

Historic District Commission

Staff Report

Wednesday, November 06, 2024

Project Address: 38 State Street, Unit #4

Permit Requested: Certificate of Approval

Application: Public Hearing B

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Residential
- Land Area: 1,417-1,780 SF +/-
- Estimated Age of Structure: c.1815
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: State Street
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: New roofing, roof deck, and windows and new the new construction of a rooftop/penthouse addition.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- New windows, roofing, and roof deck.
- Construct rooftop/penthouse addition.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



EXISTING



PROPOSED



EXISTING



PROPOSED



PROPOSED



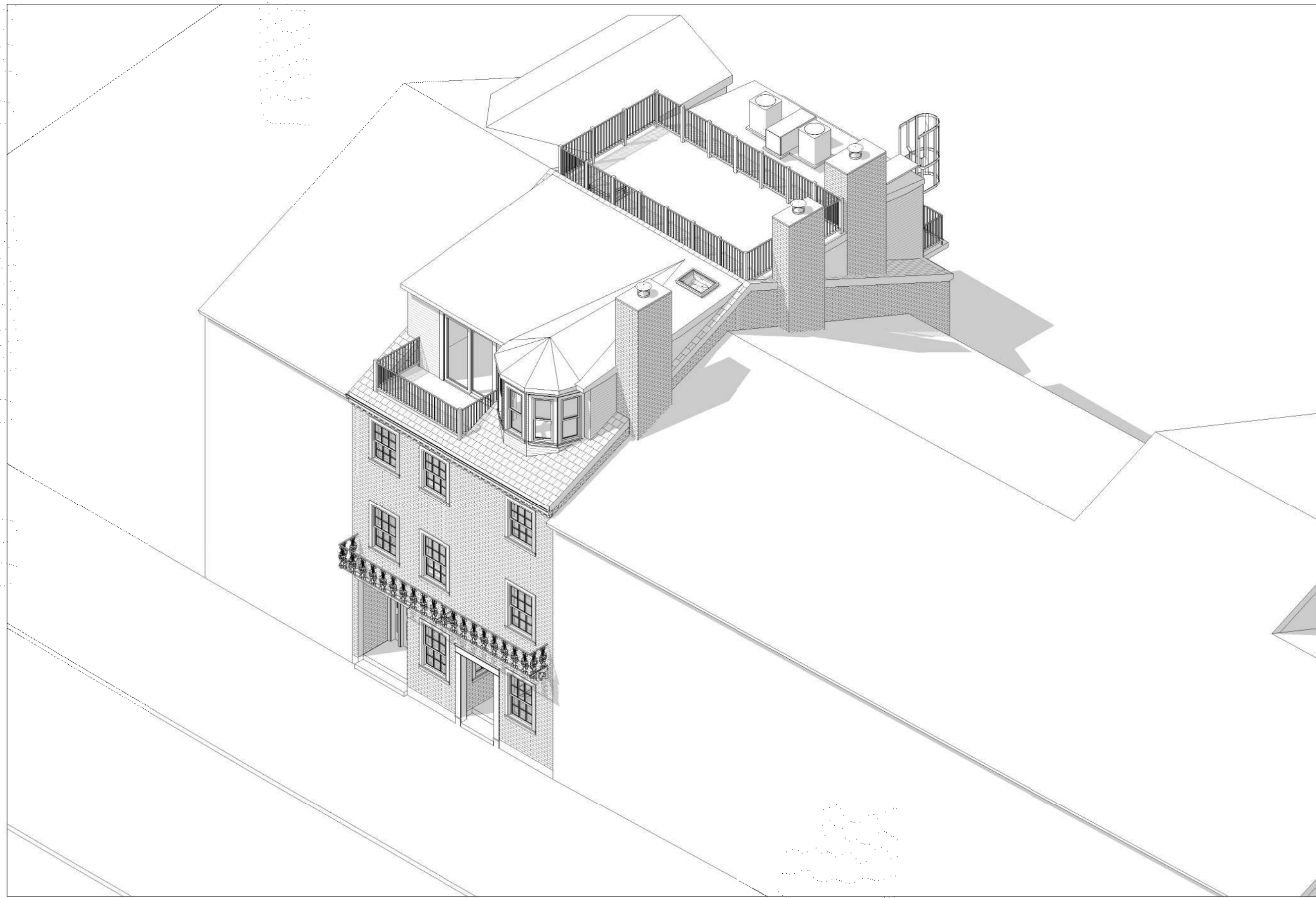
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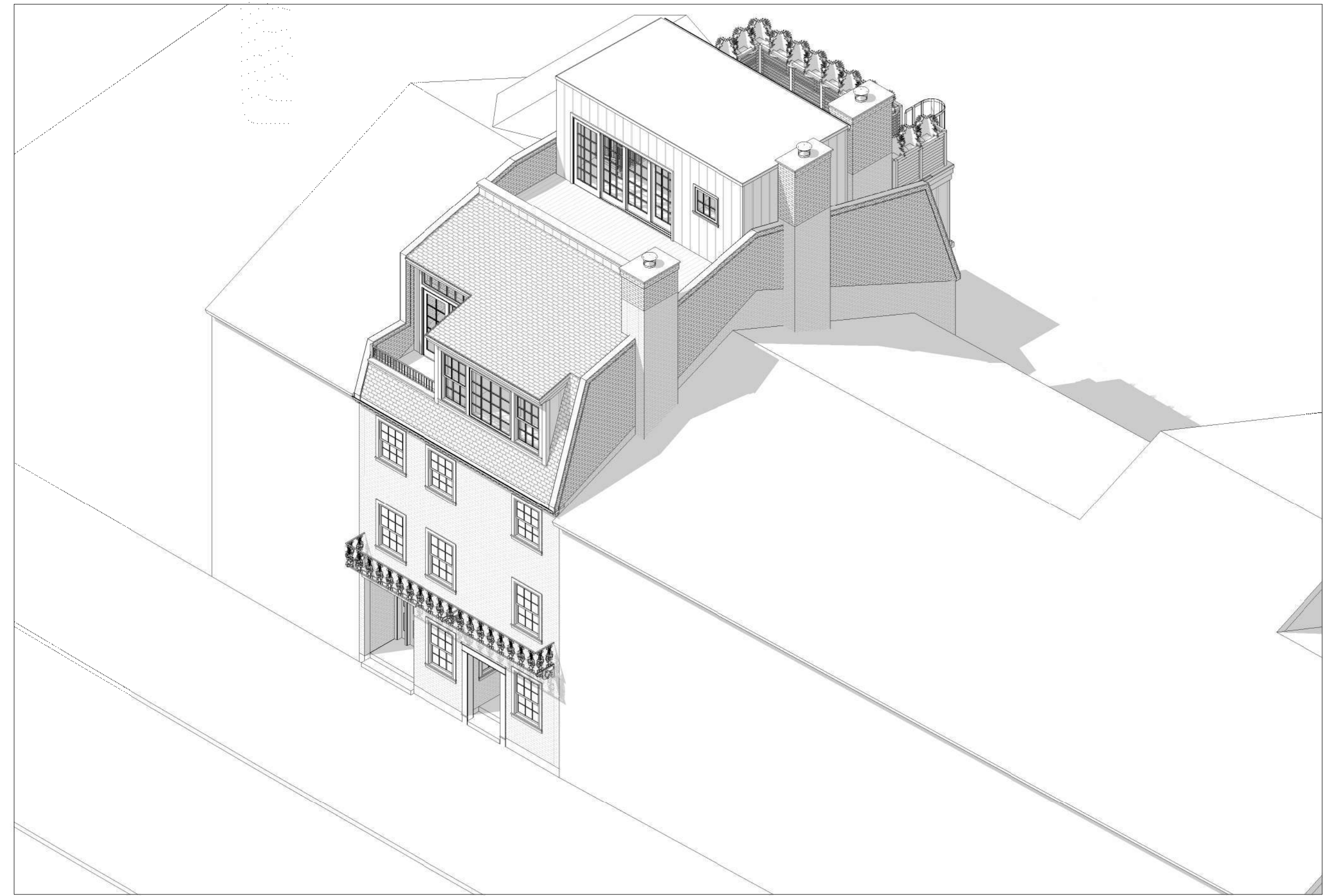
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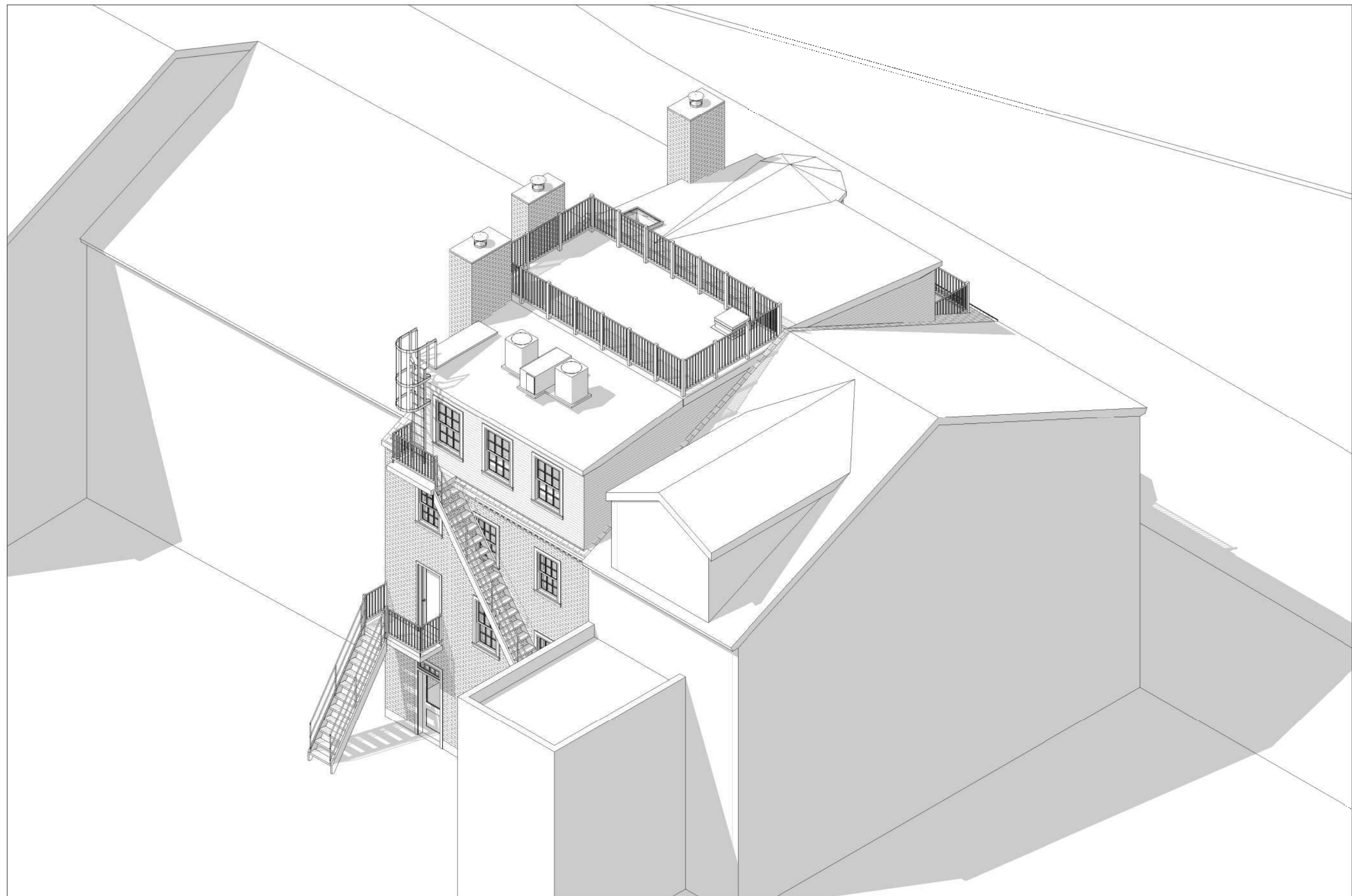
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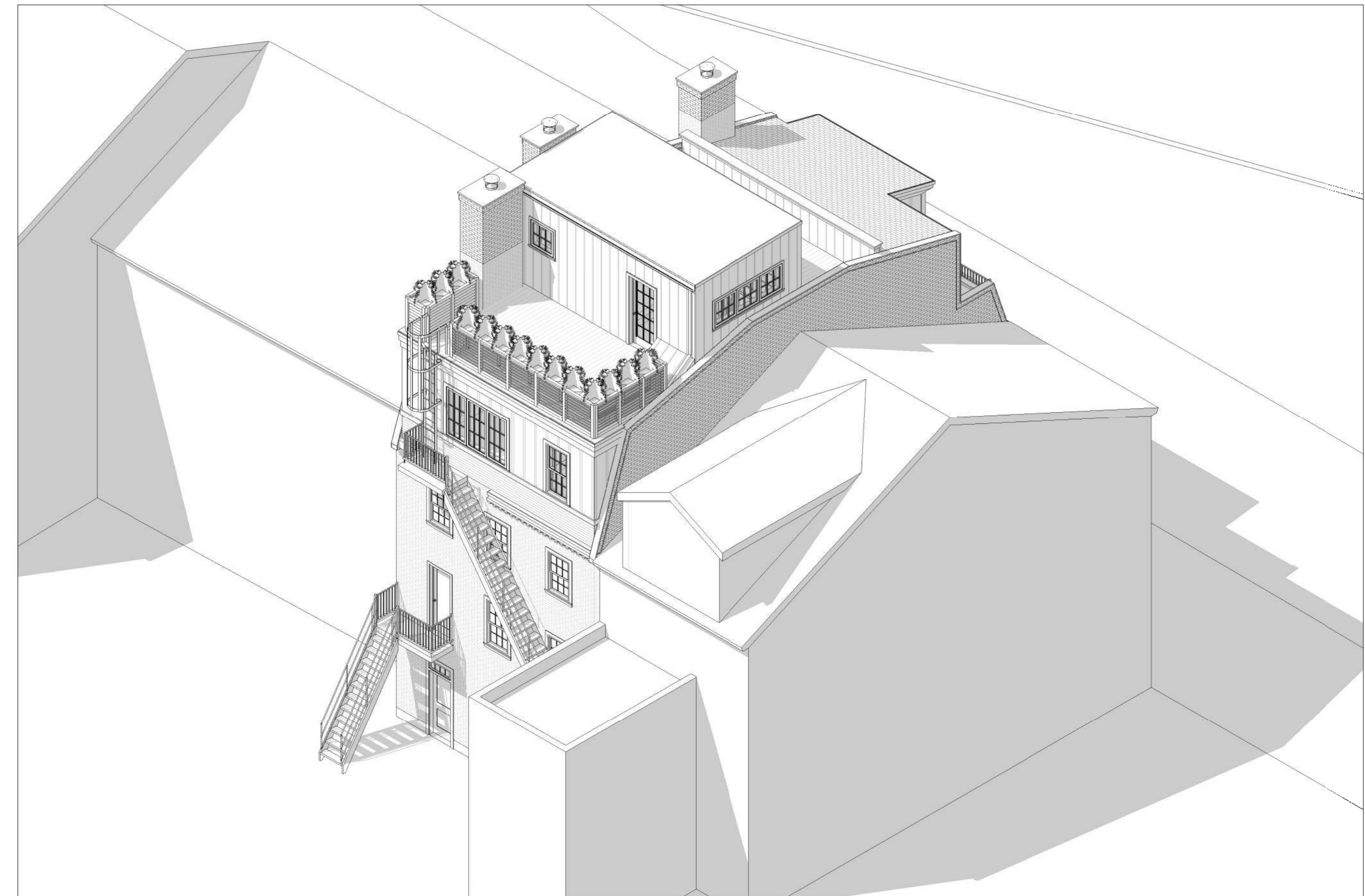
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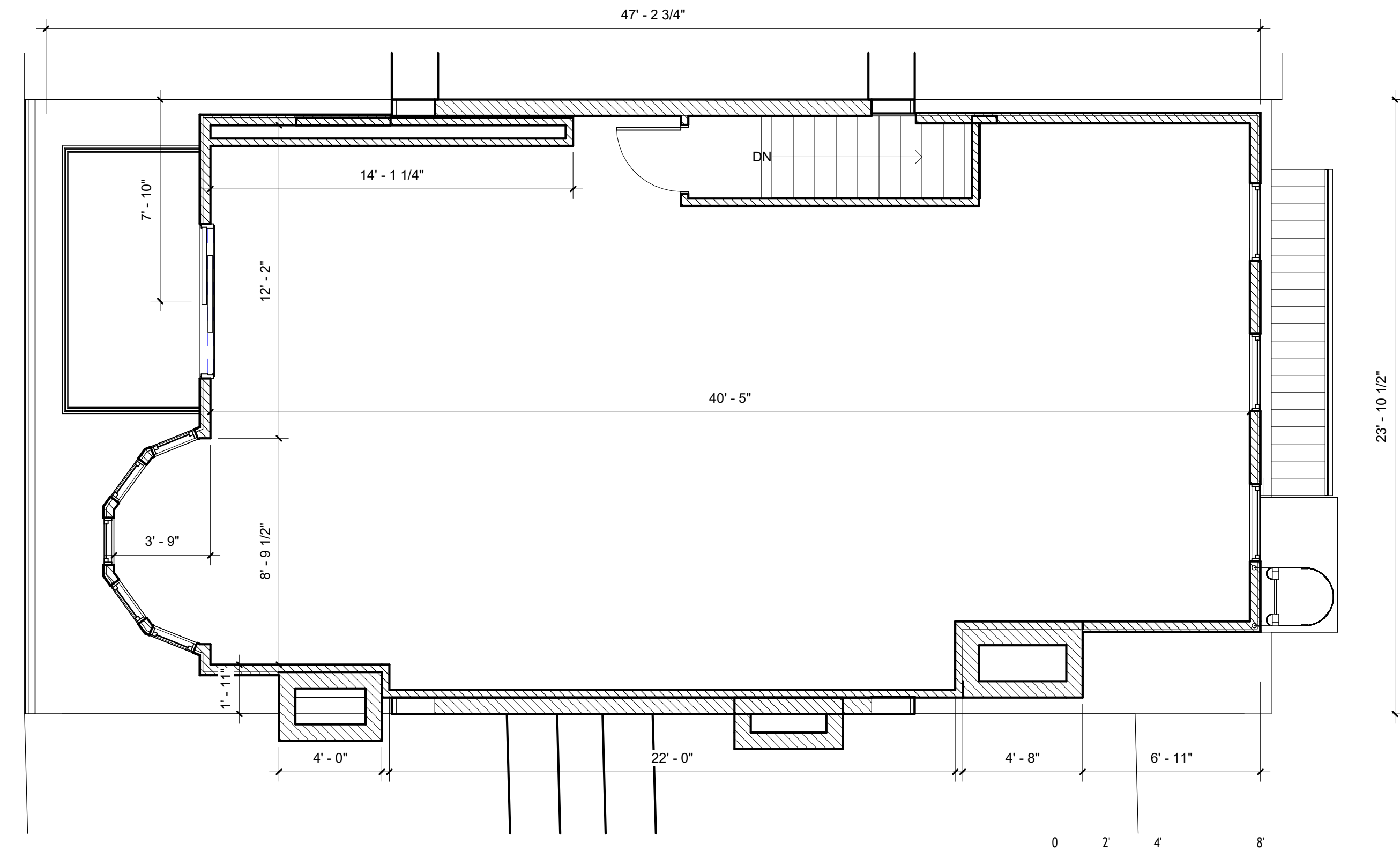
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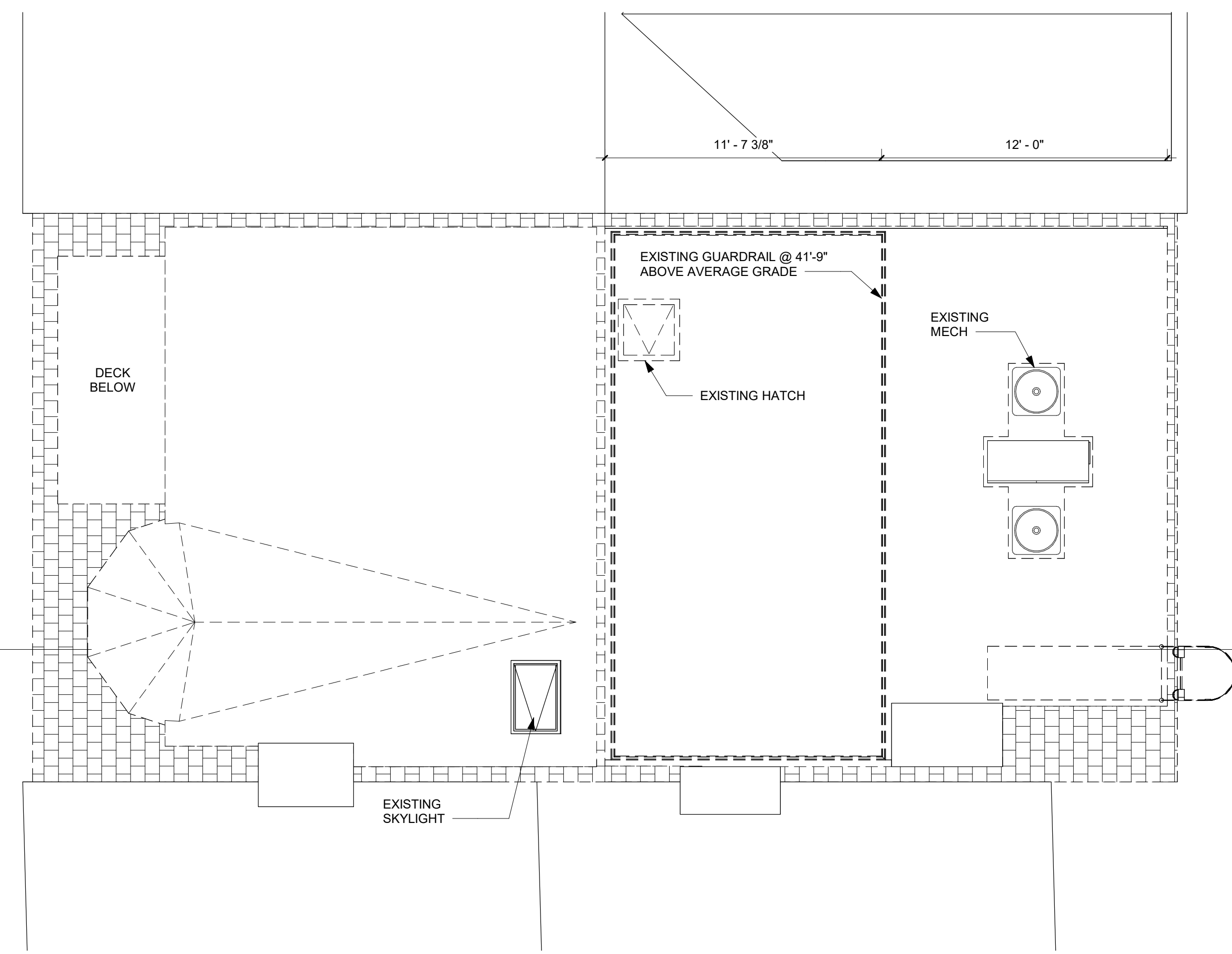
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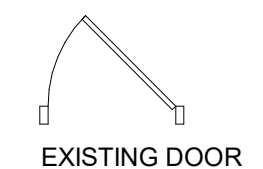
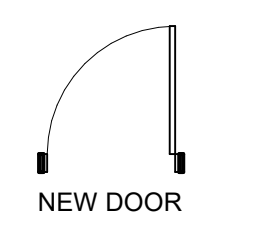
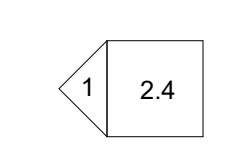
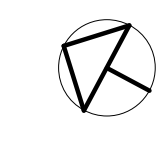
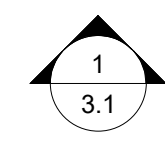
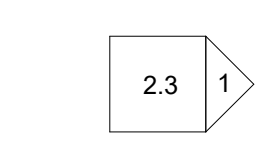
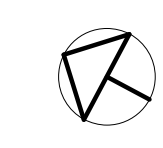
PROPOSED



1 Demo - 3RD FLOOR
1/4" = 1'-0"



2 Demo - PENTHOUSE
1/4" = 1'-0"



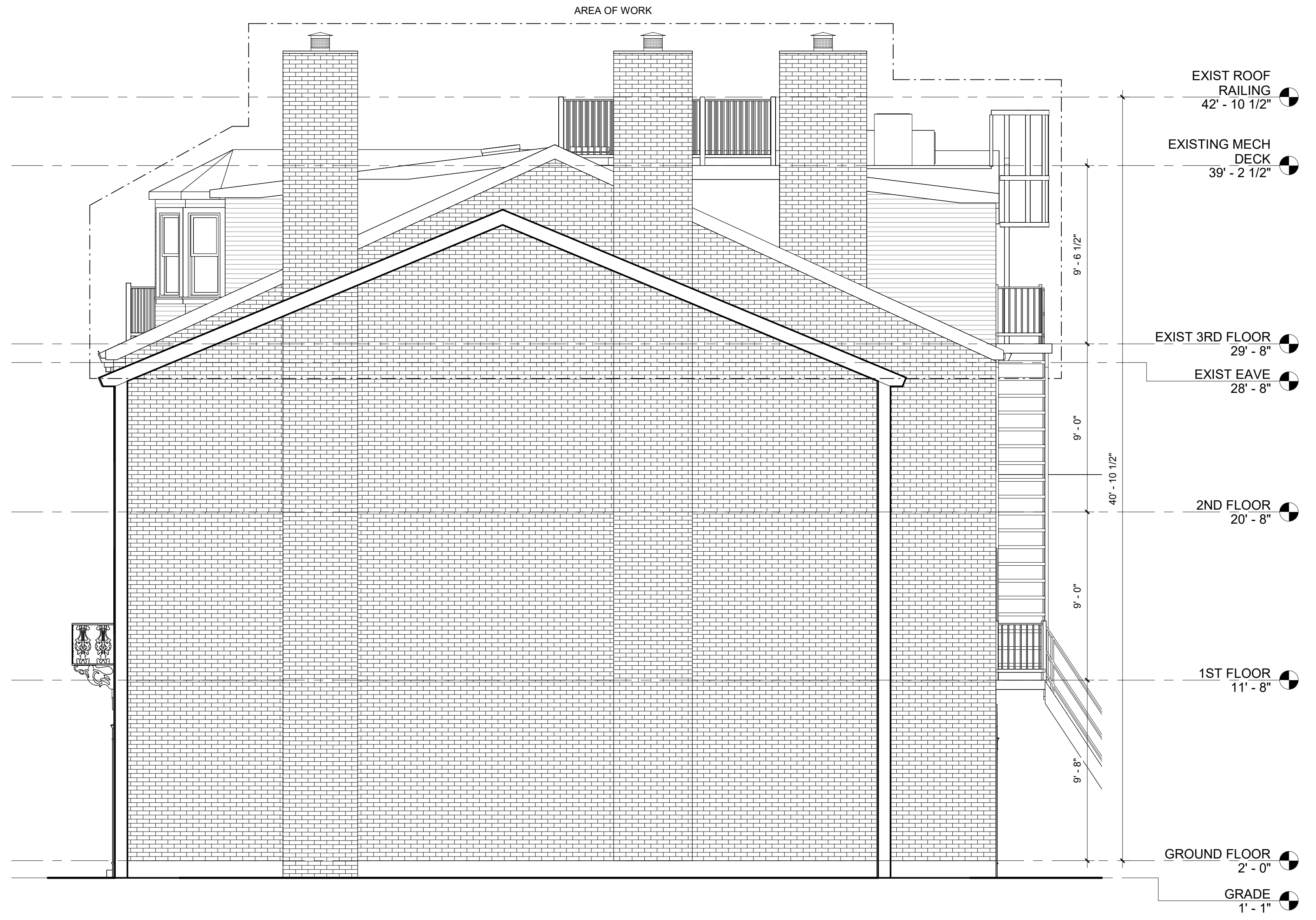
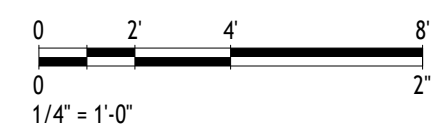
NEW WAL

DEMOLISH

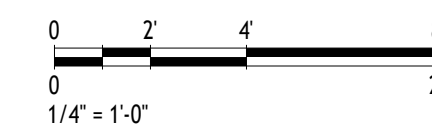
EXISTING WALL

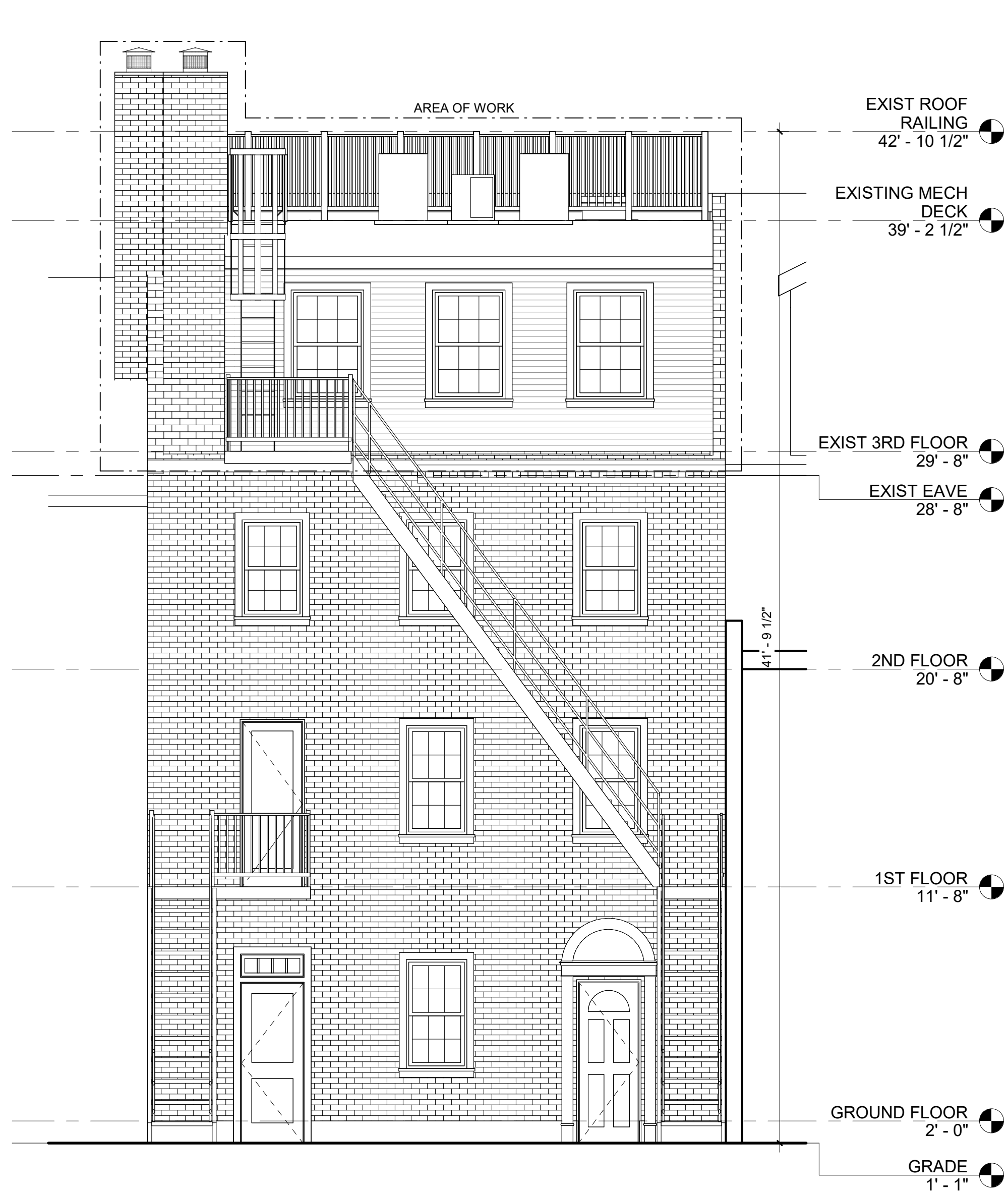


① EXISTING WEST ELEVATION
1/4" = 1'-0"

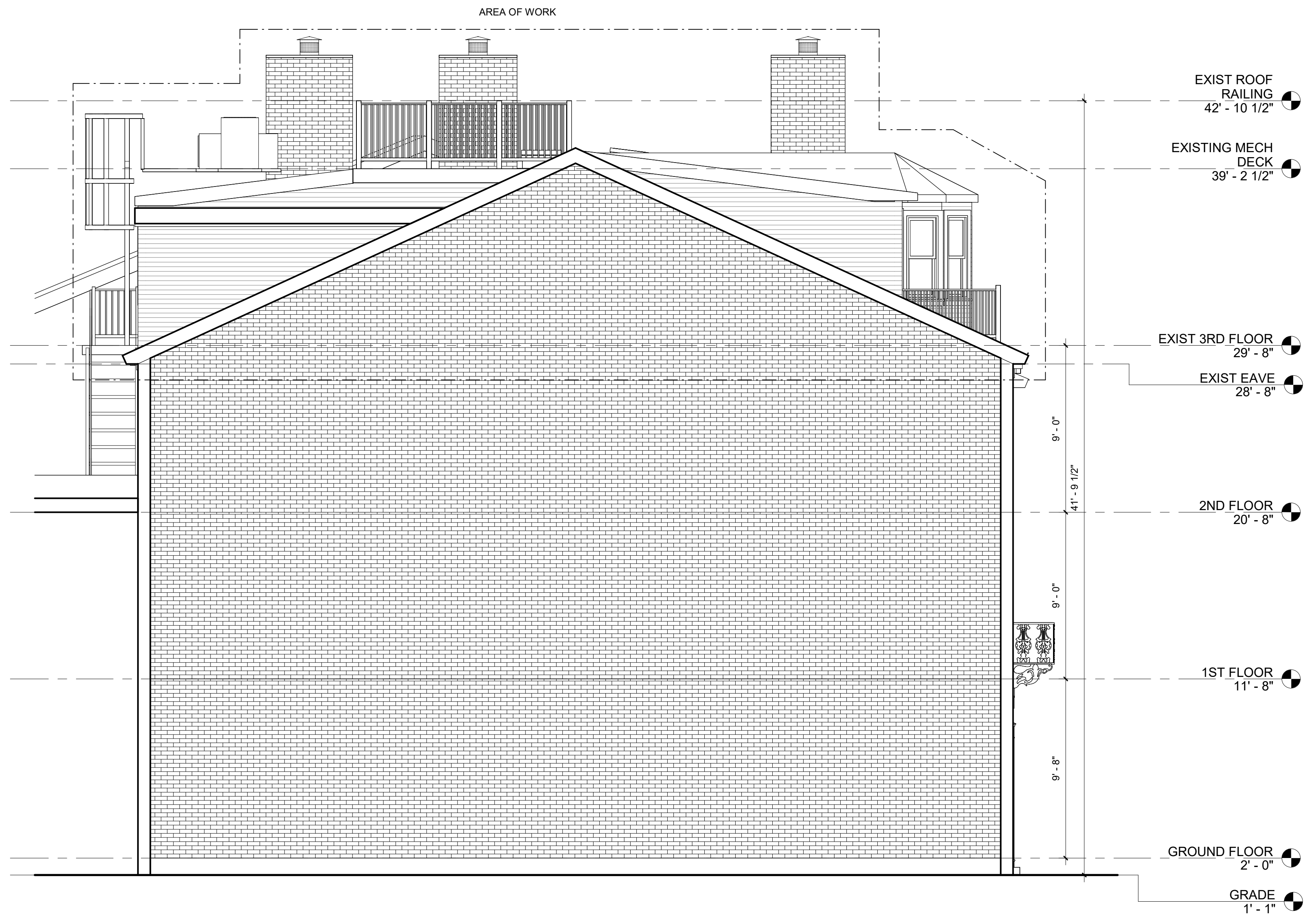
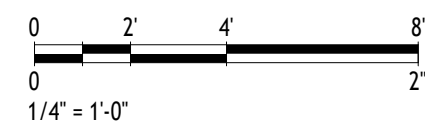


③ EXISTING SOUTH ELEVATION
1/4" = 1'-0"

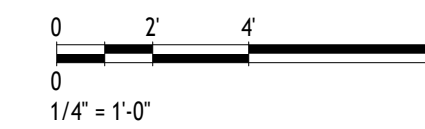




① EXISTING EAST ELEVATION
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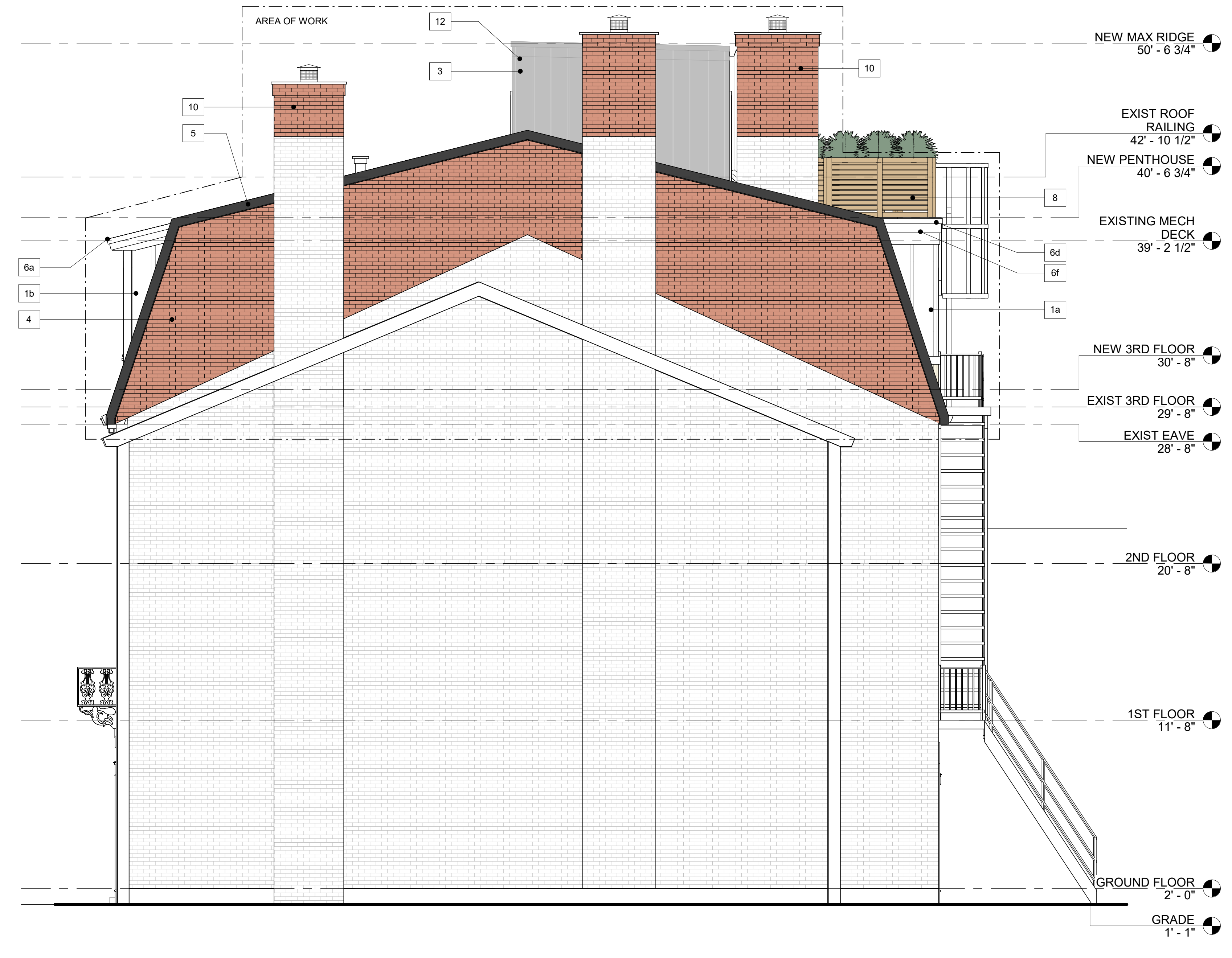
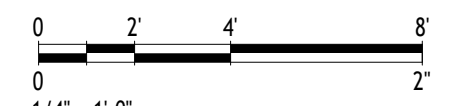


② EXISTING NORTH ELEVATION
1/4" = 1'-0"

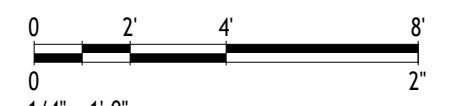




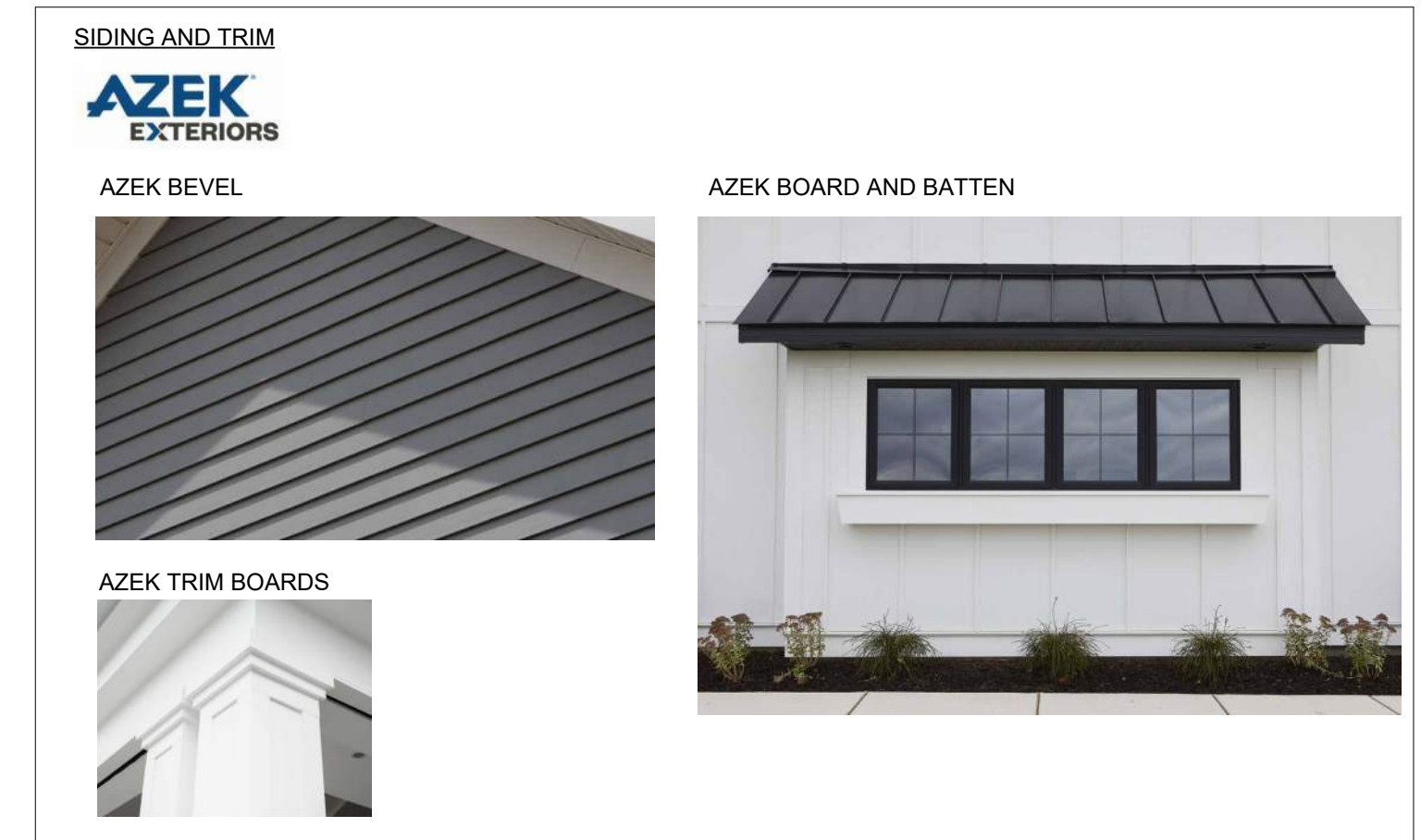
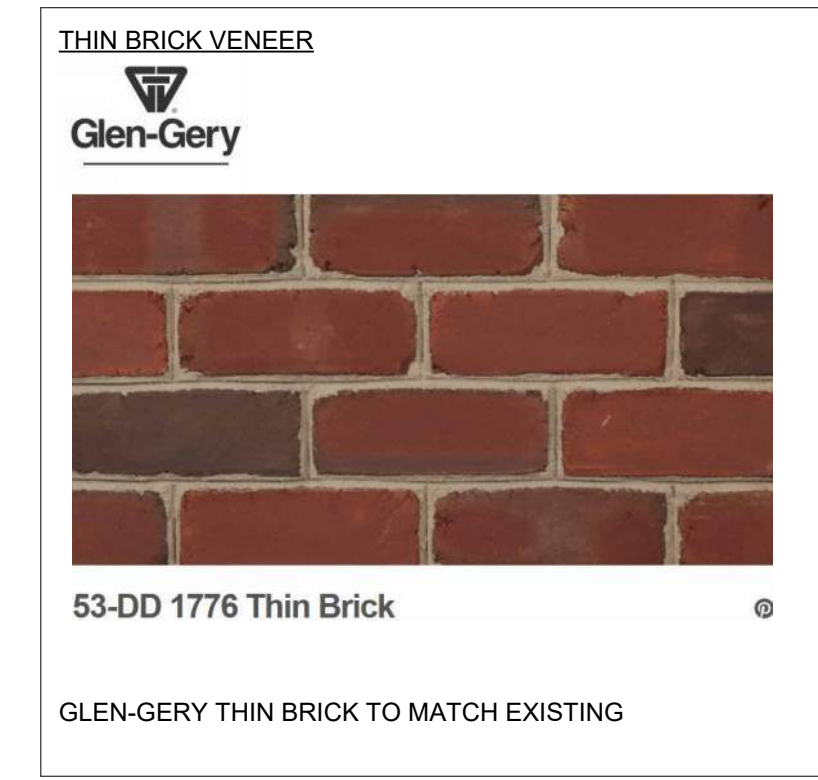
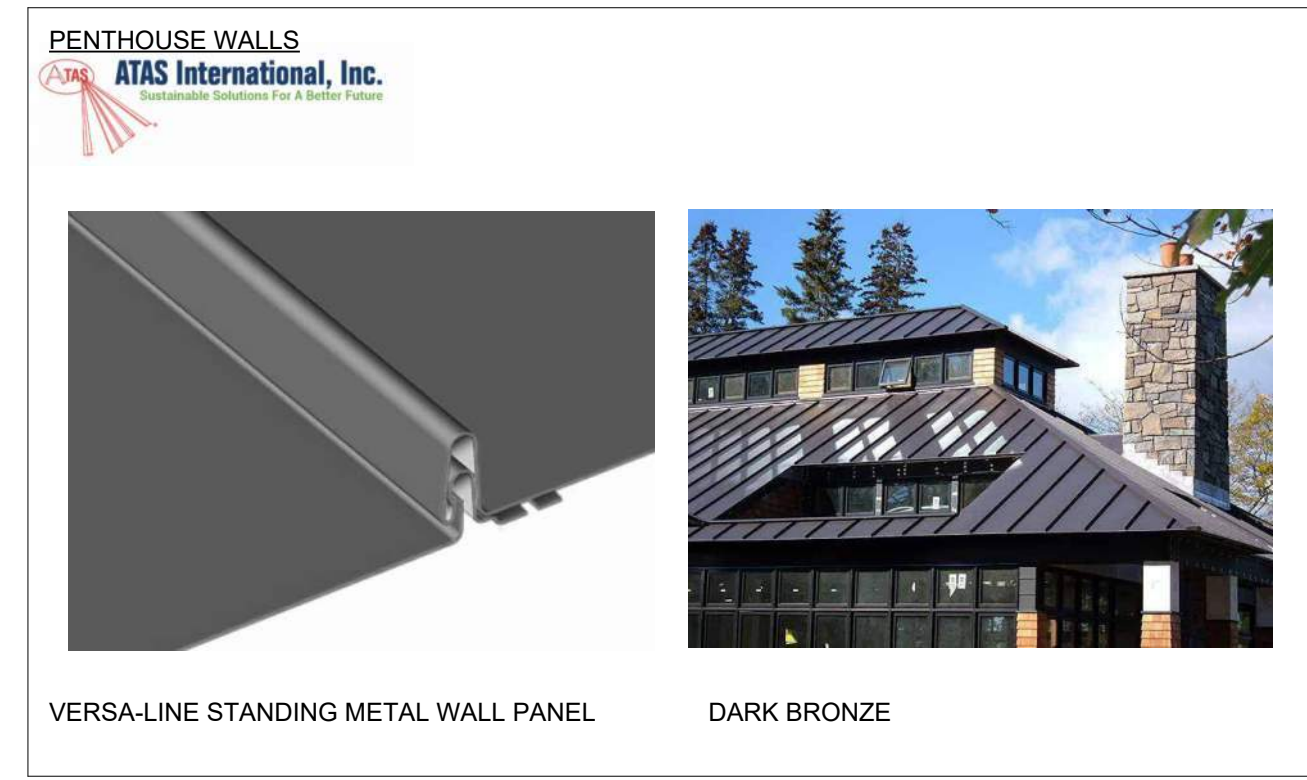
1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

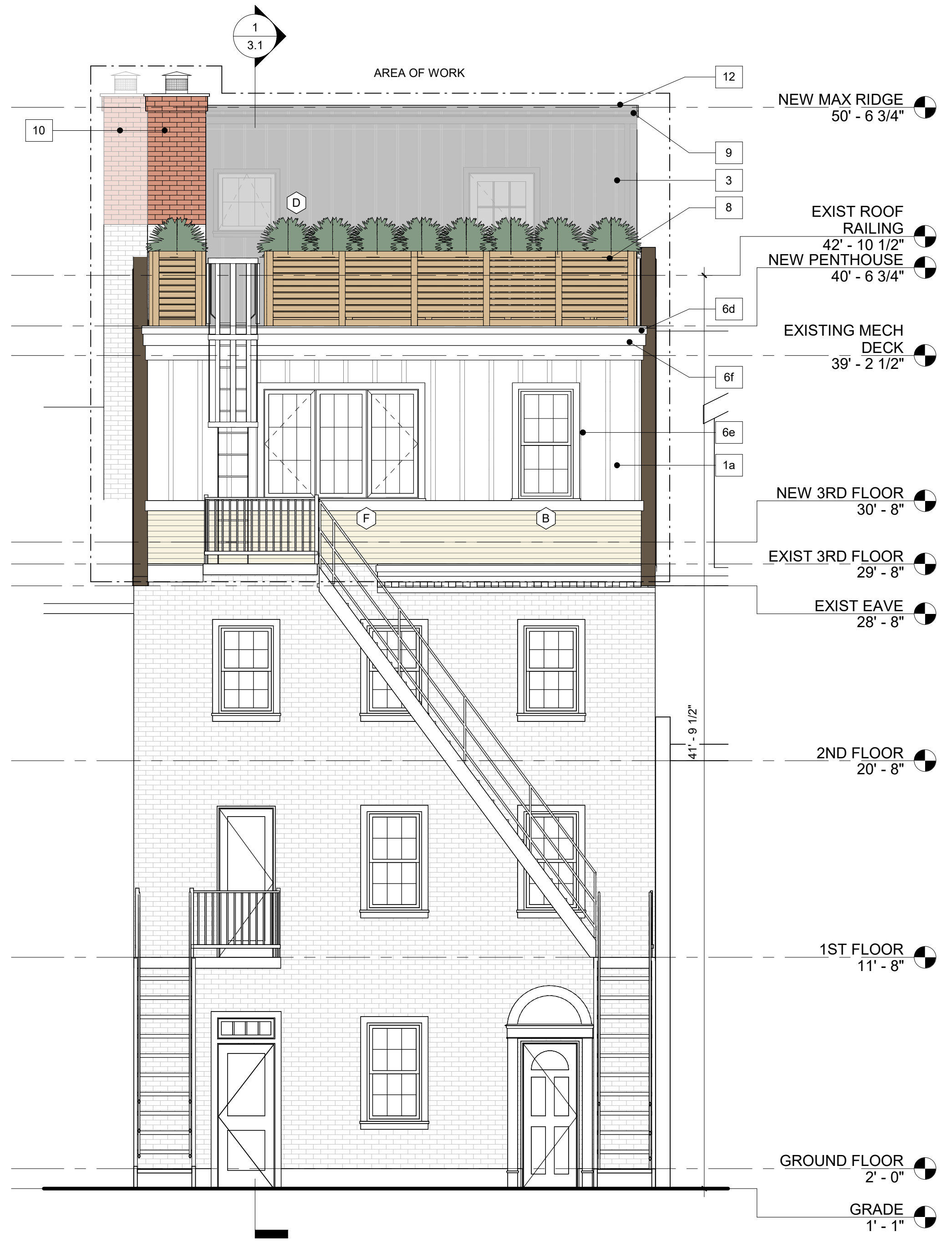


PROPOSED MATERIALS

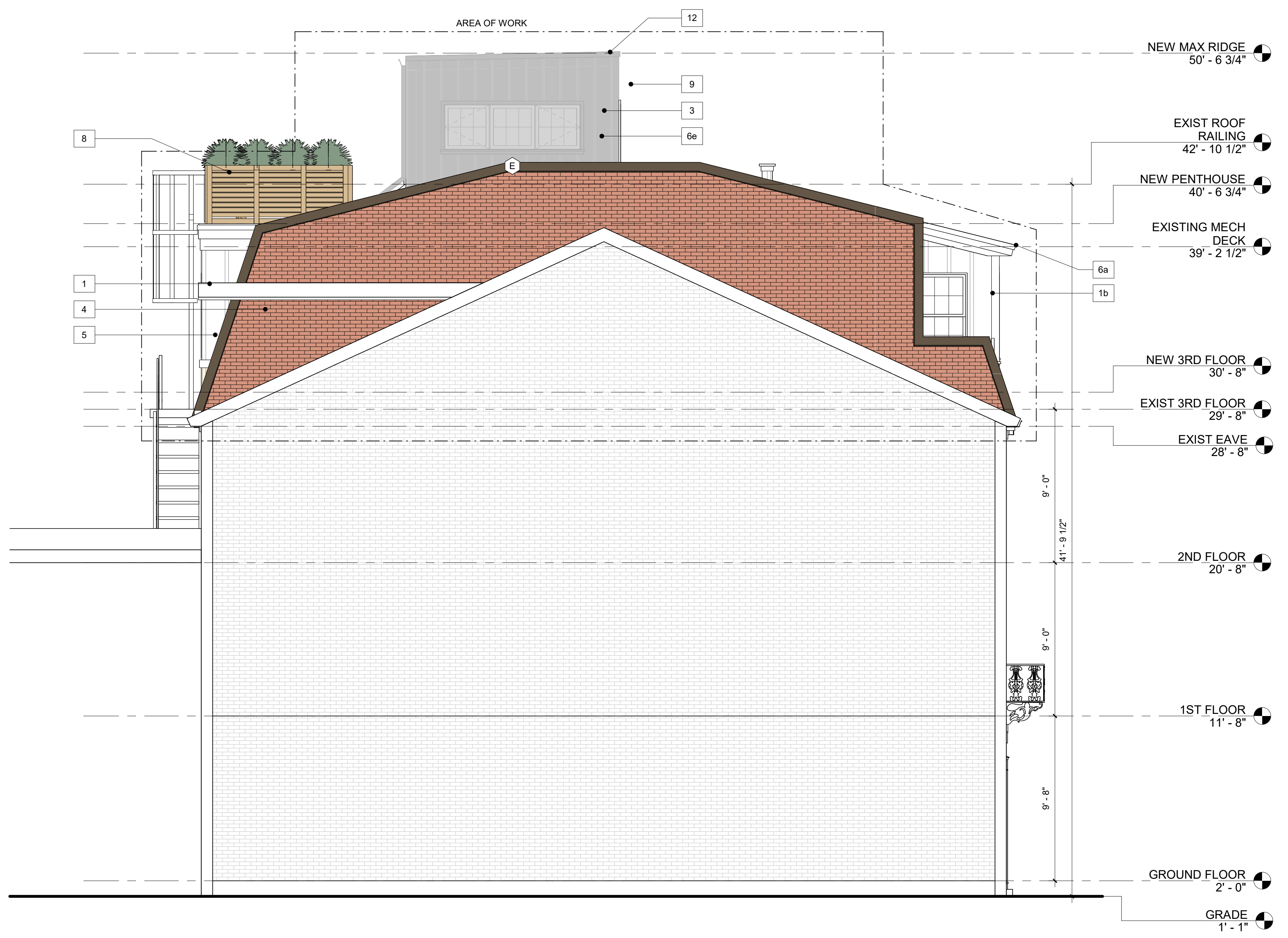
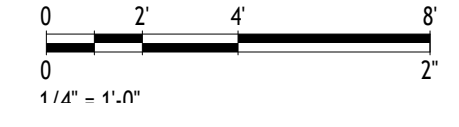


ELEVATION KEYNOTES

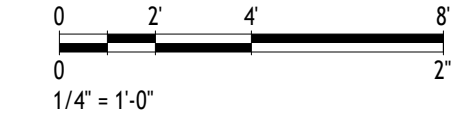
1. AZEK OR APPROVED SIMILAR SIDING
 - a. BOARD AND BATTEN
 - b. BEVEL- PAINTED TO MATCH EXISTING PAINTED BRICK BELOW.
2. SYNTHETIC SLATE SHINGLE ROOFING - BRAVA OR APPROVED EQUAL
3. METAL STANDING SEAM WALL PANEL
4. WOOD FRAMED PARTY WALL SYSTEM WITH THIN BRICK TO MATCH EXISTING NATURAL BRICK PARTY WALL BELOW
5. METAL COPING - COLOR TO MATCH METAL STANDING SEAM ROOFING AND WALL PANELS
6. AZEK OR APPROVED SIMILAR SIMULATED WOOD PRODUCTS
 - a. 1x4 TRIM ON 1x RAKE
 - b. 1x4 TRIM ON 1x FASCIA
 - c. 1x4 FRIEZE BOARD
 - d. 1x8 FRIEZE BOARD/ TRIM BAND
 - e. 5/4x4 WINDOW AND DOOR CASING, WITH APRON AT WINDOWS, TYP
 - f. 1x12 DECK BAND
7. COMPOSITE DECKING
 - a. WATERPROOF DECK SYSTEM ON PRESSURE TREATED FRAMING
8. CUSTOM CEDAR OR COMPOSITE PLANTERS
9. GUTTER AND OR DOWNSPOUT
10. BRICK CHIMNEY EXTENSION TO MATCH EXISTING
11. METAL RAIL SYSTEM
12. EPDM ROOF



