

# HDC

## ADMINISTRATIVE APPROVALS

June 05, 2024

- |    |                     |                       |
|----|---------------------|-----------------------|
| 1. | 238 Deer Street     | -Recommended Approval |
| 2. | 434 Marcy Street    | -Recommended Approval |
| 3. | 99 Daniel Street    | -Recommended Approval |
| 4. | 70 Maplewood Avenue | -Recommended Approval |
| 5. | 346 Pleasant Street | -Recommended Approval |

# 1. 238 Deer Street

# -Recommended Approval

**Background:** The applicant is seeking approval for changes to a previously approved design:

- CHANGE IN BRICK SELECTION, PREVIOUSLY APPROVED BRICK IS NO LONGER AVAILABLE. PROPOSED BRICK IS SIMILAR IN COLOR AND TEXTURE, RECOMMENDED BY MASON.
- ADDITION OF GRANITE LANDING AT RIGHT SIDE OF THE DEER STREET ELEVATION ENTRY DOOR.
- BRICK WINDOW SILLS TO BECOME BLUESTONE SILLS, BRICK SELECTION DOES NOT PROVIDE SOLID BRICKS TO BE USED FOR SILLS.
- ADDITION OF WINDOWS ON PUBLIC WALKWAY ELEVATION.
- INCREASED HEIGHT OF TWO FRONT ENTRY DOORS DUE TO LOWERING OF INTERIOR SLAB ELEVATION FOR ACCESSIBILITY. ALL TRANSOMS AND HEAD ALIGNMENTS TO REMAIN.
- RELOCATION OF PREVIOUSLY APPROVED MECHANICAL LOUVER FROM PUBLIC WALKWAY ELEVATION TO REAR ELEVATION.
- PREVIOUSLY APPROVED ROOF HATCH HAS BEEN REMOVED.
- PREVIOUSLY APPROVED EXTERIOR ROOF ACCESS LADDER THAT WAS REMOVED DURING THE 02/13/2024 HDC MEETING IS BEING PROPOSED AGAIN IN A NEW LOCATION.
  - ADDITION OF REAR EXIT LANDING, RAMP AND HANDRAIL/GUARDRAILS FOR

**Staff Comment:** Recommend Approval

## Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

# 238 DEER STREET: MIXED-USE BUILDING

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL -  
JUNE 2024 PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION (ZONING BOARD OF ADJUSTMENT APPROVAL 09/28/2021, HISTORIC DISTRICT COMMISSION APPROVAL 11/10/2021, PLANNING BOARD APPROVAL 03/17/2022):

- PROPOSED ALTERATIONS AND ADDITIONS FROM PREVIOUSLY APPROVED APPLICATION ON 11/10/2021 AND ADMINISTRATIVE APPROVAL ON 07/06/2022 AND 02/13/2024:
  - CHANGE IN BRICK SELECTION, PREVIOUSLY APPROVED BRICK IS NO LONGER AVAILABLE. PROPOSED BRICK IS SIMILAR IN COLOR AND TEXTURE, RECOMMENDED BY MASON.
  - ADDITION OF GRANITE LANDING AT RIGHT SIDE OF THE DEER STREET ELEVATION ENTRY DOOR.
  - BRICK WINDOW SILLS TO BECOME BLUESTONE SILLS, BRICK SELECTION DOES NOT PROVIDE SOLID BRICKS TO BE USED FOR SILLS.
  - ADDITION OF WINDOWS ON PUBLIC WALKWAY ELEVATION.
  - INCREASED HEIGHT OF TWO FRONT ENTRY DOORS DUE TO LOWERING OF INTERIOR SLAB ELEVATION FOR ACCESSIBILITY. ALL TRANSOMS AND HEAD ALIGNMENTS TO REMAIN.
  - RELOCATION OF PREVIOUSLY APPROVED MECHANICAL LOUVER FROM PUBLIC WALKWAY ELEVATION TO REAR ELEVATION.
  - PREVIOUSLY APPROVED ROOF HATCH HAS BEEN REMOVED.
  - PREVIOUSLY APPROVED EXTERIOR ROOF ACCESS LADDER THAT WAS REMOVED DURING THE 02/13/2024 HDC MEETING IS BEING PROPOSED AGAIN IN A NEW LOCATION.
  - ADDITION OF REAR EXIT LANDING, RAMP AND HANDRAIL/GUARDRAILS FOR ACCESSIBILITY



SHEET LIST - HDC	
Sheet Number	Sheet Name
A1	DEER STREET ELEVATION
PA-A1	PREVIOUSLY APPROVED DEER STREET ELEVATION
A2	BRIDGE STREET ELEVATION
PA-A2	PREVIOUSLY APPROVED BRIDGE STREET ELEVATION
A3	PUBLIC WALKWAY ELEVATION
PA-A3	PREVIOUSLY APPROVED PUBLIC WALKWAY ELEVATION
A4	REAR ELEVATION
PA-A4	PREVIOUSLY APPROVED REAR ELEVATION
A5	BRICK & SILL SUBSTITUTIONS
A6	FLOOR PLAN
PA- A4	PREVIOUSLY APPROVED FLOOR PLAN

PA: PREVIOUSLY APPROVED SHEET



238 DEER STREET  
PORTSMOUTH, NH 03801

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DEER ST. MIXED-USE BUILDING

238 DEER STREET  
PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE  
APPROVAL - JUNE 2024

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

C

05/10/2024

McHA: RD / MG

NOT TO SCALE



1 NORTH ELEVATION (DEER STREET)  
1/8" = 1'-0"

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<b>DEER ST. MIXED-USE BUILDING</b> 238 DEER STREET PORTSMOUTH, NH 03801	<b>DEER STREET ELEVATION</b> HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - JUNE 2024	<b>McHENRY ARCHITECTURE</b> 4 Market Street Portsmouth, New Hampshire	<b>A1</b>	05/10/2024
				McHA: RD / MG Scale: 1/8" = 1'-0"

(4) ROOF MOUNTED  
CONDENSER UNITS ON  
18" SNOW STAND

FIXED ACCESS LADDER  
TO BE REMOVED

RELOCATED  
PREVIOUSLY APPROVED  
WINDOW

LP SMARTSIDE, SMOOTH,  
13" EXPOSURE BOARD  
AND BATTEN

24"x4.75" EXHAUST  
LOUVER, COLOR TO  
MATCH ADJACENT BRICK

LP SMARTSIDE, SMOOTH,  
6 3/4" EXPOSURE  
CLAPBOARDS



REMOVABLE LOW ALUMINUM  
SCREEN TO ENCLOSE BOLLARDS  
AND GAS METER, BLACK

1 NORTH ELEVATION (DEER STREET)  
1/8" = 1'-0"

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DEER ST. MIXED-USE BUILDING

238 DEER STREET  
PORTSMOUTH, NH 03801

DEER STREET ELEVATION

HISTORIC DISTRICT COMMISSION, FEBRUARY 2024

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A1

01/22/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"

ROOF HATCH HAS BEEN REMOVED



1 WEST ELEVATION (BRIDGE STREET)  
1/8" = 1'-0"

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DEER ST. MIXED-USE BUILDING

238 DEER STREET  
PORTSMOUTH, NH 03801

BRIDGE STREET ELEVATION

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE  
APPROVAL - JUNE 2024

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A2

05/10/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"

FIXED ACCESS LADDER  
TO BE REMOVED

(4) ROOF MOUNTED  
CONDENSER UNITS ON  
18" SNOW STAND

ROOF ACCESS HATCH  
WITH PERSONAL FALL  
ARREST ANCHOR

LP SMARTSIDE, SMOOTH,  
13" EXPOSURE BOARD  
AND BATTEN

24"x4.75" EXHAUST  
LOUVER, COLOR TO  
MATCH ADJACENT SIDING

24"x4.75" EXHAUST  
LOUVER, COLOR TO  
MATCH ADJACENT SIDING

LP SMARTSIDE, SMOOTH,  
6 3/4" EXPOSURE  
CLAPBOARDS

REMOVABLE LOW  
ALUMINUM SCREEN TO  
ENCLOSE BOLLARDS AND  
GAS METER, BLACK



1 WEST ELEVATION (BRIDGE STREET)  
1/8" = 1'-0"

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DEER ST. MIXED-USE BUILDING

238 DEER STREET  
PORTSMOUTH, NH 03801

BRIDGE STREET ELEVATION

HISTORIC DISTRICT COMMISSION, FEBRUARY 2024

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A2

01/22/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"



1 EAST ELEVATION (PUBLIC WALKWAY)  
1/8" = 1'-0"

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<b>DEER ST. MIXED-USE BUILDING</b> 238 DEER STREET PORTSMOUTH, NH 03801	<b>PUBLIC WALKWAY ELEVATION</b> HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - JUNE 2024	<b>McHENRY ARCHITECTURE</b> 4 Market Street Portsmouth, New Hampshire	<b>A3</b>	05/10/2024
				McHA: RD / MG Scale: 1/8" = 1'-0"





1 EAST ELEVATION (PUBLIC WALKWAY)  
1/8" = 1'-0"

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DEER ST. MIXED-USE BUILDING

238 DEER STREET  
PORTSMOUTH, NH 03801

PUBLIC WALKWAY ELEVATION

HISTORIC DISTRICT COMMISSION, FEBRUARY 2024

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A3

01/22/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION (REAR)  
1/8" = 1'-0"

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<b>DEER ST. MIXED-USE BUILDING</b> 238 DEER STREET PORTSMOUTH, NH 03801	<b>REAR ELEVATION</b> HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - JUNE 2024	<b>McHENRY ARCHITECTURE</b> 4 Market Street Portsmouth, New Hampshire	<b>A4</b>	05/10/2024
				McHA: RD / MG Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION (REAR)  
1/8" = 1'-0"

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**DEER ST. MIXED-USE BUILDING**  
238 DEER STREET  
PORTSMOUTH, NH 03801

**REAR ELEVATION**  
HISTORIC DISTRICT COMMISSION, FEBRUARY 2024

**McHENRY ARCHITECTURE**  
4 Market Street  
Portsmouth, New Hampshire

**A4**

01/22/2024  
McHA: RD / MG  
Scale: 1/8" = 1'-0"



PROPOSED:  
 BRICK: CAMBRIDGE VELOUR  
 SILLS: 2 1/2" BLUESTONE, THERMAL FINISH, ROCK FACE EDGE

PREVIOUSLY APPROVED BRICK ADJACENT  
 TO APPROVED SIDING

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**DEER ST. MIXED-USE BUILDING**

