

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details) **

6:30 p.m.

November 06, 2024

AGENDA

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. October 02, 2024
2. October 09, 2024

II. ADMINISTRATIVE APPROVALS

1. 175 State Street
2. 238 Deer Street
3. 138 Gates Street
4. 145 Maplewood Avenue
5. 50 Austin Street
6. 93 Pleasant Street
7. 369 Pleasant Street

III. PUBLIC HEARINGS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Petition of Jane Vanni Meyers, owner, for property located at 195 Washington Street, wherein permission is requested to allow exterior renovations to an existing structure (renovate front entrance and door) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 78 and lies within the General Residence B (GRB) and Historic Districts.

B. Petition of Jeffrey Daniel Berlin, owner, for property located at 38 State Street, Unit #4, wherein permission is requested to allow renovations to an existing structure (new roofing, roof deck, and windows) and new construction to an existing structure (construct new penthouse addition to access roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 10-4 and lies within the Character District 4 (CD4) and Historic Districts.

C. **REQUEST TO POSTPONE**- Petition of Jay Ganesh, LLC, owner, for property located at 201 Islington Street, wherein permission is requested to allow exterior renovations to an existing structure (installation of new siding to cover the existing brick, remove and replace fencing, and associated site improvements) as per plans on file in the Planning Department. Said property is shown on Assessor Map 138 as Lot 33 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

D. **REQUEST TO POSTPONE**- Petition of RGA Investments, LLC, owner, for property located at 342 Islington Street, wherein permission is requested to allow exterior renovations to an existing structure (re-roof the entire structure and replace all roof trim/detailing on the mansard portion of the roof) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 15 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Work Session requested by Wenberry Associates, LLC, owner, for property located at 21 Congress Street, wherein permission is requested to allow new construction to an existing structure (construct roof top penthouse, construct storefronts along Haven Court and modify the Fleet Street façade) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 12 and lies within the Character District 5 (CD-5), Downtown Overlay and Historic Districts.

2. Petition of Katherine Ann Bradford Revocable Trust 2020, owner, for property located at 170-172 Gates Street, wherein permission is requested to allow exterior renovations to an existing structure (rebuild the existing garage, remove 1-story rear ell, relocate right side entry door with a roof covering, replace windows and doors, and siding) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 19 and lies within the General Residence B (GRB) and Historic Districts.

3. Petition of Noble's Island Condominium Association, owner and Marc Schwanbeck, applicant, for property located at 500 Market Street, wherein permission is requested to allow exterior renovations to existing structures (blanket approval for the replacement of the residential solariums) as per plans on file in the Planning Department. Said property is shown on Assessor Map 120 as Lot 2 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

4. Petition of Thomas C. and Martha B. McGraw, owners, for property located at 411 The Hill, Unit #14, wherein permission is requested to allow exterior renovations to an existing structure (replacement of all windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 26 and lies within the Character District 4-L1 (CD4-L1), Downtown Overlay, and Historic Districts.

5. Petition of Islington Street Properties, LLC, owner, for property located at 369-373 Islington Street, wherein permission is requested to allow exterior renovations to an existing structure (replace the siding and windows on the structure) and the installation of HVAC equipment (AC condensers) as per plans on file in the Planning Department. Said property is

shown on Assessor Map as Lot and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

V. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Work Session requested by Kevin Shitan Zeng Revocable Trust of 2017, owner, for property located at 377 Maplewood Avenue, wherein permission is requested to allow the demolition of the rear structure on the lot and the new construction of a detached accessory dwelling unit as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 22 and lies within the General Residence A (GRA) and Historic Districts.

B. **REQUEST TO POSTPONE-** Work Session requested by PNF Trust of 2013, owner, for property located at 266-278 State Street, wherein permission is requested to allow the construction of a new four-story building, as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lots 78, 79, 80 and lies within Character District 4 (CD-4), Downtown Overlay and the Historic Districts.

VI. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by Joan A. Schorsch Revocable Trust of 2014, owner, for property located at 53 Pray Street, wherein permission is requested to allow exterior renovations to an existing structure (rebuild rear porch into a screened porch with roof deck, add skylights to the rear 1-story addition and relocate the existing fence with a new gate) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 40 and lies within the Waterfront Business (WB) and Historic Districts.

VII. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_rAVVT40JQ5i3bO-BdhcQJA

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

October 02, 2024

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, and Alternate Larry Booz

MEMBERS EXCUSED: Dave Adams

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

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Chair Ruedig called the meeting to order at 6:30 p.m. Alternate Larry Booz took a voting seat for the evening because Mr. Adams was excused.

I. ADMINISTRATIVE APPROVALS

1. 31 Market Street

Mr. Booz recused himself and City Council Representative Rich Blalock was not yet present. The item was considered and voted upon separately. The request was for an after-the-fact roof replacement of rubber roofing material to asphalt shingles. Mr. Gilbo said the copper gutter was also replaced and the wooden trim board was replaced by a white PVC material.

*Vice-Chair Doering moved to approve the item, seconded by Dr. Brown. The motion **passed** unanimously, 5-0.*

2. 95 Daniel Street

Mr. Gilbo said the applicant received approval from the Commission for a rear addition but wanted another approval for a small one-story rear addition. The applicant's representative architect Mark Gianinny was present and said the back would have a new wooden door with sidelights, like the door on the front of 99 Daniel Street.

3. 37 Hanover Street

The request was for approval for the installation of a white K-style aluminum gutter system with downspouts. After some discussion, it was decided that the owner had the option to leave the gutters white or paint them red to blend in with the brick.

4. 85 Daniel Street

The request was approval for a minor modification to the rear porch posts and stairway.

5. 11 Meeting House Hill Road

The request was approval for hardscape and landscaping for the rear yard. Mr. Gilbo said the applicant planned to use several different stones and materials to create their backyard and some new stairs as well. He said some of the materials were permeable but there would be some water infiltration available. He said it would also be reviewed by other land boards.

6. 25 Penhallow Street

The request was for approval for the installation of a wall-mounted condenser with a proposed wood screening option. Vice-Chair Doering asked how the screening would be finished. Dr. Brown said he spoke with the owner and that the owner planned to paint the screen.

7. 39 Holmes Court

The request was to replace previously-approved Green Mountain windows with Marvin windows of the same size and to add a rescue balcony on the upper level due to fire code.

8. 491 Marcy Street

Mr. Gilbo said the applicant wanted to remove a non-functioning chimney. Chair Ruedig said the Commission had an explanatory letter describing the chimney and that it seemed that the applicant would rebuild the taller chimney and remove the lower one that had been cut down.

9. 0 Congress Street

The request was to remove the existing green awnings from the former Starbucks café and add the new owner's signage.

DECISION OF THE COMMISSION

There were no stipulations. *Mr. Ryan moved to approve Items 2 through 9 as presented, seconded by Vice-Chair Doering. The motion passed with all in favor, 7-0.*

II. PUBLIC HEARINGS (OLD BUSINESS)

Mr. Booz recused himself from the work session/public hearing.

A. (Work Session/Public Hearing) requested by **Matthew Morton Associates, LLC**, owner, for property located at **87 Market Street**, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 43 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

WORK SESSION

[Timestamp 21:07] Jeff Jones of Maine Coast Builders was present on behalf of the applicant. He said he met with Mr. Wyckoff and Mr. Adams to review how to install the windows on the storefront. Mr. Wyckoff said cast iron beams were found and that the glass frames would be made out of wood and the molding would be duplicated. Mr. Jones said the gutters would be on the front and rear of the building. He said the existing wood gutters on the Ceres Street side were in rough shape and he wanted to replace them with white aluminum ones that could be painted any color, and they wanted to do the same with the gutters on the Market Street elevation. He said the downspouts were gray but that they would paint them white. Mr. Wyckoff asked if the gutters were continuous, and it was further discussed.

There was no public comment. Chair Ruedig closed the work session and opened the public hearing.

SPEAKING TO THE PETITION

Mr. Jones summarized the project that was discussed during the work session. There were no questions from the Commission. Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

Vice-Chair Doering moved to grant the Certificate of Approval for the petition as presented, seconded by Dr. Brown.

Vice-Chair Doering said the project would conserve and enhance property values and would be compatible with the design of surrounding properties.

*The motion **passed** with all in favor, 6-0.*

At this time in the meeting, Chair Ruedig reviewed the requests to postpone.

*Mr. Wyckoff moved to postpone Public Hearing Old Business Petition B for 195 Washington Street, Public Hearing New Business Petition 5 for 342 Islington Street, and New Business Work Sessions B for 377 Maplewood Avenue and D for 266-278 State Street. Vice-Chair Doering seconded. The motion **passed** with all in favor, 7-0.*

B. REQUEST TO POSTPONE - Petition of **Jane Vanni Meyers, owner**, for property located at **195 Washington Street**, wherein permission is requested to allow exterior renovations to an existing structure (renovate front entrance and door) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 78 and lies within the General Residence B (GRB) and Historic Districts.

The petition was postponed.

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Lucille A. Capone Revocable Trust, C/O Patrick K. Capone, owners**, for property located at **18 Ladd Street**, wherein permission is requested to allow exterior renovations to an existing structure (window replacements) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 25 and lies within the Character District 4 (CD4) and Historic Districts.

[Timestamp 33:31] Builder Bob Cook was present on behalf of the applicant and said they wanted to replace the older 1990s windows with updated ones. He said there was a change in the submitted application because the owner wanted to change the windows from Andersen 400 Series ones to Matthews Brothers 4-pane windows with fiberglass on the outside and wood on the inside, proper muntins, and half screens. He said the exterior would be a fiberglass finish like a Marvin or a Pella and that the quality was better than a Marvin or Andersen window. He distributed materials to the Board that showed more detail. Vice-Chair Doering asked if the windows would match the first-floor metal clad ones. Mr. Cook explained that the existing windows had wood infill around them and they was aging, so the owner wanted to use metal to match the first floor. Mr. Ryan said he felt that Matthews Brothers windows were not a better quality than Marvins or Andersens and that he could not support the change. The owner of the building company Lincoln Tetherly was present and said he disagreed. He said Marvin windows had a bigger brand name but failed in the quality control aspect. Mr. Booz said the spec showed a Matthews fiberglass window and he thought the Andersen 400 window had a wore core of Fibrex on the outer sill. Mr. Tetherly said what was shown was probably wrong and that he would send the updated one to Mr. Gilbo.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

Councilor Blalock moved to grant the Certificate of Approval for the petition as presented, seconded by Vice-Chair Doering.

Councilor Blalock said the project would conserve and enhance property values and would be compatible in design with surrounding properties.

Chair Ruedig said the existing windows weren't very attractive, so replacing them with a better product would be an improvement. Mr. Ryan said he was familiar with Matthews Brothers windows and would not want them in a historic structure, especially downtown. He said he didn't think the application was complete because one thing was shown and then a cut sheet was shown at the last minute. He said he could not support it. Chair Ruedig suggested that the applicant provide the actual specifications for the Commission to review and that it be presented at the next week's meeting. The Commission agreed.

*Councilor Blalock moved to **postpone** the application to the October 9 meeting, seconded by Dr. Brown. The motion **passed** with all in favor, 7-0.*

Chair Ruedig recused herself from the following petition, and Vice-Chair Doering assumed her seat as Acting Chair.

2. Petition of City of Portsmouth, owner, and Portsmouth Housing Authority, Applicant, for property located at **1 Junkins Avenue (Connors Cottage)**, wherein permission is requested to allow exterior modifications to an existing structure (construction of an exterior chairlift at the main entrance) as per plans on file in the Planning Department. Said property is shown on Assessor Map 110 as Lot 1 and lies within the Municipal and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 43:48] Project architect Carla Goodknight was present on behalf of the applicant with Mark Lentz of the Portsmouth Housing Authority. She said Mr. Lentz had been working with the Historic Preservation Officer Nadine Miller of the NH Division of Historical Resources and had discussed how to provide access to the Connors Cottage residents at the back entrance. She said they thought about putting a chair lift near the back door but decided to center the ADA lift between the windows, build a walkway between the two, and extend a small roof for icing. She said it would not impact the brick wall. She said the stairs would be done with brick on the sides to match the existing bricks and the railings would be in keeping. She further described it.

Mr. Wyckoff said the project seemed well thought out and was a necessary one. Mr. Ryan said it wasn't an attractive element to stick on a historic building and asked if there could be a nearby ramp to get to the landing. Ms. Goodknight said it would be quite a drop because there were a lot of lower windows. She said it would be a light metal frame that would not touch anything. Mr. Booz asked if there would be a way to have a lift on the right side of the stairs and a higher platform on top. Ms. Goodknight said most of those types of things were interior. She said Ms. Miller wanted to maintain the grand stair and the look, and without significant landscaping, undertaking the ramp would be very intrusive. Dr. Brown asked what the roof was made of. Ms. Goodknight said it was a metal extension of the roof on the unit. Acting Chair Doering asked if the tree in the front of the unit could be kept, and Ms. Goodknight said she thought it could.

Acting Chair Doering opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Acting Chair Doering closed the public hearing.

DECISION OF THE COMMISSION

Mr. Wyckoff moved to grant the Certificate of Approval for the petition as presented, seconded by Councilor Blalock.

Mr. Wyckoff said preservation and integrity were always taken into consideration when the Commission assessed the historical significance of a building, but the proposed design was a handicap-accessible one for the building and he believed that handicap ramps and lifts were able to be placed on historic buildings. He said the project would have compatibility of design with surrounding properties as well as innovative technology.

The motion passed with all in favor, 6-0.

3. Petition of City of Portsmouth, owner, and Unitil, Applicant, for property located at **0 Marcy Street** (Prescott Park Utility Building), wherein permission is requested to allow exterior renovations to an existing structure (replacement windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 104 as Lot 1 and lies within the Municipal and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:00:35] Craig Eaton of Whitehall Project Services was present on behalf of the applicant. He said they were repairing and repainting the wooden trim and gutters and wanted to replace the old windows and doors with something more modern. He said they would replicate what was there except for the front door. He said the new doors would be solid mahogany.

[Timestamp 1:01:44] Dr. Brown asked if the surrounding wood on the existing window was repairable. Mr. Eaton said it was in good shape and if anything needed to be repaired, they would replace it in kind. Dr. Brown asked why vinyl was chosen. Mr. Eaton said it was the Andersen 400 Series aluminum clad. He said the windows would be black inside and out and SDLs and the rest of the trim color would be a historic charcoal color. Mr. Wyckoff asked if the three windows were meant to be opened. Mr. Eaton said they were not, so they wouldn't need screens. Mr. Wyckoff said there were white jamb liners with the windows, so if they were meant to be closed, the applicant would have to get Andersen to provide the proper color jamb liners because the white ones would stand out with black windows. Mr. Eaton said everything ordered would be black, including the jamb liners. Chair Ruedig said the small utility building was historic and asked if the applicant considered getting another set of BROSCO wood single-pane windows. Mr. Eaton said they figured their proposed window would last longer and look better long. It was further discussed. Mr. Ryan agreed with Chair Ruedig that a wood choice would be better. He asked if the door had a custom opening. Mr. Eaton said they had to order a taller door. Dr. Brown said the theater was on the other side of the home and that they did a beautiful job keeping the wood and putting windows in. He said the location was an important one for the town. The fact that the windows on the front were right on the street and could be touched was discussed. Mr. Eaton said the proposed windows had more of a security factor. Chair Ruedig said the window didn't have to be a single pane one and that wood on the exterior would be better than vinyl. A window representative from the audience further explained a vinyl clad exterior window and said a single pane with tempered glass would add security. Vice-Chair Doering said a wood window next to a beautiful mahogany door would be preferable.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to grant the Certificate of Approval for the petition as presented, with the following stipulation:

- 1. The window on Marcy Street would be a wood window and the windows on the other sides could be what was specified in the package.*

Vice-Chair Doering seconded.

Mr. Ryan said the project would be compatible with surrounding properties and would enhance the integrity of the Historic District.

The motion passed with all in favor, 7-0.

4. Petition of **Parkside Condominium Association, owner**, and **Edward Mallon, Applicant**, for property located at **67 State Street**, wherein permission is requested to allow exterior renovations to an existing structure (partial removal of chimneys) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 18 and lies within the Character District 5 (CD5) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:20:22] Architect Mark Gianinny was present on behalf of the applicant, along with his project team. Mr. Gianinny said they wanted to make modifications to the six chimneys that had issues with water infiltration and cracking. He said the intent was to do more deconstructing of the chimneys to determine the extent of the deterioration and that they would then reconstruct them with in-kind materials. He said they proposed a modification to the chimney top and cap and wanted to do other modifications, like install a new rubber membrane in addition to doing repairs on the thin bricks and do a copper chimney cap to match the other copper elements.

[Timestamp 1:25:24] Mr. Booz asked why the applicant didn't want just solid copper instead of an open mesh, since there was nothing functional in the chimneys. Mr. Gianinny said it was an option with the manufacturer. Mr. Ryan said he would want the openings to be shown so that it looked like a chimney with openings. Mr. Wyckoff said he thought it needed to have the ventilation and thought the reverse curve was appropriate. Vice-Chair Doering said it was a good argument for why people should not do faux chimneys. The drainage was further discussed and Mr. Gianinny said he would verify the drainage issue with the manufacturer.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to grant the Certificate of Approval for the petition as presented, seconded by Councilor Blalock.

Mr. Ryan said the project would be compatible with the surrounding architecture and the architecture of the building and would relate to the historical and architectural value of the existing structure.

*The motion **passed** with all in favor, 7-0.*

5. REQUEST TO POSTPONE - Petition of **RGA Investments, LLC, owner**, for property located at **342 Islington Street**, wherein permission is requested to allow exterior renovations to an existing structure (re-roof the entire structure and replace all roof trim/detailing on the mansard portion of the roof) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 15 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

The petition was **postponed**.

6. Petition of **Daisy and Bert Wortel, owners**, for property located at **245 Marcy Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace (29) windows and (3) doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 13 and lies within the General Residence B (GRB) the Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:29:49] Taylor Robideau of Andersen Corporation was present on behalf of the applicant. He said they wanted to replace 29 double hung windows that were in poor shape and inefficient with Andersen's Acclaim Series windows that were all composite materials. He said they were meant to look and feel like real wood and had a painted finish and would match the grill patterns and have the same window style. He said they also wanted to replace three doors. Dr. Brown asked how old the present windows were. Mr. Robideau said they were probably from the late 1980s or early 1990s and done with permits. He said they had zero efficiency and could be causing damage to the house.

[Timestamp 1:33:02] Mr. Robideau discussed the doors. He said the front entry door had a wooden storm door that the owners wanted to keep but that they wanted to replace the entry door itself with a Signet Heritage Series fiberglass door and also wanted to extend the height of the original storm door because it was cut down. Vice-Chair Doering said she saw the wooden door and it was gorgeous. She asked what was wrong with it. Mr. Robideau said the owners wanted an updated and more energy-efficient door. He said the door also had alignment issues. It was further discussed. Mr. Wyckoff suggested excluding the door part of the application. He said the transom above the door could be original and thought the proposed door was inappropriate for the front of the Colonial house on Marcy Street. Mr. Ryan said the front wall was probably

leaning back or forward and asked how a precision square door could be put into that kind of situation. Mr. Robideau said if a house was tilted off center, they would try not to touch the actual framing and would work with what was there. It was further discussed. Mr. Booz said a wooden door could be trimmed but not a fiberglass one, and he thought the opening would have to be modified. Mr. Wyckoff agreed. Chair Ruedig said the replacement doors should be removed from the application. She said the façade was right on the sidewalk and the door was historic, and the Commission would consider a replacement door made fully out of wood. The rear entry door was discussed.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

Vice-Chair Doering moved to grant the Certificate of Approval for the petition as presented for the rear entry door and to exclude the approval of the front door replacement, with the following stipulation:

- 1. Half screens shall be used on the windows.*

Dr. Brown seconded.

Vice-Chair Doering said the project would maintain the special character of the District. She said the building was a contributing building, and keeping it in the manner that it deserved was welcome. She said the project would have compatibility of design with the surrounding properties and would fit in well with the surroundings.

The motion passed with all in favor, 7-0.

IV. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **Wenberry Associates, LLC, owner**, for property located at **21 Congress Street**, wherein permission is requested to allow new construction to an existing structure (construct roof top penthouse, construct storefronts along Haven Court and modify the Fleet Street façade) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 12 and lies within the Character District 5 (CD-5), Downtown Overlay and Historic Districts.

WORK SESSION

[Timestamp 1:50:04] Architect Tracy Kozak was present on behalf of the applicant, along with Marie Bodie of McNabb Properties. Ms. Kozak reviewed the modifications to the back side of One Congress Street and 15 Congress Street. She said on One Congress Street, the back alley between the two parcels would have a stair elevator to connect them. She said they wanted to add more landscaping and greenery along Haven Court on both sides that included a lot of

impervious pavers and plantings that complied with site plan review requirements. She said they wanted to add a planting strip along the ramp adjacent to Gilley's that would be handicap accessible. She said the wall was no longer high enough that it required the picket fence and that it just needed a railing. She said they were showing cantilevered lighting on High and Ladd Streets that continued down Haven Court. Mr. Booz asked what the red 'squiggle' was. Ms. Kozak said it was based on ancient labyrinths and would encourage walking, which she further explained. She discussed the proposed sculptures. She said they had considered having a Newberry sign somewhere and that they wanted to rename Haven Court to Newberry Way. She said they were trying to marry the design of the north elevation on Haven Court to the One Congress Street building. She said they would keep half of the grunge brick and use the demolished brick to fill in the holes. She discussed the bay windows and the materials surrounding them. She showed samples of the materials to the Commission.

[Timestamp 2:15:58] Vice-Chair Doering asked how far out the bays would be. Ms. Kozak discussed the roof plan and said the metal would sit back from the roof by about 6-8 inches, and the glass storefront and the stoop and bench would be recessed in. Vice-Chair Doering said the bay windows would look like they were coming out by three feet but by the doorway, they would look like they were protruding further. Councilor Blalock asked if there were any doors on the Haven Court side. Ms. Kozak said there were four handicap entrances at the corners of the buildings. Vice-Chair Doering asked if there was an entry into the middle of the building. Ms. Kozak said one could access it if one wasn't handicapped. The doors were further discussed. Ms. Kozak discussed the refinements proposed for the Fleet Street elevation.

[Timestamp 2:23:45] Ms. Kozak said the changes on the south elevation were the materials of the metal to match the other side. She said the Congress Street elevation included narrowing the width of the windows, adjusting the vertical spacing of the windows to allow more brick between the second and third floors, and raising the cornice to align with the height of the historic cornice. She said they also wanted to rebuild the sign band in a more delicate manner. Chair Ruedig asked if there was anything behind the sign panel, like granite. Ms. Kozak said it wasn't aligned with the floor behind it, so she thought it was just a wall, and the second level was high. She said they lowered the iron balconies by four inches but couldn't do anything more than that. It was further discussed. Mr. Wyckoff said the Commission received comments from the public that included a few from Elizabeth Bratter who mentioned that the sign band looked very modern. He asked if the sign band would be changed. Ms. Kozak said it would and that she would fix the rendering. The sign band was further discussed.

[Timestamp 2:31:27] Mr. Ryan said he liked 80 percent of the project but when it came to the Newberry Building and the alleyway, he said they were dealing with an existing building and thought that more of the existing context could be preserved. He said the Newberry sign should remain where it was and thought the whole area needed to be more honored and shouldn't be obliterated with a new face put on it. He said the sign had an iconic quality and was part of the language of Portsmouth. He said some of the art work on Fleet Street were huge gestures and not very appealing, including the big squiggle that looked like a question mark. He said it was out of scale and related to nothing in Portsmouth. Councilor Blalock said the bas relief plaques on the side of the parking garage would be great for people to look at. He said the alleyway had never been a pleasant spot and that he was in support of making it so that people could enjoy it. He said

the Newberry sign could be included vertically. Mr. Booz said the coppers should be consistent. He agreed that the squiggle looked out of place and could be something that was seacoast-appropriate, and he wanted to see some rendering of the Newberry sign.

[Timestamp 2:38:58] Dr. Brown asked if the Newberry sign could go along the cornice of Fleet Street. Ms. Kozak said they would look at options. Vice-Chair Doering said she still had a problem with the bays on the Haven Court façade. She said it was like the architect was changing the language of the building outside along with the inside. She thought it was going too far, from a preservationist's point of view. She suggested taking Fleet Street and turning the corner to continue the language of the outside of the building from when it was built. Councilor Blalock said he didn't want to preserve the history of the alleyway and thought activating it was the right thing to do. Mr. Ryan said he wanted the building to be honored, not the alley, and the building was part of the context. It was further discussed.

[Timestamp 2:46:01] Chair Ruedig said the project team kept adding more details, textures, and colors, but she thought less was more on a historic building. She said it was an appealing design with quality materials but was such a contrast to what was there now. She suggested that some of the refinements be simplified. Dr. Brown said the back of the building was the part that people would not see much of and thought the applicant had the right to develop it the way they were doing. He said the refinements were needed on the back alley. Mr. Booz said the project just needed some tweaking. Mr. Wyckoff agreed that the alleyway needed refinement and that he didn't have a problem with anything other than the sign bracket on Congress Street. Ms. Kozak said they would continue to refine the building. She said she wanted to return for a public hearing at the November meeting. Mr. Wyckoff asked if the Newberry sign could be mounted on the roof as a sign. Ms. Kozak said they would look at options. It was further discussed.

There was no public comment.

DECISION OF THE COMMISSION

Vice-Chair Doering moved to close the work session, seconded by Councilor Blalock. The motion passed with all in favor, 7-0.

B. REQUEST TO POSTPONE - Work Session requested by **Kevin Shitan Zeng Revocable Trust of 2017, owner**, for property located at **377 Maplewood Avenue**, wherein permission is requested to allow the demolition of the rear structure on the lot and the new construction of a detached accessory dwelling unit as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 22 and lies within the General Residence A (GRA) and Historic Districts.

The work session was **postponed**.

C. REQUEST TO POSTPONE - Work Session requested by **PNF Trust of 2013, owner**, for property located at **266-278 State Street**, wherein permission is requested to allow the new construction of a four-story building, as per plans on file in the Planning Department. Said

property is shown on Assessor Map 107 as Lots 78, 79, 80 and lies within Character District 4 (CD-4), Downtown Overlay and the Historic Districts.

The work session was **postponed**.

Other Discussion

Chair Ruedig said she sent out a memo about the guidelines and asked the Commission to review it. She said Mr. Adams discovered that the reveal on a side of the 491 Marcy Street building was 2-1/2 inches and was surprised that the information was lacking at the meeting. She said the Commission had to make sure that they had all information when they visited a site. It was further discussed. Councilor Blalock said redefining the maps for Middle Street lots would be a good thing, noting that a resident was building a new home on Orchard Street that was not included in the Historic District because of the old lots. Chair Ruedig said it would be a good time to work with the Planning Department to get it redefined. She said the new guidelines could be discussed at the November meeting.

V. ADJOURNMENT

The meeting adjourned at 9:30 p.m.

Submitted,

Joann Breault
HDC Meeting Minute Taker

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

October 09, 2024

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, and Dave Adams

MEMBERS EXCUSED: Alternate Larry Booz

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

.....

Chair Ruedig called the meeting to order at 6:30 p.m. She said the petition for Public Hearings, New Business 38 State Street, Unit #4, was requested to be postponed by the applicant.

*Vice-Chair Doering moved to **postpone** the petition to the November 6 meeting, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

I. APPROVAL OF MINUTES

1. September 04, 2024

Vice-Chair Doering asked that Public Hearings Old Business Item B, 142 State Street, be clarified as to what color asphalt shingles the applicant wanted. The sentence was amended by deleting the reference to the white color, and the sentence now reads: "Mr. Richardson said he would use the Colonial Slate color."

*Mr. Adams moved to **approve** the September 4 minutes as amended, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

2. September 11, 2024

Mr. Ryan recused himself from the vote.

*Dr. Brown moved to **approve** the September 11 minutes as submitted, seconded by Councilor Blalock. The motion **passed** by a vote of 6-0, with Mr. Ryan recused.*

II. ADMINISTRATIVE APPROVALS

1. 98 Court Street, Unit #2

The request was to install an aluminum K-style gutter and downspout system on the rear and side of the structure to match the existing ones on the building. The applicant was present and explained where the downspouts would run.

2. 175 State Street

Mr. Gilbo said the applicant wanted to recreate an original shutter that was discovered on his part of the building and install the shutters on all the windows. Mr. Wyckoff said there was no information about the hardware. Doctor Brown said the shutters would have to be put in the brick. Mr. Adams said he was also concerned about the hardware. Mr. Gilbo said he would ask the applicant for more detail about how the shutters would be tied to the building and what the fasteners would be. Mr. Ryan said there was no mention of wood for the shutters and wanted clarification that they would not be plastic. The Commission decided to postpone the item to the November 6 meeting.

3. 72 Islington Street

Mr. Adams recused himself from the item. Mr. Gilbo said the request was a replacement in kind, noting that the project was approved two years before but the applicant wanted to recreate and match everything and wanted to change the current entry roof material to copper. The applicant was present and showed the Commission a photo of the damaged roof.

*Dr. Brown moved to **approve** the request as presented, seconded by Councilor Blalock. The motion **passed** by a vote of 6-0, with Mr. Adams recused.*

4. 148 Fleet Street

Mr. Gilbo said the applicant provided additional information for the project as requested, a rendering showing where the four vents would go on the Vaughan Mall street side and the six vents on the Fleet Street side. He said the applicant provided two vent options, 1) a square projection one and 2) a smaller, flush-mounted rounded one. Chair Ruedig said the smaller option would be best, and it was further discussed [timestamp 16:51]. It was agreed that the rounded vent option was preferred because it was smaller and protruded less.

Stipulation: The smaller vent with the rounded option (Option 2) shall be used.

5. 172 Northwest Street

The request was to replace the remaining windows on the property with Andersen 400 Woodwright windows to match the ones on the front. The applicant Larry Booz was present and said there was a total of 23 windows split into different groups that needed replacing. He said the windows were rotted and said some windows were pre-1917 and the others were circa 1940s. He said they were all single pane 2/2 windows and that he rebuilt the window sill, frames, and molding. Chair Ruedig asked if the front of the house already had the Andersen 400 Series Woodwright windows, and Mr. Booz agreed.

Stipulation: Half screens shall be used.

At this point in the meeting, Chair Ruedig asked for a vote on the postponement of Item 2, 175 State Street.

*Vice-Chair Doering moved to **postpone** Item 2, 175 State Street, to the November 6 meeting, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

*Dr. Brown moved to **approve** Items 1, 2, and 5 with their respective stipulations. Mr. Ryan seconded. The motion **passed** unanimously, 7-0.*

III. CERTIFICATE OF APPROVAL - EXTENSION REQUESTS

1. Petition of **Stone Creek Realty, LLC, owner**, for property located at **53 Green Street**, wherein permission is requested for a one-year extension of the Certificate of Approval originally granted on July 14, 2021 to allow the demolition of the existing structure and the new construction of a 3-5 story mixed-use building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 2 and lies within the Character District 5 (CD5) and Historic Districts.

Mr. Gilbo said the former approval for the project was stayed throughout the court process, so it was technically the first time the Commission had to extend it. Mr. Wyckoff said it was important to understand that as soon as it was approved, it went into Superior Court and years went by, but the plan had not changed.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the request for extension, seconded by Councilor Blalock.*

Mr. Ryan said it was a significant project and the applicant and Commission put a lot of work into it. He said it was a good project and worthy of the original decision the Commission made.

*The motion **passed** by a vote of 6-1, with Vice-Chair voting in opposition to the motion.*

2. Petition of **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC**, owners, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested for a one-year extension of the Certificate of Approval originally granted on January 04, 2023 to allow the construction of a 5 story mixed-use building and a 5 story hotel as per plans on file in the Planning Department. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lie within the Character District 4 (CD4) and Historic Districts.

Chair Ruedig said the request was for a one-year extension was the same situation as the previous item. Mr. Ryan said that, like the previous item, the Commission and the applicant worked hard on the petition.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the request for extension, seconded by Councilor Blalock. The motion **passed** by a vote of 6-1, with Vice-Chair Doering voting in opposition to the motion.*

Vice-Chair Doering explained that she was voting in opposition to the two extension requests because she originally voted against both projects.

IV. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **Lucille A. Capone Revocable Trust, C/O Patrick K. Capone, owners**, for property located at **18 Ladd Street**, wherein permission is requested to allow exterior renovations to an existing structure (window replacements) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 25 and lies within the Character District 4 (CD4) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 32:12] The project builder Lincoln Tetherly was present on behalf of the applicant. He said, based on the Commission's recommendations at the previous meeting, that they decided to use the Marvin Elevate windows instead of the Matthews Brothers windows and that the 2/2 windows would have a bronze exterior, pine interior and half screens. He said 13 windows would go in the second and third stories and the first story already had replacement windows. He said they would match the existing window frames with a sheet stock metal material.

The Commission had no questions. Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR, AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, seconded by Councilor Blalock.*

Mr. Ryan said he was glad the applicant chose a much better window than the previously-proposed one. He said the project would preserve the integrity of the District and would be consistent with the special and defining character of the surrounding properties.

*The motion **passed** unanimously, 7-0.*

V. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Debra S. Anthony Revocable Trust, owner**, for property located at **93 State Street**, wherein permission is requested to allow new construction to an existing structure

(construct new rear addition) and renovations to the existing structure as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 20 and lies within the Character District 4 (CD4) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 35:03] The project architect Cristina Johnson was present on behalf of the applicant. She said they made some changes based on the Commission's recommendations. She said they decided that the kitchen chimney would not be removed but would be rebuilt with the brick veneer at the top. She said the unsafe chimney on the left side would be brought down to the roof and would be rebuilt, and the same would be done for the dining room chimney. She clarified that all three chimneys would have brick, but the living room chimney would remain old bricks and would be repointed and the other two chimneys would have the brick veneer at the top. She said they decided to replace the brick wall on the courtyard side with brick veneer on the outside. She said they had to move an egress window further down on Chapel Street due to some interior changes, and they no longer needed the vent on State Street. Regarding the tree on State Street that the Commission had wanted more information on, she said she had a letter from an arborist recommending that the grade be raised by 6-8 inches so that the tree's health would not be affected and that care be taken when removing the patio so the tree's roots weren't damaged.

[Timestamp 40:47] Mr. Adams asked why the applicant wanted to replace the transom lights over the doors on Chapel and State Streets. Ms. Johnson said they were replacing them at the same time as the doors. Mr. Adams said the lights seemed to be original elements to the doors and doorways, so he was skeptical as to what level of preservation was being done. Mr. Wyckoff agreed. Ms. Johnson asked if they could reclaim the existing glass and re-use it in the new windows. Mr. Wyckoff said it wouldn't work because the window framework was over 200 years old. Chair Ruedig asked why the applicant wanted to replace the beautiful old wood door, noting that it was one of the house's character-defining features. The owner called in and said he thought the new doors were preferable. The projector contractor was also present and said they wanted to preserve the same look in a new frame that would hold up. It was further discussed.

Mr. Wyckoff suggested pulling the two doors out of the application so that a few Commissioners could assess whether the doors were salvageable. Faux chimneys were further discussed. Mr. Ryan said he agreed about the concern regarding the front doors, but he thought the addition's scale and massing were done well with a high standard throughout. He said the applicant should focus on restoring the front door instead of replicating it.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Wyckoff moved to **grant** the Certificate of Approval for the application as presented, with the exception of the two doors, the one on State Street and the one on Chapel Street. Mr. Ryan seconded the motion.*

Mr. Wyckoff said the project would preserve the integrity of the District and would conserve and enhance the surrounding property values, and the addition would be consistent with the special and defining character of surrounding properties.

Vice-Chair Doering suggested that the applicant place any interior items, like architectural features, moldings, and so on, into places where people could by them and re-use them.

*The motion **passed** unanimously, 7-0.*

2. REQUEST TO POSTPONE- Petition of **Jeffrey Daniel Berlin, owner**, for property located at **38 State Street, Unit #4**, wherein permission is requested to allow renovations to an existing structure (new roofing, roof deck, and windows) and new construction to an existing structure (construct new penthouse addition to access roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 10-4 and lies within the Character District 4 (CD4) and Historic Districts.

DECISION OF THE COMMISSION

The petition was **postponed** to the November 6 meeting.

3. Petition of **Jay Ganesh, LLC, owner**, for property located at **201 Islington Street**, wherein permission is requested to allow exterior renovations to an existing structure (installation of new siding to cover the existing brick, remove and replace fencing, and associated site improvements) as per plans on file in the Planning Department. Said property is shown on Assessor Map 138 as Lot 33 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 53:33] The owner/applicant Jay Ganesh was present via Zoom to review the petition. He said he wanted to use composite material for the siding on Mobile Mart and put in new fencing. He said he also wanted to do parking and walkway improvements.

Chair Ruedig said the Commission had no information about what kind of fence the applicant wanted. Mr. Ganesh said it could be wood or plastic. Vice-Chair Doering said she didn't feel that the application was complete because there was no information on the materials for the siding or fence, and she didn't see how the proposed change reflected the character of the District, so she was hesitant to go too far with the petition. Dr. Brown agreed, noting that the photos showed that the band would be much wider and that the Commission needed more details. Mr. Adams said it looked like the banner's size would be doubled and he didn't know how the roof would work. He suggested postponing the petition to another meeting and opening it as a work session. Mr. Ryan said the submitted rendering was foreign to anything he would consider historic, and that the

applicant had to be more sensitive about the area they were in and what was proposed for the front façade. Mr. Wyckoff agreed. He said there was nothing wrong with the bricks and that they were more appropriate in the Historic District than white metal siding. Chair Ruedig summarized that the Commission would prefer to see the brick remain and would be happy to talk further about any direction the applicant wanted to go in if the applicant felt that the building had to be modernized or updated, but it had to be considered within the neighboring buildings and the more historic materials surrounding it.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **postpone** the petition to the November 6 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

[Timestamp 1:02:10] At this point in the meeting, Chair Ruedig asked if anyone had comments about the guideline updates. Vice-Chair Doering said she read about what was done for Bethlehem, PA and thought it covered a lot of issues and points raised in many discussions the Commission had about solar panels and other sustainability within the District. She said it was a good starting point and could be adapted for their own specific conditions and situations. It was further discussed. Vice-Chair Doering said there were a few issues that had come up over the past years that could be improved in the guidelines, like the term ‘in kind’ related to materials and dimensions that wasn’t understood by some people. She said there was no explanation about the repercussions if someone did not adhere to what was laid out in an approval, and that warning could help prevent people from being a little loose. She said the potential negative effect of using modern materials wasn’t discussed in relation to successful vs. unsuccessful materials. She said PVC and AZEK had been around for a while and worked for certain applications, so they should be included in the guidelines. She said other things could be included that would allow contractors to choose their materials wisely. Chair Ruedig said the Commission would work with the Planning Department and speak to the consultant who wrote the sustainability chapter for Bethlehem and that she would send the information out again to the Commission. She said an update in terms of the timeline would be discussed at the November 6 meeting and that the next consultant hired would do a presentation to the Commission.

VI. ADJOURNMENT

The meeting adjourned at 7:40 p.m.

Submitted,

Joann Breault
HDC Minutes Taker

HDC

ADMINISTRATIVE APPROVALS

November 06, 2024

- | | | |
|----|----------------------|-----------------------|
| 1. | 175 State Street | -Recommended Approval |
| 2. | 238 Deer Street | -Recommended Approval |
| 3. | 138 Gates Street | -Recommended Approval |
| 4. | 145 Maplewood Avenue | -Recommended Approval |
| 5. | 50 Austin Street | -Recommended Approval |
| 6. | 93 Pleasant Street | -Recommended Approval |
| 7. | 369 Pleasant Street | -Recommended Approval |

1. 175 State Street

-Recommended Approval

Background: The applicant is seeking approval for the recreation and installation of shutters (to match a shutter found in the basement).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

175 STATE STREET | PORTSMOUTH, NH

FRONT:



175 STATE STREET | PORTSMOUTH, NH

BACK



175 STATE STREET | PORTSMOUTH, NH

SIDE



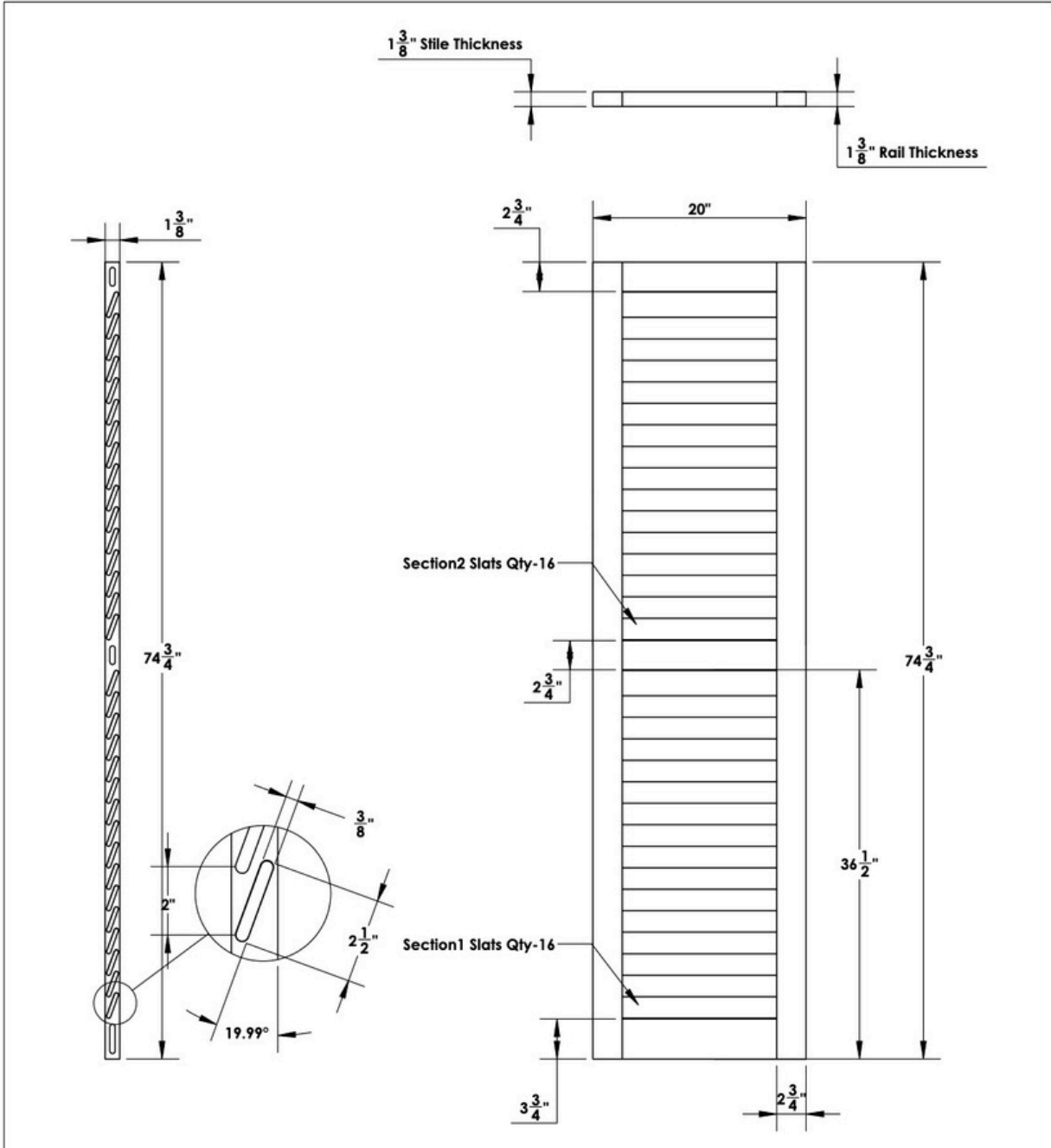
175 STATE STREET | PORTSMOUTH, NH

SHUTTER



175 STATE STREET | PORTSMOUTH, NH

SHUTTER



Louver Type: Traditional DownSide 2.5"X0.375"

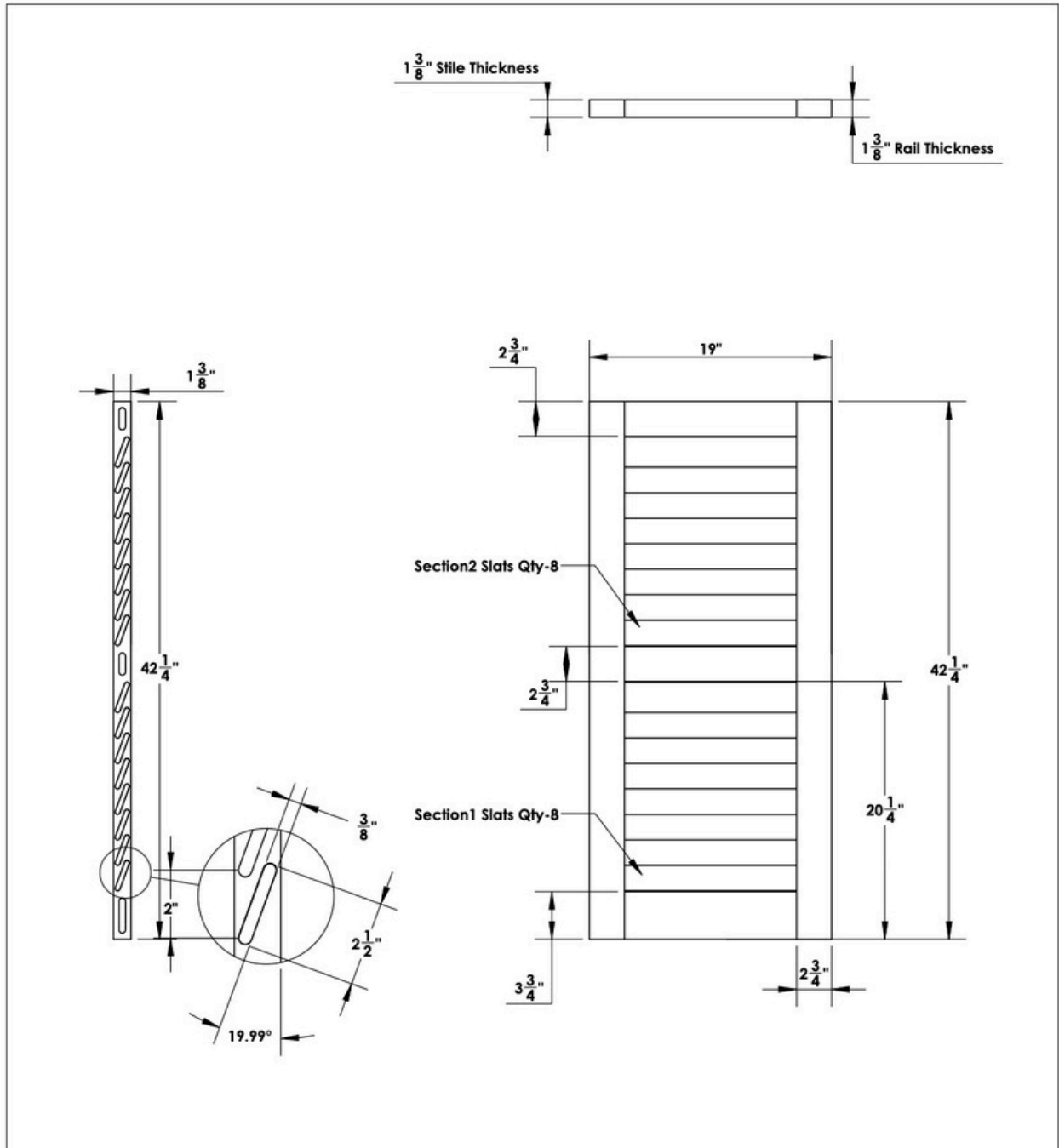


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Quote Date:	9/16/2024
Quote/Order Number:	Fixed Louver 340604-line10
Approval Signature:	
Order Date:	

175 STATE STREET | PORTSMOUTH, NH

SHUTTER



Louver Type: Traditional DownSide 2.5"X0.375"



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DO NOT SCALE DRAWING SHEET 1 OF 1 SCALE: 1:12

Quote Date:	9/16/2024
Quote/Order Number:	Fixed Louver 340604-line20
Approval Signature:	
Order Date:	



Material & Tiebacks: The material is, of course, going to be wood and our plan for the tiebacks was to do a reproduction of a period-appropriate rat tail. Is that enough information for administrative approval to proceed?

There seemed to be some confusion from one of the members about the shutter hinges, with his saying there was no evidence of hinges. To provide more detail, there are the original hinges on the windows, as shown in this photo above.

2. 238 Deer Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (the applicant has had to install condenser units on 18 inch snow stands and increase the distance between the units per code).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

238 DEER STREET: MIXED-USE BUILDING

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL -
NOVEMBER 2024 PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION (ZONING BOARD OF ADJUSTMENT APPROVAL 09/28/2021,
HISTORIC DISTRICT COMMISSION APPROVAL 11/10/2021, PLANNING BOARD APPROVAL
03/17/2022):

- PROPOSED ALTERATIONS AND ADDITIONS FROM PREVIOUSLY APPROVED APPLICATION ON 11/10/2021 AND ADMINISTRATIVE APPROVAL ON 07/06/2022, 02/13/2024, 06/05/2024 AND 08/07/2024:
 - THE PREVIOUSLY APPROVED CONDENSERS AT THE REAR SERVICE DECK HAVE BEEN PLACED ON APPROXIMATELY 18" +/- SNOW STANDS TO AVOID SNOW AFFECTING THE CONDENSER UNITS PERFORMANCE. THESE SNOW STANDS ARE BEING REQUIRED BY CODE ENFORCEMENT AND THE MANUFACTURER. THESE CONDENSERS HAVE ALSO BEEN SPACED OUT MORE THAN PREVIOUSLY DEPICTED TO MEET SELECTED MANUFACTURER CLEARANCE REQUIREMENTS.



SHEET LIST - HDC	
Sheet Number	Sheet Name
A1	PUBLIC WALKWAY ELEVATION
PA-A3	PREVIOUSLY APPROVED PUBLIC WALKWAY ELEVATION
A2	ROOF PLAN AND PICTURES

PA: PREVIOUSLY APPROVED SHEET



238 DEER STREET
PORTSMOUTH, NH 03801

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE
APPROVAL - NOVEMBER 2024

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

C

10/18/2024

McHA: RD / MG

NOT TO SCALE



1 EAST ELEVATION (PUBLIC WALKWAY)
1/8" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	PUBLIC WALKWAY ELEVATION HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - NOVEMBER 2024	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A1	10/18/2024
				McHA: RD / MG
				Scale: 1/8" = 1'-0"

ALL 4TH FLOOR WINDOWS AND DOORS ARE TO BE PICTURE FRAMED TRIMED WITH FLATSTOCK TO MATCH SIZE AND PROFILE OF BOARD AND BATTEN SIDING BATTENS.

2 FUTURE CONDENSERS FOR 1ST FLOOR COMMERCIAL TENANT TO BE LOCATED BEHIND THE ELEVATOR OVERRUN, SIZE TBD.

RELOCATED MECHANICAL LOUVERS



46-64
MAPLEWOOD

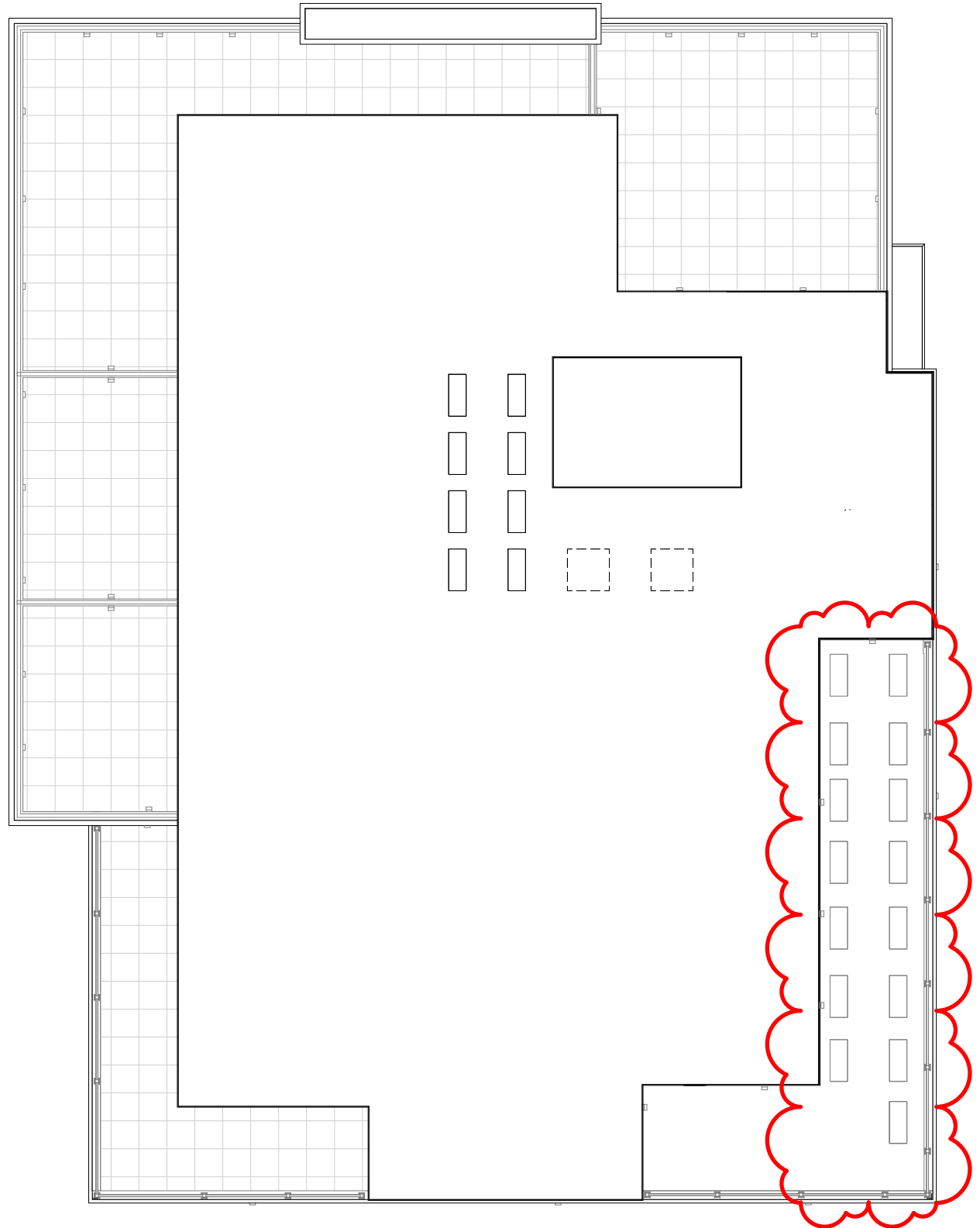
1 EAST ELEVATION (PUBLIC WALKWAY)
1/8" = 1'-0"

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DEER ST. MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	PUBLIC WALKWAY ELEVATION HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - AUGUST 2024	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A3	07/11/2024
				McHA: RD / MG
				Scale: 1/8" = 1'-0"

DEER STREET

BRIDGE STREET



CONDENSERS ON SNOW STANDS, VIEW FROM SERVICE DECK



3D PERSPECTIVE FROM DEER STREET WITH SCREENING



PERSPECTIVE OF SERVICE DECK FROM DEER STREET (SCREENING HAS NOT BEEN INSTALLED YET)



PERSPECTIVE OF SERVICE DECK FROM BRIDGE STREET (SCREENING HAS NOT BEEN INSTALLED YET)

1 ROOF PLAN
3/32" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

ROOF PLAN AND PICTURES
HISTORIC DISTRICT COMMISSION ADMINISTRATIVE
APPROVAL - NOVEMBER 2024

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A2

10/18/2024
McHA: RD / MG
Scale: 3/32" = 1'-0"

3. 138 Gates Street

-Recommended Approval

Background: The applicant is seeking approval for the changes to a previously approved design (changes to the approved siding).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



7/29/24

Vincent Hayes & Izak Gilbo
Planning Department
City of Portsmouth

Dear Vincent & Izak,

I'm writing in response to the Permit Suspension at 138 Gates Street. The issue presented was the siding "To-Weather" spacing on the front and right side elevations. As you can see from the attached photos, the existing spacing varied & and often did not align with the window sills & casings. The existing front siding was irregular & varied from +/- 2 1/2" to 3" and the right side started at +4" for the 1st 17 courses and +/- 3" above.

Joe Terrivechia, the builder chose 3 1/4" spacing with some variation to allow for alignment with both the sills & top casings. "Lifespan" treated clear pine siding was used, which has a sharper edge profile than cedar siding and has equal or better rot resistance. All cut joints were primed & painted. HDC Approval stipulated pine or spruce siding. Lifespan (pine) was chosen for it's rot resistance and the minimum TW spacing is 3". Additional, there were 2 mudsill hgts on the front and a taller one on the right side. Joe & the Owners decide that these were not necessarily original to the house & decided to eliminate them.

Joe has worked on two other Gates St renovations with me & a third at 84 Gates. Lifespan was used at 55 & 84 Gates and Boral siding was approved at 99 Gates (Boral is synthetic fly ash) I've found Joe's attention to detail & craftsmanship on these complex renovations is impressive.

Let me know if you need anything further to release the Permit Suspension

Sincerely,

cc: Jason Page, Tim Metivier, Joe Terrivechia & Rick & Sandra Wiese



Existing



As Built

138 Gates Street



Existing



As Built

138 Gates Street

4. 145 Maplewood Avenue

-Recommended Approval

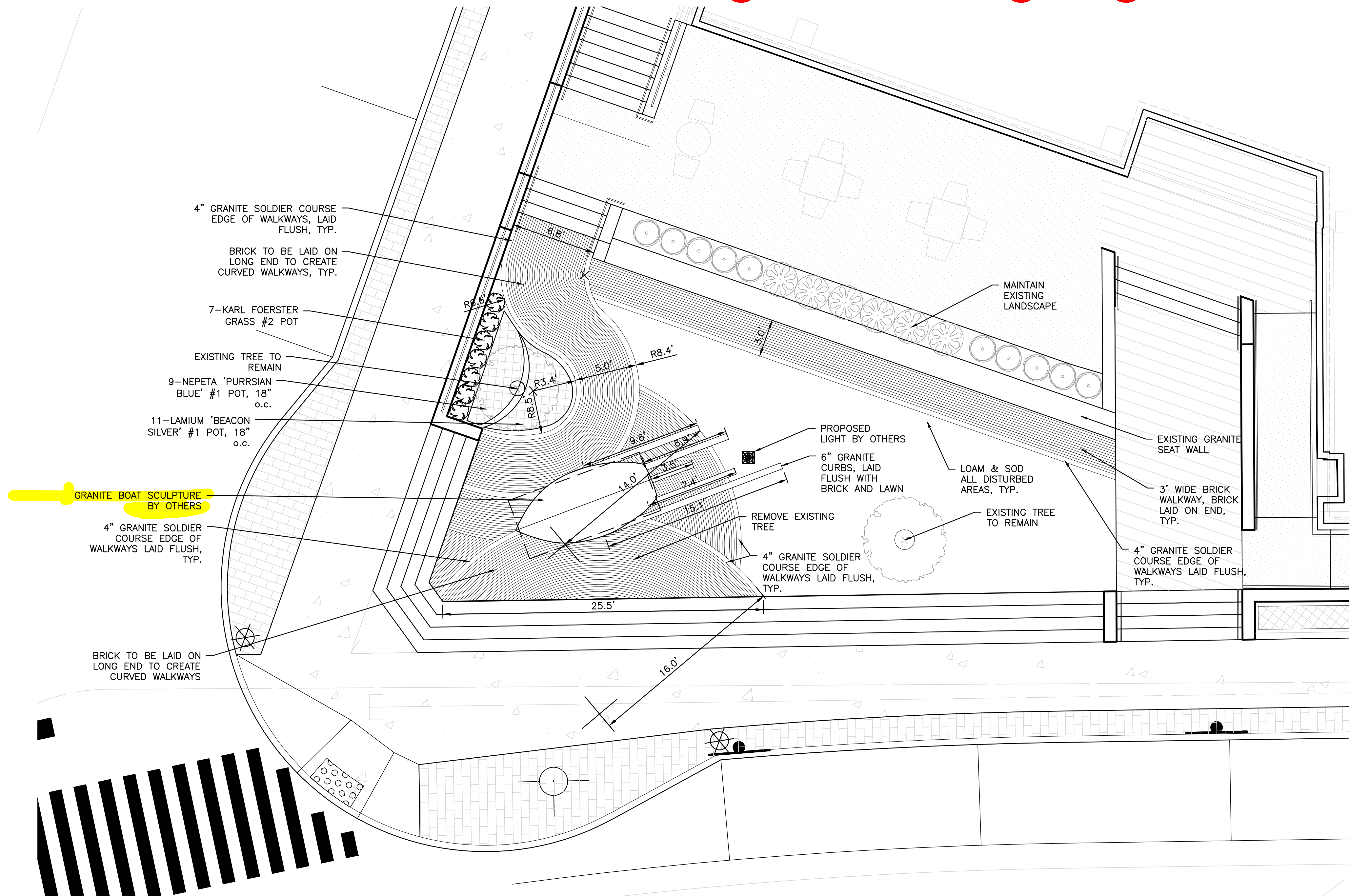
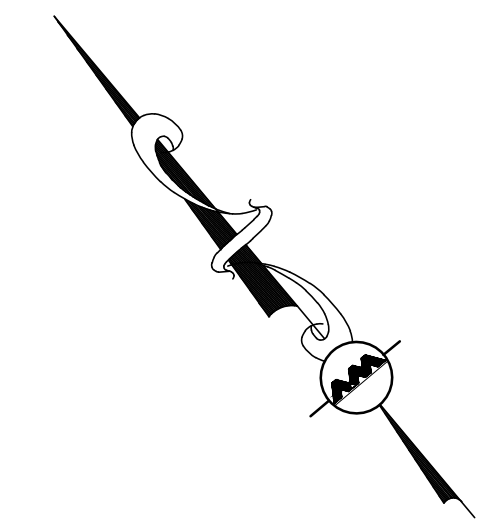
Background: The applicant is seeking approval for the changes to a previously approved design (change to the material used for the boat sculpture).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

old version of the drawings showing a granite 'hull'.



LEGEND	
EXISTING TREE	
GRASSES	
MULCH BED	
PERENNIALS/GROUND COVER	

GENERAL NOTES

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
3. ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 2 FEET MINIMUM DEPTH OF TOPSOIL. TWO FEET OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 2 FEET MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.

ISSUED FOR REVIEW
6-19-23

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	01-31-08	REVISED PER TOWN

APPLICANT/OWNER:

PROCON
HOOKSETT, NH

PROJECT:
**MEMORIAL SCULPTURE
HARDSCAPE
PORTSMOUTH, NH**

PROJECT NO.	1362-19A	DATE:	6-15-2023
-------------	----------	-------	-----------

SCALE:		DWG. NAME:	L1362-19
--------	--	------------	----------

DESIGNED BY:	BCD	CHECKED BY:	RC
--------------	-----	-------------	----

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

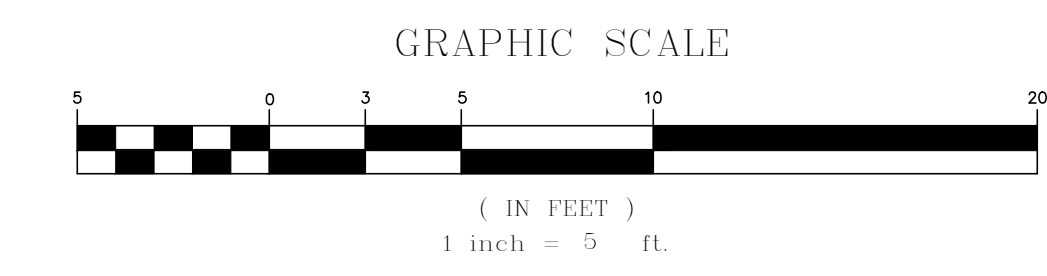
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
LANDSCAPE PLAN	L-401

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Aluminum Hull

5. 50 Austin Street

-Recommended Approval

Background: The applicant is seeking approval for the installation of (3) condensers and (1) EV charging station.

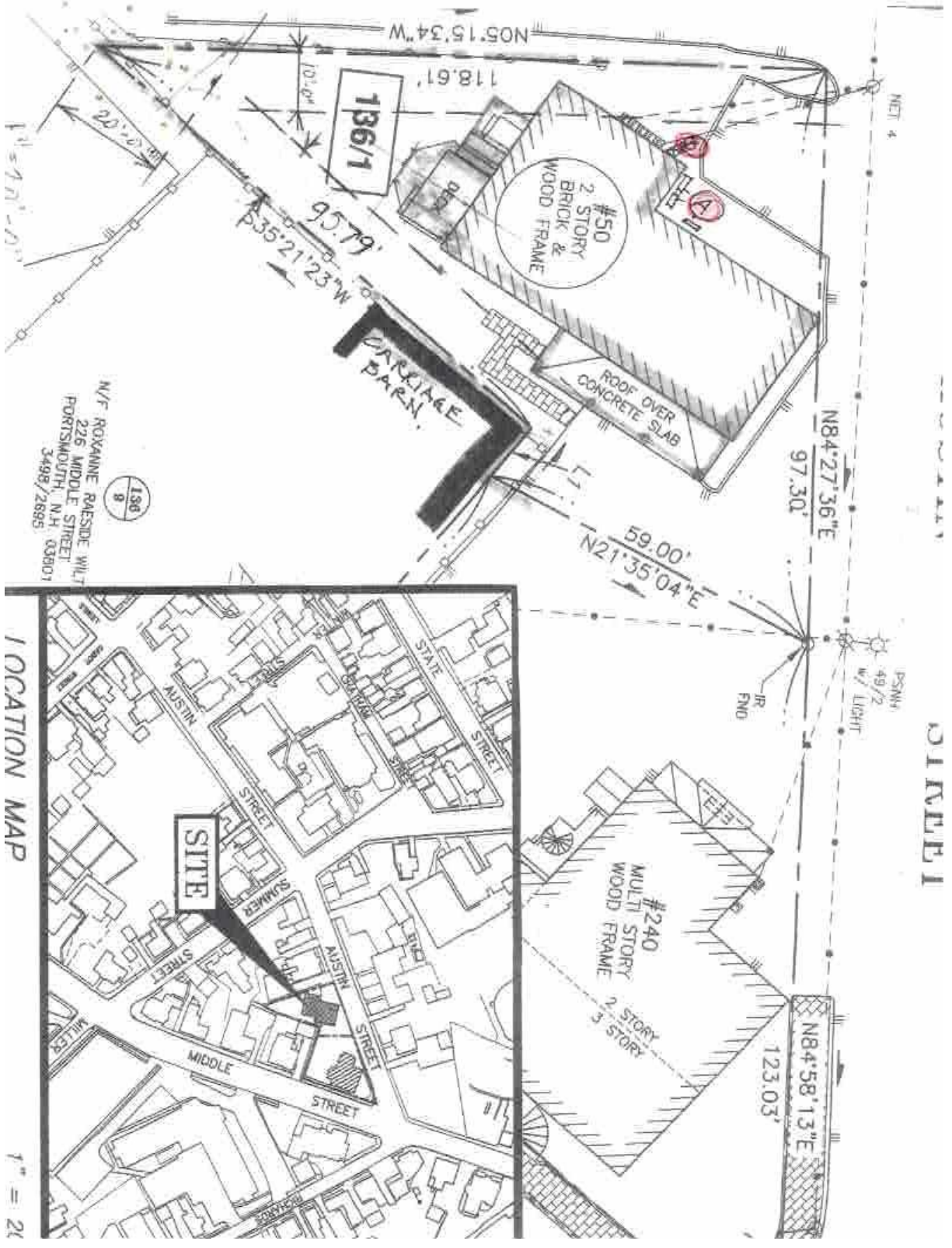
Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



Request to install (3) condensers as shown in red or as marked A and (1) EV Charging station as shown in blue or as marked B (the charging station can either be attached directly to the structure or on a post).



DI FILE 1



Example of the EV charger (the stand that is shown can be any material and or attached directly to the structure).

Dimensions

Maximum Line Length	164 Feet
Line Set A Liquid Connection	1/4 Inch
Line Set A Gas Connection	3/8 Inch
Line Set B Liquid Connection	1/4 Inch
Line Set B Gas Connection	3/8 Inch
Product Height	27 5/16 Inches
Product Width	33 1/16 Inches
Product Depth	13 Inches
Product Weight	126 Pounds
Shipping Width	40 Inches
Shipping Height	33 1/2 Inches
Shipping Depth	18 1/2 Inches
Shipping Weight	147 Pounds

Specifications

MXZ-2C20NA3



Overview

Product Category	Mini Split System Components
------------------	------------------------------

General Information

Type	Outdoor Condenser
Product Line	M-Series
Product Category	Mini Split System Components
Operating Mode ?	Heating and Cooling
Maximum Number of Zones	2
Multi-Zone Compatible	Yes
Refrigerant Type	R-410A
Installation Location	Outdoor
Branch Box Required ?	No
Base Pan Heater Included	No

Performance

(1) Of these condensers is proposed to be installed and (2) of the below condensers to be installed.

Submission Data: MXZ-3C30NA3-U1

Multi-Split Air Source Heat Pump System

Job Name:	Location:
Purchaser:	Submitted By:
Submitted To:	Reference: Approval: Construction:
Engineer:	Date: Application:



Images provided for reference purposes only

- Variable speed INVERTER-driven compressor
- M-NET connection optional through outdoor unit (Part # listed below)
- Quiet outdoor unit operation as low as 52 dB(A)
- High pressure switch for additional protection
- Base pan heater optional (Part # listed below)

Performance:		Non-Ducted	Mixed	Ducted	
Cooling at 95°F ¹	Rated Capacity	Btu/h	28,400	27,800	27,400
	Capacity Range	Btu/h	11,600 - 28,400	11,300 - 28,400	11,000 - 28,400
	Rated Power Input	W	2,680	2,760	2,840
	Power Input Range	W	680 - 2,680	785 - 2,680	890 - 2,680
	Moisture Removal	pints/h	NA	NA	NA
	Sensible Heat Factor		NA	NA	NA
Heating at 47°F ²	Rated Capacity	Btu/h	28,600	28,000	27,600
	Capacity Range	Btu/h	18,100 - 36,000	18,300 - 36,000	18,500 - 36,000
	Rated Power Input	W	2,150	2,185	2,220
	Power Input Range	W	1,040 - 3,300	1,130 - 3,300	1,220 - 3,300
Heating at 17°F ³	Maximum Capacity	Btu/h	21,000	21,000	21,000
	Rated Capacity	Btu/h	17,800	15,500	17,800
	Capacity Range	Btu/h	15,700 - 21,000	15,100 - 21,000	14,500 - 21,000
	Maximum Power Input	W	2,740	2,780	2,820
	Rated Power Input	W	1,760	1,830	1,900
	Power Input Range	W	1,420 - 2,740	1,440 - 2,780	1,470 - 2,820
Heating at 5°F ⁴	Maximum Capacity	Btu/h	18,200	18,200	18,200
	Maximum Power Input	W	2,310	2,355	2,400
Heating at -13°F ⁵	Maximum Capacity	Btu/h	NA	NA	NA
	Maximum Power Input	W	NA	NA	NA

Efficiency:		Non-Ducted	Mixed	Ducted
SEER		19.00	17.60	16.20
EER ¹		10.60	10.30	10.00
HSPF (IV)		11.00	10.50	10.00
COP at 47°F ²	Rated Capacity	3.90	3.77	3.65
COP at 17°F ³	Maximum Capacity	2.25	2.22	2.18
COP at 5°F ⁴	Maximum Capacity	2.31	2.26	2.22

Outdoor Operating Temperature Range:		
Cooling Operation Air Temp (Maximum / Minimum)* (Comfort cooling only applications)	°F (°C)	* 115 to 14 (46 to -10)
Cooling Operation Thermal Lock-out / Re-start Temperatures	°F (°C)	10.4 / 14 (-12 / -10)
Heating Operation Air Temp (Maximum / Minimum)	°F (°C)	65 to 5 (18 to -15)
Heating Operation Thermal Lock-out / Re-start Temperatures	°F (°C)	1.4 / 5.0 (-17 / -15)

AHRI Rated Conditions (Rated data is determined at a fixed compressor speed) (* Windscreens required for cooling operations below 23°F (-5°C))

¹Cooling (Indoor // Outdoor) 80°F (26.6°C) DB, 67°F (19.4°C) WB // 95°F (35°C) DB, 75°F (23.9°C) WB

²Heating at 47°F (8.3°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // 47°F (8.3°C) DB, 43°F (6.1°C) WB

³Heating at 17°F (-8.3°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // 17°F (-8.3°C) DB, 15°F (-9.4°C) WB

Rated conditions:

⁴Heating at 5°F (-15°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // 5°F (-15°C) DB, 4°F (-15.6°C) WB

⁵Heating at -13°F (-25°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // -13°F (-25°C) DB, -15°F (-26.1°C) WB

Note:

1. Mitsubishi Electric Sales Canada Inc. (MESCA) supports the use of only MESCA supplied and approved components and accessories for proper functioning of the unit(s). Use of non - MESCA supported components and accessories will affect warranty coverage. MESCA recommends (A) consideration of all applicable design and application parameters and requirements specific to any project.
2. Should any person change this document in any manner whatsoever without MESCA's written permission, the document shall be of no force and effect and any change shall be deemed to be a representation and warranty made by that person and not MESCA. That person, and not MESCA, shall assume full responsibility for the consequences of such changes. MESCA assumes no responsibility for any consequences in such cases.

