

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details) \**

**6:30 p.m.**

**October 02, 2024**

**AGENDA(revised on September 27, 2024)**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. ADMINISTRATIVE APPROVALS**

1. 31 Market Street
2. 95 Daniel Street
3. 37 Hanover Street
4. 85 Daniel Street
5. 11 Meeting House Hill Road
6. 25 Penhallow Street
7. 39 Holmes Court
8. 491 Marcy Street
9. 0 Congress Street

**II. PUBLIC HEARINGS (OLD BUSINESS)**

A. (Work Session/Public Hearing) requested by Matthew Morton Associates, LLC, owner, for property located at 87 Market Street, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 43 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

B. **REQUEST TO POSTPONE-** Petition of, Jane Vanni Meyers, owner, for property located at 195 Washington Street, wherein permission is requested to allow exterior renovations to an existing structure (renovate front entrance and door) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 78 and lies within the General Residence B (GRB) and Historic Districts.

**III. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of Lucille A. Capone Revocable Trust, C/O Patrick K. Capone, owners, for property located at 18 Ladd Street, wherein permission is requested to allow exterior renovations to an existing structure (window replacements) as per plans on file in the Planning Department.

Said property is shown on Assessor Map 117 as Lot 25 and lies within the Character District 4 (CD4) and Historic Districts.

2. Petition of City of Portsmouth, owner, and Portsmouth Housing Authority, Applicant, for property located at 1 Junkins Avenue (Connors Cottage), wherein permission is requested to allow exterior modifications to an existing structure (construction of an exterior chairlift at the main entrance) as per plans on file in the Planning Department. Said property is shown on Assessor Map 110 as Lot 1 and lies within the Municipal and Historic Districts.

3. Petition, of City of Portsmouth, owner, and Unitil, Applicant, for property located at 0 Marcy Street (Prescott Park Utility Building), wherein permission is requested to allow exterior renovations to an existing structure (replacement windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 104 as Lot 1 and lies within the Municipal and Historic Districts.

4. Petition of Parkside Condominium Association, owner, and Edward Mallon, Applicant, for property located at 67 State Street, wherein permission is requested to allow exterior renovations to an existing structure (partial removal of chimneys) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 18 and lies within the Character District 5 (CD5) and Historic Districts.

5. **REQUEST TO POSTPONE-** Petition of RGA Investments, LLC, owner, for property located at 342 Islington Street, wherein permission is requested to allow exterior renovations to an existing structure (re-roof the entire structure and replace all roof trim/detailing on the mansard portion of the roof) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 15 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

6. Petition of Daisy and Bert Wortel, owners, for property located at 245 Marcy Street, wherein permission is requested to allow exterior renovations to an existing structure (replace (29) windows and (3) doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 13 and lies within the General Residence B (GRB) the Historic Districts.

#### **IV. WORK SESSIONS (OLD BUSINESS)**

A. Work Session requested by, Wenberry Associates, LLC, owner, for property located at 21 Congress Street, wherein permission is requested to allow new construction to an existing structure (construct roof top penthouse, construct storefronts along Haven Court and modify the Fleet Street façade) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 12 and lies within the Character District 5 (CD-5), Downtown Overlay and Historic Districts.

B. **REQUEST TO POSTPONE-** Work Session requested by Kevin Shitan Zeng Revocable Trust of 2017, owner, for property located at 377 Maplewood Avenue, wherein permission is requested to allow the demolition of the rear structure on the lot and the new construction of a

detached accessory dwelling unit as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 22 and lies within the General Residence A (GRA) and Historic Districts.

C. **REQUEST TO POSTPONE-** Work Session requested by, PNF Trust of 2013, owner, for property located at 266-278 State Street, wherein permission is requested to allow the new construction of a four-story building, as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 78, 79, 80 and lies within Character District 4 (CD-4), Downtown Overlay and the Historic Districts.

## V. **ADJOURMENT**

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_rAVVT40JQ5i3bO-BdhcQJA](https://us06web.zoom.us/webinar/register/WN_rAVVT40JQ5i3bO-BdhcQJA)

# HDC

## ADMINISTRATIVE APPROVALS

October 02, 2024

- |    |                            |                       |
|----|----------------------------|-----------------------|
| 1. | 31 Market Street           | -Recommended Approval |
| 2. | 95 Daniel Street           | -Recommended Approval |
| 3. | 37 Hanover Street          | -Recommended Approval |
| 4. | 85 Daniel Street           | -Recommended Approval |
| 5. | 11 Meeting House Hill Road | -Recommended Approval |
| 6. | 25 Penhallow Street        | -Recommended Approval |
| 7. | 39 Holmes Court            | -Recommended Approval |
| 8. | 491 Marcy Street           | -Recommended Approval |
| 9. | 0 Congress Street          | -Recommended Approval |

**1. 31 Market Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for work that has already been completed. Removing rubber roof and replacing with asphalt shingles, removing a wood trim board and replacing with a PVC material and the removal and replacement of the existing copper gutter.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

















**SEACOAST ROOFING  
& Exteriors**  
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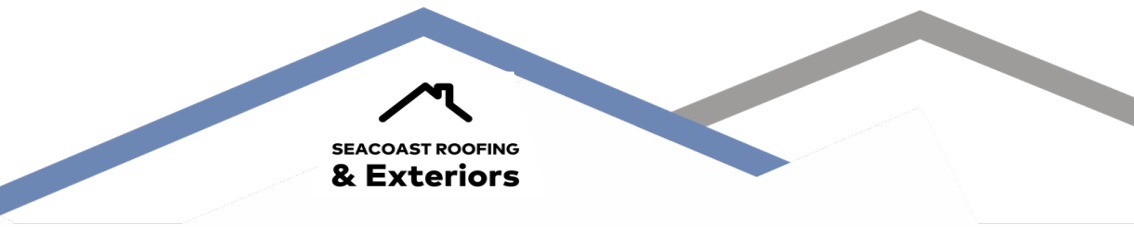
This Contract for Roofing and Exterior Services is made effective as of 6/05/2024 **THE CLIENT: MARK BRENNER, 31-33 MARKET ST, PORTSMOUTH, NH 03801 (603 234 4878), and THE CONTRACTOR: SEACOAST ROOFING & EXTERIORS, LLC OF PO 2485, SEABROOK, NEW HAMPSHIRE 03874.**

**DESCRIPTION OF SERVICES.** Beginning on or about 07/06/2024 OR TBD. SEACOAST ROOFING & EXTERIORS will provide the following exterior services (collectively, the "Services"): **FOR THE TIMELY & WORKMANLIKE COMPLETION OF THE WORK BELOW THE TIMELINE MAY BE AFFECTED BY WEATHER CONDITIONS, CHANGES IN THE SCOPE OF WORK, AND DELAYS IN RECEIVING MATERIALS AND PERMITS**

WORK DESCRIPTION	PRICE
<p style="text-align: center;">DAY 1</p> <p>SLATE ROOF - NO REPLACEMENT CUSTOMER WANTS TO REPLACE CHIPPED SLATE PIPE BOOT IN SLATE FIELD COPPER HIP AND COPPER RIDGE 70 L/FT 1 CHIMNEY, COPPER FLASHING INTO STANDING SEAM COPPER</p>	<p style="text-align: center;">LIFT IS NECESSARY \$1695 PER DAY (1 DAY RENTAL)</p> <p style="text-align: center;">LABOR AND MATERIALS \$6485</p>
<p style="text-align: center;">DAY 2</p> <p>INSTALL NEW EPDM RUBBER ROOF</p>	<p style="text-align: center;">\$10,925 INCLUDES 1 CHIMNEY 1 PIPE BOOT INCLUDES PERMIT, LABOR, MATERIALS, DUMPSTER</p> <p style="text-align: center;">TOTAL PROJECT \$19,105</p>
	<p style="text-align: center;">CLIENT TO PROVIDE ACCESS TO TOILET FOR CREW</p>

**WORK TO BE PERFORMED (NEW ASPHALT ROOF INSTALLATION, AS APPLICABLE):**

- REMOVAL OF OLD ROOF: WE WILL REMOVE THE OLD SHINGLES, UNDERLAYMENT, AND ANY DAMAGED DECKING. THE DEBRIS WILL BE DISPOSED OF PROPERLY.
- INSPECTION OF DECKING: WE WILL INSPECT THE DECKING FOR ANY DAMAGE OR ROT. IF NECESSARY, WE WILL REPLACE ANY DAMAGED DECKING TO ENSURE A SOLID BASE FOR THE NEW ROOF.
- INSTALLATION OF UNDERLAYMENT: WE WILL INSTALL A LAYER OF UNDERLAYMENT OVER THE DECKING TO PROVIDE A MOISTURE BARRIER.
- INSTALLATION OF ICE AND WATER SHIELD: WE WILL INSTALL ICE AND WATER SHIELDS IN THE VALLEYS AND ALONG THE EAVES TO PROTECT AGAINST WATER DAMAGE. 6 FT ON THE EAVES, 1.5 FT ON THE RAKES, SKYLIGHTS WILL BE WRAPPED IN ICE SHIELD. ANY PENETRATIONS WILL BE WRAPPED IN AN ICE SHIELD. WE INSTALL 3 FEET OF ICE AND WATER IN THE VALLEYS.
- INSTALLATION OF DRIP EDGE: WE WILL INSTALL DRIP EDGES ALONG THE EAVES AND RAKE EDGES TO PROVIDE A CLEAN FINISHED LOOK AND PREVENT WATER INFILTRATION.
- INSTALLATION OF FLASHING: WE WILL INSTALL FLASHING AROUND ALL PENETRATIONS AND ROOF-TO-WALL TRANSITIONS TO PREVENT WATER INFILTRATION.
- INSTALLATION OF ASPHALT SHINGLES: WE WILL INSTALL NEW ASPHALT SHINGLES ACCORDING TO MANUFACTURER SPECIFICATIONS, INCLUDING PROPER NAILING TECHNIQUES AND PLACEMENT.
- INSTALLATION OF RIDGE VENT: WE WILL INSTALL A RIDGE VENT ALONG THE PEAK OF THE ROOF TO ENSURE PROPER VENTILATION. (IF APPLICABLE)
- CHIMNEY RE-FLASHING (IF APPLICABLE)



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- **FINAL INSPECTION:** AFTER THE ROOF IS COMPLETE, OUR TEAM WILL PERFORM A FINAL INSPECTION TO ENSURE THAT ALL WORK WAS DONE TO OUR HIGH STANDARDS AND THAT THE SITE IS CLEAN AND FREE OF DEBRIS.

**WORK TO BE PERFORMED (NEW RUBBER ROOF INSTALLATION, AS APPLICABLE):**

- **Site Assessment:** Conduct a thorough inspection of the existing roof to determine its condition and identify any potential issues that may affect the installation. Evaluate the structure's suitability for a rubber roof installation, considering factors such as roof slope, drainage systems, and existing flashing details. Take accurate measurements of the roof area to determine the quantity of materials required.
- **Material Procurement:** Source high-quality rubber roofing materials from reputable suppliers, ensuring they meet industry standards and specifications. Coordinate with the client to finalize the choice of rubber roofing product, considering factors such as color, thickness, and warranty options.
- **Preparatory Work:** Remove the existing roofing materials, including shingles, underlayment, and flashing, as necessary. Inspect the roof deck for any signs of damage or decay. Repair or replace damaged sections to ensure a solid and even substrate for the rubber roof installation. Clean the roof surface thoroughly, removing debris, dirt, and loose particles to ensure proper adhesion of the rubber membrane.
- **Roofing System Installation:** Install an appropriate underlayment, such as a high-quality synthetic or self-adhering rubberized underlayment, to provide an additional layer of protection against moisture. Install drip edge and edge flashing along the perimeter of the roof to prevent water intrusion and create a neat finish. Apply a layer of adhesive or use mechanical fasteners to secure the rubber membrane to the roof deck, following the manufacturer's guidelines and specifications. Carefully roll out the rubber membrane, ensuring it is aligned correctly and without any wrinkles or bubbles. Seam the rubber membrane using the recommended adhesive or heat-welding techniques, creating a watertight seal between adjoining sections. Install any necessary flashing elements, such as pipe boots, vents, skylights, or chimneys, to ensure proper waterproofing and integration with the rubber roof system. Inspect the entire roof surface for any defects, ensuring proper adhesion and sealing of all seams and flashing details.
- **Cleanup and Finalization:** Remove all debris and waste materials from the worksite, ensuring a clean and safe environment. Conduct a final inspection of the installed rubber roof, checking for potential issues and ensuring the project meets industry standards and client expectations.

ALL WORK IS TO BE PERFORMED AT THE PROPERTY OF **THE CLIENT** (the "work site") at THE PROPERTY OF THE CLIENT

**SCOPE OF WORK**

FINAL INSPECTION: AFTER THE ROOF IS COMPLETE, OUR TEAM WILL PERFORM A FINAL INSPECTION TO ENSURE THAT ALL WORK WAS PERFORMED TO OUR HIGH STANDARDS AND THAT THE SITE IS CLEAN AND FREE OF DEBRIS

- SEACOAST ROOFING & EXTERIORS shall provide all labor and materials, to do the described services on the client's property.
- The work will be performed Monday through Saturday, statutory holidays excluded, unless the parties mutually agree otherwise, provided that the Services will be performed only if weather conditions are favorable.

**WORK SITE.** The client hereby authorizes SEACOAST ROOFING & EXTERIORS to commence and complete the usual and customary excavation and grading on the Work. The work will be performed from Monday to Saturday, excluding statutory holidays. complete the Roofing Work, the site may be required in the SEACOAST ROOFING & EXTERIORS judgment. Unless called for in the drawings or specifications, no landscaping, finish grading, filling, or excavation is to be performed at the Work Site by SEACOAST ROOFING & EXTERIORS.

**EXTRAS (DISCLOSED IF EVER REQUIRED):**

- DUMPSTER (ACCORDING TO ROOF SIZE).....**INCLUDED IF APPLICABLE**
- EXTRA DUMPSTER WT (IF REQUIRED):.....**PRICED BY WEIGHT OF OVERAGE**
- PIPEBOOTS.....**INCLUDED IF APPLICABLE**
- VENTS .....**INCLUDED IF APPLICABLE**
- CHIMNEY FLASHING.....**INCLUDED, IF APPLICABLE**

**OPTIONAL:**

- METAL VALLEYS.....**PRICED BY REQUEST**



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### **ADDITIONAL WORK CHARGES (IF DETERMINED REQUIRED OR APPLICABLE)**

- IF THE ROOF HAS MORE THAN ONE LAYER OF SHINGLES, ADDITIONAL SHINGLE LAYERS WILL COST \$40 PER SQUARE.
- IF THE ROOF HAS MORE THAN ONE LAYER OF RUBBER, ADDITIONAL LAYERS WILL COST \$50 PER SQUARE.
- REPLACEMENT OF BARN BOARD: \$8/FT
- RIP CEDAR WOOD SHAKE: \$55/SQ
- STEP FLASHING X \$35/FT
- SKIRT FLASHING X \$35/FT
- PVC X \$20/FT
- PRIMED PINE \$20/FT
- NONFINGER JOINTED TRIM \$25/FT
- SKYLIGHT INSTALL LABOR ..... **PRICED BY REQUEST**
- ANY REFRAMING OR CARPENTRY AT \$200 PER HR PLUS MATERIALS.....**IF REQUIRED**
- NEW SKYLIGHTS W/FLASHING KIT INCLUDED.....**PRICED BY REQUEST**
- 30% RESTOCKING CHARGE ON ALL MATERIAL RETURNS DUE TO ANY CLIENT CANCELLATION
- ADDITIONAL MATERIALS AS NECESSARY AT 15% OVER COST

IF ROT is discovered and the resheathing roof is required & mandatory. In that case, **the client** agrees and acknowledges the following to be applicable and will be in addition to the standard new roof installation price:

**REPLACEMENT OF PLYWOOD** (normally \$100 per sheet for plywood & and installation – 3.125 sheets of plywood are required per sq.) Any rot must be addressed for proper workmanship to occur without exception.

If the installation requires the tear up of siding and to be reflashed, an additional charge of \$40.00 per linear ft plus materials is applicable. If rot in the rakes, soffit, fascia, corners, or trim is discovered and requires replacement, an additional charge of \$20.00 per linear foot is applicable. If any existing materials are compromised, the client agrees to the cost of replacing the necessary to allow the installation to be completed properly.

**PAYMENT.** Project Payment of the TOTAL COST shall be made to SEACOAST ROOFING & EXTERIORS, SEABROOK, New Hampshire 03874 between **the client** agrees to pay in installment payments:

- 1<sup>ST</sup> INSTALLMENT: (50% OF TOTAL) to be paid **IMMEDIATELY** upon the contract signing.
- 2<sup>ND</sup> INSTALLMENT: (25% OF TOTAL) to be paid **IMMEDIATELY** upon START OF OLD ROOF RIP
- 3<sup>RD</sup> INSTALLMENT: (15% OF TOTAL) to be paid **IMMEDIATELY** upon START OF NEW ROOF
- 4<sup>TH</sup> INSTALLMENT: (10% OF TOTAL) to be paid **IMMEDIATELY** upon COMPLETION OF THE JOB

- **Payments are in cash, personal, company, certified bank check, or credit card (3.75% service charge for credit cards). If payment is by personal or company check or credit card, the work may not commence until your funds have cleared our bank.**

Suppose no installment is not paid when due. In that case, interest will be added to and payable on all overdue amounts at 12 percent per year, or the maximum percentage allowed under applicable laws, whichever is less between **the client** to pay all collection costs, including reasonable attorney fees. In addition to any other right or remedy provided by law, if **the client** fails to pay for the Services when due, SEACOAST ROOFING & EXTERIORS has the option to treat such failure to pay as a material breach of this Contract and may cancel this Contract and seek legal remedies. SEACOAST ROOFING & EXTERIORS shall be entitled to prompt payment in full when the work described in the Contract has been performed. If, after SEACOAST ROOFING & EXTERIORS had declared the work to be satisfactorily performed and Buyer claims that work remains to be done, Buyer agrees to make prompt payment on the Contract amount, less only an amount needed to complete the work claimed yet to be done by Buyer. Upon completion of the remaining work, SEACOAST ROOFING & EXTERIORS immediately be paid the remaining balance due. SEACOAST ROOFING & EXTERIORS shall have the right to stop work and keep the job idle if any progress is not made as required. In the event Buyer does not pay SEACOAST ROOFING & EXTERIORS according to agreed terms, SEACOAST ROOFING & EXTERIORS may add a monthly service charge to the balance owed of (2½%) per month.

**PERMITS.** And **THE CONTRACTOR** shall apply for and obtain such permits and regulatory approvals as may be required by the local municipal/county government, the cost thereof shall be included as part of the Payment to and SEACOAST ROOFING & EXTERIORS under this Contract.

**INSURANCE.** and SEACOAST ROOFING & EXTERIORS shall maintain general liability, workers' compensation, and builder's risk insurance by the state's minimum requirements throughout the Services. and SEACOAST ROOFING & EXTERIORS provide **the client** with proof of insurance upon the request of the client.

**SURVEY AND TITLE.** between **the client** will indicate the property lines to SEACOAST ROOFING & EXTERIORS and provide boundary stakes by a licensed land surveyor if the client doubts the property boundaries.



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**CHANGE ORDERS.** between **the client** may make changes to the scope of the work from time to time during the term of this Contract. However, any such change or modification shall only be made by written "Change Order" signed by both parties. Such Change Orders shall become part of this Contract. between **the client** agrees to pay any increase in the cost of the Roofing work because of a Change Order. In the event the cost of a Change Order is not known at the time a Change Order is executed, SEACOAST ROOFING & EXTERIORS shall estimate the cost thereof and **the client** shall pay the actual cost if it is more than the estimated cost.

**SEACOAST ROOFING & EXTERIORS RESPONSIBILITIES.** SEACOAST ROOFING & EXTERIORS shall complete the work under the terms and specifications of the contract. The work shall be completed in a timely fashion substantially and skillfully. If scaffolding or swing staging is needed to do this work, it will be furnished by SEACOAST ROOFING & EXTERIORS unless otherwise agreed to in writing. All material is guaranteed to be as specified. SEACOAST ROOFING & EXTERIORS shall provide a transferable product warranty for the roofing materials and accessories. SEACOAST ROOFING & EXTERIORS shall also provide a Workmanship warranty as agreed. SEACOAST ROOFING & EXTERIORS shall obtain all necessary building permits if needed.

**CLIENTS' RESPONSIBILITIES.** Unless otherwise specified, SEACOAST ROOFING & EXTERIORS' price is based upon the Client's representations that no conditions are preventing SEACOAST ROOFING & EXTERIORS from proceeding with the usual installation procedures for the material required under this Contract. The Client represents that personal effects, personal property, and plants will be relocated or trimmed before the beginning of work so that SEACOAST ROOFING & EXTERIORS has free access to portions of the premises where the work is to be done. The buyer will also clear all gutters, downspouts, and valleys of leaves, debris, or obstruction. The Client authorizes SEACOAST ROOFING & EXTERIORS and its applicator crew permission to use the Client's electricity for work to be completed under this contract with SEACOAST ROOFING & EXTERIORS. The Client further understands that as a precautionary measure, all pictures and wall accessories that are not securely fastened should be removed until all work has been completed. The Client also understands that debris will likely come in through the attic during a roof installation and that it is the buyer's responsibility to protect it if it is used as storage. The buyer shall carry premises liability insurance. If necessary, for the work, the Client shall secure permission to work on or over adjoining property at no cost to SEACOAST ROOFING & EXTERIORS. The Client agrees to be responsible and hold SEACOAST ROOFING & EXTERIORS harmless and accept any risk from access through adjacent properties. The Client grants SEACOAST ROOFING & EXTERIORS and its employees the right to perform contracted services during daylight hours Monday through Saturday between 7 AM and 7 PM unless otherwise specified.

**ACCESS.** between **THE CLIENT** allows free access to work areas for workers and vehicles and will allow areas for the storage of materials and debris. Driveways will be kept clear for the movement of vehicles during work hours. and SEACOAST ROOFING & EXTERIORS will make reasonable efforts to protect driveways, lawns, shrubs, and other vegetation.

**NON-RESPONSIBILITY.** SEACOAST ROOFING & EXTERIORS shall not be responsible for any damage occasioned by the Buyer or their agents, rain, windstorm, Acts of God, or other causes beyond the control of SEACOAST ROOFING & EXTERIORS. SEACOAST ROOFING & EXTERIORS is not liable for any negligence or misuse by the Buyer or any other party. Except through negligence, SEACOAST ROOFING & EXTERIORS is not liable for damage to interior fixtures, drywall, plaster, wall construction, decorations, or to other parts of the premises or its contents. Further, SEACOAST ROOFING & EXTERIORS shall have no responsibility for correcting any existing structural defects that may be recognized during the work. SEACOAST ROOFING & EXTERIORS are not responsible for work done by others, existing structure defects, material furnished by the Client, dry rot, or code violations.

**DISPUTES.** It is specifically understood and agreed between the parties hereto that in the event of a dispute over any of the terms, conditions, or clauses contained herein, they shall have full and exclusive jurisdiction and venue over the parties and the subject matter. This Contract shall be construed by and governed by the laws of the State of New Hampshire. The Client shall be responsible for any collection costs or applicable attorney fees. The Client warrants that this contract is signed without any reliance upon any representations or promises or SEACOAST ROOFING & EXTERIORS or its agents except as is specifically written on this contract, and that no such promises or representations have been offered as an inducement for signing. The parties agree that this Contract constitutes the entire agreement and understanding.

**ARBITRATION.** Any controversies or disputes arising from or relating to this Contract shall be resolved by binding arbitration by the then-current Commercial Arbitration Rules of the American Arbitration Association. The parties shall select a mutually acceptable arbitrator knowledgeable about issues relating to the subject matter of this Contract. In the event the parties are unable to agree to such a selection, each party will select an arbitrator and the two arbitrators in turn shall select a third arbitrator, all three of whom shall preside jointly over the matter. The arbitration shall occur at a reasonably centrally located location between the parties or otherwise mutually agreed upon by the parties. All documents, materials, and information in the possession of each party that are in any way relevant to the dispute shall be made available to the other party for review and copying no later than 30 days after the notice of arbitration is



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served. The arbitrator(s) shall not have the authority to modify any provision of this Contract or to award punitive damages. The arbitrator(s) shall have the power to issue mandatory orders and restraint orders in connection with the arbitration. The decision rendered by the arbitrator(s) shall be final and binding on the parties, and judgment may be entered in conformity with the decision in any court having jurisdiction. The arbitration agreement shall be specifically enforceable under the prevailing arbitration law. During the continuance of any arbitration proceeding, the parties shall continue to perform their respective obligations under this Contract.

**MISCELLANEOUS PROVISIONS.** All unused material shall remain the property of SEACOAST ROOFING & EXTERIORS. Buyer agrees that this contract may be assigned by SEACOAST ROOFING & EXTERIORS to our qualified subcontractor. This contract shall bind and obligate to the parties' heirs, successors, or assigns. This Contract and Agreement for Credit, if any, shall constitute the entire agreement between the parties. Any prior agreements or representations not expressly set forth herein have no force or effect.

**TERM.** This Contract will terminate automatically upon completion by, and SEACOAST ROOFING & EXTERIORS of the Services required by this Contract.

**WARRANTY.** SEACOAST ROOFING & EXTERIORS shall provide its services and meet its obligations under this Contract in a timely and workmanlike manner, using knowledge and recommendations for performing the services which meet generally acceptable standards in and SEACOAST ROOFING & EXTERIORS' community and region and will provide a standard of care equal to, or superior to, care used by Contractor's like and SEACOAST ROOFING & EXTERIORS on similar projects. and SEACOAST ROOFING & EXTERIORS' warranty shall be limited to defects in workmanship within the scope of work performed by SEACOAST ROOFING & EXTERIORS which arise and become known from the date hereof.

**WE OFFER A LIFETIME WORKMANSHIP WARRANTY** and SEACOAST ROOFING & EXTERIORS agree to repair any roof leaks under normally anticipated weather conditions. Ice damming is not a normally anticipated condition. Damage done through no fault of SEACOAST ROOFING & EXTERIORS is not warranted by SEACOAST ROOFING & EXTERIORS. All said defects in the material are not warranted by SEACOAST ROOFING & EXTERIORS. SEACOAST ROOFING & EXTERIORS hereby assigns to **THE Client** all warranties on materials as provided by the manufacturer of such materials and SEACOAST ROOFING & EXTERIORS' warranty shall be limited to defects in workmanship within the scope of work performed by and SEACOAST ROOFING & EXTERIORS

**COMPLETION OF SERVICES.** Upon the completion of the roofing services by SEACOAST ROOFING & EXTERIORS, SEACOAST ROOFING & EXTERIORS shall see to **THE CLIENT'S** property is restored to the condition that it was in before any work completed by SEACOAST ROOFING & EXTERIORS, and SEACOAST ROOFING & EXTERIORS shall see to it that all portions used by SEACOAST ROOFING & EXTERIORS during the term of this Contract shall be broom clean and free of debris.

**DEFAULT.** The occurrence of any of the following shall constitute a material default under this Contract:

- a. The failure to make the required payment when due.
- b. The insolvency or bankruptcy of either party. The subjection of either party's property to any levy, seizure, general assignment for the benefit of creditors, application, or sale for or by any creditor or government agency. The failure to make available or deliver the Services in the time and manner provided in this Contract.

**REMEDIES.** In addition to any other rights a party may have available according to law, if a party defaults by failing to substantially perform any provision, term, or condition of this Contract (including without limitation the failure to make a monetary payment when due), the other party may terminate the Contract by providing written notice to the defaulting party. This notice shall describe in sufficient detail the nature of the default. The party receiving such notice shall have 7 days from the effective date of such notice to cure the default(s). Unless waived by the party providing notice, the failure to cure the default(s) within such period shall automatically terminate this Contract.

**ENTIRE AGREEMENT.** This Contract contains the parties' entire agreement, and there are no other promises or conditions in any other agreement, whether oral or written, concerning this Contract's subject matter. This Contract supersedes any prior written or oral agreements between the parties.

**SEVERABILITY.** If any provision of this Contract will be held to be invalid or unenforceable for any reason, the remaining provisions will continue to be valid and enforceable. If a court finds that any provision of this Contract is invalid or unenforceable, but that by limiting such provision it would become valid and enforceable, then such provision will be deemed to be written, construed, and enforced as so limited.

**AMENDMENT.** This Contract may be modified or amended in writing if the writing is signed by the party obligated under the amendment.

**GOVERNING LAW.** This Contract shall be construed by the laws of the State of New Hampshire.

**NOTICE.** Any notice or communication required or permitted under this Contract shall be sufficiently given if delivered in person or by certified mail, return receipt requested, to the address outlined in the opening paragraph or to such other address as one party may have furnished to the other in writing.





**SEACOAST ROOFING  
& Exteriors  
Jobs Done Right**

PO 2485, Seabrook, NH 03874

 (603) 405-8884

 [vnastasia@roofinginnh.com](mailto:vnastasia@roofinginnh.com)

**WAIVER OF CONTRACTUAL RIGHT.** The failure of either party to enforce any provision of this Contract shall not be construed as a waiver or limitation of that party's right to subsequently enforce and compel strict compliance with every provision of this Contract.

**ADVERTISING.** The buyer grants SEACOAST ROOFING & EXTERIORS the right to display advertising signs on the premises during the thirty (30) days following the completion of the work. The Client further gives SEACOAST ROOFING & EXTERIORS permission to take pictures or video of the premises before and after project completion for use in SEACOAST ROOFING & EXTERIORS advertising. The buyer grants SEACOAST ROOFING & EXTERIORS the right to use any correspondence directed to SEACOAST ROOFING & EXTERIORS concerning the work in SEACOAST ROOFING & EXTERIORS advertising promotion.

**APPROVAL OF CONTRACT.** This contract must be approved by SEACOAST ROOFING & EXTERIORS to be binding. If this Contract is not approved by SEACOAST ROOFING & EXTERIORS, any payment made hereunder shall be refunded to the Buyer. This Contract shall be null and void and of no force or effect. The Client may cancel this transaction before midnight, the second business day after the transaction date. Cancellations after the second business day may incur a fee if any actions have been taken to order materials or any costs have been paid by SEACOAST ROOFING & EXTERIORS. A charge of 50% of the total contract may be applicable for late cancellations.

**SIGNATORIES.** This Agreement shall be signed on behalf of the client by its agent and on behalf of SEACOAST ROOFING & EXTERIORS by Vincenzo Nastasia, Director, and effective as of the date first above written. The Client has seen, acknowledges, and accepts this agreement in its entirety.

DocuSigned by:  
**CLIENT:** *Mark Brenner*  
By: DB9AFC99F83C4FD...

**MARK BRENNER**

DocuSigned by:  
**SEACOAST ROOFING & EXTERIORS, LLC**  
*Vincenzo A. Nastasia*  
By: 9AB77713F829493...

**VINCENZO A. NASTASIA**



**2. 95 Daniel Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for a small rear 1-story addition to the structure.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

# 95 DANIEL STREET

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - OCTOBER 2024

PROPOSED WORK CHANGES:

- 1-STORY ADDITION ADDED TO REAR ENTRY OF BUILDING
- REMOVAL OF EXISTING ENTRY DOOR ON SOUTH ELEVATION
- REMOVAL OF PREVIOUSLY APPROVED DOOR AND WINDOW ON EAST ELEVATION
- RELOCATION OF WINDOW ON WEST ELEVATION
- ADDITION OF COPPER GUTTERS AND DOWNSPOUTS



1 REAR PERSPECTIVE



95 DANIEL STREET  
PORTSMOUTH, NH 03801

95(RIGHT) DANIEL STREET (ABOVE)



© 2024 Portsmouth Architects

95 DANIEL STREET

PORTSMOUTH, NH 03801

COVER

HISTORICAL DISTRICT COMMISSION - ADMINISTRATIVE  
APPROVAL OCTOBER 2024

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

brought to you by  
McHENRY ARCHITECTURE



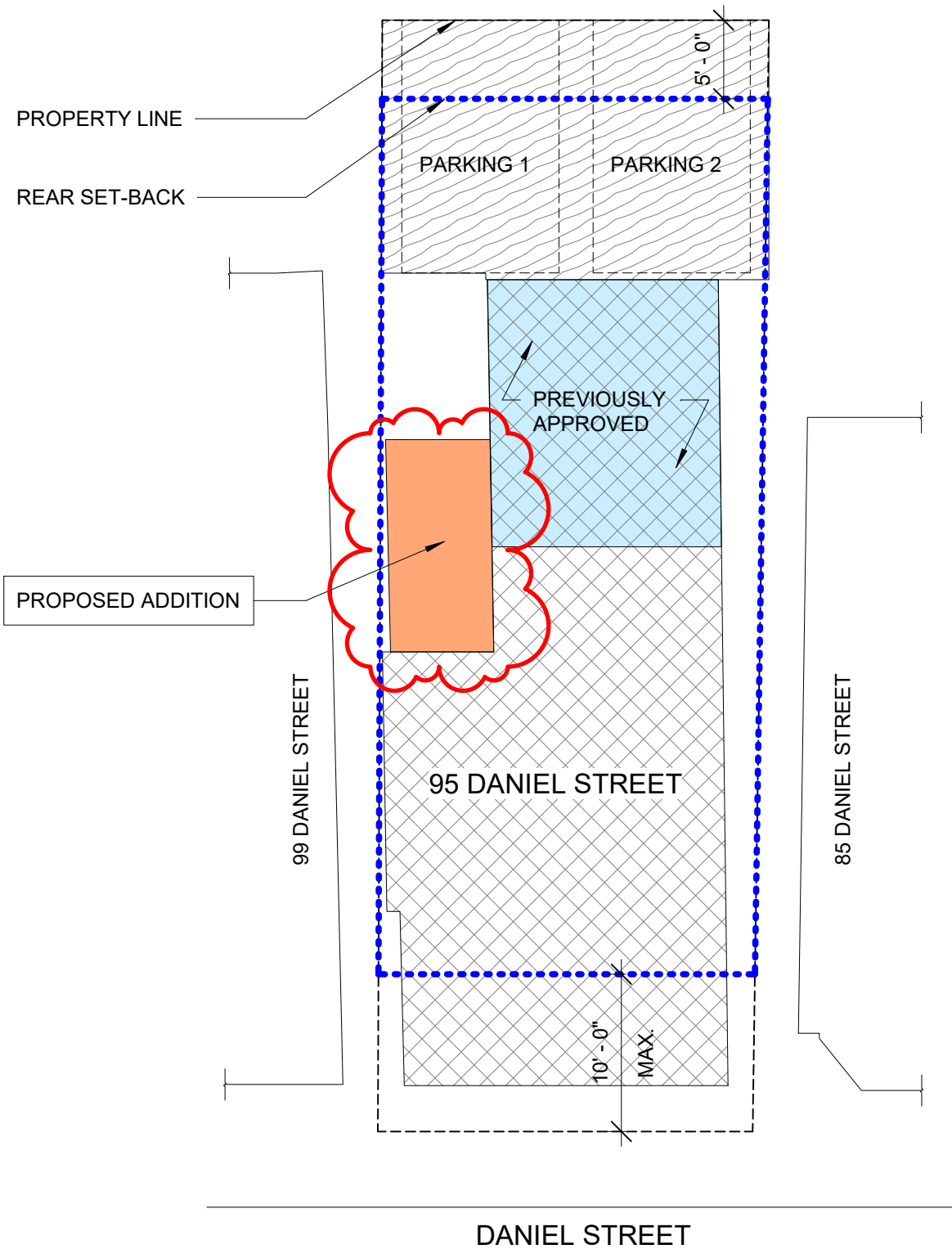
C

09/12/2024

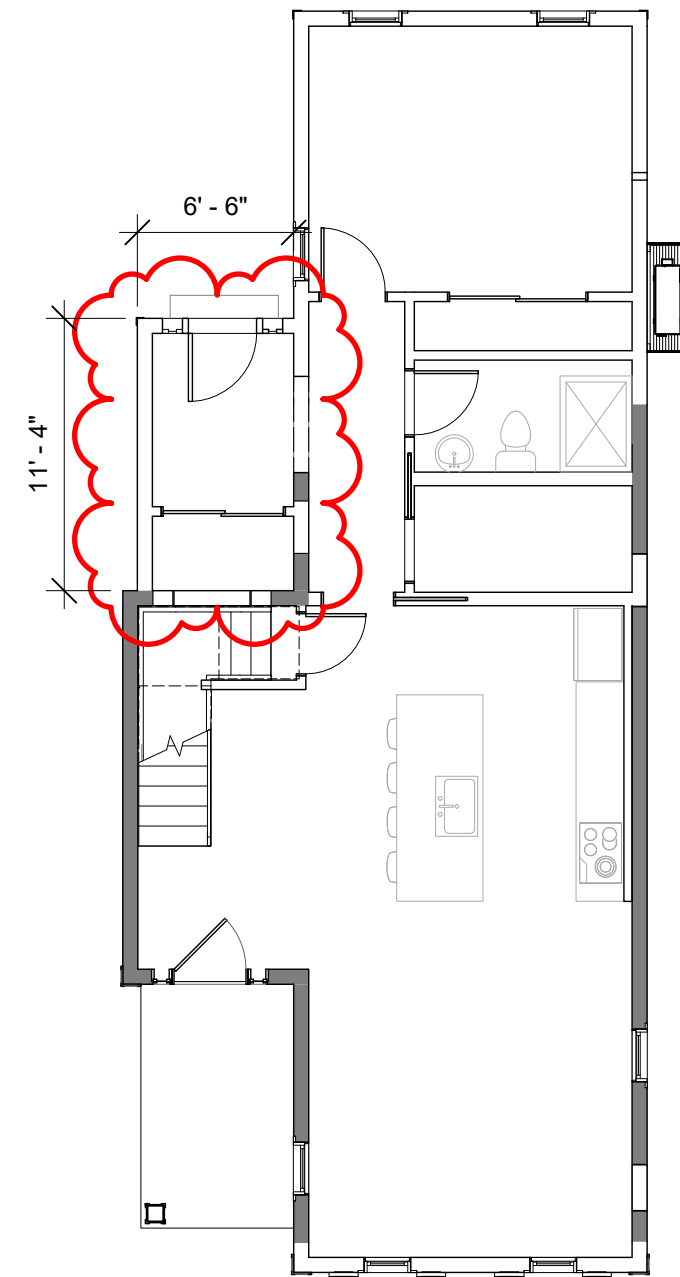
McHA: EKW/MG

Project Number: 22061

NOT TO SCALE



1 PROPOSED SITE PLAN  
1" = 10'-0"



2 FIRST FLOOR PLAN - ADDITION  
1/8" = 1'-0"

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95 DANIEL STREET  
PORTSMOUTH, NH 03801

PROPOSED ADDITION  
HISTORICAL DISTRICT COMMISSION - ADMINISTRATIVE  
APPROVAL OCTOBER 2024

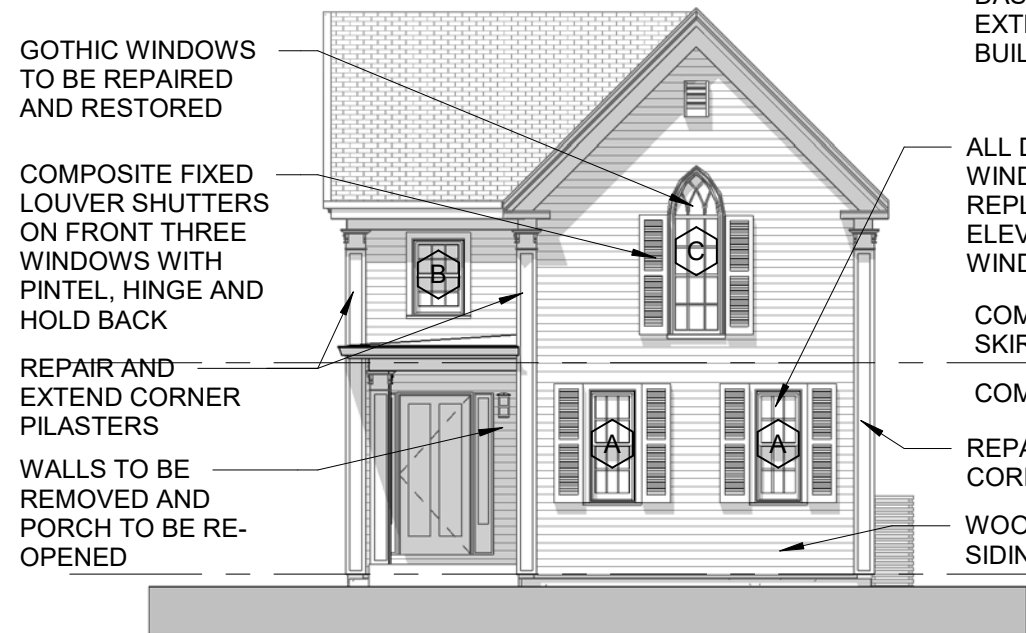
4 Market Street  
Portsmouth, New Hampshire  
603.430.0274  
brought to you by  
McHENRY ARCHITECTURE



A1

09/12/2024  
McHA: EKW/MG  
Project Number: 22061  
AS INDICATED

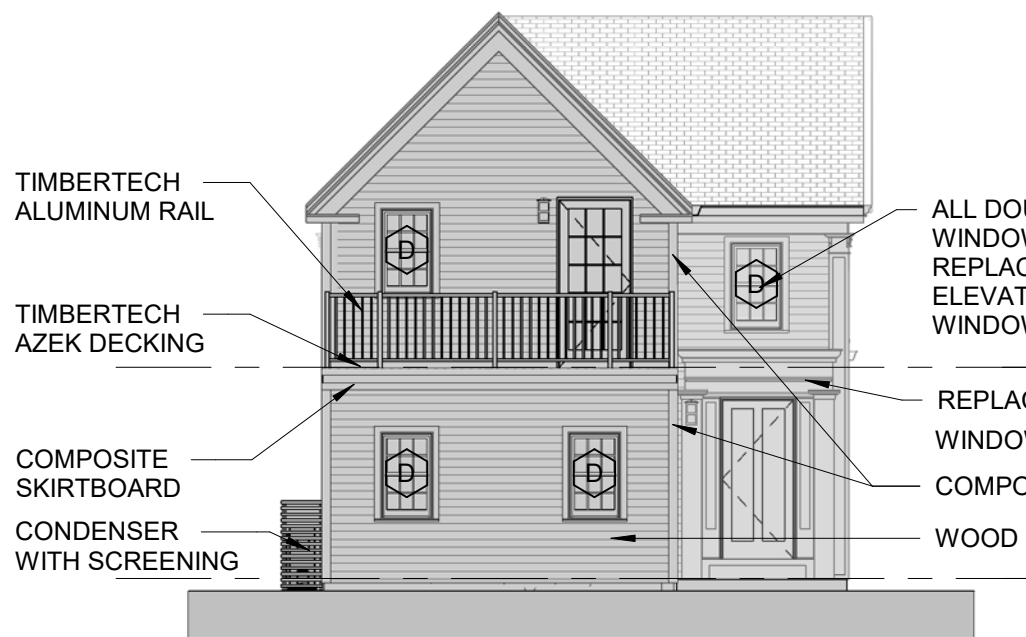
**PREVIOUSLY APPROVED**



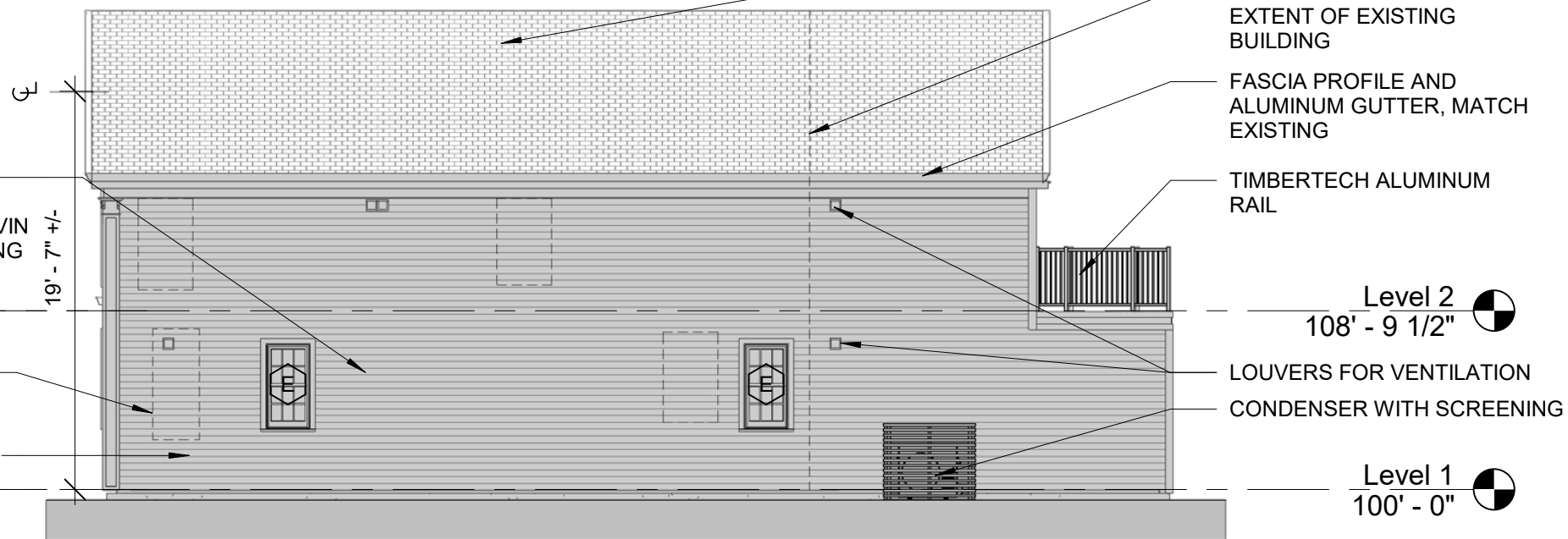
**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"



**3 NORTH ELEVATION**  
1/8" = 1'-0"



**4 EAST ELEVATION**  
1/8" = 1'-0"

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99/95 DANIEL STREET

PORTSMOUTH, NH 03801

95 SCHEMATIC DESIGN

HISTORIC DISTRICT COMMISSION · PUBLIC HEARING  
JANUARY 2024

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A5

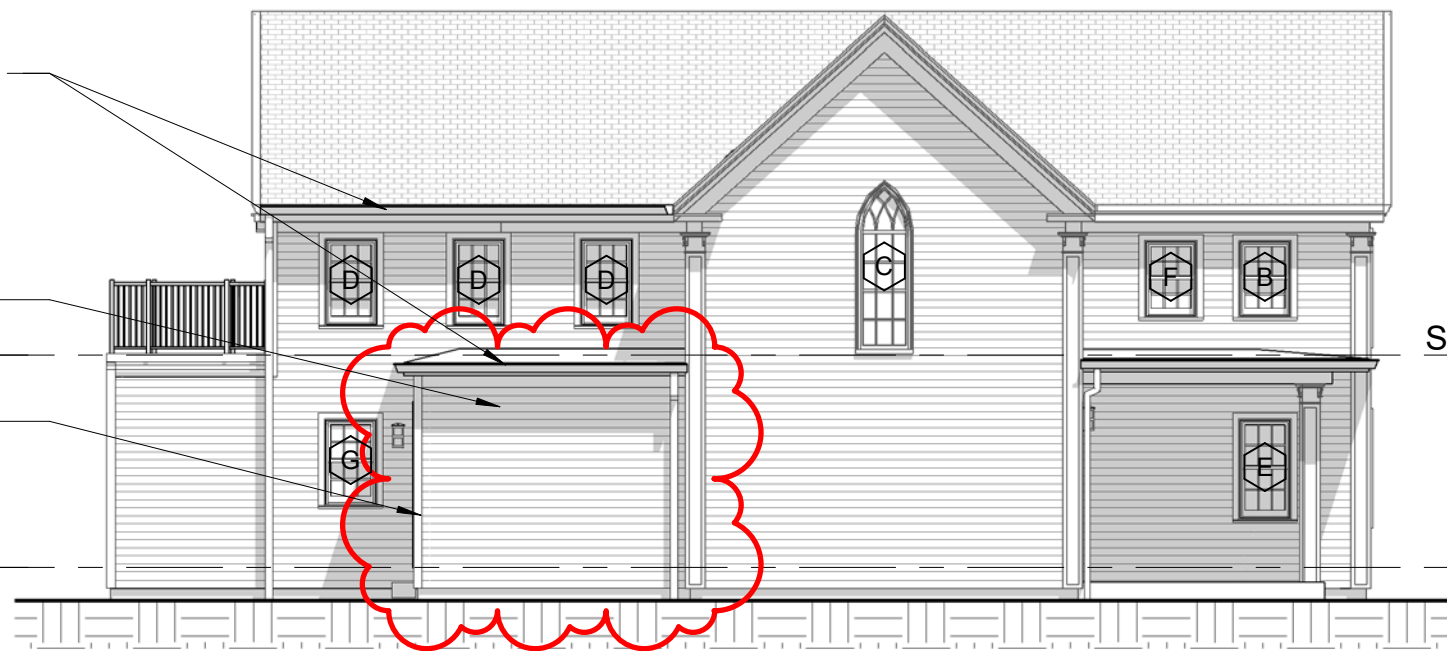
12/14/2023

McHA: EKW/MG

Scale: 1/8" = 1'-0"



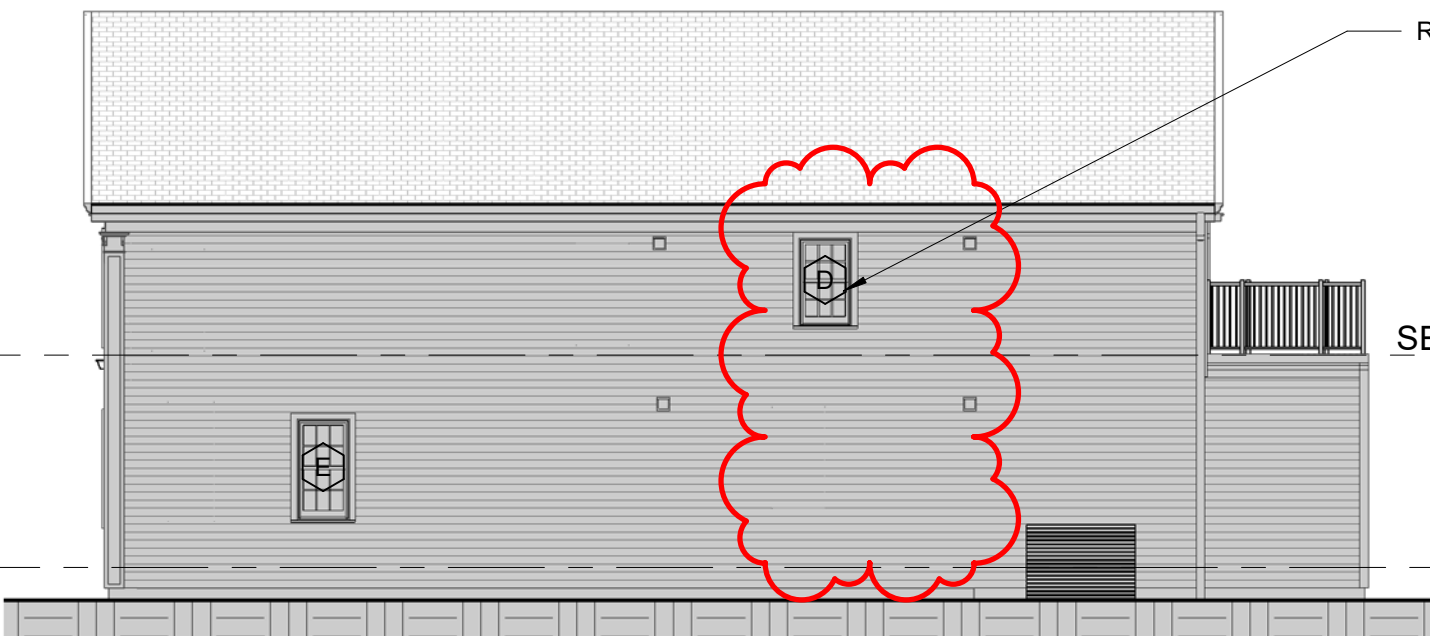
1 PROPOSED SOUTH ELEVATION  
1/8" = 1'-0"



2 PROPOSED EAST ELEVATION  
1/8" = 1'-0"

PROPOSED CHANGES:

- 1-STORY ADDITION ON REAR OF BUILDING TO PROVIDE ENTRY/MUDROOM SPACE.
- REMOVAL OF EXISTING REAR ENTRY DOOR AND ADJACENT "D" WINDOW.
- REMOVAL OF PREVIOUSLY APPROVED DOOR ON EAST ELEVATION
- RELOCATION OF "E" WINDOW ON WEST ELEVATION.
- RELOCATION OF LOUVERS FOR VENTILATION.
- ADDITION OF COPPER GUTTERS AND DOWNSPOUTS .



3 PROPOSED WEST ELEVATION  
1/8" = 1'-0"

SECOND FLOOR  
109' - 8"

FIRST FLOOR  
100' - 10"

SECOND FLOOR  
109' - 8"

FIRST FLOOR  
100' - 10"

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95 DANIEL STREET

PORTSMOUTH, NH 03801

PROPOSED ADDITION

HISTORICAL DISTRICT COMMISSION · ADMINISTRATIVE  
APPROVAL OCTOBER 2024

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

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McHENRY ARCHITECTURE



A2

09/12/2024

McHA: EKW/MG

Project Number: 22061

Scale: 1/8" = 1'-0"

**3. 37 Hanover Street -Recommended Approval**

**Background:** The applicant is seeking approval for the installation of an aluminum gutter system on the front and side of the structure.

**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_







White aluminum "k" style gutter

**4. 85 Daniel Street**

**-Recommended Approval**

Background: The applicant is seeking approval for changes to the approved rear porch and stair design.

Staff Comment: Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

# 85 DANIEL STREET RENOVATIONS AND ADDITION

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - OCTOBER 2024

PROPOSED WORK CHANGES:

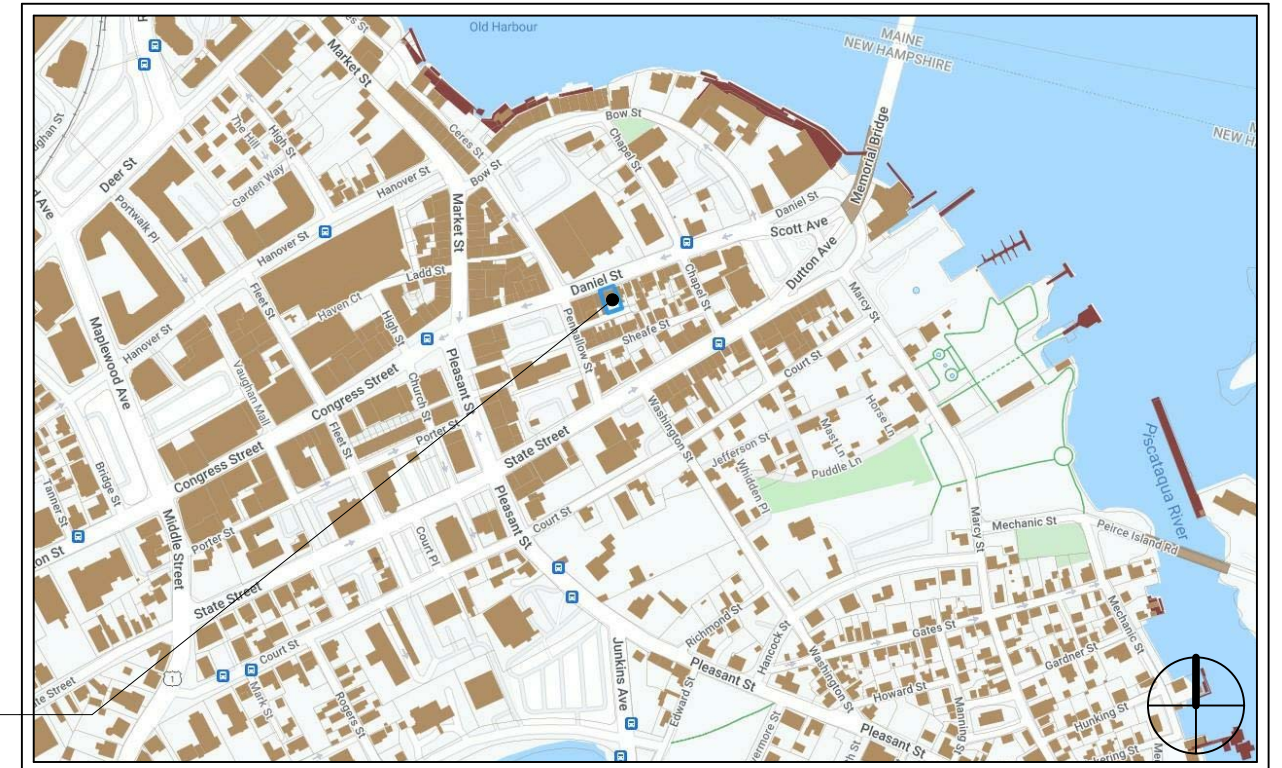
- PREVIOUSLY APPROVED REAR ENTRY HAS BEEN CONSTRUCTED WITH A SINGLE POST FOR STRUCTURAL INTEGRITY OF THE ROOF.
- THE STAIR HAS BEEN CONSTRUCTED TO BE THE FULL WIDTH OF THE PORCH RATHER THAN THE CODE MINIMUM AS PREVIOUSLY APPROVED.

## HDC - SHEET LIST

Sheet Number	Sheet Name
C	COVER
A1	PREVIOUSLY APPROVED
A2	AS-BUILT CONDITIONS



RENDERING HAS NOT BEEN UPDATED FOR THIS SUBMISSION TO REFLECT THE CHANGES PROPOSED



85 DANIEL STREET  
PORTSMOUTH, NH 03801

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85 DANIEL STREET APARTMENTS

85 DANIEL STREET  
PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE  
APPROVAL - OCTOBER 2024

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

C

09/03/2024

McHA: RD / MG

NOT TO SCALE

Locus

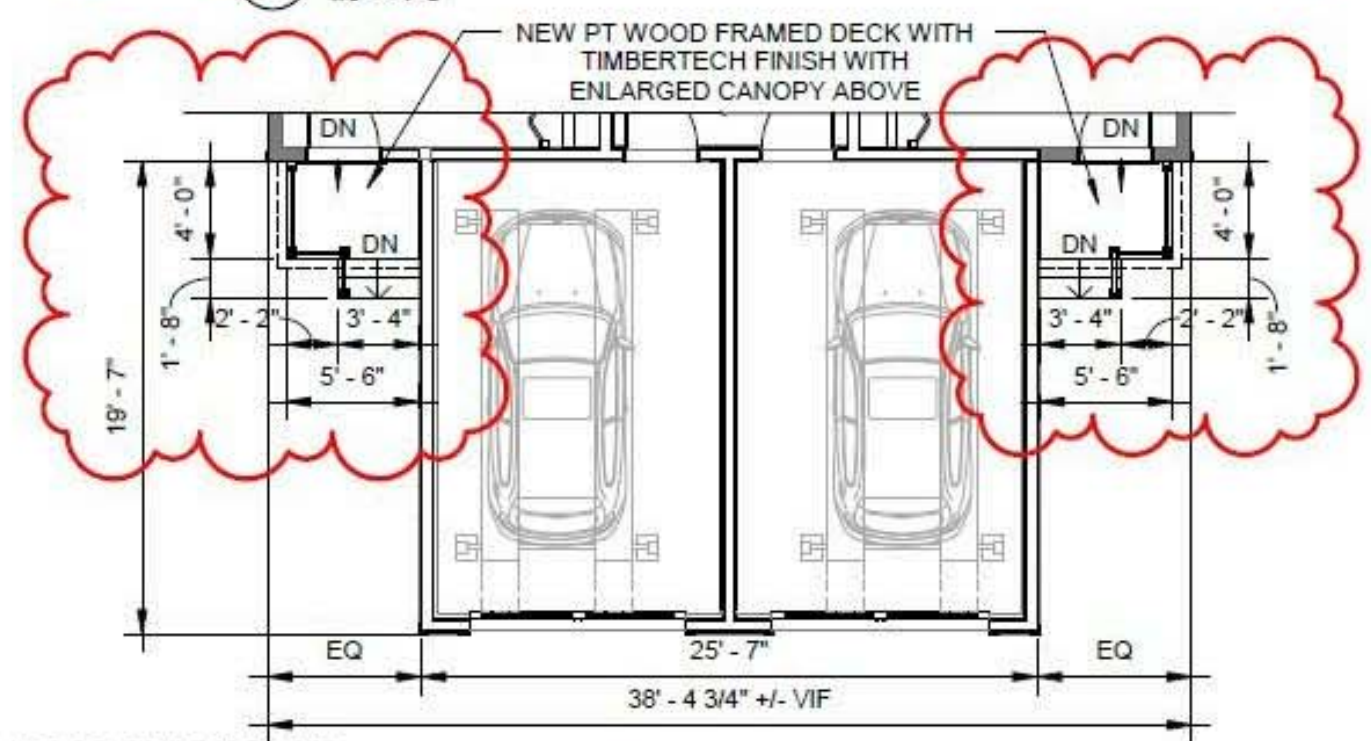


1 SOUTH ELEVATION (CUSTOM HOUSE LANE)  
1/8" = 1'-0"

2 WEST ELEVATION (RIGHT SIDE YARD)  
1/8" = 1'-0"



3 ENLARGED PERSPECTIVE OF ENTRY CHANGE



4 REAR ENTRY PLAN  
1/8" = 1'-0"

- SCOPE OF REAR ENTRY CHANGES (AREAS BUBBLED IN RED):
- BOTH ENTRIES INTO THE REAR OF THE BUILDING TO BE MODIFIED, SIMILAR AND MIRRORED TO ONE ANOTHER
  - CANOPY TO BE ENLARGED
  - COMPOSITE BRACKET (TBD) TO SWITCH HOST WALLS
  - DOOR INTO GARAGE TO BE MOVED AND REPLACE WINDOW
  - NEW PT WOOD FRAMED DECK AND STAIRS WITH TIMBERTECH DECK BOARDS THAT WERE APPROVED AT THE MAY 2022 HISTORIC DISTRICT MEETING
  - BLACK TIMBERTECH IMPRESSIONS RAIL EXPRESS RAILING (36" HIGH) AT ENTRY DECK, MATCHED SECOND FLOOR DECK RAILING THAT WAS APPROVED AT THE MAY 2022 HISTORIC DISTRICT MEETING
  - MECHANICAL PENETRATIONS ARE TBD, PENETRATIONS SHOWN ARE FOR INTENT, ALL EXHAUST VENTS WILL BE PAINTED TO MATCH ADJACENT SIDING

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85 DANIEL STREET APARTMENTS  
85 DANIEL STREET  
PORTSMOUTH, NH 03801

PREVIOUSLY APPROVED  
HISTORIC DISTRICT COMMISSION ADMINISTRATIVE  
APPROVAL - OCTOBER 2024

McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

A1

09/03/2024  
McHA: RD / MG  
NOT TO SCALE



PORCH ROOF IS SUPPORTED BY  
A SINGLE COMPOSITE WRAPPED  
WOOD POST

RAILING WAS ADJUSTED TO  
ACCOMMODATE STAIR CHANGE

STAIRS ARE FULL WIDTH OF PORCH



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85 DANIEL STREET APARTMENTS

85 DANIEL STREET  
PORTSMOUTH, NH 03801

AS-BUILT CONDITIONS

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE  
APPROVAL - OCTOBER 2024

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A2

09/03/2024

McHA: RD / MG

AS INDICATED

## 5. 11 Meeting House Hill Road -Recommended Approval

**Background:** The applicant is seeking approval for the installation of hardscaping in the rear yard of the property.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

# Nanda Hardscape Product Guide

11 Meeting House Hill Rd, Portsmouth, NH

---

## Tumbled Bluestone Entry Courtyard:

Reuse of existing materials. Product varies in size and color. Tumbled edges give a softer, smoothed and aged appearance. Pieces vary in size up to 1.5' and 2" thick.



---

## Upper Lounging Patio:

New paver patio to be LedgeStone 3 Pc. Pavingstones by Cambridge Pavers Inc. See attached spec sheets for additional information. Product color to be Limestone Quarry Blend to match surrounding materials in house and neighborhood. Pattern to be random.



**Lower Kitchen / Dining Patio:**

New natural stone patio to be Pattern Stock Bluestone. Product color to a full range color pallet to best blend with the surroundings and have a less formal feel. Pieces range in size from 12"x12" to 24"x24". Pieces to have a thermal finish for non-slip.





### **Granite Stoop:**

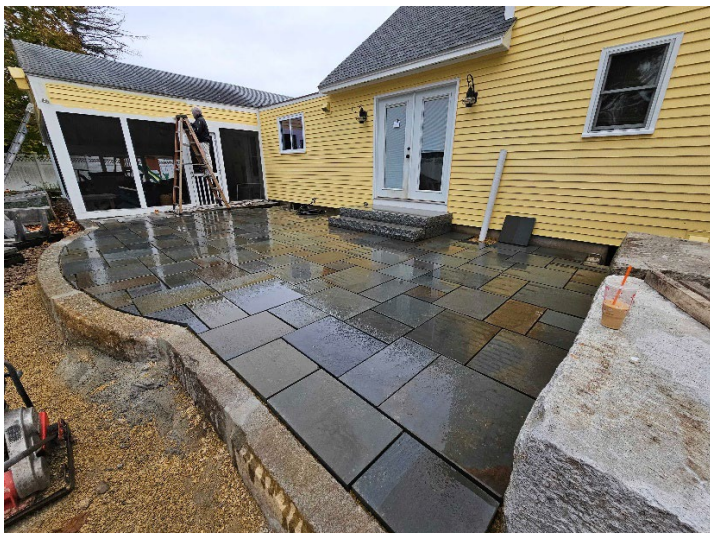
Add granite stoop at backdoor for safety and comfort. Granite to match existing. Salt and pepper with a split edge and thermal top. Stoop to be 3' deep and 7" tall.



---

### **Antique Curbing:**

Curbing is needed to flatten the upper and lower patios. Curbing to provide a single step down into Kitchen/Dining space. Antique curbing to match neighborhood aesthetics. Product to have varying lengths and to be mortared at the seams.



**THE SHERWOOD COLLECTION**

**SHAPES**



**LEDGESTONE™**  
**3 PC.**  
**DESIGN KIT**

**Sizes:**

**9 3/32 x 13 5/8**

**9 3/32 x 9 3/32**

**4 17/32 x 9 3/32**

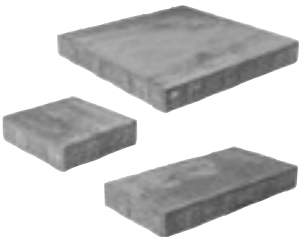


**4 1/2 x 9**

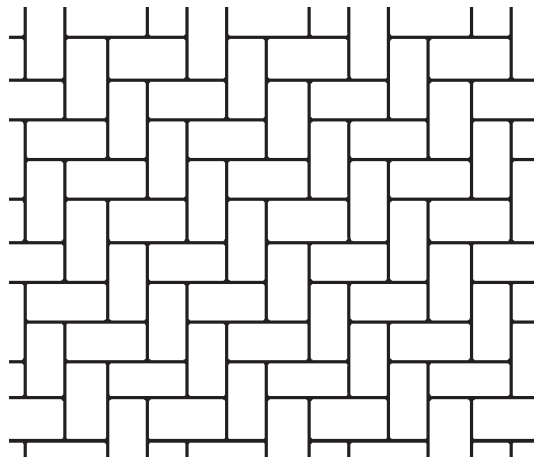
**(4 17/32 x 9 3/32)**

*Also sold separately.  
 A perfect border choice.*

**LEDGESTONE™**  
**9 x 9, 9 x 18**  
**& 18 x 18**  
**DESIGN KIT**



**Note:** 18 x 18 Also Sold Separately.



**Pattern DSL-003:** 4 1/2 x 9 (100%)

**The Ledgestone 3-Pc. Design Kit**  
**OUR BEST SELLER 8 YEARS RUNNING!**

The kit is a combination of three extra-large, square and rectangular, modular shapes with prominent, bluestone-like clefts on their surfaces. The sizes of the pavingstones in the kit can be also used with 18 x 18 Ledgestone.



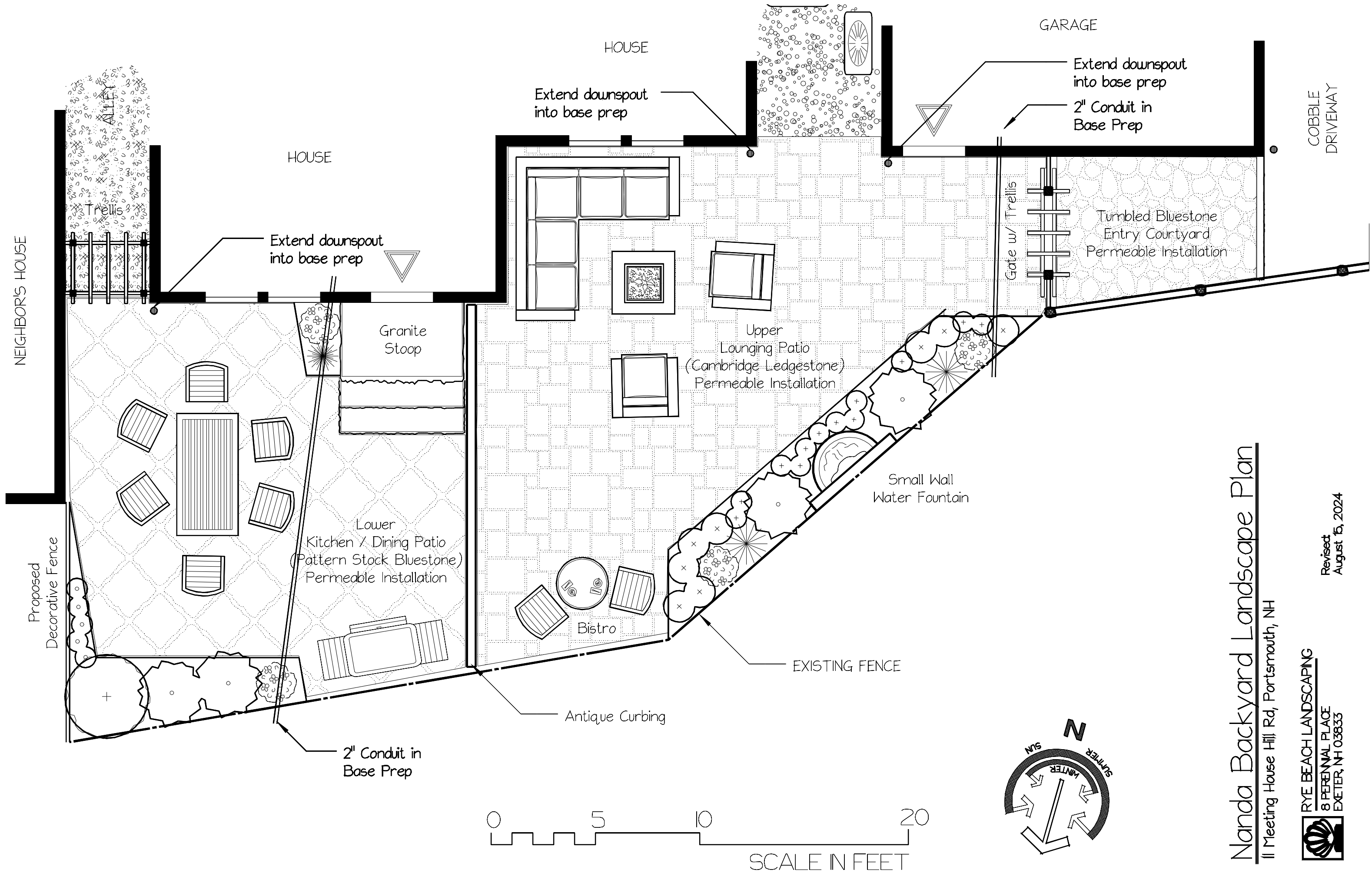
**NOTE: THE LEDGESTONE 3-PC. DESIGN KIT IS INSTALLED RANDOMLY WITH NO SET PATTERN.**



**NOTE: THE LEDGESTONE 9 X 9, 9 X 18 & 18 X 18 DESIGN KIT IS INSTALLED RANDOMLY WITH NO SET PATTERN.**







NEIGHBOR'S HOUSE

HOUSE

HOUSE

GARAGE

COBBLE DRIVEWAY

Extend downspout into base prep

Extend downspout into base prep

2" Conduit in Base Prep

Extend downspout into base prep

Gate w/ Trellis

Tumbled Bluestone Entry Courtyard Permeable Installation

Granite Stoop

Upper Lounging Patio (Cambridge Ledge Stone) Permeable Installation

Small Wall Water Fountain

Lower Kitchen / Dining Patio (Pattern Stock Bluestone) Permeable Installation

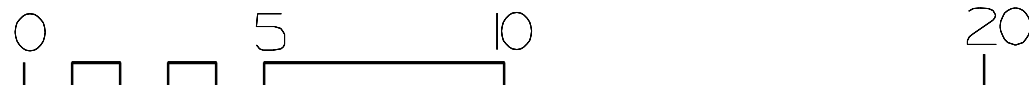
Bistro

EXISTING FENCE

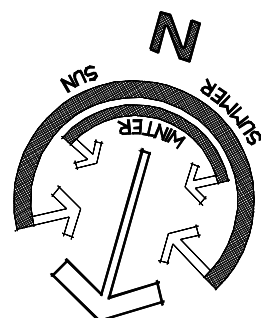
Antique Curbing

2" Conduit in Base Prep

Proposed Decorative Fence



SCALE IN FEET



# Nanda Backyard Landscape Plan

11 Meeting House Hill Rd, Portsmouth, NH



Revised August 15, 2024



**6. 25 Penhallow Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of HVAC equipment (condenser) with screening.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

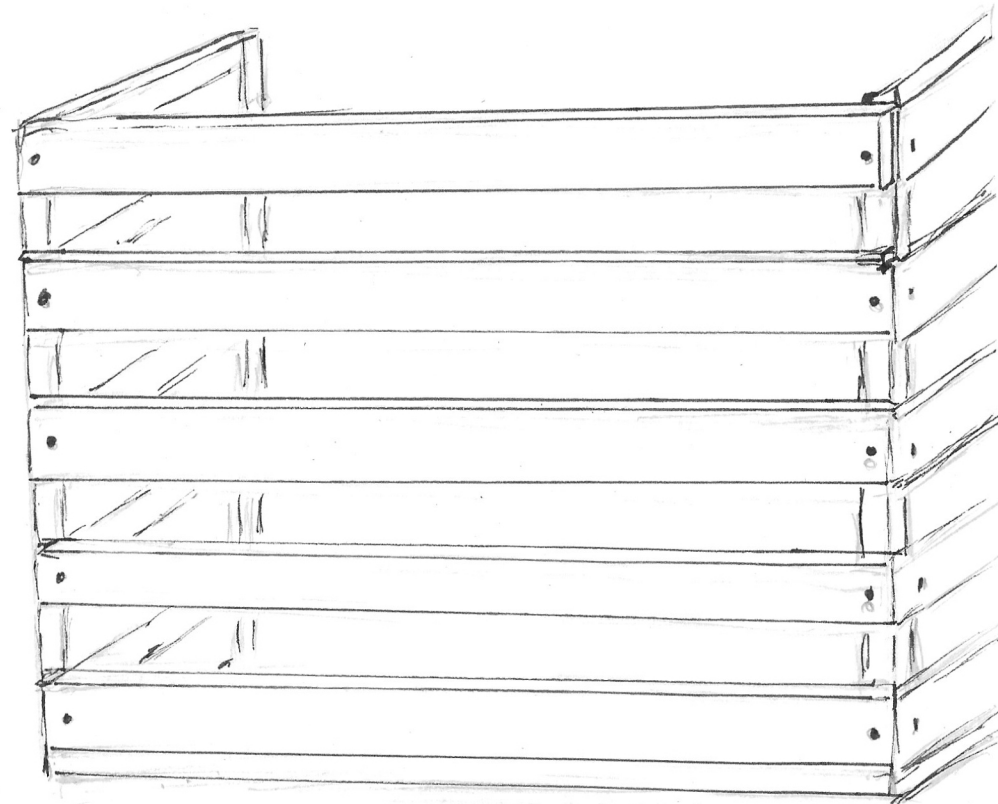
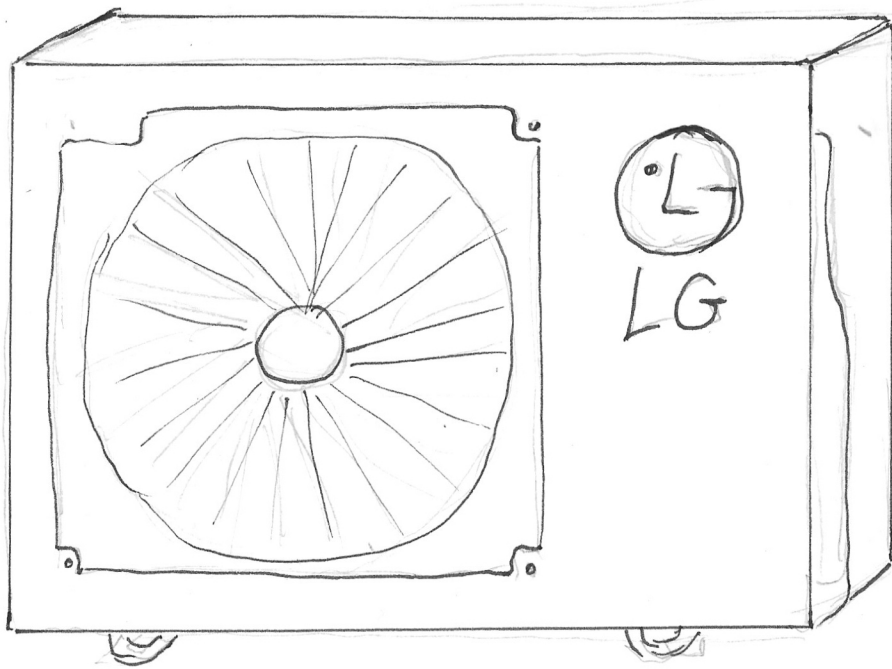


## 25 PENHALLOW STREET PORTSMOUTH, NH

6 BTU - LGRED Degrees He

I am requesting approval to install an LG condenser unit to be placed between my two upstairs windows on the back side of my brick carriage house. See top right photo. The area is not visible from any street and my direct abutters asked me to hang it there. The location affords easy access to the electrical panel and shorter runs of cabling and drain, which will lessen impact of the mechanicals.

The upper left photo shows a condenser above the staging, which is visible from the street and my back windows. The lower photo shows an array of condensers atop the roof at 15 Penhallow Street. Heat pumps are now being encouraged in our warming Northeast as being more efficient and less detrimental to the environment.



Proposed Condenser Screening with Slats



**7. 39 Holmes Court -Recommended Approval**

**Background:** The applicant is seeking approval for a change to the previously approved windows (Green Mountain) and for a rescue balcony as needed by life-safety code.

**Staff Comment:** Recommended Approval

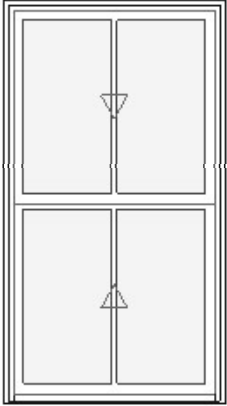
**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: A (verify qty)	Net Price:		820.48
Qty: 5		Ext. Net Price:	USD	4,102.40



As Viewed From The Exterior

**Entered As:** CN  
**MO** 34" X 60"  
**CN** 3460  
**FS** 33 1/2" X 59 3/4"  
**RO** 34 1/2" X 60 1/4"  
**Egress Information**  
 Width: 30 3/8" Height: 24 31/32"  
 Net Clear Opening: 5.27 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.28  
 Visible Light Transmittance: 0.48  
 Condensation Resistance: 56  
 CPD Number: MAR-N-272-01534-00001  
**Performance Grade**  
 Licensee #783  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1054X1924 mm (42X76.8 in)  
 LC-PG40 DP +40/-40  
 FL6525

Stone White Exterior  
 White Interior  
 Elevate Double Hung  
 CN 3460  
 Rough Opening 34 1/2" X 60 1/4"  
 Top Sash  
 Stone White Exterior  
 White Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 2W1H  
 Stone White Ext - White Int  
 Bottom Sash  
 Stone White Exterior  
 White Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 2W1H  
 Stone White Ext - White Int  
 White Weather Strip Package  
 1 Oil Rubbed Bronze Sash Lock  
 Exterior Aluminum Half Screen  
 Stone White Surround  
 Bright View Mesh  
 4 9/16" Jambs  
 Nailing Fin  
 \*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
 \*\*\*Note: Unit Availability and Price is Subject to Change

Initials required

Seller: \_\_\_\_\_

Buyer: \_\_\_\_\_

Line #2	Mark Unit: AT tempered	Net Price:		1,029.95
Qty: 1		Ext. Net Price:	USD	1,029.95



Stone White Exterior  
 White Interior  
 Elevate Double Hung  
 CN 3460  
 Rough Opening 34 1/2" X 60 1/4"  
 Glass Add For All Sash  
 Top Sash  
 Stone White Exterior  
 White Interior  
 IG  
 Tempered Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless



PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION

ATTIC SUB-FLOOR

2<sup>ND</sup> FLOOR SUB-FLOOR

1<sup>ST</sup> FLOOR SUB-FLOOR

AIR SOURCE HEAT PUMP

BASEMENT SLAB

MEMBRANE ROOF WITH WHITE ALUM. DRIP EDGE

COPPER VENT COWL FOR RANGE HOOD

The center window scales at 5'6" tall and 2'6" wide.

The landing is 3'0" deep (decking) 31 1/2" from wall to inside of railing. The width is 9'9" which allows the required landing to the side of the opening per Portsmouth Fire Department guidelines.

The purpose of this size and design is to contain the landing within and above the soffit and fascia on the main roof line. Given that the landing is roughly 25' above grade the majority of it will be unseen from grade.

**8. 491 Marcy Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the removal of a chimney on the structure in conjunction with a re-roofing project.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

Friday, September 13, 2024

Dear Historic District Commission,

We are writing to request **Administrative Approval** for the removal of a disused chimney at our home at 491 Marcy Street, located within the Historic District.

The Portsmouth Historical Survey (1982–83) estimated its construction around 1820. Our research, based on property deeds and resources from the Portsmouth Athenaeum, traces the history back to at least the 1840s. Over the years, the house has undergone several renovations and structural changes, including the removal of the original center chimney stack, which is now only visible in the dirt-floor basement and in the original wide plank floors where fireplaces once stood. This was replaced with two smaller chimneys, likely at the time a two-storey extension was added to the rear of the property.

The taller chimney on the left elevation suffered extensive fire damage many years ago and now urgently requires repointing. This chimney is in use and vents our forced hot air system, powered by an oil furnace in the basement.

The shorter chimney on the right elevation is no longer in use and was demolished at the basement level many years ago. We believe this chimney collapsed at some point, and it is now capped at the roofline with loose stones, leans significantly and has loose bricks and missing mortar, posing a significant safety risk to our family and our neighbors.

Our mason, Tyler Conroy of Millstone Masonry, has recommended repointing the taller chimney on the left elevation using a historic lime mortar of matching color to stabilize it and removing the remaining structure of the shorter chimney on the right elevation below the roofline to allow for wood framing and roofing to be applied in place of the chimney. This work would be completed before the installation of a new asphalt roof and skylights in the adjacent rear gables, as previously approved by the HDC per plans on file in the Planning Department.

The taller chimney on the left elevation (in use, to remain) is partially visible at a distance from Marcy Street. The shorter chimney on the right elevation (disused, to be removed) is below the roof ridge and partially visible at a distance from Holmes Court and not visible from Marcy Street. According to property deeds, Holmes Court was at one time a private street for access only for a small number of property owners and included a shared water well. Today, it provides vehicle access to three properties with Holmes Court addresses (33, 39, and 43) and two Marcy Street homes (our home and 499).

We kindly request your approval to proceed with these necessary repairs to preserve and protect our home as preparations for our renovation project get underway.

With appreciation,

Charlie Barlow and Sean Conroy  
Homeowners, 491 Marcy Street



Charlie Barlow <charlesjbarlow@gmail.com>

---

## Masonry repairs

1 message

---

**Tyler Conroy** <tconroy@millstonemasonry.com>  
To: CharlesJBarlow@gmail.com, Sean-snconroy@gmail.com

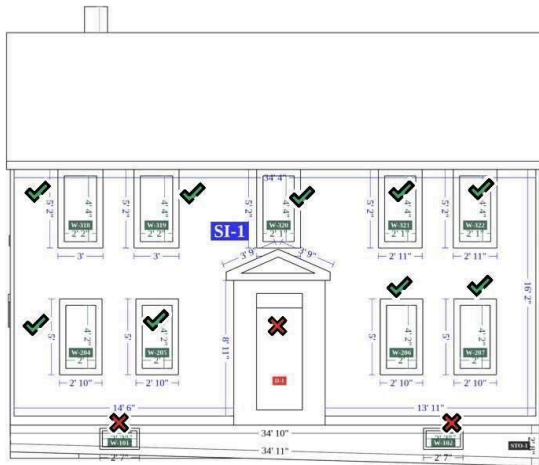
13 September 2024 at 07:32

Good morning,

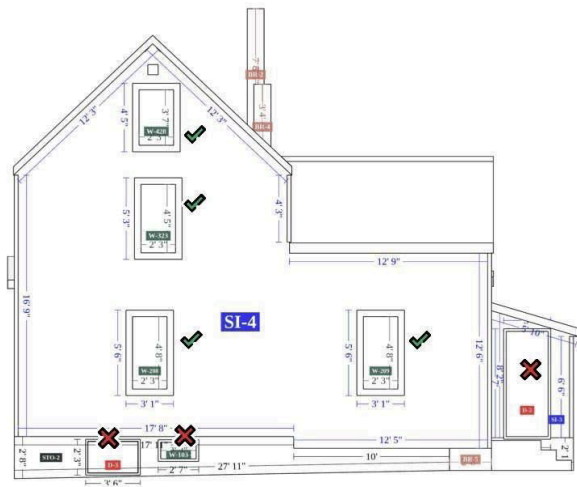
After inspecting the two chimneys located at [491 Marcy st Portsmouth](#), I have the following recommendations for repair. The tall chimney (in use) should be repointed using a historic lime mortar of matching color. This channel will also need to be re-flashed using lead.

Second chimney is non functional and has been partially torn down by previous owner and capped off. This chimney should be removed below roofline to allow for wood framing and roofing to be applied in place of the chimney.

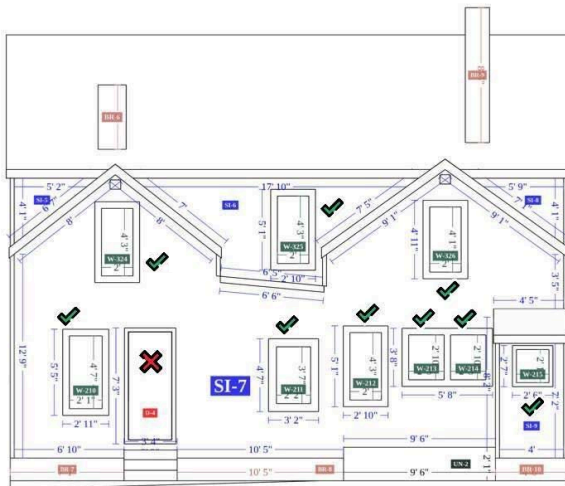
-Tyler Conroy  
Millstone masonry  
603 9739219



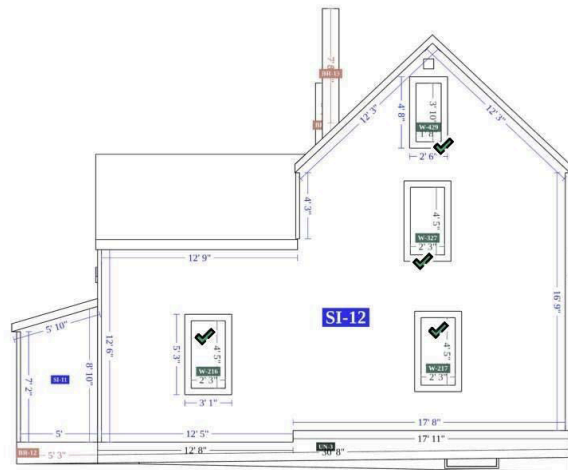
**FRONT ELEVATION**  
Marcy Street



**RIGHT SIDE ELEVATION**  
Holmes Court



**REAR ELEVATION**  
Marcy Street



**LEFT SIDE ELEVATION**

*These elevations are provided to show the relative visibility of the chimneys from different viewpoints.*





*Image #1. TALLER CHIMNEY AT LEFT ELEVATION, photo taken from rear*  
In use, to be repointed with historic mortar of matching color



*Image #2. SHORTER CHIMNEY AT RIGHT ELEVATION, photo taken from rear*  
Disused, to be removed



*Image #3. EXISTING FRONT ELEVATION*  
VIEW FROM MARCY STREET, no chimneys visible



*Image #4. EXISTING LEFT ELEVATION*  
VIEW FROM MARCY STREET, taller chimney (to remain) visible



*Image #5. EXISTING RIGHT AND REAR ELEVATIONS*  
VIEW FROM HOLMES COURT, MARCY STREET AT FAR LEFT, both chimneys visible



*Image #6. EXISTING RIGHT ELEVATION*  
VIEW FROM HOLMES COURT, shorter chimney (to be removed) visible

**9. 0 Congress Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of exterior signage.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



Sign 1



- Raised metal OVERLAND letters painted in Sherwin Williams 6076 Turkish Coffee.
- Letters are 8”h x 72”w (area sq ft 4)
- Aluminum backer w/stud mounted installation.
- Painting background white to match the building store front.
- Awnings to be removed and holes patched and painted.
- Metal spikes on window ledge to be removed.





## SIGN 2

- 2-sided blade 15”h x 40”w (area sq ft 4.16) with mountain logo
- Hanging from hooks of existing bracket, rectangle shape, with texture.
- Mountain top protrudes slightly above sign.
- Sign color Brown. SW Turkish Coffee.
- Raised letters, mountain, ESTABLISHED 1973 and lines – color white / HOS ivory
- 1-piece carving, MDO backer
- HDU core with 2 hanging eye hooks.





### SIGN 3

- 2-sided blade sign 18”h x 48”w (area sq ft 6) with mountain logo
- Hanging from hooks of existing bracket, rectangle shape, with texture.
- Mountain top protrudes slightly above sign.
- Sign color Brown. SW Turkish Coffee.
- Raised letters, mountain, ESTABLISHED 1973 and lines – color white / HOS ivory
- 1-piece carving, MDO backer
- HDU core with 2 hanging eye hooks.



# **Historic District Commission**

## **Staff Report**

**Wednesday, October 02, 2024**



**Project Address:** 87 Market Street

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4, Downtown Overlay
- Land Use: Mixed Use
- Land Area: 0 SF +/-
- Estimated Age of Structure: c.1803
- Building Style: Federal
- Number of Stories: 4 facing Market Street and 6 Facing Ceres Street (rear).
- Historical Significance: Focal
- Public View of Proposed Work: Market Street and Ceres Street
- Unique Features: Built along with 75-123 Market Street just after the fire if 1802.
- Neighborhood Association: Downtown



**B. Proposed Work:** Replace existing windows and Doors with Marvin windows/doors and install gutter and downspout system.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replacement windows and doors.
- Add Gutters and Down Spouts.



**HISTORIC  
SURVEY  
RATING  
Focal**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



Example of the downspout- can be any color requested.



Example of the round style gutter- can be any color requested.



① Existing Market Street Elevation  
1/4" = 1'-0"



EXISTING MARKET STREET ELEVATION REFERENCE PHOTO: NOT TO SCALE

TMS  
architects  
interiors

One Cate Street  
Eldredge Park  
Portsmouth, NH  
P. 603.436.4274  
F. 603.431.1828  
www.tmsarchitects.com

CLIENT



STRUCTURAL ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER

Revision & Reissue Notes

Rev. No.	Date	Description

STAMPS

HTC Review Submission

PROJECT NUMBER

24-027

**87 Market Street  
Portsmouth, NH**

**Existing Market Street  
Elevation**

AE200

DRAWN BY  
DES  
CHECKED BY  
TMG  
CURRENT DATE  
INITIAL ISSUE DATE  
07/19/2024



CLIENT

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER

Revision & Reissue Notes

Rev. No.	Date	Description

STAMPS

HTC Review Submission

PROJECT NUMBER 24-027

**87 Market Street  
Portsmouth, NH**

**Existing Ceres Street Elevation**

DRAWN BY DES  
CHECKED BY TMG  
CURRENT DATE  
INITIAL ISSUE DATE 07/19/2024

**AE201**



EXISTING CERES STREET ELEVATION REFERENCE PHOTO: NOT TO SCALE



1 Existing Ceres Street Elevation  
1/4" = 1'-0"

CLIENT



STRUCTURAL ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER

Revision & Reissue Notes

Rev. No.	Date	Description

STAMPS

HTC Review Submission

PROJECT NUMBER

24-027

**87 Market  
Street  
Portsmouth, NH**

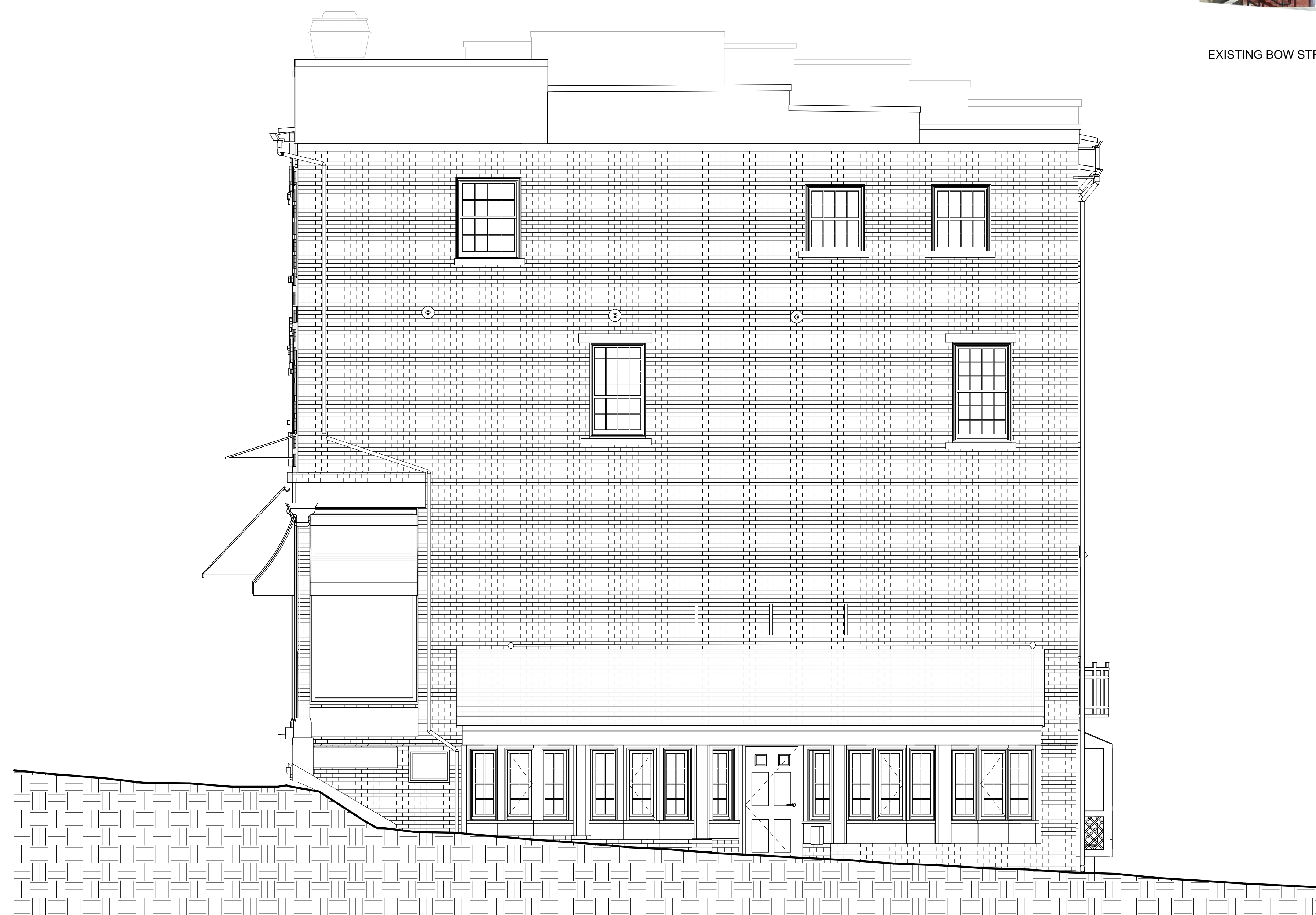
**Existing Bow Street  
Elevation**

**AE202**

DRAWN BY  
DES  
CHECKED BY  
TMG  
CURRENT DATE  
INITIAL ISSUE DATE  
07/19/2024



EXISTING BOW STREET ELEVATION REFERENCE PHOTO: NOT TO SCALE



① Existing Bow Street Elevation  
1/4" = 1'-0"



CLIENT

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER

Revision & Reissue Notes

Rev. No.	Date	Description

STAMPS

HDC Review Submission

PROJECT NUMBER  
24-027

**87 Market Street  
Portsmouth, NH**

**Market Street  
Elevation**



① Market Street Elevation  
1/4" = 1'-0"

DRAWN BY  
DES  
CHECKED BY  
TMG  
CURRENT DATE  
INITIAL ISSUE DATE  
07/19/24

**A200**





CLIENT

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER

Revision & Reissue Notes

Rev. No.	Date	Description

STAMPS

HDC Review Submission

PROJECT NUMBER  
24-027

**87 Market Street  
Portsmouth, NH**

**Ceres Street Elevation**



① Ceres Street Elevation  
1/4" = 1'-0"

Autodesk Docs://MCE Dolphin Striker Renovation/87 Market Street Portsmouth New Hampshire Maine\_Current.rvt

DRAWN BY: DES  
CHECKED BY: TMG  
CURRENT DATE  
INITIAL ISSUE DATE: 07/19/24

A201



CLIENT

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER

Revision & Reissue Notes

Rev. No.	Date	Description

STAMPS

HDC Review Submission

PROJECT NUMBER

24-027

**87 Market Street  
Portsmouth, NH**

**Bow Street Elevation**

**A202**

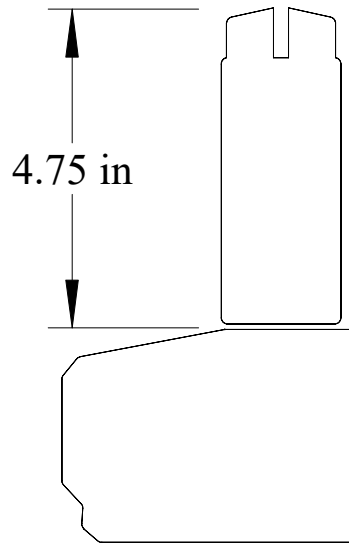
DRAWN BY: DES  
CHECKED BY: TMG  
CURRENT DATE  
INITIAL ISSUE DATE: 07/19/24



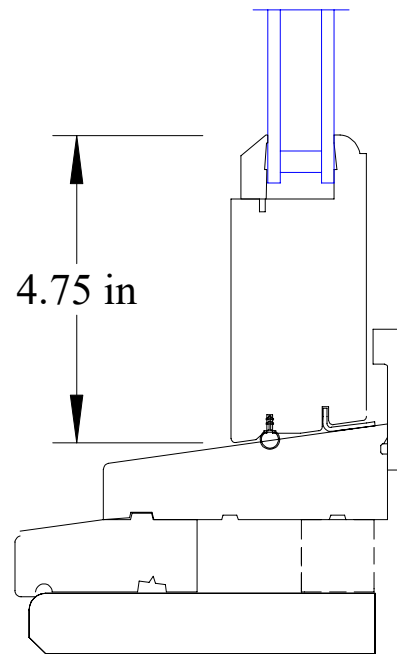
**NOTE: ARCHITECTURAL DESIGN INTENT:**  
MARVIN WINDOWS TO MATCH EXISTING  
UPPER TRANSOM CUSTOM SHAPE  
WINDOWS. MATCH EXISTING SPRING  
LINE & RADIUS AS EXISTING WINDOWS.

1 Existing Bow Street Elevation  
1/4" = 1'-0"

# Marvin Sill Detail



Existing condition

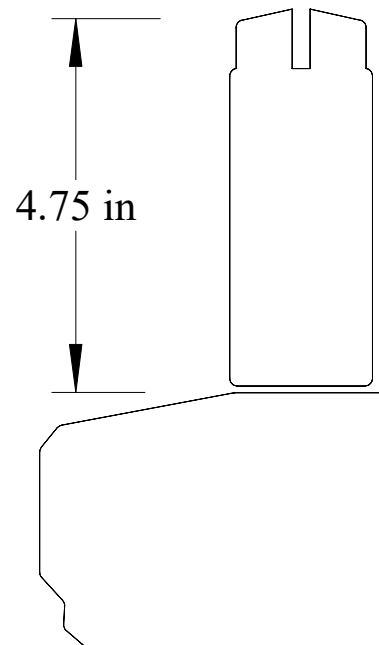


Marvin Magnum Wood DH Picture  
CUSTOM bottom rail

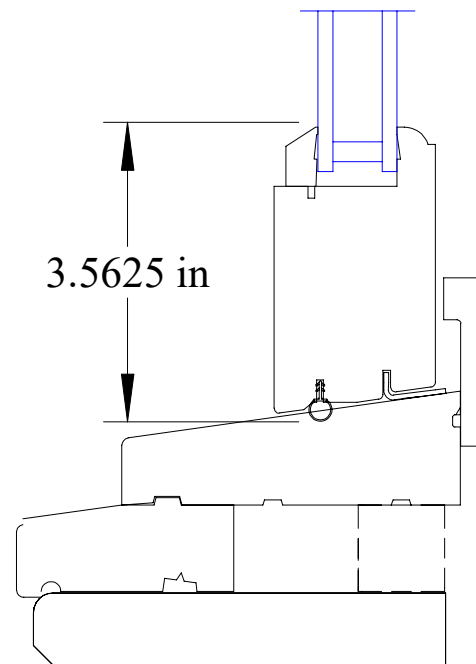
87 Market Street  
Lower Store Front Window  
Sectional Details

Drawn by Aaron Linn  
8/9/24

# Marvin Sill Detail



Existing condition

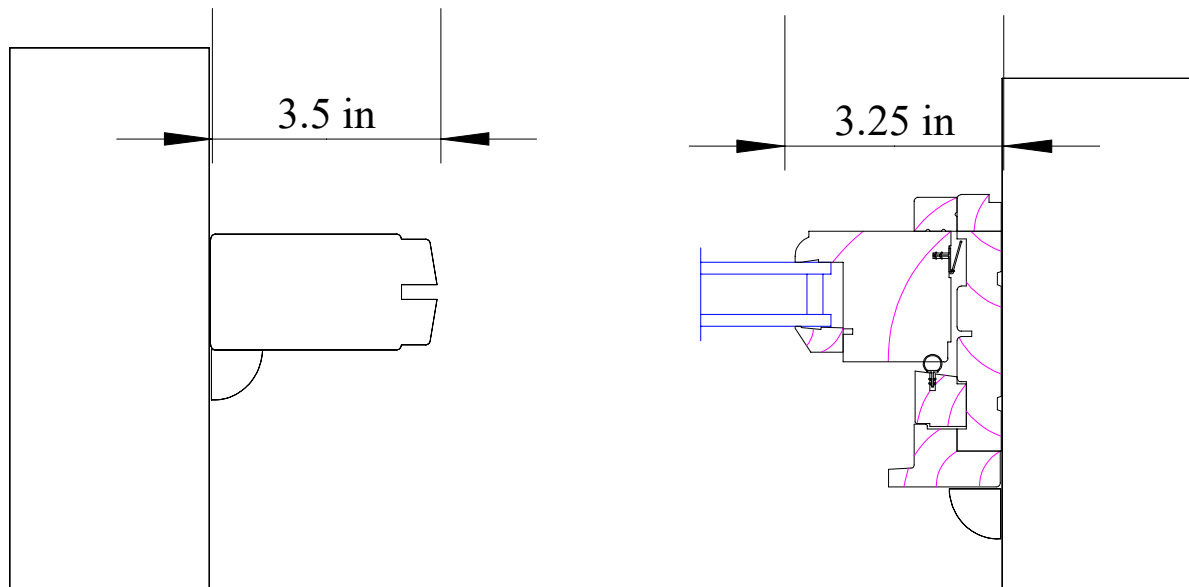


Marvin Magnum Wood DH Picture  
STANDARD bottom rail

87 Market Street  
Lower Store Front Window  
Sectional Details

Drawn by Aaron Linn  
8/9/24

# Marvin Jamb Detail



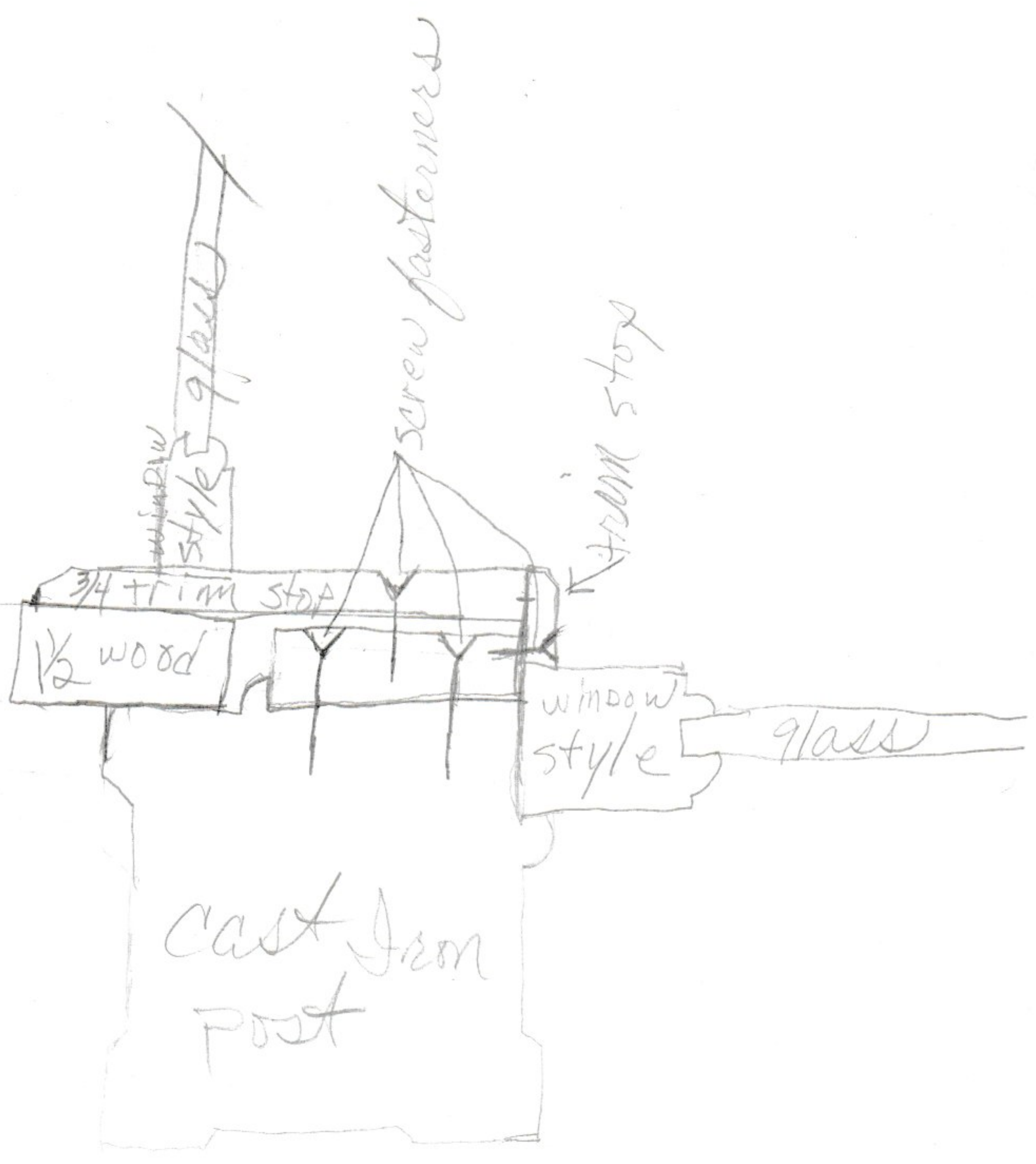
Existing condition

Marvin Magnum Wood DH Picture  
STANDARD style

87 Market Street  
Lower Store Front Window  
Sectional Details

Drawn by Aaron Linn  
8/9/24

# Plan View



Street side

**Project Address:** 18 Ladd Street

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing 1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4, Downtown Overlay
- Land Use: Mixed-Use
- Land Area: 0 SF +/-
- Estimated Age of Structure: c. N/A
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: N/A
- Public View of Proposed Work: Ladd Street
- Unique Features: N/A
- Neighborhood Association: Downtown

**B. Proposed Work:** Replace existing windows.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replace existing windows.



**HISTORIC  
SURVEY  
RATING  
N/A**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



18 Ladd Street Portsmouth, NH 03801



Figure 1 18 Ladd Street from South West



Figure 2 18 Ladd Street from North



*Figure 3 18 Ladd Street- South and East elevations*



*Figure 4 18 Ladd Street from Atheneum Courtyard*

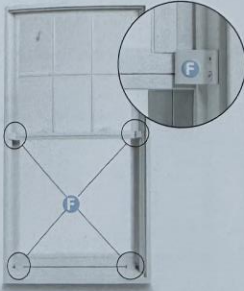
**INSTALLATION SYSTEM**

The installation system includes 1 1/2" (38) by 3" (76) stainless steel installation clips for additional reinforcement. The installation clips are screwed to the frame and fastened to the rough opening for secure installation. Optional 6" (152) installation clips are available for use with factory-applied or preapplied extension jambs.



**STRUCTURAL ENHANCEMENTS**

**Exterior Brackets**



Color matched exterior brackets provide structural support for the sash during high winds.

**Interior Brackets**



Engaged Retracted

Retractable interior brackets provide additional structural support for the sash and frame. The brackets retract to allow the sash to tilt for cleaning. Available in white, stone, canvas and black. Brackets must be engaged to meet structural requirements.

**SASH OPTIONS**



Collage Style (select sizes)

**ACCESSORIES** Sold Separately

**FRAME**

**Extension Jambs**



Standard jamb depth is 4 1/2" (114). Extension jambs are available in unfinished pine or prefinished white. Some sizes may be veneered.

Factory-applied and non-applied interior extension jambs are available in 1/8" (1.5) increments between 5 1/4" (129) and 7 1/8" (181). Extension jambs can be factory applied to either three sides (stool and apron application) or four sides (picture frame casing).

**Pine Stool**



A clear pine stool is available and ready for finishing. The tilt-wash stool is available in 4 3/8" (116) for use in wall depths up to 5 1/4" (133) and 6 3/8" (167) for use in wall depths up to 7 1/8" (181). Works with 2 1/4" (57) and 2 1/2" (64) wide casings.

**GLASS**

**Andersen® Art Glass**

Panels are available for 400 Series tilt-wash transom and picture units. Andersen art glass panels come in a variety of original patterns. Visit [andersenwindows.com/artglass](http://andersenwindows.com/artglass) or see page 12 for more information.

**HARDWARE**

**Window Opening Control Device**



A window opening control device is available factory applied, which limits the sash travel to less than 4" (102) when the window is first opened. Available in stone, white and black. A field-applied window opening control device kit is also available.

\*TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

\*\*Infringes on the overall net clear opening. Unit clear operable area may not meet egress requirements. See your local building code official for more information.  
†For up-to-date performance information of individual products, visit [andersenwindows.com](http://andersenwindows.com). Dimensions in parentheses are in millimeters.

**SECURITY SENSORS**

**VeriLock® Sensors**

VeriLock sensors are available in white, gold dust, gray, stone and black colors. See page 9 for details.

**Open/Closed Sensors**

Wireless open/closed sensors are available in white, canvas, Sandtone and dark bronze colors. See page 9 for details.

**INSECT SCREENS**

**Insect Screen Frames**



Full insect screens are available for most unit sizes. Frame color matches product exterior.

**TruScene® Insect Screen**

Andersen TruScene insect screens let in over 25% more fresh air\* and provide 50% greater clarity than conventional Andersen insect screens, all while keeping out unwanted small insects.

**Conventional Insect Screen**

Conventional insect screens have charcoal powder-coated aluminum screen mesh.

**GRILLES**

Grilles are available in a variety of configurations and widths. For tilt-wash window grille patterns, see page 40.

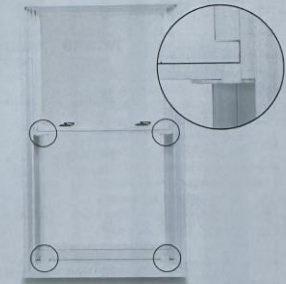
**EXTERIOR TRIM**

This product is available with Andersen exterior trim. See page 61 for details.

**PERFORMANCE GRADE (PG) UPGRADES**

A high inside sill stop\*\* with exterior sill brackets and hidden interior brackets are available to provide additional structural support for tilt-wash units, allowing standard, non-impact glass units to achieve higher performance grade ratings! Performance Grade (PG) Ratings are more comprehensive than Design Pressure (DP) Ratings for measuring product performance. For up-to-date performance information of individual products, please visit [andersenwindows.com](http://andersenwindows.com). Use of this option will subtract 3/8" (16) from clear opening height. PG upgrade not available for 72" (1829) and 76" (1930) heights. Contact your Andersen supplier for availability.

**Exterior Brackets**



Exterior meeting rail and sill brackets (on non-impact units with PG upgrades) provide additional structural support for the sash and frame. Brackets are located on both sides of the meeting rail and sill. Brackets are the same color as the exterior of the unit.

**Woodwright® Double-Hung Windows**

PG upgrades are also available for our 400 Series Woodwright double-hung windows in select sizes. See your Andersen supplier for details.

**CAUTION:**

- Painting and staining may cause damage to rigid vinyl.
- Do not paint 400 Series windows with white, canvas, Sandtone, forest green, dark bronze or black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces.
- 400 Series windows in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstrip.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

400 Series Tilt-Wash Double-Hung Windows

# TILT-WASH DOUBLE-HUNG WINDOWS

## FEATURES

### FRAME

**A** Exterior outer frame members are covered with a Perma-Shield® rigid vinyl cladding, minimizing maintenance and providing an attractive appearance.

**B** For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex® material exterior. Sill ends are protected and sealed with weather-resistant covers.

**C** Natural wood stops are available in pine and prefinished white, dark bronze and black.\*\* For white prefinished interior units, white vinyl stops are also an option.

**D** For additional protection from air and water infiltration, the sill stop is 1 1/8" (41) high! Sill stop height for standard, non-coastal, windows is 1 1/16" (33). Interior wood stops are secured to the frame using 1 1/2" (38) 16-gauge crown staples instead of nails.

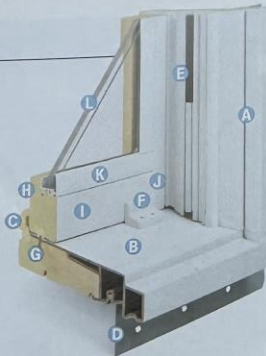
**E** A factory-applied rigid vinyl installation flange on the head, sill and sides of the outer frame helps secure the unit to the structure.

**F** An extruded rigid vinyl jamb liner and fin provide a protective seal against the outer frame members. Exclusive slide wash assists make it easy to tilt sash into wash mode.

Unique black-and-tackle balancers feature sized-to-the-unit, rust-resistant springs that require no adjustment. Glass-reinforced nylon balancer shoes provide smooth, reliable sash operation. Sash can be removed, without tools, for drywall pass-through. Jamb liners are available in white or gray and must be specified when ordering. Contact your Andersen supplier for details.

**G** Exterior frame and sill brackets provide structural support for the sash during high winds. Brackets are the same color as the exterior of unit.

**H** Weatherstrip throughout the unit provides a long-lasting, energy-efficient, weather-resistant seal. For the top and bottom rails, an encased foam material is used. The head jamb liner and sill have a one-piece EDPM weatherstrip throughout the unit that provides a seamless, long-lasting, energy-efficient weather-resistant seal. At the meeting rail, compressible vinyl bulb material is used. Side jamb liners use leaf-type weatherstrip with foam inserts.



### SASH

Wash assists make it easy to tilt the sash into wash mode.

**I** Wood sash members are treated with a water-repellent preservative for long-lasting protection and performance. Interior surfaces are unfinished pine. Low-maintenance prefinished white interiors are also available.

**J** A polyester-stabilized coat with a Flexacron® finish is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous finish.

**K** Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

### GLASS

**L** A rigid vinyl glazing bead with flexible lip, combined with structural silicone glazing, provides superior weathertightness and durability.

**M** Consult local building codes for glass most suitable to your area. High-Performance options include:

- Low-E4® Impact-Resistant glass
- Low-E4 HeatLock® Impact-Resistant glass
- Low-E4 Sun Impact-Resistant glass
- Low-E4 SmartSun™ Impact-Resistant glass
- Low-E4 SmartSun HeatLock Impact-Resistant glass

Tempered and obscure glass options are available. Contact your Andersen supplier.

Standard and tempered Low-E4, Low-E4 HeatLock, Low-E4 Sun and Low-E4 SmartSun glass options are available for windows with PG upgrades.

Monolithic laminated options include:

- Clear Monolithic SmartSun Impact-Resistant glass
- Gray Monolithic SmartSun Impact-Resistant glass

Obscure glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

**Lighthouse** Indicates differences from standard unit or optional upgrades

## EXTERIOR & INTERIOR OPTIONS

### EXTERIOR COLORS



### INTERIOR OPTIONS



## HARDWARE

Black | Gold Dust  
Oil Rubbed Bronze | Satin Nickel  
Stone | White



Standard Lock & Keeper



A metal lock and keeper creates a strong, secure engagement. Two locks are applied for added protection.

## PG UPGRADE HARDWARE



Standard Lock & Keeper



Lock & Keeper

Black | Gold Dust  
Stone | White

### ESTATE™

Stone is standard with natural interior units. White comes with prefinished white interiors. Other finishes optional.

Antique Brass | Bright Brass  
Brushed Chrome | Distressed Bronze  
Distressed Nickel | Oil Rubbed Nickel  
Polished Chrome | Satin Nickel

Bold name denotes finish shown.

Optional Estate lock and keeper is sold separately and reduces the clear opening height by 1/32" (15). Check with local building code officials to determine compliance with egress requirements.

## HARDWARE FINISHES



\*\* Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details. \*\* Dark bronze and black interiors are only available with dark bronze and black exteriors respectively.

† Infringes on the overall net clear opening. Unit clear operable area may not meet egress requirements. See your local building code official for more information.

†† Available for Estate hardware on PG upgrade units only. Dimensions in parentheses are in millimeters.


\* Flexacron® is a registered trademark of PPG Industries, Inc. Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified. Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.



## TILT-WASH DOUBLE-HUNG WINDOWS

Tables of Sizes .....	34-36
Specifications .....	35, 37-38
Custom Sizing .....	39
Grille Patterns .....	40
Window Details .....	40-41
Joining Details .....	42
Combination Designs .....	66
Product Performance .....	71

**CUSTOM SIZING**  
in 1/8" (3) increments 

Dimensions in parentheses are in millimeters.

**Project Address:** 1 Junkins Avenue  
**Permit Requested:** Certificate of Approval  
**Application:** Public Hearing 2



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Municipal
- Land Use: Residential
- Land Area: 350,222 SF +/-
- Estimated Age of Structure: c. N/A
- Building Style: N/A
- Number of Stories: 3
- Historical Significance: N/A
- Public View of Proposed Work: Junkins Avenue
- Unique Features: N/A
- Neighborhood Association: South End

**B. Proposed Work:** Construct ADA accessible lift at main entrance.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Construct ADA accessible lift at main entrance.



**HISTORIC  
SURVEY  
RATING  
N/A**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

## LETTER OF AGENDA

We respectfully submit this Application for Approval to provide ADA Access to the South Entrance of Connors Cottage. This is a primary entrance for the residents, and funding has become available to improve this important entrance. In addition to the much needed ADA modification, the South Entry stairs, landing, door sill, and brick support walls are crumbling after several failed repairs.

Additionally, this application has been submitted to:

DHR Review and Compliance (R&C) # 16007

Nadine Miller

Deputy State Historic Preservation Officer

New Hampshire Division of Historical Resources

172 Pembroke Road

Concord, NH 03301

Nadine also met with us onsite to collaborate on the preferred approach to both the repairs and the access design. During our 8/14/24 site visit, we discussed several options and recommend the following actions:

- Centering the new ADA lift between the existing windows, with a new platform and railings to bridge across to the existing landing. Lift color shall be Bronze.
- No impact to the existing Historic Brick wall is planned for this installation, as the bridge, roof, and rails will be supported on independent metal columns painted to match the lift.
- Extending the new lift roof over the new raised platform for protection from the elements. Roof color shall match lift color.
- Pouring a new topping slab over the existing upper landing to create a flush threshold at the existing door, keeping the existing historic stone door sill in place.
- The existing historic door would be restored and reinstalled with the door swing reversed for improved access.
- Much of the existing stairs and railings have been replaced in repair efforts. We recommend demolition of the stair.
- The new stair would be constructed with water struck brick side walls. The treads would be precast concrete per Nadine's recommendation on period precast elements present on the building.
- The new stair would be code-compliant.
- The existing columns, column bases, and roof canopy will remain in place.

Our priority is to develop a sensitive and low-impact approach to provide improved accessibility to this historic structure, with little or no impact to original building elements, and to comply with State and Federal historic preservation standards.

Thank you for your consideration.

Sincerely,



Carla Goodknight, AIA, NCARB  
Principal, CJ Architects



VIEW OF EXISTING SOUTH ENTRY

CONNORS COTTAGE  
PORTSMOUTH, NEW HAMPSHIRE

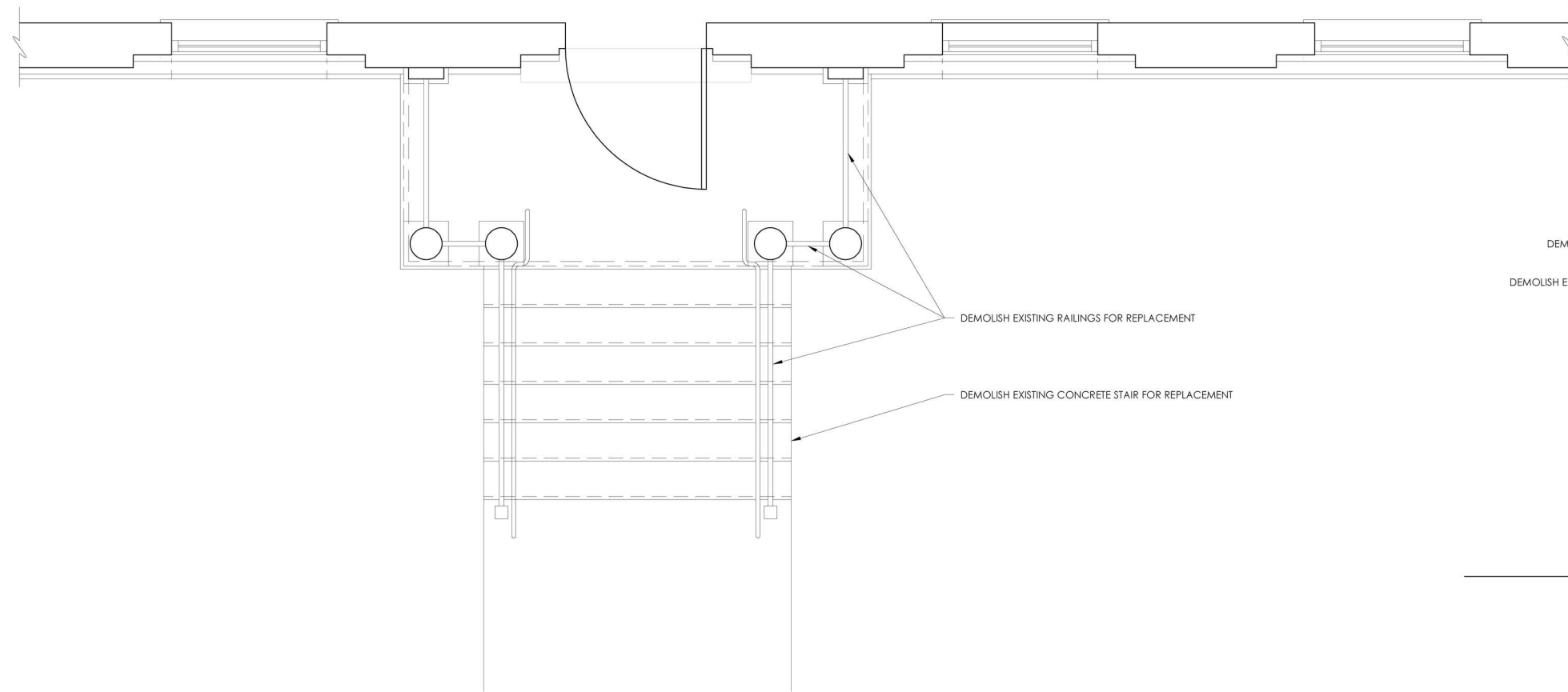
AGENDA

HDC APPLICATION FOR APPROVAL: OCTOBER 2, 2024

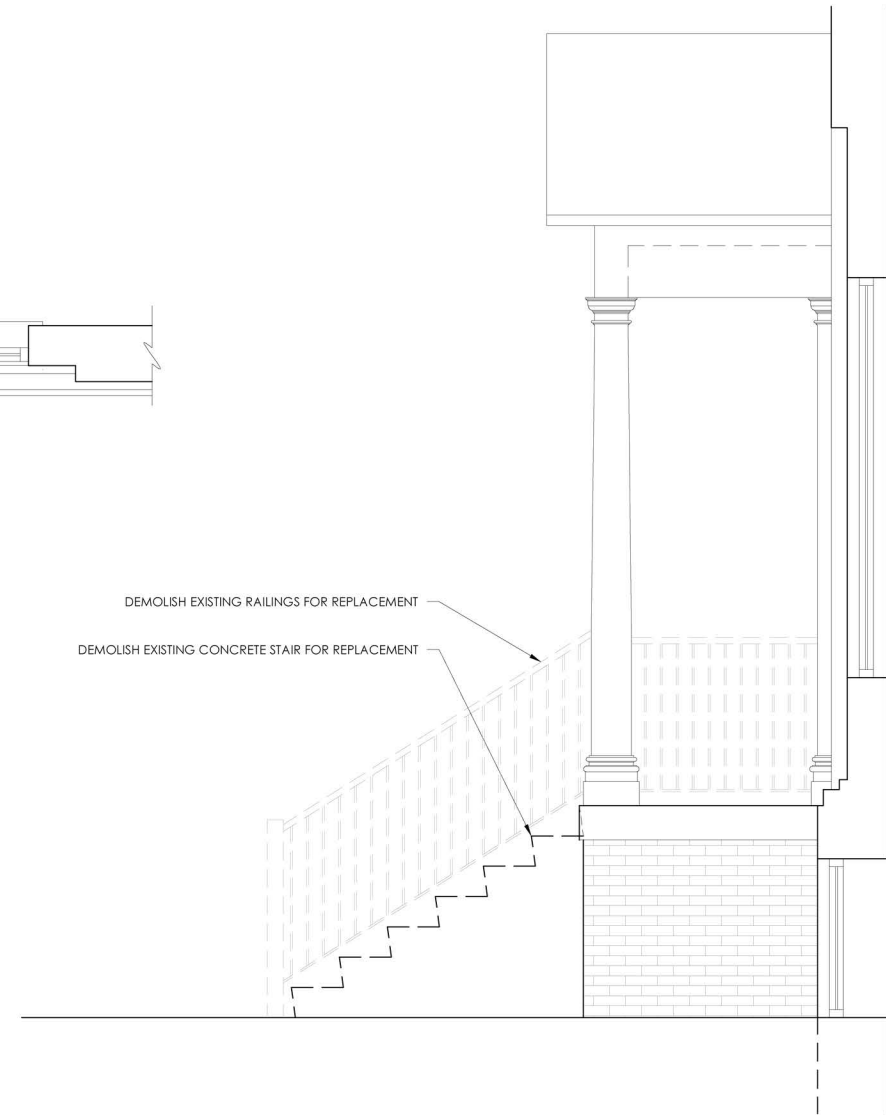


1.0

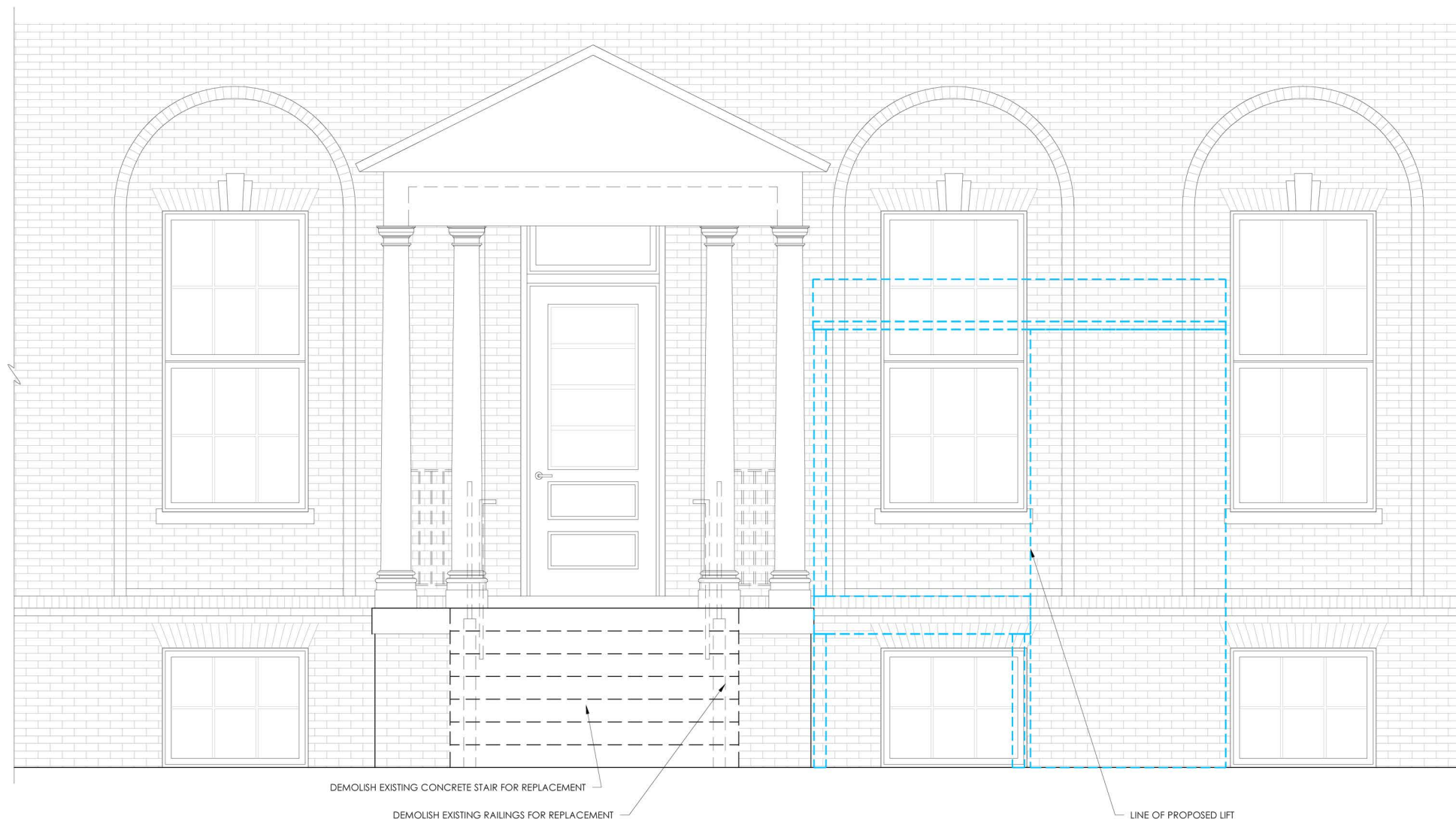




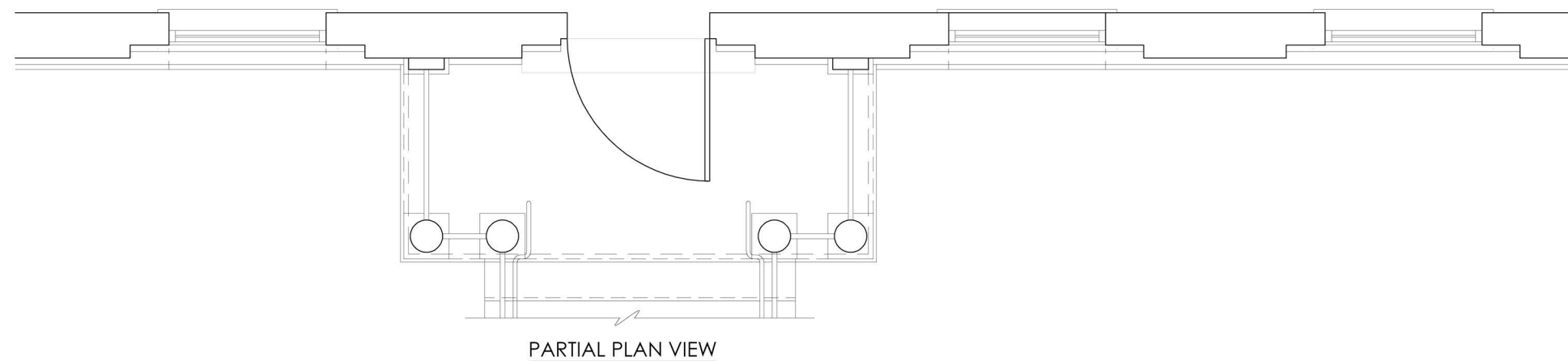
1 EXISTING PLAN  
1/4" = 1'-0"



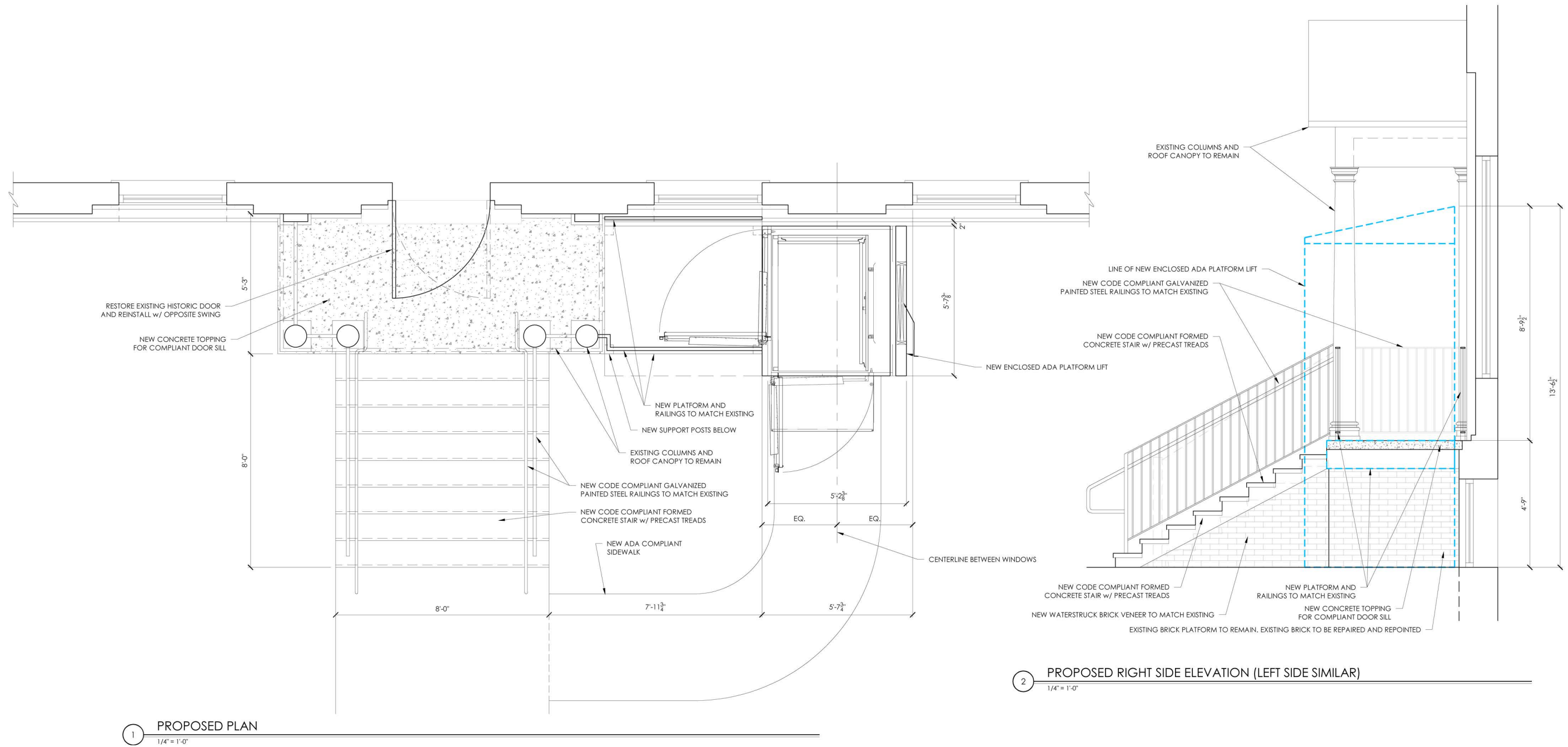
2 EXISTING SIDE ELEVATION  
1/4" = 1'-0"

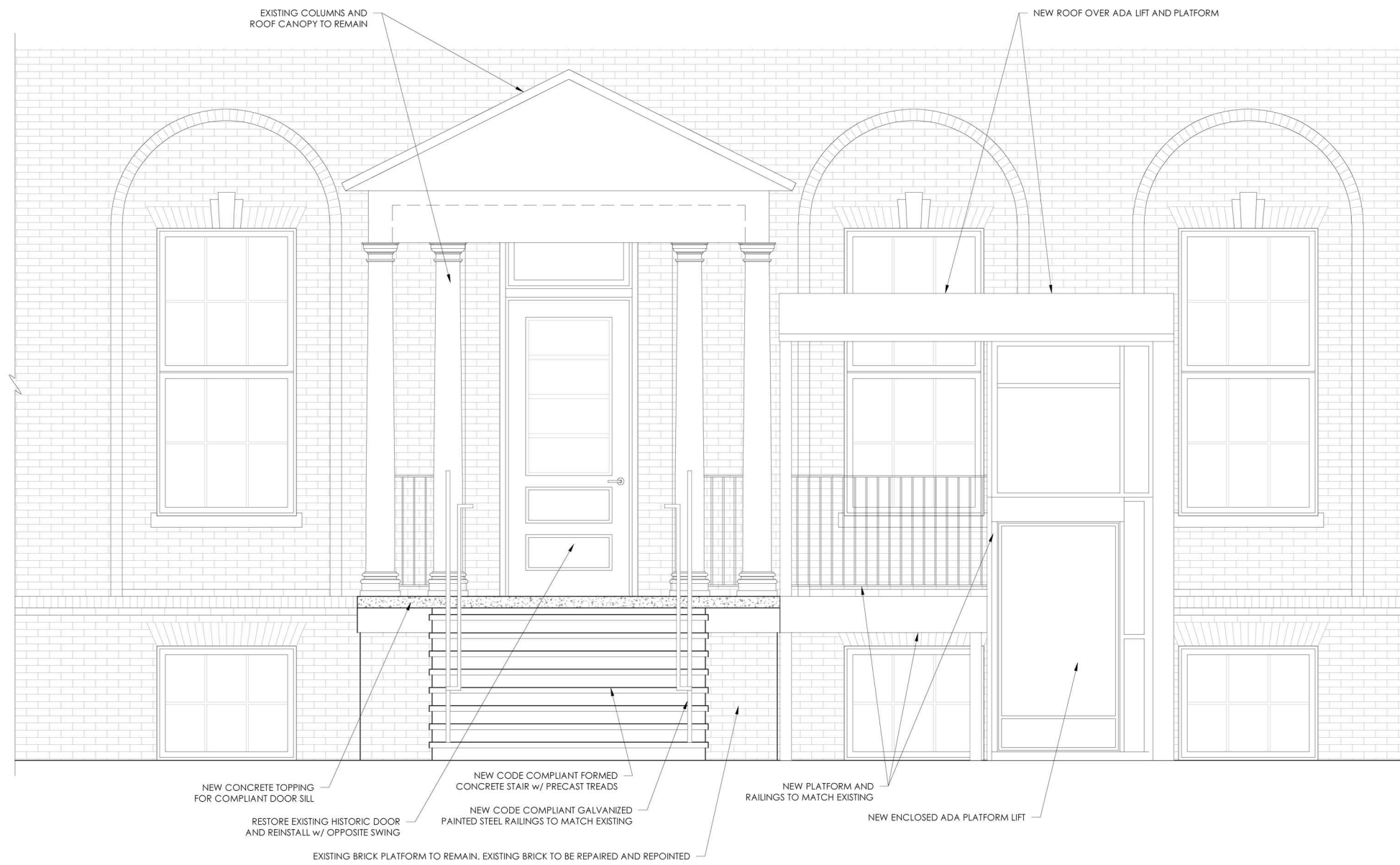


1 EXISTING FRONT ELEVATION  
1/4" = 1'-0"

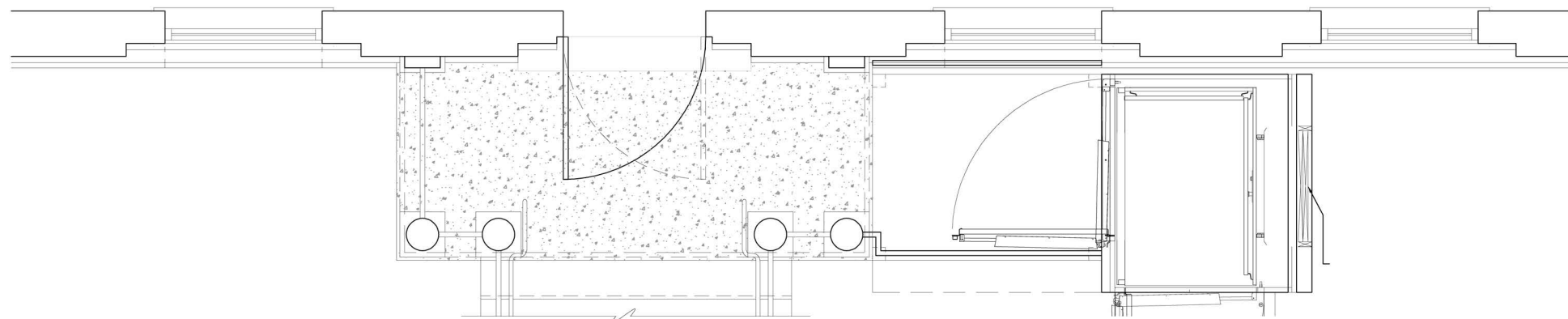


PARTIAL PLAN VIEW





1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



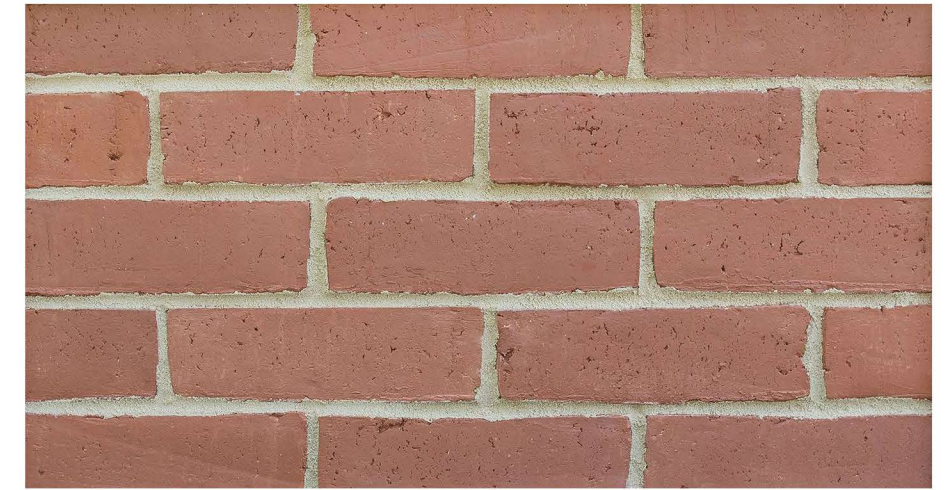
PARTIAL PLAN VIEW

PROPOSED PLAN & ELEVATIONS

HDC APPLICATION FOR APPROVAL: OCTOBER 2, 2024

CONNORS COTTAGE  
PORTSMOUTH, NEW HAMPSHIRE





WATERSTRUCK BRICK

**MANUFACTURER:** MORIN BRICK  
**COLOR:** MATCH EXISTING WATERSTRUCK

ACCESSIBLE PLATFORM LIFT

**MANUFACTURER:** SYMMETRY  
**COLOR:** BRONZE WITH PLEXIGLASS PANELS  
**SPECIFICATION:** VPL ELPH-72

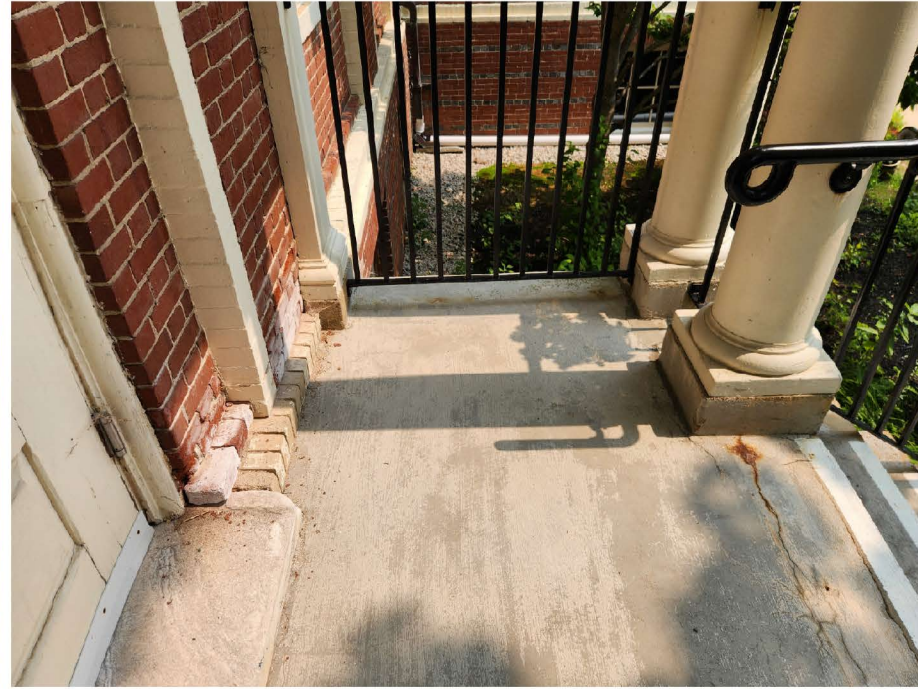
CONNORS COTTAGE  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MATERIALS

HDC APPLICATION FOR APPROVAL: OCTOBER 2, 2024



VIEW OF EXISTING SOUTH ENTRY



SOUTH ENTRY LANDING



SOUTH ENTRY SIDE ACCESS POINT



SOUTH ENTRY DAMAGED STAIRS



SOUTH ENTRY PRIOR REPAIR MASONRY FAILURE



SOUTH ENTRY ORIGINAL THRESHOLD  
POTENTIAL HAZARD

CONNORS COTTAGE  
PORTSMOUTH, NEW HAMPSHIRE

### EXISTING CONDITIONS

HDC APPLICATION FOR APPROVAL: OCTOBER 2, 2024

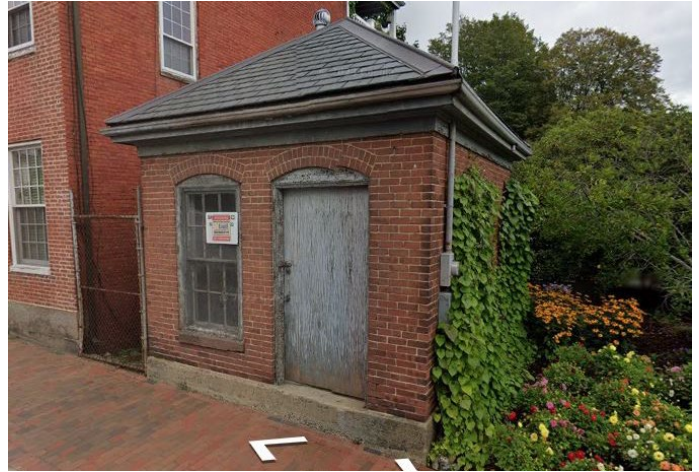


5.0

**Project Address:** 0 Marcy Street (Prescott Park)

**Permit Requested:** Certificate of Approval

**Application:** Public Hearing 3



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Municipal
- Land Use: Utility
- Land Area: 4,256 SF +/-
- Estimated Age of Structure: c.1820
- Building Style: Federal
- Number of Stories: 1
- Historical Significance: C
- Public View of Proposed Work: South Street
- Unique Features: N/A
- Neighborhood Association: South End

**B. Proposed Work:** Replace (3) windows and (2) doors.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replace windows and doors.

Item	Qty
200	3

RO Size: 36 1/2" x 66 1/2"

TCLDH3056, Unit, E-Series Dc  
Exterior Frame, White 2604 Ex  
Sash/Panel, Active/Active, Dua  
White, 2604, Pine w/White - Pa  
Stainless Glass / Grille Spacer,  
2604, Full, Aluminum

Insect Screen 1: E-Series Double

Unit #	U-Factor	SHGC	ENERGY STAR Clear C
A1	0.32	0.37	NO



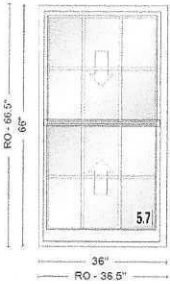
**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties





<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
200	3	Active/Active	E SERIES		

RO Size: 36 1/2" x 66 1/2"

Unit Size: 36" x 66"

TCLDH3056, Unit, E-Series Double-Hung, Equal Sash, 4 9/16" Frame Depth, Rigid Vinyl w/Integral Vinyl Drip Cap, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Active/Active, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 3 Wide, 2 High, Colonial Pattern, White, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/ Ovolo Interior Grille Bar, 5/8" Grille Bar, Ovolo Glass Stop Stainless Glass / Grille Spacer, 2 Sash Locks White, WhiteJamb Liner, Clad Exterior / Wood InteriorJamb Liner Inserts, White, 2604, Full, Aluminum

Insect Screen 1: E-Series Double-Hung, TCLDH3056 Full Aluminum White 2604

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.32	0.27	NO	A1	31.6875	26.7500	5.88640

**WINDOWS TO BE ORDERED WITH BLACK EXTERIOR, INTERIOR, AND HARDWARE**

SUB-TOTAL:	
FREIGHT:	
LABOR:	
TAX:	
<b>TOTAL:</b>	

CUSTOMER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

\* All graphics as viewed from the exterior. \*\* Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors

# Customer Quote

Quote: 0-  
 Date:   
 Page: 1

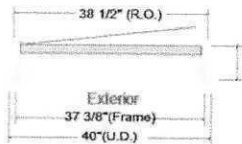
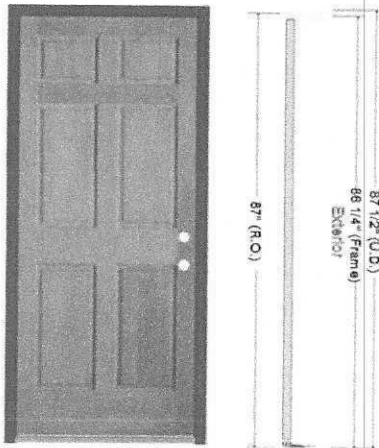
RICCI SUPPLY CO INC-BPD

105 BARTLETT ST

PORTSMOUTH NH 03801  
 (603)436-7480

Reference:

Quantity	UOM	Item/Description	Price/UOM	Amount
1.0000	EA	EXT SU EXTERIOR DOOR UNIT WOOD DOOR, SGL, LH, IS, 3-0, 7-0 HGT, MAH 7130U, SGL & 218 DBLT BORE & SEC, PREP JAMB FOR DBLT, BROSCO RADIUS HINGE, SATIN NICKEL HINGE, 6-9/16, MAHOGANY SOLID FRAME, BRONZE COMPRESSION WS, MAHOGANY SILL, MAHOGANY SOLID BRKMLD CSG		



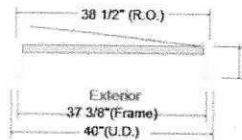
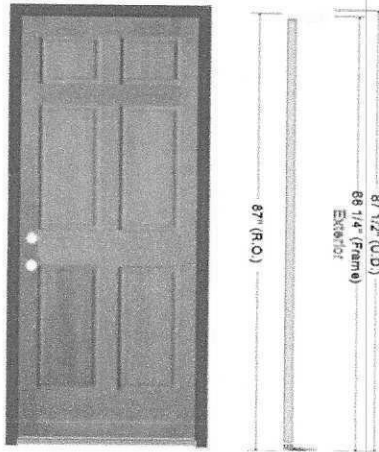
**Customer Quote**

Quote:  
 Date:  
 Page: 2

RICCI SUPPLY CO INC-BPD  
 105 BARTLETT ST  
 PORTSMOUTH NH 03801  
 (603)436-7480

**Reference:**

Quantity	UOM	Item/Description	Price/UOM	Amount
1.0000	EA	EXT SU EXTERIOR DOOR UNIT WOOD DOOR, SGL, RH, IS, 3-0, 7-0 HGT, MAH 7130U, SGL & 218 DBLT BORE & SEC, PREP JAMB FOR DBLT, BROSCO RADIUS HINGE, SATIN NICKEL HINGE, 6-9/16, MAHOGANY SOLID FRAME, BRONZE COMPRESSION WS, MAHOGANY SILL, MAHOGANY SOLID BRKMLD CSG		



**Total**

**Project Address:** 67 State Street  
**Permit Requested:** Certificate of Approval  
**Application:** Public Hearing 4



**A. Property Information - General:**

**Existing Conditions:**

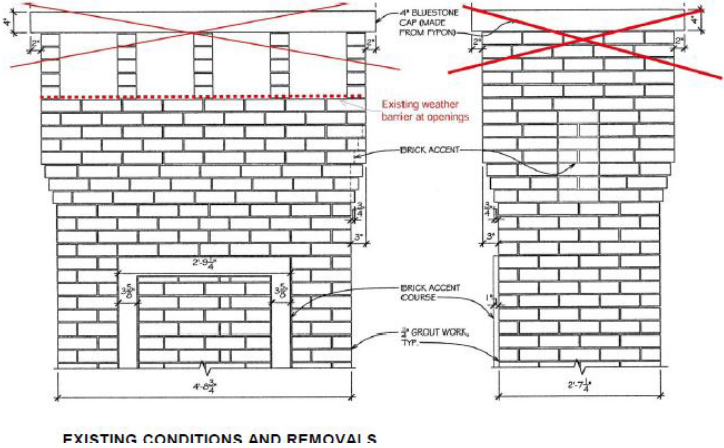
- Zoning District: General Residence B (GRB)
- Land Use: Mixed Use
- Land Area: 0 SF +/-
- Estimated Age of Structure: c.2015
- Building Style: N/A
- Number of Stories: 4
- Historical Significance: N/A
- Public View of Proposed Work: State Street
- Unique Features: N/A
- Neighborhood Association: Downtown

**B. Proposed Work:** Partial removal of an existing chimney and the installation of a chimney cap.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Partial removal of an existing chimney
- Installation of chimney cap



**HISTORIC  
SURVEY  
RATING  
N/A**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

# PARKSIDE CHIMNEY RENOVATION

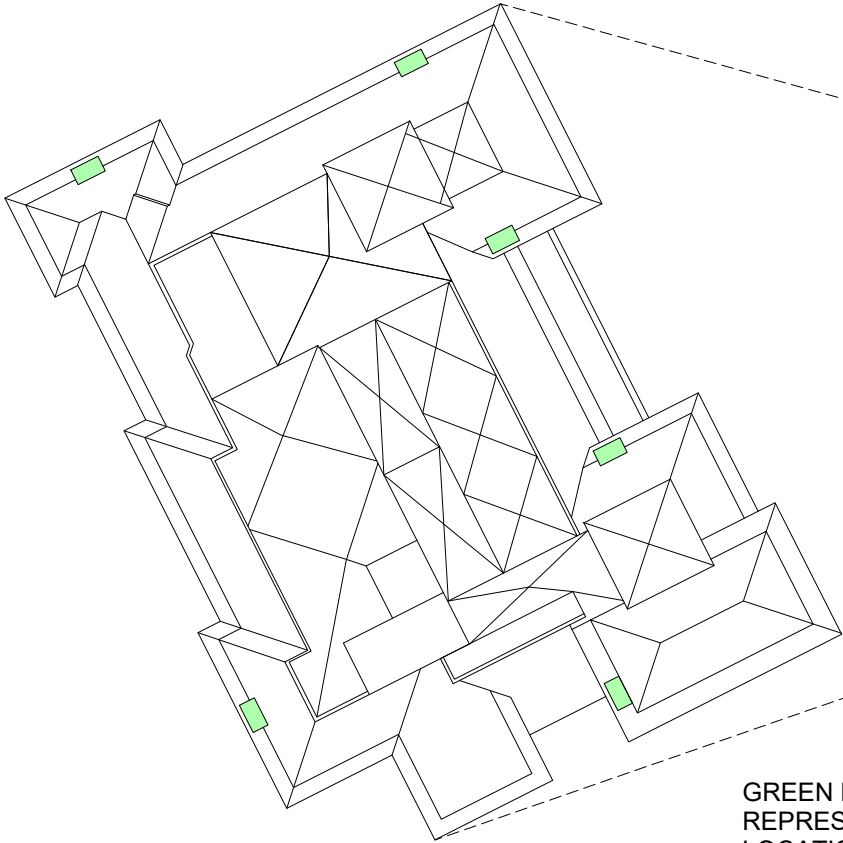
Historic District Commission Public Hearing - October, 2024 Portsmouth, New Hampshire

General Project Description:

- 77 State Street is a mixed use building made up of first floor commercial and condos above. The building is currently experiencing water infiltration from faux chimney roof penetrations and subsequently, water damage has occurred to multiple of the interior spaces. The base of the chimneys are framed with metal studs with full size brick veneer. The masonry appears to transition to a thin veneer above but existing architectural drawings do not indicate what material is applied to the upper portion of the chimneys.

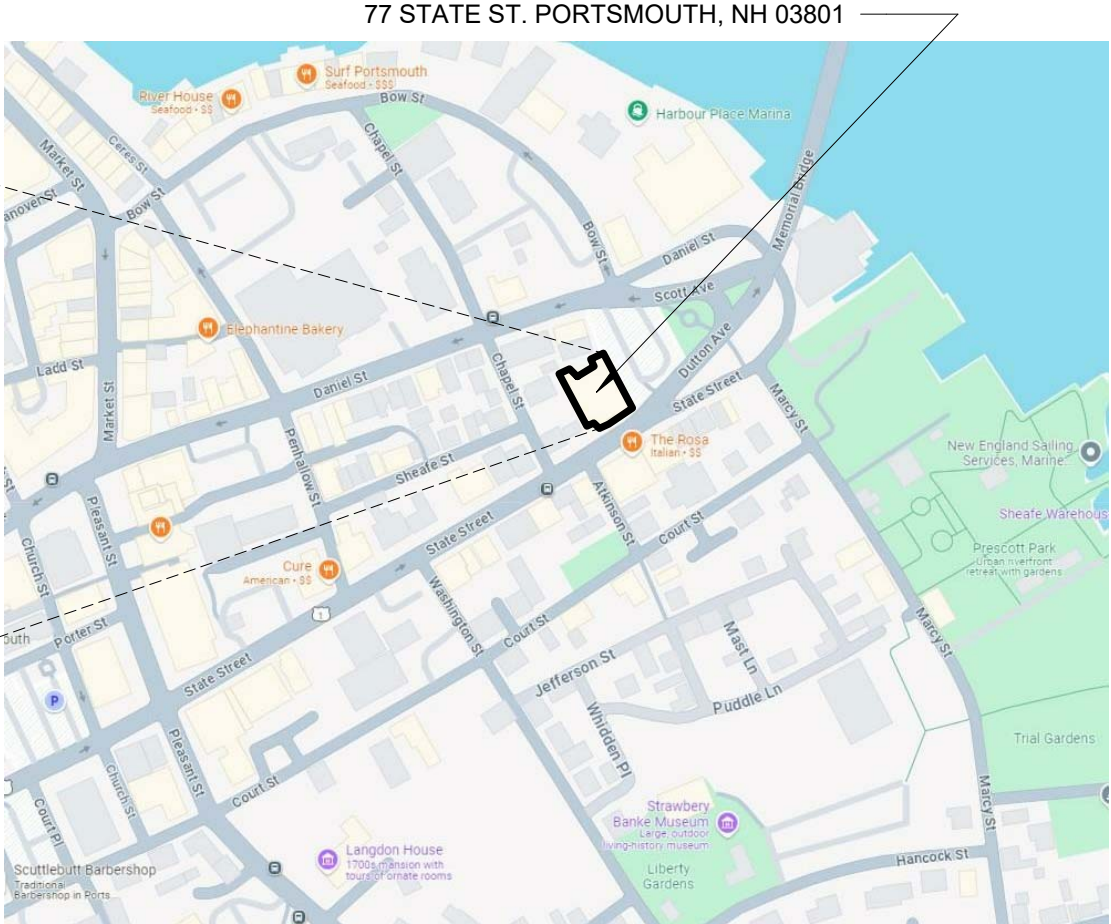
Proposed Work:

- After exposing the area and being able to better understand the condition of the chimneys, it is thought that the top portion of the chimney (openings) be removed to just above the brick accent, preserving the detail while also closing up the (likley) main source of water penetrating the building.
- A concave roof chimney cap/shroud would then be placed atop the remaining portions of the chimneys to add back appropriate detail that is otherwise lost with the removal of the existing chimney cap. The new cap will be made of copper, with a solid bottom, providing a more durable and substantial cap.
- Proper flashing and waterproofing will be applied to ensure that no further water damage occurs.



**ROOF PLAN**  
1" = 30'-0"

GREEN REGIONS REPRESENT CHIMNEY LOCATION



77 STATE ST. PORTSMOUTH, NH 03801

© 2024 Portsmouth Architects

**PARKSIDE CHIMNEY**  
77 STATE STREET  
PORTSMOUTH, NH 03801

**COVER**  
HISTORIC DISTRICT COMMISSION PUBLIC HEARING -  
OCTOBER 2024

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274  
brought to you by  
McHENRY ARCHITECTURE



C

09/24/2024  
McHA: EKW/MG  
Project Number: 24091  
**NOT TO SCALE**



FROM STATE STREET LOOKING NORTH



FROM CHAPEL STREET LOOKING NORTH-EAST



FROM CHAPEL STREET LOOKING EAST



FROM DANIEL STREET LOOKING SOUTH



FROM WRIGHT AVE. PARKING LOT LOOKING SOUTH



FROM WRIGHT AVE. PARKING LOT LOOKING WEST



FROM WRIGHT AVE. PARKING LOT LOOKING SOUTH

© 2024 Portsmouth Architects

# PARKSIDE CHIMNEY

77 STATE STREET  
PORTSMOUTH, NH 03801

# EXISTING CONDITIONS

HISTORIC DISTRICT COMMISSION PUBLIC HEARING -  
OCTOBER 2024

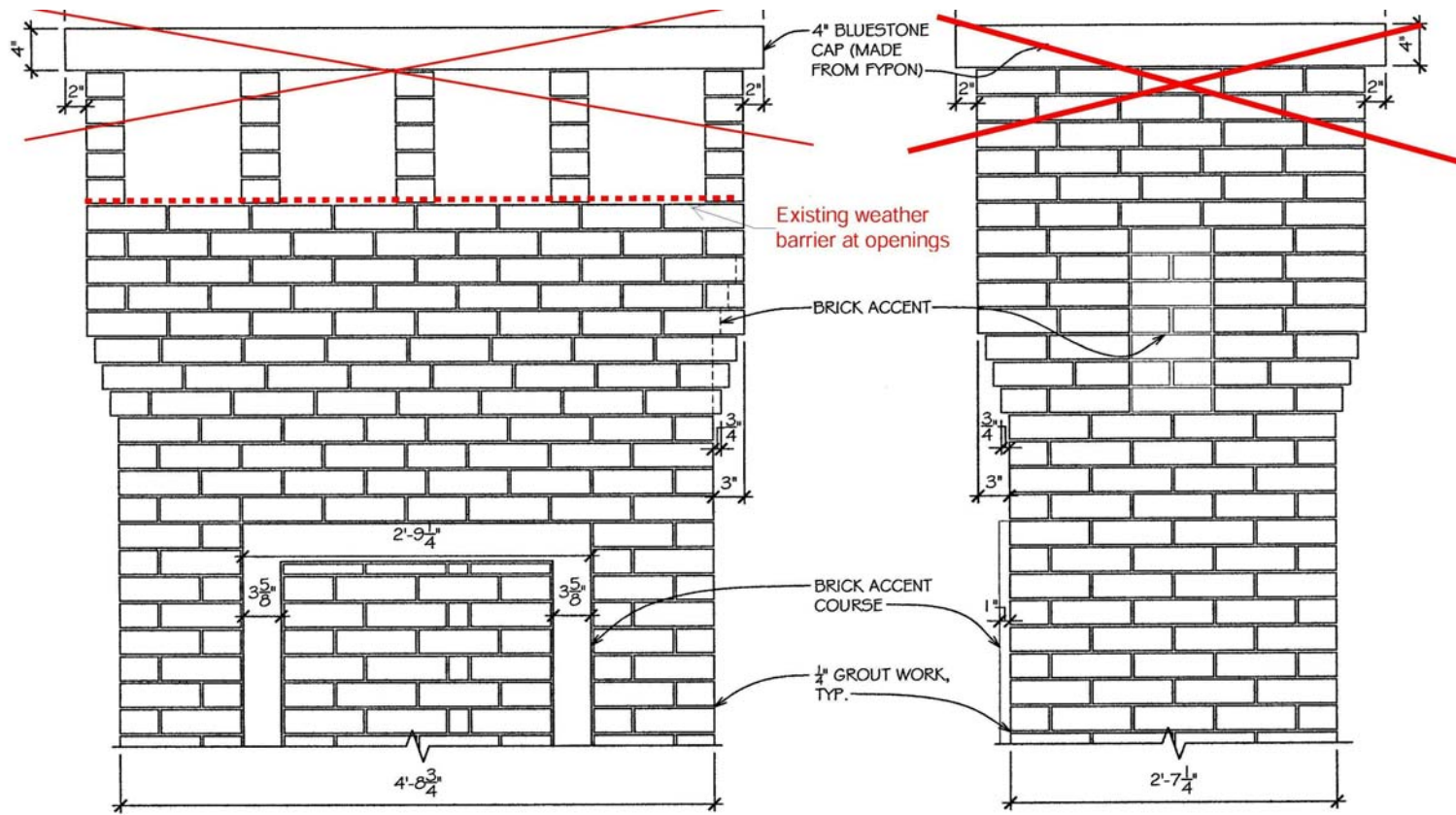
4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

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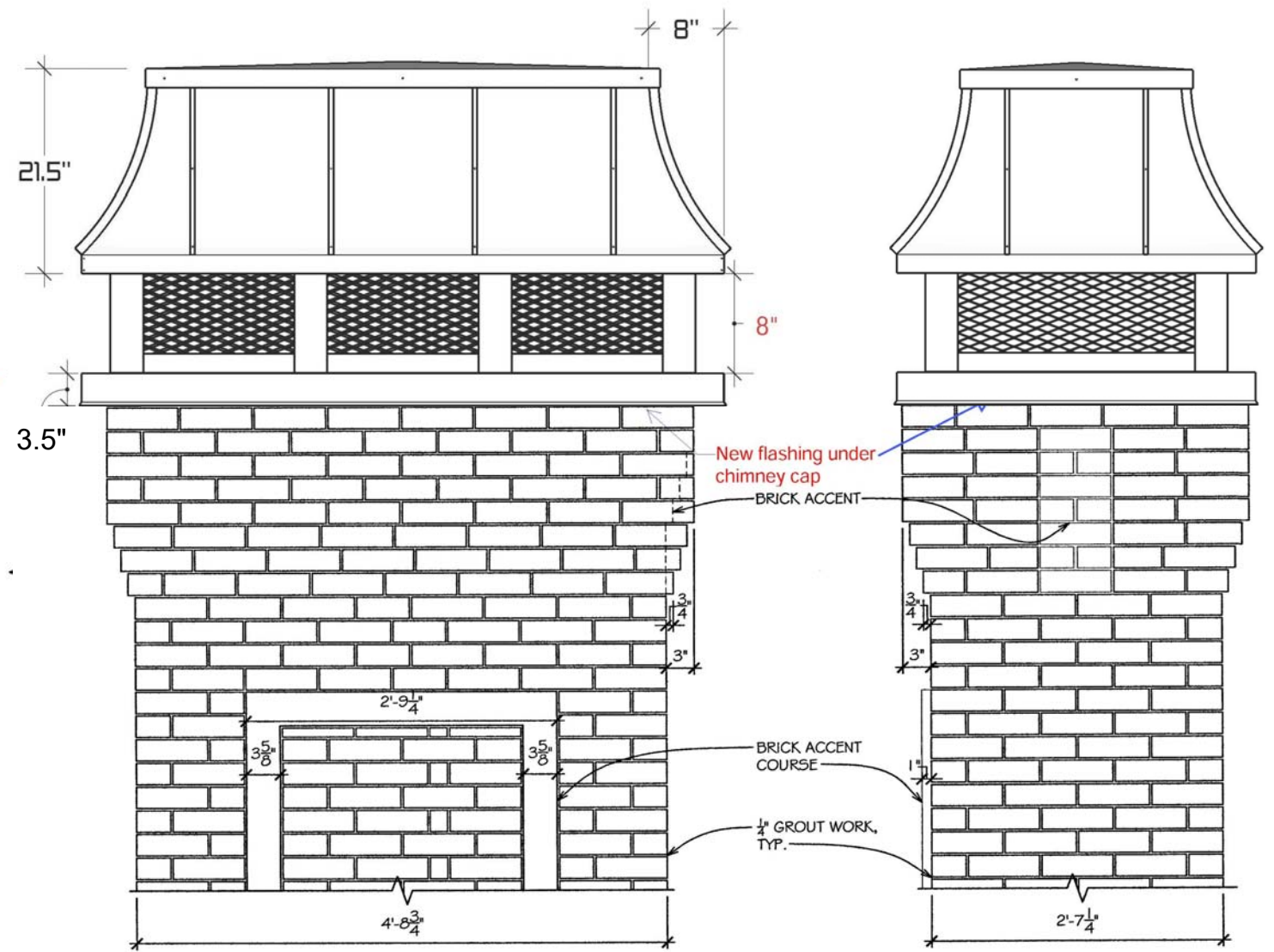


## A1

09/24/2024
McHA: EKW/MG
Project Number: 24091
<b>NOT TO SCALE</b>



**EXISTING CONDITIONS AND REMOVALS**



**PROPOSED WORK**

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**PARKSIDE CHIMNEY**  
77 STATE STREET  
PORTSMOUTH, NH 03801

**PROPOSED WORK**  
HISTORIC DISTRICT COMMISSION PUBLIC HEARING -  
OCTOBER 2024

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Portsmouth, New Hampshire  
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**A2**

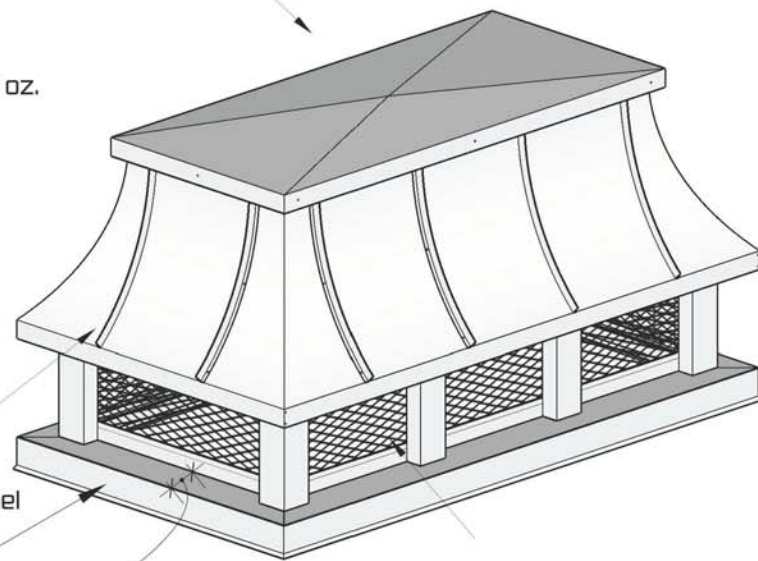
09/24/2024  
McHA: EKW/MG  
Project Number: 24091  
**NOT TO SCALE**



**Available Materials**

- Copper 16 oz., 20 oz. & 32 oz.
- Lead Coated Copper 16 oz. & 20 oz.
- Freedom Gray® 16 oz. & 20 oz.
- Stainless Steel 24 ga
- Galvalume Plus 24 ga
- Kynar™ Aluminum 0.032"
- Kynar™ Steel 24 ga

Removable Roof Top For Future Maintenance or Cleaning

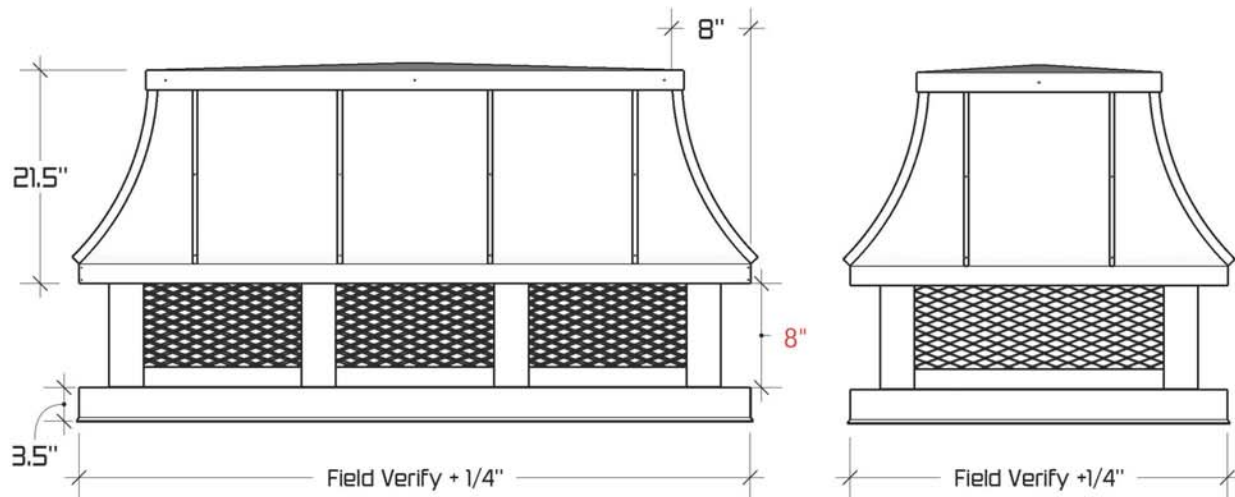


Decorative seams riveted to solid panel

Also available as top mount

5"

Expanded metal screen



- Notes:
- Please double check all measurements before submitting them to us.
  - If your Chimney is out of square, submit a sketch or a template for fabrication.
  - All chase covers and chimney caps are custom manufactured and CANNOT BE RETURNED.



PROPOSED COPPER CHIMNEY CAP

**KMS** SHEET METAL  
1310 E. Cornwallis Rd.  
Durham, NC - 27713  
(919) 544-8887 - Fax: 544-8898  
info@kmsheetmetal.com - www.kmsheetmetal.com

Concave Roof Chimney Cap  
#CC101

REVISIONS	
MM/DD/YY	REMARKS
1	ORIGINAL DRAFT OF DRAWING
2	
3	
4	
5	

100  
0

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**PARKSIDE CHIMNEY**  
77 STATE STREET  
PORTSMOUTH, NH 03801

**PROPOSED CHIMNEY CAP**  
HISTORIC DISTRICT COMMISSION PUBLIC HEARING -  
OCTOBER 2024

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Portsmouth, New Hampshire  
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A3

09/24/2024  
McHA: EKW/MG  
Project Number: 24091  
NOT TO SCALE

# PARKSIDE CHIMNEY RENOVATION

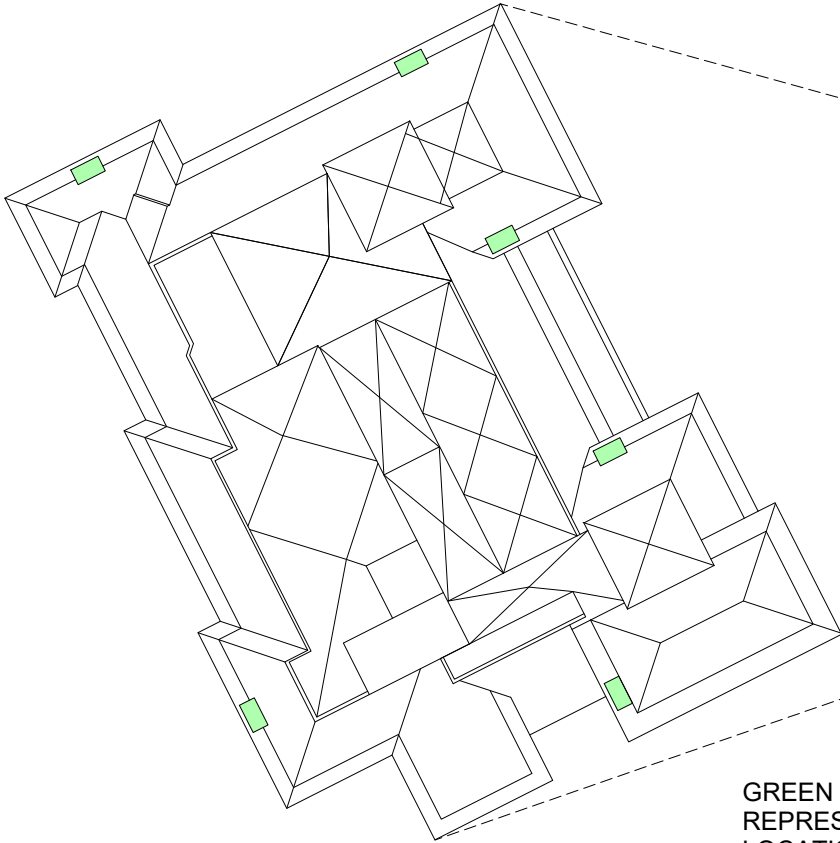
Historic District Commission Public Hearing - October, 2024 Portsmouth, New Hampshire

General Project Description:

- 77 State Street is a mixed use building made up of first floor commercial and condos above. The building is currently experiencing water infiltration from faux chimney roof penetrations and subsequently, water damage has occurred to multiple of the interior spaces. The base of the chimneys are framed with metal studs with full size brick veneer. The masonry appears to transition to a thin veneer above but existing architectural drawings do not indicate what material is applied to the upper portion of the chimneys.

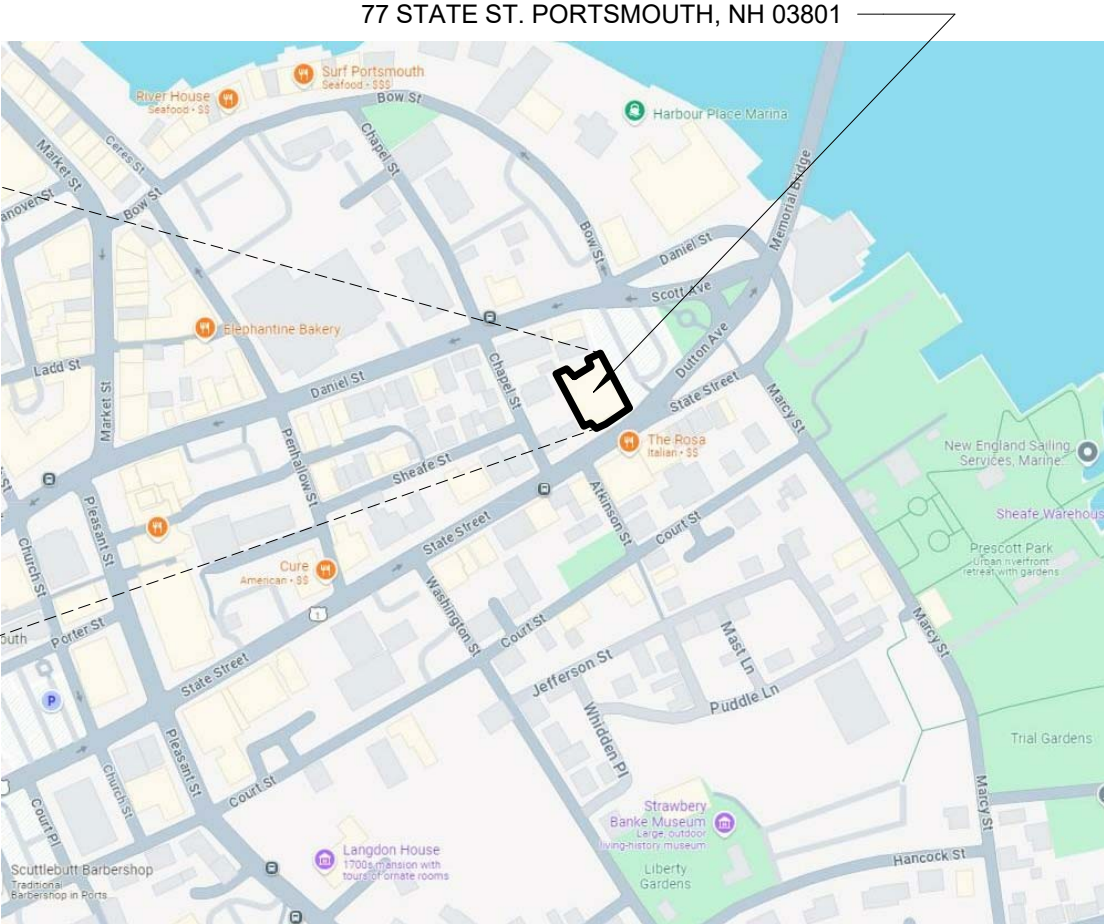
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- A concave roof chimney cap/shroud would then be placed atop the remaining portions of the chimneys to add back appropriate detail that is otherwise lost with the removal of the existing chimney cap. The new cap will be made of copper, with a solid bottom, providing a more durable and substantial cap.
- Proper flashing and waterproofing will be applied to ensure that no further water damage occurs.



**ROOF PLAN**  
1" = 30'-0"

GREEN REGIONS REPRESENT CHIMNEY LOCATION



77 STATE ST. PORTSMOUTH, NH 03801

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**PARKSIDE CHIMNEY**  
77 STATE STREET  
PORTSMOUTH, NH 03801

**COVER**  
HISTORIC DISTRICT COMMISSION PUBLIC HEARING -  
OCTOBER 2024

4 Market Street  
Portsmouth, New Hampshire  
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McHENRY ARCHITECTURE



**C**

09/24/2024  
McHA: EKW/MG  
Project Number: 24091  
**NOT TO SCALE**

**Project Address:** 245 Marcy Street  
**Permit Requested:** Certificate of Approval  
**Application:** Public Hearing 6



**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 4,623 SF +/-
- Estimated Age of Structure: c.1770
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Marcy Street
- Unique Features: N/A
- Neighborhood Association: South End

**B. Proposed Work:** Replace existing windows and doors

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Replace all windows and doors



**D. Purpose and Intent:**

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties

# HISTORICAL PROJECT – WINDOW REPLACEMENT

Home Owner – Bert Wortel

## 245 Marcy St

---



RENEWAL BY ANDERSEN – Portsmouth, NH

EXTERIOR – FRONT / SIDE



EXTERIOR – SIDE



EXTERIOR – SIDE/REAR



EXTERIOR – REAR



# WHY THEY NEED REPLACED

The homeowner is looking to update and replace (29) windows, (2) entry doors and (1) patio door.

The homeowner is looking to replace the windows with Andersen wood composite – Exterior White, Interior White, the front door with signet smooth fiberglass and the rear entry door with Heritage smooth fiberglass .

The homeowner would like to update the windows and doors to modern standards, the ease of operation and increase the windows and doors energy efficiency while maintaining the traditional look of the home.

Our goal is to keep to the original look of the windows and doors while updating the design so that the homeowners can use this room with more comfort and ease.



**#101, #102, #114, #113, # 201, #202, #203, Double-Hung (DG), 1:1,**  
Exterior White, Glass: All Sash: High Performance SmartSun with  
HeatLock Glass, White, Window, Opening Control Device, **Grille Style:**  
Full  
Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 2w x 2h



## EXTERIOR – SIDE



**#301** Double-Hung (DG), Reverse Cottage 2:1, Exterior White  
**#210, #211, #110, #111, #112** Double-Hung (DG), 1:1, Exterior White,  
Glass: All Sash: High Performance SmartSun with HeatLock Glass,  
White, Window, Opening Control Device, **Grille Style:** Full  
Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 2w x 2h

## EXTERIOR – SIDE



**#302** Double-Hung (DG), Reverse Cottage 2:1, Exterior White  
**#103, #104, #204, #207- #208**, Double-Hung (DG), 1:1, Exterior White,  
Glass: All Sash: High Performance SmartSun with HeatLock Glass,  
White, Window, Opening Control Device, **Grille Style:** Full  
Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 2w x  
2hC

## EXTERIOR – REAR



**#206, #105 - #109** Double-Hung (DG), 1:1, Exterior White, Glass: All Sash: High Performance SmartSun with HeatLock Glass, White, Window, Opening Control Device, **Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 2w x 2h

## EXTERIOR – REAR



**#108, #109** Double-Hung (DG), 1:1, Exterior White, Glass: All Sash: High Performance SmartSun with HeatLock Glass, White, Window, Opening Control Device, **Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 2w x 2h

## Our Product – [Fibrex Material](#)



Click on “Fibrex Material” to watch How Fibrex is Made

## Fibrex 20 Year [Durability Study](#)

Click on “Durability Study” to watch 20 Year Durability Test

# What are Renewal by Andersen® windows made of?

All of our windows are made of Fibrex® material, a revolutionary composite made from reclaimed wood fiber blended with a polymer. This gives our windows the strength and durability of wood and the low-maintenance features of vinyl, while greatly limiting thermal transmittance that can be found in other window materials such as metal.

**Unlike many other window materials, Fibrex composite material won't flake, rust, blister, peel, crack, pit, or corrode.<sup>1</sup> It is also two times stronger than vinyl and resists warping and bowing. Never worry about scraping or painting your windows again.**

ENGINEERED WITH  
**FIBREX**  
MATERIAL

ANDERSEN  
EXCLUSIVE  
FEATURE

### Smart Materials

Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight.

### Color Choice

Our unique process fuses color to Fibrex material for long-lasting beauty. And it offers dark exterior colors not available on most other replacement windows.

### Exceptional Comfort

Fibrex material blocks thermal transfer nearly 700 times better than aluminum to help reduce heating and cooling bills.

### Outstanding Durability

Fibrex material retains its stability and rigidity in all climates.<sup>1</sup>

	FIBREX MATERIAL	VINYL	ALUMINUM	WOOD
Insulating Properties	✓	✓		✓
Low Maintenance	✓	✓	✓	
Resistance to Decay/Corrosion	✓	✓		
Structural Rigidity	✓		✓	✓
Durability	✓		✓	✓
Color Choices	✓			✓
Dark Color Performance	✓		✓	✓



## Replace Old Expectations

We believe your Renewal by Andersen® experience is about more than just windows. It's about caring for you and your home, every step of the way.

We own our entire process, from start to finish. What does that mean for you? It means we listen. It means we measure, we build, and we install. And it means we promise to stand by our product, today, tomorrow, and years into the future.

## A Heritage That Looks to the Future

For more than a century, Andersen® products and patents have revolutionized the window and door industry. We pair that legacy of quality and innovation with a skilled team of specialists who are dedicated to making sure your window replacement is the best home improvement project you've ever done.

## From Our Family to Yours

Your home is unique. It shouldn't be treated like every other house on the block. This is the place where you and your family are making memories and celebrating moments, both big and small. We want to make sure your new windows suit your home life.

You only want to replace your windows one time, so who you choose to do your project is important. When you work with Renewal by Andersen, you know you'll get an exclusive product that is durable, customizable, and beautiful. And you know we'll take care of you – and your home – from start to finish, and beyond.

*the best* **PEOPLE**

*a superior* **PROCESS**

*an exclusive* **PRODUCT**

From consultation to installation, Renewal by Andersen offers one-company accountability backed by a legacy of excellence. We're proud to work with the best people, offer a superior, start-to-finish replacement process, and provide you with exclusive, industry-leading products. **THAT'S RENEWAL BY ANDERSEN SIGNATURE SERVICE.**



**Preserving the historic architecture visually!**



## PERFORMANCE RATINGS AND TEST DATA

### NFRC Total Unit Performance (continued)

Renewal by Andersen® Product	High Performance Glass Type		U-Factor (BTU/(hr ft2 oF)) <sup>1</sup>		Solar Heat Gain Coefficient (SHGC) <sup>2</sup>		VT <sup>3</sup>
			Air	HP Gas Blend	Air	HP Gas Blend	
Double-Hung DG (All Frames)	Clear	Without Grilles	0.46	-	0.58	-	.82
		Full Divided Light Grilles	0.46	-	0.52	-	
	Low-E4®	Without Grilles	0.33	0.30	0.31	0.31	.72
		Full Divided Light Grilles	0.34	0.31	0.28	0.28	
	Low-E4® Sun	Without Grilles	0.33	0.30	0.20	0.19	.40
		Full Divided Light Grilles	0.35	0.31	0.18	0.17	
	Low-E4® SmartSun™	Without Grilles	0.32	0.29	0.21	0.21	.65
		Full Divided Light Grilles	0.34	0.30	0.19	0.19	
	Low-E4® SmartSun with HeatLock™	Without Grilles	0.27	0.25	0.20	0.20	.63
		Full Divided Light Grilles	0.30	0.27	0.18	0.18	
	Enhanced Triple Pane	Without Grilles	n/a	0.20	n/a	0.29	.47
	Enhanced Triple pane with SmartSun™	Without Grilles	n/a	0.20	n/a	0.19	.43
	Impact Resistant Clear Glass	Without Grilles	0.48	n/a	0.49	n/a	.54
		Full Divided Light Grilles	0.48	n/a	0.49	n/a	
	High Performance Impact Resistant (HPIR) Glass	Without Grilles	0.32	0.28	0.28	0.28	.47
		Full Divided Light Grilles	0.33	0.28	0.28	0.28	
	HPIR SmartSun™ Glass	Without Grilles	0.31	0.32	0.19	0.19	.42
		Full Divided Light Grilles	0.37	0.32	0.19	0.19	
HPIR Sun Glass	Without Grilles	0.37	0.32	0.18	0.18	.26	
	Full Divided Light Grilles	0.37	0.33	0.18	0.18		
HPIR SmartSun with Heatlock™ Glass	Without Grilles	0.31	0.28	0.18	0.18	.41	
	Full Divided Light Grilles	0.31	0.28	0.18	0.18		
Double-Hung DB (Full Frame)	Clear	Without Grilles	0.46	0.44	0.57	0.57	.82
		Full Divided Light Grilles	0.46	0.44	0.51	0.51	
	Low-E4®	Without Grilles	0.33	0.30	0.31	0.31	.72
		Full Divided Light Grilles	0.34	0.31	0.28	0.28	
	Low-E4® Sun	Without Grilles	0.33	0.30	0.19	0.19	.40
		Full Divided Light Grilles	0.35	0.31	0.18	0.17	
	Low-E4® SmartSun™	Without Grilles	0.33	0.29	0.21	0.21	.65
		Full Divided Light Grilles	0.34	0.30	0.19	0.19	
	Low-E4® SmartSun with HeatLock™	Without Grilles	0.28	0.25	0.20	0.20	.63
		Full Divided Light Grilles	0.28	0.25	0.18	0.18	
	Enhanced Triple Pane	Without Grilles	n/a	n/a	n/a	n/a	n/a
	Enhanced Triple pane with SmartSun™	Without Grilles	n/a	n/a	n/a	n/a	n/a

Low-E4® SmartSun™, "Low-E4® Sun", "Low-E4® Sun" and HeatLock™ are Andersen trademarks for "Low-E" glass.

1) U-Factor defines the amount of heat loss through the total unit in BTU/hr/ft<sup>2</sup> °F. The lower the value, the less heat is lost through the entire product. Window values represent non-tempered glass. Use of tempered glass can increase U-Factor ratings. See [andersenwindows.com/nfrc](https://www.andersenwindows.com/nfrc) for specific performance values.

2) Solar Heat Gain Coefficient (SHGC) defines the fraction of solar radiation admitted through the glass both directly transmitted and absorbed and subsequently released inward. The lower the value, the less heat is transmitted through the product.

3) Visible Transmittance (VT) measures how much light comes through a product (glass and frame). The higher the value, from 0 to 1, the more daylight the product lets in over the product's total unit area. Visible Light Transmittance is measured over the 380 to 760 nanometer portion of the solar spectrum.

\* NFRC ratings are based on modeling by a third-party agency as validated by an independent test lab in compliance with NFRC program and procedural requirements.

\* This data is accurate as of April 2021. Due to ongoing product changes, updated test results, or new industry standards or requirements, this data may change over time. Ratings are for sizes specified by NFRC for testing and certification. Ratings may vary depending on use of tempered glass, different grille options, glass with capillary breather tubes for high altitudes, etc. "Low-E4®", "Low-E4® SmartSun™" and "Low-E4® Sun"

# FRONT ENTRY DOOR



## YOUR PROFESSIONAL-CLASS PRODUCT

Signet Smooth Fiberglass Entry Door with Clear Glass



877.389.0835  
2150 State Route 39  
Sugarcreek, OH 44681



OUTSIDE VIEW



INSIDE VIEW

### QUOTE INFORMATION

Job: Wortel/245 Marcy Street

Tag: 100 Front Entry

Qty: 1

### DETAILS

#### Signet Single Entry Door in FrameSaver Frame

36" x 80" Nominal Size

Unit Size: 37 9/16" x 81 11/16"

Frame Depth: 4 9/16"

No Brickmold

Right Hand Inswing - Inside Looking Out

420 Style Signet Smooth Fiberglass Door

ComforTech DLA

Colonial SDL Grid - 2f x 0H

Snow Mist White Inside / Mountain Berry Red Outside SDL Grids (Shadow Grids Between the Glass)

Snow Mist White Inside / Mountain Berry Red Outside

#### Hardware

All Hardware in Antique Brass Finish

Camelot Grip Entrance Handle Outside

Accent Handle Inside

Thumbturn Deadbolt

Mail Slot (3" x 10")

#### Frame

TUFTEX Smooth Snow Mist White Aluminum Frame Cladding - In Separate

Box

Snow Mist White Inside Frame

Bronze ZAC Auto-Adjusting Threshold (5 5/8" Depth)

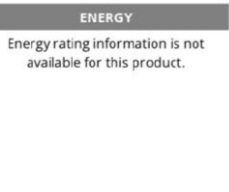
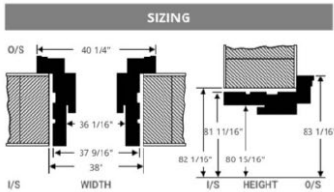
Zinc Chromate Ball Bearing Hinges (Complements Bright and Antique Brass)

Security Plate

Sell Price: \$12,827.00

### INFORMATION AND WARNINGS

A 2 3/8" backset option is available and would be closer to the centerline of the strike rail. If preferred, on the hardware tab select "Show Advanced Options" then change the backset to 2 3/8".



DocuSigned by:


9999995E6B0240B

Saturday, June 08, 2024 | Product availability may vary based on size, design constraints, and building codes for your area. Due to variances in color and manufacturing process, images shown may vary from final product. | Trobidox PPM:16647  
Pricing effective 12/12/22

DocuSigned by:


DE9280BA23184DC

# REAR ENTRY DOOR





**YOUR PROFESSIONAL-CLASS PRODUCT**

Heritage Smooth Fiberglass Entry Door with Clear Glass



2150 State Route 39  
Sugar Creek, OH 44681

**QUOTE INFORMATION**

Job: Wortel/245 Marcy Street  
Tag: 109.5 Rear Entry  
Qty: 1

**DETAILS**

**Heritage Single Entry Door in FrameSaver Frame**  
 30" Nominal Width  
 78" Custom Unit Height  
 Unit Size: 31 9/16" x 78"  
 Frame Depth: 4 9/16"  
 No Brickmold  
 With Storm Door - Sized to Fit on Brickmold  
 Right Hand Inswing - Inside Looking Out

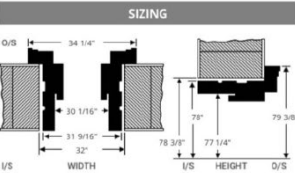
**Entry Door**  
 460 Style Heritage Smooth Fiberglass Door  
 Comfortech DLA  
 Snow Mist White Inside / Mountain Berry Red Outside

**Hardware**  
 All Hardware in Antique Brass Finish  
 Accent Lockset (2 3/8" Backset)  
 Thumbturn Deadbolt (2 3/8" Backset)

**Frame**  
 TUFTEX Smooth Snow Mist White Aluminum Frame  
 Cladding - In Separate Box  
 Snow Mist White Inside Frame  
 Bronze ZAC Auto-Adjusting Threshold (6 3/8" Depth)  
 Zinc Chromate Ball Bearing Hinges (Complements Bright and Antique Brass)  
 Security Plate

**Sell Price: \$12,116.00**


**SIZING**



**HANDING**

OUTSIDE  
INSIDE

Installation Instructions



DocuSigned by:  
Dess Wortel  
DE92908A23184DC

**ENERGY**

ENERGY PERFORMANCE RATINGS	
U-Factor (U50-F)	Solar Heat Gain Coefficient
0.22	0.13

**ADDITIONAL PERFORMANCE RATINGS**

ADDITIONAL PERFORMANCE RATINGS	
Visible Transmittance	Air Infiltration (cfm/ft2)
0.23	<= 0.03

ENERGY STAR® Certified  
In All 50 States.

DocuSigned by:  
Dess Wortel  
DE92908A23184DC

989865E6B0240B  
Saturday, June 08, 2024 | Product availability may vary based on size, design constraints, and building code in your area. Due to variances in color and manufacturing process, images shown may vary from final product. | Trobidoux PPM:18647  
Pricing effective 12/12/22

# REAR ENTRY STORM DOOR



**YOUR PROFESSIONAL-CLASS PRODUCT**

Deluxe Series Storm Door - Model 397 Full View



877.389.0835  
2150 State Route 39  
Sugar Creek, OH 44681




**QUOTE INFORMATION**

Job: Wortel/245 Marcy Street  
Qty: 1

**DETAILS**

Deluxe 397 Full View  
 Custom Opening Size: 30" x 76 5/16"  
 Mountain Berry Red  
 Standard Z-Bar  
 Pre-Hung  
 Color Matched Leaf Hinge  
 Hinge on Right (Viewed from Outside)  
 1" Color Matched Bottom Expander  
 Antique Brass Cambridge Single-Point Mortise Handleset (DH638-11) LockB (DH350-11)  
 Assign a Random Key Number  
 Handleset Prep at Standard Location (39") on Left (Viewed from Outside)  
 Color Matched Heavy Duty Closer (DH219-20)  
 Standard Sash  
 Clear Glass  
 Full Screen with BetterVue Screen Mesh  
 With Screen Stabilizer Bar

**Total: \$24,943.00**

**INFORMATION AND WARNINGS**

Special consideration must be given to storm doors installed on entry doors with no brickmold. If you are using your own brickmold, ProVia cannot verify the depth to check for handle interference. If you are installing the storm door in the entry door jamb opening, be sure to select that option. If 'No Brickmold' is included with entry door and storm door is sized to fit on the brickmold, please acknowledge that brickmold will be supplied in the field.

**SIZING**

Custom Opening Size: 30" x 76 5/16"  
 Minimum Opening Size: 29 3/4" x 76 1/16"  
 Maximum Opening Size: 30 1/8" x 76 15/16"  
 Unit Size (Inside Z-Bar): 29 16/32" x 76"  
 Tip-to-Tip (Outside Z-Bar): 31 3/4" x 77 1/8"  
 Leaf Hinge Locations: 7 1/4", 27 1/8", 47 1/16", 67"  
 Slab Size: 29 1/8" x 75 3/8"

**HANDING**

Hinge on the Right  
Outside Looking In

Installation Instructions



**ENERGY**

ENERGY PERFORMANCE RATINGS	
U-Factor (U50-F)	Solar Heat Gain Coefficient
1.04	0.86

**ADDITIONAL PERFORMANCE RATINGS**

ADDITIONAL PERFORMANCE RATINGS	
Visible Transmittance	Total L <sub>v</sub>
0.90	0.73

DocuSigned by:  
Dess Wortel  
DE92908A23184DC

989865E6B0240B



**Project Address:** 21 Congress Street

**Permit Requested:** Work Session

**Application:** Work Session A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: Character District 5 & Downtown Overlay
- Land Use: Commercial
- Land Area: 24,300 SF +/-
- Estimated Age of Structure: c.1950 (Congress St. façade)
- Building Style: Modern
- Number of Stories: 2
- Historical Significance: NC
- Public View of Proposed Work: Congress Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown

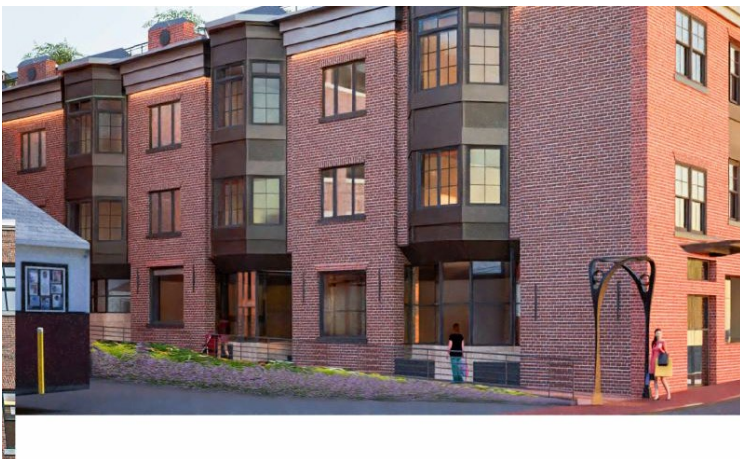


**B. Proposed Work:** Renovations and new construction to the existing structure.

**C. Staff Comments and/ or Suggestions for Consideration:**

The project proposal includes the following:

- Renovations to the Fleet Street and Congress Street facades.
- New construction to the Haven Court façade (create new storefronts)
- Add additional penthouse level.



**HISTORIC  
SURVEY  
RATING  
NC**

**D. Purpose and Intent:**

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

**E. Review Criteria/Findings of Fact:**

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

DRAWING INDEX

- HN0.01 - COVER
- HN1.01 - SITE SURVEY, EXISTING
- HN1.02 - SITE PLAN, PROPOSED
- HN1.03 - LANDSCAPE PLAN
- HN1.04 - LANDSCAPE ARTWORK
- HN1.05 - ROOF PLAN
- HN2.01 - N/E ELEVATIONS - HAVEN COURT
- HN2.02 - WEST ELEVATION, FLEET STREET
- HN2.03 - S/E ELEVATIONS, SOUTH ALLEY
- HN2.04 - EAST ELEVATIONS - CONGRESS ST
- HN2.01 - ENLARGED NORTH ELEVATION - HAVEN COURT
- HN3.01 - AXONOMETRIC BIRDSEYE
- HN3.02 - PERSPECTIVE NW FLEET STREET
- HN3.03 - PERSPECTIVE NE HAVEN COURT
- HN3.04 - PERSPECTIVE SOUTH ALLEY
- HN3.05 - PERSPECTIVE SOUTH ENTRY
- HN3.06 - PERSPECTIVE, NORTH ENTRY
- HN3.07 - PERSPECTIVE SOUTH, CONGRESS STREET

PROJECT NARRATIVE

The Applicant, One Market Square, LLC, intends to merge and combine Map 0117 Lot 14 (with an address of 1 Congress Street and 15 High Street) with Map 0117 Lot 12 (with an address of 15 Congress Street).

Map 0117 Lot 14 is owned by One Market Square, LLC. Map 0117 Lot 12 is owned by Wenberry Associates, LLC., and the Applicant has a certain binding Purchase and Sale Agreement with Wenberry Associates, LLC.

This application includes newly proposed changes to 15 Congress Street (Map 0117 Lot 12), and to 1 Congress Street (Map 0117 Lot 14) which was previously approved by HDC, and as modified by this application.

**SITE**

Significant improvements are proposed for Haven Court (private way owned by One Market Square, LLC) including utilities, hardscape pavers, cantenary lights, trash and recycling and landscaping. The design intent is to connect High Street with Fleet Street for the benefit of the public and to provide retail continuity, which is vital for retail success. The proposed Haven Court connection is supported by the Master Plan as part of an overall connection running from McIntyre to Vaughan Mall.

The existing grade on Haven Court will be changed to provide for a handicap accessible connection between High Street and Fleet Street.

**BUILDING**

Scope of work includes rehabilitation and adaptive reuse of existing structures, with minor accessory additions.

For the previously approved 1 Congress Street (Map 0117 Lot 14), changes include revisions to the west facing mansard roof (change skylights to roof decks), and connection to abutting proposed building at 15 Congress Street.

For newly proposed changes to 15 Congress Street (Map 0117 Lot 12), the following is proposed:

-New projecting storefronts with recessed entrance stoops are proposed along the north elevation of the property to create a retail experience between High Street and Fleet Street. The upper floors and roof top will be residential use. The lower floor will remain retail and restaurant uses.

-An egress stair tower, accessible elevator, and main entrance for the upper floors of residential will be accessed from Haven Court.

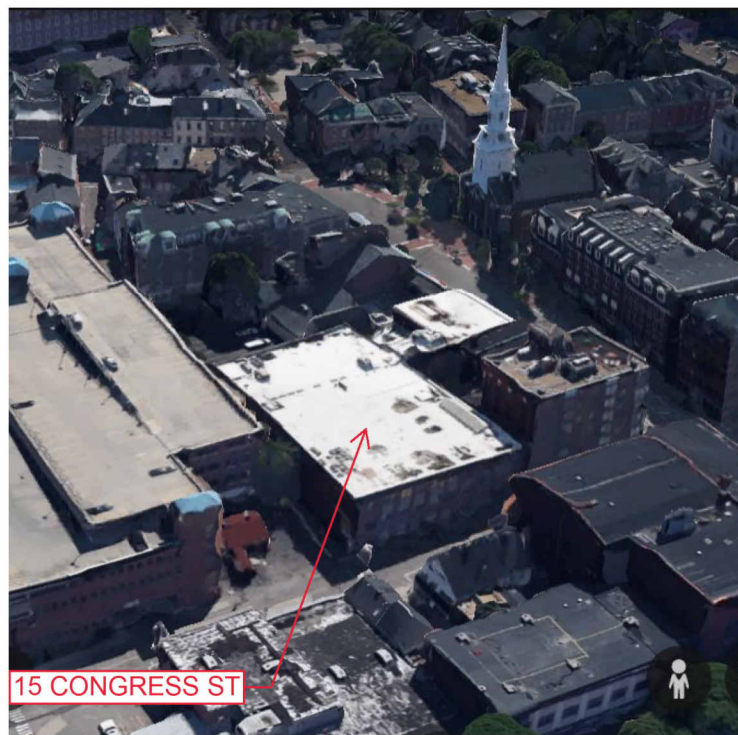
-A new rooftop penthouse, and secondary egress stair overrun are proposed at the existing roof. Existing flat roof will accommodate a roof deck with green roof elements for tenant use, solar PV panels, and mechanical equipment.

-The existing brick facade on Congress Street will be repaired and restored according to historic photographs. The existing brick facade on Fleet Street will be repaired, with new awning proposed at storefront windows and entrances.



# 1 CONGRESS STREET (MAP 0117 LOT 14) & 15 CONGRESS STREET (MAP 0117 LOT 12)

## RENOVATION & ADDITIONS 15 CONGRESS STREET ONE MARKET SQUARE, LLC HISTORIC DISTRICT COMMISSION WORK SESSION 2 OCTOBER 2024



**HN0.01** COVER  
15 CONGRESS STREET

**PLAN REFERENCES:**

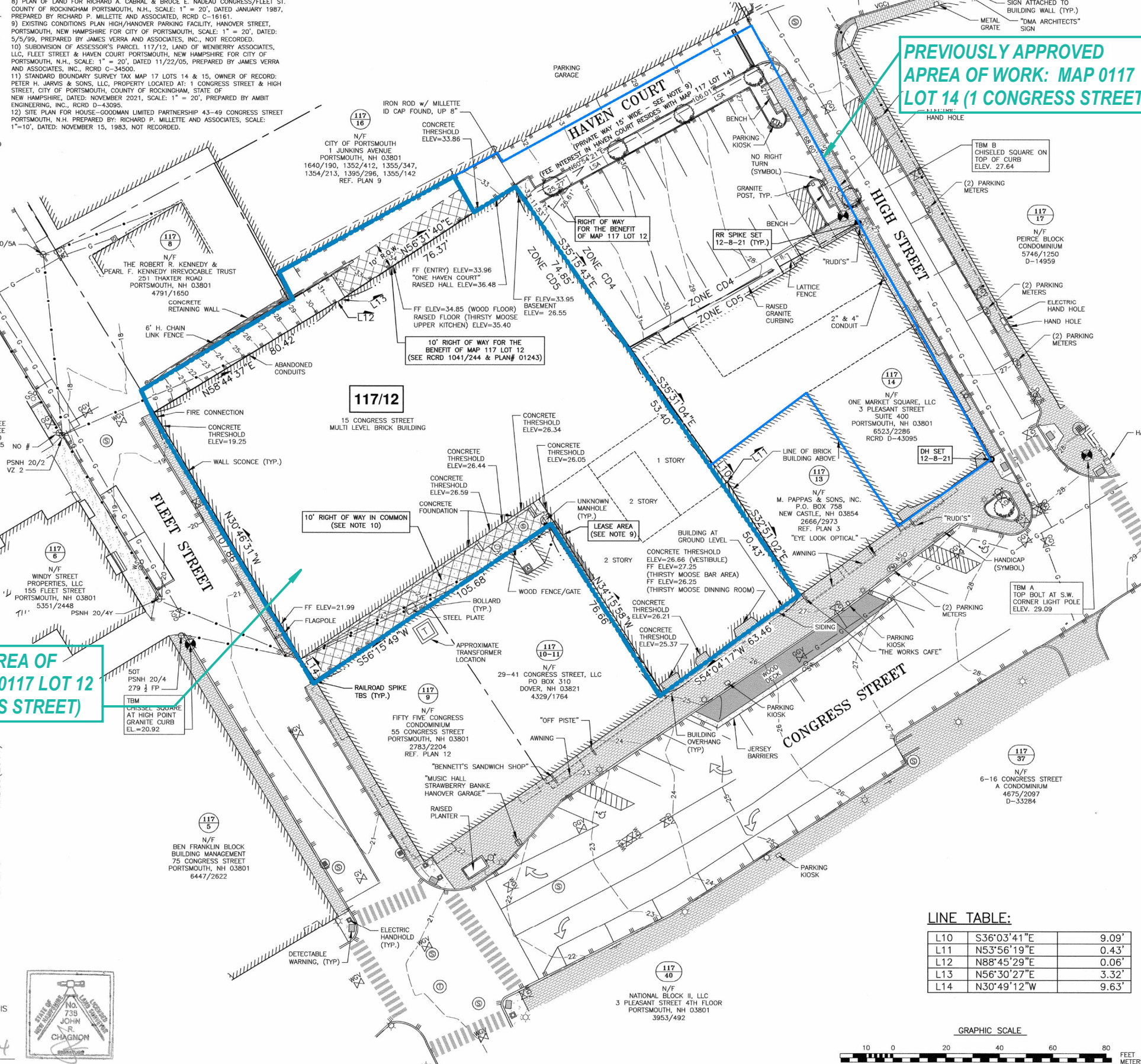
- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH, N.H., BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN. = 20 FT., DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1 IN. = 20 FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1 IN. = 20 FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1 IN. = 20 FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE: 1 IN. = 40 FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 02537.
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1 IN. = 10 FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161.
- 9) EXISTING CONDITIONS PLAN HIGH/HANOVER PARKING FACILITY, HANOVER STREET, PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, SCALE: 1" = 20', DATED: 5/5/99, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., NOT RECORDED.
- 10) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.
- 11) STANDARD BOUNDARY SURVEY TAX MAP 17 LOTS 14 & 15, OWNER OF RECORD: PETER H. JARVIS & SONS, LLC, PROPERTY LOCATED AT: 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED: NOVEMBER 2021, SCALE: 1" = 20', PREPARED BY AMBIT ENGINEERING, INC., RCRD D-43095.
- 12) SITE PLAN FOR HOUSE-GOODMAN LIMITED PARTNERSHIP 43-49 CONGRESS STREET PORTSMOUTH, N.H. PREPARED BY: RICHARD P. MILLETTE AND ASSOCIATES, SCALE: 1"=10', DATED: NOVEMBER 15, 1983, NOT RECORDED.

**LEGEND:**

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- BOUND HOLE BOUND HOLE FOUND
- S SEWER LINE
- G GAS LINE
- D STORM DRAIN
- W WATER LINE
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC WIRES
- CONTOUR CONTOUR
- SPOT ELEVATION SPOT ELEVATION
- EP EDGE OF PAVEMENT (EP)
- UTILITY POLE UTILITY POLE
- WATER SHUT OFF/CURB STOP WATER SHUT OFF/CURB STOP
- GAS SHUT OFF GAS SHUT OFF
- GATE VALVE GATE VALVE
- HYD HYDRANT
- METER (GAS, WATER, ELECTRIC) METER (GAS, WATER, ELECTRIC)
- CATCH BASIN CATCH BASIN
- TELEPHONE MANHOLE TELEPHONE MANHOLE
- SEWER MANHOLE SEWER MANHOLE
- DRAIN MANHOLE DRAIN MANHOLE
- EL. ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- INV INVERT
- TBM TEMPORARY BENCH MARK
- TYP TYPICAL
- VGC/SGC VERTICAL/SLOPED GRANITE

**PROPOSED AREA OF WORK: MAP 0117 LOT 12 (15 CONGRESS STREET)**

**PREVIOUSLY APPROVED AREA OF WORK: MAP 0117 LOT 14 (1 CONGRESS STREET)**



**LOCATION MAP** 1" = 300'

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOT 12.
  - 2) OWNERS OF RECORD: WENBERRY ASSOCIATES, LLC C/O CP MANAGEMENT 11 COURT STREET SUITE 100 EXETER, N.H. 03833 3060/164
  - 3) PARCEL IS LOCATED IN CHARACTER DISTRICT 5.
  - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
  - 5) EXISTING LOT AREA: 23,708 S.F. 0.5443 ACRES
  - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY AND EXISTING CONDITIONS ON ASSESSORS MAP 117 LOT 12.
  - 8) VERTICAL DATUM IS NAVD83. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
  - 9) PARCEL IS SUBJECT TO A LEASE AGREEMENT FOR A PORTION OF LESSEE'S WALL IS ENROACHING ON SUBJECT PARCEL. SEE RCRD 1512/410 & 1690/130.
  - 10) PARCEL IS SUBJECT TO A RIGHT OF WAY IN COMMON FOR PASSAGE AND UTILITIES AND GENERAL PURPOSES PER DEEDS. SEE RCRD 322/318, 322/380, 322/381, 348/80, 348/81, 348/82, 1484/44, 2713/797, AND RCRD C-16161.
  - 11) PARCEL IS SUBJECT TO A UTILITY EASEMENT TO P.S.N.H. FROM UTILITY POLE 20/4 ON FLEET STREET EASTERLY TO GRATORS EASTERLY BOUNDARY. SEE RCRD 3124/695.
  - 12) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

0	7/24/24	ISSUED FOR COMMENT	RJB	JRC
No.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
SITE SURVEY				

**HALEY WARD**  
ENGINEERING | ENVIRONMENTAL | SURVEYING  
200 Griffin Rd. Unit 14  
Portsmouth, New Hampshire 03801  
603.430.9282  
WWW.HALEYWARD.COM

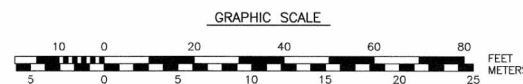
**PROJECT:**  
APPLICANT: ONE MARKET SQUARE, LLC  
15 CONGRESS STREET PORTSMOUTH, N.H.

**EXISTING CONDITIONS PLAN**

DATE	JULY 2024	SCALE	1" = 20'
DRAWN BY	RJB	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT NO.	5010156.01
FIELD BOOK & PAGE	FB 309 PG 54	SHEET NO.	
SHEET 1		C1	

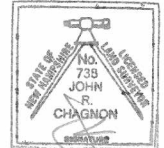
**LINE TABLE:**

L10	S36°03'41"E	9.09'
L11	N53°56'19"E	0.43'
L12	N88°45'29"E	0.06'
L13	N56°30'27"E	3.32'
L14	N30°49'12"W	9.63'

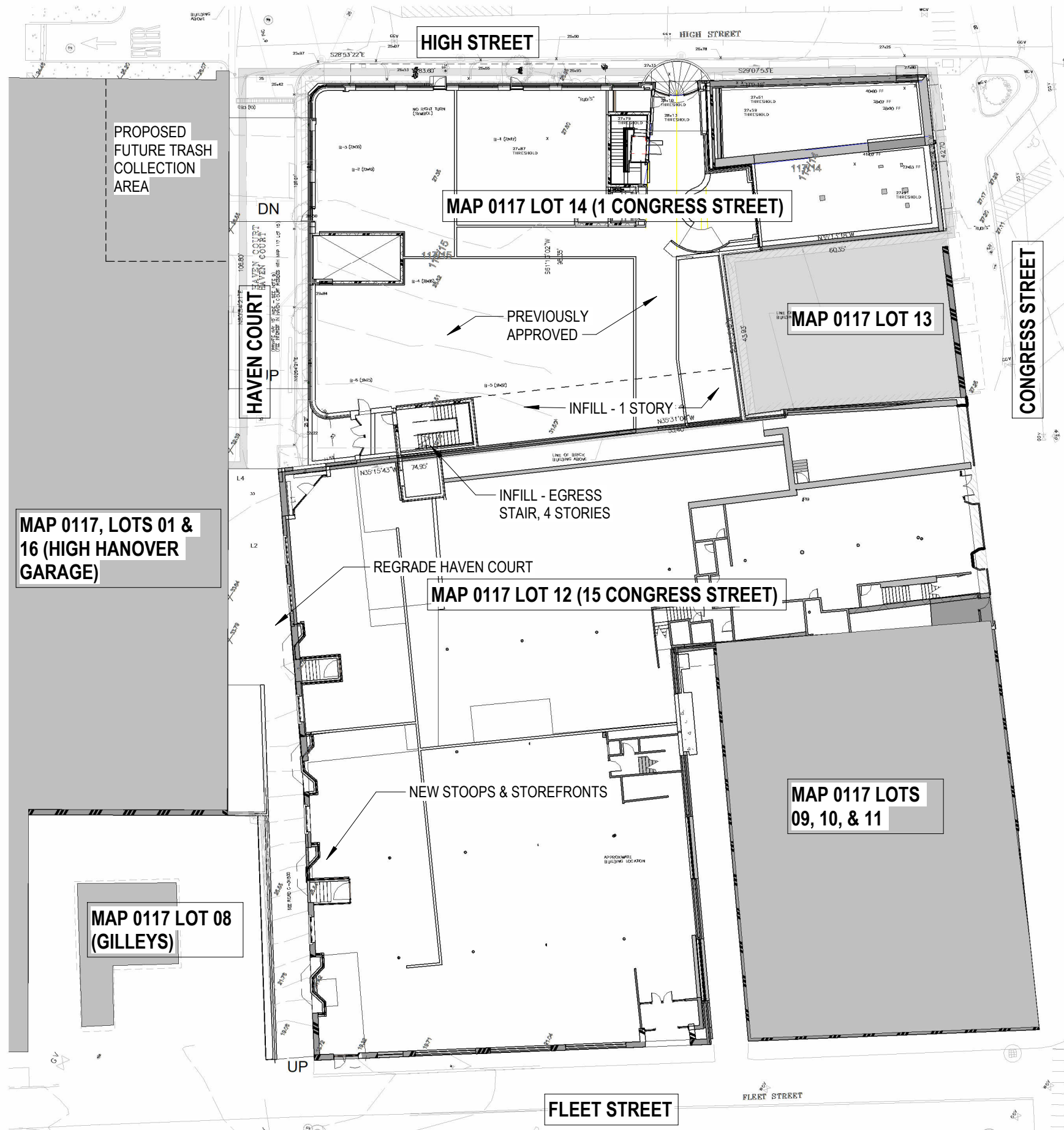


I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

*John R. Chagnon*  
JOHN R. CHAGNON, LLS 738  
DATE: 7-24-24



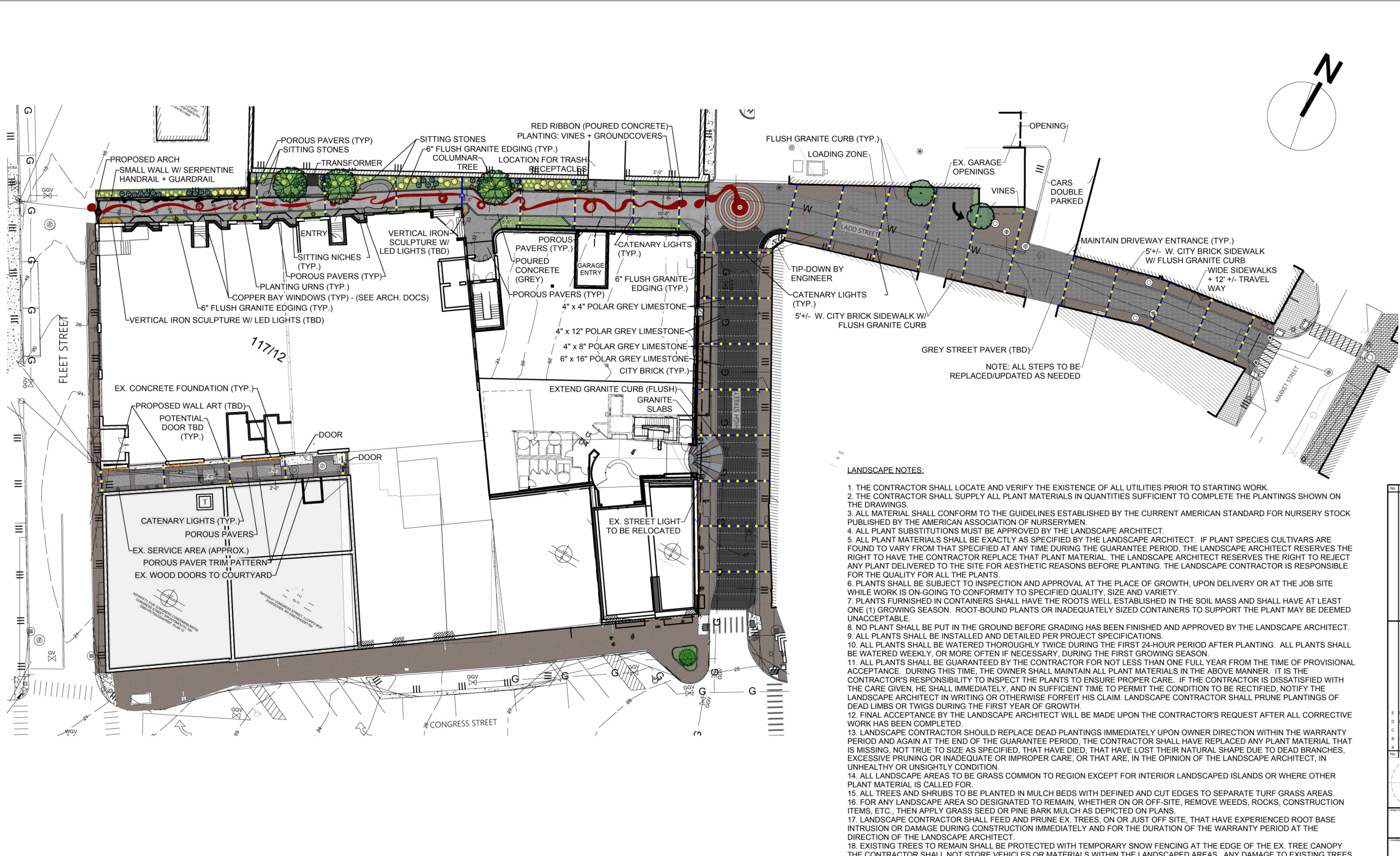
**HN1.01 SITE SURVEY, EXISTING 15 CONGRESS STREET**



1 SITE PLAN, PROPOSED  
1/32" = 1'-0"

**HN1.02 SITE PLAN, PROPOSED  
15 CONGRESS STREET**





**terra firma**  
 landscape architecture  
 163 a court street - portsmouth, nh 03801  
 office: 603.430.8588 | terrence@terrafirmalandscape.com

**LANDSCAPE NOTES:**

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.



**HN1.03 LANDSCAPE PLAN**  
**15 CONGRESS STREET**

PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE.

No.	Date	By	Revision Notes
E	8/20/2024		CATENARY LIGHT ADJUSTMENT
D	8/12/2024		SITE AMENITIES AND MATERIALS UPDATED
C	8/2/2024		ALLEY DOOR LOCATION UPDATES
B	7/31/2024		SHEET UPDATES
A	7/24/2024		SOUTH ALLEY UPDATES

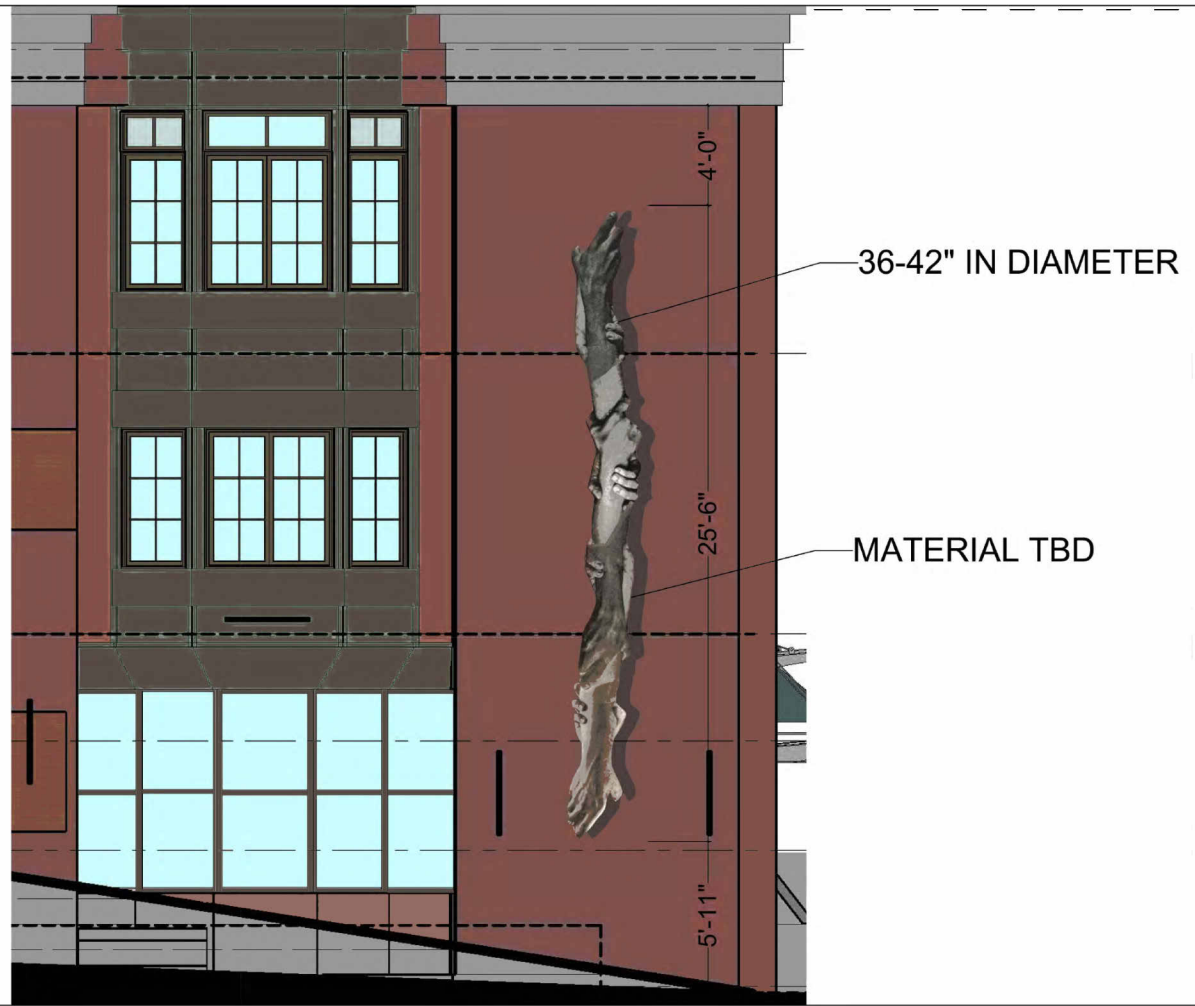
  

No.	Date	Issue Notes

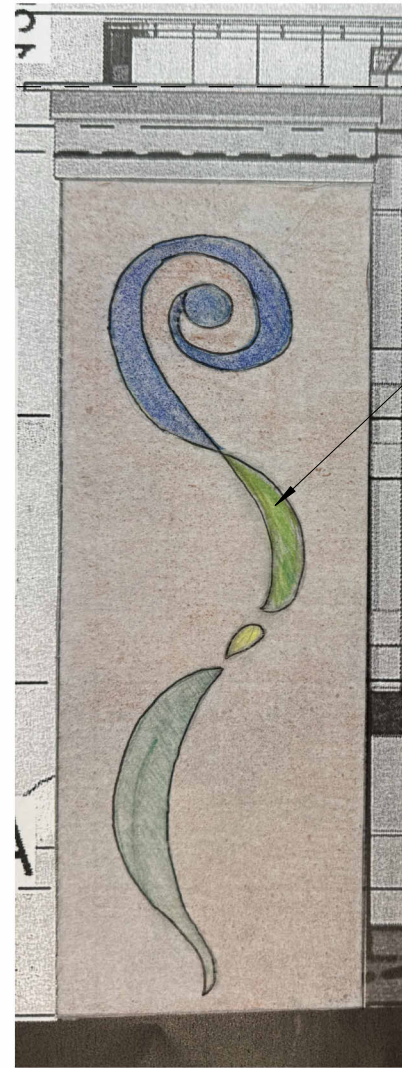
terra firma landscape architecture 163 a Court Street Portsmouth, NH 03801	
NEWBERRY WAY	
LANDSCAPE PLAN	
Project Name	NEWBERRY WAY
Scale	1"=20'-0"
Sheet No.	L-01
Date	7/18/2024
File Name	newberry2024.vrx
Page	1 of 1





1 CLAPSED HANDS

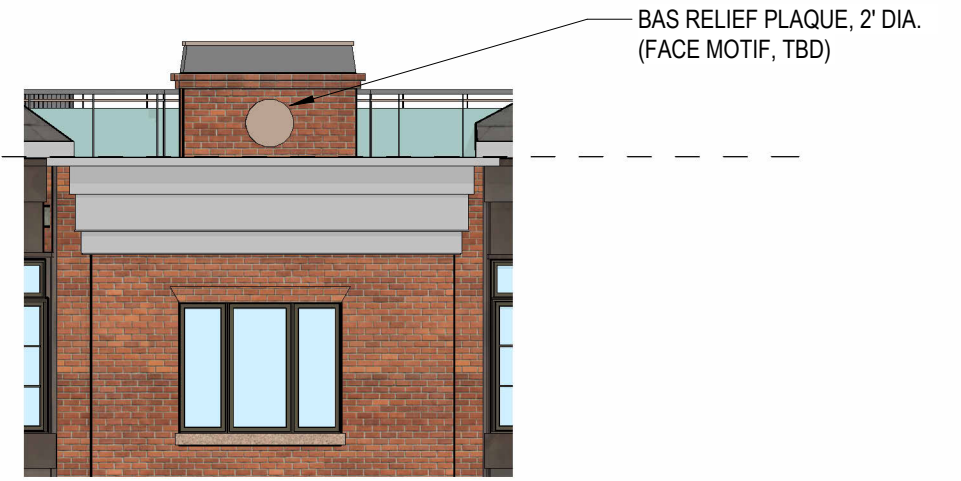
The Clapsed Hand sculpture will be placed on the NW wall along Newberry Way and it will face the Gilley's parking lot. It will be mounted vertically 6" off the building façade and be approximately 25' long and 42" in diameter. It will be back lit. The material may be bronze, or a lightweight material colored as bronze to be determined. The sculpture represents the concept of cooperation similar to the co-living situation of the building. Pending PARC approval.



2 SERPENTINE

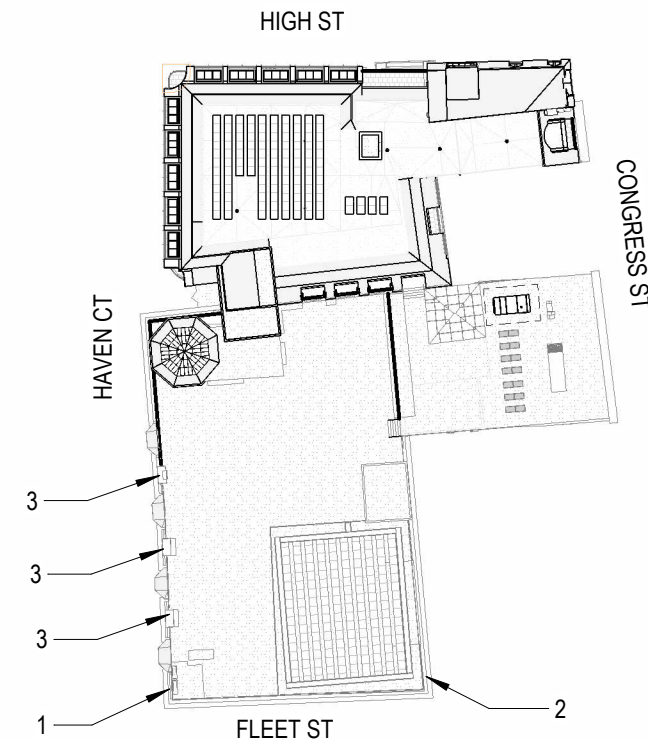
The Serpentine Sculpture will be located on the SW corner of the Newberry building in the narrow south alley. It will be mounted vertically 6" off the building façade and be approximately 25' long and about 6' wide. It will be composed of a metal frame supporting colored acrylic panels that will be lit to help illuminate the alley. This sculpture refers to the paving pattern in Newberry Way with an abstract human form embedded in its shape. Pending PARC approval.

METAL FRAMED ACRYLIC PANELS ON 6" STAND-OFFS



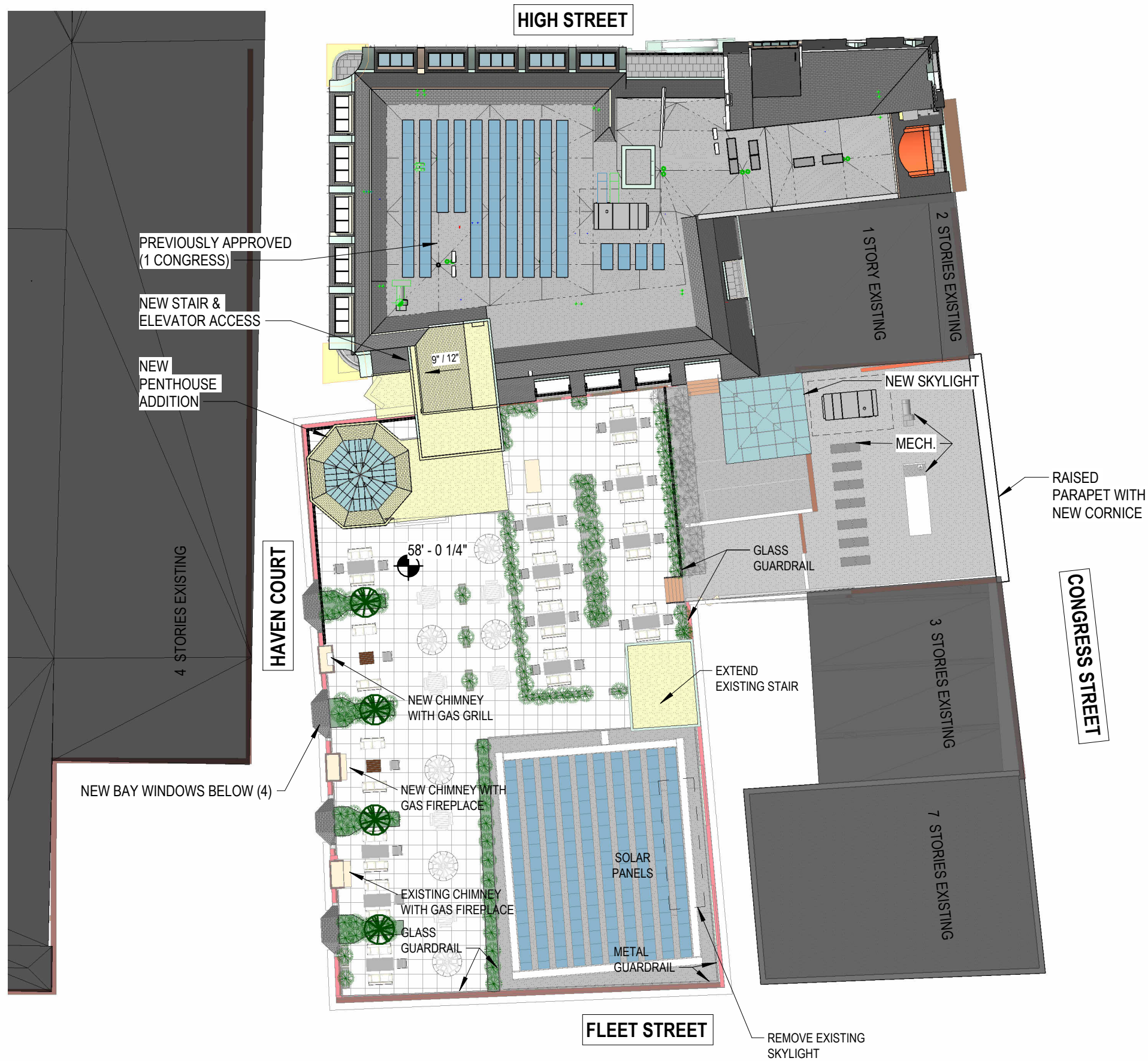
3 FACES

A series of BAS relief plaques with faces of historic Portsmouth figures. Plaques will be embedded into the brick chimneys facing the Newberry way alley on the north side of the building.