238 DEER STREET  
 PORTSMOUTH, NH 03801

**BRICK & SILL SUBSTITUTIONS**

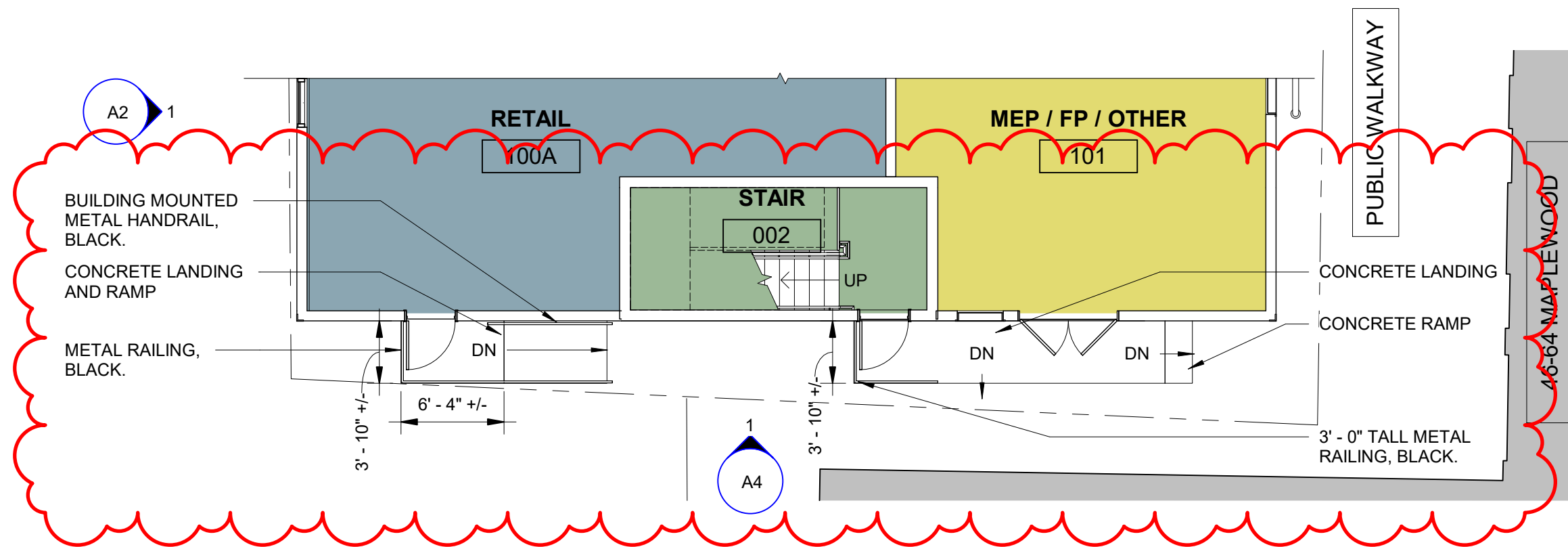
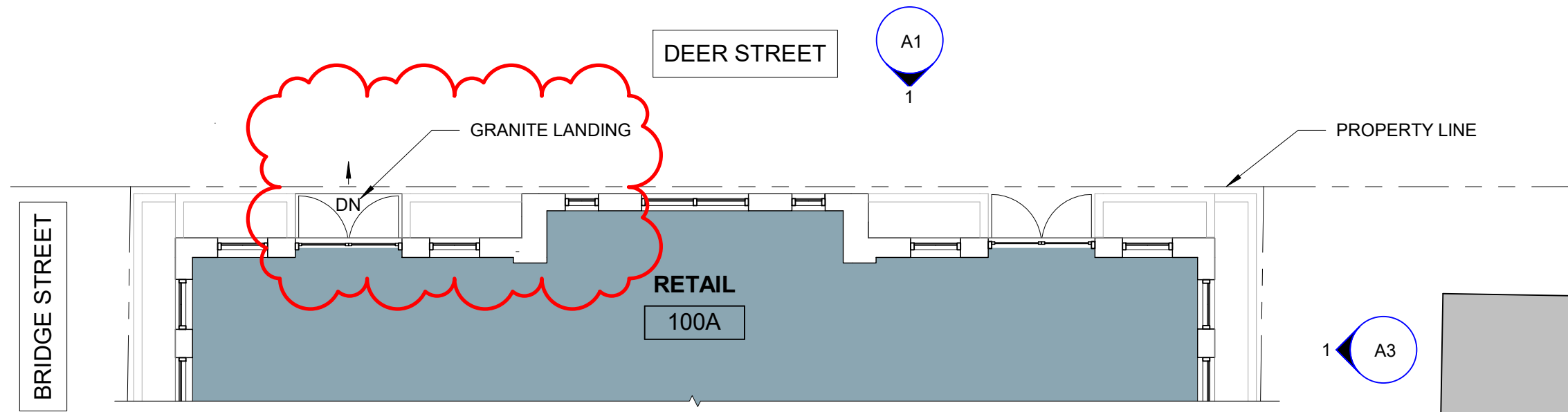
HISTORIC DISTRICT COMMISSION ADMINISTRATIVE  
 APPROVAL - JUNE 2024

**McHENRY ARCHITECTURE**

4 Market Street  
 Portsmouth, New Hampshire

**A5**

05/10/2024  
 McHA: RD / MG  
**NOT TO SCALE**



1 FIRST FLOOR  
1/8" = 1'-0"

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# DEER ST. MIXED-USE BUILDING

238 DEER STREET  
PORTSMOUTH, NH 03801

# FLOOR PLAN

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE  
APPROVAL - JUNE 2024

McHENRY ARCHITECTURE

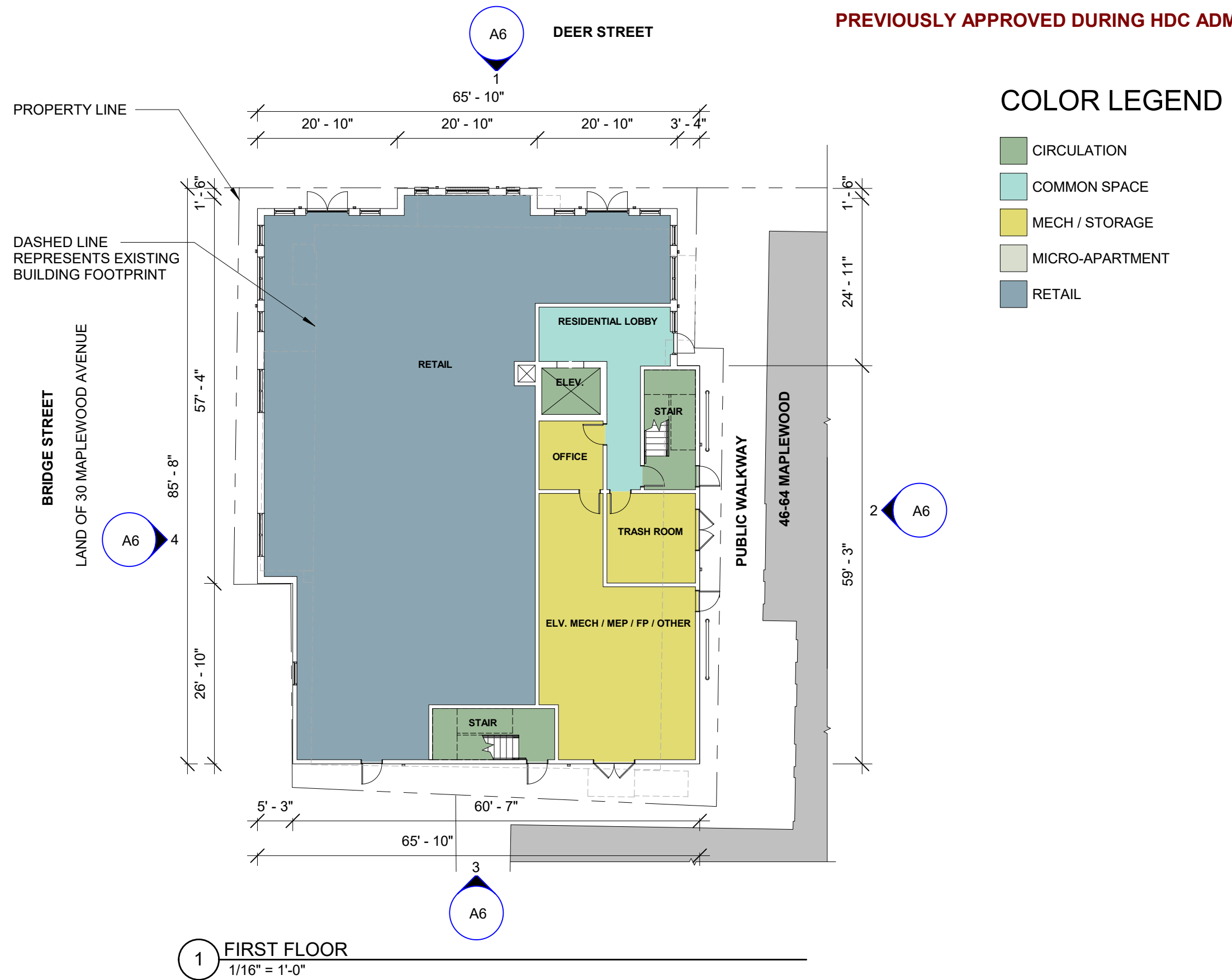
4 Market Street  
Portsmouth, New Hampshire

A6

05/10/2024

McHA: RD / MG

Scale: 1/8" = 1'-0"



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**DEER ST. MIXED-USE BUILDING**

238 DEER STREET  
PORTSMOUTH, NH 03801

**FLOOR PLANS**

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

**McHENRY ARCHITECTURE**

4 Market Street  
Portsmouth, New Hampshire

**A4**

11/03/2021  
McHA: SM/RD/MG  
Scale: 1/16" = 1'-0"

**2. 434 Marcy Street**

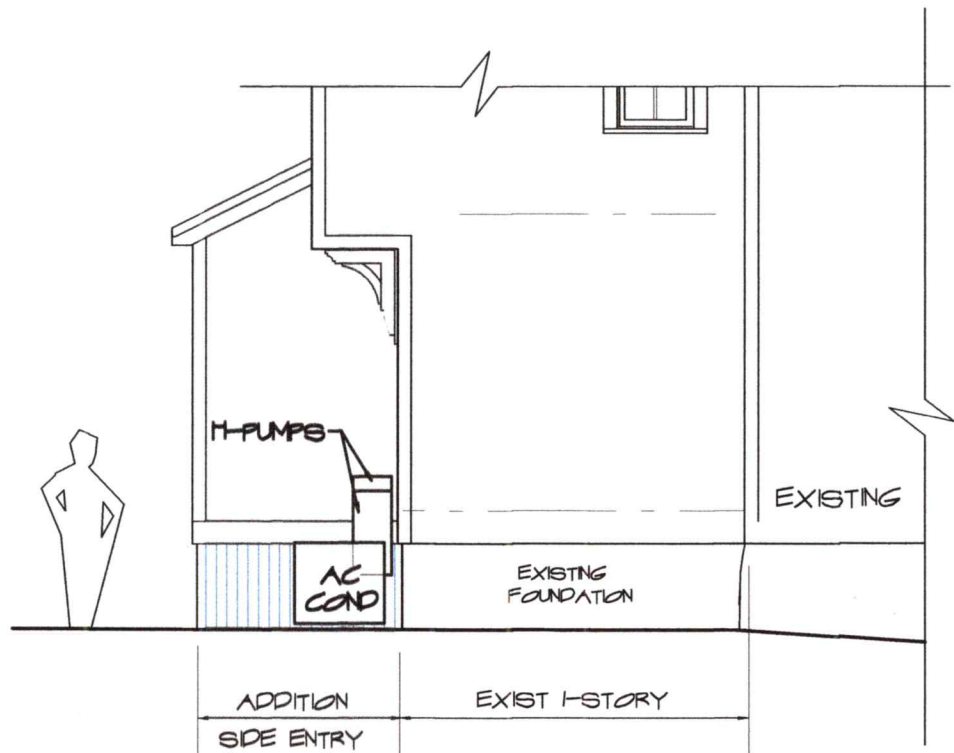
**-Recommended Approval**

**Background:** The applicant is seeking approval for the installation of HVAC equipment (heat pumps and a condenser).

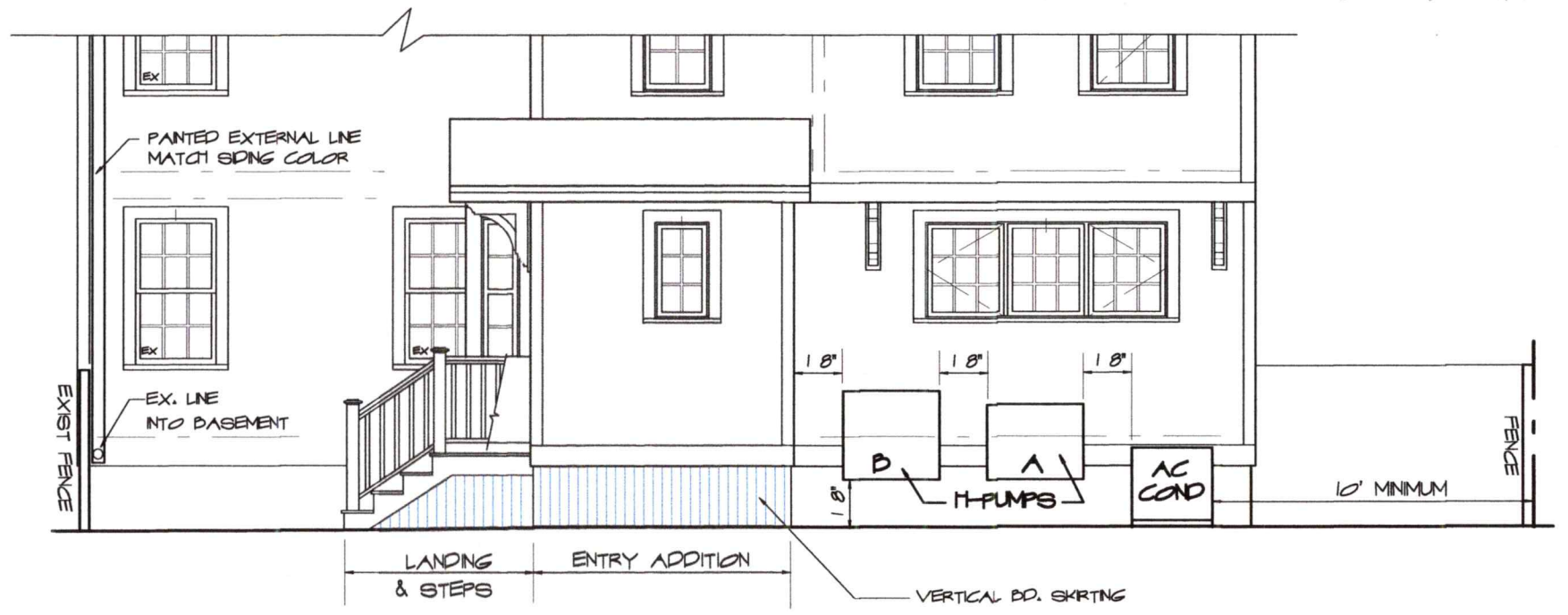
**Staff Comment:** Recommend Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



