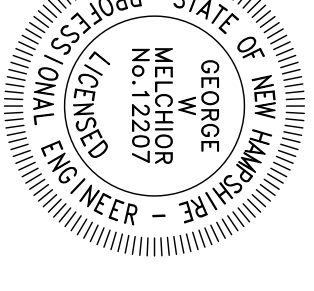




Designer:
George W. Melchor, P.E., S.E., LEED AP-BD+C
SPITBANK Design
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Portsmouth, NH 03801
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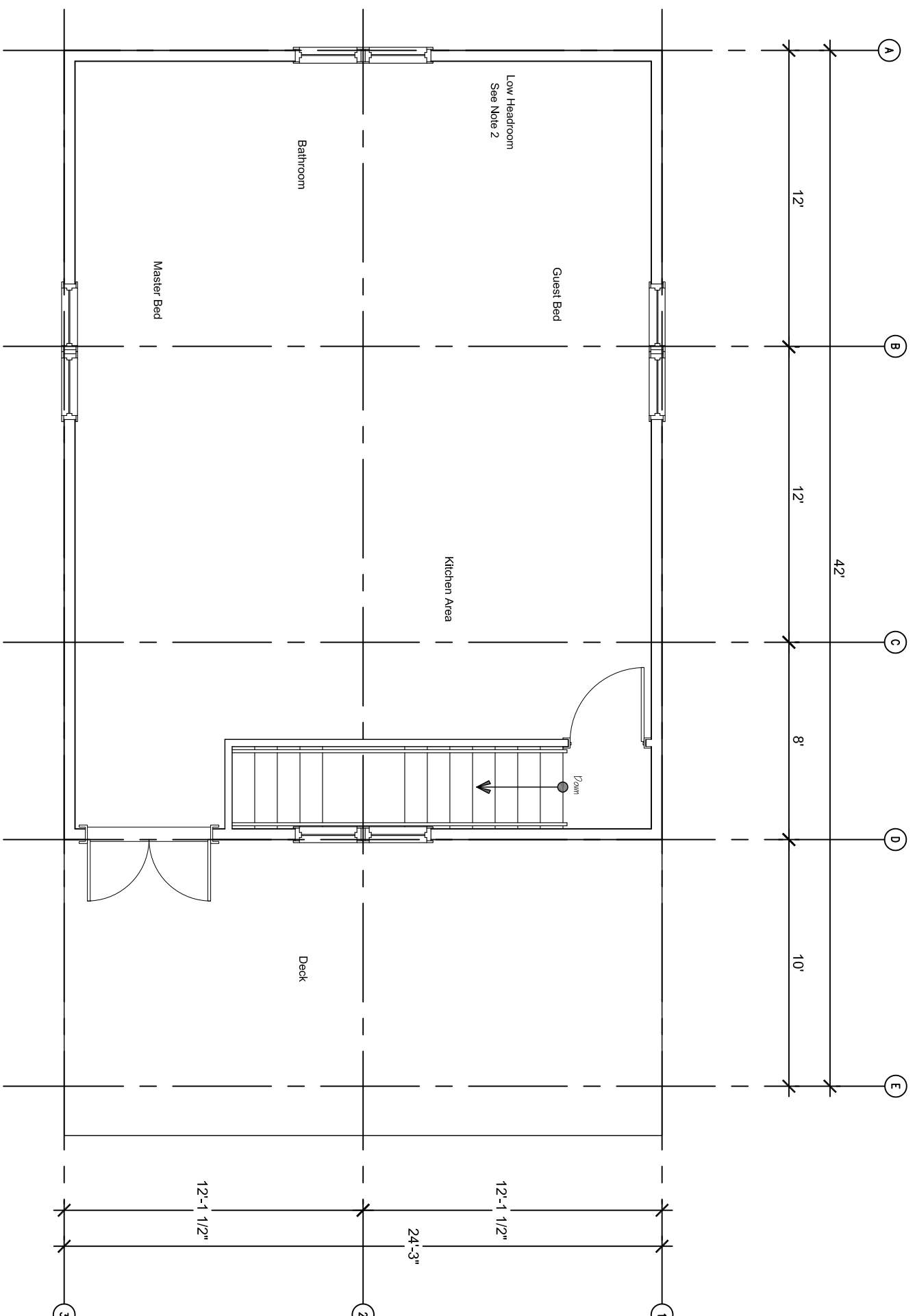
Num	Description	Date
1	FRAMING PLAN	1/16/24
2	REVISION 1	6/5/24

DATE: 6/5/24 SCALE: AS NOTED

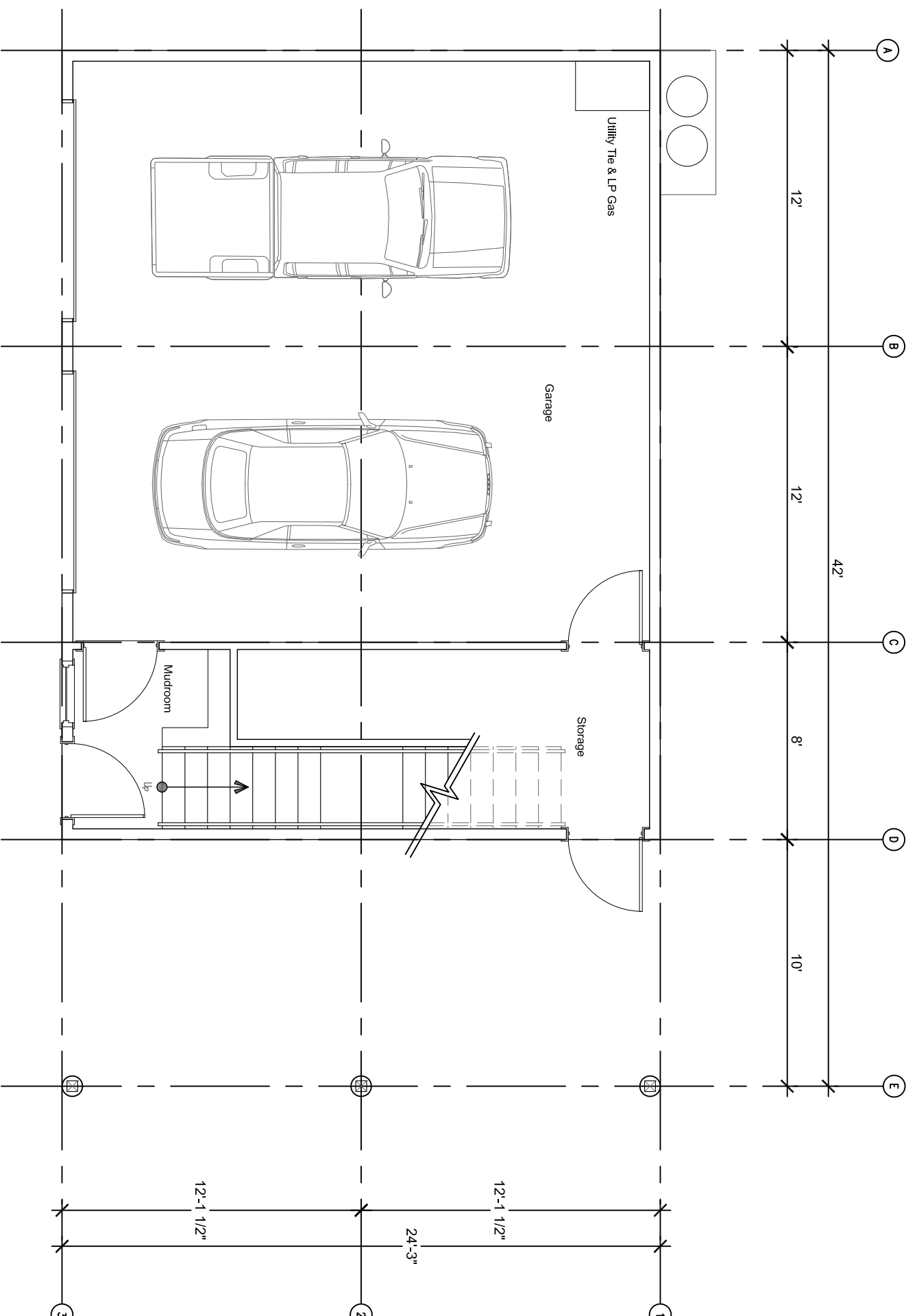
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Plans

General Notes:

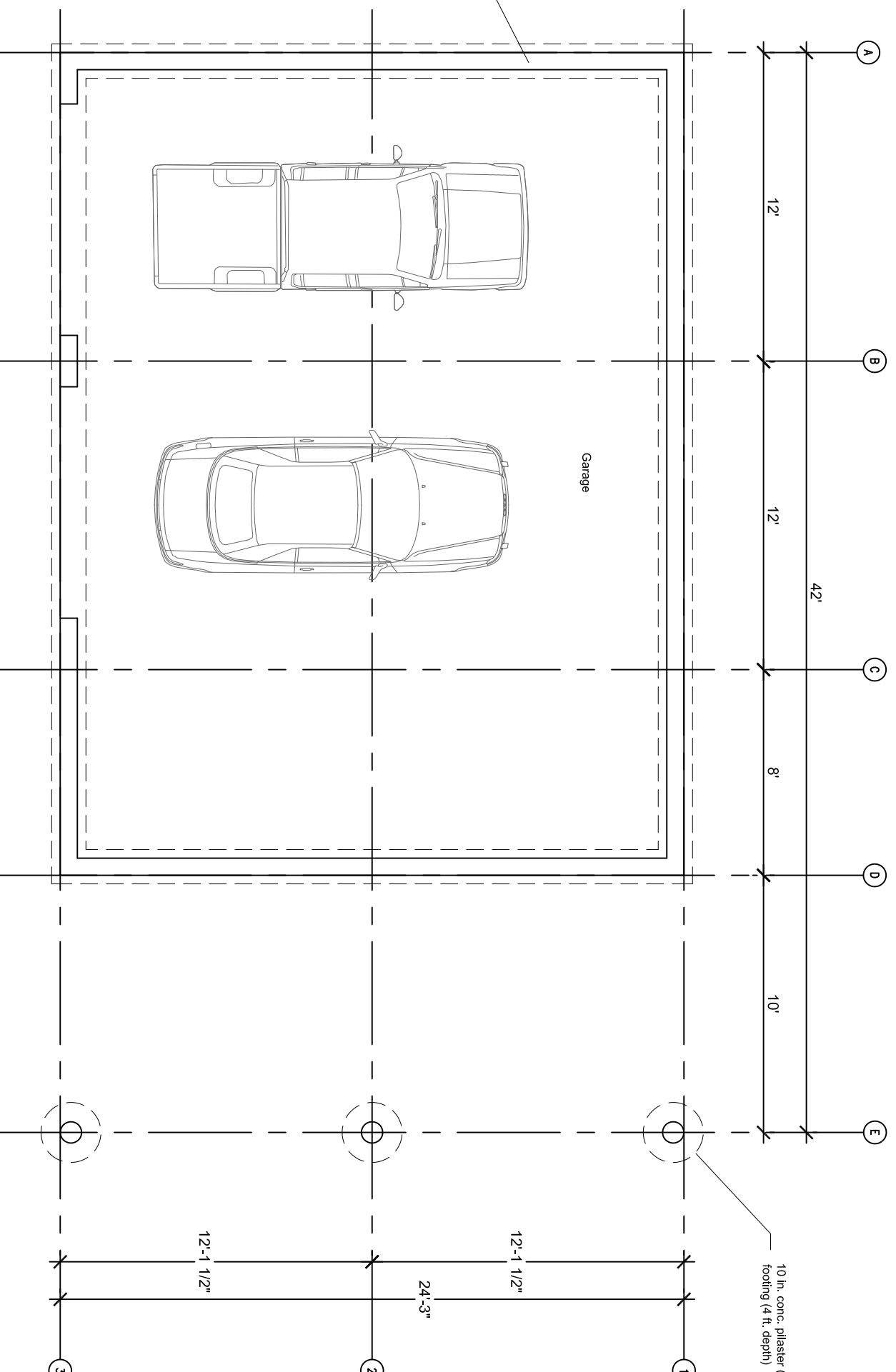
- FOUNDATION DESIGN BASED ON 3,000 PSF BEARING CAPACITY / SANDY LOAM WITH ADEQUATE DRAINAGE
- UTILITIES TO BE TIED IN AT NORTHWEST CORNER. CHASE TO SECOND LEVEL AT NORTHWEST CORNER CRAWL SPACE
- DWELLING WILL BE SERVED AND HEATED WITH A GAS FURNACE/INDIRECT HEAT SOURCE WILL BE ELECTRIC
- ALL WALL FASTENERS SHALL BE IN ACCORDANCE WITH IRC TBL R602
- ALL STRUCTURAL FASTENERS SHALL BE GRK NSS LAGS UNO.
- LATERAL FORCE RESISTING SYSTEM (LFRS) - FOUNDATION, SHEAR WALLS AND ROOF-GABLE SHEAR FRAMES SHALL BE CONSTRUCTED IN ACCORDANCE WITH IRC CHAPTER 16, ASCE 7, AND ACI 318
- ALL CONCRETE SHALL HAVE MINIMUM $F_c = 2,800$ PSI UNO.
- CONCRETE SHALL HAVE MIN. (3) #4 HORIZONTAL REINFORCING IN FOOTINGS (CONCRETE) AND (1) VERTICAL #4 REBAR IN CONCRETE. REBAR SHALL BE LAP-SPLICED IN ACCORDANCE WITH ACI 318
- ALL LAMINATED VENEER LUMBER USED IN STRUCTURAL FRAMING SHALL BE BOISE CASCADE, OR EQUAL.
 $E = 2,1X10^6$ PSI
 $F_v = 3,100$ PSI
- ALL KID-DRIED LUMBER USED IN STRUCTURAL FRAMING SHALL BE DOUGLAS FIR NO. 1 OR S3
- FOUNDATION, EXTERIOR WALLS, AND ROOF SHALL BE INSULATED IN ACCORDANCE WITH THE NEW HAMPSHIRE RESIDENTIAL ENERGY CODE AND THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- SLOPED OR CATHEDRAL CEILING: R-30 ABOVE GRADE WALLS: R-20
- CONCRETE SLAB: R-5 (WALLS) R-7.5 (SLAB) 9 FT. WIDE
- GARAGE DOORS PLANNED AT 8 FT. HIGH X 9 FT. WIDE
- ENTRANCE AND MUDROOM FLOOR TO BE RAISED FLOOR ON 2X4 SLEEPERS. FINISHED FLOOR MATERIAL TBD
- HOMESOWNER TO LAY OUT INTERIOR PARTITIONS OF SECOND FLOOR DWELLING
- ALL BEDROOMS SHALL BE EQUIPPED WITH EMERGENCY ESCAPE WINDOWS (5.7 SQ. FT. CLEAR OPENING) IAW IRC R310.2
- ALL WOOD CONSTRUCTION WITHIN 12 IN. OF GRADE SHALL BE TREATED FOR MOISTURE AND DECAY RESISTANCE IAW R317.1.2



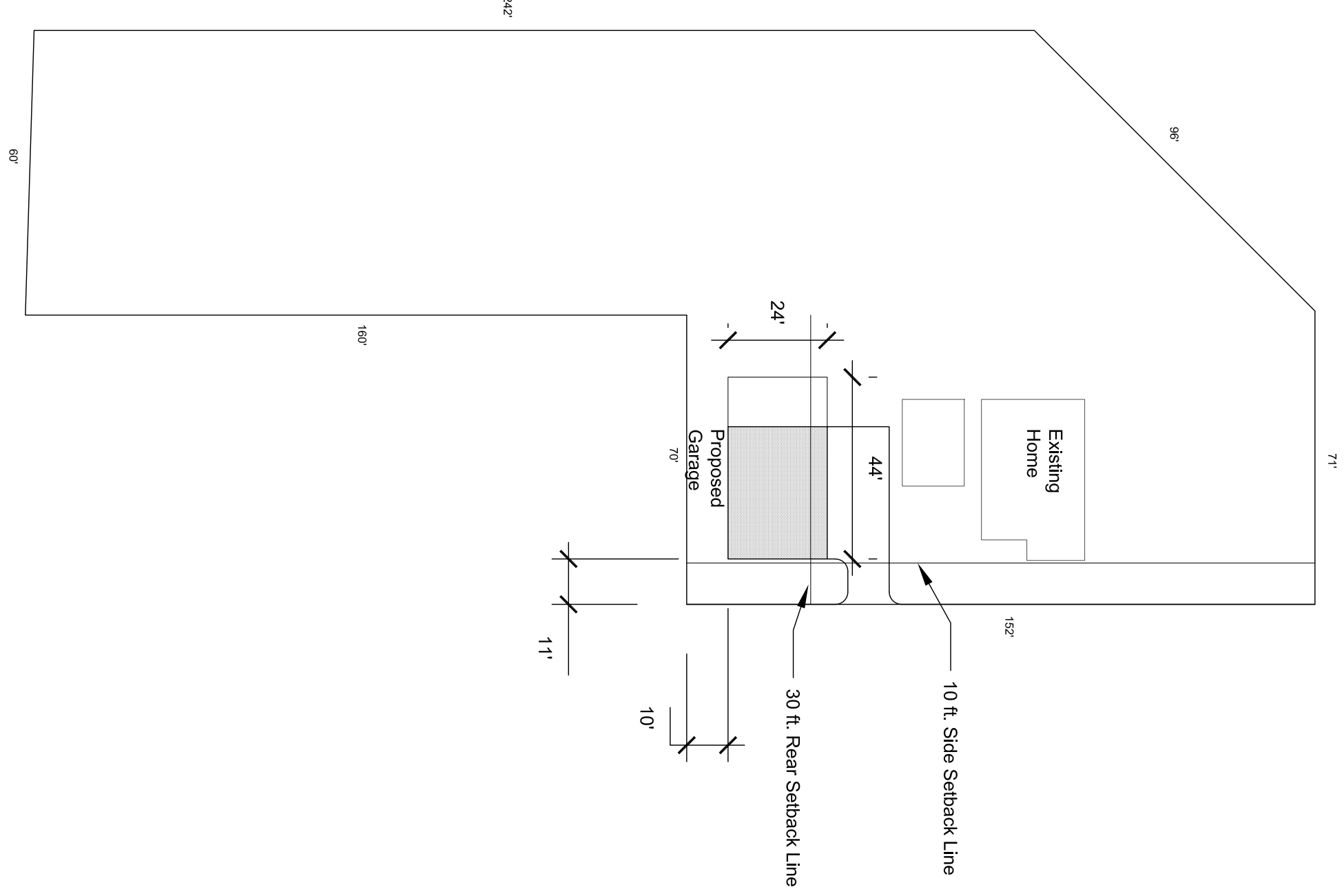
④ Second Floor Plan



③ First Floor Plan



② Foundation Plan



① Site Plan

1004 Greenland Road
PID: 31507
Plot: 0.65 Acres (28,300 sq. ft.)
Existing Footprint: 1,235 sq. ft.
Proposed Footprint: 1,095 sq. ft.
ZONE: SRB
Required Setbacks
Front: 30 ft.
Side: 10 ft.
Rear: 30 ft.
Lot Coverage: 20%
Clear: 40%Dormers: None
Deck Area: 220 s.f.

ZONING CRITERIA (Sec. 10814):
Gross Living Area (GLA): 724 s.f.
Gross Floor Area (GFA): 1,474 s.f.
75% of existing: 2,560 s.f.
Zoning Maximum All: 1,400 s.f. [Controls]
Height of DADU: 22 ft. (to top of ridge)
Height of existing: 30 ft.
75% of height of existing: 22 ft. - 6 in.
Zoning Max. Height: 22 ft. [Controls]

DESIGN CRITERIA:
PER INTERNATIONAL RESIDENTIAL CODE (IRC)

SNOW LOAD: 50 PSF
WIND ZONE: 100 MPH
SEISMIC DESIGN CATEGORY: C
WEATHERINGS: SEVERE
TERMINATE: SLIGHT/MODERATE
IECC CLIMATE ZONE: 5

These plans and all work shall comply with the New Hampshire State Building Code as amended by RSA 155, and adopted by the City of Portsmouth. These plans are limited to the structural frame and foundation of the project; floor plans are cross-shell only.

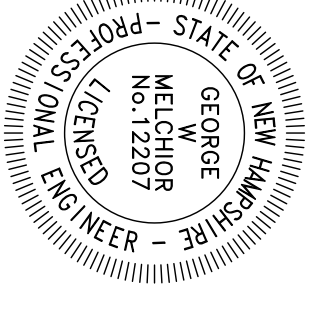
General Notes:

LALIME
Garage and Dwelling
1004 Greenland Road
Portsmouth, NH 03801



ARCHITECTURE ENGINEERING | PLANNING

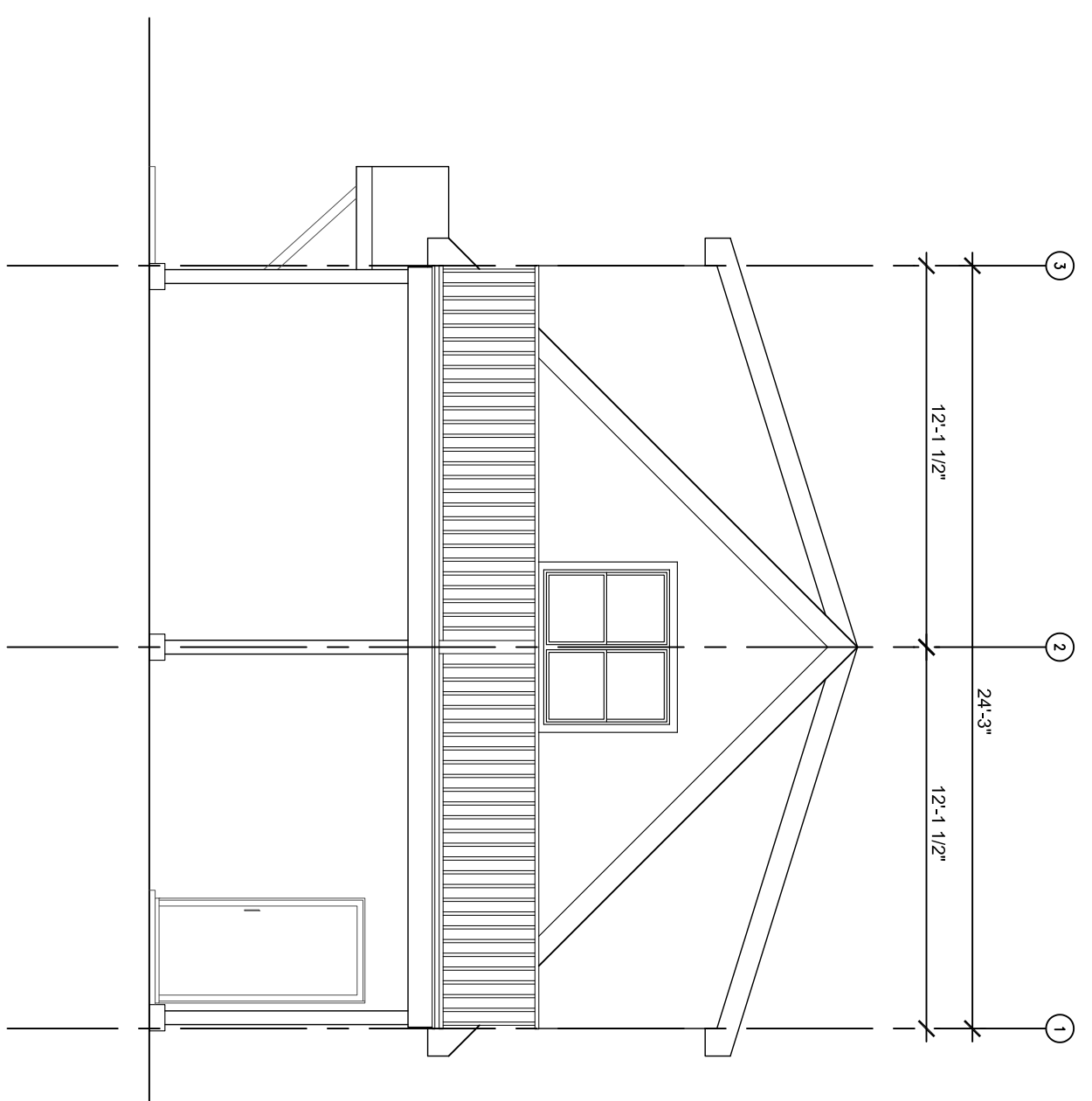
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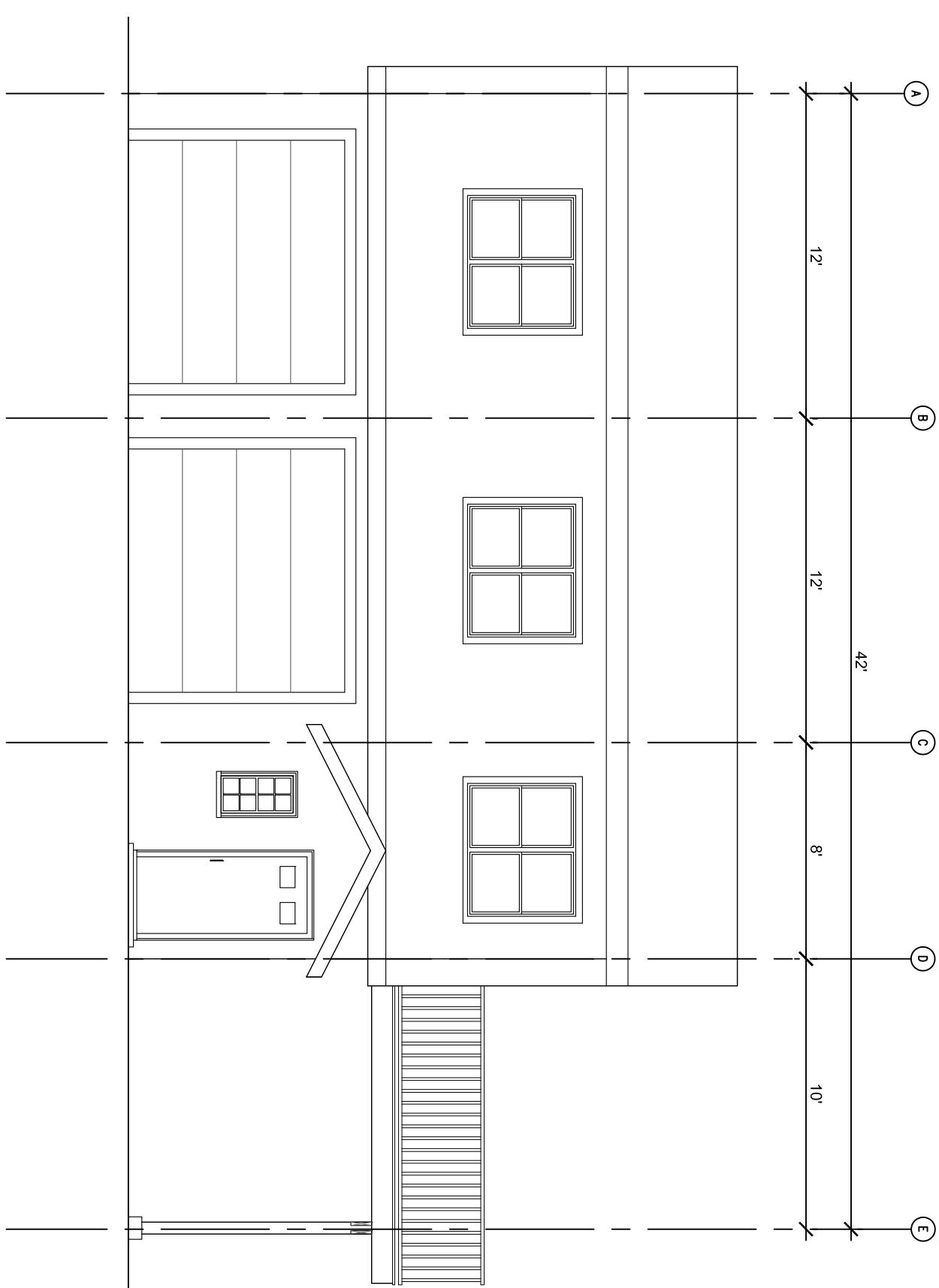
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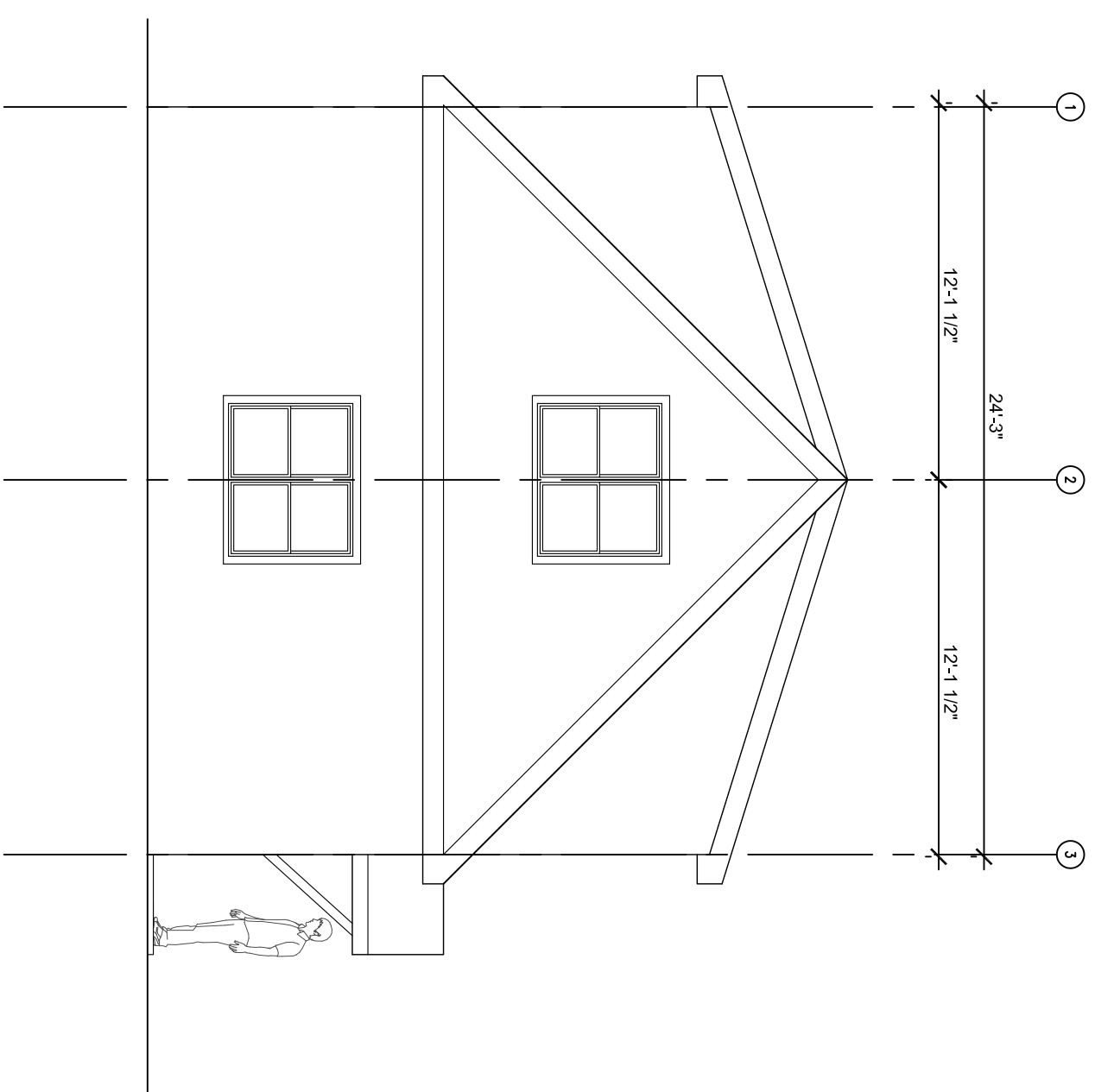
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Elevations



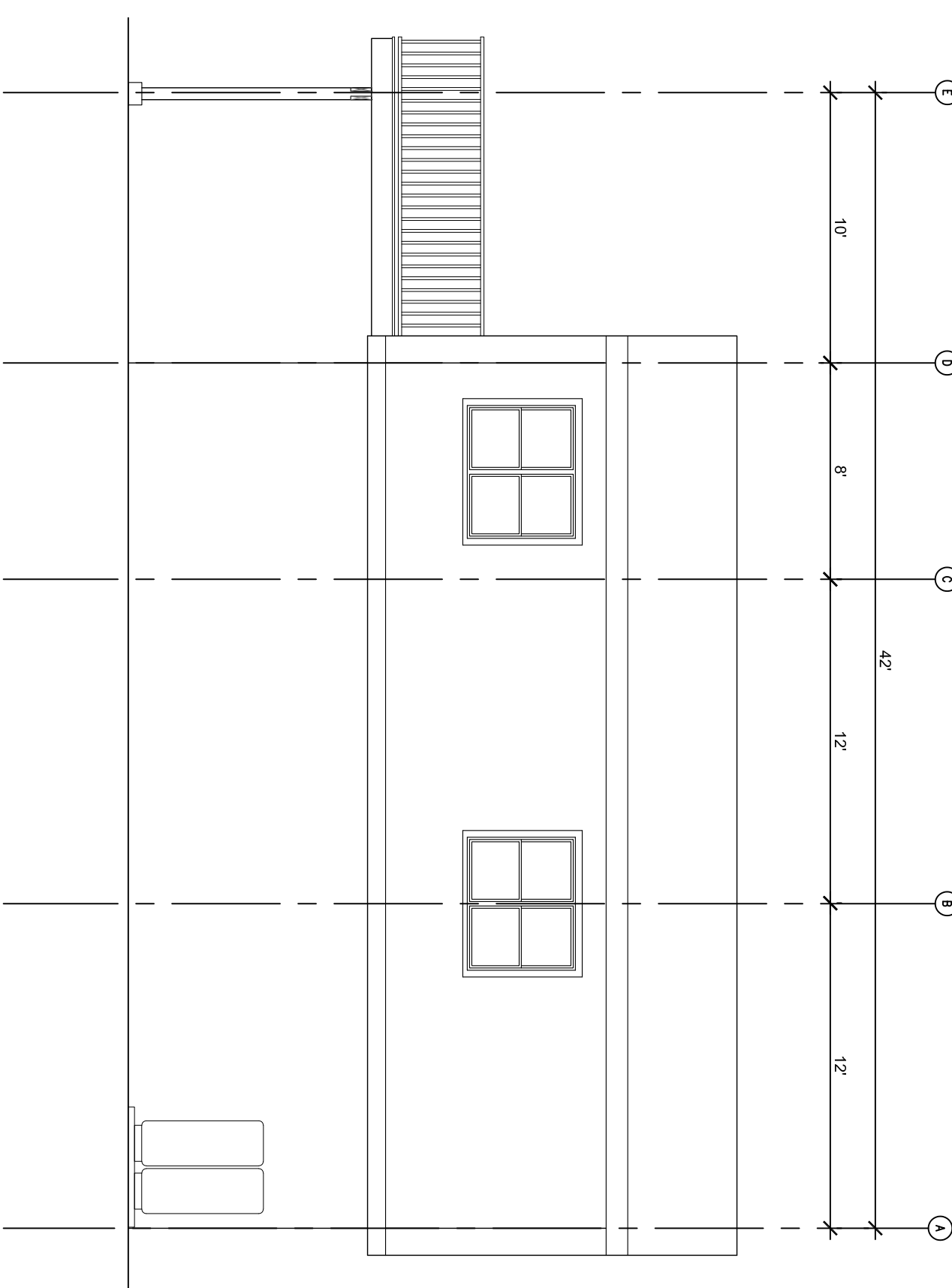
1 East Elevation



2 South Elevation



3 West Elevation



4 North Elevation

