# SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE PORTSMOUTH, NEW HAMPSHIRE

#### **WORK SESSION**

# Conference Room A City Hall, Municipal Complex, 1 Junkins Avenue

2:00 PM March 12, 2024

#### **AGENDA**

2:00 PM 15 Middle St Site Plan Review

15 Middle Street Real Estate Holding Co. LLC, Owner

Ross Engineering LLC, Engineer

(LUTW-24-3)

2:30 PM 100 Durgin Lane Site Plan Review/Lot I

100 Durgin Lane LLC, Owner

Tighe & Bond, Engineer

(LUTW-24-4)

Site Plan Review/Lot Line Revision Site CUP/Highway Noise Overlay CUP

# Ross Engineering, LLC Civil / Structural Engineering

909 Islington Street Portsmouth, NH 03801 603-433-7560 alexross@comcast.net

#### 15 Middle Street Project Description



We are requesting a Technical Advisory Work Session for March 15, 2024. Site Review is required for the proposed third floor apartments at this address.

Attached to the Site Review application is the following:

- Letter from Attorney Derek Durbin outlining project and City of Portsmouth regulations that apply, and project background, with Exhibits.
- Floor Plans by JSN Associates, LLC dated December 1, 2023.
- Site Plans by Ross Engineering, LLC dated March 5, 2024.
- Agreement with City of Portsmouth, dated November 6, 2020.

Thank you. Sincerely,



March 4, 2024

City of Portsmouth Attn: Peter Stith, Planner Planning Board 1 Junkins Avenue Portsmouth, NH 03801

RE: 3 Proposed Apartment Units (Third Floor)
Owner: 15 Middle Street Real Estate Holding Co., LLC
Property: 15 Middle Street, Portsmouth, Tax Map 126, Lot 12

Dear Peter,

This office represents 15 Middle Street Real Estate Holding Co., LLC, owner of the property located at 15 Middle Street, Portsmouth (the "Property"). This letter is meant to accompany the site plan review application and plan set being submitted by Ross Engineering, Inc. for the Property. Given the unique circumstances surrounding the property, I thought it would be helpful to provide a background behind the current request for site plan approval.

A portion of the first floor and the entire second floor consist of Hotel Thaxter, a 15-room Inn. The other portion of the first floor that is not occupied by Hotel Thaxter is occupied by the Restaurant, Nichinan. The third floor of the building is not presently utilized but is partially finished. In 2020, the determination was made by the City Planning Department that the construction of the Inn and Restaurant on the first two floors of the building was exempt from site plan review under Section 1.2.2 of the Site Plan Review Regulations because there was no increase in building height or gross floor area proposed. In addition, because the Property is located within the Downtown Overlay District, the Inn and Restaurant uses were exempt from the parking standards set forth in Section 10.1115.21 of the Zoning Ordinance.

A building permit (BLDG-20-184) was issued for the build-out of the first two floors of the building, and to allow for the partial finishing of the third floor so that it could be used for accessory purposes to the Restaurant and Inn. **Exhibit A**. Subsequent occupancy permits were issued by the City thereafter. **Exhibits B and C**. It was acknowledged at the time that all relevant permits were applied for the initial construction that the intent was to finish off and construct three (3) separate dwelling units on the third floor of the building. However, due to the structure of the construction financing, and for other reasons, the owner was unable to construct the 3 apartments at the same time as the Inn and Restaurant. As a result, an agreement was entered into between the City and the Owner of the property acknowledging that the future construction of the apartments would trigger site plan review. Accordingly, the Owner is submitting the foregoing site plan review application to approve the 3-unit use of the third floor.

The building on the Property has already been fully renovated, inspected and approved by the City. The framing, electrical, insulation and related improvements to the third floor are complete. However, the third-floor apartments cannot be finished and used as living space until the City grants site plan approval and those units are inspected in compliance therewith, hence the request for approval. Per Section 10.1112.311 of the Zoning Ordinance, 3.9 parking spaces are required for the apartment units since they are all under 1,500 square feet. This is offset, however, by the 4 parking space credit that applies in the Downtown Overlay District under Section 10.1115.23 of the Ordinance. Therefore, no parking spaces are required for the proposed use of the third floor.

Respectfully submitted,

Derek R. Durbin, Esq.

derek@durbinlawoffices.com



#### **City of Portsmouth Building Permit**

**EXHIBIT A** 

**Permit Number:** 

November 19, 2021

BLDG-20-184

Date of Issue: November 19, 2020

Const. Cost:

**Expires:** 

\$790000

Inspection Department 1 Junkins Avenue Portsmouth, NH 03801 603-610-7243

Owner: 15 Middle St. Real Estate Holding Co., LLC.

Brendan McNamara Applicant:

Contractor: Mike Hooroutunian, Kelsey Mills Construction Phone #: 603 717 1518

Location: 15 MIDDLE ST

Description of Work: Adaptive re-use, conversion of Existing Salvation Army Church to (15) Room Inn and Restaurant. No increase in gross floor area. Submitted plans include future 3rd Floor Residential Units for purposes of appropriate structural and mechanical provisions but this future development is not part of this submission and will be removed from final plans, or when deemed appropriate.

Map/Lot: 0126--0012--0000-Use Group: Commercial Remodel - no addition

**Design Occupancy Load:** Constr. Type: Type V-B

IBC Edition: 2015 Total # of Dwelling Units: Bldg. Code:

#### Remarks:

Separate electrical, plumbing and mechanical permits required Construction per HDC approval/conditions of approval must be followed. Affidavit may be required from designer outlining compliance with HDC approval. Compliance Inspection and signoff required prior to permit closure. Contact Vincent Hayes for compliance inspection 603-427-9022

- \* Building Permit fee paid is based on applicant's estimated cost of construction. A final cost affidavit, confirming actual cost of construction including any/all change order work, signed by the owner or RDP must be submitted to the Building Official prior to the issuance of a Certificate of Occupancy (CO) Permit fee to be revised accordingly.
- \*Attic to remain as unoccupied space

\*Revised drawings including basement floor plan and first floor separation details and notes as discussed during 11/18 ZOOM meeting between RDP and city Building Official, Fire Prevention, to be submitted within 7 days of application approval.

\*All penetrations through Listed Assemblies to be properly firestopped and inspected by Building Official prior to covering.

The PERMIT HOLDER has read this permit, the permit application, and the Building Official's marked-up plans and agrees to perform the work authorized including any conditions or requirements indicated thereon; and any stipulations imposed by a Land Use Board in conjunction with the project. The CONTRACTOR shall be responsible for notifying the Inspection Department 48 hours in advance, for FOUNDATION, FRAMING, and FINAL inspections. A Certificate of Occupancy is required for all Building Permits. Buildings shall not be occupied until ALL inspections (BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, and FIRE) are complete and Occupancy has been issued. By signing this permit, the owner or his/her representative (Permit Holder), authorizes property access by city officials to conduct interior and exterior inspections and property tax assessments during and/or after the construction process.

#### The Permit Card Shall Be Posted and Visible From the Street During Construction.

Code Official:

Sert Horaba

This is an e-permit. To learn more, scan this barcode or

visit portsmouthnh.viewpointcloud.com/#/records/45727



# City of Portsmouth Certificate of Occupancy

Inspection Department 1 Junkins Avenue Portsmouth, NH 03801 603-610-7243 Permit Number: BLDG-20-184 Date of Issue: January 9, 2023 Expires: Const. Cost: \$790,000

**EXHIBIT B** 

Owner: 15 Middle St. Real Estate Holding Co., LLC.

Applicant: Brendan McNamara

Contractor: Mike Hooroutunian, Kelsey Mills Construction Phone #: 603 717 1518

Location: 15 MIDDLE ST

**Description of Work:** Adaptive re-use, conversion of Existing Salvation Army Church to (15) Room Inn and Restaurant. No increase in gross floor area. Submitted plans include future 3rd Floor Residential Units for purposes of appropriate structural and mechanical provisions but this future development is not part of this submission and will be removed from final plans, or when deemed appropriate.

Min Constr. Type: Type V-B Bldg. Code: IBC Edition: 2015

Fire Sprinkler Required: true Fire Alarm System Required: true

Map/Lot: 0126--0012--0000-Design Occupancy Load: 142 Total # New Dwelling Units:

**Use Group:** Commercial Remodel - no

addition

**Limiting Conditions:** 

•

Code Official:

Shanto Wolf

Date of Issue: January 9, 2023



# City of Portsmouth Certificate of Occupancy

Inspection Department 1 Junkins Avenue Portsmouth, NH 03801 603-610-7243 BLDG-20-184

Date of Issue:
December 13, 2022

Expires:
Const. Cost:
\$790,000

**EXHIBIT C** 

**Permit Number:** 

Owner: 15 Middle St. Real Estate Holding Co., LLC.

Applicant: Brendan McNamara

Contractor: Mike Hooroutunian, Kelsey Mills Construction Phone #: 603 717 1518

Location: 15 MIDDLE ST

**Description of Work:** Adaptive re-use, conversion of Existing Salvation Army Church to (15) Room Inn and Restaurant. No increase in gross floor area. Submitted plans include future 3rd Floor Residential Units for purposes of appropriate structural and mechanical provisions but this future development is not part of this submission and will be removed from final plans, or when deemed appropriate.

Min Constr. Type: Type V-B Bldg. Code: IBC Edition: 2015

Map/Lot: 0126--0012--0000-Design Occupancy Load: 142 Total # Dwelling Units:

Total # Dwelling Units:

Use Group: Commercial Remodel - no Fire Alarm System Required: true

Fire Alarm System Required: true

addition

#### **Limiting Conditions:**

•

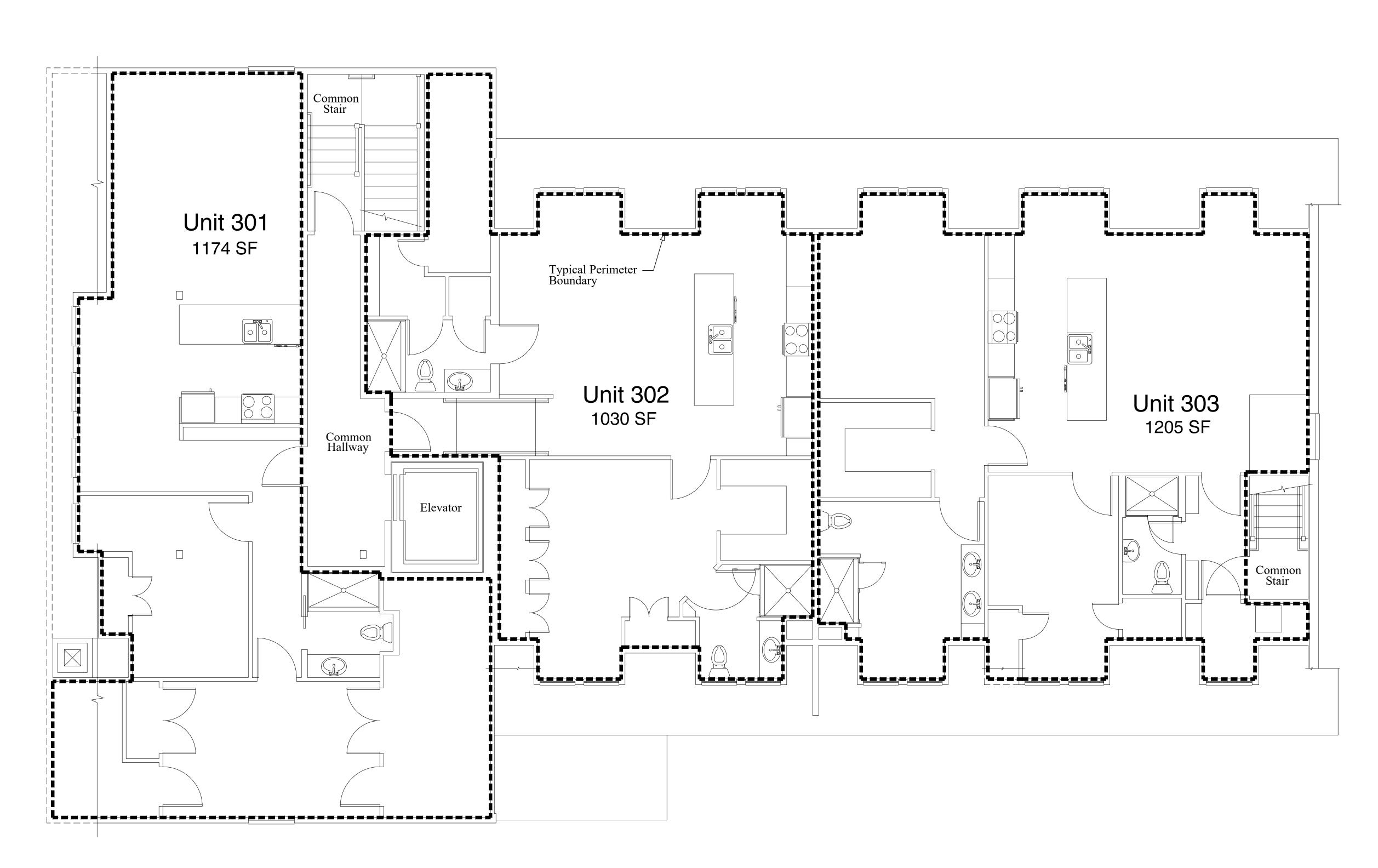
This Certificate does not include occupancy of Guest Room #1:

Shanto Wolf

Room # 1 is designated as an Accessible type guest room. There are several components of the toilet and bathing room that are not meeting the minimum requirements of the building code and of the accessibility code. The grab bars are an issue as well as the requirement for the toilet to be located with a wall or partition to the rear and to one side (604.2 Location). Understanding that correcting these issues will take additional time and resources, the City will issue the Occupancy Permit for the restaurant and the remaining guest rooms. The Building Permit will remain open for the "Accessible" room. In the meantime, should a guest require a room designated as "Accessible" the owner would need to make alternative but equal accommodations to the guest. Ie. an alternative hotel of equal caliber.

Code Official: Code Official:

Date of Issue: December 13, 2022



# Attic Floor Plan

# No scale

Note: The perimeter of each unit is taken at inside face of exterior wall stud or demising wall stud, discounting exterior wall thickness, demising wall thickness and common areas such as stairways and hallways.



Client:

Jay McSharry

Hotel Thaxter
15 Middle Street
Portsmouth NH

Date: 12-01-2023

Scale: As Noted

Design By: RB

Approved By: -

Revisions

Attic Floor Plan

Project No: 200104

# Site Review Drawings 15 Middle Street Portsmouth, New Hampshire

# LIST OF PROJECT PLANS AND DOCUMENTS:

SITE PLAN SET

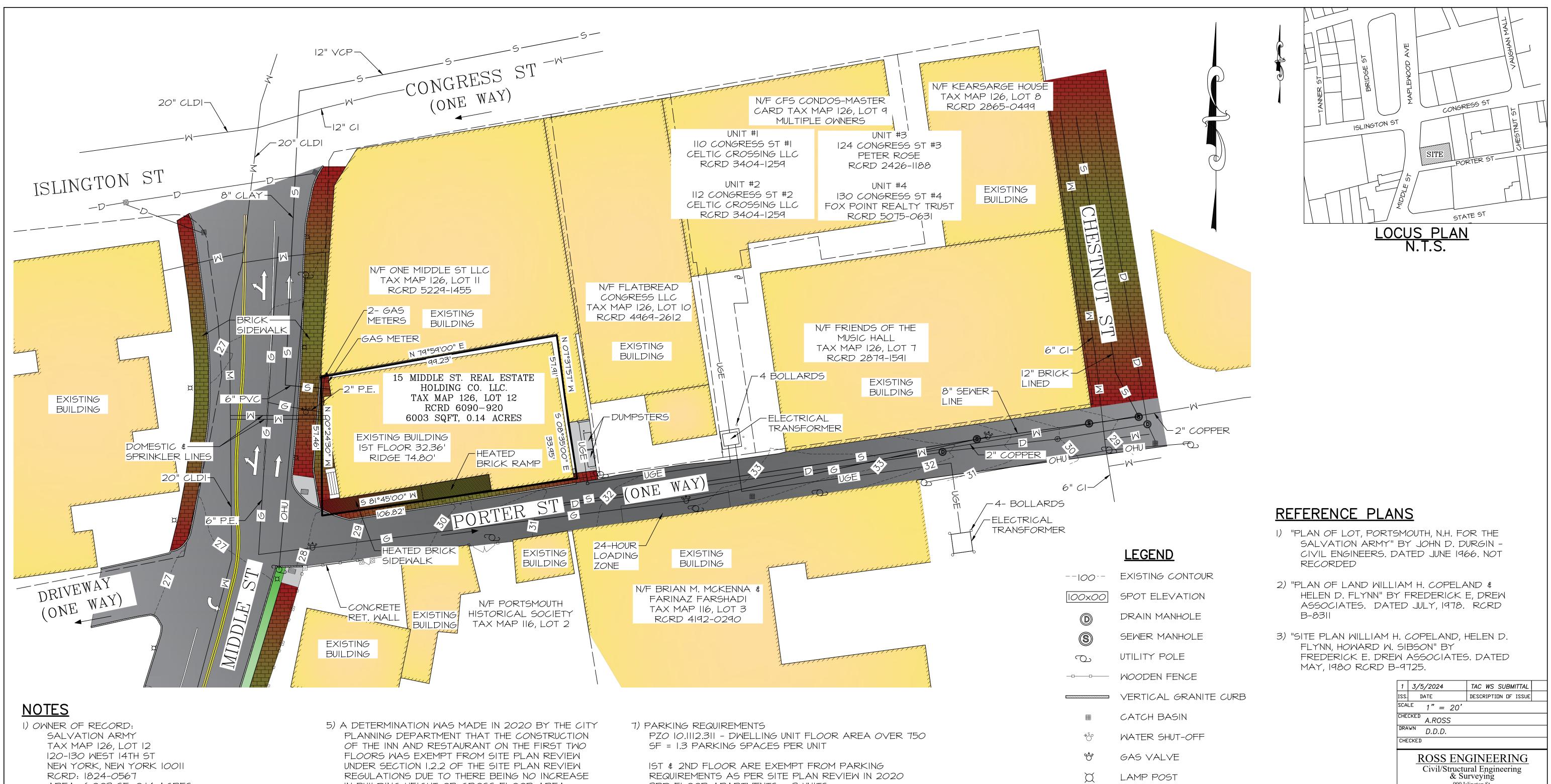
Site Plan 1"=20' Site Plan 1"=10' PREPARED BY:

ROSS ENGINEERING

Civil/Structural Engineering & Surveying

909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

March 5, 2024



- AREA: 6,003 SF, 0.14 ACRES
- 2) BASIS OF BEARING HELD FROM PLAN REFERENCE #2.
- 3) PARCEL IS IN CIVIC CHARACTER DISTRICT 4 (CD4), DOWNTOWN OVERLAY DISTRICT AND HISTORIC DISTRICT:

SETBACKS: FRONT ..O FT SIDE. OFT REAR. ..O FT

4) THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE, AS PER FLOOD INSURANCE RATE MAP #33015C0259E, PANEL 259 OF 681, DATED MAY 17, 2005.