LEFT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



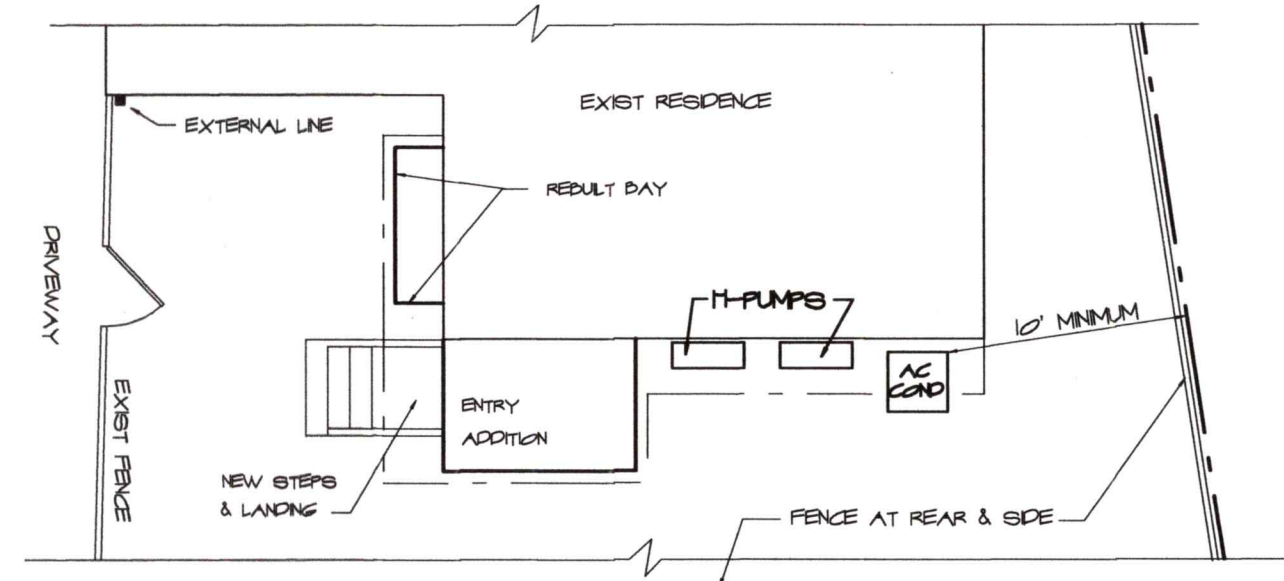
REAR ELEVATION  
SCALE: 3/16" = 1'-0"



HEAT PUMP & AC COND. LOCATION



LOCATION OF EXTERNAL LINE



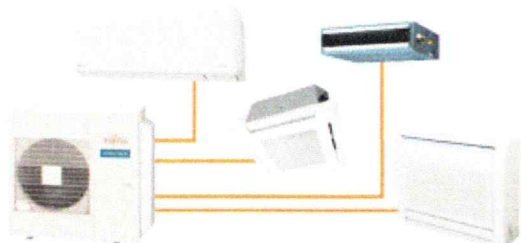
PLAN AT REAR OF RESIDENCE  
SCALE: 1/8" = 1'-0"

<b>HEATPUMP &amp; AC COND. LOCATIONS</b> ADDITIONS & RENOVATIONS, SLIVA-MORAN RESIDENCE 434 MARCY STREET PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com  <b>ANNE WHITNEY ARCHITECT</b>	Project: 2209	Date: 5/16/24
		Revisions:	



# 18, 24, 36, 45,000 BTU/h Multi-Zone Outdoor Units

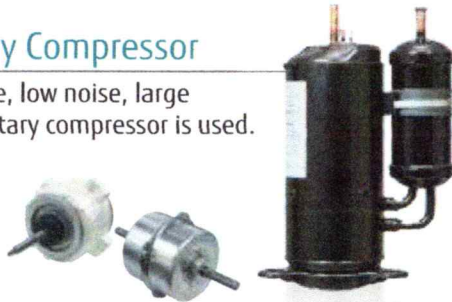
## AIRSTAGE H-Series



Contractors can select either an 18, 24, 36 or 45,000 BTU outdoor unit combined with wall mounted, slim duct, compact cassette or floor mount type indoor units. Mix-and-match flexibility of evaporator type and capacity allows you to choose the indoor unit that best fits the application, whether it be hidden or showcased. These systems are ideal for nursing homes, doctor's offices, condominiums, apartments and residences - any place where individual cooling or heating is needed.

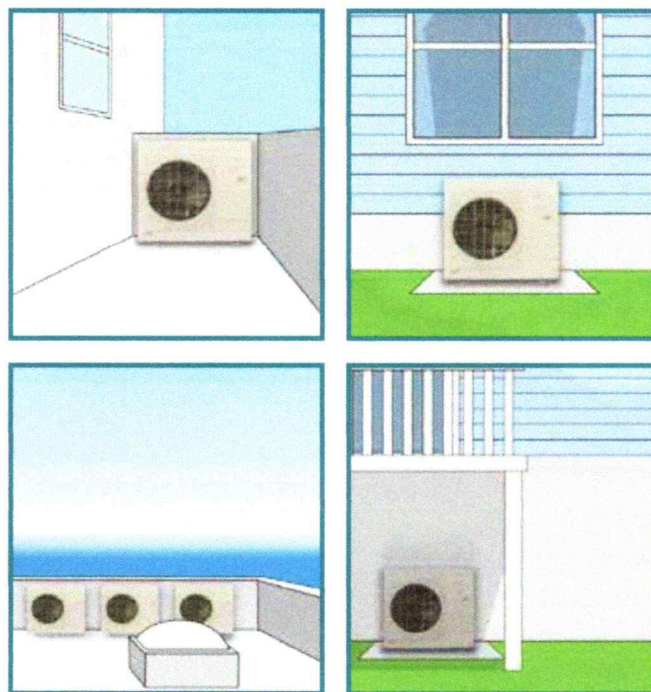
### DC Twin Rotary Compressor

A high performance, low noise, large capacity DC twin rotary compressor is used.



### Compact Size

The compact size of the outdoor units allows for many installation opportunities.



### Multi-zone Efficiency

Model	Type	SEER2	HSPF2	EER2	COP2	Energy Star Rating*
AOU18RLXFZ	Non Ducted	18	8.7	12.5	3.44	ES
	Ducted	16.3	8.7	12.1	3.52	ES
	Mixed	17.15	8.7	12.3	3.48	--
AOU24RLXFZ	Non Ducted	18.5	8.8	12.5	4.04	ES
	Ducted	16	8.5	10.6	3.42	ES, ESME
	Mixed	17.25	8.6	11.55	3.79	--
AOU36RLXFZ1	Non Ducted	19	9	10	3.56	--
	Ducted	17	8.2	9	3.32	--
	Mixed	18	8.6	9.5	3.44	--
AOU45RLXFZ	Non Ducted	20	9.2	10.5	3.6	--
	Ducted	18.2	8.3	9.8	3.46	--
	Mixed	19.1	8.8	10.3	3.53	--

Energy Star Rated Combination

### Service valves

AOU18RLXFZ / AOU24RLXFZ / AOU36RLXFZ1

The above units have (2) service valves for each zone.

**BENEFITS:**

- **Installation** – Allows for reduced installation time.
- **Service** – Allows for refrigerant isolation of each zone, if necessary.
- **Add Ons** – Ease of additional add-ons.

The AOU45RLXFZ does not have this feature.

\*



# AOU18RLXFZ, AOU24RLXFZ, AOU36RLXFZ1, AOU45RLXFZ

		A	B		
		AOU18RLXFZ ASU9 + ASU9	AOU24RLXFZ ASU9 + ASU7 + ASU7	AOU36RLXFZ1 ASU9 x 4	AOU45RLXFZ ASU9 x 5
<b>Performance</b>					
Connectable Indoor Units		2	2 to 3	2* to 4	2 to 5
Connectable Unit Capacity Class	BTU/h	14,000 to 21,000	14,000 to 27,000	27,000 to 39,000	34,000 to 54,000
Rated Capacity Cooling / Heating	BTU/h	18,000 / 22,000	22,000 / 24,000	35,200 / 36,400	45,000 / 48,000
Cooling Operating Range	*F (°C)	14-115 (-10-46)	14-115 (-10-46)	14-115 (-10-46)	14-115 (-10-46)
Heating Operating Range	*F (°C)	5-75 (-15-24)	5-75 (-15-24)	5-75 (-15-24)	5-75 (-15-24)
<b>Electrical</b>					
Rated Input Power Clg/Htg	kW	1.44/1.87	1.76/1.73	3.52/3.00	4.28/3.88
Voltage/Frequency/Phase		208-230/60/1	208-230/60/1	208-230/60/1	208-230/60/1
Maximum Total Current	Amps	10.0	13.7	20.3	23.8
Minimum Circuit Ampacity	Amps	13.0	17.0	24.6	28.9
Maximum Circuit Breaker	Amps	15	20	30	30
Fan: Type x Quantity		Propeller x 1	Propeller x 1	Propeller x 1	Propeller x 1
Sound Pressure Level Cooling	dB(A)	49	51	53	53
Sound Pressure Level Heating	dB(A)	49	52	55	55
<b>Lineset Requirements</b>					
Minimum Lineset Length Each	ft(m)	16 (5)	16 (5)	16 (5)	16 (5)
Maximum Lineset Length Each	ft(m)	82 (25)	82 (25)	82 (25)	82 (25)
Minimum Lineset Length Total	ft(m)	49 (15)	49 (15)	66 (20)	49 (15)
Maximum Lineset Length Total	ft(m)	164 (50)	164 (50)	230 (70)	262 (80)
Pre-Charge Length Total	ft(m)	98 (30)	98 (30)	164 (50)*	164 (50)
Max. Lineset Height Difference Btwn Outdoor Unit & Furthest Indoor Unit	ft(m)	49 (15)	49 (15)	49 (15)	49 (15)
Max. Lineset Height Difference Btwn Indoor Units	ft(m)	33 (10)	33 (10)	33 (10)	33 (10)
Lineset Diameter	Inch	Liq. 1/4 x 2 Gas 3/8 x 2	Liq. 1/4 x 3 Gas 1/2 x 1, 3/8 x 2	Liq. 1/4 x 4 Gas 1/2 x 1, 3/8 x 3	Liq. 1/4 x 5 Gas 1/2 x 2, 3/8 x 3
<b>Size &amp; Weight</b>					
Net Weight	lbs. (kg)	119 (54)	124 (56)	150 (68)	205 (93)
Dimensions: Height	Inch	27-9/16	27-9/16	32-11/16	39-5/16
	mm	700	700	830	998
Width	Inch	35-7/16	35-7/16	35-7/16	38-3/16
	mm	900	900	900	970
Depth	Inch	13	13	13	14-9/16
	mm	330	330	330	370
Refrigerant		R410A	R410A	R410A	R410A

\* When AOU36RLXFZ1 is paired with two 18,000-Btu indoor units, you have to purchase optional part K9FZ1818 (UTP-MU36A2) kit. [Its pre-charge length is 66 ft (20 m)].

