

HDC

ADMINISTRATIVE APPROVALS

December 04, 2024

1. 93 Pleasant Street -Recommended Approval
2. 111 State Street -Recommended Approval
3. 179 Pleasant Street -Recommended Approval
4. 33 Jewell Court -Recommended Approval
5. 24 Market Street -Recommended Approval
6. 213 Pleasant Street -Recommended Approval
7. 765 Middle Street -Recommended Approval
8. 137 Northwest Street -Recommended Approval
9. 99Daniel Street -Recommended Approval

1. 93 Pleasant Street

-Recommended Approval

Background: The applicant is seeking approval for the installation of signage and minor changes to a previously approved design:

SHIFT DOOR AND ADD WINDOW AT COURT ST 3RD FLOOR WEST PORCH

CHANGE LOUVER TO WINDOW & SHUTTER, AT 1ST FLOOR CENTRAL ADDITION

RAISE 1ST FLOOR WINDOWS AND BRICK BAND AT SE ADDTION BY 5"

PREVIOUSLY APPROVED "PAINTED METAL FASCIAS" WILL BE ZINC COATED COPPER

MOVE ROOFTOP GENERATOR FURTHER BACK FROM ROOF EDGE

ALIGN PARKING GARAGE DOOR AT EXTERIOR WALL OPENING AS ORIGINALLY APPROVED

**RELOCATE PROPOSED WROUGHT IRON FENCE FROM COURT ST STONE WALL TO REAR
RETAINING WALL.**

ADD WOOD FENCE, TREES & PLANTINGS ALONG EAST PROPERTY LINE.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

93 PLEASANT STREET RENOVATIONS & ADDITION



DRAWING LIST

P0.1 COVER
P1.0B LANDSCAPE PLAN - PROPOSED
P1.3 ROOF PLAN
P1.7 PERSPECTIVE VIEW - SE
P1.8 PERSPECTIVE VIEW - SW
P1.10 SOUTH ELEVATION - FRONT (COURT ST)
P1.11 EAST ELEVATION - SIDE
P1.12 NORTH ELEVATION - REAR

HDC ADMINISTRATIVE APPROVAL: REVISIONS TO PREVIOUSLY APPROVED APPLICATION:

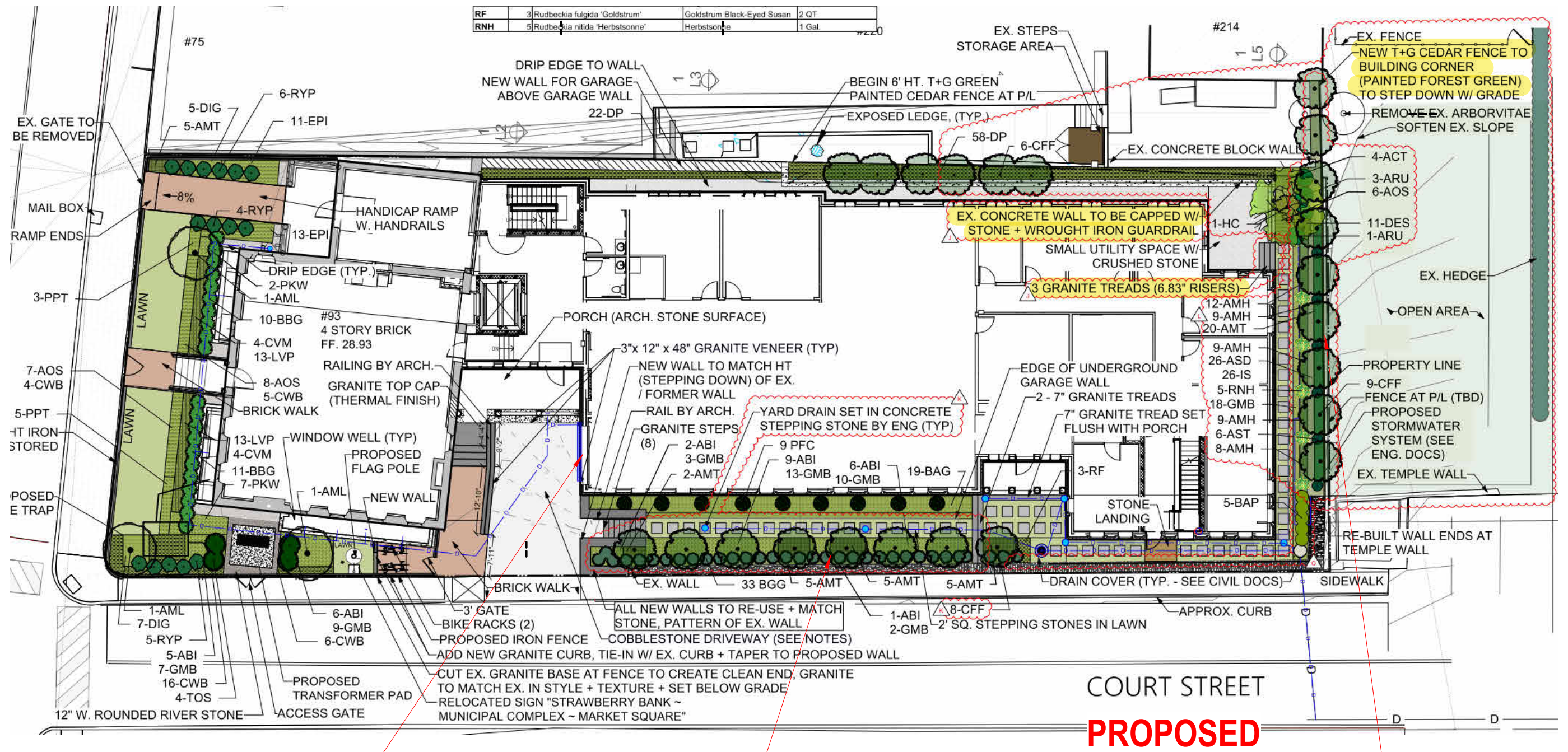
- SHIFT DOOR AND ADD WINDOW AT COURT ST 3RD FLOOR WEST PORCH
- CHANGE LOUVER TO WINDOW & SHUTTER, AT 1ST FLOOR CENTRAL ADDITION
- RAISE 1ST FLOOR WINDOWS AND BRICK BAND AT SE ADDTION BY 5"
- PREVIOUSLY APPROVED "PAINTED METAL FASCIAS" WILL BE ZINC COATED COPPER
- MOVE ROOFTOP GENERATOR FURTHER BACK FROM ROOF EDGE
- ALIGN PARKING GARAGE DOOR AT EXTERIOR WALL OPENING AS ORIGINALLY APPROVED
- RELOCATE PROPOSED WROUGHT IRON FENCE FROM COURT ST STONE WALL TO REAR RETAINING WALL.
- ADD WOOD FENCE, TREES & PLANTINGS ALONG EAST PROPERTY LINE.

P0.1

COVER
93 PLEASANT STREET

11/15/2024





SET GARAGE DOOR BACK TO EXTERIOR WALL

REMOVE METAL FENCE BEHIND COURT ST WALL & REPLACE WITH ADDITIONAL TREES & PLANTINGS

OPEN AREA & ADDITIONAL TREES

P1.0B LANDSCAPE SITE PLAN - PROPOSED HOTEL TREADWELL

11/15/2024



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P1.7

PERSPECTIVE VIEW - SE
93 PLEASANT STREET
93 PLEASANT STREET
PORTSMOUTH, NH 03801

11/15/2024



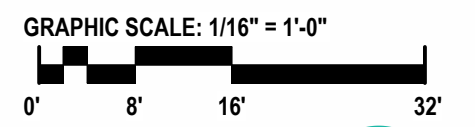
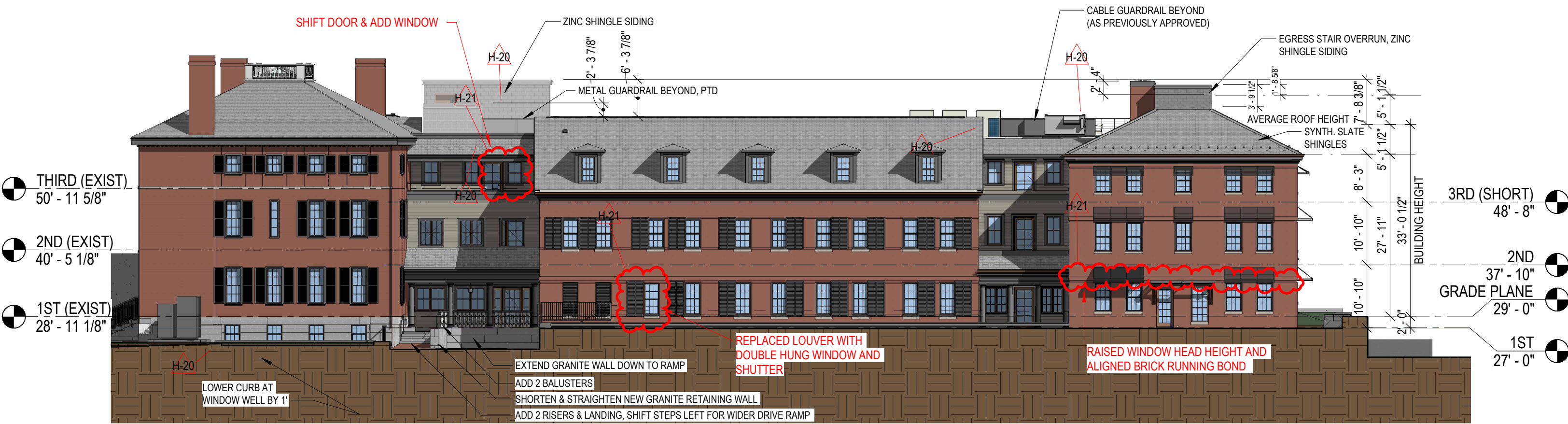


- EXTEND IRON FENCE TO CORNER
- LOWERED GRADE 1' AT BASEMENT AREA WELL
- EXTEND GRANITE WALL DOWN TO RAMP GRANITE PAVERS
- ADD 2 BALUSTERS
- STRAIGHTEN & SHORTEN GRANITE RETAINING WALL FOR WIDER RAMP
- ADD 2 GRANITE RISERS & LANDING, SHIFT STEPS LEFT FOR WIDER RAMP

P1.8 **PERSPECTIVE VIEW - SW**
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801

11/15/24





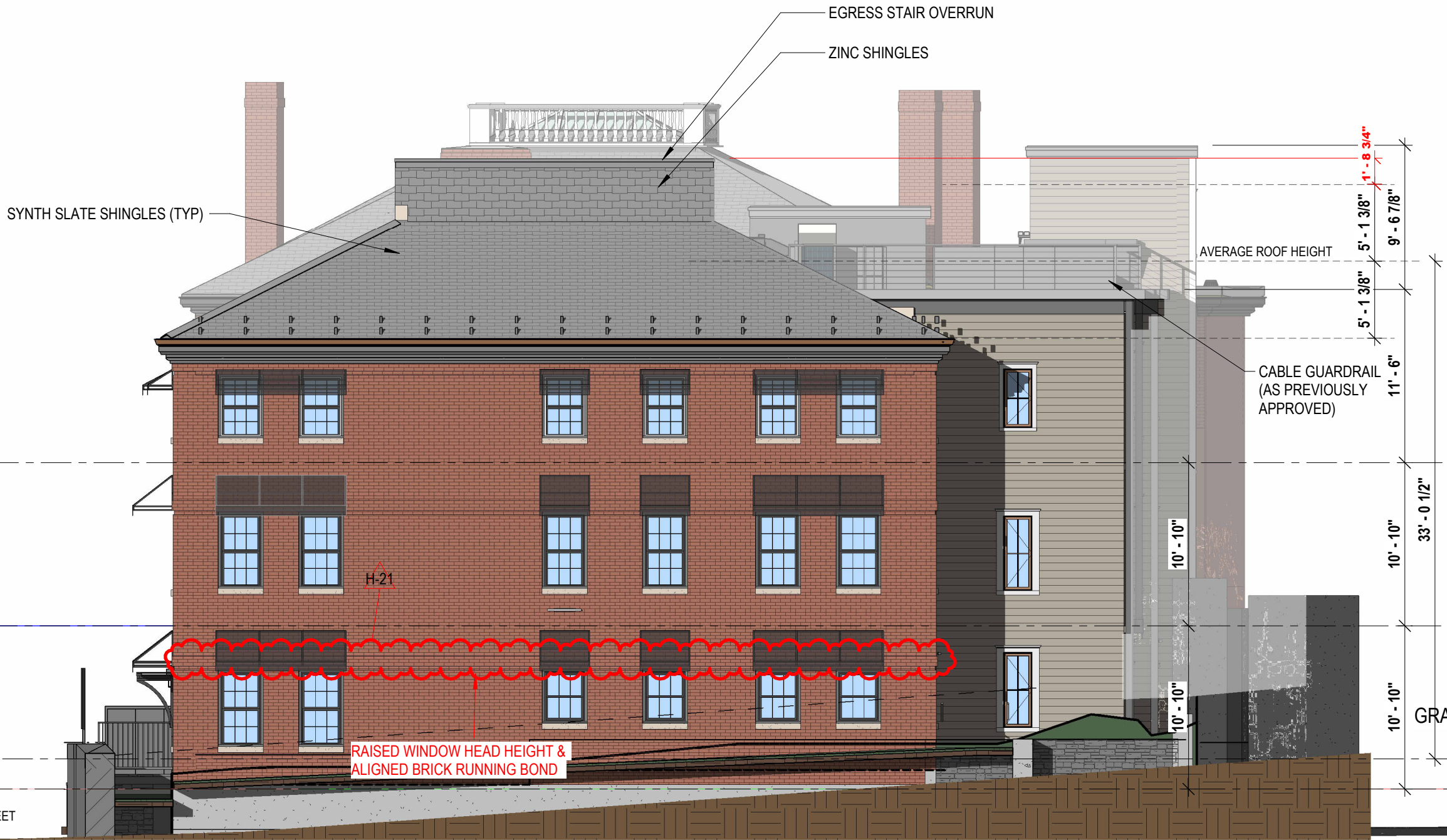
**P1.10 SOUTH ELEVATION - FRONT (COURT ST)
HOTEL TREADWELL**

11/15/2024



EXTERIOR LIGHTING LEGEND

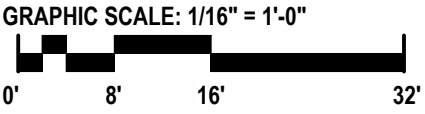
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT



COURT STREET

RAISED WINDOW HEAD HEIGHT & ALIGNED BRICK RUNNING BOND

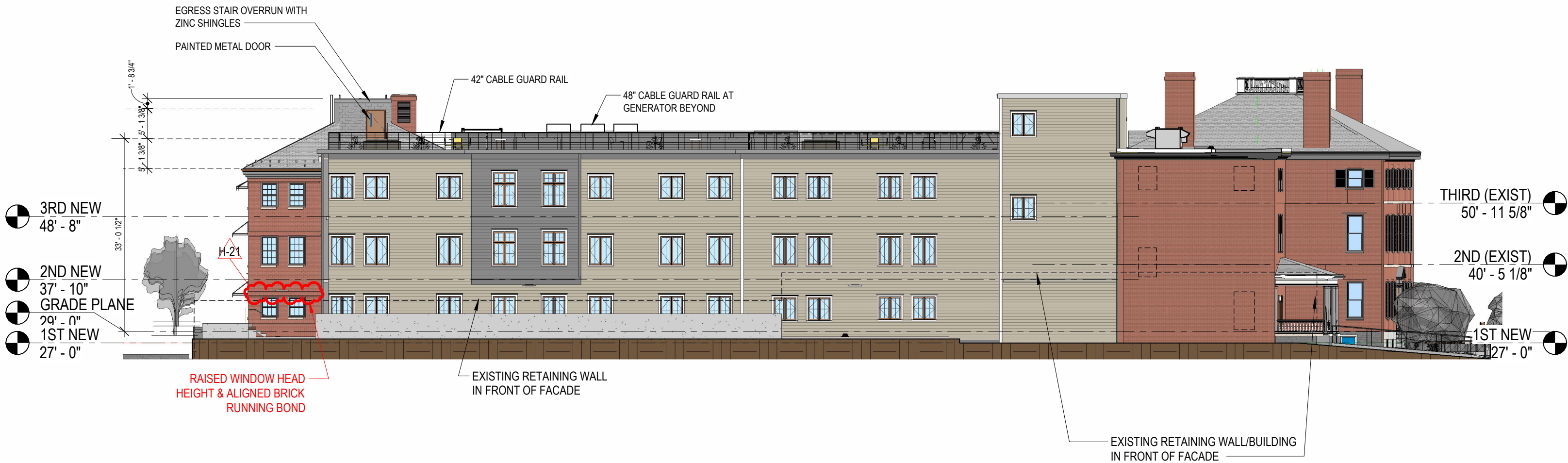
H-21



P1.11 EAST ELEVATION - SIDE HOTEL TREADWELL

11/15/2024





EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT

**P1.12 NORTH ELEVATION - REAR
HOTEL TREADWELL**

11/15/2024



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2. 111 State Street

-Recommended Approval

Background: The applicant is seeking approval for minor changes to a previously approved design:

- 1. INFILL OPENING AT SOUTHWEST GABLE PORCH WITH A DOUBLE HUNG WINDOW TO MATCH EXISTING WINDOWS BELOW**
- 2. CHANGE DOUBLE HUNG WINDOW AT WEST GABLE TO A STAINED GLASS FIXED SASH.**

Staff Comment: Recommended Approval

Stipulations:

- 1. _____**
- 2. _____**
- 3. _____**

111 STATE STREET ADDITION & RENOVATION



REVISIONS TO PREVIOUSLY APPROVED APPLICATION

1. INFILL OPENING AT SOUTHWEST GABLE PORCH WITH A DOUBLE HUNG WINDOW TO MATCH EXISTING WINDOWS BELOW
2. CHANGE DOUBLE HUNG WINDOW AT WEST GABLE TO A STAINED GLASS FIXED SASH.

DRAWING LIST

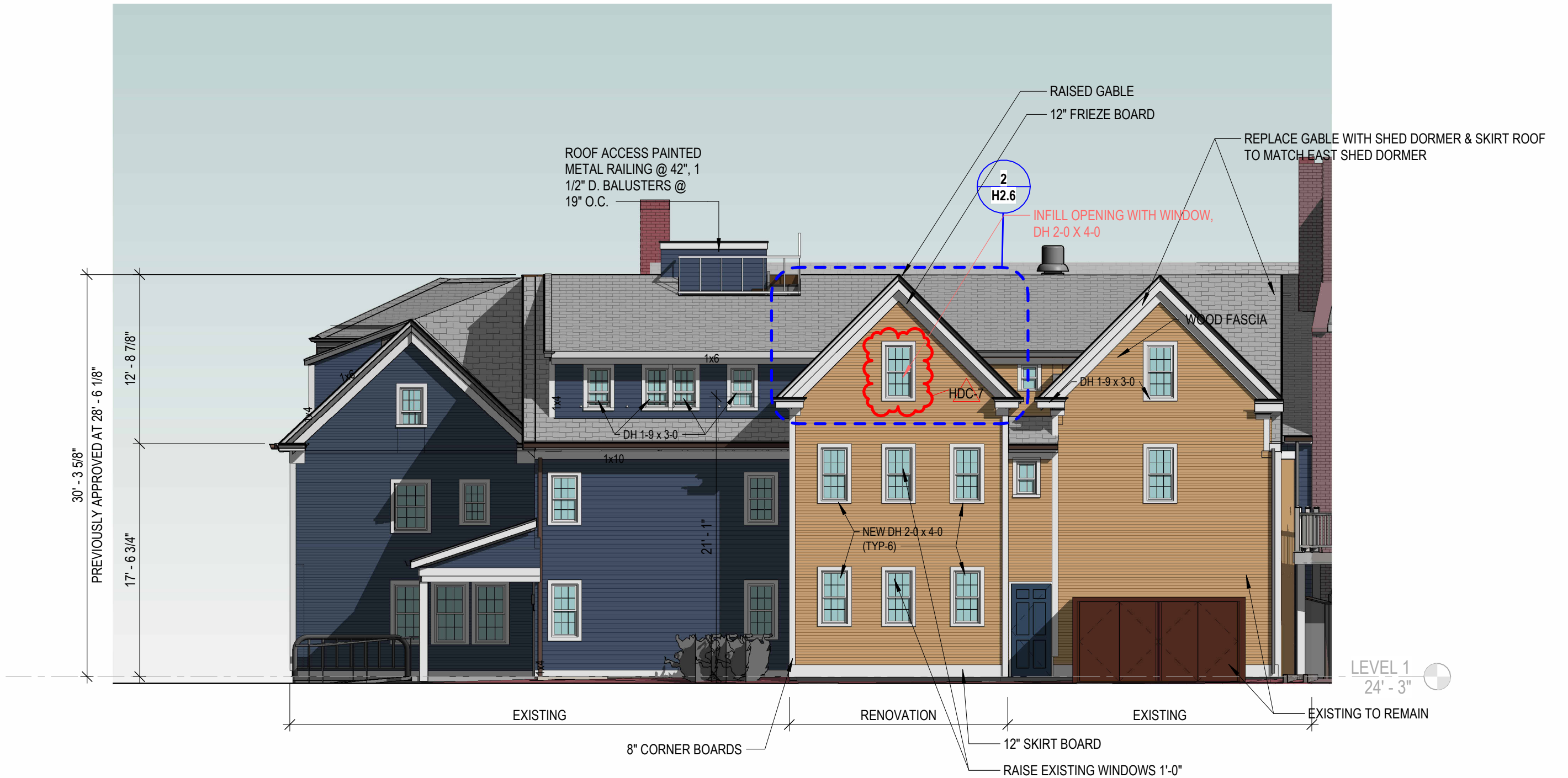
- H0.1 COVER
- H2.4 SHEAFE STREET ELEVATION
- H2.6 GABLE DETAIL

COVENTRY REALTY, LLC

**HDC- Revision 7
ADMINISTRATIVE
APPROVAL
DECEMBER 2024**

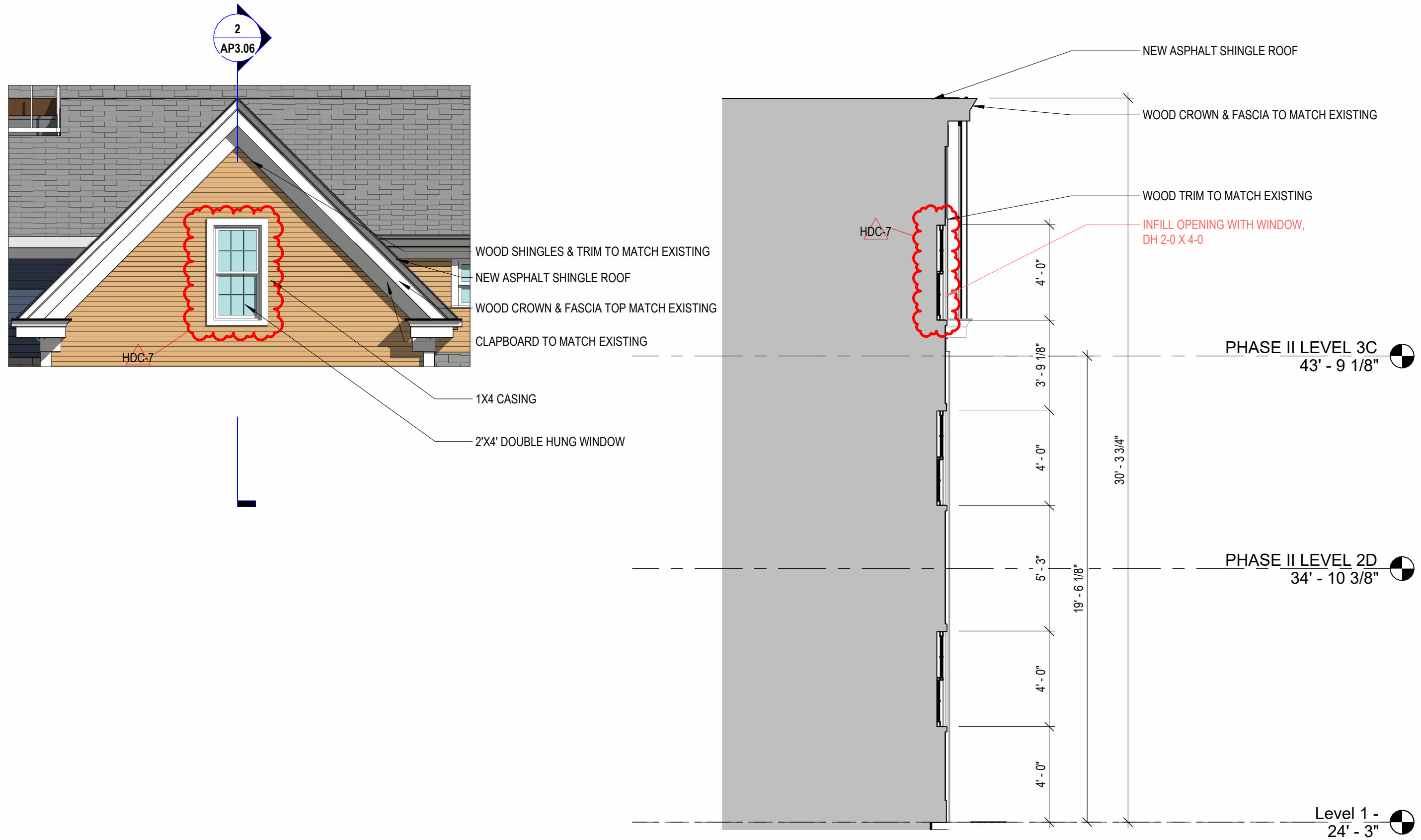
H0.1 **COVER**
111 STATE STREET
SCALE:
11/15/2024