- IN BUILDING HEIGHT OR GROSS FLOOR AREA PROPOSED. THE PROPERTY IS LOCATED IN THE DOWNTOWN OVERLAY DISTRICT AND IT WAS ALSO DETERMINED THAT THE INN AND RESTAURANT WERE EXEMPT FROM PARKING REQUIREMENTS IN THE SECTION 10.1115.21 OF THE ZONING ORDINANCE.
- 6) APARTMENTS ON THE 3RD FLOOR WERE PARTIALLY COMPLETED DURING THE CONSTRUCTION OF THE FIRST TWO FLOORS. AN AGREEMENT WAS ENTERED INTO BETWEEN THE CITY AND THE OWNER ACKNOWLEDGING THAT FUTURE CONSTRUCTION OF THE APARTMENTS ON THE 3RD FLOOR WOULD REQUIRE SITE PLAN REVIEW. THIS SITE PLAN REVIEW IS A RESULT OF THAT AGREEMENT. APPROVAL TO FINISH THE CONSTRUCTION OF THE APARTMENTS AND USE THEM AS LIVING SPACE IS REQUESTED.

3RD FLOOR APARTMENTS = 3 UNITS

3 UNITS x 1.3 SPACES PER UNIT = 3.9 SPACES REQUIRED

AS PER SECTION 10.1115.23 OF THE PORTSMOUTH ZONING ORDINANCE, ANY LOT IN THE DOWNTOWN OVERLAY DISTRICT THAT WOULD BE REQUIRED TO PROVIDE 4 OR FEWER OFF-STREET PARKING SPACES SHALL NOT BE REQUIRED TO PROVIDE ANY SPACES.

# 909 Islington St. Portsmouth, NH 03801 (603) 433-7560

JAMES MCSHARRY 58 PLEASANT POINT RD PORTSMOUTH, NH 03801

CLEANOUT

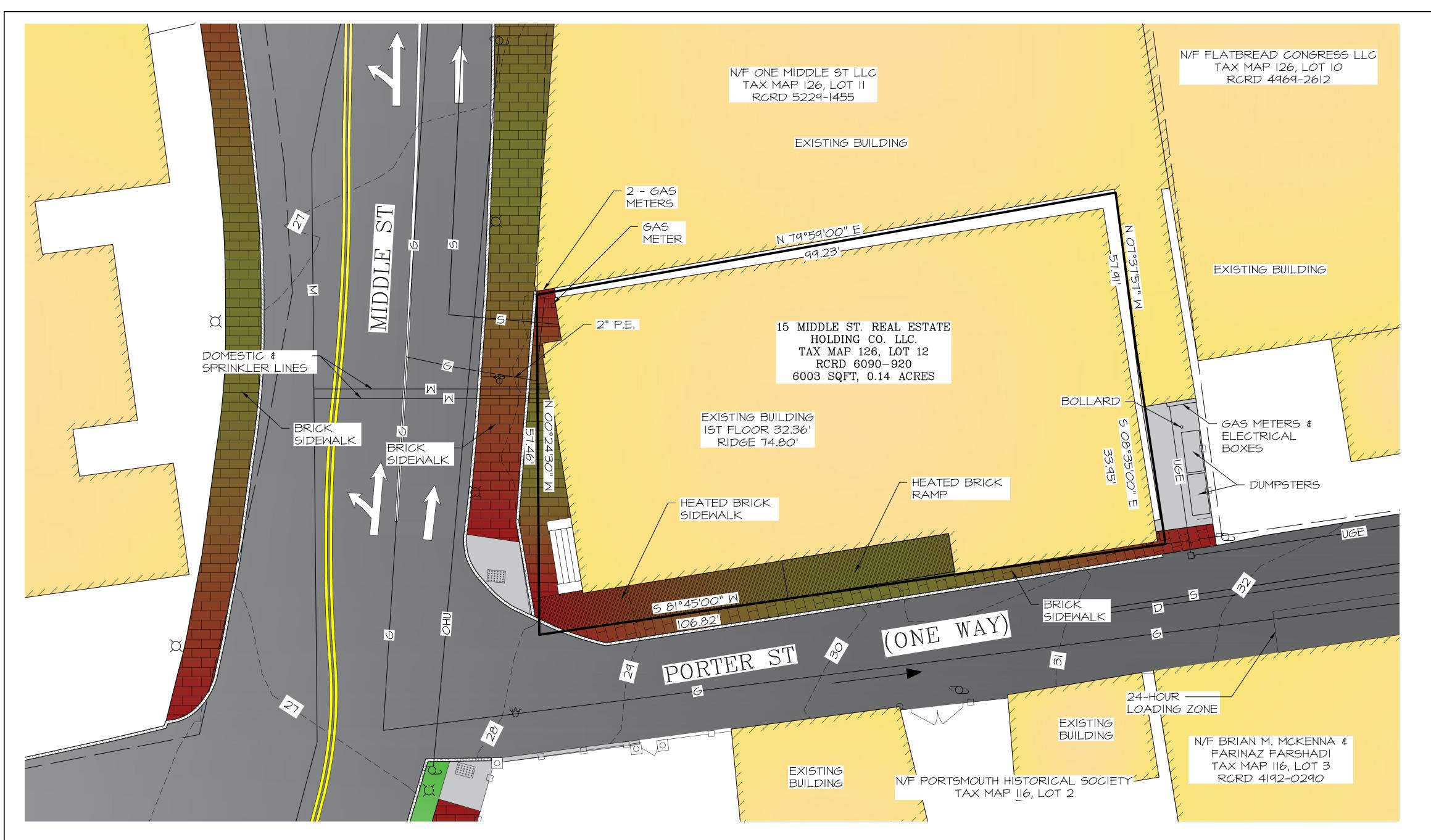
GRAPHIC SCALE

( IN FEET )

SCALE: 1" = 20'

TITLE SITE PLAN 15 MIDDLE ST PORTSMOUTH, NH 03801 TAX MAP 126, LOT 12 JOB NUMBER

19-001 | 1 OF 2 | 1



BLINGTON ST

ISLINGTON ST

ISLINGTON ST

ISLINGHAM WANTEST

LOCUS PLAN

TANNER ST

STATE ST

LOCUS PLAN

### **NOTES**

I) OWNER OF RECORD:
SALVATION ARMY
TAX MAP 126, LOT 12
120-130 WEST 14TH ST
NEW YORK, NEW YORK 10011
RCRD: 1824-0567
AREA: 6,003 SF, 0.14 ACRES

- 2) BASIS OF BEARING HELD FROM PLAN REFERENCE #2.

3) PARCEL IS IN CIVIC CHARACTER DISTRICT 4

FRONT......O FT SIDE......O FT REAR......O FT

4) THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE, AS PER FLOOD INSURANCE RATE MAP #33015C0259E, PANEL 259 OF 681, DATED MAY 17, 2005.

# REFERENCE PLANS

- I) "PLAN OF LOT, PORTSMOUTH, N.H. FOR THE SALVATION ARMY" BY JOHN D. DURGIN CIVIL ENGINEERS. DATED JUNE 1966. NOT RECORDED
- 2) "PLAN OF LAND WILLIAM H. COPELAND & HELEN D. FLYNN" BY FREDERICK E, DREW ASSOCIATES. DATED JULY, 1978. RCRD B-8311
- 3) "SITE PLAN WILLIAM H. COPELAND, HELEN D. FLYNN, HOWARD W. SIBSON" BY FREDERICK E. DREW ASSOCIATES. DATED MAY, 1980 RCRD B-9725.

#### **LEGEND**

-100 - EXISTING CONTOUR

SPOT ELEVATION

(D) DRAIN MANHOLE
(S) SEWER MANHOLE

UTILITY POLE

-- WOODEN FENCE

VERTICAL GRANITE CURB

CATCH BASIN

WATER SHUT-OFF

# GAS VALVE

X LAMP POST

© CLEANOUT

THE PURPOSE OF THIS PLAN IS TO DEPICT
THE SITE CONDITIONS FOR CITY SITE REVIEW
AS REQUIRED FOR THE COMPLETION OF
THIRD FLOOR APARTMENTS. NO SITE
IMPROVEMENTS ARE PROPOSED.

I ALEX ROSS, HEREBY CERTIFY:

A) THAT THIS SURVEY PLAT WAS PREPARED BY ME OR THOSE

UNDER MY DIRECT SUPERVISION.

B) THIS PLAN IS A RESULT OF FIELD SURVEY PERFORMED BY DDD & AR DURING JAN OF 2019. THE ERROR OF CLOSURE IS BETTER THAN 1/15,000. SURVEY PER NHLSA STANDARDS; CATEGORY 1, CONDITION 1.

C) "I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUB-DIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

1 3/5/2024 TAC WS SUBMITTAL

ISS. DATE DESCRIPTION OF ISSUE

SCALE 1" = 10'

CHECKED A.ROSS

DRAWN D.D.D.

CHECKED

ROSS ENGINEERING
Civil/Structural Engineering
& Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

JAMES MCSHARRY
58 PLEASANT POINT RD
PORTSMOUTH, NH 03801

R. ALEX ROSS DATE

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON DATE

SITE
PLAN

15 MIDDLE ST
PORTSMOUTH, NH 03801
TAX MAP 126, LOT 12

19-001 | 2 OF 2 | 1

GRAPHIC SCALE

10 0 5 10 20 40

( IN FEET )
SCALE: 1" = 10'

#### **AGREEMENT**

15 Middle Street Real Estate Holding Company, LLC, a Limited Liability organized under the laws of the State of New Hampshire, with a principal place of business of 1 Middle Street, STE 1, Portsmouth, New Hampshire 03801 ("Grantor") and the City of Portsmouth, a municipal corporation organized under the laws of New Hampshire, having a place of business at 1 Junkins Avenue, Portsmouth, New Hampshire 03801 ("Grantee"), hereby enter into the following agreement pertaining to certain real property located at 15 Middle Street, City of Portsmouth, County of Rockingham, and State of New Hampshire.

WHEREAS, Grantor is the owner of real property located at 15 Middle Street, Portsmouth, New Hampshire 03801 (the "Property"), by Warranty Deed of the Salvation Army, dated March 3, 2020, and recorded in the Rockingham County Registry of Deeds at Book 6090, Page 920; and

WHEREAS, Grantor is renovating the existing building on the Property to include a fifteen (15) room inn with restaurant space on the first and second floors of the building; and

WHEREAS, the third floor of the building is currently unused attic space; and

WHEREAS, Grantor desires to partially finish the third floor attic space for the purpose of adding dormers, a sprinkler system and insulation so that it may accommodate up to three (3) dwelling units in the future; and

WHEREAS, the Grantor does not intend to finish off or use the third floor attic space; and

WHEREAS, the third floor attic space will remain accessory to the inn/restaurant use of the building on the Property and not be used as living space unless and until all appropriate approvals have been granted by the City of Portsmouth; and

WHEREAS, pursuant to Section 1.2.2(a) of the Portsmouth Site Plan Review Regulations, adopted on December 17, 2009, as amended on September 15, 2016, so long as "there is no increase in building height or gross floor area", the renovation work proposed by the Grantor is exempt from Site Plan review by the Portsmouth Planning Board; and

WHEREAS, the term "gross floor area" is defined by Section 10.5130 of the Portsmouth

Zoning Ordinance, adopted on December 21, 2009, as amended on December 16, 2019, as follows: "the sum of the areas of the several floors of a building or buildings as measured by the exterior faces of the walls, but excluding the areas of fire escapes, unroofed porches or terraces, and areas such as basements and attics exclusively devoted to uses accessory to the operation of the building. If the exterior walls are greater than 6 inches thick, then the gross floor area shall be adjusted to a maximum of a 6-inch thick wall"; and

WHEREAS, Grantor acknowledges and understands that it must obtain Site Plan approval from the Portsmouth Planning Board before the third floor attic space is finished off and occupied for any purpose that is not accessory to the primary use of the building as an inn/restaurant space, failing which the Grantor will be in violation of the City's Site Plan Review Regulations and subject to enforcement action, including revocation of the Grantor's occupancy permit and/or restoration of any improvements made to the building in derogation of the City's ordinances in addition to potential civil penalties, costs and attorney fees; and

WHEREAS, the City of Portsmouth is relying on the Grantor's representations above in allowing it to proceed with its current renovation plans without Site Plan Review from the Portsmouth Planning Board; and

WHEREAS, said renovation plans are contained in a Plan Set prepared by JSN Associates LLC on file with the City of Portsmouth Planning Department entitled, "Conversion of Salvation Army Building to 15 Room Inn 5 Middle Street, Portsmouth, NH, dated 8/26/2020

NOW THEREFORE, in consideration for the mutual covenants contained herein, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

- 1. The representations made by the Grantor above are hereby incorporated by reference as if fully stated herein.
- 2. The Grantor may proceed with its renovation plans for the third floor of the building on the Property so long as it does not allow said space to be utilized for any purpose that would not be considered accessory to the primary use of the remainder of the building as inn/restaurant space in the absence of having obtained the required approvals, failing which the Grantor shall be in violation of the Portsmouth Site Plan Review Regulations.

3. This Agreement shall be binding upon and inure to the benefit of the Grantor and Grantee and their heirs, successors and assigns.

Executed this 6 day of November 2020.

15 Middle Street Real Estate Holding Company, LLC

By:

Name: James McSharry, Member

**Duly Authorized** 

#### COUNTY OF ROCKINGHAM

November 2020 in his capacity as a LLC, duly authorized to execute this act and deed in his said capacity at Holding Company LLC.  Holding Company LLC.  Holding Company LLC.  Holding Company LLC.	Sharry, personally appeared before me thisday of member of 15 Middle Street Real Estate Holding Company, instrument, and acknowledged the foregoing to be his free and the free act and deed of 15 Middle Street Real Estate  Notary Public/Justice of the Peace:  My Commission Expires:
Executed this day of No	vember 2020.
City of Portsmouth  By: Name: Juliet Walker, Planning Duly Authorized	Director Director
Duly Authorized	
STATE OF NEW HAMPSHIRE COUNTY OF ROCKINGHAM	
November 2020 in her capacity as Pl	lker, personally appeared before me this day of anning Director of the City of Portsmouth, duly authorized owledged the foregoing to be her free act and deed in her d of the City of Portsmouth.
8	Notary Public/Justice of the Peace:
	My Commission Expires:



E5071-001 March 5, 2024

Mr. Peter Britz, Director of Planning & Sustainability City of Portsmouth Planning & Sustainability Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

Re: Request for TAC Work Session
100 Durgin Lane - Proposed Redevelopment

#### Dear Peter:

On behalf of 100 Durgin Lane Owner, LLC (applicant) we are pleased to submit one (1) set of hard copies and one electronic file (.pdf) of the following information to support a request to meet with the Technical Advisory Committee (TAC) at their next scheduled Work Session for the above referenced project:

- Site Plan Set, dated March 5, 2024;
- Community Space Exhibit, dated March 5, 2024;
- Impervious Surface Exhibit, dated March 5, 2024;
- Wetland Buffer Exhibit, dated March 5, 2024;
- Fire Truck Turning Exhibit, dated March 5, 2024;
- Preliminary Water & Sewer Demand Analysis, dated March 5, 2024;
- Preliminary Trip Generation Summary;
- Signed Authorization, dated January 29, 2024;

The proposed project is located at 100 Durgin Lane and includes lots identified as Map 239 Lots 16, 16 & 18 on the City of Portsmouth Tax Maps. The site was previously home to Christmas Tree Shops and Bed, Bath and Beyond locations which are no longer in operation. The properties are a combined 26.1 acres of land and are located in the Gateway District (G1) and also lies within the Highway Noise Overlay District. The property is bound to the west by Route 16, to the north by the Motel 6 property and Gosling Road, to the south by the Hampton Inn and Home Depot properties, and to the east by an Eversource easement, Pep Boys and Durgin Plaza.

The proposed project consists of the demolition of the existing Christmas Tree Shops and Bed, Bath and Beyond building and the construction of approximately 360 rental housing units in a mix of 3-story and 4-story buildings. The proposed project will include a community building and associated site improvements such as parking, pedestrian access, community spaces, utilities, stormwater management, lighting, and landscaping. The proposed project also includes a reduction in overall impervious surface on the development lot.

The proposed project will also be providing 10% community space as required under the Development Site Conditional Use Permit for have more than one principal building on a single lot. Based on the lot area the required community spaces will likely exceed 2 acres and may include a public dog park, recreation areas, community walking trails, pocket parks, bicycle paths, and open/green space. The proposed project plan submitted as part of the work session package exceeds the minimum required community space area. The proposed project may

also include multimodal connections that link the project site and neighboring commercial properties and exploring the potential of expanding the existing bus network.

At this time, we anticipate that the proposed project will require the following site related approvals from the Planning Board:

- Site Plan Review Permit
- Lot Line Revision
- Wetland Conditional Use Permit
- Development Site Conditional Use Permit
- Highway Noise Overlay District Conditional Use Permit

The applicant respectfully requests to meet with TAC at their next scheduled Work Session on March 12, 2024. If you have any questions or need any additional information, please contact me by phone at (603) 769-9471 or by email at <a href="mailto:NAHansen@tighebond.com">NAHansen@tighebond.com</a>.

Project Manager

Sincerely,

**TIGHE & BOND, INC.** 

Patrick M. Crimmins, PE

Vice President

**Enclosures** 

Copy: 100 Durgin Lane Owner, LLC

John K. Bosen, Bosen & Associates

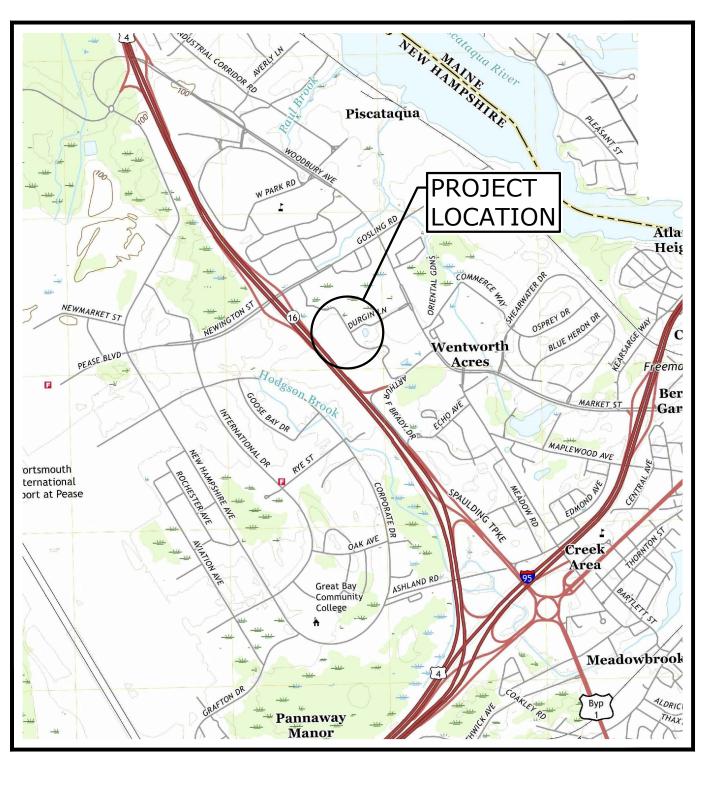
Utile, Inc Architects

Aceto Landscape Architecture

# PROPOSED MULTI-FAMILY DEVELOPMENT

# 100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE MARCH 5, 2024

LIST OF DRAWINGS			
SHEET NO.	SHEET TITLE	LAST REVISED	
	COVER SHEET	3/5/2024	
C-101	GENERAL NOTES AND LEGEND	3/5/2024	
C-201	DEMOLITION PLAN	3/5/2024	
C-301	SITE PLAN	3/5/2024	
C-401	GRADING, DRAINAGE, AND EROSION CONTROL PLAN	3/5/2024	
C-501	UTILITIES PLAN	3/5/2024	
C-601	EROSION CONTROL NOTES AND DETAILS SHEET	3/5/2024	
C-602	DETAILS SHEET	3/5/2024	
C-603	DETAILS SHEET	3/5/2024	
C-604	DETAILS SHEET	3/5/2024	
C-605	DETAILS SHEET	3/5/2024	
C-606	DETAILS SHEET	3/5/2024	
C-607	DETAILS SHEET	3/5/2024	



# PREPARED BY:

# Tighe&Bone

PORTSMOUTH, NEW HAMPSHIRE 03801 603-433-8818

## **OWNER:**

100 Durgin Lane Owner LLC
ONE MARINA PARK DRIVE, SUITE 1500
BOSTON, MA 02210

## **SURVEYOR:**

HOLDEN ENGINEERING & SURVEYING, INC. 56 OLD SUNCOOK ROAD, PO BOX 480 CONCORD, NH 03302

SCALE: 1" = 2000'

TAC WORK SESSION SET COMPLETE SET (13) SHEETS

| | | T

#### **GENERAL NOTES:**

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO

DETERMINE ALL LINES AND GRADES.