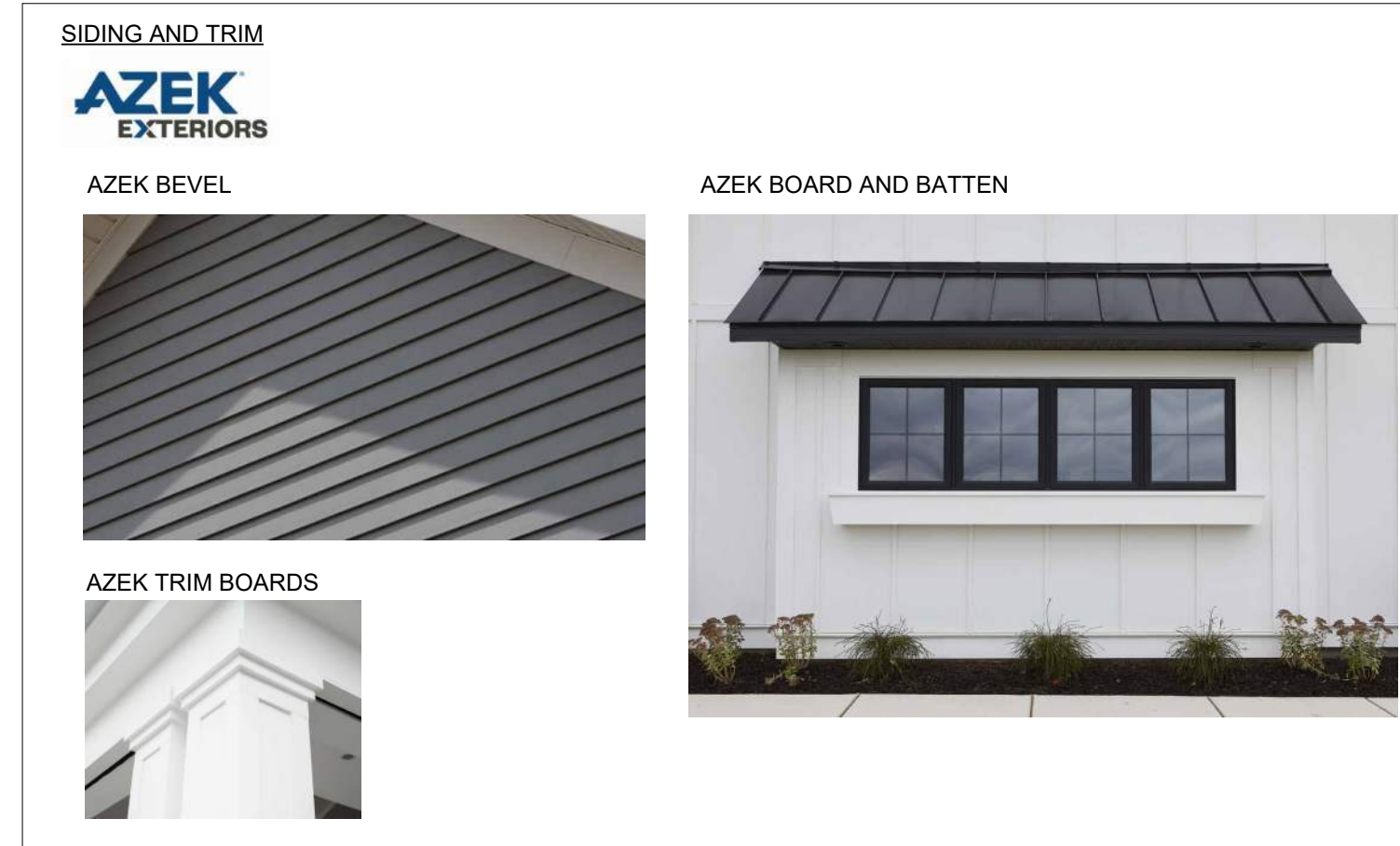
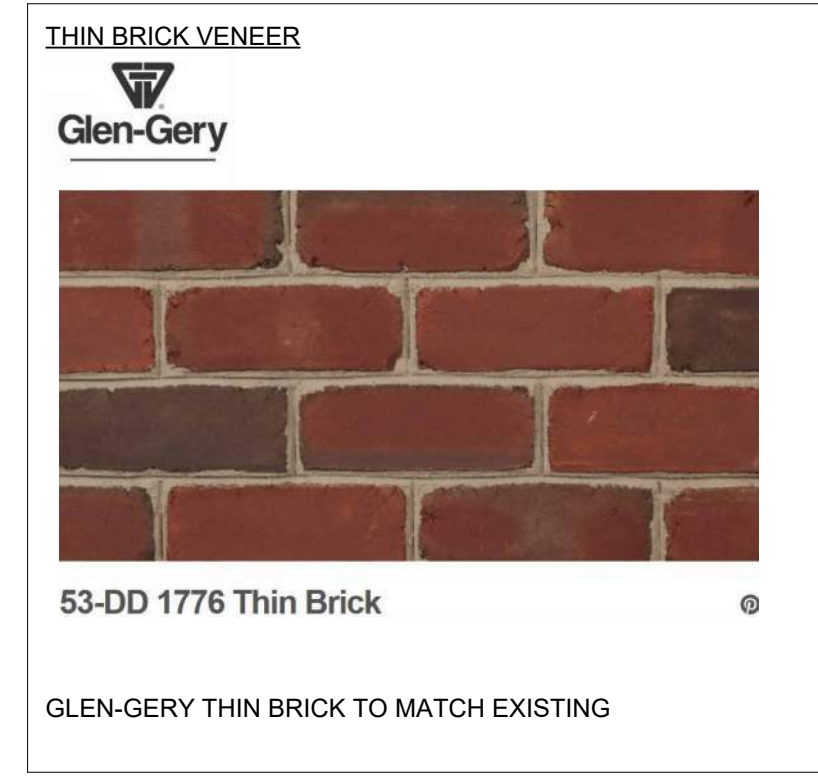
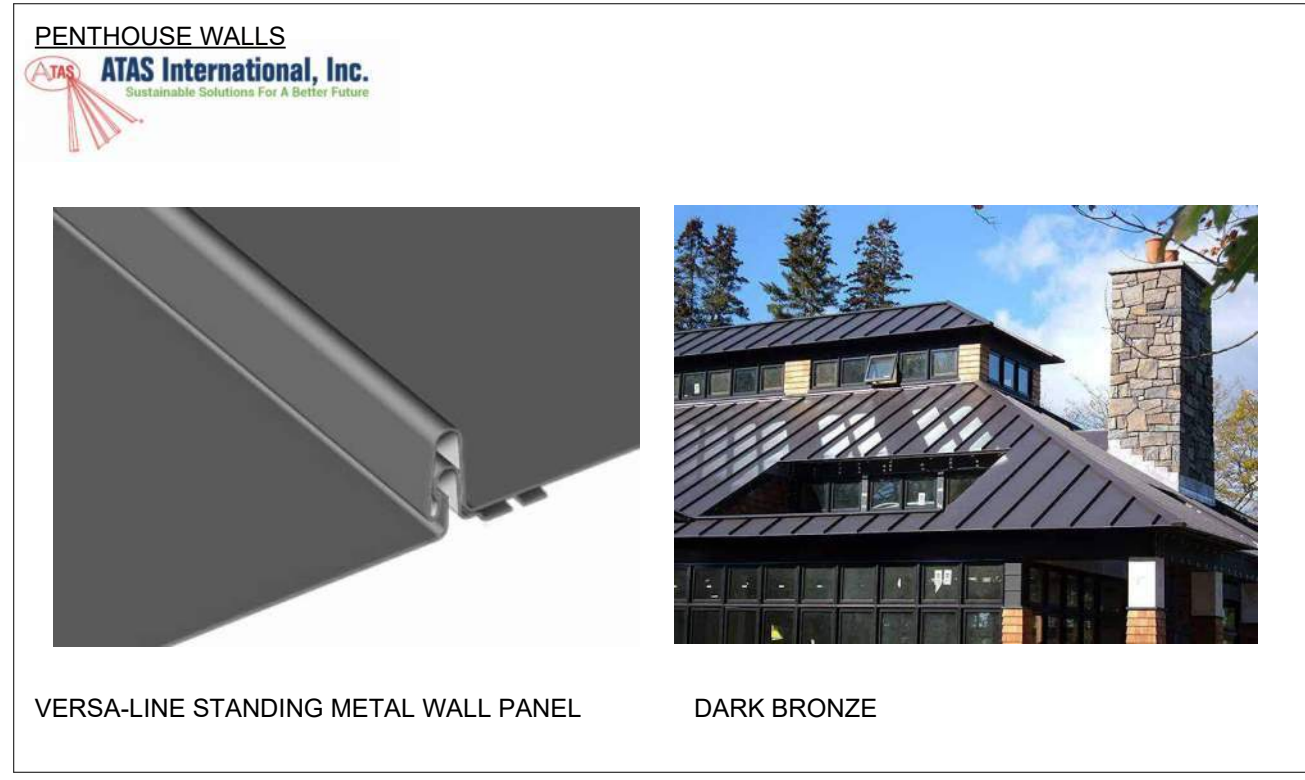
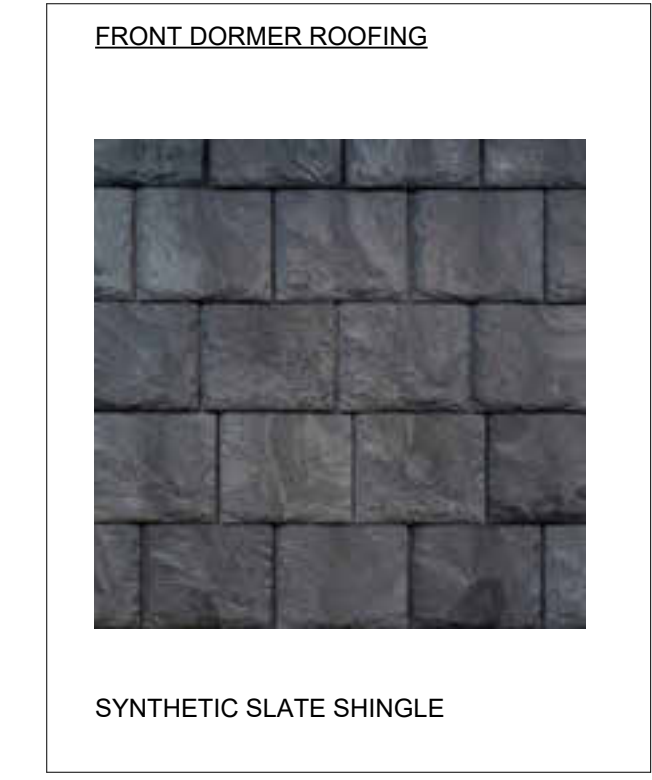
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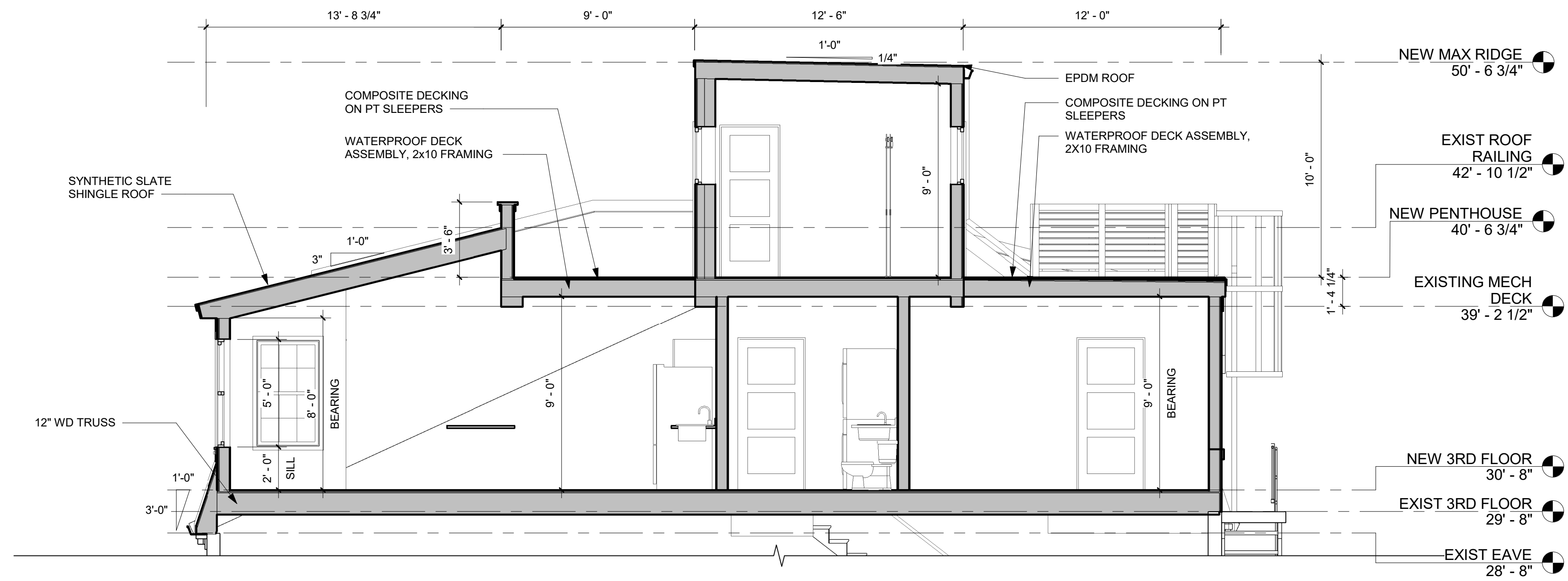


PROPOSED MATERIALS

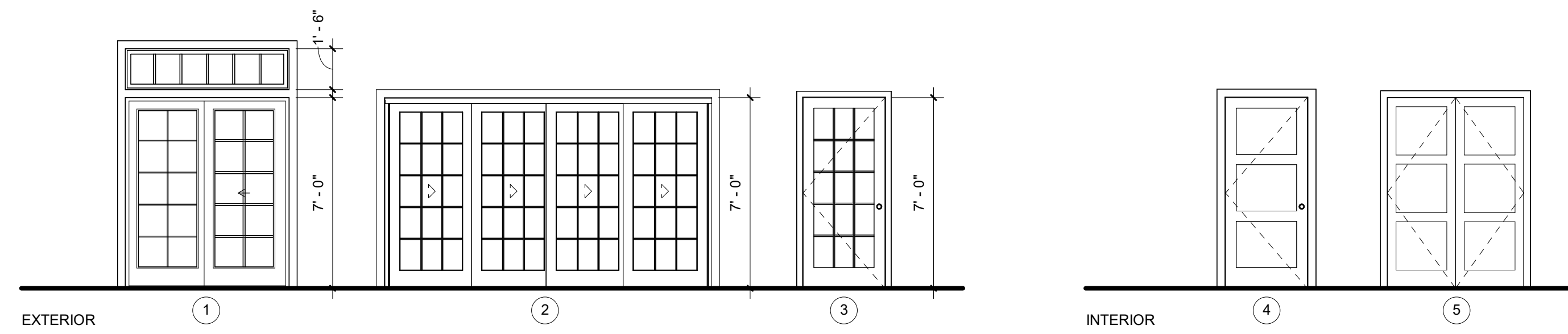
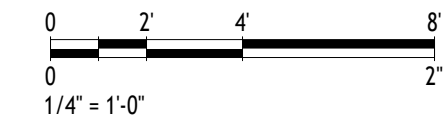


ELEVATION KEYNOTES

1. AZEK OR APPROVED SIMILAR SIDING
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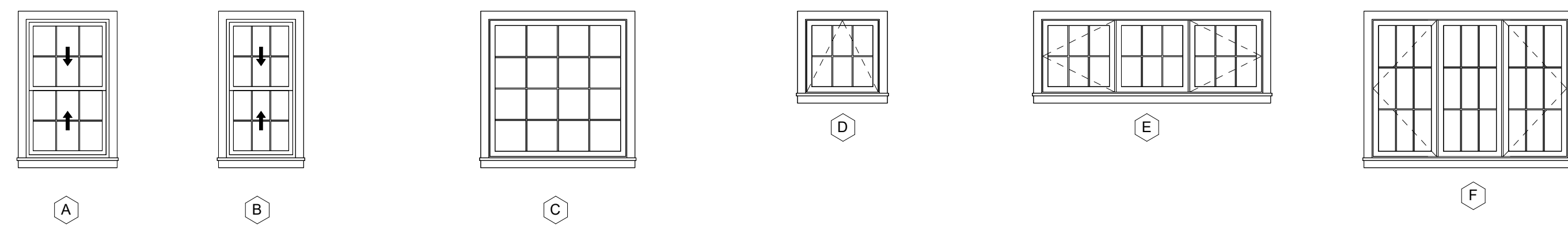
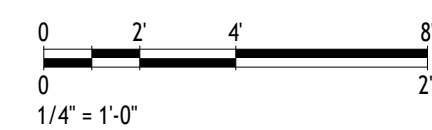


① BUILDING SECTION
1/4" = 1'-0"



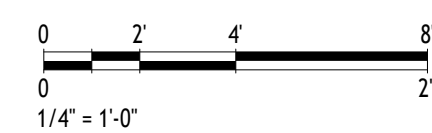
DOOR TYPES
1/4" = 1'-0"

BASIS OF DESIGN WINDOWS AND PATIO DOORS ARE PELLA 250 SERIES - VINYL



WINDOW TYPES
1/4" = 1'-0"

BASIS OF DESIGN WINDOWS AND PATIO DOORS ARE PELLA 250 SERIES - VINYL



TYPE	DESCRIPTION	SIZE		MODEL	REMARKS
		WIDTH	HEIGHT		
A	DOUBLE HUNG	3'-0"	5'-0"	3-0/5-0	
B	DOUBLE HUNG	2'-6"	5'-0"	2-6/5-0	
C	FIXED	5'-0"	5'-0"	5-0/5-0	
D	AWNING	2'-8"	2'-8"	2-8/2-8	
E	MULLED CASEMENT UNITS	8'-0"	2'-8"	(3) 2-8/2-8	
F	MULLED CASEMENT UNITS	7'-1"	5'-0"	(3) 2-4/5-0	

Project Address: 21 Congress Street

Permit Requested: Certificate of Approval

Application: Public Hearing #1

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 5 & Downtown Overlay
- Land Use: Commercial
- Land Area: 24,300 SF +/-
- Estimated Age of Structure: c.1950 (Congress St. façade)
- Building Style: Modern
- Number of Stories: 2
- Historical Significance: NC
- Public View of Proposed Work: Congress Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: Renovations and new construction to the existing structure.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Renovations to the Fleet Street and Congress Street facades.
- New construction to the Haven Court façade (create new storefronts)
- Add additional penthouse level.



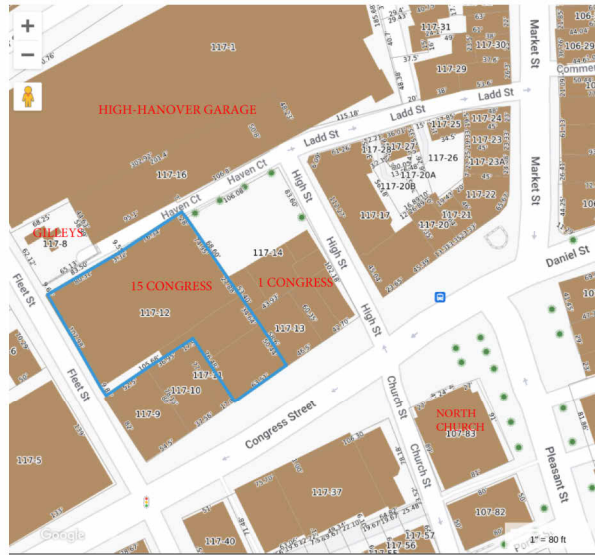
**HISTORIC
SURVEY
RATING
NC**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
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PROJECT NARRATIVE

The Applicant, One Market Square, LLC, intends to merge and combine Map 0117 Lot 14 (with an address of 1 Congress Street and 15 High Street) with Map 0117 Lot 12 (with an address of 15 Congress Street).

Map 0117 Lot 14 is owned by One Market Square, LLC. Map 0117 Lot 12 is owned by Wenberry Associates, LLC., and the Applicant has a certain binding Purchase and Sale Agreement with Wenberry Associates, LLC.

This application includes newly proposed changes to 15 Congress Street (Map 0117 Lot 12), and revisions to 1 Congress Street (Map 0117 Lot 14) which was previously approved by HDC, and as modified by this application.

SITE

Significant improvements are proposed for Haven Court (private way owned by One Market Square, LLC) including utilities, hardscape pavers, cantenary lights, trash and recycling and landscaping. The design intent is to connect High Street with Fleet Street for the benefit of the public and to provide retail continuity, which is vital for retail success. The proposed Haven Court connection is supported by the Master Plan as part of an overall connection running from McIntyre to Vaughan Mall.

The existing grade on Haven Court will be changed to provide for a handicap accessible connection between High Street and Fleet Street.

BUILDING - 15 CONGRESS STREET (Map 0117 Lot 12)

Scope of work includes rehabilitation and adaptive reuse of existing structures, with minor accessory additions.

For newly proposed changes to 15 Congress Street (Map 0117 Lot 12), the following is proposed:

-New projecting storefronts with recessed entrance stoops are proposed along the north elevation of the property to create a retail experience between High Street and Fleet Street. The upper floors and roof top will be residential use. The lower floor will remain retail and restaurant uses.

-An egress stair tower, accessible elevator, and main entrance for the upper floors of residential will be accessed from Haven Court.

-A new rooftop penthouse, and secondary egress stair overrun are proposed at the existing roof. Existing flat roof will accommodate a roof deck with green roof elements for tenant use, solar PV panels, and mechanical equipment.

-The existing brick facade on Congress Street will be repaired and restored according to historic photographs. The existing brick facade on Fleet Street will be repaired, with new awning proposed at storefront windows and entrances.

**1 CONGRESS STREET
(MAP 0117 LOT 14)
&
15 CONGRESS STREET
(MAP 0117 LOT 12)**

**RENOVATION & ADDITIONS
1 & 15 CONGRESS STREET
ONE MARKET SQUARE, LLC
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING 1
NOVEMBER 2024**

BUILDING - 1 CONGRESS STREET (Map 0117 Lot 14)

AS PREVIOUSLY APPROVED:

REHABILITATION AND ADAPTIVE REUSE OF EXISTING HISTORIC STRUCTURES WITH A NEW ADJACENT STRUCTURE ON REAR SURFACE PARKING LOT.

ONE LEVEL OF BELOW GRADE PARKING IS PROPOSED. RETAIL IS LOCATED AT FIRST FLOOR WITH RESIDENTIAL UNITS AND OFFICE SPACE ABOVE.

EXISTING FOCAL BUILDINGS ON CONGRESS AND HIGH STREETS WILL BE REPAIRED, RESTORED AND BROUGHT UP TO CURRENT CODES. THE SMALLER WOODEN SHED ADDITIONS TO THE REAR OF THESE BUILDINGS WILL BE REPLACED WITH NEW CONSTRUCTION.

REVISIONS TO PREVIOUSLY APPROVED APPLICATION:

1. **EXTEND THE REAR OF PROPOSED ADDITION (WEST FACADE) TEN FEET FURTHER WEST TO THE PROPERTY LINE, TO CONNECT WITH THE ABUTTING EXISTING BUILDING AT 15 CONGRESS STREET.**
2. **ADD NEW ENTRANCE DOOR AND CANOPY ALONG HAVEN COURT AT EXPANDED BUILDING AREA ABUTTING 15 CONGRESS STREET. THIS WILL BE THE PRIMARY ENTRANCE FOR RESIDENTS OF 15 CONGRESS STREET.**
3. **REPLACE WEST SKYLIGHTS AT ATTIC LEVEL WITH RECESSED BALCONIES.**
4. **EXTEND PREVIOUSLY APPROVED FACADE MATERIALS FURTHER DOWN, RANGING 0 TO 53 INCHES, TO MEET THE PROPOSED LOWERED GRADE AT HAVEN COURT.**

HN0.01 COVER
1-15 CONGRESS STREET

10/18/24



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HN0.14 - HISTORIC CONDITIONS, HAVEN COURT

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HN1.02 - SITE PLAN, PROPOSED
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HN1.04 - ROOF PLAN

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HN2.03 - S/E ELEVATIONS, SOUTH ALLEY
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HN3.08 - DETAIL - SOUTH ALLEY, STOREFRONT

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HN5.01 - STOREFRONTS & CURTAIN WALLS

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HN6.01 - MATERIALS, WINDOWS
HN6.02 - MATERIALS, SKYLIGHTS
HN6.03 - MATERIALS, STOREFRONT
HN6.04 - MATERIALS, CLADDING & ROOFING
HN6.05 - MATERIALS, MASONRY
HN6.06 - MATERIALS, SPECIALTIES

DRAWING INDEX - 1 CONGRESS STREET (**REVISIONS** TO PREVIOUSLY APPROVED APPLICATION)

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H5.17 ROOF AREAS CALCULATIONS

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H5.24 ELEVATION - REAR (WEST) ALLEY (revised)

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H5.36 VINGNETTE - HIGH ST AT LADD ST & HAVEN CT (revised)

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H5.52 MATERIALS - ARCADE FENESTRATION
H5.53 MATERIALS - CLADDING
H5.54 MATERIALS - CLADDING
H5.55 MATERIALS - STOREFRONT & LIGHTING SCONCE

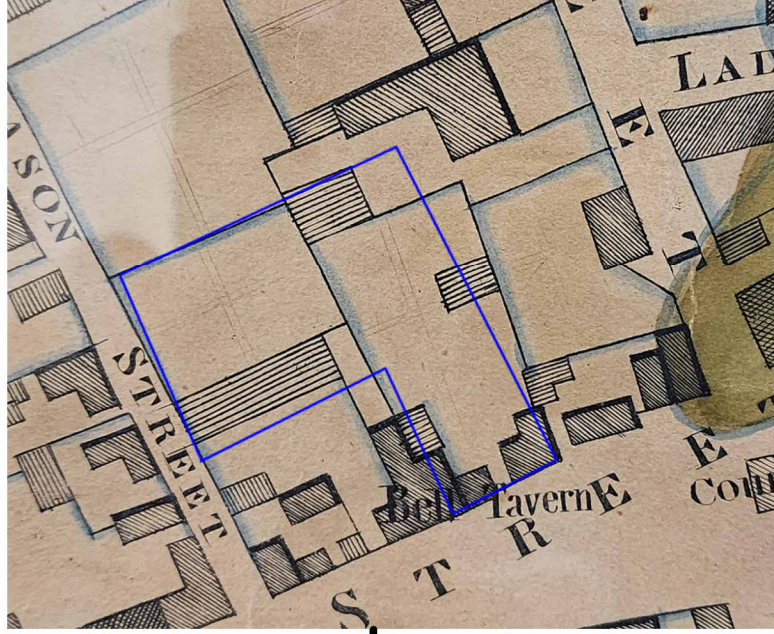
HN0.02 **DRAWING INDEX**
1-15 CONGRESS STREET

10/18/24



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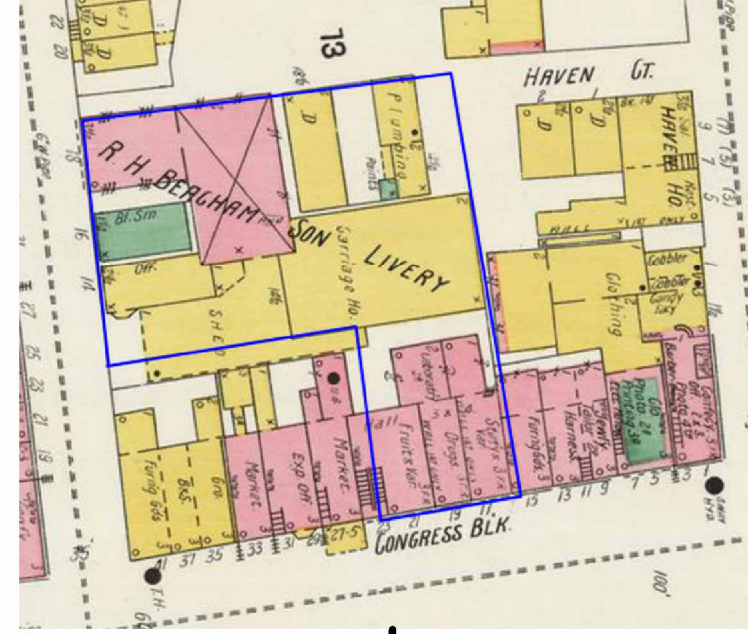
MAP BOUNDARIES



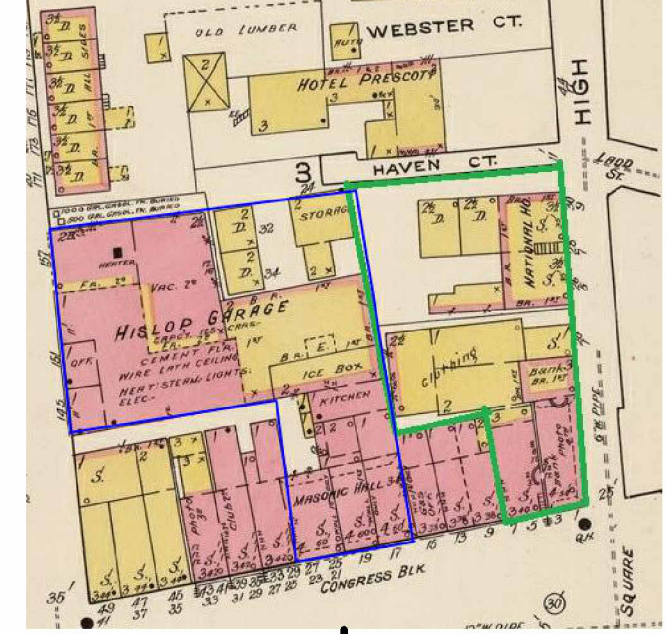
1813
STABLES & COMMERCE



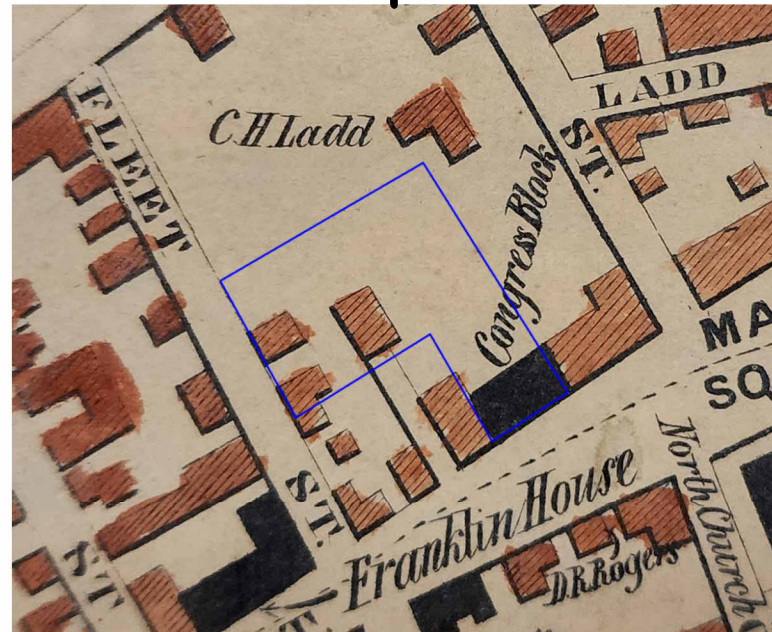
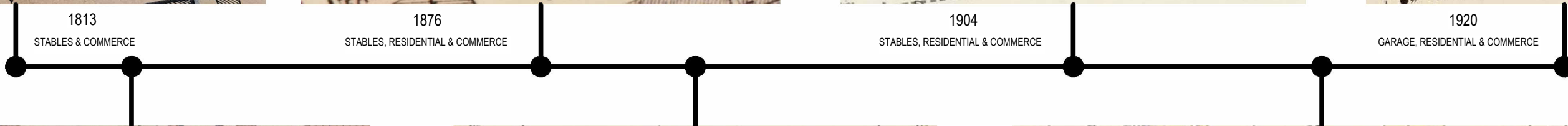
1876
STABLES, RESIDENTIAL & COMMERCE



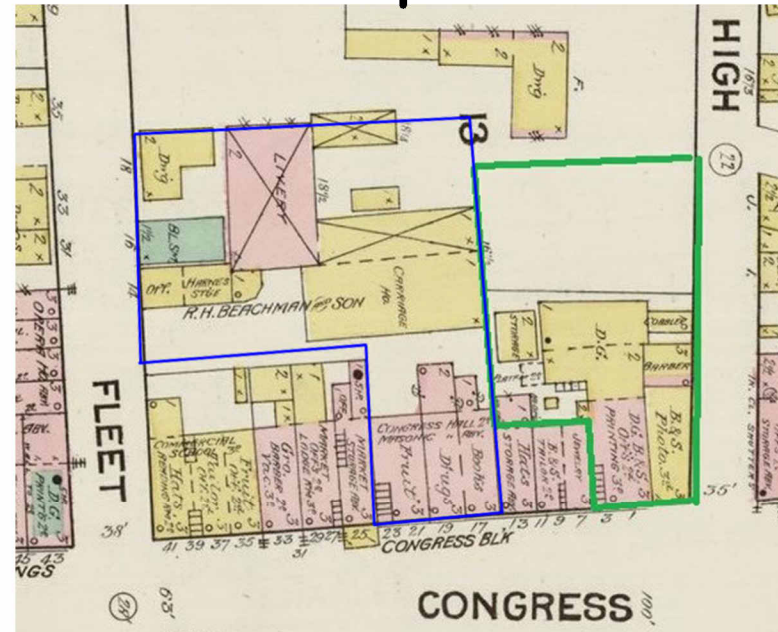
1904
STABLES, RESIDENTIAL & COMMERCE



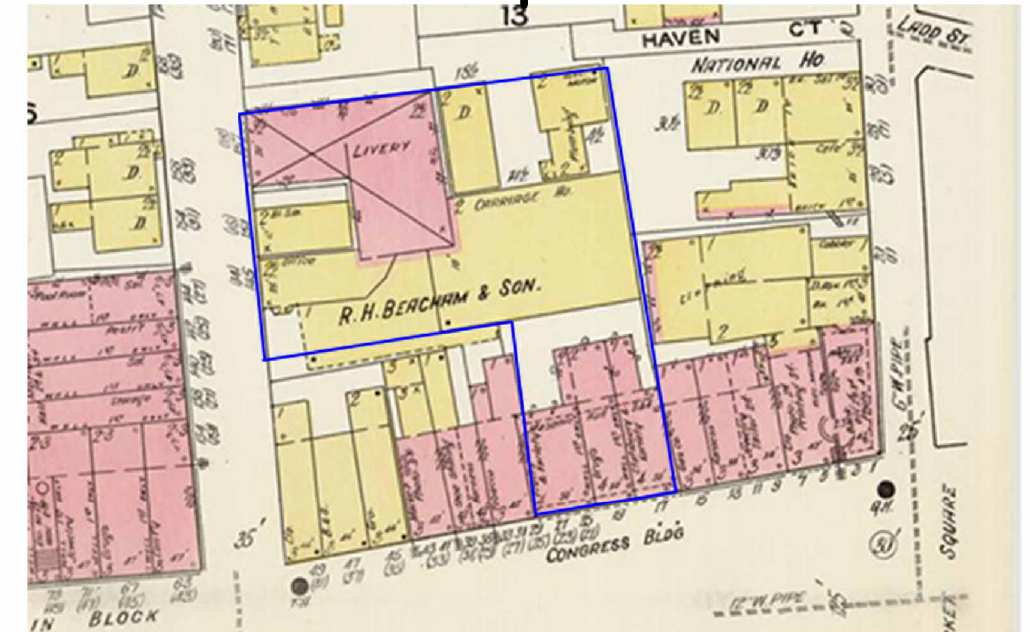
1920
GARAGE, RESIDENTIAL & COMMERCE



1850
STABLES, RESIDENTIAL & COMMERCE



1887
STABLES, RESIDENTIAL & COMMERCE



1910
STABLES, RESIDENTIAL & COMMERCE

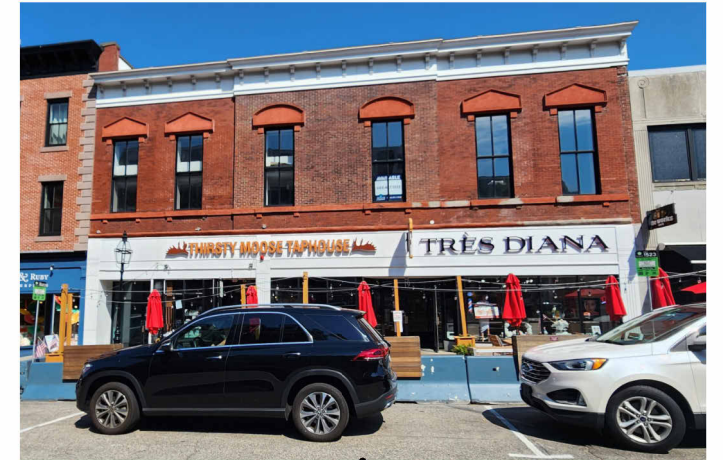
HN0.11 HISTORIC CONDITIONS, SITE MAPS 1-15 CONGRESS STREET

10/18/24



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CONGRESS STREET



PRIOR TO THE BELL TAVERN FIRE OF MARCH, 1867
MULTIPLE COMMERCE TENANTS
RESIDENTIAL ABOVE

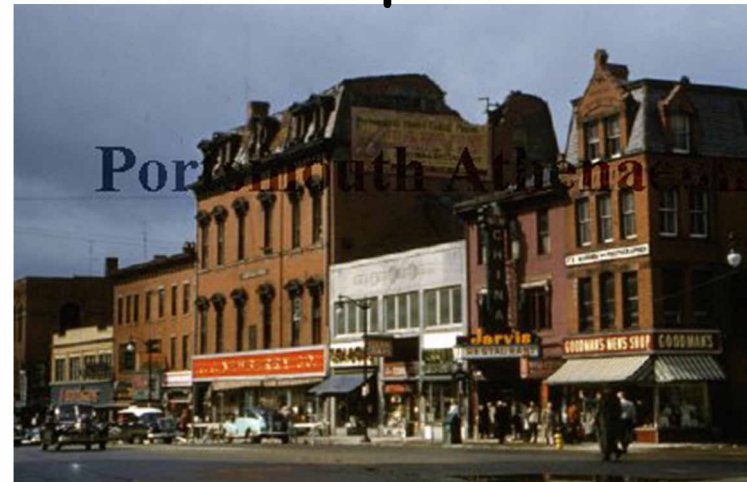
1955
NEWBERRY

1980
NEWBERRY

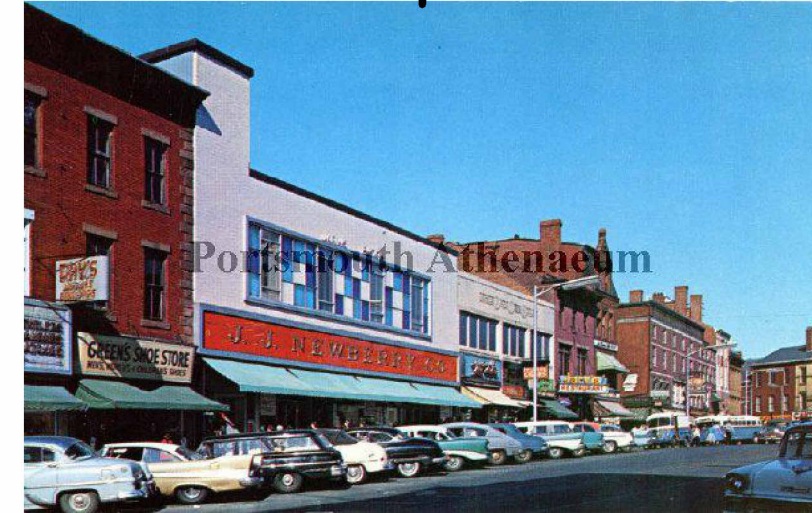
2024
EXISTING



1890
PRESTON'S PHARMACY
RESIDENTIAL ABOVE



FIRE FEB 29TH, 1956



1988
NEWBERRY



DEMOLITION AFTER THE FIRE

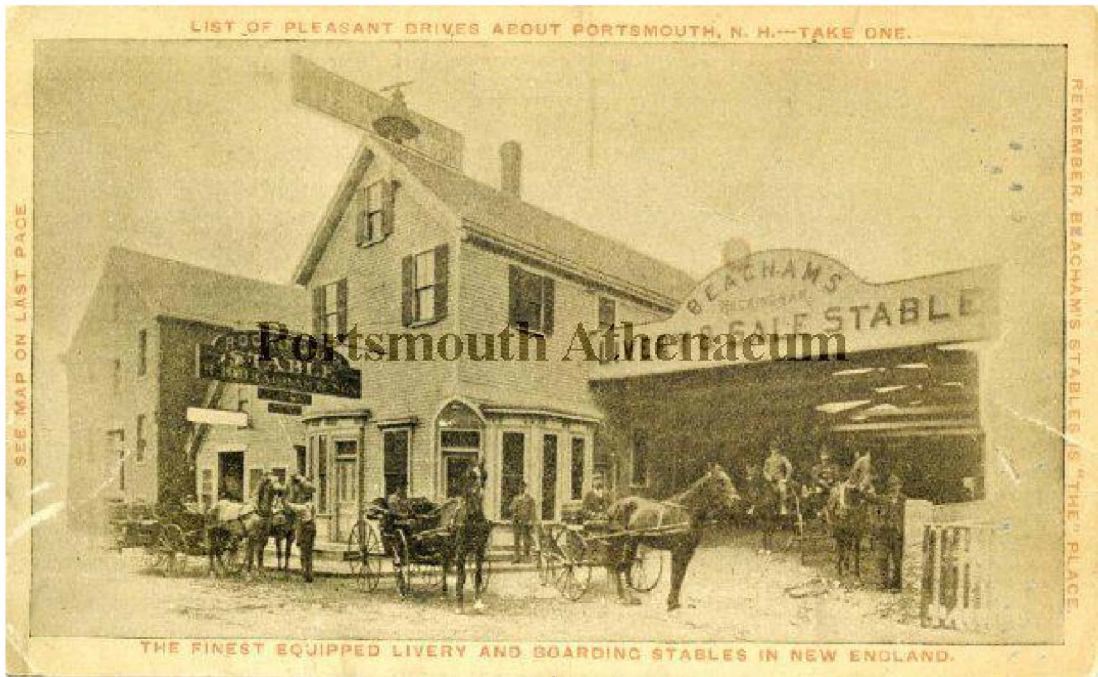
HN0.12 HISTORIC CONDITIONS, CONGRESS
1-15 CONGRESS STREET

10/18/24

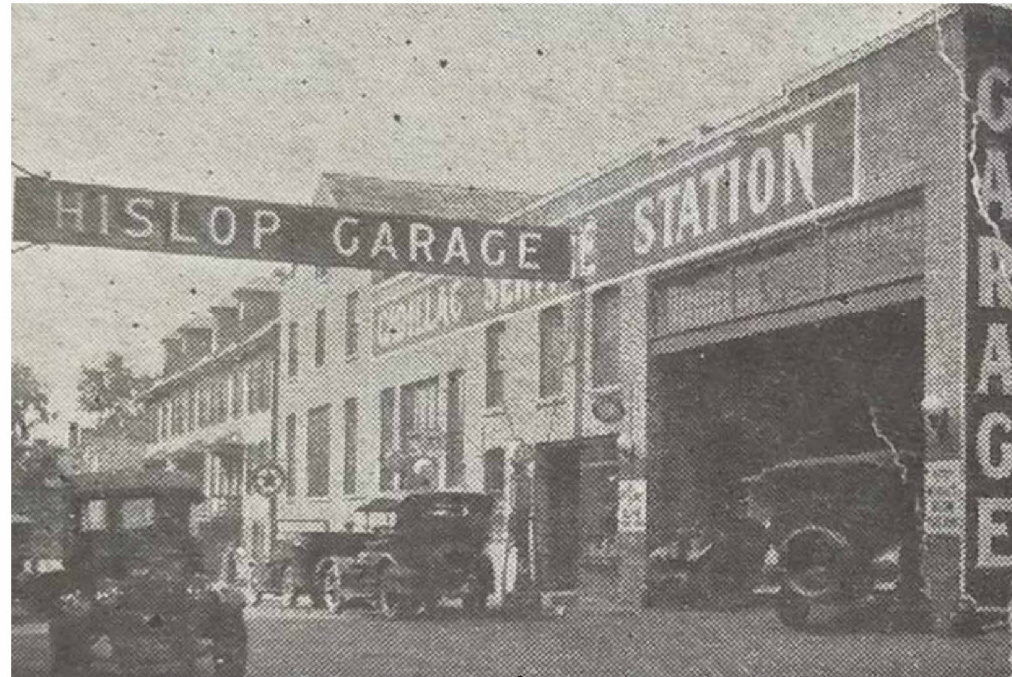


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FLEET STREET



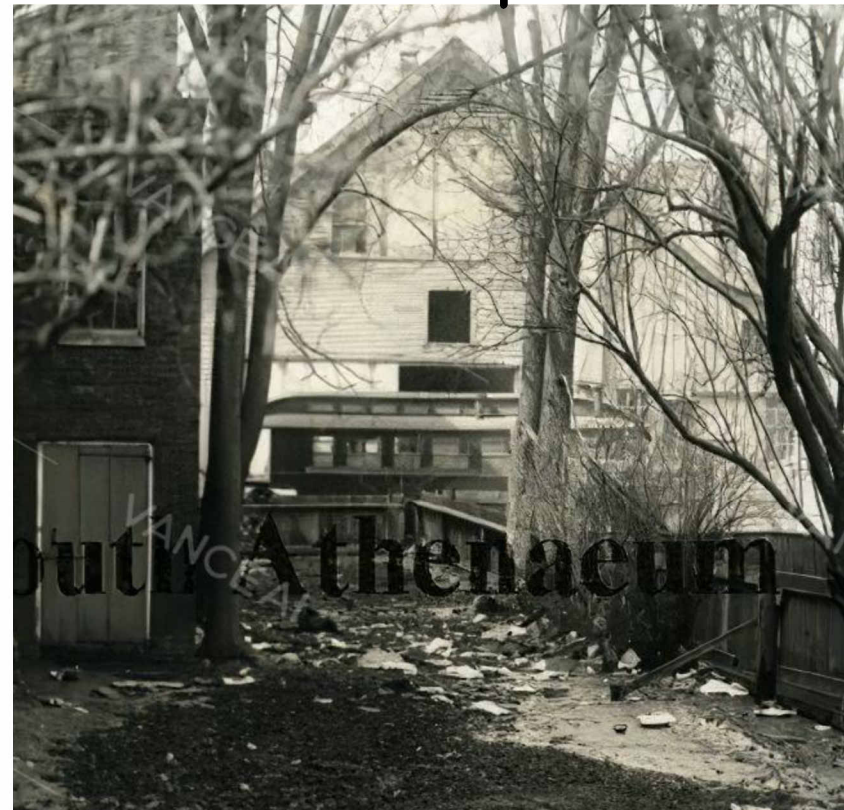
1900
HAVEN HOUSE YARD LOOKING TOWARDS
THE BACK OF LIVERY STABLES



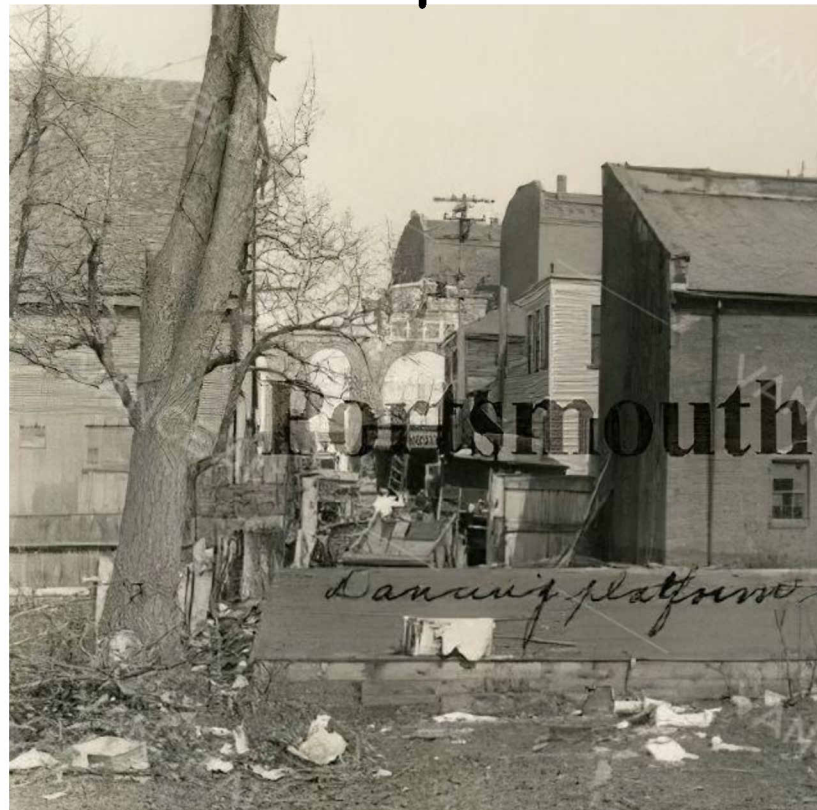
1910-1951
HISLOP GARAGE OWNED BY LIVERY STABLES UNTIL 1912



2024
EXISTING



1907
HAVEN HOUSE YARD LOOKING TOWARDS
THE BACK OF LIVERY STABLES



1907-1910
HAVEN HOUSE YARD LOOKING TOWARDS
THE BACK OF LIVERY STABLES



1927-1991
NEWBERRY COMPANY LIFESPAN

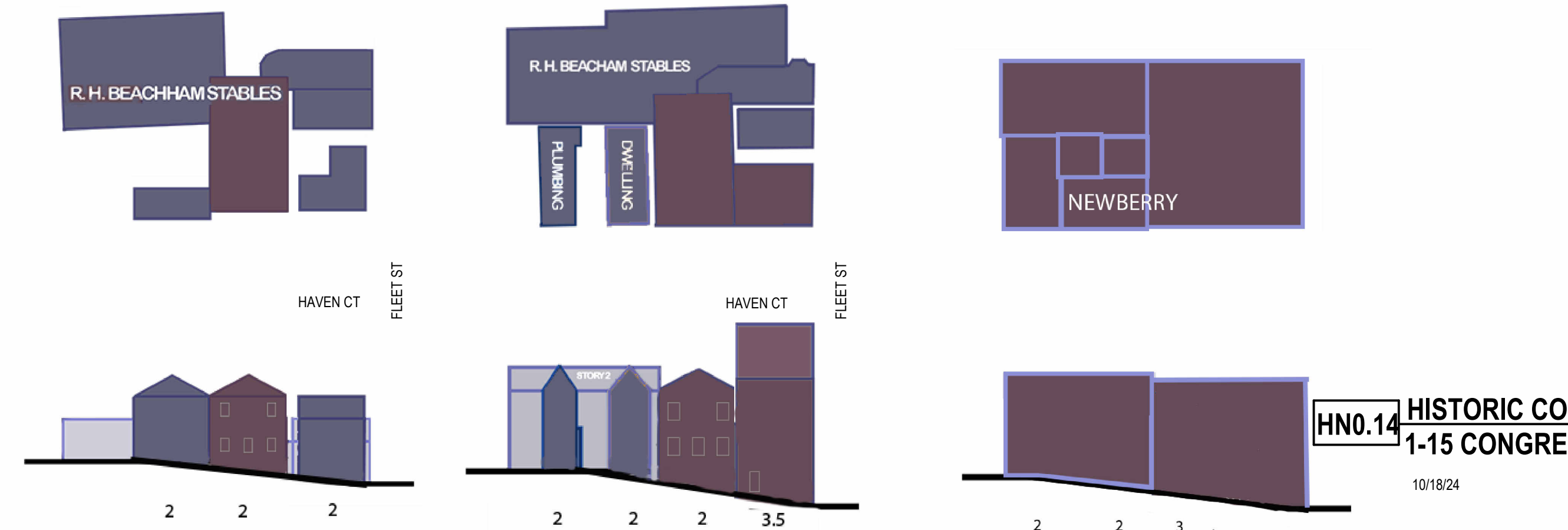
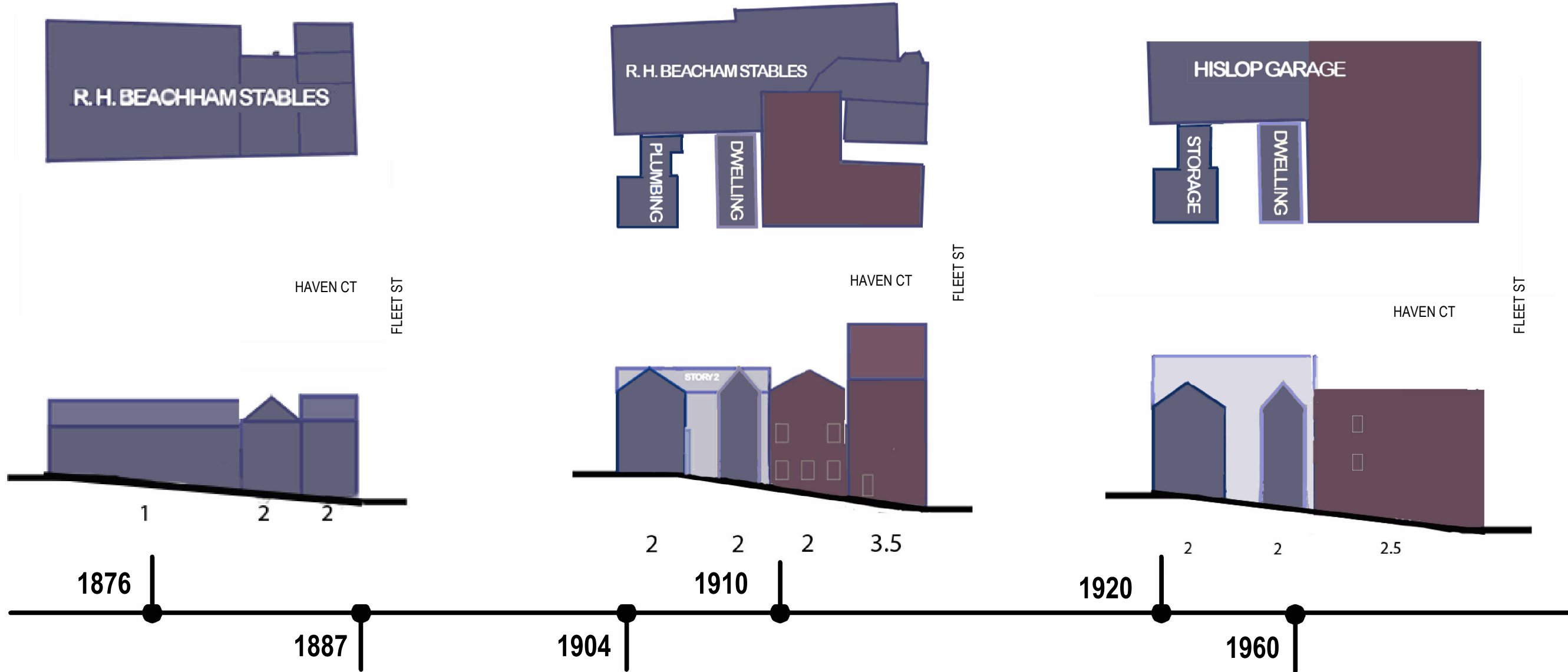
HN0.13 HISTORIC CONDITIONS, FLEET ST
1-15 CONGRESS STREET

10/18/24



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HAVEN COURT



HN0.14 HISTORIC CONDITIONS, HAVEN CT
1-15 CONGRESS STREET

10/18/24



PLAN REFERENCES:

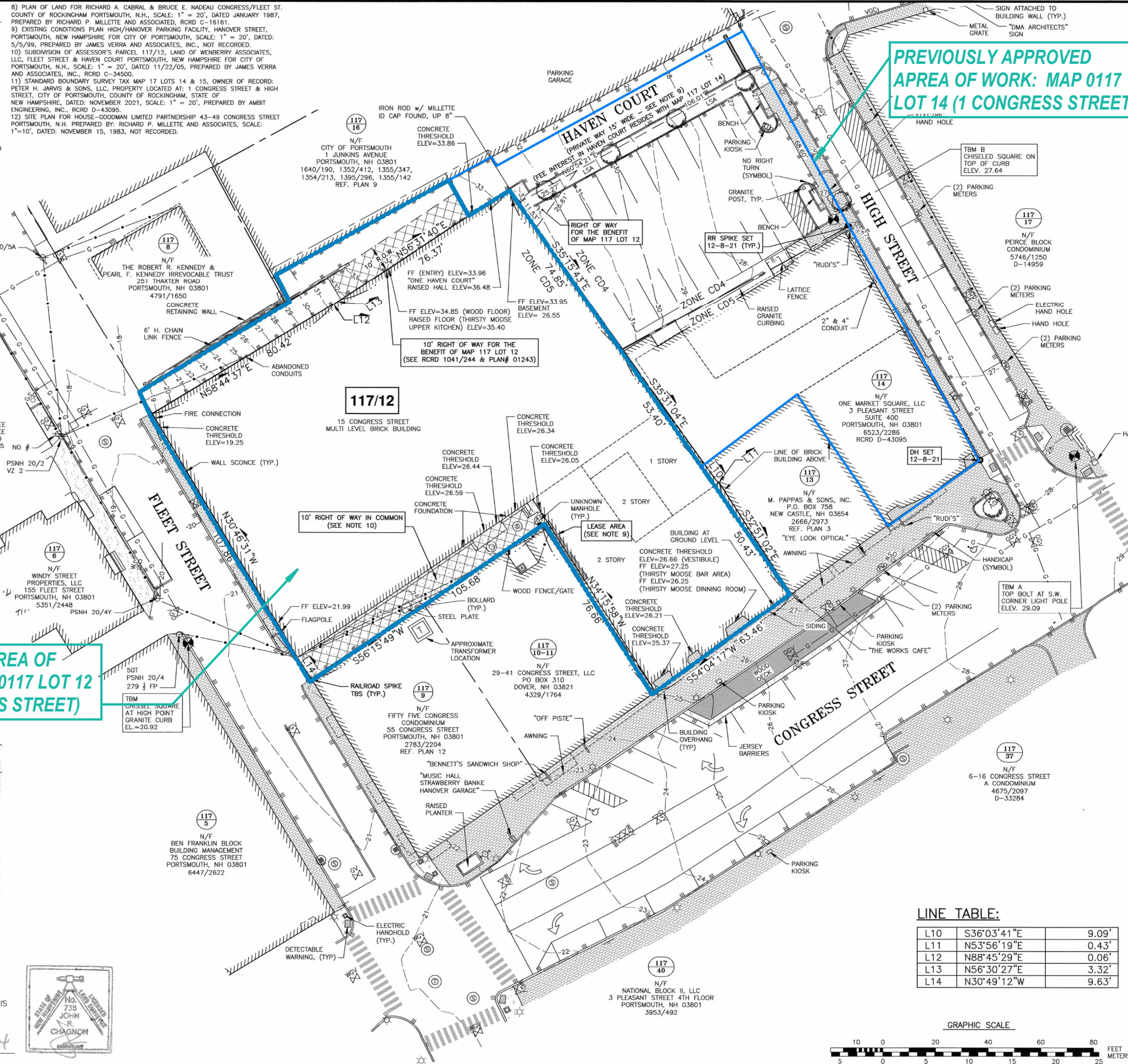
- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH, N.H., BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN. = 20 FT., DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1 IN. = 20 FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1 IN. = 20 FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1 IN. = 20 FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE: 1 IN. = 40 FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 02537.
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1 IN. = 10 FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161.
- 9) EXISTING CONDITIONS PLAN HIGH/HANOVER PARKING FACILITY, HANOVER STREET, PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, SCALE: 1" = 20', DATED: 5/5/99, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., NOT RECORDED.
- 10) SUBDIVISION OF ASSASSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.
- 11) STANDARD BOUNDARY SURVEY TAX MAP 17 LOTS 14 & 15, OWNER OF RECORD: PETER H. JARVIS & SONS, LLC, PROPERTY LOCATED AT: 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED: NOVEMBER 2021, SCALE: 1" = 20', PREPARED BY AMBIT ENGINEERING, INC., RCRD D-43095.
- 12) SITE PLAN FOR HOUSE-GOODMAN LIMITED PARTNERSHIP 43-49 CONGRESS STREET PORTSMOUTH, N.H. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SCALE: 1"=10', DATED: NOVEMBER 15, 1983, NOT RECORDED.

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- BOUND FOUND BOUND FOUND
- S SEWER LINE
- G GAS LINE
- D STORM DRAIN
- W WATER LINE
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC WIRES
- CONTOUR CONTOUR
- 100 SPOT ELEVATION
- 97x3 EDGE OF PAVEMENT (EP)
- UTILITY POLE
- WATER SHUT OFF/CURB STOP
- GAS SHUT OFF
- GATE VALVE
- HYD HYDRANT
- METER (GAS, WATER, ELECTRIC)
- CATCH BASIN
- TELEPHONE MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- EL. ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- INV INVERT
- TBM TEMPORARY BENCH MARK
- TYP TYPICAL
- VGC/SGC VERTICAL/SLOPED GRANITE

PROPOSED AREA OF WORK: MAP 0117 LOT 12 (15 CONGRESS STREET)

PREVIOUSLY APPROVED AREA OF WORK: MAP 0117 LOT 14 (1 CONGRESS STREET)



LOCATION MAP 1" = 300'

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOT 12.
 - 2) OWNERS OF RECORD: WENBERRY ASSOCIATES, LLC C/O CP MANAGEMENT 11 COURT STREET SUITE 100 EXETER, N.H. 03833 3060/164
 - 3) PARCEL IS LOCATED IN CHARACTER DISTRICT 5.
 - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 5) EXISTING LOT AREA: 23,708 S.F. 0.5443 ACRES
 - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY AND EXISTING CONDITIONS ON ASSESSORS MAP 117 LOT 12.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
 - 9) PARCEL IS SUBJECT TO A LEASE AGREEMENT FOR A PORTION OF LESSEE'S WALL IS ENROACHING ON SUBJECT PARCEL. SEE RCRD 1512/410 & 1690/130.
 - 10) PARCEL IS SUBJECT TO A RIGHT OF WAY IN COMMON FOR PASSAGE AND UTILITIES AND GENERAL PURPOSES PER DEEDS. SEE RCRD 322/318, 322/380, 322/381, 348/80, 348/81, 348/82, 1484/44, 2713/797, AND RCRD C-16161.
 - 11) PARCEL IS SUBJECT TO A UTILITY EASEMENT TO P.S.N.H. FROM UTILITY POLE 20/4 ON FLEET STREET EASTERLY TO GRATORS EASTERLY BOUNDARY. SEE RCRD 3124/695.
 - 12) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

0	7/24/24	ISSUED FOR COMMENT	RJB	JRC
No.	DATE	DESCRIPTION	BY	CHK.

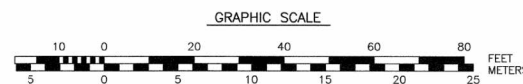
HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282

PROJECT: APPLICANT: ONE MARKET SQUARE, LLC
15 CONGRESS STREET PORTSMOUTH, N.H.

TITLE: EXISTING CONDITIONS PLAN

LINE TABLE:

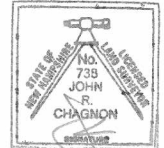
L10	S36°03'41"E	9.09'
L11	N53°56'19"E	0.43'
L12	N88°45'29"E	0.06'
L13	N56°30'27"E	3.32'
L14	N30°49'12"W	9.63'



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

John R. Chagnon
JOHN R. CHAGNON, LLS 738

7-24-24
DATE

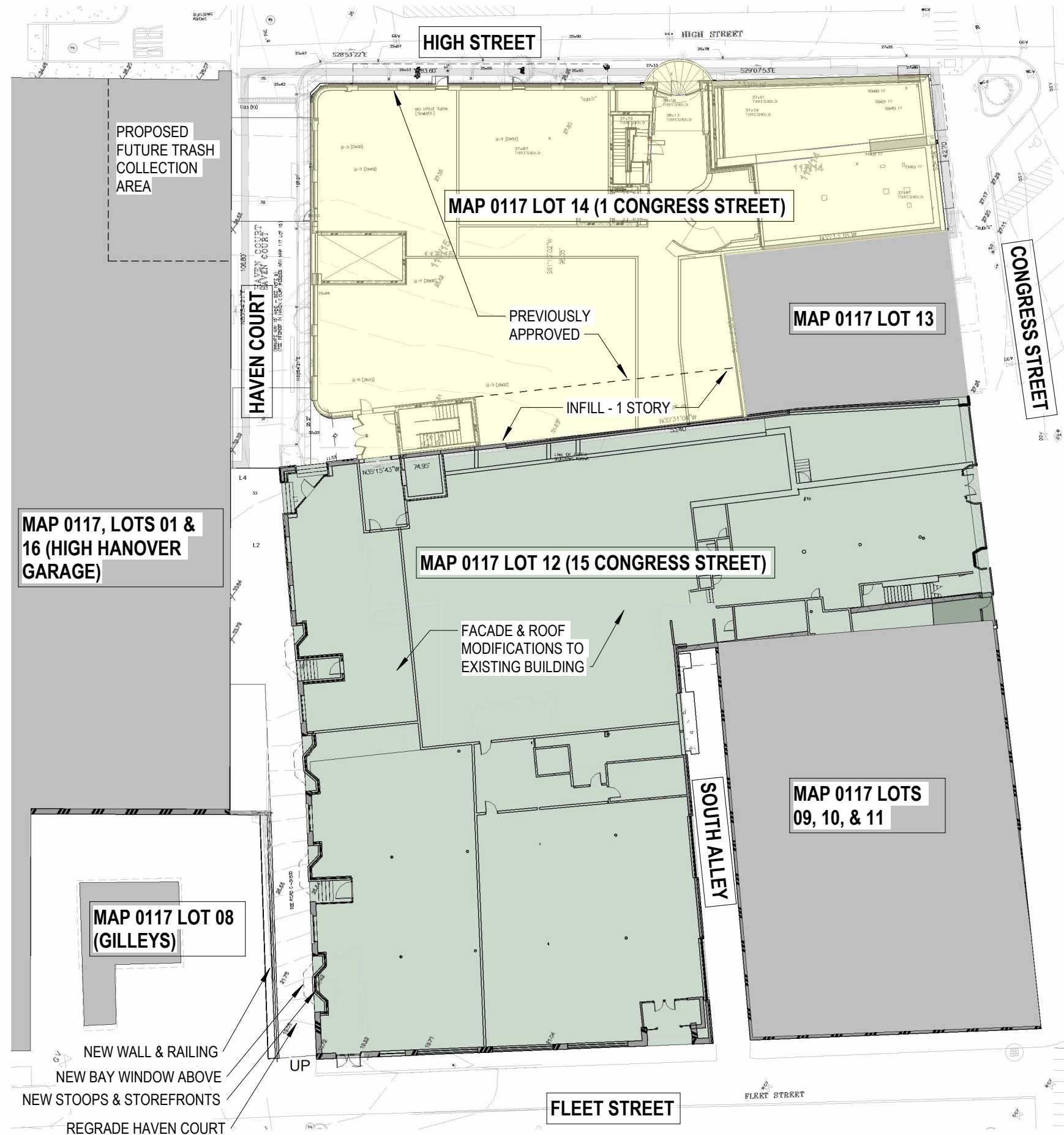


HN1.01 SITE SURVEY, EXISTING 1-15 CONGRESS STREET

10/18/24

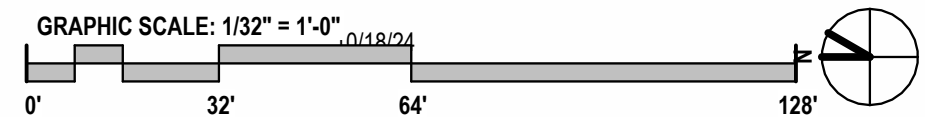
SHEET 1 C1

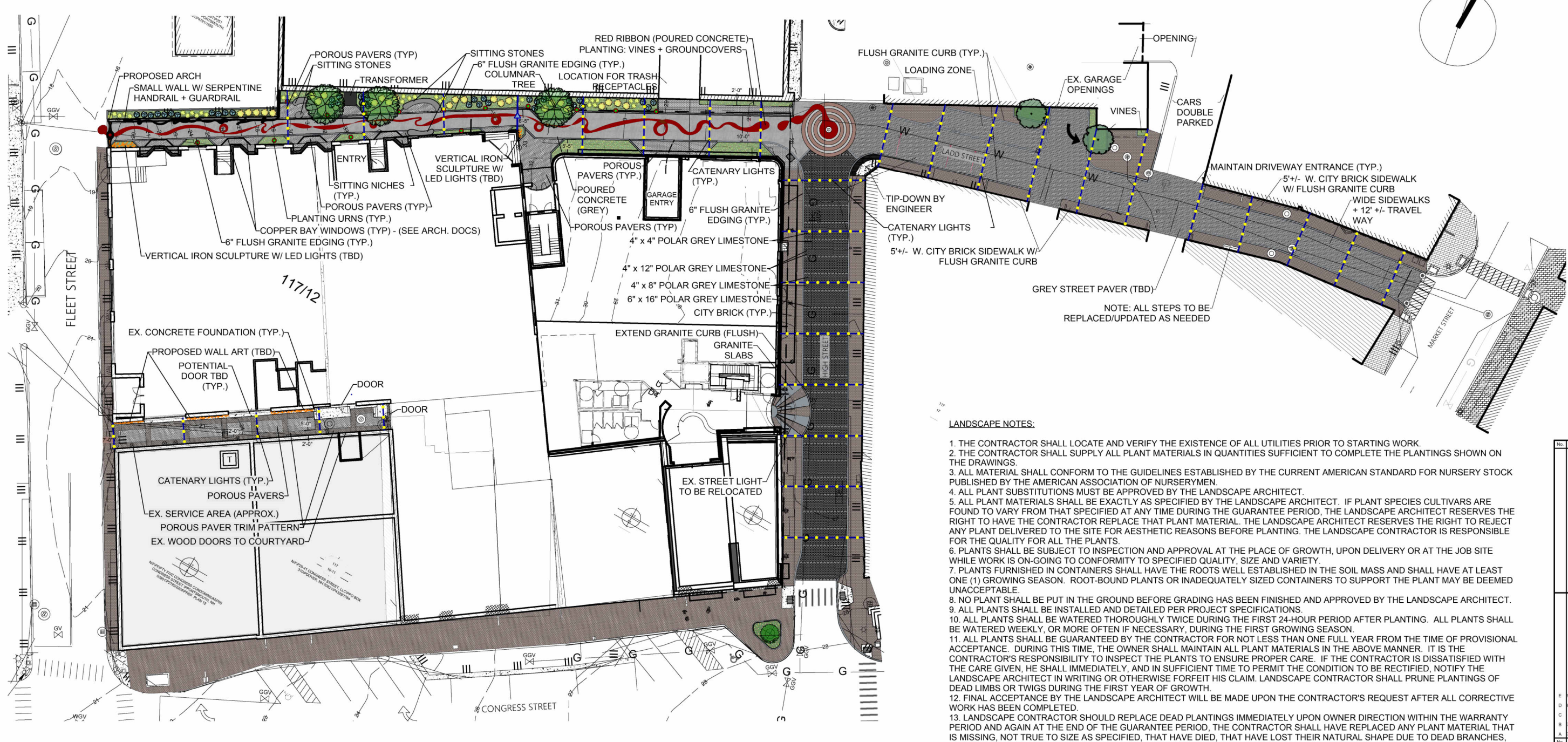
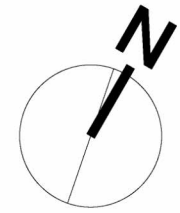




1 SITE PLAN, PROPOSED
1/32" = 1'-0"

**HN1.02 SITE PLAN, PROPOSED
1-15 CONGRESS STREET**





terra firma
landscape architecture
163 a court street - portsmouth, nh 03801
office: 603.430.8588 | terrence@terrafirmalandscape.com

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.



HN1.03 LANDSCAPE PLAN
1-15 CONGRESS STREET

PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE.

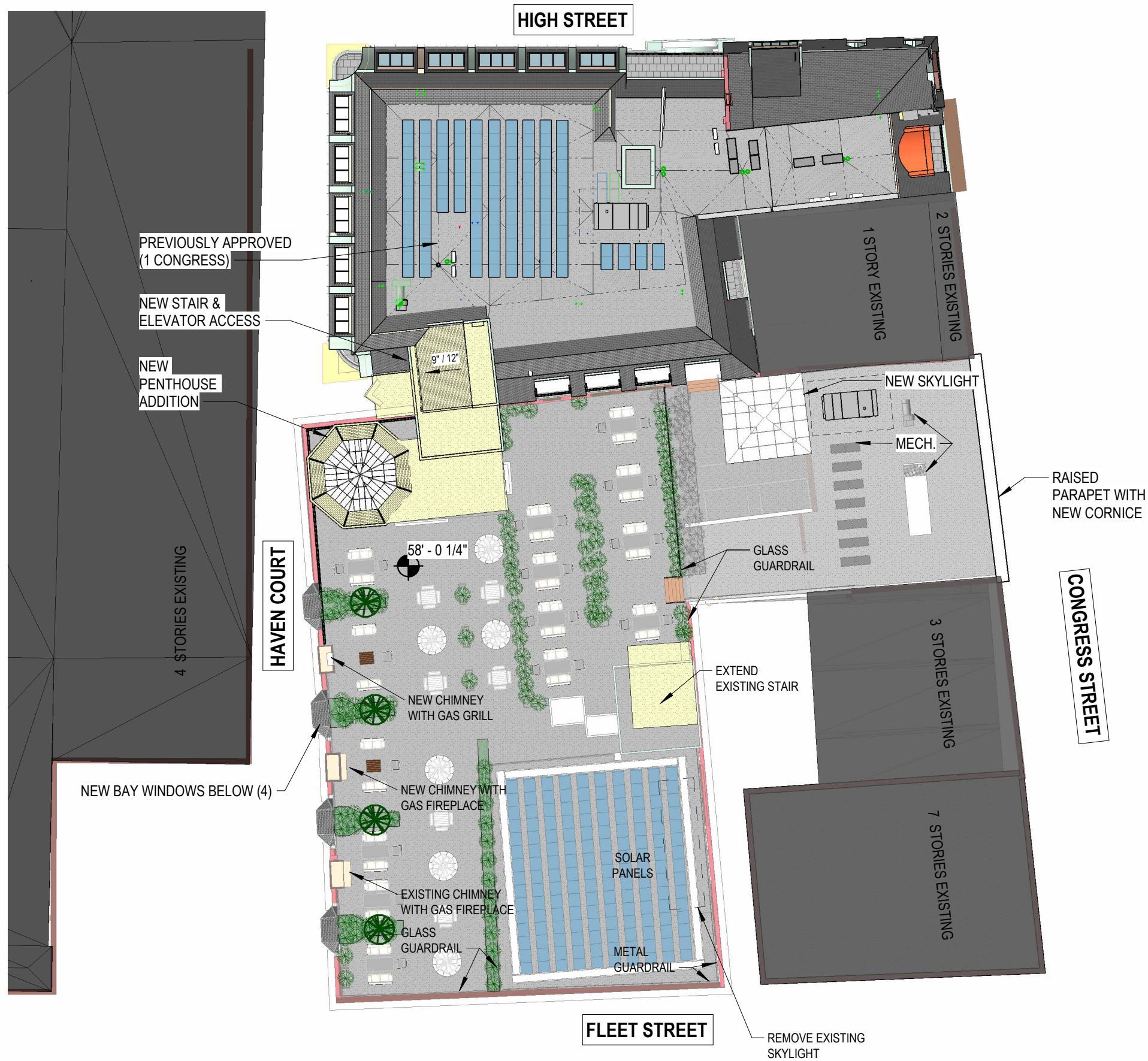
10/18/24

No.	Date	By	Revision Notes
E	9/20/2024		CATENARY LIGHT ADJUSTMENT
D	8/12/2024		SITE AMENITIES AND MATERIALS UPDATED
C	8/2/2024		ALLEY DOOR LOCATION UPDATES
B	7/31/2024		SHEET UPDATES
A	7/24/2024		SOUTH ALLEY UPDATES

No.	Date	Issue Notes

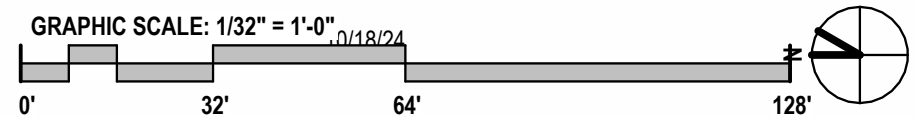
terra firma landscape architecture 163 a Court Street Portsmouth, NH 03801	
NEWBERRY WAY	
LANDSCAPE PLAN	
Project No.	NEWBERRY WAY
Scale	1"=20'-0"
Sheet No.	L-01
Date	7/18/2024
File Name	newberry2024.vrx
Page	1

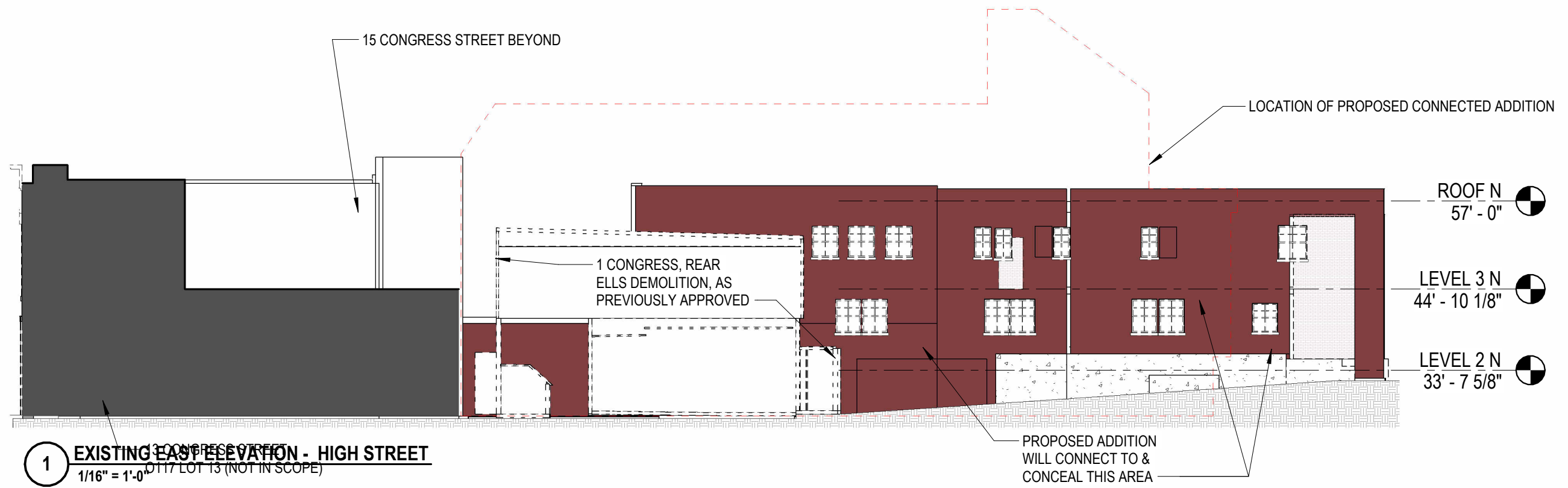




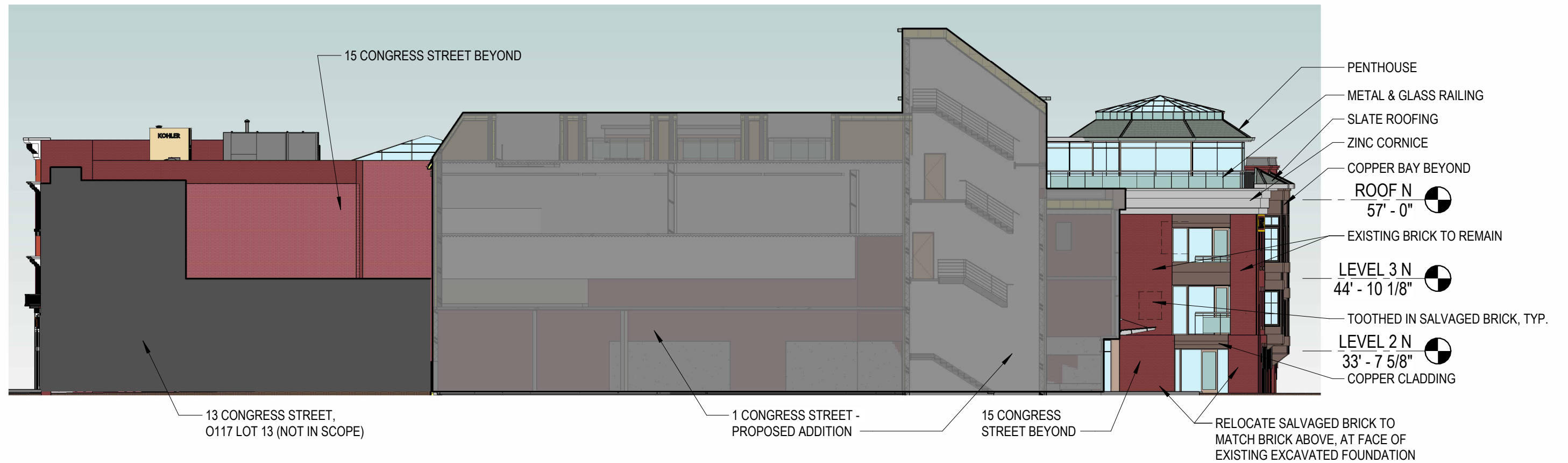
1 ROOF PLAN
1/32" = 1'-0"

HN1.04 ROOF PLAN
1-15 CONGRESS STREET





1 EXISTING EAST ELEVATION - HIGH STREET
1/16" = 1'-0"

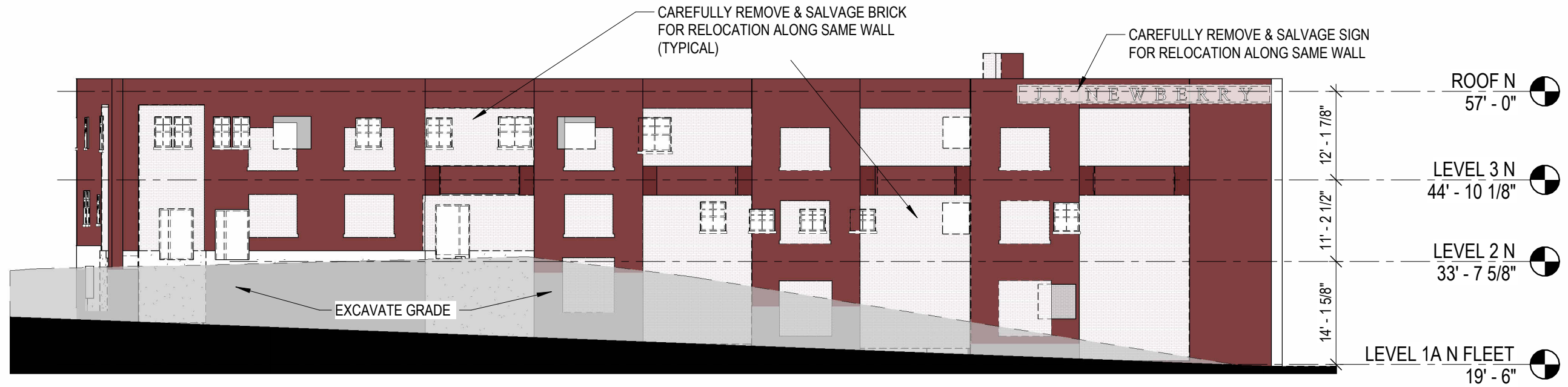


2 EAST ELEVATION - PROPOSED
1/16" = 1'-0"

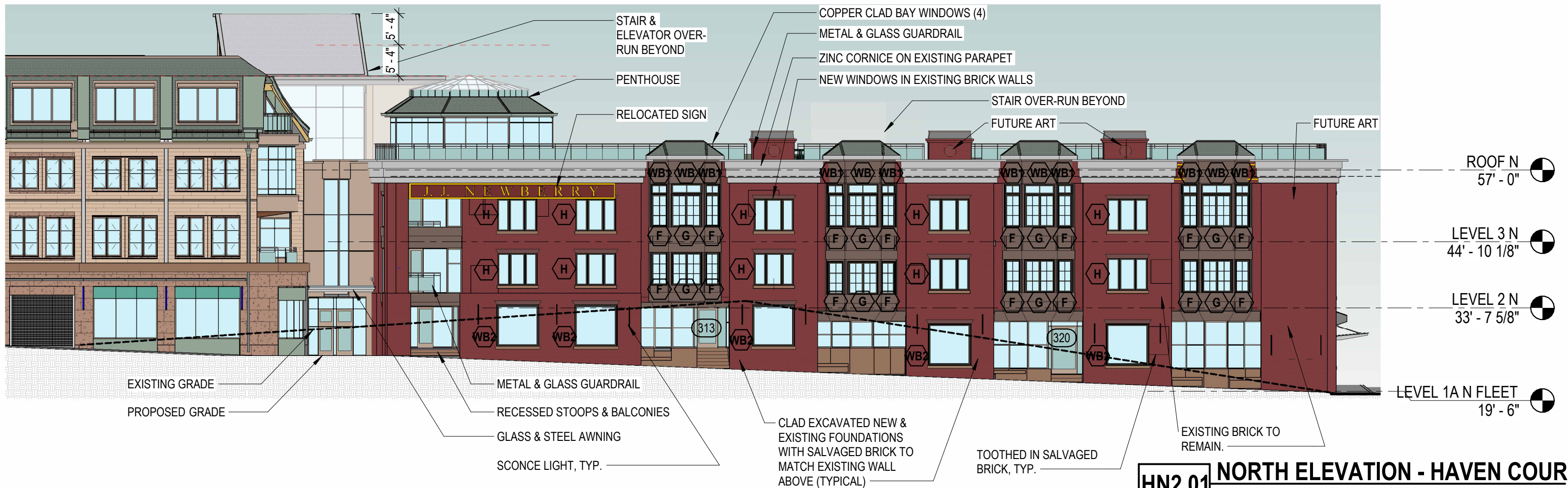
**HN2.00 EAST ELEVATION
1-15 CONGRESS STREET**

10/18/24

EXISTING TO REMAIN
 AREA TO BE REMOVED



2 EXISTING NORTH ELEVATION - HAVEN COURT
 1/16" = 1'-0"



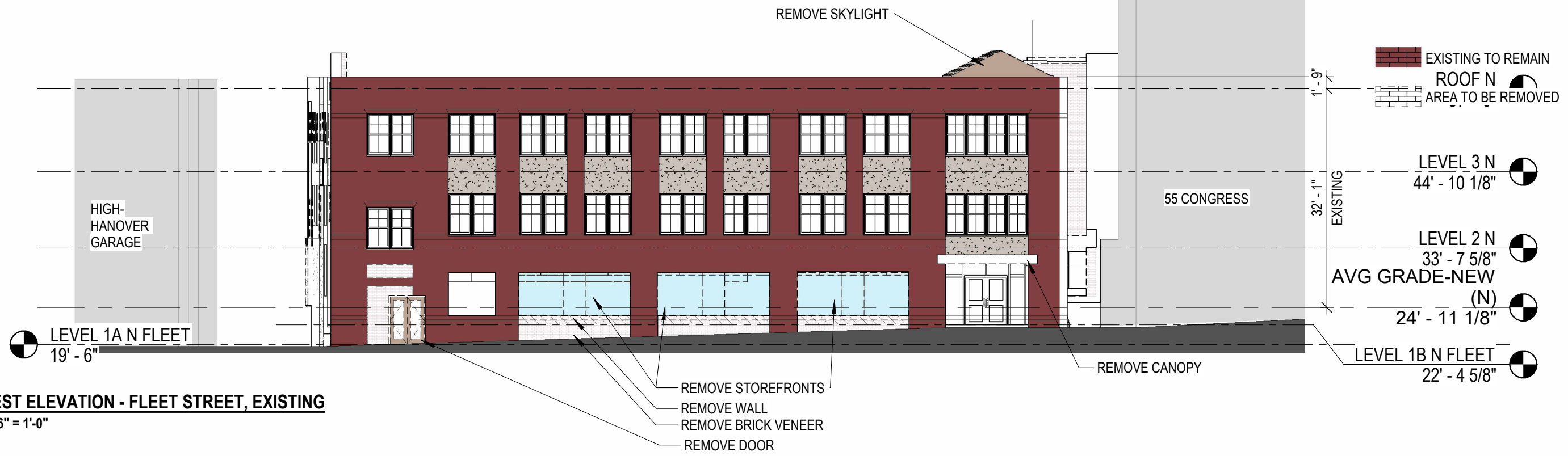
1 PROPOSED NORTH ELEVATION - HAVEN COURT
 1/16" = 1'-0"

**HN2.01 NORTH ELEVATION - HAVEN COURT
 1-15 CONGRESS STREET**

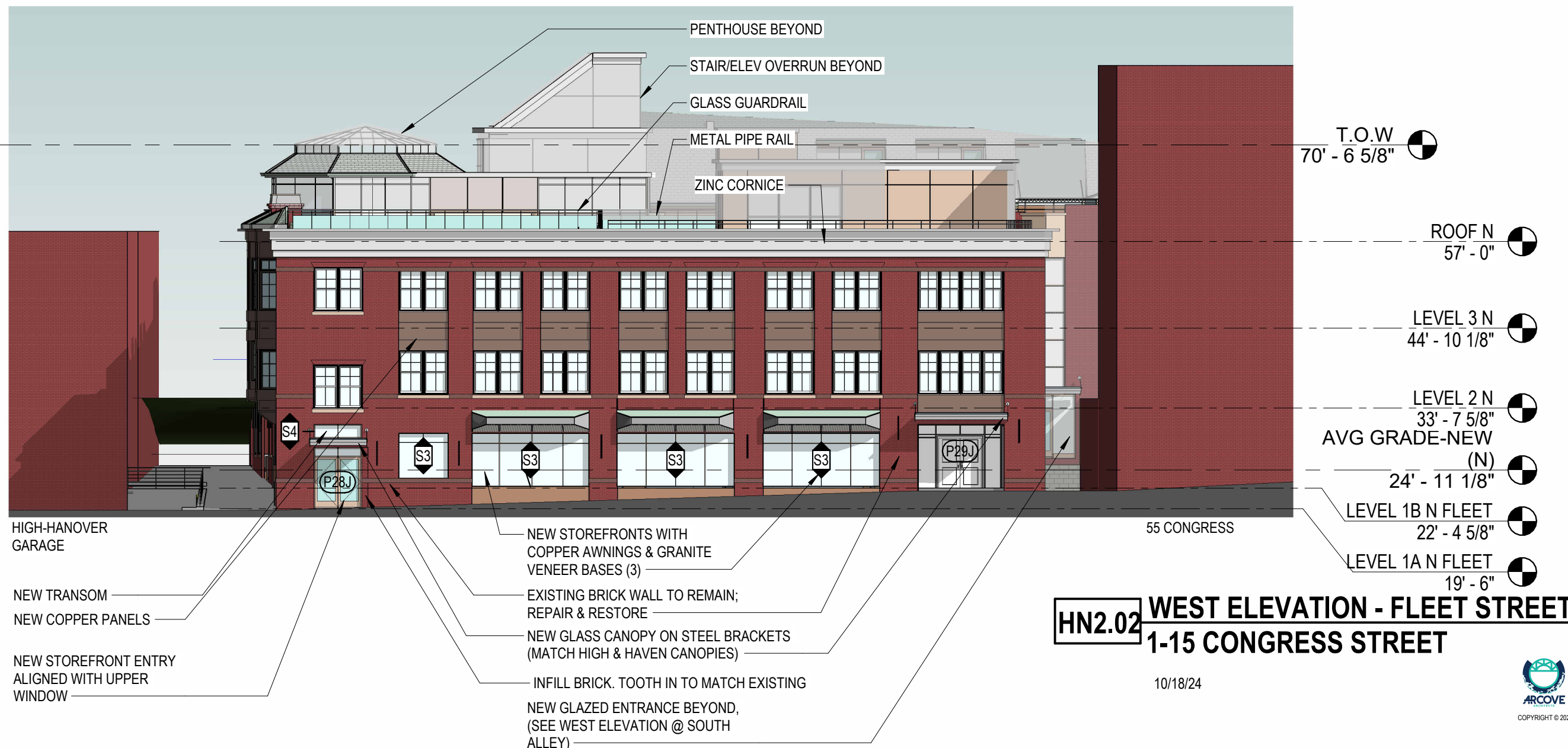
10/18/24



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2 WEST ELEVATION - FLEET STREET, EXISTING
1/16" = 1'-0"



HN2.02 WEST ELEVATION - FLEET STREET
1-15 CONGRESS STREET

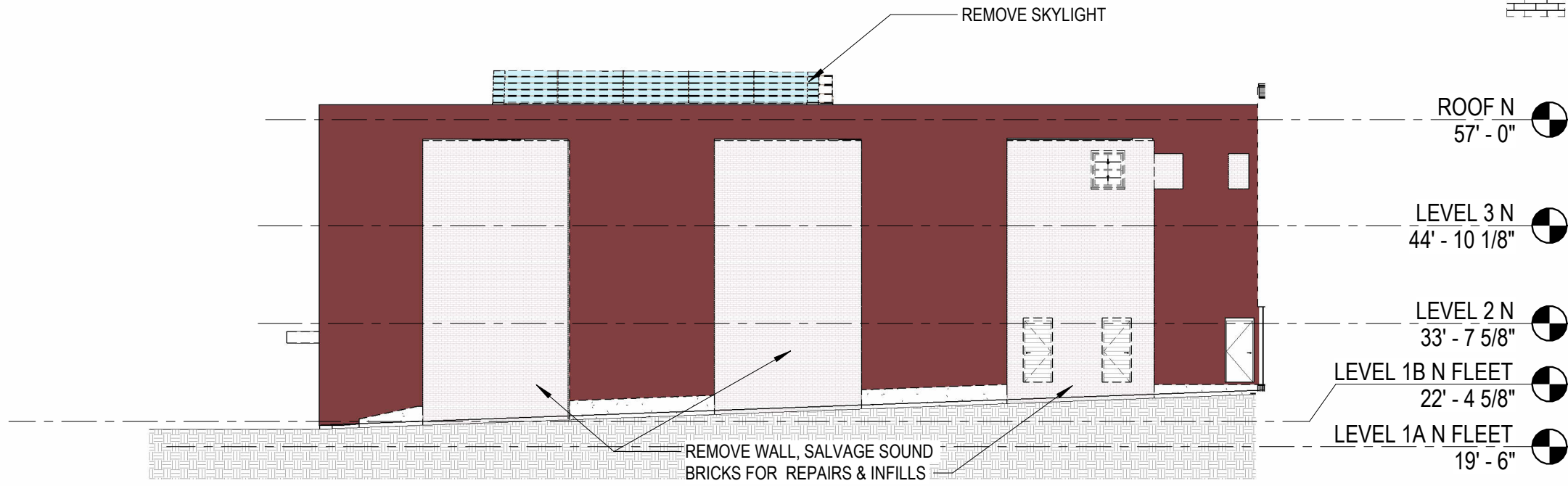
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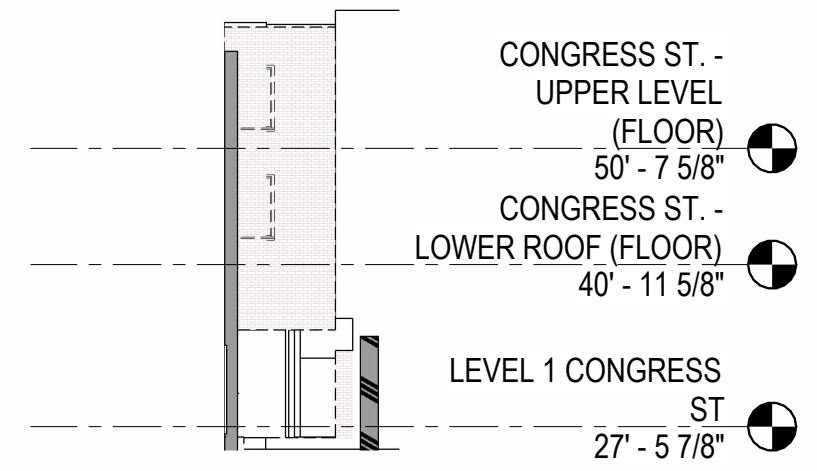
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EXISTING TO REMAIN

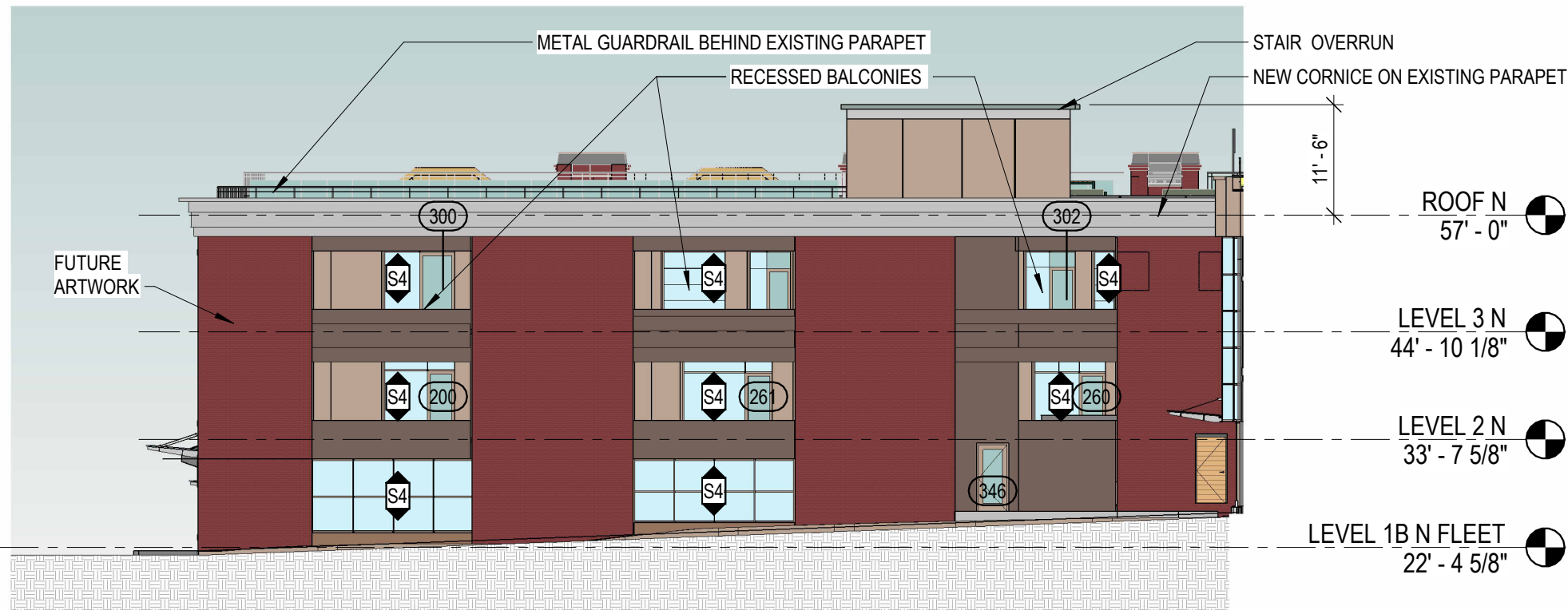
AREA TO BE REMOVED



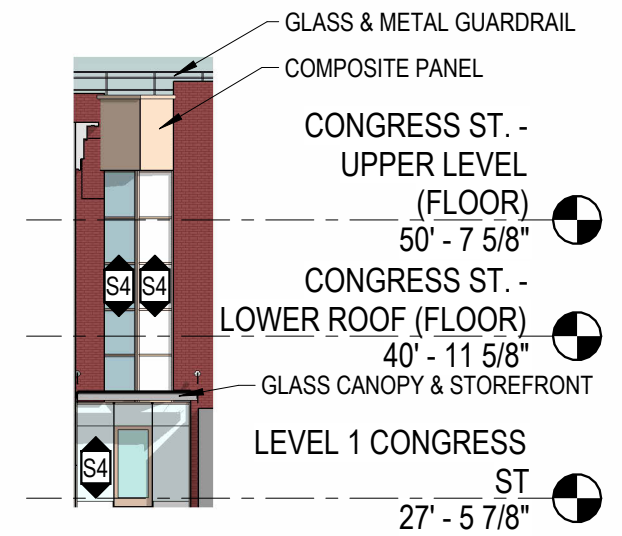
1 DEMO EAST ELEVATION - SOUTH ALLEY
1/16" = 1'-0"



2 SOUTH ELEVATION (ALLEY END)
1/16" = 1'-0"



3 SOUTH ELEVATION - SOUTH ALLEY
1/16" = 1'-0"



4 SOUTH ELEVATION (ALLEY END)
1/16" = 1'-0"

HN2.03 S/E ELEVATIONS - SOUTH ALLEY 1-15 CONGRESS STREET

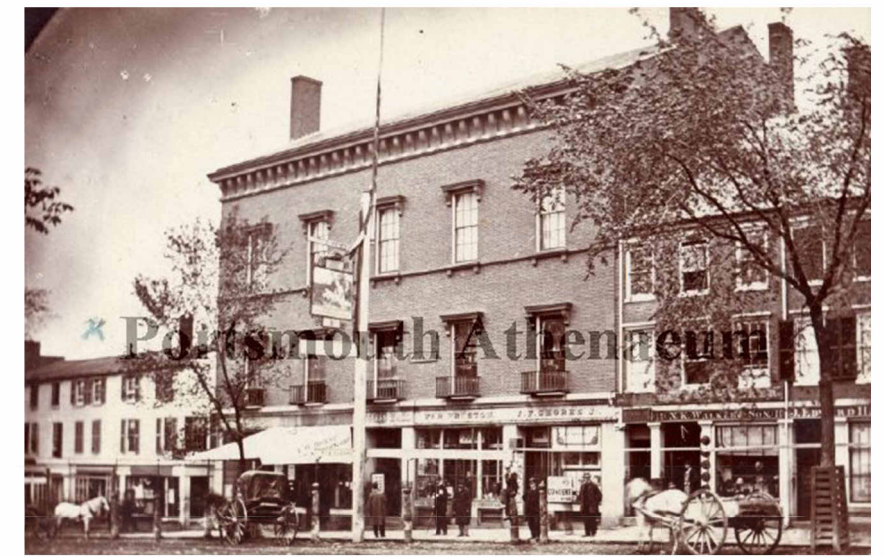


CIRCA 2024

 EXISTING TO REMAIN

 AREA TO BE REMOVED

CIRCA 1860

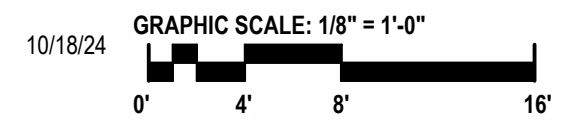


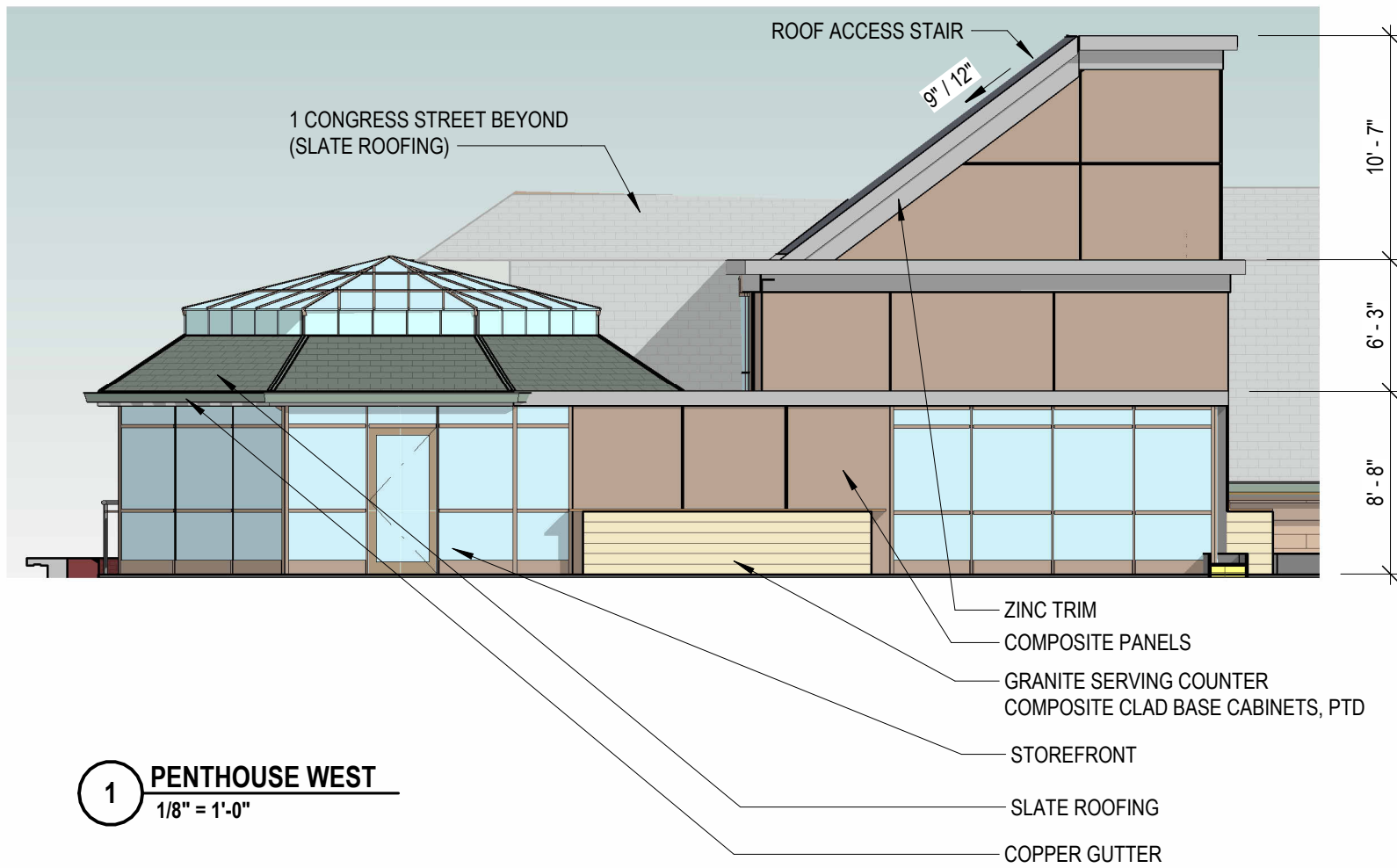
2 SOUTH ELEVATION - CONGRESS STREET, EXISTING
1/8" = 1'-0"



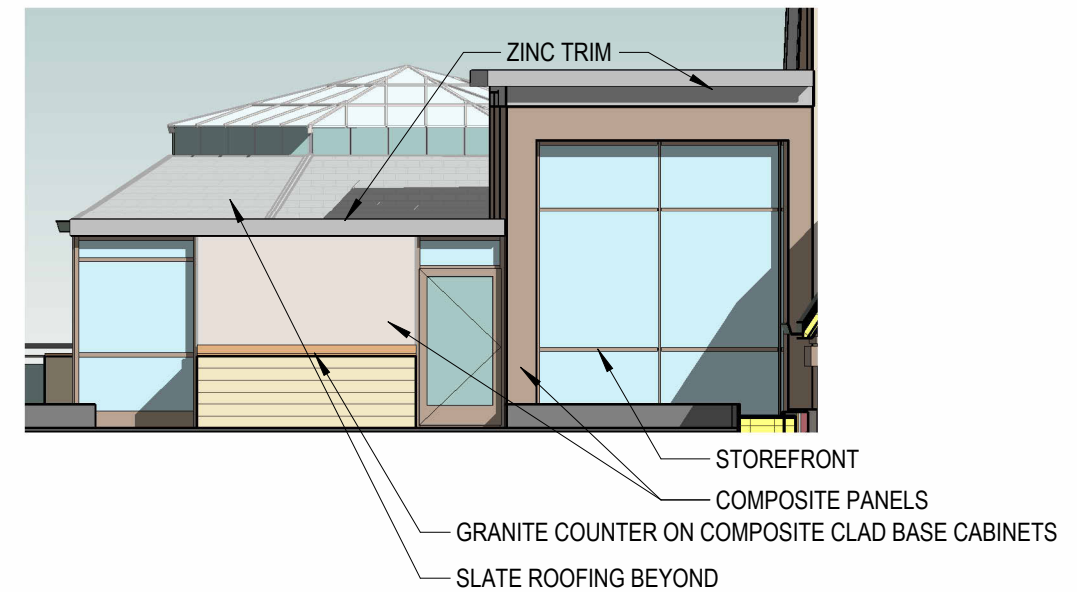
1 SOUTH ELEVATION - CONGRESS STREET, PROPOSED
1/8" = 1'-0"

HN2.04 SOUTH ELEVATION - CONGRESS ST
1-15 CONGRESS STREET

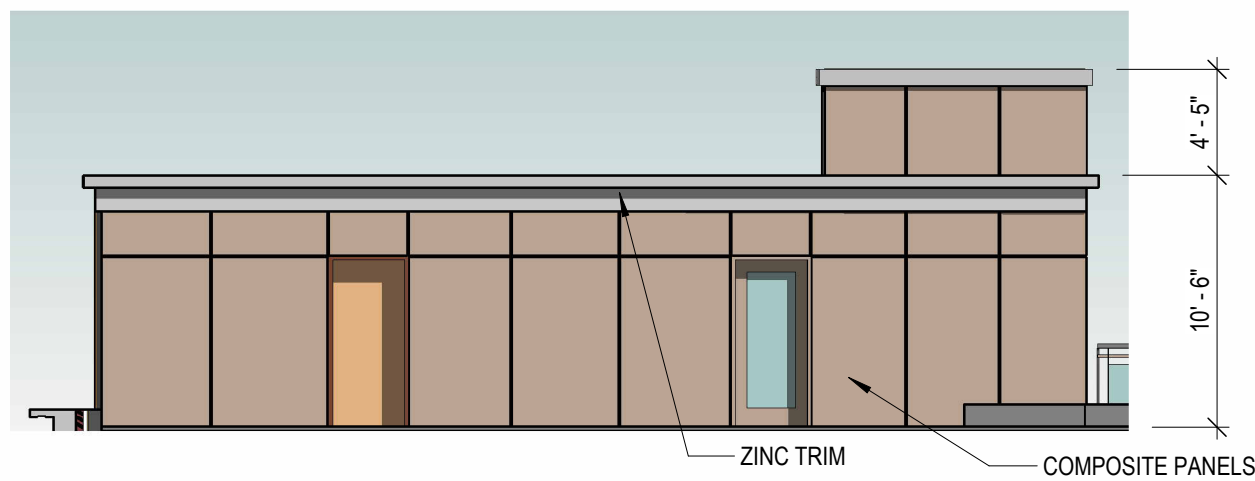




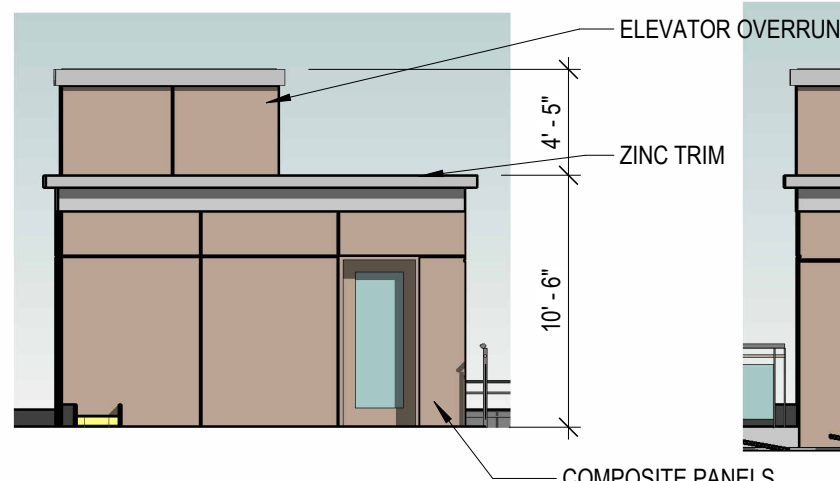
1 PENTHOUSE WEST
1/8" = 1'-0"



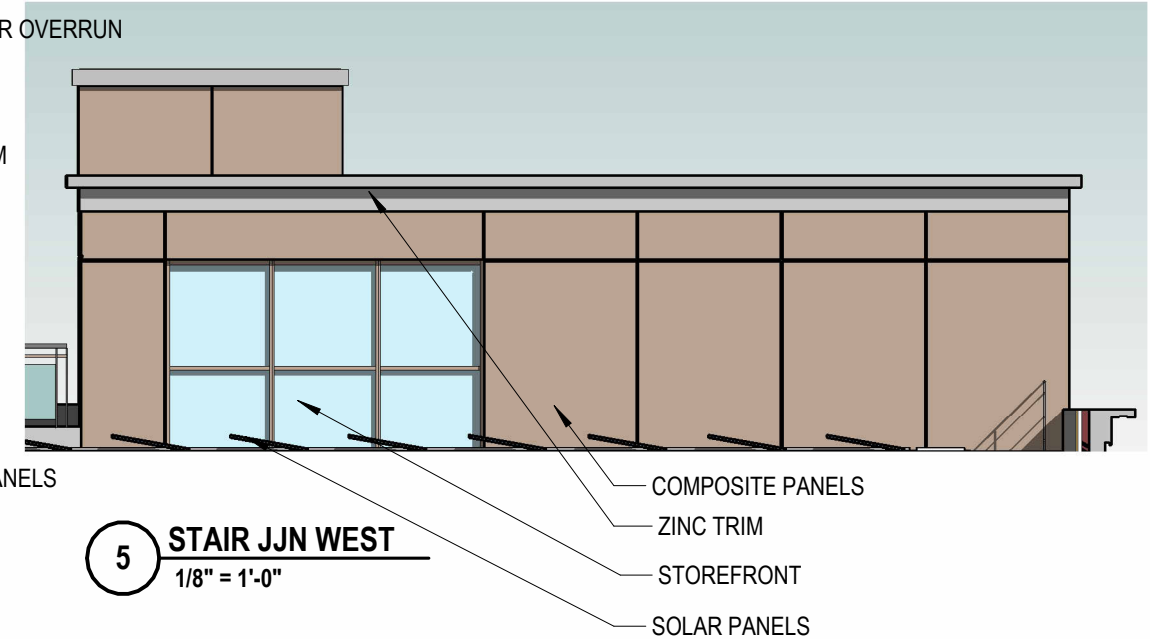
2 PENTHOUSE SOUTH
1/8" = 1'-0"



3 STAIR JJN EAST
1/8" = 1'-0"



4 STAIR JJN NORTH
1/8" = 1'-0"



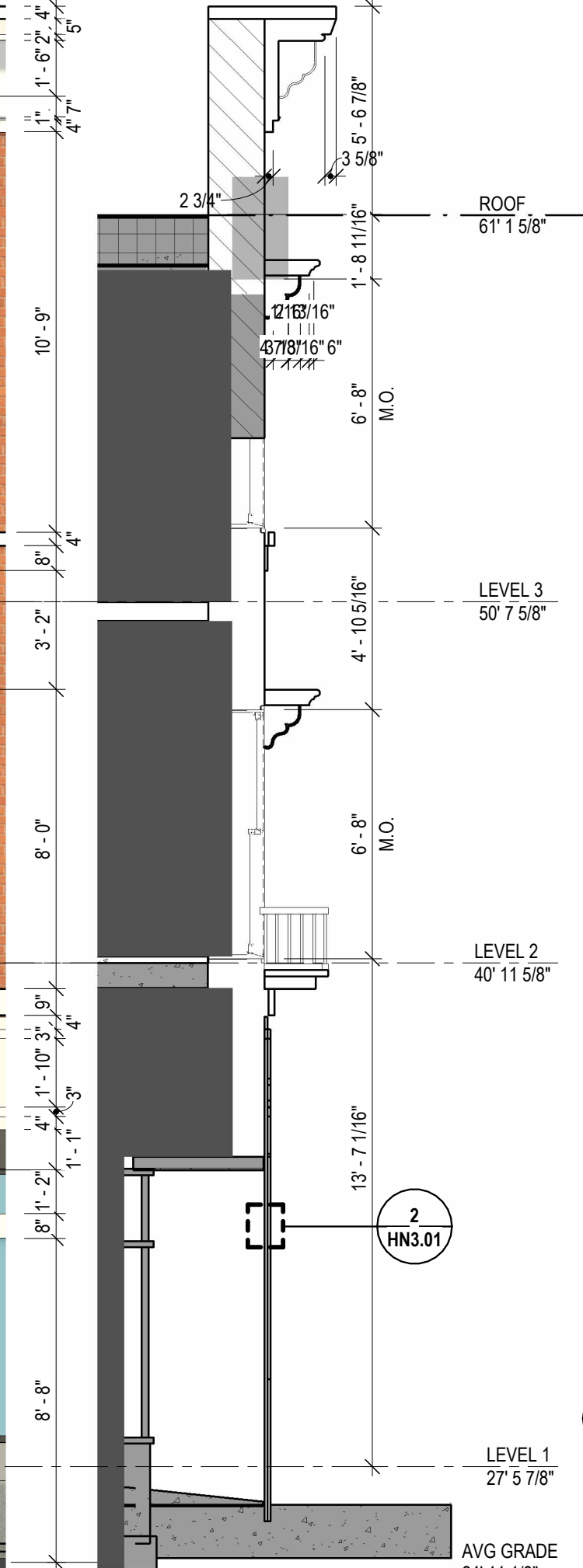
5 STAIR JJN WEST
1/8" = 1'-0"

HN2.05 ROOF DECK ELEVATIONS
1-15 CONGRESS STREET

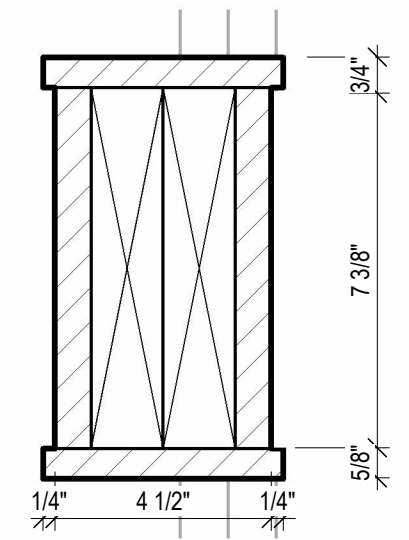
10/18/24



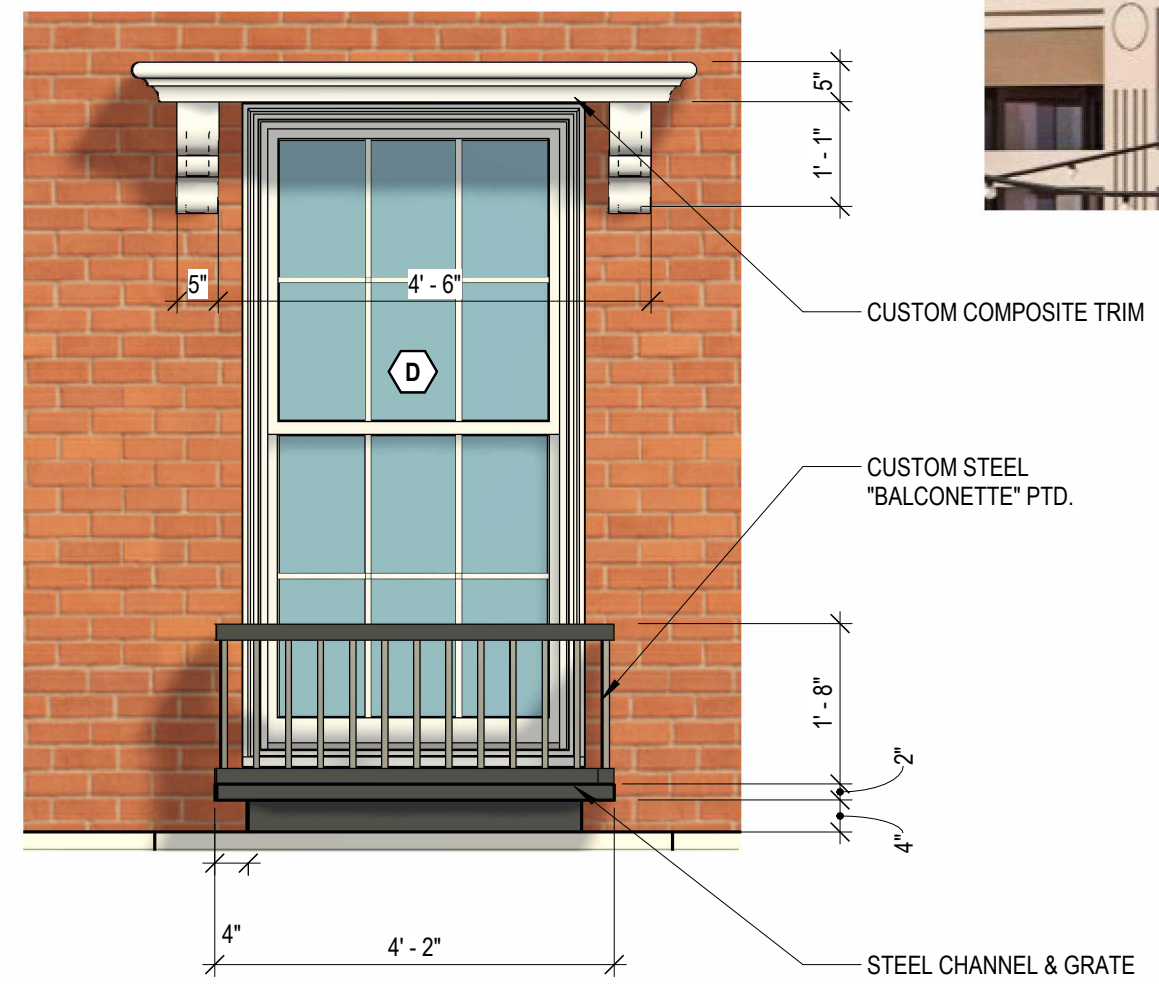
4 CONGRESS STREET - ENLARGED ELEVATION
1/4" = 1'-0"



3 CONGRESS ST SECTION
1/4" = 1'-0"



2 SIGNBAND SECTION
3" = 1'-0"



1 SOUTH ELEVATION - WINDOW DETAIL
1/2" = 1'-0"

HN3.01 DETAIL - CONGRESS STREET
1-15 CONGRESS STREET

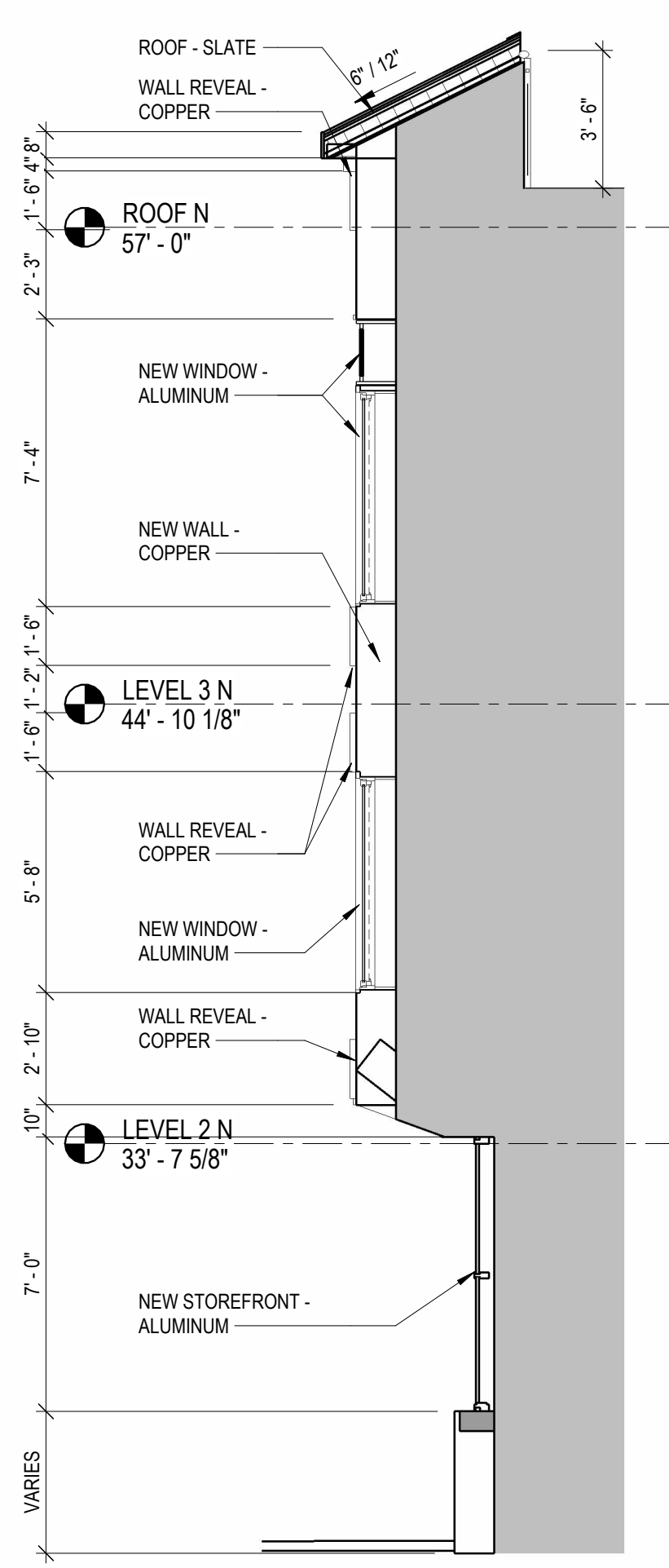
10/18/24



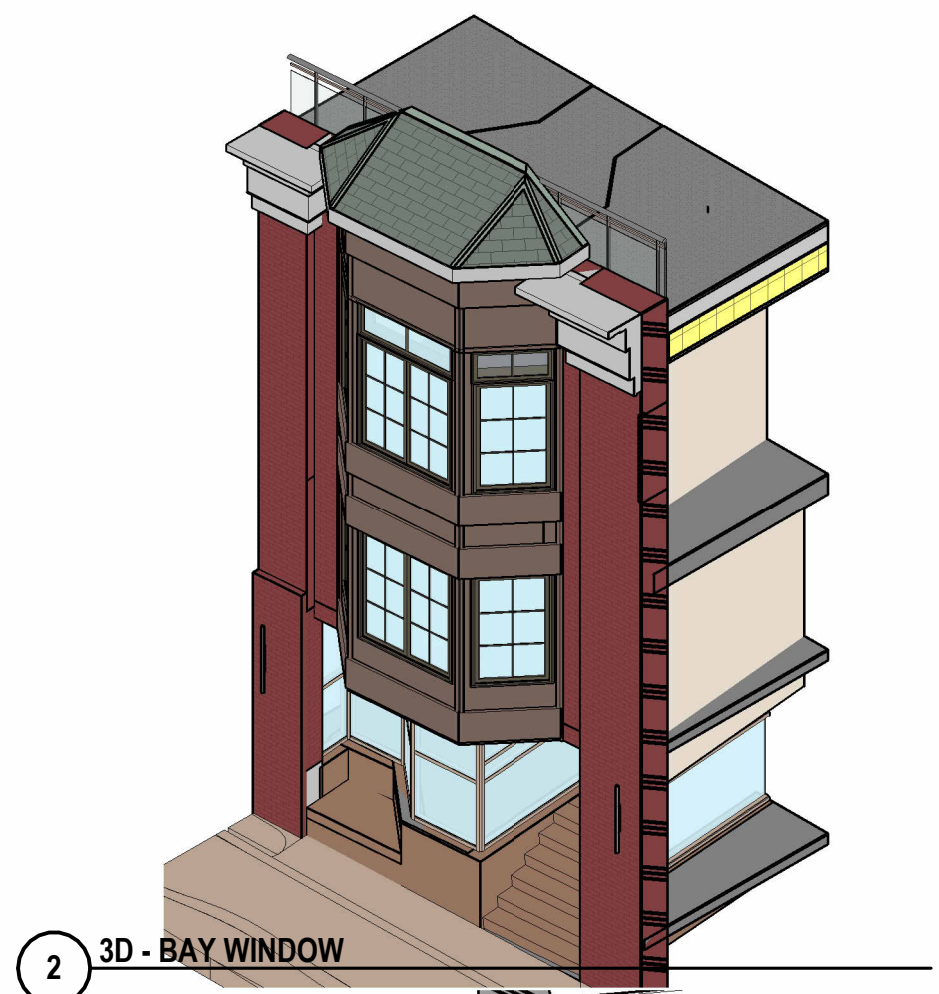
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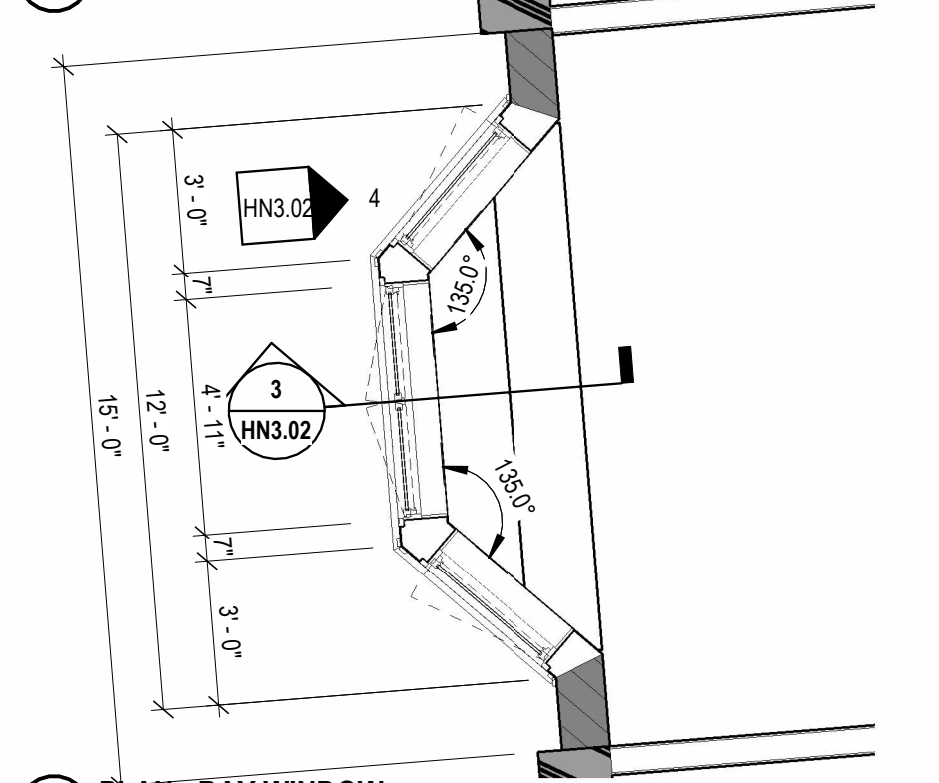
4 ELEVATION - BAY WINDOW
1/4" = 1'-0"



3 SECTION - BAY WINDOW
1/4" = 1'-0"



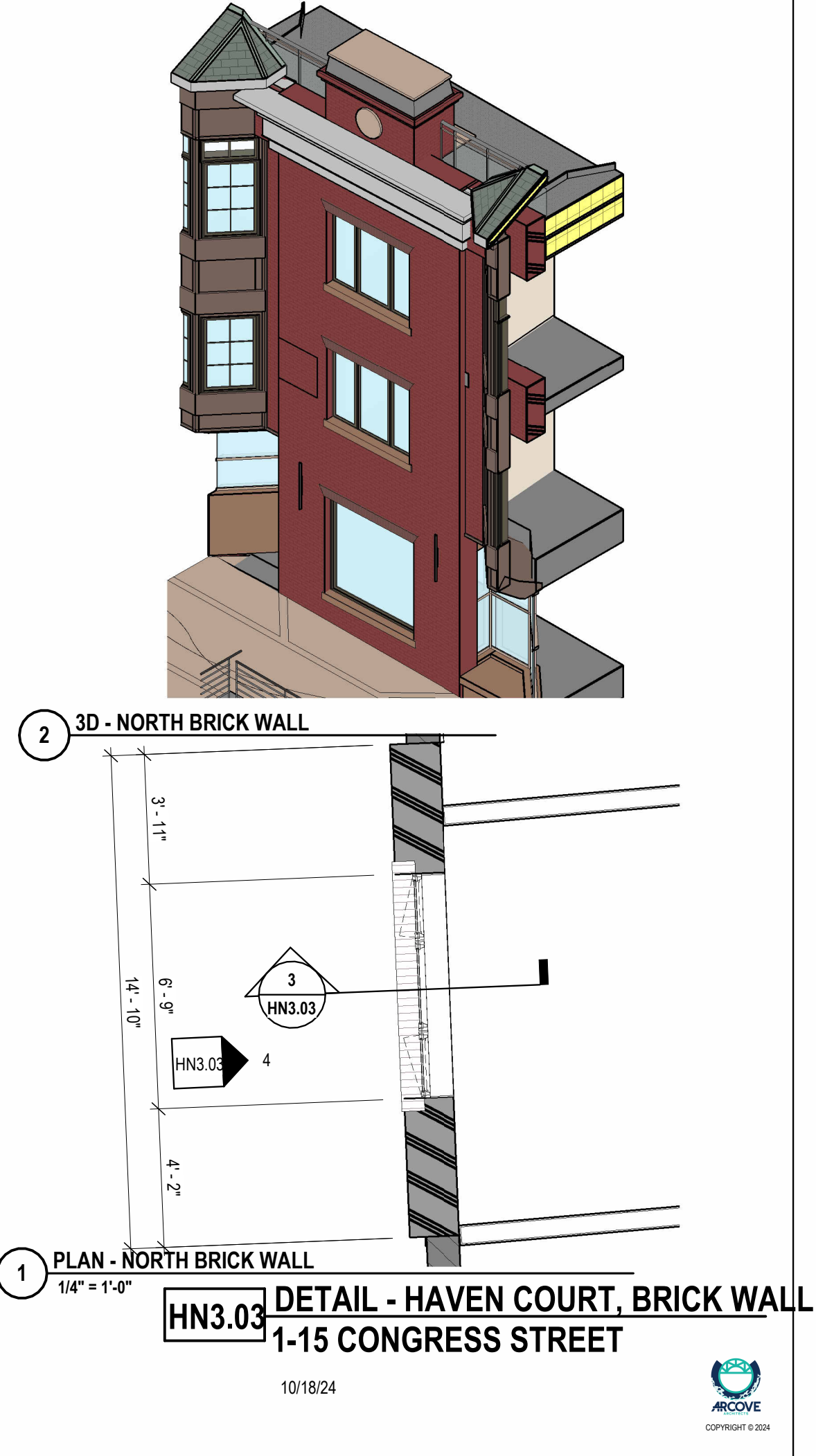
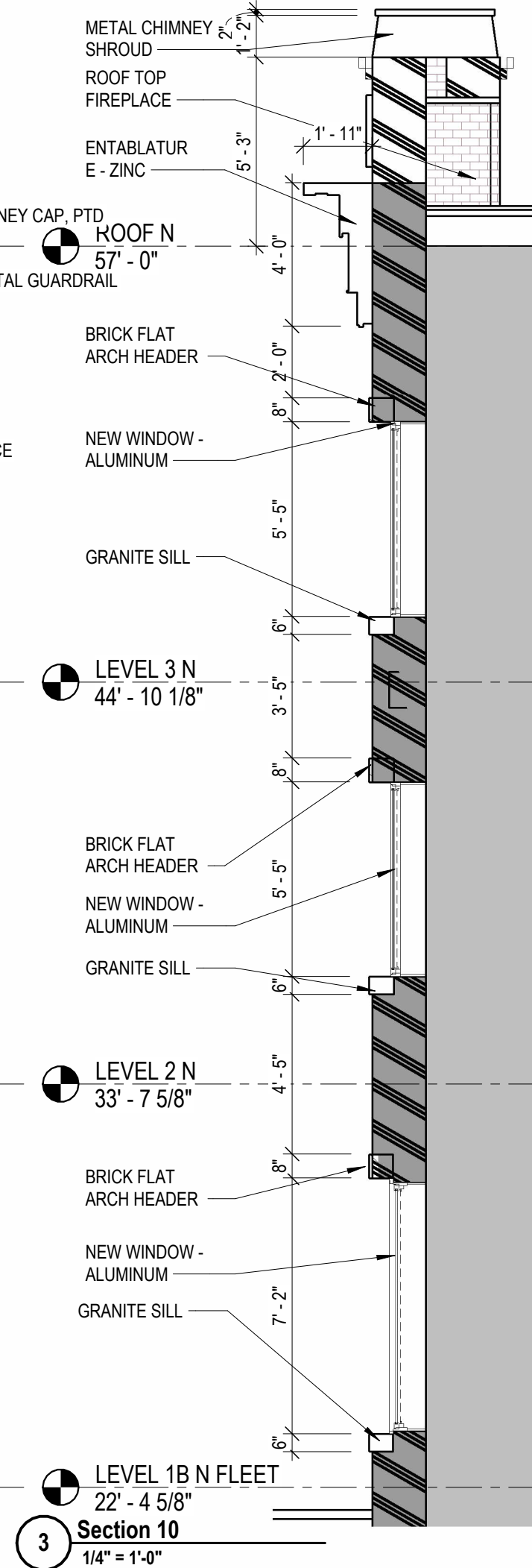
2 3D - BAY WINDOW

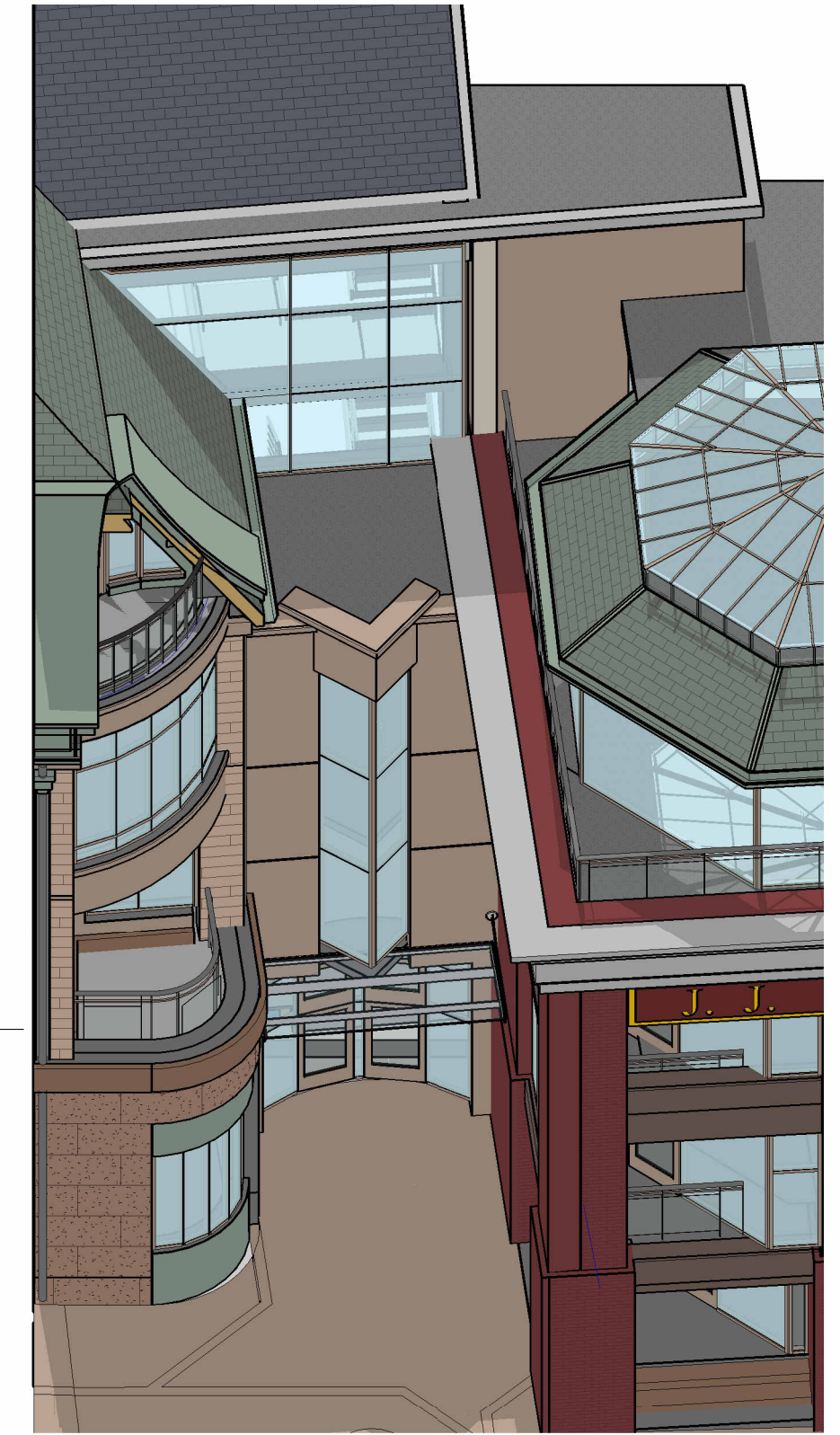
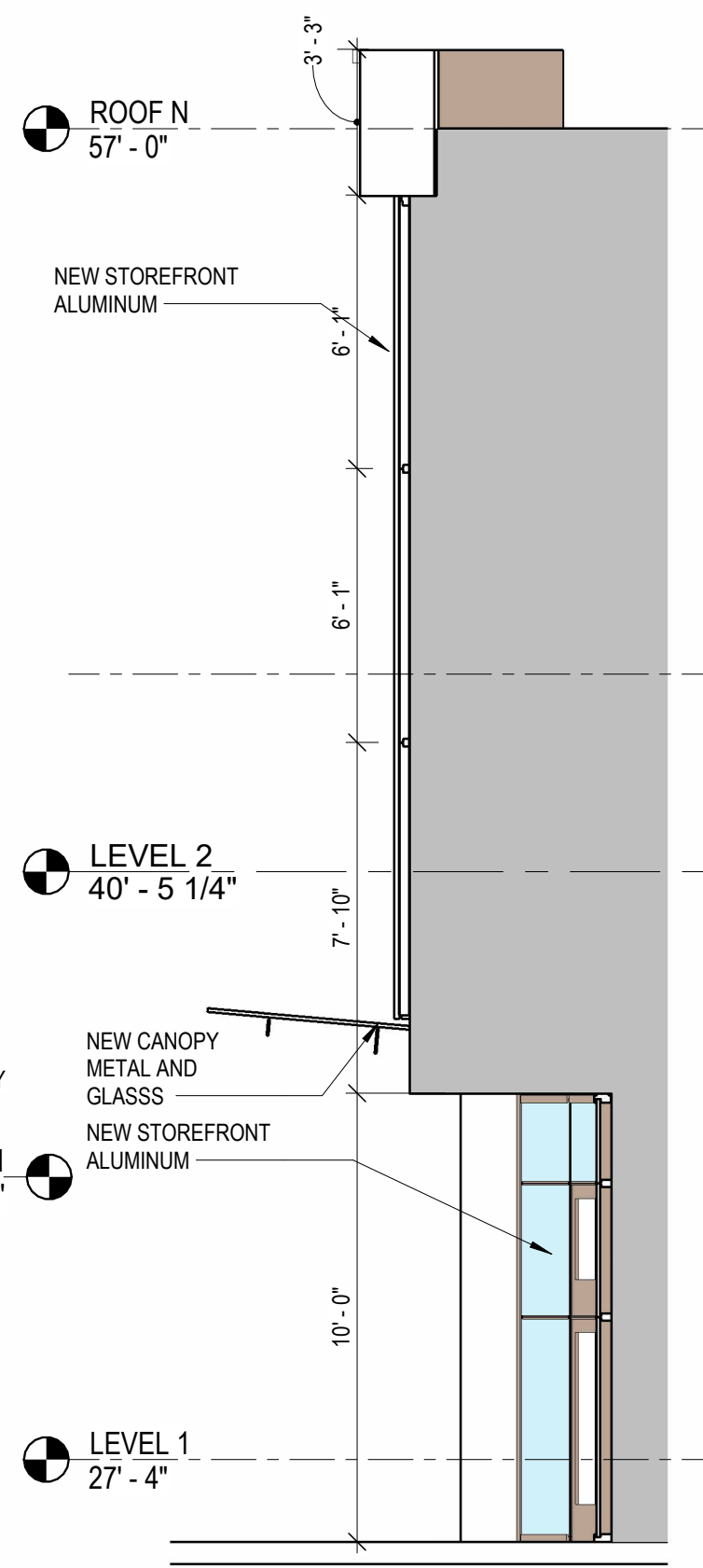
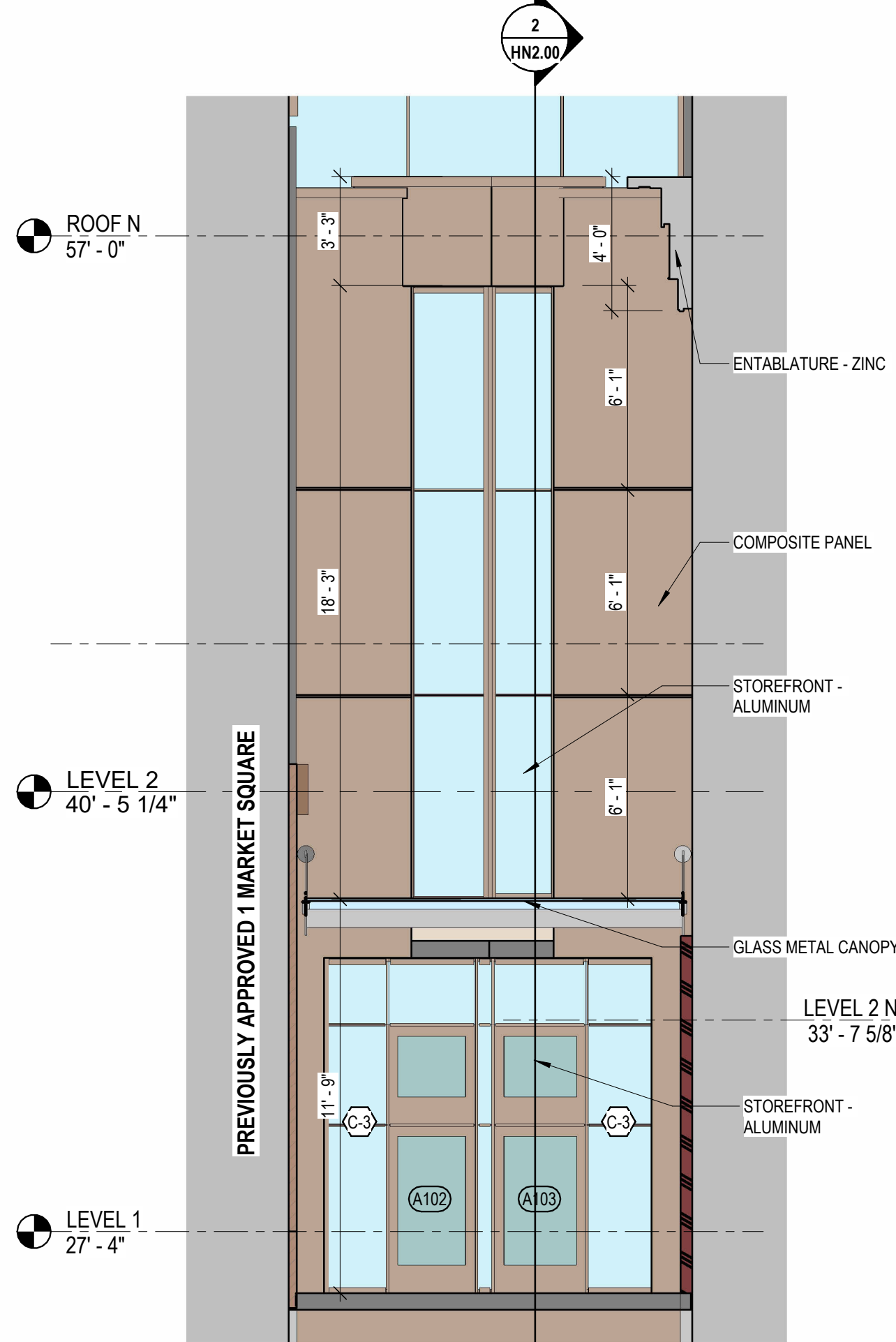


1 PLAN - BAY WINDOW
1/4" = 1'-0"

HN3.02 DETAIL - HAVEN COURT, BAY WINDOW
1-15 CONGRESS STREET

10/18/24





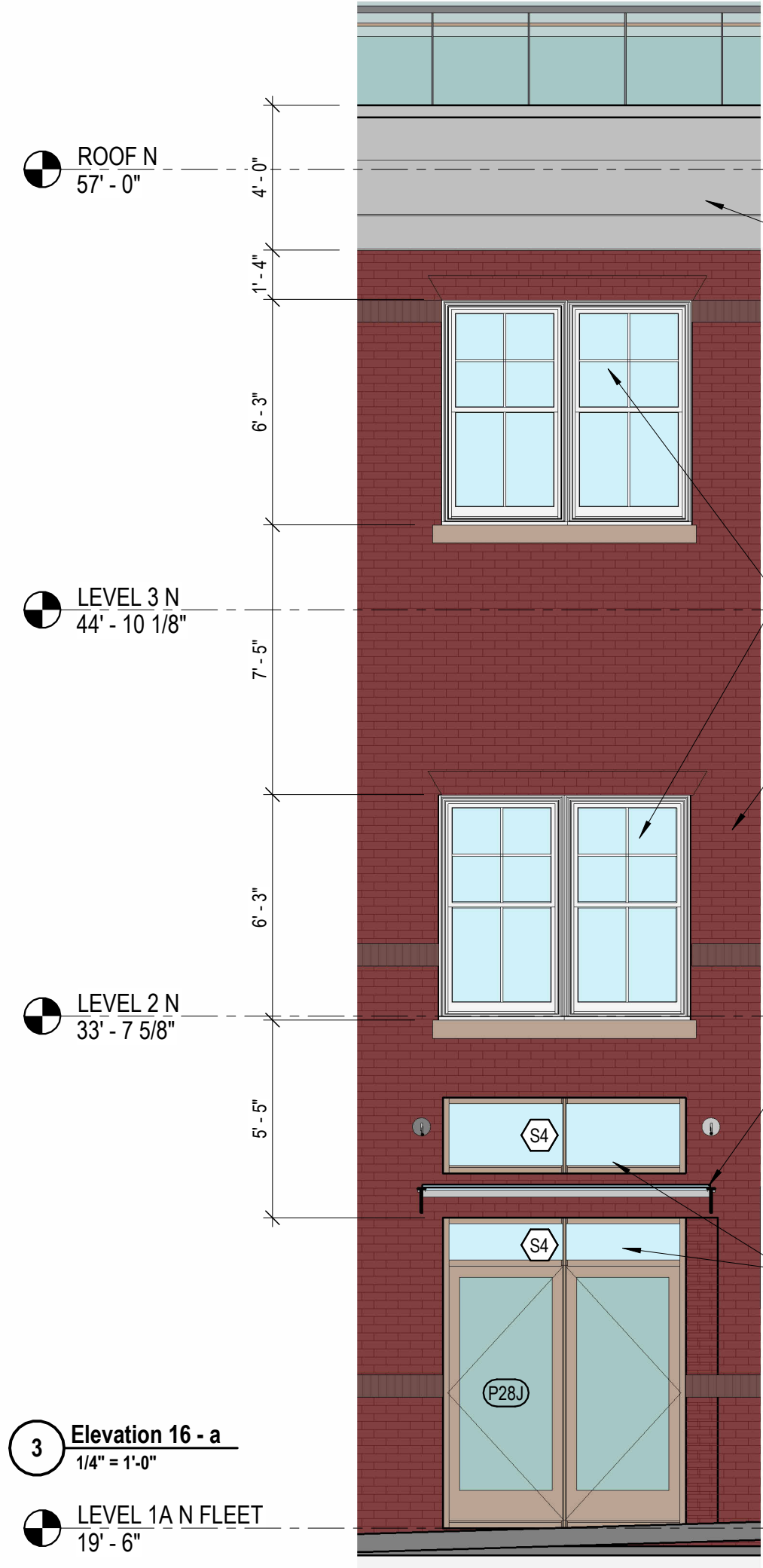
3 ELEVATION- HAVEN COURT ENTRANCE
1/4" = 1'-0"

2 SECTION - HAVEN COURT ENTRANCE
1/4" = 1'-0"

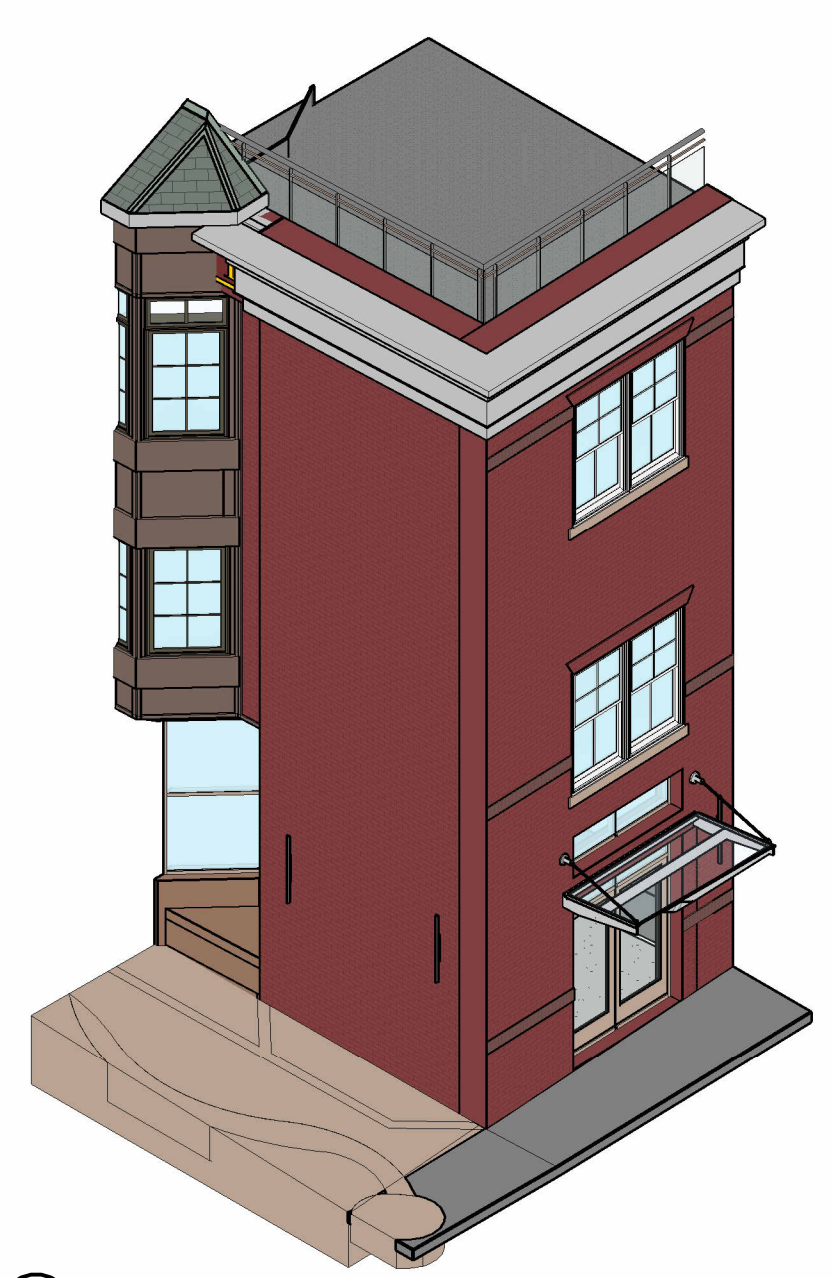
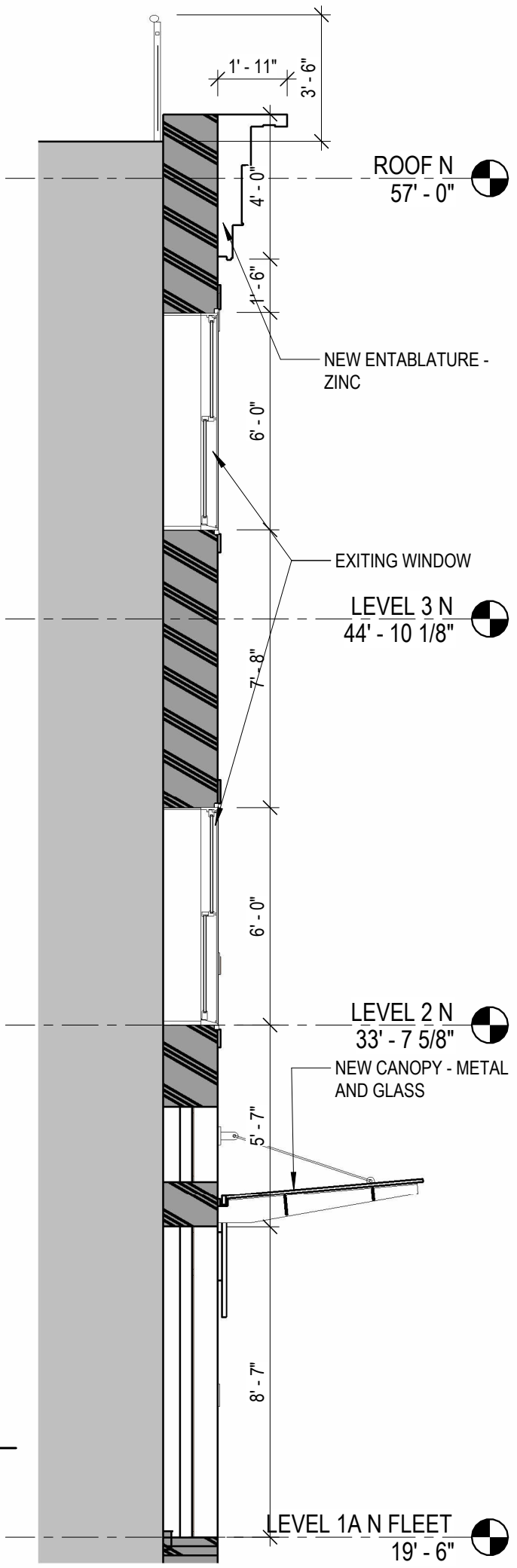
1 3D VIEW - HAVEN COURT ENTRANCE

HN3.04 DETAIL - HAVEN COURT ENTRANCE
1-15 CONGRESS STREET

10/18/24



1 Section 155
 1/4" = 1'-0"



1.1 3D NW CORNER

HN3.06 DETAIL - FLEET ST, NORTH ENTRY
 1-15 CONGRESS STREET

10/18/24

ROOF N
57' - 0"

LEVEL 3 N
44' - 10 1/8"

LEVEL 2 N
33' - 7 5/8"

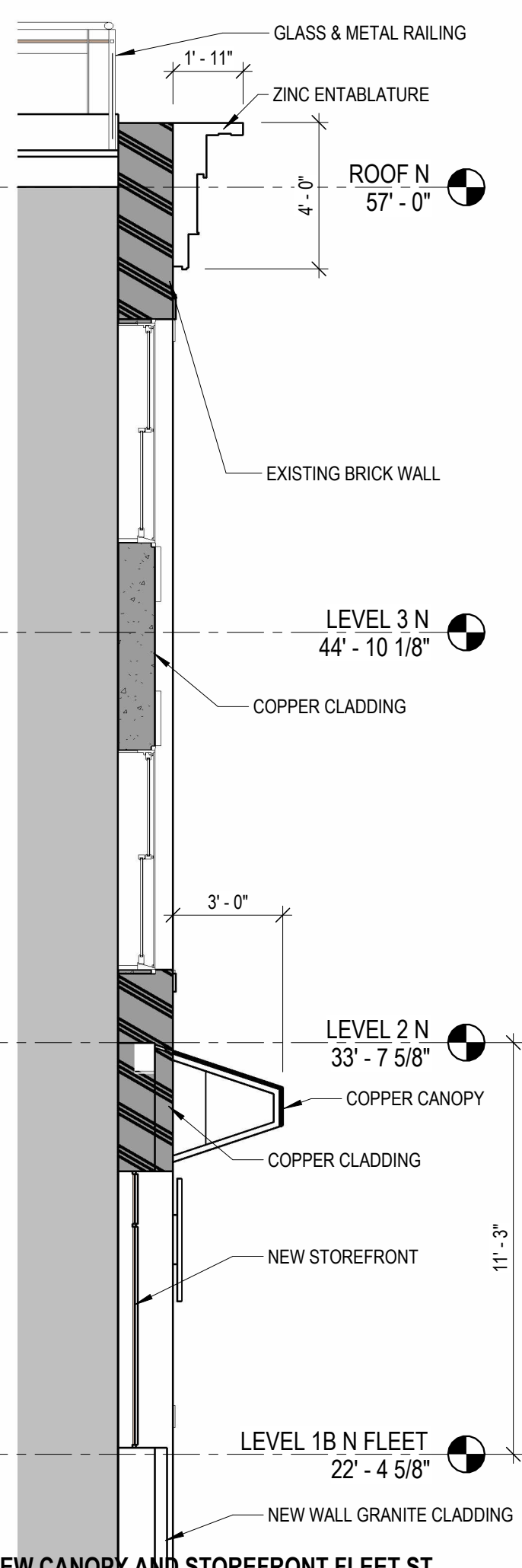
3 ELEVATION - NEW CANOPY AND STOREFRONT FLEET ST
1/4" = 1'-0"

LEVEL 1A N FLEET
19' - 6"

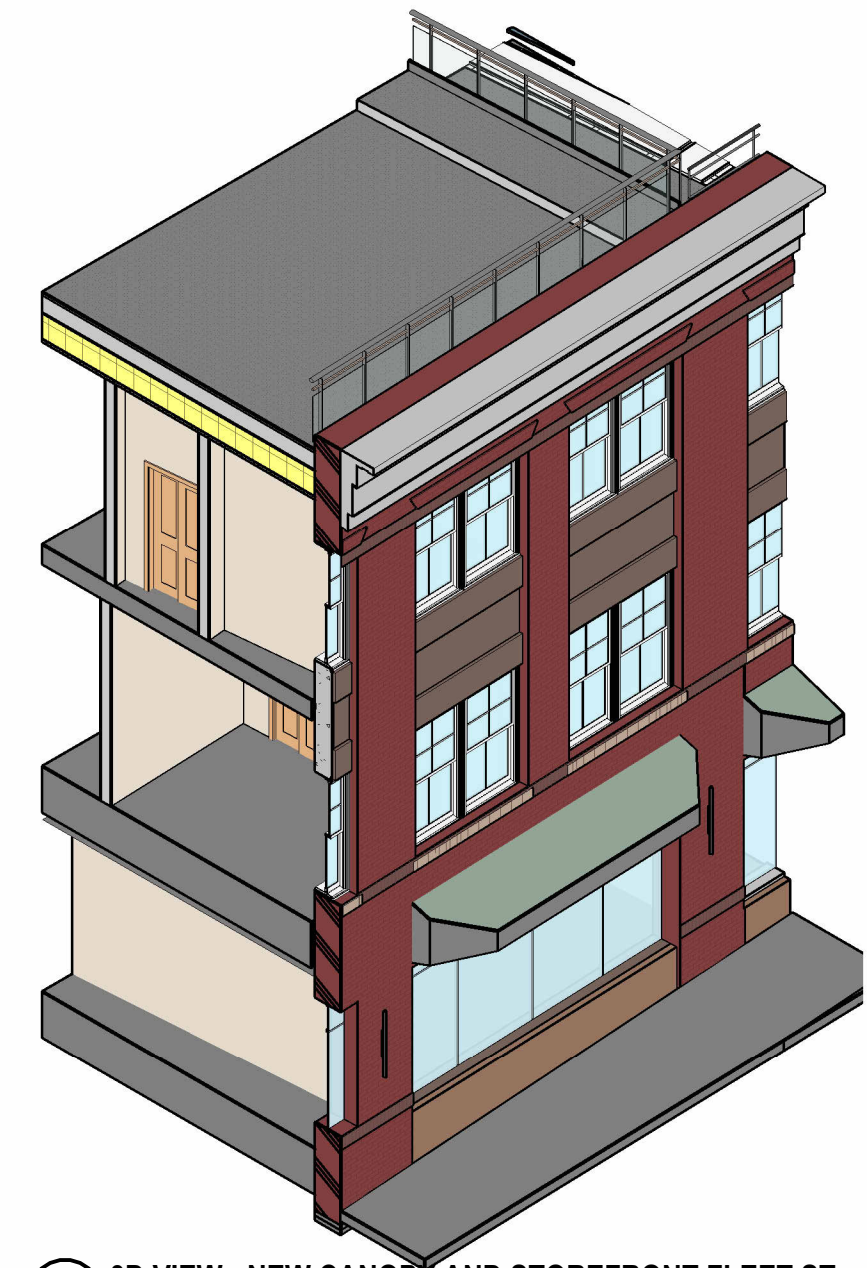


RAILING - ALUMINUM & GLASS
4'-0"
EXISTING WALL
7'-7"
NEW COPPER CLADDING
1'-6"
EXISTING WINDOW
1'-6"
NEW METAL CANOPY
19'-2"
NEW STOREFRONT - ALUMINUM

2 SECTION - NEW CANOPY AND STOREFRONT FLEET ST
1/4" = 1'-0"



GLASS & METAL RAILING
1'-11"
ZINC ENTABLATURE
4'-0"
ROOF N 57' - 0"
EXISTING BRICK WALL
LEVEL 3 N 44' - 10 1/8"
COPPER CLADDING
3'-0"
LEVEL 2 N 33' - 7 5/8"
COPPER CANOPY
COPPER CLADDING
NEW STOREFRONT
11'-3"
LEVEL 1B N FLEET 22' - 4 5/8"
NEW WALL GRANITE CLADDING



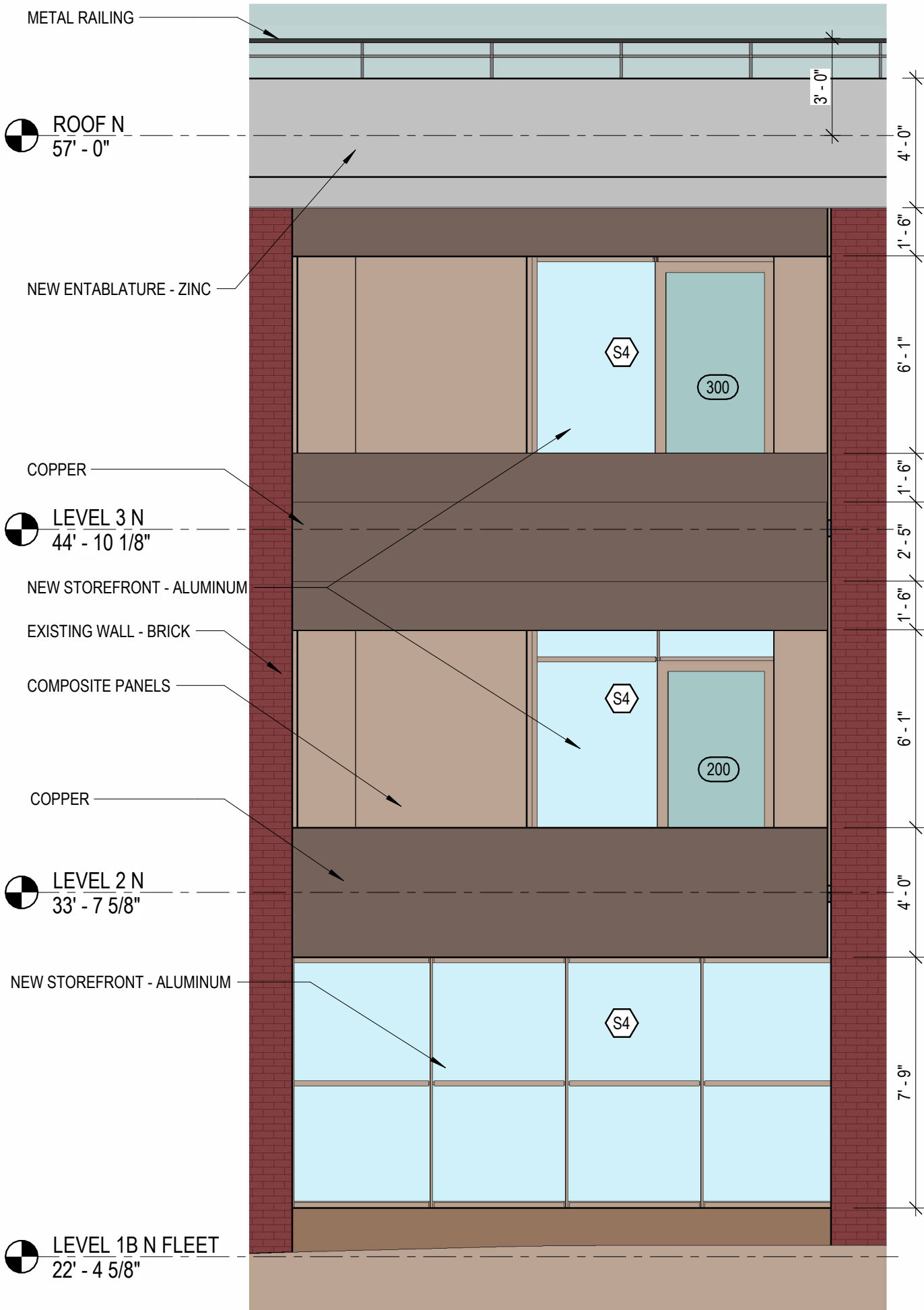
1 3D VIEW - NEW CANOPY AND STOREFRONT FLEET ST

HN3.07 DETAIL - FLEET ST, STOREFRONT
1-15 CONGRESS STREET

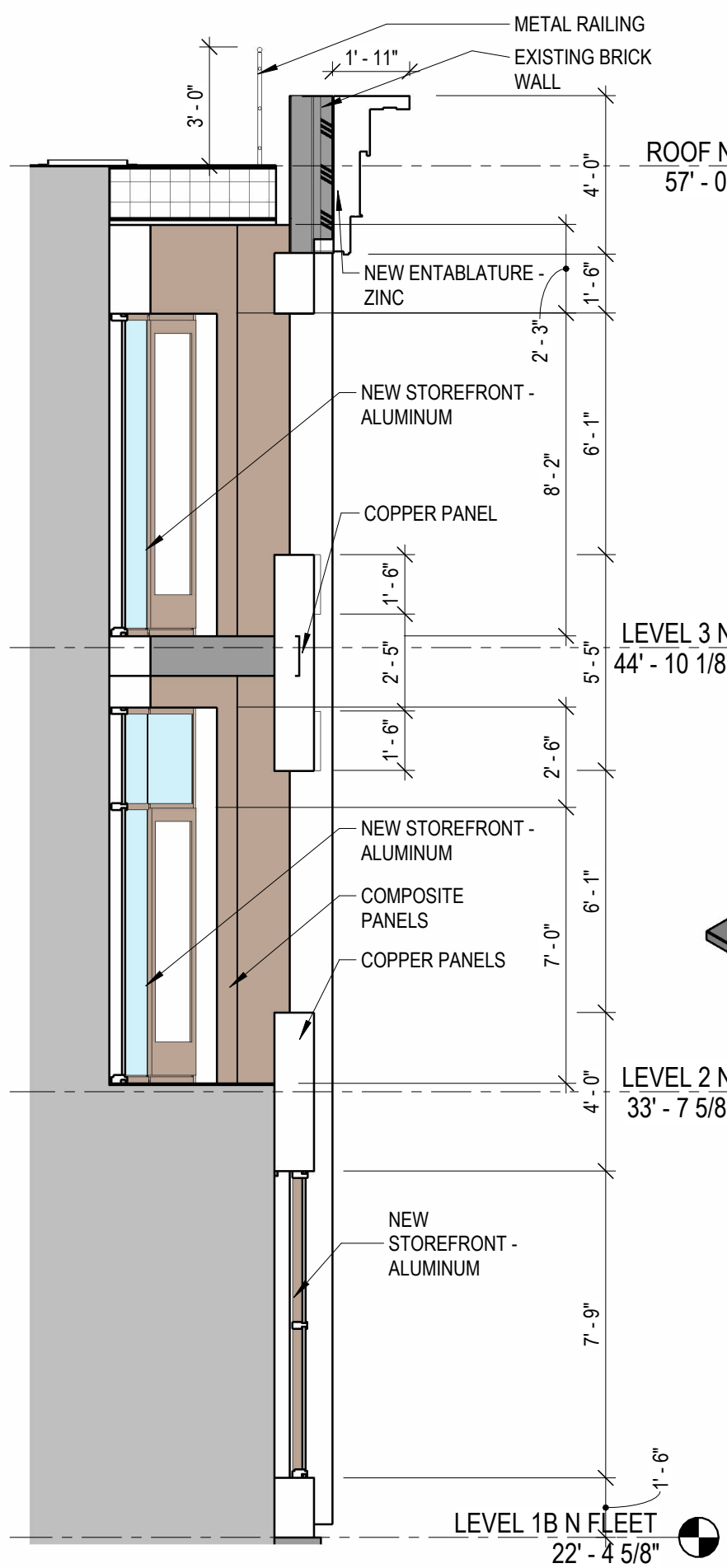
10/18/24



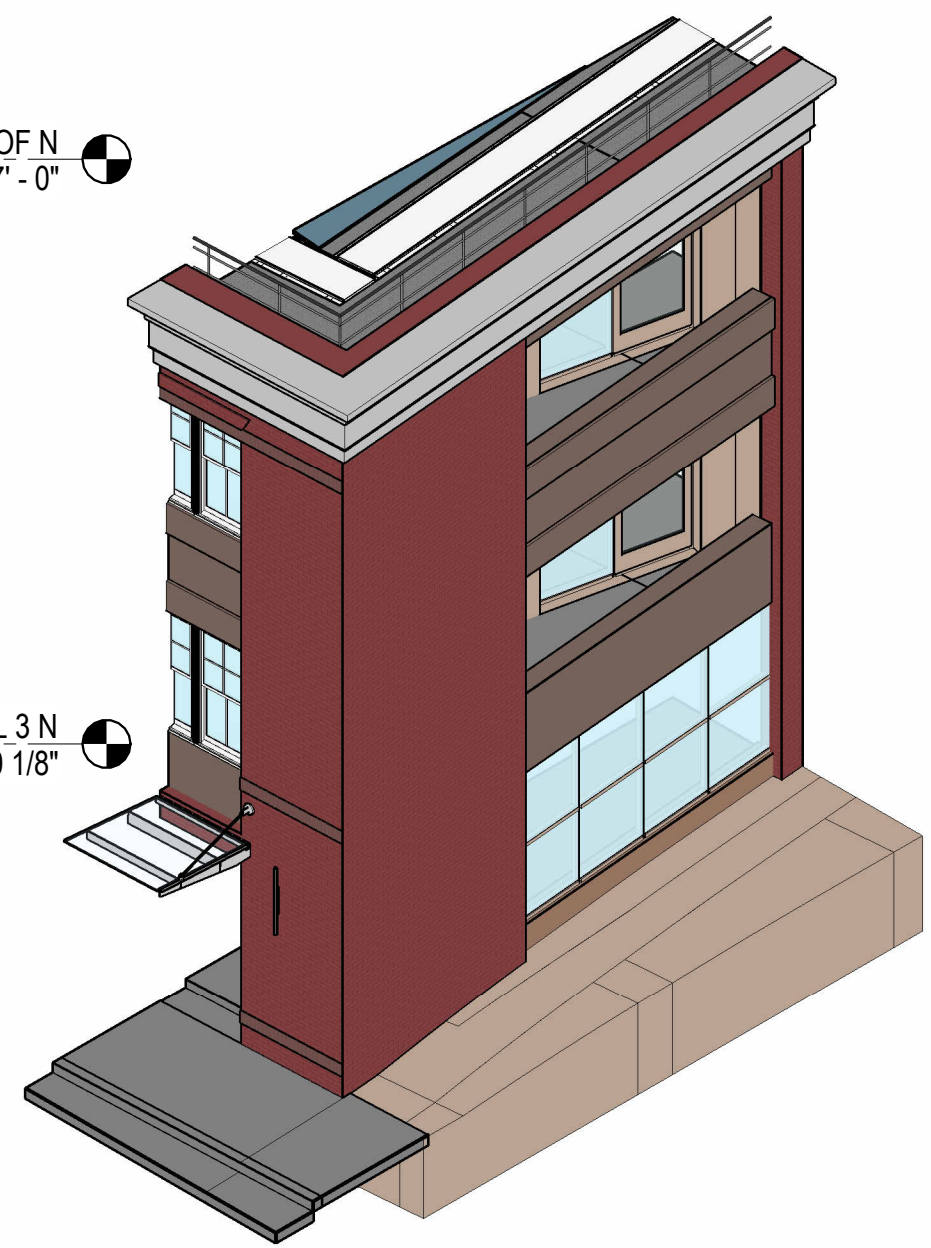
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3 ELEVATION - SOUTH ALLEY ENTRANCE
1/4" = 1'-0"



2 SECTION- SOUTH ALLEY ENTRANCE
1/4" = 1'-0"



1 3D VIEW - FLEET STREET SOUTH ALLEY ENTRANCE

**HN3.08 DETAIL - S. ALLEY, STOREFRONT
1-15 CONGRESS STREET**

10/18/24



EXISTING CONDITION

PROPOSED

PROPOSED

HN4.01 PERSPECTIVE NW FLEET STREET
1-15 CONGRESS STREET

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EXISTING CONDITION

PROPOSED

HN4.02 PERSPECTIVE NE HAVEN COURT
1-15 CONGRESS STREET

10/18/24



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TANGRAM 3DS



EXISTING CONDITION

PROPOSED

HN4.03 PERSPECTIVE SOUTH ALLEY
1-15 CONGRESS STREET

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TANGRAM 3DS



CIRCA 2024



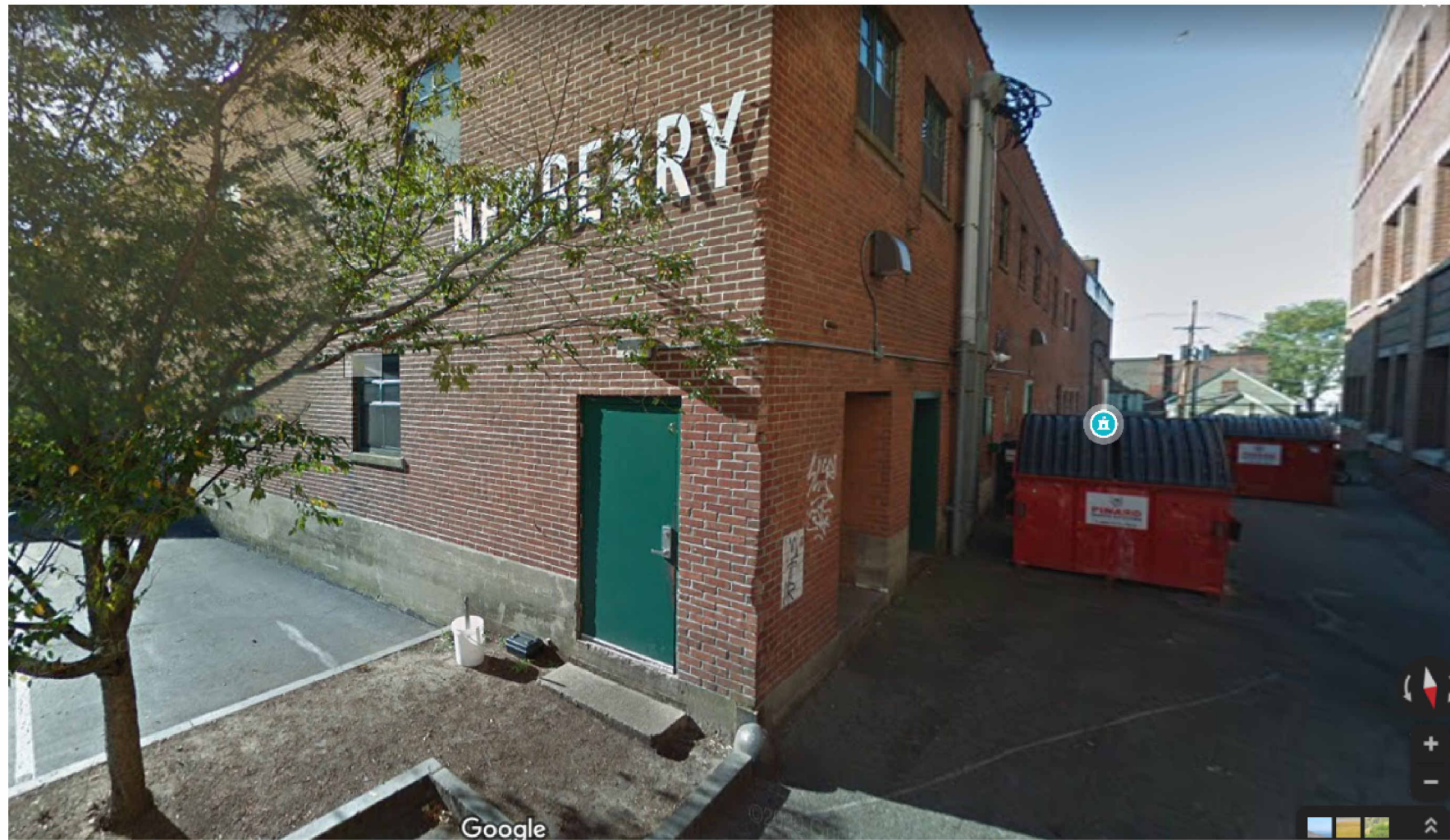
CIRCA 1860

HN4.04 PERSPECTIVE CONGRESS ST
1-15 CONGRESS STREET

10/18/24



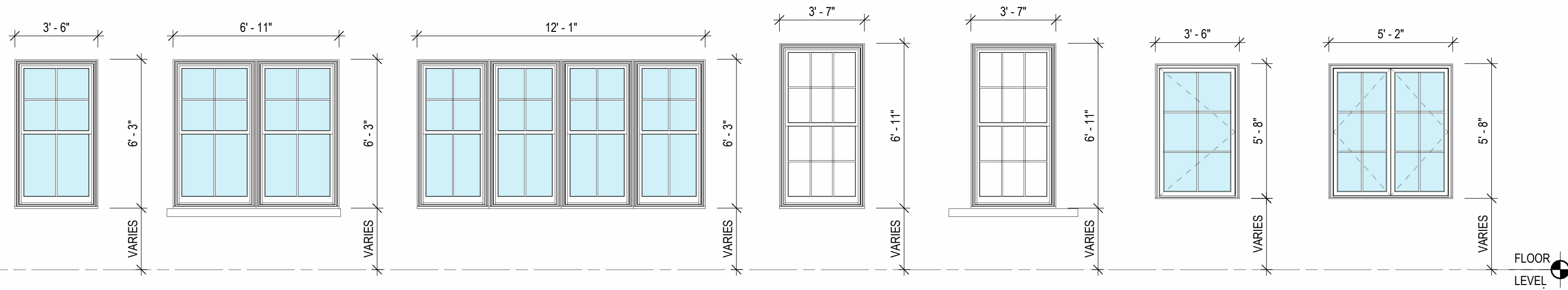
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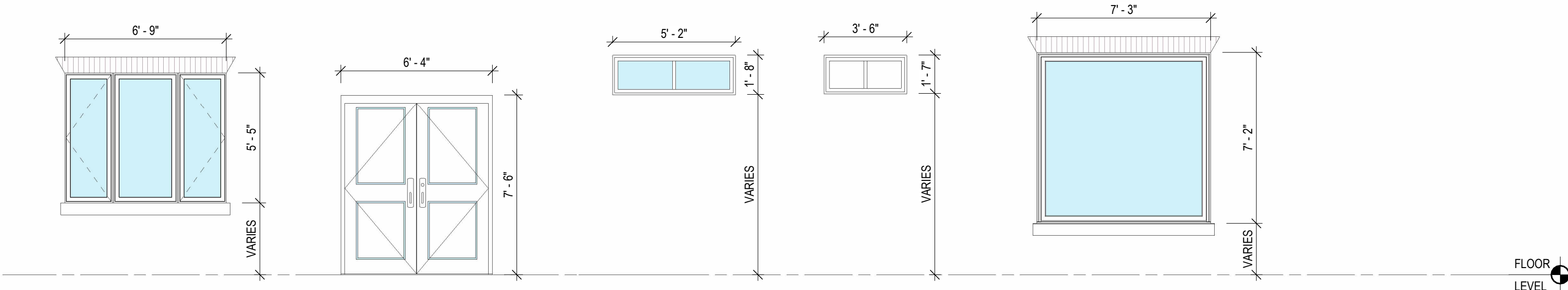
HAVEN COURT ENTRANCE

HN4.05 PERSPECTIVE, NORTH ENTRY
1-15 CONGRESS STREET

10/18/24



A DOUBLE HUNG EXISTING
 B DOUBLE HUNG EXISTING
 C DOUBLE HUNG EXISTING
 D DOUBLE CASEMENT WITH CENTER VERTICAL POST
 E DOUBLE CASEMENT WITH CENTER VERTICAL POST
 F DOUBLE CASEMENT WITH CENTER VERTICAL POST
 G DOUBLE CASEMENT WITH CENTER VERTICAL POST



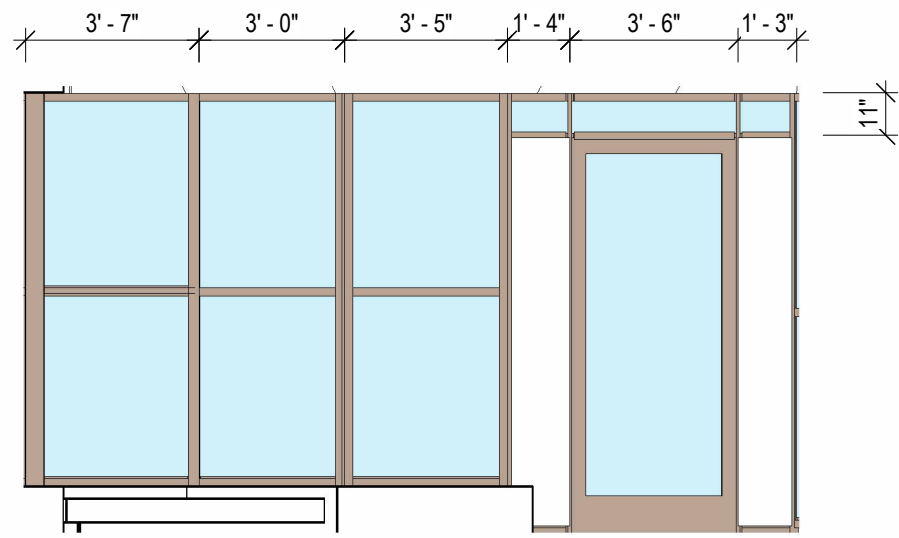
H CASEMENT W/ CENTER POST
 REPLACEMENT CASEMENT AND FRAME, VERIFY EXISTING ROUGH OPENING
I DOUBLE EXTERIOR DOOR TWO LITE
WB FIXED
WB1 FIXED
WB2 FIXED

GENERAL NOTE: FOR WINDOWS IN NEW CONSTRUCTION,
 WINDOW DIMENSIONS INDICATE UNIT SIZE,
 FOR ROUGH OPENING SIZE ADD 3/4" TO HEIGHT AND WIDTH.
 WOOD WINDOWS ARE CLAD IN ALUMINUM

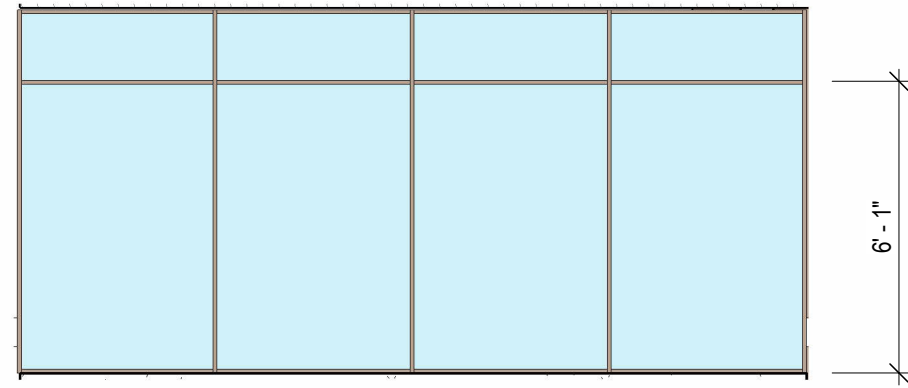
WINDOW & FRAME TYPES JJN
 1/4" = 1'-0"

HN5.00 WINDOW DOOR & FRAME TYPES
1-15 CONGRESS STREET

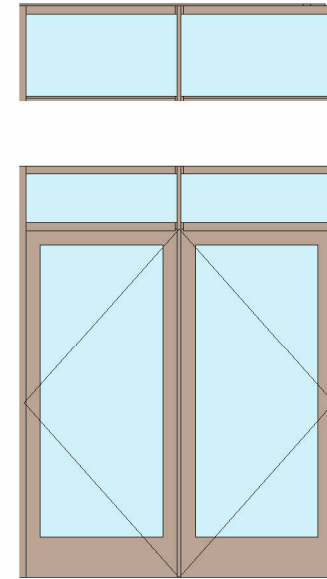
10/18/24



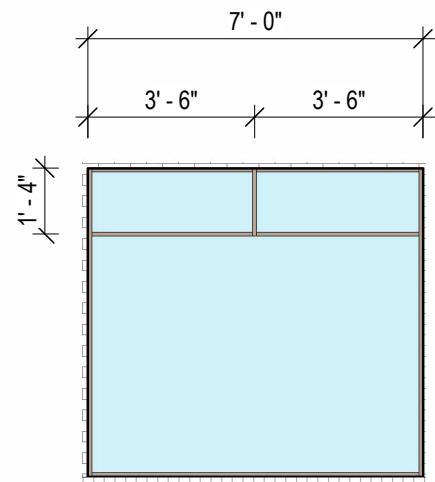
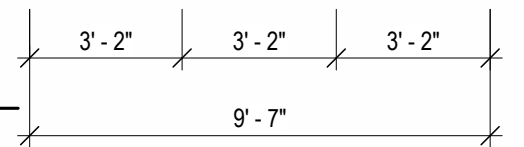
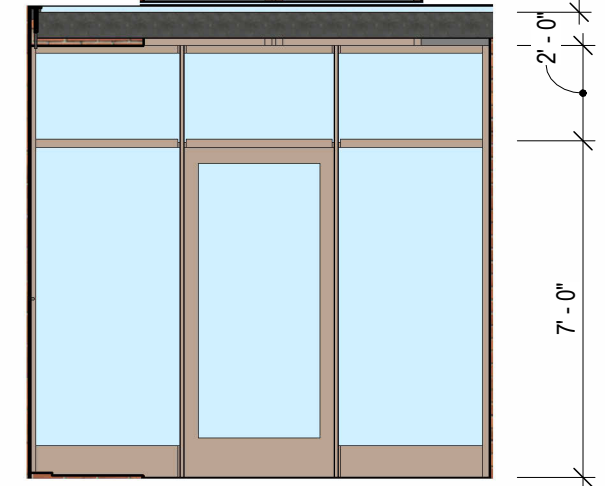
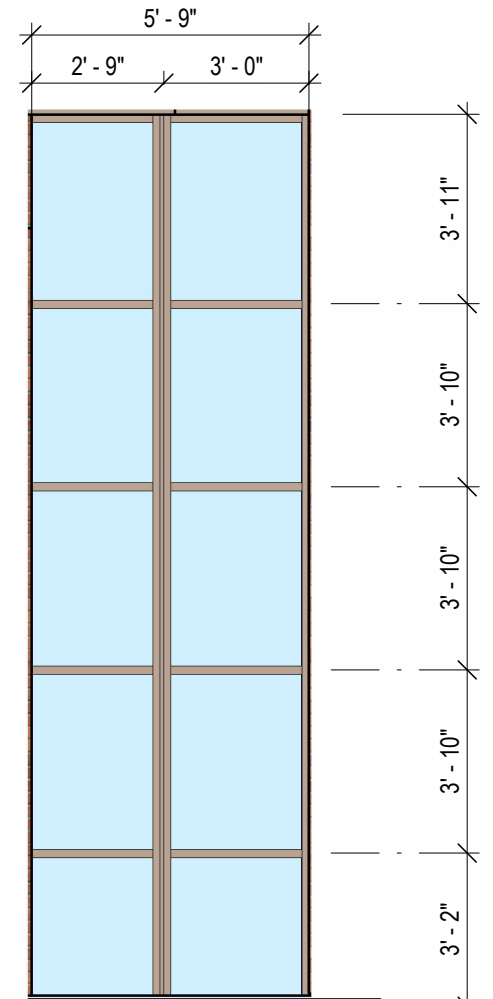
1 CURTAIN WALL 1- @15 CONGRESS STREET
1/4" = 1'-0"



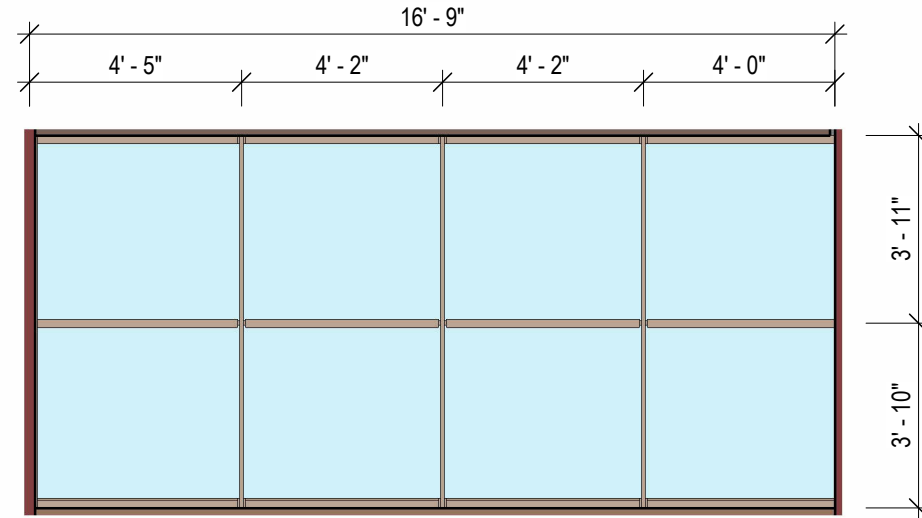
2 CURTAIN WALL 2 - NEW STOREFRONTS WEST
1/4" = 1'-0"



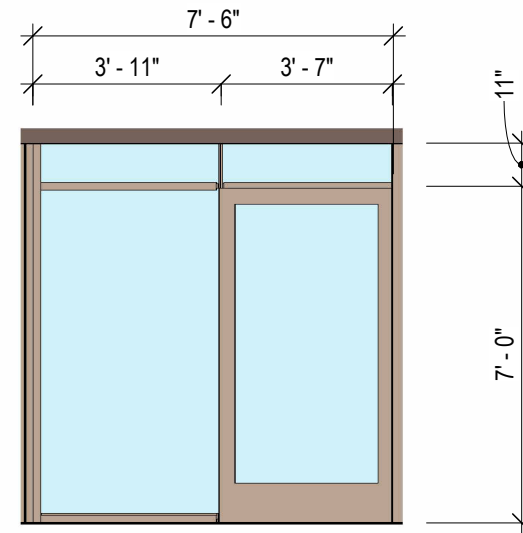
3 NEW STOREFRONT ENTRY WEST
1/4" = 1'-0"



4 CURTAIN WALL 4 STOREFRONTS WEST
1/4" = 1'-0"



5 CURTAIN WALL 5 SOUTH ELEVATION - SOUTH ALLEY
1/4" = 1'-0"



6 CURTAIN WALL 6 RECESSED BALCONIES - SOUTH ALLEY
1/4" = 1'-0"

7 CURTAIN WALL 7 ENTRY SOUTH ELEVATION (ALLEY END)
1/4" = 1'-0"

HN5.01 STOREFRONT TYPES
1-15 CONGRESS STREET

15 Congress Street				
Sheet	Material	Manufacturer	Model/Make	Finish/Color
HN6.05	Brick	to match existing	clay	waterstruck
HN6.06	Chimney Caps	Lofthouse	steel	powder coat/bronze
HN6.04	Composite Metal Panel	Alucobond	Axcent	anodize, dark bronze
HN6.04	Composite Trim - corbels	Versatex	Custom	field painted, per renderings
HN6.04	Composite Trim - flat stock & panel	Hardi	as indicated on renderings	field painted, per renderings
HN6.04	Copper	Revere	sheet	mill finish (natural)
HN6.04	Cornice, ZONC	Rheinzinc	sheet	mill finish (natural)
HN6.05	Granite	Swenson	wall base	thermal/Carolina Pink
HN6.05	Granite	Swenson	steps & benches	thermal/Autumn Pink
HN6.06	Railings at Balconettes	Custom	steel	powder coat/black
HN6.06	Railings at Roof and north balconies	Viva	Eco Vista	paint/black
HN6.02	Skylights	Town & Country	Custom - octagon & square	painted; dark bronze
HN6.04	Slate Roofing	Vermont Slate	semi-weathering natural	gray green
HN6.04	Soffits	Longboard	consistent wood grain	dark fir
HN6.03	Storefronts & doors	Kawneer	Trifab	Kynar, medium bronze
HN6.01	Windows	Pella	Architectural Series	aluminum clad wood - kynar, brown

**HN6.00 MATERIALS, SCHEDULE
1-15 CONGRESS STREET**

10/18/24



Pella® Reserve™ Traditional Wood & Clad/Wood



Exquisitely designed windows and doors with unparalleled historical detailing.