**H2.4 SHEAFE STREET ELEVATION
111 STATE STREET**

SCALE: 1/8" = 1'-0"
11/15/24



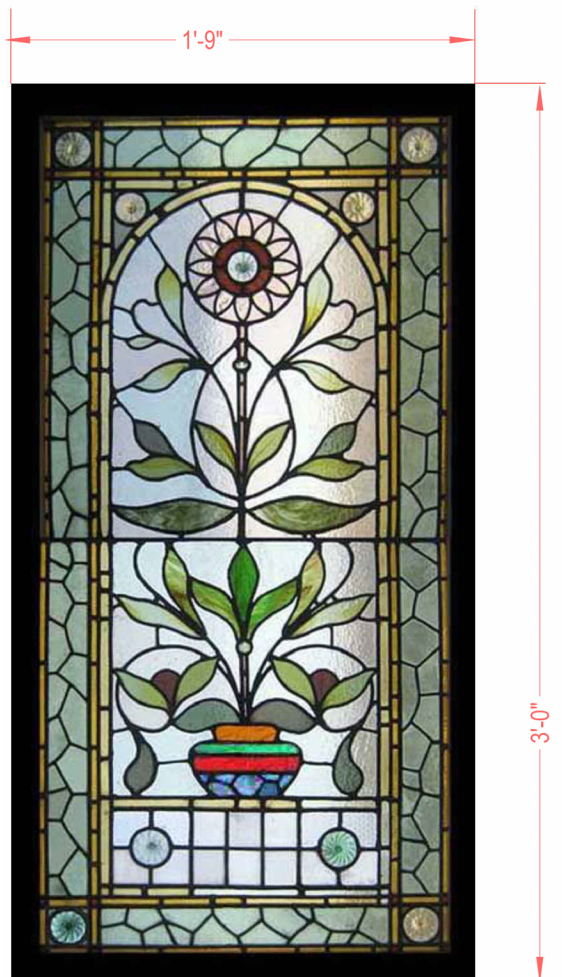
H2.6 **GABLE DETAIL - SHEAFE STREET**
111 STATE STREET

SCALE: 1/4" = 1'-0"
11/15/24



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INFILL CASED OPENING WITH 2'X4' DOUBLE HUNG WINDOW, TO MATCH OTHER WINDOWS



STAINED LEADED GLASS FIXED SASH, SET INTO WOOD FRAME WITH TRIM TO MATCH OTHER WINDOWS



H3.2 VIGNETTE - SHEAFE ST WEST
111 STATE STREET

SCALE:
11/15/2024

3. 179 Pleasant Street

-Recommended Approval

Background: The applicant is seeking approval for the removal of some existing chain link fencing and the installation of fencing to surround the property (with a mix of wood and iron).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

179 PLEASANT STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

The residents at 179 Pleasant Street have two labrador retrievers and are interested in enclosing the perimeter of the property for their safety. We respectfully submit this application for administrative approval for various perimeter fencing conditions at 179 Pleasant Street.

The current site contains a variety of fencing conditions consisting of wood, chain link, and iron. All elevations of fencing contained herein are drawn as viewed from the abutter's property. Our design approach is as follows:

WOOD

We propose to utilize the wood fence design that abuts the Historic Governor Langdon House in the locations where we are proposing a wood fence.

CHAIN LINK

We propose to replace the chain link and additional areas along the back of the property with an aluminum picket fence. The owner has reviewed this option with the Landon property administration and they are in favor of this approach.

IRON

We propose to repair and maintain the existing historic iron fence and gate along Pleasant Street and extend the iron design elements along the length of the sidewalk. We propose a gate at the driveway, modeled after the historic existing gate, to enclose the property for the labrador retrievers. The proposed front fence would be a full iron design fabricated by New England Castings, LLC and installed by Knight Welding.

Per the Zoning Ordinance: We have designed all fence locations to be below six feet in height, and the historic fence along Pleasant Street is below four feet in height.

Section 10.515.13 Measurement Rules; Fences not over 4 feet in height shall be exempt from front yard requirements, and fences not over 6 feet in height shall be exempt from side and rear yard requirements.

Thank you for your consideration.
Sincerely,

Carla Goodknight, AIA Principal, CJ Architects LLC
Representing owners: Mill Pond View, LLC.



VIEW OF EXISTING FRONT FENCES & GATE



VIEW OF EXISTING IRON POSTS



VIEW OF EXISTING WOOD FENCE



VIEW OF EXISTING CHAINLINK FENCE

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

AGENDA & EXISTING CONDITIONS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: DECEMBER 4, 2024



1.0

1 EXISTING LANGDON WOOD FENCE

The existing wood fence along the Historic Governor Langdon property, as shown in AREA 1, will remain.

2 EXISTING CHAINLINK & MULTIPLE WOOD FENCES

2A
We propose to replace the existing chain link fence in AREA 2A with a six foot high aluminum picket fence. The owner has reviewed this option with the Landon property administration and they are in favor of this approach.

2B
We propose to replace the existing wood fence in AREA 2B with a six foot high aluminum picket fence and access gate.

2C
We propose to replace the various existing wood fences in AREA 2C with a six foot high aluminum picket fence.

3 EXISTING WOOD FENCE & OPENINGS

In AREA 3, we propose to construct a duplicate wood fence along the abutter's property that will be modeled after the wood fence design that abuts the Historic Governor Langdon House in AREA 1.

4 EXISTING IRON & WOOD FENCE

In AREA 4, we propose to repair and maintain the existing historic iron fence and gate along Pleasant Street and extend the iron design elements along the length of the sidewalk. We propose a gate at the driveway, modeled after the historic existing gate, to enclose the property for the labrador retrievers. The proposed front fence would be a full iron design fabricated by New England Castings, LLC and installed by Knight Welding.



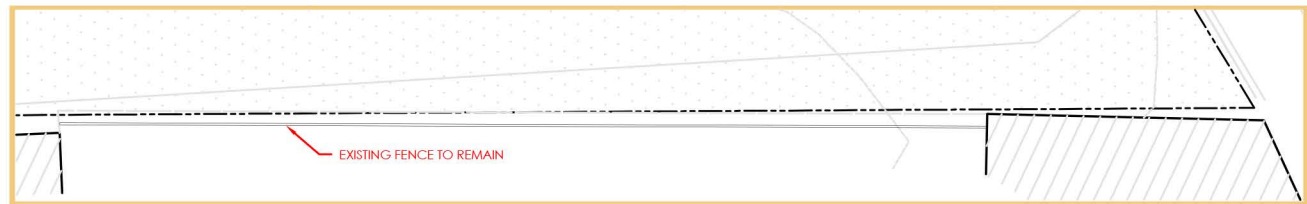
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

SUMMARY & LANDSCAPE PLAN

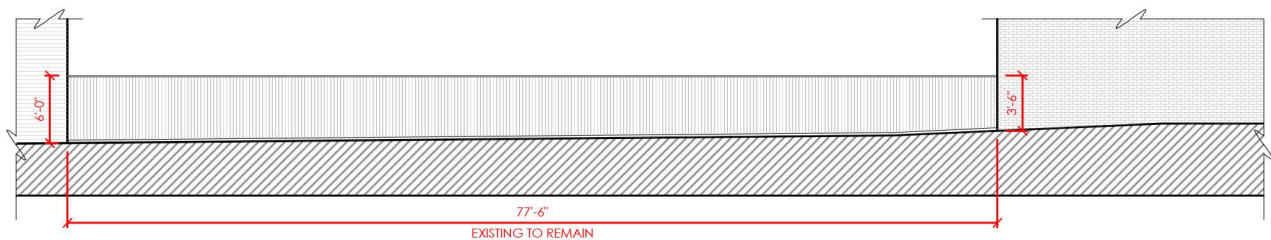
HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: DECEMBER 4, 2024



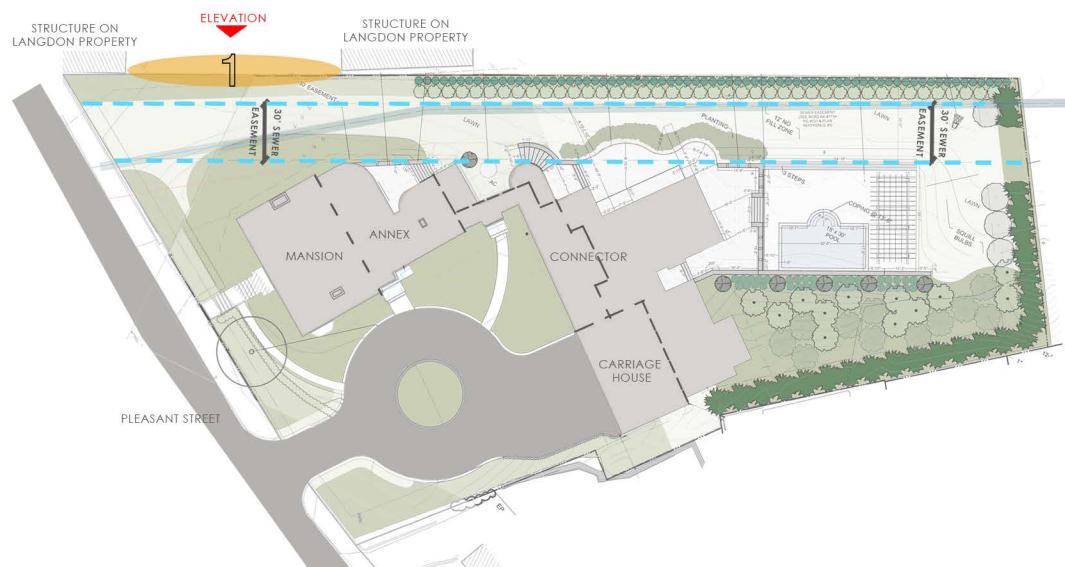
2.0



PLAN
1/16" = 1'-0"



EXISTING ELEVATION TO REMAIN
1/16" = 1'-0"



EXISTING LANGDON FENCE



EXISTING LANGDON FENCE CAP



VIEW OF EXISTING FENCE TO REMAIN



VIEW OF EXISTING FENCE TO REMAIN

1 EXISTING LANGDON WOOD FENCE

LOCATION & DIMENSIONAL INFORMATION

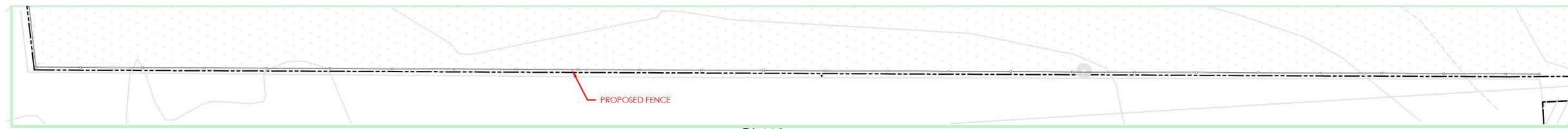
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FENCES

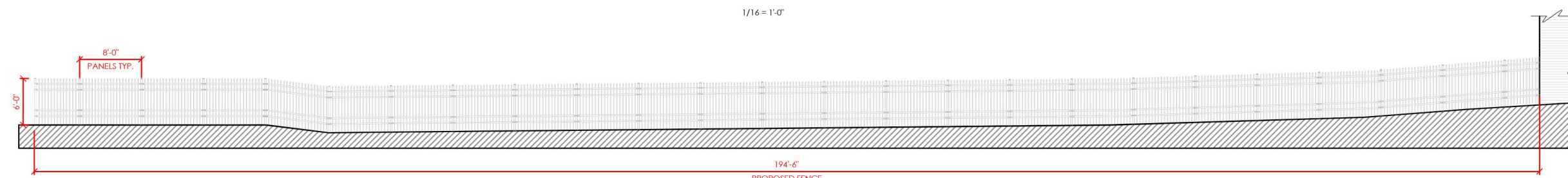
HDC ADMINISTRATIVE APPLICATION FOR APPROVAL: DECEMBER 4, 2024



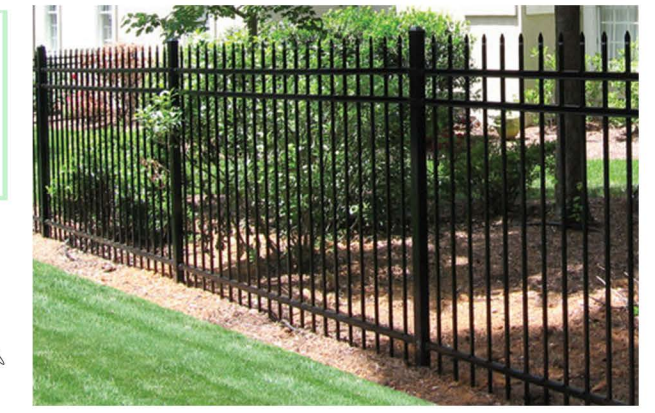
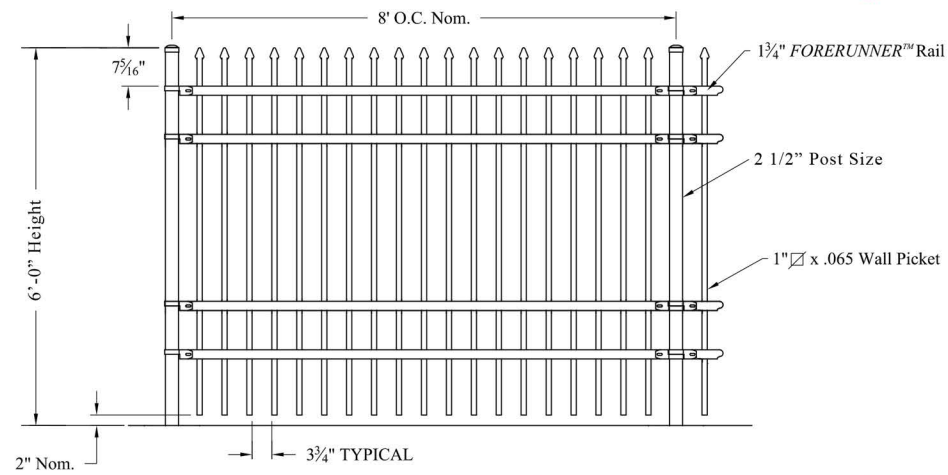
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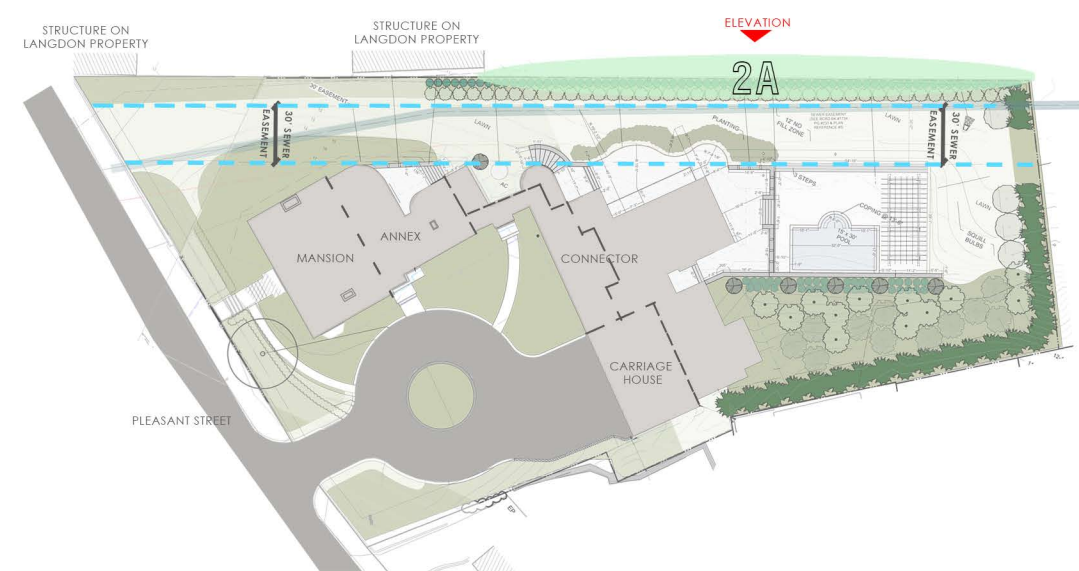
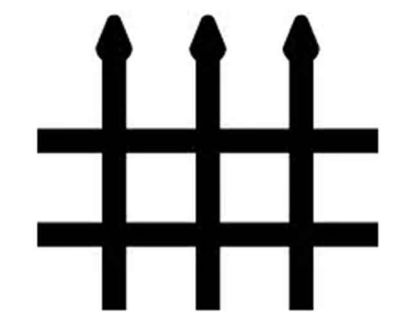
PLAN
1/16" = 1'-0"



ELEVATION
1/16" = 1'-0"



PROPOSED ALUMINUM FENCE:
MANUFACTURER: AMERISTAR FENCE
STYLE: ECHELON II CLASSIC
COLOR: BLACK
DIMENSIONS: 8'-0" WIDTH x 6'-0" HEIGHT



VIEW OF EXISTING METAL CHAINLINK FENCE

2A PROPOSED FENCE FACING LANGDON MANSION

LOCATION & DIMENSIONAL INFORMATION

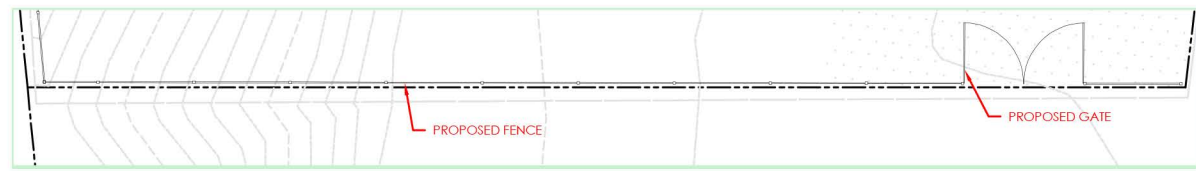
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FENCES

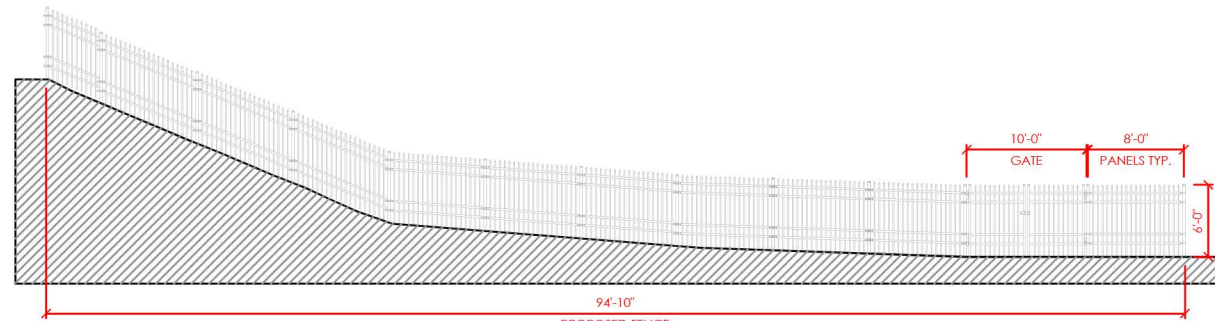
HDC ADMINISTRATIVE APPLICATION FOR APPROVAL: DECEMBER 4, 2024



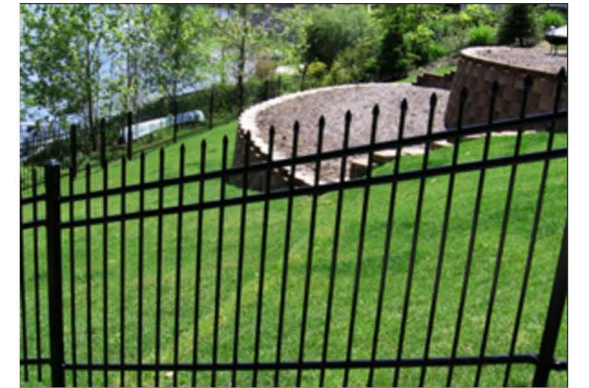
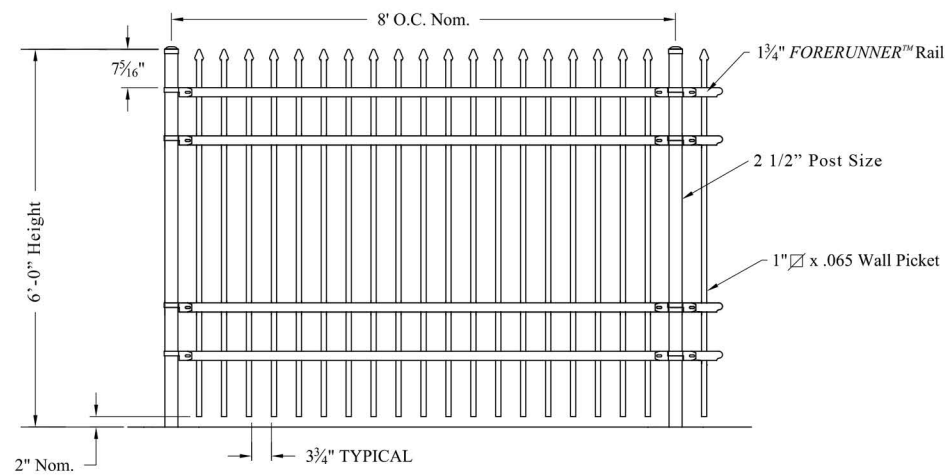
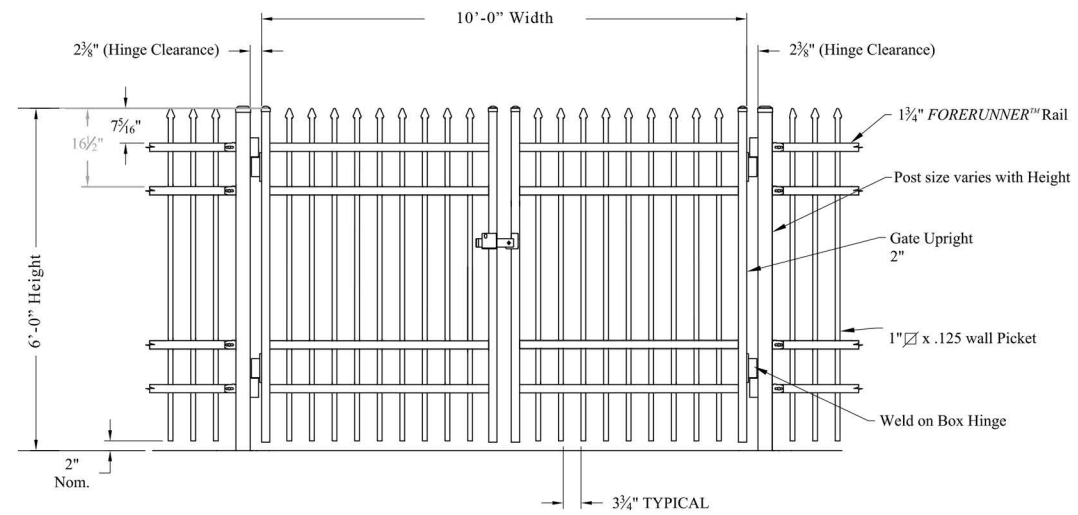
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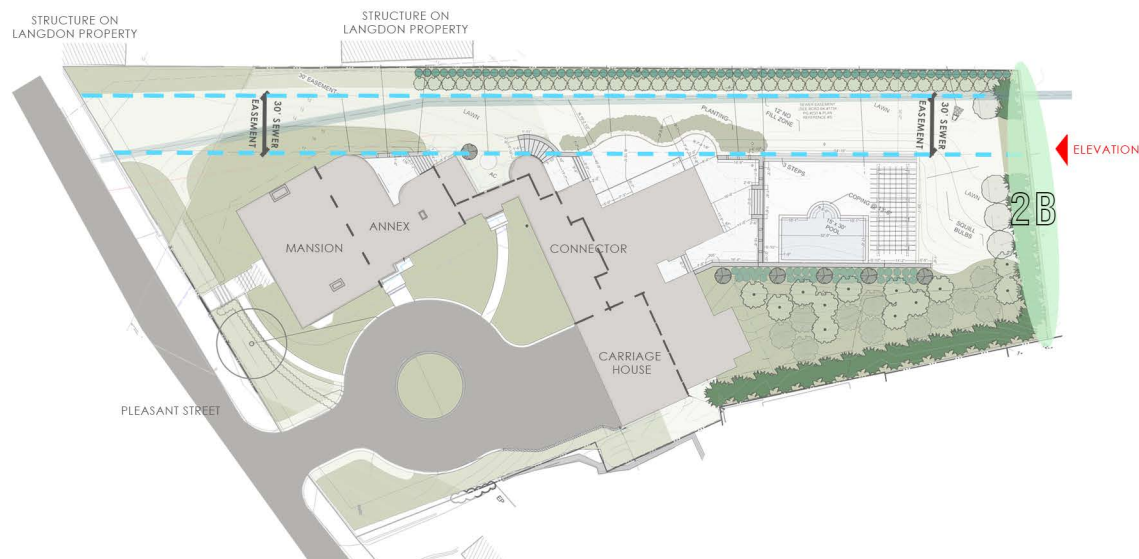
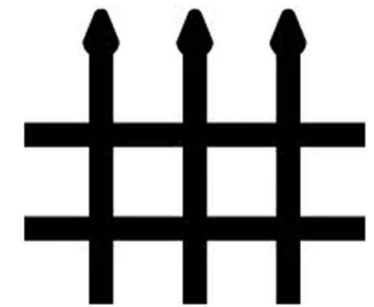
PLAN
1/16" = 1'-0"



