

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details) **

6:30 p.m.

June 05, 2024

AGENDA (revised on May 31, 2024)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. May 01, 2024
2. May 08, 2024

II. ADMINISTRATIVE APPROVALS

1. 238 Deer Street
2. 434 Marcy Street
3. 99 Daniel Street
4. 70 Maplewood Avenue
5. 346 Pleasant Street

III. PUBLIC HEARINGS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Petition of, Maximilian Kolbe Hochschwender, owner, for property located at 44 Rogers Street, wherein permission is requested to allow exterior renovations to an existing structure (remove the existing chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 45 and lies within the Mixed Research Office (MRO) and Historic Districts.

B. **REQUEST TO POSTPONE-** (Work Session/Public Hearing) requested by 95 Daniel Street, LLC, owner, for property located at 95 Daniel Street, wherein permission is requested to allow the full demolition and reconstruction of the existing structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 7 and lies within the Character District 4 (CD4) and Historic Districts.

C. **REQUEST TO POSTPONE-** Petition of Emily Niehaus and Bernard T. Roesler, owners, for property located at 44 Gardner Street, wherein permission is requested to allow exterior renovations to an existing structure (replace all existing windows, siding, window casings and corner boards) and the installation of mechanical equipment (HVAC condenser and venting for the kitchen and bathrooms) as per plans on file in the Planning Department. Said

property is shown on Assessor Map 103 as Lot 42 and lies within the General Residence B (GRB) and Historic Districts.

VI. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of Coventry LLC, owner, for property located at 111 State Street, wherein permission is requested to allow changes to a previously approved design (reconfigure rear gable ends to include a recessed porch and dormer, add new windows, change rear center gable siding, and changes to the front entrance doors) to as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 20 and lies within the Character District 4 (CD4) and Historic Districts.

2. Petition of One Market Square, LLC, owner, for property located at 1 Congress Street, wherein permission is requested to allow a second one-year extension of the Certificate of Approval originally granted on August 02, 2022, for renovations to an existing structure (repair and upgrade building facades along Congress and High Streets) and new construction to an existing structure (replace rear shed additions with new 4 story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 14 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

3. Petition of Neila LLC, owner, for property located at 324 Maplewood Avenue, wherein permission is requested to allow exterior renovations to an existing structure (replace all siding on the structure, repair exterior stairs corner boards and window trim as needed and replace the store front windows) to as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 1 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

4. Petition of St. John's Church, owner, for property located at 101 Chapel Street, wherein permission is requested to allow the installation of HVAC equipment (roof top mounted solar panels) to as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 62 and lies within the Civic, Downtown Overlay, and Historic Districts.

5. **REQUEST TO POSTPONE-** Petition of Daniel McGreevy, owner, for property located at 425 Islington Street, wherein permission is requested to allow exterior renovations to an existing structure (replace 21 windows on the structure) to as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 32 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

6. **REQUEST TO POSTPONE-** Petition of Argeris and Eloise Karabelas, owners, for property located at 461 Court Street, wherein permission is requested to allow exterior construction to an existing structure (construct a 2-story rear addition to the main structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 7 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

7. Petition of Sakuntala, LLC, owner, for property located at 235 Marcy Street, wherein permission is requested to allow exterior renovations to an existing structure (replace roofing and siding, restore and reinstall windows, repair or replace trim and casings, install wood corner

boards, install cooper gutter system and remove the 1-story rear shed) and new construction to an existing structure (add 2-story rear garage addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 12 and lies within the General Residence B (GRB) and Historic Districts.

8. Petition of Sally N. Stebbins Revocable Trust of 2015, owner, for property located at 117 Bow Street, Unit 202, wherein permission is requested to allow exterior renovations to an existing structure (replace existing slate roof with faux slate roof) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 57B and lies within the Character District 4 (CD4) and Historic Districts.

V. ADJOURMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_rAVVT40JQ5i3bO-BdhcQJA

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

May 01, 2024

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering; City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, Dave Adams, and Alternate Larry Booz

MEMBERS EXCUSED: None.

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

.....
Chair Ruedig called the meeting to order at 6:30 p.m. Councilor Blalock was not present at the time but was due to arrive shortly and Alternate Mr. Booz took a voting seat until then.

I. APPROVAL OF MINUTES

1. April 03, 2024

*The April 3 minutes were unanimously **approved** as submitted.*

II. ADMINISTRATIVE APPROVALS

1. 39 Dearborn Street

Designer Amy Dutton was present to present field changes to the previously-approved renovation project. The changes included the bulkhead access being a deck door instead of a window access; removal and installation of the front gable and other windows; extending the roof overhang on the mudroom; and putting Hardie Plank siding on the Cape portion and shingles everywhere else. She said the retaining wall and fence on the front were new items and they proposed to raise the grade and build a short stone wall and a fence on top of that.

Vice-Chair Doering suggested that the clapboard be installed in a random pattern.

Stipulation: The Hardie Plank siding shall be installed in a staggered or random pattern to match the existing siding and shall have a flat finish or smooth side up.

2. 179 Pleasant Street

The request was to note four items for the previously-approved renovation project that included exterior lighting, brick chimney cap selections, canopy brackets, and changes to the pergola system. Mr. Wyckoff said the arch windows would be trimmed with stone instead of wood.

3. **3 Pleasant Street**

The request was for minor changes to a previous administrative approval: a change in the original canopy design, extending the roof a bit farther out; and noting that there was a steel column for bracing in the rear.

4. **30 Penhallow Street**

Mr. Gilbo said the previously approved overhang system had a few design variations noted by the Inspection Department.

5. **218 State Street**

The request was to remove two non-functioning lights attached to the entrance.

Stipulations: 1) The conduit line shall be removed and the electrical box shall remain and painted to match the brick. 2) Any damage to the brick from the removal process shall be repaired.

6. **53 Green Street**

The request was for changes to the previously-approved project that included changing door and window locations and proposing trim panels and decorative trills. The applicant's representative architect Carla Goodknight was present and said they would not change any approved materials and that the proposed changes were the result of modifications to the door and window locations. Vice-Chair Doering asked if the window patterns between the two buildings were removed, and Ms. Goodknight agreed.

7. **46 Maplewood Avenue**

The request was to relocate the roof-mounted HVAC equipment above the roofline and set it back about 22-23 feet from the side.

8. **245 Marcy Street**

The request was to install gas venting into existing chimneys, rebuild one of the chimneys, and repoint a chimney. Mr. Gilbo said the applicant would rebuild the existing chimney with restoration brick but would re-use the existing brick if it was salvageable.

Stipulation: The gas fire place vent(s) shall be painted black.

9. **49 Pleasant Street**

The request was approval for the installation of four HVAC condensers located on a lower roof on the rear of the building. Mr. Gilbo said there was existing mechanical equipment on the rooftop and that the new units would be placed behind them and would be lower in scale. Mr.

Wyckoff said fencing would be a better safety measure than the existing pipe going around the roof and would better obscure all the equipment.

Stipulation: If the applicant is required to install fencing around the HVAC equipment per building code, the applicant shall return for Administrative Approval for the design.

10. **229 Pleasant Street**

The request was approval for the installation of HVAC equipment and an AC condenser. Mr. Gilbo said the conduit lines would run up and around the corner of the building. He showed where the two lines led. Mr. Wyckoff said they should be painted the siding color and trim to match. Chair Ruedig said she preferred seeing a straight line, and it was further discussed.

Stipulation: Any conduit lines from the new condenser shall match the siding and/or trim color and the conduit line on the right elevation shall be straightened.

*Vice-Chair Doering moved to **approve** Administrative Approval items 1 through 10 with their respective stipulations. Dr. Brown seconded. The motion **passed** unanimously, 7-0.*

III. **PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of **Emily Niehaus and Bernard T. Roesler, owners**, for property located at **44 Gardner Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace all existing windows, siding, window casings and corner boards) and the installation of mechanical equipment (HVAC condenser and venting for the kitchen and bathrooms) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 42 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 38:24] Project contractor Jeff Kissell representing the applicants was present to review the petition. He said they wanted to remove all the existing siding and trim, corner boards, and window and door casings. He said the siding would be replaced with Hardie Board cedar clapboards, the PVC trim would be AZEK, and the new windows would be Marvin Ultimate 2/1 SDLs with aluminum clad. He showed the locations of the penetrations in the walls for bathroom and hood vents. He said an HVAC system would go in the basement to service the upper floors and the condenser would be on the south-facing side of the house.

[Timestamp 41:01] Mr. Wyckoff asked why the siding would be replaced. Mr. Kissell said it was due to maintenance and longevity. Vice-Chair Doering asked why Hardie was chosen over wood. Mr. Kissell said it also due to maintenance. He said the age and condition of the current windows were unknown and that they were single-paned and lacked energy efficiency. Mr. Ryan said the existing siding looked like it was in good shape and thought it could be scraped down and painted instead of replaced. Mr. Kissell said a lot of the siding in the back of the house was patched in that would need to be replaced, and if there was any lead, it would be costly to scrape and remove it. He said the building had not been tested for lead but assumed that there might be

lead. Mr. Adams asked if any of the cornice trim would be removed. Mr. Kissell said it would not and explained why. Mr. Booz agreed that the siding looked like it just needed a good scraping and thought it would be more cost effective than replacing it.

[Timestamp 46:15] Vice-Chair Doering said the Commission encouraged the sustainability and conservation of buildings. She said there could be large sections of the building that were in good condition, and to rip off all the original material on a large home in a prominent location didn't fit the values of the District. She said she would like to have more information on the condition of the existing windows to see if they could be restored. Chair Ruedig said the house had been before the Commission several times by past owners who had maintained the integrity of the building. She said the porch was rebuilt in a sensitive way using wood and some AZEK and original windows were restored. She said the Commission approved AZEK in certain locations in the District only when necessary for fireproofing or due to exposure. She said she thought the building had original clapboards and that wood would be much better than the Hardie Board. She pointed out that other houses surrounding the building had lead paint. Mr. Wyckoff said he thought it made more sense to replace the windows to make them more efficient and to clean up the clapboards and repaint. Mr. Kissell said he could look into replacing the existing clapboards but would like to keep the new windows, and it was further discussed. Vice-Chair Doering said the Commission could approve the HVAC system and the vents but would want a sample of the screening for the HVAC unit. She said the siding and windows needed more consideration, and Chair Ruedig agreed. Mr. Kissell showed examples of the Ultimates and Elevates windows and it was further discussed.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **grant** the Certificate of Approval for the installation of the HVAC equipment and venting with the following **stipulation**:*

- 1) The applicant shall return for an administrative approval for appropriate screening for the HVAC condenser.*

She said the other requests would be continued to a future meeting.

Mr. Adams seconded the motion.

Vice-Chair Doering said the project would conserve and enhance property values and would have compatibility of design with surrounding properties.

*The motion **passed** unanimously, 7-0.*

2. Petition of **Morales Family Trust 2020, owner**, for property located at **33 Johnson Court**, wherein permission is requested to allow the installation of mechanical equipment (roof-

top mounted solar panels) as per plans on file in the Planning Department. Said property is shown on Assessor Map 110 as Lot 12 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:02:50] Dan Hackett of ReVision Energy was present on behalf of the applicant, along with the applicant Albert Morales. He said they wanted to place 25 solar panels on two roof surfaces. He said the first array on the main house would be 8x8 panels and symmetrical, flush mounted, and all black, and the conduit would go through the attic space and would not be visible from the front of the house. He said the second array over the garage space would be six panels in portrait orientation on the bottom row and three panels in landscape orientation because there was no space for two rows of six panels.

Vice-Chair Doering asked if there would be the same number of panels if the panels were all landscaped. Mr. Hackett said the nine panels could fit in three rows of landscape orientation and would be symmetrical. It was further discussed. Mr. Morales reviewed the criteria.

Note: At this point in the meeting, Councilor Blalock arrived.

Chair Ruedig opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Lew Harriman of 57 South Street said he and his wife supported the project and noted that his support was explained in more detail in the letter he submitted to the Commission.

SPEAKING IN OPPOSITION TO THE PETITION OR SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

Dr. Brown moved to grant the Certificate of Approval for the petition as presented, seconded by Mr. Wyckoff.

Dr. Brown said the project would conserve and enhance property values and would have compatibility of innovative technologies. There was further discussion. Vice-Chair Doering said she preferred that each array have the same orientation. Mr. Ryan said he thought it should be up to the applicant, and Chair Ruedig said she didn't feel strongly about it.

*The motion **passed** unanimously, 7-0.*

Mr. Booz returned to Alternate status.

3. Petition of **P&L 66 South, LLC, owner**, for property located at **66 South Street, Unit #2**, wherein permission is requested to allow exterior renovations to an existing structure (replace the remaining siding with Hardie Plank siding and replace the remaining windows on Unit #2) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 70-2 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:15:37] The applicants Lisa Amarosa and her husband Peter Amarosa were present and said they wanted to change the previously approved Hardie Plank siding to wood. She said the Commission also previously approved Matthews Brothers windows and that one was already installed, and they wanted to order the same windows for the 12 other windows.

[Timestamp 1:18:05] Mr. Wyckoff said the windows were not SDL ones and was surprised that the Commission approved them. He explained why they would look very different, noting that they didn't have muntins on the outside of the glass and would have a black mesh fiberglass screen over them. Chair Ruedig said the previous approval was an administrative one and the photos of the windows looked like they were originally Andersen ones. Ms. Amarosa said the Commission had told her that either window was fine depending on availability. Chair Ruedig said it wasn't clear what the specifications were because the Commission would not have approved windows with just grills between the glass. Chair Ruedig asked about the condition of the current windows. The applicant said they were muller windows and half of them didn't close and a lot of them leaked. He said he didn't know the age of the windows but said they were all wood and had weights at one time. Mr. Wyckoff said the already-installed window was tucked into a corner then went around and came up toward all the other windows, which was a problem. Mr. Ryan said he would never approve a Matthews Brothers window because of the vinyl. He said there were other acceptable windows to choose from. It was further discussed. Chair Ruedig said she wanted to know the current condition of the existing windows to see if they could be restored and that the applicants could decide on the new windows they wanted and bring the specifications to the next week's meeting.

[Timestamp 1:30:52] Ms. Amarosa discussed other items in the application, including an egress window and two smaller windows, replacing two muller windows with small awning ones, removing a door and replacing it with siding, and replacing fencing in the back to match the other fencing. Chair Ruedig said the Commission needed documentation to ensure that the applicant did what was approved. It was further discussed.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Vice-Chair Doering moved to **grant** the Certificate of Approval for the in kind replacement of the clapboards with the current reveal, the removal and replacement of a door with clapboards, the*

replacement of the windows with a brand yet to be determined and pending drawings that clarify the placement and size of any windows that are changing either size or location. She said the grill patterns would be the same and there would be half screens and a vent would be removed in the roof. Councilor Blalock seconded.

Vice-Chair Doering said the project would conserve and enhance property values and the changes would be in relation to the historic and architectural value of the existing structure.

*The motion **passed** unanimously, 7-0.*

4. (Work Session/ Public Hearing) requested by **BVB, LLC, owner**, for property located at **258 Maplewood Avenue**, wherein permission is requested to allow exterior construction to an existing structure (add rear shed dormer, replace two rear gable ends with roof decks, rebuild the (2) front primary chimneys and remove the (2) rear secondary chimneys) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 as Lot 3 and lies within the Character District 4-L1 (CD4-L1), General Residence A (GRA) and Historic Districts.

WORK SESSION

[Timestamp 1:49:32] Project architect Tracy Kozak was present on behalf of the applicant Brian Vandelinder, who was also present. Ms. Kozak reviewed the history of the multi-family house and showed the neighborhood context, maps and existing condition. She said the chimneys were damaged and she wanted to rebuild them with good bricks and Bishop's caps. She said there would be a faux structure on top, with the chimney eliminated through the attic space and everything below the attic space retained. She said the back roof had to be replaced. The issue of rebuilding a real chimney instead of putting in a faux one was further discussed, as well as the shed dormer on the back. Ms. Kozak said the balconies would be AZEK with black metal railings and the white picket fence on the back would be replaced with black metal. She said the windows would be aluminum clad Marvin Ultimates with patio doors to match and the roof would be a membrane one. She said the attic stairs would be rebuilt in the same space.

[Timestamp 2:04:16] Vice-Chair Doering said it wasn't a gracious solution but was practical. Mr. Wyckoff said the main view of the building was from Maplewood Avenue, so he thought it was logical. Mr. Ryan said the addition was boxy and thought it could use some charm. Chair Ruedig asked if the two gables could be retained. Ms. Kozak said they could keep the gables and do a recessed balcony behind the gable wall. Mr. Wyckoff asked if the siding could be removed from the two box bays to see if there was something underneath. It was further discussed. Mr. Adams said he was concerned about the chimneys. Councilor Blalock said it was the back of the house and he appreciated the added housing to the city. Mr. Wyckoff said he could approve the project if the two chimneys in the front were replicated, including the Bishop's caps and using the right bricks. Ms. Kozak and the windows would be Marvin Ultimates and the patio doors on the porches would match. She said the trim would be AZEK and the roofing would be a black standing metal seam. Vice-Chair Doering recommended more permanent screening for the heat pumps instead of landscape plants.. The chimneys were further discussed.

*Vice-Chair Doering moved to **close** the work session, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

Chair Ruedig opened the public hearing.

SPEAKING TO THE PETITION

[Timestamp 2:24:05] Ms. Kozak summarized the petition. She said they proposed to build a shed dormer addition on the back between the two ells, remove the two back chimneys, replace the gables on the two rear ells with roof deck porches, rebuild the two front chimneys above the roofline with sawn brick and full brick, and recreate the Bishop's caps to match. She said the siding would be wood clapboard and the trim would be a composite AZEK painted white. She said there would be aluminum K-style gutters and downspouts to match the front ones. She said the railings on the new porches would be black painted metal and the windows would be aluminum clad stone white Marvin Elevates, with the porch doors being the same series. She said the roof of the primary shed dormer would be a black standing seam metal and the smaller portion of flat roof over the front middle section of the dormer would be a membrane roof. She said half screens would be on the four double hung windows facing the back. She said the two pairs of windows on the sides were casements with full screens on the inside.

Chair Ruedig said Ms. Kozak would have to submit specifications and dimensions for the windows. Mr. Adams asked if there would be any modifications to the two gable ends of the old house. Ms. Kozak said there would be no exterior changes to the original house on the sides or front. Mr. Adams asked if the roof would be reconstructed from the interior so that it would not affect the outside. The applicant said they had to replace the shingles on the front. Ms. Kozak noted that it wasn't on the application but was a replacement in kind.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Councilor Blalock moved to **grant** the Certificate of Approval for the petition as presented, seconded by Vice-Chair Doering.*

Councilor Blalock said the project would conserve and enhance property values and have compatibility of design with surrounding properties.

*The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition. Mr. Adams said he was not convinced about the chimneys.*

5. Petition of **Ralph J. Montgomery Revocable Trust of 2020, owner**, for property located at **466 Marcy Street**, wherein permission is requested to allow new construction to an existing structure (replace existing front staircase with new wood and granite staircase) as per

plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 75 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 2:29:25] The applicant John Montgomery was present and submitted additional project information to the Commission related to the neighborhood context and street views. He said the staircase had deteriorated because it was so close to the street. He said it came out 5'8" from the base and the replacement staircase would come out 6'3" but would meet building code. He said an AZEK slate gray decking and a vinyl railing system were proposed.

Vice-Chair Doering said she could support the decking and risers being more modern but noted that vinyl came in different shapes and textures and asked if the applicant had considered a composite material. Mr. Montgomery said he would talk to his builder. Mr. Wyckoff said he thought the staircase would have to go before a code official, and he noted that the railings were supposed to go down to the bottom step. Mr. Montgomery said it was a design feature because of the bikes and trucks. Mr. Gilbo said he would check with the Inspection Department. Mr. Ryan recommended that the granite be the proper age texture and not too pristine.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Councilor Blalock moved to **grant** the Certificate of Approval for the petition as presented, seconded by Vice-Chair Doering.*

He said the project would preserve the integrity of the District and would be consistent with the special character of surrounding properties.

Vice-Chair Doering asked the applicant to return for an administrative approval if the railing materials were changed.

*The motion **passed** unanimously, 7-0.*

IV. WORK SESSIONS (OLD BUSINESS)

A. Session requested by **Sakuntala, LLC, owner**, for property located at **235 Marcy Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace roofing and siding, restore and reinstall windows, repair or replace trim and casings, install wood corner boards, install cooper gutter system and remove the 1-story rear shed) and new construction to an existing structure (add 2-story rear garage addition) as per plans on file in the

Planning Department. Said property is shown on Assessor Map 103 as Lot 12 and lies within the General Residence B (GRB) and Historic Districts.

WORK SESSION

[Timestamp 2:48:10] Project architect Carla Goodknight was present on behalf of the applicant. She said they wanted to remove a small shed on the back that had no foundation. She said they would refurbish the trim on the front of the house and the surround of the front door, recreate the trim and casing on the gable, and restore an original door. She said they would install wood clapboard siding and do K-style gutters and downspouts that would not be copper as advertised. Mr. Adams asked about the returns. Ms. Goodknight said they would bring the casing in the front along. She said the new metal clad windows would probably be Marvin's. She said she would slide windows more to the center on the northeast elevation to do the stair in that corner. She said the front and side elevations would stay the same but they would put a dormer on the southeast side, and the addition's roof line would be brought down. She said they would fill out the trim on the east elevation and move the new addition away from the adjacent property line.

[Timestamp 2:56:54] Mr. Wyckoff asked why the dormer design was chosen, noting that the pediment looked awkward. Ms. Goodknight said she would remove the pediment. Vice-Chair Doering said the two returns on the addition worked better and the dormer would look better if it had the same, and she thought the shed dormer should be pushed back farther. It was further discussed. In response to questions from Chair Ruedig and Mr. Adams, Ms. Goodknight said the chimney would be removed, the sashes would be 2/2, and anything historic would be restored including the windows. The corner boards were discussed.

Ms. Goodknight said she would return for a public hearing.

DECISION OF THE COMMISSION

Vice-Chair Doering moved to close the work session, seconded by Dr. Brown. The motion passed unanimously, 7-0.

[Timestamp 3:09:49] Chair Ruedig said there was a Planning and Zoning conference Saturday via Zoom that would highlight new construction infill in historic districts. She said she would bring up the Commission's recommendations for solar panels at the next City Council meeting, noting that the Planning Board reviewed it and changed the definition of the public way issue.

V. ADJOURNMENT

The meeting adjourned at 9:43 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

May 08, 2024

MEMBERS PRESENT: Chair Reagan Ruedig; Vice-Chair Margot Doering (via Zoom); City Council Representative Rich Blalock; Members Jon Wyckoff, Martin Ryan, Dr. Dan Brown, Dave Adams, and Alternate Larry Booz

MEMBERS EXCUSED: None.

ALSO PRESENT: Izak Gilbo, Planner 1, Planning Department

.....
Chair Ruedig called the meeting to order at 6:30 p.m. She noted that Vice-Chair Doering would be briefly present via Zoom but would leave the meeting for another appointment.

I. APPROVAL OF MINUTES

1. March 13, 2024
2. April 10, 2024
3. April 17, 2024

The three sets of meeting minutes were unanimously **approved** as submitted.

II. ADMINISTRATIVE APPROVALS

Note: Item # 5, 425 Islington Street, was pulled for a separate discussion and vote (see below).

1. 111 Market Street

The request was approval for the replacement of four windows on the second and third floors due to water damage. Mr. Gilbo said the applicant wanted Pella Reserve double hung windows with the same grid pattern as existing and half screens.

2. 236 Union Street

The request was to retract the roofline on the home's addition by approximately five feet.

3. 30 Gardner Street

Mr. Gilbo said the applicant was doing extensive renovations on the rear of the home and found inadequate structural support, so that section of the roof had to be removed and rebuilt.

4. 66 South Street, Unit #2

Mr. Gilbo said the applicant, per the Commission's previous request, submitted a window schedule and specifications for the final Marvin windows and all the resized windows proposed for the property, and they also labeled all the windows on a photograph.

5. 425 Islington Street

Mr. Gilbo said the Commission received last-minute changes that day. He said the project was a complicated one and suggested that the item either be continued as an administrative approval or that the applicant return for a public hearing.

*Mr. Wyckoff moved that the applicant **return for a public hearing** at the June 5 meeting. Dr. Brown seconded. The motion **passed** unanimously, 7-0.*

*Mr. Ryan moved to **approve** Items 1 through 4 as presented, seconded by Dr. Brown. The motion **passed** unanimously, 7-0.*

III. PUBLIC HEARINGS (OLD BUSINESS)

A. **REQUEST TO POSTPONE**- Petition of, **Maximilian Kolbe Hochschwender, owner**, for property located at **44 Rogers Street**, wherein permission is requested to allow exterior renovations to an existing structure (remove the existing chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 45 and lies within the Mixed Research Office (MRO) and Historic Districts.

DECISION OF THE COMMISSION

*Councilor Blalock moved to **postpone** the petition to the June 5 meeting, seconded by Mr. Ryan. The motion **passed** unanimously, 7-0.*

B. (Work Session/Public Hearing) requested by **95 Daniel Street, LLC, owner**, for property located at **95 Daniel Street**, wherein permission is requested to allow the full demolition and reconstruction of the existing structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 7 and lies within the Character District 4 (CD4) and Historic Districts.

WORK SESSION

[Timestamp 17:12] Architect Mark Gianniny was present on behalf of the applicant, along with the applicant Sean Peters. Mr. Gianniny asked the Commission for their input from the site walk. Mr. Ryan said the site walk wasn't enough to change his mind. He said the building envelope was being saved, restructured and reframed and that he was open to the option of keeping the envelope on three of the four sides of the building and doing something on the back of the building. Mr. Booz agreed and said he thought the project had been approached piecemeal and that someone could either look at Portsmouth's history and preserve the building or see dollar signs. Mr. Peters said there was no profit incentive and that it was more of a loss mitigation. He

said rebuilding one wall at a time would cost a lot more and he didn't see the benefit to the building. He said he wanted to renovate the building.

[Timestamp 23:49] Chair Ruedig said the Commission had asked that there be a third-party engineering report by a qualified historic structural engineer. She said she talked to the Planning Department and the Chief Building Inspector Shanti Wolph about it and the ordinance stated that the Commission could request advice from such a professional as deemed necessary to determine a reasonable decision and that it could be subject to funding by the City Council if the applicant could not afford the renovation. She said the applicant's options were to hire another engineer who specializes in historic buildings, and she recommended John Watney of Structures North. She said the Commission would appreciate more expert opinions and more information. Councilor Blalock said he was concerned about adding costs to every taxpayer in the city. He said he wanted to save the building because it had a lot of history, but he didn't know what was being saved because there was so much wrong with the building. Mr. Booz said there was a difference between a building inspector bringing the walls up to code vs. a structural preservationist, and it was further discussed. Mr. Wyckoff said the fact that the foundation was taken down below grade was a significant problem because the entire front first floor had to be removed. He said another issue was whether the building could be saved enough to get approval for being a condominium occupancy permit. He said he could not see how a foundation could be dug that close to the applicant's other building. He explained how the building could be renovated but said he was torn he was torn on whether it should be restored or demolished. Vice-Chair Doering said the applicant purchased the property with an economic plan to tear it down and build something different but was now trying to figure out how to achieve those goals. She said it was unfortunate that the outcome wasn't what he expected in terms of approvals to tear the structure down. She said the only way she could make a decision was to have the opinion of someone whose focus was whether it was possible to turn the existing conditions into a safe and viable building, and she didn't feel that the information the Commission had answered that well. Mr. Booz said the building could possibly work as a single-family house. Mr. Adams said that there were all kinds of issues that could have an impact on the project but that the Commission's charge was to give the community's architecture the best chance it had to become part of the future, and hiring their own engineer to help the Commission understand the ramifications would be valuable. It was further discussed. Mr. Wyckoff said if the building was not salvageable it would have to be rebuilt exactly to look the same. Chair Ruedig said if the building had to be reconstructed, the Commission would need more information from the applicant as to how the foundation would look, how much could be salvaged from the building that could be reused, and drawings showing how the building would be put back together.

Chair Ruedig opened the public comment.

Public Comment

Kerry Vautrot of the Portsmouth Advocates and the Portsmouth Historic Society said they had the same comments as they previously did and remained committed to the fact that the building was an important historic one in town and a unique survivor of that architectural style. She said they supported the hiring of a third-party structural engineer to provide that expertise from a preservation standpoint. She said she would want to know what would be required to make the

building salvageable and bring it up to code and what the true replacement in kind would look like. She suggested that more drawings and details be provided.

No one else spoke, and Chair Ruedig closed the public comment.

[Timestamp 49:37] Mr. Peters said his engineer had said that everything would have to be replaced, and he thought the same result would be gotten from the third-party engineer. He said he wasn't afraid to rebuild something from the inside out but the building had foundation issues. He said the City Council shouldn't pay for a building he owned and that he would contact the third-party engineer. There was further discussion on how the building could be renovated. Vice-Chair Doering said it was an issue of what the value was of rebuilding it from the inside out vs. tearing it down and replicating it, and she compared Colonial Williamsburg to Strawberry Banke. She said she would have to see a third-party assessment and speak to the engineer.

At this point, Vice-Chair Doering left the meeting.

Mr. Gianniny said they would continue the work session/public hearing so that they could figure out their options.

DECISION OF THE COMMISSION

*Mr. Adams moved to **continue** the work session/public hearing to the June 5 meeting, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

Alternate Mr. Booz took a voting seat for the remainder of the meeting.

VI. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Faribault Family Revocable Trust of 2019, owner**, for property located at **35 Park Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace all existing windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 148 as Lot 45 and lies within the General Residence A (GRA) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:03:53] The applicants Ruth and Bill Faribault were present. Ms. Faribault said part of the petition was wrong, noting that they only wanted to replace the remaining 12 windows and make them look like the other windows that were already installed. She reviewed the various changes to the house made in the past and said all the windows were energy- efficient ones with 8/1 mullion designs. She said the 12 windows were all broken.

Chair Ruedig noted that the boundary line of the Historic District cut right through the applicant's house but that the house was historic because it was over 50 years old. Mr. Ryan said he saw no reason to deny the application, given the language of the building, and Councilor Blalock agreed. Mr. Wyckoff verified that the storms would be removed and said he would not

be against the project just because the windows were vinyl, but he suggested that the applicant bring in window specifications. Ms. Faribault said the vinyl windows would have muntin strips placed on the outside. Chair Ruedig recommended better quality windows with muntins already on the exterior and interior. The applicant said she already had a window contractor. Mr. Adams said the applicant should be allowed to complete the project, and others agreed. Mr. Wyckoff made it clear that it was not a precedent for glasswing windows.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the project as presented, with the following **stipulation**:*

- 1. Half screens shall be used.*

Councilor Blalock seconded. Mr. Ryan said the project would be compatible with the existing environment, consistent with the special and defining character of surrounding properties and would preserve the integrity of the District.

*The motion **passed** unanimously, 7-0.*

2. Petition of **2082 IL 50 VZ, LLC, owner**, for property located at **404 Islington Street**, wherein permission is requested to allow exterior renovations to an existing structure (changes to a previously approved design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 3 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:15:05] Project architect Sarah Howard was present on behalf of the applicant, along with the applicant Tim Johnson. Ms. Howard said most of the work challenges were from some wood rot and tree limb damage, as well as vinyl window substitutions that the builder installed instead of the previously approved fiberglass ones. She noted that the window aesthetic would be the same and that the windows would not be overly visible to the public.

[Timestamp 1:19:48] Dr. Brown said it was a nice expansion but seventy percent of the original section had original windows and clapboard, and he thought it was important to have wood windows even if they didn't show. Ms. Howard said the only modified windows were the ones required for egress. She said the four fiberglass windows were previously approved but vinyl ones were done instead and the aesthetic would be the same. Mr. Wyckoff said it seemed that the contractor wanted to save money and ignored the Commission's approval. It was further discussed. Mr. Wyckoff said that situation had happened before and the applicant was denied, and he asked when enough was enough. Mr. Ryan asked if the new windows were in the back.

Ms. Howard said two of them were on the side alley and two were tucked away in the back. Mr. Ryan said it was really the front façade and a fiberglass glass window was approved for it. Chair Ruedig said the Commission generally said no to applicants who asked for vinyl windows. She said it was uncomfortable for her to say installing the wrong type of window was fine because they were already installed, but she thought it might set a precedent for other applicants. She said she also didn't like to see something tossed out and thrown into a landfill just because it wasn't the desired kind. Mr. Booz said the property was tasteful and the contractor made a mistake, and he didn't think it would be reasonable to ask the applicant to pay twice to install a window. Mr. Ryan said he could reluctantly overlook it because there were storms over the windows that wouldn't make it obvious that the window was a lesser quality and non-historic one. Mr. Adams said it was one thing to let some things go, but when it was something that over time the Commission had to defend its position to others but now said it was okay, it was different. Mr. Ryan said it wasn't fair to crack down on one applicant because of the last five applicants who didn't follow the rules. Mr. Wyckoff said it could become a problem because applicants could realize that they could just do it and then say it was already done. Mr. Adams suggested continuing the petition to allow the applicant to find another solution. Mr. Ryan said he could not see the real distinction between an unnatural material of fiberglass and an unnatural material of vinyl. The applicant said they were Hardie windows and built well.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the project as presented.*

He said it wasn't where the Commission or applicant wanted to be but he felt that some of the circumstances did not rise to the point where the Commission needed to take a severe stand and say "it's this way and only this way". He said the project was compatible with the special and defining character of the District and related to the historical and architectural value of the existing structure.

*Councilor Blalock seconded. The motion **passed** by a vote of 4-3, with Mr. Adams, Mr. Wyckoff, and Dr. Brown voting in opposition to the motion.*

3. Petition of **Pappas M. Sons, LLC, owner**, for property located at **13 Congress Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace 2nd story windows, replace wood store front, and signage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 13 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:36:32] Project architect Mark Pelletier was present on behalf of the applicant. He reviewed the petition, noting that they would replace the existing windows and storefront and the signage. He said the cast concrete building had water damage over the years and the second-floor window sills and frames were rotted beyond repair and that the rot went down to the sign, which was also deteriorating. He said the proposed to use Pella Impervia windows on the second floor and a Conair storefront system in keeping with the adjacent storefront of The Works. He said the signage would be replaced with a cementitious panel to match the adjacent ones, and the control joints would also be replaced and match in kind with the adjacent concrete.

[Timestamp 1:39:14] Mr. Adams asked what kind of glass was on the ten second-floor window units. Mr. Pelletier said it was textured dimpled glass but would be replaced with a clear insulated glazing. Mr. Adams asked if there was space behind the windows. Mr. Pelletier agreed. Mr. Adams said there were two other buildings of the same period in town and both retained their patterned glass. He said he would hate to see the original glass go, although the one on the far right had been replaced with a similar pattern and the three of the four units on the far left had been replaced with obvious plain glass. Mr. Pelletier said he would recommend an acid-edged glass, and it was further discussed. Mr. Ryan agreed and said a patterned glass would be appropriate. Mr. Wyckoff said he was in favor of the storefront windows because they would match the ones on The Works. Mr. Pelletier said they would probably have to use an aluminum framed window system instead of the Pella windows to match the textured glass. Mr. Ryan said he didn't think it would matter, and Chair Ruedig said it would not be out of the ordinary.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Adams moved to **grant** the Certificate of Approval for the project, with the following stipulation:*

- 1. Patterned glass similar if not identical to the existing glass shall be required on the second-floor windows.*

Mr. Ryan seconded the motion.

Mr. Adams said if the applicant had issues with the framing or material surrounding the windows, he could return for an administrative approval. He said the project would conserve property values and the historic significance of the building. Chair Ruedig asked the applicant to submit the type of patterned glass they would use so that it was on the record.

*The motion **passed** unanimously, 7-0.*

4. Petition of **Ronald Furst Revocable Trust, owner**, for property located at **238 Marcy Street**, wherein permission is requested to allow exterior renovations to an existing structure (removal of a non-functioning chimney) as per plans on file in the Planning Department. Said

property is shown on Assessor Map 103 as Lot 52 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

[Timestamp 1:46:18] The applicant Peter Furst was present via Zoom to review the petition. He said the chimney to be removed had not been used in 40 years, leaked water, and had falling bricks. He said his contractor said it wasn't worth fixing and should be torn down.

Mr. Ryan said the Commission hated to see chimneys go but he could understand the applicant's dilemma. Mr. Adams said the retained chimney was the primary one that had been there for at least 120 years and the chimney proposed to be demolished looked like it was built in the 1920s and wasn't indicative of the age or construction of the house.

Chair Ruedig opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Ruedig closed the public hearing.

DECISION OF THE COMMISSION

*Councilor Blalock moved to **grant** the Certificate of Approval for the petition as presented, and Mr. Booz seconded.*

Councilor Blalock said the project would preserve the integrity of the District and would be compatible with the design of surrounding properties.

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Argeris and Eloise Karabelas, owners**, for property located at **461 Court Street**, wherein permission is requested to allow exterior construction to an existing structure (construct a 2-story rear addition to the main structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 7 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

[Timestamp 1:51:58] Project architect Anne Whitney was present on behalf of the applicant. She said they proposed to build a 22'x30' addition set back from the kitchen addition and also build a porch on the left side. She said they would match the windows on the other side of the house and add two more openings. To open up the first-floor level, she said a series of French patio doors would run across the top and there would be a pilaster column. She said they would go up with a single hip roof. On the rear elevation, she said there would be another set of French doors, clapboards, an egress casement window, and a combination of 4/4 casements and 6/6 windows. She said the existing Marvin aluminum clad windows would be replaced in kind. On the east elevation, she said the existing bay would be extended and have 4/4 windows above it and the square columns would be built up.

[Timestamp 1:58:56] Mr. Ryan asked why the attached arbor could not be salvaged. Ms. Whitney said it might. Chair Ruedig asked whether zoning variances for the setback were required. Ms. Whitney said they were not because that area had minimal setbacks. Mr. Adams said the proposed design seemed very compatible with the building and the public impact was minimal, but he asked what the impact would be on the neighbors. Chair Ruedig noted that some letters were received by the neighbors just before the meeting regarding what was now taking up the open space. Ms. Whitney said some of the neighbors built close to their property lines, and it was further discussed. Mr. Ryan asked if the addition would be wood framed. Ms. Whitney said it would probably be clapboard and the first level would be trim panelized. Mr. Ryan said the massing and scaling were appropriate for the existing house.

Ms. Whitney said she would return for a public hearing at the June 5 meeting.

DECISION OF THE COMMISSION

*Mr. Adams moved to **close** the work session, seconded by Councilor Blalock. The motion **passed** unanimously, 7-0.*

[Timestamp 2:07:16] At this point in the meeting, other items were discussed. Chair Ruedig said the Commission had confirmation regarding the Certified Local Government (CLG) listing with the State. Mr. Gilbo said it would take about 4-6 weeks to receive it. Chair Ruedig said the Planning Board scheduled a public hearing on the Commission's proposed ordinance changes to solar panels but there was some concern about the wording and some definitions. She said the Planning Board Chair would work with the Legal Department to assure that all the wording was correct. It was further discussed.

VI. ADJOURNMENT

The meeting adjourned at 8:45 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

June 05, 2024

- | | | |
|----|---------------------|-----------------------|
| 1. | 238 Deer Street | -Recommended Approval |
| 2. | 434 Marcy Street | -Recommended Approval |
| 3. | 99 Daniel Street | -Recommended Approval |
| 4. | 70 Maplewood Avenue | -Recommended Approval |
| 5. | 346 Pleasant Street | -Recommended Approval |

1. 238 Deer Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design:

- CHANGE IN BRICK SELECTION, PREVIOUSLY APPROVED BRICK IS NO LONGER AVAILABLE. PROPOSED BRICK IS SIMILAR IN COLOR AND TEXTURE, RECOMMENDED BY MASON.
- ADDITION OF GRANITE LANDING AT RIGHT SIDE OF THE DEER STREET ELEVATION ENTRY DOOR.
- BRICK WINDOW SILLS TO BECOME BLUESTONE SILLS, BRICK SELECTION DOES NOT PROVIDE SOLID BRICKS TO BE USED FOR SILLS.
- ADDITION OF WINDOWS ON PUBLIC WALKWAY ELEVATION.
- INCREASED HEIGHT OF TWO FRONT ENTRY DOORS DUE TO LOWERING OF INTERIOR SLAB ELEVATION FOR ACCESSIBILITY. ALL TRANSOMS AND HEAD ALIGNMENTS TO REMAIN.
- RELOCATION OF PREVIOUSLY APPROVED MECHANICAL LOUVER FROM PUBLIC WALKWAY ELEVATION TO REAR ELEVATION.
- PREVIOUSLY APPROVED ROOF HATCH HAS BEEN REMOVED.
- PREVIOUSLY APPROVED EXTERIOR ROOF ACCESS LADDER THAT WAS REMOVED DURING THE 02/13/2024 HDC MEETING IS BEING PROPOSED AGAIN IN A NEW LOCATION.
 - ADDITION OF REAR EXIT LANDING, RAMP AND HANDRAIL/GUARDRAILS FOR

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

238 DEER STREET: MIXED-USE BUILDING

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL -
JUNE 2024 PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION (ZONING BOARD OF ADJUSTMENT APPROVAL 09/28/2021, HISTORIC DISTRICT COMMISSION APPROVAL 11/10/2021, PLANNING BOARD APPROVAL 03/17/2022):

- PROPOSED ALTERATIONS AND ADDITIONS FROM PREVIOUSLY APPROVED APPLICATION ON 11/10/2021 AND ADMINISTRATIVE APPROVAL ON 07/06/2022 AND 02/13/2024:
 - CHANGE IN BRICK SELECTION, PREVIOUSLY APPROVED BRICK IS NO LONGER AVAILABLE. PROPOSED BRICK IS SIMILAR IN COLOR AND TEXTURE, RECOMMENDED BY MASON.
 - ADDITION OF GRANITE LANDING AT RIGHT SIDE OF THE DEER STREET ELEVATION ENTRY DOOR.
 - BRICK WINDOW SILLS TO BECOME BLUESTONE SILLS, BRICK SELECTION DOES NOT PROVIDE SOLID BRICKS TO BE USED FOR SILLS.
 - ADDITION OF WINDOWS ON PUBLIC WALKWAY ELEVATION.
 - INCREASED HEIGHT OF TWO FRONT ENTRY DOORS DUE TO LOWERING OF INTERIOR SLAB ELEVATION FOR ACCESSIBILITY. ALL TRANSOMS AND HEAD ALIGNMENTS TO REMAIN.
 - RELOCATION OF PREVIOUSLY APPROVED MECHANICAL LOUVER FROM PUBLIC WALKWAY ELEVATION TO REAR ELEVATION.
 - PREVIOUSLY APPROVED ROOF HATCH HAS BEEN REMOVED.
 - PREVIOUSLY APPROVED EXTERIOR ROOF ACCESS LADDER THAT WAS REMOVED DURING THE 02/13/2024 HDC MEETING IS BEING PROPOSED AGAIN IN A NEW LOCATION.
 - ADDITION OF REAR EXIT LANDING, RAMP AND HANDRAIL/GUARDRAILS FOR ACCESSIBILITY



SHEET LIST - HDC	
Sheet Number	Sheet Name
A1	DEER STREET ELEVATION
PA-A1	PREVIOUSLY APPROVED DEER STREET ELEVATION
A2	BRIDGE STREET ELEVATION
PA-A2	PREVIOUSLY APPROVED BRIDGE STREET ELEVATION
A3	PUBLIC WALKWAY ELEVATION
PA-A3	PREVIOUSLY APPROVED PUBLIC WALKWAY ELEVATION
A4	REAR ELEVATION
PA-A4	PREVIOUSLY APPROVED REAR ELEVATION
A5	BRICK & SILL SUBSTITUTIONS
A6	FLOOR PLAN
PA- A4	PREVIOUSLY APPROVED FLOOR PLAN

PA: PREVIOUSLY APPROVED SHEET



238 DEER STREET
PORTSMOUTH, NH 03801

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE
APPROVAL - JUNE 2024

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

C

05/10/2024

McHA: RD / MG

NOT TO SCALE



1 NORTH ELEVATION (DEER STREET)
1/8" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	DEER STREET ELEVATION HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - JUNE 2024	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A1	05/10/2024
				McHA: RD / MG Scale: 1/8" = 1'-0"

(4) ROOF MOUNTED
CONDENSER UNITS ON
18" SNOW STAND

FIXED ACCESS LADDER
TO BE REMOVED

RELOCATED
PREVIOUSLY APPROVED
WINDOW

LP SMARTSIDE, SMOOTH,
13" EXPOSURE BOARD
AND BATTEN

24"x4.75" EXHAUST
LOUVER, COLOR TO
MATCH ADJACENT BRICK

LP SMARTSIDE, SMOOTH,
6 3/4" EXPOSURE
CLAPBOARDS



REMOVABLE LOW ALUMINUM
SCREEN TO ENCLOSE BOLLARDS
AND GAS METER, BLACK

1 NORTH ELEVATION (DEER STREET)
1/8" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

DEER STREET ELEVATION

HISTORIC DISTRICT COMMISSION, FEBRUARY 2024

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A1

01/22/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"

ROOF HATCH HAS BEEN REMOVED



1 WEST ELEVATION (BRIDGE STREET)
1/8" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

BRIDGE STREET ELEVATION

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE
APPROVAL - JUNE 2024

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A2

05/10/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"

FIXED ACCESS LADDER
TO BE REMOVED

(4) ROOF MOUNTED
CONDENSER UNITS ON
18" SNOW STAND

ROOF ACCESS HATCH
WITH PERSONAL FALL
ARREST ANCHOR

LP SMARTSIDE, SMOOTH,
13" EXPOSURE BOARD
AND BATTEN

24"x4.75" EXHAUST
LOUVER, COLOR TO
MATCH ADJACENT SIDING

24"x4.75" EXHAUST
LOUVER, COLOR TO
MATCH ADJACENT SIDING

LP SMARTSIDE, SMOOTH,
6 3/4" EXPOSURE
CLAPBOARDS

REMOVABLE LOW
ALUMINUM SCREEN TO
ENCLOSE BOLLARDS AND
GAS METER, BLACK



1 WEST ELEVATION (BRIDGE STREET)
1/8" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

BRIDGE STREET ELEVATION

HISTORIC DISTRICT COMMISSION, FEBRUARY 2024

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A2

01/22/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"



1 EAST ELEVATION (PUBLIC WALKWAY)
1/8" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	PUBLIC WALKWAY ELEVATION HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - JUNE 2024	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A3	05/10/2024
				McHA: RD / MG Scale: 1/8" = 1'-0"



1 EAST ELEVATION (PUBLIC WALKWAY)
1/8" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

PUBLIC WALKWAY ELEVATION

HISTORIC DISTRICT COMMISSION, FEBRUARY 2024

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A3

01/22/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION (REAR)
1/8" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801	REAR ELEVATION HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - JUNE 2024	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	A4	05/10/2024
				McHA: RD / MG Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION (REAR)
1/8" = 1'-0"

© 2024 McHenry Architecture

<p>DEER ST. MIXED-USE BUILDING 238 DEER STREET PORTSMOUTH, NH 03801</p>	<p>REAR ELEVATION HISTORIC DISTRICT COMMISSION, FEBRUARY 2024</p>	<p>McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire</p>	<p>A4</p>	01/22/2024
				McHA: RD / MG
				Scale: 1/8" = 1'-0"



PROPOSED:
 BRICK: CAMBRIDGE VELOUR
 SILLS: 2 1/2" BLUESTONE, THERMAL FINISH, ROCK FACE EDGE

PREVIOUSLY APPROVED BRICK ADJACENT
 TO APPROVED SIDING

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
 PORTSMOUTH, NH 03801

BRICK & SILL SUBSTITUTIONS

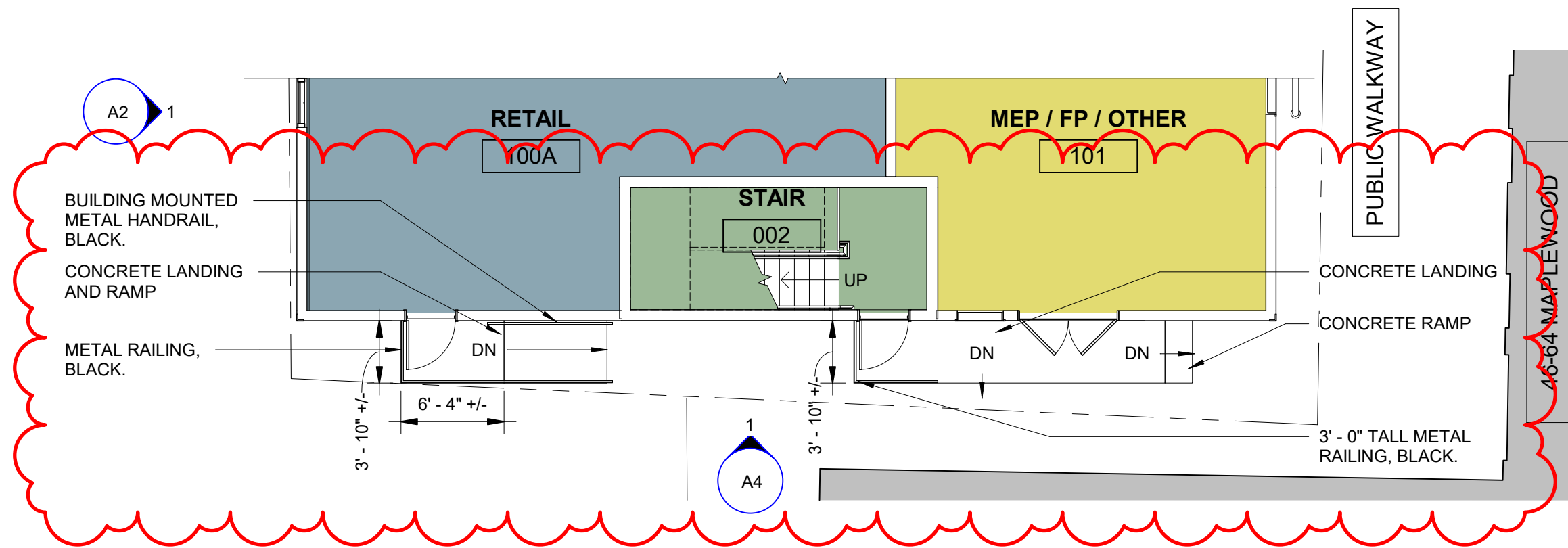
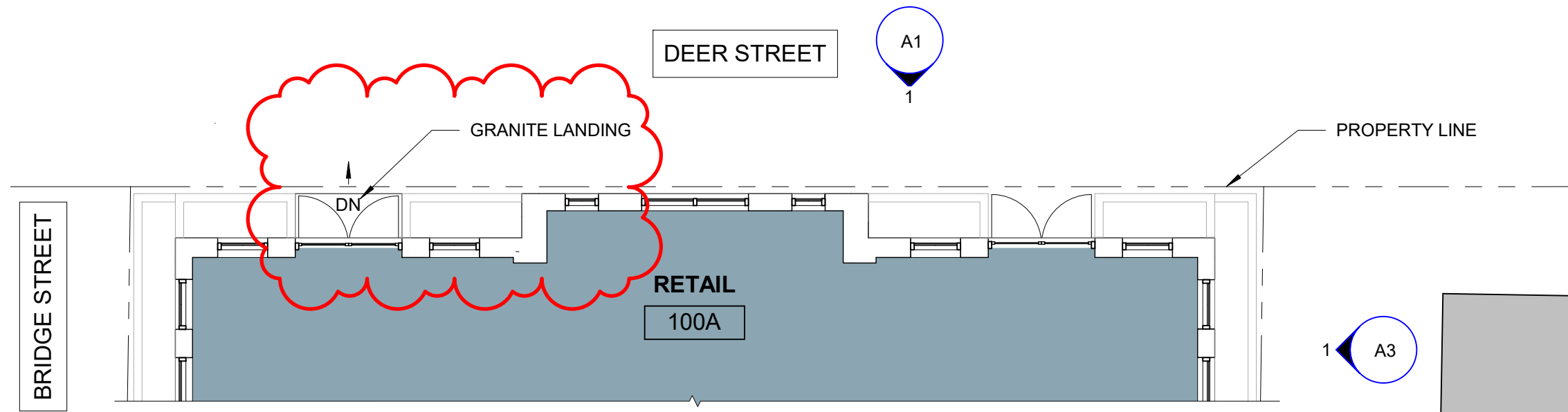
HISTORIC DISTRICT COMMISSION ADMINISTRATIVE
 APPROVAL - JUNE 2024