- Easy-to-learn Pella Steady Set™ interior installation system**
Pella Steady Set Interior Installation System is a revolutionary, award-winning and safer way to install new construction windows. The simple system is the fastest, most labor efficient wood window installation system with uncompromising quality. Available on select windows.
- Historical Details**
Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve – Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**
Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural Interest**
Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles to provide meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**
If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**
From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Intentional innovation**
The award-winning Integrated RolSCREEN® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window and rolls away, out of sight, when you close it.
- Durable interiors and extruded aluminum exteriors**
To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified**
Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.
- Testing beyond requirements**
All wood products and testing are not created equal. Pella raises the bar on industry standard testing and beyond to deliver long-lasting products and reduced callbacks. Every Pella wood window and door passes 5, on average, quality checks before it arrives on the jobsite.
- Best limited lifetime warranty***
Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.†

Available in these window and patio door styles:

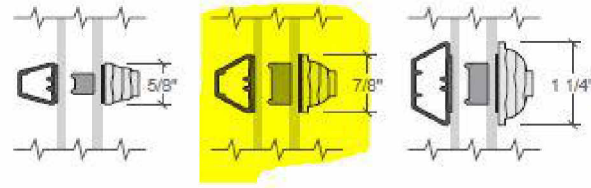


Special shape windows also available.

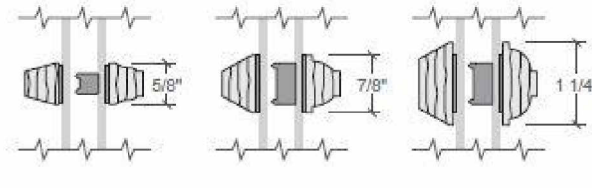
*** See back cover for disclosures.

Integral Light Technology®

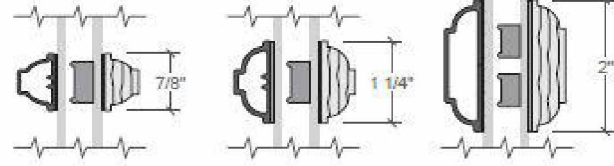
Putty and Ogee Glaze Grilles Clad Exterior - Wood Interior



Putty and Ogee Glaze Grilles Wood Exterior - Wood Interior



Ogee Glaze Grilles Clad Exterior - Wood Interior



Contoured Aluminum - Grilles-Between-the-Glass



MULLED CASEMENT

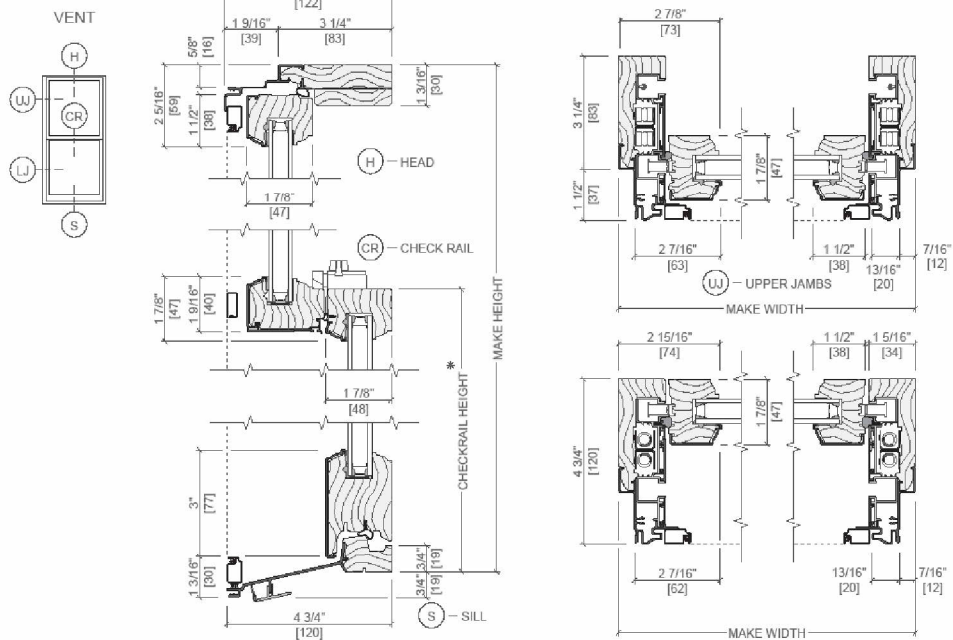


MULLED DOUBLE HUNG



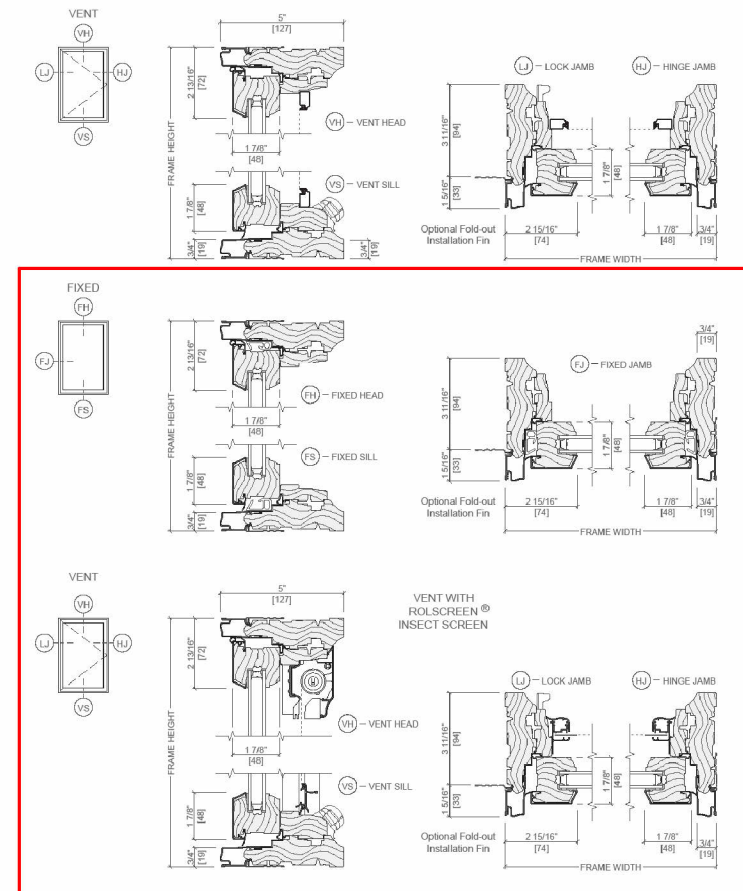
Pella® Reserve™ Traditional Precision-Fit Hung Window

Unit Section - Aluminum-Clad Exterior Ogee Exterior Glazing Profile



Pella® Reserve™ Traditional Casement Window

Unit Sections – Aluminum-Clad Exterior, Putty Glaze Exterior Profile



Pella 2024 Architectural Design Manual | Division 08 - Openings | Windows and Doors | www.Pella.com

CM-33

Colors

Wood Types

Choose the wood species that best complements your project's interior.



Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.†



HN6.01 MATERIALS, WINDOWS
1-15 CONGRESS STREET

10/18/24



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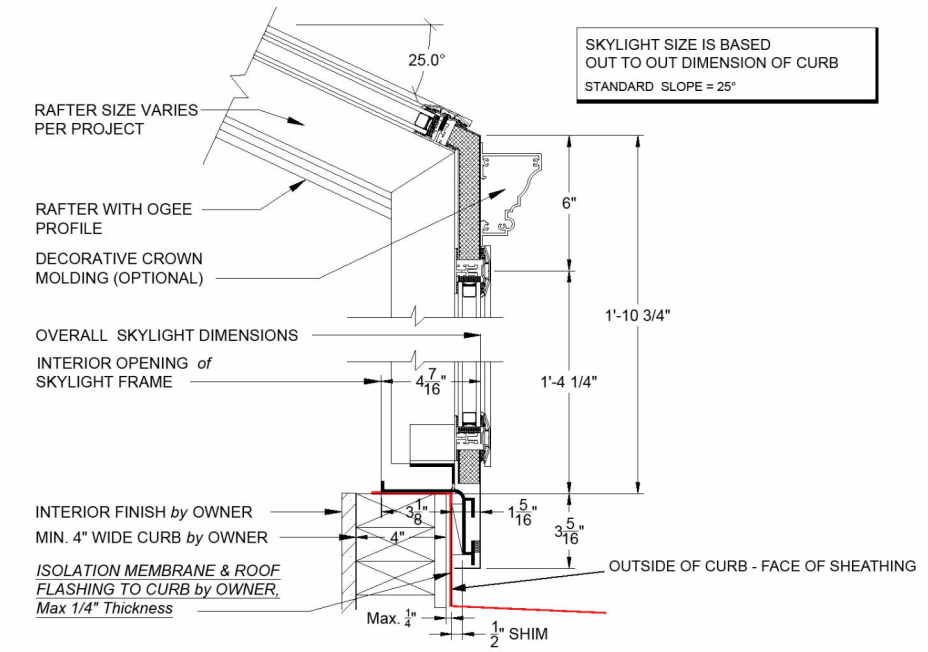
OCTAGONAL SKYLIGHT



PYRAMID SKYLIGHT



TOWN & COUNTRY SKYLIGHT SYSTEM



SKYLIGHT with SIDE FRAMES STANDARD DETAIL

Do Not Scale Drawings

GLAZING OPTIONS

DESCRIPTION (1" Overall)	U-VALUE*	SOLAR HEAT GAIN COEFFICIENT*	SHADING COEFFICIENT*	VISIBLE LIGHT	REFLECTANCE (Exterior)
Typical Low-E Glass (on most homes)	.33	.66	.76	73%	17%
High-performance Low-E Glass (our standard)	.26	.40	.46	71%	11%
Upgrade 1 High-performance Low-E: Better Shading Coefficient	.25	.27	.31	64%	11%
Upgrade 2: Maximum Shading Coefficient	.26	.24	.28	39%	14%

* U-value measures the insulating properties of glass. The lower the better. Shading coefficient and Solar Heat Gain Coefficient measure the amount of solar energy admitted through the glass. The lower the better to reduce air-conditioning costs.



CLADDING COLOR OPTIONS



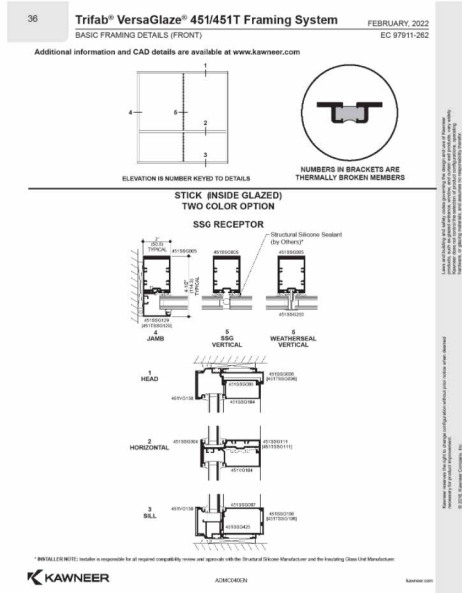
HN6.02 MATERIALS, SKYLIGHTS
1-15 CONGRESS STREET

10/18/24

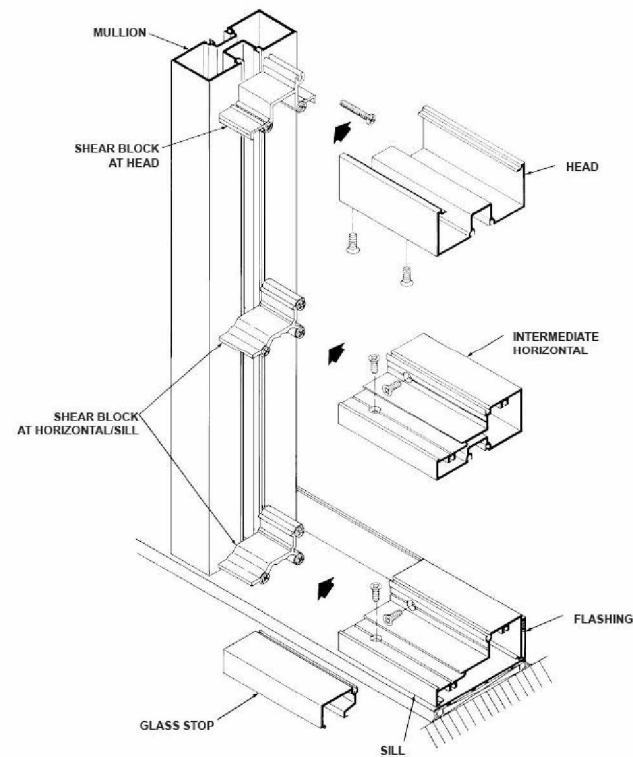


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CLADDING COLOR OPTIONS



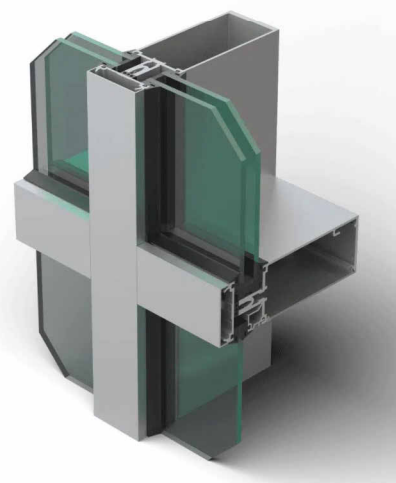
STOREFRONT AXONOMETRIC DETAIL



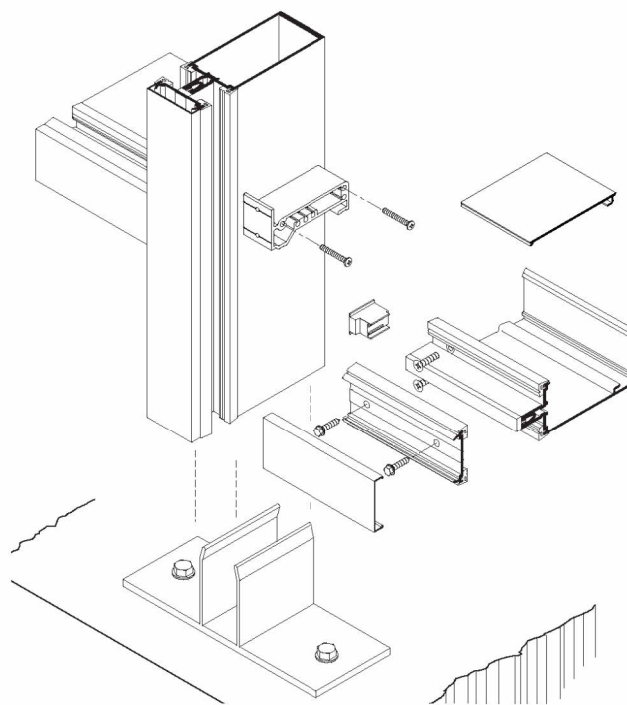
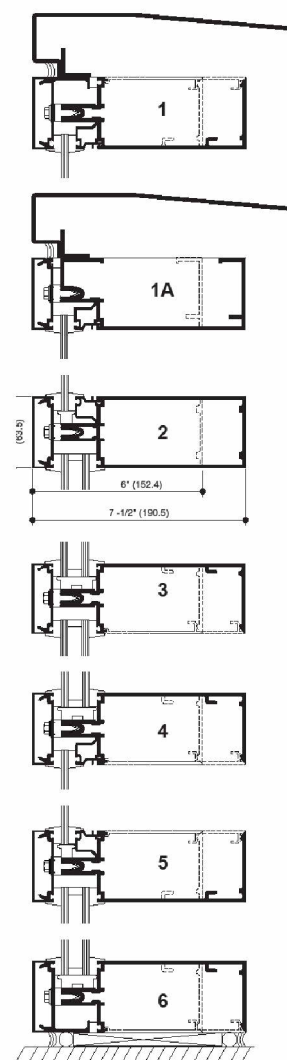
TRIFAB® VG (VERSAGLAZE®)
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM



Design + Performance
Versatility with Unmatched
Fabrication Flexibility



1600 Wall System®1 Curtain Wall




Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

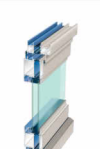
With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.



2000T Terrace Doors →

- 3-3/4" (95.3mm) sightline
- 2-1/4" (57.2mm) depth
- High-thermal performance
- Hurricane resistance
- Exterior balcony application

SELECT TO COMPARE



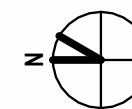
NX-8900 Terrace Doors →

- 4" (101.6mm) sightline
- 2-3/4" (69.9mm) depth
- 3-1/4" (82.6mm) or 4-5/8" (117.5mm) frame depth
- High-thermal performance
- Exterior balcony application

SELECT TO COMPARE

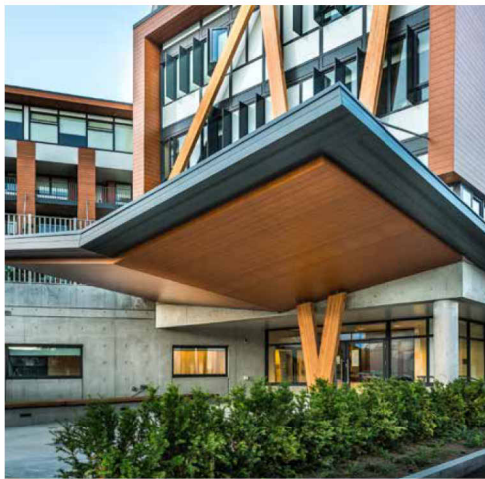
HN6.03 MATERIALS, STOREFRONT-CURTAIN WALL CONGRESS STREET

10/18/24



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SOFFIT-CEILING AT BALCONIES



- thermally broken
- made of light weight aluminum
- supports continuous insulation
- creates a rain screen
- response time within 24 hours
- supports other cladding up to 8 lbs per sq ft.
- adjustable for sub-wall misalignment
- health product declarations
- support for specifications + drawings
- built for seismic zones



easy to use quick delivery
solid warranty durable finishes

longboardproducts.com

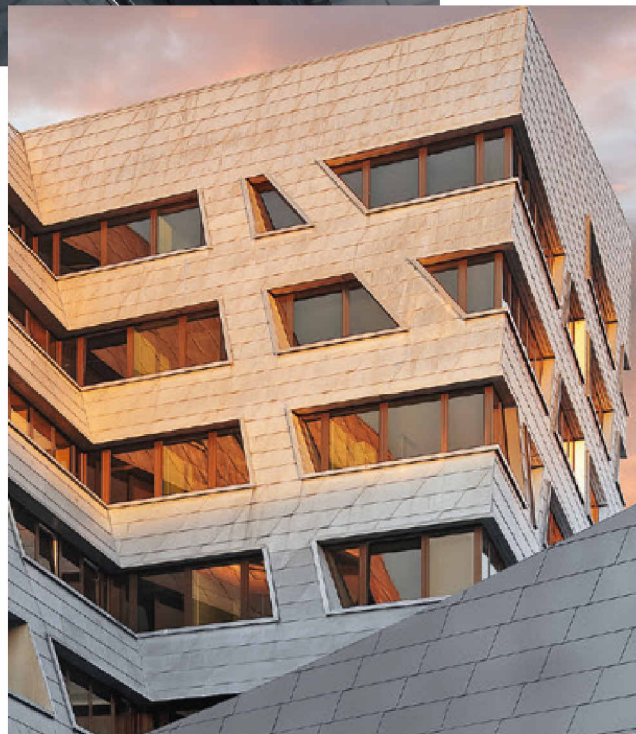
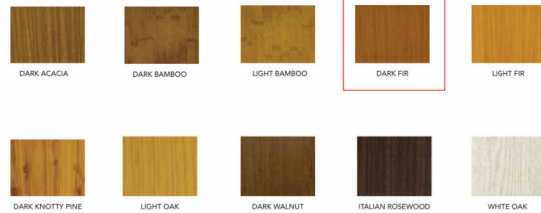


LONGBOARD®

WOODGRAIN OPTIONS

Our woodgrain options are divided into four categories based on the consistency of the wood grain pattern.

CONSISTENT



ZINC CORNICE ALONG EXISTING PARAPET

The three pillars of sustainability of titanium zinc

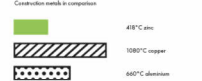
Sustainability is one of the most inflationary terms today - but also one of the most important. Thanks to its outstanding properties, titanium zinc from RHEINZINK is not only sustainable, but the definition of sustainability.

Small carbon footprint
RHEINZINK has had an environmental product declaration drawn up for its products in accordance with internationally recognized standards. The result shows a carbon emission of 2.379 kg carbon/kg for pre-weathered titanium zinc sheet, which corresponds to the highest breaking level. For comparison: Using the same methodology as for pre-weathered zinc, the carbon emissions for aluminum-clad aluminum sheet are 6.39 kg carbon/kg. This resulted in very good comparative values even before the changeover to prePATINA ECO ZINC.

prePATINA ECO ZINC IN FIGURES



MELTING POINTS



100% recyclability
What many call recycling is often merely downcycling. At RHEINZINK, we therefore speak more appropriately of the Cradle to Cradle principle. After its use, titanium zinc can be correctly sorted by type without effort and reused an infinite number of times in its original quality. Therefore, RHEINZINK products basically have an eternal life.

With prePATINA ECO ZINC, we are taking a big step forward on the path to decarbonisation. We are the first manufacturer of construction zinc to reduce carbon emissions by 50%. We make sustainability real: with real renewable energies - certified and without compensation.

EXTREMELY DURABLE PRACTICALLY MAINTENANCE-FREE 100% RECYCLABLE NATURALLY SUSTAINABLE

COMPOSITE WALL PANELS (ELEVATOR OVER-RUN AND RECESSED ACCENTS)

ALUCOBOND®

GIVING SHAPE TO GREAT IDEAS

ALUCOBOND® Products

PROPERTIES AND BENEFITS

- Flatness and Rigidity
- Lightweight
- Durability
- Custom color expertise
- Formability
- Ease of fabrication
- Perforation capabilities
- 89 stocked ACM colors
- Complementary flat aluminum sheet colors
- Can contribute toward LEED points
- 100% recyclable
- Zero VOC's emitted in use
- EPD in compliance with International ISO Standards

ALUCOBOND® PLUS

4mm ACM comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.

ALUCOBOND® AXCENT™

A solid .040" flat aluminum sheet that offers the perfect complement to ALUCOBOND PLUS. AXCENT is excellent for columns, parapet caps, canopies, soffits, and trim.

ALUCOBOND® EasyFix™

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

ALUCOBOND EasyFix must be used with:

- ALUCOBOND PLUS
- ALUCOBOND EasyFix: Clips or Rails

Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft²
Standard panel dimension*	62" x 196"
Maximum width**	62"
Maximum length**	400"

Product thickness	0.040" (nominal)
Weight	0.56 lb/ft²
Standard width	48"
Standard length	120"

Weight	1.9 lb/ft²
Weight	1.56 lb/ft²
Standard panel dimension*	40" x 196"
Maximum panel width/length	62"/400"
Clip length	3"
Rail length	12"

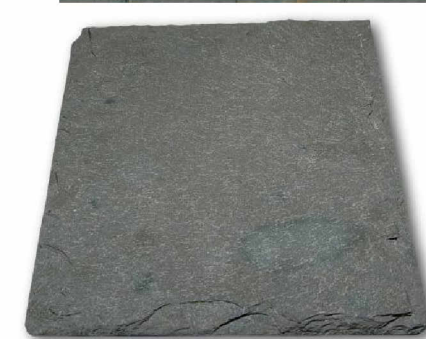
* Exceptions to standard dimensions include mirror, print, and others. Refer to product range table on next page.
** Sheets will be fabricated to meet custom panel sizes within product range above.

ALUCOBONDUSA.COM / 800.626.3635

The Anodized Collection®

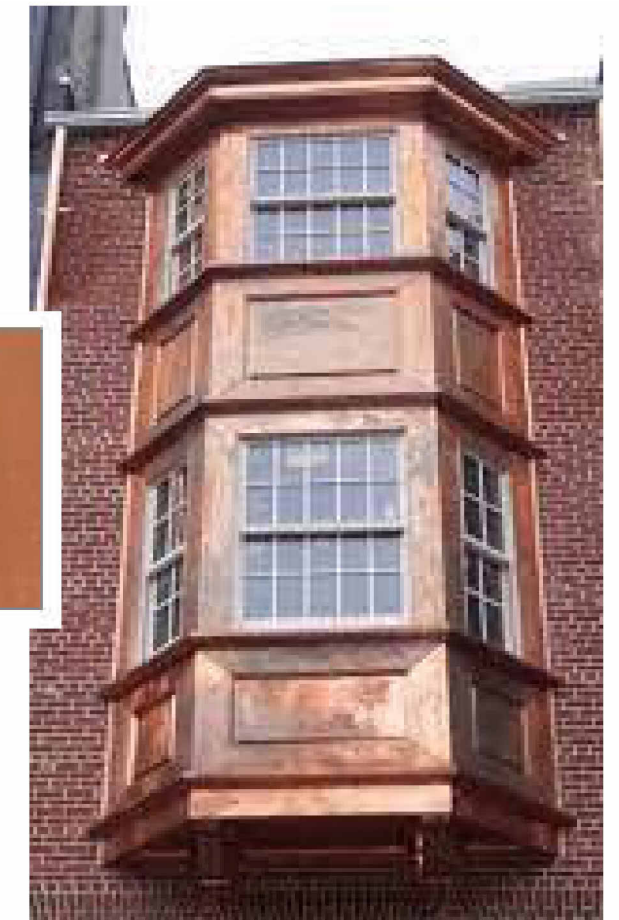
* Natural variations in shade and color will occur with anodized finished metals. This variation is part of the natural beauty brought out by the anodizing process and often sought after for this aesthetic quality. Visual look of variation may also be affected by lint as well as size of panel.

ROOFING - NATURAL SLATE



GRAY-GREEN, SEMI-WEATHERING NATURAL SLATE; VERMONT SLATE

COPPER CLADDING- BAY WINDOWS AND PANEL CLADDING



HN6.04 MATERIALS, CLADDING & ROOFING
1-15 CONGRESS STREET

10/18/24



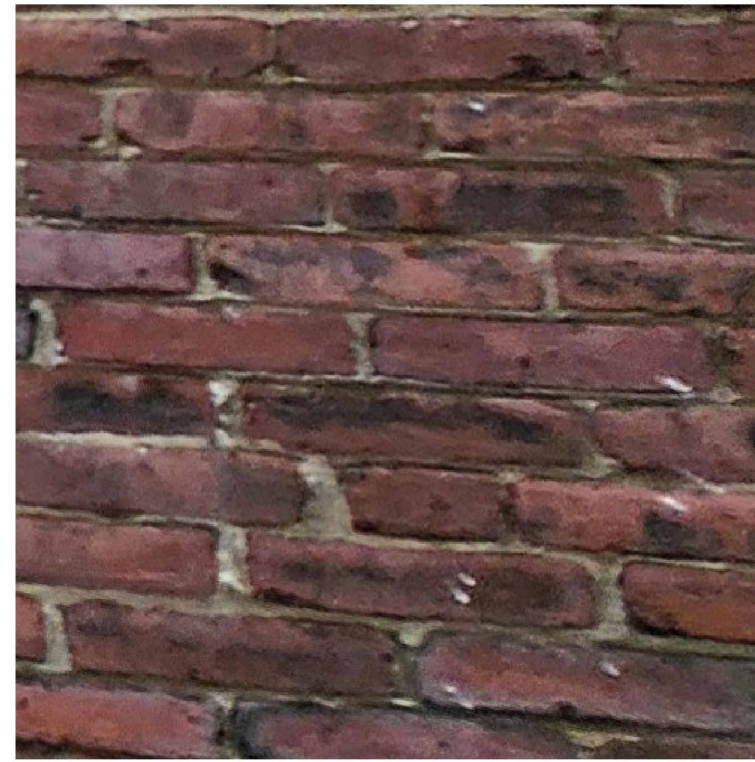
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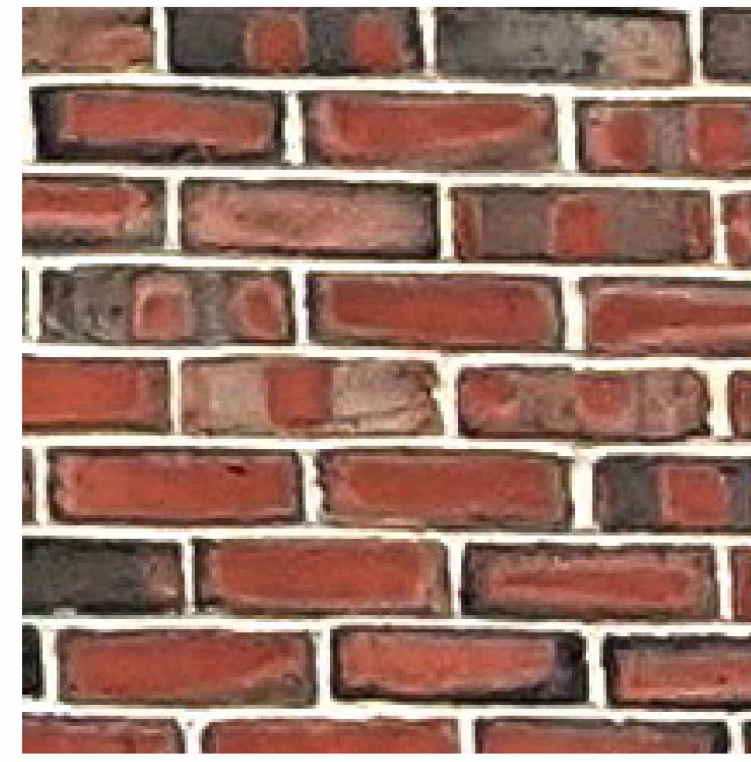
EXISTING BRICK - HAVEN COURT EAST



EXISTING BRICK - HAVEN COURT WEST



EXISTING BRICK - SOUTH ALLEY



EXISTING BRICK - FLEET STREET



Carolina Coral
GRANITE (Haven Court, Wall Base)



Autumn Pink
GRANITE (Haven Court, Steps & Benches)



EXISTING BRICK - 15 CONGRESS STREET

HN6.05 MATERIALS, MASONRY
1-15 CONGRESS STREET

10/18/24



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ECO VISTA GLASS SYSTEM - MOUNTING CONDITIONS



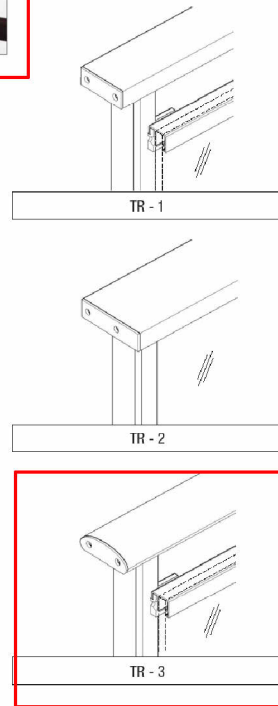
ECO VISTA GLASS SYSTEM - FINISH OPTIONS



Available Standard and Premium colors on Pg 208

ECO VISTA GLASS SYSTEM - TECHNICAL DATA

	MATERIAL	FINISH	SIZE/SPACING
POST	Aluminum	Power Coat - Super Polyester (AMBA 2016 - 5) Powder Coat - R90P (AMBA 2016 - 10)	2.5" x 1.5" rectangular section for fascia mounted post, and T section for top or side mounted post, 24" x 1" (303) S.S.
INFILL OPTIONS	Glass	Clear, Tinted or Full	Min. 3/16" laminated glass with PVB or SGP interlayer* Glass standard thickness: 3/16", 1/2", 5/16", 3/4" Interlayer standard thickness: SGP: 0.39" - 0.50" PVB: 0.25" - 0.30"
TOP RAIL/HAND RAIL	Aluminum	Power Coat - Super Polyester (AMBA 2016 - 5) Powder Coat - R90P (AMBA 2016 - 10)	Top rail options: Rectangular: 2.5" x 1.5" (303) Inclined: 2.5" x 1.5" (303) Flat: 3.5" x 1.5" (303)

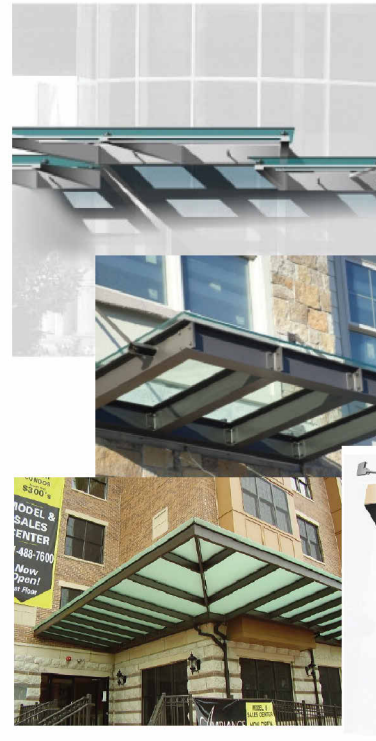


BRONZE METAL CUSTOM CHIMNEY CAP;
LOFTHOUSE SPECIALTIES



GLASS AWNINGS- FLEET STREET, HAVEN CT, & SOUTH ALLEY

Vision™ series
Glass and Perforated Metal Canopies.



Vision® is a custom canopy system with your choice of glass, acrylic panels or perforated metal. Assembled in any combination you desire. You can showcase your "brand" signature with this in-house designed and built canopy system.

Features and Benefits:

- Free-form design opportunities
- Endless selection of glass finishes and metal patterns.
- Custom designed to exact specifications
- Can be designed to match other building elements
- Create a lasting focal point.

Innovative environmental control through creative design



EXTERIOR LIGHT FIXTURES



Refraction Large Outdoor Sconce

Base Item #: 302623

Selected Options

Lamping	Finish
Incandescent (SKT)	Coastal Dark Smoke (77)

Option1
Clear Glass (ZM) [ZM0618]

Configured Item #: 302623-1004

Smart String: 302623-SKT-77-ZM0618

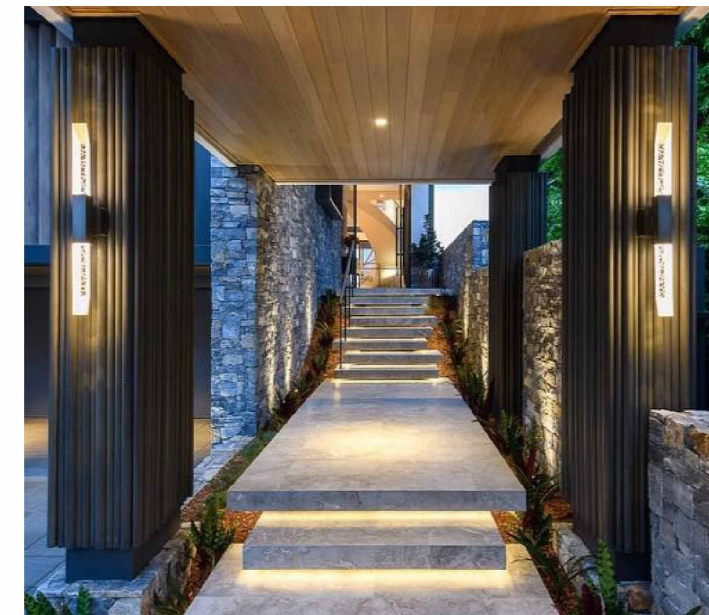
1 Image shown may not correspond to selected options

Specifications

Dimensions			
Height	35.7"	Lamping Information	
Width	5"	Socket Type	GY 6.35
Depth	4"	Bulb	MR16 reflector, 20 watt Max
Product Weight	14.8 lbs	Number of Bulbs	2 (included)
Backplate	5.3" x 5"	Voltage	12V
Mounting Height - Vertical	17.9"	Location Rating UL	Outdoor Wet
		Safety Rating	UL CUL listed

Options

Lamping	Finish	Option1
Incandescent (SKT)	Coastal White (02) Coastal Oil Rubbed Bronze (14) Coastal Natural Iron (20) Coastal Bronze (75) Coastal Dark Smoke (77) Coastal Burnished Steel (78) Coastal Black (80)	Clear Glass (ZM) [ZM0618]



HN6.06 MATERIALS, SPECIALTIES
1-15 CONGRESS STREET

10/18/24



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DRAWING INDEX

- H5.01 COVER
- H5.11 DEMOLITION PLAN
- H5.12 DEMOLITION ELEVATIONS
- H5.14 FIRST FLOOR PLAN

- H5.16 AVERAGE GRADE PLANE CALCULATIONS
- H5.17 ROOF AREAS CALCULATIONS

- H5.20 ROOF HEIGHT DETAIL - HAVEN CT
- H5.21 ELEVATION - CONGRESS STREET
- H5.22 ELEVATION - HIGH STREET
- H5.23 ELEVATION - HAVEN COURT
- H5.24 ELEVATION - REAR (WEST) ALLEY

- H5.32 VINGNETTE - CONGRESS STREET
- H5.33 VINGNETTE - HIGH ST FROM CONGRESS ST
- H5.34 VINGNETTE - HIGH ST FROM STARBUCKS
- H5.35 VINGNETTE - HAVEN CT FROM LADD ST
- H5.36 VINGNETTE - HIGH ST AT LADD ST & HAVEN CT

- H4.41 DETAILS

- H5.50 MATERIALS - WINDOWS
- H5.51 MATERIALS - FENESTRATION
- H5.52 MATERIALS - ARCADE FENESTRATION
- H5.53 MATERIALS - CLADDING
- H5.54 MATERIALS - CLADDING

PROJECT NARRATIVE

This drawing set for 1 Congress Street (Map 0117 Lot 14) is presented here for approval by HDC as part of the combined 1 & 15 Congress Street application. 1 Congress Street (Map 0117, Lot 14) was previously approved by HDC on 08/03/2022. Minor revisions were approved in November 2022. A first one-year extension was granted for approval through 8/03/2024. A second one-year extension was granted for approval through 8/03/2025.

The following new revisions are clouded in the following drawings, to highlight items that have changed since the previous HDC approval.

1. Rear (west) edge of building is now pushed approximately 10 feet back to align with west property line and connect to abutting building at 15 Congress Street.
2. Four skylights at attic mansard roof along the west property line have been changed to recessed balconies.
3. The roof access stair has been relocated to the west property line, with a new entrance.
4. The grade of Haven Court is proposed to be lowered, to provide an accessible way. The wall bases and window sills along Haven Court have been adjusted accordingly.

Project Overview (as previously approved)

REHABILITATION AND ADAPTIVE REUSE OF EXISTING HISTORIC STRUCTURES WITH A NEW ADJACENT STRUCTURE ON REAR SURFACE PARKING LOT.

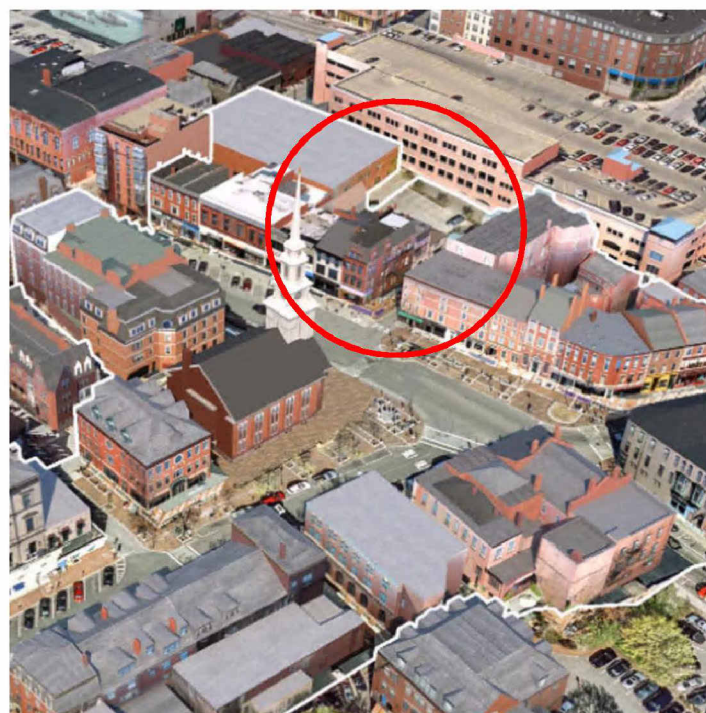
USES INCLUDE RETAIL AT FIRST FLOOR, RESIDENTIAL UNITS AND OFFICE SPACE ABOVE, AND ONE LEVEL OF UNDERGROUND PARKING.



ONE CONGRESS STREET RENOVATION & ADDITION

ONE MARKET SQUARE, LLC

HISTORIC DISTRICT COMMISSION -
PUBLIC HEARING
OCTOBER 18, 2024

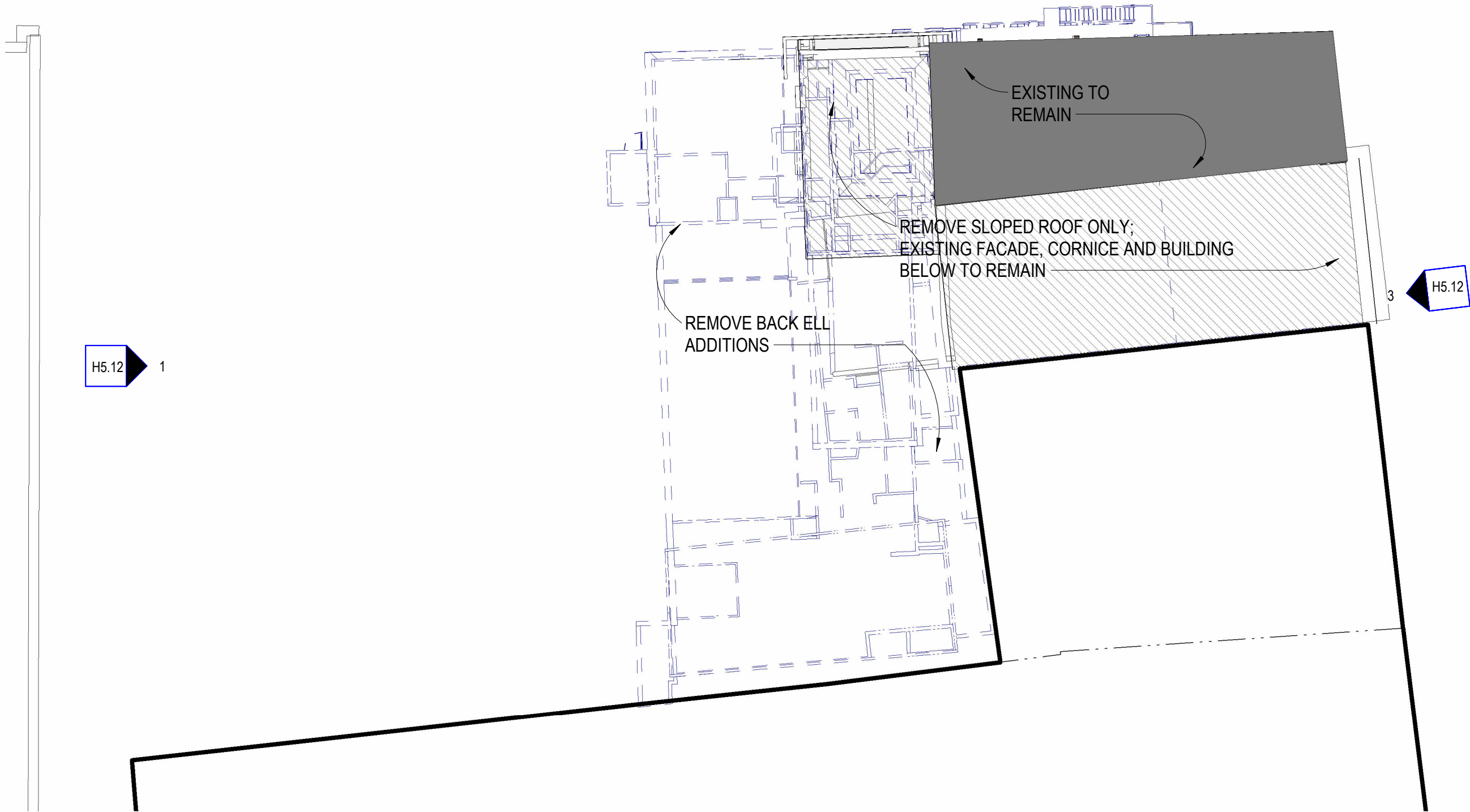


H5.01 COVER
1-15 CONGRESS STREET
SCALE:
10/18/24



H5.12
2

H5.12
1

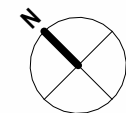


H5.11

DEMOLITION PLAN 1 CONGRESS STREET

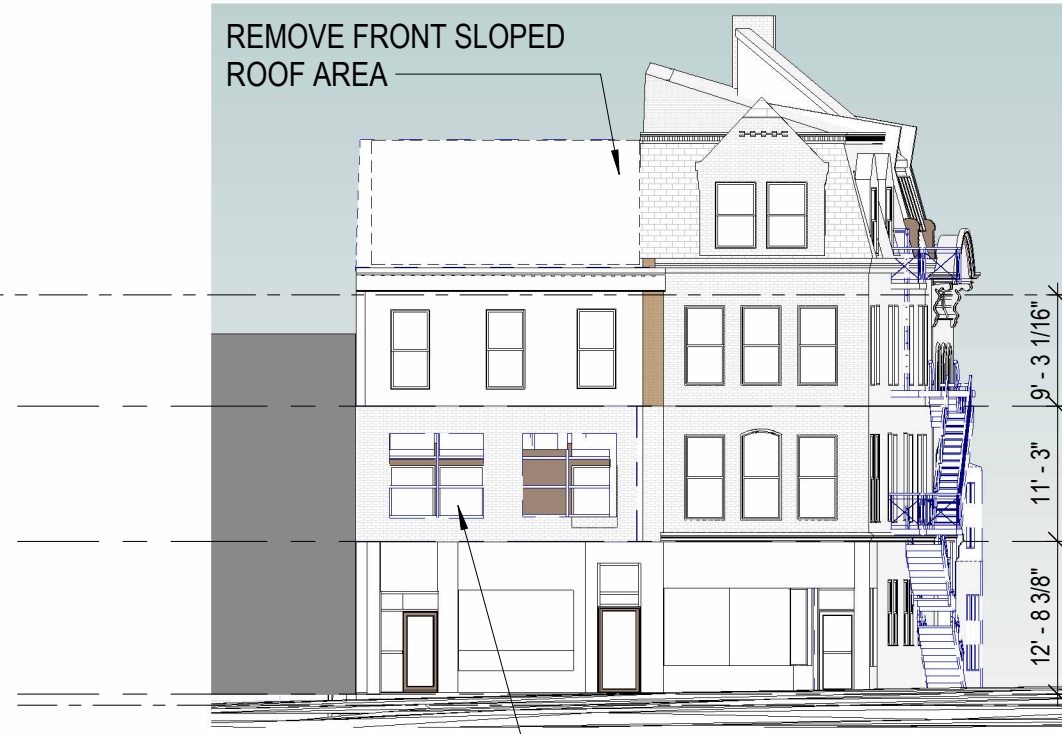
SCALE: 1/16" = 1'-0"
8/03/2022

GRAPHIC SCALE: 1/16" = 1'-0"



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REMOVE FRONT SLOPED ROOF AREA



EXISTING ATTIC
61' - 3 3/4"

EXISTING-Level 3
52' - 0 5/8"

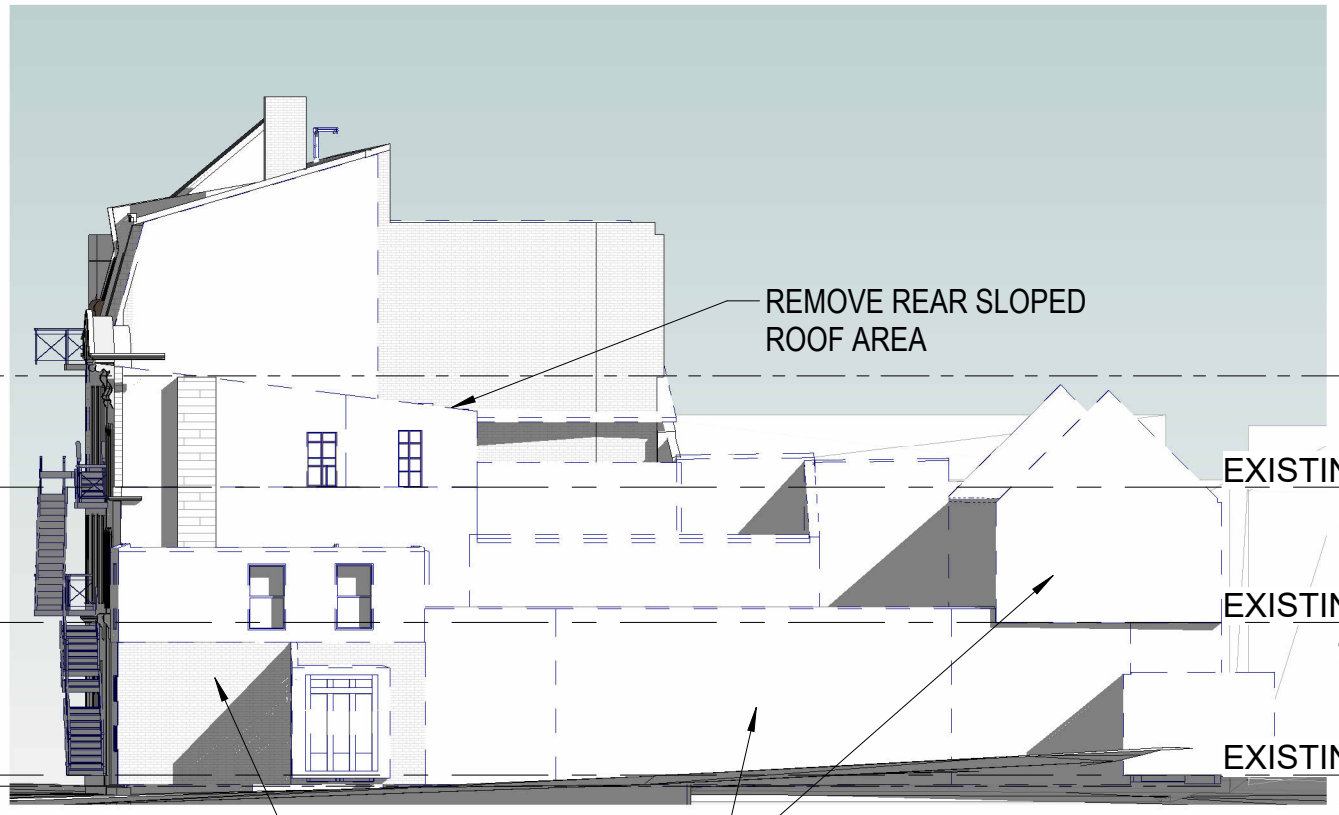
EXISTING-Level 2
40' - 9 5/8"

EXISTING-Level 1
28' - 1 1/4"

AVG GRADE CD5
EXISTING*
27' - 2 1/8"

3 PROPOSED ELEVATION - CONGRESS ST
1/16" = 1'-0"

REMOVE REAR SLOPED ROOF AREA



ATTIC
61' - 3 3/4"

EXISTING-Level 3
52' - 0 5/8"

EXISTING-Level 2
40' - 9 5/8"

EXISTING-Level 1
28' - 1 1/4"

1 REAR DEMOLITION ELEVATION - NW - HAVEN COURT
1/16" = 1'-0"

AVG GRADE CD5
EXISTING*
27' - 2 1/8"



