

Historic District Commission

Staff Report

Wednesday, August 07, 2024

Project Address: 111 State Street
Permit Requested: Certificate of Approval
Application: Public Hearing A

A. Property Information - General:

Existing Conditions:

- Zoning District: CD 4
- Land Use: Mixed-Use
- Land Area: 2,875 SF +/-
- Estimated Age of Structure: c.1825
- Building Style: Federal
- Number of Stories: 2
- Historical Significance: C
- Public View of Proposed Work: State Street and Sheafe Street
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: Reconfigure rear gable ends to include a recessed porch and dormer, add new windows, change rear center gable siding, modifications to the front entrance doors.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Reconstruction of the Sheafe Street facing façade.
- Reconfigure rear gable ends and add a new dormer.
- New windows, siding, and entrance modifications.
- This project has been before the Commission for several Public Hearings and Administrative Approvals for various changes and modifications.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

111 STATE STREET ADDITION & RENOVATION



COVENTRY REALTY, LLC

HDC- Revision 6B

CONTINUATION

PUBLIC HEARING

AUGUST 2024

LU-22-125

REVISIONS TO PREVIOUSLY APPROVED APPLICATION

1. RAISE CENTER REAR GABLE, ADD RECESSED PORCH
2.
 - a. REVISE TRIM AT REAR CENTER GABLE (ADD FRIEZE BOARD, OMIT HORIZONTAL BAND, WIDEN CORNER BOARDS, ADD WATER TABLE, & SKIRT BOARD).
 - b. RAISE 2ND FLOOR WINDOWS & LOWER ATTIC WINDOW OPENING.
 - c. REVISE WEST GABLE
 - OPTION 1: CHANGE TO SHED DORMER WITH 2 WINDOWS
 - OPTION 2: RAISE EXISTING GABLE. LARGER ATTIC WINDOW. RAISE 2ND FLOOR WINDOWS. ADD SKIRT BOARD AT WATER TABLE. ADD FRIEZE BOARD, WIDER CORNER TRIM.
3. EXTEND FLAT ROOF BEHIND GABLES
4. ADD FOUR WINDOWS TO EXISTING REAR CENTER GABLE
6. GUARDRAIL @ SHEAFE ST ROOF ACCESS
7. FRONT ENTRY DOOR CHANGED FROM DOUBLE TO SINGLE WITH SOLID PANELED SIDELITES

DRAWING LIST

- H0.1 COVER HDC-6
- H0.2 EXISTING CONDITION
- H0.3 3D AXONOMETRIC NORTHEAST
- H1.3 ROOF PLAN
- H2.1 STATE STREET ELEVATION
- H2.4 SHEAFE STREET ELEVATION
- H2.5 CHAPEL STREET ELEVATION
- H2.6 GABLE DETAIL
- H3.0 VIGNETTE - SHEAFE ST EAST
- H3.1 VIGNETTE - SHEAFE ST MIDDLE
- H3.2 VIGNETTE SHEAFE ST WEST