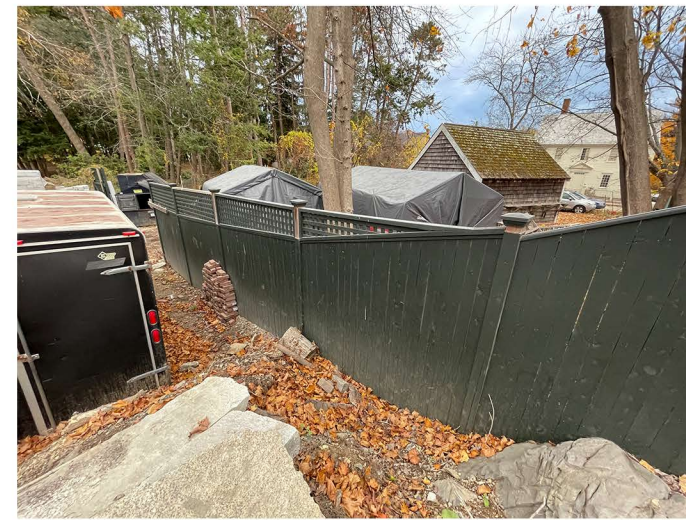
PROPOSED FENCE
ELEVATION
1/16" = 1'-0"



PROPOSED ALUMINUM FENCE:
MANUFACTURER: AMERISTAR FENCE
STYLE: ECHELON II CLASSIC
COLOR: BLACK
DIMENSIONS: 8'-0" WIDTH x 6'-0" HEIGHT



VIEW OF EXISTING GATE



VIEW OF EXISTING FENCE



VIEW OF EXISTING FENCE

2B REAR FENCE

LOCATION & DIMENSIONAL INFORMATION

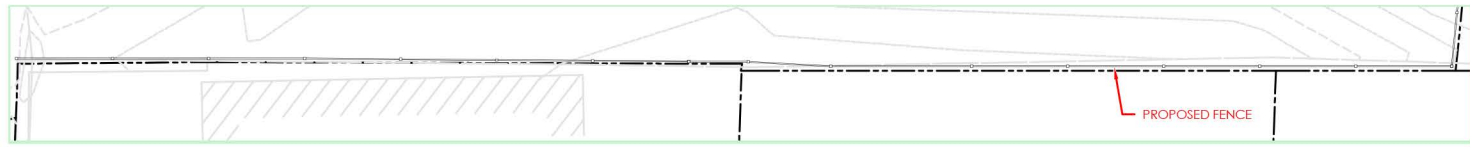
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FENCES

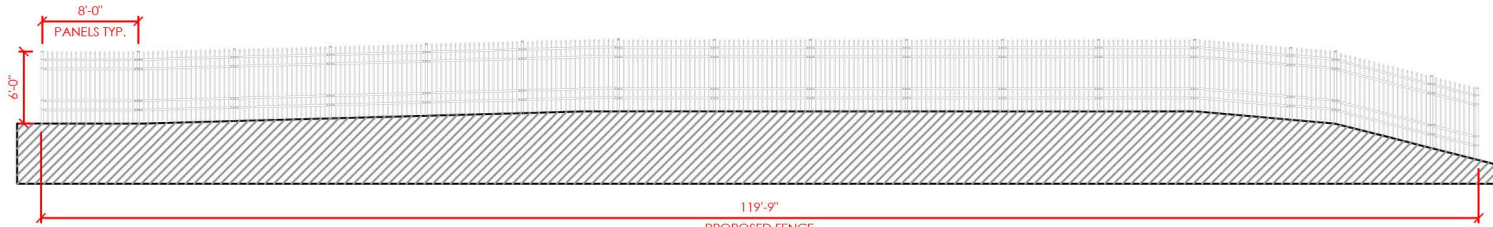
HDC ADMINISTRATIVE APPLICATION FOR APPROVAL: DECEMBER 4, 2024



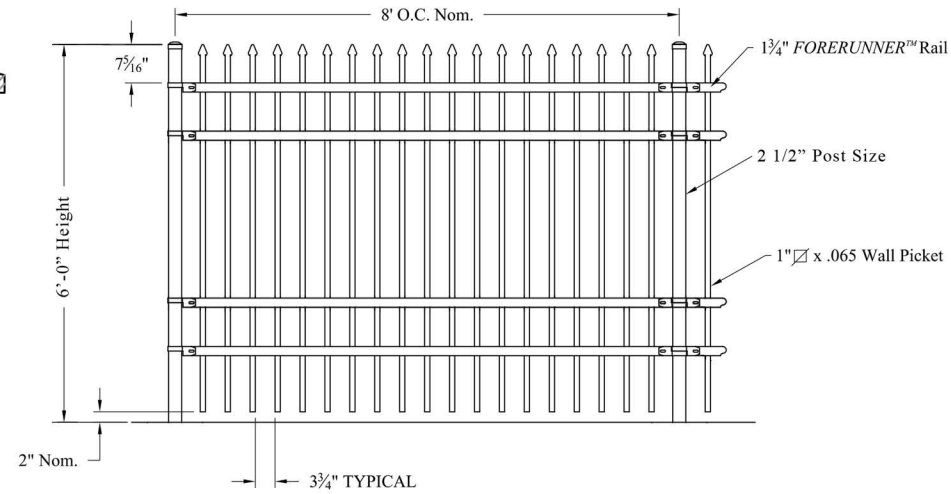
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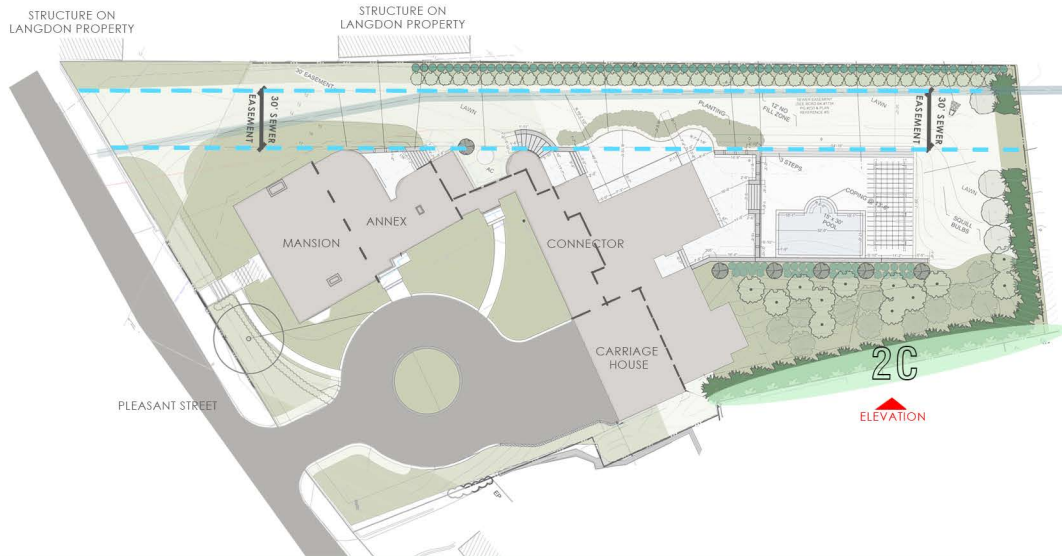
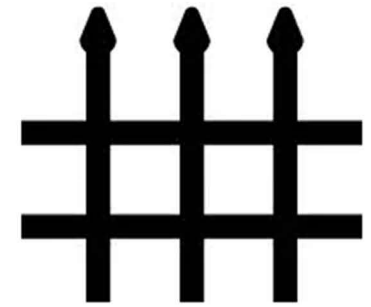
PLAN
1/16" = 1'-0"



ELEVATION
1/16" = 1'-0"



PROPOSED ALUMINUM FENCE:
MANUFACTURER: AMERISTAR FENCE
STYLE: ECHELON II CLASSIC
COLOR: BLACK
DIMENSIONS: 8'-0" WIDTH x 6'-0" HEIGHT



VIEW OF EXISTING WOOD FENCE



VIEW OF EXISTING WOOD FENCE



VIEW OF EXISTING WOOD FENCE

2C SOUTH SIDE ALUMINUM FENCE

LOCATION & DIMENSIONAL INFORMATION

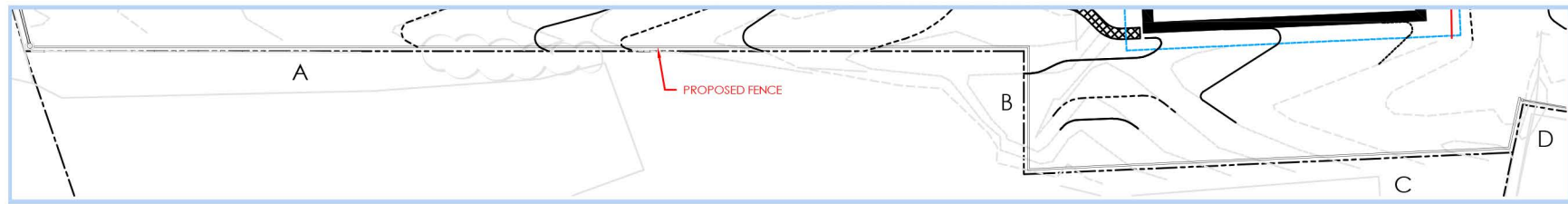
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FENCES

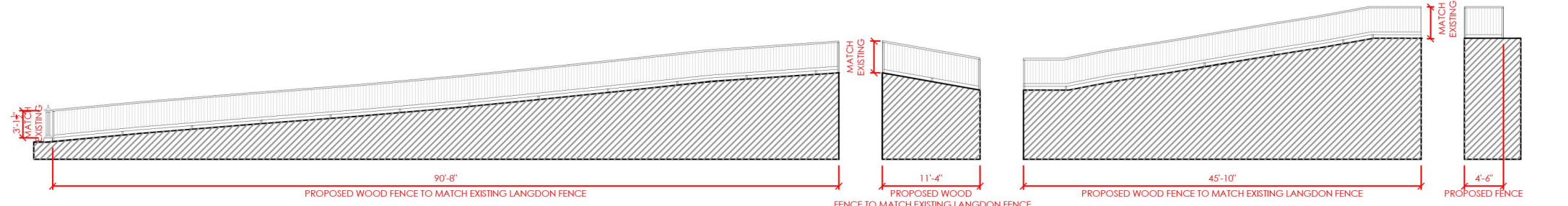
HDC ADMINISTRATIVE APPLICATION FOR APPROVAL: DECEMBER 4, 2024



6.0



PLAN
1/16" = 1'-0"



ELEVATION A
1/16" = 1'-0"

ELEVATION B
1/16" = 1'-0"

ELEVATION C
1/16" = 1'-0"

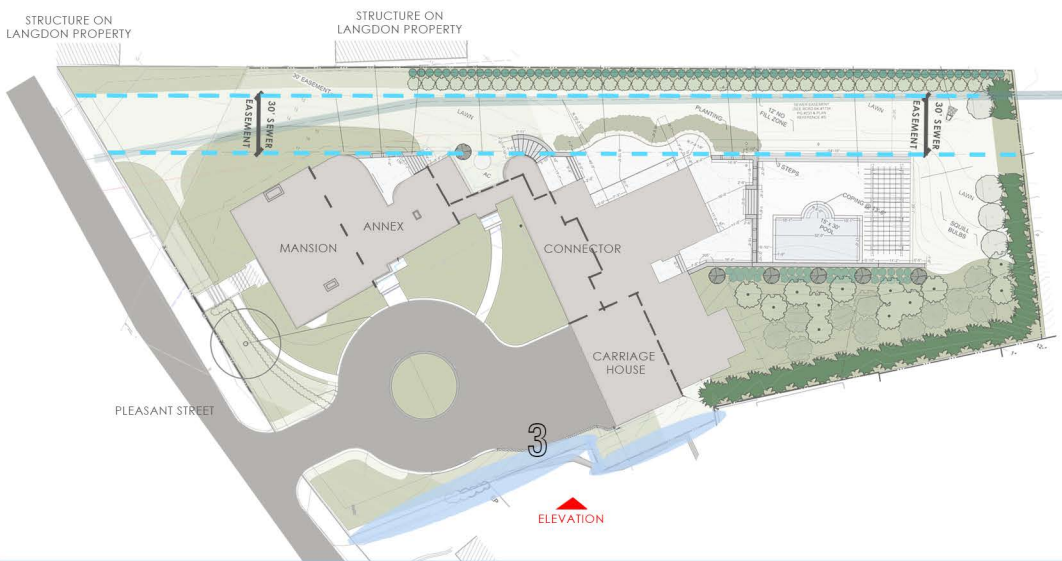
ELEVATION D
1/16" = 1'-0"



EXISTING LANGDON FENCE



EXISTING LANGDON FENCE CAP



VIEW OF EXISTING WOOD FENCE



VIEW OF EXISTING WOOD FENCE



VIEW OF EXISTING OPENING

3 SOUTH SIDE WOOD FENCE

LOCATION & DIMENSIONAL INFORMATION

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FENCES

HDC ADMINISTRATIVE APPLICATION FOR APPROVAL: DECEMBER 4, 2024



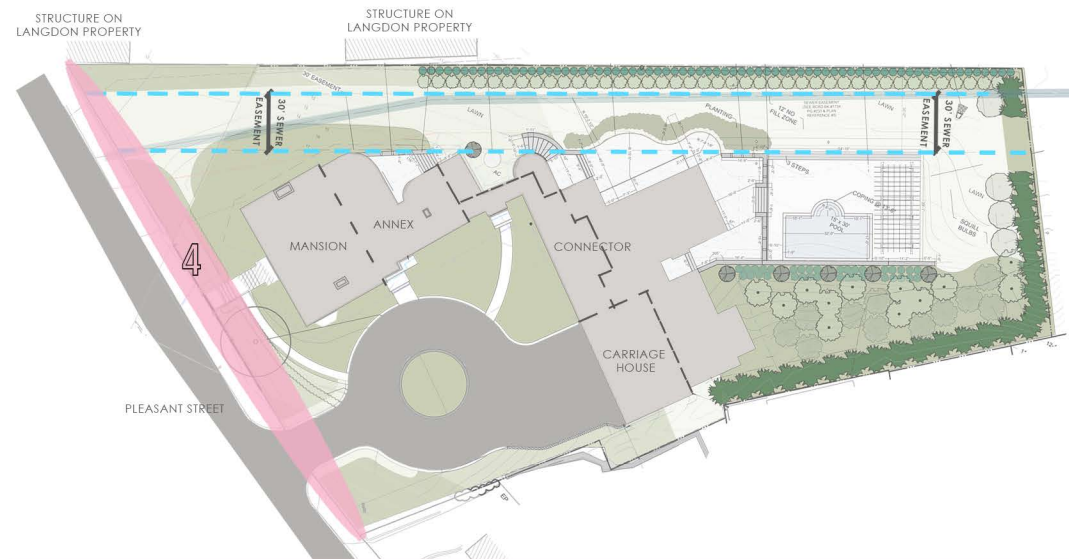
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VIEW OF EXISTING FRONT FENCES & GATE



VIEW OF EXISTING WOOD FENCE



EXISTING FRONT GATE



EXISTING IRON FENCE



EXISTING POSTS

4 PLEASANT STREET IRON FENCE

EXISTING CONDITIONS

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FENCES

HDC ADMINISTRATIVE APPLICATION FOR APPROVAL: DECEMBER 4, 2024



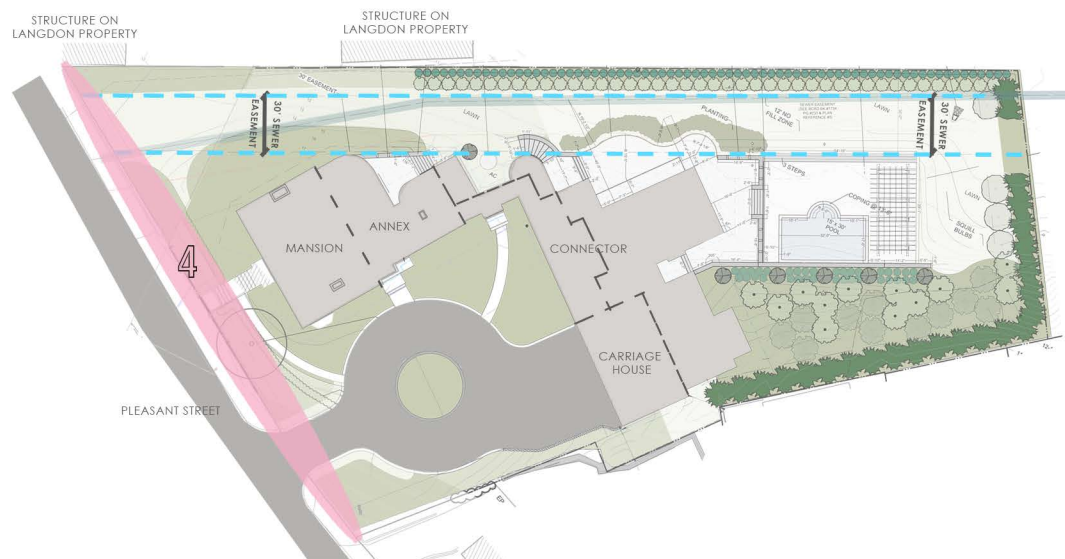
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93 PLEASANT STREET



177 STATE STREET



294 PLEASANT STREET



213 PLEASANT STREET

4 PLEASANT STREET IRON FENCE

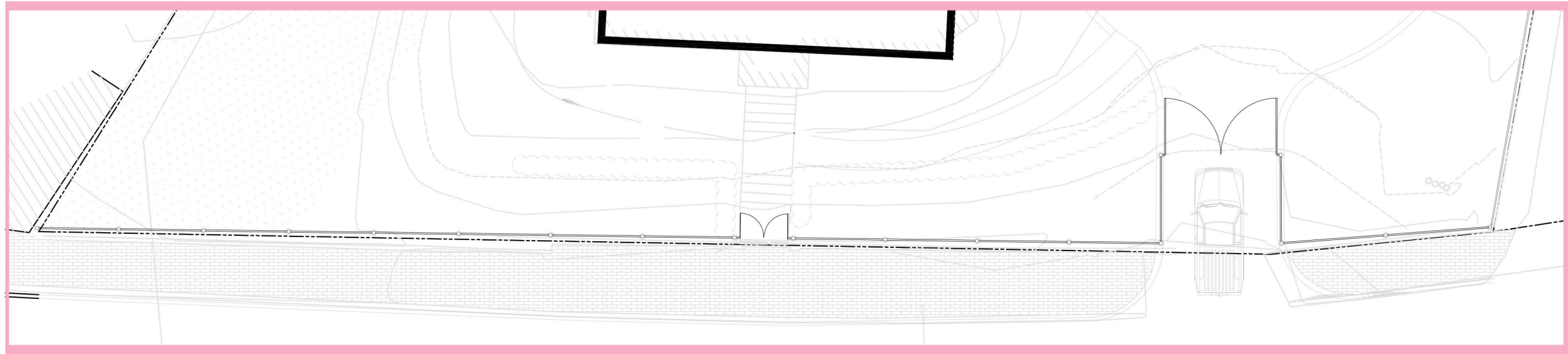
EXAMPLES OF IRON FENCES AT SURROUNDING PROPERTIES

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

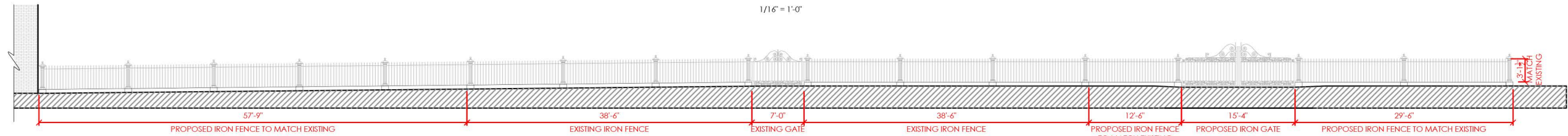
PROPOSED FENCES

HDC ADMINISTRATIVE APPLICATION FOR APPROVAL: DECEMBER 4, 2024

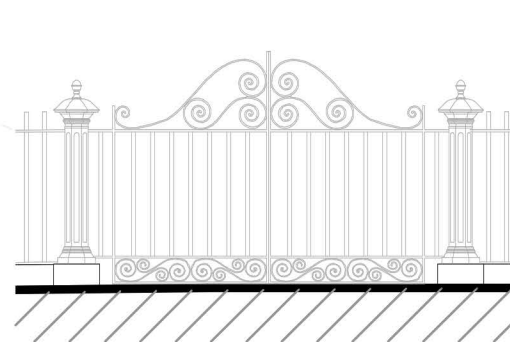




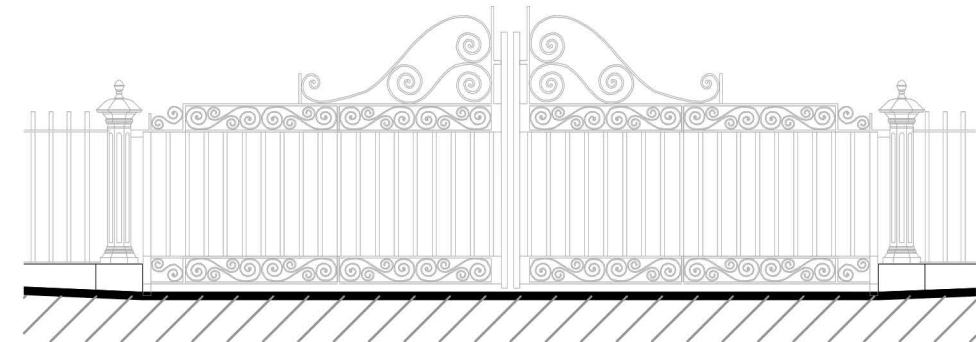
PLAN
1/16" = 1'-0"



ELEVATION
1/16" = 1'-0"



EXISTING IRON GATE ELEVATION
1/4" = 1'-0"



PROPOSED IRON GATE ELEVATION
1/4" = 1'-0"

NEW ENGLAND CASTINGS LLC
CAST YOUR IDEAS WITH US



4 PLEASANT STREET IRON FENCE

LOCATION & DIMENSIONAL INFORMATION

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FENCES

HDC ADMINISTRATIVE APPLICATION FOR APPROVAL: DECEMBER 4, 2024



4. 33 Jewell Court

-Recommended Approval

Background: The applicant is seeking approval to replace two existing windows with mechanical louvers.