McHENRY ARCHITECTURE

4 Market Street
 Portsmouth, New Hampshire

A5

05/10/2024
 McHA: RD / MG
 NOT TO SCALE



1 FIRST FLOOR
1/8" = 1'-0"

© 2024 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

FLOOR PLAN

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE
APPROVAL - JUNE 2024

McHENRY ARCHITECTURE

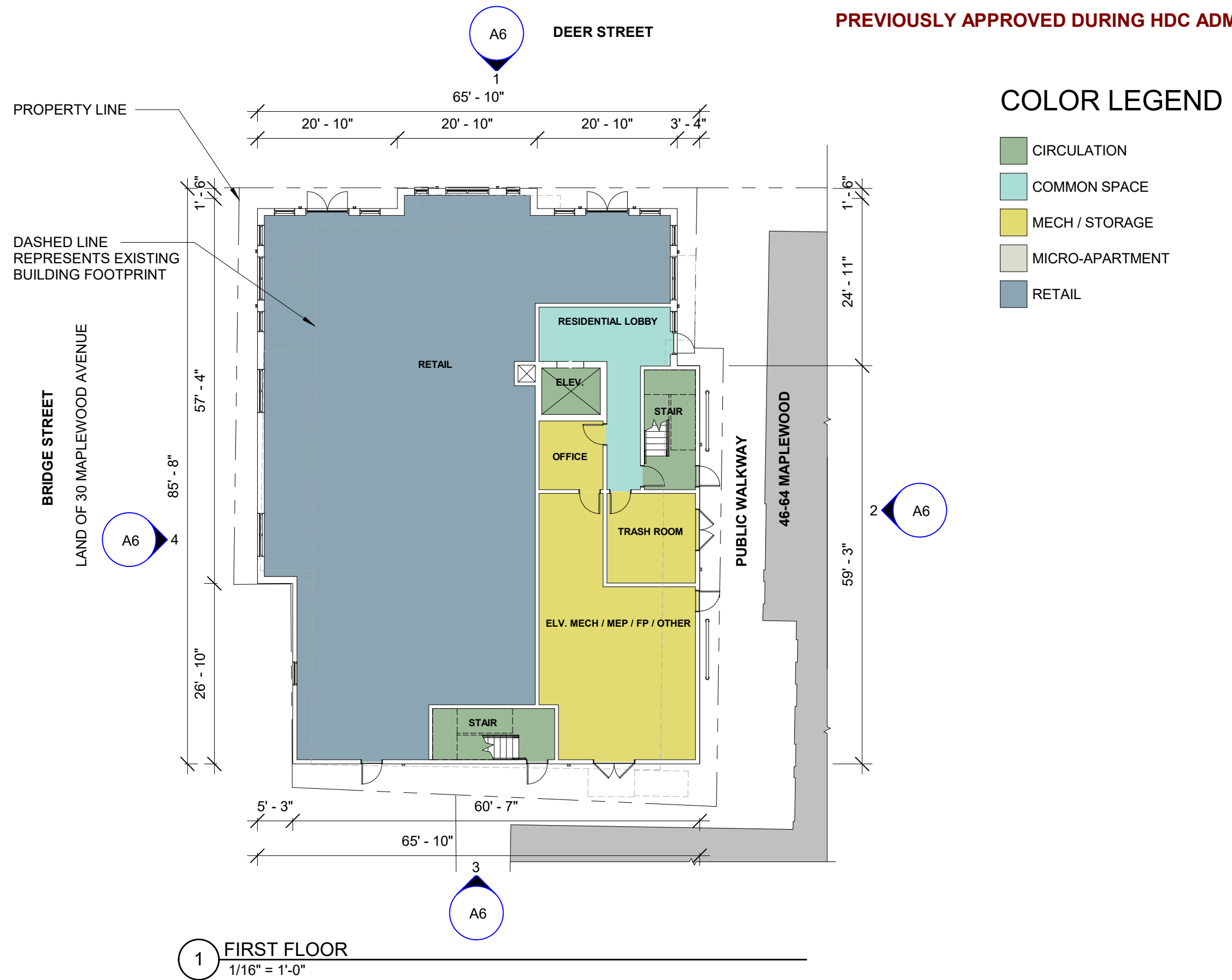
4 Market Street
Portsmouth, New Hampshire

A6

05/10/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"



© 2021 McHenry Architecture

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

FLOOR PLANS

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A4

11/03/2021
McHA: SM/RD/MG
Scale: 1/16" = 1'-0"

2. 434 Marcy Street

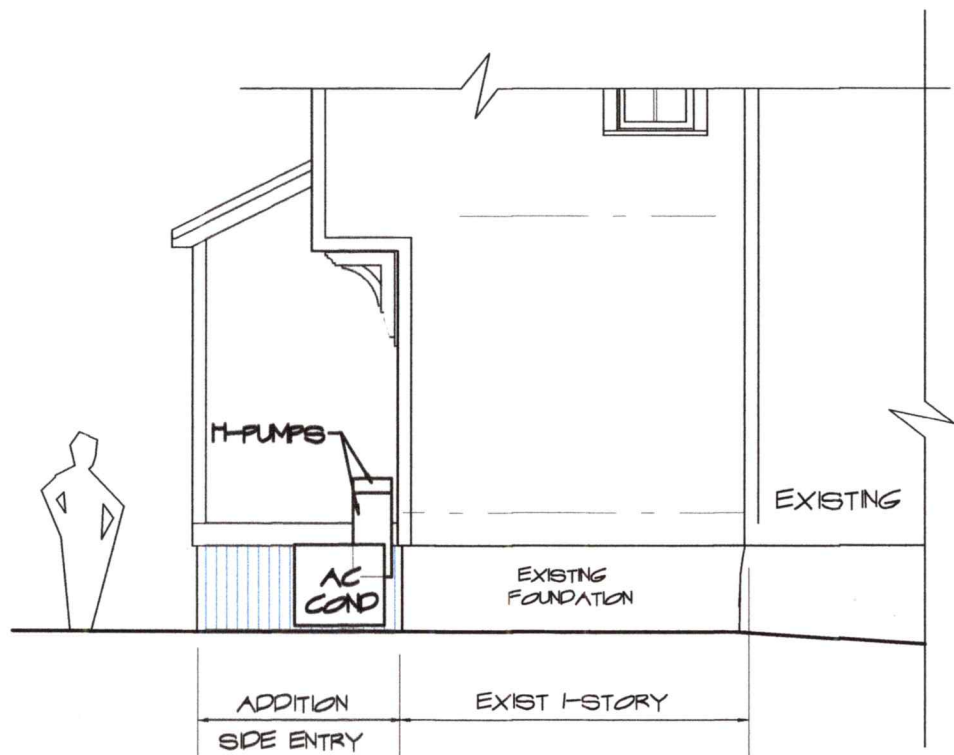
-Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment (heat pumps and a condenser).

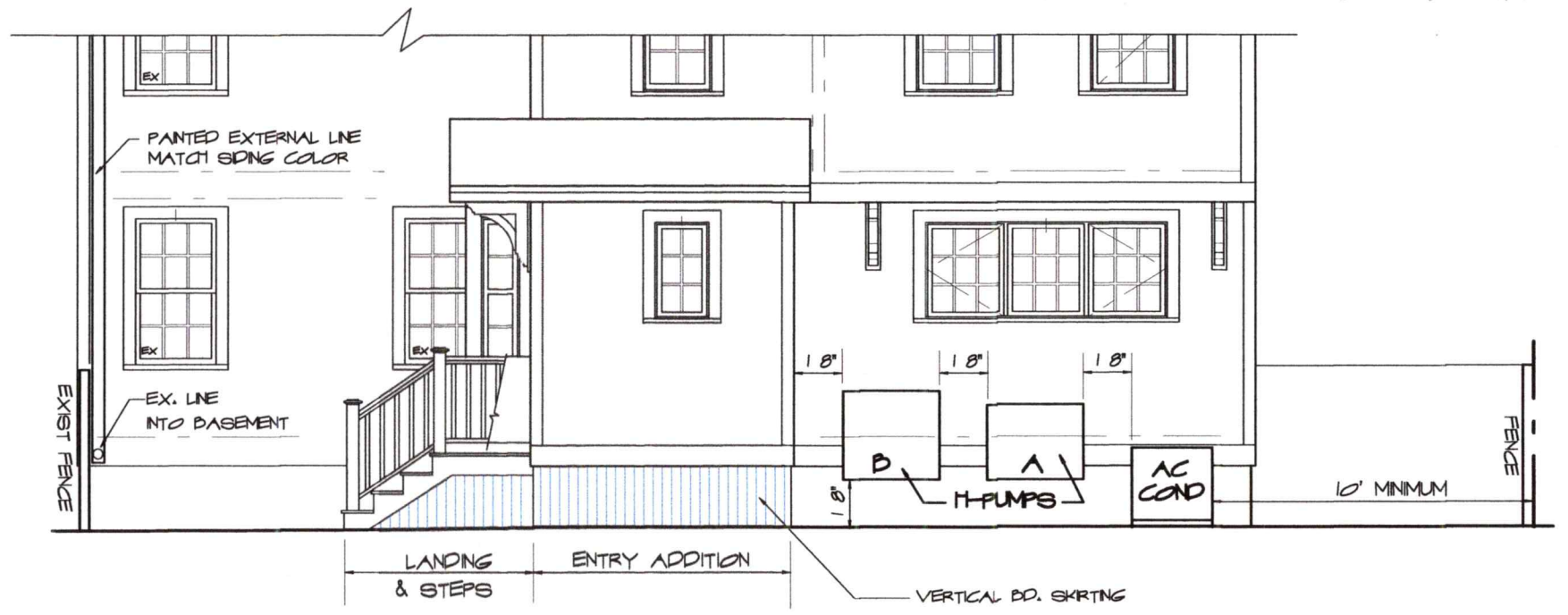
Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



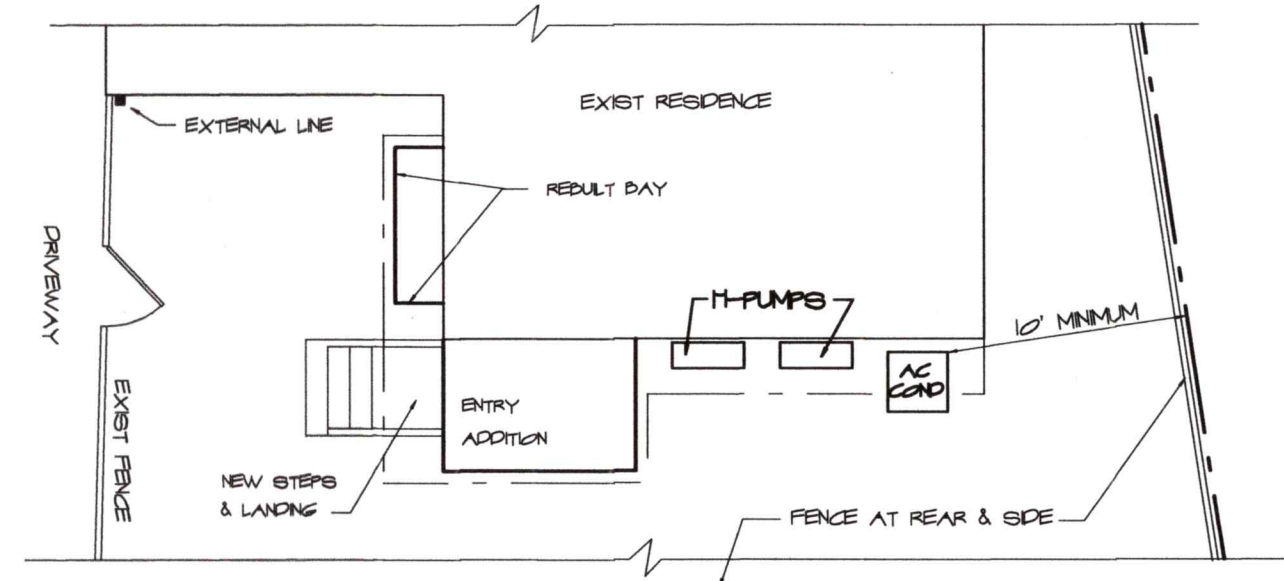
REAR ELEVATION
SCALE: 3/16" = 1'-0"



HEAT PUMP & AC COND. LOCATION



LOCATION OF EXTERNAL LINE

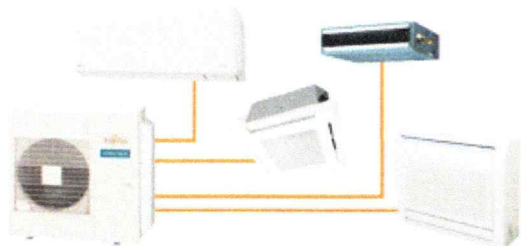


PLAN AT REAR OF RESIDENCE
SCALE: 1/8" = 1'-0"

HEATPUMP & AC COND. LOCATIONS ADDITIONS & RENOVATIONS, SLIVA-MORAN RESIDENCE 434 MARCY STREET PORTSMOUTH, NH	 ANNE WHITNEY ARCHITECT 801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhitt@aol.com	Project: 2209	Date: 5/16/24
		Revisions:	

18, 24, 36, 45,000 BTU/h Multi-Zone Outdoor Units

AIRSTAGE H-Series



Contractors can select either an 18, 24, 36 or 45,000 BTU outdoor unit combined with wall mounted, slim duct, compact cassette or floor mount type indoor units. Mix-and-match flexibility of evaporator type and capacity allows you to choose the indoor unit that best fits the application, whether it be hidden or showcased. These systems are ideal for nursing homes, doctor's offices, condominiums, apartments and residences - any place where individual cooling or heating is needed.

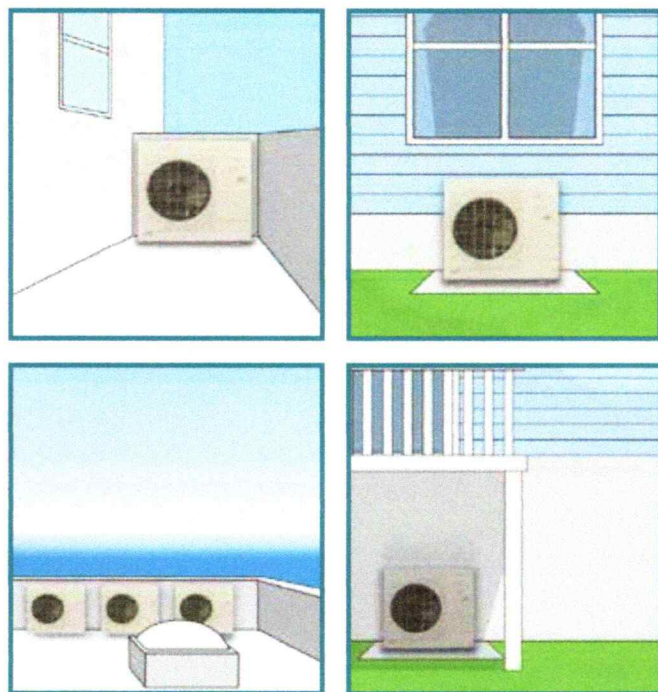
DC Twin Rotary Compressor

A high performance, low noise, large capacity DC twin rotary compressor is used.



Compact Size

The compact size of the outdoor units allows for many installation opportunities.



Multi-zone Efficiency

Model	Type	SEER2	HSPF2	EER2	COP2	Energy Star Rating*
AOU18RLXFZ	Non Ducted	18	8.7	12.5	3.44	ES
	Ducted	16.3	8.7	12.1	3.52	ES
	Mixed	17.15	8.7	12.3	3.48	--
AOU24RLXFZ	Non Ducted	18.5	8.8	12.5	4.04	ES
	Ducted	16	8.5	10.6	3.42	ES, ESME
	Mixed	17.25	8.6	11.55	3.79	--
AOU36RLXFZ1	Non Ducted	19	9	10	3.56	--
	Ducted	17	8.2	9	3.32	--
	Mixed	18	8.6	9.5	3.44	--
AOU45RLXFZ	Non Ducted	20	9.2	10.5	3.6	--
	Ducted	18.2	8.3	9.8	3.46	--
	Mixed	19.1	8.8	10.3	3.53	--

Energy Star Rated Combination

Service valves

AOU18RLXFZ / AOU24RLXFZ / AOU36RLXFZ1

The above units have (2) service valves for each zone.

BENEFITS:

- **Installation** – Allows for reduced installation time.
- **Service** – Allows for refrigerant isolation of each zone, if necessary.
- **Add Ons** – Ease of additional add-ons.

The AOU45RLXFZ does not have this feature.

*

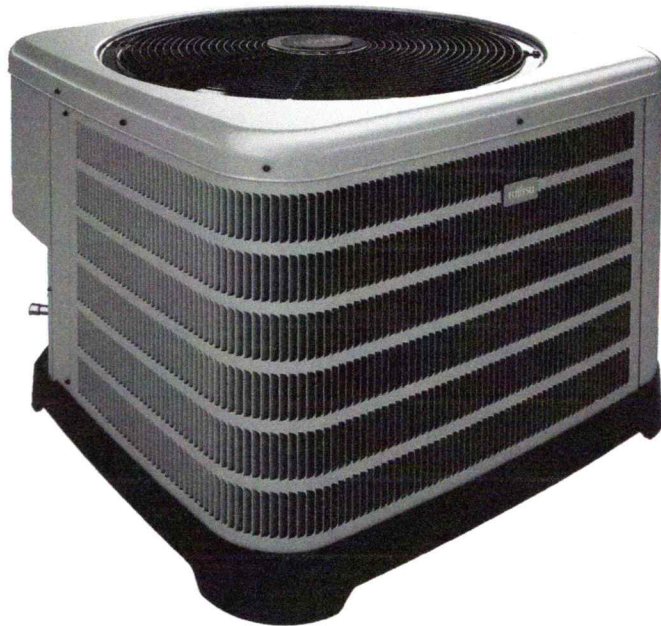


AOU18RLXFZ, AOU24RLXFZ, AOU36RLXFZ1, AOU45RLXFZ

		A	B		
		AOU18RLXFZ ASU9 + ASU9	AOU24RLXFZ ASU9 + ASU7 + ASU7	AOU36RLXFZ1 ASU9 x 4	AOU45RLXFZ ASU9 x 5
Performance					
Connectable Indoor Units		2	2 to 3	2* to 4	2 to 5
Connectable Unit Capacity Class	BTU/h	14,000 to 21,000	14,000 to 27,000	27,000 to 39,000	34,000 to 54,000
Rated Capacity Cooling / Heating	BTU/h	18,000 / 22,000	22,000 / 24,000	35,200 / 36,400	45,000 / 48,000
Cooling Operating Range	*F (°C)	14-115 (-10-46)	14-115 (-10-46)	14-115 (-10-46)	14-115 (-10-46)
Heating Operating Range	*F (°C)	5-75 (-15-24)	5-75 (-15-24)	5-75 (-15-24)	5-75 (-15-24)
Electrical					
Rated Input Power Clg/Htg	kW	1.44/1.87	1.76/1.73	3.52/3.00	4.28/3.88
Voltage/Frequency/Phase		208-230/60/1	208-230/60/1	208-230/60/1	208-230/60/1
Maximum Total Current	Amps	10.0	13.7	20.3	23.8
Minimum Circuit Ampacity	Amps	13.0	17.0	24.6	28.9
Maximum Circuit Breaker	Amps	15	20	30	30
Fan: Type x Quantity		Propeller x 1	Propeller x 1	Propeller x 1	Propeller x 1
Sound Pressure Level Cooling	dB(A)	49	51	53	53
Sound Pressure Level Heating	dB(A)	49	52	55	55
Lineset Requirements					
Minimum Lineset Length Each	ft(m)	16 (5)	16 (5)	16 (5)	16 (5)
Maximum Lineset Length Each	ft(m)	82 (25)	82 (25)	82 (25)	82 (25)
Minimum Lineset Length Total	ft(m)	49 (15)	49 (15)	66 (20)	49 (15)
Maximum Lineset Length Total	ft(m)	164 (50)	164 (50)	230 (70)	262 (80)
Pre-Charge Length Total	ft(m)	98 (30)	98 (30)	164 (50)*	164 (50)
Max. Lineset Height Difference Btwn Outdoor Unit & Furthest Indoor Unit	ft(m)	49 (15)	49 (15)	49 (15)	49 (15)
Max. Lineset Height Difference Btwn Indoor Units	ft(m)	33 (10)	33 (10)	33 (10)	33 (10)
Lineset Diameter	Inch	Liq. 1/4 x 2 Gas 3/8 x 2	Liq. 1/4 x 3 Gas 1/2 x 1, 3/8 x 2	Liq. 1/4 x 4 Gas 1/2 x 1, 3/8 x 3	Liq. 1/4 x 5 Gas 1/2 x 2, 3/8 x 3
Size & Weight					
Net Weight	lbs. (kg)	119 (54)	124 (56)	150 (68)	205 (93)
Dimensions: Height	Inch	27-9/16	27-9/16	32-11/16	39-5/16
	mm	700	700	830	998
Width	Inch	35-7/16	35-7/16	35-7/16	38-3/16
	mm	900	900	900	970
Depth	Inch	13	13	13	14-9/16
	mm	330	330	330	370
Refrigerant		R410A	R410A	R410A	R410A

* When AOU36RLXFZ1 is paired with two 18,000-Btu indoor units, you have to purchase optional part K9FZ1818 (UTP-MU36A2) kit. [Its pre-charge length is 66 ft (20 m)].

FUJITSU



FO*14C SERIES

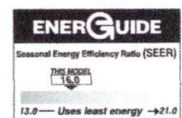
Efficiencies up to 16 SEER/13 EER
 Nominal Sizes 1 1/2 to 5 Ton [5.28 to 17.6 kW]
 Cooling Capacities 17.3 to 60.5 kBTU
 [5.7 to 17.7 kW]

Manufactured for
Fujitsu General America, Inc.
 Fairfield, NJ

AIR CONDITIONERS

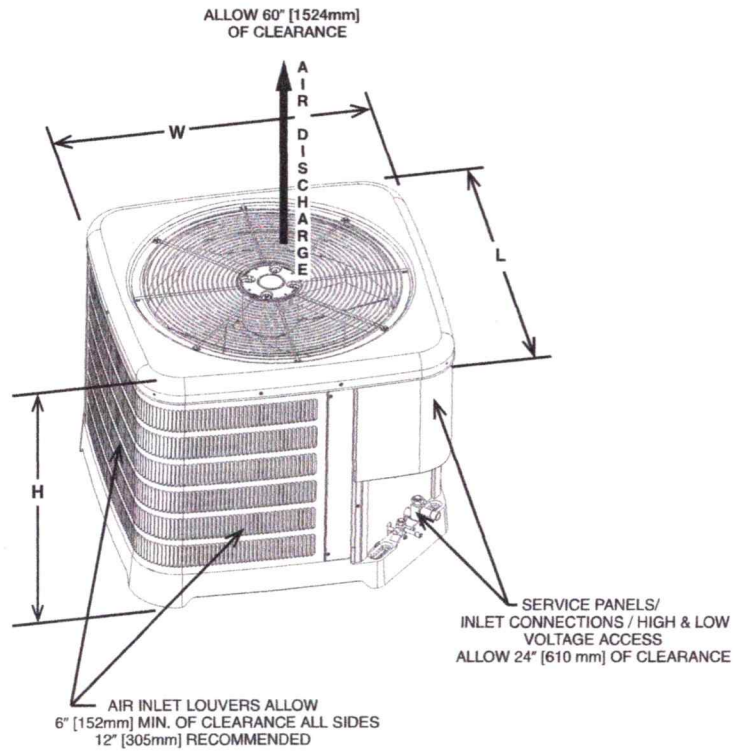
Features

- New composite base pan – dampens sound, captures louver panels, eliminates corrosion and reduces number of fasteners needed
- Powder coat paint system – for a long lasting professional finish
- Scroll compressor – uses 70% fewer moving parts for higher efficiency and increased reliability
- Modern cabinet aesthetics – increased curb appeal with visually appealing design
- Louver panels – provide ultimate coil protection, enhance cabinet strength, and increased cabinet rigidity
- Optimized fan orifice – optimizes airflow and reduces unit sound
- Rust resistant screws – confirmed through 1500-hour salt spray testing
- 3"-4"-5" service valve space – provides a minimum working area of 27-square inches for easier access
- 15" wide, industry leading corner service access – makes repairs easier and faster
- External gauge port access – allows easy connection of "low-loss" gauge ports
- Single-row condenser coil – makes unit lighter and allows thorough coil cleaning to maintain "out of the box" performance
- Fewer cabinet fasteners – allow for faster access to internal components and hassle-free panel removal
- Service trays – hold fasteners or caps during service calls
- QR code – provides technical information on demand for faster service calls
- Fan motor harness with extra long wires allows unit top to be removed without disconnecting fan wire.



Unit Dimensions

MODEL NO.	OPERATING						SHIPPING					
	H (Height)		L (Length)		W (Width)		H (Height)		L (Length)		W (Width)	
	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm
F01814C	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
F02414C	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
F03014C	27	685	29.75	755	29.75	755	28.75	730	32.38	822	32.38	822
F03614C	27	685	33.75	857	33.75	857	28.75	730	36.38	924	36.38	924
F04214C	35	889	33.75	857	33.75	857	36.75	933	36.38	924	36.38	924
F04814C	31	787	35.75	908	35.75	908	32.75	832	38.38	975	38.38	975
F016014C	45	1143	35.75	908	35.75	908	45.38	1153	38.25	972	38.25	972



ST-A1226-23-00

[] Designates Metric Conversions

3. 99 Daniel Street

-Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design:

- DECK DEPTH REDUCED FROM 9'-0" TO 6'-0" TO PROVIDE MORE SPACE FOR PARKING.
- STAIR LEADING TO SECOND FLOOR REMOVED.
- FIRST FLOOR DECK RECESSED TO PROVIDE ROOM FOR CONDENSER UNIT.
- RAISED SILL HEIGHT OF FIRST FLOOR WINDOW ON WEST ELEVATION.
- WINDOW ADDED ON FIRST FLOOR, ADJACENT TO REAR ENTRY DOOR.
- SECOND FLOOR WINDOW REMOVED FROM NORTH ELEVATION.
- ADDITION OF GUTTERS AND DOWNSPOUTS.

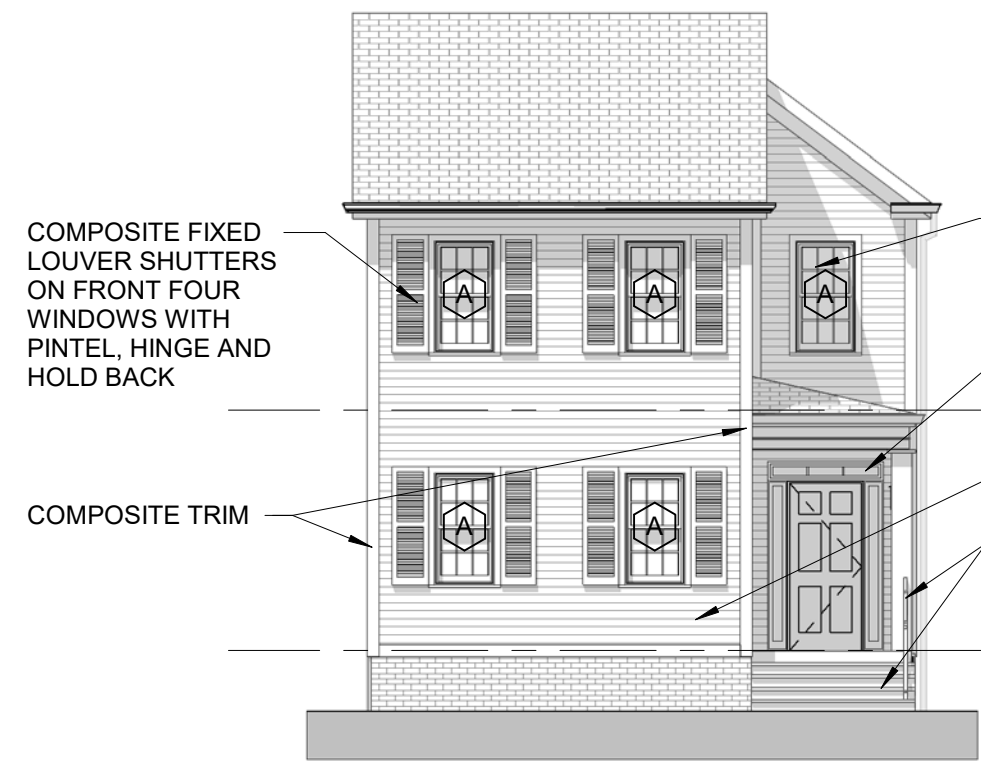
Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

PREVIOUSLY APPROVED

- GENERAL NOTES:
1. PATCH, REPAIR AND REPLACE ALL FASCIA, SOFFIT AND TRIM WITH COMPOSITE
 2. REPOINT BRICK FOUNDATION AS NEEDED



COMPOSITE FIXED LOUVER SHUTTERS ON FRONT FOUR WINDOWS WITH PINTEL, HINGE AND HOLD BACK

COMPOSITE TRIM

REPLACE ASPHALT SHINGLES

CASEMENT EGRESS WINDOW

ALL DOUBLE HUNG WINDOWS TO BE REPLACED WITH MARVIN ELEVATE DOUBLE-HUNG WINDOWS

EXPANSION OF ENTRYWAY ONTO EXISTING PORCH

WOOD CLAPBOARD SIDING

REPLACE STAIR AND RAIL



COMPOSITE TRIM
TIMBERTECH ALUMINUM RAIL

Level 2
110' - 0"

TIMBERTECH AZEK DECKING

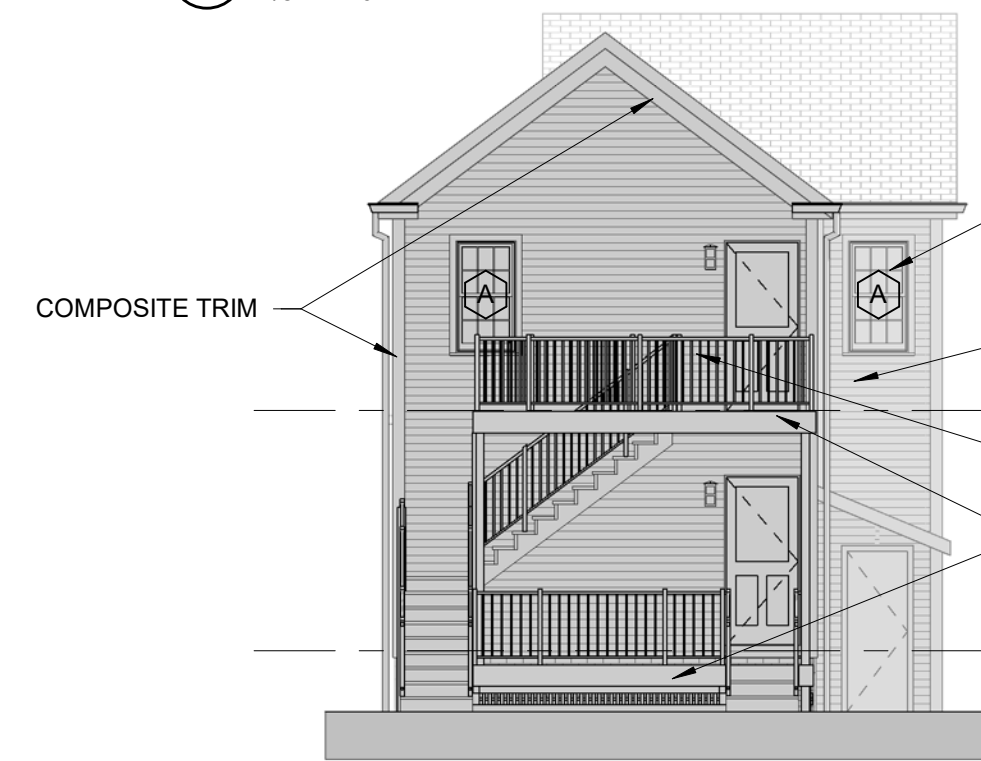
CASEMENT EGRESS WINDOW

CONDENSER BEHIND SCREENING

Level 1
100' - 0"

1 SOUTH ELEVATION
1/8" = 1'-0"

2 EAST ELEVATION
1/8" = 1'-0"



COMPOSITE TRIM

ALL DOUBLE HUNG WINDOWS TO BE REPLACED WITH MARVIN ELEVATE DOUBLE-HUNG WINDOWS

WOOD CLAPBOARD SIDING

TIMBERTECH ALUMINUM RAIL

TIMBERTECH AZEK DECK



LOUVERS FOR VENTILATION

COMPOSITE TRIM
Level 2
110' - 0"

24' - 9" +/-

WINDOW INFILL
Level 1
100' - 0"

3 NORTH ELEVATION
1/8" = 1'-0"

4 WEST ELEVATION
1/8" = 1'-0"

© 2023 McHenry Architecture

99/95 DANIEL STREET
PORTSMOUTH, NH 03801

99 SCHEMATIC DESIGN
HISTORIC DISTRICT COMMISSION · PUBLIC HEARING
JANUARY 2024

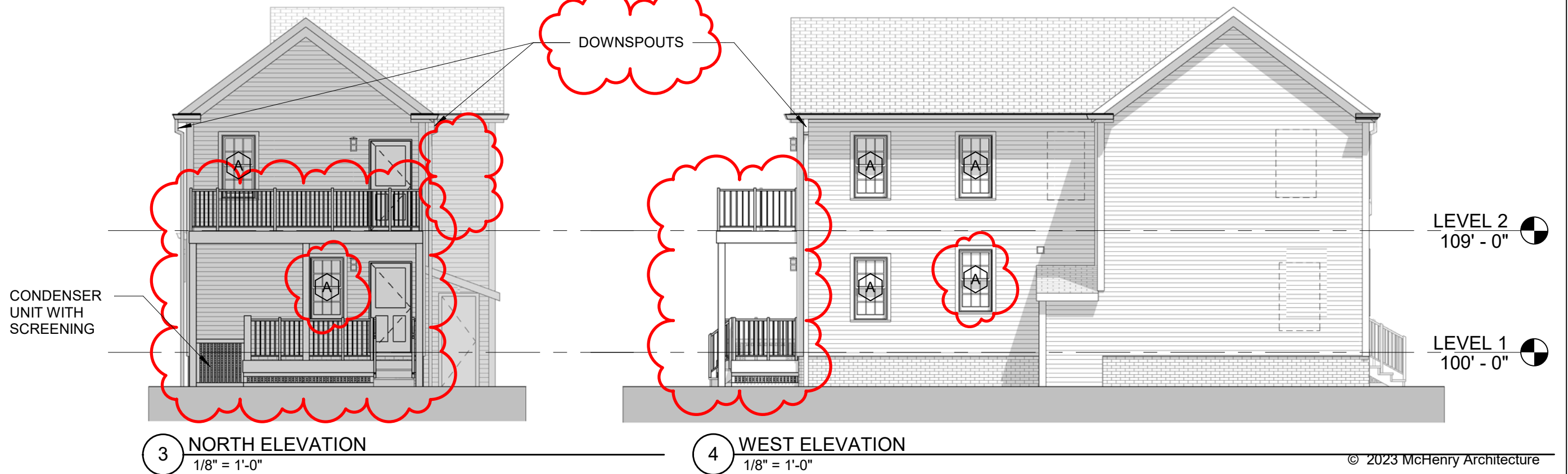
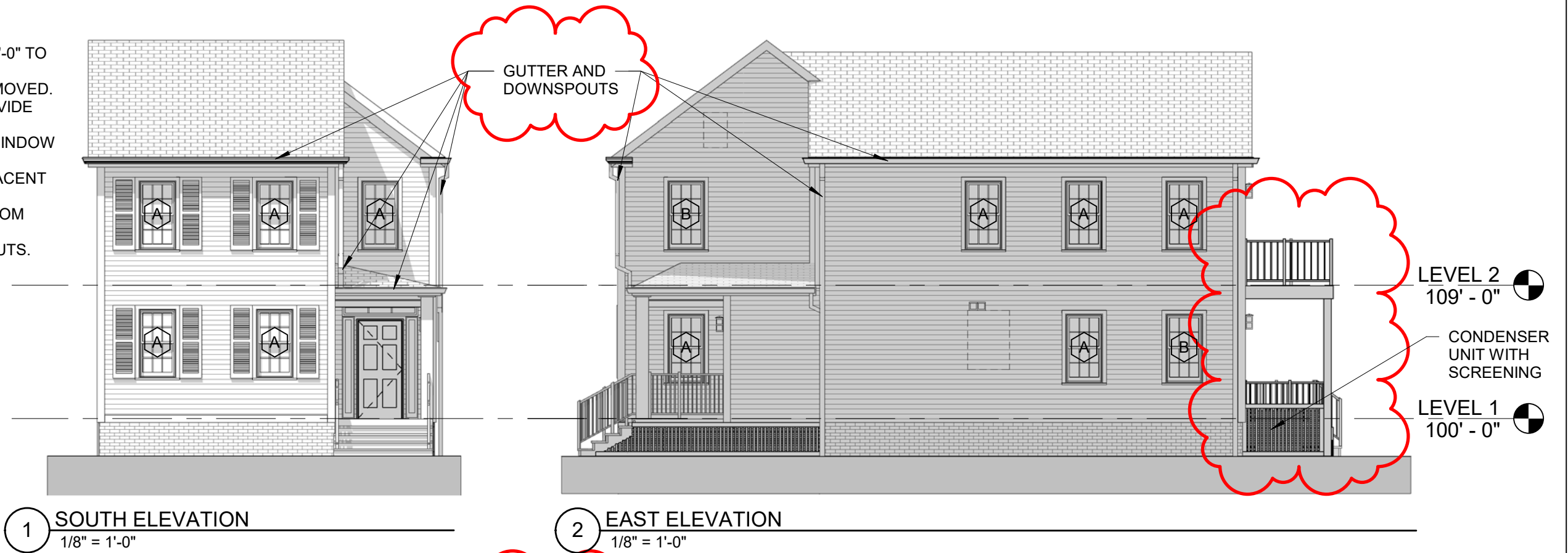
McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A4

12/14/2023
McHA: EKW/MG
Scale: 1/8" = 1'-0"

PROPOSED CHANGES:

- DECK DEPTH REDUCED FROM 9'-0" TO 6'-0" TO PROVIDE MORE SPACE FOR PARKING.
- STAIR LEADING TO SECOND FLOOR REMOVED.
- FIRST FLOOR DECK RECESSED TO PROVIDE ROOM FOR CONDENSER UNIT.
- RAISED SILL HEIGHT OF FIRST FLOOR WINDOW ON WEST ELEVATION.
- WINDOW ADDED ON FIRST FLOOR, ADJACENT TO REAR ENTRY DOOR.
- SECOND FLOOR WINDOW REMOVED FROM NORTH ELEVATION.
- ADDITION OF GUTTERS AND DOWNSPOUTS.



© 2023 McHenry Architecture

99 DANIEL STREET RENOVATION

PORTSMOUTH, NH 03801

PROPOSED CHANGES

HISTORICAL DISTRICT COMMISSION - ADMINISTRATIVE APPROVAL JUNE 2024

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A2

05/16/2024

McHA: EKW/MG

Scale: 1/8" = 1'-0"

4. 70 Maplewood Avenue

-Recommended Approval

Background: The applicant is seeking approval for

1. **Accent Brick Material**
 - The black accent brick proposed is a similar color and finish by a manufacturer that is more readily available.
 2. **Electrical Room Windows and Door**
 - Openings on the corner elevation will need to be revised to accommodate the building power entrance on the corner of the site, and lines running internally.
 3. **Penthouse Windows and Doors**
 - Interior unit design development will require some door and window adjustments to accommodate the new layout.
 4. **Garage Passage Door Removal**
 - The second door from the garage is no longer needed.
 5. **Exterior Bracket Spacing**
 - The brackets have been doubled and positioned on the brick piers and not within the brick recessed areas.
 6. **Rooftop Solar**
 - Solar panels proposed on the penthouse roof are not visible as depicted in the renderings. They will be mounted at a low 10 degree angle
 7. **Penthouse Mechanicals**
 - Mechanical equipment is proposed on the penthouse level behind the parapet wall with screening fence.
 8. **Garage Louvers**
 - Garage Louvers are exempt as they are painted to match the brick and do not extend more than six inches.
- 10.633.20 Exemptions from Certificate of Approval: (8):**
Placement or replacement of wall-mounted mechanical or electrical equipment and ventilation terminators where the equipment (1) is painted a similar color to match or blend with the wall color, (2) does not extend more than six inches out from the wall plane, and (3) does not vent directly into a public way; and where (4) all duct work or equipment feeds enter the building's interior at ground level so as not to be visible.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

70 MAPLEWOOD AVE - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

We respectfully submit this application for amended approval for the following 8 items:

- 1. Accent Brick Material**
 - The black accent brick proposed is a similar color and finish by a manufacturer that is more readily available.
- 2. Electrical Room Windows and Door**
 - Openings on the corner elevation will need to be revised to accommodate the building power entrance on the corner of the site, and lines running internally.
- 3. Penthouse Windows and Doors**
 - Interior unit design development will require some door and window adjustments to accommodate the new layout.
- 4. Garage Passage Door Removal**
 - The second door from the garage is no longer needed.
- 5. Exterior Bracket Spacing**
 - The brackets have been doubled and positioned on the brick piers and not within the brick recessed areas.
- 6. Rooftop Solar**
 - Solar panels proposed on the penthouse roof are not visible as depicted in the renderings. They will be mounted at a low 10 degree angle
- 7. Penthouse Mechanicals**
 - Mechanical equipment is proposed on the penthouse level behind the parapet wall with screening fence.
- 8. Garage Louvers**
 - Garage Louvers are exempt as they are painted to match the brick and do not extend more than six inches.

10.633.20 Exemptions from Certificate of Approval: (8):

Placement or replacement of wall-mounted mechanical or electrical equipment and ventilation terminators where the equipment (1) is painted a similar color to match or blend with the wall color, (2) does not extend more than six inches out from the wall plane, and (3) does not vent directly into a public way; and where (4) all duct work or equipment feeds enter the building's interior at ground level so as not to be visible.

Thank you for your consideration.

Sincerely,



Carla Goodknight, AIA
Principal, CJ Architects LLC

70 MAPLEWOOD (LOT 5)

PORTSMOUTH, NEW HAMPSHIRE

ACCENT BRICK MATERIAL

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024



APPROVED ACCENT BRICK

MANUFACTURER: Endicott
COLOR: Manganese Ironspot - Smooth



PROPOSED ACCENT BRICK

MANUFACTURER: Belden
COLOR: Downing Black - Smooth



1.0



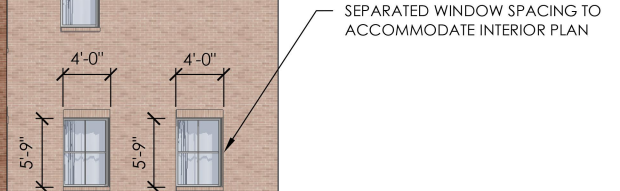
APPROVED (11/1/2023)

6) ROOFTOP SOLAR:
SOLAR PANELS PROPOSED ON THE PENTHOUSE ROOF ARE NOT VISIBLE AS DEPICTED IN THE RENDERINGS. THEY WILL BE MOUNTED AT A LOW 10 DEGREE ANGLE



PROPOSED

3) PENTHOUSE WINDOWS AND DOORS:
INTERIOR UNIT DESIGN DEVELOPMENT WILL REQUIRE SOME DOOR AND WINDOW ADJUSTMENTS TO ACCOMMODATE THE NEW LAYOUT.



SEPARATED WINDOW SPACING TO ACCOMMODATE INTERIOR PLAN

2) ELECTRICAL ROOM WINDOWS AND DOOR:
OPENINGS ON THIS CORNER ELEVATION NEED TO BE REVISED TO ACCOMMODATE THE BUILDING POWER ENTRANCE ON THE CORNER OF THE SITE, AND LINES RUNNING INTERNALLY. SEE RENDERING ON SHEET 3.0.

70 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD AVENUE ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024



2.0



APPROVED (11/1/2023)

3) PENTHOUSE WINDOWS AND DOORS:
INTERIOR UNIT DESIGN DEVELOPMENT WILL REQUIRE
SOME DOOR AND WINDOW ADJUSTMENTS TO
ACCOMMODATE THE NEW LAYOUT.

6) ROOFTOP SOLAR:
SOLAR PANELS PROPOSED ON THE PENTHOUSE
ROOF ARE NOT VISIBLE AS DEPICTED IN THE
RENDERINGS. THEY WILL BE MOUNTED AT A
LOW 10 DEGREE ANGLE



2) ELECTRICAL ROOM WINDOWS AND DOOR:
OPENINGS IN THE WALL WILL NEED TO BE REVISED
TO ACCOMMODATE THE BUILDING POWER
ENTRANCE ON THE CORNER OF THE SITE, AND LINES
RUNNING INTERNALLY.
EXTERIOR DOOR: SEE SHEET 2.2.
SEE RENDERING ON SHEET 3.0

7) PENTHOUSE MECHANICALS:
MECHANICAL EQUIPMENT IS PROPOSED
ON THE PENTHOUSE LEVEL BEHIND THE
PARAPET WALL - WITH SCREENING FENCE.

5) EXTERIOR BRACKET SPACING:
THE BRACKETS HAVE BEEN DOUBLED
AND POSITIONED ON THE BRICK PIERS
AND NOT WITHIN THE BRICK RECESSED
AREAS.

PROPOSED

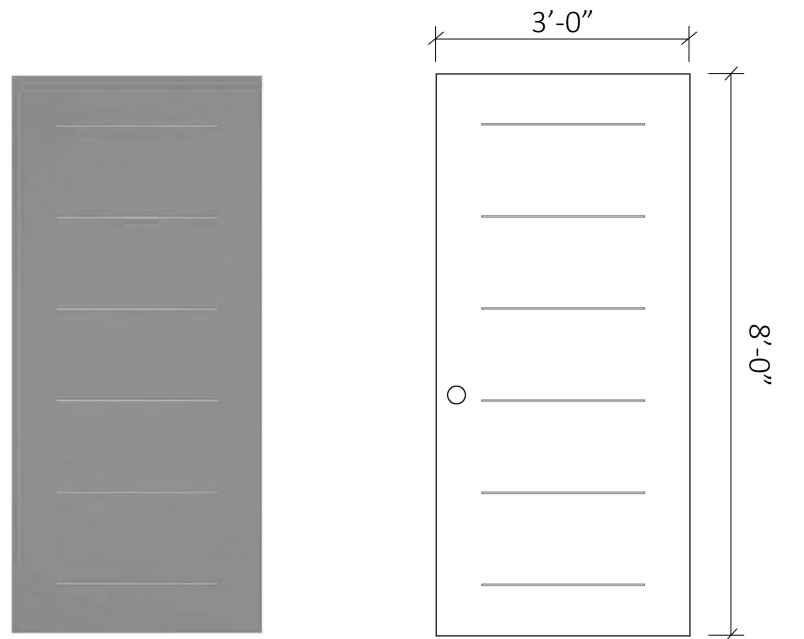
70 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

RAIL CORRIDOR ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024



2.1



EXTERIOR DOOR

MANUFACTURER: TRUETECH DOORS
COLOR: CHARCOAL
SPECIFICATION: EUROLINE 6 - INSULATED EXTERIOR METAL



APPROVED (11/1/2023)

3) PENTHOUSE WINDOWS AND DOORS:
 INTERIOR UNIT DESIGN DEVELOPMENT WILL REQUIRE SOME DOOR AND WINDOW ADJUSTMENTS TO ACCOMMODATE THE NEW LAYOUT.