# FUJITSU



## FO\*14C SERIES

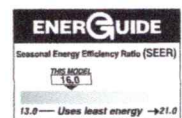
Efficiencies up to 16 SEER/13 EER  
 Nominal Sizes 1 1/2 to 5 Ton [5.28 to 17.6 kW]  
 Cooling Capacities 17.3 to 60.5 kBTU  
 [5.7 to 17.7 kW]

Manufactured for  
**Fujitsu General America, Inc.**  
 Fairfield, NJ

## AIR CONDITIONERS

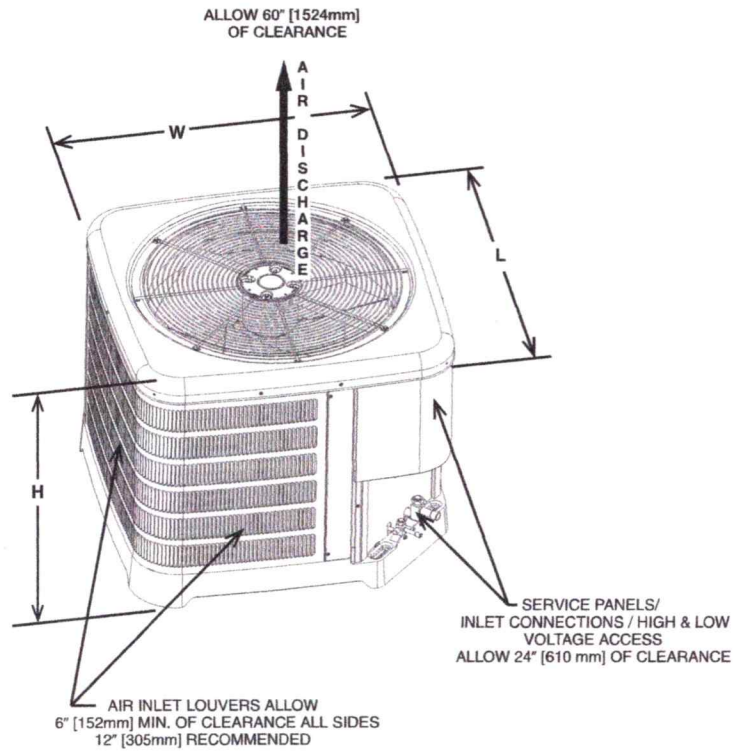
### Features

- New composite base pan – dampens sound, captures louver panels, eliminates corrosion and reduces number of fasteners needed
- Powder coat paint system – for a long lasting professional finish
- Scroll compressor – uses 70% fewer moving parts for higher efficiency and increased reliability
- Modern cabinet aesthetics – increased curb appeal with visually appealing design
- Louver panels – provide ultimate coil protection, enhance cabinet strength, and increased cabinet rigidity
- Optimized fan orifice – optimizes airflow and reduces unit sound
- Rust resistant screws – confirmed through 1500-hour salt spray testing
- 3"-4"-5" service valve space – provides a minimum working area of 27-square inches for easier access
- 15" wide, industry leading corner service access – makes repairs easier and faster
- External gauge port access – allows easy connection of "low-loss" gauge ports
- Single-row condenser coil – makes unit lighter and allows thorough coil cleaning to maintain "out of the box" performance
- Fewer cabinet fasteners – allow for faster access to internal components and hassle-free panel removal
- Service trays – hold fasteners or caps during service calls
- QR code – provides technical information on demand for faster service calls
- Fan motor harness with extra long wires allows unit top to be removed without disconnecting fan wire.



## Unit Dimensions

MODEL NO.	OPERATING						SHIPPING					
	H (Height)		L (Length)		W (Width)		H (Height)		L (Length)		W (Width)	
	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm
F01814C	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
F02414C	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
F03014C	27	685	29.75	755	29.75	755	28.75	730	32.38	822	32.38	822
F03614C	27	685	33.75	857	33.75	857	28.75	730	36.38	924	36.38	924
F04214C	35	889	33.75	857	33.75	857	36.75	933	36.38	924	36.38	924
F04814C	31	787	35.75	908	35.75	908	32.75	832	38.38	975	38.38	975
F016014C	45	1143	35.75	908	35.75	908	45.38	1153	38.25	972	38.25	972



ST-A1226-23-00

[ ] Designates Metric Conversions

### 3. 99 Daniel Street

### -Recommended Approval

**Background:** The applicant is seeking approval for changes to a previously approved design:

- DECK DEPTH REDUCED FROM 9'-0" TO 6'-0" TO PROVIDE MORE SPACE FOR PARKING.
- STAIR LEADING TO SECOND FLOOR REMOVED.
- FIRST FLOOR DECK RECESSED TO PROVIDE ROOM FOR CONDENSER UNIT.
- RAISED SILL HEIGHT OF FIRST FLOOR WINDOW ON WEST ELEVATION.
- WINDOW ADDED ON FIRST FLOOR, ADJACENT TO REAR ENTRY DOOR.
- SECOND FLOOR WINDOW REMOVED FROM NORTH ELEVATION.
- ADDITION OF GUTTERS AND DOWNSPOUTS.

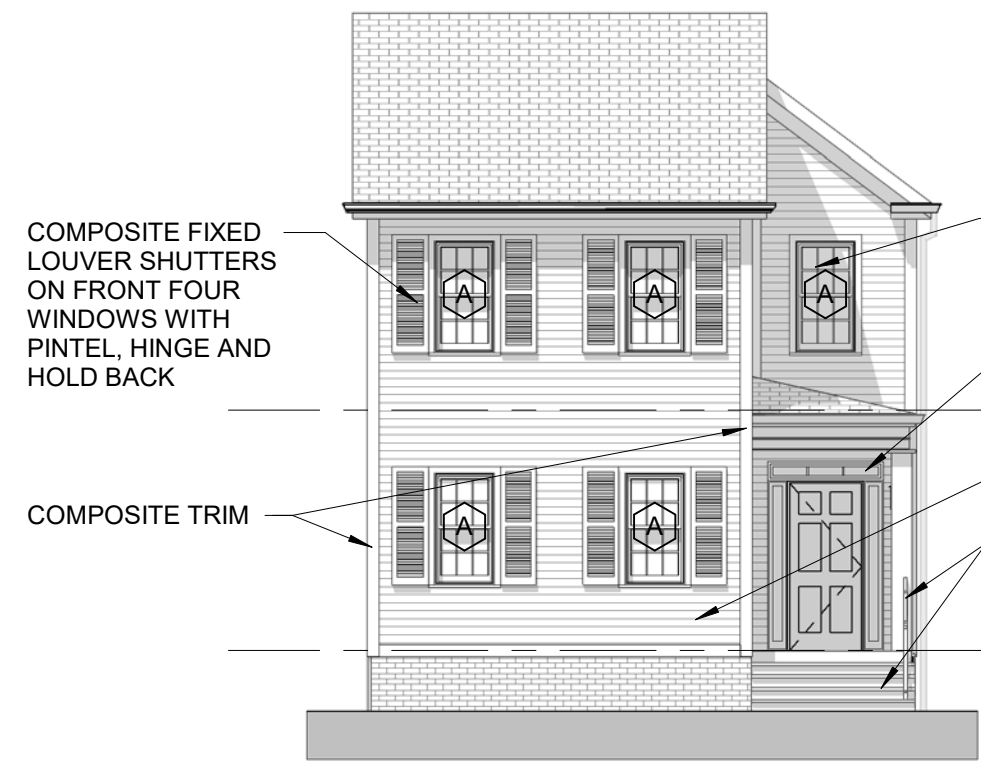
**Staff Comment:** Recommend Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**PREVIOUSLY APPROVED**

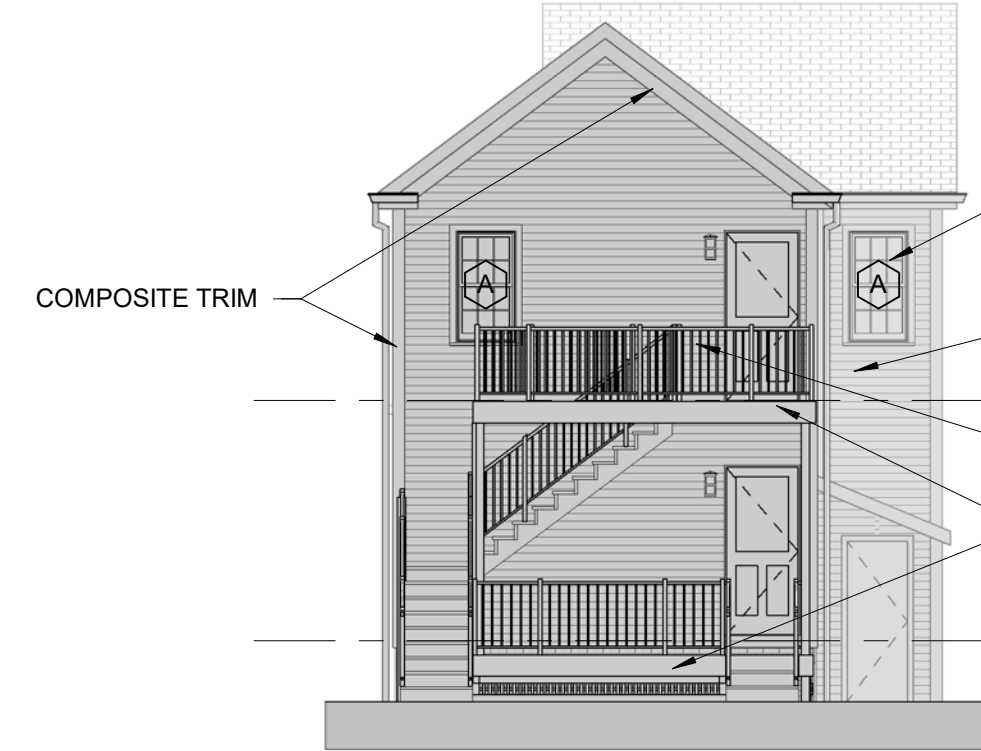
- GENERAL NOTES:  
 1. PATCH, REPAIR AND REPLACE ALL FASCIA, SOFFIT AND TRIM WITH COMPOSITE  
 2. REPOINT BRICK FOUNDATION AS NEEDED



**1 SOUTH ELEVATION**  
 1/8" = 1'-0"



**2 EAST ELEVATION**  
 1/8" = 1'-0"



**3 NORTH ELEVATION**  
 1/8" = 1'-0"



**4 WEST ELEVATION**  
 1/8" = 1'-0"

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**99/95 DANIEL STREET**  
 PORTSMOUTH, NH 03801

**99 SCHEMATIC DESIGN**  
 HISTORIC DISTRICT COMMISSION · PUBLIC HEARING  
 JANUARY 2024

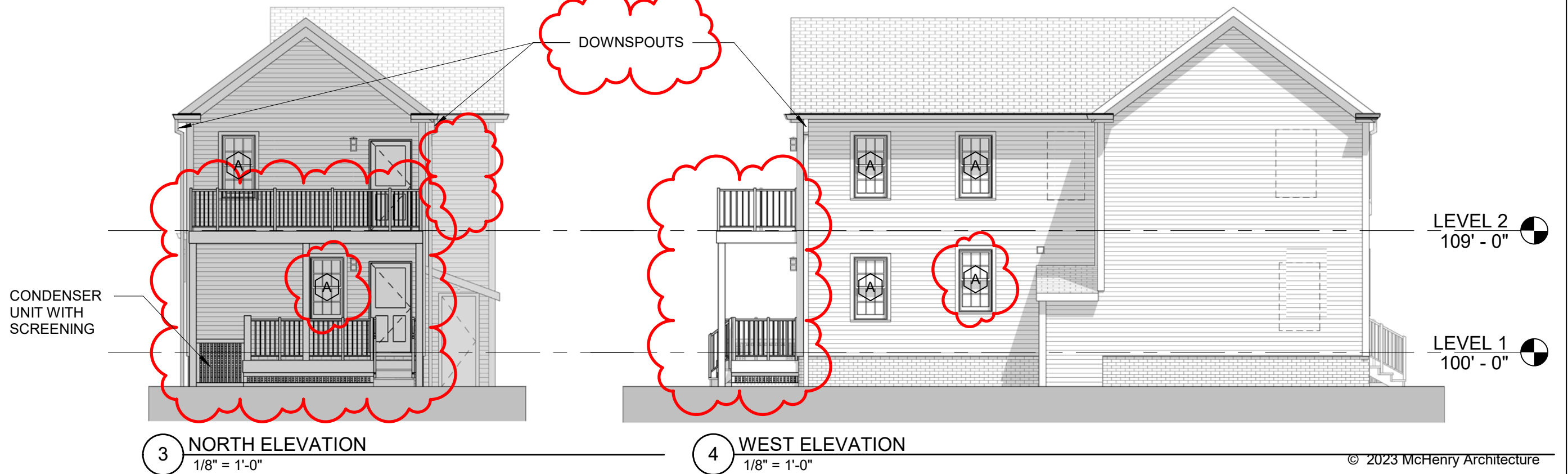
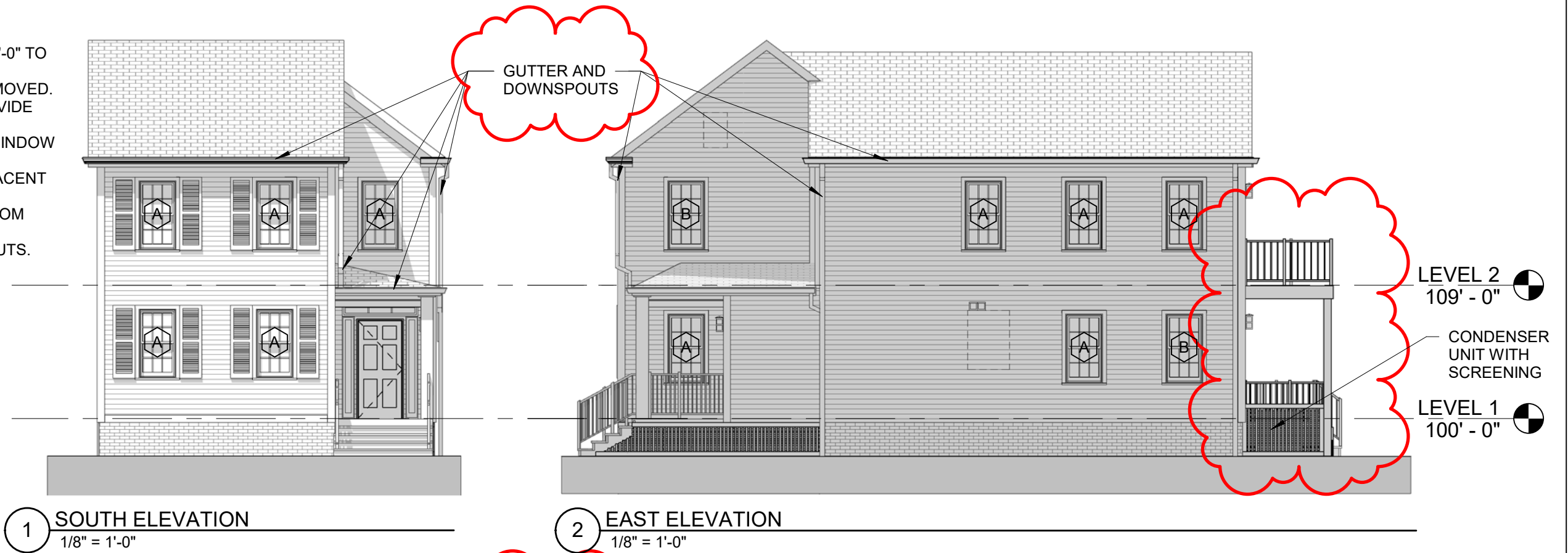
**McHENRY ARCHITECTURE**  
 4 Market Street  
 Portsmouth, New Hampshire