H0.1

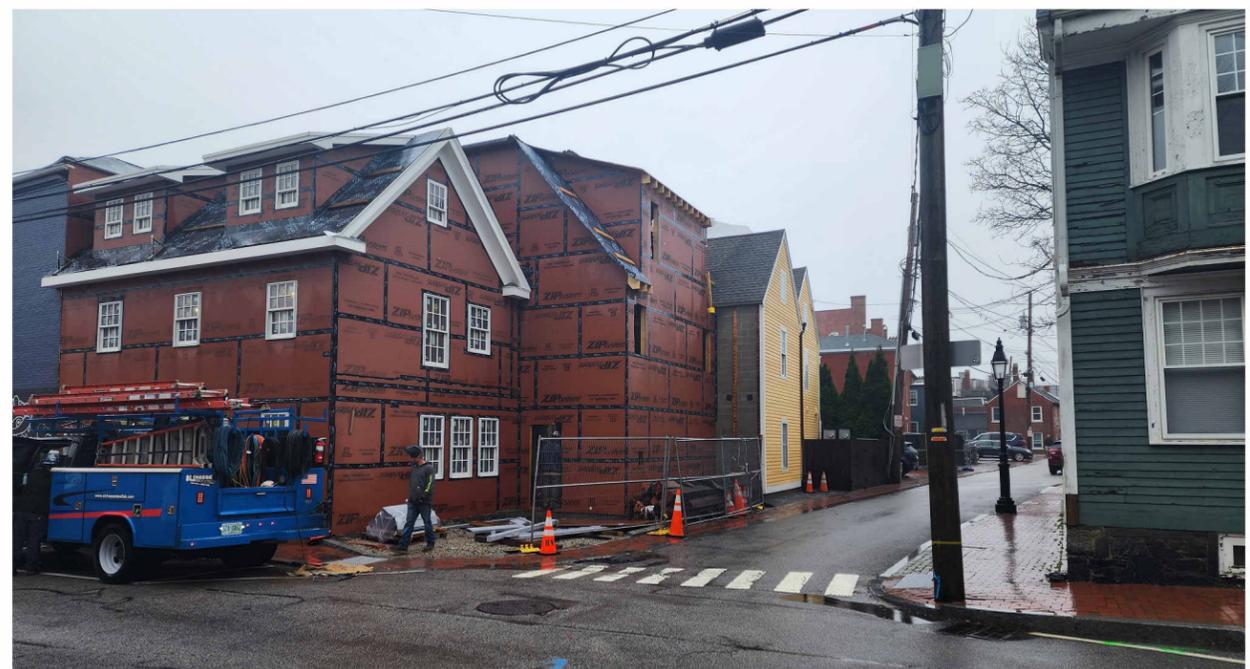
COVER

111 STATE STREET

SCALE:
07/26/2024



COPYRIGHT © 2022



H0.2 EXISTING CONDITIONS
111 STATE STREET
SCALE:
07/26/2024



- RAILING FOR ROOF ACCESS HATCH
- EXTEND FLAT ROOF
- CHANGE GABLE TO SHED
- RAISE GABLE WITH RECESSED PORCH

HDC-6

HDC-4

2 AXONOMETRIC, NE PREVIOUSLY APPROVED
1/4" = 1'-0"

1 AXONOMETRIC, NE PROPOSED

H0.3 3D AXONOMETRIC NORTHEAST - OPTION 1
111 STATE STREET

SCALE: 1/4" = 1'-0"