REMOVE REPLACED STOREFRONTS

REMOVE FIRE ESCAPES

REMOVE AREA OF REPLACED STOREFRONT

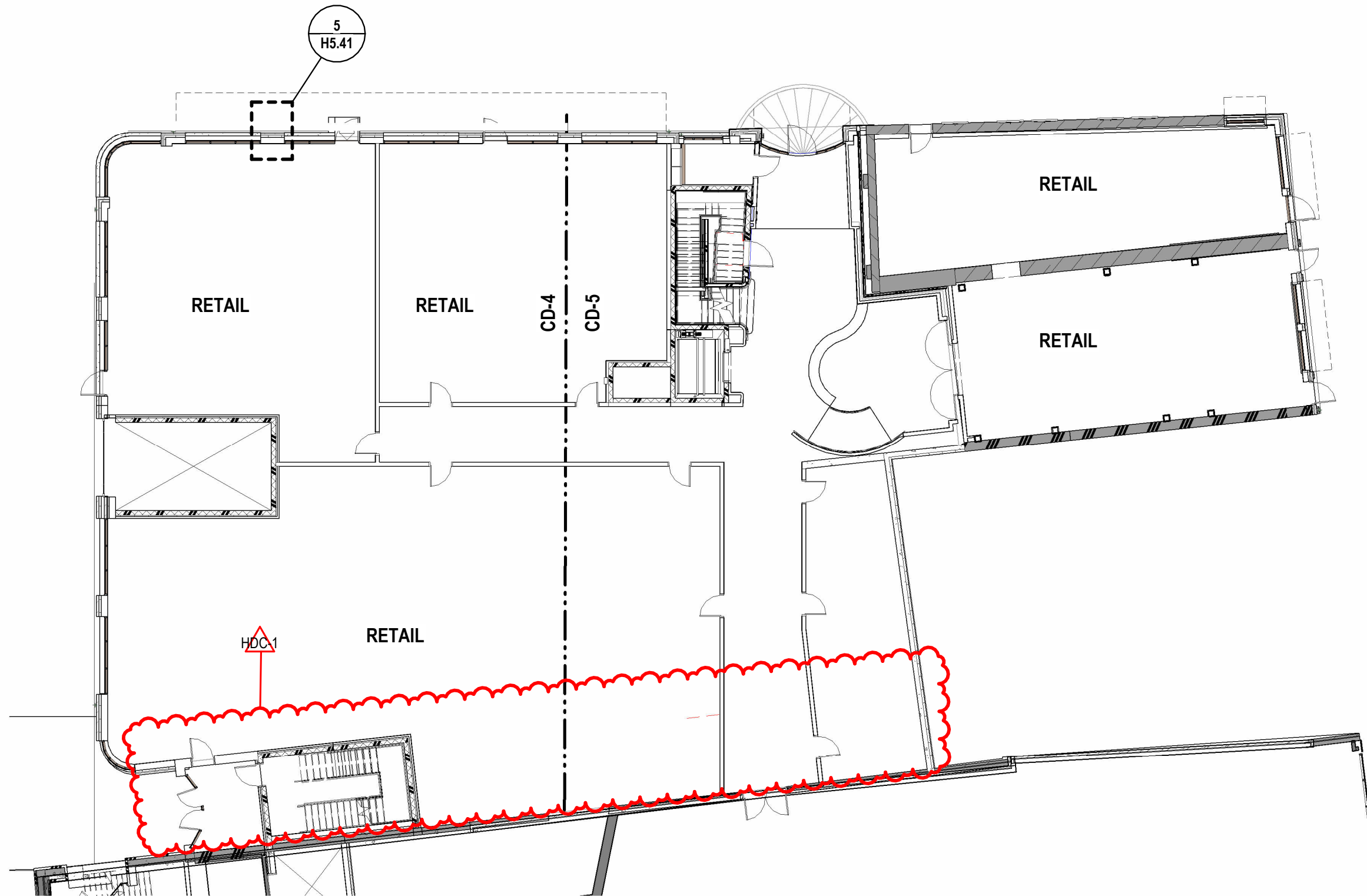
REMOVE REAR ADDITIONS

2 SIDE DEMOLITION ELEVATION - NE - HIGH STREET
1/16" = 1'-0"

H5.12 DEMOLITION ELEVATIONS
1 CONGRESS STREET

SCALE: 1/16" = 1'-0"
8/03/2022



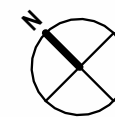


H5.14

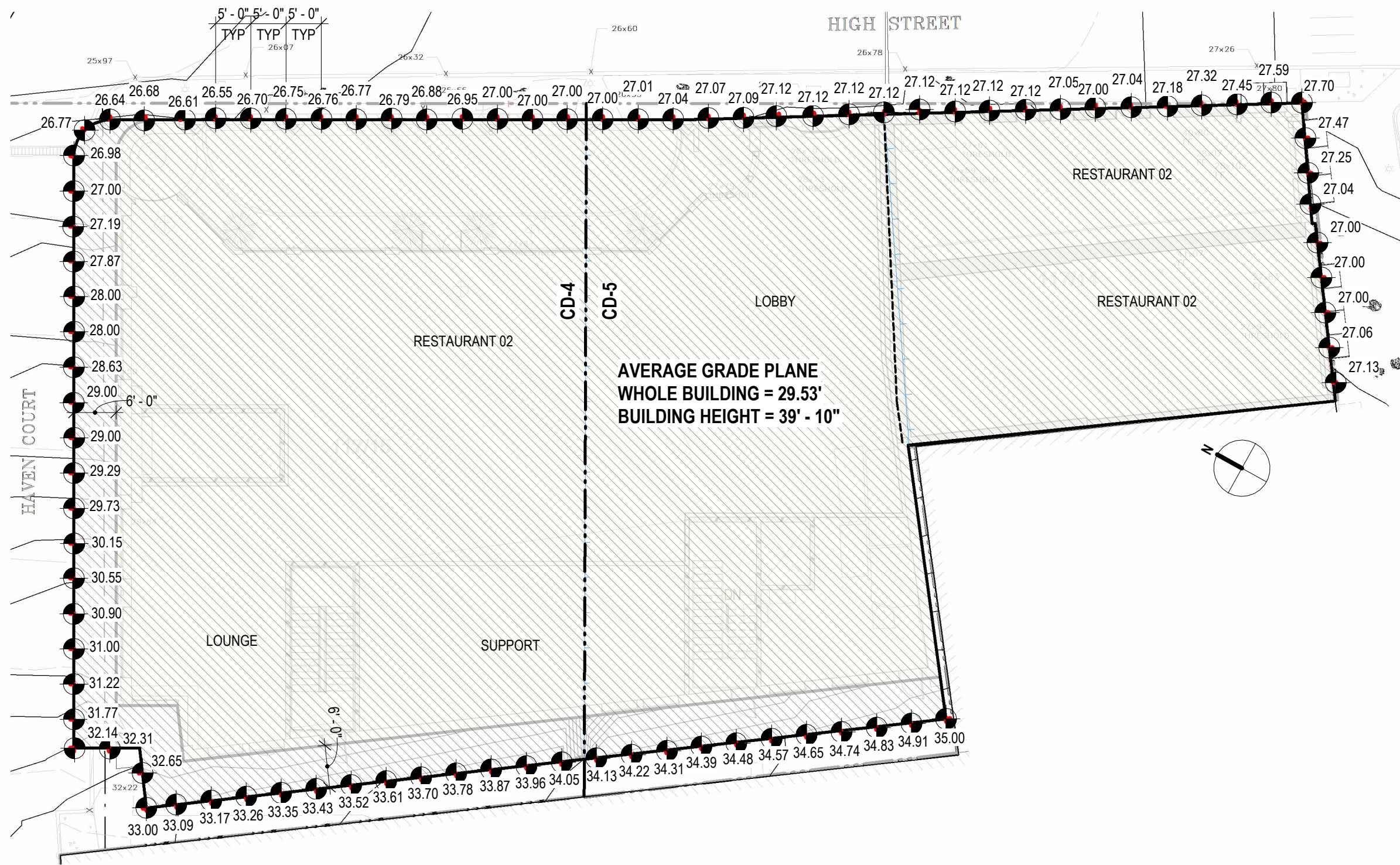
FIRST FLOOR PLAN
1-15 CONGRESS STREET

SCALE: 1/16" = 1'-0"
 10/18/24

GRAPHIC SCALE: 1/16" = 1'-0"



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**AVERAGE GRADE PLANE
WHOLE BUILDING = 29.53'
BUILDING HEIGHT = 39' - 10"**

Whole Building	Combined CD4 & CD5; existing & new - Average Grade Plane
Congress Street	27.13
	27.06
	27.00
	27.00
	27.04
	27.25
	27.47
	27.70
	27.13
	27.06
High Street	27.59
	27.45
	27.32
	27.18
	27.04
	27.00
	27.05
	27.12
	27.12
	27.12
	27.12
	27.12
	27.12
	27.12
	27.09
	27.07
	27.04
27.01	
27.00	
27.00	
27.00	
27.00	
26.95	
26.88	
26.79	
26.77	
26.76	
26.75	
26.70	
26.68	
26.64	
26.77	
26.98	
27.00	
27.19	
27.87	
28.00	
28.00	
28.63	
29.00	
29.00	
29.29	
29.73	
30.15	
30.55	
30.90	
31.00	
31.22	
31.77	
32.14	
32.31	
32.65	
33.00	
33.09	
33.17	
33.26	
33.35	
33.43	
33.52	
33.61	
33.70	
33.78	
33.87	
33.96	
34.05	
34.13	
34.22	
34.31	
34.39	
34.48	
34.57	
34.65	
34.74	
34.83	
34.91	
35.00	

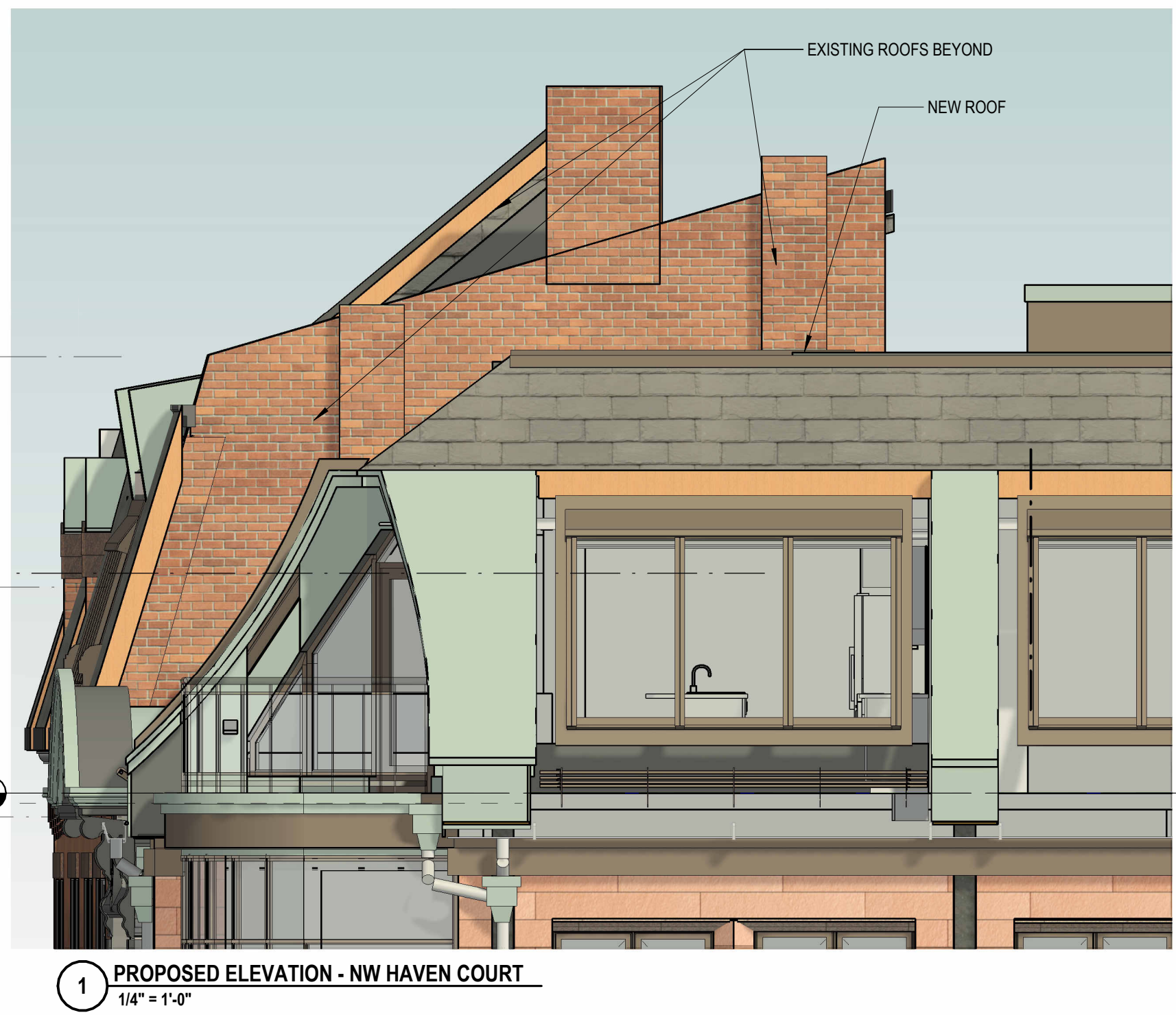
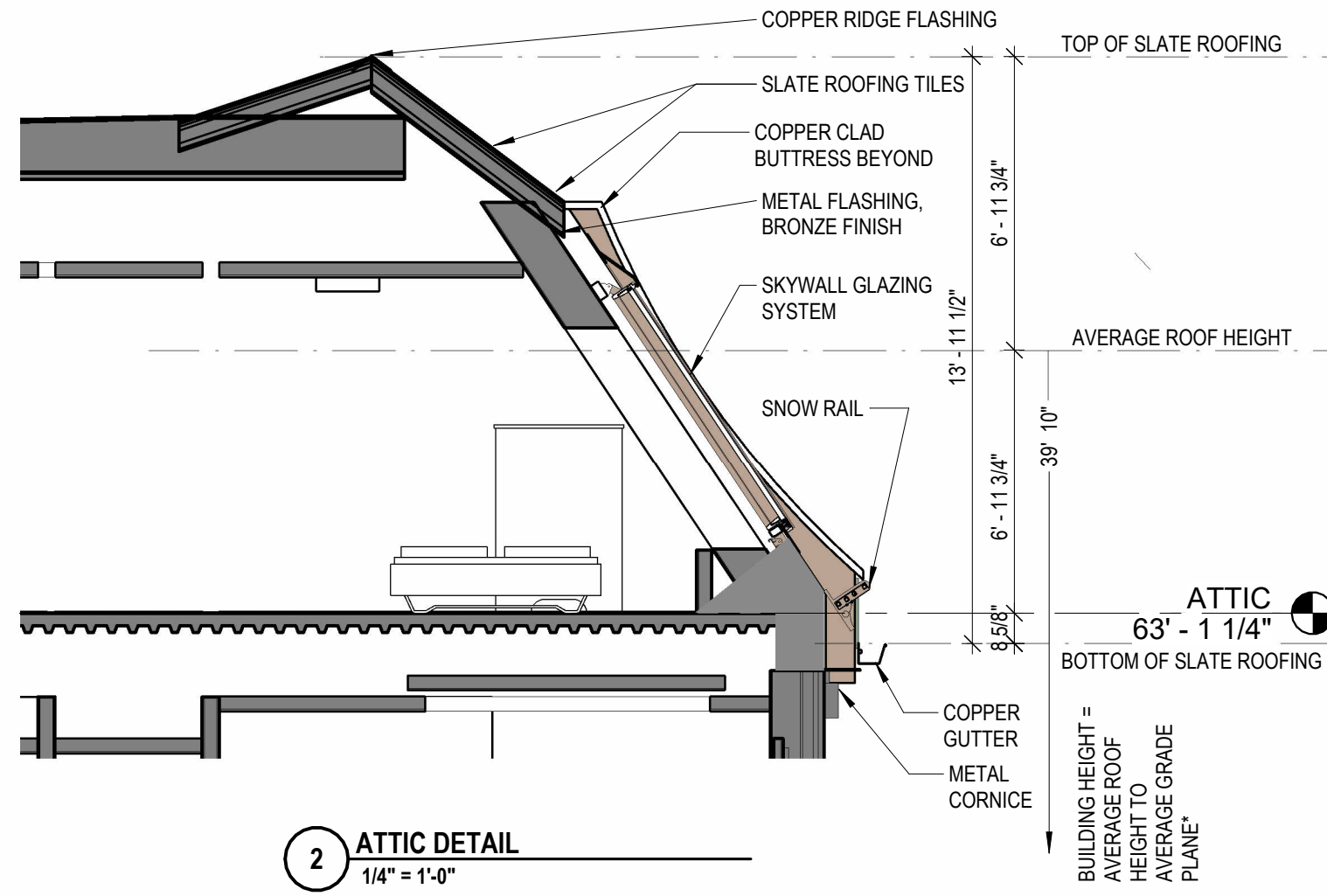
AVERAGE GRADE PLANE CALCULATION

Haven Court	26.98
	27.00
	27.19
	27.87
	28.00
	28.63
	29.00
	29.00
	29.29
	29.73
30.15	
Rear-West Alley	30.55
	30.90
	31.00
	31.22
	31.77
	32.14
	32.31
	32.65
	33.00
	33.09
33.17	
33.26	
33.35	
33.43	
33.52	
33.61	
33.70	
33.78	
33.87	
33.96	
34.05	
34.13	
34.22	
34.31	
34.39	
34.48	
34.57	
34.65	
34.74	
34.83	
34.91	
35.00	
Average - CD4 & CD5 combined	29.53

1 AVERAGE GRADE PLANE CALCULATION PLAN
1/16" = 1'-0"

**H5.16 AVERAGE GRADE PLANE
1 CONGRESS STREET**
SCALE: 1/16" = 1'-0"
8/03/2022





H5.20 ROOF HEIGHT DETAIL - HAVEN CT
1-15 CONGRESS STREET

SCALE: 1/4" = 1'-0"
 10/18/24

* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16





1 PROPOSED ELEVATION - CONGRESS STREET
3/32" = 1'-0"



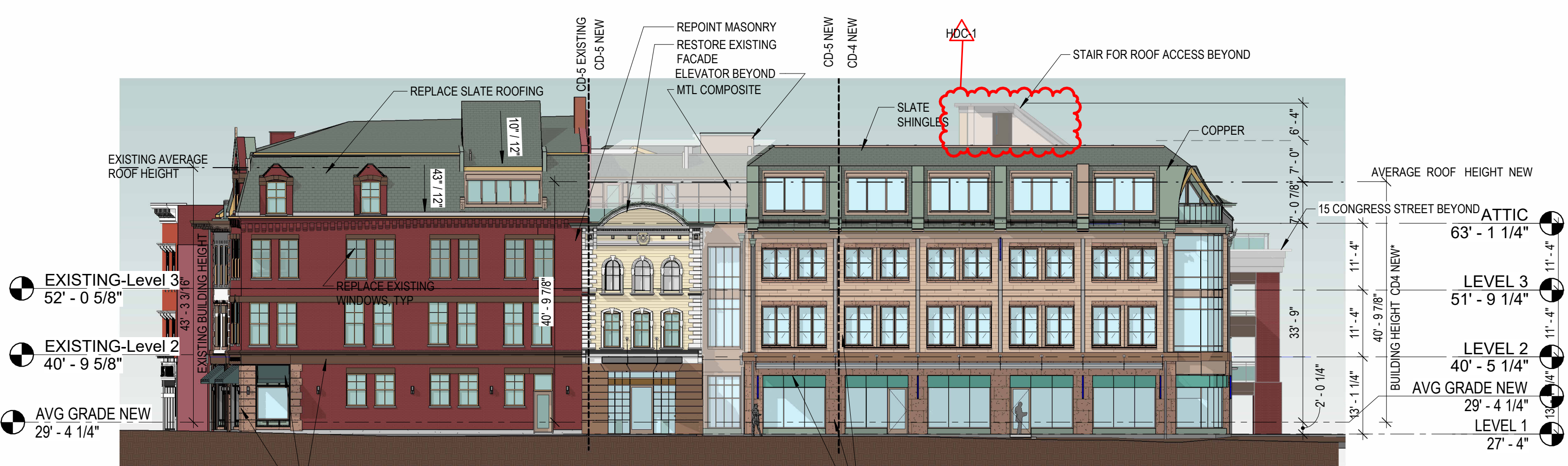
- RESTORE & RECREATE ORIGINAL GRANITE AND CAST IRON STOREFRONT
- REPLICATE EARLY 20TH CENTURY STAINED GLASS TRANSOMS
- REPLICATE HISTORIC PEDIMENTS
- REPLICATE ORIGINAL CAST IRON STOREFRONT THIS SIDE

2 PROPOSED ELEVATION - CONGRESS STREET
1/8" = 1'-0"

H5.21 ELEVATION - CONGRESS STREET
1-15 CONGRESS STREET

SCALE: As indicated
10/18/24



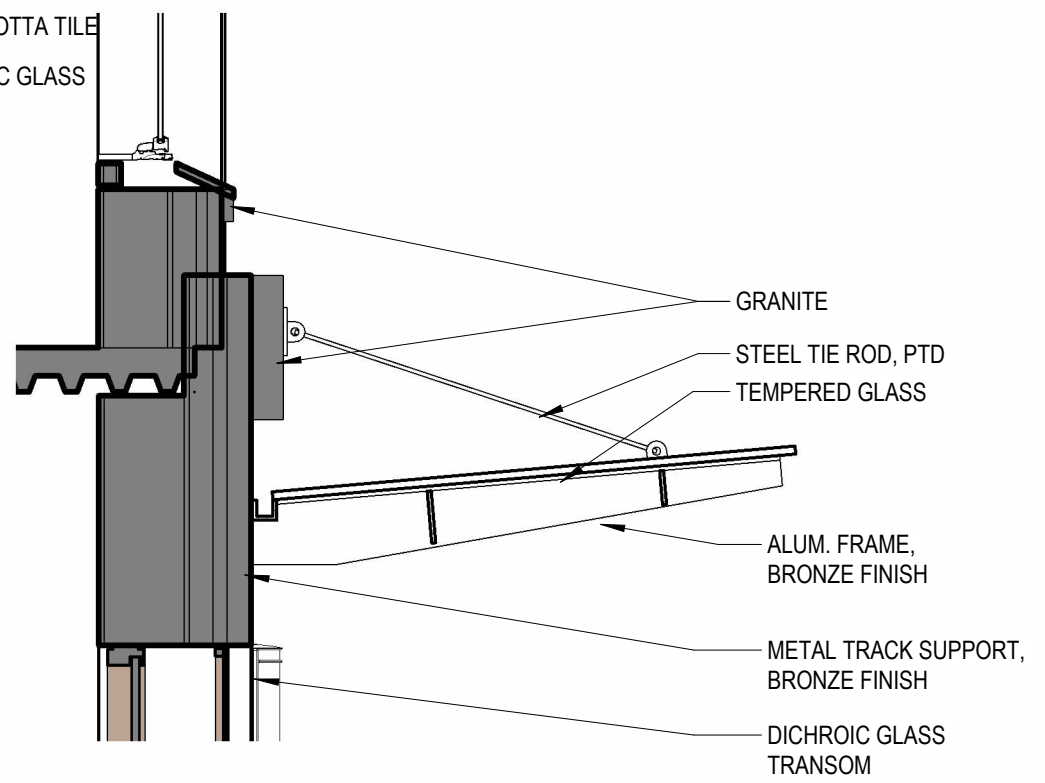


1 PROPOSED ELEVATION - NE - HIGH STREET
 1/16" = 1'-0"

TERRACOTTA TILE
 GRANITE
 DICHRIC GLASS



2 PROPOSED ELEVATION - NE - HIGH STREET
 1/8" = 1'-0"



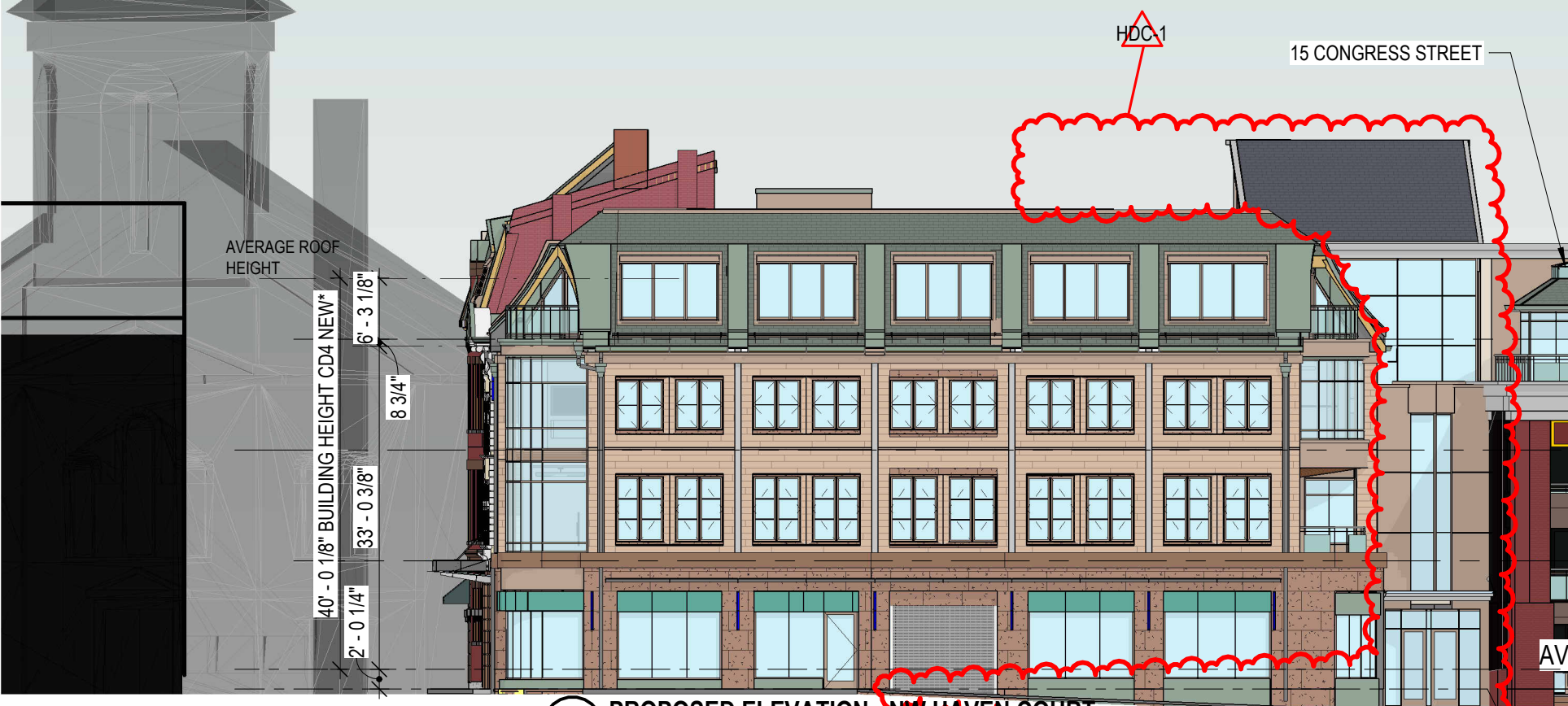
3 HDC AWNING DETAIL
 1/2" = 1'-0"

H5.22 ELEVATION - HIGH STREET
1-15 CONGRESS STREET

SCALE: As indicated
 10/18/24



2 NORTH ELEVATION - HIGH STREET & HAVEN COURT (OBLIQUE)
 1/16" = 1'-0"



1 PROPOSED ELEVATION - NW HAVEN COURT
 1/16" = 1'-0"

15 CONGRESS STREET

AVERAGE ROOF HEIGHT

40' - 0 1/8" BUILDING HEIGHT CD4 NEW*
 6' - 3 1/8"
 8 3/4"
 33' - 0 3/8"
 2' - 0 1/4"

ATTIC
 63' - 1 1/4" ●

LEVEL 3
 51' - 9 1/4" ●

LEVEL 2
 40' - 5 1/4" ●

LEVEL 1
 27' - 4" ●

AVG GRADE NEW
 29' - 4 1/4" ●

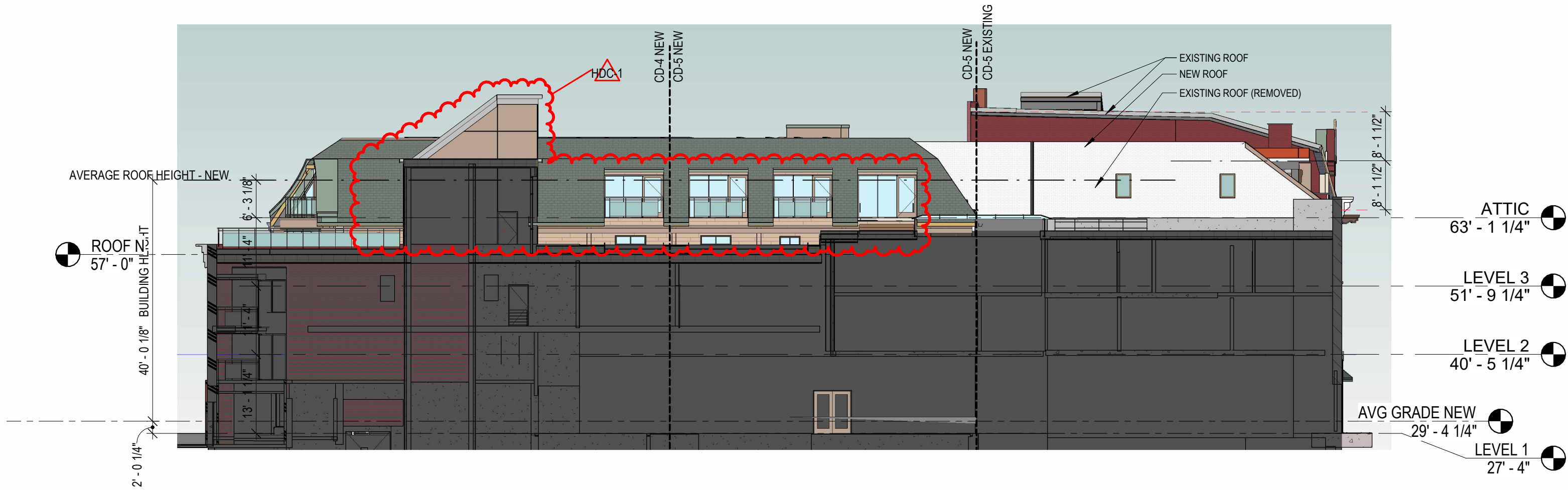
11'-4"
 11'-4"
 35' - 9 1/4"
 13' - 1 1/4"

**H5.23 ELEVATIONS - HAVEN COURT
 1-15 CONGRESS STREET**

SCALE: 1/16" = 1'-0"
 10/18/24

* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16





H5.24 SW ELEVATION - REAR ALLEY
1-15 CONGRESS STREET

SCALE: 1/16" = 1'-0"
 10/18/24



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H5.32 VIGNETTE - CONGRESS STREET
1 CONGRESS STREET

SCALE:
8/03/2022



**H5.33 VIGNETTES - HIGH FROM CONGRESS
1 CONGRESS STREET**

SCALE:
10/14/2022





H5.34

**HIGH STREET FROM STARBUCKS
1 CONGRESS STREET**

SCALE:
10/14/2022



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**H5.35. VIGNETTE - HAVEN CT FROM LADD ST
1-15 CONGRESS STREET**

SCALE:
10/18/24





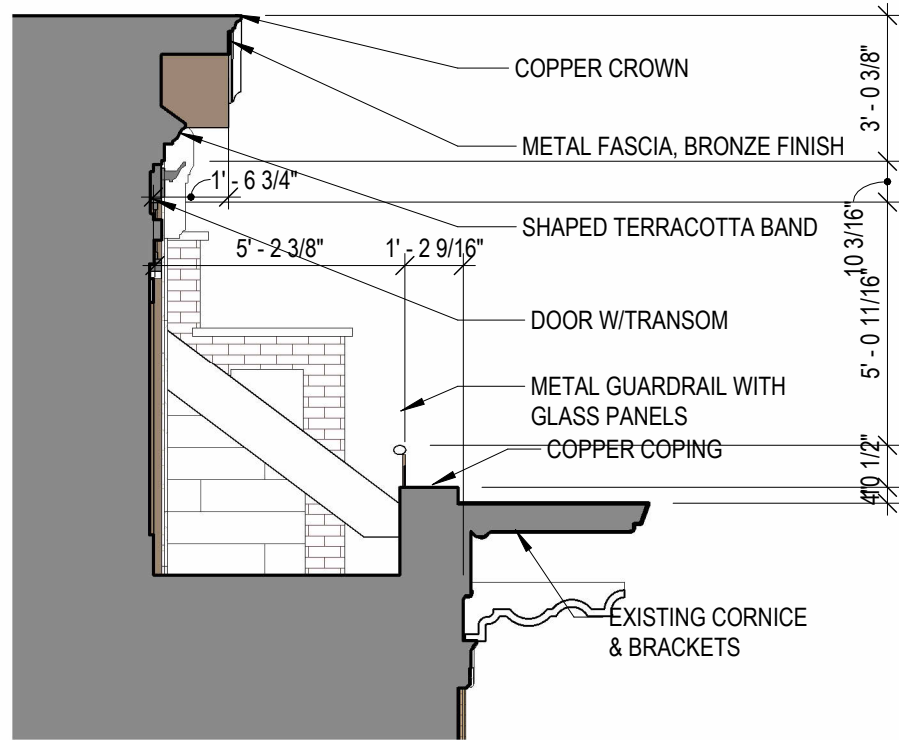
H5.36

VIGNETTE - HIGH AT LADD & HAVEN
1-15 CONGRESS STREET

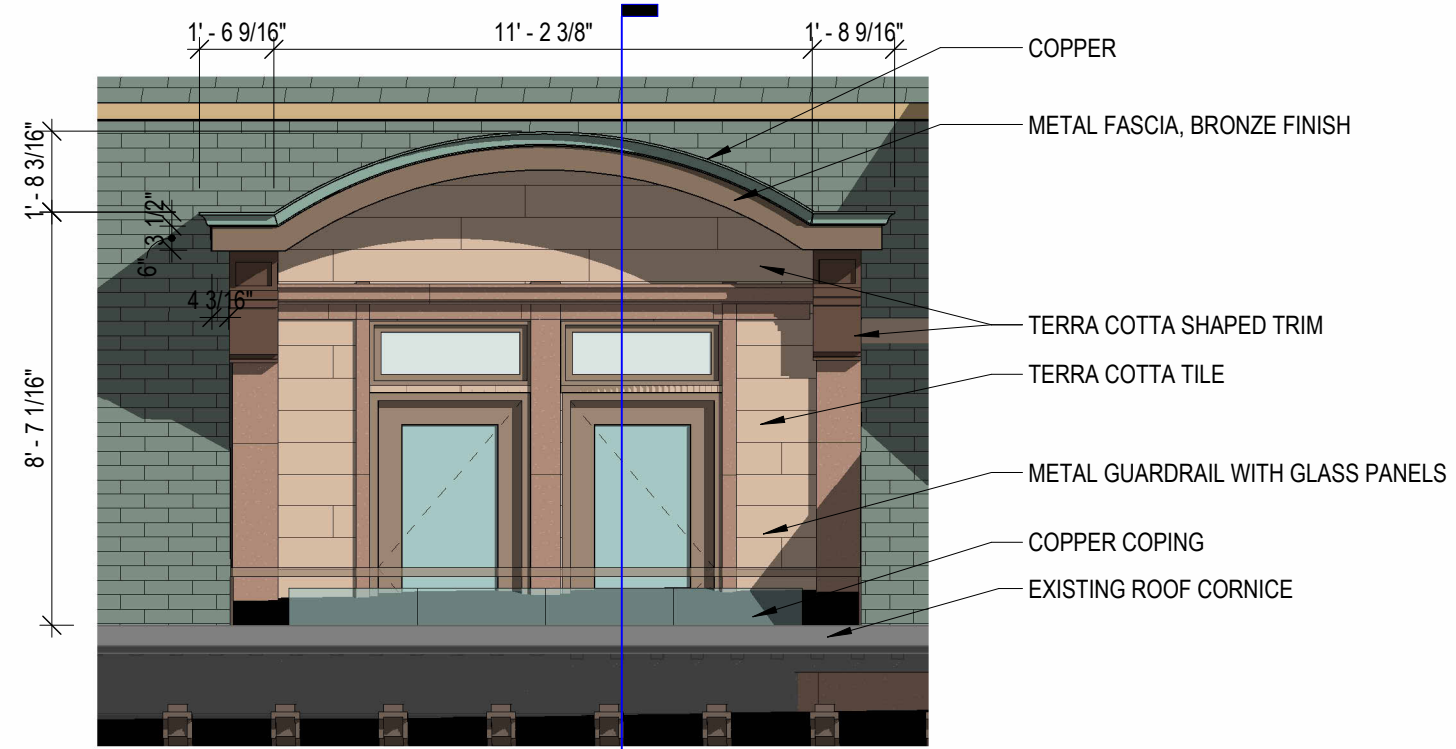
SCALE:
10/18/24



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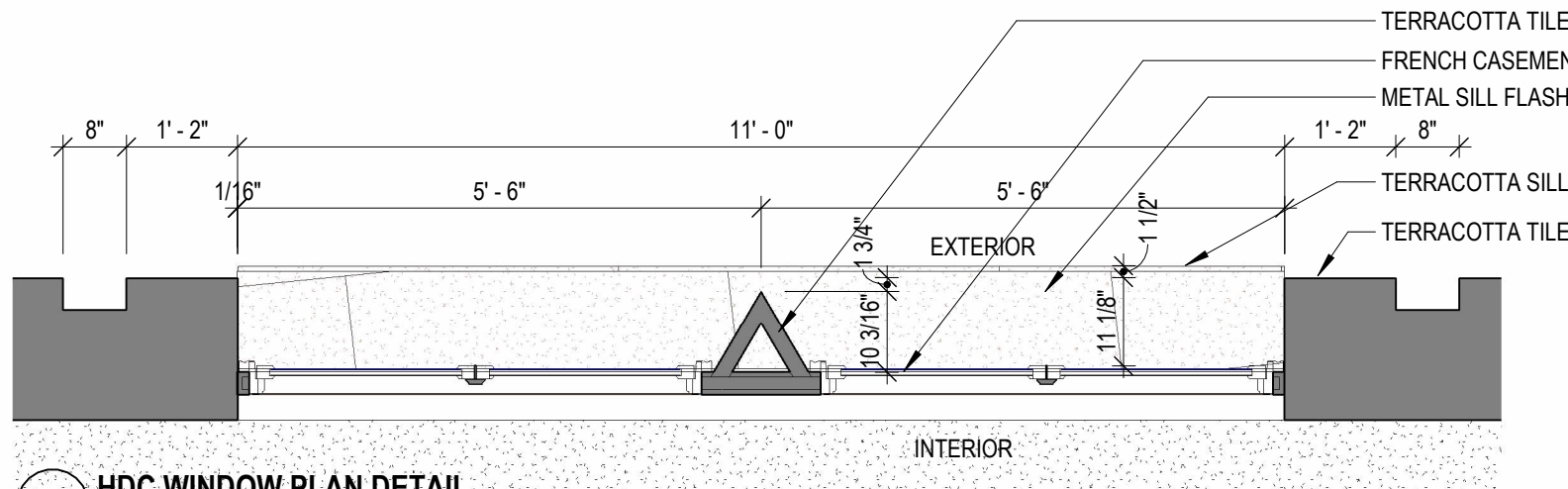
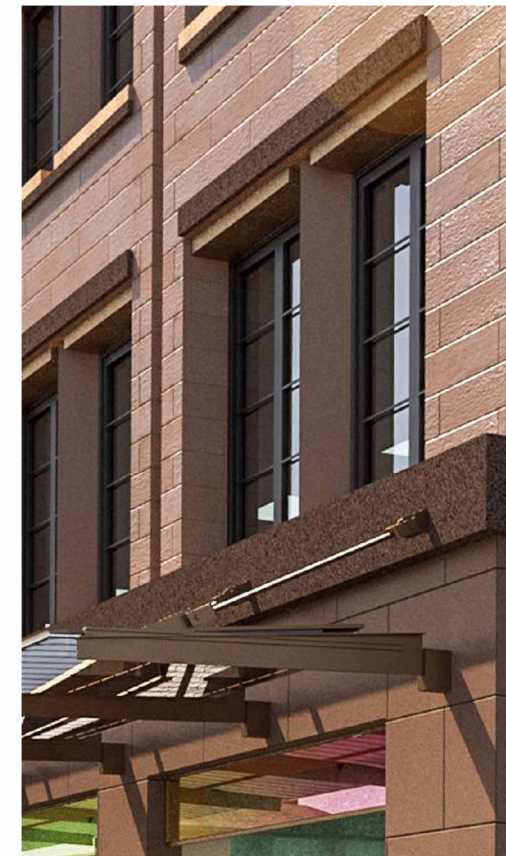


2 HDC DORMER SECTION
1/4" = 1'-0"

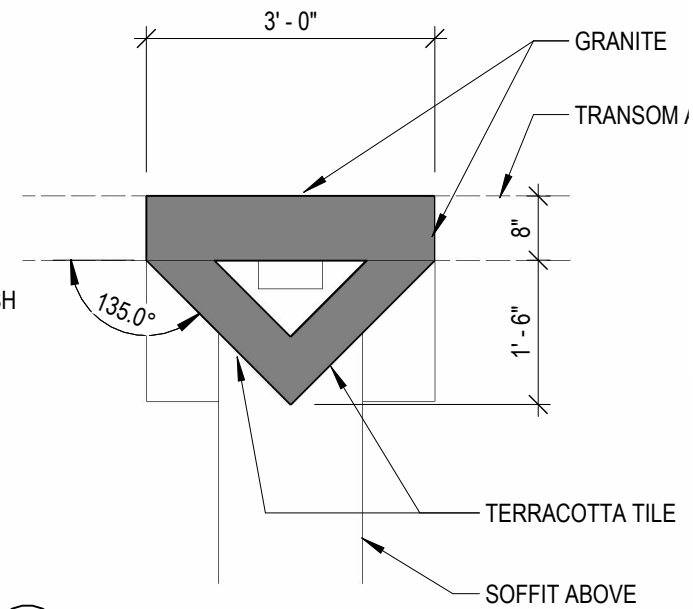


1 HDC DORMER ELEVATION
1/4" = 1'-0"

2
H5.41



4 HDC WINDOW PLAN DETAIL
1/2" = 1'-0"



5 HDC ARCADE PIER DETAIL
1/2" = 1'-0"

H5.41 **DETAILS**
1 CONGRESS STREET
SCALE: As indicated
8/03/2022



Pella® Architect Series®

Traditional Wood & Clad/Wood



Expertly crafted wood windows and patio doors with nearly endless possibilities.

Double-Hung Interior



Double-Hung Exterior



- Designed with distinguished details**
 Crafted with classic aesthetics to make a statement and add architectural interest to your project, inside and out.
- Enhanced style options and custom capabilities**
 Maximum design flexibility with dramatic sizes, custom colors, finishes, profiles, product types and more.
- Authentic look of true divided light**
 Pella's Integral Light Technology® grilles use a metal spacer to create the authentic look of true divided light by casting a more realistic shadow.
- Interior finish options**
 From light to dark, Architect Series - Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Pine interiors are available in a variety of paint and stain colors.
- Beautiful hardware**
 Choose from Pella's collection of rich patinas and other timeless finishes.
- Optional integrated security sensors**
 Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.
- ENERGY STAR® certified¹**
 Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Architect Series - Traditional products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2022.²
- Long-lasting durability**
 Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- Best limited lifetime warranty³**
 Pella Architect Series - Traditional products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.²
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:



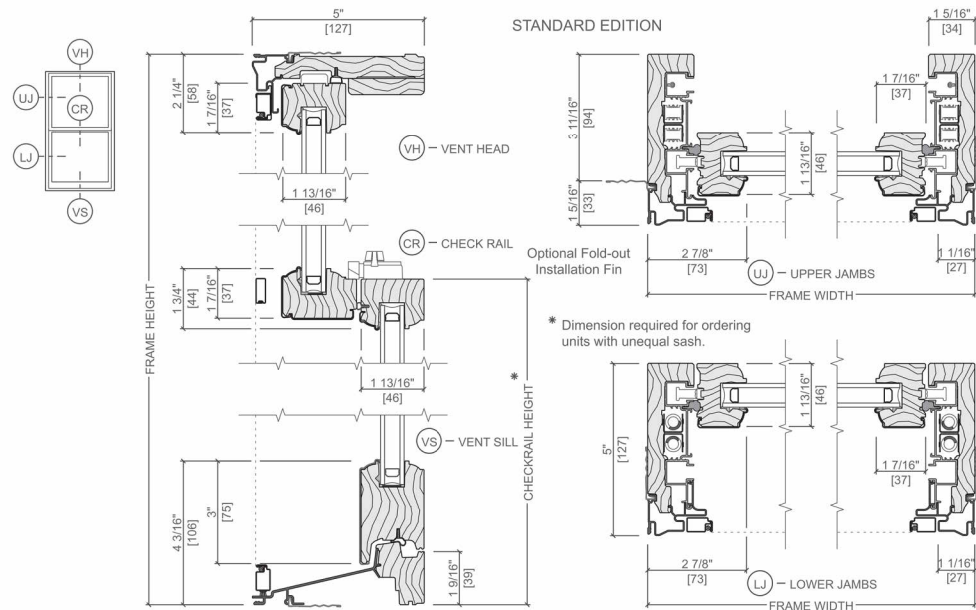
Special shape windows also available.

¹ See back cover for disclosures.



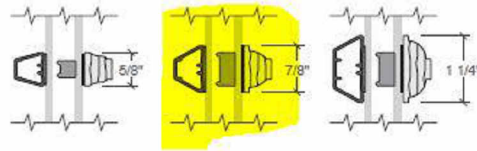
Architect Series® Traditional Hung Window

SE Unit Sections - Aluminum-Clad Ogee Exterior Glazing Profile

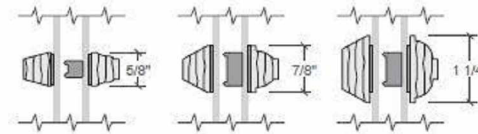


Integral Light Technology®

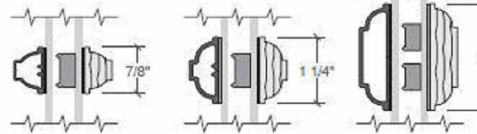
Putty and Ogee Glaze Grilles
Clad Exterior - Wood Interior



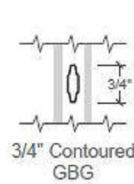
Putty and Ogee Glaze Grilles
Wood Exterior - Wood Interior



Ogee Glaze Grilles
Clad Exterior - Wood Interior



Contoured Aluminum -
Grilles-Between-the-Glass



Colors

Wood Types

Wood species for complementing your project's interior.



Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁸

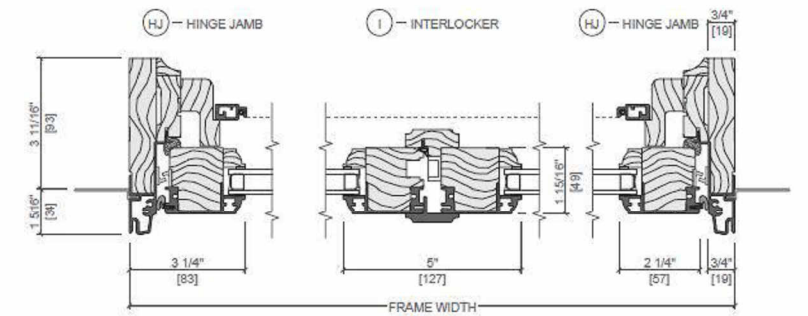
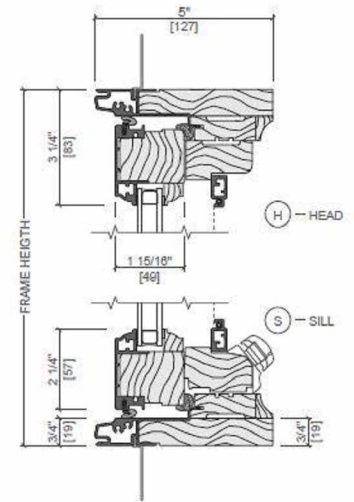
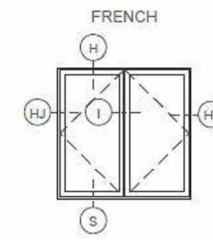


Custom colors are also available.



Pella® Reserve™ Out-Swing French Casement Window

Unit Sections - Aluminum-Clad Exterior



H5.50

MATERIALS - WINDOWS
1 CONGRESS STREET

SCALE:
8/03/2022



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Northlight 25-90°

Similar to Longlights, Northlights are bands of VELUX Modular Skylights. The characteristic upright design is primarily for installations that are directed towards the northern hemisphere for soft and reflected lighting. Northlight installations are applicable for a pitch of 25 to 90°.

At the bottom, Northlights are mounted on a standard steel profile, 100 mm wide (not a VELUX component) and fixed with clamps holding the skylight in place. At the top, the brackets are fixed to the sub-construction with screws meant for wood.

The prefabricated modular flashing ensures easy integration in the roof surface. All flashings are easily installed. The roof surface underneath the flashing must be appropriate for screw fixation.

Please observe a max. 10 m wall height above skylight module, when installed in a sloped roof. Take notice that the top flashing changes in size above and below 54°, see sectional drawing page 59.



Download CAD & BIM objects

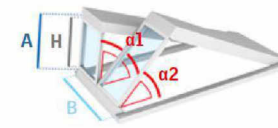
Sub-construction for Northlight at: veluxcommercial.com



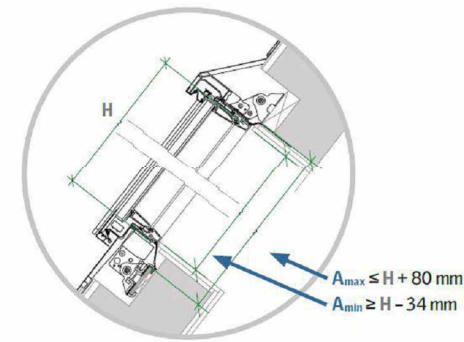
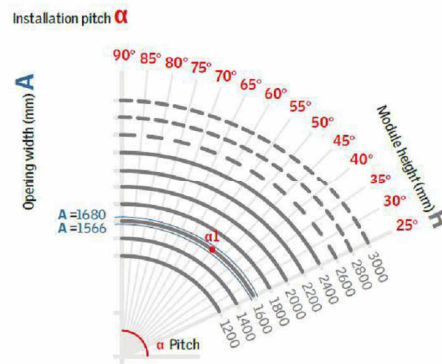
Defining module size to your project

Example:
 $\alpha 1$: H = 1600 mm at an installation pitch of 50°

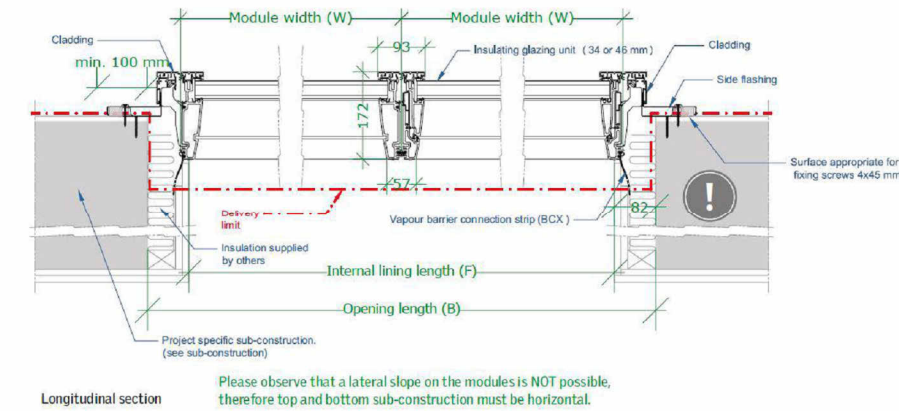
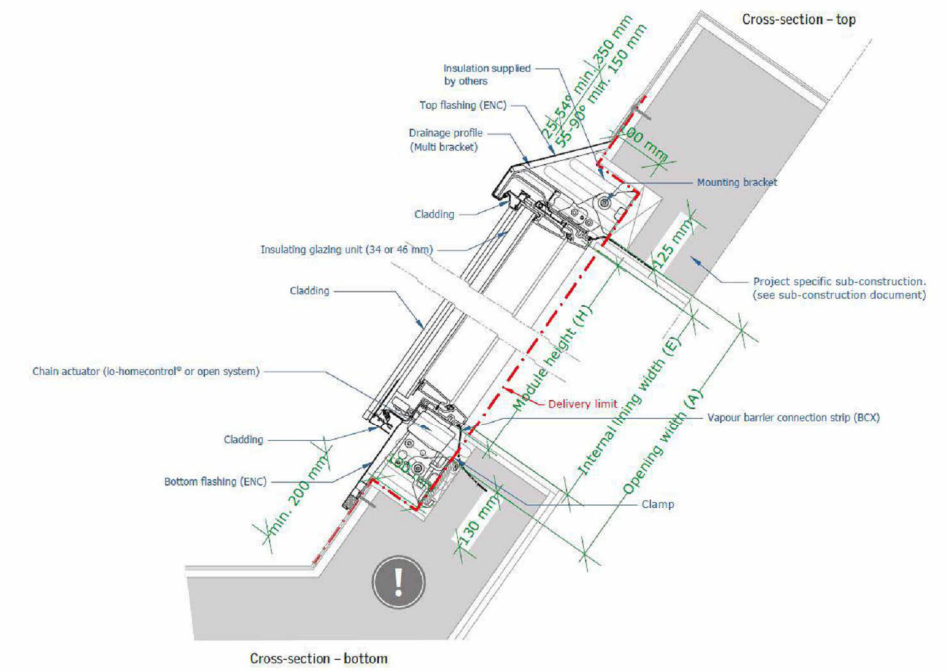
A_{max} = 1680 mm
 A_{min} = 1566 mm



H: Module height
 α : Installation pitch
 A: Opening width
 L: Opening length



Sectional drawings



ROOF WINDOWS - VELUX "NORTHLIGHT"

STOREFRONTS

WINDOWS • CURTAIN WALLS • ENTRANCES • STOREFRONTS

Series 403X
2" x 4 1/2" Thermal Storefront Framing

CONFIGURATIONS
Shear Block • Screw Spline
This innovative flush glaze storefront framing system utilizes a dual pour and debridge thermal barrier that provides outstanding energy efficiency. Available in either shearblock or screw spline construction, the 403X Series can be used in conjunction with virtually all EFCO entrance systems and V410 vents. A variety of options are available for use with this system, including sunshade mullions and variable sight line horizontals. Steel reinforcement is also available to enhance structural capability.

Features	Benefits
Dual pocket thermal barrier framing	Enhanced thermal performance and reduced energy cost
Screw spline or shearblock construction	Decreases installation labor and cost
The optional Roto-Vent™ ventilator	Allows fresh air into the room, yet maintains security
2-way (90° and 135°) and 3-way corner mullions	Multifaceted elevations for design flexibility
0°-15° and 15°-30° variable mullions	Increased design flexibility
Accommodates up to 1 1/16" glazing	Expands design and energy savings options
Uniform glazing gasket is used for exterior and interior	Allows optimized use of gasket and reduces inventory
Various height intermediate horizontals and sills	Simplifies ordering and installation
Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.	Ability to maintain desired sight line
Anodized or painted finishes available	Increased product versatility
	Multiple options to answer economic and aesthetic concerns

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EFCO COATINGS FINISHES COLORS

ULTRAPON (70% PVDF)

STANDARD	FEATURED
Bone White	Ivy
White	Hardford Green
Antique White	
Herring Bone	
Mesa Brown	
Mineral Brown	
Gray	
Aged Copper	
Blue Sky	
Brick Red	
Legacy Blue	
Denim Blue	
Light Brown	
Pueblo Tan	
Black	

ULTRA-ESCENT II (70% PVDF MICA*)

STANDARD	FEATURED
Weathered Copper	Warm Silver
Slate	Sea Spray
Raw Sierra	Asi
Gun Barrel	Champagne
Saddle Bronze	Aztec Gold

ANODIZE

Clear	Champagne	Light Bronze	Medium Bronze	Dark Bronze	Black
-------	-----------	--------------	---------------	-------------	-------

* The color samples shown are not the actual paint. These paint colors represent the production colors as closely as possible within the limitations of color-chip reproduction. Additional changes may apply to exotic colors that require a clear topcoat, metallic colors, custom color matches. Color variation is inherent in, and should be expected with Ultra-Escent II paint finishes. Laboratory prepared samples will appear different from production-run material.

STOREFRONT TRANSOMS

3M™ Dichroic Film for Laminated Glass

Compatible with EVA, SentryGlas® or PVB interlayer adhesives. Available in gold-blue or copper-bronze colors.

Flexible

Film can be printed, cut, patterned, bent, or combined with different glass types or interlayer adhesives.

Versatile

Applications include shading fins, balustrades, exterior glass, partition walls, shower doors, artistic glass and furniture.

Gold-Blue Dichroic Film



In Transmission (Shown)

In Reflection

Yellow ▶ Magenta ▶ Blue

Gold (straight) Blue (angle)

Copper-Bronze Dichroic Film



In Transmission (Shown)

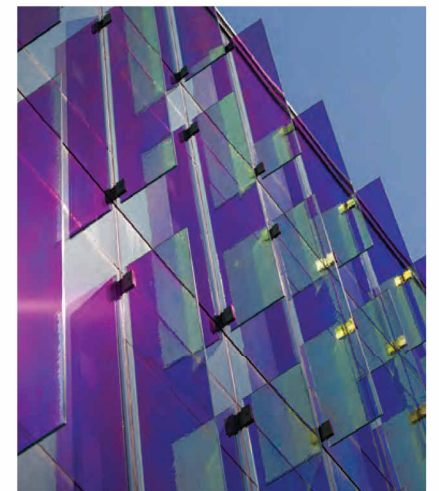
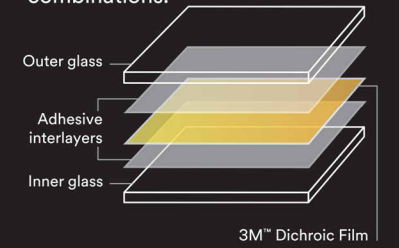
In Reflection

Magenta ▶ Blue ▶ Aqua

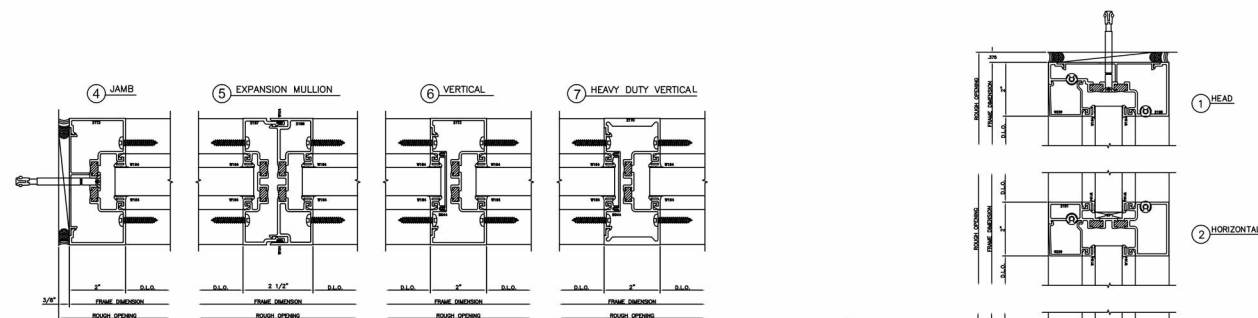
Copper (straight) Bronze (angle)

How is it made?

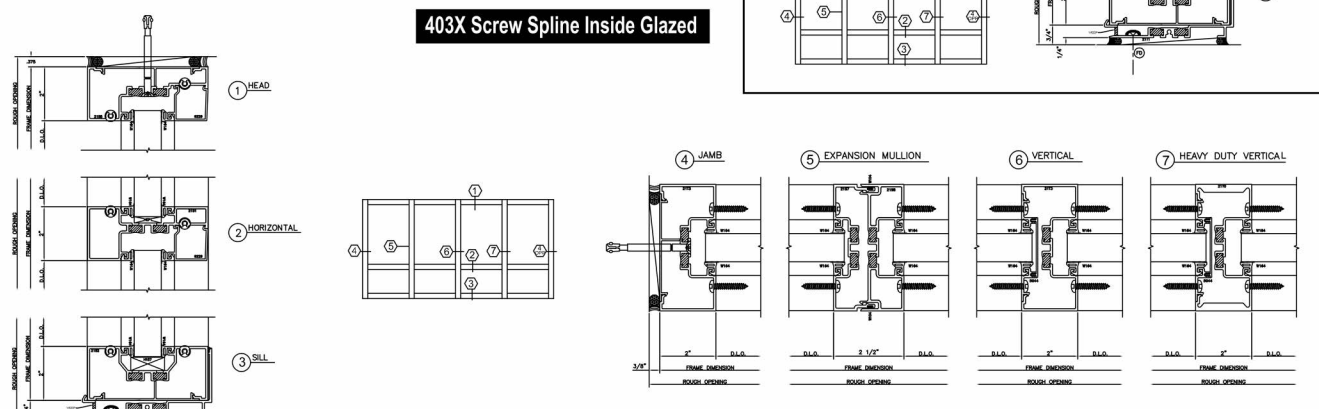
3M™ Dichroic Film is easily laminated between sheets of adhesive interlayers. It's conformable for bent glass applications and works with different glass and PVB combinations.



403X Screw Spline Outside Glazed Stops Down



403X Screw Spline Inside Glazed



Solar performance of clear laminated glass

	Reflection Visible	Transmission Visible	Transmitted Energy	Reflected Energy	Absorbed Energy	TSER	SHGC
Gold-Blue Dichroic Glass	89%	11%	56%	29%	15%	39%	0.61
Copper-Bronze Dichroic Glass	29%	71%	55%	29%	17%	41%	0.59

Make an impression at 3M.com/Glass.

Technical Information: The technical information, recommendations and other statements contain information is not guaranteed.

Product Use: Many factors beyond 3M's control and uniquely within user's knowledge and control and performance of a 3M product, user is solely responsible for evaluating the 3M product and determining its suitability for a particular application. 3M MAKES NO OTHER WARRANTIES OR CONDITIONS OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OR ANY IMPLIED WARRANTY TO THIS WARRANTY, then the sole and exclusive remedy is, at 3M's option, replacement of the 3M product.

Limitation of Liability: Except where prohibited by law, 3M will not be liable for any loss or damage, including warranty, contract, negligence or strict liability.



Renewable Energy Division
3M Center, Building 235-2S-27
St. Paul, MN 55144-1000
3M.com/glass

3M is a
Used in

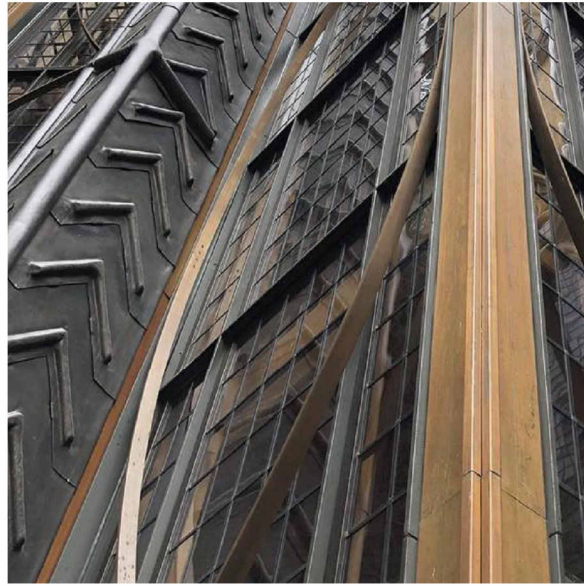


H5.52 MATERIALS - ARCADE FENESTRATION
1 CONGRESS STREET

SCALE:
8/03/2022



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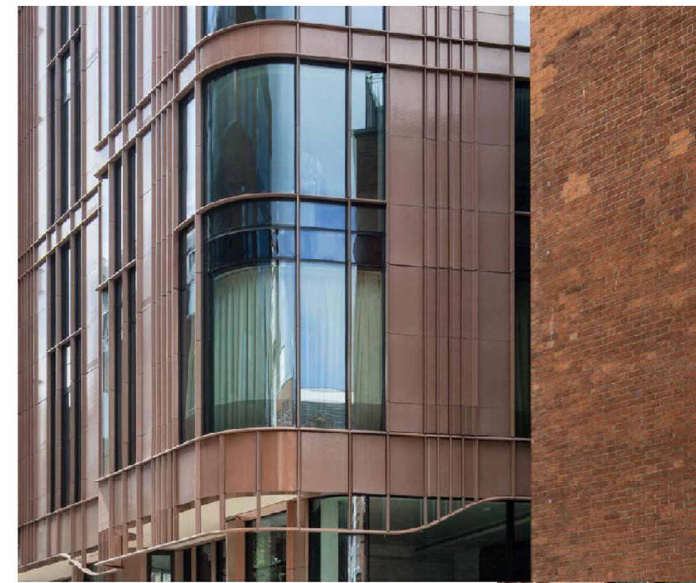


BRONZE FINISH - METAL ACCENTS - WINDOW & DOOR FRAMES, AWNINGS, DORMER LEVEL CLADDING.