**A4**

12/14/2023  
 McHA: EKW/MG  
 Scale: 1/8" = 1'-0"

**PROPOSED CHANGES:**

- DECK DEPTH REDUCED FROM 9'-0" TO 6'-0" TO PROVIDE MORE SPACE FOR PARKING.
- STAIR LEADING TO SECOND FLOOR REMOVED.
- FIRST FLOOR DECK RECESSED TO PROVIDE ROOM FOR CONDENSER UNIT.
- RAISED SILL HEIGHT OF FIRST FLOOR WINDOW ON WEST ELEVATION.
- WINDOW ADDED ON FIRST FLOOR, ADJACENT TO REAR ENTRY DOOR.
- SECOND FLOOR WINDOW REMOVED FROM NORTH ELEVATION.
- ADDITION OF GUTTERS AND DOWNSPOUTS.



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**99 DANIEL STREET RENOVATION**

PORTSMOUTH, NH 03801

**PROPOSED CHANGES**

HISTORICAL DISTRICT COMMISSION - ADMINISTRATIVE APPROVAL JUNE 2024

**McHENRY ARCHITECTURE**

4 Market Street  
Portsmouth, New Hampshire

**A2**

05/16/2024

McHA: EKW/MG

Scale: 1/8" = 1'-0"

## 4. 70 Maplewood Avenue

## -Recommended Approval

### **Background: The applicant is seeking approval for**

- 1. Accent Brick Material**
    - The black accent brick proposed is a similar color and finish by a manufacturer that is more readily available.
  
  - 2. Electrical Room Windows and Door**
    - Openings on the corner elevation will need to be revised to accommodate the building power entrance on the corner of the site, and lines running internally.
  
  - 3. Penthouse Windows and Doors**
    - Interior unit design development will require some door and window adjustments to accommodate the new layout.
  
  - 4. Garage Passage Door Removal**
    - The second door from the garage is no longer needed.
  
  - 5. Exterior Bracket Spacing**
    - The brackets have been doubled and positioned on the brick piers and not within the brick recessed areas.
  
  - 6. Rooftop Solar**
    - Solar panels proposed on the penthouse roof are not visible as depicted in the renderings. They will be mounted at a low 10 degree angle
  
  - 7. Penthouse Mechanicals**
    - Mechanical equipment is proposed on the penthouse level behind the parapet wall with screening fence.
  
  - 8. Garage Louvers**
    - Garage Louvers are exempt as they are painted to match the brick and do not extend more than six inches.
- 10.633.20 Exemptions from Certificate of Approval: (8):**  
*Placement or replacement of wall-mounted mechanical or electrical equipment and ventilation terminators where the equipment (1) is painted a similar color to match or blend with the wall color, (2) does not extend more than six inches out from the wall plane, and (3) does not vent directly into a public way; and where (4) all duct work or equipment feeds enter the building's interior at ground level so as not to be visible.*

### **Staff Comment: Recommend Approval**

## Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



# 70 MAPLEWOOD AVE - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

We respectfully submit this application for amended approval for the following 8 items:

**1. Accent Brick Material**

- The black accent brick proposed is a similar color and finish by a manufacturer that is more readily available.

**2. Electrical Room Windows and Door**

- Openings on the corner elevation will need to be revised to accommodate the building power entrance on the corner of the site, and lines running internally.

**3. Penthouse Windows and Doors**

- Interior unit design development will require some door and window adjustments to accommodate the new layout.

**4. Garage Passage Door Removal**

- The second door from the garage is no longer needed.

**5. Exterior Bracket Spacing**

- The brackets have been doubled and positioned on the brick piers and not within the brick recessed areas.

**6. Rooftop Solar**

- Solar panels proposed on the penthouse roof are not visible as depicted in the renderings. They will be mounted at a low 10 degree angle

**7. Penthouse Mechanicals**

- Mechanical equipment is proposed on the penthouse level behind the parapet wall with screening fence.

**8. Garage Louvers**

- Garage Louvers are exempt as they are painted to match the brick and do not extend more than six inches.

**10.633.20 Exemptions from Certificate of Approval: (8):**

*Placement or replacement of wall-mounted mechanical or electrical equipment and ventilation terminators where the equipment (1) is painted a similar color to match or blend with the wall color, (2) does not extend more than six inches out from the wall plane, and (3) does not vent directly into a public way; and where (4) all duct work or equipment feeds enter the building's interior at ground level so as not to be visible.*

Thank you for your consideration.

Sincerely,



Carla Goodknight, AIA  
Principal, CJ Architects LLC

70 MAPLEWOOD (LOT 5)

PORTSMOUTH, NEW HAMPSHIRE

## ACCENT BRICK MATERIAL

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024



APPROVED ACCENT BRICK

MANUFACTURER:

Endicott

COLOR:

Manganese Ironspot - Smooth



PROPOSED ACCENT BRICK

MANUFACTURER:

Belden

COLOR:

Downing Black - Smooth



1.0



APPROVED (11/1/2023)

6) ROOFTOP SOLAR:  
SOLAR PANELS PROPOSED ON THE PENTHOUSE ROOF ARE NOT VISIBLE AS DEPICTED IN THE RENDERINGS. THEY WILL BE MOUNTED AT A LOW 10 DEGREE ANGLE



PROPOSED

3) PENTHOUSE WINDOWS AND DOORS:  
INTERIOR UNIT DESIGN DEVELOPMENT WILL REQUIRE SOME DOOR AND WINDOW ADJUSTMENTS TO ACCOMMODATE THE NEW LAYOUT.

SEPARATED WINDOW SPACING TO ACCOMMODATE INTERIOR PLAN

2) ELECTRICAL ROOM WINDOWS AND DOOR:  
OPENINGS ON THIS CORNER ELEVATION NEED TO BE REVISED TO ACCOMMODATE THE BUILDING POWER ENTRANCE ON THE CORNER OF THE SITE, AND LINES RUNNING INTERNALLY. SEE RENDERING ON SHEET 3.0.

70 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD AVENUE ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024



2.0



APPROVED (11/1/2023)

3) PENTHOUSE WINDOWS AND DOORS:  
INTERIOR UNIT DESIGN DEVELOPMENT WILL REQUIRE  
SOME DOOR AND WINDOW ADJUSTMENTS TO  
ACCOMMODATE THE NEW LAYOUT.

6) ROOFTOP SOLAR:  
SOLAR PANELS PROPOSED ON THE PENTHOUSE  
ROOF ARE NOT VISIBLE AS DEPICTED IN THE  
RENDERINGS. THEY WILL BE MOUNTED AT A  
LOW 10 DEGREE ANGLE



2) ELECTRICAL ROOM WINDOWS AND DOOR:  
OPENINGS IN THE WALL WILL NEED TO BE REVISED  
TO ACCOMMODATE THE BUILDING POWER  
ENTRANCE ON THE CORNER OF THE SITE, AND LINES  
RUNNING INTERNALLY.  
EXTERIOR DOOR: SEE SHEET 2.2.  
SEE RENDERING ON SHEET 3.0

7) PENTHOUSE MECHANICALS:  
MECHANICAL EQUIPMENT IS PROPOSED  
ON THE PENTHOUSE LEVEL BEHIND THE  
PARAPET WALL - WITH SCREENING FENCE.

5) EXTERIOR BRACKET SPACING:  
THE BRACKETS HAVE BEEN DOUBLED  
AND POSITIONED ON THE BRICK PIERS  
AND NOT WITHIN THE BRICK RECESSED  
AREAS.

PROPOSED

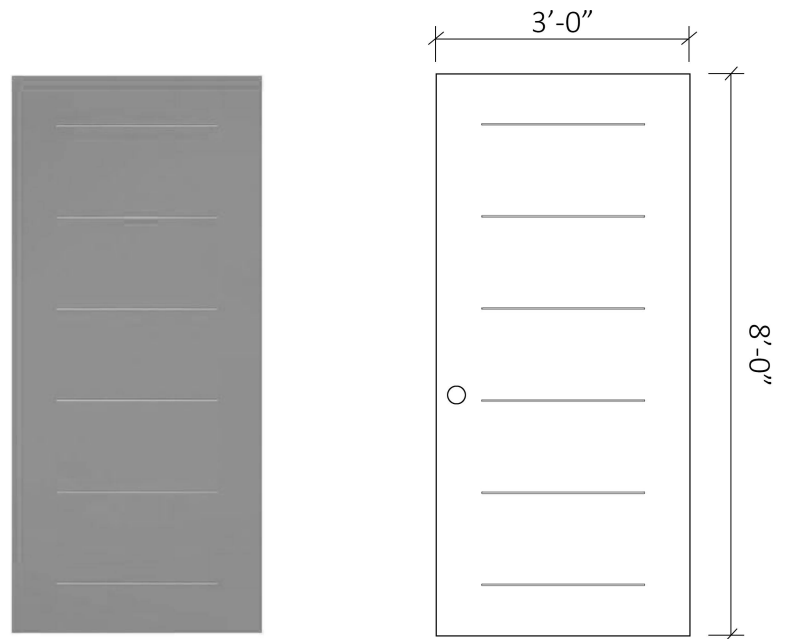
70 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

RAIL CORRIDOR ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024



2.1



EXTERIOR DOOR

**MANUFACTURER:** TRUETECH DOORS  
**COLOR:** CHARCOAL  
**SPECIFICATION:** EUROLINE 6 - INSULATED EXTERIOR METAL



APPROVED (11/1/2023)

3) PENTHOUSE WINDOWS AND DOORS:  
 INTERIOR UNIT DESIGN DEVELOPMENT WILL REQUIRE  
 SOME DOOR AND WINDOW ADJUSTMENTS TO  
 ACCOMMODATE THE NEW LAYOUT.

6) ROOFTOP SOLAR:  
 SOLAR PANELS PROPOSED ON THE PENTHOUSE  
 ROOF ARE NOT VISIBLE AS DEPICTED IN THE  
 RENDERINGS. THEY WILL BE MOUNTED AT A  
 LOW 10 DEGREE ANGLE

7) PENTHOUSE MECHANICALS:  
 MECHANICAL EQUIPMENT IS PROPOSED ON THE  
 PENTHOUSE LEVEL BEHIND THE PARAPET WALL - WITH  
 SCREENING FENCE.

8) GARAGE LOUVERS:  
 GARAGE LOUVERS ARE EXEMPT AS THEY ARE PAINTED TO MATCH THE  
 BRICK AND DO NOT EXTEND MORE THAN SIX INCHES.  
**10.633.20 EXEMPTIONS FROM CERTIFICATE OF APPROVAL: (8):**  
 PLACEMENT OR REPLACEMENT OF WALL-MOUNTED  
 MECHANICAL OR ELECTRICAL EQUIPMENT AND VENTILATION  
 TERMINATORS WHERE THE EQUIPMENT (1) IS PAINTED A SIMILAR  
 COLOR TO MATCH OR BLEND WITH THE WALL COLOR, (2) DOES  
 NOT EXTEND MORE THAN SIX INCHES OUT FROM THE WALL PLANE,  
 AND (3) DOES NOT VENT DIRECTLY INTO A PUBLIC WAY; AND  
 WHERE (4) ALL DUCT WORK OR EQUIPMENT FEEDS ENTER THE  
 BUILDING'S INTERIOR AT GROUND LEVEL SO AS NOT TO BE VISIBLE.