- 4. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
- 11. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- 12. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

#### **DEMOLITION NOTES:**

- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND TOWN OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- 10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- 11. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- 13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR
- SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER. 14. SEE ROADWAY IMPROVEMENT PLANS FOR OFF-SITE DEMOLITION.
- 15. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- 16. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 17. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

#### **SITE NOTES:**

- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES, ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.

- 6. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS.
- 7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 8. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS
- ADJACENT TO BUILDING.
- 9. COORDINATE ALL OFF-SITE SITE WORK WITH ROADWAY IMPROVEMENT PLANS. 10. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING
- CONTRACTOR 11. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- 12. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM STRUCTURAL ENGINEER AND/OR WALL MANUFACTURER. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTAL BLOCK WALL SYSTEM AS OUTLINED IN THE DETAILS.
- 14. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

#### <u>GRADING AND DRAINAGE NOTES:</u>

COMPACTION REQUIREMENTS: BELOW PAVED OR CONCRETE AREAS TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%

BELOW LOAM AND SEED AREAS

\* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.

90%

- ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS,
- RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING. 5. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM,
- SEED FERTILIZER AND MULCH. 6. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- 7. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.

#### **EROSION CONTROL NOTES:**

1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

#### **UTILITY NOTES:**

- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY. NATURAL GAS - UNITIL
- WATER CITY OF PORTSMOUTH
- SEWER CITY OF PORTSMOUTH • ELECTRIC - EVERSOURCE
- COMMUNICATIONS CONSOLIDATED COMM/FAIRPOINT/COMCAST
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
- 4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 5. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
- 6. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE
- DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC
- CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES 8. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE
- COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES. 9. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING
- CABLES. 10. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND
- OPERATIONAL. 11. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 12. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- 13. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL
- PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN 14. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF
- PORTSMOUTH. 15. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 16. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER
- IN UNPAVED AREAS SHALL BE INSULATED. 17. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION,
- OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY 18. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL
- ENGINEER. 19. CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.

#### **EXISTING CONDITIONS PLAN NOTES:**

- 1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY BY HOLDEN ENGINEERING AND SURVEYING, INC. DATED 8/10/2023, LAST REVISED 2/13/2024.
- WETLAND DELINEATION BY \_\_\_\_\_ \_\_\_, ON \_\_\_\_ \_, AND FIELD LOCATED BY \_\_, ON \_\_\_\_

<u>LE</u>	<u>GEND</u>
	APPROXIMATE LIMIT OF SAWCUT LIMIT OF WORK
	APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED
	EXISTING TREES TO BE REMOVED
	EXISTING BUILDING TO BE REMOVED
	LOCATION OF PROPOSED BUILDING
	PROPOSED GRAVEL PAVEMENT SECTION
	PROPOSED PAVEMENT SECTION
	PROPOSED WOOD CHIP TRAIL
	PROPOSED CONCRETE
	PROPOSED PATIO PAVERS
	PROPERTY LINE
	EXISTING EASEMENT
•	EXISTING STONE WALL
	FLAGGED WETLAND
	PROPOSED EDGE OF PAVEMENT
<del></del>	PROPOSED CURB
25	PROPOSED MAJOR CONTOUR LINE
24	PROPOSED MINOR CONTOUR LINE
0	CATCH BASIN
•	DRAIN MANHOLE
	ELECTRIC BOX
*	LIGHT POLE
0	REBAR OR RAILROAD SPIKE
	DRILL HOLE
•	POST
6	SIGN
<b>-</b>	SEWER MANHOLE  UTILITY POLE OR BRACE POLE
•	WATER SHUT-OFF
-	HYDRANT
E G	ELECTRIC METER
<u>-</u>	GAS METER
<b>+</b>	FLAG POLE
•	GAS SHUT-OFF
<b>©</b>	BORING
•———	WETLAND FLAG LOCATION

PROPOSED DRAIN MANHOLE

PROPOSED SEWER MANHOLE

PROPOSED INLET PROTECTION BARRIER

PROPOSED UNDERGROUND ELECTRIC LINE

PROPOSED UNDERGROUND TELECOMS

PROPOSED CATCH BASIN

PROPOSED DRAINLINE

PROPOSED SEWER LINE

PROPOSED WATER LINE

PROPOSED WATER VALVE

PROPOSED THRUST BLOCK

PROPOSED TRANSFORMER

100' WETLAND BUFFER

50' LIMITED CUT BUFFER

25' VEGETATIVE BUFFER

\_ \_ \_ \_ \_ \_ \_ \_ \_

\_\_\_\_\_\_

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PROPOSED GAS LINE

#### **ABBREVIATIONS**

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY &
AASITTO	TRANSPORTATION OFFICIALS
AC	ACRES
ADA	AMERICANS WITH DISABILITIES ACT
AGGR	AGGREGATE
BLDG	BUILDING
ВС	BOTTOM OF CURB
СВ	CATCH BASIN
CONST	CONSTRUCT
COORD	COORDINATE
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DMH	DRAINAGE MANHOLE
DWG	DRAWING
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EV	ELECTRIC VEHICLE
FF	FINISHED FLOOR
FGC	FLUSH GRANITE CURB
HDPE	HIGH DENSITY POLYETHYLENE
HMA	HOT MIX ASPHALT
HYD	HYDRANT
ID	INSIDE DIAMETER
INV	INVERT
L	LENGTH
LF	LINEAR FEET
MAX	MAXIMUM
MIN	MINIMUM
OC	ON CENTER
PCB	PROPOSED CATCH BASIN
PDMH	PROPOSED DRAINAGE MANHOLE
POS	PROPOSED OUTLET STRUCTURE
PROP	PROPOSED
PSMH	PROPOSED SEWER MANHOLE
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
SGC	SLOPED GRANITE CURB
SF	SQUARE FEET
STD	STANDARD
TBR	TO BE REMOVED
TC	TOP OF CURB
TYP	TYPICAL
UD	UNDERDRAIN
W	WIDTH
W/	WITH
YD	YARD DRAIN

THIS DOCUMENT IS INCOMPLETE AND IS RELEASED TEMPORARILY FOR PROGRESS REVIEW ONLY. IT IS NOT INTENDED FOR BIDDING OR CONSTRUCTION PURPOSES

# **PROPOSED** MULTI-FAMILY **DEVELOPMENT**

100 DURGIN LANE OWNER

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

MARK	DATE	DESCRIPTION	
PROJE	CT NO:	E5071-001	
DATE:		3/5/2024	
FILE:	E5	5071-001-C-DSGN.dwg	
DRAWI	N BY:	ВКС	

GENERAL NOTES AND **LEGENDS** 

NAH

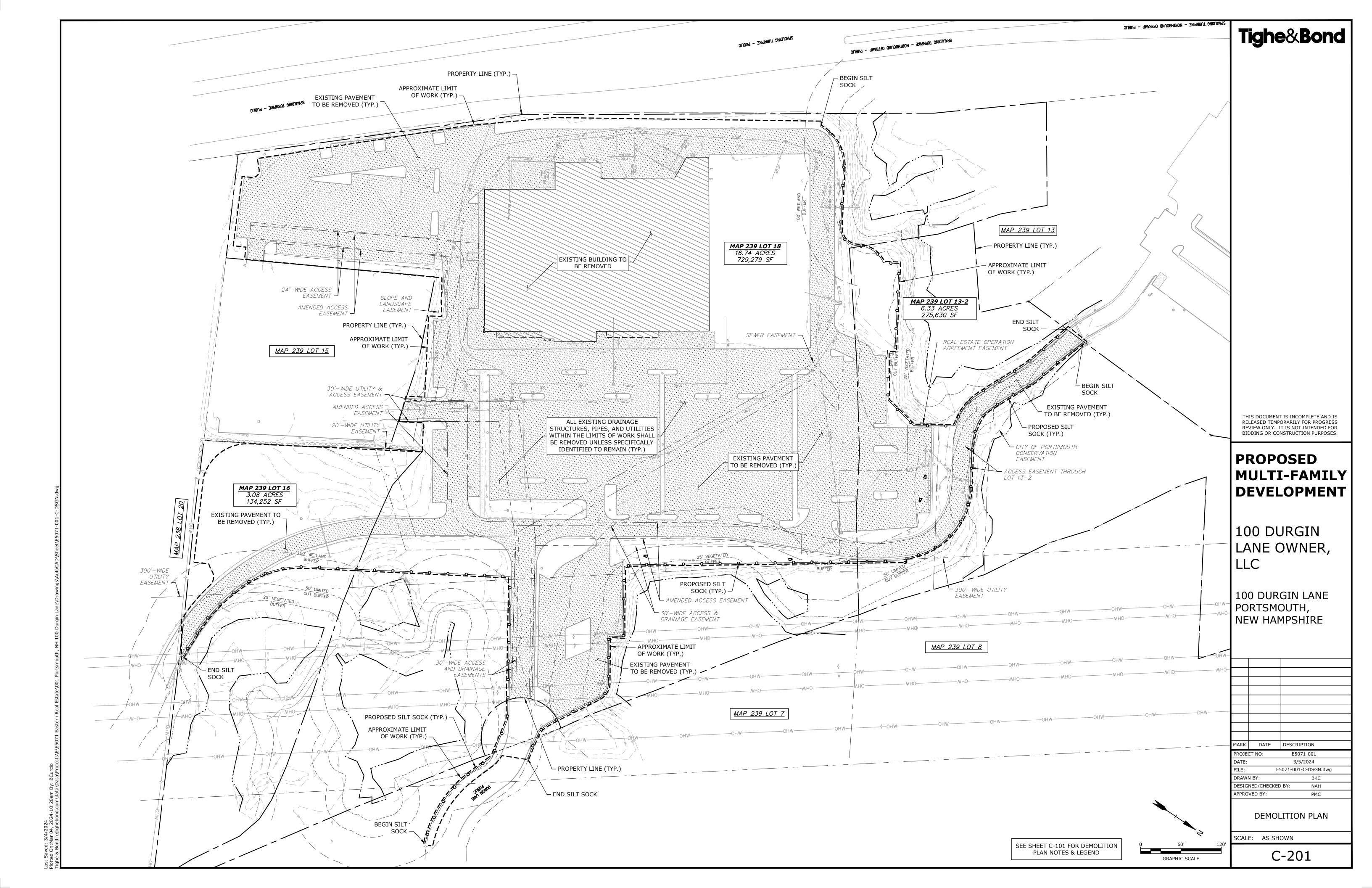
PMC

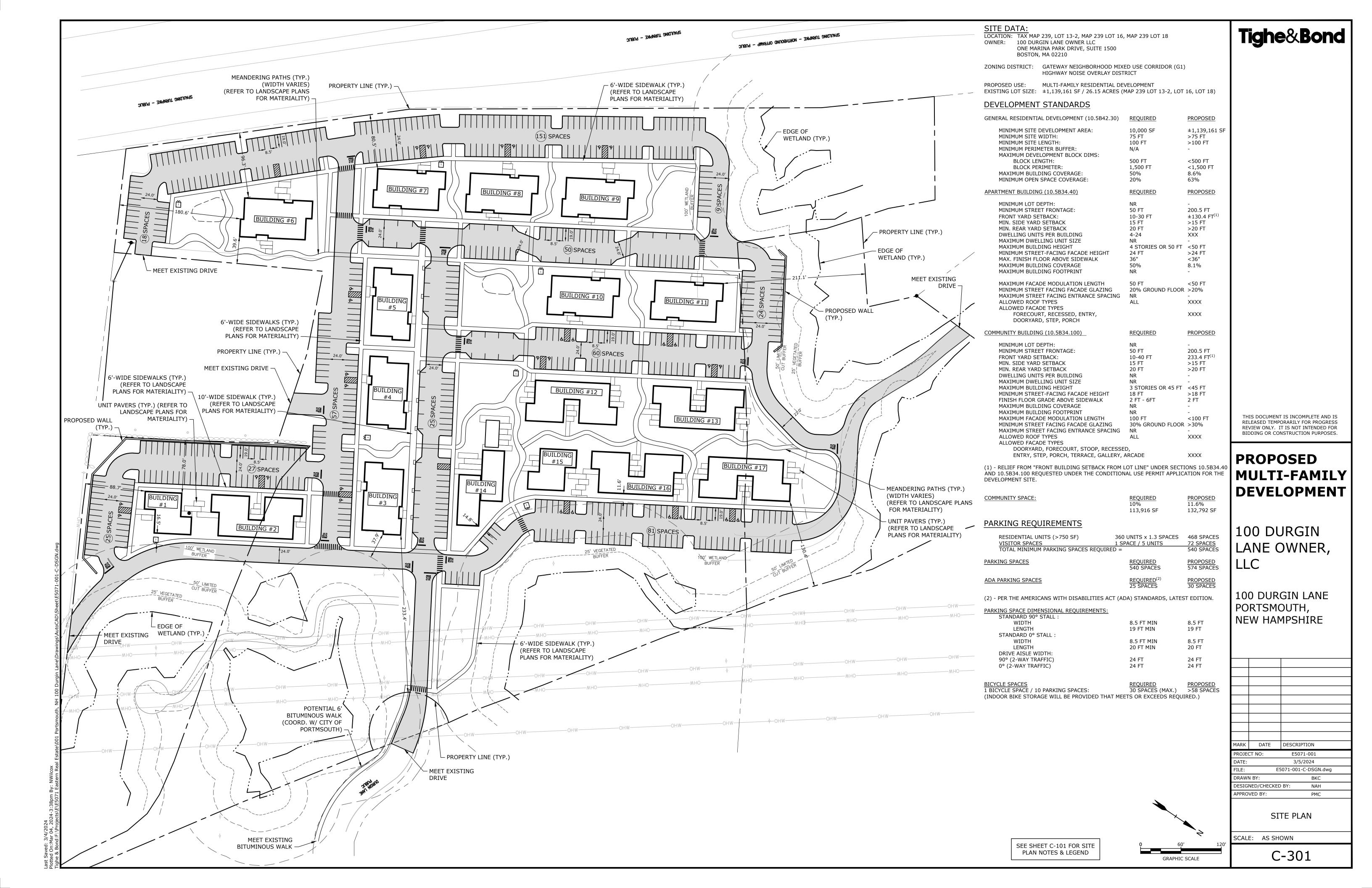
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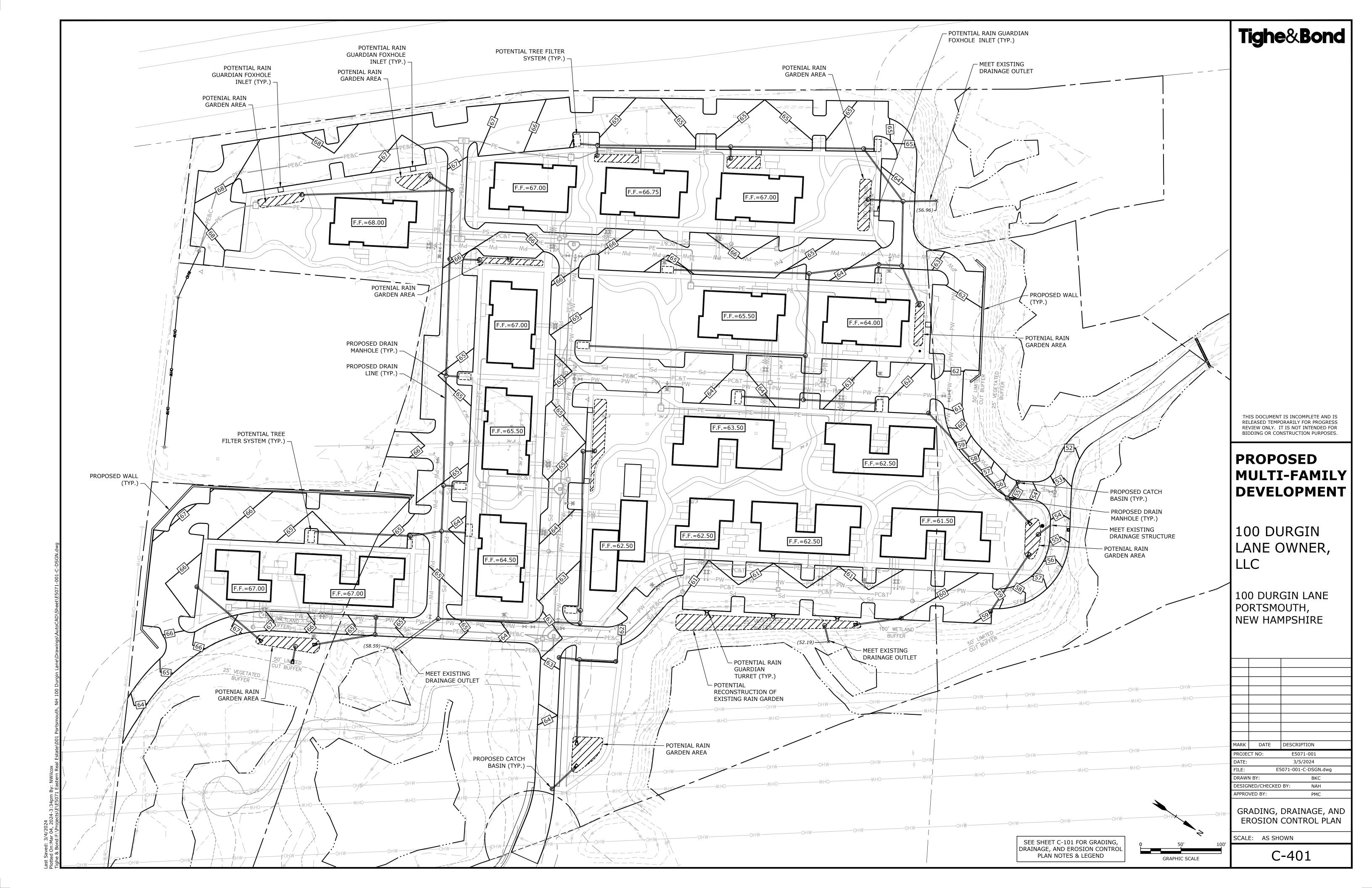
DESIGNED/CHECKED BY:

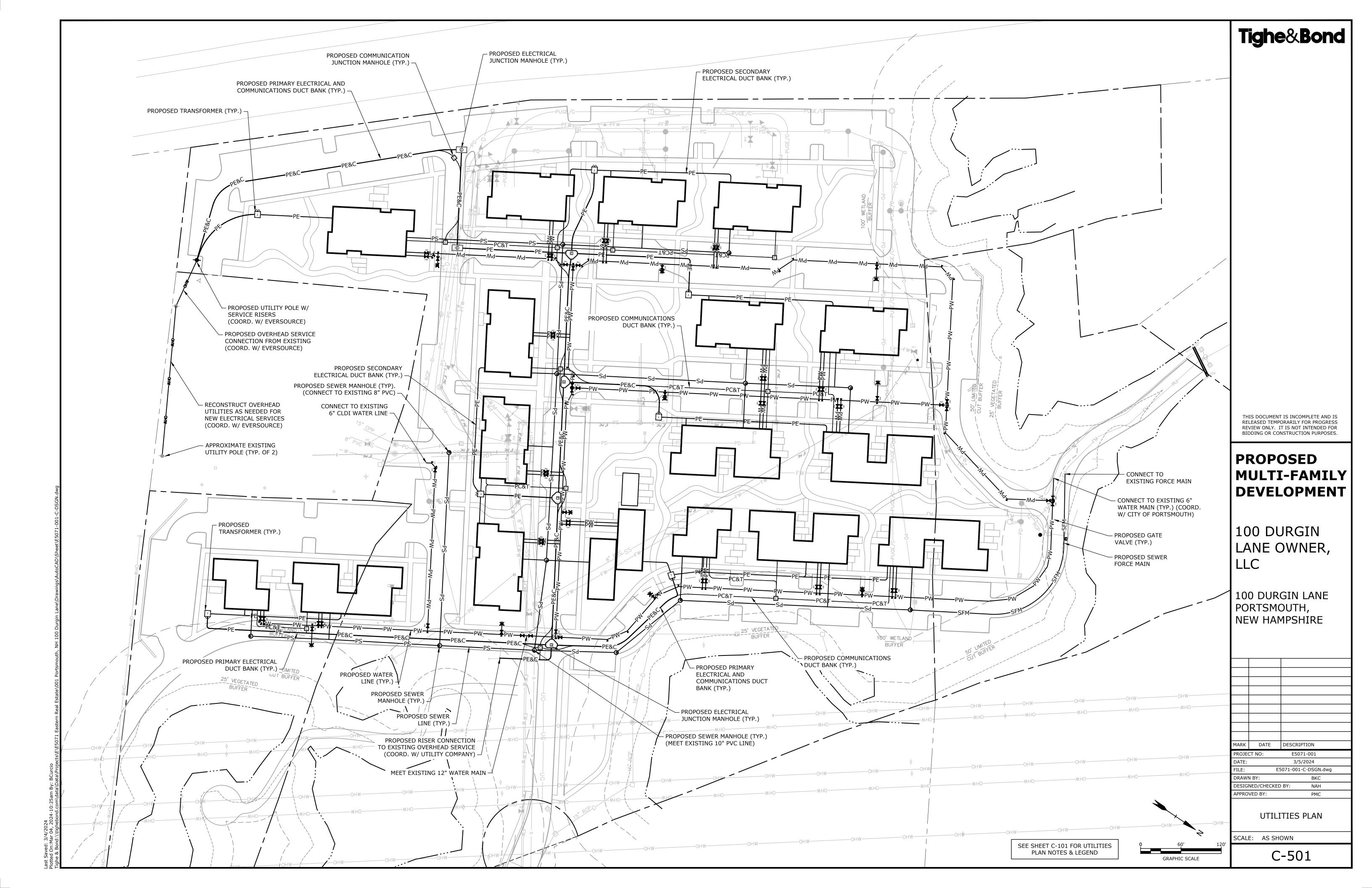
APPROVED BY:

C-101









PROPOSED MIXED USE DEVELOPMENT PROJECT MAP / LOT: MAP 239 / LOT 18 MAP 239 / LOT 16 MAP 239 / LOT 13

PROJECT ADDRESS: DURGIN LANE PORTSMOUTH, NH 03801

PROJECT LATITUDE: 43°-04'-43" N PROJECT LONGITUDE: 70°-45'-41" W

#### PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE CONSTRUCTION OF AN OFFICE BUILDING AND TWO MIXED USE RESIDENTIAL BUILDINGS WITH ASSOCIATED SITE IMPROVEMENTS.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 2.1 ACRES.

#### **SOIL CHARACTERISTICS**

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH IS EXCESSIVELY DRAINED SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF X.

#### NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH'S CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO NORTH MILL POND THEN TO THE PISCATAQUA RIVER OR DIRECTLY TO THE PISQUATAQUA

#### **CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:**

#### CUT AND CLEAR TREES.

CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:

- NEW CONSTRUCTION CONTROL OF DUST
- CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL ROADWAYS AND PARKING AREAS ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES
- SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER
- EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED. SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL
- SOILS ARE STABILIZED. 0. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 13. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

#### **SPECIAL CONSTRUCTION NOTES:** THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT

OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

#### **EROSION CONTROL NOTES:**

ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.

PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.

CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.

SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE

PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED

AREAS HAVE BEEN STABILIZED. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.

ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND

INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:

A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;

B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;

D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

WINTER STABILIZATION PRACTICES:

A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES 1. FIRE-FIGHTING ACTIVITIES; OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE **USED INCLUDE:** 

A. TEMPORARY SEEDING;

#### B. MULCHING.

ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.

WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES

PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES,

PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.

2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.

3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND

2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION. 3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO

ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY. 4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION

CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES

#### OFF SITE VEHICLE TRACKING:

. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

#### A. SEEDBED PREPARATION:

#### TEMPORARY GRASS COVER:

a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;

a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;

b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN

SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED; APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN

C. MAINTENANCE:

TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK

VEGETATIVE PRACTICE A. FOR PERMANENT MEASURES AND PLANTINGS:

a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;

b. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;

c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;

d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;

HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE; THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REOUIRED. WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED,

AND ALL NOXIOUS WEEDS REMOVED; g. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;

h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE: APPLICATION RATE

CREEPING RED FESCUE 20 LBS/ACRE TALL FESCUE 20 LBS/ACRE 2 LBS/ACRE REDTOP

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.

3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):

A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

#### **CONCRETE WASHOUT AREA:**

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE: A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT

FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;

B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER; C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM

DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS; D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE

#### **ALLOWABLE NON-STORMWATER DISCHARGES:**

## FIRE HYDRANT FLUSHING;

WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED; WATER USED TO CONTROL DUST; 5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING

6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED; 7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;

UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;

9. UNCONTAMINATED GROUND WATER OR SPRING WATER FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;

11. UNCONTAMINATED EXCAVATION DEWATERING;

12. LANDSCAPE IRRIGATION.

#### WASTE DISPOSAL: WASTE MATERIAL: A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED

B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE; C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR

WASTE DISPOSAL BY THE SUPERINTENDENT.

HAZARDOUS WASTE: A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED

BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT

A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

a. PETROLEUM PRODUCTS:

iv. INSPECT FUEL STORAGE AREAS WEEKLY;

SUCCESSOR DOCUMENT.

FOR THIS PURPOSE;

DEPOSITED IN A DUMPSTER;

CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.

2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF

A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:

a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY 3.

MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE; c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE

d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;

e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;

f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE

RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES. B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE

RISKS ASSOCIATED WITH HAZARDOUS MATERIALS: a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT

RESEALABLE; b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;

c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL

C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:

i. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;

ii. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. iii. SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;

v. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM

PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS; vi. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS vii. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.

viii. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE: (1) EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;

(2) PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS; (3) HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN

(4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED (5) PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS

SURFACE. ix. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS

HTTPS://WWW.DES.NH.GOV/ORGANIZATION/COMMISSIONER/PIP/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF b. FERTILIZERS: i. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY

THE SPECIFICATIONS ii. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER; iii. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF

ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE

PLASTIC BIN TO AVOID SPILLS. c. PAINTS:

i. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;

iii. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL

ii. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;

MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP: a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE

LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES; b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY

c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY; d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;

e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED; f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS

E. VEHICLE FUELING AND MAINTENANCE PRACTICE: a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;

CLEAN AND DRY; c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED; d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;

e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE; CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

**EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES** 

 THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES.

2. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25

INCHES OR GREATER; AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED

TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;

C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;

D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

. CONTRACTOR SHALL CONTACT THE NHDES PRIOR TO COMMENCING ANY BLASTING ACTIVITIES 2. FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL

A. A BLASTING PLAN THAT IDENTIFIES:

a. WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR; b. THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND c. SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.

IF MORE THAN 5000 CUBIC YARDS OF BLAST ROCK WILL BE GENERATED AND THERE ARE ONE OR MORE PUBLIC DRINKING WATER WELLS WITHIN 2000 FEET OF THE BLASTING ACTIVITIES, A PLAN TO MONITOR GROUNDWATER TO DETECT ANY CONTAMINATION IN SUFFICIENT TIME TO PROTECT THE WATER SUPPLY WELLS SHALL BE PROVIDED TO THE NHDES. THE GROUNDWATER MONITORING PLAN SHALL INCLUDE:

A. MONITORING FOR NITRATE AND NITRITE EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF THE DRINKING WATER SUPPLY WELLS

a. THE GROUNDWATER SAMPLING PROGRAM MUST BE IMPLEMENTED ONCE APPROVED BY

B. THE FOLLOWING BEST MANAGEMENT PROCEDURES FOR BLASTING SHALL BE COMPLIED a. LOADING PRACTICES - THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE

ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED: DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER

CONDITIONS • EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;

 SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL

LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED; • LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE

PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF

CONTAMINANTS TO THE ENVIRONMENT EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.

b. EXPLOSIVE SELECTION - THE FOLLOWING BMPS SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED: • EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE

CONDITIONS AND SAFE BLAST EXECUTION;

RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER PREVENTION OF MISFIRES. APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.

EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER

PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES: REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE; MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT

MUCK PILES MANAGEMENT - MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK

CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER. C. SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT DURING BLASTING OPERATIONS. THE MEASURES TO PREVENT SUCH RELEASES SHALL BE DETAILED IN THE GROUNDWATER MONITORING REPORT AND COMPLY WITH THE MEASURES AND BEST MANAGEMENT PRACTICES LISTED ON THIS SHEET.

75' (MIN) (W/O BERM)

50' (MIN) WITH 3"-6"

DIVERSION BERM PROVIDED

**PAVEMENT** 

"(MIN) PAVEMEN

– MIRAFI FW-700

OR EQUAL

FULL SLOPE (10' MIN)

**PLAN VIEW** 

DIVERSION BERM-

75' (MIN) (W/O BERM)

50' (MIN) WITH 3"-6"

DIVERSION BERM PROVIDED

SIDE VIEW

. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION

DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM

ENTERING STORM DRAINS, DITCHES, OR WATERWAYS

WHICH WILL PREVENT TRACKING OF SEDIMENT FROM THE

SITE. WHEN WASHING IS REQUIRED, IT SHALL BE DONE SO

RUNOFF DRAINS INTO AN APPROVED SEDIMENT TRAPPING

STABILIZED CONSTRUCTION EXIT

NO SCALE

⊊6" (MIN) \\

3" CRUSHED

STONE

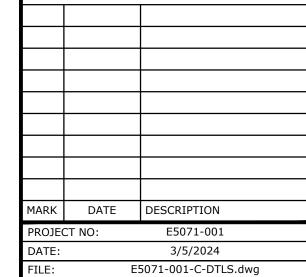
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# **PROPOSED MULTI-FAMILY DEVELOPMENT**

100 DURGIN LANE OWNER

100 DURGIN LANE PORTSMOUTH **NEW HAMPSHIRE** 



**EROSION CONTROL NOTES** AND DETAILS SHEET

BKC

NAH

PMC

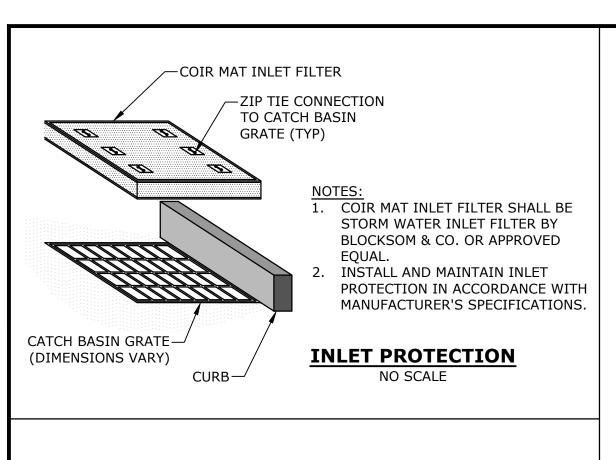
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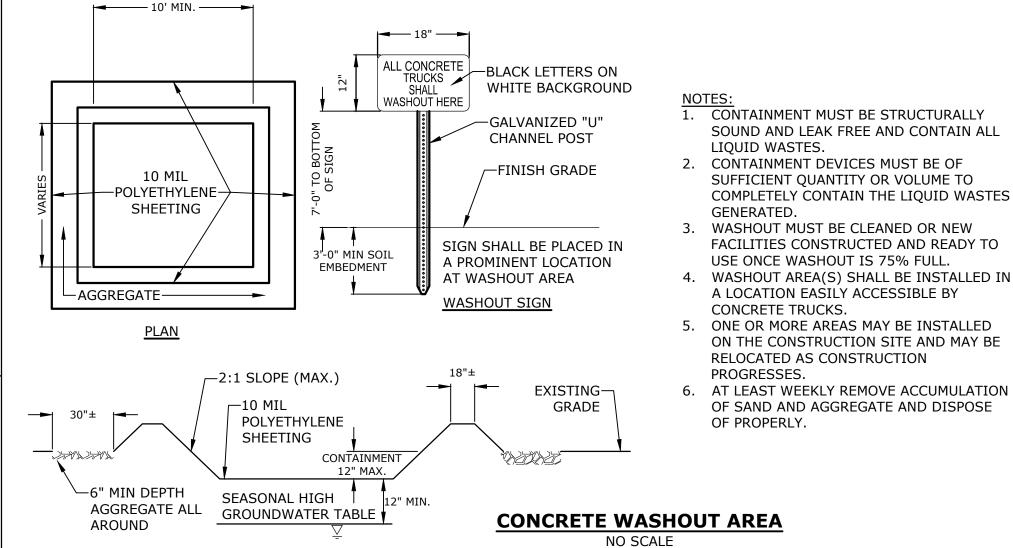
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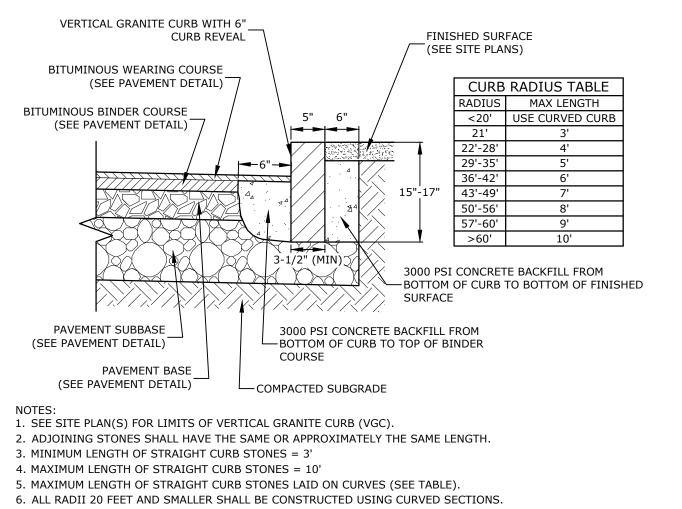
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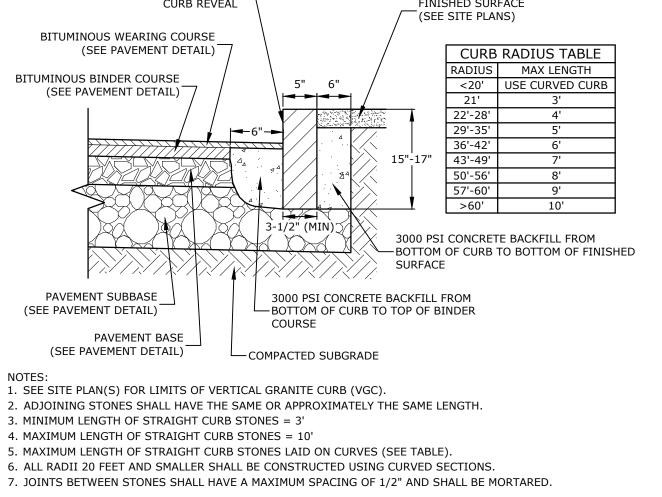
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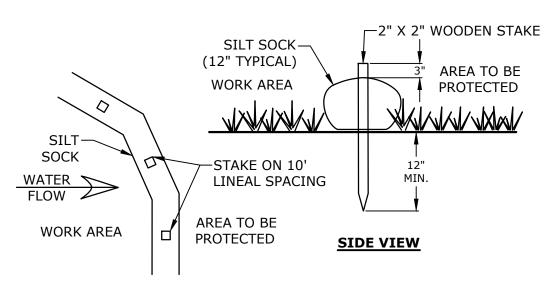


TYPICAL SECTION





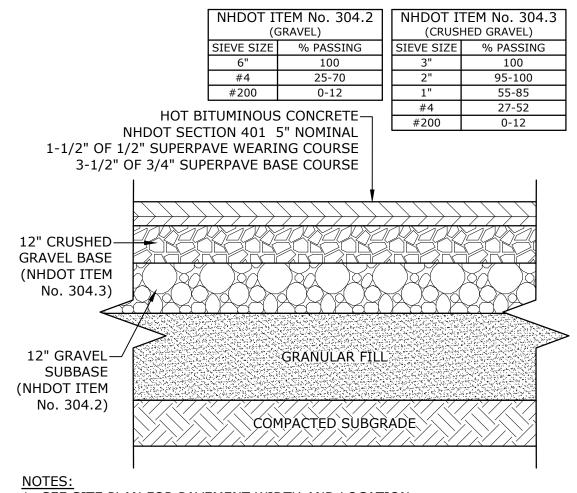
VERTICAL GRANITE CURB



#### **PLAN VIEW**

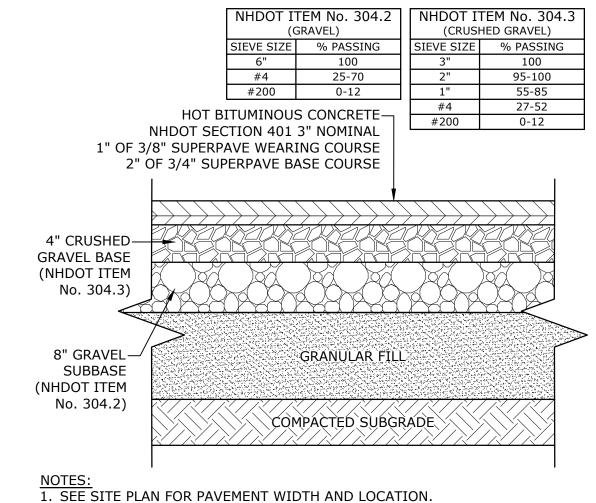
SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR APPROVED EQUAL. INSTALL SILT SOCK IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

#### SILT SOCK NO SCALE



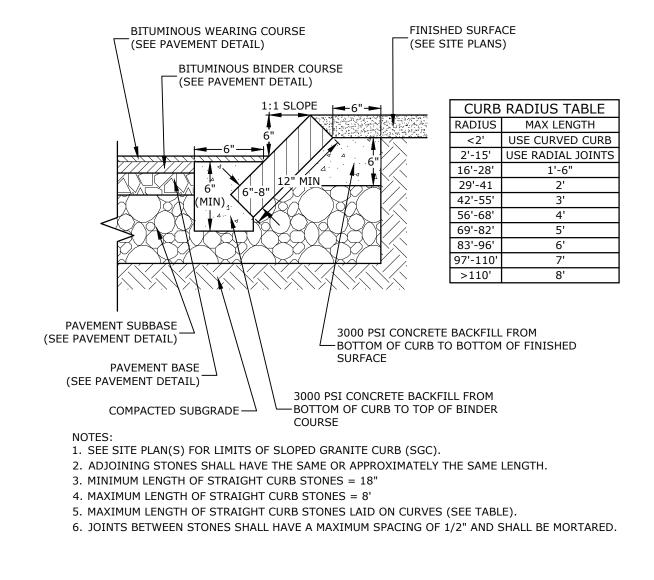
- . SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
- 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
- 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
- 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

# **CITY RIGHT-OF-WAY PAVEMENT SECTION**



- 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
- 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
- 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

#### **ON-SITE PAVEMENT SECTION** NO SCALE



SLOPED GRANITE CURB NO SCALE

1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING FAST DRYING

THERMOPLASTIC, REFLECTORIZED PAVEMENT PARKING MATERIAL MEETING THE

1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE

REQUIREMENTS OF ASTM D 4505.

TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.

2. SYMBOL SHALL BE CONSTRUCTED TO THE LATEST ADA, STATE AND LOCAL REQUIREMENTS

ACCESSIBLE SYMBOL

NO SCALE

-ADA SYMBOL TO BE

(OPTIONAL)

PAINTED ON 6'X6' BLUE NON-SKID BACKGROUND

# **MULTI-FAMILY DEVELOPMENT**

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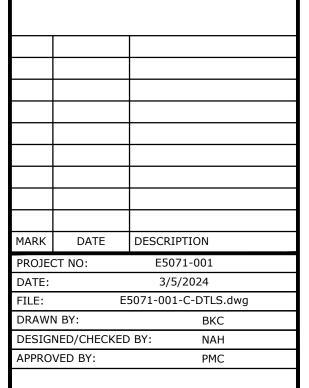
BIDDING OR CONSTRUCTION PURPOSES.

**PROPOSED** 

Tighe&Bond

100 DURGIN LANE OWNER,

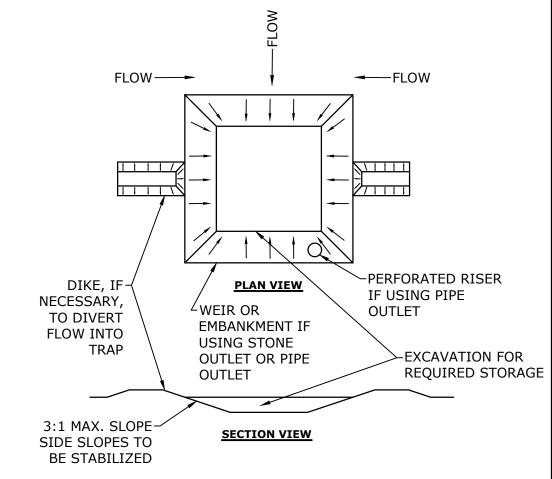
100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE



**DETAILS SHEET** 

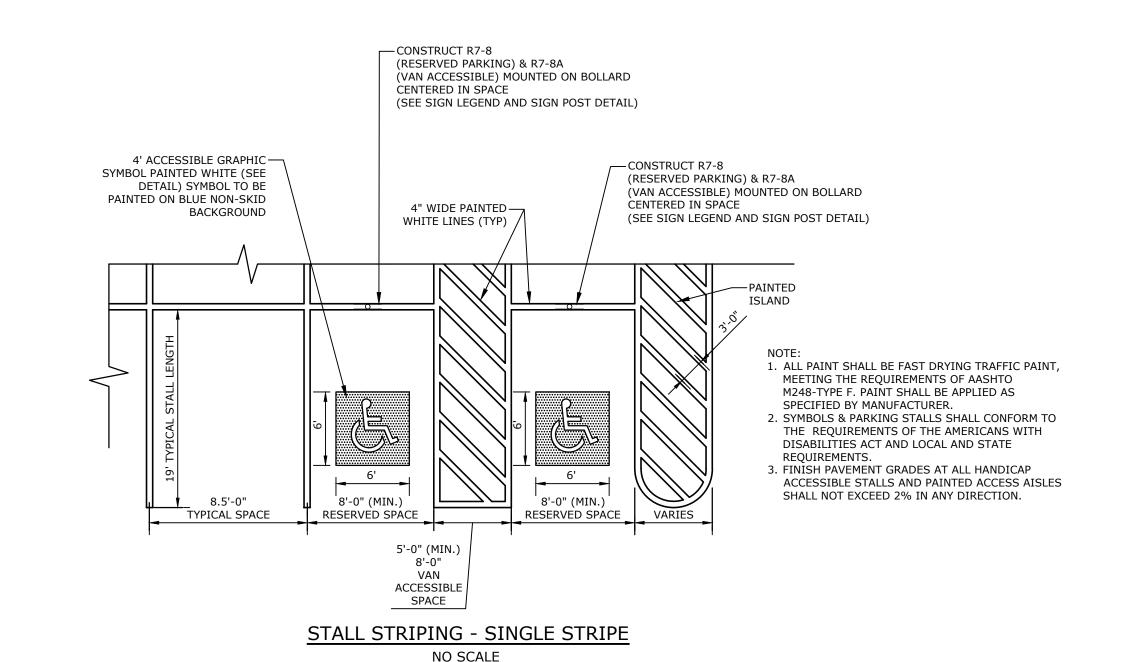
SCALE: AS SHOWN

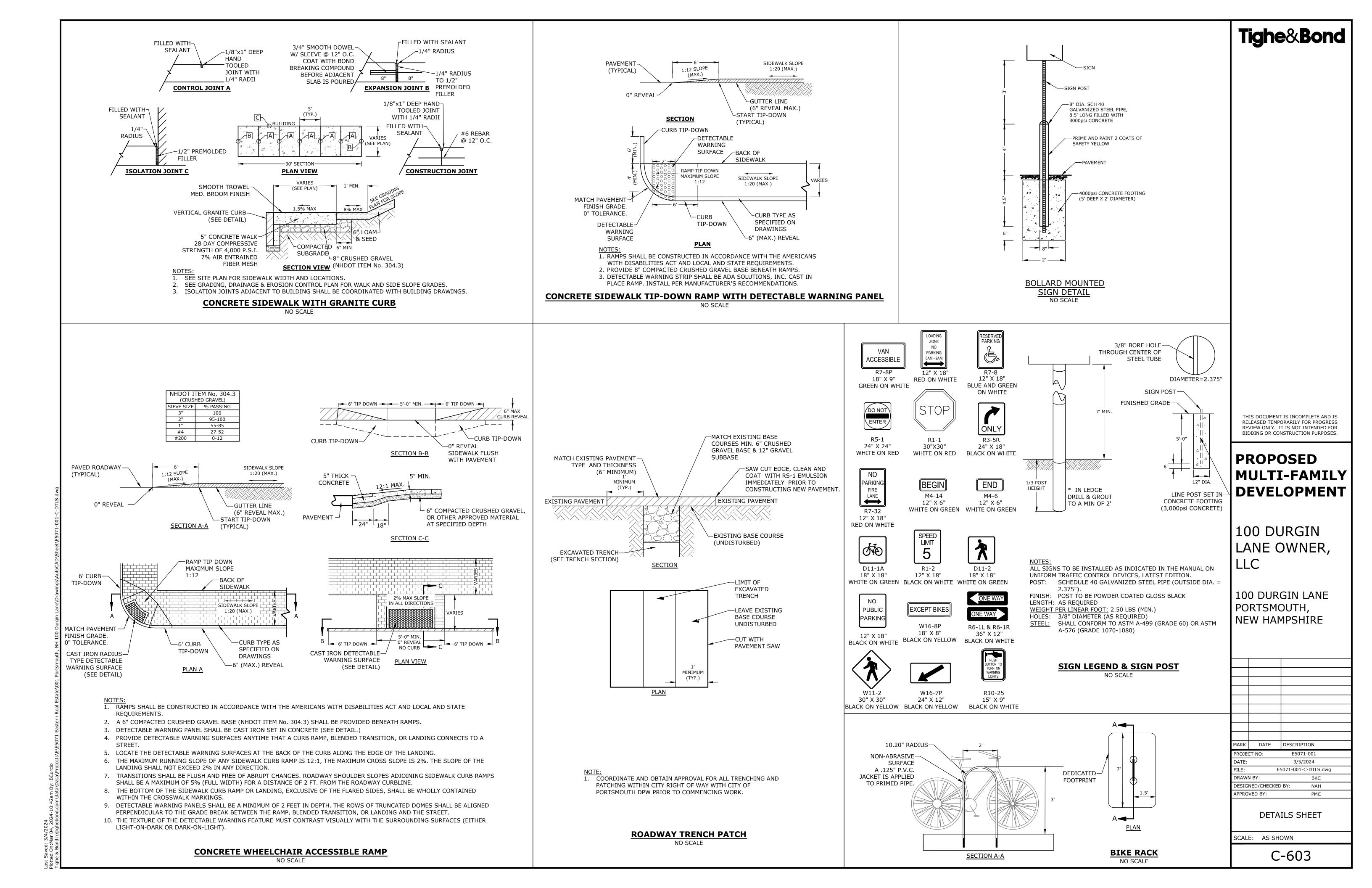
C-602

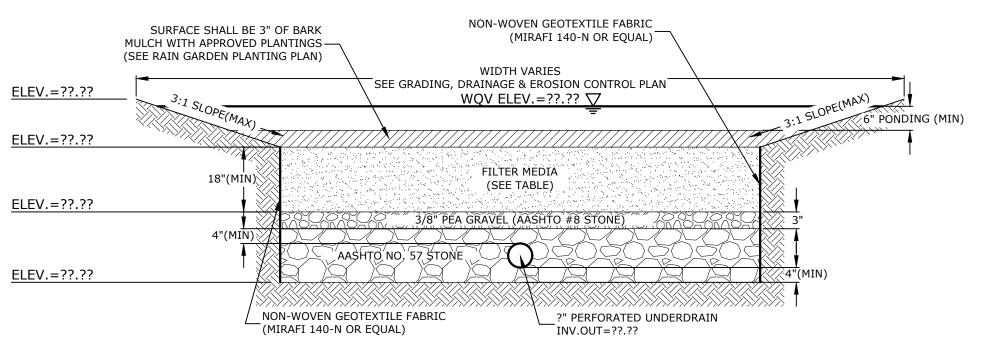


- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE
- THE MAXIMUM CONTRIBUTING AREA TO A SINGLE TRAP SHALL BE LESS THAN 5 ACRES.
- THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
- TRAP OUTLET SHALL BE MINIMUM OF ONE FOOT BELOW THE CREST OF THE
- TRAP SHALL DISCHARGE TO A STABILIZED AREA.
- TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS
- FILLED. MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF
- AND STABILIZED. SEDIMENT TRAPS MUST BE USED AS NEEDED TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.

#### **SEDIMENT TRAP** NO SCALE







#### SECTION VIEW

RAIN GARDEN

NO SCALE

GRADATION OF MATERIAL
VE NO. PERCENT PASSING

SEE NOTE #5

# BARK MULCH SHALL BE AGED A MINIMUM OF 12 MONTHS AND SHALL NOT FLOAT. RAIN GARDENS SHALL NOT BE PLACED INTO SERVICE UNTIL THE PRACTICE HAS BEEN

- PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

  3. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT.

  CONTRACTOR SHALL KEEP ALL EXCAVATION EQUIPMENT OUTSIDE OF THE LIMIT OF
- 4. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR LOCATIONS, LAYOUTS, AND
- ELEVATIONS.
  5. THE SAND PORTION OF THE FILTER MEDIA SHALL MEET THE FOLLOWING GRADATION

(ASTM C-33):	
SIEVE SIZE	PERCENT PASSING
3/8"	100
#4	95-100

50-85

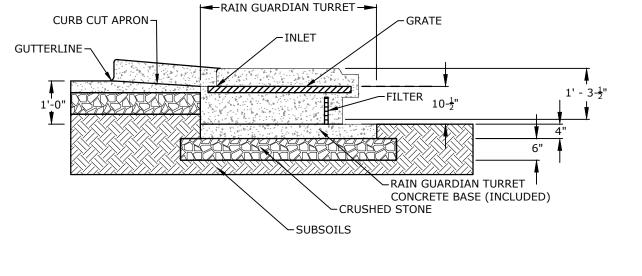
25-60

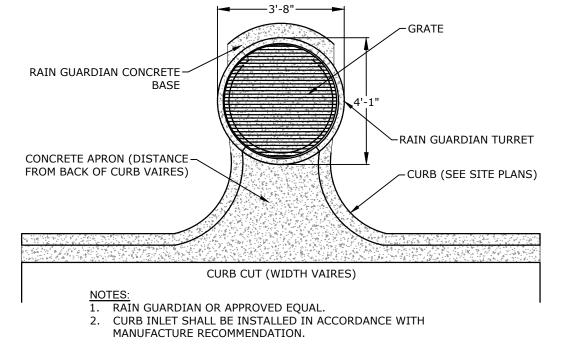
5-30 0-10

#16

#30

#50 #100





RAIN GUARDIAN TURRET
NO SCALE

# 6'-0" — 9'-4" — 5'-1"

COMPONENT MATERIAL

LOAMY SAND TOPSOIL

ASTM C-33 CONCRETE SAND

MODERATELY FINE SHREDDED

BARK OR WOOD FIBER MULCH

FILTER MEDIA COMPOSITION:

PERCENT OF MIXTURE

50-55

20-30

20-30

SHARROW

**→** 2'-6" **→** 

STRAIGHT ARROW

<u>ONLY</u>

TURN ARROW

COMBINATION ARROW

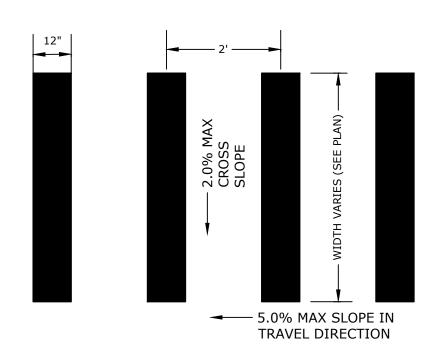
#### NOTES:

- 1. ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST VERSION OF THE MUTCD.
- 2. MULTI-WORD MESSAGES SHALL READ "UP"; THAT IS, THE FIRST WORD SHALL BE NEAREST THE APPROACHING DRIVER.
- 3. THE WORD "ONLY" SHALL NOT BE USED WITH THROUGH OR COMBINATION ARROWS, AND SHALL NOT BE USED ADJACENT TO A BROKEN LANGLING. A WORD SYMBOL SHALL PRECED THE WORD "ONLY"
- BE USED ADJACENT TO A BROKEN LANE LINE. A WORD/SYMBOL SHALL PRECEED THE WORD "ONLY".

  4. COMBINATION ARROWS MAY BE COMPRISED OF 2 SINGLE ARROWS (e.g. TURN AND THROUGH
- ARROWS). HOWEVER, THE SHAFTS OF THE ARROWS SHALL COINCIDE AS SHOWN.
- 5. PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.6. WRONG-WAY ARROWS SHALL NOT BE SUBSTITUTED FOR THROUGH ARROWS.
- WRONG-WAY ARROWS SHALL NOT BE SUBSTITUTED FOR THROUGH ARROWS
   ALL STOP BARS, WORDS, SYMBOLS AND ARROW SHALL BE THERMOPLASTIC.

PAVEMENT MARKINGS

NO SCALE

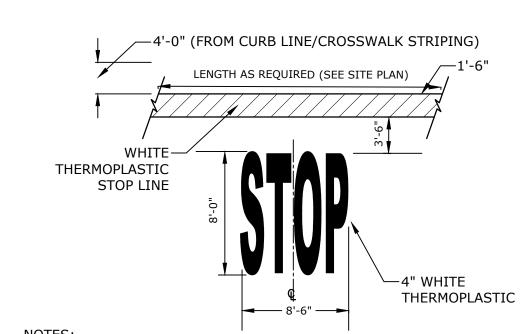


NOTE:

1. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTERIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

#### **CROSSWALK STRIPING**

NO SCALE

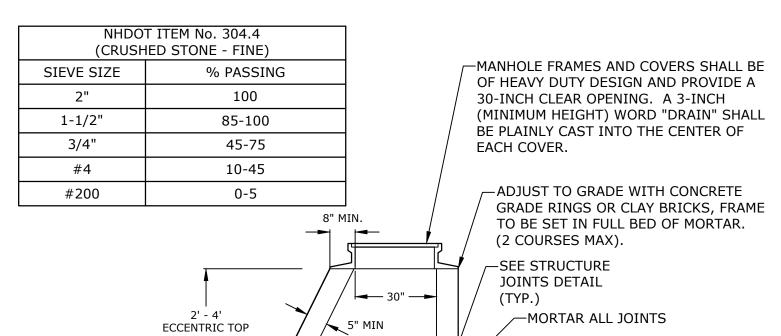


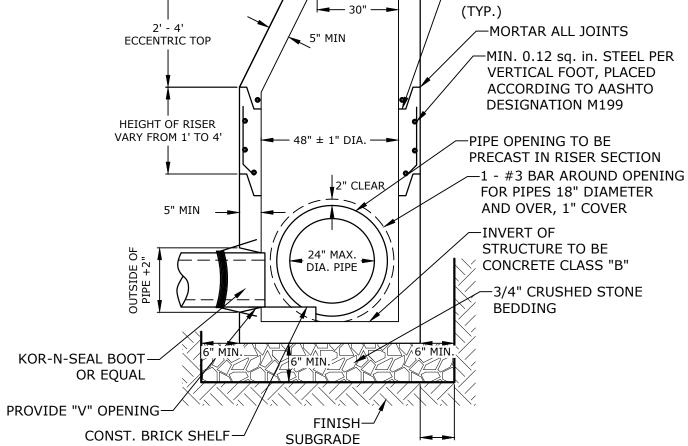
# NOTES: 1. PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE

2. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTERIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

#### STOP BAR AND LEGEND

NO SCALE





#### <u>IOTES:</u> . ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.

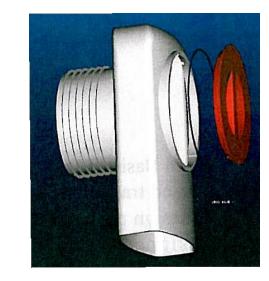
2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS

6" TYP.

- AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- 3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
- 4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
- 5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
- 6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.7. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
- 8. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
- 9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
- 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZNTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

#### **4' DIAMETER DRAIN MANHOLE**

NO SCALE



NOTEC.

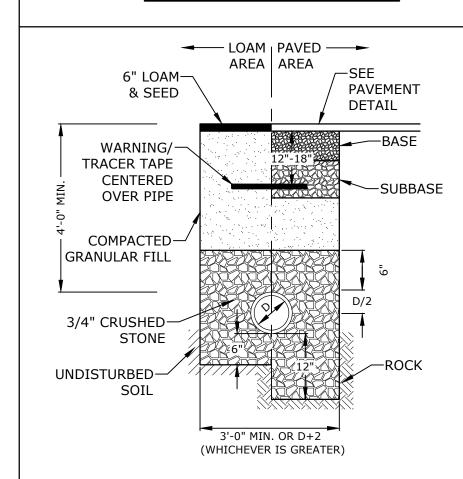
- NOTES:

  1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY
- KLEANSTREAM (NO EQUAL)

  2. INSTALL DEBRIS TRAP TIGHT TO
- INSIDE OF STRUCTURE.

  3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

# "ELIMINATOR" OIL FLOATING DEBRIS TRAP



NOTES:

- 1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
- 2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

#### STORM DRAIN TRENCH

NO SCALE

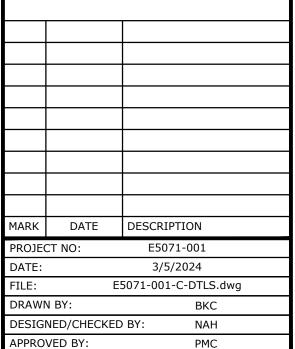
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Tighe&Bond

# PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER,

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

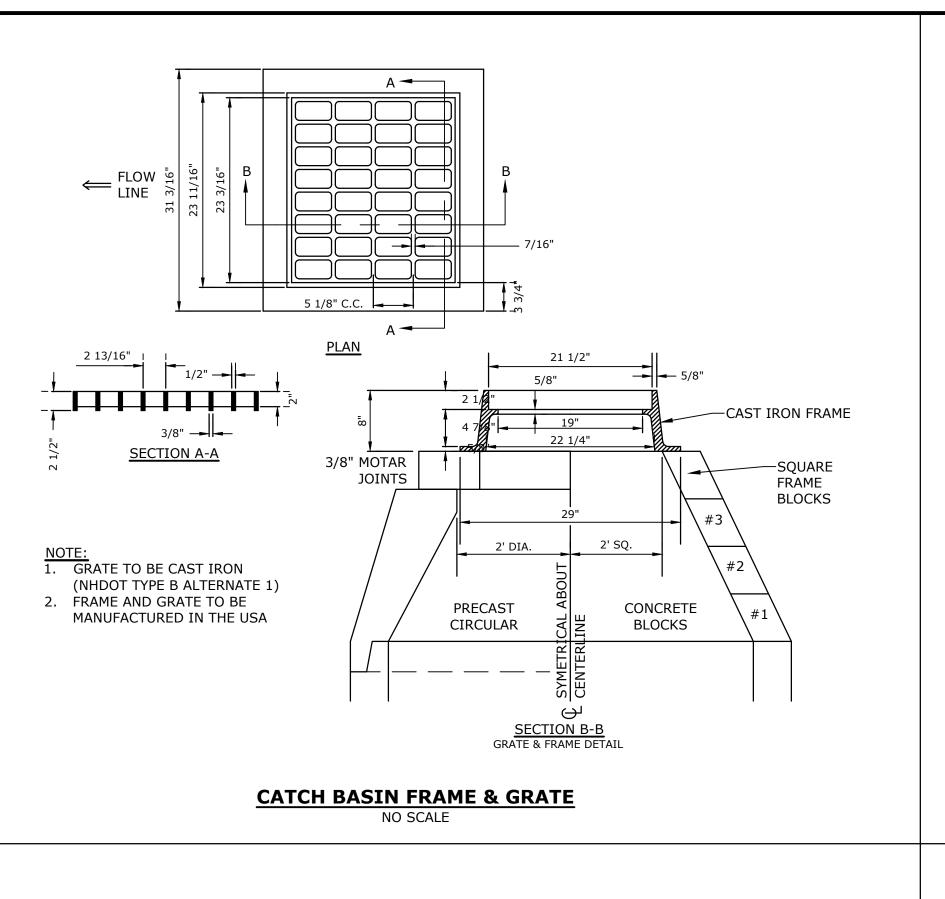


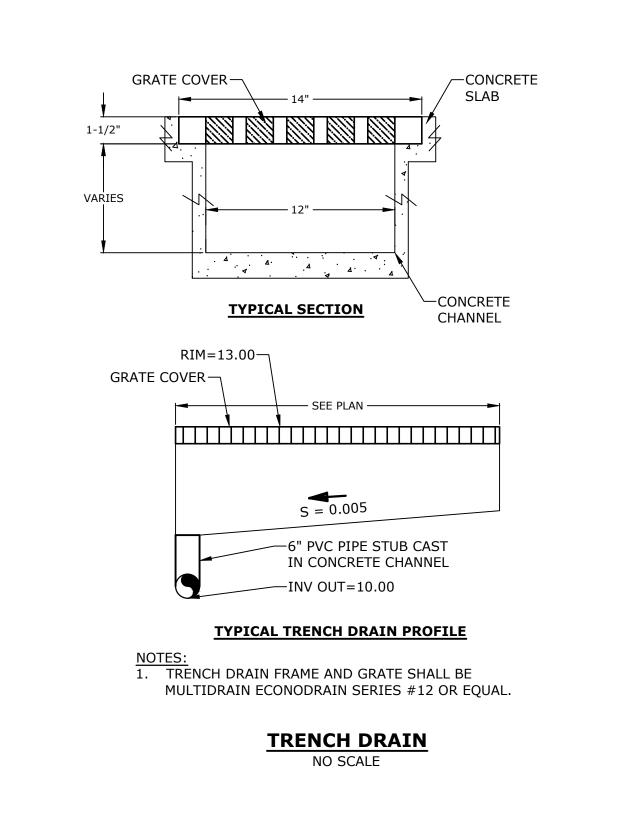
DETAILS SHEET

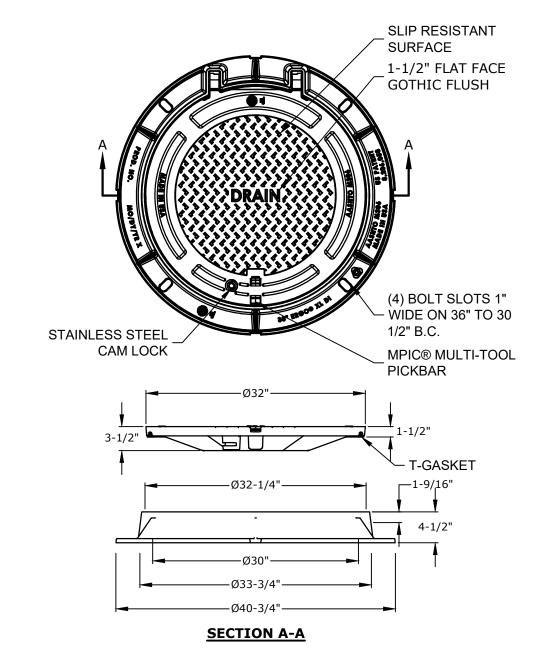
SCALE: AS SHOWN

 $C = C \cap A$ 

C-604

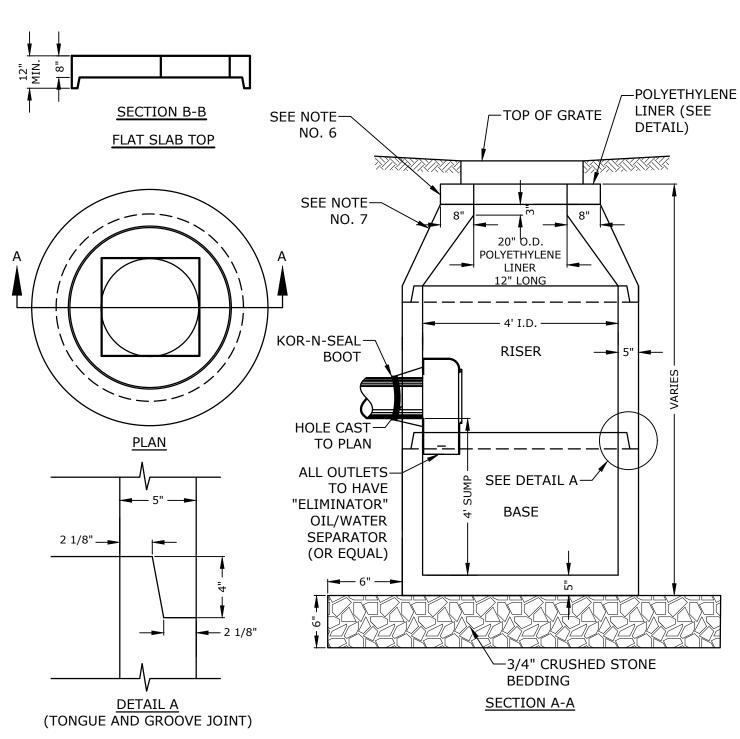






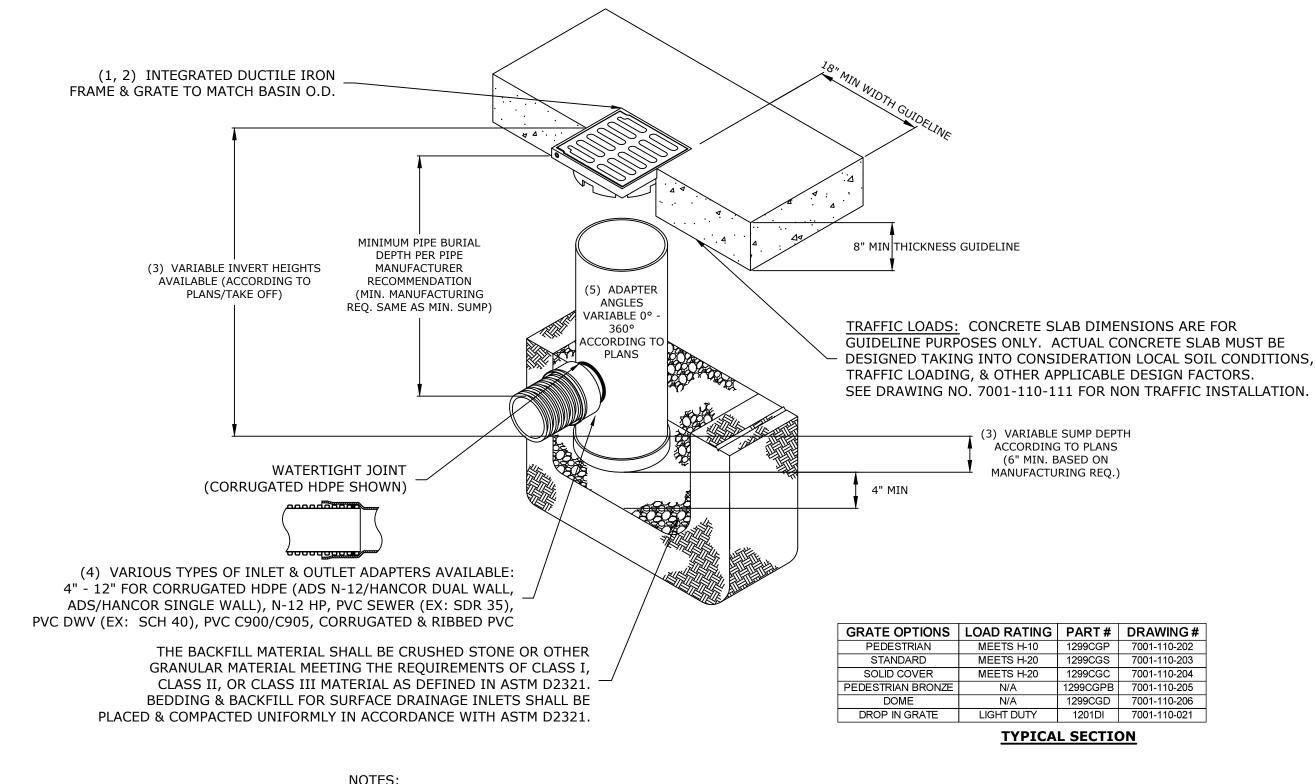
- 1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL
- BY EJ CO. 2. ALL DIMENSIONS ARE NOMINAL
- FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
- A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING. B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
- C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
- 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER OF THE COVER.

**DRAIN MANHOLE FRAME & COVER** 



- ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi).
- CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ.IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- 3. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL
- REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
- 4. RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
- 5. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
- 6. FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2
- COURSES MAX.). 7. CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE
- PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.
- 8. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING. 9. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
- 10. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
- 11. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT. 12. "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

#### 4' DIAMETER CATCHBASIN

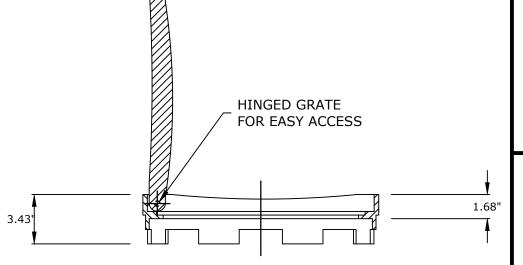


- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE. 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05

3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.

- RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065
- 4 DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
- 5 ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

**YARD DRAIN** NO SCALE



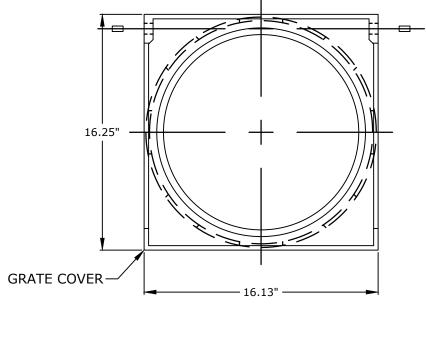
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Tighe&Bond

# **PROPOSED MULTI-FAMILY DEVELOPMENT**

100 DURGIN LANE OWNER,

100 DURGIN LANE PORTSMOUTH, **NEW HAMPSHIRE** 



0.36"

NOTES:

1. NYLOPLAST MODEL 1299CGPBL OR EQUAL.

YARD DRAIN FRAME AND GRATE

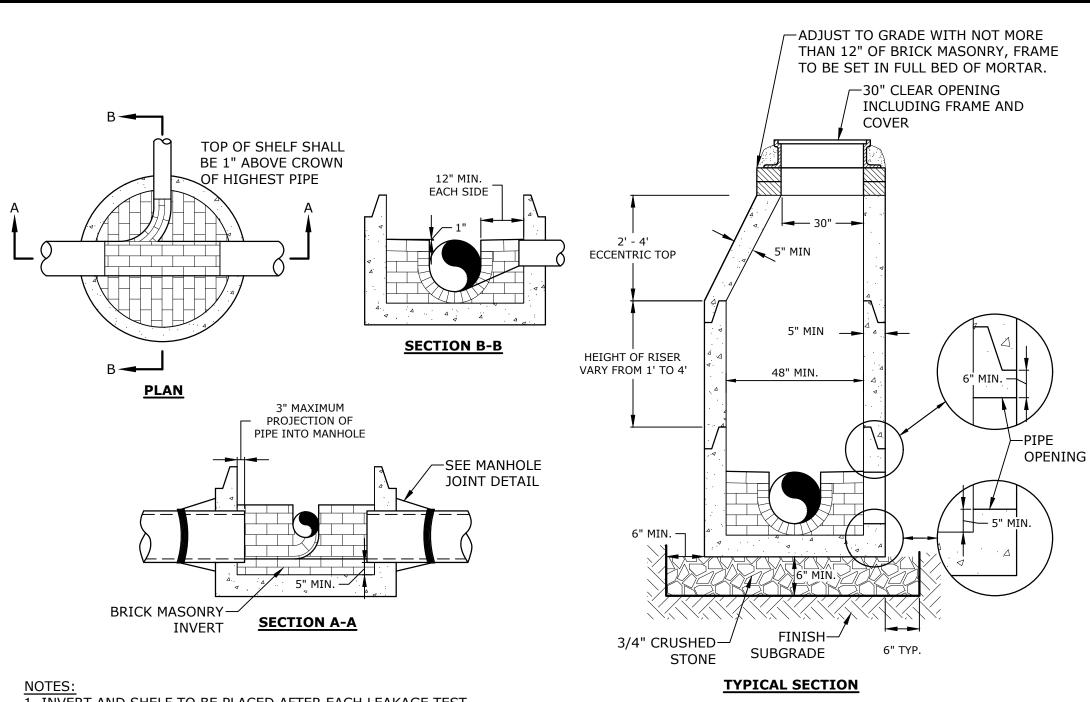
NO SCALE

MARK DATE DESCRIPTION PROJECT NO: E5071-001 3/5/2024 E5071-001-C-DTLS.dwg DRAWN BY: BKC DESIGNED/CHECKED BY: NAH APPROVED BY: PMC

**DETAILS SHEET** 

SCALE: AS SHOWN

C-605



1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.

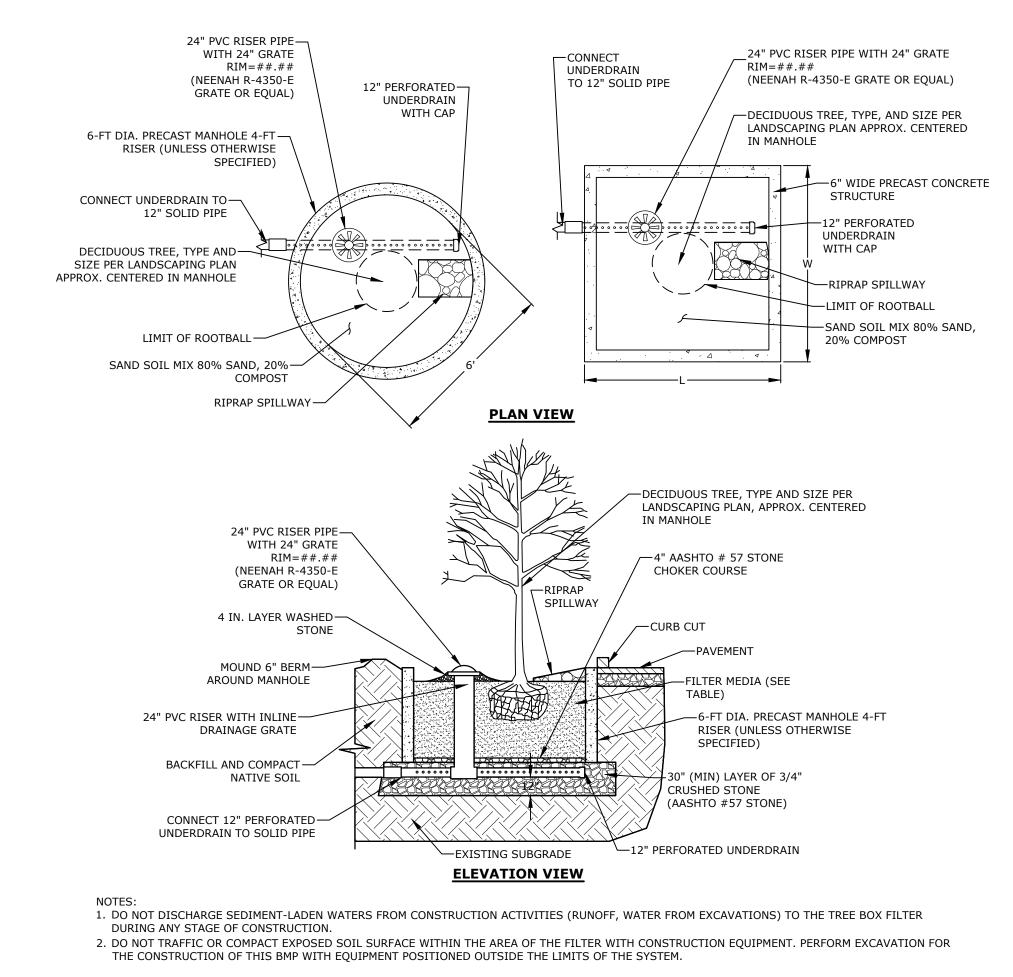
2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.

3. INVERT BRICKS SHALL BE LAID ON EDGE

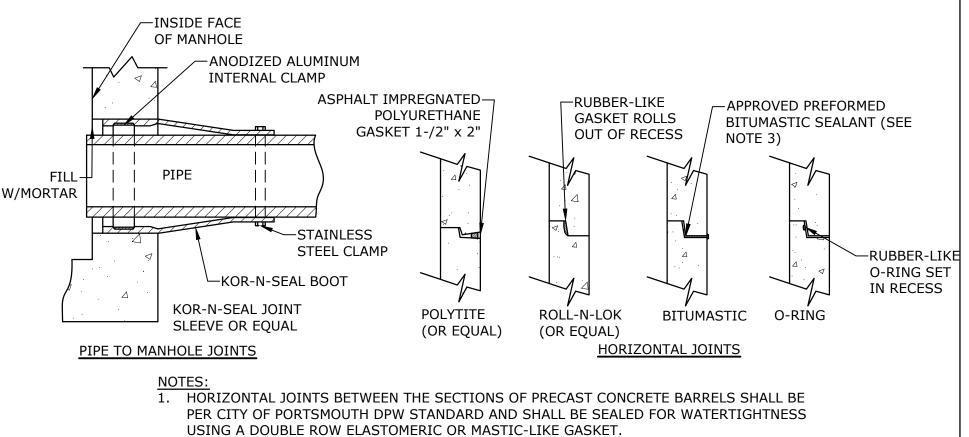
4. TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.

- 5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY EJ. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
- 6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT. 7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM C478-06.

#### **SEWER MANHOLE** NO SCALE



TREE BOX FILTER



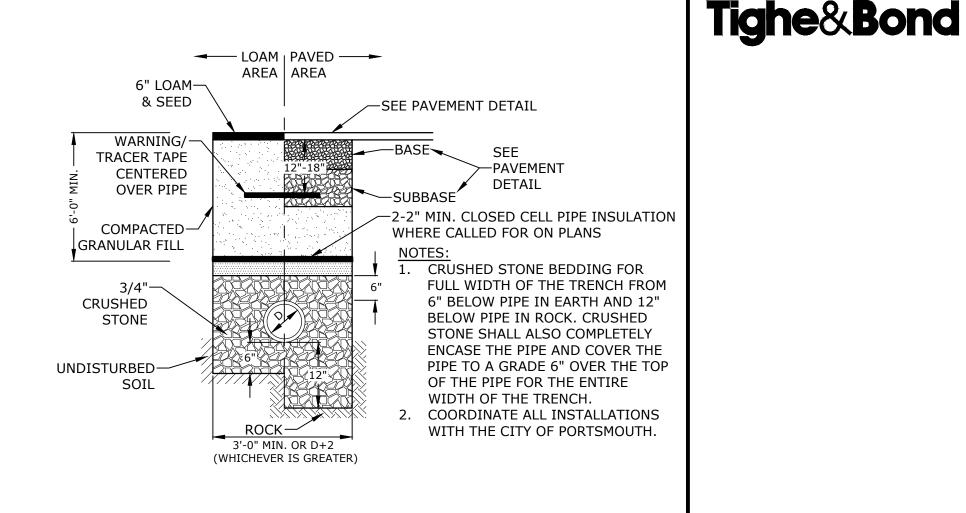
2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.

3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.

4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

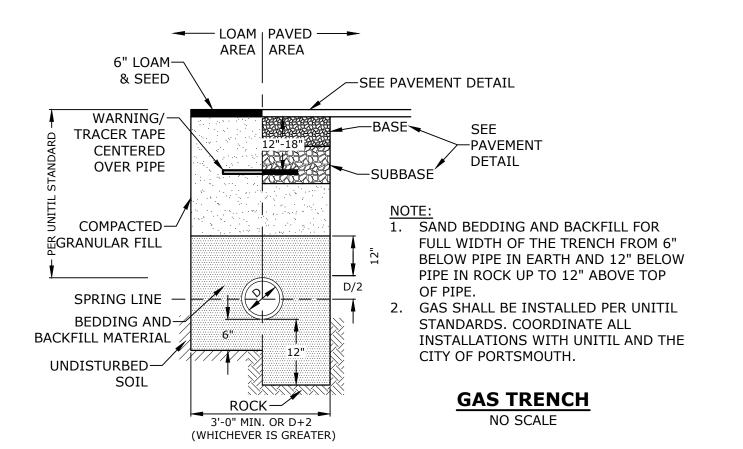
#### **MANHOLE JOINTS**

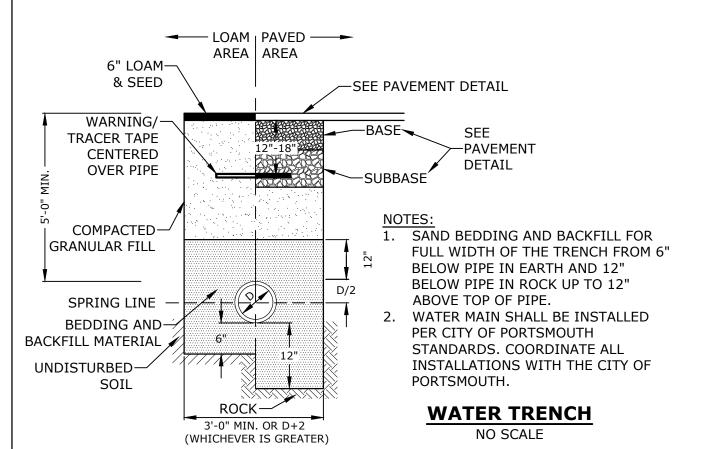
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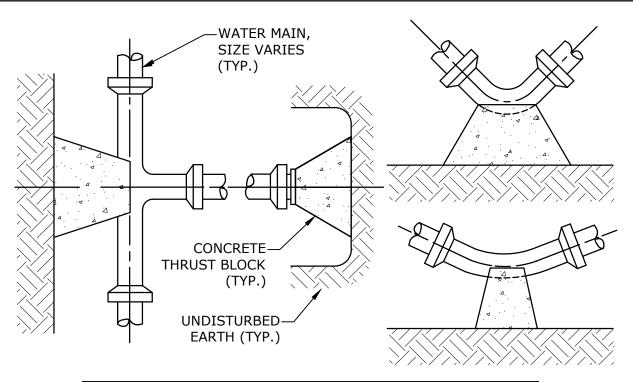


#### **SEWER SERVICE TRENCH**

NO SCALE







200psi	SQUARE FEET		RETE THR			RING ON
- 1	REACTION			PIPE SIZE		
   	TYPE	4"	6"	8"	10"	12"
PRESSURE	A 90°	0.89	2.19	3.82	11.14	17.24
RES	B 180°	0.65	1.55	2.78	8.38	12.00
	C 45°	0.48	1.19	2.12	6.02	9.32
TEST	D 22-1/2°	0.25	0.60	1.06	3.08	4.74
	E 11-1/4°	0.13	0.30	0.54	1.54	2.38

- 1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
- 2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF
- 3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
- 4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
- 5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

#### THRUST BLOCKING DETAIL

**PROPOSED MULTI-FAMILY DEVELOPMENT** 

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BIDDING OR CONSTRUCTION PURPOSES.

100 DURGIN LANE OWNER,

100 DURGIN LANE PORTSMOUTH, **NEW HAMPSHIRE** 

MARK	DATE	DESCRIPTION
PROJE	PROJECT NO: E5071-001	
DATE: 3/5/2024		3/5/2024
FILE:	E:	5071-001-C-DTLS.dwg
DRAWI	N BY:	ВКС
DESIG	NED/CHECKED	BY: NAH
APPRO	VED BY:	PMC

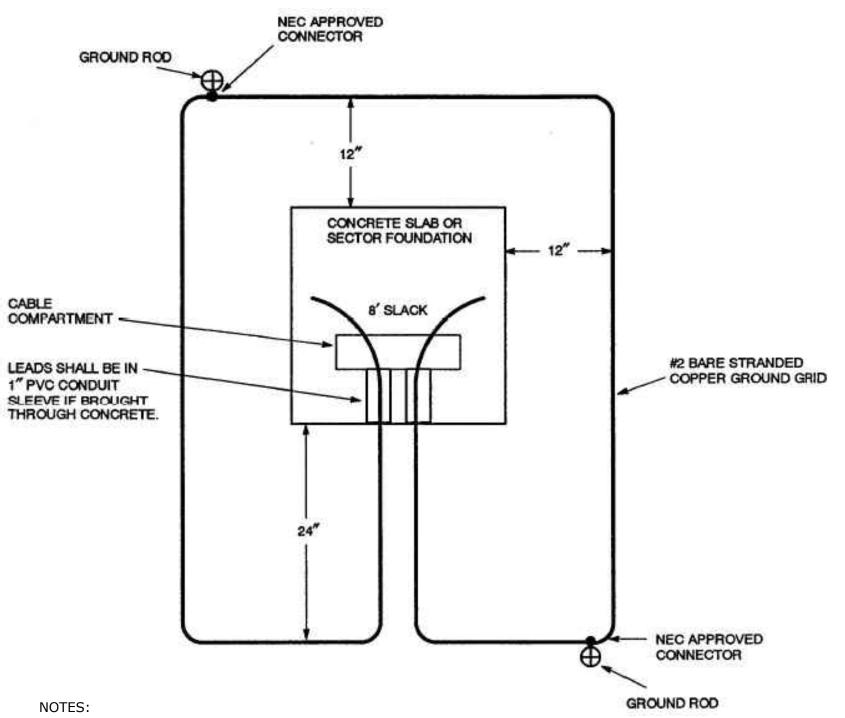
**DETAILS SHEET** 

SCALE: AS SHOWN

C-606

—PLUG OR CONNECT TO EXISTING— SERVICE CONNECTION 6" MIN. DIA. 45° BEND--45° BEND LATERAL -MANUFACTURED UNLESS OTHERWISE WYE CONNECTOR ALLOWED BY ENGINEER -SEWER -MANUFACTURED **VARIES** WYE CONNECTOR **TYPICAL SECTION** 

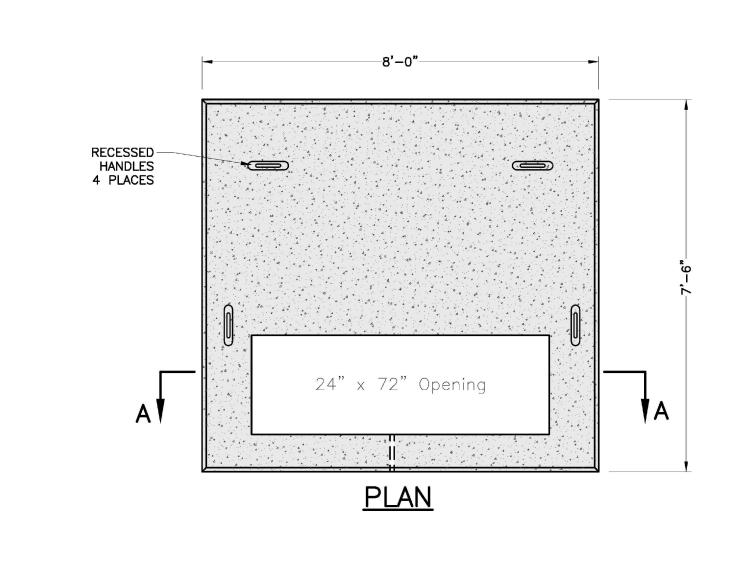
STANDARD SERVICE LATERAL CONNECTION

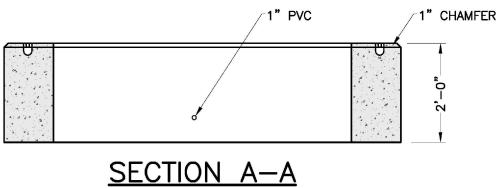


THE GROUND GRID SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AND IS TO BE BURIED AT LEAST 12 INCHES BELOW GRADE. EIGHT FEET OF EXTRA WIRE FOR EACH GROUND GRID LEG SHALL BE LEFT EXPOSED IN THE CABLE COMPARTMENT TO ALLOW FOR THE CONNECTION TO THE TRANSFORMER. THE TWO 8-FOOT GROUND RODS MAY BE EITHER GALVANIZED STEEL OR COPPERWELD AND THEY SHALL BE CONNECTED TO THE GRID WITH NEC APPROVED CONNECTORS.

### PAD-MOUNTED EQUIPMENT GROUNDING GRID DETAIL

NO SCALE





NOTES:

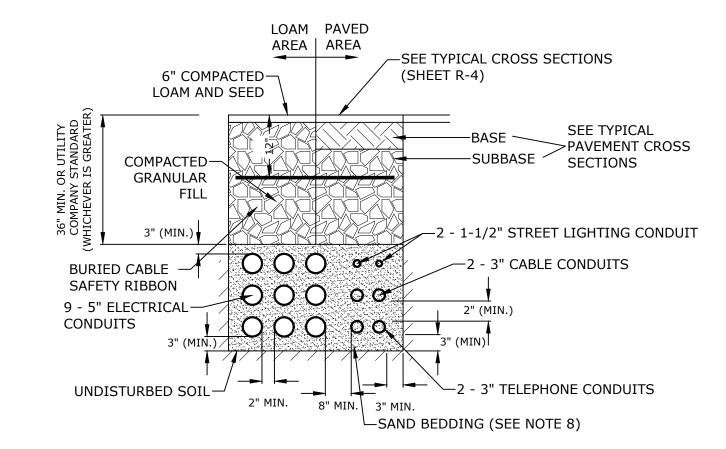
1. DIMENSIONS SHOWN REPRESENT TYPICAL REQUIREMENTS. MANHOLE LOCATIONS AND REQUIREMENTS SHALL BE COORDINATED WITH EVERSOURCE PRIOR TO CONSTRUCTION

- 2. CONCRETE MINIMUM STRENGTH 4,000 PSI @ 28 DAYS
- 3. STEEL REINFORCEMENT ASTM A615, GRADE 60
- 4. PAD MEETS OR EXCEEDS EVERSOURCE SPECIFICATIONS

3-PHASE TRANSFORMER PAD
NO SCALE

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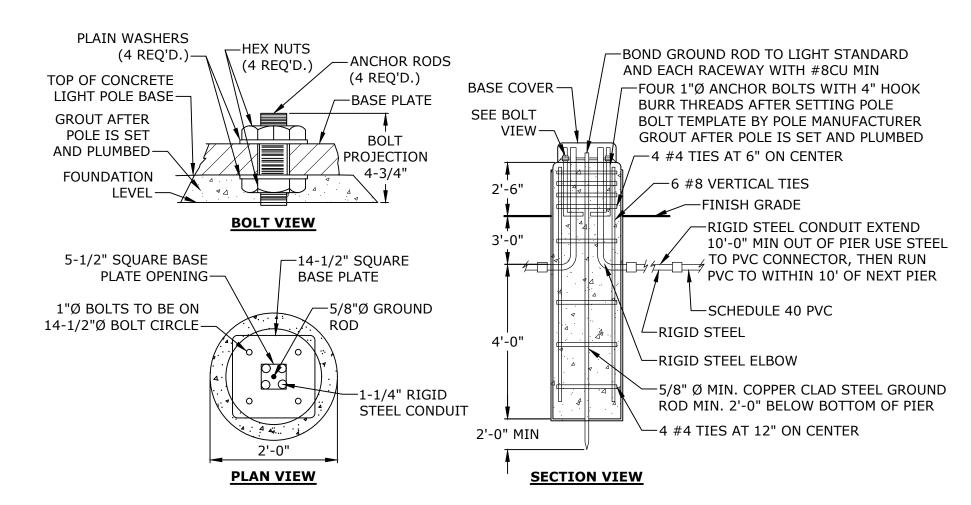


#### NOTES

- 1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
- DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
   NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
- 4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
- 5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
- 6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
- 7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH
- 8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT

NO SCALE



#### <u>NOTES</u>

- 1. PAINT BASE SAFETY YELLOW (UNLESS PROTECTED BY CURBED ISLAND).
- 2. CONCRETE TO BE CLASS A, 4000 PSI, AIR ENTRAINED STEEL TO BE 60 KSI
- 3. REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.4. LIGHT POLE BASE DETAIL FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL SUBMIT SHOP
- DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS
  AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.