6) ROOFTOP SOLAR:
 SOLAR PANELS PROPOSED ON THE PENTHOUSE ROOF ARE NOT VISIBLE AS DEPICTED IN THE RENDERINGS. THEY WILL BE MOUNTED AT A LOW 10 DEGREE ANGLE

7) PENTHOUSE MECHANICALS:
 MECHANICAL EQUIPMENT IS PROPOSED ON THE PENTHOUSE LEVEL BEHIND THE PARAPET WALL - WITH SCREENING FENCE.

8) GARAGE LOUVERS:
 GARAGE LOUVERS ARE EXEMPT AS THEY ARE PAINTED TO MATCH THE BRICK AND DO NOT EXTEND MORE THAN SIX INCHES.
10.633.20 EXEMPTIONS FROM CERTIFICATE OF APPROVAL: (8):
 PLACEMENT OR REPLACEMENT OF WALL-MOUNTED MECHANICAL OR ELECTRICAL EQUIPMENT AND VENTILATION TERMINATORS WHERE THE EQUIPMENT (1) IS PAINTED A SIMILAR COLOR TO MATCH OR BLEND WITH THE WALL COLOR, (2) DOES NOT EXTEND MORE THAN SIX INCHES OUT FROM THE WALL PLANE, AND (3) DOES NOT VENT DIRECTLY INTO A PUBLIC WAY; AND WHERE (4) ALL DUCT WORK OR EQUIPMENT FEEDS ENTER THE BUILDING'S INTERIOR AT GROUND LEVEL SO AS NOT TO BE VISIBLE.

SEE EXTERIOR DOOR ON SHEET 2.2

4) GARAGE PASSAGE DOOR REMOVAL:
 THE SECOND DOOR FROM THE GARAGE IS NO LONGER NEEDED.



PROPOSED

70 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

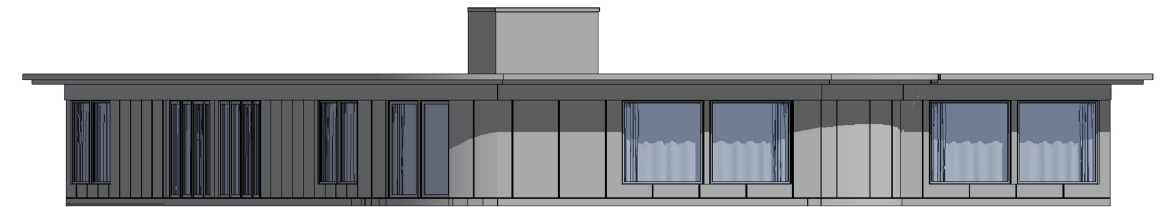
WEST ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024

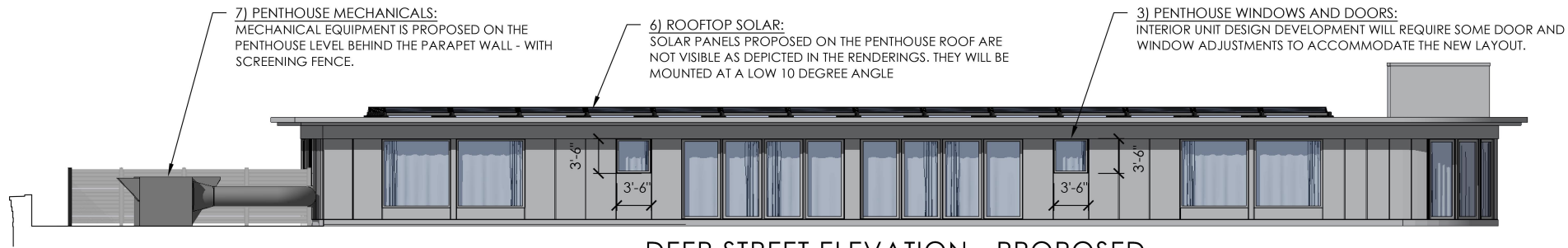




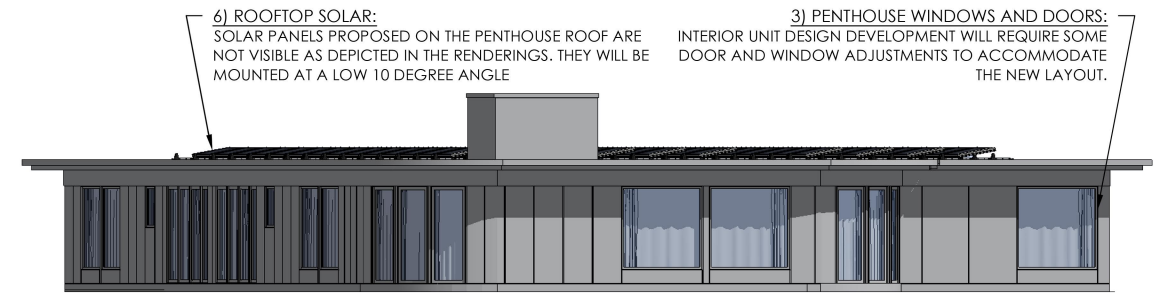
DEER STREET ELEVATION - APPROVED (11/1/2023)



MAPLEWOOD AVENUE ELEVATION - APPROVED (11/1/2023)



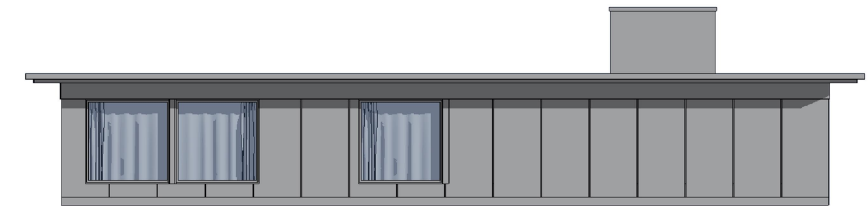
DEER STREET ELEVATION - PROPOSED



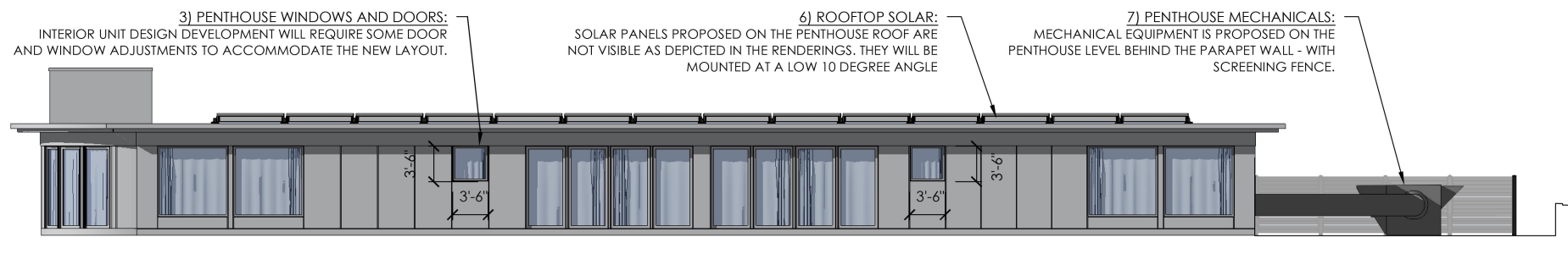
MAPLEWOOD AVENUE ELEVATION - PROPOSED



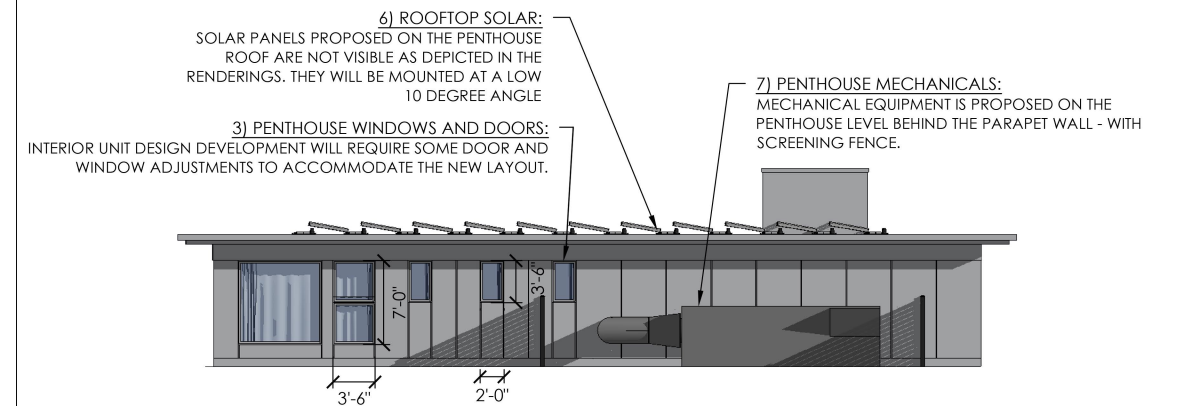
RAIL CORRIDOR ELEVATION - APPROVED (11/1/2023)



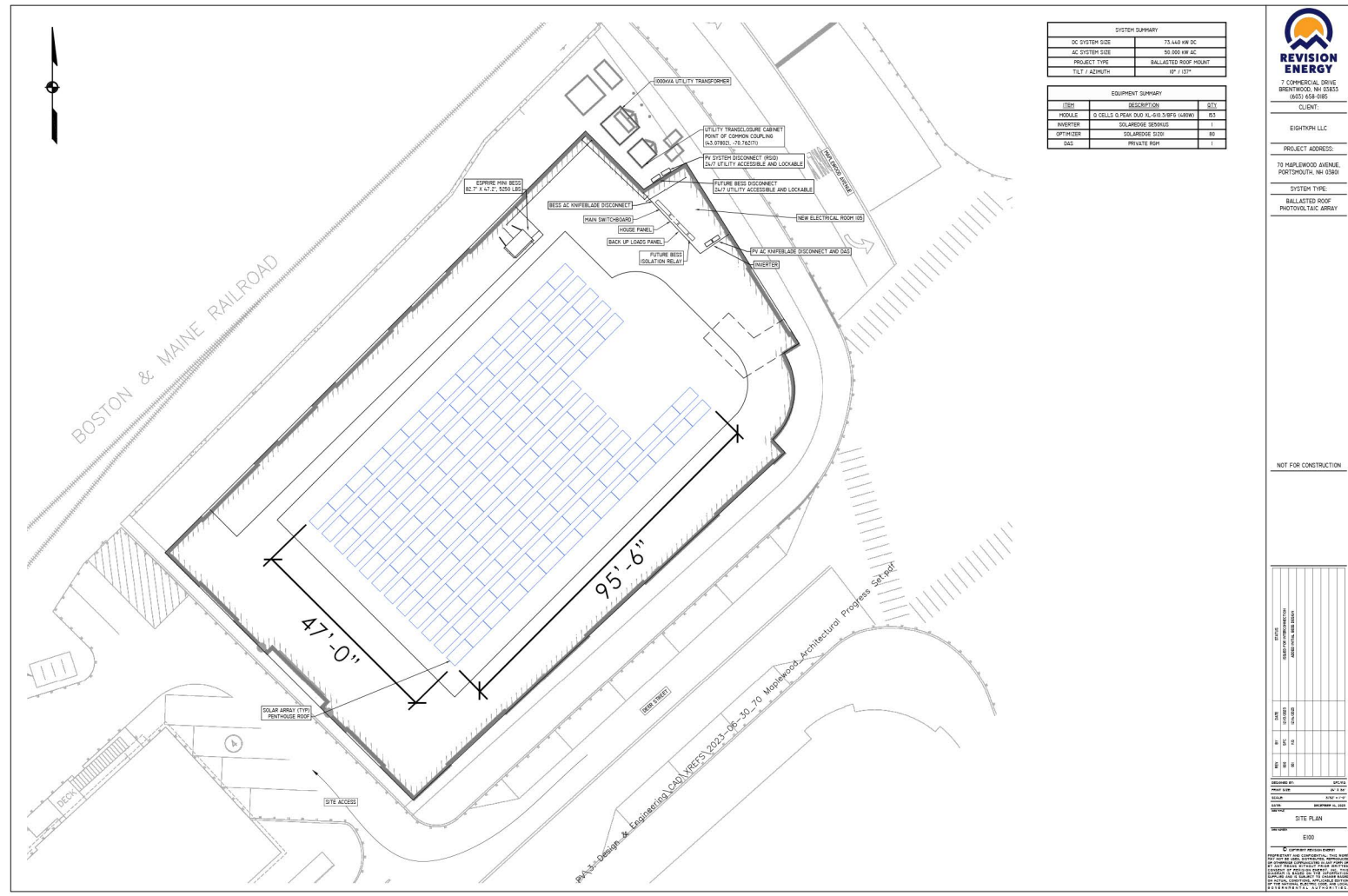
WEST ELEVATION - APPROVED (11/1/2023)



RAIL CORRIDOR ELEVATION - PROPOSED



WEST ELEVATION - PROPOSED



ROOFTOP SOLAR ARRAY PLAN



STANDS FOR ROOFTOP SOLAR ARRAY



VIEW FROM DEER STREET - SOLAR NOT VISIBLE



VIEW FROM MAPLEWOOD AVENUE - SOLAR NOT VISIBLE

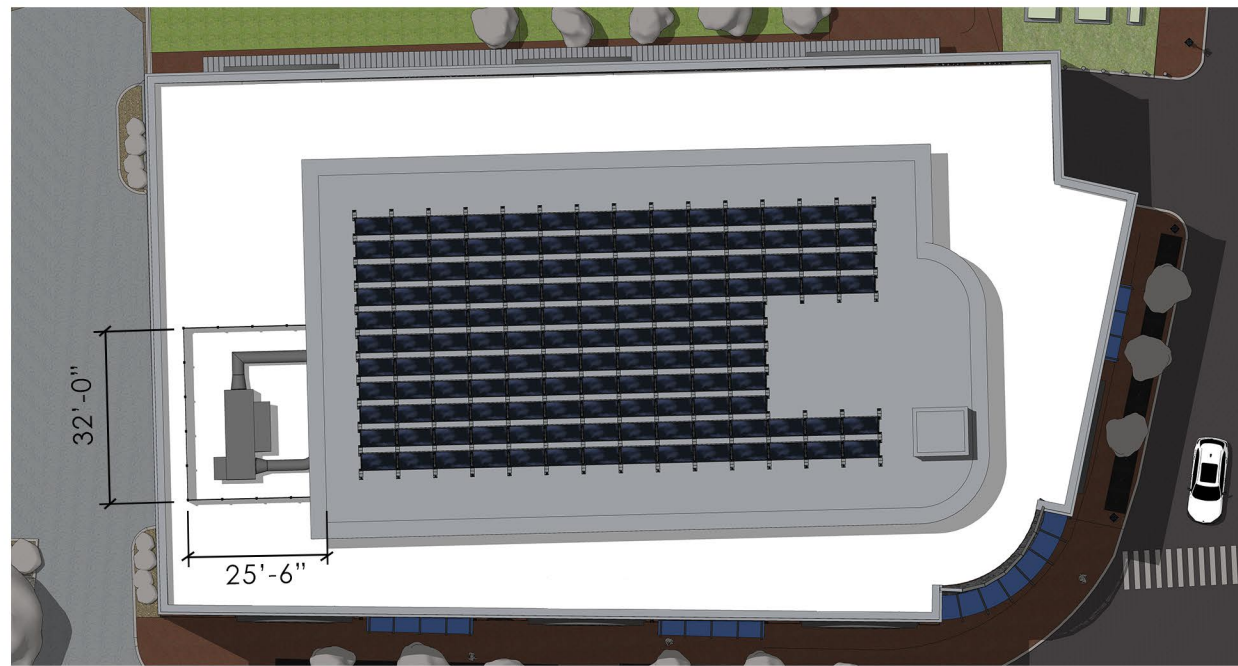
70 MAPLEWOOD (LOT 5)
 PORTSMOUTH, NEW HAMPSHIRE

ROOFTOP SOLAR ARRAY

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024

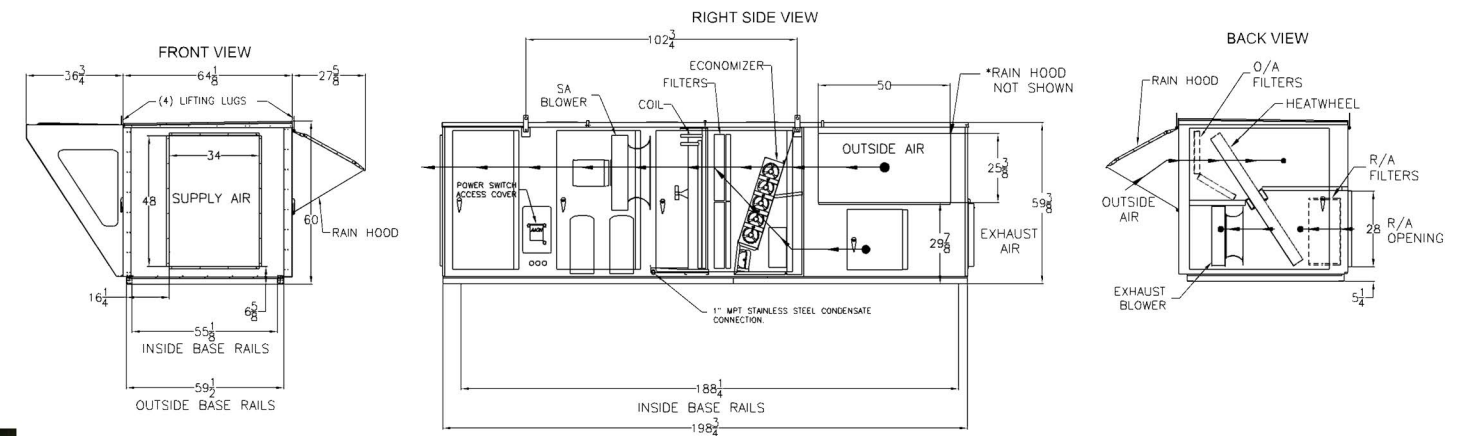
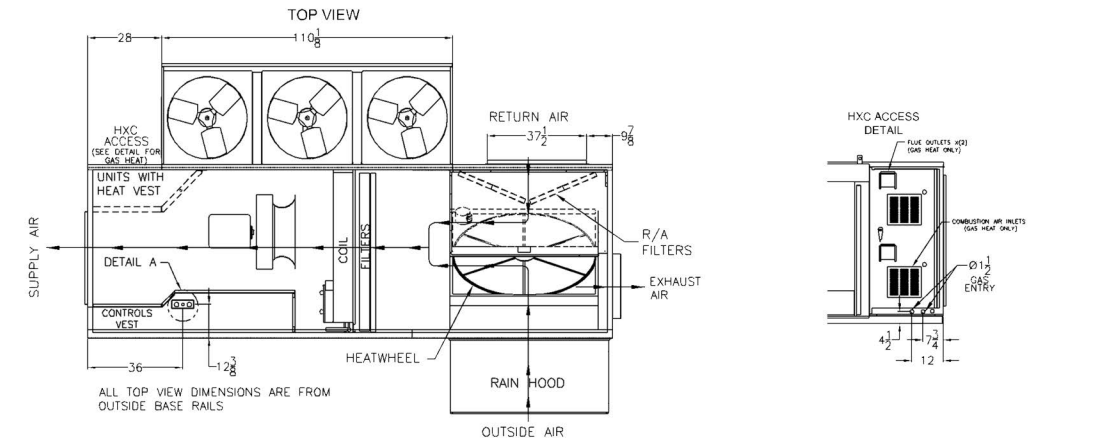


3.0



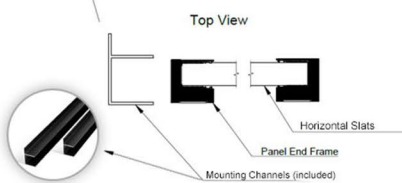
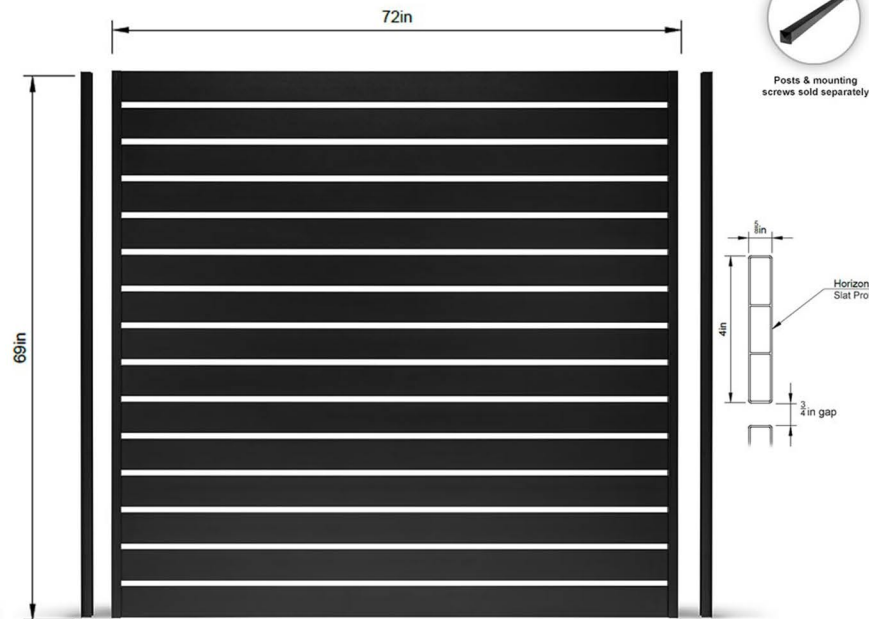
VIEW OF PENTHOUSE MECHANICALS & SCREENING

**RN SERIES
C- CABINET HORIZONTAL
AIR COOLED HEATWHEEL**



PROPOSED PENTHOUSE MECHANICAL EQUIPMENT:
16'-6 3/4"L x 10'-8 1/2"W x 4'-11 3/8"H

SKU 1008 - Preassembled Screen Panel



PROPOSED MECHANICAL SCREENING

70 MAPLEWOOD (LOT 5)
PORTSMOUTH, NEW HAMPSHIRE

PENTHOUSE MECHANICALS & SCREENING

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024



3.1

5. 346 Pleasant Street

-Recommended Approval

Background: The applicant is seeking approval for the replacement of the existing wood fence with a new vinyl fence to be located in the same location and with a similar style.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



Conservation Commission Chair
City of Portsmouth Conservation Commission
1 Junkins Ave
Portsmouth, NH 03801
April 21st, 2024

To the attention of the Chairperson for the Conservation Commission:

We, Wentworth Senior Living at 346 Pleasant St, in an effort to meet the standards and expectations of the residents and families we serve, find it is time to replace the existing fence enclosing our garden area. The fence is a necessity in allowing our residents to maintain independence for longer, as it gives a definite border to a safe space. The fence's edge currently stands at approximately 20ft within the 25ft vegetated buffer along North Mill Pond, which disqualifies the project from seeking a Wetland Conditional Use Permit exemption. Being so, we request a Wetland Conditional Use Permit to perform this project.

The scope of this project is to remove the existing painted cedar fence, installed in 2015, with a longer lasting vinyl material with the same aesthetic and same footprint. Installation is to be conducted with a no-dig, no-aggregate method. The new posts will use the existing post holes with the vinyl to be sleeved over steel posts hand-driven into the ground to increase stability of the posts. This is in replacement of the industry-standard concrete footings in an effort to minimize impact to the ground. There are fifty posts with nominal measurements of 6"x6" set below grade within the 100ft vegetated buffer, for an actual cumulative below-grade impact of 10ft². Lineal footage is approximately 500ft for the entire project for a cumulative project size of approximately 200ft². The majority of fence to be replaced is within the 100ft wetland buffer. We aim not to disrupt any existing plant life for the installation of the new fence, apart from normal annual pruning maintenance.

We seek to use vinyl material for this project, going against the Historic District preferred materials, because of the reduction to impact at the waterline over time. The selected product has a material warranty of thirty years, at which time we will have replaced a wooden fence three more times and painted more than ten times. Vinyl has the added advantage of being a paintless product, removing the issue of paint chips going airborne and ending up in the water. As a lower maintenance product overall, we think the Commission should find the fence being replaced with vinyl is in alignment with the mission to minimize impacts to and protect the Portsmouth wetlands.

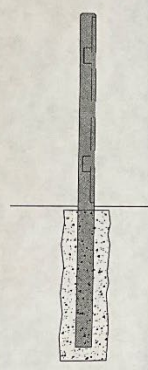
MADISON ABBOTT
Property Manager
Direct: 603-570-7884
mabbott@wentworthseniorliving.org
346 Pleasant St. | Portsmouth | NH 03801
Ph: 603-436-0169 | F: 603-436-2040



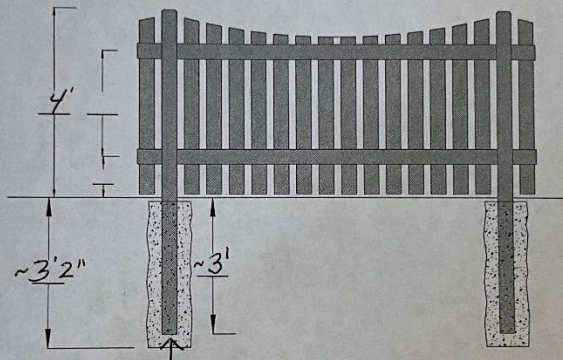
Existing Aerial View, Fencing overlined in red, buffer themes applied



Top View



Side View



Front View

2" steel post



Project:	Wentworth Senior Living	
Site Location:	346 Pleasant st	Date:
	Portsmouth, NH	Drawing # W-03

Cut sheet for new fence panels



Legend® Vinyl Fencing by Master Halco offers vinyl fencing to meet your every need. With a variety of fence styles, colors and accessories, you are free to create a secluded space for entertaining and relaxing, add charm and curb appeal to your home or add a pool-code approved fence for peace-of-mind.

Legend is low-maintenance, so you can forget about ever needing to paint, sand or stain your fence again! Our 100% vinyl PVC combines the most stringent quality standards with the most innovative compounds to produce a product that won't peel, flake, corrode, rot, rust or attract termites.



A Tradition of Fencing Solutions



Legend® Dogear Straight - White



Legend® Privacy - White



Closed Picket 3-Rail - White

Legend® and Impressions® Vinyl Fence by Master Halco Transferable Limited Lifetime Warranty

WHO IS COVERED

The limited lifetime warranty covers single-family residential properties only. This limited warranty extends to the original purchaser and one (1) individual transferee as specified herein.

If the original purchaser is a corporation, partnership, unincorporated association, or a government or public entity, including, but without limitation to, a church or school, any other type of building or property the warranty period will be thirty (30) years following the original date of Product purchase. This warranty applies to systems constructed entirely of components manufactured and/or supplied by Master Halco. The thirty (30) year limited warranty for commercial installations cannot be transferred.

TRANSFEREE COVERAGE

Limited lifetime warranty coverage will be extended to one transferee on the above listed products with the following limitations: Transfer shall only be from residential homeowner (original Product purchaser) to a second homeowner. Transferee must obtain an original or copy of the initial sales receipt (with proof of date) from the previous owner(s). Additionally, if fence is purchased from a builder or installer, documentation must be supplied that names the product installed on property and date of transfer. Notwithstanding such transfer, the warranty is **valid thirty (30) years from the date of the original purchase**.

If the original purchaser is a corporation, partnership, unincorporated association, or a government or public entity, including, but without limitation to, a church, school or any other type of building or property, the thirty (30) year limited warranty cannot be transferred.

WHAT IS COVERED BY THIS LIMITED WARRANTY

Master Halco warrants Legend® and Impressions® Vinyl Fence products ("Product") will be free from defects in material and workmanship for the warranty period. This limited warranty is valid beginning on the date of Product purchase.

Master Halco warrants the Product against peeling, flaking, rotting, chipping, cracking, blistering, or abnormal discoloration/fading* under normal atmosphere and weather conditions for as long as you own your home or, if transferred, from **thirty (30) years from the date of the original purchase**. Separate and distinct warranties for hardware and other products are not covered under this warranty.

*After prolonged exposure to outdoor environments, all products will experience some gradual fading over time and is considered normal (up to a standard variation determined by Delta E color measurement, not to exceed Delta 5). Degrees of fading vary depending on geographical location, air pollution, exposure and other factors. Normal deterioration of color is not covered under this warranty.

WHAT THIS WARRANTY DOES NOT COVER

This limited warranty will not cover a change in color due to a buildup of accumulation of stains, dirt, mold, mildew or any other deficiency caused by lack of any maintenance by the owner. This limited warranty does not cover damage resulting from: misuse, abuse, improper storage or handling, improper installation, other vinyl products and accessories not manufactured by Master Halco, or manufactured for specific use in vinyl fence applications; damage caused by events beyond human control including but not limited to damage caused by animals or natural events; impact of foreign objects, fire, earthquake, flood, lightning, hail, hurricane, tornado or other casualty or act of God; movements, distortion, collapse or settling of ground or structure on which the fence is installed; distortion or melting due to external heat sources; fence that has been painted, varnished, or coated over manufacturer's finish. This limited warranty does not cover costs of removal or disposal of product, or reinstallation of replacement product.

PROTECTING YOUR RIGHTS

To protect your rights under this warranty, please return the attached registration form** to Master Halco, with the certification of your dealer, completed within 30 days of purchase. Warranty coverage is not conditional upon the return of the warranty registration form, provided you can furnish proof that the Legend® and/or Impressions® Vinyl Fence System was supplied by Master Halco and meets all of the requirements. A properly filled out warranty registration form, completed by you and your dealer, is your best proof of coverage under this limited warranty.

GENERAL CONDITIONS AND EXCLUSIONS

THE AMOUNT OF YOUR RESTITUTION WILL NOT INCLUDE LABOR TO INSTALL THE REPLACEMENT COMPONENTS, DELIVERY CHARGES, SALES TAX OR ANY OTHER CHARGES, NOR IS MASTER HALCO REQUIRED TO PROVIDE SUCH LABOR OR SERVICE.

THIS LIMITED WARRANTY IS IN LIEU OF ALL OTHER EXPRESS WARRANTIES. MASTER HALCO MAKES NO OTHER EXPRESS WARRANTIES, AND DOES NOT AUTHORIZE ANY OTHER PERSON OR AGENT TO MAKE ANY OTHER EXPRESS WARRANTIES. MASTER HALCO NEITHER ASSUMES NOR AUTHORIZES ANY OTHER LIABILITY OR OBLIGATION IN CONNECTION WITH THIS PRODUCT. EXCEPT TO THE EXTENT PROHIBITED BY APPLICABLE LAW, ANY IMPLIED WARRANTY, INCLUDING WITHOUT LIMITATION, THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO THIS PRODUCT, IS LIMITED IN DURATION TO THE TERM OF THIS LIMITED WARRANTY. IN NO EVENT SHALL MASTER HALCO BE LIABLE FOR ANY CONSEQUENTIAL, SPECIAL, OR INCIDENTAL DAMAGES ARISING OUT OF OR CONNECTED WITH THE PURCHASE OR USE OF THIS PRODUCT OR FOR ANY BREACH OF WARRANTY.

SOME STATES DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS, OR THE EXCLUSION OR LIMITATION OF INCIDENTAL OR CONSEQUENTIAL DAMAGES, SO THE ABOVE LIMITATIONS OR EXCLUSION MAY NOT APPLY TO YOU. THIS WARRANTY GIVES YOU SPECIFIC LEGAL RIGHTS, AND YOU MAY HAVE OTHER RIGHTS THAT VARY FROM STATE TO STATE. THIS WARRANTY IS APPLICABLE ONLY TO SYSTEMS INSTALLED WITHIN THE CONTINENTAL UNITED STATES AND CANADA.

MASTER HALCO RESERVES THE RIGHT TO DISCONTINUE OR MODIFY ANY OF ITS PRODUCTS, INCLUDING THE COLOR OF ITS PRODUCTS WITHOUT NOTICE TO THE PURCHASER. MASTER HALCO DOES NOT WARRANT THAT ANY REPLACEMENT MATERIAL WILL MATCH OR BE IDENTICAL TO THE ORIGINAL PRODUCT AS REPLACEMENT PRODUCTS MAY VARY IN COLOR OR GLOSS IN COMPARISON TO THE ORIGINAL PRODUCT AS A RESULT OF NORMAL WEATHERING.

THIS WARRANTY IS EFFECTIVE FOR PRODUCTS PURCHASED AFTER JANUARY 1, 2017.

50 YEARS OF EXCELLENCE

Master Halco is North America's largest manufacturer and distributor of fencing materials. For more than 50 years, Master Halco has been the provider of choice for thousands of professional fence contractors and quality building material retailers. At Master Halco we provide a variety of high quality fence solutions: from chain-link to wood fencing; ornamental iron to vinyl; swimming pool fence to dog kennels; you can trust all your fencing needs to Master Halco.

**Registration form is available from your dealer and/or contractor.

Copyright © 2017 Master Halco, Inc. All rights reserved.

50 YEARS OF EXCELLENCE

Master Halco is North America's largest manufacturer and distributor of fencing materials. For more than 50 years, Master Halco has been the provider of choice for thousands of professional fence contractors and quality building material retailers. At Master Halco we provide a variety of high quality fence solutions: from chain-link to wood fencing; ornamental iron to vinyl; swimming pool fence to dog kennels. You can trust all your fencing needs to Master Halco.

Legend® Transferable Limited Lifetime Warranty Registration Card

Thank You for your purchase of your Legend product. Please take a moment to register your product to ensure your receipt of all the Legend warranty benefits.

Return this form to:

Master Halco Inc
3010 LBJ Freeway, Suite 800
Dallas, TX 75234

REQUIRED INFORMATION: (PLEASE PRINT)

Name: _____

Address: _____

Email: _____

City: _____

State: _____

Phone: _____

Zip Code: _____

Date Purchased: _____

Date Installed: _____

Legend Product Purchased: _____

Installer's Company Name: _____



Master Halco Inc
3010 LBJ Freeway
Suite 800
Dallas, TX 75234



Warranty and care information for proposed new fencing

Place
Stamp
Here

Legend® Vinyl Fence by Master Halco Care & Maintenance Instructions

• **How Do I Clean My Vinyl Fence?**

- On occasion you may want to spray your fence with a garden hose. This will remove grass clippings, dirt and fertilizer chemicals and keep it looking as new as possible.
- To remove minor stains use soap and water.
- For removal of major stains use a plastic safe degreaser or a 10:1 water / bleach mixture.

• **How Will My Vinyl Fence Perform in Hot and Cold Weather Conditions?**

- Vinyl becomes less flexible in cold weather. However, unless subjected to unusual or extreme impact, it will not break. It is normal for materials to expand and contract with changes in temperature. Flexibility is common and a benefit of vinyl fence, which allows it to maintain its strength and shape. Your fence is engineered to withstand normal changes in temperature and changing climates.

• **Will My Colored Vinyl Fence Fade?**

- Yes, all building products when exposed to sunlight gradually weather over time depending on your climate; this is called normal weathering.

• **Will My White Vinyl Fence Turn Yellow?**

- Any white product will gradually dull or fade over time, but this should not be noticeable to you.

• **Will My Vinyl Fence Chalk?**

- Light chalking is a normal occurrence of all vinyl products. Washed away by rainfall and normal changes in weather, this process helps to keep your fence looking like new.

• **Can I Paint My Fence?**

- There is no reason to paint your fence. Your fence comes in a variety of color choices to satisfy any yard décor. If you decide to paint your fence, you will void the warranty.

• **Does My Warranty Cover Gate Adjustments?**

- Unfortunately, no. Gate adjustments and leveling are normal care and maintenance items that the home owner is responsible for.

To Maximize The Life Of Your Fence, Address These Areas:

- Adjust the gate every Spring – (As a reminder, gate adjustments and leveling are normal care and maintenance items that the homeowner is responsible for)
- Oil the gate hinges, and tighten the screws once a year.
- Do not let the gate swing in the wind. Keep it secured.
- Deter children from swinging on the gate.
- Re-tamp and realign the loose posts.
- Do not stack or mount any objects or material near your fence.



Master Halco Inc
3010 LBJ Freeway
Suite 800
Dallas, TX 75234
(972) 714-7300
(800) 883-8384 Toll Free
www.masterhalco.com



A Tradition of Fencing Solutions



A Tradition of Fencing Solutions

Care & Maintenance Instructions
Warranty Coverage



Sample install of proposed new fencing from actual installation by vendor



Existing fence : 11 images















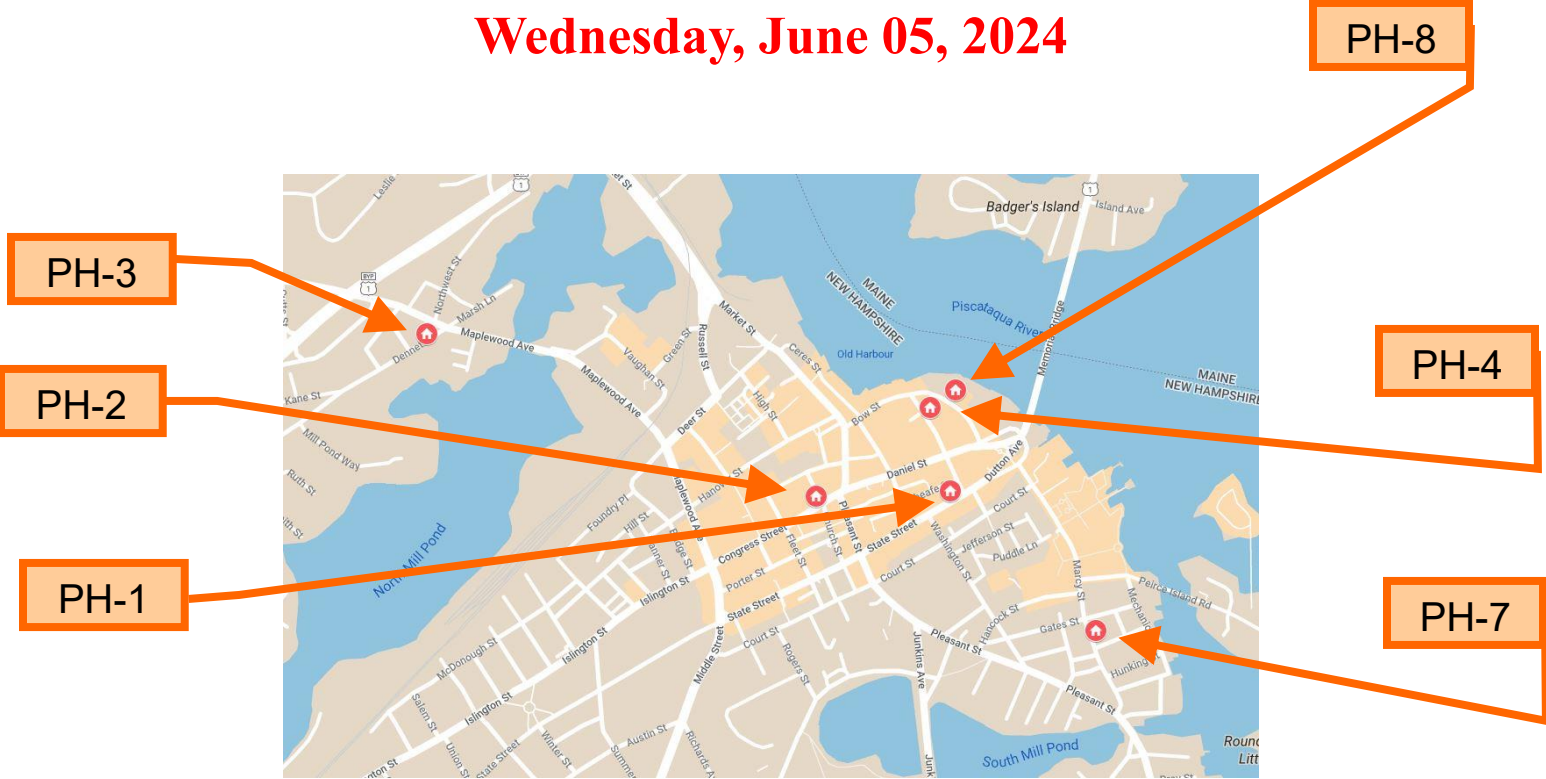






Historic District Commission Staff Report

Wednesday, June 05, 2024



Project Address: 111 STATE STREET
Permit Requested: CERTIFICATE OF APPROVAL
Application: PUBLIC HEARING 1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD 4
- Land Use: Mixed-Use
- Land Area: 2,875 SF +/-
- Estimated Age of Structure: c.1825
- Building Style: Federal
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: State Street and Sheafe Street
- Unique Features: N/A
- Neighborhood Association: Downtown

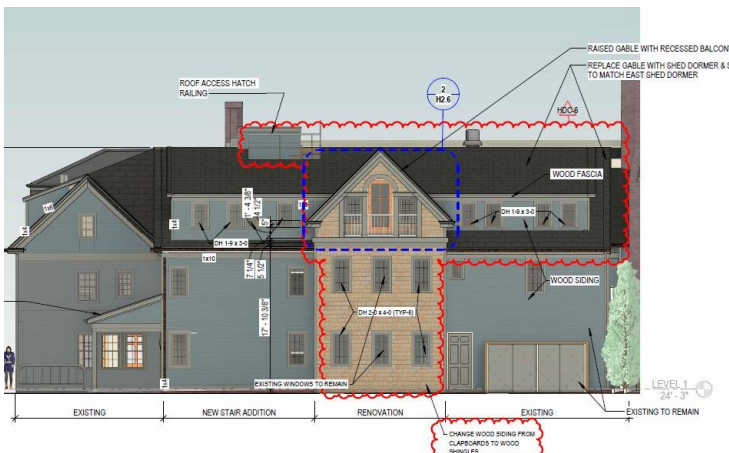


B. Proposed Work: Reconfigure rear gable ends to include a recessed porch and dormer, add new windows, change rear center gable siding, modifications to the front entrance doors.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Reconstruction of the Sheafe Street facing façade.
- Reconfigure rear gable ends and add a new dormer.
- New windows, siding, and entrance modifications.
- This project has been before the Commission for several Public Hearings and Administrative Approvals for various changes and modifications.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

111 STATE STREET ADDITION & RENOVATION



COVENTRY REALTY, LLC

**HDC- Revision 6
PUBLIC HEARING
JUNE 2024**

REVISIONS TO PREVIOUSLY APPROVED APPLICATION

1. RAISE CENTER REAR GABLE, ADD RECESSED PORCH
2. CHANGE REAR WEST GABLE TO SHED DORMER.
3. EXTEND FLAT ROOF BEHIND GABLES
4. ADD FOUR WINDOWS TO EXISTING REAR CENTER GABLE
5. CHANGE WOOD SIDING ON EXISTING CENTER REAR GABLE FROM CLAPBOARDS TO SHINGLES
6. ADD ROOF HATCH AND GUARDRAIL TO SHEAFE ST ROOF
7. FRONT ENTRY DOOR CHANGED FROM DOUBLE TO SINGLE WITH SIDELITES
8. CHANGE STOREFRONTS FROM 'NANA' FOLDING WINDOWS TO 'KOLBE' SLIDING WINDOWS.