Staff Comment: Recommend Approval

Stipulations:

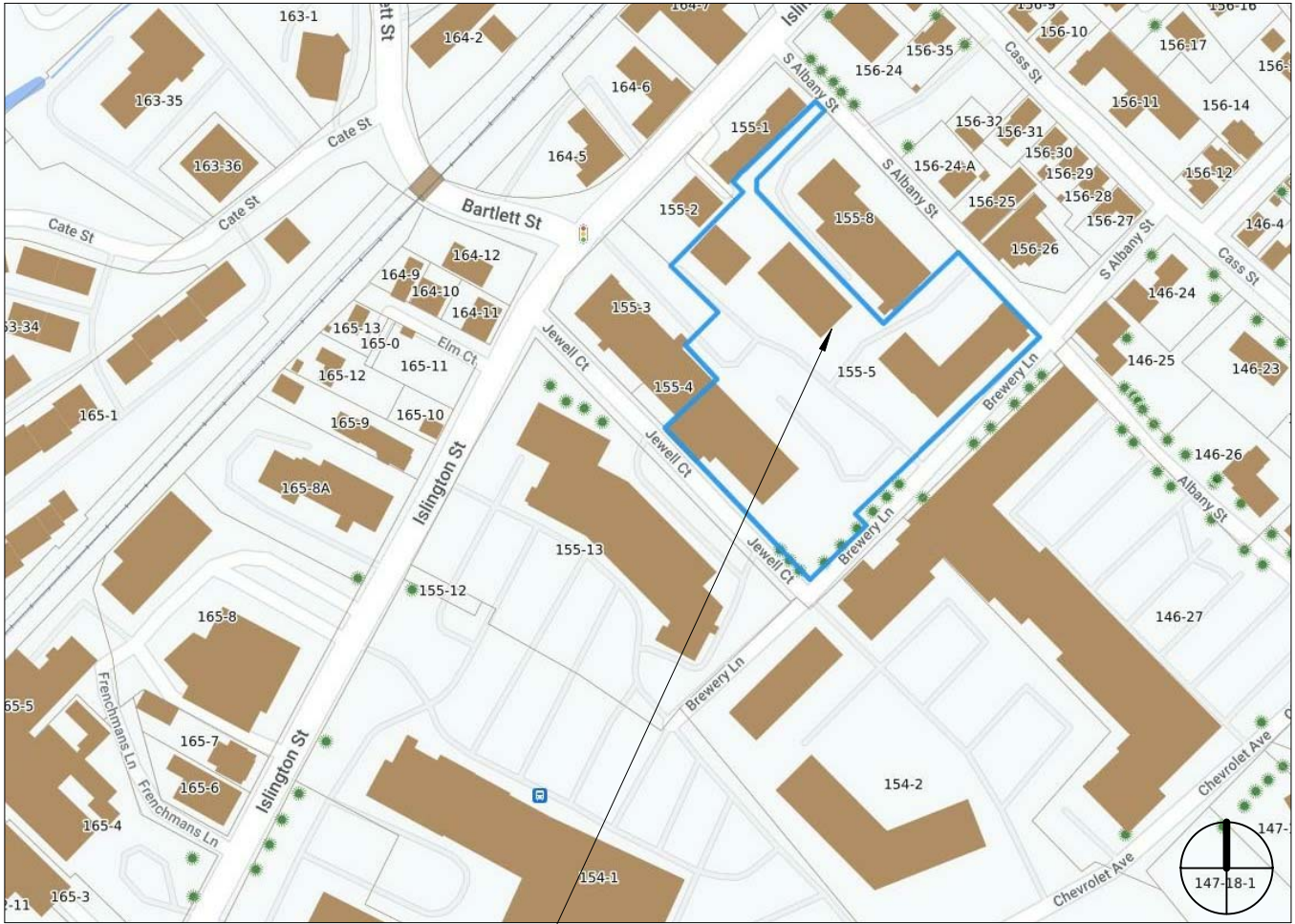
1. _____
2. _____
3. _____

FUNCTION HALL RENOVATION

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL -
DECEMBER 2024 PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

- TWO EXISTING WINDOWS ON THE SOUTH-EAST ELEVATION ARE TO BE REMOVED AND REPLACED WITH TWO MECHANICAL LOUVERS, PAINTED BLACK TO MATCH THE EXISTING WINDOWS. THESE ARE REQUIRED FOR THE UPGRADED MECHANICAL SYSTEM DUE TO THE CHANGE OF USE.
- BATHROOM EXHAUST VENTS TO BE CONCEALED IN EAVE OF BUILDING, PAINTED TO MATCH SOFFIT.
- EXISTING WOOD FRAMED LANDING AND STAIR AT SOUTH-EAST ELEVATION TO BE REPLACED IN KIND AND LEVEL WITH INTERIOR LANDING TO MEET CODE. RAILINGS TO MATCH EXISTING RAILINGS AT FRONT ENTRY OF BUILDING. THE EXISTING CONIDTION IN 1 STEP DOWN FROM THE DOOR THRESHOLD WHICH DOES NOT MEET CODE.



33 JEWELL COURT
PORTSMOUTH, NEW HAMPSHIRE 03801

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FUNCTION HALL RENOVATION
33 JEWELL COURT
PORTSMOUTH, NH 03801

COVER

4 Market Street
Portsmouth, New Hampshire
603.430.0274
brought to you by
McHENRY ARCHITECTURE



Project Number:	24064
Date:	11/14/2024
Drawn By:	RD
Checked By:	MG

C
Scale

TWO EXISTING WINDOWS TO BE REPLACED WITH LOUVERS, PAINTED BLACK TO MATCH WINDOWS

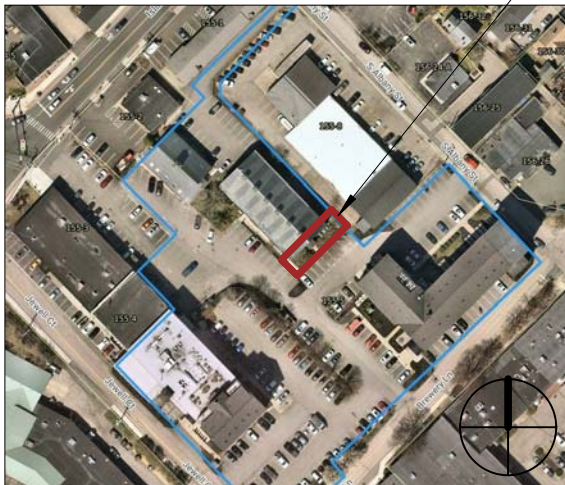


BATHROOM EXHAUST VENTS TO BE CONCEALED IN EAVE OF BUILDING

EXISTING EXTERIOR LANDING AND STAIRS TO BE REPLACED IN KIND WITH NEW RAILING

RED RECTANGLE REPRESENTS SCOPE OF WORK AT SOUTH-EAST ELEVATION

EXISTING RAILING TO BE REPLICATED AT REPLACED LANDING AND STAIR



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FUNCTION HALL RENOVATION
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PORTSMOUTH, NH 03801

EXISTING PHOTOS AND AERIAL

4 Market Street
Portsmouth, New Hampshire
603.430.0274

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McHENRY ARCHITECTURE



Project Number: 24064

Date: 11/14/2024

Drawn By: RD

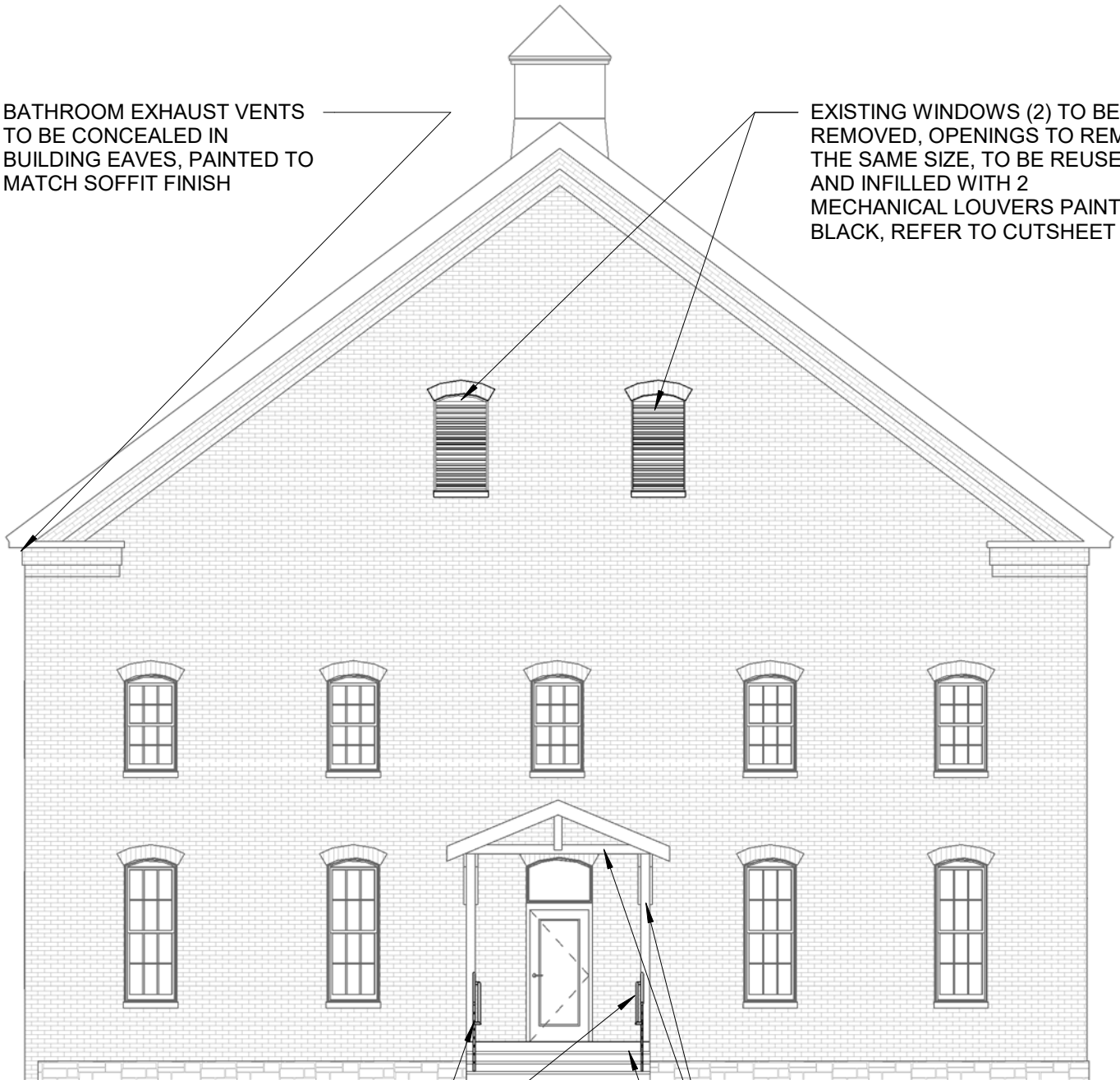
Checked By: MG

A1

Scale

BATHROOM EXHAUST VENTS
TO BE CONCEALED IN
BUILDING EAVES, PAINTED TO
MATCH SOFFIT FINISH

EXISTING WINDOWS (2) TO BE
REMOVED, OPENINGS TO REMAIN
THE SAME SIZE, TO BE REUSED
AND INFILLED WITH 2
MECHANICAL LOUVERS PAINTED
BLACK, REFER TO CUTSHEET



BLACK METAL 36" HIGH RAILING AND
HANDRAIL WITH 1' EXTENSIONS AT BOTH
SIDES OF NEW WOOD LANDING AND
STAIRS, TO MATCH RAILING AT FRONT
OF BUILDING

ROOF FRAMING AND POSTS TO REMAIN
EXISTING WOOD FRAMED LANDING AND
STAIR AT SOUTH-EAST ELEVATION TO
BE REPLACED IN KIND AND LEVEL WITH
INTERIOR LANDING TO MEET CODE.

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FUNCTION HALL RENOVATION
33 JEWELL COURT
PORTSMOUTH, NH 03801

PROPOSED SOUTH-EAST ELEVATION

4 Market Street
Portsmouth, New Hampshire
603.430.0274

brought to you by
McHENRY ARCHITECTURE



Project Number: 24064

Date: 11/14/2024

Drawn By: RD

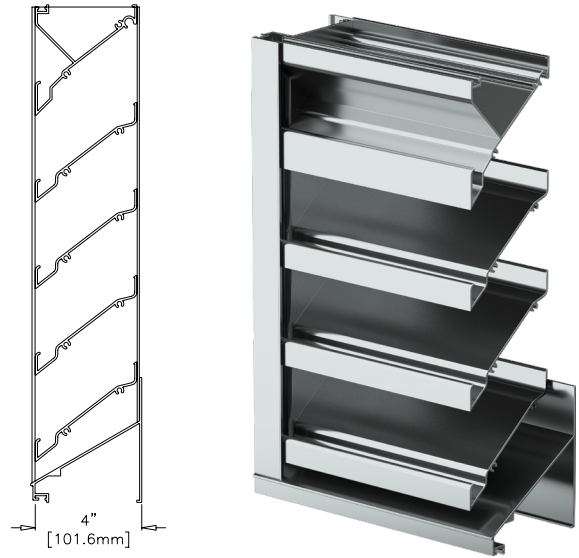
Checked By: MG

A2

Scale 1/8" = 1'-0"

Standard Construction

Frame	Heavy gauge extruded 6063-T5 aluminum, 4 in. (102 mm) x 0.081 in. (2 mm) nominal wall thickness
Blades	Drainable design, heavy gauge extruded 6063-T5 aluminum, 0.081 in. (2 mm) nominal wall thickness, positioned 37.5° on approximately 3-1/4 in. (83 mm) centers
Louver Depth	4 in. (102 mm)
Construction	Mechanically fastened
Finish	Mill
Minimum Size	12 in. W x 9 in. H (305 mm W x 229 mm H)
Maximum Single Section Size	120 in. W x 120 in. H (3048 mm W x 3048 mm H) Limited to 70 sq. ft. (6.5 sq. m)
Wind Load	25 PSF (1.2 kPa)



Performance Ratings



Greenheck Fan Corporation certifies that the ESD-435 louvers shown herein are licensed to bear the AMCA Seal. The ratings shown are based on tests and procedures performed in accordance with AMCA Publication 511 and comply with the requirements of the AMCA Certified Ratings Program. The AMCA Certified Ratings Seal applies to Water Penetration and Air Performance ratings.

Louvers were tested in accordance with AMCA Standard 500-L.

Performance of 48 in. x 48 in. (1219 mm x 1219 mm) Louver

Free Area	
Area	8.92 sq. ft. (0.829 sq. m)
Percent	55.8%
Performance at Beginning Point of Water Penetration	
Free Area Velocity	989 fpm (5.024 m/s)
Max Intake Volume	8,822 cfm (4.163 m ³ /s)
Performance at 6,000 CFM (2.832 m³/s) Intake	
Pressure Drop	0.073 in. wg (0.018 kPa)

Document Links

[Louver Finishes & Colors](#)

[Louver Product Selection Guide](#)

[Louver Products Catalog](#)

[Louver Warranty Statement](#)

Options and Accessories

- [Bird Screen](#)
- [Blank Off Panels](#)
- [Extended Sill](#)
- [Filter Rack/Filter](#)
- [Flange Frame](#)
- [Glazing Frame](#)
- [Hinged Frame](#)
- [Insect Screen](#)
- [Mounting Angles](#)
- [Security Bars](#)
- [Variety of Architectural Finishes](#)
- Welded Construction
- 0.125 in. (3 mm) Nominal Frame and/or Blade Thickness

Standard Details

[ESD-435 Standard Details](#)

Structural reinforcing members may be required to adequately support and install multiple louver sections within a large opening. Structural reinforcing members along with any associated installation hardware is not provided by Greenheck unless indicated otherwise by Greenheck. Options and accessories including, but not limited to, screens, filter racks, louver doors, and blank off panels are not subject to structural analysis unless indicated otherwise by Greenheck.

5. 24 Market Street

-Recommended Approval

Background: The applicant is seeking approval for

1. MARKET STREET STOREFRONT ELEVATION

- Much of the existing storefront wood paneling is rotting and has been replaced by several repairs over time.
- The historic Granite header over the storefront stops short of the side window below with timber exposed to the elements.
- The original iron corner detail and copper downspout will remain.

We propose to remove the existing wood trim & paneling and replace it with a weather resistant Acre system that extends to the top of the granite to cover the exposed timber. The existing storefront windows and door will remain. The existing transom will be replaced with a panel detail.

2. LADD STREET ELEVATION

- This elevation contains an obsolete fire alarm, and a through wall AC unit that extends over the sidewalk.
- There are also two entry doors with transoms.

We propose to remove the obsolete fire alarm, remove the through wall AC unit, and repair the waterstruck brick wall. The side entry door with the glass transom will remain, and the wood transom over the second door will be modified to contain a louver. The louver will support a new interior HVAC system for the commercial space.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

24 MARKET STREET - HDC APPLICATION FOR ADMINISTRATIVE APPROVAL

We respectfully submit this application for administrative approval for removal of existing wood paneled storefront to be replaced with new Acre paneled storefront assembly, brick repairs, HVAC upgrade:

1. MARKET STREET STOREFRONT ELEVATION

- Much of the existing storefront wood paneling is rotting and has been created by several repairs over time.
- The historic Granite header over the storefront stops short of the side window below with timber exposed to the elements.
- The original iron corner detail and copper downspout will remain.

We propose to remove the existing wood trim & paneling and replace it with a weather resistant Acre system that extends to the top of the granite to cover the exposed timber. The existing storefront windows and door will remain. The existing transom will be replaced with a panel detail.

2. LADD STREET ELEVATION

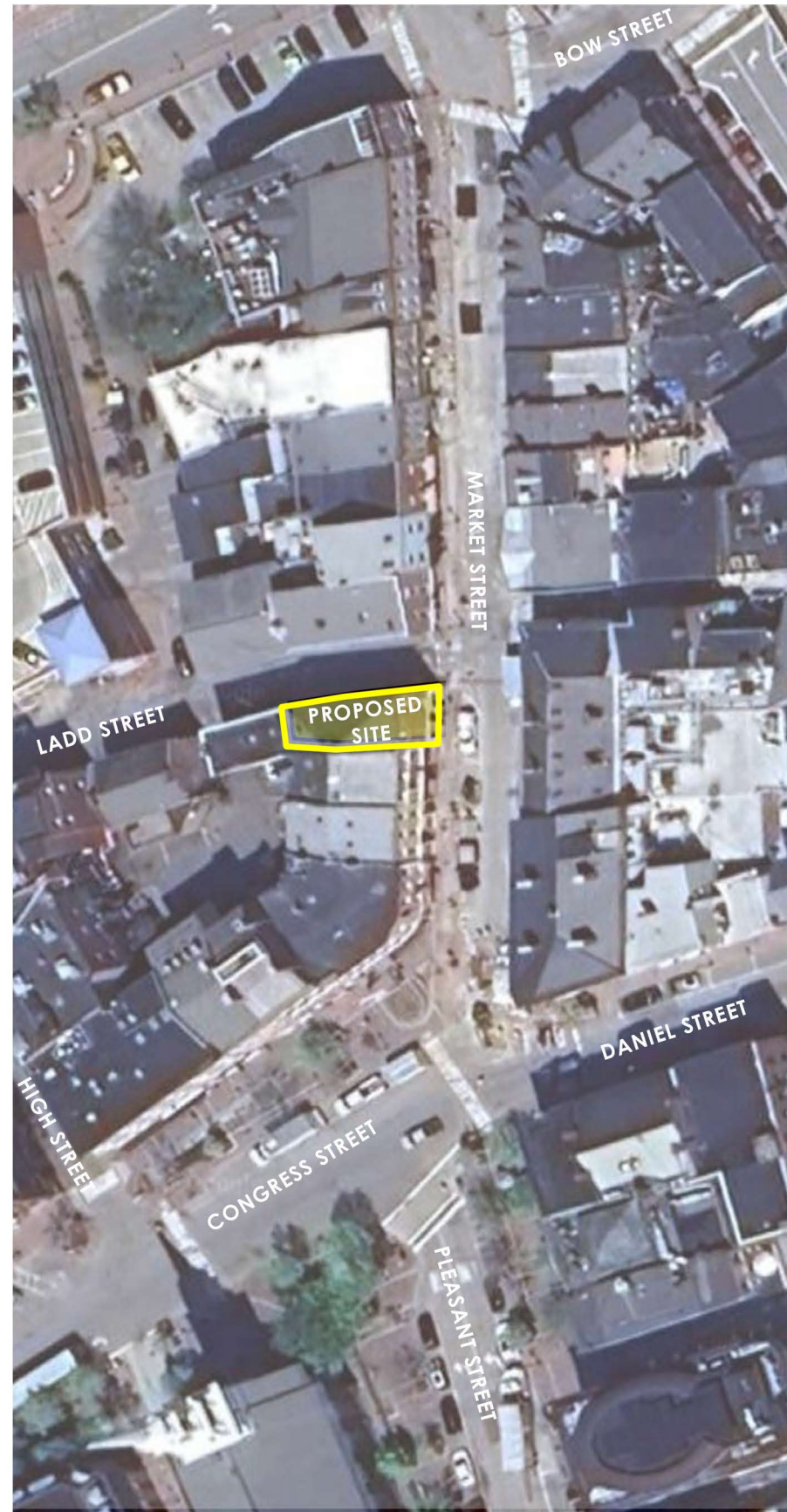
- This elevation contains an obsolete fire alarm, and a through wall AC unit that extends over the sidewalk.
- There are also two entry doors with transoms.

We propose to remove the obsolete fire alarm, remove the through wall AC unit, and repair the waterstruck brick wall. The side entry door with the glass transom will remain, and the wood transom over the second door will be modified to contain a louver. The louver will support a new interior HVAC system for the commercial space.

Thank you for your consideration.
Sincerely,



Carla Goodknight, AIA
Principal, CJ Architects LLC
Representing owners:
409 Franklin Pierce Highway, LLC.



