

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details) **

6:30 p.m.

September 11, 2024

AGENDA (revised on September 06, 2024)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. July 10, 2024
2. July 17, 2024
3. August 07, 2024

II. ADMINISTRATIVE APPROVALS

1. 276 Maplewood Avenue
2. 100 High Street
3. 41 Pickering Avenue
4. 300 Court Street
5. 104 Gates Street
6. 21 South Street, Unit #4
7. 342 Islington Street
8. 2 Congress Street
9. 245 Marcy Street
10. 48 South Street

III. PUBLIC HEARINGS (OLD BUSINESS)

A. REQUEST TO POSTPONE- Petition of, Maximilian Kolbe Hochschwender, owner, for property located at 44 Rogers Street, wherein permission is requested to allow exterior renovations to an existing structure (remove the existing chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 45 and lies within the Mixed Research Office (MRO) and Historic Districts.

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of Charles John Barlow and Sean Michael Connery, owners, for property located at 491 Marcy Street, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows, siding and trim for the entire structure and the installation of gutters and skylights) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 11 and lies within the General Residence B (GRB) and Historic Districts.
2. Petition of 113 Bow Street Condominium Association, owner, for property located at 113 Bow Street, wherein permission is requested to allow exterior renovations to an existing structure (remove existing front canopy and construct new front entry overhang) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 56 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.
3. Petition of John and Susan Durkin, owners, for property located at 564 Middle Street, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 147 as Lot 11 and lies within the Mixed Research Office (MRO) and Historic Districts.
4. Petition of John and Catherine Hazelton, owners, for property located at 68 South Street, Unit #1, wherein permission is requested to allow exterior renovations to an existing structure (window replacements for Unit #1 to match window replacements at the adjacent unit) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 70-01 and lies within the General Residence B (GRB) and Historic Districts.
5. Petition of Haven School Condominium Association, owner, for property located at 50 South School Street, Unit #3, wherein permission is requested to allow exterior renovations to an existing structure (replace basement windows and basement door and construct new entry) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 60-03 and lies within the General Residence B (GRB) and Historic Districts.

V. WORK SESSIONS (OLD BUSINESS)

- A. **REQUEST TO POSTPONE-** Work Session requested by Kevin Shitan Zeng Revocable Trust of 2017, owner, for property located at 377 Maplewood Avenue, wherein permission is requested to allow the demolition of the rear structure on the lot and the new construction of a detached accessory dwelling unit as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 22 and lies within the General Residence A (GRA) and Historic Districts.
- B. Work Session requested by Jeffrey Daniel Berlin, owner, for property located at 38 State Street, Unit #4, wherein permission is requested to allow renovations to an existing structure (new roofing, roof deck, and windows) and new construction to an existing structure (construct new penthouse addition to access roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 10-4 and lies within the Character District 4 (CD4) and Historic Districts.

C. **REQUEST TO POSTPONE-** Work Session requested by, PNF Trust of 2013, owner, for property located at 266-278 State Street, wherein permission is requested to allow the new construction of a four-story building, as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 78, 79, 80 and lies within Character District 4 (CD-4), Downtown Overlay and the Historic Districts.

VI. WORK SESSIONS (NEW BUSINESS)

A. Work Session requested by Debra S. Anthony Revocable Trust, owner, for property located at 93 State Street, wherein permission is requested to allow new construction to an existing structure (construct new rear addition) and renovations to the existing structure as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 20 and lies within the Character District 4 (CD4) and Historic Districts.

VII. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_6lNM58WUQim90fNhYyOm4Q

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

July 10, 2024

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, Dave Adams, and Alternate Larry Booz

MEMBERS EXCUSED: None.

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

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I. APPROVAL OF MINUTES

1. June 05, 2024

*The June 5 minutes were **approved** unanimously as presented.*

2. June 12, 2024

*The June 12 minutes were **approved** unanimously as presented, with Dr. Brown abstaining.*

II. ADMINISTRATIVE APPROVALS

Chair Ruedig recused herself from Items 2 and 5, and Vice-Chair Doering was Acting Chair. Alternate Mr. Booz took a voting seat for those two items. (Note: Items 2 and 5 were reviewed and voted on out of sequence).

1. 154 Market Street

The request was to replace the AC condenser on the Oar House restaurant. Mr. Gilbo said the Colonial Dames owned the property and approved the condenser. He said the unit would not be higher than the height of the existing fence.

2. 65 Washington Street

The request was to replace the wood shake roof at the Strawberry Banke Visitor Center with an asphalt single roof that would have a wood shake roof appearance. Acting Chair Doering said it was unusual that the young shakes would leak and asked if it was an installation failure or a failure of the shakes. Rodney Rowland, Director of Strawberry Banke Facilities, was present and explained that most of the roof was exposed to the elements and had some growth to it.

*Dr. Brown moved to **approve** the item, seconded by City Council Representative Blalock. The motion **passed** unanimously, 7-0.*

3. 63 Humphrey's Court

The request was for approval to install HVAC equipment for a condenser with two location options, either across from the neighbor or moved farther back into the yard. Mr. Gilbo suggested stipulating that the lines would be painted to match the trim or the siding. Dr. Brown asked if both sets of lines were needed or if it was dependent on the location. Mr. Gilbo said he didn't know but that the applicant stated that either one of the two locations would minimize the lines. Dr. Brown asked that it be stipulated that the applicant choose the location with the minimal number of lines.

Stipulations: The applicant shall choose the location for the condenser that requires the least amount of conduit lines to be visible and they shall be painted to match either the siding or the trim.

4. 17 Whidden Street

Mr. Gilbo said the Board of Adjustment approved the applicant's request for an 8-ft tall wood fence to replace the existing low picket fence. Mr. Wyckoff said the height was uncharacteristic for the District. Mr. Gilbo said the owners couldn't enjoy peace and privacy due to the development at the rear of the property. Mr. Adams noted that the adjoining property also had an 8-ft tall fence and that the applicant's fence would be like a continuation of it.

5. 140 Court Street

Mr. Gilbo said the applicant had returned per the Commission's request for permission to install two new condensers. He said they would be wall mounted on the sides of the rear of the building and that two extra chase lines were also needed for more efficiency.

*Dr. Brown moved to **approve** the item, seconded by City Council Representative Blalock. The motion **passed** unanimously, 7-0.*

6. 11 Meeting House Hill Road

The request was to install a 6-ft high cedar fence with two gateways. Vice-Chair Doering said it looked like there was an existing fence. Mr. Gilbo said it was the neighboring fence and that the applicant wanted to run their fence along it and connect to the side. He said the 4-ft gate would be on the right side of the home and the larger gate would connect to the back of the garage.

7. 322 Islington Street

Mr. Gilbo said the applicant previously had a mahogany door approved for their carriage house renovation but wanted to replace it with one that mimicked the style of the carriage house. Mr. Wyckoff said the cut sheet showed a horizontal glass panel but the drawing showed it as vertical and that the door didn't look proportional. Mr. Adams agreed that the drawing was confusing.

*Vice-Chair Doering moved to **postpone** the item to the July 17 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

8. 235 Maplewood Avenue

The request was to replace the existing rake and fascia boards with a PVC material.

Stipulation: All existing dimensions for the rake and fascia boards shall be replicated.

9. 442 Islington Street

The request was approval to remove and rebuild the rear deck and replace the rear door edging onto the deck in the same footprint but with a TimberTech railing. Mr. Gilbo said the applicant also wanted a new 3-panel fiberglass door. Vice-Chair Doering asked if there was any information on the skirting. The applicant's representative Ben Johnson was present and said the intent was to leave it open and not add any lattice to it.

10. 25 Cabot Street

The request was to replace the soffit and fascia and rake boards with a PVC material. Chair Ruedig asked if the decorative strapping on the rake boards could be reproduced.

Stipulation: Any or all architectural features within the soffit and rake and fascia boards shall be replicated to match existing.

11. 132-134 Middle Street

Mr. Gilbo said the project was before the Commission previously. He said the applicant wanted to remove the scope of work for the brownstone repairs because they had to wait longer to generate that portion of the renovation. He said the applicant also wanted to remove the repair and infill of the existing windows and return for a future administrative approval. He said there was a repair on the side entryway and the transom window was made smaller, and the applicant decided to keep the copper gutters and downspouts as they were installed per the original plan.

Stipulation: The applicant shall paint the trim of the new transom window to match the surround.

12. 93 Pleasant Street

Mr. Gilbo said the large project had a few design changes that included straightening and shortening the new retaining wall of the garage ramp, adding two risers and a landing to the porch steps, extending the stair to the roof overrun for roof deck egress, and having the rooftop guard rails and deck go back to what was previously approved.

*Vice-Chair Doering moved to **approve** Items 1, 3, 4, 6, 8, 9, 10, 11, and 12 with their respective stipulations. Dr. Brown seconded. The motion **passed** unanimously, 7-0.*

III. PUBLIC HEARINGS (OLD BUSINESS)

A. REQUEST TO WITHDRAW- (Work Session/Public Hearing) requested by **95 Daniel Street, LLC, owner**, for property located at **95 Daniel Street**, wherein permission is requested

to allow the full demolition and reconstruction of the existing structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 7 and lies within the Character District 4 (CD4) and Historic Districts.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to accept the applicant's request to withdraw the petition, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

B. Petition of **Argeris and Eloise Karabelas, owners**, for property located at **461 Court Street**, wherein permission is requested to allow exterior construction to an existing structure (construct a 2-story rear addition to the main structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 7 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 36:35] Architect Anne Whitney was present on behalf of the applicant and reviewed the petition.

Mr. Wyckoff said he didn't see lintels above the two new windows. Ms. Whitney said there was an existing lintel. She said the bricks would be a soldier course and that she would find bricks to match. Mr. Adams asked if the new windows would match the existing windows on the house and be set in the same coursing. Ms. Whitney agreed. Vice-Chair Doering asked if the two condensers in the back would be replaced with something else. Ms. Whitney said she was looking at different alternatives but had to go before the Board of Adjustment to locate them.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR, AGAINST THE PETITION

Chair Ruedig said a letter from Douglas Macdonald was received. No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Wyckoff moved to **grant** the Certificate of Approval for the petition as proposed, seconded by Vice-Chair Doering.*

Mr. Wyckoff said the project would preserve the integrity of the District and would be consistent with its historical significance as well as consistent with the special and defining characteristics of the District and would have compatibility of design with surrounding properties. Councilor Blalock noted that the bricks left pointing out to represent the half house showed that the structure was part of the story, and he was glad it was still there for people to see.

*The motion **passed** unanimously, 7-0.*

C. Petition of **Mark M. Bodi, owner**, for property located at **121 State Street, Unit #2**, wherein permission is requested to allow new construction to an existing structure (replace and enlarge existing rear deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 48-2 and lies within the Character District 4 (CD4) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 45:45] Architect Tracy Kozak was present on behalf of the applicant. She said the existing deck was wood and the internal gutter system was eroded, so they wanted to replace the deck with a steel material.

[Timestamp 47:15] Vice-Chair Doering asked if the pergola and stairs would stay in their existing locations, and Ms. Kozak agreed. Mr. Ryan asked if there was a way to increase the dimension of the trim at the end of the soffit material so that it was less exposed, noting that he thought it would look very machine-like and out of character with what was being done with the rest of the building. Ms. Kozak said it could be a few inches longer. Mr. Ryan asked if the fascia board could be made to look more like a beam and more traditional. Ms. Kozak agreed.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR, AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition, with the following stipulations:*

- 1. The soffit shall be recessed up, and*
- 2. The fascia board shall be enhanced to look like a beam.*

Councilor Blalock seconded the motion.

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the special and defining characteristics of the surrounding properties.

*The motion **passed** unanimously, 7-0.*

D. Petition of **North Church of Portsmouth, owner**, for property located at **2 Congress Street**, wherein permission is requested to allow exterior modifications to an existing structure (replace and enlarge (2) doors for ADA access and the installation of exterior lighting) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 83 and lies within the Civic, Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 51:30] Reverent Jennifer Mazur, North Church pastor, was present to review the petition, along with her architect and construction teams. She gave a brief history of the church and said they received a grant to do the renovation. She said the proposed changes would allow better ingress and egress and add better lighting and that a condenser unit would also be added.

[Timestamp 54:44] Architects Clay Hales and Chris Ellerman of Samyn-D'Elia Architects reviewed the proposed modifications. Mr. Hales said the rear egress door did not meet fire code, so they proposed doubling its width and adding a pentroof element on top of it for weather protection. He said the left door at the front of the church did not meet ACA code so they proposed to rebuild it. He said minimally invasive lighting would be added at all three front entrances at the pediments over the doors and the condenser unit would be placed near the existing bulkhead door.

[Timestamp 58:50] Dr. Brown asked if there would be outside ducting. Mr. Hales said the split would go in through the basement level. Mr. Adams asked how the wires would get to the lighting units. Mr. Hales said they would run through the pediment and into the building where there was access to wiring. Mr. Adams asked if the lighting would be on all the time. Mr. Hales said it would only be on in the evenings and would be on a timer setting with a manual override. Mr. Adams asked why it was decided to make a dummy extension to the ADA door instead of doing a 3-ft door and shortening the other door to 2'2". Mr. Hales said it was to preserve the building's symmetry. Mr. Adams asked if the applicant felt that there would be a compromise in the process of making a receiving jamb out of the fragment of the existing door. Mr. Hales said the new doors would be made for that purpose. Mr. Adams asked if the hinges on the front doors would be retained, and Mr. Hales agreed. Mr. Ryan asked how old the doors were. Mr. Hales said the three front doors were original to the building and the rear door was installed in the mid-19th century. Mr. Ryan said the building was historic and asked why the project was being done. Mr. Hales said they wanted to make a welcoming environment for the handicapped and thought a small adjustment to the door would open it up. Mr. Ryan said he hated to see any original fabric of the building cut up, especially since it technically wasn't necessary to do it for ADA. He said he thought it would be better to put the lighting at the 3-ft level and just light the walking surface instead of having a modern piece element at the top of the pediment. Mr. Hales said they felt that locating it in the roof of the pediment would be the least impactful. Mr. Ryan asked if widening the back door was more of a fire exit concern. Mr. Hales agreed. It was further discussed. Mr. Booz said he thought it was a great job of ensuring that the building would be accessible to all and that widening the back door would also ensure that two people could go out at the same time in the event of a catastrophe. Dr. Brown asked why both doors couldn't be opened for the handicap ramp. Mr. Hales said the depth of the landing was shorter and the doors opened out. The pentroof element was further discussed. Vice-Chair Doering said the proposed small lights would stick out, and she suggested lights that were bigger and shaped better. Chair Ruedig asked that the original doors be saved. Mr. Ryan asked if the applicant considered an automated door opener for the door at the ramp, and Mr. Hales said there wasn't enough space.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR, AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

Councilor Blalock moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulation**:

- The applicant shall return with more details for the materials, the pentroof, and the lighting.

Vice-Chair Doering seconded the motion.

Councilor Blalock said the project would preserve the integrity of the District and would be compatible with innovative technologies of surrounding properties. Mr. Ryan said he could not support the approval. He said the church had been safe for a few hundred years and thought the petition should have been a work session instead. Chair Ruedig commended the applicant for doing a sensitive job and ensuring that the ADA doors reflect the symmetry of the original doors.

The motion **passed** by a vote of 5-2, with Mr. Ryan and Dr. Brown voting in opposition.

E. REQUEST TO POSTPONE- Petition of **Richardson Revocable Trust, owner**, for property located at **142 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (removal and replacement of slate roof to asphalt shingles) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 60 and lies within the Character District 4 (CD4) and Historic Districts.

DECISION OF THE COMMISSION

Councilor Blalock moved to **postpone** the petition to the August 7 meeting, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.

F. REQUEST TO POSTPONE- Petition of **Matthew Morton Associates, LLC, owner**, for property located at **87 Market Street**, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 43 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

DECISION OF THE COMMISSION

Councilor Blalock moved to **postpone** the petition to the August 7 meeting, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.

IV. PUBLIC HEARINGS (NEW BUSINESS)

Mr. Adams recused himself from the following petition, and Alternate Mr. Booz took a voting seat.

1. Petition of **Richard K. Horowitz and Catherine J. Baker, owners**, for property located at **127 Gates Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace window sashes on the original part of the house and the replacement of the existing rotted wood gutters with aluminum gutters) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 97 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:17:04] The applicant Catherine Baker was present and said the wood gutters and downspouts were installed in 2009, yet the paint job was a mess and the gutters and downspouts rotted. She said she wanted to replace the gutters with aluminum ones, noting that most of the homes around her had aluminum gutters and downspouts. She said she wanted to replace the non-historic windows with JELD-WEN Sitaline windows. She said she didn't know if it was worth restoring the six windows in the back.

[Timestamp 1:30:06] Mr. Ryan said the JELD-WEN window was a good product but thought it was critical that the measurements be right. Chair Ruedig suggested a Flex screen because it was removable and the frame was bendable. It was further discussed. Mr. Booz said he favored making all the windows look alike, including the ones in the back.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR, AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented with the aluminum gutters and the sash replacement windows, with the following **stipulations**:*

- 1. The screens shall return for administrative approval, and*
- 2. All the windows shall be replaced.*

Councilor Blalock seconded.

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the special and defining character of the surrounding properties.

*The motion **passed** unanimously, 7-0.*

Chair Ruedig recused herself from the following petition, and Vice-Chair Doering was Acting Chair. Mr. Adams returned to his voting seat, and Mr. Booz returned to alternate status.

2. Petition of **Pantheon, LLC, owner**, for property located at **439 Middle Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace windows on the 25 Highland Street portion of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 135 as Lot 4 and lies within the Mixed Research Office (MRO) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:37:08] Christyn Sieve was present to review the petition. She said she was a tenant and had her office space in the back addition on 25 Highland Street. She said the windows were rotted and that her window representative recommended 6/6 double hung inserts.

Mr. Booz asked how wide the horizontal window was. Ms. Sieve said it was about 78 inches. She distributed copies of the spec sheets to the Commission, and it was further discussed. Councilor Blalock said it was the back of the structure, so he had no concerns.

Acting Chair Doering opened the public hearing.

SPEAKING TO, FOR, OR, AGAINST THE PETITION

No one spoke, and Acting Chair Doering closed the public hearing.

DECISION OF THE COMMISSION

*Councilor Blalock moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Ryan.*

Councilor Blalock said the project would preserve the integrity of the District and would be consistent with the special and defining characters of the surrounding properties.

*The motion **passed** unanimously, 7-0.*

V. ADJOURNMENT

The meeting was adjourned at 8:18 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

July 17, 2024

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering; Jon Wyckoff, Dr. Dan Brown, Dave Adams, and Alternate Larry Booz (via Zoom)

MEMBERS EXCUSED: City Council Representative Rich Blalock, Martin Ryan

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

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Chair Ruedig called the meeting to order at 6:30 p.m. Mr. Booz was not present at the meeting at this time. Chair Ruedig identified the Requests to Postpone.

*Mr. Adams moved to **postpone** New Business Items B and C and Work Sessions 1 and 2 to the August 7 meeting, seconded by Dr. Brown. The motion **passed** unanimously, 5-0.*

Note: At this point, Mr. Booz joined the meeting.

I. ADMINISTRATIVE APPROVALS

1. 621 Islington Street, Units A, B, and C

The applicant's request was to replace the existing front glass door with a similar Thermo door painted the same blue color; replace the rotting entry decks for Units A, B, and F with decks of the same style and in the same location but using a PVC material instead of wood; and repair the vinyl siding around Unit C. Vice-Chair Doering asked if the PVC material was Trex or Azel. Mr. Gilbo said the applicant only said it was a maintenance-free material but that it would not be visible from a public way.

2. 195 Washington Street

Mr. Gilbo said the HVAC portion of the item would not be considered that evening because it required the BOA's approval. He said the request was for two gates, a 4-ft high double arch gate that would go across the driveway and a gate that would run between a corner of the property. He said both proposed gates were black aluminum and were needed so that the dog could have a safe outdoor area. Dr. Brown asked how the gate would be hooked up to the post. Mr. Gilbo said that information was not provided. Mr. Adams noted that there was an aluminum downspout on the corner and that he didn't see how the gate would be hooked up. Chair Ruedig agreed. Vice-Chair Doering said the fence design could be approved but the applicant could return with details on how it would be installed. Chair Ruedig suggested that the applicant put freestanding posts

that did not attach to the buildings themselves. Mr. Gilbo said he would ask the applicant to return with the HVAC details and the installation process for the aluminum fence.

3. 126 State Street, Unit #2

The request was for approval for the installation of a wall-mounted condenser. Mr. Gilbo said the property was tight but had enough clearance on the side for the condenser to be located in a corner at the entrance to 128 State Street. He said the applicant proposed a wooden style screening because the condenser would be visible from the public way. Chair Ruedig asked that the brackets be anchored in the mortar and not the bricks.

Stipulation: The brackets for the condenser shall be anchored into the mortar and not the actual brick.

4. 422 Islington Street

Mr. Gilbo said the applicant was previously before the Commission for a rear deck and rear door replacement but then realized that the lead time for the 3-panel door replacement would be 16 weeks, whereas a 2-panel French style door would be ready in four weeks, so he wanted approval for the French-style door instead. Mr. Gilbo showed examples of both doors. Mr. Adams said the French door would be more in scale with the addition.

Mr. Gilbo summarized that Items 1 and 4 could be approved as presented; Item 2 could have the design approved and the applicant would return with the HVAC details and installation process for the aluminum fence; and Item 3 could be approved with a stipulation that the brackets for the condenser would be anchored into the mortar and not the actual brick.

Vice-Chair Doering moved to accept Items 1 through 4, seconded by Mr. Wyckoff. The motion passed unanimously, 6-0.

II. CERTIFICATE OF APPROVAL - EXTENSION REQUESTS

1. Petition of **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 Lots)**, wherein permission is requested to allow a second one-year extension of the Certificate of Approval originally granted on August 10, 2022, to allow the new construction of (3) new freestanding structures (4-5-story mixed-use and office buildings) as per plans on file in the Planning Department. Said property is shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 16:30] Attorney John Lyons was present on behalf of the owner Port Harbor Land. He said his client met subdivision requirements and got approval of a lot line plan by the City. He said they were required to convey three parcels to the City to redesign some of the intersections and that those deeds were recorded. He explained that they needed another one-year

extension because they had a long to-do list that was due by December 15 for issues related to site plan approval and that they had been working with the City to get all those items put together, along with a potential phasing plan and other items.

Mr. Wyckoff said he still thought it was a good project. Chair Ruedig confirmed that any changes that happened to the plan or the design would return to the Commission.

DECISION OF THE COMMISSION

*Dr. Brown moved to **grant** the one-year extension, seconded by Vice-Chair Doering. The motion passed unanimously, 6-0.*

III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **Coventry LLC, owner**, for property located at **111 State Street**, wherein permission is requested to allow changes to a previously approved design (reconfigure rear gable ends to include a recessed porch and dormer, add new windows, change rear center gable siding, and changes to the front entrance doors) to as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 20 and lies within the Character District 4 (CD4) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 19:48] Architect Tracy Kozak was present on behalf of the applicant. She reviewed the changes made since the last time she was before the Commission. She addressed the two 1990s yellow gables and said they wanted to keep the one on the left and modify the upper attic but wanted to change the gable on the right to a shed dormer. She said they wanted to infill the valley that was concealed behind the gables so the mechanicals could go there. On the State Street side, she said they proposed changing the double door to a single door. She said the panels and side lights were changed to wood and the only glass was on the center door on the upper floor panels. On the back side, she said they simplified the center gable balcony and closed it in with a solid wood wall with clapboard siding. She said they did not want to put a window in the shallow arched top window opening because there was a recessed room behind it that would have a glass door. She said they changed the safety pipe rail to a picket style one. She said they proposed lifting the center gable a few feet higher and putting a small porch there.

[Timestamp 24:24] Mr. Wyckoff asked why the center gable form had to be three feet taller than the second floor where the two dormers were and why it had to stand up so high. Ms. Kozak said if they kept it in its present location, they could only get a 4-ft door. She said they were trying to have it be the same height as the occupied space to the left of it. Mr. Wyckoff said there was a deep frieze board all around it, sitting on top of the spindliest corner boards he had even seen, and he thought it would be better without the frieze and also thought that the corner boards should be beefed up to look like the other structure's design. Dr. Brown asked if there was a big difference between the amount of roof between the two shed dormers. Ms. Kozak said the shed dormer to the right was new. She said the eave line of the left dormer was the same elevation but

the front wall was a different plan, which was why it looked taller than the other one. She noted that the front wall was slightly forward on the left dormer. She said the roof line was the same and the window heights and dimensions were the same, but the wall locations below them were out of plane because that was the existing footprint. It was further discussed.

Vice-Chair Doering said it was a big building as seen from the roof angle, but from the street it worked due to the smaller buildings as the facades. She said the Sheafe Street side worked when there were the two gable ends because they broke up the mass, but what was presented now was a very big building on the Sheafe Street side, and she was concerned about the effect it would have on Sheafe Street. Ms. Kozak said they were not changing the footprint or the massing but they did paint it the same color. She said they could paint each third of the building or each gable to break it up. She said the two small Siamese gables were connected, and by creating the shed dormers on either side of the gable, it gave the relief that was seen up and down Sheafe Street. Vice-Chair Doering said it did not look like a house to her, noting that she would never see a side or the front of a house look like that. Mr. Adams said it appeared that the second floor had a floor-to-floor height. He said the distance between the windows on the first and second floors was enormous, which was hard to mask, and filling it in with clapboards made it worse in terms of massing and less like a residence. He said nothing else on Sheafe Street had that scale when it came to floor-to-floor issues. He said the ornamentation of the pronounced gable end was enormous and not represented in the scale of the rest of the street or the City. He referred to Drawing H3-1 and said the left-hand side of the 3-unit structure was already there. He said the windows shown on the second floor were 6/6 but seemed to be based on an 8/10 light. He said the 6/3 windows looked like they were based on a 10" wide light because they were wider and shorter. He said it seemed to make the side wall look even larger. Ms. Kozak said they changed all the third-floor windows from 6/6 to 6/3 a long time before. She said the windows on State and Chapel Streets were now 6/3 but on their original application they were 6/6. She said the Commission asked that they be changed to 6/3.

Chair Ruedig asked if something could be done to the middle gable to make the frieze less prominent. She said the side gable on the historic building worked, though. Ms. Kozak said it was there to mirror the other gable but that she could get rid of it, and if she did so, she recommended lowering the attic window a foot and adding a shadow board under the rake to help reduce the amount of clapboard under it. Chair Ruedig summarized that Ms. Kozak could take away the horizontal frieze board, add the fascia frieze board under the raking eaves, and lower the window opening. Mr. Wyckoff further discussed making the corner boards more substantial. Chair Ruedig said varying it up a bit might help break up the building. Mr. Wyckoff said several details needed to be worked out. Chair Ruedig suggested moving forward with the building's form and having Ms. Kozak return with the details.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR, AGAINST THE PETITION

[Timestamp 40:57] Tom Irwin of 28 Chapel Street said he had a letter signed by several people in the neighborhood. He distributed the letter to the Commission and read it. It summarized the concerns of the owners of residential properties close to 111 State Street who cared about the

historical value of Sheafe Street and did not approve of certain elements of the proposed modifications to 107 and 111 State Street, including the proposal to increase the height of northwesterly gable and convert the southwesterly gable to a shed dormer. They thought it would be grossly inconsistent with the applicant's existing structures and surrounding buildings. Mr. Irwin questioned the concept of a porch as well. He asked the Commission to deny the proposed modifications to the gables or to at least do a site walk before rendering a decision.

Sandell Morse of 29 Chapel Street said she signed the letter and thought the Commission should to do a site walk to see how massive the building was.

Peter Howe of 29 Chapel Street (via Zoom) said he signed the letter. He asked what the precedent was for the change in the dormer and where a dormer like that would be town.

No one else spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Wyckoff moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulation**:*

- 1. The trim on the gable form in the middle shall be altered and brought back to the Commission for approval.*

Dr. Brown seconded.

[Timestamp 54:50] Mr. Wyckoff thanked all the neighbors who contributed but disagreed with them. He said the existing form with the double gables was very awkward and the applicant wanted to replace and correct that situation. He thought the dormer on the southwest side cleaned up the building quite a bit symmetrically. He said the building was very large on the back side and the modifications would not really change the size of the building. He said the project would be consistent with the defining characters of the surrounding properties, noting the simple gable form in particular, and it would have compatibility of design with surrounding properties.

[Timestamp 57:40] Vice-Chair Doering said she could not support the motion. She said the context of Sheafe Street had a bunch of gable end buildings, and she thought that's what the owner was thinking when the 1990s gables were put in. She said the gables were not successful but didn't think they should be replaced with the proposed modifications. She said the added left-hand shed dormer seemed like the people who owned the historic home or the gabled end homes were trying to get an extra space and filling in a corner, but now the applicant was taking what appeared to be the back side or end of two smaller buildings and turning them into one space than runs from the corner at Chapel Street all the way back to the end of the building. She said it had no front door or side it but was one huge side where one could not identify where the building starts. She said it didn't read in any way like a residence or a commercial building but just looked like a wall with no beginning or end. Mr. Adams said he could not support the design due to several elements, including the extension of the single gable form to the street, the expanses of clapboard that were out of scale, and the window fenestration. He said the dormers had more windows than the side wall below them and had no rhythm. He said it was a mixed neighborhood but no one had ever done anything the size of the proposed building. Mr. Booz

said he could not support the building in its present form. He said the twin gables should remain because they would make the building look like a standalone house and would get rid of the massing issues. Chair Ruedig said she was torn as well. She said the project kept growing and the expansions moved around the building, making it difficult for the Commission to get a good grasp of the design. However, she said it was the back of the building and the twin gables were from 1990, not 1690, and were more in line with the street because they had a broken-up sense of massing instead of one giant building. She said she did not promote the use of fake facades to break something up, though.

[Timestamp 1:05:36] Chair Ruedig asked Ms. Kozak if she wanted to go forward with the vote or continue the petition to address the Commission's concerns. Ms. Kozak said the west gable could be kept. She said the footprint was not changing and the massing was getting smaller because of the modifications. She said the gables would connect in the back because that had already been approved.

Mr. Wyckoff **withdrew** his motion so that the petition could be continued, and Dr. Brown agreed.

*Mr. Adams moved to **continue** the petition to the August 7 meeting, seconded by Vice-Chair Doering. The motion **passed** unanimously, 6-0.*

B. REQUEST TO POSTPONE- Petition of **Maximilian Kolbe Hochschwender, owner**, for property located at **44 Rogers Street**, wherein permission is requested to allow exterior renovations to an existing structure (remove the existing chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 45 and lies within the Mixed Research Office (MRO) and Historic Districts.

The petition was **postponed** to the August 7 meeting.

C. REQUEST TO POSTPONE- Petition of **Emily Niehaus and Bernard T. Roesler, owners**, for property located at **44 Gardner Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace all existing windows, siding, window casings and corner boards) and the installation of mechanical equipment (HVAC condenser and venting for the kitchen and bathrooms) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 42 and lies within the General Residence B (GRB) and Historic Districts.

The petition was **postponed** to the August 7 meeting.

IV. WORK SESSIONS (OLD BUSINESS)

1. REQUEST TO POSTPONE- Work Session requested by **Kevin Shitan Zeng Revocable Trust of 2017, owner**, for property located at **377 Maplewood Avenue**, wherein permission is requested to allow the demolition of the rear structure on the lot and the new construction of a detached accessory dwelling unit as per plans on file in the Planning

Department. Said property is shown on Assessor Map 141 as Lot 22 and lies within the General Residence A (GRA) and Historic Districts.

The work session was **postponed** to the August 7 meeting.

2. REQUEST TO POSTPONE- Work Session requested by **Jeffrey Daniel Berlin, owner**, for property located at **38 State Street, Unit #4**, wherein permission is requested to allow renovations to an existing structure (new roofing, roof deck, and windows) and new construction to an existing structure (construct new penthouse addition to access roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 10-4 and lies within the Character District 4 (CD4) and Historic Districts.

The work session was **postponed** to the August 7 meeting.

3. Work Session requested by **96 State Street, LLC, owner**, for property located at **96 State Street**, wherein permission is requested to allow new construction to an existing structure (construct a 2-story addition at the rear corner of the structure facing Atkinson Street and construct a 2-story addition facing State Street) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 52 and lies within the Character District 4 (CD4) and Historic Districts.

WORK SESSION

[Timestamp 1:09:34] Architect Brandon Holben was present on behalf of the applicant. He said they worked on responding to some of the Commission's feedback from the previous month by trying to reduce the visibility of the additions from the public way. He reviewed the Concept 1 and Concept 2 elevation options. The new additions and hip forms of the Concept 1 elevation were discussed. Mr. Adams said pulling some of the pieces back seemed to respect the fact that the building was a freestanding one and was better than what was previously submitted, but he said he was concerned about what would happen to the old window in the little cape. Mr. Holben said the window was recently added and was not old.

Mr. Holben reviewed the Concept 2 elevation's added textured pattern and details and design precedents. Mr. Adams said the paneling effect made more sense on State Street but that he wasn't crazy about the piece seen from Atkinson Street and suggested that it be done at the east edge of the 2-story unit. Mr. Wyckoff agreed that it was more successful on the State Street side. Mr. Adams said he liked the horizontal piping because it was a contemporary look instead of a phony Colonial element. The section details and the hip roof were discussed.

Vice-Chair Doering said she appreciated that some things were pulled back but said she could not support more stuff hanging off the building. She said she appreciated that the owner was trying to put in workforce housing but noted that a potential new owner might not continue that. Mr. Booz referred to the design precedents and said if the structure in the lower left-hand corner were put on the top of the black section and pushed back, it would look like a separate building with the second and third floors set back. Dr. Brown said it was difficult to keep adding and adding to a building, but the housing was needed. Chair Ruedig said she thought the better

combination was Concept 1 on Atkinson Street and Concept 2 on State Street. She said she favored just having windows on the State Street with no balconies because it preserved the Federal building's look but she also respected that there were all modern additions and would be separate from the historic piece of the building. She asked if any of the exterior brick walls would remain on the interior. Mr. Holben said they would. Chair Ruedig said she thought the hip complimented the existing roof.

There was no public comment. Mr. Holben said he would return for a public hearing.

*Dr. Brown moved to **close the work session**, seconded by Mr. Wyckoff. The motion **passed unanimously**, 6-0.*

Other Business (not listed on the agenda)

[Timestamp 1:31:12] Mr. Wyckoff said he sent the Commissioners information that he found for 127 Gate Street project from 2009. He said the applicant at that meeting was asking to replace wood gutters with aluminum ones, and the Commission allowed it along with an aluminum downspout and asked her to enclose the downspout with a 3-sided box. She said the Commission did not ask for or approve copper on the back. He said it referred to an article that the Portsmouth Herald wrote about the project, and he felt that the Commission's point of view on projects was not getting out correctly. He said there were other problems with the project, including the lack of electrical service. Chair Ruedig said the HDC was often a controversial board in any town but knew that there were several organizations that would love to work with the HDC and be in an advocacy role for preservation. Mr. Booz said the person who wrote the article might not have done his due diligence. It was further discussed.

V. ADJOURNMENT

The meeting adjourned at 8:10 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

August 07, 2024

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering (via Zoom); City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, Dave Adams, and Alternate Larry Booz

MEMBERS EXCUSED: None.

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

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Chair Ruedig called the meeting to order at 6:30 p.m. City Council Representative Blalock and Alternate Larry Booz arrived later in the meeting.

I. ADMINISTRATIVE APPROVALS

1. 322 Islington Street

The request was to replace two doors with mahogany doors that would mimic the approved carriage house door on the property. Mr. Adams said the specification sheet showed small round decorations on one door that were face pins, but the matching door didn't have them. He asked to stipulate that there be no face pins on the doors.

Stipulation: The doors to be installed shall not have face pins.

2. 355 Pleasant Street

The request was approval for the installation of a cedar fence and gate to replace a failed picket style fence. Mr. Gilbo showed examples of the proposed fence and gate.

3. 79 Daniel Street

The request was to relocate the condenser units on the side of the property to the mid level of the rear deck on the back side of the property. Mr. Gilbo said a screening option was also proposed.

4. 434 Marcy Street

The request was approval for a new fence that would match the existing one and for a flat iron handrail design for the balcony, landing, and steps.

5. 276 Maplewood Avenue

The request was approval for the installation of a new fence and for replacement fencing. Mr. Gilbo said the applicant wanted to replace an existing chain link fence with a new chain link fence and add a vinyl fence to run across the front of the property. Mr. Wyckoff said he was willing to accept the chain link fence because it would replace the existing one but he could not accept the vinyl fence. Dr. Brown agreed and suggested a black aluminum fence instead, noting that it would match the fence in Goodwin Park. Mr. Adams said he walked along that section of Maplewood Avenue and found no other chain link fencing and that he could not remember the last time the Commission voted for one. He said there was an existing fence but that the applicant wanted to change it, and he thought a vinyl fence on the street was a bad choice in terms of durability. He said he could not support the request as presented. Mr. Wyckoff said the applicant could request a wood cedar fence painted white instead of the vinyl fence. The Commission decided to pull the item and vote on it separately.

*Mr. Wyckoff moved to **continue** the item to the August 14 meeting, seconded by Mr. Ryan.*

*The motion **passed** unanimously, 7-0.*

6. 114 Maplewood Avenue

The request was approval for construction of a side exit landing and stair with a standard design and made of wood, constructed with the same materials and methods as the front.

7. 238 Deer Street

Architect Richard Desjardins was present on behalf of the applicant and reviewed the requested changes, which included different windows, the relocation of condenser units, a change in the light fixture, and the relocation of the exhaust vent and the mechanical louver.

*Councilor Blalock moved to **approve** Items 1, 2, 3, 4, 6, and 7, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

Chair Ruedig read the postponed petitions into the record.

*Mr. Ryan moved to **postpone** Public Hearing Petition B, 142 State Street, to the August 14 meeting, and Work Session A, 377 Maplewood Avenue, and Work Session B, 38 State Street, to the September 4 meeting. Councilor Blalock seconded. The motion **passed** unanimously, 7-0.*

II. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **Coventry LLC, owner**, for property located at **111 State Street**, wherein permission is requested to allow changes to a previously approved design (reconfigure rear gable ends to include a recessed porch and dormer, add new windows, change rear center gable siding, and changes to the front entrance doors) to as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 20 and lies within the Character District 4 (CD4) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 25:45] Architect Tracy Kozak was present on behalf of the applicant, with Marie Bodie who also represented the owner. Mr. Kozak said there were changes proposed in the back area where the yellow twin gables were, and there were two design schemes. She said Option 1 proposed revisions to the previous scheme with a single gable and a shed, and the proportions, trim, and spacing were revised to make it more delicate. She said Option 2 was to keep the gable look but refine some of the trim and proportions. She reviewed the roof plan and said Option 1 was a single center gable and a shed to either side, and Option 2 was the two-gable scheme. She discussed the reference to the Sherburne House at the previous meeting and the long gable end with two gable dormers, and she said Option 2 would have the continuous sloped roof that the gables were set on to unify it. She went into more detail on Options 1 and 2 and showed renderings of each option, and she said they were also presenting changes in color.

[Timestamp 32:55] Mr. Adams said the vertical scale of the gable structure seemed to be the same height whether it was one or two gables and seemed higher than the gables of other nearby houses. He said the space created between the head of the first-floor windows and the sills of the second-floor windows was enormous and uncharacteristic. He said he could go with either option but asked why the thing was so tall. Ms. Kozak said the eave would only be raised by three feet and the peak of the ridge would be no higher than the ridge it was connected to at the corner. She noted that some of the buildings across the street were a half-story higher. She said they were keeping the same spacing but adding three more feet of head height to meet code. It was further discussed. Mr. Wyckoff said he was willing to accept some of the problems Mr. Adams mentioned and that he approved the project. Mr. Booz said he preferred Option 2 because keeping the second gable made the building seem like separate ones. Dr. Brown agreed, noting that Option 2 broke the building down and balanced it better. Mr. Ryan said he thought both options were appropriate for the Historic District because the scale and massing were proper and that he would leave it up to the applicant, but he preferred Option 2 because it had a nicer quality and scale that related to the rest of Sheafe Street. Vice-Chair Doering said she liked Option 2, and Councilor Blalock agreed. Chair Ruedig asked if Ms. Kozak was concerned about the valley between the two dormers and the weathering. Ms. Kozak said that was the reason they preferred the other option but that she would look into future water problems.

[Timestamp 42:36] Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Sandell Morse of 29 Chapel Street said she would choose Option 2 but thought there was a disguised shed dormer instead of a gable because it was going up three feet and there was still a big mass of building. She asked how the original project developed into the current one. She said she had a problem when a developer kept returning with larger modifications and incremental improvements. She said she'd like to see nothing changed on the back of the building but have it remain with two gables at their height.

Jan Howe of 29 Chapel St, Unit 2, said she would go with Option 2. She said she was concerned with the height but understood that code and safety were important. She asked if the gables could be a contrasting color to offset them.

Tom Irwin of 28 Chapel Street said he preferred the current scale, in terms of vertical scale, but of the two options, he preferred Option 2 and agreed that the gables should be a different color. He asked if the recessed porch could be squared off at the top to be consistent with the windows beneath and the one in the gable to the right, noting that it might provide more uniformity.

Marie Bodie of 121 State Street said she was the owner's representative but also an immediate abutter. She said she spoke to Mr. Irwin earlier and that squaring off the window would not be a problem. She said the color would be yellow. She explained how the economy had changed since 2019 and how much the building deteriorated. She said the new design was completely different and massive improvements were made. She asked that the Commission consider Option 2 with the modification that Mr. Irwin requested.

DECISION OF THE COMMISSION

[Timestamp 51:51] *Mr. Ryan moved to **grant** the Certificate of Approval with the following stipulations:*

- 1. Option 2 shall be used, and*
- 2. The window and paint color considerations shall be used.*

Councilor Blalock seconded.

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the defining character of the surrounding properties. Councilor Blalock said the approval would hopefully allow the project to be finished as soon as possible.

*The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition.*

B. REQUEST TO POSTPONE- Petition of **Richardson Revocable Trust, owner**, for property located at **142 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (removal and replacement of slate roof to asphalt shingles) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 60 and lies within the Character District 4 (CD4) and Historic Districts.

The petition was **postponed** to the August 14 meeting.

Mr. Booz recused himself from the following petition.

C. (Work Session/Public Hearing) requested by **Matthew Morton Associates, LLC, owner**, for property located at **87 Market Street**, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 43 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

WORK SESSION

[Timestamp 55:06] Aaron Lynn of Marvin Windows was present, along with the project representative Jeff Jones. Mr. Jones said the windows were proposed to be changed but the storefront and restaurant windows would stay the same. Mr. Lynn said there were lots of different windows and not a lot of uniformity. He said they looked at the openings and determined what had happened over the years. He said there were examples of windows from the 1940s through 1990s but that they would return to the original windows and more traditional moldings. He said the most consistent number they found was 7/8 muntins. He said there was a total of four round tops and that they would go back to the masonry openings on those and do a square top filler instead. He said Marvin Windows was able to match the top radiuses on the storefront windows perfectly, and he explained how it would be done.

[Timestamp 1:00:15] Mr. Adams verified that it would be a square piece of glass with trim applied to the face of it. He said the remains of a grand cast iron storefront could be seen that he would like retained. He asked what would happen to the big square storefront windows. Mr. Lynn said a framed window would go in place and the trim would approximate what was currently there. It was further discussed. Mr. Adams asked what happened to the proposed double hung windows on the Dolphin Striker section. Mr. Jones said they could do casements instead. Mr. Adams asked if that would change the framing. Mr. Lynn said they would provide it as a radius assembly that dropped in and would keep the same dimensions. He said their first choice would be double hungs, however. Mr. Wyckoff said double hungs would need screening. He asked how premanufactured units would be integrated into a 19th century carpentry filler and asked if the top units had glass or applied wood on the outside. Mr. Lynn said it would be a square piece of glass with wood applied on top. Chair Ruedig said she was concerned that when everything on the exterior was replaced, it would look new and joints would be seen to make it apparent that it was historic material. Mr. Lynn said they were proposing something similar on the sides and looking at a more standard type of unit that was easier to work with. Mr. Ryan said he kept seeing standard details and asked if they reflected the proposal. Mr. Lynn said they could either salvage the window and restore it or replace it with insulated glass and modern technology. Mr. Ryan suggested a glazed storefront and starting from there. He said he was still seeing half round windows on the plan. Mr. Gilbo said it seemed that there were more window details than were presented to the Commission. Mr. Ryan said he was frustrated that he was seeing details that were not applicable to the building elevations and window types. Mr. Adams asked if the masonry openings of the other windows would be changed and was told that they would not. He asked if there would be new headers or sills. Mr. Jones said the headers would possibly be new. Mr. Adams said there were a few issues, including the mixed window openings and the fact that everyone thought the 7/8 mullion would be appropriate and that the bulk of the work sounded like a normal replacement. He said he was skeptical about the double hungs and screens surviving on the Dolphin Striker section due to its proximity to the sidewalk, and he said he would be comfortable breaking up the cast iron storefront into a few pieces but wanted the applicant to finish their investigation and tell the Commission how they would approach it. The size of the plate glass windows and whether the cast iron frames could support them was discussed. Mr. Lynn asked if casements on the Bow Street elevation would be an option. Mr. Ryan asked if any research was done at the Athenaeum to see what the history was and wondered if the glazing went all the way to the cast iron. He said the applicant might be able to

go back to something that was even more original than what was there now. Chair Ruedig suggested that the applicant go to the Athenaeum to ask for photos. It was further discussed.

Public Comment

[Timestamp 1:24:30] A woman (name indecipherable) said she was the managing partner of the building and asked that the Commission approve the upper part of the building so that they could move ahead. She said those apartments had leakage.

No one else spoke, and Chair Ruedig closed the public comment.

[Timestamp 1:25:13] Chair Ruedig said the Commission did not have the new specifications, which was the issue with moving forward and approving the upper floor windows. She suggested that the petition be postponed to the August 14 meeting to give the applicant time to submit the plans and provide clarification on the proposed square top. She said the storefront window section could then be continued to give the applicant time to do more investigation and come back with more construction details and to also put the casement specifications together. Mr. Jones said the heat pump enclosures had to be addressed. Chair Ruedig said those could be brought back as an administrative approval.

DECISION OF THE COMMISSION

*Councilor Blalock moved to **close** the work session and **continue** the public hearing to the August 14 meeting, seconded by Mr. Ryan. The motion **passed** unanimously, 7-0.*

Mr. Adams recused himself from the following petition and Mr. Booz took a voting seat.

D. Petition of **Emily Niehaus and Bernard T. Roesler, owners**, for property located at **44 Gardner Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace all existing windows, siding, window casings and corner boards) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 42 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:30:56] Jeff Kissel of Dockham Builders was present on behalf of the applicant. He reviewed the petition and said they would replace the siding and exterior trim in kind and move forward with the window replacement.

[Timestamp 1:33:12] Chair Ruedig said the application material still indicated that Hardie and Azek would be used. Mr. Kissel said a new plan was updated and that the corner boards would be replaced with pine and the clapboards would be replaced with cedar. He said the corner boards would be primed off site and then painted after they were installed. He said they still proposed new construction windows with no headers because they had nothing to fasten replacement windows into. He gave examples of houses in the south end that had new construction windows. Chair Ruedig said the Commission hoped that the size of the glass wasn't

lost. Vice-Chair Doering asked if the milling would be done off site and the wood would be put on and then painted in place. Mr. Kissel agreed. Vice-Chair Doering said the house was close to the water and suggested that several coats of prime be placed on both sides of the wood and that an effort be made to paint the building on a regular basis. Mr. Wyckoff said he hoped all the windows ended up the same size as the existing sashes. Mr. Kissel said they would. He noted that they would salvage everything they could or donate it.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Councilor Blalock moved to **grant** the Certificate of Approval for the petition with the following stipulation:*

- 1. Half screens shall be used.*

Dr. Brown seconded.

Councilor Blalock said the project would preserve the integrity of the District and have compatibility of design with surrounding properties.

*The motion **passed** unanimously, 7-0.*

III. WORK SESSIONS (OLD BUSINESS)

A. REQUEST TO POSTPONE- Work Session requested by **Kevin Shitan Zeng Revocable Trust of 2017, owner**, for property located at **377 Maplewood Avenue**, wherein permission is requested to allow the demolition of the rear structure on the lot and the new construction of a detached accessory dwelling unit as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 22 and lies within the General Residence A (GRA) and Historic Districts.

The petition was **postponed** to the September 4 meeting.

B. REQUEST TO POSTPONE- Work Session requested by **Jeffrey Daniel Berlin, owner**, for property located at **38 State Street, Unit #4**, wherein permission is requested to allow renovations to an existing structure (new roofing, roof deck, and windows) and new construction to an existing structure (construct new penthouse addition to access roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 10-4 and lies within the Character District 4 (CD4) and Historic Districts.

The petition was **postponed** to the September 4 meeting.

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **PNF Trust of 2013, owner**, for property located at **278 State Street**, wherein permission is requested to allow the full demolition of the existing structure (The Times Building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 78 and lies within Character District 4 (CD-4), Downtown Overlay and the Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:49:36] Attorney Chris Mulligan was present on behalf of the applicant. He said he was there to ask for permission to demolish what remained of the 278 State Street building.

[Timestamp 1:50:38] Deputy City Attorney Trevor McCourt described the building's history in detail, beginning with the 2017 fire that destroyed a good portion of the building.

[Timestamp 1:58:28] Mr. Wyckoff asked if the City intended to keep the chain link fence that went out onto State Street if the building remained. Attorney McCourt said the barrier would be kept in place for public safety until the building was renovated. Vice-Chair Doering noted that February 5, 2020 was the initial approval, and in January 2021 the Commission approved some changes relating to the purchase of the Louie's Restaurant building and that a development plan had been approved. Chair Ruedig said they all expired.

[Timestamp 2:01:07] Attorney Mulligan said his firm was not involved in the most recent litigation but he knew that the court still retained jurisdiction over it and that it was subject to motions for rehearing. He said all the previous approvals from the Commission and other land boards had lapsed and the building was in such a condition that it could not be saved. He said the Chief Building Inspector provided a certified engineer's report as to what temporary measures could be taken to make the building safe and it was concluded that the building could not be made safe on a temporary basis. He said their proposal for a new structure would meet the Commission's criteria, and hanging onto the idea that integrating the existing hulk of the building eliminated that possibility. He said it could not be done feasibly or economically and that the applicant needed the requested relief for demolition in order to proceed with the new project. He said if they received the approval to demolish the remainder of the building, they would go into a work session afterwards and review the proposal for a new building that evoked the existing one. He noted that they would need at least two variances for height and the number of stories and probably for glazing and modulation and there were multiple levels of approval to go through to get the project developed.

[Timestamp 2:06:33] Chair Ruedig asked what had changed in the amount of time since the Commission had their one report from a preservation engineer that said the building was salvageable to the point where the building now was in imminent collapse. Attorney Mulligan said it was the passage of time and the fact that the building had been open to the weather. He said the temporary roofs had failed and a fair amount of time and expense was spent on obtaining approvals, during which construction costs had skyrocketed. Chair Ruedig said she would like to move forward, along with the consent of the Commission. She said normally the Commission granted a demolition when it was attached to the approval of a design that would take its place, and she wanted to ensure that the Commission was consistent with that, so she asked to go

forward with the work session first. Attorney Mulligan said they would not do that unless they had a commitment that they could remove the building. He said their proposed design was based on starting with a blank slate. He said they would need approvals from three different boards, which would take months, and there was no guarantee that a design the Commission approved would get the necessary variances. He said there was no reason to think that the applicant would not meet the Commission's concerns. Chair Ruedig said she was not comfortable with starting with a blank slate until they discussed the design further. Mr. Wyckoff said they were at a stalemate and that he was not willing to accept the fact that the alternative was having a fence go out into State Street *ad infinitum*. He said he was more willing to accept the demolition of the building and that he would like to see the Times building rebuilt and have the architect's original design that was approved a number of times. He said the Commission could not ask the applicant to guarantee that after the building was demolished, there would not be a for sale sign. He said the Commission would have control over any new construction that would happen on the lot. Mr. Ryan said he was unwilling to commit to a demolition just based on a promise, given the history of things in the past. He suggested stipulating that the demolition could be done as long as the Commission approved an upcoming design. Attorney Mulligan said the possibility that the presented project would not get approved remained. He said the building's time had come and gone, and once it was demolished, the Commission was in control of what went up.

[Timestamp 2:19:14] Attorney McCourt recommended that the Commission proceed with the public hearing at this point. Councilor Blalock said the project needed to move forward and that the Commission had to have faith in the applicant and allow them to demolish the building and continue to work with them for the benefit of the community. Mr. Booz agreed and said there was a mutual understanding between the Commission and the applicant that whatever is built in that space would be some facsimile of what's there now. Vice-Chair Doering said she was on the fence and was confused about the applicant's reluctance. She said she didn't see a risk to the applicant in allowing the Commission to take a look at the plans and continue the applicant's request to the next hearing date because it would let everyone take a look at the whole situation. Mr. Adams said the applicant got a permit and had not done anything in seven years except to appeal the Commission's decision because they didn't care for it, and now the applicant was saying they could not make another move until they had approval to tear down the building. He said he didn't see that as a way to start. Dr. Brown agreed and said he could not approve the demolition without a better idea of what would replace the building. Mr. Gilbo asked if the transformer issue with Eversource was resolved. Attorney Mulligan said nothing came of trying to get the transformer off site. He said they could put a transformer on the Church Street elevation in a cut-out and then build stories over it. Chair Ruedig said she was disappointed that the Commission was not allowed to have a conversation about the proposed design and was concerned that it might set a precedent for the future. She said it was a unique situation and that she didn't want it to be repeated or used as an example.

[Timestamp 2:32:20] Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Robin Schenell of 109 Spring Street said she was a parishioner at South Church and had seen bricks fall off the building. She said children played around the building and she was afraid the building would collapse with no warning.

Verity Boyer of the Portsmouth Historical Society said the Advocates reviewed the proposed plans and remained opposed to the demolition because the 1850 building was a contributing structure to Portsmouth and the demolition would be a tremendous loss to the downtown.

Douglas Green said he was the Chair of the Planning and Implementation Committee for the South Church and was concerned about the process of managing dust, noise, timelines, and notification to abutters if the building was demolished. Mr. Gilbo explained how the abutters would be notified. Mr. Green said he was skeptical about the good faith aspect and asked if the Commission would lose any leverage if the building was demolished. Chair Ruedig said the Commission would still have full approval of whatever would be built.

No one else spoke, and Chair Ruedig closed the public hearing.

DISCUSSION OF THE COMMISSION

[Timestamp 2:42:01] Mr. Ryan asked Attorney McCourt who would be liable for potential damage or life safety if the building collapse and if that would change based on the Commission's vote that night. Attorney McCourt said the Commission's ruling would have no bearing on liability and that the City took steps to ensure public safety. Attorney Mulligan said if something catastrophic happened in the near term, he thought there would be a lot of litigation in the next few years because it was a known dangerous condition that the City prevented the applicant from taking appropriate steps to remedy. Chair Ruedig suggested a stipulation that if the demolition is granted, what replaces it is a general replication of the Times building, which could be refined in future work sessions or approvals. Attorney McCourt said that would be appropriate but he didn't think the applicant would agree to that. Chair Ruedig said the applicant's intention was to create a likeness of the Times building, and the Commission had review and control over what went there but that they could not say that they wanted a particular thing. Attorney McCourt said something more amenable might be a stipulation that the applicant would pursue a variance so that if the BOA denied the variance, they were not caught between a rock and a hard place. Attorney Mulligan said the stipulation would not be binding on the other boards and that he did not want to be committed to a building proposal that required relief that the applicant might not ever get. Vice-Chair Doering explained why it was important that the Commission not approve the demolition at this meeting and that they talk about the development plan. She said if a concern was that the facsimile of the building would cause all kinds of variances, then the applicant should suggest things that did not require a variance. She said it was important that the proposed plan be discussed so that the applicant's concerns could be alleviated. Chair Ruedig agreed. Mr. Adams said people were concerned about the damaged building looming over the community. Councilor Blalock said he did not see any win in not granting the demolition. Attorney McCourt recommended that the Commission move to suspend the rules to bring forward the work session.

DECISION OF THE COMMISSION

*Mr. Adams moved to **suspend** the rules and bring forward the work session, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

The Commission entered the work session.

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **PNF Trust of 2013, owner**, for property located at **266-278 State Street**, wherein permission is requested to allow the new construction of a four-story building, as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 78, 79, 80 and lies within Character District 4 (CD-4), Downtown Overlay and the Historic Districts.

WORK SESSION

[Timestamp 2:58:38] Project architect Michael Keane was present and said they proposed a facsimile of the Times building in terms of size and scale and would try to keep the fenestration and window proportions the same. He reviewed the previous proposals and said they decided to keep the building, window sizes, and floor lines the same as much as they could. He said they brought the floor levels up in the additions to match the building, so the additions grew six feet from what they previously were. He said they would change out the transformer if it needed to be. He said to meet code, the proposed building had to have a floor removed or a short story created, or the building needed to be set back, or the ceiling height had to be lowered. He further discussed the other variances that would be needed.

[Timestamp 3:06:24] Mr. Wyckoff said the proposed building looked like a close facsimile, and Mr. Booz agreed. Attorney Mulligan said the criteria for granting a variance was very different than getting an approval from the Commission. Mr. Keane explained that they didn't have all the permits because they didn't have site plan approval due to the transformer issues with Eversource, and by the time the issue was resolved, the permits lapsed. Mr. Ryan said he thought the applicant had tried to reduce the zero lot line situation with a carve-out for the transformer. Mr. Keane said it was in the Church Street elevation but didn't cover the lot line problem. Mr. Ryan asked where the elevator would be. Mr. Keane said there was a chimney in that location now that might be able to be moved once all the floors lined up. Mr. Ryan asked if the granite elements, sills and lintels were all new. Mr. Keane said he tried to salvage the existing granite but would have to talk to the demolition team. He said the corbeling at the top was thin and some of it was destroyed, so he didn't think they could match that profile. Mr. Wyckoff asked if the applicant discussed with the demolition contractor how the existing building could come back. Mr. Keane said he wasn't involved with that but knew that no great solution came up. Mr. Adams asked one a granite window could be re-used in the new structure that would be a brick veneer on a steel frame with sheathing material on it. Mr. Keane said it would have to be new material. Councilor Blalock asked if the elevator shaft was the reason the Times building could not be rebuilt, and Mr. Keane said the zoning ordinance required three stories plus a short story, so a variance was needed because the proposed building was four stories. Mr. Adams asked if the applicant could meet code by clipping the two walls of the building to a steel frame, and it was further discussed. Vice-Chair Doering said the proposed plan was very similar to what was approved before. She said the adjustment of the building of the corner to line up the stories made

sense. She said it made the mass on the corner a little bigger but the corner could handle it. She said she wasn't sure that going from four stories to three would make a big difference in getting the necessary variances and thought variances should be asked for on the best plan that the applicant could come up with, the one that was the most faithful to the existing building. Chair Ruedig agreed. She said the proposed plan looked like the original plan in spirit and that she was comfortable with the design and thought it was very appropriate. She said if it wasn't feasible to keep the building, replacing it with a likeness to continue the building's history and having a cornerstone that said 2025 or the exact year it was built so that it was clear that it was a new building was a good way to go forward. It was further discussed. Mr. Keany said he had a commitment from Eversource that the transformer would work.

Public Comment

Douglas Green asked if the owner was asked if his intention was to actually do the work or to sell the property. Chair Ruedig said the Commission would continue to act in good faith that the applicant would follow through with his plan to rebuild.

No one else spoke, and the public comment was closed.

DECISION OF THE COMMISSION

*[Timestamp 3:19:34] Dr. Brown moved to **continue** the work session, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

Chair Ruedig closed the public hearing.

*[Timestamp 3:23:20] Councilor Blalock moved to **allow** the full demolition of the Times building as presented, with the following **stipulation**:*

- 1) That anything be salvaged and re-used if possible.*

Mr. Wyckoff seconded the motion.

Councilor Blalock said the project would conserve and enhance property values and would have relation to the historic and architectural values of existing structures.

[Timestamp 3:23:49] Mr. Ryan said he wanted more of a commitment and could see the property being put up for sale with the demolition permit, so he could not approve the motion. Vice-Chair Doering said she wanted a stipulation stating that some of the key points and granite and elements during the demolition might be able to be worked into the new building, like a plaque or an explanation about the fire, if possible. She said she was uncertain about how she would vote because the Commission was taking a big leap of faith, and once the building was demolished, a new applicant could come up with a plan that didn't reflect the Times building and the Commission would have to approve it if it met their criteria. Councilor Blalock said he chose the conservation and enhancement of property values criteria because his friends ran the Louie's restaurant and the fire was devastating to them as well as a lot of other people. He said he looked forward to working with the applicant. Chair Ruedig said there was the question of potential

salvage and that perhaps the granite steps could be salvaged and re-used. She said she would support the motion in good faith and hoped that all the other approvals would be quickly gotten so that the hole could be filled in and improved.

*The motion **passed** by a vote of 5-2, with Dr. Brown and Mr. Ryan voting in opposition.*

VI. ADJOURNMENT

The meeting was adjourned at 10:00 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

September 11, 2024

- | | | |
|-----|--------------------------|-----------------------|
| 1. | 276 Maplewood Avenue | -TBD |
| 2. | 100 High Street | -TBD |
| 3. | 41 Pickering Avenue | -Recommended Approval |
| 4. | 300 Court Street | -Recommended Approval |
| 5. | 104 gates Street | -Recommended Approval |
| 6. | 21 South Street, Unit #4 | -Recommended Approval |
| 7. | 342 Islington Street | -TBD |
| 8. | 2 Congress Street | -Recommended Approval |
| 9. | 245 Marcy Street | -Recommended Approval |
| 10. | 48 South Street | -TBD |

1. 276 Maplewood Avenue -TBD

Background: The applicant is seeking approval for the replacement of an existing chain-link fence and the installation of a new vinyl fence.

Staff Comment: TBD

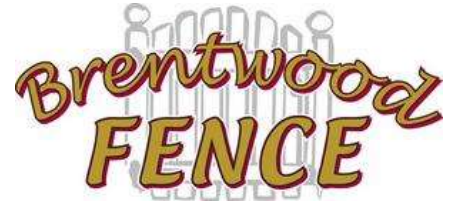
Stipulations:

1. _____
2. _____
3. _____

ESTIMATE

Brentwood Fence
300 Route 125
Brentwood, NH 03833
(603) 867-7856

Sales Representative
Matt Souther
(603) 773-8944
matt@brentwoodfence.com



Rafael Salas
276 Maplewood Ave
Portsmouth, NH

Estimate #	4407
Date	7/2/2024

Item	Description	Unit of Measure	Qty	Amount
5' Black Chain Link	5' Tall Black Vinyl Coated Chain Link Fence	LF	115.00	\$4,025.00
5' FP Vinyl Gator	5' Overall Height Gator Privacy Vinyl Fence	LF	40.00	\$2,274.80
5' clf 10' DD	5' tall 10' DD black chainlink gate including all hardware	Items	1.00	\$1,190.00
Removal and Disposal of Fence	Dismantling and Haul-away of existing fence	item	1.00	\$650.00

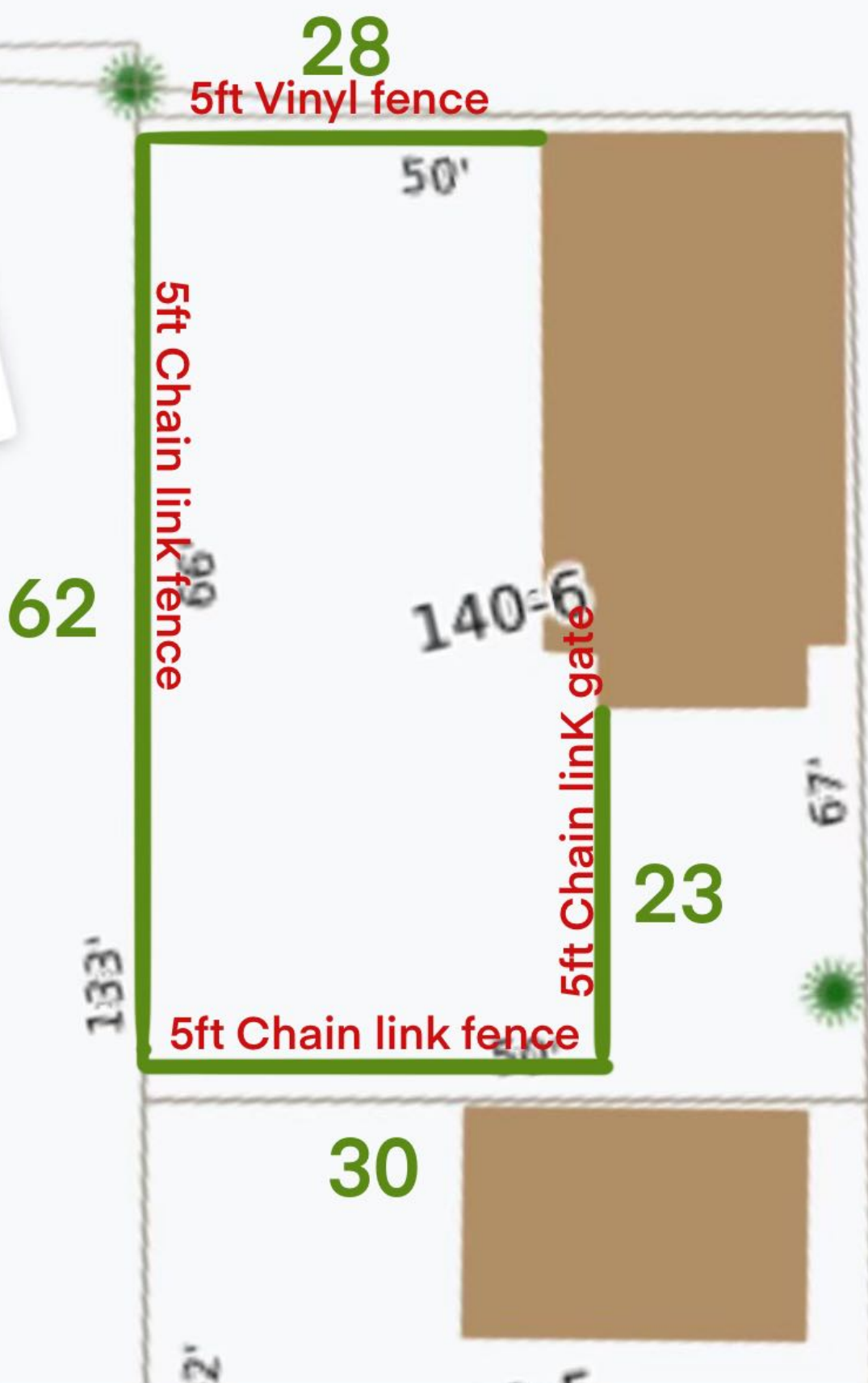
PLEASE SEE SECOND PAGE FOR WARRANTY AND INSTALLATION DATES

NOTE: If Ledge Drilling or Jack Hammering is needed for holes, an up-charge of \$75 per hole will be added to the final invoice.

Sub Total	\$8,139.80
Total	\$8,139.80

SPECIAL INSTRUCTIONS

Ave Maplewood Ave wo Mapl



Dearborn St

Dearborn St

Dearborn St

Sample of existing chain link fence to be replaced:



Sample vinyl fencing panel to be used facing Maplewood Ave:



Sample chain link fence used to replace existing chain link and enclose perimeter (gate will be facing Dearborn):



2. 100 High Street

-TBD

Background: The applicant is seeking approval for a change in location of roof-top mounted mechanical equipment (the equipment has already been installed). The installation location is closer to the edge of the building than previously approved.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



August 15, 2024

Dish Wireless Site ID: BOBOS01018D

RE: Site Address: 100 High St, Portsmouth, NH

To Whom It May Concern:

I am seeking approval from the Historic District Commission to approve the current DISH Wireless design as it has been installed.

To provide further context, the HDC requested a change in the original design and approved the revision during the HDC meeting on January 11, 2023. The updated design was not provided to the General Contractor and they built the site as originally planned.

Before deploying the GC back to the site, we would like the HDC to review the design again and see if any of the antennas can stay where they are to minimize costs and further disruption to site.

Please note that we plan on, at minimum, to paint the antennas to match the building.

On behalf of DISH, I apologize for the inconvenience this has caused and we would like to find a solution that is best for all involved.

Please feel free to call me at (339)210-9718 if you have any questions.

Sincerely,

Meagan Beausoleil

Meagan Beausoleil
Site Acquisition Specialist I
Infraservices Wireless (formally Qualtek Wireless)

Below you will find the original design and the second set of CDs will show the approved design.



DISH Wireless L.L.C. SITE ID:

BOBOS01018D

DISH Wireless L.L.C. SITE ADDRESS:

**100 HIGH STREET
PORTSMOUTH, NH 03801**

NEW HAMPSHIRE CODE OF COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES

CODE TYPE	CODE
BUILDING	NH STATE BUILDING CODE/2015 IBC W/ BCR 300 AMENDMENTS
MECHANICAL	NH STATE BUILDING CODE/2015 IMC W/ BCR 300 AMENDMENTS
ELECTRICAL	2017 NEC W/ BCR 300 AMENDMENTS

SHEET INDEX

SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
A-1	OVERALL SITE PLAN
A-2	ANTENNA PLAN LAYOUT AND SCHEDULE
A-3	SOUTH EAST BUILDING ELEVATION
A-4	EQUIPMENT PLATFORM AND H-FRAME DETAILS
A-5	EQUIPMENT DETAILS
A-6	EQUIPMENT DETAILS
A-7	EQUIPMENT DETAILS
E-1	ELECTRICAL/FIBER ROUTE PLAN AND NOTES
E-2	DETAILS
E-3	ONE-LINE DIAGRAM & PANEL SCHEDULE
G-1	GROUNDING PLANS AND NOTES
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
RF-1	RF CABLE COLOR CODE
GN-1	LEGEND AND ABBREVIATIONS
GN-2	RF SIGNAGE
GN-3	GENERAL NOTES
GN-4	GENERAL NOTES
GN-5	GENERAL NOTES

SCOPE OF WORK

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

- SECTOR SCOPE OF WORK:**
- INSTALL (3) PROPOSED PANEL ANTENNAS (1 PER SECTOR)
 - INSTALL (3) PROPOSED SLED MOUNTS
 - INSTALL PROPOSED JUMPERS
 - INSTALL (6) PROPOSED RRUs (2 PER SECTOR)
 - INSTALL (3) PROPOSED OVER VOLTAGE PROTECTION DEVICE (OVP) (1 PER SECTOR)
 - INSTALL (3) PROPOSED HYBRID CABLES (1 PER SECTOR)

- ROOFTOP SCOPE OF WORK:**
- INSTALL (1) PROPOSED METAL PLATFORM WITH H-FRAME
 - INSTALL (1) PROPOSED CABLE LADDER TRAY OR CABLE TRAY
 - INSTALL (1) PROPOSED BBU IN CABINET
 - INSTALL (1) PROPOSED EQUIPMENT CABINET
 - INSTALL (1) PROPOSED POWER CONDUIT
 - INSTALL (1) PROPOSED TELCO CONDUIT
 - INSTALL (1) PROPOSED NEMA 3 TELCO-FIBER BOX
 - INSTALL (1) PROPOSED GPS UNIT
 - INSTALL PROPOSED CONDUIT SLEEPERS

SITE PHOTO



DIRECTIONS

DIRECTIONS FROM BOSTON LOGAN AIRPORT: FROM BOSTON TAKE RT-1A NORTH. STAY STRAIGHT ONTO RT-60 NORTH. MERGE ONTO RT-1 NORTH. MERGE ONTO I-95 NORTH. TAKE I-95 NORTH EXIT FOR WOODBURY AVE. TURN RIGHT ONTO WOODBURY AVE. STAY RIGHT TOWARDS US1 BYPASS. TAKE FIRST EXIT FOR MAPLEWOOD AVE. TURN LEFT ONTO HANOVER ST. BUILDING WILL BE ON LEFT AT 100 HIGH ST.

VICINITY MAP




UNDERGROUND SERVICE ALERT
 UTILITY NOTIFICATION CENTER OF RHODE ISLAND
 (888) 344-7233
 WWW.DIGSAFE.COM
 CALL 2 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

SITE INFORMATION

PROPERTY OWNER: CHATHAM PORTSMOUTH LLC
 C/O CHATHAM LODGING TRUST
 PROPERTY OWNER ADDRESS: 222 LAKEVIEW AVE, SUITE 200
 WEST PALM BE, FL 33401

TOWER TYPE: ROOF TOP

TOWER CO SITE ID: N/A

COUNTY: ROCKINGHAM

LATITUDE (NAD 83): 43° 4' 40.36" N
 43.077878

LONGITUDE (NAD 83): 70° 45' 35.41" W
 -70.759836

ZONING JURISDICTION: CITY OF PORTSMOUTH

ZONING DISTRICT: CD5

PARCEL NUMBER: 118-0030

OCCUPANCY GROUP: U

CONSTRUCTION TYPE: II-B

POWER COMPANY: EVERSOURCE

TELEPHONE COMPANY: VERIZON

PROJECT DIRECTORY

APPLICANT: DISH Wireless L.L.C.
 5701 SOUTH SANTA FE DRIVE
 LITTLETON, CO 80120

BUILDING OWNER: CHATHAM PORTSMOUTH LLC
 C/O CHATHAM LODGING TRUST
 222 LAKEVIEW AVE, SUITE 200
 WEST PALM BE, FL 33401

SITE DESIGNER: VRG Inc
 23 MIDSTATE DR., #210
 AUBURN, MA 01501
 508-981-9590

SITE ACQUISITION: RYAN LYNCH
 (781) 392-4040

CONSTRUCTION MANAGER: AARON CHANDLER
 (508) 367-7138

RF ENGINEER: NIKITA JOSHI
 Nikita.Joshi@dish.com



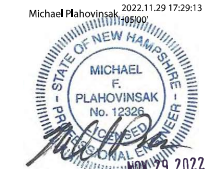
5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



QUALTEK WIRELESS INC
 16 ESQUIRE ROAD
 BILLERICA, MA 01821



VERTICAL RESOURCES GRP.
 23 Midstate Dr., #210
 Auburn, MA 01501
 Tel. (508) 981-9590
 Fax (508) 519-8939
 mnobre@verticalresourcesgrp.com



Michael F. Plahovinsak, P.E.
 Sole Proprietor - Independent Engineer
 18301 SR 161, Plain City, Ohio
 614-398-6250 / m.plahovinsak.com
 MEP Project #40922-116

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

DRAWN BY:	CHECKED BY:	APPROVED BY:
GAM	MN	MP

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

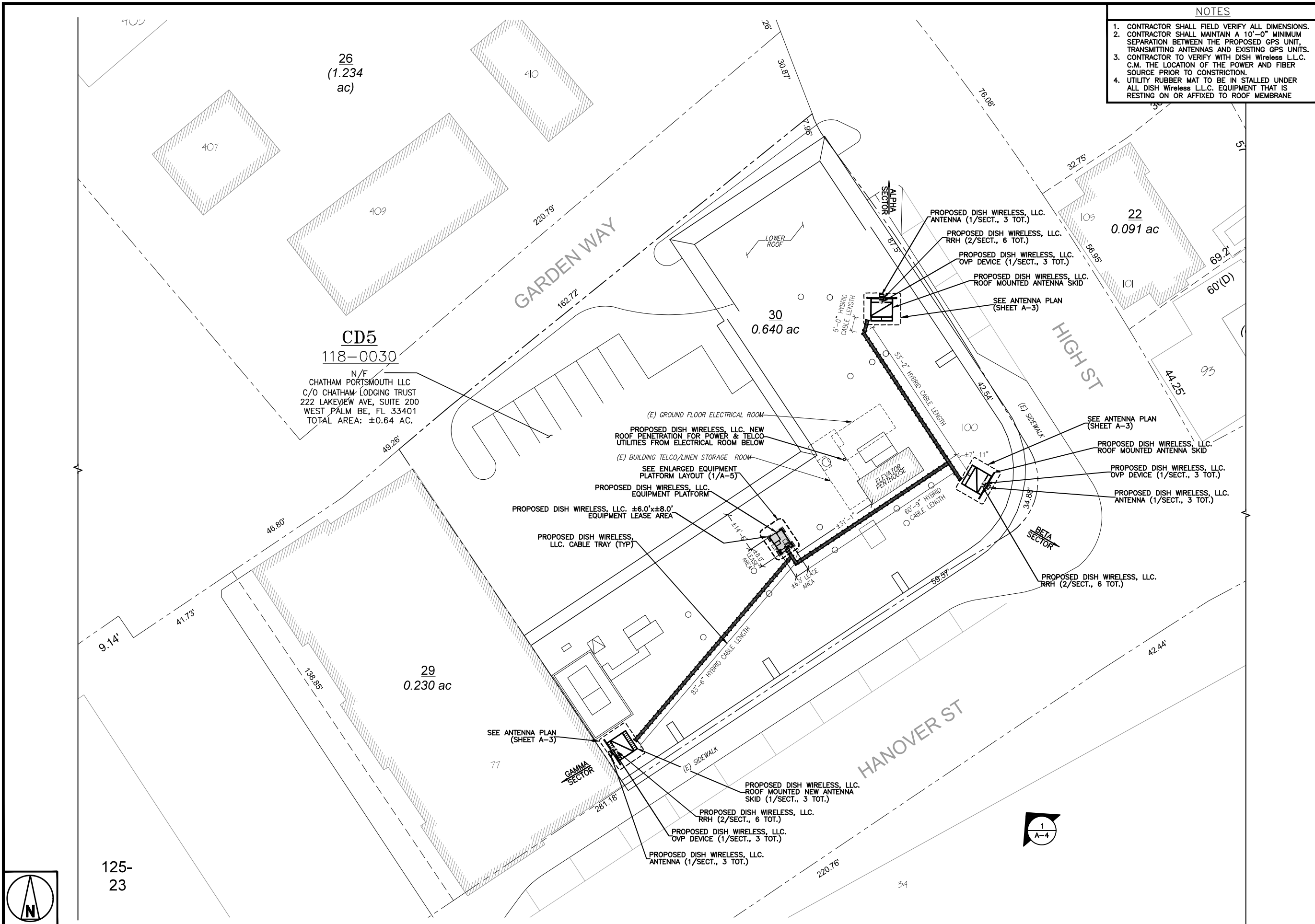
SUBMITTALS		
REV	DATE	DESCRIPTION
0	11/01/2022	FOR PERMITTING
1	11/29/2022	GENERAL REVISIONS

A&E PROJECT NUMBER
BOBOS01018D

DISH Wireless L.L.C.
 PROJECT INFORMATION
BOBOS01018D
 100 HIGH STREET
 PORTSMOUTH, NH 03801

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



- NOTES**
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
 2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED GPS UNIT, TRANSMITTING ANTENNAS AND EXISTING GPS UNITS.
 3. CONTRACTOR TO VERIFY WITH DISH Wireless L.L.C. C.M. THE LOCATION OF THE POWER AND FIBER SOURCE PRIOR TO CONSTRUCTION.
 4. UTILITY RUBBER MAT TO BE IN STALLED UNDER ALL DISH Wireless L.L.C. EQUIPMENT THAT IS RESTING ON OR AFFIXED TO ROOF MEMBRANE

dish wireless.
 5701 SOUTH SANTA FE DRIVE
 LITTLETON, CO 80120

QUALTEK WIRELESS
 QUALTEK WIRELESS INC
 16 ESQUIRE ROAD
 BILLERICA, MA 01821

VRG
 VERTICAL RESOURCES GRP.
 23 Midstate Dr., #210
 Auburn, MA 01501
 Tel. (508) 981-9500
 Fax (508) 519-8939
 mnobre@verticalresourcesgrp.com

STATE OF NEW HAMPSHIRE
 MICHAEL F. PLAHOVINSAK
 No. 12326
 LICENSED PROFESSIONAL ENGINEER
 NOV 29 2022

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

DRAWN BY:	CHECKED BY:	APPROVED BY:
GAM	MN	MP
RFDS REV #:	0	

CONSTRUCTION DOCUMENTS

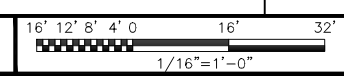
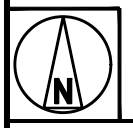
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REV	DATE	DESCRIPTION
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1	11/29/2022	GENERAL REVISIONS

A&E PROJECT NUMBER
 BOBOS01018D

DISH Wireless L.L.C.
 PROJECT INFORMATION
 BOBOS01018D
 100 HIGH STREET
 PORTSMOUTH, NH 03801

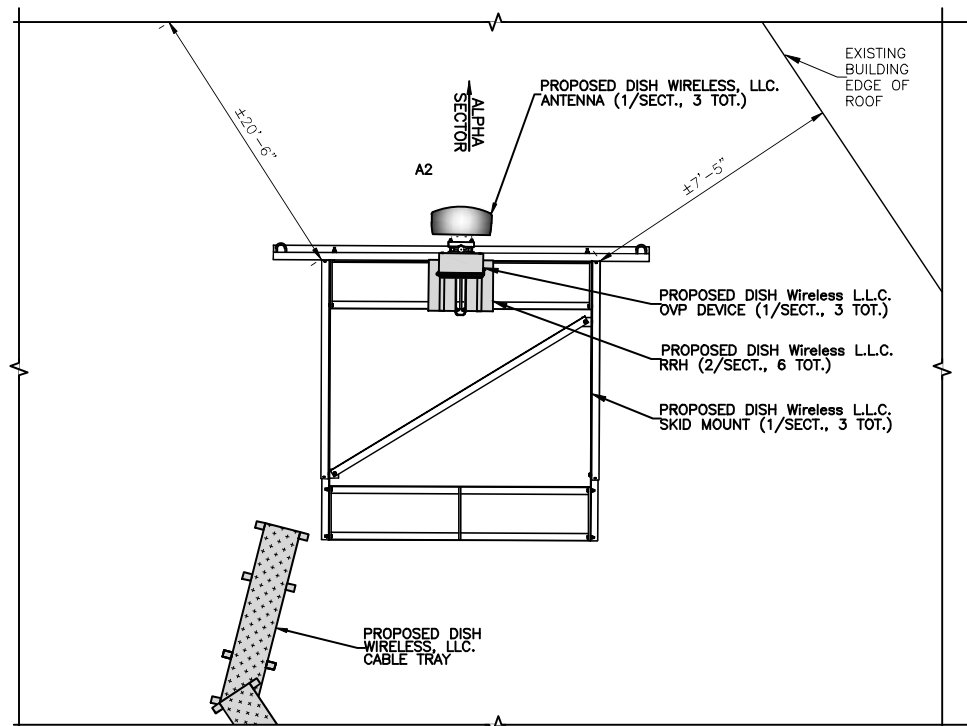
SHEET TITLE
 OVERALL SITE PLAN

SHEET NUMBER
A-1

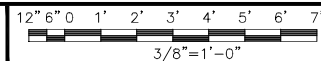


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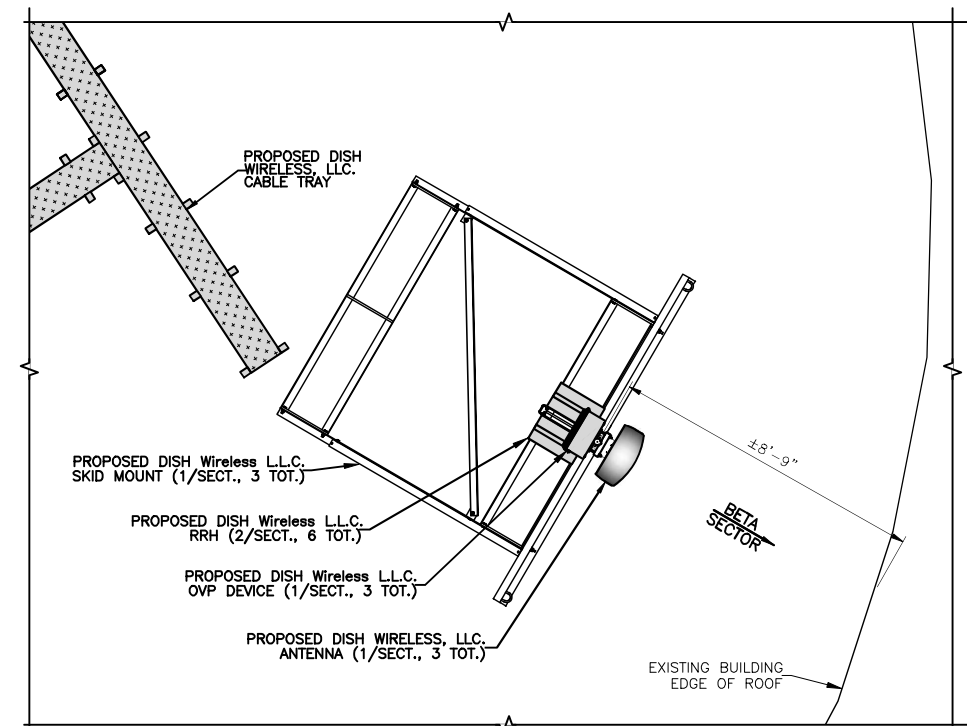
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANTENNA AND MW DISH SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS
3. EXISTING EQUIPMENT AND FENCE OMITTED FOR CLARITY.
4. ALPHA SECTOR SHOWN TYPICAL FOR BETA AND GAMMA SECTORS.



ANTENNA PLAN - ALPHA SECTOR



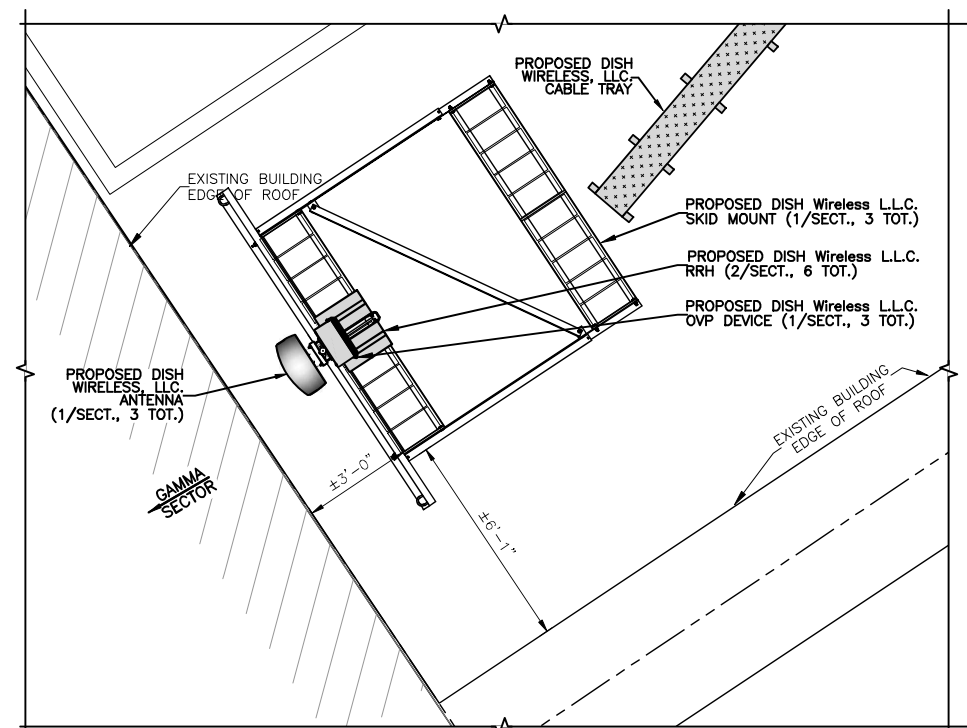
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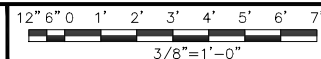
ANTENNA PLAN - BETA SECTOR



2



ANTENNA PLAN - GAMMA SECTOR



3

SECTOR POS.	ANTENNA					TRANSMISSION CABLE FEED LINE TYPE AND LENGTH	RRH			OVP
	EXISTING OR PROPOSED	MANUFACTURER - MODEL NUMBER	TECH	AZIMUTH	RAD CENTER		MANUFACTURER - MODEL NUMBER	TECH	POS.	MANUFACTURER MODEL
A1	--	--	--	--	--	(1) NWS DC CABLE (1) NWS FIBER CABLE (130' LONG)	FUJITSU - TA08025-B604	5G	A2	RAYCAP RDIDC-3045 -PF-48
A2	PROPOSED	JMA - MX08FR0665-21	5G	0°	60°-0"		FUJITSU - TA08025-B605	5G	A2	
A3	--	--	--	--	--		--	--	--	
B1	--	--	--	--	--	(1) NWS DC CABLE (1) NWS FIBER CABLE (80' LONG)	FUJITSU - TA08025-B604	5G	B2	RAYCAP RDIDC-3045 -PF-48
B2	PROPOSED	JMA - MX08FR0665-21	5G	120°	60°-0"		FUJITSU - TA08025-B605	5G	B2	
B3	--	--	--	--	--		--	--	--	
C1	--	--	--	--	--	(1) NWS DC CABLE (1) NWS FIBER CABLE (90' LONG)	FUJITSU - TA08025-B604	5G	C2	RAYCAP RDIDC-3045 -PF-48
C2	PROPOSED	JMA - MX08FR0665-21	5G	240°	60°-0"		FUJITSU - TA08025-B605	5G	C2	
C3	--	--	--	--	--		--	--	--	

NOTES

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ANTENNA SCHEDULE

NO SCALE

4

dish
wireless.

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

QUALTEK
WIRELESS

QUALTEK WIRELESS INC
16 ESQUIRE ROAD
BILLERICA, MA 01821

VRG

VERTICAL RESOURCES GRP.
23 Midstate Dr., #210
Auburn, MA 01501
Tel. (508) 981-9590
Fax (508) 519-8939
mnobre@verticalresourcesgrp.com



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DRAWN BY: CHECKED BY: APPROVED BY:
GAM MN MP

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS		
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1	11/29/2022	GENERAL REVISIONS

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BOBOS01018D

DISH Wireless L.L.C.
PROJECT INFORMATION

BOBOS01018D
100 HIGH STREET
PORTSMOUTH, NH 03801

SHEET TITLE
ANTENNA PLAN,
ELEVATION AND SCHEDULE

SHEET NUMBER

A-2

NOTES

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dish
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CHECKED BY: MN
APPROVED BY: MP

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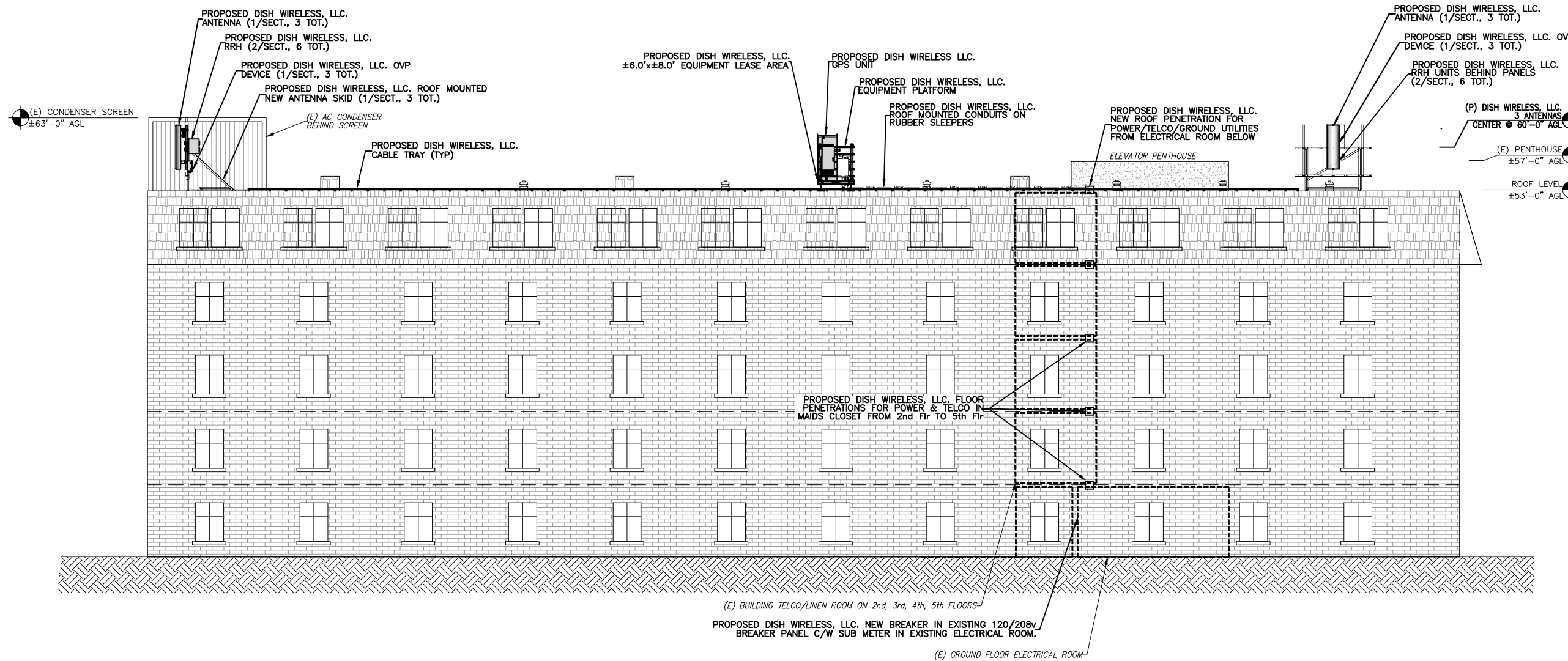
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PORTSMOUTH, NH 03801

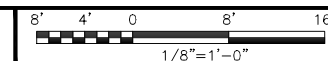
SHEET TITLE
SOUTH EAST
ELEVATION

SHEET NUMBER

A-3



BUILDING SOUTH EAST ELEVATION





DISH Wireless L.L.C. SITE ID:

BOBOS01018D

DISH Wireless L.L.C. SITE ADDRESS:

**100 HIGH STREET
PORTSMOUTH, NH 03801**

SCOPE OF WORK

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

- SECTOR SCOPE OF WORK:**
- INSTALL (3) PROPOSED PANEL ANTENNAS PAINTED TO MATCH (1 PER SECTOR)
 - INSTALL (2) PROPOSED SLED MOUNTS
 - INSTALL PROPOSED JUMPERS
 - INSTALL (6) PROPOSED RRU's (2 PER SECTOR)
 - INSTALL (3) PROPOSED OVER VOLTAGE PROTECTION DEVICE (OVP) (1 PER SECTOR)
 - INSTALL (3) PROPOSED HYBRID CABLES (1 PER SECTOR)

- ROOFTOP SCOPE OF WORK:**
- INSTALL (1) PROPOSED METAL PLATFORM WITH H-FRAME
 - INSTALL (1) PROPOSED CABLE LADDER TRAY OR CABLE TRAY
 - INSTALL (1) PROPOSED BBU IN CABINET
 - INSTALL (1) PROPOSED EQUIPMENT CABINET
 - INSTALL (1) PROPOSED POWER CONDUIT
 - INSTALL (1) PROPOSED TELCO CONDUIT
 - INSTALL (1) PROPOSED NEMA 3 TELCO-FIBER BOX
 - INSTALL (1) PROPOSED GPS UNIT
 - INSTALL PROPOSED CONDUIT SLEEPERS

SITE PHOTO



DIRECTIONS

DIRECTIONS FROM BOSTON LOGAN AIRPORT: FROM BOSTON TAKE RT-1A NORTH. STAY STRAIGHT ONTO RT-60 NORTH. MERGE ONTO RT-1 NORTH. MERGE ONTO I-95 NORTH. TAKE I-95 NORTH EXIT FOR WOODBURY AVE. TURN RIGHT ONTO WOODBURY AVE. STAY RIGHT TOWARDS US1 BYPASS. TAKE FIRST EXIT FOR MAPLEWOOD AVE. TURN LEFT ONTO HANOVER ST. BUILDING WILL BE ON LEFT AT 100 HIGH ST.

VICINITY MAP



NEW HAMPSHIRE CODE OF COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES

CODE TYPE	CODE
BUILDING	NH STATE BUILDING CODE/2015 IBC W/ BCR 300 AMENDMENTS
MECHANICAL	NH STATE BUILDING CODE/2015 IMC W/ BCR 300 AMENDMENTS
ELECTRICAL	2017 NEC W/ BCR 300 AMENDMENTS

SHEET INDEX

SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
A-1	OVERALL SITE PLAN
A-2	ANTENNA PLAN LAYOUT AND SCHEDULE
A-3	SOUTH EAST BUILDING ELEVATION
A-4	EQUIPMENT PLATFORM AND H-FRAME DETAILS
A-5	EQUIPMENT DETAILS
A-6	EQUIPMENT DETAILS
A-7	EQUIPMENT DETAILS
E-1	ELECTRICAL/FIBER ROUTE PLAN AND NOTES
E-2	DETAILS
E-3	ONE-LINE DIAGRAM & PANEL SCHEDULE
G-1	GROUNDING PLANS AND NOTES
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
RF-1	RF CABLE COLOR CODE
GN-1	LEGEND AND ABBREVIATIONS
GN-2	RF SIGNAGE
GN-3	GENERAL NOTES
GN-4	GENERAL NOTES
GN-5	GENERAL NOTES



UNDERGROUND SERVICE ALERT
UTILITY NOTIFICATION CENTER OF RHODE ISLAND
(888) 344-7233
WWW.DIGSAFE.COM



CALL 2 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

SITE INFORMATION

PROPERTY OWNER: CHATHAM PORTSMOUTH LLC
C/O CHATHAM LODGING TRUST
PROPERTY OWNER ADDRESS: 222 LAKEVIEW AVE, SUITE 200
WEST PALM BE, FL 33401

TOWER TYPE: ROOF TOP

TOWER CO SITE ID: N/A

COUNTY: ROCKINGHAM

LATITUDE (NAD 83): 43° 4' 40.36" N
43.077878

LONGITUDE (NAD 83): 70° 45' 35.41" W
-70.759836

ZONING JURISDICTION: CITY OF PORTSMOUTH

ZONING DISTRICT: CD5

PARCEL NUMBER: 118-0030

OCCUPANCY GROUP: U

CONSTRUCTION TYPE: II-B

POWER COMPANY: EVERSOURCE

TELEPHONE COMPANY: VERIZON

PROJECT DIRECTORY

APPLICANT: DISH Wireless L.L.C.
5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

BUILDING OWNER: CHATHAM PORTSMOUTH LLC
C/O CHATHAM LODGING TRUST
222 LAKEVIEW AVE, SUITE 200
WEST PALM BE, FL 33401

SITE DESIGNER: VRG Inc
23 MIDSTATE DR., #210
AUBURN, MA 01501
508-981-9590

SITE ACQUISITION: RYAN LYNCH
(781) 392-4040

CONSTRUCTION MANAGER: AARON CHANDLER
(508) 367-7138

RF ENGINEER: NIKITA JOSHI
Nikita.Joshi@dish.com



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



QUALTEK WIRELESS INC
16 ESQUIRE ROAD
BILLERICA, MA 01821



VERTICAL RESOURCES GRP.
23 Midstate Dr., #210
Auburn, MA 01501
Tel. (508) 981-9590
Fax (508) 519-8939
mnobre@verticalresourcesgrp.com



Michael F. Plahovinsak, P.E.
Sole Proprietor - Independent Engineer
18301 SR 161, Plain City, Ohio
614-398-6250 / mike@mfpe.com
MFP Project #40922-116

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DRAWN BY:	CHECKED BY:	APPROVED BY:
GAM	MN	MP

RFDS REV #: 0

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SUBMITTALS		
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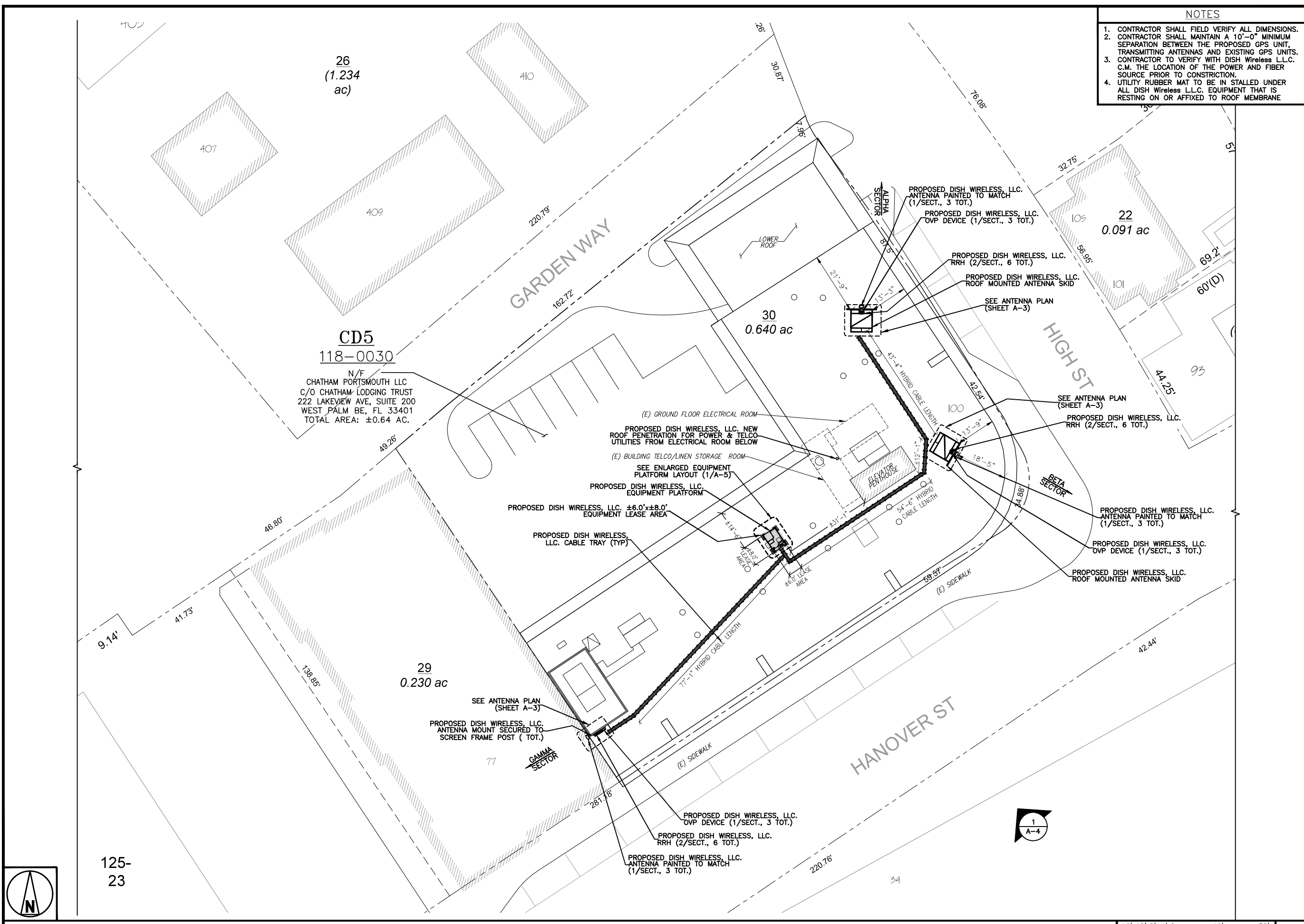
A&E PROJECT NUMBER
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DISH Wireless L.L.C.
PROJECT INFORMATION

BOBOS01018D
100 HIGH STREET
PORTSMOUTH, NH 03801

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



- NOTES**
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
 2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED GPS UNIT, TRANSMITTING ANTENNAS AND EXISTING GPS UNITS.
 3. CONTRACTOR TO VERIFY WITH DISH Wireless L.L.C. C.M. THE LOCATION OF THE POWER AND FIBER SOURCE PRIOR TO CONSTRUCTION.
 4. UTILITY RUBBER MAT TO BE IN STALLED UNDER ALL DISH Wireless L.L.C. EQUIPMENT THAT IS RESTING ON OR AFFIXED TO ROOF MEMBRANE

dish wireless.
 5701 SOUTH SANTA FE DRIVE
 LITTLETON, CO 80120

QUALTEK WIRELESS
 QUALTEK WIRELESS INC
 16 ESQUIRE ROAD
 BILLERICA, MA 01821

VRG
 VERTICAL RESOURCES GRP.
 23 Midstate Dr., #210
 Auburn, MA 01501
 Tel. (508) 981-9590
 Fax (508) 519-8939
 mnobre@verticalresourcesgrp.com

STATE OF NEW HAMPSHIRE
 MICHAEL F. PLÁHOVINSÁK
 No. 12326
 LICENSED PROFESSIONAL ENGINEER
 JAN 20 2023

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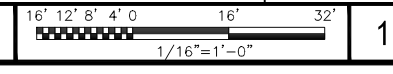
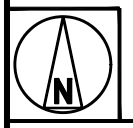
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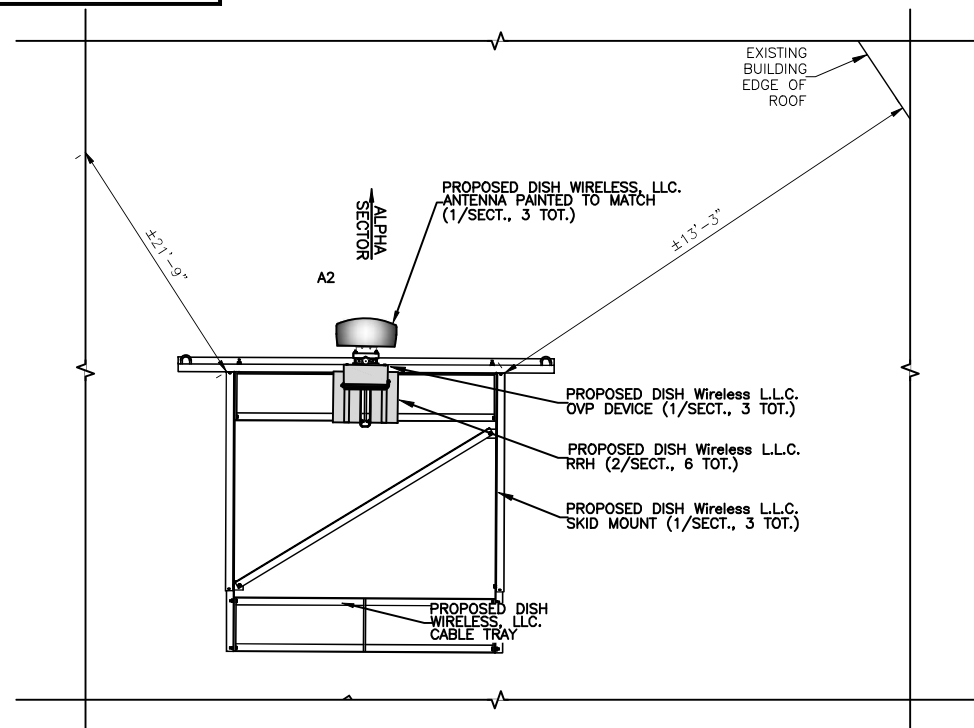
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 OVERALL SITE PLAN

SHEET NUMBER
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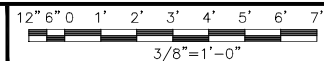


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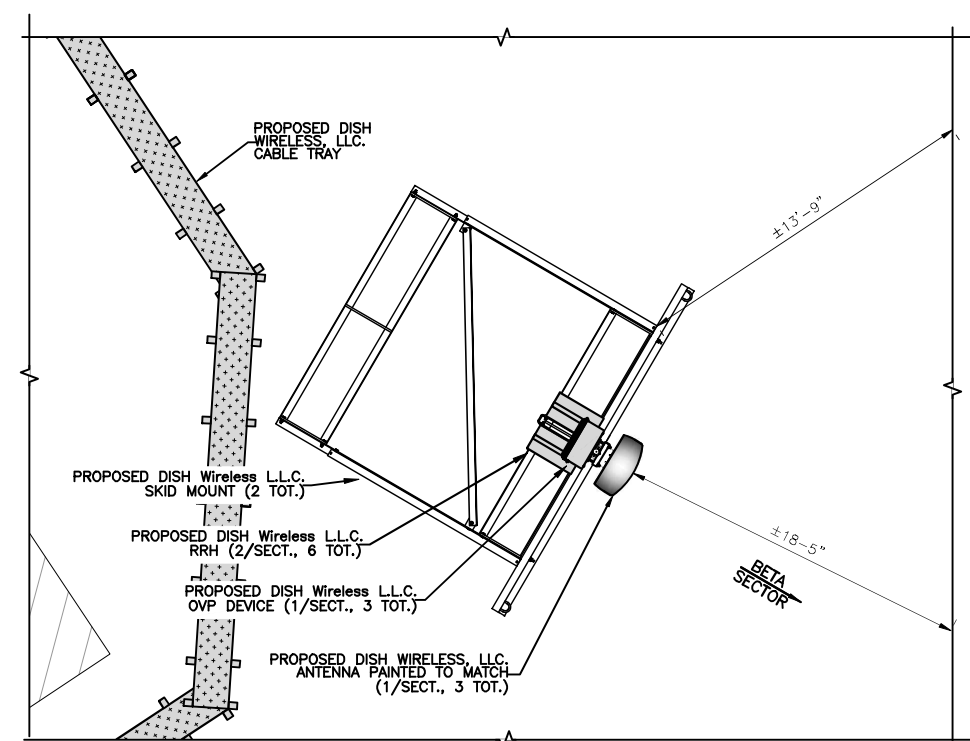
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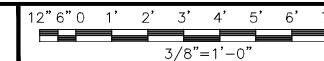
ANTENNA PLAN - ALPHA SECTOR



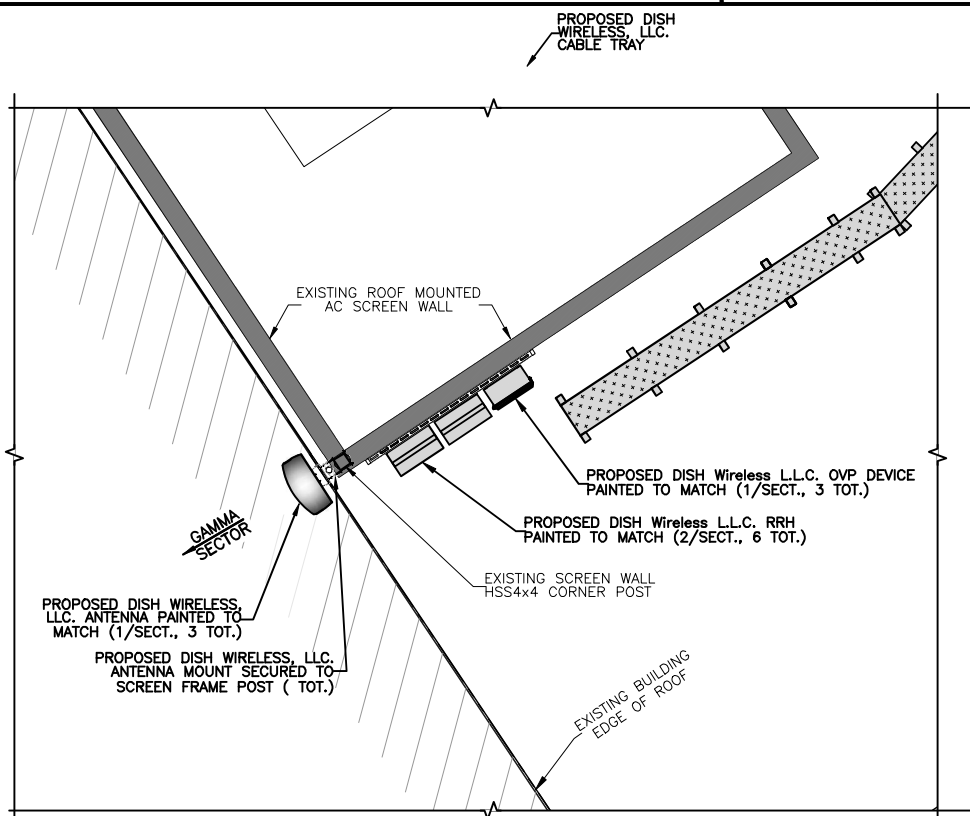
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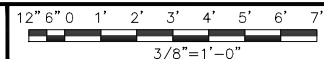
ANTENNA PLAN - BETA SECTOR



2



ANTENNA PLAN - GAMMA SECTOR



3

SECTOR POS.	ANTENNA					TRANSMISSION CABLE FEED LINE TYPE AND LENGTH	RRH			OVP
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ANTENNA SCHEDULE

NO SCALE

4

dish
wireless.

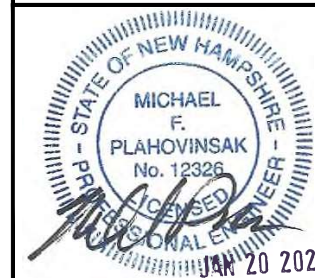
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GAM MN MP

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100 HIGH STREET
PORTSMOUTH, NH 03801

SHEET TITLE
ANTENNA PLAN,
ELEVATION AND SCHEDULE

SHEET NUMBER

A-2

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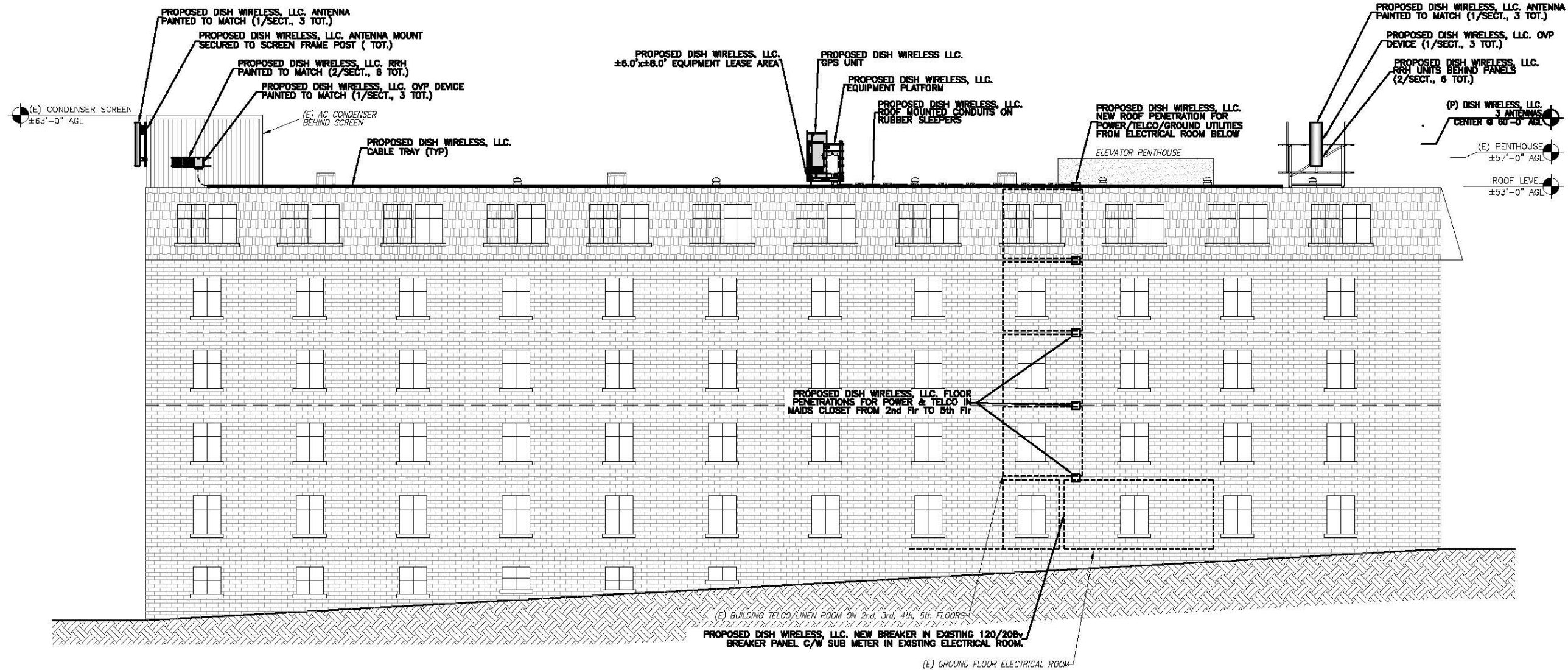
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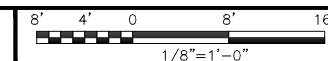
SHEET TITLE
SOUTH EAST
ELEVATION

SHEET NUMBER

A-3



BUILDING SOUTH EAST ELEVATION



3. 41 Pickering Avenue

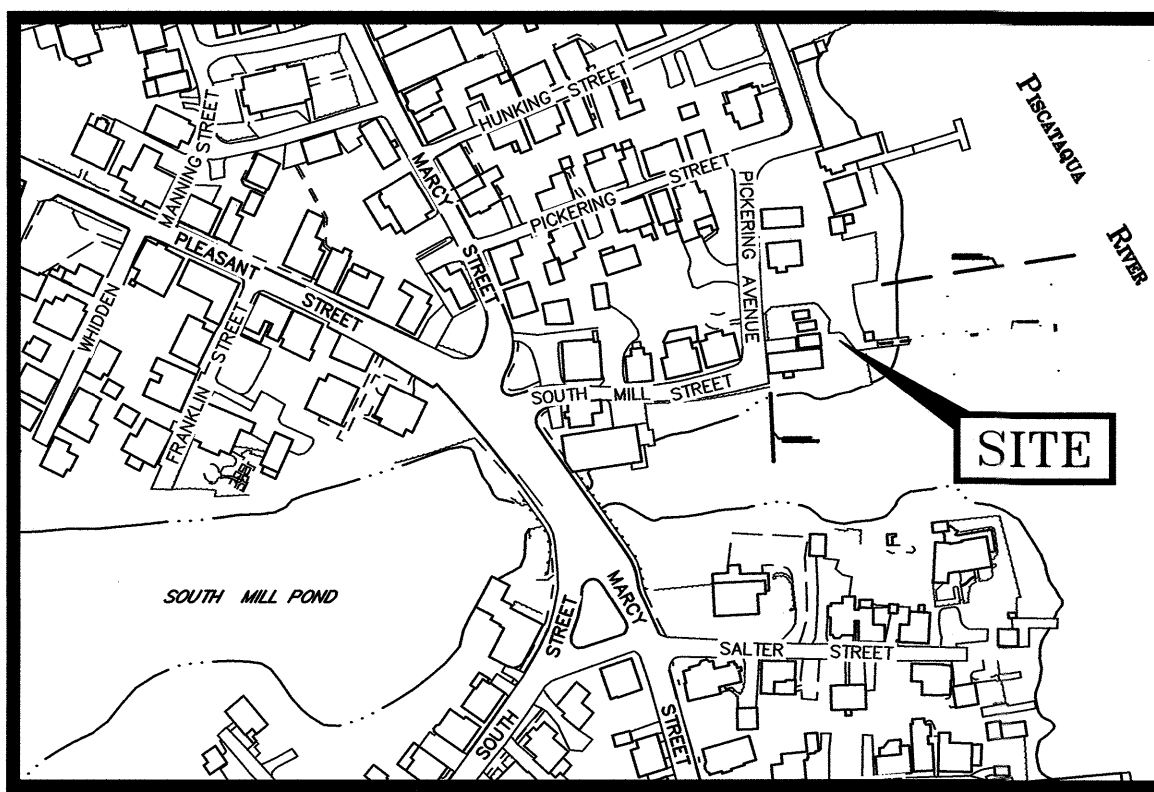
-Recommended Approval

Background: The applicant is seeking approval for the renovation/upgrade of the existing docking structure to the pier.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



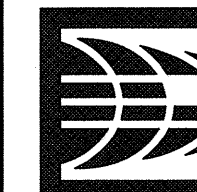
LOCATION MAP SCALE: 1" = 200'

PLAN REFERENCES:

1) STANDARD BOUNDARY SURVEY TAX MAP 102 - LOT 25 ESTHER'S MARINA, LLC, 41 PICKERING AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED MARCH 2011, PREPARED BY AMBIT ENGINEERING, INC., NOT RECORDED

WETLAND NOTES:

- 1) HIGHEST OBSERVABLE TIDE LINE DELINEATED BY STEVEN D. RIKER, CWS ON 2/18/21 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL TECHNICAL REPORT Y-87-1 (JAN. 1987). AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEIWPCC WETLANDS WORK GROUP (2019).
 - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
 - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFWS MANUAL FWS/OBS-79/31 (1997).
 - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 2) WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.



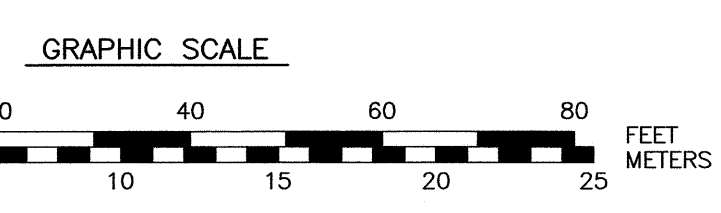
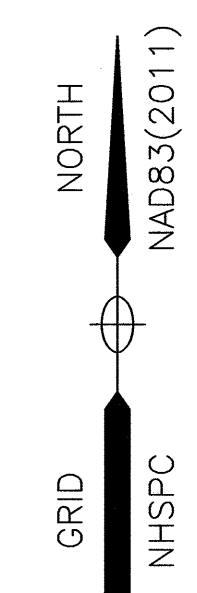
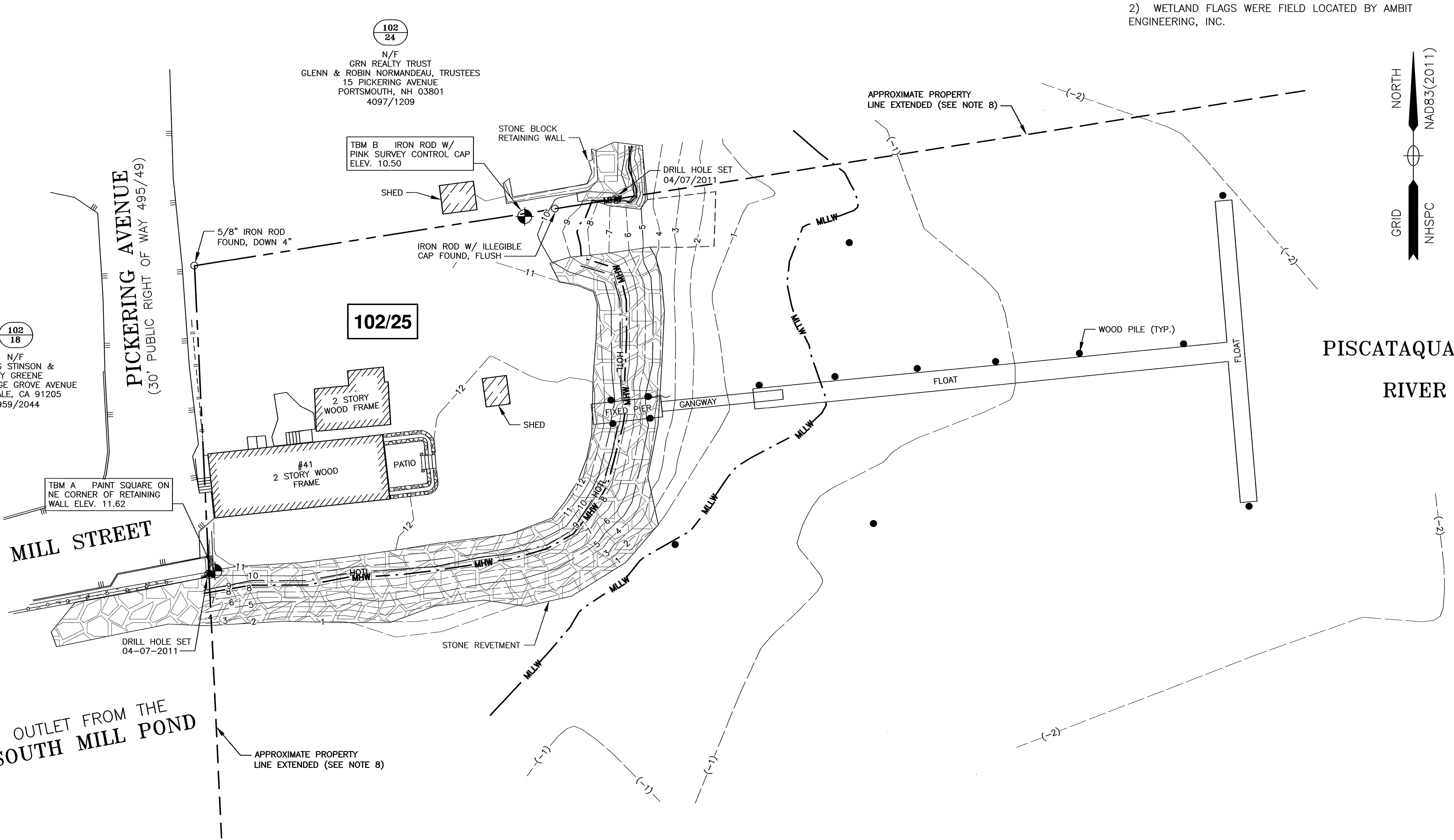
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 102 AS LOT 25.
- 2) OWNER OF RECORD:
ESTHER'S MARINA, LLC
41 PICKERING AVENUE
PORTSMOUTH, NH 03801
3791/2262
- 3) PARCEL IS IN A SPECIAL FLOOD HAZARD ZONE AREA (ZONE AE, EL. 8) AS SHOWN ON FIRM PANEL 33015C0278F. EFFECTIVE DATE JANUARY 29, 2021.
- 4) EXISTING LOT AREA (TO MEAN HIGH WATER):
11,650 S.F. ±
0.2675 ACRES ±
- 5) PARCEL IS LOCATED IN THE WATERFRONT BUSINESS DISTRICT (WB) AND THE HISTORIC DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 20,000 S.F.
FRONTAGE: 100 FEET
SETBACKS: FRONT 30 FEET
SIDE 30 FEET
REAR 20 FEET
MAXIMUM STRUCTURE HEIGHT: 35 FEET
BUILDING COVERAGE: 30%
MINIMUM OPEN SPACE: 20%
- 7) VERTICAL DATUM: MEAN LOWER LOW WATER (MLLW). BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS. TRANSFORMATION FROM NAVD88 TO MLLW REFERENCED TO NOAA STATION 8419870, SEAVEY ISLAND, PORTSMOUTH HARBOR. MLLW BEING 4.62' LOWER THAN 0 NAVD88.
- 8) THIS IS NOT A BOUNDARY SURVEY. BOUNDARY LINES AS SHOWN ARE BASED ON THE REFERENCE PLAN LISTED HEREON. NO DEED RESEARCH OR BOUNDARY DETERMINATION WAS MADE TO CONFIRM OR REFUTE MATTERS SHOWN ON SAID PLANS FOR THE PURPOSES OF THIS PLAN. EASEMENTS, RESERVATIONS, ETC. THAT MAY EXIST ARE NOT SHOWN OR NOTED HEREON.
- 9) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON A PORTION OF MAP 102 LOT 25 IN PORTSMOUTH.

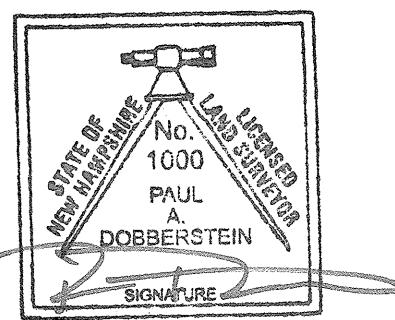
LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- MAP 11 / LOT 21
- RAILROAD SPIKE FOUND
- IRON ROD/IRON PIPE FOUND
- IRON PIPE FOUND
- STONE/CONCRETE BOUND FOUND
- RAILROAD SPIKE SET
- IRON ROD SET
- DRILL HOLE SET
- GRANITE BOUND SET
- BOUNDARY
- BUILDING SETBACK
- MEAN HIGH WATER LINE
- MEAN LOW WATER LINE
- NH DES HIGHEST OBSERVABLE TIDE LINE
- FRESHWATER WETLAND LINE
- WETLAND BUFFER LINE
- OVERHEAD ELECTRIC/WIRES
- CONTOUR
- SPOT ELEVATION
- EDGE OF PAVEMENT (EP)
- WOODS / TREE LINE
- UTILITY POLE (w/ GUY)
- GAS SHUT OFF
- WATER SHUT OFF/CURB STOP
- GATE VALVE
- HYDRANT
- METER (GAS, WATER, ELECTRIC)
- EDGE OF WETLAND FLAGGING
- SWAMP / MARSH
- ELEVATION
- EDGE OF PAVEMENT
- FINISHED FLOOR
- INVERT
- TEMPORARY BENCHMARK
- TYP. TYPICAL
- LSA LANDSCAPED AREA



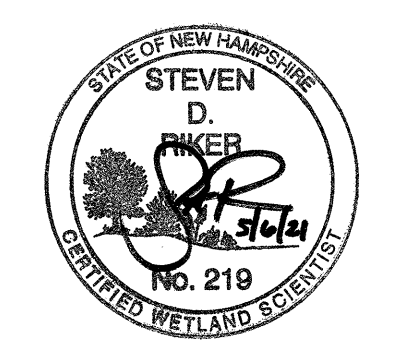
"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A. DOBBERSTEIN
PAUL A. DOBBERSTEIN, LLS
DATE 5/6/2021



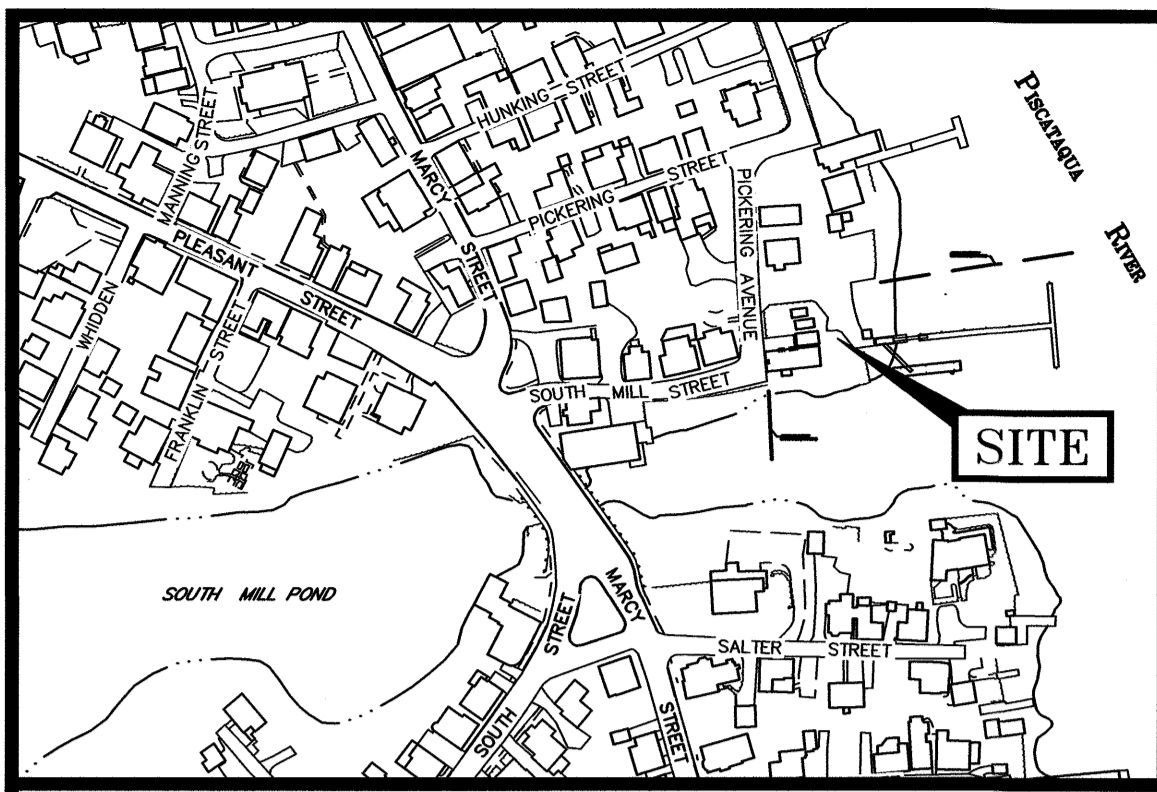
ESTHER'S MARINA
41 PICKERING AVENUE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	5/6/21
REVISIONS		



SCALE: 1" = 20' MAY 2021

EXISTING CONDITIONS PLAN **C1**



LOCATION MAP SCALE: 1" = 200'

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
(11/21)	MAP 11 / LOT 21
○	RAILROAD SPIKE FOUND
○	IRON ROD/IRON PIPE FOUND
○	IRON PIPE FOUND
□	STONE/CONCRETE BOUND FOUND
○	RAILROAD SPIKE SET
○	IRON ROD SET
○	DRILL HOLE SET
○	GRANITE BOUND SET
---	BOUNDARY
---	BUILDING SETBACK
---	MEAN HIGH WATER LINE
---	MEAN LOW WATER LINE
---	NH DES HIGHEST OBSERVABLE TIDE LINE
---	FRESHWATER WETLAND LINE
---	WETLAND BUFFER LINE
---	OVERHEAD ELECTRIC/WIRES
---	CONTOUR
---	SPOT ELEVATION
---	EDGE OF PAVEMENT (EP)
---	WOODS / TREE LINE
○	UTILITY POLE (w/ GUY)
○	GAS SHUT OFF
○	WATER SHUT OFF/CURB STOP
○	GATE VALVE
○	HYDRANT
○	METER (GAS, WATER, ELECTRIC)
---	EDGE OF WETLAND FLAGGING
---	SWAMP / MARSH
---	ELEVATION
---	EDGE OF PAVEMENT
---	FINISHED FLOOR
---	INVERT
---	TEMPORARY BENCHMARK
---	TYPICAL
---	LANDSCAPED AREA

PLAN REFERENCES:

- STANDARD BOUNDARY SURVEY TAX MAP 102 - LOT 25 ESTHER'S MARINA, LLC, 41 PICKERING AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED MARCH 2011, PREPARED BY AMBIT ENGINEERING, INC., NOT RECORDED

SEQUENCE OF CONSTRUCTION

- MOBILIZATION OF A CRANE BARGE, PUSH BOAT, WORK SKIFF, MATERIALS AND PREFABRICATED COMPONENTS SUCH AS THE GANGWAY AND FLOAT TO THE SITE VIA APPROVED ACCESS.
- MOBILIZATION OF EQUIPMENT TRUCKS TO THE SITE.
- THE BARGE WILL BE POSITIONED ALONGSIDE THE PROPOSED LOCATION OF THE NEW DOCK AND WATERWARD OF ANY EMERGENT VEGETATION TO MINIMIZE IMPACTS
- INSTALLATION OF THE SUB STRUCTURE WILL BE PERFORMED FROM A CRANE BARGE OR SKIFF TO REDUCE THE AMOUNT OF FOOT TRAFFIC IN THE INTERTIDAL AREA.
- ALL WORK WILL BE PERFORMED AT LOW TIDE TO MINIMIZE SEDIMENTATION.
- PILINGS WILL BE MECHANICALLY DRIVEN BY A CRANE ELIMINATING ANY EXCAVATION FOR INSTALLATION OF THE PILINGS. PILING ARE DRIVEN TO REFUSAL.

WETLAND NOTES:

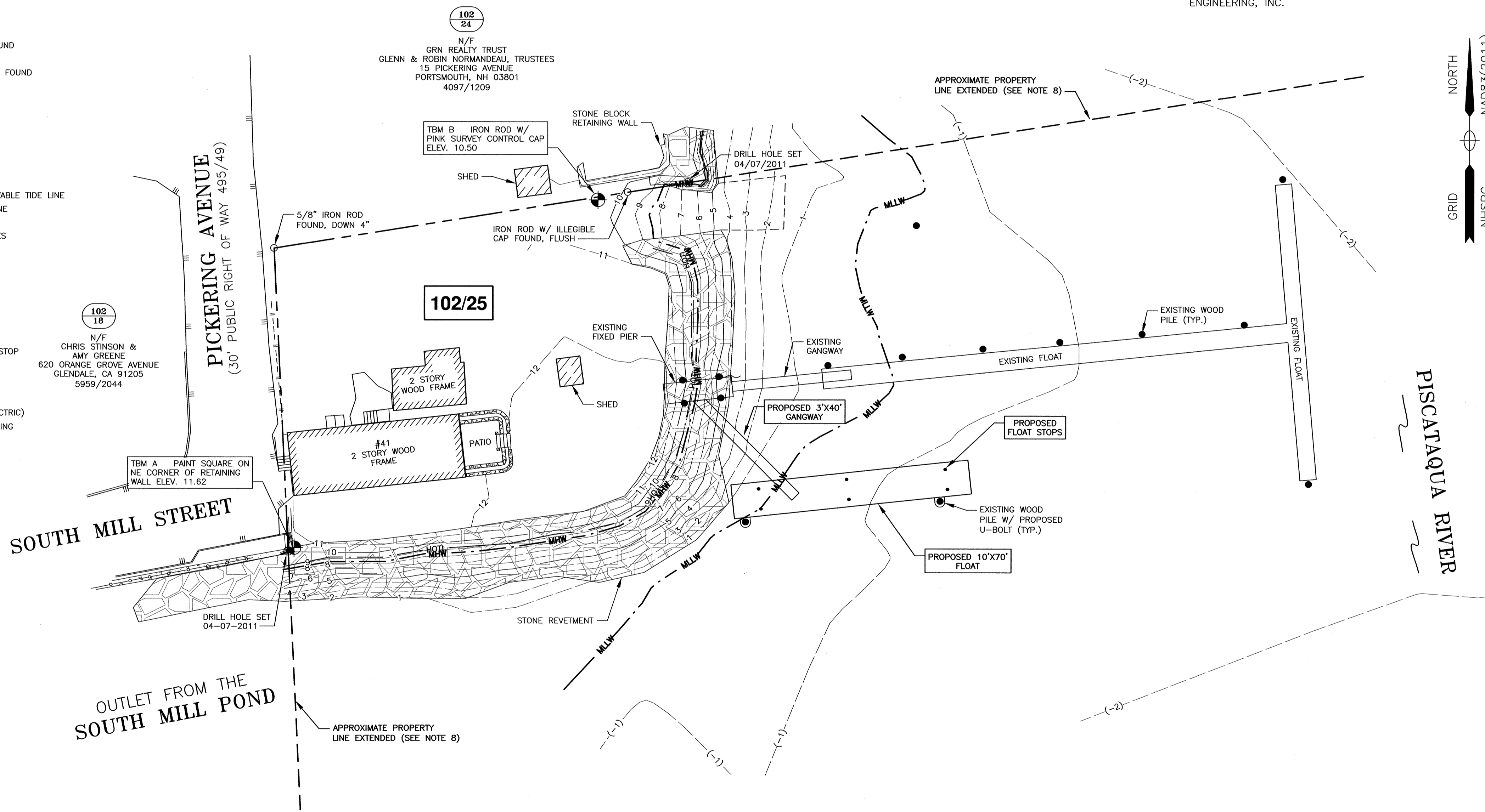
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- WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.



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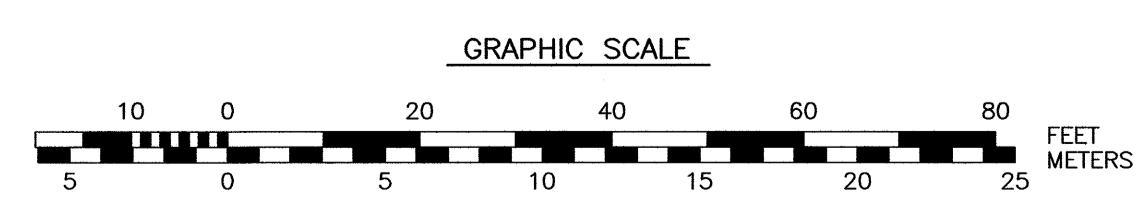
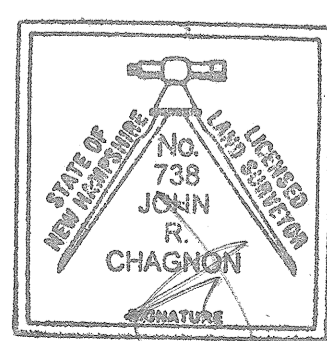
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- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DOCK EXPANSION ASSOCIATED WITH THE EXISTING TIDAL DOCKING STRUCTURE ON A PORTION OF MAP 102 LOT 25 IN PORTSMOUTH.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS #738 DATE 4.14.22



ESTHER'S MARINA
41 PICKERING AVENUE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/14/22

REVISIONS

SCALE: 1" = 20' APRIL 2022

NHDES PERMIT PLAN **C2**

SEQUENCE OF CONSTRUCTION

- 1) MOBILIZATION OF A CRANE BARGE, PUSH BOAT, WORK SKIFF, MATERIALS AND PREFABRICATED COMPONENTS SUCH AS THE GANGWAY AND FLOAT TO THE SITE VIA APPROVED ACCESS.
- 2) MOBILIZATION OF EQUIPMENT TRUCKS TO THE SITE.
- 3) THE BARGE WILL BE POSITIONED ALONGSIDE THE PROPOSED LOCATION OF THE NEW DOCK AND WATERWARD OF ANY EMERGENT VEGETATION TO MINIMIZE IMPACTS.
- 4) INSTALLATION OF THE SUB STRUCTURE WILL BE PERFORMED FROM A CRANE BARGE OR SKIFF TO REDUCE THE AMOUNT OF FOOT TRAFFIC IN THE INTERTIDAL AREA.
- 5) ALL WORK WILL BE PERFORMED AT LOW TIDE TO MINIMIZE SEDIMENTATION.
- 6) PILING WILL BE MECHANICALLY DRIVEN BY A CRANE ELIMINATING ANY EXCAVATION FOR INSTALLATION OF THE PILING. PILING ARE DRIVEN TO REFUSAL.
- 7) PILING ARE CUT AND BEAM CAPS ARE INSTALLED AND THE SUPER STRUCTURE OF THE PIER IS BUILT. MATERIALS ARE LIFTED FROM THE BARGE AND SET INTO POSITION BY THE CRANE.
- 8) ONCE THE PIER IS COMPLETE, THE GANGWAY AND FLOAT ARE BROUGHT INTO POSITION AND INSTALLED.

DISCHARGES, AVOIDANCE, MINIMIZATION AND MITIGATION

DISCHARGES OF DREDGED OR FILL MATERIAL INTO WATERS OF THE U.S. AND ANY SECONDARY IMPACTS SHALL BE AVOIDED AND MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. PERMITTEES MAY ONLY FILL THOSE JURISDICTIONAL WETLANDS AND WATERWAYS THAT THE CORP AND NHDES AUTHORIZES TO BE FILLED AND IMPACT THOSE AREAS THAT THE CORP AND NHDES AUTHORIZES AS SECONDARY IMPACTS. IF NOT SPECIFICALLY AUTHORIZED BY USACE AND NHDES, ANY UNAUTHORIZED FILL OR SECONDARY IMPACT TO WETLANDS MAY BE CONSIDERED AS A VIOLATION OF THE CWA.

UNLESS SPECIFICALLY AUTHORIZED USACE AND NHDES, NO WORK SHALL DRAIN A WATER OF THE U.S. BY PROVIDING A CONDUIT FOR WATER ON OR BELOW THE SURFACE.

HEAVY EQUIPMENT IN FRESH WATER WETLANDS

HEAVY EQUIPMENT OTHER THAN FIXED EQUIPMENT (DRILL RIGS, FIXED CRANES, ETC.) WORKING IN WETLANDS SHALL NOT BE STORED, MAINTAINED OR REPAIRED IN WETLANDS, UNLESS IT IS LESS ENVIRONMENTALLY DAMAGING OTHERWISE, AND AS MUCH AS POSSIBLE SHALL NOT BE OPERATED WITHIN THE INTERTIDAL ZONE. WHERE CONSTRUCTION REQUIRES HEAVY EQUIPMENT OPERATION IN WETLANDS, THE EQUIPMENT SHALL EITHER HAVE LOW GROUND PRESSURE (<3 PSI), OR SHALL NOT BE LOCATED DIRECTLY ON WETLAND SOILS AND VEGETATION; IT SHALL BE PLACED ON SWAMP MATS THAT ARE ADEQUATE TO SUPPORT THE EQUIPMENT IN SUCH A WAY AS TO MINIMIZE DISTURBANCE OF WETLAND SOIL AND VEGETATION. SWAMP MATS ARE TO BE PLACED IN THE WETLAND FROM THE UPLAND OR FROM EQUIPMENT POSITIONED ON SWAMP MATS IF WORKING WITHIN A WETLAND. DRAGGING SWAMP MATS INTO POSITION IS PROHIBITED. OTHER SUPPORT STRUCTURES THAT ARE LESS IMPACTING AND ARE CAPABLE OF SAFELY SUPPORTING EQUIPMENT MAY BE USED WITH WRITTEN CORP AND NHDES AUTHORIZATION. SIMILARLY, NOT USING MATS DURING FROZEN, DRY OR OTHER CONDITIONS MAY BE ALLOWED WITH WRITTEN CORP AND NHDES AUTHORIZATION. AN ADEQUATE SUPPLY OF SPILL CONTAINMENT EQUIPMENT SHALL BE MAINTAINED ON SITE. CORDUROY ROADS AND SWAMP/CONSTRUCTION MATS ARE CONSIDERED AS FILL WHETHER THEY'RE INSTALLED TEMPORARILY OR PERMANENTLY.

TIME OF YEAR WORK WINDOW AND NOISE RESTRICTIONS

- PILES INSTALLED IN-THE-DRY DURING LOW WATER OR IN-WATER BETWEEN NOV. 8TH - APR. 9TH, OR
 - MUST BE DRILLED AND PINNED TO LEDGE, OR
 - VIBRATORY HAMMERS USED TO INSTALL ANY SIZE AND QUANTITY OF WOOD, CONCRETE OR STEEL PILES, OR
 - IMPACT HAMMERS LIMITED TO ONE HAMMER AND <50 PILES INSTALLED/DAY WITH THE FOLLOWING: WOOD PILES OF ANY SIZE, CONCRETE PILES ≤18-INCHES DIAMETER, STEEL PILES 12-INCHES DIAMETER IF THE HAMMER IS ≤3000 LBS. AND A WOOD CUSHION IS USED BETWEEN THE HAMMER AND STEEL PILE.
- FOR II-IV ABOVE:
- IN-WATER NOISE LEVELS SHALL NOT >187dB SEL RE 1mPa OR 206dB PEAK RE 1mPa AT A DISTANCE >10M FROM THE PILE BEING INSTALLED, AND
 - IN-WATER NOISE LEVELS >155dB PEAK RE 1mPa SHALL NOT EXCEED 12 CONSECUTIVE HOURS ON ANY GIVEN DAY AND A 12 HOUR RECOVERY PERIOD (I.E., IN-WATER NOISE BELOW 155dB PEAK RE 1mPa) MUST BE PROVIDED BETWEEN WORK DAYS.

WORK SITE RESTORATION

- UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED WETLAND AREAS SHALL BE PROPERLY STABILIZED. ANY SEED MIX SHALL CONTAIN ONLY PLANT SPECIES NATIVE TO NEW ENGLAND.
- THE INTRODUCTION OR SPREAD OF INVASIVE PLANT SPECIES IN DISTURBED AREAS IS PROHIBITED.
- IN AREAS OF AUTHORIZED TEMPORARY DISTURBANCE, IF TREES ARE CUT THEY SHALL BE CUT AT GROUND LEVEL AND NOT UPROOTED IN ORDER TO PREVENT DISRUPTION TO THE WETLAND SOIL STRUCTURE AND TO ALLOW STUMP SPROUTS TO REVEGETATE THE WORK AREA, UNLESS OTHERWISE AUTHORIZED.
- WETLAND AREAS WHERE PERMANENT DISTURBANCE IS NOT AUTHORIZED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND ELEVATION, WHICH UNDER NO CIRCUMSTANCES SHALL BE HIGHER THAN THE PRE-CONSTRUCTION ELEVATION. ORIGINAL CONDITION MEANS CAREFUL PROTECTION AND/OR REMOVAL OF EXISTING SOIL AND VEGETATION, AND REPLACEMENT BACK TO THE ORIGINAL LOCATION SUCH THAT THE ORIGINAL SOIL LAYERING AND VEGETATION SCHEMES ARE APPROXIMATELY THE SAME, UNLESS AUTHORIZED.

SEDIMENTATION AND EROSION CONTROL

ADEQUATE SEDIMENTATION AND EROSION CONTROL MANAGEMENT MEASURES, PRACTICES AND DEVICES, SUCH AS PHASED CONSTRUCTION, VEGETATED FILTER STRIPS, GEOTEXTILE SILT FENCES, STORMWATER DETENTION AND INFILTRATION SYSTEMS, SEDIMENT DETENTION BASINS, OR OTHER DEVICES SHALL BE INSTALLED AND PROPERLY MAINTAINED TO REDUCE EROSION AND RETAIN SEDIMENT ON-SITE DURING AND AFTER CONSTRUCTION. THEY SHALL BE CAPABLE OF PREVENTING EROSION, OF COLLECTING SEDIMENT, SUSPENDED AND FLOATING MATERIALS, AND OF FILTERING FINE SEDIMENT. THE DISTURBED AREAS SHALL BE STABILIZED AND THESE DEVICES SHALL BE REMOVED UPON COMPLETION OF WORK. THE SEDIMENT COLLECTED BY THESE DEVICES SHALL BE REMOVED AND PLACED AT AN UPLAND LOCATION, IN A MANNER THAT WILL PREVENT ITS LATER EROSION INTO A WATERWAY OR WETLAND. ALL EXPOSED SOIL AND OTHER FILLS SHALL BE PERMANENTLY STABILIZED AT THE EARLIEST PRACTICABLE DATE.

SPAWNING AREAS

DISCHARGES OF DREDGED OR FILL MATERIAL, AND/OR SUSPENDED SEDIMENT PRODUCING ACTIVITIES IN FISH AND SHELLFISH SPAWNING AREAS OR AMPHIBIAN AND MIGRATORY BIRD BREEDING AREAS, DURING SPAWNING OR BREEDING SEASONS SHALL BE AVOIDED. IMPACTS TO THESE AREAS SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE DURING ALL TIMES OF THE YEAR. INFORMATION ON SPAWNING HABITAT FOR SPECIES MANAGED UNDER THE MAGNUSON-STEVENS FISHERY CONSERVATION AND MANAGEMENT ACT (I.E., EFH FOR SPAWNING ADULTS) CAN BE OBTAINED FROM THE NMFS WEBSITE AT: WWW.NERO.NOAA.GOV/HCD.

STORAGE OF SEASONAL STRUCTURES

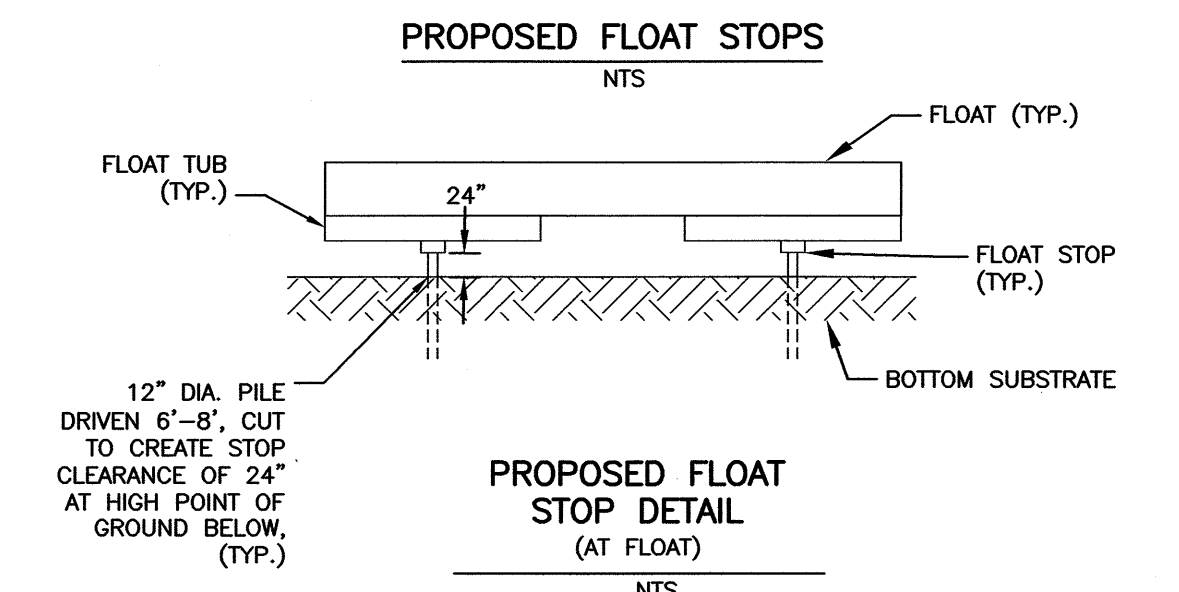
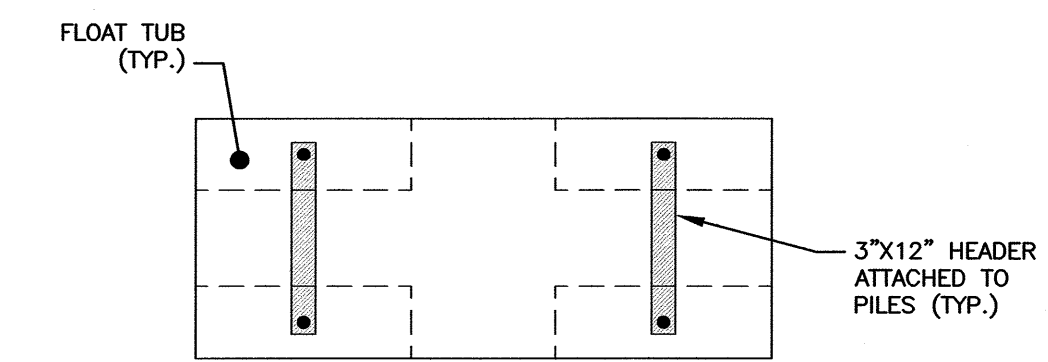
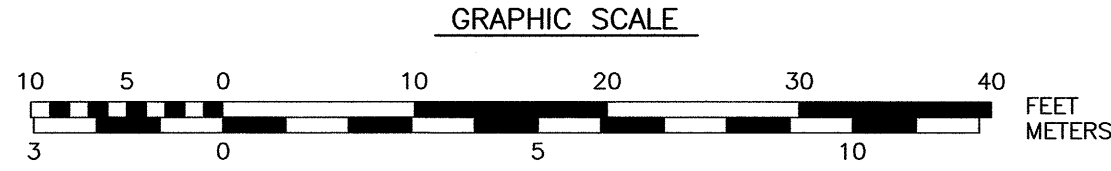
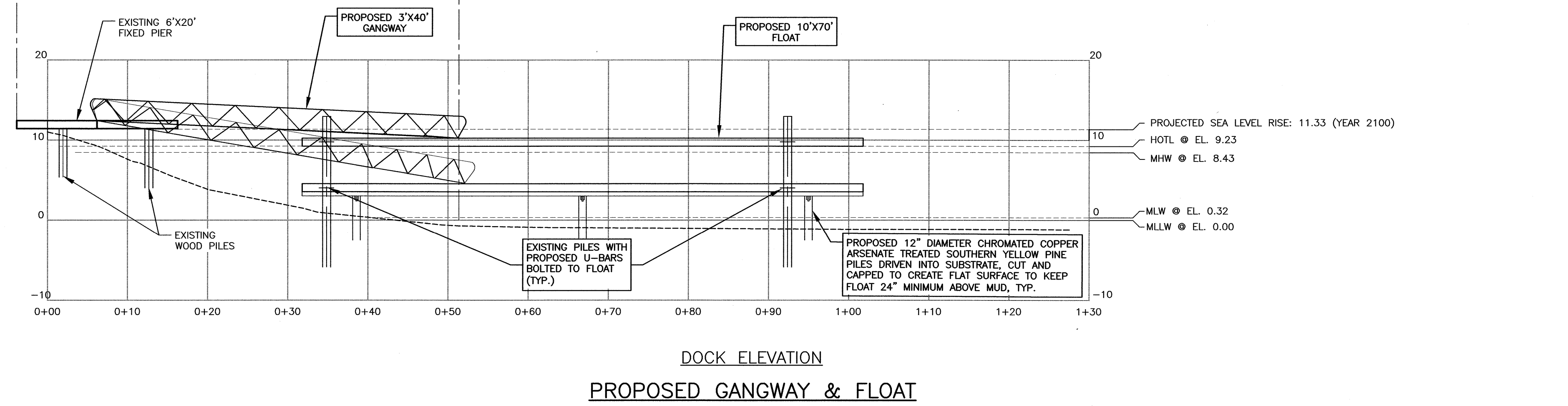
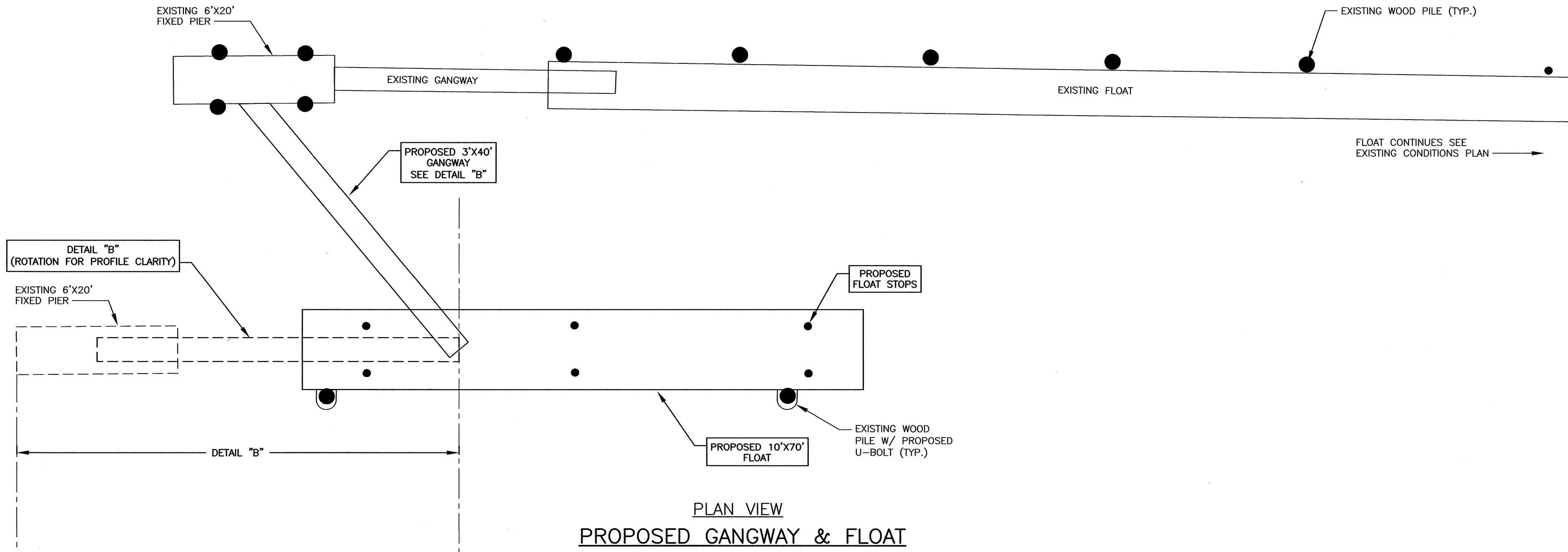
COASTAL STRUCTURES SUCH AS PIER SECTIONS, FLOATS, ETC., THAT ARE REMOVED FROM THE WATERWAY FOR A PORTION OF THE YEAR (OFTEN REFERRED TO AS SEASONAL STRUCTURES) SHALL BE STORED IN AN UPLAND LOCATION, LOCATED ABOVE HIGHEST OBSERVABLE TIDE LINE (HOTL) AND NOT IN TIDAL WETLANDS. THESE SEASONAL STRUCTURES MAY BE STORED ON THE FIXED, PILE-SUPPORTED PORTION OF THE STRUCTURE THAT IS SEAWARD OF HOTL. THIS IS INTENDED TO PREVENT STRUCTURES FROM BEING STORED ON THE MARSH SUBSTRATE AND THE SUBSTRATE SEAWARD OF MHW.

ENVIRONMENTAL FUNCTIONS AND VALUES

THE PERMITTEE SHALL MAKE EVERY REASONABLE EFFORT TO 1) CARRY OUT THE CONSTRUCTION OR OPERATION OF THE WORK AUTHORIZED BY USACE AND NHDES HEREIN IN A MANNER THAT MINIMIZES ADVERSE IMPACTS ON FISH, WILDLIFE AND NATURAL ENVIRONMENTAL VALUES, AND 2) PROHIBIT THE ESTABLISHMENT OR SPREAD OF PLANT SPECIES IDENTIFIED AS NON-NATIVE INVASIVE SPECIES BY ANY FEDERAL OR STATE AGENCY. SEE THE SECTION ON INVASIVE SPECIES AT HTTP://WWW.NAE.USACE.ARMY.MIL/REGULATORY/ FOR CONTROL METHODS.

INSPECTIONS

THE PERMITTEE SHALL ALLOW THE CORPS AND NHDES TO MAKE PERIODIC INSPECTIONS AT ANY TIME DEEMED NECESSARY IN ORDER TO ENSURE THAT THE WORK IS BEING OR HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. THE CORPS AND NHDES MAY ALSO REQUIRE POST-CONSTRUCTION ENGINEERING DRAWINGS FOR COMPLETED WORK, AND POST-DREDGING SURVEY DRAWINGS FOR ANY DREDGING WORK.



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
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- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - 4) NUMBER OF PILES TO BE DRIVEN FOR DOCKING STRUCTURE NOT TO EXCEED 6 AS DEPICTED ON PROPOSED DOCK ELEVATION. ALSO NOTE TIME OF YEAR AND NOISE RESTRICTIONS FOR DRIVING OF PILES.
 - 5) VERTICAL DATUM: MEAN LOWER LOW WATER (MLLW). BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS. TRANSFORMATION FROM NAVD88 TO MLLW REFERENCED TO NOAA STATION 8419870, SEAVEY ISLAND, PORTSMOUTH HARBOR. MLLW BEING 4.62' LOWER THAN 0 NAVD88.

ESTHER'S MARINA
41 PICKERING AVENUE
PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	4/14/22
REVISIONS		
NO.	DESCRIPTION	DATE

Professional Engineer Seal for Steven D. Piker, License No. 219, State of New Hampshire. The seal includes the text 'STATE OF NEW HAMPSHIRE', 'STEVEN D. PIKER', 'LICENSED PROFESSIONAL ENGINEER', and 'NO. 219'.

SCALE: 1" = 10' APRIL 2022

DETAILS **D1**

4. 300 Court Street

-Recommended Approval

Background: The applicant is seeking approval for the installation of gutters on the right rear side of the structure.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

The length of the gutter
will require two downsouts.



Aug 15, 2024 at 11:48:44 AM



J. Carnes & Son Roofing
 153 Lafayette Rd #7
 Hampton Falls, NH 03844
 Phone: 603-772-1209

08/16/2024

Company Representative
 Glenn Roberts
 Phone: (603) 772-1209
 glennroberts@jcarnesroofing.com

Greta Gardner
 300 Court Street
 Portsmouth, NH 03801
 (603) 674-8857

Job: Greta Gardner

Gutter Seamless System Section

6" Seamless gutter system

The following quote is to install a six inch gutter on the right side of the house, attached to the roof using roof strap hangers. The gutter will have one inside mitre corner and two downspouts. One downspout on the left side by the corner trim at the end of the driveway and one on the right side (rear), just off the corner trim so as not to impede the bottom of the stairs. Photo provided for reference.

Install new .032 gauge aluminum EGGHELL (siding) WHITE (trim) 6" inch seamless K style gutters. Gutters will be fabricated on site using Englert brand metals. All our gutters are fabricated with a hemmed back for strength and secured to the house using a hidden screw fastener system unless roof hangers are required. Gutter installations include all aluminum down pipe, accessories and sealants. All corners will be custom cut miters.

Downspout Installation 6"

3x4 Downspouts will be fabricated out of a .019 painted aluminum and attached using a hidden hanger system.

Includes all required gutter accessories

Install roof hangers

Due to the angled fascia the gutter will need to be hung using a hanger which attaches to the roof shingles. We will attempt to lift the shingles and install the hangers underneath, however if the shingles are older/brittle and or compromised we will need to install the roof straps on top of the roofing shingles. Please note that we cannot be responsible for damage to shingles that are aged/brittle, compromised and break during installation.

\$2,775.00

Optional: Gutter Leaf Guard System Section **Not included in total price**** - See below for options**

Install a new leaf guard system. Leaf guards are fabricated out of aluminum and are mechanically fastened.

Gutter leaf guard systems are optional, therefore the below prices are not reflected in the total price. If leaf guards are desired, please add the below chosen style to the total of the quote.

Leaf Guards on gutters hung with roof strap hangers require an access hole to be cut in the leaf guard to accommodate the roof strap hanger that protrudes through the top of the gutter. Leaf guards must be installed with the gutter install and cannot be done after the gutters are hung and attached to the roof.

*****DISCOUNT*****

If the leaf guard option is chosen at the time of the gutter installation, an additional 5% discount will be added to the project total.

ENGLERT Microguard Gutter Screen / NEW GUTTERS - \$428.00

Install an Englert Microguard Gutter screen system. Englert MicroGuard gutter guard system are .032 gauge perforated aluminum and are mechanically fastened to the gutter.

Gutterglove LeafBlaster PRO / NEW GUTTERS - \$630.00

Install a Gutter Glove Leaf Blaster PRO Gutter screen system. Leaf Blaster PRO gutter guard systems are aluminum rail and stainless steel screen and are mechanically fastened to the gutter.

Leaf Guard Disclosure

Leaf guards act as a filter to keep debris out of gutters and to help avoid rapid deterioration of seals and clogged downspouts. Like any effective filter the more water that passes through, the more the filter needs to work. On certain homes heavily covered with trees it is possible that small tree droppings, wet pollen or other small wet sticky debris eroding off of older roofs could sit on the top of the leaf

guards and restrict the flow of water over time. Simply brushing off the tops of the leaf guards with some sort of gutter brush is all that is needed to clear the debris if this was to happen.

IMPORTANT!

If the leaf guard option is not chosen, J. Carnes & Son LLC is not responsible for clogged gutters and/or downspouts. Any warranty calls for gutters that overflow that is related to clogs will be charged for a cleaning service call per our current pricing at the time of service.

\$0.00

Sub Total	\$2,775.00
Discount: Promotion - Save 10% with Cash or Check Payment *OR* choose one of our great financing options Pricing Valid For 10 Days Balance must be paid within 3 business days of FINAL invoice to receive discount.	(\$277.50)
TOTAL	\$2,497.50

THIS AGREEMENT made by and between J. Carnes & Son LLC., DBA. J. Carnes & Son Roofing, hereinafter called Contractor and the party listed on the contract hereinafter called the Owner.

WITNESSETH, that Contractor and the Owner for the considerations named agree as follows:

Article 1. Right to Cancel The Owner may cancel this transaction without penalty within 3 business days of the signed date. To Cancel this transaction mail, email or deliver a signed and dated letter post marked within the time allowed. Send all mailed notices to: J. Carnes & Son LLC. 153 Lafayette Rd Hampton Falls, NH. 03844. Email to: jcarnes@jcarnesroofing.com. If you cancel, any deposits or payments will be returned to you within 10 business days following the receipt of the cancellation notice.

Article 2. Scope of the Work Contractor shall furnish all of the materials and perform all of the work shown as described in the description of the attached estimate, as annexed hereto as it pertains to work to be performed on property at the Job Site Address.

Article 3. The Contract Price The Owner shall pay Contractor for the work performed under the contract sum listed on the reverse side of this agreement. This amount is subject to additions and deductions pursuant to authorized or required change orders. Payments can be made in the form of personal check, certified check, money order, traveler's checks or credit card. *Cash or Check discounts are not valid when credit cards or financing are used to fund project.

Article 4. Progress Payments Payments of the contract price shall be paid in the following manner: An immediate good faith deposit of \$300 is needed to secure your project on our calendar, this amount will be deducted from the total price. A 50% deposit is required prior to ordering materials. Final payment including any change orders or additions thereto shall be due immediately upon completion of this contract. Statutory interest on the balance due will be applied to all payments not made within three days of completion of this contract. All parties agree that disputes hereunder will be settled through binding arbitration with rules of the American Arbitration Association. *All financing options are subject to approval through the third party financing company.

Article 5. General Provisions Any alteration or deviation from the above specifications, including but not limited to any such alteration or deviation involving additional material and/or labor costs, will be executed only upon a written order for same, signed by Owner and Contractor, and if there is any charge for such alteration or deviation, the additional charge shall be added to the contract price of this contract. If the Owner is not available and it is determined that necessary additional work is required we will make our best judgment with making the necessary repairs according to our pricing policy at that time. Additional layers of roofing materials above and beyond what is specified on this contract will occur an additional charge of \$75 per square per additional layer for removal, clean-up and disposal.

In addition the following general provisions apply:

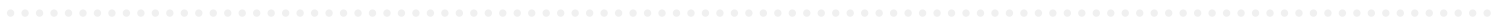
1. All work shall be completed in a workman-like manner and in compliance with all building codes and other applicable laws.
2. Contractor will furnish a description of the work to be done and a description of the materials to be used and the equipment to be used or installed, in agreed consideration for the work.
3. Contractor may at its discretion engage subcontractors to perform work hereunder, provided Contractor shall fully pay said subcontractor and in all instances remain responsible for the proper completion of this contract.
4. Contractor agrees to remove all debris and leave the premises in broom clean condition.
5. Contractor shall not be liable for any delay due to circumstances beyond its control including weather or general unavailability of materials.

6. Great care will be used to protect the structure and landscape. Some marring and or minor damage could occur which the contractor is not liable. We will attempt to spot clean siding if needed, however if siding is older, dirty or oxidized a "clean spot", which is an area cleaner than the rest of the house, might result from removing the marks. Customer is responsible for removing any valuables surrounding the perimeter of the home or building that is at risk for damage. Customer is also responsible for removing any window or door screens that risk damage.
7. Tearing off a roof can create amounts of uncontrollable dust in the attic. It is the Customers responsibility to cover or remove any items in the attic that they would not want to expose to these elements. Customer is responsible for the clean-up of the attic if any.
8. Warranty on workmanship only covers the installation of the products according to the manufactures specifications. Product performance is covered by the manufacturer's warranty. Please read manufacturer's warranty carefully.
9. The contractor is not liable for Interior and exterior damage due to acts of God which includes but is not limited to, Hail Storms, Ice and water dams, ponding water, lightning storms, high winds not covered specifically under manufacturer's warranty, wind driven rain and animal and pest infiltration. Our roof installations are designed to protect the home against weather events only, bats, mice and other pests will require a specialist to block entryways once the roof installation is complete.
10. Existing skylights that are not replaced with new skylights when installing a new roof system are not covered against leaks under any warranty provided by the contractor or manufacturer.
11. We will need to remove any roof mount satellite dishes during the roof replacement. Per the satellite service agreement we are not allowed to remount their equipment. The customer is responsible for arranging to have the service provider mount the equipment and reconnect the service.

Article 6. Entire Agreement This is the entire agreement between the parties and cannot be changed or modified orally. This agreement may be supplemented, amended, or revised only by a writing that is signed by each of the parties, except in the event of emergency or unforeseen repairs as described hereinabove.

*All financing options are subject to approval through the third party financing company.

*Cash or Check discounts are not valid when credit cards or financing are used to fund project.



Company Authorized Signature

Date

Customer Signature

Date

Customer Signature

Date

LEAFBLASTER PRO™ PROTECTS YOU AND YOUR HOME



LEAVES & DEBRIS



EXTERIOR WATER DAMAGE



RODENTS & PESTS



FIRES



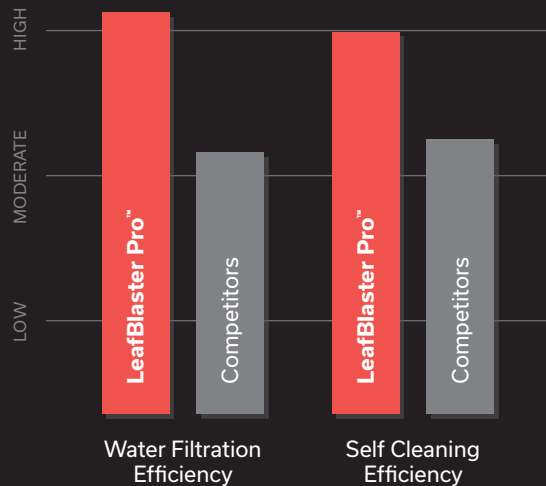
HOMEOWNER SAFETY



PERSONAL TIME



Z-BEND TECHNOLOGY STAINLESS STEEL MESH



Z-Bend vs Flat Mesh



Gutterglove®

In accordance with NSF/ANSI 372
Also certified to NSF Protocol P151
Rainwater Catchment System
Component MH61876

ABOUT GUTTERGLOVE®

It all started back in 1996 when we were in the gutter cleaning business. After cleaning out millions of feet of gutter, we observed that no gutter guard was performing as promised. We realized that a reliable gutter protection solution was needed and incorporated in 2000. We explored new designs, the best materials, and doing what is best for customers to create what is now an extensive patent portfolio of the highest praised gutter guards available. We are proud to offer you gutter guards you can trust. The Nation's Most Trusted Gutter Guards.®

LeafBlaster.com



THE NATION'S
MOST TRUSTED
GUTTER GUARDS.™

LeafBlaster.com



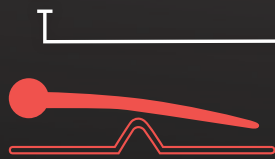
PRO GRADE

STAINLESS STEEL MESH

GUTTER PROTECTION



Z-BEND TECHNOLOGY



Upward Z Corrugations
Elevates debris so wind more easily pushes it off.



1

STAINLESS STEEL MESH
Blocks even the finest debris from entering your gutters and won't warp or crack like plastic and uPVC.

2

Z-BEND TECHNOLOGY
Provides rigidity in the mesh to handle heavy debris while maximizing rainwater filtration.

3

ALUMINUM EXTRUSION
Holds the mesh in place and fastens to the front lip of your gutters.

FITS ANY GUTTER AND ROOF COMBO



GOOD FOR THE ENVIRONMENT

Many gutter guard products use plastic or PVC, which are harmful to the environment. LeafBlaster Pro™ is made from aluminum and stainless steel, both of which are 100% recyclable.

5. 104 Gates Street

-Recommended Approval

Background: The applicant is seeking approval for the installation of fencing and replacement fencing.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

Sarah Zhang
104 Gates St
Portsmouth, NH 03801

Request for Permit for Installation of Fence

Dear Historic District Commission,

I am writing to request approval of the installation of a fence to the driveway of my house. I am the owner of 104 Gates St, which where the installation will take place. Currently, there is a fence on the opposite side of the house lining the driveway, which belongs my neighbor. We would like to install a fence perpendicular to that fence, approximately 9 feet wide, across the driveway starting about 2/3 down the path (just before the second door entry to the house). We will be removing two bricks in the driveway to allow for posts to be placed. The fence will have a gate that will be 4 feet wide to allow for entry and exit. I plan to use the same fencing company, and same fencing style so that it will not clash with my neighbor's design.

Please see below for pictures of our driveway and the associated fence currently in place. The baby gate represents where we would like to install a new fence.





The above picture is the view when looking at our neighbor's house. Our fence will go up to the last brick on the driveway.



The above picture is the view from the street.

Thank you very for your time and consideration. Please feel free to contact me with questions or concerns.

Sincerely,

Sarah Zhang

(609) 605-8860

sarahzhang3@gmail.com



CONTACT US:
Corporate Headquarters | Florida Division | Tennessee Division

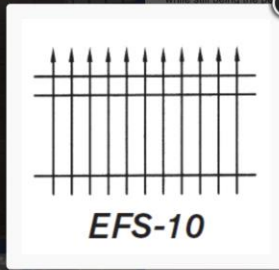
Search

ABOUT US PRODUCTS SPECS & DRAWINGS E-ADVANTAGES CAREERS



RESIDENTIAL GRADE ALUMINUM FENCE

Our residential grade aluminum fence is an excellent choice for security and protection while still being the most neighbor friendly fence. Our residential grade aluminum fence is made of 1 1/8" x 1" rails, 5/8" x 5/8" pickets, and uses 2"x2" or 2-1/2"x 2-1/2" posts. It has been engineered for a unique style and maximum strength.



EFS-10

Our residential grade aluminum fence is available in six standard styles and is available in six finishes: White, Quaker Bronze, Walnut Brown, Beige and Hartford Green. It is available in heights of 3', 3' 6", 4', 4-1/2', 5', and 6'.

Available in single entry and double drive to match the six standard styles of straight top gates and Curved Top gates in residential grade fence to suit your needs. Standard latch and hinges, self-closing and self-latching gates are available upon request. If it is a cantilever gate you are after then look no further than our exclusive ZipTrack™ aluminum cantilever gates.

To compliment your fence include quad finials, tri-finials, butterfly finials, scrolls and circles. These accessories can be powder coated to match the finish of your fence or may be ordered in a gold finish.

[Click Here To View The Photo Gallery](#)



CROSS-SECTION: RESIDENTIAL



CROSS-SECTION: RESIDENTIAL NO EXPOSED SCREWS

AVAILABLE STYLES



6. 21 South Street, unit #4

-Recommended Approval

Background: The applicant is seeking approval for the installation of a black metal storm door.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



The leftmost door is the door in question. The other two doors on the building lead to hallways, and thus don't need storm doors (though they once had them). Mine opens directly into a room and needs the added insulation.



My current storm door. This is the third I've installed in the 17 years I've lived here. Prior to my time in this house, it was a metal storm door as evidenced by the aluminum frame in the threshold. According to the carpenters I've consulted with, the combination of the wind whipping around the rounded side of my unit from the Mill Pond, the salt air's impact on paint, the weight of wood and the glass in it, and the amount I use it (my only entrance), a wood door will keep failing.



The ProVia Deluxe Full View #397. My plan is to color match mine to the interior door. To my knowledge, ProVia is the only company that makes residential aluminum storm doors and is willing to color match.

The ProVia logo features a stylized white 'P' icon to the left of the brand name 'ProVia' in a bold, sans-serif font. Below the brand name, the tagline 'THE PROFESSIONAL WAY' is written in a smaller, all-caps, sans-serif font.

ProVia
THE PROFESSIONAL WAY

STORM DOORS

A black-framed storm door is shown partially open, revealing a glass insert with a decorative geometric pattern. The door is set in a brick wall. The glass reflects the surrounding greenery and a house in the background. A black handle is visible on the right side of the door.

STORM DOORS

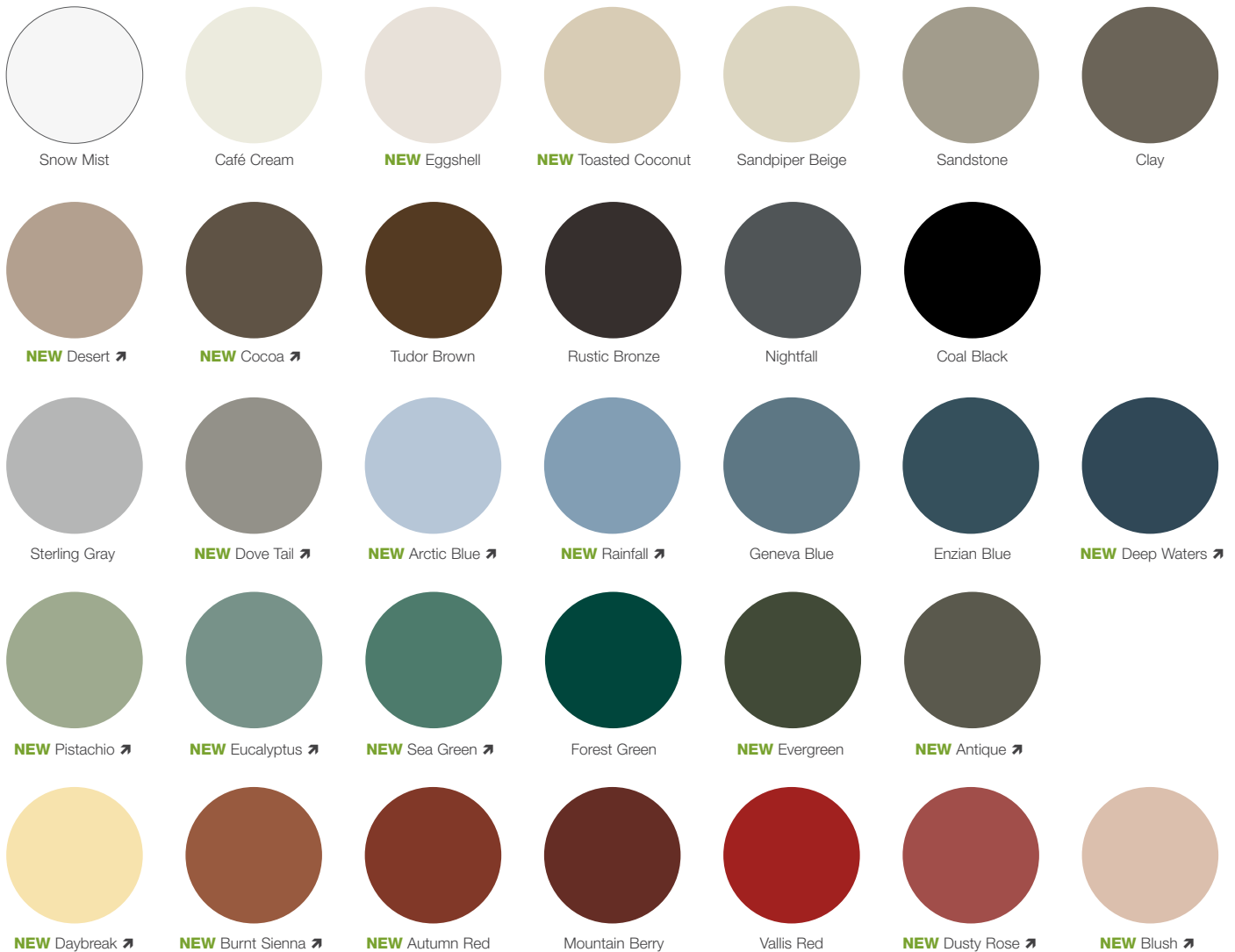
STORM DOORS

Every storm door is individually customized to the highest standards in the residential market for homeowners who appreciate impeccable, uncompromising quality.

PAINT FINISHING SYSTEM

Our paint process is computer controlled, ensuring professional quality every time. Paint is electrostatically applied with a vertical hydraulic reciprocator using a turbo disc that atomizes the paint particles for better coverage of contoured extrusions.

STORM DOOR PAINT COLORS



↗ Denotes Trending Color

Always refer to our color selector for accurate color representation.

LIFETIME FINISH WARRANTY

For all Storm Doors



Smooth function is essential. That's why we include a **quality door closer** in every storm door package. Varies by model.

Our air release system features a continuous closing action without the delayed rebound action of previous generation closers.

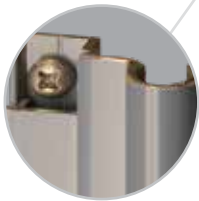


Extruded aluminum frame adds beauty to your door by virtue of the rounded cove molding along the glass edge of the extrusion.

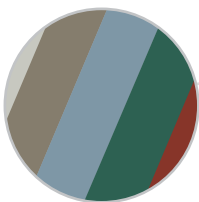


All our storm doors are constructed with **tempered safety glass**.

Non-operable sashes are secured by our **color matched polycarbonate clips** or an **internal sash lock system**. Varies by model.



You'll appreciate the finished look of our **color matched aluminum installation screw covers**.



Durable, oven-baked polyester finishes are backed by a Lifetime Warranty for lasting beauty and low maintenance.

Each door features **quality hardware** that adds beauty and functionality to your new storm door. Varies by model.



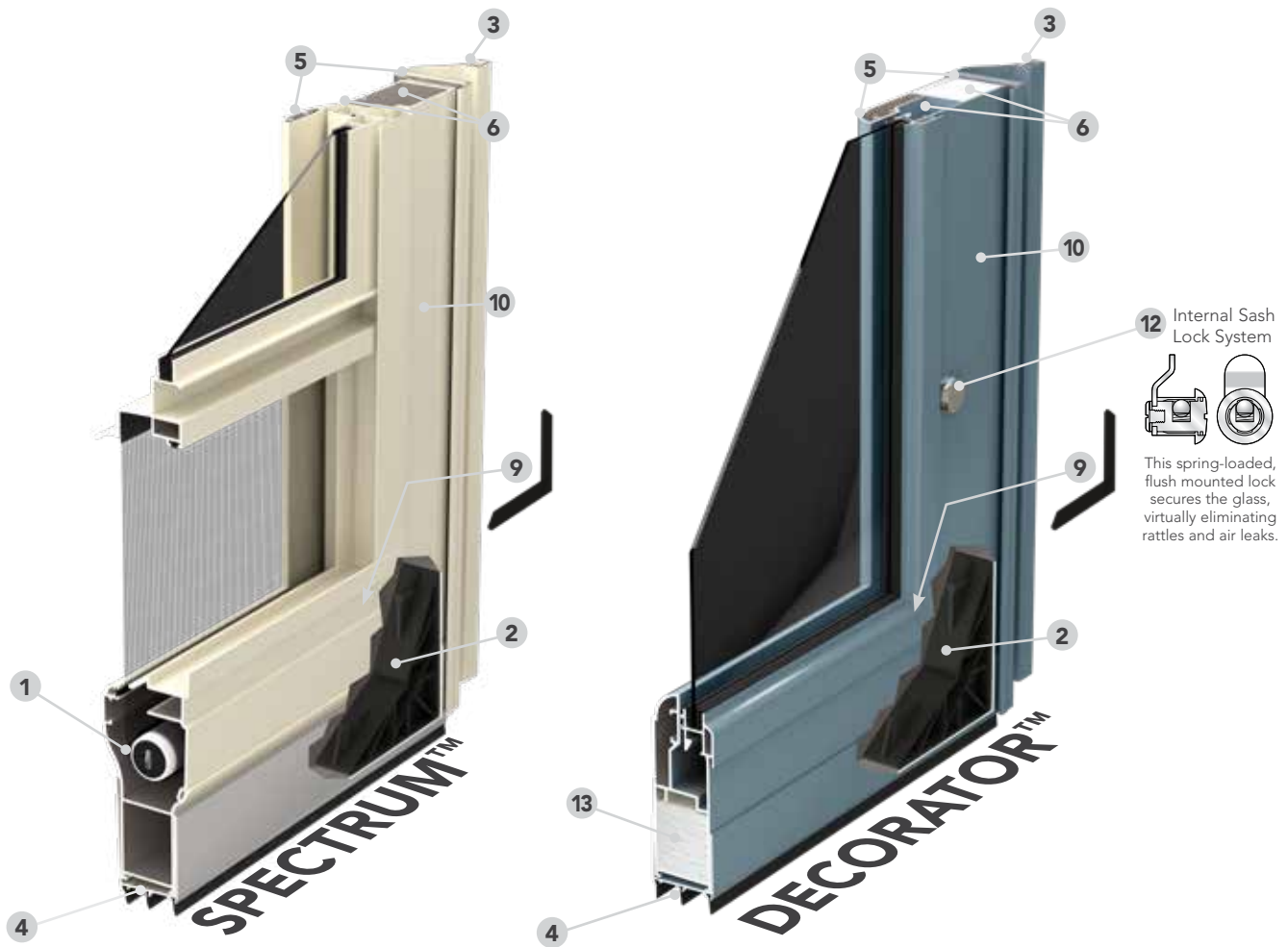
Corrosion-proof corner gussets enhance the structural integrity of the door.



Our **bottom expander with sweep** allows for a beautiful custom-fit to any entry. Varies by model.

STORM DOORS **DETAILS**

The details are the small things that set our storm doors apart from the competition. A lot of small things add up to a big difference.



CONSTRUCTION

	Spectrum	Decorator	Deluxe	DuraGuard	Superview
1 InVent™ retractable screen system	●				
2 Outside corners are secured to corrosion-proof gussets, for structural integrity	●	●	●	●	●
3 Color matched aluminum installation screw covers enhance the appearance of your door	●	●	●	●	●
4 Triple bottom sweep eliminates drafts	●	●	●	●	●
5 The sculptured frame adds durability	1¼" x 4¾"	1¼" x 4"	1¼" x 3¾"	1¼" x 3¾"	1¼" x 2¾"
6 Multi-hollow construction provides greater strength and security than standard storm doors	●	●	●	●	
7 The reinforced aluminum kick panel adds durability	●		●	●	
8 The aluminum kick panel resists rust and adds strength	●		●	●	●
9 Corner keys provide added support to the inside of the door frame	●	●	●	●	●



CONSTRUCTION

	Spectrum	Decorator	Deluxe	DuraGuard	Superview
10 Aluminum wall thickness up to 20% thicker than industry standard	●	●	●	●	
11 The .023 gauge stainless steel screen offers extra security and protection (12 x 12 mesh)				●	
12 Non-operable sash/screen secured by internal lock system or color matched polycarbonate clips		Internal Lock	Clips		Clips
13 Standard insulated frame core to help reduce air movement	Optional	●	Optional	Optional	
14 Screen included	●	Optional	●	●	●

SPECTRUM™ STORM DOORS

Spectrum storm doors bring you smooth functionality, beauty and durability. Our exclusive top and bottom InVent™ retractable screen system allows you more venting options than ever.



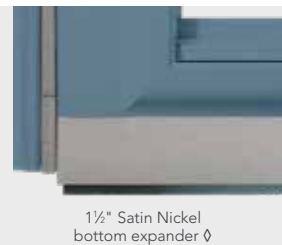
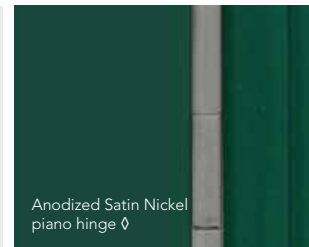
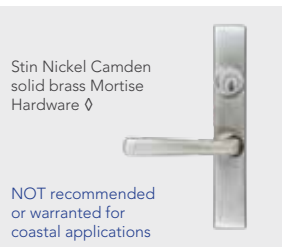
SPECTRUM STORM DOORS INCLUDE:

- Two InVent retractable screens
- Triple seal bottom sweep
- 1¼" x 4¾" wide sculptured frame

LIFETIME LIMITED WARRANTY

Includes Glass Breakage

STANDARD HARDWARE & ACCESSORIES





295-B Full View Double Prairie with Beveled Glass and Brass Inlay ◊
 295-Z Full View Double Prairie with Beveled Glass and Zinc Inlay
 295 Full View Double Prairie with Beveled Glass
 298-B Three-Quarter View with Beveled Glass and Brass Inlay ◊
 298-Z Three-Quarter View with Beveled Glass and Zinc Inlay
 298-VG Three-Quarter View with Beveled Glass



291 Full View (Inspirations Glass available)
 298 Three-Quarter View (Inspirations Glass available)
 279-C Colonial Half-Lite ‡
 279 Flush Half-Lite ‡
 292 Provincial Half-Lite ‡
 293 Crossbuck Half-Lite ‡
 291SH Full View (Only one InVent top screen and fixed bottom sash)



298SH Three-Quarter View (Only one InVent top screen and fixed bottom sash)
 274-CSH Colonial Half-Lite (Only one InVent top screen and fixed bottom sash) * ‡
 274SH Half-Lite (Only one InVent top screen and fixed bottom sash) * ‡

ART GLASS

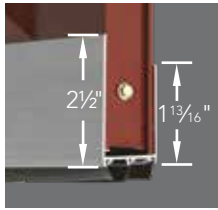
Ask to see our glass brochure for a complete selection of designs and colors.

See entryLINK for style availability.

298-AME Americana

Acrylic is required (instead of tempered glass) for custom size storm doors where the sash size is greater than 20 square feet or the sash weigh is greater than 36 pounds. entryLINK will automatically change the glass selection to acrylic based on these limits.

- * When top sash opens, it passes in front of kick panel.
- ◊ Bright Brass hardware, anodized brass piano hinge and brass-lock bottom expander are standard on Spectrum storm doors with brass caming.
- ‡ Available in 8' height



Note: The bottom expander on the Spectrum storm door is 2 1/2" on the exterior and 1 13/16" on the interior to accommodate the frame profile.



DECORATOR™ STORM DOORS

Decorator storm doors provide a stylish, fresh look to accent your entry door. Select one of the distinct styles from our Decorator storm doors.



DECORATOR STORM DOORS INCLUDE:

- Triple seal bottom sweep
- 1¼" x 4" wide sculptured frame

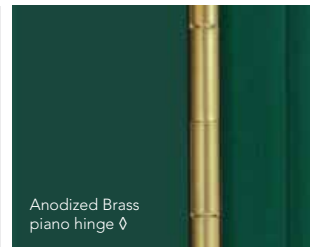
LIFETIME LIMITED WARRANTY

Includes Glass Breakage

STANDARD HARDWARE & ACCESSORIES



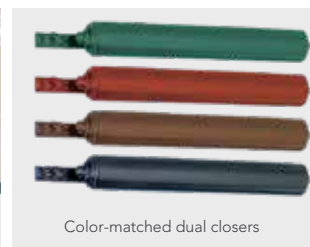
Bright Brass
Windsor Hardware ◊



Anodized Brass
piano hinge ◊



Color matched
bottom expander



Color-matched dual closers



591 Full View Archway with Beveled Glass



591-B Full View Archway with Beveled Glass & Brass Inlay



591-Z Full View Archway with Beveled Glass & Zinc Inlay ◊



595 Full View Double Prairie with Beveled Glass



#595-B Full View Double Prairie with Beveled Glass & Brass Inlay



#595-Z Full View Double Prairie with Beveled Glass & Zinc Inlay ◊



590 Full View ‡

ART GLASS

Ask to see our glass brochure for a complete selection of designs and colors.

See entryLINK for style availability.

590-VIN Vintage ◊ ‡



This spring-loaded, flush mounted lock secures the glass, virtually eliminating rattles and air leaks. Only available in Zinc finish.

Acrylic is required (instead of tempered glass) for custom size storm doors where the sash size is greater than 20 square feet or the sash weigh is greater than 36 pounds. entryLINK will automatically change the glass selection to acrylic based on these limits.

Optional full screen with horizontal stabilizer bar available for all Decorator doors.

◊ Satin Nickel hardware and anodized Satin Nickel piano hinge are standard on Decorator storm doors with zinc coming or art glass.

‡ Available in 8' height



For French Storm Door information refer to entryLINK.

DELUXE™ STORM DOORS

Deluxe storm doors are the answer whether you're looking for additional light, ventilation or protection from the elements. You'll find the exact style you're looking for in our Deluxe storm doors.



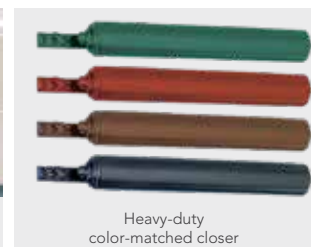
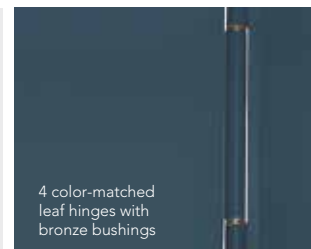
DELUXE STORM DOORS INCLUDE:

- Triple seal bottom sweep
- 1¼" x 3⅝" wide sculptured frame
- BetterVue® fiberglass screen

LIFETIME LIMITED WARRANTY

Includes Glass Breakage

STANDARD HARDWARE & ACCESSORIES



This is the requested door below: #397 and will match the existing front door in color



385 Full View Double Prairie with Beveled Glass (Includes screen*)



382 Full View with Beveled Glass (Includes screen*)



397 Full View (Includes screen*)



391 Full View Divided Lite (Includes top screen) ‡



396-V One-Lite with fixed .023 gauge stainless steel screen ventilated bottom & removable sash (Includes top screen*) ‡ (Inspirations Glass available)



396 One-Lite (Includes screen*) ‡ (Inspirations Glass available)



399-M Modern Self-Storing (Includes full screen) ‡
Dent-Resistant Aluminum kick panel!



399 Self-Storing (Includes full screen*) ‡



398-M Modern Hi-Lite (Includes top screen) ‡
Dent-Resistant Aluminum kick panel!



398 Hi-Lite (Includes top screen) ‡



389-M Modern Self-Storing (Includes full screen*) ‡
Dent-Resistant Aluminum kick panel!



389 Self-Storing (Includes full screen*) ‡



379-C Colonial Self-Storing (Includes full screen) ‡
Dent-Resistant Aluminum kick panel!



379 Self-Storing (Includes full screen) ‡
Reinforced Aluminum kick panel!



392 Provincial Self-Storing (Includes full screen) ‡
Reinforced Aluminum kick panel!



394 Provincial (Includes screen) ‡
Reinforced Aluminum kick panel!



393 Crossback Self-Storing (Includes full screen) ‡
Reinforced Aluminum kick panel!



395 Crossback (Includes screen) ‡
Reinforced Aluminum kick panel!



374-C Colonial Half-Lite (Includes screen) ‡
Dent-Resistant Aluminum kick panel!



374 Flush Half-Lite (Includes screen) ‡
Reinforced Aluminum kick panel!



397-VIN Vintage

Acrylic is required (instead of tempered glass) for custom size storm doors where the sash size is greater than 20 square feet or the sash weight is greater than 36 pounds. entryLINK will automatically change the glass selection to acrylic based on these limits.

* Full and One-Lite screens have horizontal stabilizer bar.

‡ Available in 8' height

ART GLASS

Ask to see our glass brochure for a complete selection of designs and colors.

See entryLINK for style availability.



For French Storm Door information refer to entryLINK.

7. 342 Islington Street

-TBD

Background: The applicant is seeking approval for a roof replacement in-kind and the repair and replacement of the mansard roofing trim with PVC material.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



















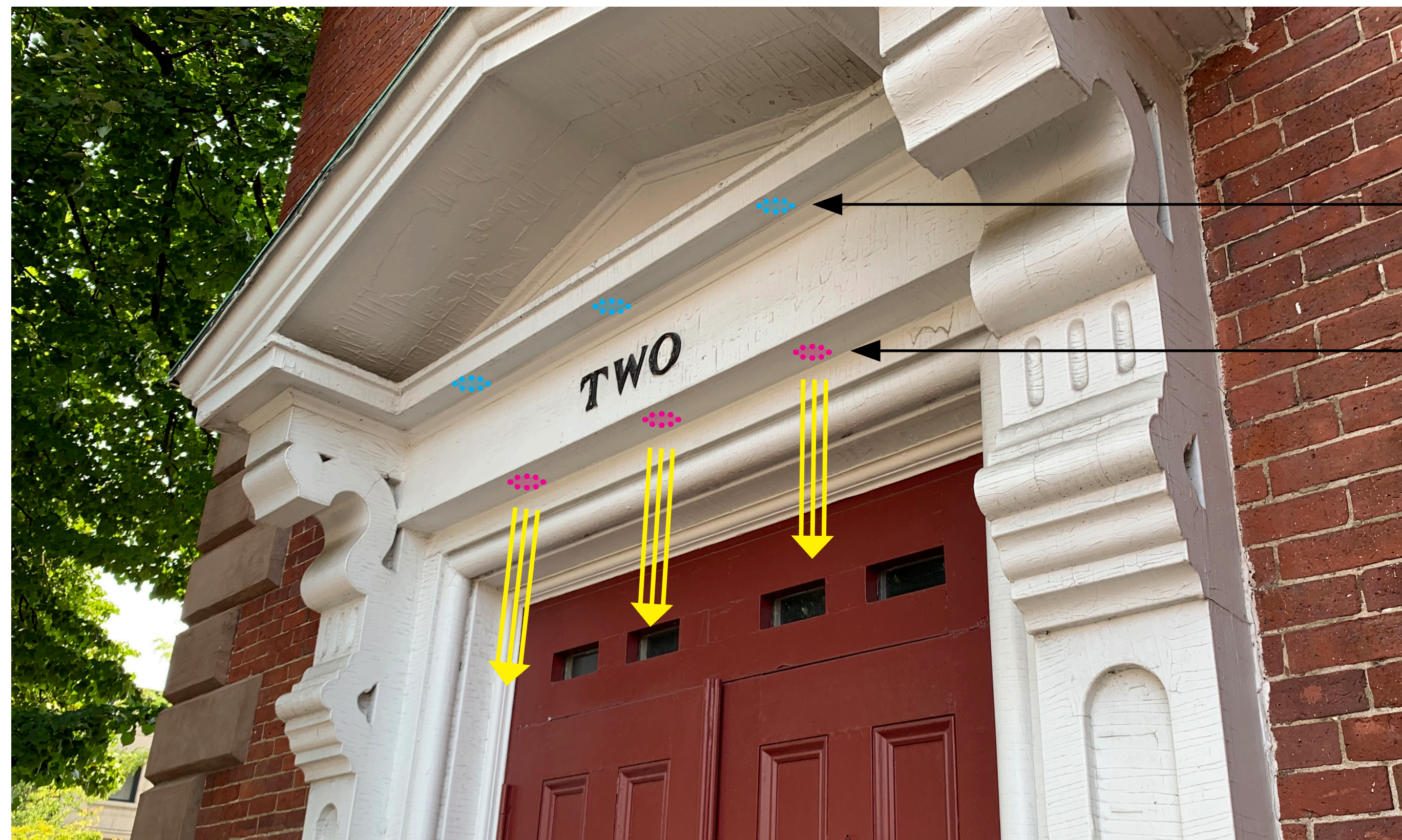
8. 2 Congress Street -Recommended Approval

Background: The applicant is seeking approval for the final lighting detail and pent roof detail.

Staff Comment: Recommended Approval

Stipulations:

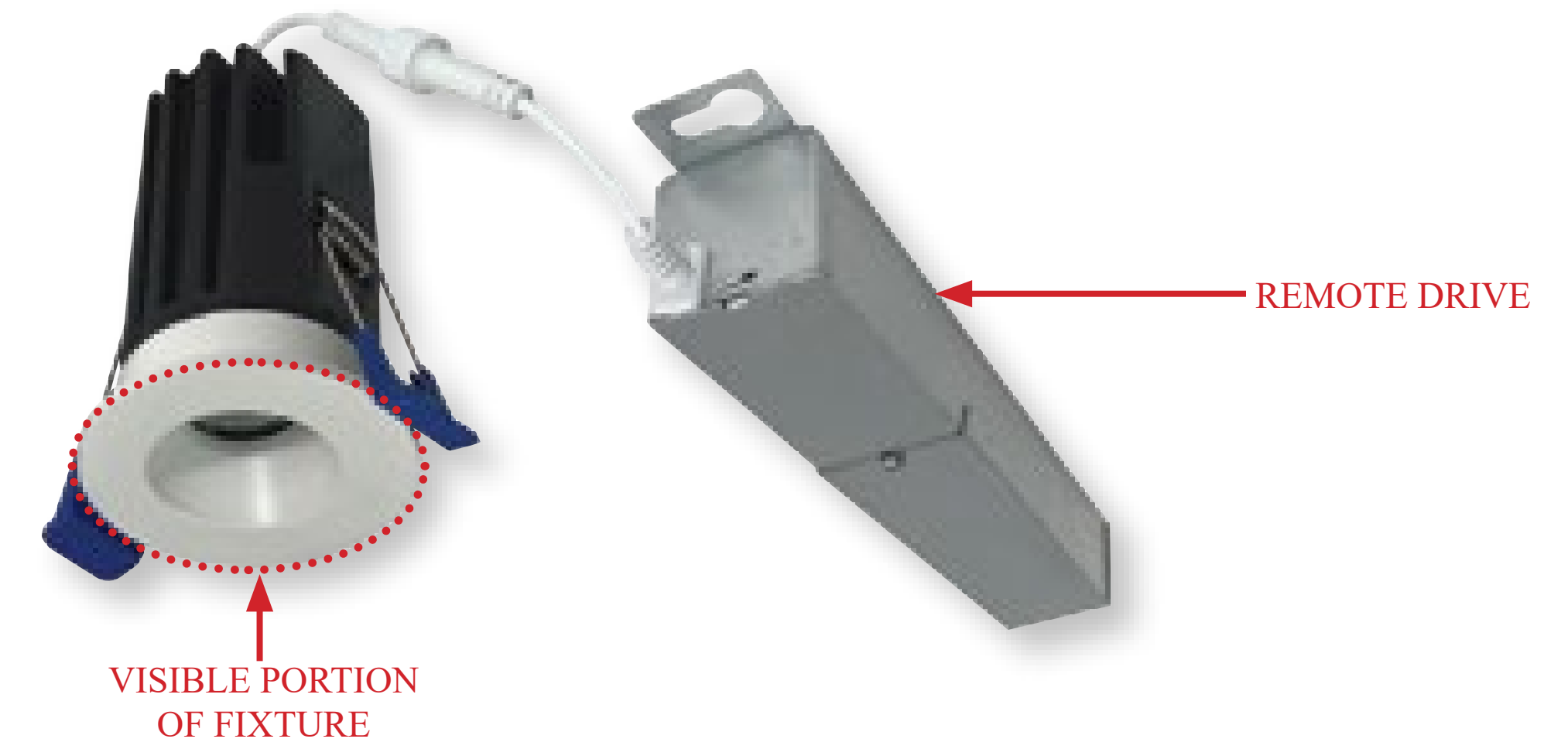
1. _____
2. _____
3. _____



LIGHT LOCATION
OPTION 2

LIGHT LOCATION
OPTION 1

UPPER PORTION OF ENTRY DOOR

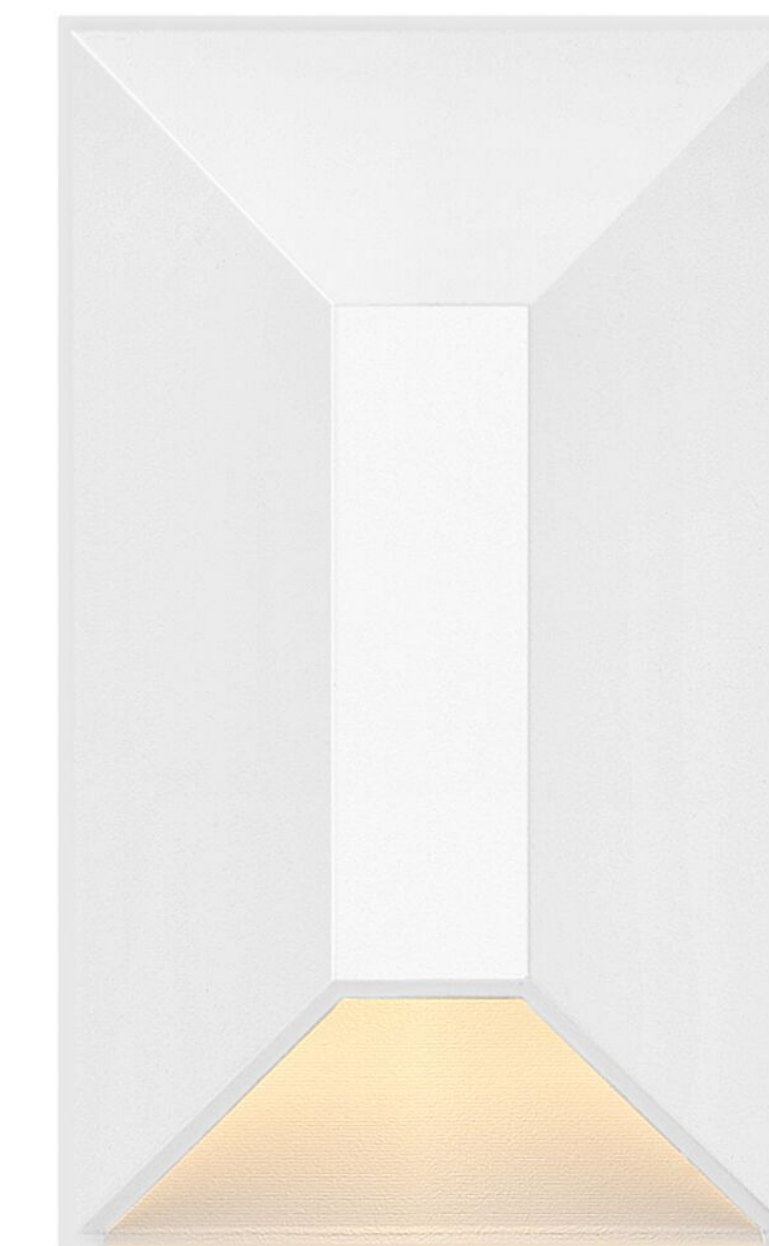


NORA LIGHTING - NM1-PRDC (or similar)
 2-3/8" DIAMETER LED RECESSED DOWNLIGHT
 w/ REMOTE DRIVE (UP TO 40' AWAY)
 SEE FIXTURE LOCATION OPTIONS AT LEFT.
 SPECIFIC LOCATION TO BE DETERMINED
 BASED ON FIELD INSTALLATION CONDITIONS



LIGHT LOCATION

LOWER PORTION OF ENTRY DOOR



HINKLEY - NUVI DECK SCONCE
 2" WIDE x 3.3" TALL w/ 1" PROJECTION
 w/ REMOTE TRANSFORMER

1

PROPOSED ENTRY DOOR LIGHTING (TYPICAL)

SCALE: NTS

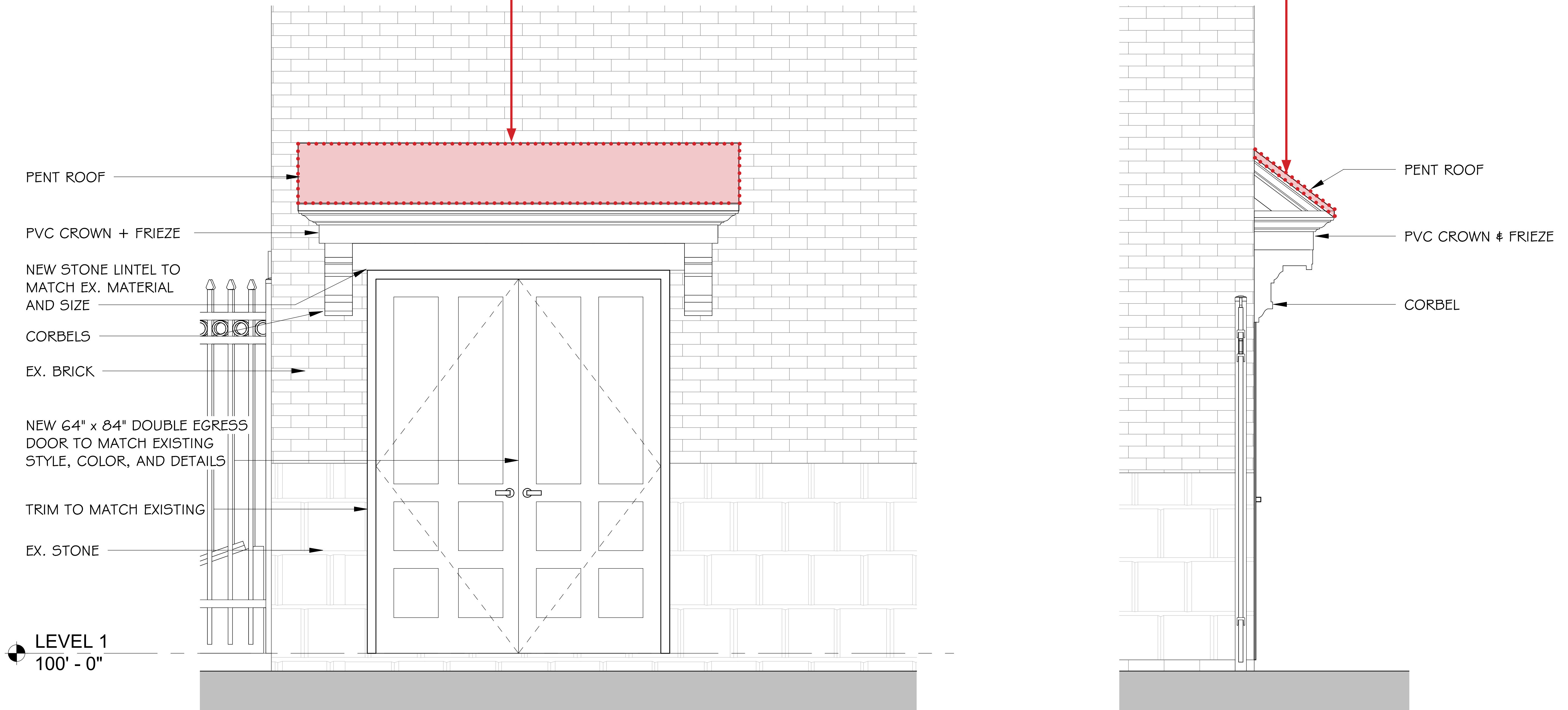


SAMYN-D'ELIA
 ARCHITECTS, P.A.

NORTH CHURCH
 2 Congress Street, Portsmouth, New Hampshire
 September 3, 2024



STANDING SEAM COPPER ROOFING ON
PENT (SHED OR AWNING STYLE) ROOF
AT REAR EGRESS DOOR



1 PROPOSED REAR EGRESS DOOR
SCALE: 1" = 1'-0"

9. 245 Marcy Street

-Recommended Approval

Background: The applicant is seeking approval for the installation of an exterior condenser on snow stand and exterior conduit lines (to be painted to match the siding and/or trim as needed).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



The proposed condenser will be located between the two first floor windows on the side of the home. The condenser will need to be on a snow stand, but will not be taller than the existing fence.



10. 48 South Street

-TBD

Background: The applicant is seeking approval for a change to a previously approved project. Due to a contractor change, the approved replacement of the original siding in-kind (with a roughly 3 inch reveal) was installed with a 5 inch reveal on a portion of the home. The homeowner has since stopped the work for guidance.

Staff Comment: TBD

Stipulations:

- 1. _____
- 2. _____
- 3. _____

Historic District Commission

Staff Report

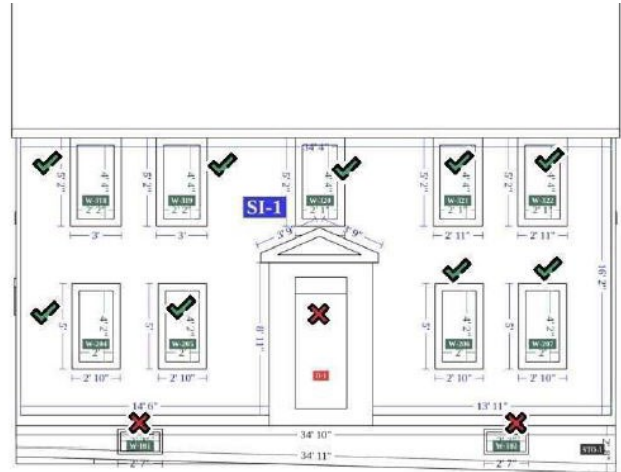
Wednesday, September 11, 2024

Project Address: 491 Marcy Street
Permit Requested: Certificate of Approval
Application: Public Hearing 1

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 3,080 SF +/-
- Estimated Age of Structure: c.1820
- Building Style: Transitional Federal/Greek Revival
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Marcy Street
- Unique Features: N/A
- Neighborhood Association: South End



B. Proposed Work: Replace all siding (currently 3 sides are vinyl siding and the street facing side is wood, replace all windows, install skylights and an aluminum gutter system.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace siding, windows, install skylights and a gutter system.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

Friday, August 16, 2024

Dear Historic District Commission,

We are writing to request your approval for proposed renovations to our home at 491 Marcy Street, located within the Historic District. We purchased our home in 2023 and have found that significant repairs are needed to preserve its architectural and historic character, in line with the Historic District Ordinance, and to maintain the property's value.

City records indicate that our home dates back to 1750, though the Portsmouth Historical Survey (1982-83) estimated c.1820. Our own research has traced its history to at least the 1840s through property deeds and materials from the Portsmouth Athenaeum and other sources. Over the centuries, the house has undergone various renovations and structural changes, including the removal of its center chimney stack (now only visible from the dirt-floor basement and in the original wide plank floors where fireplaces once stood), a two-storey extension at the rear to accommodate two-family living, and extensive fire damage to the attic, making it uninhabitable. While the windows show signs of significant age, none are thought to be original. The facade has also seen several modifications, such as the replacement of wide plank siding with narrow cedar plank siding at the front and vinyl siding on the sides and rear. A new roof was added shortly before we purchased the home, but due to poor installation, the roof leaks and requires immediate replacement.

Our renovation proposal includes the full replacement of all windows with new construction windows and historic sills, the complete replacement of all siding and trim work, the installation of new gutters, and the addition of a new asphalt roof with four skylights at the rear of the property. We plan to install fiberglass Marvin Elevate windows throughout the house, a choice widely embraced by homeowners within Portsmouth's Historic District. For the siding, we propose using smooth plank siding made of fiber cement, produced by James Hardie. This material meets the criteria outlined in the updated Preservation Brief 16 (September 2023) by the National Park Service and the Secretary of the Interior. It is recognized for its enhanced resiliency, sustainability, aesthetics, affordability, and low maintenance requirements. Several local historic district commissions have approved fiber cement siding as an appropriate substitute material, noting its indistinguishable appearance from traditional wood siding. The proposed skylights are produced by Velux, and the proposed replacement storm doors are produced by Andersen.

491 Marcy Street is our forever home, where we hope to raise a family close to our loved ones in the Seacoast. We see ourselves as stewards of this historic property and recognize that the home is long overdue for external upgrades to ensure its structural integrity for generations to come. Currently, our home is one of the few in the Historic District with vinyl siding. The windows are in poor condition: none open safely due to missing or broken hardware, several panes are cracked or missing, and most have rotting sills and trim. Additionally, the storm windows are damaged, missing parts, and inoperable. The roof at the rear leaks during heavy rain, and the front portion is fully depreciated, necessitating the replacement of all shingles and drip edge. Gutters are missing in several areas, causing water to cascade down the front and rear of the home during storms. The cornice returns and other trim work are severely damaged, and in some cases, missing entirely. The siding, both vinyl and cedar, is significantly damaged on all sides.

We request your approval to proceed with these essential renovations to preserve and protect our home.

With appreciation and gratitude,

Charlie Barlow and Sean Conroy, homeowners of 491 Marcy Street

SUPPORTING DOCUMENTS

491 MARCY STREET

Documentation of Board of Adjustment approvals as needed

We have submitted both a Land Use Application and Building Permit Application for our renovation project.

Photographs of all facades which relate to proposed changes

The pages that follow include captioned photographs of all facades and details of current conditions.

Site plan

Our renovation project does not involve changes to the footprint of our home. We have included a copy of the tax map for 491 Marcy Street.

491 Marcy Street



Property Information

Property ID 0101-0011-0000
 Location 491 MARCY ST
 Owner BARLOW CHARLES JOHN



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 08/24/2023
 Data updated 3/9/2022

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

Specifications for windows and doors

We will install new construction windows, including 24 double-hung windows and two casement windows (upstairs bath/rear porch). The dimensions of each window are listed on the building elevations. All new construction windows will be installed in the same locations as existing windows. Historical sills will be installed throughout.

All existing windows will be replaced with the same grid configuration, using simulated divided lites with spacer bars. Generally, the oldest front portion of the house is glazed with six-over-clear windows, while the newer rear portion is glazed with two-over-clear windows. There is one two-over-two window that we propose is replaced with a new two-over-clear window to match the other windows on the rear portion of our home. Windows will feature aluminum screens. Existing storm windows (all damaged) will be removed and not reinstalled. We will not install new storm windows.

All new construction windows will be Marvin Elevate windows, made of fiberglass exteriors and wood interiors.

We will install four Velux VCM Manual “Fresh Air” Curb-Mounted Skylights at the rear of our home, as shown in the elevations. These are constructed with aluminum frames. These skylights will not be visible from the front of our home on Marcy Street.

We will replace the two storm doors at the rear of our home with Andersen 10 Series storm doors. These doors are made with a thick aluminum frame and clear glass.

Copies of the manufacturers’ info sheets and brochures are enclosed with supporting materials in the subsequent section.



SDL with spacer bars in Marvin Elevate windows



Historic sill option

Materials to be used

We will be using the following materials for our renovation project:

Asphalt Roof: Timberline HDZ® Shingles or Owens Corning TruDefinition Duration Shingle

Windows: Marvin Elevate

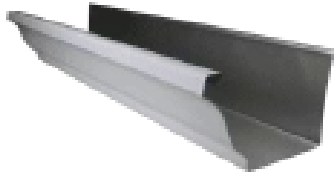
Skylights: Velux VCM Manual “Fresh Air” Curb-Mounted Skylight

Siding: James Hardie Siding, Smooth Plank, with 4” exposures

Sills and Trim: Composite, to match existing including cornice returns

Gutters: Aluminum 5” seamless

Manufacturers’ info sheets and brochures are enclosed where available. We have also enclosed a presentation on approved fiber cement substitute for wood siding in historic districts to support our material selection for the replacement siding.



Seamless aluminum gutters

Brick and mortar sample

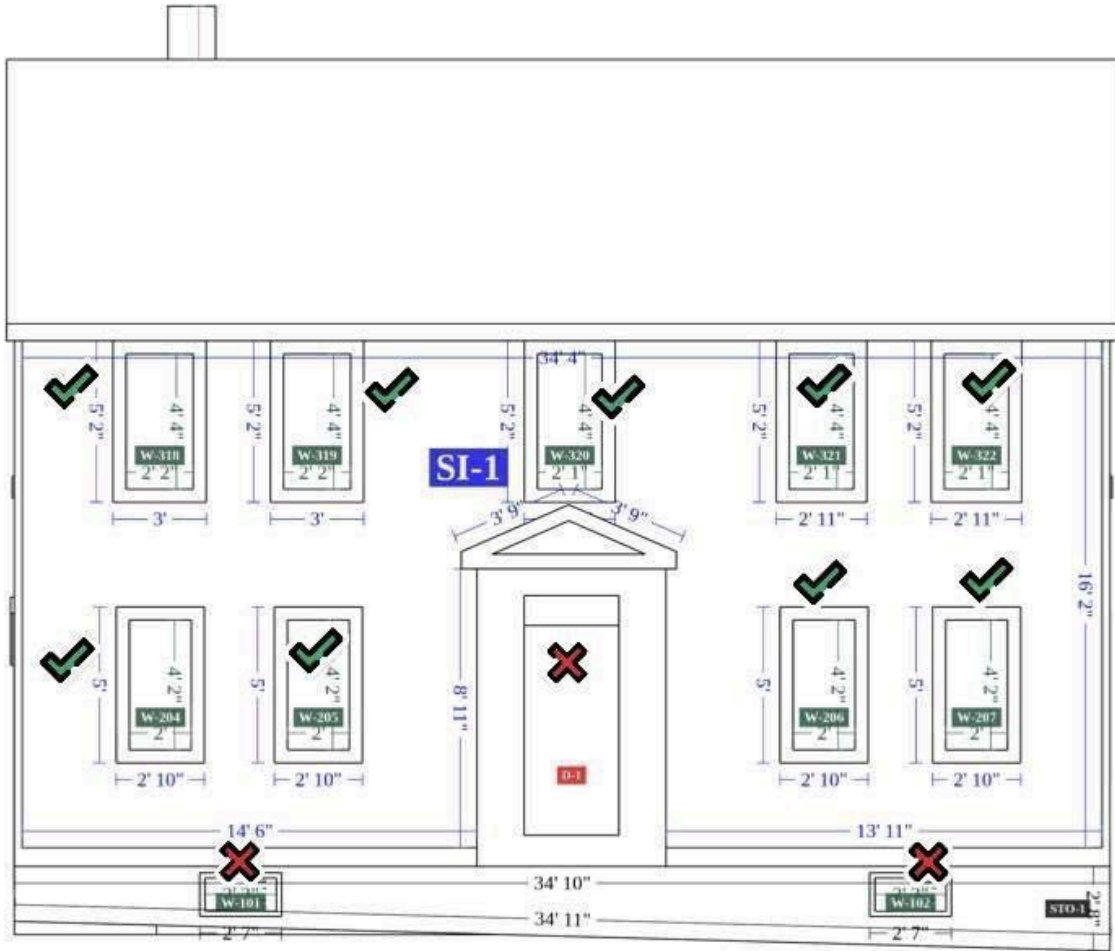
Not applicable

Condominium Letter of Authorization

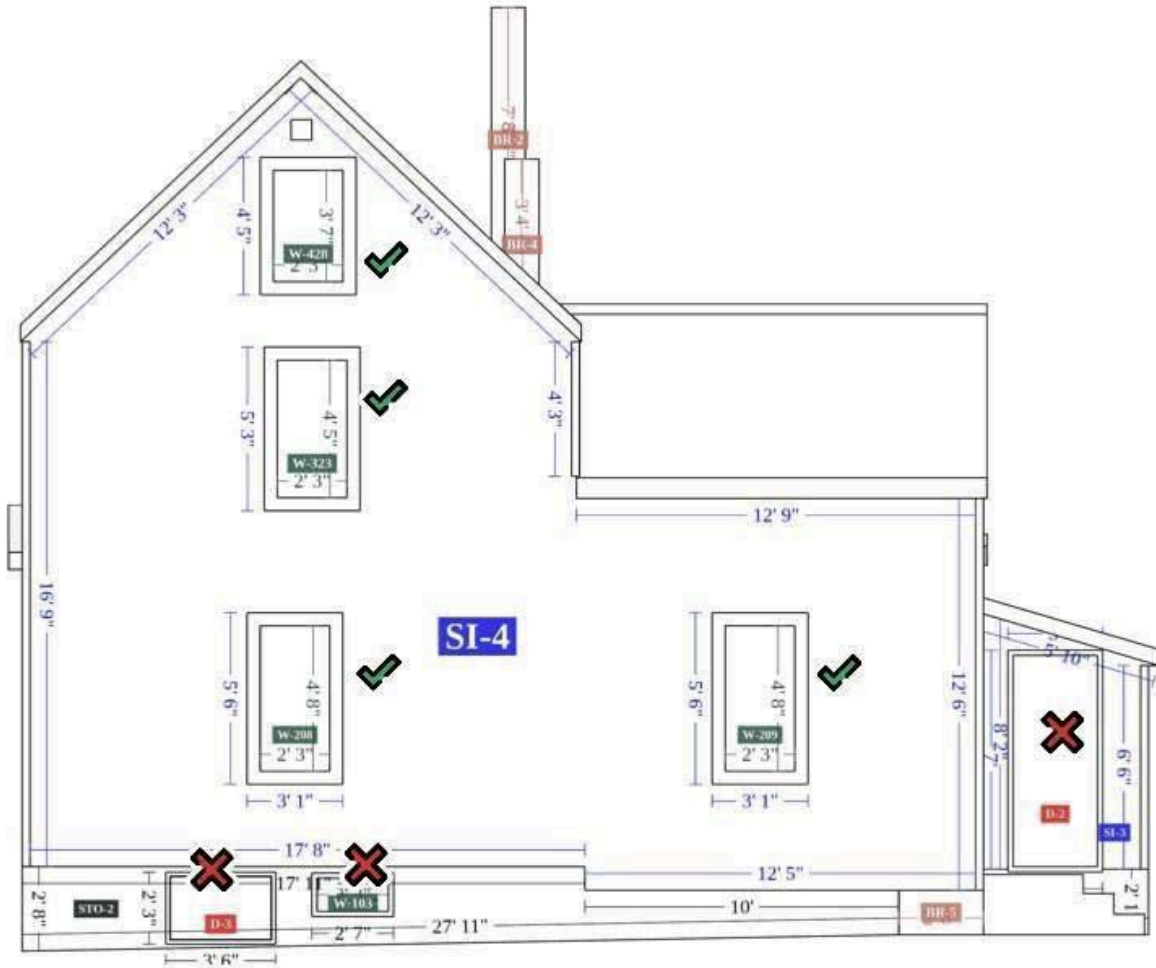
Not applicable

Building Elevations

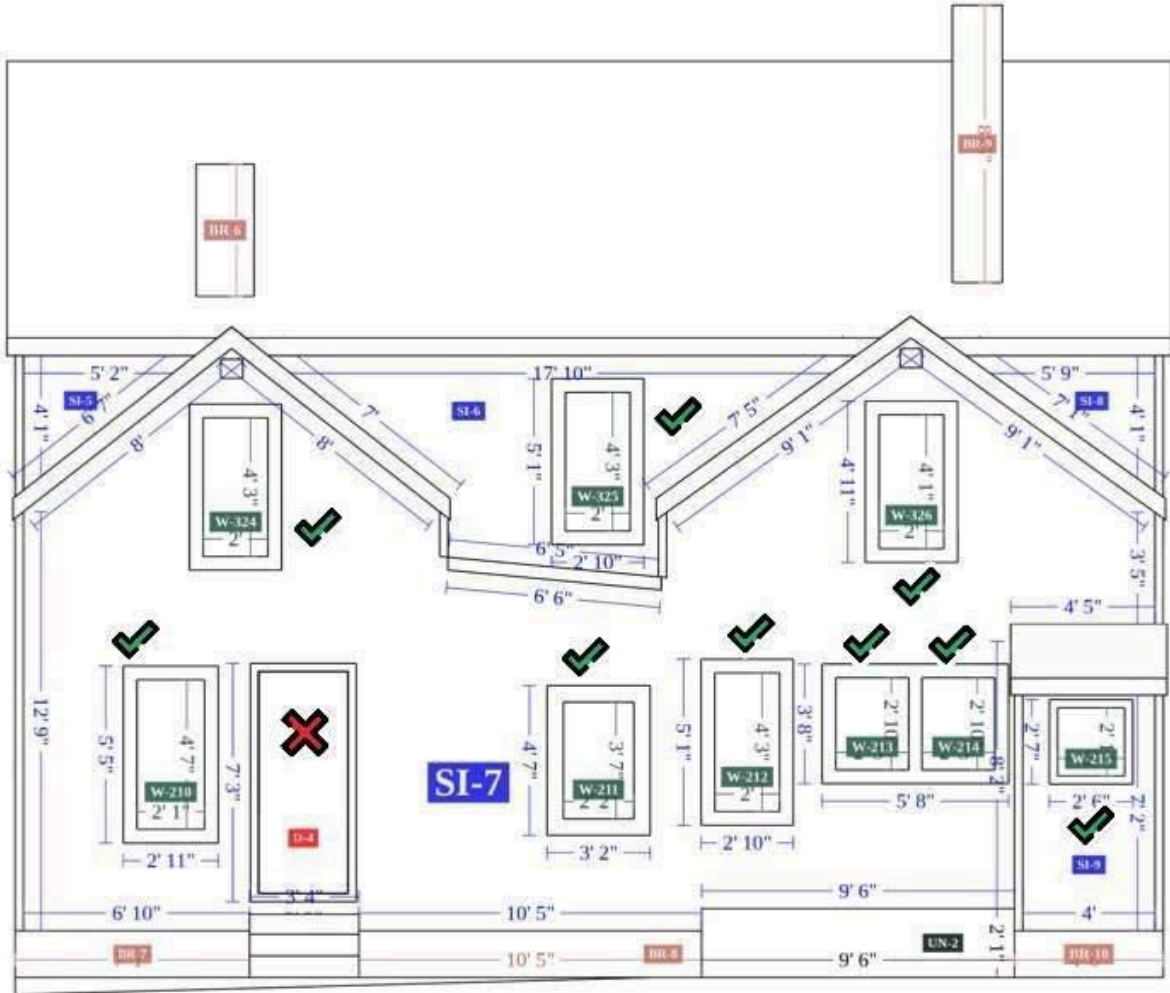
Building elevations reflect existing conditions and proposed changes to the exterior of our home. No demolition will occur to the structure of our home and the footprint and facade will remain unchanged in its dimensions. The elevations include accurate dimensions of all proposed changes to the exterior and architectural detailing.



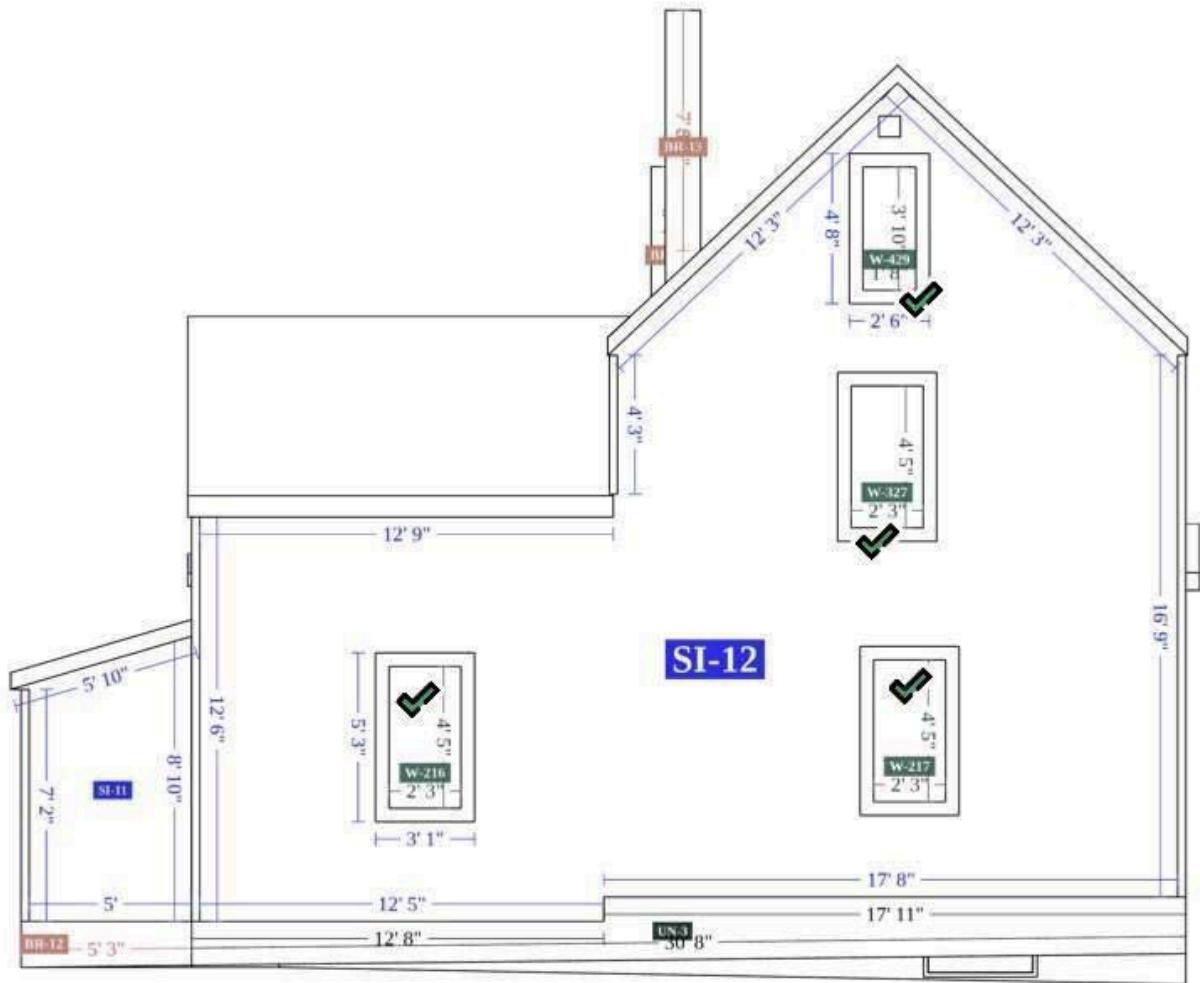
FRONT ELEVATION
 Marcy Street



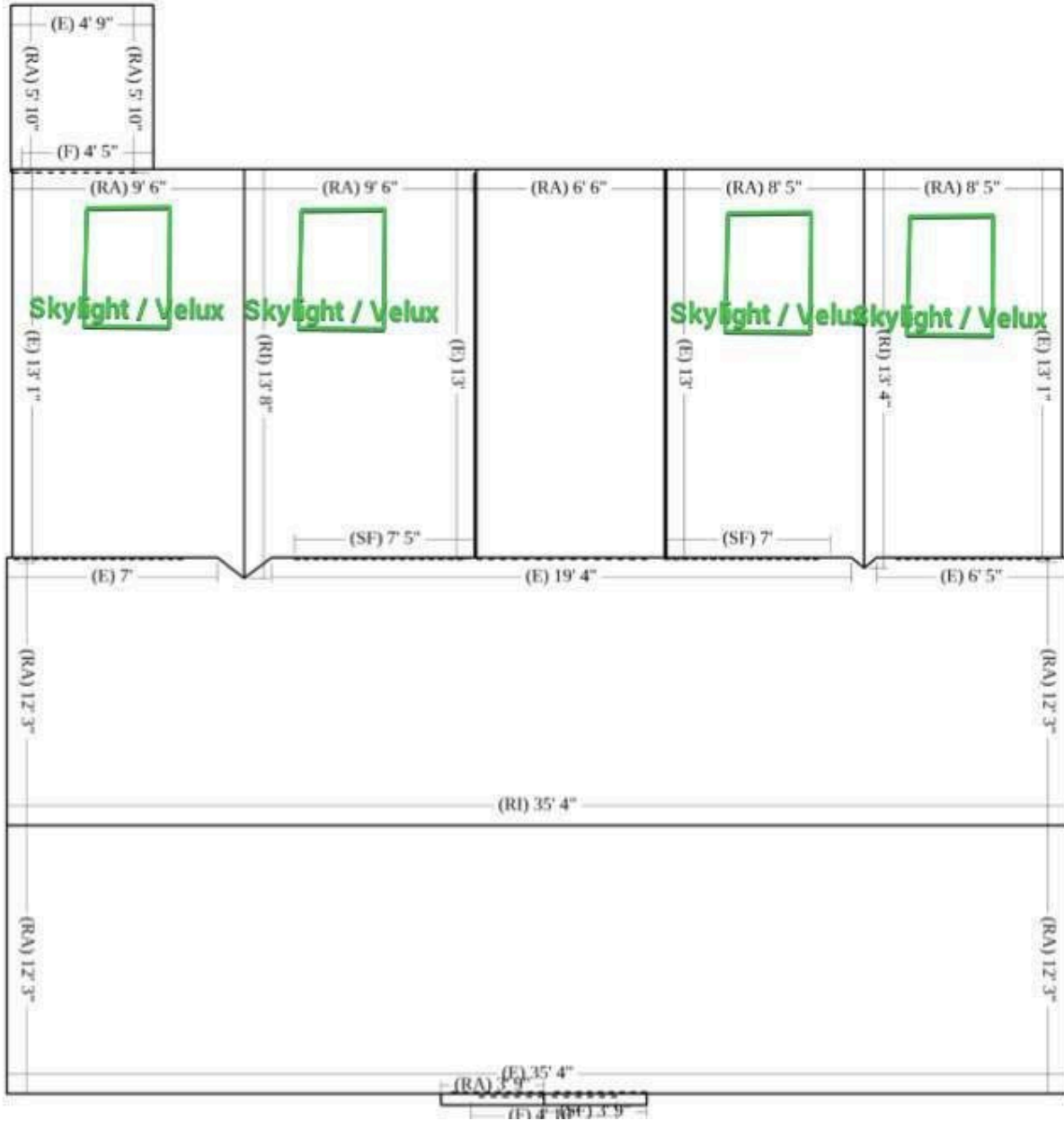
RIGHT SIDE ELEVATION
Holmes Court



REAR ELEVATION



LEFT SIDE ELEVATION



ROOF ELEVATION



*Image #1. EXISTING FRONT ELEVATION
VIEW FROM MARCY STREET*



*Image #2. EXISTING LEFT ELEVATION
VIEW FROM MARCY STREET*



Image #3. EXISTING LEFT ELEVATION
VIEW FROM MARCY STREET



Image #4. EXISTING RIGHT ELEVATION
VIEW FROM INTERSECTION OF MARCY STREET & HOLMES COURT



Image #5. EXISTING RIGHT ELEVATION
VIEW DOWN HOLMES COURT TOWARD MARCY STREET



Image #6. EXISTING RIGHT AND REAR ELEVATIONS
VIEW FROM HOLMES COURT, MARCY STREET AT FAR LEFT



*Image #7. EXISTING REAR ELEVATION
VIEW FROM BACK YARD*



Image #8. FRONT DOOR ON MARCY STREET

TO REMAIN AS-IS, WITH MINOR REPAIRS TO TRIM AT BASE

NOTE: THE ORIGINAL FRONT DOOR FEATURED SIDELIGHTS WHICH WE FOUND IN STORAGE FOR POSSIBLE REPAIR/REPRODUCTION IN THE FUTURE. THESE WERE REPORTED AS 'BLOCKED' IN THE 1982-83 HISTORICAL SURVEY



Image #9. **LOCATION OF CASEMENT WINDOW (CURRENTLY FIXED)**
REAR ELEVATION



Image #10. **LOCATION OF CASEMENT WINDOW (DOUBLE HUNG)**
REAR ELEVATION (OVER FLAT ROOF)



Image #11. TWO-OVER-TWO WINDOW
RIGHT ELEVATION

Note: This is the only two-over-two window in our home. We are proposing replacement with two-over-clear to be consistent with the rest of the rooms at the rear



Image #12. TWO SIX-OVER-CLEAR WINDOWS
REAR ELEVATION, RIGHT



Image #13 **BASEMENT WINDOW**
RIGHT ELEVATION, EXCLUDED



Image #14. **STORM DOOR**
REAR ELEVATION, LEFT SIDE
Note: Door with the 3x3 grid will remain as-is



Image #15. **CORNICE RETURN AT MARCY STREET**
FRONT ELEVATION



Image #16. **CORNICE RETURN AT HOLMES COURT**
RIGHT ELEVATION



Image #17. **CORNICE RETURN AT REAR LEFT**
REAR ELEVATION



Image #18. **WOOD ROT IN CEDAR SIDING AND TRIM**
FRONT ELEVATION



Image #19. DAMAGE TO VINYL SIDING
REAR ELEVATION



Image #20. WATER DAMAGE TO SIDING AND TRIM
FRONT ELEVATION



Image #21. VINYL SIDING
RIGHT ELEVATION



Image #22. DAMAGE TO VINYL TRIM
REAR ELEVATION, PORCH

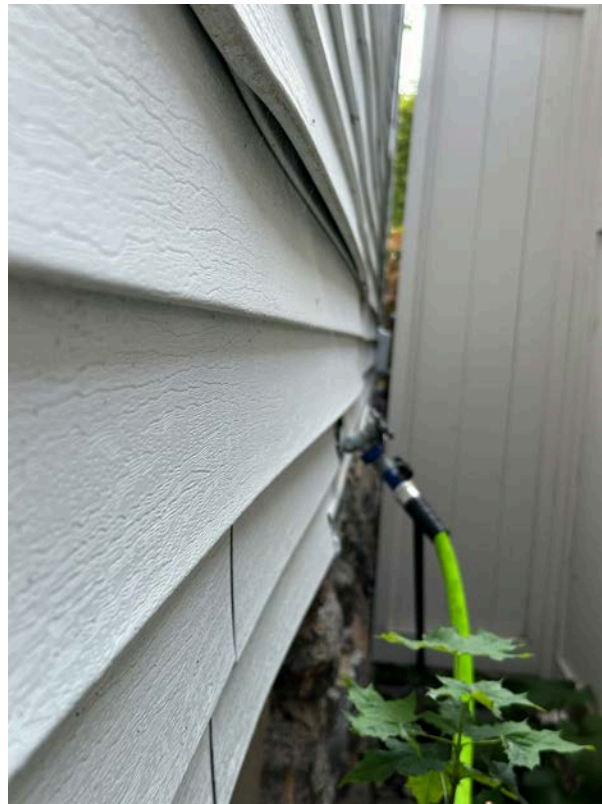
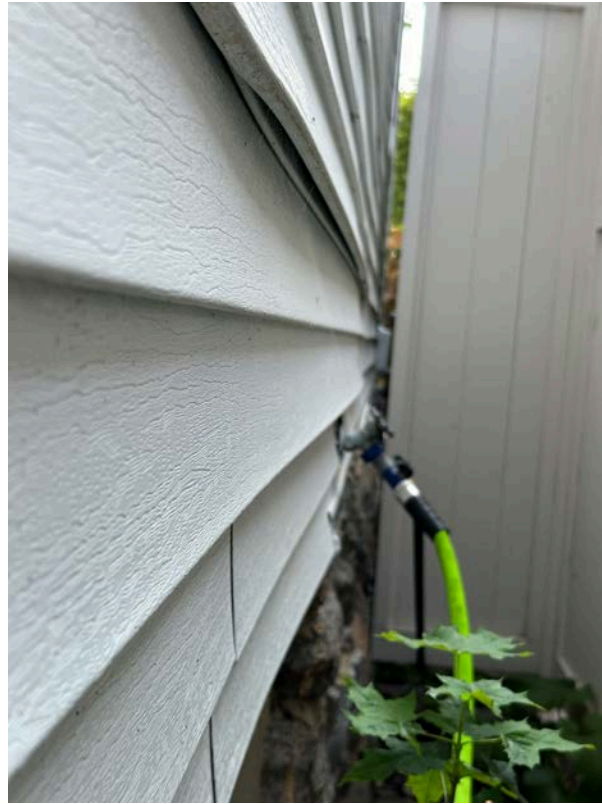


Image #23. **SEPARATED VINYL SIDING ALLOWING WATER INFILTRATION
LEFT ELEVATION**



Image #24. **WOOD SIDING AT FLAT ROOF AREA, SEPARATION OF ALUMINUM TRIM WORK, REUSE OF
OLD ROOF COMPONENTS AT SHINGLE ROOF
REAR ELEVATION**



*Image #25. SEPARATED VINYL SIDING ALLOWING WATER INFILTRATION
LEFT ELEVATION*



*Image #26. DAMAGE TO VINYL SIDING
REAR ELEVATION, PORCH*



Image #27. CHIMNEY
REAR ELEVATION, LEFT SIDE

Note: Both chimneys will be receive new flashing during the roof replacement



Image #28. CHIMNEY AND VENTS
REAR ELEVATION, RIGHT SIDE

Note: Both chimneys will receive new flashing during the roof replacement. The vent stacks will receive new boots.



Image #29. ROOF LINE
REAR ELEVATION, LEFT SIDE

Note: Evidence of reused components during recent roof replacement at rear prior to our purchase of the home



Image #30. INCOMPLETE INSTALLATION OF ROOF
REAR ELEVATION, PORCH



Image #31. DAMAGE TO TRIM AT ROOF LINE
FRONT ELEVATION



Image #32. EXPOSED STRUCTURAL BEAM
CORNER OF MARCY STREET AND HOLMES COURT



Image #33. **ROTTEN FIRST FLOOR WINDOW SILL, DAMAGED STORM WINDOW, AND TRIM WORK
FRONT ELEVATION**



Image #34. **WOOD ROT IN WINDOW TRIM
FRONT ELEVATION**



Image #35. **WOOD ROT IN WINDOW SILL AND DAMAGED STORM WINDOW**
FRONT ELEVATION



Image #36. **WOOD ROT IN WINDOW TRIM; WOOD ROT IN UPPER TRIM**
FRONT ELEVATION



*Image #37. WOOD ROT IN WINDOW SILL AND TRIM
FRONT ELEVATION*



*Image #38. BROKEN WINDOW PANES
ATTIC FACING HOLMES COURT*



Image #39. **WORN WINDOW FRAME OPEN TO OUTSIDE ELEMENTS**
ATTIC FACING HOLMES COURT



Image #40. **WINDOW FRAME SEPARATION AND WATER DAMAGE**
REAR ELEVATION



Image #41. LOOSE GLAZING AND WINDOW MUNTINS
REAR ELEVATION

Note: Emergency repaired with perspex sheet following January 2024 storm damage. The lower pane is cracked in two places, but remains in place.



Image #42. STORM WINDOW, MISSING COMPONENTS
REAR ELEVATION

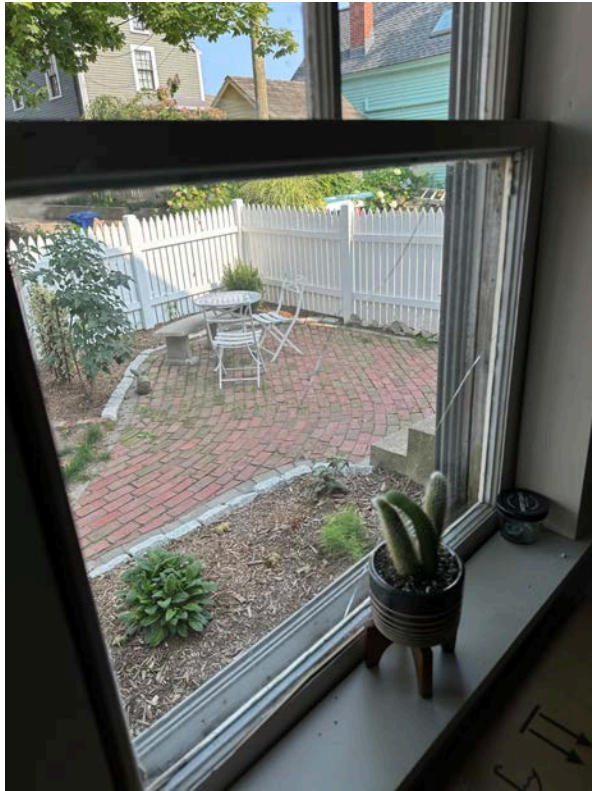


Image #43. **CRACKED WINDOW PANE**
REAR ELEVATION, CENTER



Image #44. **ROTTEN WINDOW FRAME WITH WATER DAMAGE**
REAR ELEVATION, CENTER



Image #45. REPAIR TO WINDOW FRAME
REAR ELEVATION, RIGHT



Image #46. DIVIDED LITE CONDITIONS
REAR ELEVATION, RIGHT



Image #47. **MISSING ROPE AND WEIGHT MECHANISM**
REAR ELEVATION



Image #48. **PAINTED ROPE AND WEIGHT MECHANISM**
REAR ELEVATION



Image #49. **ROTTEN WOOD FRAME, FROM INTERIOR
FRONT ELEVATION**

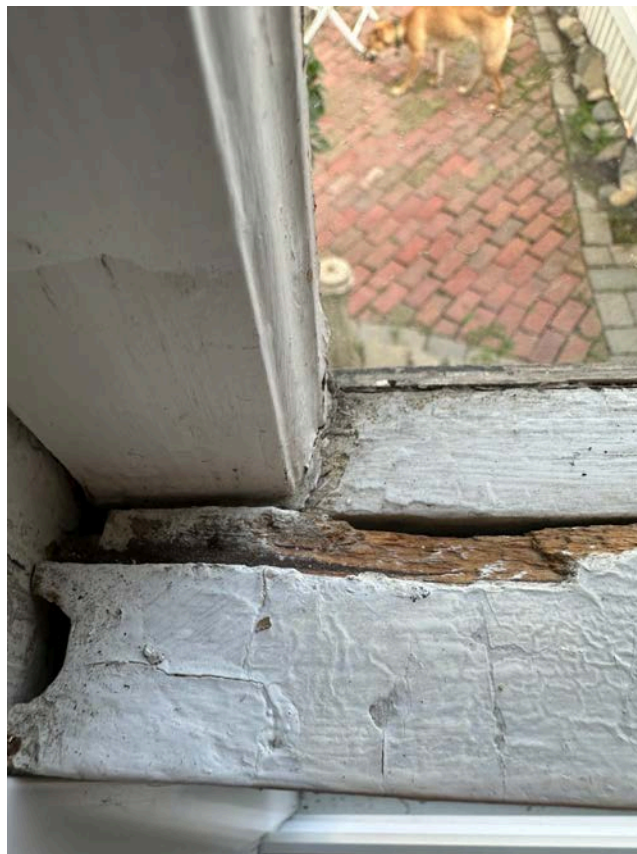


Image #50. **ROTTEN WOOD ON WINDOW, FROM INTERIOR
REAR ELEVATION**



*Image #51. ROTTEN WOOD FRAME, FROM INTERIOR
RIGHT ELEVATION*



*Image #52. ROTTEN WINDOW SILL, FROM INTERIOR
FRONT ELEVATION*



Image #53. **ROTTEN WOOD FRAME, FROM INTERIOR
FRONT ELEVATION**



Image #54. **ROTTEN WINDOW FRAME AND SEPARATION FROM STORM WINDOW, FROM INTERIOR
FRONT ELEVATION**



*Image #55. MISSING WEIGHT SYSTEM, FROM INTERIOR
REAR ELEVATION*



*Image #56. ROTTEN WINDOW SILL, FROM INTERIOR
FRONT ELEVATION*



Image #57. **ROTTEN WINDOW SILL AND FRAME, FROM INTERIOR FRONT ELEVATION**



Image #58. **ROTTEN SILL AND FRAME, FROM INTERIOR FRONT ELEVATION**



Image #59. **MISSING TRIM WORK ON WINDOW FRAME, FROM INTERIOR FRONT ELEVATION**



Image #60. **MISSING TRIM AND MECHANISM, FROM INTERIOR FRONT ELEVATION**

Note: Upper story window held in place by single nail.



Image #61. **ATTIC WINDOW, FROM INTERIOR
LEFT ELEVATION**

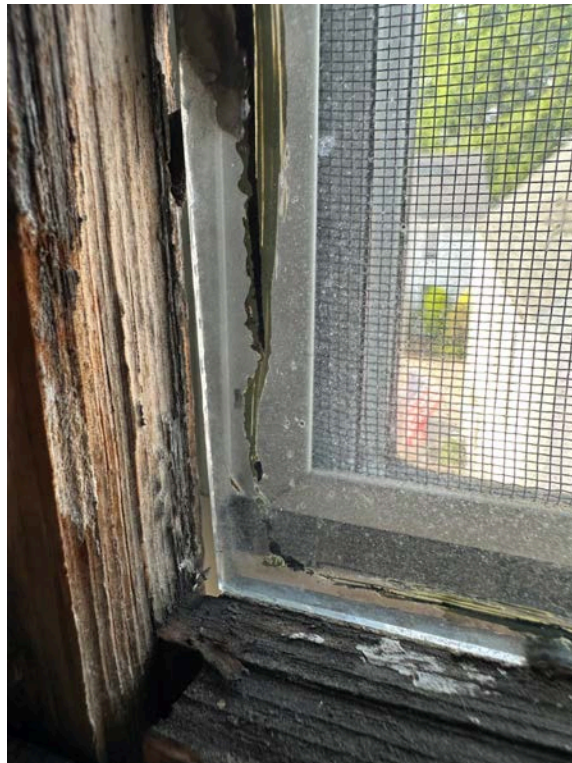


Image #62. **ROTTEN WOOD AND LOOSE GLAZING IN ATTIC WINDOW
LEFT ELEVATION**



Image #63. ATTIC WINDOW MECHANISM MISSING, SECURED BY NAIL
LEFT ELEVATION



Image #64. ATTIC WINDOW
RIGHT ELEVATION



Image #65. **FIRE DAMAGE ADJACENT TO ATTIC WINDOW**
RIGHT ELEVATION



Image #66. **ATTIC WINDOW, NAILED IN PLACE**
RIGHT ELEVATION

Site
number:

Address 491 Marcy St. cor. Holmes Ct.

New tax map(1979) U1 lot 11 size 3080sq.ft.
Old tax map 4 lot 14 size

Owner BROOKS, Helen
Address 491 Marcy Street

Location of legal description:
Rockingham County Registry of Deeds
Hampton Road; Exeter, New Hampshire
03833

Representation in existing surveys:
HABS NR NHL
HAER Other

Date c. 1820
Source: Estimate Other:

Historic name
Common name
Original owner
Architect/bldr.

Functional type
Present use, if different

Moved Date
Altered Date

Effect: Focal Contributing
non-contributing Intrusion



Photo roll 4 no. 5
Negative with: Portsmouth Advocates
Description East side.
Date taken by

Transitional Federal/
1. Style Gr. Revival No. of stories 2½ No. of bays 5 x 1

2. Overall plan: Rectangle, along street.

3. Foundation: Brick Stone ^{rubble} Concrete block x
Artificial stone Other (back 2' of ells)

4. Wall structure: Woodframe x Brick Stone Other
If wood: Post and beam x Balloon frame

5. Wall covering: Clapboard Wood shingle Flushboard Imitation ashlar
Brick Stone Stucco Composition board x Aluminum Vinyl
Sheet metal Asphalt shingles Other

6. Roof: Gable x Hip Shed Mansard Flat Gambrel Other

7. Specific features (location, no., appearance of porches, windows, doors, chimnies, dormers, ells/wings--see also description), decorative elements:

Two 1½ story gable roofed ells on rear with one story shed roofed lean-to attached to left one, and shed roofed lean-to between. Greek Revival door surround - projecting pediment, frieze band, (blocked) sidelights.

8. Outbuildings:

 PORTSMOUTH
ADVOCATES, INC.

Description:

2½ story, five bay, gable roofed house, transitional Federal/Greek Revival in style. 1½ story gable roofed ells on either side of rear, each with entrances, and lean-to on the left one. Rubble stone foundation. Greek Revival door surround with projecting boxed cornice and (blocked) side-lights.

Stove chimney rear slope of roof, left side.



ELEVATE

MARVIN ELEVATE COLLECTION



THE MARVIN PORTFOLIO

The Marvin portfolio consists of five product lines organized into three distinct collections defined by the degree of design detail and customization opportunities.

Marvin windows and doors offer exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch to help bring your vision to life.



ULTIMATE

Most extensive selection of features, options, and product types



MODERN

Design flexibility in a purely modern aesthetic available exclusively at Marvin Modern dealers



COASTLINE

Custom windows and doors for high velocity hurricane zones in the coastal Southeast



ELEVATE

Wide range of options and product types



ESSENTIAL

Curated options and product types

MARVIN SIGNATURE® COLLECTION

MARVIN ELEVATE® COLLECTION

MARVIN ESSENTIAL™ COLLECTION

INTERIORS	WOOD 6 species options + custom 2 painted or primed options 6 stains + clear coat	EXTRUDED ALUMINUM 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	WOOD Bare pine, painted Designer Black, painted White, or clear coat	FIBERGLASS 4 color options
EXTERIORS	EXTRUDED ALUMINUM 19 colors + custom OR WOOD 3 species + custom	FIBERGLASS 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	FIBERGLASS 6 color options	FIBERGLASS 6 color options
SIZING	Standard + custom sizing for replacement, remodeling, or new construction	Custom sizing for remodeling or new construction	Custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction
HARDWARE	Extensive selection including Marvin Gallery Hardware	Minimalist hardware for modern design aesthetic	Available in multiple styles, sizes, and finishes to complement the window + door aesthetics	Available in 6 finish options with 2 door handle styles	Available in 6 finish options with 1 door handle style
COASTAL + WATERFRONT	Hurricane Impact Zones 3 and 4, + PG 50 Products		All products rated for High Velocity Hurricane Zone (IZ4)	Hurricane Impact Zone 3, + PG 50 Products	

Marvin Elevate® collection

THE PERFECT BALANCE OF BEAUTY AND STRENGTH

Balancing beautiful design with superior strength, the Marvin Elevate collection delivers style in any climate. Elevate features warm wood interiors that can blend in or stand out with Ultrex® fiberglass exteriors for lasting durability. The collection offers a range of carefully selected features and options, making it as versatile as it is elegant.

About Us

At Marvin, we're driven to imagine and create better ways of living, helping people feel happier and healthier inside their homes. We believe that our work isn't just about designing better windows and doors—it's about opening new possibilities for the people who use them.

Casement windows with Simulated Checkrails and Grills-between-the-Glass in Designer Black with Matte Black hardware



Inswing French door with Matte Black hardware

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WHY MATERIALS MATTER

THE MARVIN MATERIALS DIFFERENCE: ULTREX® FIBERGLASS

Choosing the right materials for windows and doors is important when it comes to long-term appearance and performance. Ultrex, an innovative fiberglass material pioneered by Marvin over 25 years ago, was one of the first premium composites on the market. However, not all composites are created equal.

Some companies use materials with fundamentally different properties and performance values to produce a composite material. But, Ultrex is different. High density woven fibers bound by a thermally-set resin makes Ultrex more resistant to pressure and temperature than vinyl-based composites. With such different materials grouped in the composites category, it becomes important to know what sets them apart.



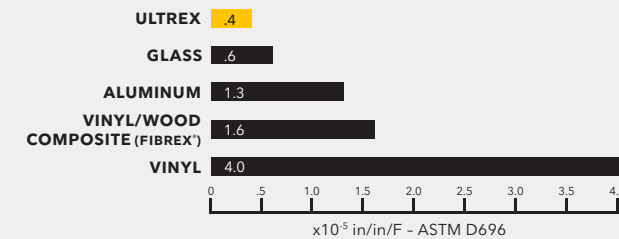
TEMPERATURES MAY FLUCTUATE, BUT ULTREX FIBERGLASS WON'T

Ultrex expands and contracts at virtually the same rate as glass, so it works with glass rather than against it. This means seals aren't as prone to leaking, and windows aren't subjected to sagging issues like other composites.

This is especially true when compared to vinyl, which can distort in extreme heat and crack in fluctuating temperatures. Ultrex resists distortion even at temperatures up to 285°F. Rapid temperature change doesn't phase Ultrex. From -30°F to 70°F, a 6-foot stile changes less than 1/32 inch in length.

EXPANSION MEASUREMENT

Ultrex expands and contracts at virtually the same rate as glass.

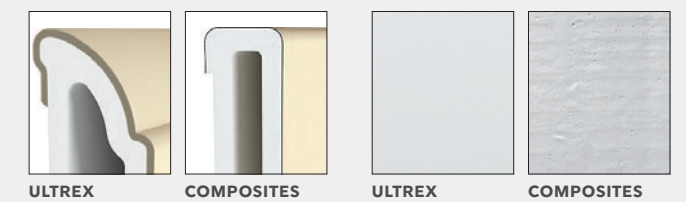


INDUSTRY'S BEST FIBERGLASS FINISH FOR LASTING BEAUTY

Ultrex is the first and only fiberglass finish to be verified to AAMA's 624 voluntary finish specifications for fiber reinforced thermoset profiles (fiberglass).

Windows and doors made with Ultrex resist scratches, dings, and marring more than vinyl. Our proprietary, mechanically bonded acrylic finish is up to three times thicker than painted competitive finishes, and it resists UV degradation up to five times longer than vinyl—even on dark colors.

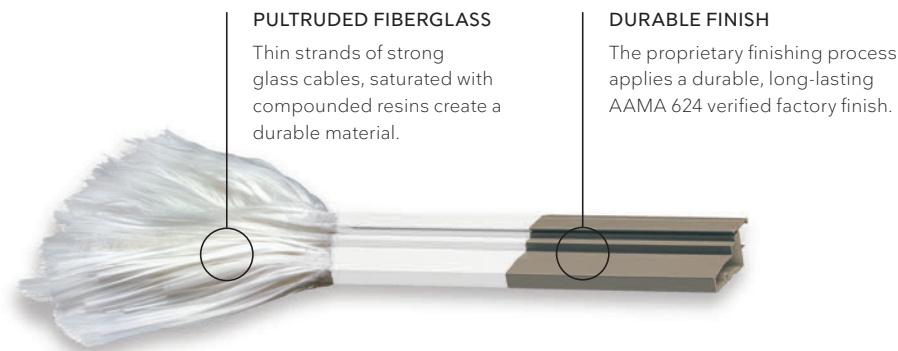
ACRYLIC CAP



STRENGTH AND STABILITY OF ULTREX

Ultrex pultruded fiberglass has a tensile strength 8x stronger than vinyl and 3x stronger than non-fiberglass vinyl/wood composites. Windows and doors made with Ultrex bend and flex less, resist cracking and separating, and stand up better to everyday wear and tear.

The exceptional strength and stability of Ultrex eases installation and establishes a secure, long-lasting fit that stays square and true, year after year.



Casement and Direct Glaze windows in Stone White

COOLER IN SUMMER, WARMER IN WINTER

TOP RATED ENERGY EFFICIENCY

The National Fenestration Rating Council (NFRC) defines energy performance ratings for the entire window and door industry. It rates:

- **U-factor:** How well a window keeps heat inside a building.
- **Solar heat gain:** A window's ability to block warming caused by sunlight.
- **Visible light transmittance:** How much light gets through a product.
- **Air leakage:** Heat loss and gain by air infiltration through cracks in the window assembly.

Ultrax® fiberglass is 500 times less conductive than roll form aluminum, similar to wood and PVC. It provides an insulated barrier against extreme weather temperatures, keeping homes comfortable, and reducing heating and cooling costs.

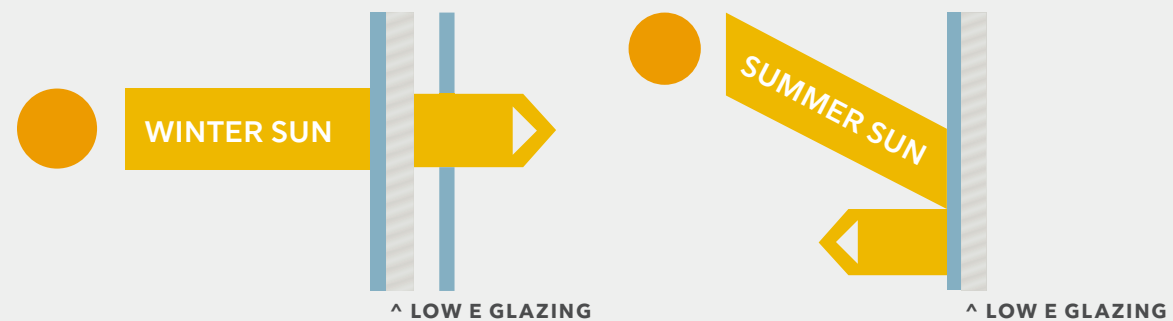
ENERGY COST SAVINGS

Marvin was the first major window and door manufacturer to offer energy-efficient Low E2 glass and ENERGY STAR® certified performance on all of our standard windows and doors. Compared to non-certified products, ENERGY STAR certified windows and doors cut heating and cooling costs by 12%.*

The Elevate collection offers Triple-pane, Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas, which has thermal conductivity 30% lower than that of air. It adds improved solar and thermal protection by distinguishing between visible light, damaging UV, and near-infrared rays to offer the ultimate glass performance. And provides a selection of energy-efficient solutions depending on your climate and needs.

LOW E GLASS COATING

The Low E coating is specially designed to take advantage of the angle of the winter and summer sun. Winter sun is absorbed and conducted indoors. Summer sun is filtered and reflected back outdoors.



Double Hung window with Sash Lock + Keeper in White

A MORE COMFORTABLE INTERIOR, REGARDLESS OF THE SEASON

Keep heat inside during cooler weather and block the sun's rays during warmer weather with dual-pane windows and Low E coating.

DESIGNED WITH PROS IN MIND

PEACE OF MIND

Every project has its own unique requirements and Marvin is equipped to meet those challenges. Our unique Ultrex® fiberglass construction, available factory services, unmatched delivery, and network of dedicated service and support personnel make the Elevate collection the perfect choice—no matter the project.

EASY TO ORDER, SIMPLE TO INSTALL

The Elevate collection offers simplified options to make the order process straightforward. Installation options and accessories make installing Marvin easier than ever. See page 20 for more information.

MARVIN HAS YOU COVERED

The Elevate collection is backed by a fully transferable 20/10 warranty: 20-year coverage on glass, and 10-year coverage on manufacturing materials and workmanship.

CREATING VALUE AND EFFICIENCY EVERY STEP OF THE WAY

Weather-tight, solid, and durable Ultrex® fiberglass means there are virtually no call-backs. Elevate window and door profiles are optimized for the maximum in performance and fit.



Double Hung window in Stone White

Marvin Elevate® collection

WINDOWS



Casement windows in Bronze

CASEMENT + AWNING



Casement windows with
Matte Black hardware



Casement windows in White

CASEMENT + AWNING

- Multi-point sequential locking system provides superior PG50 performance rating with single lever operation.
- Interior screen features an aluminum surround and concealed pressure mounting points for ease of operation and enhanced aesthetics.
- Operating, transom, and picture units available.
- Folding handle neatly stows out of the way. Stainless steel coastal hardware available.
- Casement available in standard and special sizes up to 3 feet wide by 6 feet high.
- Awning available in standard and special sizes up to 4 feet wide by 4 feet high.
- Coordinating Picture and Transom windows also available.
- Narrow frame option with 3 ¼ inch insert replacement frame, flat sill, and through jamb installation.



CASEMENT + AWNING



CASEMENT NARROW FRAME + AWNING NARROW FRAME



Available with IZ3
(Excludes Narrow Frame option)

DOUBLE HUNG



Double Hung windows in Designer Black with Matte Black hardware



Double Hung window in White with White hardware

DOUBLE HUNG

- Equipped with a standard full screen; optional half screen is available.
- Tilt latches are ergonomically designed and easy to operate, making tilting and cleaning effortless.
- Sash lock provides a positive detent, reassuring the user that the window is either locked or unlocked.
- Up to PG50 performance rating.
- Equal, Cottage, and Reverse Cottage sash provide a variety of looks and checkrail heights.
- Available in standard and special sizes up to 4 feet 6 inches wide by 7 feet high.
- Coordinating Picture and Transom windows also available.
- Double Hung Insert option features ¾ inch insert replacement frame with through jamb installation and up to PG40 performance rating.



DOUBLE HUNG



DOUBLE HUNG INSERT



 Available with IZ3
(Excludes Insert option)

GLIDER



Glider window in painted White



Glider windows in Pine with custom stain finish

GLIDER

- Operating sash easily tilts and removes with no cords or strings to detach.
- Tilt latches are ergonomically designed and easy to operate, making tilting and cleaning effortless.
- Available in dual sash with left or right operating panel as well as triple sash with fixed center panel and two operating end panels.
- Innovative screen design for easy installation and removal.
- Up to PG30 performance rating.
- Available in standard and special sizes up to 6 feet wide by 5 feet high for dual sash and 8 feet wide by 5 feet high for triple sash.



INTERIOR



EXTERIOR



SASH LOCK + KEEPER

PICTURE



Picture windows in painted White



Double Hung and Picture windows in painted White

PICTURE

- Fixed window available in either in-sash or direct glaze to meet various design needs.
- Both in-sash and direct glaze Picture windows available with IZ3 hurricane rating.
- Direct glaze:
 - › Glass meets the frame directly without a sash for a simple, clean profile with more glass area.
- In-sash:
 - › Designed to match profiles of operable windows in the Elevate collection.
 - › Casement Picture windows available in sizes up to 6 feet wide by 6 feet high.
 - › Double Hung Picture windows available in sizes up to 5 feet wide by 7 feet high.



INTERIOR



EXTERIOR



PICTURE WINDOW PROFILE SHOWN IN BARE PINE



Available with IZ3

BAY + BOW



Elevate Casement Bow window in White



Elevate Casement Bay window in White

BAY + BOW

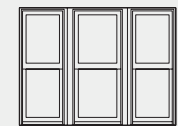
- Maximize air circulation with multiple windows.
- Combine Double Hung or Casement windows with a center Picture window.
- Customize with a variety of glass, divided lites, and hardware options.
- Rich Pine interior with a variety of finish options.
- Durable low-maintenance aluminum surround screens.
- Head and seat boards use engineered wood for superior strength, stability, and durability.
- Choose from convenient factory mulling or field mulling kits.
- Bows available in configurations up to 10 feet wide by 6 feet high.
- Bays available in configurations up to 7 feet wide by 6 feet high.



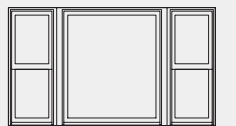
BAY INTERIOR



BAY EXTERIOR



BAY OPERATOR CENTER UNIT



BAY PICTURE CENTER UNIT

ROUND TOP + SPECIALTY SHAPES

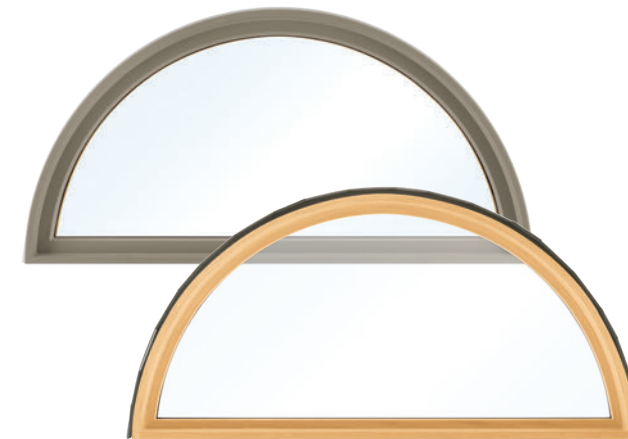


Elevate Specialty Shapes window, Casement window, and Picture window

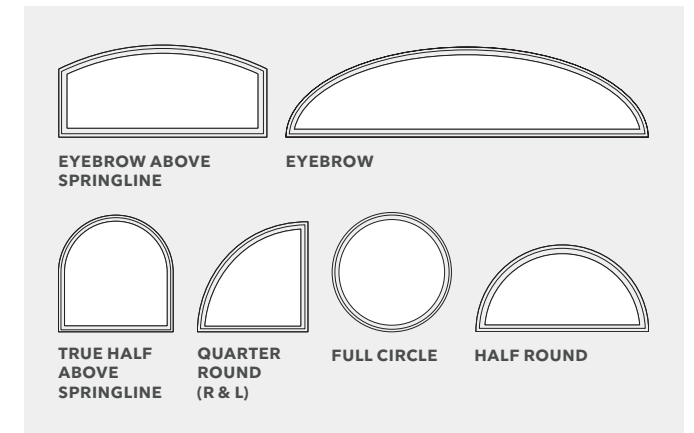
ROUND TOP

- Extruded aluminum exterior finish.
- Available nailing fin, installation bracket, and through jamb installation.
- Perforated folding radius nailing fin provides for simple installation and proper water management.

- Available factory and field mulling options.
- Standard and special sizes up to 8 feet wide and up to 6 feet high depending on the shape.
- Up to PG50 performance rating.



EXTERIOR + INTERIOR



SPECIALTY SHAPES

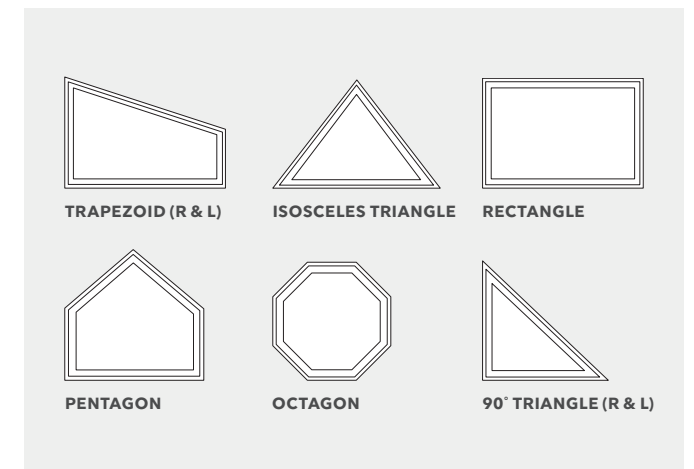
- Standard jambs of 4 1/16 inch, 6 1/16 inch, and 6 13/16 inch are available factory applied or as an extension kit.
- Consistent, fast delivery applies to even the most unique products.
- ENERGY STAR® certified and available with Low E1, Low E2, Low E3, and Low E3/ERS insulated glass.

- Up to PG55 performance rating.
- Factory, reinforced, and field mulling kits available.
- Use as sidelights or transoms, or combine for a breathtaking wall of windows.
- Available in sizes up to 49 square feet. Longest leg may not exceed 9 feet.



EXTERIOR PENTAGON

INTERIOR TRAPEZOID



Marvin Elevate® collection

DOORS



Inswing French door and Casement and Picture windows in Ebony

BI-FOLD DOOR



Elevate Bi-Fold Door in White

BI-FOLD DOOR

- Available in configurations up to 7 panels and fits openings up to 22 feet wide by 8 feet high.
- Choose from 28 operating configurations.
- Carefully engineered top-hung design for effortless operation.
- Performance sill available in Beige or Bronze.
- Integrated multi-point locking system.
- Retractable pleated screen option available
- Divided lites available: Grilles-between-the-Glass (GBG) or Simulated Divided Lites (SDL).



INTERIOR



EXTERIOR



BOTTOM HINGE

Elevate Bi-Fold Door in Ebony

SLIDING PATIO DOOR



Elevate Sliding Patio Door with Designer Black interior



Sliding Patio Door in Ebony

SLIDING PATIO DOOR

- Narrow stiles and rails achieve a contemporary styling.
- Low-maintenance Ultrex fiberglass exterior; rich pine interior with a variety of finish options.
- Precision built in special sizes in 1/4 inch increments.
- 2-, 3-, or 4-panel configurations up to approximately 16 feet wide by 8 feet high.
- Up to PG40 performance rating.
- Top hung screen operates smoothly without jamming.
- Coordinating Transom windows available.
- Bronze or Beige sill available.



INTERIOR



EXTERIOR



CAMBRIDGE HANDLES SHOWN IN SATIN NICKEL

SLIDING FRENCH DOOR



Bi-parting Sliding French door with Northfield hardware in White



Bi-parting Sliding French door in Stone White with Northfield hardware in Oil Rubbed Bronze

SLIDING FRENCH DOOR

- Wide stile and rail construction showcases the rich wood interior.
- Low-maintenance fiberglass exteriors and rich pine interiors with a variety of finish options.
- Configurations of 2-, 3-, or 4-panels, up to approximately 16 feet wide by 8 feet high.
- Up to PG40 performance rating.
- Optional PG50 performance rating on 2- and 3-panel configurations up to 9 feet wide by 8 feet high.
- Dual ball-bearing rollers for smooth operation.
- Bronze or Beige sill available.



INTERIOR



EXTERIOR



SILL DETAIL SHOWN IN BRONZE



INSWING FRENCH DOOR



Inswing French door with Northfield hardware in Matte Black



Inswing French doors in White with custom hardware

INSWING FRENCH DOOR

- Secure and stable stainless steel multi-point locking system.
- Precision built in 1/4 inch increments.
- Available in 1-, 2-, or 3-panel configurations.*
- Multiple configurations up to 6 feet wide by 8 feet high.
- Bronze or Beige sill available.
- PG30 performance rating standard.
- PG50 performance rating optional on 1- and 2-panel configurations.



INTERIOR



EXTERIOR



DOOR HINGE SHOWN IN SATIN NICKEL



OUTSWING FRENCH DOOR



Elevate Outswing French Door in Stone White with Matte Black Northfield handle



Outswing French door with Cambridge hardware in Satin Nickel

OUTSWING FRENCH DOOR

- Low-maintenance fiberglass exteriors and rich pine interiors with a variety of finish options.
- Secure and stable stainless steel multi-point locking system.
- Precision built in 1/4 inch increments.
- Tempered, insulated glass with argon gas.
- Available in 1-, 2-, or 3-panel configuration.*
- Multiple configurations up to 9 feet wide by 8 feet high.
- Bronze or Beige sill available.
- Up to PG40 performance rating standard.



INTERIOR



EXTERIOR



DOOR HINGE SHOWN IN SATIN NICKEL

Marvin Elevate® collection

PRODUCT OPTIONS



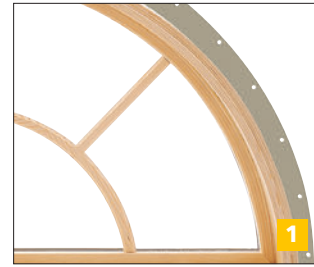
Double Hung and Direct Glaze windows in Bronze

INSTALLATION MADE SIMPLE AND EFFICIENT

INSTALLATION OPTIONS AND ACCESSORIES

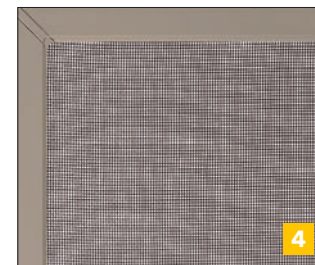
1. NAILING FIN

Pre-attached folding nailing fin and drip cap for easier installation.



2. THROUGH JAMB

Available through jamb and installation bracket options.



3. FACTORY-APPLIED JAMB EXTENSIONS

Factory-applied jamb extensions save time and labor. We supply 4 7/16", 6 7/16", and 6 13/16" jamb depth in bare wood, white, designer black, or clear interior finish.

4. FACTORY-INSTALLED SCREENS

Factory-installed screens are a standard offering with operating windows. At no extra cost, we can ship your screens separately to reduce on-site damage prior to installation.

5. FACTORY MULLED ASSEMBLIES

Available standard factory mulling, reinforced factory mulling, or field mulling kits. The reinforced mull meets AAMA 450 specifications and performs up to PG50 on standard products and up to PG55 on IZ3 rated products.



6. CORNER KEYS

Integral corner keys keeps window and door units square and corners sealed.

7. CUSTOM SIZES

Custom sizes are available on windows and doors in 1/4" increments for the perfect fit every time.



8. PAINTABLE ULTREX EXTERIOR

The Ultrex® fiberglass exterior is paintable, and it holds dark colors better than vinyl or vinyl/wood composites.

EXTERIOR TRIM

Ultrex Exterior Trim is offered with all rectangular Elevate products in all six exterior finishes. The durability, performance, and look of Marvin Elevate windows and doors can be extended to the trim.

BRICK MOULD

2" Brick Mould is available with or without 2 1/8" sill nosing.

FLAT

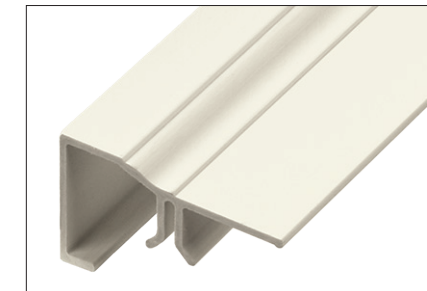
3 1/2" Flat Trim is available in Flat and Flat Ranch configurations with or without 2 1/8" sill nosing.

SILL NOSE

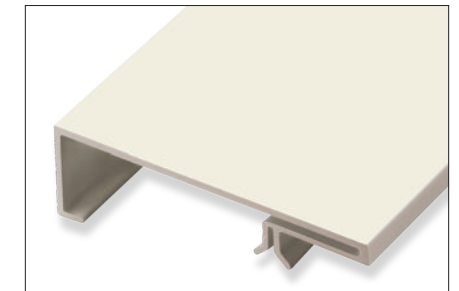
2 1/8" Sill Nose provides authentic sill appearance.

CONNECTION BARB

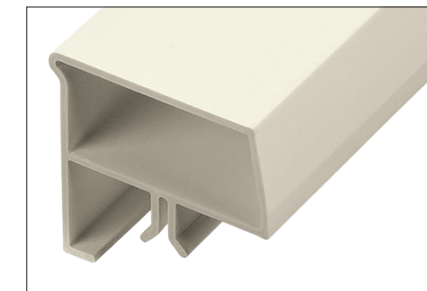
Barb and receiver attachment method provides for quick, secure installation.



BRICK MOULD



FLAT



SILL NOSE



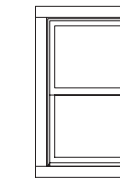
CONNECTION BARB

TRIM CONFIGURATIONS

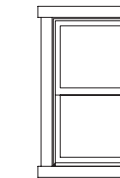
Multiple configurations are available in lineal lengths and factory pre-cut kits in all six Elevate collection exterior colors.



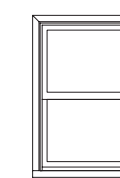
BRICK MOULD



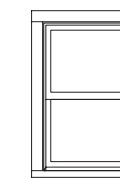
FLAT



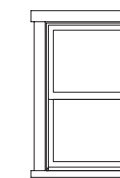
FLAT RANCH



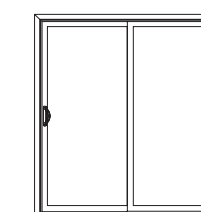
BRICK MOULD WITH SILL NOSE



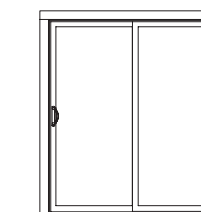
FLAT WITH SILL NOSE



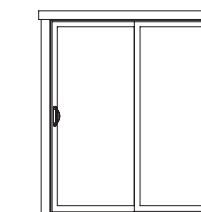
FLAT RANCH WITH SILL NOSE



BRICK MOULD*



FLAT*



FLAT RANCH*

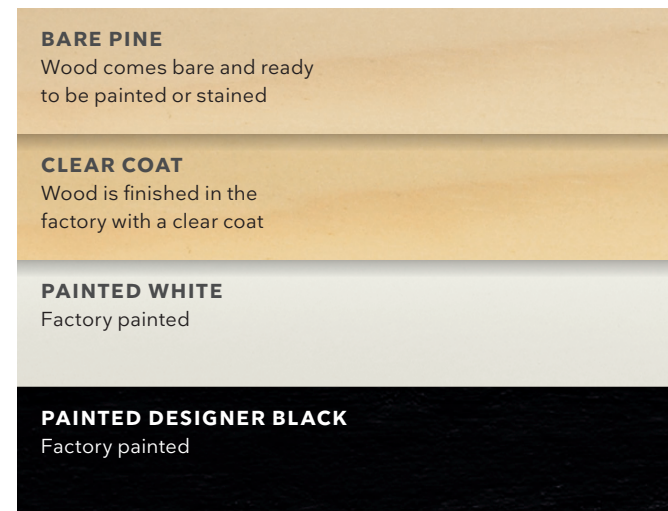
* Brick Mould, Flat, and Flat Ranch profiles are available on doors. Sill profiles are not included for door trim sets.

DESIGN OPTIONS

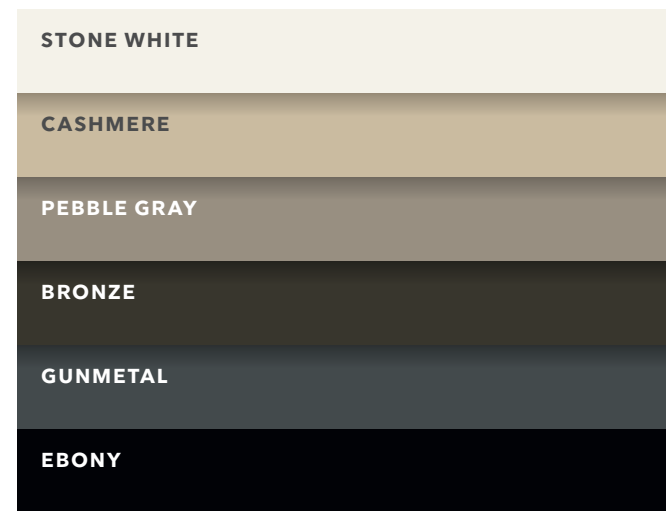
INTERIOR AND EXTERIOR FINISHES

Elevate windows and doors features rich pine interiors and a durable, strong, and fully paintable Ultrex® fiberglass exterior, featuring our AAMA-verified acrylic finish for low-maintenance and superior aesthetics. Elevate Round Tops include the extruded aluminum exterior finished in commercial-grade paint for superior resistance to fading and chalking.

WOOD INTERIOR FINISHES



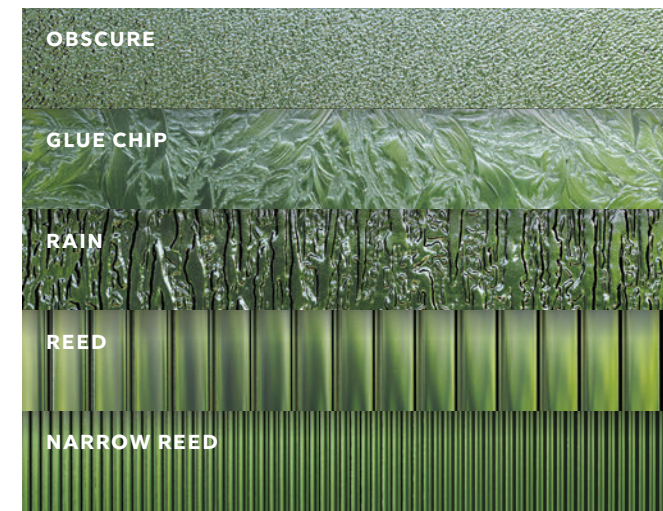
FIBERGLASS EXTERIOR COLORS



GLASS OPTIONS

Glass is available with Standard Dual Pane or optional Triple Pane on select products. Available with Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas.* Options include glazing for sound abatement (STC/OITC), high altitudes, and California fire zones. Laminated glass is also offered in products designed specifically for hurricane zones.

DECORATIVE GLASS



DIVIDED LITES

GRILLES-BETWEEN-THE-GLASS (GBG)

Available in several popular lite cut options for a classic divided lite look and easy glass cleaning. Available in Stone White, Bronze, and Ebony interior and Stone White, Cashmere, Pebble Gray, Bronze, Gunmetal or Ebony exterior.*

SIMULATED DIVIDED LITE (SDL)

Bars permanently adhered to both sides of the glass for a more authentic look. Available with or without spacer bar and in several lite cut options.



GRILLES-BETWEEN-THE-GLASS



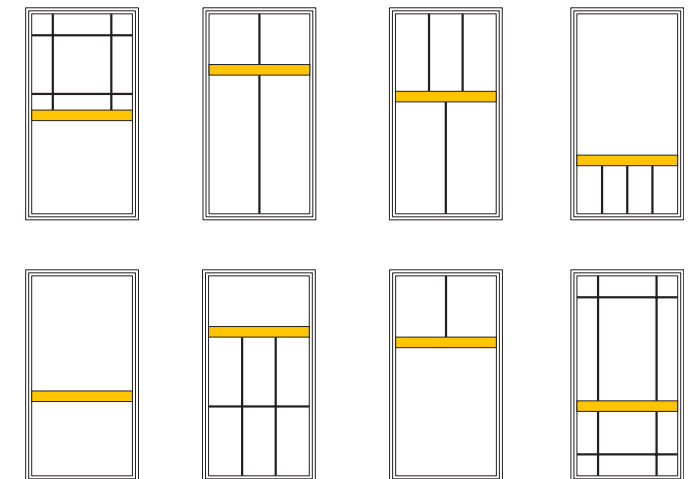
SIMULATED DIVIDED LITE

SIMULATED CHECKRAIL

Simulated Checkrail is the perfect solution when aesthetics call for the beauty of a double hung, but operation, egress, or performance demand another solution.

You specify placement of the horizontal simulated checkrail bar and the lite cut patterns above and below.

These illustrations offer a sampling of 7/8" Simulated Divided Lite (SDL) patterns that can be selected in combination with the 2 1/32" Simulated Checkrail on Casement, Awning, Glider, Direct Glaze Rectangle, Picture windows, and all Elevate doors.



* Not available in polygons except direct glaze rectangles.

* Argon gas not available in high elevations where capillary tubes are required.

HARDWARE STYLES

WINDOW HARDWARE

Windows feature classic low-profile durable hardware for clean aesthetics, safety, and security.



SASH LOCK + KEEPER
Double Hung and Glider



FOLDING HANDLE
Casement and Awning



Double Hung window in Designer Black with Matte Black Sash Lock + Keeper

DOOR HANDLES

Door handles are available in two distinct hardware styles.



CAMBRIDGE

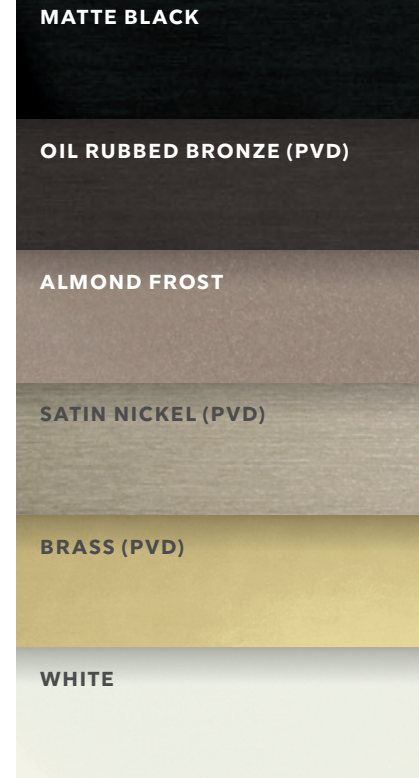


NORTHFIELD

DOOR HANDLE OPTIONS

- Available keyed-alike option (use one key on multiple locks, with up to 3 different keys on each project).
- Choose a distinct interior and exterior handle finish that matches or complements the interior and exterior color of your door.

FINISHES



Choose from a variety of hardware finishes to complement your Elevate collection windows and doors.

The Physical Vapor Deposition (PVD) process adds a layer of toughness to hardware exposed to environmental factors like direct sun and humidity. PVD finishes resist fading and discoloration, even in coastal areas. PVD has the highest grade corrosion resistant finish.

PVD finish is available on exterior door hardware in Oil Rubbed Bronze, Satin Nickel, and Brass.

MARVIN®



Casement Narrow Frame window with Oil Rubbed Bronze Folding Handle and Lock Lever



Inswing French door with Cambridge Handle in Satin Nickel PVD

SAFE AND SOUND

ACCESSIBILITY OPTIONS

OPENING CONTROL DEVICE

Limits opening to 4" while providing for full egress. ASTM F2090 compliant. Available on Casement, Double Hung, and Glider windows.

SASH LIMITER

Permanently limits sash movement for safety and security.



CASEMENT
OPENING CONTROL DEVICE



DOUBLE HUNG
OPENING CONTROL DEVICE



GLIDER
OPENING CONTROL DEVICE



AWNING
SASH LIMITER

IZ3 PRODUCTS FOR COASTAL LIVING

Our Elevate IZ3 Certified products are specifically designed for the extreme conditions and construction requirements of coastal areas. Rigorously tested by third-party agencies to meet or exceed the most stringent coastal codes, they protect against flying debris, driving rain, cyclic pressure, and extreme temperatures. The Ultrex® fiberglass finish exceeds AAMA 624 standards for weathering and fading resistance.



IN HARSH COASTAL CONDITIONS,
YOUR WINDOWS AND DOORS MATTER

Marvin offers windows and doors specifically designed for the coast.



Sliding French door and Picture window in Designer Black

THE MARVIN ELEVATE®
COLLECTION IS AN IDEAL BLEND
OF REMARKABLE DESIGN AND
SUPERIOR STRENGTH.

Warm wood interiors add timeless beauty, while resilient, long-lasting Ultrex® fiberglass exteriors stand up to the toughest conditions, outperforming and outlasting vinyl, roll-form aluminum and other composites.



Double Hung and Casement windows in Pebble Gray



Since 1912, Marvin has been a family-owned and -led company, with a legacy of innovation and commitment to the highest quality. We understand the unique opportunity windows and doors have to improve our spaces and how we feel in them. That's why we never stop pushing what's possible and inventing new solutions to channel fresh air, enhance light quality, and connect with the world around us.

MARVIN.COM

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Cover Image: Elevate Casement and Direct Glaze windows with Modern Multislide Door

Part #19981914. June 2024.

Colors shown in printed materials are simulations and may not precisely duplicate product or finish colors. Contact your local Marvin dealer to view actual product and finish color samples.

DOUBLE HUNG

MO (mm)	1-10 (559)	2-2 (660)	2-6 (762)	2-8 (813)	2-10 (864)
RO (mm)	1-10 1/2 (572)	2-2 1/2 (673)	2-6 1/2 (775)	2-8 1/2 (826)	2-10 1/2 (876)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)	2-7 1/2 (800)	2-9 1/2 (851)
DLO (mm)	1-3 11/16 (398)	1-7 11/16 (500)	1-11 11/16 (602)	2-1 11/16 (652)	2-3 11/16 (703)
6-4 (1930)	3-0 (914)	3-0 (914)	3-0 (914)	3-0 (914)	3-0 (914)
6-0 (1829)	3-0 (914)	3-0 (914)	3-0 (914)	3-0 (914)	3-0 (914)
6-0 1/4 (1835)	3-0 1/4 (921)	3-0 1/4 (921)	3-0 1/4 (921)	3-0 1/4 (921)	3-0 1/4 (921)
6-3 3/4 (1924)	2-11 3/4 (908)	2-11 3/4 (908)	2-11 3/4 (908)	2-11 3/4 (908)	2-11 3/4 (908)
2-9 11/16 (856)	1-1 11/16 (348)	1-1 11/16 (348)	1-1 11/16 (348)	1-1 11/16 (348)	1-1 11/16 (348)
(S.O. 1-8 x 6-2)	(S.O. 1-8 x 2-10)	(S.O. 1-8 x 2-10)	(S.O. 1-8 x 2-10)	(S.O. 1-8 x 2-10)	(S.O. 1-8 x 2-10)
ELDH2276	ELDH2236	ELDH2636	ELDH3036	ELDH3236	ELDH3436
(S.O. 2-0 x 6-2)	(S.O. 2-0 x 3-2)	(S.O. 2-0 x 3-2)	(S.O. 2-0 x 3-2)	(S.O. 2-0 x 3-2)	(S.O. 2-0 x 3-2)
ELDH2676	ELDH2240	ELDH2640	ELDH3040	ELDH3240	ELDH3440
(S.O. 2-4 x 6-2)	(S.O. 1-8 x 3-6)	(S.O. 1-8 x 3-6)	(S.O. 1-8 x 3-6)	(S.O. 1-8 x 3-6)	(S.O. 1-8 x 3-6)
ELDH3076 E	ELDH2244	ELDH2644	ELDH3044	ELDH3244	ELDH3444
(S.O. 2-6 x 6-2)	(S.O. 1-8 x 3-10)	(S.O. 1-8 x 3-10)	(S.O. 1-8 x 3-10)	(S.O. 1-8 x 3-10)	(S.O. 1-8 x 3-10)
ELDH3276 E	ELDH2248	ELDH2648	ELDH3048	ELDH3248	ELDH3448
(S.O. 2-8 x 6-2)	(S.O. 2-0 x 4-2)	(S.O. 2-0 x 4-2)	(S.O. 2-0 x 4-2)	(S.O. 2-0 x 4-2)	(S.O. 2-0 x 4-2)
ELDH3476 E	ELDH2252	ELDH2652	ELDH3052	ELDH3252	ELDH3452
(S.O. 1-8 x 5-10)	(S.O. 1-8 x 4-6)	(S.O. 1-8 x 4-6)	(S.O. 1-8 x 4-6)	(S.O. 1-8 x 4-6)	(S.O. 1-8 x 4-6)
ELDH2272	ELDH2256	ELDH2656	ELDH3056	ELDH3256	ELDH3456
(S.O. 2-0 x 5-10)	(S.O. 2-0 x 4-10)	(S.O. 2-0 x 4-10)	(S.O. 2-0 x 4-10)	(S.O. 2-0 x 4-10)	(S.O. 2-0 x 4-10)
ELDH2672	ELDH2260	ELDH2660	ELDH3060	ELDH3260	ELDH3460
(S.O. 2-4 x 5-10)	(S.O. 1-8 x 5-2)	(S.O. 1-8 x 5-2)	(S.O. 1-8 x 5-2)	(S.O. 1-8 x 5-2)	(S.O. 1-8 x 5-2)
ELDH3072	ELDH2264	ELDH2664	ELDH3064	ELDH3264	ELDH3464
(S.O. 2-6 x 5-10)	(S.O. 2-0 x 5-2)	(S.O. 2-0 x 5-2)	(S.O. 2-0 x 5-2)	(S.O. 2-0 x 5-2)	(S.O. 2-0 x 5-2)
ELDH3272 E	ELDH2268	ELDH2668	ELDH3068	ELDH3268 E	ELDH3468 E
(S.O. 2-8 x 5-10)	(S.O. 1-8 x 5-6)	(S.O. 1-8 x 5-6)	(S.O. 1-8 x 5-6)	(S.O. 1-8 x 5-6)	(S.O. 1-8 x 5-6)
ELDH3472 E	ELDH2272	ELDH2672	ELDH3072	ELDH3272 E	ELDH3472 E
(S.O. 1-8 x 6-2)	(S.O. 2-0 x 5-6)	(S.O. 2-0 x 5-6)	(S.O. 2-0 x 5-6)	(S.O. 2-0 x 5-6)	(S.O. 2-0 x 5-6)
ELDH3476 E	ELDH2276	ELDH2676	ELDH3076 E	ELDH3276 E	ELDH3476 E

























































































DOUBLE HUNG

MO (mm)	3-0 (914)	3-2 (965)	3-6 (1067)	4-0 (1219)	4-6 (1372)
RO (mm)	3-0 1/2 (927)	3-2 1/2 (978)	3-6 1/2 (1080)	4-0 1/2 (1232)	4-6 1/2 (1384)
FS (mm)	2-11 1/2 (902)	3-1 1/2 (953)	3-5 1/2 (1054)	3-11 1/2 (1207)	4-5 1/2 (1359)
DLO (mm)	2-5 11/16 (754)	2-7 11/16 (805)	2-11 11/16 (906)	3-5 11/16 (1059)	3-11 11/16 (1211)
3-0 (914)					
3-0 1/4 (921)					
3-0 1/2 (927)					
3-0 3/4 (908)					
3-1 1/16 (348)					
3-4 (1016)					
3-4 1/4 (1022)					
3-3 3/4 (1010)					
3-3 11/16 (388)					
3-8 (1176)					
3-8 1/4 (1124)					
3-7 3/4 (1111)					
3-7 11/16 (449)					
4-0 (1219)					
4-0 1/4 (1226)					
4-0 1/2 (1232)					
4-0 3/4 (1213)					
4-1 1/16 (500)					
4-4 (1321)					
4-4 1/4 (1327)					
4-3 3/4 (1314)					
4-3 11/16 (551)					
4-8 (1422)					
4-8 1/4 (1429)					
4-7 3/4 (1416)					
4-7 11/16 (602)					
5-0 (1524)					
5-0 1/4 (1530)					
5-0 1/2 (1524)					
5-0 3/4 (1518)					
5-1 1/16 (652)					
5-4 (1626)					
5-4 1/4 (1632)					
5-3 3/4 (1619)					
5-3 11/16 (703)					
5-8 (1727)					
5-8 1/4 (1734)					
5-7 3/4 (1721)					
5-7 11/16 (754)					
6-0 (1829)					
6-0 1/4 (1835)					
6-0 1/2 (1829)					
6-0 3/4 (1824)					
6-1 1/16 (805)					
6-4 (1930)					
6-4 1/4 (1937)					
6-3 3/4 (1924)					
6-3 11/16 (856)					
6-8 (1981)					
6-8 1/4 (1988)					
6-7 3/4 (1975)					
6-7 11/16 (805)					
7-0 (2032)					
7-0 1/4 (2039)					
7-0 1/2 (2032)					
7-0 3/4 (2024)					
7-1 1/16 (856)					
7-4 (2134)					
7-4 1/4 (2141)					
7-3 3/4 (2128)					
7-3 11/16 (907)					
7-8 (2185)					
7-8 1/4 (2192)					
7-7 3/4 (2179)					
7-7 11/16 (958)					
8-0 (2236)					
8-0 1/4 (2243)					
8-0 1/2 (2236)					
8-0 3/4 (2224)					
8-1 1/16 (856)					
8-4 (2338)					
8-4 1/4 (2345)					
8-3 3/4 (2328)					
8-3 11/16 (907)					
8-8 (2389)					
8-8 1/4 (2396)					
8-7 3/4 (2379)					
8-7 11/16 (1009)					
9-0 (2440)					
9-0 1/4 (2447)					
9-0 1/2 (2440)					
9-0 3/4 (2424)					

MARVIN ELEVATE™ COLLECTION
DOUBLE HUNG

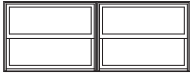
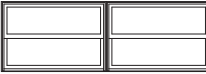


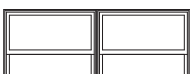









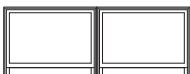
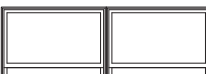






2 Wide

MO (mm)	3-7 1/2 (1105)	4-3 1/2 (1308)	4-11 1/2 (1511)	5-3 1/2 (1613)	5-7 1/2 (1715)	5-11 1/2 (1816)	6-3 1/2 (1918)	6-11 1/2 (2121)
RO (mm)	3-8 (1118)	4-4 (1321)	5-0 (1524)	5-4 (1626)	5-8 (1727)	6-0 (1829)	6-4 (1930)	7-0 (2134)
FS (mm)	3-7 (1092)	4-3 (1295)	4-11 (1499)	5-3 (1600)	5-7 (1702)	5-11 (1803)	6-3 (1905)	6-11 (2108)

3-0 (914) 3-0 1/4 (921) 3-0 1/2 (927)	 ELDH2236 2W	 ELDH2636 2W	 ELDH3036 2W	 ELDH3236 2W	 ELDH3436 2W	 ELDH3636 2W	 ELDH 3836 2W	 ELDH 4236 2W
3-4 (1016) 3-4 1/4 (1022) 3-3 3/4 (1010)	 ELDH2240 2W	 ELDH2640 2W	 ELDH3040 2W	 ELDH3240 2W	 ELDH3440 2W	 ELDH 3640 2W	 ELDH 3840 2W	 ELDH 4240 2W
3-8 (1176) 3-8 1/4 (1124) 3-7 3/4 (1111)	 ELDH2244 2W	 ELDH2644 2W	 ELDH3044 2W	 ELDH3244 2W	 ELDH3444 2W	 ELDH 3644 2W	 ELDH 3844 2W	 ELDH 4244 2W
4-0 (1219) 4-0 1/4 (1226) 3-11 3/4 (1213)	 ELDH2248 2W	 ELDH2648 2W	 ELDH3048 2W	 ELDH3248 2W	 ELDH3448 2W	 ELDH 3648 2W	 ELDH 3848 2W	 ELDH 4248 2W
4-4 (1321) 4-4 1/4 (1327) 4-3 3/4 (1314)	 ELDH2252 2W	 ELDH2652 2W	 ELDH3052 2W	 ELDH3252 2W	 ELDH3452 2W	 ELDH 3652 2W	 ELDH 3852 2W	 ELDH 4252 2W
4-8 (1422) 4-8 1/4 (1429) 4-7 3/4 (1416)	 ELDH2256 2W	 ELDH2656 2W	 ELDH3056 2W	 ELDH3256 2W	 ELDH3456 2W	 ELDH 3656 2W	 ELDH 3856 2W	 ELDH 4256 2W
5-0 (1524) 5-0 1/4 (1530) 4-11 3/4 (1518)	 ELDH2260 2W	 ELDH2660 2W	 ELDH3060 2W	 ELDH3260 2W	 ELDH3460 2W	 ELDH 3660 2W E	 ELDH 3860 2W E	 ELDH 4260 2W E
5-4 (1626) 5-4 1/4 (1632) 5-3 3/4 (1619)	 ELDH2264 2W	 ELDH2664 2W	 ELDH3064 2W	 ELDH3264 2W	 ELDH3464 2W	 ELDH 3664 2W E	 ELDH 3864 2W E	 ELDH 4264 2W E
5-8 (1727) 5-8 1/4 (1734) 5-7 3/4 (1721)	 ELDH2268 2W	 ELDH2668 2W	 ELDH3068 2W	 ELDH3268 2W E	 ELDH3468 2W E	 ELDH 3668 2W E	 ELDH 3868 2W E	 ELDH 4268 2W E
6-0 (1829) 6-0 1/4 (1835) 5-11 3/4 (1822)	 ELDH2272 2W	 ELDH2672 2W	 ELDH3072 2W	 ELDH3272 2W E	 ELDH3472 2W E	 ELDH 3672 2W E	 ELDH 3872 2W E	 ELDH 4272 2W E
6-4 (1930) 6-4 1/4 (1937) 6-3 3/4 (1924)	 ELDH2276 2W	 ELDH2676 2W	 ELDH3076 2W E	 ELDH3276 2W E	 ELDH3476 2W E	 ELDH 3676 2W E	 ELDH 3876 2W E	 ELDH 4276 2W E

DOUBLE HUNG

2 Wide

MO (mm)	7-11 1/2 (2426)	8-11 1/2 (2731)
RO (mm)	8-0 (2438)	9-0 (2743)
FS (mm)	7-11 (2413)	8-11 (2718)
3-0 (914) 3-0 1/4 (921) 2-11 3/4 (908)	 ELDH4836 2W	 ELDH5436 2W
3-4 (1016) 3-4 1/4 (1022) 3-3 3/4 (1010)	 ELDH4840 2W	 ELDH5440 2W
3-8 (1176) 3-8 1/4 (1124) 3-7 3/4 (1111)	 ELDH4844 2W	 ELDH5444 2W
4-0 (1219) 4-0 1/4 (1226) 3-11 3/4 (1213)	 ELDH4848 2W	 ELDH5448 2W
4-4 (1321) 4-4 1/4 (1327) 4-3 3/4 (1314)	 ELDH4852 2W	 ELDH5452 2W
4-8 (1422) 4-8 1/4 (1429) 4-7 3/4 (1416)	 ELDH4856 2W	 ELDH5456 2W
5-0 (1524) 5-0 1/4 (1530) 4-11 3/4 (1518)	 ELDH4860 2W E	 ELDH5460 2W E
5-4 (1626) 5-4 1/4 (1632) 5-3 3/4 (1619)	 ELDH4864 2W E	 ELDH5464 2W E
5-8 (1727) 5-8 1/4 (1734) 5-7 3/4 (1721)	 ELDH4868 2W E	 ELDH5468 2W E
6-0 (1829) 6-0 1/4 (1835) 5-11 3/4 (1822)	 ELDH4872 2W E	 ELDH5472 2W E
6-4 (1930) 6-4 1/4 (1937) 6-3 3/4 (1924)	 ELDH4876 2W E	 ELDH5476 2W E

Details and Elevations not to scale.

Special sized units available within and outside of CN matrix. Please contact your Marvin dealer.

Minimum frame size: 17 1/2" x 27 3/4"

Maximum frame size: 53 1/2" x 83 3/4"

Optional Double Hung GBGs and SDLs are available in a standard Rectangular cut shown. Other available lite cuts shown on page 3.

When ordering 6 9/16" (167 mm) or 6 13/16" (173 mm) jambs, add 1/4" (6 mm) to width and 1/8" (3 mm) to height for Rough Opening, Frame Size and Masonry Opening.

E = These windows meet National Egress Codes for fire evacuation. Local codes may differ.

Available in equal, cottage, and reverse cottage sash configurations. Cottage and reverse cottage sash configurations are not available below CN 36 height and above CN 68 height.

For further details and drawings visit the 'Tools and Documents' section at Marvin.com.

MULTIPLE ASSEMBLIES

Multiple assemblies can be factory mullied.

MAXIMUM ROUGH OPENING not to exceed 113 1/2" x 76 1/4"

Maximum up to 5 units wide by 1 unit high.

MAXIMUM ROUGH OPENING not to exceed 84" x 92"

Maximum up to 3 units wide by 5 units high.

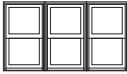
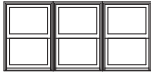
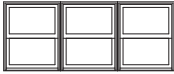
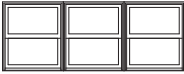
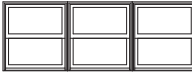
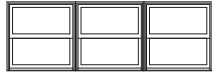











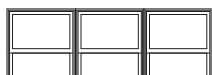
















































Field mull kits are available. Structural mullion reinforcement is required for some assemblies.

Please consult your local Marvin representative for more information.

DOUBLE HUNG

3 Wide

MO (mm)	5-5 (1651)	6-5 (1956)	7-5 (2261)	7-11 (2413)	8-5 (2565)	8-11 (2718)
RO (mm)	5-5 1/2 (1664)	6-5 1/2 (1969)	7-5 1/2 (2273)	7-11 1/2 (2426)	8-5 1/2 (2578)	8-11 1/2 (2731)
FS (mm)	5-4 1/2 (1638)	6-4 1/2 (1943)	7-4 1/2 (2248)	7-10 1/2 (2400)	8-4 1/2 (2553)	8-10 1/2 (2705)

3-0 (914) 3-0 1/4 (921)	 ELDH2236 3W	 ELDH2636 3W	 ELDH3036 3W	 ELDH3236 3W	 ELDH3436 3W	 ELDH3636 3W
3-4 (1016) 3-4 1/4 (1022) 3-3 3/4 (1010)	 ELDH2240 3W	 ELDH2640 3W	 ELDH3040 3W	 ELDH3240 3W	 ELDH3440 3W	 ELDH3640 3W
3-8 (1176) 3-8 1/4 (1124) 3-7 3/4 (1111)	 ELDH2244 3W	 ELDH2644 3W	 ELDH3044 3W	 ELDH3244 3W	 ELDH3444 3W	 ELDH3644 3W
4-0 (1219) 4-0 1/4 (1226) 3-11 3/4 (1213)	 ELDH2248 3W	 ELDH2648 3W	 ELDH3048 3W	 ELDH3248 3W	 ELDH3448 3W	 ELDH3648 3W
4-4 (1321) 4-4 1/4 (1327) 4-3 3/4 (1314)	 ELDH2252 3W	 ELDH2652 3W	 ELDH3052 3W	 ELDH3252 3W	 ELDH3452 3W	 ELDH3652 3W
4-8 (1422) 4-8 1/4 (1429) 4-7 3/4 (1416)	 ELDH2256 3W	 ELDH2656 3W	 ELDH3056 3W	 ELDH3256 3W	 ELDH3456 3W	 ELDH3656 3W
5-0 (1524) 5-0 1/4 (1530) 4-11 3/4 (1518)	 ELDH2260 3W	 ELDH2660 3W	 ELDH3060 3W	 ELDH3260 3W	 ELDH3460 3W	 ELDH3660 3W E
5-4 (1626) 5-4 1/4 (1632) 5-3 3/4 (1619)	 ELDH2264 3W	 ELDH2664 3W	 ELDH3064 3W	 ELDH3264 3W	 ELDH3464 3W	 ELDH3664 3W E
5-8 (1727) 5-8 1/4 (1734) 5-7 3/4 (1721)	 ELDH2268 3W	 ELDH2668 3W	 ELDH3068 3W	 ELDH3268 3W E	 ELDH3468 3W E	 ELDH3668 3W E
6-0 (1829) 6-0 1/4 (1835) 5-11 3/4 (1822)	 ELDH2272 3W	 ELDH2672 3W	 ELDH3072 3W	 ELDH3272 3W E	 ELDH3472 3W E	 ELDH3672 3W E
6-4 (1930) 6-4 1/4 (1937) 6-3 3/4 (1924)	 ELDH2276 3W	 ELDH2676 3W	 ELDH3076 3W E	 ELDH3276 3W E	 ELDH3476 3W E	 ELDH3676 3W E

DOUBLE HUNG

3 Wide and 4 Wide

MO (mm)	9-5 (2870)	7-2 1/2 (2197)	8-6 1/2 (2604)
RO (mm)	9-5 1/2 (2883)	7-3 (2210)	8-7 (2616)
FS (mm)	9-4 1/2 (2858)	7-2 (2184)	8-6 (2591)
3-0 (814) 3-0 1/4 (921) 2-11 3/4 (808)			
3-4 (1016) 3-4 1/4 (1022) 3-3 3/4 (1010)			
3-8 (1176) 3-8 1/4 (1124) 3-7 3/4 (1111)			
4-0 (1219) 4-0 1/4 (1226) 3-11 3/4 (1213)			
4-4 (1321) 4-4 1/4 (1327) 4-3 3/4 (1314)			
4-8 (1422) 4-8 1/4 (1429) 4-7 3/4 (1416)			
5-0 (1524) 5-0 1/4 (1530) 4-11 3/4 (1518)			
5-4 (1626) 5-4 1/4 (1632) 5-3 3/4 (1619)			
5-8 (1727) 5-8 1/4 (1734) 5-7 3/4 (1721)			
6-0 (1829) 6-0 1/4 (1835) 5-11 3/4 (1822)			
6-4 (1930) 6-4 1/4 (1937) 6-3 3/4 (1924)			

Details and Elevations not to scale.

Special sized units available within and outside of CN matrix. Please contact your Marvin dealer.

Minimum frame size: 17 1/2" x 27 3/4"

Maximum frame size: 53 1/2" x 83 3/4"

Optional Double Hung GBGs and SDLs are available in a standard Rectangular cut shown. Other available lite cuts shown on page 3.

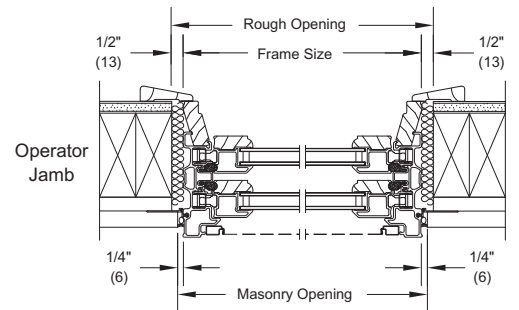
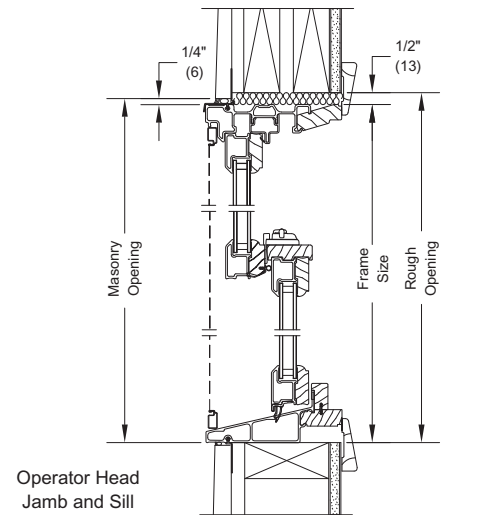
When ordering 6 9/16" (167 mm) or 6 13/16" (173 mm) jambs, add 1/4" (6 mm) to width and 1/8" (3 mm) to height for Rough Opening, Frame Size and Masonry Opening.

E = These windows meet National Egress Codes for fire evacuation. Local codes may differ.

Available in equal, cottage, and reverse cottage sash configurations. Cottage and reverse cottage sash configurations are not available below CN 36 height and above CN 68 height.

For further details and drawings visit the 'Tools and Documents' section at Marvin.com.

Construction Details



MULTIPLE ASSEMBLIES

Multiple assemblies can be factory mullied.

MAXIMUM ROUGH OPENING not to exceed 113 1/2" x 76 1/4" Maximum up to 5 units wide by 1 unit high.

MAXIMUM ROUGH OPENING not to exceed 84" x 92" Maximum up to 3 units wide by 5 units high.

Field mull kits are available. Structural mullion reinforcement is required for some assemblies.

Please consult your local Marvin representative for more information.

Manual "Fresh Air" Curb-Mounted Skylight

As a venting skylight, the Manual "Fresh Air" Curb-Mounted Skylight opens for maximum daylight and fresh air to contribute to your home's proper moisture balance and comfort level. Your installer will build a curb on the roof which holds the skylight and ensures leak-free protection from rain and snow. It can easily open and close with a control rod when installed out-of-reach or with a smooth turning handle for those installed within reach.

Ideal Applications:
In reach and that can greatly benefit from natural ventilation.



FEATURES & BENEFITS

- Easily open and close skylight by hand with a smooth turning handle for in-reach applications or a rod for out-of-reach ones
- Equipped with insect screen to prevent pests
- Seamlessly pairs with any VELUX solar shades for optimal light control — select shades can be pre-installed for free
- Flashing kit required for
- Eligible for Federal Solar Tax Credit* with the addition of Solar Shades

PRODUCT DETAILS

- **Laminated LoE3 Glass:** double-paned argon-gas-filled LoE3 glass that provides excellent energy performance for year round comfort. Plus, it includes the added safety of laminated glass, which building codes require for out-of-reach applications.
- - 10-year installation warranty, plus 20 years on glass, 10 years on product, and 5 years on shades and controls.
- Insect Screen
- 10 year hail with Clean, Quiet & Safe glass

OPTIONAL SKYLIGHT UPGRADES

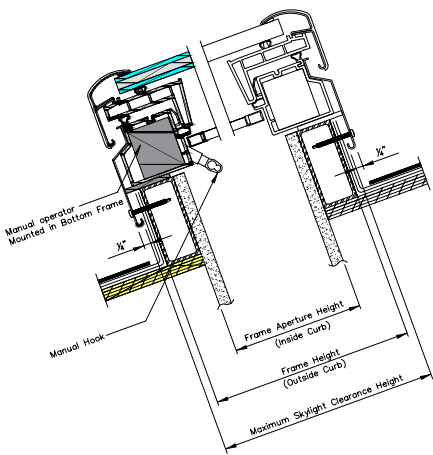
- Impact Glass
- Snowload Glass
- White Laminated Glass

ACCESSORIES

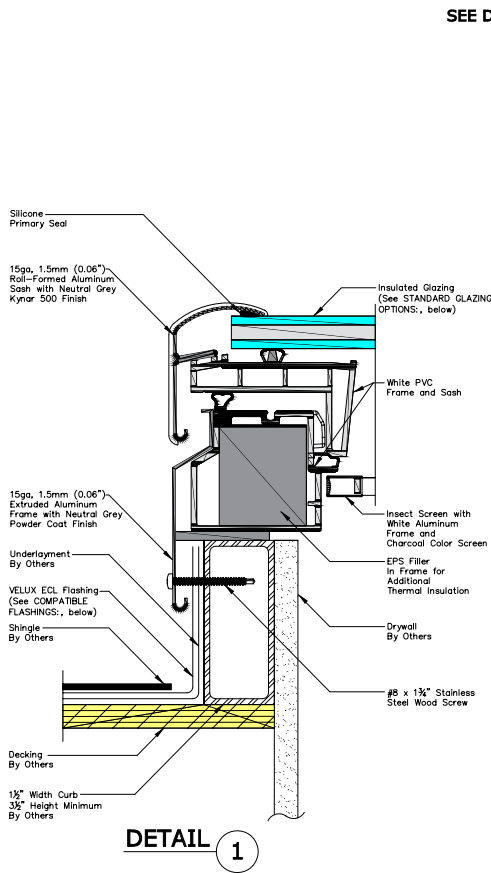
- Factory pre-installed Room-Darkening or Light Filtering shades
- Telescopic Rod 3'-6' or 6'-10'
- Crank Handle



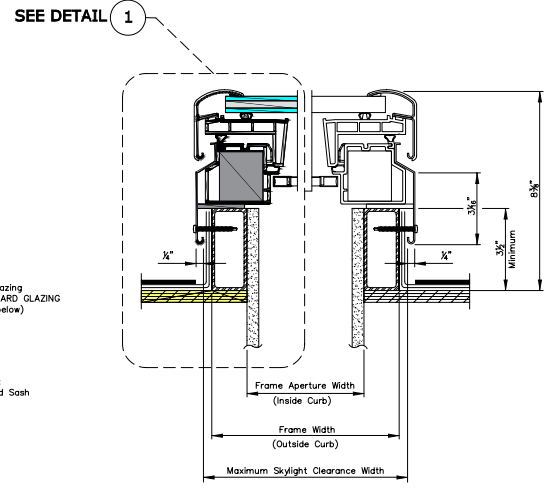
Manual "Fresh Air" Curb-Mounted Skylight



VERTICAL CROSS SECTION



DETAIL 1



HORIZONTAL CROSS SECTION

COMPLIANCE AND CERTIFICATIONS

- DBPR Florida
- IAPMO
- NFRC, National Fenestration Rating Council
- Energy Star
- WDMA, Window & Door Manufacturing Association

		2222	2234	2246	3030	3046	3434	4646
Frame Width	(W-in.)	25 1/2	25 1/2	25 1/2	33 1/2	33 1/2	37 1/2	49 1/2
Frame Height	(H-in.)	25 1/2	37 1/2	49 1/2	33 1/2	49 1/2	37 1/2	49 1/2
Daylight Area	(Sq. Feet)	2.58	4.20	5.92	5.27	8.29	6.89	13.13

STORM & SCREEN DOORS



**MAKE AN ENTRANCE —
STYLE, FUNCTION, DURABILITY**

THE ANDERSEN DIFFERENCE



QUALITY HARDWARE

Customize your storm door with a variety of hardware options. Select a finish and style that complements the look of your home.



SPLINELOC® INSECT SCREEN

Has 3X more holding strength than our standard insect screen and a minimal center mullion bar for maximum durability.*



QUICK CHANGE

Change from insect screen to full glass panel **in less than a minute** with a simple flip of the handle.



RETRACTABLE INSECT SCREEN

Enjoy convenient anytime ventilation with a retractable insect screen that rolls into the door frame and out of view when not in use.



SMOOTHCONTROL PLUS™ CLOSE SYSTEM

Our built-in dual close system is 50% stronger than standard dual closers.** It has an advanced two part operation for a smoother close motion and a more consistent latch.



REINFORCED CORNERS

Built-to-last† construction featuring reinforced metal corner brackets helps the door corners stay square over time for long-lasting smooth operation.



TIME-SAVING INSTALLATIONS

Andersen has taken the hassle out of installing a storm door. Install with confidence with our easy and convenient installation systems.

See page 16 for details.

A STYLE FOR EVERY HOME



FULLVIEW INTERCHANGEABLE

Let in the maximum amount of light and air while beautifully framing your entryway.

See pages 4-7.



FULLVIEW RETRACTABLE

Let in an abundance of light while benefiting from convenient, anytime ventilation without removing a glass panel.

See pages 8-11.



¾ LIGHT PANEL VENTILATING

Enhance your entryway with a classic look at an exceptional value with a solid, lower embossed panel.

See pages 12-14.



½ LIGHT PANEL VENTILATING

The ½ light panel offers traditional style with a solid, lower embossed panel.

See pages 12-14.



LUMINAIRE® RETRACTABLE SCREEN DOOR

SlideAway® insect screen system designed to disappear when not in use.

See page 15.

*Visit andersenwindows.com/warranty for details. For demonstration purposes only, do not do this at home.

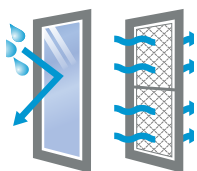
**Consistent complete door closure when compared to standard pneumatic dual closers.

† Visit andersenwindows.com/warranty for details.

10 SERIES FULLVIEW INTERCHANGEABLE

Ventilation

Our Innovative Quick Change System allows you to go from full ventilation with our SpineLoc® Insect Screen to full glass in less than a minute with a simple flip of the handle.



Carefully store the panel when not in use.

Operation

For advanced operation, this door includes our new SmoothControl Plus™ Close System. The built-in dual closer system allows for more consistent latching and a smoother close motion. It also has an easy-to-use hold-open feature and simple close speed adjustment.



- 50% stronger than standard dual closers*
- Commercial-grade steel closer arm
- More consistent latch
- Easy to use hold-open feature
- Simple close speed adjustment

*Consistent complete door closure when compared to standard pneumatic dual closers.



Security

Built-in keyed deadbolt for added security.

Choose laminated glass for added security. Doors with laminated glass include a 3-point lock built into the top, middle and bottom of the frame and shatter-resistant laminated glass.

Note: Doors with laminated glass are not compatible with an insect screen.

Glass Options

- Clear Glass
- Low-E Clear Glass
- Low-E Insulating Glass
- Laminated

Performance

Thick aluminum frame (1 1/2") with reinforced corners helps the door stay square over time for long-lasting smooth operation.

Premium double-layer weatherstrip provides added energy efficiency.

SmoothControl Plus™ close system performed better in wind durability testing.

Installation

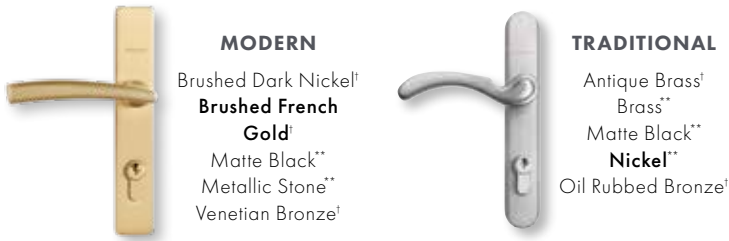


See page 16 for details.

COLOR OPTIONS



HARDWARE OPTIONS*



Bold name denotes finish shown.

HARDWARE FINISHES



10 Series Fullview Interchangeable: **10FV**

*Hardware sold separately.

**Nickel, matte black, metallic stone and brass handle sets feature TarnishGuard™, a protective coating that helps maintain their attractive finish for years.

†Antique brass, brushed dark nickel, brushed French gold, oil rubbed bronze and Venetian bronze are "living" finishes that can change with time and use.

Printing limitations prevent exact color and finish replication. See your Andersen supplier for actual finish samples.

10 SERIES FULLVIEW RETRACTABLE INSECT SCREEN

Ventilation

Easy one-handed retractable insect screen conveniently rolls into the frame when not in use. Vents from the top, offering unlimited glass positioning with the balanced retractable screen.



ONE-HANDED



Operation

For advanced operation, this door includes our new SmoothControl Plus™ Close System. The built-in dual closer system allows for more consistent latching and a smoother close motion. It also has an easy-to-use hold-open feature and simple close speed adjustment.

SMOOTH CONTROL+™



CLOSE SYSTEM

- 50% stronger than standard dual closers*
- Commercial-grade steel closer arm
- More consistent latch
- Easy to use hold-open feature
- Simple close speed adjustment

*Consistent complete door closure when compared to standard pneumatic dual closers.



Security

Built-in keyed deadbolt for added security.

Glass Options

- Clear Glass
- Low-E Clear Glass

Performance

Thick aluminum frame (1 1/2") with reinforced corners helps the door stay square over time for long-lasting smooth operation.

Premium double-layer weatherstrip provides added energy efficiency.

SmoothControl Plus™ close system performed better in wind durability testing.

Installation



See page 16 for details.

COLOR OPTIONS



HARDWARE OPTIONS*



Bold name denotes finish shown.

HARDWARE FINISHES



10 Series Fullview Retractable Insect Screen **10RS**

*Hardware sold separately.

**Nickel, matte black, metallic stone and brass handle sets feature TarnishGuard™, a protective coating that helps maintain their attractive finish for years.

†Antique brass, brushed dark nickel, brushed French gold, oil rubbed bronze and Venetian bronze are "living" finishes that can change with time and use.

Printing limitations prevent exact color and finish replication. See your Andersen supplier for actual finish samples.

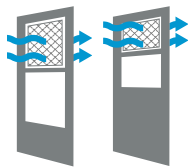
10 SERIES 3/4 & 1/2 LIGHT PANEL VENTILATING

Ventilation

Easy one-handed retractable insect screen that conveniently rolls into the frame when not in use. Vent from the top, offering unlimited glass and ventilation positioning.



ONE-HANDED



Performance

CoreDefense™ Panel System with easy-to-clean aluminum outer layer bonded to a moisture-resistant core for durability and weather protection.

Handle-side edge seal for additional weather protection with single-layer weatherstrip for energy efficiency.

Security

Built-in keyed deadbolt for added security.

Operation

Single Simple Step Closer easily holds the door open.



Installation

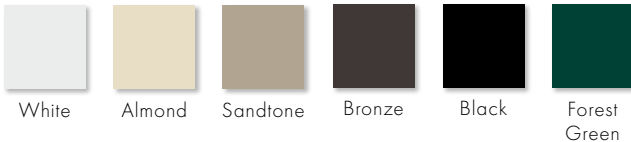


See page 16 for details.

Glass Options

- Clear Glass
- Clear Glass with Colonial Grilles

COLOR OPTIONS



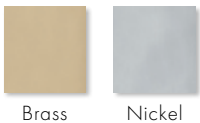
HARDWARE OPTIONS*



Brass
Nickel

Bold name denotes finish shown.

HARDWARE FINISHES



Brass
Nickel

Panel Styles

- 3/4 Light
- 1/2 Light

1/2 Light Pet Door Option



MODEL CODE: **10PRSP**

Available with an integrated 10 1/2" x 15" pet door in white with non-embossed panel

*Hardware included in the door package.

Printing limitations prevent exact color and finish replication. See your Andersen supplier for actual finish samples.



10 Series 3/4 Light: **10PRS**



10 Series 1/2 Light: **10PRSH**



INSTALLATION SYSTEMS

We're taking the hassle out of installing a storm door, so there's no second-guessing. Just a job well done the first time.

RAPID INSTALL 1

RAPID INSTALL 1

Our Rapid Install 1 door system is the easiest installation option available in the market today. It was designed with the DIY audience in mind. We prehang the door so there is no cutting, minimal drilling and virtually no measuring required. We cut the Z-bars to length, assemble them on the door and drill the handle holes so you don't have to. Simply take the door out of the package and set it in the opening. The entire install takes less than an hour.

RAPID INSTALL 2

RAPID INSTALL 2

Our Rapid Install 2 door system offers a universally handed option. It was designed with the DIY audience in mind. We provide an unassembled door with Z-bars cut to length to save time on the installation. The process takes less than two hours, and no cutting is required.*

PRO INSTALL P

PRO INSTALL

Our Pro Install door system was designed with the professional installer in mind. We provide an unassembled door with a Z-bar of 81" that can be cut to length. An adjustable U-channel sweep makes necessary adjustments easy once the door is installed. The handle holes are predrilled to save time on the job and our twist-to-lock hardware installation makes for a quality, easy install.



INSTALLATION BY DOOR TYPE

INSTALL TYPE	FULLVIEW INTERCHANGEABLE & FULLVIEW RETRACTABLE INSECT SCREEN			¾ LIGHT & ½ LIGHT PANEL VENTILATING		
	10 SERIES	8 SERIES	6 SERIES	10 SERIES	8 SERIES	6 SERIES
PRO INSTALL P	•	•				
RAPID INSTALL 1	•	•				
RAPID INSTALL 2			•	•	•	•

*Actual tools required will vary between storm door models. See installation guide for details.

MEASURING GUIDE

1 Check to ensure door opening and trim allow enough space for a storm door.

DIMENSION A:

Minimum 3/4" width flat trim surface required

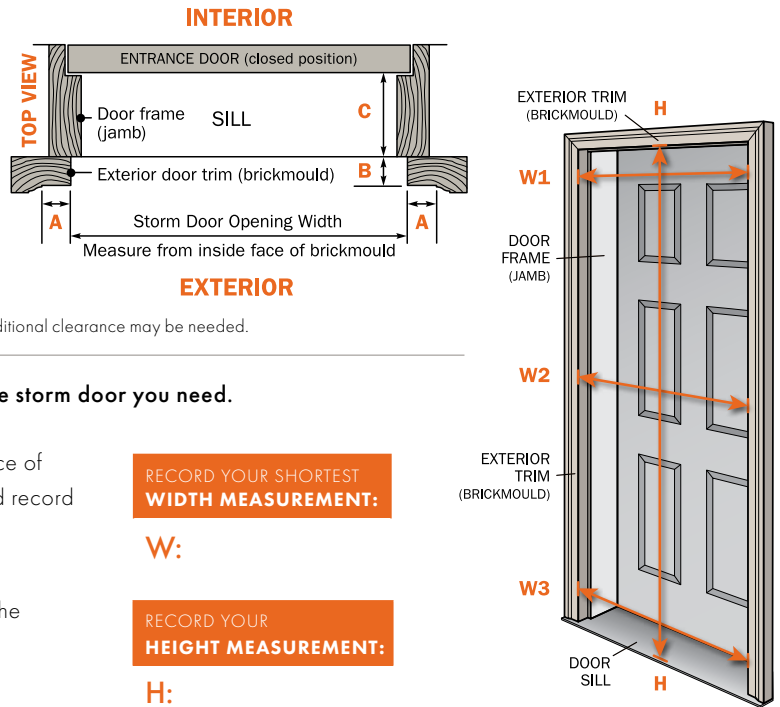
DIMENSION B:

Minimum 1" trim (brickmould) depth required

DIMENSION C:

Minimum of 2 1/2" door frame (jamb) depth required*

*Depending on the depth and location of your entry door handle set, additional clearance may be needed.



2 Measure door opening in order to determine the size storm door you need.

Measure the width of the door opening at the inside face of exterior trim on each side at top, center and bottom and record the shortest measurement.

(See measure points W1, W2 & W3 in the illustration at right)

Measure for the height from the sill to the underside of the brickmould at the top.

(See measure point H in the illustration at right)

RECORD YOUR SHORTEST WIDTH MEASUREMENT:

W:

RECORD YOUR HEIGHT MEASUREMENT:

H:

3 Determine the size you need based on the door opening measurements and the storm door model that is selected.

STANDARD DOOR SIZE WIDTH RANGES:	30"	32"	34"	36"	STANDARD DOOR SIZE HEIGHT RANGES:	80"
10FV, 10RS, 8FV and 8RS	29 7/8" to 30 3/8"	31 7/8" to 32 3/8"	33 7/8" to 34 3/8"	35 7/8" to 36 3/8"		80" to 80 7/8"
6FV, 6RS and all Panel Ventilating	29 7/8" to 30 3/8"	31 3/4" to 32 3/8"	33 3/4" to 34 3/8"	35 3/4" to 36 7/8"		80" to 81"

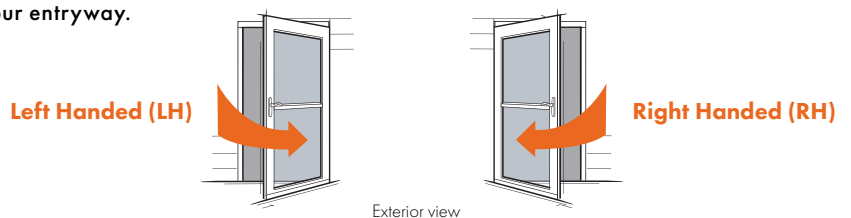
3a. Custom Size Availability

FULLVIEW			
SERIES	STYLE	CUSTOM	CUSTOM XL
10 SERIES	Interchangeable	•	•
	Retractable Screen	•	
8 SERIES	Interchangeable	•	•
	Retractable Screen	•	
6 SERIES	Interchangeable		
	Retractable Screen	•	
		WIDTH	HEIGHT
		27 7/8" to 38 3/8"	72" to 84 7/8"
		27" to 42"	72" to 96"

PANEL VENTILATING			
SERIES	STYLE	CUSTOM	CUSTOM XL
10 SERIES	3/4 Light	•	
	1/2 Light	•	
8 SERIES	3/4 Light	•	
	1/2 Light	•	
6 SERIES	3/4 Light		
	1/2 Light	•	•
		WIDTH	HEIGHT
		27 7/8" to 38 3/8"	75" to 84 7/8"
		38 1/2" to 42"	79" to 91"

• = Select models available in custom sizes or custom XL sizes

4 Choose the door handing that works best for your entryway.



FULLVIEW COMPARISON CHART

	FULLVIEW INTERCHANGEABLE			FULLVIEW RETRACTABLE		
FEATURES	10 SERIES	8 SERIES	6 SERIES	10 SERIES	8 SERIES	6 SERIES
Glass						
Clear	•	•	•	•	•	•
Low-E Clear	•	•	•	•	•	•
Insulating	•					
Low-E Insulating	•					
Laminated Safety Glass	•					
Decorative		•	•			
Colors						
8 Colors	•	•		•	•	
6 Colors			•			•
Handle Styles						
Modern	•	•		•	•	
Traditional	•	•		•	•	
Classic			•			•
Closer						
SmoothControl Plus™	•			•		
Dual Closers		•			•	
Simple Step Closer			•			•
Weatherstrip						
Double	•	•		•	•	
Single			•			•
Panel Thickness						
1 ½"	•	•		•	•	
1 ¼"			•			•
Locks						
Keyable Deadbolt	•	•	•	•	•	•
Installation						
Pro Install	•	•		•	•	
Rapid Install 1	•	•		•	•	
Rapid Install 2			•			•
Measurements						
Width	30", 32", 34", 36"	30", 32", 34"**, 36"***	30", 32", 34", 36"	30", 32", 34", 36"	30", 32", 34", 36"	30", 32", 34", 36"
Height	80"	80", 84"††	78"‡, 80"	80"	80"	78"‡, 80"
Custom	•†	•†		•†	•†	•
Custom XL	•†	•†				



Fullview Storm Doors Limited Warranty

Lifetime limited warranty that covers paint adhesion, hinges and frame with a 5-year limited warranty on most other components.

Visit andersenwindows.com/warranty for details.

*Available with clear and Low-E clear glass only.
 **Available with decorative glass in widths of 34" and 36" and a height of 80" only.
 †Available with clear glass and Rapid Install 1 only.
 ††Available in width of 36" in white with clear and Low-E clear glass only.
 ‡Available in widths of 32" and 36" in white only.

3/4 & 1/2 LIGHT COMPARISON CHART

FEATURES	3/4 LIGHT VENTILATING			1/2 LIGHT VENTILATING		
	10 SERIES	8 SERIES	6 SERIES	10 SERIES	8 SERIES	6 SERIES
Glass						
Clear Glass	●	●	●	●	●	●
Clear Glass with Colonial Grilles	●			●		
Colors						
6 Colors	●			●		
4 Colors		●			●	
2 Colors			●			●
Handle Styles						
Mortised Lever	●			●		
Surface Mount Lever		●			●	
Surface Mount Push Button			●			●
Closer						
Single Closer		●	●		●	●
Simple Step Closer	●			●		
Weatherstrip						
Single	●	●	●	●	●	●
Panel Thickness						
1"	●	●	●	●	●	●
Locks						
Keyable Deadbolt	●			●		
Interior Deadbolt		●			●	
Installation						
Rapid Install 2	●	●	●	●	●	●
Measurements						
Width	32", 34", 36"	30", 32", 34", 36"	30", 32", 34", 36"	32", 34", 36"	30", 32", 34", 36"	30", 32", 34", 36"
Height	80"	78", 80"	78", 80"	80"	78", 80"	80"
Custom	●	●		●	●	●
Custom XL						●



3/4 & 1/2 Light Storm Doors Limited Warranty

10-year limited warranty that covers paint adhesion, hinges and frame with a 1-year limited warranty on most other components. Visit andersenwindows.com/warranty for details.

*Available in widths of 30", 32" and 36" in white only.



Visit andersenwindows.com/stormdoors
to find the following helpful videos and resources:

- Design your storm door tool
- View how to measure for your storm door
 - Watch how to install a storm door
 - Installation instructions
- Replacement parts ordering information

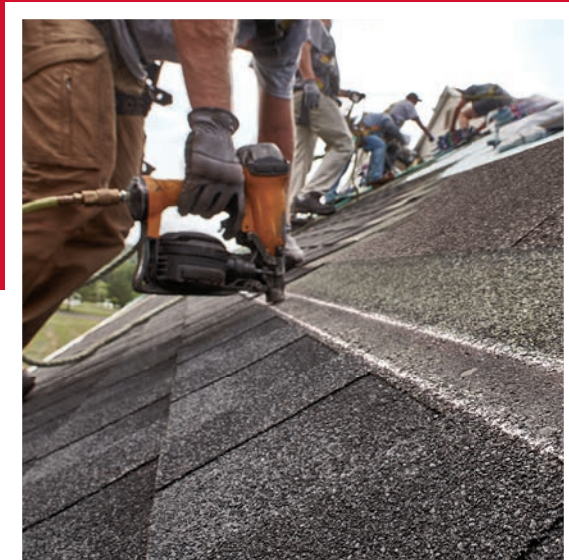
Or call us at 1-800-933-3626





America's #1-selling shingle just got better — again

Now featuring a 25-Year Limited Warranty against
blue-green algae discoloration*



Now with GAF Time-Release Algae-Fighting
Technology and LayerLock™ Technology,
Timberline HDZ[®] offers everything
you can expect from an architectural
shingle roof, and more.*

* See reverse for details

We protect what matters most™

GAF



Timberline HDZ[®] Shingles

Benefits:

- **LayerLock™ Technology** mechanically fuses the common bond between overlapping shingle layers.
- The added strength at the common bond powers the **StrikeZone™** — The industry's widest nailing area.
- **Up to 99.9% nailing accuracy** — The StrikeZone™ nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test.³
- **Up to 30% faster nail fastening** thanks to the industry's largest nail zone.³
- **Dura Grip™** sealant pairs with the smooth microgranule surface of the StrikeZone™ nailing area for fast tack. Then, an asphalt-to asphalt monolithic bond cures for durability, strength, and exceptional wind uplift performance.
- **WindProven™ Limited Wind Warranty²** — When installed with the required combination of GAF Accessories, Timberline HDZ[®] Shingles are eligible for an industry first: a wind warranty with no maximum wind speed limitation.
- **25-year StainGuard Plus™ Algae Protection Limited Warranty** against blue-green algae discoloration.¹ Proprietary GAF Time-Release Algae-Fighting Technology helps protect shingles from unsightly stains.

Installation:



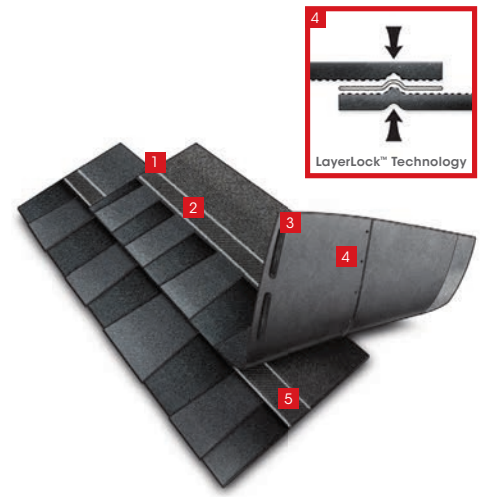
The StrikeZone™ Nailing Area

The industry's largest nailing area for up to 99.9% nail placement accuracy.²



LayerLock™ Technology

Proprietary technology mechanically fuses the common bond between overlapping shingle layers.



1. Alignment guide
2. StrikeZone™ Nailing Area
3. Dura Grip™ Adhesive
4. LayerLock™ Technology
5. Smooth microgranule surface



Visit gaf.com/TimberlineHDZ

¹ 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

² 15-year WindProven™ limited wind warranty on Timberline HDZ[®] Shingles requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products.

³ Results based on study conducted by Home Innovation Research Labs, an independent research lab, comparing installation of Timberline HD[®] Shingles to Timberline HDZ[®] Shingles on a 16-square roof deck using standard 4-nail nailing pattern under controlled laboratory conditions. Actual results may vary.

We protect what matters most™





TruDefinition®
DURATION®

Shingles with Patented SureNail® Technology
Tejas con tecnología patentada SureNail®



Driftwood!



DEEP DIMENSION OUTSTANDING PERFORMANCE

Duration® Shingles offer:

- The high-performance of SureNail® Technology
- A TruDefinition® Color Platform
- A Limited Lifetime Warranty*† for as long as you own your home
- The protection of a 130-MPH* wind warranty
- StreakGuard® Protection with a 25-year Algae Resistance Limited Warranty^{3/8}
- Rated Class 3 for Impact Resistance⁶ and may qualify for a homeowner insurance discount⁷

UNA NUEVA DIMENSIÓN DESEMPEÑO SOBRESALIENTE

Las tejas Duration® ofrecen:

- El gran desempeño de la tecnología SureNail®
- La gama de colores TruDefinition®
- Una garantía limitada de por vida*† mientras sea propietario de la vivienda
- La protección de una garantía contra vientos de hasta 210 km/h (130 mph)*
- Protección StreakGuard® con una garantía limitada de 25 años de resistencia a las algas ^{3/8}
- Clasificación nominal 3 para resistencia a los impactos⁶ y puede ser aplicable a descuento por seguro del propietario⁷



Don't let black streaks lower the value or curb appeal of your home.

Owens Corning blends specialized copper-lined granules, developed by 3M, a leading producer of roofing granules, into our colorful shingles. This helps resist blue-green algae growth.

No deje que las manchas de algas afecten al valor o aspecto de su vivienda.

En sus coloridas tejas, Owens Corning añade gránulos especiales con recubrimiento de cobre, desarrollados por 3M, un productor líder de gránulos para techos. Esto ayuda a prevenir la proliferación de algas azul-verdosas.



THE FINISHING TOUCH

OWENS CORNING® HIP & RIDGE SHINGLES

Owens Corning® Hip & Ridge Shingles are uniquely color matched to TruDefinition® Duration® Shingles. The multiple color blends are only available from Owens Corning Roofing and offer a finished look for the roof.

EL TOQUE FINAL

TEJAS DE LIMATESA Y CUMBRERA DE OWENS CORNING®

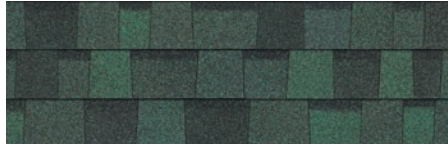
Las tejas de limatesa y cumbrera de Owens Corning® se ofrecen en una exclusiva gama de colores para combinar con las tejas Duration® TruDefinition®. Esta gran variedad de combinaciones de colores es una exclusividad de Owens Corning Roofing para lograr techos con un acabado único.

TruDefinition®
DURATION®

Shingles with Patented SureNail® Technology | Tejas con tecnología patentada SureNail®



Brownwood¹



Chateau Green¹



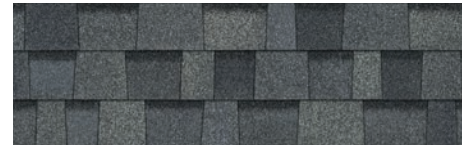
Colonial Slate¹



Desert Rose¹



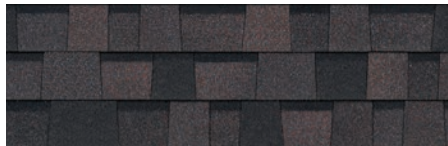
Driftwood¹



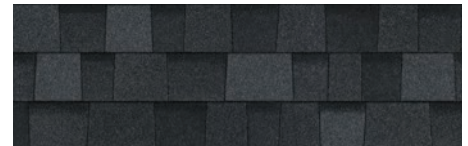
Estate Gray¹



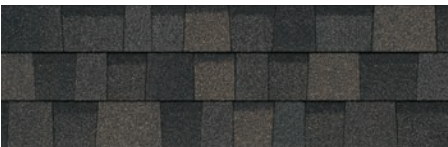
Harbor Blue¹



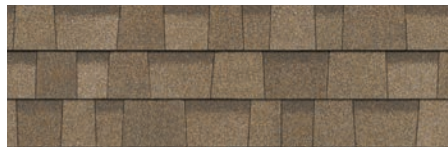
Midnight Plum^{1/5}



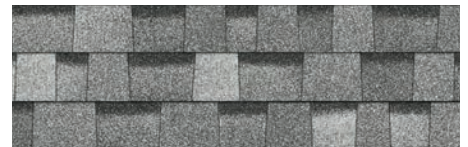
Onyx Black¹



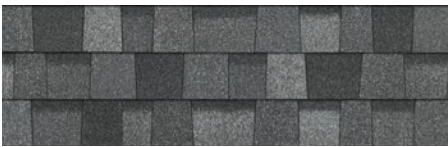
Peppercorn¹



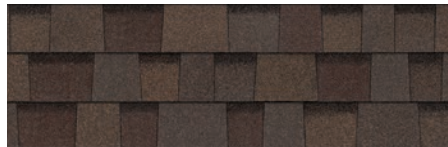
Sand Castle¹



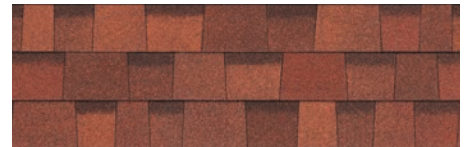
Sierra Gray¹



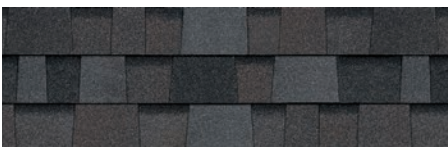
Slatestone Gray¹



Teak¹



Terra Cotta¹



Williamsburg Gray¹

COLOR DISCLAIMER

As color experts, we know getting the shingle color right is a big part of any roofing purchase. Due to printing color variations, in addition to viewing shingle literature, we suggest you request an actual shingle sample to see how it will appear on your home and with your home's exterior elements in various natural lighting conditions. Lastly, we recommend you verify your color choice by seeing it installed on an actual home; your roofing contractor or supplier can provide a sample and may be able to direct you to a local installation.

DESCARGO DE RESPONSABILIDAD SOBRE LOS COLORES

En tanto que especialistas en color, sabemos que obtener el color de teja perfecto es una parte importante en toda compra de techos. Debido a las variaciones en los colores impresos, además de mirar folletos de tejas, le sugerimos que solicite una muestra de la teja para ver como se verá en su hogar y con los elementos externos de la vivienda bajo distintas condiciones de luz natural. Finalmente, le recomendamos que para verificar su elección de colores, vea cómo lucen las tejas ya instaladas en una vivienda; su contratista de techos o su proveedor le pueden dar una muestra e incluso indicarle dónde ver un techo ya instalado.

THERE'S A LINE BETWEEN A GOOD SHINGLE AND A GREAT SHINGLE.®

It's the nailing line on your shingles. The difference between a good shingle and a great shingle is having Patented SureNail® Technology, only from Owens Corning.

HAY UNA GRAN DIFERENCIA ENTRE UNA BUENA TEJA Y UNA TEJA EXCELENTE™

Es la línea de clavado en su tejas. La diferencia entre una buena teja y una teja excelente es la tecnología patentada SureNail®, una exclusividad de Owens Corning.

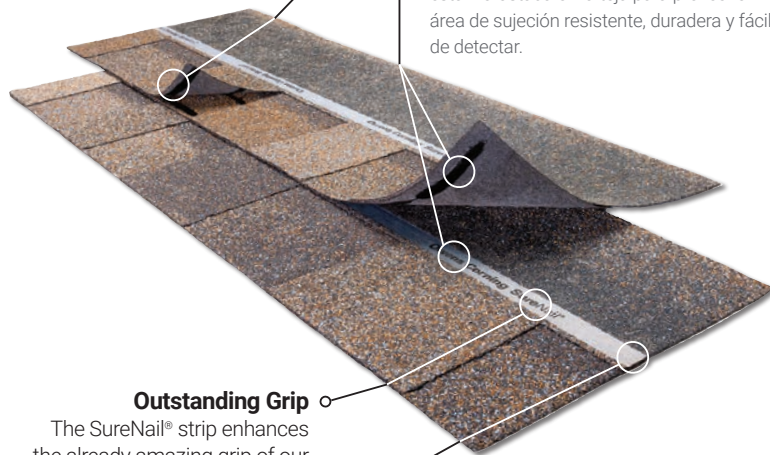


Excellent Adhesive Power

Helps keep the shingle layers laminated.

Excelente poder adhesivo

Ayuda a conservar el laminado de las capas de las tejas.



Outstanding Grip

The SureNail® strip enhances the already amazing grip of our proprietary Tru-Bond®** sealant for exceptional wind resistance of a 130-MPH wind warranty.

Agarre excepcional

La banda SureNail® mejora el excelente agarre de nuestro sellador patentado Tru-Bond®** con una garantía de resistencia al viento excepcional de 210 km/h (130 mph).

Breakthrough Design

Patented SureNail® Technology is the first and only reinforced nailing zone on the face of the shingle.

Diseño innovador

La tecnología patentada SureNail® es la primera y la única que provee un área de clavado reforzada en la cara de la teja.

"No Guess" Wide Nailing Zone

This tough, engineered woven-fabric strip is embedded in the shingle to create an easy-to-see, strong, durable fastener zone.

Área de clavado ancha, sin cálculos "a ojo"

Esta banda resistente de tela mecánica tejida está incrustada en la teja para proveer un área de sujeción resistente, duradera y fácil de detectar.

Triple Layer Protection®*

A unique "triple layer" of reinforcement occurs when the fabric overlays the two shingle layers, providing increased protection against "nail pull" from the wind.

Triple Layer Protection®*

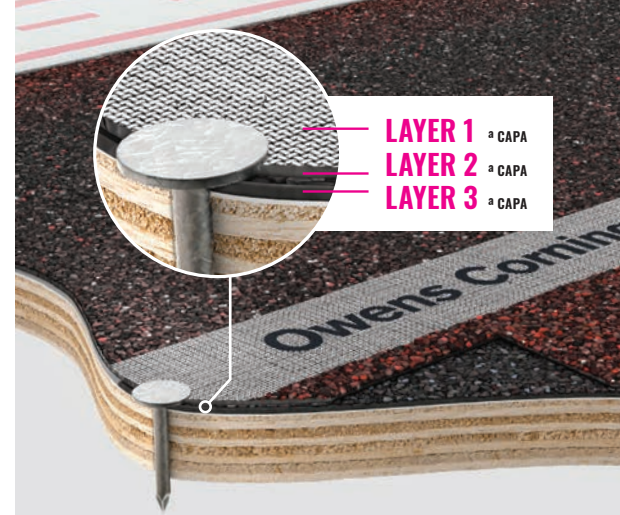
Cuando la tela cubre las dos capas de la teja, se forma una "triple capa" de refuerzo excepcional que ofrece una mayor protección ante el "arranque de clavos" debido al viento.

Double the Common Bond

SureNail® features up to a 200% wider bond between the shingle layers in the nailing zone over standard shingles.

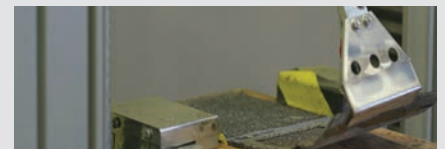
Duplica la adherencia común

En comparación con las tejas comunes, SureNail® ofrece un área de unión hasta un 200 % más ancha entre las capas de la teja en el área de clavado.



THE PROOF IS IN THE PERFORMANCE

LA PRUEBA ESTÁ EN EL DESEMPEÑO



Up to
2.5X
BETTER
NAIL PULL-THROUGH RESISTANCE

Hasta
2.5X
MEJOR
RESISTENCIA A LA TRACCIÓN DE LOS CLAVOS



Up to
9X
BETTER
NAIL BLOW-THROUGH RESISTANCE

Hasta
9X
MEJOR
RESISTENCIA AL DESPRENDIMIENTO DE LOS CLAVOS



Up to
2X
BETTER
DELAMINATION RESISTANCE

Hasta
2X
MEJOR
RESISTENCIA A LA DELAMINACIÓN



TOTAL PROTECTION SIMPLIFIED®

It takes more than just shingles to protect a home. It takes an integrated system of components and layers designed to perform in three critical areas. The Owens Corning® Total Protection Roofing System® gives you the assurance that all of your Owens Corning roofing components are working together to help increase the performance of your roof.

PROTECCIÓN TOTAL SIMPLIFICADA®

Se necesita más que simplemente tejas para proteger su vivienda. Se necesita un sistema integral de componentes y capas diseñadas para desempeñarse en tres áreas críticas. El Total Protection Roofing System® de Owens Corning® le garantiza que todos sus componentes para cubiertas de Owens Corning funcionan en conjunto para mejorar el desempeño de su techo.

SEAL. SELLAR.

Helps create a waterproof barrier

Ayuda a crear una barrera impermeable

DEFEND. DEFENDER.

Helps protect against nature's elements

Protege contra los elementos climáticos

BREATHE. RESPIRAR.

For balanced attic ventilation

Para una ventilación equilibrada del ático

Hip & Ridge shingles
Tejas de limatesa y cumbre

Laminate shingles
Tejas laminadas

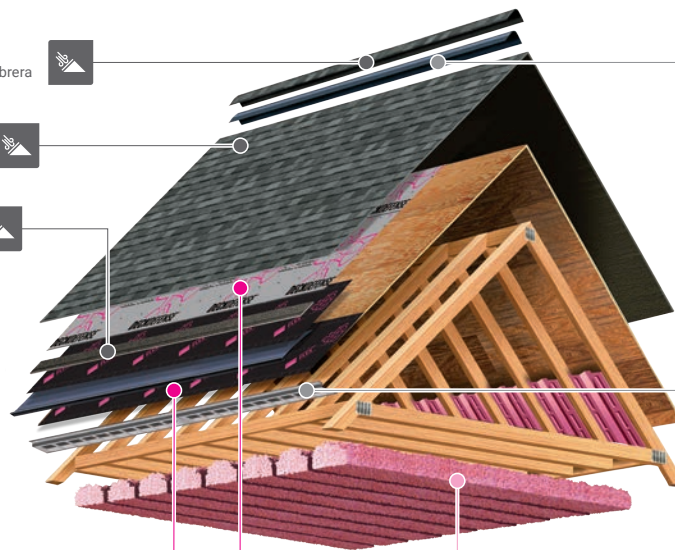
Starter shingles
Tejas de arranque

Self-adhered ice & water barrier
Barrera autoadhesiva contra el hielo y el agua

Synthetic underlayment
Membrana impermeabilizante sintética

Exhaust vents
Salidas de aire

Intake vents
Entradas de aire



+ COMFORT. CONFORT.

Add comfort and energy performance
Más confort y desempeño energético

PINK® Fiberglas™ blown-in attic insulation
Aislamiento para áticos PINK® Fiberglas™ aplicado por impulsión

REGISTER YOUR WARRANTY

Registering your Owens Corning® warranty ensures it's easily referenced should you ever need to access it. The process is easy—just have your installation date, shingle type, shingle color and number of squares ready. Then go online to www.owenscorning.com/roofingstandardwarranty or call 1-800-ROOFING (1-800-766-3464) to finish the process.



REGISTRE SU GARANTÍA

Al registrar su garantía de Owens Corning® la podrá consultar rápidamente si fuera necesario acceder a ella. El proceso es simple: tenga a mano la fecha de instalación, el tipo y color de tejas y la cantidad de cuadrados. Luego, visite www.owenscorning.com/roofingstandardwarranty o llame al 1-800-ROOFING (1-800-766-3464) para completar el proceso.



SCAN TO REGISTER YOUR WARRANTY

Escanee para registrar su garantía

Product Attributes

Warranty Length*

Limited Lifetime†
(for as long as you own your home)

Wind Resistance Limited Warranty*

130-MPH

Algae Resistance Limited Warranty*[‡]/_§

25 Years

TRU PROtection® Non-Prorated Limited Warranty* Period

10 Years



TruDefinition® Duration® Shingles Product Specifications

Size	13¼" x 39¾"
Application Exposure	5% [‡]
Shingles per Bundle	Not less than 20
Average Shingle Count per 3 Bundles	64
Average Coverage per 3 Bundles	98.4 sq. ft.

Applicable Standards and Codes

ASTM D3462

ASTM D228

ASTM D3018 (Type 1)

ICC-ES AC438[‡]

ASTM D3161 (Class F Wind Resistance)

ASTM D7158 (Class H Wind Resistance)

ASTM E108/UL 790 (Class A Fire Resistance)

UL 2218 (Class 3 Impact Resistance)[‡]

FM 4473 (Class 3 Impact Resistance)[‡]

PRI ER 1378E01

Florida Product Approval

Miami-Dade County Product Approval[‡]

Características del producto

Período de garantía*

Garantía limitada de por vida†
(mientras sea propietario de la vivienda)

Garantía limitada de resistencia al viento*

210 km/h (130 mph)

Garantía limitada de resistencia a las algas*[‡]/_§

25 años

Período no prorrateado de garantía limitada TRU PROtection®

10 años



Especificaciones de las tejas Duration® TruDefinition®

Tamaño	33.65 × 100 cm (13¼ × 39¾ pulg)
Exposición de aplicación	14.3 cm (5% pulg)
Tejas por paquete	20 como mínimo
Cantidad promedio de tejas por 3 paquetes	64
Cobertura promedio por 3 paquetes	9.14 m ² (98.4 pies ²)

Normas y códigos pertinentes

ASTM D3462

ASTM D228

ASTM D3018 (Tipo 1)

ICC-ES AC438[‡]

ASTM D3161 (Resistencia al viento, Clase F)

ASTM D7158 (Resistencia al viento Clase H)

ASTM E108/UL 790 (Resistencia al fuego Clase A)

UL 2218 (Resistencia a impactos de clase 3)[‡]

FM 4473 (Resistencia a impactos de clase 3)[‡]

PRI ER 1378E01

Aprobación del producto en el estado de Florida

Producto aprobado por el condado de Miami-Dade[‡]

* See actual warranty for complete details, limitations and requirements.

† 40-Year Limited Warranty on commercial projects.

‡ Owens Corning testing against competing products with wide, single-layer nailing zones when following manufacturers' installation instructions and nailing in the middle of the allowable nailing zone.

** Tru-Bond® is a proprietary premium weathering-grade asphalt sealant that is blended by Owens Corning Roofing® and Asphalt, LLC.

+ The amount of Triple Layer Protection® may vary on shingle-to-shingle basis.

International Code Council Evaluation Services Acceptance Criteria for Alternative Asphalt Shingles.

^ Excludes non-Owens Corning® roofing products such as flashing, fasteners, pipe boots and wood decking.

1 See Color Disclaimer information on page 3 for additional details.

2 Applies to all areas that recognize Miami-Dade Notice of Acceptance (NOA).

3 Shingles are algae resistant to control the growth of algae and discoloration.

§ Installation must include use of an Owens Corning® Hip & Ridge product. See actual warranty for details.

5 Owens Corning® Bourbon and Midnight Plum shingles include a patent pending design.

6 Qualifying Owens Corning Hip & Ridge Shingles may be required to complete a UL 2218 and/or FM 4473 Class 3 Impact-Resistant Roof System. Due to the variability in real storm conditions, a Class Rating on any product does not guarantee that it will withstand damage from hailstorms or other acts of God. Owens Corning shingles are not covered under a warranty for hail damage.

7 Homeowners should check with their insurance company to see if they qualify.

SureNail® Technology is not a guarantee of performance in all weather conditions.

For patent information, please visit owenscorning.com/patents.

* Consulte la garantía para obtener una lista completa de detalles, limitaciones y requisitos.

† Garantía limitada de 40 años para proyectos comerciales.

‡ Ensayos comparativos de Owens Corning con productos de la competencia con zonas de clavado ancho de una sola capa cuando se siguen las instrucciones de instalación del fabricante y se clava en el medio de la zona de clavado permitida.

** Tru-Bond® es un sellador asfáltico patentado de calidad premium formulado por Owens Corning Roofing® and Asphalt, LLC.

+ La cantidad de Triple Layer Protection® puede variar entre una teja y otra.

Criterios de aceptación de los servicios de evaluación del Consejo Internacional de Códigos para tejas asfálticas alternativas.

^ Se excluyen productos para techos no fabricados por Owens Corning®, como tapajuntas, sujetadores, bases de tubos y estructuras de soporte de madera.

1 Para obtener más información, consulte el Descargo de responsabilidad sobre los colores, en la página 3.

2 Aplicable a todas las zonas que reconocen el Aviso de aceptación (NOA, Notice of Acceptance) del condado de Miami Dade.

3 Las tejas son resistentes a las algas para controlar su desarrollo y la decoloración.

§ La instalación debe incluir el uso de un producto para limatesa y cumbre de Owens Corning®.

5 Las tejas de Owens Corning® Bourbon y Midnight Plum incluye un diseño con patente pendiente.

6 Es posible que se requiera el uso de tejas aptas para limatesa y cumbre de Owens Corning para completar un sistema de techo resistente a impactos UL 2218 y/o FM 4473 Clase 3. Debido a la variación de las condiciones de tormenta real, una calificación de clase en cualquier producto no garantiza que soportará daños por tormentas de granizo u otros casos fortuitos. Las tejas de Owens Corning no están cubiertas por una garantía por daños de granizo.

7 Los propietarios deben verificar con su aseguradora para saber si califican.

La tecnología SureNail® no es una garantía de desempeño en todos los tipos de condiciones climáticas.

Para información sobre la patente, visite www.owenscorning.com/patents.



OWENS CORNING ROOFING AND ASPHALT, LLC
ONE OWENS CORNING PARKWAY
TOLEDO, OH 43659 USA

1-800-GET-PINK® | 1-800-438-7465
www.owenscorning.com

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(Kearny)

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APPROVED FIBER CEMENT SUBSTITUTE FOR WOOD SIDING IN HISTORIC DISTRICTS



Historic Preservation Guidelines for Substitute Materials



The National Park Service and Secretary of the Interior through Preservation Brief 16 (revised as of *September 2023*), allow for the use of fiber cement as a substitute material on properties designated as historic and buildings in historic districts in the following circumstances:

1. Unavailability of historic materials
2. Unavailability of skilled artisans or historic craft techniques
3. Inadequate durability of original materials
4. Replacing of a secondary feature
5. New additions
6. Reconstruction of missing feature
7. Code-required performance (fire code as an example)
8. Enhanced resiliency and sustainability
9. Affordability
10. Maintenance costs, including life cycle expenses



Fiber Cement Meets Criteria for Substitute Materials vs. Wood Siding



In September 2023, the National Park Service updated 1980s-era Preservation Brief 16: The Use of Substitute Materials on Historic Building Exteriors, to better assist preservation professionals evaluating the approval of substitute materials.

Updated Brief 16 provides useful criteria for approving building materials as substitute materials in the context of practical historic preservation, disaster resiliency, climate change, and housing affordability.

Hardie® fiber cement siding and trim meet the criteria in Preservation Brief 16 as an approved substitute material, offering a durable, resilient and affordable product for your preservation project.

Preservation Brief 16 criteria	Hardie® Fiber Cement Cladding
Appearance	<ul style="list-style-type: none">• Matches most wood siding and trim profiles• Smooth and woodgrain textures• 15-year warranty ColorPlus® Technology factory finish or factory primed for custom painting
Affordability	<ul style="list-style-type: none">• Best value vs. wood• Potential reduced insurance premiums• Lower maintenance costs
Installation/ Artisan Skills	<ul style="list-style-type: none">• Same installation skills as wood siding
Material Durability	<ul style="list-style-type: none">• Engineered for Climate® to better resist warping, swelling and cracking from moisture• Will not be damaged by insects or rot• Noncombustible* - will not burn or spread fire• 30-year non-prorated product warranty
Code Compliance	Meets requirements for: <ul style="list-style-type: none">• Florida High Velocity Hurricane Zones• California State Fire Marshall - Wildland Urban Interface Zones
Resiliency & Sustainability	<ul style="list-style-type: none">• FEMA Class 5 - High flood damage resistant• HUD recommends fiber cement cladding for upgrading home resiliency vs. fire, flood and storm damage• Lower embodied carbon than engineered wood siding

*Hardie® fiber cement products are non-combustible and have a Class A fire rating when tested in accordance with ASTM E84.

Local Historic Districts Accept Fiber Cement



Locality	Renovation	New construction
Chicago. IL	Yes	Yes
New York City, NY	Yes	Yes
Charlotte, NC	Yes	Yes
Memphis, TN	Rear elevations	Rear elevations
Jacksonville, FL	Rear Elevations	Rear Elevations
Austin , TX	Yes	Yes
Charleston, SC	Yes	Yes

- ✓ On restoring historic buildings with fiber cement in historic district in **Medfield, MA:** <https://youtu.be/H5s3HFL5gsw>
- ✓ On using alternative materials in Historic Districts by **Columbus, OH:** “...*cementitious siding has been widely adopted and accepted in historic districts for new infill and outbuilding construction. If a property’s original wood siding has deteriorated some cities allow the installation of this material on primary elevations.*”¹

¹[Alternative Materials and Their Use in Historic Districts Prepared for the Historic Preservation Office City of Columbus, Ohio Planning Division](#)

Thomason and Associates, Preservation Planners , Nashville, Tennessee
www.thomasonandassociates.com

Case Study: Washington D.C.

Washington, DC Historic District Approves Fiber Cement Siding



Historic District in Washington, D.C. approved installation of fiber cement siding as a substitute for wood due to:

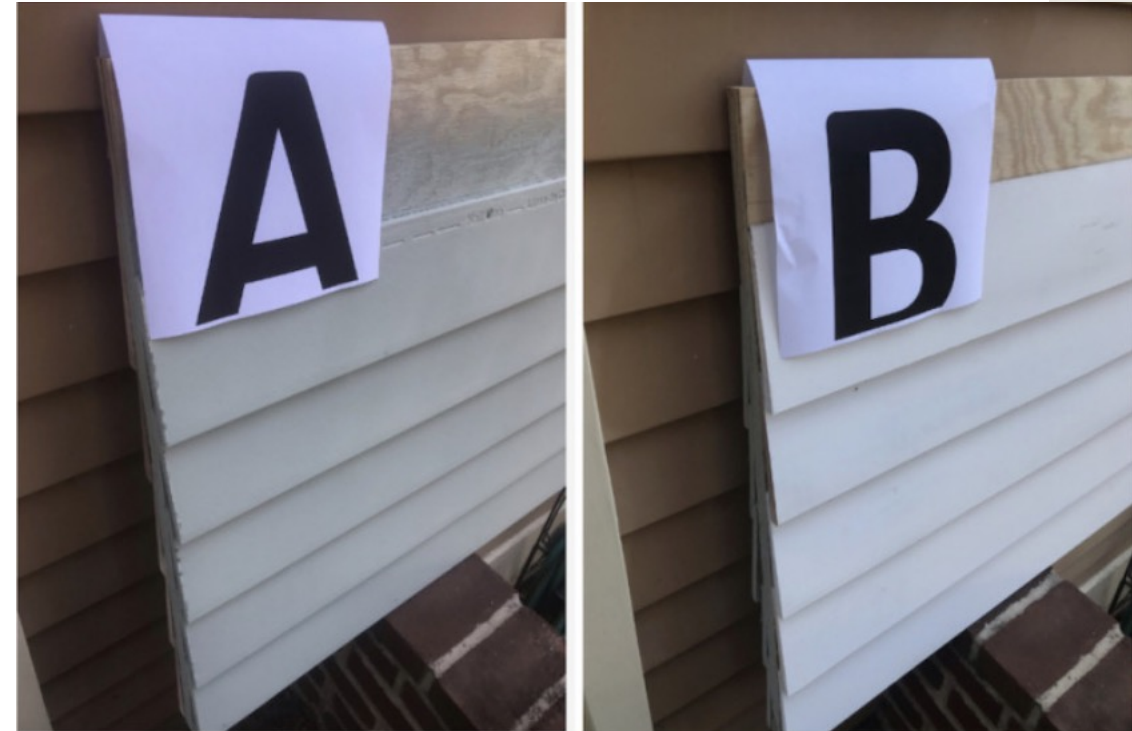
- ✓ **Aesthetics** – “only a “highly trained eye” could spot the difference between fiber cement and wood”
- ✓ **Durability and resiliency** of fiber cement compared to wood
- ✓ **Affordability** of fiber cement versus wood
- ✓ **Neighborhood support** - installation of fiber cement on other homes in neighborhood and support from neighbors and neighborhood associations



Aesthetics – Approval of Fiber Cement v. Wood JamesHardie™

Hardie® siding is chosen by homeowners as a replacement for wood due to its aesthetics and looks

- ✓ Only a highly trained eye can spot the difference between Hardie and wood (A/B comparison image)
- ✓ The contractor presented two models comparing conforming wood siding with Hardie siding painted with the same paint. The Hearing Officer could **perceive no difference in appearance between the wood and Hardie siding.** The Applicants' witnesses also testified that no difference could be perceived from the public way.
- ✓ A representative of Hardie testified about the increasing acceptance of the product by numerous other historic jurisdictions including the Park Service and the DC Commission on Fine Arts.



Conclusion – Precedent for Fiber Cement Installation in Historic Districts



- 1. NPS Preservation Brief 16 allows for installation of fiber cement siding in substitute for original siding materials.** The revised brief allows for consideration of factors that favor fiber cement – affordability, durability, resiliency, aesthetics and sustainability.
- 2. Local precedent in historic districts that allow for installation of fiber cement siding in substitute for original siding materials** for reasons that include durability, aesthetics, affordability, resiliency and sustainability.
- 3. Fiber cement siding is identical or superior to wood and original materials in aesthetics, durability, resiliency and affordability.**
 - *Note: “Hardie® siding is designed to look like wood, particularly when painted. It has significant advantages over wood: it is far more durable (with a 30-year warranty), is more water-resistant, is noncombustible, and is much, much cheaper. Wood, as it happens, is no longer your parents’ wood.”*

- In the Matter of 528 4th Street, SE, HPA No. 22-145, November 4, 2022, page 4

Historic Preservation Point to Projects

- [VIDEO] [James Ord Block - Medfield, MA](#)
- [BLOG] [James Ord Block – Medfield, MA](#)
- [VIDEO] [Mueller Homes – Baltimore, MD](#)
- [BLOG] [Mueller Homes – Baltimore, MD](#)
- [BLOG] [Old House Renovation – Batavia, IL](#)
- [VIDEO] [Holly Williams Farmhouse – Nashville, TN](#)
- [BLOG] [Holly Williams Farmhouse – Nashville, TN](#)

Questions?

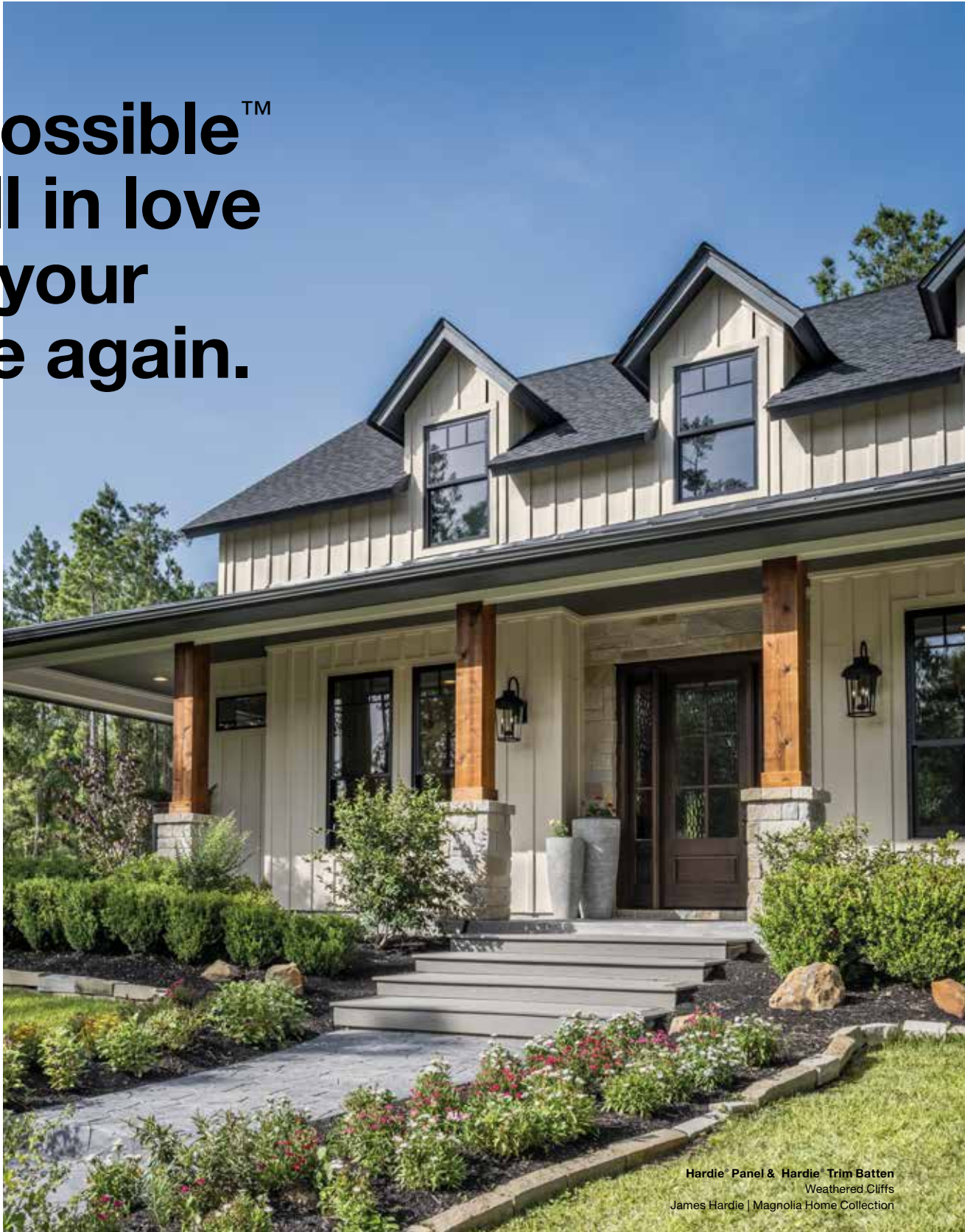


If you have any issues or questions related to historic districts, please contact Mackenzie Smith Ledet.

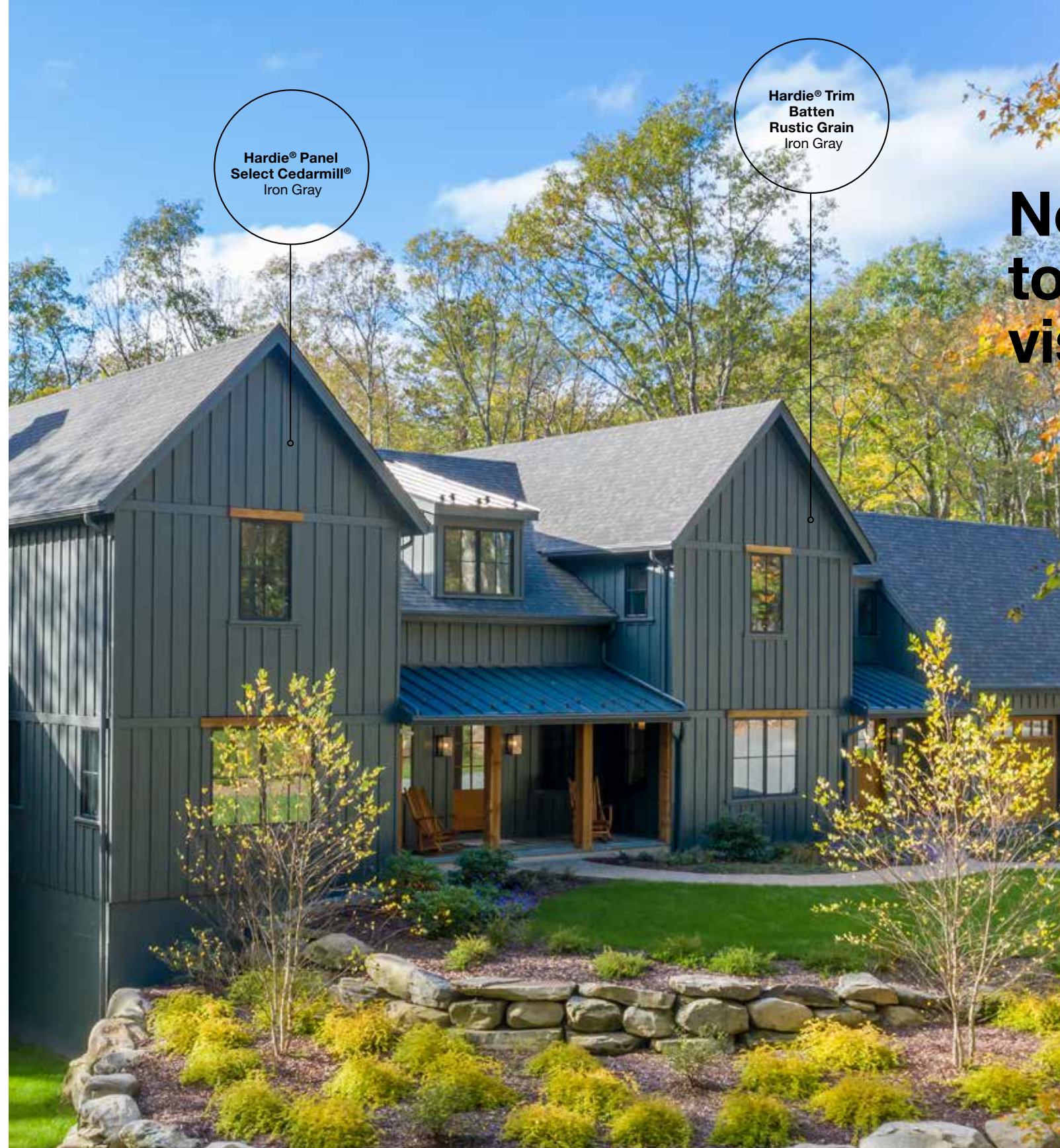
Mackenzie.SmithLedet@jameshardie.com

It's Possible™ to fall in love with your home again.

New England Product Catalog



Hardie® Panel & Hardie® Trim Batten
Weathered Cliffs
James Hardie | Magnolia Home Collection



Now is the time to bring your vision to life.

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With endless design possibilities that embody your aesthetic, no matter how unique, Hardie® fiber cement exterior solutions give your home a beautiful design without having to sacrifice durability and protection. Trusted by homeowners on over 10 million homes* from coast to coast, and rated the #1 brand of siding in North America, it's clear that the vast product offerings from James Hardie can make the home you've always wanted possible. **Revel in the beauty of your home's gorgeous exterior with the unprecedented peace of mind that only Hardie® products can provide.** With James Hardie, your dream home is possible.

ENDLESS DESIGN POSSIBILITIES

With a wide variety of colors, products and textures, you can create the personalized home exterior design that reflects your unique style – and that you'll love for years to come.

TRUSTED PROTECTION

Hardie® fiber cement products resist fire, moisture and extreme weather, and hold no appeal for pests. All to help protect your home, and everything you cherish.

LONG-LASTING BEAUTY

Enjoy the peace of mind that comes with a low-maintenance exterior, backed by a 30-year non-prorated substrate warranty.**

*Estimate based on total James Hardie sales through 2022 and average housing unit size. **30-Year limited non-prorated substrate warranty for Hardie® siding and soffit products. 15-Year non-prorated limited substrate warranty for Hardie® Trim products. ColorPlus® Technology finishes have a 15-year prorated limited finish warranty.



**Endless
design
possibilities.**

**Endless ways
to express
yourself.**



ENDLESS DESIGN POSSIBILITIES

Products and colors that complement any style.

With a wide portfolio of products and nearly 700 pre-finished colors, creating your perfect design style is possible with Hardie® products.

Modern

Whether you crave clean lines and sleek profiles or bold hues, you'll find the perfect colors and styles to add a modern flair to your home that will be sure to make a lasting statement in your neighborhood.

Transitional

Transitional styles beautifully combine contemporary and traditional elements to create a design style that stands out. Mix your favorite profiles and colors to create a fresh look you'll love for years.

Traditional

Traditional homes offer timeless beauty that never goes out of style. Achieve the perfect balance between your home's character and your personal style with a variety of colors and products that add undeniable charm.



Hardie® Panel &
Hardie® Trim Batten
Iron Gray



Hardie® Shingle Kelly Green
Hardie® Trim Cobble Stone



Hardie® Panel & Hardie® Trim Batten Arctic White
Hardie® Plank Arctic White



Hardie® Panel Inlet Blue



Hardie® Shingle Cobble Stone
Hardie® Trim Arctic White



Hardie® Plank Navajo Beige
Hardie® Trim Timber Bark

Statement Collection® Products

It's your turn to let your home stand out with our Statement Collection® products. Curated by our design experts, this collection of Hardie® siding and trim products with ColorPlus® Technology finishes are unique to your home's region. This gorgeous selection is locally stocked in your area, making it easier than ever to find the exterior style of your dreams.

COLORPLUS® TECHNOLOGY

ColorPlus® Technology finishes combine distinct beauty and high performance in a way that no other finish does. They're the easiest way to choose a gorgeous pre-finished color for your house, and feel confident in its staying power.

Hardie® Plank, Hardie® Panel, Hardie® Shingle and Hardie® Trim Batten Color Offering



Hardie® Trim Color Offering



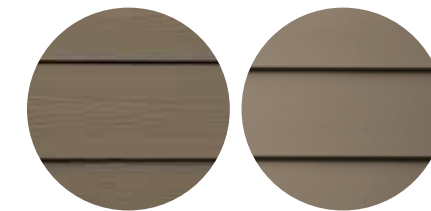
Hardie® Plank

Thickness 5/16 in
Length 12 ft planks

Select Cedarmill® & Smooth

Width 5.25 in 6.25 in

Exposure 4 in 5 in

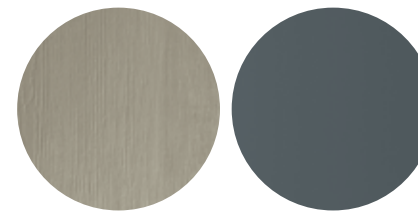


Hardie® Panel

Thickness 5/16 in

Select Cedarmill® & Smooth

Size 4 ft x 10 ft



Hardie® Shingle

Thickness 1/4 in
Length 48 in

Straight Edge Panel

Height 14 in 15.25 in

Exposure 5 in 7 in



Hardie® Trim

Length 12 ft

4/4 Smooth

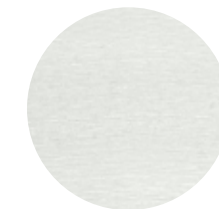
Thickness .75 in

Width 3.5 in 5.5 in 7.25 in 11.25 in

5/4 Smooth

Thickness 1 in

Width 3.5 in 4.5 in 5.5 in 7.25 in 11.25 in



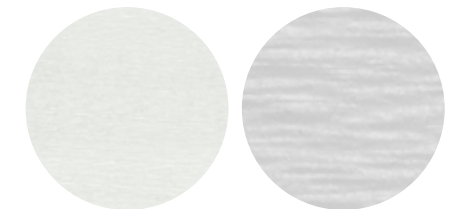
Batten Boards

Smooth & Rustic Grain

Thickness .75 in

Length 12 ft

Width 2.5 in



Scan code to request a sample.

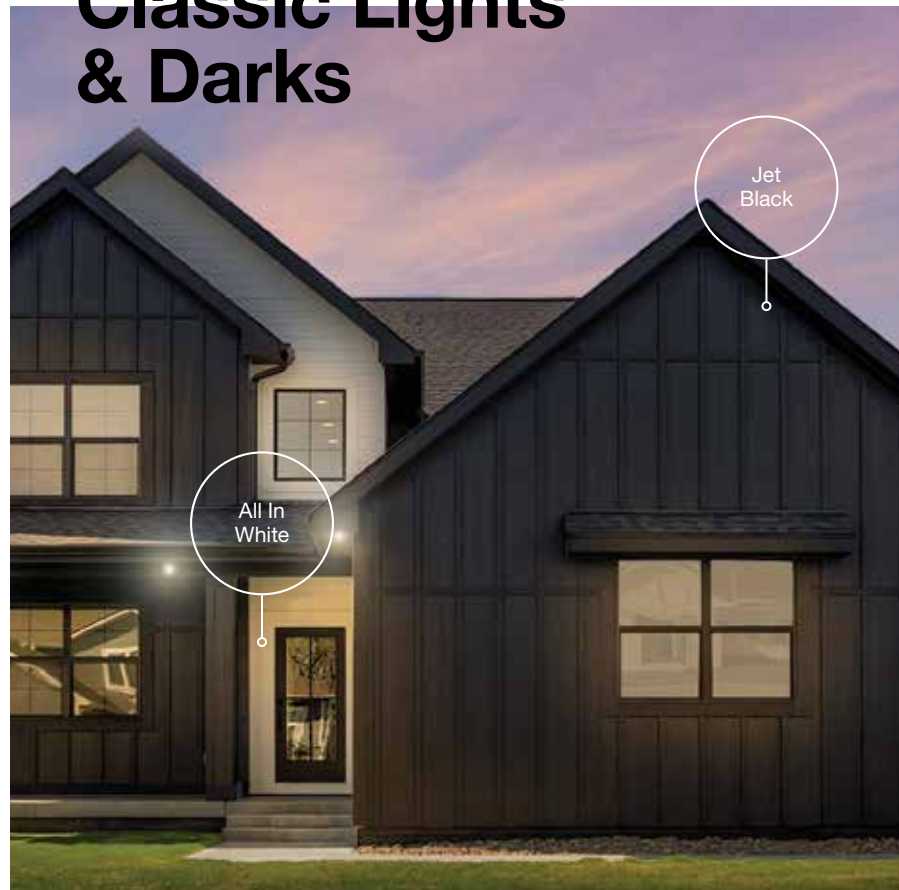
Dream Collection® Products

Looking to further express your sense of style? Look to our Dream Collection® products.

- Featuring a color palette of nearly **700 ColorPlus® Technology finishes**
- Made to order in a wide array of Hardie® siding and trim styles
- Matches elevated design flexibility with the uncompromising performance of our fiber cement products

To see the full 700-color range of the Dream Collection® products, visit jameshardie.com/dream

Classic Lights & Darks



Peaceful Pastels



Scan code to view colors and request a product sample.

Earth Tones



Blues & Greens



Photo © 2021 Discovery or its subsidiaries and affiliates. All rights reserved.

Grays & Neutrals





MAGNOLIA HOME



Hardie® Shingle Straight Edge Panel
It's About Thyme

“CHIP AND I WERE REALLY EXCITED TO COLLABORATE WITH JAMES HARDIE. OUR AIM IS ALWAYS TO NOT ONLY GIVE CLIENTS A BEAUTIFUL HOME, BUT ONE THAT WILL STAND THE TEST OF TIME.

— Joanna & Chip Gaines



introducing the

MAGNOLIA HOME | JAMES HARDIE COLLECTION

We've partnered with Magnolia Home to create an inspired collection of exteriors in colors, styles and textures curated by Joanna Gaines to transform your home into your favorite place to be. This collection was created to help simplify the process of re-siding your home, so you can design with confidence. You'll have added peace of mind knowing your project is backed by the trusted protection and long-lasting beauty of the recognized leader in exterior siding, James Hardie.



EVERY HOME TELLS A STORY

When it comes to design, Joanna's favorite style is anything that's beautiful and timeless and tells a unique story. That's what made the idea of partnering with James Hardie so easy. With the beautiful, nature-inspired colors and styles of Hardie® siding and trim curated for this collection, Jo created an inspiring palette of possibilities. She's made it easy for homeowners to choose what they want for their exterior transformation.

The Magnolia Home | James Hardie Collection can help you create an exterior you love.

“WHEN PEOPLE TELL THEIR OWN STORY RATHER THAN FEELING PRESSURE TO FIT WITHIN A SPECIFIC STYLE, THERE'S MORE FREEDOM - AND THEIR SPACE BEGINS TO FEEL LIKE HOME.”

— Joanna Gaines



STYLES

find your perfect mix of exterior products



HARDIE® PANEL & HARDIE® TRIM BATTEN



HARDIE® SHINGLE



HARDIE® PLANK



HARDIE® TRIM



HARDIE® SOFFIT

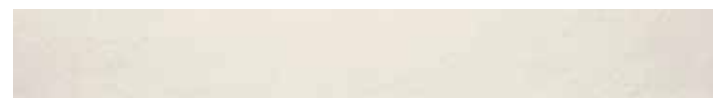
For more detailed product size and availability information, visit jameshardie.com/magnolia.

TEXTURES

choose the texture you prefer



HARDIE® TRIM SMOOTH



HARDIE® SIDING SMOOTH*



HARDIE® TRIM RUSTIC GRAIN



HARDIE® SIDING SELECT CEDARMILL**

* Textures available for siding and soffit.
Hardie® Shingle only offered in Select Cedarmill®.

DESIGN *the* HOME YOU'VE ALWAYS IMAGINED

Visualize Hardie® products on a 3D model of your home with HOVER® Design Studio, brought to you by James Hardie.

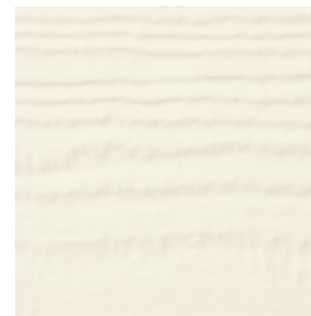
Every home tells a story. What will yours be? Start your free design.



VISUALIZE THE COLLECTION ON YOUR HOME

COLORS

select the hue that's right for you



BIRCH TREE



WEATHERED CLIFFS



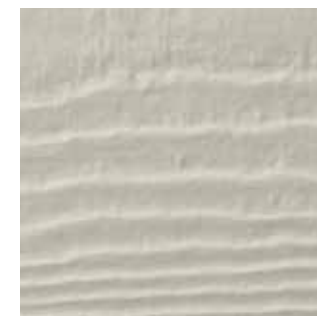
RUSTIC ROAD



RUGGED PATH



IT'S ABOUT THYME



STONE BEACH



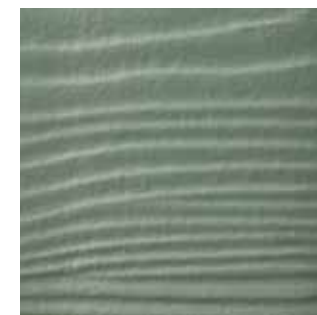
STONE PAVER



WARM CLAY



DRIED EUCALYPTUS



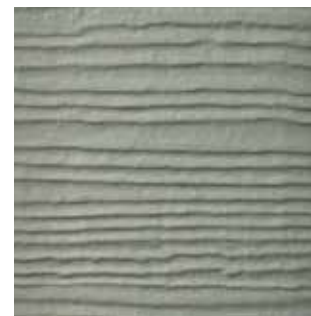
CHISELED GREEN



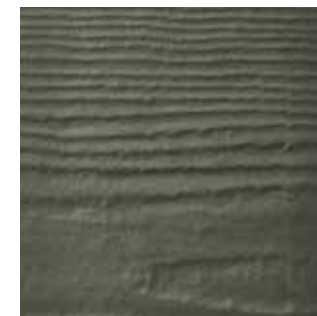
WANDERING GREEN



MUDFLATS



SLATE STEPS



PEPPERY ASH



LAST EMBERS



MIDNIGHT SOOT

All products in this collection come prefinished with ColorPlus® Technology finishes by James Hardie.

A classic look that stands the test of time.

Hardie® Plank

From Victorians to Colonials, Hardie® Plank is the perfect siding for your style, and has the durability and long-lasting beauty that can transform your home exterior. With endless gorgeous color and plank pairings available, you'll discover a Hardie® Plank style that transforms your home's aesthetic.



Hardie® Trim Smooth Arctic White

Hardie® Plank Select Cedarmill® Khaki Brown

Hardie® Plank



Select Cedarmill®



Smooth



Beaded Select Cedarmill®



Beaded Smooth

	Thickness 5/16 in Length 12 ft planks					
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*	12 in*
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in
Prime Pcs/Pallet	360	308	252	230	190	152
ColorPlus® Pcs/Pallet	324	280	252	210	—	—
Pcs/Sq.	25.0	20.0	16.7	14.3	12.5	9.3

Select Cedarmill®

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*	12 in*
Statement Collection®	•	•				
Dream Collection®	•	•	•	•		
Prime	•	•	•	•	•	•

Smooth

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*	12 in*
Statement Collection®	•	•				
Dream Collection®	•	•	•	•		
Prime	•	•	•	•	•	•

Beaded Select Cedarmill® & Beaded Smooth

Width	8.25 in
Exposure	7 in
ColorPlus® Pcs/Pallet	210
Pcs/Sq.	14.3
Statement Collection®	
Dream Collection®	•
Prime	

*9.25 in and 12 in widths do not feature the drip edge

Classic cedar style in cutting-edge material.

Hardie® Shingle

Restore the look of your grand Cape Cod home or add distinction to your handsome bungalow. Hardie® Shingle embodies the enchanting look of cedar shingles with lower maintenance. You can create your perfect exterior style using Hardie® Shingle around your entire home, or place it in accent areas for an added boost of charm you'll love.

Better than the real thing, Hardie® Shingle resists rotting, curling, warping and splitting.



Hardie® Shingle



Staggered Edge Panel



Straight Edge Panel

Staggered Edge Panel

Length	48 in
Height	15.25 in
Exposure	6 in
Prime Pcs/Pallet	100
ColorPlus® Pcs/Pallet	100
Sq/Pallet	2
Pcs/Sq.	50.0

Statement Collection®

Dream Collection® •

Prime

Straight Edge Panel

Length	48 in	48 in
Height	14 in	15.25 in
Exposure	5 in	7 in
Prime Pcs/Pallet	-	86
ColorPlus® Pcs/Pallet	120	86
Sq/Pallet	2	2
Pcs/Sq.	60.0	43.0

Statement Collection®

Dream Collection® • •

Prime

Designed for versatility and beautiful performance.

Hardie® Panel

Hardie® Panel delivers style and substance. When combined with Hardie® Trim Batten, it achieves the rustic board-and-batten look that defines your charming cottage or modern farmhouse. Its crisp, clean lines and ability to pair beautifully with other siding products make Hardie® Panel a smart choice for the home of your dreams.



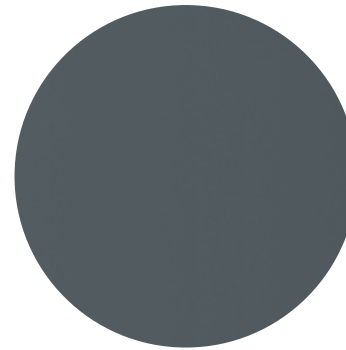
Hardie® Panel
Select Cedarmill®
Evening Blue

Hardie® Trim Batten
Rustic Grain
Evening Blue

Hardie® Panel



Select Cedarmill®



Smooth



Stucco



Sierra 8

Thickness 5/16 in

Size	4 ft x 8 ft	4 ft x 10 ft
Prime Pcs/Pallet	50	50
ColorPlus® Pcs/Pallet	50	50
Pcs/Sq.	3.2	2.5

Select Cedarmill®

Size	4 ft x 8 ft	4 ft x 10 ft
Statement Collection®		•
Dream Collection®	•	•
Prime	•	•

Smooth

Size	4 ft x 8 ft	4 ft x 10 ft
Statement Collection®		•
Dream Collection®	•	•
Prime	•	•

Stucco

Size	4 ft x 8 ft	4 ft x 10 ft
Statement Collection®		
Dream Collection®	•	•
Prime	•	•

Sierra 8

Size	4 ft x 8 ft	4 ft x 10 ft
Statement Collection®		
Dream Collection®		
Prime	•	•

A finished look starts with beautiful trim.

Hardie® Trim

Form meets function at every intersection with Hardie® Trim boards. With an authentic look, Hardie® Trim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

With higher performance to withstand damage from the elements compared to wood trim, Hardie® Trim is the perfect option for a long-lasting home. Hardie® Trim is a low-maintenance and durable accent for your exterior — adding an extra component of beauty to your home.



Hardie® Trim Smooth Arctic White

Hardie® Shingle Straight Edge Panel Pearl Gray

Hardie® Trim

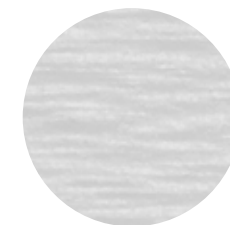


4/4 Smooth		Thickness .75 in		Length 12 ft boards		
Width		5.5 in	7.25 in	9.25 in	11.25 in	
Prime Pcs/Pallet	312	208	156	104	104	
ColorPlus® Pcs/Pallet	312	208	156	104	104	
Statement Collection®	•	•	•		•	
Dream Collection®	•	•	•	•	•	
Prime						

5/4 Smooth		Thickness 1 in		Length 12 ft boards		
Width		4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Prime Pcs/Pallet	240	200	160	120	80	80
ColorPlus® Pcs/Pallet	240	200	160	120	80	80
Statement Collection®	•	•	•	•		•
Dream Collection®	•	•	•	•	•	•
Prime						

Batten Boards

Thickness	.75 in
Length	12 ft
Width	2.5 in
Prime Pcs/Pallet	437
ColorPlus® Pcs/Pallet	190



Rustic Grain	
Statement Collection®	•
Dream Collection®	•
Prime	•



Smooth	
Statement Collection®	•
Dream Collection®	•
Prime	•

Protection in every detail, complete confidence in every area.

Hardie® Soffit

Every part of your home's exterior matters. With Hardie® Soffit panels, you can live confidently, knowing that gaps between eaves and exterior walls are covered to provide trusted protection.

DID YOU KNOW?

Using vented soffit improves ventilation and reduces the chance of water-vapor condensation that can promote mold, mildew and stains and which can damage your home's framing over time.

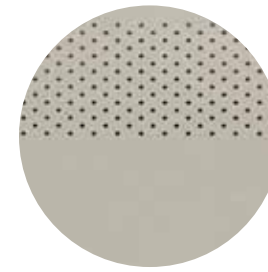
In warm climates, vented soffit allows hot, humid air to escape, which not only helps prevent condensation in the attic, but also helps reduce air-conditioning costs.

In cool climates, vented soffit helps prevent condensation from forming on the interior side of the roof sheathing and reduces the chances of roof-damaging ice dams.

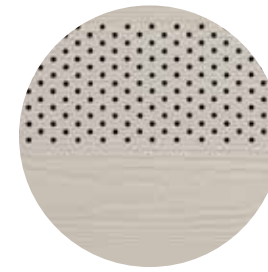


Hardie® Soffit
Vented Smooth
Arctic White

Hardie® Soffit



Vented Smooth



Vented Select Cedarmill®



Non-Vented Smooth



Non-Vented Select Cedarmill®

Thickness 1/4 in

	12 ft	12 ft	8 ft	8 ft
Length	12 ft	12 ft	8 ft	8 ft
Width	12 in	16 in	24 in	48 in
Prime Pcs/Pallet	200	150	100	50
ColorPlus® Pcs/Pallet	216	156	108	—

Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection®			
Dream Collection®	•	•	•
Prime			

Non-Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
Statement Collection®				
Dream Collection®	•	•	•	
Prime	•	•	•	•

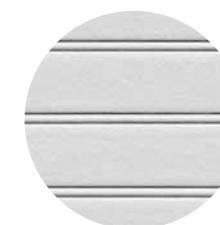
Vented Select Cedarmill®

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection®			
Dream Collection®	•	•	•
Prime			

Non-Vented Select Cedarmill®

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection®			
Dream Collection®	•	•	•
Prime	•	•	•

Beaded Porch Panel



Thickness	1/4 in
Size	4 ft x 8 ft
Bead Size	2 in o.c.
Prime Pcs/Pallet	50

Statement Collection®	
Dream Collection®	•
Prime	•

Bead edge lands on long edge of sheet to hide seams.

Distinctive design, engineered to last.

Hardie® Artisan Siding

NOW PART OF THE HARDIE™ ARCHITECTURAL COLLECTION.

Offering gorgeous, deep shadow lines and extra thick boards, Hardie® Artisan siding will set your home apart. The 5/8-inch thickness and unique features of Hardie® Artisan siding provide precise fit and finish as well as the freedom to miter corners for attractive, streamlined styling.

TONGUE & GROOVE SYSTEM

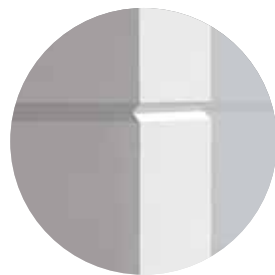
Hardie® Artisan siding flat wall profiles have a tongue & groove system that helps enable faster, cleaner installation. Orient vertically, horizontally or use as soffit.

MITERED CORNERS

Add sophistication to your design with mitered corners that can be crafted on-site with any Hardie® Artisan profile.



Tongue & Groove System

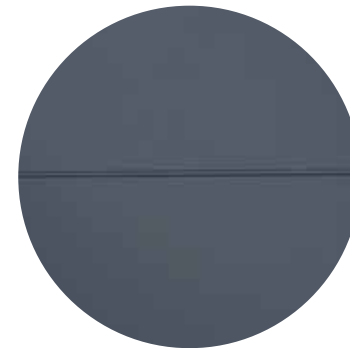


Mitered Corners



Hardie®
Artisan Siding
V-Groove

Hardie® Artisan Siding



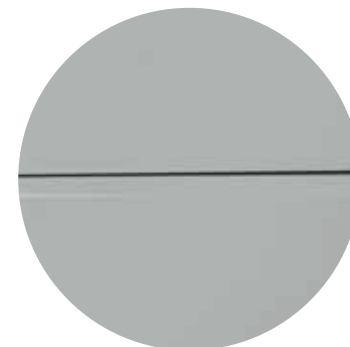
Shiplap

Shiplap	Thickness 5/8 in	
Width	10.25 in	(9 in exposure)
Length	12 ft	
Pcs/Pallet	105	
Prime	•	



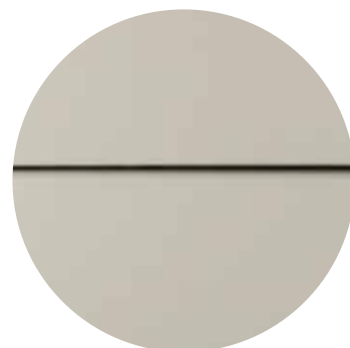
V-Groove

V-Groove	Thickness 5/8 in	
Width	8.25 in	(7 in exposure)
Length	12 ft	
Pcs/Pallet	126	
Prime	•	



Square Channel

Square Channel	Thickness 5/8 in	
Width	10.25 in	(9 in exposure)
Length	12 ft	
Pcs/Pallet	105	
Prime	•	



Lap Siding

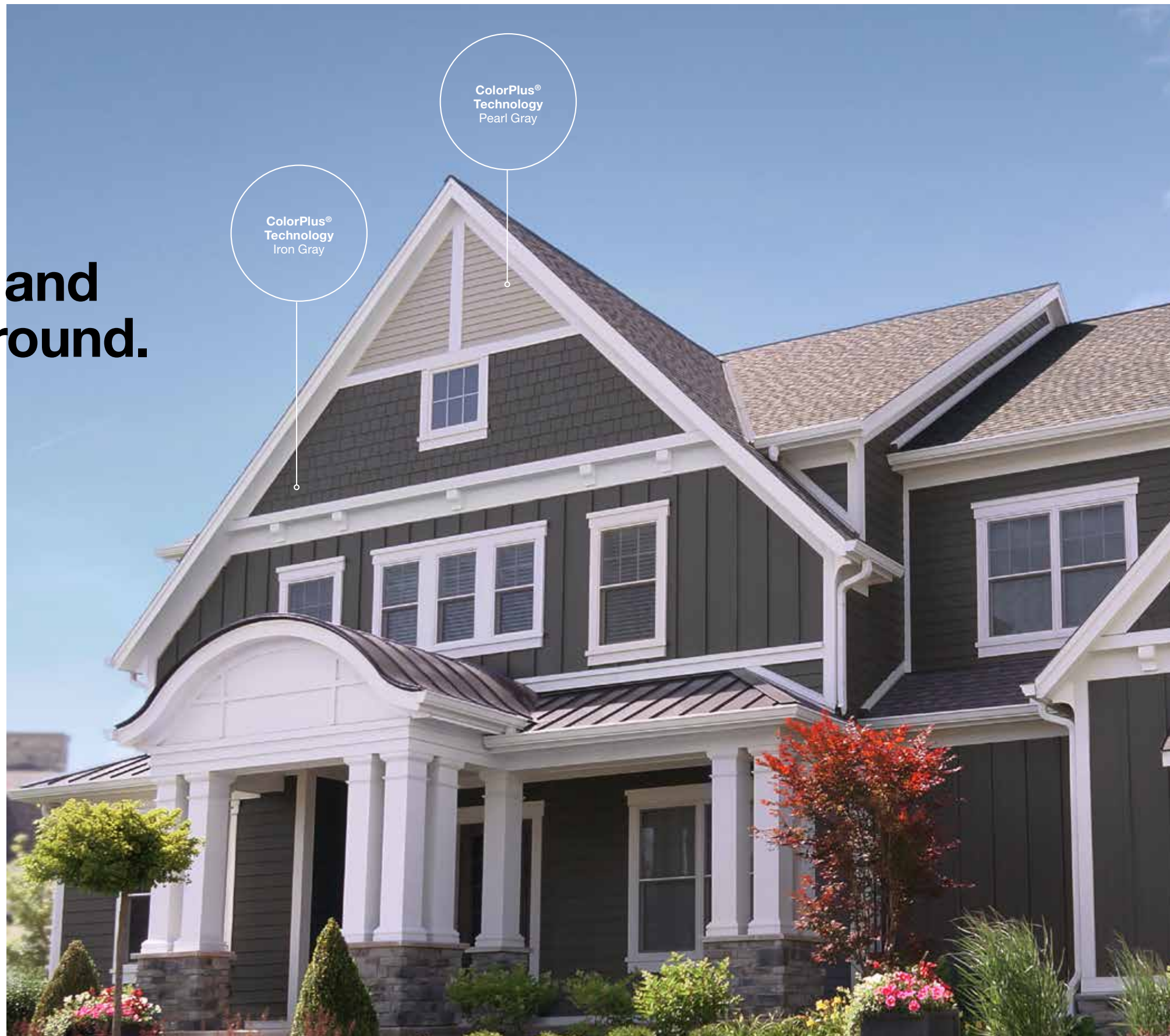
Lap Siding*	Thickness 5/8 in	
Width	7.25 in (6 in exposure)	8.25 in (7 in exposure)
Length	12 ft	12 ft
Pcs/Pallet	144	125
Prime	•	•



*Lap siding does not offer the tongue & groove system.

Complete Exterior by James Hardie™

Confidence and beauty all around.



Top to bottom, our exterior product line is defined by high performance, aesthetics and design options.

With a Complete Exterior by James Hardie™, you can bring your dream home to life without having to choose between protection and long-lasting beauty. Using products from a single, trusted manufacturer that offers exceptional warranties, you'll have complete peace of mind, so you can sit back, relax and enjoy your home's exterior.



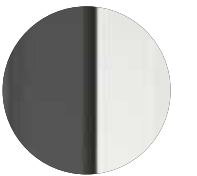
Hardie® Shingle



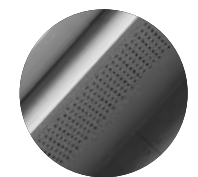
Hardie® Panel &
Hardie® Trim Batten



Hardie® Plank



Hardie® Trim Boards



Hardie® Soffit



Scan code to visualize
Hardie® products on
your home.

**Durability
you can trust.**

**Protection
you can feel.**



Tougher than the elements.



Fire

A home's exterior is its first line of defense against extreme weather and fire. Prepare your home for the unpredictable with siding that is non-combustible, won't burn and is recognized by fire departments nationwide.*

- Listed for use in wildfire-prone Wilderness Urban Interface (WUI) zones in the western US.

Cal-Fire Compliant

Fiber Cement Siding



*Hardie® siding complies with ASTM E136 as a noncombustible cladding and is recognized by fire departments across the U.S. including Marietta, GA, Flagstaff, AZ and Orange County, CA. Fiber cement fire resistance does not extend to applied paints or coatings, which may be damaged or char when exposed to flames.



Pests

Mother Nature's creatures can wreak havoc on wood-based siding. It can be pecked by birds or damaged by termites or other pests. Hardie® fiber cement holds no appeal for these critters, saving you the maintenance hassle.



Mother Nature

Your siding is exposed to Mother Nature all day, every day. You deserve to feel confident that it can hold its own throughout it all — from the changing seasons to extreme weather.

- FEMA Class 5 flood damage resistance (highest rating)
- Rated for use in High Velocity Hurricane zones by Miami-Dade County, Florida



Water Resistant

From rain to ice to snow, Mother Nature's precipitation patterns leave wood exteriors at risk to cracking, swelling and warping. Take shelter from the storm knowing that your siding is built to resist water damage.



Time

ColorPlus® Technology finishes provide a durable finish that helps resist fading and discoloration that other paint applications may see more quickly over time, so your exterior can keep its good looks longer.

Exterior solutions inspired by nature and designed to help protect your home from it.

Hardie™ Zone System

Only Hardie® fiber cement exterior products are Engineered for Climate®, designed specifically with your climate zone in mind for optimal performance. In the northern USA and Canada, HZ5® products resist shrinking, swelling and cracking in wet or freezing conditions. HZ10® products help protect homes from hot, humid conditions, blistering sun and more.

With Hardie® siding and trim, your home's exterior will be as tough as it is beautiful.



The highest-quality materials for your highest satisfaction.

Unique Formulation HZ5® Substrate

Not all fiber cement is the same. The Hardie® HZ5® product formulation contains the highest-quality raw materials. Our unique formulation, combined with innovative product design and manufacturing processes, creates a substrate that is specifically engineered to resist moisture, cracking, shrinking and swelling, for increased durability and workability.

Proprietary enhancements create durable Hardie® siding

Perfect balance of strength and workability

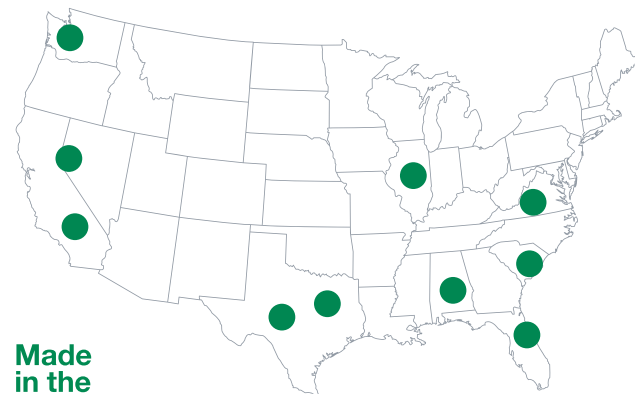
Our balance of high-quality Portland cement, sand and cellulose fiber delivers the best combination of strength and workability.

Enhanced moisture resistance for unmatched durability

Patented and proprietary additives are chemically bonded within the HZ5® substrate matrix to provide durable moisture resistance. In addition, Hardie® Plank in HZ5® substrates come with a drip edge to provide improved water management.

Increased dimensional stability

Our siding is engineered at the microscopic level to create a fiber cement composite with superior dimensional stability that helps protect against shrinking and splitting.



Made in the USA

● James Hardie Manufacturing Plant

38 10 manufacturing facilities in the United States which source 80% of their raw materials locally



Unmatched investment in manufacturing scale and production innovation

- Largest manufacturer of fiber cement in North America
- Over 7x the North American manufacturing capacity of our nearest fiber cement competitors
- More than 100 process and product quality checks
- Over 95 scientists and engineers in R&D providing dedicated resources for continuous innovation in manufacturing and product development
- More U.S. fiber cement patents than any competitor

Building sustainable communities.

Sustainability is built into our DNA.

At James Hardie, our business is about building better communities that have a lower impact on our environment and are built to last. We operate with a global mindset and at the same time take great care in how our business affects households, our James Hardie community, the local communities in which we live and operate, and across the largest shared community of all, our global ecosystem. Building sustainable communities is at the forefront of our strategy and integral to our success.



- ↑ Global Impact
- ↑ Community Impact
- ↑ James Hardie
- ↑ Homeowner



Scan code to find out more about our sustainability efforts.



Adding value to our communities

We recognize our ability to impact the communities in which we live and work. While maintaining a global mindset, we put great care into how our business affects local communities. We contribute by sourcing, employing, delivering and giving locally.

Creating an impact

We invest in the local community and aim to locate the plants close to suppliers, customers and potential new employees, as well as sustainable transportation opportunities.

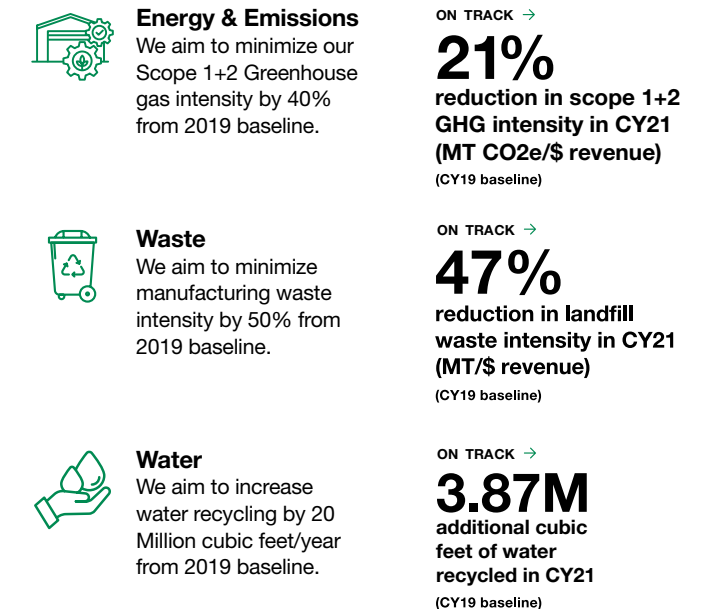


*Above statistics are the James Hardie impact from fiscal year 2022.

The right kind of impact

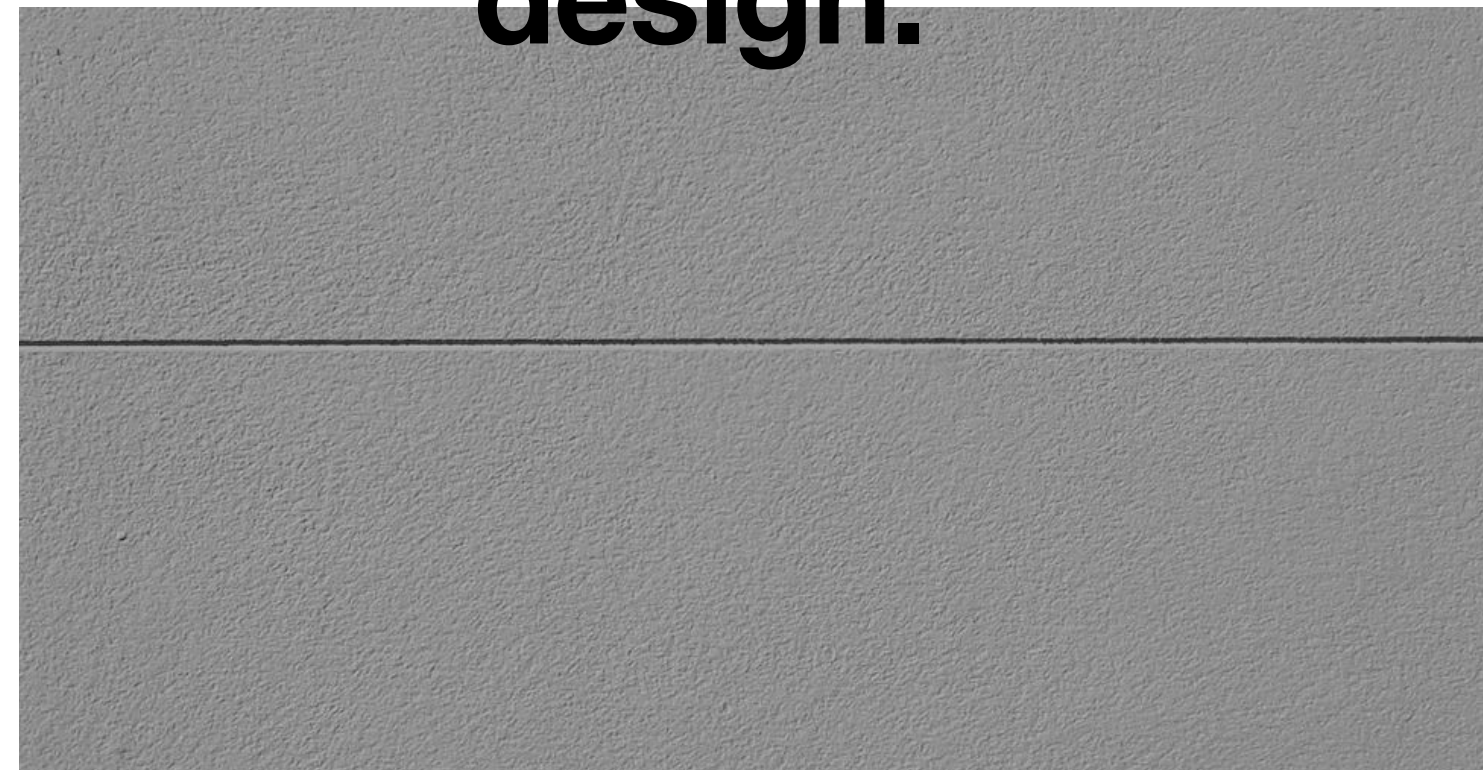
Having a sustainable impact means minimizing our impact on the environment while supporting resilient local communities. We are committed to minimizing our environmental impact, prioritizing the management of waste, water, energy and emissions.

2030 goals





**Long-lasting
beauty by
design.**



Beauty begins with a finish that lasts.



Hardie® Plank Select Cedarmill® Aged Pewter

Hardie® Trim Smooth Arctic White

ColorPlus® Technology

ColorPlus® Technology finishes are fully cured on our boards in a controlled factory environment and arrive at your home ready for installation year-round. With prefinished color products, you'll have peace of mind, knowing you'll have a more consistent color and finish that doesn't depend on good weather.

With over 700 colors available, ColorPlus® Technology finishes offer endless design possibilities and help keep your home looking beautiful longer.



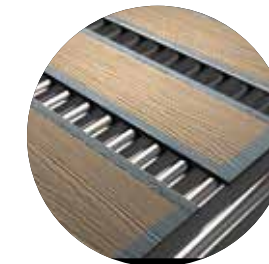
Finishing Technology

Primer

A quality primer is the first step to ensuring that the paint color you select expresses your home's true beauty now – and for years to come. Our distinctive primer is climate tested and engineered to enhance the performance of paint on Hardie® fiber cement exterior solutions. It helps to provide consistent, long-lasting paint adhesion, even in the most demanding conditions.

ColorPlus® Technology

Our advanced ColorPlus® Technology finishes deliver the ultimate in aesthetics and performance. Our products aren't simply painted at the factory. Our proprietary coatings are baked onto the board, creating a vibrant, consistent finish that performs better, lasts longer and looks brighter on your home.



Exceptional finish adhesion

Our proprietary coatings are engineered for exceptional adhesion to our substrate and applied to the surface, edges and features for durable performance.



Superior color retention

The finish is cured onto boards for a stronger bond, which allows for exceptional resistance to cracking, peeling and chipping.



Superior UV resistance

ColorPlus® Technology finishes are engineered to retain vibrancy and reduce fade or discoloration from UV rays.

Unparalleled beauty with unparalleled performance.

See the James Hardie difference

James Hardie invented modern fiber cement. Trusted by homeowners on over 10 million homes*, we continue to set the standard in premium, high-performance exterior cladding. Our products deliver uncompromising durability and finish quality for a beautiful, lower maintenance exterior.

Our unrivaled investment in R&D and constant innovations in product design, manufacturing and distribution allow us to remain steps ahead of the competition. With the support of our employees and partners, and with our exceptional warranties, we're committed to helping protect your home and investment every step of the way.



*Estimate based on total James Hardie sales through 2022 and average housing unit size.



Warranty — for peace of mind

Help protect your home with North America's #1 brand of siding, backed by exceptional warranties. Unlike other brands, James Hardie doesn't prorate our siding and trim substrate warranty coverage. We stand 100% behind our siding for 30 years and our trim for 15 years.

- Hardie® siding and soffit products come with a 30-year non-prorated limited substrate warranty.
- Hardie® trim products come with a 15-year non-prorated limited substrate warranty.
- ColorPlus® Technology finishes come with a 15-year prorated limited finish warranty.

Non-Prorated Siding Substrate Warranty Coverage by James Hardie



Endorsements — a reputation built on trust

For decades, our fiber cement products have been used to create better places to live. Each new home stands as a testament to our uncompromising quality. That proven track record has earned us the loyalty of millions of homeowners and the endorsements of trusted authorities across the building industry.



Featured on Magnolia Network's Fixer Upper: Welcome Home 2021



Featured on HGTV's Urban Oasis 2022



Green Builder Magazine Readers' Choice, "Most Sustainable Product" 2020

Make your home stand up and stand out.

Increase your home's re-sale value*

Re-siding with fiber cement siding is one of the top ways to increase your home's re-sale value*.



Scan code to view the Cost vs. Value Report.



*According to the Remodeling 2023 Cost vs. Value Report (www.costsvsvalue.com).

© 2023 Zonda Media, a Delaware Corporation. Complete data from the Remodeling 2023 Cost vs. Value Report can be downloaded free at www.costsvsvalue.com.

FOR THE PROS

Protection that performs at every layer.

Hardie™ Weather Barrier

No exterior cladding can prevent 100% of water intrusion. Your home should have an additional line of defense. Hardie™ Weather Barrier provides a superior balance of water resistance and breathability, keeping the area within the wall drier. This helps prevent moisture accumulation that may lead to mold and mildew growth.



INSTALLATION ADVANTAGES

- Thicker, more durable material for easier, quicker installation
- Superior tear resistance helps prevent water infiltration
- Can be installed with staples in place of cap nails for cost savings
- Provides a higher level of performance, no matter what type of cladding you specify

Weather Barrier

Thickness	11 mil		
Length	100 ft	100 ft	150 ft
Width	3 ft	9 ft	9 ft

Pro-Flashing

Thickness	20 mil		
Length	75 ft	75 ft	75 ft
Width	4 in	6 in	9 in

Flex Flashing

Thickness	60 mil	
Length	75 ft	75 ft
Width	6 in	9 in

Seam Tape

Thickness	3.2 mil	
Length	164 ft	
Width	1-7/8 in	

Installation Done Right

INSTALLATION ACCESSORIES

Hardie™ Blade Saw Blades

Manufactured by Diablo, the Hardie™ Blade saw blade is designed specifically to cut fiber cement products and is the only saw blade James Hardie recommends. The blade creates clean, precise cuts while helping to reduce the amount of airborne dust produced.



PacTool® Gecko Gauge

The PacTool® Gecko Gauge is designed to improve the installation experience, allowing one person to hang Hardie® Plank lap siding during installation. Studies suggest the Gecko Gauge can improve the speed of solo installation by 30%.



Finishing Touches

COLORPLUS® TECHNOLOGY ACCESSORIES

Touch-Up Kits

Specially formulated to match ColorPlus® Technology finishes, our touch-up kits offer resistance to aging, color change and chalking. Estimated one kit per 4,000 sq ft of siding or 1,600 sq ft of trim.



Color-Matched Caulk

OSI® QUAD® MAX sealant offers a high-performance sealant solution to color match Statement Collection® products.* About 18–20 linear feet per tube. Refer to packaging for manufacturer's recommendations.

*For matching Dream Collection® products, contact your local James Hardie representative.

TRIM ACCESSORIES

Flat Tabs

Eliminate face nails and improve the aesthetic of trim applications around windows, doors and band boards.

Corner Tabs

Use corner tabs to eliminate face nail holes that would detract from the finished look of corner trim installations.



Scan code to view install and technical documents.



Hardie® Plank
Smooth

Hardie® Trim
Smooth

#MyHardieHome | 1.888.542.7343 | jameshardie.com



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Project Address: 113 Bow Street
Permit Requested: Certificate of Approval
Application: Public Hearing 2



A. Property Information - General:

Existing Conditions:

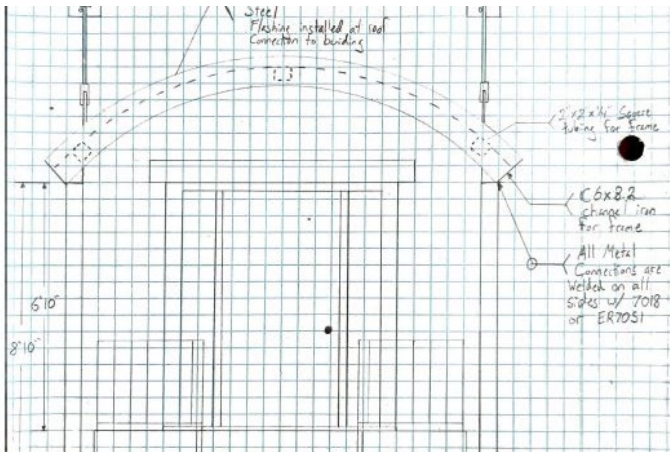
- Zoning District: CD4, Downtown Overlay
- Land Use: Residential
- Land Area: N/A
- Estimated Age of Structure: c.1997
- Building Style: Federal
- Number of Stories: 4
- Historical Significance: N/A
- Public View of Proposed Work: Bow Street
- Unique Features: N/A
- Neighborhood Association: Downtown

B. Proposed Work: Remove and replace entry awning system.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Remove existing damaged awning at the front entrance and construct new metal overhang system.



**HISTORIC
SURVEY
RATING
N/A**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

113 Bow Street

Awning Replacement Proposal

Wed Jun 19

greatislandrealty.com



Original Awning



Current state after storm.

113 Bow Street

Awning Replacement Proposal



Proposed Canopy

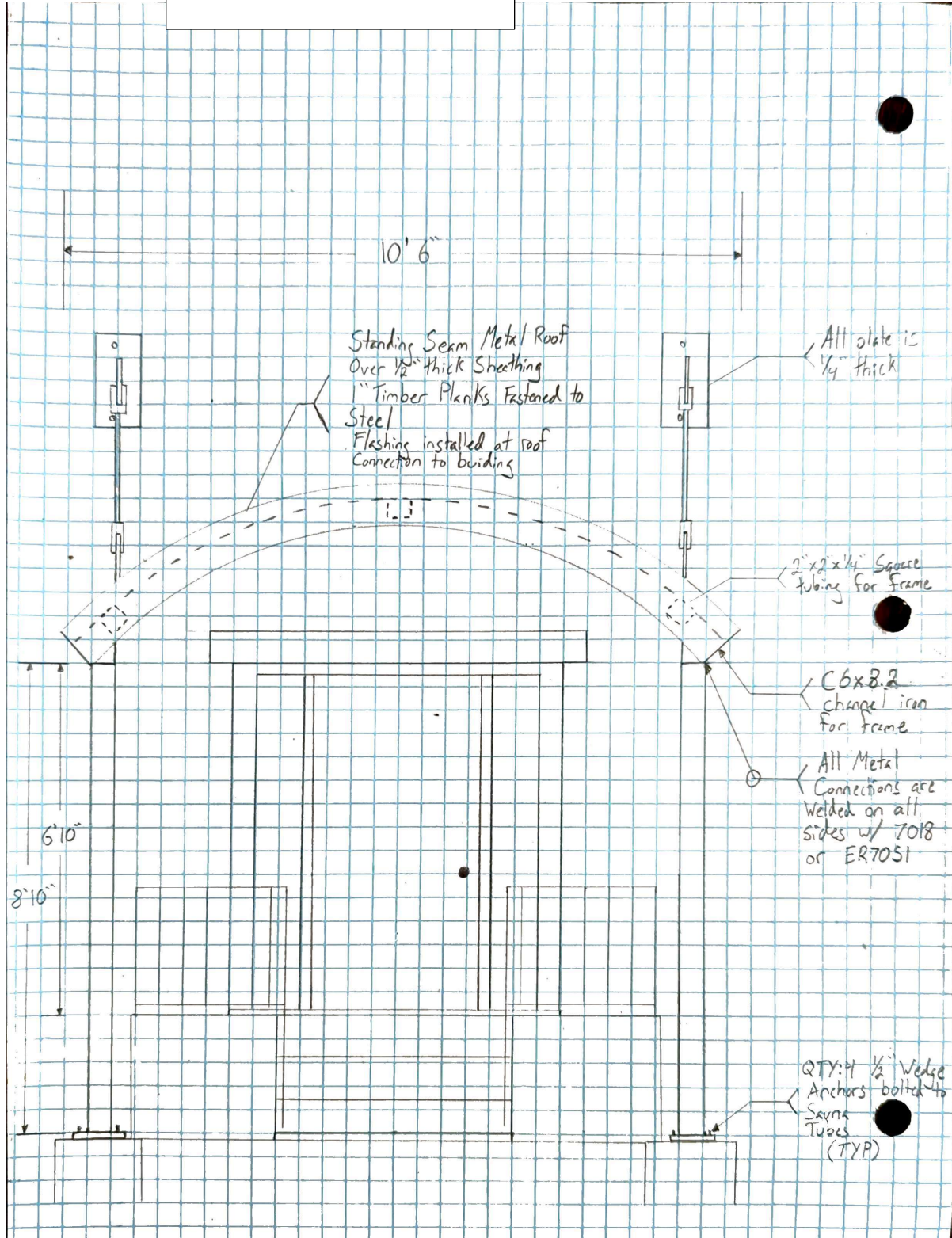


Underside of Proposed Canopy

113 Bow Street

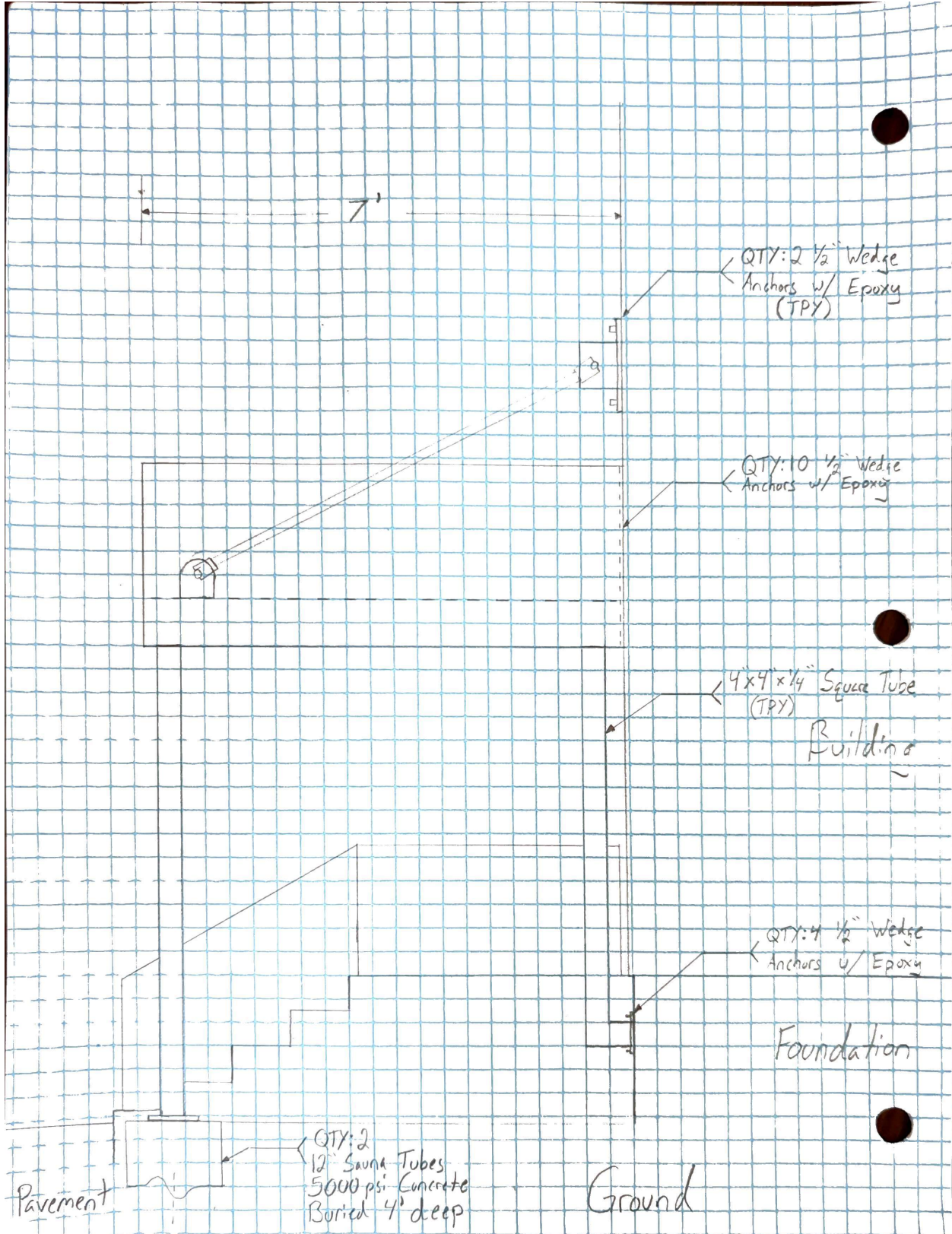
Awning Replacement Proposal

Construction Drawings



113 Bow Street

Awning Replacement Proposal



Project Address: 564 Middle Street

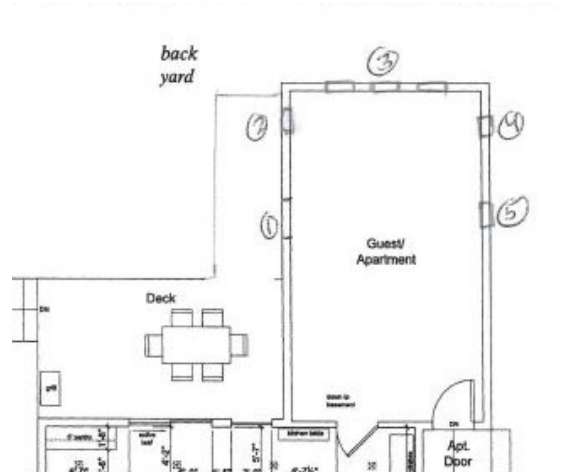
Permit Requested: Certificate of Approval

Application: Public Hearing 3

A. Property Information - General:

Existing Conditions:

- Zoning District: Mixed Research Office
- Land Use: Residential
- Land Area: 11,580 SF +/-
- Estimated Age of Structure: c.1850-70
- Building Style: Vernacular Italianate
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Middle Street
- Unique Features: N/A
- Neighborhood Association: South End



B. Proposed Work: Replace (6) windows on the rear of the structure.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Window replacements (6)



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

John & Susan Durkin

(Homeowners)

564 Middle Street

Portsmouth, NH

603-828-4907

jdurkin@burnsbryant.com

HDC/Building Permit Application

1. Replace existing casement window with 15 lite, 36" X 80" inward swinging door. Black exterior. Andersen E Series – Full Divided Light.
2. Replace existing door with double hung, 2 over 2 window. Black exterior, Andersen E Series- Full Divided Light.
3. Replace existing single double hung window with (3) individual double hung, 2 over 2, windows, individually trimmed to match existing home with sidewall finished in cedar clapboards to match existing materials. Same windows (brand, size and construction) as #2 above. Black exterior. Andersen E Series- Full Divided Light
4. Replace existing 2 over 2 double hung window with double hung, 2 over 2, same window (brand, size and construction) as #2 and 3 above. Black exterior. Andersen E Series- Full Divided Light
5. Replace existing 2 over 2 double hung window with double hung, 2 over 2, same window (brand, size and construction) as #2, 3 and 4 above. Black exterior. Andersen E Series- Full Divided Light

Exterior framing of all windows and door to be done with wood, to match existing window frames.

Windows:

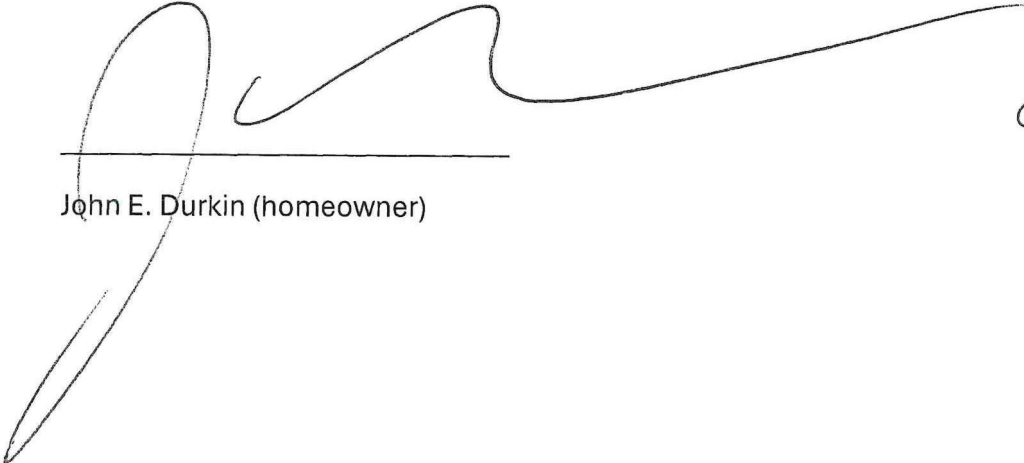
-all 6 windows will be same size, construction, brand. Andersen E Series, 2 over 2, Full Divided Light, Black Exterior, 36" x 61"

*all six windows will be framed on exterior to match existing window frames.

Door: Andersen Series E 15 light door, Full Divided Light, Black Exterior. 36 x 80

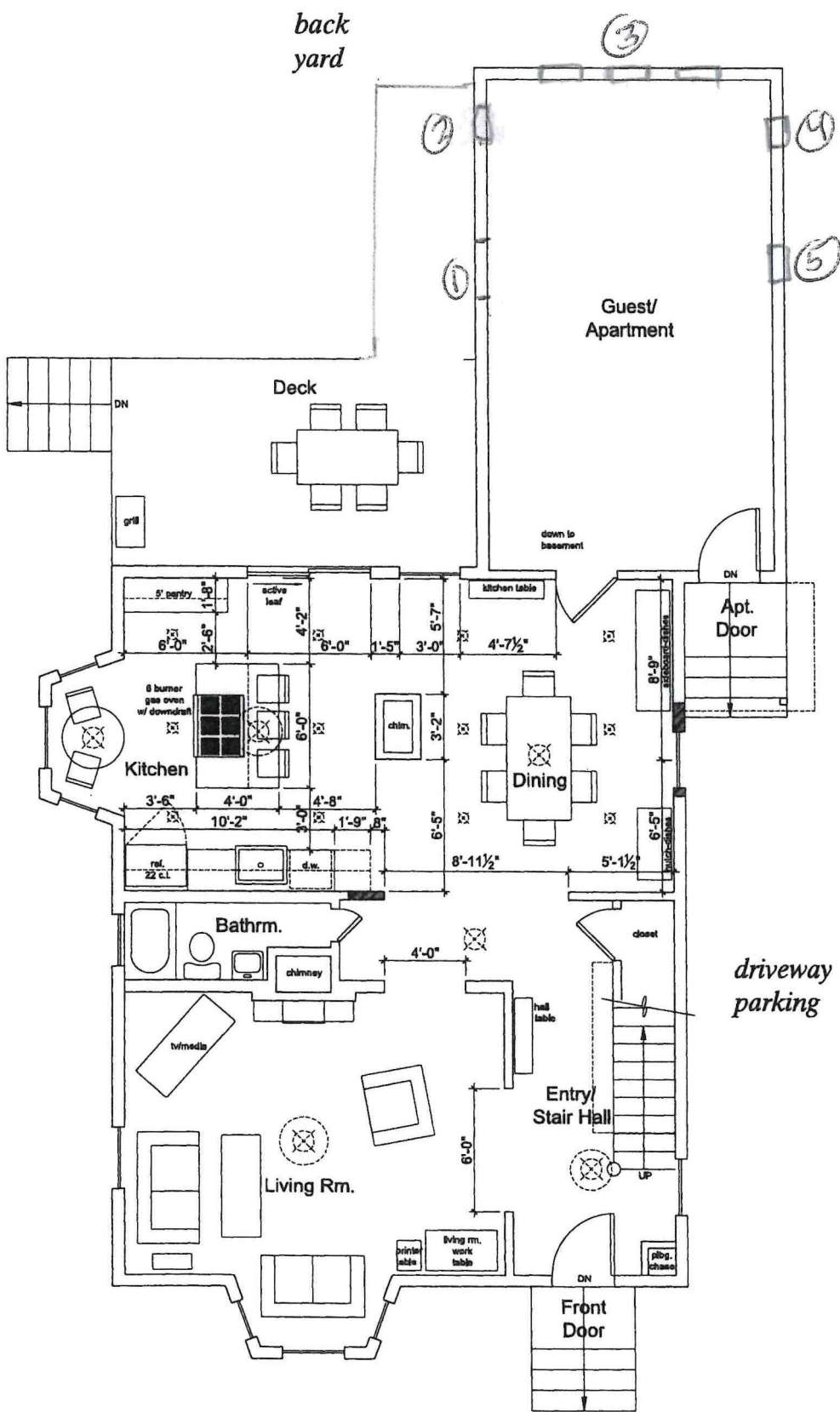
Attachments:

1. Tax map, numbered to reference each paragraph above.
2. Proposed sketch, numbered to reference each paragraph above.
3. Brochure and technical specifications for Andersen E Series windows and door.
4. Spec Sheet for Andersen E Series windows and door.
5. Photographs of existing conditions:
 - a. Front of house from Middle Street.
 - b. Rear side showing areas for numbers 1 & 2.
 - c. Close up of 1, showing existing casement window.
 - d. Close up of 2, showing existing door.
 - e. Rear, showing existing window 3.
 - f. Driveway side of house, showing existing windows 4 & 5.
 - g. Close up of 4 & 5



John E. Durkin (homeowner)

8/13/24

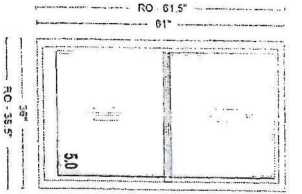


1. New 36 x 80 door
2. New window
3. (3) New windows
4. Replace existing window
5. Replace existing window

564 Middle Street

Proposed First Floor Plan



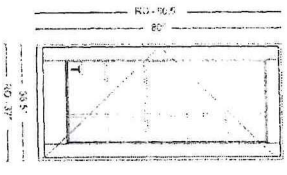


Item	Qty	Operation	Location	Unit Price	Ext. Price
400	6	Active/Active	None Assigned	\$1,264.89	\$7,589.34
RO Size: 36 1/2" x 61 1/2" Unit Size: 36" x 61"					

TCLDH3051, Unit, E-Series Double-Hung, Equal Sash, 4 9/16" Frame Depth, Rigid Vinyl w/Integral Vinyl Drip Cap, Black 2604 Exterior Frame, Black 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Active/Active, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 2 Wide, 1 High, Specified Equal Light Pattern, Black, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/Ovolo Interior Grille Bar, 5/8" Grille Bar, Ovolo Glass Stop Black Glass / Grille Spacer, 2 Sash Locks Black, WhiteJamb Liner, Clad Exterior / Wood InteriorJamb Liner Inserts, Black, 2604, Full, TruScene

Insect Screen 1: E-Series Double-Hung, TCLDH3051 Full TruScene Black 2604

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	
A1	0.32	0.27	NO	A1	31.6875	24.2500	5.33630



Item	Qty	Operation	Location	Unit Price	Ext. Price
200	1	Left	None Assigned	\$3,073.97	\$3,073.97
RO Size: 37" x 80 1/2" Unit Size: 36 1/2" x 80"					

AFDI3068, Unit, E-Series Inswing Door-1 Panel-French, Standard Panel, 4 9/16" Frame Depth, Factory Assembled, Rigid Vinyl w/Integral Vinyl Drip Cap, Dark Bronze Anodized On-Floor Drainage Sill, 4 11/16" Sill Width, 4 11/16" Top Rail Height, 8" Bottom Rail Height, Black 2604 Exterior Frame, Black 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Left, Dual Pane Low-E4 Tempered Argon Fill Full Divided Light (FDL) 3 Wide, 5 High, Specified Equal Light Pattern, Black, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/Ovolo Interior Grille Bar, 5/8" Grille Bar, Ovolo Glass Stop Black Glass / Grille Spacer, Multi-Point - Installed, Newbury, Satin Nickel, Stainless Steel, Exterior Keyed Lock

Trim Set 1: AFDI Left Newbury Satin Nickel PN:2579443

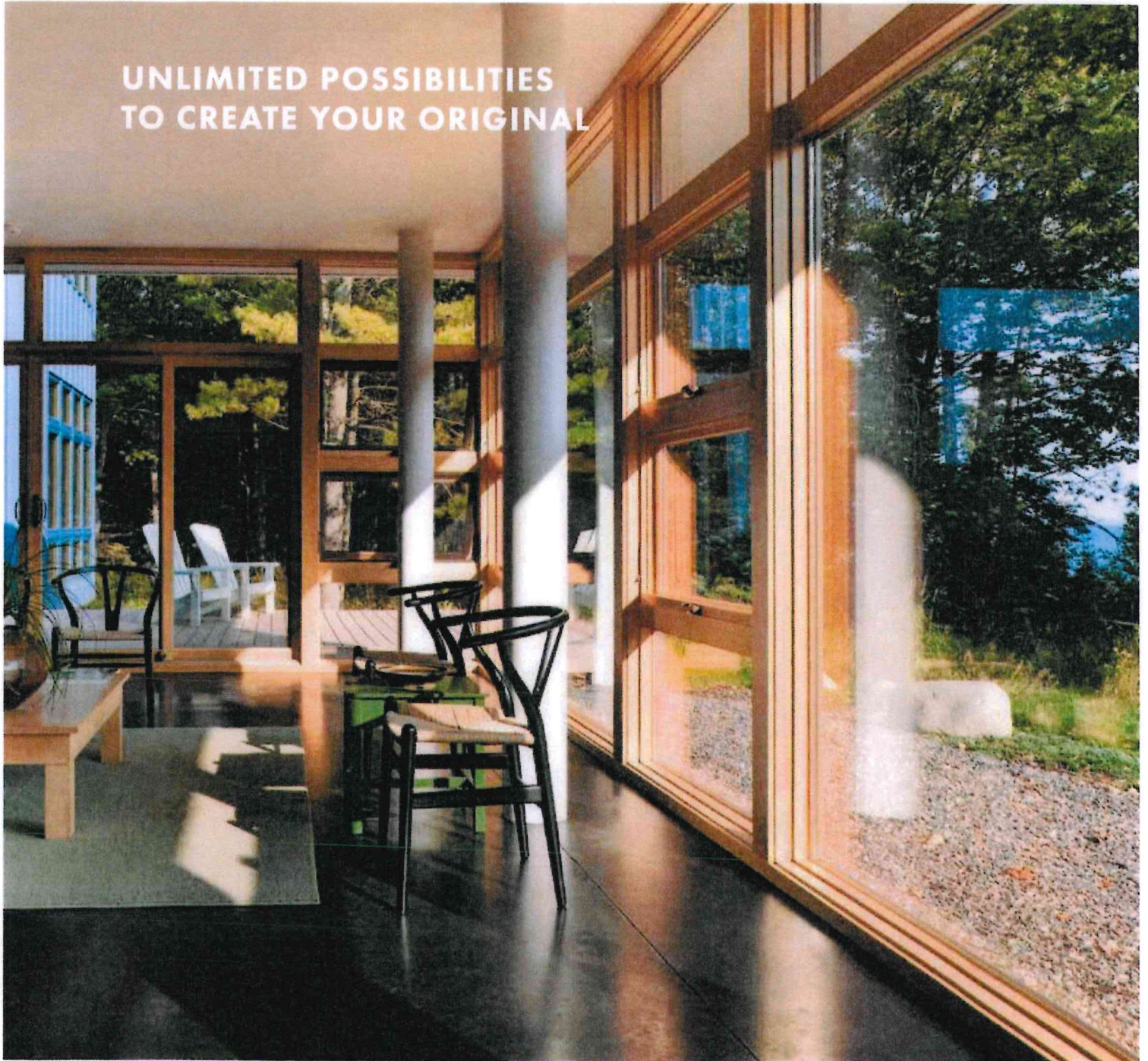
Exterior Keyed Lock 1: AFDI LH Newbury Satin Nickel PN:2579457

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	
A1	0.33	0.21	NO	A1	32.0000	76.3750	16.9722



E-SERIES
Architectural Collection

UNLIMITED POSSIBILITIES
TO CREATE YOUR ORIGINAL





E-SERIES WINDOWS & PATIO DOORS

The inspiration for your home can come from anywhere and with E-Series windows and patio doors from Andersen, you'll find custom colors, unlimited design options and dynamic sizes and shapes to create the home you've always imagined.

Whether you're looking to make a design statement or to simply recreate a classic, E-Series products give you more freedom to use your imagination and create your personal vision of home. And like all Andersen products, they are supported by over 115 years of commitment to quality and service that can only come from one of the most trusted names in the industry. For more information, please visit andersenwindows.com/e-series.





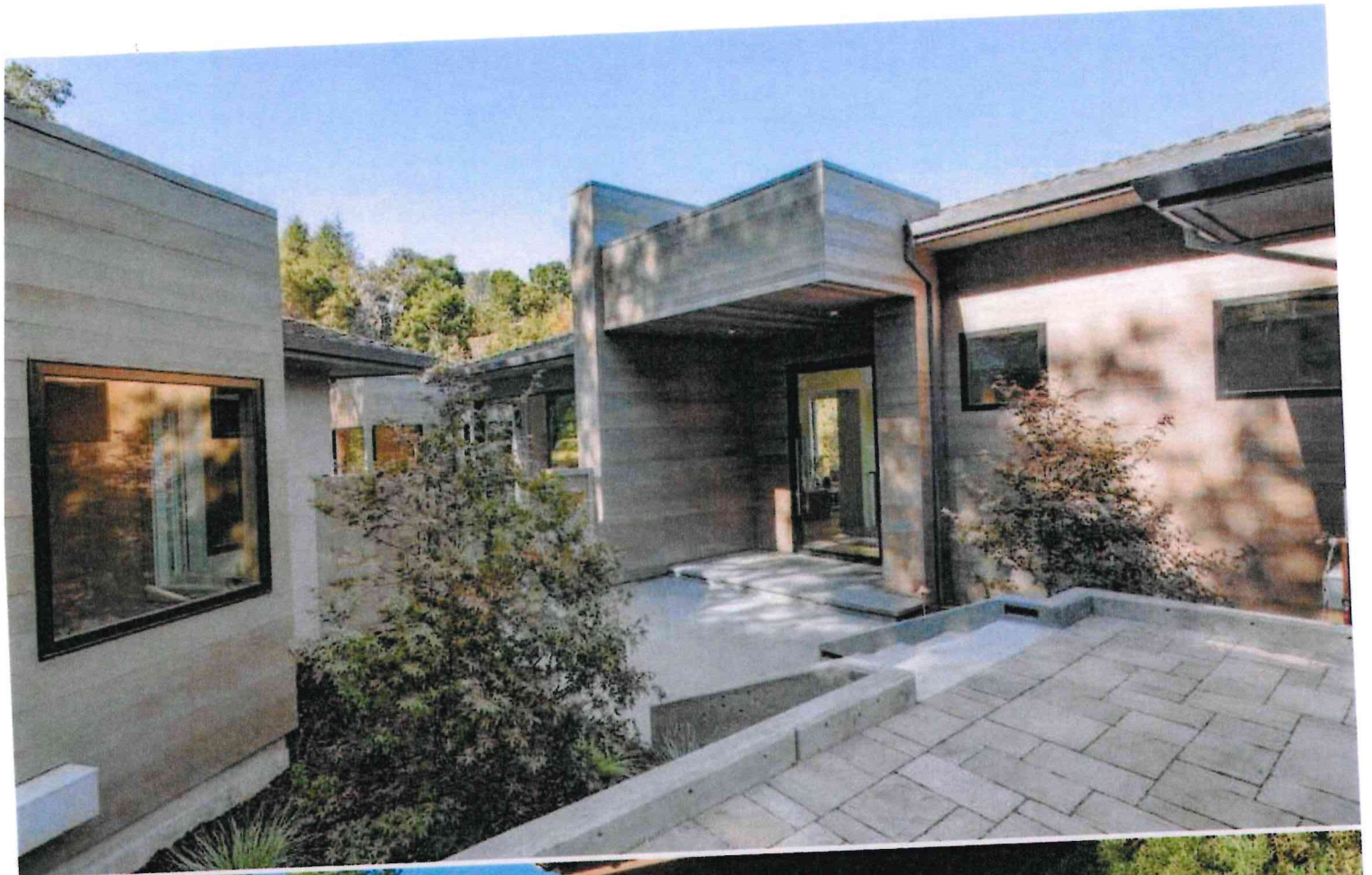
FSB® hardware features clean lines in a satin finish for a thoroughly modern look.



Dark colors and narrow profile options on windows, patio doors and grille options offer a truly contemporary style.

MODERN STYLE MADE EASY

Modern home styles incorporate clean lines, simple forms and open floor plans. They often feature floor-to-ceiling windows or glass doors with narrow profiles to maximize light and bring the outdoors in. Explore our Home Style library to see how E-Series products can help you achieve a modern home style. Visit andersenwindows.com/stylelibrary to learn more.



DO YOU DREAM IN COLOR?

While our large selection of 50 exterior colors covers a lot of ground, inspiration comes in infinite hues. Let us match a paint chip, a photograph or a favorite work of art to bring your dream color into the light of day. Or, choose from a selection of anodized finishes for a rich, lustrous metallic appearance that cannot peel or flake and is not affected by sunlight.

EXTERIOR COLORS



7 ANODIZED FINISHES



Design your window at
andersenwindows.com/design-tool

CUSTOM EXTERIORS OR 2-, 3- AND 4-TONE EXTERIORS

Choose a custom exterior color to get just the right color for your design. And, with our 2-, 3- and 4-tone color combinations, the sky's the limit. Mix and match up to four of our 50 exterior colors for a combination look that's all your own.



Colony white and black

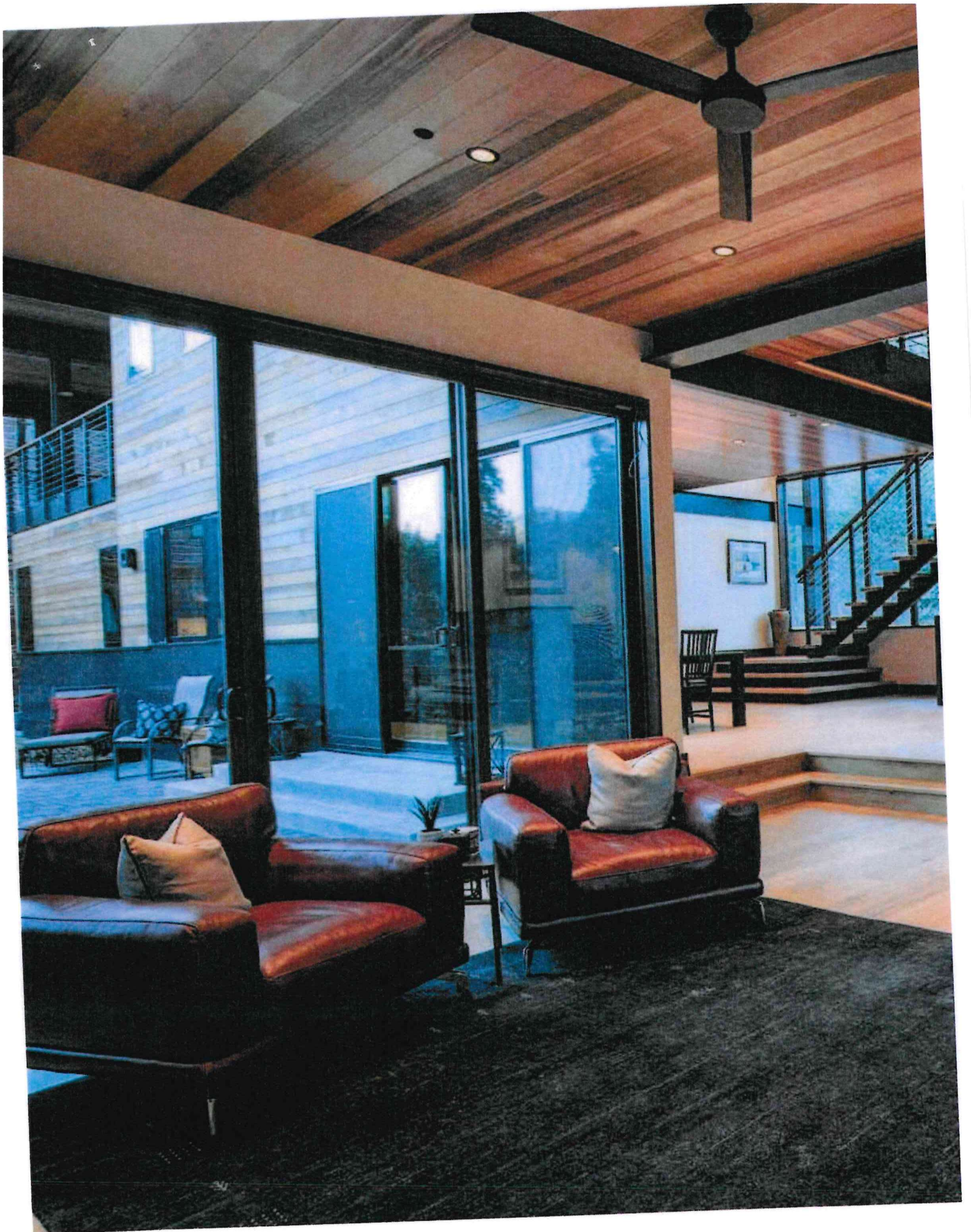
EXTERIOR TRIM

Choose exterior trim in either a flat casing, brick mould or sill nosing profile to add curb appeal to your home.



2" brick mould and 1 1/2" sill nose, shown on a casement window

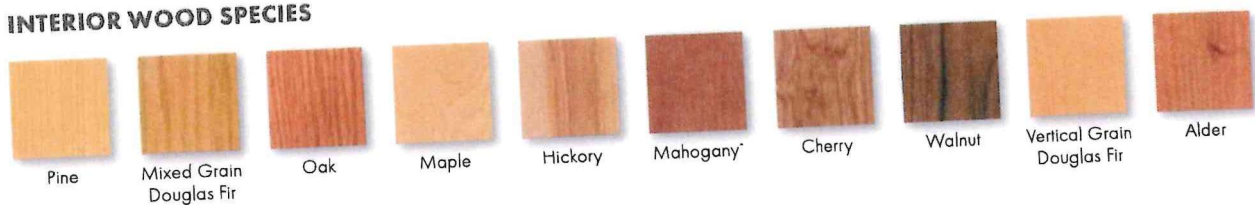
*Visit andersenwindows.com/warranty for details. Printing limitations prevent exact color duplication. Please see your Andersen supplier for actual color samples.



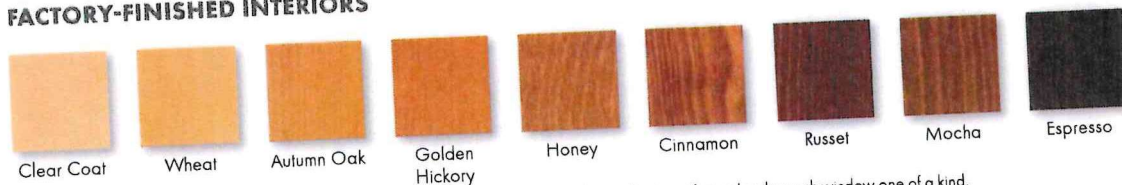
A RANGE OF INTERIORS — INCLUDING YOURS

Our distinctive woods add uncommon flair to any room. Each wood species has its own character, grain and staining capabilities so you can select one that makes your windows stand out or one that matches with your interior décor. Our high-quality, factory-applied stains offer you convenience along with beauty. Choose from a variety of wood finishes or select one of our painted options. Or for a natural look, select our clear coat option.

INTERIOR WOOD SPECIES



FACTORY-FINISHED INTERIORS



All interior finish options are shown on pine. Naturally occurring variations in grain, color and texture of wood make each window one of a kind.

INTERIOR PAINTED OPTIONS



Available on pine.

CUSTOM INTERIORS

Need an exotic wood species to complete your home or a special finish for just the right look or to match existing woodwork? We offer custom wood species and custom stain, paint or color matching for just the right finish to your design.

*Actual wood species is either Sapele or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies.
 **Dark bronze and black also available on maple.
 †Anodized silver is available on maple only.
 Printing limitations prevent exact replication of colors and finishes. Please see your Andersen supplier for actual color and finish samples.



DESIGN VERSATILITY

Extruded aluminum's strength and versatility allow us to offer beautiful made-to-order design solutions for practically any combination of shapes and styles you can imagine. And because our exterior frame, sash and trim components utilize extruded aluminum, our products feature clean, architecturally accurate lines and details to complement your home's style.

ENERGY-SAVING GLASS

We have the glass you need to get the performance you want, including a variety of Low-E4® glass options to help control heating and cooling costs in any climate.

LOW-MAINTENANCE EXTERIORS

Baked-on silicone polyester enamel exteriors offer virtually maintenance-free performance and durability. They're warranted for 10 years against chalking and color change and for 20 years against cracking, checking, peeling, flaking, blistering and loss of adhesion.*

BUILT STRONG

E-Series windows and patio doors are made with heavy-gauge, extruded aluminum-clad wood sash and frames. Our thick cladding offers greater structural capabilities than thinner, roll-form aluminum, while providing a superior exterior finish that resists the elements of inclement weather, abrasion and impact.

BUILT FOR YEARS TO COME*

Most other window and patio door warranties end when a home is sold, but our coverage — 20 years on glass, 10 years on non-glass parts — transfers from each owner to the next. And because it is not prorated, the coverage offers full benefits, year after year, owner after owner.* So it adds real value when you decide to sell your home.

OWNER2OWNER
LIMITED WARRANTY

*Visit andersenwindows.com/warranty for details.

BEST-IN-CLASS GLASS

Glass can affect energy efficiency more than any other part of a window or patio door — and not all glass performs the same. Some types of glass do a better job at insulating your home. Others provide greater clarity. You can even choose glass to filter out specific kinds of light. Andersen offers one of the industry’s widest arrays of glass options, enabling you to find the right choice for your climate and your home. Choose from these High-Performance glass options.

GLASS	ENERGY		LIGHT	
	U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™ Thermal control similar to tinted glass, with visible light transmittance similar to Low-E4 glass.	● ● ● ● ○	● ● ● ● ●	● ● ● ● ○	● ● ● ● ●
SmartSun with HeatLock® Coating Applied to the room-side surface, it reflects heat back into the home and improves U-factors values.	● ● ● ● ●	● ● ● ● ●	● ● ● ● ○	● ● ● ● ●
Low-E4® Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ● ○	● ● ● ● ○	● ● ● ● ○	● ● ● ● ○
Low-E4 with HeatLock Coating Applied to the room-side surface, it reflects heat back into the home and improves U-factor values.	● ● ● ● ●	● ● ● ● ○	● ● ● ● ○	● ● ● ● ○
Sun Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ● ○	● ● ● ● ●	● ● ● ● ○	● ● ● ● ○
PassiveSun® Ideal for northern, passive solar construction applications where solar heat gain is desired.	● ● ● ● ○	● ○ ○ ○ ○	● ● ● ● ○	● ● ● ● ○
Triple-Pane with Low-E coatings on two surfaces Three panes of glass combine with either argon gas blend air or Low-E coatings to provide enhanced energy performance.	● ● ● ● ●	● ● ● ● ○	● ● ● ● ○	● ● ● ● ●
Clear Dual-Pane High visibility with basic thermal performance.	● ○ ○ ○ ○	○ ○ ○ ○ ○	● ● ● ● ●	○ ○ ○ ○ ○

Center of glass performance only. Ratings based on glass options as of May 2021. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.

HEATLOCK® TECHNOLOGY

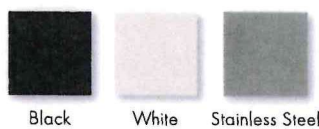
Our HeatLock coating can increase the energy efficiency of any E-Series window or patio door with Low-E4 or SmartSun glass. Applied to the room-side glass surface, it reflects heat back into the home for improved performance.

SPECIALTY GLASS

Select from our decorative glass collections or combine beveled, frosted, grooved, colored or textured glass with three coming options to create your own design. Specialty glass includes tinted glass, spandrel glass and Mapes panels as well as rain, reeded, satin etch and obscure glass options.

GLASS SPACER OPTIONS

Choose from stainless steel, black or white glass spacers to create a customized look. Add full divided light grilles and the grille spacer bar between the glass will match the selected glass spacer color.



STORMWATCH® PATIO DOORS

Andersen® E-Series patio doors are available with impact-resistant glass and structural upgrades to meet the tough building codes of hurricane-prone coastal areas. Visit andersenwindows.com/coastal for more information and see your local building code official for specific requirements in your area.



For more details on glass options, visit andersenwindows.com/glass.



DESIGNS TO MATCH ANY STYLE

E-Series patio door hardware* is available in a variety of different designs to match virtually any style. Additional hardware options such as exterior keyed locks, matching hinge finishes and more are also available.



Bold name denotes finish shown.

HARDWARE FINISHES



*Hardware sold separately.

Tribeca and Albany hardware are zinc die cast with powder-coated durable finish. Other hardware is solid forged brass. Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use. Bright brass and satin nickel finishes on patio door hardware feature a 10-year limited warranty. Matching hinges available in most finishes for inswing patio doors. Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

DETAILS THAT MAKE AN IMPACT

E-Series window hardware* offers you the styles and finishes to enhance or complement any home's décor and style.

Casement & Awning



Operator Handle & Cover

Antique Brass | Black | Bright Chrome
Bronze | Gold | Oil Rubbed Bronze | Pewter
Polished Brass | Satin Chrome | White

French Casement



Operator Handle & Cover



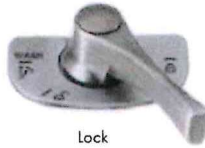
Sash Lock

Antique Brass | **Black**
Bright Chrome | Bronze
Polished Brass
Satin Chrome | White

Double-Hung



Sash Lift



Lock

Antique Brass | Black | Bright Chrome | Bronze | Gold
Oil Rubbed Bronze | **Pewter** | Polished Brass | Satin Chrome | White

Gliding Windows

Antique Brass
Black | Bright Chrome
Bronze | Gold
Oil Rubbed Bronze
Pewter | Polished Brass
Satin Chrome | White



Lock



Black
Bronze
White

Slim Line Sash Pull

Bold name denotes finish shown.

HARDWARE FINISHES

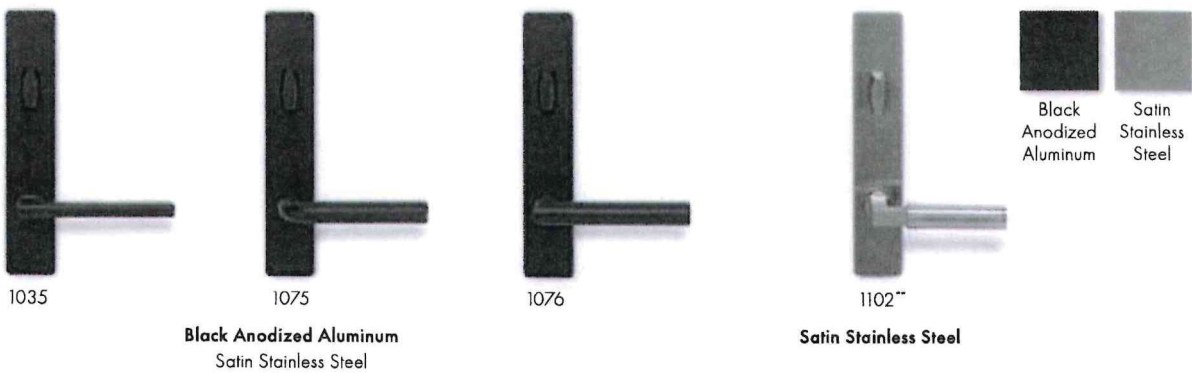


*Hardware sold separately.
Oil rubbed bronze is a "living" finishes that will change with time and use.
Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.



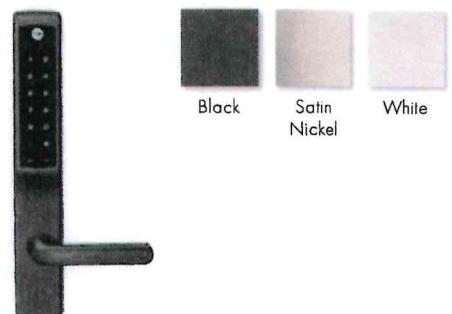
FSB® HINGED PATIO DOOR HARDWARE

Durable FSB hinged door hardware* features clean lines and a sleek finish for a thoroughly modern look.



YALE® ASSURE LOCK®

Monitor, lock and unlock from anywhere with the Yale Assure Lock.† This slim, sleek keyless lock is designed exclusively for Andersen® hinged patio doors† and integrates with a wide range of smart home platforms.



*Hardware sold separately.

**FSB style 1102 is not available in black anodized aluminum.

†Available on select hinged doors, see your Andersen supplier for details.

Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

All marks where denoted are trademarks of their respective owners. Yale manufactures and supports the limited warranty for Yale Assure Lock for Andersen patio doors.

BETWEEN-THE-GLASS BLINDS & SHADES

Privacy options you simply have to see. E-Series blinds or shades between the glass provide the ultimate in practicality for your home. Our systems not only protect the blinds or shades, they also greatly reduce your cleaning time. Which means with Andersen, you have both privacy and convenience at your fingertips.



System 3 Shades

System 3 Blinds

BLINDS-BETWEEN-THE-GLASS

Blinds-between-the-glass can be added to many of our patio doors and rectangular picture windows. The blinds are placed between two panes of glass, available in three popular colors and can tilt, raise or lower* conveniently with a single control cord.



Control Cord

Blinds



Almond

Tan

White

SYSTEM 3 BLINDS & SHADES

System 3 blinds and shades create a triple-glazed window that provides greater energy efficiency and protects your blind or shade from damage. They are perfect for casement, awning and picture windows, and hinged patio doors. Frames are available in tan, gold, white or wood veneer.

Blinds



Almond

Tan

White

Shades



Almond

Pearl

Vanilla

Winter White

Control Knobs



Bronze

White

Black

Gold

*Not all sizes of blinds-between-the-glass are retractable.

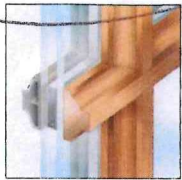
Printing limitations prevent exact color duplication. Please see your Andersen supplier for actual color samples.

ARCHITECTURALLY AUTHENTIC GRILLES

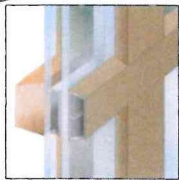
We offer a variety of grille styles and patterns to choose from, or design your own with varying lines, curves and shapes.

FULL DIVIDED LIGHT

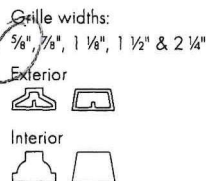
Features permanent interior and exterior grilles with grille spacer bars between two panes of insulating glass. A traditional divided light look with modern energy efficiency.



Chamfer -
Ovolo (colonial)

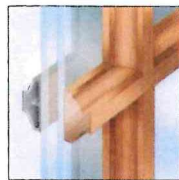


Contemporary -
Contemporary

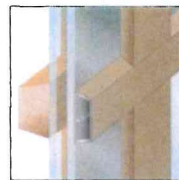


SIMULATED DIVIDED LIGHT

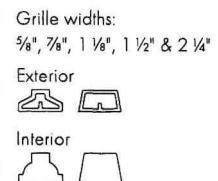
An economical solution featuring permanent interior and exterior grilles without grille spacer bars.



Chamfer -
Ovolo (colonial)

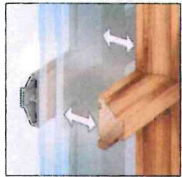


Contemporary -
Contemporary

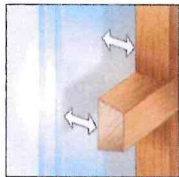


REMOVABLE INTERIOR WOOD GRILLES

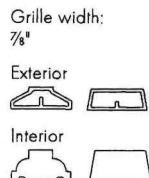
Removable interior wood grilles. Available with optional surround and an optional permanent exterior grille, shown to left below.



Chamfer -
Ovolo (colonial)

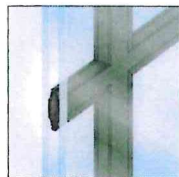


Contemporary

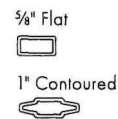


FINELIGHT™ GRILLES-BETWEEN-THE-GLASS

Aluminum grilles conveniently placed between two panes of glass for easy cleaning inside and out.



Contoured



Flat grilles are available in colony white, sierra bronze, pebble tan and forest green.

Contoured grilles are available in all 50 colors and two-tone combinations. colony white paired with black, sierra bronze, pebble tan or forest green.

SCREEN OUT THE INSECTS, NOT THE VIEW

E-Series insect screens let the beauty of the outdoors in, while keeping even small insects out. Choose from a wide selection of insect screen styles, including options that blend seamlessly with your window.

TRUSCENE® INSECT SCREENS*

TruScene insect screens for windows are made with a micro-fine stainless steel mesh that offers 50% more clarity than our conventional aluminum mesh insect screens. TruScene insect screens let in 25% more fresh air;** all while keeping out unwanted small insects.

WOOD VENEER INSECT SCREENS

For a clean appearance, E-Series interior window insect screens can feature a wood veneer to blend into your window.

RETRACTABLE INSECT SCREENS FOR WINDOWS AND PATIO DOORS

Retractable insect screens for casement and awning windows offer a sleek addition to any home. In place, the insect screen keeps insects out. When retracted, it provides a beautiful clear view.

For patio doors†, retractable insect screens are built with an innovative color-matched housing that hides the insect screen when not in use. It's there when you need it and gone when you don't.

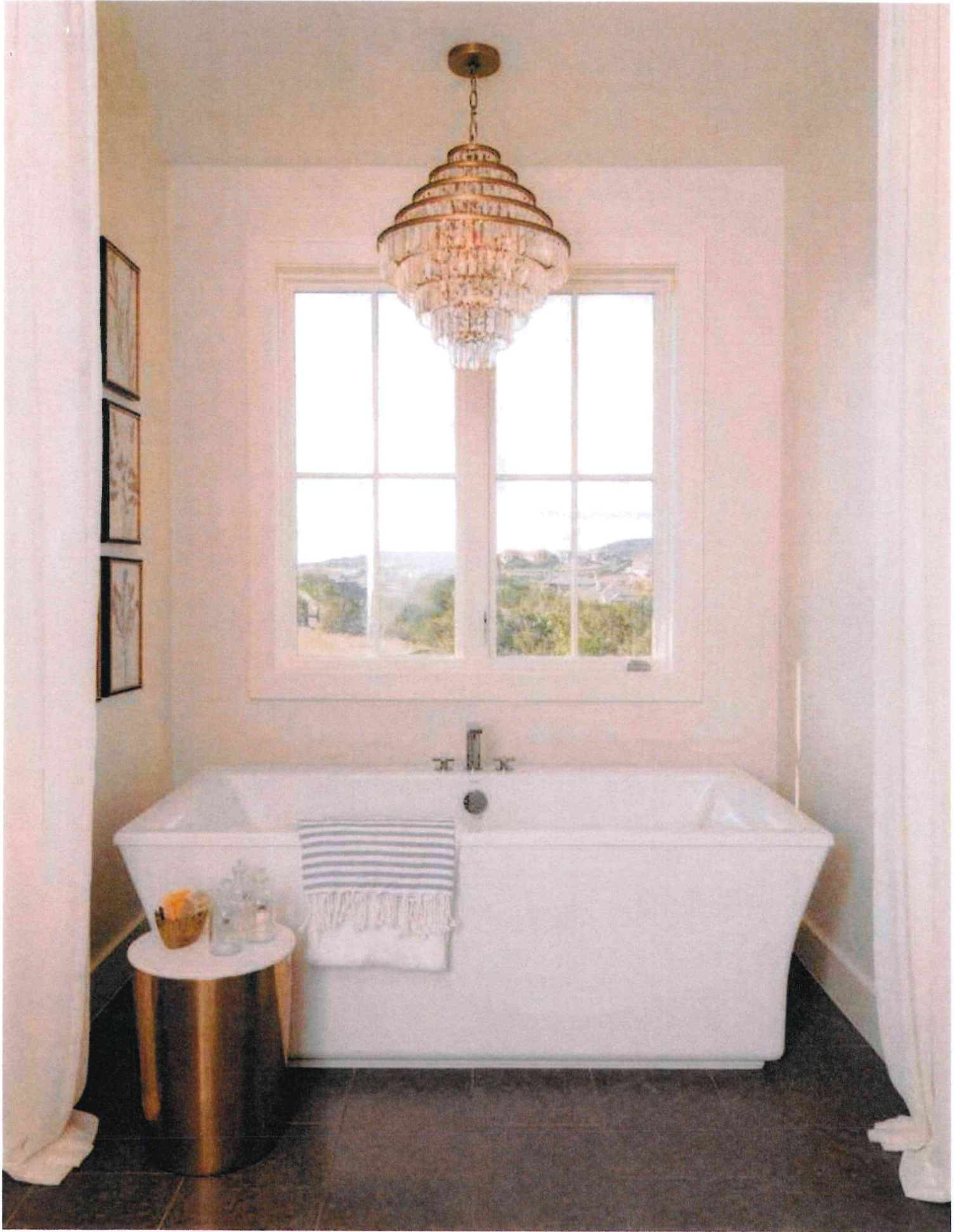


Retractable insect screen for casement and awning windows.

*TruScene wood-veneered insect screens utilize a different frame profile than other E-Series wood-veneered insect screens.

**TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

†Retractable insect screens are available on hinged inswing, hinged outswing and gliding patio doors. See your Andersen supplier for details.





THE ENVIRONMENT HAS A BUSINESS PARTNER

Respect for the environment is nothing new at Andersen. For more than a century, it's been part of who we are. Our commitment to recycle and reclaim materials began simply because it was good business. Now it's part of our broader commitment to sustainability and responsible stewardship of all our resources. Andersen is committed to providing you with long-lasting,* energy-efficient windows and doors. Visit andersenwindows.com/sustainability for more information.



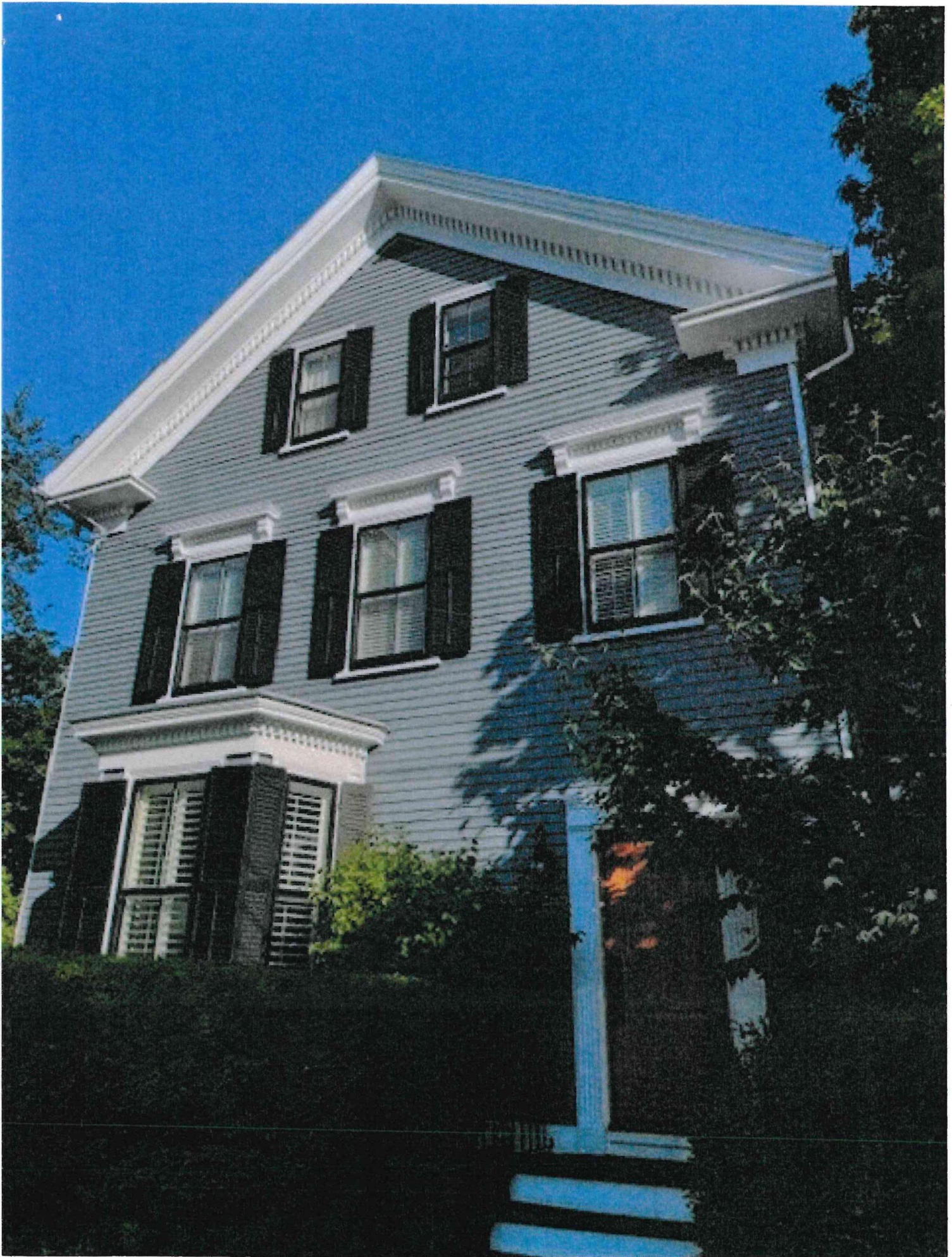
Andersen makes windows and doors with options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.



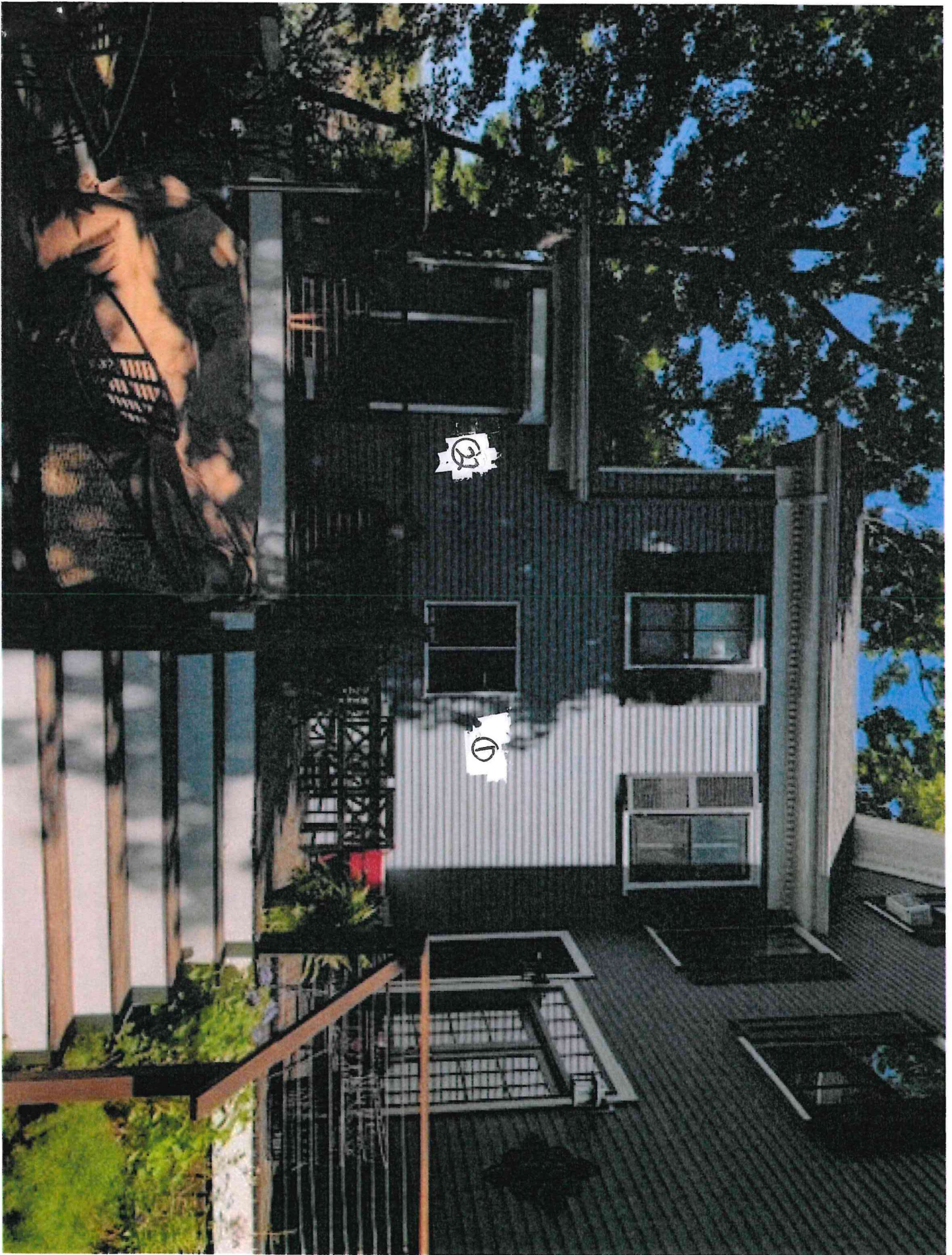
Andersen is a charter member of the **U.S. Green Building Council** and a strong supporter of its LEED® (Leadership in Energy and Environmental Design) National Green Building Standard rating system.

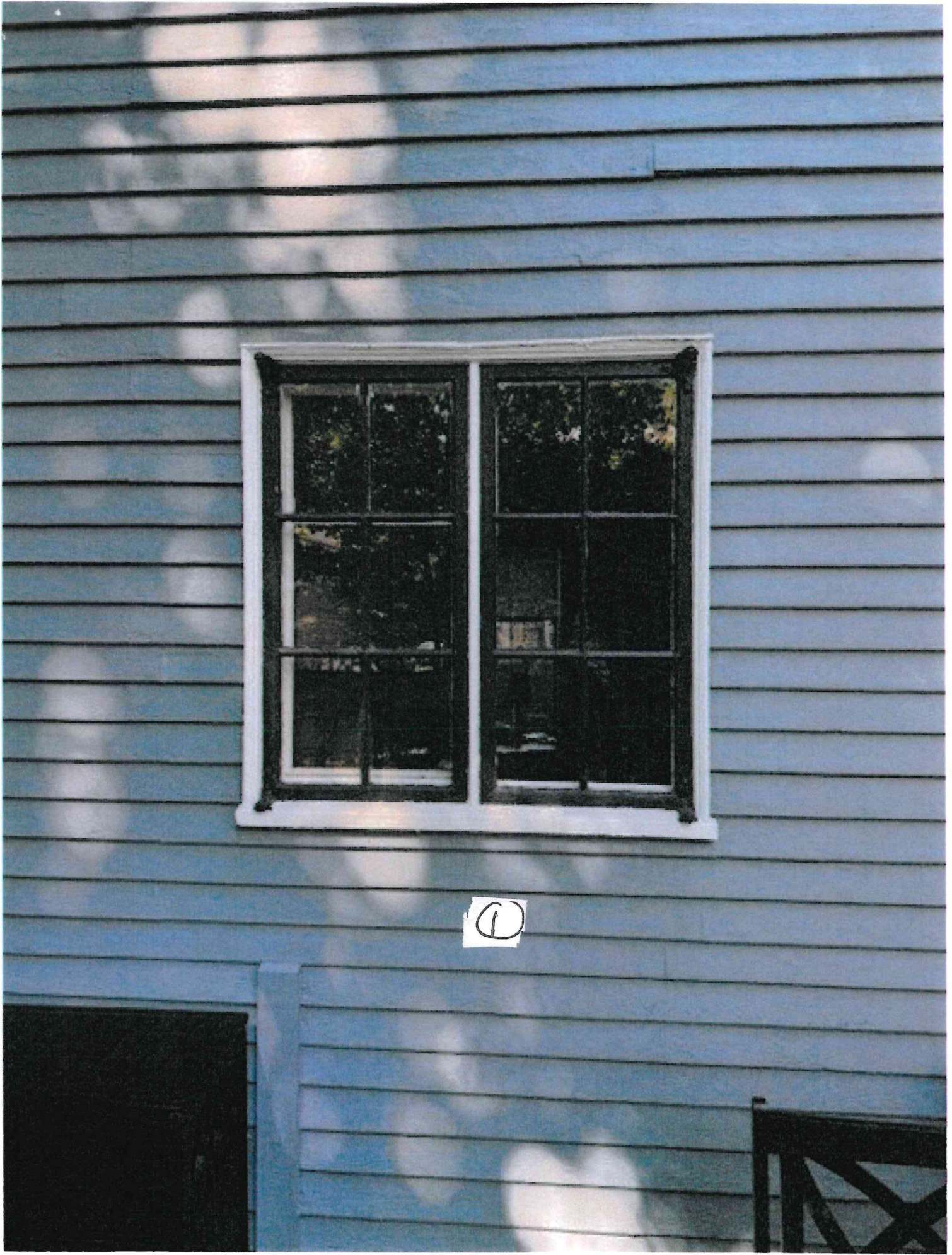


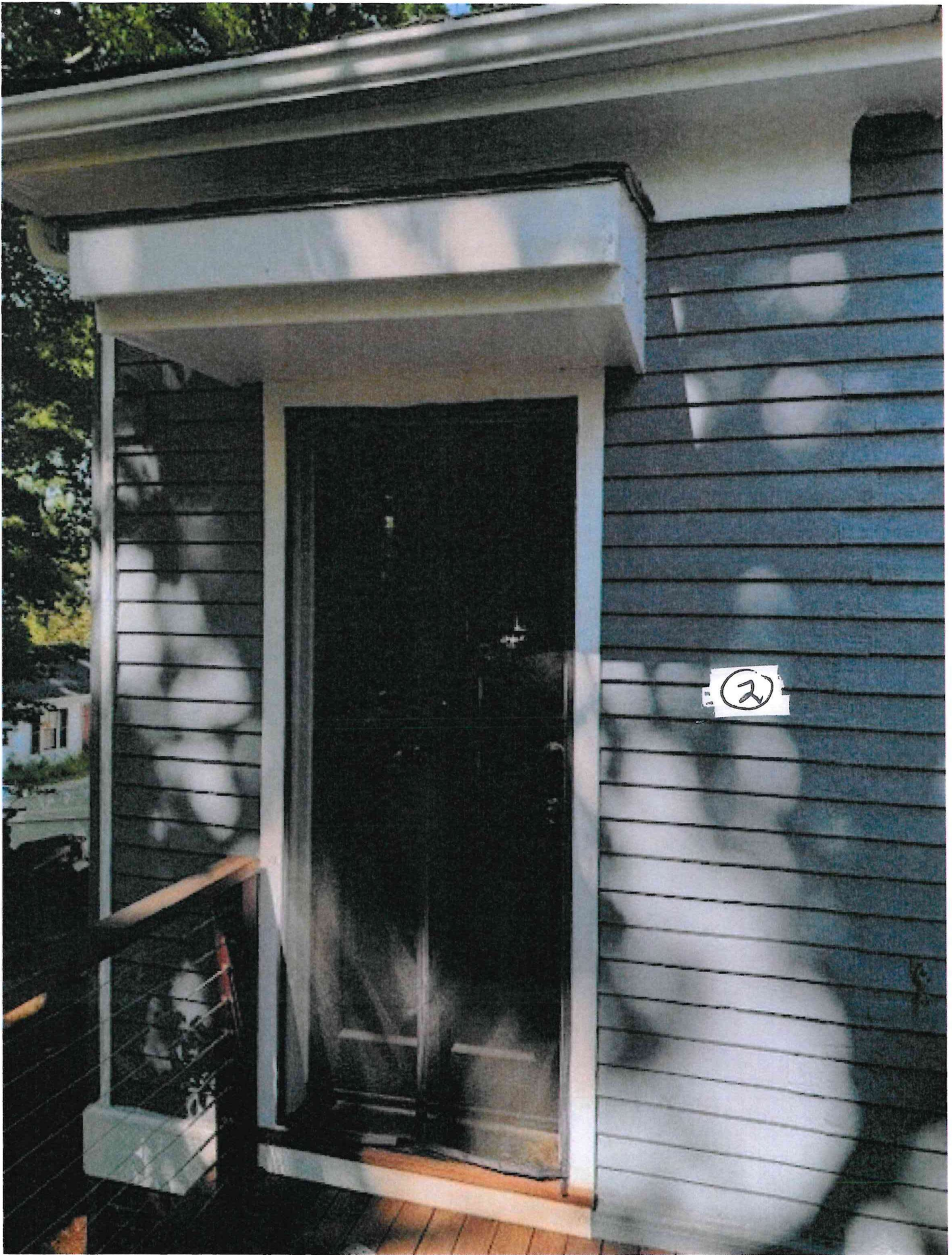
*Visit andersenwindows.com/warranty for details.
All trademarks where denoted are marks of their respective owners.
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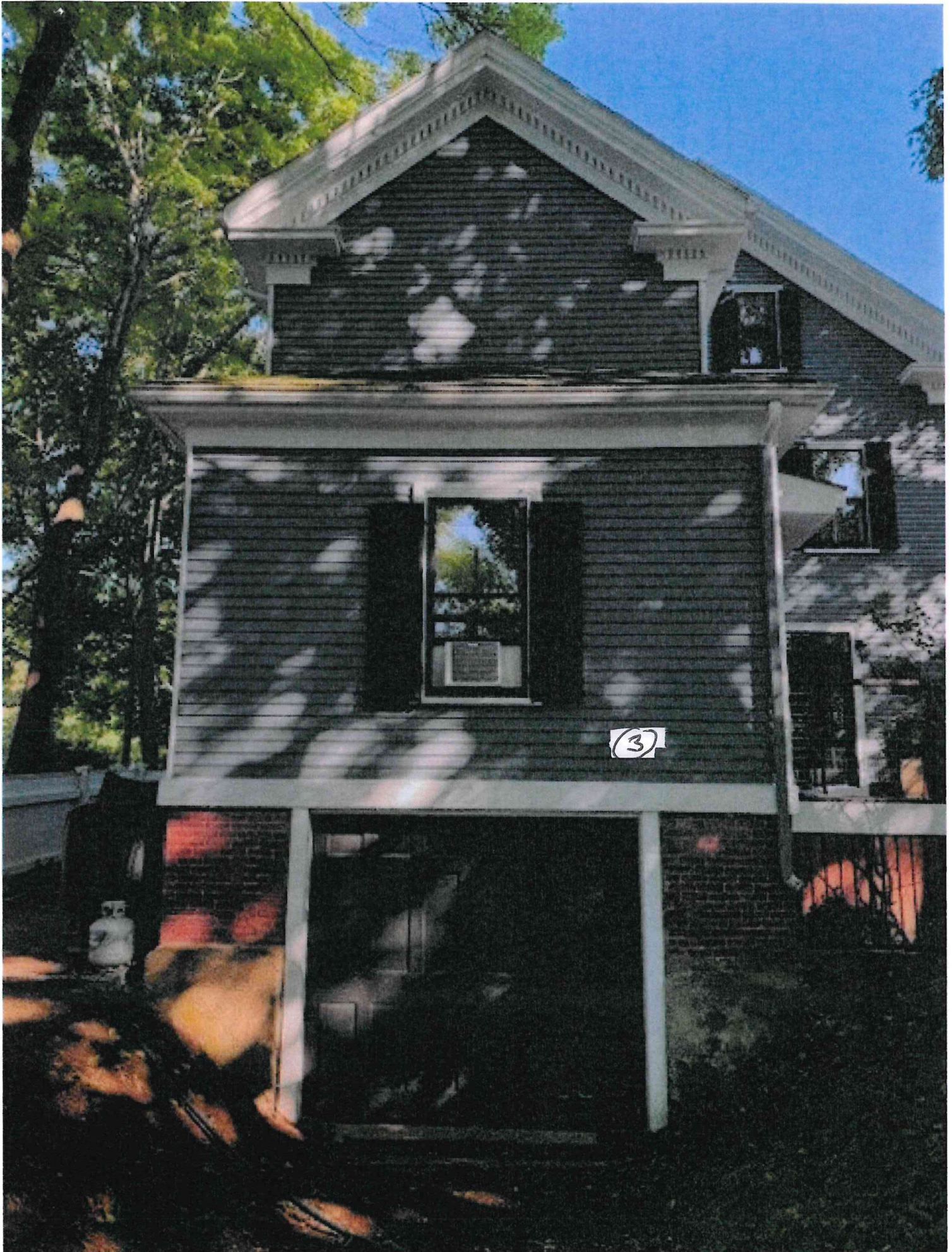
514 Middle St - Front view

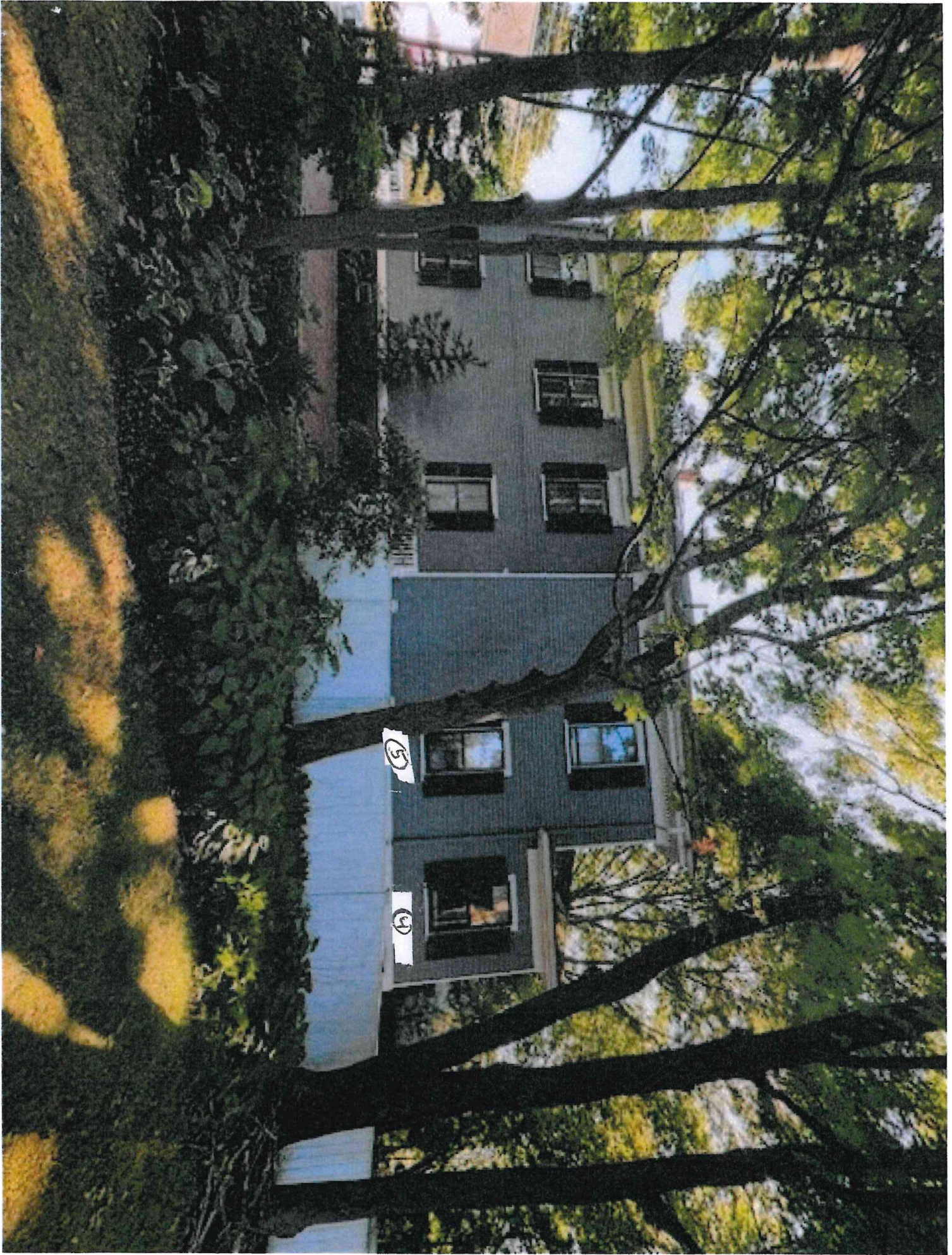














6-

Project Address: 68 South Street, Unit #1

Permit Requested: Certificate of Approval

Application: Public Hearing 4



A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 4,750 SF +/-
- Estimated Age of Structure: c.1820
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: South Street
- Unique Features: N/A
- Neighborhood Association: South End

B. Proposed Work: Replacement windows on 68 South Street, Unit #1

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replacement Windows to match the already approved Marvin Elevate windows in the adjacent unit- 66 South Street.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

Request for Window Replacement and Exterior Painting for 68 South Street

John R and Catherine Ann Hazelton request to allow new paint on the exterior siding and trim of the house and the replacement of current windows on the entire house.

The exterior paint color will be the same as the adjacent unit of 66 South Street.

The replacement windows will be the same as the newly replaced windows on the adjacent unit of 66 South Street. Full frame windows will replace the existing vinyl and metal framed windows (the current windows are not original to the house). All wood trim details will remain, with only rot or damaged wood to be replaced in kind. The replacement windows will be black **Marvin Elevate Double Hung**. The muntins will be on the exterior of the window.



On the west side (the front of the house) all 9 windows will be replaced. The 4 windows on the lower level will remain nine over six. The 5 windows on the second level will remain six over six. See photo below:



On the north side of the house all 3 windows will be replaced. The 1 window on the lower level will remain six over six. The 1 window on second level will remain six over six. The 1 window on the third level will remain six over six. See photo below:



On the south side of the house all 3 windows will be replaced. The 1 window on the lower level will remain nine over six. The 1 window on the second level will remain six over six. The 1 window on the third level will be six over six. See photo below:



On the west side (the back corner of the house) all 3 windows will be replaced. The 1 window on the lower level on the left will remain nine over six. The 1 window on the lower level on the right will remain six over six. The second level window will remain six over six. See photo below:



Project Address: 50 South School Street, Unit #3

Permit Requested: Certificate of Approval

Application: Public Hearing 5



A. Property Information - General:

Existing Conditions:

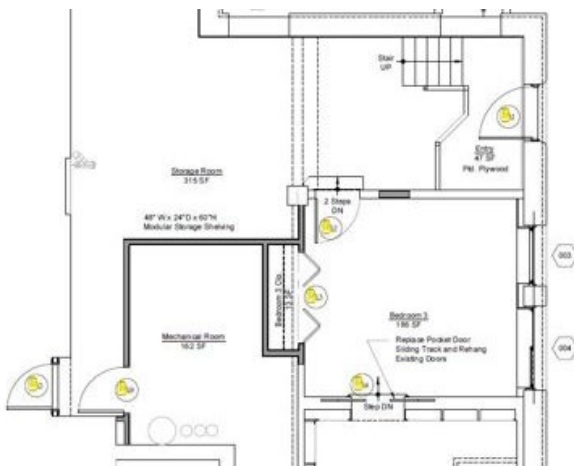
- Zoning District: General Residence B (GRB)
- Land Use: Residential (Old School House)
- Land Area: 15,957 SF +/-
- Estimated Age of Structure: c.1846, Remodeled 1895
- Building Style: Richardsonian Romanesque
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: South School Street
- Unique Features: N/A
- Neighborhood Association: South End

B. Proposed Work: Replace rear yard facing basement windows on Unit #3

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace basement windows on nit #3



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties







New basement door:

STEEL DOOR, SGL, LH, IS, 3-6, REDUCE DOOR 2

CUTS, UNIT DIMENSION,

1 zz_DOORS_0693 1 ea 733.04 ea 733.04

60 3/4" UD HGT, 3-6X6-8, 1 3/4" CT100 FLUSH

STEEL DR NO HINGE

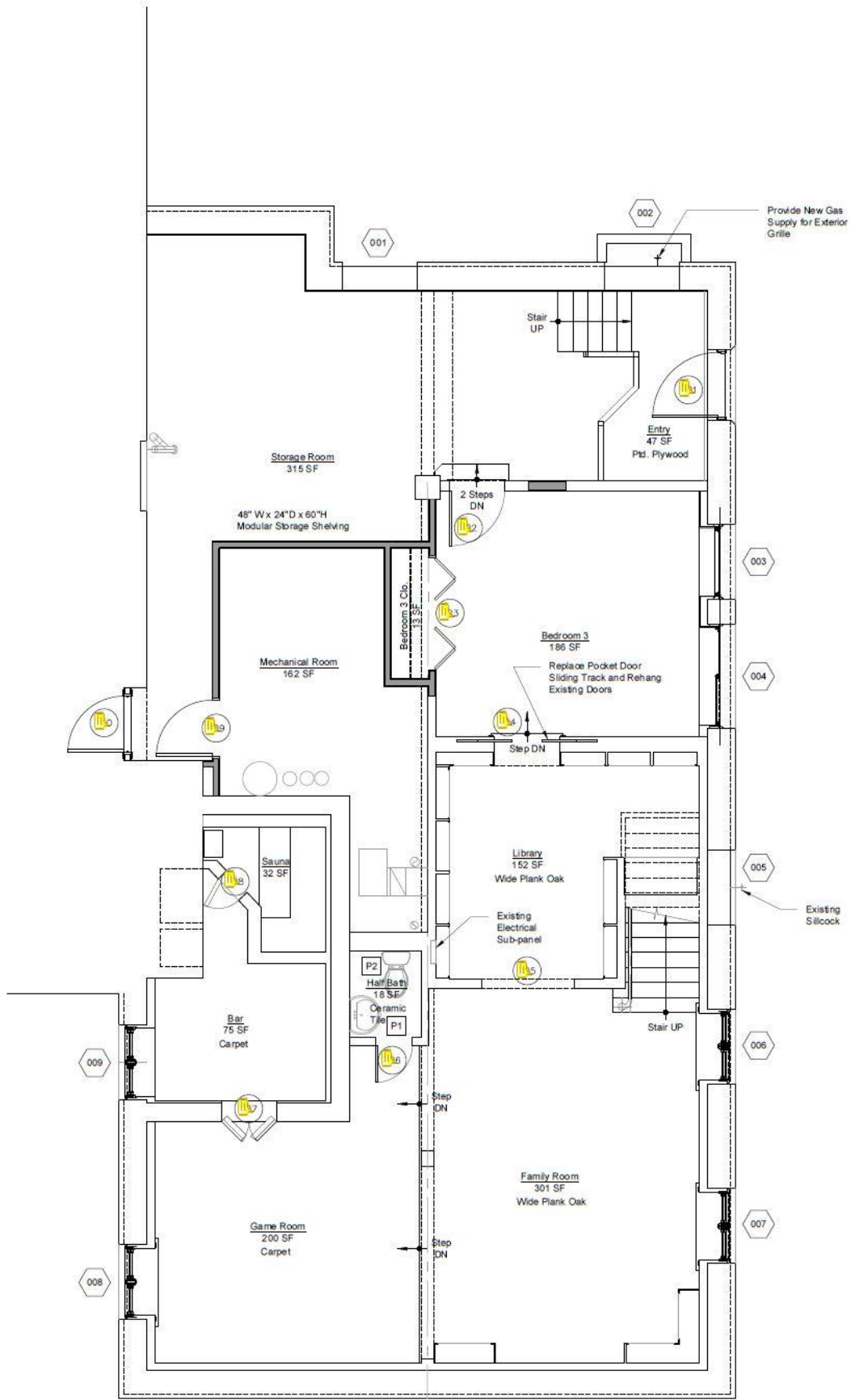
PREP, SGL BORE & 218 DBLT BORE, PREP JAMB

FOR DBLT, ZINC

DICHROMATE HINGE, 6-9/16, FJP FRAME, BRONZE

COMPRESSION WS, ALUM

BRONZE SILL, NO CASING, 3-1/2 HORNS





Contract - Detailed

Pella of Natick
583 Worcester Street
Natick, MA 01760

Sales Rep Name: Ball, Donald
Sales Rep Phone: 978-382-8933
Sales Rep Fax:
Sales Rep E-Mail: balldc@pellaboston.com

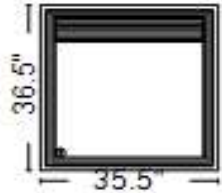
Customer Information	Project/Delivery Address	Order Information
DEGEORGE HOME IMPROVEMENTS 1 Boston Way Unit 202 Newburyport, MA 01950 Primary Phone: (617) 9011414 Mobile Phone: (617) 9011414 Fax Number: E-Mail: louisdegeorge@hotmail.com Contact Name: Great Plains #: 1001933460 Customer Number: 1006442569 Customer Account: 1001933460	50 S School St UNIT 3 Portsmouth, NH 03801 50 S School St UNIT 3 Lot # PORTSMOUTH, NH 03801 County: ROCKINGHAM Owner Name: DEGEORGE HOME IMPROVEMENTS Owner Phone: (617) 9011414	Quote Name: 50 S School St UNIT 3 Portsmouth, NH 03801 Order Number: 185 Quote Number: 18587451 Order Type: Non-Installed Sales Wall Depth: Payment Terms: Deposit/C.O.D. Tax Code: MA TAX 6.25 Cust Delivery Date: None Quoted Date: 8/26/2024 Contracted Date: Booked Date: Customer PO #:

Customer Notes: PELLA LIFESTYLE SERIES
CASEMENTS AND FIXED DIRECT SET
PORTOBELLO SEACOAST ENDURA CLAD EXTERIOR
UNFINISHED PINE INTERIOR (TO BE STAINED IN FIELD TO ATTEMPT STAIN MATCHED INT)
ADVANCED LOW E GLAZING - SEE PERFORMANCE INFO
TEMPERED IN ALL UNITS
CHAMPAGNE FOLD AWAY HARDWARE - TO BE CONFIRMED
CHAMPAGNE SCREENS - TO BE CONFIRMED
NO GRILLES
NO JAMB EXTENSIONS
NAIL FIN INSTALLATION

8-29-24 CHANGED BED ROOM UNITS TO TRIPLE PANE WITH BLINDS BETWEEN THE GLASS (WHITE)

Line #	Location:	Attributes		
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10	003 BASEMENT BED	Lifestyle, Sash Set, Fixed, 35.5 X 36.5, With HGP, Portobello	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$1,232.37	1	\$1,232.37



PK #
2174

Viewed From Exterior

1: 35.536.5 Fixed Sash Set
Frame Size: 35 1/2 X 36 1/2
Unit Type: No Program
General Information: No Package, With Hinged Glass Panel, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Seacoast Enduraclad, Portobello
Interior Color / Finish: Unfinished Interior
Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hinge Panel: Clear, Tempered
Hardware Options: Champagne
Unit Accessories: Snap-In Between-The-Glass Blind Bottom-Up, White, Manual
Performance Information: U-Factor 0.22, SHGC 0.27, VLT 0.49, CPD PEL-N-244-00363-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 34, OITC 27
Grille: No Grille,
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 144".

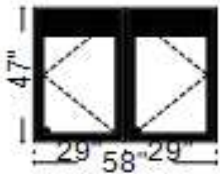
Rough Opening: 36 - 1/4" X 37 - 1/4"

Line #	Location:	Attributes
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15 004 BASEMENT EGRESS

Lifestyle, 2-Wide Casement, 58 X 47, With HGP, Portobello

Item Price	Qty	Ext'd Price
\$2,530.17	1	\$2,530.17



PK #
2174

Viewed From Exterior

1: 2947 Left Casement
Frame Size: 29 X 47
Unit Type: No Program
General Information: No Package, With Hinged Glass Panel, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Seacoast Enduraclad, Portobello
Interior Color / Finish: Unfinished Interior
Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hinge Panel: Clear, Tempered
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Champagne, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, Champagne, InView™
Unit Accessories: Snap-In Between-The-Glass Blind Bottom-Up, White, Manual
Performance Information: U-Factor 0.24, SHGC 0.27, VLT 0.49, CPD PEL-N-245-00363-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 32, OITC 26, Clear Opening Width 20, Clear Opening Height 42.875, Clear Opening Area 5.954861, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,

2: 2947 Right Casement
Frame Size: 29 X 47
Unit Type: No Program
General Information: No Package, With Hinged Glass Panel, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Seacoast Enduraclad, Portobello
Interior Color / Finish: Unfinished Interior
Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hinge Panel: Clear, Tempered
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Champagne, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, Champagne, InView™
Unit Accessories: Snap-In Between-The-Glass Blind Bottom-Up, White, Manual
Performance Information: U-Factor 0.24, SHGC 0.27, VLT 0.49, CPD PEL-N-245-00363-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 32, OITC 26, Clear Opening Width 20, Clear Opening Height 42.875, Clear Opening Area 5.954861, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 210".

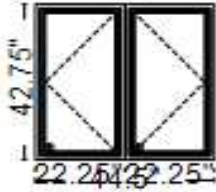
Rough Opening: 58 - 3/4" X 47 - 3/4"

Line #	Location:	Attributes
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20 006 STAIRS

Lifestyle, 2-Wide Casement, 44.5 X 42.75, Without HGP, Portobello

Item Price	Qty	Ext'd Price
\$1,597.30	1	\$1,597.30



PK #
2174

Viewed From Exterior

1: Non-Standard Size Non-Standard Size Left Casement

Frame Size: 22 1/4 X 42 3/4

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Seacoast Enduraclad, Portobello

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Champagne, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor

Screen: Full Screen, Champagne, InView™

Performance Information: U-Factor 0.28, SHGC 0.27, VLT 0.51, CPD PEL-N-14-00685-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 25, OITC 22, Clear Opening Width 12.5, Clear Opening Height 38.625, Clear Opening Area 3.352865, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: No Grille,

2: Non-Standard Size Non-Standard Size Right Casement

Frame Size: 22 1/4 X 42 3/4

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Seacoast Enduraclad, Portobello

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Champagne, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor

Screen: Full Screen, Champagne, InView™

Performance Information: U-Factor 0.28, SHGC 0.27, VLT 0.51, CPD PEL-N-14-00685-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 25, OITC 22, Clear Opening Width 12.5, Clear Opening Height 38.625, Clear Opening Area 3.352865, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: No Grille,

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 175".

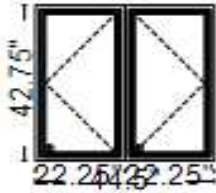
Rough Opening: 45 - 1/4" X 43 - 1/2"

Line #	Location:	Attributes
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25 007 NEXT TO STAIRS

Lifestyle, 2-Wide Casement, 44.5 X 42.75, Without HGP, Portobello

Item Price	Qty	Ext'd Price
\$1,597.30	1	\$1,597.30



PK #
2174

Viewed From Exterior

1: Non-Standard Size Non-Standard Size Left Casement

Frame Size: 22 1/4 X 42 3/4

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Seacoast Enduraclad, Portobello

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Champagne, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor

Screen: Full Screen, Champagne, InView™

Performance Information: U-Factor 0.28, SHGC 0.27, VLT 0.51, CPD PEL-N-14-00685-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 25, OITC 22, Clear Opening Width 12.5, Clear Opening Height 38.625, Clear Opening Area 3.352865, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: No Grille,

2: Non-Standard Size Non-Standard Size Right Casement

Frame Size: 22 1/4 X 42 3/4

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Seacoast Enduraclad, Portobello

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Champagne, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor

Screen: Full Screen, Champagne, InView™

Performance Information: U-Factor 0.28, SHGC 0.27, VLT 0.51, CPD PEL-N-14-00685-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 25, OITC 22, Clear Opening Width 12.5, Clear Opening Height 38.625, Clear Opening Area 3.352865, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: No Grille,

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 175".

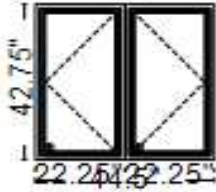
Rough Opening: 45 - 1/4" X 43 - 1/2"

Line #	Location:	Attributes
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30 008 WORKOUT

Lifestyle, 2-Wide Casement, 44.5 X 42.75, Without HGP, Portobello

Item Price	Qty	Ext'd Price
\$1,597.30	1	\$1,597.30



PK #
2174

Viewed From Exterior

1: Non-Standard Size Non-Standard Size Left Casement

Frame Size: 22 1/4 X 42 3/4

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Seacoast Enduraclad, Portobello

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Champagne, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor

Screen: Full Screen, Champagne, InView™

Performance Information: U-Factor 0.28, SHGC 0.27, VLT 0.51, CPD PEL-N-14-00685-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 25, OITC 22, Clear Opening Width 12.5, Clear Opening Height 38.625, Clear Opening Area 3.352865, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: No Grille,

2: Non-Standard Size Non-Standard Size Right Casement

Frame Size: 22 1/4 X 42 3/4

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Seacoast Enduraclad, Portobello

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Champagne, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor

Screen: Full Screen, Champagne, InView™

Performance Information: U-Factor 0.28, SHGC 0.27, VLT 0.51, CPD PEL-N-14-00685-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 25, OITC 22, Clear Opening Width 12.5, Clear Opening Height 38.625, Clear Opening Area 3.352865, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: No Grille,

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 175".

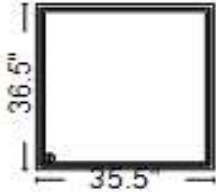
Rough Opening: 45 - 1/4" X 43 - 1/2"

Line #	Location:	Attributes		
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35 009 OFFICE

Lifestyle, Direct Set, Fixed Frame, 35.5 X 36.5, Without HGP, Portobello

Item Price	Qty	Ext'd Price
\$726.32	1	\$726.32



PK #
2174

Viewed From Exterior

1: 35.536.5 Fixed Frame Direct Set

Frame Size: 35 1/2 X 36 1/2

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Interior Glazed, Standard, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Seacoast Enduraclad, Portobello

Interior Color / Finish: Unfinished Interior

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Performance Information: U-Factor 0.28, SHGC 0.32, VLT 0.62, CPD PEL-N-18-04208-00001, Performance Class AW, PG 90, Calculated Positive DP Rating 90, Calculated Negative DP Rating 90, STC 27, OITC 22

Grille: No Grille,

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 144".

Rough Opening: 36 - 1/4" X 37 - 1/4"

Thank You For Purchasing Pella® Products

PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

INSYNCTIVE PRODUCTS: In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at [Insynctive.pella.com](https://www.pella.com). By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

Notice of Collection of Personal Information: We may collect your personal information when you interact with us. Under the California Consumer Privacy Act (CCPA), California residents have specific rights to request this information, request to delete this information, and opt out of the sharing or sale of this information to third parties. To learn more about our collection practices and your rights under the CCPA please visit our link <https://www.pella.com/california-rights-policy/> at [pella.com](https://www.pella.com).

ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

YOU and Pella and its subsidiaries and the Pella Branded Distributor AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS. You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit www.pella.com/arbitration or e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE PELLA.COM/ARBITRATION. DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER PELLA.COM/ARBITRATION.

Seller shall not be held liable for failure or delay in the performance of its obligations under this Agreement, if such performance is hindered or delayed by the occurrence of an act or event beyond the Seller's reasonable control (force majeure event), including but not limited to earthquakes, unusually severe weather and other Acts of God, fire, strikes and labor unrest, epidemics, riots, war, civil unrest, and government interventions. Seller shall give timely notice of a force majeure event and take such reasonable action to mitigate the impacts of such an event.

Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC).

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to www.pella.com/performance.

Including during the construction period, casement windows should never be left open and unlocked for prolong periods or during high wind conditions to avoid sash detachment/damage.

Actual sizes tested for documented STC and OITC ratings may vary from the ASTM E 1425 sizes to better represent Pella product offering.

STC and OITC ratings shown may be conservatively based on products tested with thinner panes of glass.

STC and OITC ratings may be from test results from an equivalent product.

- ❖ You and your Sales Representative have reviewed the Sales Contract for accuracy and agree with all details. You understand that these products are custom made for you. All sizes, quantities, specifications (including but not limited to hardware, color, glass etc.) and measurements are the sole responsibility of the Purchaser. No cancellations or revisions are allowed after the contract is signed and the deposit is paid. C.O.D balances are payable by cash, check, Visa, MasterCard, Discover or American Express.

INITIALS _____

- ❖ Customer understands the delivery date on their contract is an estimate based on current factory lead times. Material shortages, global logistical challenges, and unusually high demand have created delays beyond the control of our local branch and Pella Corporation. We will work to keep you informed as quickly as possible when changes are made.

INITIALS _____

- ❖ In order to meet your scheduled need date, you will be contacted approximately 3 business days prior to your delivery to remind you of the arrival date and the C.O.D. balance. Your confirmation is required to ensure timely delivery. PLEASE CALL THE DELIVERY DEPARTMENT WITHIN 2 BUSINESS DAYS OF DELIVERY DATE TO CONFIRM YOUR SCHEDULED DELIVERY DATE AT (978) 373-2500 Option 4. Our driver is required to collect payment or C.O.D. orders and is not authorized to deliver the order without payment.

INITIALS _____

- ❖ ALL DELIVERIES ARE TAILGATE DELIVERIES (DRIVER ONLY). It will be your responsibility to have help available and capable of moving the windows/doors from the back of the truck to an appropriate storage area.

INITIALS _____

- ❖ If we are unable to complete a confirmed delivery because no one was there to receive the shipment as agreed, or payment of the C.O.D. balance was not tendered, a charge may be assessed to recover our costs. We will reschedule delivery for arrival to you no later than 5 business days after your original need date.

INITIALS _____

- ❖ You are encouraged to inspect all product within 72 hours of receiving delivery and report any damage to your respective sales representative. If this is not done within this time frame, you may be liable for charges to replace/repair any damaged product.

INITIALS _____

- ❖ All Warranties for the performance of Pella products are void if the product is installed or maintained contrary to Pella's instruction.

INITIALS _____

- ❖ To request service, please call 888-580-7740 Ext #3 or submit a request online at <https://www.pellaofhaverhill.com/support/contact-us>

1.5% FINANCE CHARGE PER MONTH WILL BE ASSESSED TO ALL BALANCES OLDER THAN 30 DAYS

Customer Name (Please print)

Customer Signature

Date

Credit Card Approval Signature

Pella Sales Rep Name (Please print)

Pella Sales Rep Signature

Date

Order Totals	
Taxable Subtotal	\$9,280.76
Sales Tax @ 6.25%	\$580.05
Non-taxable Subtotal	\$0.00
Total	\$9,860.81
Deposit Received	\$0.00
Amount Due	\$9,860.81

Alterations to Schwartz Residence

50 South School Street, Unit 3
 Portsmouth, New Hampshire
 03801

Architect

General Contractor

MERRIMACK DESIGN *Architects*
 85 North Main Street, Suite 222
 White River Junction, Vermont 05001

contact: Gregory Colling, AIA
 telephone: 802-281-6478
 e-mail: gcolling@merrimackdesign.com
 URL: www.merrimackdesign.com

Index of Drawings

- Architectural
 A1-1 New Construction Plans
 A1-2 Kitchen Interior Elevations
 A1-3 Bathroom 1 Enlarged Plan, Interior Elevations
 A1-4 Door and Window Types, Schedules
 A1-5 Interior Running Trim
 A1-6 Entry Stoop Enlarged Plan, Elevations, Section Detail
- Electrical
 E1-1 Reflected Ceiling/Electrical Plans

Abbreviation Index

ACT	-A-	Acoustic Tile	HDWD	-H-	Hardwood	UNO	-U-	Unless Noted Otherwise
ADJ		Adjustable	HGT		Height			
AFF		Above Finished Floor	HM		Hollow Metal	VCT	-V-	Vinyl Compression Tile
AL		Aluminum	HORIZ		Horizontal	VERT		Vertical
	-B-	Board	HR		Handrail	VEST		Vestibule
BD		Bituminous	HVAC		Heating, Ventilation & Air Conditioning	VIF		Verify In Field
BIT		Bottom Of	HW		Hot Water	VT		Vinyl Tile
B.O.		Blocking	ID	-I-	Inside Diameter	VW		View Window
BLDG		Building	IN		Inches	VWC		Vinyl Wall Covering
BLKG		Blocking	INSUL		Insulation	W/	-W-	With
BOT		Bottom	INT		Interior	W/O		Without
	-C-	Cabinet	JAN	-J-	Janitor	WC		Water Closet
CAB		Carpet (Wall to Wall)	JST		Joist	WD		Wood
CPT		Construction Joint	JT		Joint	WP		Work Point
CJ		Center Line	LAV	-L-	Lavatory			
CL		Ceiling	LVL		Laminated Veneer Lumber			
CLG		Closet		-M-	Maximum			
CLO		Clear			Mechanical			
CLR		Concrete Masonry Unit			Minimum			
CMU		Control Joint			Miscellaneous			
CT JT		Cased Opening			Masonry Opening			
CO		Columns			Moisture Resistant Gypsum Wall Board			
COL		Composition			Metal			
COMP		Concrete			Not In Contract			
CONC		Construction			Number			
CONST		Continuous			NOM			
CONT		Contractor			NTS			
CONTR		Carpet			OC			
CPT		Ceramic Tile			OD			
CT					OFCI			
	-D-	Drawing Board			OFI			
D BD		Double			OPP H			
DBL		Drinking Fountain			OPNG			
DF		Drain Inlet			OPP			
DI		Diameter			OP			
DIA		Dimension			P&M			
DIM		Down			PL, PLAS			
DN		Drain			PLMBG			
DRN		Drawing			PLYWD			
DWG		Dispenser			PREFAB			
DISP		Downspout			PT			
DNSP					PTD			
	-E-	Each			-R-			
EA		Elevation			REINF			
EL		Electric			REQ'D			
ELEC		Entrance			RM			
ENTR		Epoxy			RO			
EPXY		Equal			-S-			
EQ		Existing To Remain			SCHED			
ETR		Existing			SHT			
EXTG		Expansion			SIM			
EXT		Expansion Joint			SPECS			
EXP JT		Exterior			SS			
EXT					STL			
	-F-	Floor Drain			STOR			
FD		Foundation			STRUCT			
FDN		Fire Extinguisher			SUSP			
FE		Finish			-T-			
FIN		Floor			TBD			
FL		Flashing			T.O.			
FLASH		Footing			TYP			
FTG								
	-G-	Gauge						
GA		Galvanized						
GALV		Grab Bar						
GB		Ground						
GRND		Glass						
GL		Grade						
GR		Gypsum Wall Board						
GWB		Gypsum Wall Board Painted						
GWB PTD		Gypsum						
GYP								

Building Data

BUILDING CODE: 2018 INTERNATIONAL EXISTING BUILDING CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE

PROPERTY LOCATION: MBLU 0101/0060/0003

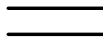
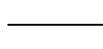

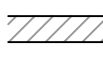

USE AND OCCUPANCY: RESIDENTIAL CONDOMINIUM

FLOOR AREA:

Basement	1760 Gross	1139 Net
First Floor	1760 Gross	1614 Net
Total	3520 Gross	2753 Net

Graphic Symbols

	BUILDING ELEVATION		INTERIOR ELEVATION KEY
	DETAIL		DOOR NUMBER
	BUILDING SECTION		WINDOW NUMBER
	WALL SECTION		PARTITION TYPE
	ENLARGED PLAN		COLUMN CENTER LINE
	WORK POINT		REVISION KEY
	PLUMBING FIXTURE TAG		ELEVATION

- Legend:**
-  Existing Construction to Remain
 -  Existing Construction to be Removed
 -  Existing Door and Frame to be Removed
 -  Existing Flooring to be Removed
 -  Existing Ceiling to be Removed

- General Notes:**
1. Coordinate removal and temporary support of all structural building elements with Structural Engineer.
 2. Confirm removal, salvage, storage or donation of all equipment, built-in items and furniture with Owner.
 3. Protect all existing finishes to remain.

Issued for Cost Estimating
 NOT FOR CONSTRUCTION
 6 June 2024
 Preliminary
 NOT FOR CONSTRUCTION
 29 April 2024

Schwartz Residence
 50 South School Street, Unit 3
 Portsmouth, New Hampshire 03801

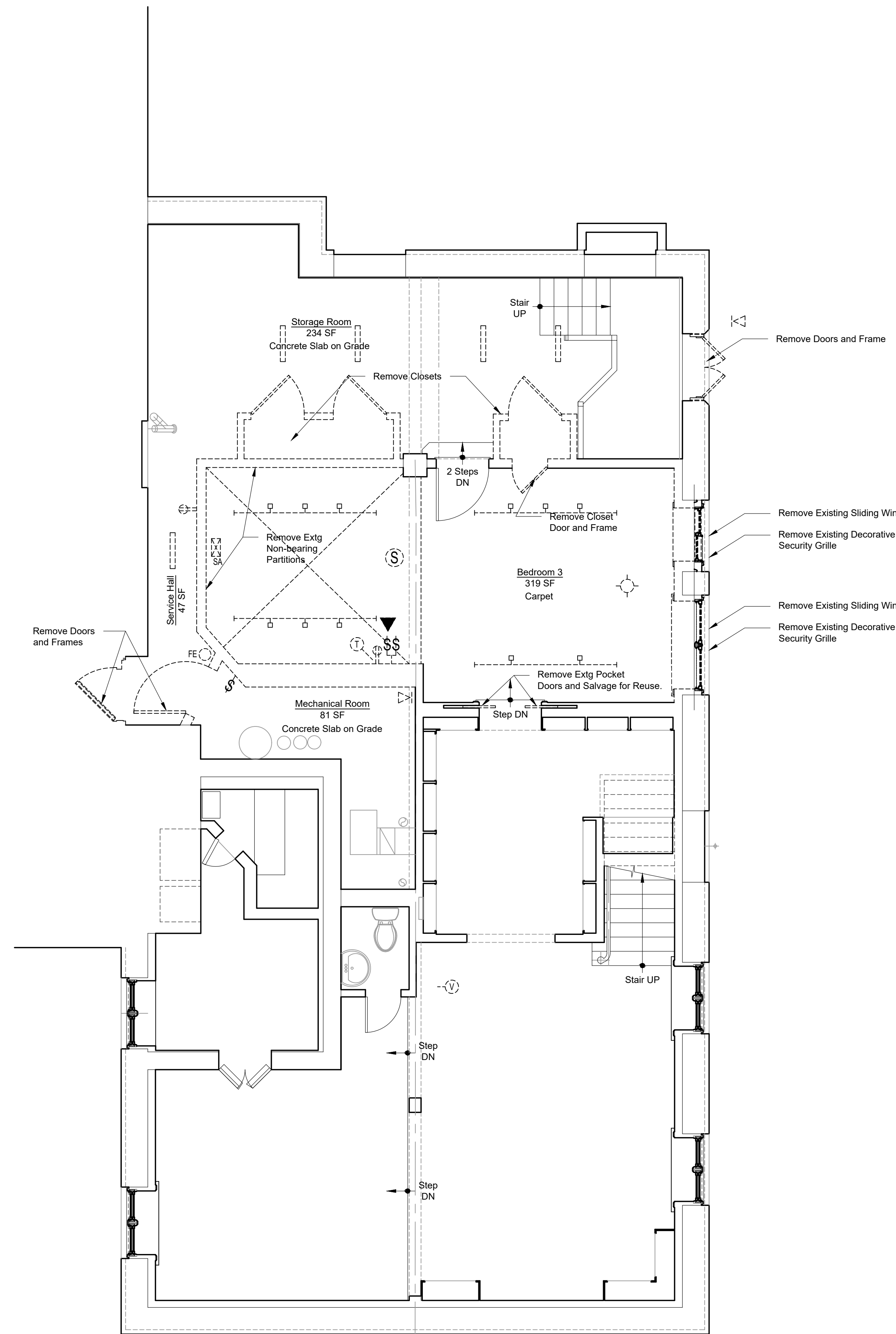
Drawing Title
Selective Demolition Plans

Date 2/12/2024	Drawing Number
Scale 1/4"=1'-0"	D1-1
Project No. 230604	

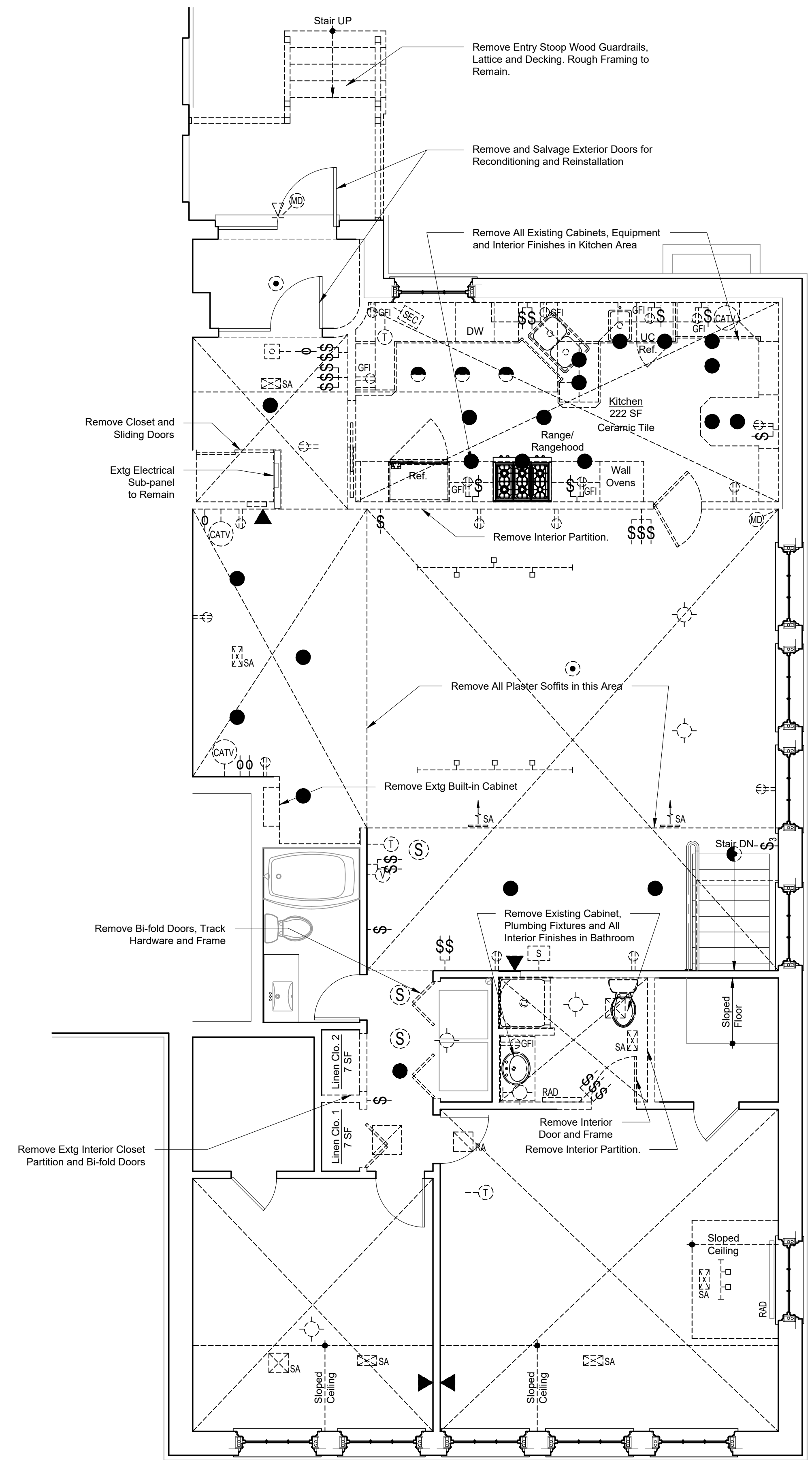
MERRIMACK DESIGN
Architects

85 North Main Street, suite 222
 White River Junction, Vermont 05001-7159

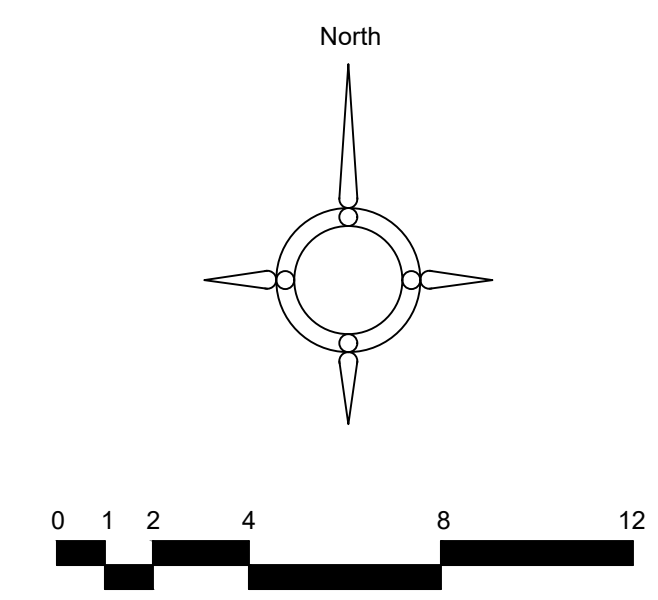
telephone: 603-658-0658
 e-mail: info@merrimackdesign.com
 URL: www.merrimackdesign.com
 © MERRIMACK DESIGN Architects

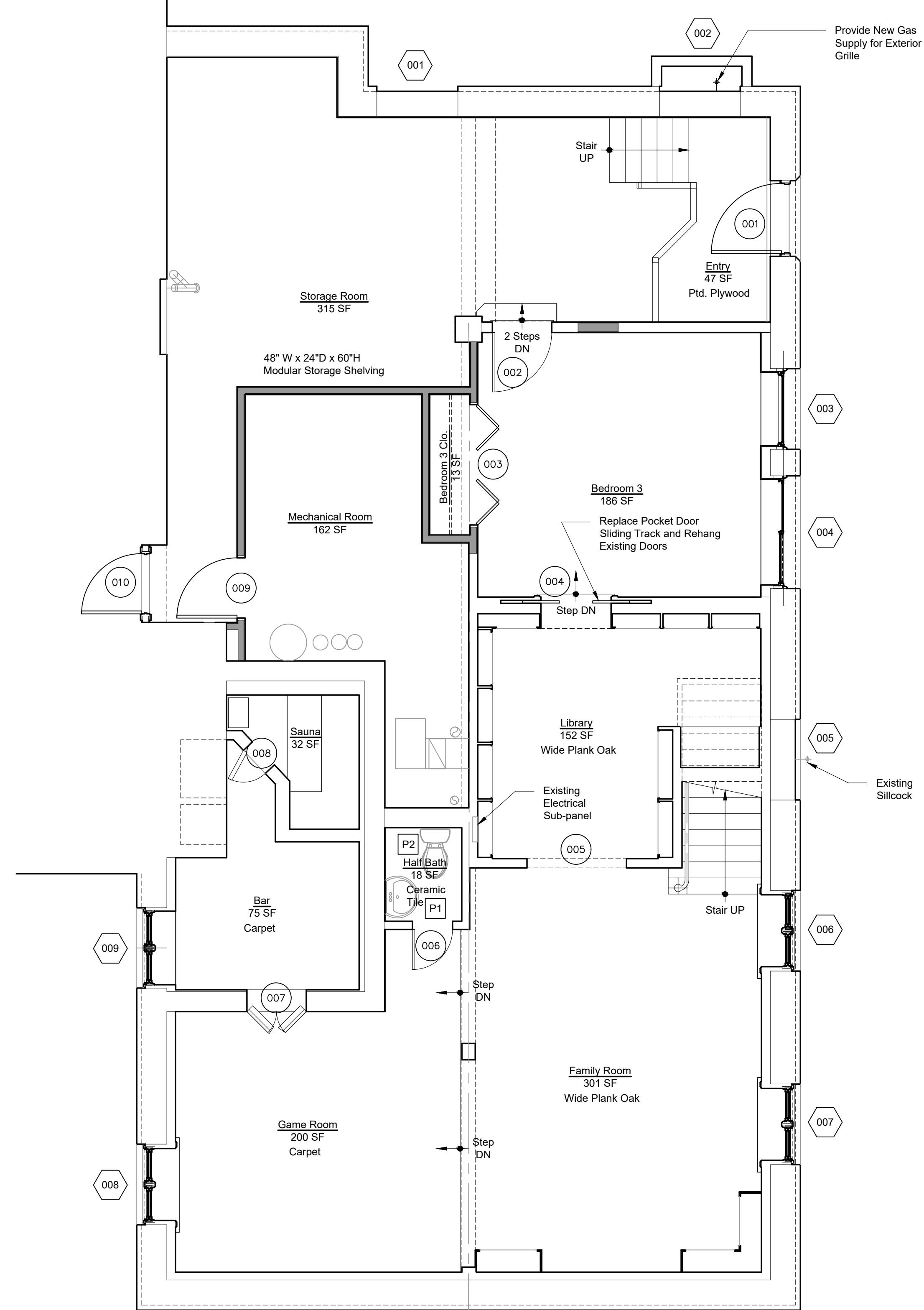


0 Ground Floor Selective Demolition Plan
 Scale: 1/4"=1'-0"

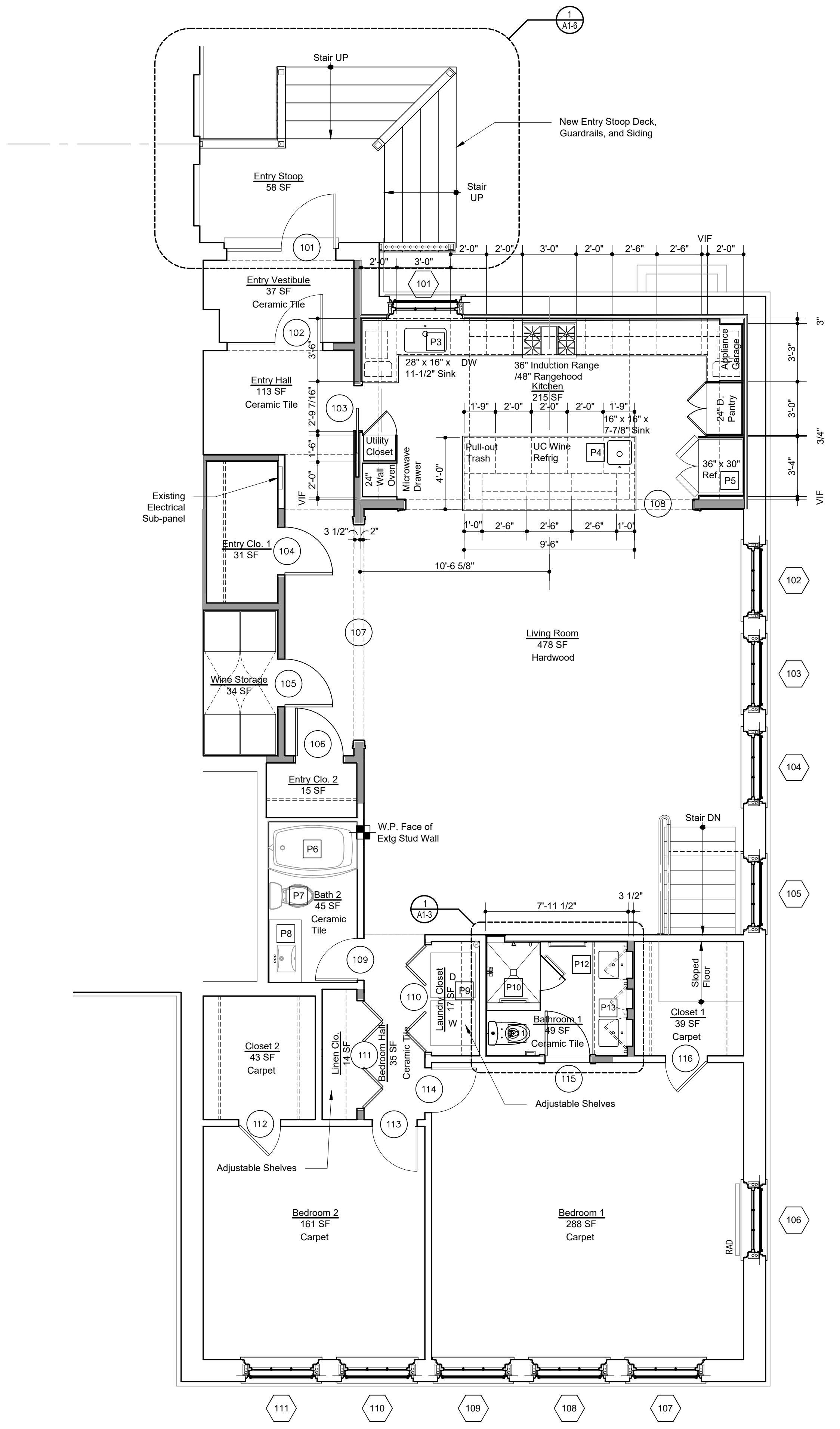


1 First Floor Selective Demolition Plan
 Scale: 1/4"=1'-0"





0 Ground Floor Plan
Scale: 1/4"=1'-0"



1 First Floor Plan
Scale: 1/4"=1'-0"

Legend

- Existing Wall Construction to Remain
- Patch Existing Wall Construction at New Work
- New Furring on Existing Wall Construction
- New Wood/Metal Frame Wall Construction
- New Masonry Wall Construction
- New Reinforced Concrete Wall Construction

General Notes

- All Dimensions Shown are to Rough Framing Unless Noted Otherwise.

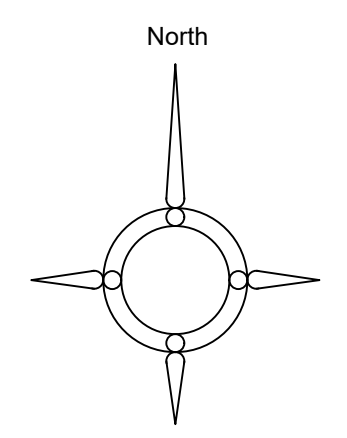
Issued for Cost Estimating
NOT FOR CONSTRUCTION
6 June 2024
Preliminary
NOT FOR CONSTRUCTION
29 April 2024

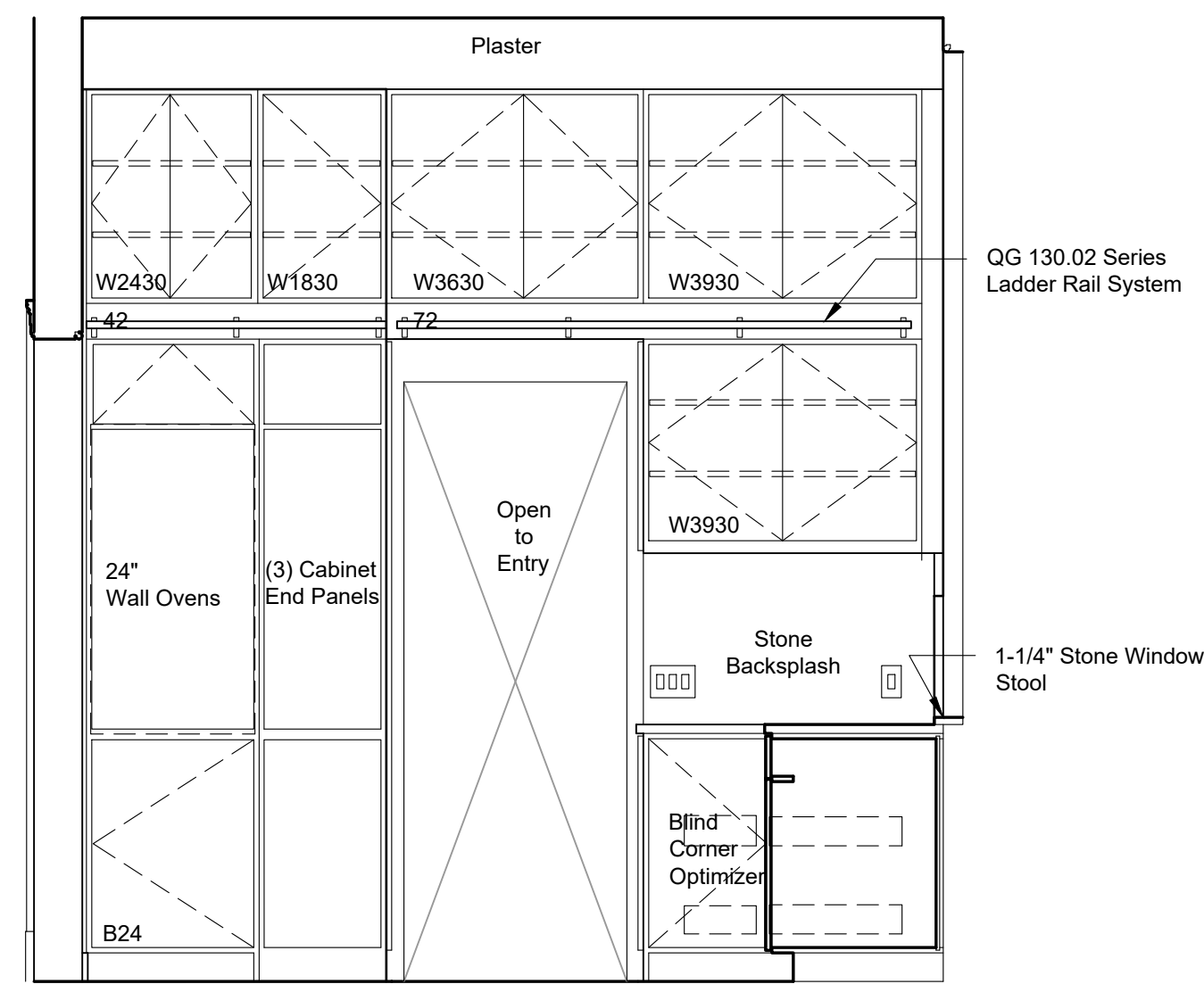
Schwartz Residence
50 South School Street, Unit 3
Portsmouth, New Hampshire 03801

Drawing Title
New Construction Plans

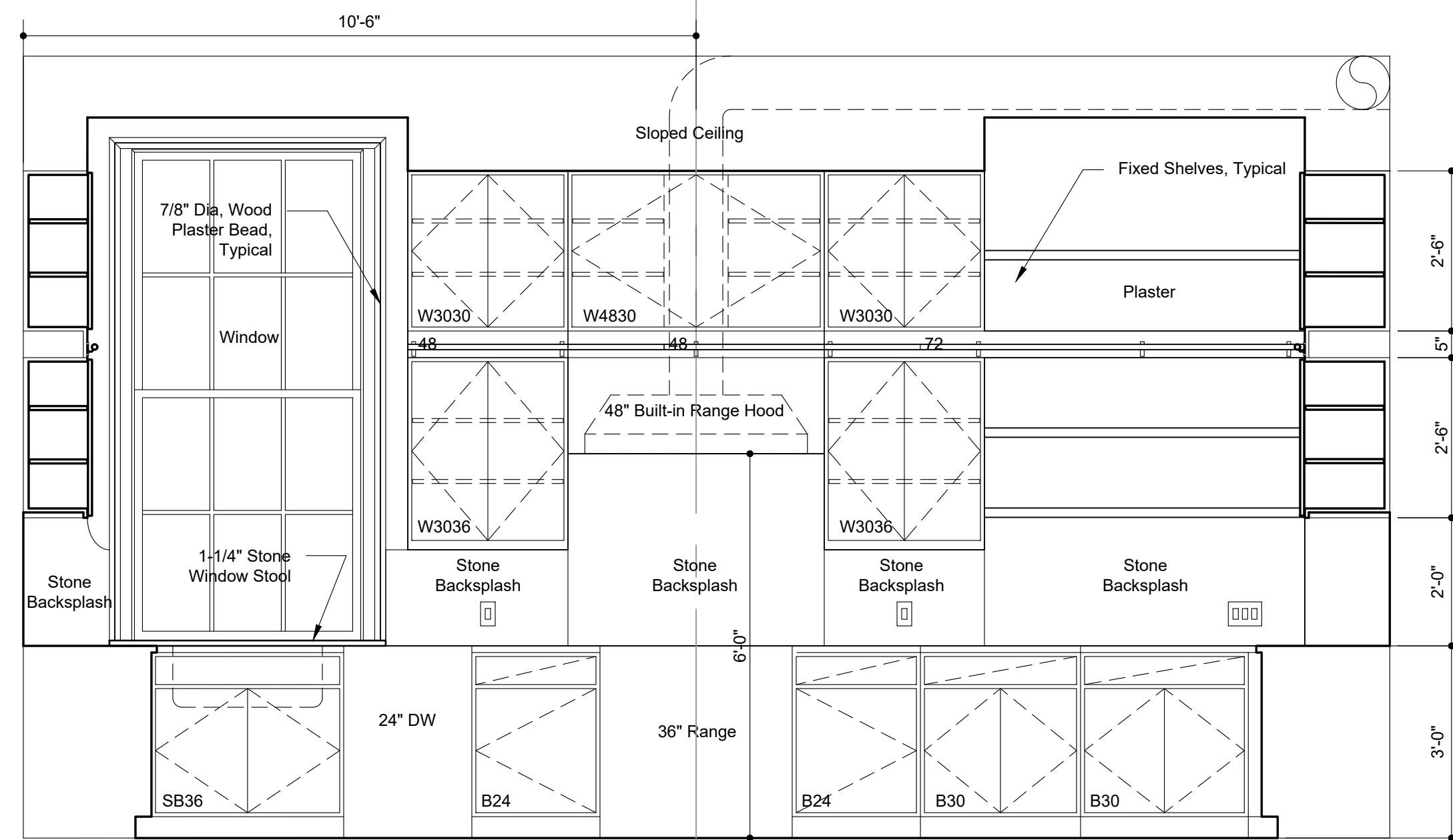
Date 2/12/2024	Drawing Number A1-1
Scale 1/4"=1'-0"	
Project No. 230604	

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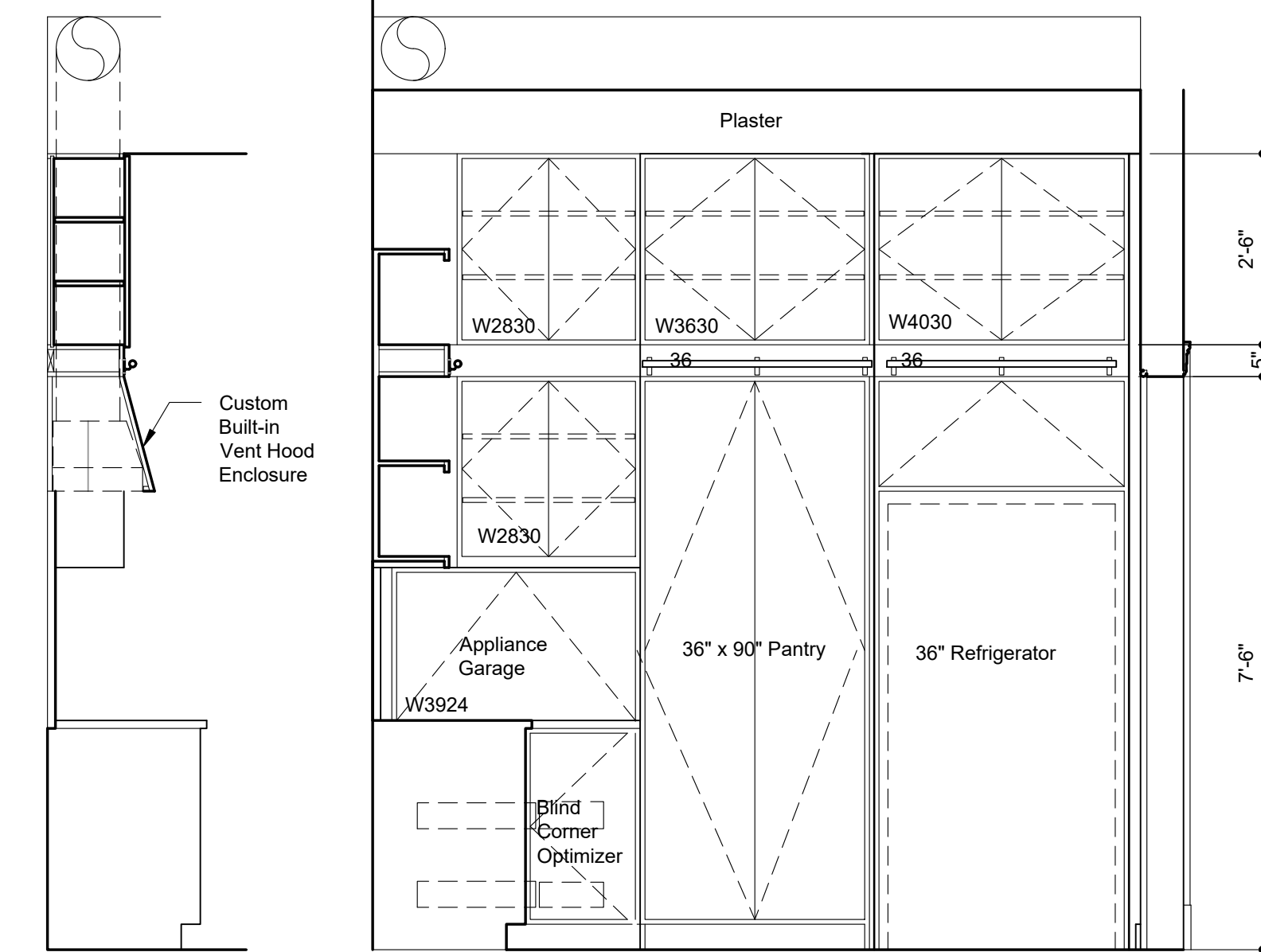




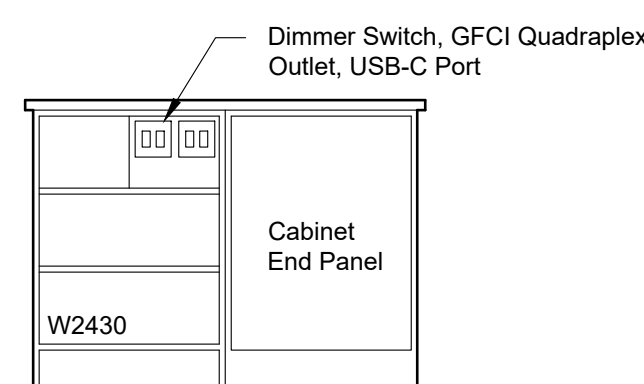
1 Kitchen - West
Scale: 1/2" = 1'-0"



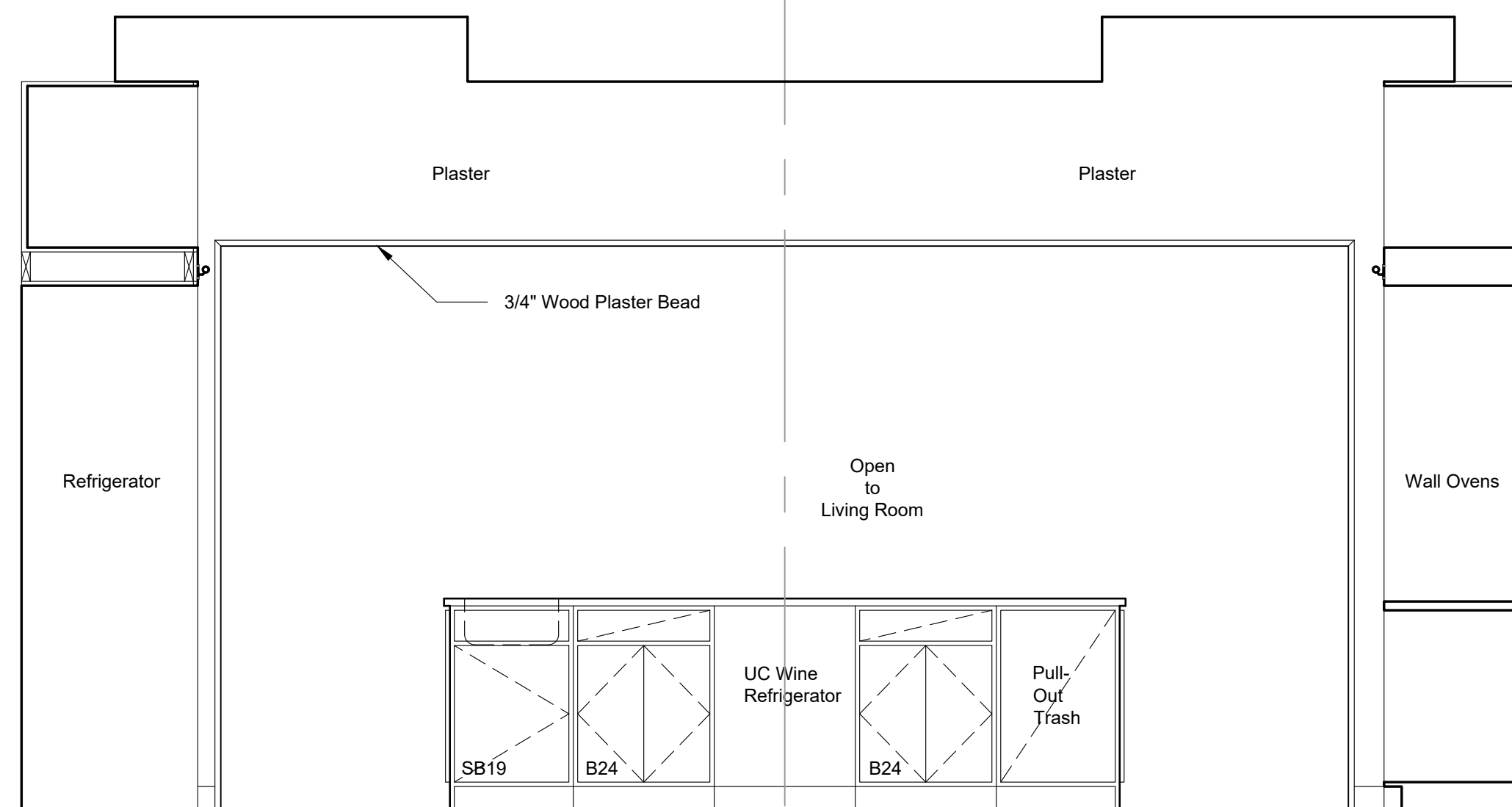
2 Kitchen - North
Scale: 1/2" = 1'-0"



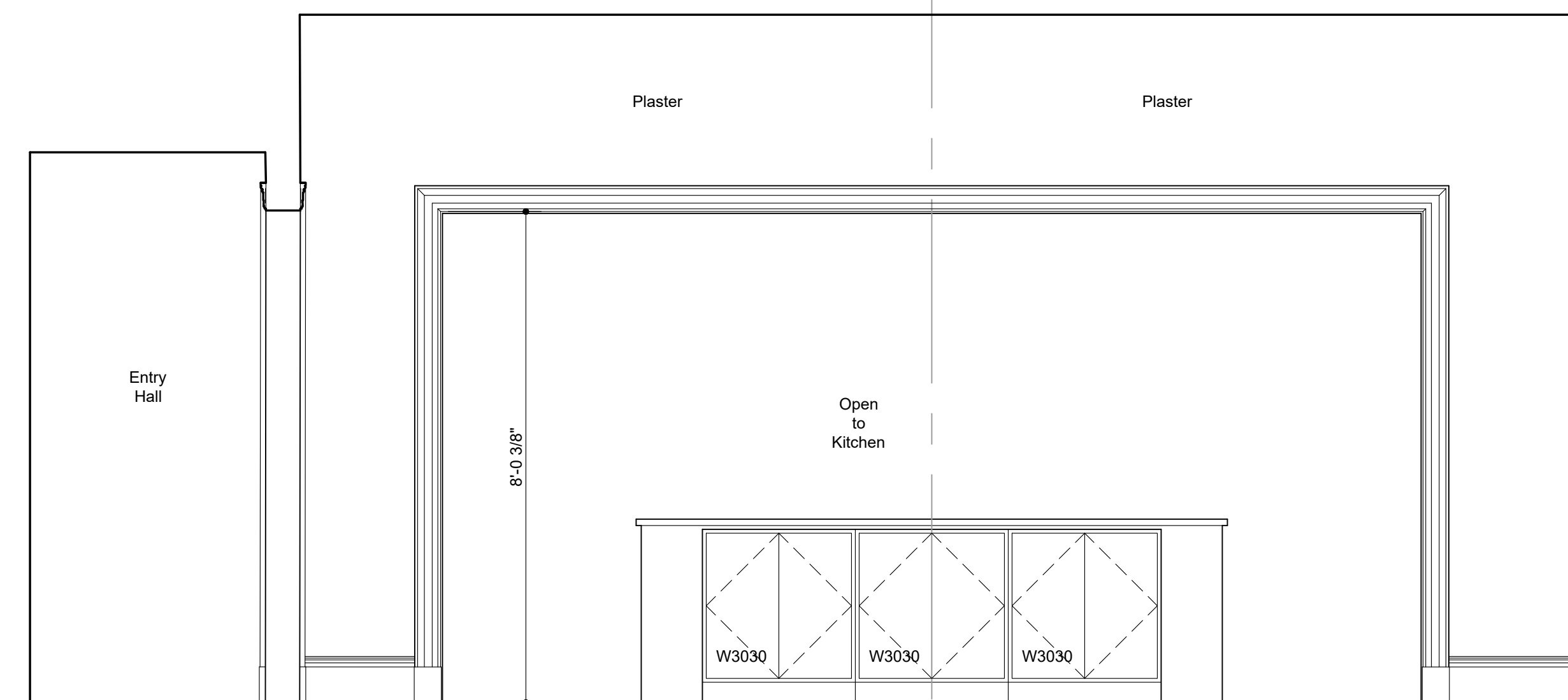
3 Kitchen - East
Scale: 1/2" = 1'-0"



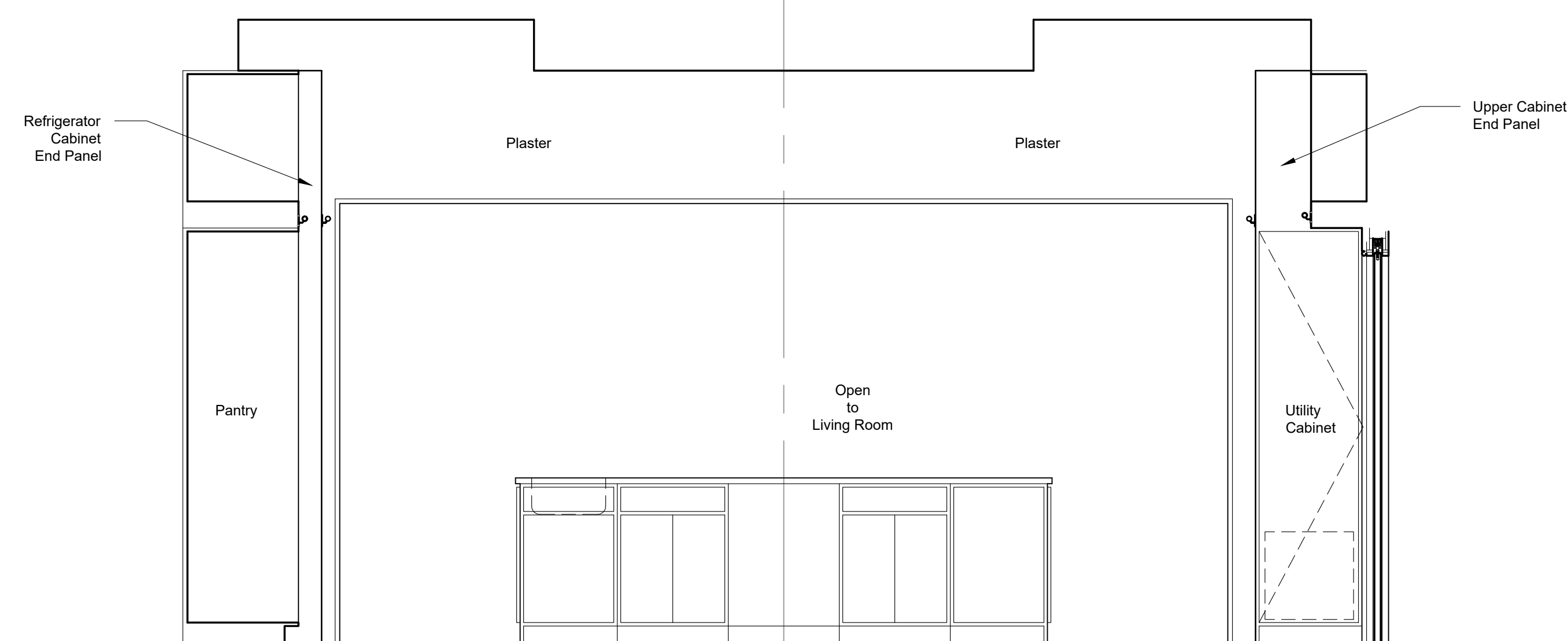
1A Island - West (East Similar)
Scale: 1/2" = 1'-0"



4 Kitchen - South
Scale: 1/2" = 1'-0"



2A Kitchen - North
Scale: 1/2" = 1'-0"



4A Kitchen - South
Scale: 1/2" = 1'-0"

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29 April 2024

Schwartz Residence
50 South School Street, Unit 3
Portsmouth, New Hampshire 03801

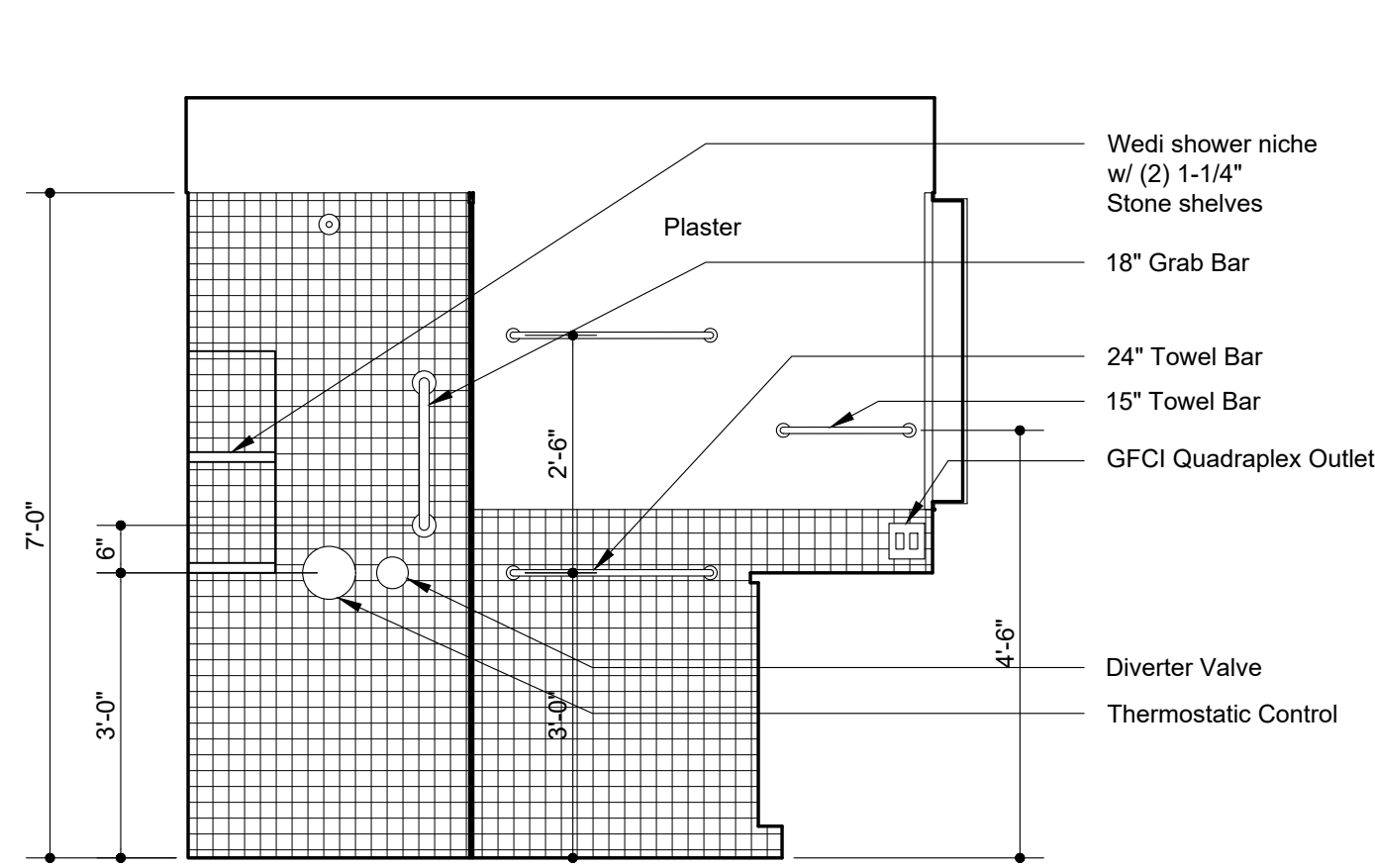
Drawing Title
Kitchen Interior Elevations

Date 2/12/2024	Drawing Number A1-2
Scale 1/2"=1'-0"	
Project No. 230604	

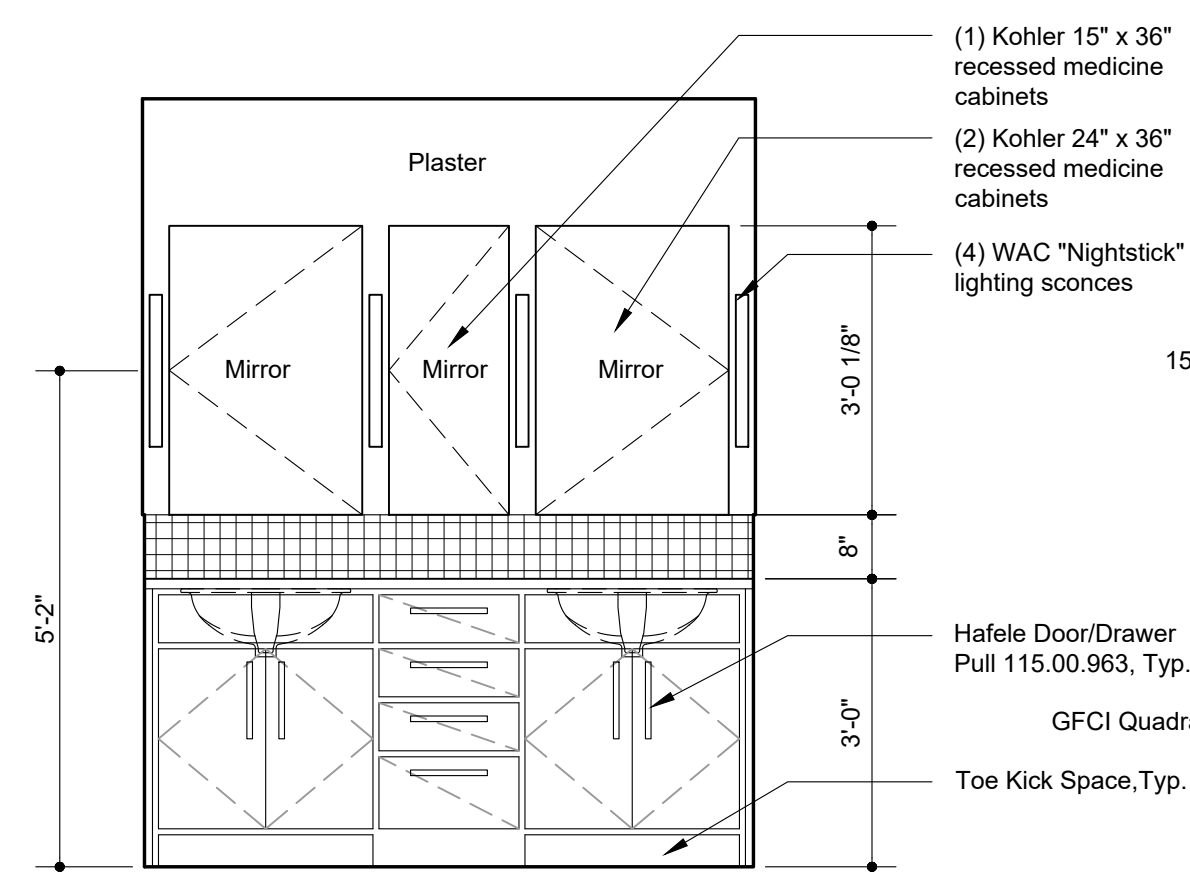
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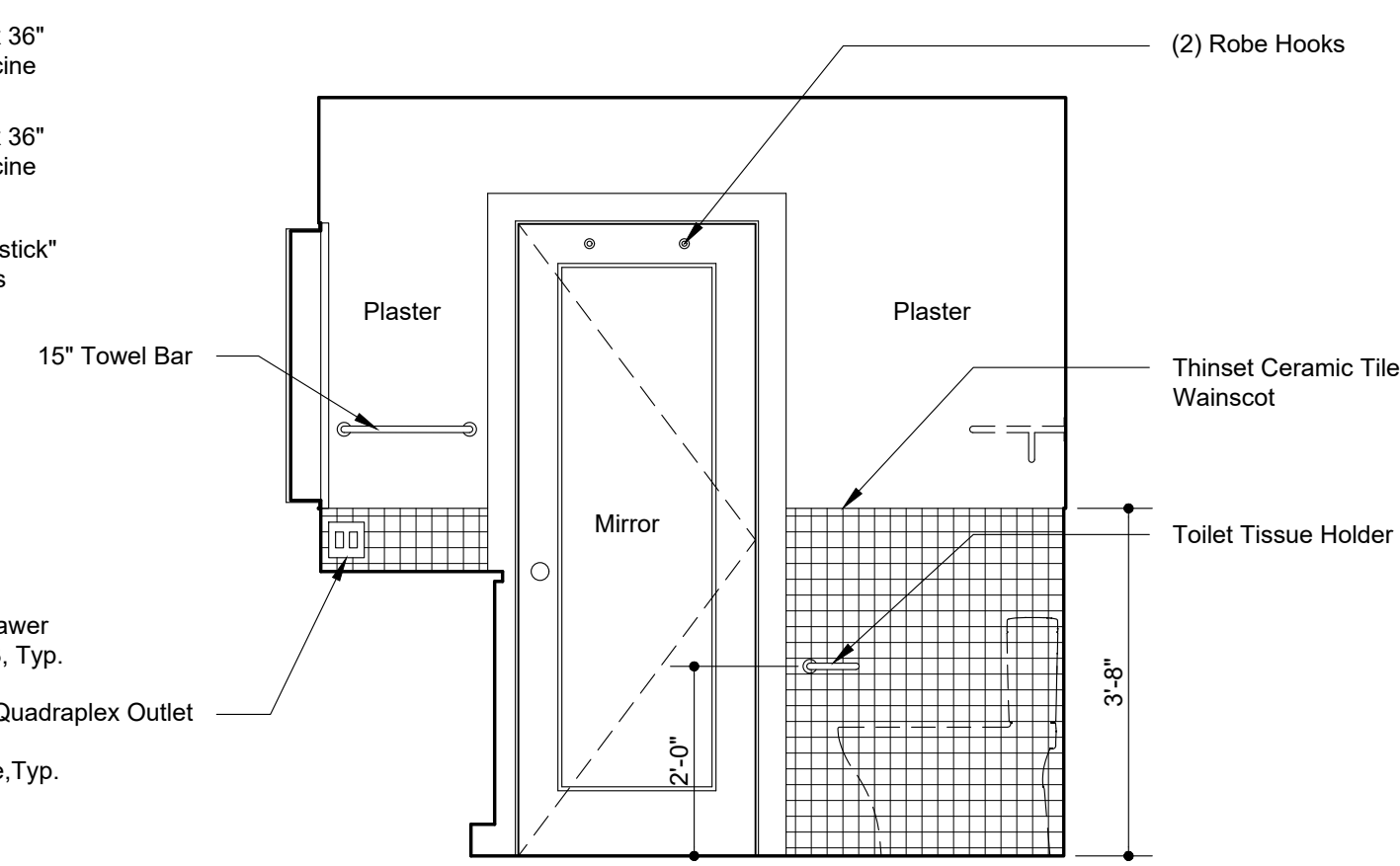
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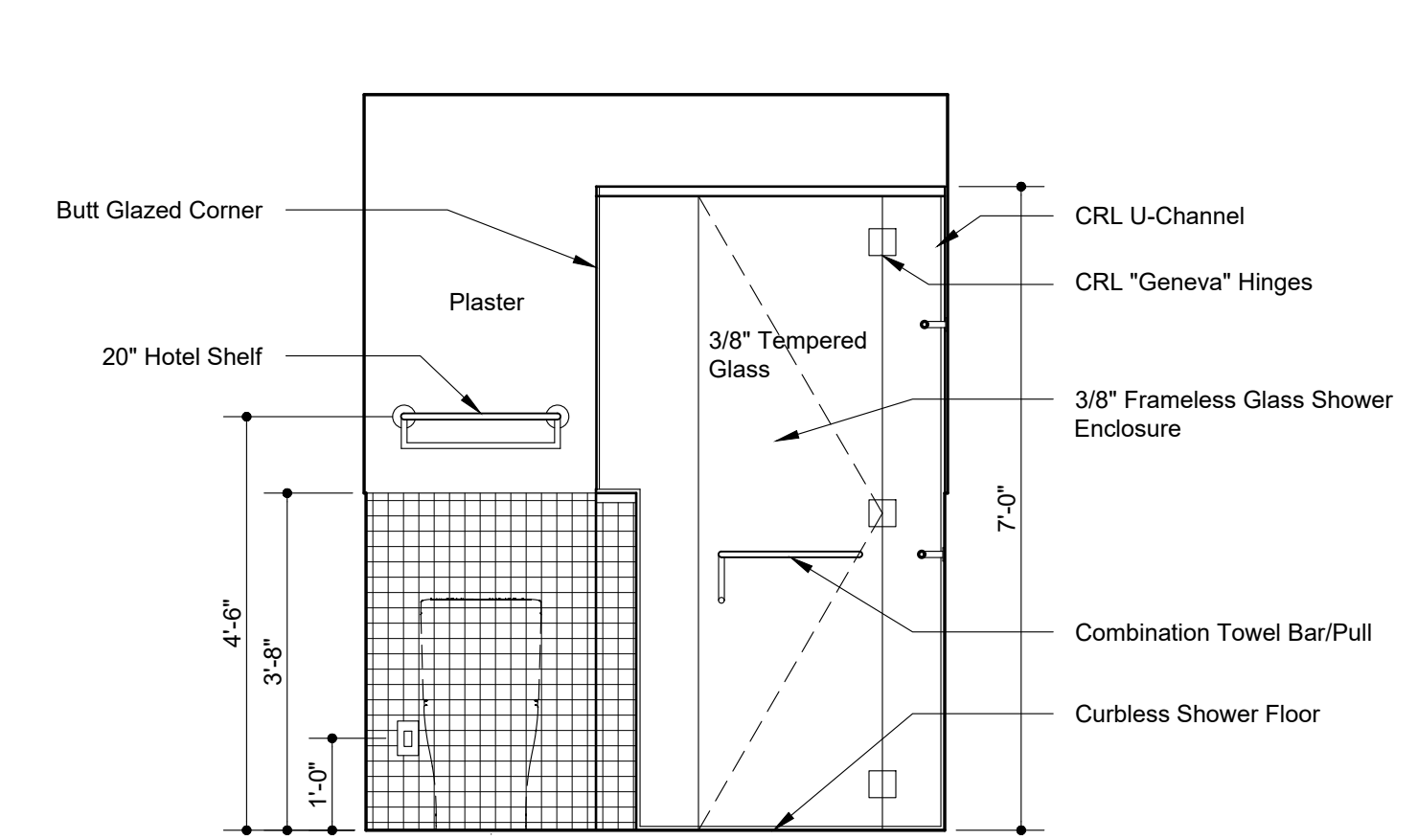
1 Bathroom 1 - North
Scale: 1/2" = 1'-0"



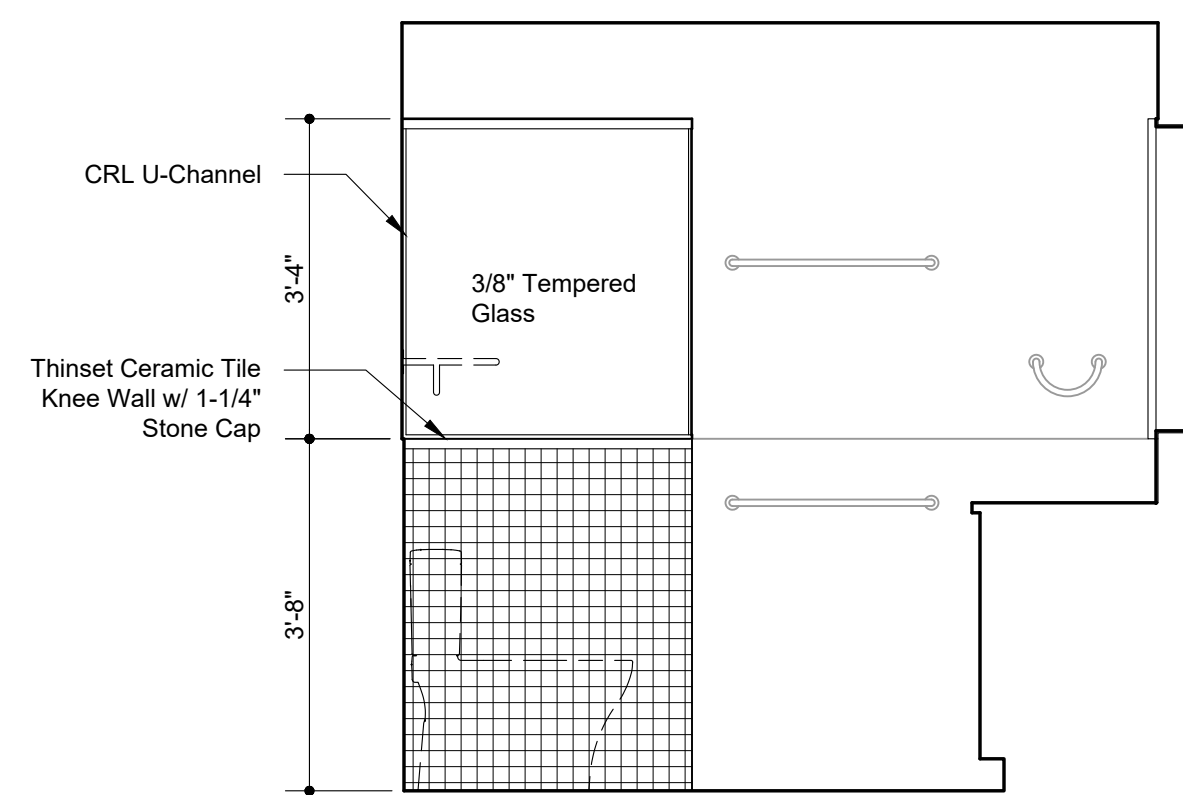
2 Bathroom 1 - East
Scale: 1/2" = 1'-0"



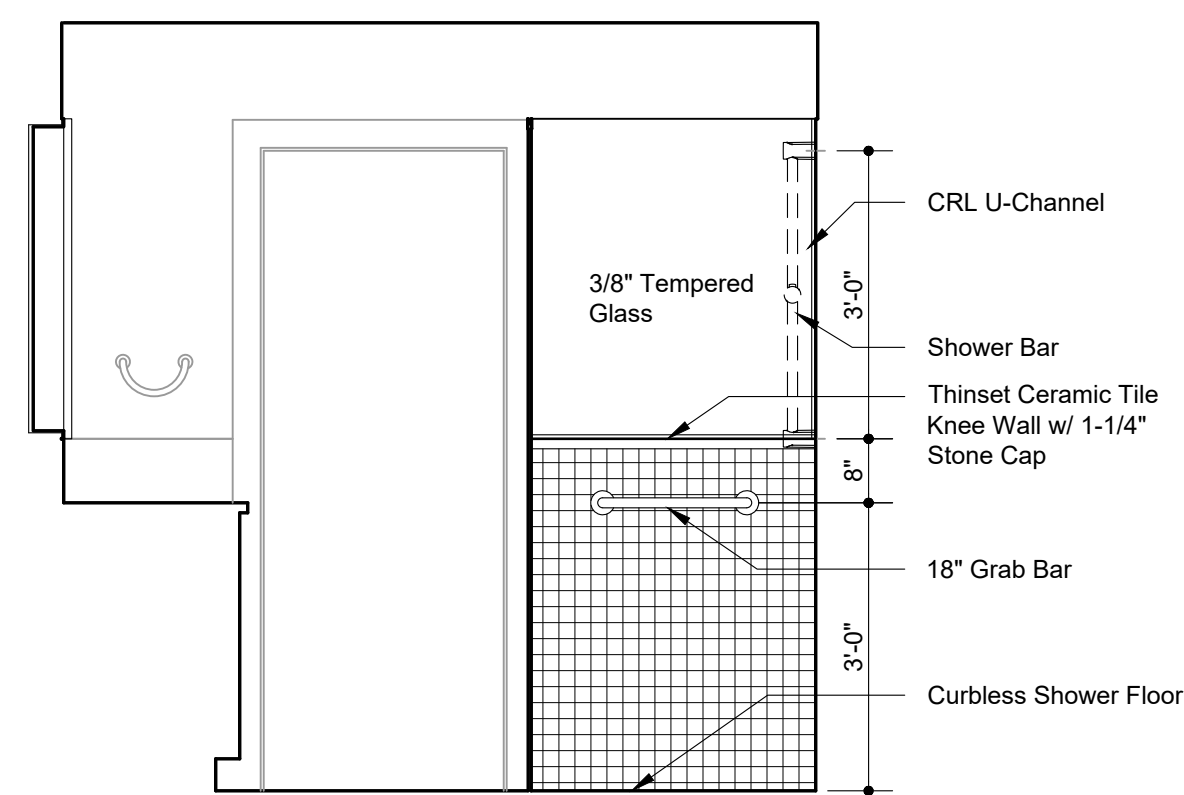
3 Bathroom 1 - South
Scale: 1/2" = 1'-0"



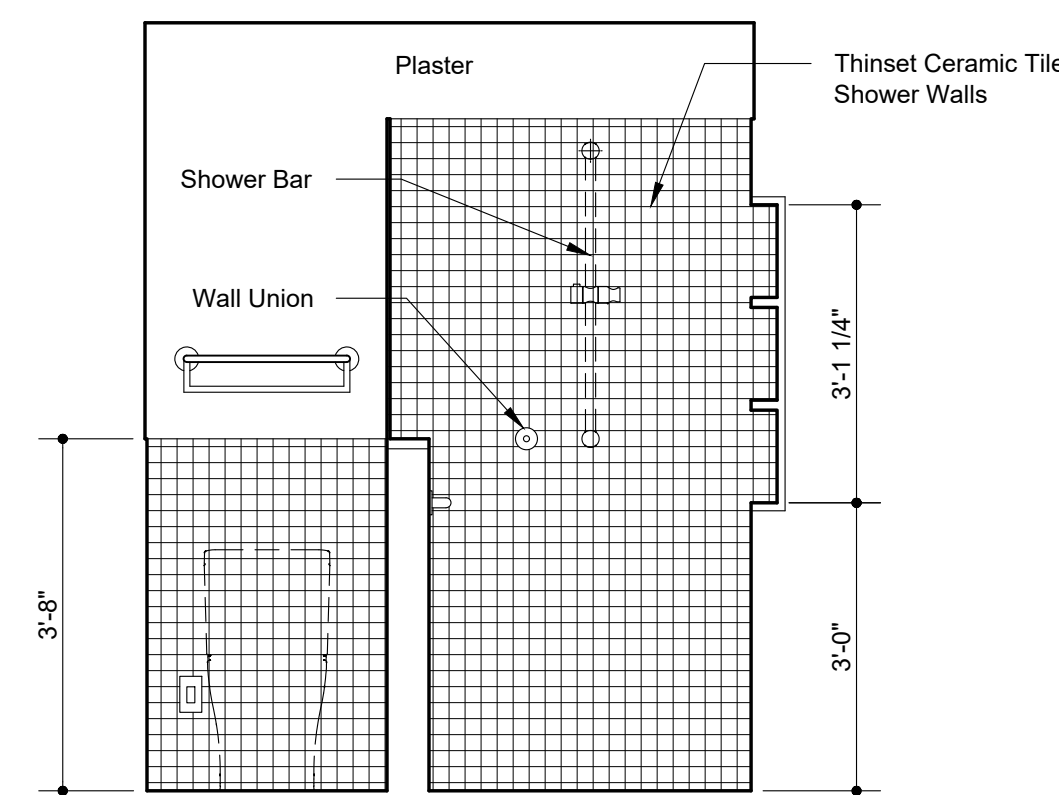
4 Bathroom 1 - West
Scale: 1/2" = 1'-0"



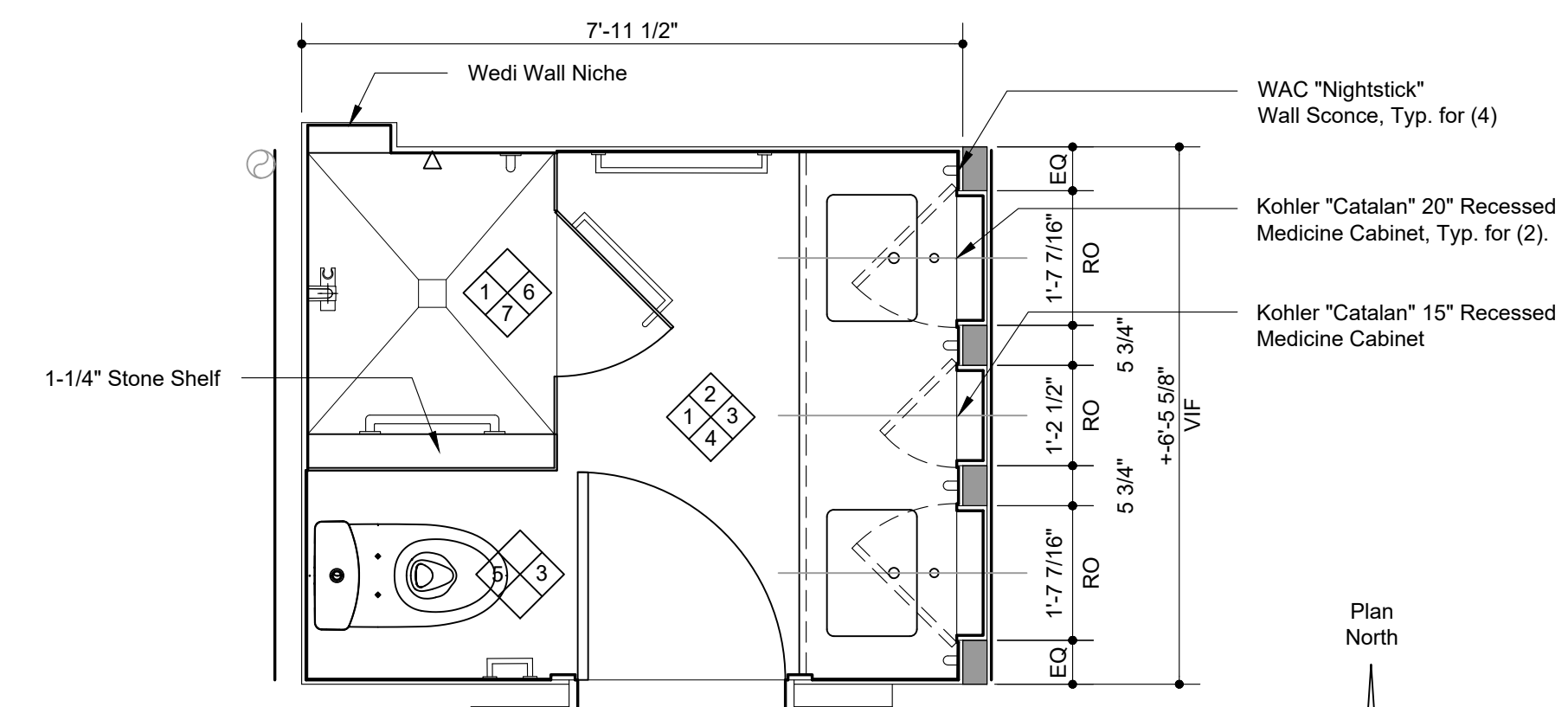
5 Bathroom 1 - North
Scale: 1/2" = 1'-0"



6 Bathroom 1 - North
Scale: 1/2" = 1'-0"



7 Shower - North
Scale: 1/2" = 1'-0"



1 Bathroom 1 Enlarged Plan
Scale: 1/2" = 1'-0"

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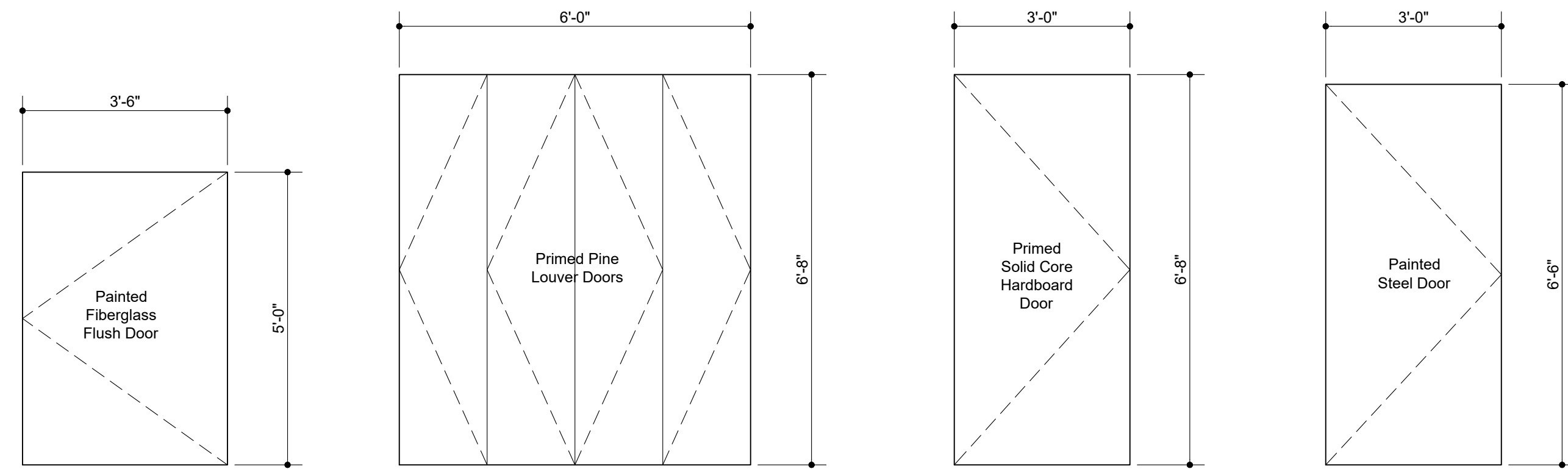
Drawing Title
**Bathroom 1 Enlarged Plan,
Interior Elevations**

Date 4/3/2024	Drawing Number A1-3
Scale 1/2" = 1'-0"	
Project No. 230604	

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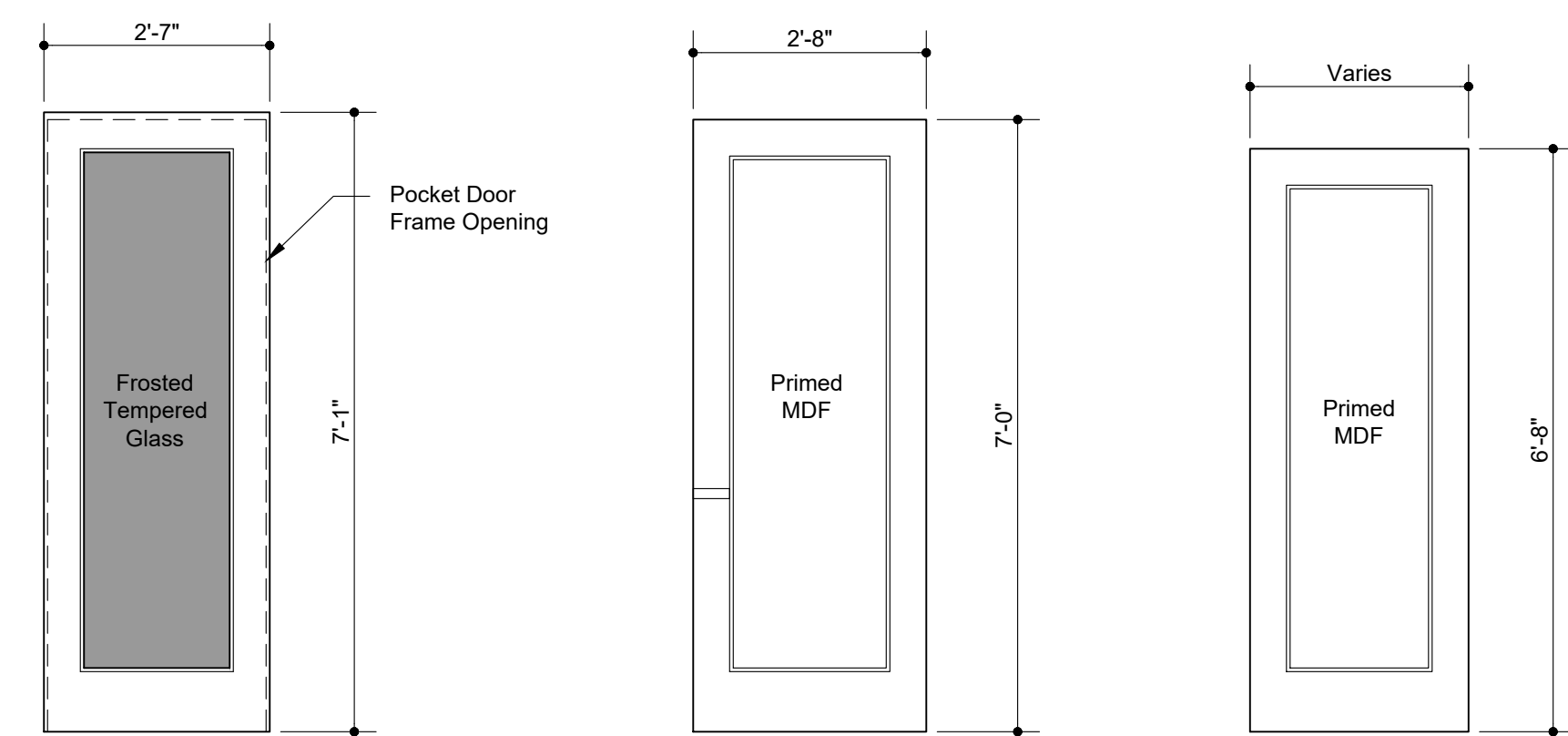
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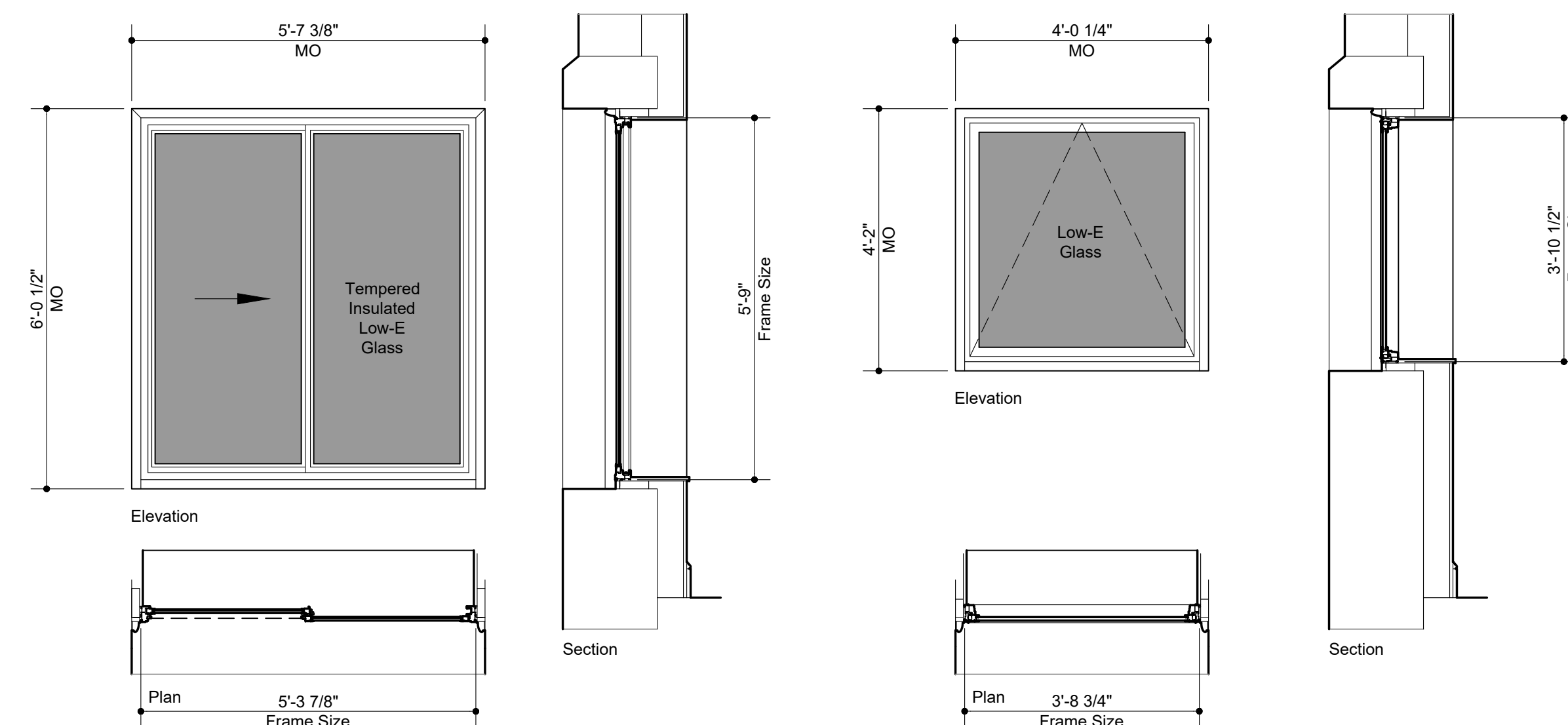
- A** Jeld-Wen Custom Exterior Fiberglass Door **B** Brosco Plantation Bi-fold Doors **C** Jeld-Wen Primed Solid Core Hardboard Door, 20-Min Fire-Rated **D** Jeld-Wen Primed Solid Core Hardboard Door, 60-Min Fire-Rated

1 Door Types
Scale: 1/2"=1'-0"



- E** TruStile FL100-QB-C **F** TruStile TS1000-QR-C **G** TruStile TS1000-QR-C

2 Door Types
Scale: 1/2"=1'-0"



- A** Pella Impervia Special Size Sliding Egress Window **B** Pella Impervia Special Size Awning Window

3 Window Types
Scale: 1/2"=1'-0"

Door Schedule

Door No.	Type	Hand	Rough Opening W x H	Unit Size W x H	Leaf Size WxHxD	Material/Finish	Details			Hardware Set	Glazing	SHGC	U-Factor	Remarks
							Head	Jamb	T-hold					
001	A	LHR	45-1/2 x +63 (MO)	43-1/2 x 60-3/4	42 x 60 x 1-3/4	Primed Fiberglass				1	NA			Jeld-Wen Smooth-Pro Exterior Fiberglass Prehung Flush Door
002		RH	NA	NA	36 x 80 x 1-3/8	Wood				NA	NA	NA	NA	Existing Stained Wood Door
003	B	NA	84 x 81-1/4	83-1/2 x 80-3/4	(4)18 x 80 x 1-3/8	Primed Pine				2	NA	NA	NA	Brosco PR-4FD-730-PL Primed Interior 4-Panel Bifold Doors
004		NA	NA	NA	22 x 79-3/8 x ?	Stained Oak				3	NA	NA	NA	Rehang Existing Pocket Doors on New Track Hardware
005		NA	NA	NA	59-1/2 x 82-1/2*	Stained Oak				NA	NA	NA	NA	*Existing Arched Cased Opening
006		RH	NA	NA	24 x ? x ?	Stained Oak				NA	NA	NA	NA	Existing Interior Door
007		NA	NA	NA	(4) 18 x ? x ?	Stained Oak				NA	NA	NA	NA	Existing Interior 4-Panel Saloon Door
008		RH	NA	NA	19" x ? x ?	Cedar/IG				NA	NA	NA	NA	Existing Sauna Door
009	C	LH	38-1/2 x 81-1/4	37-1/2 x 80-3/4	36 x 80 x 1-3/4	Primed Solid Core Masonite				4	NA	NA	NA	Brosco 20-Minute Fire Rated "ProCore" Primed 1-3/4" Flush Hardboard Door
010	D	LH	38-1/2 x 79-1/4	37-1/2 x 78-3/4	36 x 78 x 1-3/4	Primed Solid Core Masonite				1	NA	NA	NA	Brosco 60-Minute Fire Rated "ProCore" Primed 1-3/4" Flush Hardboard Door
011		NA	NA	NA	(2)36 x 89-1/2 x ?	Wood/GL				5	Extg	NA	NA	Existing Exterior Door Pair w/radius transom, install new kerf weatherstrip and door bottom seal
012		NA	NA	NA	(2)32 x 84 x ?	Wood/GL				NA	Extg	NA	NA	Existing Interior French Door Pair w/transom
013	E	NA	62-1/4 x 90-3/4	31-1/2 x 84	31 x 85 x 1-3/8	Primed MDF, Frosted Temp. GL				6	Frosted Temp.	NA	NA	TruStile #FL-100-QB-C, primed MDF/Frosted GL, no bore, Interior Pocket Door
014	F	RH	34 x 85-1/4	33-1/2 x 84-3/4	32 x 84 x 1-3/8	Primed MDF				7	NA	NA	NA	TruStile #TS-1000-QR-C, primed MDF, no bore, Prehung Interior Door
015	F	RH	34 x 85-1/4	33-1/2 x 84-3/4	32 x 84 x 1-3/8	Primed MDF				7	NA	NA	NA	TruStile #TS-1000-QR-C, primed MDF, no bore, Prehung Interior Door
016	F	LH	34 x 85-1/4	33-1/2 x 84-3/4	32 x 84 x 1-3/8	Primed MDF				7	NA	NA	NA	TruStile #TS-1000-QR-C, primed MDF, no bore, Prehung Interior Door
017		NA	NA	NA	144 x 96*	Primed Poplar				NA	NA	NA	NA	*Cased Opening
018		NA	NA	NA	192 x 96*	Primed Poplar				NA	NA	NA	NA	*Cased Opening
019	G	LH	30-1/2 x 81-1/4	29-1/2 x 80-3/4	28 x 80 x 1-3/8	Primed MDF				8A	NA	NA	NA	TruStile #TS-1000-QR-C, primed MDF, no bore, Prehung Interior Door
0110	B	NA	84 x 81-1/4	83-1/2 x 80-3/4	(4)18 x 80 x 1-3/8	Primed Pine				2	NA	NA	NA	Brosco PR-4FD-730-PL Primed Interior 4-Panel Bifold Doors
0111	B	NA	84 x 81-1/4	83-1/2 x 80-3/4	(4)18 x 80 x 1-3/8	Primed Pine				2	NA	NA	NA	Brosco PR-4FD-730-PL Primed Interior 4-Panel Bifold Doors
0112	G	RH	30-1/2 x 81-1/4	29-1/2 x 80-3/4	28 x 80 x 1-3/8	Primed MDF				9	NA	NA	NA	TruStile #TS-1000-QR-C, primed MDF, no bore, Prehung Interior Door
0113	G	LH	32 x 81-1/4	31-1/2 x 80-3/4	30 x 80 x 1-3/8	Primed MDF				8	NA	NA	NA	TruStile #TS-1000-QR-C, primed MDF, no bore, Interior Door
0114	G	LH	32 x 81-1/4	31-1/2 x 80-3/4	30 x 80 x 1-3/8	Primed MDF				8	NA	NA	NA	TruStile #TS-1000-QR-C, primed MDF, no bore, Interior Door
0115	G	LH	32 x 81-1/4	31-1/2 x 80-3/4	30 x 80 x 1-3/8	Primed MDF				8	NA	NA	NA	TruStile #TS-1000-QR-C, primed MDF, no bore, Prehung Interior Door
0116	G	LH	30-1/2 x 81-1/4	29-1/2 x 80-3/4	28 x 80 x 1-3/8	Primed MDF				9	NA	NA	NA	TruStile #TS-1000-QR-C, primed MDF, no bore, Prehung Interior Door

Window Schedule

Window No.	Type	Manufacturer	Model No.	Rough Opening WxH	Unit Size WxH	Material/Finish	Details			Hardware/Finish	Glazing	SHGC	U-Factor	Remarks
							Head	Jamb	Sill					
001		Existing		48-1/2 x 49-7/8 (MO)	NA	Painted Plywood								
002		Existing		48-1/2 x 49-7/8 (MO)	NA	Painted Plywood								
003	A	Pella	Special Size	48-1/4 x 50 (Extg MO)	44-3/4 x 46-1/2	Black Fiberglass/IG				Matte Black	Low-E IG	0.24-0.26	0.28-0.29	Pella Impervia Special Size Awning Window
004	B	Pella	Special Size	67-3/8 x 72-1/2 (Extg MO)	63-7/8 x 69	Black Fiberglass/ Tempered IG				Matt Black	Low-E IG	0.25-0.28	0.27-0.33	Pella Impervia Special Size Sliding Egress Window
005		Existing		48-1/4 x 50 (MO)	NA	Painted Plywood								
006		Existing		48-1/4 x 50 (MO)	NA	Painted Wood/IG								Existing Double Hung Window Pair
007		Existing		48-1/4 x 50 (MO)	NA	Painted Wood/IG								Existing Double Hung Window Pair
008		Existing		48-1/4 x 50 (MO)	NA	Painted Wood/IG								Existing Double Hung Window Pair
009		Existing		48-1/4 x 50 (MO)	NA	Painted Wood/IG								Existing Double Hung Window Pair
0101		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								New 1-1/4" Stone Window Stool
0102		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								
0103		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								
0104		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								
0105		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								
0106		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								
0107		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								
0108		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								
0109		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								
0110		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								
0111		Existing		48 x 98 (MO)	49-3/4 x 91-1/2	WD/GL								

Add-Alternate option: Existing windows 006, 007, 008, 009 to be replaced with new awning windows to match window 003.

WINDOW SPECIFICATIONS

Pella "Impervia" Casement/Awning Windows
 Interior Color: Black
 Exterior Color: Black
 Hardware: Fold-away crank, Matte Black
 Screen: Conventional Fiberglass
 Glazing: "AdvancedComfort" Low-E Double Pane Insulating Glass with Argon

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 6 June 2024
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 26 April 2024

Schwartz Residence
 50 South School Street, Unit 3
 Portsmouth, New Hampshire 03801

Drawing Title

Door and Window Types, Schedules

Date
 4/26/2024

Drawing Number

Scale
 1/2"=1'-0"

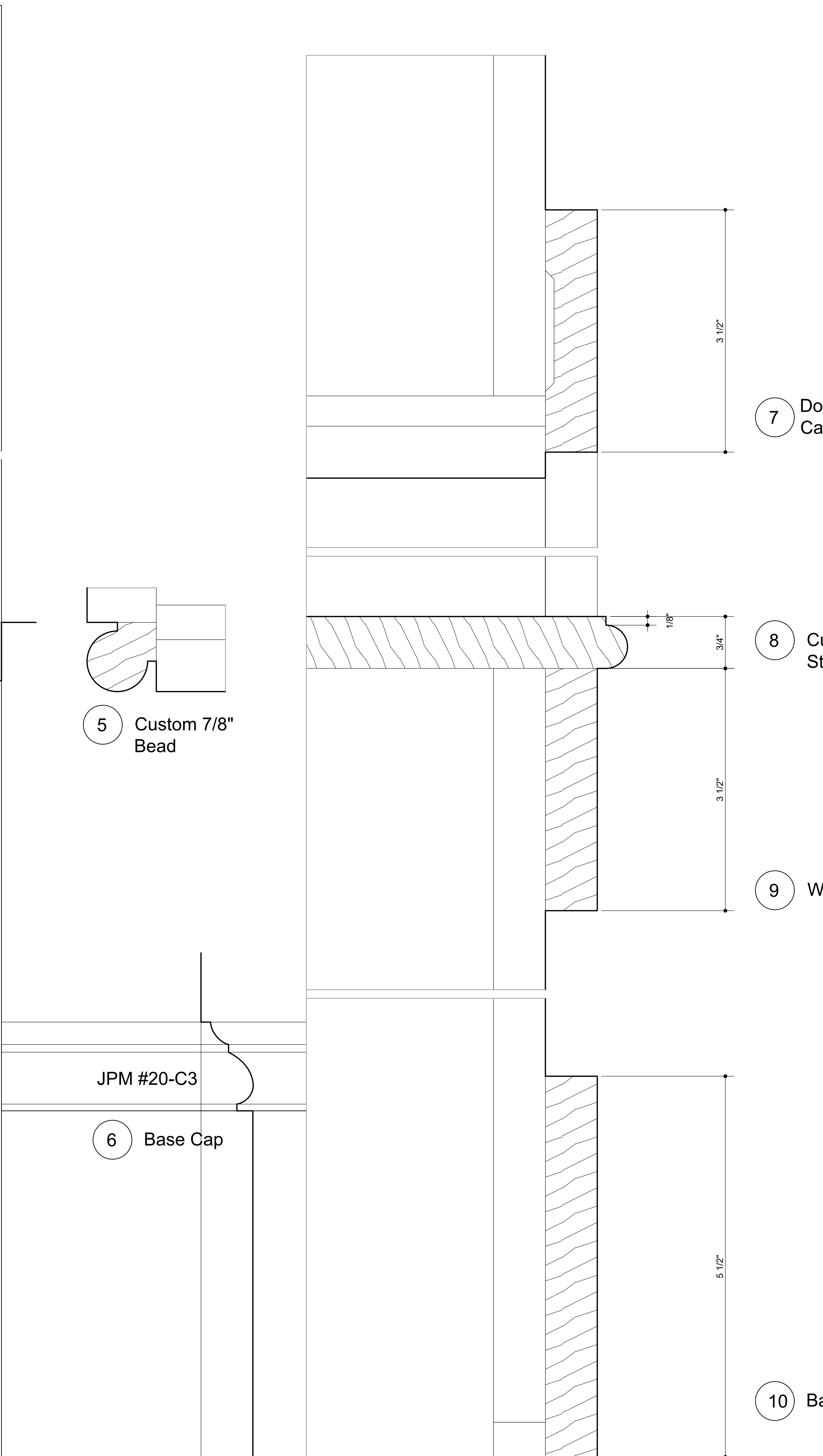
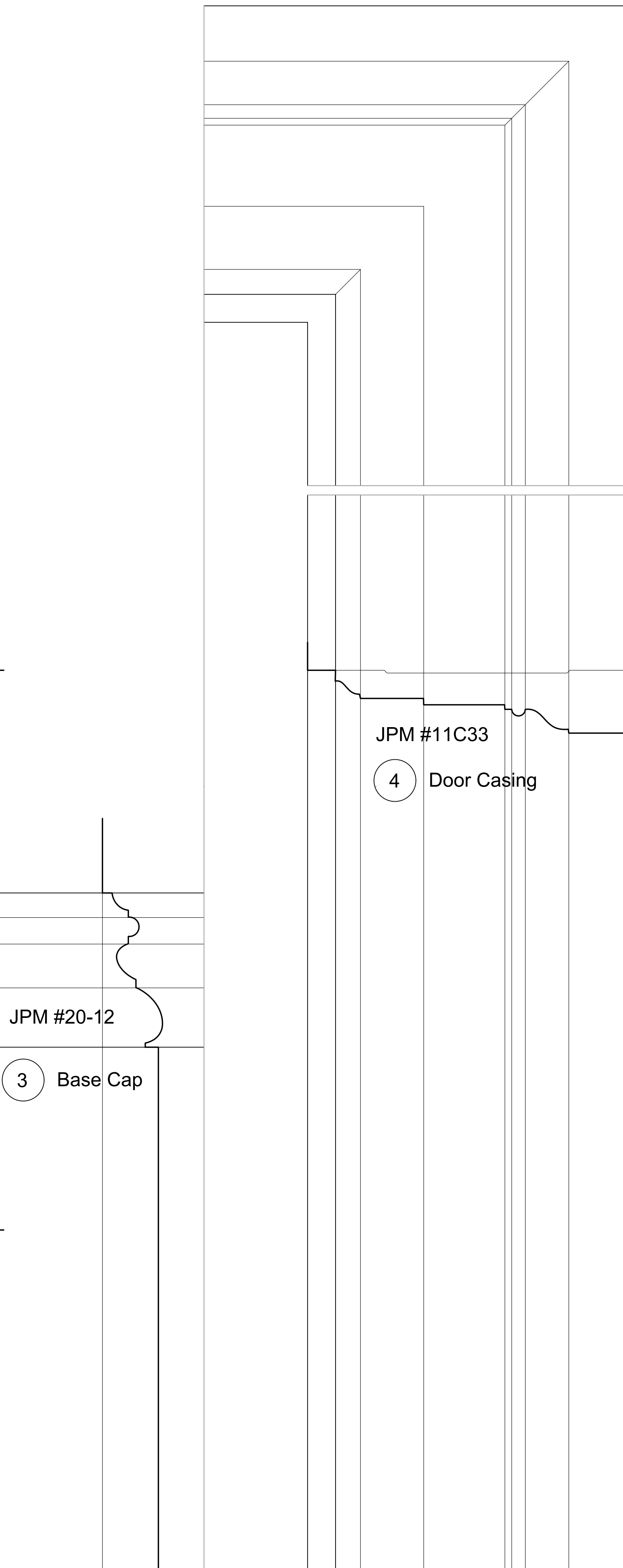
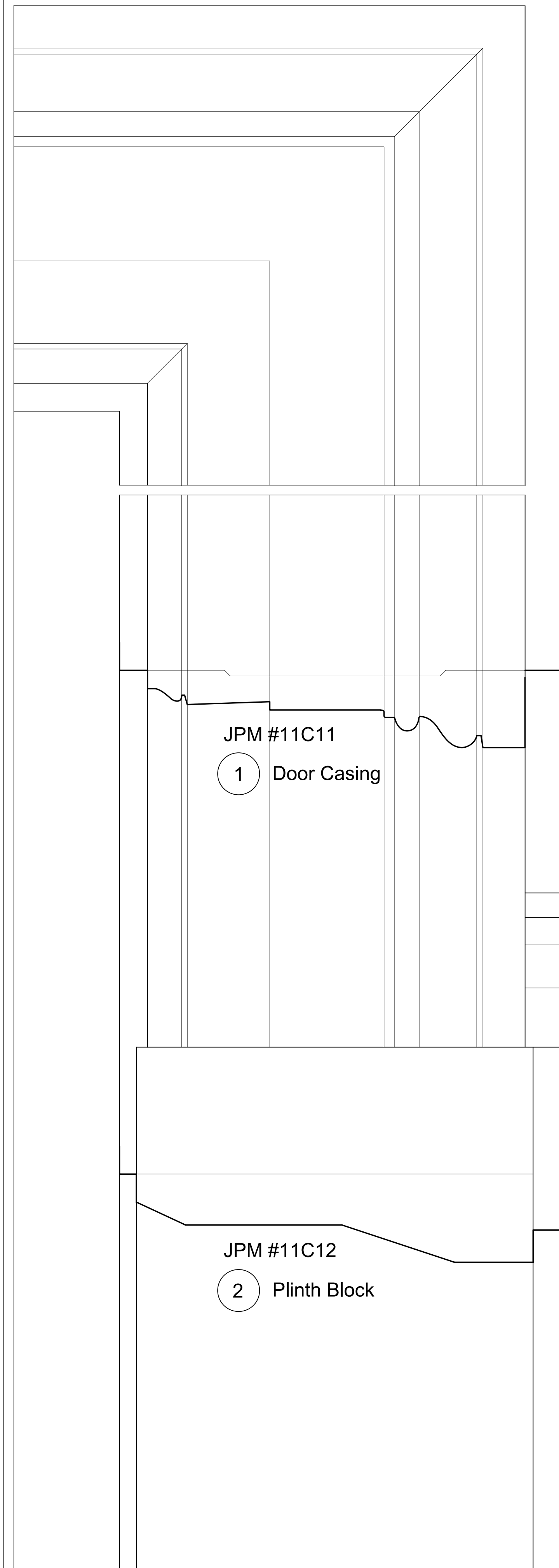
Project No.
 230604

A1-4

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A Interior Trim Type A Elevation Detail
 Scale: Full

B Interior Trim Type B Elevation Detail
 Scale: Full

C Interior Trim Type C Elevation Detail
 Scale: Full

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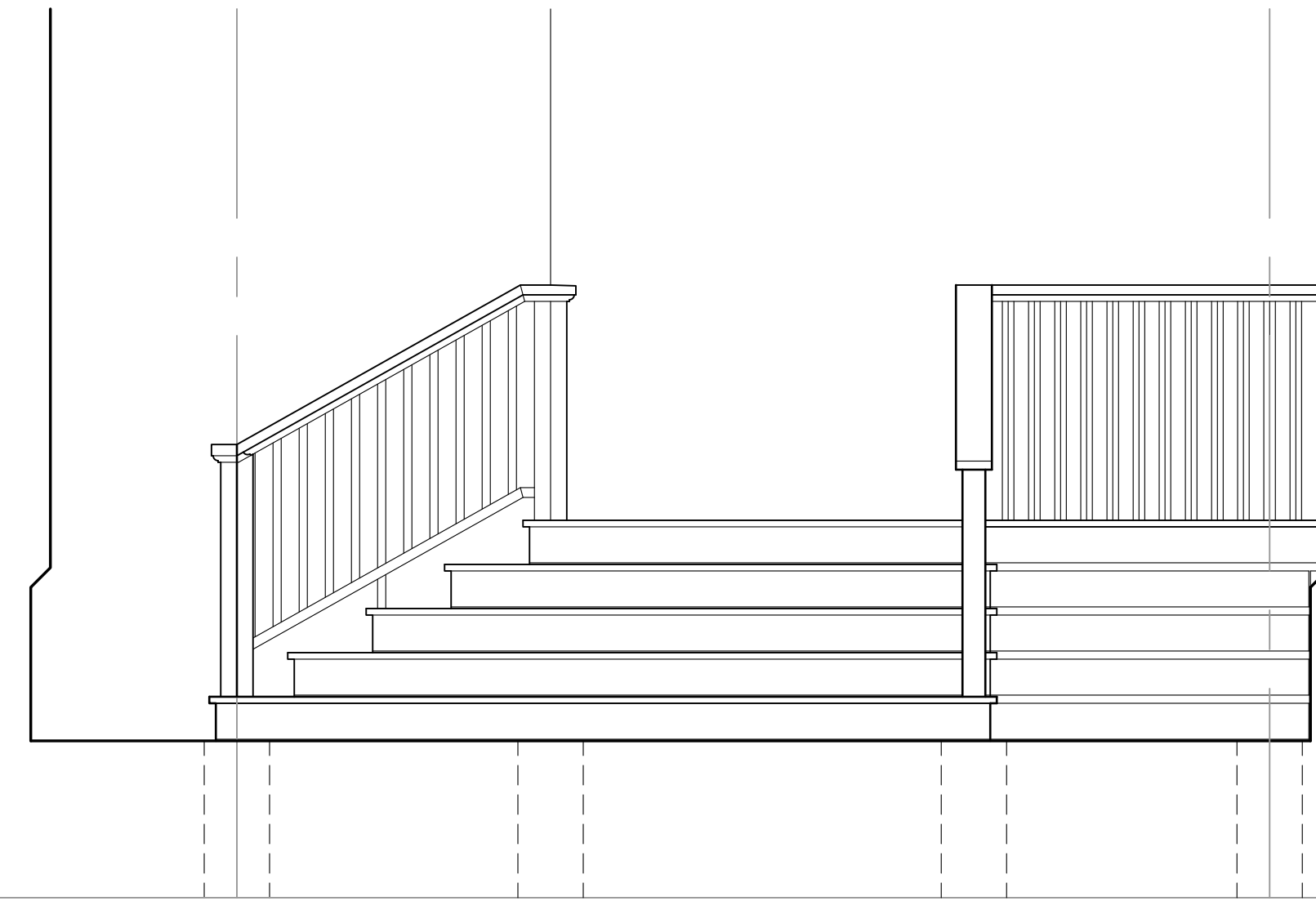
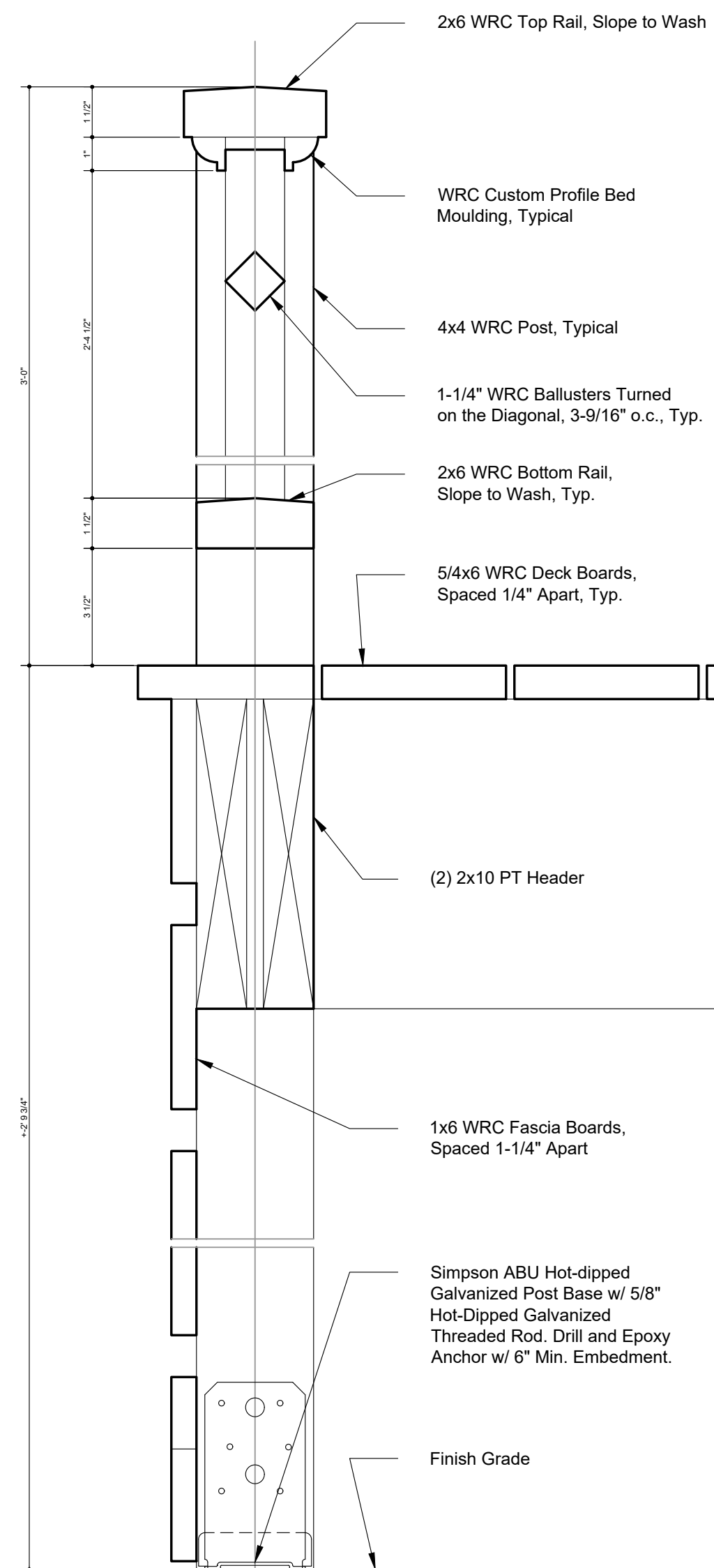
Drawing Title
Interior Running Trim

Date 4/26/2024	Drawing Number A1-5
Scale Full Scale	
Project No. 230604	

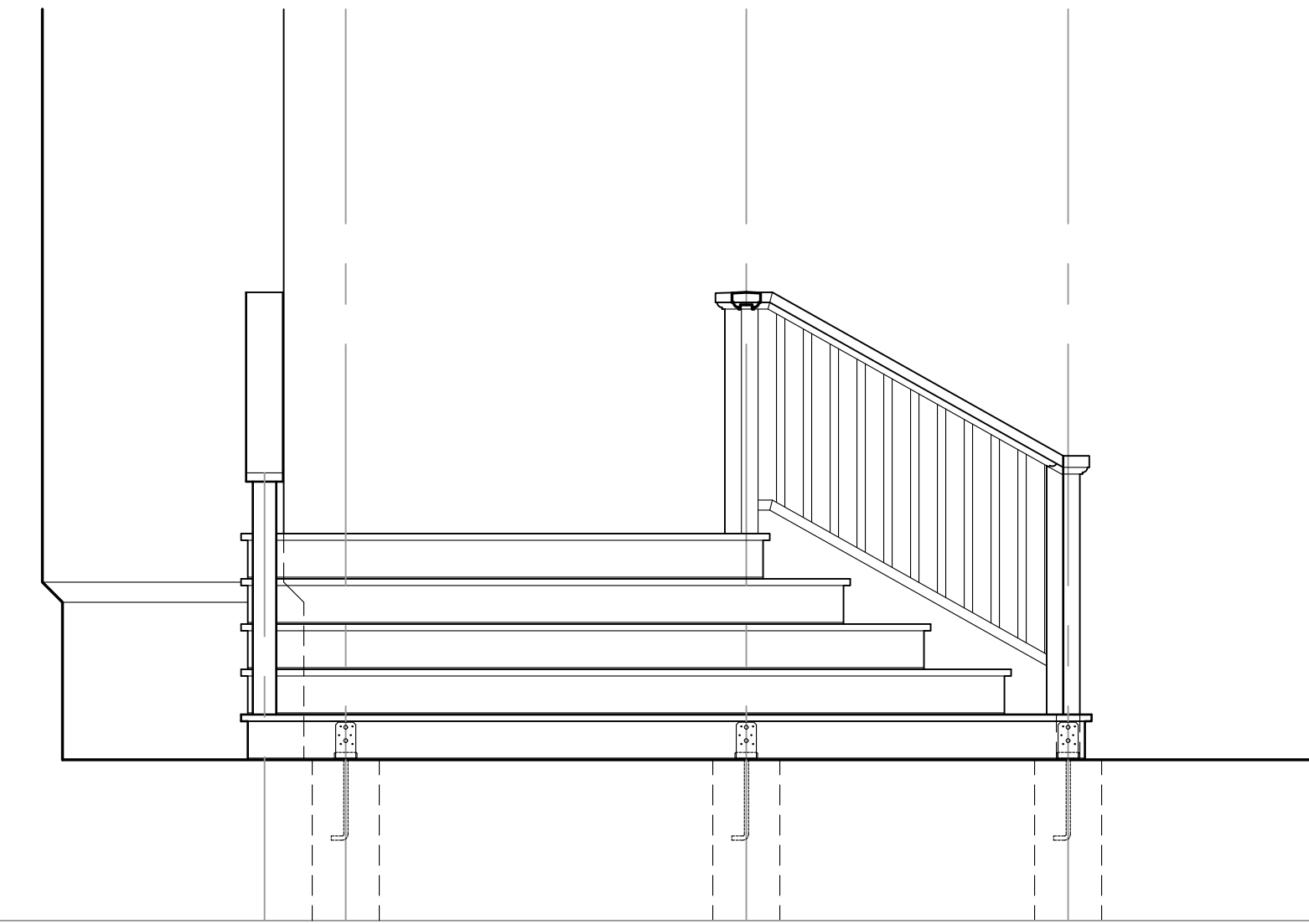
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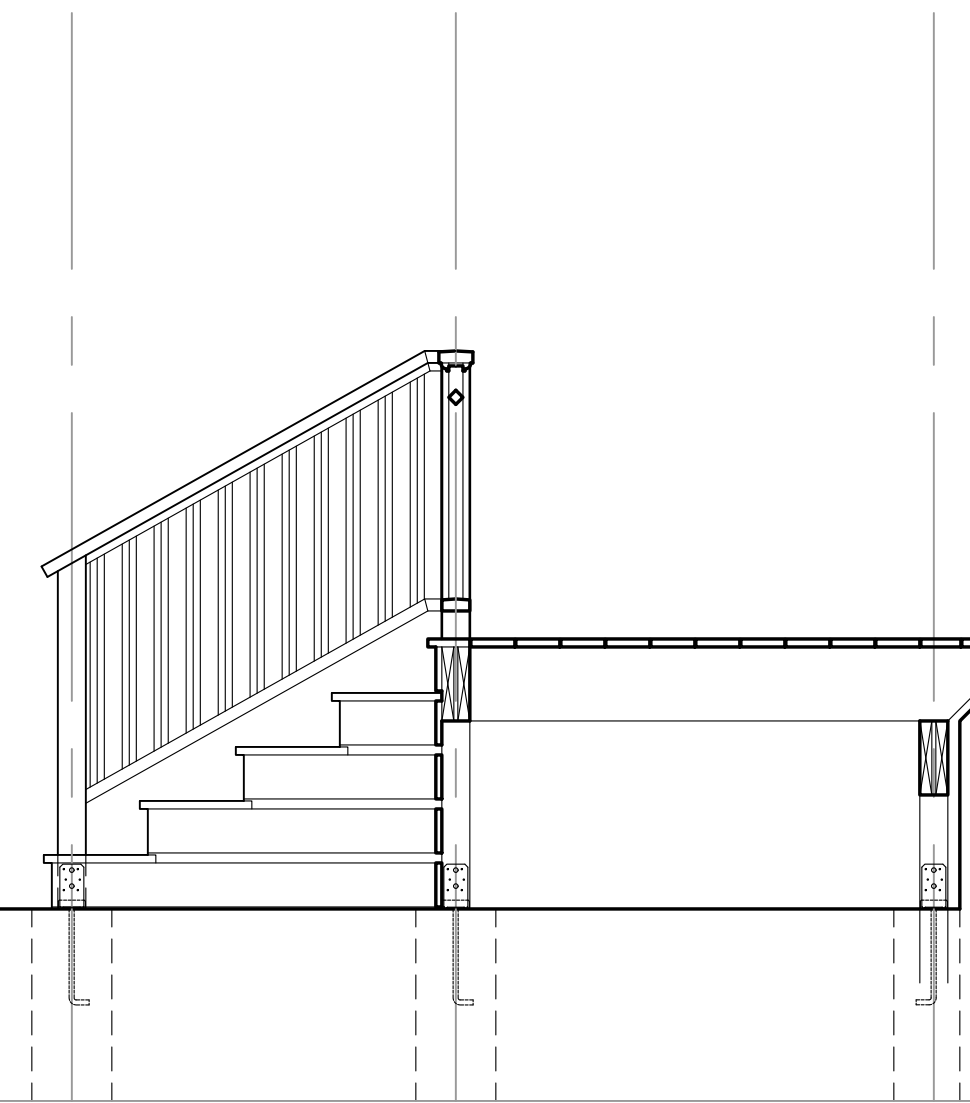
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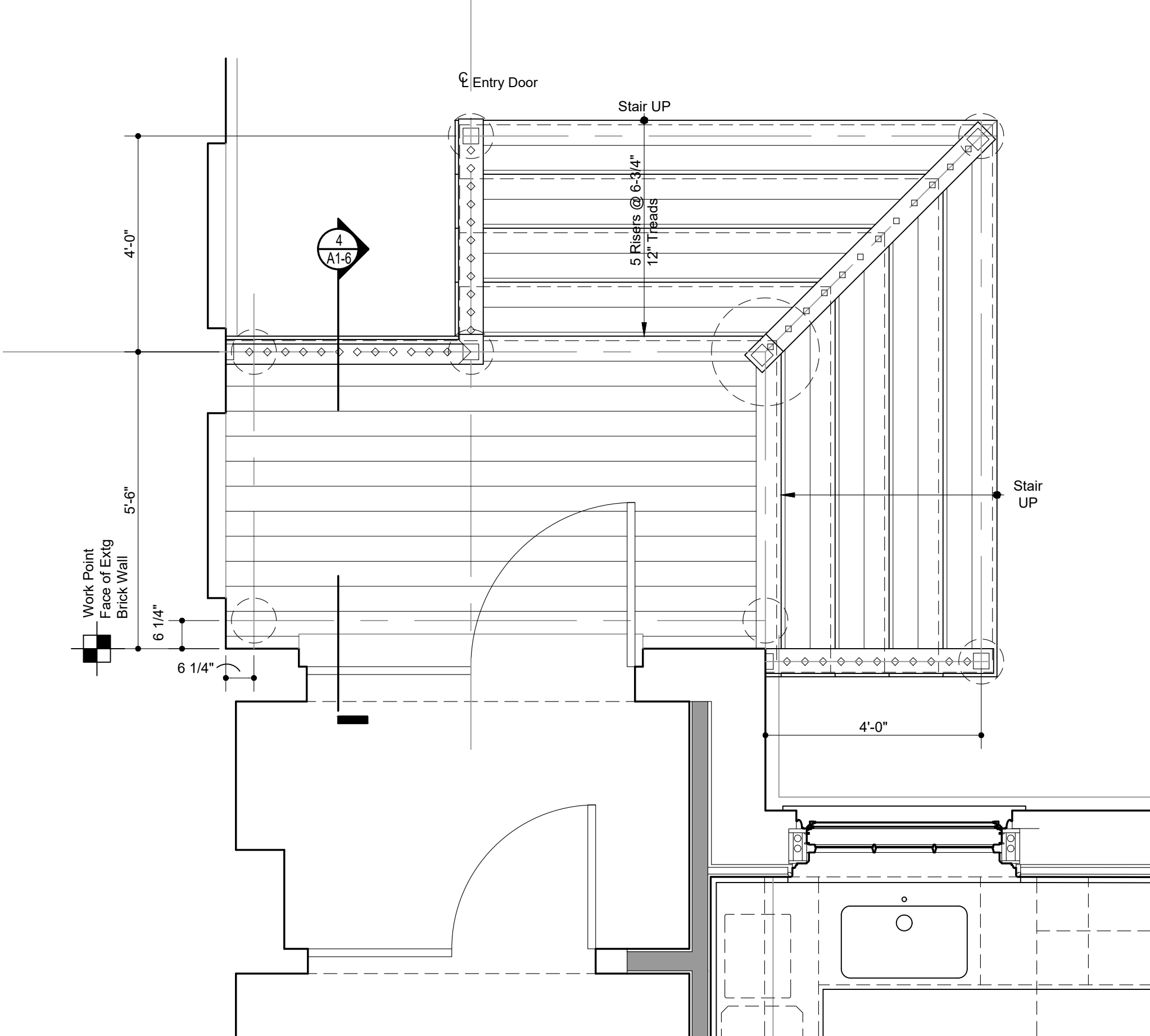
② Entry Stoop North Elevation
Scale: 1/2"=1'-0"



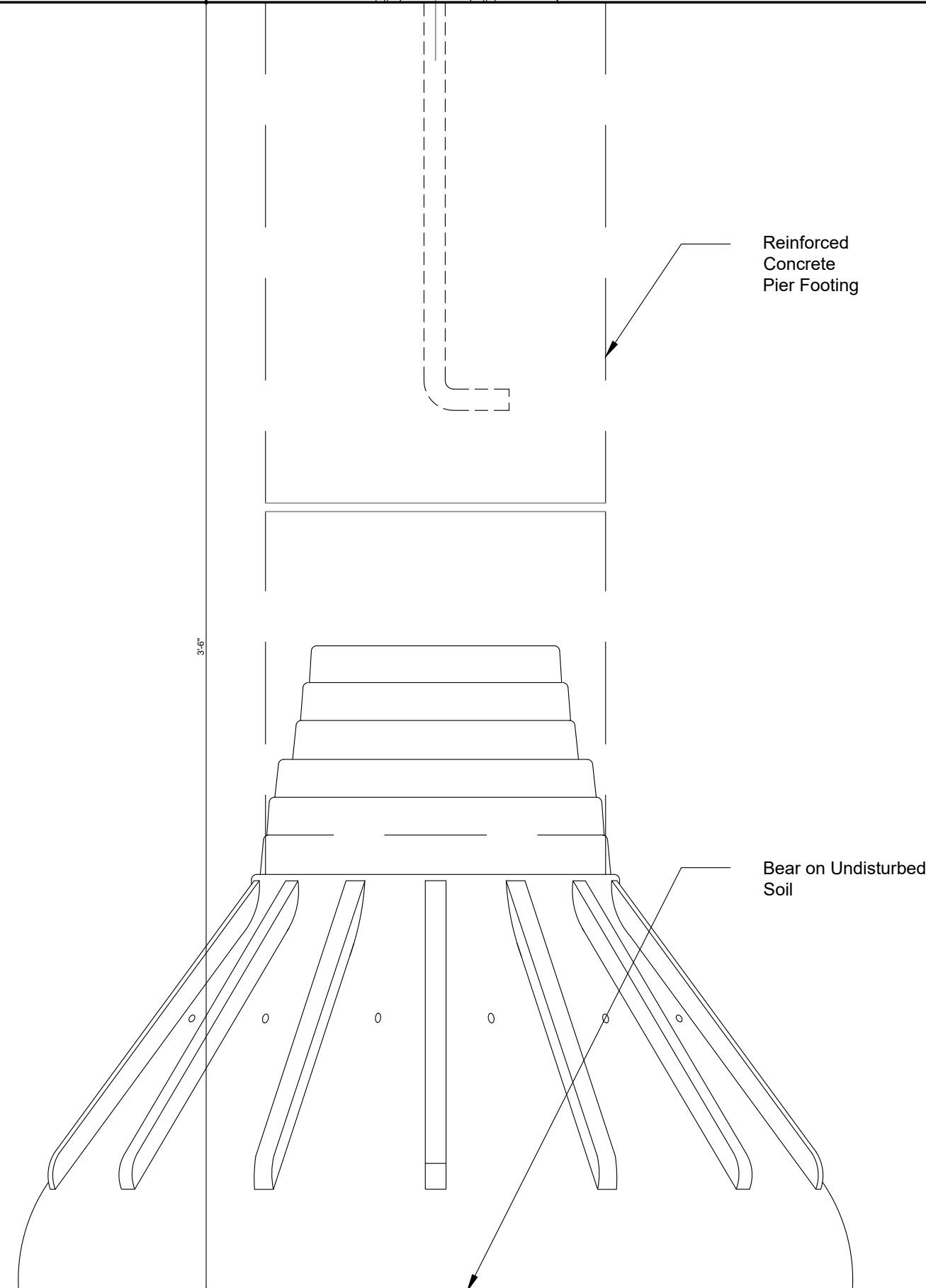
③ Entry Stoop East Elevation
Scale: 1/2"=1'-0"



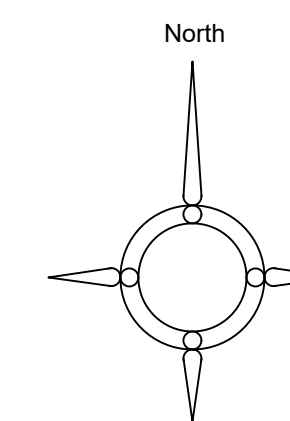
④ Entry Stoop West Elevation/Section
Scale: 1/2"=1'-0"



① Entry Stoop Enlarged Plan
Scale: 1/2"=1'-0"



⑤ Entry Stoop Section Detail
Scale: 3"=1'-0"



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Drawing Title
**Entry Stoop Enlarged Plan,
Elevations, Section Details**

Date
5/28/2024

Scale
As Noted

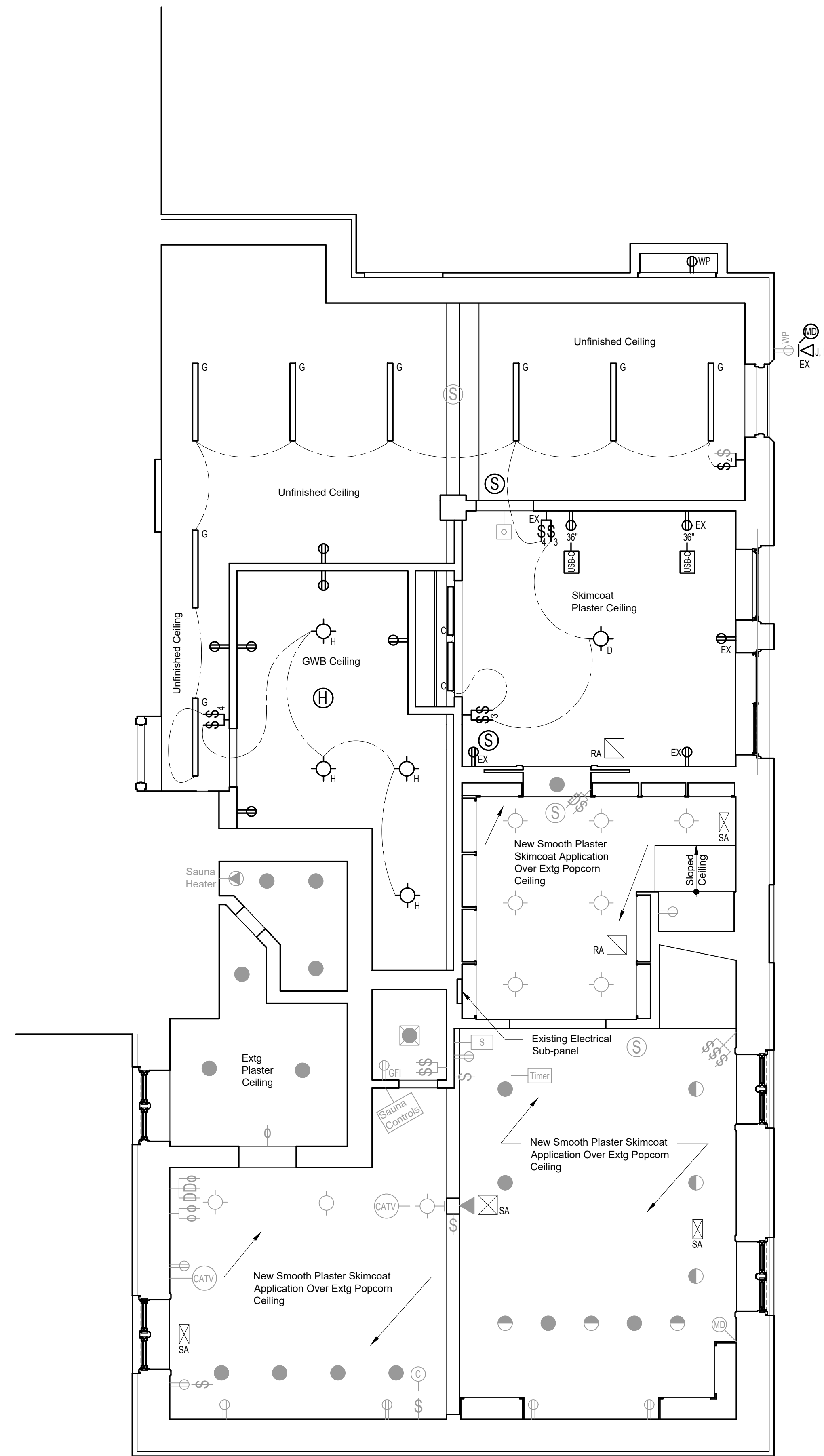
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230604

Drawing Number
A1-6

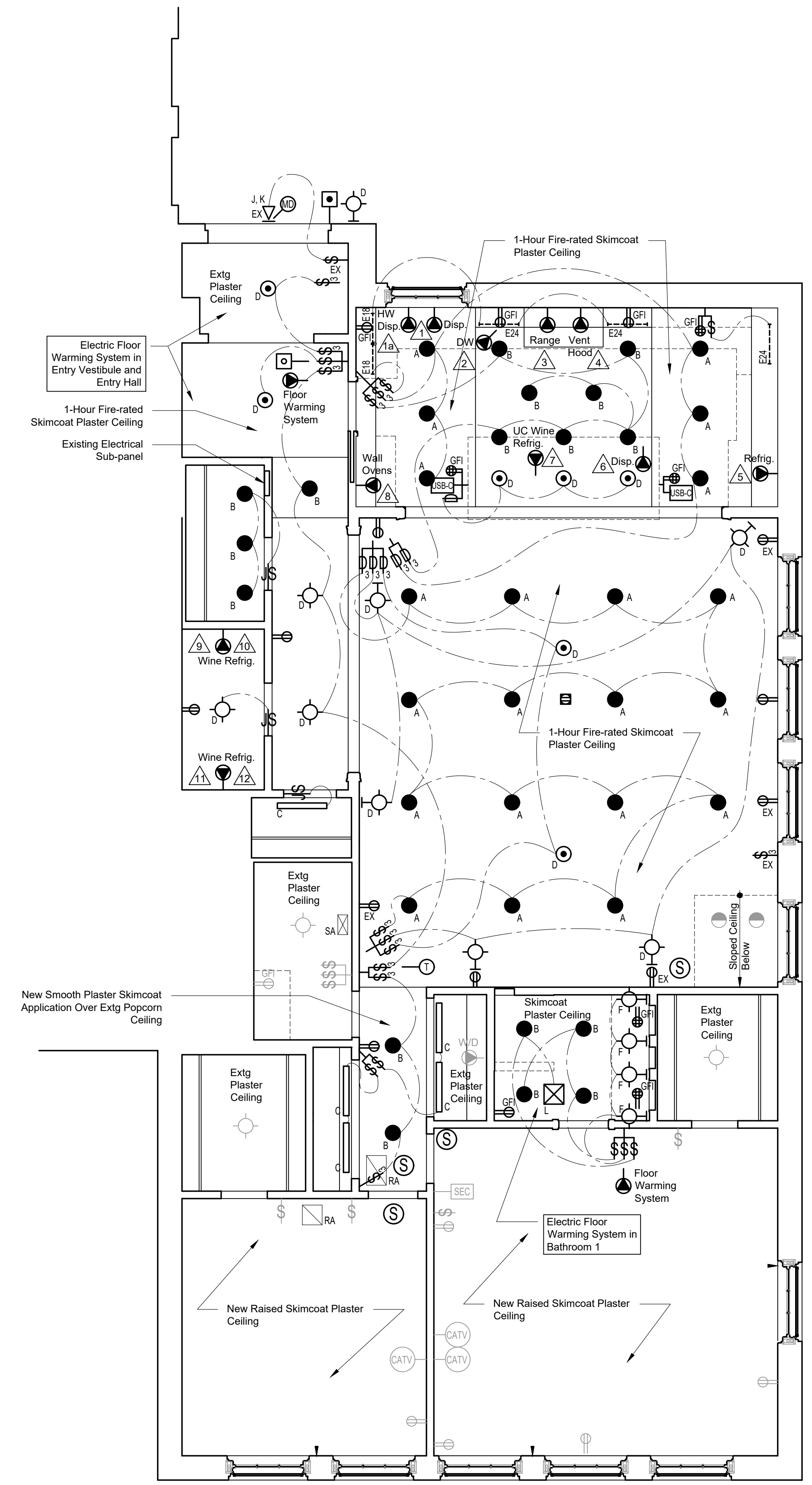
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0 Ground Floor Reflected Ceiling Plan
Scale: 1/4"=1'-0"



1 First Floor Reflected Ceiling Plan
Scale: 1/4"=1'-0"

- ELECTRICAL SYMBOLS**
- DUPLEX OUTLET
 - QUADRAPLEX OUTLET
 - HALF SWITCHED OUTLET
 - WATERPROOF OUTLET
 - FLOOR OUTLET
 - CLOCK OUTLET
 - GROUND FAULT INTERRUPT OUTLET
 - SPECIAL PURPOSE CONNECTION
 - PLUG MOLD
 - SINGLE POLE SWITCH
 - 3-WAY SWITCH
 - DIMMER SWITCH
 - JAMB SWITCH
 - SWITCH WITH INDICATOR LIGHT
 - SWITCH WITH TIMER (Lutron "Maestro")
 - SURFACE MOUNTED LIGHT FIXTURE
 - RECESSED DOWN LIGHT FIXTURE
 - WALL WASHER LIGHT FIXTURE
 - WALL MOUNTED LIGHT FIXTURE
 - CEILING PENDANT MOUNTED LIGHT FIXTURE
 - UNDER CABINET MOUNTED STRIP LIGHT FIXTURE
 - UNDER CABINET MOUNTED LOW VOLTAGE PUCK LIGHT FIXTURE
 - FLUORESCENT STRIP LIGHT FIXTURE
 - RECESSED FLUORESCENT CLOSET LIGHT
 - BULLET TYPE LIGHT FIXTURE
 - SMOKE DETECTOR
 - HEAT DETECTOR
 - CEILING MOUNTED EXHAUST FAN
 - TELEPHONE JACK
 - TRACK LIGHT
 - CABLE TELEVISION JACK
 - DOOR BELL
 - DOOR CHIME
 - VOLUME CONTROL
 - SPEAKER
 - SECURITY KEYPAD
 - MOTION DETECTOR
 - CARBON MONOXIDE DETECTOR
 - VOICEDATA JACK (CATEGORY 6 WIRE)
 - LIGHTING CONTROL KEYPAD (SEE LIGHTING CONTROL SYSTEM)
 - TOUCH SCREEN PANEL
 - STROBEHORN
 - THERMOSTAT
 - USB-C PORT
 - JUNCTION BOX
 - EXISTING ELECTRICAL DEVICE TO REMAIN

- PC SUFFIX INDICATES PULL CHAIN OPERATED DEVICE.
 - EX SUFFIX INDICATES NEW DEVICE IN EXISTING LOCATION.
 - 3' SUFFIX INDICATES DEVICE MOUNTING HEIGHT AFF.
- ELECTRICAL NOTES:**
1. ALL NEW DUPLEX OUTLETS SHALL BE MOUNTED VERTICALLY.
 2. ALL NEW DUPLEX OUTLETS SHALL BE LOCATED AT 12" TO CENTER LINE ABOVE FINISH FLOOR EXCEPT WHERE OTHERWISE NOTED.
 3. ALL NEW GANGED SWITCHES SHALL BE MOUNTED WITHIN ONE DEVICE PLATE.
 4. ALL SWITCHES SHALL BE MOUNTED AT 42" TO CENTER LINE ABOVE FINISH FLOOR.
 5. EXACT LOCATION OF ALL LIGHT FIXTURES SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 6. SEE LIGHT FIXTURE SCHEDULE FOR DEVICE DESCRIPTION AND SPECIFICATIONS INDICATED BY SINGLE LETTER SUFFIX.
 7. ALL CONTROL DEVICES AND OUTLETS TO BE LEVITON "DECORA".
 8. ALL DIMMERS TO BE LUTRON "Diva CL" TYPE.
 9. ALL ELECTRICAL OUTLETS AND SWITCHES LOCATED ON TRANSPARENT FINISH WOOD SHALL BE BLACK LEVITON "DECORA" STYLE DEVICES WITH BLACK COVER PLATES.

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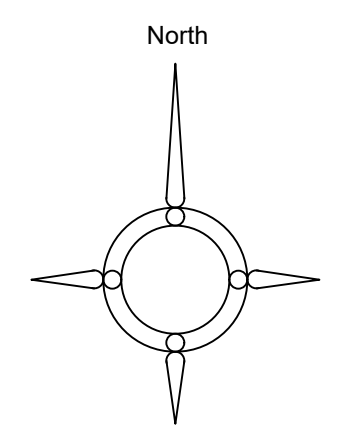
Drawing Title
Reflected Ceiling/Electrical Plans

Date 4/23/2024	Drawing Number
Scale 1/4"=1'-0"	E1-1
Project No. 230604	

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Project Address: 38 State Street, Unit #4

Permit Requested: Work Session

Application: Work Session B

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Residential
- Land Area: 1,417-1,780 SF +/-
- Estimated Age of Structure: c.1815
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: State Street
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: New roofing, roof deck, and windows and new the new construction of a rooftop/penthouse addition.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- New windows, roofing, and roof deck.
- Construct rooftop/penthouse addition.



**HISTORIC
SURVEY
RATING
C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



38 STATE STREET PORTSMOUTH, NH - HDC WORKING SESSION

COURT STREET VIEW

SEPT
04
2024



38 STATE STREET PORTSMOUTH, NH - HDC WORKING SESSION

OPTION A1

SEPT
04
2024









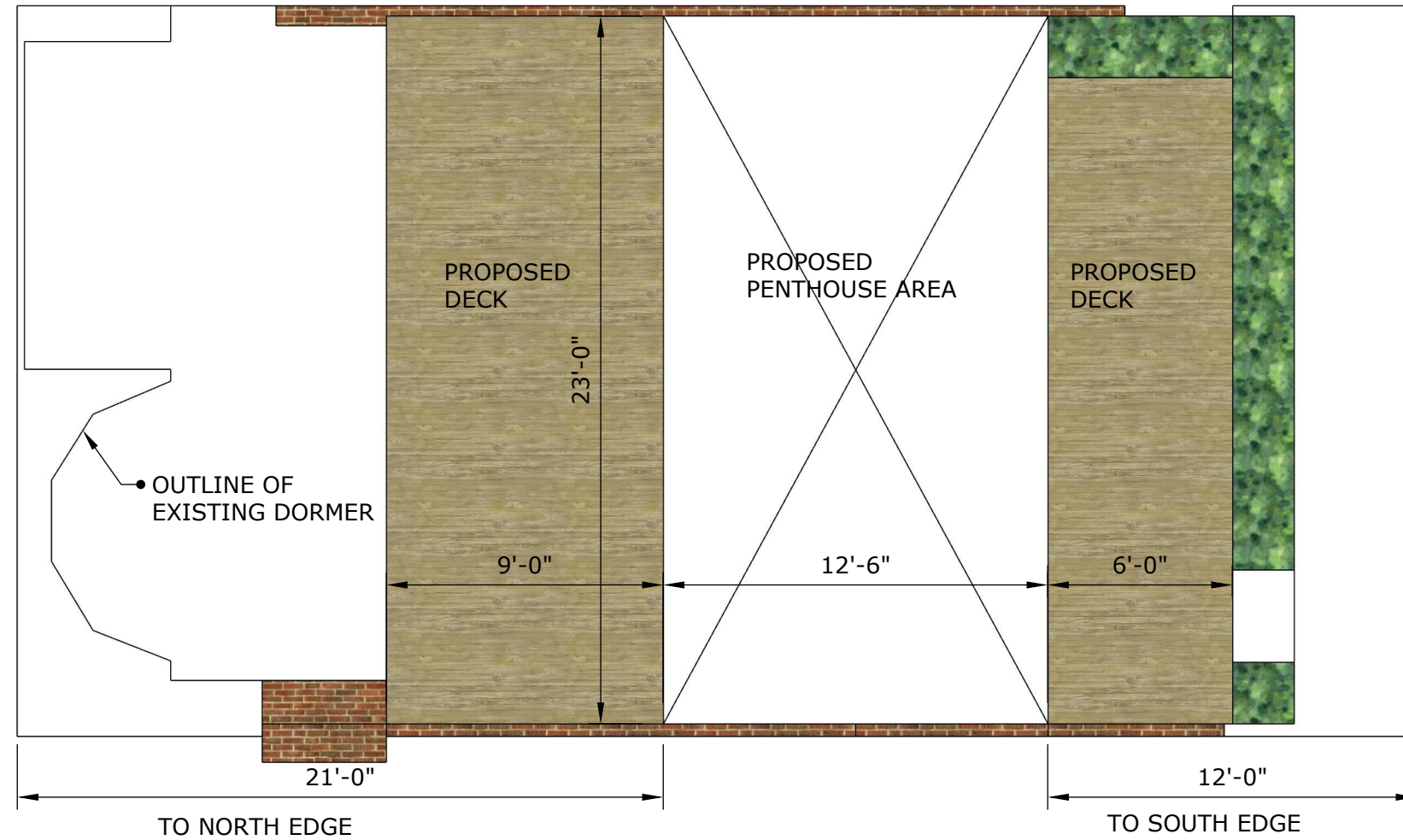




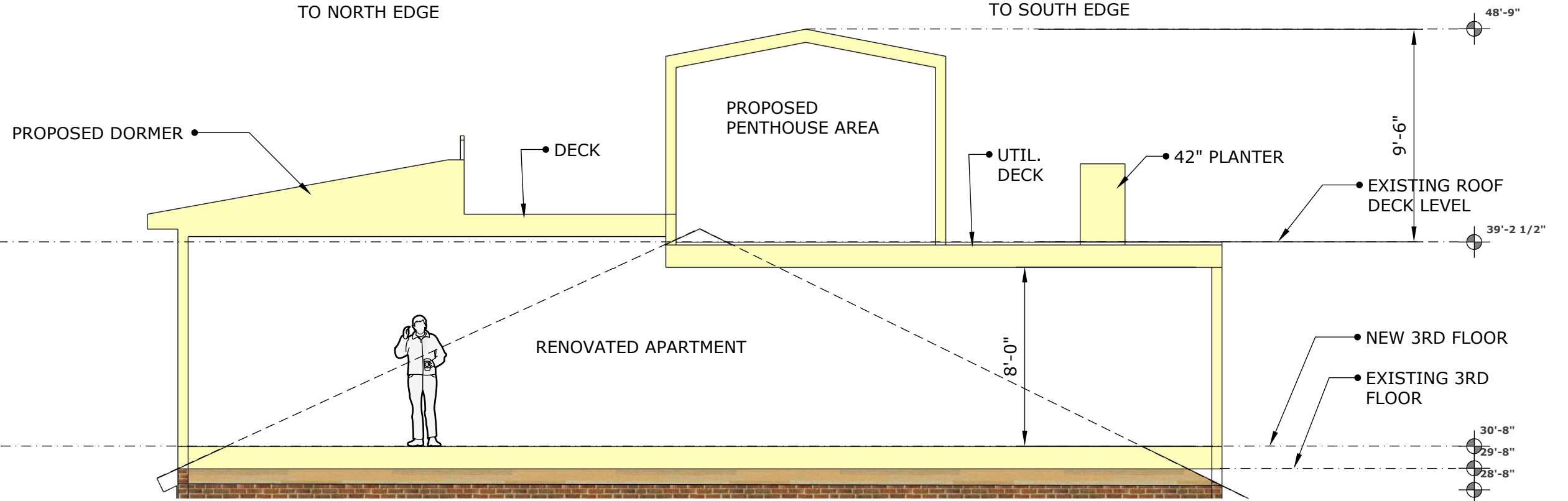
STATE STREET
NORTH EDGE

COURT STREET
SOUTH EDGE

20+ FEET FROM PENTHOUSE TO EAST EDGE



PLAN



SECTION



Project Address: 93 State Street

Permit Requested: Work Session

Application: Work Session A

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4 (CD4)
- Land Use: Residential
- Land Area: 5,782 SF +/-
- Estimated Age of Structure: c.1815
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: State Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown

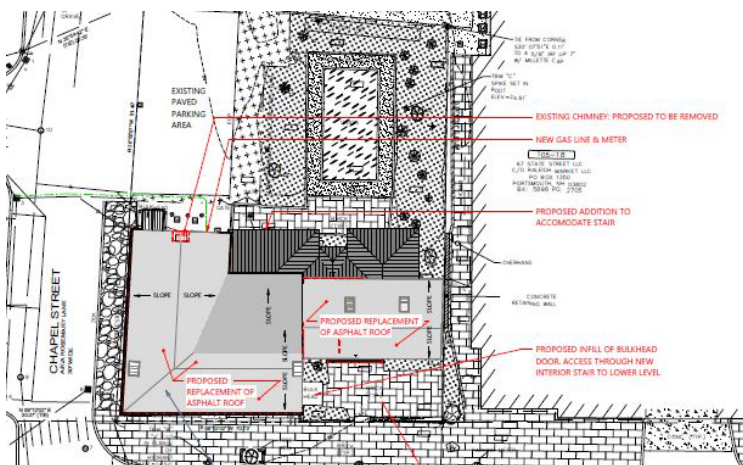


B. Proposed Work: Construct rear 1-story addition and renovations to the existing structure.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Construct a 1-story rear addition
- Renovations to the existing structure



**HISTORIC
SURVEY
RATING
C**

D. Purpose and Intent:

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties

Anthony Residence Renovation

93 State Street, Portsmouth, NH **DWG Revision & Issue Index**

Rev. No. Date As Noted Description

Portsmouth Historic District Commission
08/16/2024



CONCEPTUAL RENDERING NOTE: NOT FOR CONSTRUCTION USE
CONCEPTUAL RENDERINGS SHOWN ARE FOR GRAPHICAL AND SPATIAL REPRESENTATION ONLY AND DO NOT ALWAYS MATCH THE CURRENT ARCHITECTURAL DRAWINGS AND DETAILS WITHIN THE DRAWING PACKAGE. CONCEPTUAL IMAGES NOT TO BE BUILT FROM. ALL ELEVATIONS, DETAILS, SCHEDULES AND OTHER SHEETS WITHIN THE ARCHITECTURAL DRAWINGS TAKE PRECEDENT. NOTIFY ARCHITECT OF DISCREPANCIES FOR CLARIFICATION.

Sheet List

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date
A002	Architectural Site Plan	08/16/2024		
A003	Project Reference Images	08/16/2024		
A004	Code Review	08/16/2024		
A010	Existing Crawlspace Plan	08/16/2024		
A011	Existing First Floor Plan	08/16/2024		
A012	Existing Second Floor Plan	08/16/2024		
A017	Existing Elevations	08/16/2024		
A020	Basement Demolition Plan	08/16/2024		
A021	First Floor Demolition Plan	08/16/2024		
A022	Second Floor Demolition Plan	08/16/2024		
A100	Proposed Foundation & Crawl Space Plan	08/16/2024		
A101	Proposed First Floor Plan	08/16/2024		
A102	Proposed Second Floor Plan	08/16/2024		
A200	Elevation Views - Street Facing	08/16/2024		
A201	Elevation Views	08/16/2024		
A500	Window Schedule & Types	08/16/2024		
A501	Exterior Door Schedule	08/16/2024		
R5	Exterior Rendering - View from State Street	08/16/2024		
R6	Exterior Rendering - View from Chapel Street	08/16/2024		
R7	Exterior Rendering - View from Courtyard	08/16/2024		
R8	Exterior Rendering - View from State Street towards Chapel	08/16/2024		



HISTORICAL PHOTO - STATE STREET - CIRCA 1970s

GENERAL NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO HAVE COMPLETE CONTRACT DOCUMENT PACKAGES AS DESCRIBED IN THE "SHEET LIST" AND PROJECT MANUAL "TABLE OF CONTENTS".
- CONTRACTOR REQUIRED TO FOLLOW ALL LOCAL, STATE AND FEDERAL BUILDING AND LIFE SAFETY CODES AS LISTED ON THE "PROJECT CODE REVIEW". THE PROJECT CONTRACT DOCUMENTS ARE PRESUMED TO BE IN COMPLIANCE WITH THESE CODES. DEVIATION FROM THE CONTRACT DOCUMENTS IS PROHIBITED AND THE CONTRACTOR WILL ASSUME ALL LIABILITY FOR SUCH ACTIONS.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, WHAT IS REQUIRED BY ONE IS AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT OF RECORD FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- REPETITIVE ELEMENTS MAY NOT BE DRAWN IN THEIR ENTIRETY AT EACH INSTANCE. REFER TO TYPICAL DETAILS AND CONSTRUCT EACH INSTANCE AS IF DRAWN IN FULL.
- THE EXISTING CONDITIONS DESCRIBED WITHIN THE PROJECT DOCUMENTS ARE GRAPHICAL REPRESENTATIONS OF THE CURRENT FIELD CONDITIONS. ACTUAL FIELD CONDITIONS MAY VARY AND ALL CONTRACTORS ARE REQUIRED TO BE FAMILIAR AND VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS OF EXISTING STRUCTURE, BUILDING ELEMENTS AND EQUIPMENT PRIOR TO BEGINNING WORK. ALL DIMENSIONS NOTED ON PLANS ARE TO FACE OF STUD FOR NEW WALLS OR FACE OF FINISH FOR EXISTING WALLS UNLESS NOTED OTHERWISE. VERTICAL DIMENSIONS IN ELEVATION, SECTION AND DETAILS ARE FROM TOP OF CONCRETE SLAB/DECK FOR NEW FLOORS OR TOP OF FINISH FLOOR AT EXISTING FLOORS.
- ALL GRADE LINES, BOTH NEW AND EXISTING, SHOWN ON ARCHITECTURAL PLANS ARE APPROXIMATE ONLY. FINAL GRADES TO BE COORDINATED WITH CIVIL ENGINEERING DRAWINGS.
- CONTRACTOR TO VERIFY ALL ROUGH OPENING REQUIREMENTS WITH ACTUAL PRODUCT SUBMITTALS.
- WALLS WITH UL DESIGN NUMBERS SHALL BE CONSTRUCTED TO UL STANDARDS. PRODUCTS USED SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY THE UL DESIGN.
- DRAWINGS AND SPECIFICATIONS UTILIZE REFERENCES TO INDUSTRY DESIGN, CONSTRUCTION, AND PROCESS STANDARDS BY APPLICABLE TRADE AND MATERIAL ORGANIZATIONS. THESE DOCUMENTS SHALL BE INCORPORATED INTO THE CONTRACT DOCUMENTS BY SUCH REFERENCES. ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO FOLLOW THE STANDARD PRACTICES CONTAINED WITHIN.
- ALL PENETRATIONS OF FIRE RATED CONSTRUCTION ARE REQUIRED TO MEET THE ASSEMBLY RATING REQUIREMENT.
- ALL NON-BEARING METAL STUD WALLS SHALL BE CONSTRUCTED WITH DEFLECTION TRACK AND MINIMUM DEFLECTION DISTANCE OF 3/4" FROM THE STRUCTURE ABOVE IF NOT DETAILED ELSEWHERE.
- SEE STRUCTURAL DRAWINGS FOR SIZES OF STRUCTURAL MEMBERS, DESIGN LOADS AND MINIMUM REQUIREMENTS.
- ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DESIGN/BUILD CONTRACTORS ARE REQUIRED TO SUBMIT A COORDINATION BUILDING INFORMATION MODEL IN A REVIT COMPATIBLE FORMAT PRIOR TO FINALIZING DESIGN AND CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO REVIEW MANUFACTURER OF SUBMITTED PRODUCTS INSTALLATION RECOMMENDATIONS AND COORDINATE WITH DESIGN DETAILS.
- UNLESS OTHERWISE NOTED OR SPECIFIED, THESE DRAWINGS AND NOTES REPRESENT UTILITIES AND COORDINATION WITHIN THE BUILDING AND TO THE EXTERIOR WITHIN A DISTANCE OF 5'-0" FROM THE EXTERIOR FOOTPRINT OF THE BUILDING. CONTRACTOR TO COORDINATE UTILITY CONNECTIONS AND IS RESPONSIBLE FOR ALL OVERHEAD AND UNDERGROUND UTILITY RUNS AND CONNECTIONS.
 - CONTRACTOR SHALL PERFORM ALL NECESSARY LEAKAGE AND PRESSURIZATION TESTS PRIOR TO ENCLOSING UNDERGROUND PIPING.
 - OVERHEAD UTILITIES SHALL BE COORDINATED WITH UTILITY COMPANY AND LANDSCAPE DRAWINGS FOR POTENTIAL CONFLICTS.

PROJECT TEAM

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NE CORNERSTONE

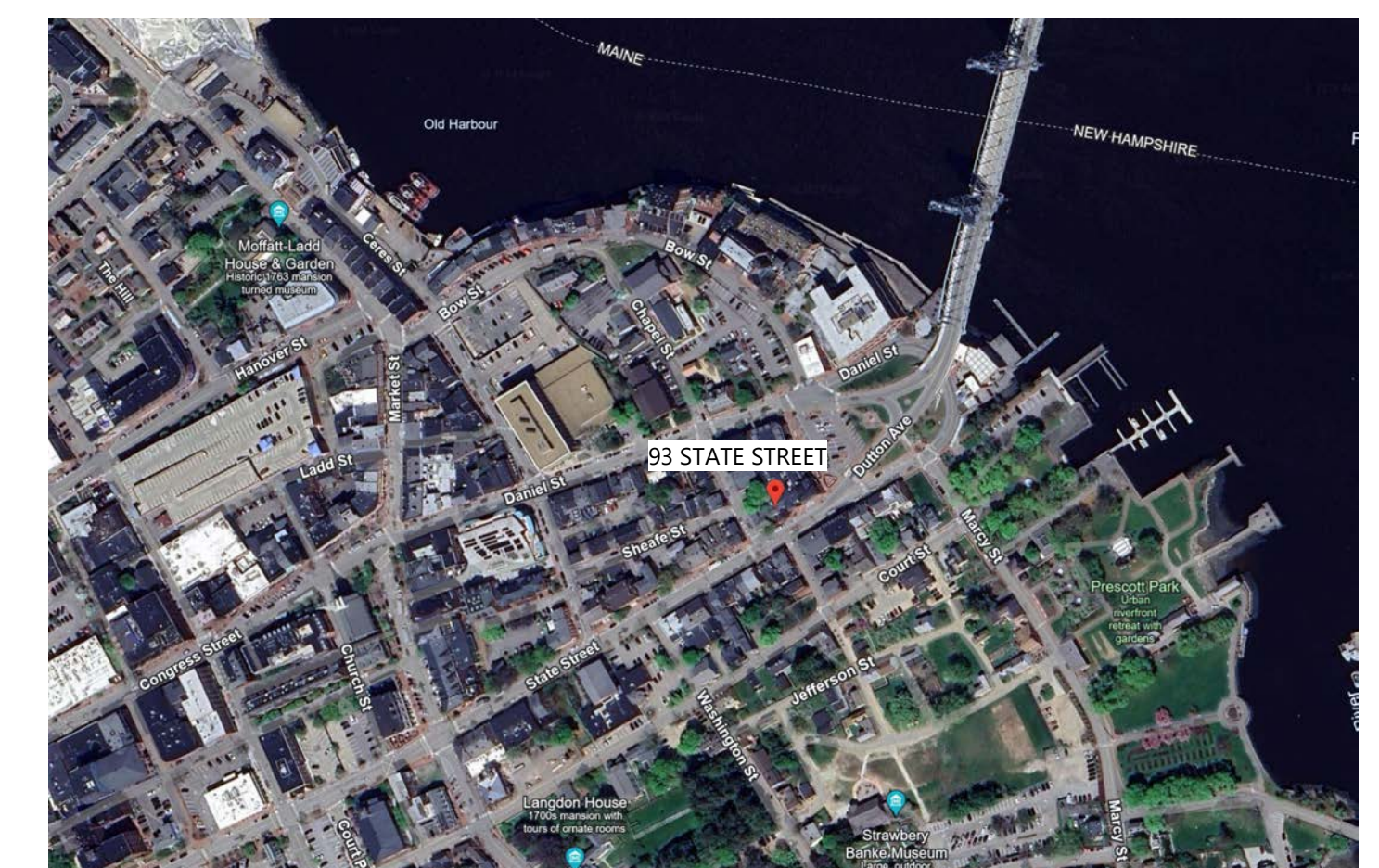


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LOCUS MAP





Anthony Residence Renovation

Exterior Rendering - View from State Street



Anthony Residence Renovation

Exterior Rendering - View from Chapel Street



Anthony Residence Renovation

Exterior Rendering - View from Courtyard



Anthony Residence Renovation

Exterior Rendering - View from State Street towards Chapel