SEE EXTERIOR DOOR ON SHEET 2.2

4) GARAGE PASSAGE DOOR REMOVAL:  
 THE SECOND DOOR FROM THE GARAGE IS NO  
 LONGER NEEDED.



PROPOSED

70 MAPLEWOOD (LOT 5)  
 PORTSMOUTH, NEW HAMPSHIRE

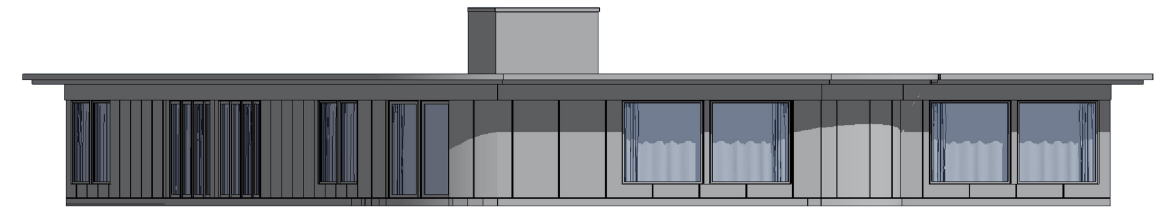
WEST ELEVATION

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024

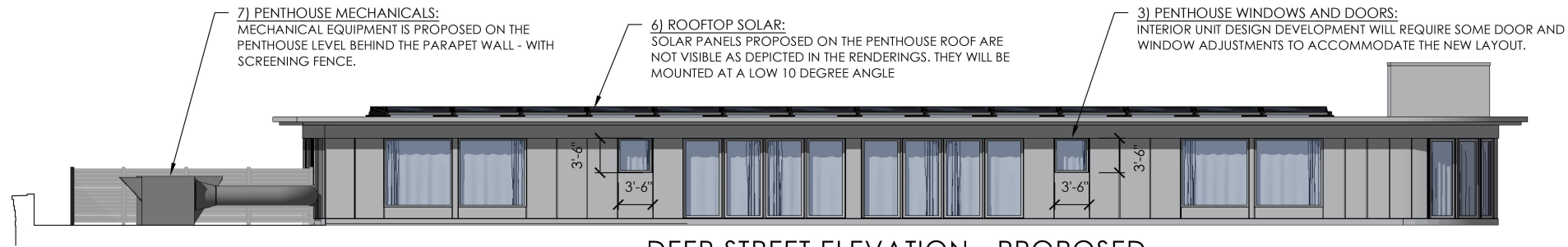




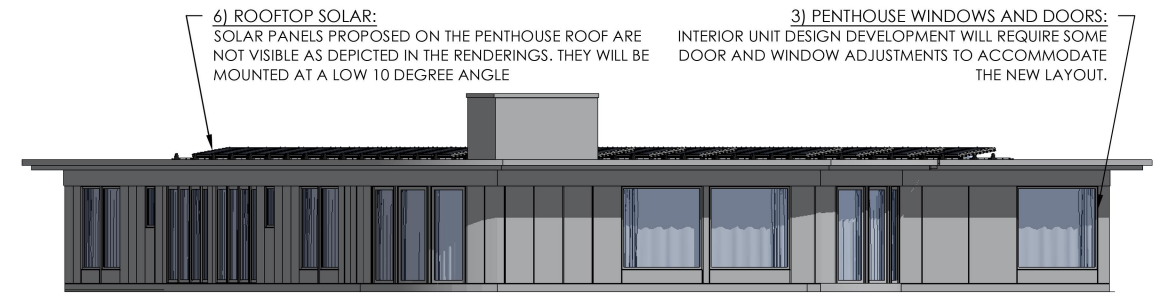
DEER STREET ELEVATION - APPROVED (11/1/2023)



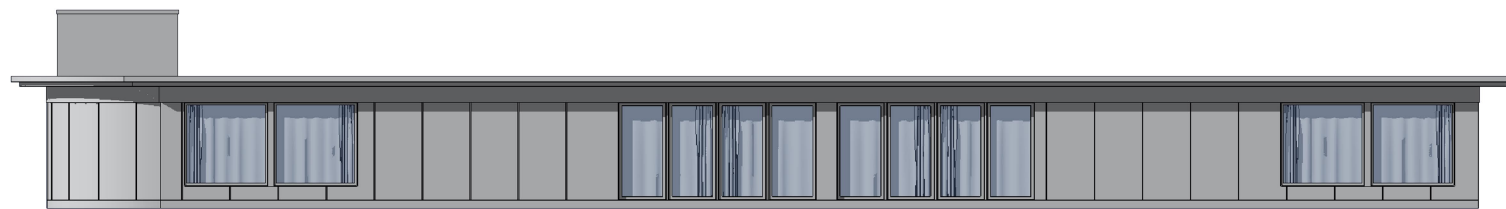
MAPLEWOOD AVENUE ELEVATION - APPROVED (11/1/2023)



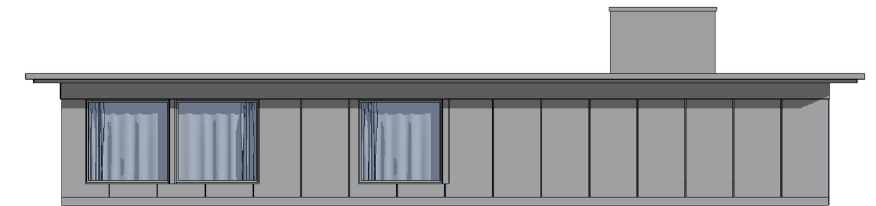
DEER STREET ELEVATION - PROPOSED



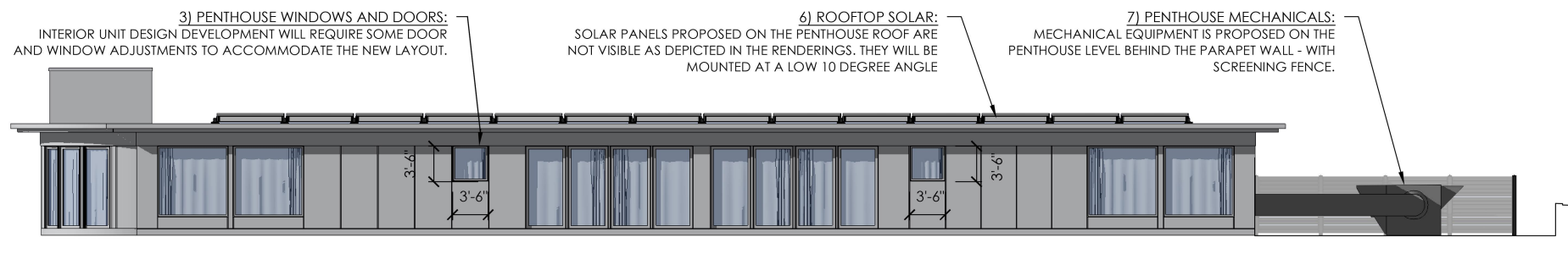
MAPLEWOOD AVENUE ELEVATION - PROPOSED



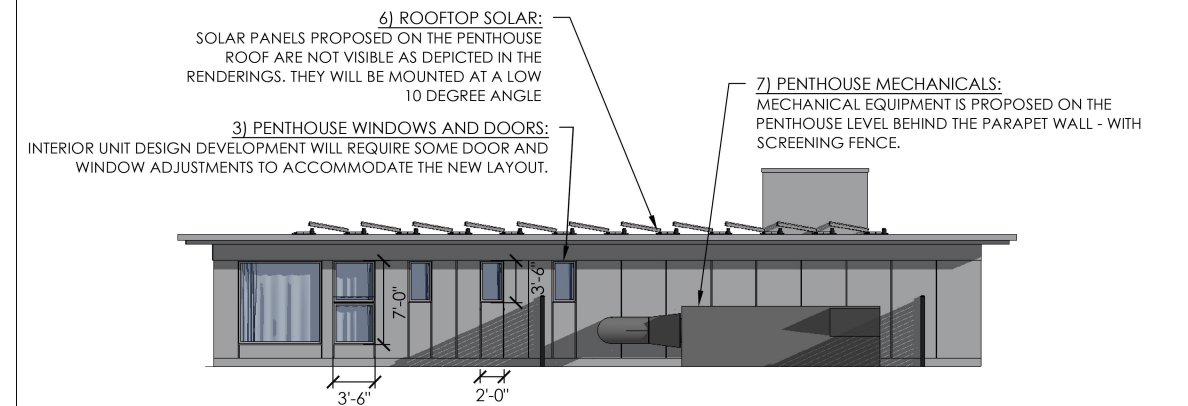
RAIL CORRIDOR ELEVATION - APPROVED (11/1/2023)



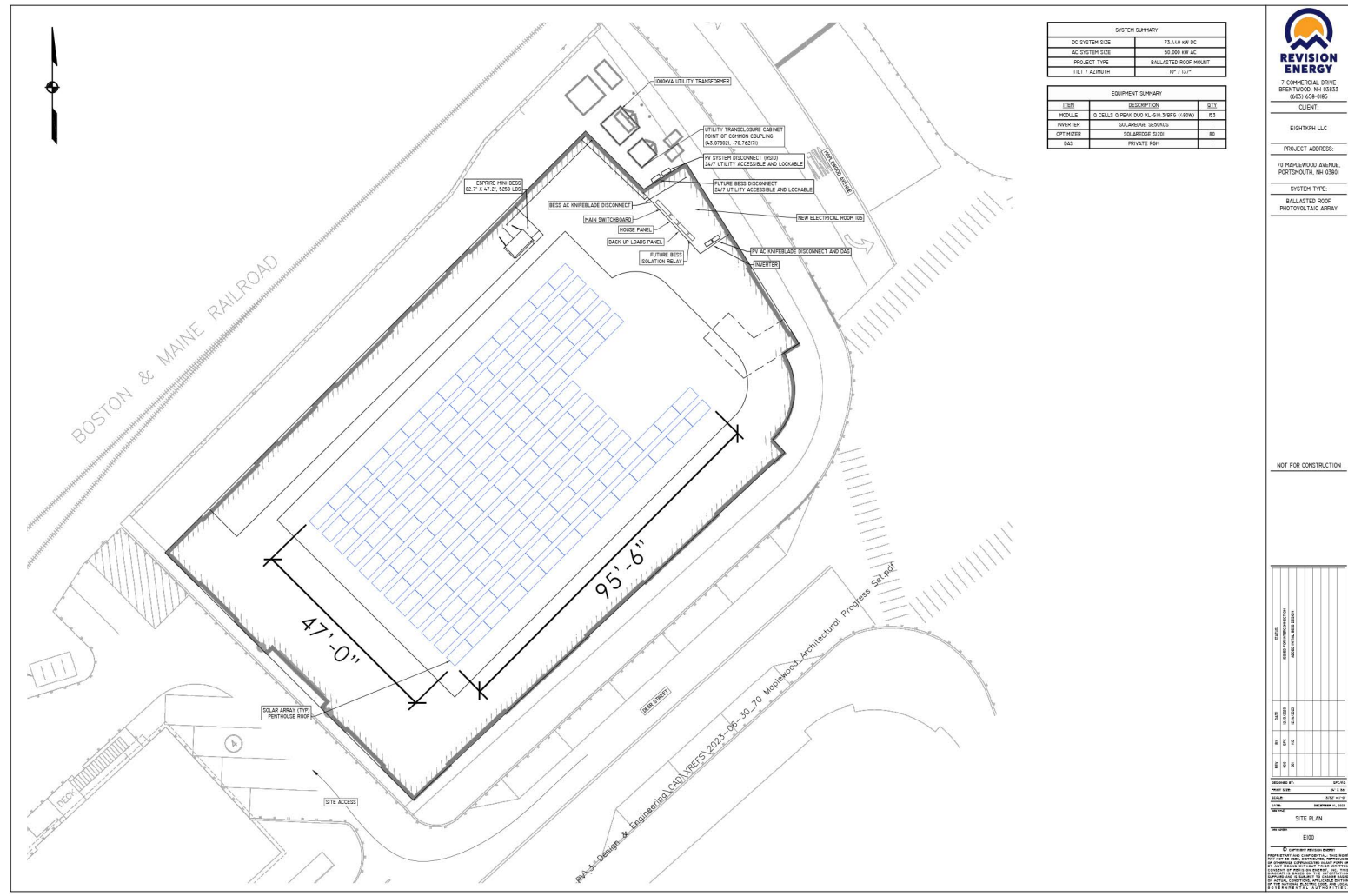
WEST ELEVATION - APPROVED (11/1/2023)



RAIL CORRIDOR ELEVATION - PROPOSED



WEST ELEVATION - PROPOSED



ROOFTOP SOLAR ARRAY PLAN



STANDS FOR ROOFTOP SOLAR ARRAY



VIEW FROM DEER STREET - SOLAR NOT VISIBLE



VIEW FROM MAPLEWOOD AVENUE - SOLAR NOT VISIBLE

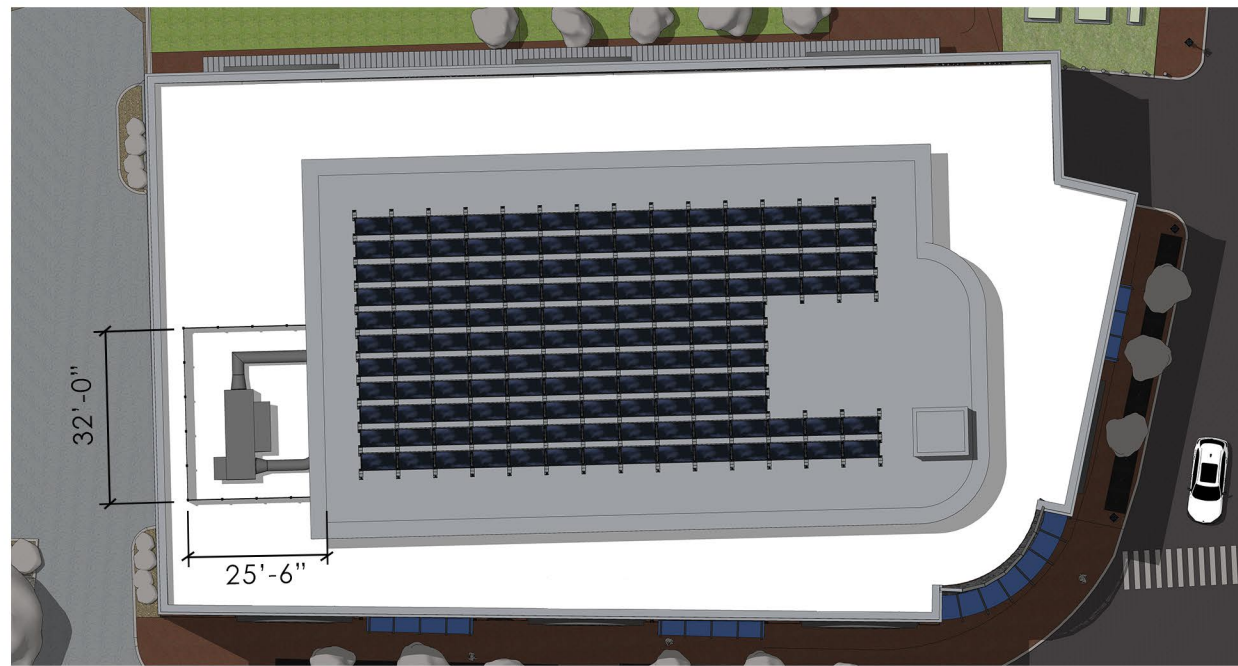
70 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

ROOFTOP SOLAR ARRAY

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024

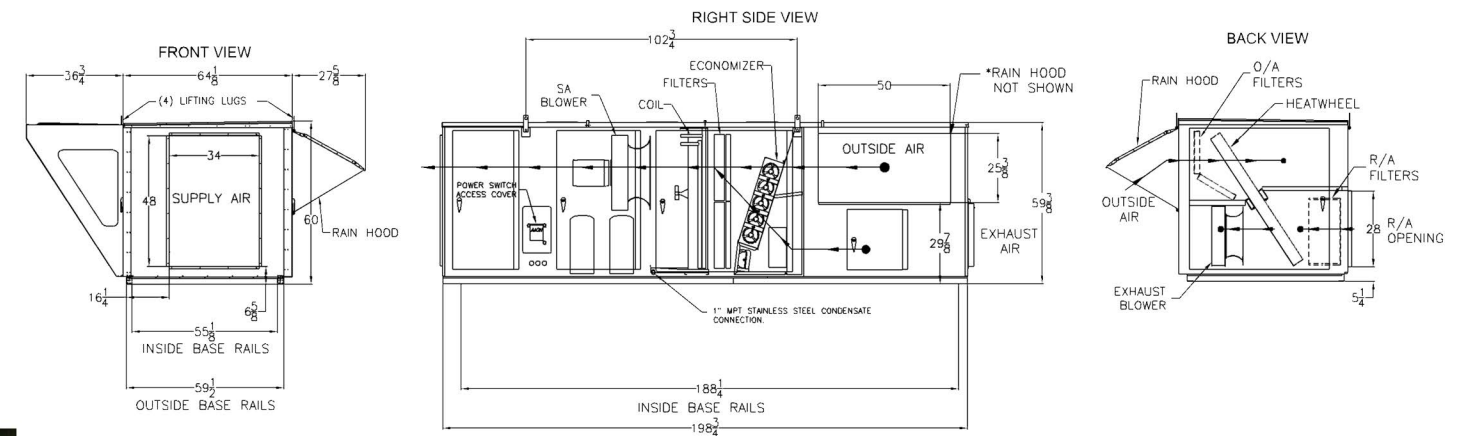
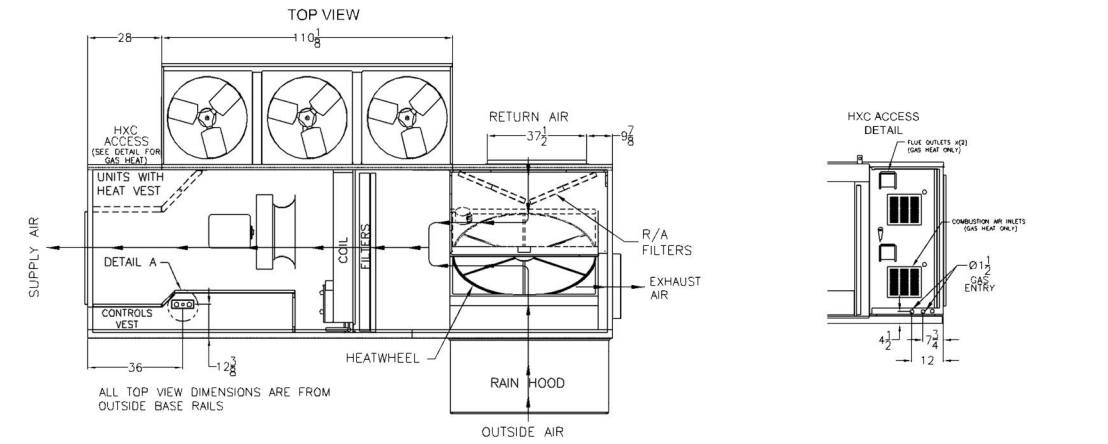


3.0

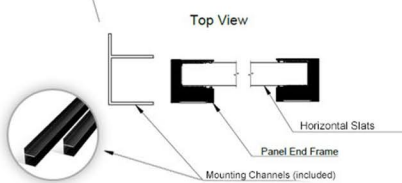
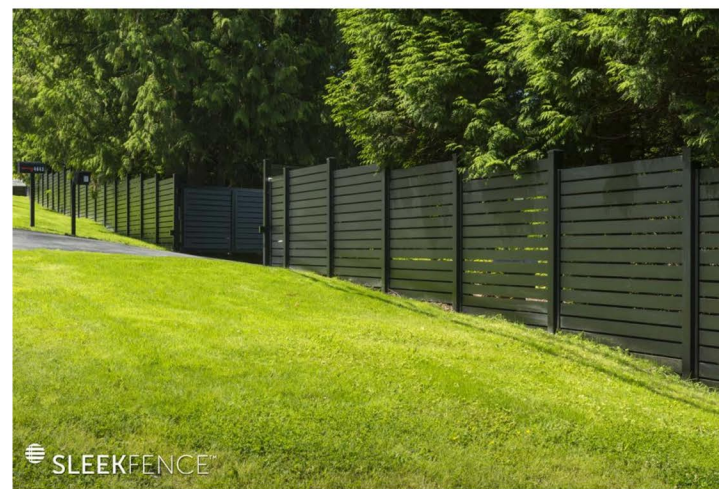
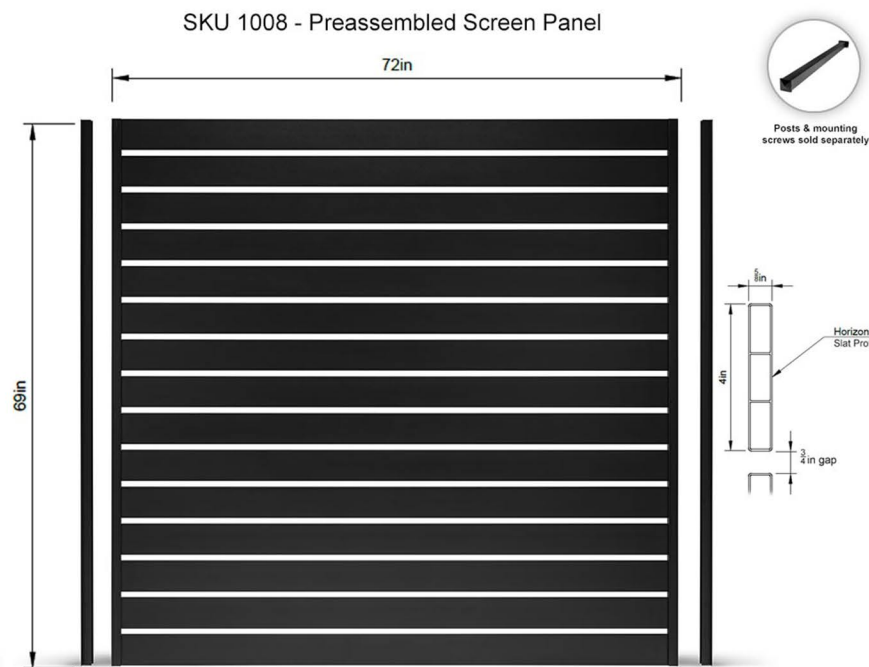


VIEW OF PENTHOUSE MECHANICALS & SCREENING

**RN SERIES  
C- CABINET HORIZONTAL  
AIR COOLED HEATWHEEL**



PROPOSED PENTHOUSE MECHANICAL EQUIPMENT:  
16'-6 3/4"L x 10'-8 1/2"W x 4'-11 3/8"H



PROPOSED MECHANICAL SCREENING

70 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

PENTHOUSE MECHANICALS & SCREENING

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: JUNE 5, 2024



3.1

**5. 346 Pleasant Street**

**-Recommended Approval**

**Background:** The applicant is seeking approval for the replacement of the existing wood fence with a new vinyl fence to be located in the same location and with a similar style.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





Conservation Commission Chair  
City of Portsmouth Conservation Commission  
1 Junkins Ave  
Portsmouth, NH 03801  
April 21<sup>st</sup>, 2024

To the attention of the Chairperson for the Conservation Commission:

We, Wentworth Senior Living at 346 Pleasant St, in an effort to meet the standards and expectations of the residents and families we serve, find it is time to replace the existing fence enclosing our garden area. The fence is a necessity in allowing our residents to maintain independence for longer, as it gives a definite border to a safe space. The fence's edge currently stands at approximately 20ft within the 25ft vegetated buffer along North Mill Pond, which disqualifies the project from seeking a Wetland Conditional Use Permit exemption. Being so, we request a Wetland Conditional Use Permit to perform this project.

The scope of this project is to remove the existing painted cedar fence, installed in 2015, with a longer lasting vinyl material with the same aesthetic and same footprint. Installation is to be conducted with a no-dig, no-aggregate method. The new posts will use the existing post holes with the vinyl to be sleeved over steel posts hand-driven into the ground to increase stability of the posts. This is in replacement of the industry-standard concrete footings in an effort to minimize impact to the ground. There are fifty posts with nominal measurements of 6"x6" set below grade within the 100ft vegetated buffer, for an actual cumulative below-grade impact of 10ft<sup>2</sup>. Lineal footage is approximately 500ft for the entire project for a cumulative project size of approximately 200ft<sup>2</sup>. The majority of fence to be replaced is within the 100ft wetland buffer. We aim not to disrupt any existing plant life for the installation of the new fence, apart from normal annual pruning maintenance.

We seek to use vinyl material for this project, going against the Historic District preferred materials, because of the reduction to impact at the waterline over time. The selected product has a material warranty of thirty years, at which time we will have replaced a wooden fence three more times and painted more than ten times. Vinyl has the added advantage of being a paintless product, removing the issue of paint chips going airborne and ending up in the water. As a lower maintenance product overall, we think the Commission should find the fence being replaced with vinyl is in alignment with the mission to minimize impacts to and protect the Portsmouth wetlands.

**MADISON ABBOTT**

*Property Manager*

Direct: 603-570-7884

[mabbott@wentworthseniorliving.org](mailto:mabbott@wentworthseniorliving.org)

346 Pleasant St. | Portsmouth | NH 03801

Ph: 603-436-0169 | F: 603-436-2040



**Property Information**

**Property ID** 0109-0010-0000  
**Location** 346 PLEASANT ST  
**Owner** M H WENTWORTH HM FOR CHRNC INV



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 08/24/2023  
Data updated 3/9/2022

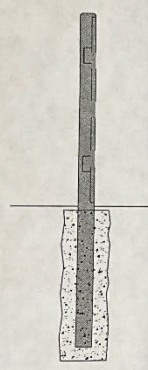
Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



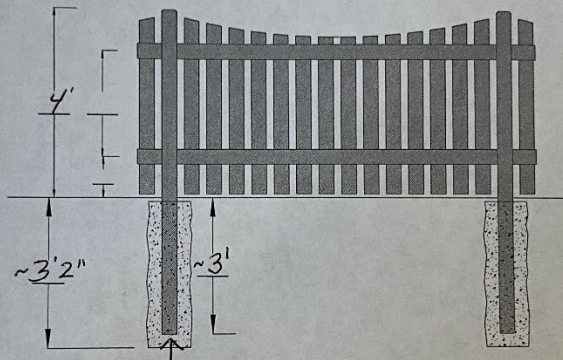
Existing Aerial View, Fencing overlined in red, buffer themes applied



Top View



Side View



Front View

2" steel post



Project:	Wentworth Senior Living	
Site Location:	346 Pleasant st	Date:
	Portsmouth, NH	Drawing # W-03

Cut sheet for new fence panels



Legend® Vinyl Fencing by Master Halco offers vinyl fencing to meet your every need. With a variety of fence styles, colors and accessories, you are free to create a secluded space for entertaining and relaxing, add charm and curb appeal to your home or add a pool-code approved fence for peace-of-mind.

Legend is low-maintenance, so you can forget about ever needing to paint, sand or stain your fence again! Our 100% vinyl PVC combines the most stringent quality standards with the most innovative compounds to produce a product that won't peel, flake, corrode, rot, rust or attract termites.



A Tradition of Fencing Solutions



Legend® Dogear Straight - White



Legend® Privacy - White



Closed Picket 3-Rail - White

## Legend® and Impressions® Vinyl Fence by Master Halco Transferable Limited Lifetime Warranty

### WHO IS COVERED

The limited lifetime warranty covers single-family residential properties only. This limited warranty extends to the original purchaser and one (1) individual transferee as specified herein.

If the original purchaser is a corporation, partnership, unincorporated association, or a government or public entity, including, but without limitation to, a church or school, any other type of building or property the warranty period will be thirty (30) years following the original date of Product purchase. This warranty applies to systems constructed entirely of components manufactured and/or supplied by Master Halco. The thirty (30) year limited warranty for commercial installations cannot be transferred.

### TRANSFEREE COVERAGE

Limited lifetime warranty coverage will be extended to one transferee on the above listed products with the following limitations: Transfer shall only be from residential homeowner (original Product purchaser) to a second homeowner. Transferee must obtain an original or copy of the initial sales receipt (with proof of date) from the previous owner(s). Additionally, if fence is purchased from a builder or installer, documentation must be supplied that names the product installed on property and date of transfer. Notwithstanding such transfer, the warranty is **valid thirty (30) years from the date of the original purchase**.

If the original purchaser is a corporation, partnership, unincorporated association, or a government or public entity, including, but without limitation to, a church, school or any other type of building or property, the thirty (30) year limited warranty cannot be transferred.

### WHAT IS COVERED BY THIS LIMITED WARRANTY

Master Halco warrants Legend® and Impressions® Vinyl Fence products ("Product") will be free from defects in material and workmanship for the warranty period. This limited warranty is valid beginning on the date of Product purchase.

Master Halco warrants the Product against peeling, flaking, rotting, chipping, cracking, blistering, or abnormal discoloration/fading\* under normal atmosphere and weather conditions for as long as you own your home or, if transferred, from **thirty (30) years from the date of the original purchase**. Separate and distinct warranties for hardware and other products are not covered under this warranty.

\*After prolonged exposure to outdoor environments, all products will experience some gradual fading over time and is considered normal (up to a standard variation determined by Delta E color measurement, not to exceed Delta 5). Degrees of fading vary depending on geographical location, air pollution, exposure and other factors. Normal deterioration of color is not covered under this warranty.

### WHAT THIS WARRANTY DOES NOT COVER

This limited warranty will not cover a change in color due to a buildup of accumulation of stains, dirt, mold, mildew or any other deficiency caused by lack of any maintenance by the owner. This limited warranty does not cover damage resulting from: misuse, abuse, improper storage or handling, improper installation, other vinyl products and accessories not manufactured by Master Halco, or manufactured for specific use in vinyl fence applications; damage caused by events beyond human control including but not limited to damage caused by animals or natural events; impact of foreign objects, fire, earthquake, flood, lightning, hail, hurricane, tornado or other casualty or act of God; movements, distortion, collapse or settling of ground or structure on which the fence is installed; distortion or melting due to external heat sources; fence that has been painted, varnished, or coated over manufacturer's finish. This limited warranty does not cover costs of removal or disposal of product, or reinstallation of replacement product.

### PROTECTING YOUR RIGHTS

To protect your rights under this warranty, please return the attached registration form\*\* to Master Halco, with the certification of your dealer, completed within 30 days of purchase. Warranty coverage is not conditional upon the return of the warranty registration form, provided you can furnish proof that the Legend® and/or Impressions® Vinyl Fence System was supplied by Master Halco and meets all of the requirements. A properly filled out warranty registration form, completed by you and your dealer, is your best proof of coverage under this limited warranty.

### GENERAL CONDITIONS AND EXCLUSIONS

THE AMOUNT OF YOUR RESTITUTION WILL NOT INCLUDE LABOR TO INSTALL THE REPLACEMENT COMPONENTS, DELIVERY CHARGES, SALES TAX OR ANY OTHER CHARGES, NOR IS MASTER HALCO REQUIRED TO PROVIDE SUCH LABOR OR SERVICE.

THIS LIMITED WARRANTY IS IN LIEU OF ALL OTHER EXPRESS WARRANTIES. MASTER HALCO MAKES NO OTHER EXPRESS WARRANTIES, AND DOES NOT AUTHORIZE ANY OTHER PERSON OR AGENT TO MAKE ANY OTHER EXPRESS WARRANTIES. MASTER HALCO NEITHER ASSUMES NOR AUTHORIZES ANY OTHER LIABILITY OR OBLIGATION IN CONNECTION WITH THIS PRODUCT. EXCEPT TO THE EXTENT PROHIBITED BY APPLICABLE LAW, ANY IMPLIED WARRANTY, INCLUDING WITHOUT LIMITATION, THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO THIS PRODUCT, IS LIMITED IN DURATION TO THE TERM OF THIS LIMITED WARRANTY. IN NO EVENT SHALL MASTER HALCO BE LIABLE FOR ANY CONSEQUENTIAL, SPECIAL, OR INCIDENTAL DAMAGES ARISING OUT OF OR CONNECTED WITH THE PURCHASE OR USE OF THIS PRODUCT OR FOR ANY BREACH OF WARRANTY.

SOME STATES DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS, OR THE EXCLUSION OR LIMITATION OF INCIDENTAL OR CONSEQUENTIAL DAMAGES, SO THE ABOVE LIMITATIONS OR EXCLUSION MAY NOT APPLY TO YOU. THIS WARRANTY GIVES YOU SPECIFIC LEGAL RIGHTS, AND YOU MAY HAVE OTHER RIGHTS THAT VARY FROM STATE TO STATE. THIS WARRANTY IS APPLICABLE ONLY TO SYSTEMS INSTALLED WITHIN THE CONTINENTAL UNITED STATES AND CANADA.

MASTER HALCO RESERVES THE RIGHT TO DISCONTINUE OR MODIFY ANY OF ITS PRODUCTS, INCLUDING THE COLOR OF ITS PRODUCTS WITHOUT NOTICE TO THE PURCHASER. MASTER HALCO DOES NOT WARRANT THAT ANY REPLACEMENT MATERIAL WILL MATCH OR BE IDENTICAL TO THE ORIGINAL PRODUCT AS REPLACEMENT PRODUCTS MAY VARY IN COLOR OR GLOSS IN COMPARISON TO THE ORIGINAL PRODUCT AS A RESULT OF NORMAL WEATHERING.

THIS WARRANTY IS EFFECTIVE FOR PRODUCTS PURCHASED AFTER JANUARY 1, 2017.

### 50 YEARS OF EXCELLENCE

Master Halco is North America's largest manufacturer and distributor of fencing materials. For more than 50 years, Master Halco has been the provider of choice for thousands of professional fence contractors and quality building material retailers. At Master Halco we provide a variety of high quality fence solutions: from chain-link to wood fencing; ornamental iron to vinyl; swimming pool fence to dog kennels; you can trust all your fencing needs to Master Halco.

\*\*Registration form is available from your dealer and/or contractor.

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## 50 YEARS OF EXCELLENCE

Master Halco is North America's largest manufacturer and distributor of fencing materials. For more than 50 years, Master Halco has been the provider of choice for thousands of professional fence contractors and quality building material retailers. At Master Halco we provide a variety of high quality fence solutions: from chain-link to wood fencing; ornamental iron to vinyl; swimming pool fence to dog kennels. You can trust all your fencing needs to Master Halco.

### Legend® Transferable Limited Lifetime Warranty Registration Card

Thank You for your purchase of your Legend product. Please take a moment to register your product to ensure your receipt of all the Legend warranty benefits.

Return this form to:

Master Halco Inc  
3010 LBJ Freeway, Suite 800  
Dallas, TX 75234

REQUIRED INFORMATION: (PLEASE PRINT)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Email: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Phone: \_\_\_\_\_

Zip Code: \_\_\_\_\_

Date Purchased: \_\_\_\_\_

Date Installed: \_\_\_\_\_

Legend Product Purchased: \_\_\_\_\_

Installer's Company Name: \_\_\_\_\_



Master Halco Inc  
3010 LBJ Freeway  
Suite 800  
Dallas, TX 75234



Warranty and care information for proposed new fencing

Place  
Stamp  
Here

### Legend® Vinyl Fence by Master Halco Care & Maintenance Instructions

• **How Do I Clean My Vinyl Fence?**

- On occasion you may want to spray your fence with a garden hose. This will remove grass clippings, dirt and fertilizer chemicals and keep it looking as new as possible.
- To remove minor stains use soap and water.
- For removal of major stains use a plastic safe degreaser or a 10:1 water / bleach mixture.

• **How Will My Vinyl Fence Perform in Hot and Cold Weather Conditions?**

- Vinyl becomes less flexible in cold weather. However, unless subjected to unusual or extreme impact, it will not break. It is normal for materials to expand and contract with changes in temperature. Flexibility is common and a benefit of vinyl fence, which allows it to maintain its strength and shape. Your fence is engineered to withstand normal changes in temperature and changing climates.

• **Will My Colored Vinyl Fence Fade?**

- Yes, all building products when exposed to sunlight gradually weather over time depending on your climate; this is called normal weathering.

• **Will My White Vinyl Fence Turn Yellow?**

- Any white product will gradually dull or fade over time, but this should not be noticeable to you.

• **Will My Vinyl Fence Chalk?**

- Light chalking is a normal occurrence of all vinyl products. Washed away by rainfall and normal changes in weather, this process helps to keep your fence looking like new.

• **Can I Paint My Fence?**

- There is no reason to paint your fence. Your fence comes in a variety of color choices to satisfy any yard décor. If you decide to paint your fence, you will void the warranty.

• **Does My Warranty Cover Gate Adjustments?**

- Unfortunately, no. Gate adjustments and leveling are normal care and maintenance items that the home owner is responsible for.

**To Maximize The Life Of Your Fence, Address These Areas:**

- Adjust the gate every Spring – (As a reminder, gate adjustments and leveling are normal care and maintenance items that the homeowner is responsible for)
- Oil the gate hinges, and tighten the screws once a year.
- Do not let the gate swing in the wind. Keep it secured.
- Deter children from swinging on the gate.
- Re-tamp and realign the loose posts.
- Do not stack or mount any objects or material near your fence.



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Care & Maintenance Instructions  
Warranty Coverage



Sample install of proposed new fencing from actual installation by vendor



Existing fence : 11 images