24 MARKET STREET
PORTSMOUTH, NEW HAMPSHIRE

AGENDA & AERIAL VIEW

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: DECEMBER 4, 2024



1.0



VIEW FROM MARKET STREET



VIEW FROM MARKET STREET AND LADD STREET INTERSECTION



VIEW FROM LADD STREET



VIEW OF STOREFRONT



VIEW OF STOREFRONT FROM MARKET STREET



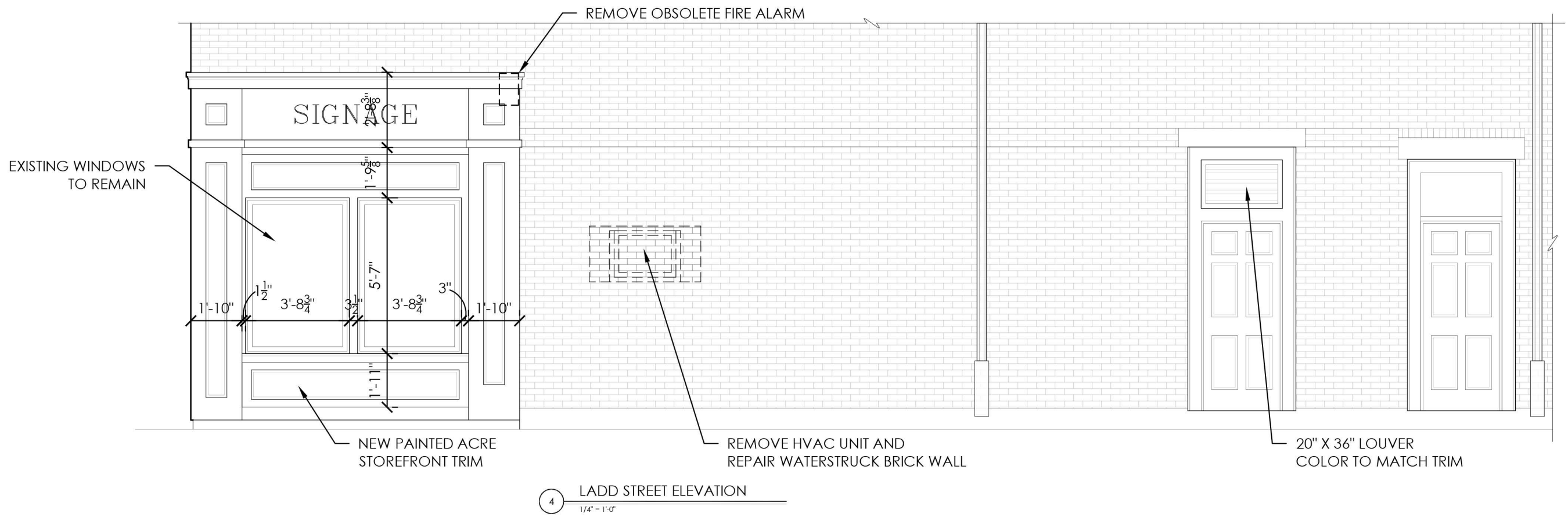
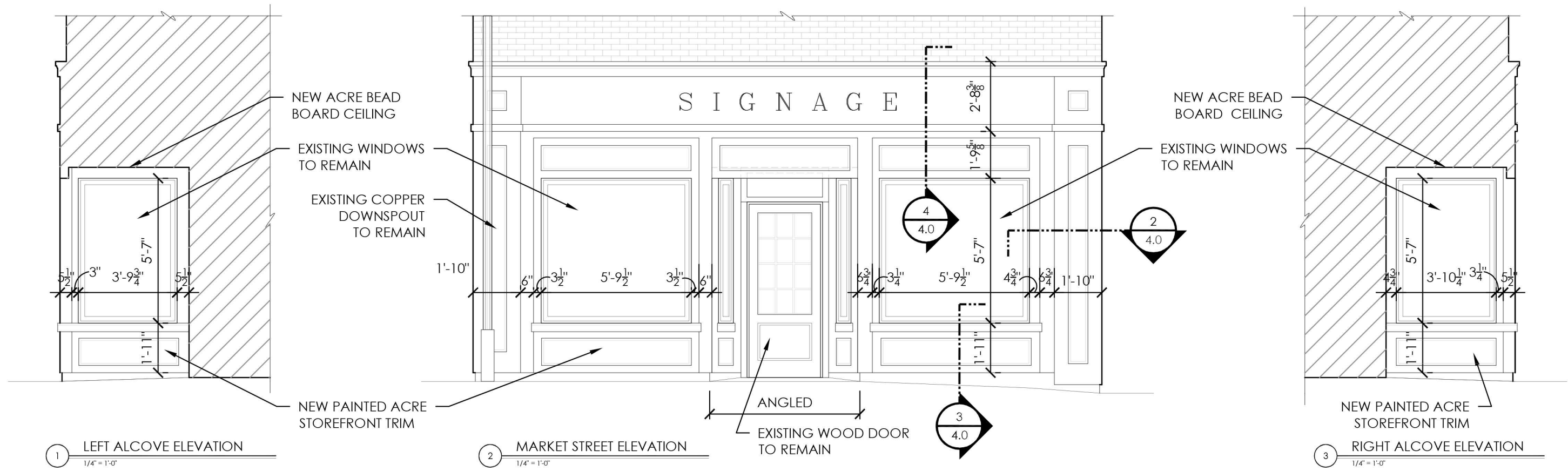
VIEW OF STOREFRONT

24 MARKET STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITIONS
HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: DECEMBER 4, 2024



2.0



24 MARKET STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED ELEVATIONS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: DECEMBER 4, 2024

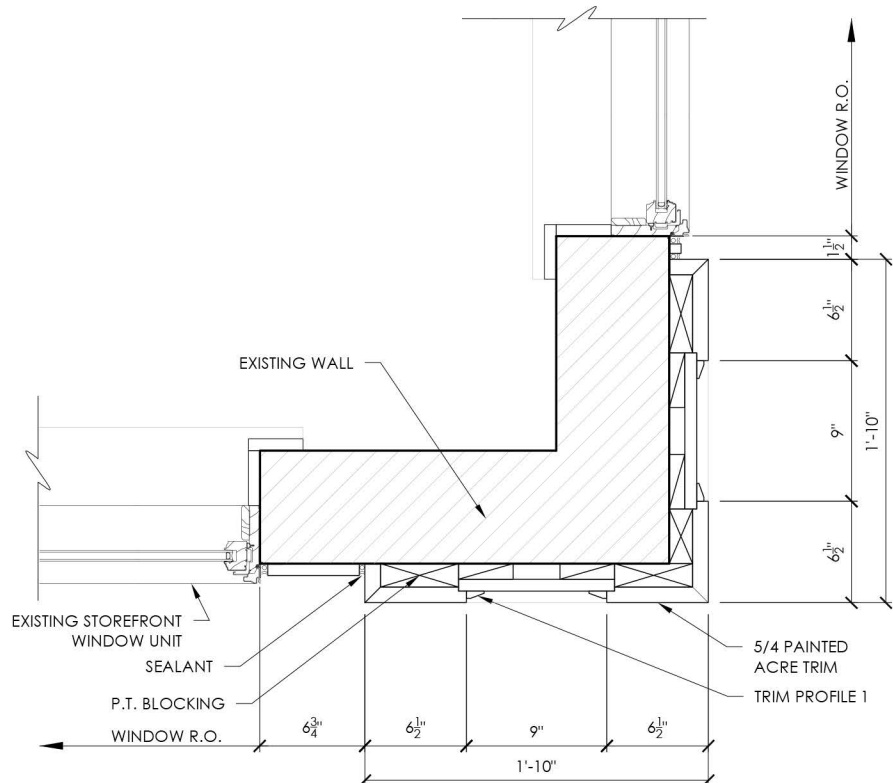


3.0



TRIM

MANUFACTURER: ACRE BY MODERN MILL
COLOR: PAINTED



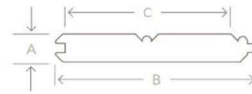
2 STOREFRONT CORNER DETAIL
 1" = 1'-0"



EXCEPTIONAL PERFORMANCE & BEAUTY

- RESISTS WATER, WEATHER, ROT, AND PESTS
- WON'T ROT OR SPLINTER
- SUITABLE FOR GROUND CONTACT WITHOUT SEALING
- PROPRIETARY ACRE GRAIN GIVES AN ORGANIC, AUTHENTIC WOOD APPEARANCE AND FEEL

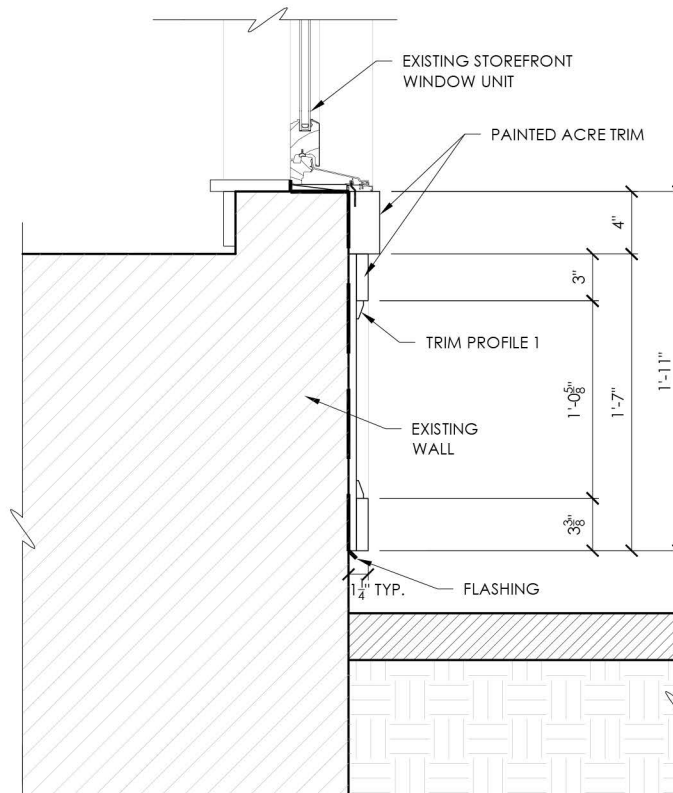
PROFILE DETAILS



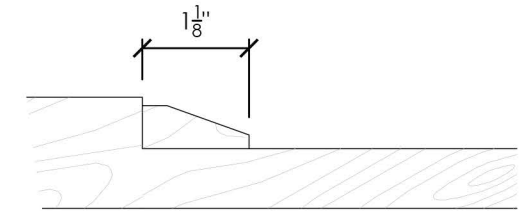
MEASUREMENTS	Actual Thickness (A)	Actual Width (B)
	0.75"	5.4"
	Reveal (C)	Nominal Size
	5.2"	1"x6"

CEILING

MANUFACTURER: ACRE BY MODERN MILL
COLOR: PAINTED

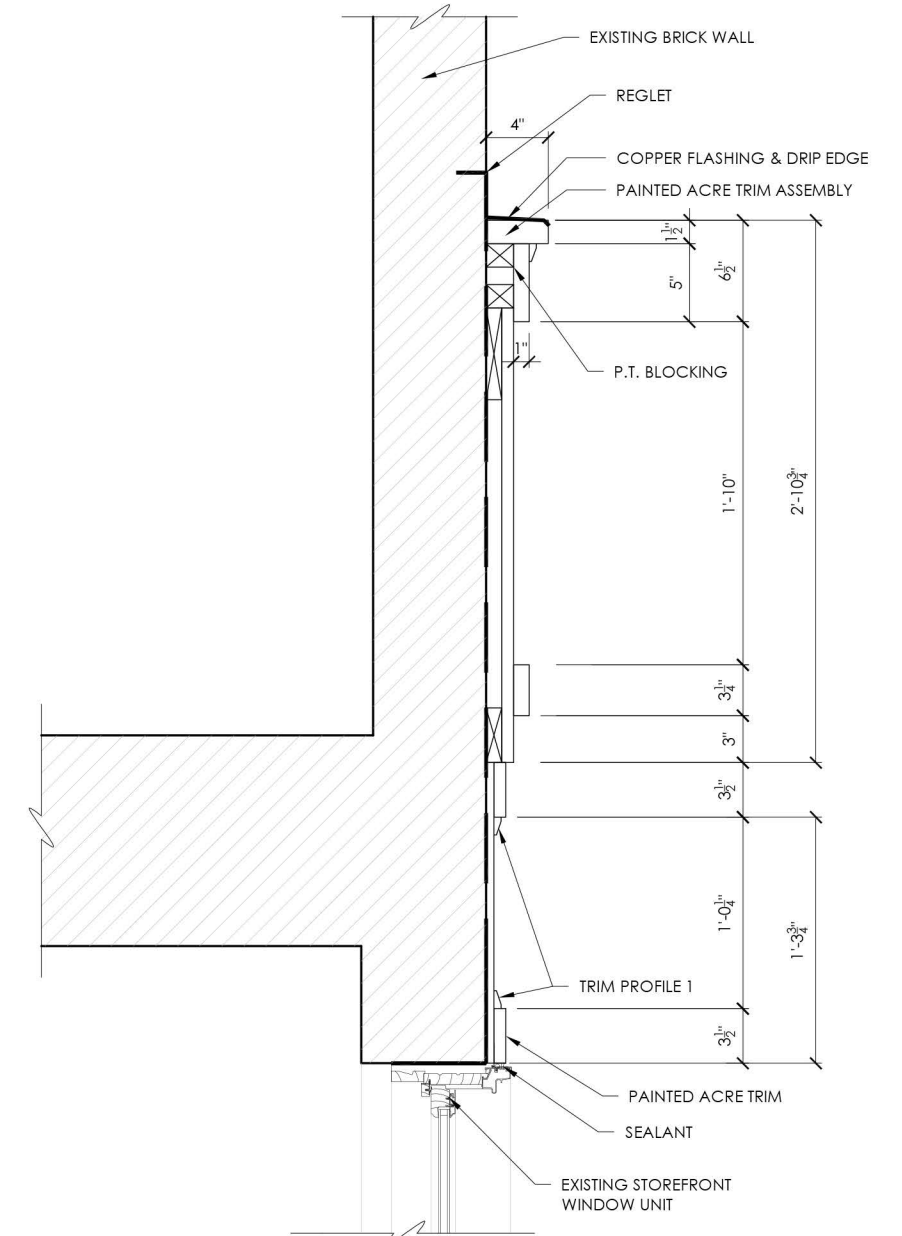


3 STOREFRONT SILL DETAIL
 1" = 1'-0"



TRIM PROFILE 1

1 TYPICAL TRIM PROFILE
 6" = 1'-0"



4 STOREFRONT HEAD DETAIL
 1" = 1'-0"

24 MARKET STREET
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED DETAILS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: DECEMBER 4, 2024



4.0

6. 213 Pleasant Street

-Recommended Approval

Background: The applicant is seeking approval for the installation of

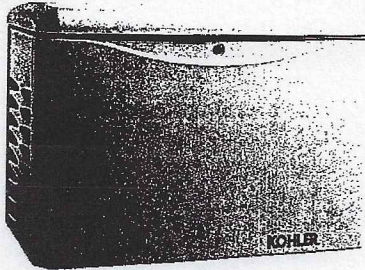
A Kohler 26kw generator on left side of house facing Richmond estimated 19' 5" from Richmond using city plot plan (owner estimated approximately 16' from property line) and approximately 11' 12" from adjacent property on Richmond (owner estimated approximately 12'-13' from property line). The window at rear of garage behind generator to be nailed closed permanently to meet requirements. The generator location is already shielded with planting in front of generator and along the entire side facing the adjacent property as shown in the attached. Additional planting will be added on the Richmond generator frontage. Immediately on the other side of Richmond facing the generator are the trash barrels (etc.) for city pickup with no lattice work or planting obstructing view but with plantings to improve the site location.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____

9001
KOHLER
NATIONALLY REGISTERED



The Kohler® Advantage

- **High Quality Power**
Kohler home generators provide advanced voltage and frequency regulation along with ultra-low levels of harmonic distortion for excellent generator power quality to protect your valuable electronics.
- **Premium 5-yr/2000-hr Limited Warranty Included**
Kohler is known for extraordinary reliability and performance. Kohler's premium limited warranty covers parts, labor, and travel for the full warranty period.
- **Powerful Performance**
Exclusive Powerboost™ technology provides excellent starting power. §
- **Aluminum Enclosure**
 - Attractive aluminum enclosure allows installation as close as 18 inches from your home or small business. †
 - Enclosure panels can be removed without tools to allow easy access for maintenance and service.
- **Enclosure Options** for single-phase units
 - **Kohler® Exclusive Colors** are available. Go to KohlerGenerators.com to see the latest colors.
 - **Camouflage Enclosures** are available (optional). Go to KohlerGenerators.com/MossyOak to view the available patterns.

Mossy Oak is a trademark used under license from Haas Outdoors, Inc., by Kohler Co.

Generator Ratings

Model	Alt	Voltage	Ph	Hz	Standby Ratings				Line Circuit Breaker	
					Natural Gas		LPG		Amps	Poles
					kW/kVA	Amps	kW/kVA	Amps		
26RCA 26RCAL	2F8	120/240	1	60	24/24	100	26/26	109	125	2
		120/208	3	60	22/27	77	22/27	77	80	3
26RCA	2G8	120/240	3	60	22/27	67	22/27	67	80	3
		277/480	3	60	22/27	34	22/27	34	40	3

Note: The line circuit breaker is automatically selected based on the generator set model and voltage configuration.

RATINGS: Standby ratings apply to installations served by a reliable utility source. All single-phase units are rated at 1.0 power factor. The standby rating is applicable to variable loads with an average load factor of 80% for the duration of the power outage. No overload capacity is specified at this rating. Ratings are in accordance with ISO-3046/1, BS5514, AS2789, and DIN 6271. **GENERAL GUIDELINES FOR DERATING:** **ALTITUDE:** Derate 4% per 305 m (1000 ft.) elevation above 153 m (500 ft.). **TEMPERATURE:** Derate 2% per 5.5°C (10°F) temperature increase above 16°C (60°F). Availability is subject to change without notice. The generator set manufacturer reserves the right to change the design or specifications without notice and without any obligation or liability whatsoever. Contact your local Kohler Co. generator dealer for availability.

§ Check the appliance manufacturer's specifications for actual power requirements. Consult a Kohler® Power Systems professional to calculate your exact residential power system requirements.

† Meets NFPA guidelines for 18 inch clearance to combustible materials. Check state and local codes for minimum distance required from a structure.

Standard Features

- **RDC2 Controller**
 - One digital controller manages both the generator set and transfer switch functions (with optional Model RXT).
 - Electronic speed control responds quickly to varying demand.
 - OnCue® Plus Generator Management System for remote monitoring is included with the generator.
- **Kohler Command PRO Engine Features**
 - Kohler Command PRO® OHV engine with hydraulic valve lifters for reliable performance without routine valve adjustment or lengthy break-in requirements.
- **Designed for Easy Installation**
 - Sturdy aluminum base can be mounted on gravel or a concrete mounting pad.
 - Fuel and electrical connections through the enclosure wall eliminate the need for stub-ups through the base.
 - Customer connection terminal block located near the controller allows easy access for field wiring.
 - Designed for outdoor installation only.
- **Certifications**
 - Meets emission regulations for U.S. Environmental Protection Agency (EPA) with both natural gas and LPG.
 - UL 2200/cUL listed.
 - Accepted by the Massachusetts Board of Registration of Plumbers and Gas Fitters.
 - Meets 181 mph wind rating.
- **Approved for stationary standby applications** in locations served by a reliable utility source (on-grid).
- **Exercise Modes**
 - EcoExercise, unloaded, with system diagnostics (90 seconds). Reduces fuel costs and minimizes sound disruption.
 - Unloaded weekly exercise with complete system diagnostics (20 minutes).
 - Unloaded full-speed exercise (20 minutes).
 - Loaded full-speed exercise (20 minutes; Model RXT ATS required).
 - Weekly, bi-weekly, or new monthly exercise intervals.
- Model 26RCAL includes a model RXT automatic transfer switch. See last page for more details.

Generator Set Standard Features

- Aluminum sound enclosure (cashmere color standard)
- Battery cables
- Critical silencer
- EPA certified fuel system
- Field-connection terminal block
- Fuel solenoid valve and secondary regulator
- Line circuit breaker
- Multi-fuel system, LPG/natural gas, field-convertible
- Oil drain extension with shutoff valve
- Oil level sensor
- Oil pressure sensor
- OnCue® Plus Generator Management System
- Premium 5-year/2000 hour limited standby warranty. Covers parts, labor, and travel for the entire warranty period
- RDC2 generator set/ATS controller
- Rodent-resistant construction
- Sound-deadening, flame-retardant foam per UL 94, class HF-1

Available Options

Concrete Mounting Pads

- Concrete mounting pad, 3 in. thick
- Concrete mounting pad, 4 in. thick (recommended for storm-prone areas)

Electrical Accessories

- Battery
 - Battery heater, 120 VAC *
 - Carburetor heater, 120 VAC †
 - Cold weather package, 120 VAC ‡
 - Includes oil and breather tube heaters, fuel regulator heater, and pressure sensor cover
 - QS model with factory-installed kit is available.
 - Emergency stop kit
 - Programmable interface module (PIM) (provides 2 digital inputs and 6 relay outputs)
- * Battery heater is recommended below -17°C (0°F).
 † Do not use a carburetor heater with a cold weather kit.
 ‡ Cold weather kit is recommended below 0°C (32°F).

Enclosure Options (single-phase only)

- Kohler® Exclusive Colors
Go to KohlerGenerators.com to see the latest colors.
- Mossy Oak® camouflage enclosures
Go to KohlerGenerators.com/MossyOak to see available patterns.

Mossy Oak is a trademark used under license from Haas Outdoors, Inc., by Kohler Co.

Fuel System Accessories

- Flexible fuel line (included on QS models)

Literature

- General maintenance literature kit
- Overhaul literature kit
- Production literature kit

Maintenance

- Maintenance kit (includes air filter, oil, oil filter, and spark plugs)
- Premium 300 hour/2 year oil for fewer oil changes

Automatic Transfer Switches and Accessories

- Model RDT ATS
- Model RXT ATS
- Model RXT ATS with combined interface/load management board
- Load shed kit for RXT or RDT
- Power relay modules (use up to 4 relay modules for each load management device)
- Other Kohler® ATS

26RCAL Model Package

- 26RCAL with 200 amp service entrance-rated RXT ATS with combined interface/load management board and corrosion-resistant NEMA 3R aluminum enclosure

Warranty

- 7- Year Limited Warranty
 - 10- Year Limited Warranty
- Warranties cover parts, labor, and travel for the entire warranty period.

Generator Set Dimensions and Weights

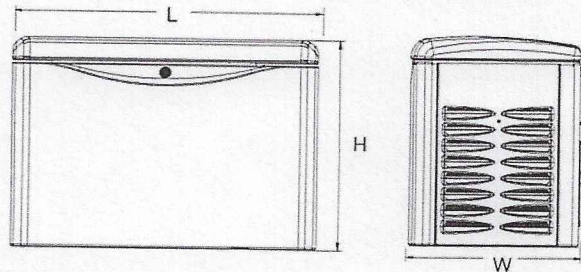
Generator Set Size, L x W x H:

1193 x 660 x 820 mm
(47 x 26.0 x 32.3 in.)

Shipping Weights:

26RCA Generator Set:
 26RCAL with 200 A RXT SE ATS:

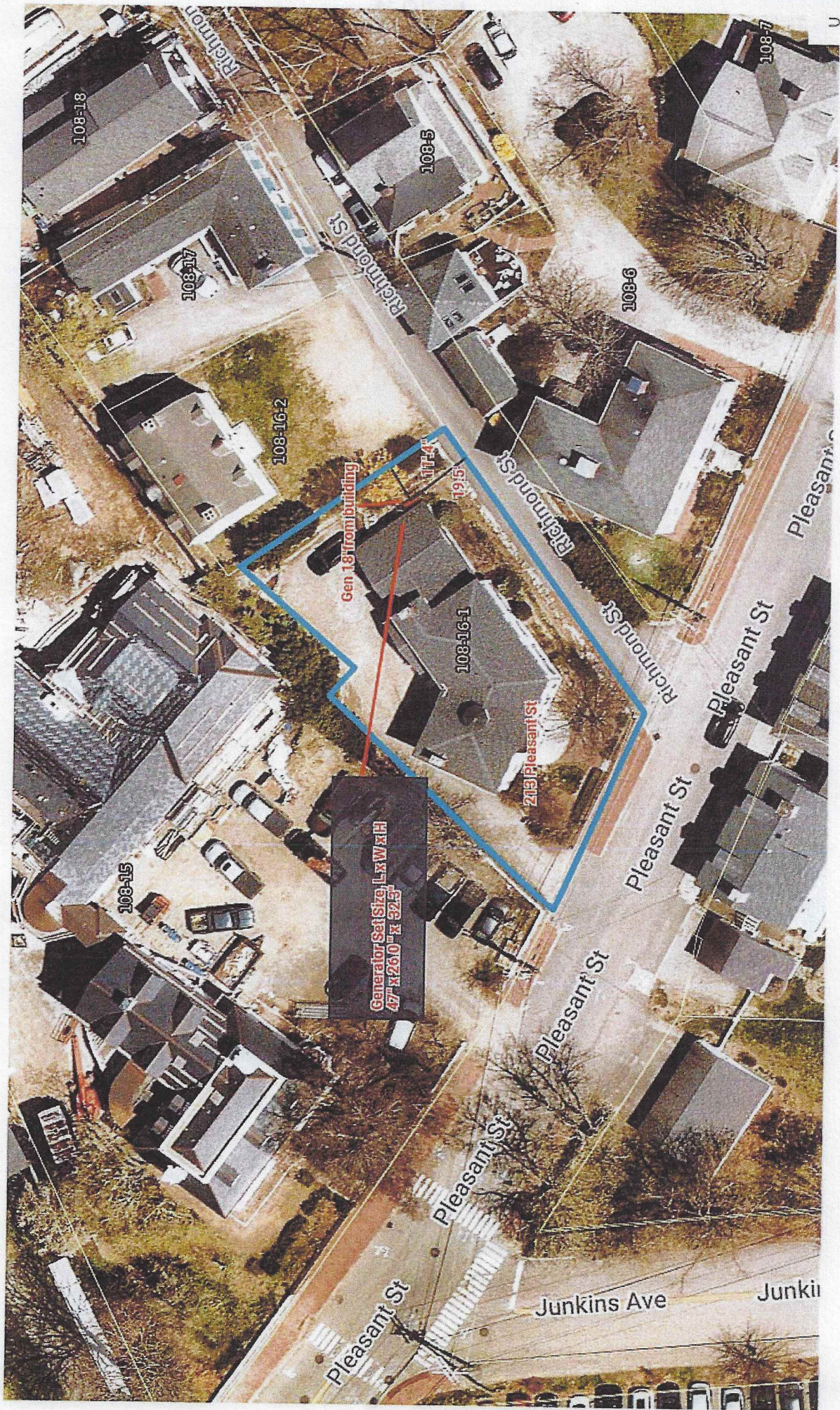
283 kg (625 lb.)
 304 kg (670 lb.)