#### **TYPICAL LIGHT POLE BASE**

NO SCALE

# PROPOSED MULTI-FAMILY DEVELOPMENT

100 DURGIN LANE OWNER, LLC

100 DURGIN LANE PORTSMOUTH, NEW HAMPSHIRE

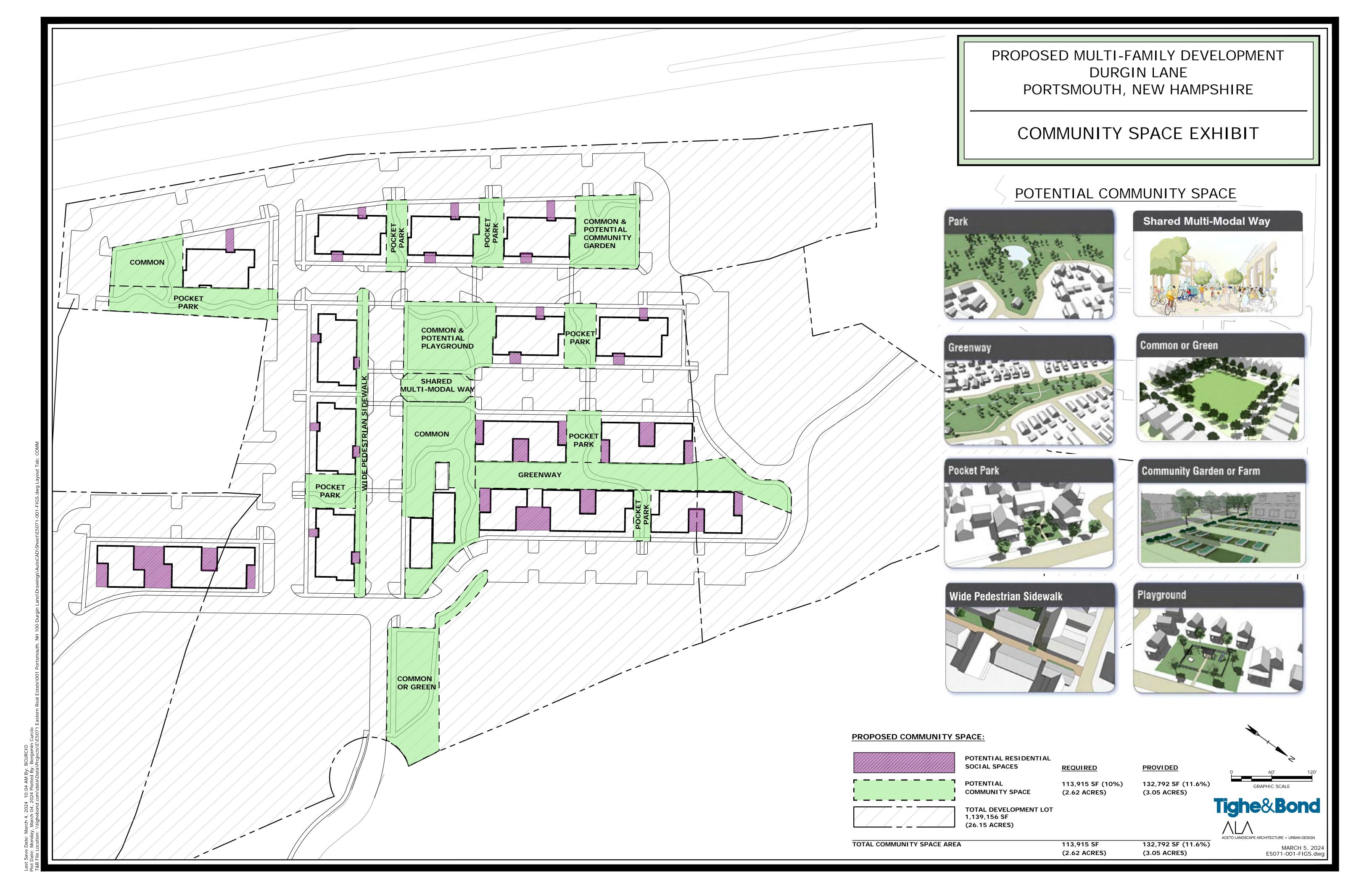
MARK	DATE	DESCRIPTION
	Ditte	BESCRIP FIGH
PROJEC		E5071-001
PROJECT		
	CT NO:	E5071-001
DATE:	CT NO:	E5071-001 3/5/2024
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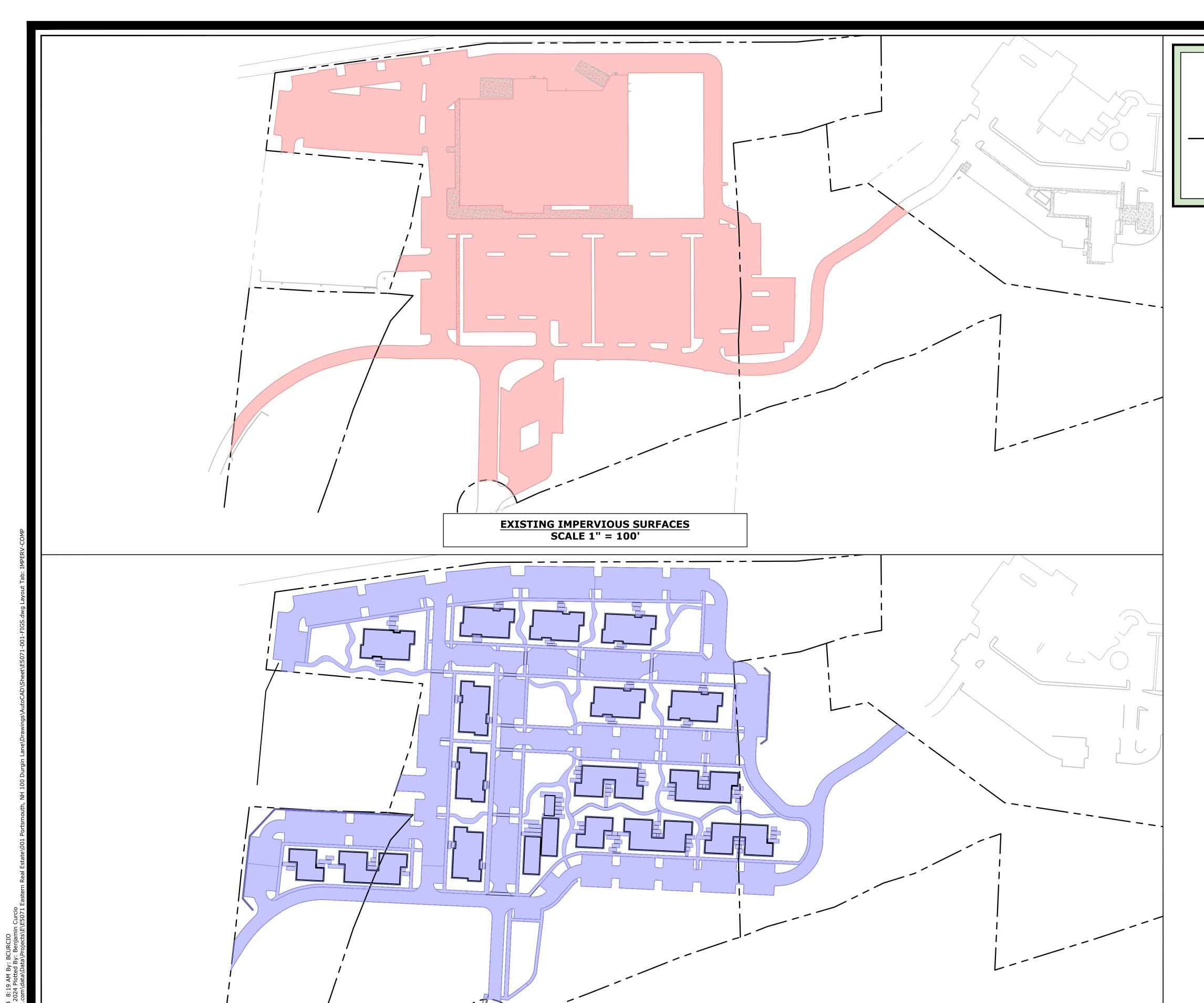
DETAILS SHEET

SCALE: AS SHOWN

C-607

Last Saved: 3/4/2024 Plotted On:Mar 04, 2024-10:42am By: BCurcio





PROPOSED IMPERVIOUS SURFACES
SCALE 1" = 100'

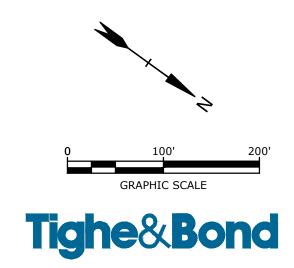
PROPOSED MULTI-FAMILY DEVELOPMENT

DURGIN LANE

PORTSMOUTH, NEW HAMPSHIRE

IMPERVIOUS SURFACE REDUCTION EXHIBIT

Impervious Surface Within Site		
Existing Conditions	434,787 sf	
Proposed Development	422,487 sf	
Net Impervious Cover	-12,300 sf	



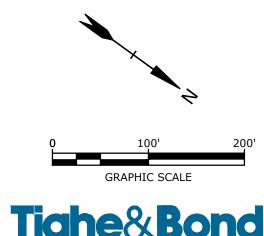
MARCH 5, 2024 E5071-001-FIGS.dwg



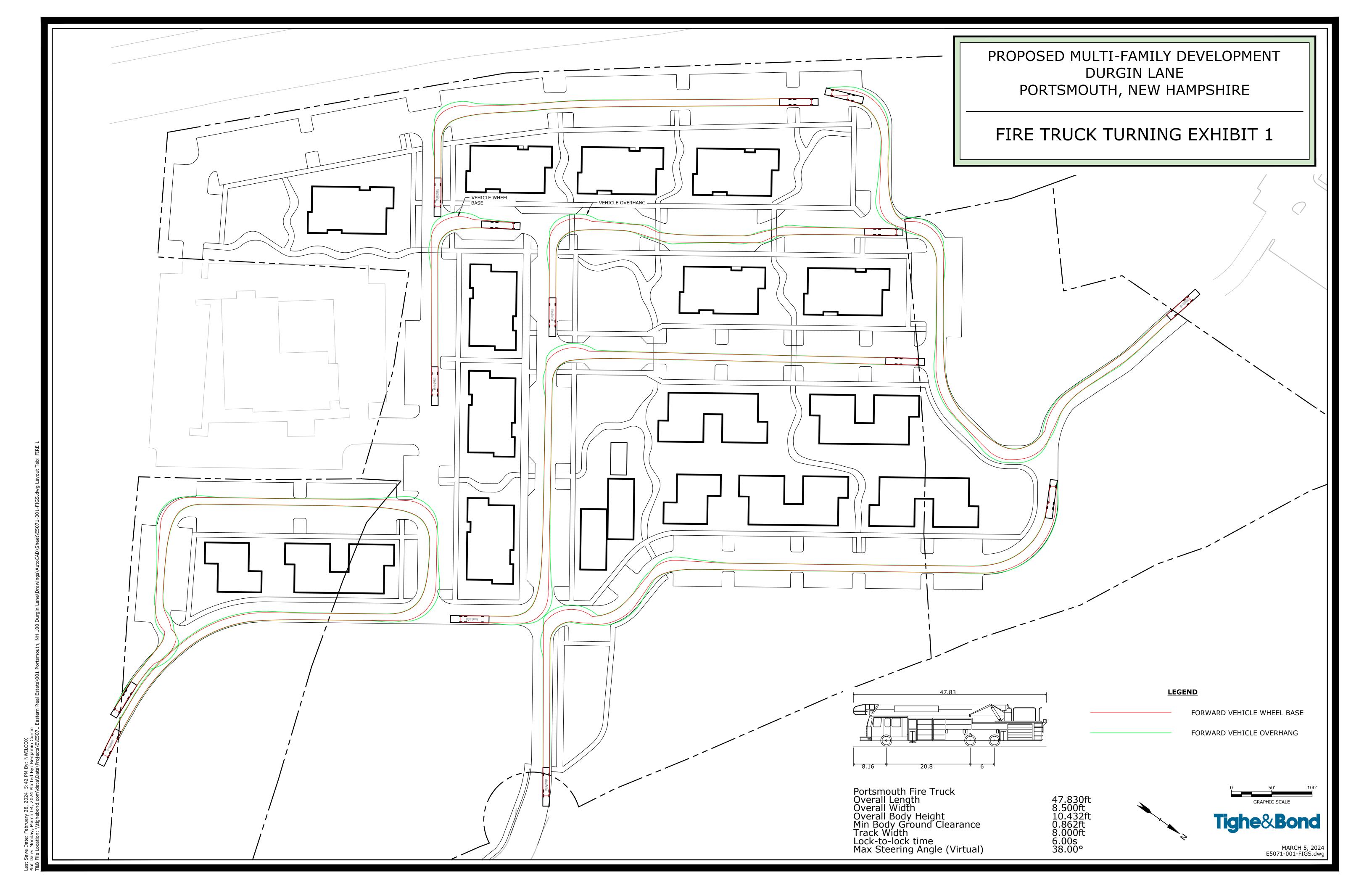
# PROPOSED MULTI-FAMILY DEVELOPMENT **DURGIN LANE** PORTSMOUTH, NEW HAMPSHIRE

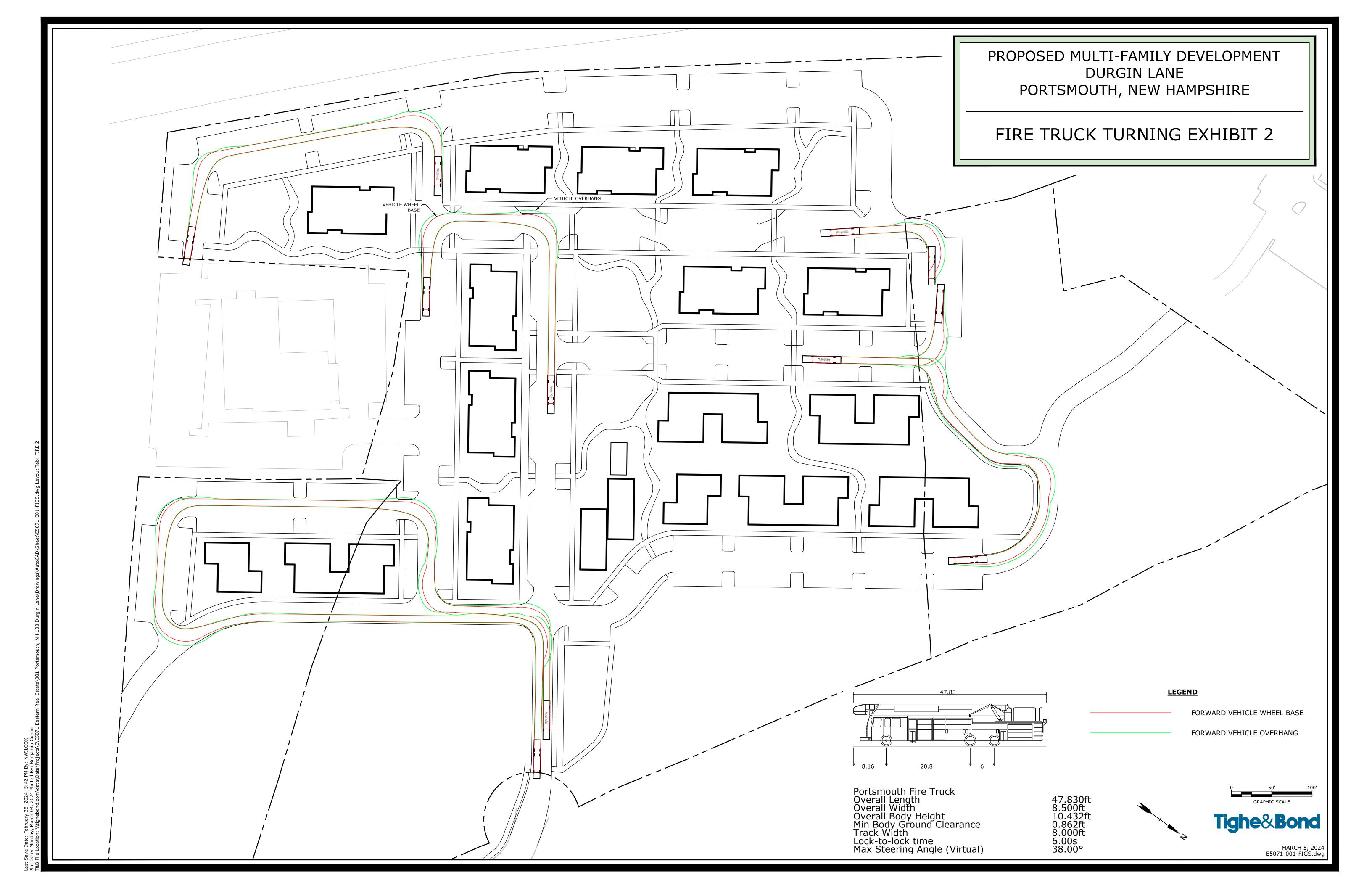
# WETLAND BUFFER IMPERVIOUS SURFACE EXHIBIT

Impervious Surface Within Buffer Area				
Local Wetland Duffer	Impervious Surface			
Local Wetland Buffer Setback	Existing Condition	Proposed Development		
0 - 25 FT	3,114 SF	2,467 SF		
25 - 50 FT	12,156 SF	9,769 SF		
50 - 100 FT	45,974 SF	51,476 SF		
Total Impervious Surface	61,244 SF	63,712 SF		
Net Impervious Sruface	2,468 SF			



MARCH 5, 2024 E5071-001-FIGS.dwg





Memorandum Tighe&Bond

#### 100 Durgin Lane Multi-family Redevelopment Preliminary Water and Wastewater Demand Analysis

**To:** City of Portsmouth, Technical Advisory Committee

FROM: Neil A. Hansen, PE

Patrick M. Crimmins, PE

**COPY:** 100 Durgin Lane Owner, LLC

**DATE:** March 5, 2024

The following memo is to provide an estimate of the average daily water and wastewater flows anticipated for the above-mentioned project for the purpose of allowing city staff to review capacity of the existing system. The flows have been calculated as a total development area.

The proposed project is located at 100 Durgin Lane and includes lots identified as Map 239 Lots 16, 16 & 18 on the City of Portsmouth Tax Maps. The site was previously home to Christmas Tree Shops and Bed, Bath and Beyond locations which are no longer in operation. The proposed project consists of the demolition of the existing Christmas Tree Shops and Bed, Bath and Beyond building and the construction of approximately 360 rental housing units in a mix of 3-story and 4-story buildings. The proposed sewer connection will be connected to the existing sewer manhole in Durgin Lane which has a 10" PVC outlet pipe.

As depicted in the table below, the average daily flow in gallons per day (GPD) has been calculated for the proposed project in accordance with Table 3-3: of Metcalf and Eddy, "Wastewater Engineering Treatment and Resource Reuse" as required under NHDES Env-Wq 700.

Overall Net Proposed Peak Gal/Day Design					
<u>Use</u>	Design Unit	Unit Design Flow (GPD)	Design Flow		
Proposed:					
Studio Apartment	63 Units	120 GPD/Bdrm	7,560 GPD		
1 Brdm Apartment	163 Units	120 GPD/Bdrm	19,560 GPD		
2 Brdm Apartment	134 Units	120 GPD/Bdrm	32,160 GPD		
Community Building	5,000 SF	5 GPD/100 SF	250 GPD		
	5 Employees	10 GPD/Employee	50 GPD		
		Total Proposed:	59,580 GPD		
Existing, To Be Removed:					
Shopping Center	632 Parking Spaces	2 GPD/Parking Space	1,264 GPD		
	70 Employees	10 GPD/Employee	700 GPD		
		Total, To Be Removed	1,964 GPD		
		Total Net Flow	57,616 GPD		

# Site Vehicle Trip Generation Summary

- Reductions in vehicular trips across weekdays and Saturdays
- Slight increase in weekday mornings only
- Overall net reduction in vehicular trips

Existing - 78,317 SF Retai	l Space		LUC 821
Peak Hour Period	Enter	Exit	Total
Weekday Morning	84	51	135
Weekday Afternoon	199	207	406
Saturday Midday	253	234	487
Weekday	2,644	2,644	5,288
Saturday	3,175	3,174	6,349

Proposed - 360 Units Residential			LUC 221
Peak Hour Period	Enter	Exit	Total
Weekday Morning	34	113	147
Weekday Afternoon	86	55	141
Saturday Midday	74	71	145
Weekday	817	817	1,634
Saturday	823	822	1,645

Net Vehicular Trips (Proposed minus Existing Occupied Demand)				
Peak Hour Period	Enter	Exit	Total	
Weekday Morning	-50	62	12	
Weekday Afternoon	-113	-152	-265	
Saturday Midday	-179	-163	-342	
Weekday	-1,827	-1,827	-3,654	
Saturday	-2,352	-2,352	-4,704	

Source: Institute of Transportation Engineers, Trip Generation, 11th Edition, 2021

Land Use - 221 [Residential - Multifamily Housing (Mid-Rise)]

Land Use - 821 [Shopping Plaza (40-150k)]