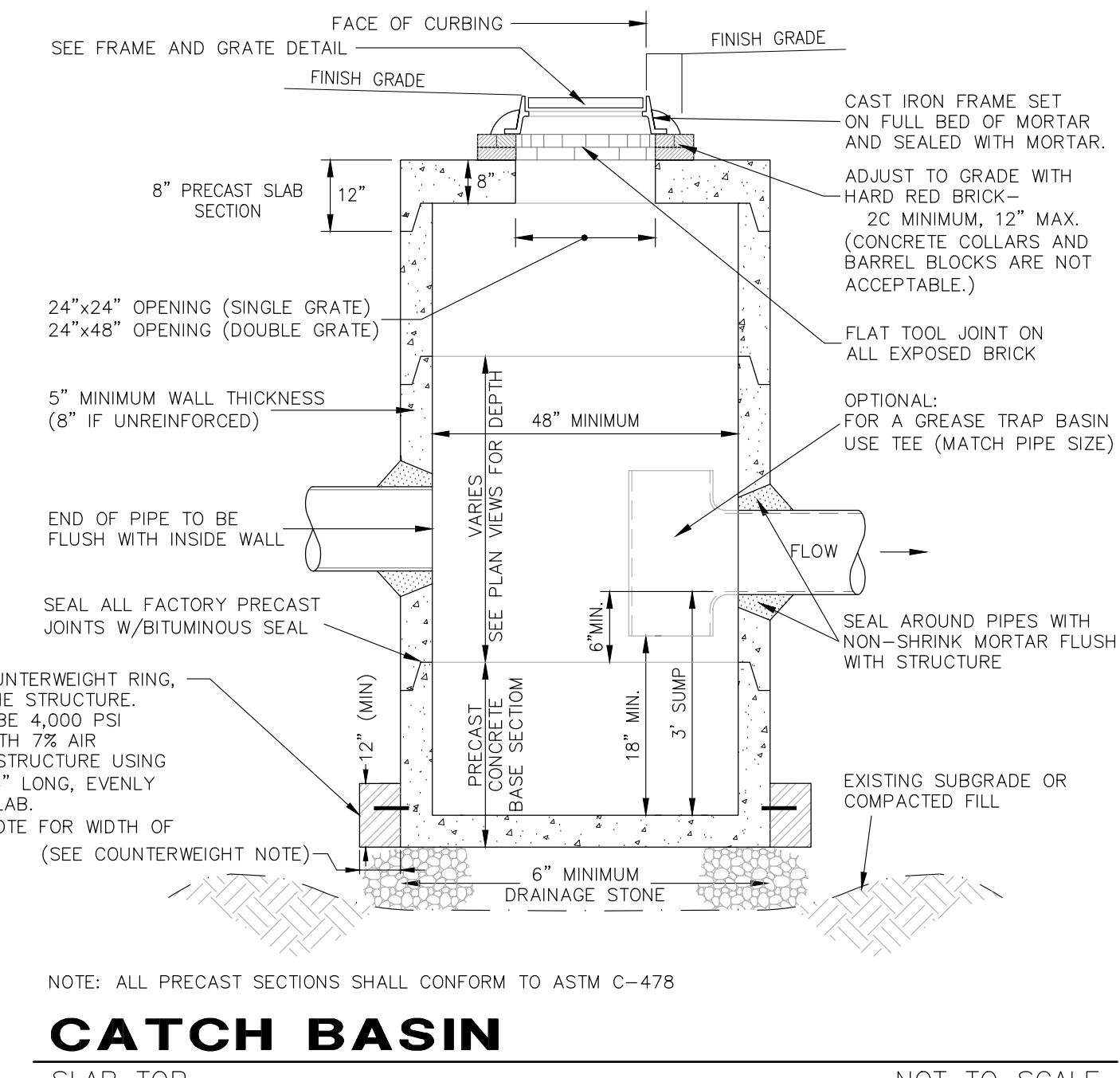
FRAME AND GRATE (NHDOT TYPE B ALT 1)

NOT TO SCALE



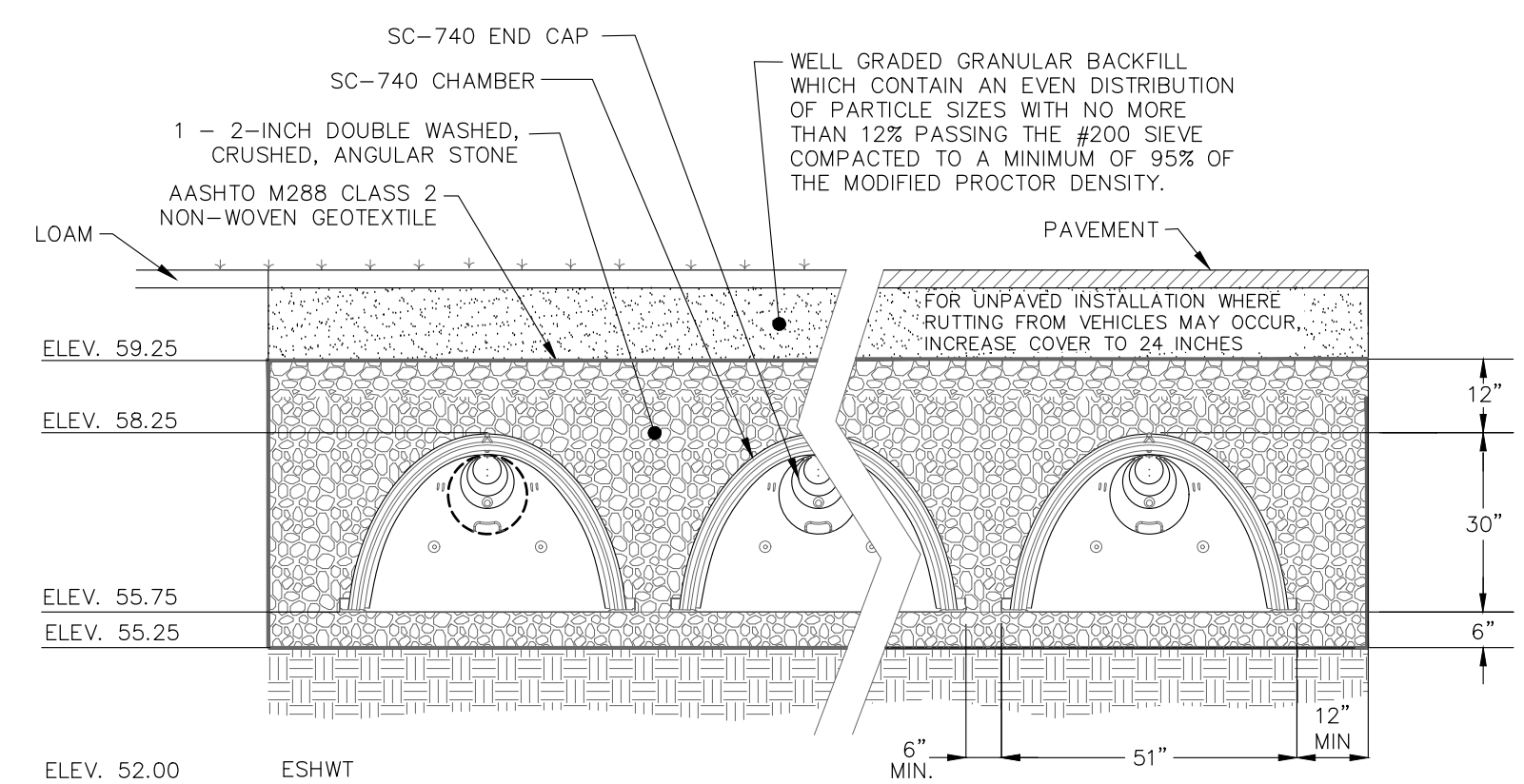
CATCH BASIN

CONCENTRIC CONE



CATCH BASIN

SLAB TOP



STORMTECH SC-740 CHAMBER SYSTEM CROSS SECTION DETAIL

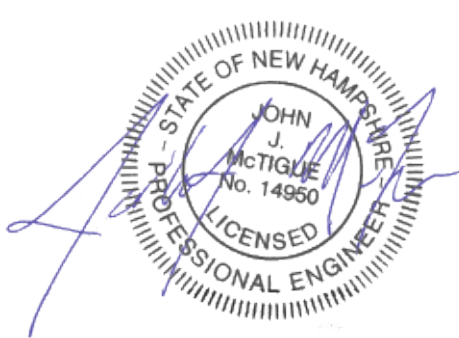
STORMTECH SYSTEM

SITE DEVELOPMENT PLANS

TAX MAP 267 LOT 8
DETAIL SHEET 4
PROPOSED PARKING EXPANSION
1900 LAFAYETTE ROAD, PORTSMOUTH, NH
 OWNED BY & PREPARED FOR
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SCALE: NTS

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