NOTE: Dimensions are provided for reference only and should not be used for planning installation. Contact your local dealer for more detailed information.

DISTRIBUTED BY:

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Gen 18 from building

Generator Set Size, LxWxH
47'x26'0" x 32'3"

2113 Pleasant St

1915

108-16-1

108-18

108-17

108-16-2

108-5

108-6

108-7

108-15

Junkins Ave

Junkin

Pleasant St

Pleasant St

Pleasant St

Pleasant St

Pleasant St

Pleasant St

Richmond St

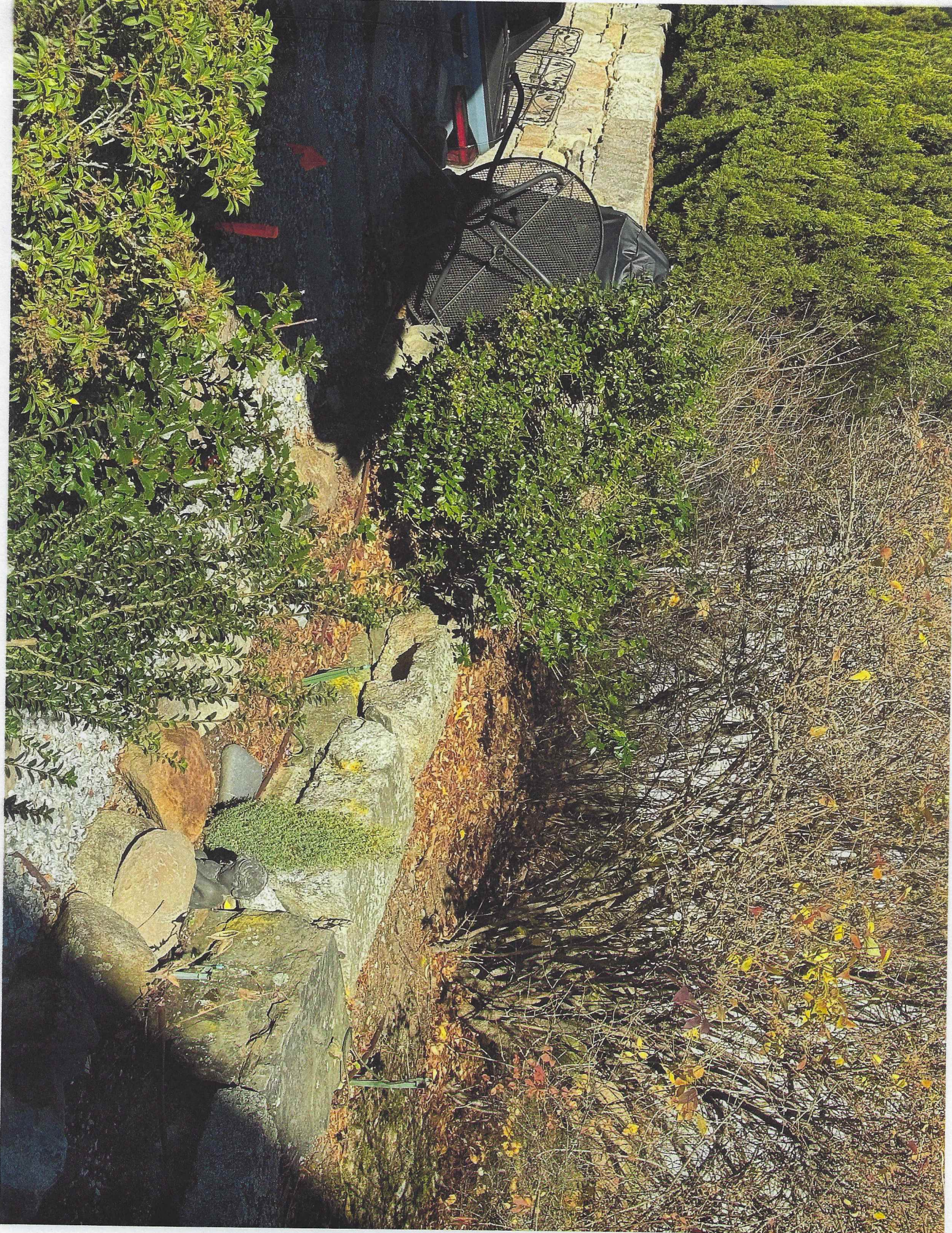
Richmond St

Richmond St

Richmond St

Richmond St





7. 765 Middle Street

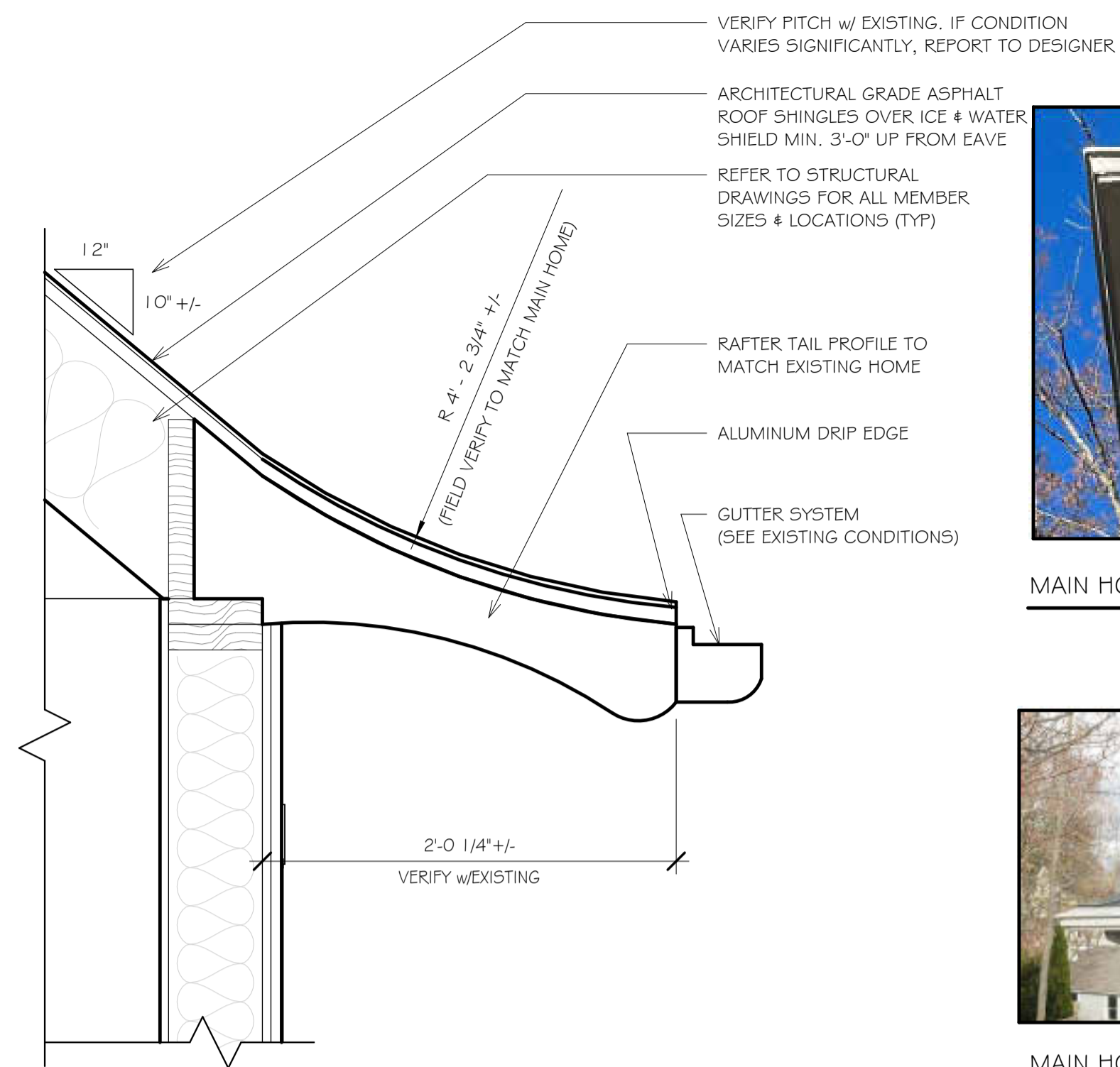
-Recommended Approval

Background: The applicant is seeking approval for a minor change to the bracket design of the garage overhang.

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____



MAIN HOME - RAFTER TAILS

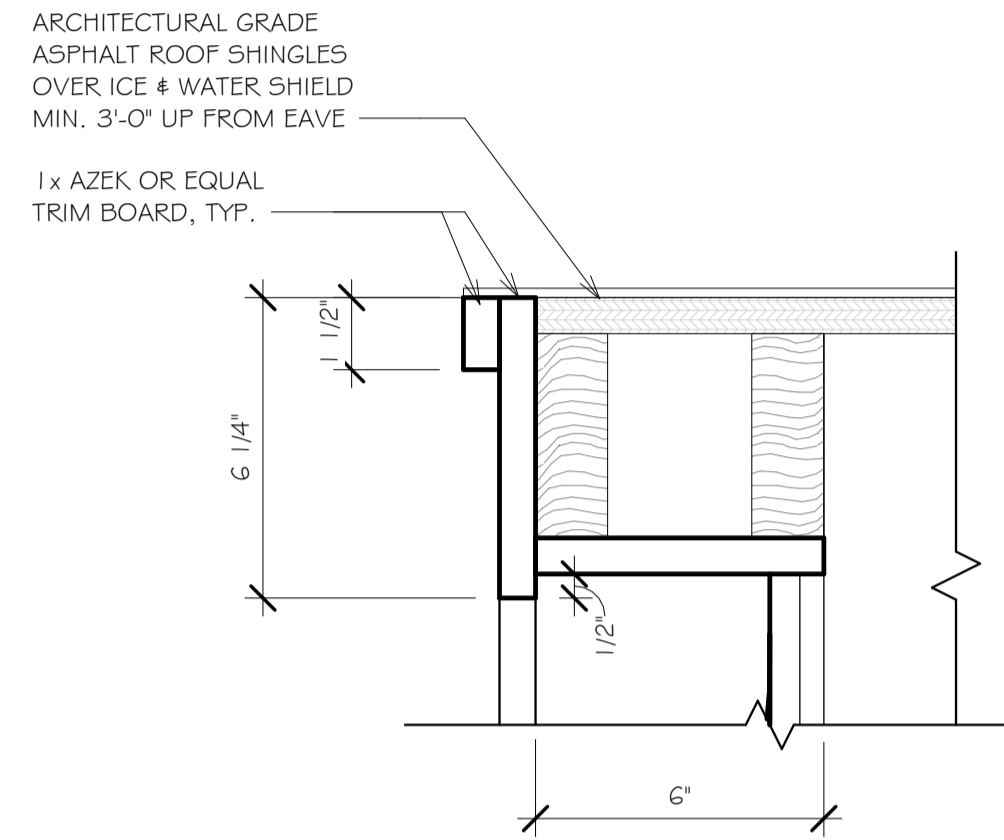


MAIN HOME - ROOF SWEEP

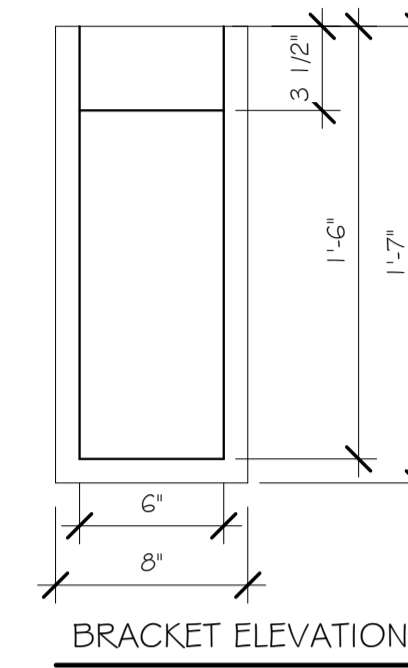
1 ROOF SWEEP
1 1/2" = 1'-0"



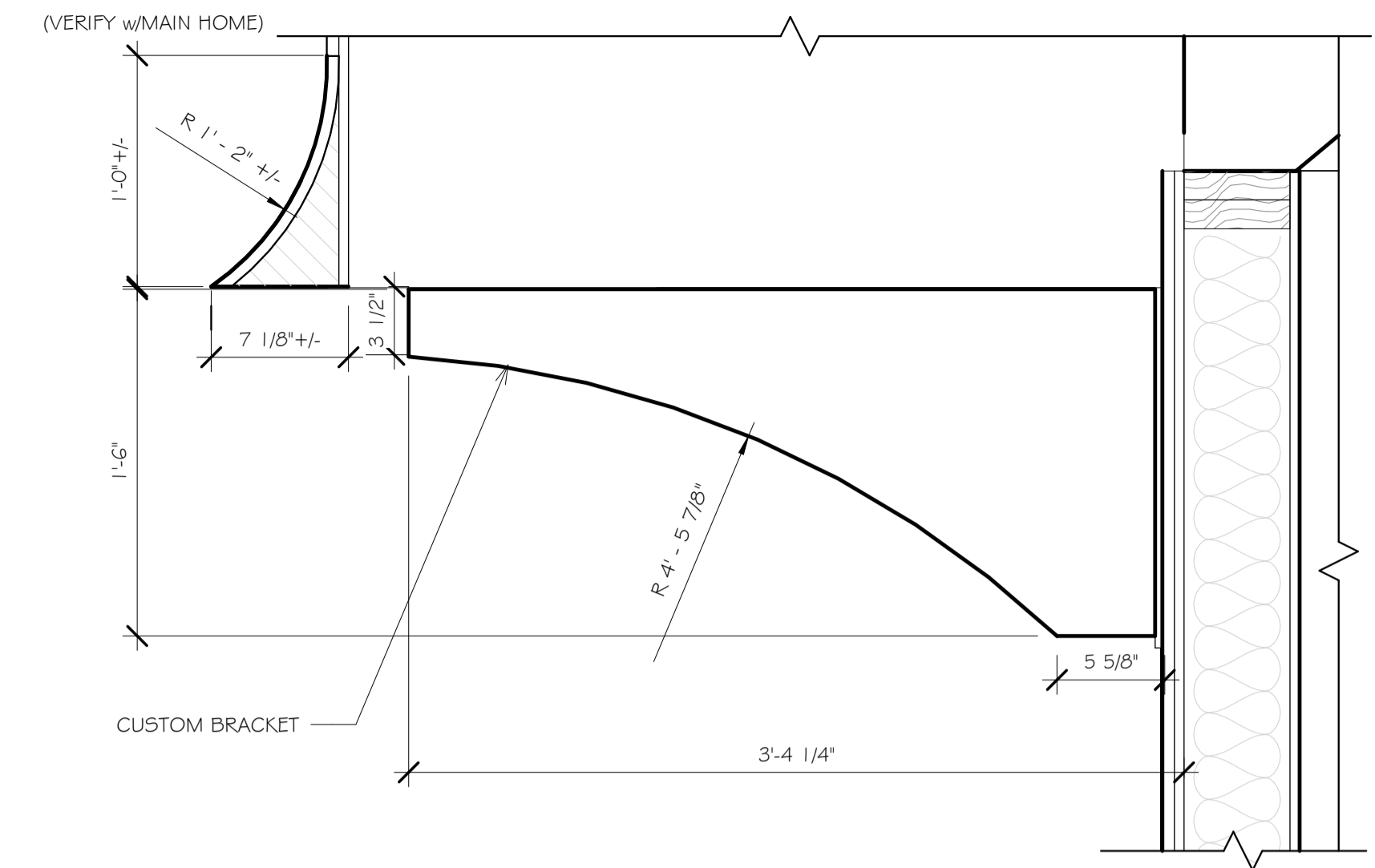
MAIN HOME - SWEEP @ DORMER



4 RAKE @ COVERED DECKS
3" = 1'-0"



BRACKET ELEVATION



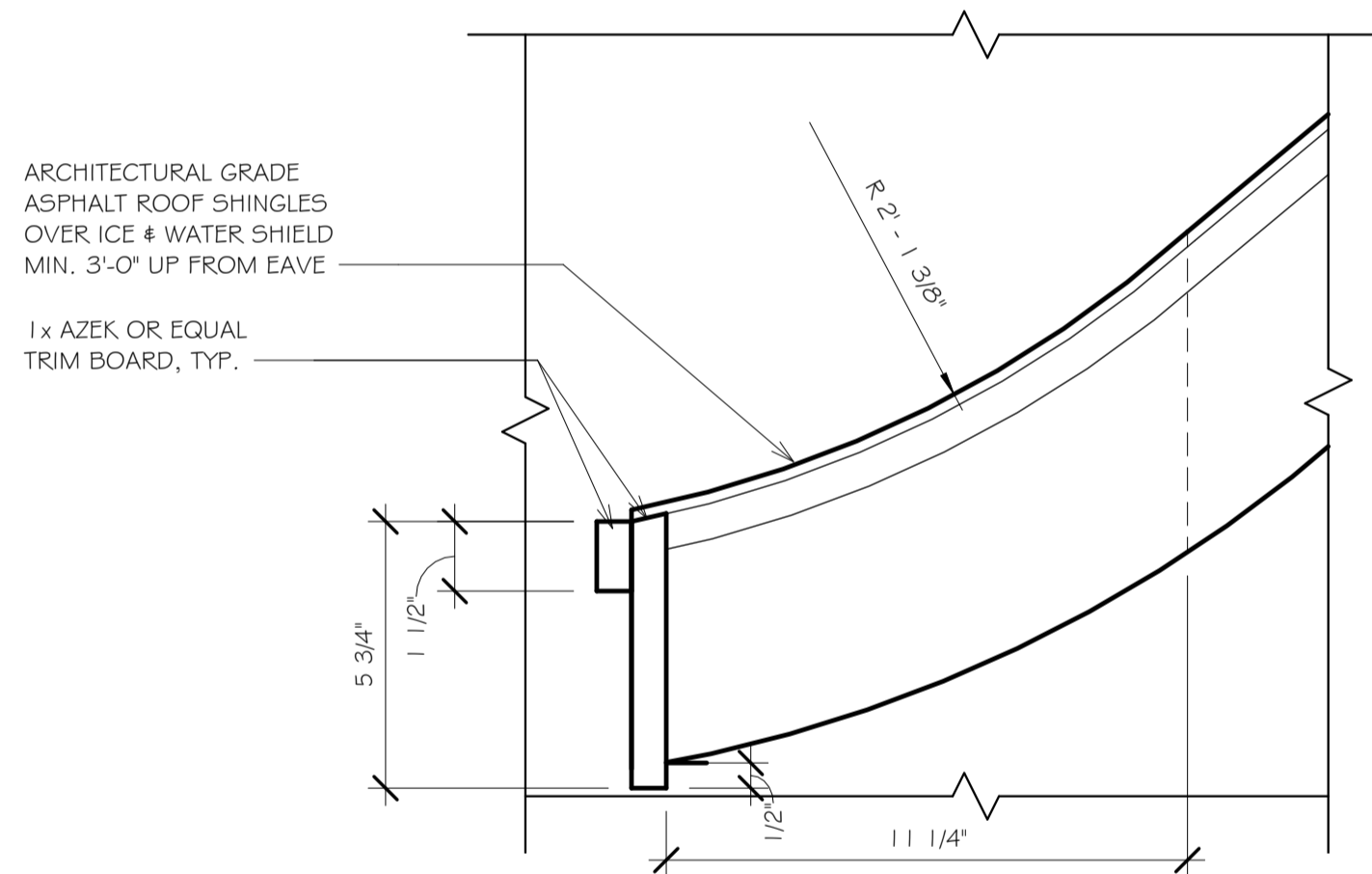
7 ROOF BRACKET & SWEEP @ DORMER
1 1/2" = 1'-0"



2 MID WALL SWEEP
1 1/2" = 1'-0"



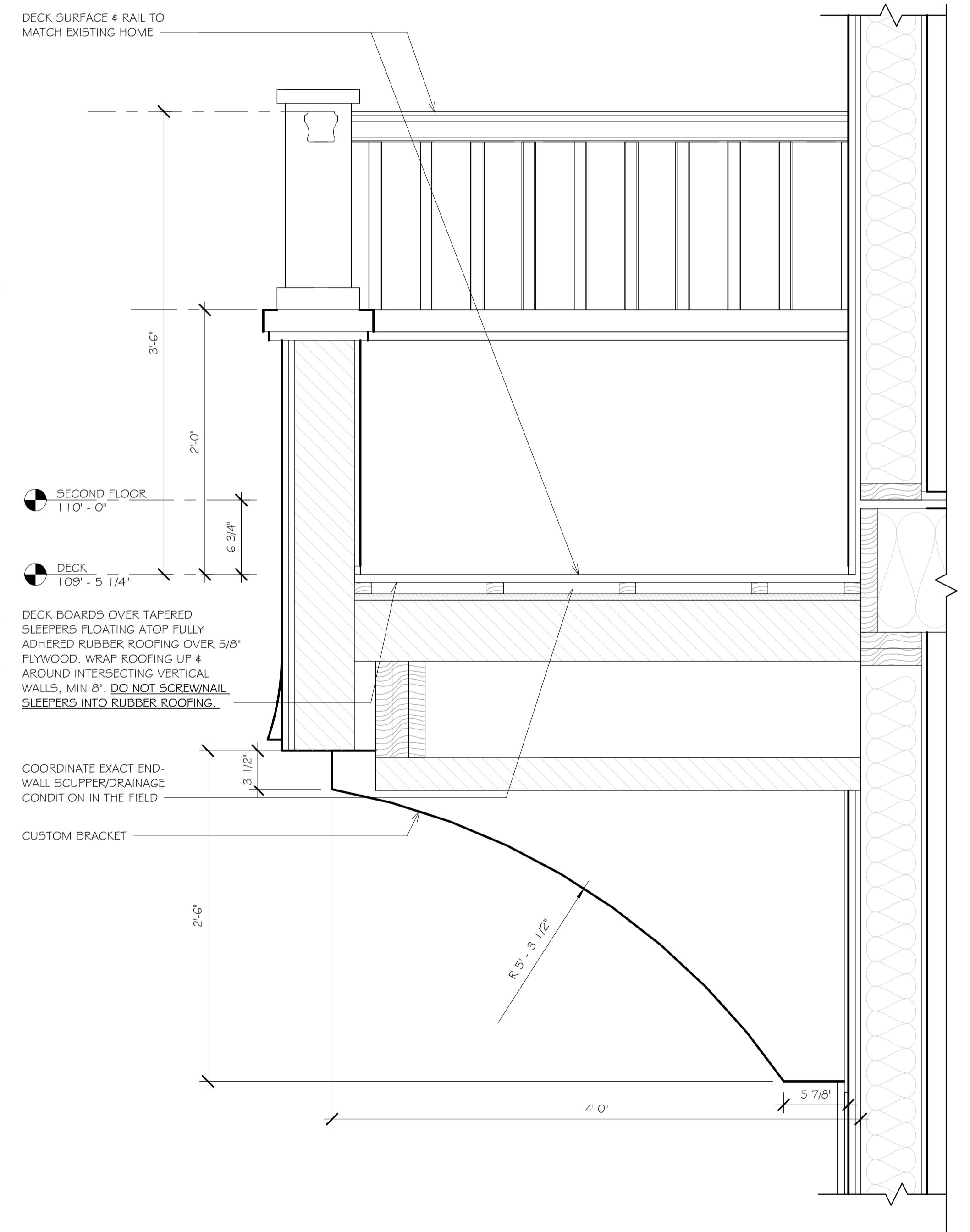
MAIN HOME - MID-WALL / WINDOW SWEEP



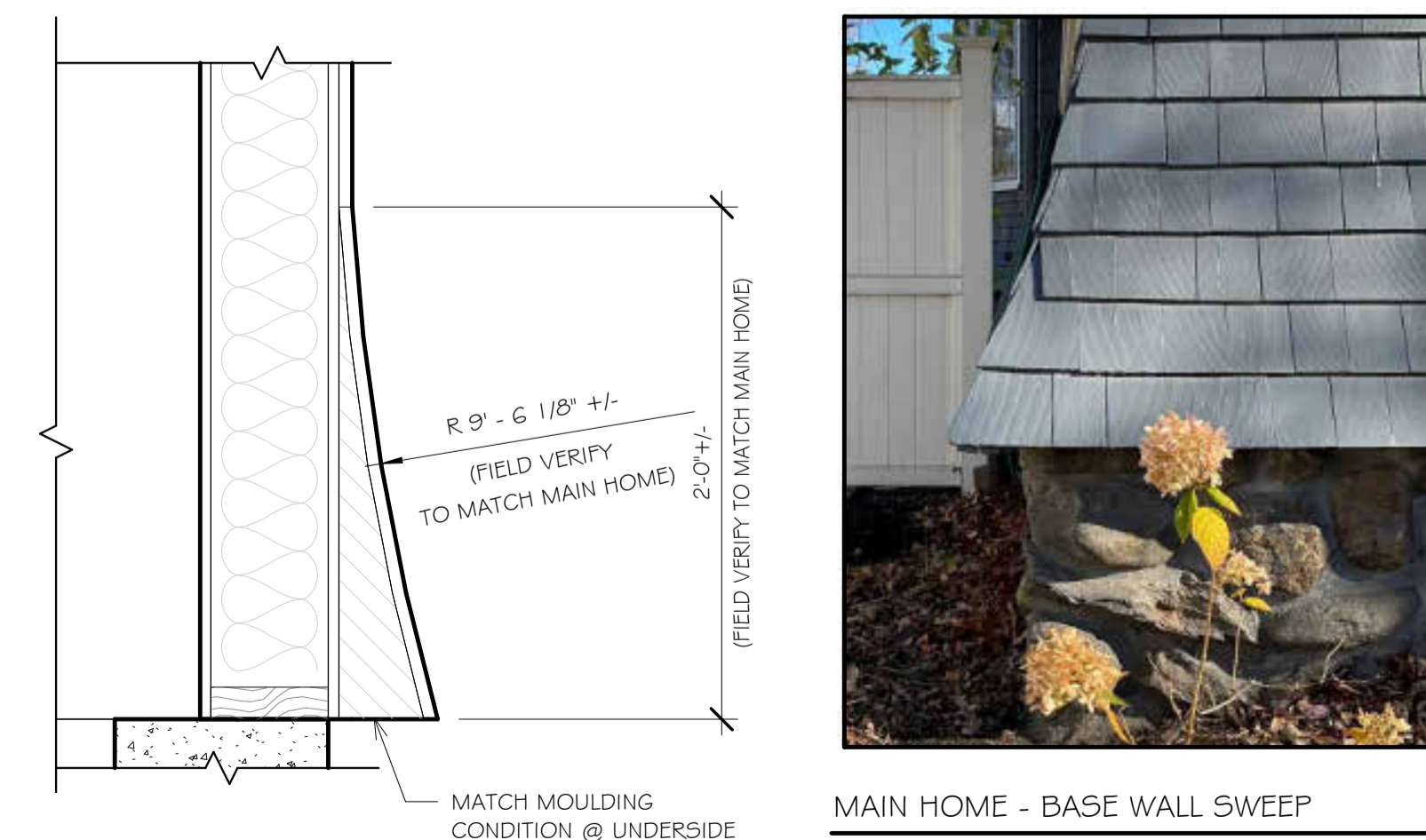
5 KITCHEN DORMER ROOF SWEEP
3" = 1'-0"



MAIN HOME - HALF WALL @ DECK



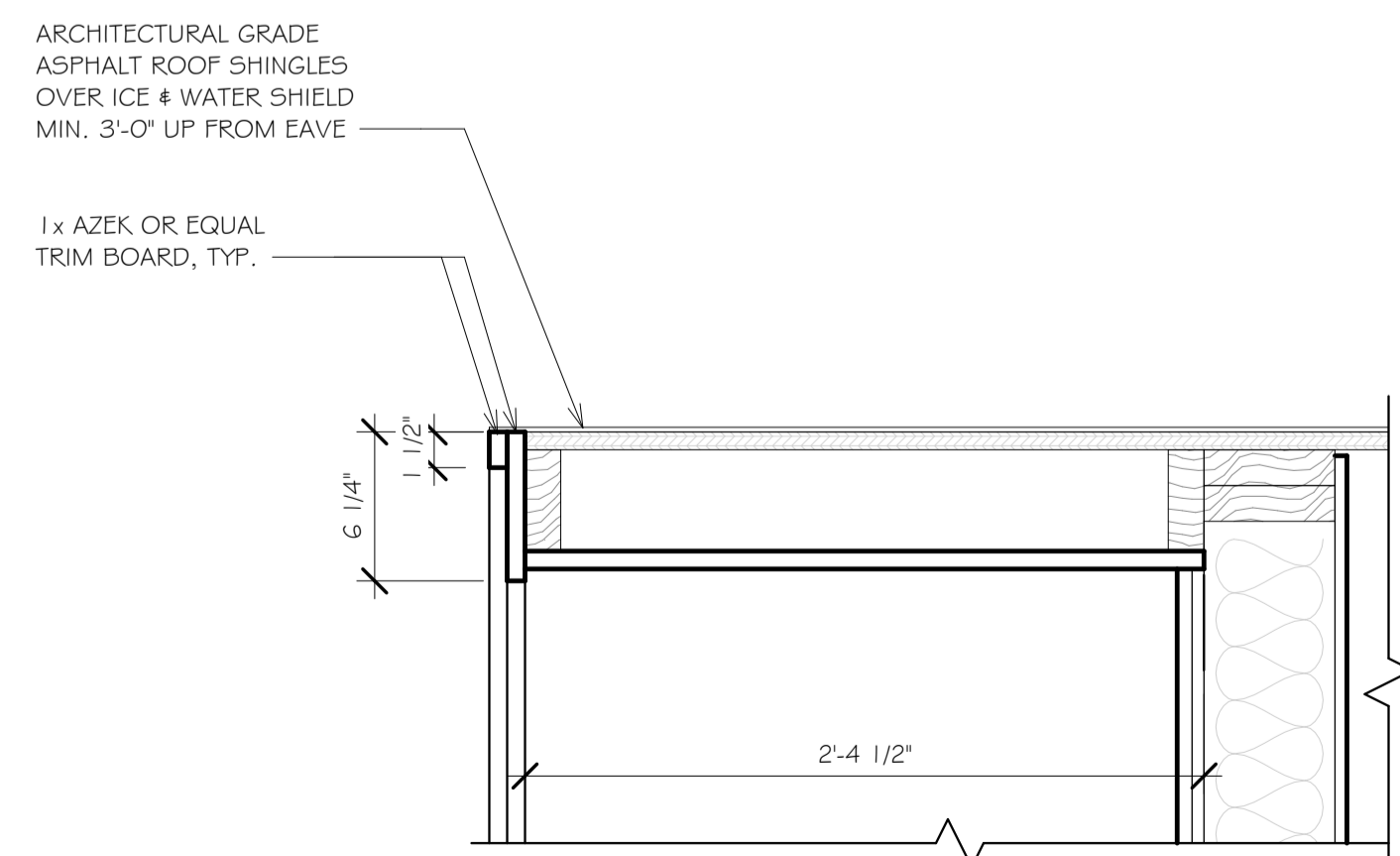
8 HALF-WALL @ DECKS & BRACKET
1 1/2" = 1'-0"



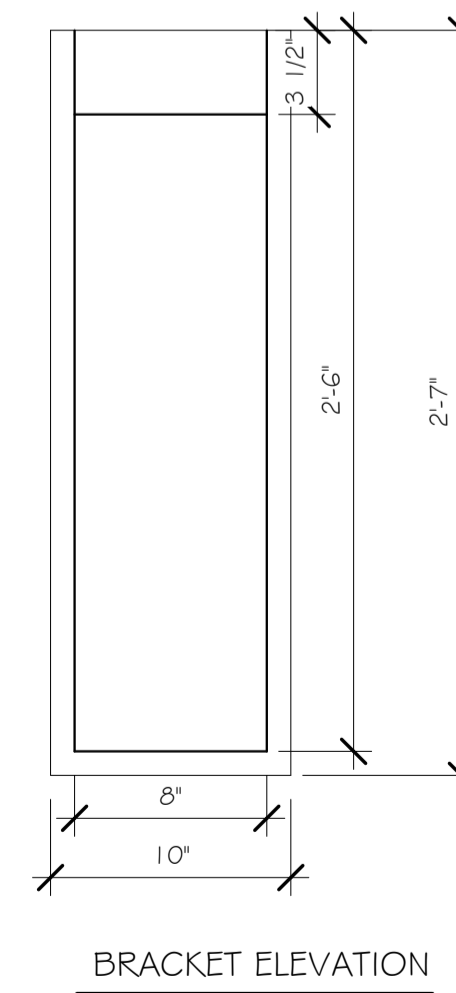
3 BASE WALL SWEEP
1 1/2" = 1'-0"



MAIN HOME - BASE WALL SWEEP



6 RAKE @ KITCHEN DORMER
1 1/2" = 1'-0"



BRACKET ELEVATION

REVISIONS:

**GODFREY COVE
ENGINEERING LLC**

TBAKER@GODFREYCOVE.COM
(207) 951-5113
YORK, ME 03909



SOMMA

36 Maplewood Avenue
Portsmouth, NH 03801
PH: 603.766.3760

GARAGE / RESIDENCE
765 MIDDLE STREET
PORTSMOUTH, NH

TITLE:

**EXTERIOR
DETAILS**

SCALE: AS NOTED

DRAWN BY: TB

CHECKED BY: JR

PROJECT NO.:

DATE: NOVEMBER 2023

A4.0

8. 137 Northwest Street

-Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment (A/C condenser).

Staff Comment: Recommend Approval

Stipulations:

1. _____
2. _____
3. _____





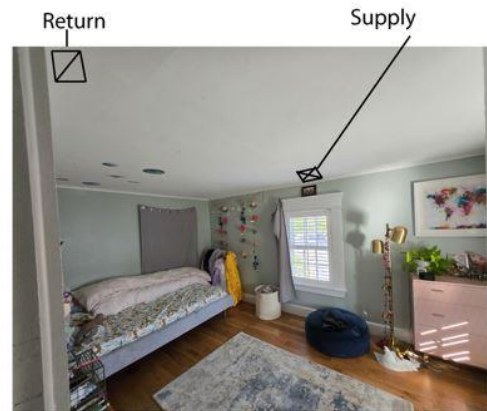
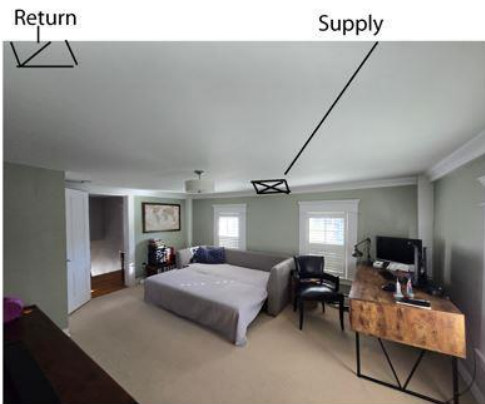
MSZ-FS 12K BTU

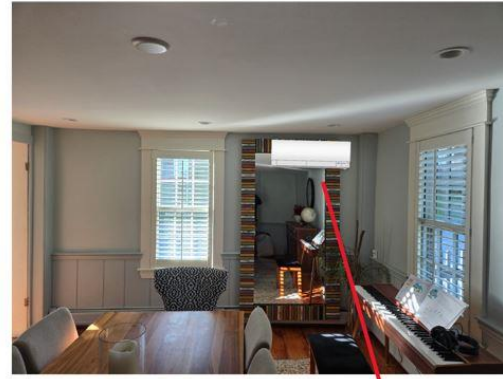


PEAD 12K BTU



MSZ-GS 06K BTU





MSZ-FS 9K BTU



MSZ-FS 9K BTU



MXZ2C20



MXZ3C30

Submission Data: MXZ-2C20NA4-U1

Multi-Split Air Source Heat Pump System

Job Name:	Location:
Purchaser:	Submitted By:
Submitted To:	Reference: Approval: Construction:
Engineer:	Date: Application:



Images provided for reference purposes only

- Variable speed INVERTER-driven compressor
- M-NET connection optional through outdoor unit (Part # listed below)
- Quiet outdoor unit operation as low as 50 dB(A)
- High pressure switch for additional protection
- Base pan heater optional (Part # listed below)

Performance:		Non-Ducted	Mixed	Ducted	
Cooling at 95°F ¹	Rated Capacity	Btu/h	18,000	19,000	20,000
	Capacity Range	Btu/h	5,700 - 20,000	5,700 - 20,000	5,700 - 20,000
	Rated Power Input	W	1,417	1,709	2,000
	Power Input Range	W	530 - 2,245	530 - 2,228	530 - 2,270
	Moisture Removal	pints/h	NA	NA	NA
	Sensible Heat Factor		NA	NA	NA
Heating at 47°F ²	Rated Capacity	Btu/h	22,000	22,000	22,000
	Capacity Range	Btu/h	7,400 - 25,500	7,400 - 25,000	7,400 - 24,500
	Rated Power Input	W	1,641	1,706	1,771
	Power Input Range	W	670 - 2,455	670 - 2,433	670 - 2,410
Heating at 17°F ³	Maximum Capacity	Btu/h	15,500	15,000	14,500
	Rated Capacity	Btu/h	13,500	13,500	13,500
	Capacity Range	Btu/h	11,000 - 15,500	11,750 - 15,000	12,500 - 14,500
	Maximum Power Input	W	1,750	1,780	1,810
	Rated Power Input	W	1,364	1,515	1,665
	Power Input Range	W	1,200 - 1,750	1,433 - 1,780	1,665 - 1,810
Heating at 5°F ⁴	Maximum Capacity	Btu/h	11,100	11,000	10,900
	Maximum Power Input	W	1,600	1,650	1,700
Heating at -13°F ⁵	Maximum Capacity	Btu/h	NA	NA	NA
	Maximum Power Input	W	NA	NA	NA

Efficiency:		Non-Ducted	Mixed	Ducted
SEER2		20.00	18.00	16.00
EER2 ¹		12.70	11.35	10.00
HSPF2 (IV) / (V)		9.70 / 7.50	9.40 / 7.50	9.10 / 7.50
COP2 at 47°F ²	Rated Capacity	3.92	3.78	3.64
COP at 17°F ³	Maximum Capacity	2.90	2.55	2.20
COP at 5°F ⁴	Maximum Capacity	2.22	2.05	1.88

Outdoor Operating Temperature Range:		
Cooling Operation Air Temp (Maximum / Minimum)* (Comfort cooling only applications)	°F (°C)	* 115 to 14 (46 to -10)
Cooling Operation Thermal Lock-out / Re-start Temperatures	°F (°C)	10.4 / 14 (-12 / -10)
Heating Operation Air Temp (Maximum / Minimum)	°F (°C)	65 to 5 (18 to -15)
Heating Operation Thermal Lock-out / Re-start Temperatures	°F (°C)	1.4 / 5.0 (-17 / -15)

AHRI Rated Conditions (Rated data is determined at a fixed compressor speed) (* Windscreens required for cooling operations below 23°F (-5°C))

¹Cooling (Indoor // Outdoor) 80°F (26.6°C) DB, 67°F (19.4°C) WB // 95°F (35°C) DB, 75°F (23.9°C) WB

²Heating at 47°F (8.3°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // 47°F (8.3°C) DB, 43°F (6.1°C) WB

³Heating at 17°F (-8.3°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // 17°F (-8.3°C) DB, 15°F (-9.4°C) WB

Rated conditions:

⁴Heating at 5°F (-15°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // 5°F (-15°C) DB, 4°F (-15.6°C) WB

⁵Heating at -13°F (-25°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // -13°F (-25°C) DB, -15°F (-26.1°C) WB

Note:

1. Mitsubishi Electric Sales Canada Inc. (MESCA) supports the use of only MESCA supplied and approved components and accessories for proper functioning of the unit(s). Use of non - MESCA supported components and accessories will affect warranty coverage. MESCA recommends (A) consideration of all applicable design and application parameters and requirements specific to any project.
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Notes:

Electrical:

Power Supply		208/230V, 1Ph, 60Hz
Voltage: Indoor - Outdoor, S1-S2	V AC	AC 208/230V
Voltage: Indoor - Outdoor, S2-S3	V DC	DC 12-24V
Short-circuit Current Rating (SCCR)	kA	5
Recommended Fuse/Breaker Size (Outdoor)	A	20
Recommended Wire Size (Indoor - Outdoor)	AWG	14

Outdoor Unit Specifications:

MCA	A	17.2
MOCP	A	20
Fan Motor Output	W	NA
Airflow Rate (Cooling/Heating)	CFM	1,342 / 1,458
Sound Pressure Level, Cooling1	dB(A)	50
Sound Pressure Level, Heating2	dB(A)	54
Refrigerant Control		LEV
Compressor Oil Type / Refrigerant Charge		NEO22 / 5 lbs. 15 oz. (2.7 kg)
External Finish Color		Munsell 3.0Y 7.8/1.1
Unit Weight	Lbs. [kg]	126 (57)
Unit Dimensions	W: In. [mm]	33-1/16 [840]
	D: In. [mm]	13 [330]
	H: In. [mm]	27-15/16 [710]
Gas Pipe Size O.D. (Flared)	In. [mm]	A,B: 3/8 [A,B: 9.52]
Liquid Pipe Size O.D. (Flared)	In. [mm]	A,B: 1/4 [A,B: 6.35]
Total Piping Length	Ft. [m]	164 [50]
Maximum Height Difference, ODU above IDU	Ft. [m]	33 [10]
Maximum Height Difference, ODU below IDU	Ft. [m]	49 [15]
Farthest Piping Length from ODU to IDU	Ft. [m]	82 [25]
Maximum Number of Bends for IDU		50

Model No. Description: (Optional Accessories)

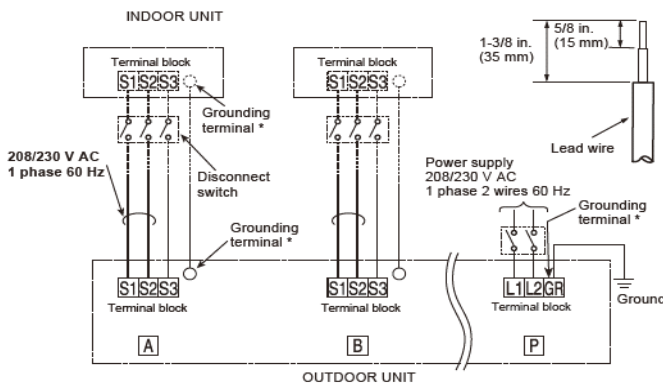
WFR1	Front Windscreen
PAC-IF01MNT-E	SYSTEM M-NET CONTROL INTERFACE
MAC-A454JP-E	JOINT PIPE (3/8->1/2)
MAC-A455JP-E	JOINT PIPE (1/2->3/8)
MAC-A456JP-E	JOINT PIPE (1/2->5/8)
PAC-SG76RJ-E	JOINT PIPE (3/8 -> 5/8)
PAC-646BH-E	Base Heater

Notes: SVZ Connections Rules:

Minimum of two Indoor units must be connected	Only 1 SVZ may be used on any system
Minimum installed capacity cannot be less than 12,000 Btu/h	When an SVZ is connected, total connected capacity must be less than 100%
System can operate with only one Indoor unit turned on	When an SVZ is connected, no P-Series Indoor units can be used (PCA,PLA, or PEAD)
May connect to any style Indoor unit or combination	
Information provided at 208/230V	
Refer "MXZ Connection Rules" additional info available within TIC	

Remark:

- * Use a ring tongue terminal in order to connect a ground wire to terminal.



- * Connect wires to the matching numbers of terminals.
- * Be sure to attach each screw to its correspondent terminal when securing the cord and/or the wire to the terminal block.

CONNECTING WIRES AND CONNECTING GROUND WIRE

- * Use solid conductor Min. AWG14 or stranded conductor Min. AWG14.
- * Use double insulated copper wire with 600 V insulation.
- * Use copper conductors only.
- * Follow local electrical code.

POWER SUPPLY CABLE

- * Use solid or stranded conductor Min. AWG8.
- * Use copper conductors only.
- * Follow local electrical code.

GROUND WIRE

- * Use solid or stranded conductor Min. AWG8.
- * Use copper conductors only.
- * Follow local electrical code.

WARNING:

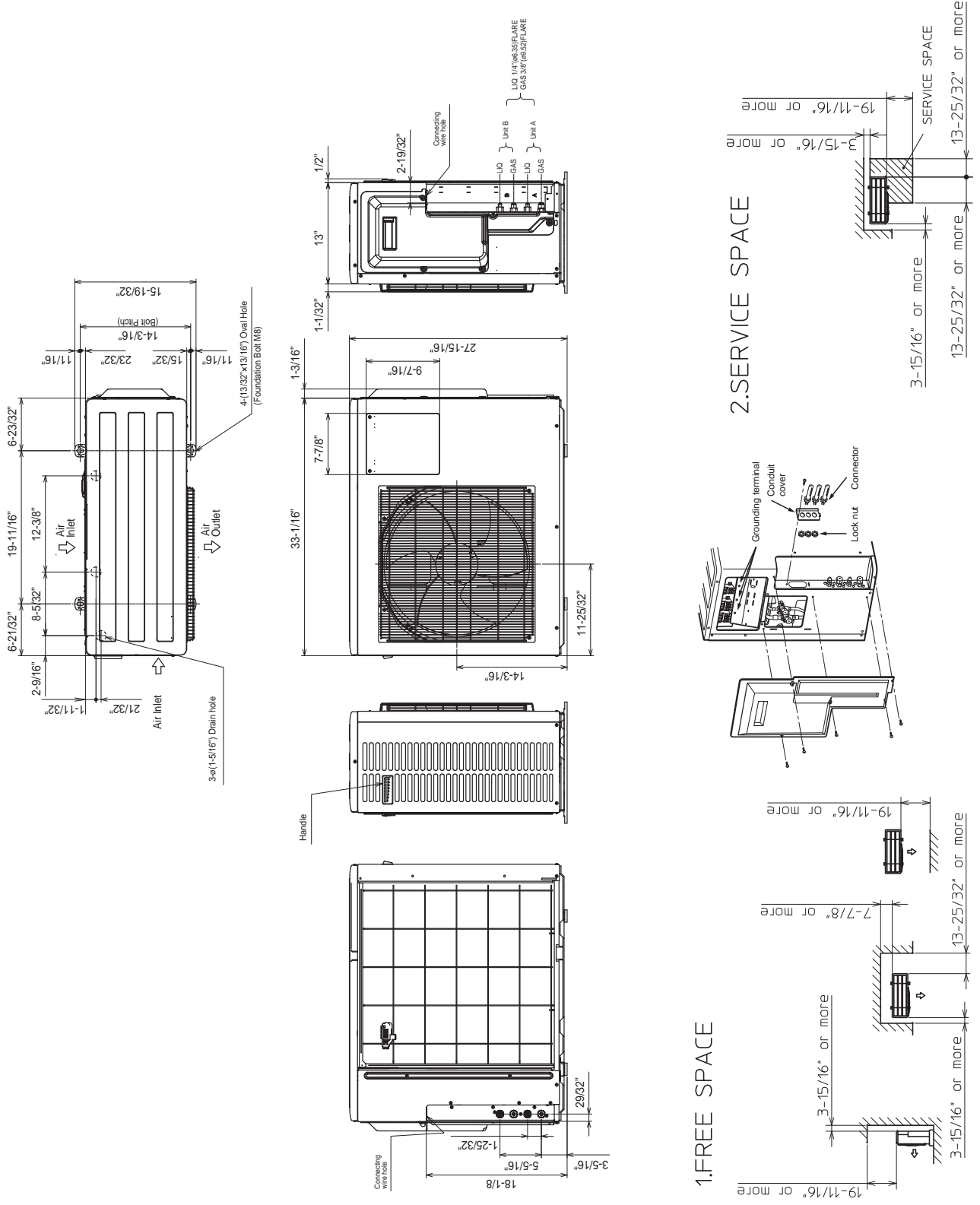
- * Use the indoor/outdoor unit connecting wire that meets the Standards to connect the indoor and outdoor units and fix the wire to the terminal block securely so that no external force is conveyed to the connecting section of the terminal block. An incomplete connection or fixing of the wire could result in a fire.

For future servicing, give extra length to the connecting wires.

- * Turn on the main power when the ambient temperature is -4°F (-20°C) or higher.
- * Under conditions of -4°F (-20°C), it needs at least 4hr stand by before the units operate in order to warm the electrical parts.