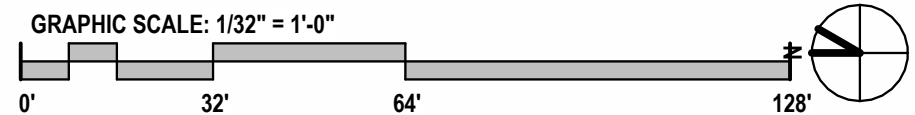
4 KEY PLAN (nts)

**HN1.04 LANDSCAPE ARTWORK**  
**15 CONGRESS STREET**

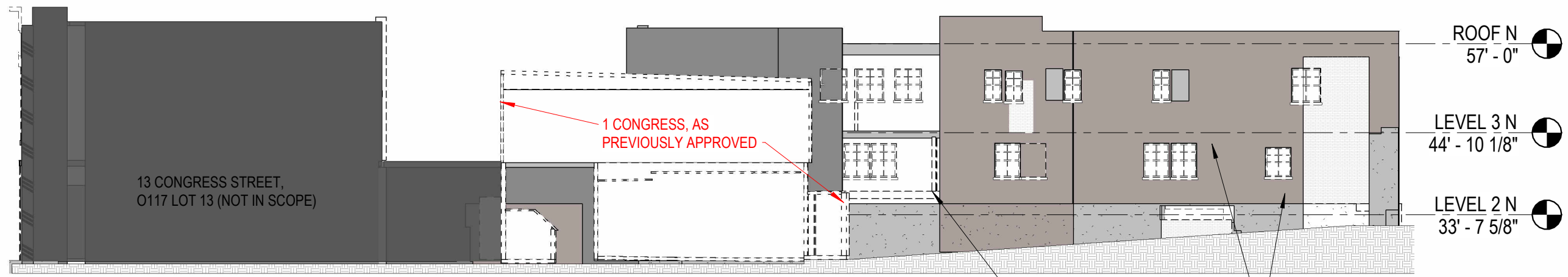


1 ROOF PLAN  
1/32" = 1'-0"

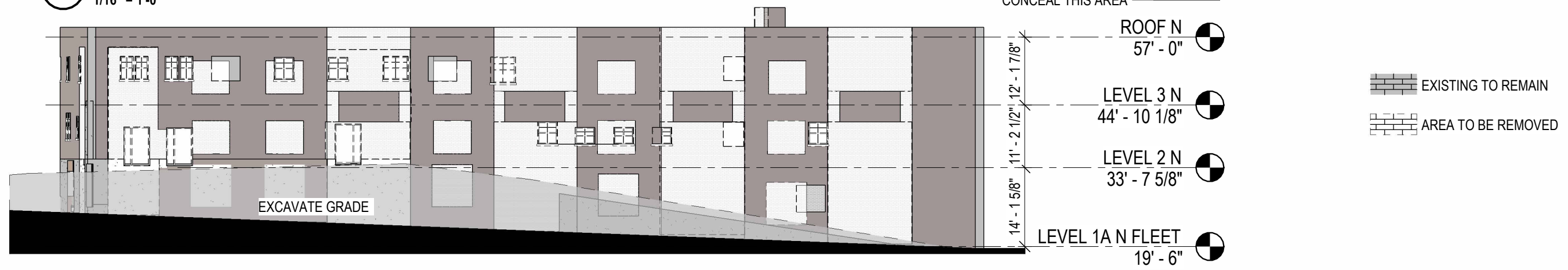
HN1.05 ROOF PLAN  
15 CONGRESS STREET



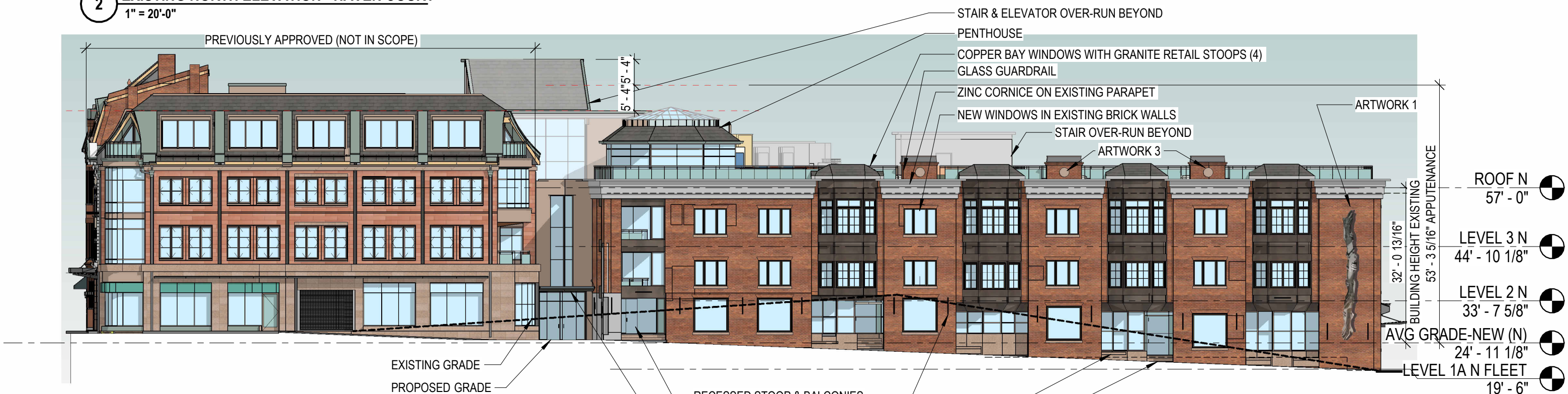




**3 EXISTING EAST ELEVATION - HIGH STREET**  
1/16" = 1'-0"



**2 EXISTING NORTH ELEVATION - HAVEN COURT**  
1" = 20'-0"



**1 PROPOSED NORTH ELEVATION - HAVEN COURT**  
1" = 20'-0"

**HN2.01 N/E ELEVATIONS - HAVEN COURT**  
**15 CONGRESS STREET**

- STAIR & ELEVATOR OVER-RUN BEYOND
- PENTHOUSE
- COPPER BAY WINDOWS WITH GRANITE RETAIL STOOPS (4)
- GLASS GUARDRAIL
- ZINC CORNICE ON EXISTING PARAPET
- NEW WINDOWS IN EXISTING BRICK WALLS
- STAIR OVER-RUN BEYOND
- ARTWORK 3
- ARTWORK 1
- ARTWORK 2
- RECESSED STOOP & BALCONIES
- ENTRY AWNING, RECESSED
- SCONCE LIGHT, TYP.
- GRANITE BENCH
- GRANITE STEPS



EXISTING TO REMAIN  
 AREA TO BE REMOVED

ROOF N  
57' - 0"

LEVEL 3 N  
44' - 10 1/8"

LEVEL 2 N  
33' - 7 5/8"

AVG GRADE-NEW (N)  
24' - 11 1/8"

LEVEL 1B N FLEET  
22' - 4 5/8"

LEVEL 1A N FLEET  
19' - 6"

**2 WEST ELEVATION - FLEET STREET, EXISTING**  
 1" = 20'-0"

REMOVE SKYLIGHT

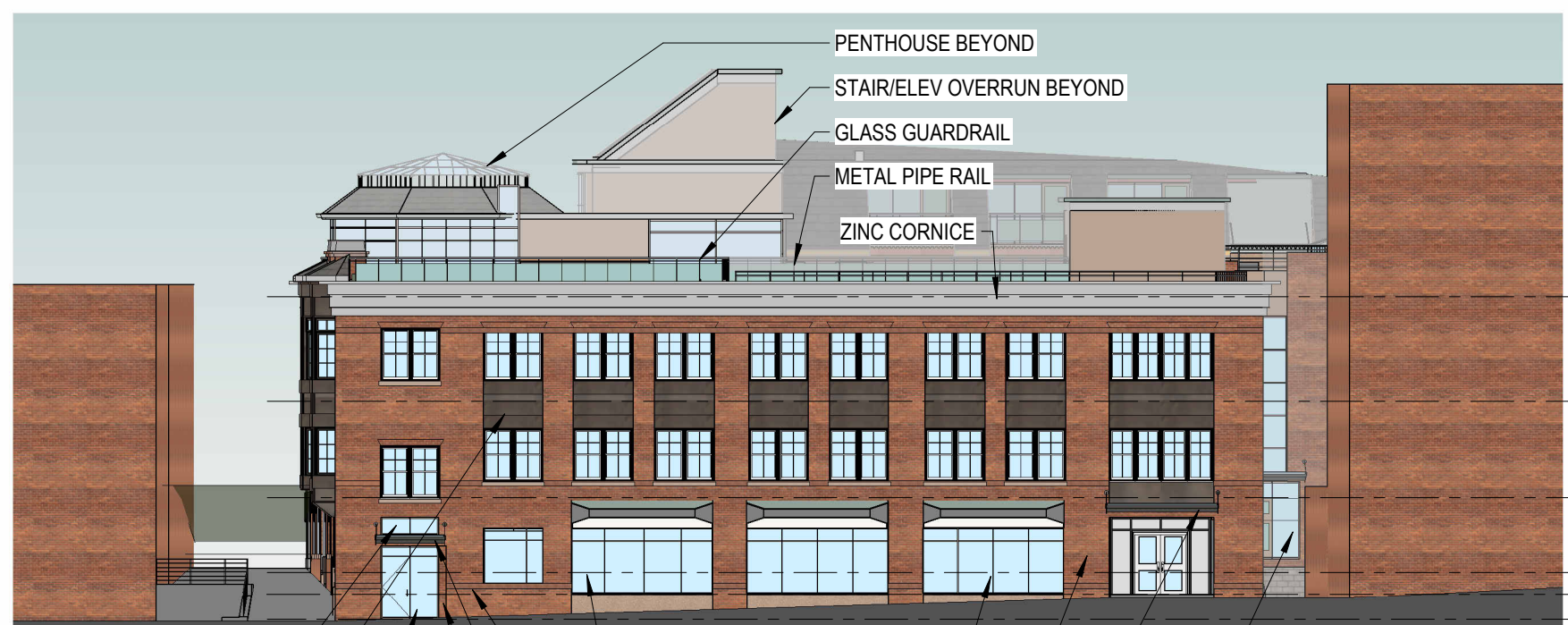
REMOVE BRICK VENEER

REMOVE STOREFRONTS

REMOVE BRICK VENEER

REMOVE WALL

REMOVE CANOPY



ROOF N  
57' - 0"

LEVEL 3 N  
44' - 10 1/8"

LEVEL 2 N  
33' - 7 5/8"

AVG GRADE-NEW (N)  
24' - 11 1/8"

LEVEL 1B N FLEET  
22' - 4 5/8"

LEVEL 1A N FLEET  
19' - 6"

**1 WEST ELEVATION - FLEET STREET, PROPOSED**  
 1" = 20'-0"

PENTHOUSE BEYOND

STAIR/ELEV OVERRUN BEYOND

GLASS GUARDRAIL

METAL PIPE RAIL

ZINC CORNICE

HIGH-HANOVER GARAGE

NEW TRANSOM

NEW COPPER PANELS

NEW STOREFRONT ENTRY ALIGNED WITH UPPER WINDOW

NEW STOREFRONTS WITH COPPER AWNINGS & GRANITE VENEER BASES (3)

EXISTING BRICK FACADE TO REMAIN; REPAIR & RESTORE

NEW GLASS CANOPY ON STEEL BRACKETS (MATCH HIGH & HAVEN CANOPIES)

INFILL BRICK

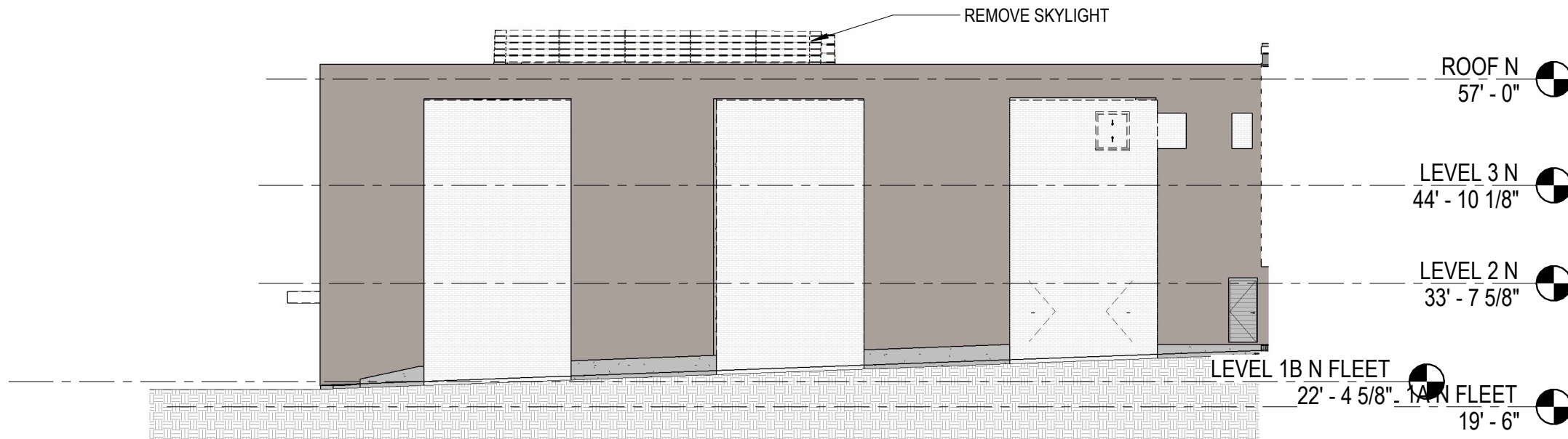
NEW GLAZED ENTRANCE BEYOND, (SEE WEST ELEVATION @ SOUTH ALLEY)

55 CONGRESS

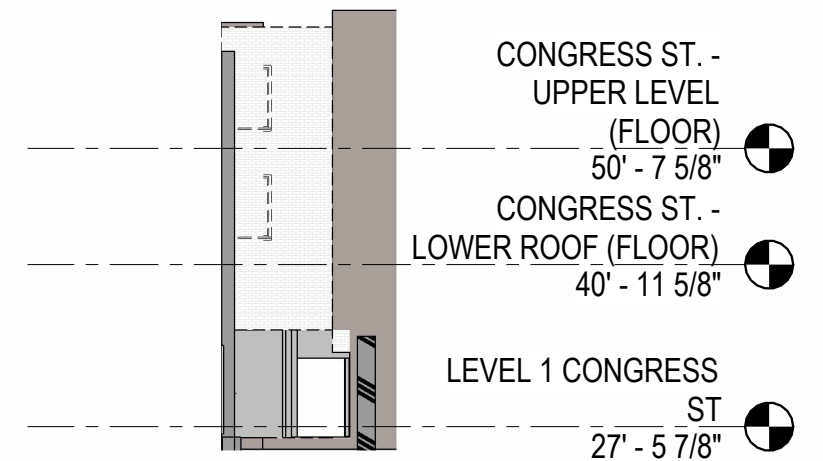
**HN2.02 WEST ELEVATION - FLEET STREET**  
**15 CONGRESS STREET**

EXISTING TO REMAIN

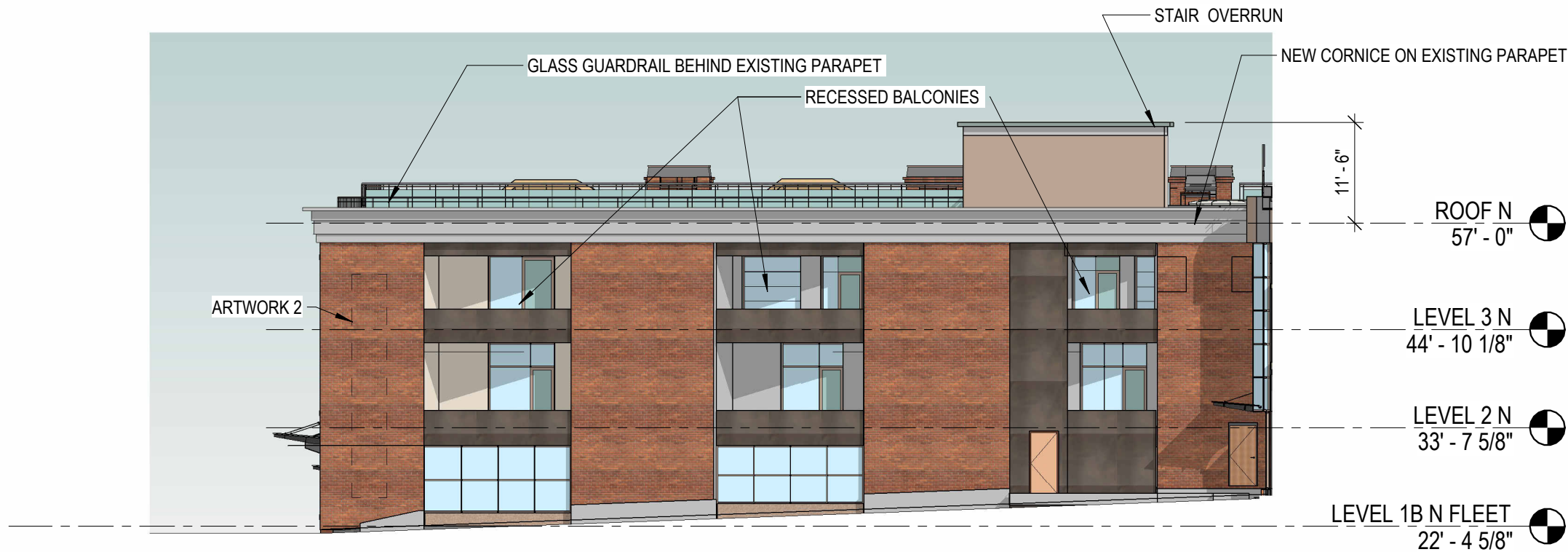
AREA TO BE REMOVED



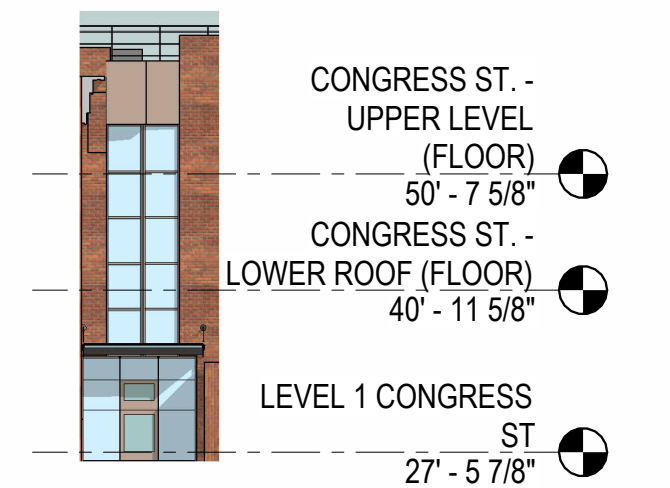
**1 DEMO EAST ELEVATION - SOUTH ALLEY**  
1/16" = 1'-0"



**2 SOUTH ELEVATION (ALLEY END)**  
1/16" = 1'-0"



**3 SOUTH ELEVATION - SOUTH ALLEY**  
1/16" = 1'-0"



**4 SOUTH ELEVATION (ALLEY END)**  
1/16" = 1'-0"

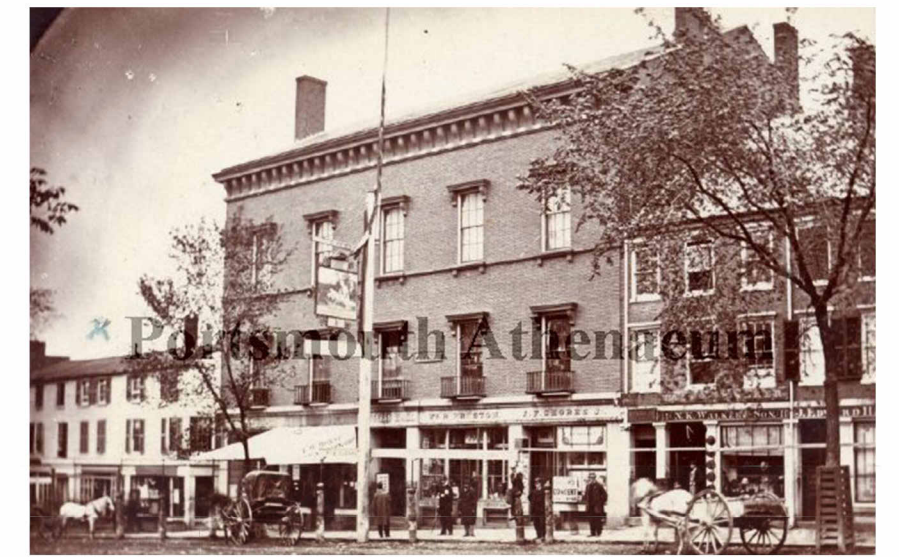
**HN2.03 S/E ELEVATIONS - SOUTH ALLEY**  
**15 CONGRESS STREET**

GRAPHIC SCALE: 1/16" = 1'-0"

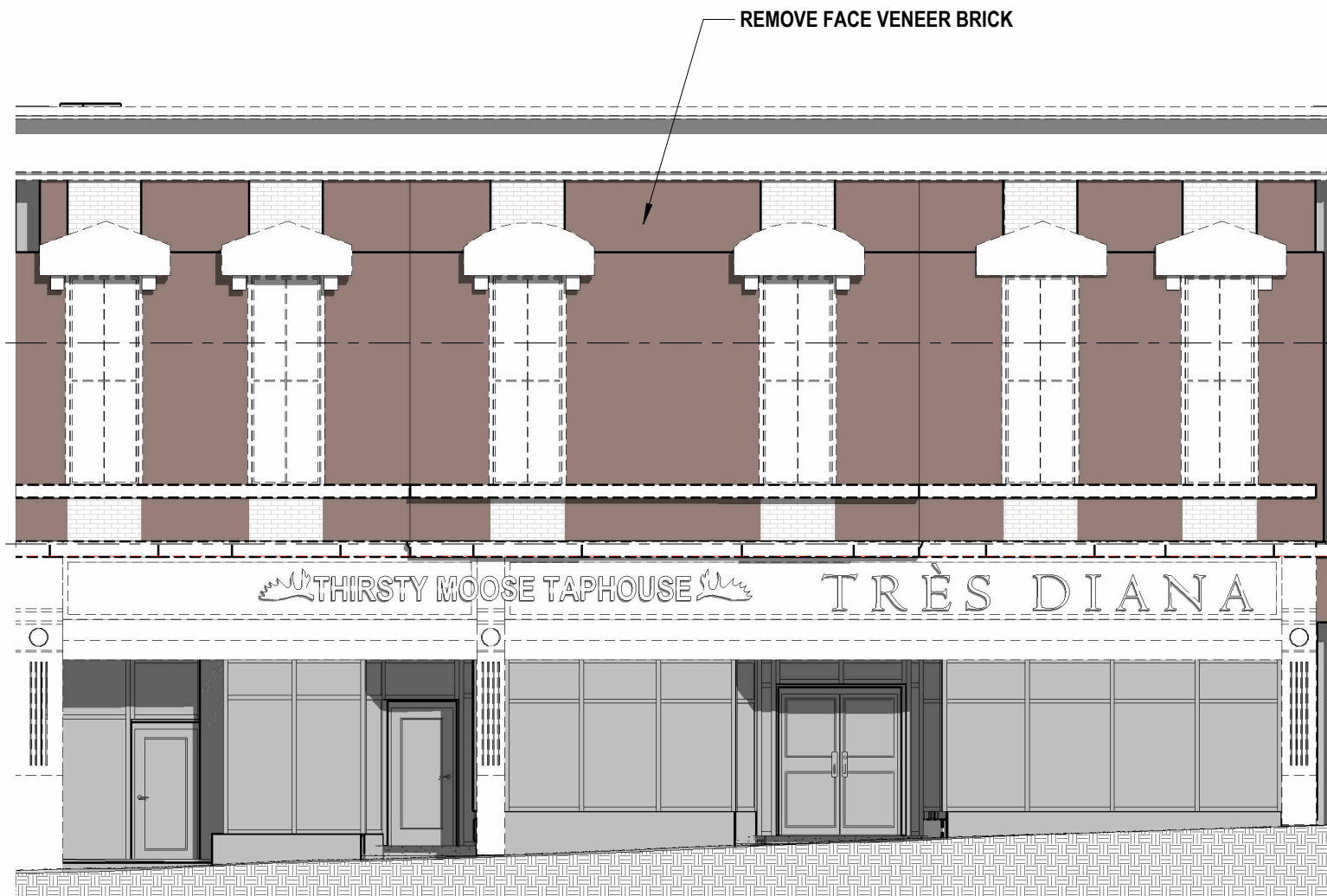




CIRCA 2024



CIRCA 1860



REMOVE FACE VENEER BRICK

2 SOUTH ELEVATION - CONGRESS STREET, EXISTING

1/8" = 1'-0"



NEW WINDOWS & TRIM

RAISED CORNICE

EXTEND BRICK WALL

METAL BALCONETTES

METAL PANEL

REBUILT SIGN-BAND

1 SOUTH ELEVATION - CONGRESS STREET, PROPOSED

1/8" = 1'-0"

EXISTING TO REMAIN

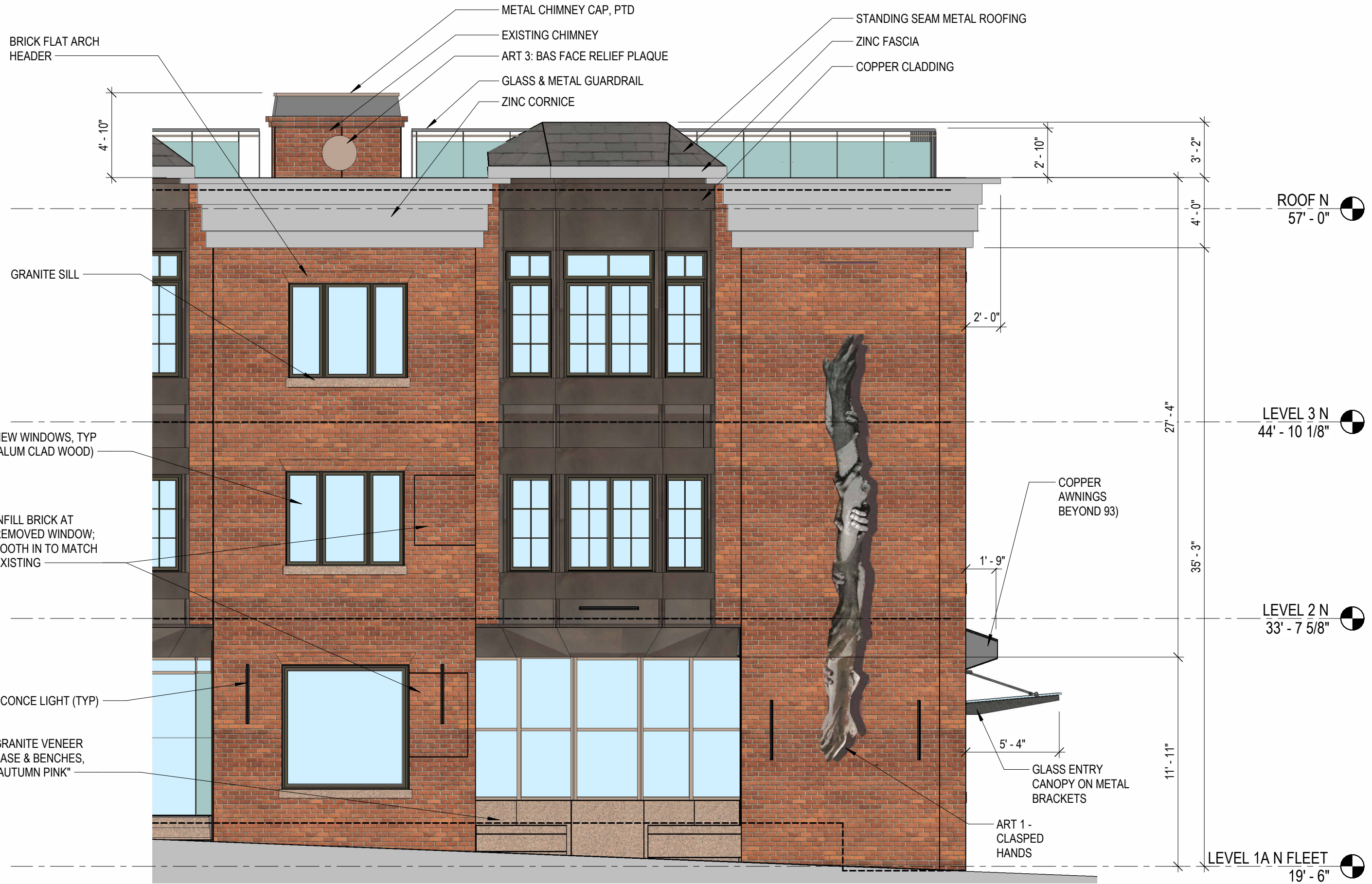
AREA TO BE REMOVED

HN2.04 EAST ELEVATIONS - CONGRESS ST  
15 CONGRESS STREET

GRAPHIC SCALE: 1/8" = 1'-0"



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**1 ENLARGED NORTH ELEVATION - HAVEN COURT**  
 3/16" = 1'-0"

**HN2.11 ENLARGED NORTH ELEVATION**  
**15 CONGRESS STREET**



**HN3.01** AXONOMETRIC BIRDSEYE  
15 CONGRESS STREET



EXISTING CONDITION



PROPOSED

**HN3.02** PERSPECTIVE NW FLEET STREET  
15 CONGRESS STREET





EXISTING CONDITION

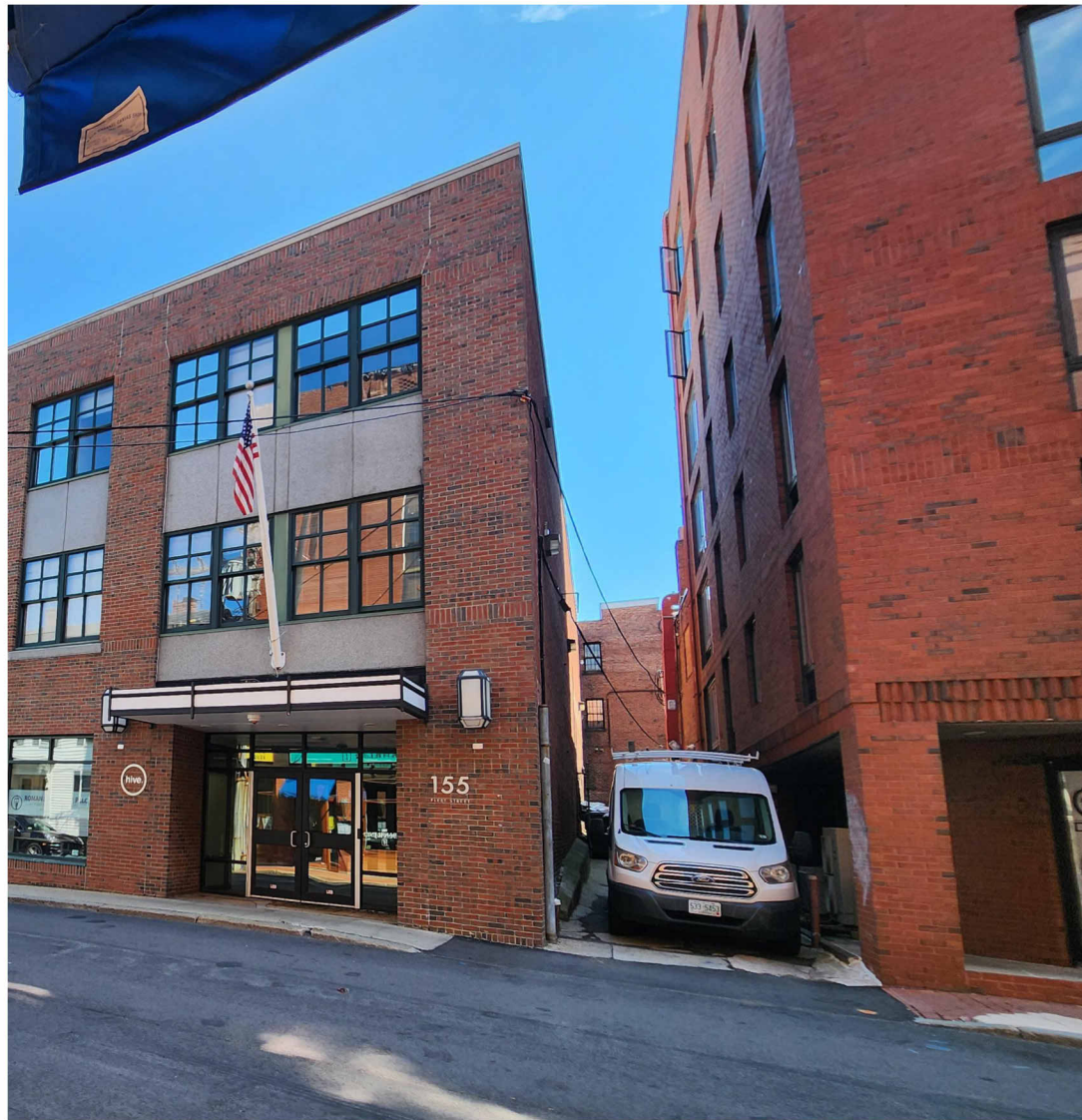


PROPOSED

**HN3.03 PERSPECTIVE NE HAVEN COURT  
15 CONGRESS STREET**







ALLEY ENTRANCE (FROM FLEET STREET)

**HN3.04** PERSPECTIVE SOUTH ALLEY  
15 CONGRESS STREET



ALLEY ENTRANCE (FROM FLEET STREET)

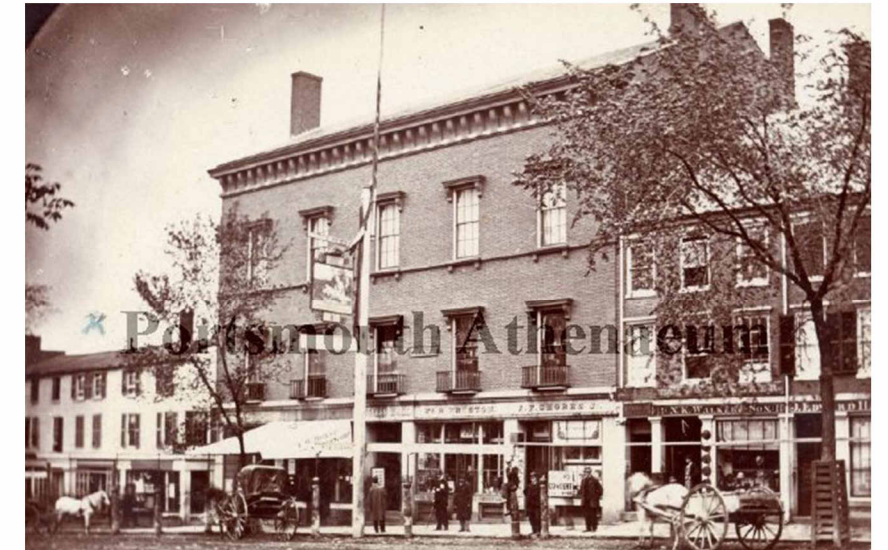


**HN3.05** PERSPECTIVE SOUTH ENTRY  
15 CONGRESS STREET



HAVEN COURT ENTRANCE

**HN3.06** PERSPECTIVE, NORTH ENTRY  
15 CONGRESS STREET



CIRCA 1860



CIRCA 2024

**HN3.07** PERSPECTIVE S, CONGRESS ST  
15 CONGRESS STREET