Notes:

Electrical:

Power Supply		208/230V, 1Ph, 60Hz
Voltage: Indoor - Outdoor, S1-S2	V AC	AC 208/230V
Voltage: Indoor - Outdoor, S2-S3	V DC	DC 12-24V
Short-circuit Current Rating (SCCR)	kA	5
Recommended Fuse/Breaker Size (Outdoor)	A	25
Recommended Wire Size (Indoor - Outdoor)	AWG	14

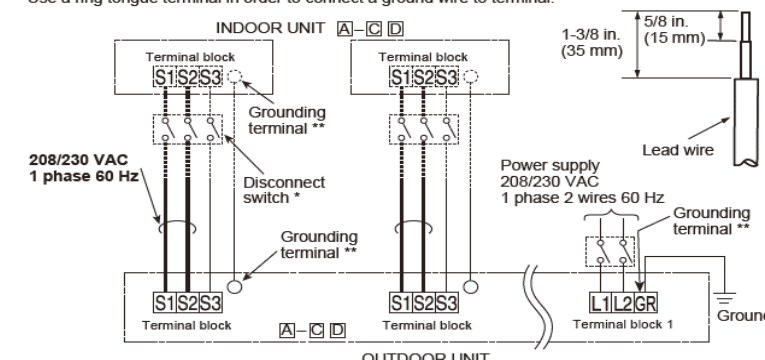
Outdoor Unit Specifications:

MCA	A	22.1
MOCP	A	25
Fan Motor Output	W	2.43
Airflow Rate (Cooling/Heating)	CFM	2,287 / 2,382
Sound Pressure Level, Cooling1	dB(A)	52
Sound Pressure Level, Heating2	dB(A)	56
Refrigerant Control		LEV
Compressor Oil Type / Refrigerant Charge		FV50S / 6 lbs. 13 oz. (3.1 kg)
External Finish Color		Munsell 3.0Y 7.8/1.1
Unit Weight	Lbs. [kg]	137 [62]
Unit Dimensions	W: In. [mm]	37-13/32 [950]
	D: In. [mm]	13 [330]
	H: In. [mm]	31-11/32 [796]
Gas Pipe Size O.D. (Flared)	In. [mm]	A: 1/2; B,C: 3/8 [A: 12.72; B,C: 9.52]
Liquid Pipe Size O.D. (Flared)	In. [mm]	A,B,C: 1/4 [A,B,C: 6.35]
Total Piping Length	Ft. [m]	230 [70]
Maximum Height Difference, ODU above IDU	Ft. [m]	49 [15]
Maximum Height Difference, ODU below IDU	Ft. [m]	49 [15]
Farthest Piping Length from ODU to IDU	Ft. [m]	82 [25]
Maximum Number of Bends for IDU		70

Model No.	Description: (Optional Accessories)
CM-S-FR-NKMU	Front Windscreen
WRE3	Rear Windscreen
WSD3	Side Windscreen
PAC-IF01MNT-E	SYSTEM M-NET CONTROL INTERFACE
MAC-A454JP-E	JOINT PIPE (3/8->1/2)
MAC-A455JP-E	JOINT PIPE (1/2->3/8)
MAC-A456JP-E	JOINT PIPE (1/2->5/8)
PAC-SG76RJ-E	JOINT PIPE (3/8 -> 5/8)
PAC-645BH-E	Base Heater

Notes:	SVZ Connections Rules:
Minimum of two Indoor units must be connected	Only 1 SVZ may be used on any system
Minimum installed capacity cannot be less than 12,000 Btu/h	When an SVZ is connected, total connected capacity must be less than 100%
System can operate with only one indoor unit turned on	When an SVZ is connected, no P-Series Indoor units can be used (PCA,PLA, or PEAD)
May connect to any style Indoor unit or combination	
Information provided at 208/230V	
Refer "MXZ Connection Rules" additional info available within TIC	

Remark:
 * A disconnect switch should be required. Check the local code.
 ** Use a ring tongue terminal in order to connect a ground wire to terminal.



D unit is for 4C36NA3 only

- Connect wires to the matching numbers of terminals.
- Be sure to attach each screw to its correspondent terminal when securing the cord and/or the wire to the terminal block.

CONNECTING WIRES AND CONNECTING GROUND WIRE

- Use solid conductor Min. AWG14 or stranded conductor Min. AWG14.
- Use double insulated copper wire with 600 V insulation.
- Use copper conductors only
- * Follow local electrical code.

POWER SUPPLY CABLE AND GROUND WIRE

- Use solid or stranded conductor Min. AWG12.
- Use copper conductors only
- * Follow local electrical code.

⚠ WARNING:
 Use the indoor/outdoor unit connecting wire that meets the Standards to connect the indoor and outdoor units and fix the wire to the terminal block securely so that no external force is conveyed to the connecting section of the terminal block. An incomplete connection or fixing of the wire could result in a fire.

For future servicing, give extra length to the connecting wires.

6. 93 Pleasant Street

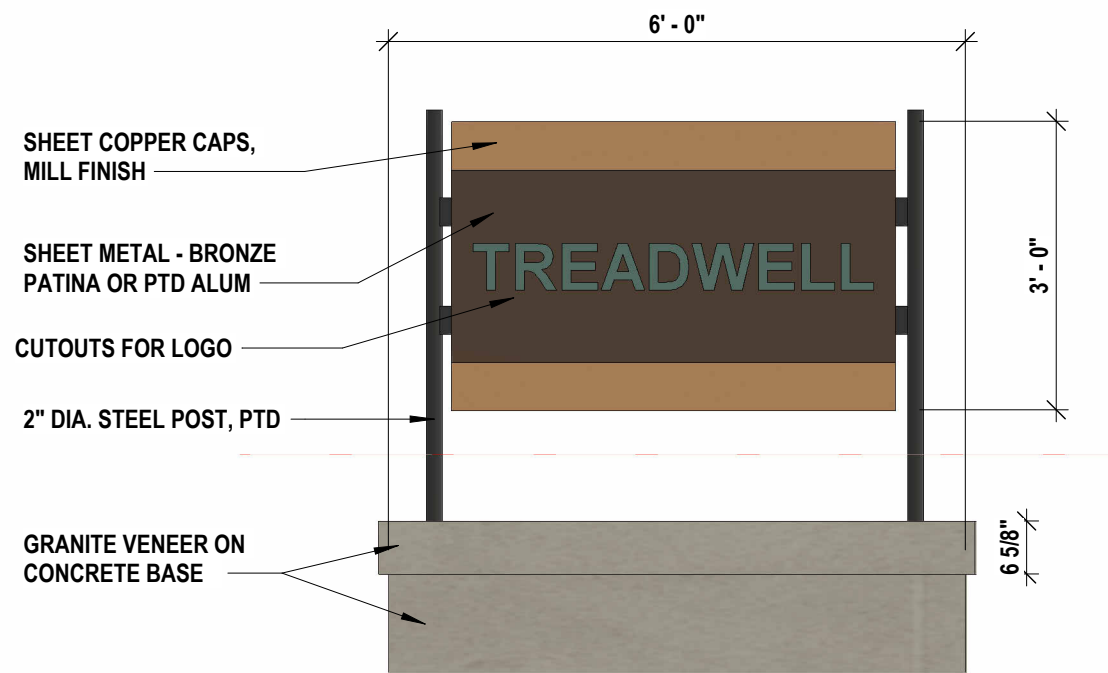
-Recommended Approval

Background: The applicant is seeking approval for signage with uplighting.

Staff Comment: Recommend Approval

Stipulations:

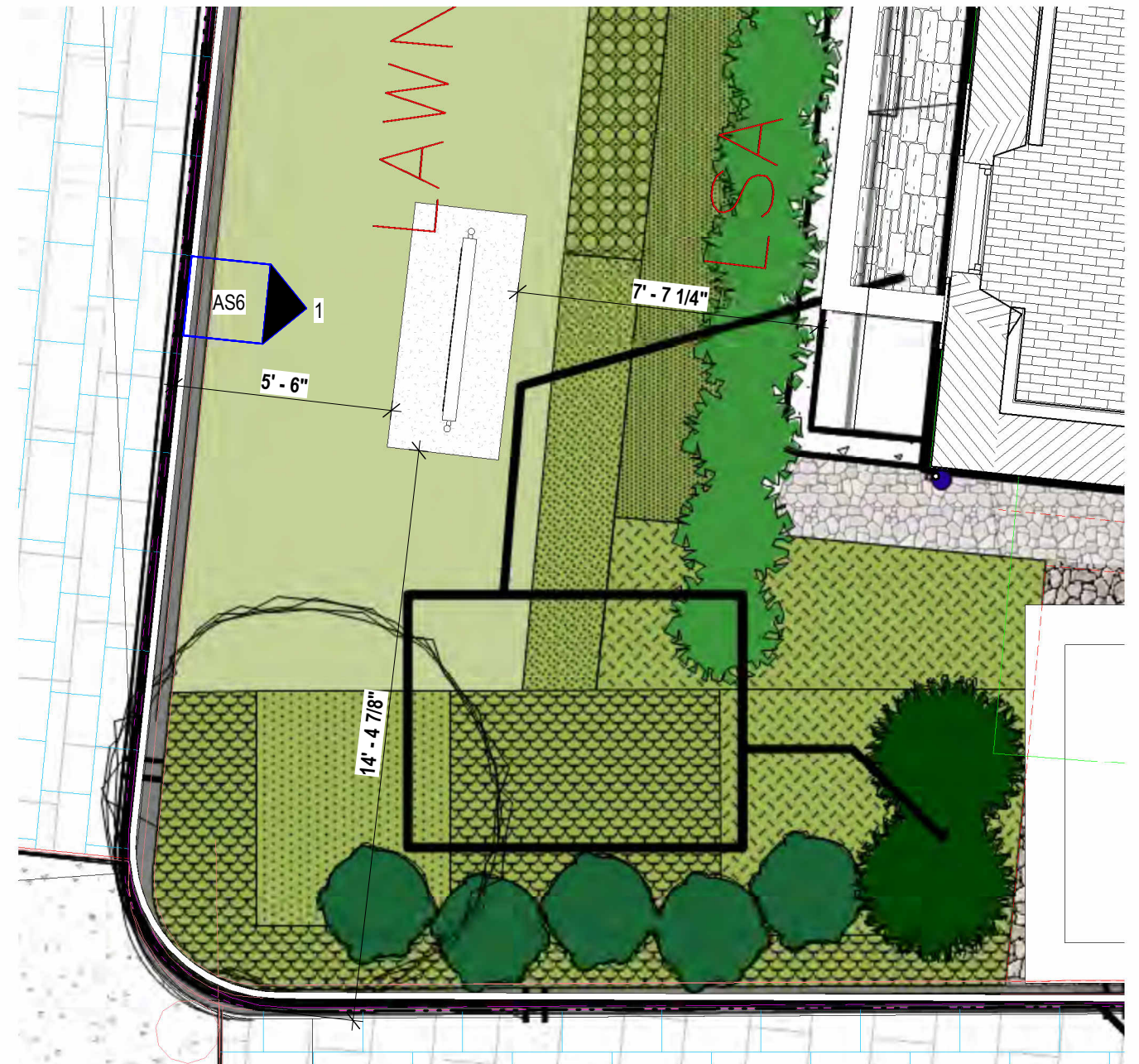
1. _____
2. _____
3. _____



1 ELEVATION
1/2" = 1'-0"



2 SIGN PERSPECTIVE OPTION 5 2 POST



3 SITE PLAN OPTION 5 2 POST
1/4" = 1'-0"

AS6 TREADWELL SIGN
93 PLEASANT STREET

8.23.24



AS7

TREADWELL SIGN RENDER
93 PLEASANT STREET

8.23.24



7. 369 Pleasant Street

-Recommended Approval

Background: The applicant is seeking approval for the removal of the existing fence and the replacement of a new wood fence.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



Proposed new fence- to match neighboring property.



Existing fence



Existing fence



Existing fence

Historic District Commission

Staff Report

Wednesday, November 06, 2024

Project Address: 38 State Street, Unit #4

Permit Requested: Certificate of Approval

Application: Public Hearing B

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Residential
- Land Area: 1,417-1,780 SF +/-
- Estimated Age of Structure: c.1815
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: State Street
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: New roofing, roof deck, and windows and new the new construction of a rooftop/penthouse addition.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- New windows, roofing, and roof deck.
- Construct rooftop/penthouse addition.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



EXISTING



PROPOSED



EXISTING



PROPOSED



PROPOSED



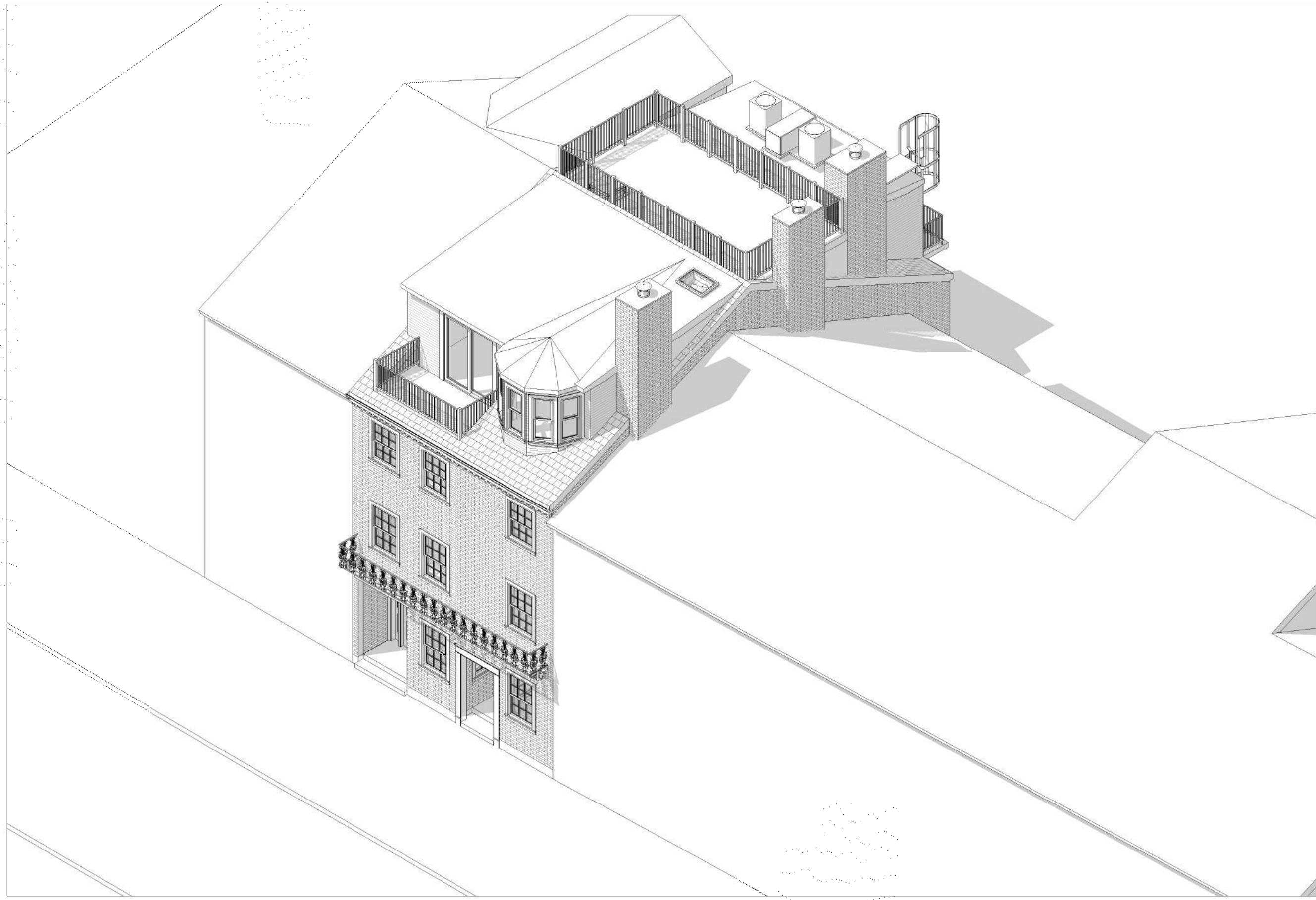
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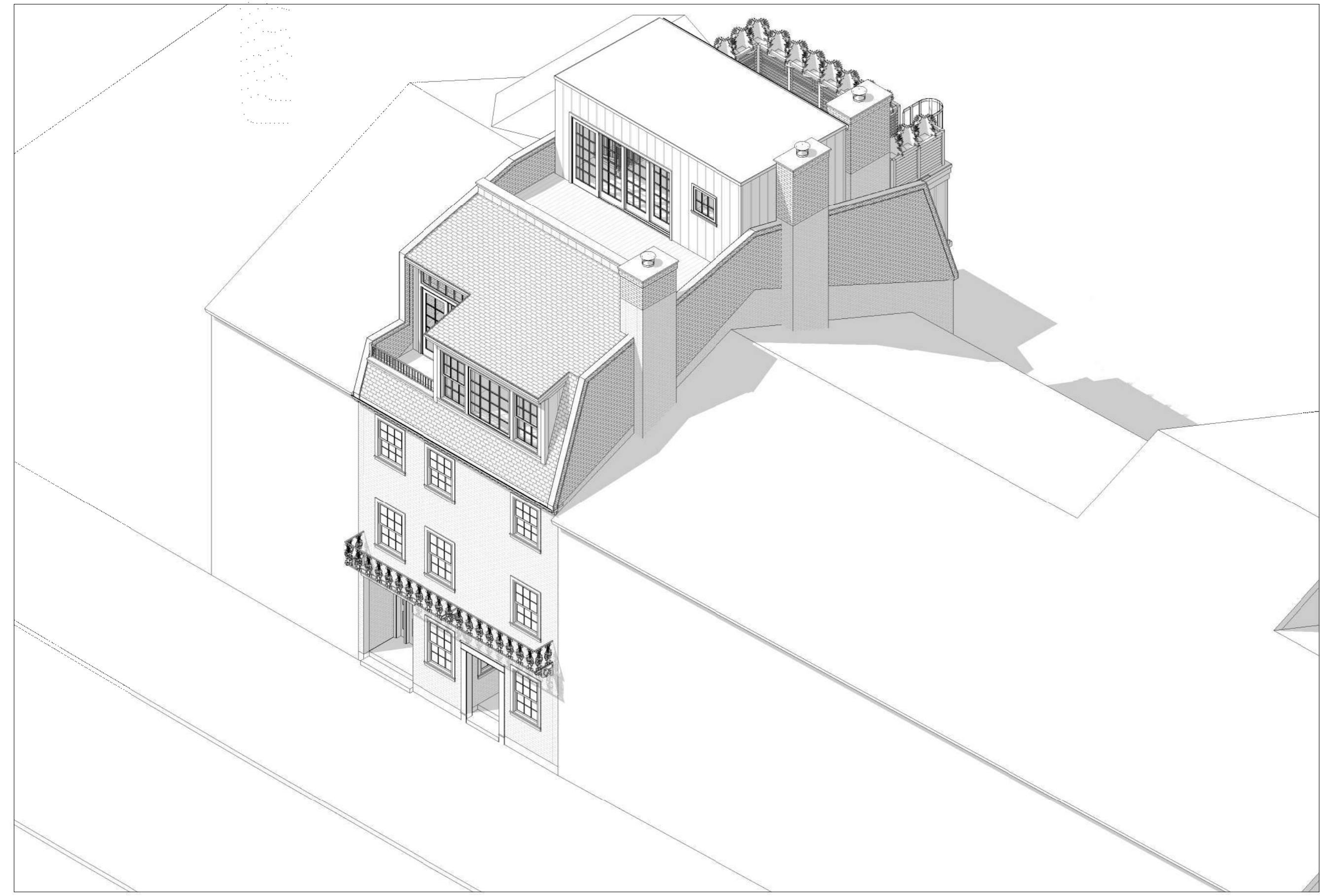
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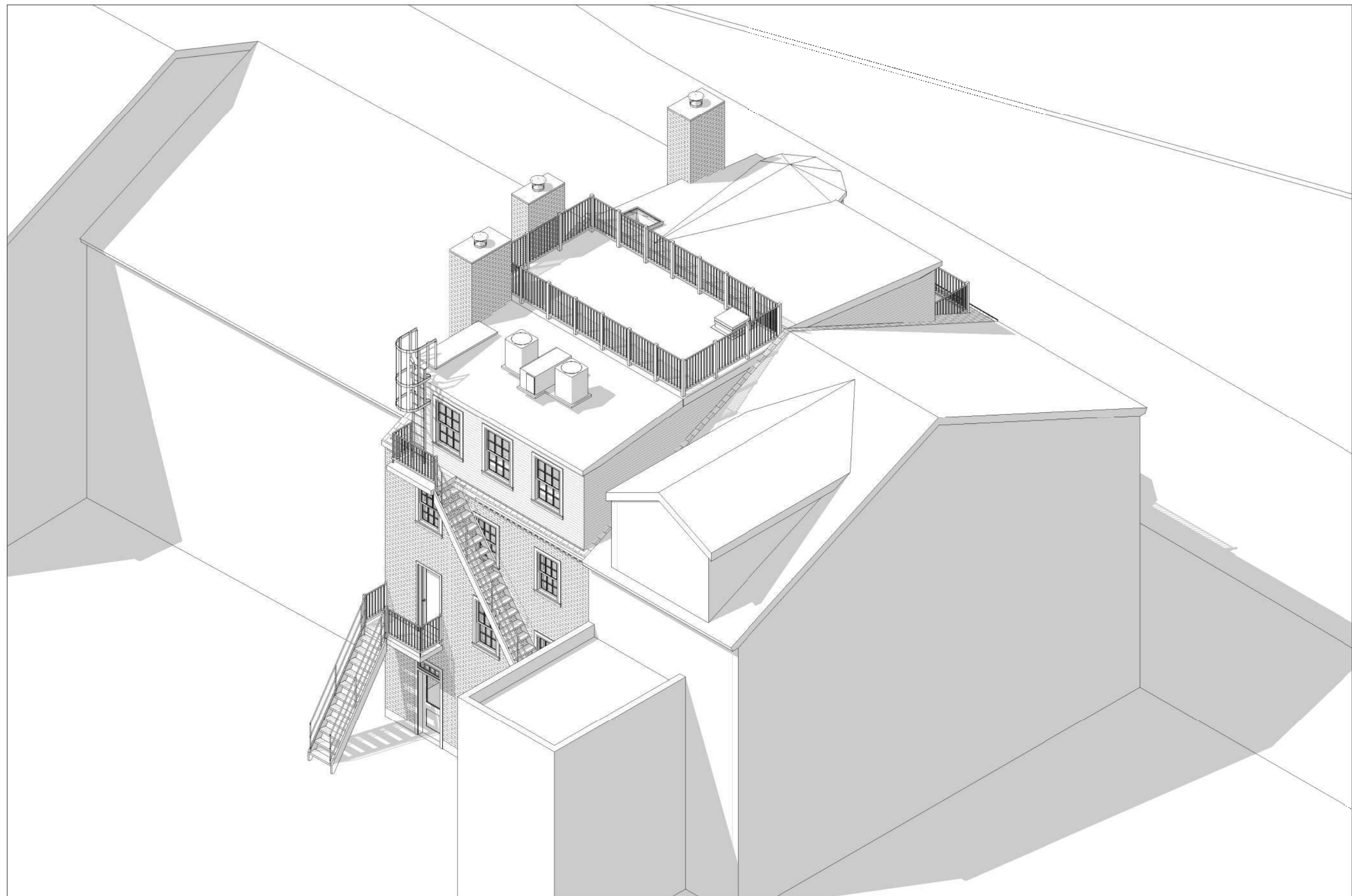
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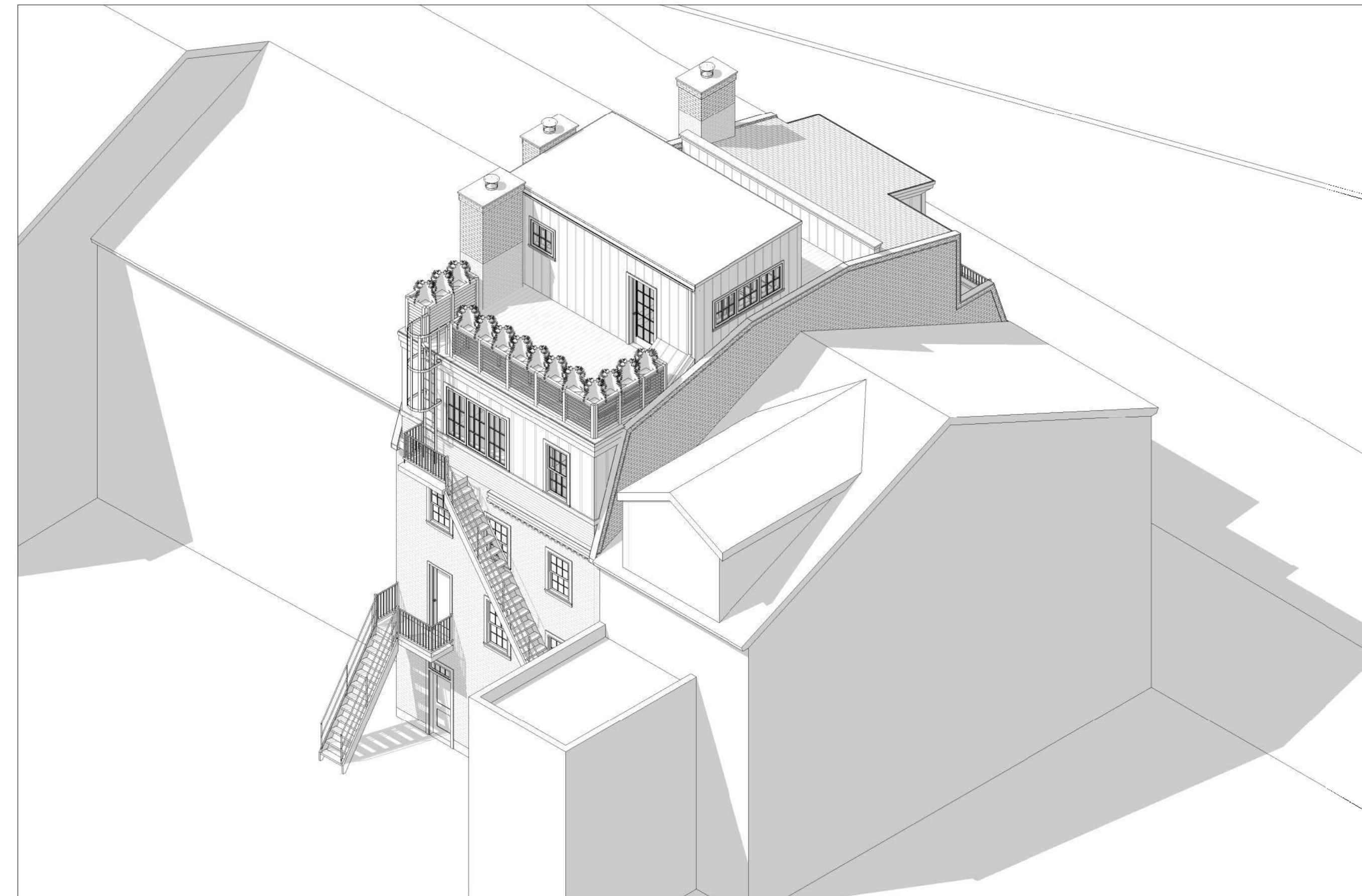
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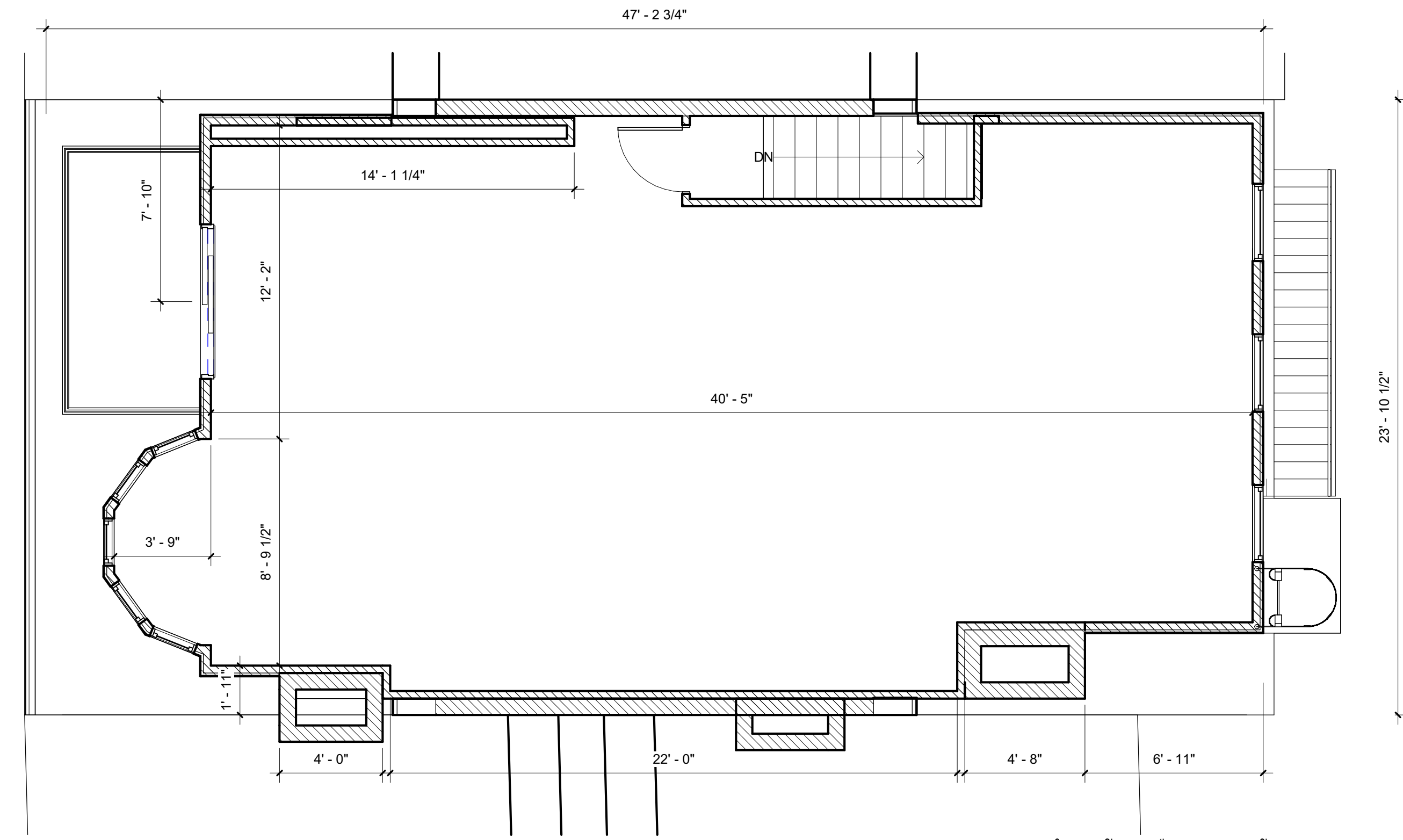
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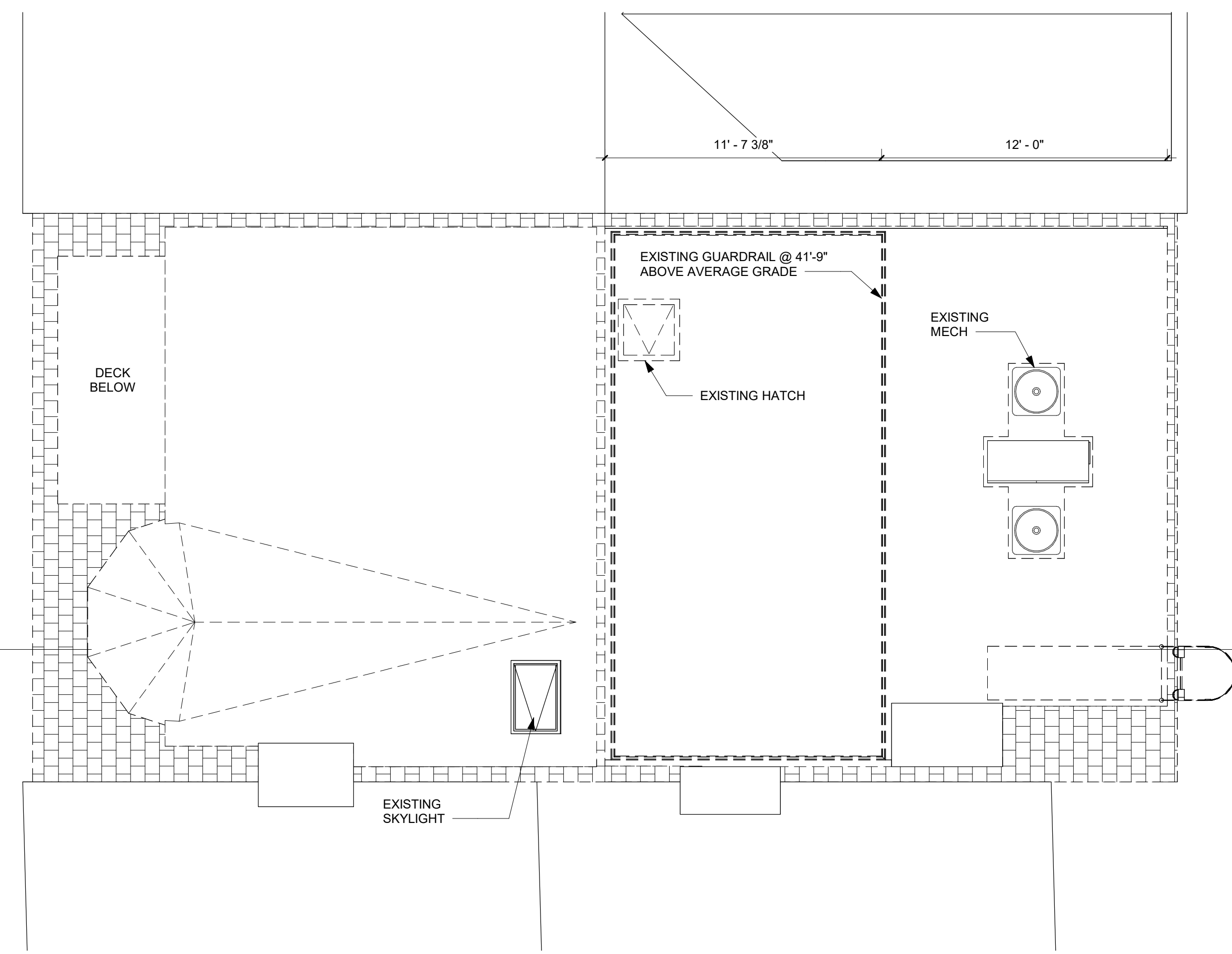
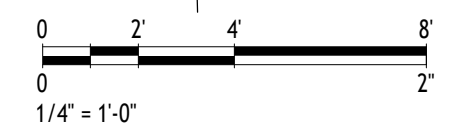
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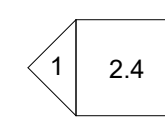
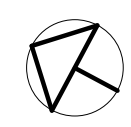
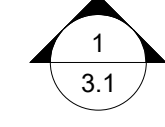
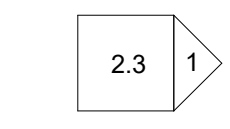
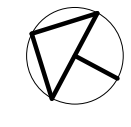
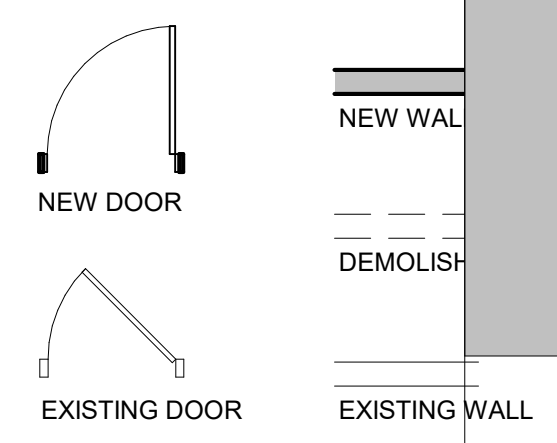
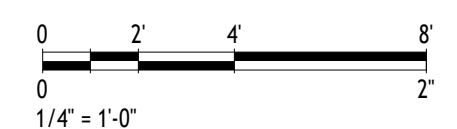
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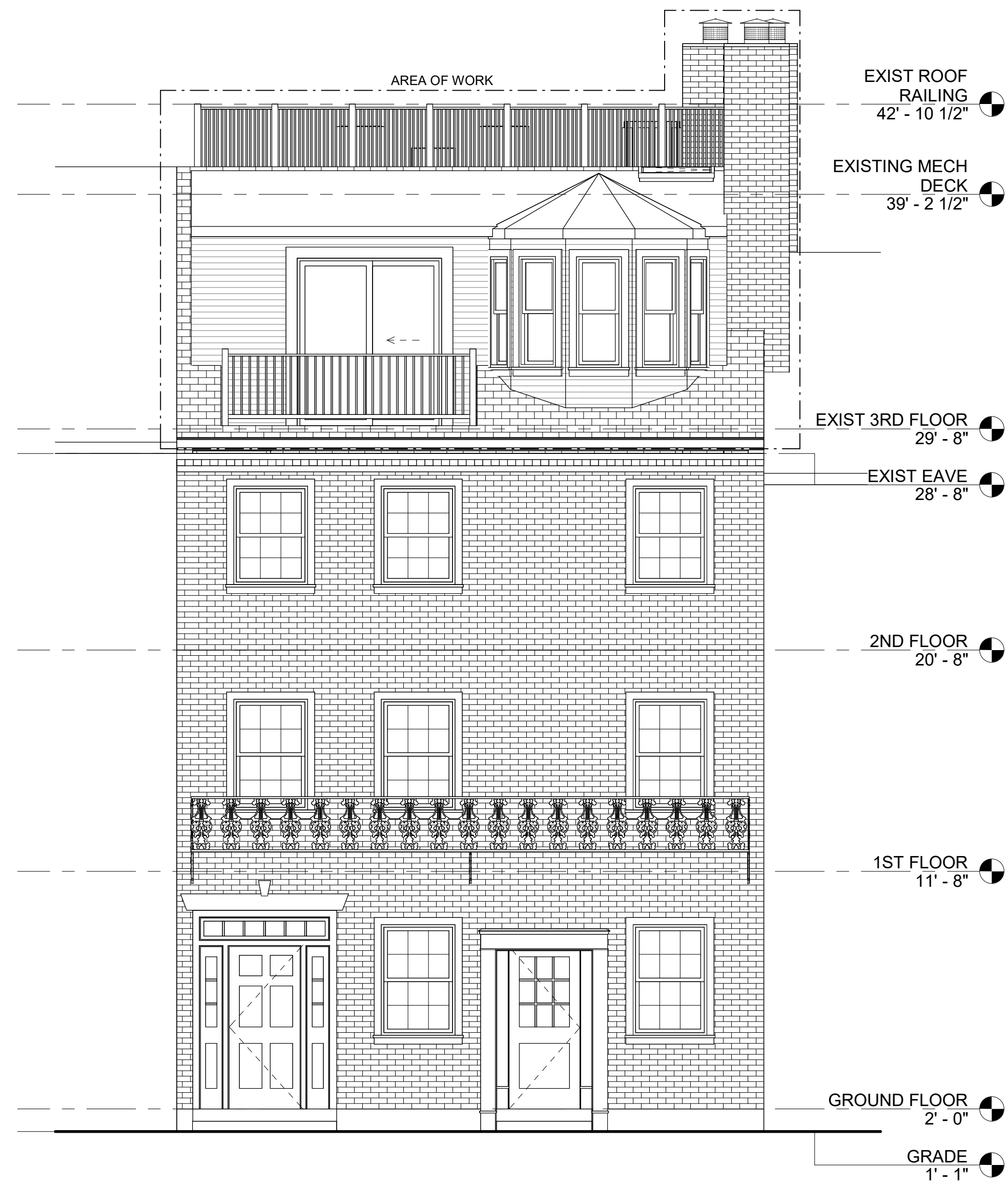


1 Demo - 3RD FLOOR
1/4" = 1'-0"

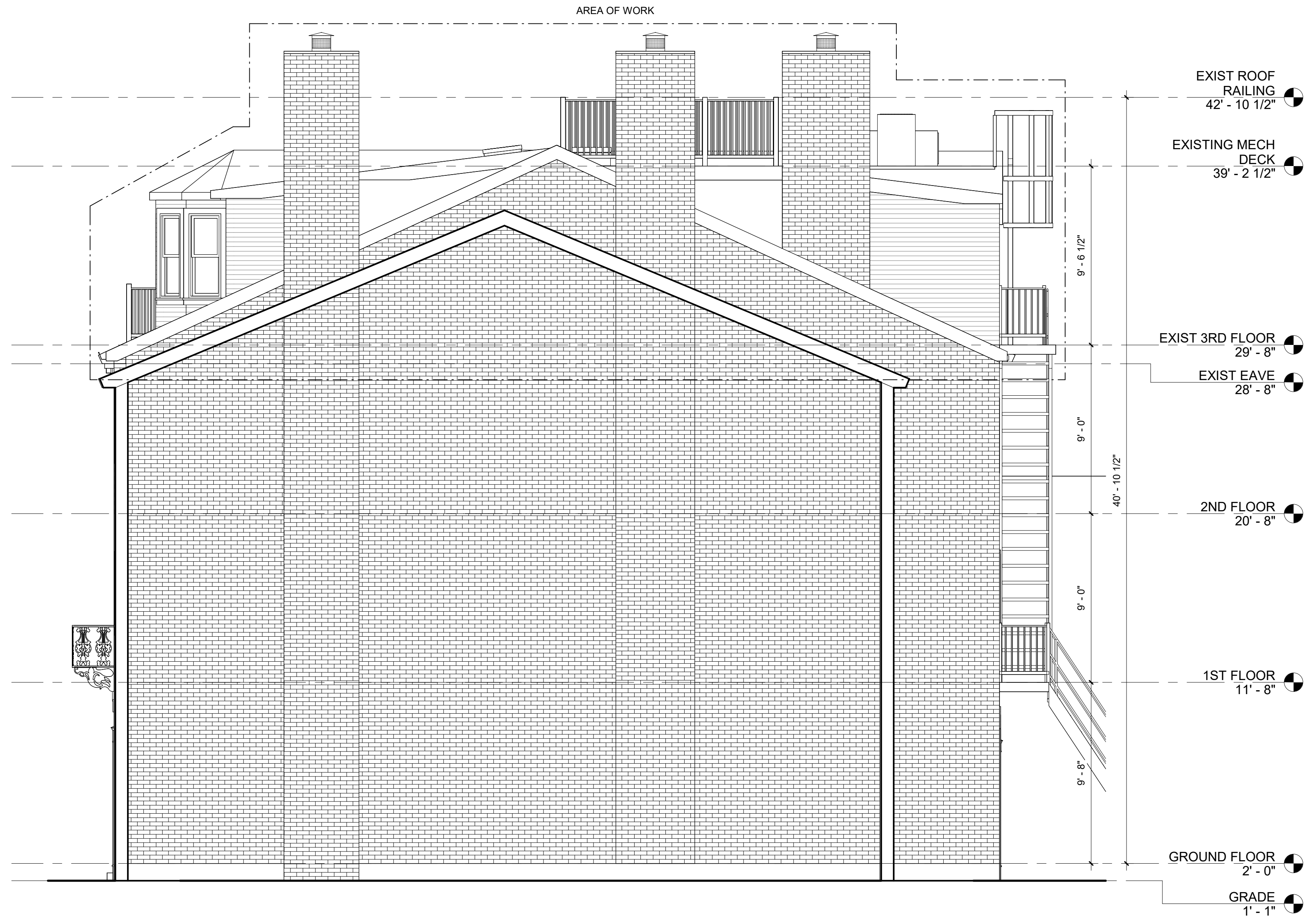
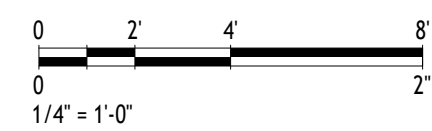


2 Demo - PENTHOUSE
1/4" = 1'-0"

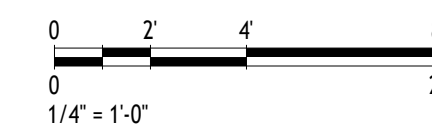


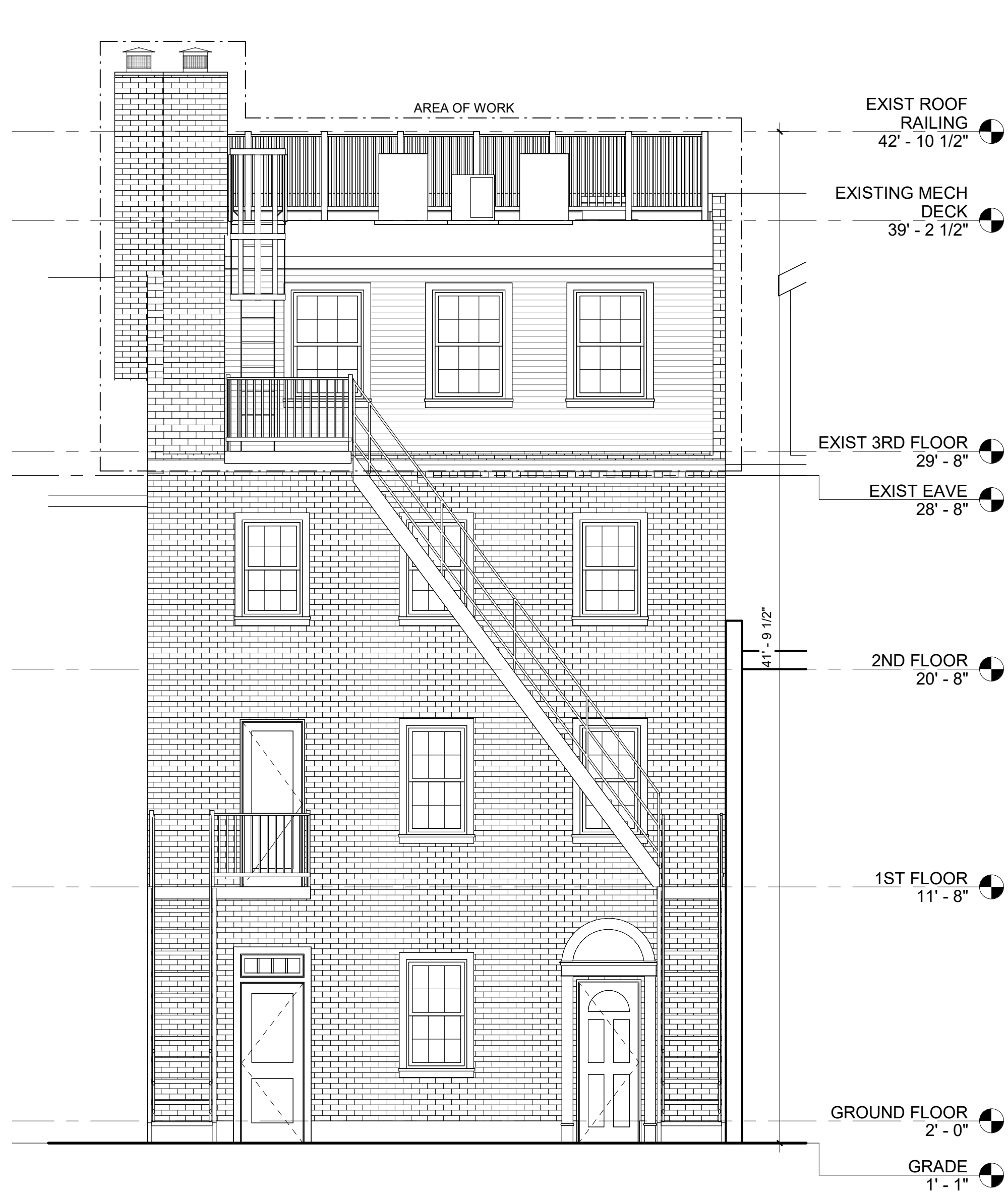


① EXISTING WEST ELEVATION
1/4" = 1'-0"

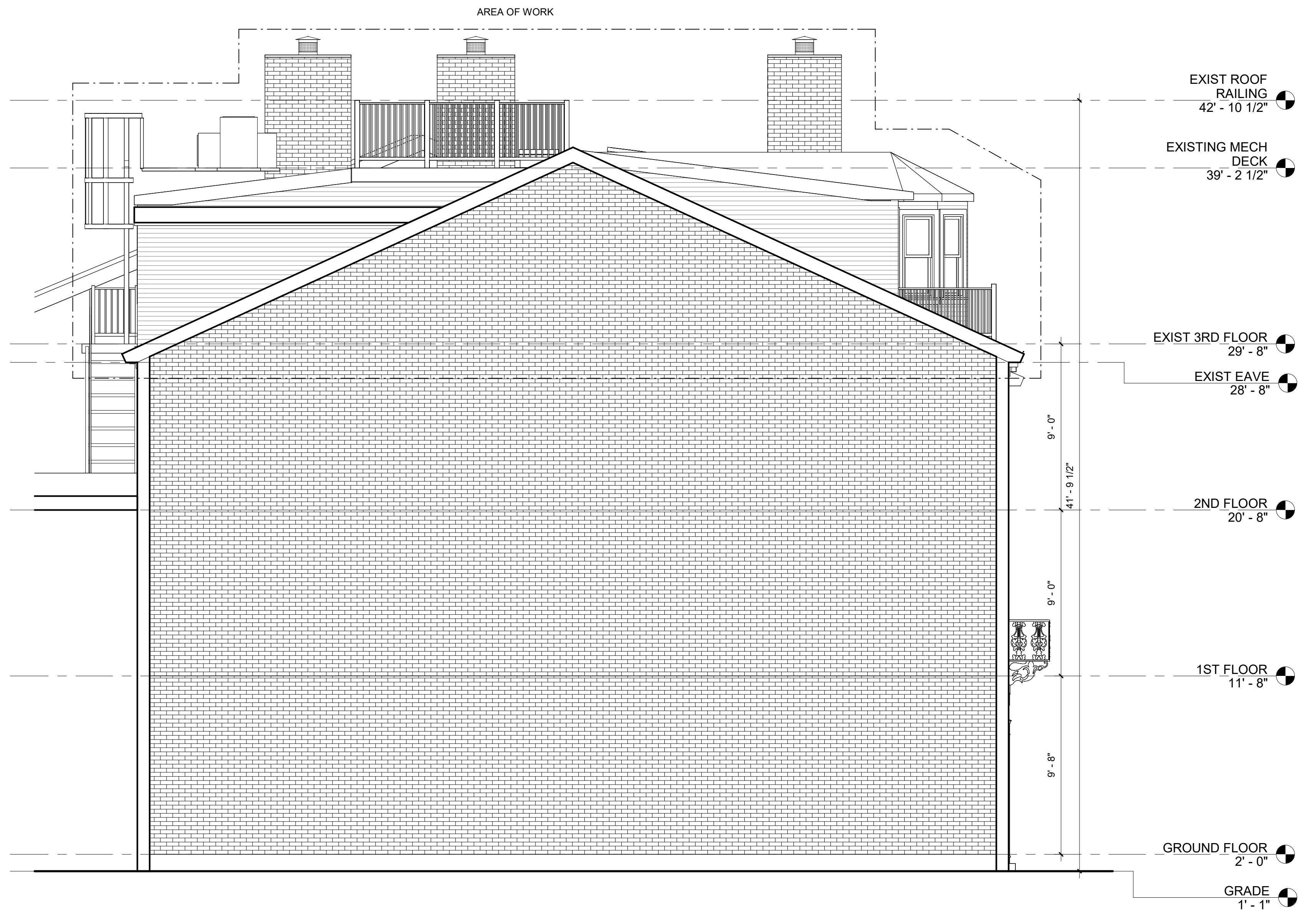
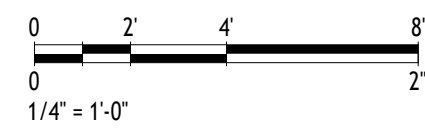


③ EXISTING SOUTH ELEVATION
1/4" = 1'-0"

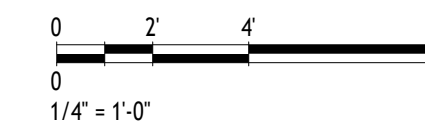




① EXISTING EAST ELEVATION
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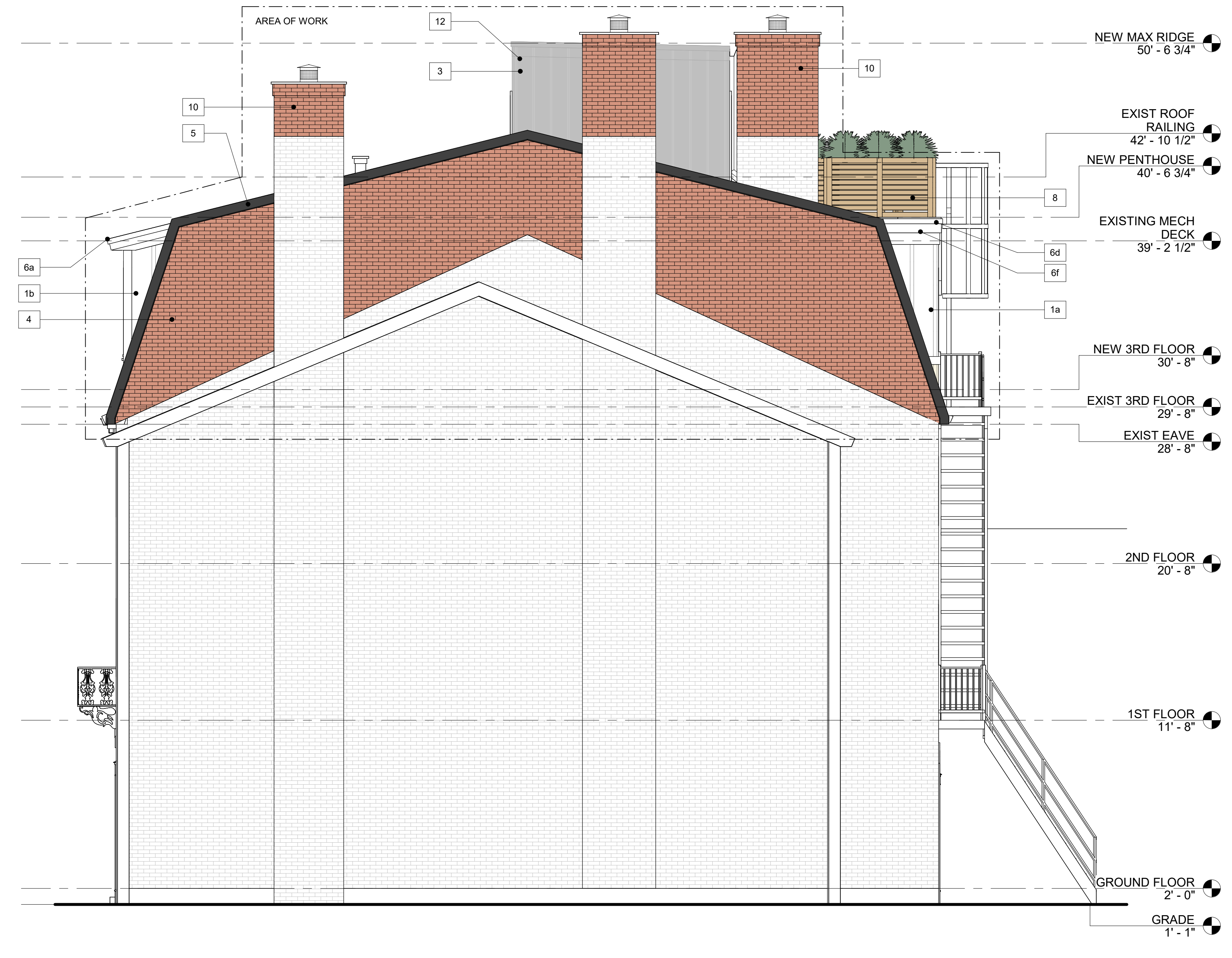
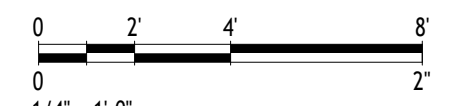


② EXISTING NORTH ELEVATION
1/4" = 1'-0"

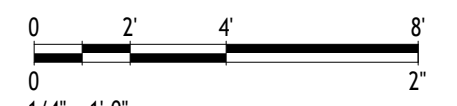




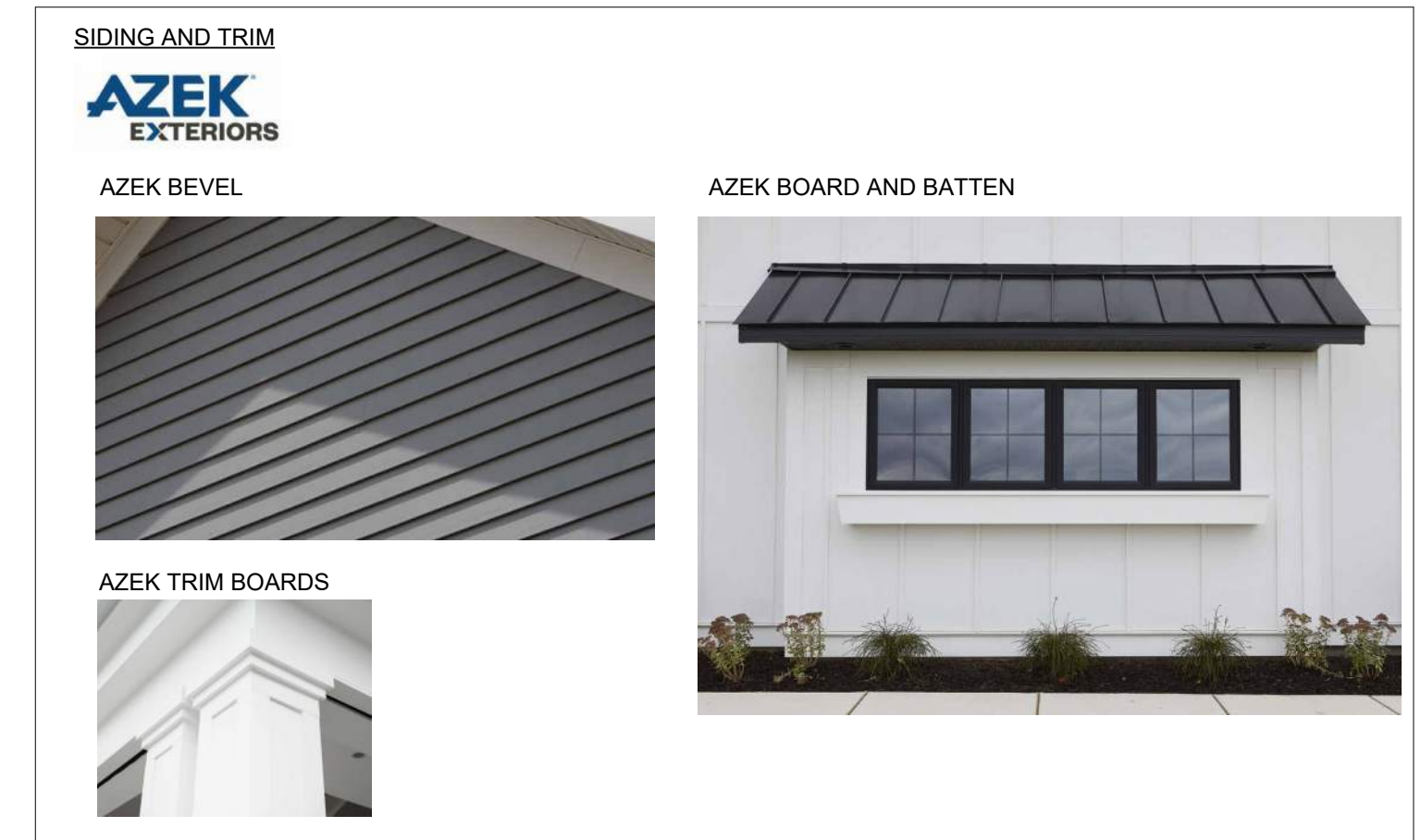
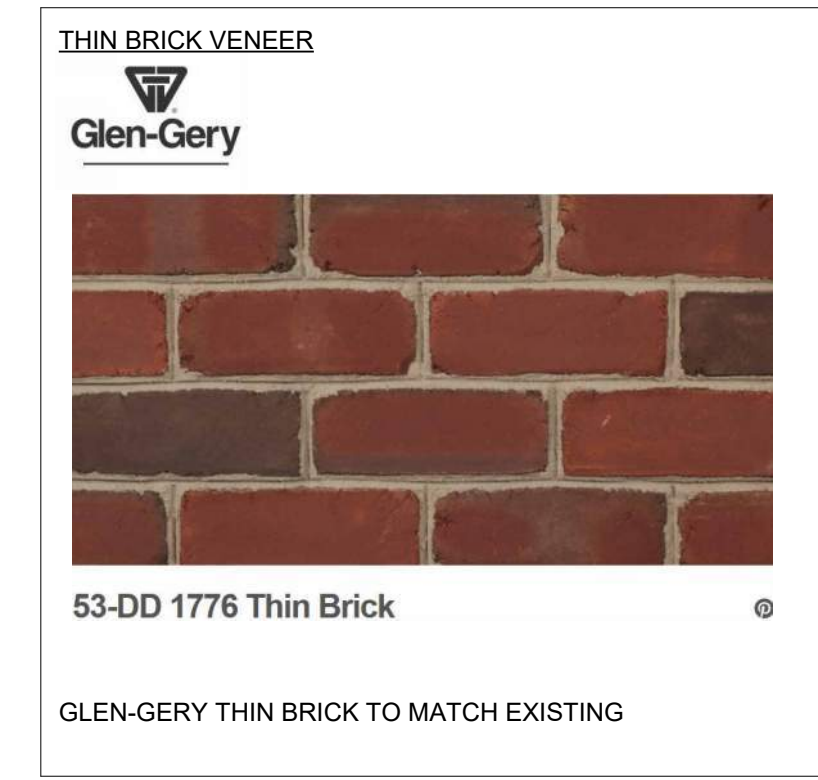
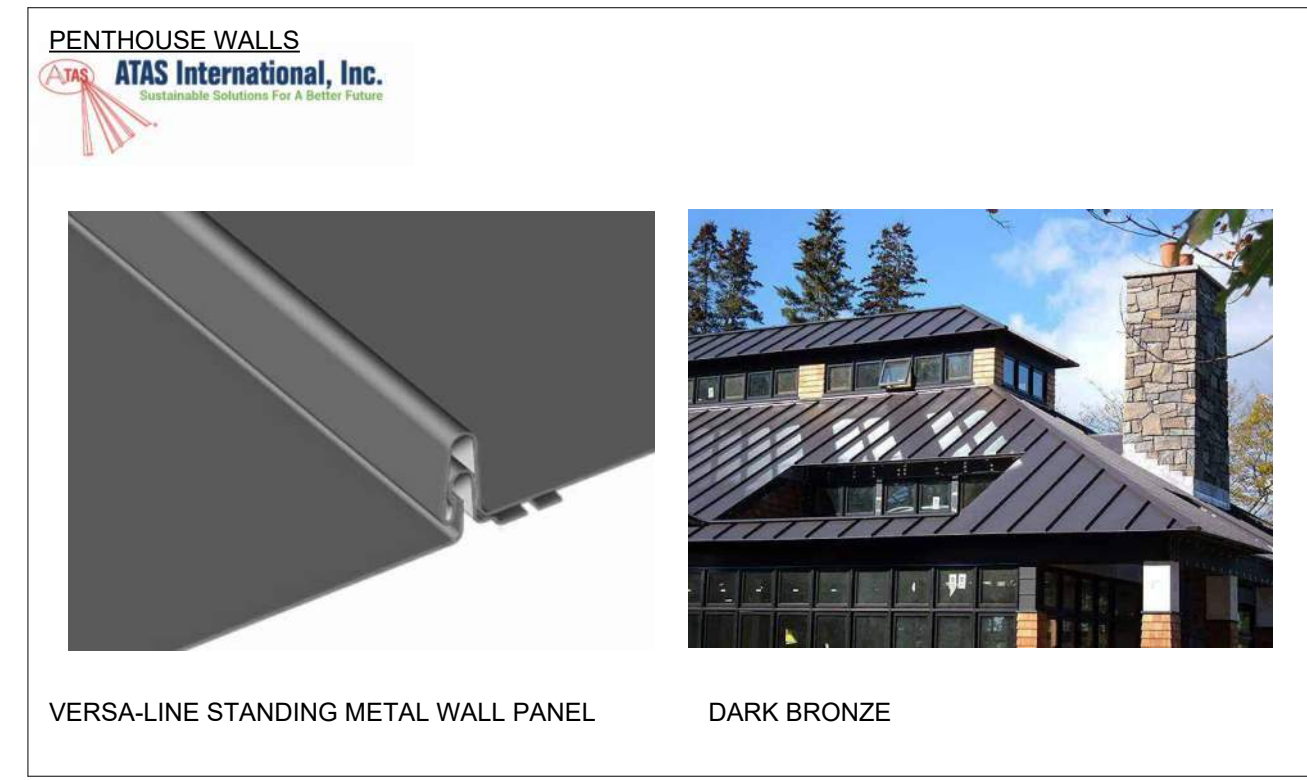
1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

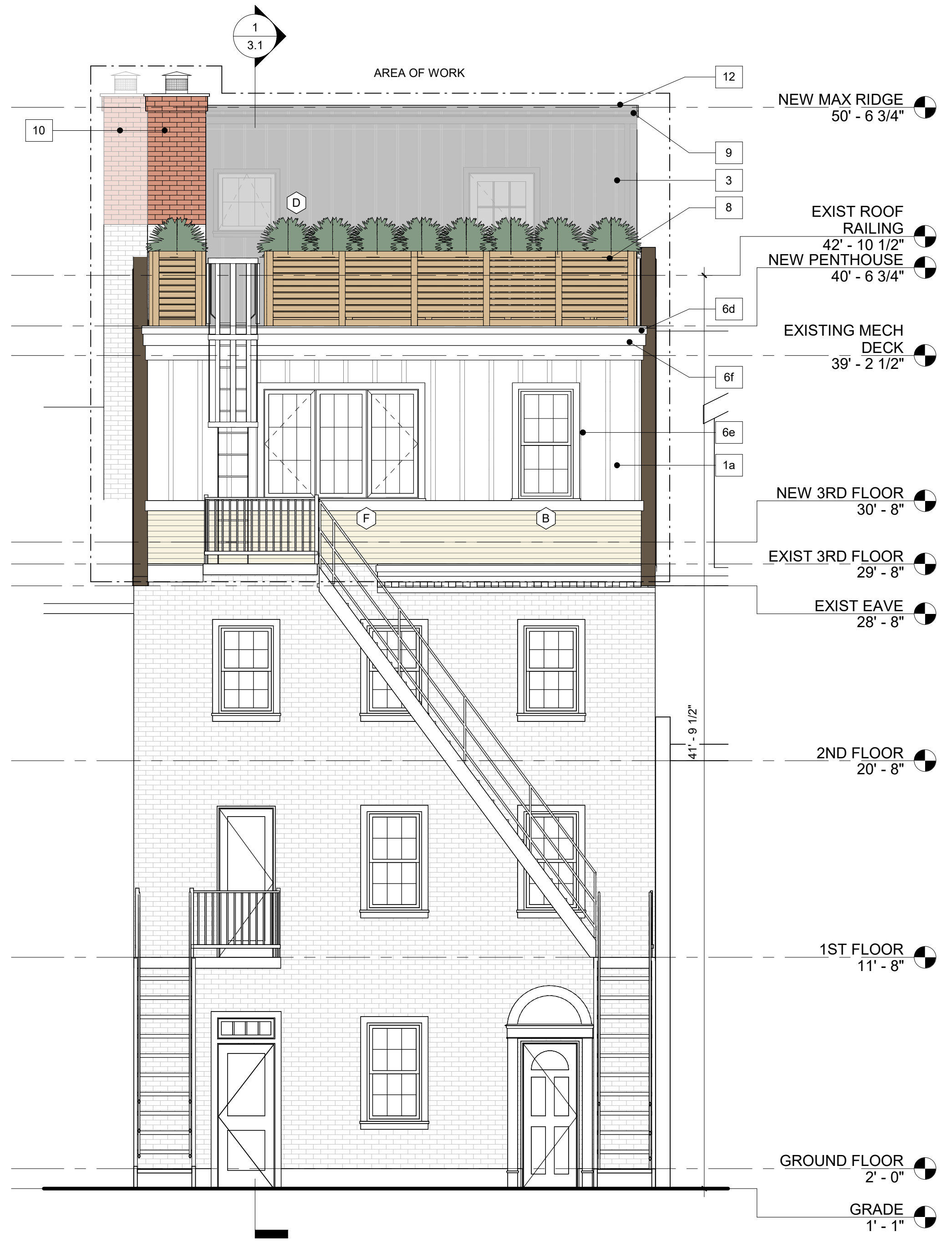


PROPOSED MATERIALS

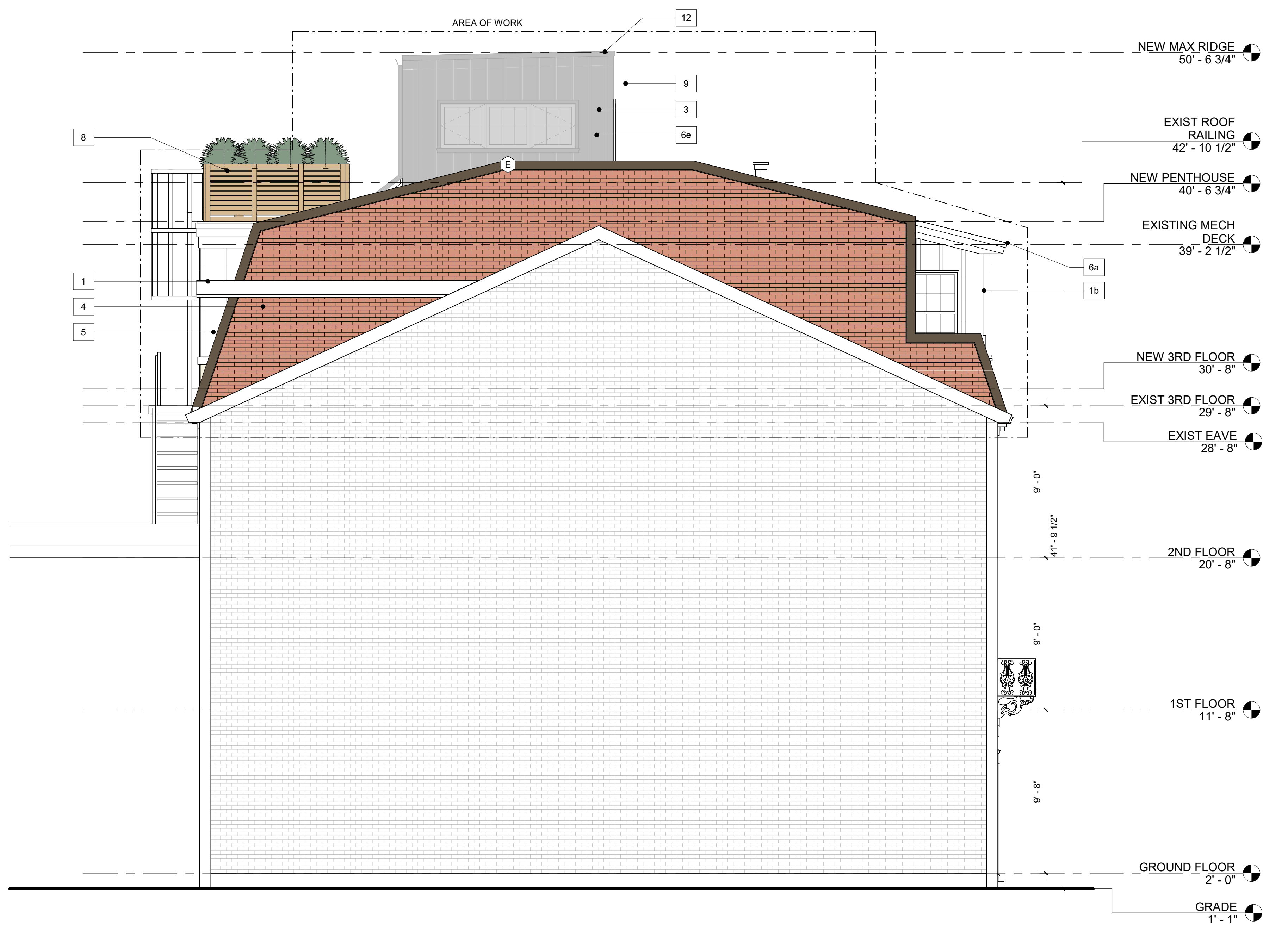
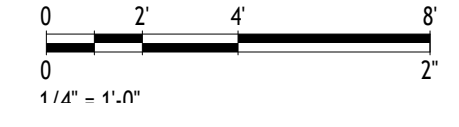


ELEVATION KEYNOTES

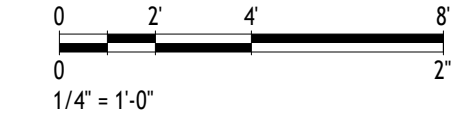
1. AZEK OR APPROVED SIMILAR SIDING
 - a. BOARD AND BATTEN
 - b. BEVEL- PAINTED TO MATCH EXISTING PAINTED BRICK BELOW.
2. SYNTHETIC SLATE SHINGLE ROOFING - BRAVA OR APPROVED EQUAL
3. METAL STANDING SEAM WALL PANEL
4. WOOD FRAMED PARTY WALL SYSTEM WITH THIN BRICK TO MATCH EXISTING NATURAL BRICK PARTY WALL BELOW
5. METAL COPING - COLOR TO MATCH METAL STANDING SEAM ROOFING AND WALL PANELS
6. AZEK OR APPROVED SIMILAR SIMULATED WOOD PRODUCTS
 - a. 1x4 TRIM ON 1x RAKE
 - b. 1x4 TRIM ON 1x FASCIA
 - c. 1x4 FRIEZE BOARD
 - d. 1x8 FRIEZE BOARD/ TRIM BAND
 - e. 5/4x4 WINDOW AND DOOR CASING, WITH APRON AT WINDOWS, TYP
 - f. 1x12 DECK BAND
7. COMPOSITE DECKING
 - a. WATERPROOF DECK SYSTEM ON PRESSURE TREATED FRAMING
8. CUSTOM CEDAR OR COMPOSITE PLANTERS
9. GUTTER AND OR DOWNSPOUT
10. BRICK CHIMNEY EXTENSION TO MATCH EXISTING
11. METAL RAIL SYSTEM
12. EPDM ROOF



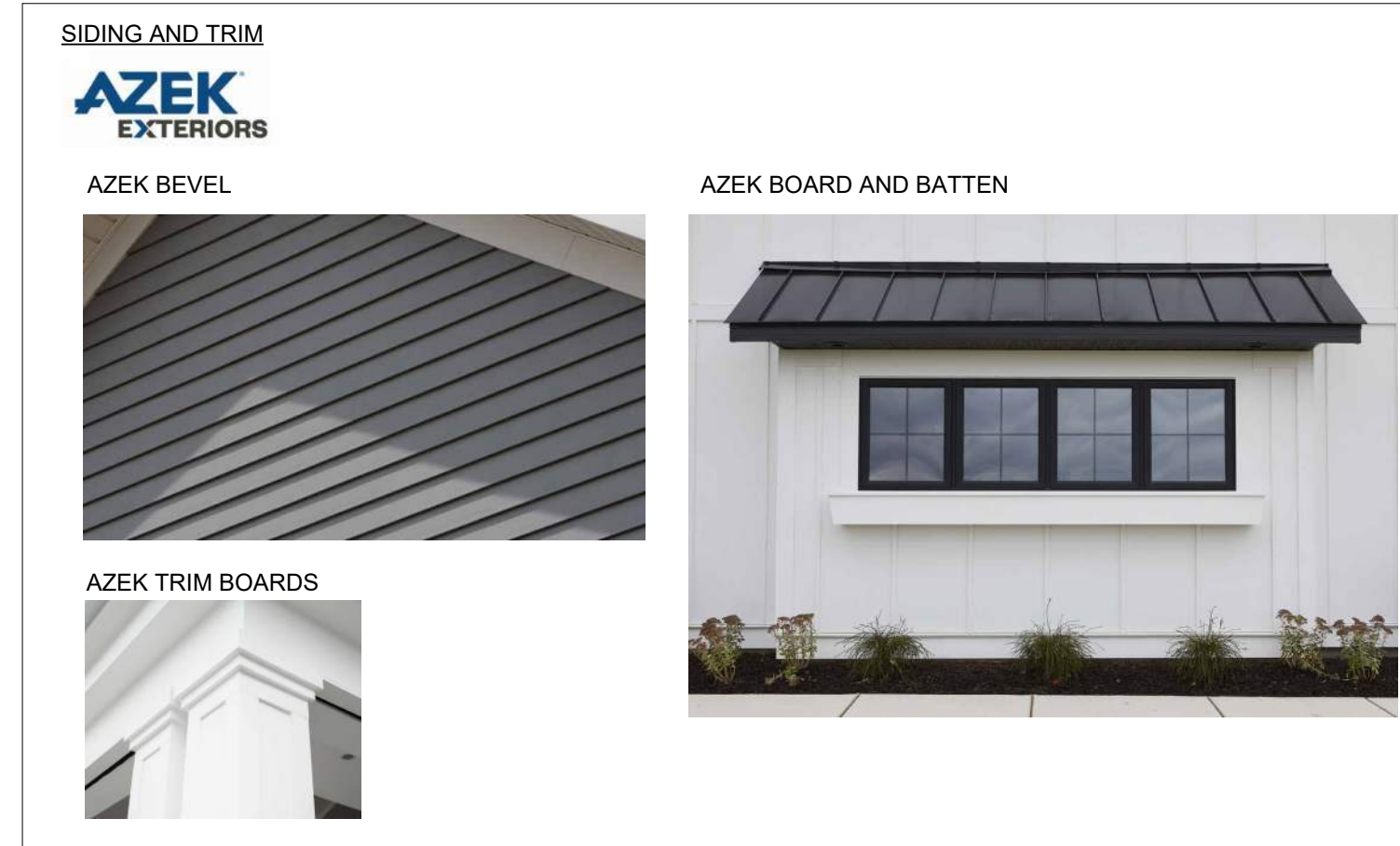
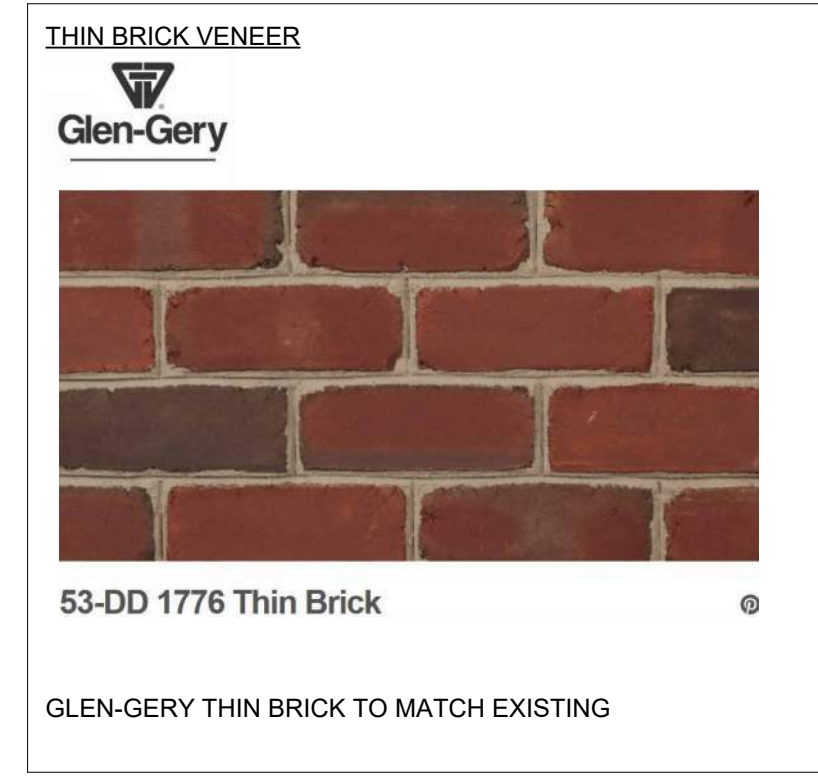
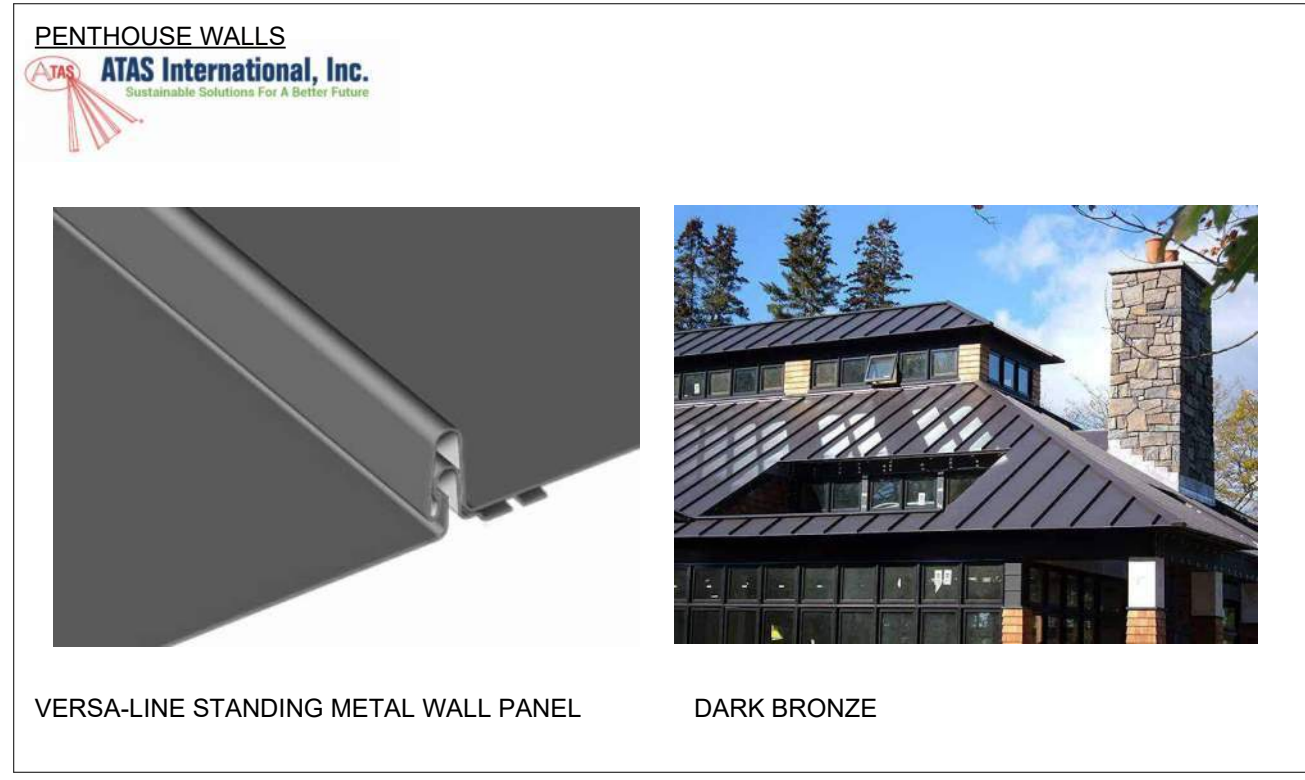
1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



PROPOSED MATERIALS



ELEVATION KEYNOTES

1. AZEK OR APPROVED SIMILAR SIDING
 - a. BOARD AND BATTEN
 - b. BEVEL- PAINTED TO MATCH EXISTING PAINTED BRICK BELOW.
2. SYNTHETIC SLATE SHINGLE ROOFING - BRAVA OR APPROVED EQUAL
3. METAL STANDING SEAM WALL PANEL
4. WOOD FRAMED PARTY WALL SYSTEM WITH THIN BRICK TO MATCH EXISTING NATURAL BRICK PARTY WALL BELOW
5. METAL COPING - COLOR TO MATCH METAL STANDING SEAM ROOFING AND WALL PANELS
6. AZEK OR APPROVED SIMILAR SIMULATED WOOD PRODUCTS
 - a. 1x4 TRIM ON 1x RAKE
 - b. 1x4 TRIM ON 1x FASCIA
 - c. 1x4 FRIEZE BOARD
 - d. 1x8 FRIEZE BOARD/ TRIM BAND
 - e. 5/8x4 WINDOW AND DOOR CASING, WITH APRON AT WINDOWS, TYP
 - f. 1x12 DECK BAND
7. COMPOSITE DECKING
 - a. WATERPROOF DECK SYSTEM ON PRESSURE TREATED FRAMING
8. CUSTOM CEDAR OR COMPOSITE PLANTERS
9. GUTTER AND OR DOWNSPOUT
10. BRICK CHIMNEY EXTENSION TO MATCH EXISTING
11. METAL RAIL SYSTEM
12. EPDM ROOF

Project Address: 21 Congress Street

Permit Requested: Certificate of Approval

Application: Public Hearing #1

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 5 & Downtown Overlay
- Land Use: Commercial
- Land Area: 24,300 SF +/-
- Estimated Age of Structure: c.1950 (Congress St. façade)
- Building Style: Modern
- Number of Stories: 2
- Historical Significance: NC
- Public View of Proposed Work: Congress Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: Renovations and new construction to the existing structure.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Renovations to the Fleet Street and Congress Street facades.
- New construction to the Haven Court façade (create new storefronts)
- Add additional penthouse level.



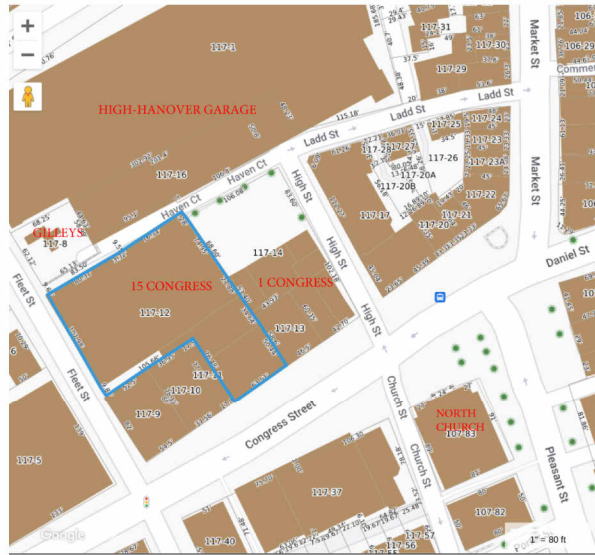
**HISTORIC
SURVEY
RATING
NC**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



PROJECT NARRATIVE

The Applicant, One Market Square, LLC, intends to merge and combine Map 0117 Lot 14 (with an address of 1 Congress Street and 15 High Street) with Map 0117 Lot 12 (with an address of 15 Congress Street).

Map 0117 Lot 14 is owned by One Market Square, LLC. Map 0117 Lot 12 is owned by Wenberry Associates, LLC., and the Applicant has a certain binding Purchase and Sale Agreement with Wenberry Associates, LLC.

This application includes newly proposed changes to 15 Congress Street (Map 0117 Lot 12), and revisions to 1 Congress Street (Map 0117 Lot 14) which was previously approved by HDC, and as modified by this application.

SITE

Significant improvements are proposed for Haven Court (private way owned by One Market Square, LLC) including utilities, hardscape pavers, cantenary lights, trash and recycling and landscaping. The design intent is to connect High Street with Fleet Street for the benefit of the public and to provide retail continuity, which is vital for retail success. The proposed Haven Court connection is supported by the Master Plan as part of an overall connection running from McIntyre to Vaughan Mall.

The existing grade on Haven Court will be changed to provide for a handicap accessible connection between High Street and Fleet Street.

BUILDING - 15 CONGRESS STREET (Map 0117 Lot 12)

Scope of work includes rehabilitation and adaptive reuse of existing structures, with minor accessory additions.

For newly proposed changes to 15 Congress Street (Map 0117 Lot 12), the following is proposed:

-New projecting storefronts with recessed entrance stoops are proposed along the north elevation of the property to create a retail experience between High Street and Fleet Street. The upper floors and roof top will be residential use. The lower floor will remain retail and restaurant uses.

-An egress stair tower, accessible elevator, and main entrance for the upper floors of residential will be accessed from Haven Court.

-A new rooftop penthouse, and secondary egress stair overrun are proposed at the existing roof. Existing flat roof will accommodate a roof deck with green roof elements for tenant use, solar PV panels, and mechanical equipment.

-The existing brick facade on Congress Street will be repaired and restored according to historic photographs. The existing brick facade on Fleet Street will be repaired, with new awning proposed at storefront windows and entrances.

**1 CONGRESS STREET
(MAP 0117 LOT 14)
&
15 CONGRESS STREET
(MAP 0117 LOT 12)**

**RENOVATION & ADDITIONS
1 & 15 CONGRESS STREET
ONE MARKET SQUARE, LLC
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING 1
NOVEMBER 2024**

BUILDING - 1 CONGRESS STREET (Map 0117 Lot 14)

AS PREVIOUSLY APPROVED:

REHABILITATION AND ADAPTIVE REUSE OF EXISTING HISTORIC STRUCTURES WITH A NEW ADJACENT STRUCTURE ON REAR SURFACE PARKING LOT.

ONE LEVEL OF BELOW GRADE PARKING IS PROPOSED. RETAIL IS LOCATED AT FIRST FLOOR WITH RESIDENTIAL UNITS AND OFFICE SPACE ABOVE.

EXISTING FOCAL BUILDINGS ON CONGRESS AND HIGH STREETS WILL BE REPAIRED, RESTORED AND BROUGHT UP TO CURRENT CODES. THE SMALLER WOODEN SHED ADDITIONS TO THE REAR OF THESE BUILDINGS WILL BE REPLACED WITH NEW CONSTRUCTION.

REVISIONS TO PREVIOUSLY APPROVED APPLICATION:

1. **EXTEND THE REAR OF PROPOSED ADDITION (WEST FACADE) TEN FEET FURTHER WEST TO THE PROPERTY LINE, TO CONNECT WITH THE ABUTTING EXISTING BUILDING AT 15 CONGRESS STREET.**
2. **ADD NEW ENTRANCE DOOR AND CANOPY ALONG HAVEN COURT AT EXPANDED BUILDING AREA ABUTTING 15 CONGRESS STREET. THIS WILL BE THE PRIMARY ENTRANCE FOR RESIDENTS OF 15 CONGRESS STREET.**
3. **REPLACE WEST SKYLIGHTS AT ATTIC LEVEL WITH RECESSED BALCONIES.**
4. **EXTEND PREVIOUSLY APPROVED FACADE MATERIALS FURTHER DOWN, RANGING 0 TO 53 INCHES, TO MEET THE PROPOSED LOWERED GRADE AT HAVEN COURT.**

HN0.01 COVER
1-15 CONGRESS STREET

10/18/24



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DRAWING INDEX - 15 CONGRESS STREET

HN0.00 - COVER
HN0.11 - HISTORIC CONDITIONS, SITE MAPS
HN0.12 - HISTORIC CONDITIONS, CONGRESS STREET
HN0.13 - HISTORIC CONDITIONS, FLEET STREET
HN0.14 - HISTORIC CONDITIONS, HAVEN COURT

HN1.01 - SITE SURVEY, EXISTING
HN1.02 - SITE PLAN, PROPOSED
HN1.03 - LANDSCAPE PLAN
HN1.04 - ROOF PLAN

HN2.00 - EAST ELEVATION
HN2.01 - NORTH ELEVATION - HAVEN COURT
HN2.02 - WEST ELEVATION, FLEET STREET
HN2.03 - S/E ELEVATIONS, SOUTH ALLEY
HN2.04 - SOUTH ELEVATION - CONGRESS ST
HN2.05 - ROOF DECK ELEVATIONS

HN3.01 - DETAIL - CONGRESS STREET
HN3.02 - DETAIL - HAVEN COURT, BAY WINDOW
HN3.03 - DETAIL - HAVEN COURT, BRICK WALL
HN3.04 - DETAIL - HAVEN COURT, ENTRANCE
HN3.05 - DETAIL - HAVEN COURT, EAST CORNER
HN3.06 - DETAIL - FLEET STREET, NORTH ENTRANCE
HN3.07 - DETAIL - FLEET STREET, STOREFRONT
HN3.08 - DETAIL - SOUTH ALLEY, STOREFRONT

HN4.01 - PERSPECTIVE NW FLEET STREET
HN4.02 - PERSPECTIVE NE HAVEN COURT
HN4.03 - PERSPECTIVE SOUTH ALLEY
HN4.04 - PERSPECTIVE CONGRESS STREET
HN4.05 - PERSPECTIVE, NORTH ENTRY

HN5.00 - WINDOW, DOOR & FRAME TYPES
HN5.01 - STOREFRONTS & CURTAIN WALLS

HN6.00 - MATERIALS, SCHEDULE
HN6.01 - MATERIALS, WINDOWS
HN6.02 - MATERIALS, SKYLIGHTS
HN6.03 - MATERIALS, STOREFRONT
HN6.04 - MATERIALS, CLADDING & ROOFING
HN6.05 - MATERIALS, MASONRY
HN6.06 - MATERIALS, SPECIALTIES

DRAWING INDEX - 1 CONGRESS STREET (**REVISIONS** TO PREVIOUSLY APPROVED APPLICATION)

H5.01 COVER
H5.10 SITE PLAN
H5.11 DEMOLITION PLAN
H5.12 DEMOLITION ELEVATIONS
H5.14 FIRST FLOOR PLAN (revised)

H5.16 AVERAGE GRADE PLANE CALCULATIONS
H5.17 ROOF AREAS CALCULATIONS

H5.20 ROOF HEIGHT DETAIL - HAVEN CT
H5.21 ELEVATION - CONGRESS STREET
H5.22 ELEVATION - HIGH STREET
H5.23 ELEVATION - HAVEN COURT (revised)
H5.24 ELEVATION - REAR (WEST) ALLEY (revised)

H5.32 VINGNETTE - CONGRESS STREET
H5.33 VINGNETTE - HIGH ST FROM CONGRESS ST
H5.34 VINGNETTE - HIGH ST FROM BUS STOP
H5.35 VINGNETTE - HAVEN CT FROM LADD ST (revised)
H5.36 VINGNETTE - HIGH ST AT LADD ST & HAVEN CT (revised)

H4.41 DETAILS

H5.50 MATERIALS - WINDOWS
H5.51 MATERIALS - FENESTRATION
H5.52 MATERIALS - ARCADE FENESTRATION
H5.53 MATERIALS - CLADDING
H5.54 MATERIALS - CLADDING
H5.55 MATERIALS - STOREFRONT & LIGHTING SCONCE

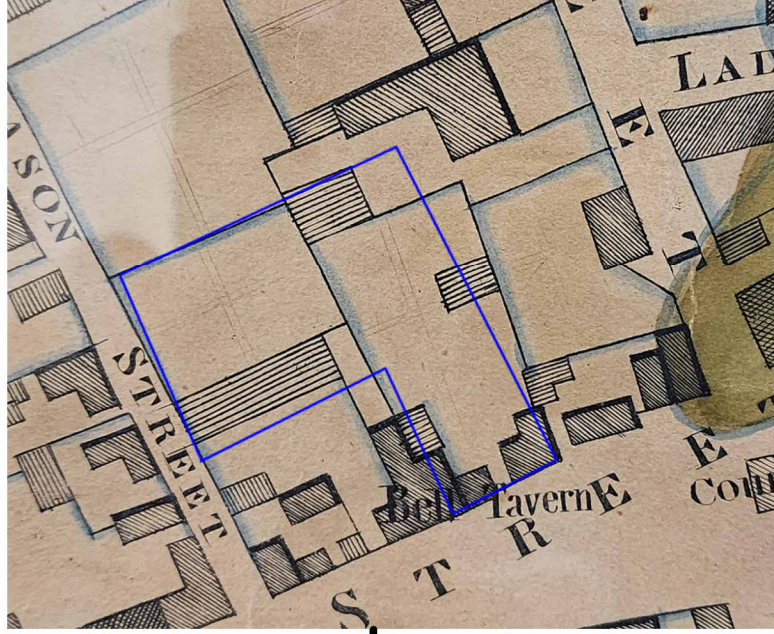
HN0.02 **DRAWING INDEX**
1-15 CONGRESS STREET

10/18/24



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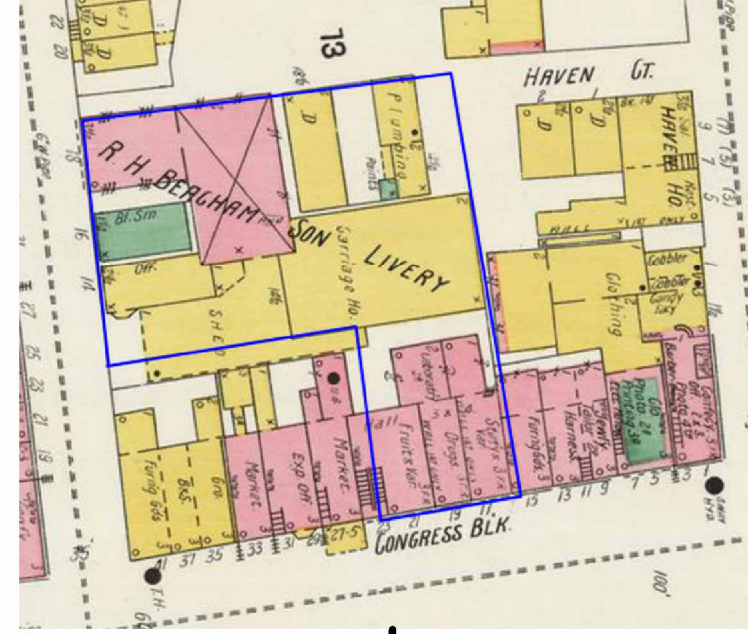
MAP BOUNDARIES



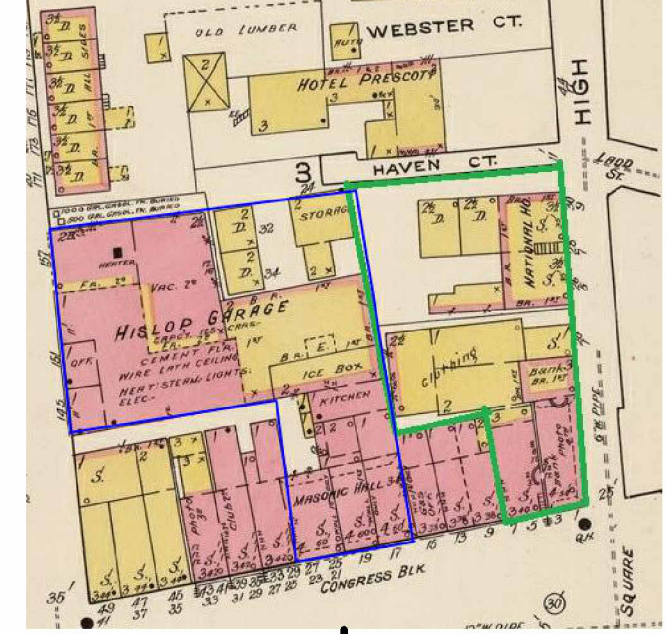
1813
STABLES & COMMERCE



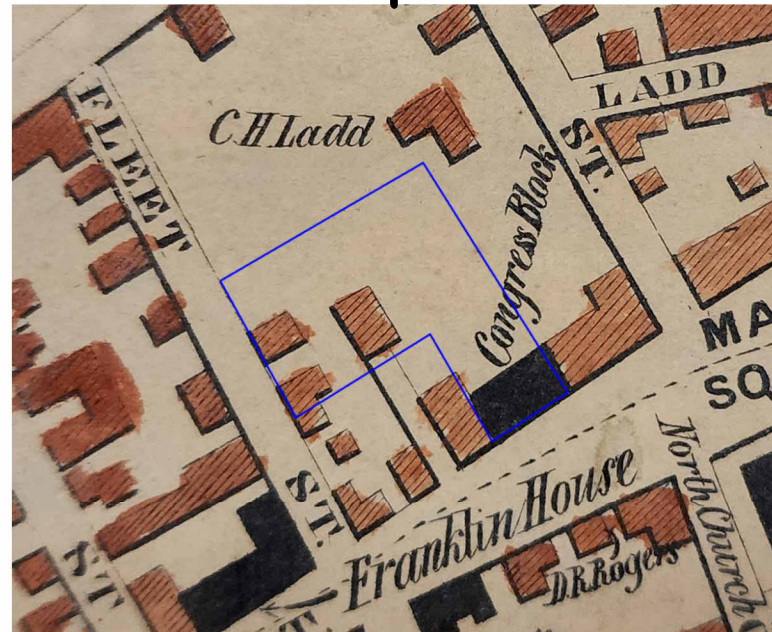
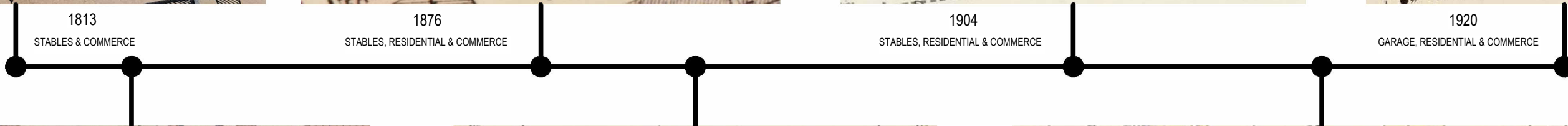
1876
STABLES, RESIDENTIAL & COMMERCE



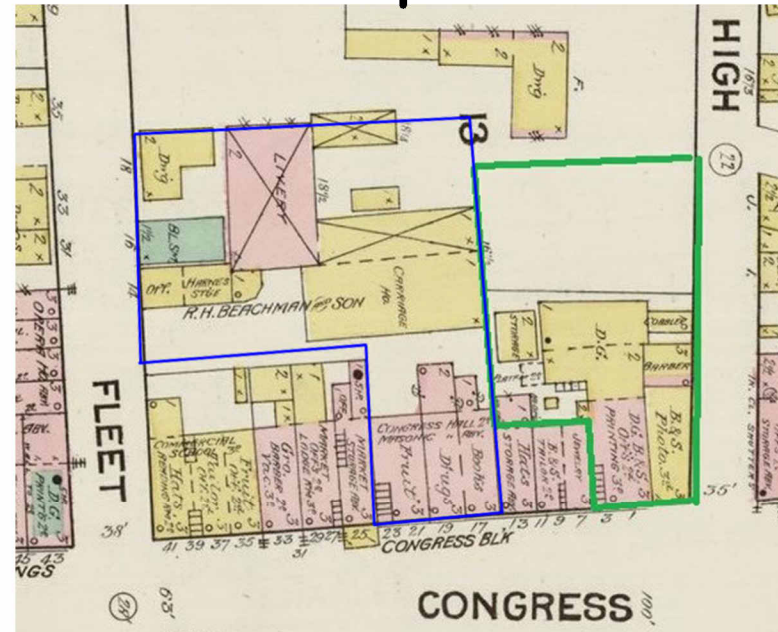
1904
STABLES, RESIDENTIAL & COMMERCE



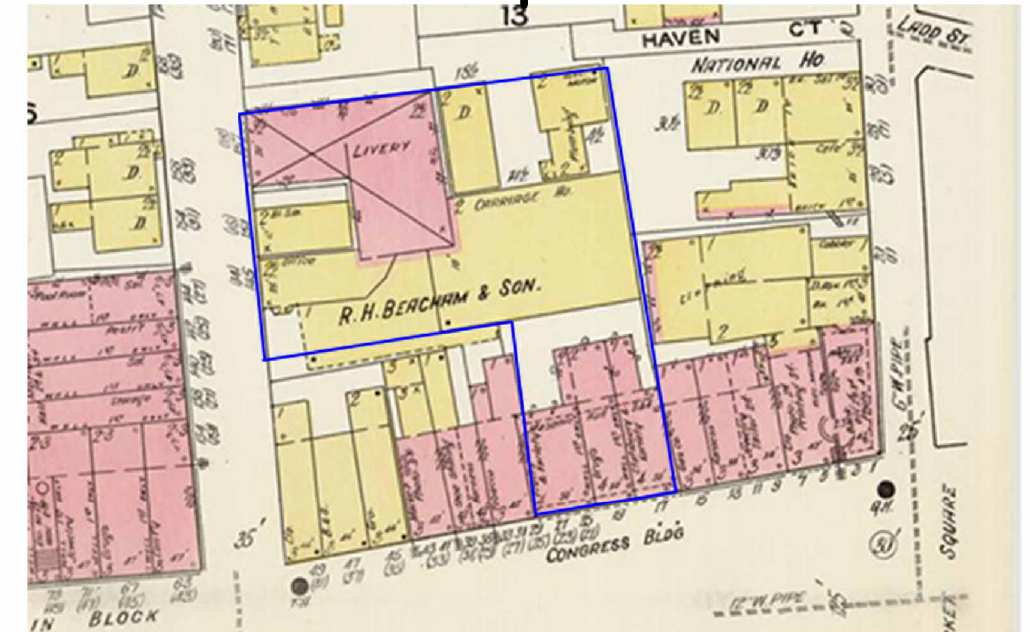
1920
GARAGE, RESIDENTIAL & COMMERCE



1850
STABLES, RESIDENTIAL & COMMERCE



1887
STABLES, RESIDENTIAL & COMMERCE



1910
STABLES, RESIDENTIAL & COMMERCE

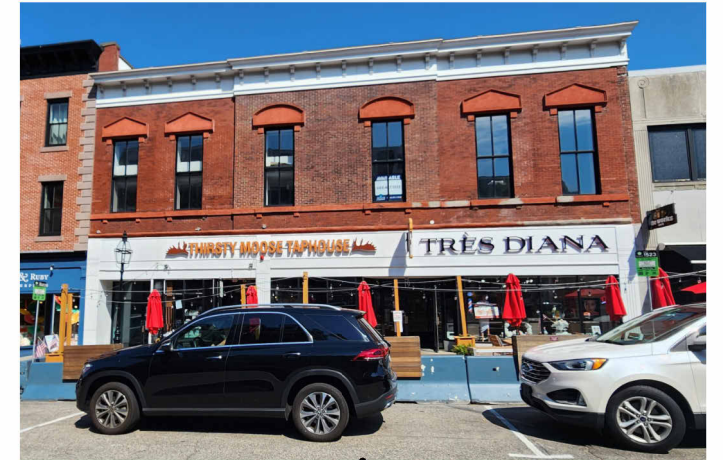
HN0.11 HISTORIC CONDITIONS, SITE MAPS
1-15 CONGRESS STREET

10/18/24



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CONGRESS STREET



PRIOR TO THE BELL TAVERN FIRE OF MARCH, 1867
MULTIPLE COMMERCE TENANTS
RESIDENTIAL ABOVE

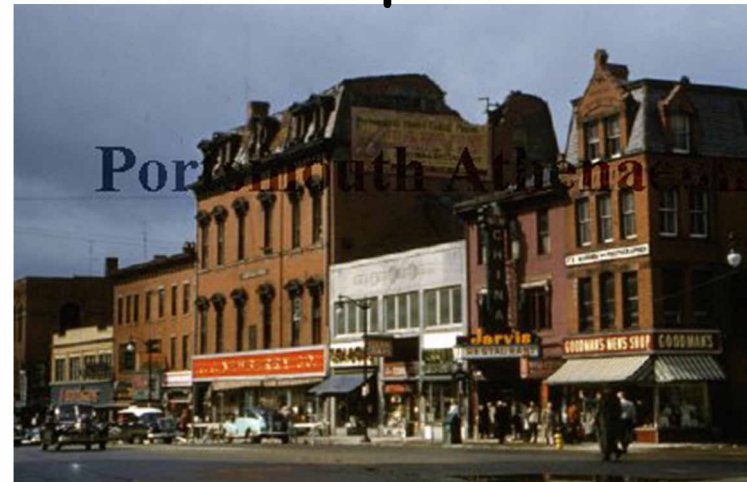
1955
NEWBERRY

1980
NEWBERRY

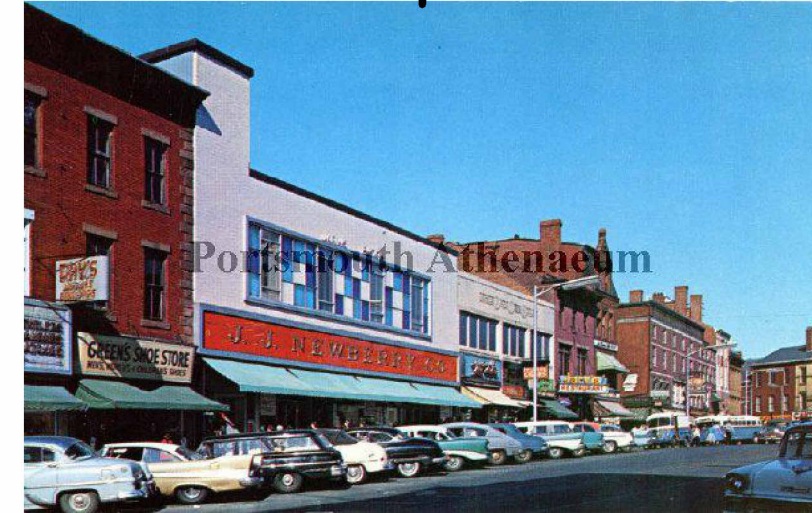
2024
EXISTING



1890
PRESTON'S PHARMACY
RESIDENTIAL ABOVE



FIRE FEB 29TH, 1956



1988
NEWBERRY



DEMOLITION AFTER THE FIRE

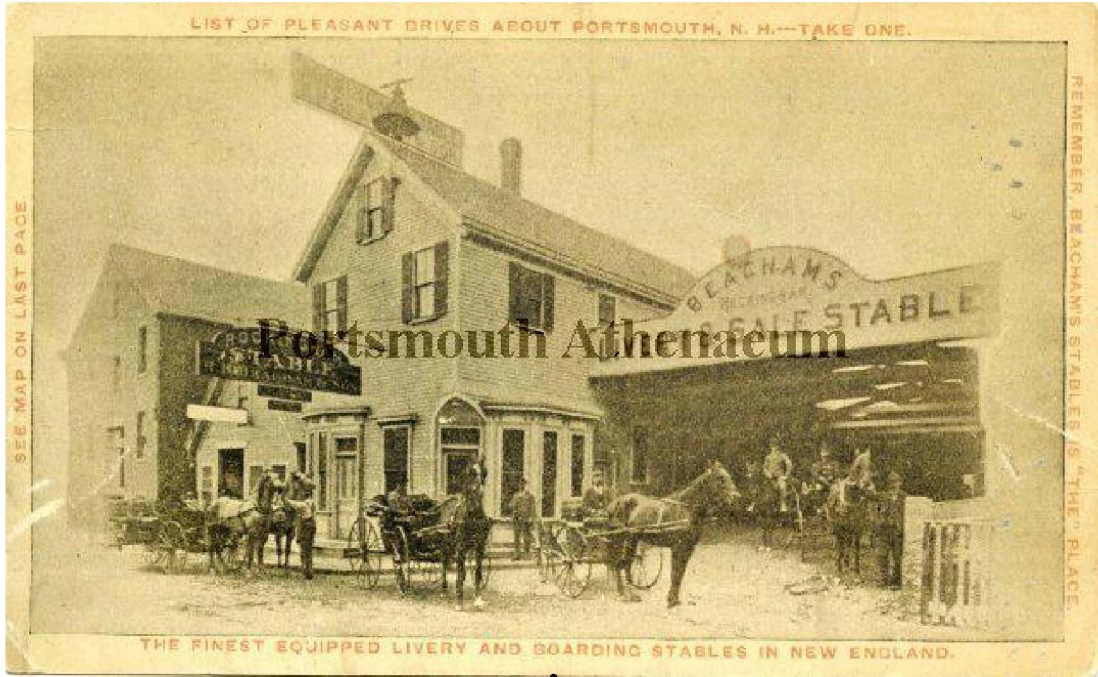
HN0.12 HISTORIC CONDITIONS, CONGRESS
1-15 CONGRESS STREET

10/18/24

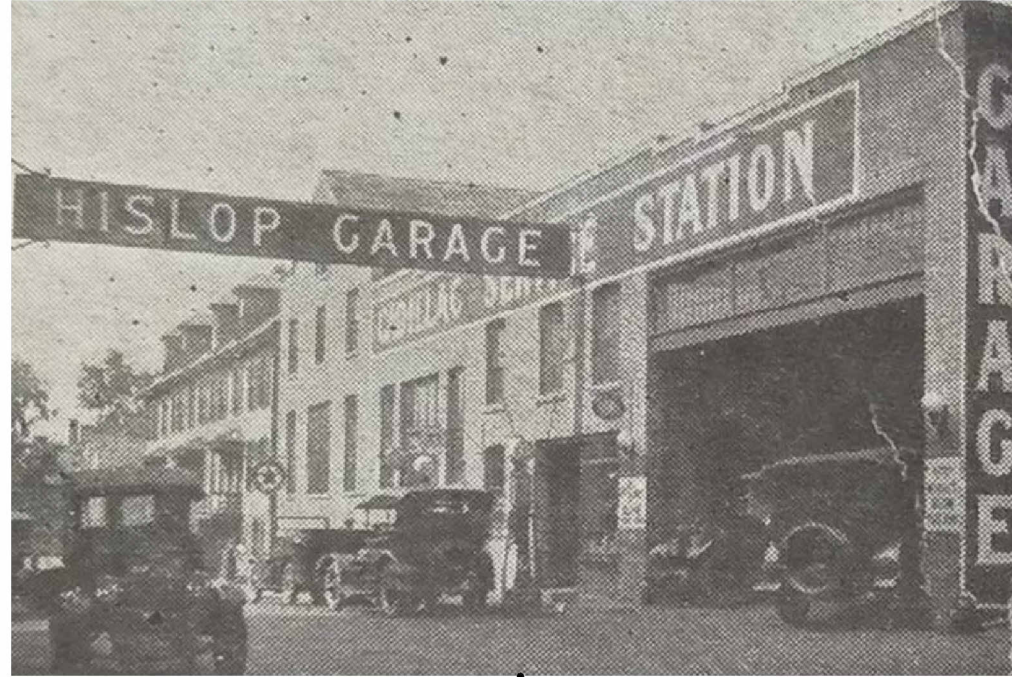


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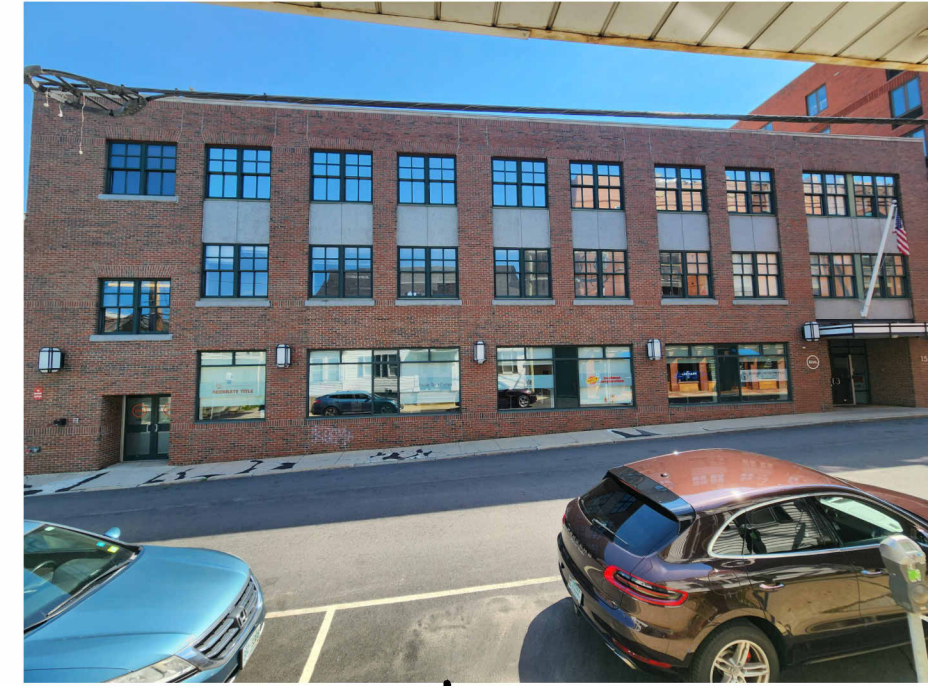
FLEET STREET



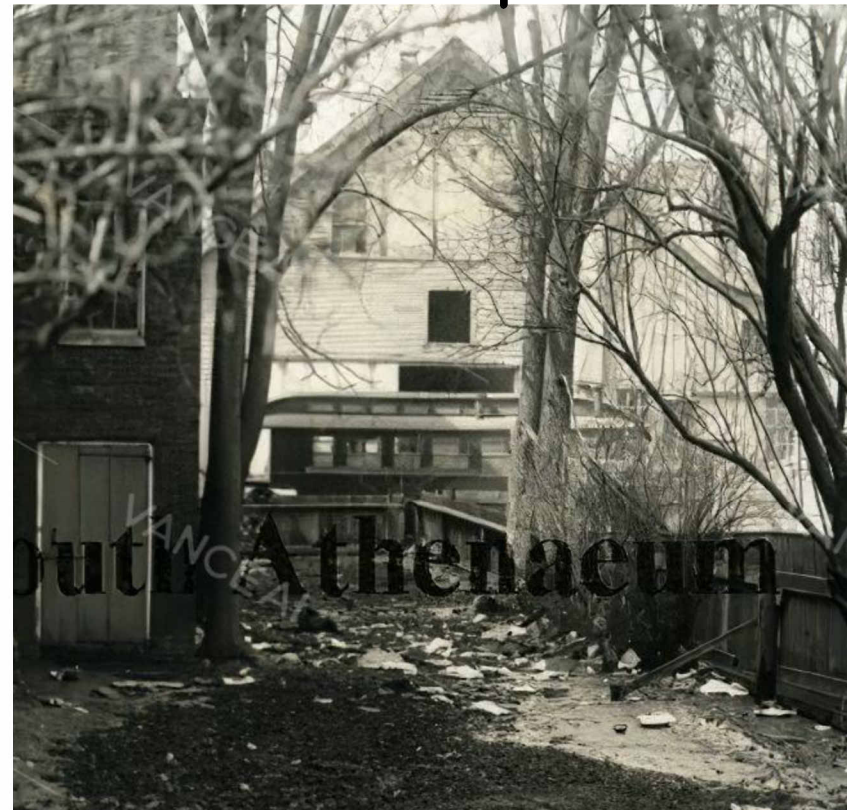
1900
HAVEN HOUSE YARD LOOKING TOWARDS
THE BACK OF LIVERY STABLES



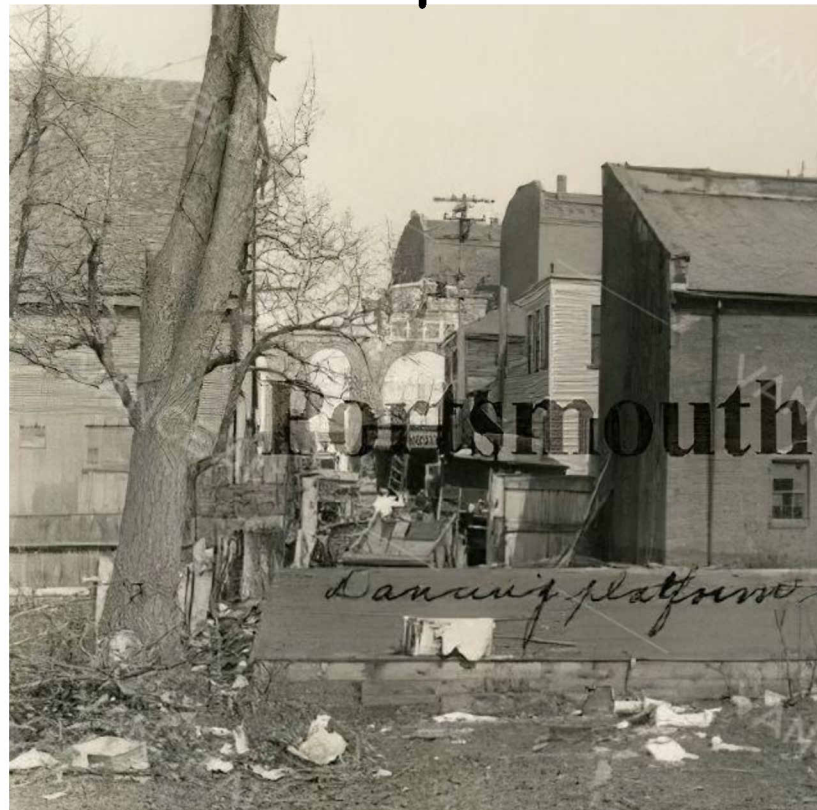
1910-1951
HISLOP GARAGE OWNED BY LIVERY STABLES UNTIL 1912



2024
EXISTING



1907
HAVEN HOUSE YARD LOOKING TOWARDS
THE BACK OF LIVERY STABLES



1907-1910
HAVEN HOUSE YARD LOOKING TOWARDS
THE BACK OF LIVERY STABLES



1927-1991
NEWBERRY COMPANY LIFESPAN

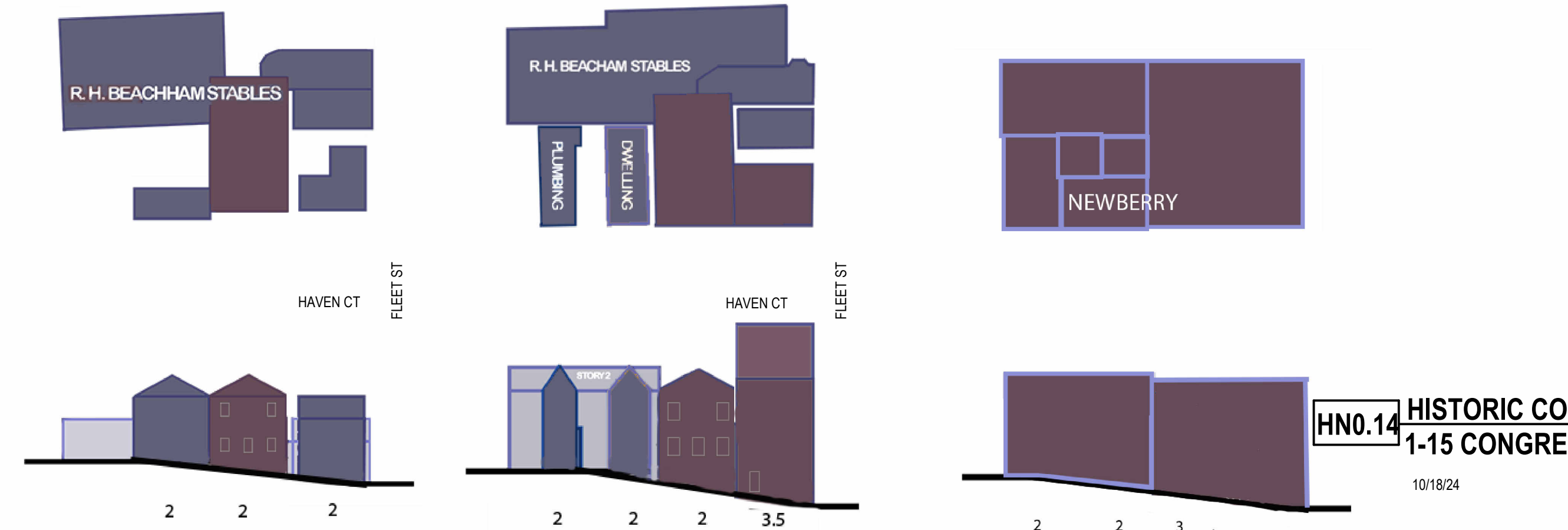
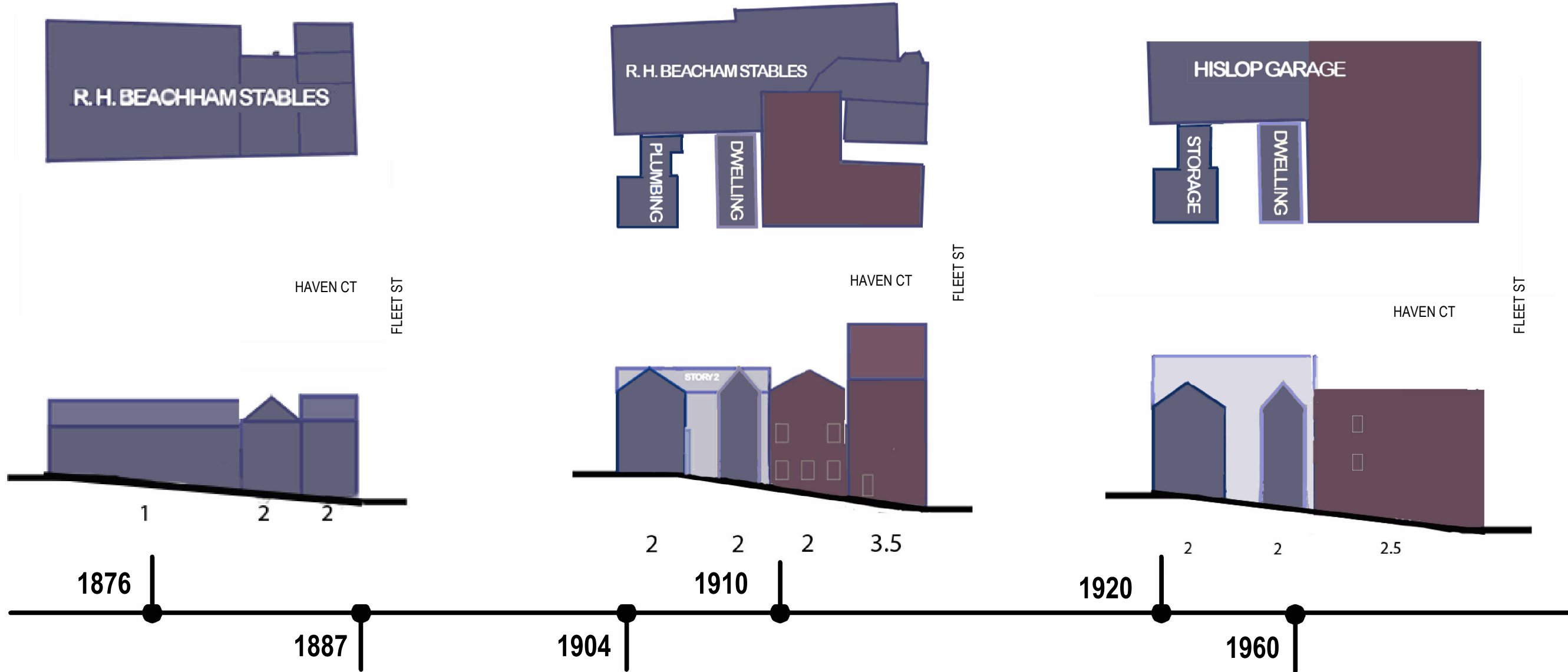
HN0.13 HISTORIC CONDITIONS, FLEET ST
1-15 CONGRESS STREET

10/18/24



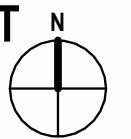
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HAVEN COURT



HN0.14 HISTORIC CONDITIONS, HAVEN CT
1-15 CONGRESS STREET

10/18/24



PLAN REFERENCES:

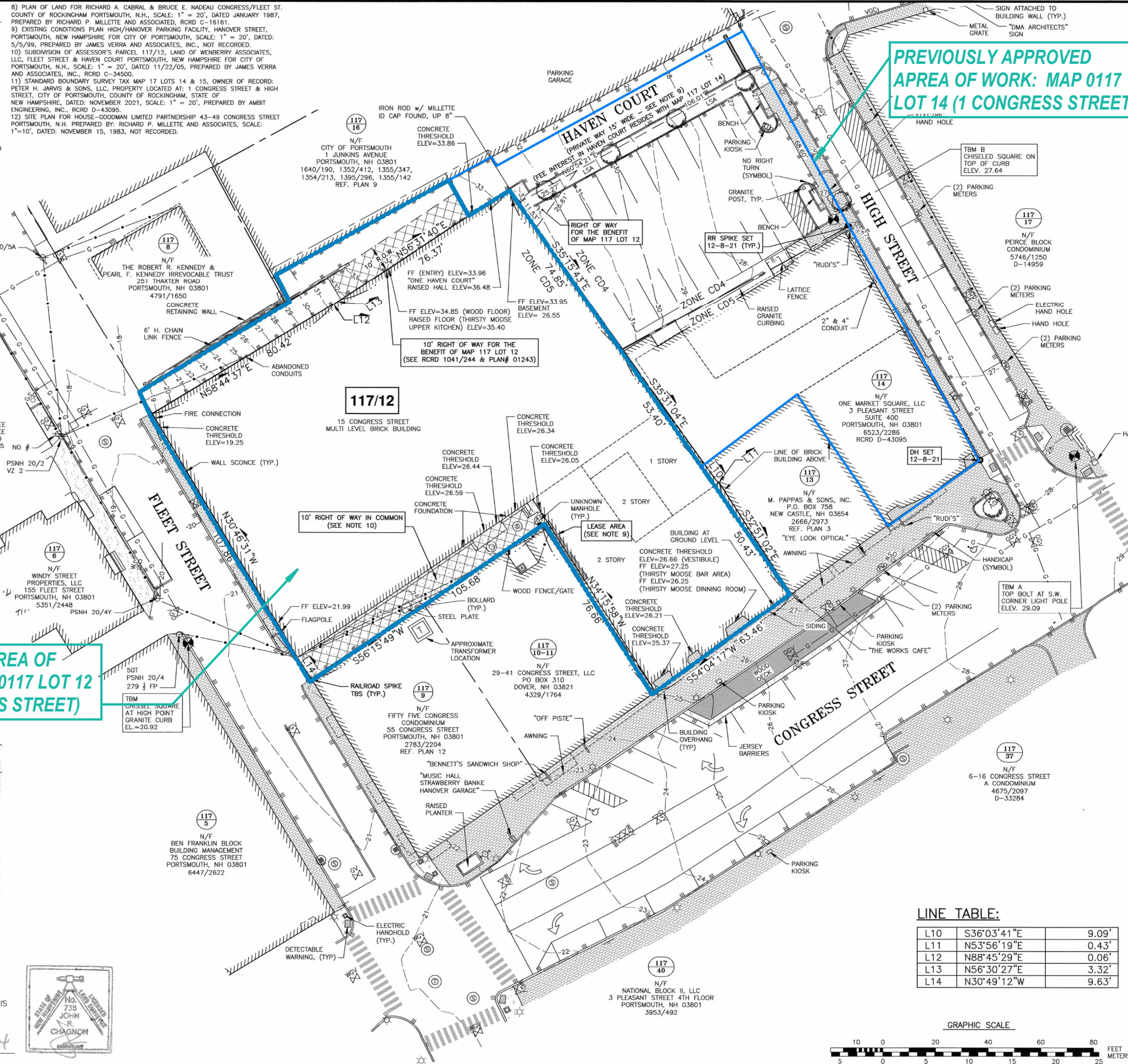
- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH, N.H., BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN. = 20 FT., DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1 IN. = 20 FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1 IN. = 20 FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1 IN. = 20 FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE: 1 IN. = 40 FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 02537.
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1 IN. = 10 FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161.
- 9) EXISTING CONDITIONS PLAN HIGH/HANOVER PARKING FACILITY, HANOVER STREET, PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, SCALE: 1" = 20', DATED: 5/5/99, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., NOT RECORDED.
- 10) SUBDIVISION OF ASSessor'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.
- 11) STANDARD BOUNDARY SURVEY TAX MAP 17 LOTS 14 & 15, OWNER OF RECORD: PETER H. JARVIS & SONS, LLC, PROPERTY LOCATED AT: 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, DATED: NOVEMBER 2021, SCALE: 1" = 20', PREPARED BY AMBIT ENGINEERING, INC., RCRD D-43095.
- 12) SITE PLAN FOR HOUSE-GOODMAN LIMITED PARTNERSHIP 43-49 CONGRESS STREET PORTSMOUTH, N.H. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SCALE: 1"=10', DATED: NOVEMBER 15, 1983, NOT RECORDED.

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- BOUND FOUND BOUND FOUND
- S SEWER LINE
- G GAS LINE
- D STORM DRAIN
- W WATER LINE
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC WIRES
- CONTOUR CONTOUR
- 100 SPOT ELEVATION
- 97x3 EDGE OF PAVEMENT (EP)
- UTILITY POLE
- WATER SHUT OFF/CURB STOP
- GAS SHUT OFF
- GATE VALVE
- HYD HYDRANT
- METER (GAS, WATER, ELECTRIC)
- CATCH BASIN
- TELEPHONE MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- EL. ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- INV INVERT
- TBM TEMPORARY BENCH MARK
- TYP TYPICAL
- VGC/SGC VERTICAL/SLOPED GRANITE

PROPOSED AREA OF WORK: MAP 0117 LOT 12 (15 CONGRESS STREET)

PREVIOUSLY APPROVED AREA OF WORK: MAP 0117 LOT 14 (1 CONGRESS STREET)



LOCATION MAP 1" = 300'

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOT 12.
 - 2) OWNERS OF RECORD: WENBERRY ASSOCIATES, LLC C/O CP MANAGEMENT 11 COURT STREET SUITE 100 EXETER, N.H. 03833 3060/164
 - 3) PARCEL IS LOCATED IN CHARACTER DISTRICT 5.
 - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
 - 5) EXISTING LOT AREA: 23,708 S.F. 0.5443 ACRES
 - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY AND EXISTING CONDITIONS ON ASSESSORS MAP 117 LOT 12.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
 - 9) PARCEL IS SUBJECT TO A LEASE AGREEMENT FOR A PORTION OF LESSEE'S WALL IS ENROACHING ON SUBJECT PARCEL. SEE RCRD 1512/410 & 1690/130.
 - 10) PARCEL IS SUBJECT TO A RIGHT OF WAY IN COMMON FOR PASSAGE AND UTILITIES AND GENERAL PURPOSES PER DEEDS. SEE RCRD 322/318, 322/380, 322/381, 348/80, 348/81, 348/82, 1484/44, 2713/797, AND RCRD C-16161.
 - 11) PARCEL IS SUBJECT TO A UTILITY EASEMENT TO P.S.N.H. FROM UTILITY POLE 20/4 ON FLEET STREET EASTERLY TO GRATORS EASTERLY BOUNDARY. SEE RCRD 3124/695.
 - 12) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

0	7/24/24	ISSUED FOR COMMENT	RJB	JRC
No.	DATE	DESCRIPTION	BY	CHK.

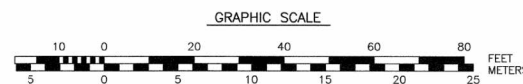
HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282

PROJECT:
APPLICANT: ONE MARKET SQUARE, LLC
15 CONGRESS STREET PORTSMOUTH, N.H.

TITLE:
EXISTING CONDITIONS PLAN

LINE TABLE:

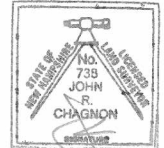
L10	S36°03'41"E	9.09'
L11	N53°56'19"E	0.43'
L12	N88°45'29"E	0.06'
L13	N56°30'27"E	3.32'
L14	N30°49'12"W	9.63'



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

John R. Chagnon
JOHN R. CHAGNON, LLS 738

7-24-24
DATE

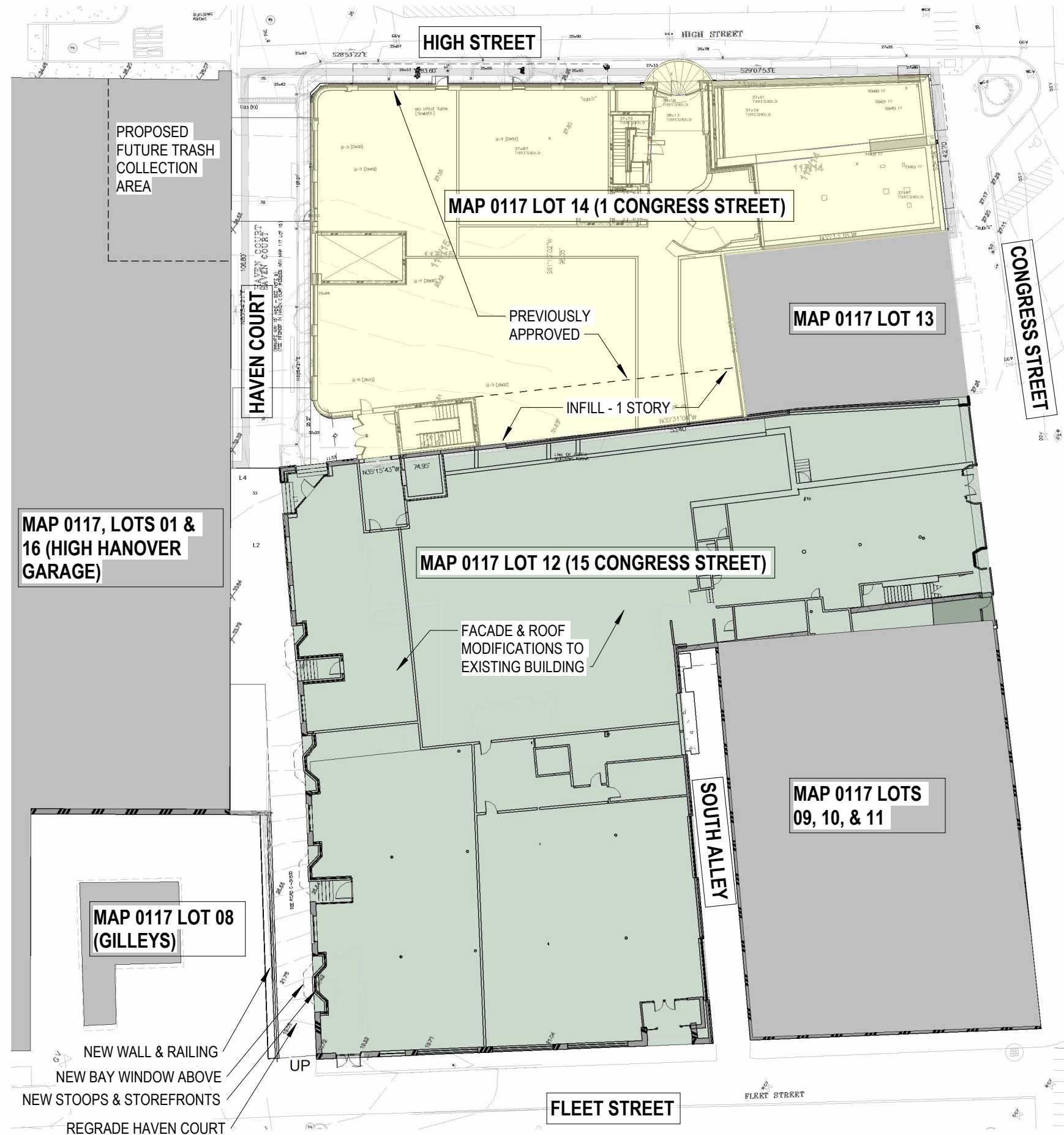


HN1.01 SITE SURVEY, EXISTING 1-15 CONGRESS STREET

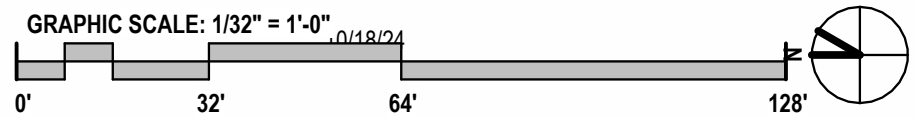
10/18/24

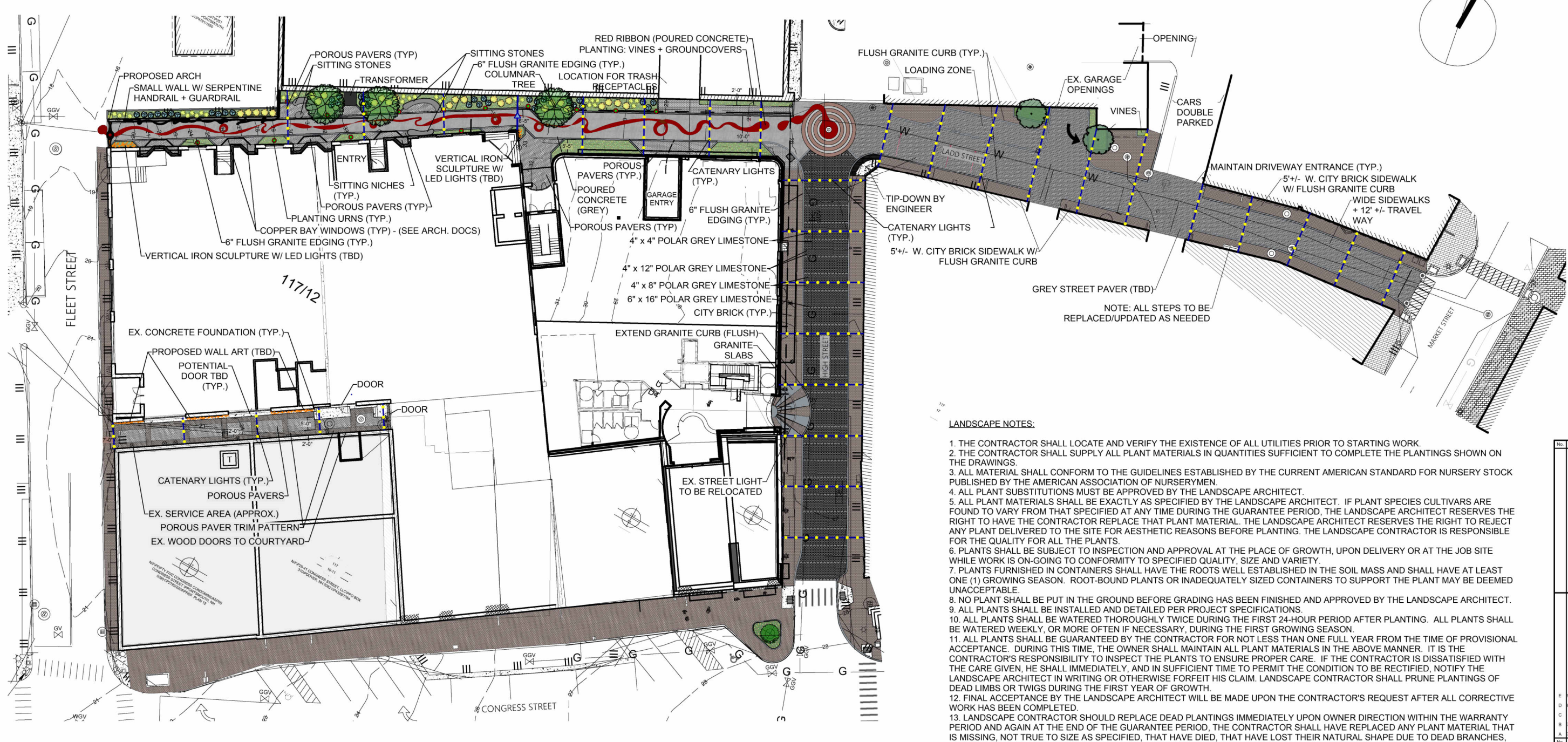
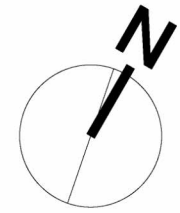
SHEET 1 C1





**HN1.02 SITE PLAN, PROPOSED
1-15 CONGRESS STREET**





terra firma
landscape architecture
163 a court street - portsmouth, nh 03801
office: 603.430.8588 | terrence@terrafirmalandscape.com

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.



HN1.03 LANDSCAPE PLAN
1-15 CONGRESS STREET

PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE.

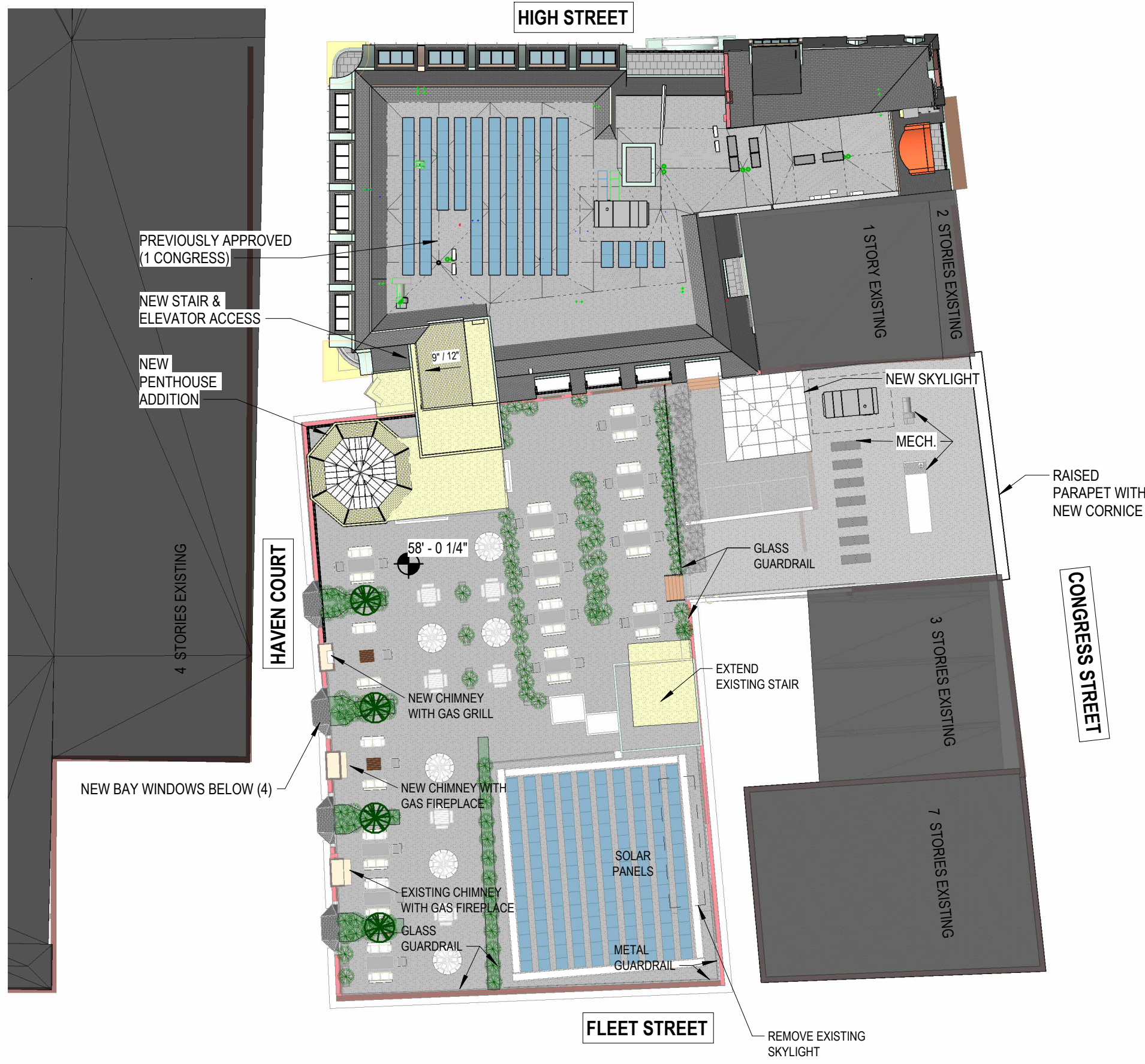
10/18/24

No.	Date	By	Revision Notes
E	9/20/2024		CATENARY LIGHT ADJUSTMENT
D	8/12/2024		SITE AMENITIES AND MATERIALS UPDATED
C	8/2/2024		ALLEY DOOR LOCATION UPDATES
B	7/31/2024		SHEET UPDATES
A	7/24/2024		SOUTH ALLEY UPDATES

No.	Date	Issue Notes

terra firma landscape architecture 163 a Court Street Portsmouth, NH 03801	
NEWBERRY WAY	
LANDSCAPE PLAN	
Project No.	NEWBERRY WAY
Scale	1"=20'-0"
Sheet No.	L-01
Date	7/18/2024
File Name	newberry2024.vrx
Page	1

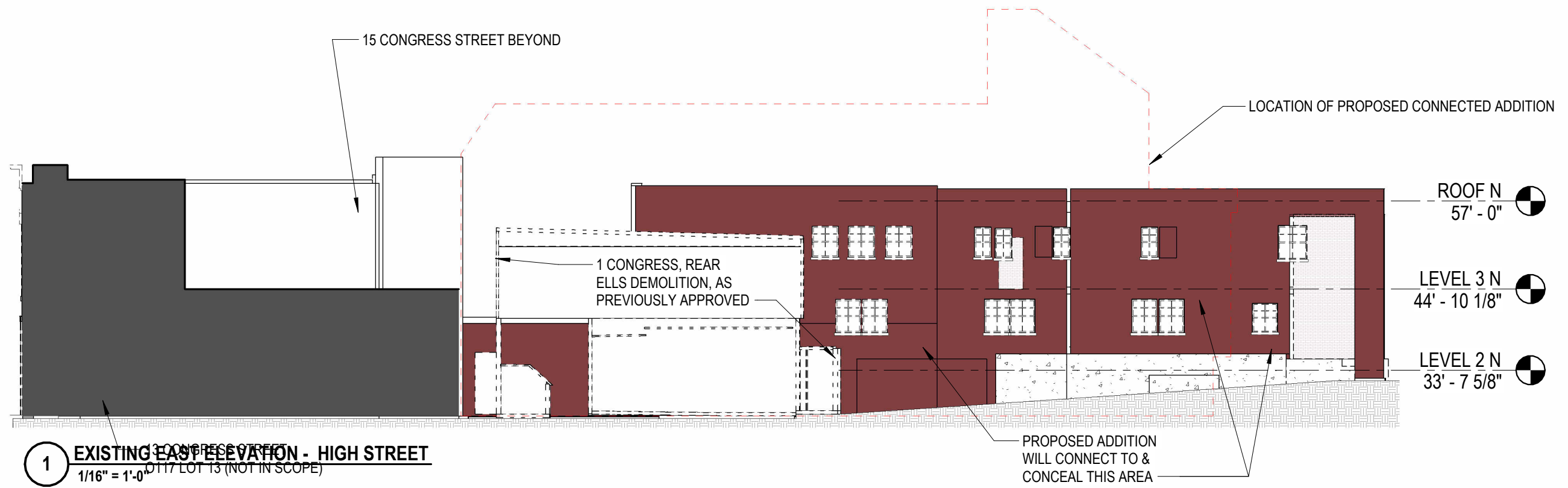




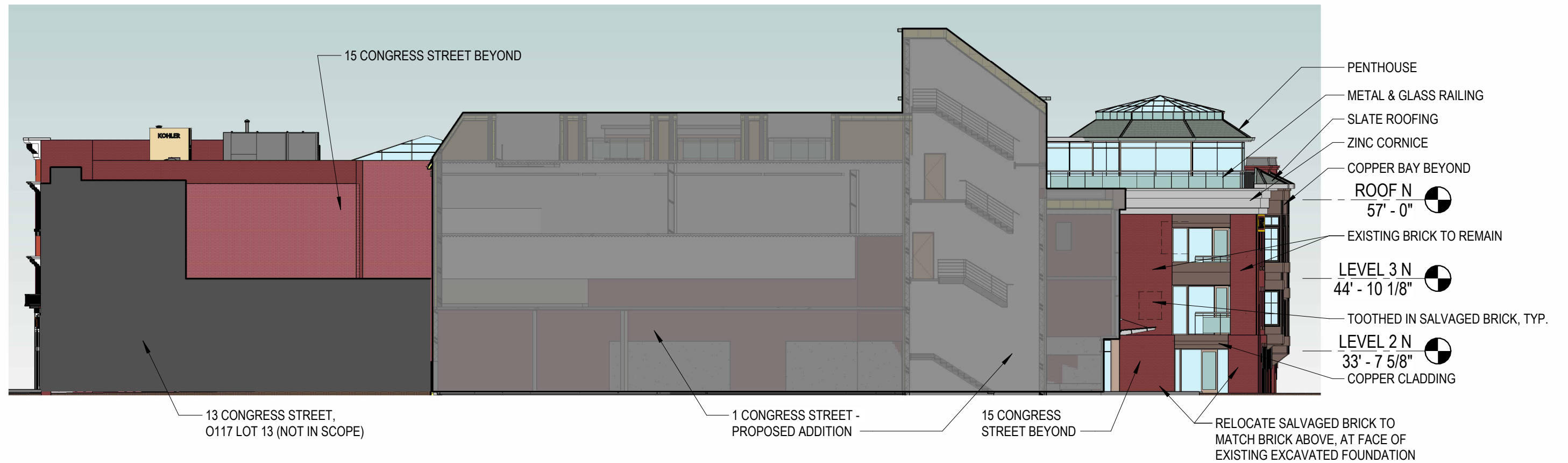
1 ROOF PLAN
1/32" = 1'-0"

HN1.04 ROOF PLAN
1-15 CONGRESS STREET

GRAPHIC SCALE: 1/32" = 1'-0" 0/18/24



1 EXISTING EAST ELEVATION - HIGH STREET
1/16" = 1'-0"

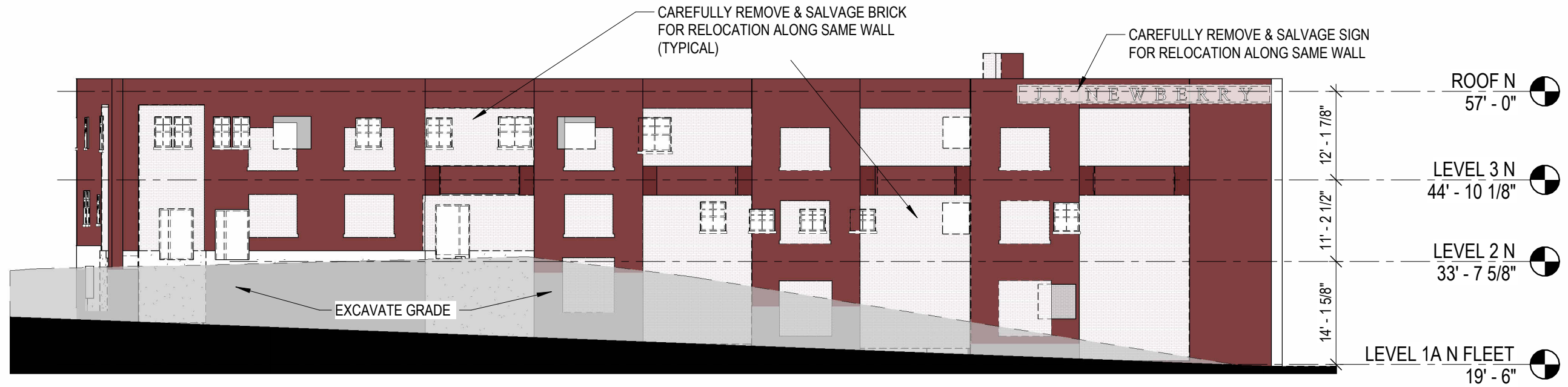


2 EAST ELEVATION - PROPOSED
1/16" = 1'-0"

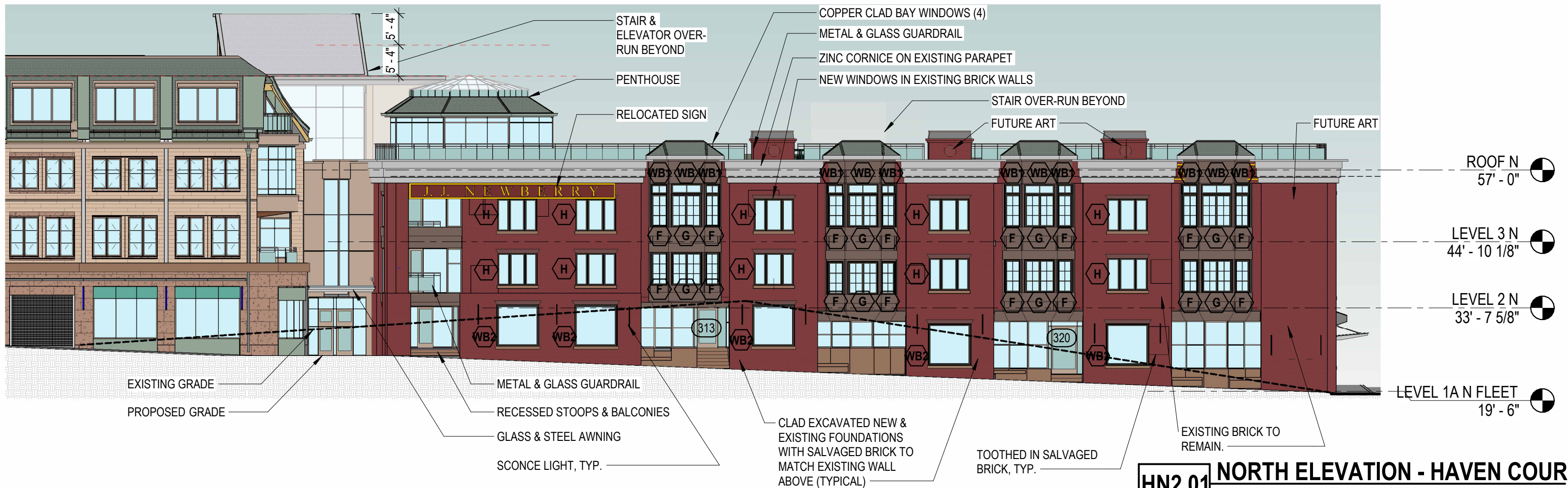
**HN2.00 EAST ELEVATION
1-15 CONGRESS STREET**

10/18/24

EXISTING TO REMAIN
 AREA TO BE REMOVED



2 EXISTING NORTH ELEVATION - HAVEN COURT
 1/16" = 1'-0"



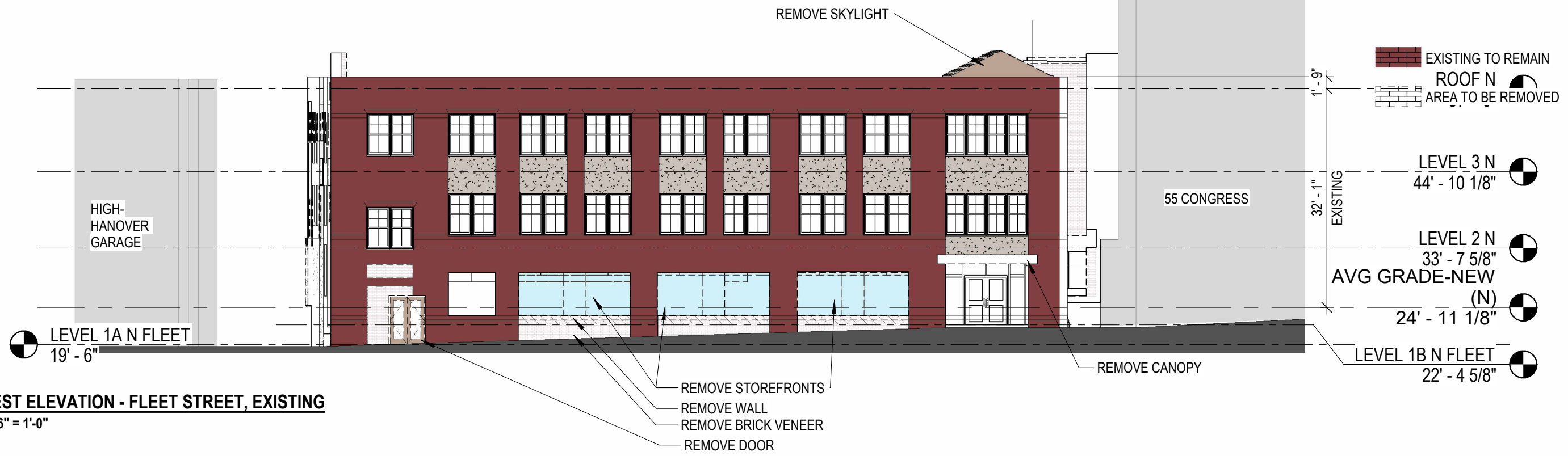
1 PROPOSED NORTH ELEVATION - HAVEN COURT
 1/16" = 1'-0"

**HN2.01 NORTH ELEVATION - HAVEN COURT
 1-15 CONGRESS STREET**

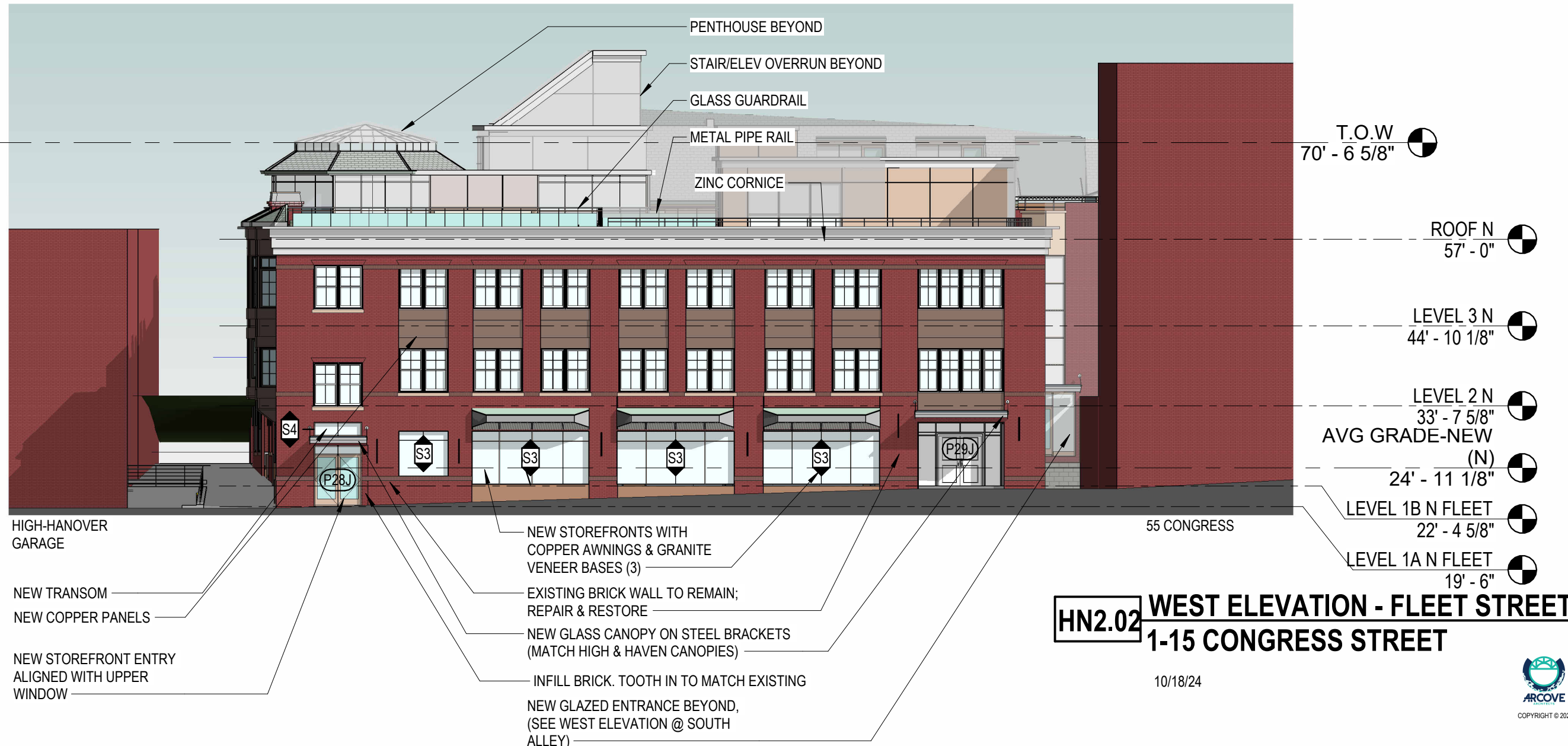
10/18/24



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2 WEST ELEVATION - FLEET STREET, EXISTING
1/16" = 1'-0"



HN2.02 WEST ELEVATION - FLEET STREET
1-15 CONGRESS STREET

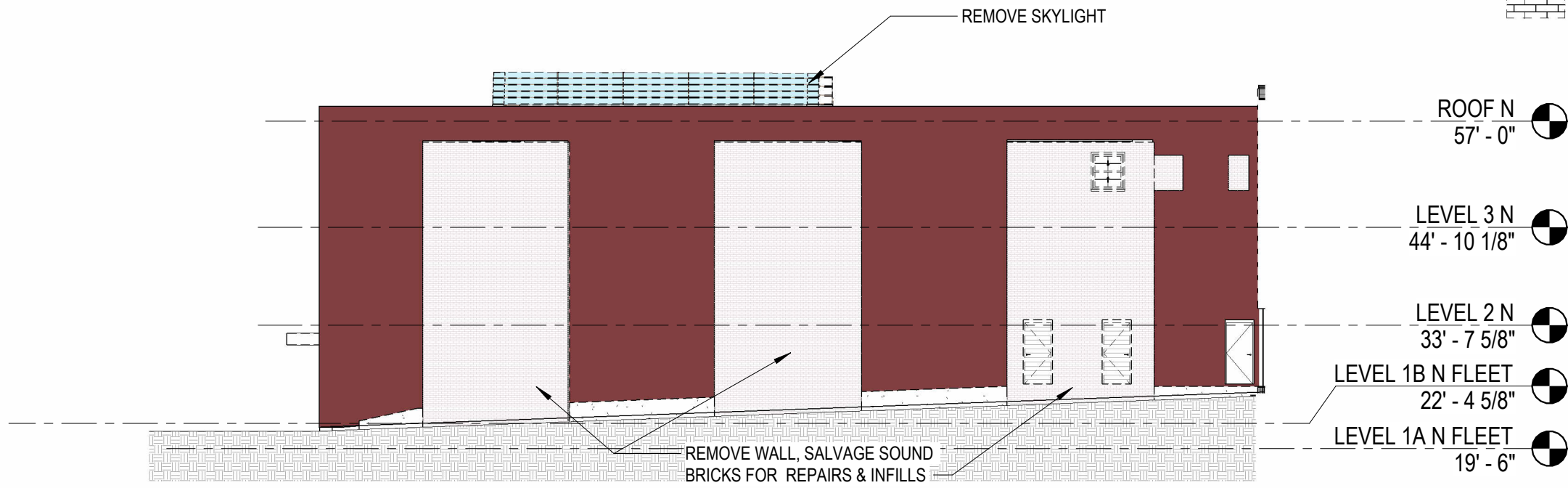
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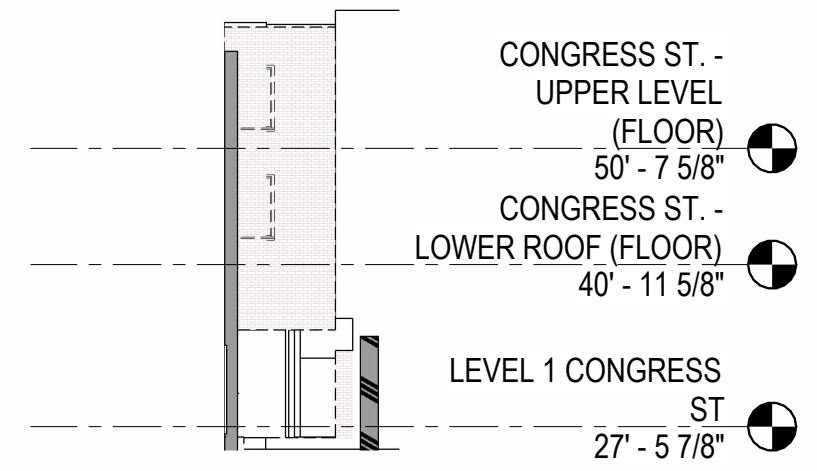
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EXISTING TO REMAIN

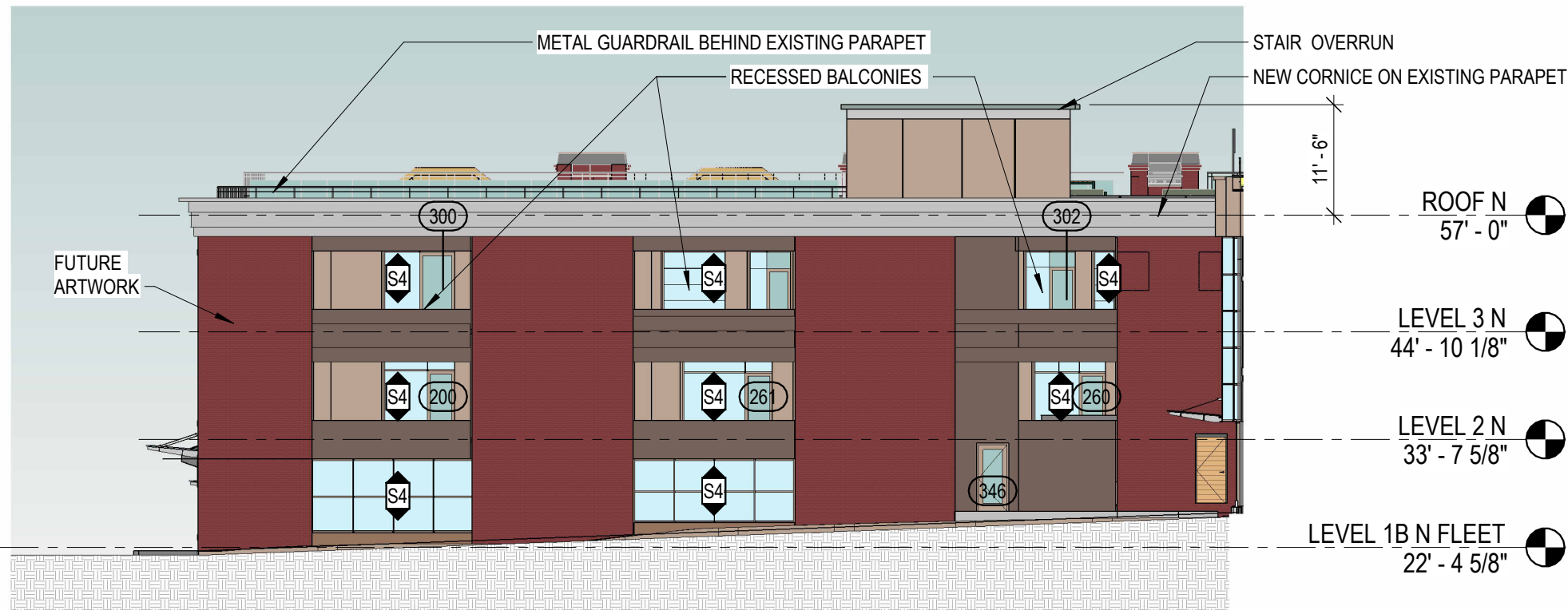
AREA TO BE REMOVED



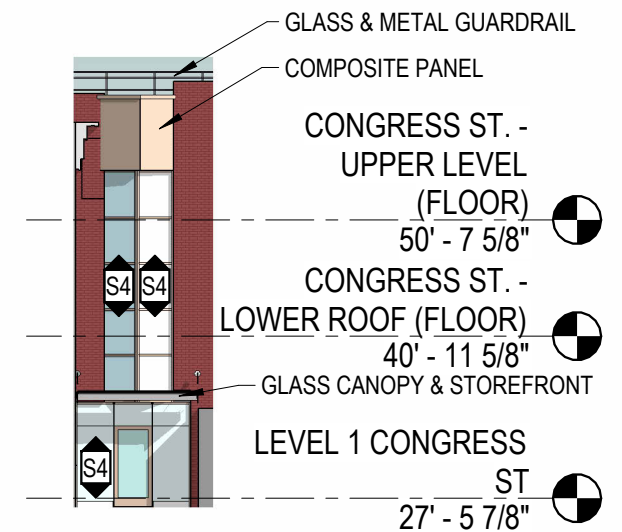
1 DEMO EAST ELEVATION - SOUTH ALLEY
1/16" = 1'-0"



2 SOUTH ELEVATION (ALLEY END)
1/16" = 1'-0"



3 SOUTH ELEVATION - SOUTH ALLEY
1/16" = 1'-0"



4 SOUTH ELEVATION (ALLEY END)
1/16" = 1'-0"

HN2.03 S/E ELEVATIONS - SOUTH ALLEY 1-15 CONGRESS STREET

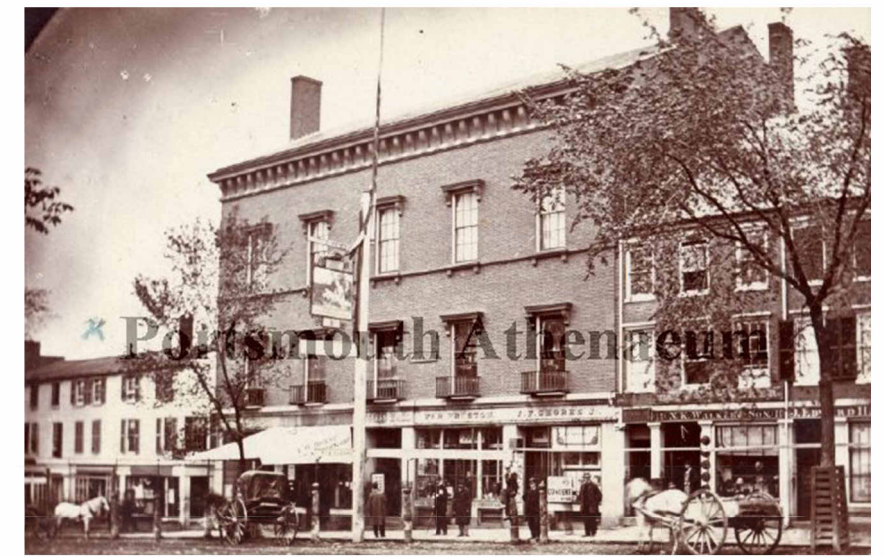


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 EXISTING TO REMAIN

 AREA TO BE REMOVED

CIRCA 1860

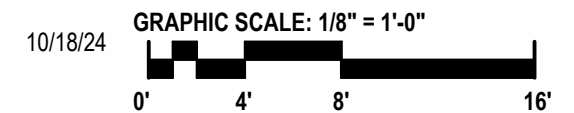


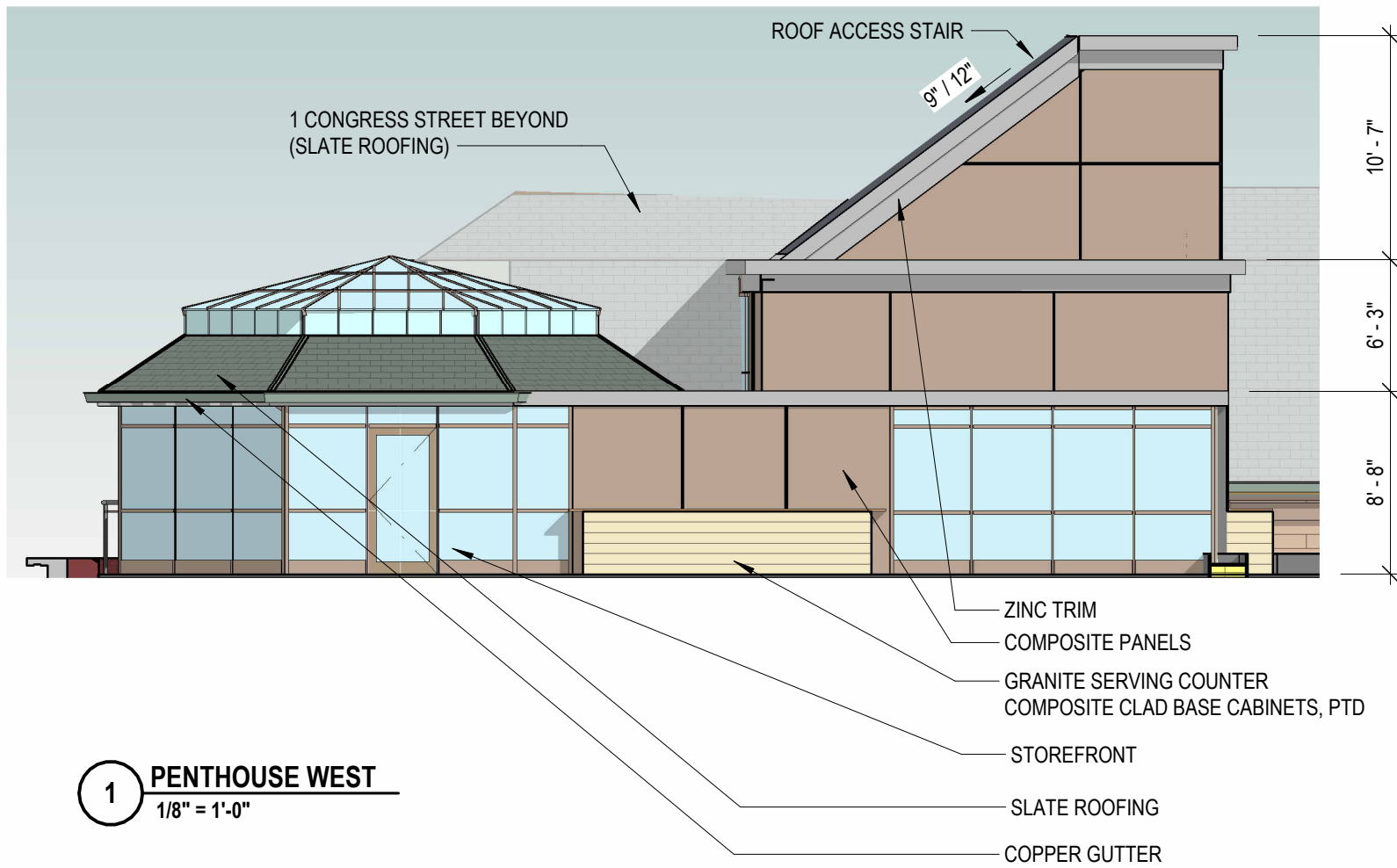
2 SOUTH ELEVATION - CONGRESS STREET, EXISTING
1/8" = 1'-0"



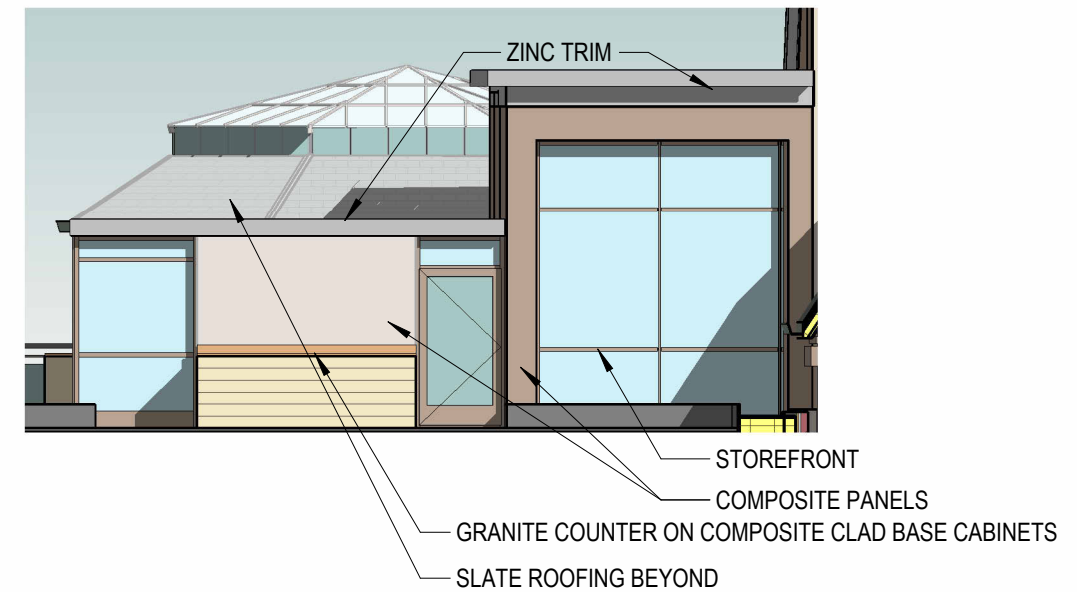
1 SOUTH ELEVATION - CONGRESS STREET, PROPOSED
1/8" = 1'-0"

HN2.04 SOUTH ELEVATION - CONGRESS ST
1-15 CONGRESS STREET

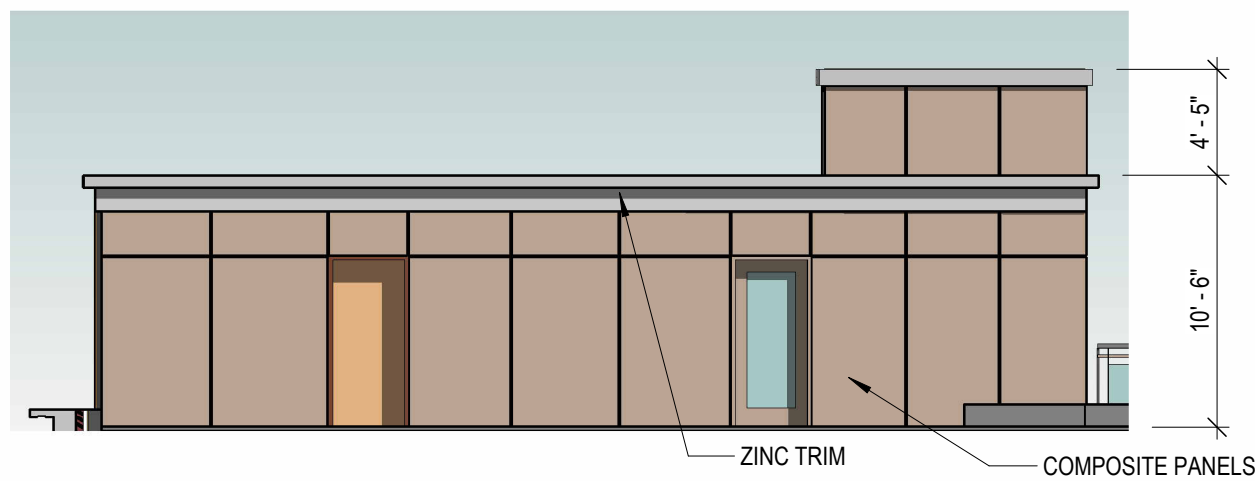




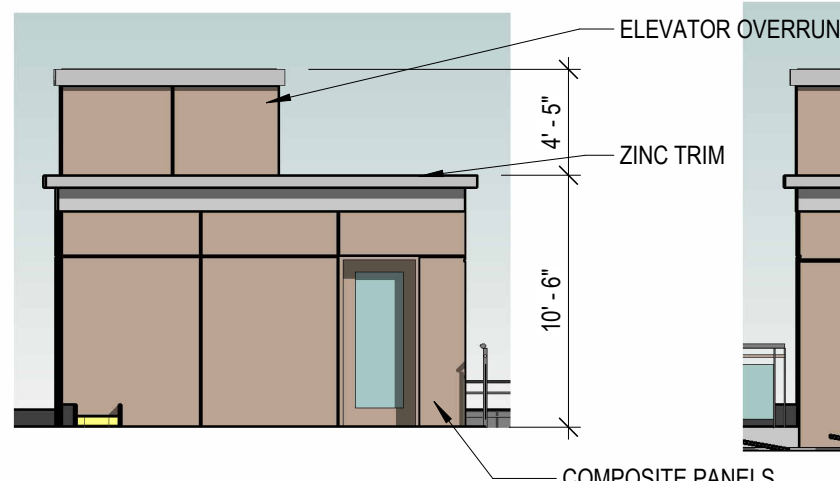
1 PENTHOUSE WEST
1/8" = 1'-0"



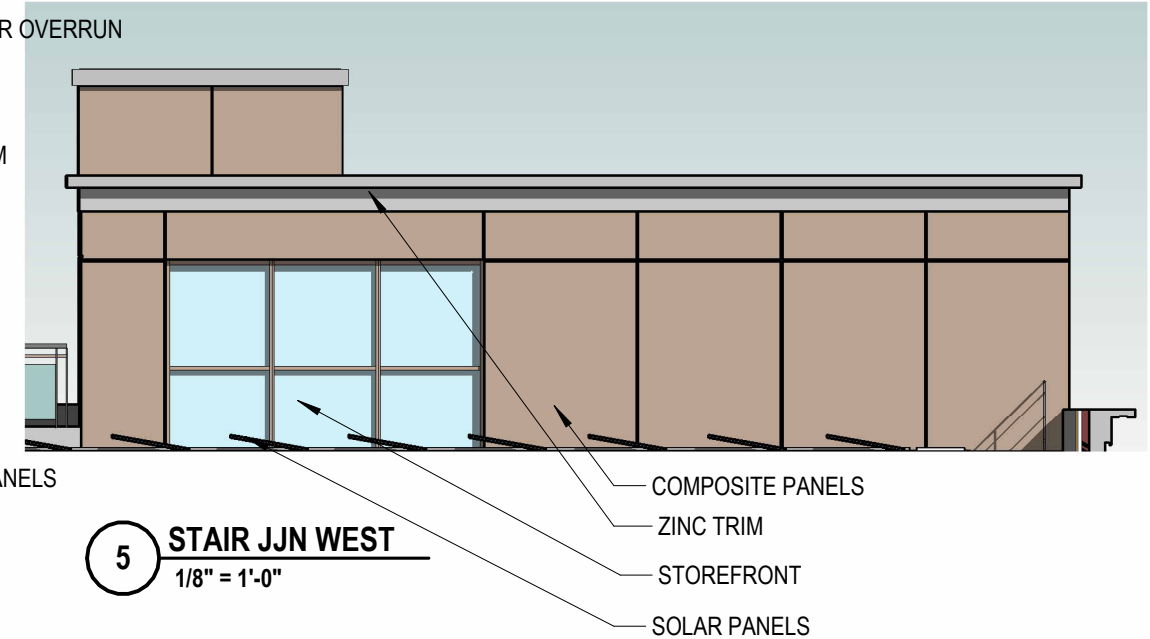
2 PENTHOUSE SOUTH
1/8" = 1'-0"



3 STAIR JJN EAST
1/8" = 1'-0"



4 STAIR JJN NORTH
1/8" = 1'-0"



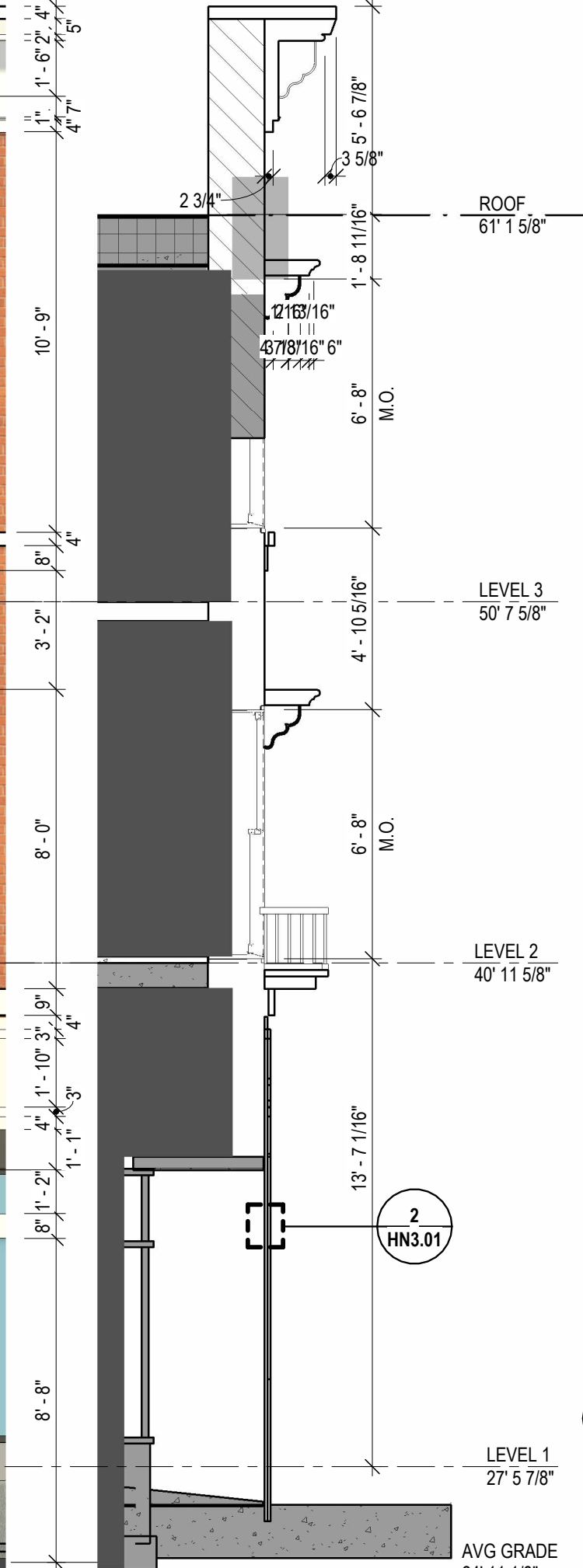
5 STAIR JJN WEST
1/8" = 1'-0"

HN2.05 ROOF DECK ELEVATIONS
1-15 CONGRESS STREET

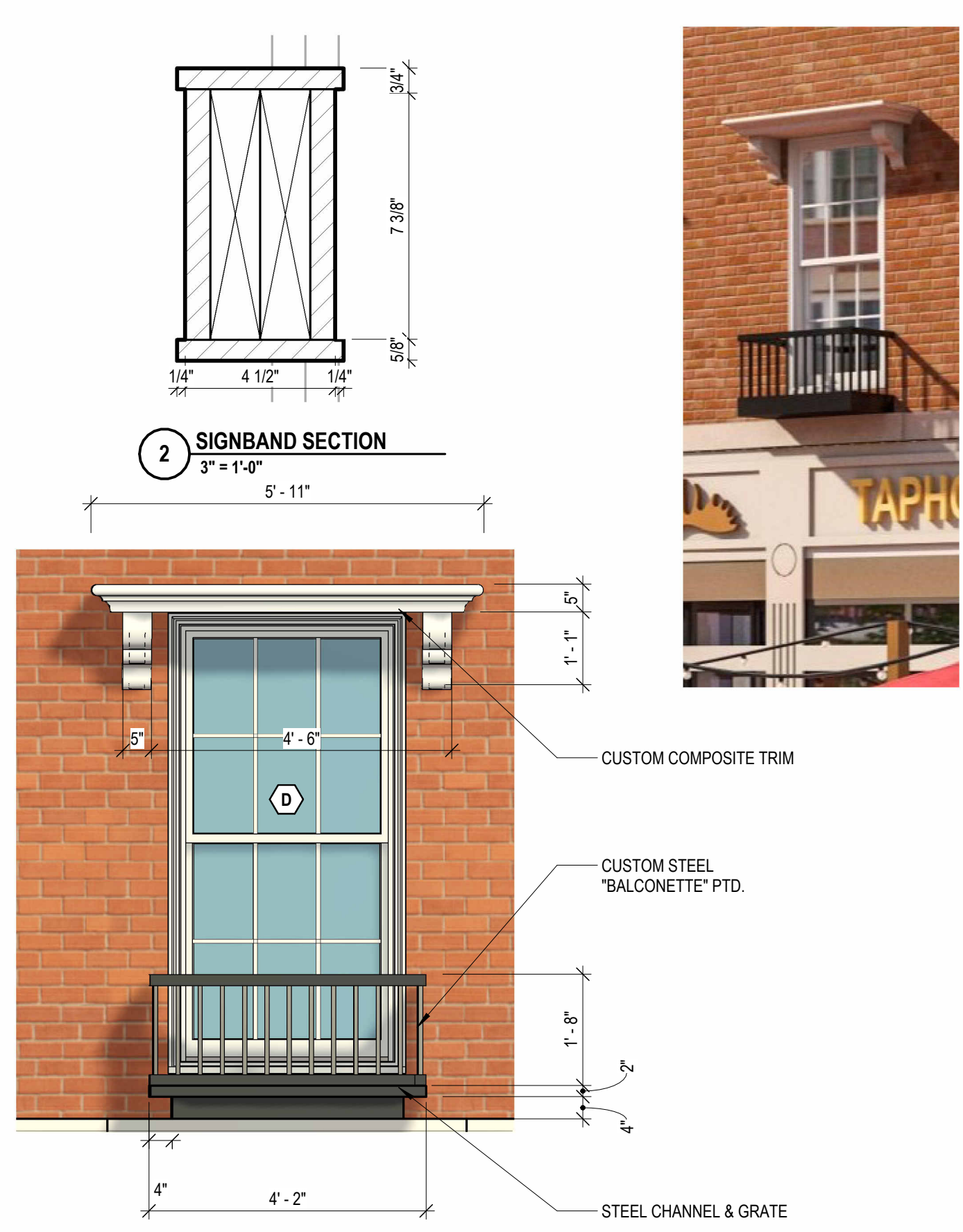
10/18/24



4 CONGRESS STREET - ENLARGED ELEVATION
1/4" = 1'-0"



3 CONGRESS ST SECTION
1/4" = 1'-0"



1 SOUTH ELEVATION - WINDOW DETAIL
1/2" = 1'-0"

HN3.01 DETAIL - CONGRESS STREET
1-15 CONGRESS STREET

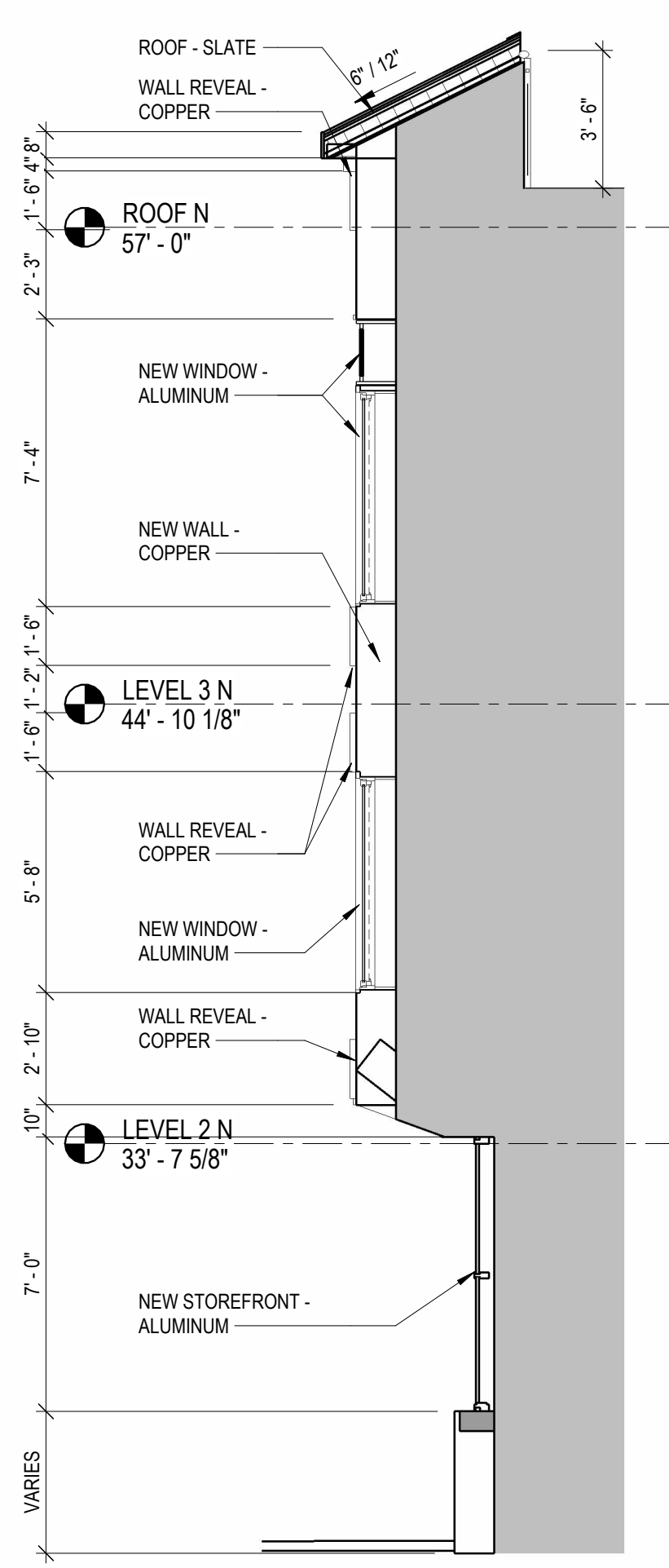
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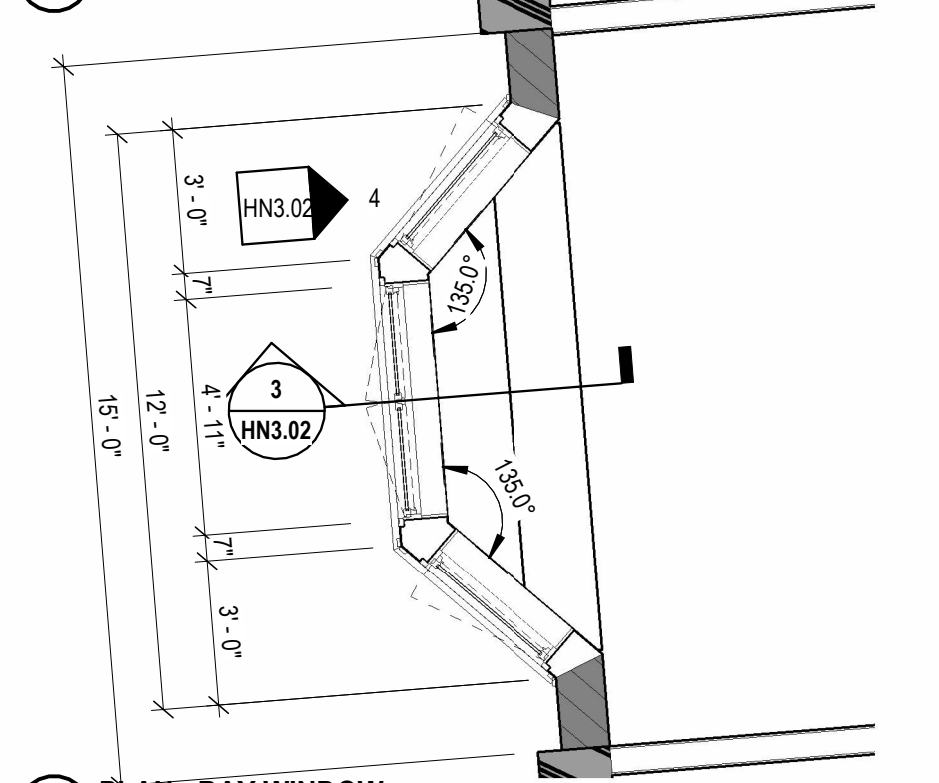
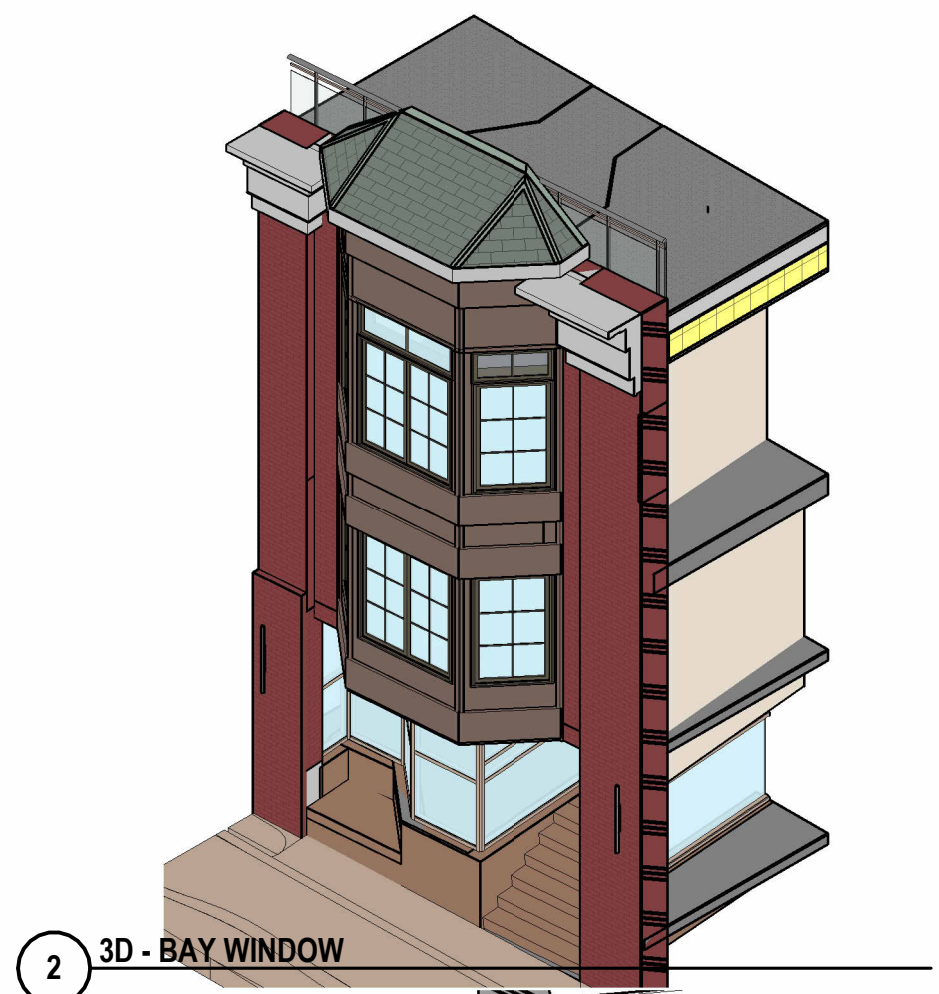
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4 ELEVATION - BAY WINDOW
1/4" = 1'-0"

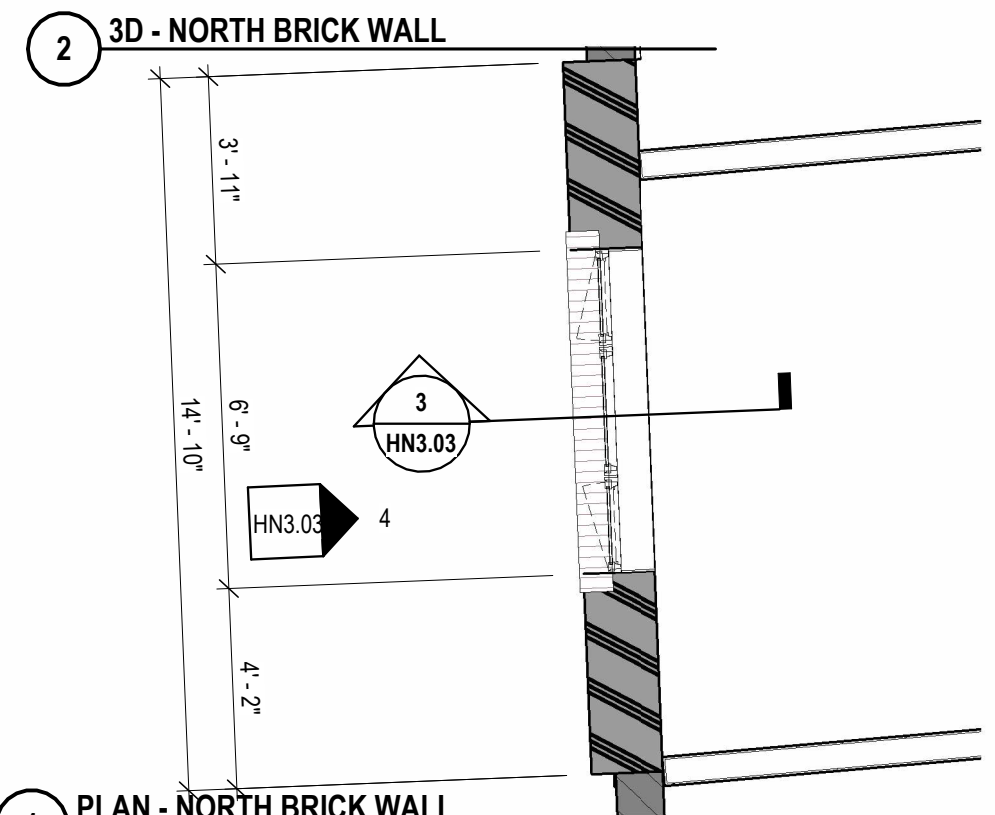
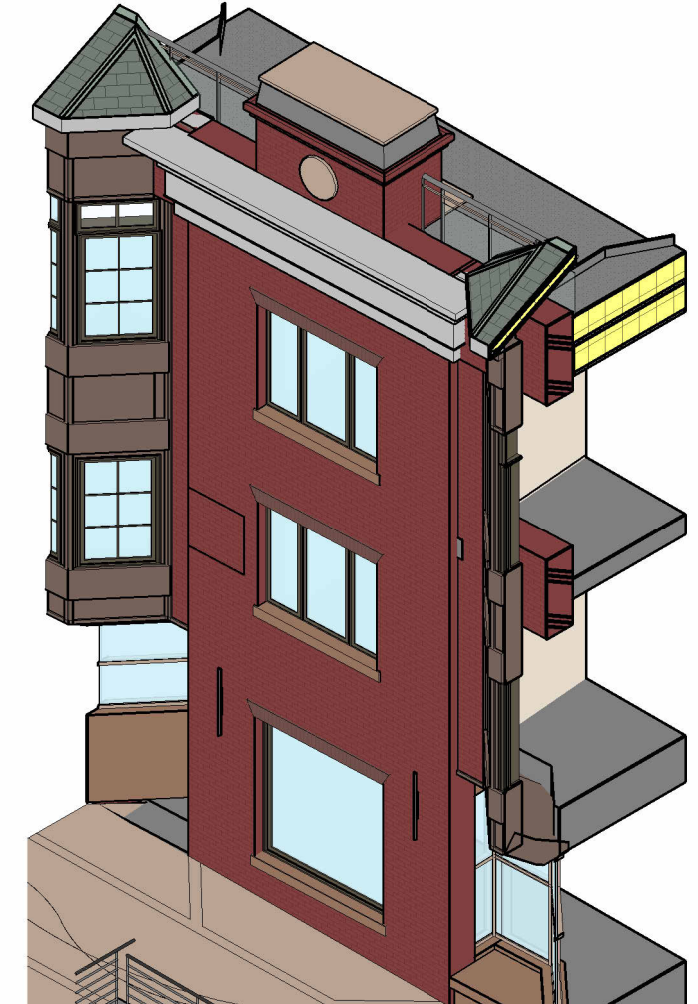
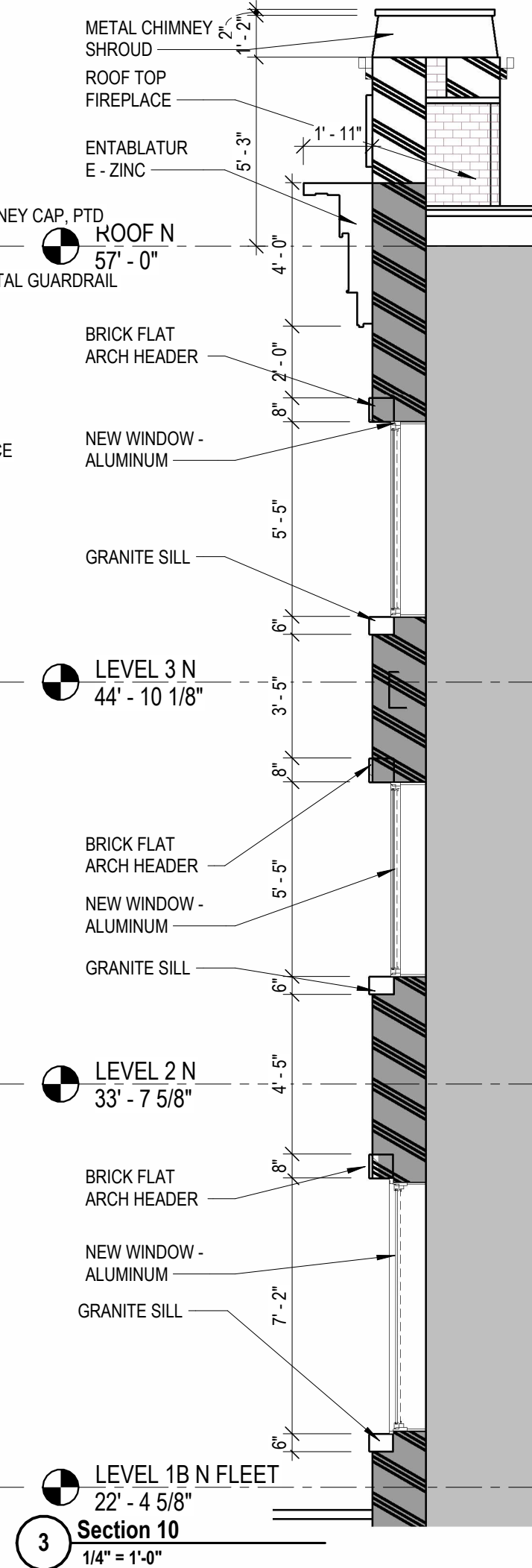
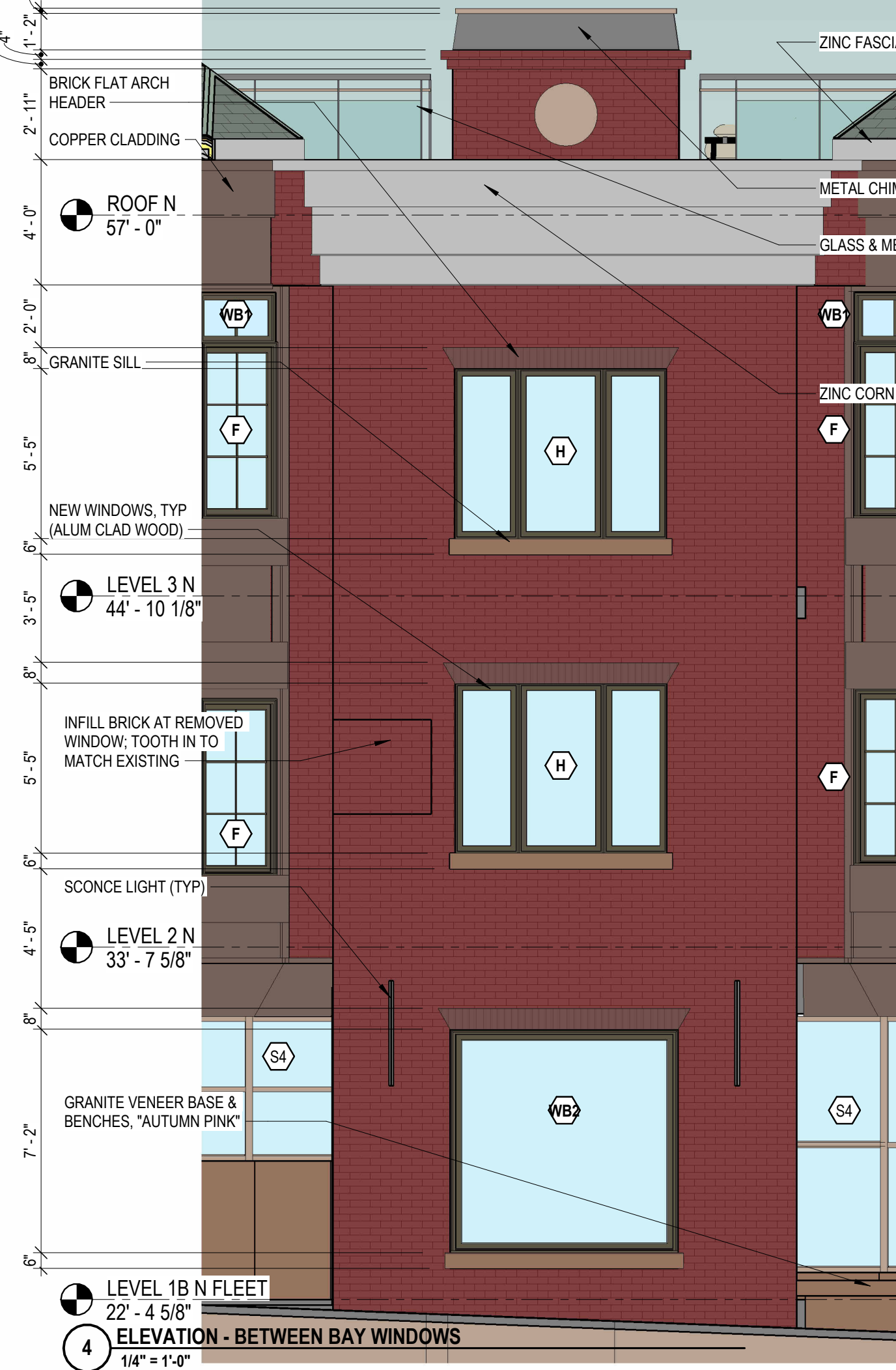


3 SECTION - BAY WINDOW
1/4" = 1'-0"



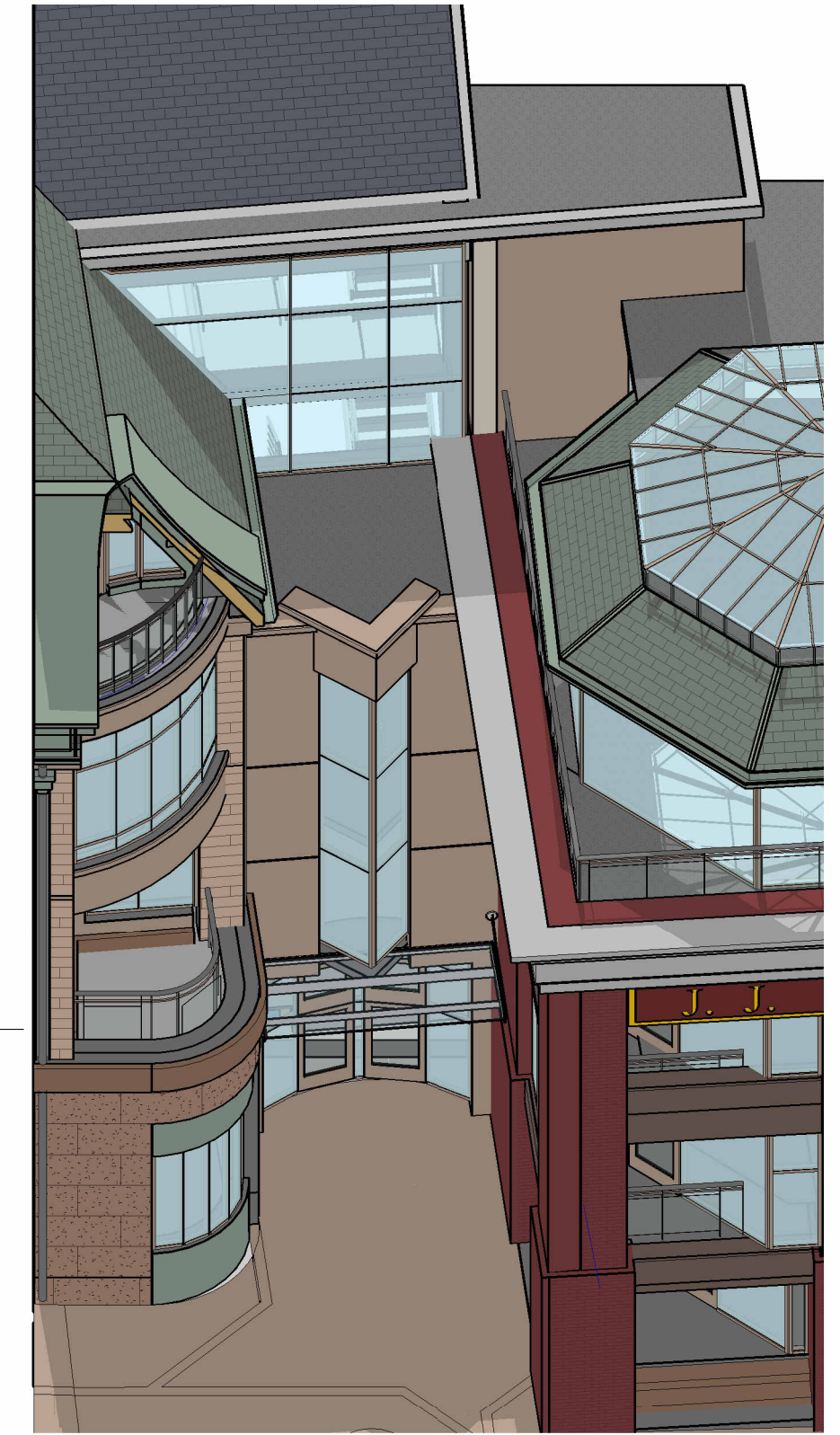
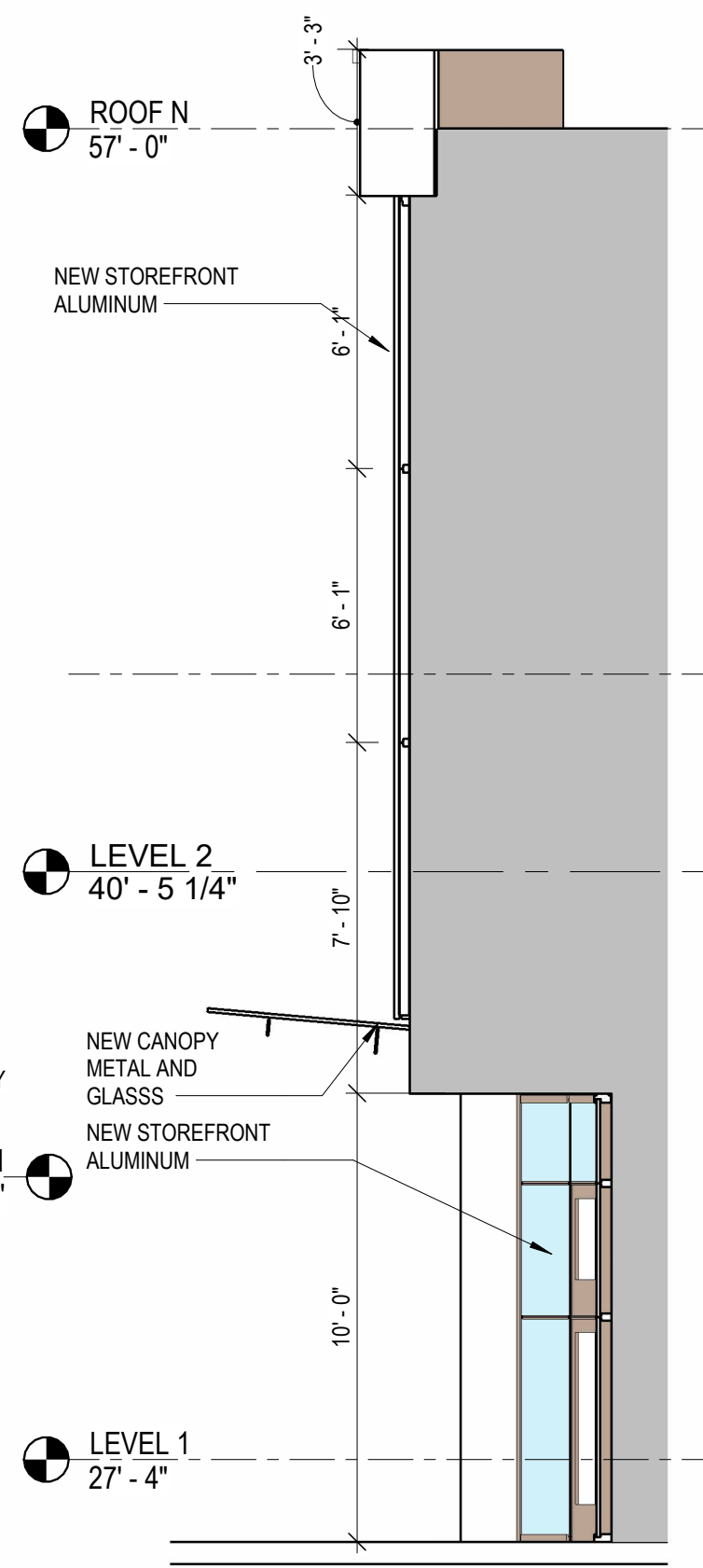
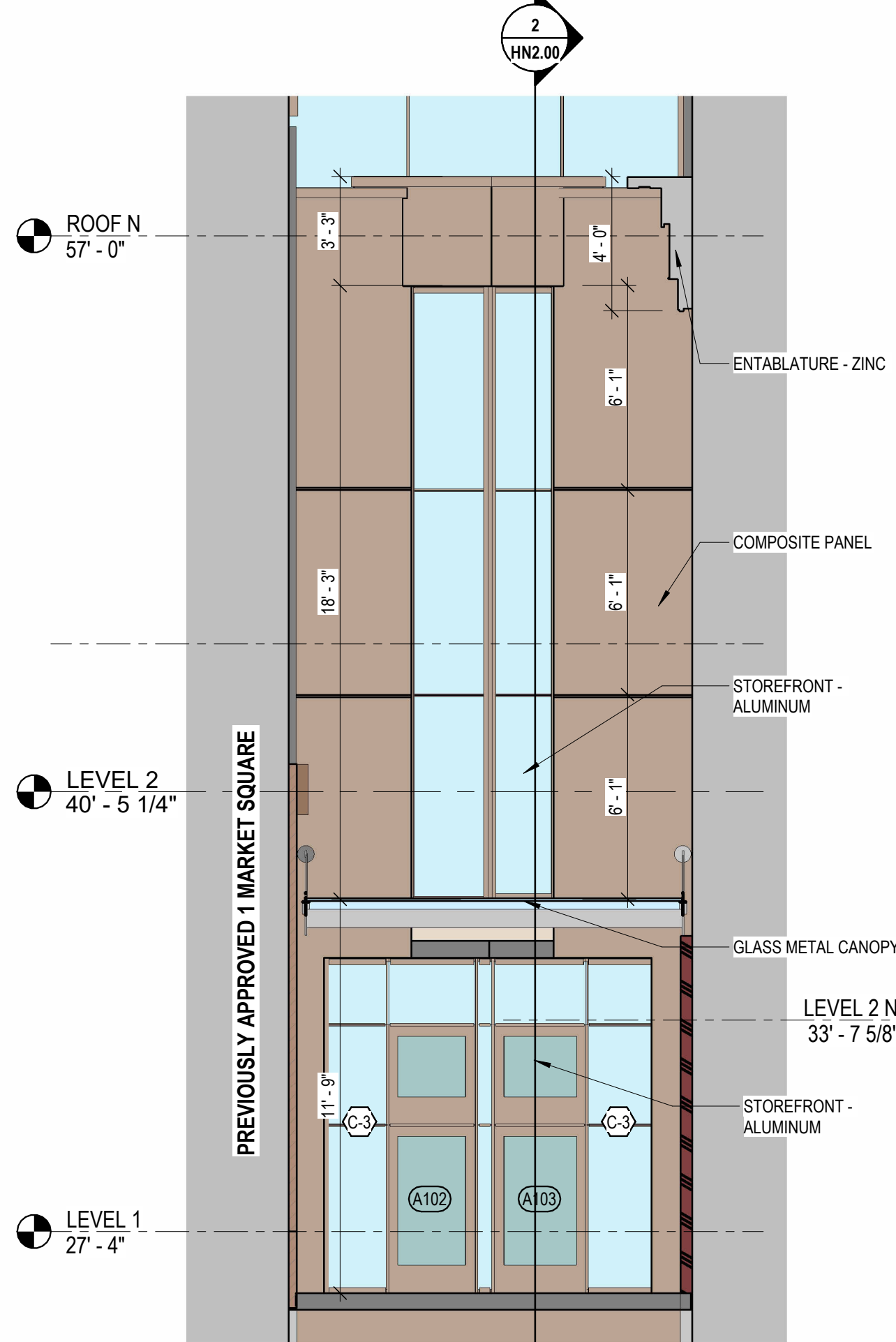
1 PLAN - BAY WINDOW
1/4" = 1'-0"
HN3.02 **DETAIL - HAVEN COURT, BAY WINDOW**
1-15 CONGRESS STREET

10/18/24



HN3.03 **DETAIL - HAVEN COURT, BRICK WALL**
1-15 CONGRESS STREET

10/18/24



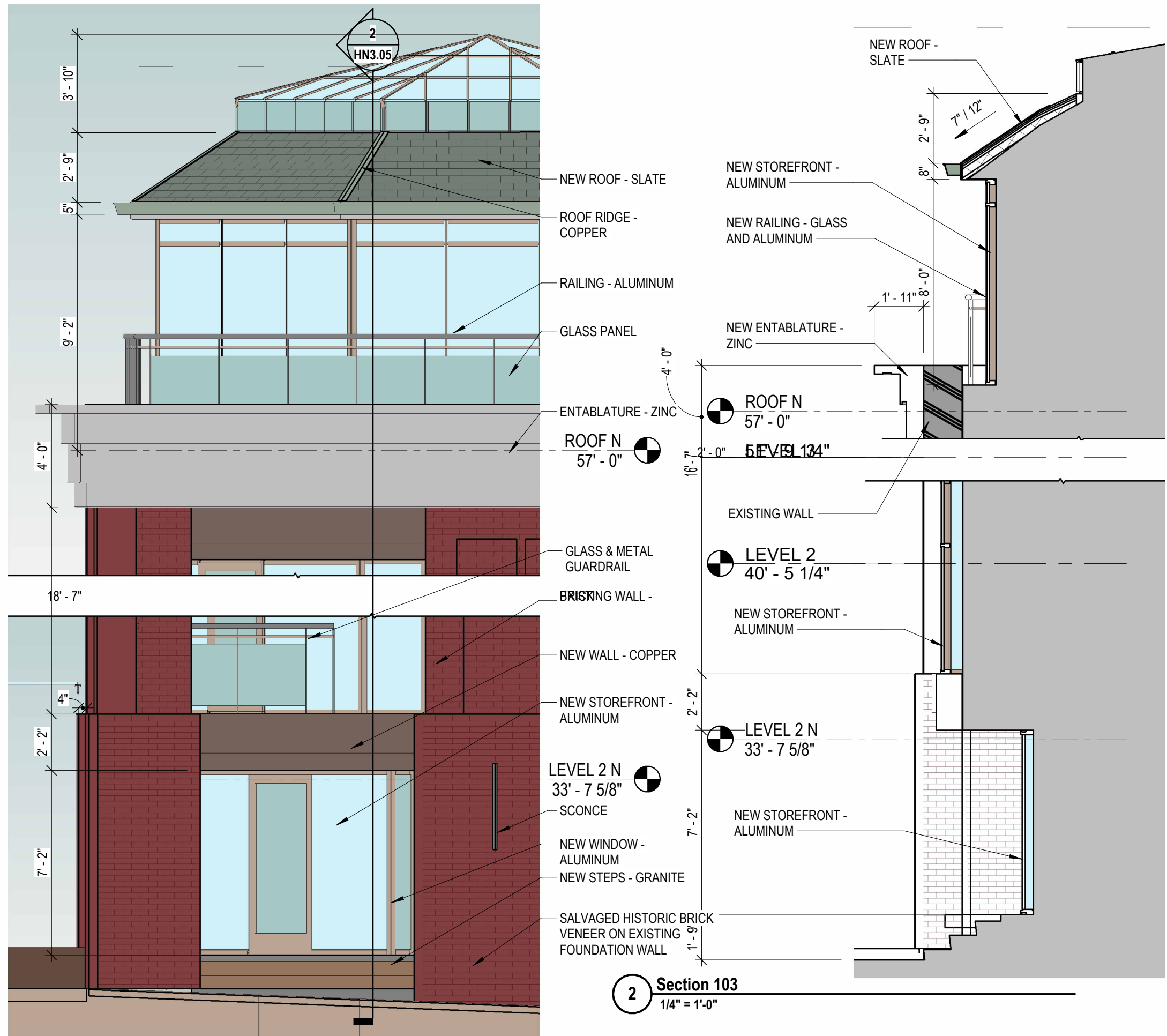
3 ELEVATION- HAVEN COURT ENTRANCE
1/4" = 1'-0"

2 SECTION - HAVEN COURT ENTRANCE
1/4" = 1'-0"

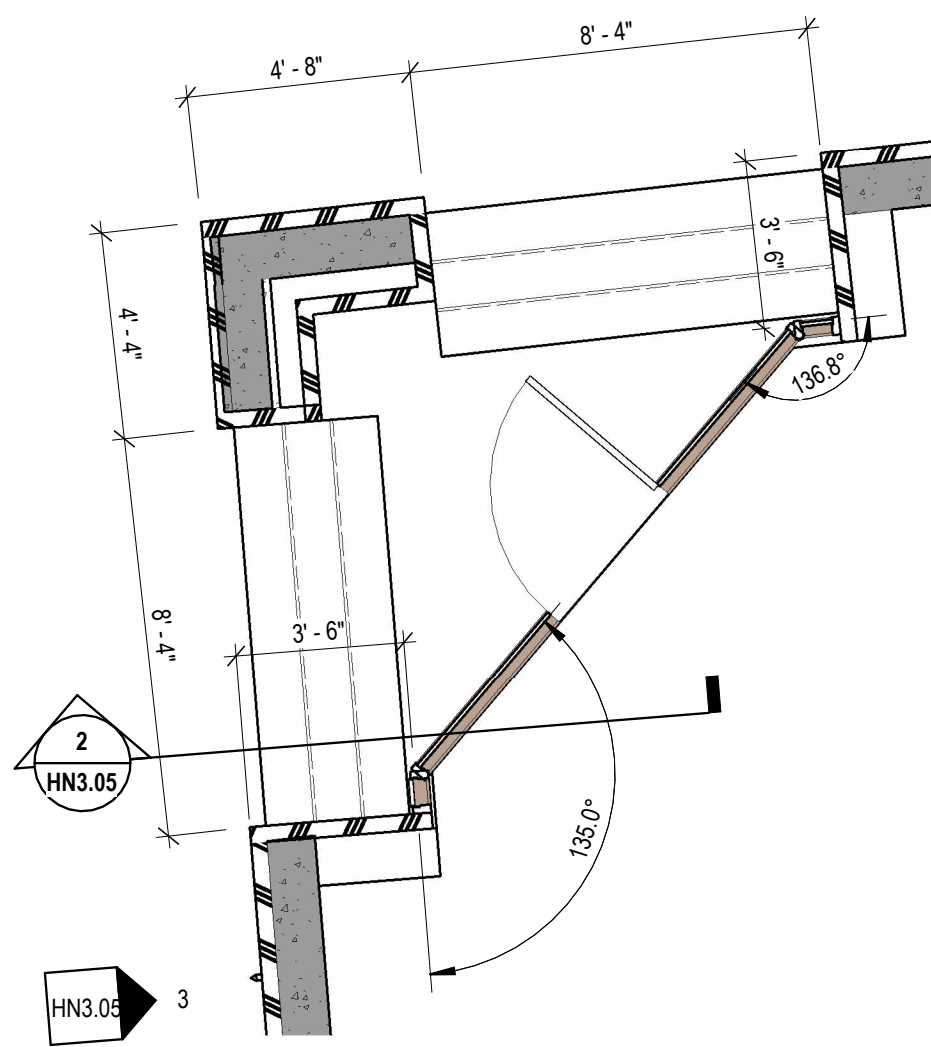
1 3D VIEW - HAVEN COURT ENTRANCE

HN3.04 DETAIL - HAVEN COURT ENTRANCE
1-15 CONGRESS STREET

10/18/24



2 Section 103
1/4" = 1'-0"

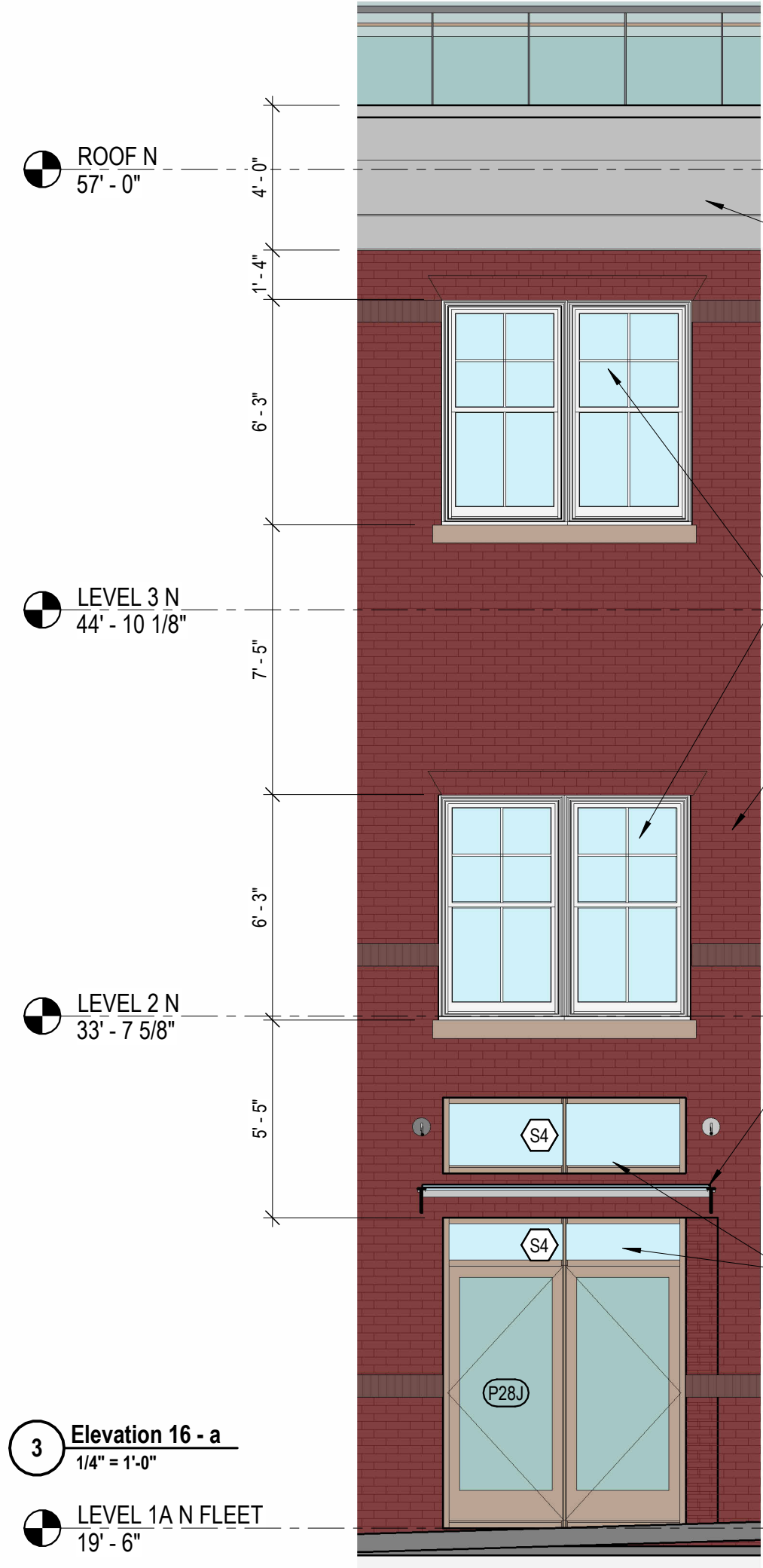


1 PB JJN - LEVEL 1 N FLEET - Callout 1
1/4" = 1'-0"

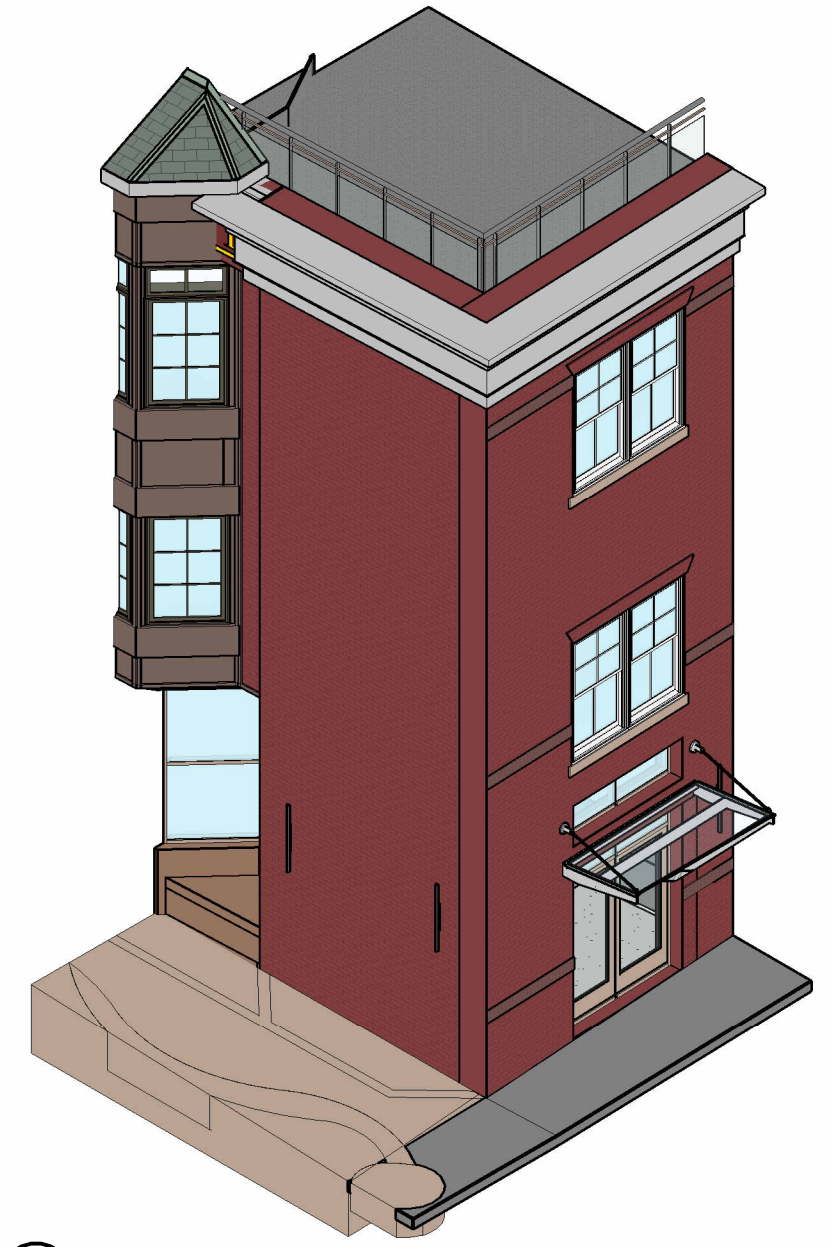
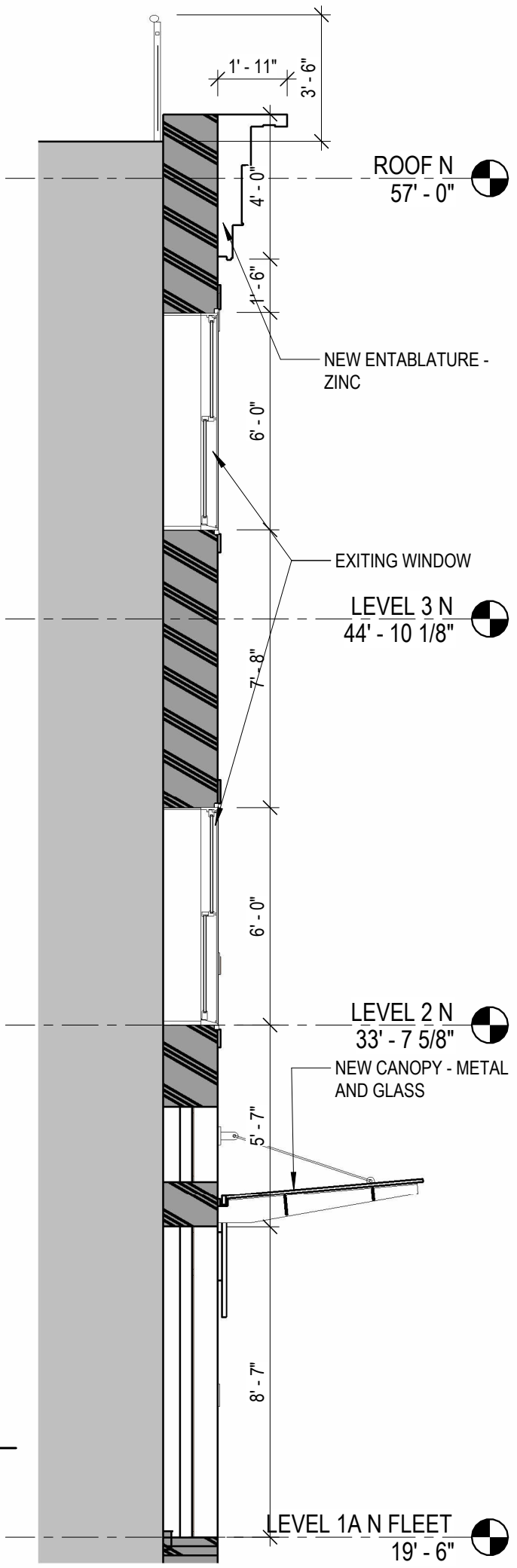
HN3.05 DETAIL - HAVEN CT, NE CORNER
1-15 CONGRESS STREET

3 Elevation 12 - a
1/4" = 1'-0"

10/18/24



1 Section 155
 1/4" = 1'-0"



1.1 3D NW CORNER

HN3.06 DETAIL - FLEET ST, NORTH ENTRY
 1-15 CONGRESS STREET

10/18/24

ROOF N
57'-0"

LEVEL 3 N
44'-10 1/8"

LEVEL 2 N
33'-7 5/8"

3 ELEVATION - NEW CANOPY AND STOREFRONT FLEET ST
1/4" = 1'-0"

LEVEL 1A N FLEET
19'-6"



RAILING - ALUMINUM & GLASS

4'-0"

EXISTING WALL

7'-7"

NEW COPPER CLADDING

1'-6"

2'-5"

1'-6"

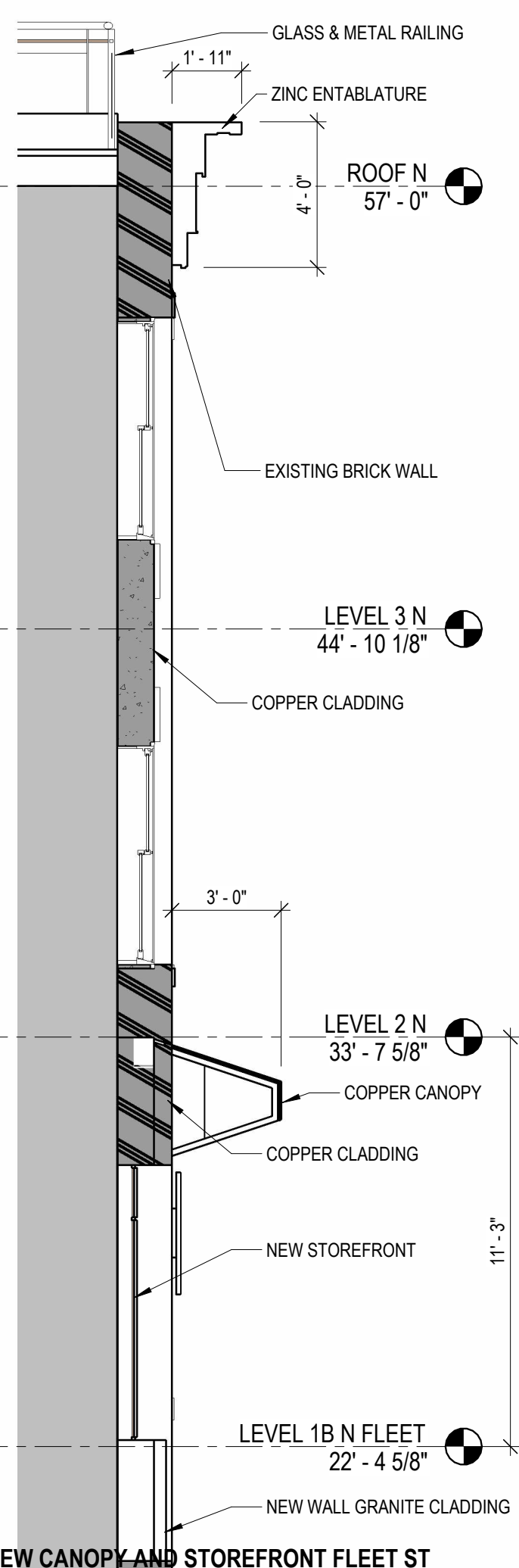
EXISTING WINDOW

NEW METAL CANOPY

19'-2"

NEW STOREFRONT - ALUMINUM

2 SECTION - NEW CANOPY AND STOREFRONT FLEET ST
1/4" = 1'-0"



GLASS & METAL RAILING

1'-11"

ZINC ENTABLATURE

ROOF N
57'-0"

4'-0"

EXISTING BRICK WALL

LEVEL 3 N
44'-10 1/8"

COPPER CLADDING

3'-0"

LEVEL 2 N
33'-7 5/8"

COPPER CANOPY

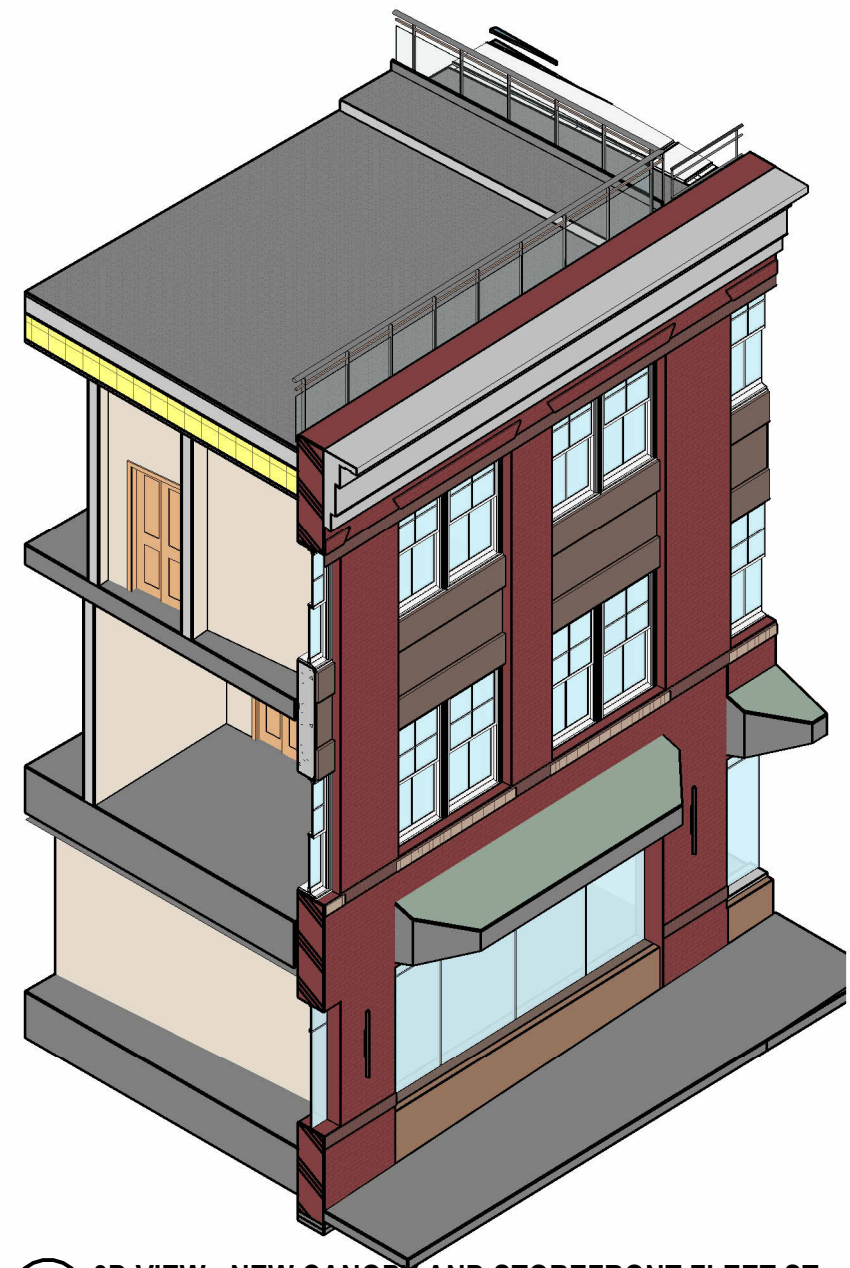
COPPER CLADDING

NEW STOREFRONT

11'-3"

LEVEL 1B N FLEET
22'-4 5/8"

NEW WALL GRANITE CLADDING

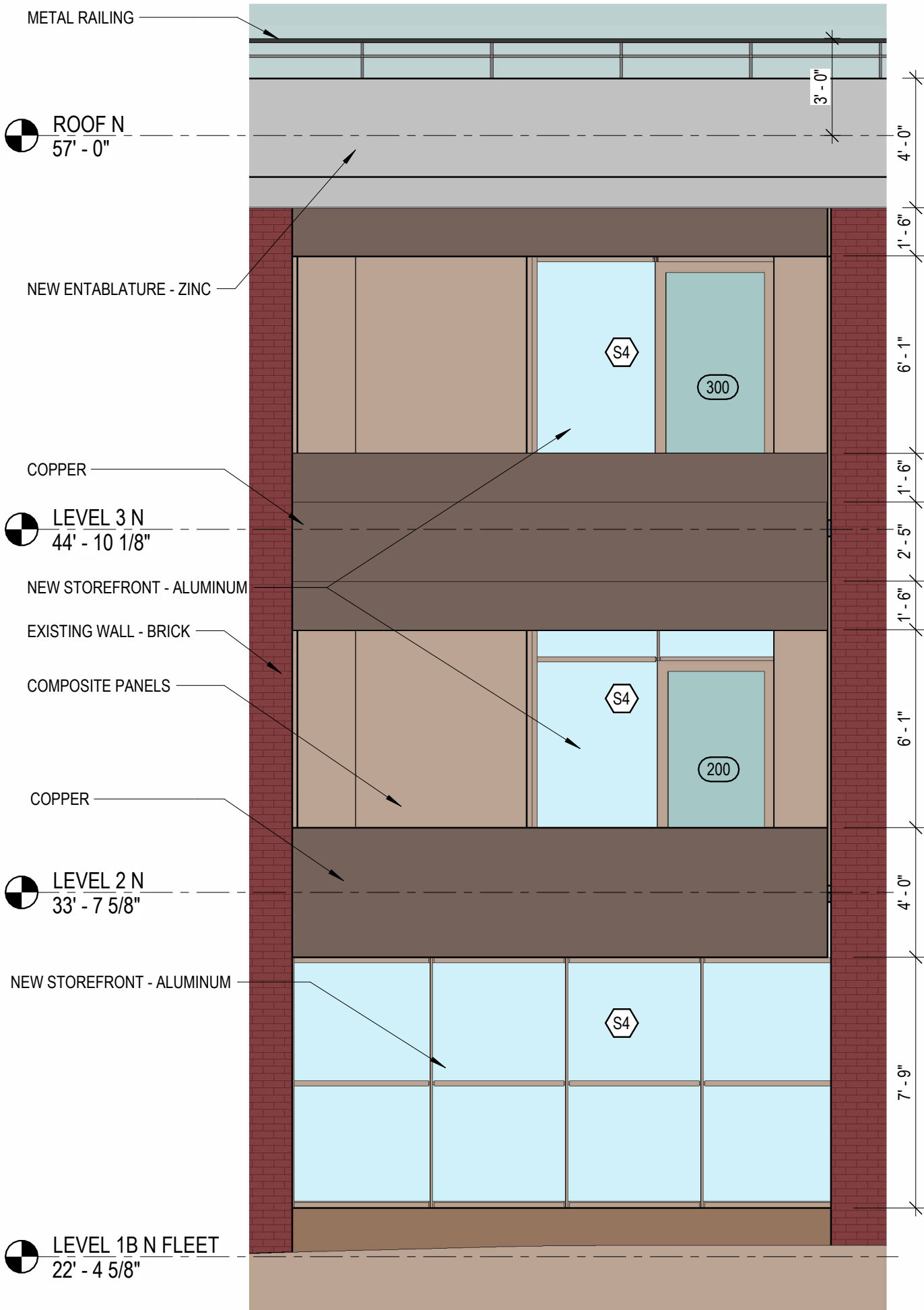


1 3D VIEW - NEW CANOPY AND STOREFRONT FLEET ST

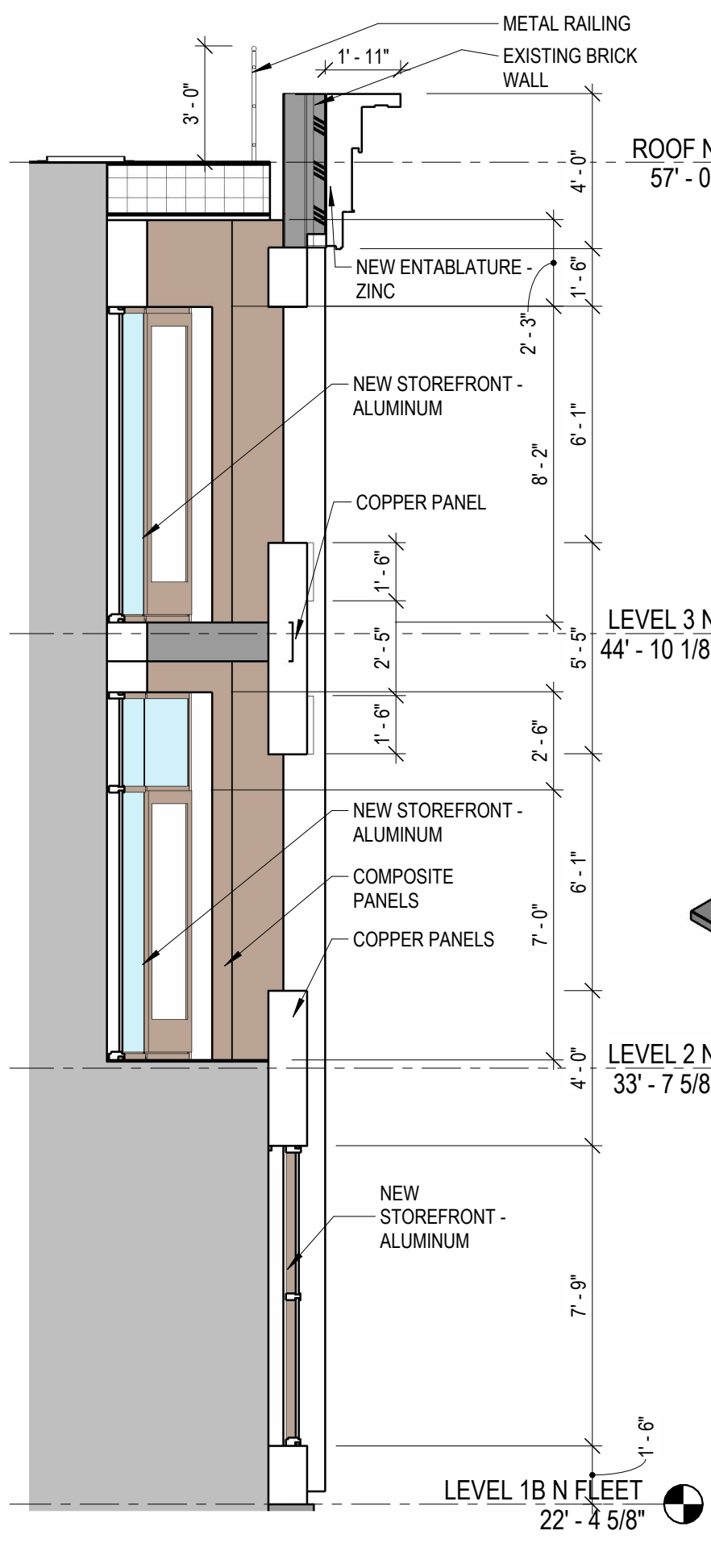
HN3.07 DETAIL - FLEET ST, STOREFRONT
1-15 CONGRESS STREET

10/18/24

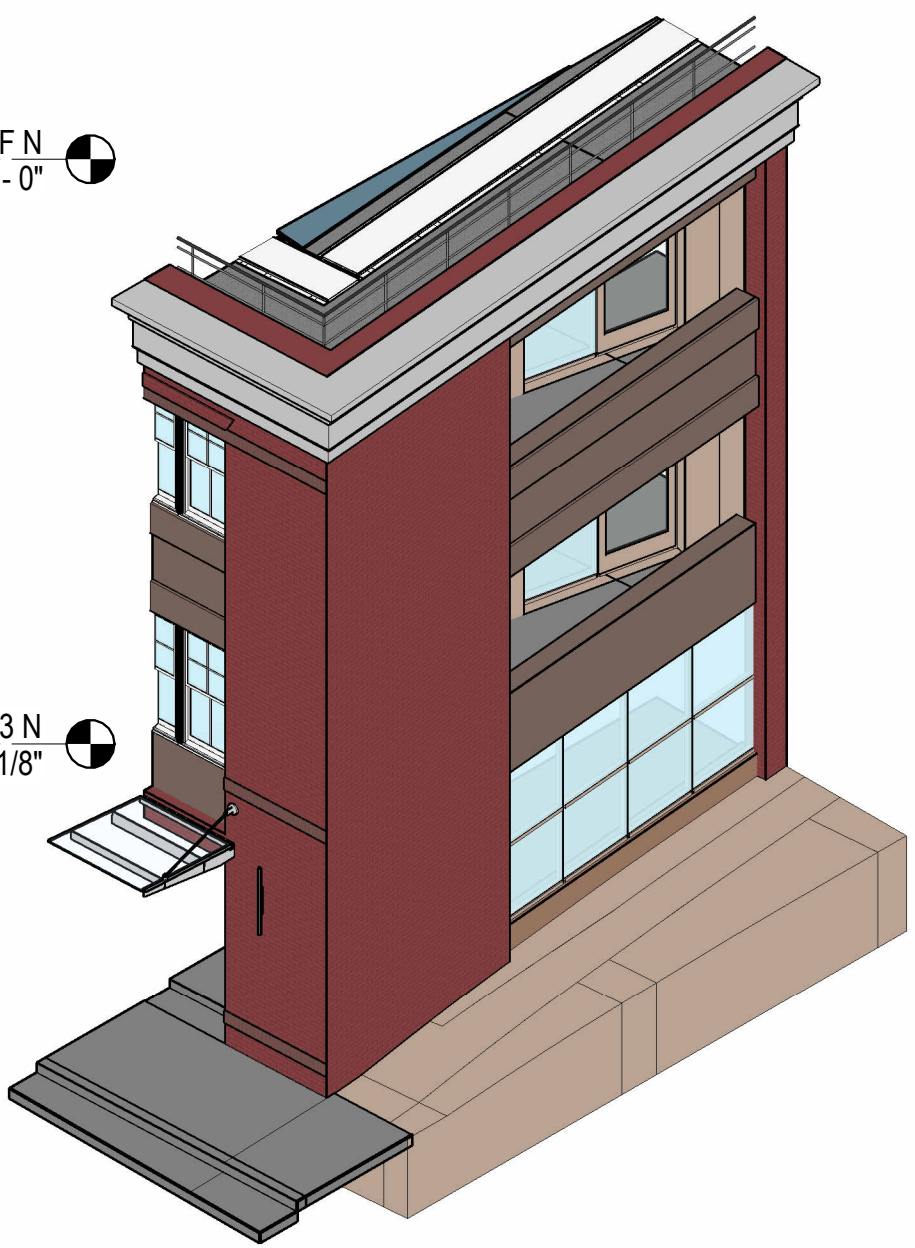




3 ELEVATION - SOUTH ALLEY ENTRANCE
1/4" = 1'-0"



2 SECTION - SOUTH ALLEY ENTRANCE
1/4" = 1'-0"



1 3D VIEW - FLEET STREET SOUTH ALLEY ENTRANCE

HN3.08 DETAIL - S. ALLEY, STOREFRONT
1-15 CONGRESS STREET

10/18/24



PROPOSED

PROPOSED



EXISTING CONDITION

HN4.01 PERSPECTIVE NW FLEET STREET
1-15 CONGRESS STREET

10/18/24



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EXISTING CONDITION

PROPOSED

HN4.02 PERSPECTIVE NE HAVEN COURT
1-15 CONGRESS STREET

10/18/24



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TANGRAM 3DS



EXISTING CONDITION

PROPOSED

HN4.03 PERSPECTIVE SOUTH ALLEY
1-15 CONGRESS STREET

10/18/24



TANGRAM 3DS



CIRCA 2024



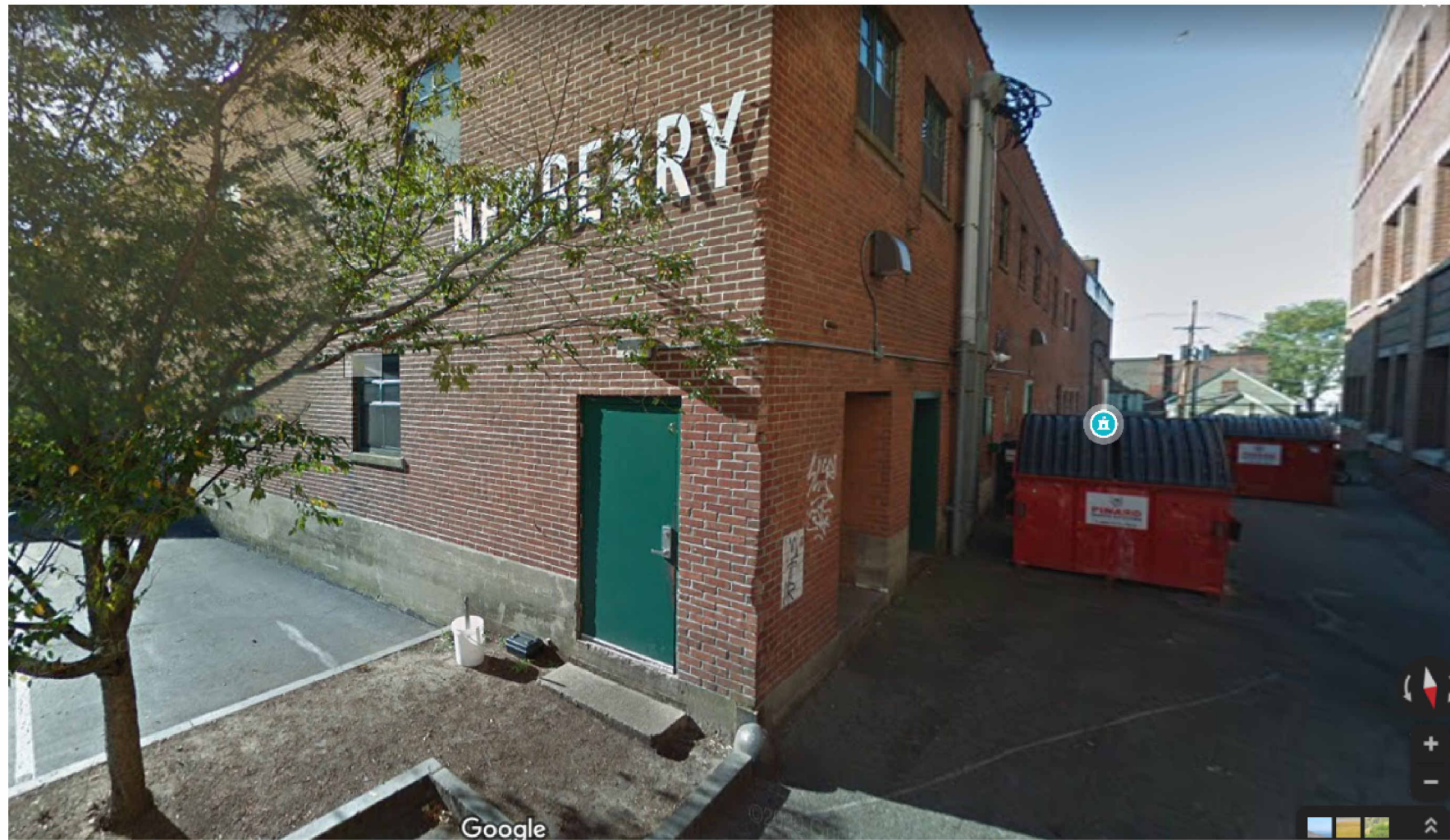
CIRCA 1860

**HN4.04 PERSPECTIVE CONGRESS ST
1-15 CONGRESS STREET**

10/18/24



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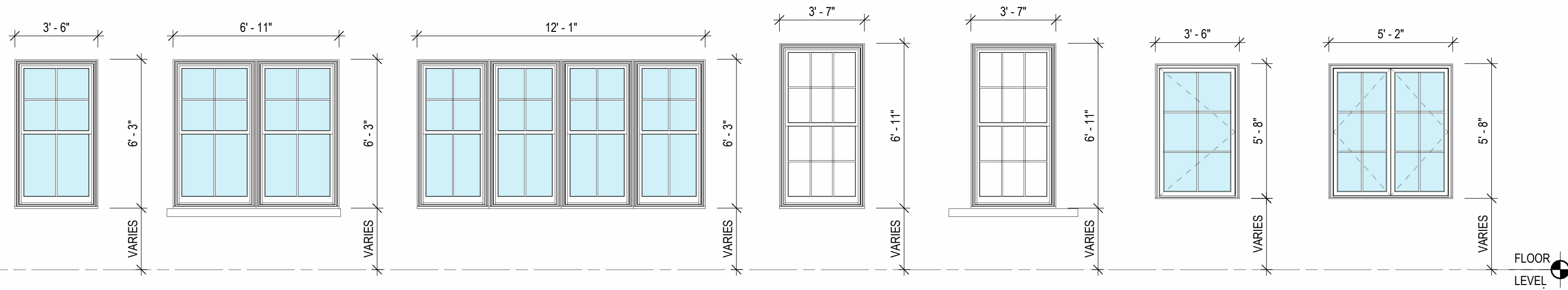
HAVEN COURT ENTRANCE

HN4.05 PERSPECTIVE, NORTH ENTRY
1-15 CONGRESS STREET

10/18/24



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A DOUBLE HUNG EXISTING

B DOUBLE HUNG EXISTING

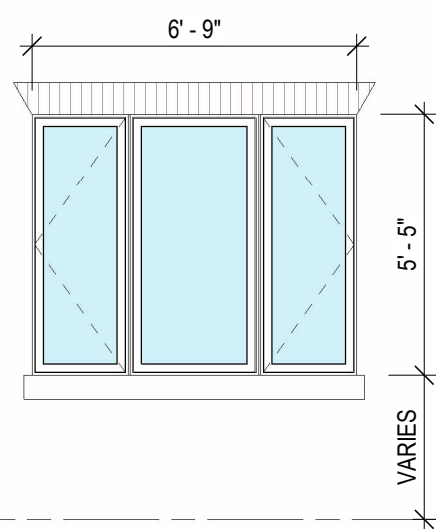
C DOUBLE HUNG EXISTING

D DOUBLE CASEMENT WITH CENTER VERTICAL POST

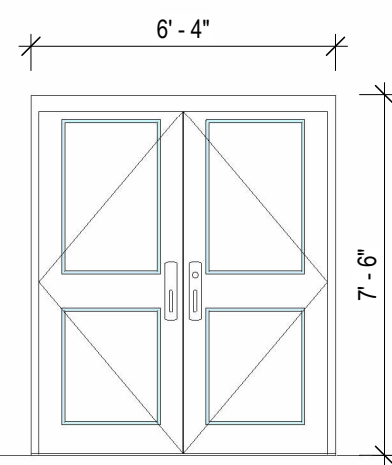
E DOUBLE CASEMENT WITH CENTER VERTICAL POST

F DOUBLE CASEMENT WITH CENTER VERTICAL POST

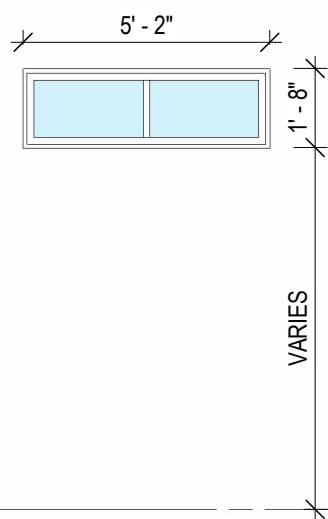
G DOUBLE CASEMENT WITH CENTER VERTICAL POST



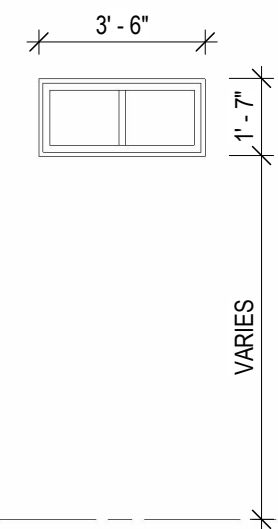
H CASEMENT W/ CENTER POST
REPLACEMENT CASEMENT AND FRAME, VERIFY EXISTING ROUGH OPENING



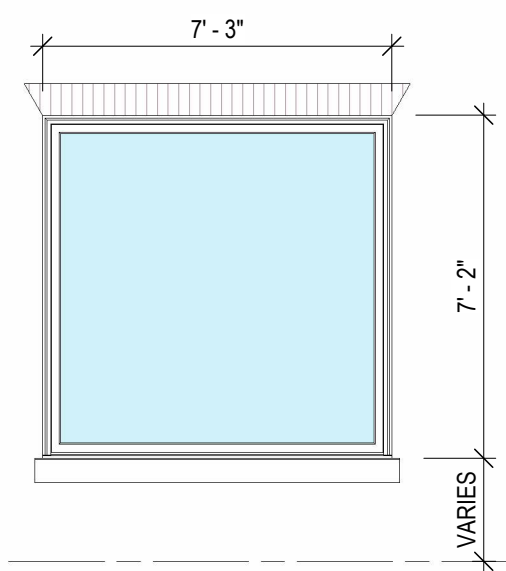
I DOUBLE EXTERIOR DOOR TWO LITE



WB FIXED



WB1 FIXED



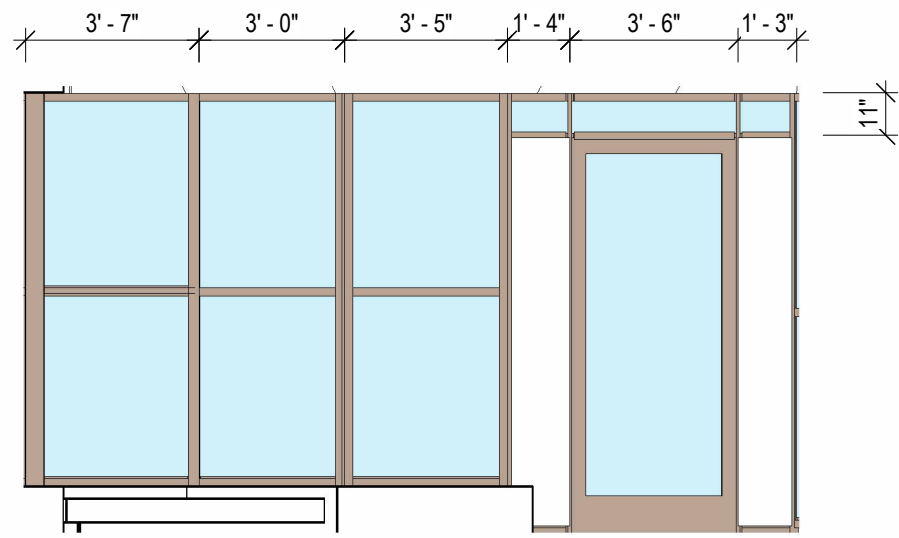
WB2 FIXED

GENERAL NOTE: FOR WINDOWS IN NEW CONSTRUCTION, WINDOW DIMENSIONS INDICATE UNIT SIZE, FOR ROUGH OPENING SIZE ADD 3/4" TO HEIGHT AND WIDTH. WOOD WINDOWS ARE CLAD IN ALUMINUM

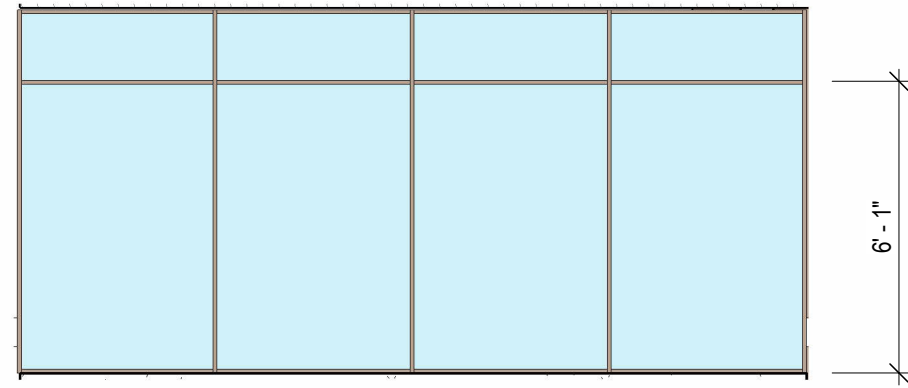
WINDOW & FRAME TYPES JJN
1/4" = 1'-0"

HN5.00 WINDOW DOOR & FRAME TYPES
1-15 CONGRESS STREET

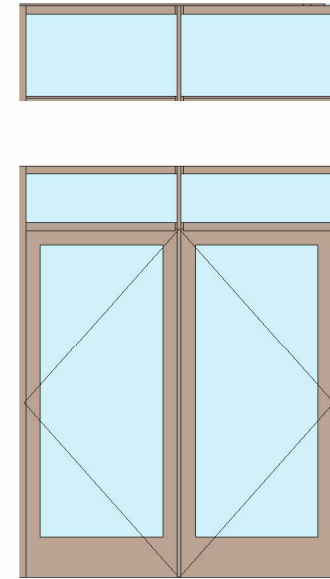
10/18/24



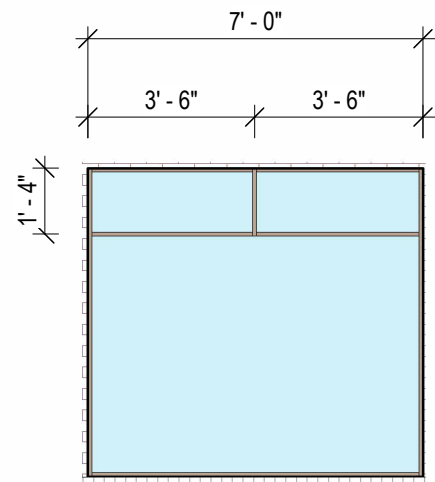
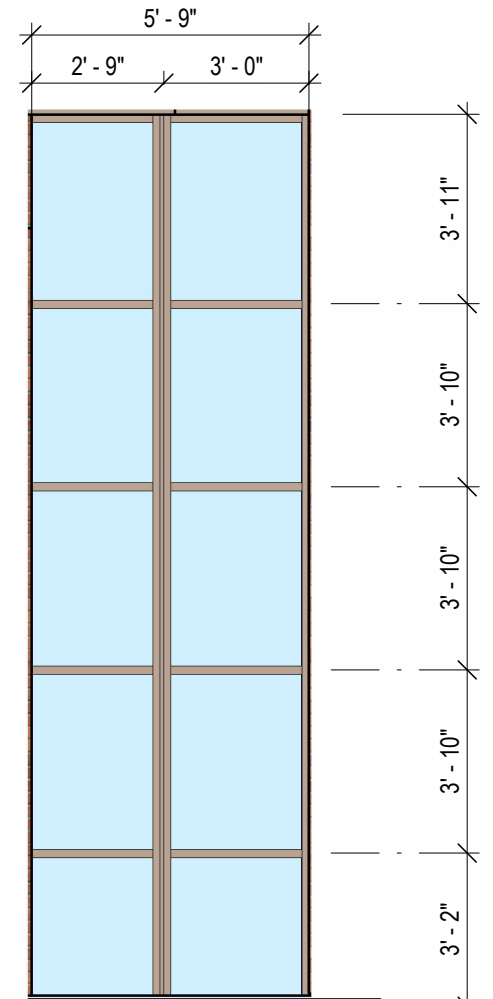
1 CURTAIN WALL 1- @15 CONGRESS STREET
1/4" = 1'-0"



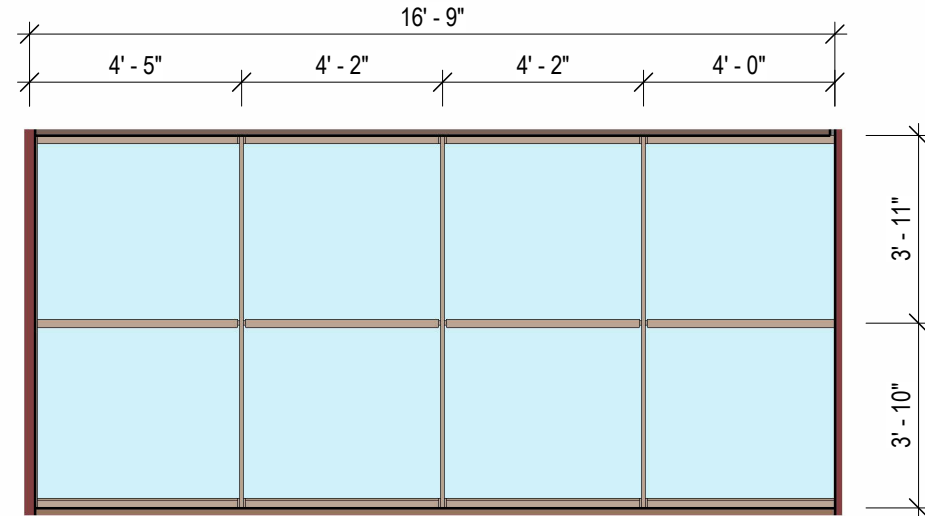
2 CURTAIN WALL 2 - NEW STOREFRONTS WEST
1/4" = 1'-0"



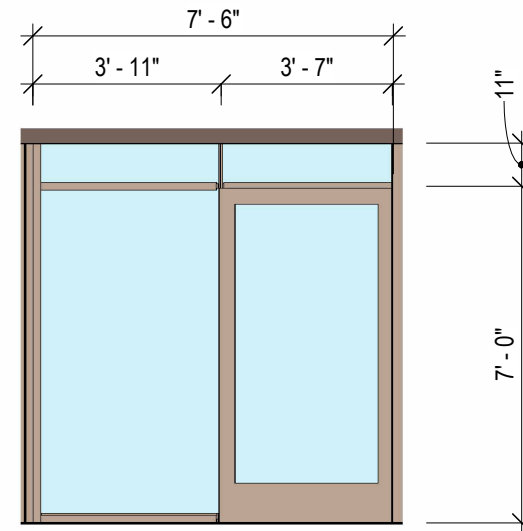
3 NEW STOREFRONT ENTRY WEST
1/4" = 1'-0"



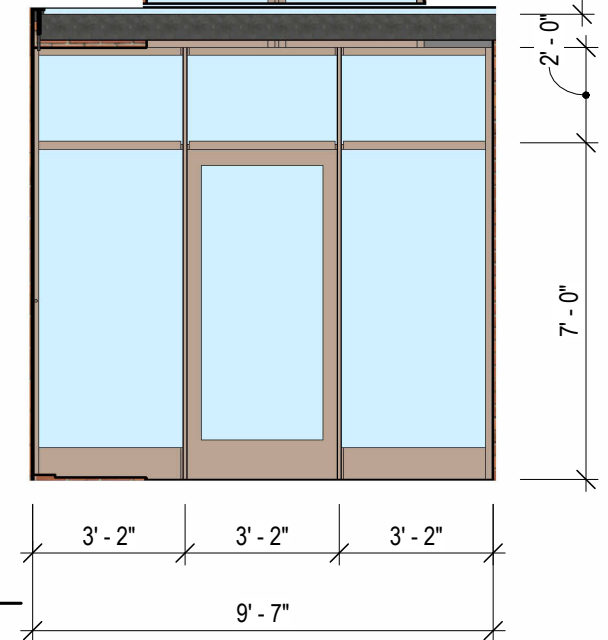
4 CURTAIN WALL 4 STOREFRONTS WEST
1/4" = 1'-0"



5 CURTAIN WALL 5 SOUTH ELEVATION - SOUTH ALLEY
1/4" = 1'-0"



6 CURTAIN WALL 6 RECESSED BALCONIES - SOUTH ALLEY
1/4" = 1'-0"



7 CURTAIN WALL 7 ENTRY SOUTH ELEVATION (ALLEY END)
1/4" = 1'-0"

HN5.01 STOREFRONT TYPES
1-15 CONGRESS STREET

15 Congress Street				
Sheet	Material	Manufacturer	Model/Make	Finish/Color
HN6.05	Brick	to match existing	clay	waterstruck
HN6.06	Chimney Caps	Lofthouse	steel	powder coat/bronze
HN6.04	Composite Metal Panel	Alucobond	Axcent	anodize, dark bronze
HN6.04	Composite Trim - corbels	Versatex	Custom	field painted, per renderings
HN6.04	Composite Trim - flat stock & panel	Hardi	as indicated on renderings	field painted, per renderings
HN6.04	Copper	Revere	sheet	mill finish (natural)
HN6.04	Cornice, ZONC	Rheinzinc	sheet	mill finish (natural)
HN6.05	Granite	Swenson	wall base	thermal/Carolina Pink
HN6.05	Granite	Swenson	steps & benches	thermal/Autumn Pink
HN6.06	Railings at Balconettes	Custom	steel	powder coat/black
HN6.06	Railings at Roof and north balconies	Viva	Eco Vista	paint/black
HN6.02	Skylights	Town & Country	Custom - octagon & square	painted; dark bronze
HN6.04	Slate Roofing	Vermont Slate	semi-weathering natural	gray green
HN6.04	Soffits	Longboard	consistent wood grain	dark fir
HN6.03	Storefronts & doors	Kawneer	Trifab	Kynar, medium bronze
HN6.01	Windows	Pella	Architectural Series	aluminum clad wood - kynar, brown

**HN6.00 MATERIALS, SCHEDULE
1-15 CONGRESS STREET**

10/18/24



Pella® Reserve™ Traditional Wood & Clad/Wood



Exquisitely designed windows and doors with unparalleled historical detailing.



- Easy-to-learn Pella Steady Set™ interior installation system**
Pella Steady Set Interior Installation System is a revolutionary, award-winning and safer way to install new construction windows. The simple system is the fastest, most labor efficient wood window installation system with uncompromising quality. Available on select windows.
- Historical Details**
Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve – Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**
Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural Interest**
Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles to provide meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**
If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**
From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Intentional innovation**
The award-winning Integrated RolSCREEN® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window and rolls away, out of sight, when you close it.
- Durable interiors and extruded aluminum exteriors**
To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified**
Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.
- Testing beyond requirements**
All wood products and testing are not created equal. Pella raises the bar on industry standard testing and beyond to deliver long-lasting products and reduced callbacks. Every Pella wood window and door passes 5, on average, quality checks before it arrives on the jobsite.
- Best limited lifetime warranty***
Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.†

Available in these window and patio door styles:

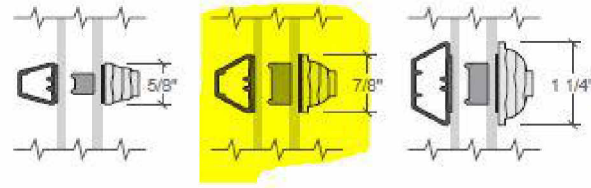


Special shape windows also available.

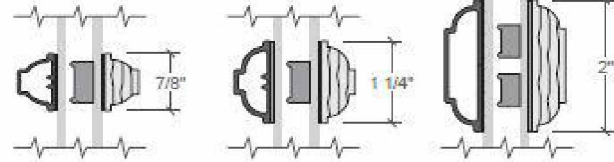
*** See back cover for disclosures.

Integral Light Technology®

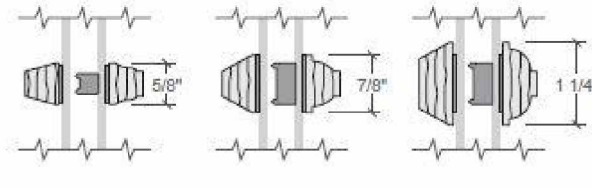
Putty and Ogee Glaze Grilles Clad Exterior - Wood Interior



Ogee Glaze Grilles Clad Exterior - Wood Interior



Putty and Ogee Glaze Grilles Wood Exterior - Wood Interior



Contoured Aluminum - Grilles-Between-the-Glass



MULLED CASEMENT

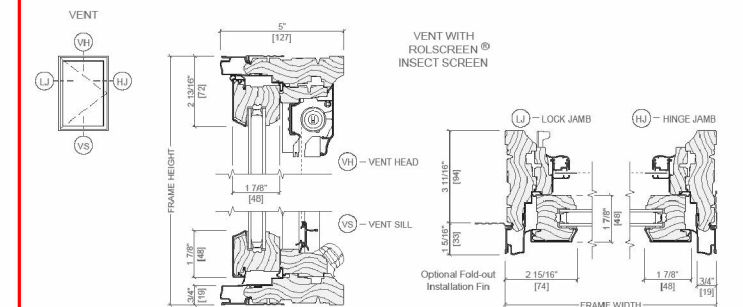
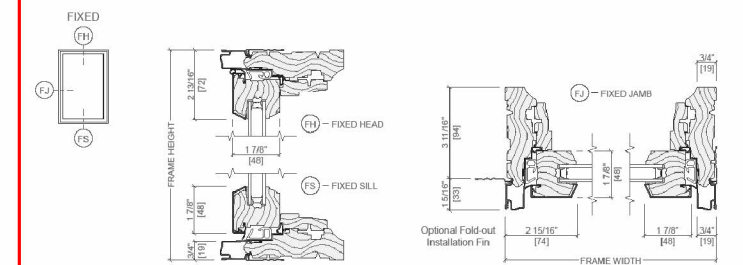
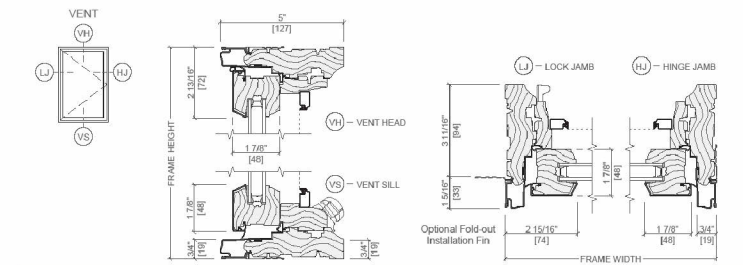


MULLED DOUBLE HUNG



Pella® Reserve™ Traditional Casement Window

Unit Sections – Aluminum-Clad Exterior, Putty Glaze Exterior Profile



Scale 3" = 1' 0"
All dimensions are approximate.

Pella 2024 Architectural Design Manual | Division 08 - Openings | Windows and Doors | www.pella.com

CM-33

Colors

Wood Types

Choose the wood species that best complements your project's interior.



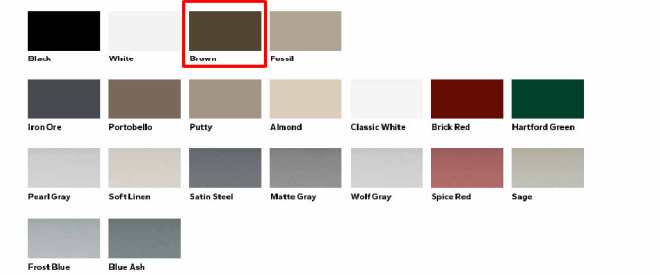
Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.†



HN6.01 MATERIALS, WINDOWS
1-15 CONGRESS STREET

10/18/24

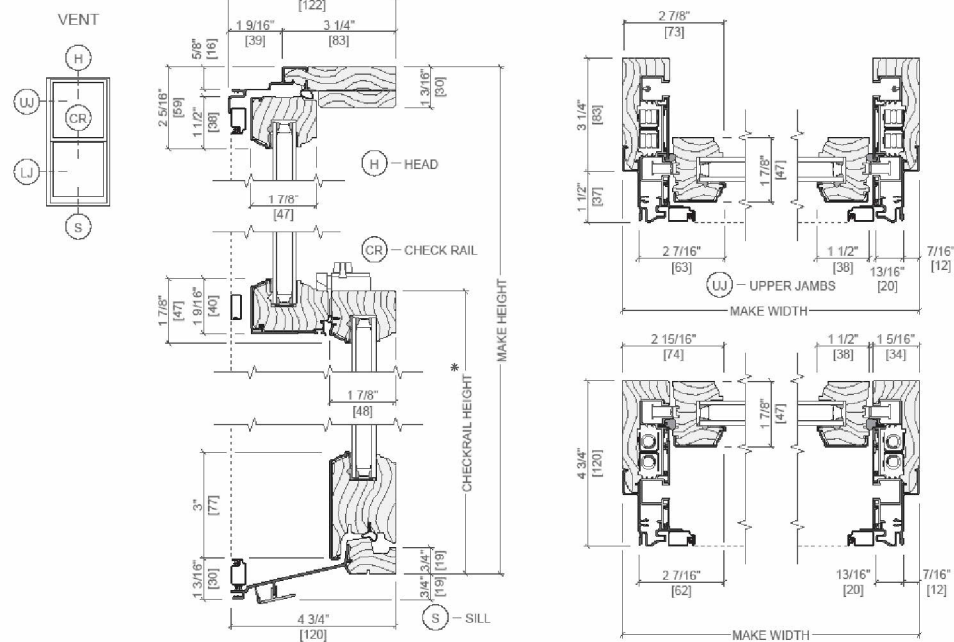


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Pella® Reserve™ Traditional Precision-Fit Hung Window

Unit Section - Aluminum-Clad Exterior Ogee Exterior Glazing Profile



* Dimension required for ordering units with unequal sash.

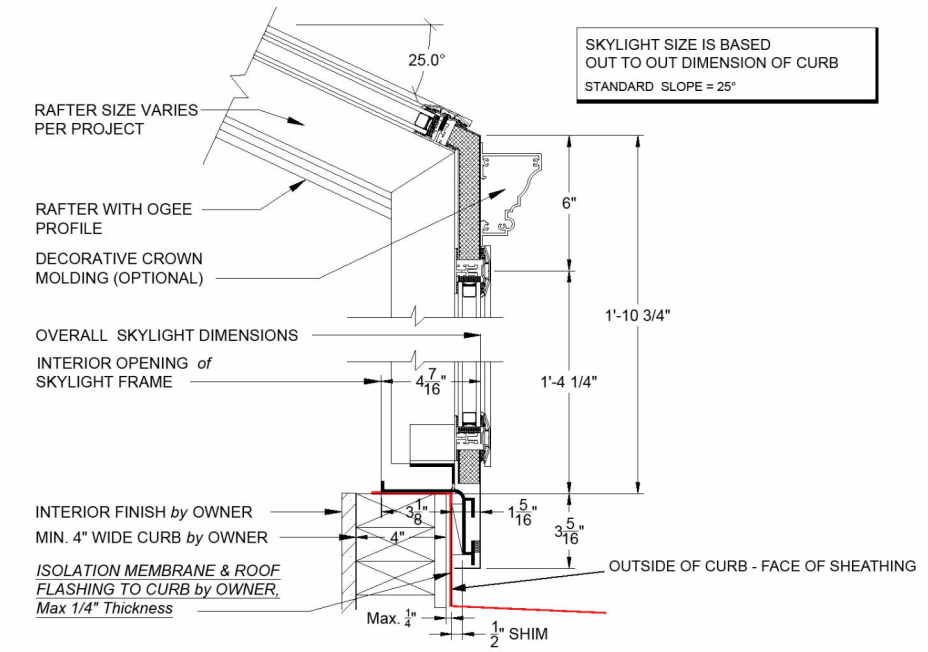
OCTAGONAL SKYLIGHT



PYRAMID SKYLIGHT



TOWN & COUNTRY SKYLIGHT SYSTEM



SKYLIGHT with SIDE FRAMES STANDARD DETAIL

Do Not Scale Drawings

GLAZING OPTIONS

DESCRIPTION (1" Overall)	U-VALUE*	SOLAR HEAT GAIN COEFFICIENT*	SHADING COEFFICIENT*	VISIBLE LIGHT	REFLECTANCE (Exterior)
Typical Low-E Glass (on most homes)	.33	.66	.76	73%	17%
High-performance Low-E Glass (our standard)	.26	.40	.46	71%	11%
Upgrade 1 High-performance Low-E: Better Shading Coefficient	.25	.27	.31	64%	11%
Upgrade 2: Maximum Shading Coefficient	.26	.24	.28	39%	14%

* U-value measures the insulating properties of glass. The lower the better. Shading coefficient and Solar Heat Gain Coefficient measure the amount of solar energy admitted through the glass. The lower the better to reduce air-conditioning costs.



CLADDING COLOR OPTIONS



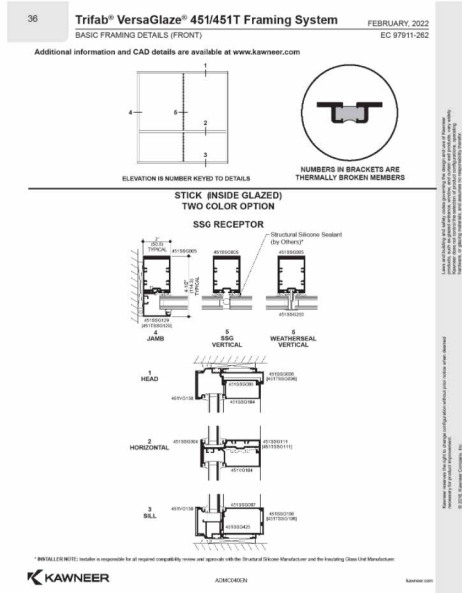
HN6.02 MATERIALS, SKYLIGHTS
1-15 CONGRESS STREET

10/18/24

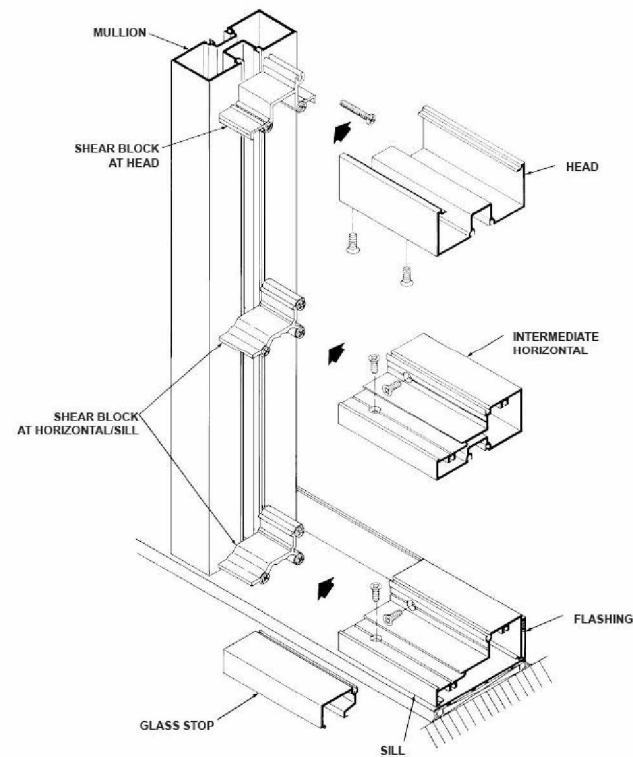


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CLADDING COLOR OPTIONS



STOREFRONT AXONOMETRIC DETAIL



TRIFAB® VG (VERSAGLAZE®)
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM



Design + Performance
Versatility with Unmatched
Fabrication Flexibility



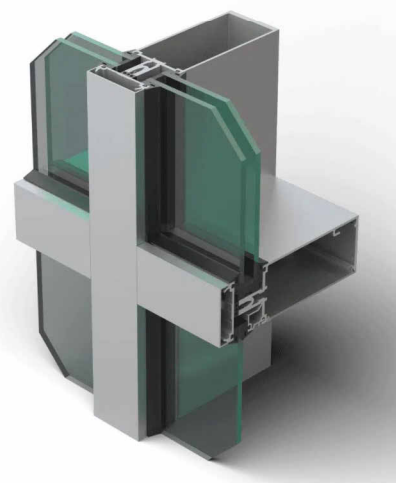
Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

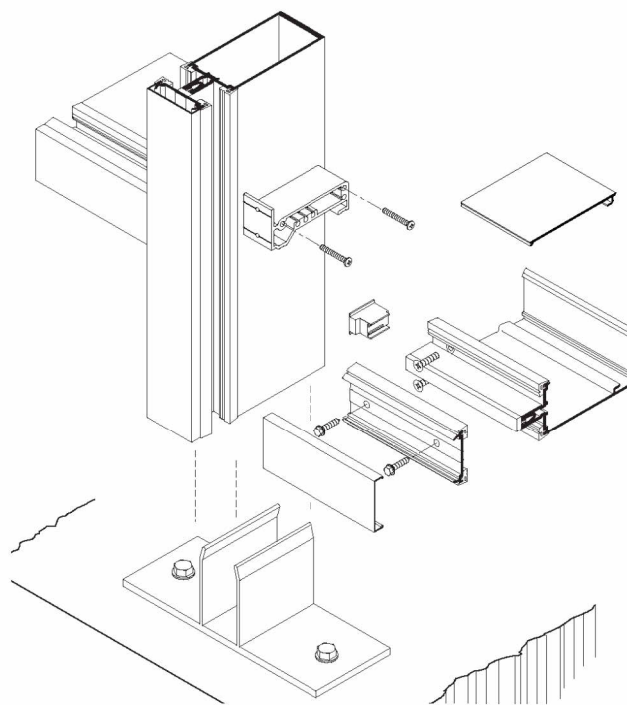
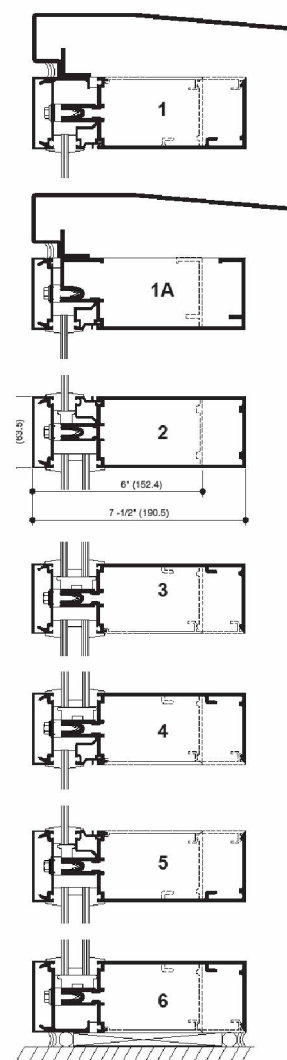
AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone



1600 Wall System®1 Curtain Wall

PICTORIAL VIEW



2000T Terrace Doors →

- 3-3/4" (95.3mm) sightline
- 2-1/4" (57.2mm) depth
- High-thermal performance
- Hurricane resistance
- Exterior balcony application

SELECT TO COMPARE



NX-8900 Terrace Doors →

- 4" (101.6mm) sightline
- 2-3/4" (69.9mm) depth
- 3-1/4" (82.6mm) or 4-5/8" (117.5mm) frame depth
- High-thermal performance
- Exterior balcony application

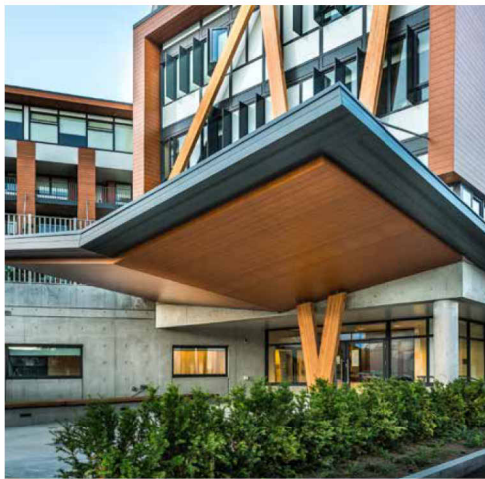
SELECT TO COMPARE

HN6.03 MATERIALS, STOREFRONT-CURTAIN WALL CONGRESS STREET

10/18/24



SOFFIT-CEILING AT BALONIES



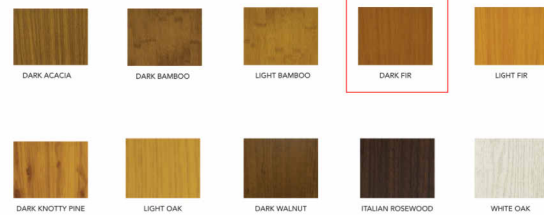
- thermally broken
- made of light weight aluminum
- supports continuous insulation
- creates a rain screen
- response time within 24 hours
- supports other cladding up to 8 lbs per sq ft.
- adjustable for sub-wall misalignment
- health product declarations
- support for specifications + drawings
- built for seismic zones

LONGBOARD®

WOODGRAIN OPTIONS

Our woodgrain options are divided into four categories based on the consistency of the wood grain pattern.

CONSISTENT



easy to use quick delivery
solid warranty durable finishes

longboardproducts.com



COMPOSITE WALL PANELS (ELEVATOR OVER-RUN AND RECESSED ACCENTS)

ALUCOBOND®

GIVING SHAPE TO GREAT IDEAS

ALUCOBOND® Products

PROPERTIES AND BENEFITS

- Flatness and Rigidity
- Lightweight
- Durability
- Custom color expertise
- Formability
- Ease of fabrication
- Perforation capabilities
- 89 stocked ACM colors
- Complementary flat aluminum sheet colors
- Can contribute toward LEED points
- 100% recyclable
- Zero VOC's emitted in use
- EPD in compliance with International ISO Standards

ALUCOBOND® PLUS

4mm ACM comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.

ALUCOBOND® AXCENT™

A solid .040" flat aluminum sheet that offers the perfect complement to ALUCOBOND PLUS. AXCENT is excellent for columns, parapet caps, canopies, soffits, and trim.

ALUCOBOND® EasyFix™

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

ALUCOBOND EasyFix must be used with:

- ALUCOBOND PLUS
- ALUCOBOND EasyFix: Clips or Rails

Fire Retardant (FR) core

Product Properties	
Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft²
Standard panel dimension*	62" x 196"
Maximum width**	62"
Maximum length**	400"

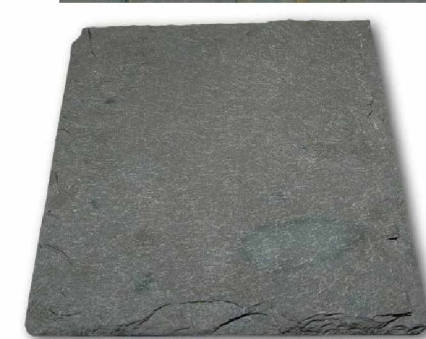
Product Properties	
Product thickness	0.040" (nominal)
Weight	0.56 lb/ft²
Standard width	48"
Standard length	120"

Product Properties	
Weight	1.9 lb/ft²
Weight	1.56 lb/ft²
Standard panel dimension*	40" x 196"
Maximum panel width/length	62"/400"
Clip length	3"
Rail length	12"

* Exceptions to standard dimensions include mirror, print, and others. Refer to product range table on next page.
** Sheets will be fabricated to meet custom panel sizes within product range above.

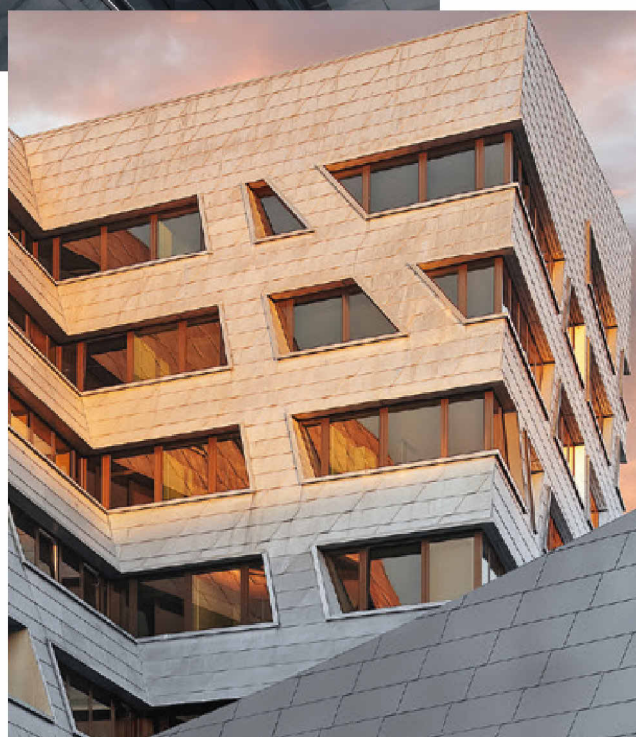
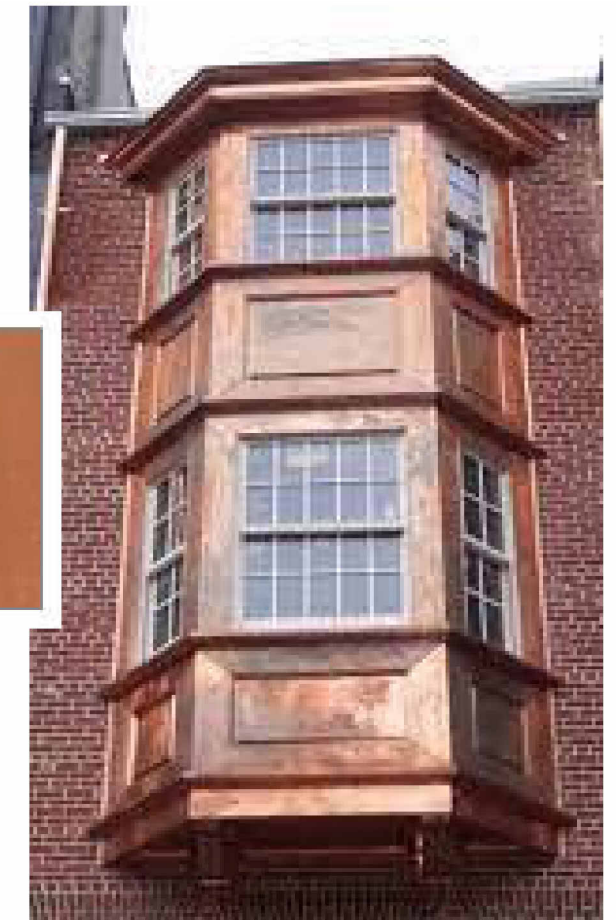
ALUCOBONDUSA.COM / 800.626.3635

ROOFING - NATURAL SLATE

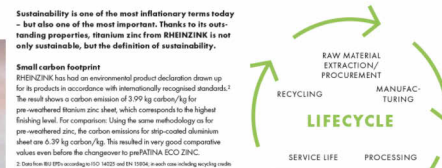


GRAY-GREEN, SEMI-WEATHERING NATURAL SLATE; VERMONT SLATE

COPPER CLADDING- BAY WINDOWS AND PANEL CLADDING



The three pillars of sustainability of titanium zinc



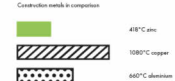
Sustainability is one of the most inflationary terms today - but also one of the most important. Thanks to its outstanding properties, titanium zinc from RHEINZINK is not only sustainable, but the definition of sustainability.

Small carbon footprint
RHEINZINK has had an environmental product declaration drawn up for its products in accordance with internationally recognized standards. The result shows a carbon emission of 2.379 kg carbon/kg for pre-weathered titanium zinc sheet, which corresponds to the highest breaking level. For comparison: Using the same methodology as for pre-weathered zinc, the carbon emissions for aluminum-clad aluminum sheet are 6.39 kg carbon/kg. This resulted in very good comparative values even before the changeover to prePATINA ECO ZINC.

prePATINA ECO ZINC IN FIGURES



MELTING POINTS



100% recyclability
What many call recycling is often merely downcycling. For RHEINZINK, we therefore speak more appropriately of the Cradle to Cradle principle. After its use, titanium zinc can be correctly sorted by type without effort and reused an infinite number of times in its original quality. Therefore, RHEINZINK products basically have an eternal life.

With prePATINA ECO ZINC, we are taking a big step forward on the path to decarbonisation. We are the first manufacturer of construction zinc to reduce carbon emissions by 50%. We make sustainability real: with real renewable energies - certified and without compensation.

EXTREMELY DURABLE

PRACTICALLY MAINTENANCE-FREE

100% RECYCLABLE

NATURALLY SUSTAINABLE

blue-grey

graphite-grey

The Anodized Collection®

* Natural variations in shade and color will occur with anodized finished metals. This variation is part of the natural beauty brought out by the anodizing process and often sought after for this aesthetic quality. Visual look of variation may also be affected by lint as well as size of panel.



ZINC CORNICE ALONG EXISTING PARAPET

HN6.04 MATERIALS, CLADDING & ROOFING
1-15 CONGRESS STREET

10/18/24



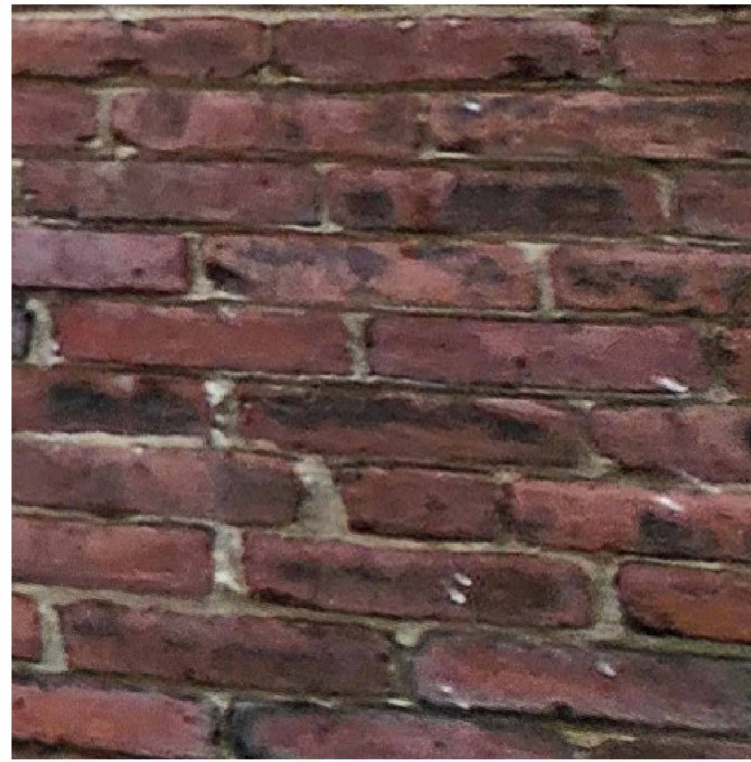
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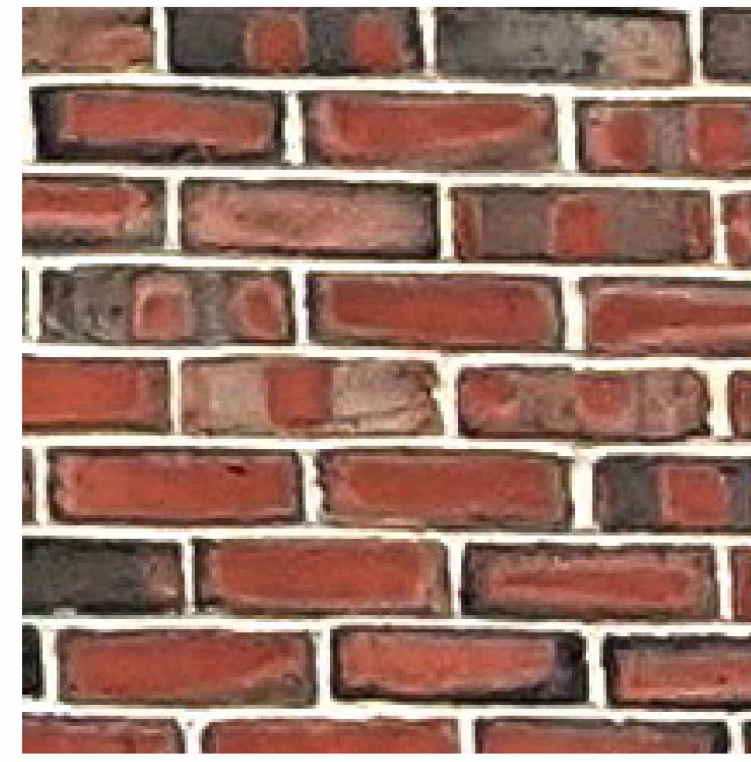
EXISTING BRICK - HAVEN COURT EAST



EXISTING BRICK - HAVEN COURT WEST



EXISTING BRICK - SOUTH ALLEY



EXISTING BRICK - FLEET STREET



Carolina Coral
GRANITE (Haven Court, Wall Base)



Autumn Pink
GRANITE (Haven Court, Steps & Benches)



EXISTING BRICK - 15 CONGRESS STREET

HN6.05 MATERIALS, MASONRY
1-15 CONGRESS STREET

10/18/24



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ECO VISTA GLASS SYSTEM - MOUNTING CONDITIONS



ECO VISTA GLASS SYSTEM - FINISH OPTIONS



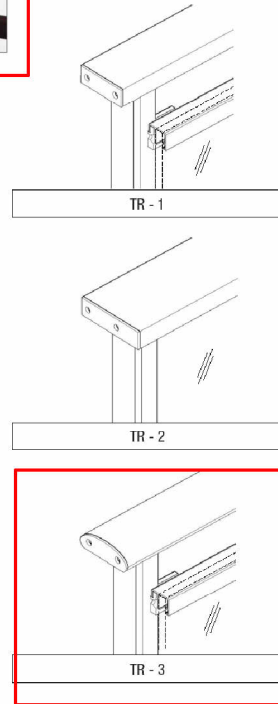
178 viewings.com DESIGN • ENGINEER • FABRICATE • INSTALL

GLASS & METAL RAILINGS- ROOF DECK



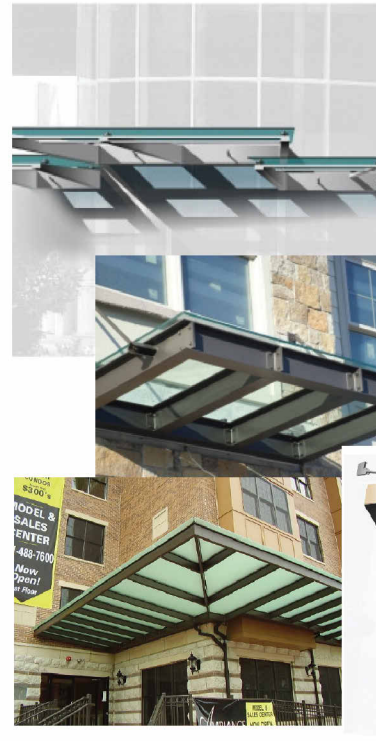
ECO VISTA GLASS SYSTEM - TECHNICAL DATA

	MATERIAL	FINISH	SIZE/SPACING
POST	Aluminum	Powder Coat - Super Polyester (AAMA 2606 - 6) Powder Coat - PVDF (AAMA 2607 - 6)	2.5" x 1.5" rectangular section for fascia mounted post, and T section for top or side mounted post, 24" x 1" 3003, U.S.C.
INFILL OPTIONS	Glass	Clear, Tinted or Full	Min. 3/16" laminated glass with PVB or SGP interlayer* Glass standard thickness: 3/16", 1/2", 5/16", 3/4" Interlayer standard thickness: SGP: 0.390" - 0.391" PVB: 0.225" - 0.227"
TOP RAIL/HAND RAIL	Aluminum	Powder Coat - Super Polyester (AAMA 2606 - 6) Powder Coat - PVDF (AAMA 2607 - 6)	Top rail options: Rectangular: 2.5" x 1.5" (TR1) Inch: 2.5" x 1.5" (TR2) Round: 1.5" x 1.5" (TR3)



GLASS AWNINGS- FLEET STREET, HAVEN CT, & SOUTH ALLEY

Vision™ series
Glass and Perforated Metal Canopies.

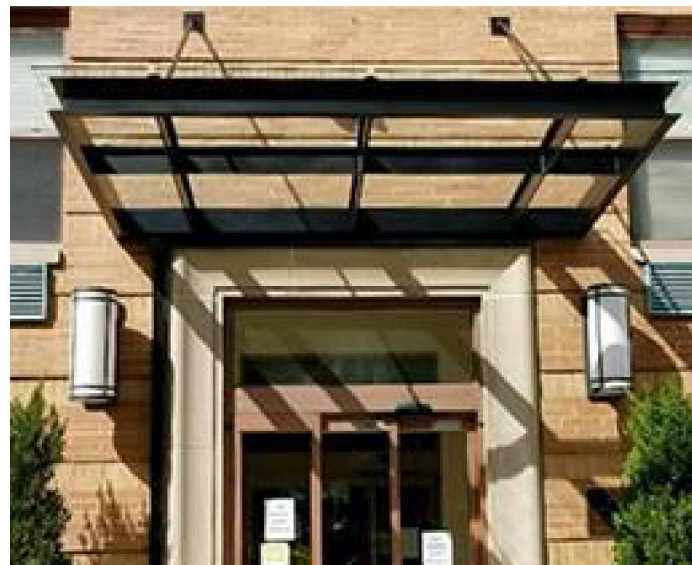


Vision® is a custom canopy system with your choice of glass, acrylic panels or perforated metal. Assembled in any combination you desire. You can showcase your "brand" signature with this in-house designed and built canopy system.

Features and Benefits:

- Free-form design opportunities
- Endless selection of glass finishes and metal patterns.
- Custom designed to exact specifications
- Can be designed to match other building elements
- Create a lasting focal point.

Innovative environmental control through creative design



EXTERIOR LIGHT FIXTURES



Refraction Large Outdoor Sconce

Base Item #: 302623

Selected Options

Lamping	Finish
Incandescent (SKT)	Coastal Dark Smoke (77)

Option1

Clear Glass (ZM) [ZM0618]

Configured Item #: 302623-1004

Smart String: 302623-SKT-77-ZM0618

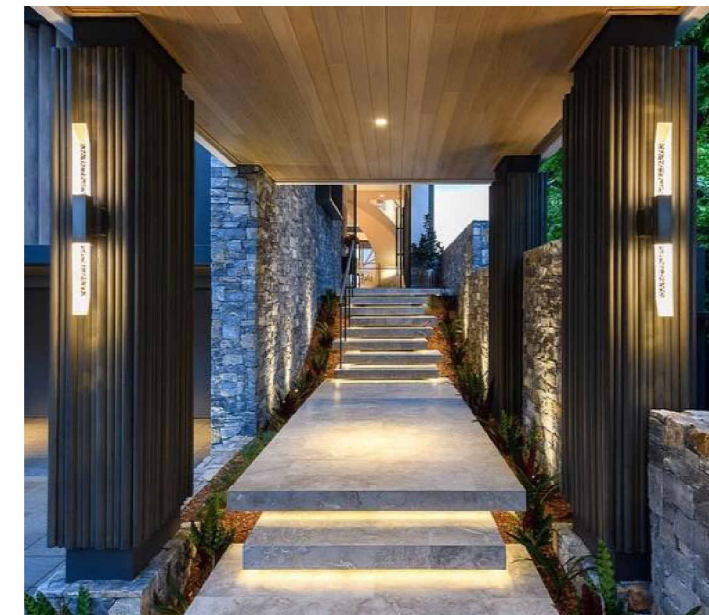
1 Image shown may not correspond to selected options

Specifications

Dimensions			
Height	35.7"	Lamping Information	
Width	5"	Socket Type	GY 6.35
Depth	4"	Bulb	MR16 reflector, 20 watt Max
Product Weight	14.8 lbs	Number of Bulbs	2 (included)
Backplate	5.3" x 5"	Voltage	12V
Mounting Height - Vertical	17.9"	Location Rating UL	Outdoor Wet
		Safety Rating	UL CUL listed

Options

Lamping	Finish	Option1
Incandescent (SKT)	Coastal White (02) Coastal Oil Rubbed Bronze (14) Coastal Natural Iron (20) Coastal Bronze (75) Coastal Dark Smoke (77) Coastal Burnished Steel (78) Coastal Black (80)	Clear Glass (ZM) [ZM0618]



BRONZE METAL CUSTOM CHIMNEY CAP;
LOFTHOUSE SPECIALTIES



HN6.06 MATERIALS, SPECIALTIES
1-15 CONGRESS STREET

10/18/24



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DRAWING INDEX

- H5.01 COVER
- H5.11 DEMOLITION PLAN
- H5.12 DEMOLITION ELEVATIONS
- H5.14 FIRST FLOOR PLAN

- H5.16 AVERAGE GRADE PLANE CALCULATIONS
- H5.17 ROOF AREAS CALCULATIONS

- H5.20 ROOF HEIGHT DETAIL - HAVEN CT
- H5.21 ELEVATION - CONGRESS STREET
- H5.22 ELEVATION - HIGH STREET
- H5.23 ELEVATION - HAVEN COURT
- H5.24 ELEVATION - REAR (WEST) ALLEY

- H5.32 VINGNETTE - CONGRESS STREET
- H5.33 VINGNETTE - HIGH ST FROM CONGRESS ST
- H5.34 VINGNETTE - HIGH ST FROM STARBUCKS
- H5.35 VINGNETTE - HAVEN CT FROM LADD ST
- H5.36 VINGNETTE - HIGH ST AT LADD ST & HAVEN CT

- H4.41 DETAILS

- H5.50 MATERIALS - WINDOWS
- H5.51 MATERIALS - FENESTRATION
- H5.52 MATERIALS - ARCADE FENESTRATION
- H5.53 MATERIALS - CLADDING
- H5.54 MATERIALS - CLADDING

PROJECT NARRATIVE

This drawing set for 1 Congress Street (Map 0117 Lot 14) is presented here for approval by HDC as part of the combined 1 & 15 Congress Street application. 1 Congress Street (Map 0117, Lot 14) was previously approved by HDC on 08/03/2022. Minor revisions were approved in November 2022. A first one-year extension was granted for approval through 8/03/2024. A second one-year extension was granted for approval through 8/03/2025.

The following new revisions are clouded in the following drawings, to highlight items that have changed since the previous HDC approval.

1. Rear (west) edge of building is now pushed approximately 10 feet back to align with west property line and connect to abutting building at 15 Congress Street.
2. Four skylights at attic mansard roof along the west property line have been changed to recessed balconies.
3. The roof access stair has been relocated to the west property line, with a new entrance.
4. The grade of Haven Court is proposed to be lowered, to provide an accessible way. The wall bases and window sills along Haven Court have been adjusted accordingly.

Project Overview (as previously approved)

REHABILITATION AND ADAPTIVE REUSE OF EXISTING HISTORIC STRUCTURES WITH A NEW ADJACENT STRUCTURE ON REAR SURFACE PARKING LOT.

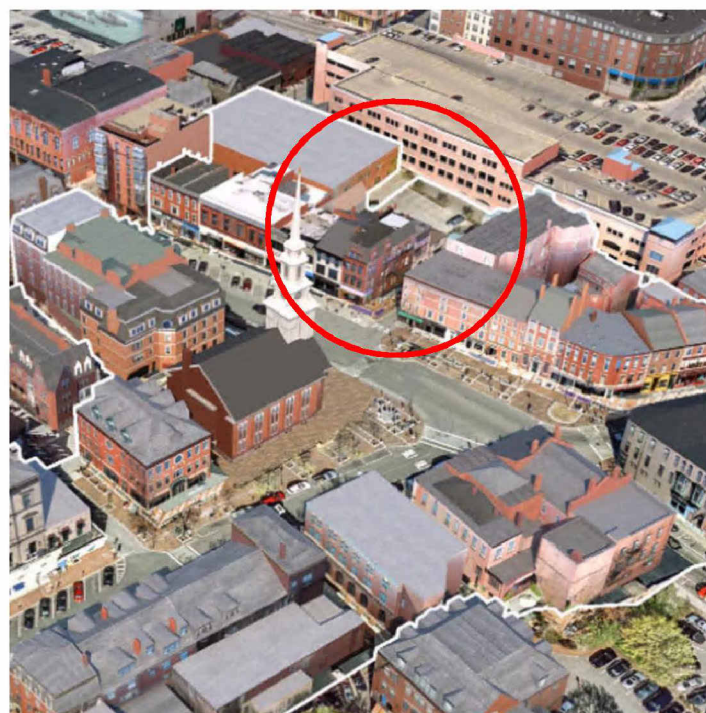
USES INCLUDE RETAIL AT FIRST FLOOR, RESIDENTIAL UNITS AND OFFICE SPACE ABOVE, AND ONE LEVEL OF UNDERGROUND PARKING.



ONE CONGRESS STREET RENOVATION & ADDITION

ONE MARKET SQUARE, LLC

**HISTORIC DISTRICT COMMISSION -
PUBLIC HEARING
OCTOBER 18, 2024**

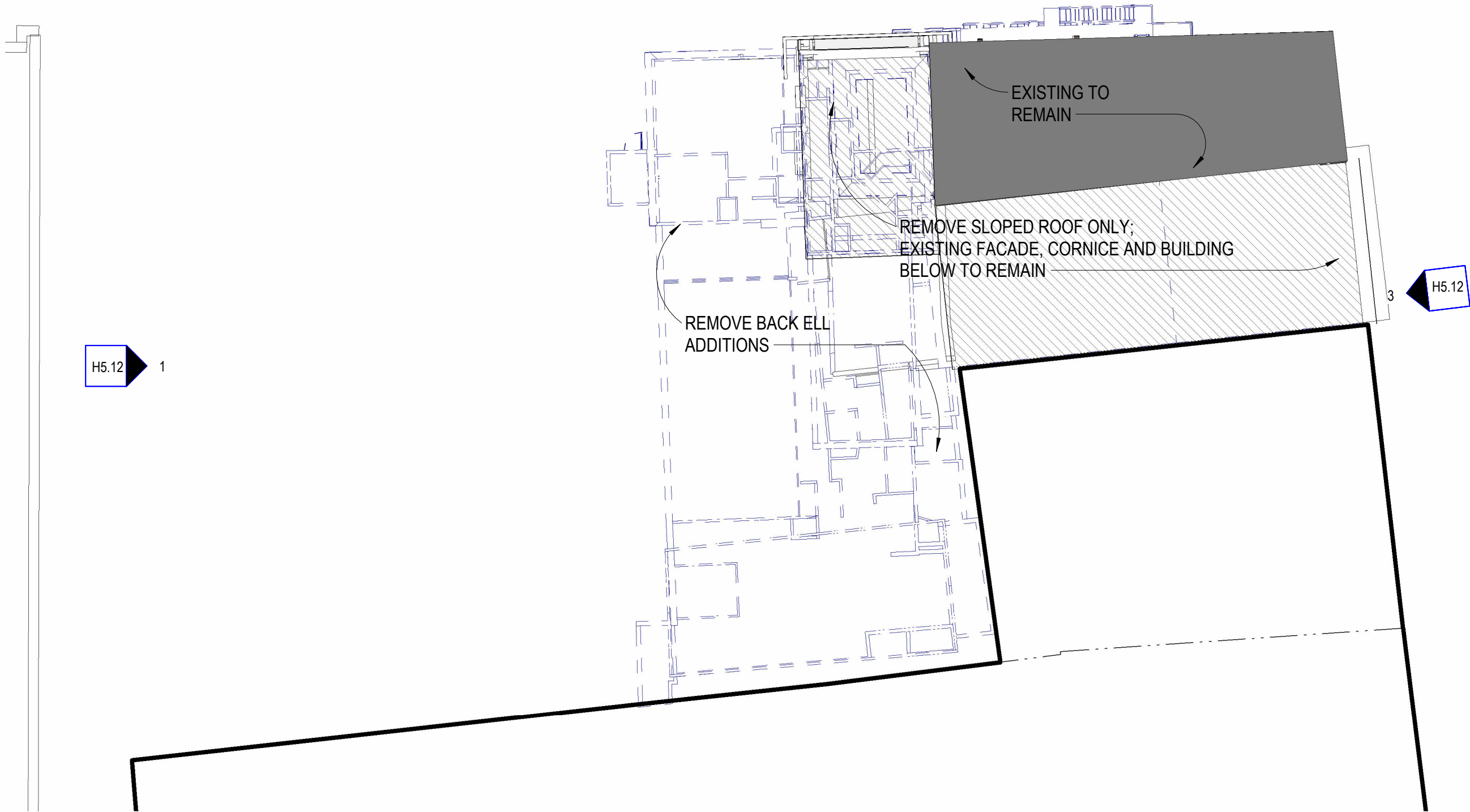


H5.01 COVER
1-15 CONGRESS STREET
SCALE:
10/18/24



H5.12
2

H5.12
1

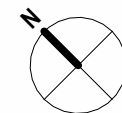


H5.11

DEMOLITION PLAN 1 CONGRESS STREET

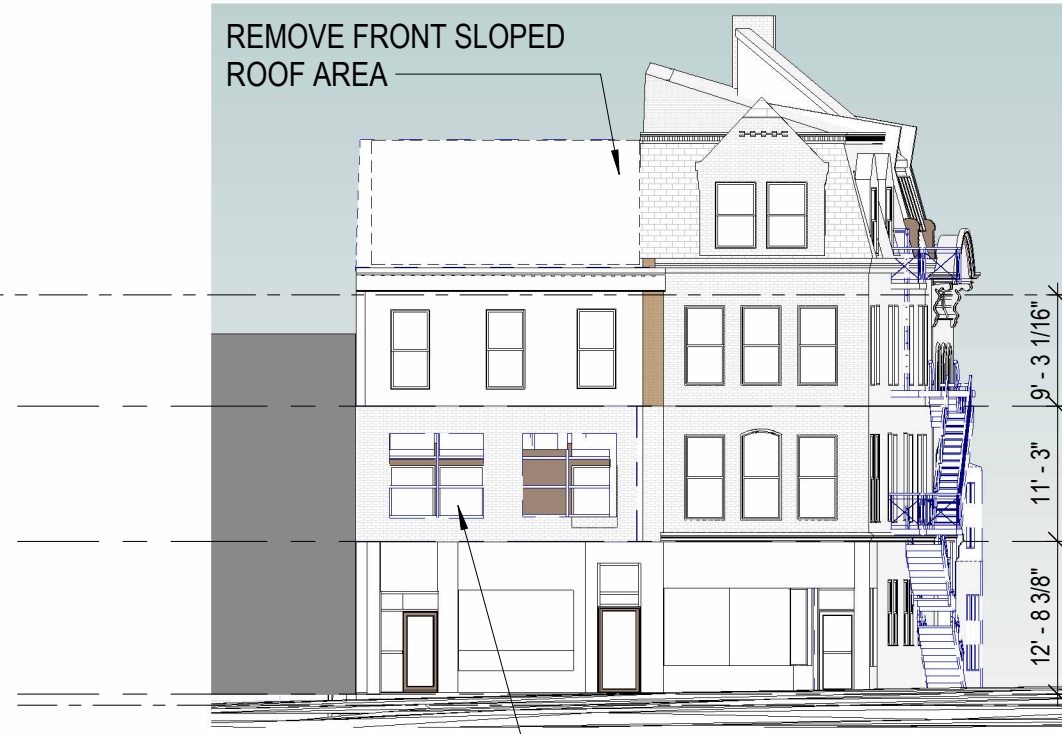
SCALE: 1/16" = 1'-0"
8/03/2022

GRAPHIC SCALE: 1/16" = 1'-0"



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REMOVE FRONT SLOPED ROOF AREA



9' - 3 1/16"
11' - 3"
12' - 8 3/8"

EXISTING ATTIC
61' - 3 3/4"

EXISTING-Level 3
52' - 0 5/8"

EXISTING-Level 2
40' - 9 5/8"

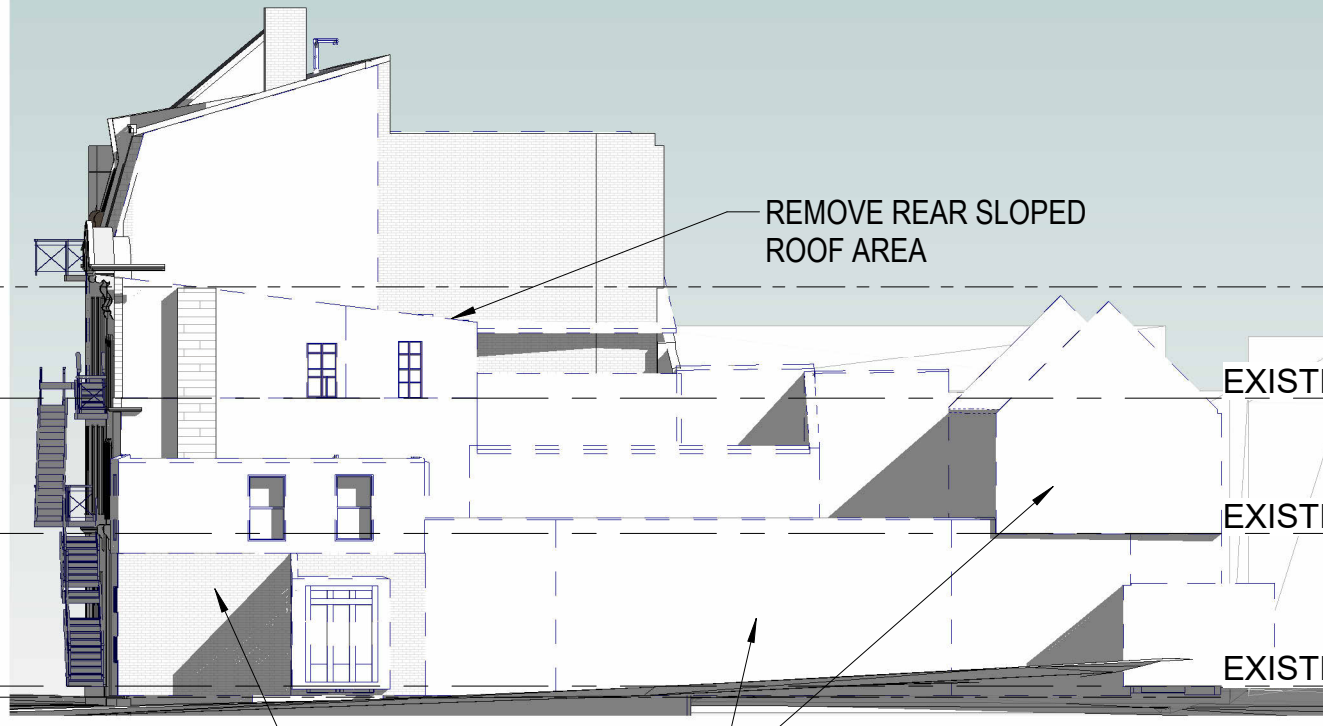
EXISTING-Level 1
28' - 1 1/4"

AVG GRADE CD5
EXISTING*
27' - 2 1/8"

REMOVE EXISTING REPLACEMENT WINDOWS

3 PROPOSED ELEVATION - CONGRESS ST
1/16" = 1'-0"

REMOVE REAR SLOPED ROOF AREA



ATTIC
61' - 3 3/4"

EXISTING-Level 3
52' - 0 5/8"

EXISTING-Level 2
40' - 9 5/8"

EXISTING-Level 1
28' - 1 1/4"

REMOVE REAR ADDITIONS

1 REAR DEMOLITION ELEVATION - NW - HAVEN COURT
1/16" = 1'-0"

AVG GRADE CD5
EXISTING*
27' - 2 1/8"

REMOVE REPLACED STOREFRONTS

REMOVE FIRE ESCAPES

REMOVE AREA OF REPLACED STOREFRONT

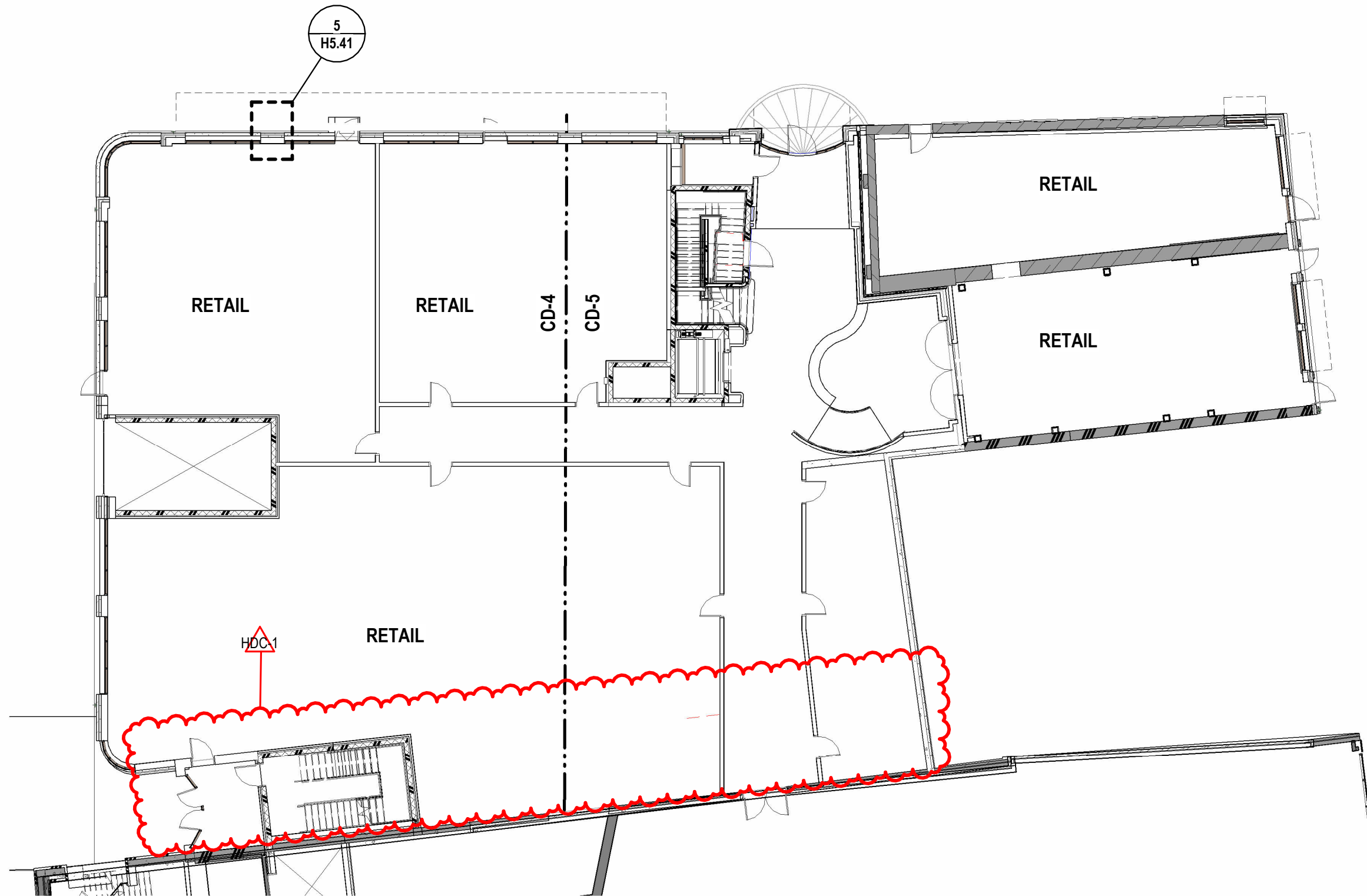
REMOVE REAR ADDITIONS

2 SIDE DEMOLITION ELEVATION - NE - HIGH STREET
1/16" = 1'-0"

**H5.12 DEMOLITION ELEVATIONS
1 CONGRESS STREET**

SCALE: 1/16" = 1'-0"
8/03/2022



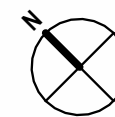


H5.14

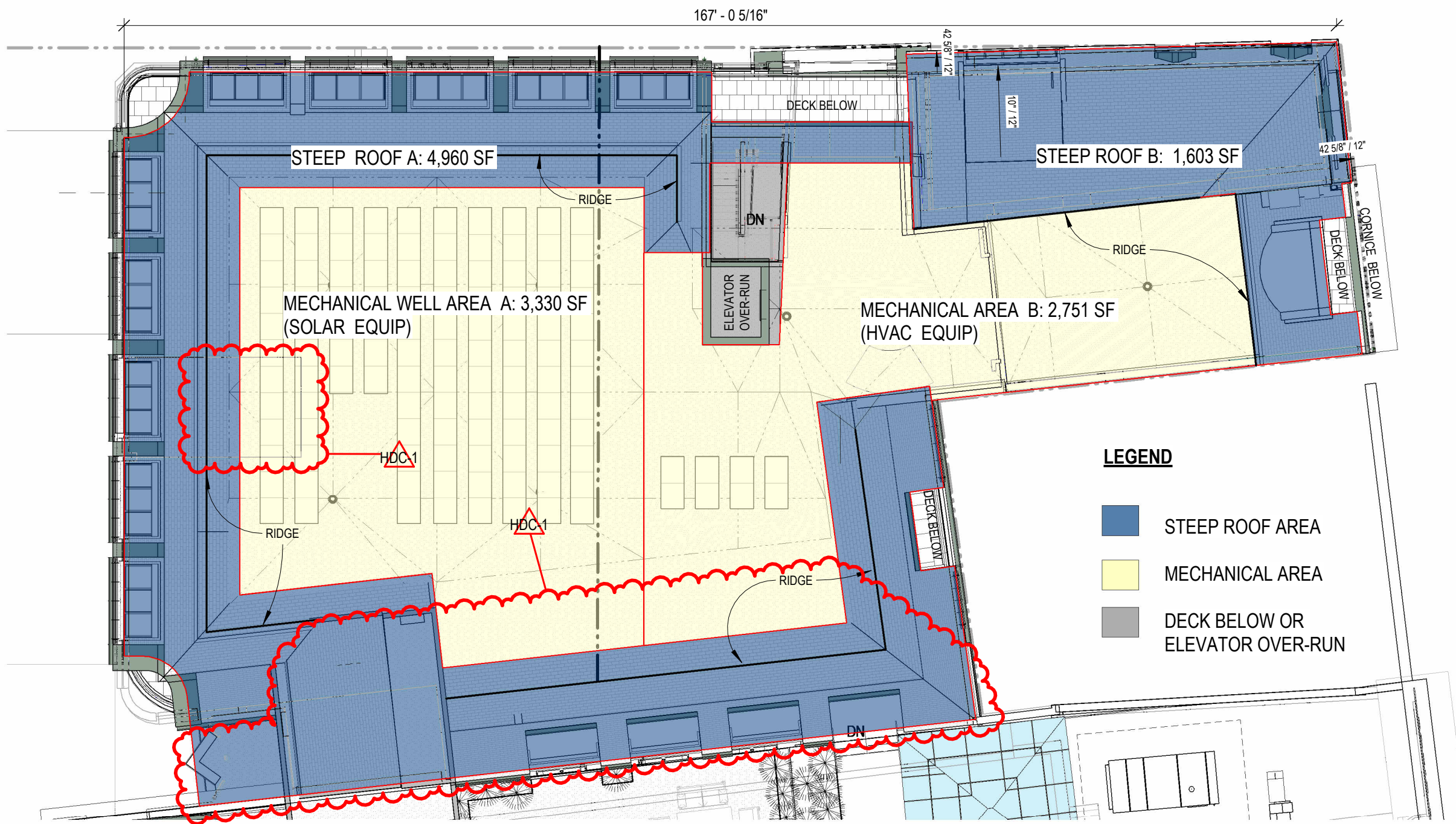
FIRST FLOOR PLAN
1-15 CONGRESS STREET

SCALE: 1/16" = 1'-0"
 10/18/24

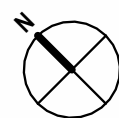
GRAPHIC SCALE: 1/16" = 1'-0"



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1 Congress Street	
SLOPED ROOF AREAS	10/18/2024
STEEP ROOF AREA A	4,960
STEEP ROOF AREA B	1,603
Total	6,563
MECHANICAL AREA A	3,330
MECHANICAL AREA B	2,751
Total	6,081
TOTAL ROOF AREA	12,644
Slope roof % of total	51.91%
Flat roof % of total	48.09%



GRAPHIC SCALE: 1/16" = 1'-0"

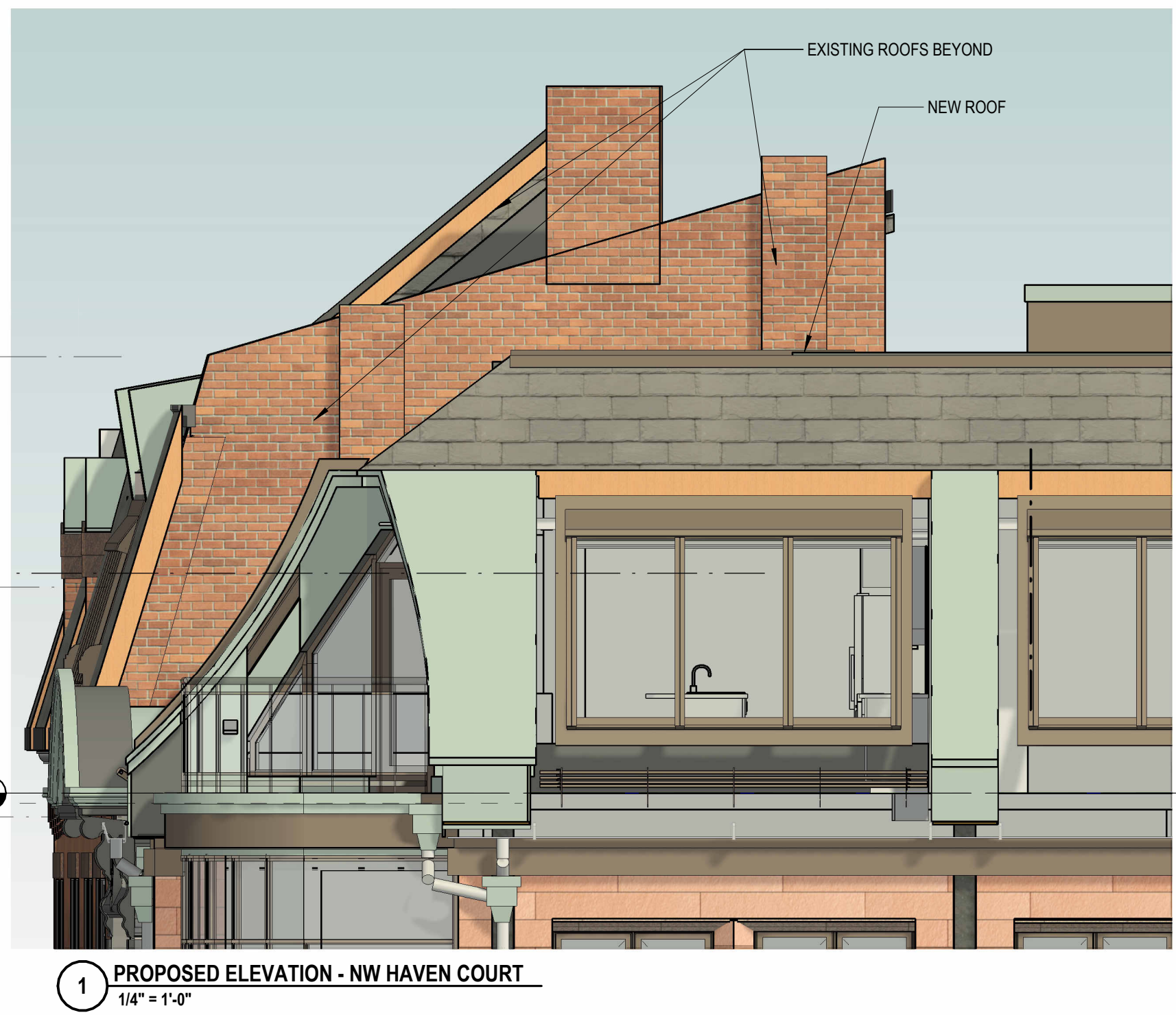
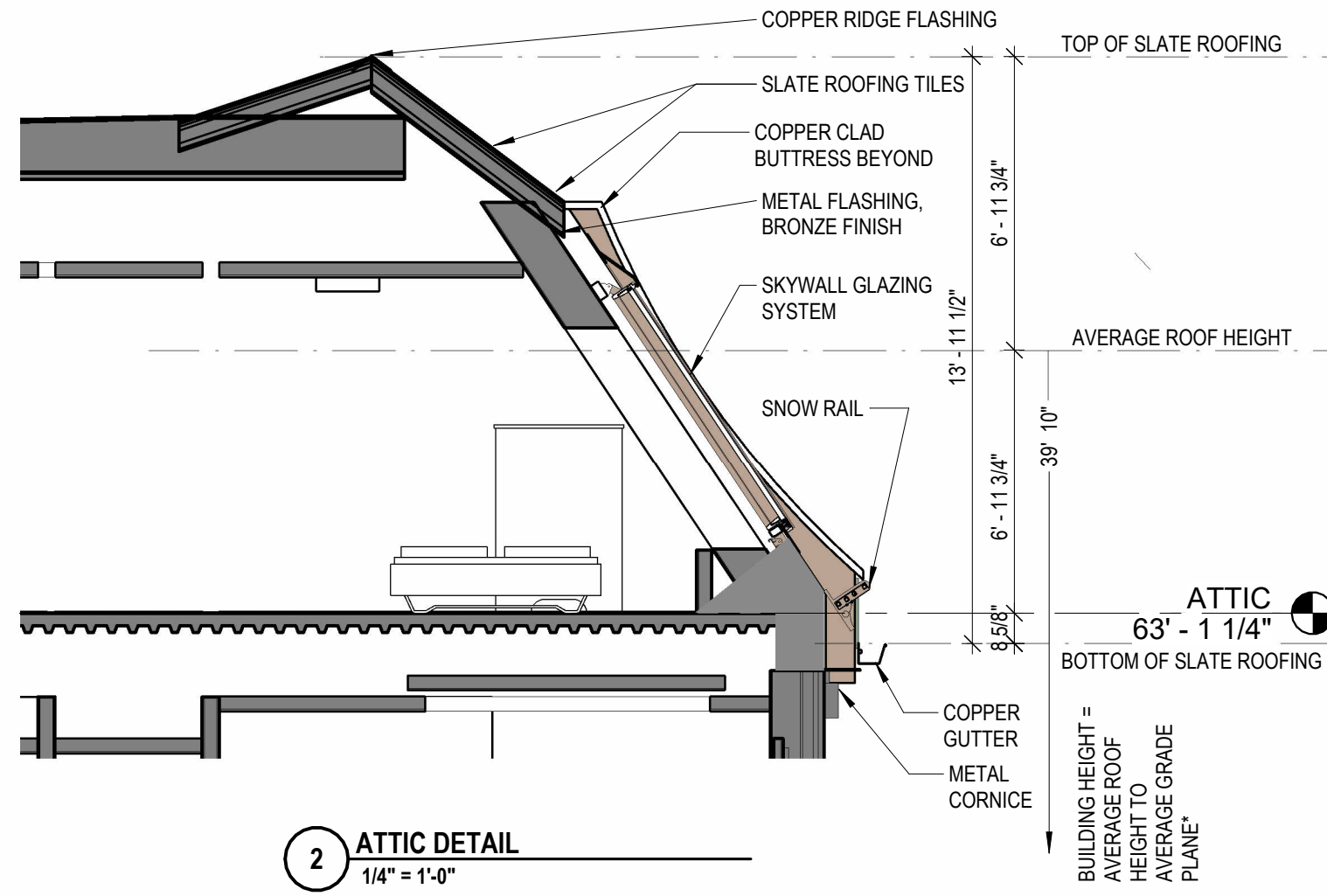


H5.17 ROOF AREA CALCULATIONS
1-15 CONGRESS STREET

SCALE: 1/16" = 1'-0"
10/18/24



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H5.20 **ROOF HEIGHT DETAIL - HAVEN CT**
1-15 CONGRESS STREET
 SCALE: 1/4" = 1'-0"
 10/18/24

* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16





1 PROPOSED ELEVATION - CONGRESS STREET
3/32" = 1'-0"



NEW CANVAS AWNINGS



- RESTORE & RECREATE ORIGINAL GRANITE AND CAST IRON STOREFRONT
- REPLICATE EARLY 20TH CENTURY STAINED GLASS TRANSOMS
- REPLICATE HISTORIC PEDIMENTS
- REPLICATE ORIGINAL CAST IRON STOREFRONT THIS SIDE

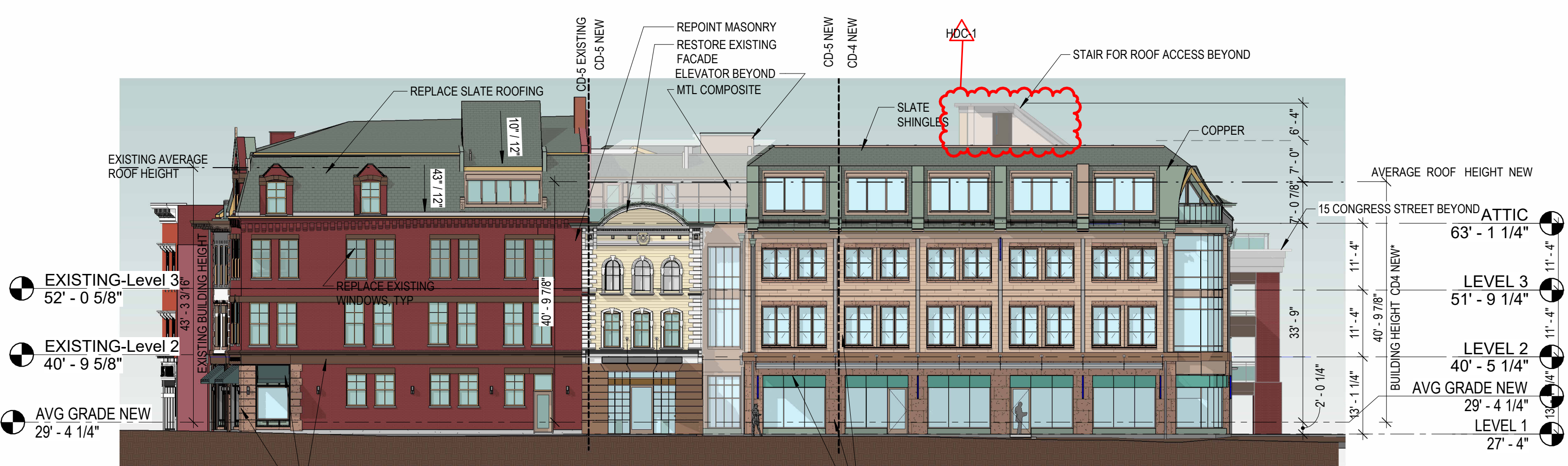
2 PROPOSED ELEVATION - CONGRESS STREET
1/8" = 1'-0"

H5.21 ELEVATION - CONGRESS STREET
1-15 CONGRESS STREET

SCALE: As indicated
10/18/24



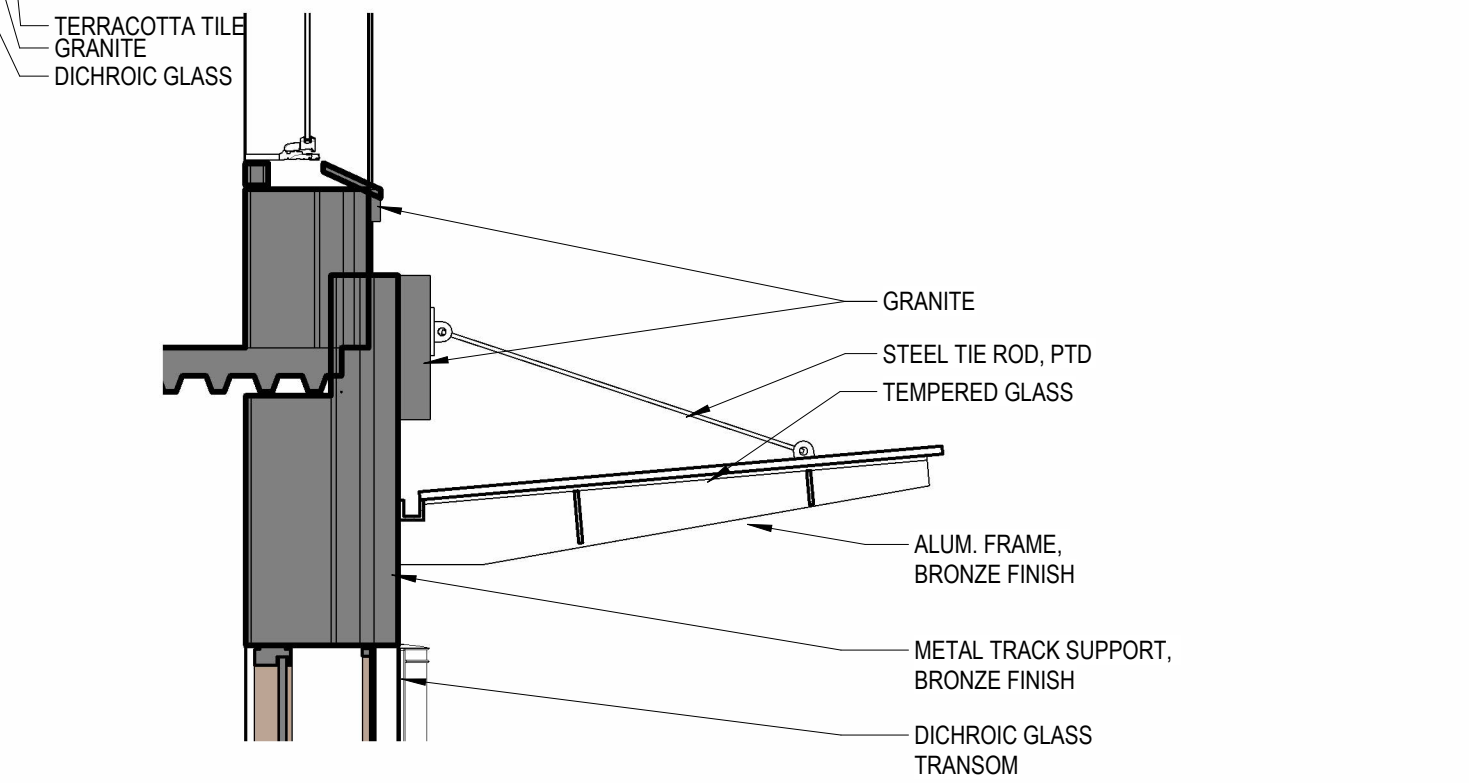
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1 PROPOSED ELEVATION - NE - HIGH STREET
 1/16" = 1'-0"



2 PROPOSED ELEVATION - NE - HIGH STREET
 1/8" = 1'-0"



3 HDC AWNING DETAIL
 1/2" = 1'-0"

H5.22 ELEVATION - HIGH STREET
1-15 CONGRESS STREET

SCALE: As indicated
 10/18/24

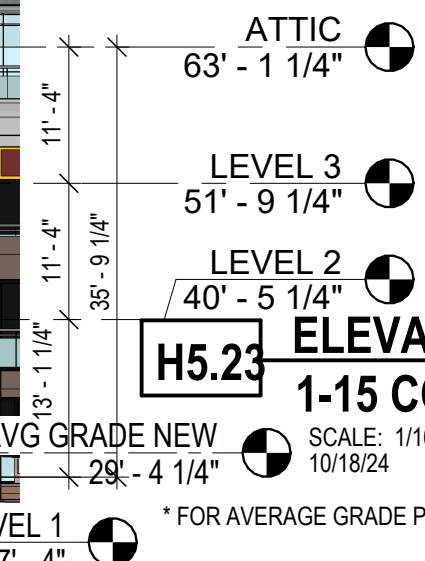




2 NORTH ELEVATION - HIGH STREET & HAVEN COURT (OBLIQUE)
1/16" = 1'-0"



1 PROPOSED ELEVATION - NW HAVEN COURT
1/16" = 1'-0"

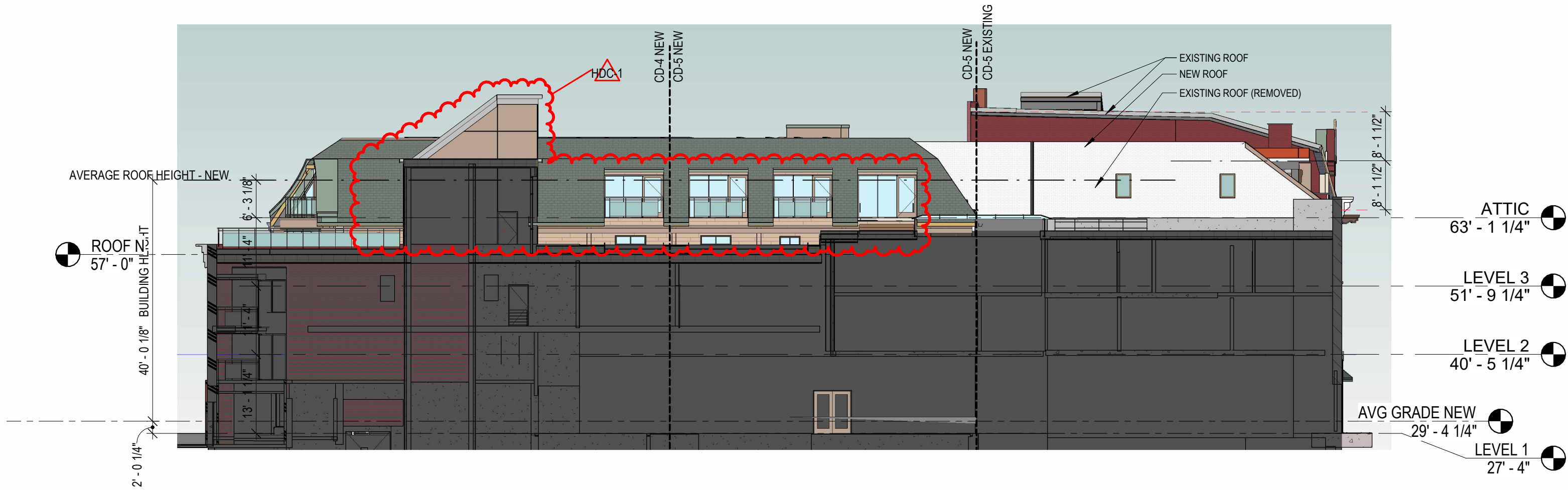


H5.23 ELEVATIONS - HAVEN COURT
1-15 CONGRESS STREET

SCALE: 1/16" = 1'-0"
10/18/24

* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16





H5.24 SW ELEVATION - REAR ALLEY
1-15 CONGRESS STREET

SCALE: 1/16" = 1'-0"
 10/18/24



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H5.32 VIGNETTE - CONGRESS STREET
1 CONGRESS STREET

SCALE:
8/03/2022



H5.33 VIGNETTES - HIGH FROM CONGRESS
1 CONGRESS STREET

SCALE:
10/14/2022



ARCOVE
ARCHITECTS
COPYRIGHT © 2022



H5.34

**HIGH STREET FROM STARBUCKS
1 CONGRESS STREET**

SCALE:
10/14/2022



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**H5.35. VIGNETTE - HAVEN CT FROM LADD ST
1-15 CONGRESS STREET**

SCALE:
10/18/24

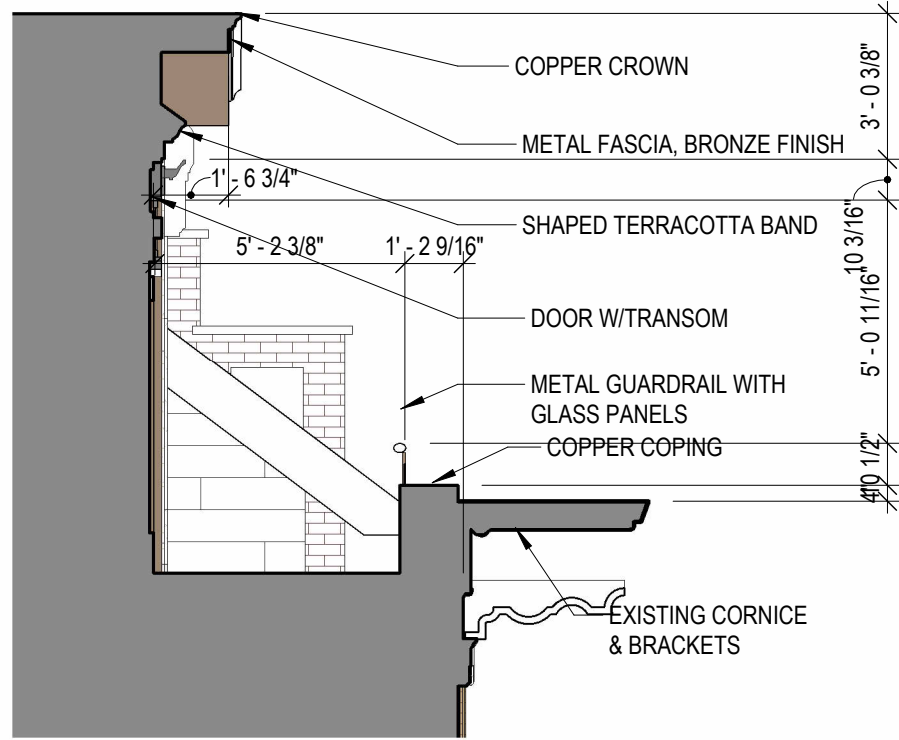


ARCOVE
ARCHITECTS

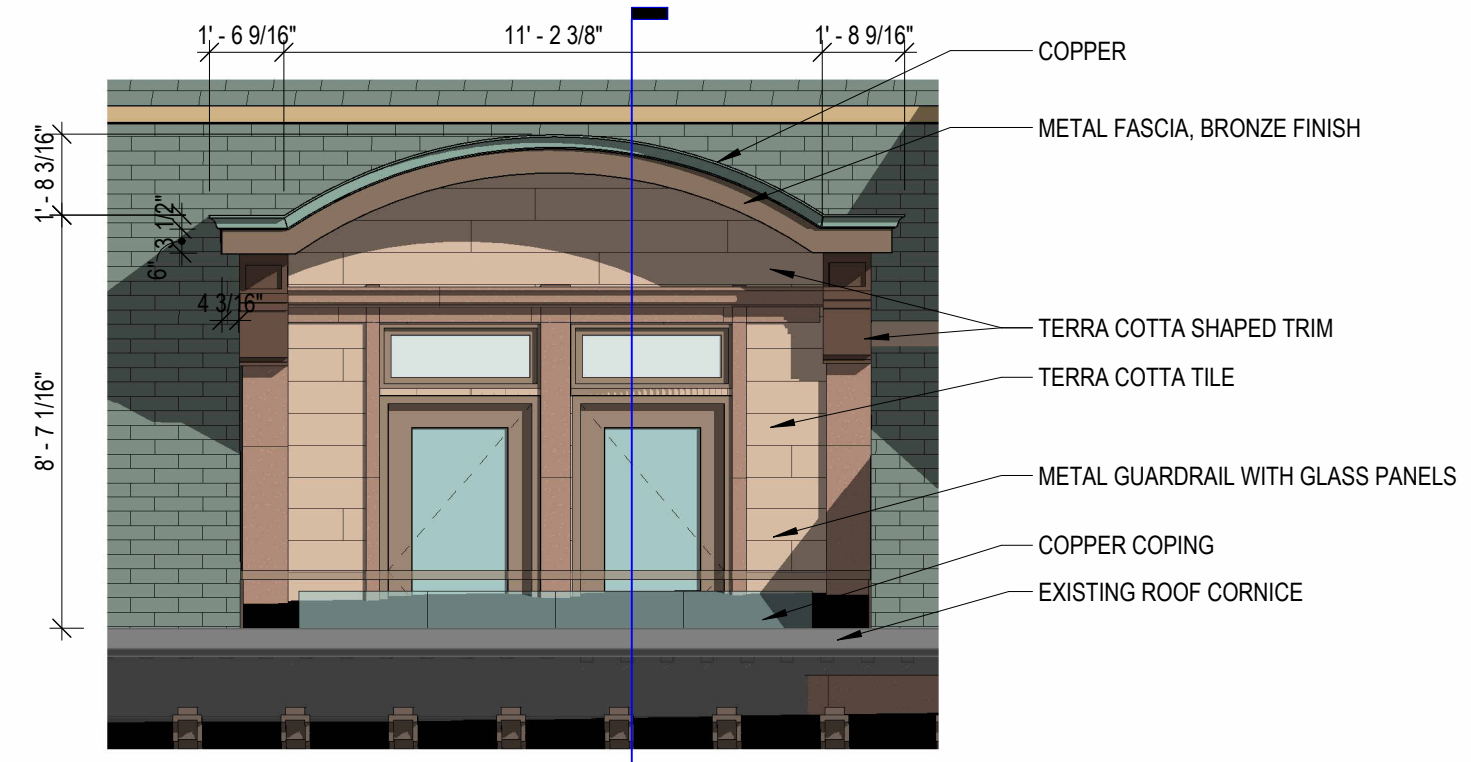
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H5.36 VIGNETTE - HIGH AT LADD & HAVEN
1-15 CONGRESS STREET
SCALE:
10/18/24

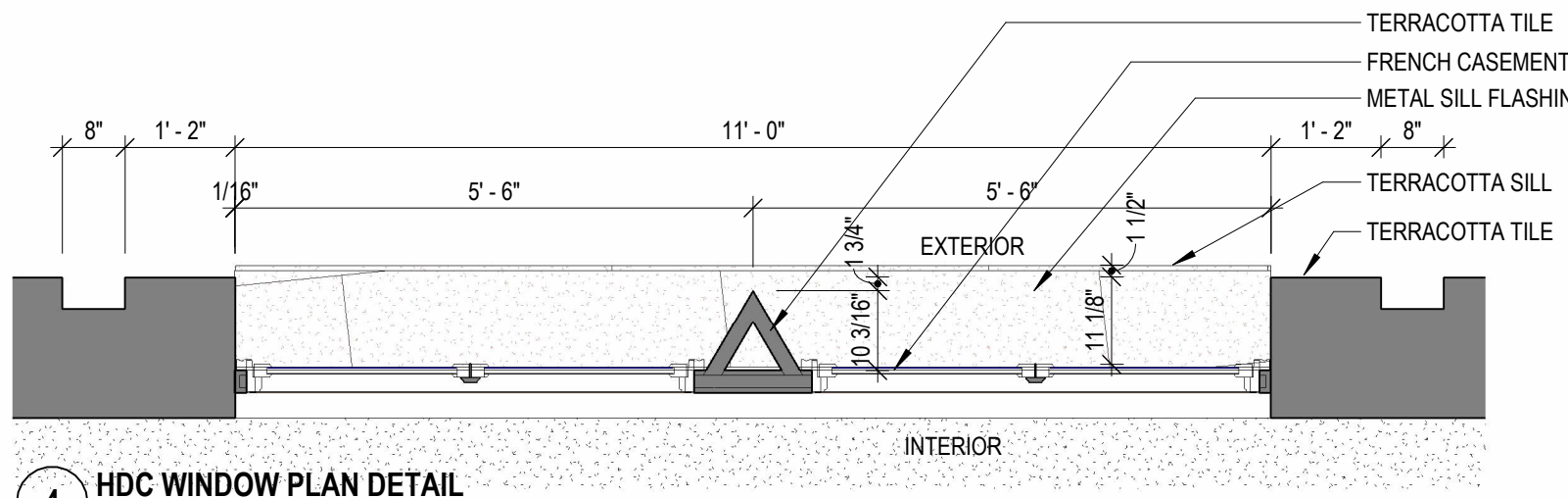
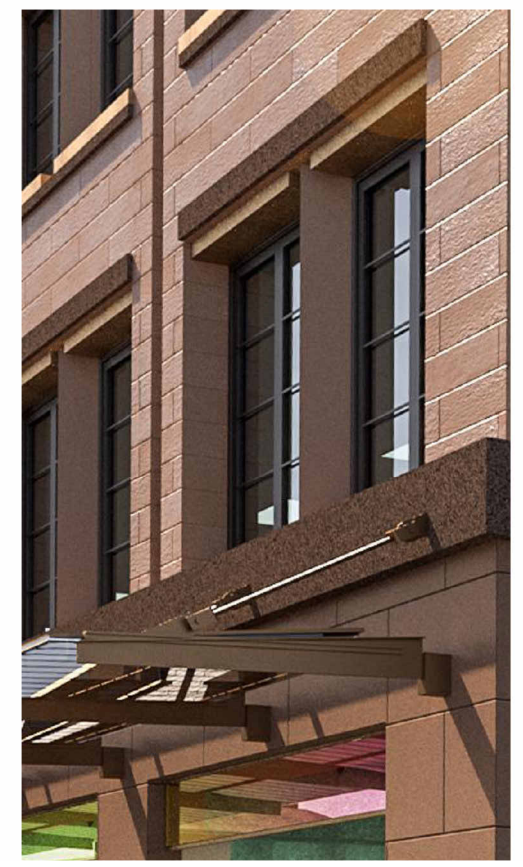


2 HDC DORMER SECTION
1/4" = 1'-0"

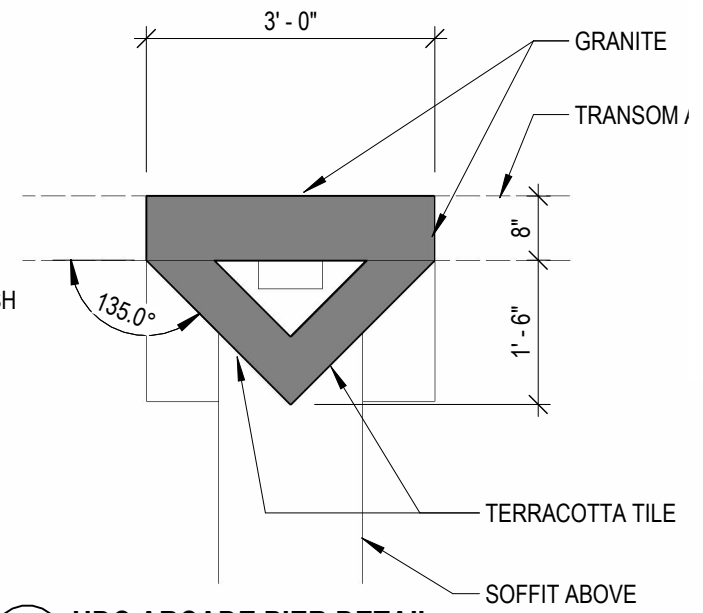


1 HDC DORMER ELEVATION
1/4" = 1'-0"

2
H5.41



4 HDC WINDOW PLAN DETAIL
1/2" = 1'-0"



5 HDC ARCADE PIER DETAIL
1/2" = 1'-0"

H5.41 **DETAILS**
1 CONGRESS STREET
SCALE: As indicated
8/03/2022



Pella® Architect Series®

Traditional Wood & Clad/Wood



Expertly crafted wood windows and patio doors with nearly endless possibilities.

Double-Hung Interior



Double-Hung Exterior



- Designed with distinguished details**
 Crafted with classic aesthetics to make a statement and add architectural interest to your project, inside and out.
- Enhanced style options and custom capabilities**
 Maximum design flexibility with dramatic sizes, custom colors, finishes, profiles, product types and more.
- Authentic look of true divided light**
 Pella's Integral Light Technology® grilles use a metal spacer to create the authentic look of true divided light by casting a more realistic shadow.
- Interior finish options**
 From light to dark, Architect Series - Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Pine interiors are available in a variety of paint and stain colors.
- Beautiful hardware**
 Choose from Pella's collection of rich patinas and other timeless finishes.
- Optional integrated security sensors**
 Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.
- ENERGY STAR® certified¹**
 Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Architect Series - Traditional products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2022.²
- Long-lasting durability**
 Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- Best limited lifetime warranty³**
 Pella Architect Series - Traditional products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.²
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:



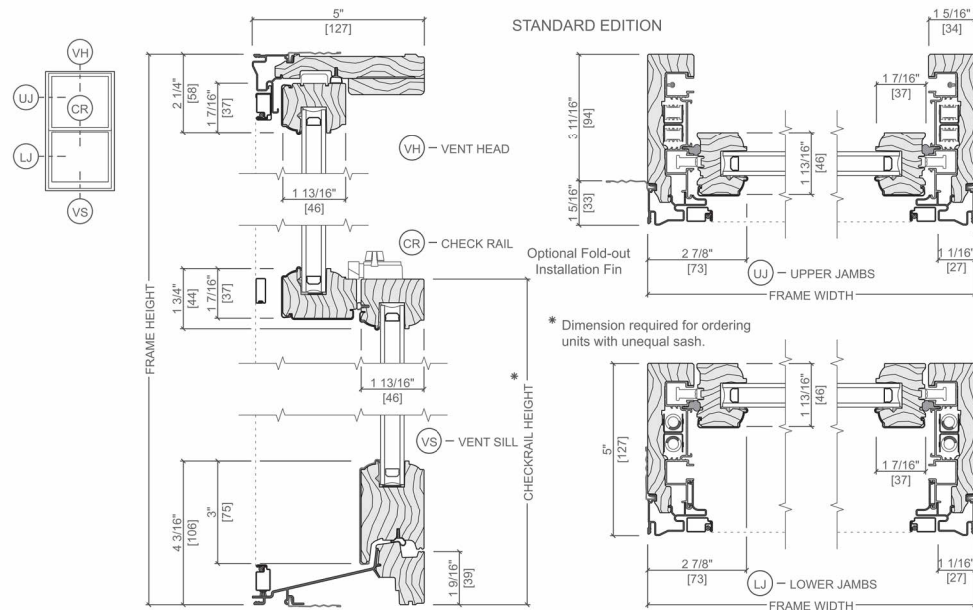
Special shape windows also available.

¹ See back cover for disclosures.



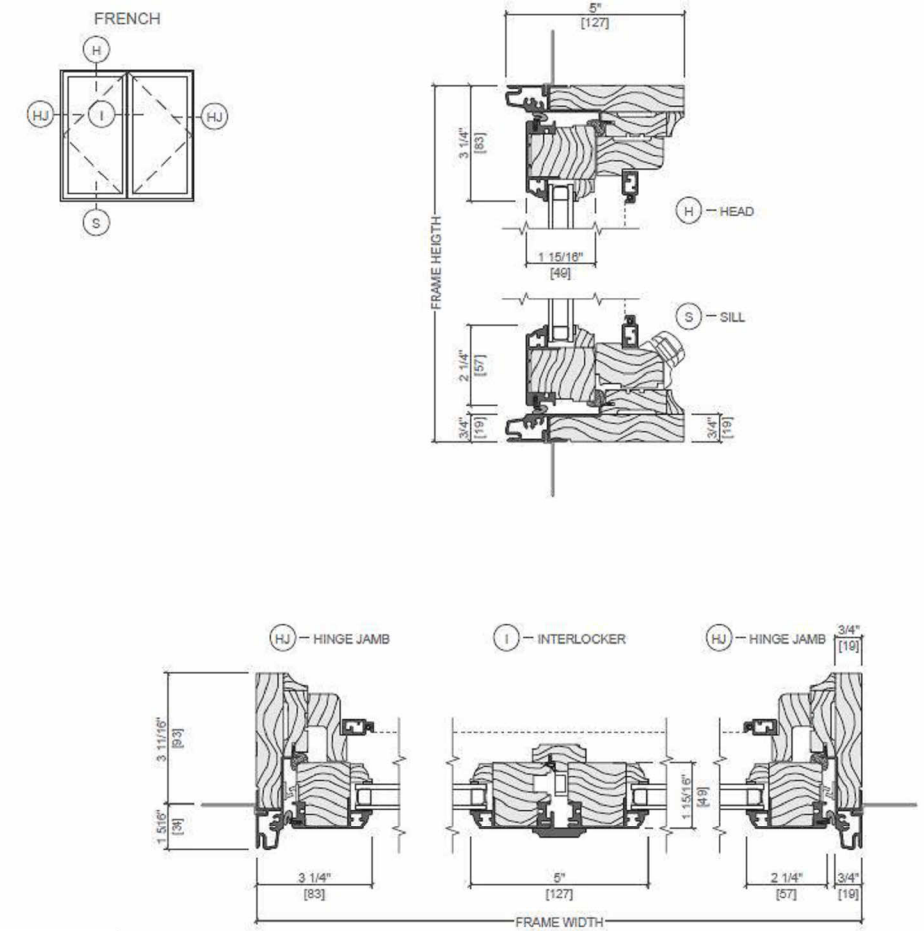
Architect Series® Traditional Hung Window

SE Unit Sections - Aluminum-Clad Ogee Exterior Glazing Profile



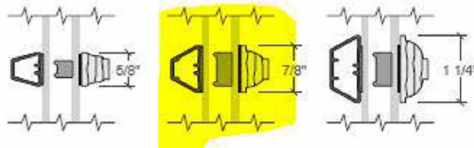
Pella® Reserve™ Out-Swing French Casement Window

Unit Sections - Aluminum-Clad Exterior

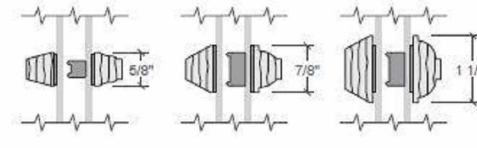


Integral Light Technology®

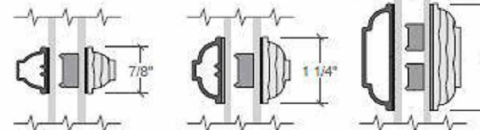
Putty and Ogee Glaze Grilles Clad Exterior - Wood Interior



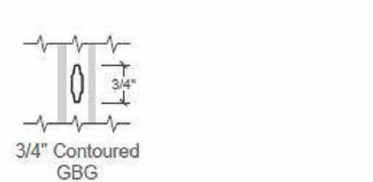
Putty and Ogee Glaze Grilles Wood Exterior - Wood Interior



Ogee Glaze Grilles Clad Exterior - Wood Interior



Contoured Aluminum - Grilles-Between-the-Glass



Colors

Wood Types

Wood species for complementing your project's interior.



Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁸



Custom colors are also available.



H5.50

MATERIALS - WINDOWS
1 CONGRESS STREET

SCALE:
8/03/2022



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Northlight 25-90°

Similar to Longlights, Northlights are bands of VELUX Modular Skylights. The characteristic upright design is primarily for installations that are directed towards the northern hemisphere for soft and reflected lighting. Northlight installations are applicable for a pitch of 25 to 90°.

At the bottom, Northlights are mounted on a standard steel profile, 100 mm wide (not a VELUX component) and fixed with clamps holding the skylight in place. At the top, the brackets are fixed to the sub-construction with screws meant for wood.

The prefabricated modular flashing ensures easy integration in the roof surface. All flashings are easily installed. The roof surface underneath the flashing must be appropriate for screw fixation.

Please observe a max. 10 m wall height above skylight module, when installed in a sloped roof. Take notice that the top flashing changes in size above and below 54°, see sectional drawing page 59.



Download
CAD & BIM
objects

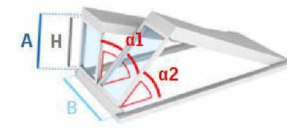


Sub-construction for
Northlight at:
veluxcommercial.com

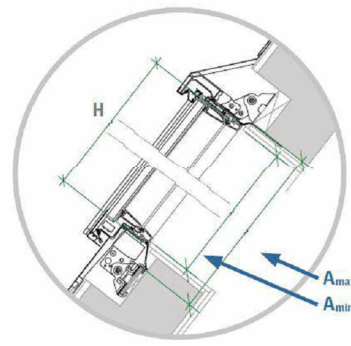
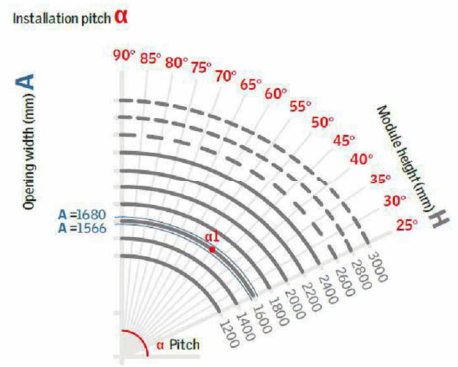
Defining module size to your project

Example:
 $\alpha 1$: $H = 1600$ mm at an installation pitch of 50°

$A_{max} = 1680$ mm
 $A_{min} = 1566$ mm



H: Module height
 α : Installation pitch
A: Opening width
L: Opening length

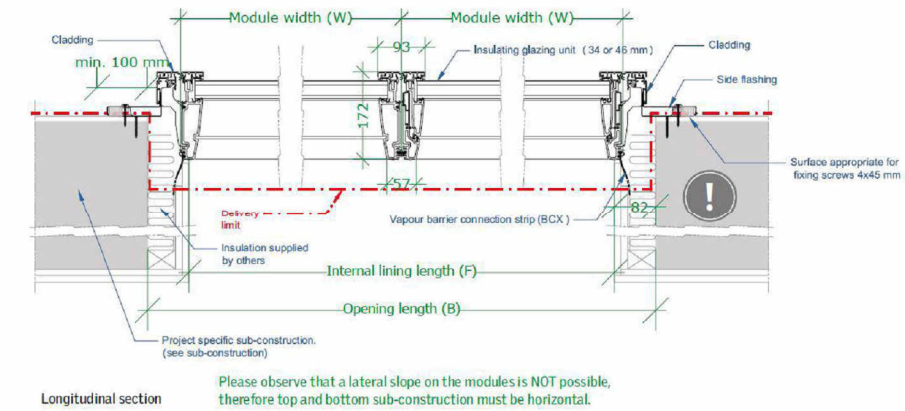
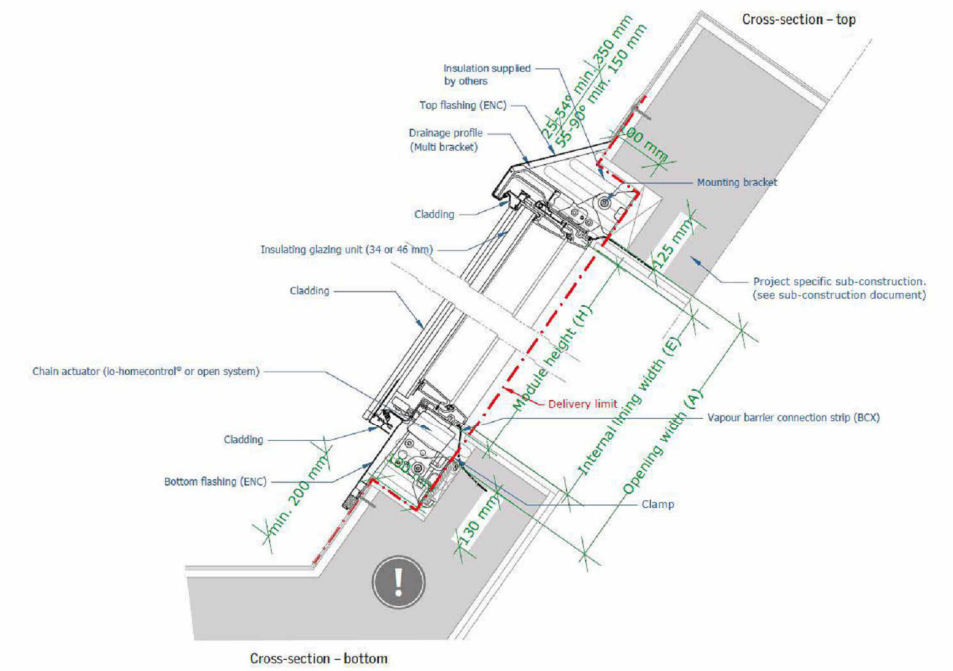


$A_{max} \leq H + 80$ mm
 $A_{min} \geq H - 34$ mm

58 --- Not available as venting modules as default.

ROOF WINDOWS - VELUX "NORTHLIGHT"

Sectional drawings



VELUX Commercial 59

H5.51

MATERIALS - FENESTRATION
1 CONGRESS STREET

SCALE:
8/03/2022



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STOREFRONTS

WINDOWS • CURTAIN WALLS • ENTRANCES • STOREFRONTS

Series 403X
2" x 4 1/2" Thermal Storefront Framing

CONFIGURATIONS
Shear Block • Screw Spline
This innovative flush glaze storefront framing system utilizes a dual pour and debridge thermal barrier that provides outstanding energy efficiency. Available in either shearblock or screw spline construction, the 403X Series can be used in conjunction with virtually all EFCO entrance systems and V410 vents. A variety of options are available for use with this system, including sunshade mullions and variable sight line horizontals. Steel reinforcement is also available to enhance structural capability.

Features	Benefits
Dual pocket thermal barrier framing	Enhanced thermal performance and reduced energy cost
Screw spline or shearblock construction	Decreases installation labor and cost
The optional Roto-Vent™ ventilator	Allows fresh air into the room, yet maintains security
2-way (90° and 135°) and 3-way corner mullions	Multifaceted elevations for design flexibility
0°-15° and 15°-30° variable mullions	Increased design flexibility
Accommodates up to 1 1/16" glazing	Expands design and energy savings options
Uniform glazing gasket is used for exterior and interior	Allows optimized use of gasket and reduces inventory
Various height intermediate horizontals and sills	Simplifies ordering and installation
Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.	Ability to maintain desired sight line
Anodized or painted finishes available	Increased product versatility
	Multiple options to answer economic and aesthetic concerns

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EFCO COATINGS FINISHES COLORS

ULTRAPON (70% PVDF)

STANDARD	FEATURED
Bone White	Ivy
White	Hardford Green
Antique White	
Herring Bone	
Mesa Brown	
Mineral Brown	
Gray	
Aged Copper	
Blue Sky	
Brick Red	
Legacy Blue	
Denim Blue	
Light Brown	
Pueblo Tan	
Black	

ULTRA-ESCENT II (70% PVDF MICA*)

STANDARD	FEATURED
Weathered Copper	Warm Silver
Slate	Sea Spray
Raw Sierra	Asi
Gun Barrel	Champagne
Saddle Bronze	Aztec Gold

ANODIZE

Clear	Champagne	Light Bronze	Medium Bronze	Dark Bronze	Black
-------	-----------	--------------	---------------	-------------	-------

* The color samples shown are not the actual paint. These paint colors represent the production colors as closely as possible within the limitations of color-chip reproduction. Additional changes may apply to exotic colors that require a clear topcoat, metallic colors, custom color matches. Color variation is inherent in, and should be expected with Ultra-Escent II paint finishes. Laboratory prepared samples will appear different from production-run material.

STOREFRONT TRANSOMS

3M™ Dichroic Film for Laminated Glass

Compatible with EVA, SentryGlas® or PVB interlayer adhesives. Available in gold-blue or copper-bronze colors.

Flexible

Film can be printed, cut, patterned, bent, or combined with different glass types or interlayer adhesives.

Versatile

Applications include shading fins, balustrades, exterior glass, partition walls, shower doors, artistic glass and furniture.

Gold-Blue Dichroic Film



In Transmission (Shown)

In Reflection

Yellow ▶ Magenta ▶ Blue

Gold (straight) Blue (angle)

Copper-Bronze Dichroic Film



In Transmission (Shown)

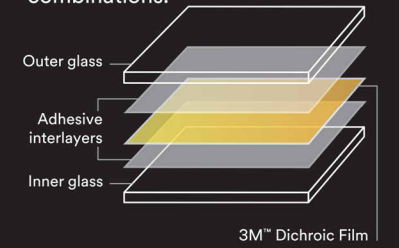
In Reflection

Magenta ▶ Blue ▶ Aqua

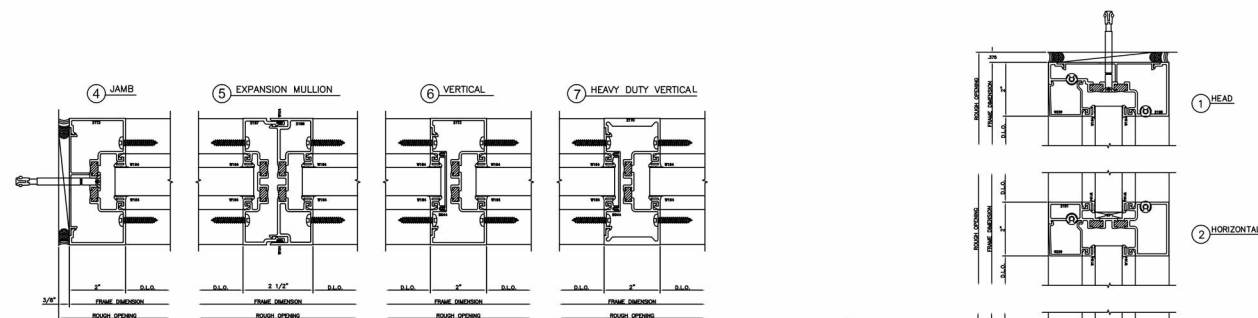
Copper (straight) Bronze (angle)

How is it made?

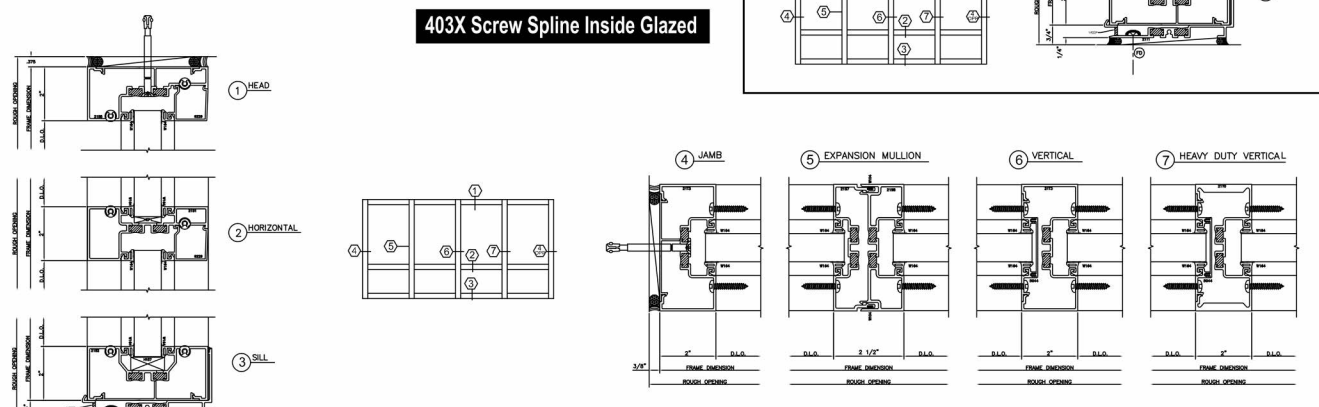
3M™ Dichroic Film is easily laminated between sheets of adhesive interlayers. It's conformable for bent glass applications and works with different glass and PVB combinations.



403X Screw Spline Outside Glazed Stops Down



403X Screw Spline Inside Glazed



Solar performance of clear laminated glass

	Reflection Visible	Transmission Visible	Transmitted Energy	Reflected Energy	Absorbed Energy	TSER	SHGC
Gold-Blue Dichroic Glass	89%	11%	56%	29%	15%	39%	0.61
Copper-Bronze Dichroic Glass	29%	71%	55%	29%	17%	41%	0.59

Make an impression at 3M.com/Glass.

Technical Information: The technical information, recommendations and other statements contain information is not guaranteed.

Product Use: Many factors beyond 3M's control and uniquely within user's knowledge and control and performance of a 3M product, user is solely responsible for evaluating the 3M product and determining its suitability for a particular application. 3M MAKES NO OTHER WARRANTIES OR CONDITIONS OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OR ANY IMPLIED WARRANTY TO THIS WARRANTY, then the sole and exclusive remedy is, at 3M's option, replacement of the 3M product.

Limitation of Liability: Except where prohibited by law, 3M will not be liable for any loss or damage, including warranty, contract, negligence or strict liability.



Renewable Energy Division
3M Center, Building 235-2S-27
St. Paul, MN 55144-1000
3M.com/glass

3M is a
Used in

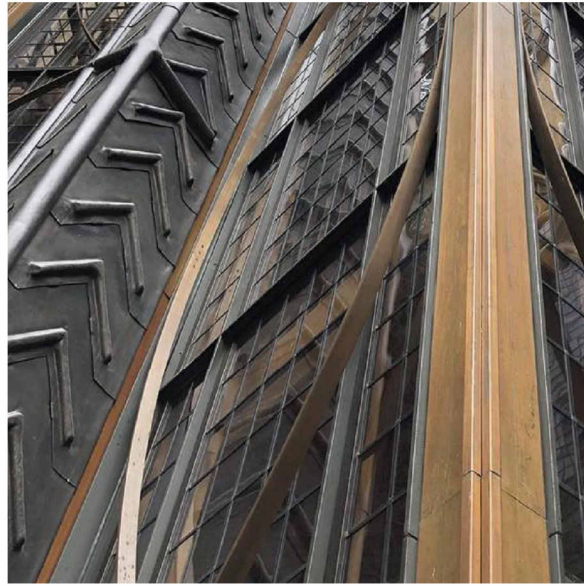


H5.52 MATERIALS - ARCADE FENESTRATION
1 CONGRESS STREET

SCALE:
8/03/2022



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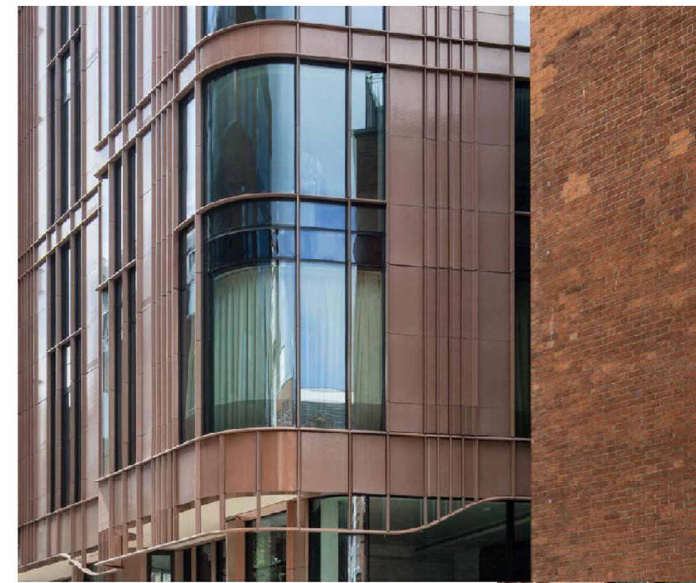


BRONZE FINISH - METAL ACCENTS - WINDOW & DOOR FRAMES, AWNINGS, DORMER LEVEL CLADDING.

Upper walls, cladding

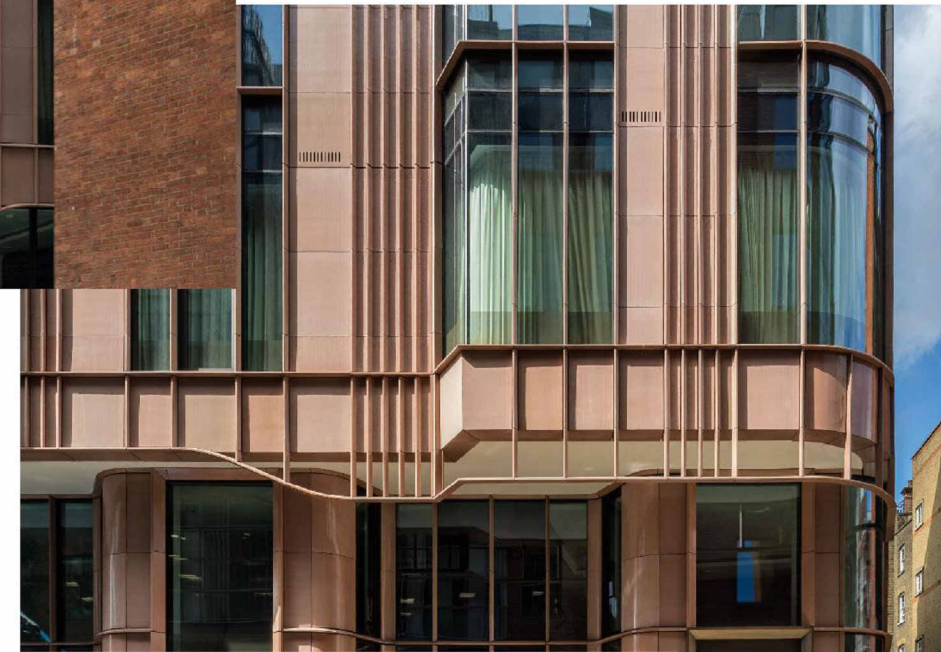
Terra Cotta, glazed tile

TERREAL, PITERAK SLIM



Marylebone Lane Mansion
London

Glaze color: Tea with Milk



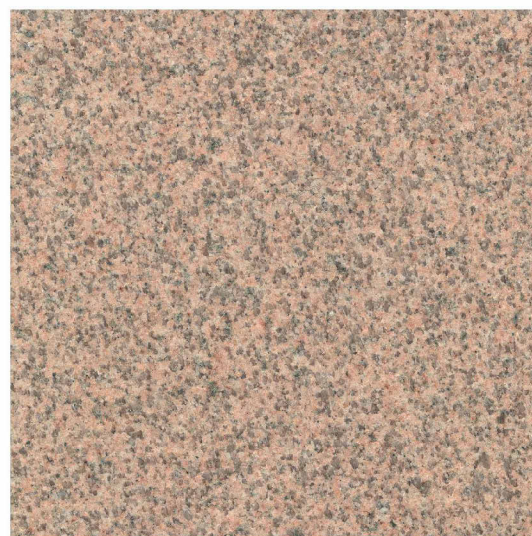
Lower walls, cladding

Granite



Deer Isle

At restored Facades



Carolina Coral

First floor addition, field color



Autumn Pink

First floor addition - accent color



Piterak Slim Terracotta Cladding

H5.53 MATERIALS - CLADDING
1 CONGRESS STREET

SCALE:
8/03/2022



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SOFFIT-CEILING

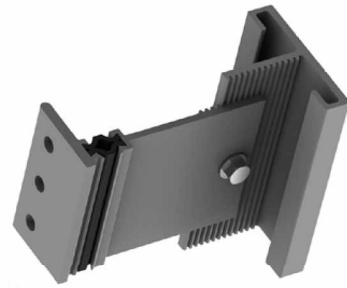


- thermally broken
- made of light weight aluminum
- supports continuous insulation
- creates a rain screen
- response time within 24 hours
- supports other cladding up to 8 lbs per sq ft.
- adjustable for sub-wall misalignment
- health product declarations
- support for specifications + drawings
- built for seismic zones



easy to use	quick delivery
solid warranty	durable finishes

longboardproducts.com

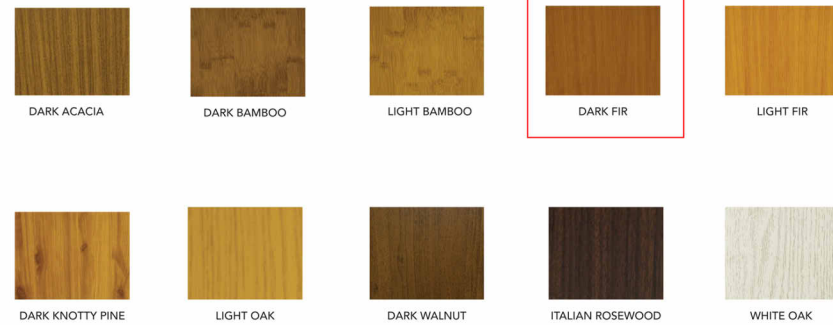


LONGBOARD®

WOODGRAIN OPTIONS

Our woodgrain options are divided into four categories based on the consistency of the wood grain pattern.

CONSISTENT



COMPOSITE WALL PANELS (ELEVATOR OVER-RUN AND RECESSED ACCENTS)

ALUCOBOND Products

PROPERTIES AND BENEFITS

- Flatness and Rigidity
- Lightweight
- Durability
- Custom color expertise
- Formability
- Ease of fabrication
- Perforation capabilities
- 89 stocked ACM colors
- Complementary flat aluminum sheet colors
- Can contribute toward LEED points
- 100% recyclable
- Zero VOC's emitted in use
- EPD in compliance with International ISO Standards

ALUCOBOND® PLUS

4mm ACM comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.

ALUCOBOND® AXCENT™

A solid .040" flat aluminum sheet that offers the perfect complement to ALUCOBOND PLUS. AXCENT is excellent for columns, parapet caps, canopies, soffits, and trim.

ALUCOBOND® EasyFix™

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

- ALUCOBOND EasyFix must be used with:
- ALUCOBOND PLUS
 - ALUCOBOND EasyFix: Clips or Rails



Product Properties

Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft ²
Standard panel dimension*	62" x 196"
Maximum width**	62"
Maximum length**	400"

Product Properties

Product thickness	0.040" (nominal)
Weight	0.56 lb/ft ²
Standard width	48"
Standard length	120"

Product Properties

Weight	1.9 lb/ft ²
Weight	1.56 lb/ft ²
Standard panel dimension*	40" x 196"
Maximum panel width/length	62"/400"
Clip length	3"
Rail length	12'

** Sheets may be fabricated to meet custom panel sizes within maximum product range above.

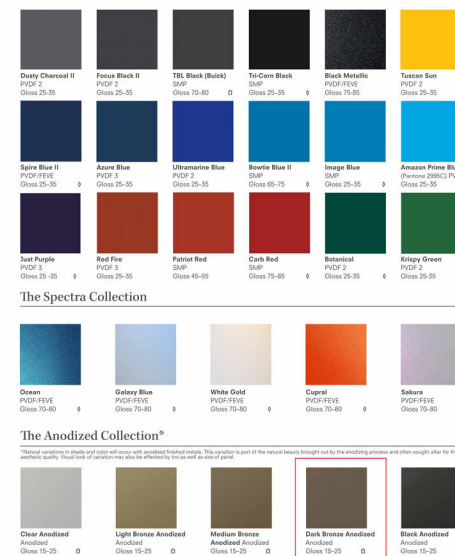
* Exceptions to standard dimensions include mirror, print, and others. Refer to product range table on next page.
** Sheets will be fabricated to meet custom panel sizes within product range above.

The Classic Collection



Legend
All finishes are stocked in ALUCOBOND PLUS and ALUCOBOND AXCENT, unless those noted in A or B.
A ALUCOBOND AXCENT finish in Color
B Not Available in ALUCOBOND AXCENT

The Classic Collection (continued)



Legend
All finishes are stocked in ALUCOBOND PLUS and ALUCOBOND AXCENT, unless those noted in A or B.
A ALUCOBOND AXCENT finish in Color
B Not Available in ALUCOBOND AXCENT

ROOFING - NATURAL SLATE



GRAY-GREEN, SEMI-WEATHERING NATURAL SLATE; VERMONT SLATE

H5.54 MATERIALS - CLADDING
1 CONGRESS STREET

SCALE:
8/03/2022



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Design + Performance Versatility with Unmatched Fabrication Flexibility



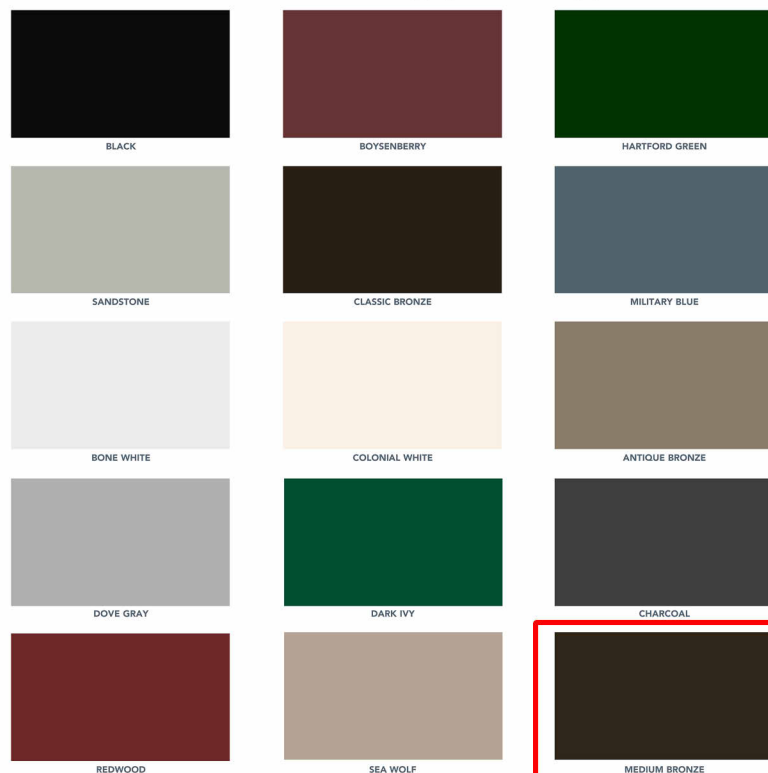
Gensinger Professional Building
Jenkins Township, Pennsylvania
ARCHITECT
Mericle Commercial Real Estate Services
Wilkes-Barre, Pennsylvania
GLAZING CONTRACTOR
Sterling Glass, Inc., Scranton, Pennsylvania
PHOTOGRAPHER
© Parcel Photography Group

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer front-, center-, back- or multi-plane glass

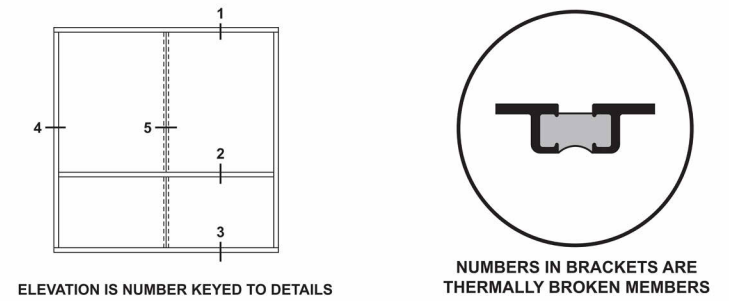
STOREFRONT



glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

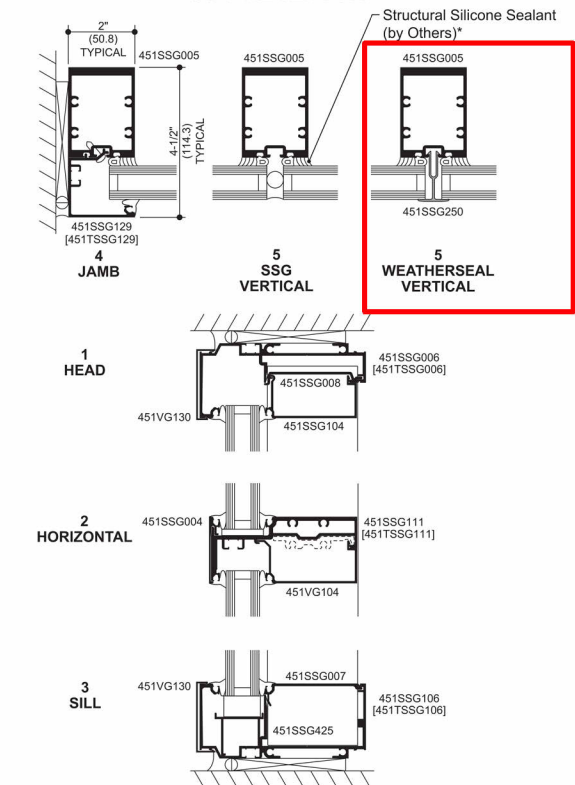
With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be

Additional information and CAD details are available at www.kawneer.com



**STICK (INSIDE GLAZED)
TWO COLOR OPTION**

SSG RECEPTOR



* INSTALLER NOTE: Installer is responsible for all required compatibility review and approvals with the Structural Silicone Manufacturer and the Insulating Glass Unit Manufacturer.

**H5.55 MATERIALS STOREFRONT & SCENCE
1 CONGRESS STREET**

SCALE:
10/14/2022



Project Address: 170-172 Gates Street
Permit Requested: Certificate of Approval
Application: Public Hearing #2

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B
- Land Use: Residential
- Land Area: 3,341 SF +/-
- Estimated Age of Structure: c.1813
- Building Style: Late Greek Revival
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Gates Street
- Unique Features: N/A
- Neighborhood Association: South End

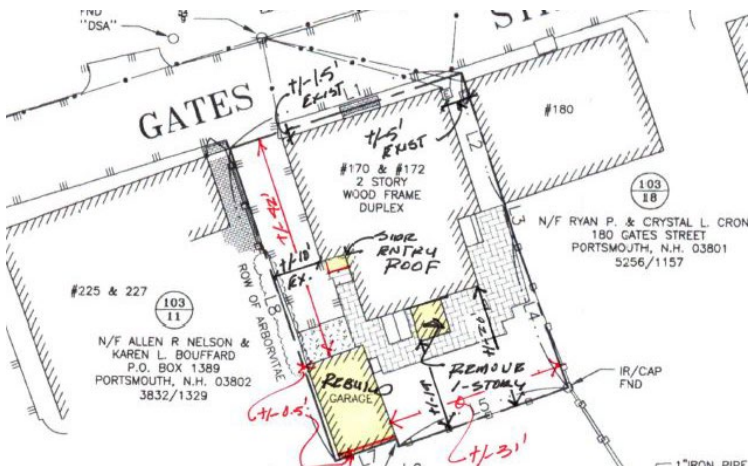


B. Proposed Work: Rebuild the existing garage, remove the rear 1-story ell, relocate the rear side entry and add overhang. Replace windows, doors and siding.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- This project has received Board of Adjustment Approval.



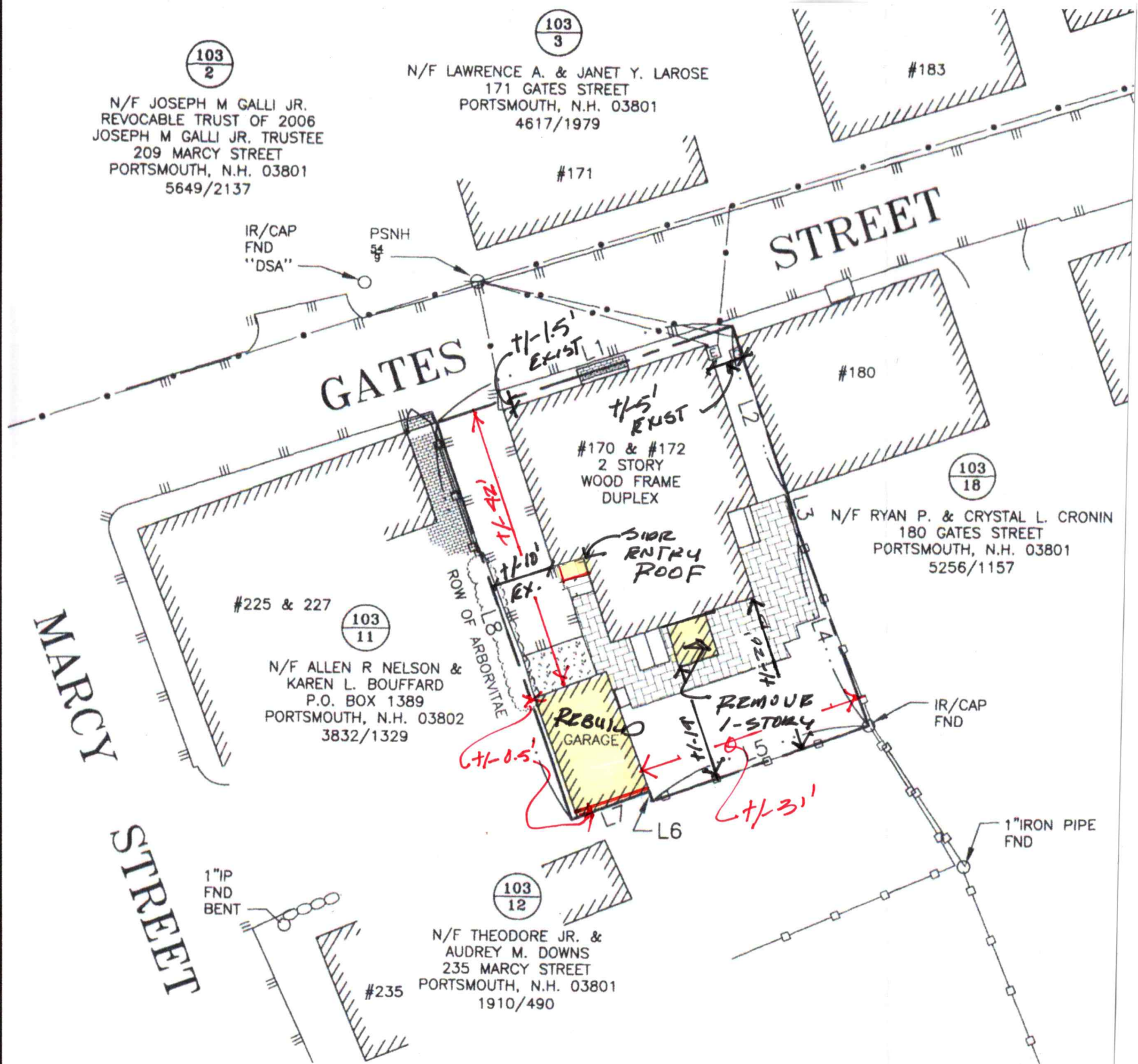
**HISTORIC
SURVEY
RATING
C**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



RENOVATIONS & GARAGE REBUILD
 170-172 GATES STREET PORTSMOUTH, NH
 FOR: KATHERINE BRADFORD

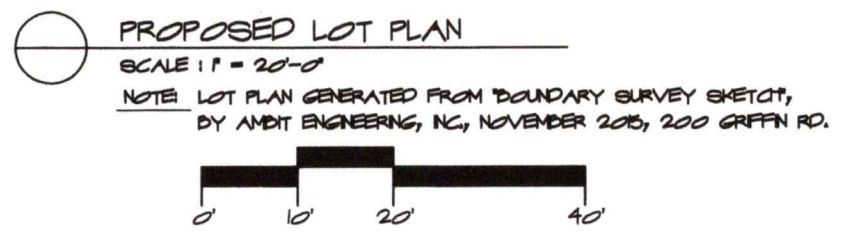
MAP 103 LOT 19
 GENERAL RESIDENCE B (GRB)
 LOT AREA 3393 SF

ALLOW. BUILDING COVERAGE 30%

EXISTING BUILDING COVERAGE	
EXISTING RESIDENCE	1254 SF
1-STORY REAR ADDITION TO BE REMOVED	49 SF
EXISTING GARAGE	256 SF
<hr/>	
	1559 SF (46%)
PROPOSED BUILDING COVERAGE	
EXISTING RESIDENCE	1254 SF
REBUILT GARAGE	240 SF
SIDE ENTRY ROOF	15 SF
<hr/>	
	1509 SF (45%)



ONE STORY ELL TO BE REMOVED

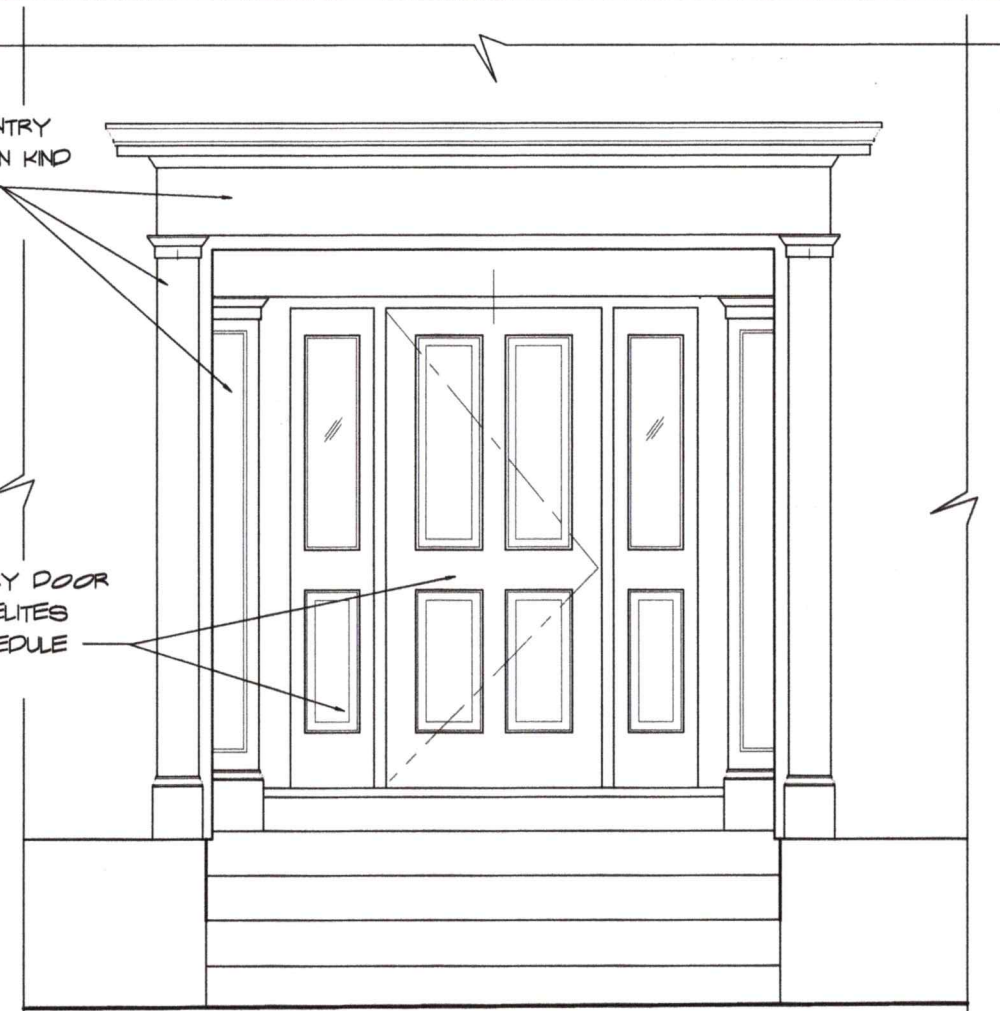


PROPOSED LOT PLAN RENOVATIONS & GARAGE REBUILD, BRADFORD RESIDENCE 170 - 172 GATES STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth, NH 03801 603-502-4387 archwhit@aol.com	Project: 2304 Revisions:	Date: 6/18/24
	ANNE WHITNEY ARCHITECT		1 OF 7



EXISTING FRONT ENTRY
DETAILS, REPAIR I N KIND
AS REQUIRED

NEW ENTRY DOOR
WITH SIDE LITES
SEE SCHEDULE



FRONT ENTRY DETAIL
SCALE: 3/8" = 1'-0"

FRONT ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: REPLACE DAMAGED SIDING TO MATCH
EXISTING CEDAR CLAPBOARDS



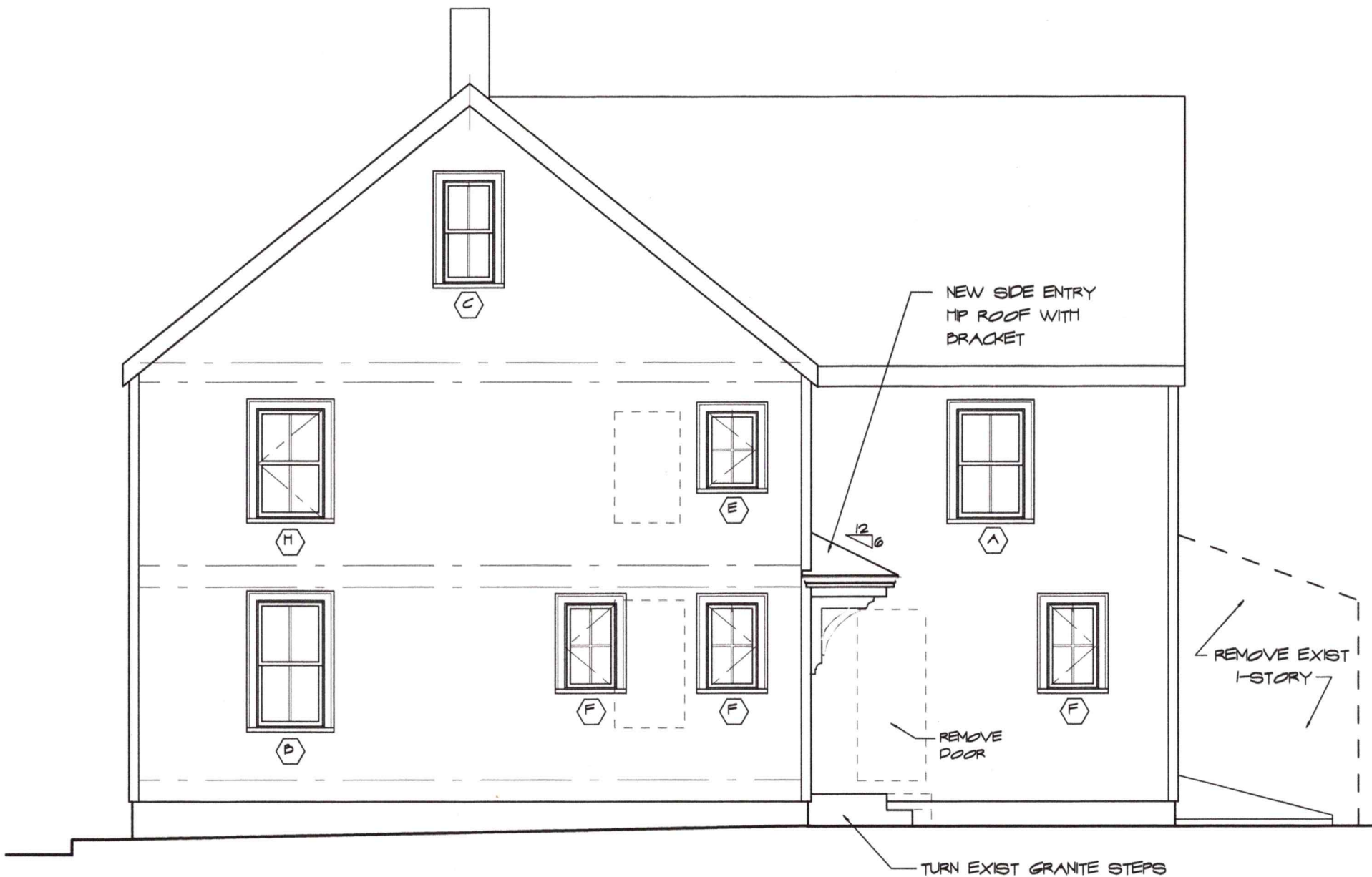
FRONT & RIGHT SIDE ELEVATION



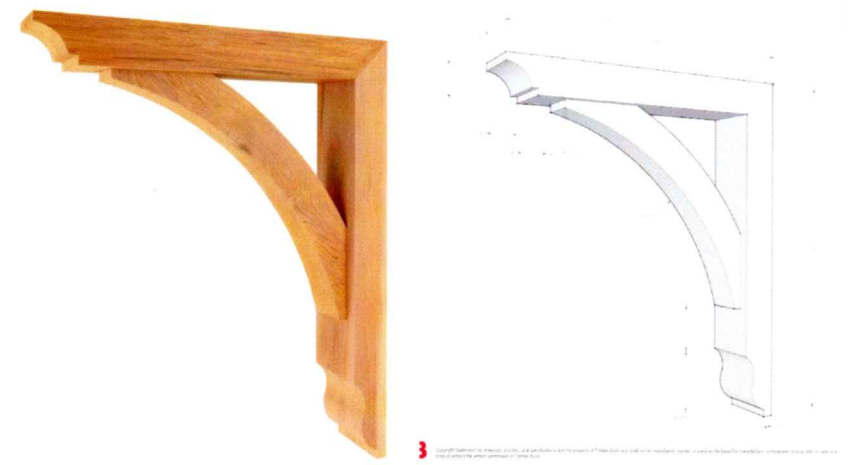
FRONT ENTRY EXISTING DETAILS

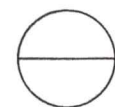


SCHEMATIC DESIGN RENOVATIONS, BRADFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	 801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: 2304	Date: 10/9/24
		Revisions:	2 OF 7



RIGHT SIDE ELEVATION




RIGHT SIDE ELEVATION
 SCALE : 3/16" = 1'-0"
 NOTE : REPLACE EXISTING ALUMINUM SIDING
 WITH PREPRIMED CEDAR CLAPBOARDS

SCHEMATIC DESIGN RENOVATIONS, BRADFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: 2304 Revisions:	Date: 10/19/24 3 OF 7
	ANNE WHITNEY ARCHITECT		



REAR ELEVATION



REAR ELEVATION

○ REAR ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: REPLACE EXISTING VINYL SIDING WITH
PREPRIMED CEDAR CLAPBOARDS

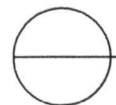


REAR ELEVATION FROM MARCY STREET

SCHEMATIC DESIGN RENOVATIONS, BRADFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: 2304 Revisions:	Date: 10/9/24
	ANNE WHITNEY ARCHITECT		4 OF 7



LEFT SIDE ELEVATION

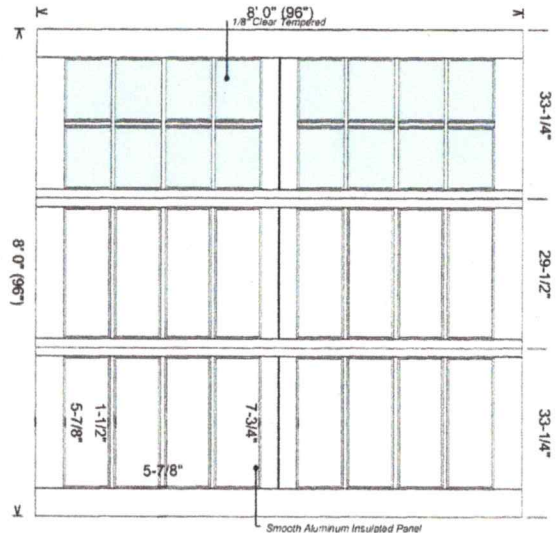
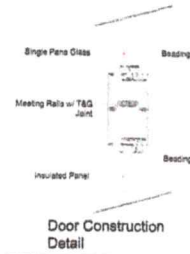

 LEFT SIDE ELEVATION
 SCALE : 3/16" = 1'-0"

NOTE : REPLACE DAMAGED SIDING TO MATCH
 EXISTING CEDAR CLAPBOARDS

SCHEMATIC DESIGN RENOVATIONS, BRADFORD RESIDENCE 170 GATES STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: # 2304 Revisions:	Date: 10/9/24
	 ANNE WHITNEY ARCHITECT		5 OF 7

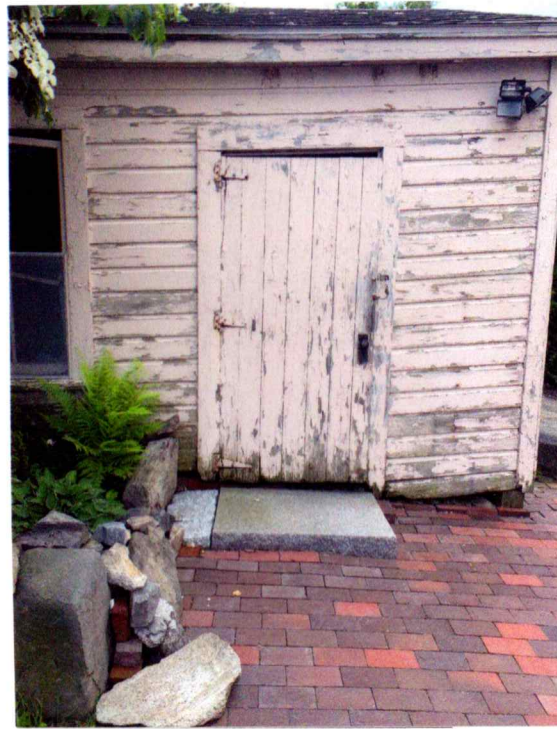
HÖRMANN

Infinity Classic
Insulated Frame Insulated
Sandwiched Panels Single
Pane Glass



DESIGN 13085 (A)

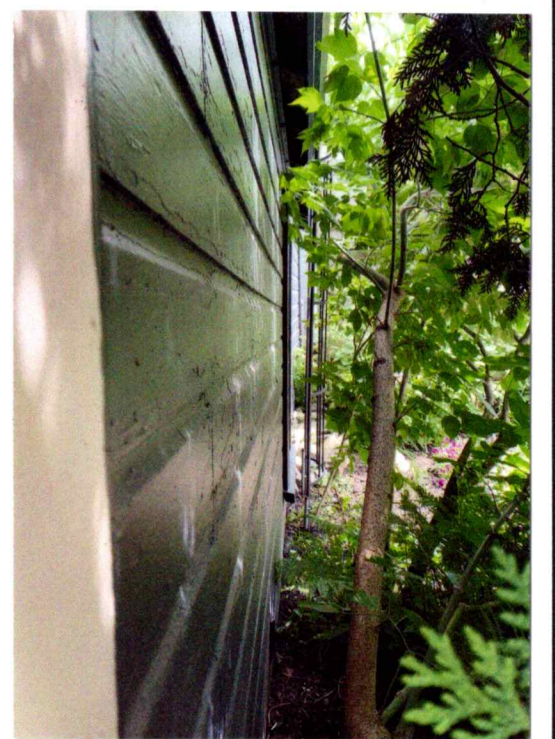
Page: 2 / 2 October 7, 2024



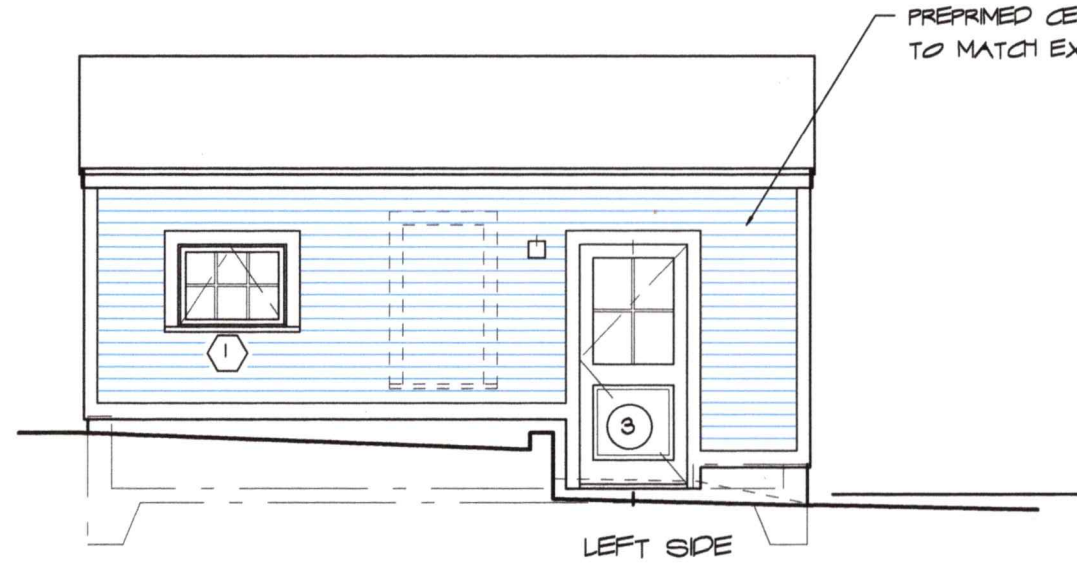
GARAGE EXIST LEFT SIDE



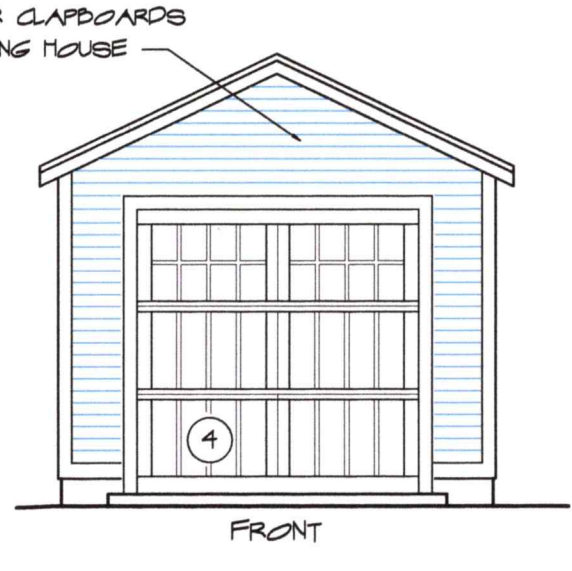
GARAGE EXIST FRONT



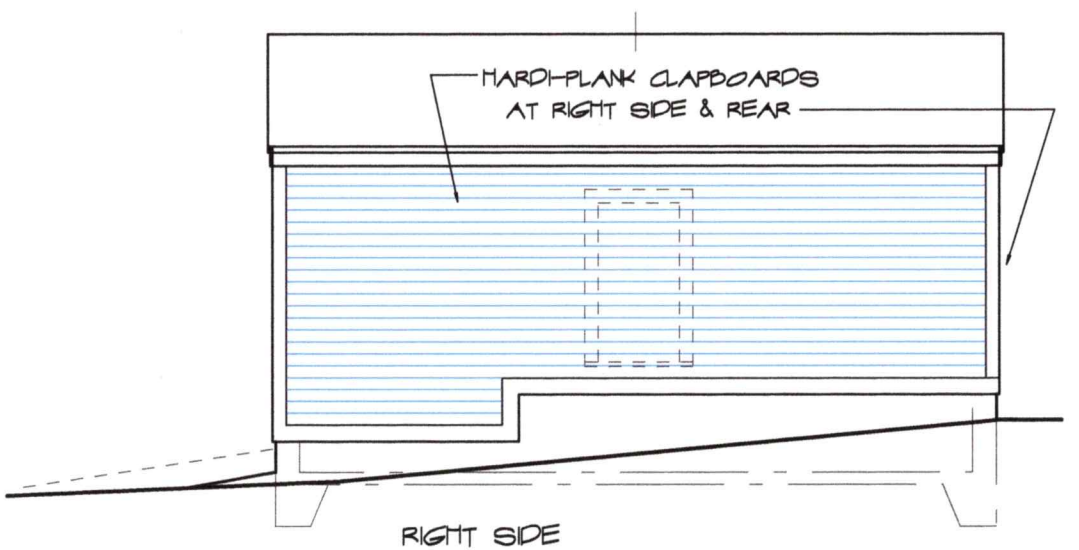
GARAGE EXIST RIGHT SIDE



LEFT SIDE



FRONT



RIGHT SIDE

REBUILT GARAGE ELEVATIONS
SCALE: 3/16" = 1'-0"

SCHEMATIC DESIGN RENOVATIONS & GARAGE REBULD, BRADFORD RESDENCE 110 - 112 GATES STREET PORTSMOUTH, NH	 ANNE WHITNEY ARCHITECT 801 Islington St, Suite 92 Portsmouth, NH 03801 603-592-4387 archwhit@aol.com	Project: 2304	Date: 10/9/24
		Revisions:	6 OF 7

DOUBLE HUNG

MO (mm)	1-10 (559)	2-2 (660)	2-6 (762)	2-8 (813)	2-10 (864)
RO (mm)	1-10 1/2 (572)	2-2 1/2 (673)	2-6 1/2 (775)	2-8 1/2 (826)	2-10 1/2 (876)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)	2-7 1/2 (800)	2-9 1/2 (851)
DLO (mm)	1-3 11/16 (398)	1-7 11/16 (500)	1-11 11/16 (602)	2-1 11/16 (652)	2-3 11/16 (703)
3-0 (914)	ELDH2236	ELDH2636	ELDH3036	ELDH3236	ELDH3436
3-0 1/4 (821)					
3-1 3/4 (908)					
3-1 11/16 (348)					
3-4 (1016)	ELDH2240	ELDH2640	ELDH3040	ELDH3240	ELDH3440
3-4 1/4 (1022)					
3-5 3/4 (1010)					
3-5 11/16 (398)					
3-8 (1178)	ELDH2244	ELDH2644	ELDH3044	ELDH3244	ELDH3444
3-8 1/4 (1164)					
3-9 3/4 (1111)					
3-9 11/16 (449)					
4-0 (1219)	ELDH2248	ELDH2648	ELDH3048	ELDH3248	ELDH3448
4-0 1/4 (1225)					
4-1 3/4 (1213)					
4-1 11/16 (600)					
4-4 (1321)	ELDH2252	ELDH2652	ELDH3052	ELDH3252	ELDH3452
4-4 1/4 (1327)					
4-5 3/4 (1314)					
4-5 11/16 (651)					
4-8 (1422)	ELDH2256	ELDH2656	ELDH3056	ELDH3256	ELDH3456
4-8 1/4 (1428)					
4-9 3/4 (1416)					
4-9 11/16 (602)					
5-0 (1524)	ELDH2260	ELDH2660	ELDH3060	ELDH3260	ELDH3460
5-0 1/4 (1530)					
4-11 3/4 (1518)					
2-1 11/16 (652)					

MARVIN ELEVATE™ COLLECTION CASEMENT

MO (mm)	1-4 1/2 (419)	1-8 1/2 (521)	2-0 1/2 (622)
RO (mm)	1-5 (432)	1-9 (533)	2-1 (635)
FS (mm)	1-4 (406)	1-8 (508)	2-0 (610)
DLO (mm)	0-10 25/32 (274)	1-2 25/32 (376)	1-6 25/32 (477)
2-7 3/8 (797)	ELCA1731	ELCA2131	ELCA2531
2-7 5/8 (803)			
2-7 1/8 (791)			
2-1 29/32 (658)			
2-11 3/8 (888)	ELCA1735	ELCA2135	ELCA2535
2-11 5/8 (905)			
2-11 1/8 (892)			
2-5 29/32 (760)			
3-3 3/8 (1008)	ELCA1739	ELCA2139	ELCA2539
3-3 5/8 (1006)			
3-3 1/8 (994)			
2-9 29/32 (861)			

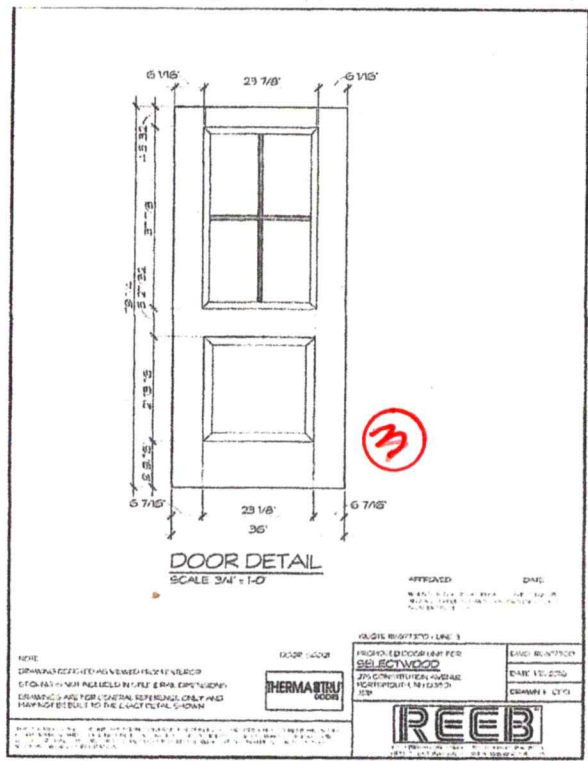
AWNING

MO (mm)	2-0 1/2 (622)	2-4 1/2 (724)	2-8 1/2 (826)	3-0 1/2 (927)	3-4 1/2 (1029)	4-0 1/2 (1232)
RO (mm)	2-1 (635)	2-5 (737)	2-9 (838)	3-1 (940)	3-5 (1041)	4-1 (1245)
FS (mm)	2-0 (610)	2-4 (711)	2-8 (813)	3-0 (914)	3-4 (1016)	4-0 (1219)
DLO (mm)	1-6 25/32 (477)	1-10 25/32 (579)	2-2 25/32 (680)	2-6 25/32 (782)	2-10 25/32 (884)	3-6 25/32 (1087)
2-3 3/8 (665)	ELAWN2527	ELAWN3327	ELAWN4127	ELAWN4927		
2-3 5/8 (702)						
2-3 1/8 (669)						
1-9 25/32 (657)						



7344 TRADITIONAL
7702 THERMAL SASH SIDELIGHT

Simpson®
Door Company



WINDOW & EXTERIOR DOOR SCHEDULES

SYM.	SIZE/UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
WINDOWS					
A	ELDH 3456	2/2	2' 10 1/2" X 4' 8 1/4"	MARVIN INC., ELEVATE, Doublehung, 7/8" SDL w/ Low E Glazing, Cladding "Stone White", Sash "Ebony", Hardware to be chosen by Owner. In exist wall.	7
B	ELDH 3460	2/2	2' 10 1/2" X 5' 0 1/4"	DITTO	10
C	ELDH 2248	2/2	1' 10 1/2" X 4' 0 1/4"	DITTO	1
D	ELDH 3048	2/2	2' 6 1/2" X 4' 0 1/4"	DITTO	2
E	ELCA 2536	4	2' 1" X 2' 11 5/8"	MARVIN INC., ELEVATE, Casement, 7/8" SDL w/ Low E Glazing, Cladding "Stone White", Sash "Ebony", Hardware to be chosen by Owner, In exist wall	2 R
F	ELCA 2539 with	4	2' 1" X 3' 3 5/8"	DITTO	2 R 1 L
G	ELCA 2539 3 wide	4	6' 1" X 3' 3 5/8"	DITTO, 3 wide, center unit fixed	1
H	ELCA cust. to match ELDH 3456	2/2 with M-Pail	2' 10 1/2" X 4' 8 1/4"	DITTO, Casement to match Doublehung	3 L 1 R
I	ELAWN 3727	6	3' 1" X 2' 3 5/8"	MARVIN INC., ELEVATE, Awning, 7/8" SDL w/ Low E Glazing, Cladding "Stone White", Sash "Ebony", Hardware to be chosen by Owner, In 2x6 wall	
EXTERIOR DOORS					
1	F-7344 with F-7702 side lites	1	69 1/2" x 82 1/2"	SIMPSON, FIR 7344, 4 Panel Door 36" x 80", with Glazed Side Lites 14" x 80", painted, see Elevation, Low-E Glazing, Hardware to be chosen by owner.	1 R
2	32" x 80"	15	34 1/2" x 82 1/2"	15 Lite Glazed Door provided by Owner & matches Left Side Entry Door	1 L
3	4 Lite 36" x 80" mod# S6021	4	38 1/2" x 82 1/2"	THERMA-TRU, Smooth Star Mod# S6021 with 4 Lite SDL, Low-E Glazing.	1 L
4	96" x 96"	16 see elev.	manuf. determine	HORMANN, Infinity Classic 7800, Design 1308S, Insulated Aluminum Overhead Door.	1

WINDOW - EXT. DOOR NOTES

- VERIFY WINDOW SIZING IN EXISTING OPENINGS, ADJUST AS REQUIRED.
- SUBMIT FINAL WINDOW/DOOR ORDER & SHOP DRAWINGS TO ARCHITECT FOR APPROVAL BEFORE ORDERING

SCHEMATIC DESIGN

ANNE WHITNEY ARCHITECT

RENOVATIONS & GARAGE REBUILD, BRADFORD RESIDENCE

170 - 172 GATES STREET PORTSMOUTH, NH

801 Islington St, Suite 32
Portsmouth, NH 03801
603-502-4367
archwhit@aol.com

Project: * 2304 Date: 10/9/24

Revisions:

7 OF 7

Project Address: 500 Market Street

Permit Requested: Certificate of Approval

Application: Public Hearing #3

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L1
- Land Use: Residential
- Land Area: N/A SF +/-
- Estimated Age of Structure: c.1983
- Building Style: Residential Condominiums
- Number of Stories: 3
- Historical Significance: NC
- Public View of Proposed Work: Market Street and North Mill Pond
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: Blanket approval for the replacement of the condominium solariums.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- One unit has received approval. The association would like to make it a blanket approval for all owners.



**HISTORIC
SURVEY
RATING
NC**

D. Purpose and Intent:

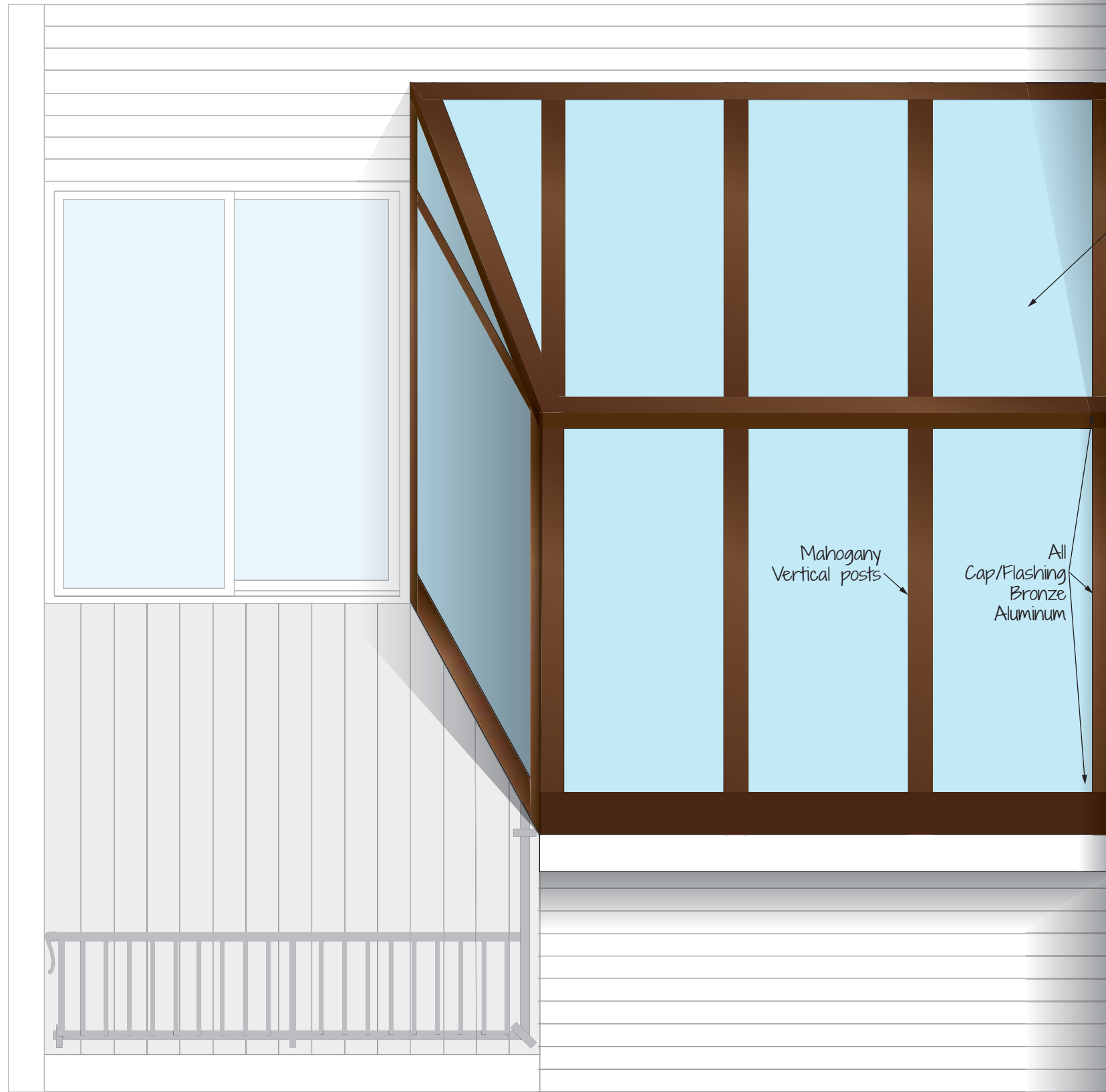
1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

COMP - PROJECTION

SCALE: 1/2" = 1ft



Roof IGU
Solarban 70
Insulated Temp/Lam

Mahogany
Vertical posts

All
Cap/Flashing
Bronze
Aluminum

Existing
Basewall
to remain

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AND SHALL NOT BE DUPLICATED OR ALTERED UNDER ANY CIRCUMSTANCES
WITHOUT PERMISSION OF SUNSPACE DESIGN INC.

PROJECT ADDRESS
500 Market St, Portsmouth, NH

DATE: 7/16/23

CAD FILE:

All dimensions & construction details must be reviewed & verified by the contractor.
Any discrepancies or changes must be sent to Sunspace Design Inc.
Contractor is fully responsible for code compliant construction. Sunspace Design
assumes no responsibility for errors or revisions in these drawings or in the
construction by others.

Unit #14

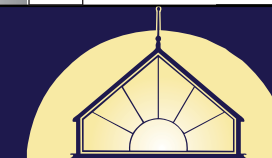
SCALE: 1/2" = 1ft

DRAWN BY: TDH

TITLE: Comp View

SHEET: 1A

PAGE: 1



SUNSPACE DESIGN

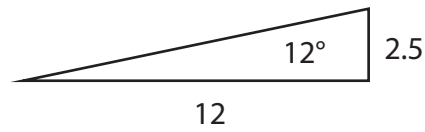
CONSERVATORIES • GREENHOUSES • CUSTOM SKYLIGHTS
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est. 1981

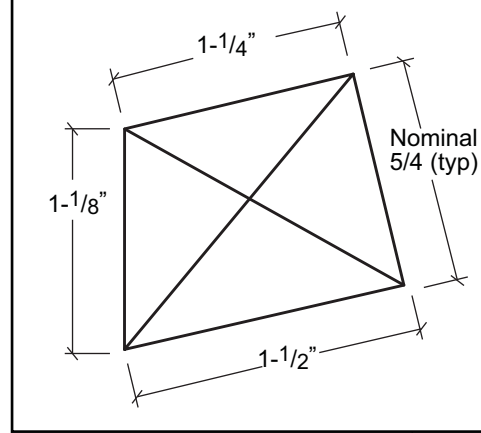
29 Seamist Lane, York, ME 03909 / ph: (800) 530-2505
www.sunspacedesign.com

SECTION VIEW DETAIL

SCALE: 1" = 2"



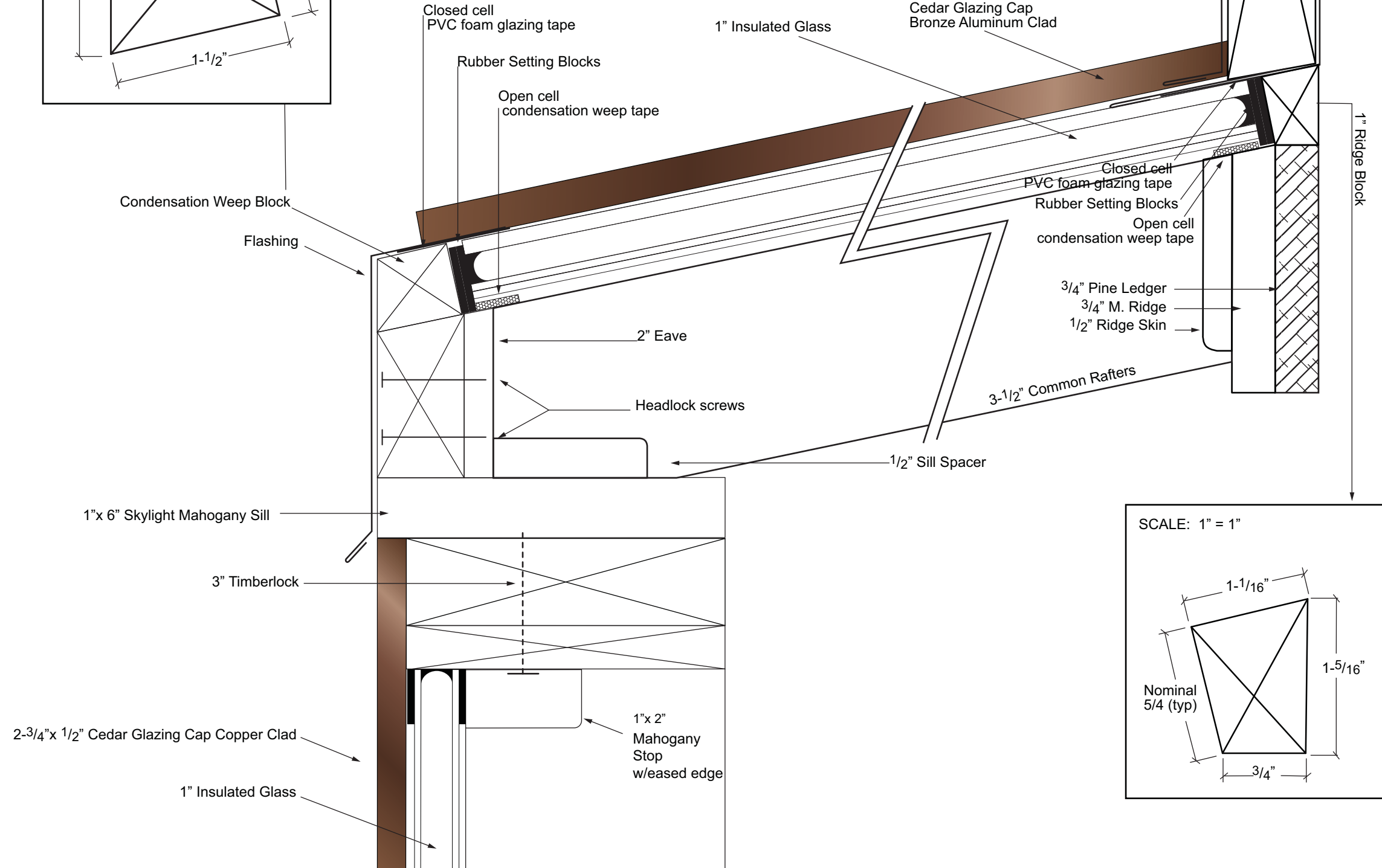
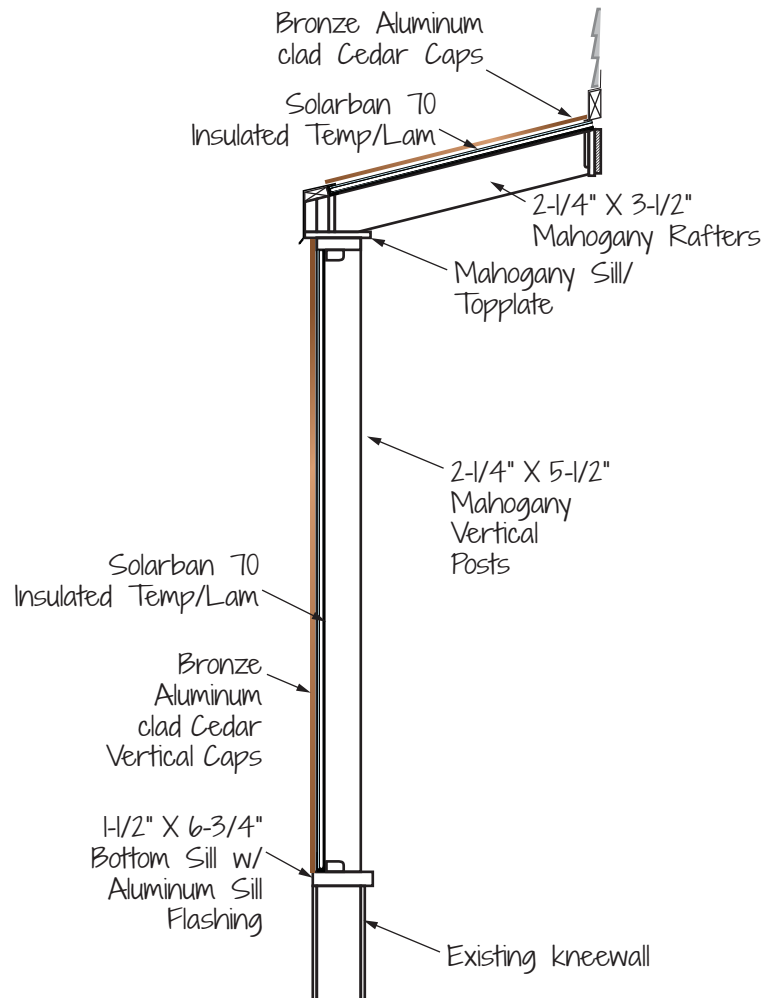
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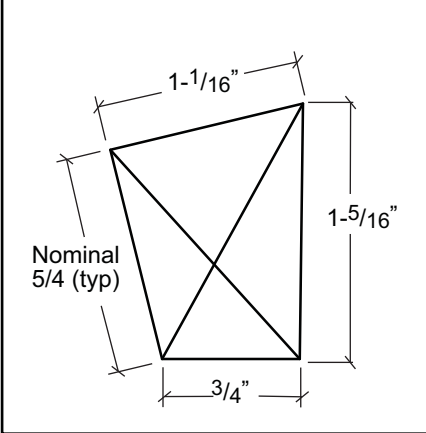
SECTION VIEW

To match existing as closely as possible

SCALE: 1" = 1ft



SCALE: 1" = 1"



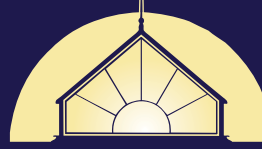
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All dimensions & construction details must be reviewed & verified by the contractor. Any discrepancies or changes must be sent to Sunspace Design Inc. Contractor is fully responsible for code compliant construction. Sunspace Design assumes no responsibility for errors or revisions in these drawings or in the construction by others.

PROJECT ADDRESS	
500 Market St, Portsmouth, NH	
Unit #14	
TITLE: Cross Section-n-Detail	

DATE: 7/20/23
SCALE: As Marked
SHEET: 1B

CAD FILE:
DRAWN BY: TDH
PAGE: 1



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New



Old



New



Old



New



Old



Left is new, right is old

Project Address: 411 The Hill Unit #4-16

Permit Requested: Certificate of Approval

Application: Public Hearing #4

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L1 & Downtown Overlay
- Land Use: Residential
- Land Area: N/A SF +/-
- Estimated Age of Structure: c.1725
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: Focal
- Public View of Proposed Work: Downtown
- Unique Features: Relocated to current site.
- Neighborhood Association: Downtown and The Hill



B. Proposed Work: Replacement of the existing windows.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace the existing windows with a Pella window.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties







411 The Hill Unit 6-14



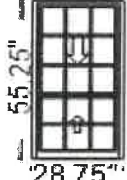
Contract - Detailed

Pella Window and Door Showroom of Bedford
 384 Route 101 Unit 2
 Bedford, NH 03110

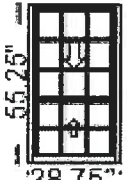
Sales Rep Name: Poggi, Alex
Sales Rep Phone: 603-677-2946
Sales Rep Fax:
Sales Rep E-Mail: poggjar@pellanewengland.com

Customer Information	Project/Delivery Address	Order Information
Tom McGraw 411 The HI Portsmouth, NH 03801-3736 Primary Phone: (201) 2709542 Mobile Phone: Fax Number: E-Mail: Great Plains #: 1008242437 Customer Number: 1012000457 Customer Account: 1008242437	Tom McGraw - 411 The HI , Portsmouth, NH, US 03801 411 The HI Lot # Portsmouth, NH 03801-3736 County:	Quote Name: Tom McGraw - 411 The HI , Portsmouth, NH, US Order Number: 736AP0359 Quote Number: 18809959 Order Type: Installed Sales Payment Terms: Deposit/C.O.D. Tax Code: NHTAXABLE Quoted Date: 10/21/2024

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
10	None Assigned	Delivery Setup - Delivery Setup	\$600.00	1	\$600.00

Line #	Location:	Attributes			
15	Office	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	Item Price	Qty	Ext'd Price
			\$4,878.01	2	\$9,756.02
	 <p>Viewed From Exterior</p> <p>PK # 2178</p> <p>1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75) Frame Size: 28 3/4 X 55 1/4 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White Interior Color / Finish: Linen White Paint Interior Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".</p> <p>Frame Size: 28.75" X 55.9843"</p> <p>Pocket Install - Pocket Install Qty 1 Lead Safe Install - Lead Safe Install Qty 1</p>				

A1
A2

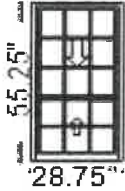
Line #	Location:	Attributes			
20	Bed 1	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	Item Price	Qty	Ext'd Price
			\$4,878.01	3	\$14,634.03
	 <p>Viewed From Exterior</p> <p>PK # 2178</p> <p>1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75) Frame Size: 28 3/4 X 55 1/4 General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4" Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White Interior Color / Finish: Linen White Paint Interior Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™ Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".</p> <p>Frame Size: 28.75" X 55.9843"</p> <p>Pocket Install - Pocket Install Qty 1 Lead Safe Install - Lead Safe Install Qty 1</p>				

B1
B2
B3

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Line #	Location:	Attributes			
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25	Hall	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$4,878.01	1	\$4,878.01



Viewed From Exterior

CI

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

Frame Size: 28 3/4 X 55 1/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee

Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".

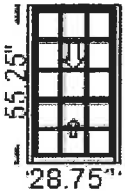
Frame Size: 28.75" X 55.9843"

Pocket Install - Pocket Install Qty 1

Lead Safe Install - Lead Safe Install Qty 1

Line #	Location:	Attributes			
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30	Bed 2	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$4,878.01	2	\$9,756.02



Viewed From Exterior

DI

DZ

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

Frame Size: 28 3/4 X 55 1/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee

Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".

Frame Size: 28.75" X 55.9843"

Pocket Install - Pocket Install Qty 1

Lead Safe Install - Lead Safe Install Qty 1

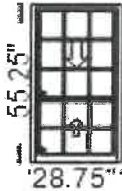
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Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
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35 Bed 2 Bath

Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White

\$5,124.94 1 \$5,124.94



Viewed From Exterior

E1

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

Frame Size: 28 3/4 X 55 1/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.47, CPD PEL-N-233-00643-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee

Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168"

Frame Size: 28.75" X 55.9843"

Pocket Install - Pocket Install Qty 1

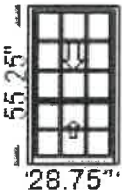
Lead Safe Install - Lead Safe Install Qty 1

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
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40 Dining Room

Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White

\$4,878.01 3 \$14,634.03



Viewed From Exterior

F1
F2
F3

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

Frame Size: 28 3/4 X 55 1/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee

Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168"

Frame Size: 28.75" X 55.9843"

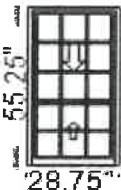
Pocket Install - Pocket Install Qty 1

Lead Safe Install - Lead Safe Install Qty 1

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Line #	Location:	Attributes			
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45	Living Room	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$4,878.01	2	\$9,756.02



Viewed From Exterior

61
62

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

Frame Size: 28 3/4 X 55 1/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee

Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".

Frame Size: 28.75" X 55.9843"

Pocket Install - Pocket Install

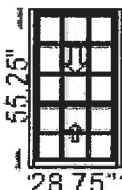
Qty 1

Lead Safe Install - Lead Safe Install

Qty 1

Line #	Location:	Attributes			
--------	-----------	------------	--	--	--

50	Kitchen	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 55.25, Poplar White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$4,878.01	3	\$14,634.03



Viewed From Exterior

H1
H2
H3

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Custom Split (22.75)

Frame Size: 28 3/4 X 55 1/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: ILT, No Custom Grille, 5/8", Traditional (3W3H / 3W2H), Putty Glaze, Ogee

Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 168".

Frame Size: 28.75" X 55.9843"

Pocket Install - Pocket Install

Qty 1

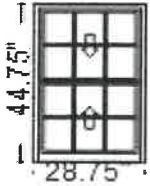
Lead Safe Install - Lead Safe Install

Qty 1

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Line #	Location:	Attributes			
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55	Downstair Bath	Pella Reserve, Traditional Replacement Double Hung, 28.75 X 44.75, Poplar White	Item Price	Qty	Ext'd Price
			\$3,790.27	1	\$3,790.27



Viewed From Exterior

I 1

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 28 3/4 X 44 3/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 25.375, Clear Opening Height 18.312, Clear Opening Area 3.226854, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: 1LT, No Custom Grille, 5/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee

Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 147".

Frame Size: 28.75" X 45.4843"

Pocket Install - Pocket Install

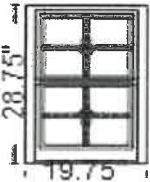
Qty 1

Lead Safe Install - Lead Safe Install

Qty 1

Line #	Location:	Attributes			
--------	-----------	------------	--	--	--

60	Attic	Pella Reserve, Traditional Replacement Double Hung, 19.75 X 28.75, Poplar White	Item Price	Qty	Ext'd Price
			\$3,168.30	2	\$6,336.60



Viewed From Exterior

J 1

J 2

PK #
2178

1: Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 19 3/4 X 28 3/4

General Information: Standard, Luxury, Clad, Pine, 4 3/4", 3 1/4"

Exterior Color / Finish: Painted, Standard Enduraclad, Poplar White

Interior Color / Finish: Linen White Paint Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Spoon-Style Lock, Satin Nickel, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, Poplar White, Premium, InView™

Performance Information: U-Factor 0.30, SHGC 0.26, VLT 0.48, CPD PEL-N-233-00639-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Clear Opening Width 16.375, Clear Opening Height 10.312, Clear Opening Area 1.172632, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: 1LT, No Custom Grille, 5/8", Traditional (2W2H / 2W2H), Putty Glaze, Ogee

Wrapping Information: No Exterior Trim, Manufacturer Recommended Clearance, Perimeter Length = 97".

Frame Size: 19.75" X 29.4843"

Lead Safe Install - Lead Safe Install

Qty 1

Pocket Install - Pocket Install

Qty 1

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Izak Gilbo

From: THOMAS MCGRAW <tom020198@aol.com>
Sent: Thursday, October 24, 2024 3:00 PM
To: Izak Gilbo
Subject: LU - 24 -192. 411 The Hill window replacement

[You don't often get email from tom020198@aol.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Window photos in order in which they appear in Pella contract quotes. Thank you



A1



A2



B1



B2



B3



C1



DI



D2



E1



FI



F2



F3



G1



62



H1



H2



H3



I 1



J 1

J 2

Sent from my iPhone

Project Address: 396-373 Islington Street

Permit Requested: Certificate of Approval

Application: Public Hearing #5

A. Property Information - General:

Existing Conditions:

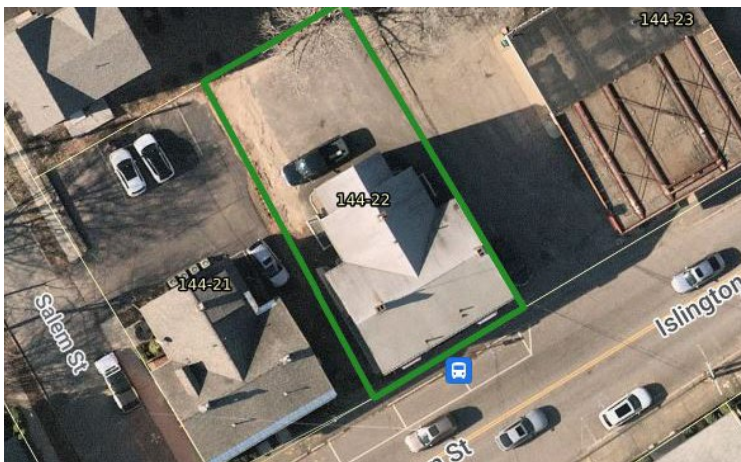
- Zoning District: Character District 4-L2 (CD4-L2)
- Land Use: Mixed Use
- Land Area: 4,792 SF +/-
- Estimated Age of Structure: c.1880
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: Not in 1984 Historical Survey
- Public View of Proposed Work: Islington Street
- Unique Features: NA
- Neighborhood Association: West End



B. Proposed Work: Replace (5) windows, replace siding and install HVAC equipment.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

HDC WINDOW REPLACEMENT OVERVIEW

Applicant: Islington Properties
Subject Property: 371 Islington Street, Suite A
Portsmouth, NH 03801

I am looking to install Pella Lifestyle series windows replacing the existing vinyl window(1) and wood windows(4). All windows are currently inoperable, most of the sashes are broken, and none of the balances currently work. They are wood(pine) windows with aluminum clad. I am looking for a white exterior and white interior. Lastly, no window grids as this would match most of the existing windows in the building. In the file I will attach pictures and the window specifications.

Thank you,

Scott Rafferty
603-767-8929
srafferty@ocrandco.com

Pella® Lifestyle Series

Clad/Wood



#1 performing wood window and patio door for the combination of energy, sound and value.¹

Triple-pane casement



- **Easy-to-learn Pella Steady Set™ interior installation system**

Pella Steady Set Interior Installation System is a revolutionary, award-winning and safer way to install new construction windows.¹ The simple system is the fastest, most labor efficient wood window installation system with uncompromising quality.² Available on select windows.

- **Performance redefined**

You don't have to compromise on any aspect of performance. Available performance solutions offer an unbeatable combination of energy efficiency, sound control and value.³

- **ENERGY STAR® certified⁴**

Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Lifestyle Series products with triple-pane glass have been awarded ENERGY STAR Most Efficient Mark in 2023.

- **Enhanced sound control**

Our patented, triple-pane design with Advanced Low-E glass allows for mixed glass thickness for enhanced sound dampening resulting in an average 52% noise reduction versus single-pane windows.⁵

- **Intentional design for improved durability**

Intentional jamb on sill design helps seal the end grain of the wood and elevates it off the rough opening, reducing the potential for moisture.

- **Durable 3-way corner joints**

Three-way corner joints are made up of mortise-and-tenon, metal fasteners and commercial adhesive for added strength and durability.

- **Low-maintenance exteriors**

Aluminum-clad exteriors with EnduraClad® finish resists fading and chalking. It is applied in an overlapping fashion for exceptional protection.

- **Exclusive wood protection**

Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly. It provides advanced protection against the effects of moisture, decay, stains from mold and mildew — as well as termite damage.

- **Time-tested innovations**

Create unique room-by-room solutions and achieve project goals with performance options and purposeful innovations like the Hidden Screen and integrated blinds, shades and security sensors. For more information on integrated wireless security sensors, go to connectpella.com.

- **Best limited lifetime warranty⁶**

Pella Lifestyle Series products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.⁵

- **Testing beyond requirements**

At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

- **Hidden Screen**

The revolutionary Hidden Screen appears when you open a double-hung window and folds away when it is closed. It provides a clear view when the window is closed and improves curb appeal year-round.

Dual-pane double-hung window with Hidden Screen



Available in these window and patio door styles:⁷



Special shape windows also available.

^{1,2,3,4,5,6,7} See back cover for disclosures.

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame/Install
						U-Factor	SHGC	STC	
Awning Dual-pane vent	21"	17"	59"	59"	LC30 - LC50	0.25 - 0.34	0.19 - 0.51	25-28	Pella Steady Set, Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Awning Triple-pane vent	21"	17"	59"	59"	R20 - CW50	0.20 - 0.28	0.15 - 0.41	31-37	
Casement Dual-pane vent	17"	17"	35"	73"	LC30-LC50	0.25 - 0.34	0.19 - 0.58	25-31	
Casement Triple-pane vent	17"	17"	35"	73"	R20-CW50	0.20-0.25	0.17-0.46	31-37	
Fixed Casement Dual-pane	17"	17"	73"	73"	LC30-LC50	0.23 - 0.35	0.20 - 0.57	29-32	
Fixed Casement Triple-pane	17"	17"	73"	73"	R20-CW50	0.19 - 0.27	0.15 - 0.49	33-37	
Double-Hung Dual-pane vent	21"	35"	48"	84"	LC30-LC50	0.25 - 0.34	0.20 - 0.48	27-31	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Hinged Patio Door Dual-pane single door	30"	80"	38"	96"	LC50	0.26 - 0.32	0.18 - 0.48	31	
Hinged Patio Door Triple-pane single door	30"	80"	38"	96"	LC55	0.23 - 0.28	0.12 - 0.34	34-36	
Hinged Patio Door Dual-pane double door	60"	80"	75"	96"	LC50	0.25-0.29	0.18-0.48	30-32	
Hinged Patio Door Triple-pane double door	50"	80"	75"	96"	LC55	0.22-0.26	0.14-0.38	34-36	
Sliding Patio Door Dual-pane single-door fixed (O)	31"	80"	49"	96"	CW50	0.24-0.33	0.18-0.51	27	
Sliding Patio Door Triple-pane single-door fixed (O)	31"	80"	49"	96"	CW60	0.21-0.27	0.17-0.45	33-36	
Sliding Patio Door Dual-pane double-door vent (OX or XO)	60"	80"	96"	96"	R20-LC50	0.24 - 0.34	0.18-0.51	29-32	
Sliding Patio Door Triple-pane double-door vent (OX or XO)	60"	80"	96"	96"	R25-LC60	0.22 - 0.29	0.16 - .44	33-36	

Window sizes available in 1/4" increments

Special sizes available in triple-pane patio doors. For more information regarding performance, visit pella.com/performance. For more information regarding frame and installation types, visit installpella.com.

Window Hardware

Essential Collection

Select from popular designs and finishes to suit every style.



Fold-away Crank



Cam-Action Lock

Finishes:

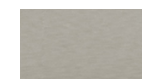


Champagne

White

Brown

Matte Black



Satin Nickel



Satin Brass

Patio Door Hardware

Essential Collection

Elevate your style and transform a home with elegant selections.



Hinged Patio Door Handle



Sliding Patio Door Handle

Finishes:

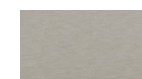


Champagne

White

Brown

Matte Black



Satin Nickel



Satin Brass

Colors

Prefinished Pine Interior Colors

We can prefinish pine in your choice of several paint and stain colors. Unfinished or primed and ready-to-paint are also available.



Aluminum-Clad Exterior Colors

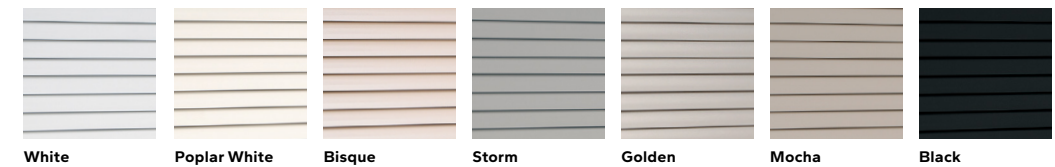
Our low-maintenance EnduraClad® exterior finish resists fading and helps protect windows and patio doors for years. Seacoast EnduraClad protective finish for coastal projects with high salt exposure is also available.



Integrated Blinds & Shades

Integrated Blinds®

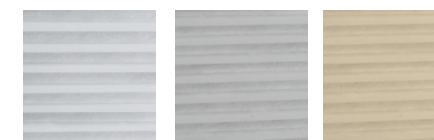
Raise blinds up for an unobstructed view or tilt to let in just the right amount of light. Our best integrated and accessible blinds are available manual or motorized with Pella® Insynctive® technology.



Integrated Shades®

Our best integrated fabric shades feature a white exterior fabric for a uniform look from the street. Integrated and accessible shades are available manual or motorized with Pella Insynctive technology.

Light-Filtering:

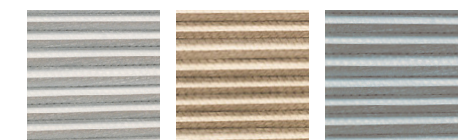


White

Silver

Maize

Room-Darkening:



Cotton

Bamboo

Ash

Haven't landed on the final blind or shade color selection? No problem. With our patented triple-pane design, you and your customer can make those decisions later in the schedule. Our triple-pane products come with all of the hardware to add a blind or shade straight from the factory or at a later time in the building or remodeling process.

Screens⁹

Hidden Screen

The Hidden Screen appears when you open a double-hung window and folds away when the window is closed. It allows 44% more natural light into your home when a window is closed than a standard screen.¹⁰ Hidden Screen cartridge available in Black, White, Brown, Fossil and Iron Ore colors to match or complement the exterior cladding color choice.

Rolscreen®

Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement and awning windows and sliding patio doors.

InView™

InView flat screens let in 14% more light and are 8% more open for improved airflow when compared to the conventional fiberglass screen.¹¹

Performance Packages

To make things easier, we've created performance packages.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹ Create room-by-room solutions with the upgraded triple-pane glass design.

All values below are averages compared with single-pane windows.



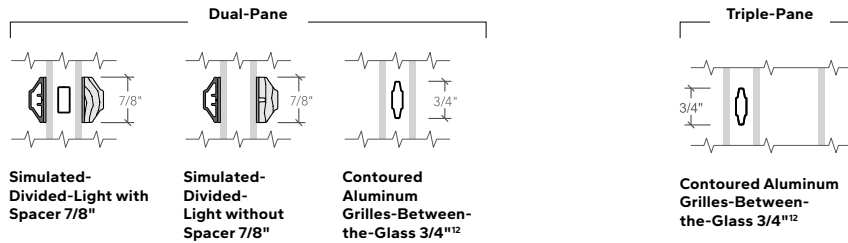
Pella® Lifestyle Series offers products awarded ENERGY STAR® Most Efficient for 2023.⁴

Base	Performance 71% More Energy Efficient ¹⁰ + 34% Noise Reduction ⁵	Sound Control 52% Noise Reduction ⁵	Energy Efficiency 83% More Energy Efficient ¹⁰	Ultimate Performance 79% More Energy Efficient ¹⁰ + 52% Noise Reduction ⁵
<p>Advanced Low-E</p> <p>Two panes of insulating, energy-efficient glass and our most popular features and options.</p>	<p>Advanced Low-E SunDefense Low-E or NaturalSun Low-E</p> <p>A triple-pane glass design for a combination of both improved energy efficiency and sound performance.</p>	<p>Advanced Low-E, SunDefense Low-E or NaturalSun Low-E Sound-reduction glazing</p> <p>Triple-pane glass design featuring mixed glass thicknesses for enhanced sound dampening.</p>	<p>AdvancedComfort</p> <p>A triple-pane glass design with upgraded AdvancedComfort Low-E glass for enhanced energy efficiency.</p>	<p>AdvancedComfort Sound-reduction glazing</p> <p>A triple-pane glass design featuring mixed glass thicknesses with upgraded AdvancedComfort Low-E glass for enhanced energy efficiency.</p>

Patented triple-pane glass design gives flexibility to add integrated blinds or shades without impacting performance.

Grilles

Choose the look of true divided light or make cleaning easier by selecting grilles-between-the-glass.



The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.⁶

¹ Compared to leading national wood window brands recommended installation methods for new construction windows.

² Comparing average install time and plumb/level/square measurements of leading national wood window brands when installed following the manufacturer's standard installation methods for new construction windows.

³ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

⁴ Some Pella products may not meet ENERGY STAR certification in Canada. For more information, contact your local Pella sales representative or go to nrcan.gc.ca/energy/products/categories/fenestration/13739.

⁵ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

⁶ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

⁷ Double-hung windows available in dual-pane only.

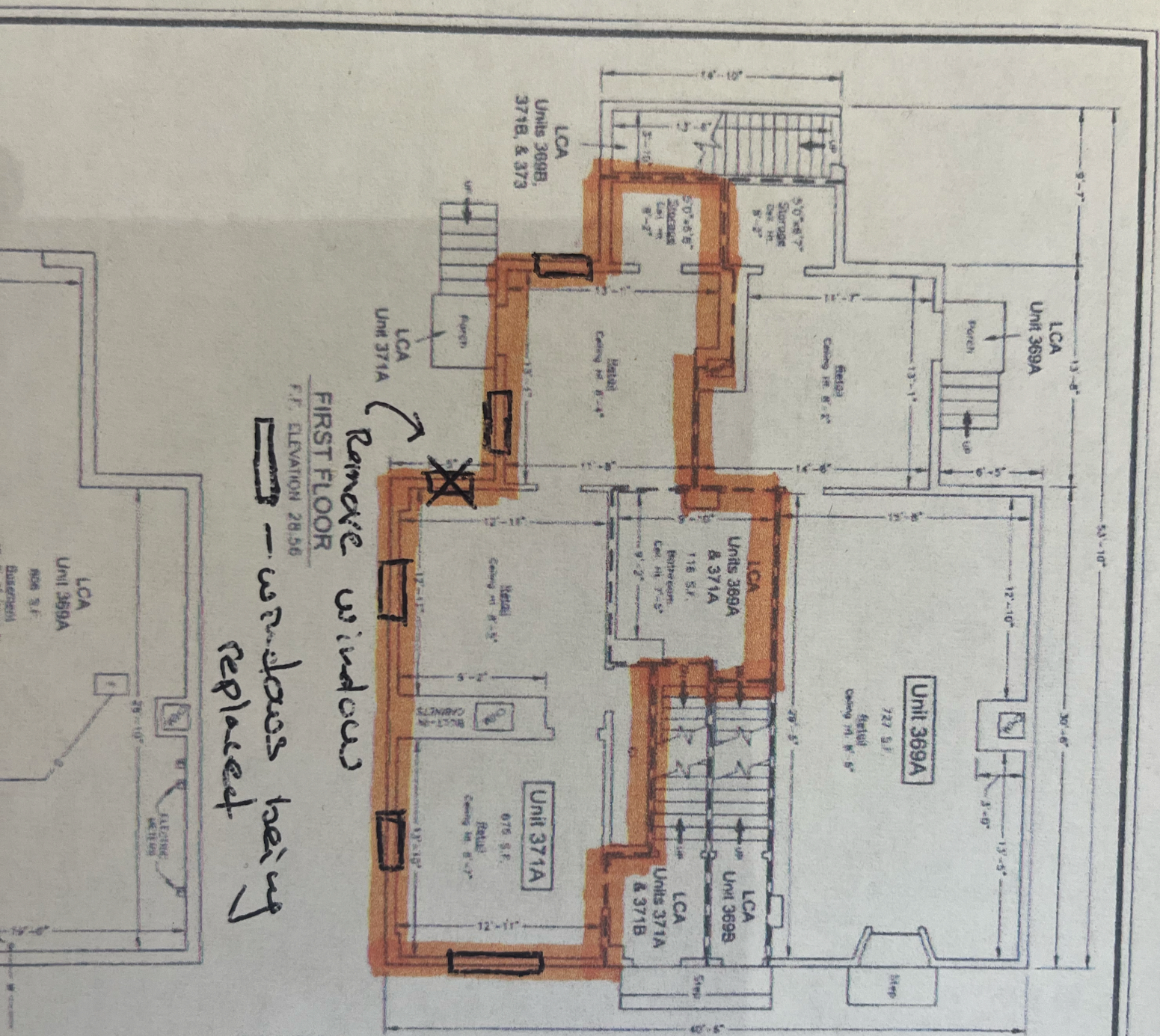
⁸ Available with triple-pane products only.

⁹ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

¹⁰ Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

¹¹ Improved airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.

¹² Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.



FIRST FLOOR
F.T. ELEVATION 28.56

Remove windows
& windows being replaced

ISLINGTON STREET

UNIT AREAS:

UNIT 369A:	727 S.F.
UNIT 369B:	816 S.F.
UNIT 371A:	676 S.F.
UNIT 371B:	816 S.F.
UNIT 373:	1,280 S.F.

LEGEND:

LCA	UNITED COMM.
CA	COMMON AREA
CL	CLOSET
W	WASHER
D	DRYER
F	FURNACE
HW	HOT WATER
S.F.	SQUARE FEET

FEET



Windows to be replaced highlighted in red.



Windows to be replaced highlighted in red.

Izak,

We are desperate to get on the agenda for Nov 6th.

We are looking to do LP Smartside smooth brushed 6' clapboard siding in the color Rapids Blue, with white trim.

I stopped by the office today to give you some samples and spec details, but I must have missed you.

Here is a link with information on the siding just in case!

<https://lpcorp.com/products/siding-trim/products/lap-siding>

Please let me know what you need from us to get on the agenda.

Thank you,

Jaimie

PRODUCT SPECIFICATIONS

PRODUCT	LENGTHS AVAILABLE	GROOVE?	GROOVE WIDTH	WIDTHS AVAILABLE	MINIMUM THICKNESS	SUBSTRATE	COLORS
CEDAR TEXTURE LAP SIDING							
38 Series Cedar Texture Lap Siding	12 ft (3.7 m)	No Groove	N/A	5.84, 7.84, 11.84 in (148, 199, 301 mm)	.354 in (8.9 mm)	Strand	Primed
38 Series Cedar Texture Lap Siding - ExpertFinish	16 ft (4.9 m)	No Groove	N/A	5.84, 7.84 in (148, 199 mm)	.354 in (8.9 mm)	Strand	16 ExpertFinish Colors
76 Series Cedar Texture Lap Siding	16 ft (4.9 m)	No Groove	N/A	7.84, 11.84 in (199, 301 mm)	.418 in (10.6 mm)	Strand	Primed
76 Series SmartLock Cedar Texture Lap Siding	16 ft (4.9 m)	No Groove	N/A	7.84 in (199 mm)	.418 in (10.6 mm)	Strand	Primed

Get LP SmartSide ▾

Homeowners
FIND A CONTRACTOR >

Professionals
WHERE TO BUY >

LP SmartSide 3/8" 6" x 16' 38 Series Smooth Finish Primed Lap Engineered Wood Siding

Project Address: 53 Pray Street

Permit Requested: Work Session

Application: Work Session #1

A. Property Information - General:

Existing Conditions:

- Zoning District: Waterfront Business
- Land Use: Residential
- Land Area: 4,150 SF +/-
- Estimated Age of Structure: c.1830
- Building Style: Greek Revival
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: Pray Street
- Unique Features: N/A
- Neighborhood Association: South End



B. Proposed Work: Rebuild rear porch into screened porch with roof deck, add skylights to the rear 1-story addition, and relocated the existing fence.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:



EXISTING RIGHT SIDE ELEVATION (EAST)



D. Purpose and Intent:

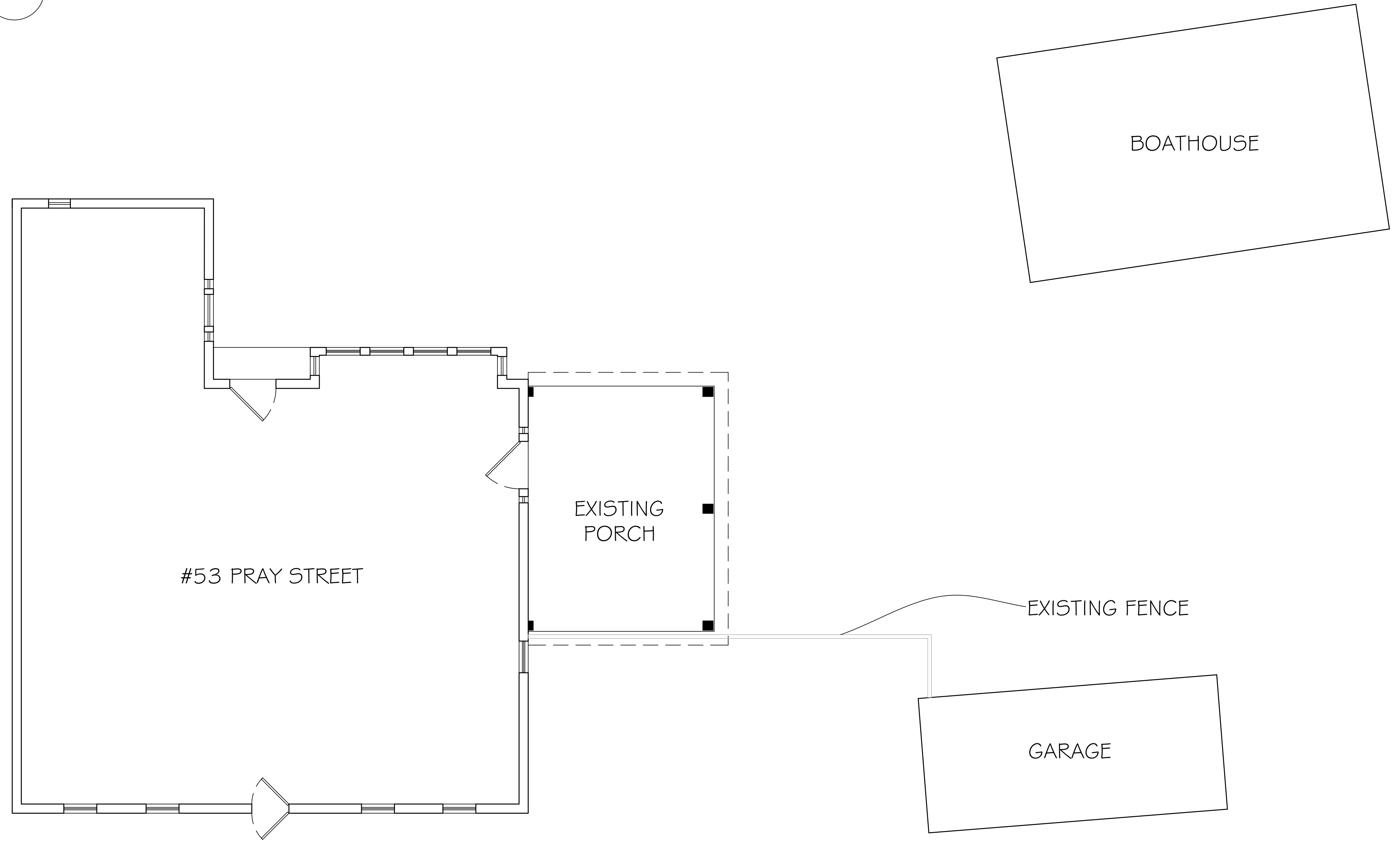
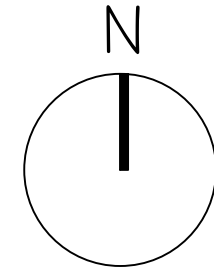
7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties



LOCUS MAP



DRAWING LIST

- Existing Site Plan
- Neighborhood Context
- Site and Elevations
- Proposed Site Plan
- First Floor Plans
- Second Floor Plans
- Front Elevations
- Side Elevations
- Back Elevations



1 53 PRAY STREET



2 43 PRAY STREET

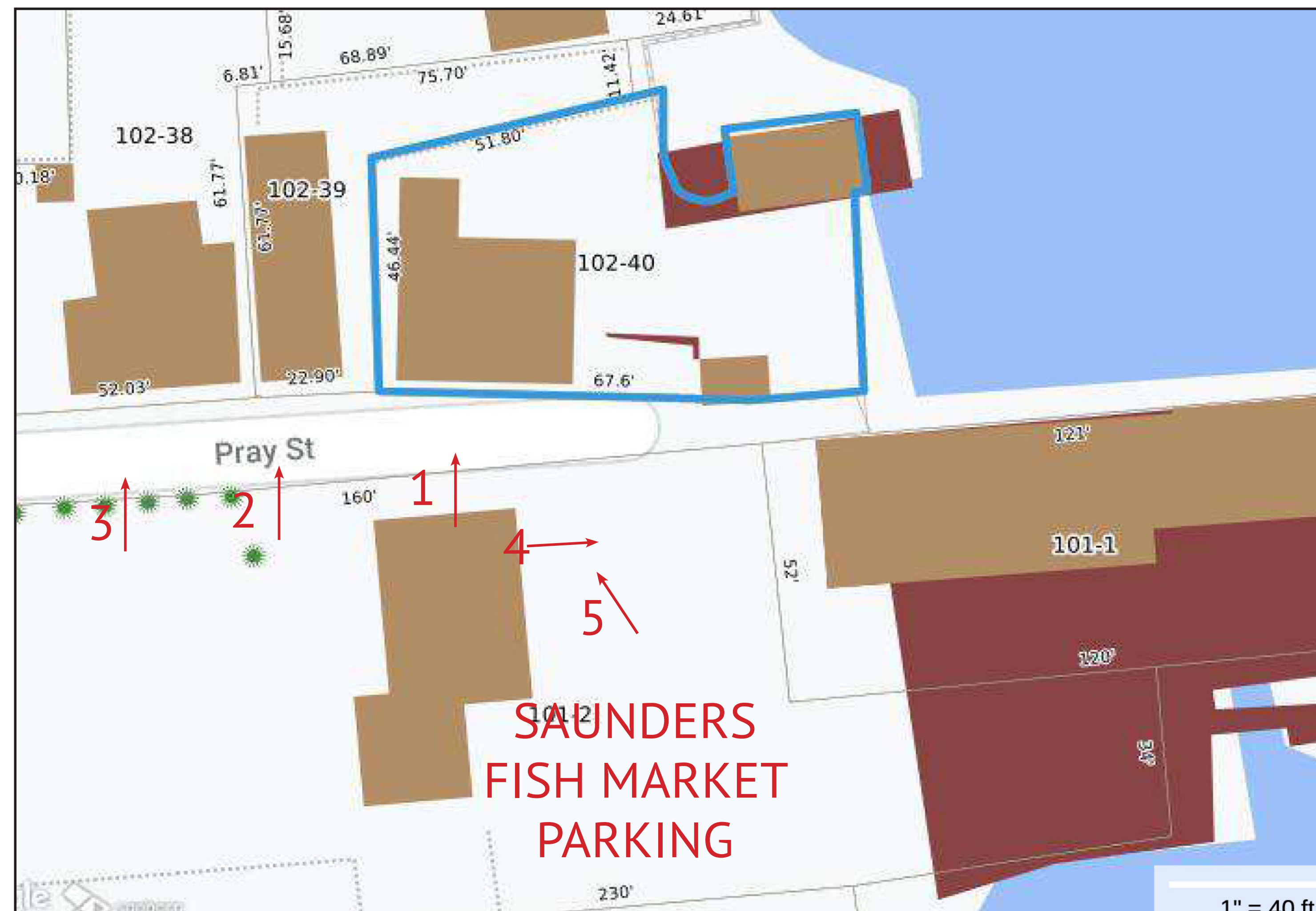


3 39 PRAY STREET



4 SAUNDER'S FISH

NEIGHBORHOOD
CONTEXT
53 PRAY STREET



5 FROM PARKING LOT



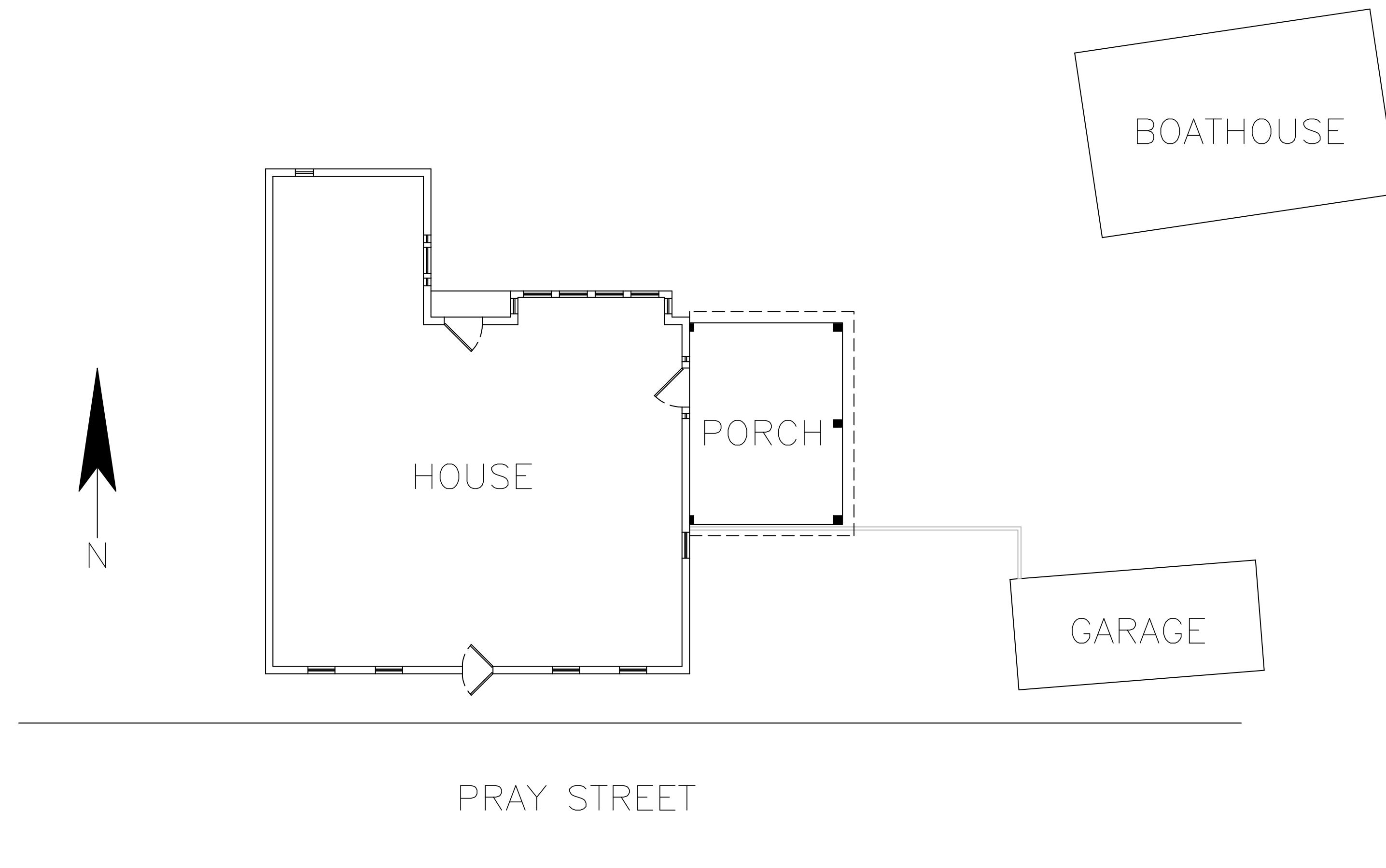
FRONT (SOUTH)



LEFT ALLEY (WEST)



REAR (NORTH)



RIGHT VIEW FROM DOCK (EAST)

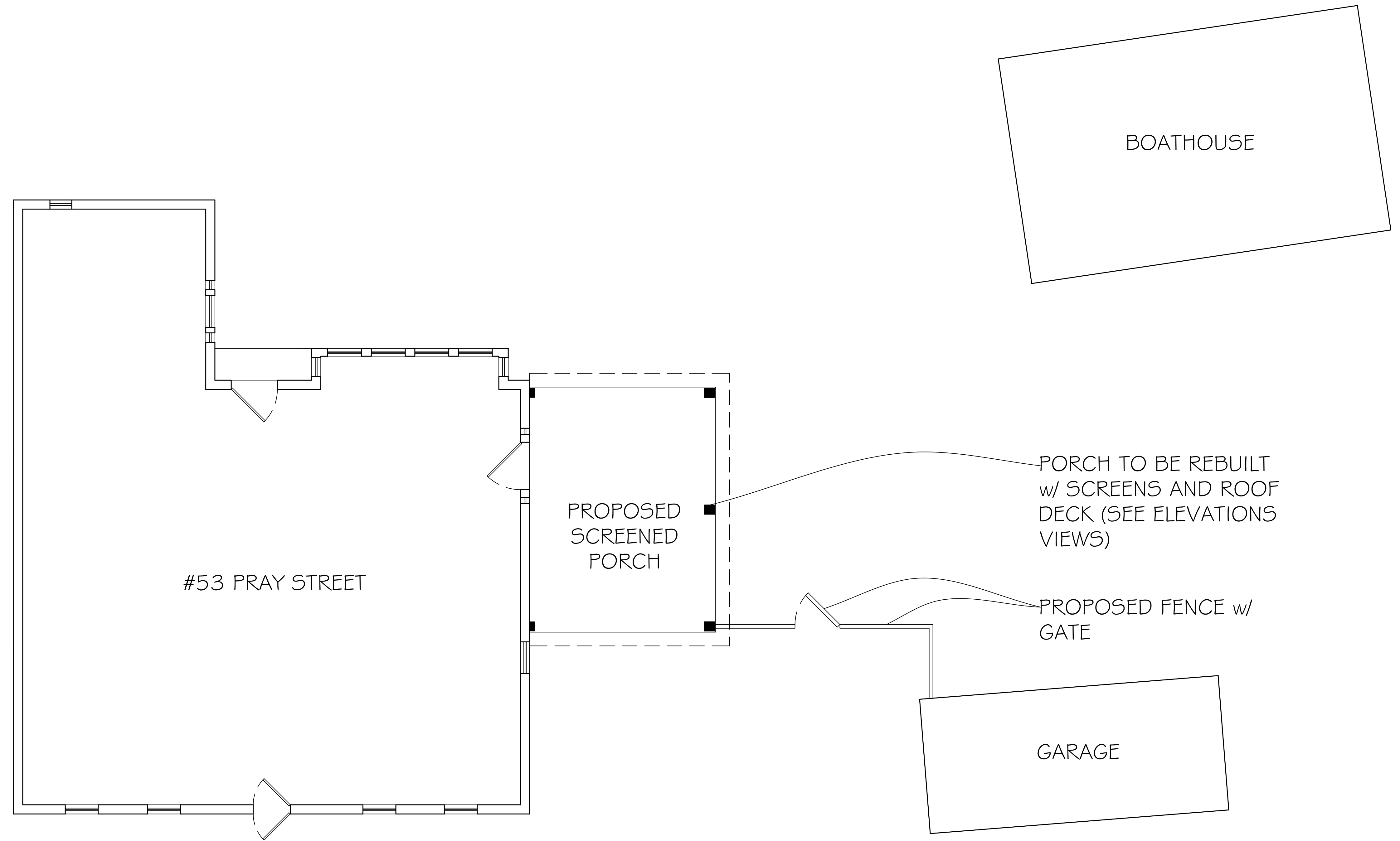


BOAT HOUSE



GARAGE





#53 PRAY STREET

BOATHOUSE

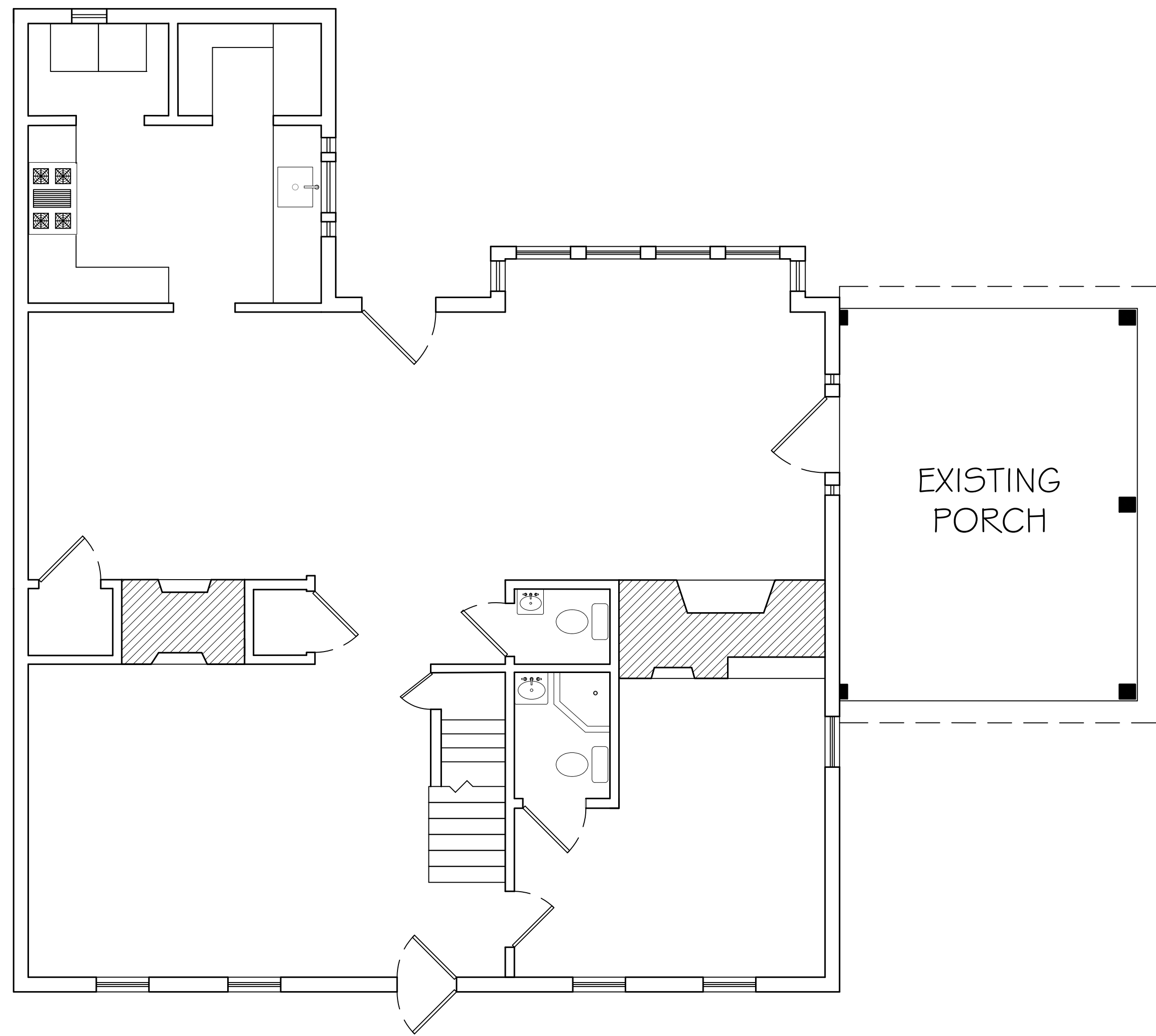
PROPOSED
SCREENED
PORCH

PORCH TO BE REBUILT
w/ SCREENS AND ROOF
DECK (SEE ELEVATIONS
VIEWS)

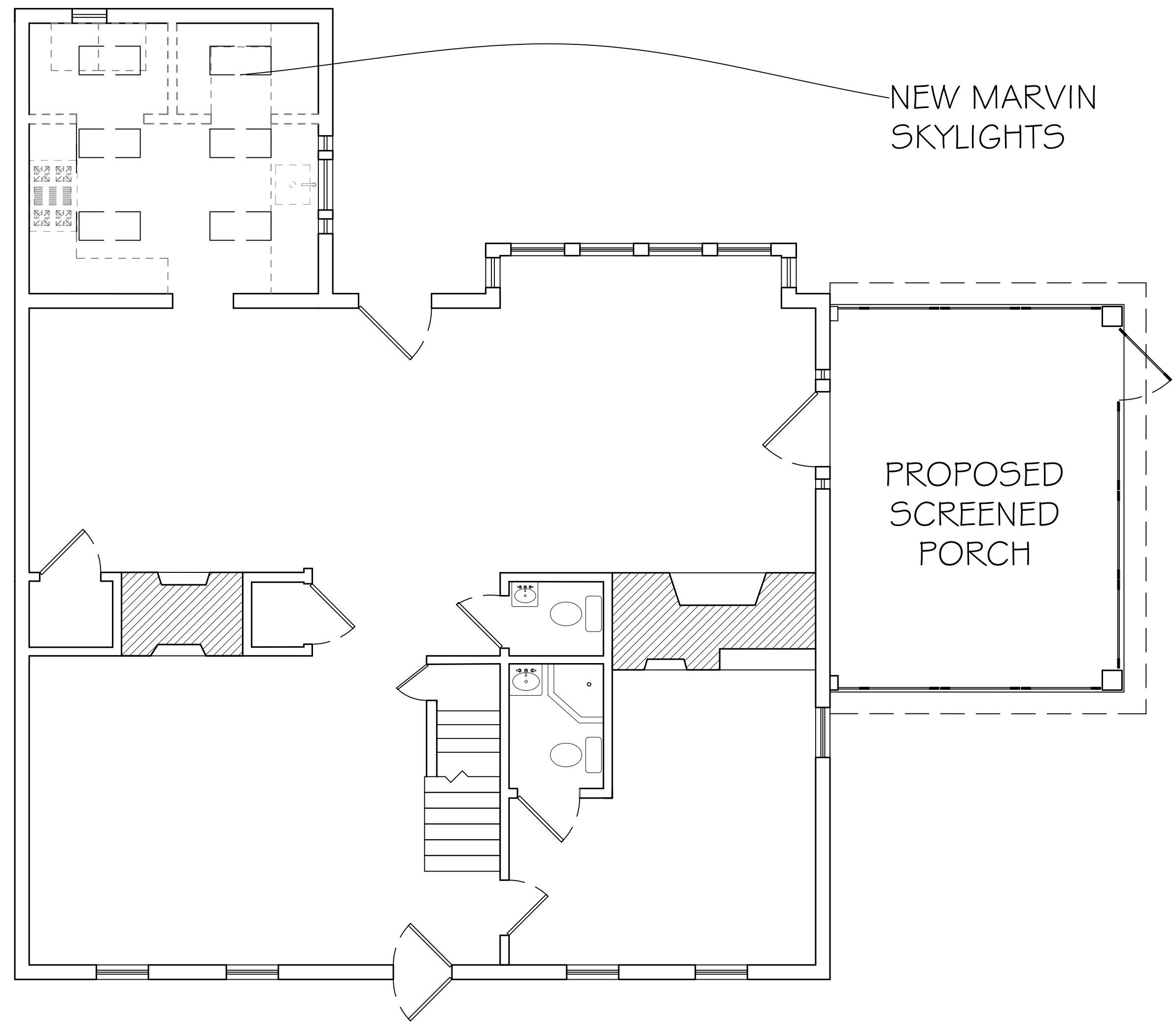
PROPOSED FENCE w/
GATE

GARAGE

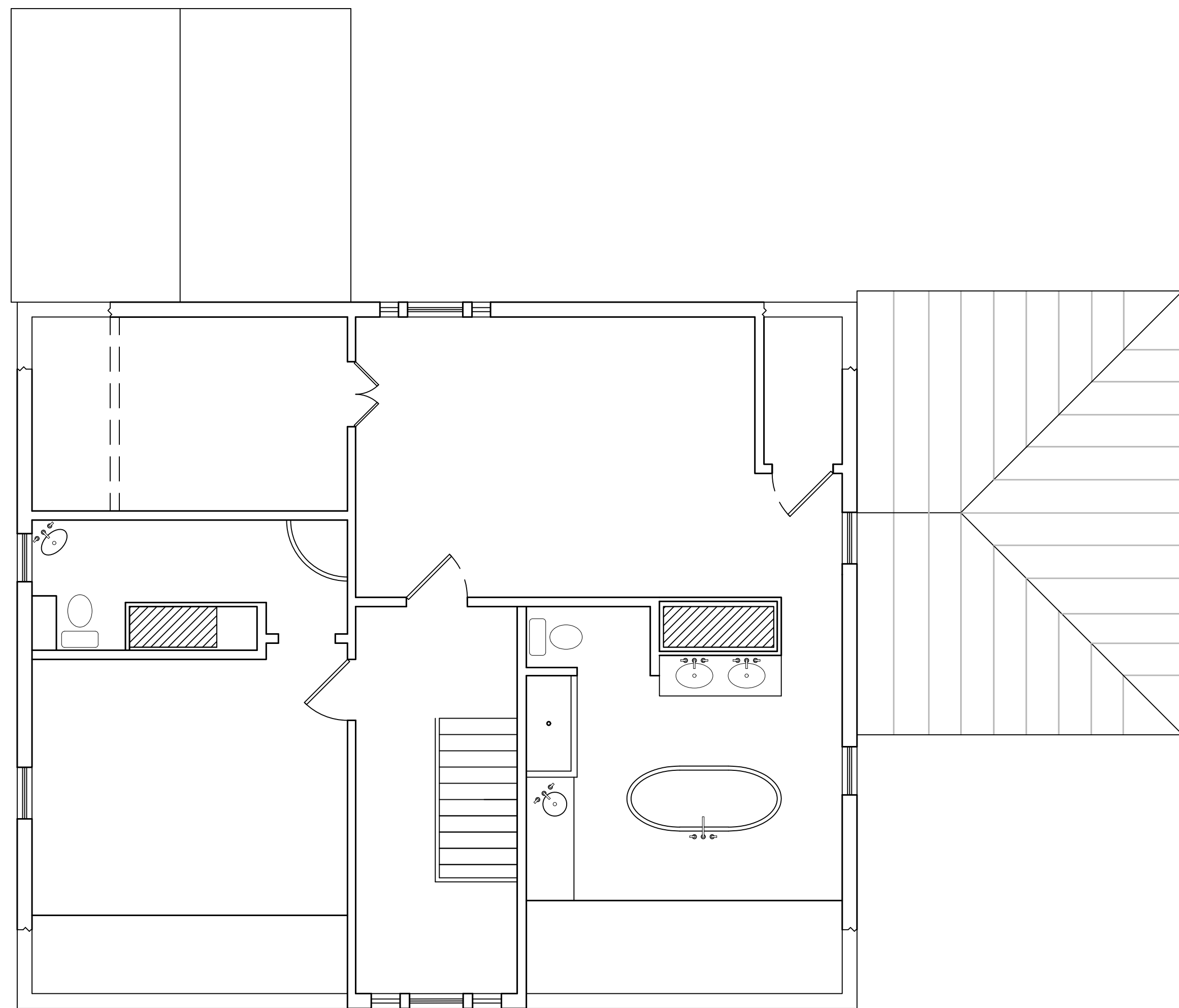
PRAY STREET



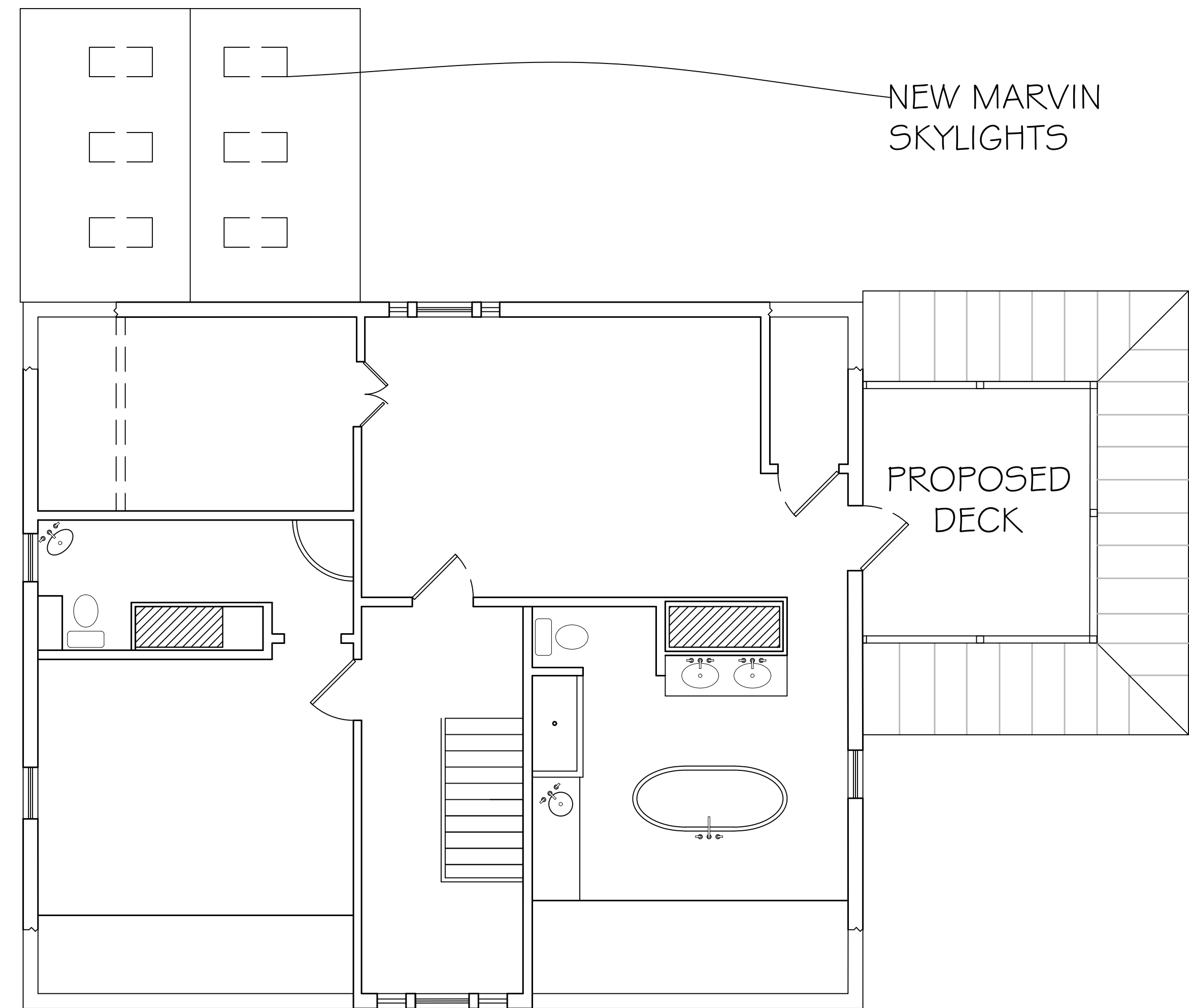
EXISTING FIRST FLOOR



PROPOSED FIRST FLOOR



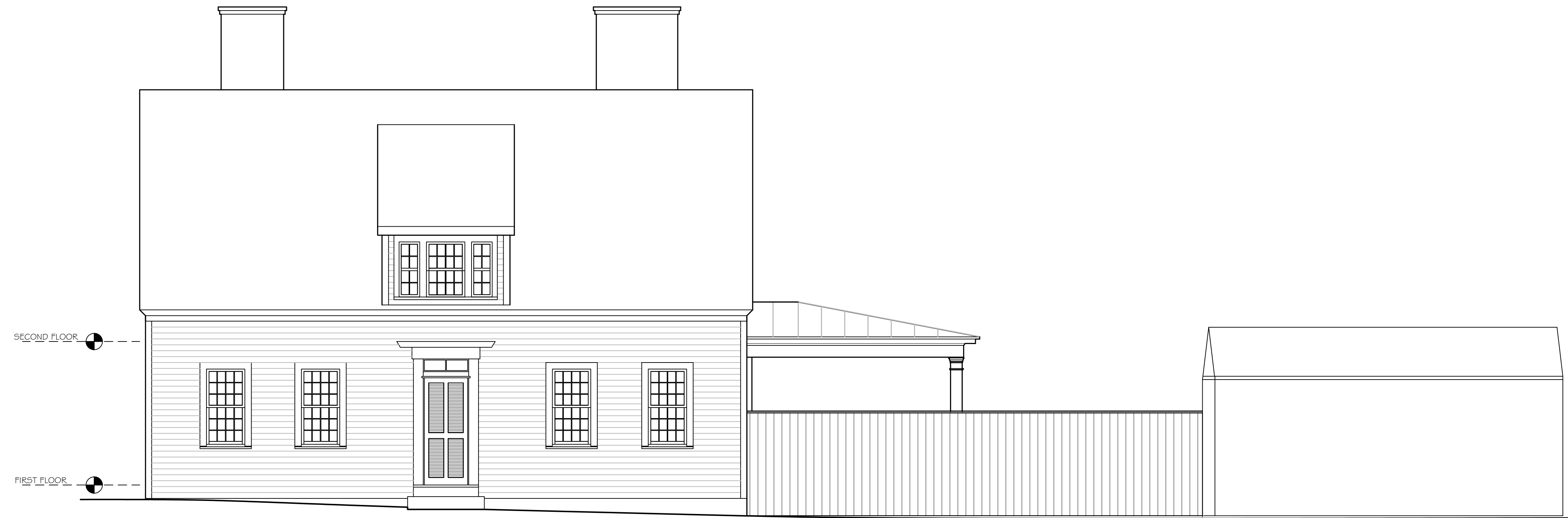
EXISTING SECOND FLOOR



PROPOSED SECOND FLOOR

NEW MARVIN
SKYLIGHTS

PROPOSED
DECK



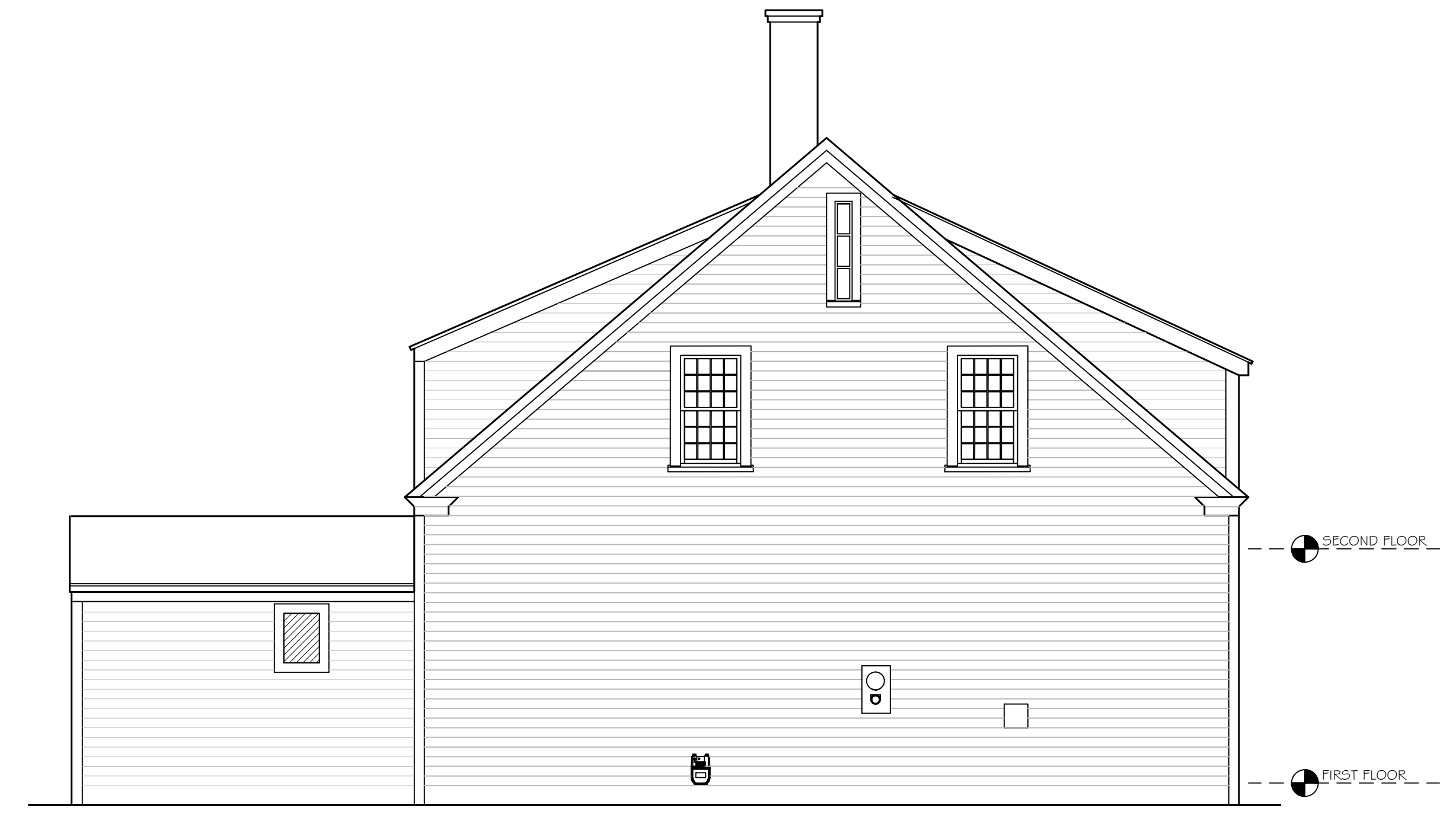
EXISTING FRONT ELEVATION (SOUTH)



PROPOSED FRONT ELEVATION (SOUTH)



EXISTING RIGHT SIDE ELEVATION (EAST)



EXISTING LEFT SIDE ELEVATION (WEST)



PROPOSED RIGHT SIDE ELEVATION (EAST)



PROPOSED LEFT SIDE ELEVATION (WEST)



EXISTING BACK ELEVATION (NORTH)



PROPOSED BACK ELEVATION (NORTH)