Outdoor Unit Outline and Dimensions:

Unit: inch (mm)



Submission Data: MXZ-3C30NA4-U1

Multi-Split Air Source Heat Pump System

Job Name:	Location:
Purchaser:	Submitted By:
Submitted To:	Reference: Approval: Construction:
Engineer:	Date: Application:



Images provided for reference purposes only

- Variable speed INVERTER-driven compressor
- M-NET connection optional through outdoor unit (Part # listed below)
- Quiet outdoor unit operation as low as 52 dB(A)
- High pressure switch for additional protection
- Base pan heater optional (Part # listed below)

Performance:		Non-Ducted	Mixed	Ducted	
Cooling at 95°F ¹	Rated Capacity	Btu/h	28,400	27,900	27,400
	Capacity Range	Btu/h	11,600 - 28,400	11,300 - 28,400	11,000 - 28,400
	Rated Power Input	W	2,670	2,755	2,840
	Power Input Range	W	680 - 4,040	785 - 4,400	890 - 3,960
	Moisture Removal	pints/h	NA	NA	NA
	Sensible Heat Factor		NA	NA	NA
Heating at 47°F ²	Rated Capacity	Btu/h	28,600	28,100	27,600
	Capacity Range	Btu/h	18,100 - 36,000	18,300 - 36,000	18,500 - 36,000
	Rated Power Input	W	2,149	2,184	2,220
	Power Input Range	W	1,040 - 3,700	1,130 - 3,900	1,220 - 4,100
Heating at 17°F ³	Maximum Capacity	Btu/h	21,000	21,000	21,000
	Rated Capacity	Btu/h	18,600	18,200	17,800
	Capacity Range	Btu/h	15,700 - 21,000	15,100 - 21,000	14,500 - 21,000
	Maximum Power Input	W	2,860	2,910	2,960
	Rated Power Input	W	1,820	1,860	1,900
	Power Input Range	W	1,420 - 2,860	1,445 - 2,910	1,470 - 2,960
Heating at 5°F ⁴	Maximum Capacity	Btu/h	19,800	19,800	19,800
	Maximum Power Input	W	3,100	3,205	3,310
Heating at -13°F ⁵	Maximum Capacity	Btu/h	NA	NA	NA
	Maximum Power Input	W	NA	NA	NA

Efficiency:		Non-Ducted	Mixed	Ducted
SEER ²		19.00	17.60	16.20
EER ² ¹		10.6	10.1	9.60
HSPF ² (IV) / (V)		10.00 / 7.50	9.40 / 7.70	8.80 / 7.90
COP at 47°F ²	Rated Capacity	3.90	3.75	3.60
COP at 17°F ³	Maximum Capacity	2.90	2.80	2.70
COP at 5°F ⁴	Maximum Capacity	1.75	1.81	1.87

Outdoor Operating Temperature Range:		
Cooling Operation Air Temp (Maximum / Minimum)* (Comfort cooling only applications)	°F (°C)	* 115 to 14 (46 to -10)
Cooling Operation Thermal Lock-out / Re-start Temperatures	°F (°C)	10.4 / 14 (-12 / -10)
Heating Operation Air Temp (Maximum / Minimum)	°F (°C)	65 to 5 (18 to -15)
Heating Operation Thermal Lock-out / Re-start Temperatures	°F (°C)	1.4 / 5.0 (-17 / -15)

AHRI Rated Conditions (Rated data is determined at a fixed compressor speed) (* Windscreens required for cooling operations below 23°F (-5°C))

¹Cooling (Indoor // Outdoor) 80°F (26.6°C) DB, 67°F (19.4°C) WB // 95°F (35°C) DB, 75°F (23.9°C) WB

²Heating at 47°F (8.3°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // 47°F (8.3°C) DB, 43°F (6.1°C) WB

³Heating at 17°F (-8.3°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // 17°F (-8.3°C) DB, 15°F (-9.4°C) WB

Rated conditions:

⁴Heating at 5°F (-15°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // 5°F (-15°C) DB, 4°F (-15.6°C) WB

⁵Heating at -13°F (-25°C) (Indoor // Outdoor) 70°F (21.1°C) DB, 60°F (15.6°C) WB // -13°F (-25°C) DB, -15°F (-26.1°C) WB

Note:

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Notes:

Electrical:

Power Supply		208/230V, 1Ph, 60Hz
Voltage: Indoor - Outdoor, S1-S2	V AC	AC 208/230V
Voltage: Indoor - Outdoor, S2-S3	V DC	DC 12-24V
Short-circuit Current Rating (SCCR)	kA	5
Recommended Fuse/Breaker Size (Outdoor)	A	25
Recommended Wire Size (Indoor - Outdoor)	AWG	14

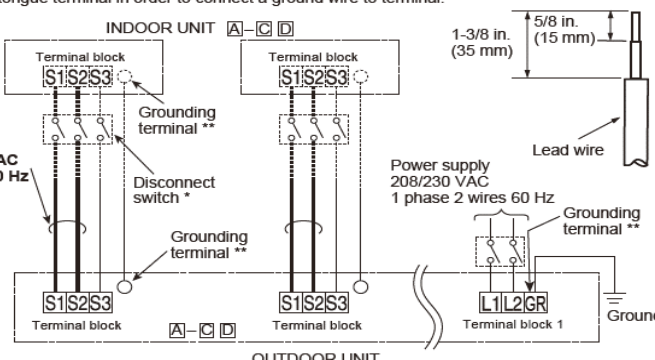
Outdoor Unit Specifications:

MCA	A	22.1
MOCP	A	25
Fan Motor Output	W	NA
Airflow Rate (Cooling/Heating)	CFM	2,133 / 2,243
Sound Pressure Level, Cooling ¹	dB(A)	52
Sound Pressure Level, Heating ²	dB(A)	56
Refrigerant Control		LEV
Compressor Oil Type / Refrigerant Charge		FV50S/FW68S / 6 lbs. 13 oz. (3.1 kg)
External Finish Color		Munsell 3.0Y 7.8/1.1
Unit Weight	Lbs. [kg]	142 [64.4]
Unit Dimensions	W: In. [mm]	37-13/32 [950]
	D: In. [mm]	13 [330]
	H: In. [mm]	31-11/32 [796]
Gas Pipe Size O.D. (Flared)	In. [mm]	A: 1/2; B,C: 3/8 [A: 12.72; B,C: 9.52]
Liquid Pipe Size O.D. (Flared)	In. [mm]	A,B,C: 1/4 [A,B,C: 6.35]
Total Piping Length	Ft. [m]	230 [70]
Maximum Height Difference, ODU above IDU	Ft. [m]	49 [15]
Maximum Height Difference, ODU below IDU	Ft. [m]	49 [15]
Farthest Piping Length from ODU to IDU	Ft. [m]	82 [25]
Maximum Number of Bends for IDU		70

Model No.	Description: (Optional Accessories)
CM-S-FR-NKMU	Front Windscreen
WRE3	Rear Windscreen
WSD3	Side Windscreen
PAC-IF01MNT-E	SYSTEM M-NET CONTROL INTERFACE
MAC-A454JP-E	JOINT PIPE (3/8->1/2)
MAC-A455JP-E	JOINT PIPE (1/2->3/8)
MAC-A456JP-E	JOINT PIPE (1/2->5/8)
PAC-SG76RJ-E	JOINT PIPE (3/8 -> 5/8)
PAC-645BH-E	Base Heater

Notes:	SVZ Connections Rules:
Minimum of two Indoor units must be connected	Only 1 SVZ may be used on any system
Minimum installed capacity cannot be less than 12,000 Btu/h	When an SVZ is connected, total connected capacity must be less than 100%
System can operate with only one Indoor unit turned on	When an SVZ is connected, no P-Series Indoor units can be used (PCA,PLA, or PEAD)
May connect to any style Indoor unit or combination	
Information provided at 208/230V	
Refer "MXZ Connection Rules" additional info available within TIC	

Remark:
 * A disconnect switch should be required. Check the local code.
 ** Use a ring tongue terminal in order to connect a ground wire to terminal.



- Connect wires to the matching numbers of terminals.
- Be sure to attach each screw to its correspondent terminal when securing the cord and/or the wire to the terminal block.

CONNECTING WIRES AND CONNECTING GROUND WIRE

- Use solid conductor Min. AWG14 or stranded conductor Min. AWG14.
- Use double insulated copper wire with 600 V insulation.
- Use copper conductors only
- * Follow local electrical code.

POWER SUPPLY CABLE AND GROUND WIRE

- Use solid or stranded conductor Min. AWG12.
- Use copper conductors only
- * Follow local electrical code.

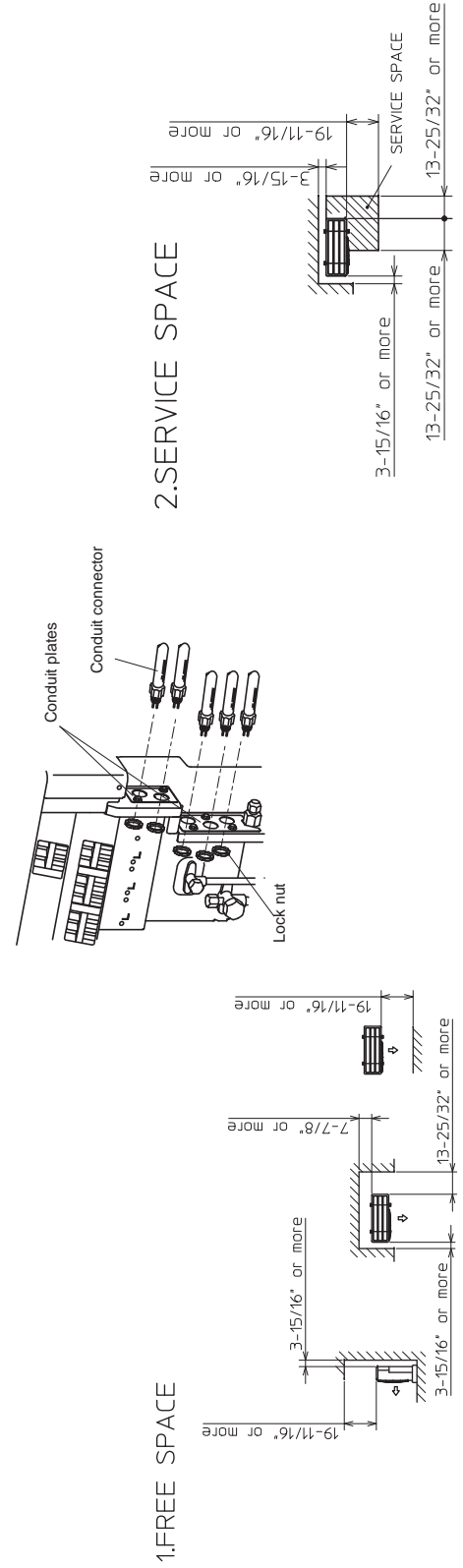
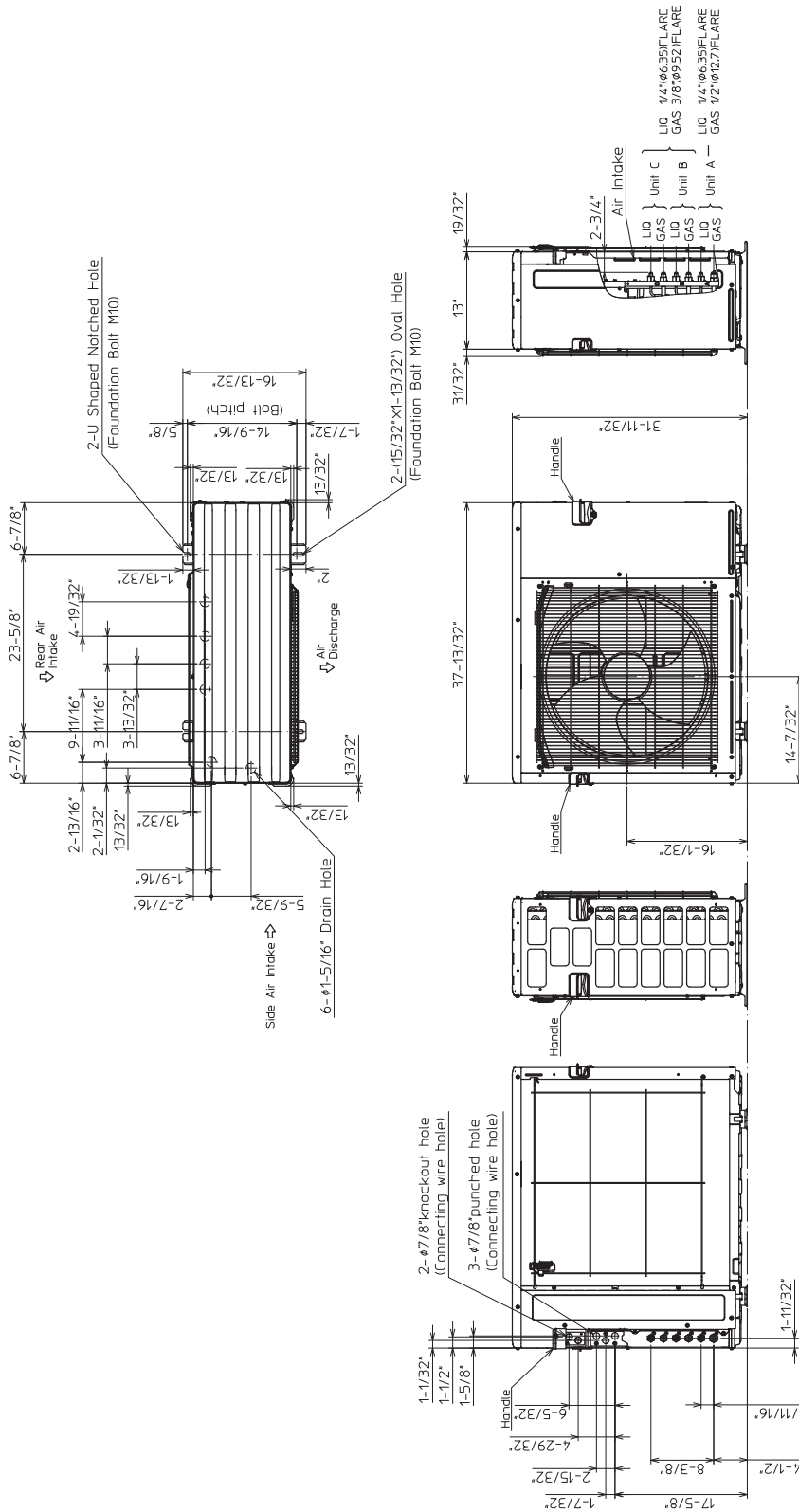
⚠ WARNING:
 Use the indoor/outdoor unit connecting wire that meets the Standards to connect the indoor and outdoor units and fix the wire to the terminal block securely so that no external force is conveyed to the connecting section of the terminal block. An incomplete connection or fixing of the wire could result in a fire.

For future servicing, give extra length to the connecting wires.

D unit is for 4C36NA3 only

Outdoor Unit Outline and Dimensions:

Unit: inch (mm)



9. 99 Daniel Street

-Recommended Approval

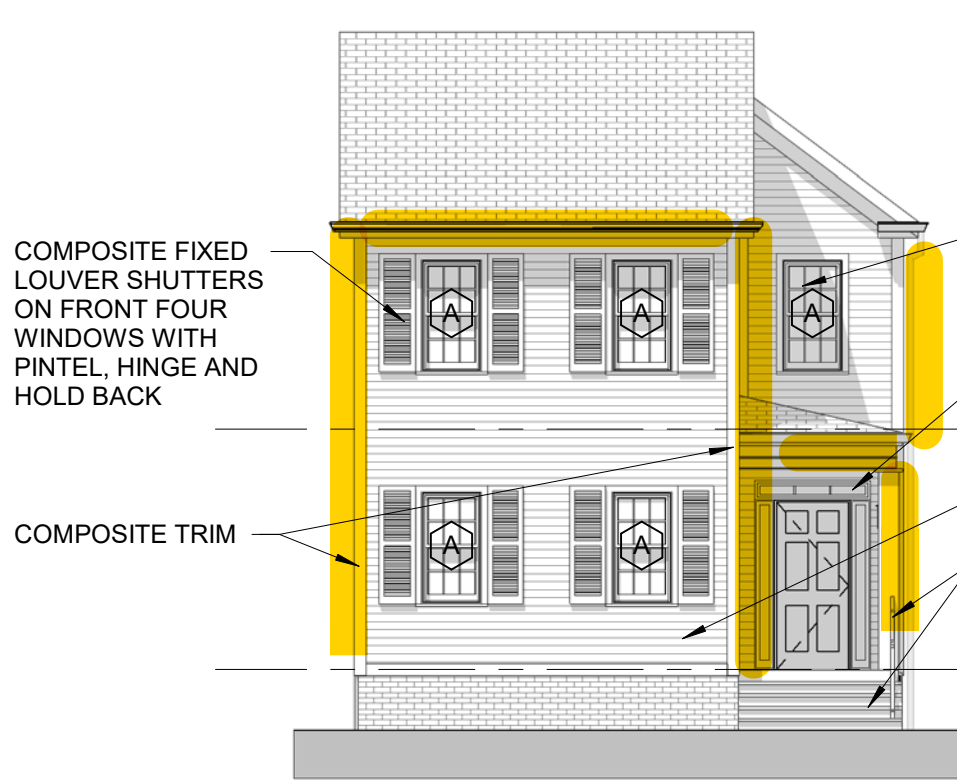
Background: The applicant is seeking approval for the installation of copper gutters where aluminum was approved (to match the copper gutter and downspouts at 95 Daniel Street).

Staff Comment: Recommend Approval

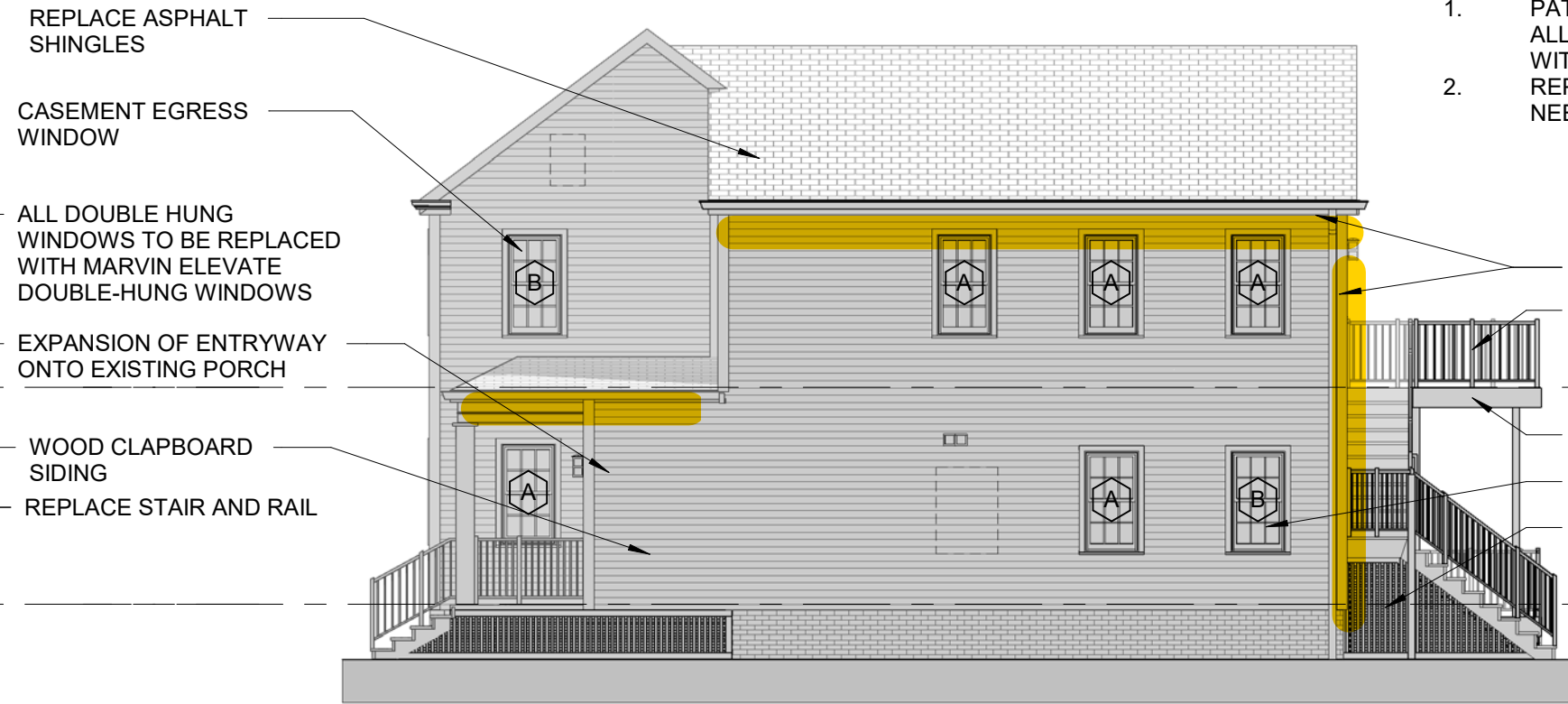
Stipulations:

1. _____
2. _____
3. _____

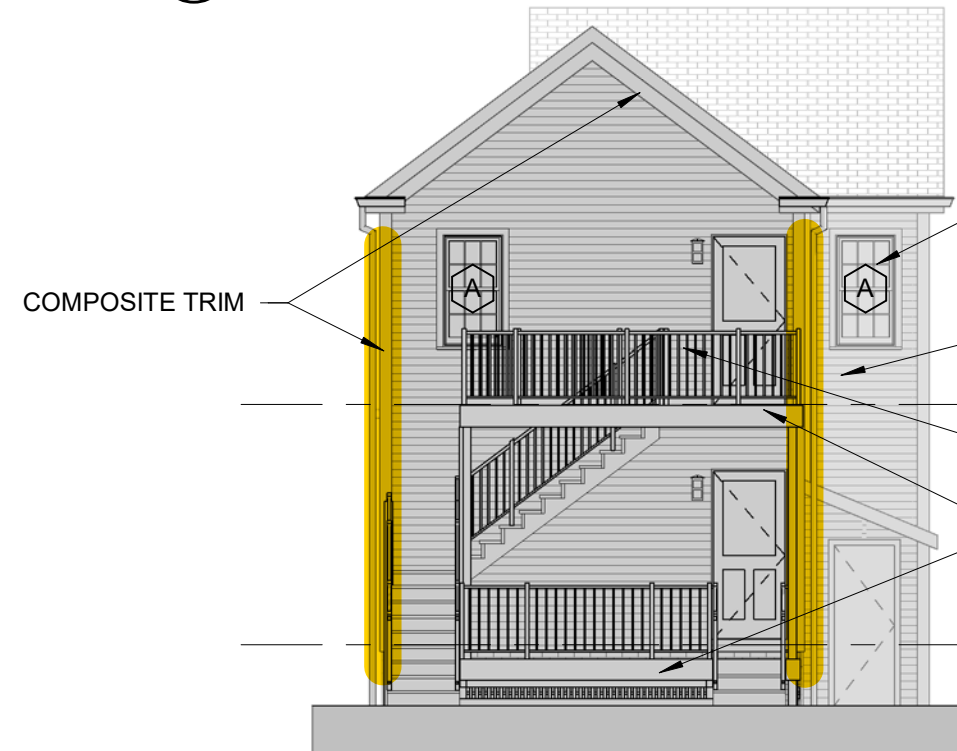
- GENERAL NOTES:
1. PATCH, REPAIR AND REPLACE ALL FASCIA, SOFFIT AND TRIM WITH COMPOSITE
 2. REPOINT BRICK FOUNDATION AS NEEDED



1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

- COMPOSITE TRIM
- TIMBERTECH ALUMINUM RAIL
- Level 2 110' - 0"
- TIMBERTECH AZEK DECKING
- CASEMENT EGRESS WINDOW
- CONDENSER BEHIND SCREENING
- Level 1 100' - 0"

- LOUVERS FOR VENTILATION
- COMPOSITE TRIM
- Level 2 110' - 0"
- 24' - 9" +/-
- WINDOW INFILL
- Level 1 100' - 0"

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99/95 DANIEL STREET
PORTSMOUTH, NH 03801

99 SCHEMATIC DESIGN
HISTORIC DISTRICT COMMISSION · PUBLIC HEARING
JANUARY 2024

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A4

12/14/2023
McHA: EKW/MG
Scale: 1/8" = 1'-0"