DRAWING LIST

- H0.1 COVER
- H0.2 EXISTING CONDITION
- H0.3 3D AXONOMETRIC NORTHEAST
- H1.3 ROOF PLAN
- H2.1 STATE STREET ELEVATION
- H2.4 SHEAFE STREET ELEVATION
- H2.5 CHAPEL STREET ELEVATION
- H2.6 GABLE DETAIL
- H3.0 VIGNETTE - SHEAFE ST EAST
- H3.1 VIGNETTE - SHEAFE ST MIDDLE
- H3.2 VIGNETTE SHEAFE ST WEST
- H4.1 MATERIALS

HDC-6

H0.1

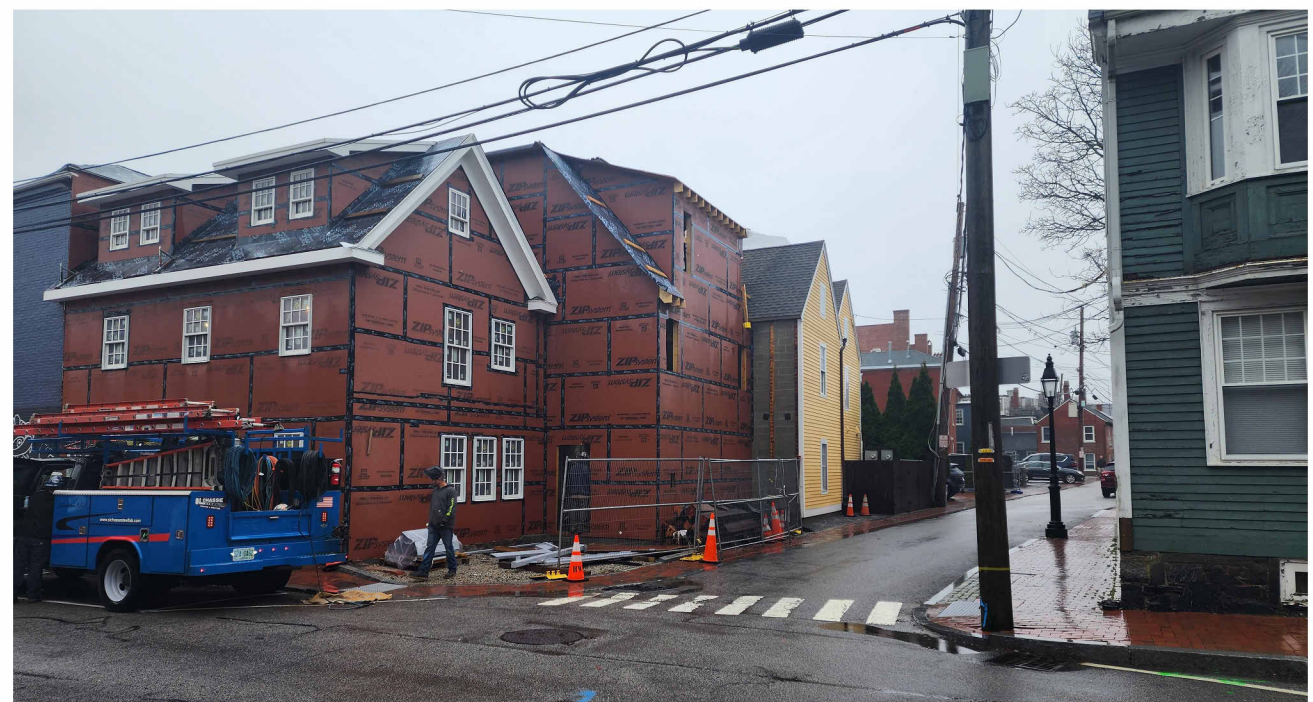
COVER

121 STATE STREET

SCALE:
05/28/2024



COPYRIGHT © 2022



H0.2 **EXISTING CONDITIONS**
111 STATE STREET
SCALE:
05/17/2024



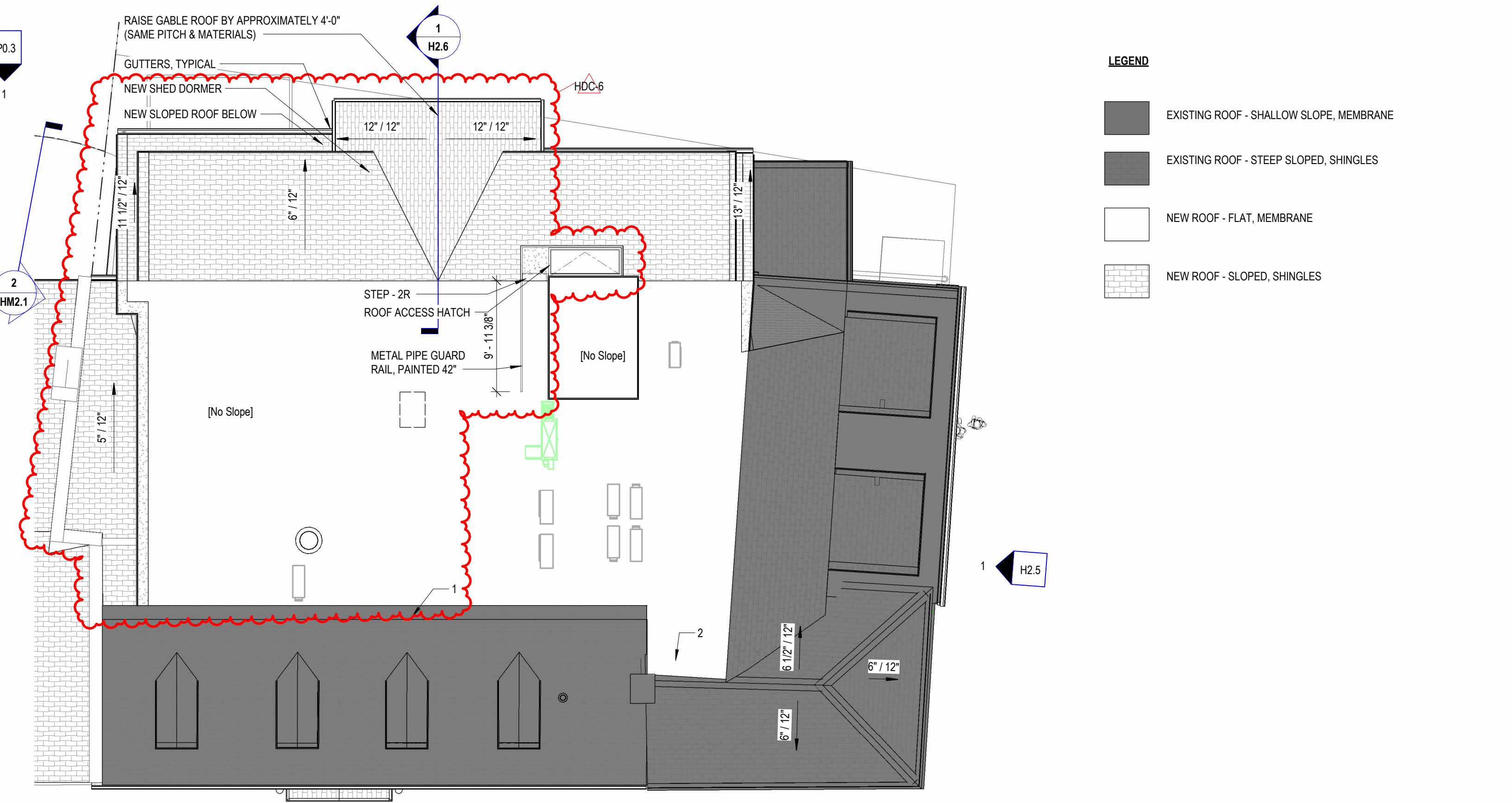
2 AXONOMETRIC, NE PREVIOUSLY APPROVED
1/4" = 1'-0"



1 AXONOMETRIC, NE PROPOSED

H0.3 3D AXONOMETRIC NORTHEAST
111 STATE STREET

SCALE: 1/4" = 1'-0"
05/17/2024



LEGEND

- EXISTING ROOF - SHALLOW SLOPE, MEMBRANE
- EXISTING ROOF - STEEP SLOPED, SHINGLES
- NEW ROOF - FLAT, MEMBRANE
- NEW ROOF - SLOPED, SHINGLES

**H1.3 ROOF PLAN
111 STATE STREET**

SCALE: 1/8" = 1'-0"
05/17/2024





NOTE: ALL EXISTING TO REMAIN, UNLESS OTHERWISE NOTED



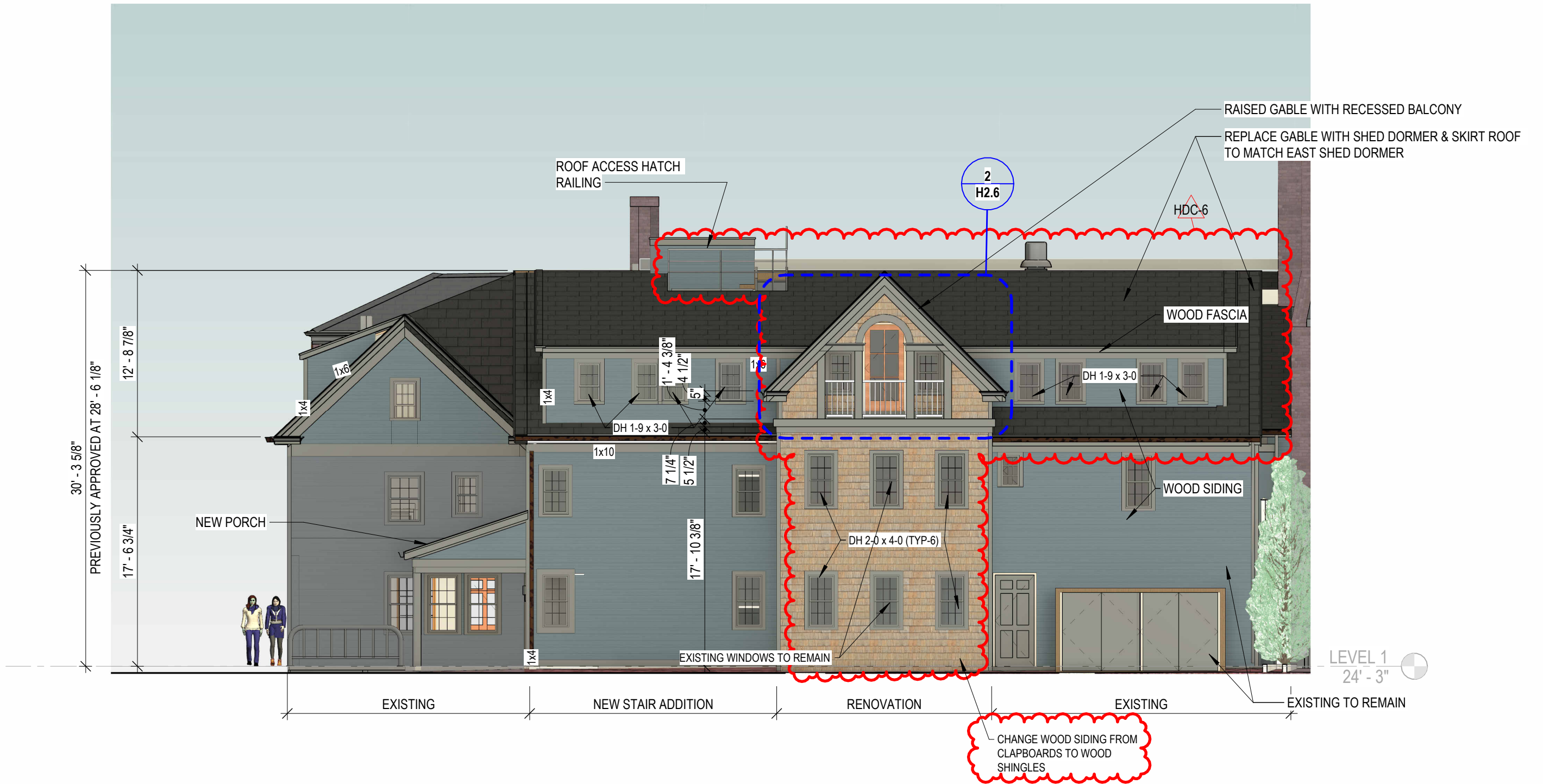
EXISTING

**H2.1 STATE STREET ELEVATION
121 STATE STREET**

SCALE: 1/8" = 1'-0"
05/28/2024



COPYRIGHT © 2022



**H2.4 SHEAFE STREET ELEVATION
111 STATE STREET**

SCALE: 1/8" = 1'-0"
05/17/2024



**H2.5 CHAPEL STREET ELEVATION
111 STATE STREET**

SCALE: 1/8" = 1'-0"
05/17/2024



H3.0 **VIGNETTE - SHEAFE ST EAST**
111 STATE STREET

SCALE:
05/17/2024



H3.1

VIGNETTE - SHEAFE ST MIDDLE
111 STATE STREET

SCALE:
05/17/2024



H3.2 VIGNETTE - SHEAFE ST WEST
111 STATE STREET

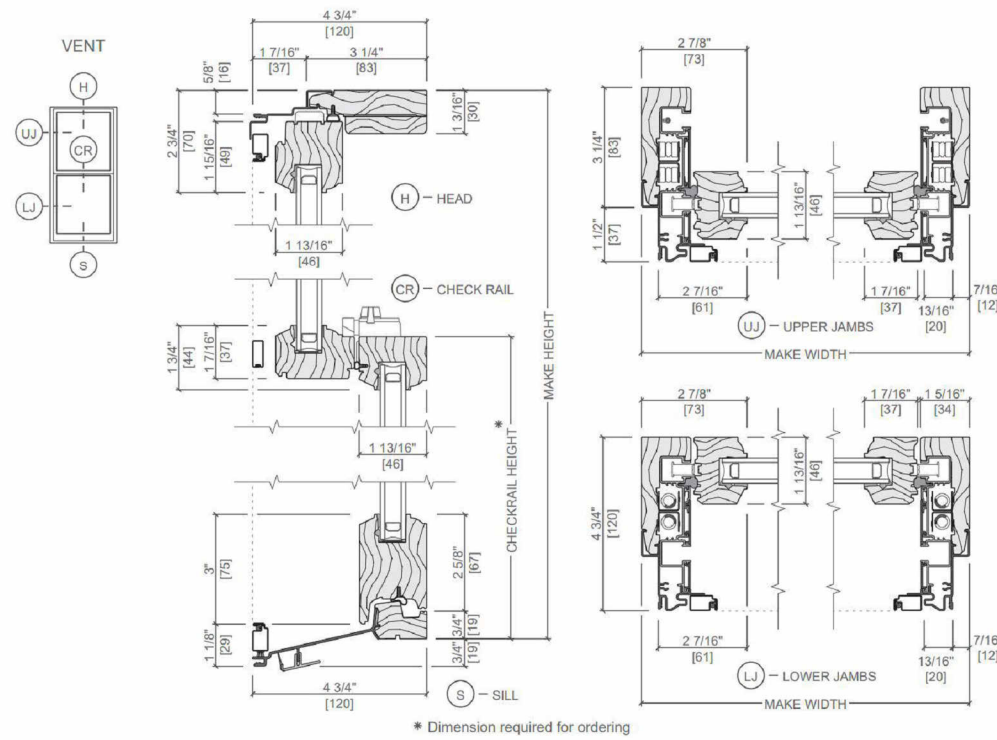
SCALE:
05/17/2024



WOOD DOUBLE HUNG WINDOWS - PELLA

Architect Series® Traditional Precision-Fit Hung Window

Unit Section - Wood Exterior Sash Putty Exterior Glazing Profile

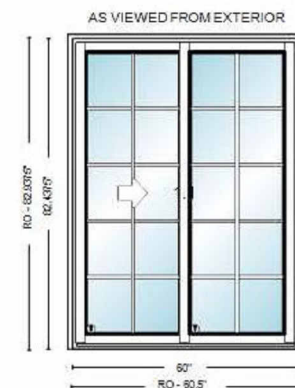


AS PREVIOUSLY APPROVED

KOLBE - SLIDING WOOD WINDOWS

HERITAGE SERIES Window and Door Details

Line Number	002-1	Left Slab - Slab Height	79 21/32"
Label	None Assigned	Right Slab - Slab Width	30 1/4"
Product Name	Heritage Rectangle Sliding Door (GAW5068)	Right Slab - Slab Height	79 21/32"
Configured in PK Version	784	Glass Width	25 9/32"
		Glass Height	75"

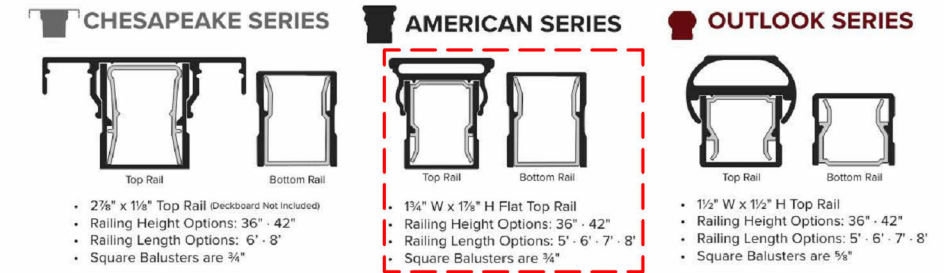


Scaled To Fit

*** Casing-Jamb-Trim ***	
Exterior Casing/Accessories	Standard Brickmould
Back Bevel	No
Extended Horns	No
Apply Exterior Casing/Accessories	Yes
Back Priming of Casing	No
Back Priming of Frame	No
Jamb Depth	5"
Jamb Exact	No
Modern Trim Extension Jamb	No
Installation Clips	None
Kolbe Installation Consulting	No

H4.1 MATERIALS
121 STATE STREET
 SCALE:
 05/28/2024

METAL RAILING: KEY-LINK



INFILL OPTIONS



KEY-LINK'S STANDARD COLOR OPTIONS



KEY-LINK'S SPECIAL ORDER COLOR OPTIONS*

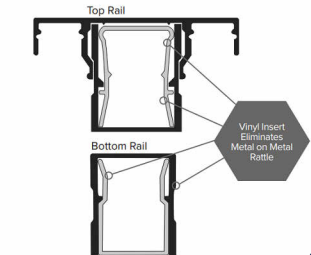


KEY-LINK'S COASTAL UPGRADE COLOR OPTIONS*



PRODUCT DETAILS

- Level and stair rail lengths come in 6' or 8' sections
- Available in 36" or 42" heights
- Meets IRC and IBC (42" only) code requirements
- Boxed sections include top and bottom rails, mounting brackets and hardware, infill and the installation guide



Pictured Above:
 a. White with Horizontal Cable Infill
 b. Textured Black with Square Infill
 c. Textured Bronze Chesapeake with Square Infill



COPYRIGHT © 2022

Project Address: 1 CONGRESS STREET
Permit Requested: CERTIFICATE OF APPROVAL
Application: PUBLIC HEARING 2



A. Property Information - General:

Existing Conditions:

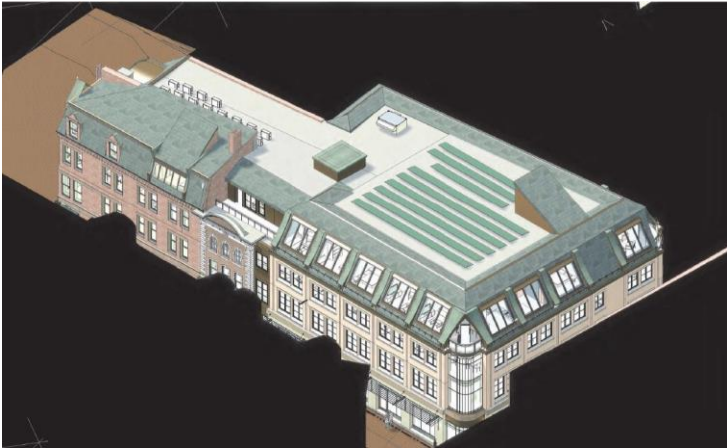
- Zoning District: CD 4
- Land Use: Mixed-Use
- Land Area: 7,185 SF +/-
- Estimated Age of Structure: c.1892
- Building Style: Richardsonian Romanesque
- Number of Stories: 3
- Historical Significance: Focal
- Public View of Proposed Work: Congress and High Streets
- Unique Features: N/A
- Neighborhood Association: Downtown

B. Proposed Work: A second one-year extension of the Certificate of Approval granted on August 02, 2022 for renovations to the Congress and High Street facades and the construction of a 4-story addition to replace the existing rear shed addition.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- This project has received a Certificate of Approval and a one-year extension.



**HISTORIC
SURVEY
RATING
Focal**

D. Purpose and Intent:

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties



City of Portsmouth
Planning Department & Historic District Commission
1 Junkins Avenue
Portsmouth, NH 03801

May 20, 2024, rev.

Re: **1 Congress Street (LU-22-12)**
SECOND REQUEST FOR A ONE-YEAR EXTENSION of HDC Approval

Dear Ms Ruedig & Historic District Commission members:

The Historic District Commission granted approval for renovations and additions to 1 Congress Street on August 3, 2022. This approval initially expired on August 3, 2023. A first one-year extension was granted, expiring on August 3rd, 2024. This request is for a second one-year extension.

The project was initially delayed pending coordination with City for offsite improvements. Construction start is now delayed pending coordination of improvements in coordination with the City and with the owner's recent acquisition of abutting JJ Newberry property at 15 Congress Street.

A second one-year extension of the HDC approval is respectfully requested.

Very truly yours,

A handwritten signature in black ink that reads "Tracy S. Kozak".

Tracy S. Kozak
Arcove Architects, Principal

Cc: Mark McNabb & Marie Bodi; McNabb Properties Ltd.

DRAWING INDEX - REVISED SHEETS

H5.01 COVER
H5.13 ROOF PLAN
H5.14 FIRST FLOOR PLAN

H5.17 ROOF AREAS CALCULATIONS

H5.20 ROOF HEIGHT DETAIL - HAVEN CT
H5.21 ELEVATION - CONGRESS STREET
H5.22 ELEVATION - HIGH STREET
H5.23 ELEVATION - HAVEN COURT
H5.24 ELEVATION - REAR (WEST) ALLEY

H5.31 AXONOMETRIC
H5.33 VINGNETTE - HIGH ST FROM CONGRESS ST
H5.34 VINGNETTE - HIGH ST FROM STARBUCKS
H5.35 VINGNETTE - HAVEN CT FROM LADD ST
H5.36 VINGNETTE - HIGH ST AT LADD ST & HAVEN CT
H5.37 VINGNETTE - HAVEN COURT AT NEWBERRY'S

H5.55 MATERIALS - STOREFRONT & LIGHTING SCONCE

MINOR REVISIONS TO PREVIOUSLY APPROVED APPLICATION

UPDATES ASSOCIATED WITH CHANGE OF BUILDING USE FROM HOTEL & RESTAURANT, TO MIXED-USE: APARTMENTS, OFFICE, & RETAIL:

- A. FILLED IN DRIVE-THROUGH UNDERPASS ON HIGH STREET WITH RETAIL STOREFRONT. CHANGE FOLDING LIFTING STOREFRONTS ON HAVEN COURT TO FIXED STOREFRONTS.
- B. BUILDING HEIGHT INCREASE BY 11 INCHES, TO ALIGN UPPER FLOORS WITH EXISTING ATTACHED BUILDING FOR HANDICAPPED ACCESSIBILITY
- C. RELOCATED ELEVATOR OVER-RUN AND STAIR ACCESS TO ROOF
- D. ADJUST SETBACK ROOF EDGE BEHIND ROOF DECK ON HIGH STREET (STRAIGHTENED AND MOVED FORWARD)
- E. OMIT 3 WINDOWS ON HAVEN COURT AT EGRESS STAIR (FOR TRASH CHUTE BEHIND WALL).
- F. SOLAR ARRAY AND MECHANICAL ROOFTOP EQUIPMENT SHOWN
- G. ADDED WALL SCONCE LIGHT FIXTURES TO PIERS BETWEEN STOREFRONTS
- H. ADJUST LOCATIONS OF DOORS, WINDOWS ON REAR WEST ALLEY FACADE TO COORDINATE WITH REVISED PROGRAM.
- I. REDUCE WIDTH AND ALIGN DOOR AND WINDOWS AT WALL BEHIND REAR RECESSED ROOF DECK (AT SOUTH WALL BEHIND CONGRESS STREET BUILDINGS).
- J. CHANGE TWO SINGLE DOORS AT MAIN ENTRANCE ON HIGH STREET TO ONE SINGLE DOOR



ONE CONGRESS STREET RENOVATION & ADDITION

ONE MARKET SQUARE, LLC

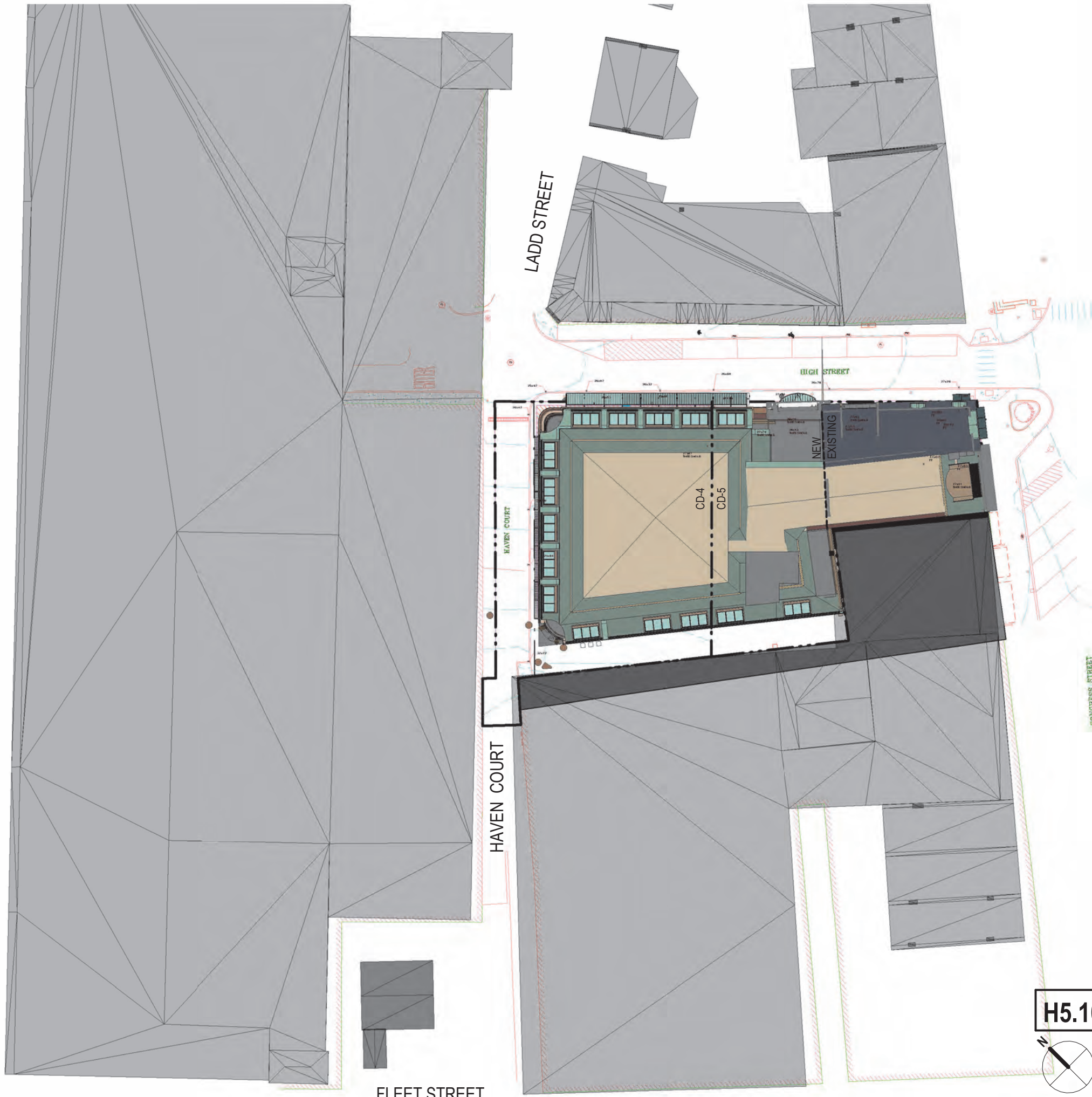


**HISTORIC DISTRICT COMMISSION -
PUBLIC HEARING
November, 2022**

COMPLETE COMPILED SET - MAY 20, 2024

H5.01 COVER
1 CONGRESS STREET
SCALE:
10/14/2022





PLEASANT STREET

LADD STREET

HIGH STREET

CONGRESS STREET

CHURCH STREET

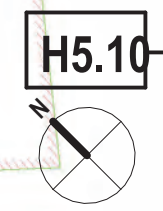
HAVEN COURT

CD-4

CD-5

NEW
EXISTING

FLEET STREET



SITE PLAN
1 CONGRESS STREET

SCALE: 1" = 40'-0"
8/03/2022

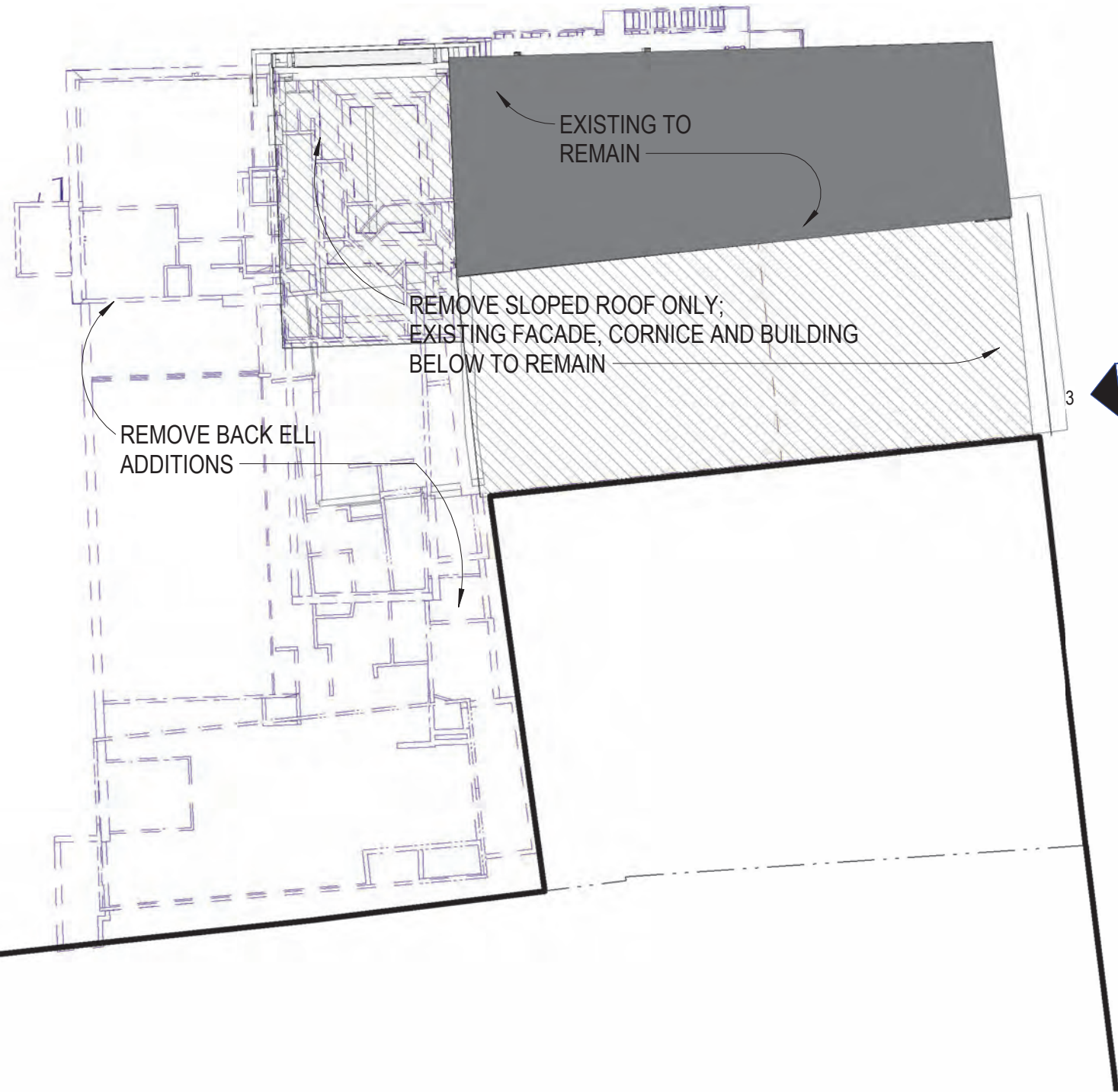
GRAPHIC SCALE: 1" = 40'-0"



H5.12
2

H5.12
1

H5.12
3

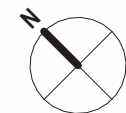


H5.11

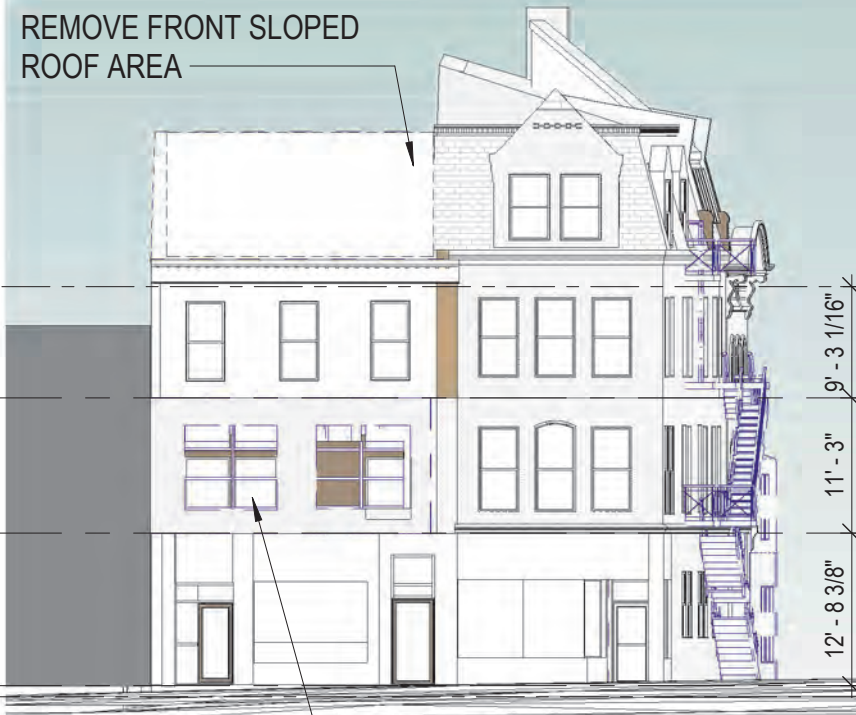
DEMOLITION PLAN 1 CONGRESS STREET

SCALE: 1/16" = 1'-0"
8/03/2022

GRAPHIC SCALE: 1/16" = 1'-0"



COPYRIGHT © 2022



3 PROPOSED ELEVATION - CONGRESS ST
1/16" = 1'-0"

EXISTING ATTIC 61' - 3 3/4"
 EXISTING-Level 3 52' - 0 5/8"
 EXISTING-Level 2 40' - 9 5/8"
 EXISTING-Level 1 28' - 1 1/4"
 AVG GRADE CD5 EXISTING* 27' - 2 1/8"

REMOVE EXISTING REPLACEMENT WINDOWS



1 REAR DEMOLITION ELEVATION - NW - HAVEN COURT
1/16" = 1'-0"

ATTIC 61' - 3 3/4"
 EXISTING-Level 3 52' - 0 5/8"
 EXISTING-Level 2 40' - 9 5/8"
 EXISTING-Level 1 28' - 1 1/4"

REMOVE REAR ADDITIONS



2 SIDE DEMOLITION ELEVATION - NE - HIGH STREET
1/16" = 1'-0"

AVG GRADE CD5 EXISTING* 27' - 2 1/8"

REMOVE REPLACED STOREFRONTS
 REMOVE FIRE ESCAPES
 REMOVE AREA OF REPLACED STOREFRONT
 REMOVE REAR ADDITIONS

H5.12 DEMOLITION ELEVATIONS
1 CONGRESS STREET

SCALE: 1/16" = 1'-0"
8/03/2022



COPYRIGHT © 2022

BUILDING ABOVE

5
H5.41

9' - 6 1/2"

73' - 4"

9' - 7"

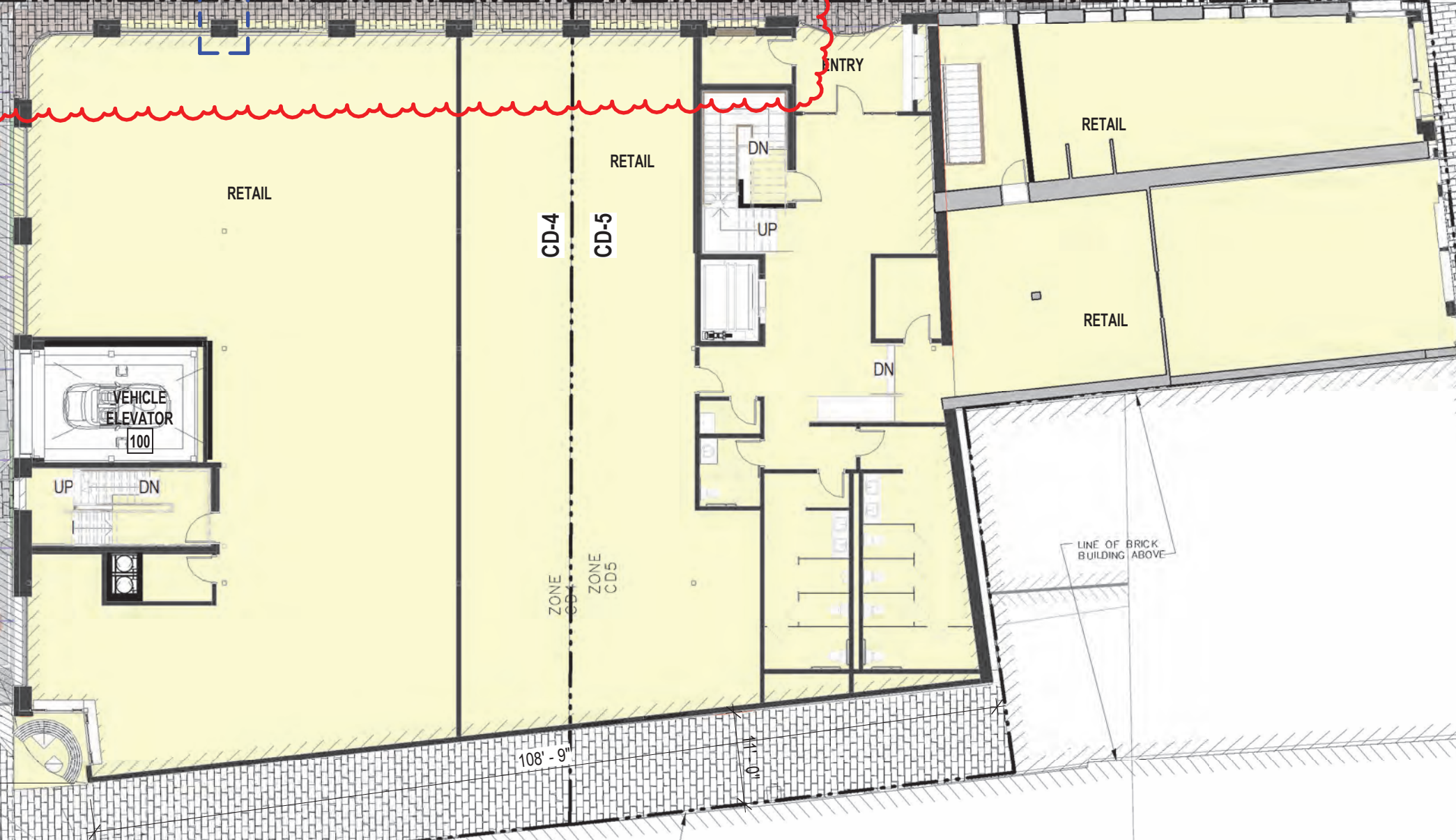
73' - 7 3/8"

8' - 0"

108' - 9"

10' - 11"

42' - 9 1/2"



RETAIL

RETAIL

RETAIL

RETAIL

VEHICLE ELEVATOR
100

UP

DN

DN

UP

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

DN

CD-4

CD-5

ZONE CD-4

ZONE CD-5

ENTRY

LINE OF BRICK BUILDING ABOVE

LINE OF BRICK BUILDING ABOVE

PROPERTY LINE HIGHLIGHTED

PROPERTY LINE HIGHLIGHTED

DEFECTABLE WARNING TYPE

SEALING
ARCH (TBD)
D/S/E/MONUMENTAL PLANTERS
FLOOR FINISHES
MURALS (TBD)
CATENARY LIGHT CABLES (TYP)
AVING

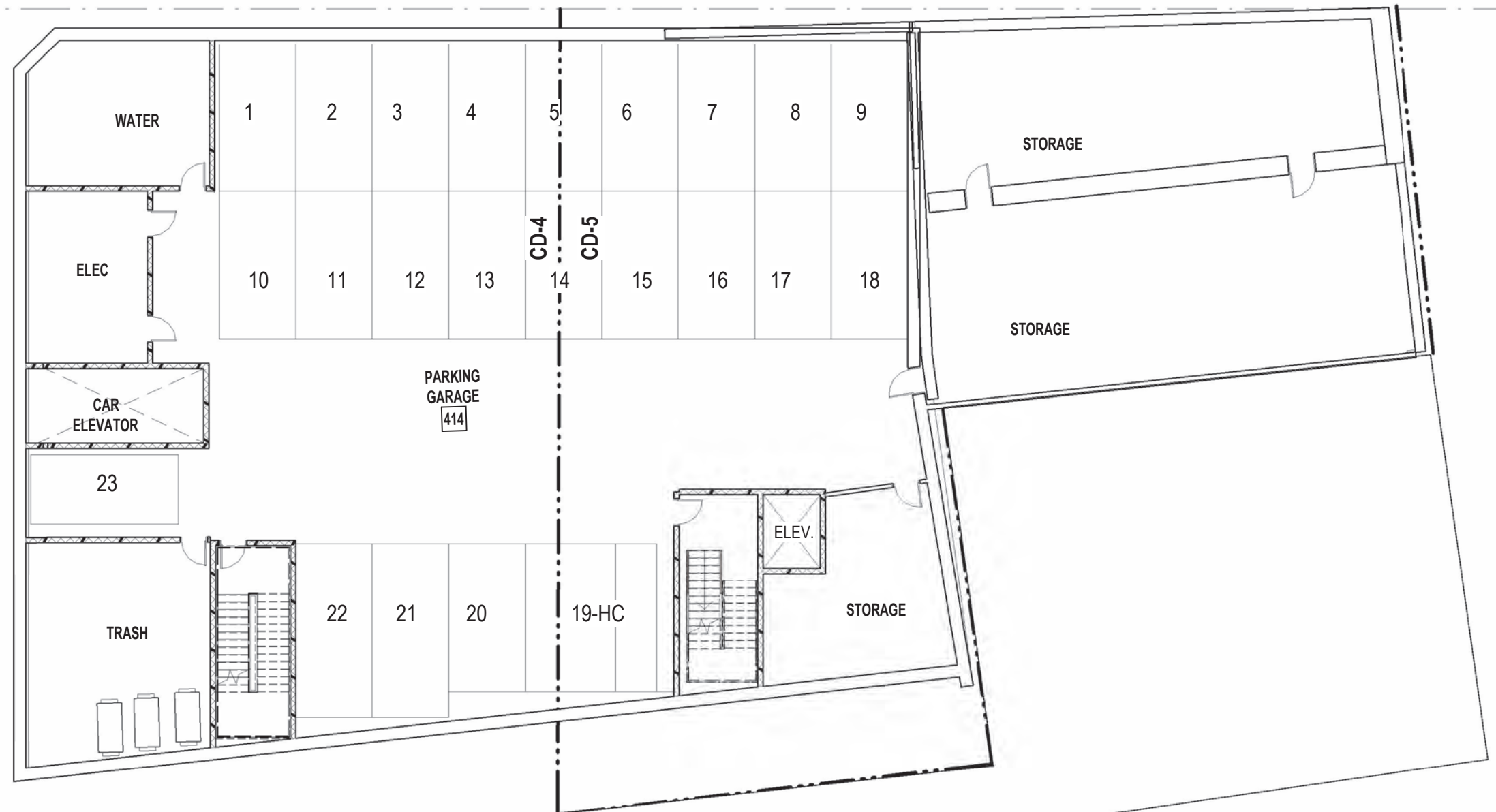


FIRST FLOOR PLAN
1 CONGRESS STREET

SCALE: 1/16" = 1'-0"
10/14/2022

GRAPHIC SCALE: 1/16" = 1'-0"



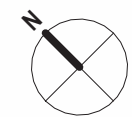


H5.15

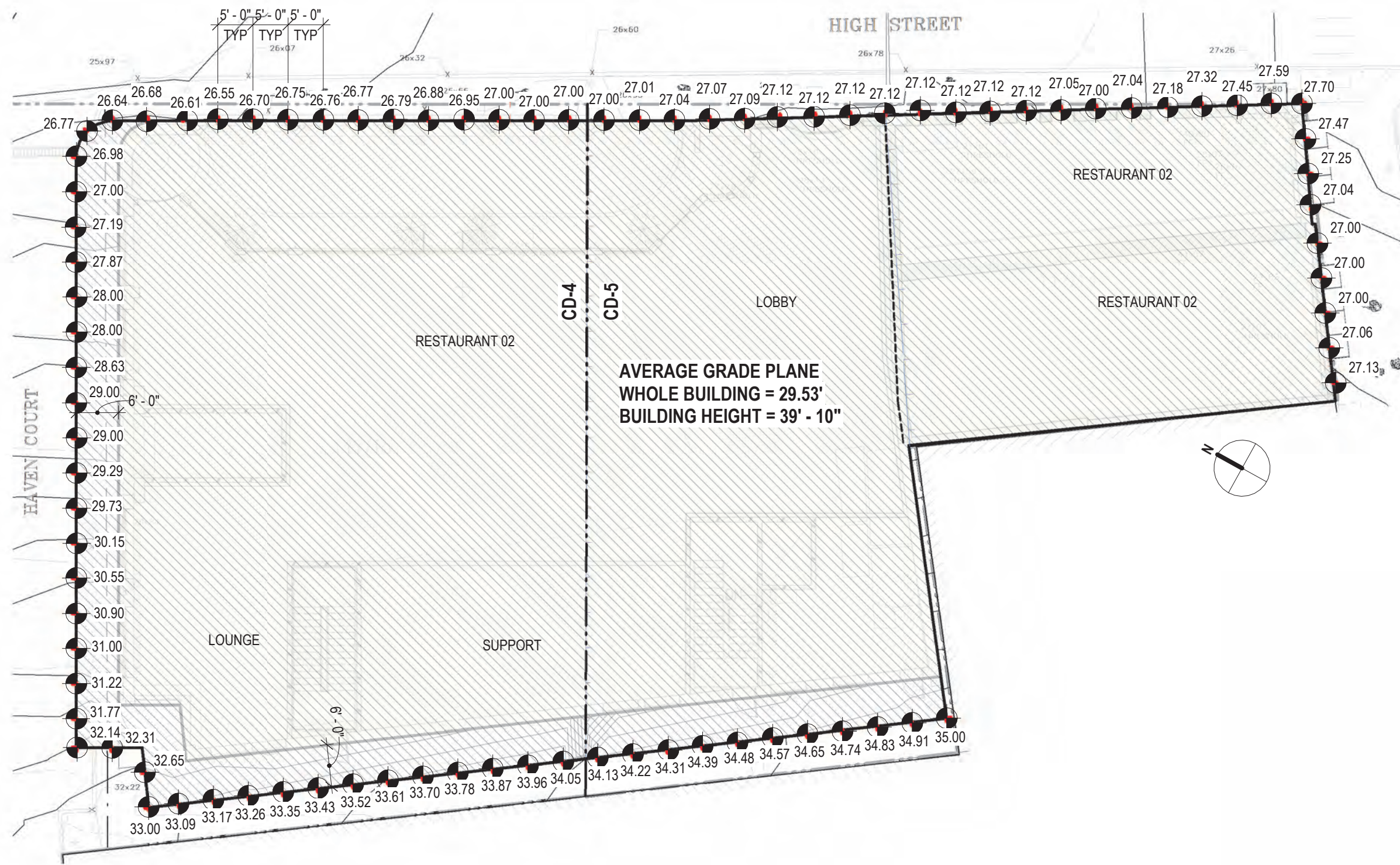
BASEMENT PLAN
1 CONGRESS STREET

SCALE: 1/16" = 1'-0"
8/03/2022

GRAPHIC SCALE: 1/16" = 1'-0"



COPYRIGHT © 2022



Whole Building	Combined CD4 & CD5; existing & new - Average Grade Plane
Congress Street	27.13
	27.06
	27.00
	27.00
	27.04
	27.25
	27.47
	27.70
	27.59
	27.45
High Street	27.45
	27.32
	27.18
	27.04
	27.00
	27.05
	27.12
	27.12
	27.12
	27.12
	27.12
	27.12
	27.09
	27.07
	27.04
	27.01
	27.00
	27.00
	27.00
	26.95
26.88	
26.79	
26.77	
26.76	
26.75	
26.70	
26.61	
26.68	
26.64	
26.77	
26.98	
27.00	
27.19	
27.87	
28.00	
28.00	
28.63	
29.00	
29.00	
29.29	
29.73	
30.15	
30.55	
30.90	
31.00	
31.22	
31.77	
32.14	
32.31	
32.65	
33.00	
33.09	
33.17	
33.26	
33.35	
33.43	
33.52	
33.61	
33.70	
33.78	
33.87	
33.96	
34.05	
34.13	
34.22	
34.31	
34.39	
34.48	
34.57	
34.65	
34.74	
34.83	
34.91	
35.00	
29.53	

AVERAGE GRADE PLANE CALCULATION

Haven Court	26.98
	27.00
	27.19
	27.87
	28.00
	28.63
	29.00
	29.00
	29.29
	29.73
30.15	
Rear-West Alley	30.55
	30.90
	31.00
	31.22
	31.77
	32.14
	32.31
	32.65
	33.00
	33.09
33.17	
33.26	
33.35	
33.43	
33.52	
33.61	
33.70	
33.78	
33.87	
33.96	
34.05	
34.13	
34.22	
34.31	
34.39	
34.48	
34.57	
34.65	
34.74	
34.83	
34.91	
35.00	
Average - CD4 & CD5 combined	29.53

1 AVERAGE GRADE PLANE CALCULATION PLAN
1/16" = 1'-0"

H5.16 AVERAGE GRADE PLANE 1 CONGRESS STREET

SCALE: 1/16" = 1'-0"
8/03/2022



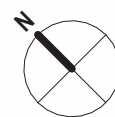
COPYRIGHT © 2022



LEGEND

- STEEP ROOF AREA
- MECHANICAL AREA
- DECK BELOW OR ELEVATOR OVER-RUN

HIP TOP MANSARD ROOF	
1 Congress Street	
10/13/2022	
SLOPED ROOF AREAS	
STEEP ROOF AREA A	4,590
STEEP ROOF AREA B	1,603
Total	6,193
MECHANICAL AREAS	
MECHANICAL AREA A	2,793
MECHANICAL AREA B	2,586
Total	5,379
TOTAL ROOF AREA	11,572
Slope roof % of total	53.52%
Flat roof % of total	46.48%



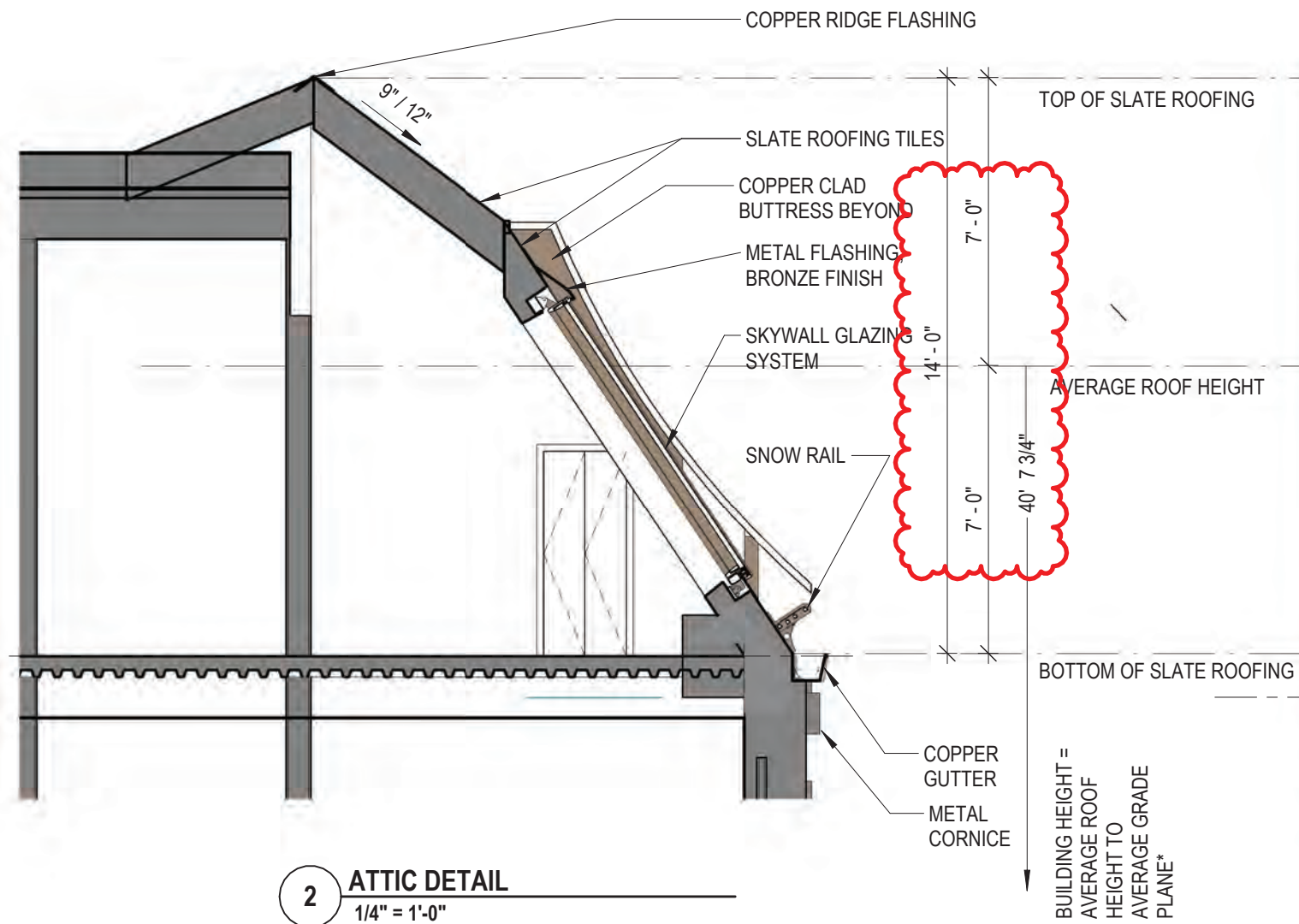
GRAPHIC SCALE: 1/16" = 1'-0"



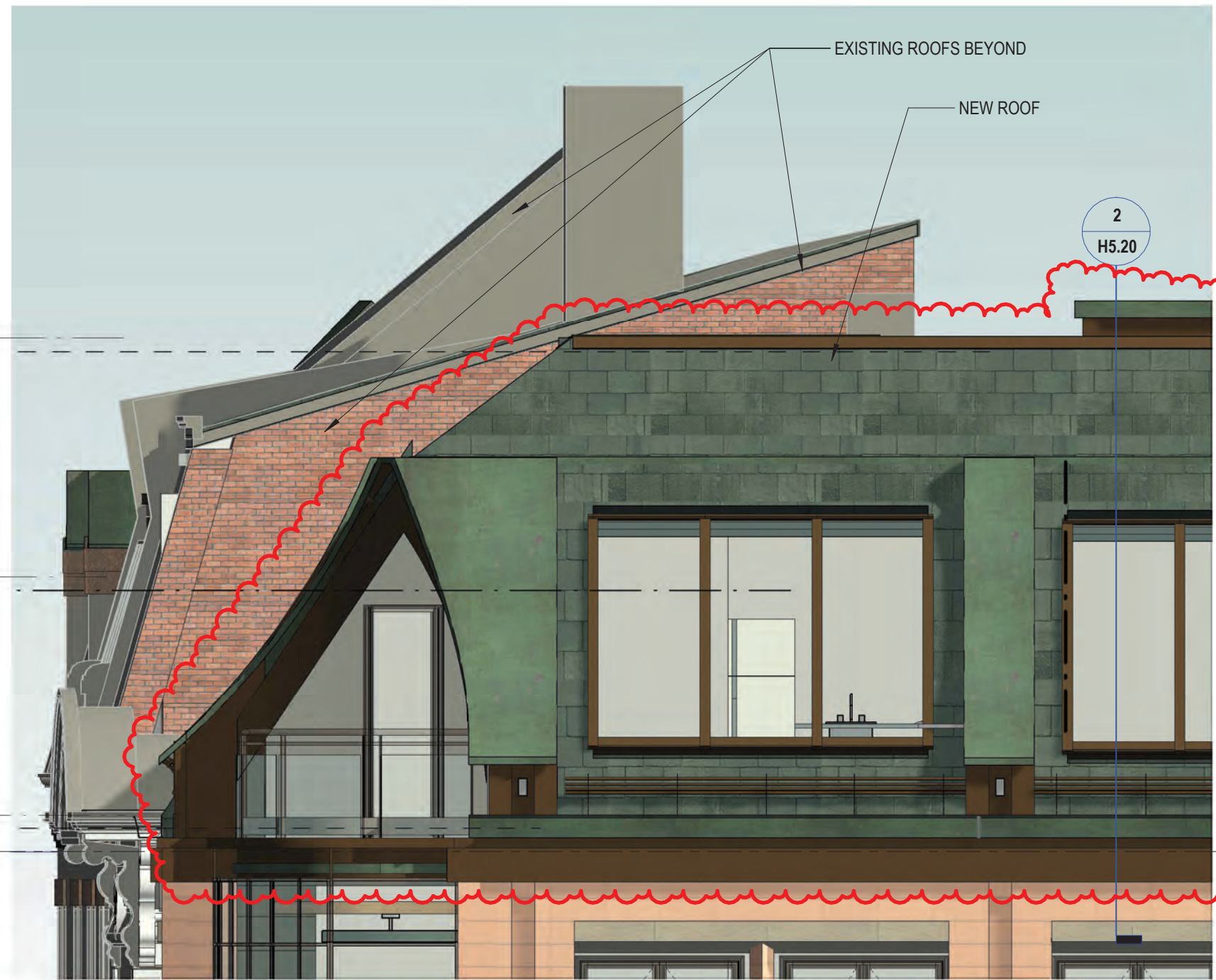
H5.17 ROOF AREA CALCULATIONS
1 CONGRESS STREET

SCALE: 1/16" = 1'-0"
10/14/2022





2 ATTIC DETAIL
1/4" = 1'-0"



1 PROPOSED ELEVATION - NW HAVEN COURT
1/4" = 1'-0"

**H5.20 ROOF HEIGHT DETAIL - HAVEN CT
1 CONGRESS STREET**

SCALE: 1/4" = 1'-0"
10/14/2022

* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16



COPYRIGHT © 2022



1 PROPOSED ELEVATION - CONGRESS STREET
3/32" = 1'-0"



2 PROPOSED ELEVATION - CONGRESS STREET
1/8" = 1'-0"



NEW CANVAS AWNINGS



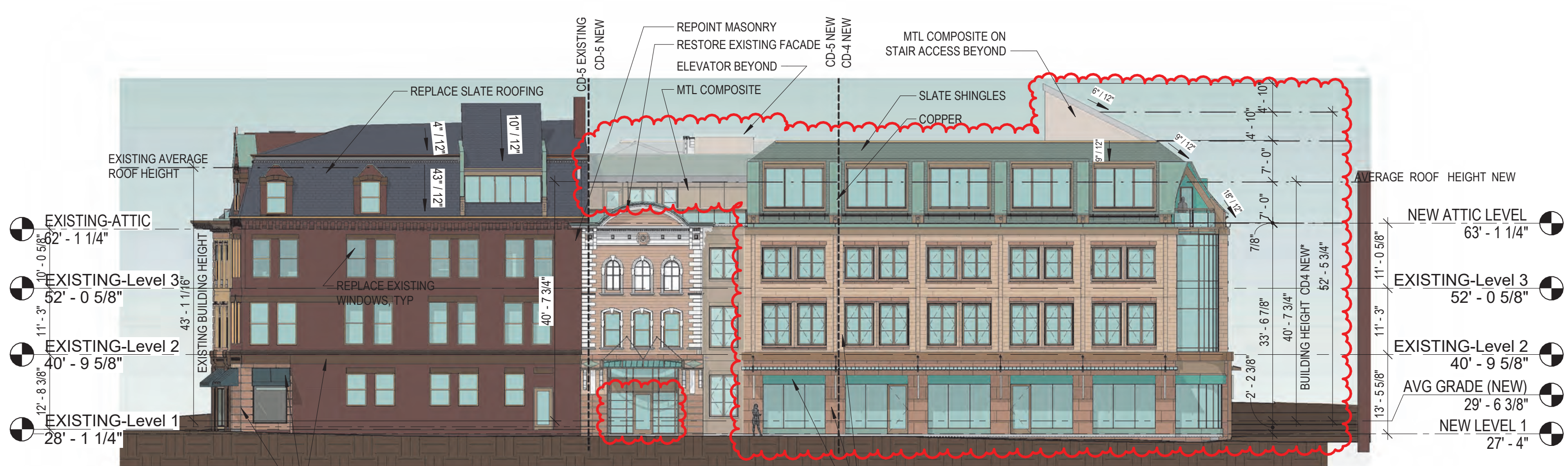
- RESTORE & RECREATE ORIGINAL GRANITE AND CAST IRON STOREFRONT
- REPLICATE EARLY 20TH CENTURY STAINED GLASS TRANSOMS
- REPLICATE HISTORIC PEDIMENTS
- REPLICATE ORIGINAL CAST IRON STOREFRONT THIS SIDE

H5.21 ELEVATION - CONGRESS STREET
1 CONGRESS STREET

SCALE: As indicated
10/14/2022



COPYRIGHT © 2022

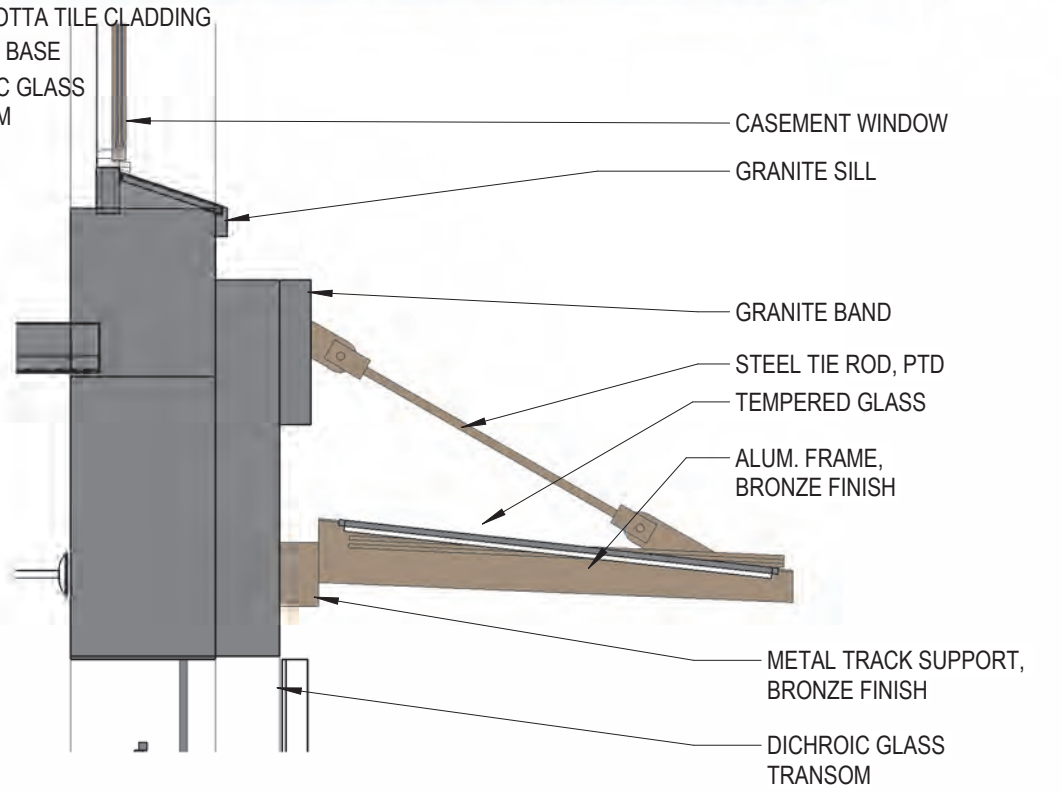


1 PROPOSED ELEVATION - NE - HIGH STREET
 1/16" = 1'-0"



2 PROPOSED ELEVATION - NE - HIGH STREET
 1/8" = 1'-0"

3 HDC AWNING DETAIL
 1/2" = 1'-0"



H5.22 ELEVATION - HIGH STREET
1 CONGRESS STREET

SCALE: As indicated
 10/14/2022





2 NORTH ELEVATION - HIGH STREET & HAVEN COURT (OBLIQUE)
 1/16" = 1'-0"



1 PROPOSED ELEVATION - NW HAVEN COURT
 1/16" = 1'-0"

- NEW ATTIC LEVEL 63' - 1 1/4"
- EXISTING-Level 3 52' - 0 5/8"
- EXISTING-Level 2 40' - 9 5/8"
- AVG GRADE (NEW) 29' - 6 3/8"
- NEW LEVEL 1 27' - 4"

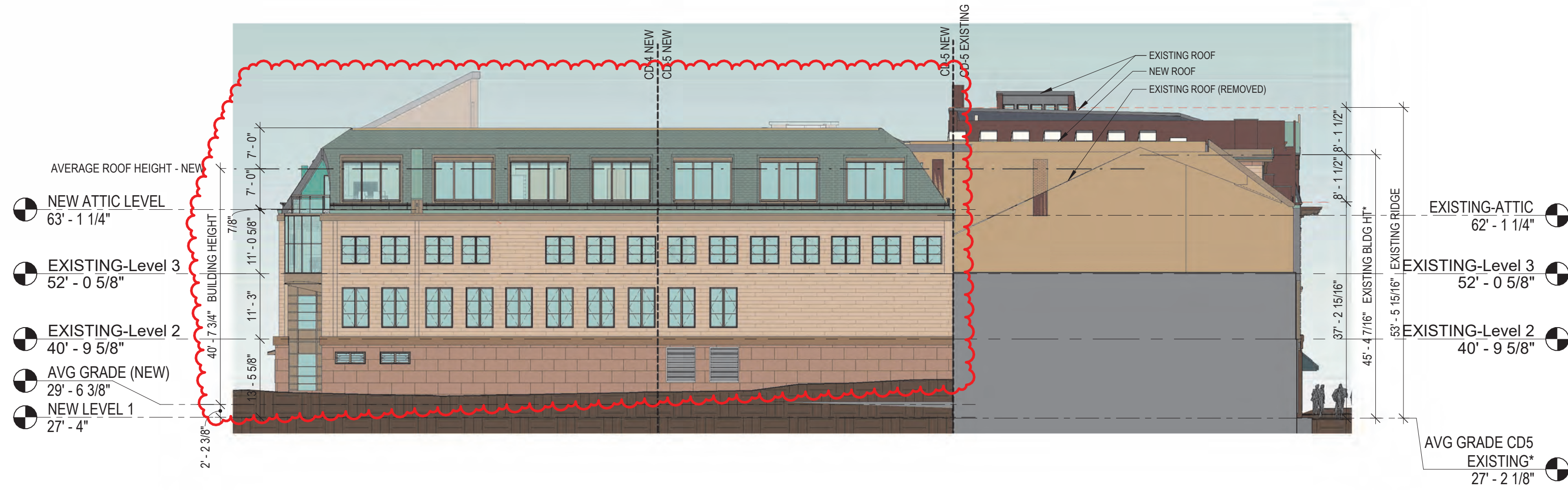
ELEVATIONS - HAVEN COURT
1 CONGRESS STREET

SCALE: 1/16" = 1'-0"
 10/14/2022

H5.23

* FOR AVERAGE GRADE PLANE OF TOTAL BUILDING SEE SHEET H5.16



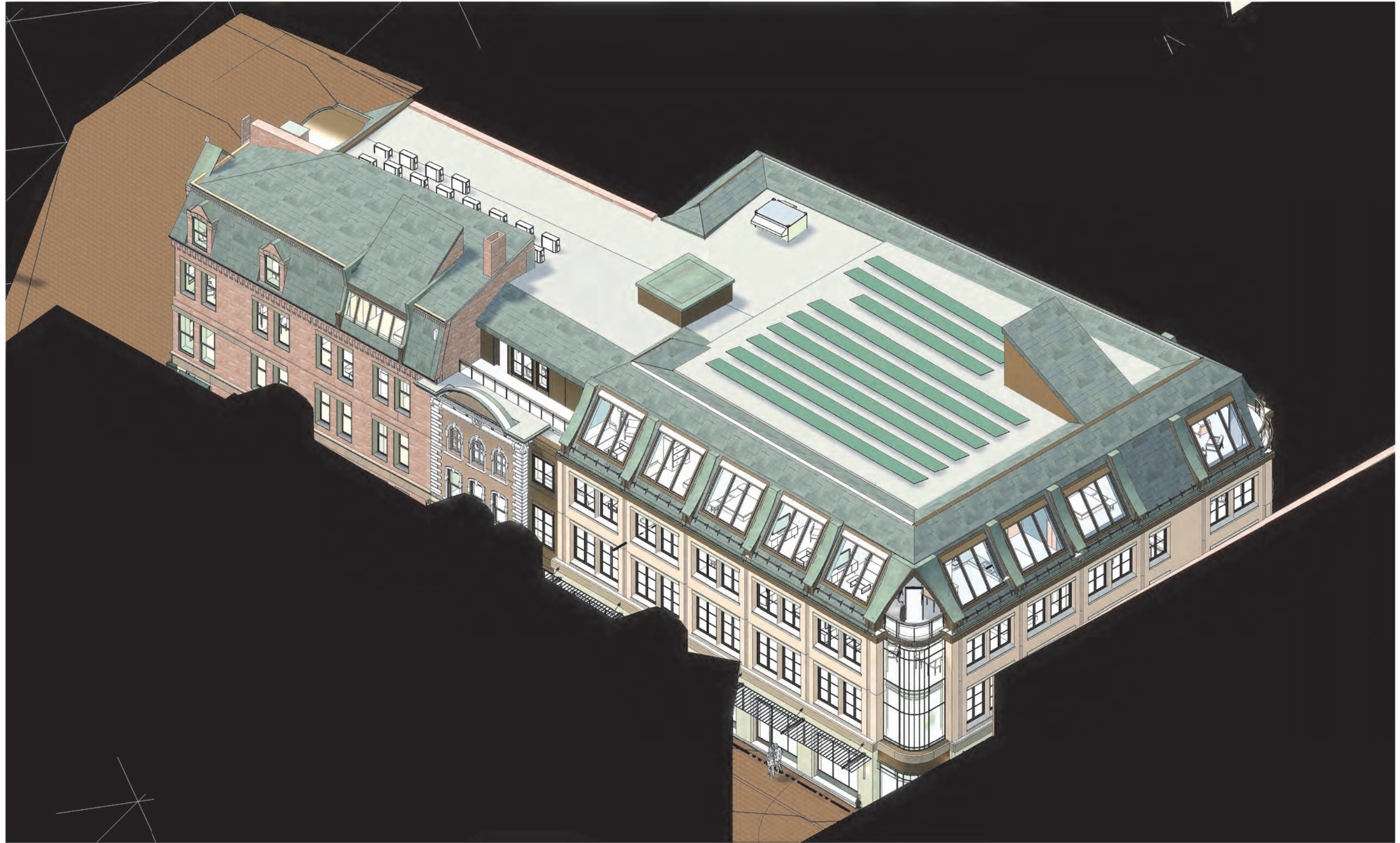


**H5.24 SW ELEVATION - REAR ALLEY
1 CONGRESS STREET**

SCALE: 1/16" = 1'-0"
10/14/2022



COPYRIGHT © 2022



H5.31 BIRDSEYE AXONOMETRIC
1 CONGRESS STREET

SCALE:
10/14/2022



H5.32

VIGNETTE - CONGRESS STREET
1 CONGRESS STREET

SCALE:
8/03/2022



COPYRIGHT © 2022



**H5.33 VIGNETTES - HIGH FROM CONGRESS
1 CONGRESS STREET**

SCALE:
10/14/2022





H5.34 HIGH STREET FROM STARBUCKS
1 CONGRESS STREET

SCALE:
10/14/2022





**H5.35. VIGNETTE - HAVEN CT FROM LADD ST
1 CONGRESS STREET**

SCALE:
10/14/2022



COPYRIGHT © 2022



H5.36 VIGNETTE - HIGH AT LADD & HAVEN
1 CONGRESS STREET
SCALE:
10/14/2022
TANGRAM 3DS

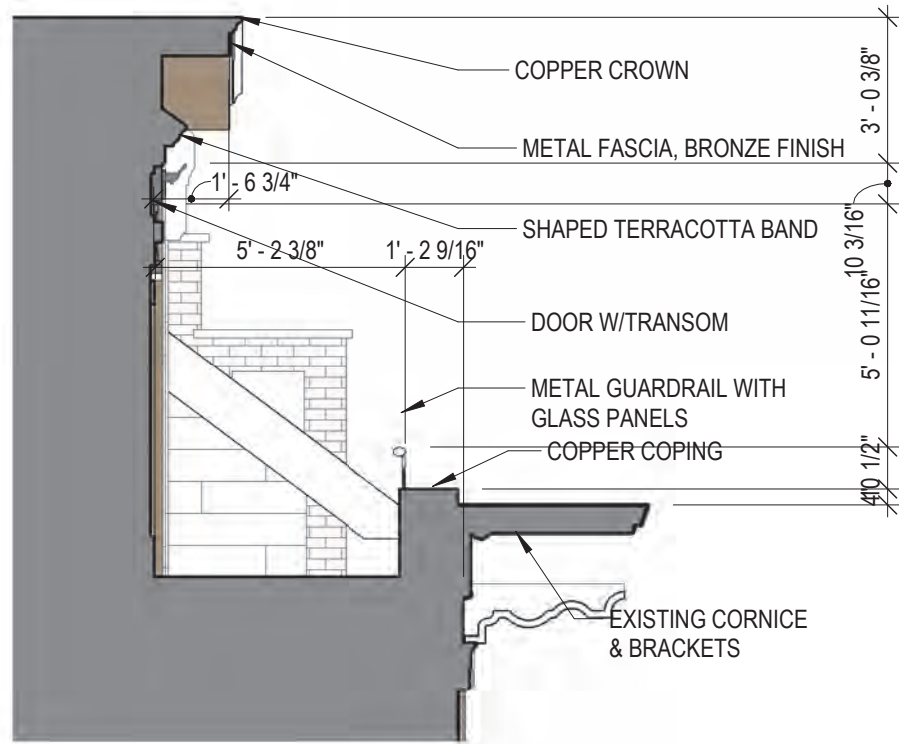


H5.37 VIGNETTE - HAVEN CT AT NEWBERRY
1 CONGRESS STREET

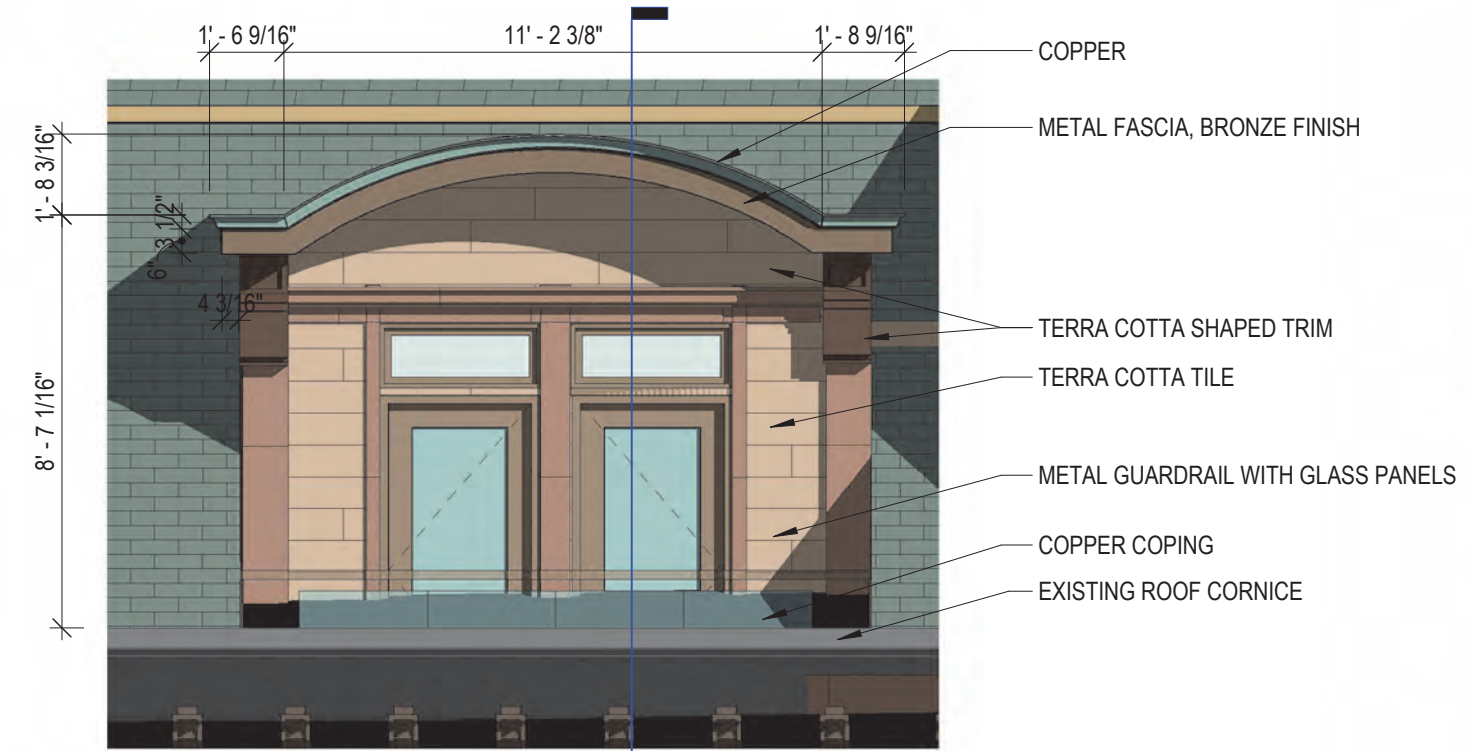
SCALE:
10/14/2022



COPYRIGHT © 2022

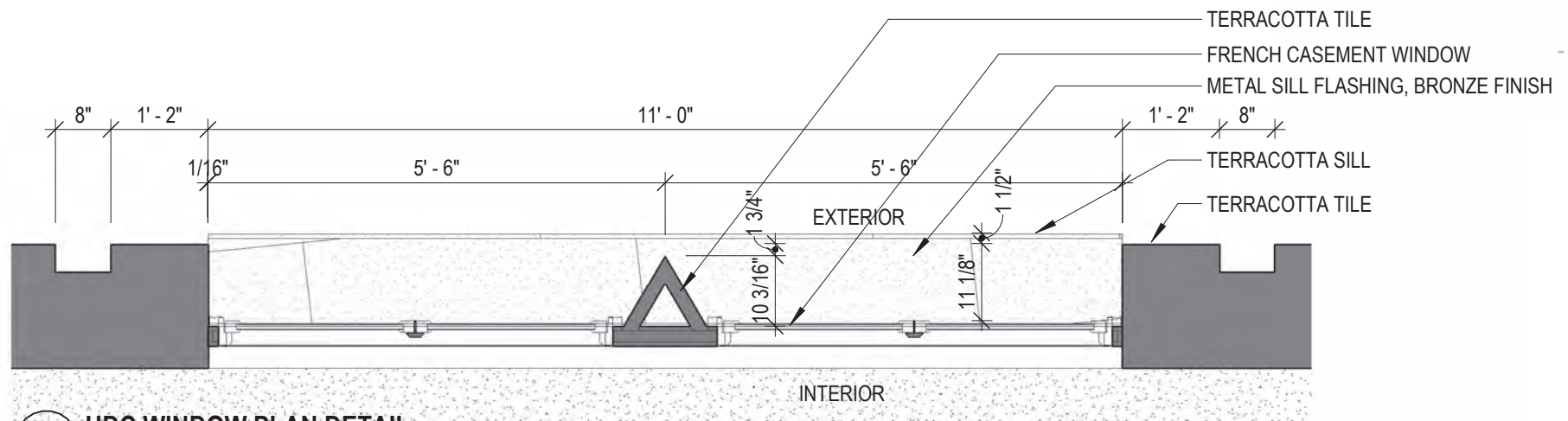
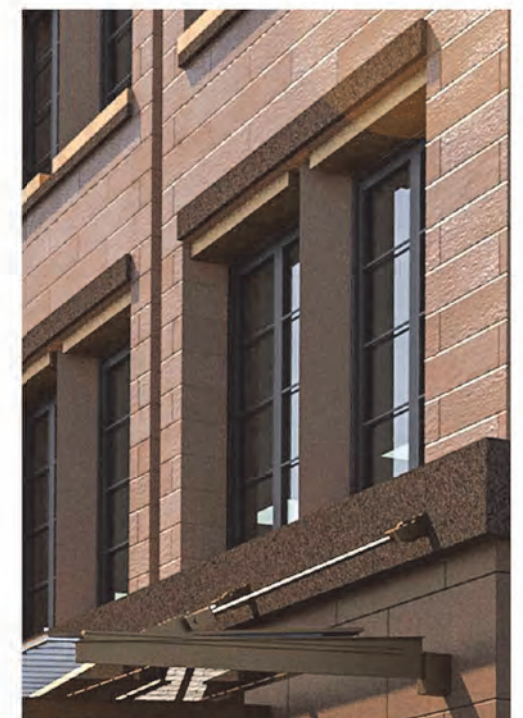


2 HDC DORMER SECTION
1/4" = 1'-0"



1 HDC DORMER ELEVATION
1/4" = 1'-0"

2 H5.41



4 HDC WINDOW PLAN DETAIL
1/2" = 1'-0"

H5.41 DETAILS
1 CONGRESS STREET
SCALE: As indicated
8/03/2022



Pella Architect Series®

Traditional Wood & Clad/Wood



Expertly crafted wood windows and patio doors with nearly endless possibilities.



- Designed with distinguished details**
 Crafted with classic sensibilities to make a statement and add architectural interest to your project, inside and out.
- Enhanced style options and custom capabilities**
 Maximum design flexibility with dramatic sizes, custom colors, finishes, profiles, product types and more.
- Authentic look of true divided light**
 Pella's Integral Light Technology® grilles use a metal spacer to create the authentic look of true divided light by casting a more realistic shadow.
- Interior finish options**
 From light to dark, Architect Series - Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Fine interiors are available in a variety of paint and stain colors.
- Beautiful hardware**
 Choose from Pella's collection of rich patinas and other timeless finishes.
- Optional integrated security sensors**
 Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.
- ENERGY STAR® certified!**
 Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Architect Series - Traditional products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2022.¹
- Long-lasting durability**
 Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- Best limited lifetime warranty²**
 Pella Architect Series - Traditional products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.²
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:



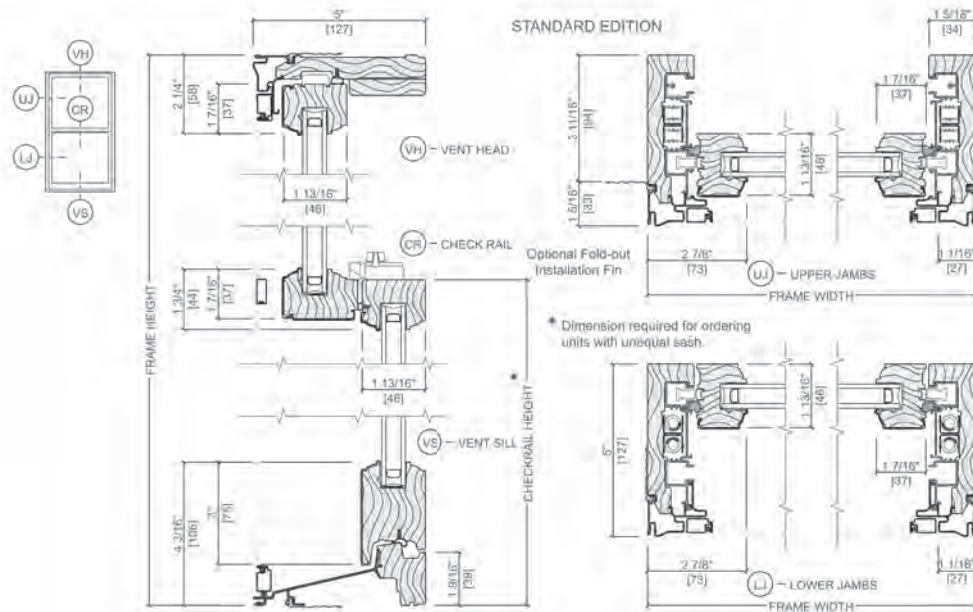
¹Energy Star Most Efficient Mark in 2022.

²See Pella.com for details.



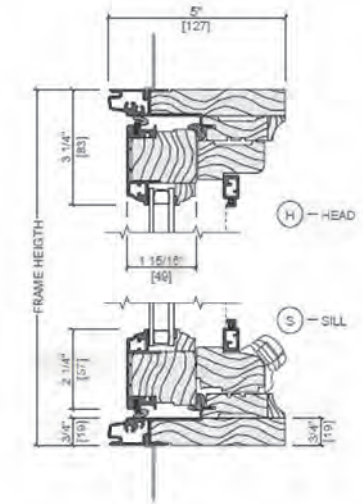
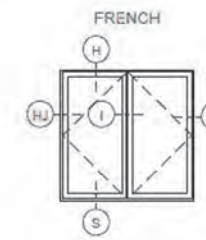
Architect Series® Traditional Hung Window

SE Unit Sections - Aluminum-Clad Ogee Exterior Glazing Profile



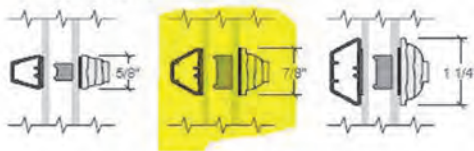
Pella® Reserve™ Out-Swing French Casement Window

Unit Sections - Aluminum-Clad Exterior

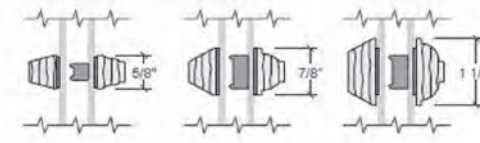


Integral Light Technology®

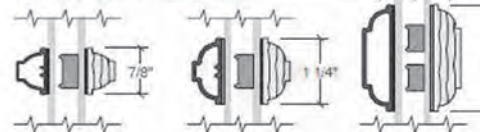
Putty and Ogee Glaze Grilles
Clad Exterior - Wood Interior



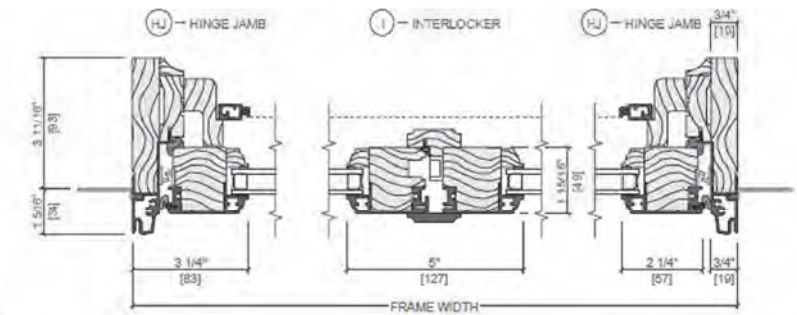
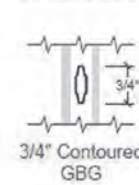
Putty and Ogee Glaze Grilles
Wood Exterior - Wood Interior



Ogee Glaze Grilles
Clad Exterior - Wood Interior



Contoured Aluminum -
Grilles-Between-the-Glass



Colors

Wood Types

Wood species for complementing your project's interior.



Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.

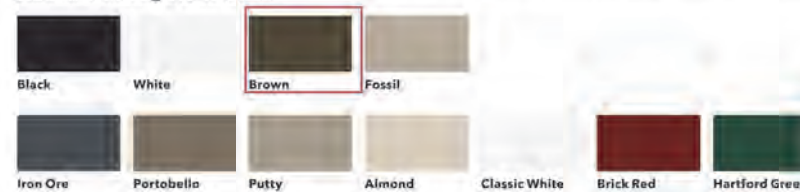


Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.³



Custom colors are also available.



H5.50 MATERIALS - WINDOWS
1 CONGRESS STREET

SCALE:
8/03/2022



COPYRIGHT © 2022

Northlight 25-90°

Similar to Longlights, Northlights are bands of VELUX Modular Skylights. The characteristic upright design is primarily for installations that are directed towards the northern hemisphere for soft and reflected lighting. Northlight installations are applicable for a pitch of 25 to 90°.

At the bottom, Northlights are mounted on a standard steel profile, 100 mm wide (not a VELUX component) and fixed with clamps holding the skylight in place. At the top, the brackets are fixed to the sub-construction with screws meant for wood.

The prefabricated modular flashing ensures easy integration in the roof surface. All flashings are easily installed. The roof surface underneath the flashing must be appropriate for screw fixation.

Please observe a max. 10 m wall height above skylight module, when installed in a sloped roof. Take notice that the top flashing changes in size above and below 54°, see sectional drawing page 59.



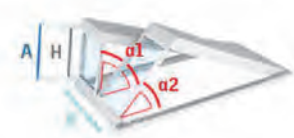
Download
CAD & BIM
objects

Sub-construction for
Northlight at:
veluxcommercial.com

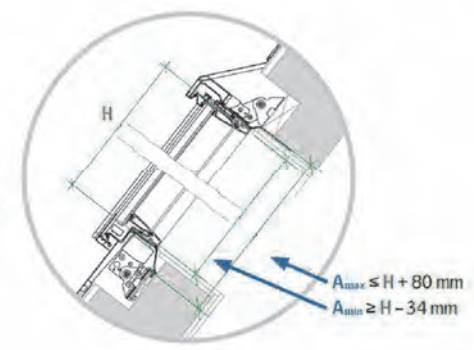
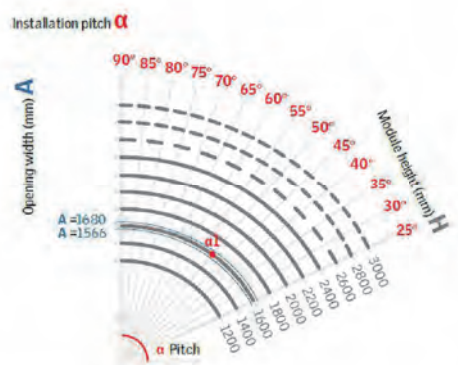


Defining module size to your project

Example:
 $\alpha 1$: $H = 1600$ mm at an installation pitch of 50°
 $A_{max} = 1680$ mm
 $A_{min} = 1566$ mm



H: Module height
 α : Installation pitch
A: Opening width
L: Opening length

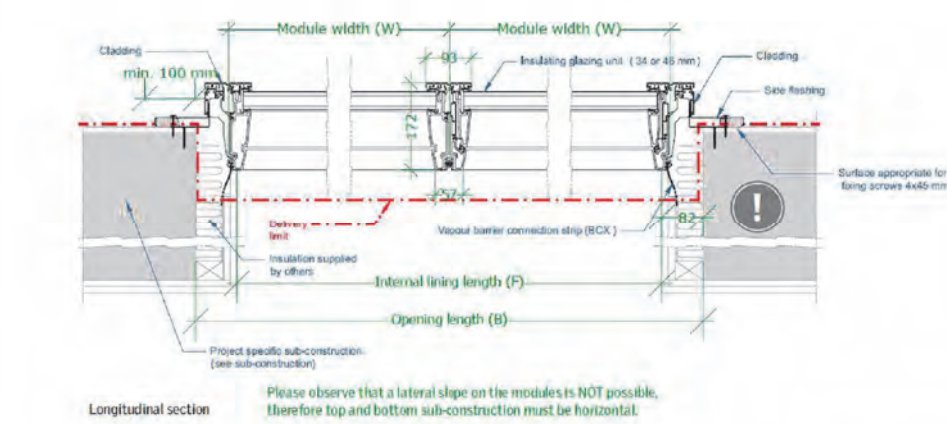
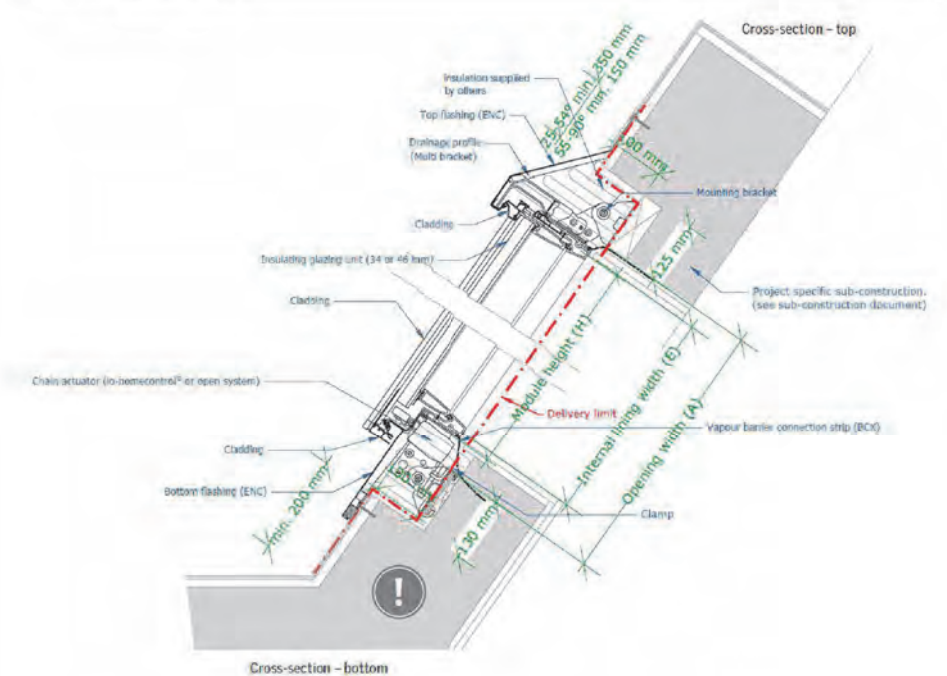


$A_{max} \leq H + 80$ mm
 $A_{min} \geq H - 34$ mm

58 --- Not available as venting modules as default.

ROOF WINDOWS - VELUX "NORTHLIGHT"

Sectional drawings



Please observe that a lateral slope on the modules is NOT possible, therefore top and bottom sub-construction must be horizontal.

VELUX Commercial 59

STOREFRONTS

Series 403X
2' x 4 1/2' Thermal Storefront Framing

CONFIGURATIONS
Shear Block • Screw Spline
This innovative flush glaze storefront framing system utilizes a dual pour and debridge thermal barrier that provides outstanding energy efficiency. Available in either shearblock or screw spline construction, the 403X Series can be used in conjunction with virtually all EFCO entrance system and V410 vents. A variety of options are available for use with this system, including sunshade mullions and variable sight line horizontals. Steel reinforcement is also available to enhance structural capability.

Features

- Dual pocket thermal barrier framing
- Screw spline or shearblock construction
- The optional Roto-Vent™ ventilator
- 2-way (90° and 135°) and 3-way corner mullions
- 0°-15° and 15°-30° variable mullions
- Accommodates up to 1 1/16" glazing
- Uniform glazing gasket is used for exterior and interior
- Various height intermediate horizontals and sills
- Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.
- Anodized or painted finishes available

Benefits

- Enhanced thermal performance and reduced energy cost
- Decreases installation labor and cost
- Ability to erect on the job site
- Allows fresh air into the room, yet maintains security
- Multifaceted elevations for design flexibility
- Increased design flexibility
- Expands design and energy savings options
- Allows optimized use of gasket and reduces inventory
- Simplifies ordering and installation
- Ability to maintain desired sight line
- Increased product versatility
- Multiple options to answer economic and aesthetic concerns

EFCO COATINGS FINISHES COLORS

ULTRAPON (70% PVDF)

STANDARD: Bone White, White, Antique White, Herring Bone, Silver, Hardard Green, Mica Brown, Mineral Brown, Gray, Agate Copper, Blue Sky, Brick Red, Laguna Blue, Daring Blue, Light Brown, Posh/Tan, Black.

FEATURED: [Color swatches]

ULTRA-ESCENT II (70% PVDF MICA*)

STANDARD: Weathered Copper, Slate, Pear Sierra, Nickel Silver, Sea Spray, Agt, Gun Barrel, Swirl Bronze.

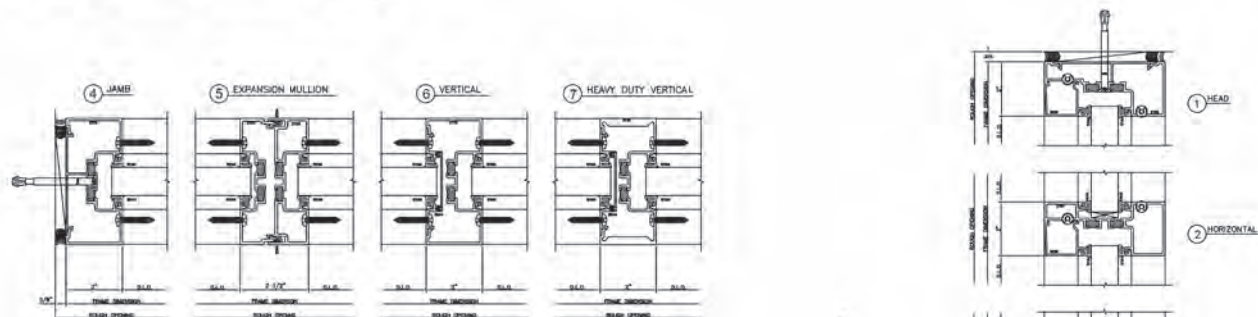
FEATURED: Champagne, Aster Gold.

ANODIZE

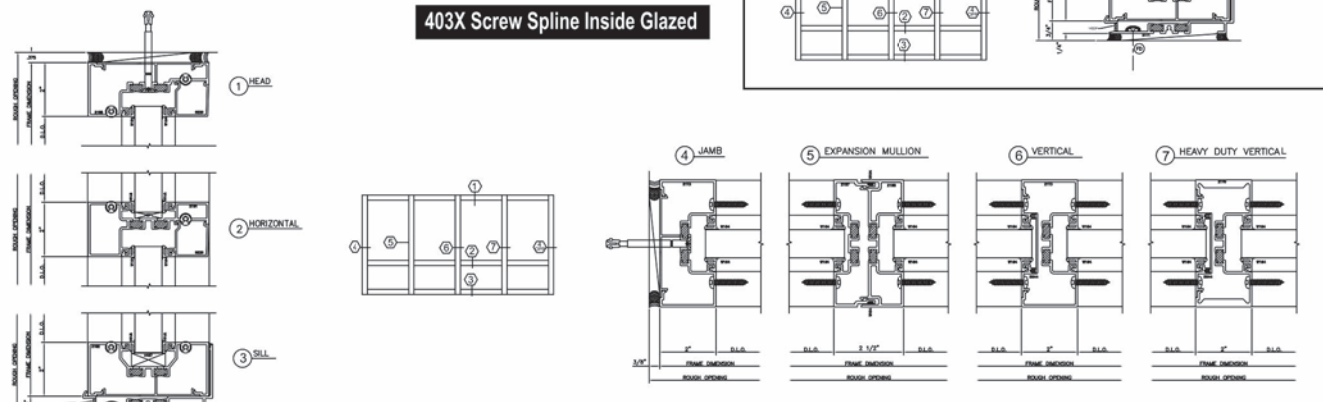
[Color swatches]

* The color samples shown are not true to scale. These color swatches represent the production color as closely as possible within the limitations of color chip reproduction. Additional changes may apply to some colors that require a clear finish, metallic, or other system color finishes. * Color variation is inherent in all pigments and should be expected with all colors. Exact shade may vary slightly. Color consistency between batches will appear different from production run to run.

403X Screw Spline Outside Glazed Steps Down



403X Screw Spline Inside Glazed



reproduction 05/15

STOREFRONT TRANSOMS

3M™ Dichroic Film for Laminated Glass

Compatible with EVA, SentryGlas® or PVB interlayer adhesives. Available in gold-blue or copper-bronze colors.

Flexible

Film can be printed, cut, patterned, bent, or combined with different glass types or interlayer adhesives.

Versatile

Applications include shading fins, balustrades, exterior glass, partition walls, shower doors, artistic glass and furniture.

Gold-Blue Dichroic Film



In Transmission (Shown) Yellow ▶ Magenta ▶ Blue
In Reflection Gold (straight) Blue (angle)

Copper-Bronze Dichroic Film



In Transmission (Shown) Magenta ▶ Blue ▶ Aqua
In Reflection Copper (straight) Bronze (angle)

How is it made?

3M™ Dichroic Film is easily laminated between sheets of adhesive interlayers. It's conformable for bent glass applications and works with different glass and PVB combinations.

Outer glass
Adhesive interlayers
Inner glass

3M™ Dichroic Film



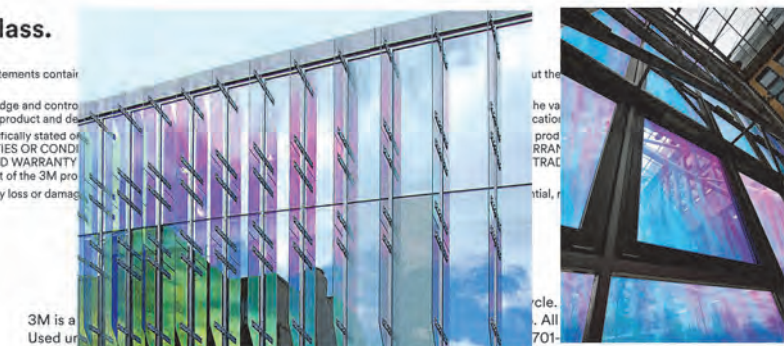
Solar performance of clear laminated glass

	Reflection Visible	Transmission Visible	Transmitted Energy	Reflected Energy	Absorbed Energy	TSER	SHGC
Gold-Blue Dichroic Glass	89%	11%	56%	29%	15%	39%	0.61
Copper-Bronze Dichroic Glass	29%	71%	55%	29%	17%	41%	0.59

Make an impression at 3M.com/Glass.

Technical Information: The technical information, recommendations and other statements contain information is not guaranteed.
Product Use: Many factors beyond 3M's control and uniquely within user's knowledge and control and performance of a 3M product, user is solely responsible for evaluating the 3M product and determining its suitability for the intended application.
Warranty, Limited Remedy, and Disclaimer: Unless an additional warranty is specifically stated on the product, 3M MAKES NO OTHER WARRANTIES OR CONDITIONS OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OR ANY IMPLIED WARRANTY TO THIS WARRANTY, then the sole and exclusive remedy is, at 3M's option, replacement of the 3M product.
Limitation of Liability: Except where prohibited by law, 3M will not be liable for any loss or damage, including warranty, contract, negligence or strict liability.

3M
Renewable Energy Division
3M Center, Building 235-25-27
St. Paul, MN 55144-1000
3M.com/glass

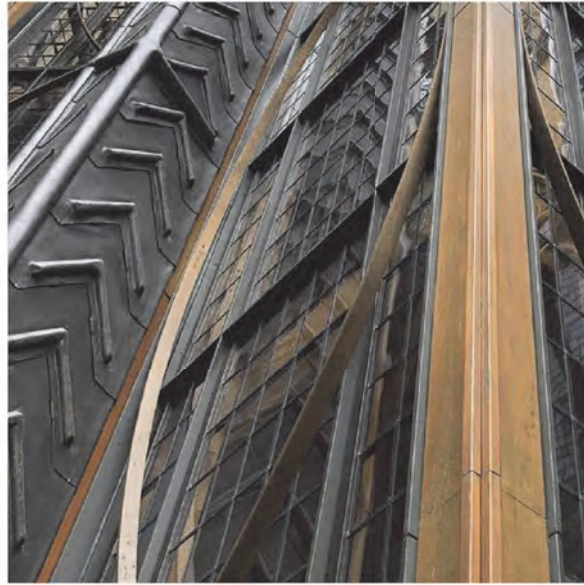


H5.52 MATERIALS - ARCADE FENESTRATION
1 CONGRESS STREET

SCALE:
8/03/2022



COPYRIGHT © 2022

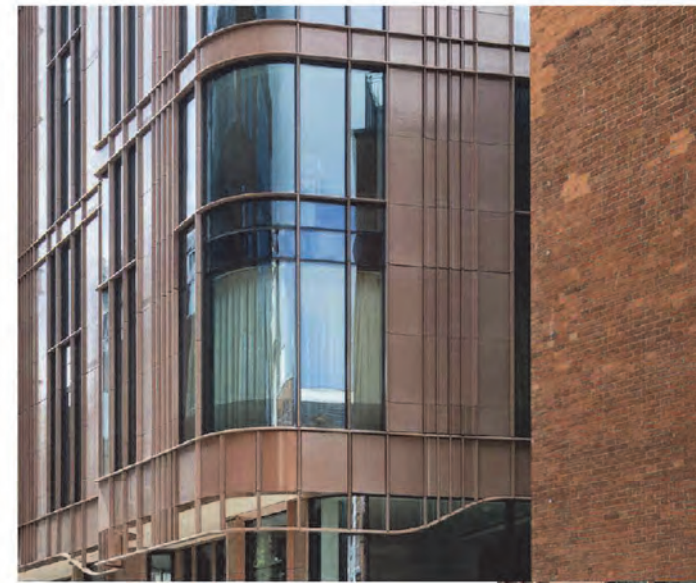


BRONZE FINISH - METAL ACCENTS - WINDOW & DOOR FRAMES, AWNINGS, DORMER LEVEL CLADDING.

Upper walls, cladding

Terra Cotta, glazed tile

TERREAL, PITERAK SLIM



Marylebone Lane Mansion
London

Glaze color: Tea with Milk



Lower walls, cladding

Granite



Deer Isle

At restored Facades



Carolina Coral

First floor addition, field color



Autumn Pink

First floor addition - accent color



Piterak Slim Terracotta Cladding

H5.53 MATERIALS - CLADDING
1 CONGRESS STREET

SCALE:
8/03/2022



COPYRIGHT © 2022

SOFFIT-CEILING AT ARCADE DROP-OFF



- thermally broken
- made of light weight aluminum
- supports continuous insulation
- creates a rain screen
- response time within 24 hours
- supports other cladding up to 8 lbs per sq ft.
- adjustable for sub-wall misalignment
- health product declarations
- support for specifications + drawings
- built for seismic zones



easy to use	quick delivery
solid warranty	durable finishes

longboardproducts.com



LONGBOARD®

WOODGRAIN OPTIONS

Our woodgrain options are divided into four categories based on the consistency of the wood grain pattern.

CONSISTENT



COMPOSITE WALL PANELS (ELEVATOR OVER-RUN AND RECESSED ACCENTS)

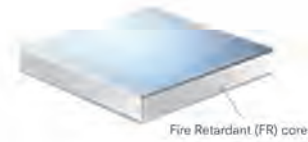
ALUCOBOND Products

PROPERTIES AND BENEFITS

- Flatness and Rigidity
- Lightweight
- Durability
- Custom color expertise
- Formability
- Ease of fabrication
- Perforation capabilities
- 89 stocked ACM colors
- Complementary flat aluminum sheet colors
- Can contribute toward LEED points
- 100% recyclable
- Zero VOC's emitted in use
- EPD in compliance with International ISO Standards

ALUCOBOND® PLUS

4mm ACM comprised of two sheets of smooth .020" aluminum thermobonded to a solid, fire retardant core. Developed exclusively to meet fire performance requirements while providing the benefits & versatility of ACM.



Product Properties

Thickness of aluminum skin	0.020" (nominal)
Product thickness	0.157" (4mm nominal)
Weight	1.56 lb/ft ²
Standard panel dimension*	62" x 196"
Maximum width**	62"
Maximum length**	400"

* Exceptions to standard dimensions include mirror, print, and others. Refer to product range table on next page.
** Sheets will be fabricated to meet custom panel sizes within product range above.

ALUCOBOND® AXCENT™

A solid .040" flat aluminum sheet that offers the perfect complement to ALUCOBOND PLUS. AXCENT is excellent for columns, parapet caps, canopies, soffits, and trim.



Product Properties

Product thickness	0.040" (nominal)
Weight	0.56 lb/ft ²
Standard width	48"
Standard length	120"



ALUCOBOND® EasyFix™

ALUCOBOND EasyFix is a cost-effective installation method for wood-frame construction in multifamily and mixed-use sectors. The simple installation method utilizes an innovative design for attachment of ALUCOBOND PLUS panels. The design provides an aesthetic solution similar to traditional ACM systems.

- ALUCOBOND EasyFix must be used with:
- ALUCOBOND PLUS
 - ALUCOBOND EasyFix: Clips or Rails

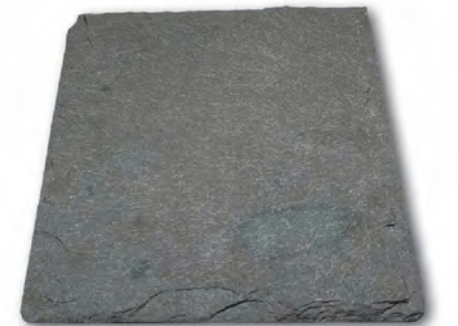


Product Properties

Weight	1.9 lb/ft ²
Weight	1.56 lb/ft ²
Standard panel dimension*	40" x 196"
Maximum panel width/length	62"/400"
Clip length	3"
Rail length	12'

** Sheets may be fabricated to meet custom panel sizes within maximum product range above.

ROOFING - NATURAL SLATE



GRAY-GREEN, SEMI-WEATHERING NATURAL SLATE; VERMONT SLATE



H5.54 MATERIALS - CLADDING
1 CONGRESS STREET

SCALE:
8/03/2022



COPYRIGHT © 2022

RAVEN™
OW1340/OW1342/OW1344/OW1346/OW1348
Outdoor models with Accent Bars

Rev. 20210523



VisaLighting.com/products/Raven



DIMENSIONS¹
L = Length D = Depth W = Width WT = Weight

	OW1348	OW1340	OW1342	OW1344	OW1346
L	18-1/2" (470 mm)	24-3/4" (629 mm)	36-1/2" (927 mm)	48-5/8" (1229 mm)	60-1/8" (1527 mm)
D	4" (102 mm)				
W	3-5/8" (86 mm)				

- FEATURES**
- Integral driver
 - Vertical or horizontal mounting
 - Mounts to 2 X 4 electrical junction box (by others) with provided hardware. Requires auxiliary mounting fasteners (provided). Orient junction box to match fixture's linear dimension (horizontal or vertical).
 - Tamper resistant fasteners
 - High impact extruded aluminum backplate/side rails, die-cast end caps and trim bars, gasketed and sealed construction
 - Extruded clear prismatic performance lens and extruded white acrylic diffuser
 - High impact extruded white acrylic, FI rated, UV stable, 18-24 MB Flame Class rated
 - No VOC powder coat finish
 - ETL listed for wet location mounting 4' above grade



800-788-VISA VisaLighting.com Page 1

RAVEN (cont.)
OW1340/OW1342/OW1344/OW1346/OW1348
Outdoor models with Accent Bars



FINISHES
Specify color code when ordering. For accurate color matching, individual paint and finish samples are available upon request. For more information about our finishes visit www.visalighting.com/finishes

AGGY Agate Grey	ALGN Alpine Green	BJBG Baja Beige	BMAT Bronze Matt	BRZ Bronze	BSL Blade Silver	CVBL Cove Blue
DEOR Deoro Gold	GLWT Glacier White	GSL Graphite Silver	HRGR Harbor Grey	JTBK Jet Black	OCLB Ocean Blue	SHGR Shoreline Grey
SIGN Sagebrush Green	SLGR Slate Grey	SSTP Sierra Taupe	TRCN Terracotta Canyon	TRWT Traffic White	VLBK Velvet Black	VNRD Vineyard Red



WALL SCONCE LIGHT FIXTURES

TRIFAB® VG (VERSAGLAZE®)
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM



Design + Performance
Versatility with Unmatched
Fabrication Flexibility



Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual IsoLock® thermal break.

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be

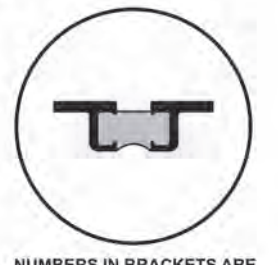
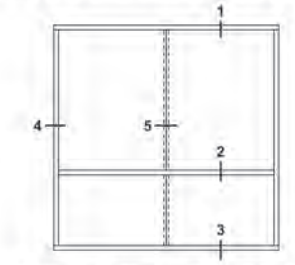
AESTHETICS
Trifab® VersaGlaze® Framing Systems offer front-, center-, back- or multi-plane glass

STOREFRONT

BLACK	BOYSBERRY	HARTFORD GREEN
SANDSTONE	CLASSIC BRONZE	MILITARY BLUE
BONE WHITE	COLONIAL WHITE	ANTIQUA BRONZE
DOVE GRAY	DARK IVY	CHARCOAL
REDWOOD	SEA WOLF	MEDIUM BRONZE

BASIC FRAMING DETAILS (FRONT)

Additional information and CAD details are available at www.kawneer.com

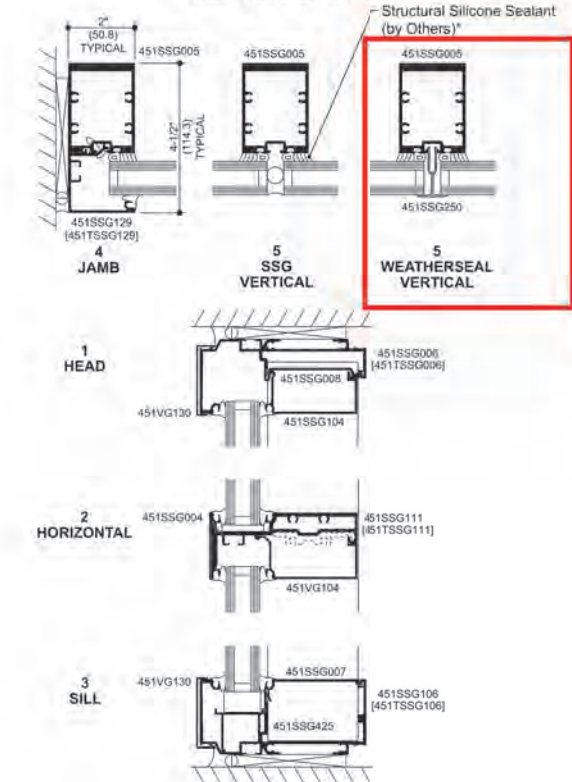


ELEVATION IS NUMBER KEYED TO DETAILS

NUMBERS IN BRACKETS ARE THERMALLY BROKEN MEMBERS

STICK (INSIDE GLAZED) TWO COLOR OPTION

SSG RECEPTOR



INSTALLER NOTE: Installer is responsible for all required compatibility review and approvals with the Structural Silicone Manufacturer and the Insulating Glass Unit Manufacturer.



ADMCD40EN

kawneer.com

H5.55

MATERIALS STOREFRONT & SCONCE
1 CONGRESS STREET

SCALE:
10/14/2022



COPYRIGHT © 2022

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© 2018, Kawneer Company, Inc.

Project Address: 324 MAPLEWOOD AVENUE
Permit Requested: CERTIFICATE OF APPROVAL
Application: PUBLIC HEARING 3



A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L2
- Land Use: Mixed-Use
- Land Area: 5,475 SF +/-
- Estimated Age of Structure: c.1820
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Maplewood Avenue and Dennett Street
- Unique Features: N/A
- Neighborhood Association: West End

B. Proposed Work: Replace all siding, repair exterior stairs, corner boards, and window trim as needed and replace the store front windows.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Exterior repairs to the structure: replace rotted trim, siding, and corner boards.
- Replace store front windows.



D. Purpose and Intent:

13. Preserve the integrity of the District
14. Assessment of the Historical Significance
15. Conservation and enhancement of property values
16. Maintain the special character of the District
17. Complement and enhance the architectural and historic character
18. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

9. Consistent with special and defining character of surrounding properties
10. Compatibility of design with surrounding properties
11. Relation to historic and architectural value of existing structures
12. Compatibility of innovative technologies with surrounding properties



Facade facing Dennett Street



Facade facing Maplewood Ave



Facade view from Maplewood



Rear facade abutting neighbor on Dennett St

Project Address: 101 CHAPEL STREET

Permit Requested: CERTIFICATE OF APPROVAL

Application: PUBLIC HEARING 4

A. Property Information - General:

Existing Conditions:

- Zoning District: Civic, Downtown Overlay
- Land Use: Religious (St. John's Church)
- Land Area: 26,737 SF +/-
- Estimated Age of Structure: c.1807
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Bow Street, Chapel Street, and Daniel Street
- Unique Features: N/A
- Neighborhood Association: Downtown

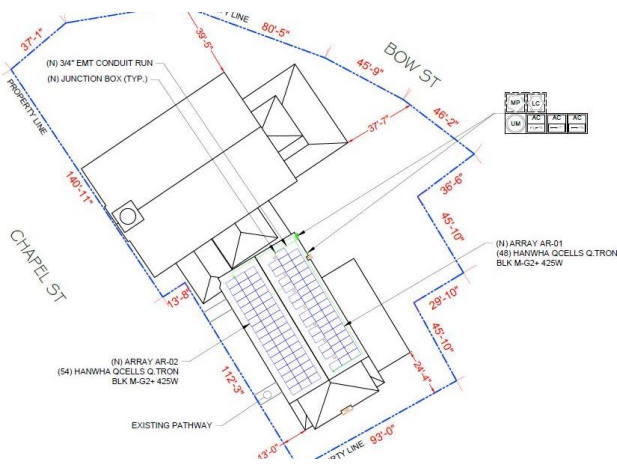


B. Proposed Work: Install rooftop solar panels.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Installation of roof top mounted solar panels.



**HISTORIC
SURVEY
RATING
C**

D. Purpose and Intent:

19. Preserve the integrity of the District
20. Assessment of the Historical Significance
21. Conservation and enhancement of property values
22. Maintain the special character of the District
23. Complement and enhance the architectural and historic character
24. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

13. Consistent with special and defining character of surrounding properties
14. Compatibility of design with surrounding properties
15. Relation to historic and architectural value of existing structures
16. Compatibility of innovative technologies with surrounding properties

SCOPE OF WORK

SYSTEM SIZE: 43.35kW DC, 33.15kW AC
MODULES: (102) HANWHA QCELLS Q.TRON BLK M-G2+ 425W
INVERTERS: (102) ENPHASE: IQ8M-72-2-US MICROINVERTERS
RACKING: IRONRIDGE AIRE RAIL A1
ATTACHMENT: IRONRIDGE AIRE DOCK, WITH L-FOOT

ARRAY TILT: #1 - 27°
 #2 - 27°
 ARRAY AZIMUTH: #1 - 59°
 #2 - 239°

ELECTRICAL INFORMATION
 UTILITY COMPANY: EVERSOURCE
 MAIN SERVICE AMPERAGE: 400A

BUILDING INFORMATION: TWO STORY HOUSE
 APN #: PRSM106553
 ROOF TYPE: COMP. SHINGLE
 NUMBER OF LAYERS: 01
 ROOF TRUSSES: 2"X8" @ 24" O.C.

CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODE
 2018 FIRE CODE AS AMENDED BY SAF-FMO 300
 2018 INTERNATIONAL BUILDING CODE (IBC)
 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IEC)
 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 2018 INTERNATIONAL PLUMBING CODE (IPC)
 2020 NATIONAL ELECTRICAL CODE (NEC)
 STATE FIRE CODE SAF-C 6000

SHEET INDEX

PV-0 COVER SHEET
 PV-1 SITE PLAN
 PV-2 ARRAY DETAIL
 PV-2A STRING LAYOUT
 PV-3 ATTACHMENT DETAILS
 PV-4 ELECTRICAL LINE DIAGRAM
 PV-5 ELECTRICAL CALCULATION
 PV-6 PLACARDS
 PV-7+ MANUFACTURER SPEC SHEET


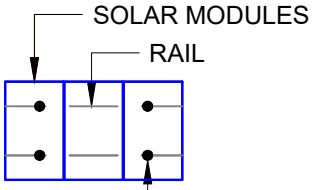

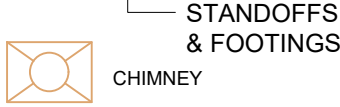





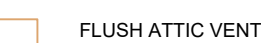





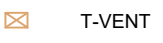





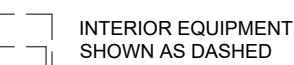

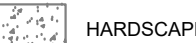


ADDITIONAL NOTE:

- 400AMP SINGLE PHASE SERVICE.
- LOWER EDGE OF EACH ROOF HAS A STANDING SEAM METAL SECTION.
- THERE IS AN ATTIC SPACE ON THE NORTHERN SIDE OF THE BUILDING (ABOVE A STAGE).

GENERAL NOTES:

- PV INSTALLATION COMPLIES WITH THE NEC 2020 ARTICLE 690.12(B)(2).
- PHOTOVOLTAIC SYSTEM IS UNGROUNDED. NO CONDUCTORS ARE SOLIDLY GROUNDED IN THE INVERTER. SYSTEM COMPLIES WITH 690.35.
- MODULES CONFORM TO AND ARE LISTED UNDER UL 1703.
- INVERTER CONFORMS TO AND IS LISTED UNDER UL 1741.
- RACKING CONFORMS TO AND IS LISTED UNDER UL 2703.
- RAPID SHUTDOWN REQUIREMENTS MET WHEN INVERTERS AND ALL CONDUCTORS ARE WITHIN ARRAY BOUNDARIES PER NEC 690.12(1).
- CONSTRUCTION FOREMAN TO PLACE CONDUIT RUN PER 690.31(G).
- ARRAY DC CONDUCTORS ARE SIZED FOR DERATED CURRENT.
- 13.49 AMPS MODULE SHORT CIRCUIT CURRENT.
- 21.04 AMPS DERATED SHORT CIRCUIT CURRENT [690.8 (a) & 690.8 (b)].

LEGEND AND ABBREVIATIONS

 UTILITY METER		A AMPERE	AMPERE
 MAIN PANEL		AC ALTERNATING CURRENT	ALTERNATING CURRENT
 SUB-PANEL		AFCI ARC FAULT CIRCUIT INTERRUPTER	ARC FAULT CIRCUIT INTERRUPTER
 PV LOAD CENTER		AZIM AZIMUTH	AZIMUTH
 DEDICATED PV METER		COMP COMPOSITION	COMPOSITION
 INVERTER(S) WITH INTEGRATED DC DISCONNECT AND AFCI		DC DIRECT CURRENT	DIRECT CURRENT
 AC DISCONNECT(S)		(E) EXISTING	EXISTING
 DC DISCONNECT(S)		EXT EXTERIOR	EXTERIOR
 FUSED AC DISCONNECT		FRM FRAMING	FRAMING
 COMBINER BOX		INT INTERIOR	INTERIOR
 AUTOMATIC TRANSFER SWITCH		LBW LOAD BEARING WALL	LOAD BEARING WALL
		MAG MAGNETIC	MAGNETIC
		MSP MAIN SERVICE PANEL	MAIN SERVICE PANEL
		(N) NEW	NEW
		NTS NOT TO SCALE	NOT TO SCALE
		OC ON CENTER	ON CENTER
		PRE-FAB PRE-FABRICATED	PRE-FABRICATED
		PSF POUNDS PER SQUARE FOOT	POUNDS PER SQUARE FOOT
		PV PHOTOVOLTAIC	PHOTOVOLTAIC
		TL TRANSFORMERLESS	TRANSFORMERLESS
		TYP TYPICAL	TYPICAL
		V VOLTS	VOLTS
		W WATTS	WATTS

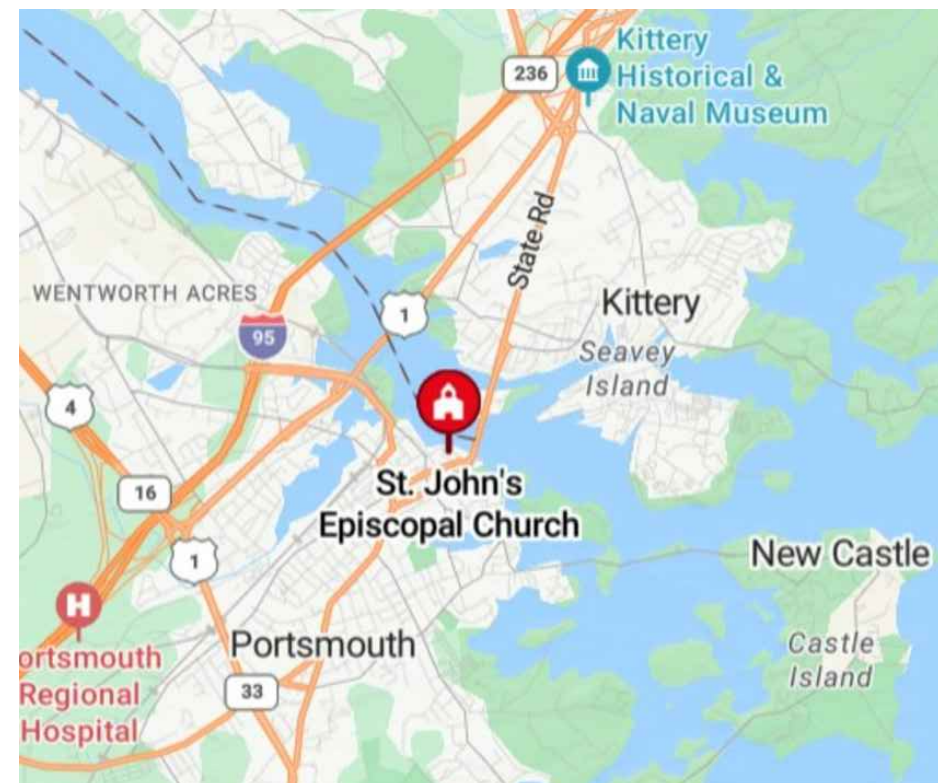
SCALE: NTS



1 AERIAL VIEW

PV-0

SCALE: NTS



2 VICINITY MAP

PV-0

SCALE: NTS



603 SOLAR

24 CHARTER ST.
 EXETER, NH 03833
 (603) 570-2607

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH

100 CHAPEL ST,
 PORTSMOUTH, NH 03801
 PHONE #: (603) 988-8347
 EMAIL: reginnhny@outlook.com
 43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

COVER SHEET

SHEET SIZE

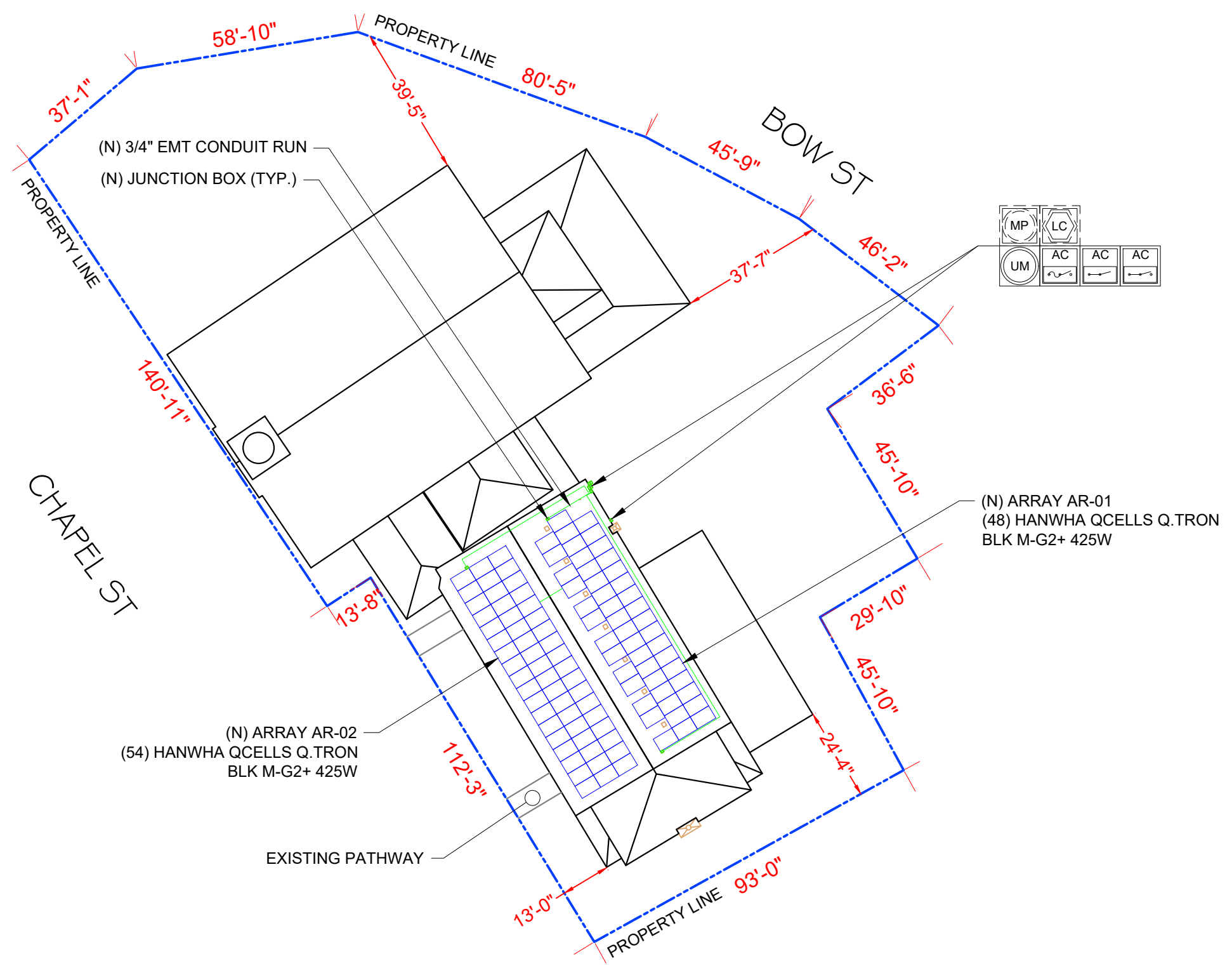
ANSI B
 11" X 17"

SHEET NUMBER

PV-0



603 SOLAR
 24 CHARTER ST.
 EXETER, NH 03833
 (603) 570-2607



REVISIONS		
DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
 100 CHAPEL ST,
 PORTSMOUTH, NH 03801
 PHONE #: (603) 988-8347
 EMAIL: reginnhny@outlook.com
 43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
 STEVE

SHEET NAME
SITE PLAN

SHEET SIZE
 ANSI B
 11" X 17"

SHEET NUMBER
PV-1

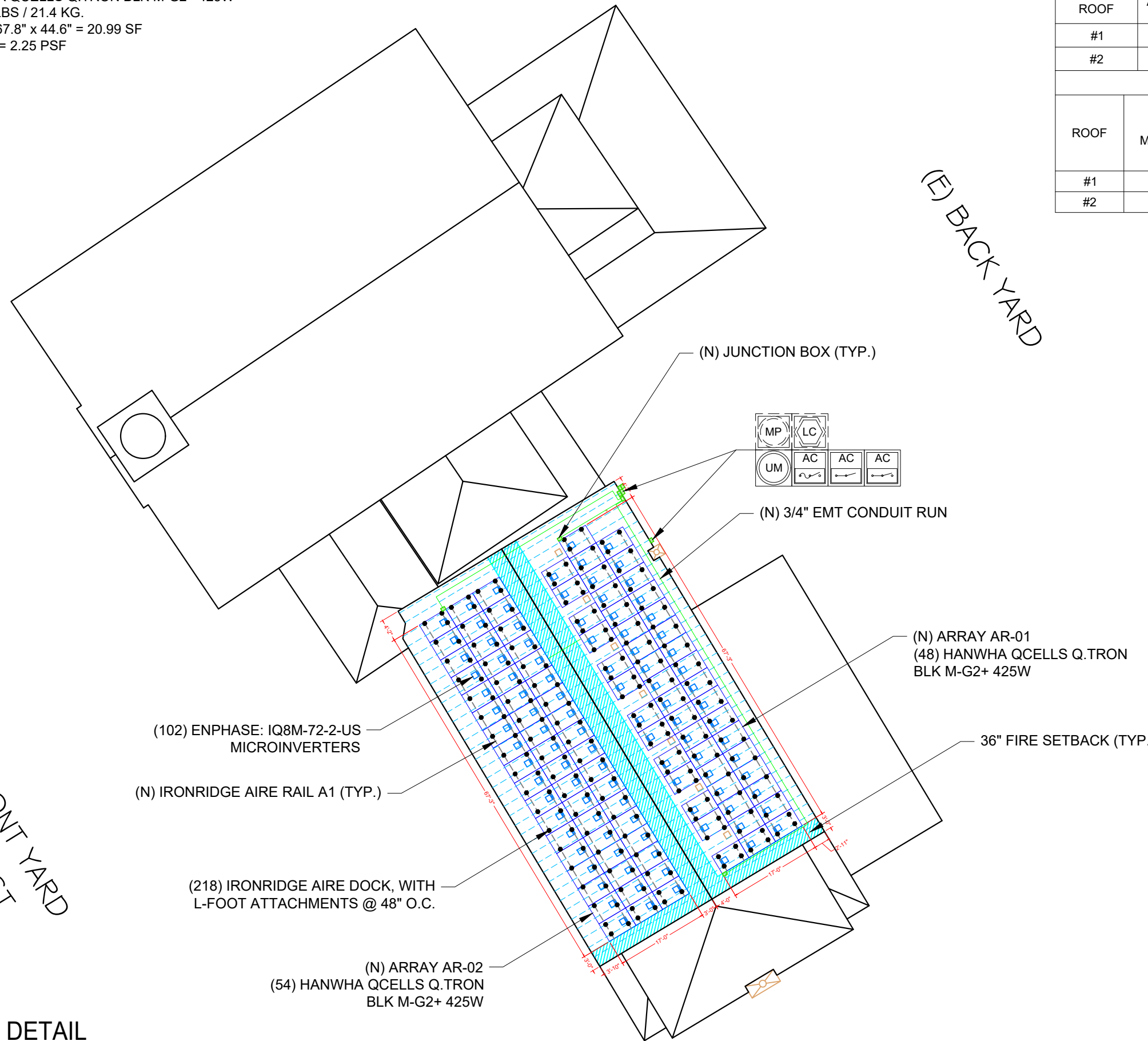
MODULE TYPE, DIMENSIONS & WEIGHT

NUMBER OF MODULES = 102 MODULES
 MODULE TYPE = HANWHA QCELLS Q.TRON BLK M-G2+ 425W
 MODULE WEIGHT = 47.2 LBS / 21.4 KG.
 MODULE DIMENSIONS = 67.8" x 44.6" = 20.99 SF
 UNIT WEIGHT OF ARRAY = 2.25 PSF



(E) FRONT YARD
 CHAPEL ST

(E) BACK YARD



ROOF DESCRIPTION				
ROOF TYPE			COMP. SHINGLE	
ROOF	ARRAY TILT	AZIMUTH	TRUSSES SIZE	TRUSSES SPACING
#1	27°	59°	2"X8"	24" O.C.
#2	27°	239°	2"X8"	24" O.C.
ARRAY AREA				
ROOF	# OF MODULES	ARRAY AREA (Sq. Ft.)	ROOF AREA (Sq. Ft.)	ROOF AREA COVERED BY ARRAY (%)
#1	48	2140.98	6677.88	32.06
#2	54			

603 SOLAR
 24 CHARTER ST.
 EXETER, NH 03833
 (603) 570-2607

REVISIONS		
DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

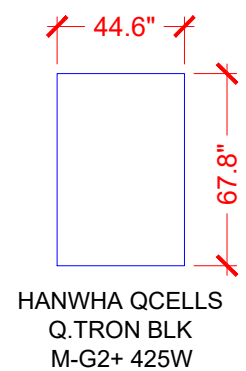
ST. JOHN'S EPISCOPAL CHURCH
 100 CHAPEL ST,
 PORTSMOUTH, NH 03801
 PHONE #: (603) 988-8347
 EMAIL: reginnhny@outlook.com
 43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
 STEVE

SHEET NAME
ARRAY DETAIL

SHEET SIZE
**ANSI B
 11" X 17"**

SHEET NUMBER
PV-2



(102) HANWHA QCELLS Q.TRON BLK M-G2+ 425W MODULE

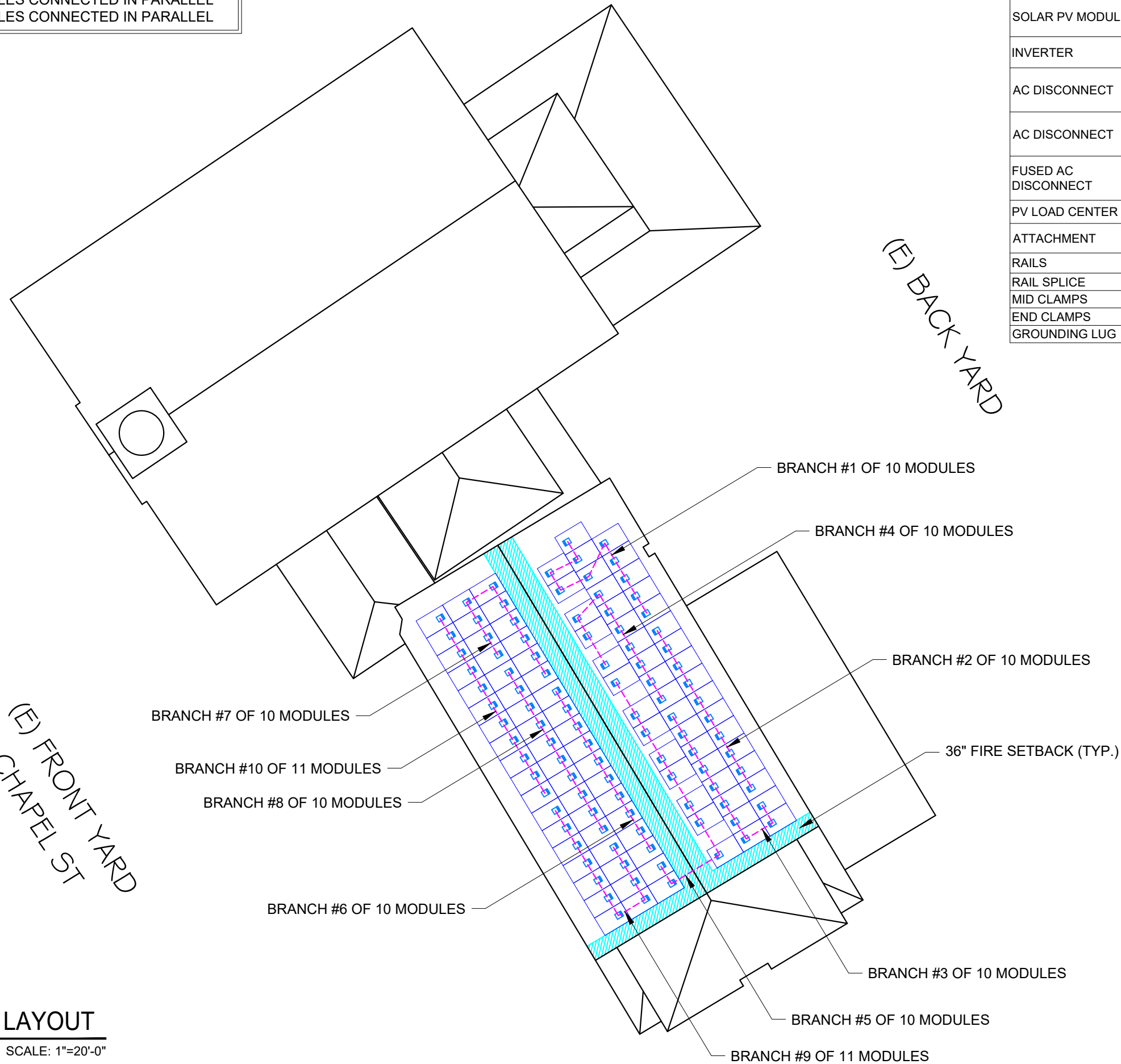
(8) BRANCH OF 10 MODULES CONNECTED IN PARALLEL

(2) BRANCH OF 11 MODULES CONNECTED IN PARALLEL



(E) FRONT YARD
CHAPEL ST

(E) BACK YARD



BILL OF MATERIALS		
EQUIPMENT	QTY	DESCRIPTION
SOLAR PV MODULE	102	HANWHA QCELLS Q.TRON BLK M-G2+ 425W MODULES
INVERTER	102	ENPHASE: IQ8M-72-2-US MICROINVERTERS
AC DISCONNECT	1	AC DISCONNECT: 240V, 200AMP, NEMA 3R, UL LISTED LOCKABLE AND NON-FUSIBLE
AC DISCONNECT	1	AC DISCONNECT: 240V, 200AMP, LOCKABLE KNIFE HANDLE DISCONNECT
FUSED AC DISCONNECT	1	AC DISCONNECT: 240V, 200AMP, FUSED NEMA 3R, UL LISTED WITH 175A FUSES
PV LOAD CENTER	1	200A PV LOAD CENTER, 240V
ATTACHMENT	218	IRONRIDGE AIRE DOCK, WITH L-FOOT ATTACHMENTS
RAILS	51	IRONRIDGE AIRE RAIL A1 170"
RAIL SPLICE	40	SPLICE KIT
MID CLAMPS	180	MID CLAMP
END CLAMPS	48	END CLAMP
GROUNDING LUG	12	IRONRIDGE LUG



603 SOLAR
24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
100 CHAPEL ST,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginnhny@outlook.com
43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

STRING LAYOUT

SHEET SIZE

**ANSI B
11" X 17"**

SHEET NUMBER

PV-2A

1 STRING LAYOUT

PV-2A

SCALE: 1"=20'-0"

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
 100 CHAPEL ST.
 PORTSMOUTH, NH 03801
 PHONE #: (603) 988-8347
 EMAIL: regimhny@outlook.com
 43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

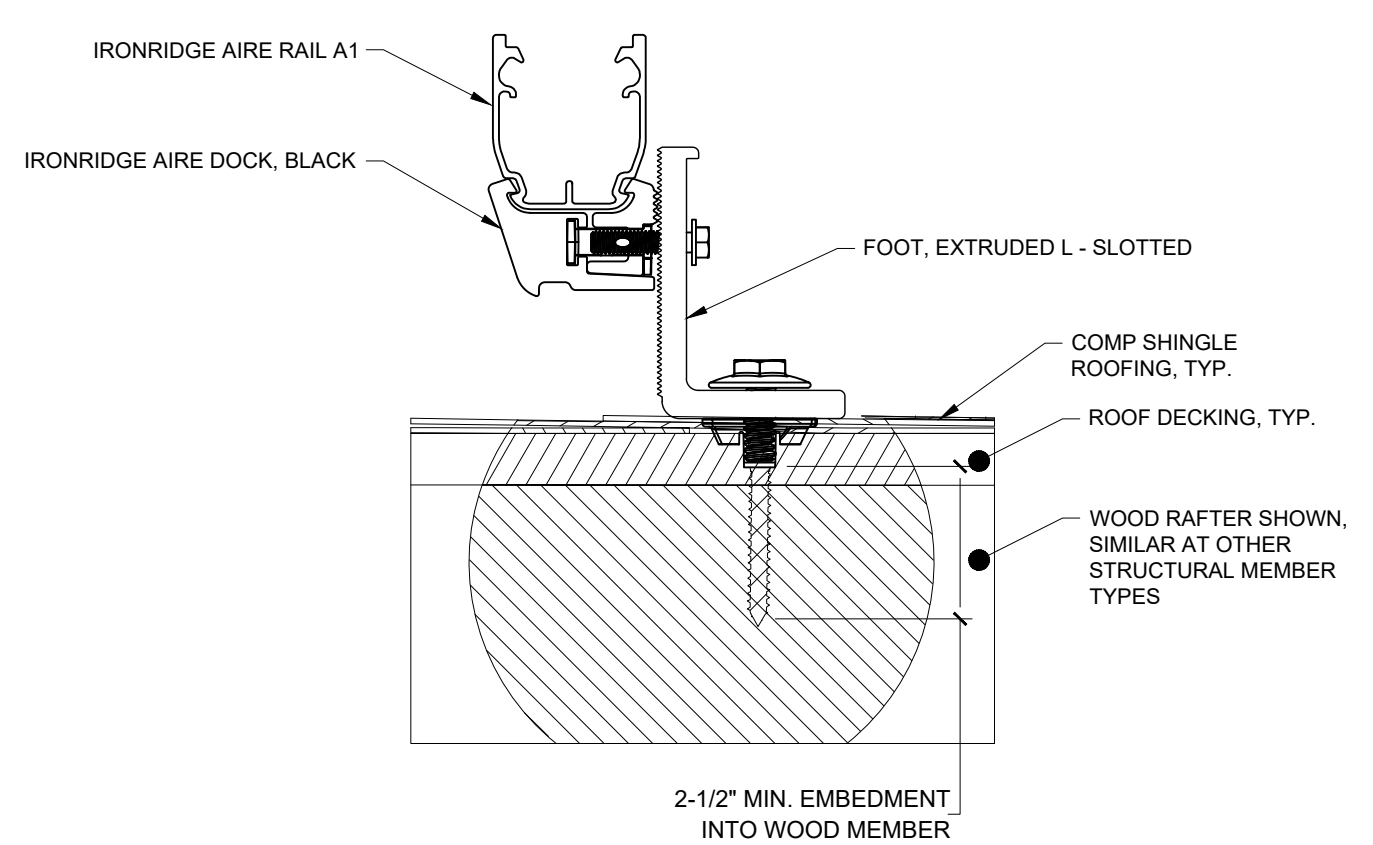
ATTACHMENT DETAILS

SHEET SIZE

**ANSI B
 11" X 17"**

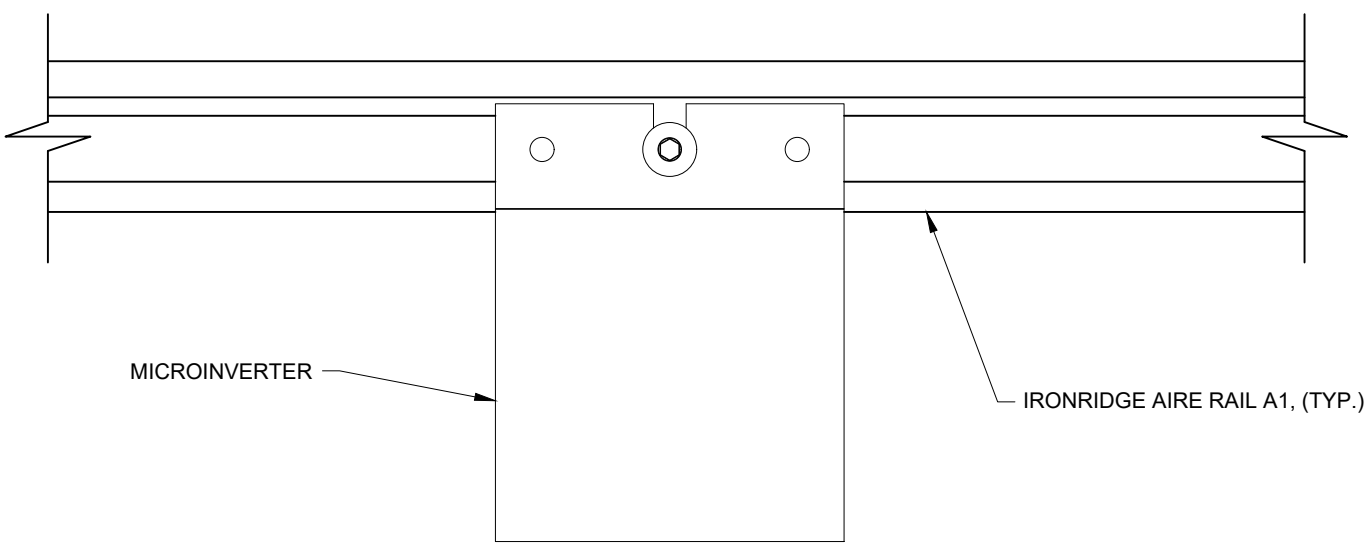
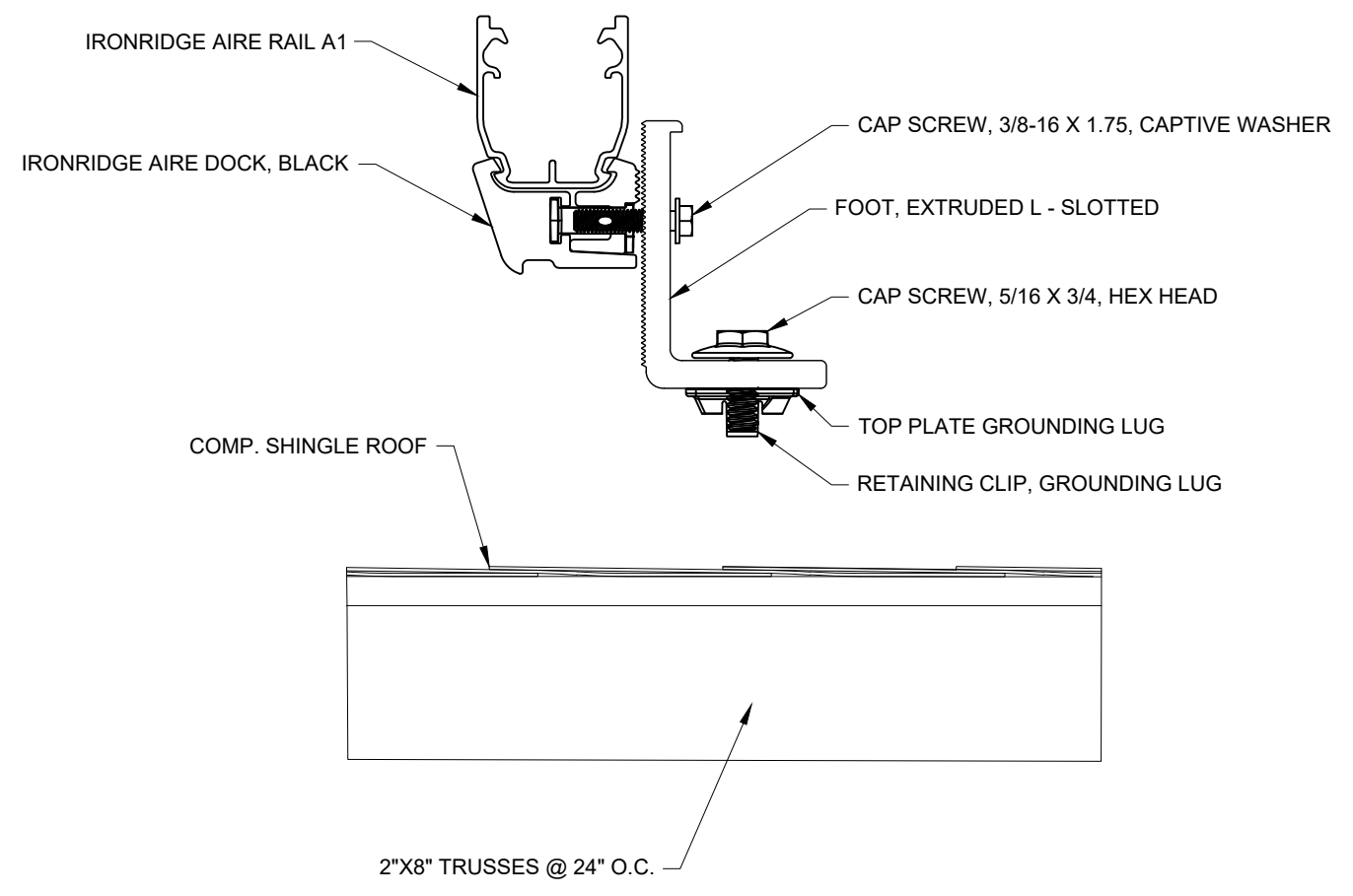
SHEET NUMBER

PV-3



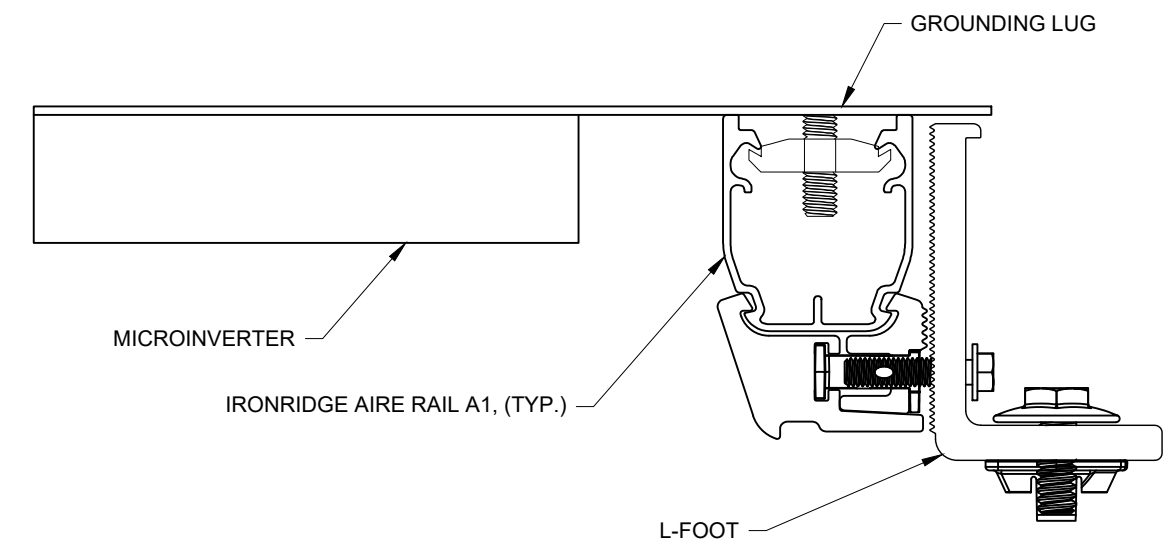
1 ATTACHMENT DETAIL

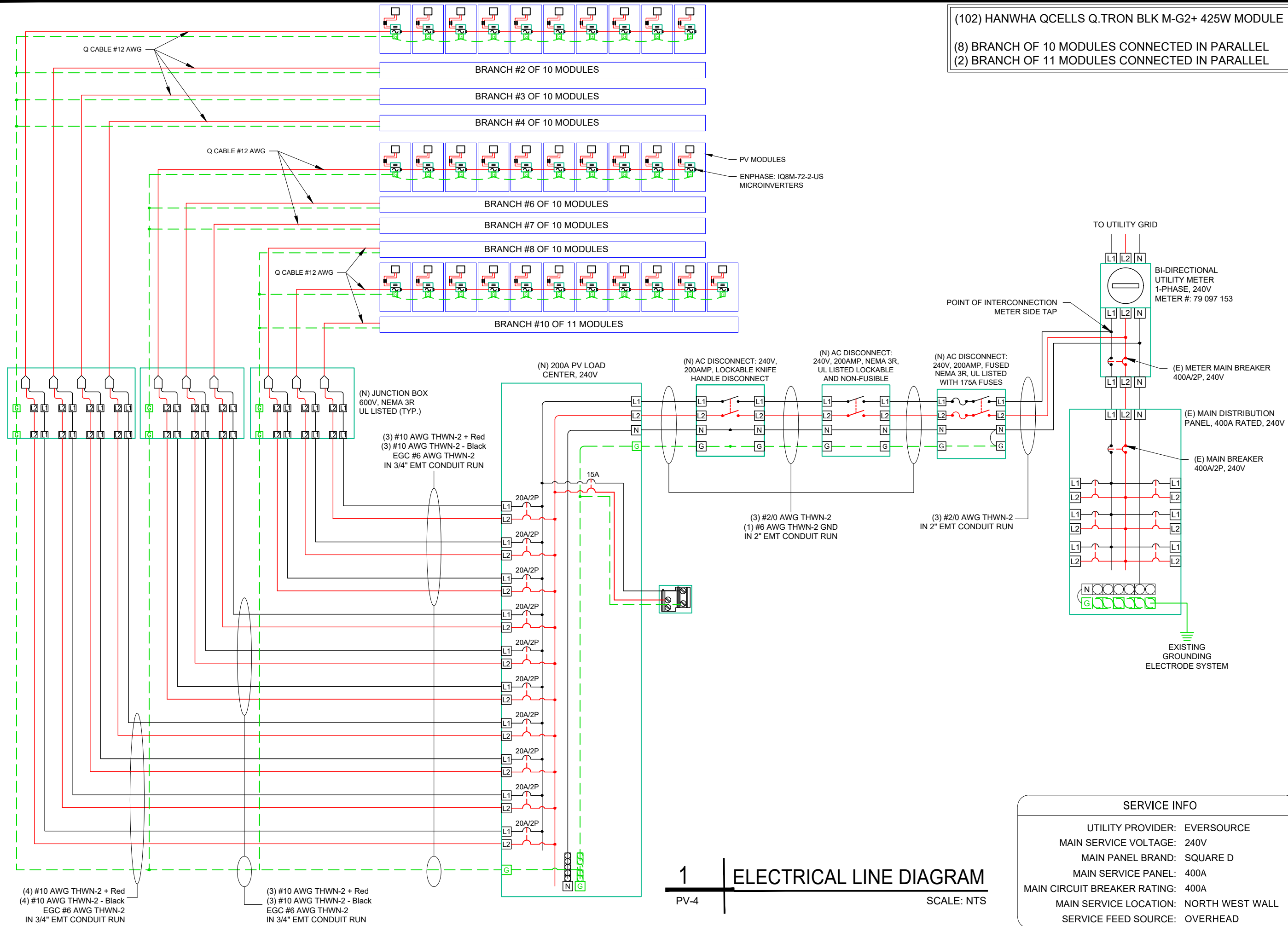
PV-3 SCALE: NTS



2 MICROINVERTER DETAIL

PV-3 SCALE: NTS





(102) HANWHA QCELLS Q.TRON BLK M-G2+ 425W MODULE
 (8) BRANCH OF 10 MODULES CONNECTED IN PARALLEL
 (2) BRANCH OF 11 MODULES CONNECTED IN PARALLEL



603 SOLAR
 24 CHARTER ST.
 EXETER, NH 03833
 (603) 570-2607

REVISIONS		
DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
 100 CHAPEL ST.,
 PORTSMOUTH, NH 03801
 PHONE #: (603) 988-8347
 EMAIL: reginnhny@outlook.com
 43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
 STEVE

SHEET NAME
**ELECTRICAL
 LINE DIAGRAM**

SHEET SIZE
**ANSI B
 11" X 17"**

SHEET NUMBER
PV-4

SERVICE INFO	
UTILITY PROVIDER:	EVERSOURCE
MAIN SERVICE VOLTAGE:	240V
MAIN PANEL BRAND:	SQUARE D
MAIN SERVICE PANEL:	400A
MAIN CIRCUIT BREAKER RATING:	400A
MAIN SERVICE LOCATION:	NORTH WEST WALL
SERVICE FEED SOURCE:	OVERHEAD

1 | **ELECTRICAL LINE DIAGRAM**
 PV-4 | SCALE: NTS

AC CONDUCTOR AMPACITY CALCULATIONS: FROM ROOF TOP JUNCTION BOX TO PV LOAD CENTER

AMBIENT TEMPERATURE ADJUSTMENT FOR EXPOSED CONDUIT
PER NEC 310.15(B)(2)(c): + 22°
EXPECTED WIRE TEMP (°C): 33° + 22°
TEMP CORRECTION PER TABLE 310.15: 0.76
#OF CURRENT CARRYING CONDUCTORS: 8
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a): 0.70
CIRCUIT CONDUCTOR SIZE: 10 AWG
CIRCUIT CONDUCTOR AMPACITY: 40A

REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B):
1.25 X MAX AC OUTPUT CURRENT X # OF INVERTERS PER STRING
BRANCH #1 TO #8 : 1.25 X 1.35 X 10 = 16.88A
BRANCH #9 & #10 : 1.25 X 1.35 X 11 = 18.57A

DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.15
TEMP CORR. PER NEC TABLE 310.15 X
CONDUIT FILL CORR. PER NEC 310.15(B)(2)(a) X
CIRCUIT CONDUCTOR AMPACITY = 0.76 X 0.70 X 40 = 21.28A

AC CONDUCTOR AMPACITY CALCULATIONS: FROM PV LOAD CENTER TO FUSED AC DISCONNECT

EXPECTED WIRE TEMP (°C): 33°
TEMP CORRECTION PER NEC TABLE 310.15: 0.96
CIRCUIT CONDUCTOR SIZE: 2/0 AWG
CIRCUIT CONDUCTOR AMPACITY: 195A
#OF CURRENT CARRYING CONDUCTORS: 3
CONDUIT FILL PER NEC 310.15(B)(2)(a): 1
REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(B):
1.25 X OUTPUT CURRENT OF LOAD CENTER
1.25 X 1.35 X 102 = 172.13A

DERATED AMPACITY OF CIRCUIT CONDUCTORS PER NEC TABLE 310.15:
TEMP CORR. PER NEC 310.15 X
CONDUIT FILL CORR. PER NEC 310.15(B)(2)(a) X
CIRCUIT CONDUCTOR AMPACITY =
0.96 X 1.00 X 195 = 187.2A

ELECTRICAL NOTES

- NO DC CONDUCTORS PRESENT.
- ALL EQUIPMENT TO BE LISTED BY UL OR OTHER NRTL, AND LABELED FOR ITS APPLICATION.
- ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 V AND 90 DEGREE C WET ENVIRONMENT.
- WORKING CLEARANCES AROUND ALL NEW AND EXISTING ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.26.
- DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES AND STANDARDS.
- WHERE SIZES OF JUNCTION BOXES, RACEWAYS, AND CONDUITS ARE NOT SPECIFIED, THE CONTRACTOR SHALL SIZE THEM ACCORDINGLY.
- ALL WIRE TERMINATIONS SHALL BE APPROPRIATELY LABELED AND READILY VISIBLE.
- MODULE GROUNDING CLIPS TO BE INSTALLED BETWEEN MODULE FRAME AND MODULE SUPPORT RAIL, PER THE GROUNDING CLIP MANUFACTURER'S INSTRUCTION AND WHERE REQUIRED.
- MODULE SUPPORT RAIL TO BE BONDED TO COPPER G.E.C. VIA WEEB LUG OR ILSKO GBL-4DBT LAY-IN LUG.
- THE POLARITY OF THE GROUNDED CONDUCTORS IS NEGATIVE.

ENPHASE: IQ8M-72-2-US MICROINVERTERS

Input Data (DC)

Recommended Input Power (STC)	260-460W +
Maximum Input DC Voltage	60V
Peak Power Tracking Voltage	16V-58V
Operating Range	22V-58V
Min. / Max. Start Voltage	60V
Max DC Short Circuit Current	25A

Output Data (AC)

Maximum Output Power	325W
Nominal Output Current	1.35A
Nominal Voltage / Range	240V/211-264V
Nominal Frequency / Range	60 Hz
Extended Frequency / Range	47-68 Hz
Power Factor at rated power	1.0
Maximum unit per 20A Branch Circuit	11 (240 VAC)

PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
.80	4-6
.70	7-9
.50	10-20

AMBIENT TEMPERATURE SPECS	
RECORD LOW TEMP	-21°
AMBIENT TEMP (HIGH TEMP 2%)	33°
CONDUIT HEIGHT	0.5"
ROOF TOP TEMP	55°
CONDUCTOR TEMPERATURE RATE	90°



603 SOLAR
24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH

100 CHAPEL ST.
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: regimhny@outlook.com
43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

**ELECTRICAL
CALCULATION**

SHEET SIZE

**ANSI B
11" X 17"**

SHEET NUMBER

PV-5

! WARNING
ELECTRICAL SHOCK HAZARD
 TERMINALS ON LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL LOCATION:
 INVERTER(S), AC DISCONNECT(S), AC COMBINER PANEL (IF APPLICABLE).

! WARNING
DUAL POWER SUPPLY
SOURCES: UTILITY GRID AND PV SOLAR ELECTRIC SYSTEM

LABEL LOCATION:
 UTILITY SERVICE METER AND MAIN SERVICE PANEL.

! WARNING
INVERTER OUTPUT CONNECTION
DO NOT RELOCATE THIS OVERCURRENT DEVICE

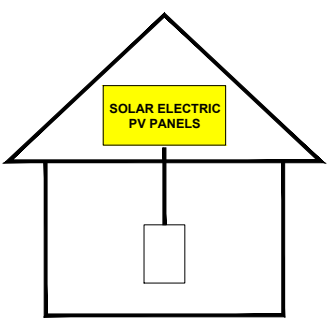
LABEL LOCATION:
 ADJACENT TO PV BREAKER (IF APPLICABLE).

! WARNING
PHOTOVOLTAIC SYSTEM COMBINER PANEL
DO NOT ADD LOADS

LABEL LOCATION:
 PHOTOVOLTAIC AC COMBINER (IF APPLICABLE).

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY.



LABEL LOCATION:
 ON OR NO MORE THAN 1 M (3 FT) FROM THE SERVICE DISCONNECTING MEANS TO WHICH THE PV SYSTEMS ARE CONNECTED.

PHOTOVOLTAIC AC DISCONNECT
 MAXIMUM AC OPERATING CURRENT: 172.13 AMPS
 NOMINAL OPERATING AC VOLTAGE: 240 VAC

LABEL LOCATION:
 AC DISCONNECT(S), PHOTOVOLTAIC SYSTEM POINT OF INTERCONNECTION.

DATA PER PANEL

NOMINAL OPERATING AC VOLTAGE -	240	V
NOMINAL OPERATING AC FREQUENCY-	60	Hz
MAXIMUM AC POWER-	325	VA
MAXIMUM AC CURRENT-	1.35	A
MAXIMUM OVERCURRENT DEVICE RATING FOR AC MODULE PROTECTION PER CIRCUIT-	20	A

LABEL LOCATION:
 COMBINER BOX

NOTES AND SPECIFICATIONS:

- SIGNS AND LABELS SHALL MEET THE REQUIREMENTS OF THE 2020 ARTICLE 110.21(B), UNLESS SPECIFIC INSTRUCTIONS ARE REQUIRED BY SECTION 690, OR IF REQUESTED BY THE LOCAL AHJ.
- SIGNS AND LABELS SHALL ADEQUATELY WARN OF HAZARDS USING EFFECTIVE WORDS, COLORS AND SYMBOLS.
- LABELS SHALL BE PERMANENTLY AFFIXED TO THE EQUIPMENT OR WIRING METHOD AND SHALL NOT BE HAND WRITTEN.
- LABEL SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.
- SIGNS AND LABELS SHALL COMPLY WITH ANSI Z535.4-2011, PRODUCT SAFETY SIGNS AND LABELS, UNLESS OTHERWISE SPECIFIED.
- DO NOT COVER EXISTING MANUFACTURER LABELS.



603 SOLAR
 24 CHARTER ST.
 EXETER, NH 03833
 (603) 570-2607

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
 100 CHAPEL ST,
 PORTSMOUTH, NH 03801
 PHONE #: (603) 988-8347
 EMAIL: reginnhny@outlook.com
 43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

PLACARDS

SHEET SIZE

ANSI B
 11" X 17"

SHEET NUMBER

PV-6

Q.TRON BLK M-G2+ SERIES

410-430Wp | 108 Cells
22.4% Maximum Module Efficiency

MODEL Q.TRON BLK M-G2+

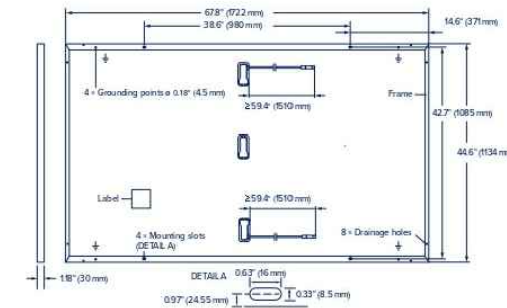


PRELIMINARY

Q.TRON BLK M-G2+ SERIES

Mechanical Specification

Format	67.8 in × 44.6 in × 1.18 in (including frame) (1722 mm × 1134 mm × 30 mm)
Weight	47.2 lbs (21.4 kg)
Front Cover	0.13 in (3.2 mm) thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodised aluminium
Cell	6 × 18 monocrystalline Q.ANTUM NEO solar half cells
Junction box	2.09-3.98 in × 1.26-2.36 in × 0.59-0.71 in (53-101 mm × 32-60 mm × 15-18 mm), Protection class IP67, with bypass diodes
Cable	4 mm ² Solar cable; (+) ≥ 59.4 in (1510 mm), (-) ≥ 59.4 in (1510 mm)
Connector	Stäubli MC4; IP68



Electrical Characteristics

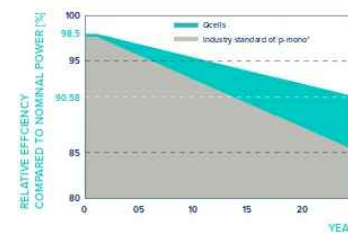
POWER CLASS		410	415	420	425	430
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC ¹ (POWER TOLERANCE +5W/-0W)						
Power at MPP ¹	P _{MPP} [W]	410	415	420	425	430
Short Circuit Current ¹	I _{SC} [A]	13.39	13.42	13.46	13.49	13.53
Open Circuit Voltage ¹	V _{OC} [V]	38.58	38.61	38.64	38.67	38.70
Current at MPP	I _{MPP} [A]	12.68	12.75	12.82	12.88	12.95
Voltage at MPP	V _{MPP} [V]	32.32	32.55	32.77	32.98	33.20
Efficiency ¹	η [%]	≥ 21.4	≥ 21.6	≥ 21.9	≥ 22.2	≥ 22.4

MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT²

Power at MPP	P _{MPP} [W]	310.0	313.8	317.6	321.4	325.2
Short Circuit Current	I _{SC} [A]	10.79	10.82	10.84	10.87	10.90
Open Circuit Voltage	V _{OC} [V]	36.61	36.63	36.66	36.69	36.71
Current at MPP	I _{MPP} [A]	9.97	10.03	10.09	10.15	10.21
Voltage at MPP	V _{MPP} [V]	31.09	31.29	31.48	31.66	31.85

¹Measurement tolerances P_{MPP} ± 3%; I_{SC}; V_{OC} ± 5% at STC: 1000 W/m², 25 ± 2°C, AM 1.5 according to IEC 60904-3 • 2800 W/m², NMOT, spectrum AM 1.5

Qcells PERFORMANCE WARRANTY

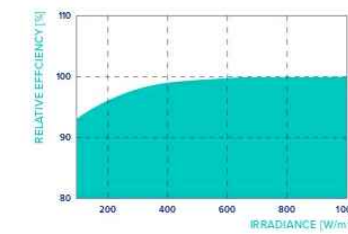


At least 98.5% of nominal power during first year. Thereafter max. 0.33% degradation per year. At least 95.53% of nominal power up to 10 years. At least 90.58% of nominal power up to 25 years.

All data within measurement tolerances. Full warranties in accordance with the warranty terms of the Qcells sales organisation of your respective country.

¹Standard terms of guarantee for the 5 PV companies with the highest production capacity in 2021 (February 2021)

PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25°C, 1000 W/m²).

TEMPERATURE COEFFICIENTS

Temperature Coefficient of I _{SC}	α [%/K]	+0.04	Temperature Coefficient of V _{OC}	β [%/K]	-0.24
Temperature Coefficient of P _{MPP}	γ [%/K]	-0.30	Nominal Module Operating Temperature	NMOT [°F]	109 ± 5.4 (43 ± 3 °C)

Properties for System Design

Maximum System Voltage	V _{sys} [V]	1000 (IEC)/1000 (UL)	PV module classification	Class II
Maximum Series Fuse Rating	[A DC]	20	Fire Rating based on ANSI/UL 61730	C / TYPE 2
Max. Design Load, Push/Pull ²	[lbs / ft ²]	75 (3600 Pa) / 50 (2400 Pa)	Permitted Module Temperature on Continuous Duty	-40°F up to +185°F (-40°C up to +85°C)
Max. Test Load, Push/Pull ³	[lbs / ft ²]	113 (5400 Pa) / 75 (3600 Pa)		

³ See Installation Manual

Qualifications and Certificates

Quality Controlled PV - TÜV Rheinland; IEC 61215:2016; IEC 61730:2016. This data sheet complies with DIN EN 50380.



Qcells pursues minimizing paper output in consideration of the global environment.

Note: Installation instructions must be followed. Contact our technical service for further information on approved installation of this product.
Hanwha Q CELLS America Inc. 400 Spectrum Center Drive, Suite 1400, Irvine, CA 92618, USA | TEL: +1 949 748 99 96 | EMAIL: hcq-inquiry@qcells.com | WEB: www.qcells.com



High performance Qcells N-type solar cells

Q.ANTUM NEO Technology with optimized module layout boosts module efficiency up to 22.4%.



A reliable investment

Inclusive 25-year product warranty and 25-year linear performance warranty¹.



Enduring high performance

Long-term yield security with Anti LeTID Technology, Anti PID Technology², Hot-Spot Protect.



Extreme weather rating

High-tech aluminium alloy frame, certified for high snow (5400 Pa) and wind loads (3600 Pa).



Innovative all-weather technology

Optimal yields, whatever the weather with excellent low-light and temperature behaviour.



The most thorough testing programme in the industry

Qcells is the first solar module manufacturer to pass the most comprehensive quality programme in the industry: The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.

¹ See data sheet on rear for further information.

² APT test conditions according to IEC/TS 62804-1:2015, method A (-1500V, 96 h)

The ideal solution for:



603 SOLAR
24 CHARTER ST.
EXETER, NH 03833
(603) 570-2607

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
100 CHAPEL ST.,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginnhny@outlook.com
43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-7

Specifications subject to technical changes © Qcells Q.TRON_BLK_M-G2+_series_410-430_2022-09_Rev01.NA



IQ8M and IQ8A Microinverters

Our newest IQ8 Microinverters are the industry's first microgrid-forming, software defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high speed digital logic and has superfast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the IQ Battery, IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included O-DCC-2 adapter cable with plug-n-play MC4 connectors.



IQ8 Series Microinverters are UL listed as PV Rapid Shutdown Equipment and conform with various regulations, when installed according to manufacturer's instructions.

*Only when installed with IQ System Controller 2, meets UL 1741.
**IQ8M and IQ8A support split-phase, 240V installations only.

Easy to install

- Lightweight and compact with plug-n-play connectors
- Power Line Communication (PLC) between components
- Faster installation with simple two-wire cabling

High productivity and reliability

- Produce power even when the grid is down*
- More than one million cumulative hours of testing
- Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

Microgrid-forming

- Complies with the latest advanced grid support**
- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles
- Meets CA Rule 21 (UL 1741-SA) and IEEE 1547:2018 (UL 1741-SB 3rd Ed.)

Note:

IQ8 Microinverters cannot be mixed together with previous generations of Enphase microinverters (IQ7 Series, IQ6 Series, etc.) in the same system.

IQ8M and IQ8A Microinverters

INPUT DATA (DC)		IQ8M-72-2-US	IQ8A-72-2-US
Commonly used module pairings ¹	W	260 – 460	295 – 500
Module compatibility		54-cell / 108 half-cell, 60-cell / 120 half-cell, 66-cell / 132 half-cell and 72-cell / 144 half-cell	
MPPT voltage range	V	30 – 45	32 – 45
Operating range	V		16 – 58
Min. / Max. start voltage	V		22 / 58
Max. input DC voltage	V		60
Max. continuous input DC current	A		12
Max. input DC short-circuit current	A		25
Max. module I _{sc}	A		20
Overvoltage class DC port			II
DC port backfeed current	mA		0
PV array configuration		1x 1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	
OUTPUT DATA (AC)		IQ8M-72-2-US	IQ8A-72-2-US
Peak output power	VA	330	366
Max. continuous output power	VA	325	349
Nominal (L-L) voltage / range ²	V		240 / 211 – 264
Max. continuous output current	A	1.35	1.45
Nominal frequency	Hz		60
Extended frequency range	Hz		47 – 68
AC short circuit fault current over 3 cycles	Arms		2
Max. units per 20 A (L-L) branch circuit ³			11
Total harmonic distortion			<5%
Overvoltage class AC port			III
AC port backfeed current	mA		30
Power factor setting			1.0
Grid-tied power factor (adjustable)			0.85 leading – 0.85 lagging
Peak efficiency	%	97.8	97.7
CEC weighted efficiency	%	97.5	97
Night-time power consumption	mW		60
MECHANICAL DATA			
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)	
Relative humidity range		4% to 100% (condensing)	
DC Connector type		MC4	
Dimensions (H x W x D)		212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")	
Weight		1.08 kg (2.38 lbs)	
Cooling		Natural convection – no fans	
Approved for wet locations		Yes	
Pollution degree		PD3	
Enclosure		Class II double-insulated, corrosion resistant polymeric enclosure	
Environ. category / UV exposure rating		NEMA Type 6 / outdoor	
COMPLIANCE			
Certifications		CA Rule 21 (UL 1741-SA), UL 62109-1, IEEE 1547:2018 (UL 1741-SB 3 rd Ed.), FCC Part 15 Class B, ICES-0003 Class B, CAN / CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shutdown Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.	

(1) Pairing PV modules with wattage above the limit may result in additional clipping losses. See the compatibility calculator at <https://link.enphase.com/module-compatibility>. (2) Nominal voltage range can be extended beyond nominal if required by the utility. (3) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
100 CHAPEL ST,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginhhny@outlook.com
43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

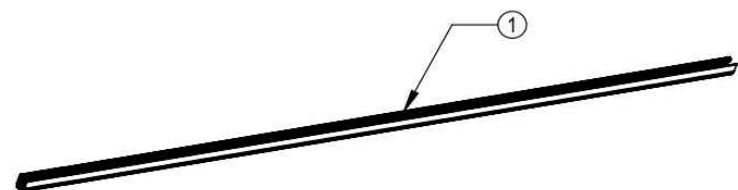
DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

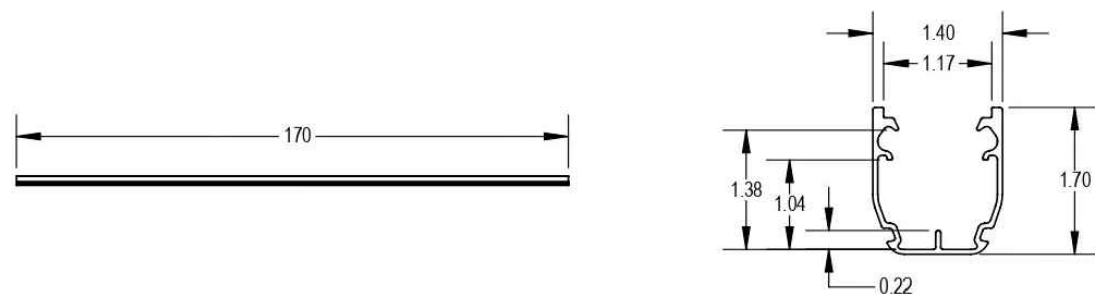
PV-8



ITEM NO	DESCRIPTION	QTY IN KIT
1	Aire Rail, A1, Black(or Clear), 170	1

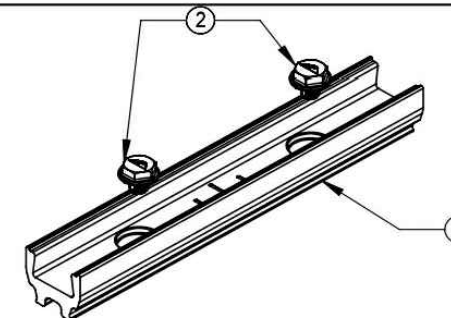
Part Number	Description
AE-A1-170B	AIRE RAIL, A1, BLACK, 170
AE-A1-170M	AIRE RAIL, A1, MILL, 170

1) Aire A1



Part Number	Material	Value
AE-A1-170B	6000-Series Aluminum	Black
AE-A1-170M	6000-Series Aluminum	Clear

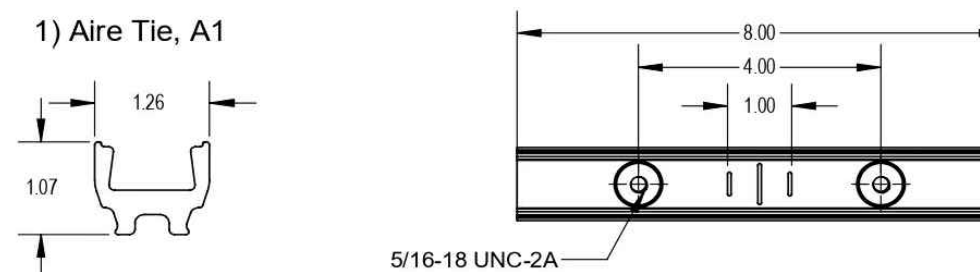
v1.0



ITEM NO	DESCRIPTION	QTY IN KIT
1	Aire Tie, A1	1
2	Aire Splc Bolt, Hex	2

Part Number	Description
AE-A1TIE-01-M1	AIRE TIE, A1 (BONDED SPLICE)

1) Aire Tie, A1



Property	Value
Material	6000 Series Aluminum
Finish	Mill

2) Aire Splc Bolt, Hex



Property	Value
Material	300 Series Stainless Steel
Finish	Clear

v1.0

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH

100 CHAPEL ST,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginnhny@outlook.com
43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

DATA SHEET

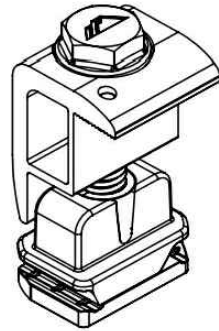
SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-9

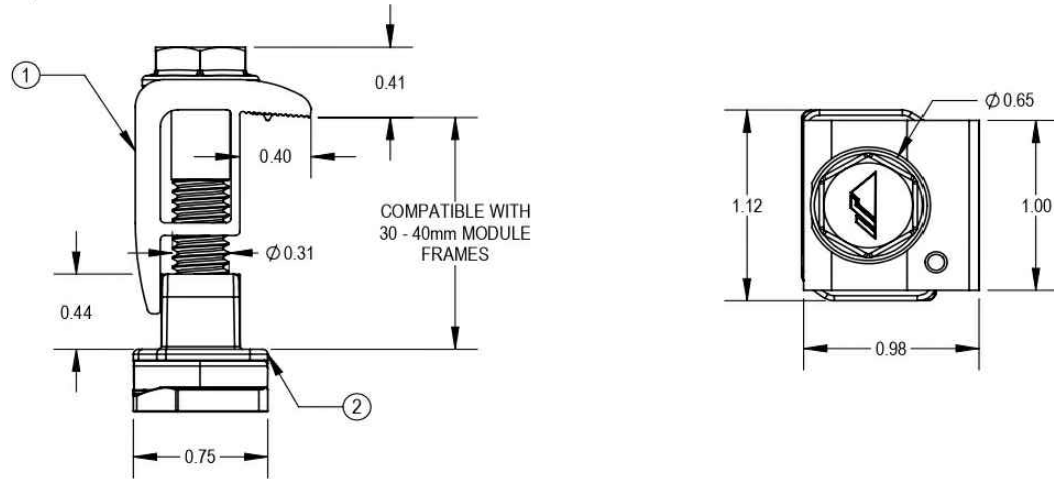
AIRE LOCK END



ITEM NO	DESCRIPTION	QTY IN KIT
1	Aire Lock End, Black	1

Part Number	Description
AE-END-01-B1	AIRE LOCK END, BLACK

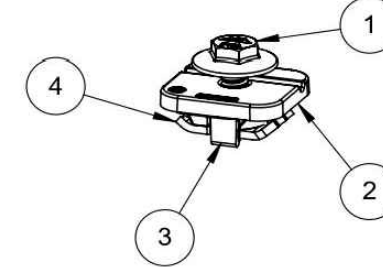
1) Aire Lock End



Item No	Material	Value
1	300 Series Stainless Steel	Clear and Black
2	Polypropelene	Black

v1.0

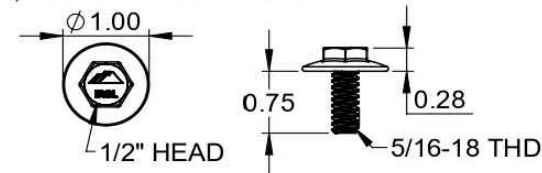
AIRE LUG



ITEM NO.	DESCRIPTION	QTY IN KIT
1	CAP SCREW, 5/16 X 3/4, HEX HEAD	1
2	TOP PLATE GROUNDING LUG	1
3	RETAINING CLIP, GROUNDING LUG	1
4	T-NUT, SHEET METAL	1

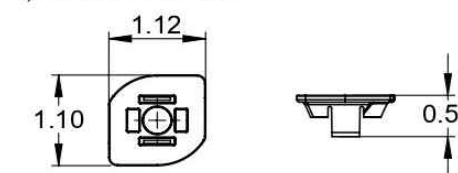
PART NUMBER	DESCRIPTION	WIRE SIZE RANGE (AWG)
AE-LUG-01-M1	AIRE LUG	6-10

1) CAP SCREW, 5/16 X 3/4



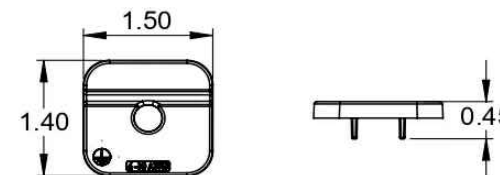
Property	Value
Material	300 Series Stainless Steel
Finish	Clear

3) RETAINING CLIP



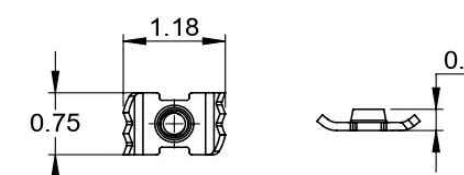
Property	Value
Material	Polypropylene
Finish	Black

2) TOP PLATE



Property	Value
Material	Tin Plated Aluminum
Finish	Clear Matte

4) T-NUT, SHEET METAL



Property	Value
Material	300 Series Stainless Steel
Finish	Clear

v1.0

REVISIONS

DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH

100 CHAPEL ST.,
PORTSMOUTH, NH 03801
PHONE #: (603) 988-8347
EMAIL: reginnhny@outlook.com
43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON

STEVE

SHEET NAME

DATA SHEET

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-10

ITEM NO	DESCRIPTION	QTY IN KIT
1	FOOT, EXTRUDED L - SLOTTED	4

PART NUMBER	DESCRIPTION
FM-LFT-003	Kit, 4Pcs, Slotted L-Foot, Mill
FM-LFT-003-B	Kit, 4Pcs, Slotted L-Foot, Black

1) Foot, Extruded L - Slotted

v1.11

REVISIONS		
DESCRIPTION	DATE	REV

PROJECT NAME & ADDRESS

ST. JOHN'S EPISCOPAL CHURCH
 100 CHAPEL ST,
 PORTSMOUTH, NH 03801
 PHONE #: (603) 988-8347
 EMAIL: reginnhny@outlook.com
 43.35kW DC PHOTOVOLTAIC SYSTEM

SALES PERSON
 STEVE

SHEET NAME
DATA SHEET

SHEET SIZE
**ANSI B
 11" X 17"**

SHEET NUMBER
PV-11

Project Address: 235 MARCY STREET

Permit Requested: CERTIFICATE OF APPROVAL

Application: PUBLIC HEARING 7

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 3,688 SF +/-
- Estimated Age of Structure: c.1850
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Marcy Street
- Unique Features: Asphalt single siding
- Neighborhood Association: South End



1) EXISTING WEST ELEVATION



2) EXISTING SOUTH ELEVATION

B. Proposed Work: For exterior renovations (replace siding, windows, repair or replace trim and casings, install wood corner boards and install copper gutter system). This proposal also includes the removal of the 1-story rear shed and add a new 2-story rear garage addition.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace windows, siding, install gutter system and wood corner boards.
- Remove 1 story rear shed and construct 2 story rear garage addition.
- This project has received Board of Adjustment Approval.



PROPOSED SOUTHEAST VIEW



D. Purpose and Intent:

25. Preserve the integrity of the District
26. Assessment of the Historical Significance
27. Conservation and enhancement of property values
28. Maintain the special character of the District
29. Complement and enhance the architectural and historic character
30. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

17. Consistent with special and defining character of surrounding properties
18. Compatibility of design with surrounding properties
19. Relation to historic and architectural value of existing structures
20. Compatibility of innovative technologies with surrounding properties



1) EXISTING WEST ELEVATION



2) EXISTING SOUTH ELEVATION



3) EXISTING EAST ELEVATION



4) EXISTING NORTH ELEVATION



LETTER OF AGENDA

We respectfully submit this Application for Approval for the Renovation of the existing Historic structure at 235 Marcy Street, demolition of an existing one-story unconditioned shed, and the addition of an attached garage with living space above.

Renovation of the Historic structure at 235 Marcy Street
Considerations:

1. Remove asphalt siding and roofing.
2. Restore and reinstall windows found to be original.
3. Repair or replace in kind existing original trim and casings.
4. Install new clapboard siding and corner boards.
5. Remove existing attached one story unconditioned shed on loose brick.
6. Install new k-style gutters and down spouts.

Addition of an Attached Garage with Living Space above
Considerations:

1. Construct new attached single car garage.
2. Replicate existing trim, rake, and eave details.
3. Install new k-style gutters and down spouts.
4. Install new fiberglass windows as required.

Thank you for your consideration.
Sincerely, Carla Goodknight, AIA, NCARB
Principal, CJ Architects

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

AGENDA, AERIAL VIEW &
EXISTING ELEVATIONS
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 5, 2024



235 MARCY STREET



1) VIEW FROM SITE LOOKING NORTH



2) VIEW FROM SITE LOOKING SOUTH



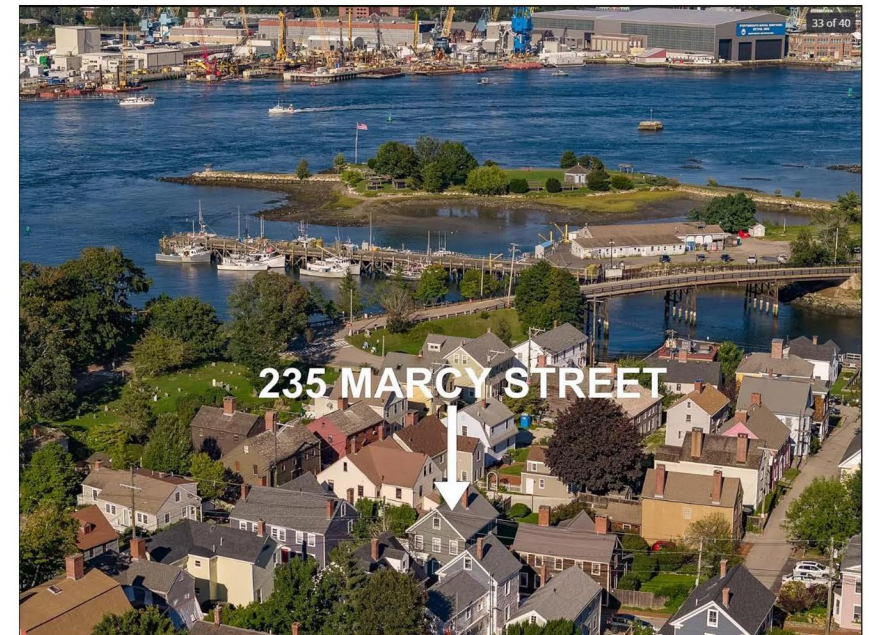
EXISTING AERIAL VIEW



3) VIEW FROM SOUTH OF MARCY STREET



4) VIEW FROM NORTH OF MARCY STREET



EXISTING AERIAL VIEW

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING STREET VIEWS

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 5, 2024



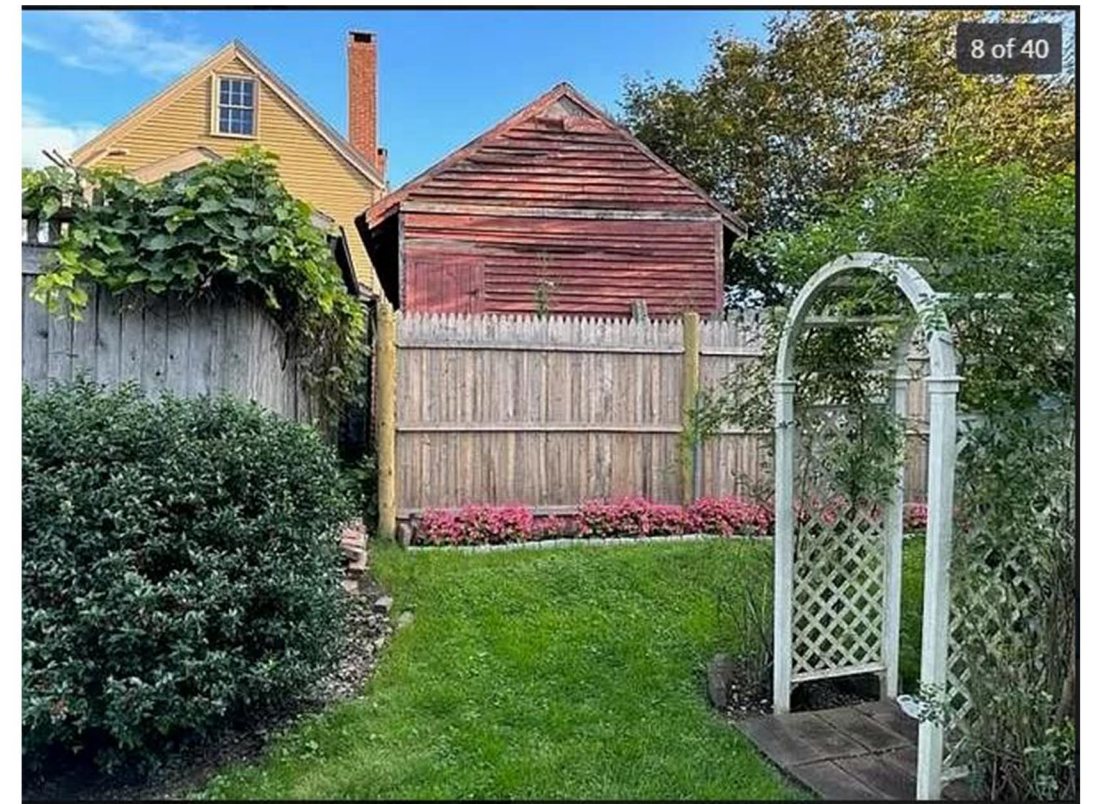
1.0



1) VIEW OF EXISTING FRONT ENTRY



2) VIEW OF TYPICAL ABUTTERS DORMERS



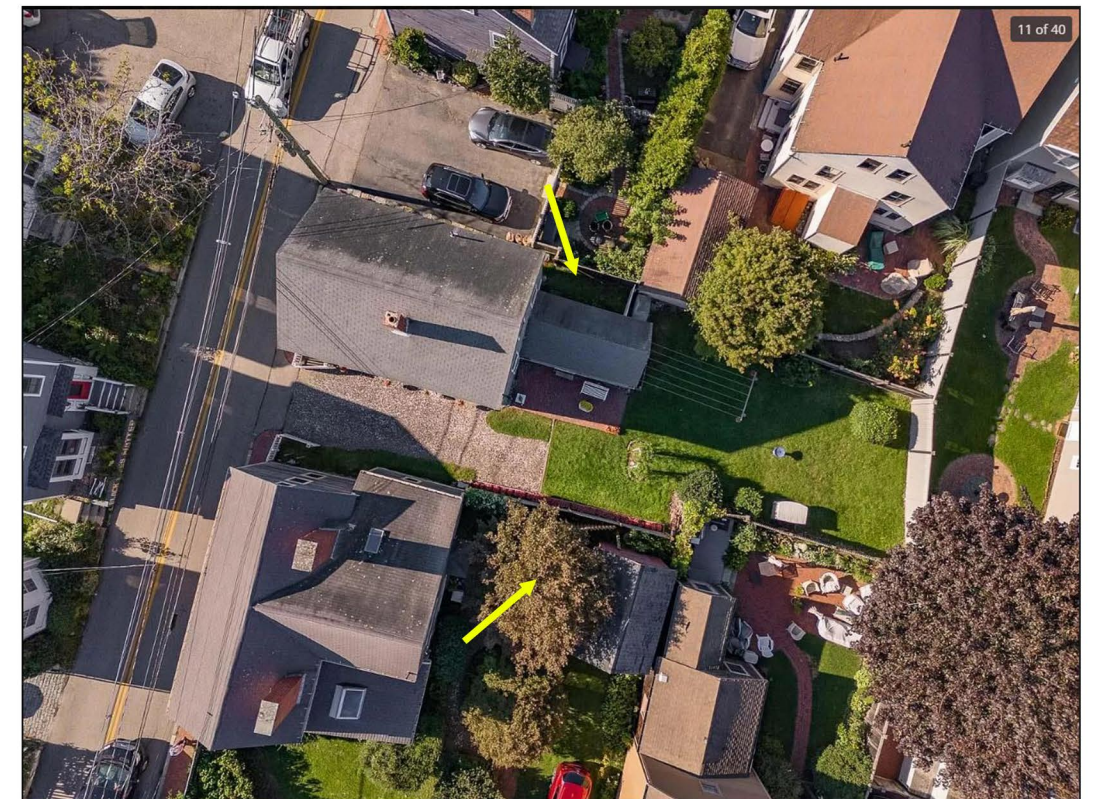
3) VIEW OF ABUTTERS GARAGE TO THE EAST



4) VIEW OF EXISTING WINDOW CASING



5) VIEW OF EXISTING FOUNDATION AT ATTACHED SHED



6) AERIAL VIEW OF ABUTTERS AND SURROUNDING GARAGES

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITIONS

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 5, 2024



2.0



EXISTING NORTHWEST VIEW



EXISTING SOUTHWEST VIEW



PROPOSED NORTHWEST VIEW



PROPOSED SOUTHWEST VIEW

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED VIEWS
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 5, 2024



3.0



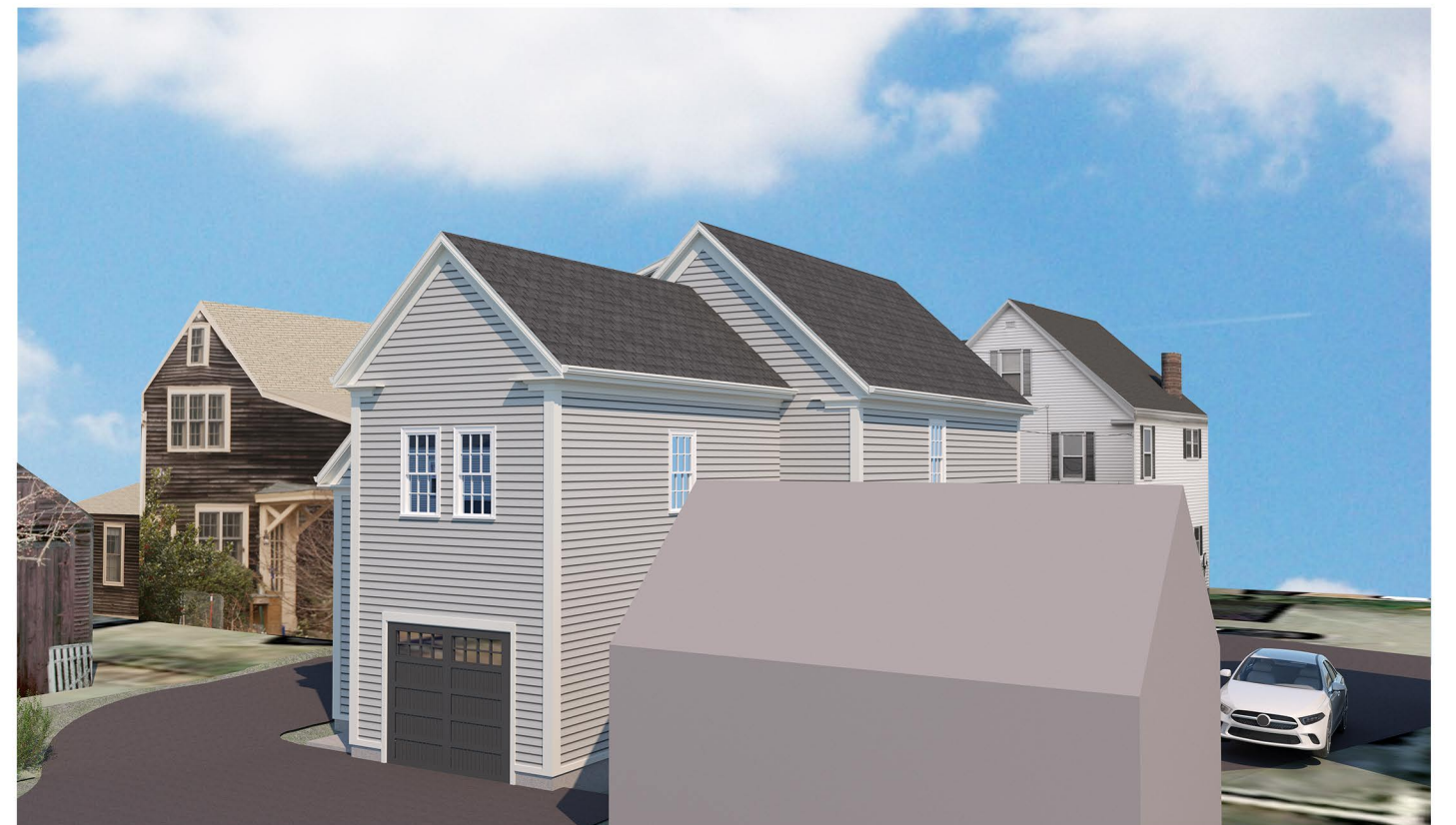
EXISTING SOUTHEAST VIEW



EXISTING NORTHEAST VIEW



PROPOSED SOUTHEAST VIEW



PROPOSED NORTHEAST VIEW

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED VIEWS

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 5, 2024





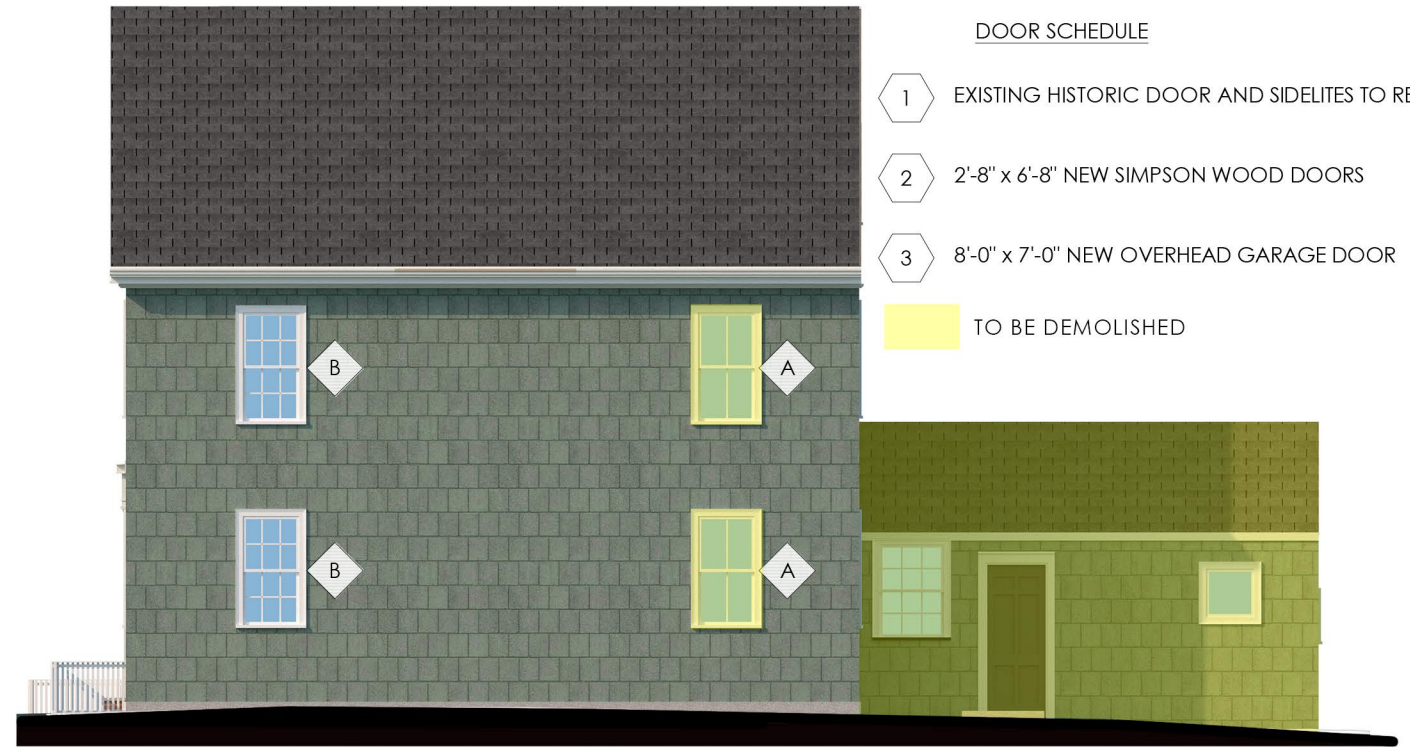
1 EXISTING WEST ELEVATION
1/8" = 1'-0"

WINDOW SCHEDULE

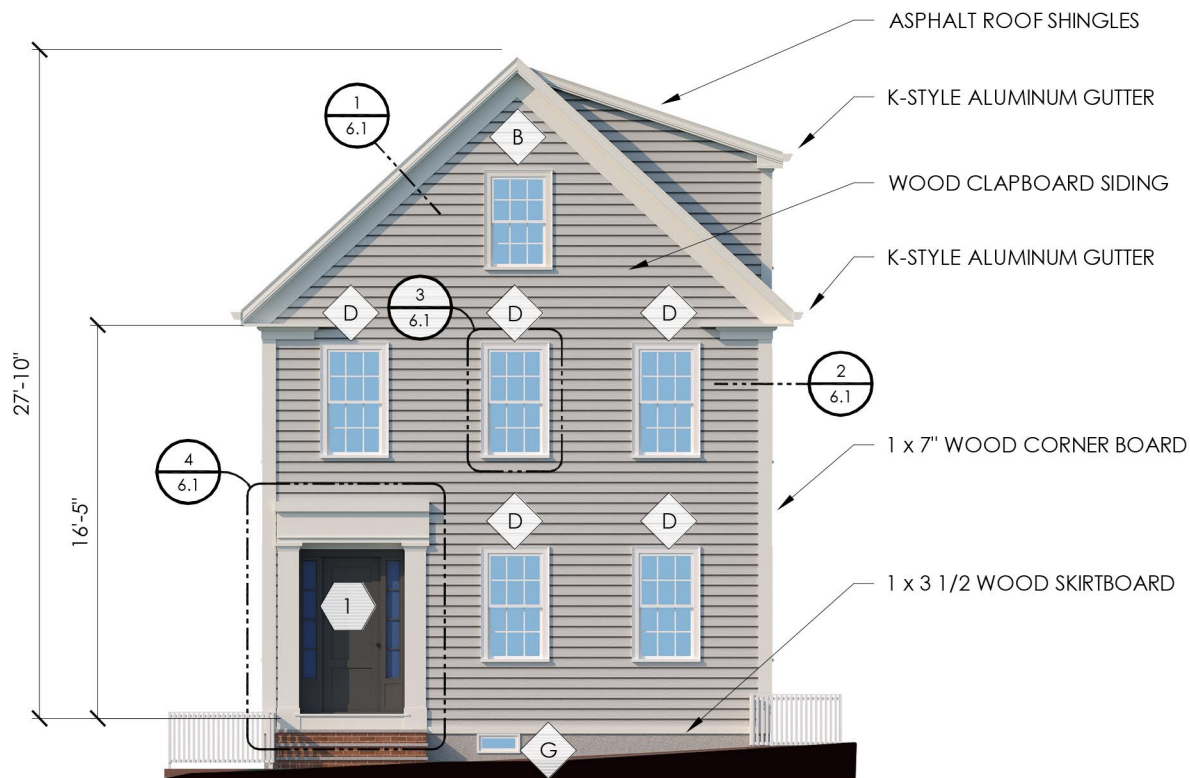
- A EXISTING REPLACEMENT WINDOWS TO BE DEMOLISHED
- B EXISTING HISTORIC WINDOWS TO BE RESTORED & REINSTALLED - SEE EXISTING AND PROPOSED ELEVATIONS FOR LOCATIONS
- C 2'-8" x 1'-7 1/8" NEW MARVIN ELEVATE FIXED WINDOW (ELCAP3319)
- D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3056)
- E 2'-5 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3048)
- F 2'-2 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH2648)
- G 2'-0" x 1'-7 1/8" NEW MARVIN ELEVATE FIXED WINDOW (ELCAP2519)

DOOR SCHEDULE

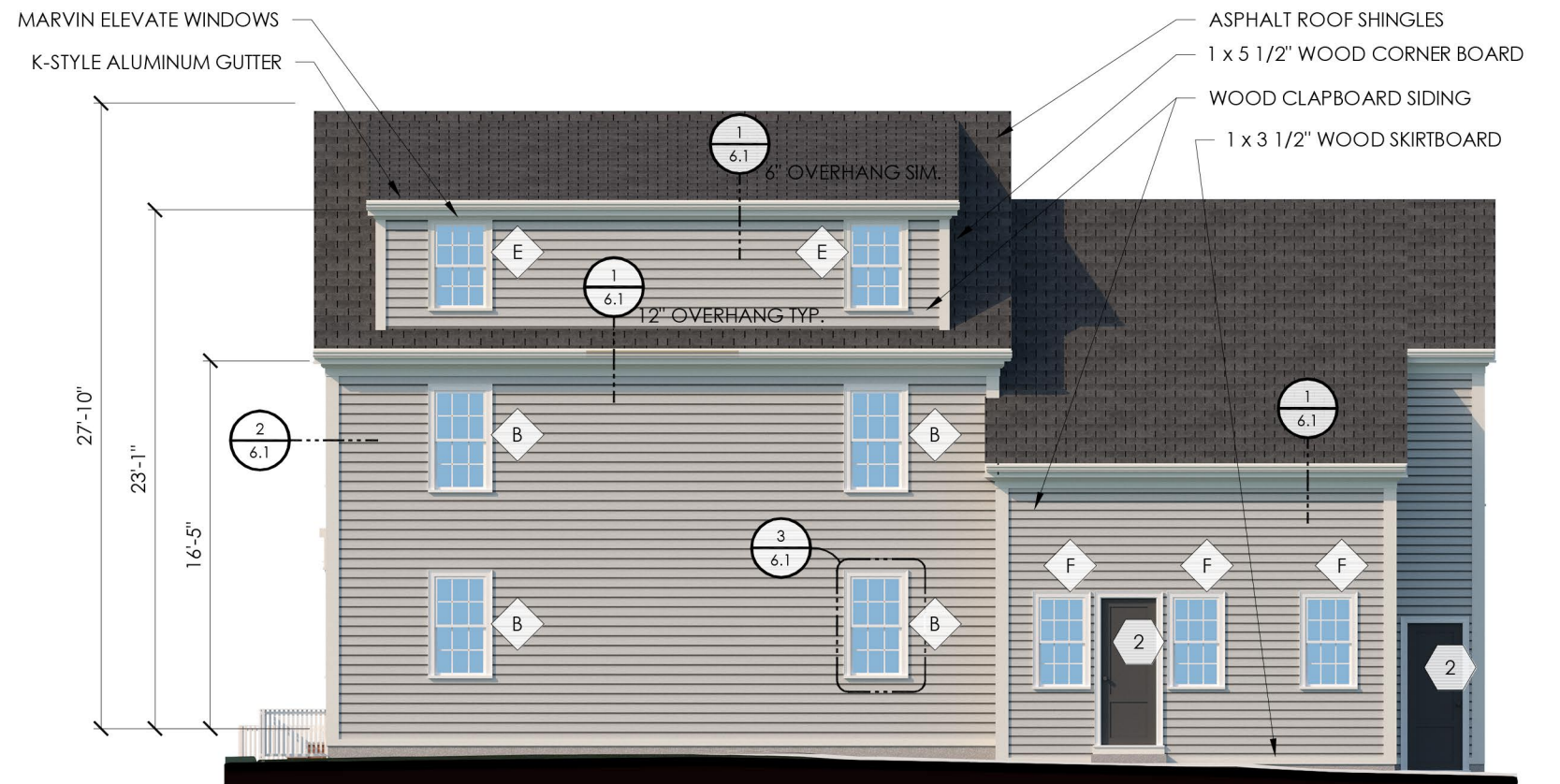
- 1 EXISTING HISTORIC DOOR AND SIDELITES TO REMAIN
- 2 2'-8" x 6'-8" NEW SIMPSON WOOD DOORS
- 3 8'-0" x 7'-0" NEW OVERHEAD GARAGE DOOR
- TO BE DEMOLISHED



3 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
1/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 5, 2024



4.0



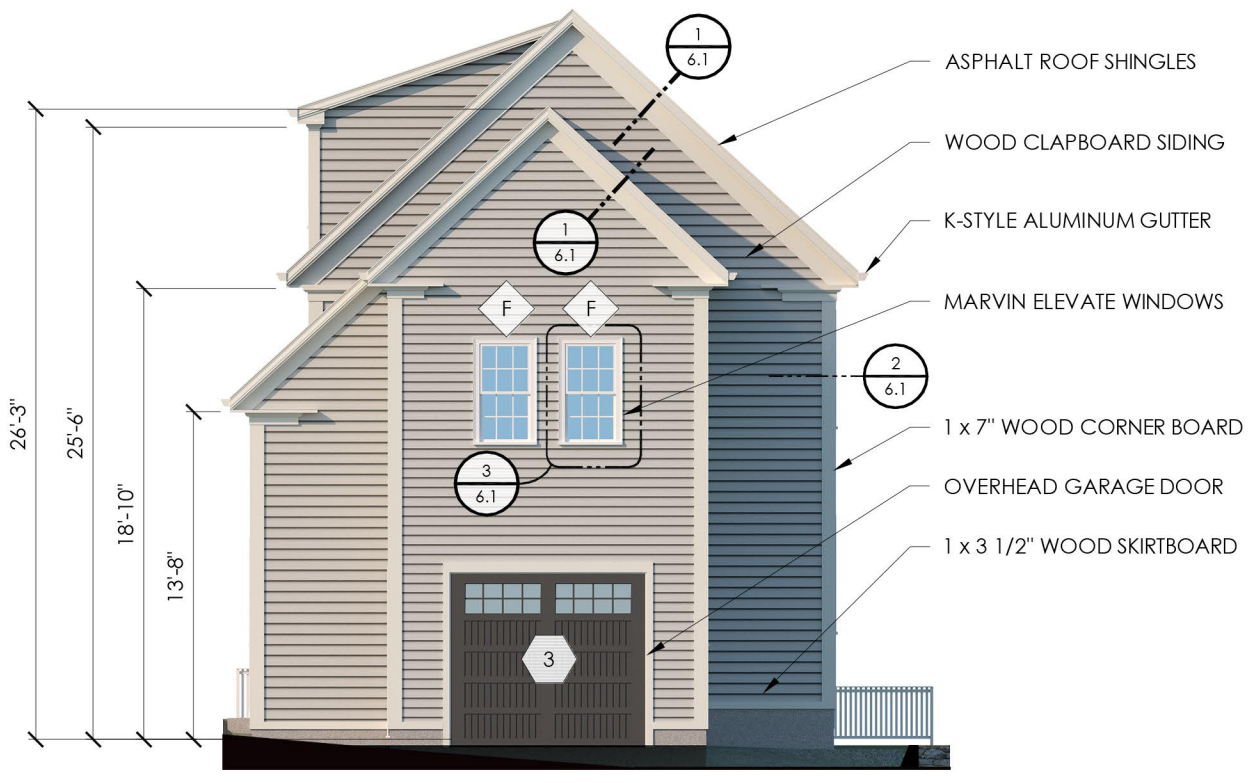
1 EXISTING EAST ELEVATION
1/8" = 1'-0"

- WINDOW SCHEDULE**
- A EXISTING REPLACEMENT WINDOWS TO BE DEMOLISHED
 - B EXISTING HISTORIC WINDOWS TO BE RESTORED & REINSTALLED - SEE EXISTING AND PROPOSED ELEVATIONS FOR LOCATIONS
 - C 2'-8" x 1'-7 1/8" NEW MARVIN ELEVATE FIXED WINDOW (ELCAP3319)
 - D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3056)
 - E 2'-5 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3048)
 - F 2'-2 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH2648)
 - G 2'-0" x 1'-7 1/8" NEW MARVIN ELEVATE FIXED WINDOW (ELCAP2519)

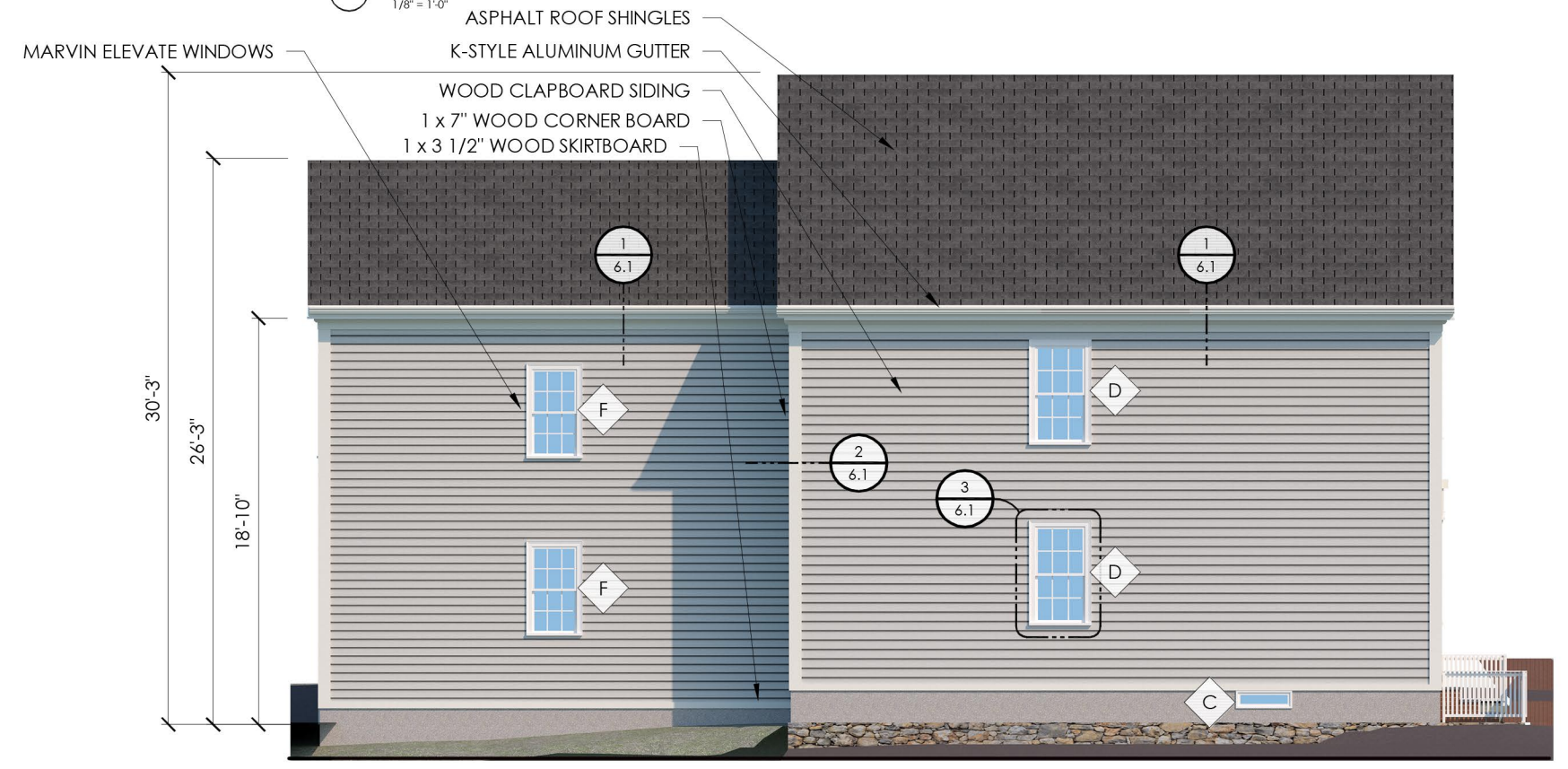
- DOOR SCHEDULE**
- 1 EXISTING HISTORIC DOOR AND SIDELITES TO REMAIN
 - 2 2'-8" x 6'-8" NEW SIMPSON WOOD DOORS
 - 3 8'-0" x 7'-0" NEW OVERHEAD GARAGE DOOR
- TO BE DEMOLISHED



3 EXISTING NORTH ELEVATION
1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
1/8" = 1'-0"

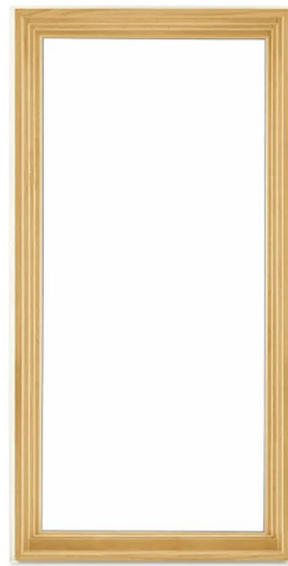


4 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

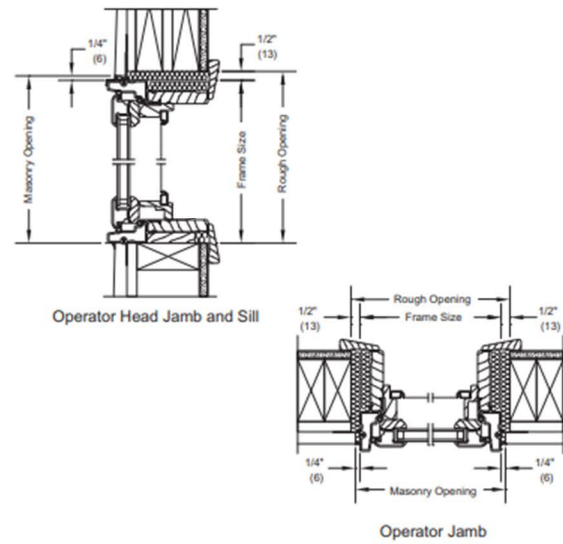
235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 5, 2024





Construction Details



FIXED WINDOWS

MANUFACTURER: MARVIN WINDOWS
COLOR: WHITE
SPECIFICATION: ELEVATE / FIBERGLASS EXT. & WOOD INT.

WINDOW SCHEDULE

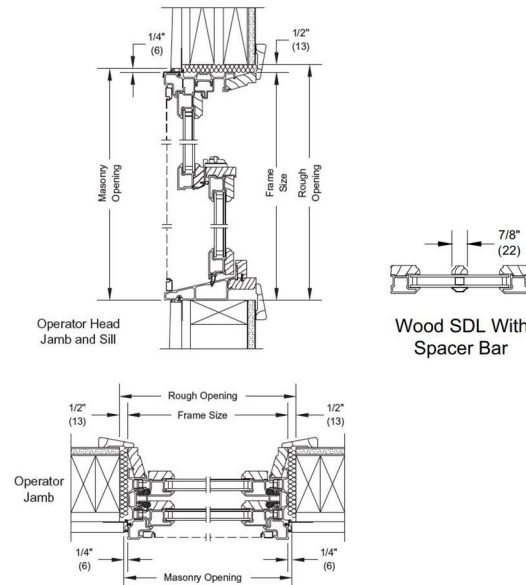
- ◇ A EXISTING REPLACEMENT WINDOWS TO BE DEMOLISHED
- ◇ B EXISTING HISTORIC WINDOWS TO BE RESTORED & REINSTALLED - SEE EXISTING AND PROPOSED ELEVATIONS FOR LOCATIONS
- ◇ C 2'-8" x 1'-7 1/8" NEW MARVIN ELEVATE FIXED WINDOW (ELCAP3319)
- ◇ D 2'-5 1/2" x 4'-7 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3056)
- ◇ E 2'-5 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH3048)
- ◇ F 2'-2 1/2" x 3'-11 3/4" NEW MARVIN ELEVATE DOUBLE HUNG WINDOWS (ELDH2648)
- ◇ G 2'-0" x 1'-7 1/8" NEW MARVIN ELEVATE FIXED WINDOW (ELCAP2519)

DOOR SCHEDULE

- ① EXISTING HISTORIC DOOR AND SIDELITES TO REMAIN
- ② 2'-8" x 6'-8" NEW SIMPSON WOOD DOORS
- ③ 8'-0" x 7'-0" NEW OVERHEAD GARAGE DOOR



Construction Details



DOUBLE HUNG WINDOWS

MANUFACTURER: MARVIN WINDOWS
COLOR: WHITE
SPECIFICATION: ELEVATE / FIBERGLASS EXT. & WOOD INT.



DOORS

MANUFACTURER: SIMPSON DOOR COMPANY
COLOR: T.B.D.
SPECIFICATION: TRADITIONAL SERIES / WOOD



OVERHEAD GARAGE DOOR

MANUFACTURER: C.H.I. OVERHEAD DOORS
COLOR: T.B.D.
SPECIFICATION: RECESSED PANEL / INSULATED FIBERGLASS

MATERIALS

235 MARCY STREET
 PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 5, 2024



6.0



SIDING

MANUFACTURER:
COLOR: T.B.D.
SPEC: PRIMED WOOD
CLAPBOARD 4" REVEAL
TO MATCH EXISTING



ROOFING

MANUF: CERTAINTEED - LANDMARK SERIES
COLOR: CHARCOAL BLACK
SPECIFICATION: ASPHALT ROOF SHINGLES



GUTTERS

MANUFACTURER: -
COLOR: T.B.D.
SPECIFICATION: K-STYLE ALUMINUM



1. RAKE & EAVE

ASSEMBLY TO MATCH EXISTING



2. CORNERBOARD

7" TO MATCH EXISTING



3. WINDOW CASING & SILL

MATCH EXISTING PROFILES

MATERIALS



EXISTING STEPS AND RAILS TO REMAIN

4. FRONT ENTRY TRIM

REPAIR

235 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 5, 2024



Project Address: 117 BOW STREET

Permit Requested: CERTIFICATE OF APPROVAL

Application: PUBLIC HEARING 8

A. Property Information - General:

Existing Conditions:

- Zoning District: CD 4
- Land Use: Residential, Condominium Assoc.
- Land Area: 17,859 SF +/-
- Estimated Age of Structure: c.1985
- Building Style: Greek Revival
- Number of Stories: 3
- Historical Significance: Not in 1984 Survey
- Public View of Proposed Work: Bow Street and Piscataqua River
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: For the removal and replacement of the existing slate roof with a faux slate roof.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replace the existing slate roof with a faux slate roof.



D. Purpose and Intent:

31. Preserve the integrity of the District
32. Assessment of the Historical Significance
33. Conservation and enhancement of property values
34. Maintain the special character of the District
35. Complement and enhance the architectural and historic character
36. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

21. Consistent with special and defining character of surrounding properties
22. Compatibility of design with surrounding properties
23. Relation to historic and architectural value of existing structures
24. Compatibility of innovative technologies with surrounding properties

Riveredge Condominium Association
C/O JPK Property Management
1 New Hampshire Ave. #125
Portsmouth, NH 03801

May 22, 2024

Pro Builders Inc.
Attention: Felipe

RE: Slate Roof Replacement 117 Bow Street Unit 201

Dear Felipe,

Per our recent site inspection and follow up discussions this correspondence shall serve as a letter of support that the Riveredge HOA approves of your outline to replace the existing slate shingle roof system on Unit 201 with the composite slate shingle product that was requested by unit owner, Sally Stebbins.

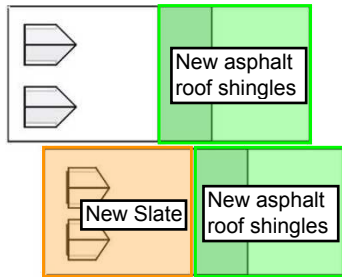
Please provide this letter to the city planning office as you obtain your permit and approval from the city. Please also inform the city that this project is considered an emergency request due to the failure of the current slate nails/fasteners which have rusted and are now breaking to the point where the slates are falling from the roof area and endangering the safety of those who are accessing the condominium unit.

If I can provide any further information to you please do not hesitate to contact me at your convenience.

Sincerely,


Jeff Sabin
Property Manager

603-766-4993 Office
603-674-2359 Mobile



In this 3D model, facets appear as semi-transparent to reveal overhangs.

PREPARED FOR

Contact: Felipe Ramos
 Company: Pro Builders Inc.
 Address: , MA
 Phone:

TABLE OF CONTENTS

Images	1
Length Diagram	4
Pitch Diagram	5
Area Diagram	6
Notes Diagram.....	7
Penetrations Diagram.....	8
Report Summary.....	9

MEASUREMENTS

Total Roof Area =1,613 sq ft
 Total Roof Facets =14
 Predominant Pitch =12/12
 Number of Stories >1
 Total Ridges/Hips =57 ft
 Total Valleys =31 ft
 Total Rakes =14 ft
 Total Eaves =96 ft
 Total Penetrations =13
 Total Penetrations Perimeter = 68 ft
 Total Penetrations Area = 23 sq ft

Measurements provided by www.eagleview.com



Certified Accurate

www.eagleview.com/Guarantee.aspx

IMAGES

The following aerial images show different angles of this structure for your reference.

Top View



IMAGES

North Side

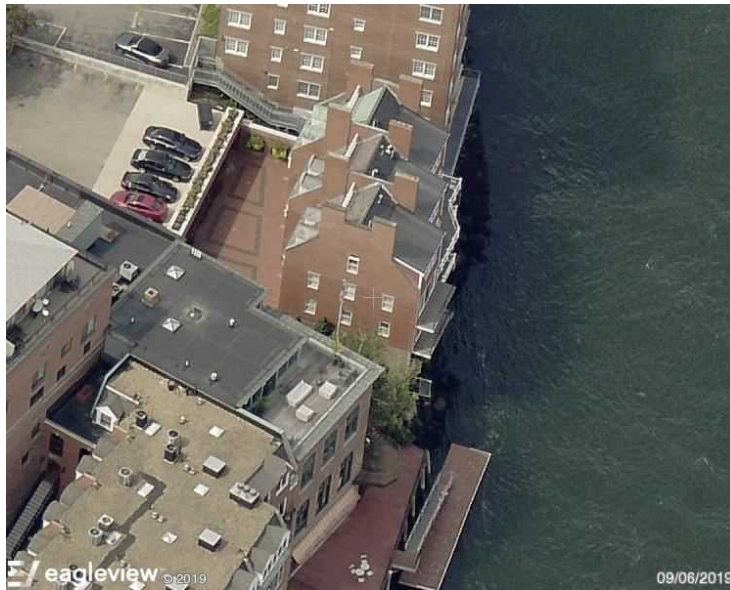


South Side

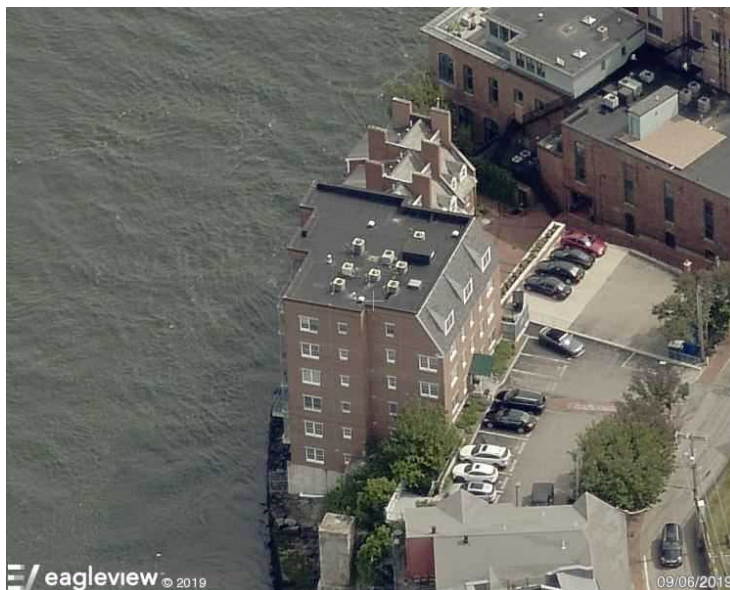


IMAGES

East Side

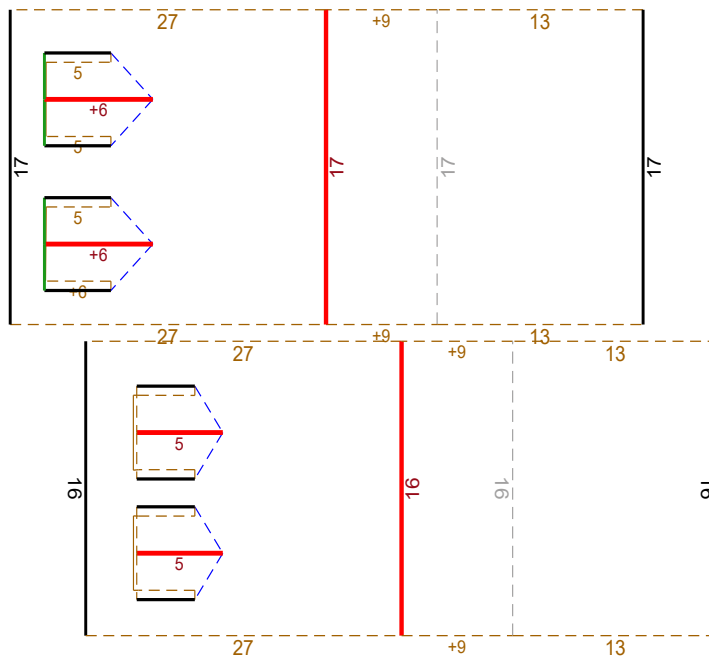


West Side

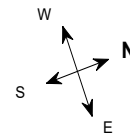


LENGTH DIAGRAM

Total Line Lengths:

Ridges = 57 ft
Hips = 0 ft
Valleys = 31 ft
Rakes = 14 ft
Eaves = 96 ft
Flashing = 20 ft
Step flashing = 251 ft
Parapets = 0 ft


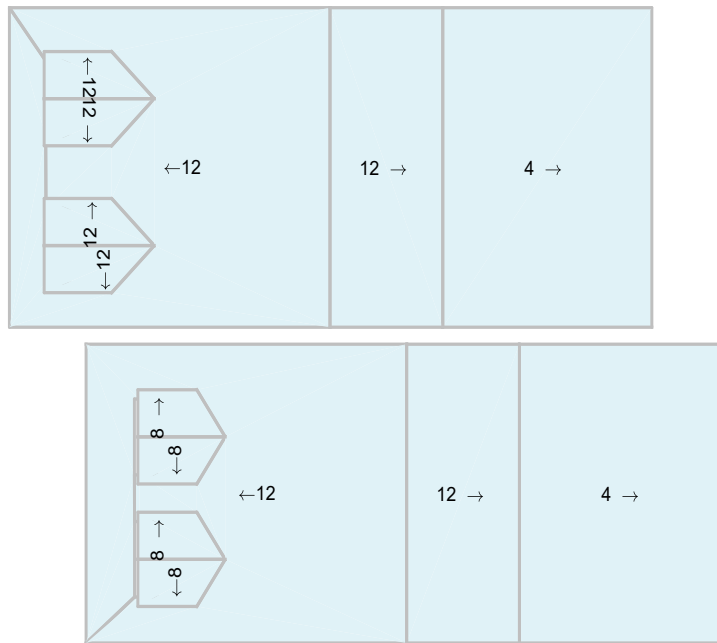
© 2024 Eagle View Technologies, Inc., All Rights Reserved.



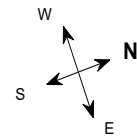
Note: This diagram contains segment lengths (rounded to the nearest whole number) over 5.0 Feet. In some cases, segment labels have been removed for readability. Plus signs preface some numbers to avoid confusion when rotated (e.g. +6 and +9).

PITCH DIAGRAM

Pitch values are shown in inches per foot, and arrows indicate slope direction. The predominant pitch on this roof is 12/12



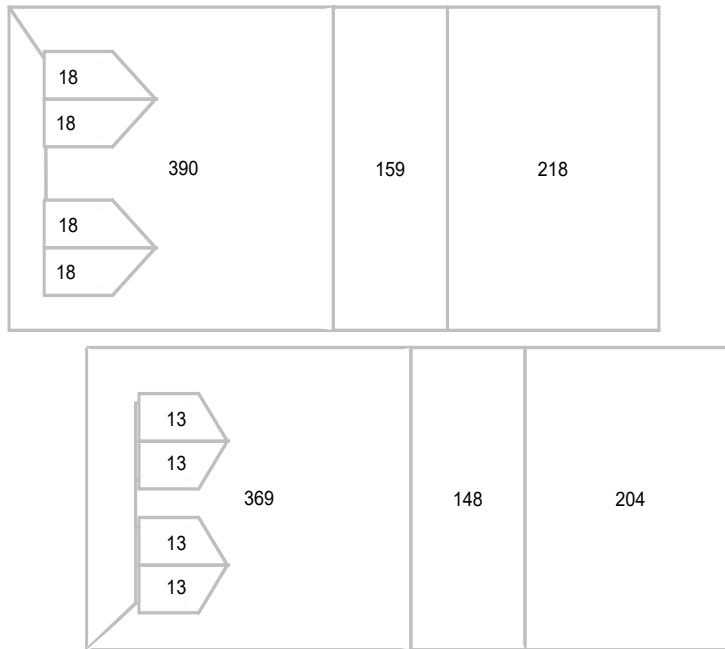
©2024 Eagle View Technologies, Inc., All Rights Reserved.



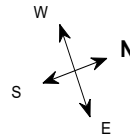
Note: This diagram contains labeled pitches for facet areas larger than 20.0 square feet. In some cases, pitch labels have been removed for readability. Blue shading indicates a pitch of 3/12 and greater.

AREA DIAGRAM

Total Area = 1,613 sq ft, with 14 facets.



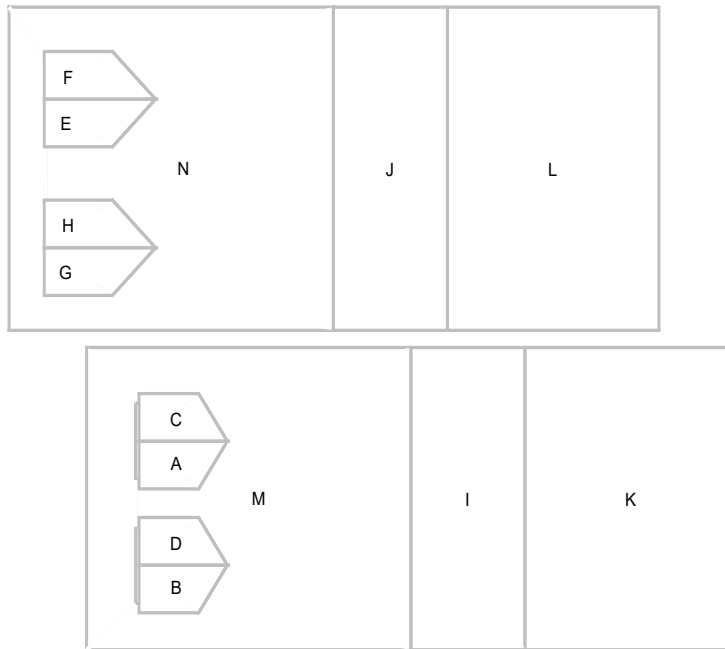
© 2024 Eagle View Technologies, Inc., All Rights Reserved.



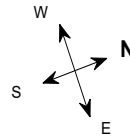
Note: This diagram shows the square feet of each roof facet (rounded to the nearest Foot). The total area in square feet, at the top of this page, is based on the non-rounded values of each roof facet (rounded to the nearest square foot after being totaled).

NOTES DIAGRAM

Roof facets are labeled from smallest to largest (A to Z) for easy reference.



© 2024 Eagle View Technologies, Inc., All Rights Reserved.



PENETRATIONS NOTES DIAGRAM

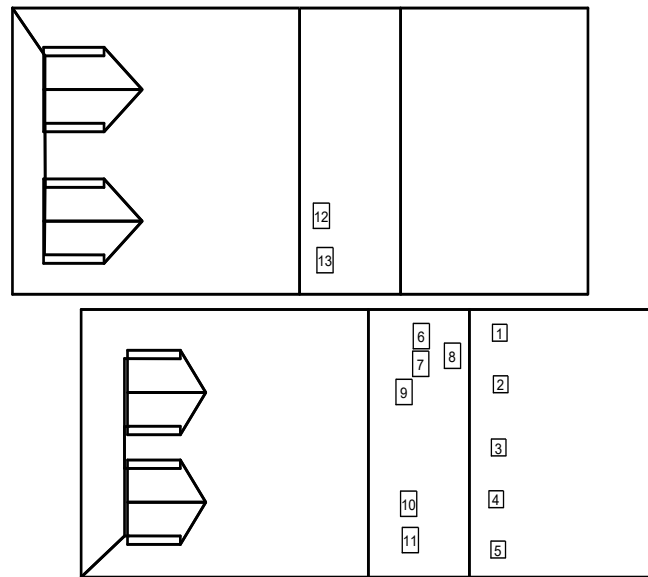
Penetrations are labeled from smallest to largest for easy reference.

Total Penetrations = 13

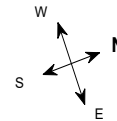
Total Penetrations Area = 23 sq ft

Total Penetrations Perimeter = 68 ft

Total Roof Area Less Penetrations = 1,590 sq ft



©2024 Eagle View Technologies, Inc., All Rights Reserved.



REPORT SUMMARY

All Structures

Areas per Pitch			
Roof Pitches	4/12	8/12	12/12
Area (sq ft)	421.5	51.6	1139.3
% of Roof	26.1%	3.2%	70.6%

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

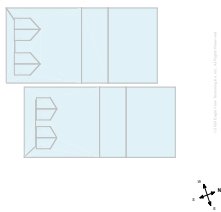
Waste Calculation Table							
Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sq ft)	1,613	1774.3	1806.6	1855.0	1887.2	1935.6	1967.9
Squares	16.1	17.7	18.1	18.5	18.9	19.4	19.7

This table shows the total roof area and squares (rounded up to the nearest decimal) based upon different waste percentages. The waste factor is subject to the complexity of the roof, individual roofing techniques and your experience. Please consider this when calculating appropriate waste percentages. Note that only roof area is included in these waste calculations. Additional materials needed for ridge, hip, valley, and starter lengths are not included.

Penetrations	1-5	6-13							
Area (sq ft)	1	2.2							
Perimeter (ft)	4	6							

Any measured penetration smaller than 3.0x3.0 Feet may need field verification. Accuracy is not guaranteed. The total penetration area is not subtracted from the total roof area.

All Structures Totals



Total Roof Facets = 14
Total Penetrations = 13

Lengths, Areas and Pitches

Ridges = 57 ft (6 Ridges)
Hips = 0 ft (0 Hips)
Valleys = 31 ft (8 Valleys)
Rakes[†] = 14 ft (4 Rakes)
Eaves/Starter[‡] = 96 ft (12 Eaves)
Drip Edge (Eaves + Rakes) = 110 ft (16 Lengths)
Parapet Walls = 0 (0 Lengths)
Flashing = 20 ft (12 Lengths)
Step flashing = 251 ft (28 Lengths)
Total Penetrations Area = 23 sq ft
Total Roof Area Less Penetrations = 1,590 sq ft
Total Penetrations Perimeter = 68 ft
Predominant Pitch = 12/12
Total Area (All Pitches) = 1,613 sq ft

Property Location

Longitude = -70.7550043
Latitude = 43.0790892

Notes

This was ordered as a commercial property. There were no changes to the structure in the past four years.

† Rakes are defined as roof edges that are sloped (not level).
‡ Eaves are defined as roof edges that are not sloped and level.

17 Bow St, Portsmouth, NH 03801

Report: 57639604

Online Maps

Online map of property

http://maps.google.com/maps?f=q&source=s_q&hl=en&geocode=&q=17+Bow+St,Portsmouth,NH,03801

Directions from Pro Builders Inc. to this property

http://maps.google.com/maps?f=d&source=s_d&saddr=MA,&daddr=17+Bow+St,Portsmouth,NH,03801

17 Bow St, Portsmouth, NH 03801

Report: 57639604

IMPORTANT LEGAL NOTICE AND DISCLAIMER

Notice and Disclaimer

No Warranty: The Copyrighted Materials are provided to you "as is," and you agree to use it at your own risk.

EagleView Technologies makes no guarantees, representations or warranties of any kind, express or implied, arising by law or otherwise, including but not limited to, content, quality, accuracy, completeness, effectiveness, reliability, fitness for a particular purpose, usefulness, use or results to be obtained from the Copyrighted Materials.

Contractors agree to always conduct a preliminary site survey to verify Roof Report ordered. In the event of an error in a Report, your sole remedy will be a refund of the fees paid by you to obtain this Report.





Sustainable Roofing



Majestic Slate



Environmentally friendly synthetic slate roofing tiles proudly made in the USA

Pioneers of sustainable roofing since 1993

Majestic Slate

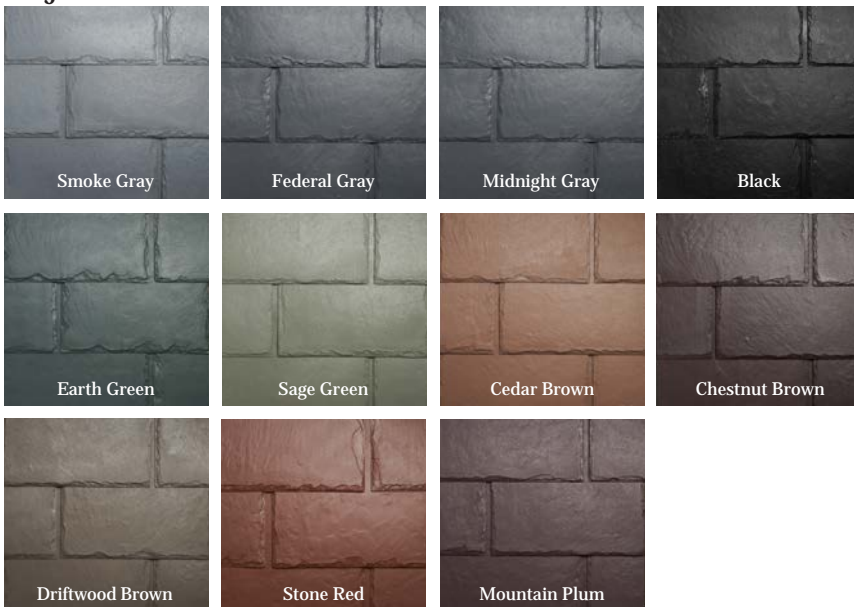


Historically, natural slate is one of the most appealing roofing choices, combining unmatched durability with aesthetic appeal. The cost of natural slate, as well as its weight and difficulty in finding a qualified slate installer, often makes its use prohibitive. EcoStar LLC, the leading manufacturer of premium synthetic steep-slope roofing products, combines classic appeal with modern technology to offer the lightweight and affordable alternative – Majestic Slate™.

Created with recycled rubber and plastics, Majestic Slate offers a sustainable, lighter and easy-to-install roofing product that provides the appearance of natural slate with lower application costs. Available in two widths and designer accents, this slate alternative offers endless possibilities for residential and commercial projects. The architectural detail of a project, whether historic or new construction, is further enhanced by a wide range of available color combinations using the palette of 11 standard color choices and array of custom options.

Curb appeal is everything when it comes to the look of your home, but protection from the elements must be a priority. Majestic Slate offers both.

Majestic Slate Color Palette



Note: Sample pieces, photographs or color samples may not accurately represent the true color level or variations of color blends that will appear on the roof. Before installation, ten tiles or so should be laid out and reviewed for conformity to desired color level. If color levels are unsatisfactory, advise your dealer before proceeding with installation. Colors and specifications subject to change without notice. EcoStar is not liable for color variations or shading. Tiles must be randomly blended for best results. Limited warranties carry terms and conditions. ¹Significant property insurance discounts may be available when upgrading or building a roof to protect against hail, wind or fire damage in regions where severe weather is common. EcoStar tiles meet or exceed industry standards for Impact Resistance and Fire Resistance. Contact your insurance provider for details.

01/19 © 2019 by EcoStar LLC. EcoStar and Majestic Slate are trademarks of EcoStar LLC. See www.ecostarllc.com for available warranties. P/N-602689 MAJESTIC SLATE CUT SHEET

Advantages

- Weighs 1/3 to 1/2 as much as natural slate
- Easy application keeps installation costs down
- Significant property insurance discounts may be available when upgrading or building a roof to protect against hail¹

Architectural Flexibility

- Designer Series tiles can be blended together to add personal style to your home
- Staggered and offset installations accentuate roof texture and depth
- Available in 11 standard colors
- Enhance the historical look in both residential and commercial buildings

Strength & Durability

- Provides superior durability and protection from extreme weather conditions that include wind, hail and driving rain
- Significant life cycle savings

Warranty Options

- 50-Year Limited Material Warranty available
- 50-Year Gold Star Labor & Material Warranty available
- 90 mph (145 kph) Wind Warranty (standard)

Environmental Sustainability

- Manufactured with post-industrial recycled rubber and plastics

Technical Information

- UL listed Class C fire resistance (UL 790)
- UL Class 4 impact resistance (UL 2218)
- Wind resistance to 110 mph (ASTM D3161)
- Prolonged UV Exposure (ASTM G155)
- UL Evaluation Report to ICC AC07 (R18920-02)
- Texas Dept. of Insurance Evaluation (RC-135)
- May contribute to LEED® points
- Manufactured in strict adherence to ISO 9001:2015 Quality Management



42 Edgewood Drive | Holland, NY 14080
800.211.7170 | www.ecostarllc.com

Why Choose EcoStar?

- Innovators in synthetic roofing since 1993
- Breadth of slate, shake and modern tile product offering
- Made with up to 25% upcycled polymer & rubber (not tires)
- Designed with up to 6" headlap for installation integrity
- Easy application keeps installation costs down
- Proven products providing superior protection against fire, ice, snow, wind, rain and hail
- Manufactured in the USA

Protection Overview

- Miami Dade prolonged and accelerated weathering @ 4,500 hours
- Miami Dade Wind TAS100 & TAS125 (NOA # 23-0601.01)
- Canadian Code Compliance Evaluation (CCMC-14174-R)
- UL listed Class A fire resistance (UL 790)
- UL Class 4 (highest rating) hail impact resistance (UL 2218)
- Job lot control produces uniform roof tile weathering
- ISO 9001:2015 Quality Management Standards
- 50-Year Material Warranty
- 50-Year Transferable Labor and Material Warranty available



Slate Products

- Realistic appearance of natural slate roofing
- Weighs significantly less than natural slate systems
- Staggered and offset installations accentuate roof texture and depth
- Solid profiles: 12" and 10" Traditional, 12", 9" and 6" Random Width Blend, 12" Chisel Point, Beveled Edge, Beaver Tail
- Cavity-back profiles: 14" w, 12" w and 10" w Niagara with increased 5/8" thickness creates bold shadow lines for maximum aesthetic appeal



Shake Products

- Look of traditional wood shake while providing an eco-friendly, durable alternative to wood
- Can be installed to create a unique replication of staggered cedar shake
- No interlacing of underlayment required
- "Aspen Blend" replicates thick, hand-split wood by using a combination of 2/3 Shake and 1/3 Shake Plus tiles

Modern Roofing Products

Concrete Flat Tile & Island Groove

- The look of modern roofing
- Direct to deck application – no battens required
- Lightweight – no loading service required
- Competitive installed cost/square
- Color through material - no recoating required
- Low waste factor - no breakage



Installation Benefits

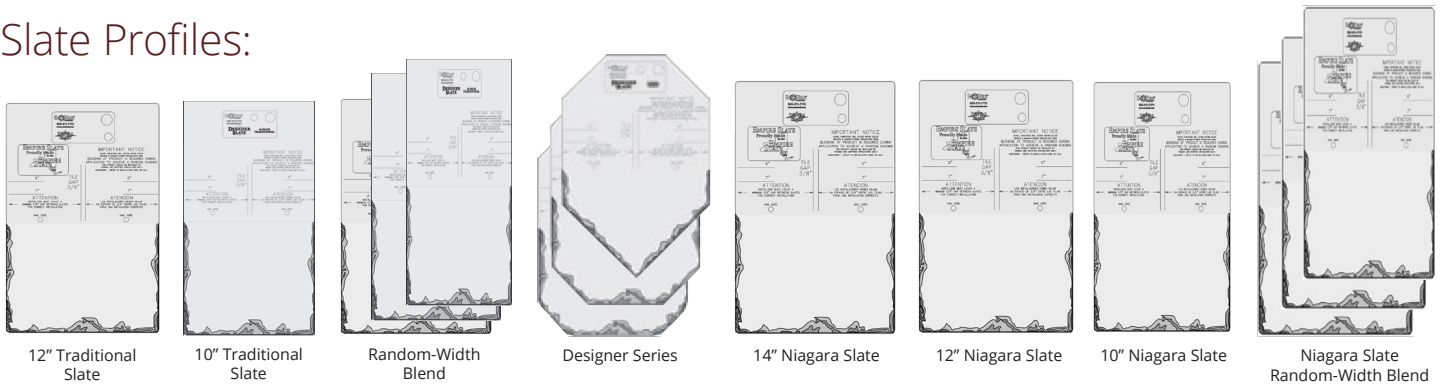
- Readily available with minimal lead times
- Easy application keeps installation costs down
- Products require minimal maintenance
- Factory pre-blended for color & width
- Only 2 profiles – field tile and ridge/rake tile
- Competitive installed cost/square

NOTE: Empire is approved for Miami Dade, Majestic is approved to Florida. Island Groove and Concrete Flat Tile not tested to CCMC.

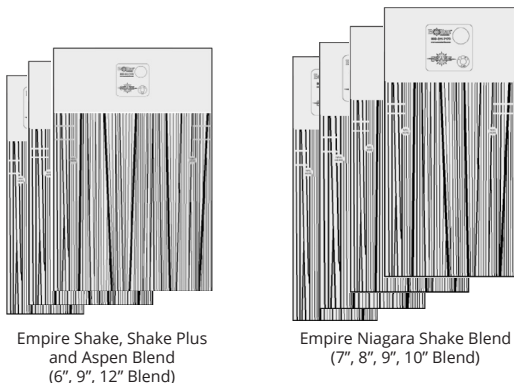
Empire Products

	Slate	Niagara Slate	Shake	Shake Plus	Niagara Shake	Niagara Flat Tile	Island Groove
Recycled Material	25%						
Tile Width	12", 10", 9", 6"	14", 12", 10"	12", 9", 6" blend	12", 9", 6" blend	10", 9", 8", 7" blend	12"	12"
Profile	Solid	Cavity-back	Solid	Cavity-back	Cavity-back	Cavity-back	Cavity-back
Tile Thickness	1/4"	5/8"	3/8"	3/4"	3/4"	3/4"	3/4"
Maximum Reveal	8" (7", 6")	10" (9")	9" (8", 7")	9" (8", 7")	10" (9")	10" (9")	10" (9")
Weight/Sq at Max. Reveal	308 lbs.	290 lbs.	277 lbs.	371 lbs.	250 lbs.	279 lbs.	279 lbs.
Fire Rating	Class C/A						
Impact Rating	Class 4						
Miami-Dade	Yes						No
Standard Colors	14						
Factory Blends	10						
Cool Roof Colors	11						
Custom/Marbled Colors	Yes						

Slate Profiles:



Shake Profiles:



Flat Tiles:

