

Riveredge Condominium Association
C/O JPK Property Management
1 New Hampshire Ave. #125
Portsmouth, NH 03801

May 22, 2024

Pro Builders Inc.
Attention: Felipe

RE: Slate Roof Replacement 117 Bow Street Unit 201

Dear Felipe,

Per our recent site inspection and follow up discussions this correspondence shall serve as a letter of support that the Riveredge HOA approves of your outline to replace the existing slate shingle roof system on Unit 201 with the composite slate shingle product that was requested by unit owner, Sally Stebbins.

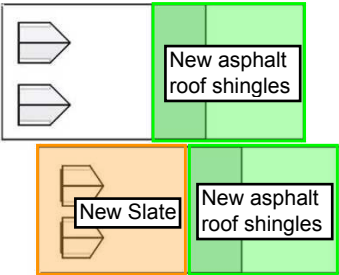
Please provide this letter to the city planning office as you obtain your permit and approval from the city. Please also inform the city that this project is considered an emergency request due to the failure of the current slate nails/fasteners which have rusted and are now breaking to the point where the slates are falling from the roof area and endangering the safety of those who are accessing the condominium unit.

If I can provide any further information to you please do not hesitate to contact me at your convenience.

Sincerely,


Jeff Sabin
Property Manager

603-766-4993 Office
603-674-2359 Mobile



In this 3D model, facets appear as semi-transparent to reveal overhangs.

PREPARED FOR

Contact: Felipe Ramos
 Company: Pro Builders Inc.
 Address: , MA
 Phone:

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MEASUREMENTS

- Total Roof Area =1,613 sq ft
- Total Roof Facets =14
- Predominant Pitch =12/12
- Number of Stories >1
- Total Ridges/Hips =57 ft
- Total Valleys =31 ft
- Total Rakes =14 ft
- Total Eaves =96 ft
- Total Penetrations =13
- Total Penetrations Perimeter = 68 ft
- Total Penetrations Area = 23 sq ft

Measurements provided by www.eagleview.com



Certified Accurate

www.eagleview.com/Guarantee.aspx

IMAGES

The following aerial images show different angles of this structure for your reference.

Top View



IMAGES

North Side

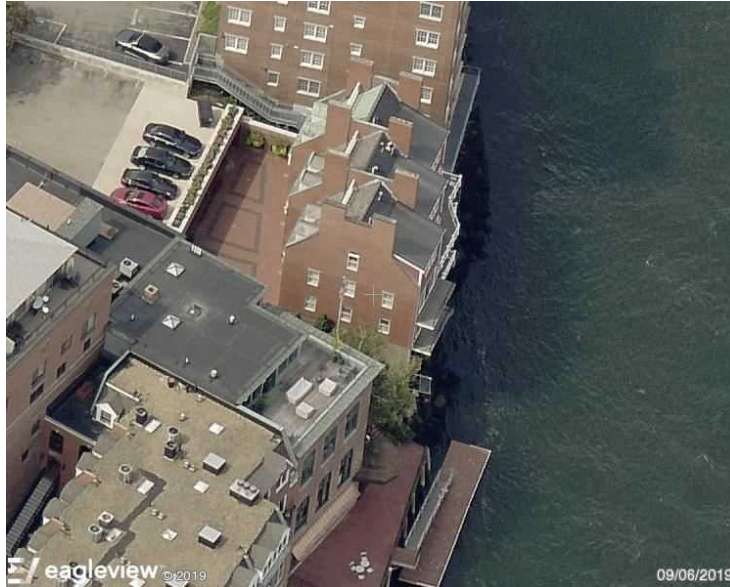


South Side



IMAGES

East Side

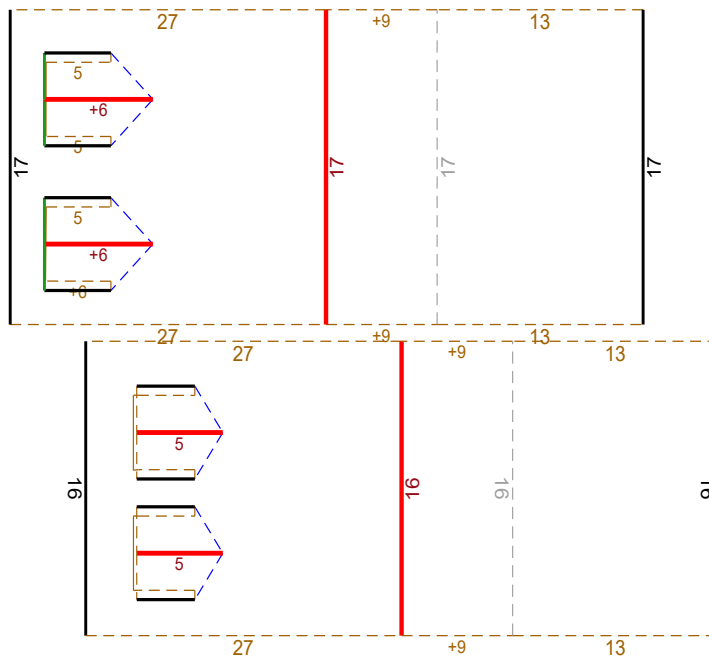


West Side

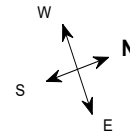


LENGTH DIAGRAM

Total Line Lengths:

Ridges = 57 ft
Hips = 0 ft
Valleys = 31 ft
Rakes = 14 ft
Eaves = 96 ft
Flashing = 20 ft
Step flashing = 251 ft
Parapets = 0 ft


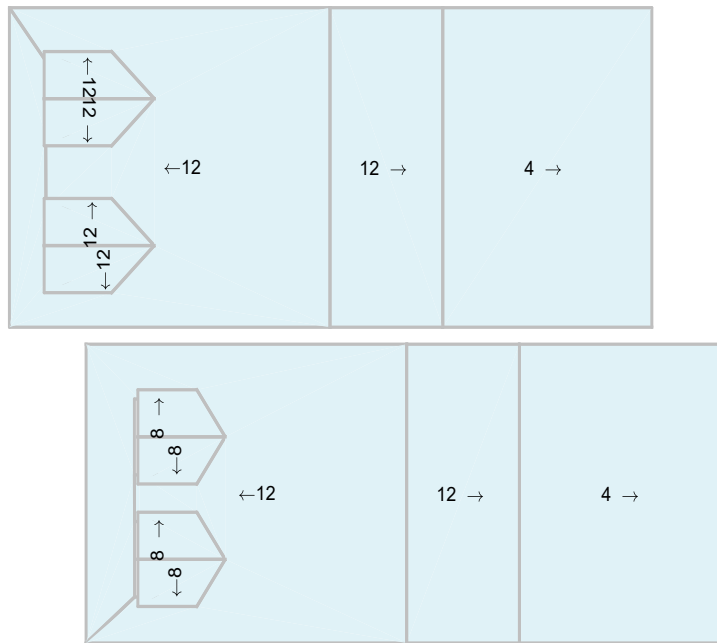
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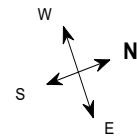
Note: This diagram contains segment lengths (rounded to the nearest whole number) over 5.0 Feet. In some cases, segment labels have been removed for readability. Plus signs preface some numbers to avoid confusion when rotated (e.g. +6 and +9).

PITCH DIAGRAM

Pitch values are shown in inches per foot, and arrows indicate slope direction. The predominant pitch on this roof is 12/12



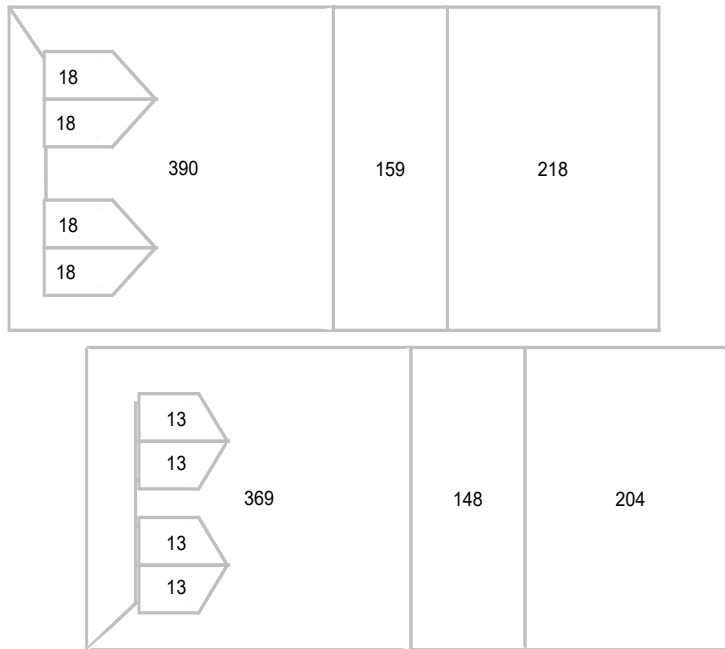
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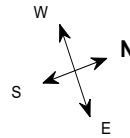
Note: This diagram contains labeled pitches for facet areas larger than 20.0 square feet. In some cases, pitch labels have been removed for readability. Blue shading indicates a pitch of 3/12 and greater.

AREA DIAGRAM

Total Area = 1,613 sq ft, with 14 facets.



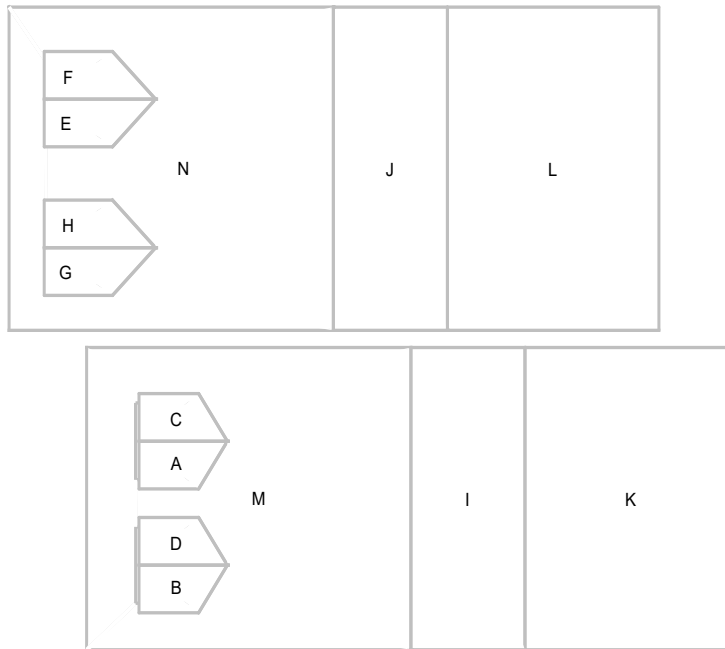
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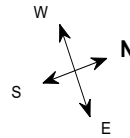
Note: This diagram shows the square feet of each roof facet (rounded to the nearest Foot). The total area in square feet, at the top of this page, is based on the non-rounded values of each roof facet (rounded to the nearest square foot after being totaled).

NOTES DIAGRAM

Roof facets are labeled from smallest to largest (A to Z) for easy reference.



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PENETRATIONS NOTES DIAGRAM

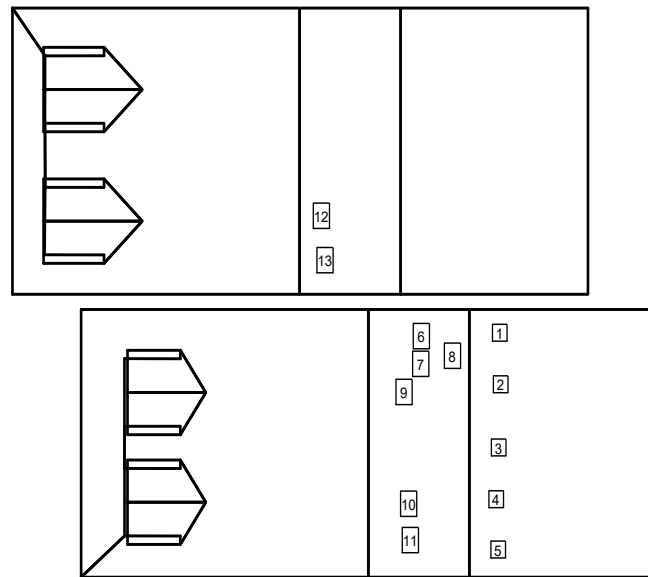
Penetrations are labeled from smallest to largest for easy reference.

Total Penetrations = 13

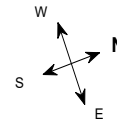
Total Penetrations Area = 23 sq ft

Total Penetrations Perimeter = 68 ft

Total Roof Area Less Penetrations = 1,590 sq ft



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REPORT SUMMARY

All Structures

Areas per Pitch			
Roof Pitches	4/12	8/12	12/12
Area (sq ft)	421.5	51.6	1139.3
% of Roof	26.1%	3.2%	70.6%

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

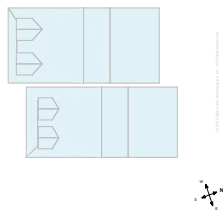
Waste Calculation Table							
Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sq ft)	1,613	1774.3	1806.6	1855.0	1887.2	1935.6	1967.9
Squares	16.1	17.7	18.1	18.5	18.9	19.4	19.7

This table shows the total roof area and squares (rounded up to the nearest decimal) based upon different waste percentages. The waste factor is subject to the complexity of the roof, individual roofing techniques and your experience. Please consider this when calculating appropriate waste percentages. Note that only roof area is included in these waste calculations. Additional materials needed for ridge, hip, valley, and starter lengths are not included.

Penetrations	1-5	6-13							
Area (sq ft)	1	2.2							
Perimeter (ft)	4	6							

Any measured penetration smaller than 3.0x3.0 Feet may need field verification. Accuracy is not guaranteed. The total penetration area is not subtracted from the total roof area.

All Structures Totals



Total Roof Facets = 14
Total Penetrations = 13

Lengths, Areas and Pitches

Ridges = 57 ft (6 Ridges)
Hips = 0 ft (0 Hips)
Valleys = 31 ft (8 Valleys)
Rakes[†] = 14 ft (4 Rakes)
Eaves/Starter[‡] = 96 ft (12 Eaves)
Drip Edge (Eaves + Rakes) = 110 ft (16 Lengths)
Parapet Walls = 0 (0 Lengths)
Flashing = 20 ft (12 Lengths)
Step flashing = 251 ft (28 Lengths)
Total Penetrations Area = 23 sq ft
Total Roof Area Less Penetrations = 1,590 sq ft
Total Penetrations Perimeter = 68 ft
Predominant Pitch = 12/12
Total Area (All Pitches) = 1,613 sq ft

Property Location

Longitude = -70.7550043
Latitude = 43.0790892

Notes

This was ordered as a commercial property. There were no changes to the structure in the past four years.

[†] Rakes are defined as roof edges that are sloped (not level).
[‡] Eaves are defined as roof edges that are not sloped and level.

17 Bow St, Portsmouth, NH 03801

Report: 57639604

Online Maps

Online map of property

http://maps.google.com/maps?f=q&source=s_q&hl=en&geocode=&q=17+Bow+St,Portsmouth,NH,03801

Directions from Pro Builders Inc. to this property

http://maps.google.com/maps?f=d&source=s_d&saddr=MA,&daddr=17+Bow+St,Portsmouth,NH,03801

17 Bow St, Portsmouth, NH 03801

Report: 57639604

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Notice and Disclaimer

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Contractors agree to always conduct a preliminary site survey to verify Roof Report ordered. In the event of an error in a Report, your sole remedy will be a refund of the fees paid by you to obtain this Report.





Sustainable Roofing



Majestic Slate



Environmentally friendly synthetic slate roofing tiles proudly made in the USA

Pioneers of sustainable roofing since 1993

Majestic Slate

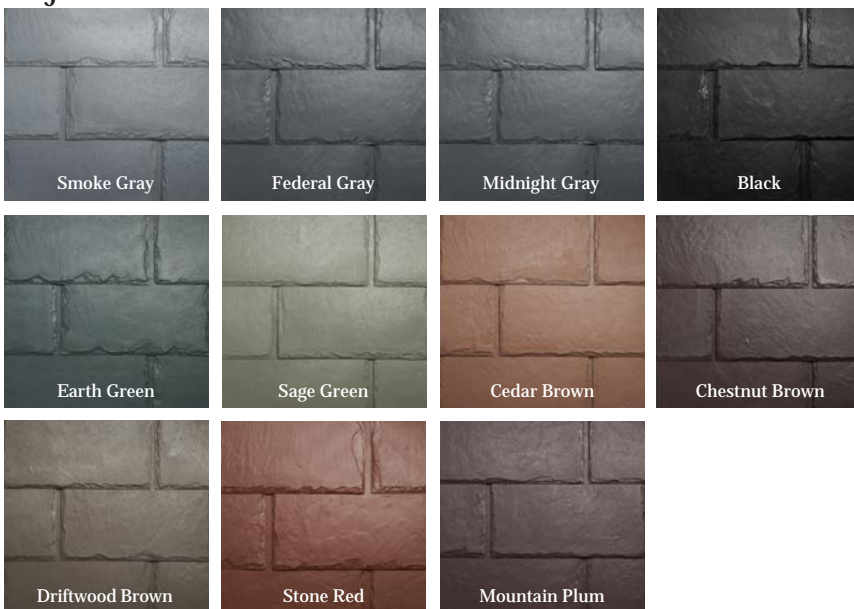


Historically, natural slate is one of the most appealing roofing choices, combining unmatched durability with aesthetic appeal. The cost of natural slate, as well as its weight and difficulty in finding a qualified slate installer, often makes its use prohibitive. EcoStar LLC, the leading manufacturer of premium synthetic steep-slope roofing products, combines classic appeal with modern technology to offer the lightweight and affordable alternative – Majestic Slate™.

Created with recycled rubber and plastics, Majestic Slate offers a sustainable, lighter and easy-to-install roofing product that provides the appearance of natural slate with lower application costs. Available in two widths and designer accents, this slate alternative offers endless possibilities for residential and commercial projects. The architectural detail of a project, whether historic or new construction, is further enhanced by a wide range of available color combinations using the palette of 11 standard color choices and array of custom options.

Curb appeal is everything when it comes to the look of your home, but protection from the elements must be a priority. Majestic Slate offers both.

Majestic Slate Color Palette



Note: Sample pieces, photographs or color samples may not accurately represent the true color level or variations of color blends that will appear on the roof. Before installation, ten tiles or so should be laid out and reviewed for conformity to desired color level. If color levels are unsatisfactory, advise your dealer before proceeding with installation. Colors and specifications subject to change without notice. EcoStar is not liable for color variations or shading. Tiles must be randomly blended for best results. Limited warranties carry terms and conditions. ¹Significant property insurance discounts may be available when upgrading or building a roof to protect against hail, wind or fire damage in regions where severe weather is common. EcoStar tiles meet or exceed industry standards for Impact Resistance and Fire Resistance. Contact your insurance provider for details.

01/19 © 2019 by EcoStar LLC. EcoStar and Majestic Slate are trademarks of EcoStar LLC. See www.ecostarllc.com for available warranties. P/N-602689 MAJESTIC SLATE CUT SHEET

Advantages

- Weighs 1/3 to 1/2 as much as natural slate
- Easy application keeps installation costs down
- Significant property insurance discounts may be available when upgrading or building a roof to protect against hail¹

Architectural Flexibility

- Designer Series tiles can be blended together to add personal style to your home
- Staggered and offset installations accentuate roof texture and depth
- Available in 11 standard colors
- Enhance the historical look in both residential and commercial buildings

Strength & Durability

- Provides superior durability and protection from extreme weather conditions that include wind, hail and driving rain
- Significant life cycle savings

Warranty Options

- 50-Year Limited Material Warranty available
- 50-Year Gold Star Labor & Material Warranty available
- 90 mph (145 kph) Wind Warranty (standard)

Environmental Sustainability

- Manufactured with post-industrial recycled rubber and plastics

Technical Information

- UL listed Class C fire resistance (UL 790)
- UL Class 4 impact resistance (UL 2218)
- Wind resistance to 110 mph (ASTM D3161)
- Prolonged UV Exposure (ASTM G155)
- UL Evaluation Report to ICC AC07 (R18920-02)
- Texas Dept. of Insurance Evaluation (RC-135)
- May contribute to LEED® points
- Manufactured in strict adherence to ISO 9001:2015 Quality Management



42 Edgewood Drive | Holland, NY 14080
800.211.7170 | www.ecostarllc.com

Why Choose EcoStar?

- Innovators in synthetic roofing since 1993
- Breadth of slate, shake and modern tile product offering
- Made with up to 25% upcycled polymer & rubber (not tires)
- Designed with up to 6" headlap for installation integrity
- Easy application keeps installation costs down
- Proven products providing superior protection against fire, ice, snow, wind, rain and hail
- Manufactured in the USA

Protection Overview

- Miami Dade prolonged and accelerated weathering @ 4,500 hours
- Miami Dade Wind TAS100 & TAS125 (NOA # 23-0601.01)
- Canadian Code Compliance Evaluation (CCMC-14174-R)
- UL listed Class A fire resistance (UL 790)
- UL Class 4 (highest rating) hail impact resistance (UL 2218)
- Job lot control produces uniform roof tile weathering
- ISO 9001:2015 Quality Management Standards
- 50-Year Material Warranty
- 50-Year Transferable Labor and Material Warranty available



Slate Products

- Realistic appearance of natural slate roofing
- Weighs significantly less than natural slate systems
- Staggered and offset installations accentuate roof texture and depth
- Solid profiles: 12" and 10" Traditional, 12", 9" and 6" Random Width Blend, 12" Chisel Point, Beveled Edge, Beaver Tail
- Cavity-back profiles: 14" w, 12" w and 10" w Niagara with increased 5/8" thickness creates bold shadow lines for maximum aesthetic appeal



Shake Products

- Look of traditional wood shake while providing an eco-friendly, durable alternative to wood
- Can be installed to create a unique replication of staggered cedar shake
- No interlacing of underlayment required
- "Aspen Blend" replicates thick, hand-split wood by using a combination of 2/3 Shake and 1/3 Shake Plus tiles

Modern Roofing Products

Concrete Flat Tile & Island Groove

- The look of modern roofing
- Direct to deck application – no battens required
- Lightweight – no loading service required
- Competitive installed cost/square
- Color through material - no recoating required
- Low waste factor - no breakage



