

HDC

ADMINISTRATIVE APPROVALS

May 01, 2024

- | | | |
|-----|-----------------------------|-----------------------|
| 1. | 39 Dearborn Street | -Recommended Approval |
| 2. | 179 Pleasant Street | -Recommended Approval |
| 3. | 3 Pleasant Street | -Recommended Approval |
| 4. | 30 Penhallow Street | -Recommended Approval |
| 5. | 218 State Street | -Recommended Approval |
| 6. | 53 Green Street | -Recommended Approval |
| 7. | 46 Maplewood Avenue | -Recommended Approval |
| 8. | 245 Marcy Street | -TBD |
| 9. | 49 Pleasant Street | -Recommended Approval |
| 10. | 229 Pleasant Street, Unit 4 | -Recommended Approval |

1. 39 Dearborn Street -Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (changing the bulkhead access to a deck "door" off the family room, relocating the basement hopper windows, creating a low retaining wall and fence on the front property line, removal of a window on the front gable end of addition, removal of the transom window over the mudroom entry doors and extend the roof over these doors with recessed lighting instead of light fixtures and the siding style will be Hardie Plank and Maibec wood shingles.)

Staff Comment: Recommend Approval

Stipulations:

- 1. _____
- 2. _____
- 3. _____



VIEW FROM WATER



VIEW FROM DEARBORN

- HDC ADMINISTRATIVE APPROVAL REVISIONS:
1. BULKHEAD ACCESS (THROUGH PROPOSED DECK "DOOR")
 2. BASEMENT HOPPER WINDOW LOCATIONS
 3. RETAINING WALL AND FENCE ON FRONT PROPERTY LINE.
 4. REMOVAL OF WINDOW ON FRONT GABLE END OF ADDITION.
 5. REMOVAL OF TRANSOM WINDOW OVER MUDROOM ENTRY DOORS.
 6. ROOF EXTENDED TO 12" OVER MUDROOM ENTRY DOORS.
 7. REMOVAL OF LIGHT FIXTURES NEXT TO MUDROOM ENTRY DOORS. REPLACED WITH RECESSED.
 8. CONFIRMATION THAT THE BACK WINDOWS WILL BE INSTALLED (ABUTTER APPROVAL)
 9. SIDING STYLE TO BE HARDIE PLANK AND MAIBEC WOOD SHINGLES.

EXISTING PROPERTY PHOTOS



HEIGHT STUDY IN RELATIONSHIP TO ABUTTER



RELATIONSHIP OF SHED TO PROPERTY LINE (ON OTHER SIDE OF FENCE)



SHED IN RELATIONSHIP TO CAPE & ENTRY

EXISTING NEIGHBORHOOD PHOTOS



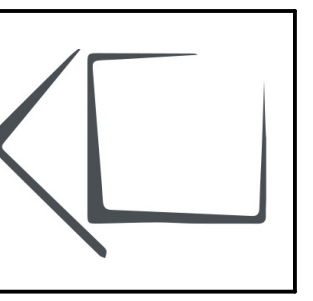
VIEW FROM DENNETT



VIEW FROM DEARBORN



VIEW FROM MAPLEWOOD



Revision Table	
Number	Description

OVERVIEW

CLIENT:
 BARDONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 AMY DUTTON HOME
 9 WALKER STREET | KITTERY, ME
 amy@amyduttonhome.com
 207.337.2020

DATE:

4/8/2024

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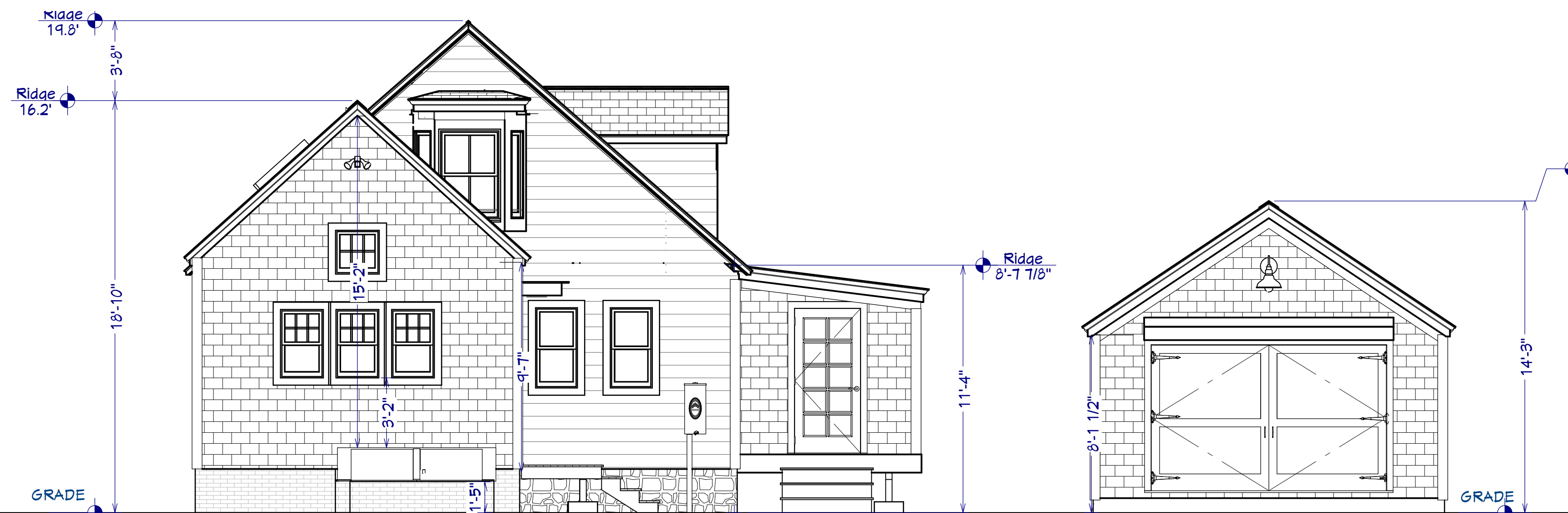
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

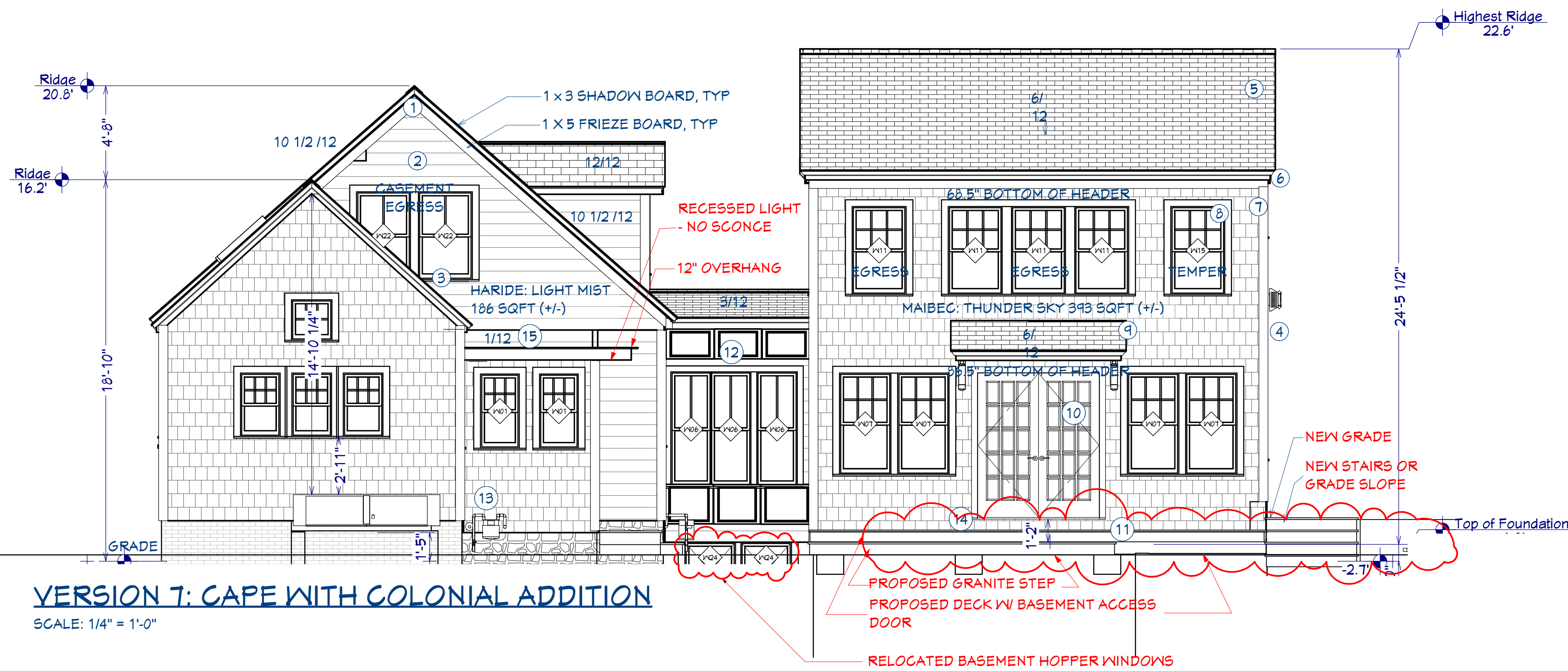
SHEET:

0-1



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"

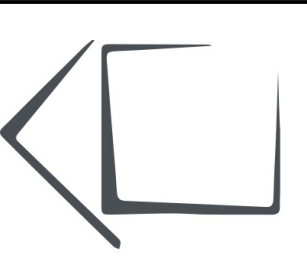
PROPOSED SOUTH ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
①	REMOVAL OF EXISTING ROOFING SHINGLES AND SHEATHING AND INSULATING AS NEEDED FROM EXTERIOR
②	HARDIE LAP SIDING
③	HISTORIC SILLS ON HOUSE & ADDITION
④	EXHAUST FOR GAS STOVE
⑤	GAF ASPHALT ROOFING
⑥	TRIM WORK: WINDOW, DOOR, ROOF RAKE AND SOFFIT: AZEC PTD
⑦	MAIBEC WOOD SHINGLES
⑧	MARVIN ELEVATE 6/1 DH
⑨	ENTRYWAY CANOPY W/ WOOD BRACKETS (CHAMFERED EDGE)
⑩	MARVIN, ELEVATE FRENCH DOOR_15 - LITE
⑪	GRANITE LANDING & STAIR
⑫	AZEC PTD. TRIM PANELS
⑬	RELOCATED GAS METER
⑭	AZEC PTD. RISER BOARD
⑮	PITCH ROOF TO REMOVE WATER. RUBBERIZE



PROPOSED DECK DOOR - ACCESS TO BASEMENT / BULKHEAD BY Lucidgold
DECKING: AZEC VINTAGE COLLECTION



Revision Table		
Number	Date	Description

ELEVATIONS

CLIENT:
AMY DUTTON HOME
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
AMY DUTTON HOME
9 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.337.2020

DATE:

4/8/2024

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-9



EXISTING SOUTH ELEVATION | FRONT VIEW

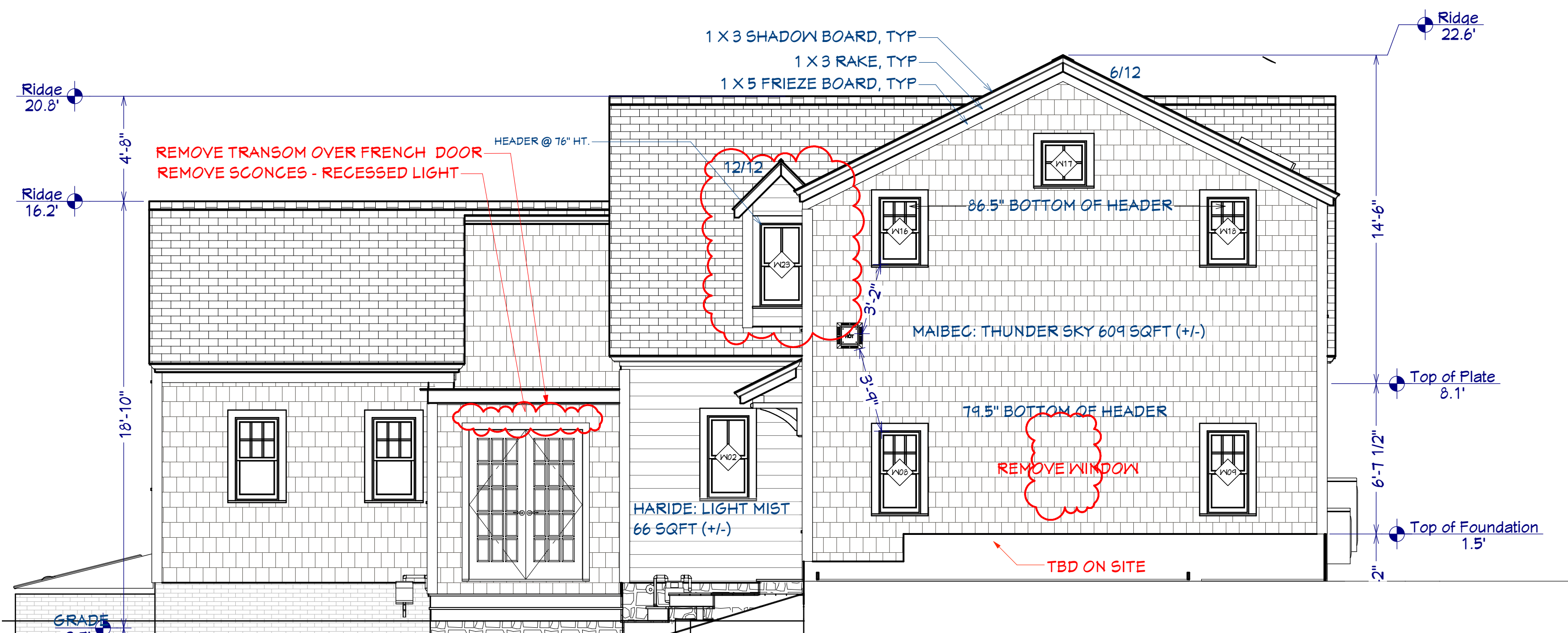
SCALE: 1/8" = 1'-0"



EXISTING DORMER



INSPO DORMER

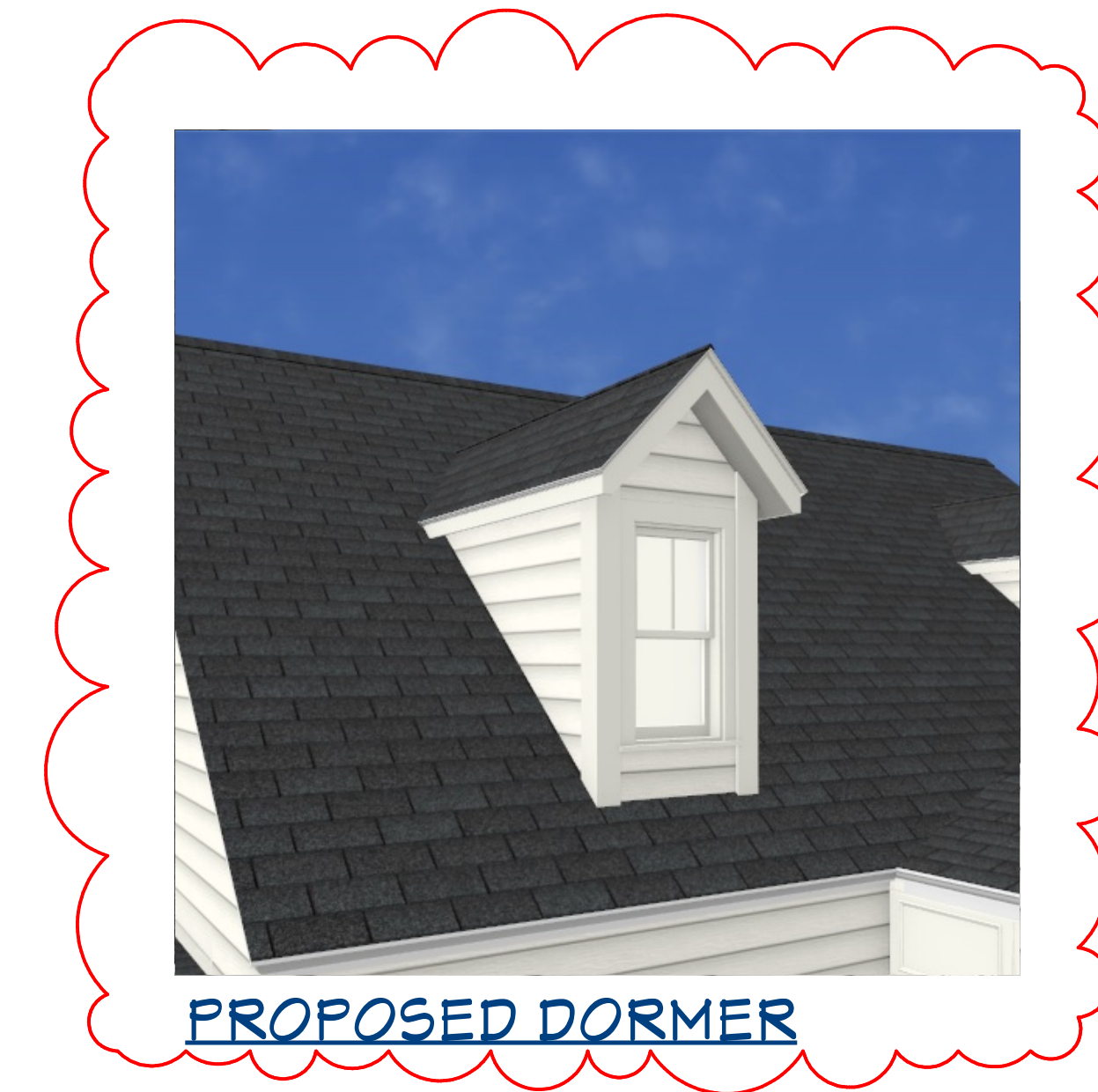


VERSION 7: CAPE WITH COLONIAL ADDITION (FRONT)

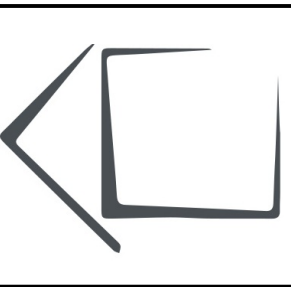
SCALE: 1/4" = 1'-0"

PROPOSED EAST ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"



PROPOSED DORMER



Revision Table	
Number	Description

ELEVATIONS

CLIENT:
 BARDONG
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 AMY DUTTON HOME
 9 WALKER STREET | KITTERY, ME
 amy@amyduttonhome.com
 207.337.2020

DATE:

4/8/2024

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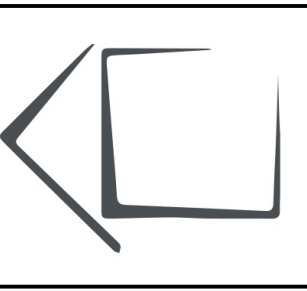
SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-10



Revision Table

Number	Date	Description

ELEVATIONS

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
AMY DUTTON HOME
9 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.337.2020

DATE:

4/8/2024

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-11



EXISTING FRONT HOUSE



PROPOSED DORMER



VERSION 7: CAPE WITH COLONIAL ADDITION (DORMER)

SCALE: 1/4" = 1'-0"

PROPOSED EAST ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

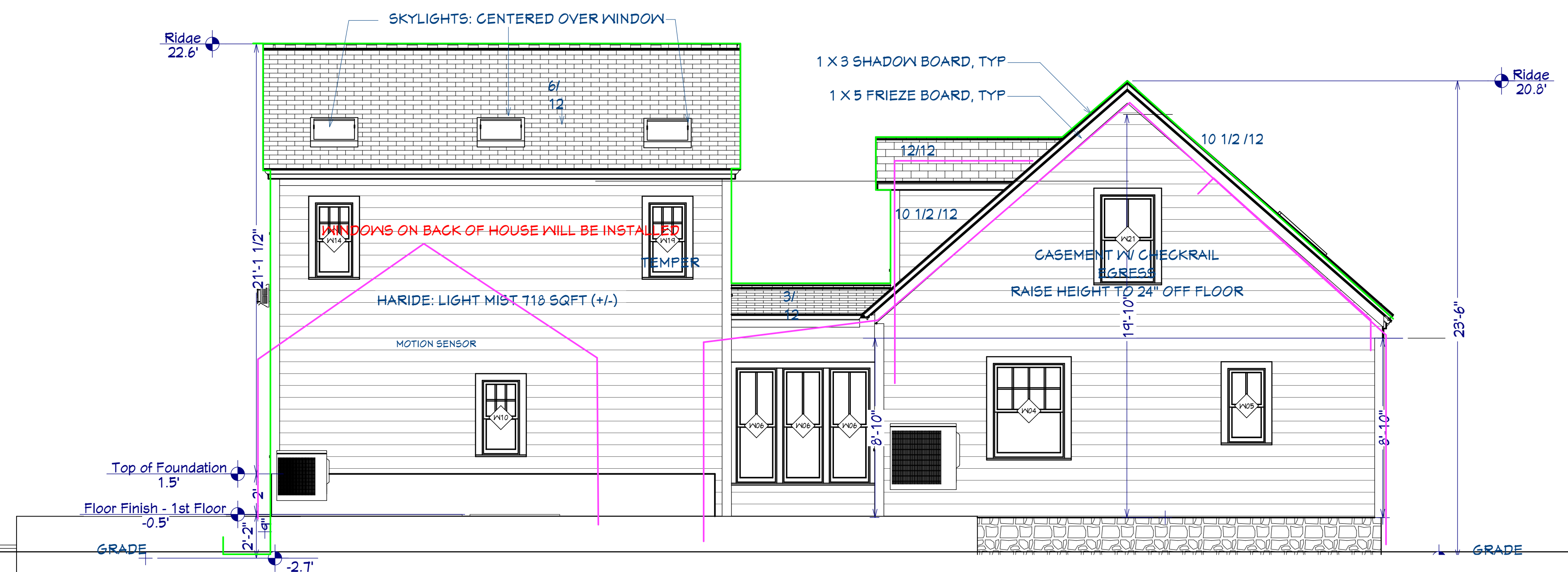
SCALE: 1/8" = 1'-0"

EXISTING PHOTOS



SOUTH SIDE VIEW

REAR VIEW



VERSION 7: CAPE WITH COLONIAL ADDITION

SCALE: 1/4" = 1'-0"

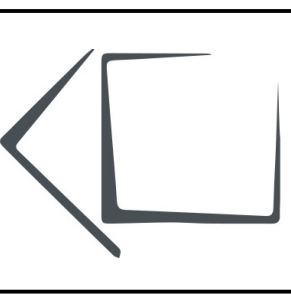


EXISTING BACK GRADE & FENCE

SCALE: NTS

LINE LEGEND

- = EXISTING
- = PROPOSED



Revision Table	
Number	Description

ELEVATIONS

CLIENT:
 BARDONG
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 AMY DUTTON HOME
 9 WALKER STREET | KITTERY, ME
 amy@amyduttonhome.com
 207.337.2020

DATE:

4/8/2024

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-12

PROPOSED NORTH ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"

2. 179 Pleasant Street -Recommended Approval

Background: The applicant is seeking approval for minor updates and approval for lighting, chimney caps, miscellaneous brackets and pergola updates.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

1 EXTERIOR LIGHTING

- Black lantern style fixtures are proposed at exterior door locations as shown on elevations.
- The fixtures are located on the flanking pilasters because the pilasters often also form the outside corner of an entry bump-out leaving no wall space available to locate them on plinth blocks.

2 BRICK CHIMNEY CAPS

- The existing black and white painted Brick Chimneys did not have chimney caps.
- A Bluestone slab supported by brick piers and painted black to match the existing chimney is proposed.

3 CANOPY BRACKETS

Canopy Brackets to replace previously approved Posts and Brackets.

- There is a significant **30'-0" wide Sewer Easement** along the West property line that will limit backfill opportunities within the easement area.
- Removal of the previously approved posts will help to open the path of circulation around the corner that abuts the easement.
- Solid wood Sapele (Mahogany) Brackets are proposed as a less obstructive option.
- The Stonemasons Inc., who are executing the stonework on the building, suggested a stone alternative to the original approved exterior door casing. A sample of a similar arch detail installed by them is shown for reference.
- In light of the stone casing, the exterior door finish is proposed to also be Sapele (Mahogany) to complement the brackets and stone.

4 PERGOLA

- Construction: Solid Post and Beam Sapele (Mahogany)
- Granite Post Base
- The Canopy Brackets will also be utilized in the Pergola Construction.

179 PLEASANT STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

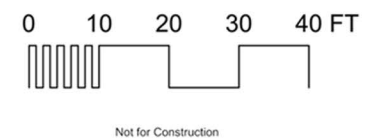
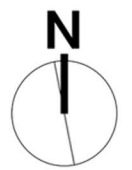
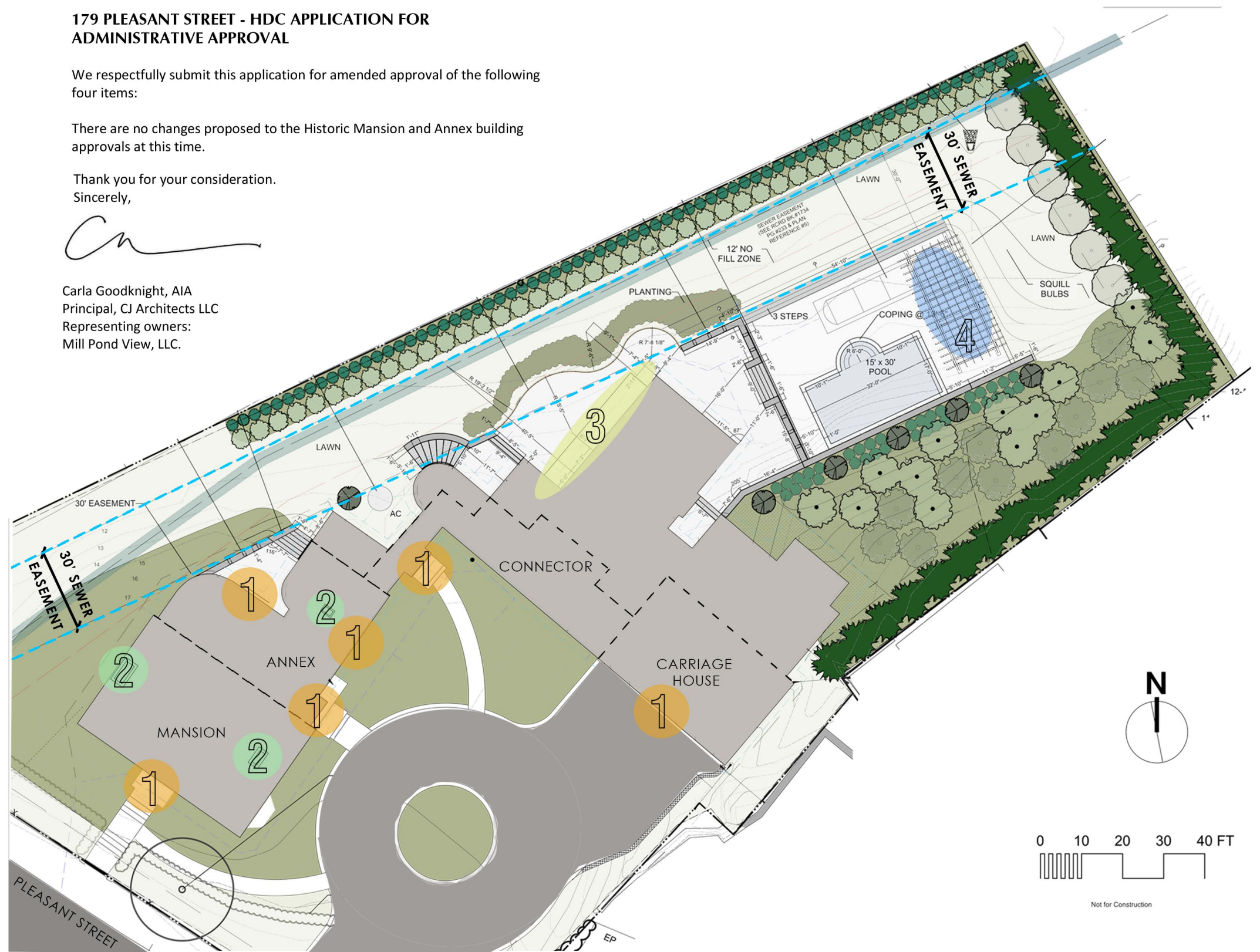
We respectfully submit this application for amended approval of the following four items:

There are no changes proposed to the Historic Mansion and Annex building approvals at this time.

Thank you for your consideration.
Sincerely,



Carla Goodknight, AIA
Principal, CJ Architects LLC
Representing owners:
Mill Pond View, LLC.



Not for Construction

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

AGENDA & KEY PLAN

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024





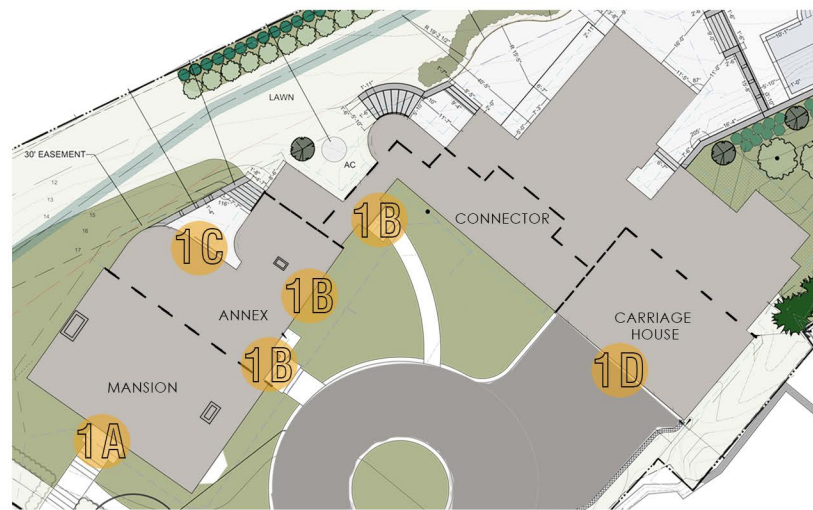
1A - PREVIOUSLY APPROVED WEST ELEVATION WITH PROPOSED LIGHT FIXTURE LOCATIONS



1B - PREVIOUSLY APPROVED SOUTH ELEVATION WITH PROPOSED LIGHT FIXTURE LOCATIONS



1C - PREVIOUSLY APPROVED EAST ELEVATION WITH PROPOSED LIGHT FIXTURE LOCATIONS



KEY PLAN



1D - PREVIOUSLY APPROVED ELEVATION WITH PROPOSED LIGHT FIXTURE LOCATIONS

- Black lantern style fixtures are proposed at exterior door locations as shown on elevations.
- The fixtures are located on the flanking pilasters because the pilasters often also form the outside corner of an entry bump-out leaving no wall space available to locate them on plinth blocks.



CO1444TXB: Large Bracket Wall Lantern

Dimensions:

Width: 9.62"	Collection: Cupertino
Height: 25.62"	Finish: Textured Black (TXB)
Extends: 11.375"	

1 EXTERIOR LIGHTING

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

EXTERIOR LIGHTING

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024



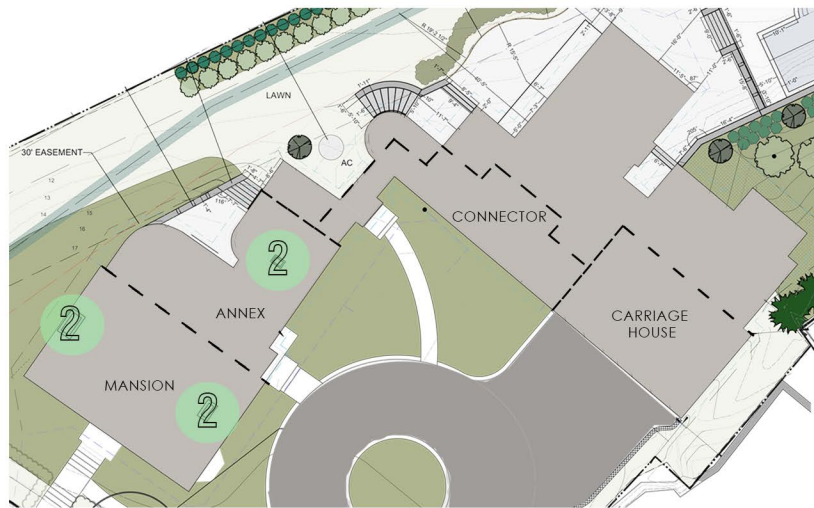
1.0



TYPICAL MANSION & ANNEX CHIMNEY



EXAMPLE OF PROPOSED SIMILIAR BRICK CHIMNEY CAP (171 WASHINGTON STREET)



KEY PLAN

- The existing black and white painted Brick Chimneys did not have chimney caps.
- A Bluestone slab supported by brick piers and painted black to match the existing chimney is proposed.

2 BRICK CHIMNEY CAPS

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

BRICK CHIMNEY CAPS

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024

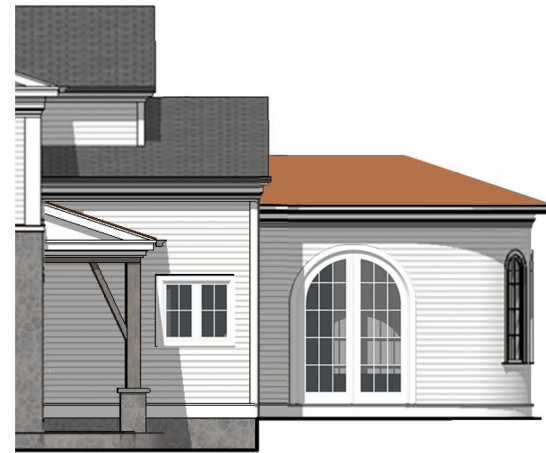


2.0



PROPOSED VIEW

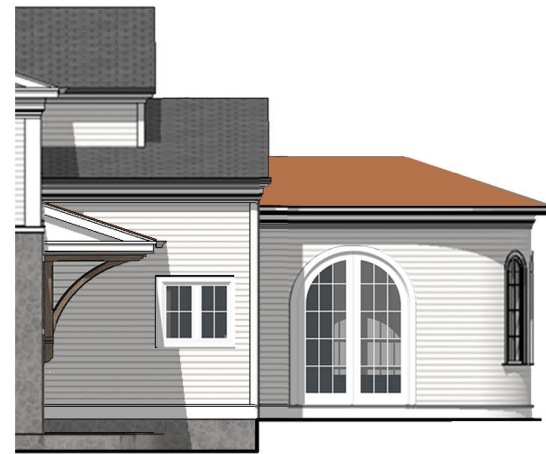
- There is a significant **30'-0" wide Sewer Easement** along the West property line that will limit backfill opportunities within the easement area.
- Removal of the previously approved posts will help to open the path of circulation around the corner that abuts the easement.
- Solid wood Sapele (Mahogany) Brackets are proposed as a less obstructive option.
- The Stonemasons Inc., who are executing the stonework on the building, suggested a stone alternative to the original approved exterior door casing. A sample of a similar arch detail installed by them is shown for reference.
- In light of the stone casing, the exterior door finish is proposed to also be Sapele (Mahogany) to complement the brackets and stone.



APPROVED REAR ELEVATION (7/12/23)



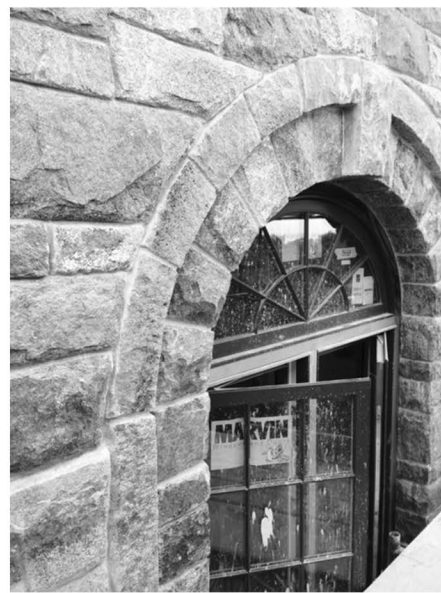
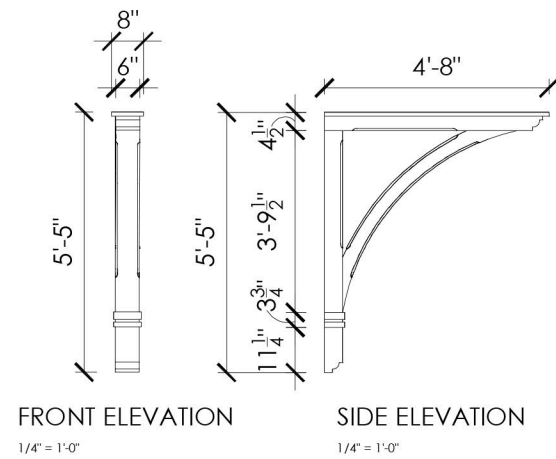
APPROVED SIDE ELEVATION (7/12/23)



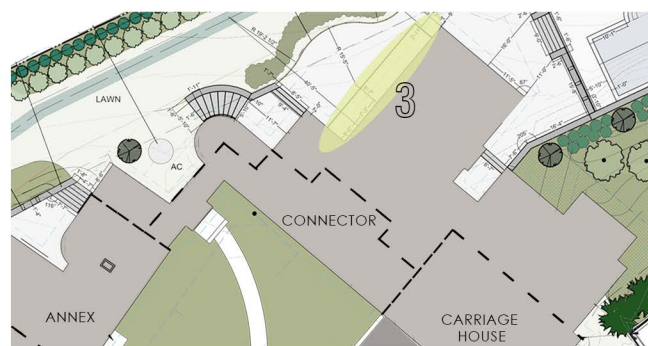
PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION



STONE ARCH DETAIL



KEY PLAN

3 CANOPY BRACKETS

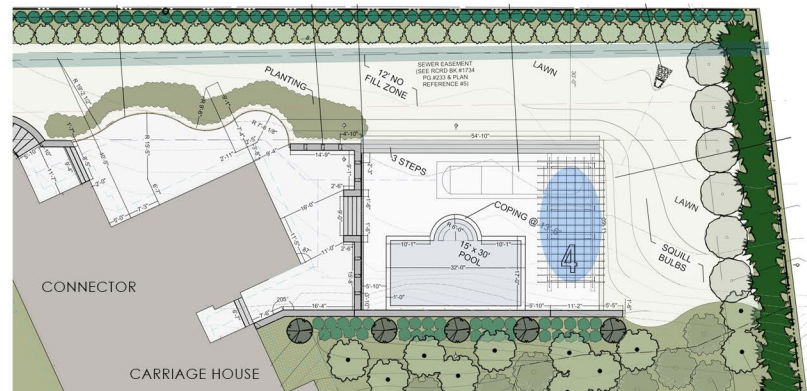
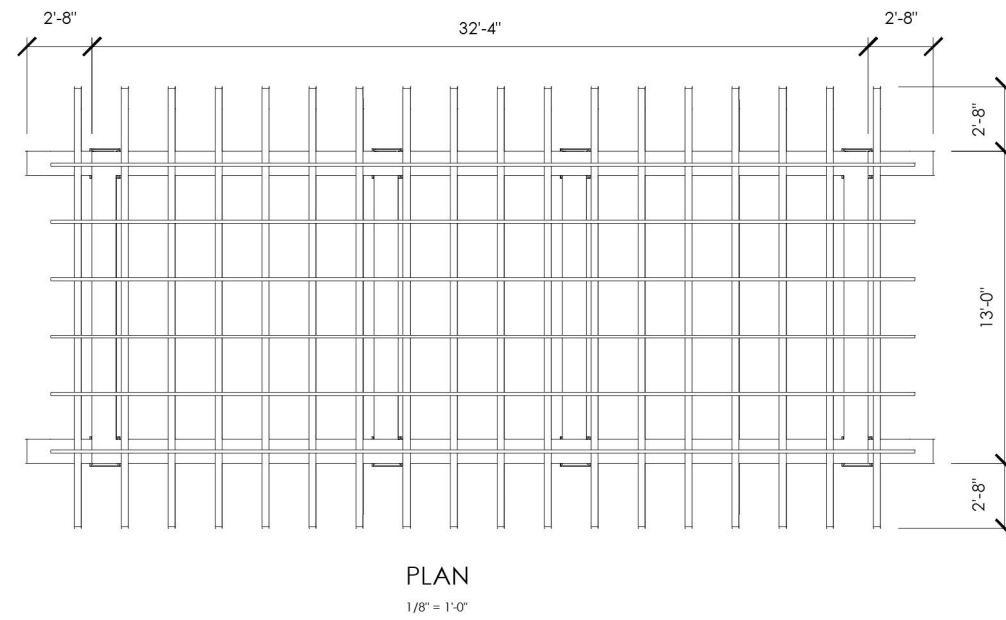
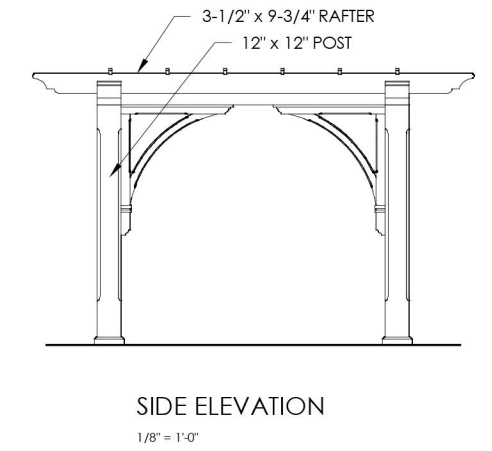
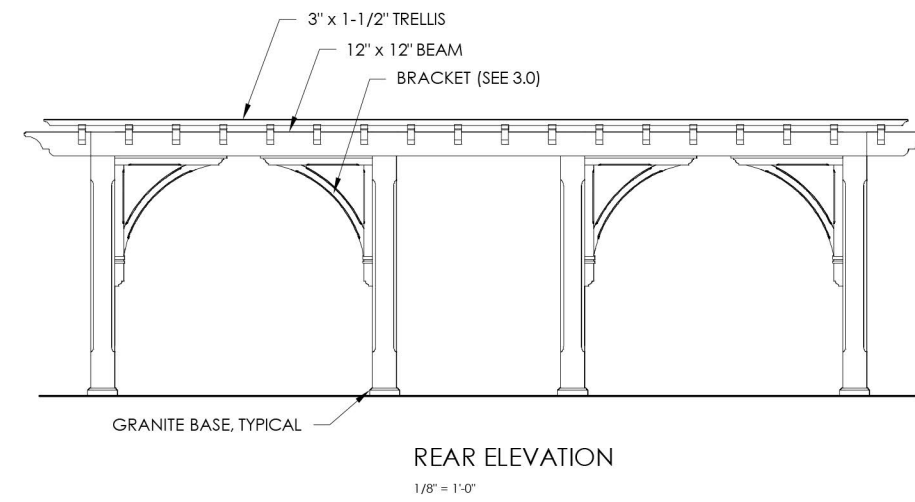
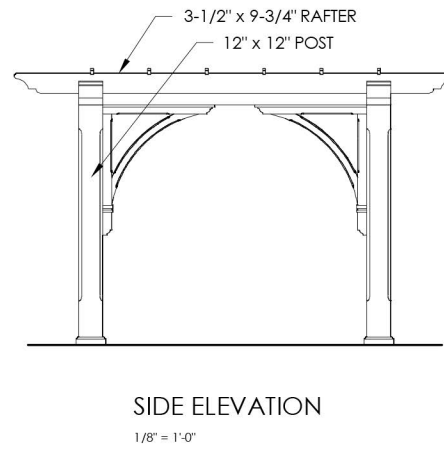
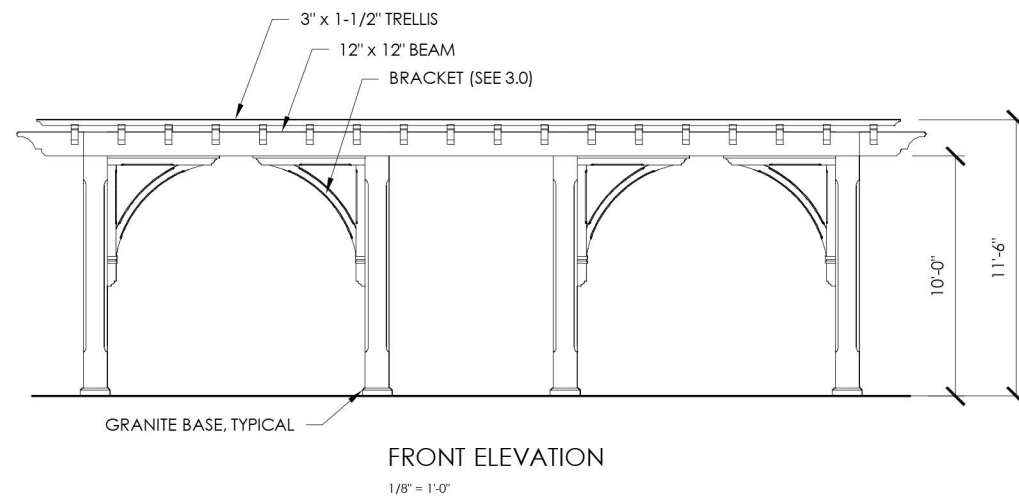
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

CANOPY BRACKETS

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024



3.0



KEY PLAN

- Construction: Solid Post and Beam Sapele (Mahogany)
- Granite Post Base
- The Canopy Brackets will also be utilized in the Pergola Construction.



PROPOSED VIEW

4 PERGOLA

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PERGOLA

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MAY 1, 2024



4.0

3. 3 Pleasant Street -Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved awning and bracket design.

Staff Comment: Recommend Approval

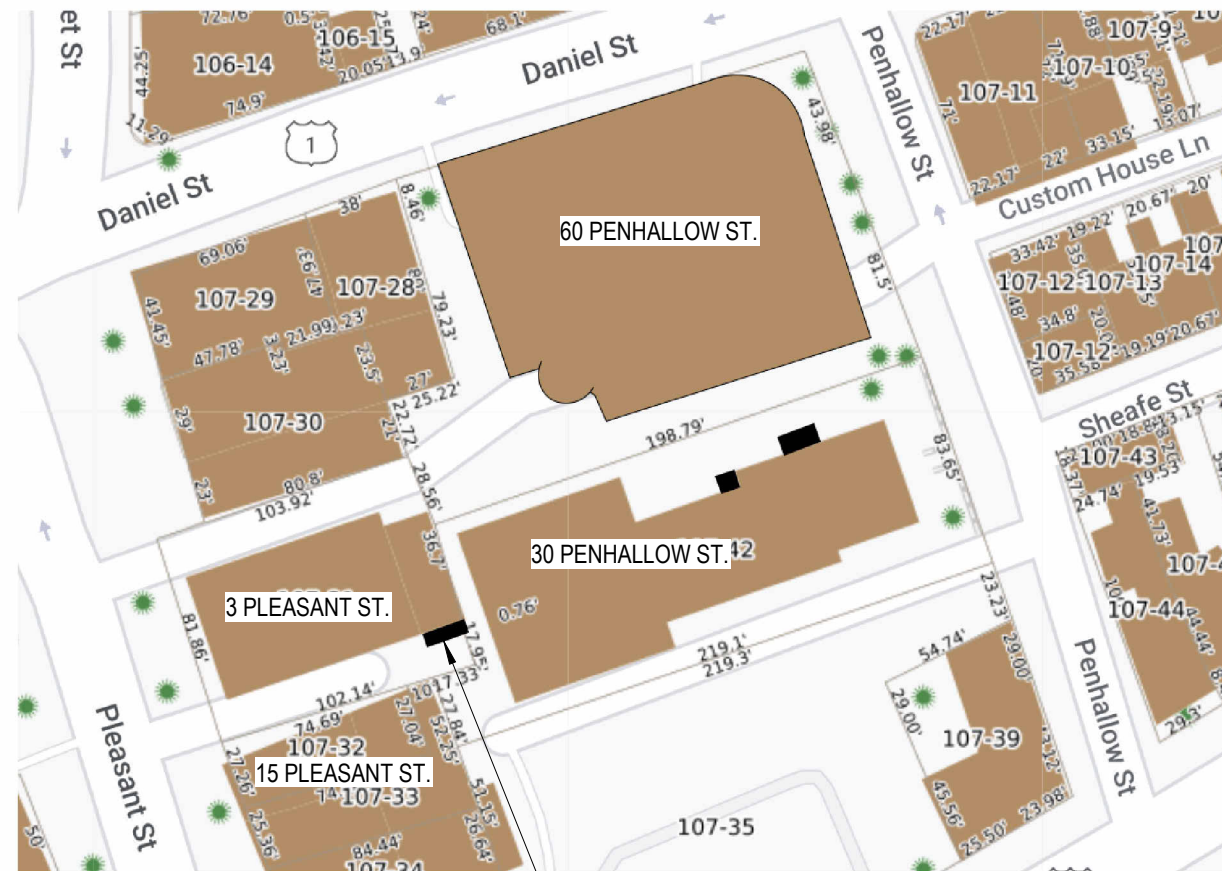
Stipulations:

1. _____
2. _____
3. _____

HDC.1

REVISIONS TO PREVIOUSLY APPROVED APPLICATION.

Revisions to the drawings since HDC approval: Steel joists added to support awning, steel columns added at exterior face of building wall to support awning brackets.



3 PLEASANT
LOCATION OF WORK

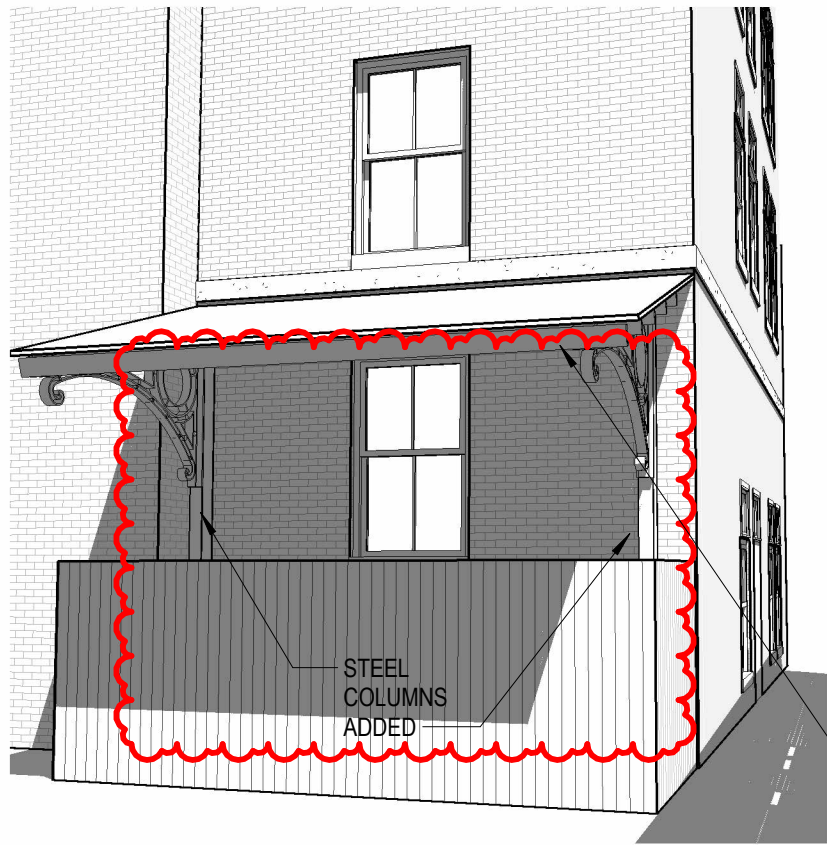


3 PLEASANT STREET

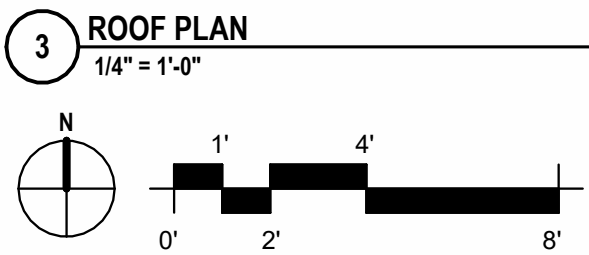
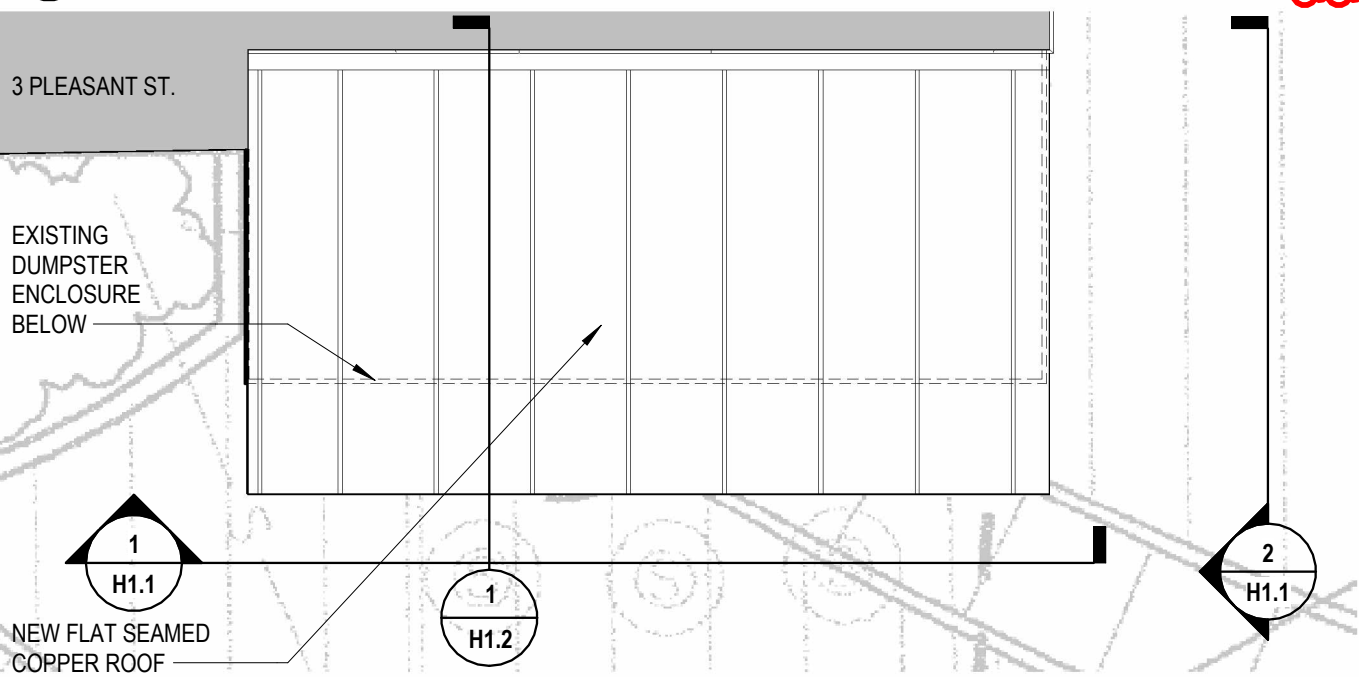


3 PLEASANT STREET

UTILITY AWNING ADDITION- REVISION 1
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING

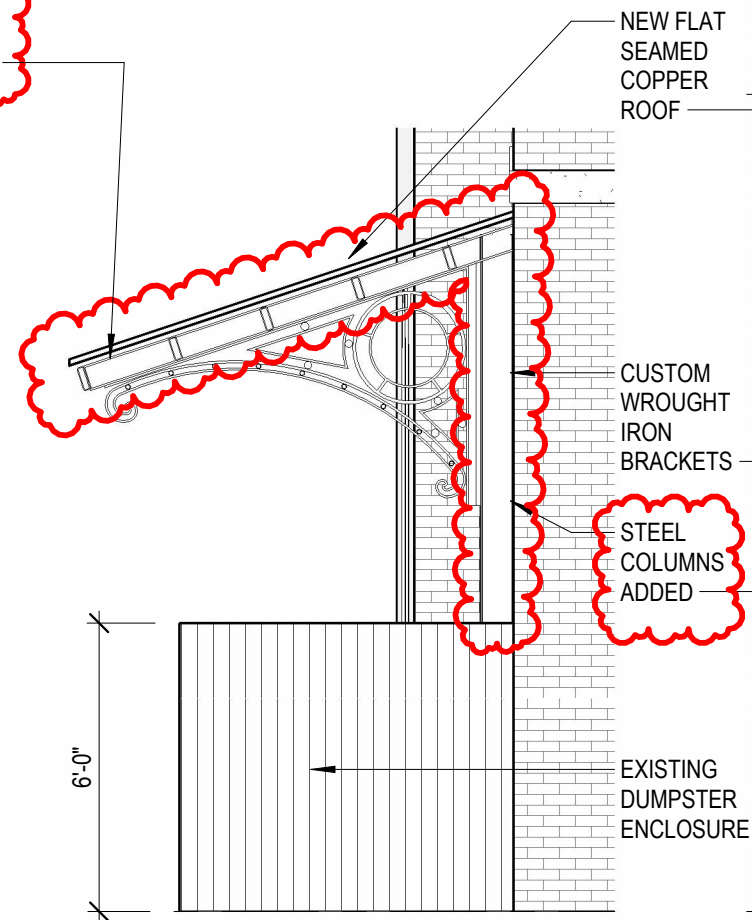


4 3D VIEW

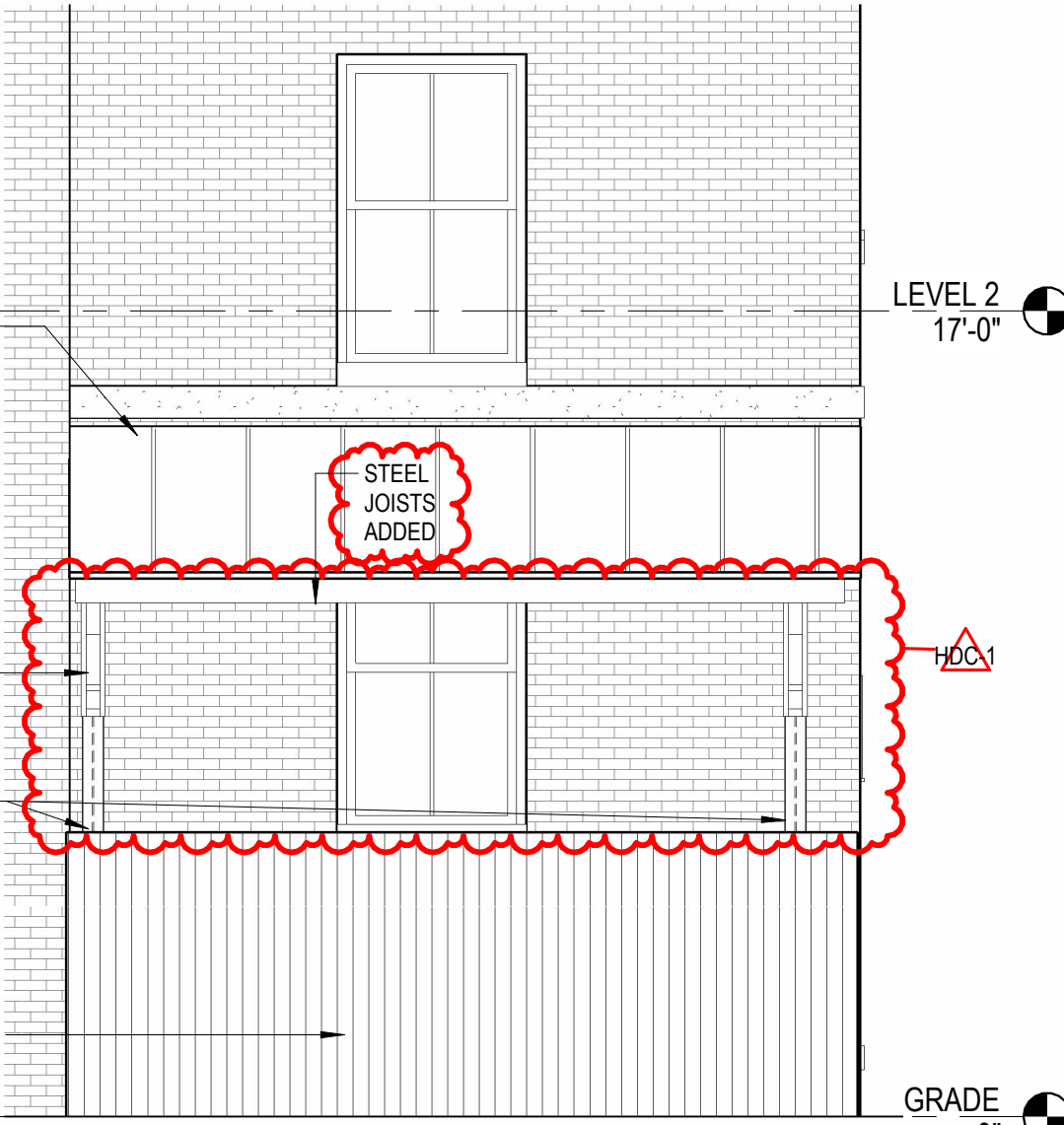


3 ROOF PLAN
1/4" = 1'-0"

STEEL JOISTS ADDED



2 EAST ELEVATION
1/4" = 1'-0"

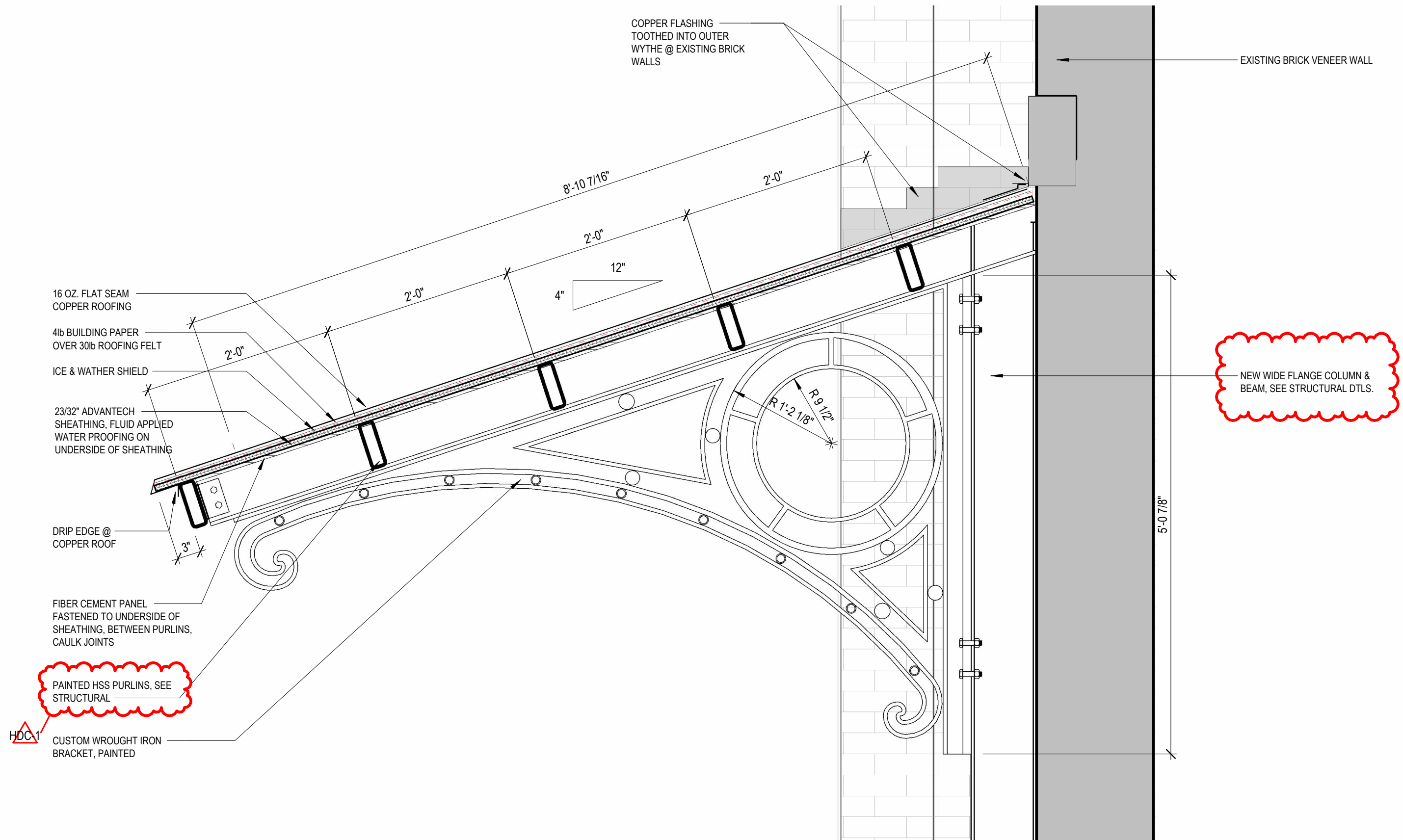


1 SOUTH ELEVATION
1/4" = 1'-0"

3 PLEASANT ST. PLANS, ELEVATIONS, & PHOTOS
AWNINGS

H1.1

REVISED 04/12/2024
PROJECT NO:1025



HDC-1

PAINTED HSS PURLINS, SEE STRUCTURAL

CUSTOM WROUGHT IRON BRACKET, PAINTED



1 3 PLEASANT ST. - BRACKET DETAIL- HDC
1" = 1'-0"



3 PLEASANT ST. BRACKET DETAIL
AWNINGS

4. 30 Penhallow Street

-Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved awning and bracket design.

Staff Comment: Recommend Approval

Stipulations:

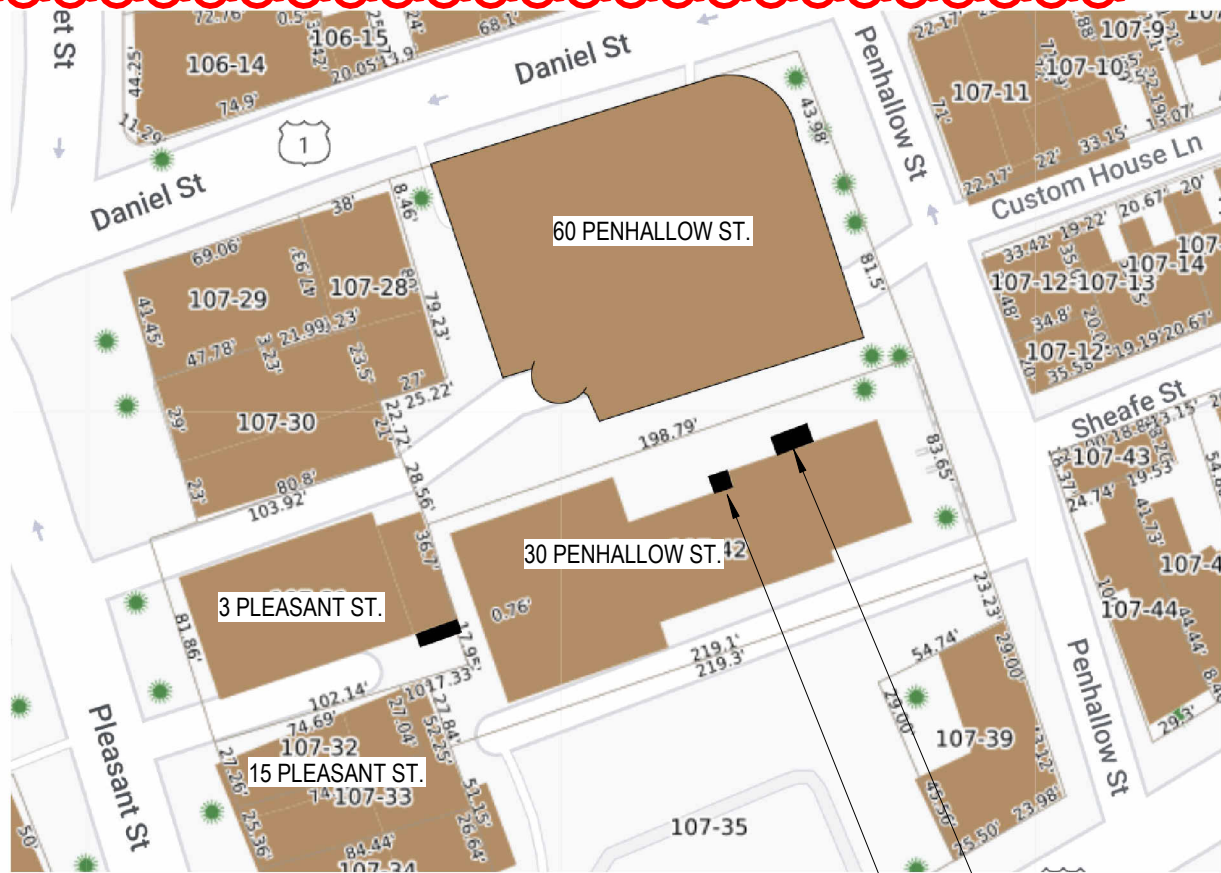
1. _____
2. _____
3. _____

HDC 1

REVISIONS TO PREVIOUSLY APPROVED APPLICATION.

Revisions to the design for awnings at 30 Penhallow since HDC approval:

- Steel joists added for structural support of glass
- Roof pitch of glass awning revised
- Bracket added for structural support to copper roof at corner
- Overall dimension of copper roof revised slightly



30 PENHALLOW LOCATIONS OF WORK

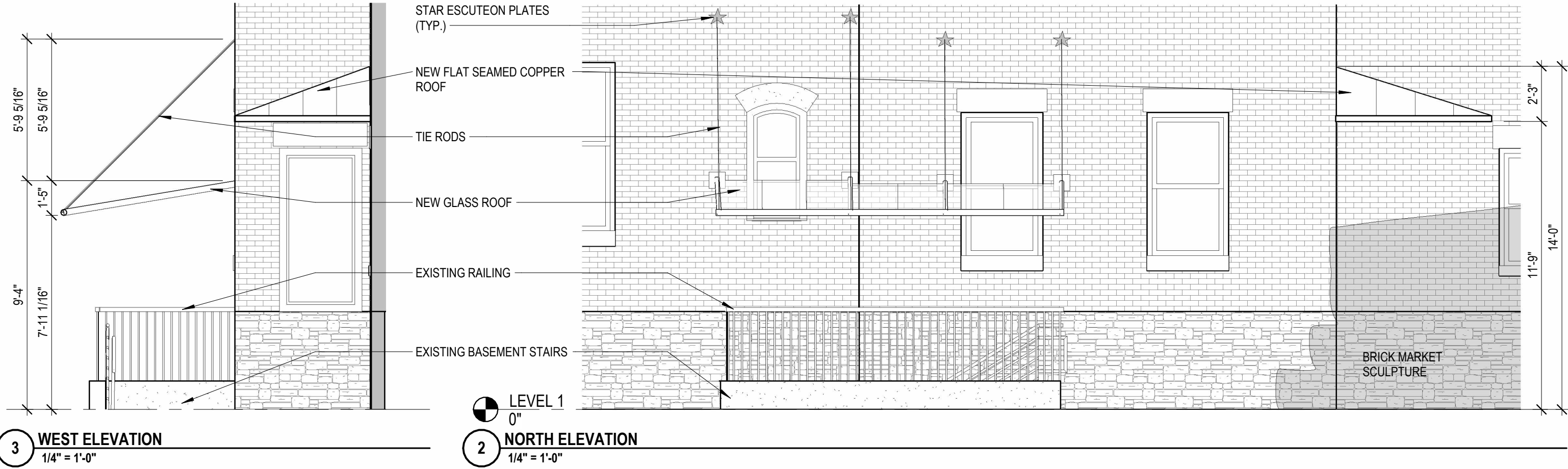


30 PENHALLOW STREET



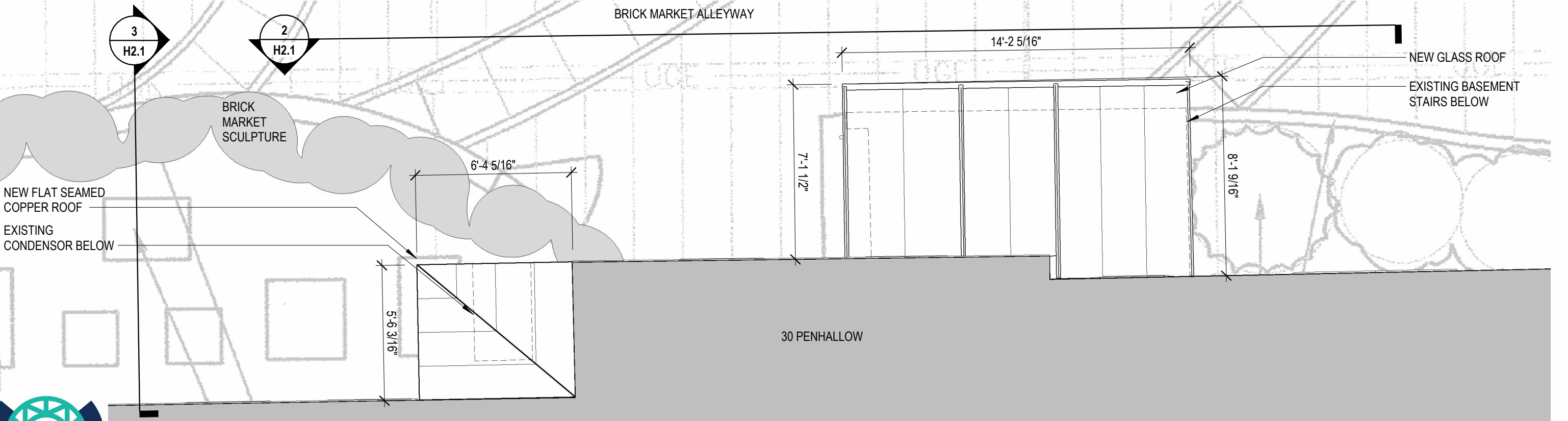
30 PENHALLOW

UTILITY AWNING ADDITIONS- REVISION 1
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING

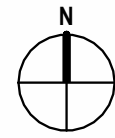


3 WEST ELEVATION
1/4" = 1'-0"

2 NORTH ELEVATION
1/4" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"



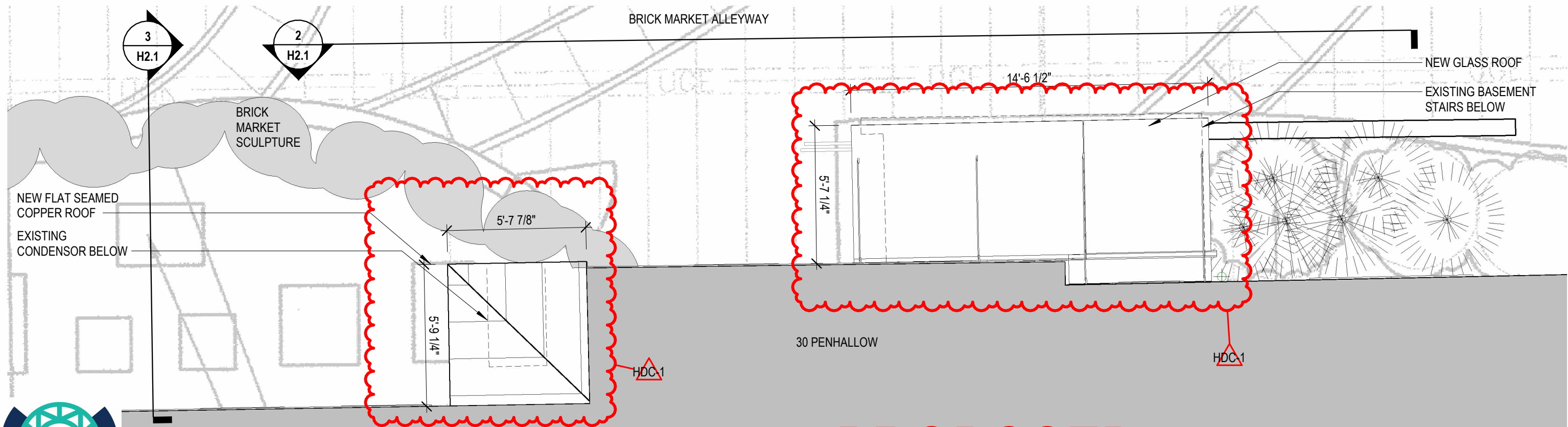
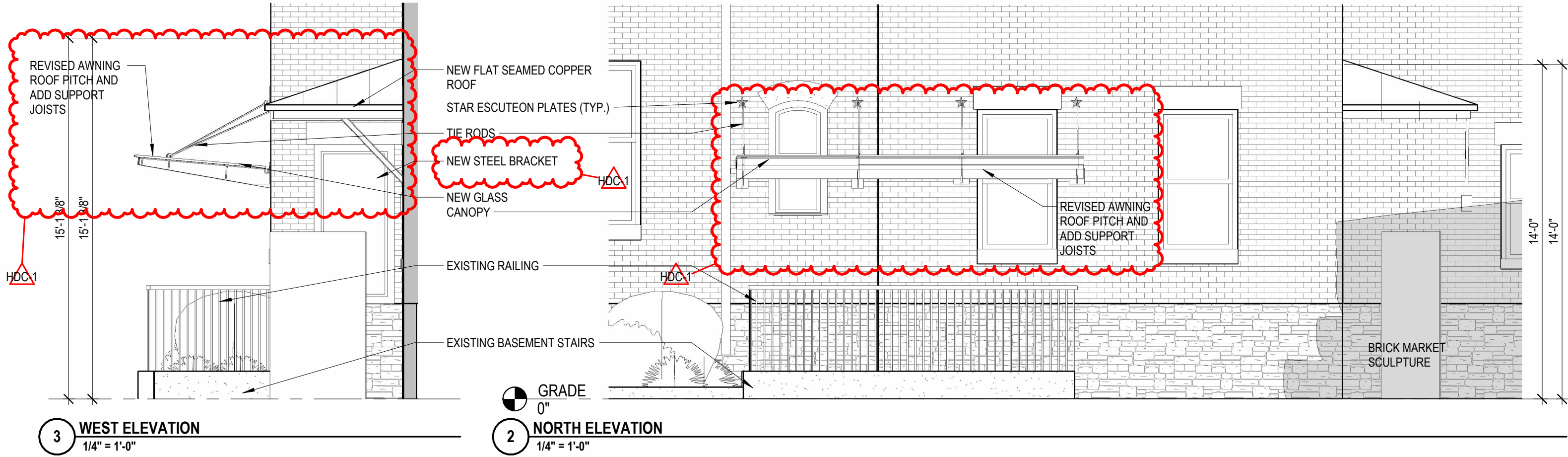
PREVIOUSLY APPROVED

30 PENHALLOW ST. PLANS & ELEVATIONS

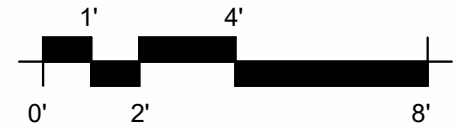
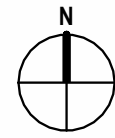
30 PENHALLOW ST

H2.1

08/17/2023
PROJECT NO:1025



PROPOSED

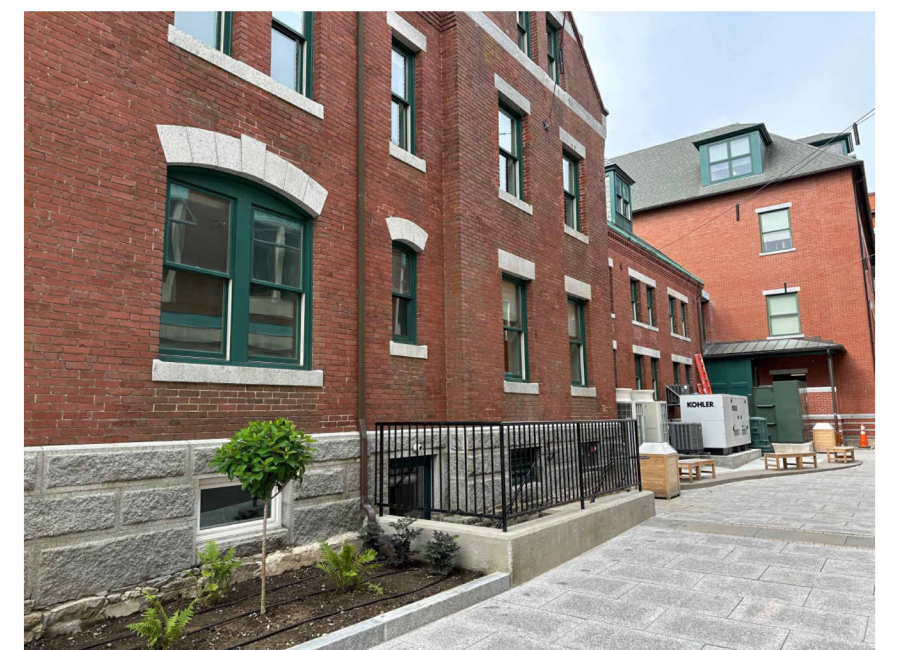




BRICK MARKET ALLEY LOOKING TOWARDS PENHALLOW ST.



EXISTING AWNINGS ACROSS ALLEY



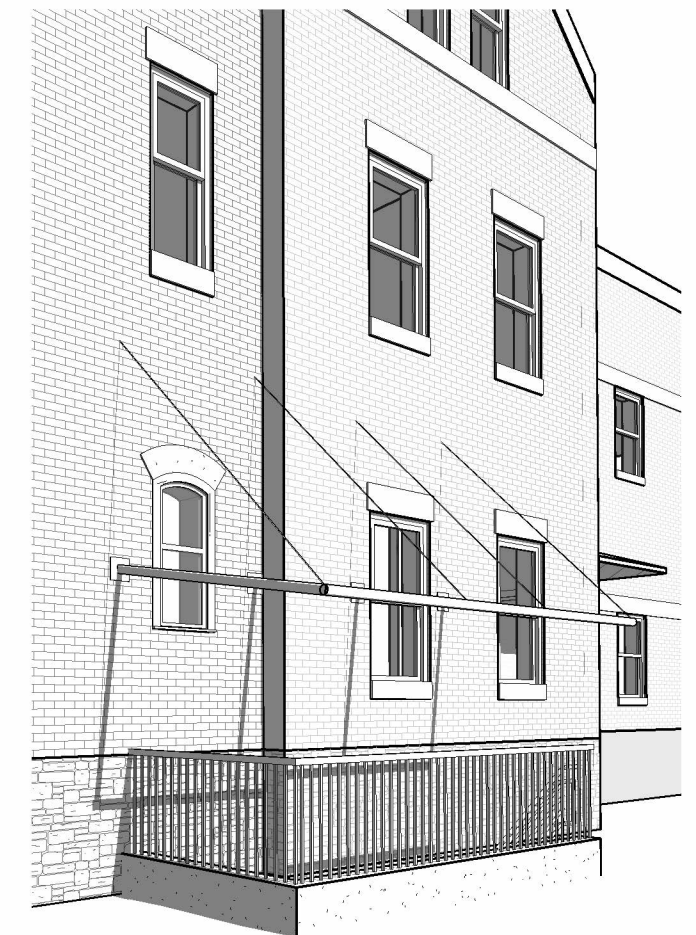
BRICK MARKET ALLEY LOOKING FROM PENHALLOW ST.



EXISTING COMPRESSOR TO BE COVERED



PREVIOUSLY APPROVED
3D VIEW FROM BRICK MARKET ALLEY TOWARDS PENHALLOW ST.

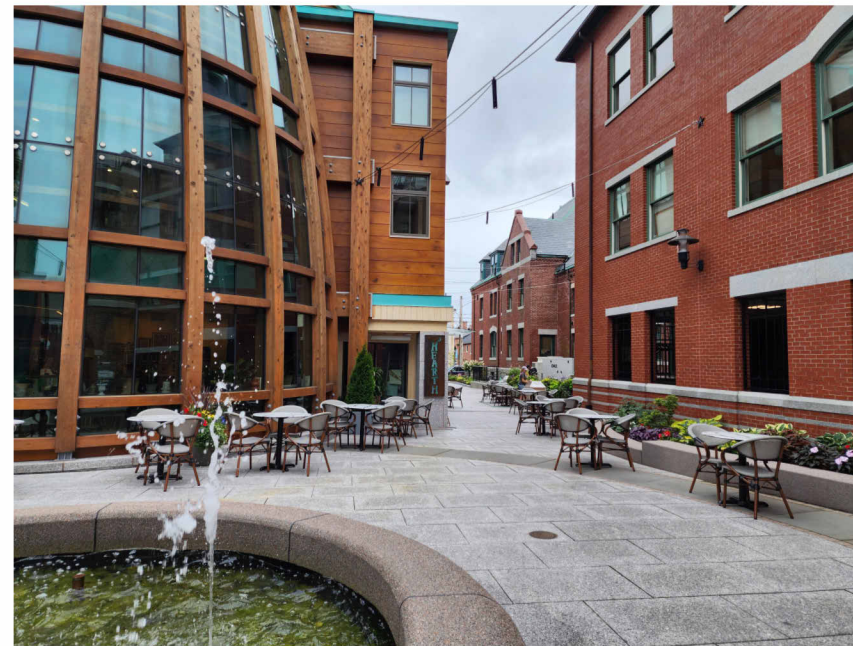


PREVIOUSLY APPROVED
3D VIEW FROM BRICK MARKET ALLEY

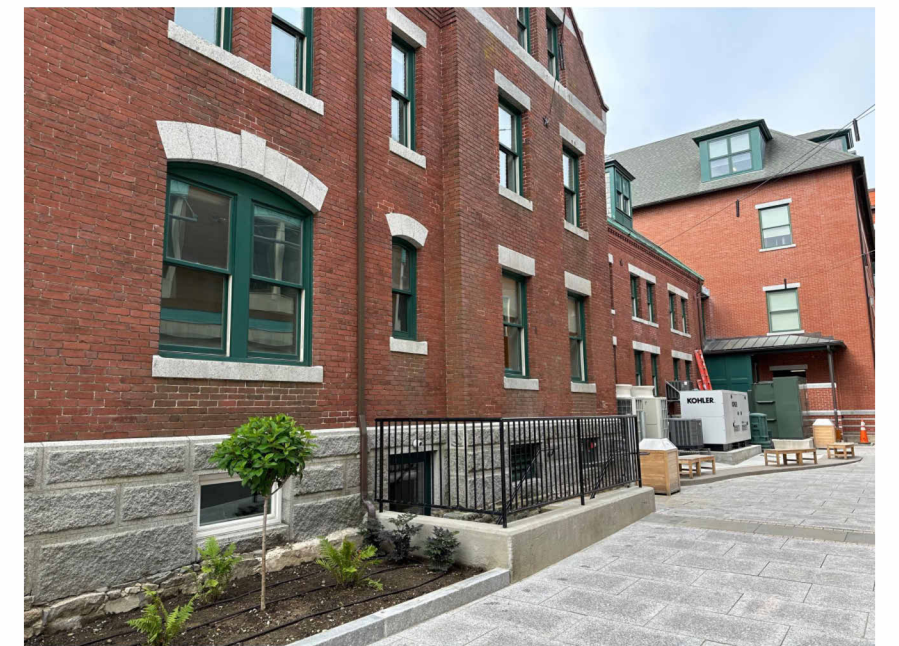




BRICK MARKET ALLEY LOOKING TOWARDS PENHALLOW ST.



BRICK MARKET COURTYARD



BRICK MARKET ALLEY LOOKING TOWARDS COURTYARD



EXISTING COMPRESSOR TO BE COVERED



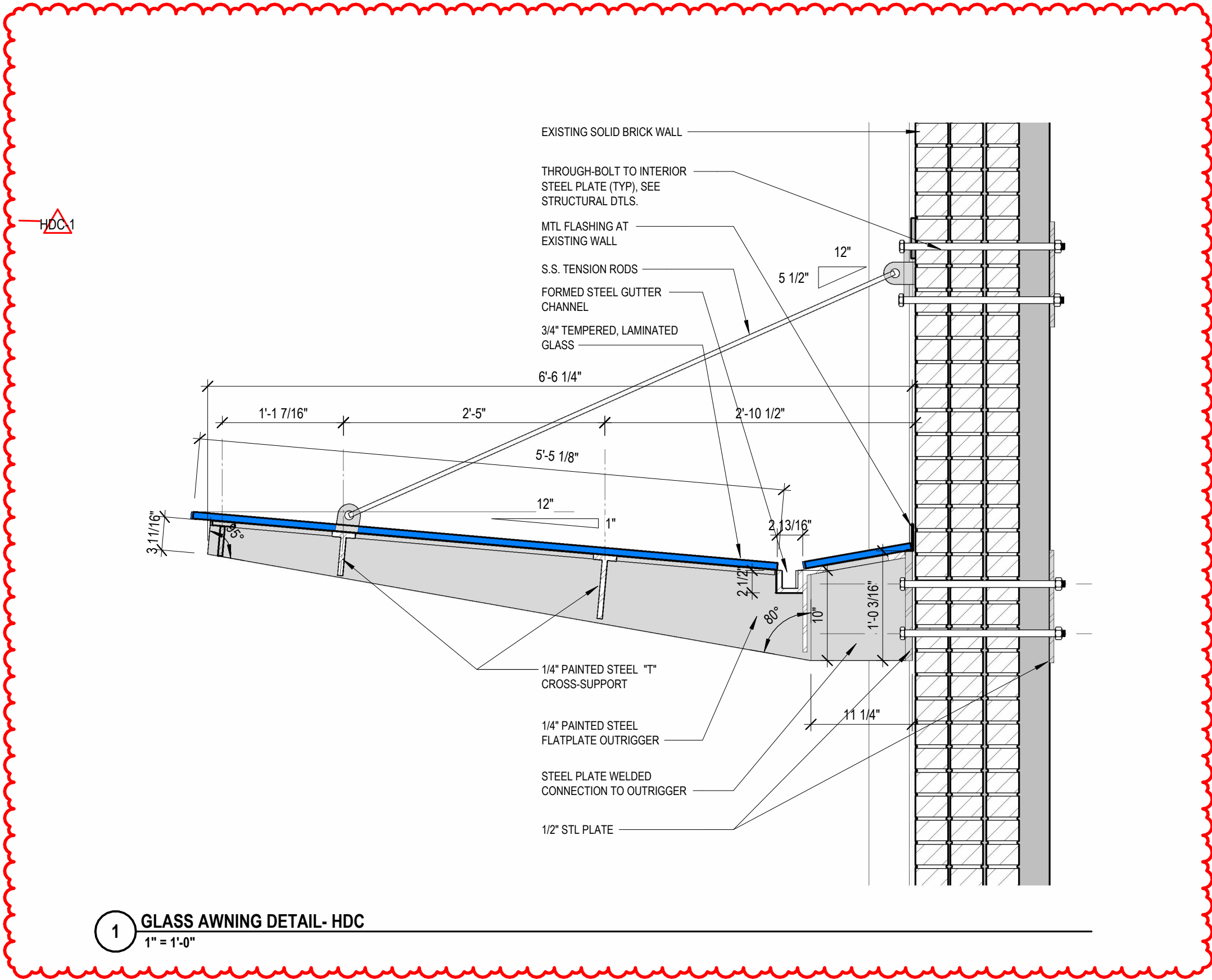
3D VIEW FROM BRICK MARKET ALLEY TOWARDS PENHALLOW ST.



3D VIEW FROM BRICK MARKET ALLEY

PROPOSED





1 GLASS AWNING DETAIL- HDC
1" = 1'-0"



5. 218 State Street

-Recommended Approval

Background: The applicant is seeking approval for the removal of (2) non-function exterior lights.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



6. 53 Green Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (changes to door and window locations, associated trim panels and decorative grills).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

53 GREEN STREET - HDC APPLICATION FOR AMENDED APPROVAL

We respectfully submit this Application for Amended Approval for the construction of a new Mixed-Use building located at 53 Green Street.

Summary:

- There are no changes to the approved materials proposed at this time.
- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.
- The decorative grill panels on the water side of the building have been separated into an upper and lower panel to accommodate floor systems.

Thank you for your consideration.
Sincerely,



Carla Goodknight, AIA
Principal, CJ Architects

Representing:
Jeff Johnston, Owner

Table Of Contents:

- 1.0: Market Street View
- 1.2: Russell Street View
- 1.2: Green Street View
- 1.3: View from AC Hotel
- 1.4: View from the Park

A 200 Series – Scaled Elevations, Previously Approved & Proposed for comparison.



PREVIOUSLY APPROVED MARKET STREET VIEW (7/7/2021)



PROPOSED MARKET STREET VIEW

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW

HDC ADMINISTRATIVE APPLICATION TO AMENDED PREVIOUS APPROVAL: MAY 1, 2024

 **CATHARTES**
EMBARC



1.0

Summary:

- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.
- The decorative grill panels on the water side of the building have been separated into an upper and lower panel to accommodate floor systems.



PREVIOUSLY APPROVED RUSSELL STREET VIEW (7/7/2021)



PROPOSED RUSSELL STREET VIEW

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

RUSSELL STREET VIEW

HDC ADMINISTRATIVE APPLICATION TO AMENDED PREVIOUS APPROVAL: MAY 1, 2024

 **CATHARTES**
EMBARC



1.1

Summary:

- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.



PREVIOUSLY APPROVED GREEN STREET VIEW (7/7/2021)



PROPOSED GREEN STREET VIEW

Summary:

- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.
- The decorative grill panels on the water side of the building have been separated into an upper and lower panel to accommodate floor systems.



PREVIOUSLY APPROVED VIEW FROM AC HOTEL (7/7/2021)



PROPOSED VIEW FROM AC HOTEL

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM AC HOTEL

HDC ADMINISTRATIVE APPLICATION TO AMENDED PREVIOUS APPROVAL: MAY 1, 2024

 **CATHARTES**
EMBARC



Summary:

- Structural Considerations and Unit Design Development have resulted in miscellaneous modifications to the door and window locations.
- There are some modifications to the size, location, and configuration of trim panels.
- The decorative grill panels on the water side of the building have been separated into an upper and lower panel to accommodate floor systems.



PREVIOUSLY APPROVED VIEW FROM THE PARK(7/7/2021)



PROPOSED VIEW FROM THE PARK

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM THE PARK

HDC ADMINISTRATIVE APPLICATION TO AMENDED PREVIOUS APPROVAL: MAY 1, 2024

 **CATHARTES**
EMBARC



1.4

PREVIOUSLY APPROVED



1 SOUTH (GREEN STREET) ELEVATION - PART A
1/8" = 1'-0"

PROPOSED



1 SOUTH (GREEN STREET) ELEVATION - PART A
1/8" = 1'-0"

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H+O STRUCTURAL ENG.

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617.938.3347

53 GREEN STREET
53 GREEN STREET PORTSMOUTH, NH

DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING NUMBER

A 201

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SCALE: 1/8" = 1'-0"

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MARK	ISSUE	DATE

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ISSUE: DESIGN DEVELOPMENT
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PROJECT #: 20055
SCALE: 1/8" = 1'-0"

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BUILDING ELEVATIONS

DRAWING NUMBER

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DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING NUMBER

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DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION
 ISSUE: DESIGN DEVELOPMENT
 DATE: APRIL 5, 2024
 PROJECT #: 20055
 SCALE: 1/8" = 1'-0"

DRAWING TITLE
 BUILDING
 ELEVATIONS

DRAWING NUMBER
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REVISIONS

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DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

DRAWING TITLE

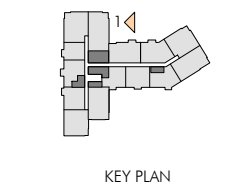
BUILDING ELEVATIONS

DRAWING NUMBER

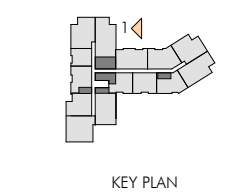
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REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: 1/8" = 1'-0"

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BUILDING ELEVATIONS

DRAWING NUMBER

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DESIGN DEVELOPMENT

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

ISSUE: DESIGN DEVELOPMENT
DATE: APRIL 5, 2024
PROJECT #: 20055
SCALE: As Shown @ 1/8" = 1'-0"

DRAWING TITLE

**BUILDING
ELEVATION**

DRAWING NUMBER

A 207

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7. 46 Maplewood Avenue

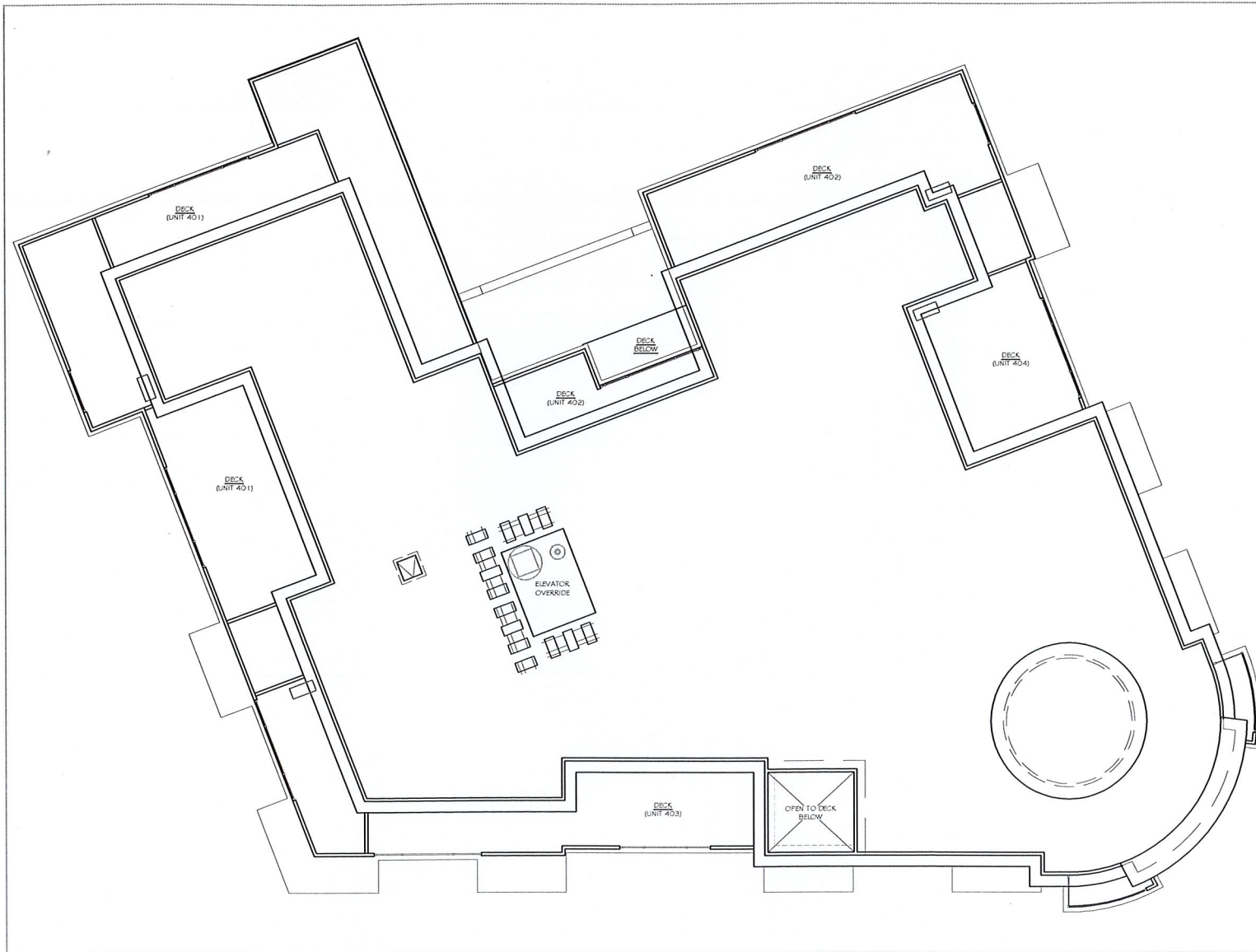
-Recommended Approval

Background: The applicant is seeking approval for the relocation of roof mounted HVAC equipment.

Staff Comment: Recommend Approval

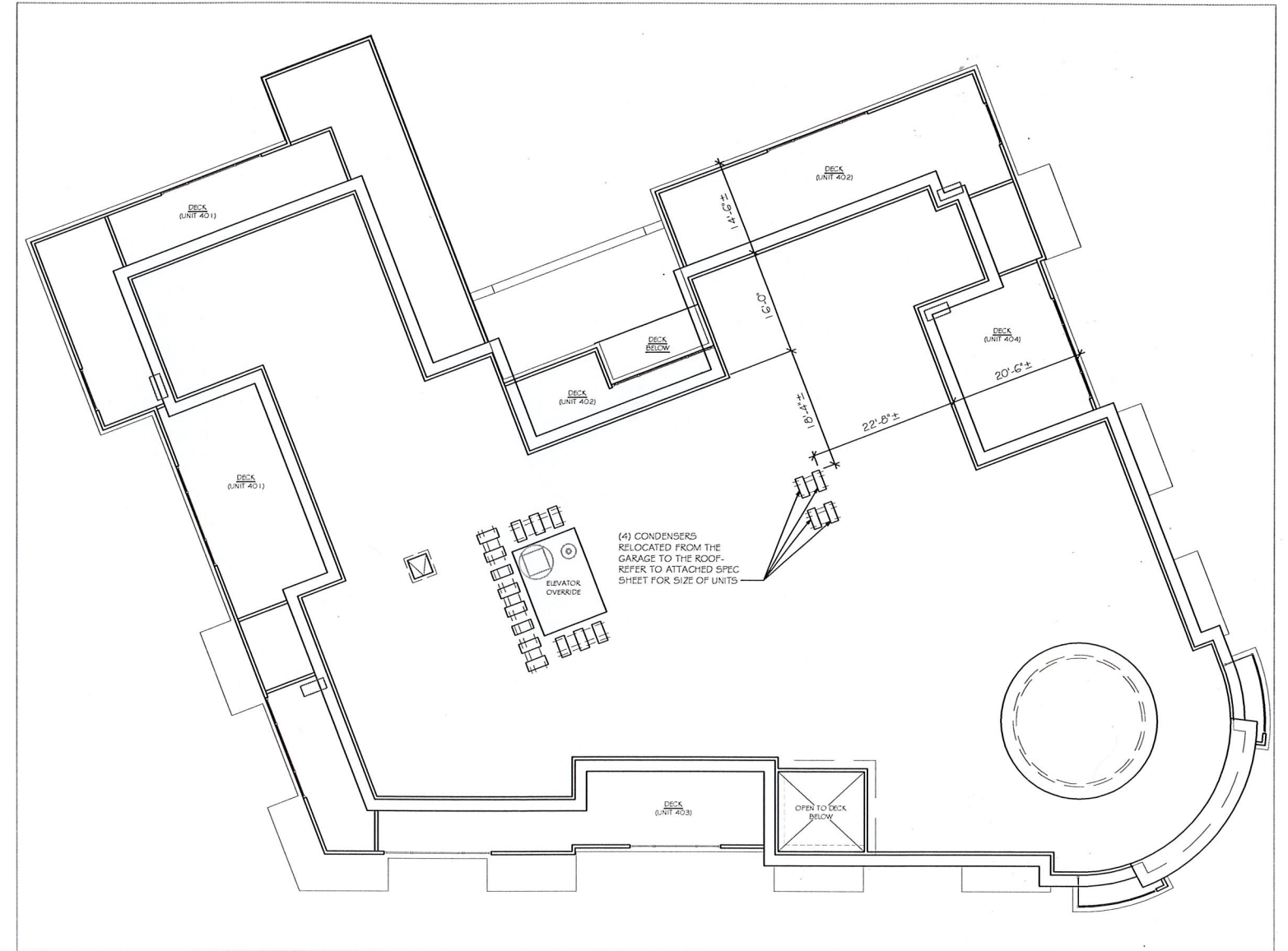
Stipulations:

1. _____
2. _____
3. _____



Previously Approved Roof Plan

SCALE: N.T.S.



Proposed Roof Plan

SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

5.1.24

SH. 1





Previously Approved Mapewood Avenue Elevation

SCALE: N.T.S.



Proposed Mapewood Avenue Elevation

SCALE: N.T.S.

46 Mapewood Avenue, Portsmouth, New Hampshire
 SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

AA

SCALE: AS NOTED

5.1.24

SH. 2





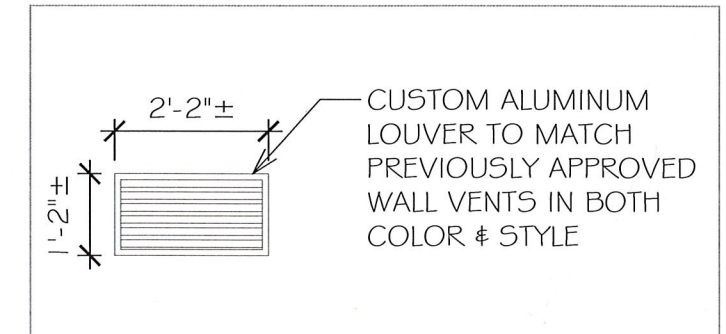
Previously Approved Deer Street Elevation

SCALE: N.T.S.



Proposed Deer Street Elevation

SCALE: N.T.S.



Louver Detail

SCALE: 3/8" = 1'-0"

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

5.1.24

SH. 3





Previously Approved Bridge Street Elevation

SCALE: N.T.S.



Proposed Bridge Street Elevation

SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

5.1.24

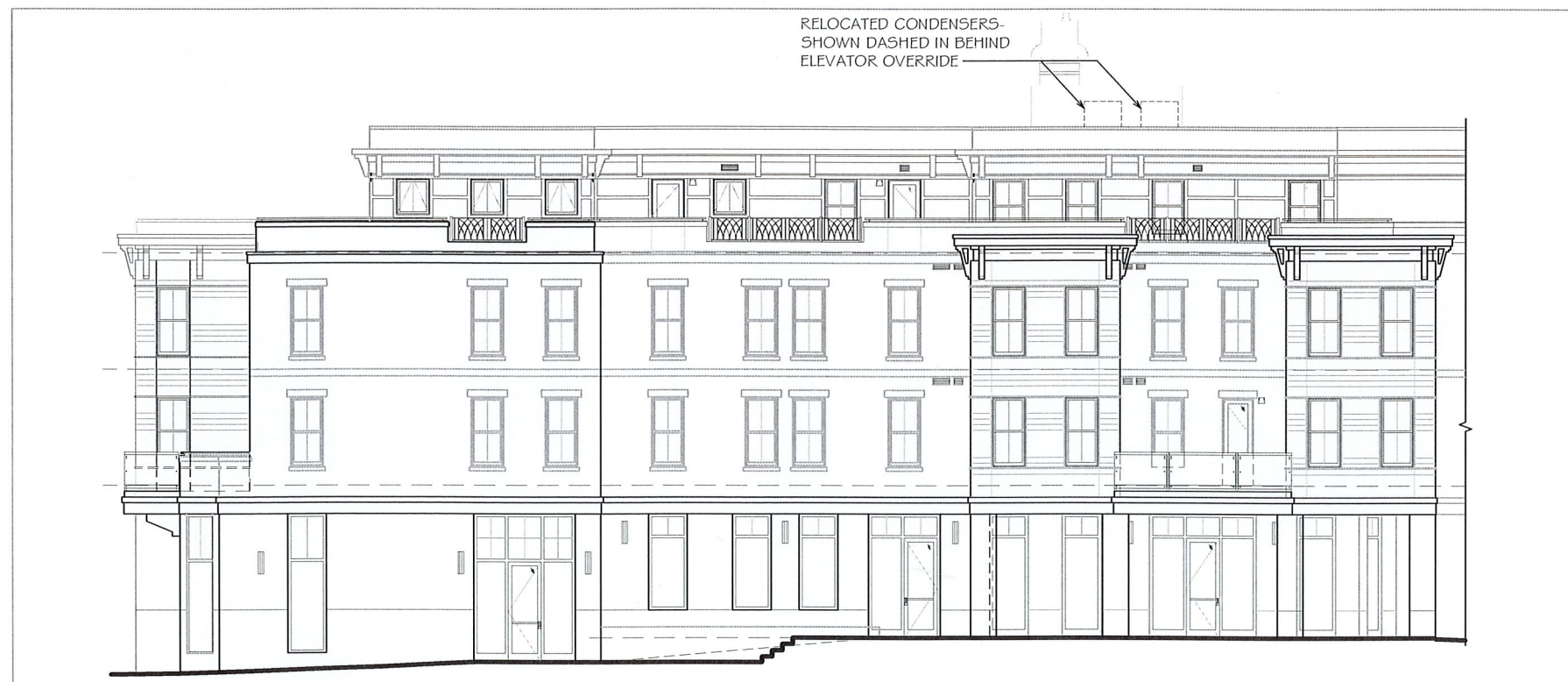
SH. 4





Previously Approved Pedestrian Way Elevation

SCALE: N.T.S.



Proposed Pedestrian Way Elevation

SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

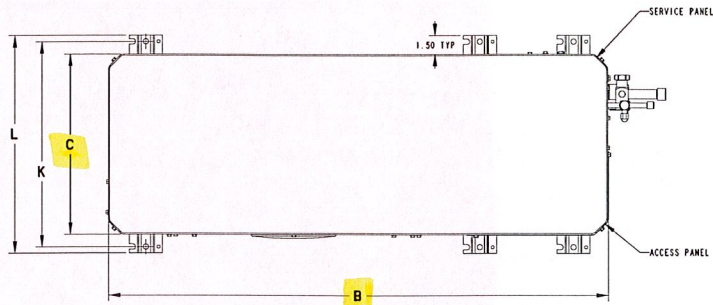
5.1.24

SH. 5





Outline Drawing



▲ SHOULD BE AT LEAST 152.4 (6 INCHES) FROM WALL AND 609.6 (2 FEET) FROM SURROUNDING SHRUBBERY ON ALL SIDES.

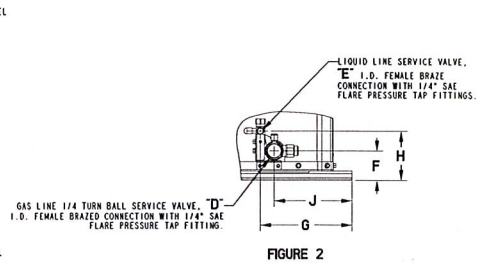
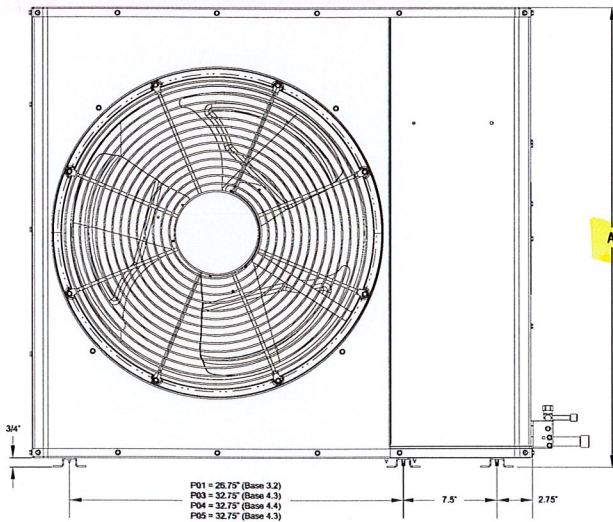


FIGURE 2

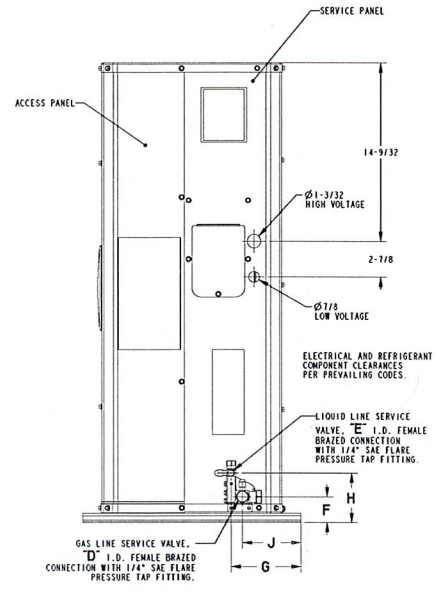


FIGURE 1

DWG. D159818_Rev D

Model	Base	A	B	C	D	E	F	G	H	J
4TTL6018A	3.3	934 (36-3/4)	1016 (40)	368 (14-1/2)	19 (3/4)	10 (3/8)	53 (2-1/16)	142 (5-19/32)	101 (3-31/32)	120 (4-23/32)
4TTL6024A	3.3	934 (36-3/4)	1016 (40)	368 (14-1/2)	19 (3/4)	10 (3/8)	53 (2-1/16)	142 (5-19/32)	101 (3-31/32)	120 (4-23/32)
4TTL6030A	3.3	934 (36-3/4)	1016 (40)	368 (14-1/2)	19 (3/4)	10 (3/8)	53 (2-1/16)	142 (5-19/32)	101 (3-31/32)	120 (4-23/32)
4TTL6036A	4.3	934 (36-3/4)	1194 (47)	445 (17-1/2)	22 (7/8)	10 (3/8)	53 (2-1/16)	187 (7-11/32)	101 (3-31/32)	159 (6-1/4)
4TTL6042A	4.3	934 (36-3/4)	1194 (47)	445 (17-1/2)	22 (7/8)	10 (3/8)	53 (2-1/16)	187 (7-11/32)	101 (3-31/32)	159 (6-1/4)
4TTL6048A	4.3	934 (36-3/4)	1194 (47)	445 (17-1/2)	22 (7/8)	10 (3/8)	53 (2-1/16)	187 (7-11/32)	101 (3-31/32)	159 (6-1/4)
4TTL6060A	4.4	1086 (42-3/4)	1194 (47)	445 (17-1/2)	22 (7/8)	10 (3/8)	60 (2-3/8)	187 (7-11/32)	101 (3-31/32)	159 (6-1/4)

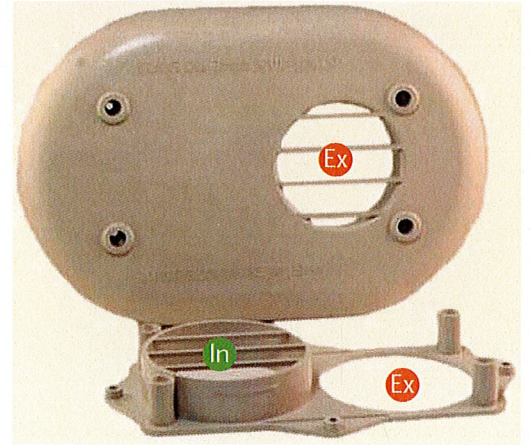
Horizontal Vent Termination Kits

Product Horizontal vent kit for use in venting high efficiency fossil fuel appliances.

Purpose Vents horizontally to pull in fresh outside air and vent exhaust to outside of building.

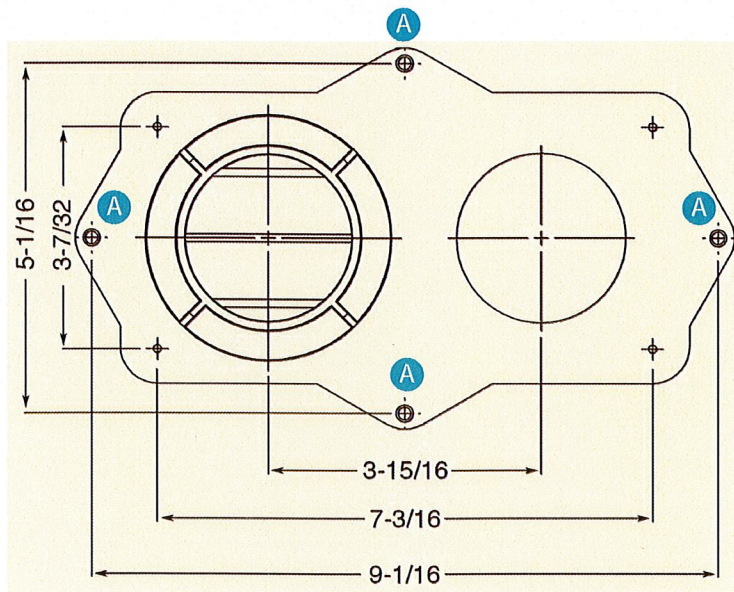
- Features**
- Low profile
 - Much less visibility than traditional vents
 - Doesn't need to be painted
 - Stainless steel screws (corrosion resistant)
 - UV stabilized for outdoor use in direct sunlight

- General Specifications**
- Do not paint
 - Gas vent - BH, Class II - 65°C max (148°F)
 - Zero clearance to combustible construction is allowed
 - Δ Do not block intake and exhaust Δ
 - Intended for use with Category IV high efficiency (condensing gas) furnaces or water heaters, ULC S636 Class II



General Characteristics

Part #	Weight (lbs)	Connection Size (inch)	Overall Width (inch)	Overall Height (inch)	Depth out from Wall (inch)
HVENT-2	1.8	2	11.875	7.875	1.000
HVENT-3	1.7	3	11.875	7.875	1.000



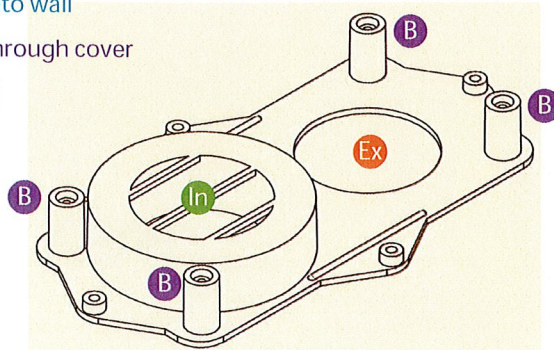
Dimensions in Inches

A Screw into wall

B Screw through cover

Ex Exhaust

In Intake



8. 245 Marcy Street

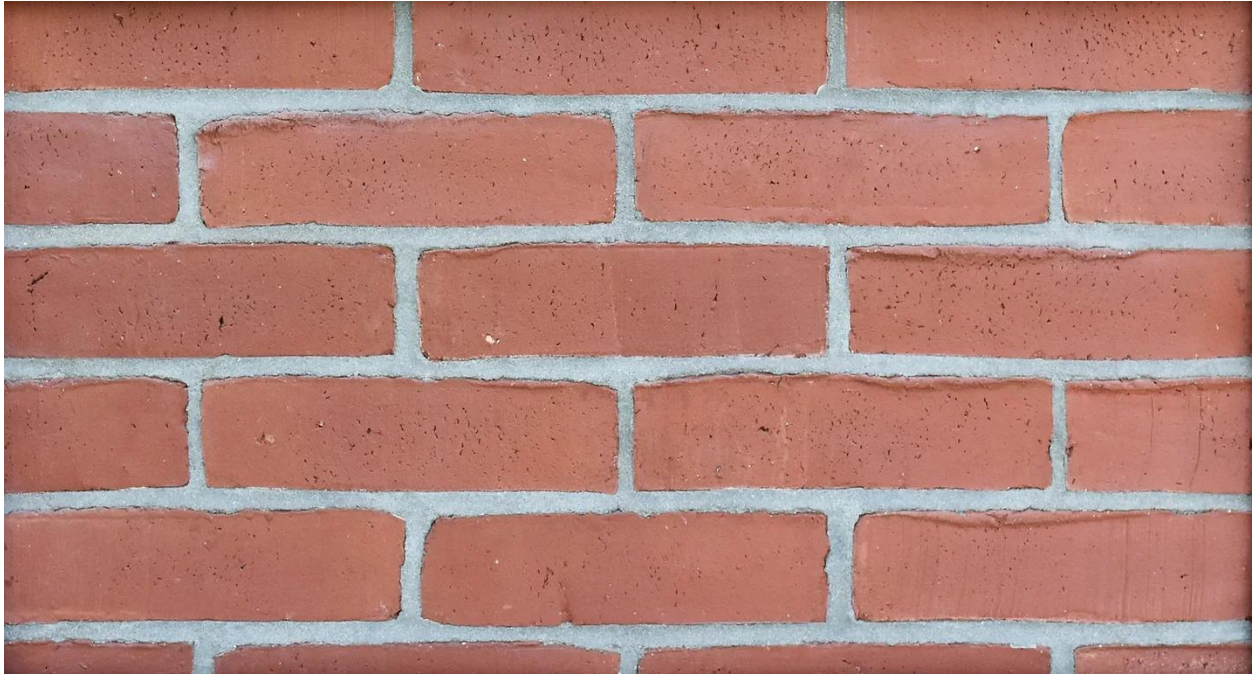
-TBD

Background: The applicant is seeking approval for the installation of gas fireplace venting through existing chimneys, (2) chimneys will need minor repointing work, (1) Chimney on the North side will be rebuilt to the same dimensions.

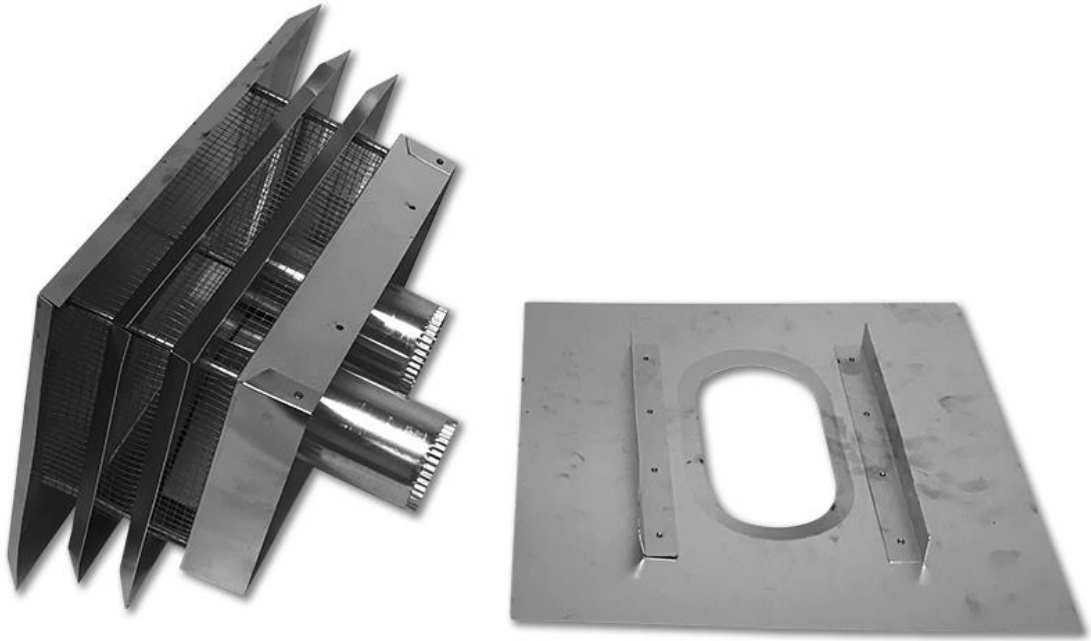
Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



Morin Restoration Brick for rebuilt chimney



Gas fireplace vent(s)







TYPE S MORTAR MIX

ProMasonry Type S Mortar Mix exceeds the requirements of ASTM C387 and ASTM C270 for compressive strengths when used as directed.

SUGGESTED USES

- For laying brick, block and stone, or pointing, plastering and stuccoing.

PREPARATION

- Remove all loose and/or deteriorated material as well as any surface contaminants such as oil, paint, grease, etc.

MIXING

- Empty the contents of the bag into a clean wheelbarrow, mortar box, mechanical mixer or other mixing vessel.
- Form a crater with a shovel or hoe in the center of the dry mix. Mix sufficient water to achieve desired workability.
- **For hand mixing** – Blend dry mix with a shovel or hoe from the outer edges working the material towards the center. Continue mixing until all free water is used and all the aggregate is uniformly coated with cement.
- **For mechanical mixing** – Mix the material for three minutes.

FINISHING

- Joints can be finished when material has begun to set and the surface has a thumbprint hard consistency.
- Mortar joints can be finished with a jointing tool.

CURING

- Protect from direct sunlight, wind, rain and frost during the curing period.

CLEAN UP

- Clean tools and equipment with water immediately after use.
- Cured material will need to be mechanically removed.



A Division of
Conproco Corporation

PROMASONRY[®]
PROFESSIONAL QUALITY CEMENT PRODUCTS



TYPE S MORTAR MIX

TECHNICAL DATA

Physical state and appearance		Dry powder with aggregate
Base		Masonry cement
pH	Wet mix	> 12
Aggregate type		Mortar Sand
Compressive Strength @ 28 days		> 1800 psi
Flow	ASTM C230	110% +/- 5%

YIELD

- One 80 lb (36.3 kg) bag will lay up to 65 standard bricks and 26 standard blocks.

CAUTION

- May cause eye and skin irritation.

HEALTH AND SAFETY

- Product is alkaline.
- Do not ingest.
- Avoid breathing dust.
- Avoid contact with skin and eyes.
- Refer to Material Safety Data Sheet (MSDS) for additional information.
- Keep out of reach of children.

FIRST AID

- In case of skin contact, wash thoroughly with soap and water.
- For eye contact, flush immediately with a high volume of water for at least 15 minutes and contact a medical professional.
- For respiratory problems remove person to fresh air.

DISPOSAL

- Dispose of material in accordance with local, state or federal regulations.

MANUFACTURER'S LIMITED WARRANTY

Conproco Corp. warrants this product for one year from date of installation to be free from manufacturing defects and to meet the technical properties on the current technical data sheet if used as directed within shelf life. User determines suitability of product for use and assumes all risks.

Buyer's sole remedy shall be limited to the purchase price or replacement of product exclusive of labor or cost of labor. July 2010

NO OTHER WARRANTIES EXPRESS OR IMPLIED SHALL APPLY INCLUDING ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. CONPROCO CORP. SHALL NOT BE LIABLE UNDER ANY LEGAL THEORY FOR SPECIAL OR CONSEQUENTIAL DAMAGES.

PROMASONRY®

MANUFACTURED BY: **CONPROCO CORPORATION**
PHONE 800.258.3500 FAX 603.743.5744 WEBPROMASONRY.NET

9. 49 Pleasant Street

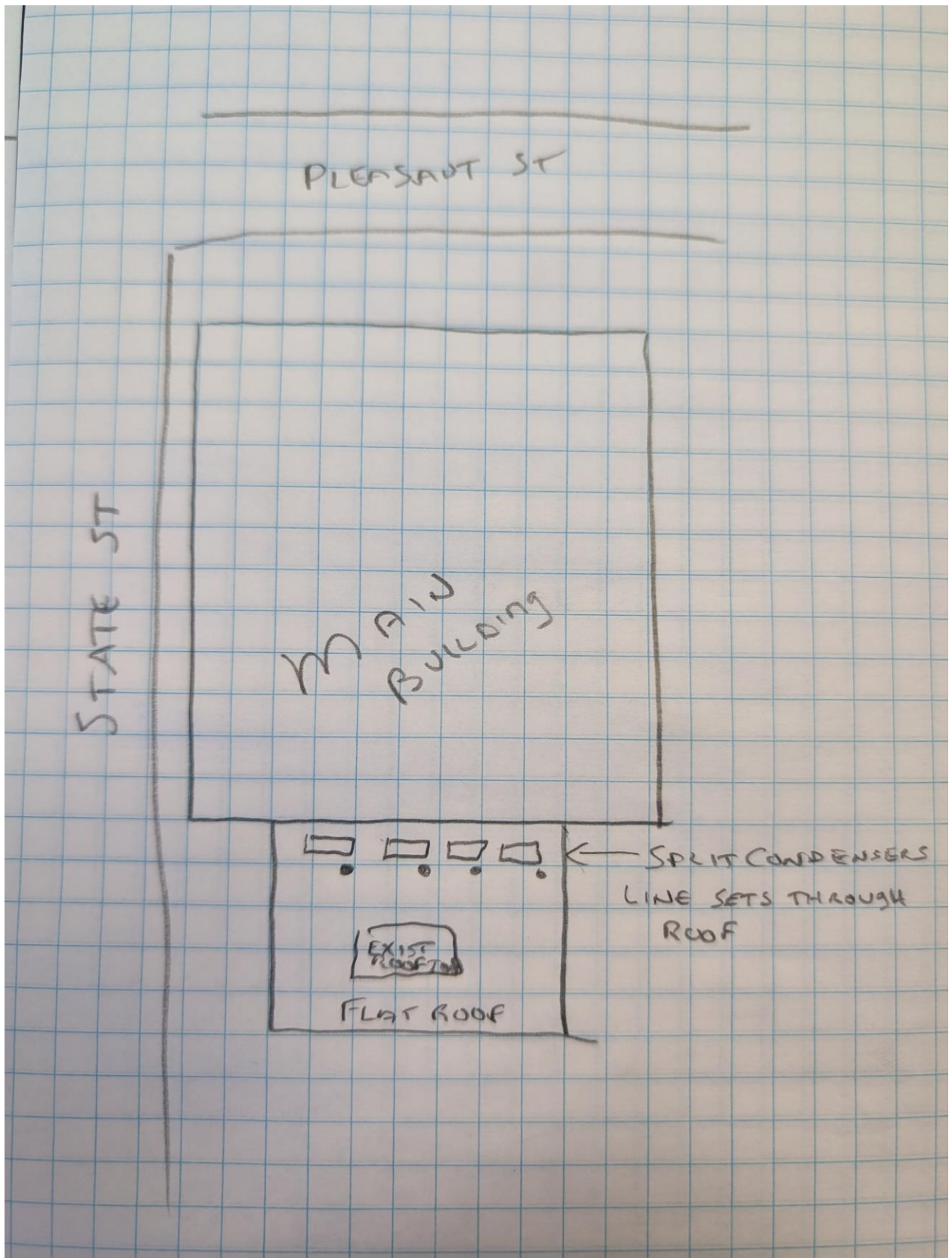
-Recommended Approval

Background: The applicant is seeking approval for the installation of (4) roof top mounted HVAC condensers, where existing mechanical equipment is installed. Pleasant note this is on the Board of Adjustment agenda for approval on April 30, 2024.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____





NAM
Port

10. 229 Pleasant Street -Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment (AC condenser).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

Fwd: I Penelope Murrow am the owner of 36 Richmond Street Portsmouth NH...

Beth Coursen <montybeth5@gmail.com>

Wed 3/27/2024 3:23 PM

To: Library Info <libinfo@cityofportsmouth.com>

Sent from my iPhone

Begin forwarded message:

From: Beth Coursen <montybeth5@gmail.com>

Date: March 27, 2024 at 3:11:14 PM EDT

To: Beth Coursen <montybeth5@gmail.com>

Subject: I Penelope Murrow am the owner of 36 Richmond Street Portsmouth NH...

I Penelope Murrow am the owner of 36 Richmond Street Portsmouth NH and I approve of the proposal by my neighbor Elizabeth Coursen to place a condenser for a mini split HVAC system on the alleyway between her Carriage house and my home.


Penelope Murrow

Sent from my iPad









Distances:

A: 14ft - from unit to Richmond St.

B: 13ft - from front of unit to neighbors house

C: 5ft 3 inches - from front of unit to shared walk way