Upper walls, cladding

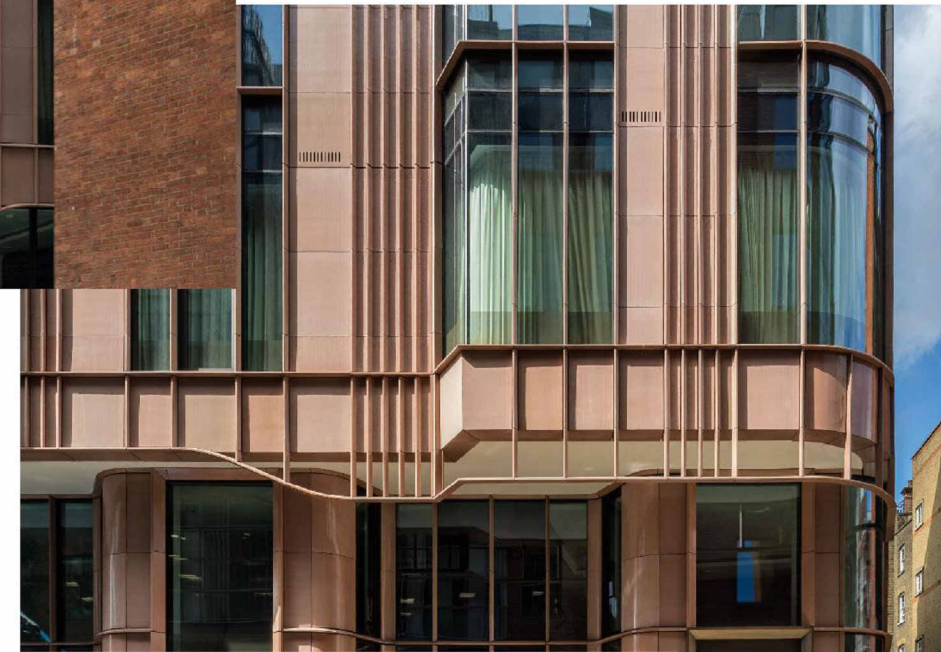
Terra Cotta, glazed tile

TERREAL, PITERAK SLIM



Marylebone Lane Mansion
London

Glaze color: Tea with Milk



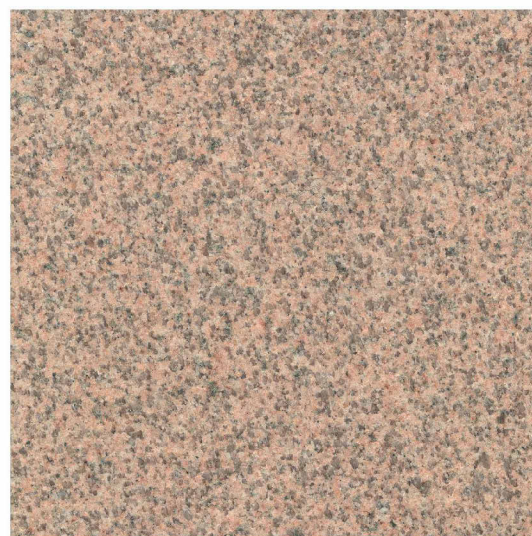
Lower walls, cladding

Granite



Deer Isle

At restored Facades



Carolina Coral

First floor addition, field color



Autumn Pink

First floor addition - accent color



Piterak Slim Terracotta Cladding

H5.53 MATERIALS - CLADDING
1 CONGRESS STREET

SCALE:
8/03/2022



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SOFFIT-CEILING

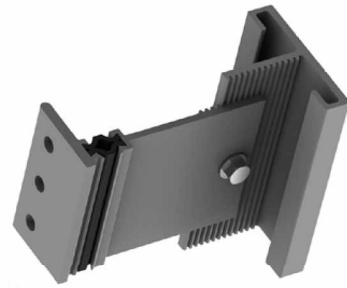


- thermally broken
- made of light weight aluminum
- supports continuous insulation
- creates a rain screen
- response time within 24 hours
- supports other cladding up to 8 lbs per sq ft.
- adjustable for sub-wall misalignment
- health product declarations
- support for specifications + drawings
- built for seismic zones



easy to use	quick delivery
solid warranty	durable finishes

longboardproducts.com



COMPOSITE WALL PANELS (ELEVATOR OVER-RUN AND RECESSED ACCENTS)

ALUCOBOND Products

PROPERTIES AND BENEFITS

- Flatness and Rigidity
- Lightweight
- Durability
- Custom color expertise
- Formability
- Ease of fabrication
- Perforation capabilities
- 89 stocked ACM colors
- Complementary flat aluminum sheet colors
- Can contribute toward LEED points
- 100% recyclable
- Zero VOC's emitted in use
- EPD in compliance with International ISO Standards

ALUCOBOND® PLUS

4mm ACM comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.

ALUCOBOND® AXCENT™

A solid .040" flat aluminum sheet that offers the perfect complement to ALUCOBOND PLUS. AXCENT is excellent for columns, parapet caps, canopies, soffits, and trim.

ALUCOBOND® EasyFix™

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

- ALUCOBOND EasyFix must be used with:
- ALUCOBOND PLUS
 - ALUCOBOND EasyFix: Clips or Rails



Product Properties

Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft ²
Standard panel dimension*	62" x 196"
Maximum width**	62"
Maximum length**	400"

Product Properties

Product thickness	0.040" (nominal)
Weight	0.56 lb/ft ²
Standard width	48"
Standard length	120"

Product Properties

Weight	1.9 lb/ft ²
Weight	1.56 lb/ft ²
Standard panel dimension*	40" x 196"
Maximum panel width/length	62"/400"
Clip length	3"
Rail length	12'

* Exceptions to standard dimensions include mirror, print, and others. Refer to product range table on next page.
** Sheets will be fabricated to meet custom panel sizes within product range above.

ROOFING - NATURAL SLATE

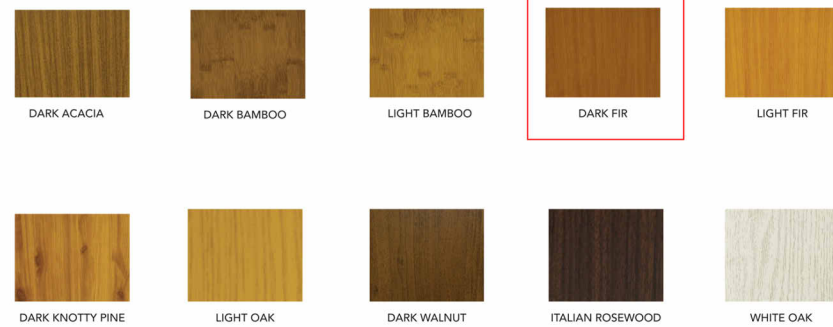


GRAY-GREEN, SEMI-WEATHERING NATURAL SLATE; VERMONT SLATE

WOODGRAIN OPTIONS

Our woodgrain options are divided into four categories based on the consistency of the wood grain pattern.

CONSISTENT



The Classic Collection



The Classic Collection (continued)



H5.54 MATERIALS - CLADDING
1 CONGRESS STREET

SCALE:
8/03/2022



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Design + Performance Versatility with Unmatched Fabrication Flexibility



Gensinger Professional Building
Jenkins Township, Pennsylvania
ARCHITECT
Mericle Commercial Real Estate Services
Wilkes-Barre, Pennsylvania
GLAZING CONTRACTOR
Sterling Glass, Inc., Scranton, Pennsylvania
PHOTOGRAPHER
© Parcel Photography Group

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer front-, center-, back- or multi-plane glass

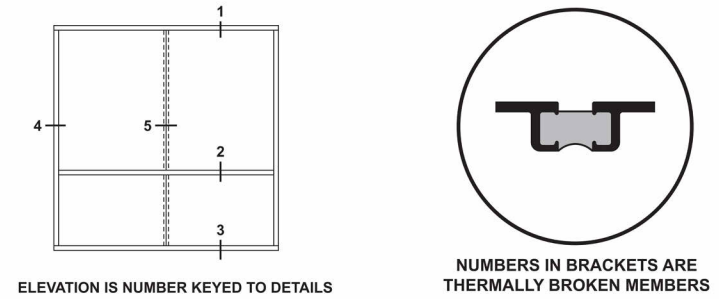
STOREFRONT



glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

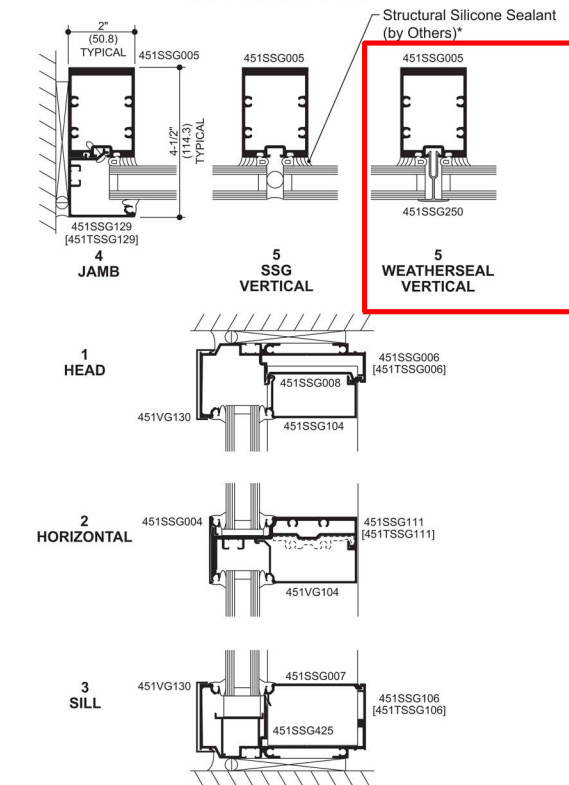
With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be

Additional information and CAD details are available at www.kawneer.com



**STICK (INSIDE GLAZED)
TWO COLOR OPTION**

SSG RECEPTOR



* INSTALLER NOTE: Installer is responsible for all required compatibility review and approvals with the Structural Silicone Manufacturer and the Insulating Glass Unit Manufacturer.

**H5.55 MATERIALS STOREFRONT & SCONCE
1 CONGRESS STREET**

SCALE:
10/14/2022



Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© 2018, Kawneer Company, Inc.

Project Address: 170-172 Gates Street
Permit Requested: Certificate of Approval
Application: Public Hearing #2

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B
- Land Use: Residential
- Land Area: 3,341 SF +/-
- Estimated Age of Structure: c.1813
- Building Style: Late Greek Revival
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Gates Street
- Unique Features: N/A
- Neighborhood Association: South End

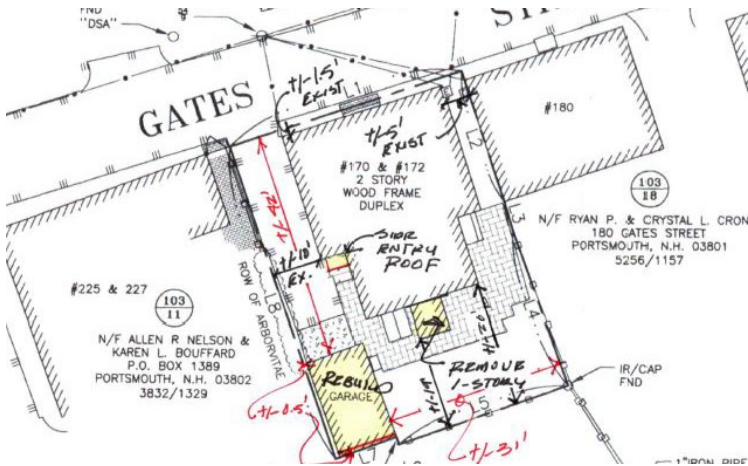


B. Proposed Work: Rebuild the existing garage, remove the rear 1-story ell, relocate the rear side entry and add overhang. Replace windows, doors and siding.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- This project has received Board of Adjustment Approval.



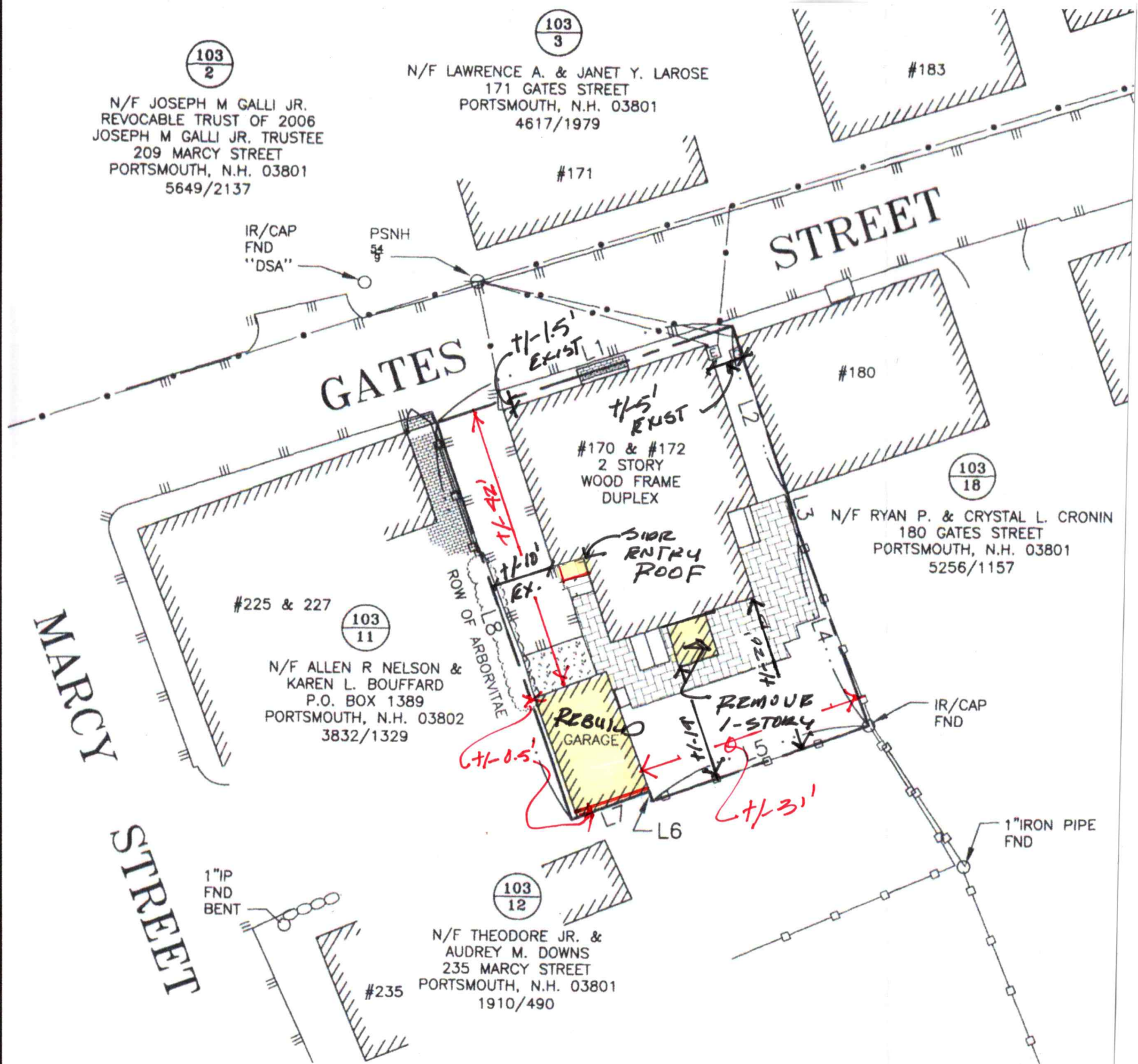
**HISTORIC
SURVEY
RATING
C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



RENOVATIONS & GARAGE REBUILD
 170-172 GATES STREET PORTSMOUTH, NH
 FOR: KATHERINE BRADFORD

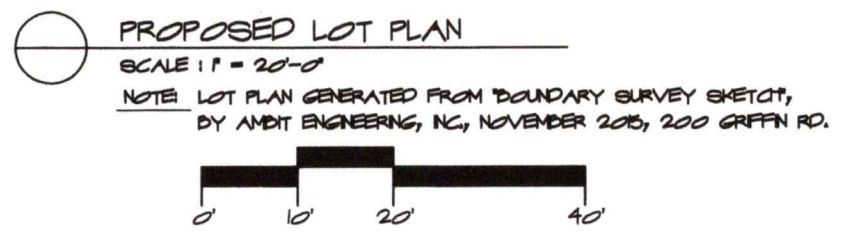
MAP 103 LOT 19
 GENERAL RESIDENCE B (GRB)
 LOT AREA 3393 SF

ALLOW. BUILDING COVERAGE 30%

EXISTING BUILDING COVERAGE	
EXISTING RESIDENCE	1254 SF
1-STORY REAR ADDITION TO BE REMOVED	49 SF
EXISTING GARAGE	256 SF
<hr/>	
	1559 SF (46%)
PROPOSED BUILDING COVERAGE	
EXISTING RESIDENCE	1254 SF
REBUILT GARAGE	240 SF
SIDE ENTRY ROOF	15 SF
<hr/>	
	1509 SF (45%)



ONE STORY ELL TO BE REMOVED

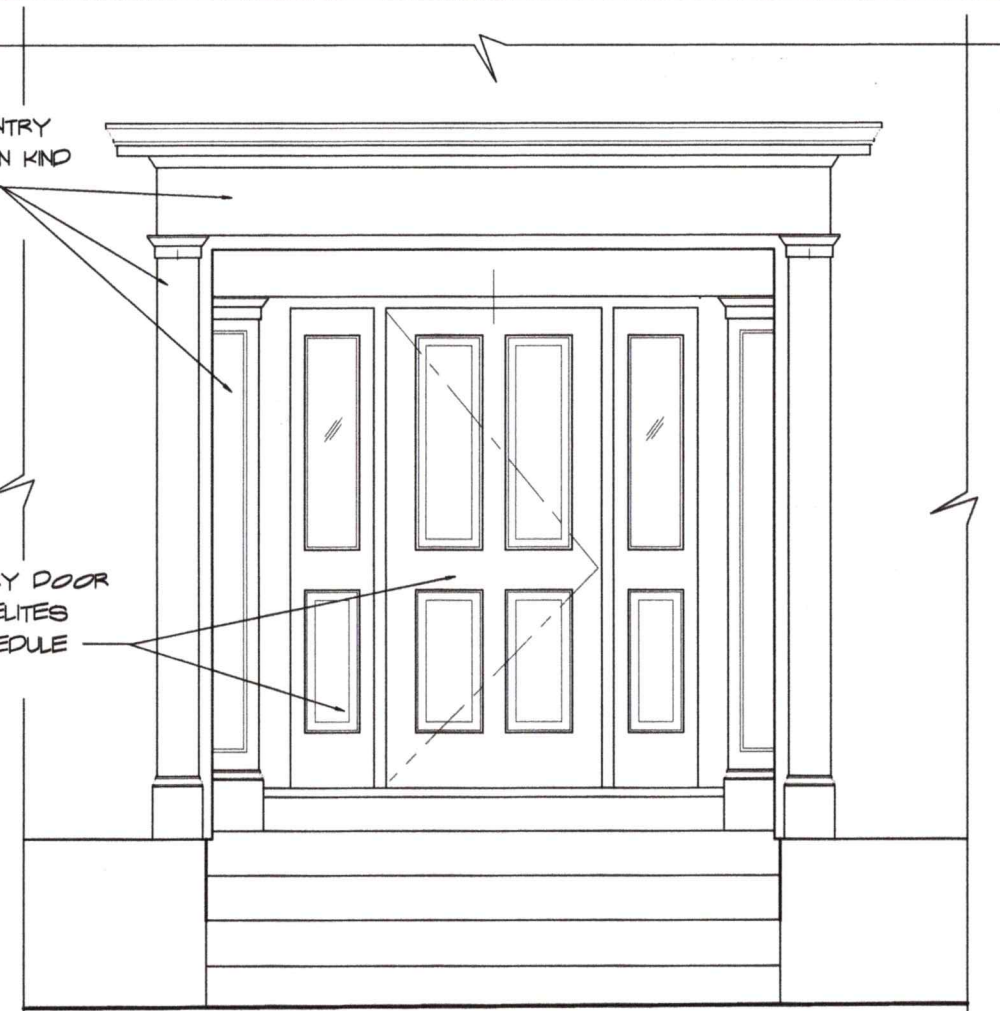


PROPOSED LOT PLAN RENOVATIONS & GARAGE REBUILD, BRADFORD RESIDENCE 170 - 172 GATES STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth, NH 03801 603-502-4387 archwhit@aol.com	Project: 2304 Revisions:	Date: 6/18/24
	ANNE WHITNEY ARCHITECT		1 OF 7



EXISTING FRONT ENTRY
DETAILS, REPAIR I N KIND
AS REQUIRED

NEW ENTRY DOOR
WITH SIDE LITES
SEE SCHEDULE



FRONT ENTRY DETAIL
SCALE: 3/8" = 1'-0"

FRONT ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: REPLACE DAMAGED SIDING TO MATCH
EXISTING CEDAR CLAPBOARDS

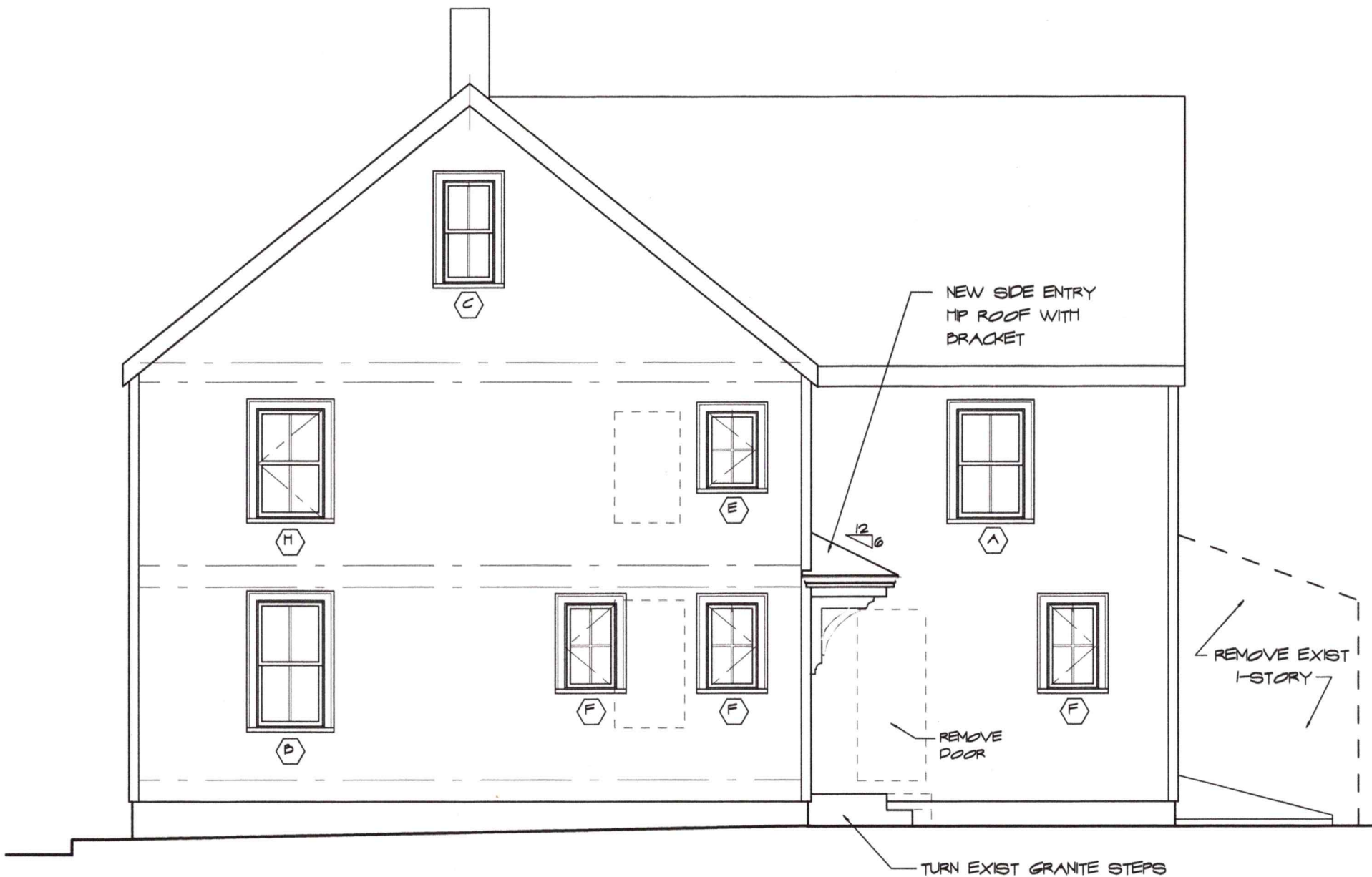


FRONT ENTRY EXISTING DETAILS

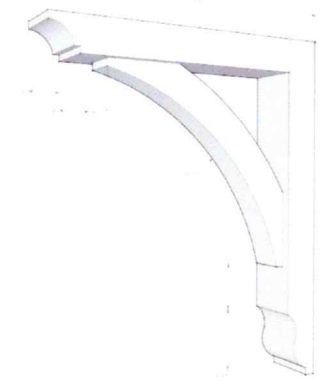


FRONT & RIGHT SIDE ELEVATION

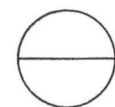
<p>SCHMATIC DESIGN</p> <p>RENOVATIONS, BRADFORD RESIDENCE</p> <p>170 GATES STREET</p>	<p>801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com</p> <p>ANNE WHITNEY ARCHITECT</p> <p>PORTSMOUTH, NH</p>	<p>Project: 2304</p>	<p>Date: 10/9/24</p>
		<p>Revisions:</p>	<p>2 OF 7</p>



RIGHT SIDE ELEVATION



PROWOOD MARKET #10T27 BRACKET


RIGHT SIDE ELEVATION
 SCALE : 3/16" = 1'-0"
 NOTE : REPLACE EXISTING ALUMINUM SIDING
 WITH PREPRIMED CEDAR CLAPBOARDS

SCHEMATIC DESIGN RENOVATIONS, BRADFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: 2304 Revisions:	Date: 10/19/24
	ANNE WHITNEY ARCHITECT	3 OF 7	



REAR ELEVATION



REAR ELEVATION

○ REAR ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: REPLACE EXISTING VINYL SIDING WITH
PREPRIMED CEDAR CLAPBOARDS

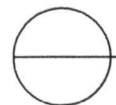


REAR ELEVATION FROM MARCY STREET

SCHEMATIC DESIGN RENOVATIONS, BRADFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: 2304 Revisions:	Date: 10/9/24
	ANNE WHITNEY ARCHITECT		4 OF 7



LEFT SIDE ELEVATION


 LEFT SIDE ELEVATION
 SCALE : 3/16" = 1'-0"

NOTE : REPLACE DAMAGED SIDING TO MATCH
 EXISTING CEDAR CLAPBOARDS

SCHEMATIC DESIGN RENOVATIONS, BRADFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: # 2304 Revisions:	Date: 10/9/24
	ANNE WHITNEY ARCHITECT		5 OF 7

HÖRMANN

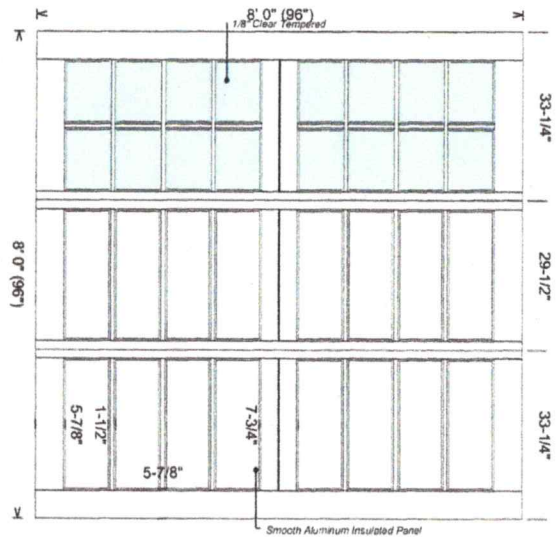
Infinity Classic
Insulated Frame Insulated
Sandwiched Panels Single
Pane Glass

Single Pane Glass

Meeting Rails w/ T&G
Joint

Insulated Panel

Door Construction
Detail



DESIGN 13085 (A)

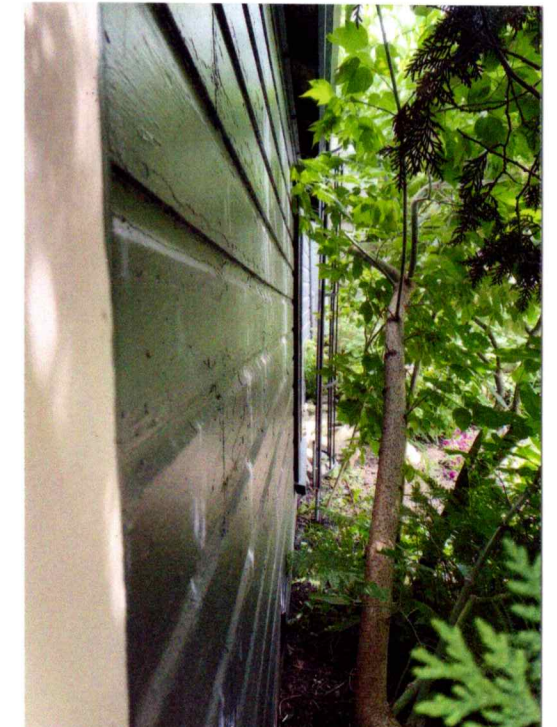
Page: 2 / 2
October 7, 2024



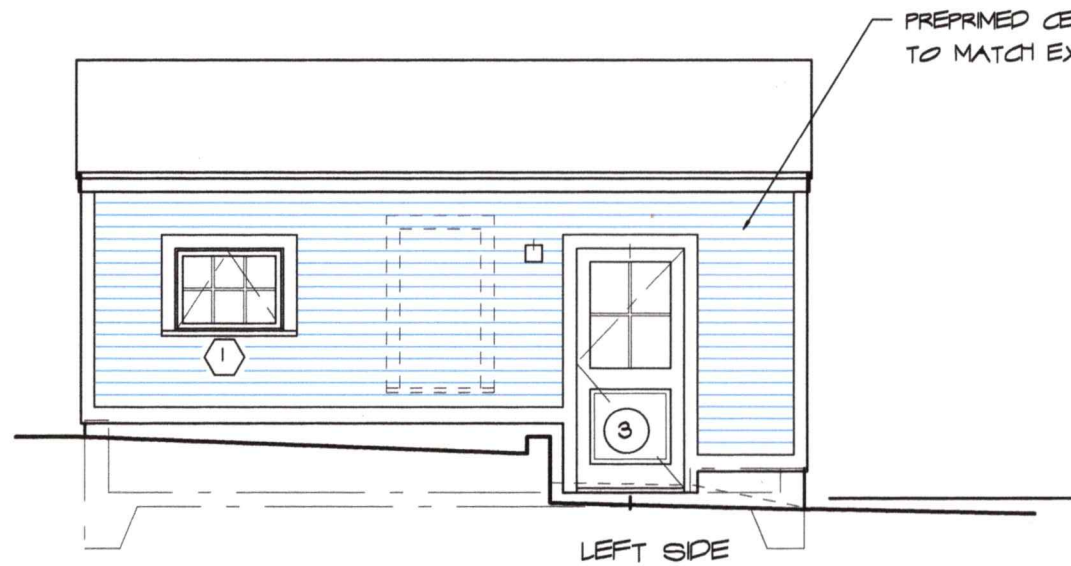
GARAGE EXIST LEFT SIDE



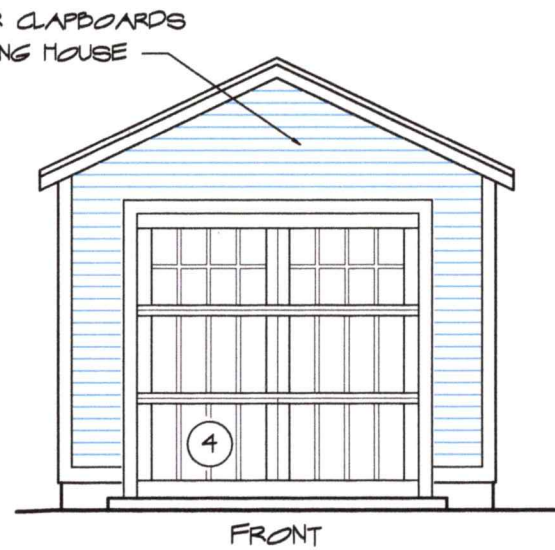
GARAGE EXIST FRONT



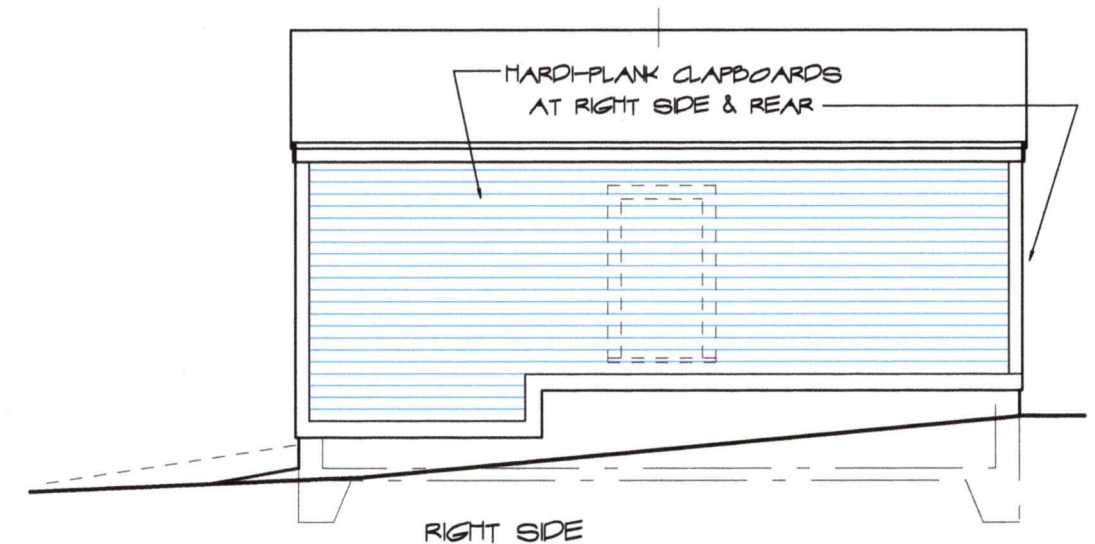
GARAGE EXIST RIGHT SIDE



LEFT SIDE



FRONT



RIGHT SIDE

REBUILT GARAGE ELEVATIONS
SCALE: 3/16" = 1'-0"

SCHEMATIC DESIGN

801 Islington St, Suite 92
Portsmouth, NH 03801
603-592-4387
archwhit@aol.com



ANNE WHITNEY ARCHITECT

RENOVATIONS & GARAGE REBUILT, BRADFORD RESIDENCE

110 - 112 GATES STREET

PORTSMOUTH, NH

Project: 2304

Date: 10/9/24

Revisions:

6 OF 7

DOUBLE HUNG

MO (mm)	1-10 (559)	2-2 (660)	2-6 (762)	2-8 (813)	2-10 (864)
RO (mm)	1-10 1/2 (572)	2-2 1/2 (673)	2-6 1/2 (775)	2-8 1/2 (826)	2-10 1/2 (876)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)	2-7 1/2 (800)	2-9 1/2 (851)
DLO (mm)	1-3 11/16 (398)	1-7 11/16 (500)	1-11 11/16 (602)	2-1 11/16 (652)	2-3 11/16 (703)
3-0 (914)	ELDH2236	ELDH2636	ELDH3036	ELDH3236	ELDH3436
3-0 1/4 (821)					
3-1 3/4 (908)					
3-1 11/16 (348)					
3-4 (1016)	ELDH2240	ELDH2640	ELDH3040	ELDH3240	ELDH3440
3-4 1/4 (1022)					
3-5 3/4 (1010)					
3-5 11/16 (398)					
3-8 (1178)	ELDH2244	ELDH2644	ELDH3044	ELDH3244	ELDH3444
3-8 1/4 (1164)					
3-9 3/4 (1111)					
3-9 11/16 (449)					
4-0 (1219)	ELDH2248	ELDH2648	ELDH3048	ELDH3248	ELDH3448
4-0 1/4 (1225)					
4-1 3/4 (1213)					
4-1 11/16 (600)					
4-4 (1321)	ELDH2252	ELDH2652	ELDH3052	ELDH3252	ELDH3452
4-4 1/4 (1327)					
4-5 3/4 (1314)					
4-5 11/16 (651)					
4-8 (1422)	ELDH2256	ELDH2656	ELDH3056	ELDH3256	ELDH3456
4-8 1/4 (1428)					
4-9 3/4 (1416)					
4-9 11/16 (602)					
5-0 (1524)	ELDH2260	ELDH2660	ELDH3060	ELDH3260	ELDH3460
5-0 1/4 (1530)					
4-11 3/4 (1518)					
2-1 11/16 (652)					

MARVIN ELEVATE™ COLLECTION CASEMENT

MO (mm)	1-4 1/2 (419)	1-8 1/2 (521)	2-0 1/2 (622)
RO (mm)	1-5 (432)	1-9 (533)	2-1 (635)
FS (mm)	1-4 (406)	1-8 (508)	2-0 (610)
DLO (mm)	0-10 25/32 (274)	1-2 25/32 (376)	1-6 25/32 (477)
2-7 3/8 (797)	ELCA1731	ELCA2131	ELCA2531
2-7 5/8 (803)			
2-7 1/8 (791)			
2-1 29/32 (658)			
2-11 3/8 (888)	ELCA1735	ELCA2135	ELCA2535
2-11 5/8 (905)			
2-11 1/8 (892)			
2-5 29/32 (760)			
3-3 3/8 (1008)	ELCA1739	ELCA2139	ELCA2539
3-3 5/8 (1006)			
3-3 1/8 (994)			
2-9 29/32 (861)			

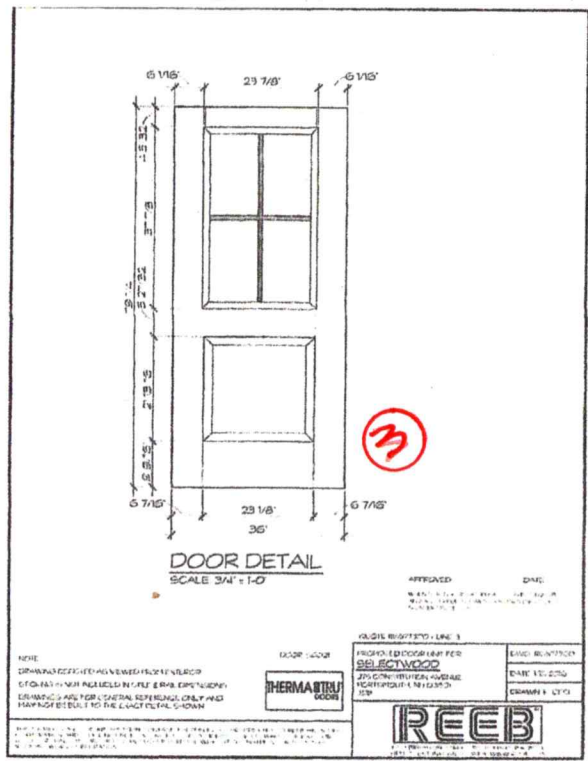
AWNING

MO (mm)	2-0 1/2 (622)	2-4 1/2 (724)	2-8 1/2 (826)	3-0 1/2 (927)	3-4 1/2 (1029)	4-0 1/2 (1232)
RO (mm)	2-1 (635)	2-5 (737)	2-9 (838)	3-1 (940)	3-5 (1041)	4-1 (1245)
FS (mm)	2-0 (610)	2-4 (711)	2-8 (813)	3-0 (914)	3-4 (1016)	4-0 (1219)
DLO (mm)	1-6 25/32 (477)	1-10 25/32 (579)	2-2 25/32 (680)	2-6 25/32 (782)	2-10 25/32 (884)	3-6 25/32 (1087)
2-3 3/8 (665)	ELAWN2527	ELAWN3327	ELAWN4127	ELAWN4927		
2-3 5/8 (702)						
2-3 1/8 (669)						
1-9 25/32 (657)						



7344 TRADITIONAL
7702 THERMAL SASH SIDELIGHT

Simpson®
Door Company



WINDOW & EXTERIOR DOOR SCHEDULES

SYM.	SIZE/UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
WINDOWS					
A	ELDH 3456	2/2	2' 10 1/2" X 4' 8 1/4"	MARVIN INC., ELEVATE, Doublehung, 7/8" SDL w/ Low E Glazing, Cladding "Stone White", Sash "Ebony", Hardware to be chosen by Owner. In exist wall.	7
B	ELDH 3460	2/2	2' 10 1/2" X 5' 0 1/4"	DITTO	10
C	ELDH 2248	2/2	1' 10 1/2" X 4' 0 1/4"	DITTO	1
D	ELDH 3048	2/2	2' 6 1/2" X 4' 0 1/4"	DITTO	2
E	ELCA 2536	4	2' 1" X 2' 11 5/8"	MARVIN INC., ELEVATE, Casement, 7/8" SDL w/ Low E Glazing, Cladding "Stone White", Sash "Ebony", Hardware to be chosen by Owner, in exist wall	2 R
F	ELCA 2539 with	4	2' 1" X 3' 3 5/8"	DITTO	2 R 1 L
G	ELCA 2539 3 wide	4	6' 1" X 3' 3 5/8"	DITTO, 3 wide, center unit fixed	1
H	ELCA cust. to match ELDH 3456	2/2 with M-Pull	2' 10 1/2" X 4' 8 1/4"	DITTO, Casement to match Doublehung	3 L 1 R
I	ELAWN 3727	6	3' 1" X 2' 3 5/8"	MARVIN INC., ELEVATE, Awning, 7/8" SDL w/ Low E Glazing, Cladding "Stone White", Sash "Ebony", Hardware to be chosen by Owner, in 2x6 wall	
EXTERIOR DOORS					
1	F-7344 with F-7702 side lites	1	69 1/2" x 82 1/2"	SIMPSON, FIR 7344, 4 Panel Door 36" x 80", with Glazed Side Lites 14" x 80", painted, see Elevation, Low-E Glazing, Hardware to be chosen by owner.	1 R
2	32" x 80"	15	34 1/2" x 82 1/2"	15 Lite Glazed Door provided by Owner & matches Left Side Entry Door	1 L
3	4 Lite 36" x 80" mod# S6021	4	38 1/2" x 82 1/2"	THERMA-TRU, Smooth Star Mod# S6021 with 4 Lite SDL, Low-E Glazing.	1 L
4	96" x 96"	16 see elev.	manuf. determine	HORMANN, Infinity Classic 7800, Design 1308S, Insulated Aluminum Overhead Door.	1

WINDOW - EXT. DOOR NOTES

- VERIFY WINDOW SIZING IN EXISTING OPENINGS, ADJUST AS REQUIRED.
- SUBMIT FINAL WINDOW/DOOR ORDER & SHOP DRAWINGS TO ARCHITECT FOR APPROVAL BEFORE ORDERING

SCHEMATIC DESIGN

ANNE WHITNEY ARCHITECT

801 Islington St, Suite 32
Portsmouth, NH 03801
603-602-4367
archwhit@aol.com

Project: **2304** Date: **10/9/24**

Revisions:

7 OF 7

170 - 172 GATES STREET PORTSMOUTH, NH

Project Address: 500 Market Street

Permit Requested: Certificate of Approval

Application: Public Hearing #3

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L1
- Land Use: Residential
- Land Area: N/A SF +/-
- Estimated Age of Structure: c.1983
- Building Style: Residential Condominiums
- Number of Stories: 3
- Historical Significance: NC
- Public View of Proposed Work: Market Street and North Mill Pond
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: Blanket approval for the replacement of the condominium solariums.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- One unit has received approval. The association would like to make it a blanket approval for all owners.



**HISTORIC
SURVEY
RATING
NC**

D. Purpose and Intent:

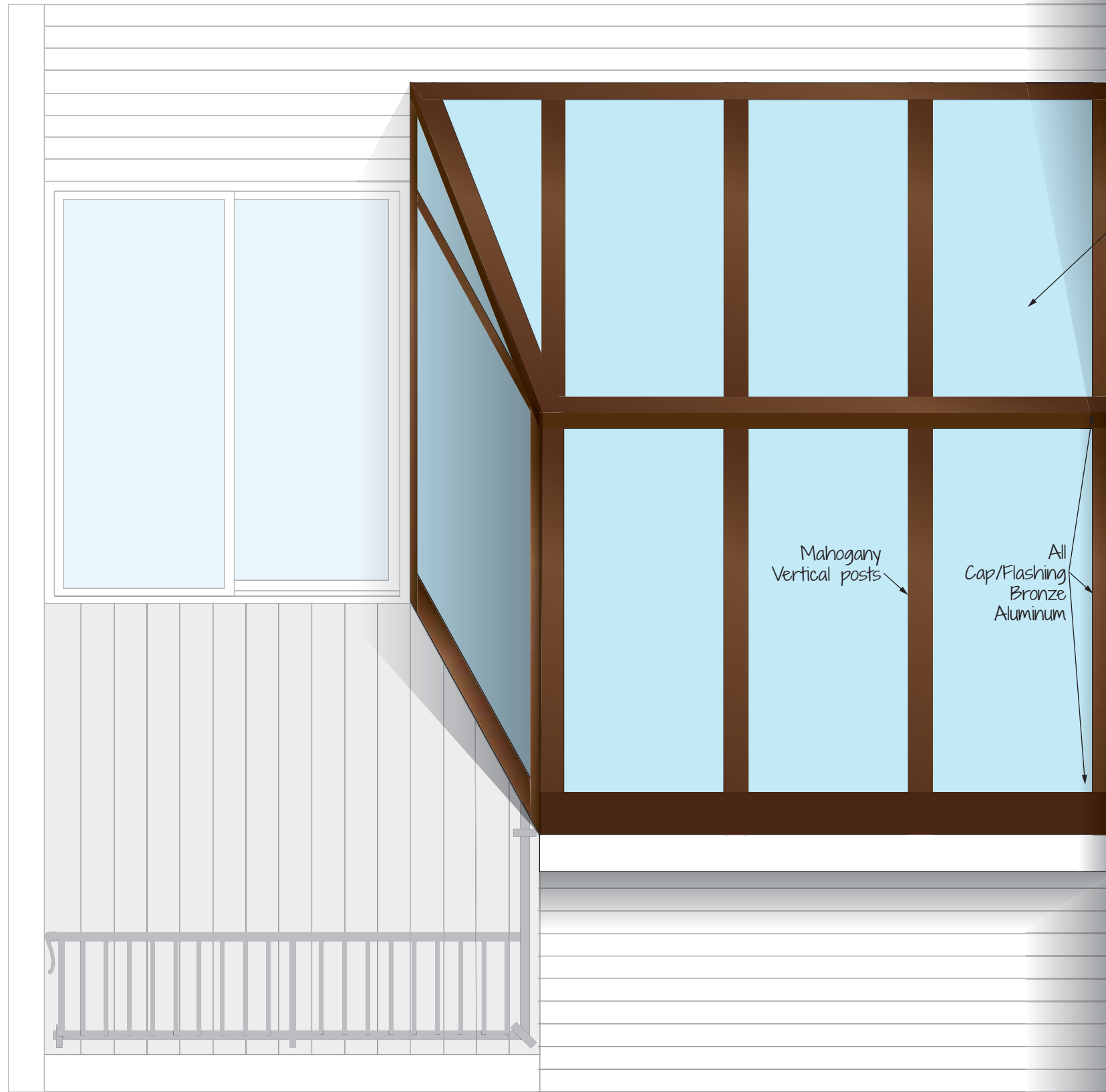
1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

COMP - PROJECTION

SCALE: 1/2" = 1ft



Roof IGU
Solarban 70
Insulated Temp/Lam

Mahogany
Vertical posts

All
Cap/Flashing
Bronze
Aluminum

Existing
Basewall
to remain

THESE DRAWINGS ARE THE PROPERTY OF SUNSPACE DESIGN INC.
AND SHALL NOT BE DUPLICATED OR ALTERED UNDER ANY CIRCUMSTANCES
WITHOUT PERMISSION OF SUNSPACE DESIGN INC.

PROJECT ADDRESS
500 Market St, Portsmouth, NH

DATE: 7/16/23

CAD FILE:

All dimensions & construction details must be reviewed & verified by the contractor.
Any discrepancies or changes must be sent to Sunspace Design Inc.
Contractor is fully responsible for code compliant construction. Sunspace Design
assumes no responsibility for errors or revisions in these drawings or in the
construction by others.

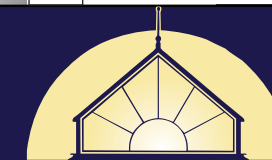
Unit #14
TITLE: Comp View

SCALE: 1/2" = 1ft

DRAWN BY: TDH

SHEET: 1A

PAGE: 1



SUNSPACE DESIGN

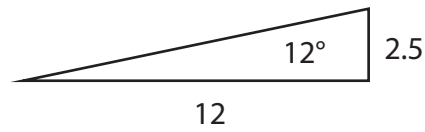
CONSERVATORIES • GREENHOUSES • CUSTOM SKYLIGHTS
PLANNING • DESIGN • CONSTRUCTION

est. 1981

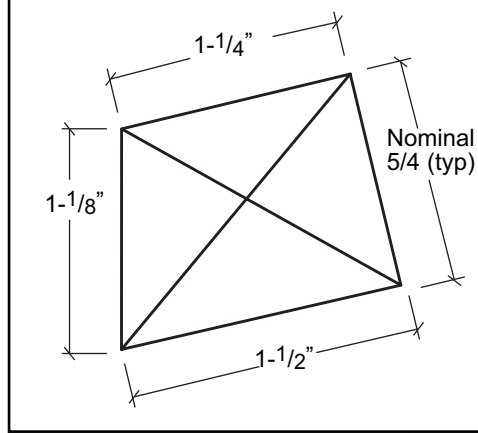
29 Seamist Lane, York, ME 03909 / ph: (800) 530-2505
www.sunspacedesign.com

SECTION VIEW DETAIL

SCALE: 1" = 2"



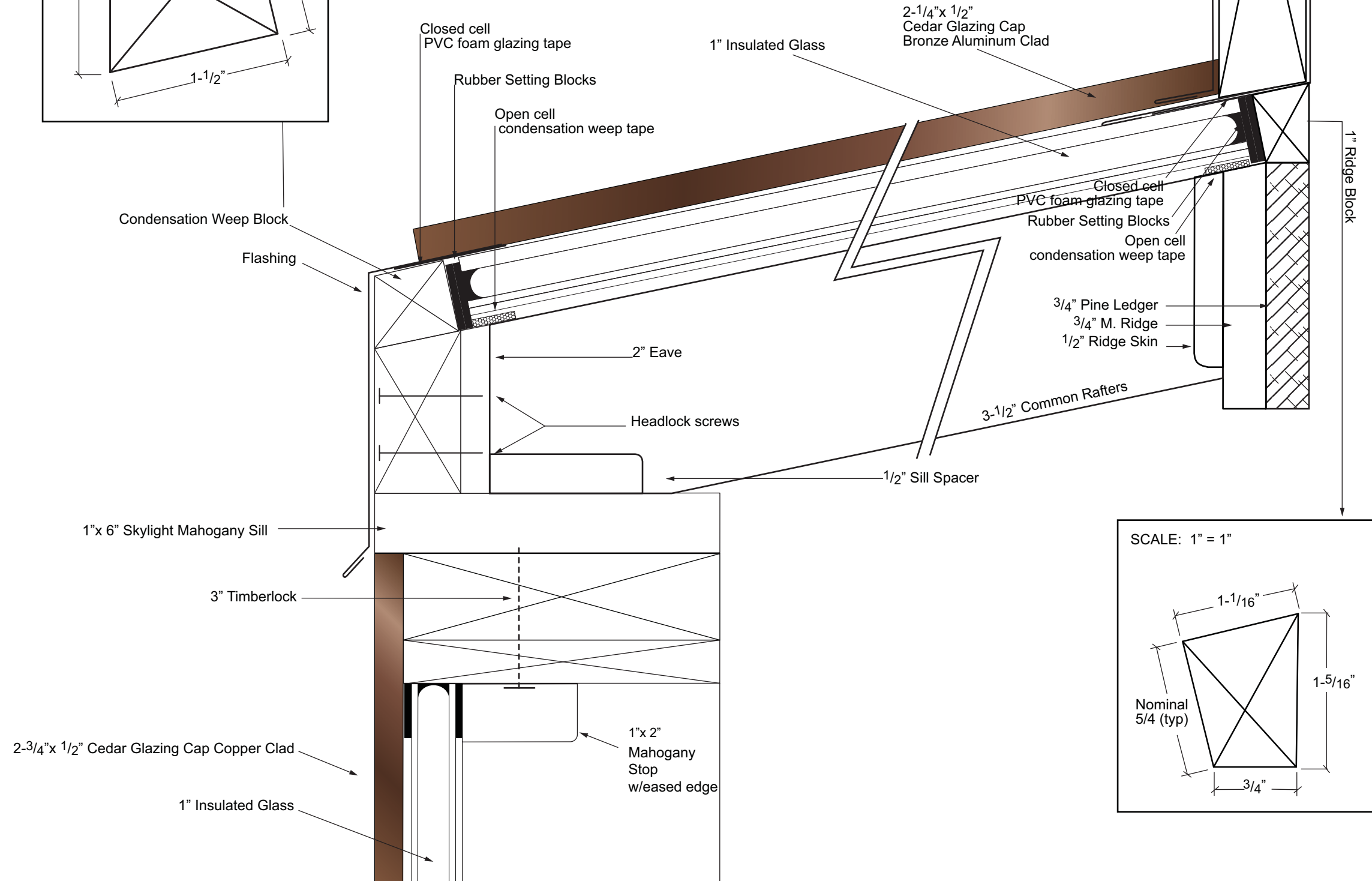
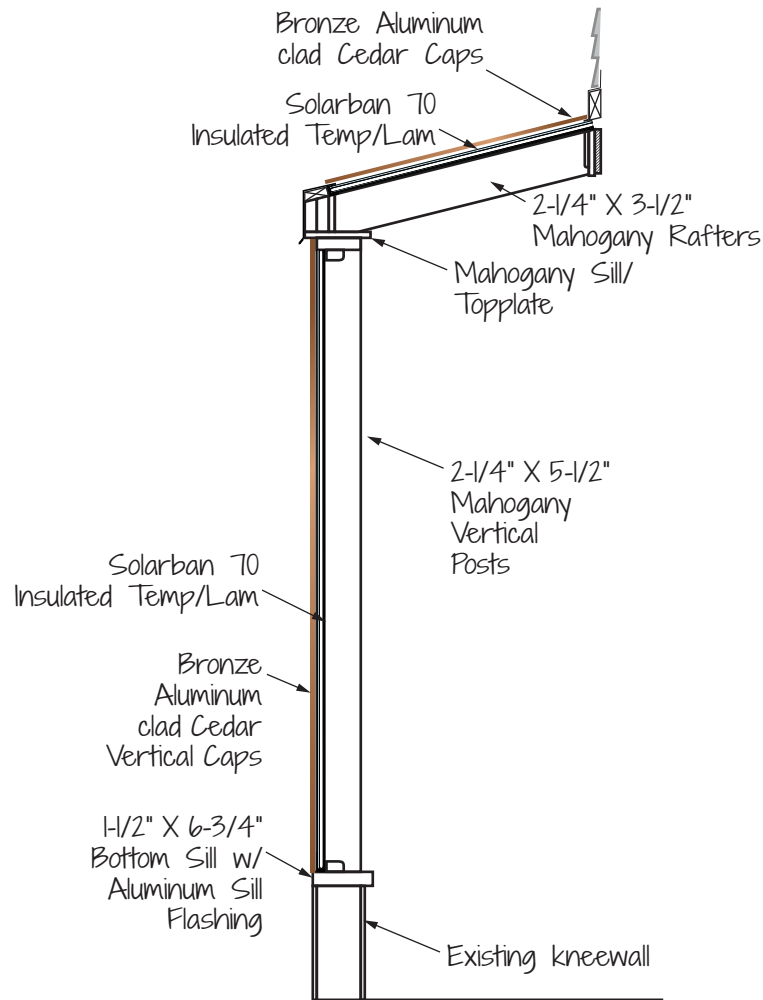
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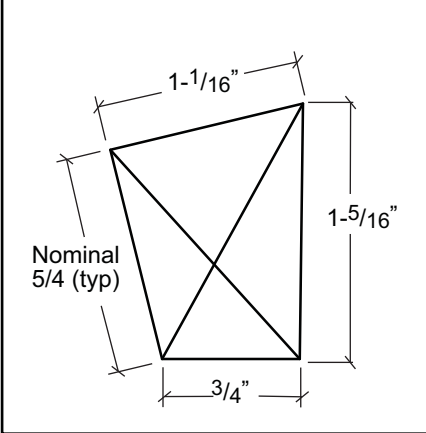
SECTION VIEW

To match existing as closely as possible

SCALE: 1" = 1ft



SCALE: 1" = 1"



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All dimensions & construction details must be reviewed & verified by the contractor. Any discrepancies or changes must be sent to Sunspace Design Inc. Contractor is fully responsible for code compliant construction. Sunspace Design assumes no responsibility for errors or revisions in these drawings or in the construction by others.

PROJECT ADDRESS		DATE:	CAD FILE:
500 Market St, Portsmouth, NH		7/20/23	
Unit #14		SCALE:	DRAWN BY:
		As Marked	TDH
TITLE:		SHEET:	PAGE:
Cross Section-n-Detail		1B	1

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New



Old



New



Old



New



Old



Left is new, right is old

Project Address: 411 The Hill Unit #4-16

Permit Requested: Certificate of Approval

Application: Public Hearing #4

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L1 & Downtown Overlay
- Land Use: Residential
- Land Area: N/A SF +/-
- Estimated Age of Structure: c.1725
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: Focal
- Public View of Proposed Work: Downtown
- Unique Features: Relocated to current site.
- Neighborhood Association: Downtown and The Hill

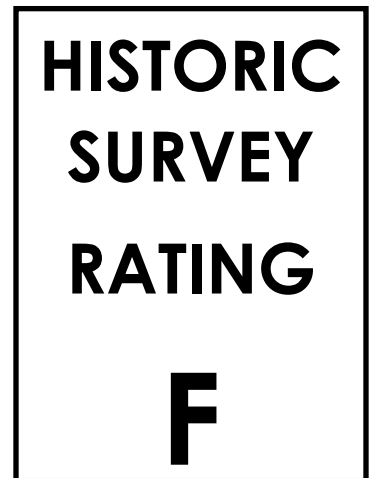


B. Proposed Work: Replacement of the existing windows.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace the existing windows with a Pella window.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



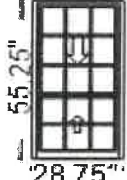
Contract - Detailed

Pella Window and Door Showroom of Bedford
 384 Route 101 Unit 2
 Bedford, NH 03110

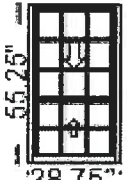
Sales Rep Name: Poggi, Alex
Sales Rep Phone: 603-677-2946
Sales Rep Fax:
Sales Rep E-Mail: poggjar@pellanewengland.com

Customer Information	Project/Delivery Address	Order Information
Tom McGraw 411 The HI Portsmouth, NH 03801-3736 Primary Phone: (201) 2709542 Mobile Phone: Fax Number: E-Mail: Great Plains #: 1008242437 Customer Number: 1012000457 Customer Account: 1008242437	Tom McGraw - 411 The HI , Portsmouth, NH, US 03801 411 The HI Lot # Portsmouth, NH 03801-3736 County:	Quote Name: Tom McGraw - 411 The HI , Portsmouth, NH, US Order Number: 736AP0359 Quote Number: 18809959 Order Type: Installed Sales Payment Terms: Deposit/C.O.D. Tax Code: NHTAXABLE Quoted Date: 10/21/2024

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
10	None Assigned	Delivery Setup - Delivery Setup	\$600.00	1	\$600.00

Line #	Location:	Attributes			
15	Office	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	Item Price	Qty	Ext'd Price
			\$4,878.01	2	\$9,756.02
	 <p>Viewed From Exterior</p> <p>PK # 2178</p> <p>1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75) Frame Size: 28 3/4 X 55 1/4 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White Interior Color / Finish: Linen White Paint Interior Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".</p> <p>Frame Size: 28.75" X 55.9843"</p> <p>Pocket Install - Pocket Install Qty 1 Lead Safe Install - Lead Safe Install Qty 1</p>				

A1
A2

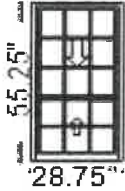
Line #	Location:	Attributes			
20	Bed 1	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	Item Price	Qty	Ext'd Price
			\$4,878.01	3	\$14,634.03
	 <p>Viewed From Exterior</p> <p>PK # 2178</p> <p>1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75) Frame Size: 28 3/4 X 55 1/4 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White Interior Color / Finish: Linen White Paint Interior Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".</p> <p>Frame Size: 28.75" X 55.9843"</p> <p>Pocket Install - Pocket Install Qty 1 Lead Safe Install - Lead Safe Install Qty 1</p>				

B1
B2
B3

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Line #	Location:	Attributes			
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25	Hall	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$4,878.01	1	\$4,878.01



Viewed From Exterior

CI

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

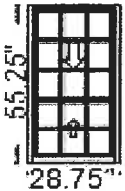
Frame Size: 28 3/4 X 55 1/4
General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"
Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White
Interior Color / Finish: Linen White Paint Interior
Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™
Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee
Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".

Frame Size: 28.75" X 55.9843"

Pocket Install - Pocket Install	Qty	1
Lead Safe Install - Lead Safe Install	Qty	1

Line #	Location:	Attributes			
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30	Bed 2	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$4,878.01	2	\$9,756.02



Viewed From Exterior

DI
DZ

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

Frame Size: 28 3/4 X 55 1/4
General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"
Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White
Interior Color / Finish: Linen White Paint Interior
Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™
Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee
Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".

Frame Size: 28.75" X 55.9843"

Pocket Install - Pocket Install	Qty	1
Lead Safe Install - Lead Safe Install	Qty	1

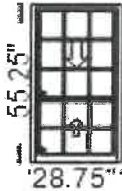
For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
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35 Bed 2 Bath

Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White

\$5,124.94 1 \$5,124.94



Viewed From Exterior

E1

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

Frame Size: 28 3/4 X 55 1/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.47, CPD PEL-N-233-00643-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee

Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168"

Frame Size: 28.75" X 55.9843"

Pocket Install - Pocket Install Qty 1

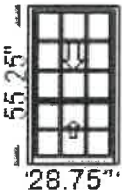
Lead Safe Install - Lead Safe Install Qty 1

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
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40 Dining Room

Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White

\$4,878.01 3 \$14,634.03



Viewed From Exterior

F1
F2
F3

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

Frame Size: 28 3/4 X 55 1/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee

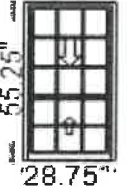
Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168"

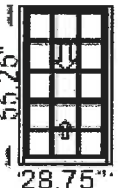
Frame Size: 28.75" X 55.9843"

Pocket Install - Pocket Install Qty 1

Lead Safe Install - Lead Safe Install Qty 1

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

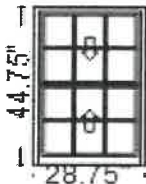
Line #	Location:	Attributes			
45	Living Room	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	Item Price	Qty	Ext'd Price
			\$4,878.01	2	\$9,756.02
	 <p>Viewed From Exterior</p> <p>61 62</p>	<p>PK # 2178</p> <p>1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75) Frame Size: 28 3/4 X 55 1/4 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White Interior Color / Finish: Linen White Paint Interior Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".</p>			
	<p>Frame Size: 28.75" X 55.9843"</p>				
		Pocket Install - Pocket Install		Qty 1	
		Lead Safe Install - Lead Safe Install		Qty 1	

Line #	Location:	Attributes			
50	Kitchen	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	Item Price	Qty	Ext'd Price
			\$4,878.01	3	\$14,634.03
	 <p>Viewed From Exterior</p> <p>H1 H2 H3</p>	<p>PK # 2178</p> <p>1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75) Frame Size: 28 3/4 X 55 1/4 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White Interior Color / Finish: Linen White Paint Interior Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".</p>			
	<p>Frame Size: 28.75" X 55.9843"</p>				
		Pocket Install - Pocket Install		Qty 1	
		Lead Safe Install - Lead Safe Install		Qty 1	

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Line #	Location:	Attributes			
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55	Downstair Bath	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 44.75, Poplar White	Item Price	Qty	Ext'd Price
			\$3,790.27	1	\$3,790.27



Viewed From Exterior

I 1

PK #
2178

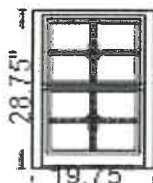
1: Non-Standard Size Non-Standard Size Double Hung, Equal
Frame Size: 28 3/4 X 44 3/4
General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"
Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White
Interior Color / Finish: Linen White Paint Interior
Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™
Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Clear Opening Height 18.312, Clear Opening Area 3.226854, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: 1LT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee
Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 147".

Frame Size: 28.75" X 45.4843"

Pocket Install - Pocket Install	Qty 1
Lead Safe Install - Lead Safe Install	Qty 1

Line #	Location:	Attributes			
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60	Attic	Pella Reserve, Traditional Replacement Double Hung, 19.75 X 28.75, Poplar White	Item Price	Qty	Ext'd Price
			\$3,168.30	2	\$6,336.60



Viewed From Exterior

J 1
J 2

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Equal
Frame Size: 19 3/4 X 28 3/4
General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"
Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White
Interior Color / Finish: Linen White Paint Interior
Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™
Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 16.375, Clear Opening Height 10.312, Clear Opening Area 1.172632, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: 1LT, No Custom Grille, 5/8", Traditional (2W2H / 2W2H), Putty Glaze, Ogee
Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 97".

Frame Size: 19.75" X 29.4843"

Lead Safe Install - Lead Safe Install	Qty 1
Pocket Install - Pocket Install	Qty 1

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Izak Gilbo

From: THOMAS MCGRAW <tom020198@aol.com>
Sent: Thursday, October 24, 2024 3:00 PM
To: Izak Gilbo
Subject: LU - 24 -192. 411 The Hill window replacement

[You don't often get email from tom020198@aol.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Window photos in order in which they appear in Pella contract quotes. Thank you



A1



A2



B1



B2



B3



C1



DI



D2



E1



FI



F2



F3



G1



62



H1



H2



H3



I 1



J 1

J 2

Sent from my iPhone

Project Address: 396-373 Islington Street

Permit Requested: Certificate of Approval

Application: Public Hearing #5

A. Property Information - General:

Existing Conditions:

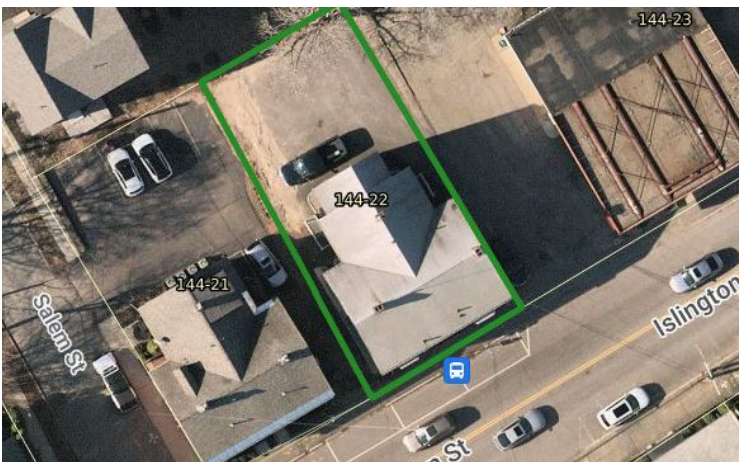
- Zoning District: Character District 4-L2 (CD4-L2)
- Land Use: Mixed Use
- Land Area: 4,792 SF +/-
- Estimated Age of Structure: c.1880
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: Not in 1984 Historical Survey
- Public View of Proposed Work: Islington Street
- Unique Features: NA
- Neighborhood Association: West End



B. Proposed Work: Replace (5) windows, replace siding and install HVAC equipment.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

HDC WINDOW REPLACEMENT OVERVIEW

Applicant: Islington Properties
Subject Property: 371 Islington Street, Suite A
Portsmouth, NH 03801

I am looking to install Pella Lifestyle series windows replacing the existing vinyl window(1) and wood windows(4). All windows are currently inoperable, most of the sashes are broken, and none of the balances currently work. They are wood(pine) windows with aluminum clad. I am looking for a white exterior and white interior. Lastly, no window grids as this would match most of the existing windows in the building. In the file I will attach pictures and the window specifications.

Thank you,

Scott Rafferty
603-767-8929
srafferty@ocrandco.com

Pella® Lifestyle Series

Clad/Wood



#1 performing wood window and patio door for the combination of energy, sound and value.¹

Triple-pane casement



- **Easy-to-learn Pella Steady Set™ interior installation system**

Pella Steady Set Interior Installation System is a revolutionary, award-winning and safer way to install new construction windows.¹ The simple system is the fastest, most labor efficient wood window installation system with uncompromising quality.² Available on select windows.

- **Performance redefined**

You don't have to compromise on any aspect of performance. Available performance solutions offer an unbeatable combination of energy efficiency, sound control and value.³

- **ENERGY STAR® certified⁴**

Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Lifestyle Series products with triple-pane glass have been awarded ENERGY STAR Most Efficient Mark in 2023.

- **Enhanced sound control**

Our patented, triple-pane design with Advanced Low-E glass allows for mixed glass thickness for enhanced sound dampening resulting in an average 52% noise reduction versus single-pane windows.⁵

- **Intentional design for improved durability**

Intentional jamb on sill design helps seal the end grain of the wood and elevates it off the rough opening, reducing the potential for moisture.

- **Durable 3-way corner joints**

Three-way corner joints are made up of mortise-and-tenon, metal fasteners and commercial adhesive for added strength and durability.

- **Low-maintenance exteriors**

Aluminum-clad exteriors with EnduraClad® finish resists fading and chalking. It is applied in an overlapping fashion for exceptional protection.

- **Exclusive wood protection**

Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly. It provides advanced protection against the effects of moisture, decay, stains from mold and mildew — as well as termite damage.

- **Time-tested innovations**

Create unique room-by-room solutions and achieve project goals with performance options and purposeful innovations like the Hidden Screen and integrated blinds, shades and security sensors. For more information on integrated wireless security sensors, go to connectpella.com.

- **Best limited lifetime warranty⁶**

Pella Lifestyle Series products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.⁵

- **Testing beyond requirements**

At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

- **Hidden Screen**

The revolutionary Hidden Screen appears when you open a double-hung window and folds away when it is closed. It provides a clear view when the window is closed and improves curb appeal year-round.

Dual-pane double-hung window with Hidden Screen



Available in these window and patio door styles:⁷



Special shape windows also available.

^{1,2,3,4,5,6,7} See back cover for disclosures.

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame/Install
						U-Factor	SHGC	STC	
Awning Dual-pane vent	21"	17"	59"	59"	LC30 - LC50	0.25 - 0.34	0.19 - 0.51	25-28	Pella Steady Set, Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Awning Triple-pane vent	21"	17"	59"	59"	R20 - CW50	0.20 - 0.28	0.15 - 0.41	31-37	
Casement Dual-pane vent	17"	17"	35"	73"	LC30-LC50	0.25 - 0.34	0.19 - 0.58	25-31	
Casement Triple-pane vent	17"	17"	35"	73"	R20-CW50	0.20-0.25	0.17-0.46	31-37	
Fixed Casement Dual-pane	17"	17"	73"	73"	LC30-LC50	0.23 - 0.35	0.20 - 0.57	29-32	
Fixed Casement Triple-pane	17"	17"	73"	73"	R20-CW50	0.19 - 0.27	0.15 - 0.49	33-37	
Double-Hung Dual-pane vent	21"	35"	48"	84"	LC30-LC50	0.25 - 0.34	0.20 - 0.48	27-31	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Hinged Patio Door Dual-pane single door	30"	80"	38"	96"	LC50	0.26 - 0.32	0.18 - 0.48	31	
Hinged Patio Door Triple-pane single door	30"	80"	38"	96"	LC55	0.23 - 0.28	0.12 - 0.34	34-36	
Hinged Patio Door Dual-pane double door	60"	80"	75"	96"	LC50	0.25-0.29	0.18-0.48	30-32	
Hinged Patio Door Triple-pane double door	50"	80"	75"	96"	LC55	0.22-0.26	0.14-0.38	34-36	
Sliding Patio Door Dual-pane single-door fixed (O)	31"	80"	49"	96"	CW50	0.24-0.33	0.18-0.51	27	
Sliding Patio Door Triple-pane single-door fixed (O)	31"	80"	49"	96"	CW60	0.21-0.27	0.17-0.45	33-36	
Sliding Patio Door Dual-pane double-door vent (OX or XO)	60"	80"	96"	96"	R20-LC50	0.24 - 0.34	0.18-0.51	29-32	
Sliding Patio Door Triple-pane double-door vent (OX or XO)	60"	80"	96"	96"	R25-LC60	0.22 - 0.29	0.16 - .44	33-36	

Window sizes available in 1/4" increments

Special sizes available in triple-pane patio doors. For more information regarding performance, visit pella.com/performance. For more information regarding frame and installation types, visit installpella.com.

Window Hardware

Essential Collection

Select from popular designs and finishes to suit every style.



Fold-away Crank



Cam-Action Lock

Finishes:

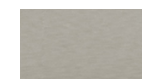


Champagne

White

Brown

Matte Black



Satin Nickel



Satin Brass

Patio Door Hardware

Essential Collection

Elevate your style and transform a home with elegant selections.



Hinged Patio Door Handle



Sliding Patio Door Handle

Finishes:

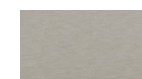


Champagne

White

Brown

Matte Black



Satin Nickel



Satin Brass

Colors

Prefinished Pine Interior Colors

We can prefinish pine in your choice of several paint and stain colors. Unfinished or primed and ready-to-paint are also available.



Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading and helps protect windows and patio doors for years. Seacoast EnduraClad protective finish for coastal projects with high salt exposure is also available.



Integrated Blinds & Shades

Integrated Blinds®

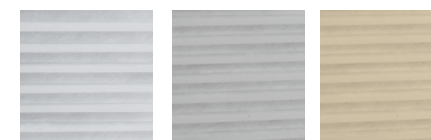
Raise blinds up for an unobstructed view or tilt to let in just the right amount of light. Our best integrated and accessible blinds are available manual or motorized with Pella® Insynctive® technology.



Integrated Shades®

Our best integrated fabric shades feature a white exterior fabric for a uniform look from the street. Integrated and accessible shades are available manual or motorized with Pella Insynctive technology.

Light-Filtering:

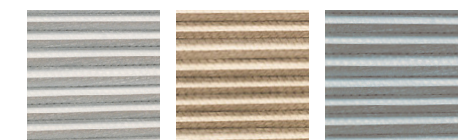


White

Silver

Maize

Room-Darkening:



Cotton

Bamboo

Ash

Haven't landed on the final blind or shade color selection? No problem. With our patented triple-pane design, you and your customer can make those decisions later in the schedule. Our triple-pane products come with all of the hardware to add a blind or shade straight from the factory or at a later time in the building or remodeling process.

Screens⁹

Hidden Screen

The Hidden Screen appears when you open a double-hung window and folds away when the window is closed. It allows 44% more natural light into your home when a window is closed than a standard screen.¹⁰ Hidden Screen cartridge available in Black, White, Brown, Fossil and Iron Ore colors to match or complement the exterior cladding color choice.

Rolscreen®

Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement and awning windows and sliding patio doors.

InView™

InView flat screens let in 14% more light and are 8% more open for improved airflow when compared to the conventional fiberglass screen.¹¹

Performance Packages

To make things easier, we've created performance packages.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹ Create room-by-room solutions with the upgraded triple-pane glass design.

All values below are averages compared with single-pane windows.



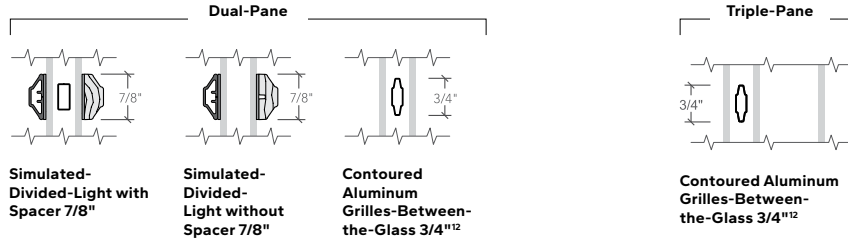
Pella® Lifestyle Series offers products awarded ENERGY STAR® Most Efficient for 2023.⁴

Base	Performance 71% More Energy Efficient ¹⁰ + 34% Noise Reduction ⁵	Sound Control 52% Noise Reduction ⁵	Energy Efficiency 83% More Energy Efficient ¹⁰	Ultimate Performance 79% More Energy Efficient ¹⁰ + 52% Noise Reduction ⁵
<p>Advanced Low-E</p> <p>Two panes of insulating, energy-efficient glass and our most popular features and options.</p>	<p>Advanced Low-E SunDefense Low-E or NaturalSun Low-E</p> <p>A triple-pane glass design for a combination of both improved energy efficiency and sound performance.</p>	<p>Advanced Low-E, SunDefense Low-E or NaturalSun Low-E Sound-reduction glazing</p> <p>Triple-pane glass design featuring mixed glass thicknesses for enhanced sound dampening.</p>	<p>AdvancedComfort</p> <p>A triple-pane glass design with upgraded AdvancedComfort Low-E glass for enhanced energy efficiency.</p>	<p>AdvancedComfort Sound-reduction glazing</p> <p>A triple-pane glass design featuring mixed glass thicknesses with upgraded AdvancedComfort Low-E glass for enhanced energy efficiency.</p>

Patented triple-pane glass design gives flexibility to add integrated blinds or shades without impacting performance.

Grilles

Choose the look of true divided light or make cleaning easier by selecting grilles-between-the-glass.



The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.⁶

¹ Compared to leading national wood window brands recommended installation methods for new construction windows.

² Comparing average install time and plumb/level/square measurements of leading national wood window brands when installed following the manufacturer's standard installation methods for new construction windows.

³ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

⁴ Some Pella products may not meet ENERGY STAR certification in Canada. For more information, contact your local Pella sales representative or go to nrcan.gc.ca/energy/products/categories/fenestration/13739.

⁵ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

⁶ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

⁷ Double-hung windows available in dual-pane only.

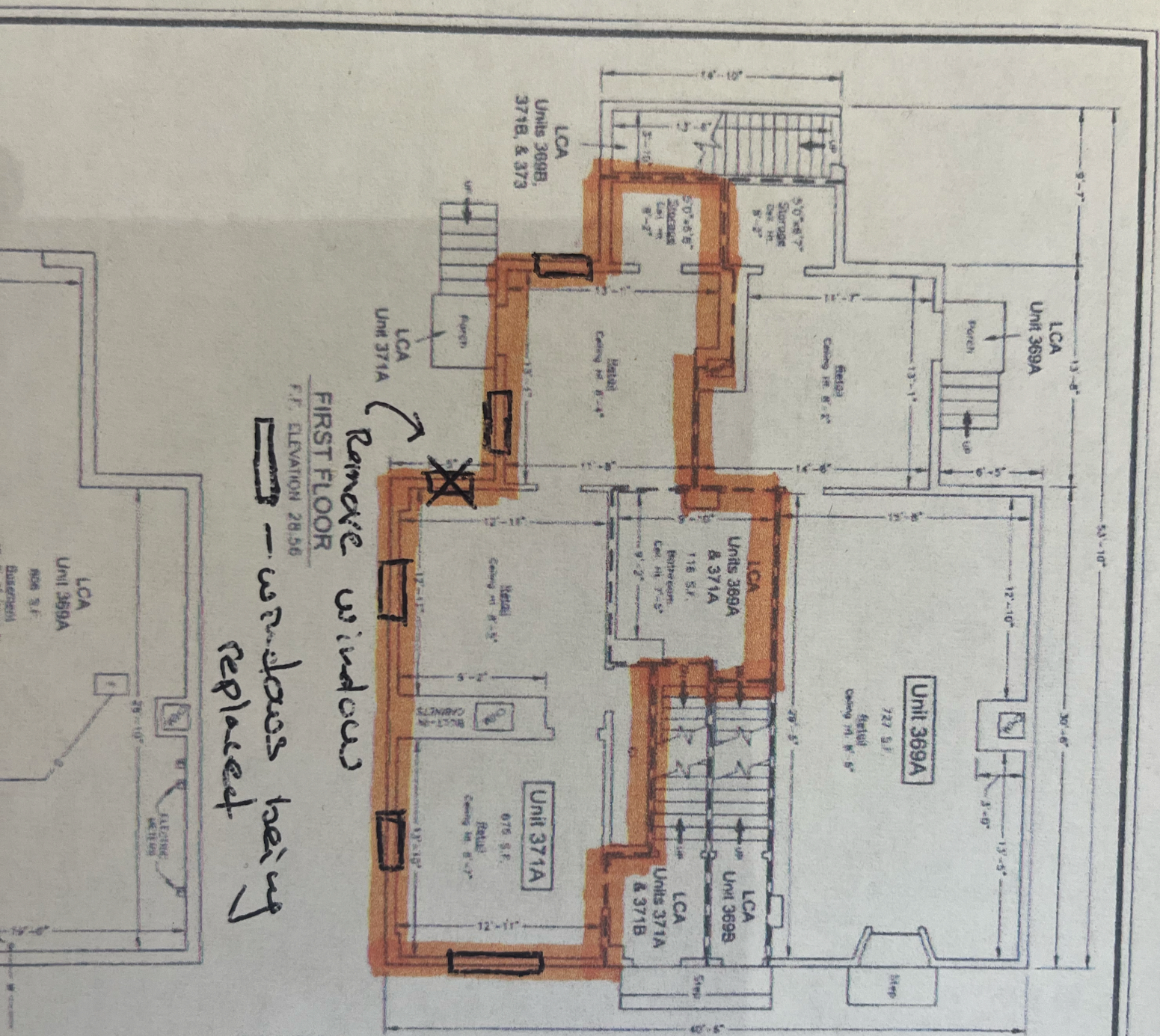
⁸ Available with triple-pane products only.

⁹ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

¹⁰ Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

¹¹ Improved airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.

¹² Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.



FIRST FLOOR
F.T. ELEVATION 28.56

Remove windows
& windows being
replaced

ISLINGTON STREET

UNIT AREAS:

UNIT 369A:	727 S.F.
UNIT 369B:	816 S.F.
UNIT 371A:	676 S.F.
UNIT 371B:	816 S.F.
UNIT 373:	1,280 S.F.

LEGEND:

LCA	UNITED COMM.
CA	COMMON AREA
CL	CLOSET
W	WASHER
D	DRYER
F	FURNACE
HW	HOT WATER
S.F.	SQUARE FEET

FEET

Izak,

We are desperate to get on the agenda for Nov 6th.

We are looking to do LP Smartside smooth brushed 6' clapboard siding in the color Rapids Blue, with white trim.

I stopped by the office today to give you some samples and spec details, but I must have missed you.

Here is a link with information on the siding just in case!

<https://lpcorp.com/products/siding-trim/products/lap-siding>

Please let me know what you need from us to get on the agenda.

Thank you,

Jaimie

PRODUCT SPECIFICATIONS

PRODUCT	LENGTHS AVAILABLE	GROOVE?	GROOVE WIDTH	WIDTHS AVAILABLE	MINIMUM THICKNESS	SUBSTRATE	COLORS
CEDAR TEXTURE LAP SIDING							
38 Series Cedar Texture Lap Siding	12 ft (3.7 m)	No Groove	N/A	5.84, 7.84, 11.84 in (148, 199, 301 mm)	.354 in (8.9 mm)	Strand	Primed
38 Series Cedar Texture Lap Siding - ExpertFinish	16 ft (4.9 m)	No Groove	N/A	5.84, 7.84 in (148, 199 mm)	.354 in (8.9 mm)	Strand	16 ExpertFinish Colors
76 Series Cedar Texture Lap Siding	16 ft (4.9 m)	No Groove	N/A	7.84, 11.84 in (199, 301 mm)	.418 in (10.6 mm)	Strand	Primed
76 Series SmartLock Cedar Texture Lap Siding	16 ft (4.9 m)	No Groove	N/A	7.84 in (199 mm)	.418 in (10.6 mm)	Strand	Primed

Get LP SmartSide ▾

Homeowners
FIND A CONTRACTOR >

Professionals
WHERE TO BUY >

LP SmartSide 3/8" 6" x 16' 38 Series Smooth Finish Primed Lap Engineered Wood Siding

Project Address: 53 Pray Street

Permit Requested: Work Session

Application: Work Session #1



A. Property Information - General:

Existing Conditions:

- Zoning District: Waterfront Business
- Land Use: Residential
- Land Area: 4,150 SF +/-
- Estimated Age of Structure: c.1830
- Building Style: Greek Revival
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: Pray Street
- Unique Features: N/A
- Neighborhood Association: South End

B. Proposed Work: Rebuild rear porch into screened porch with roof deck, add skylights to the rear 1-story addition, and relocated the existing fence.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:



EXISTING RIGHT SIDE ELEVATION (EAST)



D. Purpose and Intent:

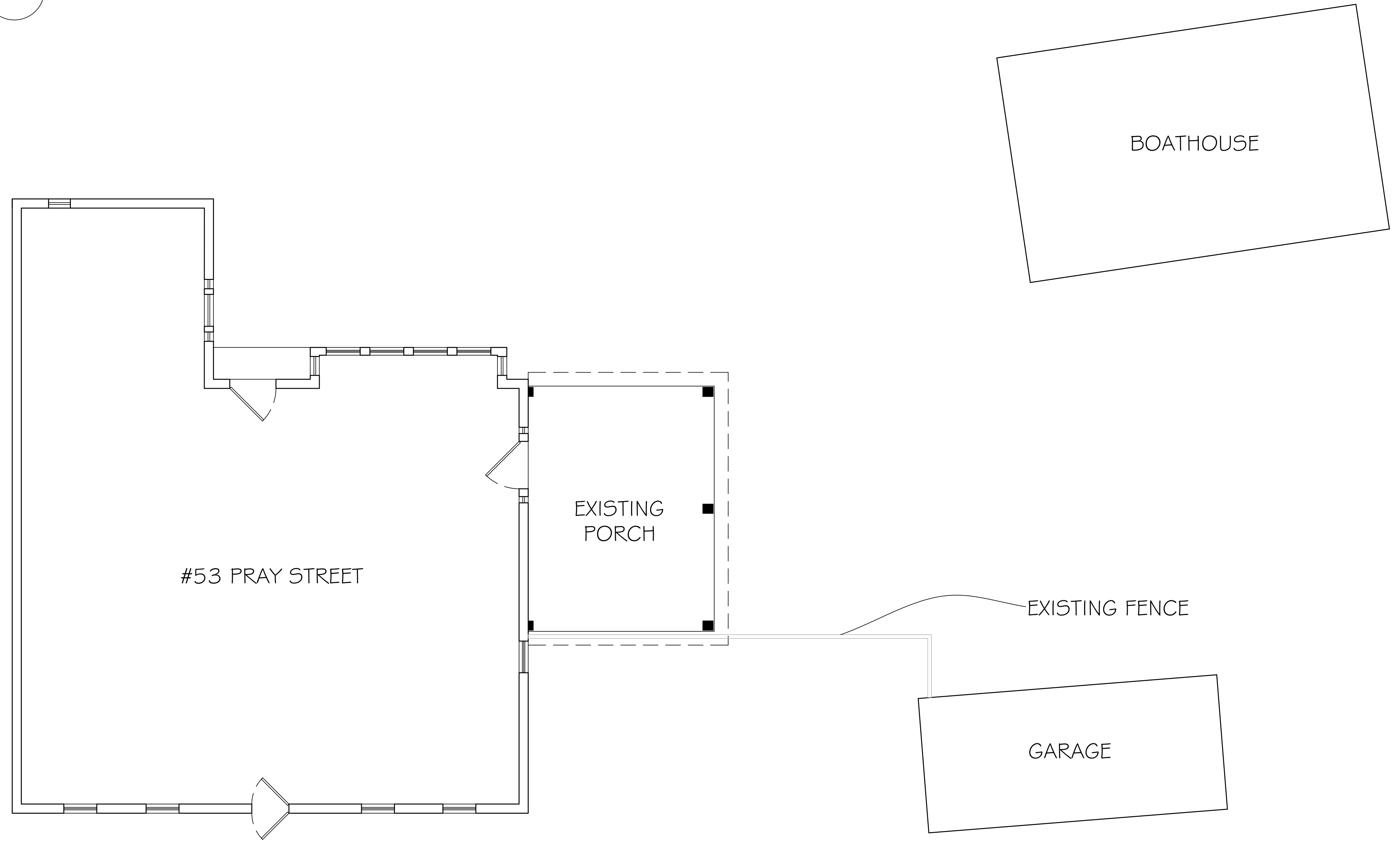
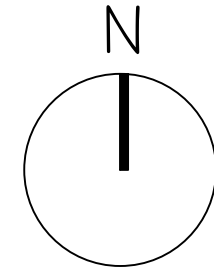
7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties



LOCUS MAP



DRAWING LIST

- Existing Site Plan
- Neighborhood Context
- Site and Elevations
- Proposed Site Plan
- First Floor Plans
- Second Floor Plans
- Front Elevations
- Side Elevations
- Back Elevations



1 53 PRAY STREET



2 43 PRAY STREET

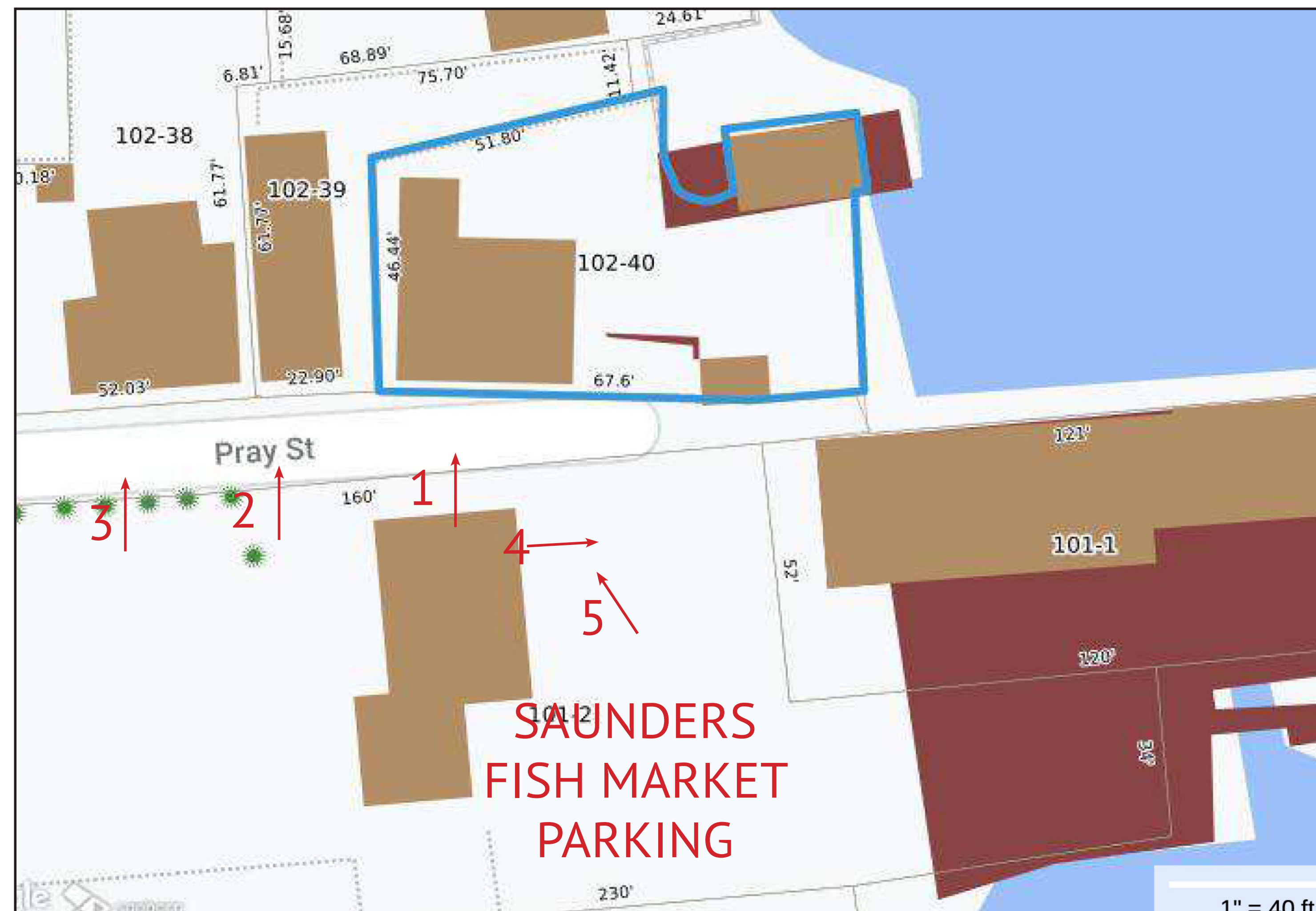


3 39 PRAY STREET



4 SAUNDER'S FISH

NEIGHBORHOOD
CONTEXT
53 PRAY STREET



5 FROM PARKING LOT



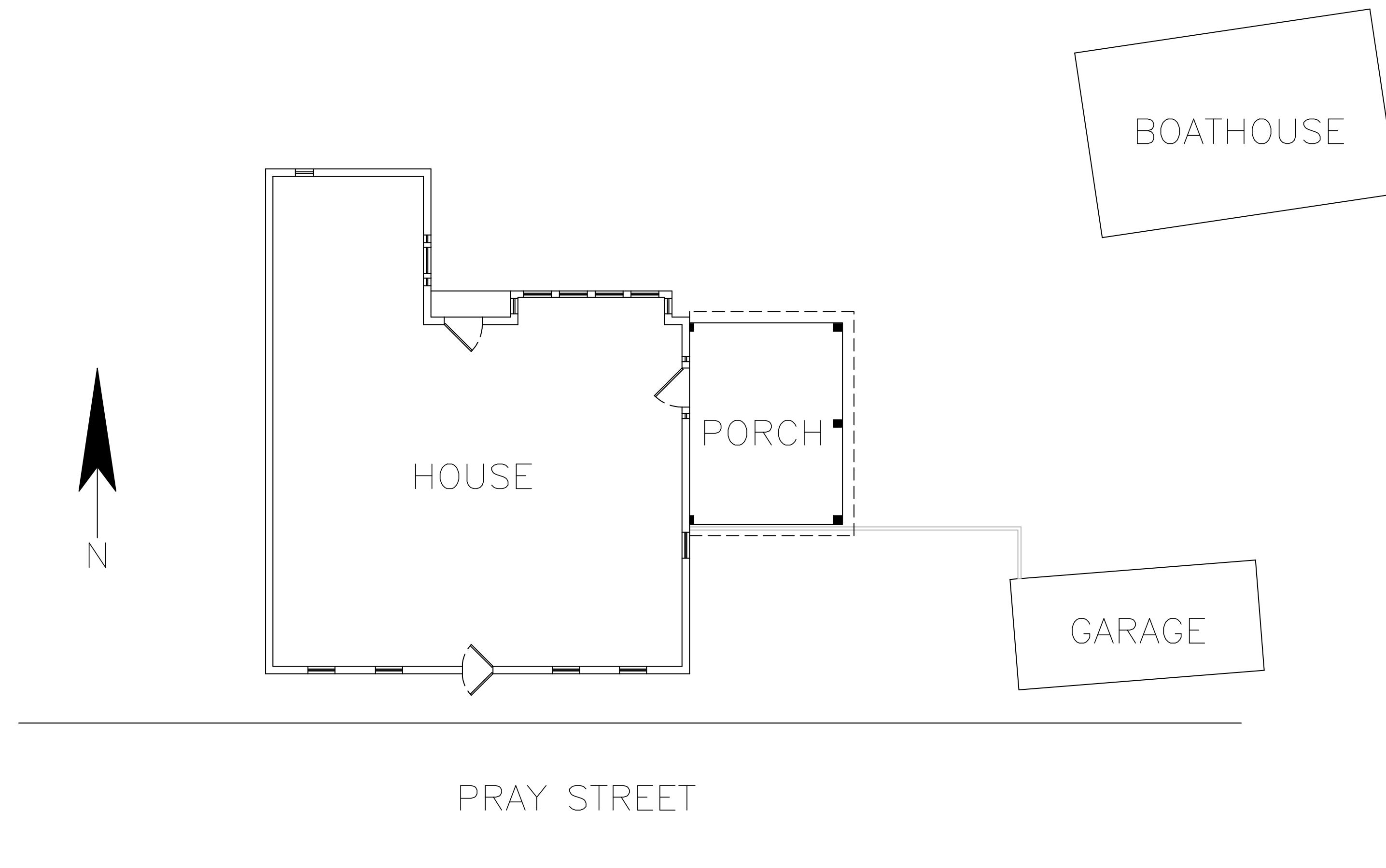
FRONT (SOUTH)



LEFT ALLEY (WEST)



REAR (NORTH)



RIGHT VIEW FROM DOCK (EAST)

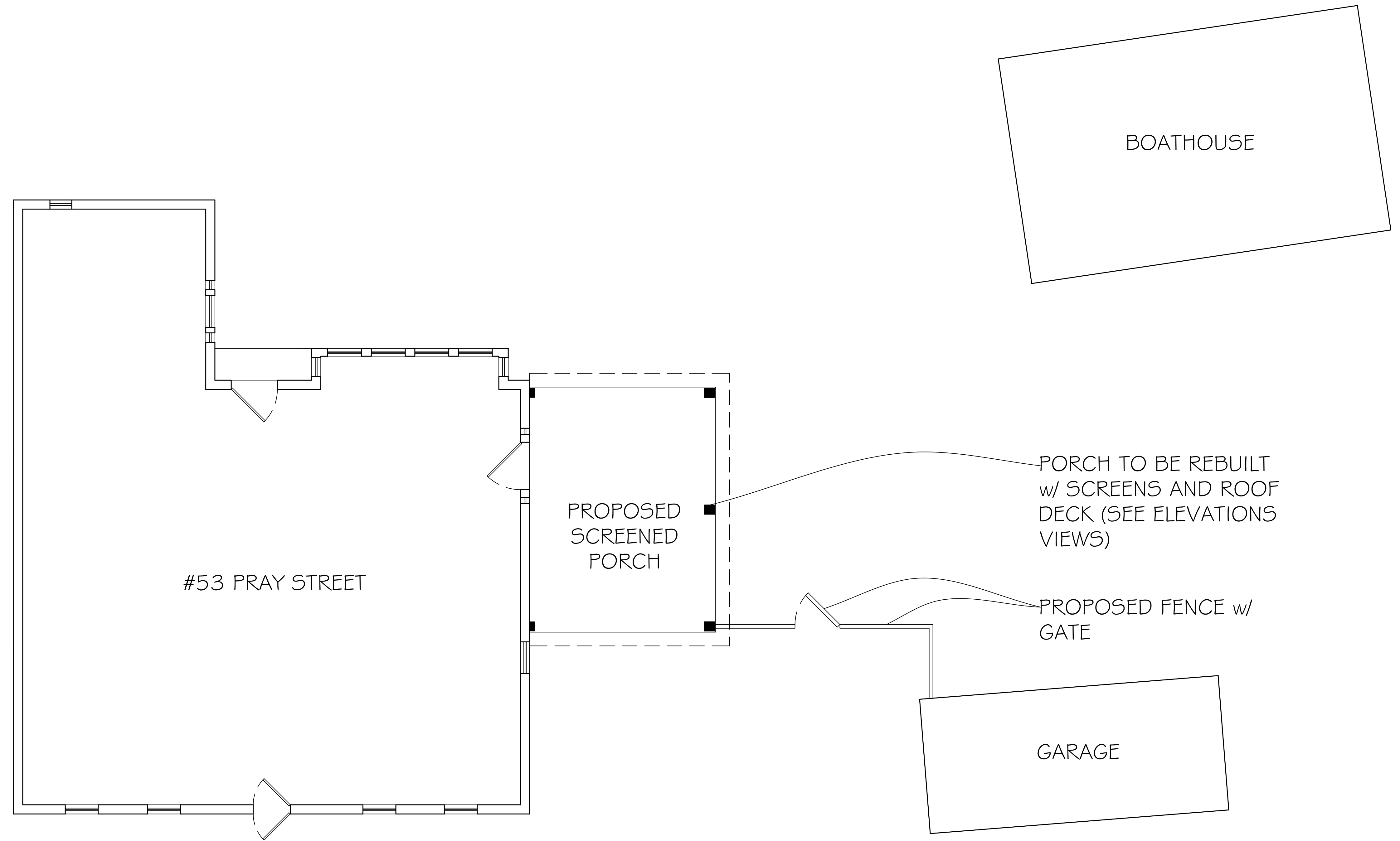


BOAT HOUSE



GARAGE





#53 PRAY STREET

BOATHOUSE

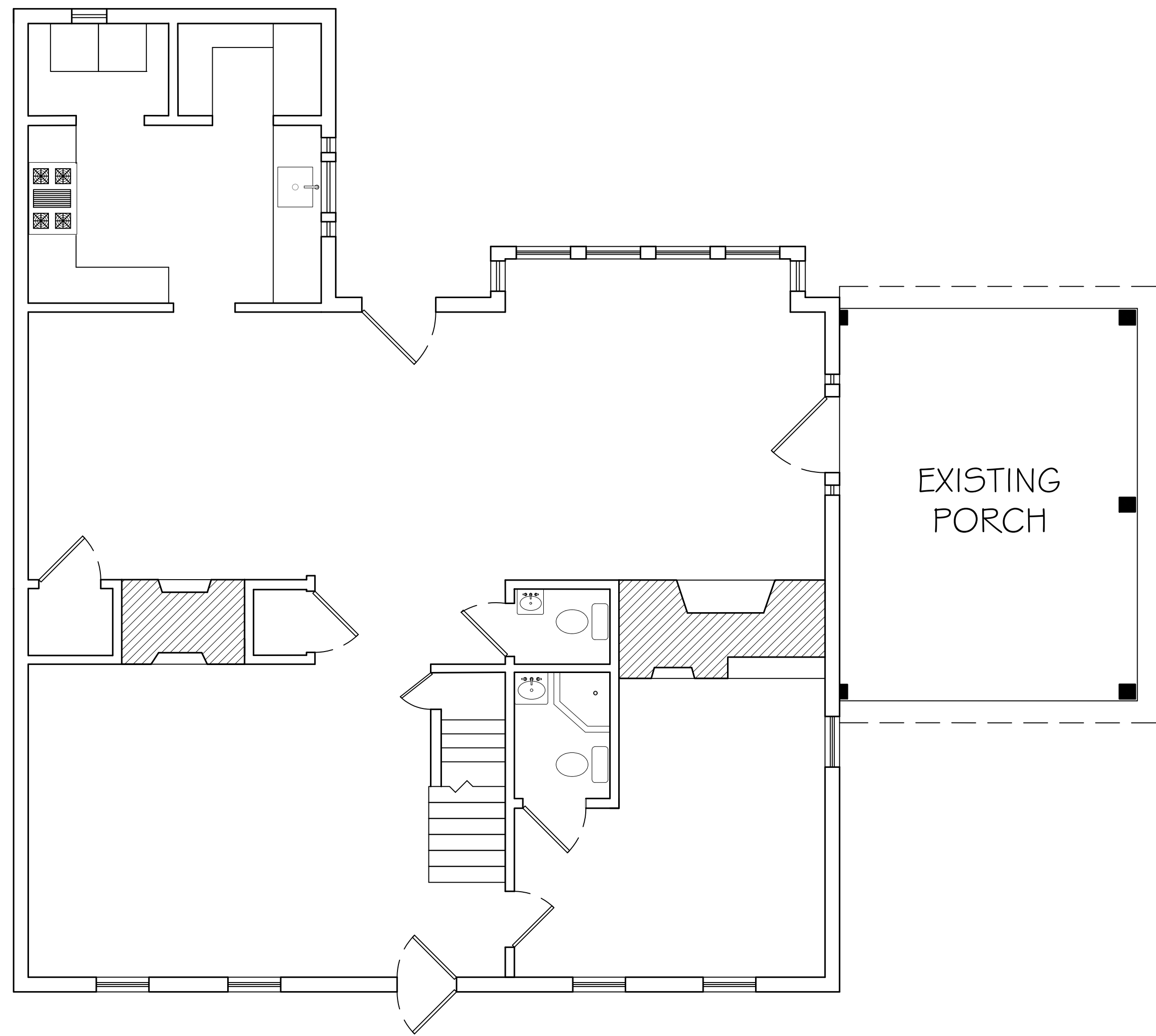
PROPOSED
SCREENED
PORCH

PORCH TO BE REBUILT
w/ SCREENS AND ROOF
DECK (SEE ELEVATIONS
VIEWS)

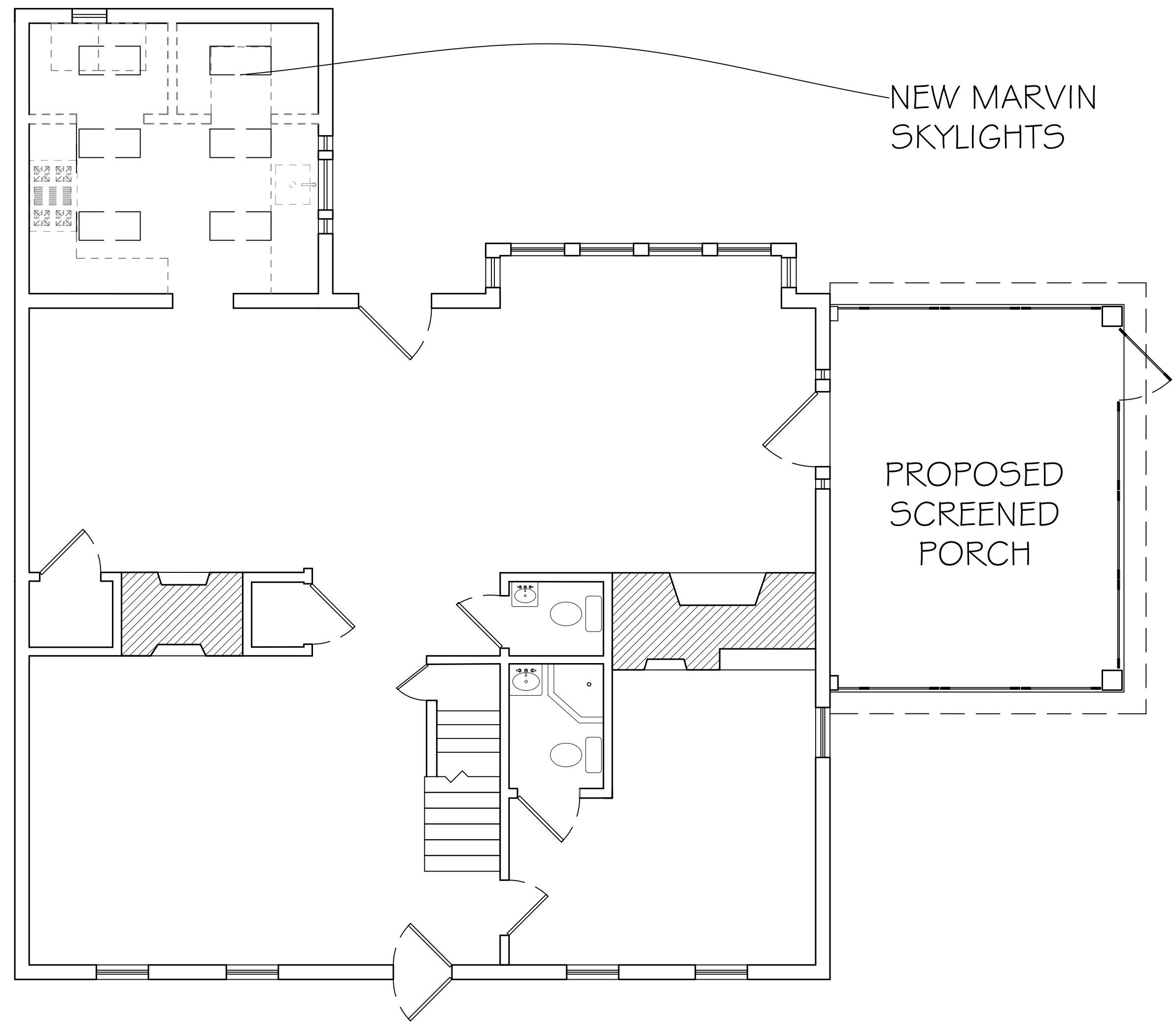
PROPOSED FENCE w/
GATE

GARAGE

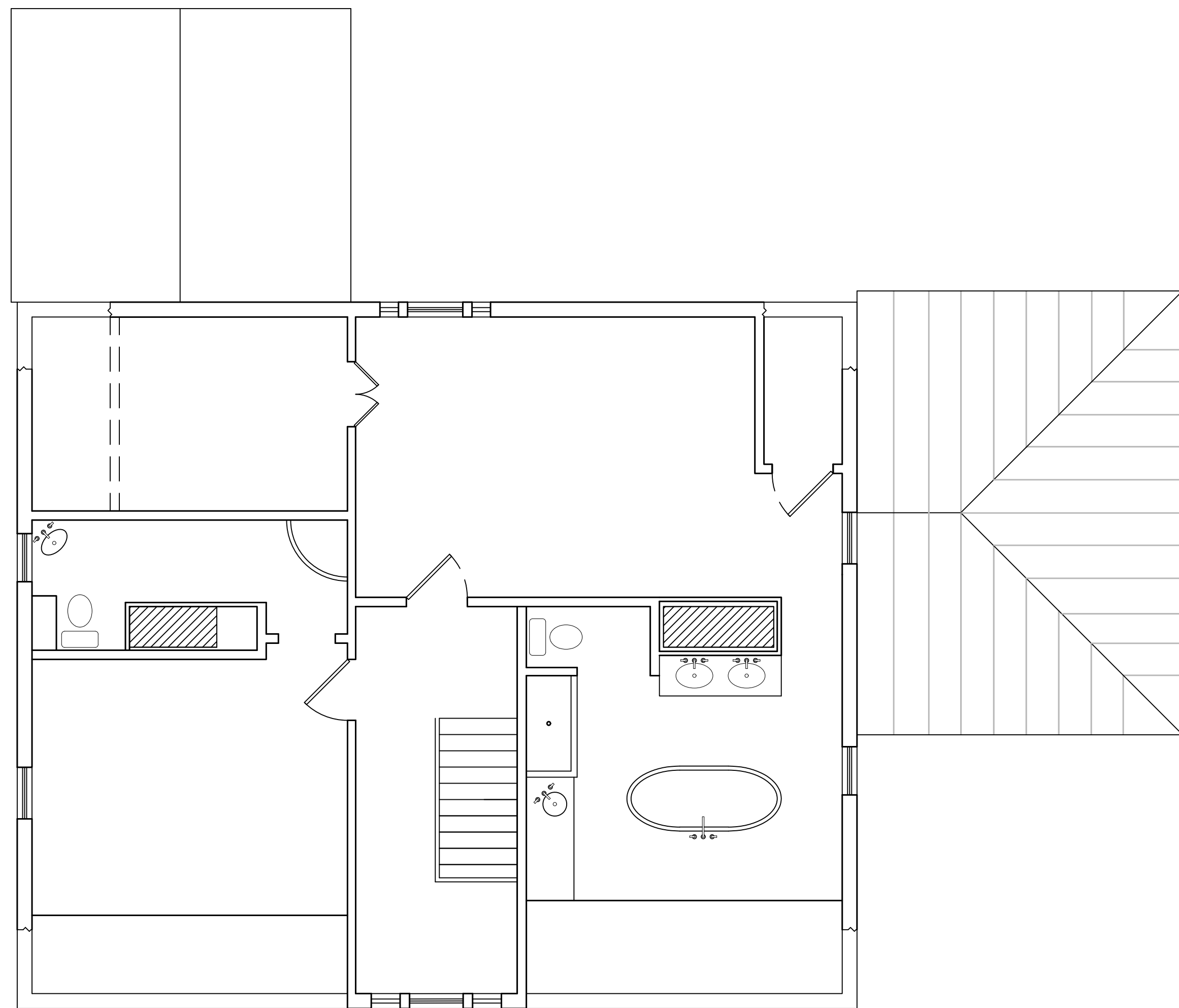
PRAY STREET



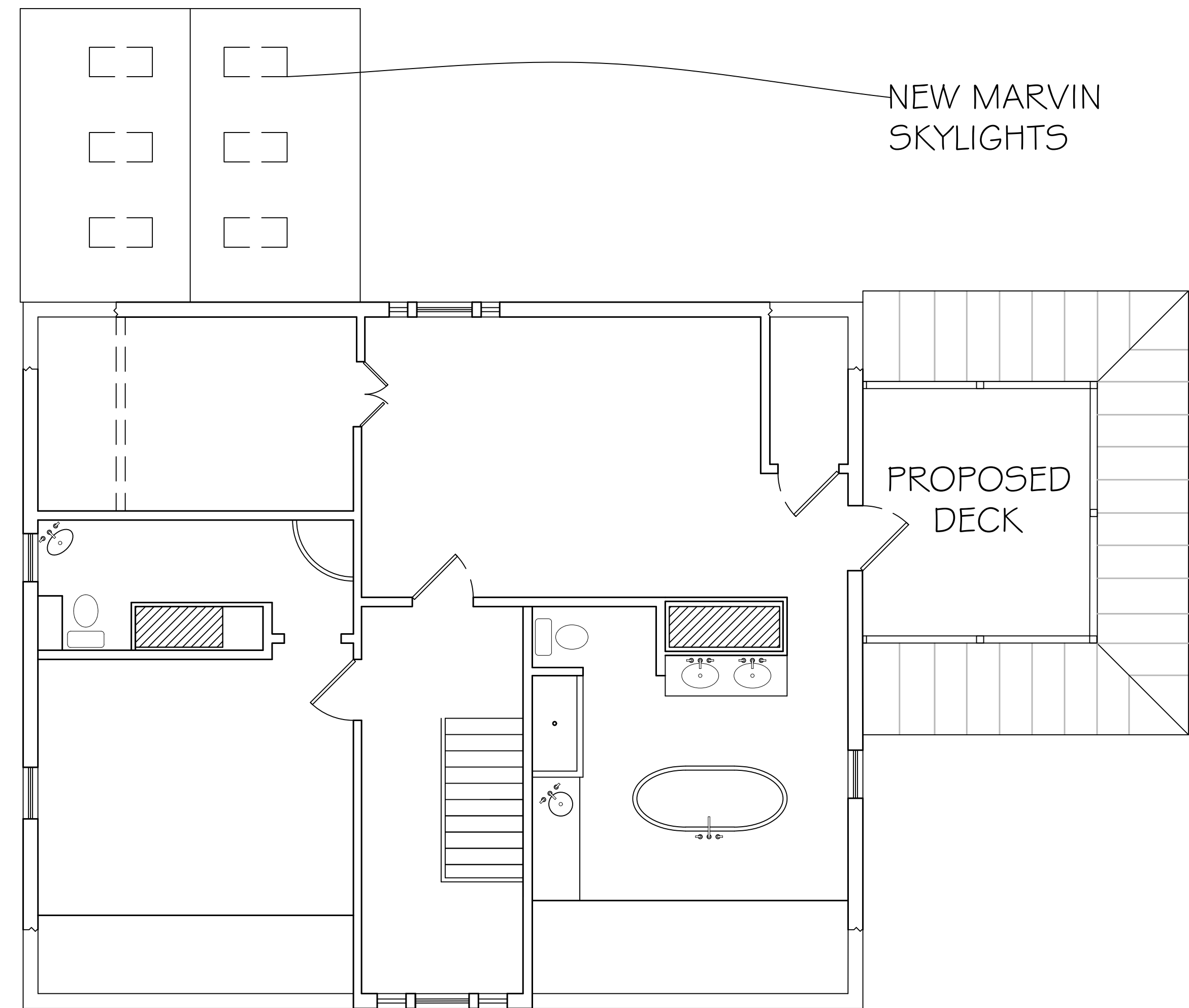
EXISTING FIRST FLOOR



PROPOSED FIRST FLOOR



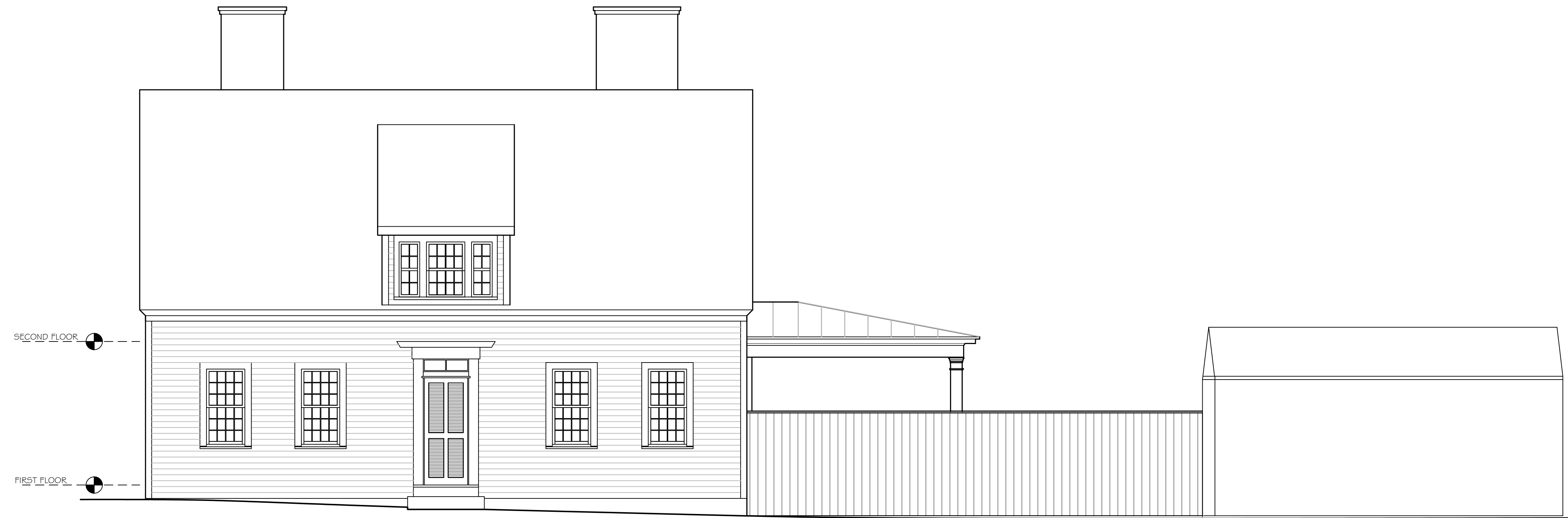
EXISTING SECOND FLOOR



PROPOSED SECOND FLOOR

NEW MARVIN
SKYLIGHTS

PROPOSED
DECK



EXISTING FRONT ELEVATION (SOUTH)

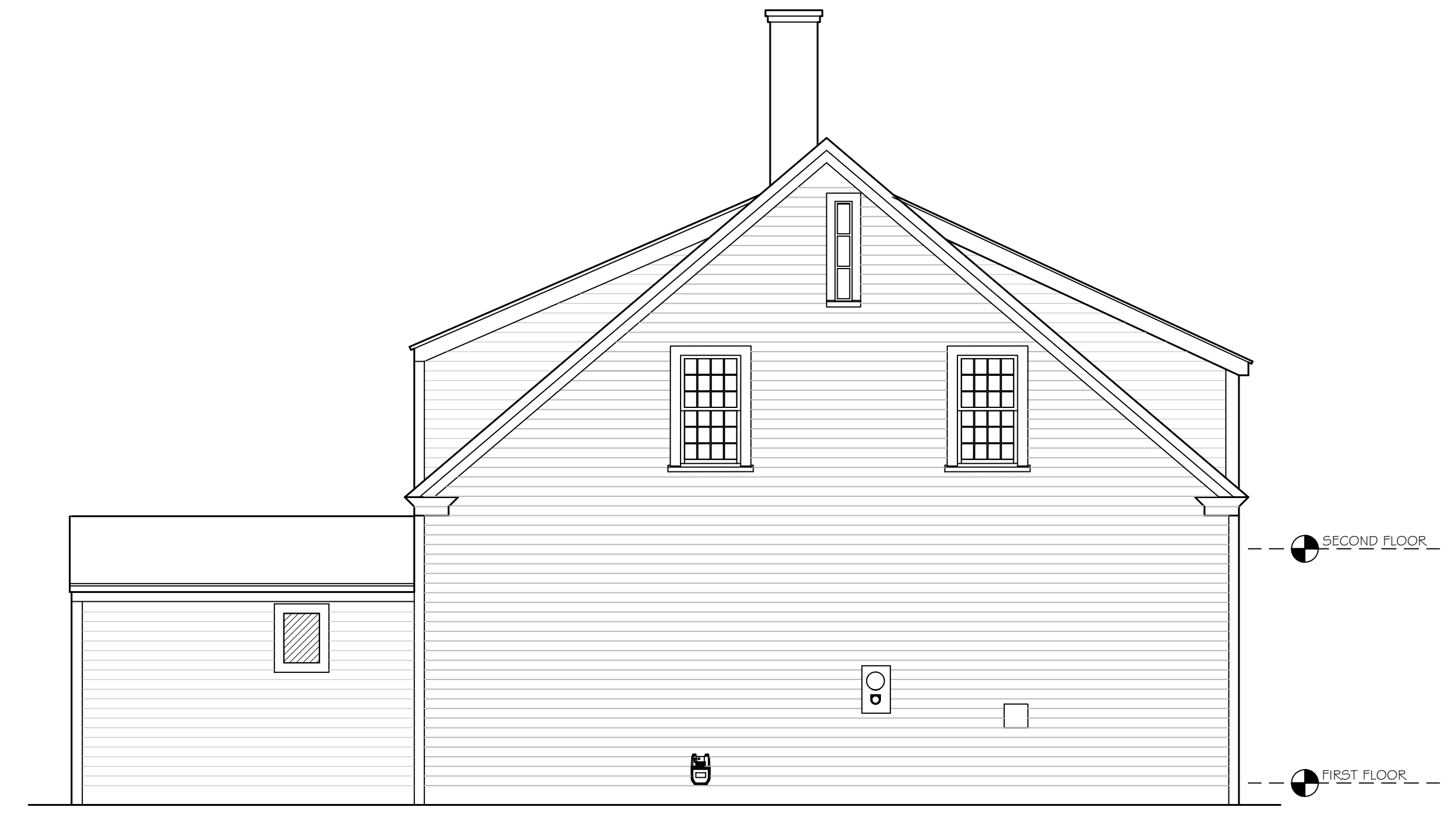


PROPOSED FRONT ELEVATION (SOUTH)

NEW ROOF DECK OVER SCREENED PORCH
 STANDING SEAM ROOF TO MATCH EXISTING
 REBUILD PORCH IN EXISTING FOOTPRINT w/ REMOVEABLE FRAMED SCREEN PANELS
 RELOCATE FENCE BACK 8 1/2" TO TERMINATE AT PORCH POST, ADD GATE



EXISTING RIGHT SIDE ELEVATION (EAST)



EXISTING LEFT SIDE ELEVATION (WEST)



PROPOSED RIGHT SIDE ELEVATION (EAST)



PROPOSED LEFT SIDE ELEVATION (WEST)



EXISTING BACK ELEVATION (NORTH)



PROPOSED BACK ELEVATION (NORTH)