Installation Benefits

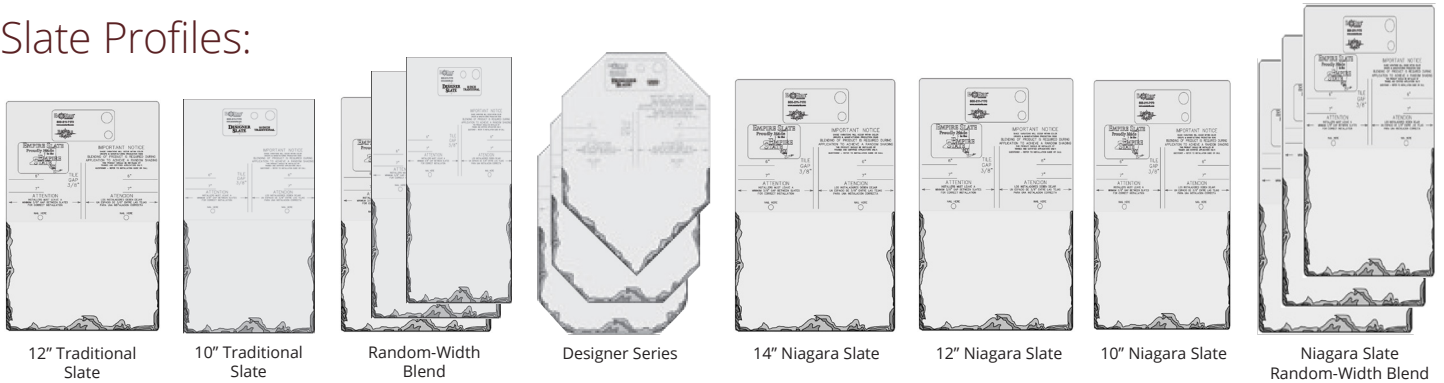
- Readily available with minimal lead times
- Easy application keeps installation costs down
- Products require minimal maintenance
- Factory pre-blended for color & width
- Only 2 profiles – field tile and ridge/rake tile
- Competitive installed cost/square

NOTE: Empire is approved for Miami Dade, Majestic is approved to Florida. Island Groove and Concrete Flat Tile not tested to CCMC.

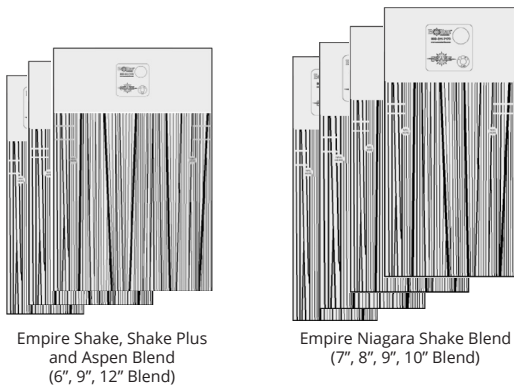
Empire Products

	Slate	Niagara Slate	Shake	Shake Plus	Niagara Shake	Niagara Flat Tile	Island Groove
Recycled Material	25%						
Tile Width	12", 10", 9", 6"	14", 12", 10"	12", 9", 6" blend	12", 9", 6" blend	10", 9", 8", 7" blend	12"	12"
Profile	Solid	Cavity-back	Solid	Cavity-back	Cavity-back	Cavity-back	Cavity-back
Tile Thickness	1/4"	5/8"	3/8"	3/4"	3/4"	3/4"	3/4"
Maximum Reveal	8" (7", 6")	10" (9")	9" (8", 7")	9" (8", 7")	10" (9")	10" (9")	10" (9")
Weight/Sq at Max. Reveal	308 lbs.	290 lbs.	277 lbs.	371 lbs.	250 lbs.	279 lbs.	279 lbs.
Fire Rating	Class C/A						
Impact Rating	Class 4						
Miami-Dade	Yes						No
Standard Colors	14						
Factory Blends	10						
Cool Roof Colors	11						
Custom/Marbled Colors	Yes						

Slate Profiles:



Shake Profiles:



Flat Tiles:

