

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details) **

6:30 p.m.

May 01, 2024

AGENDA (revised on April 26, 2024)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. April 03, 2024

II. ADMINISTRATIVE APPROVALS

1. 39 Dearborn Street
2. 179 Pleasant Street
3. 3 Pleasant Street
4. 30 Penhallow Street
5. 218 State Street
6. 53 Green Street
7. 46 Maplewood Avenue
8. 245 Marcy Street
9. 49 Pleasant Street
10. 229 Pleasant Street

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Emily Niehaus and Bernard T. Roesler, owners**, for property located at **44 Gardner Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace all existing windows, siding, window casings and corner boards) and the installation of mechanical equipment (HVAC condenser and venting for the kitchen and bathrooms) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 42 and lies within the General Residence B (GRB) and Historic Districts.
2. Petition of **Morales Family Trust 2020, owner**, for property located at **33 Johnson Court**, wherein permission is requested to allow the installation of mechanical equipment (roof-top mounted solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 110 as Lot 12 and lies within the General Residence B (GRB) and Historic Districts.

3. Petition of **P&L 66 South, LLC, owner**, for property located at **66 South Street, Unit #2**, wherein permission is requested to allow exterior renovations to an existing structure (replace the remaining siding with Hardie Plank siding and replace the remaining windows on Unit #2) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 70-2 and lies within the General Residence B (GRB) and Historic Districts.
4. (Work Session/ Public Hearing) requested by **BVB, LLC, owner**, for property located at **258 Maplewood Avenue**, wherein permission is requested to allow exterior construction to an existing structure (add rear shed dormer, replace two rear gable ends with roof decks, rebuild the (2) front primary chimneys and remove the (2) rear secondary chimneys) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 as Lot 3 and lies within the Character District 4-L1 (CD4-L1), General Residence A (GRA) and Historic Districts.
5. Petition of **Ralph J. Montgomery Revocable Trust of 2020, owner**, for property located at **466 Marcy Street**, wherein permission is requested to allow new construction to an existing structure (replace existing front staircase with new wood and granite staircase) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 75 and lies within the General Residence B (GRB) and Historic Districts.

IV. WORK SESSIONS (OLD BUSINESS)

- A. Session requested by **Sakuntala, LLC, owner**, for property located at **235 Marcy Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace roofing and siding, restore and reinstall windows, repair or replace trim and casings, install wood corner boards, install cooper gutter system and remove the 1-story rear shed) and new construction to an existing structure (add 2-story rear garage addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 12 and lies within the General Residence B (GRB) and Historic Districts.

V. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_rAVVT40JQ5i3bO-BdhcQJA

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

April 3, 2024

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan (via Zoom), Dr. Dan Brown, Dave Adams, and Alternate Larry Booz

MEMBERS EXCUSED: None.

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

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I. APPROVAL OF MINUTES

1. March 6, 2024

*The March 6 minutes were unanimously **approved** as submitted.*

II. ADMINISTRATIVE APPROVALS

Note: the items were not reviewed in sequence.

Chair Ruedig stated that Items 1, 2, and 3 were requested to be postponed by the applicant. Mr. Gilbo said the applicant for Item 3, 425 Islington Street, was present only to discuss the item in preparation for the May meeting.

1. 466 Marcy Street – REQUEST TO POSTPONE

*The item was **postponed**.*

2. 182 Market Street – REQUEST TO POSTPONE

*The item was **postponed**.*

3. 425 Islington Street – REQUEST TO POSTPONE

The owner/applicant Dan McGreevy and the Home Depot representative Jim (last name indecipherable) were present. Mr. McGreevy said he originally ordered 21 vinyl windows because he was told that vinyl was appropriate but then was told by the Commission that it was not. Mr. Gilbo explained that the applicant was previously asked by the Commission to return with windows that had a more historic character and that the applicant previously presented vinyl

2/1 windows but were told to do wood windows on the front and Dover Street side of the building. Chair Ruedig said they had discussed doing wood clad windows on the main street facades because the house was in the Historic District and had standards to meet. Mr. Wyckoff said single divided light (SDL) windows would be more appropriate. The applicant said he would order Andersen windows and was told that it would be fine. Dr. Brown suggested that the Commission send the applicant the Commission's window guidelines.

[Timestamp 18:34] At this point in the meeting, Mr. Gilbo stated that 39 Dearborn Street was an administrative item that wasn't on the agenda; he explained that it was previously a Certificate of Extension but was really an administrative item and that the applicant's representative was present. After some discussion, the Commissioners agreed to hear it.

39 Dearborn Street (previously not listed on agenda)

The applicant's representative designer Amy Dutton was present and said the Cape was being worked on and the roof system was being repaired, but the owner wanted to add a second dormer to match the one on the right side of the house. She showed an illustration of it.

Mr. Adams said the requested dormer looked like it was being placed more to the left and that he would support it if it were more symmetrical. Councilor Blalock said he didn't like addressing items that weren't on the agenda. Vice-Chair Doering asked if the dormer was holding up the construction process, and Ms. Dutton agreed. Dr. Brown asked how many feet the dormer would be moved over and if it would be visible. Ms. Dutton said the dormer would be moved over 3-4 feet and would not be seen due to the driveway. Mr. Wyckoff said he could normally support the symmetry but because the item wasn't on the agenda and had not been advertised, he said he could not support it. Mr. Ryan said he could support it because it was a small change. Chair Ruedig said she would support the dormer as long as it was symmetrical.

*Vice-Chair Doering moved to **approve** the addition of the second dormer with the following stipulation:*

- 1. The dormer shall be symmetrically placed on the roofline and between the two windows.*

Mr. Ryan seconded the motion.

*The motion **passed** by a vote of 6-1, with Mr. Wyckoff voting in opposition.*

4. 66 South Street, Unit #2

Mr. Gilbo said the original approval to replace an existing doorway with a window and to add a French doorway and granite stair, and to do some Hardie siding was granted, but the applicant now wanted to replace the remainder of the windows on the unit to match the approved replacement window. He said the applicant would use Matthews Brothers windows and replace the siding on Unit 2 with the same Hardie siding. Dr. Brown asked what the neighbors would see. Mr. Gilbo said there was some vegetation along the side of the rear unit. Mr. Adams said the applicant wanted Hardie on the entirety of the ell but that he didn't recall the Commission allowing Hardie siding on a building without a special circumstance. He said it seemed that the

applicant downplayed how much of the most recent part of the building was being resided before. The owners/applicants Peter and Lisa Amaroso were present. Ms. Amaroso said the siding and color were discussed the last time and that she said they would apply again for the back part. Chair Ruedig said a lot of replacement windows and material was involved and she thought the Commission would want to be very careful about it, especially in areas where it looked like there were wood windows. Mr. Ryan agreed and said he wasn't sure if Mathews Brothers made a historically-appropriate window. Mr. Wyckoff said the Commission didn't know the details. Chair Ruedig said much of the building was visible now. Mr. Wyckoff asked if the windows would be new construction ones, and the applicant agreed. Mr. Wyckoff said the Commission required a historic window sill underneath and usually wanted to see the sizes.

*Vice-Chair Doering moved that the Commission **not accept** the administrative approval and to instead request a full package and that the item be properly noticed first before the applicants return for an administrative approval at the May 1 meeting. Councilor Blalock seconded. The motion **passed** unanimously, 7-0.*

5. 213 South Street

Mr. Gilbo said the request was to replace two windows with Andersen ones. He showed the proposed location and said the Andersen 400 Series windows with Fibrex would be the same style but updated. Mr. Wyckoff said he had no problem with the windows in that location but noted that those particular Andersen windows had a grill between the glass and not SDLs.

6. 85 Daniel Street

Mr. Gilbo said the applicant requested the following changes to the previously-approved design: 1) change the approved brick stair with granite treads to a wood stair with screening; 2) replace the second-floor wall with a painted wood clap wall to match the siding; and 3) replace the aluminum overhead garage doors with a painted composite wood. The applicant's representative architect Richard Desjardins was present. He noted that they were also requesting adding two K-style aluminum gutters along both ends of the main building to help with the drainage.

Mr. Adams asked if the same railings for the front stairs were proposed for the granite ones, and Mr. Desjardins agreed. He said the intent was to clean up and paint the original wrought iron railings. Dr. Brown asked why the applicant wanted to go from granite to wood. Mr. Desjardins said the brick and granite was designed by a previous owner and the new owner preferred wood. Dr. Brown said most of the surrounding houses were level on the street and the only other wooden stairs were at 95 Daniel Street, and he thought the granite look would fit better on the street. Vice-Chair Doering said she thought the granite was a little heavy for the wooden structure, noting that the wood stairs had been there for a while and were in better keeping with the wood house. She said she was concerned about putting AZEK on the sides, though, because the steps would be very visible. Mr. Adams said he thought the wood steps were appropriate because the building was a unique wooden building on that street, and it was further discussed.

7. 846 Middle Street

The request was approval for the removal of the divider on the chimney to allow for an exhaust intake for a gas fireplace. Dr. Brown asked if there would be two caps side by side. The contractor was present and said there would eventually be two caps inside. Mr. Booz asked if the current wall was intact, and the contractor agreed.

8. 195 Washington Street

Mr. Gilbo said the applicant previously submitted a request for white aluminum gutters and downspouts on the front and rear of the home, but the gutter company suggested having a matching white gutter and downspout system on the side as well.

9. 17 Hunking Street

Mr. Gilbo said the home's wooden gutter system was rotting and malfunctioning and the applicant couldn't find a contractor to replace it in kind, so he wanted to use a K-style copper system. Chair Ruedig said the wood gutter served as a curved molding under the eave, and she asked if there was room for a K-style gutter and if it would be appropriate. Mr. Wyckoff said the applicant must feel that it could be done if he proposed it.

*Councilor Blalock moved to **approve** Items 5 through 9, seconded by Vice-Chair Doering. The motion **passed** unanimously, 7-0.*

At this point in the meeting, Chair Ruedig said there was a Certificate of Approval Request for Rehearing for Item IV.1, 700 Middle Street, for a solar panel installation. She said the Commission agreed at the previous meeting that they would have to end the postponement of the item and that the applicant would have to refile.

*Vice-Chair Doering moved to **deny** the Request to Postpone, noting that the applicant will refile, and the administrative item would be re-noticed if the applicant decided to move forward. Dr. Brown seconded. The motion **passed** by a vote of 6-1, with Councilor Blalock voting in opposition.*

Chair Ruedig said there was a Request to Postpone, Public Hearings Old Business, Item V.A, 195 Washington Street. Mr. Gilbo said the Commission previously decided that they would deny the request for postponement and would note that the petition would be re-noticed, and the applicant would return.

*Vice-Chair Doering moved to **deny** the Request to Postpone, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

Chair Ruedig said the Section VII. Work Sessions, New Business item for 235 Marcy Street was requested to be postponed.

*Vice-Chair Doering moved to **postpone** the petition to the May 1 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

III. CERTIFICATE OF APPROVAL - EXTENSION REQUEST

1. Request by **David A. Sinclair & Nicole J. Giusto, owners**, for property located at **765 Middle Street**, wherein permission is requested to allow a one-year extension of the Certificate of Approval originally granted on May 03, 2023 for the new construction of a detached garage with living space above as per plans on file in the Planning Department. Said property is shown on Assessor Map 148 as Lot 37 and lies within the General Residence A (GRA) and Historic Districts.

DECISION OF THE COMMISSION

Mr. Gilbo said the applicant received approval from the Planning Board for the final subdivision of the property but there were a few conditions of approval that had to be met before the applicant could record it with the Register of Deeds and get a building permit.

*Councilor Blalock moved to **approve** the one-year extension request, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

IV. CERTIFICATE OF APPROVAL - REHEARING

1. **REQUEST TO POSTPONE** - Rehearing of **Michael B. Myers and Stephanie G. Taylor, owners**, for property located at **700 Middle Street**, wherein permission is requested to allow the installation of rooftop mechanical equipment (solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 148 and Lot 29 and lies within the General Residence A (GRA) and Historic Districts.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **deny** the Request to Postpone, noting that the applicant will refile, and the administrative item would be re-noticed if the applicant decided to move forward. Dr. Brown seconded. The motion **passed** by a vote of 6-1, with Councilor Blalock voting in opposition.*

V. PUBLIC HEARINGS (OLD BUSINESS)

A. **REQUEST TO POSTPONE** - Petition of **Joseph Cunningham, owner**, and Jane Myers Vanni, perspective buyer, for property located at **195 Washington Street**, wherein permission is requested to allow renovations to an existing structure (repair rot on the front entryway, siding and trim, remove and replace stairs, replace roofing, and install gutters) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 78 and lies within the General Residence B (GRB) and Historic Districts.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **deny** the Request to Postpone, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

VI. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Cyrus Lawrence Gardner Beer and Erika Caron Beer, owners**, for property located at **64 Mt. Vernon Street**, wherein permission is requested to allow exterior renovations to an existing structure (rebuild existing 1-story shed into a 2-story shed with entry porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 111 as Lot 30 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:05:24]The applicant Cyrus Beer was present and addressed the Commission's previous stipulations. He said the windows would be Green Mountain ones, a corbel would be added to the top of the chimney to match the house, and he had specifications for the roof tiles.

Vice-Chair Doering asked if the roofer had concerns about putting the solar panels through the composite slate. Mr. Beer said the roofer did not but that he would return for an administrative approval if there was a concern. Vice-Chair Doering said previously Mr. Beer said he wanted the eave detail on the addition to match the one on the existing house but that the drawings didn't match at the time. She asked if Mr. Beer would stick with the drawings or go with what was on the house. Mr. Beer said he would stay with the drawings.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Councilor Blalock moved to **grant** the Certificate of Approval for the application, seconded by Dr. Brown.* Councilor Blalock said the design complied with the surrounding architecture and supported surrounding property values.

*The motion **passed** unanimously, 7-0.*

Councilor Blalock recused himself from the following petition, and Alternate Mr. Booz took a voting seat.

2. Petition of **Martingale, LLC, owner**, for property located at **99 Bow Street**, wherein permission is requested to allow new construction to an existing structure (create waterfront deck and dock expansion) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Downtown Overlay, Character District 5 (CD5) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:13:11] Project architect Richard Desjardins architect was present on behalf of the applicant, with CEO of McNabb Properties Marie Bodie. Mr. Desjardins reviewed the petition, noting that approvals were received for the deck expansion project from the Commission on October 2021 and an administrative approval was granted in April 2022. He said there were no modifications to the proposal over the past two years but there was an extensive approval process with the New Hampshire Department of Environmental Services (NHDES) that caused the approval to lapse. He rear further approvals into the record. He reviewed the deck's west and east divisions and square footage and said there would be a handicap accessible way to the waterfront by utilizing the Martingale Building's elevator. He said the owner and design team were not aware of anyone else getting regulatory approvals to create a permanent easement and donating private property as a public deck. He said Martingale had an urban expansion issued by the State of New Hampshire that was exempt from Shoreland Zoning Regulations. He said the Planning Board originally approved the deck expansion in December 2021 and the Governors Council approved it in December 2023 with the Planning Board re-approving the same expansion in March 2024.

[Timestamp 1:17:32] Mr. Wyckoff said the project wasn't approved by the Governors Council and the NHDES until December of 2023 and asked why an extension was being requested. Mr. Desjardins said it was a separate certificate of approval request for the same package that was approved two years before and not an extension request. Vice-Chair Doering asked what signage was planned for the street side of the property. Mr. Desjardins said they did not have a signage design yet but the owner's intention was to have signage at the Martingale building's main entrance and on the stairwell to the far left of the property. Vice-Chair Doering said she wanted to ensure that people didn't misinterpret or feel shy about utilizing the access or feel that they needed a reservation to have to eat at the restaurant. Ms. Bodie said the applicant would go through the City's permitting process for any signage and that it would be part of the easement with the City for internal utilization of the elevator. She said they would work with the City's signage requirements to ensure the public had access for handicap accessible entry. Dr. Brown said there was discussion about the maximum number of customers at the previous approval. Ms. Bodie said it was discussed before the Planning Board and was noted that the use for the restaurant could permit up to 500 patrons. She said their permit for occupancy was in the 325 seat range but that they would not set more than that without the proper permits. Dr. Brown asked if the number would be increased by getting a bigger occupancy. Mr. Desjardins said the building code restricted it so that the only things that would change the number would be an additional stair on the Martingale and a change in the building code. Mr. Wyckoff asked if an easement would be given to the City for the elevator. Ms. Bodie said it would be an arrangement with the City for the access to the public deck and that the elevator would be available during the building's business hours. It was further discussed. Mr. Booz asked how the applicant would determine how many tables and how much space would be allowed for public viewing. Mr. Desjardins said the public deck on the right would have an access point to the public deck at the bottom of the stairs. He said the entrance to the public deck was not in Martingale's seating area. Mr. Booz asked what the capacity of the public area was. Mr. Desjardins said the owner wanted to limit the capacity to 50 people at a time, per the building code. Mr. Wyckoff said who would tell people to get off the deck. Mr. Desjardins said it would be the Fire Department.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Adams moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Booz.*

Mr. Adams said he didn't believe anything significant had happened among the abutting since the previous approval, even though it was longer than the one year that the Commission typically cycled in. On that basis and on the applicant's testimony that nothing had substantially changed, he said it made sense to approve the petition. He said the project would maintain the surrounding property values and encourage the historic utilization of the waterfront.

*The motion **passed** by a vote of 6-1, with Vice-Chair Doering voting in opposition.*

Councilor Blalock returned to his voting seat, and Mr. Booz returned to alternate status.

3. Petition of Maximilian Kolbe Hochschwender, owner, for property located at **44 Rogers Street**, wherein permission is requested to allow exterior renovations to an existing structure (remove the existing chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 45 and lies within the Mixed Research Office (MRO) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:33:55] The owner/applicant Maximilian Kolbe Hochschwender was said he wanted to renovate the studio apartment and put in a staircase and remove the chimney so that the staircase could be put in place to meet code.

[Timestamp 1:35:12] Vice-Chair Doering said the exterior condition of the chimney didn't show that the chimney appeared to be crumbling. Mr. Hochschwender said the reason for removing the chimney was in conjunction with removing the interior part of it. Vice-Chair Doering said the chimney was a characteristic feature of the home and other homes on the block. Mr. Adams said he found the chimney with a cap was a ubiquitous treatment of chimneys and was similar to many other chimneys on the street. He said he hated to see that defining feature taken away for no reason. Mr. Booz suggested having the staircase going along one wall and making a 90-degree turn and then going up the other wall. Mr. Hochschwender said he tried locating the stairway in different places but found that it wouldn't work. Chair Ruedig asked the applicant if he met with the City's building inspector to figure out how to solve the problem. Mr. Hochschwender said he had brief conversations with him. It was further discussed. Mr. Wyckoff suggested a faux chimney. Mr. Ryan said he believed that a proper stairway that met code was a good excuse for removing the chimney, but he wanted to see more evidence as to why alternatives couldn't be found. He suggested postponing the petition until then. Dr. Brown asked Mr. Adams if the chimney could be removed without affecting the outside. Mr. Adams said the

applicant would spend more money providing structural support for the brick chimney than a staircase in an alternative location. Mr. Booz suggested that the applicant return with a floor plan of the second and third floors so the Commission could see the existing staircase. Chair Ruedig said that might help and that the Commission's purview was only the exterior, so it depended on what the exterior would look like. She said the existing chimney seemed tall to make into a faux chimney. Councilor Blalock said he hated to lose the historic feature of the house and thought there could be another solution. He encouraged the applicant to reach out to the building inspector. It was decided to postpone the petition to the May 1 meeting.

There was no public hearing.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **continue** the petition to the May 1 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

4. Petition of Ginty/Crouch Family Revocable Trust, owner, for property located at **796 Middle Street, Unit #1**, wherein permission is requested to allow exterior renovations to an existing structure (remove one window and one door to exchange locations - existing door and window to be used) as per plans on file in the Planning Department. Said property is shown on Assessor Map 153 as Lot 8 and lies within the General Residence A (GRA) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:45:43] The applicants Kathleen Crouch and John Ginty were present. Ms. Crouch said they wanted to move the door over towards the neighbor's door on the far side for more privacy. She said the same door would be used and that the storm door would be removed.

Mr. Wyckoff said it looked awkward having the two doors in that location. Chair Ruedig asked if the applicant worked it out with the neighbor. Ms. Crouch agreed and said it was awkward for her and her neighbors to use the same stairwell and that the neighbors also had a front entrance. Councilor Blalock said it wasn't the front of the house, so he was in support. Chair Ruedig asked if the window and door would go in the same locations, and Ms. Crouch agreed.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Adams moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulation**:*

1. *The replacement siding and trim materials shall be in kind with the materials that are currently there.*

Councilor Blalock seconded the motion.

Mr. Adams said the project would maintain the surrounding architectural values and enhance property values.

The motion passed unanimously, 7-0.

5. (Work Session/Public Hearing) requested by **95 Daniel Street, LLC, owner**, for property located at **95 Daniel Street**, wherein permission is requested to allow the full demolition and reconstruction of the existing structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 7 and lies within the Character District 4 (CD4) and Historic Districts.

Vice-Chair Doering noted that the Staff Report had an error in the images.

WORK SESSION

[Timestamp 1:50:32] Architect Mark Gianniny was present on behalf of the applicant Sean Peters, who are also present. Mr. Gianniny said he was before the Commission in November 2022 with a different application and were back with approvals in January for the renovation of 95 and 96 Daniel Street. Regarding 95 Daniel Street, he said they found unexpected things when the sheathing and plaster were removed so they hired a structural engineer and talked to the Building Department. He said it came down to the walls and framing and a lot of it was due to years of haphazard remodels. Mr. Peters said the first floor in the front section of the building was lowered and below grade and had water intruding, so they would have to rebuild the foundation first. He said he feared that if the building was jacked up it would fall on itself, so he proposed demolishing it. Mr. Gianniny said the building's structural integrity was severely diminished and was a high safety hazard and could collapse. He said a total rebuild was the only path for completing the project but they would save some of the architectural elements.

[Timestamp 2:03:30] Chair Ruedig said the previous owners suggested demolition, which the Commission denied, but there were new facts brought forward that were a bigger consideration. Councilor Blalock said he talked to the building inspector and said safety was his primary concern and more important than preserving the history of the building. He said he hoped the Gothic windows, door, and some of the trim could be preserved. Mr. Wyckoff asked if the same due diligence was done on the building next door. Mr. Gianniny agreed. Mr. Wyckoff said the building could be rebuilt from the inside but it was leaning and would have to be straightened out again, and he thought there was too much there. He said the only thing he objected to in the engineer's report was the conclusion that the initial construction of the building was careless and poorly done. He said the building was built to the standards of 150 years ago. Mr. Booz said the building was in its weakest state since everything on the inside was stripped, but he thought the building could be reframed from the inside. Mr. Ryan said he could not give the applicant a blanket demolition approval without further discussing options. He said even if the building was demolished, he didn't think the applicant would rebuild it in kind because the barbershop

window could not be replaced. He said the shell of the building could be saved, the floor levels could be gutted down, a new foundation could be put in, and the floor levels could be rebuilt. He said he had to see more creative solutions that kept a great deal of the fabric fronting Daniel Street. Mr. Adams said he thought the applicant would use different materials and framing techniques. He said the applicant knew the building was re-fenestrated and that he should not have been surprised, and he wasn't sure if the applicant would do what he said he would. Mr. Wyckoff said the applicant would rebuild the building exactly like he said he would do. It was further discussed. Chair Ruedig said the Commission's prior approval was making the exterior of the building generally new by replacing the siding, most of the windows and the roof, and filling in the storefront. She said the building would be new anyway with everything that was needed to meet code, and her concern was just how new it would look on the outside. She suggested a site walk that would be open to the public if it was safe. Councilor Blalock said the building inspector said it wasn't safe and that he would be hesitant about inviting the public in.

Mr. Gianniny said he would agree to a site visit but would take the Building Department through first. Mr. Booz said he would want to see more due diligence before the applicant said they would tear the building down. Mr. Ryan said it would be horrible to lose that building because it was so unique, and he thought the Commission would take the easy route by approving its demolition and that he couldn't support it. He said he wanted creative solutions. He said all construction sites were unsafe. Councilor Blalock said he didn't want the building to collapse.

Public Comment

Karen Bouffard of 87 Richards Avenue said she was convinced that the building could be saved. She said it was a contributing building to the downtown and that street. She said the previous reconstruction plan could perhaps be revised.

Emma Nelson of 87 Richards Avenue said her café was a close abutter to the property and that she did not support demolishing the building because it was a historic one and the HDC had a commitment to protect historic buildings. She said it was one of two examples of Gothic architecture downtown and was a landmark. She said a new building would be a Disney version of the original building and that there were options other than demolition.

Alan Nelson of 87 Richards Avenue said he supported the project but not the demolition. He said the house was in rough shape but reminded him of a lot of other reconstructed buildings.

Rick Becksted of 1395 Islington Street (via Zoom) said the applicant should do his due diligence and restore the building, which he felt would stand for another 200 years. He said there weren't many wooden buildings left in the downtown. He encouraged the applicant to continue on the path he started and he offered to sit down with the applicant and make suggestions.

Richard Candee (via Zoom) said he was one of the founders of the Portsmouth Advocates. He said he remembered from the 70s and 80's how many badly constructed buildings had been saved because of people who encouraged the applicant and said there were ways to do the project without demolishing the building. He saw no reason to grant a demolition permit and thought the Commission needed more information about the interior and structural features.

Peter Michel (via Zoom) said he was also speaking for the Portsmouth Advocates. He said the applicant's building was listed in the National Register as a contributing resource to the larger Portsmouth district and was one of the few wood-framed buildings left in town. He recommended that the applicant explore what it would take to make the building sound and how the cost would compare with demolishing it. He also recommended that the HDC hire an independent engineer to see if a replacement was feasible. He said if demolition could not be avoided, then more key character-defining features should be salvaged than the plan indicated.

[Timestamp 2:47:45] No one else from the public spoke. Vice-Chair Doering said Mr. Michel hit a lot of points that she was going to bring forward. She said the Commission saw all the justifications for demolition but did not see the alternate route and thought it was fair to the building and the purpose of the HDC to see a scenario of saving the building. She noted that the original application in October 2022 for demolishing the building had a structural report that highlighted a lot of the issues and she warned that a stage of demolition could weaken the building and cause more problems. She said if it wasn't possible for the applicant to come up with a scenario to save the building, she wanted hear a plan that involved reconstruction that would involve saving a lot of the structural outside characteristics, and the methods and materials used would be similar to how the building was originally built. Councilor Blalock said the report indicated that the existing exterior assembly would have to be removed, and he wondered if leaving one wall up while the other walls were rebuilt was an alternative. Mr. Wyckoff said it would be less money to rebuild the interior than tearing the building down. Chair Ruedig said she thought the Commission could request an independent engineering report that might give other options about what could be saved and how. It was further discussed.

Mr. Gianniny said there had to be something to restore in order to have a restoration, and in order to get a building permit and Certificate of Occupancy, he would have to rebuild every structural element of the building. He said he was committed to saving as much as possible to make the project worthwhile, and he thought rebuilding was the only option. Councilor Blalock said he appreciated the efforts made to replace in kind, and Mr. Wyckoff agreed. Chair Ruedig said the project wasn't ready to move forward into a public hearing because the Commission still needed to see plans, details, measurements, etc. and she suggested doing a side walk in the meantime or hiring a third-party engineer. Mr. Adams asked what the design would be to preserve the building in place rather than make the building inspector happy. It was further discussed. Chair Ruedig said they would coordinate a walk-thru with the owner before the next meeting. Vice-Chair Doering said that, before she approved the demolition of the building, she would need to have someone go in with the express plan of figuring out a way to shore up the building so that it could be lifted and a new foundation could be put in. She noted that no one said that was impossible, and the Commission needed to hear that it could not be accomplished.

There was no public hearing. Chair Ruedig suggested that the Commission recommend to the Planning Department the hiring of an independent preservation engineer to get another opinion.

DECISION OF THE COMMISSION

*Mr. Wyckoff moved to **continue** the application so that the City could hire a preservation engineer to see if the structure can be saved. Dr. Brown seconded the motion. The motion **passed** unanimously, 7-0.*

VII. WORK SESSIONS (NEW BUSINESS)

A. REQUEST TO POSTPONE - Work Session requested by **Sakuntala, LLC, owner**, for property located at **235 Marcy Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace roofing and siding, restore and reinstall windows, repair or replace trim and casings, install wood corner boards, install cooper gutter system and remove the 1-story rear shed) and new construction to an existing structure (add 2-story rear garage addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 12 and lies within the General Residence B (GRB) and Historic Districts. VIII.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **postpone** the petition to the May 1 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

[Timestamp 3:08:39] At this point in the meeting, Chair Ruedig brought up the proposed solar amendments to the zoning from the previous month's work session and said Mr. Gilbo drafted a copy of them. Mr. Gilbo said the language was updated in one of the exempt items to make it clearer that solar energy was a part of that exemption process. He said an administrative approval section was added to outline some criteria points that the applicant would have to meet to apply for an administrative approval instead of a Certificate of Approval. Some of the Commissioners said they were back where they were three months ago because the language was the same, or who said the topic wasn't on the agenda and the public didn't know about it. It was further discussed. The Commission decided to hold a work session on April 10, 2024.

VIII. ADJOURNMENT

The meeting adjourned at 10:04 p.m.

Respectfully submitted,

Joann Breault
HDC Meeting Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

May 01, 2024

- | | | |
|-----|-----------------------------|-----------------------|
| 1. | 39 Dearborn Street | -Recommended Approval |
| 2. | 179 Pleasant Street | -Recommended Approval |
| 3. | 3 Pleasant Street | -Recommended Approval |
| 4. | 30 Penhallow Street | -Recommended Approval |
| 5. | 218 State Street | -Recommended Approval |
| 6. | 53 Green Street | -Recommended Approval |
| 7. | 46 Maplewood Avenue | -Recommended Approval |
| 8. | 245 Marcy Street | -TBD |
| 9. | 49 Pleasant Street | -Recommended Approval |
| 10. | 229 Pleasant Street, Unit 4 | -Recommended Approval |

1. 39 Dearborn Street -Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (changing the bulkhead access to a deck "door" off the family room, relocating the basement hopper windows, creating a low retaining wall and fence on the front property line, removal of a window on the front gable end of addition, removal of the transom window over the mudroom entry doors and extend the roof over these doors with recessed lighting instead of light fixtures and the siding style will be Hardie Plank and Maibec wood shingles.)

Staff Comment: Recommend Approval

Stipulations:

- 1. _____
- 2. _____
- 3. _____



VIEW FROM WATER



VIEW FROM DEARBORN

- HDC ADMINISTRATIVE APPROVAL REVISIONS:
1. BULKHEAD ACCESS (THROUGH PROPOSED DECK "DOOR")
 2. BASEMENT HOPPER WINDOW LOCATIONS
 3. RETAINING WALL AND FENCE ON FRONT PROPERTY LINE.
 4. REMOVAL OF WINDOW ON FRONT GABLE END OF ADDITION.
 5. REMOVAL OF TRANSOM WINDOW OVER MUDROOM ENTRY DOORS.
 6. ROOF EXTENDED TO 12" OVER MUDROOM ENTRY DOORS.
 7. REMOVAL OF LIGHT FIXTURES NEXT TO MUDROOM ENTRY DOORS. REPLACED WITH RECESSED.
 8. CONFIRMATION THAT THE BACK WINDOWS WILL BE INSTALLED (ABUTTER APPROVAL)
 9. SIDING STYLE TO BE HARDIE PLANK AND MAIBEC WOOD SHINGLES.

EXISTING PROPERTY PHOTOS



HEIGHT STUDY IN RELATIONSHIP TO ABUTTER



RELATIONSHIP OF SHED TO PROPERTY LINE (ON OTHER SIDE OF FENCE)



SHED IN RELATIONSHIP TO CAPE & ENTRY

EXISTING NEIGHBORHOOD PHOTOS



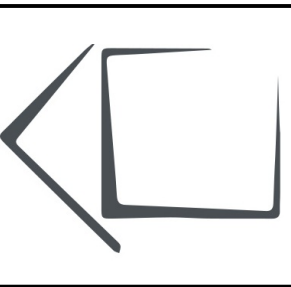
VIEW FROM DENNETT



VIEW FROM DEARBORN



VIEW FROM MAPLEWOOD



Revision Table	
Number	Description

OVERVIEW

CLIENT:
 BARDONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 AMY DUTTON HOME
 9 WALKER STREET | KITTERY, ME
 amy@amyduttonhome.com
 207.337.2020

DATE:

4/8/2024

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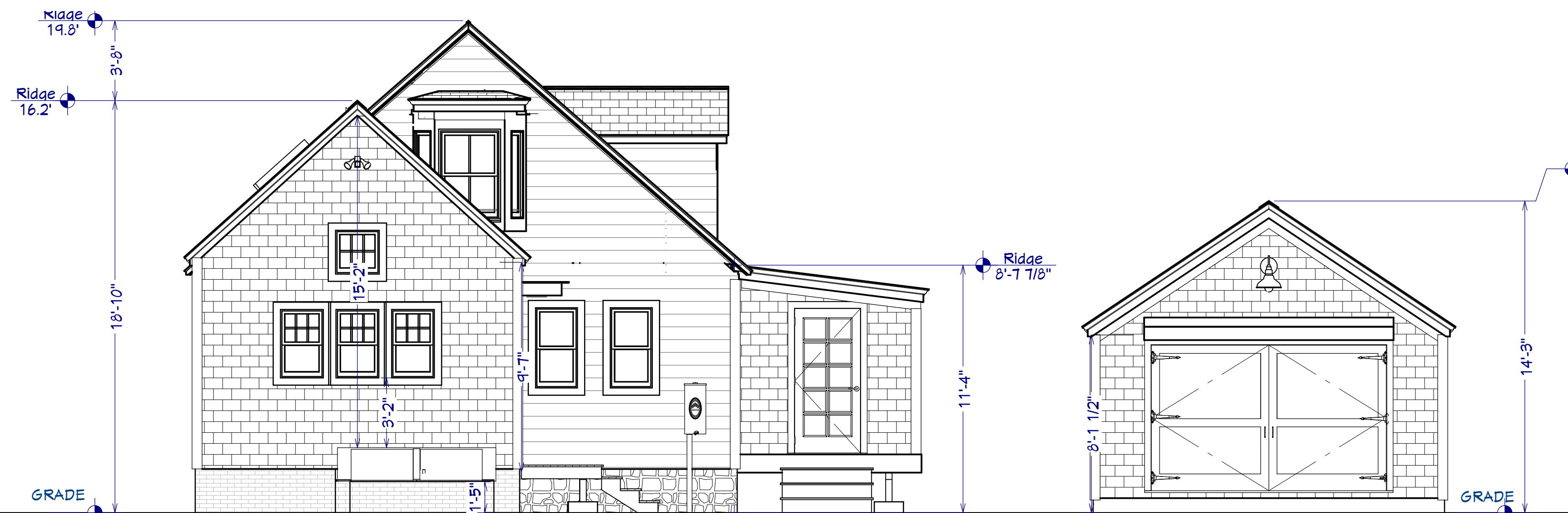
SCALED FOR:
 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

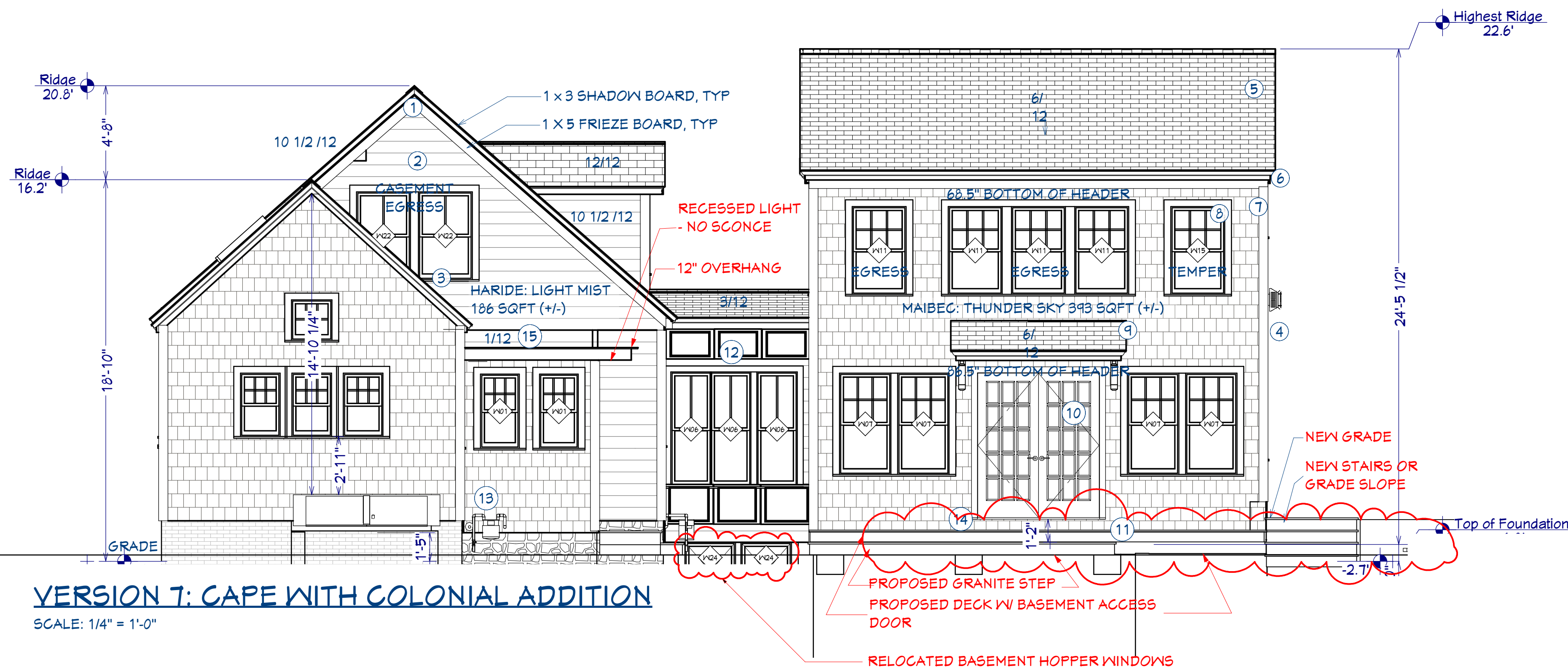
SHEET:

0-1



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"

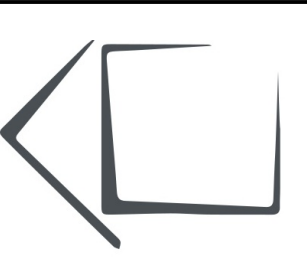
PROPOSED SOUTH ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	REMOVAL OF EXISTING ROOFING SHINGLES AND SHEATHING AND INSULATING AS NEEDED FROM EXTERIOR
②	HARDIE LAP SIDING
③	HISTORIC SILLS ON HOUSE & ADDITION
④	EXHAUST FOR GAS STOVE
⑤	GAF ASPHALT ROOFING
⑥	TRIM WORK: WINDOW, DOOR, ROOF RAKE AND SOFFIT: AZEC PTD
⑦	MAIBEC WOOD SHINGLES
⑧	MARVIN ELEVATE 6/1 DH
⑨	ENTRYWAY CANOPY W/ WOOD BRACKETS (CHAMFERED EDGE)
⑩	MARVIN, ELEVATE FRENCH DOOR_15 - LITE
⑪	GRANITE LANDING & STAIR
⑫	AZEC PTD. TRIM PANELS
⑬	RELOCATED GAS METER
⑭	AZEC PTD. RISER BOARD
⑮	PITCH ROOF TO REMOVE WATER. RUBBERIZE



PROPOSED DECK DOOR - ACCESS TO BASEMENT / BULKHEAD BY LucidGold
DECKING: AZEC VINTAGE COLLECTION



Revision Table		
Number	Date	Description

ELEVATIONS

CLIENT:
AMY DUTTON HOME
BARBORG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
AMY DUTTON HOME
9 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.337.2020

DATE:
4/8/2024

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-9



EXISTING SOUTH ELEVATION | FRONT VIEW

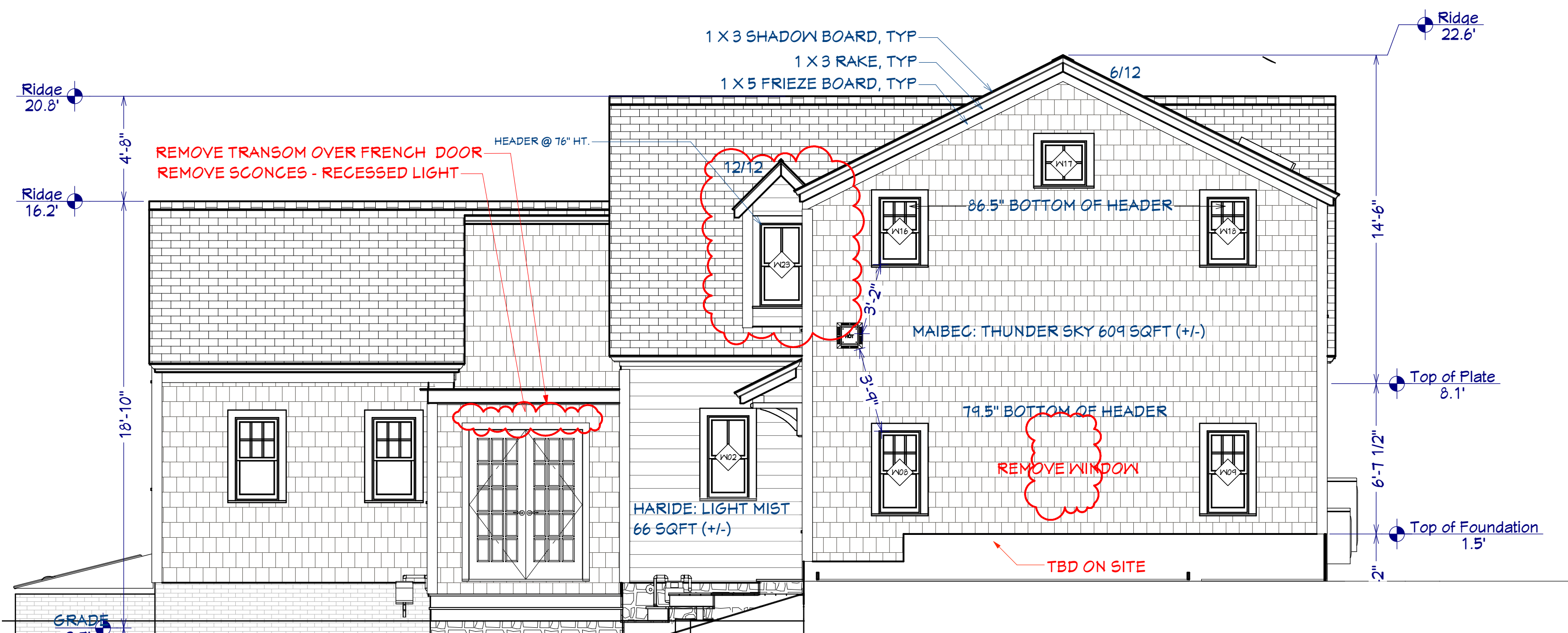
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EXISTING DORMER



INSPO DORMER



VERSION 7: CAPE WITH COLONIAL ADDITION (FRONT)

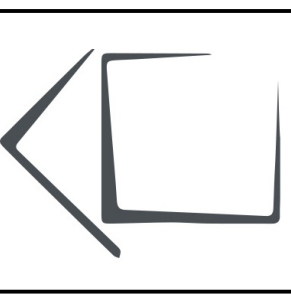
SCALE: 1/4" = 1'-0"

PROPOSED EAST ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"



PROPOSED DORMER



Revision Table	
Number	Description

ELEVATIONS

CLIENT:
 BARDONG
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 AMY DUTTON HOME
 9 WALKER STREET | KITTERY, ME
 amy@amyduttonhome.com
 207.337.2020

DATE:

4/8/2024

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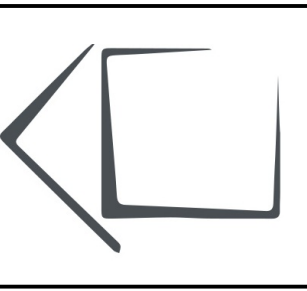
SCALED FOR: 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-10



Revision Table

Number	Date	Description

ELEVATIONS

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
AMY DUTTON HOME
9 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.337.2020

DATE:

4/8/2024

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-11



EXISTING FRONT HOUSE



PROPOSED DORMER



VERSION 7: CAPE WITH COLONIAL ADDITION (DORMER)

SCALE: 1/4" = 1'-0"

PROPOSED EAST ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

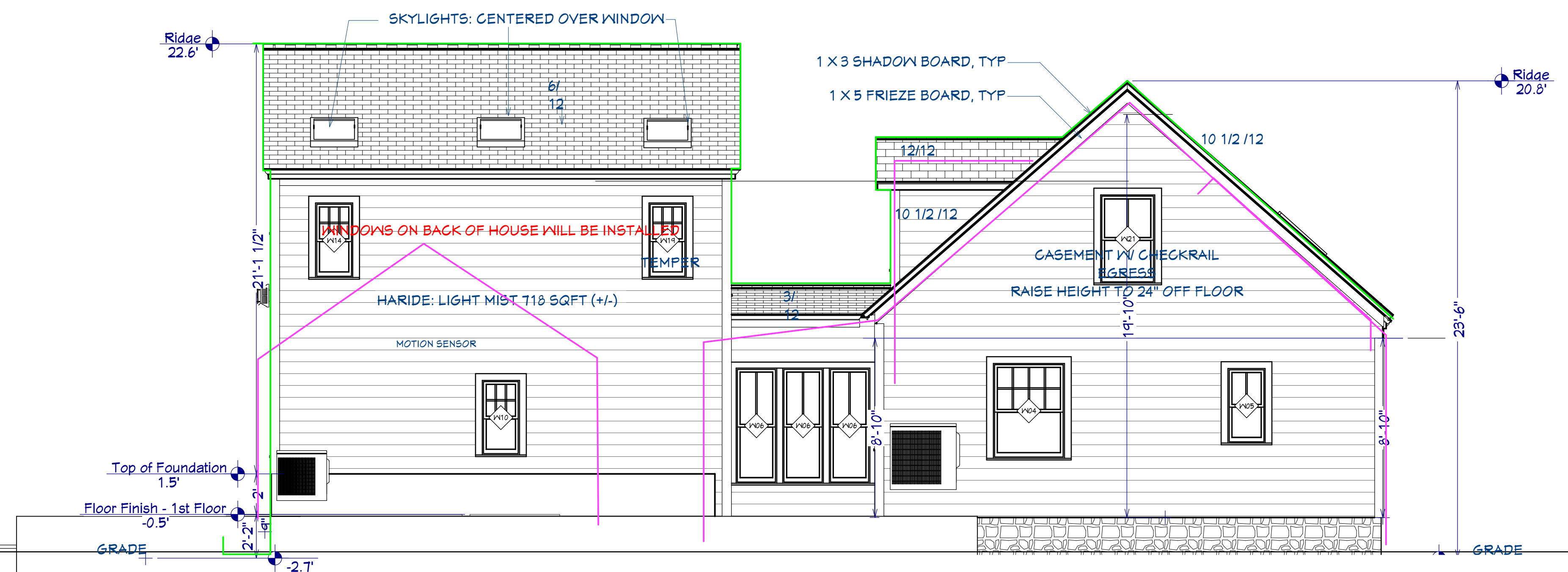
SCALE: 1/8" = 1'-0"

EXISTING PHOTOS



SOUTH SIDE VIEW

REAR VIEW



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"

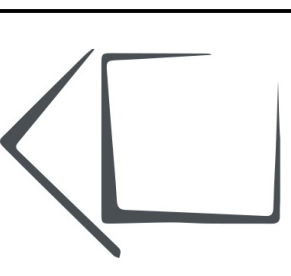


EXISTING BACK GRADE & FENCE

SCALE: NTS

LINE LEGEND

- = EXISTING
- = PROPOSED



Revision Table	
Number	Description

ELEVATIONS

CLIENT:
 BARDONG
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 AMY DUTTON HOME
 9 WALKER STREET | KITTERY, ME
 amy@amyduttonhome.com
 207.337.2020

DATE:

4/8/2024

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-12

PROPOSED NORTH ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"

2. 179 Pleasant Street -Recommended Approval

Background: The applicant is seeking approval for minor updates and approval for lighting, chimney caps, miscellaneous brackets and pergola updates.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

1

EXTERIOR LIGHTING

- Black lantern style fixtures are proposed at exterior door locations as shown on elevations.
- The fixtures are located on the flanking pilasters because the pilasters often also form the outside corner of an entry bump-out leaving no wall space available to locate them on plinth blocks.

2

BRICK CHIMNEY CAPS

- The existing black and white painted Brick Chimneys did not have chimney caps.
- A Bluestone slab supported by brick piers and painted black to match the existing chimney is proposed.

3

CANOPY BRACKETS

Canopy Brackets to replace previously approved Posts and Brackets.

- There is a significant **30'-0" wide Sewer Easement** along the West property line that will limit backfill opportunities within the easement area.
- Removal of the previously approved posts will help to open the path of circulation around the corner that abuts the easement.
- Solid wood Sapele (Mahogany) Brackets are proposed as a less obstructive option.
- The Stonemasons Inc., who are executing the stonework on the building, suggested a stone alternative to the original approved exterior door casing. A sample of a similar arch detail installed by them is shown for reference.
- In light of the stone casing, the exterior door finish is proposed to also be Sapele (Mahogany) to complement the brackets and stone.

4

PERGOLA

- Construction: Solid Post and Beam Sapele (Mahogany)
- Granite Post Base
- The Canopy Brackets will also be utilized in the Pergola Construction.

179 PLEASANT STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

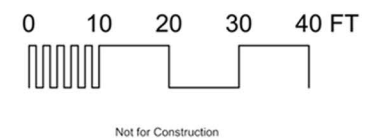
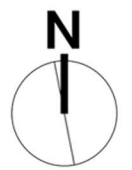
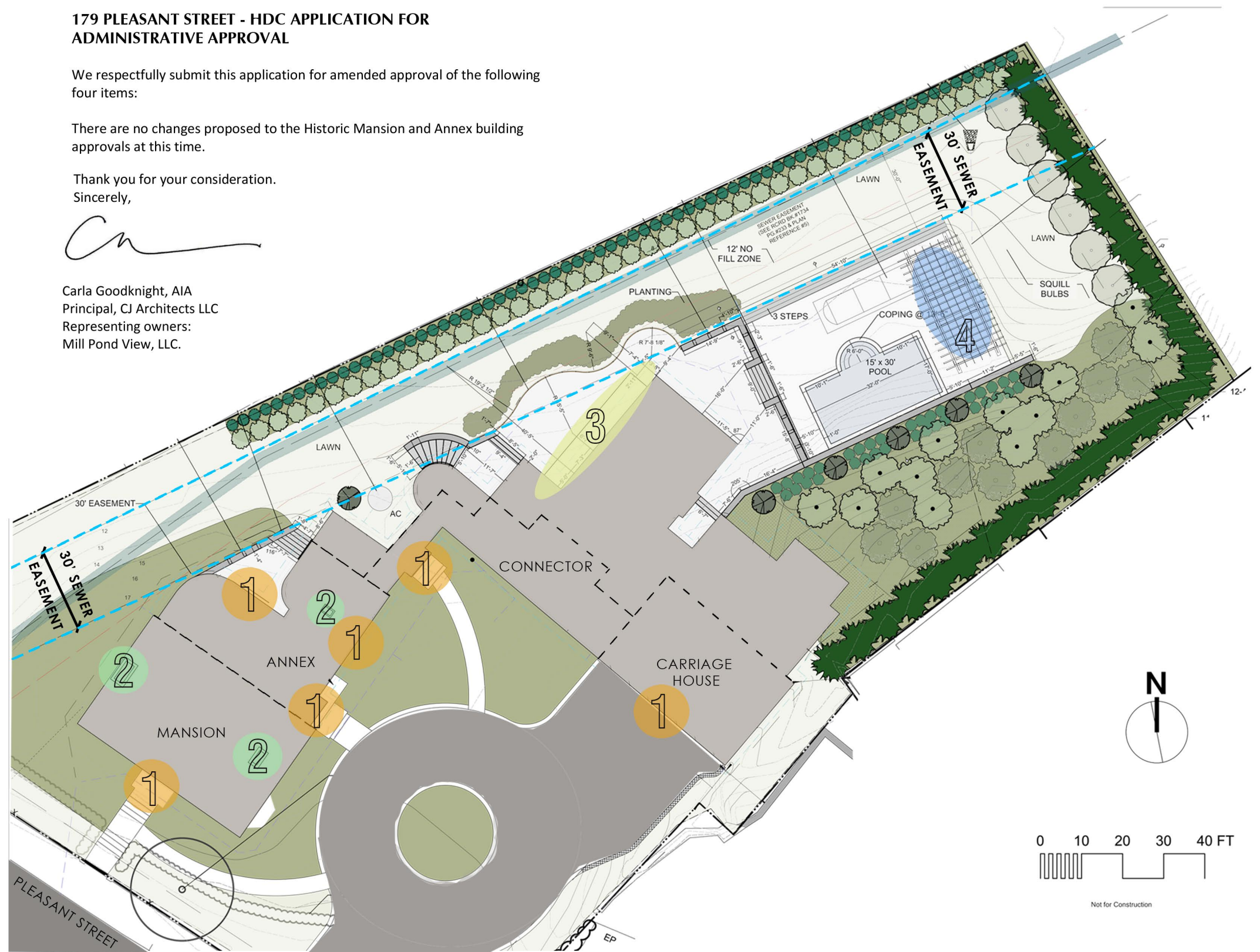
We respectfully submit this application for amended approval of the following four items:

There are no changes proposed to the Historic Mansion and Annex building approvals at this time.

Thank you for your consideration.
Sincerely,



Carla Goodknight, AIA
Principal, CJ Architects LLC
Representing owners:
Mill Pond View, LLC.



179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

AGENDA & KEY PLAN

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024





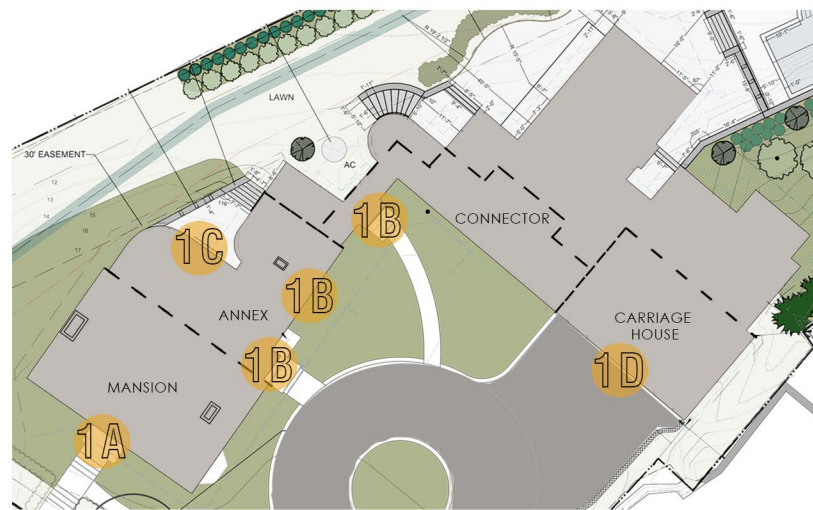
1A - PREVIOUSLY APPROVED WEST ELEVATION WITH PROPOSED LIGHT FIXTURE LOCATIONS



1B - PREVIOUSLY APPROVED SOUTH ELEVATION WITH PROPOSED LIGHT FIXTURE LOCATIONS



1C - PREVIOUSLY APPROVED EAST ELEVATION WITH PROPOSED LIGHT FIXTURE LOCATIONS



KEY PLAN



1D - PREVIOUSLY APPROVED ELEVATION WITH PROPOSED LIGHT FIXTURE LOCATIONS

- Black lantern style fixtures are proposed at exterior door locations as shown on elevations.
- The fixtures are located on the flanking pilasters because the pilasters often also form the outside corner of an entry bump-out leaving no wall space available to locate them on plinth blocks.



CO1444TXB: Large Bracket Wall Lantern

Dimensions:

Width:	9.62"	Collection:	Cupertino
Height:	25.62"	Finish:	Textured Black (TXB)
Extends:	11.375"		

1 EXTERIOR LIGHTING

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

EXTERIOR LIGHTING

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024



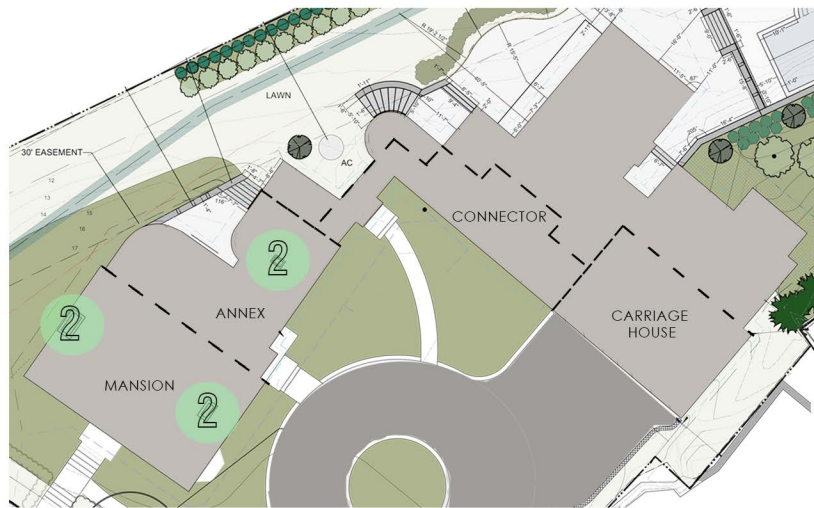
1.0



TYPICAL MANSION & ANNEX CHIMNEY



EXAMPLE OF PROPOSED SIMILIAR BRICK CHIMNEY CAP (171 WASHINGTON STREET)



KEY PLAN

- The existing black and white painted Brick Chimneys did not have chimney caps.
- A Bluestone slab supported by brick piers and painted black to match the existing chimney is proposed.

2 BRICK CHIMNEY CAPS

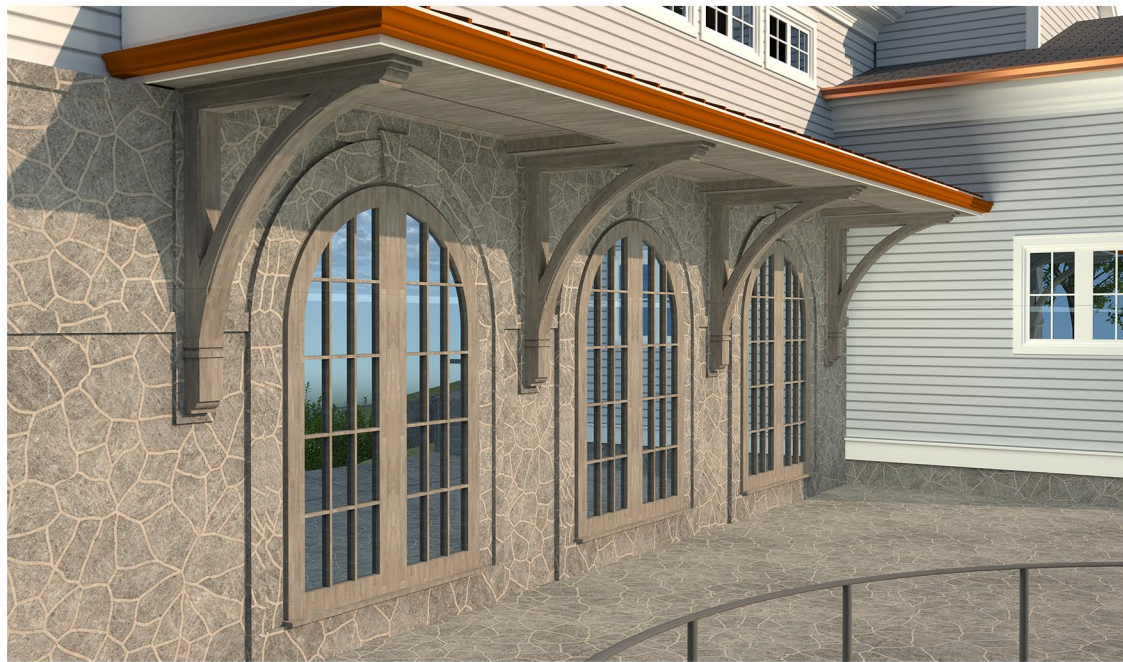
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

BRICK CHIMNEY CAPS

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024

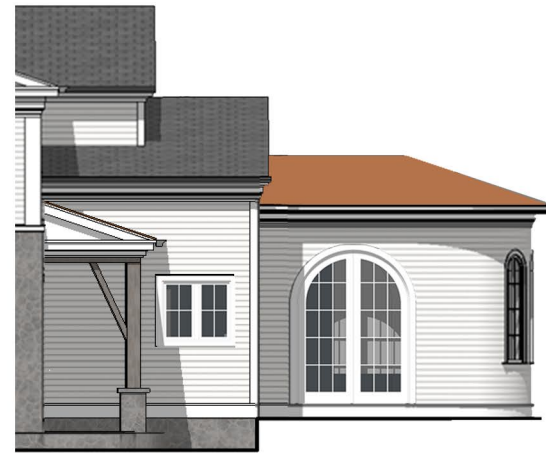


2.0



PROPOSED VIEW

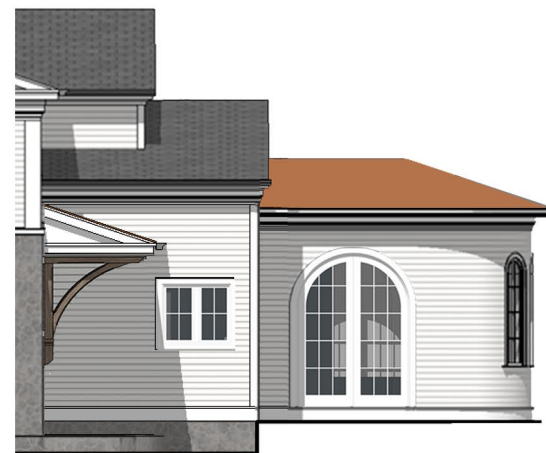
- There is a significant **30'-0" wide Sewer Easement** along the West property line that will limit backfill opportunities within the easement area.
- Removal of the previously approved posts will help to open the path of circulation around the corner that abuts the easement.
- Solid wood Sapele (Mahogany) Brackets are proposed as a less obstructive option.
- The Stonemasons Inc., who are executing the stonework on the building, suggested a stone alternative to the original approved exterior door casing. A sample of a similar arch detail installed by them is shown for reference.
- In light of the stone casing, the exterior door finish is proposed to also be Sapele (Mahogany) to complement the brackets and stone.



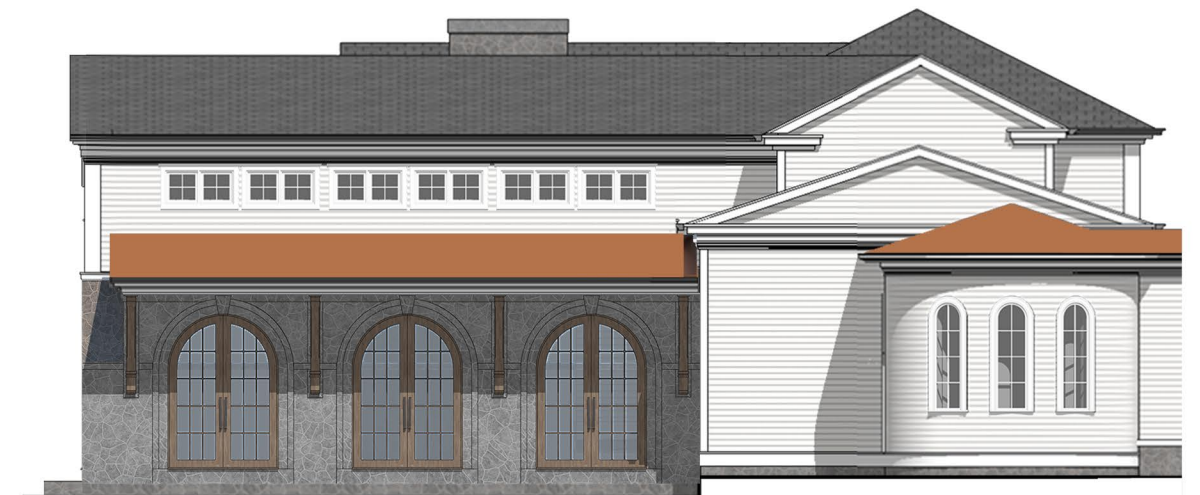
APPROVED REAR ELEVATION (7/12/23)



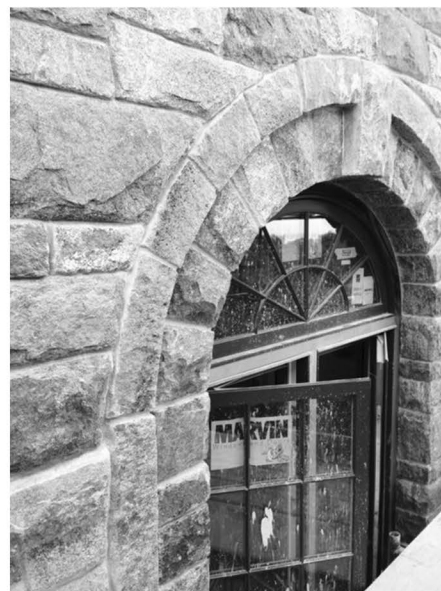
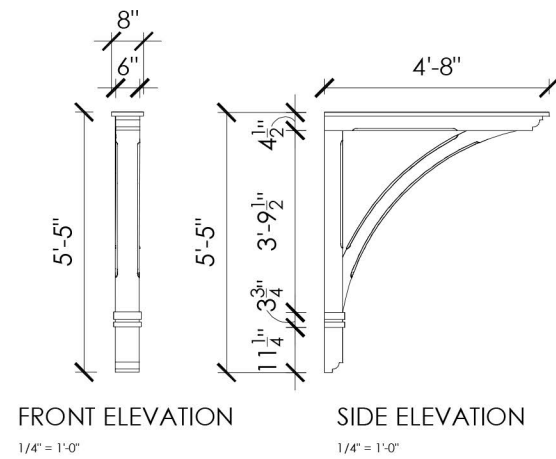
APPROVED SIDE ELEVATION (7/12/23)



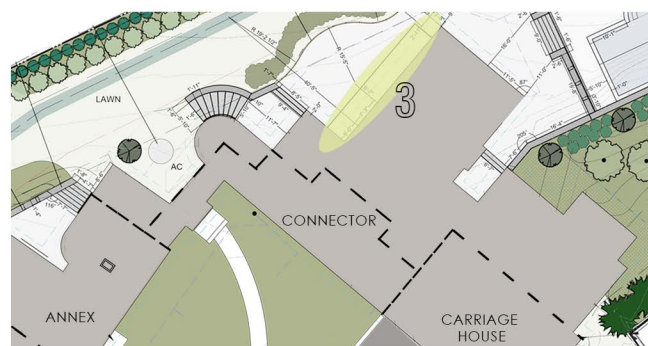
PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION



STONE ARCH DETAIL



3 CANOPY BRACKETS

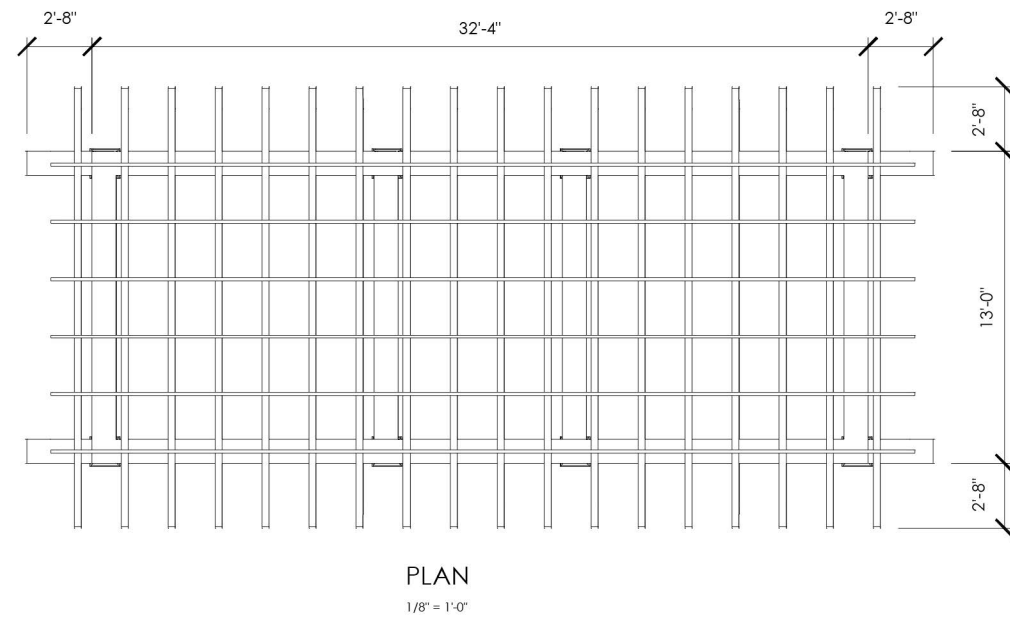
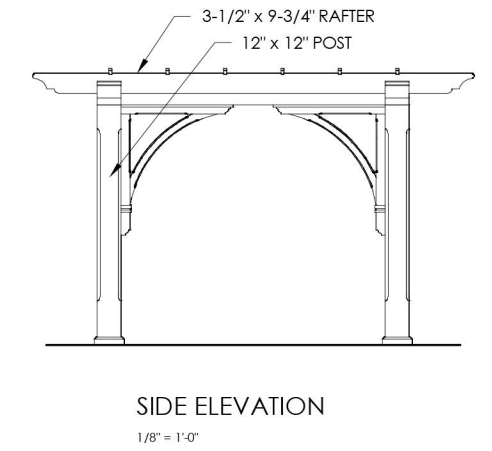
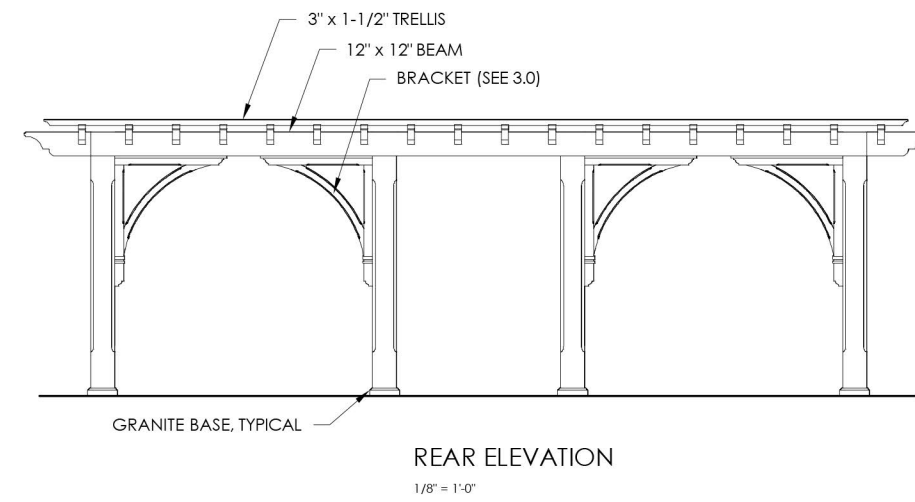
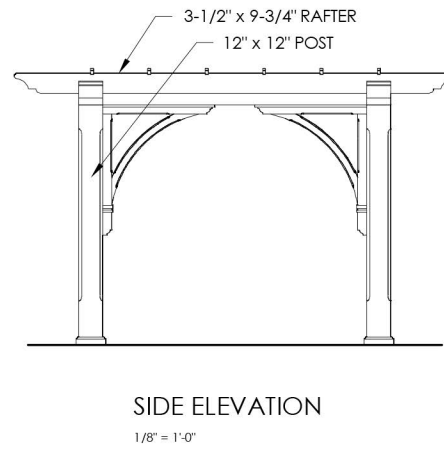
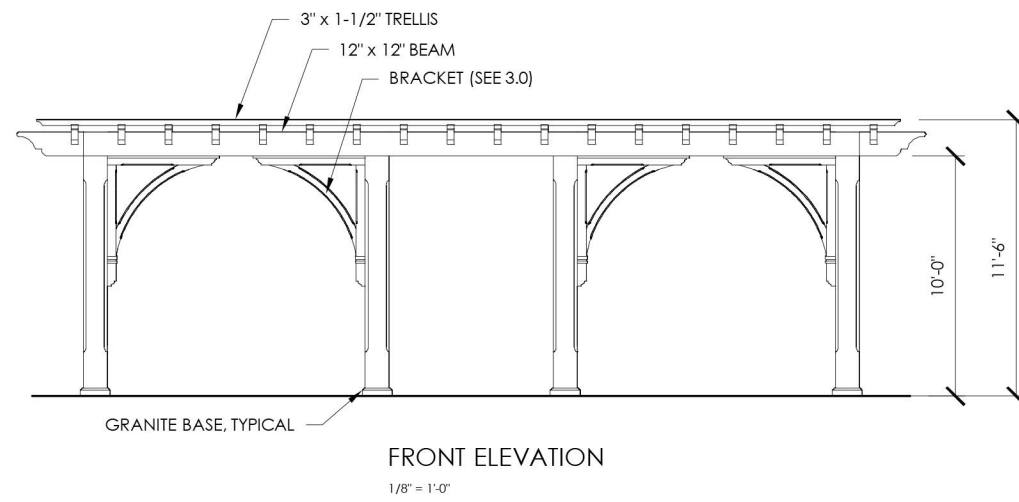
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

CANOPY BRACKETS

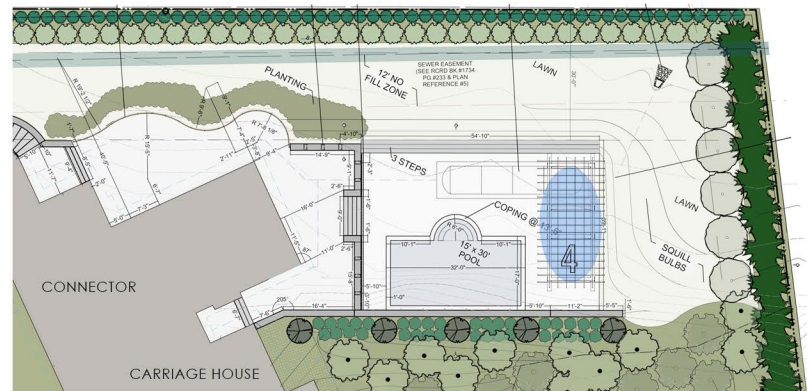
HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024



3.0



- Construction: Solid Post and Beam Sapele (Mahogany)
- Granite Post Base
- The Canopy Brackets will also be utilized in the Pergola Construction.



KEY PLAN



PROPOSED VIEW

4 PERGOLA

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PERGOLA

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024



4.0

3. 3 Pleasant Street -Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved awning and bracket design.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

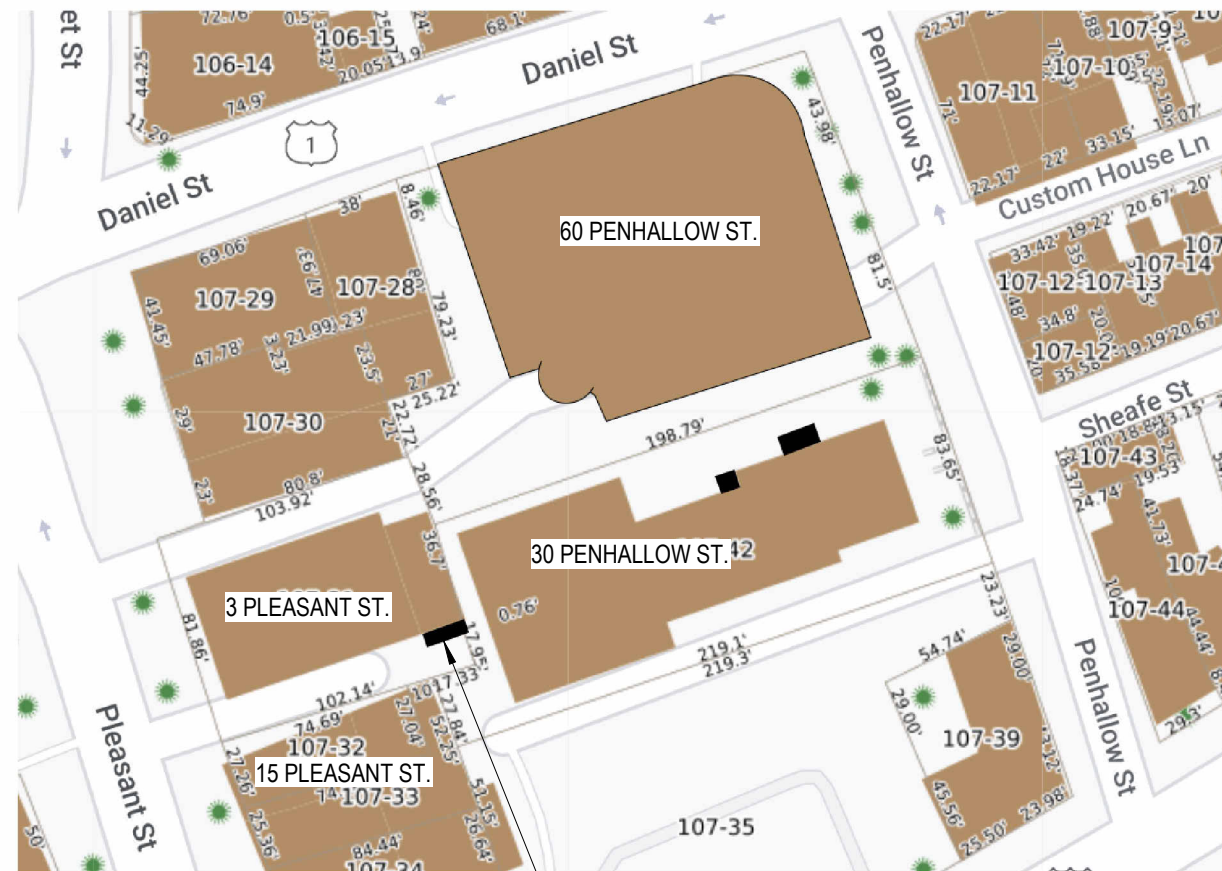
HDC.1

REVISIONS TO PREVIOUSLY APPROVED APPLICATION.

Revisions to the drawings since HDC approval: Steel joists added to support awning, steel columns added at exterior face of building wall to support awning brackets.



3 PLEASANT STREET

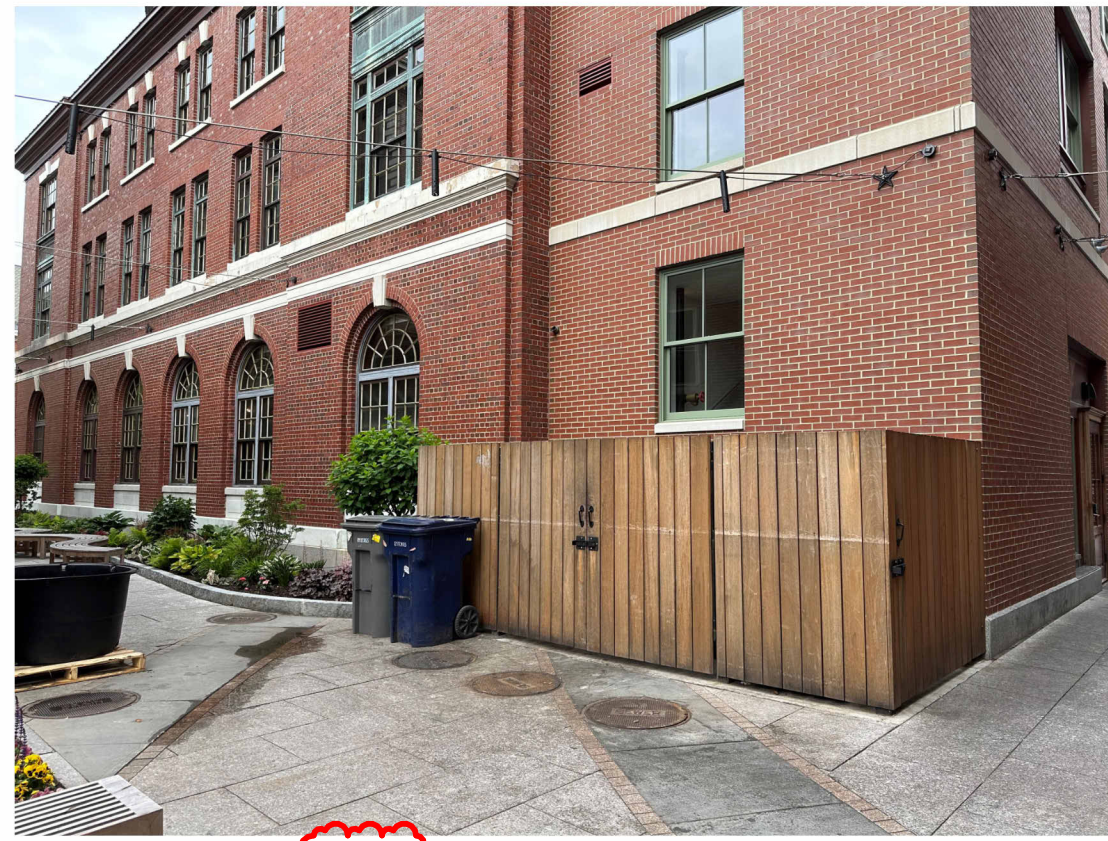
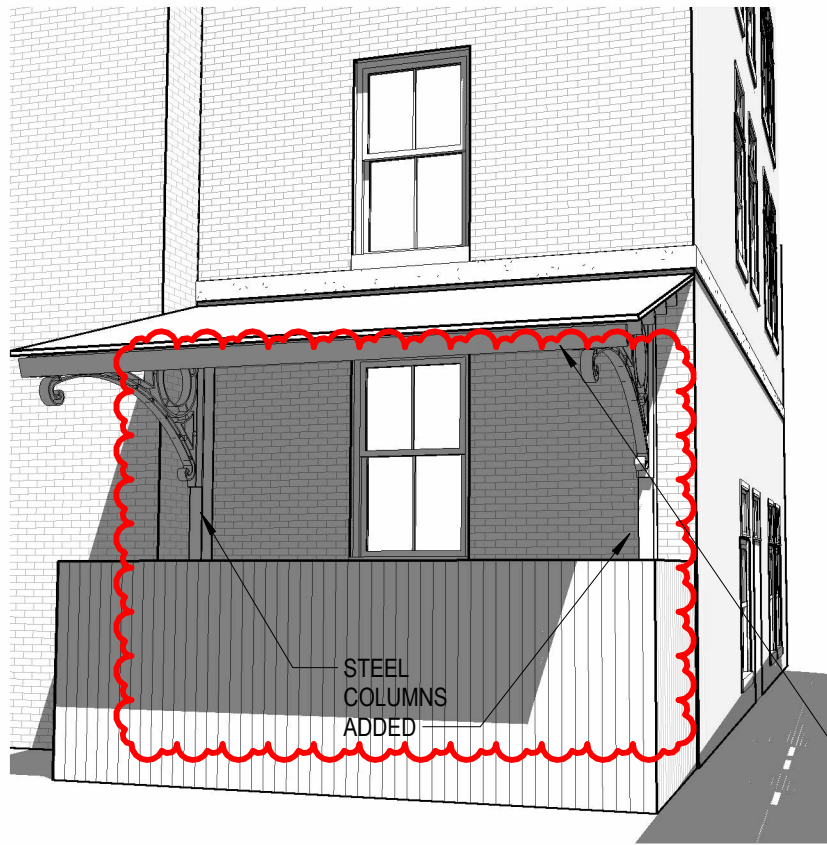


3 PLEASANT LOCATION OF WORK

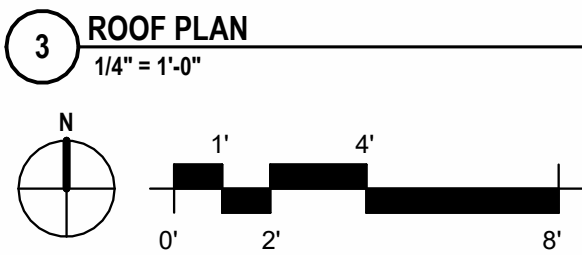
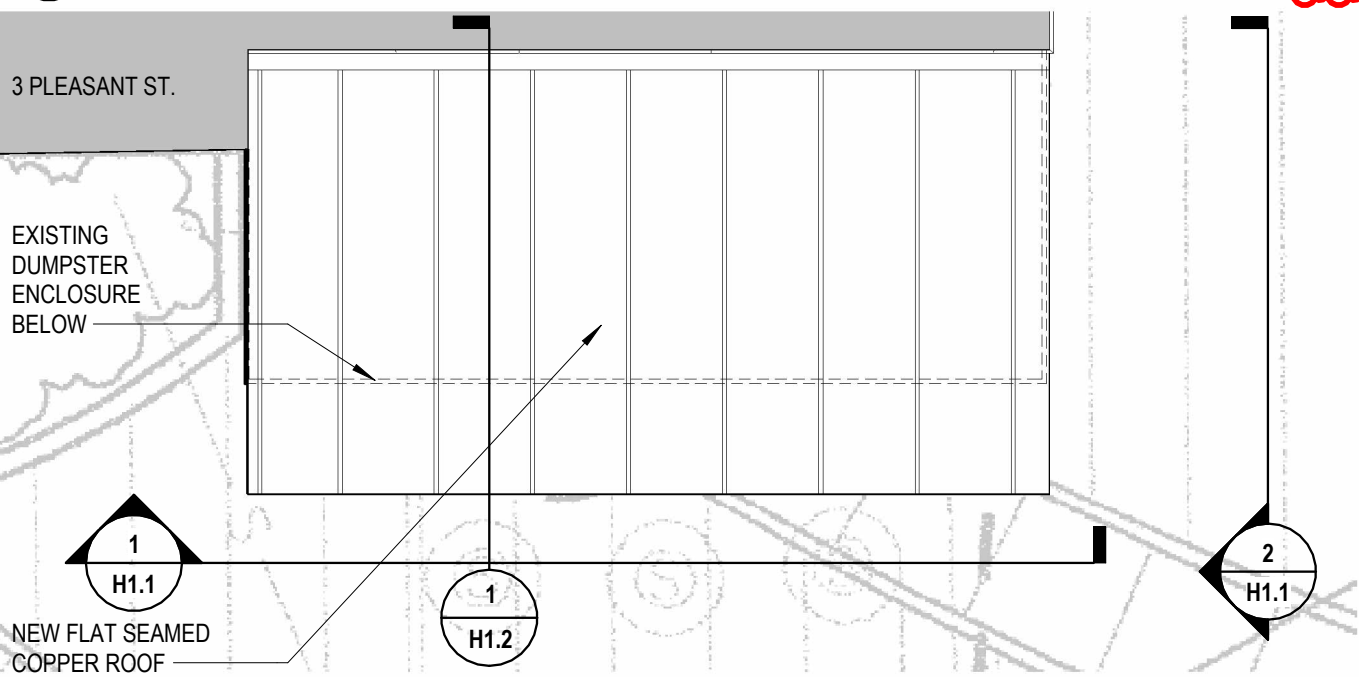


3 PLEASANT STREET

UTILITY AWNING ADDITION- REVISION 1
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING

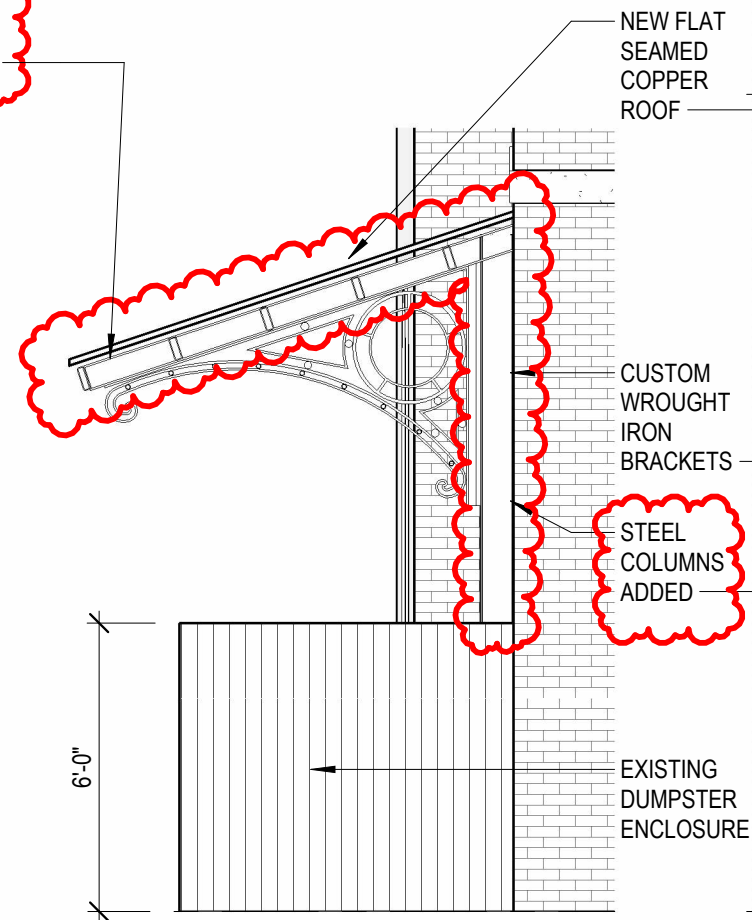


4 3D VIEW

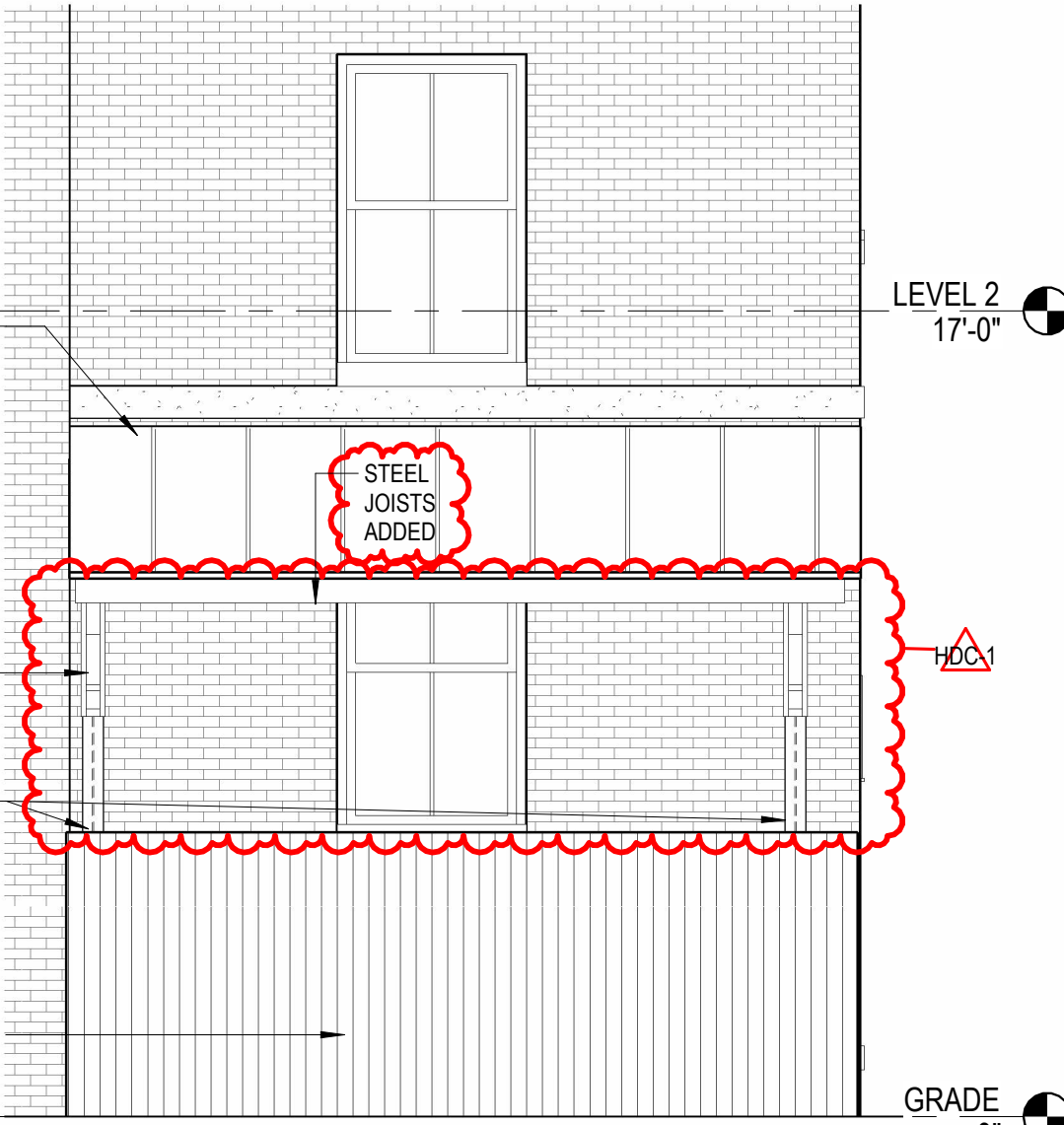


3 ROOF PLAN
1/4" = 1'-0"

STEEL JOISTS ADDED



2 EAST ELEVATION
1/4" = 1'-0"

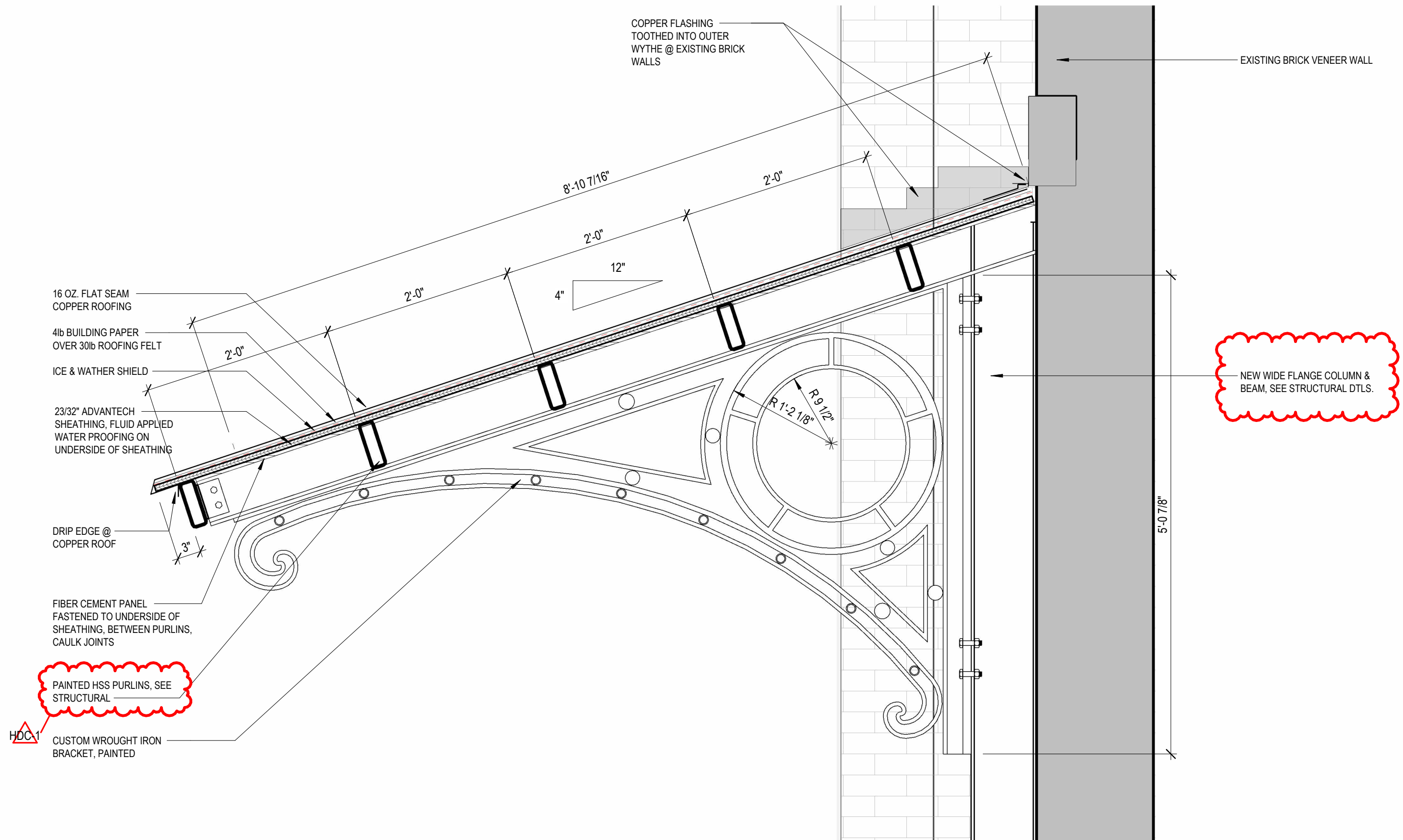


1 SOUTH ELEVATION
1/4" = 1'-0"

3 PLEASANT ST. PLANS, ELEVATIONS, & PHOTOS
AWNINGS

H1.1

REVISED 04/12/2024
PROJECT NO:1025



1 3 PLEASANT ST. - BRACKET DETAIL- HDC
1" = 1'-0"



3 PLEASANT ST. BRACKET DETAIL
AWNINGS

4. 30 Penhallow Street

-Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved awning and bracket design.

Staff Comment: Recommend Approval

Stipulations:

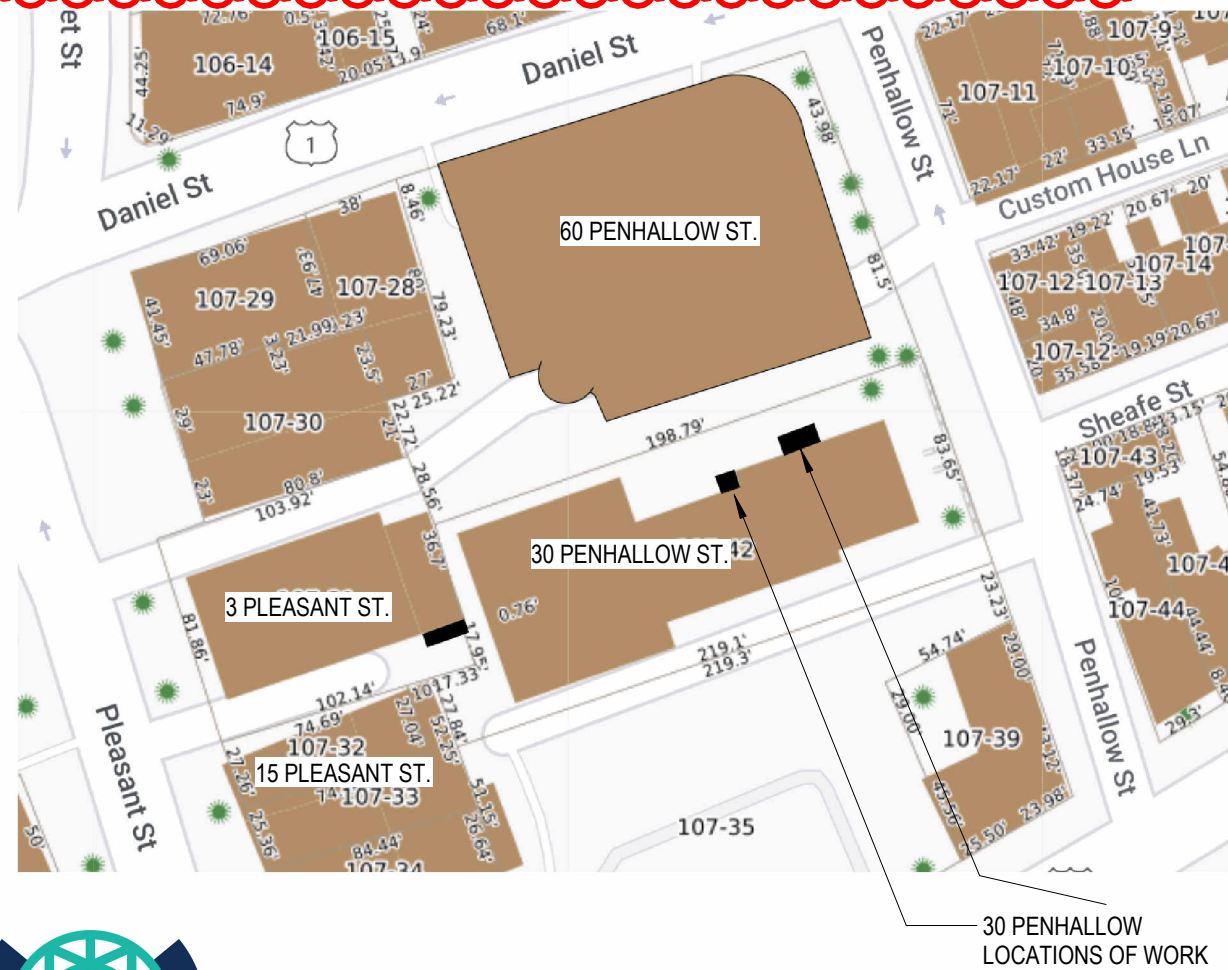
1. _____
2. _____
3. _____

HDC 1

REVISIONS TO PREVIOUSLY APPROVED APPLICATION.

Revisions to the design for awnings at 30 Penhallow since HDC approval:

- Steel joists added for structural support of glass
- Roof pitch of glass awning revised
- Bracket added for structural support to copper roof at corner
- Overall dimension of copper roof revised slightly

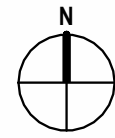
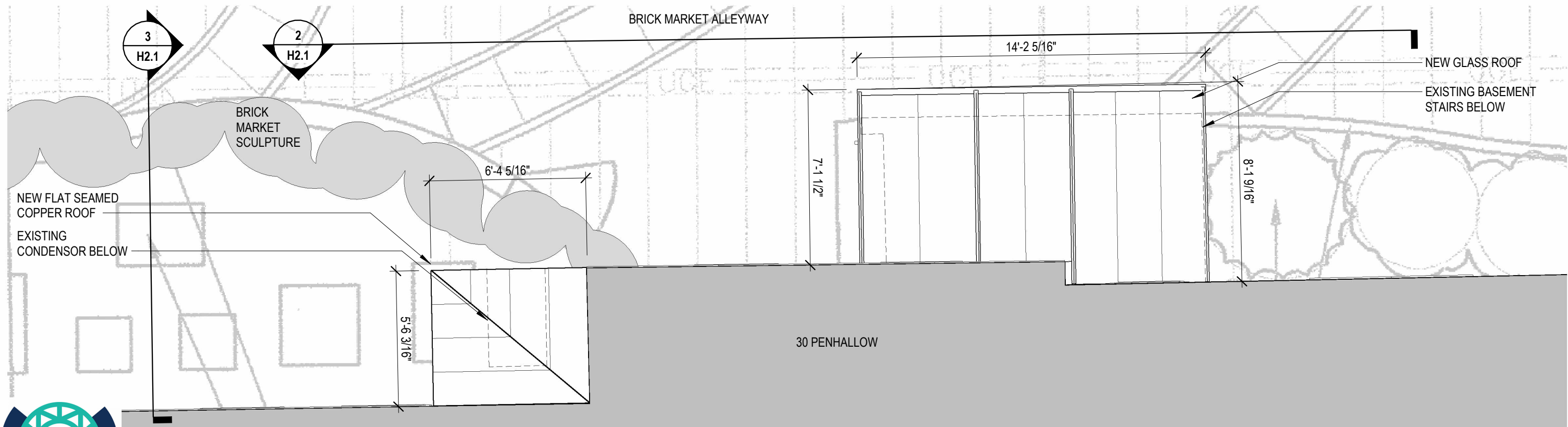
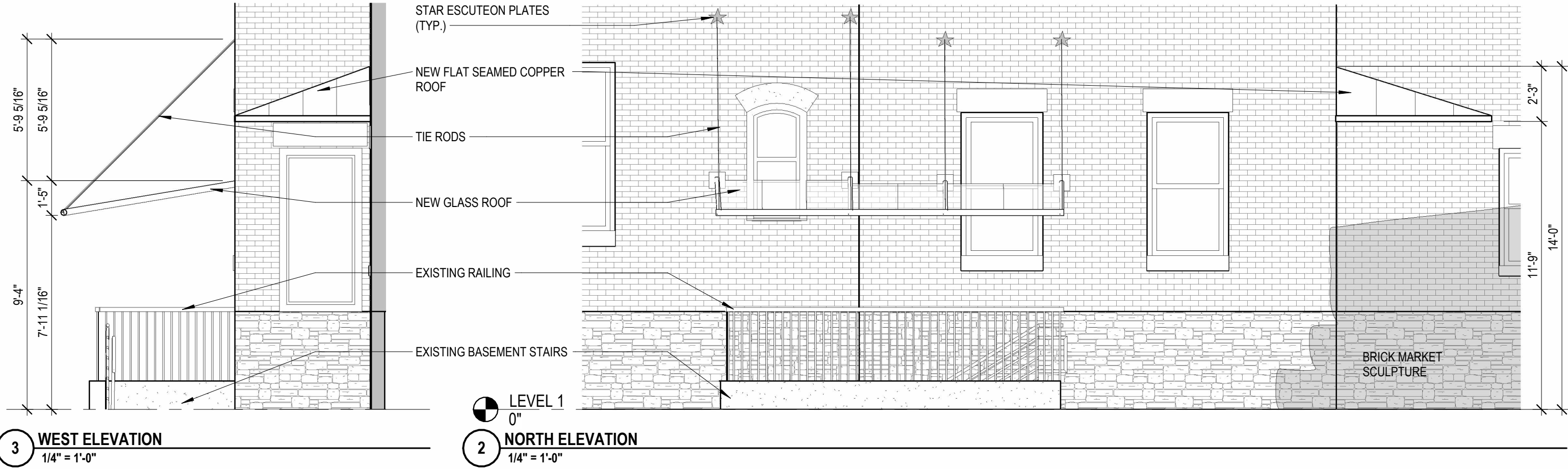


30 PENHALLOW STREET

30 PENHALLOW

UTILITY AWNING ADDITIONS- REVISION 1
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING





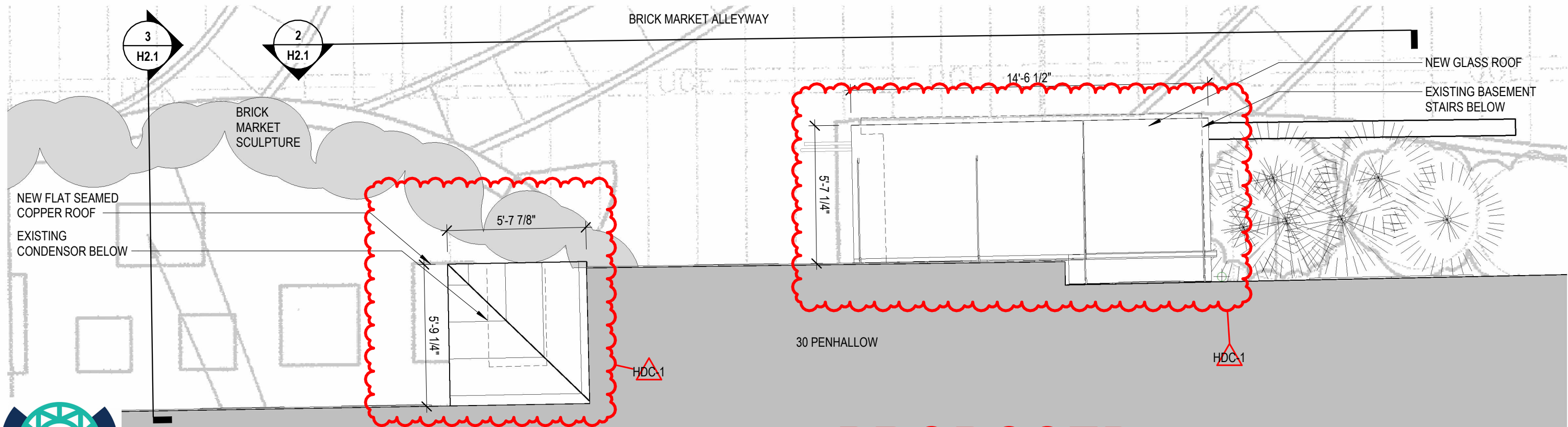
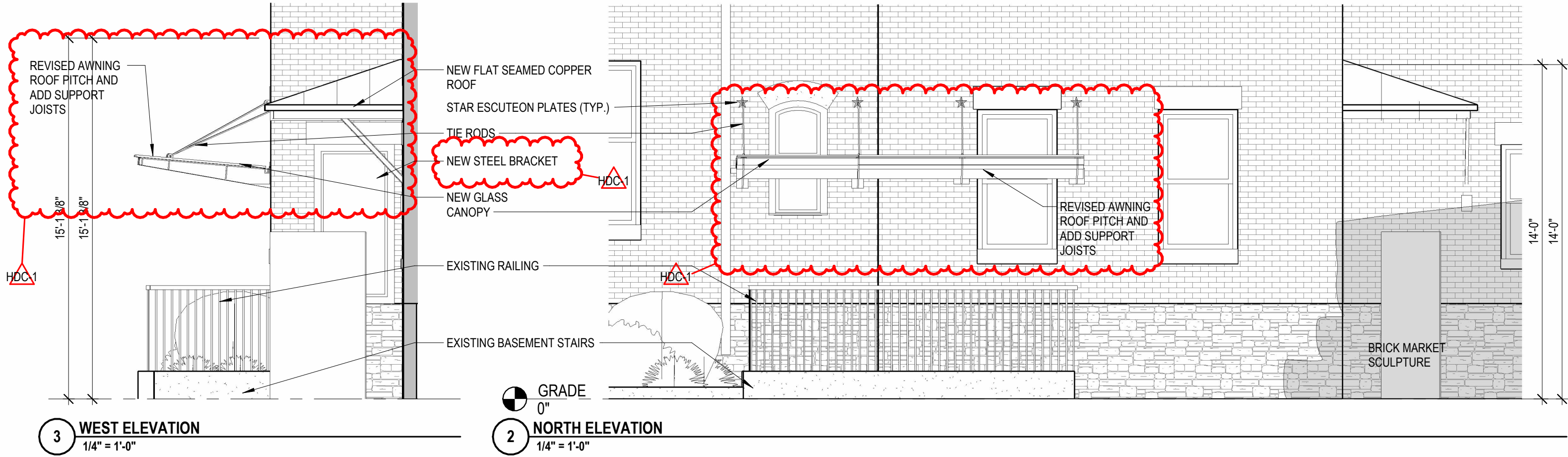
PREVIOUSLY APPROVED

30 PENHALLOW ST. PLANS & ELEVATIONS

30 PENHALLOW ST

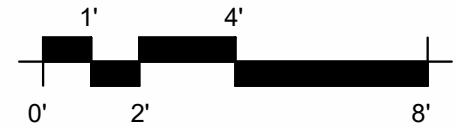
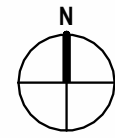
H2.1

08/17/2023
PROJECT NO:1025



1 ROOF PLAN
1/4" = 1'-0"

PROPOSED

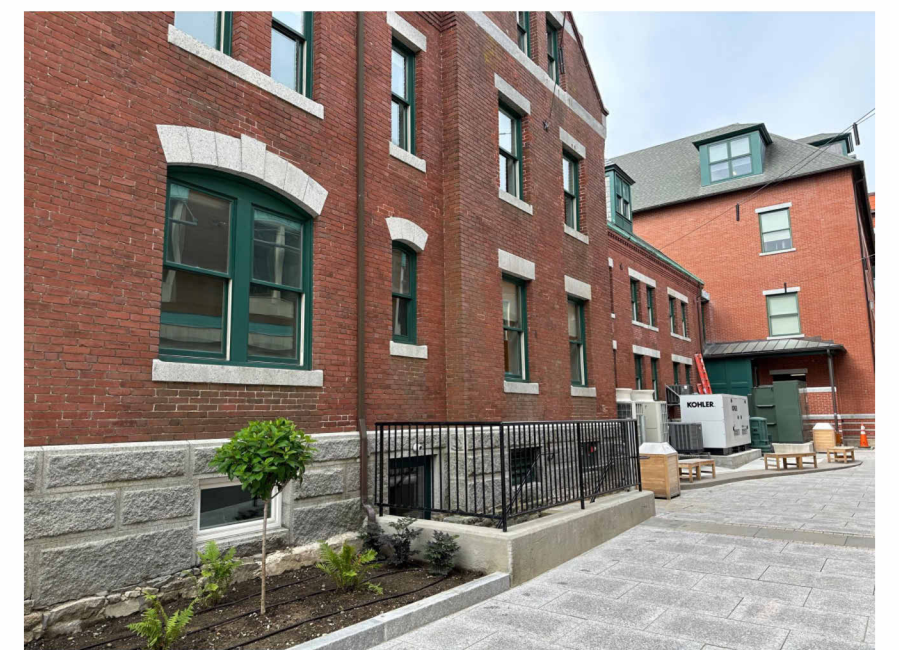




BRICK MARKET ALLEY LOOKING TOWARDS PENHALLOW ST.



EXISTING AWNINGS ACROSS ALLEY



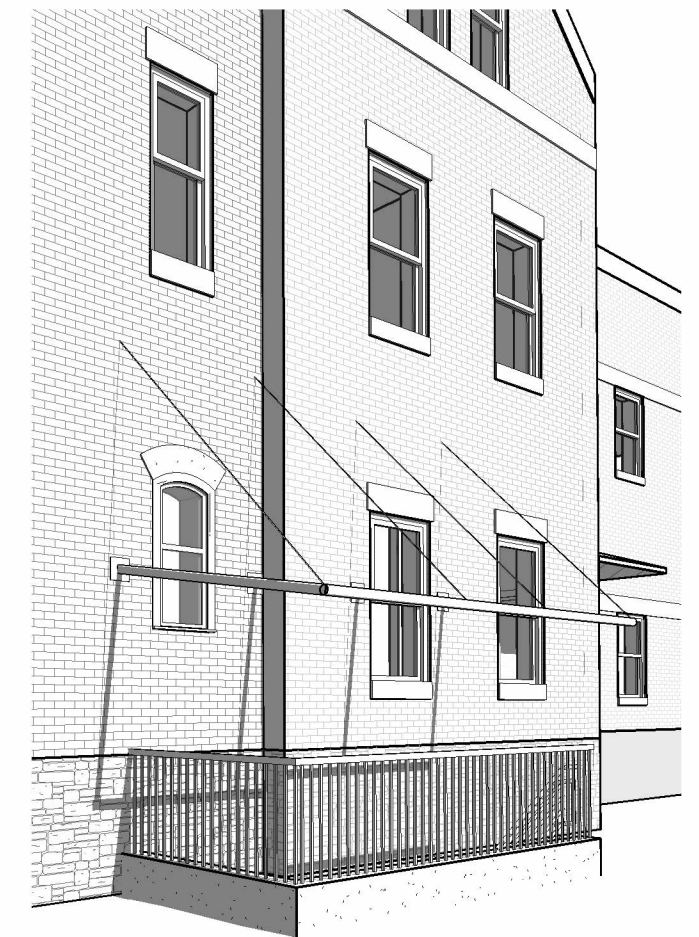
BRICK MARKET ALLEY LOOKING FROM PENHALLOW ST.



EXISTING COMPRESSOR TO BE COVERED



3D VIEW FROM BRICK MARKET ALLEY TOWARDS PENHALLOW ST.



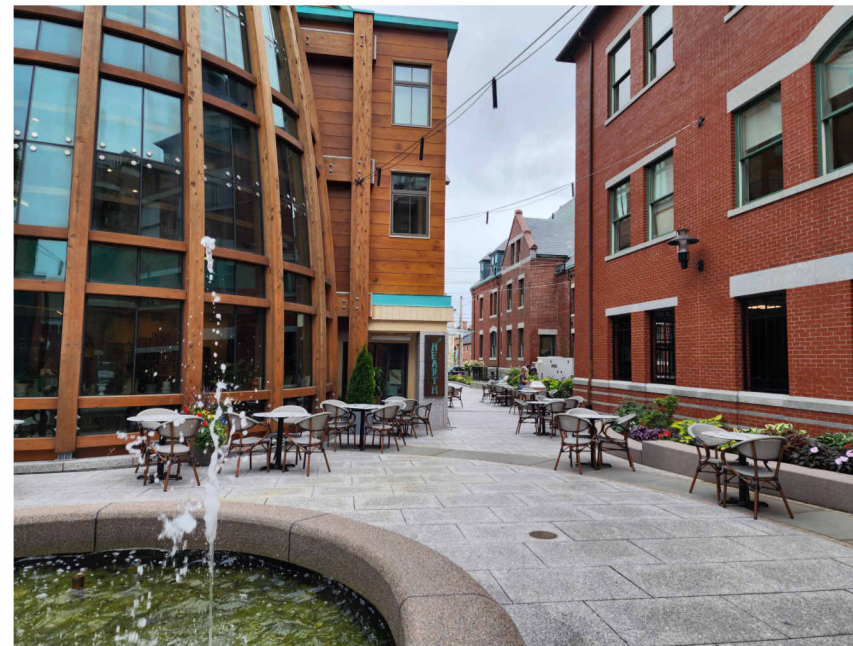
3D VIEW FROM BRICK MARKET ALLEY

PREVIOUSLY APPROVED

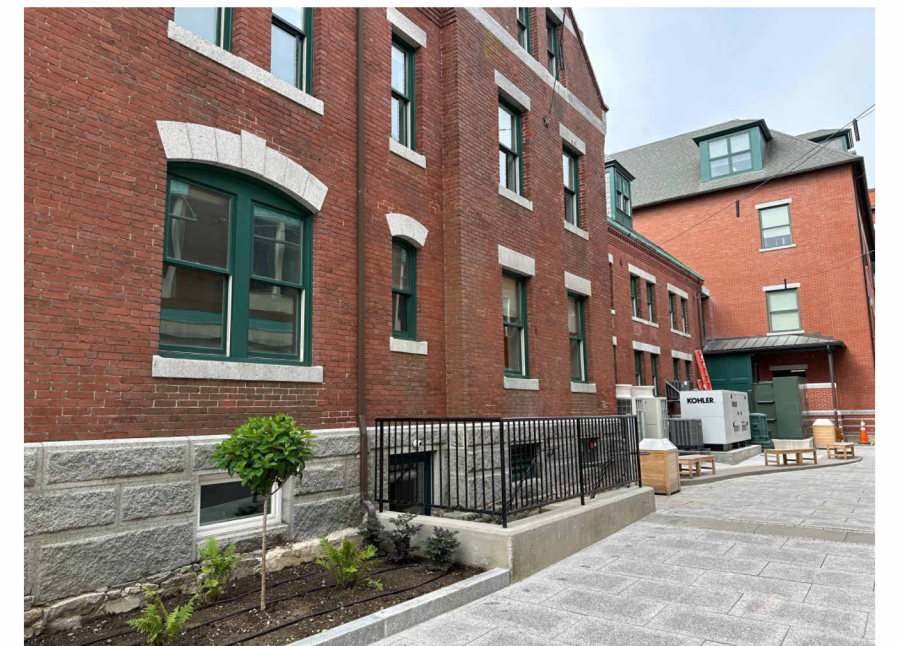




BRICK MARKET ALLEY LOOKING TOWARDS PENHALLOW ST.



BRICK MARKET COURTYARD



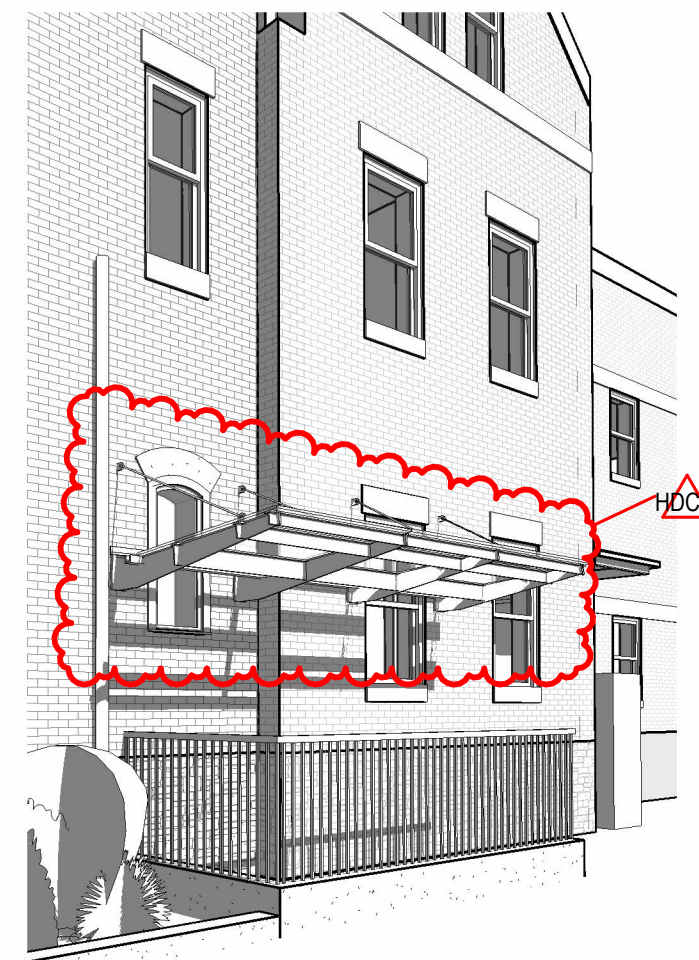
BRICK MARKET ALLEY LOOKING TOWARDS COURTYARD



EXISTING COMPRESSOR TO BE COVERED



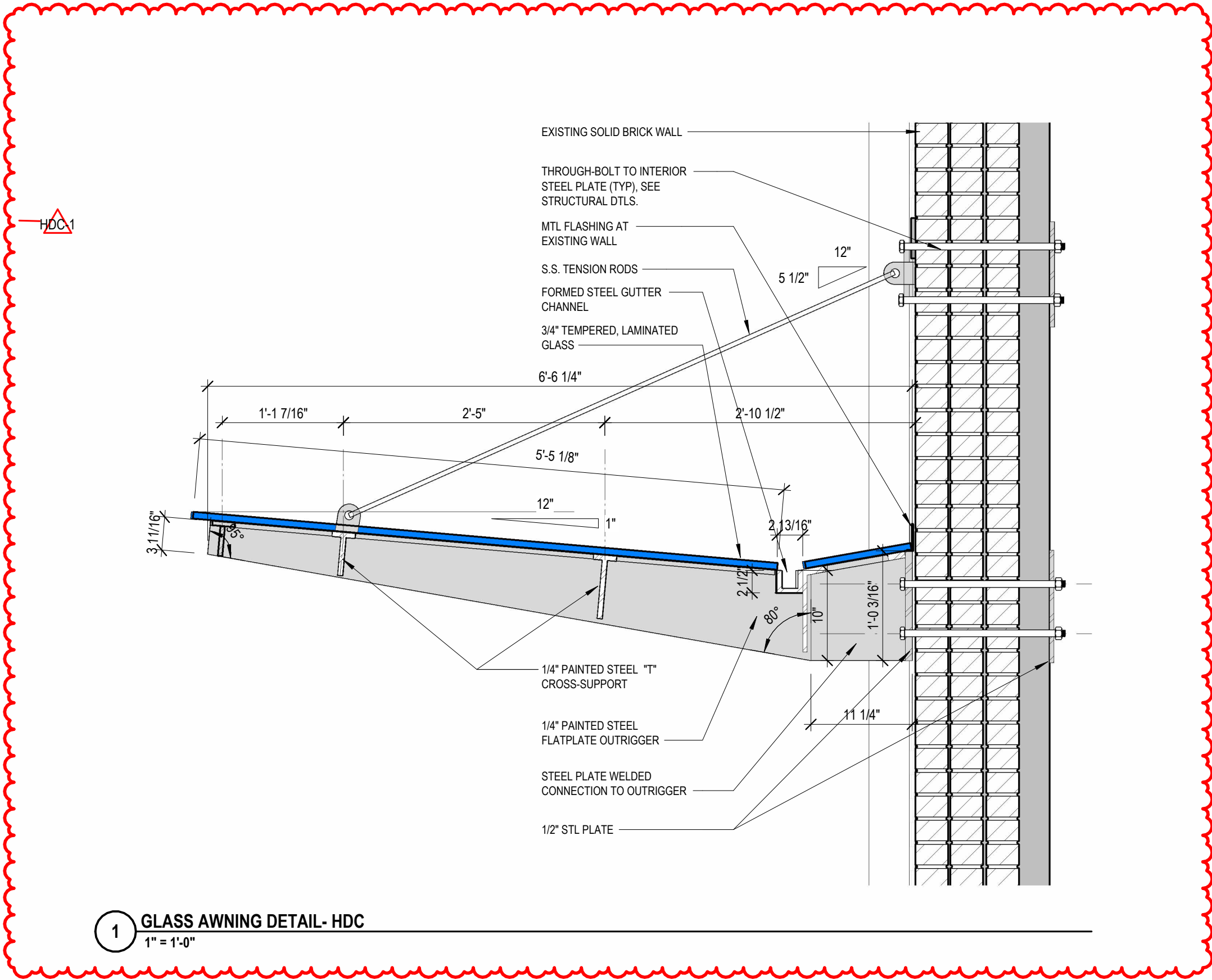
3D VIEW FROM BRICK MARKET ALLEY TOWARDS PENHALLOW ST.



3D VIEW FROM BRICK MARKET ALLEY

PROPOSED





1 GLASS AWNING DETAIL- HDC
1" = 1'-0"



5. 218 State Street

-Recommended Approval

Background: The applicant is seeking approval for the removal of (2) non-function exterior lights.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



6. 53 Green Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (changes to door and window locations, associated trim panels and decorative grills).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

53 GREEN STREET - HDC APPLICATION FOR AMENDED APPROVAL

We respectfully submit this Application for Amended Approval for the construction of a new Mixed-Use building located at 53 Green Street.

Summary:

- There are no changes to the approved materials proposed at this time.
- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.
- The decorative grill panels on the water side of the building have been separated into an upper and lower panel to accommodate floor systems.

Thank you for your consideration.
Sincerely,



Carla Goodknight, AIA
Principal, CJ Architects

Representing:
Jeff Johnston, Owner

Table Of Contents:

- 1.0: Market Street View
- 1.2: Russell Street View
- 1.2: Green Street View
- 1.3: View from AC Hotel
- 1.4: View from the Park

A 200 Series – Scaled Elevations, Previously Approved & Proposed for comparison.



PREVIOUSLY APPROVED MARKET STREET VIEW (7/7/2021)



PROPOSED MARKET STREET VIEW

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW

HDC ADMINISTRATIVE APPLICATION TO AMENDED PREVIOUS APPROVAL: MAY 1, 2024

 CATHARTES
EMBARC



1.0

Summary:

- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.
- The decorative grill panels on the water side of the building have been separated into an upper and lower panel to accommodate floor systems.



PREVIOUSLY APPROVED RUSSELL STREET VIEW (7/7/2021)



PROPOSED RUSSELL STREET VIEW

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

RUSSELL STREET VIEW

HDC ADMINISTRATIVE APPLICATION TO AMENDED PREVIOUS APPROVAL: MAY 1, 2024

 **CATHARTES**
EMBARC



1.1

Summary:

- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.



PREVIOUSLY APPROVED GREEN STREET VIEW (7/7/2021)



PROPOSED GREEN STREET VIEW

Summary:

- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.
- The decorative grill panels on the water side of the building have been separated into an upper and lower panel to accommodate floor systems.



PREVIOUSLY APPROVED VIEW FROM AC HOTEL (7/7/2021)



PROPOSED VIEW FROM AC HOTEL

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM AC HOTEL

HDC ADMINISTRATIVE APPLICATION TO AMENDED PREVIOUS APPROVAL: MAY 1, 2024

 **CATHARTES**
EMBARC



Summary:

- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.
- The decorative grill panels on the water side of the building have been separated into an upper and lower panel to accommodate floor systems.



PREVIOUSLY APPROVED VIEW FROM THE PARK(7/7/2021)



PROPOSED VIEW FROM THE PARK

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM THE PARK

HDC ADMINISTRATIVE APPLICATION TO AMENDED PREVIOUS APPROVAL: MAY 1, 2024

 **CATHARTES**
EMBARC



PREVIOUSLY APPROVED



1 SOUTH (GREEN STREET) ELEVATION - PART A
1/8" = 1'-0"

PROPOSED



1 SOUTH (GREEN STREET) ELEVATION - PART A
1/8" = 1'-0"

ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER
TIGHE & BONDE

177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER
H+O STRUCTURAL ENG.

100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING NUMBER

A 201

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ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER

TIGHE & BONDE
177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER

H+O STRUCTURAL ENG.
100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3345

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING NUMBER

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ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER
TIGHE & BONDE
177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER
H+O STRUCTURAL ENG.

100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

BUILDING ELEVATIONS

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ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER
TIGHE & BONDE

177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER
H+O STRUCTURAL ENG.

100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING NUMBER

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ARCHITECT
EMBARC
60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com



ARCHITECT
233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER
CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS
CIVIL ENGINEER
TIGHE & BONDE
177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER
H+O STRUCTURAL ENG.
100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH
DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION
ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE
BUILDING ELEVATIONS

DRAWING NUMBER
A 203

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PREVIOUSLY APPROVED



1 WEST ELEVATION - PART B
1/8" = 1'-0"

PROPOSED



1 WEST ELEVATION - PART B
1/8" = 1'-0"

ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER
TIGHE & BONDE
177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER

H+O STRUCTURAL ENG.
100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

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REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

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EMBARC

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BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER
TIGHE & BONDE

177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER
H+O STRUCTURAL ENG.

100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

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REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT

DATE: APRIL 5, 2024

PROJECT #: 20055

SCALE: 1/8" = 1'-0"

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**BUILDING
ELEVATIONS**

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ARCHITECT
EMBARC

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BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER

TIGHE & BONDE
177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER

H+O STRUCTURAL ENG.
100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

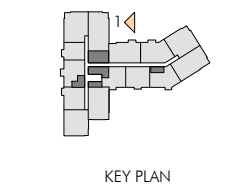
BUILDING ELEVATIONS

DRAWING NUMBER

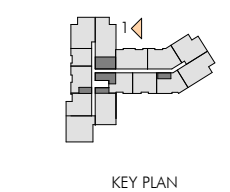
A 204.1

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ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER

TIGHE & BONDE
177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER

H+O STRUCTURAL ENG.
100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING NUMBER

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ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER
TIGHE & BONDE

177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER
H+O STRUCTURAL ENG.

100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

**BUILDING
ELEVATIONS**

DRAWING NUMBER

A 206

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ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

ARCHITECT



233 VAUGHAN ST
PORTSMOUTH, NH 03801
O: 603.431.2808
www.cjarchitects.net

OWNER

CATHARTES
225 FRANKLIN STREET, 26TH FLOOR
BOSTON, MA 02110
617.742.6000

CONSULTANTS

CIVIL ENGINEER
TIGHE & BONDE

177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603.433.8818

STRUCTURAL ENGINEER
H+O STRUCTURAL ENG.

100 SUMMER ST, SUITE 1600
BOSTON, MA 02110
617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: As Shown @ 1/8" = 1'-0"

DRAWING TITLE

**BUILDING
ELEVATION**

DRAWING NUMBER

A 207

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7. 46 Maplewood Avenue

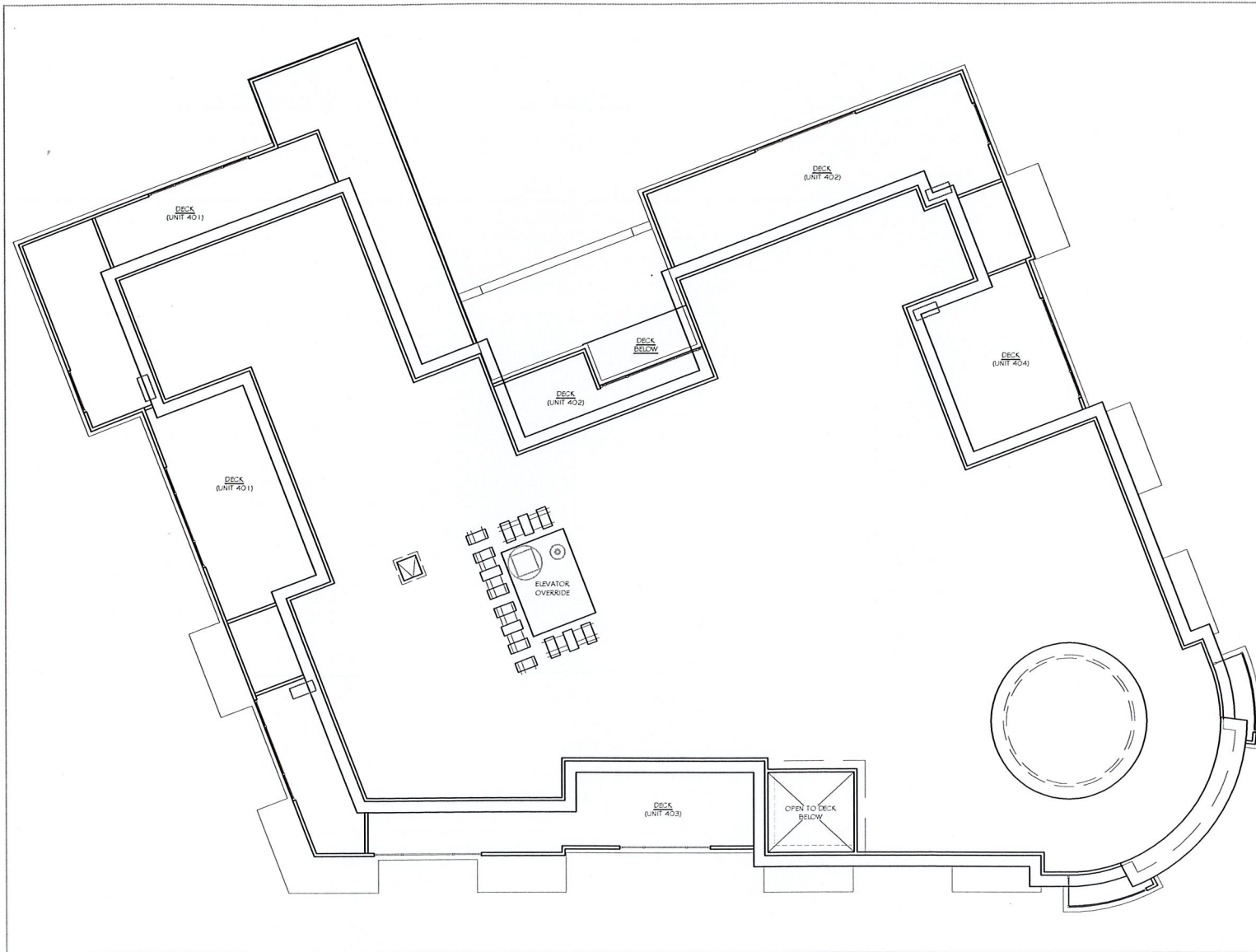
-Recommended Approval

Background: The applicant is seeking approval for the relocation of roof mounted HVAC equipment.

Staff Comment: Recommend Approval

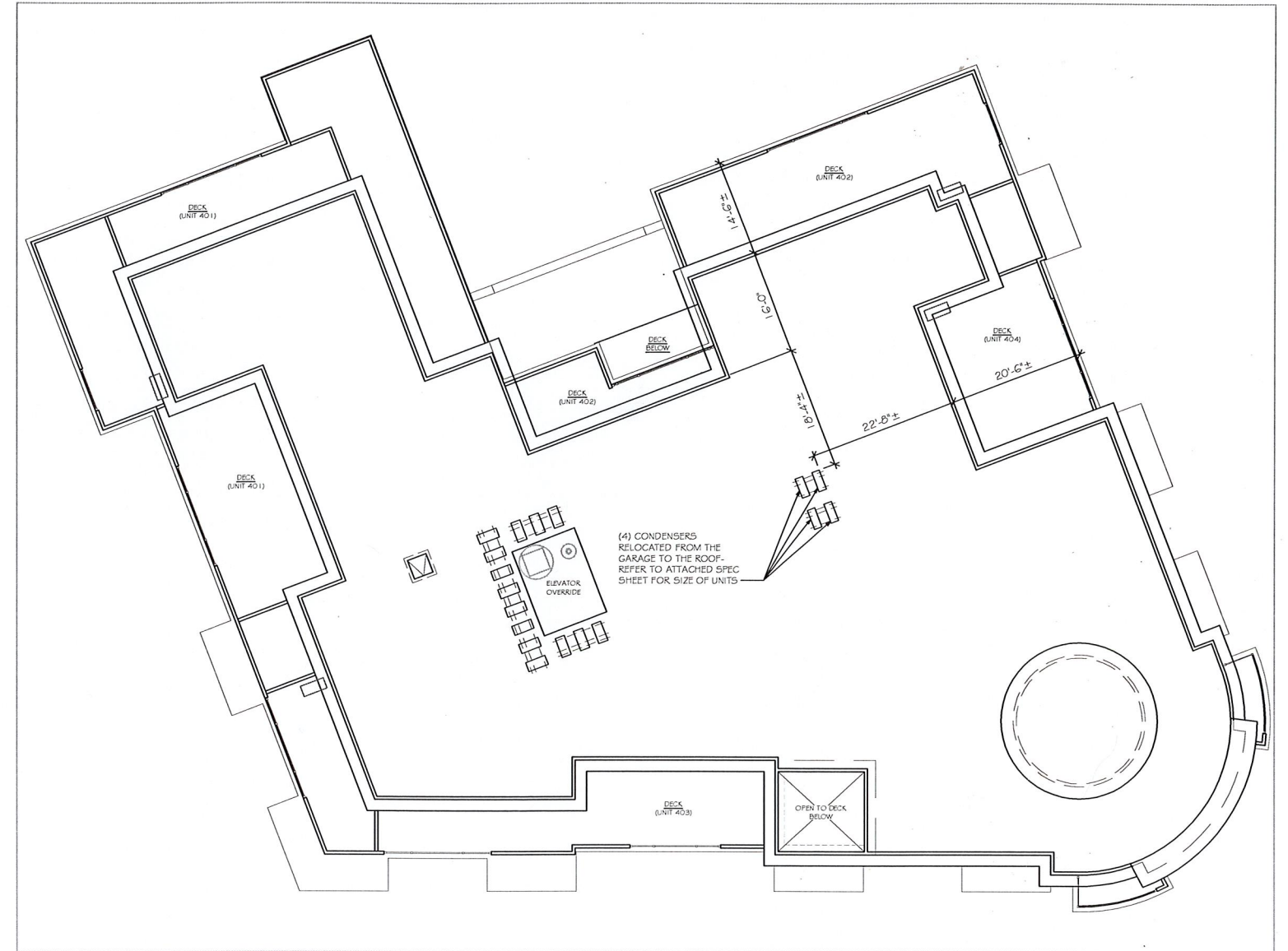
Stipulations:

1. _____
2. _____
3. _____



Previously Approved Roof Plan

SCALE: N.T.S.



Proposed Roof Plan

SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

5.1.24

SH. 1





Previously Approved Mapewood Avenue Elevation

SCALE: N.T.S.



Proposed Mapewood Avenue Elevation

SCALE: N.T.S.

46 Mapewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

5.1.24

SH. 2





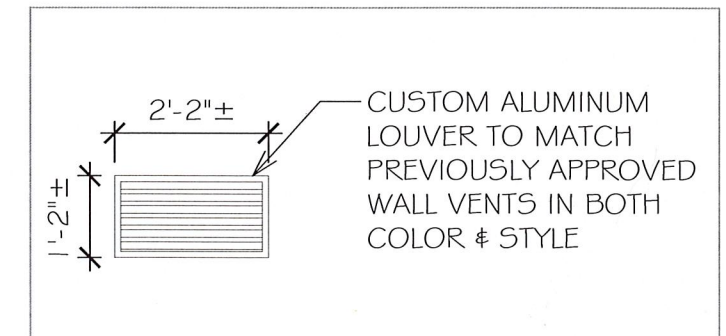
Previously Approved Deer Street Elevation

SCALE: N.T.S.



Proposed Deer Street Elevation

SCALE: N.T.S.



Louver Detail

SCALE: 3/8" = 1'-0"

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

5.1.24

SH. 3





Previously Approved Bridge Street Elevation

SCALE: N.T.S.



Proposed Bridge Street Elevation

SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

5.1.24

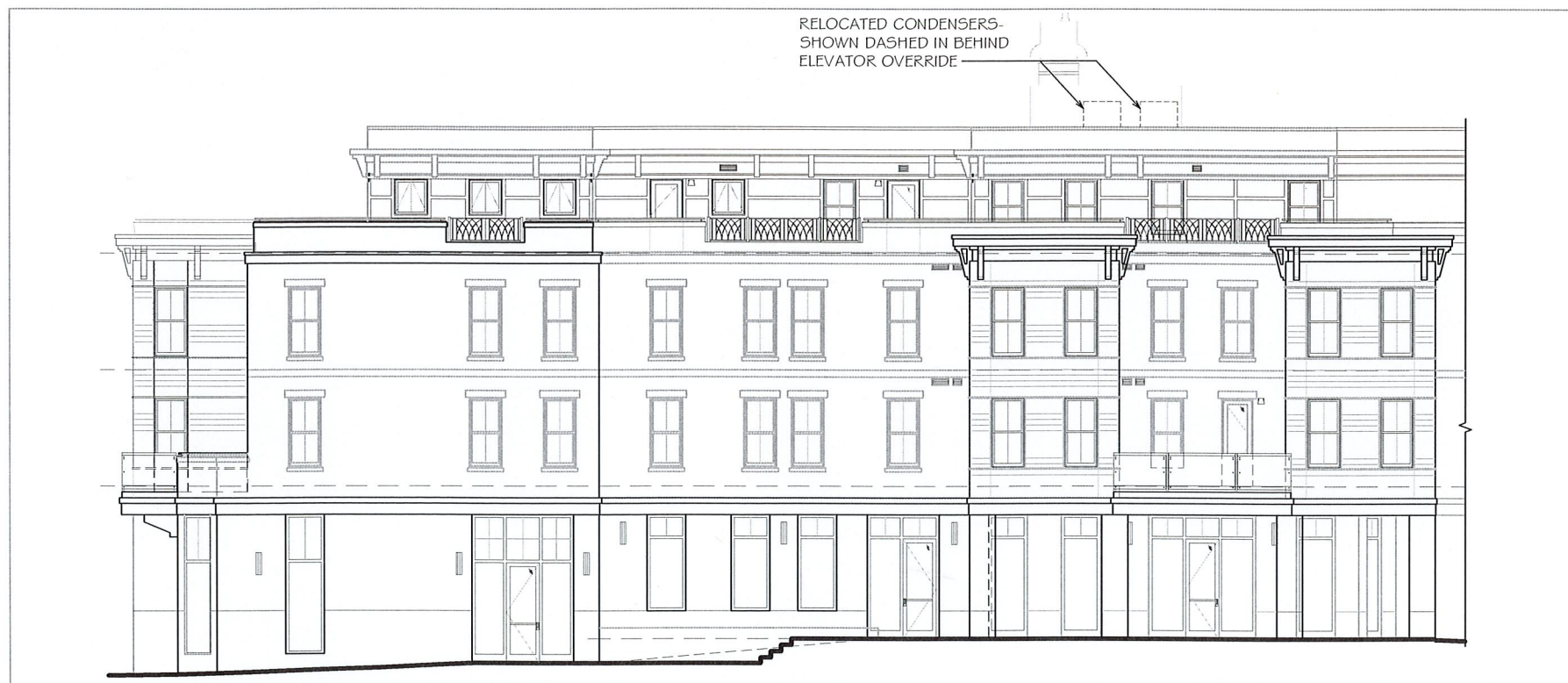
SH. 4





Previously Approved Pedestrian Way Elevation

SCALE: N.T.S.



Proposed Pedestrian Way Elevation

SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

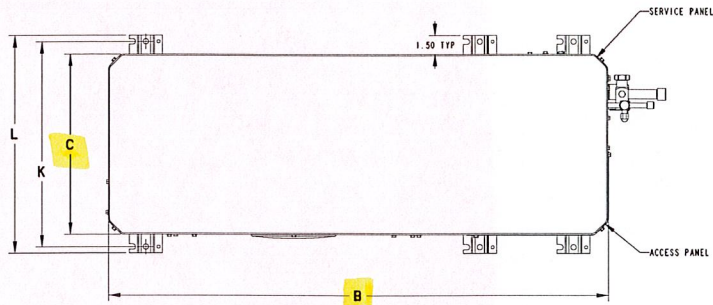
5.1.24

SH. 5

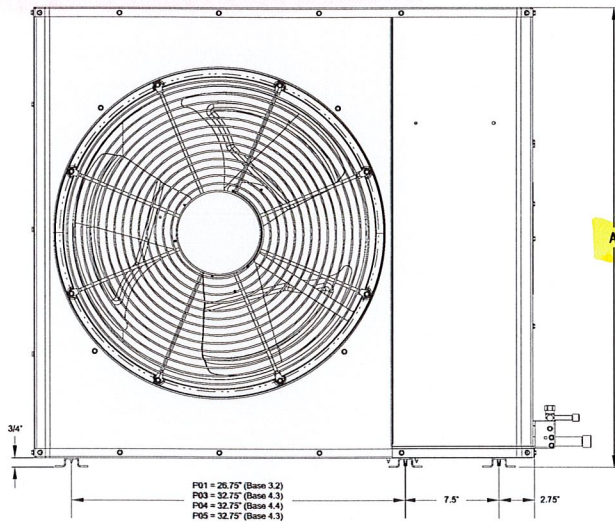




Outline Drawing



▲ SHOULD BE AT LEAST 152.4 (6 INCHES) FROM WALL AND 609.6 (2 FEET) FROM SURROUNDING SHRUBBERY ON ALL SIDES.



P01 = 26.75" (Base 3.2)
 P03 = 32.75" (Base 4.3)
 P04 = 32.75" (Base 4.4)
 P05 = 32.75" (Base 4.3)

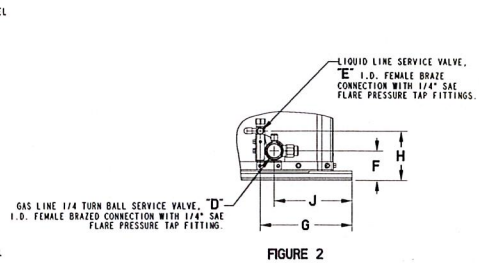


FIGURE 2

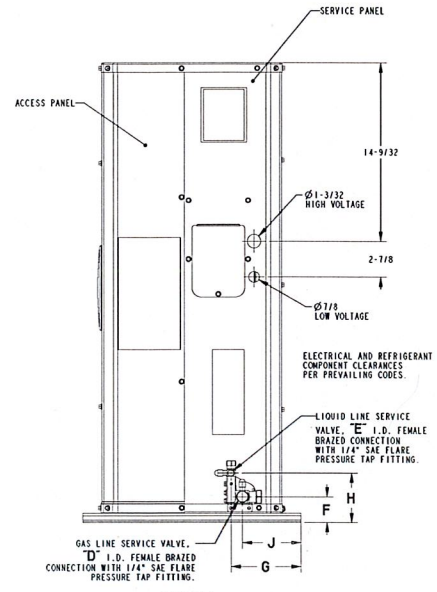


FIGURE 1

DWG. D159818_Rev D

Model	Base	A	B	C	D	E	F	G	H	J
4TTL6018A	3.3	934 (36-3/4)	1016 (40)	368 (14-1/2)	19 (3/4)	10 (3/8)	53 (2-1/16)	142 (5-19/32)	101 (3-31/32)	120 (4-23/32)
4TTL6024A	3.3	934 (36-3/4)	1016 (40)	368 (14-1/2)	19 (3/4)	10 (3/8)	53 (2-1/16)	142 (5-19/32)	101 (3-31/32)	120 (4-23/32)
4TTL6030A	3.3	934 (36-3/4)	1016 (40)	368 (14-1/2)	19 (3/4)	10 (3/8)	53 (2-1/16)	142 (5-19/32)	101 (3-31/32)	120 (4-23/32)
4TTL6036A	4.3	934 (36-3/4)	1194 (47)	445 (17-1/2)	22 (7/8)	10 (3/8)	53 (2-1/16)	187 (7-11/32)	101 (3-31/32)	159 (6-1/4)
4TTL6042A	4.3	934 (36-3/4)	1194 (47)	445 (17-1/2)	22 (7/8)	10 (3/8)	53 (2-1/16)	187 (7-11/32)	101 (3-31/32)	159 (6-1/4)
4TTL6048A	4.3	934 (36-3/4)	1194 (47)	445 (17-1/2)	22 (7/8)	10 (3/8)	53 (2-1/16)	187 (7-11/32)	101 (3-31/32)	159 (6-1/4)
4TTL6060A	4.4	1086 (42-3/4)	1194 (47)	445 (17-1/2)	22 (7/8)	10 (3/8)	60 (2-3/8)	187 (7-11/32)	101 (3-31/32)	159 (6-1/4)

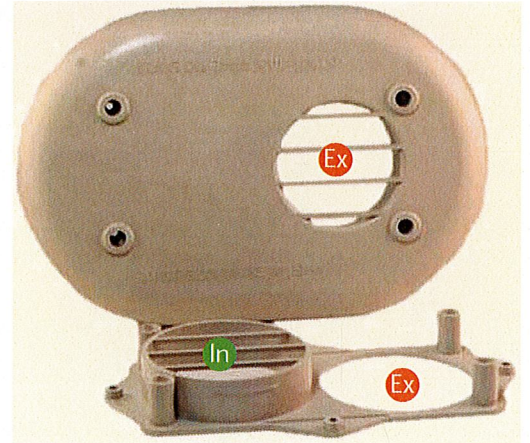
Horizontal Vent Termination Kits

Product Horizontal vent kit for use in venting high efficiency fossil fuel appliances.

Purpose Vents horizontally to pull in fresh outside air and vent exhaust to outside of building.

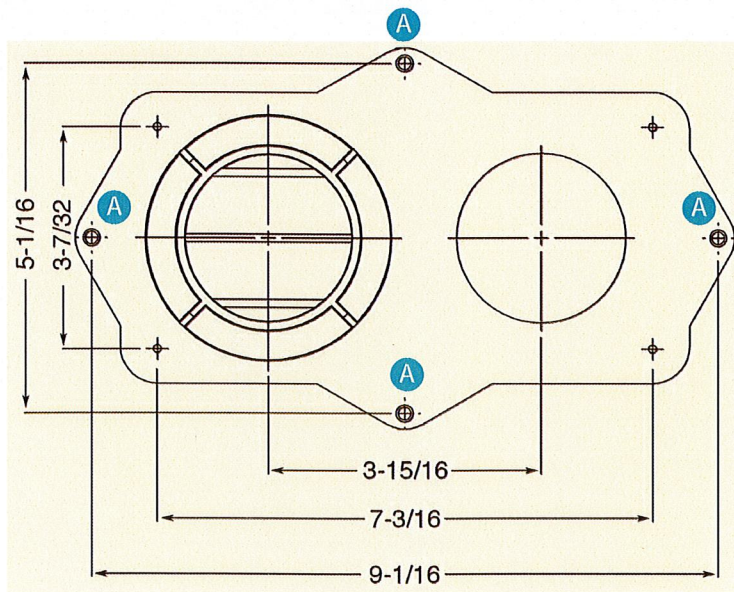
- Features**
- Low profile
 - Much less visibility than traditional vents
 - Doesn't need to be painted
 - Stainless steel screws (corrosion resistant)
 - UV stabilized for outdoor use in direct sunlight

- General Specifications**
- Do not paint
 - Gas vent - BH, Class II - 65°C max (148°F)
 - Zero clearance to combustible construction is allowed
 - Δ Do not block intake and exhaust Δ
 - Intended for use with Category IV high efficiency (condensing gas) furnaces or water heaters, ULC S636 Class II



General Characteristics

Part #	Weight (lbs)	Connection Size (inch)	Overall Width (inch)	Overall Height (inch)	Depth out from Wall (inch)
HVENT-2	1.8	2	11.875	7.875	1.000
HVENT-3	1.7	3	11.875	7.875	1.000



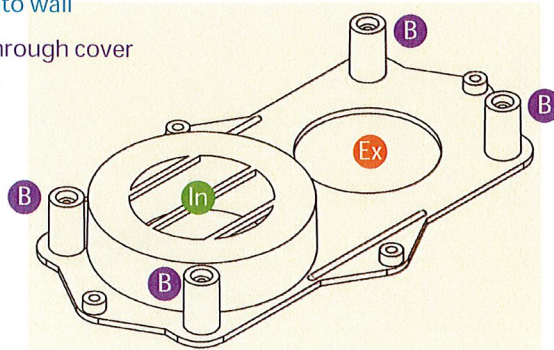
Dimensions in Inches

A Screw into wall

B Screw through cover

Ex Exhaust

In Intake



8. 245 Marcy Street

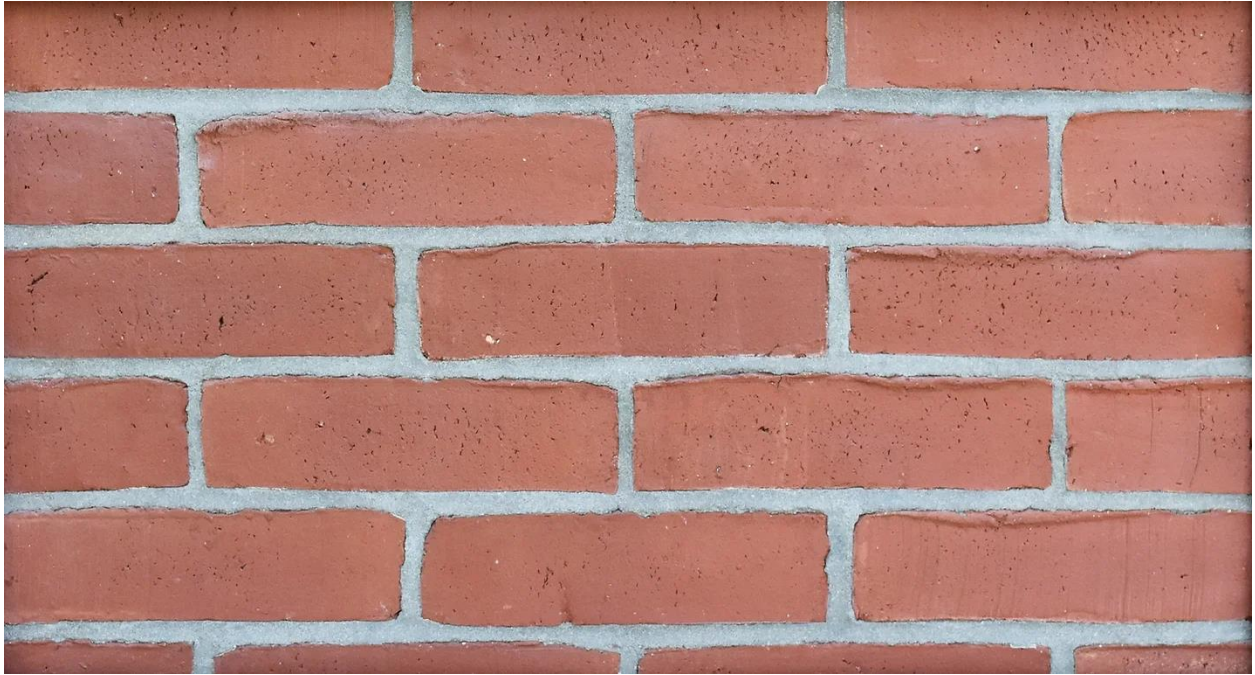
-TBD

Background: The applicant is seeking approval for the installation of gas fireplace venting through existing chimneys, (2) chimneys will need minor repointing work, (1) Chimney on the North side will be rebuilt to the same dimensions.

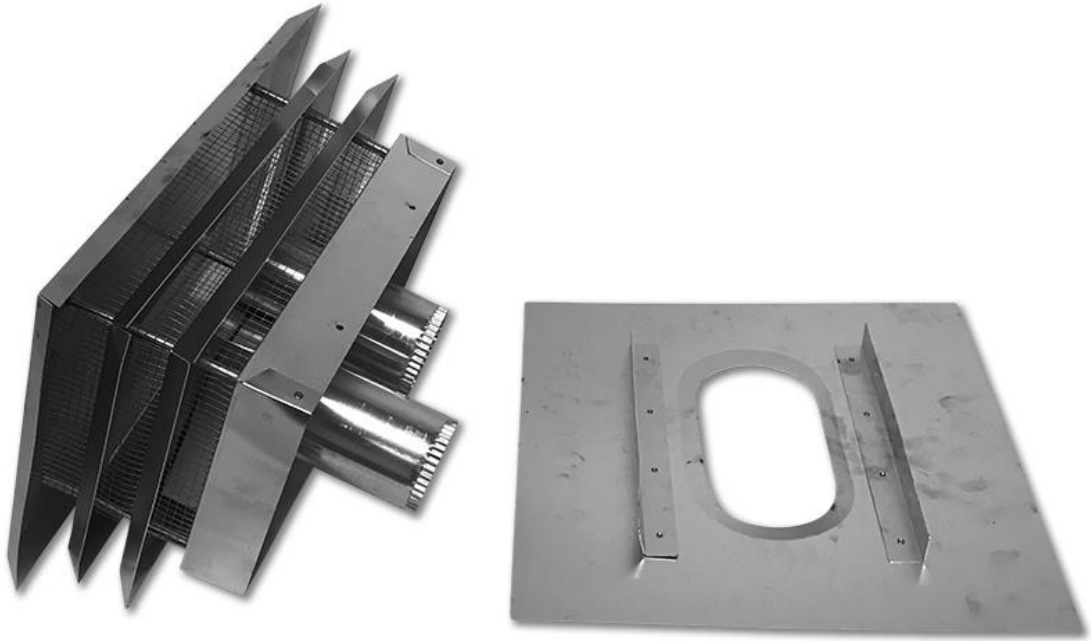
Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



Morin Restoration Brick for rebuilt chimney



Gas fireplace vent(s)







TYPE S MORTAR MIX

ProMasonry Type S Mortar Mix exceeds the requirements of ASTM C387 and ASTM C270 for compressive strengths when used as directed.

SUGGESTED USES

- For laying brick, block and stone, or pointing, plastering and stuccoing.

PREPARATION

- Remove all loose and/or deteriorated material as well as any surface contaminants such as oil, paint, grease, etc.

MIXING

- Empty the contents of the bag into a clean wheelbarrow, mortar box, mechanical mixer or other mixing vessel.
- Form a crater with a shovel or hoe in the center of the dry mix. Mix sufficient water to achieve desired workability.
- **For hand mixing** – Blend dry mix with a shovel or hoe from the outer edges working the material towards the center. Continue mixing until all free water is used and all the aggregate is uniformly coated with cement.
- **For mechanical mixing** – Mix the material for three minutes.

FINISHING

- Joints can be finished when material has begun to set and the surface has a thumbprint hard consistency.
- Mortar joints can be finished with a jointing tool.

CURING

- Protect from direct sunlight, wind, rain and frost during the curing period.

CLEAN UP

- Clean tools and equipment with water immediately after use.
- Cured material will need to be mechanically removed.



A Division of
Conproco Corporation

PROMASONRY[®]
PROFESSIONAL QUALITY CEMENT PRODUCTS



TYPE S MORTAR MIX

TECHNICAL DATA

Physical state and appearance		Dry powder with aggregate
Base		Masonry cement
pH	Wet mix	> 12
Aggregate type		Mortar Sand
Compressive Strength @ 28 days		> 1800 psi
Flow	ASTM C230	110% +/- 5%

YIELD

- One 80 lb (36.3 kg) bag will lay up to 65 standard bricks and 26 standard blocks.

CAUTION

- May cause eye and skin irritation.

HEALTH AND SAFETY

- Product is alkaline.
- Do not ingest.
- Avoid breathing dust.
- Avoid contact with skin and eyes.
- Refer to Material Safety Data Sheet (MSDS) for additional information.
- Keep out of reach of children.

FIRST AID

- In case of skin contact, wash thoroughly with soap and water.
- For eye contact, flush immediately with a high volume of water for at least 15 minutes and contact a medical professional.
- For respiratory problems remove person to fresh air.

DISPOSAL

- Dispose of material in accordance with local, state or federal regulations.

MANUFACTURER'S LIMITED WARRANTY

Conproco Corp. warrants this product for one year from date of installation to be free from manufacturing defects and to meet the technical properties on the current technical data sheet if used as directed within shelf life. User determines suitability of product for use and assumes all risks. Buyer's sole remedy shall be limited to the purchase price or replacement of product exclusive of labor or cost of labor. July 2010
NO OTHER WARRANTIES EXPRESS OR IMPLIED SHALL APPLY INCLUDING ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.
CONPROCO CORP. SHALL NOT BE LIABLE UNDER ANY LEGAL THEORY FOR SPECIAL OR CONSEQUENTIAL DAMAGES.

PROMASONRY®

MANUFACTURED BY: **CONPROCO CORPORATION**
PHONE 800.258.3500 FAX 603.743.5744 WEBPROMASONRY.NET

9. 49 Pleasant Street

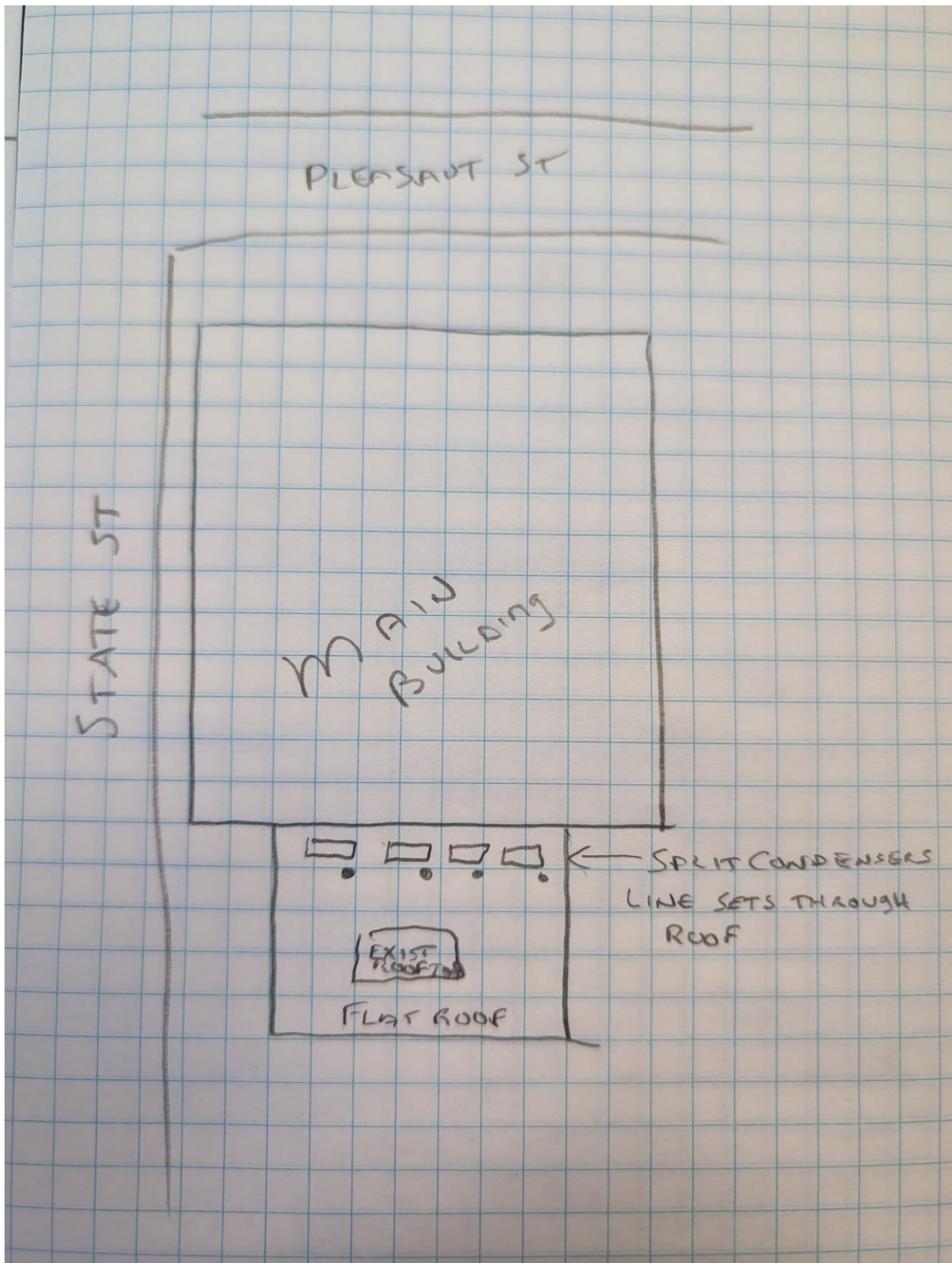
-Recommended Approval

Background: The applicant is seeking approval for the installation of (4) roof top mounted HVAC condensers, where existing mechanical equipment is installed. Pleasant note this is on the Board of Adjustment agenda for approval on April 30, 2024.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____





NAM
Port

10. 229 Pleasant Street -Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment (AC condenser).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

Fwd: I Penelope Murrow am the owner of 36 Richmond Street Portsmouth NH...

Beth Coursen <montybeth5@gmail.com>

Wed 3/27/2024 3:23 PM

To: Library Info <libinfo@cityofportsmouth.com>

Sent from my iPhone

Begin forwarded message:


From: Beth Coursen <montybeth5@gmail.com>

Date: March 27, 2024 at 3:11:14 PM EDT

To: Beth Coursen <montybeth5@gmail.com>

Subject: I Penelope Murrow am the owner of 36 Richmond Street Portsmouth NH...

I Penelope Murrow am the owner of 36 Richmond Street Portsmouth NH and I approve of the proposal by my neighbor Elizabeth Coursen to place a condenser for a mini split HVAC system on the alleyway between her Carriage house and my home.


Penelope Murrow

Sent from my iPad







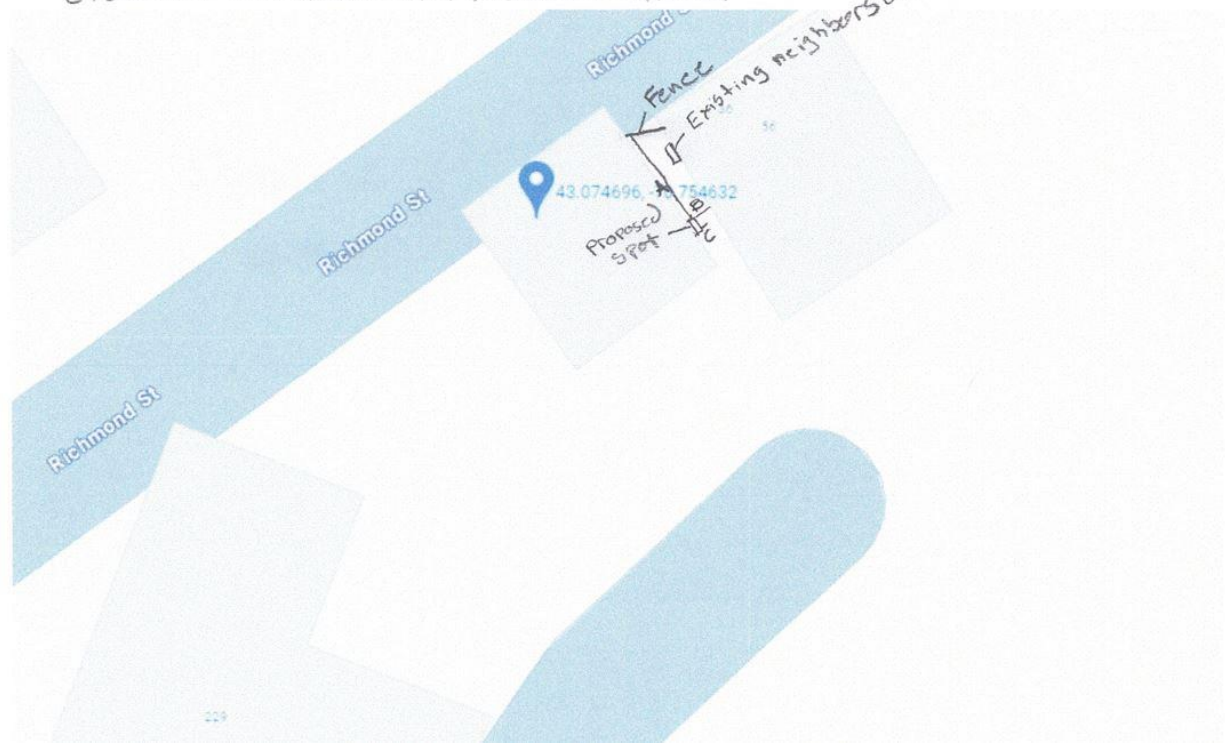


Distances:

A: 14ft - from unit to Richmond St.

B: 13ft - from front of unit to neighbors house

C: 5ft 3inches - from front of unit to shared walk way



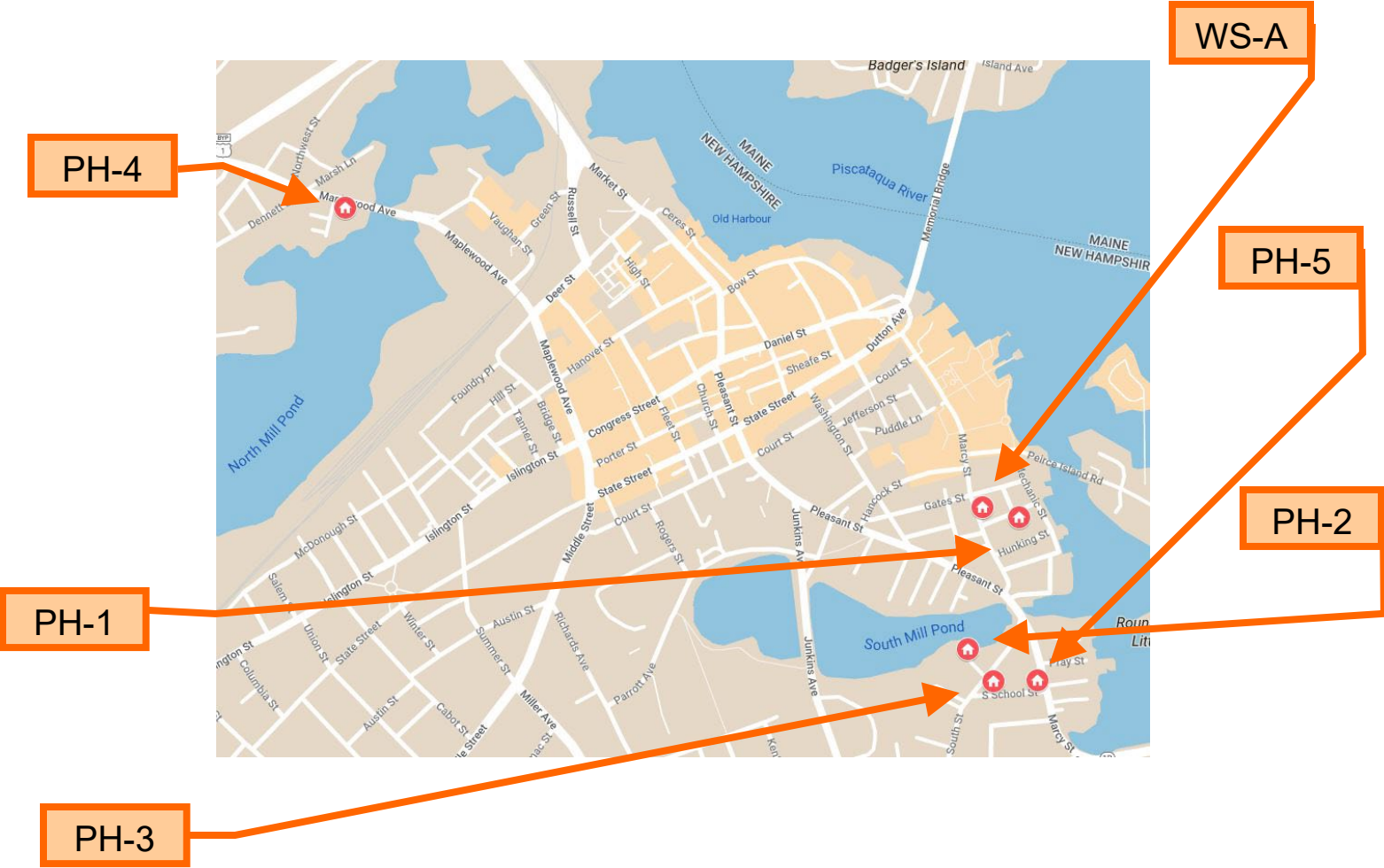






Historic District Commission Staff Report

Wednesday, May 01, 2024



Project Address: 44 GARDNER STREET

Permit Requested: CERTIFICATE OF APPROVAL

Application: PUBLIC HEARING 1



A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 6,267 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: Queen Anne
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Gardner Street
- Unique Features: Wraparound one-story full width porch, parapet gable over entry bay, two story polygonal bay on the left side of the façade and a one story hipped roof garage to the rear of the property.
- Neighborhood Association: South End

B. Proposed Work: to replace the existing windows with Marvin Elevate windows, replace the existing siding with Hardie siding, install HVAC equipment and ventilation.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replacement of windows and siding
- Installation of HVAC equipment and venting.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



South View



North View



Proposed HVAC condenser location



East view







West View

Applicant:

Keith Dockham & Jeff Kisiel
Dockham Builders, Inc
2060 Lafayette Road
Portsmouth, NH 03801

Property:

44 Gardner Street
Portsmouth, NH 03801

Property Owner:

Bernie and Emily Roesler

- I. Letter of Authorization
- II. Scope of work
- III. Window Replacement
- IV. Siding & Exterior Trim
- V. HVAC & Venting

I. Letter of Authorization:

See attached Letter of Authorization.



"Building your Future" Since 1988
2069 Lafayette Road Unit B
Portsmouth, NH 03801

Member NAHB
Lead safety certified
Member HBRANH
Email: office@dockhambuilders.com
Telephone: 603-775-7035

March 14, 2023

City of Portsmouth
Historic District Commission
Ms. Reagan Ruedig, Chair
1 Junkins Avenue
Portsmouth, NH 03801

RE: 44 Gardner Street Historic District Application

To whom it may concern:

This letter is submitted to authorize Jeff Kisiel and Dockham Builders to represent us before the City of Portsmouth and any of its boards with respect to an Application to the Historic District Commission in connection with our property located at 44 Gardner Street.

Sincerely,


Emily Roesler

March 15, 2024

Date


Bernie Roesler

March 15, 2024

Date

www.dockhambuilders.com

II. Project Summary:

The proposed scope of work includes:

-Remove the existing wood siding, exterior corner trim, window casing and windows

-Install new windows (III. Window Replacement), new siding (IV. Siding & Exterior Trim)

-Install new HVAC system, kitchen range hood and Bathroom Fans with vents (V. HVAC & Venting)

III. Window Replacement:

Install new Marvin Ultimate Windows on entire house.

See attached schedule and specification sheet for window details.

DOCKHAM 022024 ROESLER

Quote #: R3HN2NG

A Proposal for Window and Door Products prepared for:

Job Site:

03801

Shipping Address:

ELDREDGE LBR & HDWE-PORTSMOUTH
275 Constitution Ave
Portsmouth, NH 03801-8600

Project Description:

44 GARDNER STREET PORTSMOUTH NH

Featuring products from:

MARVIN 

SELECTWOOD

The Choice For Building Professionals.

TOM MCELREAVY
ELDREDGE LBR & HDWE-PORTSMOUTH
PO BOX 69
CAPE NEDDICK, ME 03902-0069
Phone: (603) 436-9663

Email: tmcelreavy@eldredgelumber.com

This report was generated on 2/21/2024 9:36:25 AM using the Marvin Order Management System, version 0004.06.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

UNIT SUMMARY

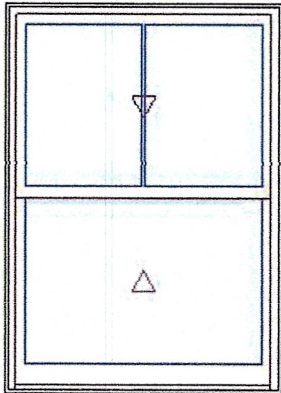
The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.
 Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 9		TOTAL UNIT QTY: 33		EXT NET PRICE: USD [REDACTED]		
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	KIT/ENTRY	Ultimate	Double Hung G2 RO 47" X 64" Entered as RO 47" X 64"	[REDACTED]	1	[REDACTED]
2	1ST FLR	Ultimate	Double Hung G2 RO 36" X 66" Entered as RO 36" X 66"	[REDACTED]	11	[REDACTED]
3	KITCHEN SINK	Ultimate	Marvin Assembly RO 67 63/64" X 46" Entered as Size by Units	[REDACTED]	1	[REDACTED]
4	1ST FLR BATH	Ultimate	Double Hung G2 RO 33" X 66" Entered as RO 33" X 66"	[REDACTED]	1	[REDACTED]
5	STAIRS /FULL TEMP	Ultimate	Double Hung G2 RO 36" X 62" Entered as RO 36" X 62"	[REDACTED]	1	[REDACTED]
6	2ND FLR	Ultimate	Double Hung G2 RO 36" X 62" Entered as RO 36" X 62"	[REDACTED]	14	[REDACTED]
7	3RD FLR BATH	Ultimate	Double Hung G2 RO 36" X 62" Entered as RO 36" X 62"	[REDACTED]	1	[REDACTED]
8	3RD FLR	Ultimate	Double Hung G2 RO 36" X 58" Entered as RO 36" X 58"	[REDACTED]	2	[REDACTED]
9	PLAYROOM	Ultimate	Double Hung G2 RO 34" X 62" Entered as RO 34" X 62"	[REDACTED]	1	[REDACTED]

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: KIT/ENTRY	Net Price:	
Qty: 1		Ext. Net Price:	USD



As Viewed From The Exterior

Entered As: RO
 MO 46 1/2" X 63 3/4"
 FS 46" X 63 1/2"
 RO 47" X 64"
Egress Information
 Width: 42 13/32" Height: 26 25/64"
 Net Clear Opening: 7.77 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 47" X 64"
 Standard CN Height 28
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required

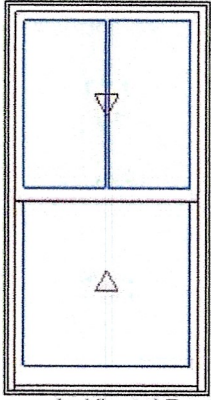
Seller: _____

Buyer: _____

Line #2	Mark Unit: 1ST FLR	Net Price:	
Qty: 11		Ext. Net Price:	USD



Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 66"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile



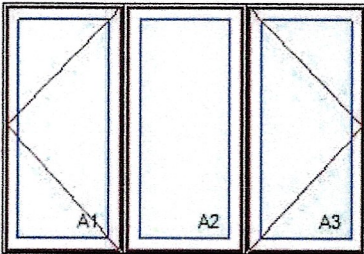
As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 65 3/4"
 FS 35" X 65 1/2"
 RO 36" X 66"
Egress Information
 Width: 31 13/32" Height: 27 11/16"
 Net Clear Opening: 6.04 SqFt

Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required
 Seller: _____
 Buyer: _____

Line #3	Mark Unit: KITCHEN SINK	Net Price:	
Qty: 1		Ext. Net Price:	USD



As Viewed From The Exterior

Entered As: Size by Units
 MO 67 31/64" X 45 3/4"
 FS 66 63/64" X 45 1/2"
 RO 67 63/64" X 46"
Egress Information A1, A3
 Width: 15 7/32" Height: 40 25/64"
 Net Clear Opening: 4.27 SqFt
Egress Information A2
 No Egress Information available.

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 3W1H - Rectangle Assembly
 Assembly Rough Opening
 67 63/64" X 46"

Unit: A1
 Ultimate Casement - Left Hand
 Basic Frame 22 21/64" X 45 1/2"
 Rough Opening 23 21/64" X 46"
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 3/4" - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 White Folding Handle
 White Multi - Point Lock
 Stainless Steel Hardware
 Aluminum Screen
 White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose

Unit: A2
 Ultimate Casement - Stationary
 Basic Frame 22 21/64" X 45 1/2"
 Rough Opening 23 21/64" X 46"
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 3/4" - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 Solid Wood Covers

Unit: A3
 Ultimate Casement - Right Hand
 Basic Frame 22 21/64" X 45 1/2"
 Rough Opening 23 21/64" X 46"
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 3/4" - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 White Folding Handle
 White Multi - Point Lock
 Stainless Steel Hardware
 Aluminum Screen
 White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 Standard Mull Charge
 4 9/16" Jambs
 Nailing Fin
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
 ***Note: Unit Availability and Price is Subject to Change

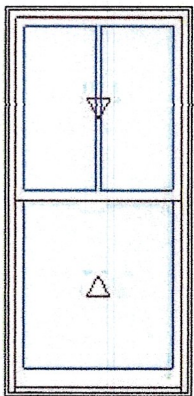
Initials required

Seller: _____

Buyer: _____

Line #4	Mark Unit: 1ST FLR BATH	Net Price:	USD
Qty: 1		Ext. Net Price:	

MARVIN 



As Viewed From The Exterior

Entered As: RO
 MO 32 1/2" X 65 3/4"
 FS 32" X 65 1/2"
 RO 33" X 66"

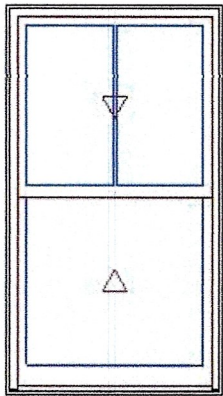
Egress Information
 Width: 28 13/32" Height: 27 11/16"
 Net Clear Opening: 5.46 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 33" X 66"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jambs

Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required
 Seller: _____
 Buyer: _____

Line #5	Mark Unit: STAIRS /FULL TEMP	Net Price:	
Qty: 1		Ext. Net Price:	USD



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 61 3/4"
 FS 35" X 61 1/2"
 RO 36" X 62"
Egress Information
 Width: 31 13/32" Height: 25 11/16"
 Net Clear Opening: 5.60 SqFt

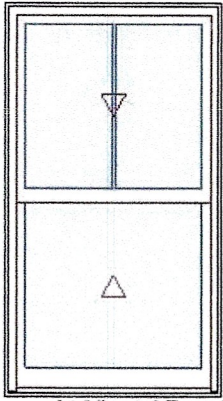
Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Tempered Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required
 Seller: _____
 Buyer: _____

Line #6	Mark Unit: 2ND FLR	Net Price:	
Qty: 14		Ext. Net Price:	USD



Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 61 3/4"
 FS 35" X 61 1/2"
 RO 36" X 62"
Egress Information
 Width: 31 13/32" Height: 25 11/16"
 Net Clear Opening: 5.60 SqFt

Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose

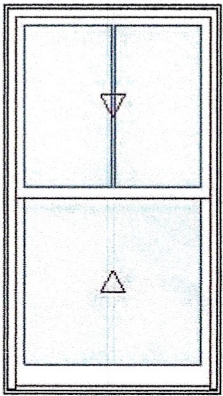
4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required

Seller: _____

Buyer: _____

Line #7	Mark Unit: 3RD FLR BATH	Net Price:	USD	
Qty: 1		Ext. Net Price:		



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 61 3/4"
 FS 35" X 61 1/2"
 RO 36" X 62"
Egress Information
 Width: 31 13/32" Height: 25 11/16"
 Net Clear Opening: 5.60 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose

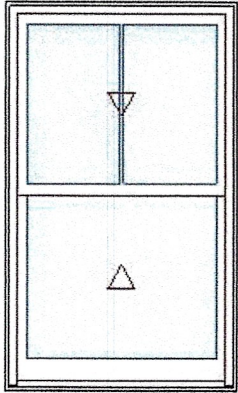
4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required

Seller: _____

Buyer: _____

Line #8	Mark Unit: 3RD FLR	Net Price:	
Qty: 2		Ext. Net Price:	USD



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 57 3/4"
 FS 35" X 57 1/2"
 RO 36" X 58"

Egress Information
 Width: 31 13/32" Height: 23 11/16"
 Net Clear Opening: 5.17 SqFt

- Stone White Clad Exterior
- Painted Interior Finish - White - Pine Interior
- Ultimate Double Hung G2
- Rough Opening 36" X 58"
- Top Sash
- Stone White Clad Sash Exterior
- Painted Interior Finish - White - Pine Sash Interior
- IG
- Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 5/8" SDL - With Spacer Bar - Black
- Rectangular - Special Cut 2W1H
- Stone White Clad Ext - Painted Interior Finish - White - Pine Int
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Painted Interior Finish - White - Pine Sash Interior
- IG - 1 Lite
- Tempered Low E2 w/Argon
- Black Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weather Strip Package
- White Exterior Weather Strip Package
- White Sash Lock
- White Top Sash Strike Plate Assembly Color
- Extruded Aluminum Screen
- Stone White Surround
- Bright View Mesh
- ***Screen/Combo Ship Loose
- 4 9/16" Jamb
- Nailing Fin

***Note: Unit Availability and Price is Subject to Change

Initials required

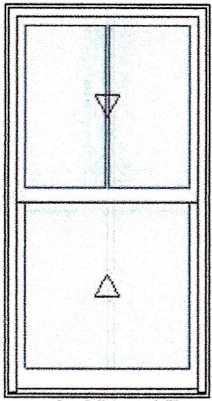
Seller: _____

Buyer: _____

Line #9	Mark Unit: PLAYROOM	Net Price:	
Qty: 1		Ext. Net Price:	USD



- Stone White Clad Exterior
- Painted Interior Finish - White - Pine Interior
- Ultimate Double Hung G2
- Rough Opening 34" X 62"
- Top Sash
- Stone White Clad Sash Exterior
- Painted Interior Finish - White - Pine Sash Interior
- IG
- Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 5/8" SDL - With Spacer Bar - Black
- Rectangular - Special Cut 2W1H
- Stone White Clad Ext - Painted Interior Finish - White - Pine Int
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Painted Interior Finish - White - Pine Sash Interior
- IG - 1 Lite
- Tempered Low E2 w/Argon



As Viewed From The Exterior

Entered As: RO

MO 33 1/2" X 61 3/4"

FS 33" X 61 1/2"

RO 34" X 62"

Egress Information

Width: 29 13/32" Height: 25 11/16"

Net Clear Opening: 5.25 SqFt

- Black Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weather Strip Package
- White Exterior Weather Strip Package
- White Sash Lock
- White Top Sash Strike Plate Assembly Color
- Extruded Aluminum Screen
- Stone White Surround
- Bright View Mesh
- ***Screen/Combo Ship Loose
- 4 9/16" Jambes
- Nailing Fin
- ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Project Subtotal Net Price: USD

0.000% Sales Tax: USD

Project Total Net Price: USD

██████████

0.00

██████████

TERMS AND CONDITIONS

PRODUCT AND PERFORMANCE INFORMATION

NFRC Ratings:

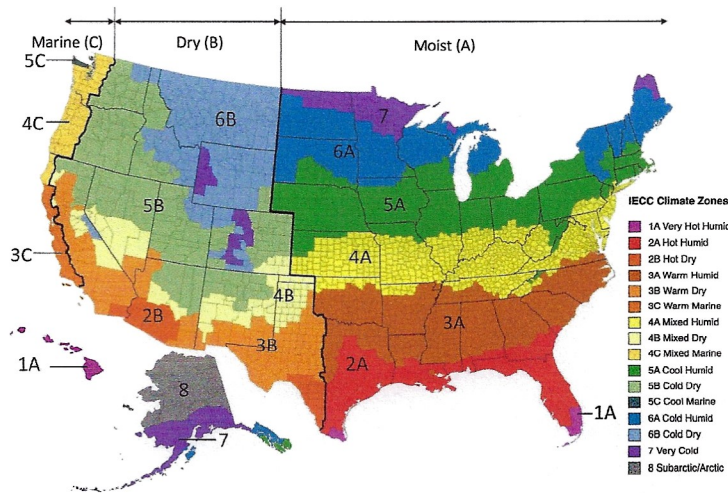
NFRC energy ratings may vary depending on the exact configuration of glass thickness used on the unit. NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements. NFRC values and ratings are finalized on the date of manufacture.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform rating system for the energy performance of fenestration products, including windows, doors and skylights. For additional information regarding this rating system, see www.nfrc.org.

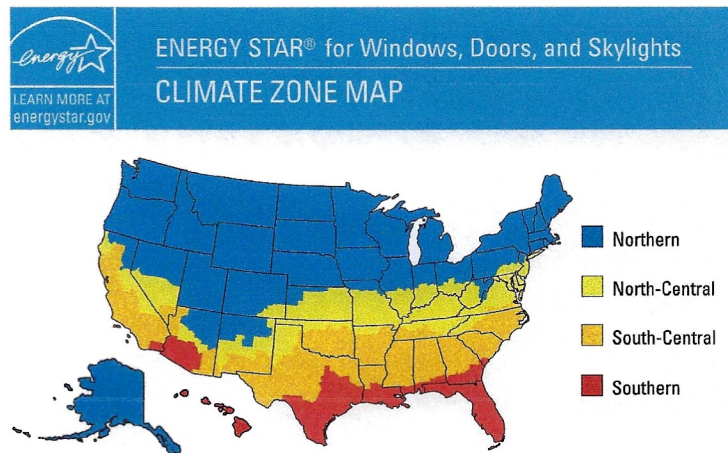
Code (residential, building or energy) Compliance:

Determining the suitability and compliance with state, provincial, local, or other applicable building codes or standards, including energy codes, is the responsibility of the buyer, user, architect, contractor, installer, and/or other construction professional.

2021 IECC Climate Zone Map:



ENERGY STAR Version 7 Climate Zone Map:



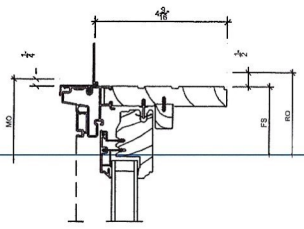


ORDERING INFORMATION WITH REFERENCE TO SPEC DRAWINGS:
 These drawings are for informational purposes only. The purchaser must refer to the architectural drawings and specifications for the correct dimensions and materials. The Marvin products included herein are subject to change without notice. The purchaser is responsible for coordinating with the manufacturer for any special requirements.

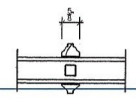
REV/SION: CREATED: 02/21/2024

PROJECT: DOCKHAM 022024 / ROESLER
 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE - YORK-GO
 DRAWN: TOM MCELREAVY
 QUOTE# RS1HN2NG PK VERSION: 0004.06.00

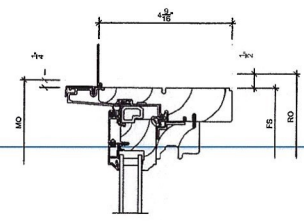
SHEET 2
 OF 2



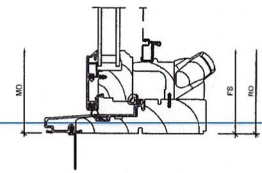
1/2 Head SCALE: 6" = 1'-0"



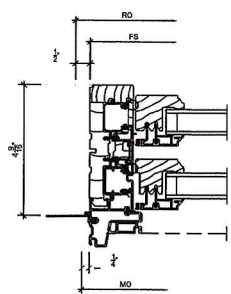
4/2 Divided Lite SCALE: 6" = 1'-0"



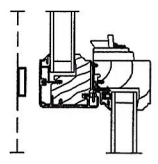
7/2 Head SCALE: 6" = 1'-0"



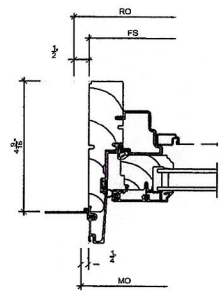
10/2 Sill SCALE: 6" = 1'-0"



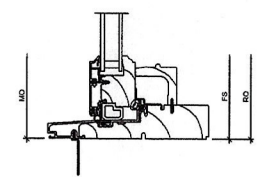
2/2 Jamb SCALE: 6" = 1'-0"



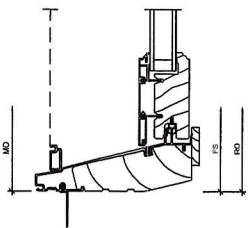
6/2 Checkrail SCALE: 6" = 1'-0"



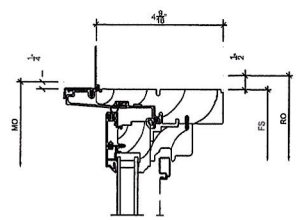
8/2 Jamb SCALE: 6" = 1'-0"



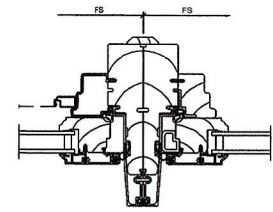
11/2 Sill SCALE: 6" = 1'-0"



3/2 Sill SCALE: 6" = 1'-0"



9/2 Head SCALE: 6" = 1'-0"



8/2 Vertical Mullion SCALE: 6" = 1'-0"

12/2 NOT USED SCALE: 6" = 1'-0"

IV. Siding and Exterior Trim

-Remove existing siding and install new 5 1/4" Hardie Plank Siding with smooth finish and a 4" reveal to match existing. See attached Hardie Specification Sheet for more details.

-Remove existing wood trim (corner boards and window casing) and install new Azek PVC trim to match existing profile. See attached Azek Specification Sheet for more details

-Corner Board: 5/4" x 6"

-Window Casing: 5/4" x 4" legs, 5/4" x 5" Header, 3" Crown AZM-52, Historic Sill AZM-6930

A classic look that stands the test of time.

Hardie® Plank

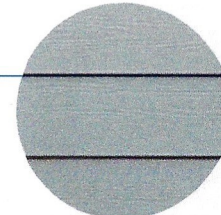
From Victorians to Colonials, Hardie® Plank is the perfect siding for your style, and has the durability and long-lasting beauty that can transform your home exterior. With endless gorgeous color and plank pairings available, you'll discover a Hardie® Plank style that transforms your home's aesthetic.



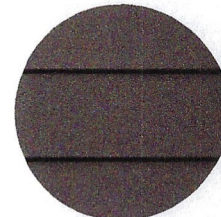
Hardie® Trim
Smooth
Arctic White

Hardie® Plank
Select Cedarmill®
Khaki Brown

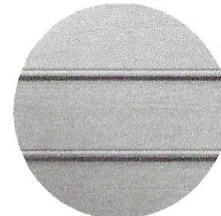
Hardie® Plank



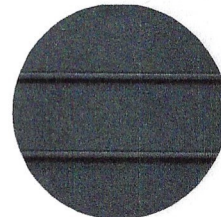
Select Cedarmill®



Smooth



Beaded Select Cedarmill®



Beaded Smooth

Width	Thickness 5/16 in					Length 12 ft planks
	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*	12 in*
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in
Prime Pcs/Pallet	360	308	252	230	190	152
ColorPlus® Pcs/Pallet	324	280	252	210	—	—
Pcs/Sq.	25.0	20.0	16.7	14.3	12.5	9.3

Select Cedarmill®

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*	12 in*
Statement Collection*	•	•				
Dream Collection*	•	•	•	•		
Prime	•	•	•	•	•	•

Smooth

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*	12 in*
Statement Collection*	•	•				
Dream Collection*	•	•	•	•		
Prime	•	•	•	•	•	•

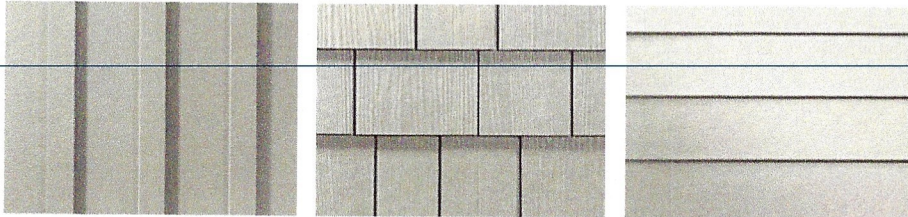
Beaded Select Cedarmill® & Beaded Smooth

Width	8.25 in
Exposure	7 in
ColorPlus® Pcs/Pallet	210
Pcs/Sq.	14.3
Statement Collection*	
Dream Collection*	•
Prime	

*9.25 in and 12 in widths do not feature the drip edge

STYLES

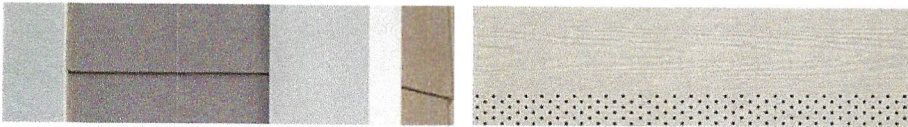
find your perfect mix of exterior products



HARDIE® PANEL & HARDIE® TRIM BATTEN

HARDIE® SHINGLE

HARDIE® PLANK



HARDIE® TRIM

HARDIE® SOFFIT

For more detailed product size and availability information, visit jameshardie.com/magnolia.

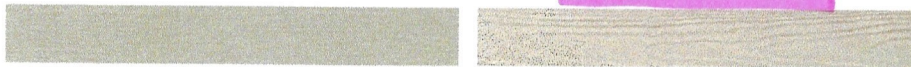
TEXTURES

choose the texture you prefer



HARDIE® TRIM SMOOTH

HARDIE® SIDING SMOOTH*



HARDIE® TRIM RUSTIC GRAIN

HARDIE® SIDING SELECT CEDARMILL**

* Textures available for siding and soffit.
Hardie® Shingle only offered in Select Cedarmill®.

DESIGN *the* HOME YOU'VE ALWAYS IMAGINED

Visualize Hardie® products on a 3D model of your home with HOVER® Design Studio, brought to you by James Hardie.

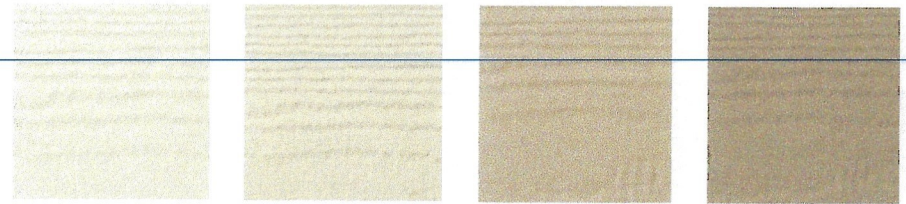
Every home tells a story. What will yours be? Start your free design.



VISUALIZE THE COLLECTION ON YOUR HOME

COLORS

select the hue that's right for you

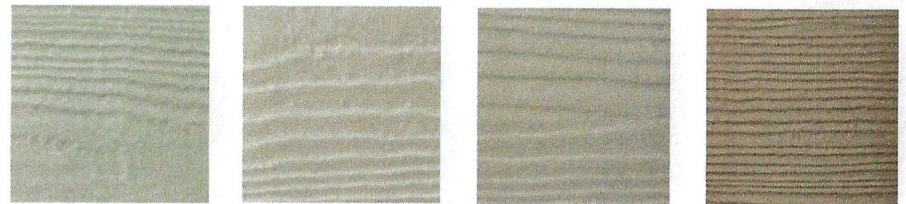


BIRCH TREE

WEATHERED CLIFFS

RUSTIC ROAD

RUGGED PATH

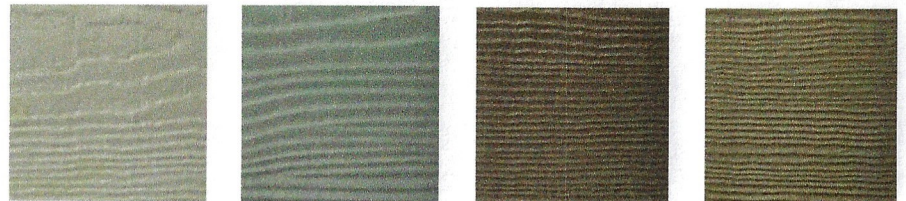


IT'S ABOUT THYME

STONE BEACH

STONE PAVER

WARM CLAY

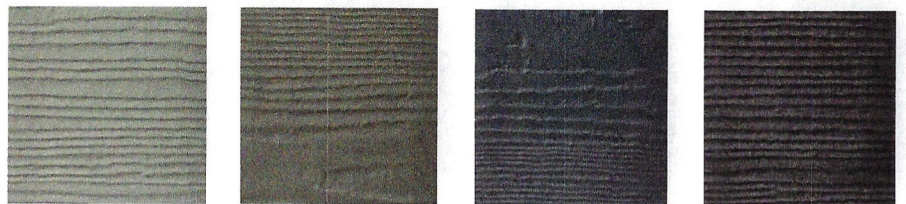


DRIED EUCALYPTUS

CHISELED GREEN

WANDERING GREEN

MUDFLATS



SLATE STEPS

PEPPERY ASH

LAST EMBERS

MIDNIGHT SOOT

All products in this collection come prefinished with ColorPlus® Technology finishes by James Hardie.

WHITE OR READY-TO-PAINT TRIM AZEK OFFERS STYLE-BASED SOLUTIONS

Ready-to-Install Classic AZEK® Trim: Crisp, Bright White

The ultimate exterior matchmaker, AZEK Trim comes ready to install in brilliant white with two finish options (smooth and woodgrain) to complement and instantly elevate any surrounding. AZEK Classic Trim can be painted — but because paint is not required for a clean, finished look, installations go faster.



Ready-to-Paint PaintPro Enhanced Trim: The Best Substrate for Paint

If your project requires painting trim, AZEK PVC Trim with PaintPro technology is the perfect choice. Ready to paint. No sanding. No priming. PaintPro Trim maintains the long-lasting, low-maintenance benefits of PVC trim while adding enhanced paintability. Paint bonds securely for lasting adhesion that resists splits, chips, and flakes.



*PaintPro must be painted within 180 days of installation.
Visit [AZEKexteriors.com/products/trim/trim-boards/paintpro-trim](https://www.AZEKexteriors.com/products/trim/trim-boards/paintpro-trim)

AZEK TRIM OUTPERFORMS WOOD TRIM

AZEK Trim is made from 100% engineered polymer to provide a durable, long-lasting building material that is far more resistant to the elements than wood. No sealants are needed on surfaces or cut ends; every inch of our trim is equally protected against moisture. With superior uniformity, durability, workability, beauty, and much more, AZEK PVC Trim is the better choice for exteriors than wood.

	AZEK PVC TRIM	WOOD TRIM
UNIFORMITY		
Square edges	★	★
No knots, no waste; every inch usable	★	
DURABILITY		
Will not rot, split, splinter, delaminate, warp, or swell excessively from moisture	★	
Impervious to moisture and insect-resistant	★	
Suitable for ground and masonry contact	★	
Lifetime limited warranty	★	
Handles easily without breakage	★	★
WORKABILITY		
Use standard woodworking tools	★	★
Safety milled, shaped, and molded without special safety equipment	★	★
Can be heat-formed	★	
Fasten close to edge without predrilling	★	
BEAUTY		
Readily accepts paint*	★	★
Can be crafted for unique applications	★	†
EXTRAS		
Available in trim boards, sheets, cornerboards, beadboard, and mouldings	★	
Special labor-saving solution profiles available	★	

★ ALL PRODUCTS MEET CRITERIA
† SOME PRODUCTS MEET CRITERIA

*PaintPro must be painted within 180 days of installation.
Visit [AZEKexteriors.com/products/trim/trim-boards/paintpro-trim](https://www.AZEKexteriors.com/products/trim/trim-boards/paintpro-trim).



GET FREE TRIM SAMPLES WITH
PAINTPRO® TECHNOLOGY



CLASSIC AZEK

Available in smooth or woodgrain finish

PAINTPRO TECHNOLOGY

Reversible (one side smooth, one side woodgrain)



All AZEK Trim is long-lasting, moisture-resistant, and keeps its appearance with very little maintenance. Easily mill and router our trim, or heat form it before painting, for exquisite customized or curved applications. Classic AZEK Trim's brilliant white complements any exterior while AZEK Trim with PaintPro® was made to be painted.

PROTECTIVE FILM KEEPS CLASSIC WHITE TRIM CLEAN

Classic AZEK Trim with protective film is available for smooth and woodgrain finishes. To ensure it looks as beautiful on your client's home as it does when it leaves our facilities, a protective film preserves AZEK Trim's crisp white semi-matte finish.

NOMINAL THICKNESS	NOMINAL WIDTH						
	4	5	6	8	10	12	16
5/4	SW	SW	SW	SW	SW	SW	SW
4/4	SW	SW	SW	SW	SW	SW	SW
5/8	SW	SW	SW	SW	SW	SW	SW



The film protects AZEK Trim through every production phase:

- Shipping
- Repackaging
- Installation
- Storage
- Handling

AZEK Trim with protective film should be kept dry prior to installation. Do not expose film to direct sunlight for extended periods. Protective film can be removed prior to, during, or immediately after installation.

AZEK® TRIM

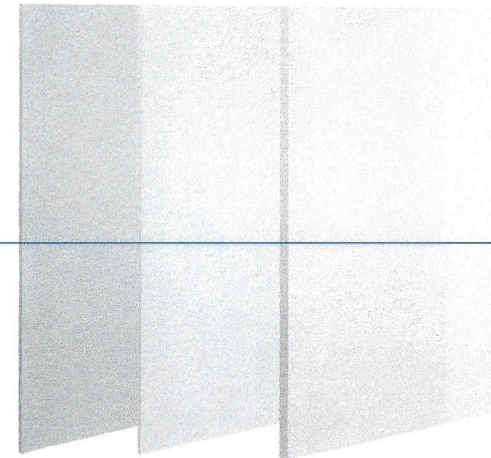
8/4 X THICKNESS		
NOMINAL	ACTUAL	18'
8/4 x 4	1 1/2" x 3 1/2"	S
8/4 x 6	1 1/2" x 5 1/2"	S
8/4 x 8	1 1/2" x 7 1/2"	S
8/4 x 10	1 1/2" x 9 1/2"	S
8/4 x 12	1 1/2" x 11 1/2"	S

6/4 X THICKNESS		
NOMINAL	ACTUAL	20'
6/4 x 4	1 1/2" x 3 1/2"	W
6/4 x 6	1 1/2" x 5 1/2"	W
6/4 x 8	1 1/2" x 7 1/2"	W
6/4 x 10	1 1/2" x 9 1/2"	W
6/4 x 12	1 1/2" x 11 1/2"	W

5/4 X THICKNESS						
NOMINAL	ACTUAL	12'	16'	18'	20'	
5/4 x 4	1" x 3 1/2"	SW	P	SW	SW	
5/4 x 5	1" x 4 1/2"	SW	P	SW	SW	
5/4 x 6	1" x 5 1/2"	SW	P	SW	SW	
5/4 x 8	1" x 7 1/2"	SW	P	SW	SW	
5/4 x 10	1" x 9 1/2"	SW	P	SW	SW	
5/4 x 12	1" x 11 1/2"	SW	P	SW	SW	
5/4 x 16	1" x 15 1/2"	SW	P	SW	SW	

4/4 X THICKNESS				
NOMINAL	ACTUAL	12'	16'	18'
1 x 2	3/4" x 1 1/2"		P	SW
1 x 3	3/4" x 2 1/2"		P	
1 x 4	3/4" x 3 1/2"	SW	P	SW
1 x 5	3/4" x 4 1/2"	SW		SW
1 x 6	3/4" x 5 1/2"	SW	P	SW
1 x 8	3/4" x 7 1/2"	SW	P	SW
1 x 10	3/4" x 9 1/2"	SW	P	SW
1 x 12	3/4" x 11 1/2"	SW	P	SW
1 x 16	3/4" x 15 1/2"	SW	P	SW

5/8 X THICKNESS		
ACTUAL	12'	18'
5/8" x 3 1/2"	SW	SW
5/8" x 5 1/2"	SW	SW
5/8" x 7 1/2"	SW	SW
5/8" x 9 1/2"	SW	SW
5/8" x 11 1/2"	SW	SW
5/8" x 15 1/2"	SW	SW



PaintPro Sheet Sheet ATM Sheet

AZEK SHEET

Applications over 16" wide are easy with AZEK Sheet. Use Sheet for bay windows, dormers, and raised panels.

SHEET					
ACTUAL	8'	10'	12'	18'	20'
3/8" x 4'	SW	SW	S	S	
1/2" x 4'	SWP	SWP	SP	S	
5/8" x 4'	S	S	S	S	
3/4" x 4'	SWP	SWP	S	S	
1" x 4'	S	S	S	S	S

AZEK-TO-MILL (ATM)

ATM's thick profile makes it an ideal material for fabrication. Its consistent density offers a superior product for milling operations.

AZEK-TO-MILL					
ACTUAL	8'	10'	12'	18'	20'
1 1/2" x 9 1/2"				S	
1 1/2" x 3 1/2"				S	
1 1/2" x 5 1/2"				S	
1 1/2" x 7 1/2"				S	
1 1/2" x 9 1/2"				S	
1 1/2" x 11 1/2"				S	
1 1/2" x 48" Sheet	S				
1 1/2" x 48" Sheet	S	S	S		S

AZEK® MOULDING

With over 30 different profiles to mix and match, you can customize any build with a distinctive look.



BED MOULDING

Similar to crown moulding, a bed mould is used to cover the joint between the ceiling and wall.

RAMS CROWN

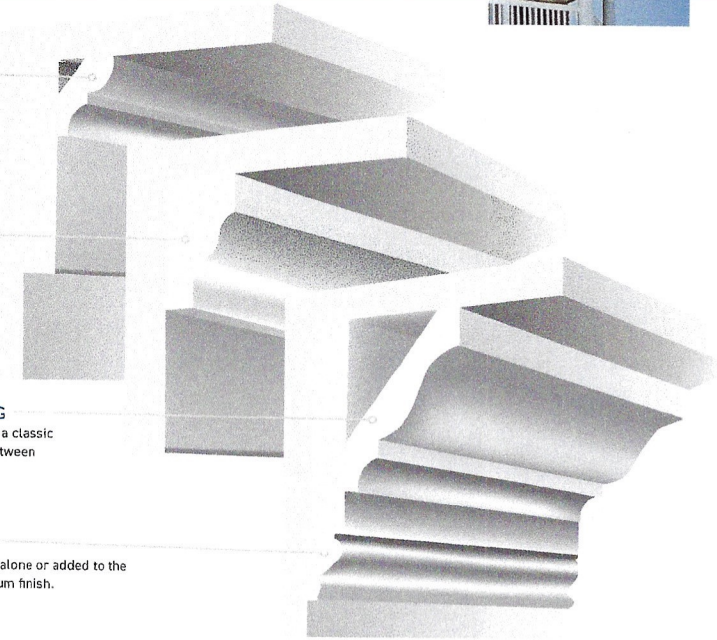
Consider installing Rams Crown at the top of a column or post, or use in place of a crown for a distinctive look.

CROWN MOULDING

Crown Moulding is used for a classic look, bridging the corner between the wall and ceiling.

BAND MOULDING

Band Moulding can be used alone or added to the base of a crown for a premium finish.

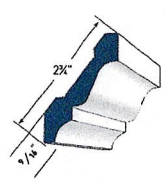
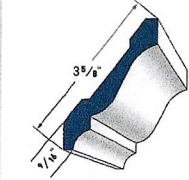
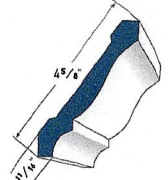
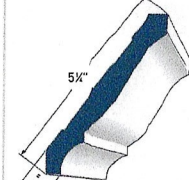
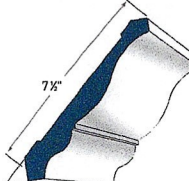
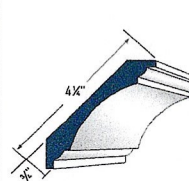
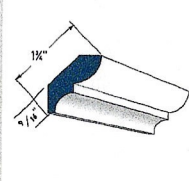
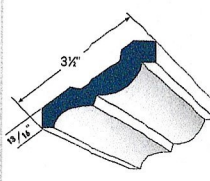
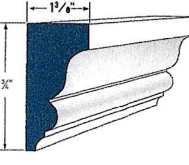
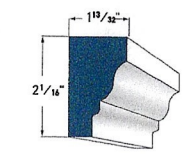
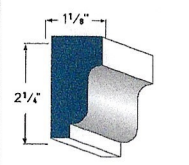
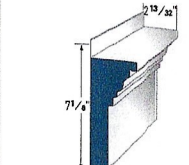


THE MOST BEAUTIFUL, HIGH-PERFORMANCE MOULDING LINE AVAILABLE

With crisp, architectural details reminiscent of premium wood mouldings, high-performance AZEK® Moulding will last beautifully without the maintenance hassles associated with wood. Backed by AZEK's promise of high quality and lasting performance, AZEK Moulding will retain a like-new appearance despite the tests of time and weather. AZEK Moulding offers greater stability and predictability when fastening. Unlike traditional wood moulding, AZEK Moulding resists moisture and insect damage and will not rot or split.

CROWN PROFILES

Crown moulding profiles are typically decorative mouldings designed for use along the intersection of a wall or ceiling. They may be combined with other mouldings to create a built-up profile.

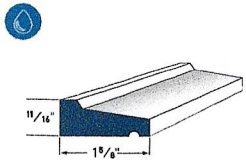
 <p>3" CROWN AZM-52 LENGTH: 16'</p>	 <p>4" CROWN AZM-49 LENGTH: 16'</p>	 <p>5" CROWN AZM-47 LENGTH: 16'</p>	 <p>6" CROWN AZM-45 LENGTH: 16'</p>
 <p>8" CROWN AZM-43 LENGTH: 16'</p>	 <p>COVE MOULDING AZM-80 LENGTH: 16'</p>	 <p>BED MOULDING AZM-75 LENGTH: 16'</p>	 <p>3 1/2" BED MOULDING AZM-28 LENGTH: 16'</p>
 <p>IMPERIAL RAKE CROWN AZM-6937 LENGTH: 16'</p>	 <p>RAMS CROWN AZM-6934 LENGTH: 16'</p>	 <p>SOLID CROWN AZM-7954 LENGTH: 16'</p>	 <p>CROSSHEAD PEDIMENT AZM-6216 LENGTH: 18'</p>

DETAIL & SILL/DRIP PROFILES

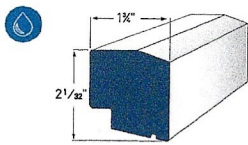
AZEK® Drip profiles can be used as a water table or brick ledge for separation and watershed against two different materials. AZEK Sill profiles shed water and offer architectural detail.



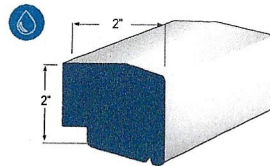
Denotes Water Management Drip Edge



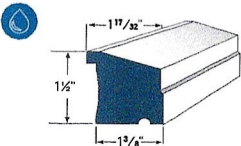
DRIP CAP AZM-197
LENGTH: 16'



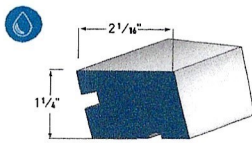
HISTORIC SILL AZM-6930
LENGTH: 16'



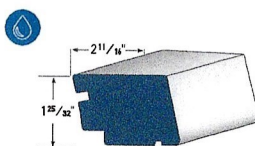
LARGE SILL NOSE AZM-7979
LENGTH: 16'



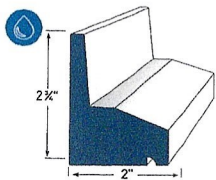
SUB SILL NOSE AZM-6933
LENGTH: 16'



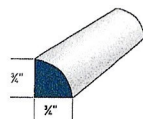
WINDOW SILL NOSE AZM-7974
LENGTH: 12'



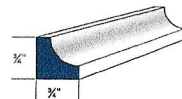
LARGE HISTORIC SILL AZM-7958
LENGTH: 16'



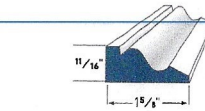
WATER TABLE AZM-6935
LENGTH: 18'



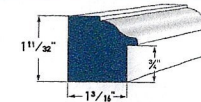
QUARTER ROUND AZM-105
LENGTH: 16'



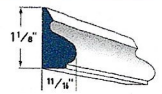
SCOTIA AZM-93
LENGTH: 16'



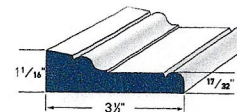
BAND MOULDING AZM-217
LENGTH: 16'



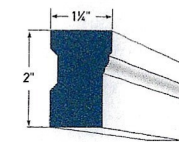
BACK BAND AZM-6931
LENGTH: 16'



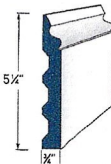
BASE CAP AZM-164
LENGTH: 16'



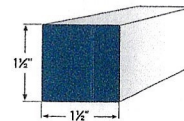
ADAMS CASING AZM-97
LENGTH: 16'



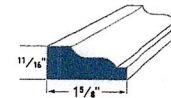
BRICK MOULD AZM-180
LENGTHS: 16', 17' and 18'



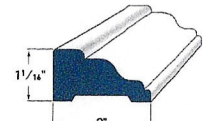
COLONIAL BASE CAP AZM-163
LENGTH: 16'



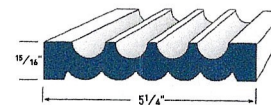
SQUARE PROFILE AZM-236
LENGTH: 12'



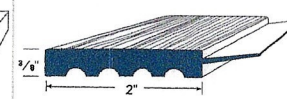
SHINGLE MOULD AZM-210
LENGTH: 16'



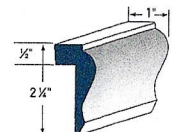
RAKE MOULDING AZM-287
LENGTH: 16'



FLUTED/REEDED AZM-606
LENGTH: 16'



GARAGE DOOR THERMOSTOP AZM-6936
LENGTHS: 7', 9', and 16'



WAINSCOT CAP AZM-284
LENGTH: 16'

*18' Brick Mould (AZM-180) is available in full units only and cannot be ordered via the Pick & Pack program.

V. HVAC & Venting

-Install two new HVAC systems w/ condenser on north side of property along brick foundation,

-Bosch Thermotechnology, Bosch 2.0 IDS, 3.00 Ton, Heat Pump (2)

-See attached Bosch Specification Sheet for more details

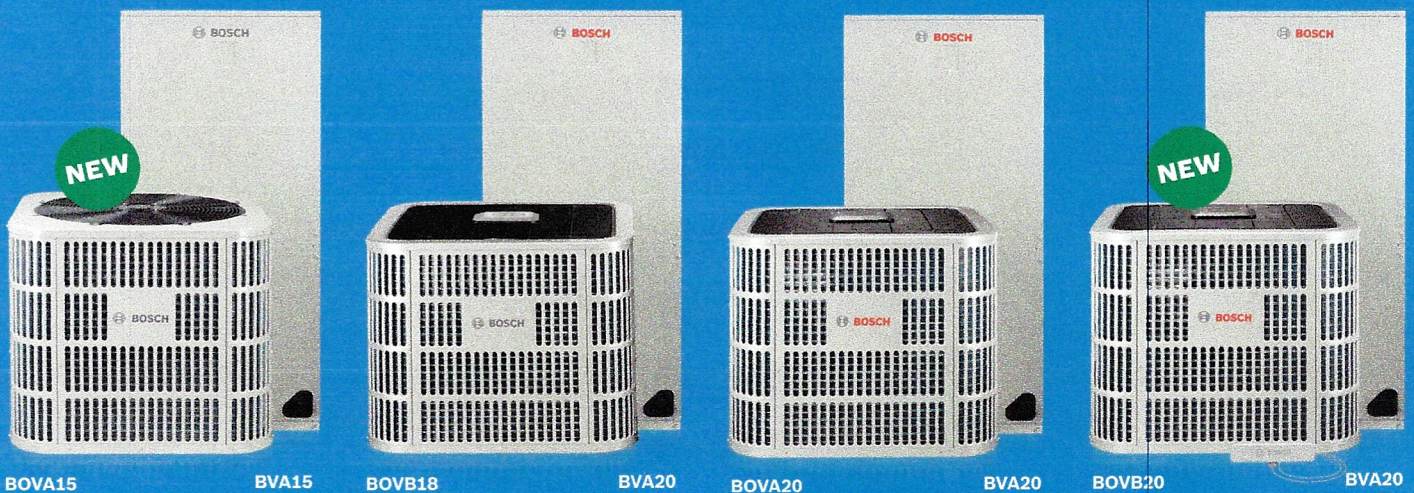
IDS Family

Quick Start Guide



**Before Everything,
There's Bosch.**

Simple. Reliable. Innovative.



BOVA15

BVA15

BOVB18

BVA20

BOVA20

BVA20

BOVB20

BVA20

IDS Light

15 SEER System

IDS Plus

18 SEER System

IDS Premium

20 SEER System

IDS Premium Connected

20 SEER System

Bosch IDS Family of Inverter Heat Pumps

The robust Bosch Inverter Ducted Split Air Source Heat Pump system utilizes just the right amount of energy to achieve ultimate comfort at maximum efficiency while keeping sound levels to a minimum.

Designed for easy installation & start-up | Support & spare parts readily available | Easy to maintain & service

Invented for life



BOSCH

Project Address: 33 JOHNSON COURT

Permit Requested: CERTIFICATE OF APPROVAL

Application: PUBLIC HEARING 2

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 36,912 SF +/-
- Estimated Age of Structure: c.1910
- Building Style: Vernacular
- Number of Stories: 1.5
- Historical Significance: Contributing
- Public View of Proposed Work: Johnson Court and South Mill Pond
- Unique Features: N/A
- Neighborhood Association: South End



B. Proposed Work: Install roof mounted solar panels.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Installation of roof top mounted solar panels. No other land use approvals are required.



D. Purpose and Intent:

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties



January 26, 2024

To: ReVision Energy
7 Commercial Drive
Brentwood, NH 03833

Subject: Structural Certification for Installation of Solar Panels
Morales Residence
33 Johnson Court
Portsmouth, NH. 03801

To Whom It May Concern,

A design check for the subject residence was done on the existing roofing and framing systems for the installation of solar panels over the roof. From a field inspection of the property, the existing roof support structures were observed by the client's auditors as follows:

The roof structure of (MP1) consists of composition shingle over plywood sheathing on 1x decking that is supported by nominal 2x6 rafters @ 24" o.c., paired with nominal 2x6 ceiling joists @ 24" o.c.. The rafters have a max projected horizontal span of 11'-6", with a slope of 30 degrees. The rafters are connected at the ridge to a continuous 1x8 ridge board and are supported at the eave by a load bearing wall. There are 2x4 vertical struts at 48" o.c. that connect the ridge to the ceiling joists.

The roof structure of (MP2) consists of composition shingle on roof plywood that is supported by nominal 2x8 rafters @ 16" o.c., paired with nominal 2x6 ceiling joists @ 16" o.c.. The rafters have a max projected horizontal span of 8'-8", with a slope of 30 degrees. The rafters are connected at the ridge to a continuous 2x12 ridge board and are supported at the eave by a load bearing wall.

The existing roof framing system of (MP1) is judged to be inadequate to withstand the loading imposed by the installation of the solar panels. Structural reinforcement is required. Sister upgrade is required for (MP1). Stitch new 10'-0" long 2x6 SPF#2 or DF#2 (min) to existing member with Simpson SDW 22300 screws @ 16" o.c. or 10d nails @ 6" o.c..

The existing roof framing system of (MP2) is judged to be adequate to withstand the loading imposed by the installation of the solar panels. No reinforcement is necessary.

The spacing of the solar standoffs should be kept at 48" o.c. with a staggered pattern to ensure proper distribution of loads in wind zones 1 and 2, and less than 32" o.c. in wind zone 3. For composition shingle roofs, each standoff shall have (1) #14 x 4" L roofing screw connecting to the rafters, or (6) #14 x 3" L roofing screws connecting to the roof sheathing.

I further certify that all applicable loads required by the codes and design criteria listed below were applied to the Ironridge solar rail system and analyzed by the manufacturer. Furthermore, the installation crews have been thoroughly trained to install the solar panels based on the specific roof installation instructions developed by Ironridge for the racking system and Ironridge for the roof connections. Finally, I accept the certifications indicated by the solar panel manufacturer for the ability of the panels to withstand high wind and snow loads.

Design Criteria:

- Applicable Codes = 2018 IBC/IRC, ASCE 7-16, and 2015 NDS
- Roof Dead Load = 10.8 psf (MP1) -- 8.77 psf (MP2)
- Roof Live Load = 20 psf



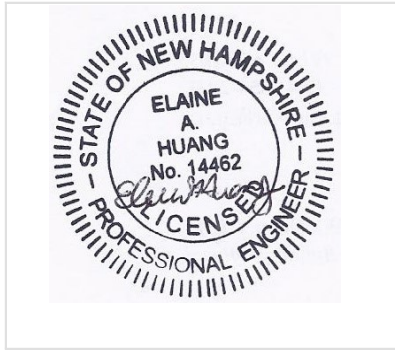
EAH Structural Consulting
11 Ponybrook Lane
Lexington, MA 02421
PHONE 1.978.406.8921
Elaine@EAHstructural.com

- Wind Speed = 125 mph, Exposure C
- Ground Snow Load = 50 psf - Roof Snow Load = 38.5 psf

Please contact me with any further questions or concerns regarding this project.

Sincerely,

Elaine Huang, P.E.
Project Engineer



Gravity Loading

Roof Snow Load Calculations		
p_g = Ground Snow Load =	50 psf	
$p_f = 0.7 C_e C_t I p_g$		(ASCE7 - Eq 7.3-1)
C_e = Exposure Factor =	1	(ASCE7 - Table 7.3-1)
C_t = Thermal Factor =	1.1	(ASCE7 - Table 7.4-1)
I = Importance Factor =	1	
p_f = Flat Roof Snow Load =	38.5 psf	
$p_s = C_s p_f$		(ASCE7 - Eq 7.4-1)
C_s = Slope Factor =	1	
p_s = Sloped Roof Snow Load =	38.5 psf	

PV Dead Load = 4 psf (Per ReVision Energy)

Roof Dead Load (MP1)		
Composition Shingle	2.50	
1x Decking	3.00	
Double 2x6 Rafters @ 24"o.c.	2.30	
Vaulted Ceiling	0.00	(Ceiling Not Vaulted)
Miscellaneous	3.00	
Total Roof DL (MP1)	10.8 psf	
DL Adjusted to 30 Degree Slope	12.5 psf	

Roof Dead Load (MP2)		
Composition Shingle	2.50	
Roof Plywood	2.00	
2x8 Rafters @ 16"o.c.	2.27	
Vaulted Ceiling	0.00	(Ceiling Not Vaulted)
Miscellaneous	2.00	
Total Roof DL (MP2)	8.8 psf	
DL Adjusted to 30 Degree Slope	10.13	

Wind Calculations

Per ASCE 7-16 Chapter 29.4

Input Variables		
Wind Speed	125 mph	Ultimate
Exposure Category	C	
Roof Shape	gable	
Roof Slope	30 degrees	
Mean Roof Height	25 ft	
Building Least Width	40 ft	
Effective Wind Area	21.2 ft	

Design Wind Pressure Calculations	
Wind Pressure $P = qh \cdot (G \cdot C_p) \cdot r_E \cdot r_a$	(Eq_29.4-7)
$qh = 0.00256 \cdot K_z \cdot K_{zt} \cdot K_d \cdot K_e \cdot V^2 \cdot I$	(Eq_26.10-1)
K_z (Exposure Coefficient) = 0.94	(Table 26.10-1)
K_{zt} (topographic factor) = 1	(Fig. 26.8-1)
K_d (Wind Directionality Factor) = 0.85	(Table 26.6-1)
V (Design Wind Speed) = 125 mph	
I Importance Factor = 1	(Table 1.5-1)
$qh = 31.96$	
$r_E = 1.00$	(Fig. 29.4-7)
$r_a = 0.75$	(Fig. 29.4-8)

Standoff Uplift Calculations					
	Zone 1	Zone 2	Zone 3	Positive	
$G_{Cp} =$	-1.50	-1.80	-2.20	0.80	(Fig. 30.4-2)
Uplift Pressure =	-35.96 psf	-43.15 psf	-52.73 psf	25.6 psf	
0.6 x Uplift Pressure	-21.57 psf	-25.89 psf	-31.64 psf		(ASCE-7 2.4.1.7)
X Standoff Spacing =	4.00	4.00	2.67		
Y Standoff Spacing =	3.25	3.25	3.25		
Tributary Area =	13.00	13.00	8.68		
Footing Uplift =	-280 lb	-337 lb	-275 lb		

Standoff Uplift Check	
Maximum Design Uplift =	-337 lb
Standoff Uplift Capacity =	400 lb
400 lb capacity > 337 lb demand	Therefore, OK

Fastener Uplift Capacity Check	
Fastener =	1 - 5/16" dia Lag
Number of Fasteners =	1
Embedment Depth =	2.5
Pullout Capacity Per Inch =	205 lb (NDS Eq 12.2-1)
Fastener Capacity =	513 lb (NDS Eq 11.3-1)
w/ F.S. of 1.0 =	513 lb
513 lb capacity > 337 lb demand	Therefore, OK

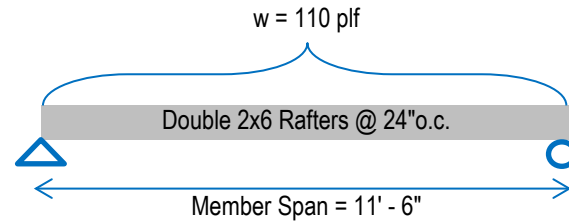
Framing Check

(MP1)

PASS - With Framing Upgrades

Dead Load 12.5 psf
 PV Load 4.0 psf
 Snow Load 38.5 psf

Governing Load Combo = DL + SL
Total Load 55.0 psf



Member Properties - Based on Upgraded Section

Member Size	S (in ³)	I (in ⁴)	Lumber Sp/Gr	Member Spacing
Double 2x6	15.13	41.59	HF#1	@ 24"o.c.

Check Bending Stress

$$F_b \text{ (psi)} = f_b \times C_d \times C_f \times C_r \quad \text{(NDS Table 4.3.1)}$$

$$975 \times 1.15 \times 1.3 \times 1.15$$
 Allowed Bending Stress = 1676.2 psi

Maximum Moment = $(wL^2) / 8$
 = 1817.47 ft#
 = 21809.7 in#
 Actual Bending Stress = (Maximum Moment) / S
 = 1442 psi

Allowed > Actual -- 86.1% Stressed -- Therefore, OK

Check Deflection

Allowed Deflection (Total Load) = $L/180$ (E = 1500000 psi Per NDS)
 = 0.766 in
 Deflection Criteria Based on = Simple Span
 Actual Deflection (Total Load) = $(5 \cdot w \cdot L^4) / (384 \cdot E \cdot I)$
 = 0.694 in
 $L/199 < L/180$ **Therefore OK**

Allowed Deflection (Live Load) = $L/240$
 = 0.575 in
 Actual Deflection (Live Load) = $(5 \cdot w \cdot L^4) / (384 \cdot E \cdot I)$
 = 0.486 in
 $L/284 < L/240$ **Therefore OK**

Check Shear

Member Area = 16.5 in² F_v (psi) = 150 psi (NDS Table 4A)
 Allowed Shear = F_v * A / 1.5 = 1650 lb Max Shear (V) = w * L / 2 = 632 lb

Allowed > Actual -- 38.4% Stressed -- Therefore, OK

PROJECT SUMMARY:

THE PROJECT SCOPE INCLUDES THE DESIGN, SPECIFICATION, PROCUREMENT, INSTALLATION AND COMMISSIONING OF A COMPLETE, TURN-KEY, GRID-TIED PHOTOVOLTAIC ELECTRIC SYSTEM.

MODULE TYPE	(25) Q CELLS Q.PEAK DUO BLK ML-G10+ 410W
INVERTER	(25) ENPHASE IQ8A-72-2-US
OPTIMIZER	N/A
STORAGE SYSTEM	N/A
ARRAY PITCH	30°
ARRAY AZIMUTH	229°
RACKING	BLACK IRONRIDGE XRI00 ALUMINUM RAIL
ATTACHMENT	ECOSFASTEN GREENFASTEN GFI WITH SS 4" X 5/16" LAG SCREWS

AUTHORITIES HAVING JURISDICTION:

BUILDING AUTHORITY	PORTSMOUTH NH
ELECTRICAL AUTHORITY	PORTSMOUTH NH
ZONING/PLANNING AUTHORITY	PORTSMOUTH NH
ELECTRICAL UTILITY	EVERSOURCE

DESIGN CRITERIA:

OCCUPANCY	RESIDENTIAL
DESIGN WIND LOAD	125 MPH
RISK CATEGORY	II
GROUND SNOW LOAD	50 PSF
EXPOSURE CATEGORY	B
ROOF HEIGHT	20' ABOVE GRADE TO EAVES
ROOF COMPOSITION	ASPHALT SHINGLE
RAFTER	MPI 2X6", MPI 2X8"
RAFTER SPACING	MPI 24" OC, MP2 16" OC

SHEET LIST:

G001	TITLE SHEET
E100	SITE PLAN
S100	ROOF MODULE LAYOUT
S200	RAIL CUT SHEET
E400	ONE-LINE DIAGRAM
A200	SAFETY PLAN
E700	STICKER MAP

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH LOCAL AND STATE ORDINANCES AND BUILDING CODES.
2. ELECTRICAL INSTALLATION SHALL COMPLY WITH STATE AND LOCALLY ADOPTED ELECTRICAL CODE.
3. ROOFTOP PENETRATIONS SHALL BE SEALED.
4. ALL EQUIPMENT SHALL BE LISTED AND TESTED BY A RECOGNIZED LABORATORY.
5. MODULE CONNECTORS MUST BE MATCHING BRAND AND TYPE OR BE A UL LISTED ASSEMBLY.
6. SYSTEM SHALL CONFORM TO RAPID SHUTDOWN REQUIREMENTS PER NEC 690.
7. CONDUIT RUNS BETWEEN SUB-ARRAYS, COMBINERS, AND DISCONNECTS SHALL BE INSTALLED IN THE MOST DIRECT ROUTE POSSIBLE.
8. ELECTRICAL EQUIPMENT SHALL BE INSTALLED TO MAINTAIN CLEARANCES REQUIRED BY NEC 110.
9. EQUIPMENT SHALL BE LABELED PER NEC 2020 REQUIREMENTS.
10. ENSURE INVERTER IS SET TO ISO-NE STANDARDS.



REVISION ENERGY

7 COMMERCIAL DRIVE
BRENTWOOD, NH 03833
(603)-679-1777

CLIENT:

ALBERT MORALES
33 JOHNSON CT
PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

FOR CONSTRUCTION

DESIGNED BY: MCF
PRINT SIZE: 11" x 17"
SCALE: NA
DATE: 3/6/2024
DWG TITLE

TITLE SHEET

DWG NUMBER
G001

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PROJECT SUMMARY:

MODULE TYPE	(25) Q CELLS Q.PEAK DUO BLK ML-G10+ 410W
INVERTER	(25) ENPHASE IQ8A-72-2-US
OPTIMIZER	N/A
STORAGE SYSTEM	N/A
ARRAY PITCH	30°
ARRAY AZIMUTH	229°
RACKING	BLACK IRONRIDGE XRI00 ALUMINUM RAIL
ATTACHMENT	ECOSFASTEN GREENFASTEN GFI WITH SS 4" X 5/16" LAG SCREWS

DESIGN CRITERIA:

OCCUPANCY	RESIDENTIAL
DESIGN WIND LOAD	125 MPH
RISK CATEGORY	II
GROUND SNOW LOAD	50 PSF
EXPOSURE CATEGORY	B
ROOF HEIGHT	20' ABOVE GRADE TO EAVES
ROOF COMPOSITION	ASPHALT SHINGLE
RAFTER	MPI 2X6", MPI 2X8"
RAFTER SPACING	MPI 24" OC, MP2 16" OC

EQUIPMENT LOCATIONS:

- INTERIOR:
 MAIN PANEL
 SERVICE DISCONNECT
 PV AC COMBINER PANEL
 PV AC SUPPLY SIDE DISCONNECT
- EXTERIOR:
 UTILITY NET METER
 LOCKABLE PV AC DISCONNECT (RSID)
 PV MODULES AND MICROINVERTERS



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 BRENTWOOD, NH 03833
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SYSTEM TYPE:

10.25KWDC, 8.725KWAC
 GRID TIED SOLAR PV SYSTEM

FOR CONSTRUCTION

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DWG TITLE

SITE PLAN

DWG NUMBER

E100

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CLIENT:

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33 JOHNSON CT
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SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

FOR CONSTRUCTION

DESIGNED BY: MCF

PRINT SIZE: 11" x 17"

SCALE: NA

DATE: 3/6/2024

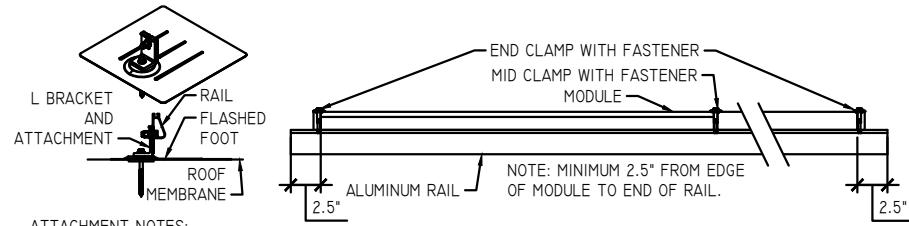
DWG TITLE

ROOF MODULE LAYOUT

DWG NUMBER

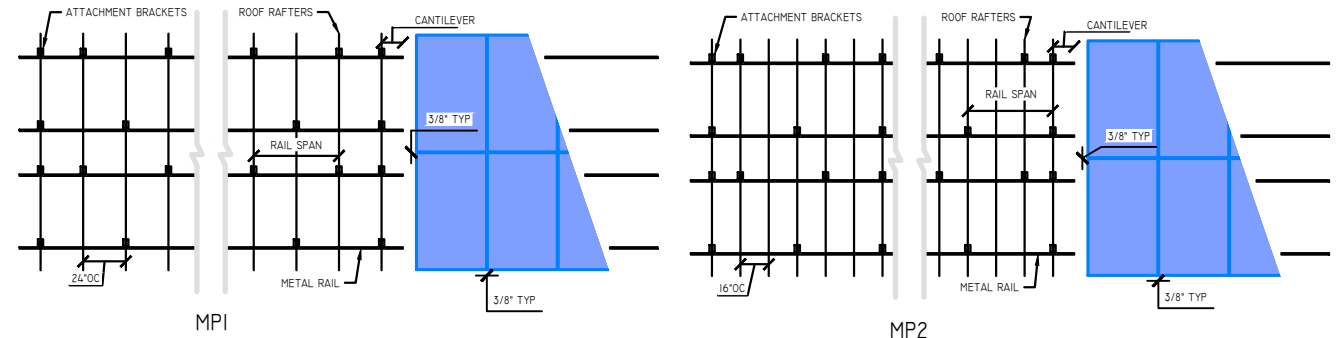
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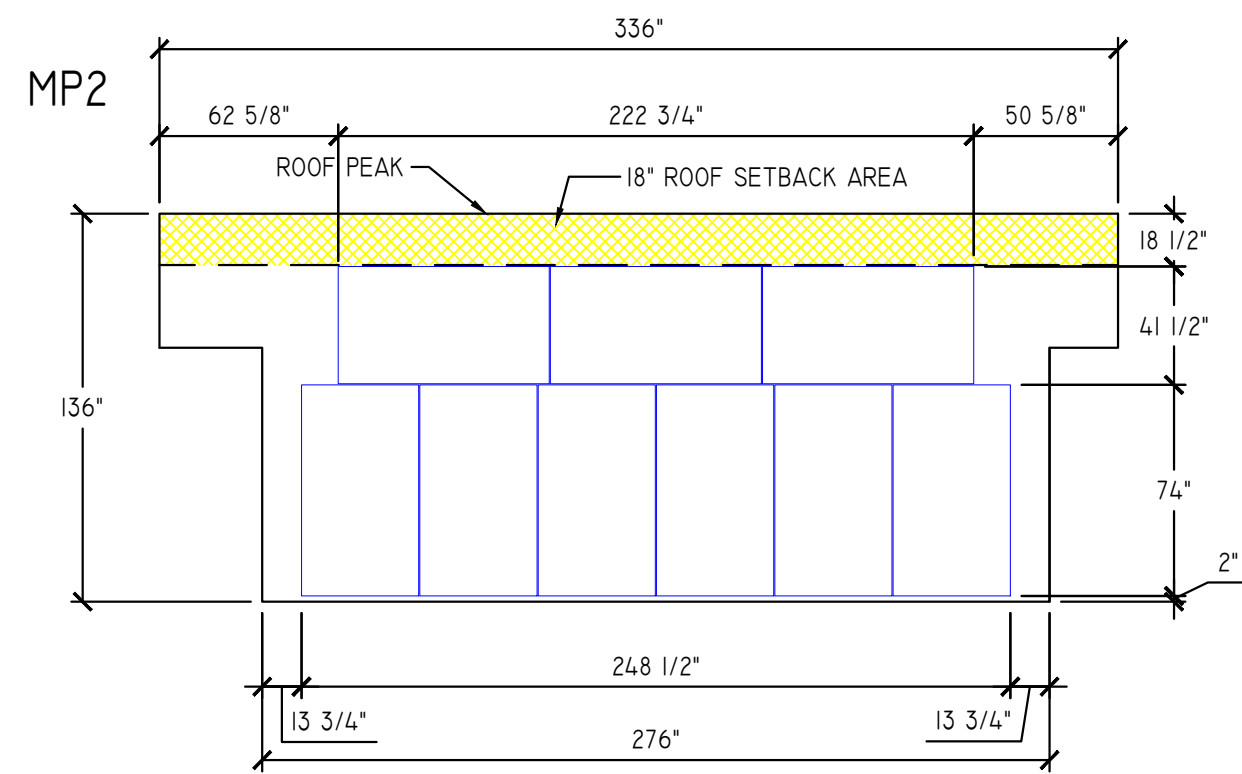
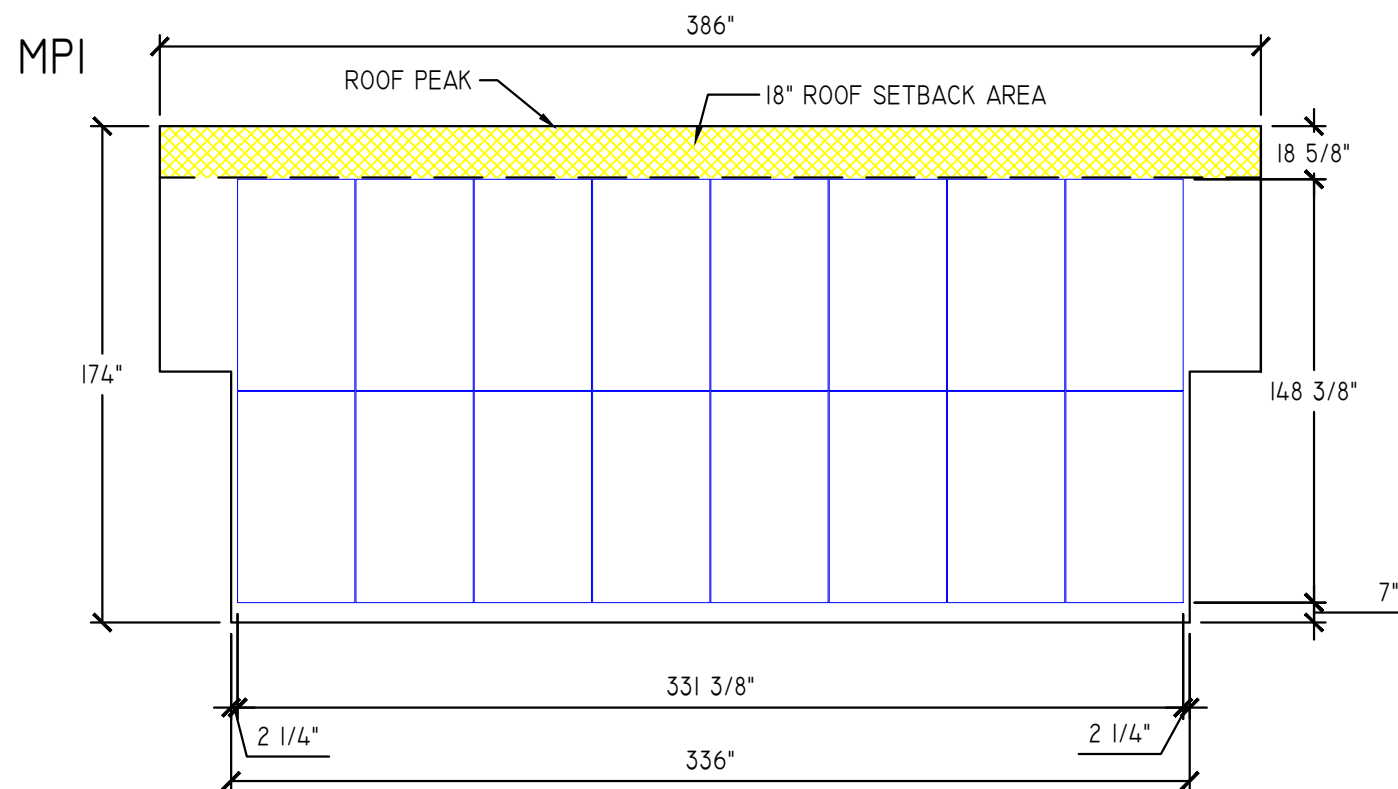
ATTACHMENT NOTES:

1. MAXIMUM RAIL LENGTH IS 100' BEFORE EXPANSION GAP IS REQUIRED.
2. MAXIMUM RAIL SPAN IS TYPICALLY 4'. THIS DISTANCE WILL VARY BASED ON ROOF SLOPE, SNOW LOAD, WIND SPEED, AND EXPOSURE CATEGORY.
3. MAXIMUM RAIL CANTILEVER DISTANCE IS 0.40 X RAIL SPAN.
4. SEAL ALL ATTACHMENT POINTS WITH GEOCELL. SEALS SHALL BE WATERTIGHT BETWEEN THE ATTACHMENT BRACKETS, ROOF MATERIAL AND STRUCTURAL MEMBERS.
5. ROOF ATTACHMENTS SHALL BE STAGGERED FOR EVEN DISTRIBUTION OF LOAD ON ROOF RAFTERS.
6. CLEARANCE BETWEEN THE ROOF AND THE BOTTOM OF THE MODULES SHALL BE A MINIMUM OF 2"



ATTACHMENT SPACING BY ROOF ZONE			
ZONE #	ZONE 1	ZONE 2	ZONE 3
MAX. RAIL SPAN (IN.)	48	48	MPI 24, MP2 32
MAX. CANTILEVER (IN.)	19.2	19.2	19.2

A
N.T.S. ROOF ATTACHMENT AND SPACING DETAILS

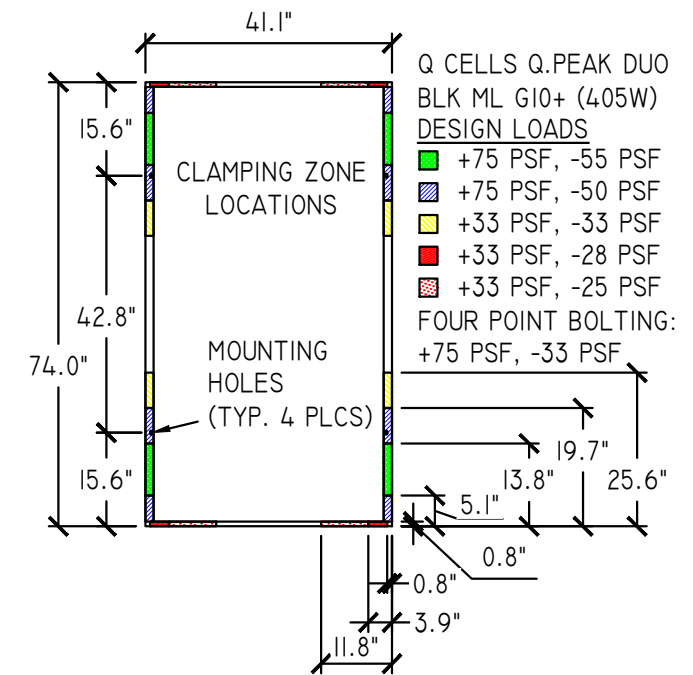
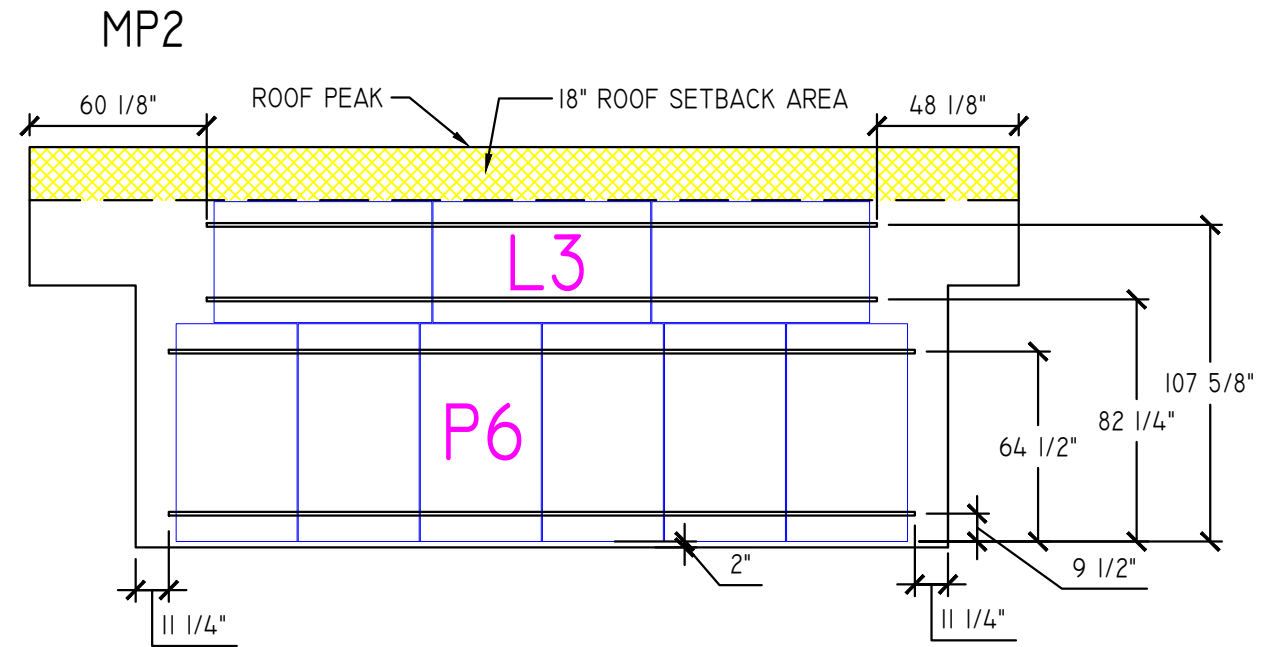
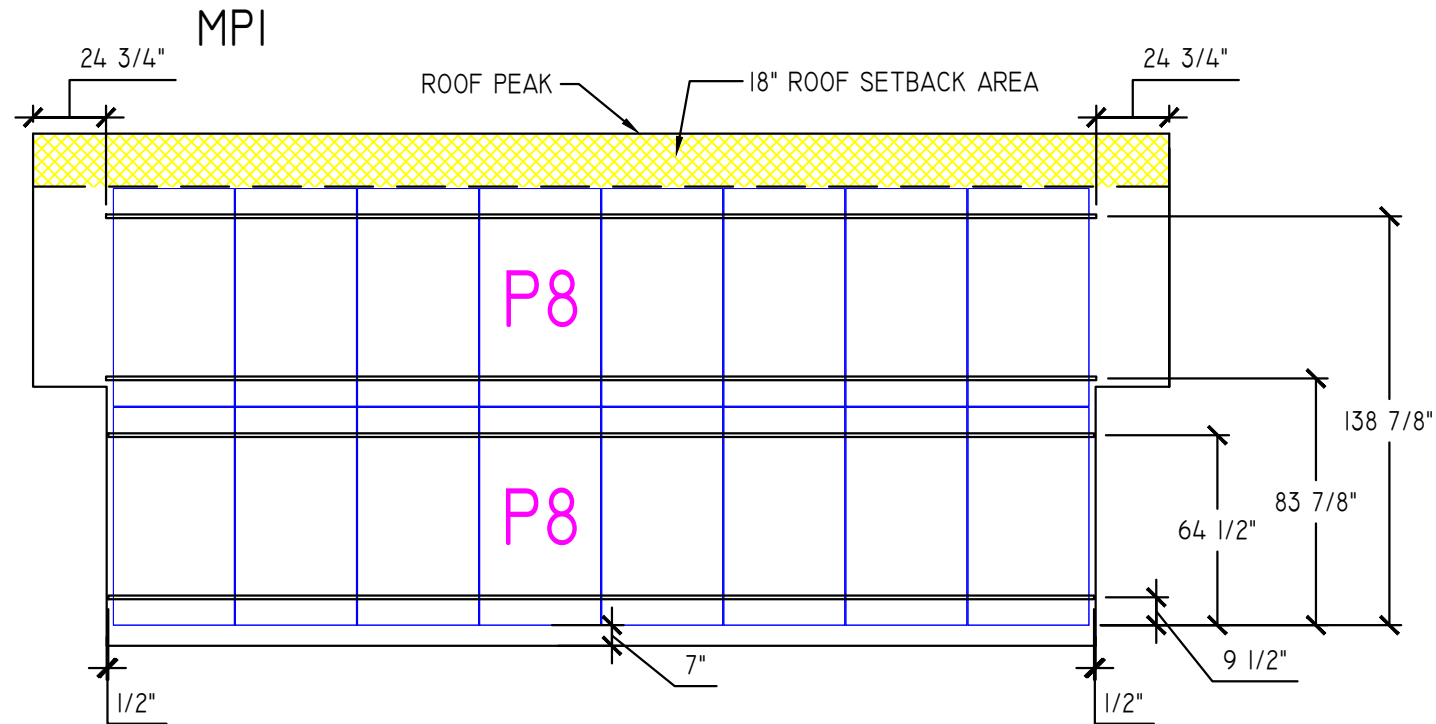


SUMMARY			
TYPE	PRODUCT	DIMENSIONS	QUANTITY
MODULE:	Q CELLS Q.PEAK DUO BLK ML-G10+ 410W	41.14IN x 73.98IN x 32MM	25
RAIL:	IRON RIDGE XRI00 - 17'	204 IN	(8) FULL (8) CUT
FASTENERS:	IRON RIDGE UFO	0.375 IN	60 MIN

INVERTER	WATTS / STRING	MAX MODS PER STRING
ENPHASE IQ8A-72-2-US	N/A	11

RAIL LENGTH										
RAIL SECTION TAG	NUMBER OF RAIL SECTIONS	QTY OF PANELS IN SECTION	RAFTER SPACING	MODULE ORIENTATION	RAIL ORIENTATION	RAIL LENGTH (IN)	FULL STICKS	CUT PIECE (IN)		
P6	2	6	16"	PORTRAIT	HORIZONTAL	253 3/4	1	(1)	49 3/4	
P8	4	8	24"	PORTRAIT	HORIZONTAL	336 3/4	1	(1)	132 3/4	
L3	2	4	16"	LANDSCAPE	HORIZONTAL	302	1	(1)	98	

CUT LIST	
RAIL LENGTH (IN)	QTY
FULL (17')	8
49 3/4	2
132 3/4	4
98	2



REVISION ENERGY

7 COMMERCIAL DRIVE
BRENTWOOD, NH 03833
(603)-679-1777

CLIENT:

ALBERT MORALES
33 JOHNSON CT
PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

FOR CONSTRUCTION

DESIGNED BY: MCF

PRINT SIZE: 11" x 17"

SCALE: NA

DATE: 3/6/2024

DWG TITLE

RAIL CUT SHEET

DWG NUMBER

S200

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A U T H O R I T I E S .



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7 COMMERCIAL DRIVE
BRENTWOOD, NH 03833
(603)-679-1777

CLIENT:

ALBERT MORALES
33 JOHNSON CT
PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

MODULE SPECIFICATIONS		
Q CELLS Q.PEAK DUO BLK ML-G10+ 410W QTY 25		
STC RATING	410	W
Vmp	38.48	V
Imp	10.65	A
Voc	45.31	V
Isc	11.11	A
TEMP COEFF. Voc	-0.27	%/°C

MODULE-LEVEL DC OPTIMIZER SPECIFICATIONS		
QTY		
NOMINAL DC RATING (WATTS)	N/A	W
MAX OUTPUT CURRENT Idc	N/A	A

GRID TIED INVERTER SPECIFICATIONS		
ENPHASE IQ8A-72-2-US QTY 25		
NOMINAL AC RATING (WATTS)	349	W
NOMINAL V _{AC}	240	V
MAX I _{AC}	1.45	A
CEC EFFICIENCY	96.5	%

STICKER CALCULATIONS		
MAXIMUM DC VOLTAGE	N/A	V
MAXIMUM DC CIRCUIT CURRENT	N/A	A
RATED AC OUTPUT CURRENT	36.25	A

MONITORING
HOME ROUTER

DESIGN NOTES:

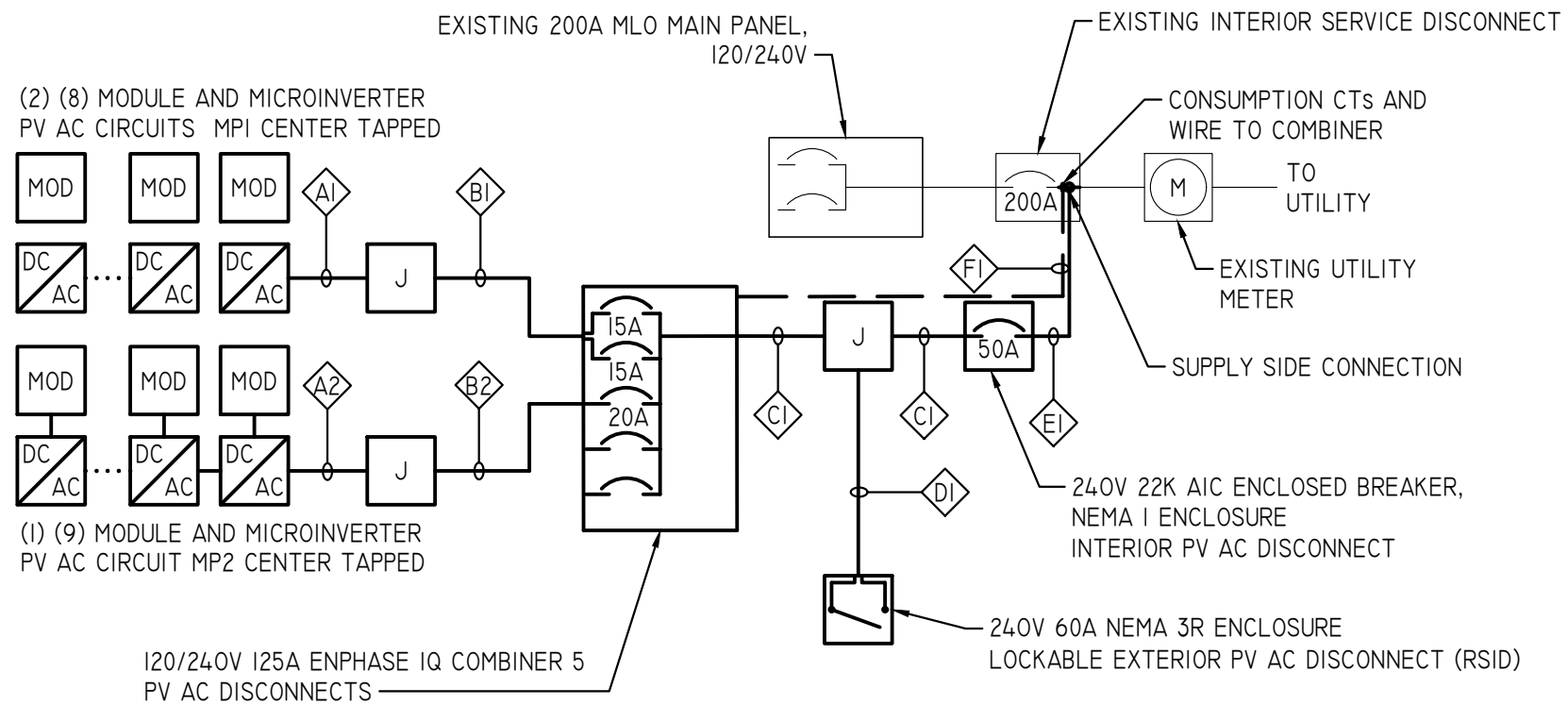
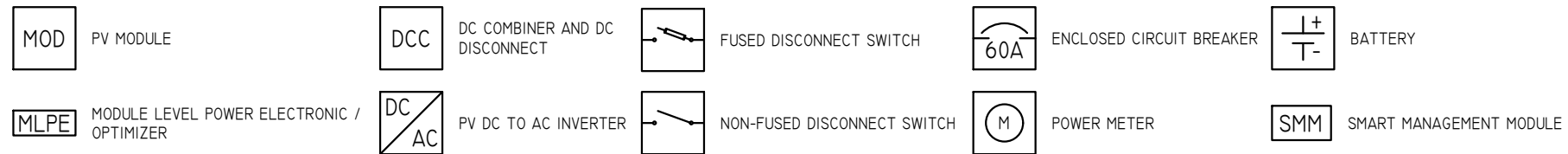
- ALL CONDUCTORS SHALL BE COPPER UNLESS NOTED OTHERWISE.
- SYSTEM VOLTAGE DROP SHALL NOT EXCEED 5%
- LOWEST EXPECTED AMBIENT TEMPERATURE IS BASED ON ASHRAE EXTREME MIN FOR THE SPECIFIED LOCATION.
- AVERAGE HIGH TEMPERATURE IS BASED ON ASHRAE 2% AVG. FOR THE SPECIFIED LOCATION.

LINE TYPES:

— EXISTING
— NEW

WIRING SCHEDULE								
TAG	FROM / TO	CONDUCTORS	WIRE TYPE	LENGTH (FT)	AS BUILT LENGTH (FT)	VOLTAGE DROP	CONDUIT	CONDUIT FILL
A1	MPI PV ARRAY / JUNCTION BOX	L:(4) #12 G:(1) #6	Q-CABLE, PORT	25		0.15%		
B1	JUNCTION BOX / ENPHASE IQ COMBINER PANEL	L:(4) #10 G:(1) #10	THWN-2 600V CU	70		0.81%	3/4" EMT	20%
A2	MP2 PV ARRAY / JUNCTION BOX	L:(2) #12 G:(1) #6	Q-CABLE, PORT	20		0.15%		
B2	JUNCTION BOX / ENPHASE IQ COMBINER PANEL	L:(2) #10 G:(1) #10	THWN-2 600V CU	60		0.78%	3/4" EMT	12%
C1	ENPHASE IQ COMBINER PANEL / INTERIOR PV AC DISCONNECT	L:(2) #8 N:(1) #10 G:(1) #10	THWN-2 600V CU	15		0.35%	3/4" EMT	22%
D1	JUNCTION BOX / EXTERIOR PV AC DISCONNECT (RSID)	L:(4) #8 N:(2) #10 G:(1) #10	THWN-2 600V CU	20		0.47%	1" EMT	24%
E1	INTERIOR PV AC DISCONNECT / SUPPLY-SIDE INTERCONNECTION	L:(2) #6 N:(1) #6	THWN-2 600V CU	10		0.15%	3/4" EMT	29%
F1	ENPHASE IQ COMBINER PANEL / SUPPLY-SIDE INTERCONNECTION	L:(2)	CAT 5E	25		0.00%		

SYMBOLS:



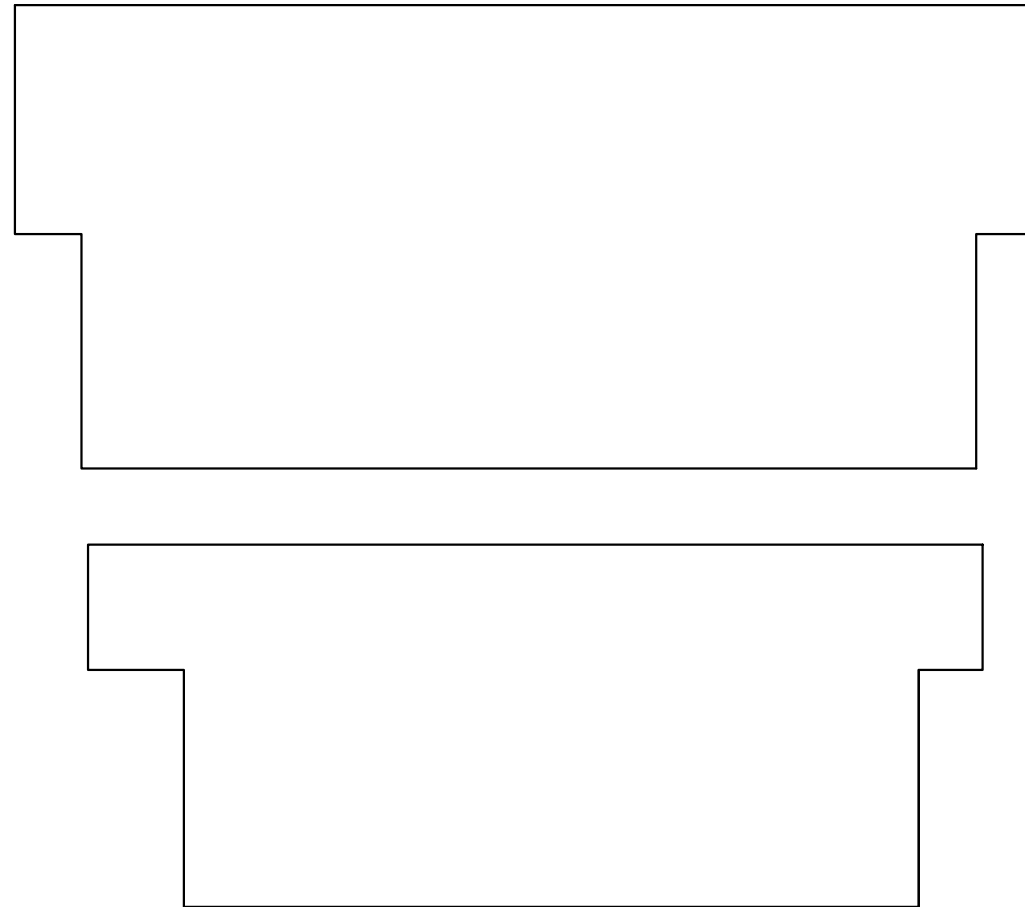
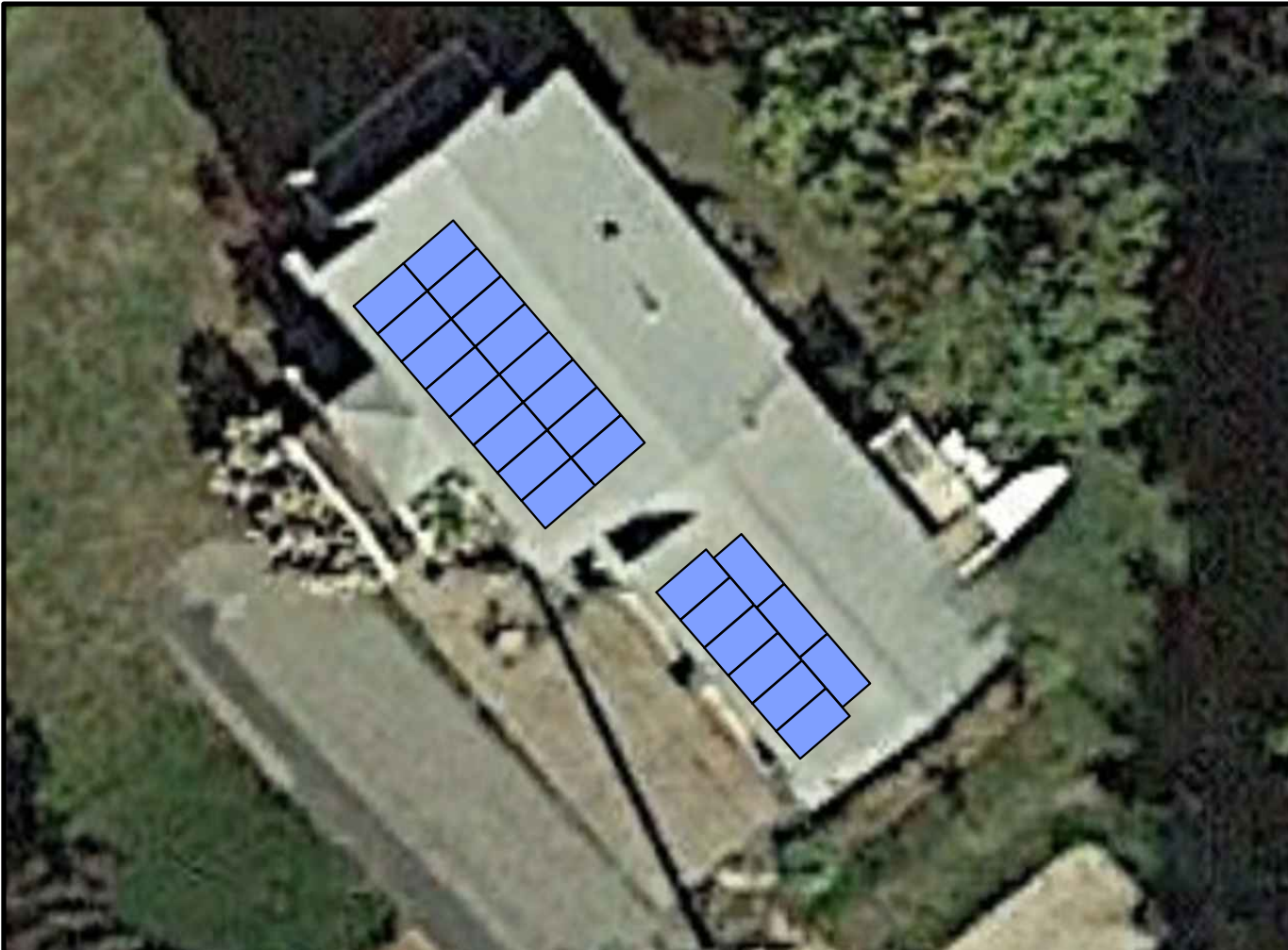
FOR CONSTRUCTION

DESIGNED BY: MCF
PRINT SIZE: 11" x 17"
SCALE: NA
DATE: 3/6/2024
DWG TITLE

ONE LINE DIAGRAM

DWG NUMBER
E400

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SAFETY SHEET NOTES:

1. DRAW IN APPROXIMATE ANCHOR LOCATIONS AND SWING RADIUS
2. DRAW IN APPROXIMATE RESTRICTED ACCESS ZONE(RULE OF THUMB 10' FOR EVERY STORY OF BUILDING)
3. DRAW IN MACHINERY OR PERSONNEL ACCESS PATHS

ANCHOR POINT ATTACHMENT NOTES:

1. ANCHOR POINTS REQUIRING FASTENERS MUST BE INSTALLED IN TO BUILDING STRUCTURE (RAFTERS OR PURLINS)
2. ANCHOR POINTS TO BE INSTALLED A MINIMUM OF 72" FROM ROOF RAKE
3. MAXIMUM SPACING BETWEEN ANCHOR POINTS IS 96"
4. LEAVE BEHIND ANCHOR TO BE INSTALLED UNDER TOP LEFT AND TOP RIGHT PANELS TO FACILITATE SAFE ROOF EXIT
5. 3 MINIMUM ANCHORS PER ROOF
6. ANCHOR POINTS 1:1 (ONE PERSON PER ANCHOR POINT AT A TIME)
7. WORK IS TO BE DONE WHILE WITHIN 30 DEGREES OF ANCHOR



REVISION ENERGY

7 COMMERCIAL DRIVE
BRENTWOOD, NH 03833
(603)-679-1777

CLIENT:

ALBERT MORALES
33 JOHNSON CT
PORTSMOUTH NH, 03801

SYSTEM TYPE:

10.25KWDC, 8.725KWAC
GRID TIED SOLAR PV
SYSTEM

FOR CONSTRUCTION

DESIGNED BY: MCF

PRINT SIZE: 11" x 17"

SCALE: NA

DATE: 3/6/2024

DWG TITLE

SAFETY PLAN

DWG NUMBER

A200

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Q.PEAK DUO BLK ML-G10+ SERIES



385-410 Wp | 132 Cells
20.9% Maximum Module Efficiency

MODEL Q.PEAK DUO BLK ML-G10+



6 busbar
cell technology



12 busbar
cell technology



Breaking the 20% efficiency barrier

Q.ANTUM DUO Z Technology with zero gap cell layout boosts module efficiency up to 20.9%.



A reliable investment

Inclusive 25-year product warranty and 25-year linear performance warranty¹.



Enduring high performance

Long-term yield security with Anti LeTID Technology, Anti PID Technology² and Hot-Spot Protect.



Extreme weather rating

High-tech aluminium alloy frame, certified for high snow (5400 Pa) and wind loads (4000 Pa).



Innovative all-weather technology

Optimal yields, whatever the weather with excellent low-light and temperature behaviour.



The most thorough testing programme in the industry

Qcells is the first solar module manufacturer to pass the most comprehensive quality programme in the industry: The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.

¹ See data sheet on rear for further information.

² APT test conditions according to IEC/TS 62804-1:2015, method A (-1500V, 96h)

The ideal solution for:



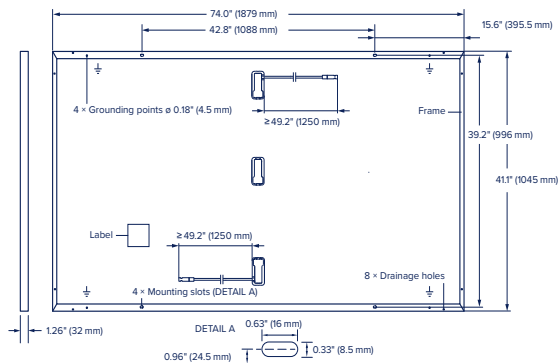
Rooftop arrays on
residential buildings



Q.PEAK DUO BLK ML-G10+ SERIES

Mechanical Specification

Format	74.0 in × 41.1 in × 1.26 in (including frame) (1879 mm × 1045 mm × 32 mm)
Weight	48.5 lbs (22.0 kg)
Front Cover	0.13 in (3.2 mm) thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodised aluminium
Cell	6 × 22 monocrystalline Q.ANTUM solar half cells
Junction box	2.09-3.98 in × 1.26-2.36 in × 0.59-0.71 in (53-101 mm × 32-60 mm × 15-18 mm), IP67, with bypass diodes
Cable	4 mm ² Solar cable; (+) ≥ 49.2 in (1250 mm), (-) ≥ 49.2 in (1250 mm)
Connector	Stäubli MC4; IP68

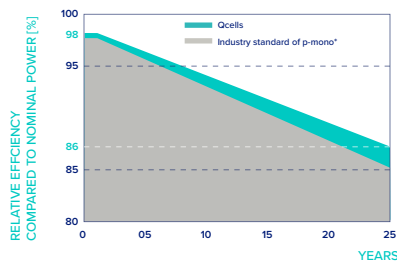


Electrical Characteristics

POWER CLASS		385	390	395	400	405	410	
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC ¹ (POWER TOLERANCE +5 W/-0 W)								
Minimum	Power at MPP ¹	P_{MPP} [W]	385	390	395	400	405	410
	Short Circuit Current ¹	I_{SC} [A]	11.04	11.07	11.10	11.14	11.17	11.20
	Open Circuit Voltage ¹	V_{OC} [V]	45.19	45.23	45.27	45.30	45.34	45.37
	Current at MPP	I_{MPP} [A]	10.59	10.65	10.71	10.77	10.83	10.89
	Voltage at MPP	V_{MPP} [V]	36.36	36.62	36.88	37.13	37.39	37.64
	Efficiency ¹	η [%]	≥ 19.6	≥ 19.9	≥ 20.1	≥ 20.4	≥ 20.6	≥ 20.9
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT ²								
Minimum	Power at MPP	P_{MPP} [W]	288.8	292.6	296.3	300.1	303.8	307.6
	Short Circuit Current	I_{SC} [A]	8.90	8.92	8.95	8.97	9.00	9.03
	Open Circuit Voltage	V_{OC} [V]	42.62	42.65	42.69	42.72	42.76	42.79
	Current at MPP	I_{MPP} [A]	8.35	8.41	8.46	8.51	8.57	8.62
	Voltage at MPP	V_{MPP} [V]	34.59	34.81	35.03	35.25	35.46	35.68

¹Measurement tolerances $P_{MPP} \pm 3\%$; I_{SC} ; $V_{OC} \pm 5\%$ at STC: 1000 W/m², 25 ± 2°C, AM 1.5 according to IEC 60904-3 • ²800 W/m², NMOT, spectrum AM 1.5

Qcells PERFORMANCE WARRANTY

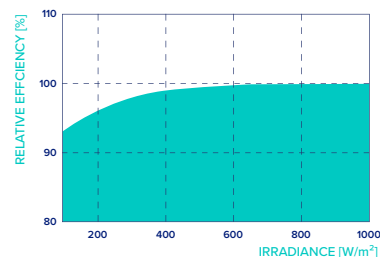


At least 98% of nominal power during first year. Thereafter max. 0.5% degradation per year. At least 93.5% of nominal power up to 10 years. At least 86% of nominal power up to 25 years.

All data within measurement tolerances. Full warranties in accordance with the warranty terms of the Qcells sales organisation of your respective country.

¹Standard terms of guarantee for the 5 PV companies with the highest production capacity in 2021 (February 2021)

PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25°C, 1000 W/m²).

TEMPERATURE COEFFICIENTS

Temperature Coefficient of I_{SC}	α [%/K]	+0.04	Temperature Coefficient of V_{OC}	β [%/K]	-0.27
Temperature Coefficient of P_{MPP}	γ [%/K]	-0.34	Nominal Module Operating Temperature	NMOT [°F]	109 ± 5.4 (43 ± 3°C)

Properties for System Design

Maximum System Voltage	V_{SYS} [V]	1000 (IEC)/1000 (UL)	PV module classification	Class II
Maximum Series Fuse Rating	[A DC]	20	Fire Rating based on ANSI/UL 61730	TYPE 2
Max. Design Load, Push/Pull ³	[lbs/ft ²]	75 (3600 Pa)/55 (2660 Pa)	Permitted Module Temperature on Continuous Duty	-40°F up to +185°F (-40°C up to +85°C)
Max. Test Load, Push/Pull ³	[lbs/ft ²]	113 (5400 Pa)/84 (4000 Pa)		

³ See Installation Manual

Qualifications and Certificates

UL 61730, CE-compliant, Quality Controlled PV - TÜV Rheinland, IEC 61215:2016, IEC 61730:2016, U.S. Patent No. 9,893,215 (solar cells),



Qcells pursues minimizing paper output in consideration of the global environment.

Note: Installation instructions must be followed. Contact our technical service for further information on approved installation of this product.
Hanwha Q CELLS America Inc. 400 Spectrum Center Drive, Suite 1400, Irvine, CA 92618, USA | TEL +1 949 748 59 96 | EMAIL hqc-inquiry@qcells.com | WEB www.qcells.com

qcells

IQ8 Series Microinverters

INPUT DATA (DC)		IQ8-60-2-US	IQ8PLUS-72-2-US	IQ8M-72-2-US	IQ8A-72-2-US	IQ8H-240-72-2-US	IQ8H-208-72-2-US ¹
Commonly used module pairings ²	W	235 – 350	235 – 440	260 – 460	295 – 500	320 – 540+	295 – 500+
Module compatibility		60-cell/120 half-cell	60-cell/120 half-cell, 66-cell/132 half-cell and 72-cell/144 half-cell				
MPPT voltage range	V	27 – 37	29 – 45	33 – 45	36 – 45	38 – 45	38 – 45
Operating range	V	25 – 48	25 – 58				
Min/max start voltage	V	30 / 48	30 / 58				
Max input DC voltage	V	50	60				
Max DC current ³ [module Isc]	A	15					
Overtoltage class DC port		II					
DC port backfeed current	mA	0					
PV array configuration		1x1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit					
OUTPUT DATA (AC)		IQ8-60-2-US	IQ8PLUS-72-2-US	IQ8M-72-2-US	IQ8A-72-2-US	IQ8H-240-72-2-US	IQ8H-208-72-2-US ¹
Peak output power	VA	245	300	330	366	384	366
Max continuous output power	VA	240	290	325	349	380	360
Nominal (L-L) voltage/range ⁴	V	240 / 211 – 264					208 / 183 – 250
Max continuous output current	A	1.0	1.21	1.35	1.45	1.58	1.73
Nominal frequency	Hz	60					
Extended frequency range	Hz	50 – 68					
AC short circuit fault current over 3 cycles	Arms	2					4.4
Max units per 20 A (L-L) branch circuit ⁵		16	13	11	11	10	9
Total harmonic distortion		<5%					
Overtoltage class AC port		III					
AC port backfeed current	mA	30					
Power factor setting		1.0					
Grid-tied power factor (adjustable)		0.85 leading – 0.85 lagging					
Peak efficiency	%	97.5	97.6	97.6	97.6	97.6	97.4
CEC weighted efficiency	%	97	97	97	97.5	97	97
Night-time power consumption	mW	60					
MECHANICAL DATA							
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)					
Relative humidity range		4% to 100% (condensing)					
DC Connector type		MC4					
Dimensions (HxWxD)		212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")					
Weight		1.08 kg (2.38 lbs)					
Cooling		Natural convection – no fans					
Approved for wet locations		Yes					
Pollution degree		PD3					
Enclosure		Class II double-insulated, corrosion resistant polymeric enclosure					
Environ. category / UV exposure rating		NEMA Type 6 / outdoor					
COMPLIANCE							
Certifications		CA Rule 21 (UL 1741-SA), UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01					
		This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.					

(1) The IQ8H-208 variant will be operating in grid-tied mode only at 208V AC. (2) No enforced DC/AC ratio. See the compatibility calculator at <https://link.enphase.com/module-compatibility> (3) Maximum continuous input DC current is 10.6A (4) Nominal voltage range can be extended beyond nominal if required by the utility. (5) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

XR Rail Family

The XR Rail Family offers the strength of a curved rail in three targeted sizes. Each size supports specific design loads, while minimizing material costs. Depending on your location, there is an XR Rail to match.



XR10

XR10 is a sleek, low-profile mounting rail, designed for regions with light or no snow. It achieves 6 foot spans, while remaining light and economical.

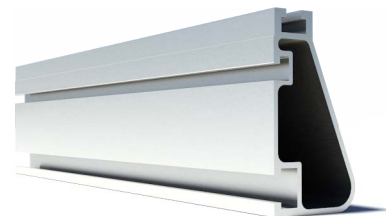
- 6' spanning capability
- Moderate load capability
- Clear anodized finish
- Internal splices available



XR100

XR100 is the ultimate residential mounting rail. It supports a range of wind and snow conditions, while also maximizing spans up to 8 feet.

- 8' spanning capability
- Heavy load capability
- Clear & black anodized finish
- Internal splices available



XR1000

XR1000 is a heavyweight among solar mounting rails. It's built to handle extreme climates and spans 12 feet or more for commercial applications.

- 12' spanning capability
- Extreme load capability
- Clear anodized finish
- Internal splices available

Rail Selection

The following table was prepared in compliance with applicable engineering codes and standards. Values are based on the following criteria: ASCE 7-10, Roof Zone 1, Exposure B, Roof Slope of 7 to 27 degrees and Mean Building Height of 30 ft. Visit IronRidge.com for detailed span tables and certifications.

Load		Rail Span					
Snow (PSF)	Wind (MPH)	4'	5' 4"	6'	8'	10'	12'
None	100	XR10		XR100		XR1000	
	120						
	140						
	160						
10-20	100					XR1000	
	120						
	140						
	160						
30	100						
	160						
40	100						
	160						
50-70	160						
80-90	160						

Project Address: 66 SOUTH STREET, UNIT #2
Permit Requested: CERTIFICATE OF APPROVAL
Application: PUBLIC HEARING 3

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential/Condominium
- Land Area: 4,750 SF +/-
- Estimated Age of Structure: c.1820
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: South Street
- Unique Features: Rear unit of the Condominium Building
- Neighborhood Association: South End



B. Proposed Work: To replace the remaining siding and windows on the unit with Matthews Brothers Windows and Hardie Siding and to replace a fence that as been damaged.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- This property received approval to replace a small portion of siding at the rear of the unit and to replace an existing doorway with a window and replace an existing picture window with a French door system.



D. Purpose and Intent:

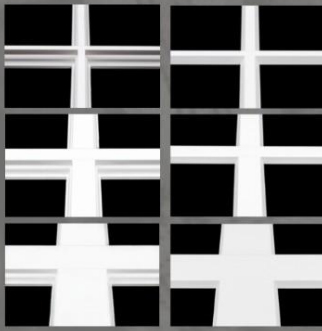
1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

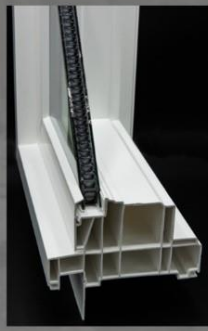
1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



Historic Accuracy/Patented Design



Our Patented 1854 external Ovolo sticking (left column) and internal Historic Putty Bead (right column) muntin bars are available in 3/8", 1 1/8" and 2 1/4".



Historic Putty Bead (internal) and Ovolo sticking (external) are incorporated into the Casement Frame and Sash profiles for 3/4" Glazed windows.



Historic accuracy is maintained with the joinery of our 5/4 x 3/8" Flat (left) Staff Bead Bricknould (above), or 4 1/2" Banded (below) with our Historic Sill Nose.



Our Patented Sash Glazed Double Hung Picture Window provides the exact same sight lines maintained within the same glass planes as our operable Double Hung units. This provides an aesthetic improvement over current window designs. Our Historic 1854 Ovolo Sticking (on 3/4" glazed sash), Putty Bead contours as well as the radius edge on the Sill Dam maintain the historic accuracy. With Performance Grade 50 ratings the Sanford Hills is as rugged as it is beautiful.



A wise man once said, "When you set out to design a window, start with the screen." We took this advice to heart and came up with a screen design so breakthrough, it's patented. This is, quite simply, the best window screen design on the market, whether it's for Double Hung or Casement.

Double-Hung Windows

Traditional, classic, durable — double-hungs give you all of that plus energy efficiency and peace of mind. Top and bottom sash operate smoothly allowing you to control air flow, and they both tilt-in for easy cleaning and care. Grilles can be added to further enhance the traditional look of your home.



Used singly, or factory mullied with transoms or other fixed or hung units to add a dramatic accent to your home's appearance, while providing a brighter, more open interior.

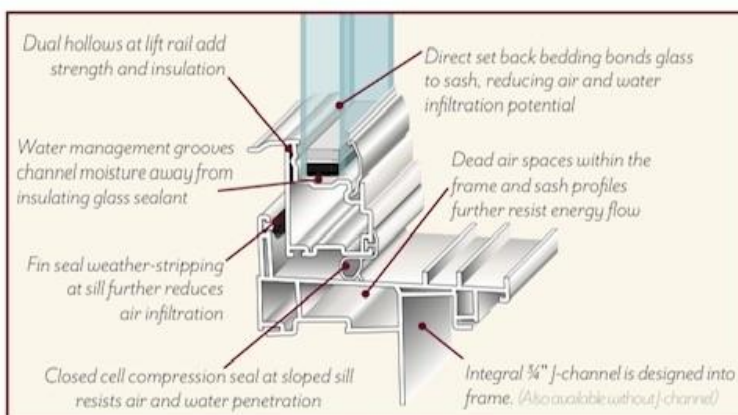
Single-Hung Windows

Our single-hung windows are built with a fixed top sash, while the lower sash moves up and down to allow ventilation.

In addition, the bottom sash conveniently tilts-in for easy cleaning.



Structural interlock at meeting rails provides an additional layer of protection and weather resistance.





Actual Mathews Brothers window approved at 12/13/23 HDC meeting



Mathews Brothers

Tel:
Fax:
Email:



Customer
QUOTATION

BILL TO:

SHIP TO:

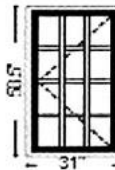
QUOTE #	STATUS	CUSTOMER PO#	DATE QUOTED
684206	None		4/10/2024 10:50:07 AM
QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Stott Kenny		66 South Street PHASE II	KS-Amarosa PHASE II

LINE #	QTY	SUB-LINES
--------	-----	-----------

100

1 X

2



LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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100-1

1 X

\$1,369.25

\$894.55

\$1,789.10

Sanford Hills Dual Pane Casement
 31 X 58.5 Unit Size, Left Operating, Black Interior,
 Extruded White Exterior Frame, Black Exterior Sash, Dual
 Pane Low E Argon, PG65, 12 Lite Contoured GBG, Black
 Int/Black Ext Grille in Airspace, Special Hinge, 21.5 X
 51.625 Clear Opening, 7.707 SQFT, No Window Opening
 Control Device, Black Handle & Lock, Fiberglass Mesh
 Black Screen Shipped Loose
 w/J-Channel, 3-1/2" Flat Matches Exterior Frame Color, w/
 Nailing Fin, w/Historical Sill Nose, w/ Installation Screws
 Unit 1: UFactor: 0.24, SHG: 0.22, VLT: 0.42, CR: 61



Opening: 31.5" X 59"
 O.S.M.: 31" X 58.5"

Tag: EGRESS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
--------	-------------	-----	------------	-----------	-------------

100-2 Screen1

1 X

\$0.00

\$0.00

\$0.00

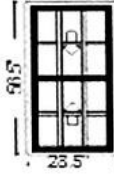
Fiberglass Mesh Black Insert Screen Shipped Loose

Opening: 0" X 0"
 O.S.M.:

Tag: None Assigned

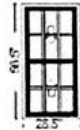
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684206	None		4/10/2024 10:50:07 AM
QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Stott Kenny		66 South Street PHASE II	KS-Amarosa PHASE II

LINE #	QTY	SUB-LINES
200	4	2



LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
200-1		5	\$1,179.91	\$770.86	\$3,083.44

Sanford Hills Dual Pane Double Hung
 28.5 X 56.5 Unit Size, Black Interior, Extruded White
 Exterior Frame, Black Exterior Sash, Exterior Pocket Cover,
 Dual Pane Low E Argon, PG50, 6/6 Lite Contoured GBG,
 Black Int/Black Ext Grille in Airspace, No Lift Rail, 23.187
 X 23.25 Clear Opening, 3.743 SQFT, Hidden Tilt Latch,
 Dual Black Robo-Tilt Lock, No Window Opening Control
 Device, Fiberglass Mesh White Half Screen Shipped Loose
 w/J-Channel, 3-1/2" Flat Matches Exterior Frame Color, w/
 Nailing Fin, w/Historical Sill Nose, w/ Installation Screws
 Unit 1: UFactor: 0.27, SHG: 0.27, VLT: 0.5, CR: 58



Opening: 29" X 57"
 O.S.M.: 28.5" X 56.5"

Tag: None Assigned

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
200-2	Screen1	5	\$0.00	\$0.00	\$0.00

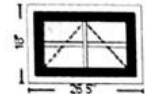
Insert Half Screen Shipped Loose

Opening: 0" X 0"
 O.S.M.:

Tag: None Assigned

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
300-1		2	\$902.37	\$589.53	\$1,179.06

Sanford Hills Dual Pane Awning
 26.5 X 18 Unit Size, Operating, Black Interior, Extruded
 White Exterior Frame, Black Exterior Sash, Dual Pane Low
 E Argon, PG80, 4 Lite Contoured GBG, Black Int/Black Ext
 Grille in Airspace, Black Handle & Lock, Fiberglass Mesh
 Black Screen Applied
 w/J-Channel, 3-1/2" Flat Matches Exterior Frame Color, w/
 Nailing Fin, w/Historical Sill Nose, w/ Installation Screws
 Unit 1: UFactor: 0.24, SHG: 0.22, VLT: 0.42, CR: 59

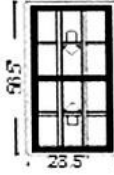


Opening: 27" X 18.5"
 O.S.M.: 26.5" X 18"

Tag: None Assigned

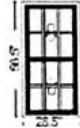
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Stott Kenny		66 South Street PHASE II	KS-Amarosa PHASE II

LINE #	QTY	SUB-LINES
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 Black Int/Black Ext Grille in Airspace, No Lift Rail, 23.187
 X 23.25 Clear Opening, 3.743 SQFT, Hidden Tilt Latch,
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 Device, Fiberglass Mesh White Half Screen Shipped Loose
 w/J-Channel, 3-1/2" Flat Matches Exterior Frame Color, w/
 Nailing Fin, w/Historical Sill Nose, w/ Installation Screws
 Unit 1: UFactor: 0.27, SHG: 0.27, VLT: 0.5, CR: 58



Opening: 29" X 57"
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Tag: None Assigned

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
200-2	Screen1	5	\$0.00	\$0.00	\$0.00

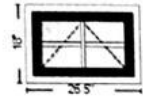
Insert Half Screen Shipped Loose

Opening: 0" X 0"
 O.S.M.:

Tag: None Assigned

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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 O.S.M.: 26.5" X 18"

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QUOTE #	STATUS	CUSTOMER PO#	DATE QUOTED
684206	None		4/10/2024 10:50:07 AM
QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Stott Kenny		66 South Street PHASE II	KS-Amarosa PHASE II

All Prices are net. Please review all quantities, specifications, and information for accuracy. Special orders can not be returned for credit. Signature implies acceptance of these specifications. Your order will not be processed without authorized signature.

SUB-TOTAL:	\$11,026.67
LABOR:	\$0.00
FREIGHT:	\$0.00
SALES TAX:	\$0.00
TOTAL:	\$11,026.67

Thank you for all of your efforts!

CUSTOMER SIGNATURE _____ DATE _____

We appreciate the opportunity to provide you with this quote!



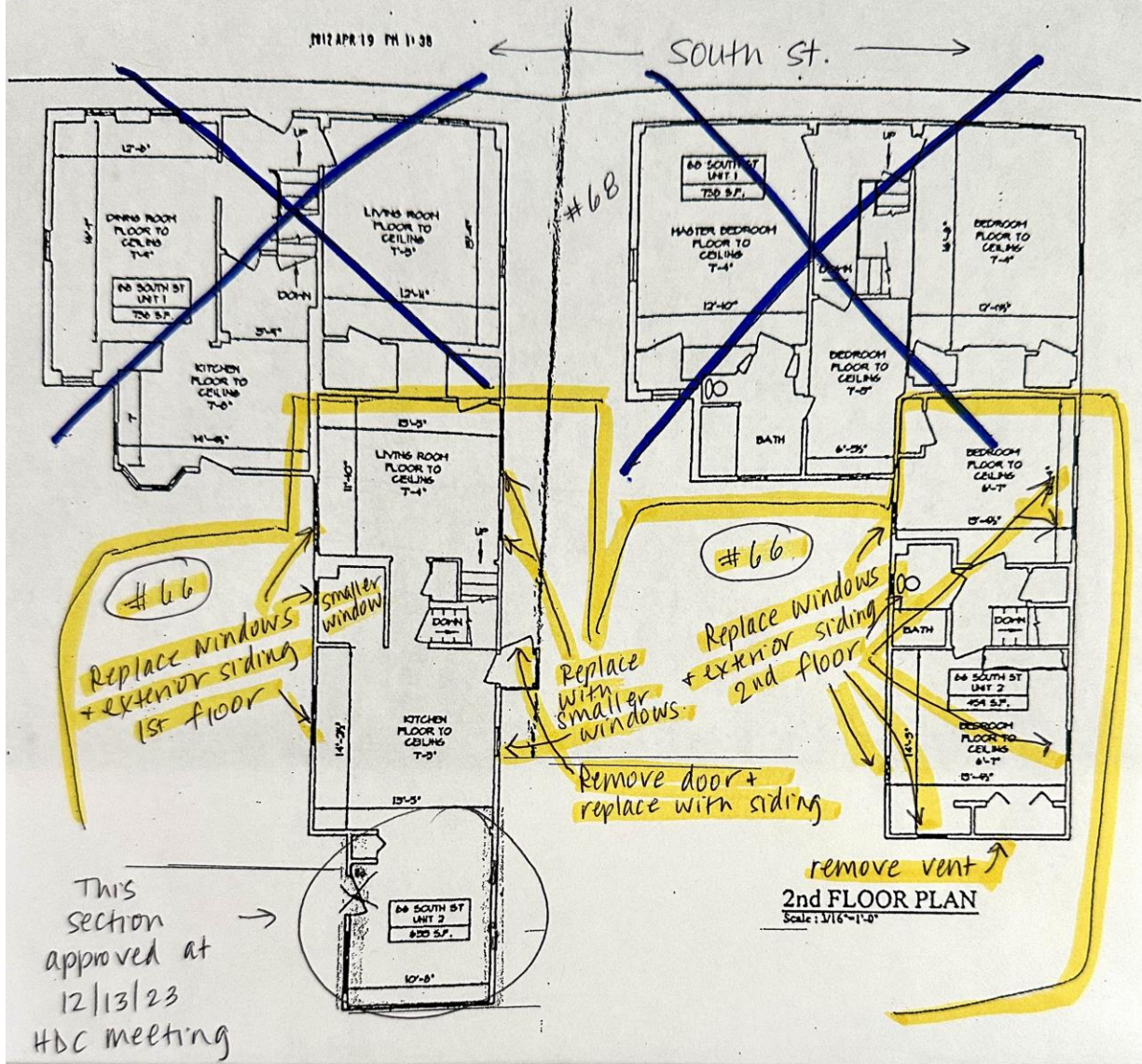
66 South St. is not located directly on the street. The unit is in the back, located behind # 68, and is not visible from South Street.





We would like to replace broken fencing in backyard - With new fencing to match this fence in front yard

Amarosa Application for HDC Approval
 66 South St.



Materials - see attached photos / literature

Windows - Mathews Brothers as approved at 12/13/23
 HDC meeting

siding - Lifespan Solid Select Pine
 * We have changed our siding choice based
 on 4/3/24 HDC meeting







Lifespan[®] Solid Select at a glance

Wood has long been the choice of builders. It is beautiful, versatile and easy to work with. However, wood in an exterior situation is also subject to rot, fungal decay and insect attack. With LIFESPAN SOLID SELECT pressure treated, primed boards, wood now comes with long-lasting durability and low-maintenance peace of mind.

Read more

LIFESPAN SOLID SELECT is protected with the combination of a pressure treatment using organic biocides to ward off insects and fungal decay, a proprietary water repellency system to maximize dimensional stability and an alkyd-based primer to provide superior durability against the elements. This allows LIFESPAN SOLID SELECT to be offered with a limited lifetime warranty against fungal decay and insect damage, including termites.

The raw material for LIFESPAN SOLID SELECT comprises high grade clear lumber produced from pruned radiata pine logs. These come only from renewable sources and we utilize leading technology and innovative techniques to maximize the recovery of logs into finished products and minimize waste in our mills.

LIFESPAN SOLID SELECT is manufactured in our Forest Stewardship Council[®] (FSC[®]) certified mills (FSC[®] SCS-COC-00199).

- Limited lifetime substrate warranty against fungal decay and insect damage, including termites
- Manufactured from solid high grade wood with no fingerjoints or knots
- Pressure treated with an EPA approved organic preservative, delivering treatment to the core
- Non-corrosive to fasteners
- FSC[®] certified
- Multi-layer protection resists water uptake and enhances dimensional stability
- Alkyd primer provides smooth defect-free surface ready for top-coating
- Suitable for exterior and interior needs
- Real wood!!



Real Wood. Redefined.

LIFESPAN[®] SOLID SELECT is a premium solid wood exterior trim product – offering a superior clean finish, outstanding performance, and the benefits of real wood.

 Limited lifetime warranty	 Clear grade lumber – no finger-joints or knots	 Superior durability against rot, fungal attack and insects
 Resists corrosion to nails and fastenings	 FSC [®] Certified – environmentally responsible	 Superior water resistance
 Long-term termite protection	 Real wood – a pleasure to work with	 Active ingredients registered with EPA

Now with CODIL™ - our patented and proprietary resin stabilization additive

The advantages are clear

Sourced from New Zealand's renowned radiata pine forests, LIFESPAN[®] SOLID SELECT is made from only the highest quality, long-length clear boards. This superior product features an EPA-approved non-metallic preservative that protects against rot, fungal attack and insects (including termites). It also offers superior moisture resistance and resin stabilization – with a proprietary water repellent system, two coats of alkyd primer and patented resin stabilization additive CODIL™. This proven protection is backed by a limited lifetime warranty.

Combining outstanding durability with the beauty of real wood, LIFESPAN[®] SOLID SELECT is the choice for a lifetime.

Project Address: 258 MAPLEWOOD AVENUE
Permit Requested: CERTIFICATE OF APPROVAL
Application: WORK SESSION/PUBLIC HEARING 4



A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4-L1, General Residence A (GRA)
- Land Use: Residential
- Land Area: 5,100 SF +/-
- Estimated Age of Structure: c.1850
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: Maplewood Avenue
- Unique Features: NA
- Neighborhood Association: West End

B. Proposed Work: replace (2) rear gable ends with roof decks and a dormer between, rebuild the front chimneys and remove the rear secondary chimneys.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Demolition of the (2) rear gable ends to be replaced with roof decks
- Create dormer between (2) new rood decks
- Rebuild (2) front chimneys and remove (2) rear chimneys.



**HISTORIC
SURVEY
RATING
C**

D. Purpose and Intent:

13. Preserve the integrity of the District
14. Assessment of the Historical Significance
15. Conservation and enhancement of property values
16. Maintain the special character of the District
17. Complement and enhance the architectural and historic character
18. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

9. Consistent with special and defining character of surrounding properties
10. Compatibility of design with surrounding properties
11. Relation to historic and architectural value of existing structures
12. Compatibility of innovative technologies with surrounding properties

DRAWING INDEX	
Sheet Number	Sheet Name
H1.0	COVER PAGE
H1.1	CONTEXT 3D
H1.2	EXISTING CONDITIONS
H1.3	CONTEXT PHOTOS
H1.4	HISTORIC
H1.5	EXISTING CONDITIONS - ATTIC
H2.0	DEMO - BACK (SOUTH) ELEVATION
H2.1	DEMO - SIDE ELEVATIONS
H2.2	DEMO - ROOF LEVEL
H2.3	ROOF PLAN
H2.4	BACK (SOUTH) ELEVATION
H2.5	SIDE ELEVATIONS
H2.6	LONGITUDINAL SECTION
H3.1	RENDERING
H3.2	RENDERING
H3.3	3D VIEWS
H3.4	3D VIEWS
H3.5	3D VIEWS



PROJECT NARRATIVE

- Add rear shed dormer.
- Replace two rear gables with roof decks.
- Rebuild two primary front chimneys.
- Remove two secondary rear chimneys.

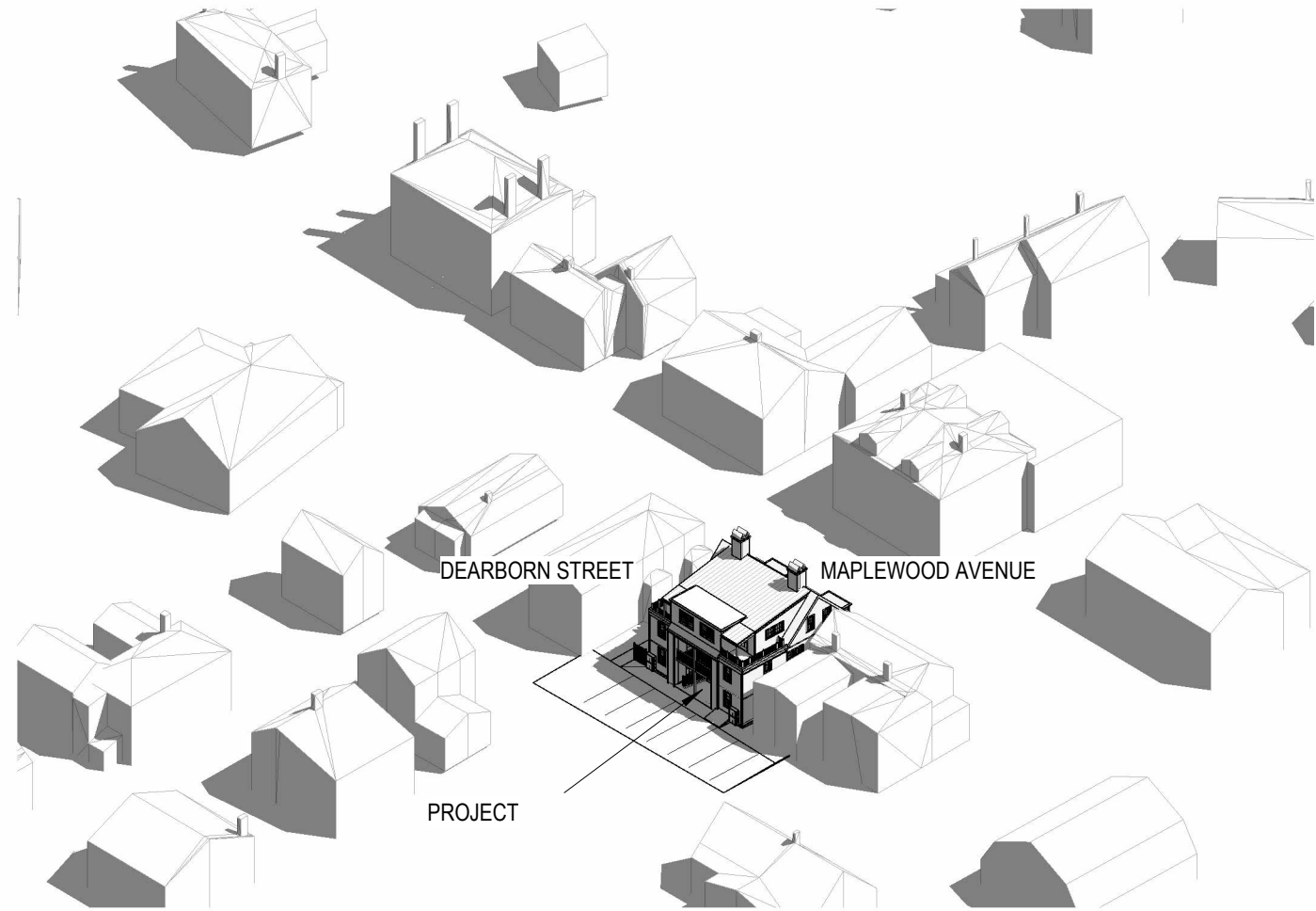
NOTE: DUE TO SEVERE ROOF AND CHIMNEY AND ROOF STRUCTURE DECAY AND DETERIORATION, EXPEDITIOUS REPLACEMENT IS NECESSARY.

258 MAPLEWOOD AVENUE

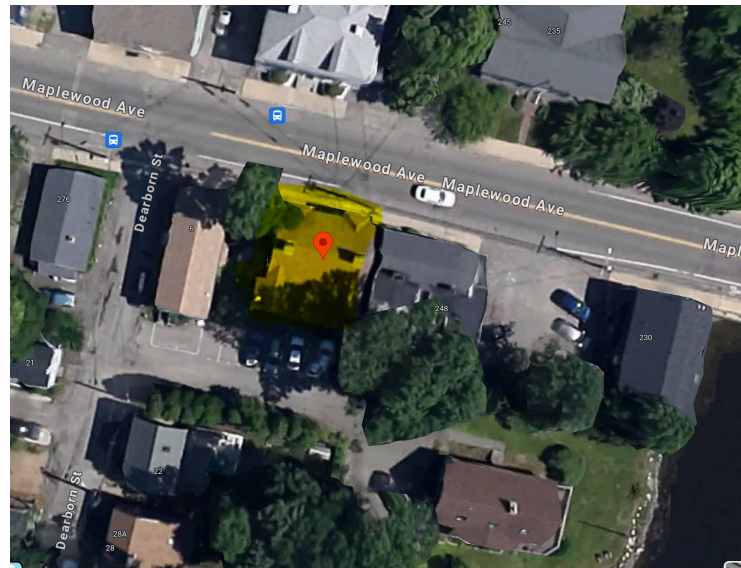
RENOVATION+RESTORATION

HISTORIC DISTRICT COMMISSION
PUBLIC HEARING



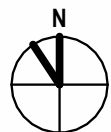


2 South-West 3D

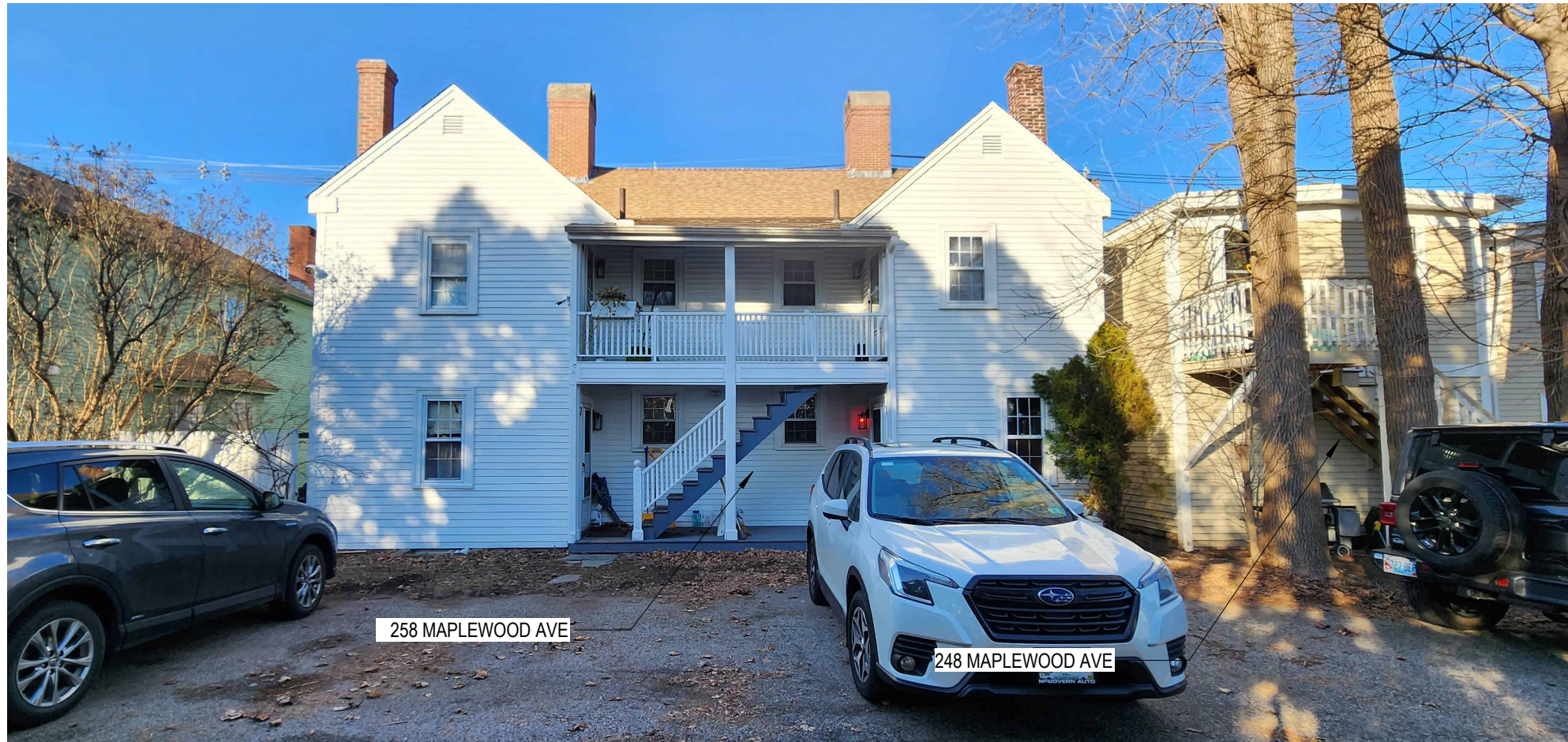


NORTH MILL POND

3 LOCATION AERIAL VIEW
1" = 100'-0"



1 TAX MAP 300FT RADIUS
1" = 80'-0"



258 MAPLEWOOD AVE

248 MAPLEWOOD AVE



6 DEARBORN ST

258 MAPLEWOOD AVE

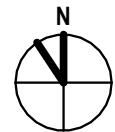
248 MAPLEWOOD AVE

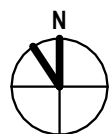
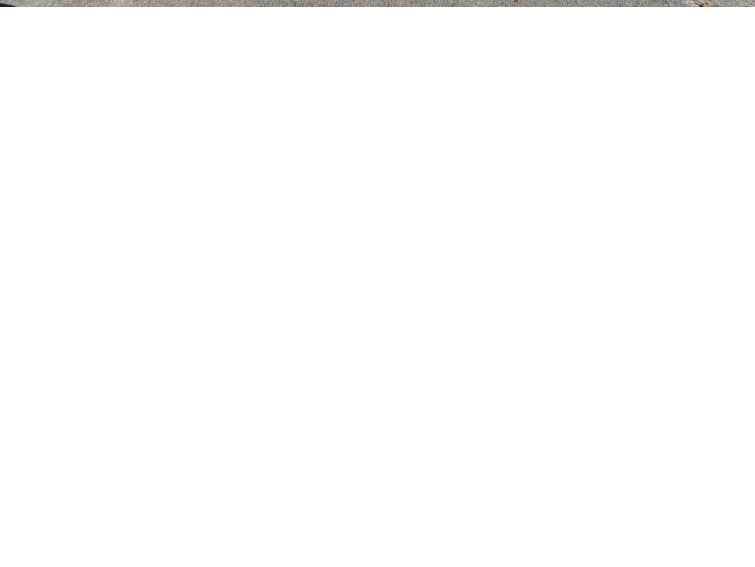


6 DEARBORN ST

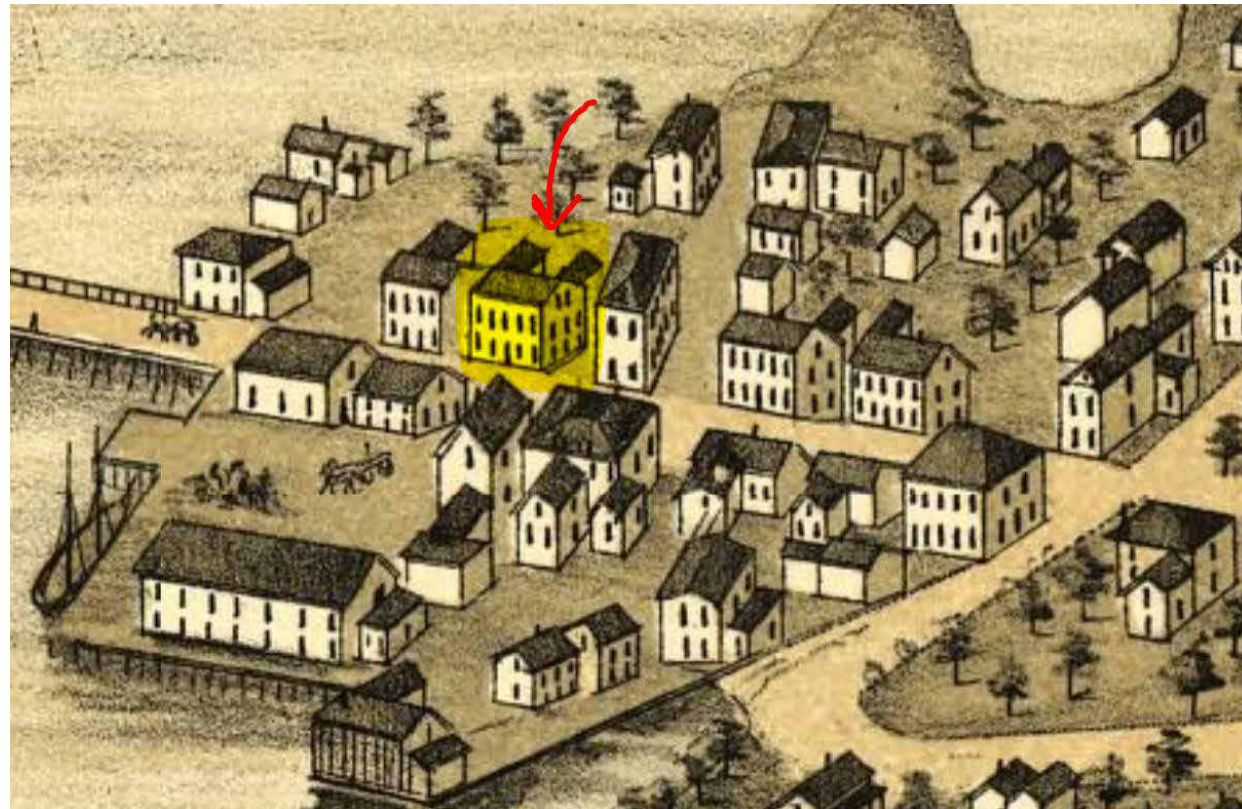
258 MAPLEWOOD AVE

248 MAPLEWOOD AVE

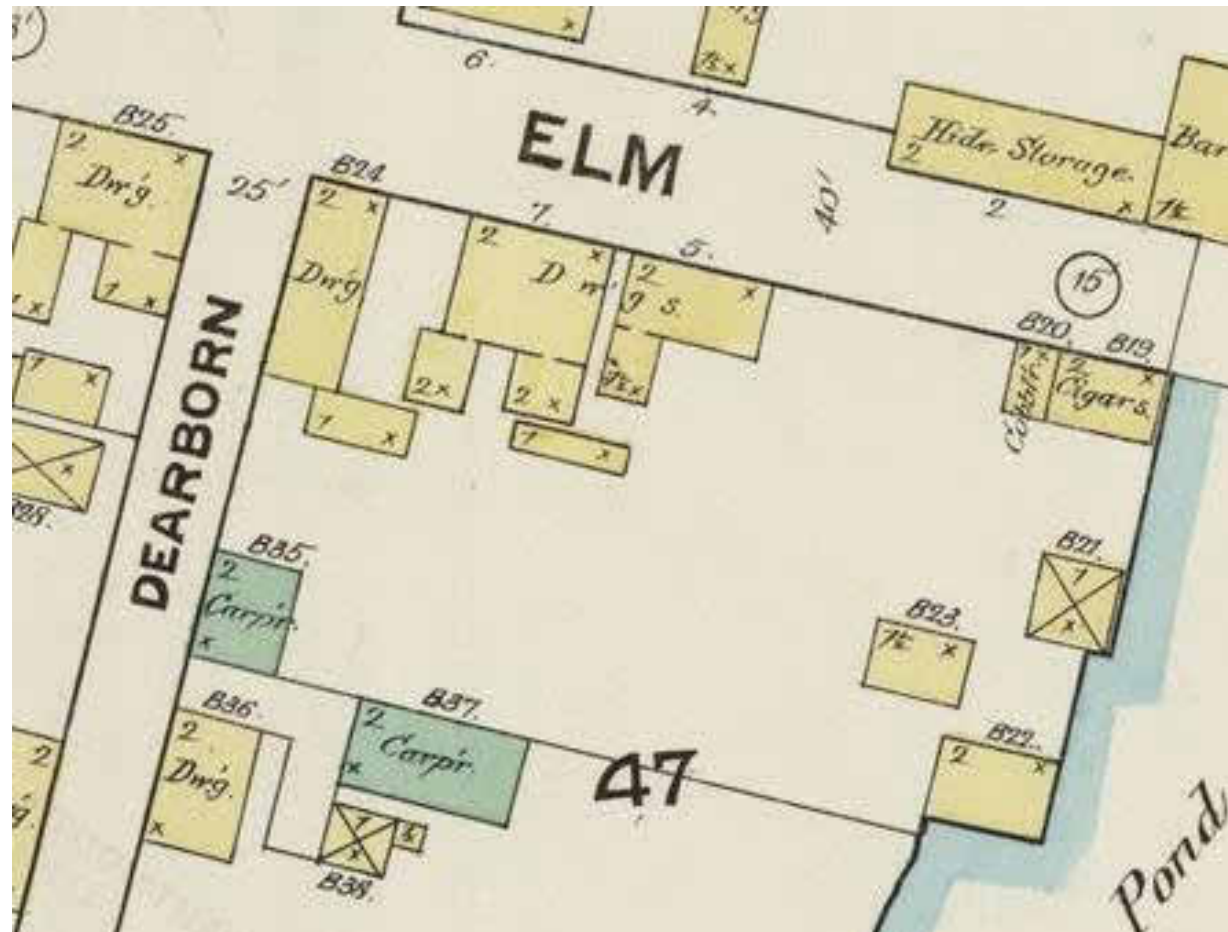




CONTEXT PHOTOS
258 MAPLEWOOD AVENUE



1877



1887



HISTORIC

258 MAPLEWOOD AVENUE

Address 258 Maplewood Avenue
 New tax map(1979)U23 lot 3 size 5100sq.ft.
 Old tax map 77 lot 21 size
 Owner REGAN, Michael
 Address 572 Post Rd., Greenland 03840



Location of legal description:
 Rockingham County Registry of Deeds
 Hampton Road; Exeter, New Hampshire
 03833
 Representation in existing surveys:
 ABS NR NHL
 AER Other
 Date c. 1850
 Source: Estimate x Other:
 Historic name
 Common name
 Original owner
 Architect/bldr.
 Functional type house
 Present use, if different 4 apartments
 Moved Date
 Altered Date
 Effect: Focal Contributing x
 non-contributing Intrusion

Photo roll 20 no. 8
 Negative with: Portsmouth Advocates
 Description
 Date taken by

1. Style Greek Revival No. of stories 2 1/2 No. of bays 5 x 4
2. Overall plan: Rectangle with two story rear ell across whole rear offset N.
3. Foundation: Brick Stone Foured concrete Concrete block
 Artificial stone Other
4. Wall structure: Woodframe Brick Stone Other
 If wood: Post and beam Balloon frame
5. Wall covering: Clapboard Wood shingle Flushboard Imitation ashlar
Brick Stone Stucco Composition board Aluminum Vinyl
Sheet metal Asphalt shingles Other
6. Roof: Gable Hip Shed Mansard Flat Gambrel Other
7. Specific features (location, no., appearance of porches, windows, doors, chimnies, dormers, ells/wings--see also description), decorative elements:
 Two protruding two story original bays with hipped roofs on either side. Greek Revival doorway, two front windows each floor both bays, one window over door. Granite steps. Two inset chimney stacks.
8. Outbuildings:

PORTSMOUTH
 ADVOCATES, INC.
 SHIRE 03801

Description:

A good late 2 1/2 story Greek Revival house, squarish in plan with two story gable roofed rear ell offset beyond N wall across whole rear with roofs at right angles. Two large (rebuilt) inset chimney stacks at ridge of main block. The center doorway is inset behind a low triangular pediment and corner pilasters with sidelights and the original Greek Revival door. The house sits on a cut granite foundation with granite steps to doorway. One 2/2 sash in window over door. On either side of door are two story bays with hipped roofs which have paired front windows each floor (all 2/2) and one on each N and S side each floor. Two attic gable windows, three on each floor below; ell has one each floor within the offset S wall.

H1.4

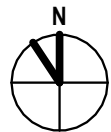


DETERIORATED BRICK

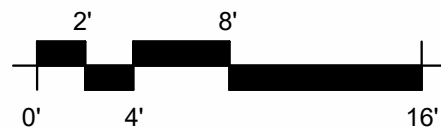
MOISTURE DAMAGED ROOF STRUCTURE



SPALLED MORTAR

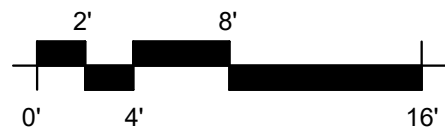
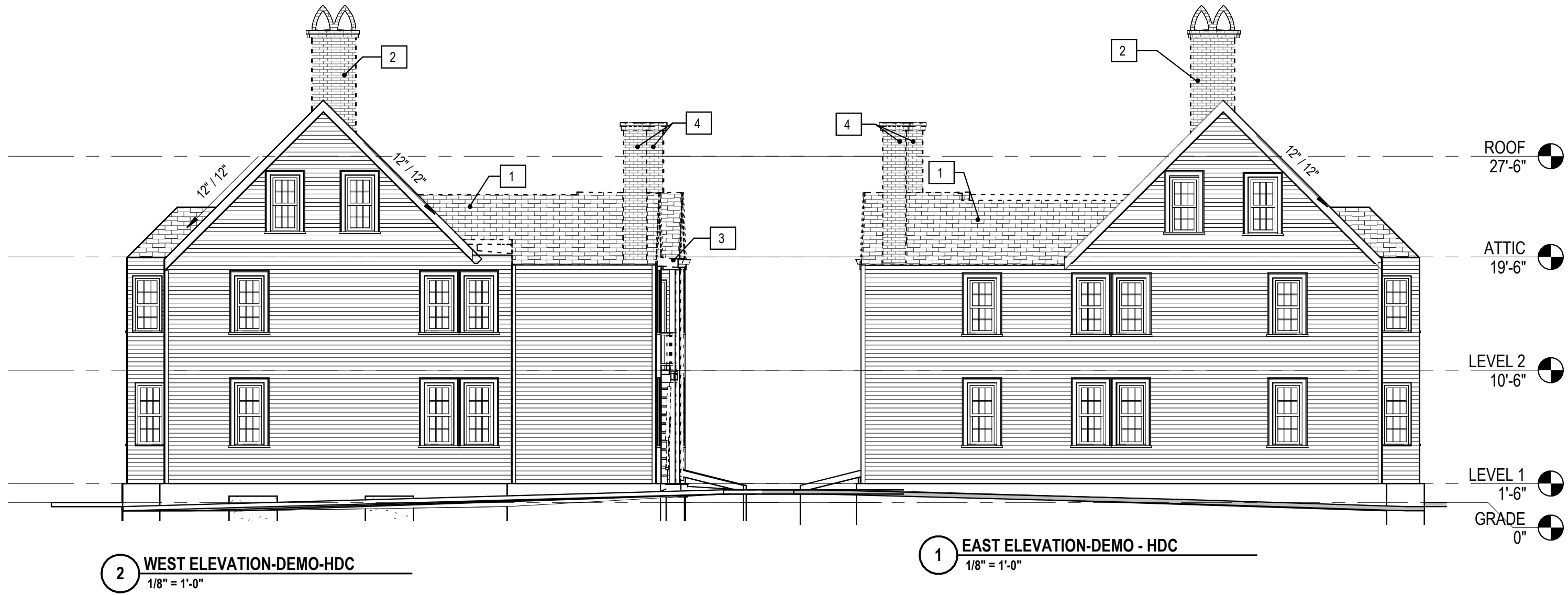


RECOMMENDATIONS	
NOTES	
1	Demolition part of the roof based on the drawings.
2	Rebuild the existing chimney with brick veneer to match the existing color texture and details.
4	Demolition chimney



DEMO - BACK (SOUTH) ELEVATION
258 MAPLEWOOD AVENUE

RECOMMENDATIONS	
NOTES	
1	Demolition part of the roof based on the drawings.
2	Rebuild the existing chimney with brick veneer to match the existing color texture and details.
3	Demolition roof.
4	Demolition chimney

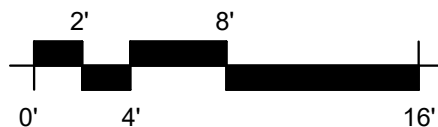
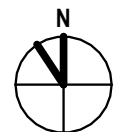
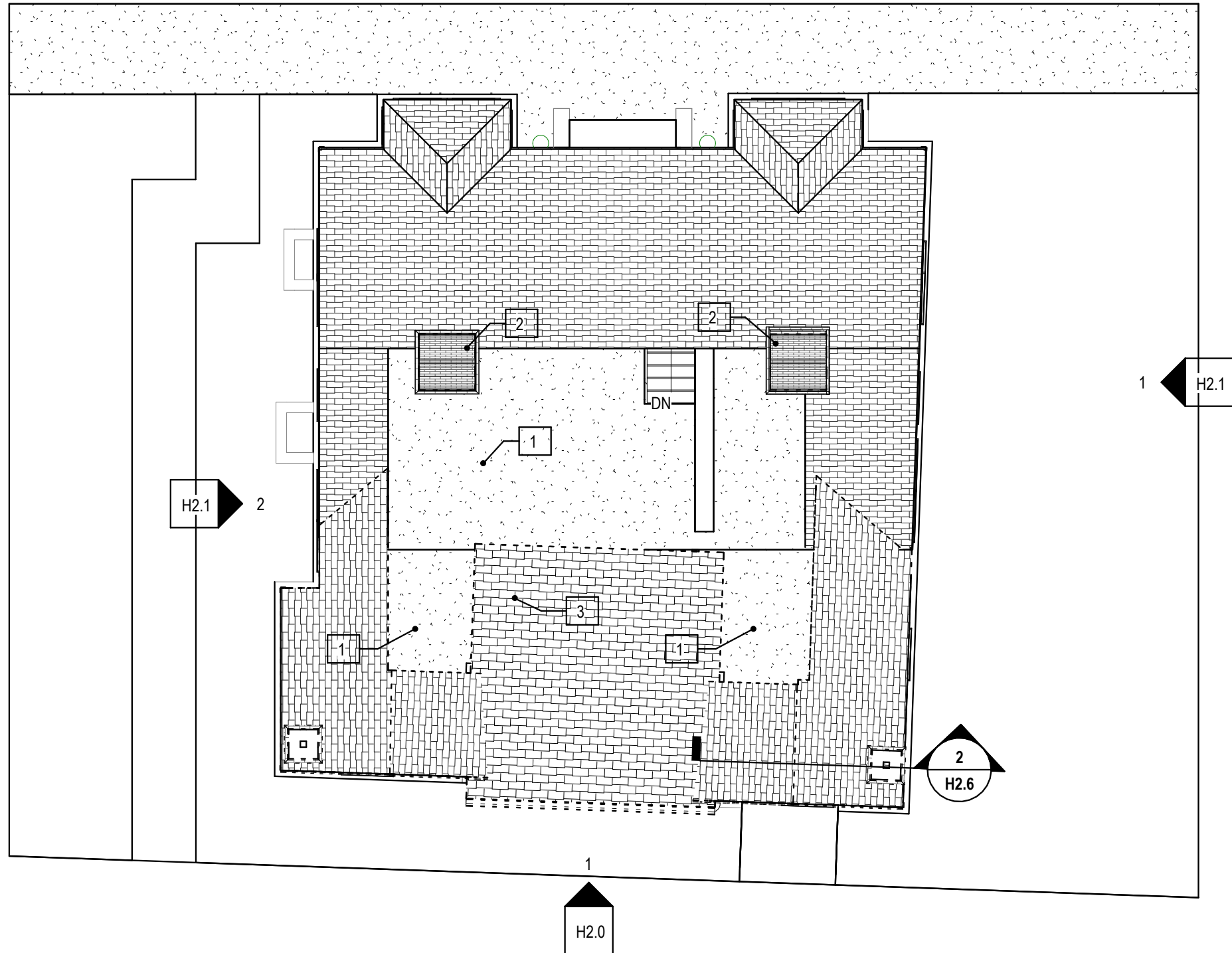


DEMO - SIDE ELEVATIONS
258 MAPLEWOOD AVENUE

H2.1

04/24/2024
PROJECT NO:1036

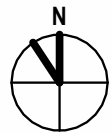
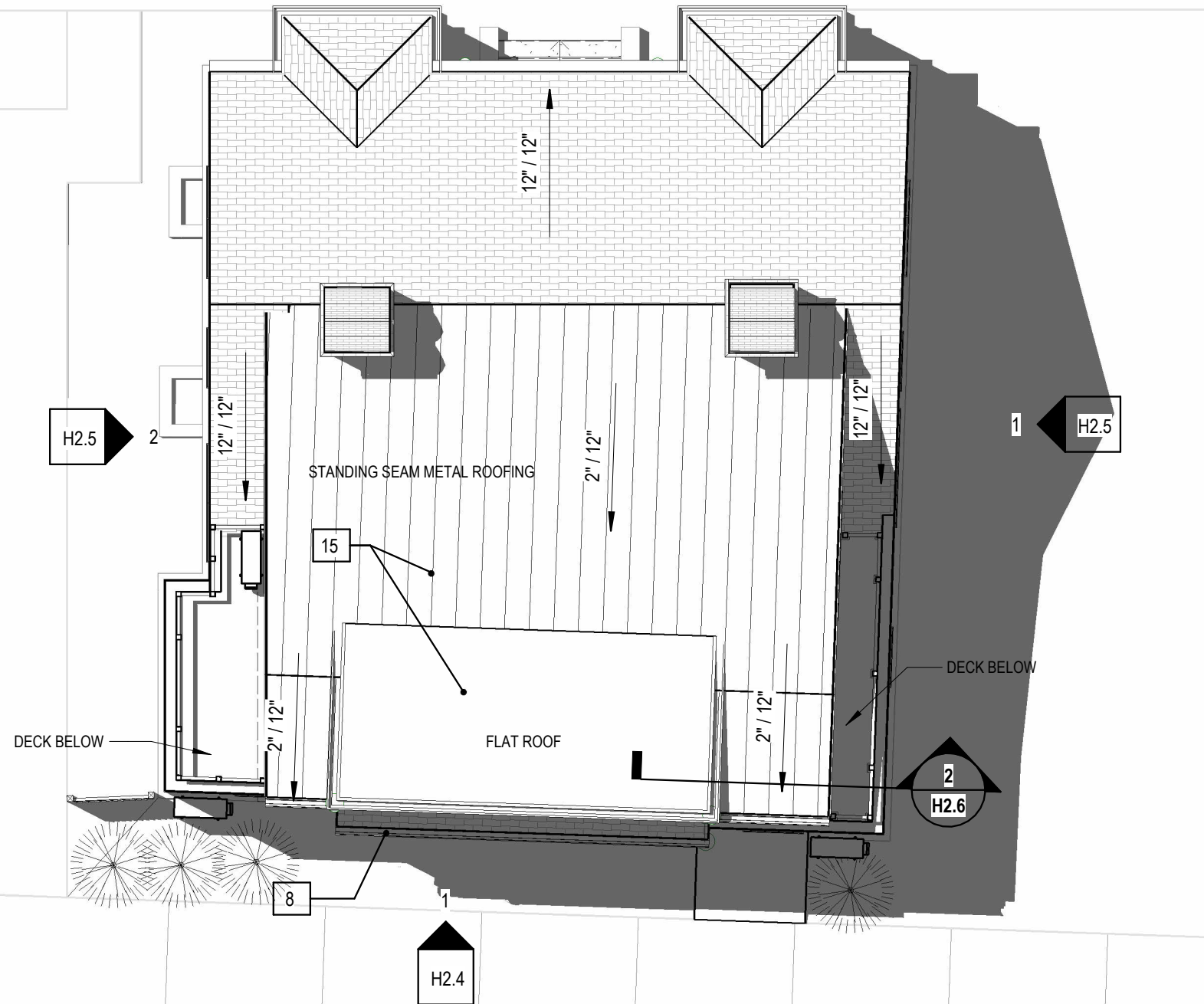
RECOMMENDATIONS	
NOTES	
1	Demolition part of the roof based on the drawings.
2	Rebuild the existing chimney with brick veneer to match the existing color texture and details.
3	Demolition roof.



DEMO - ROOF LEVEL
258 MAPLEWOOD AVENUE

RECOMMENDATIONS	
NOTES	
8	Gutter and downspouts to match existing.
15	New roof.

MAPLEWOOD AVE.



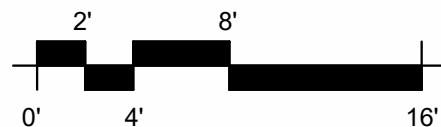
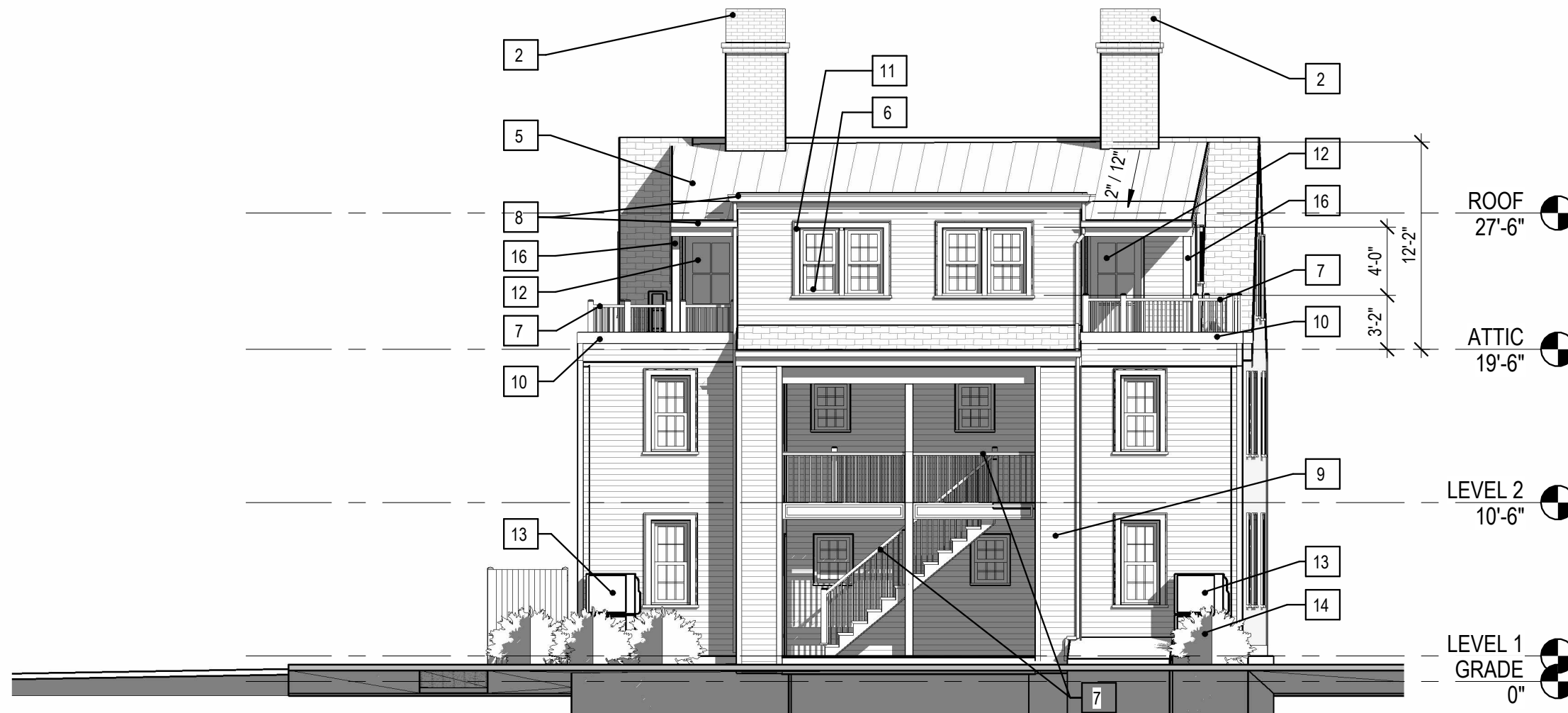
ROOF PLAN

258 MAPLEWOOD AVENUE

H2.3

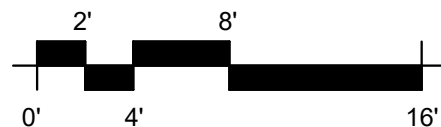
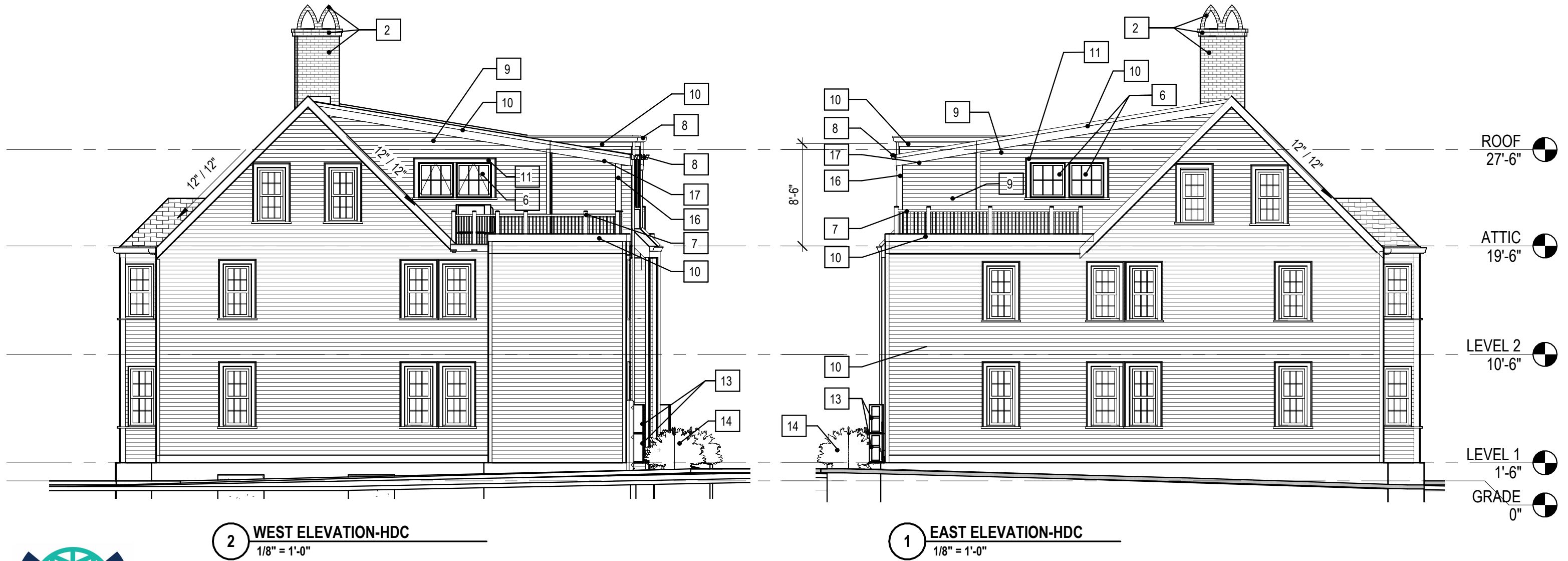
04/24/2024
PROJECT NO:1036

RECOMMENDATIONS	
	NOTES
2	Rebuild the existing chimney with brick veneer to match the existing color texture and details.
5	Adding new dormer.
6	New windows aluminum clad wood.
7	Aluminum railing (black).
8	Gutter and downspouts to match existing.
9	Wood clapboard siding to match existing.
10	Composite trim (AZEK) to match existing profiles.
11	Composite 4 inches casing with band molding, 2 inches sill nosing.
12	Patio doors are aluminum clad wood.
13	Future added outdoor air source heat pump.
14	Landscape plants to hide the outdoor air source heat pump.
16	New column to match existing.



BACK (SOUTH) ELEVATION
258 MAPLEWOOD AVENUE

RECOMMENDATIONS	
NOTES	
2	Rebuild the existing chimney with brick veneer to match the existing color texture and details.
6	New windows aluminum clad wood.
7	Aluminum railing (black).
8	Gutter and downspouts to match existing.
9	Wood clapboard siding to match existing.
10	Composite trim (AZEK) to match existing profiles.
11	Composite 4 inches casing with band molding, 2 inches sill nosing.
13	Future added outdoor air source heat pump.
14	Landscape plants to hide the outdoor air source heat pump.
16	New column to match existing.
17	Composite trim and fiber cement soffit.

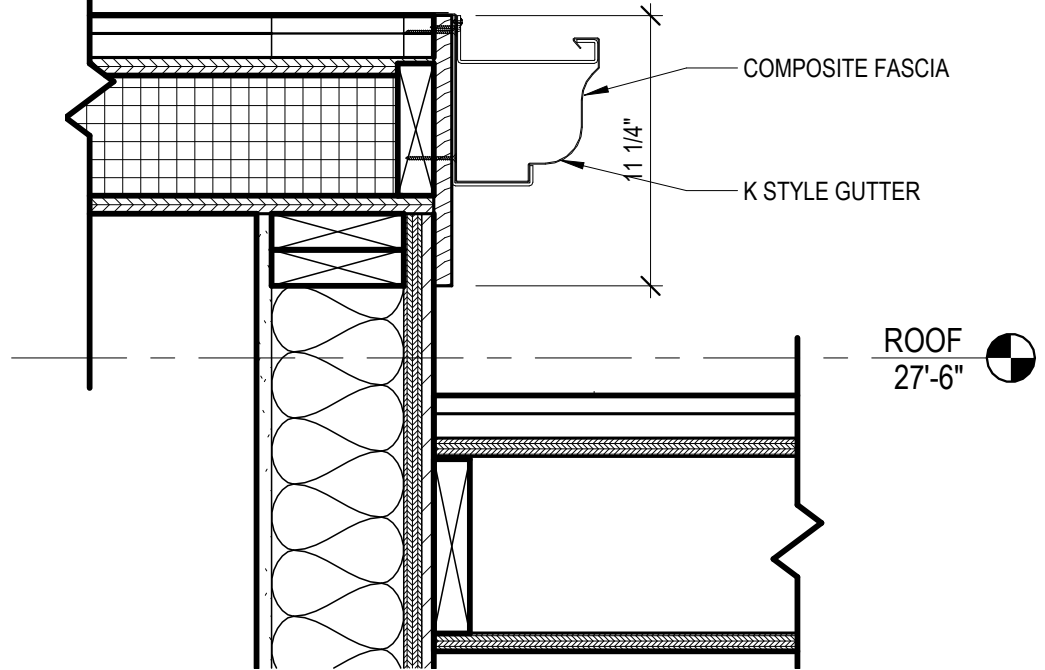


SIDE ELEVATIONS
258 MAPLEWOOD AVENUE

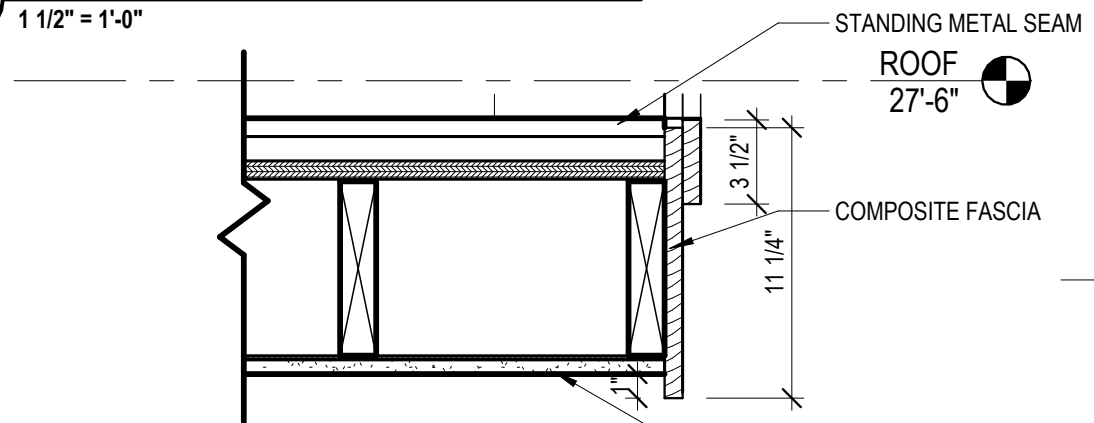
H2.5

04/24/2024
PROJECT NO:1036

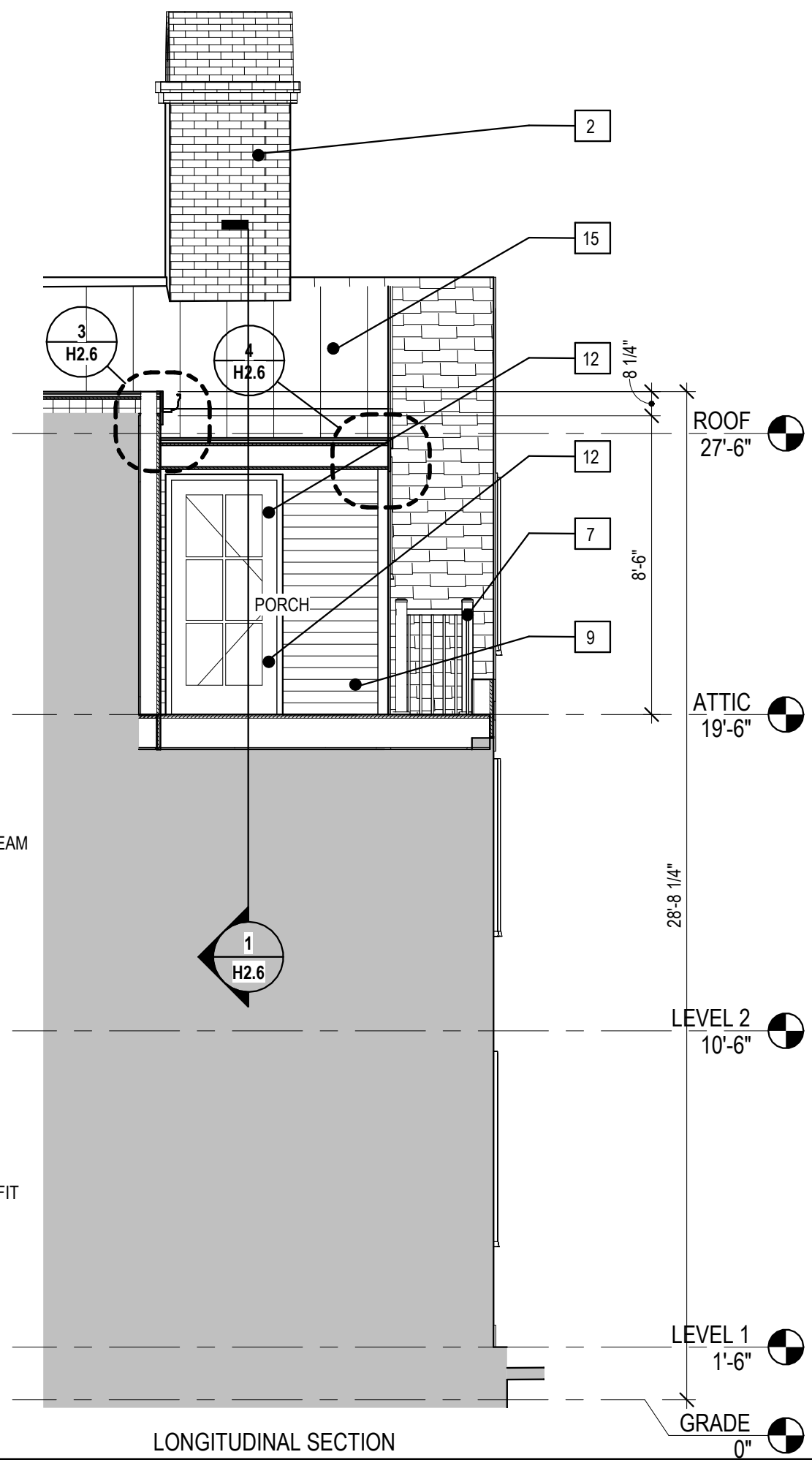
RECOMMENDATIONS	
NOTES	
2	Rebuild the existing chimney with brick veneer to match the existing color texture and details.
7	Aluminum railing (black).
9	Wood clapboard siding to match existing.
12	Patio doors are aluminum clad wood.
15	New roof.



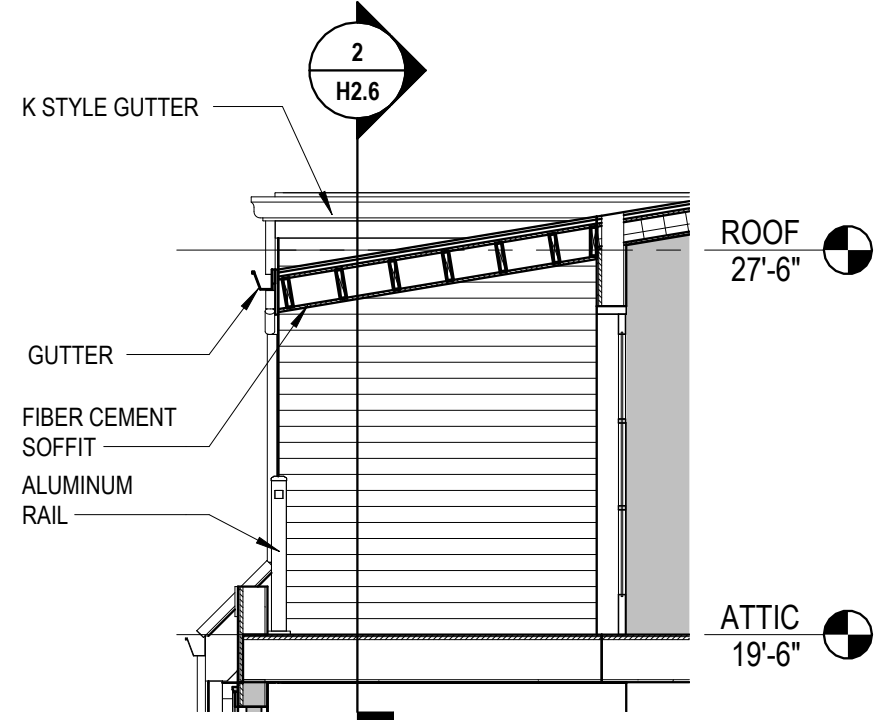
3 ROOF FASCIA - FLAT ROOF
1 1/2" = 1'-0"



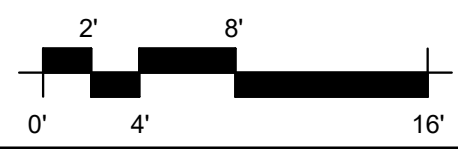
4 ROOF FASCIA - STANDING SEAM ROOF
1 1/2" = 1'-0"



LONGITUDINAL SECTION
258 MAPLEWOOD AVENUE



1 CROSS SECTION
1/4" = 1'-0"





RENDERING
258 MAPLEWOOD AVENUE



RENDERING
258 MAPLEWOOD AVENUE



3D VIEWS
258 MAPLEWOOD AVENUE

H3.3

04/24/2024
PROJECT NO:1036





3D VIEWS
258 MAPLEWOOD AVENUE

H3.5

04/24/2024
PROJECT NO:1036

Project Address: 466 MARCY STREET

Permit Requested: CERTIFICATE OF APPROVAL

Application: PUBLIC HEARING 5

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 1,550 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Vernacular Greek
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Marcy Street
- Unique Features: N/A
- Neighborhood Association: South End

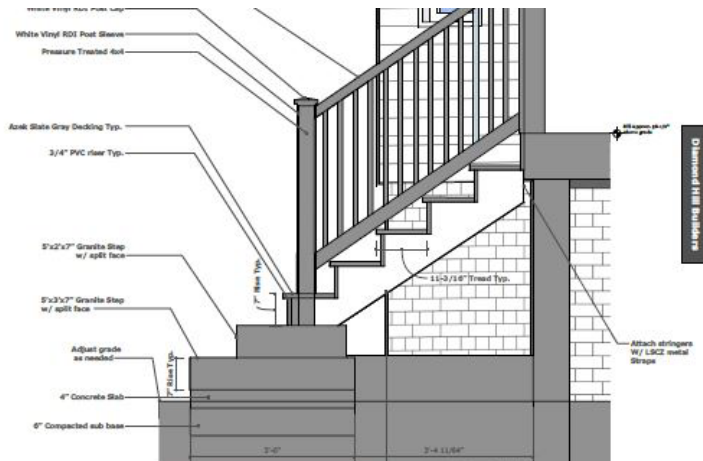


B. Proposed Work: For the removal of the existing staircase and the installation of a new wood and granite staircase.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Removal and replacement of the front stairs.



D. Purpose and Intent:

19. Preserve the integrity of the District
20. Assessment of the Historical Significance
21. Conservation and enhancement of property values
22. Maintain the special character of the District
23. Complement and enhance the architectural and historic character
24. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

13. Consistent with special and defining character of surrounding properties
14. Compatibility of design with surrounding properties
15. Relation to historic and architectural value of existing structures
16. Compatibility of innovative technologies with surrounding properties



Left View
Scale: 1/2" = 1' Scale

A | 001



Front View
Scale: 1/2" = 1' Scale

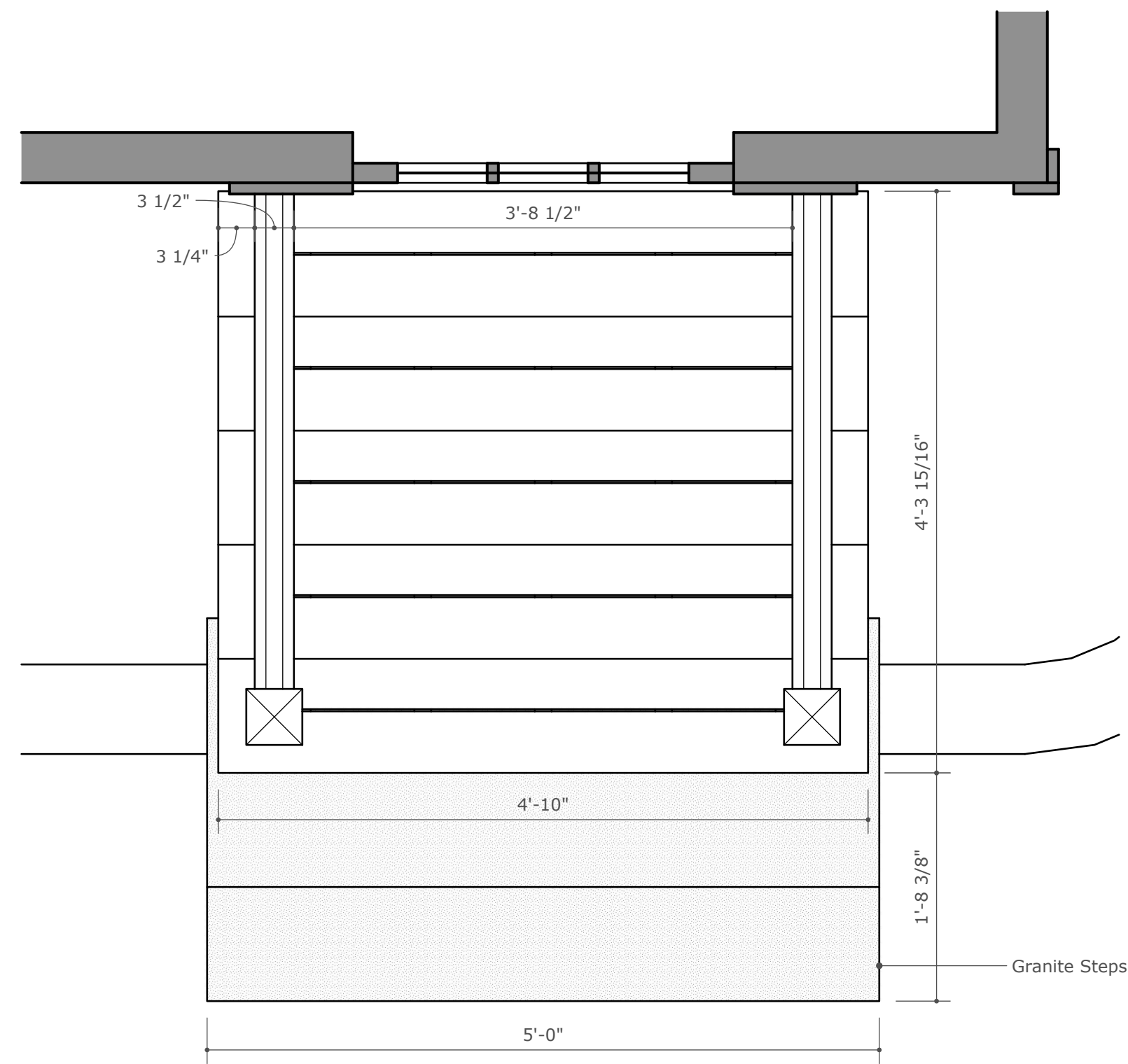
A | 002

New Entry Stairs

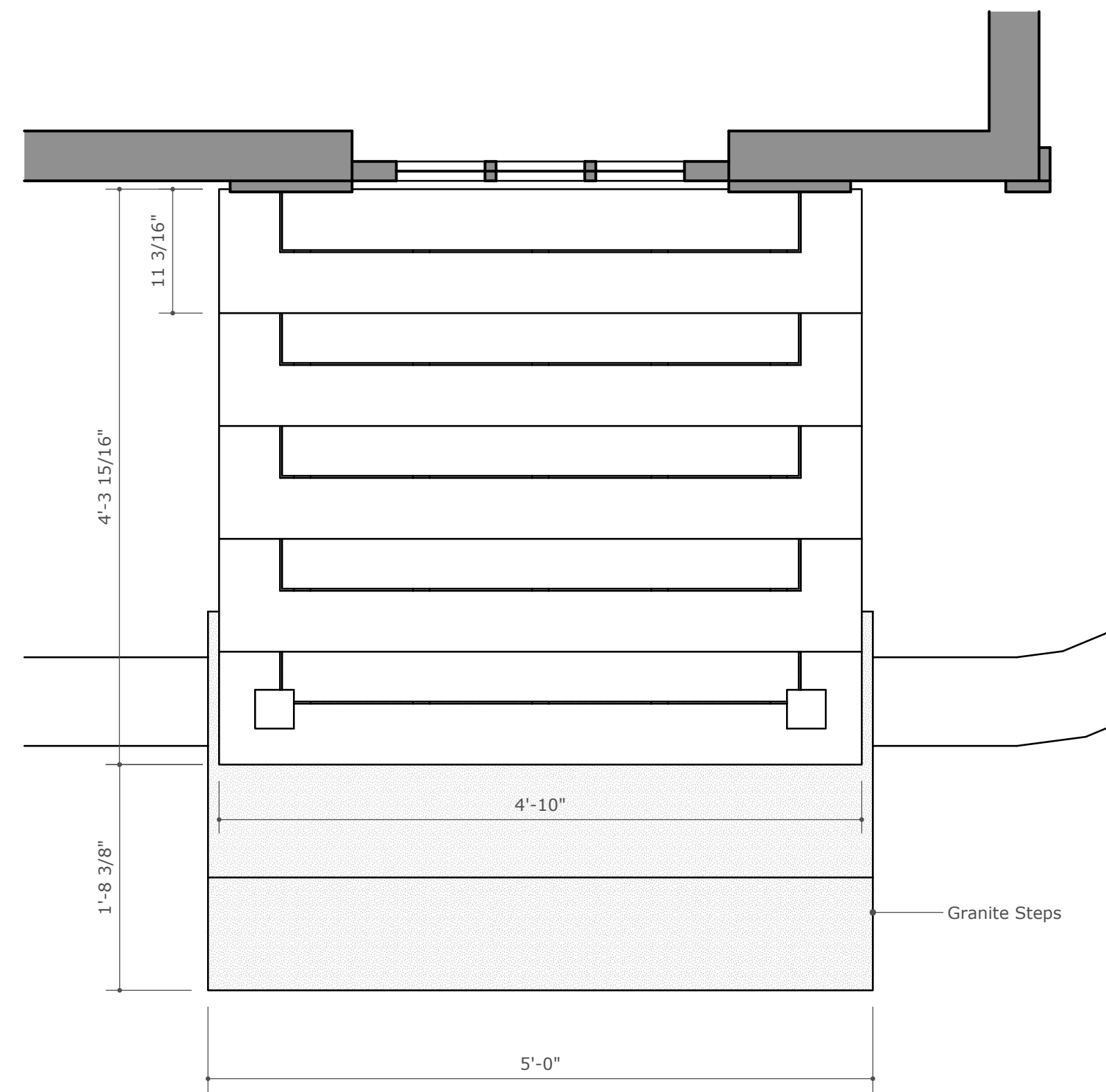


Right View
Scale: 1/2" = 1' Scale

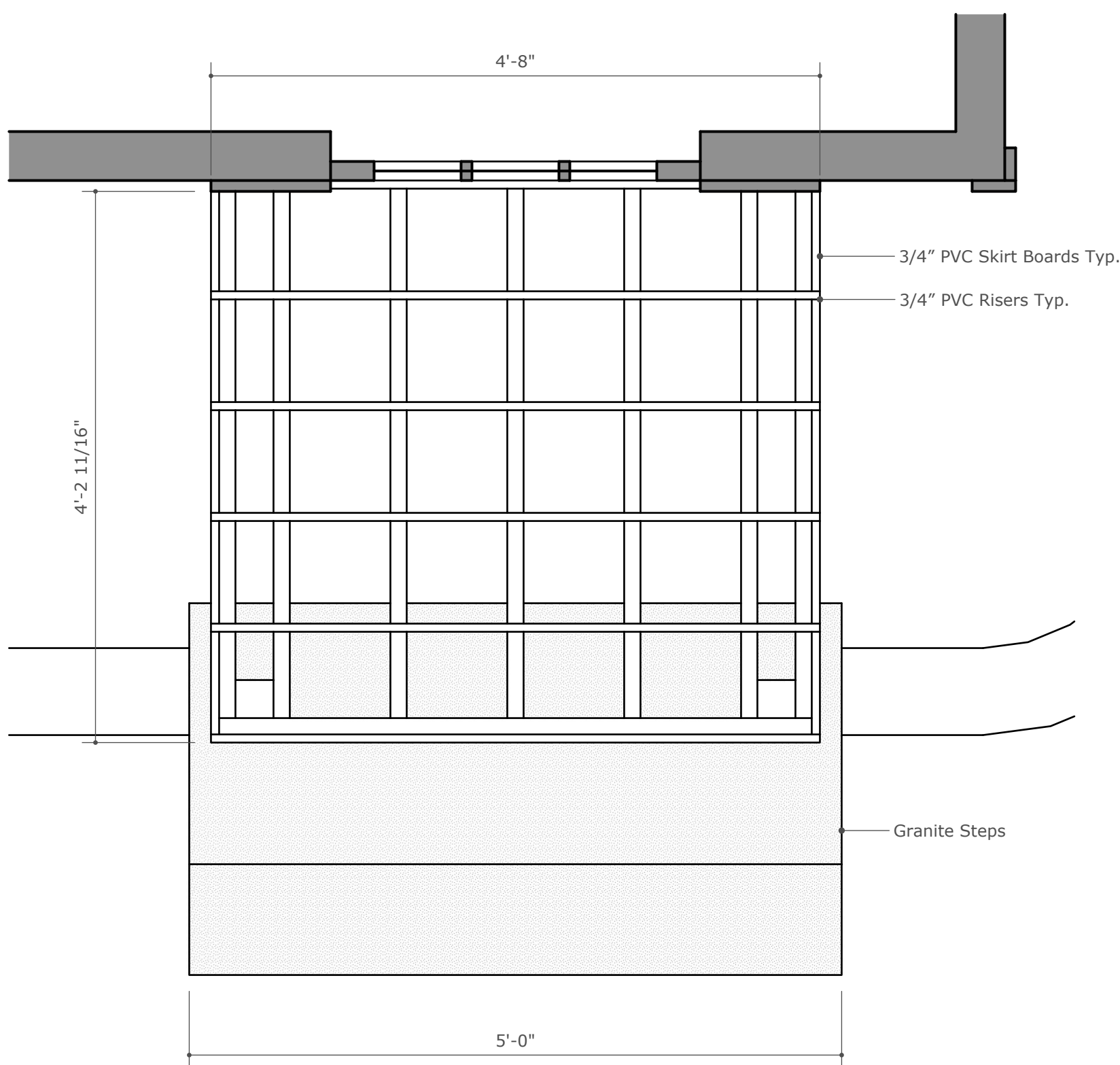
A | 003



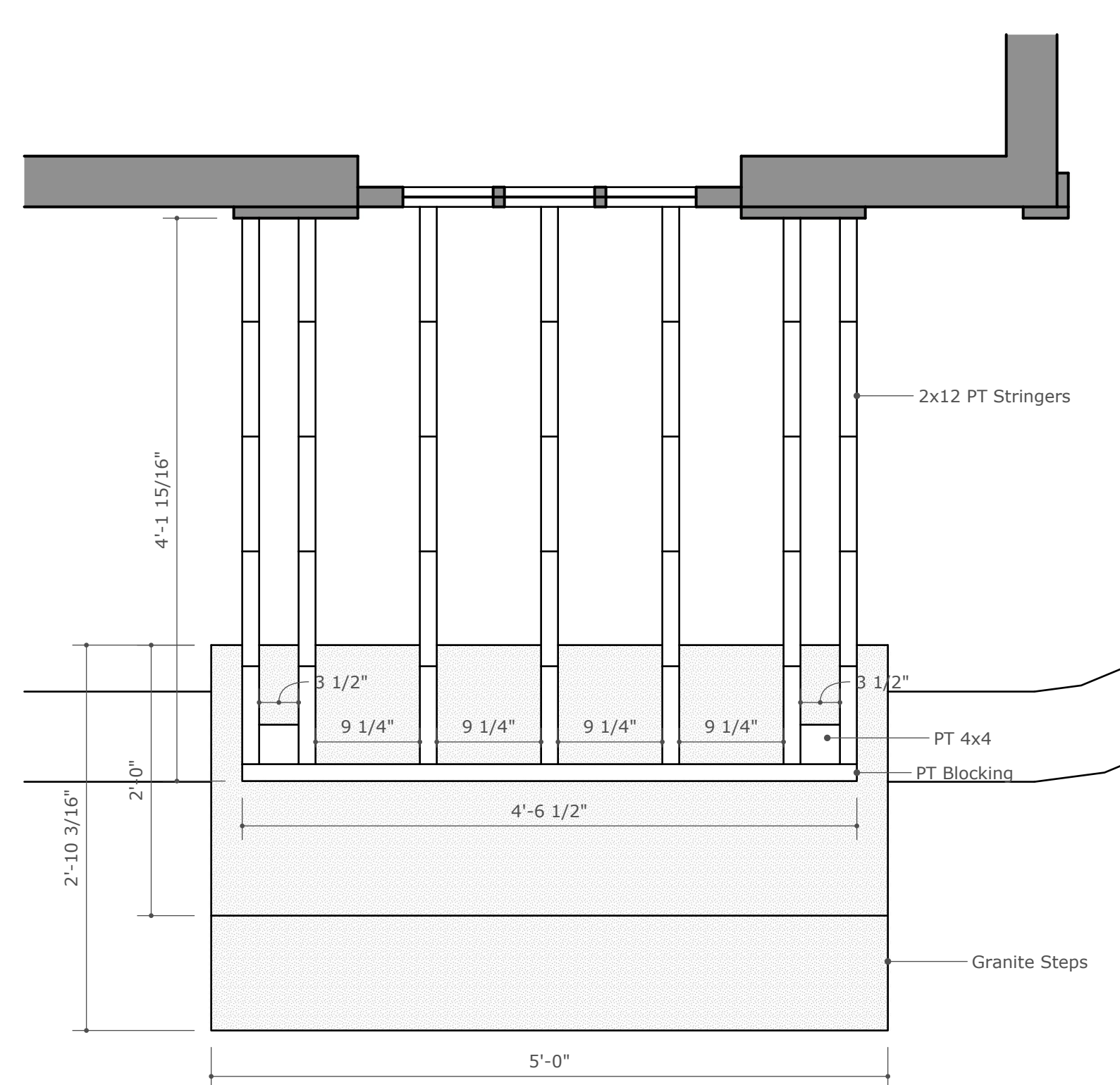
Railing Plan
Scale: 1" = 1' Scale
A 004



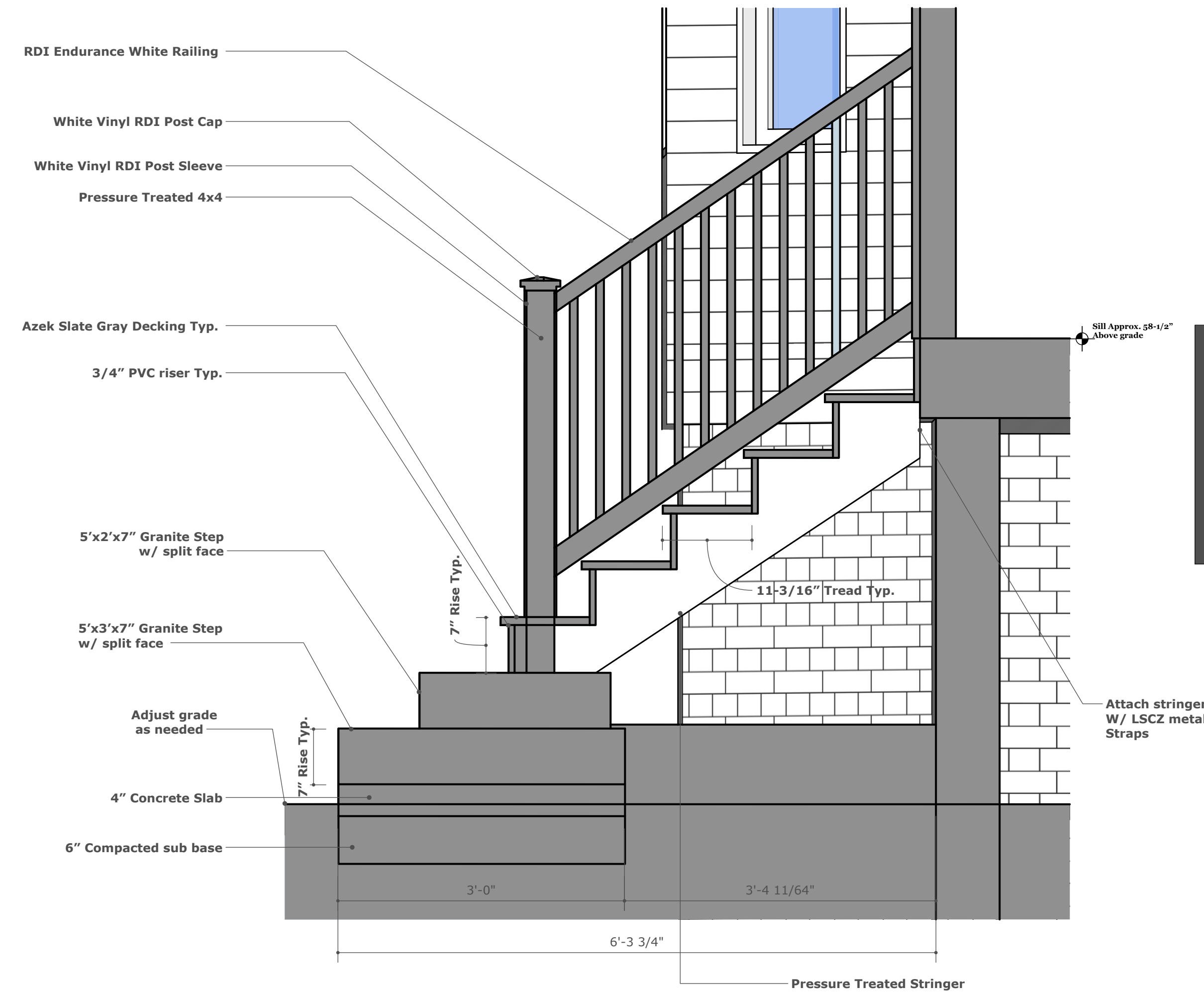
Decking Plan
Scale: 1" = 1' Scale
A 005



Trim Plan
Scale: 1" = 1' Scale
A 006



Framing Plan
Scale: 1" = 1' Scale
A 007



Cross Section Detail
Scale: 1" = 1' Scale
A 008

Project Address: 235 MARCY STREET

Permit Requested: WORK SESSION

Application: WORK SESSION A

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 3,688 SF +/-
- Estimated Age of Structure: c.1850
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Marcy Street
- Unique Features: Asphalt single siding
- Neighborhood Association: South End



1) EXISTING WEST ELEVATION



2) EXISTING SOUTH ELEVATION

B. Proposed Work: For exterior renovations (replace siding, windows, repair or replace trim and casings, install wood corner boards and install copper gutter system). This proposal also includes the removal of the 1-story rear shed and add a new 2-story rear garage addition.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace windows, siding, install gutter system and wood corner boards.
- Remove 1 story rear shed.
- Construct 2 story rear garage addition.



PROPOSED SOUTHEAST VIEW



D. Purpose and Intent:

25. Preserve the integrity of the District
26. Assessment of the Historical Significance
27. Conservation and enhancement of property values
28. Maintain the special character of the District
29. Complement and enhance the architectural and historic character
30. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

17. Consistent with special and defining character of surrounding properties
18. Compatibility of design with surrounding properties
19. Relation to historic and architectural value of existing structures
20. Compatibility of innovative technologies with surrounding properties



1) EXISTING WEST ELEVATION



2) EXISTING SOUTH ELEVATION



3) EXISTING EAST ELEVATION



4) EXISTING NORTH ELEVATION



LETTER OF AGENDA

We respectfully submit this Application for Work Session #1 to review Renovation of the existing Historic 1896 structure at 235 Marcy Street, demolition of an existing one story unconditioned shed, and the addition of an attached garage with living space above.

Renovation of the Historic 1896 structure at 235 Marcy Street

Considerations:

1. Remove asphalt siding and roofing.
2. Restore and reinstall windows found to be original.
3. Repair or replace in kind existing original trim and casings.
4. Install new clapboard siding and corner boards.
5. Remove existing attached one story unconditioned shed on loose brick.
6. Install new k-style gutters and down spouts.

Addition of an Attached Garage with Living Space above

Considerations:

1. Construct new attached single car garage.
2. Replicate existing trim, rake, and eave details.
3. Install new k-style gutters and down spouts.
4. Install new metal clad windows as required.

Thank you for your consideration.
Sincerely, Carla Goodknight, AIA, NCARB
Principal, CJ Architects

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

AGENDA, AERIAL VIEW &
EXISTING ELEVATIONS
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



235 MARCY STREET



1) VIEW FROM SITE LOOKING NORTH



2) VIEW FROM SITE LOOKING SOUTH



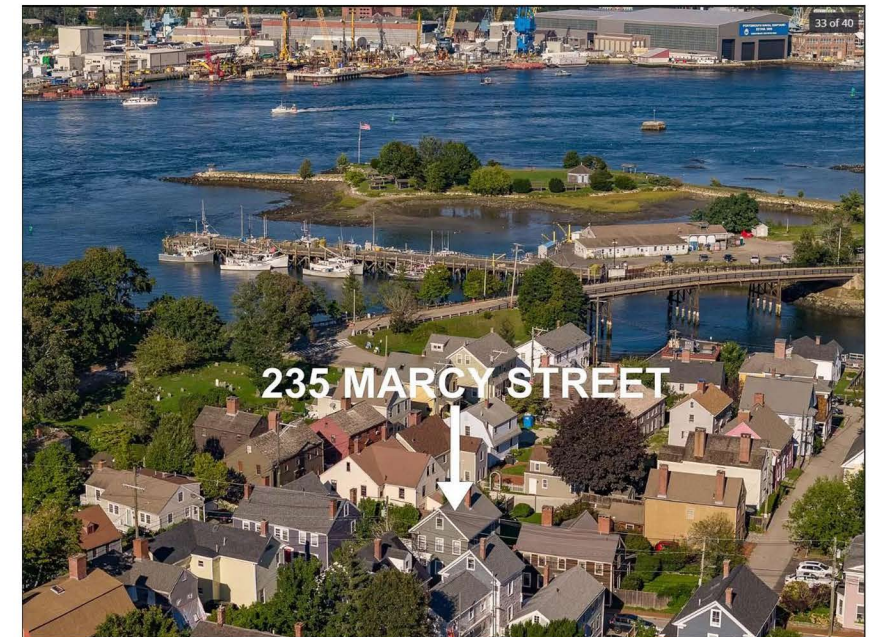
EXISTING AERIAL VIEW



3) VIEW FROM SOUTH OF MARCY STREET



4) VIEW FROM NORTH OF MARCY STREET



EXISTING AERIAL VIEW

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING STREET VIEWS
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



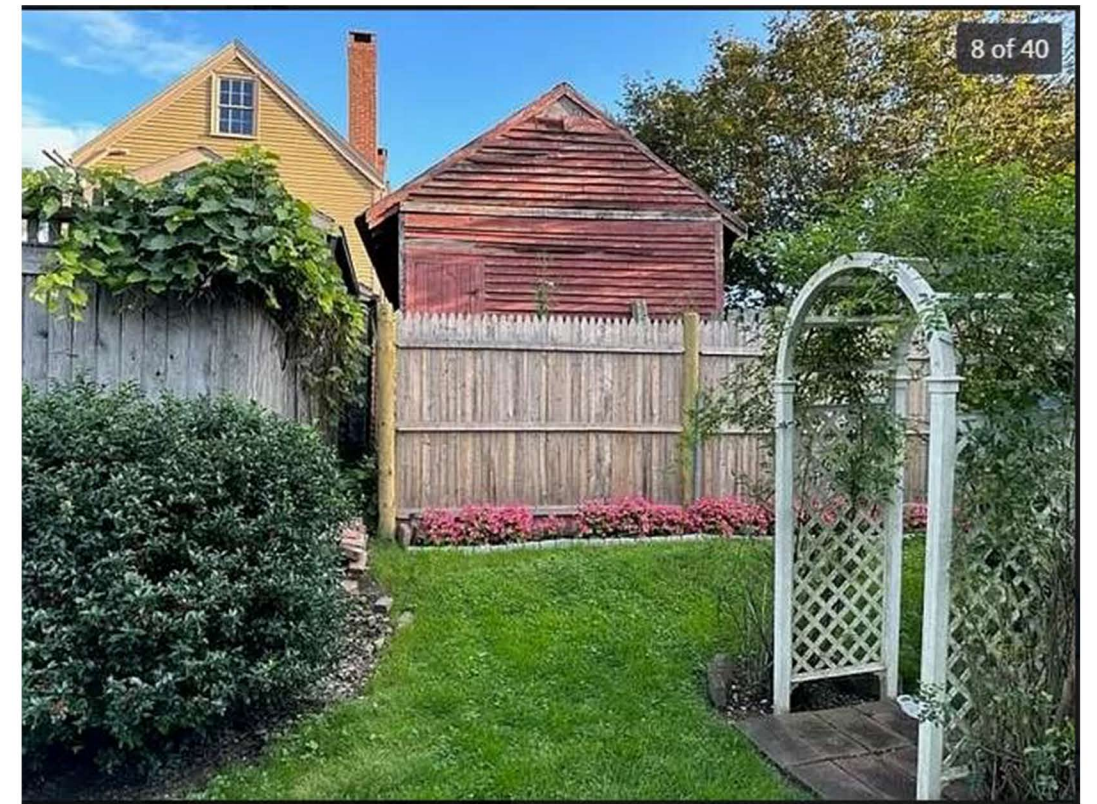
1.0



1) VIEW OF EXISTING FRONT ENTRY



2) VIEW OF TYPICAL ABUTTERS DORMERS



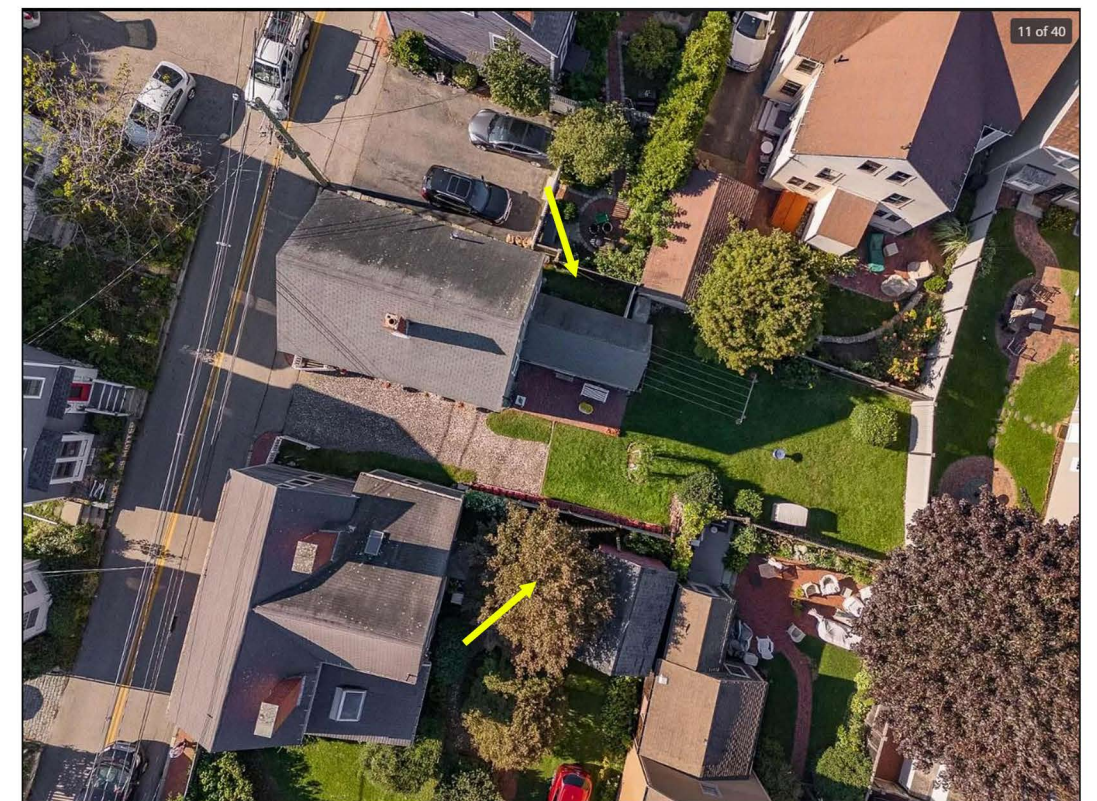
3) VIEW OF ABUTTERS GARAGE TO THE EAST



4) VIEW OF EXISTING WINDOW CASING



5) VIEW OF EXISTING FOUNDATION AT ATTACHED SHED



6) AERIAL VIEW OF ABUTTERS AND SURROUNDING GARAGES

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITIONS

HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



2.0



EXISTING NORTHWEST VIEW



EXISTING SOUTHWEST VIEW



PROPOSED NORTHWEST VIEW



PROPOSED SOUTHWEST VIEW

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED VIEWS
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



3.0



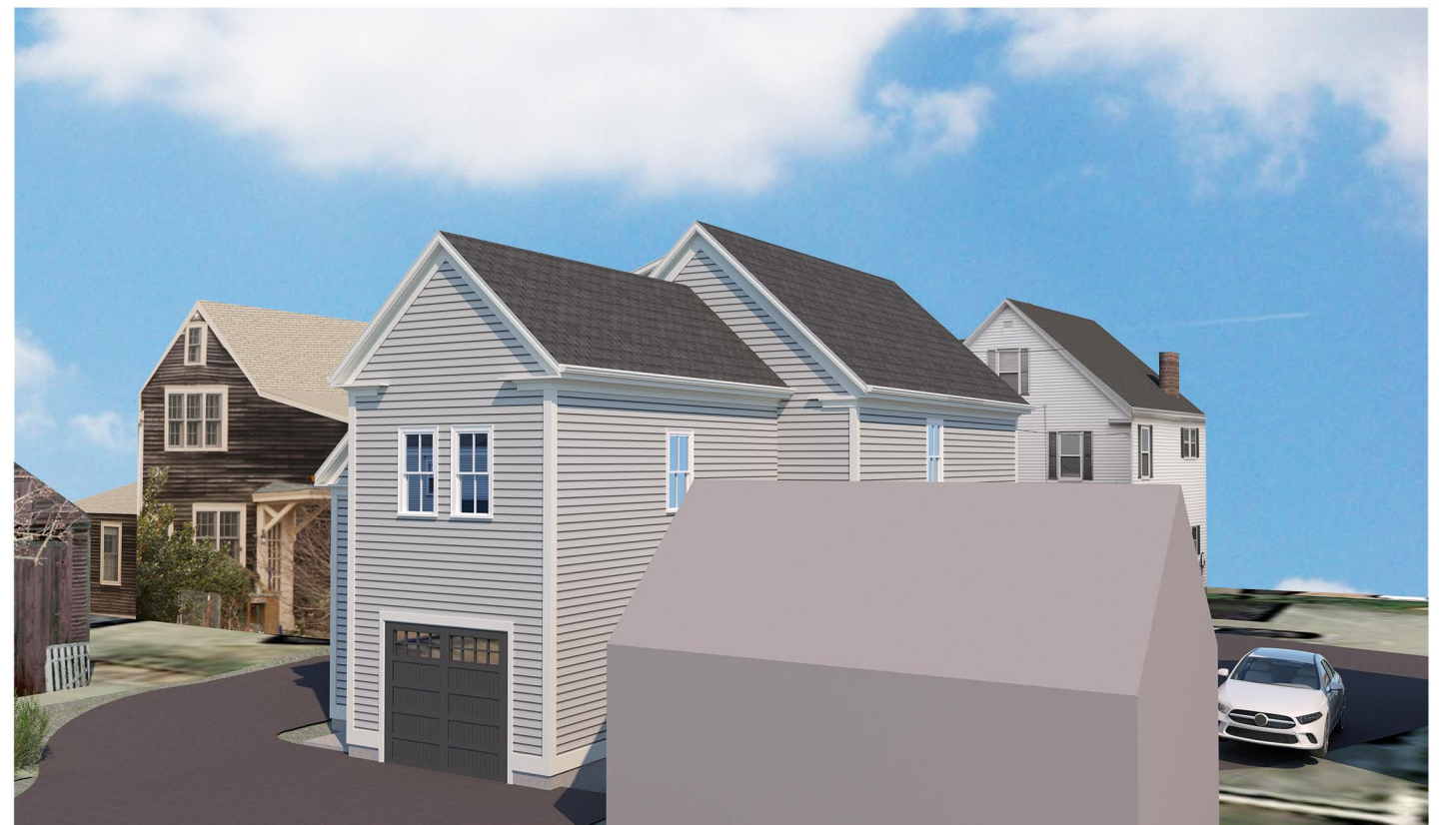
EXISTING SOUTHEAST VIEW



EXISTING NORTHEAST VIEW



PROPOSED SOUTHEAST VIEW



PROPOSED NORTHEAST VIEW

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED VIEWS
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024





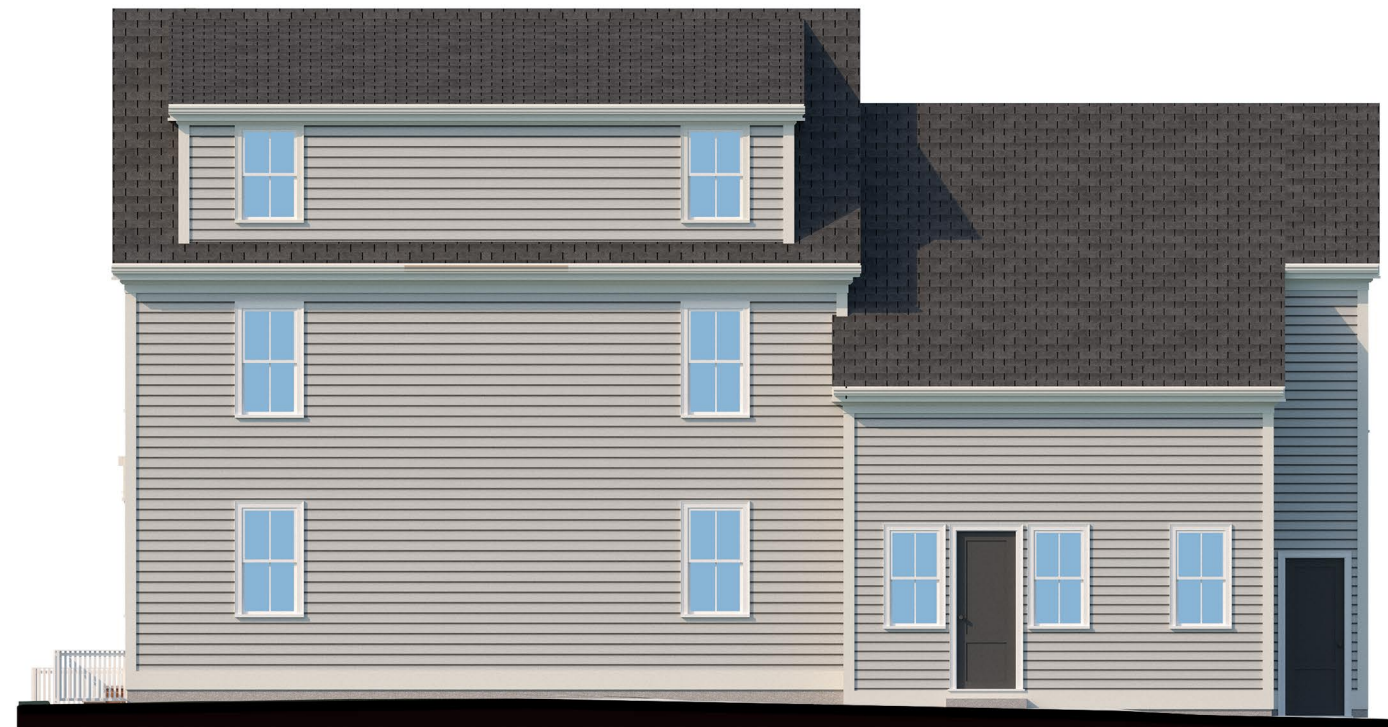
1 EXISTING WEST ELEVATION
1/8" = 1'-0"



3 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
1/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

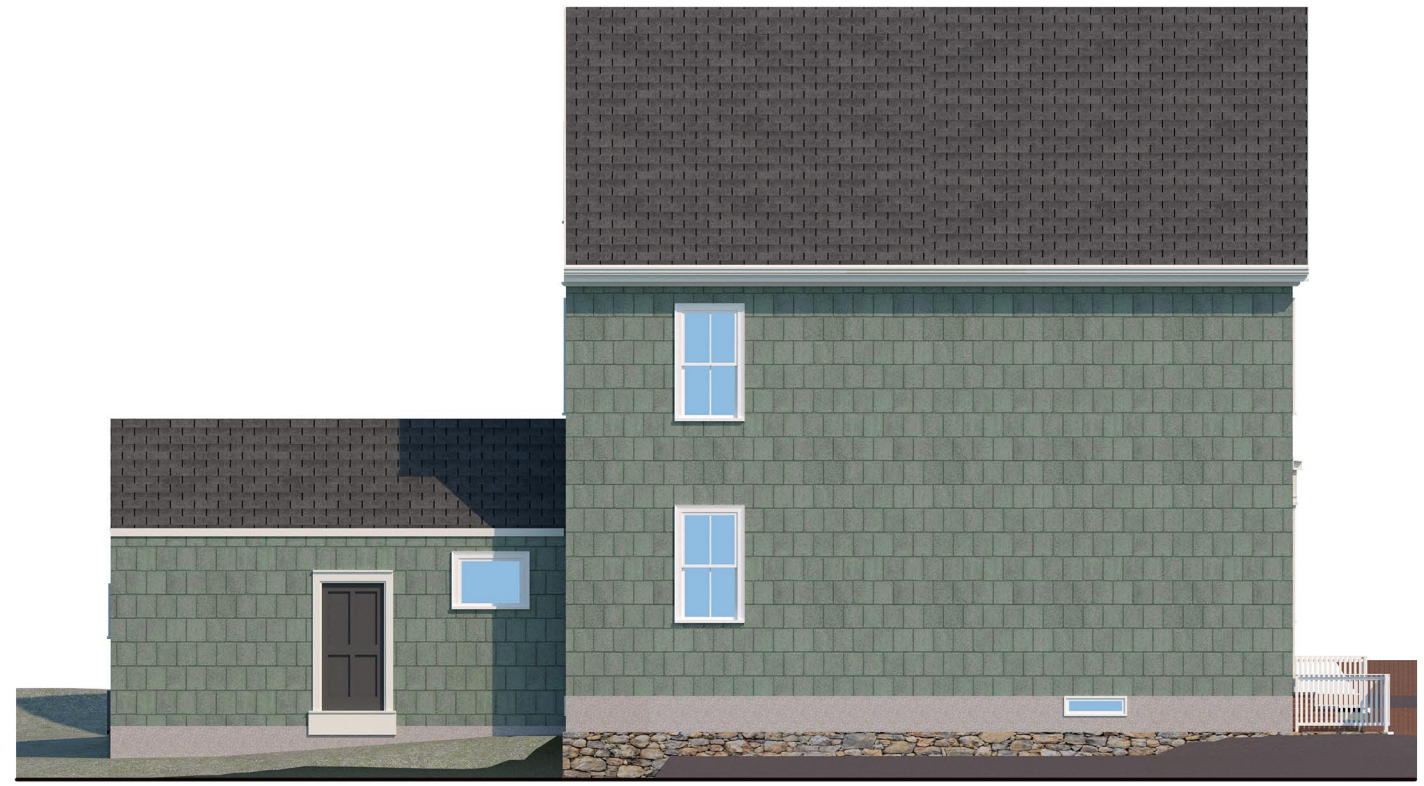
EXISTING & PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



4.0



1 EXISTING EAST ELEVATION
1/8" = 1'-0"



3 EXISTING NORTH ELEVATION
1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
1/8" = 1'-0"



4 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"
HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024





235 MARCY STREET
 PORTSMOUTH, NEW HAMPSHIRE

SITE PLAN

HISTORIC DISTRICT COMMISSION WORK SESSION #1: MAY 1, 2024



5.0