07/26/2024



RAISED GABLE

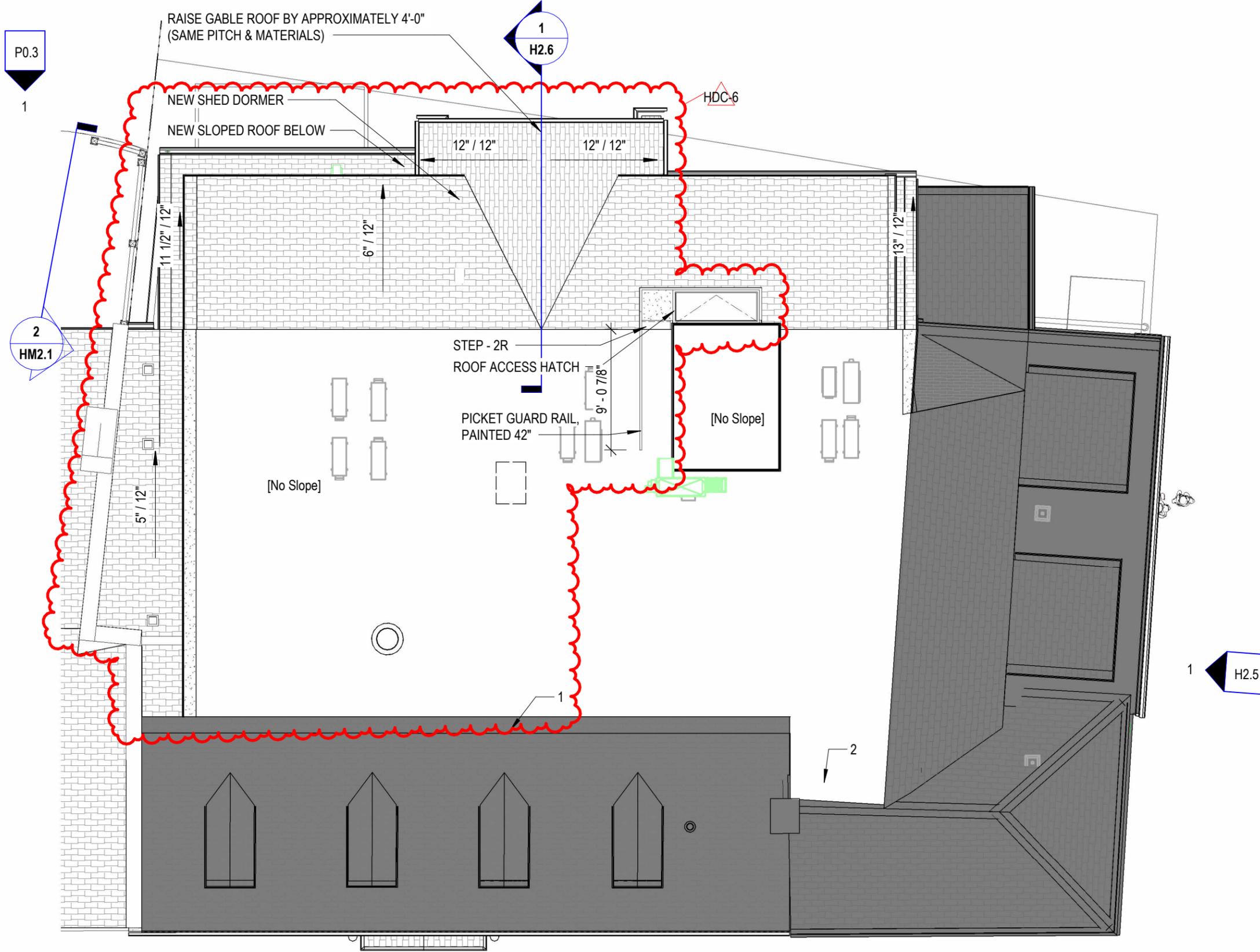
RAISE GABLE WITH RECESSED PORCH

2 AXONOMETRIC, NE PREVIOUSLY APPROVED
1/4" = 1'-0"

1 AXONOMETRIC, NE PROPOSED

H0.3 3D AXONOMETRIC NORTHEAST - OPTION 2
111 STATE STREET

SCALE: 1/4" = 1'-0"
07/26/2024

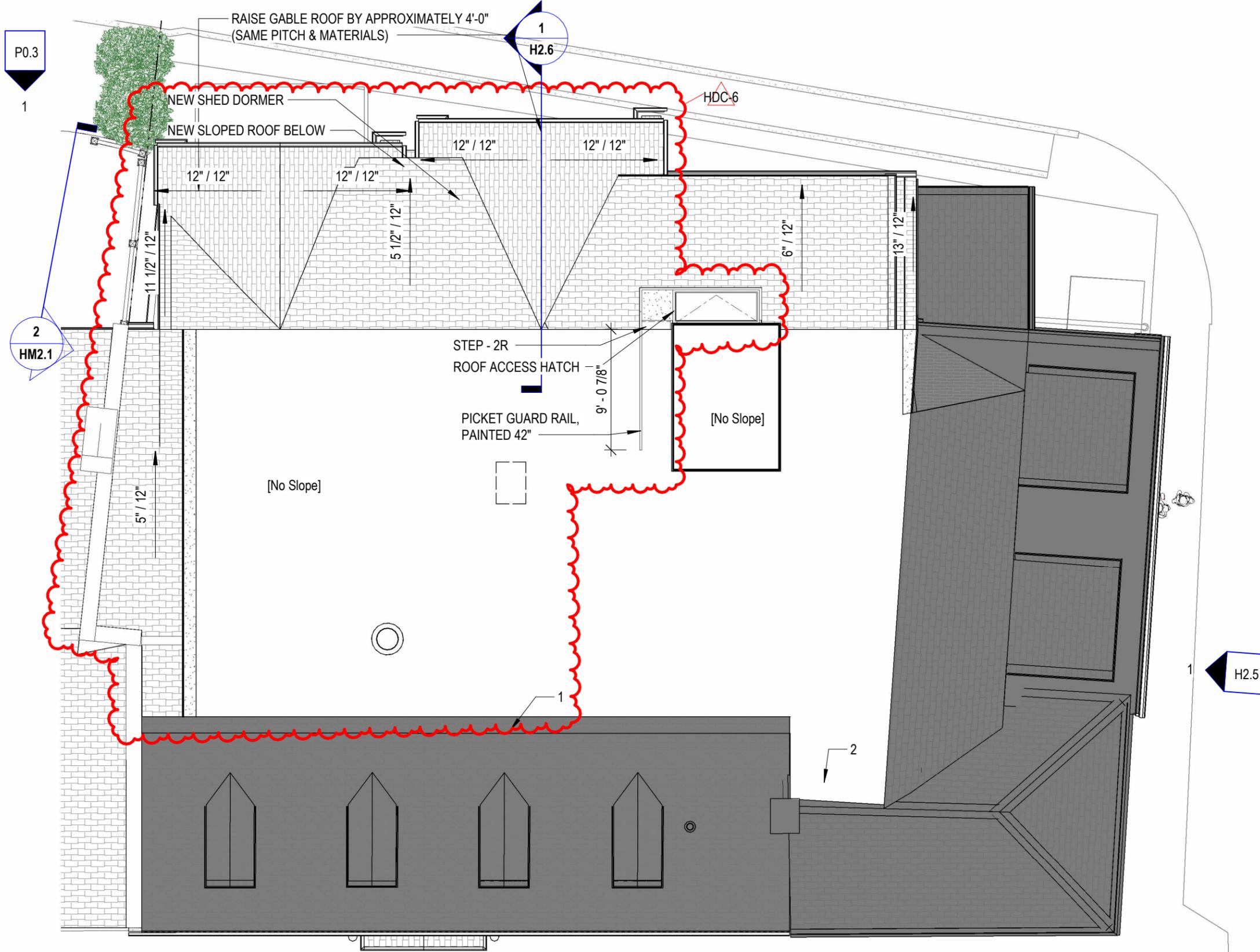


LEGEND

	EXISTING ROOF - SHALLOW SLOPE, MEMBRANE
	EXISTING ROOF - STEEP SLOPED, SHINGLES
	NEW ROOF - FLAT, MEMBRANE
	NEW ROOF - SLOPED, SHINGLES

H1.3 **ROOF PLAN - OPTION 1**
111 STATE STREET
 SCALE: 1/8" = 1'-0"
 07/26/2024





LEGEND

-  EXISTING ROOF - SHALLOW SLOPE, MEMBRANE
-  EXISTING ROOF - STEEP SLOPED, SHINGLES
-  NEW ROOF - FLAT, MEMBRANE
-  NEW ROOF - SLOPED, SHINGLES

P0.3

1

2
HM2.1

1
H2.6

1
H2.5

1
HR2.1

H1.3 **ROOF PLAN - OPTION 2**
111 STATE STREET

SCALE: 1/8" = 1'-0"
07/26/2024





HDC-5

LEVEL 1
24' - 3"

HDC-6 (CHANGE EXISTING DOUBLE DOOR TO SINGLE DOOR WITH SOLID SIDELITES)

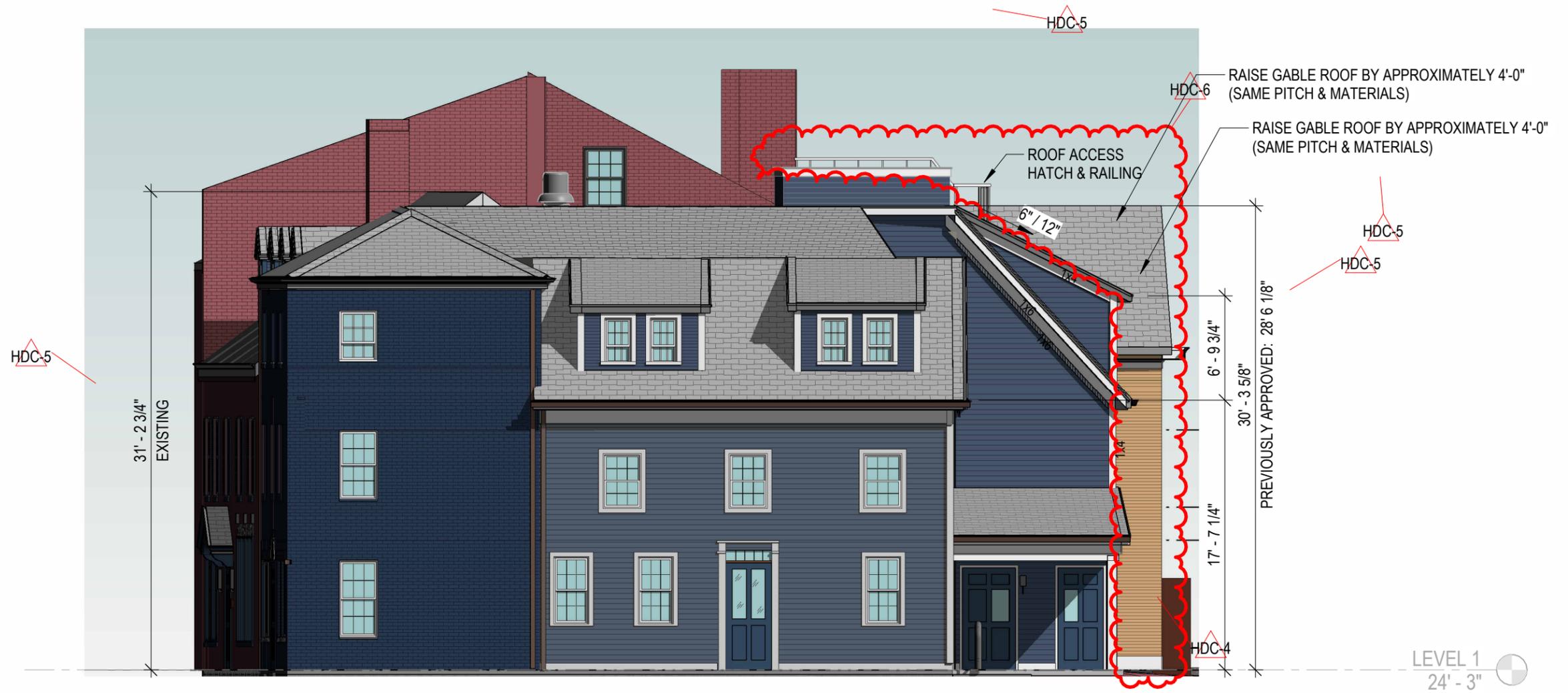


EXISTING

**H2.1 STATE STREET ELEVATION
111 STATE STREET**

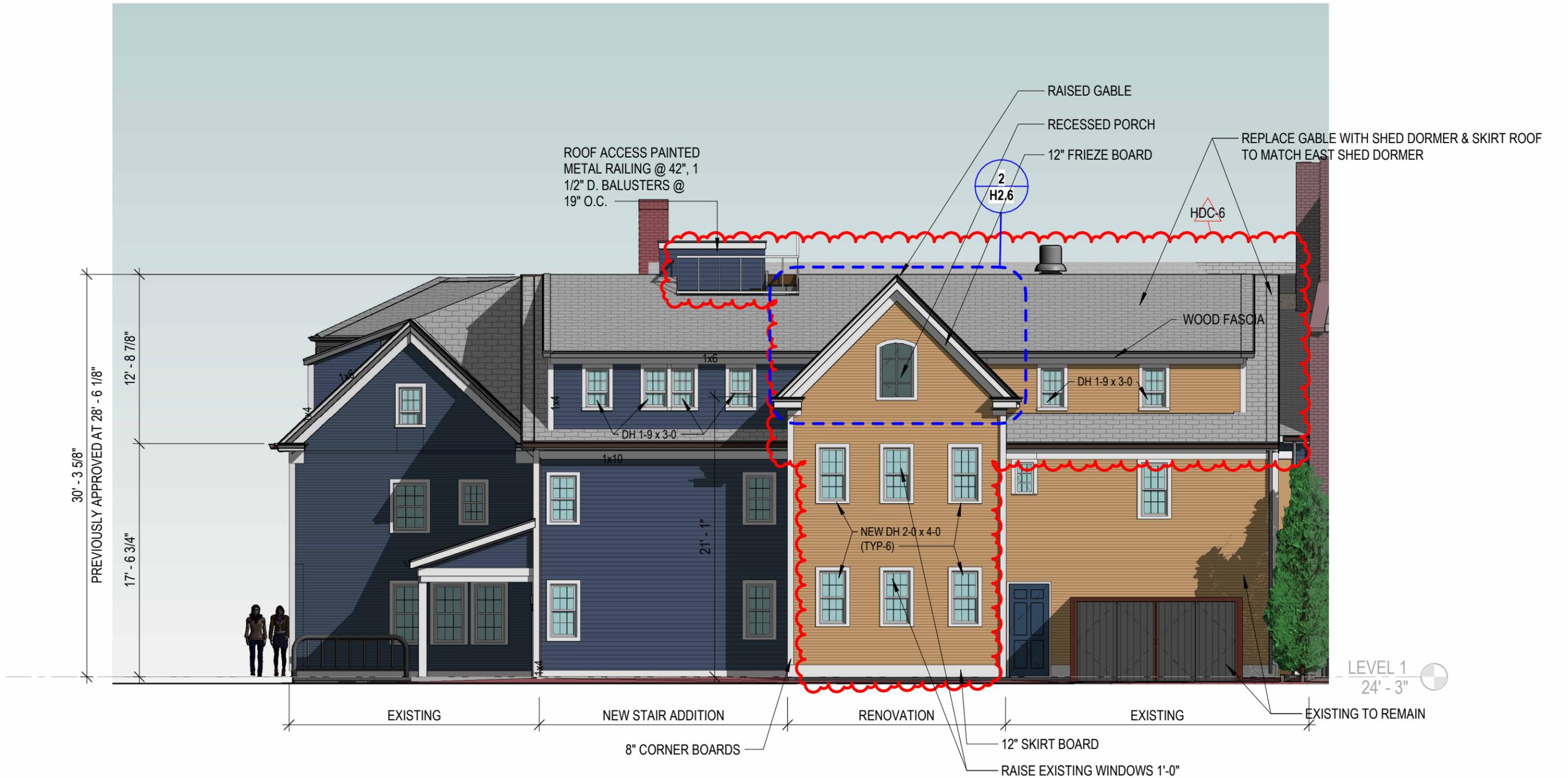
SCALE: 1/8" = 1'-0"
07/26/2024





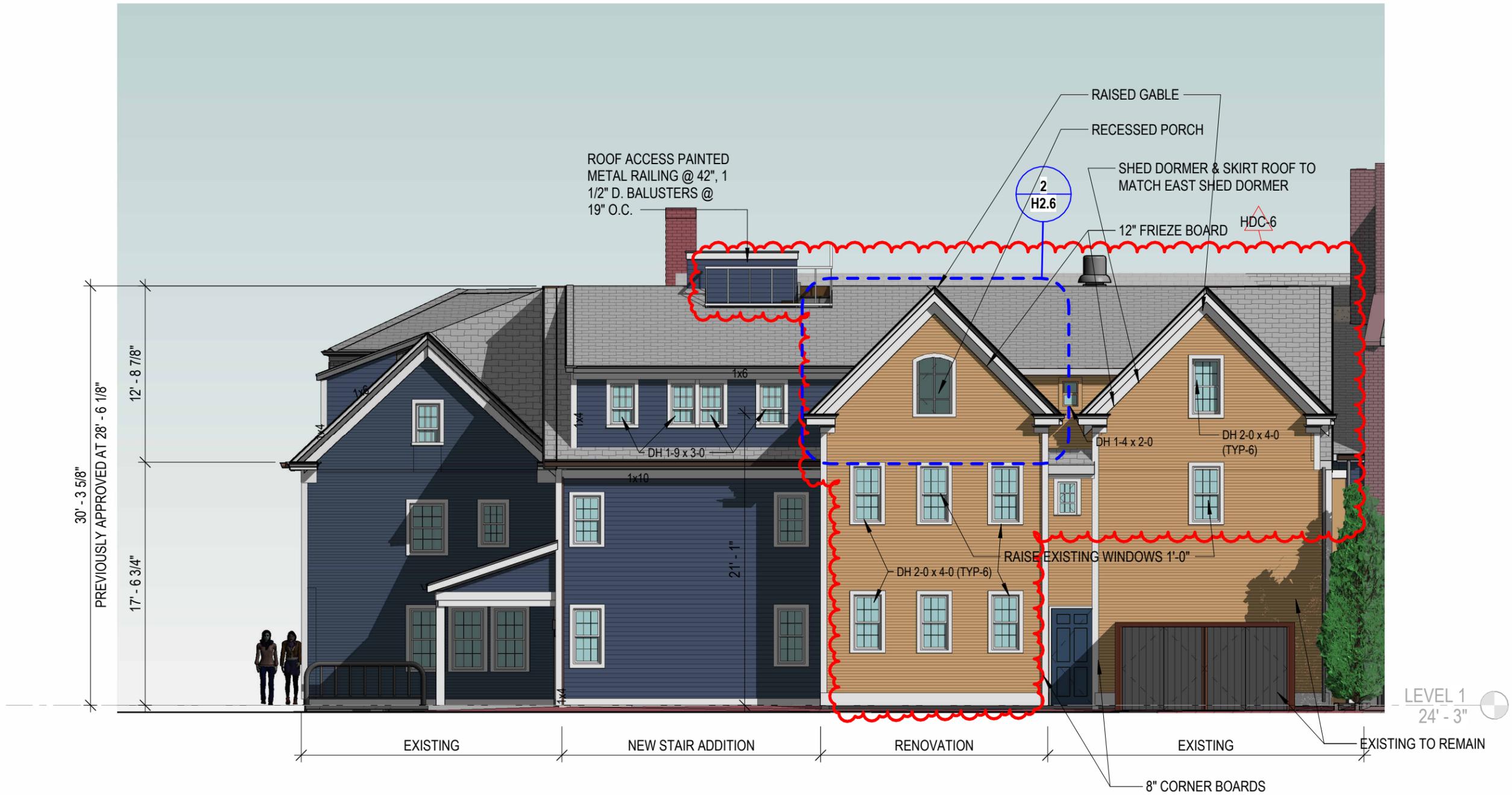
**H2.5 CHAPEL STREET ELEVATION
111 STATE STREET**

SCALE: 1/8" = 1'-0"
07/26/2024



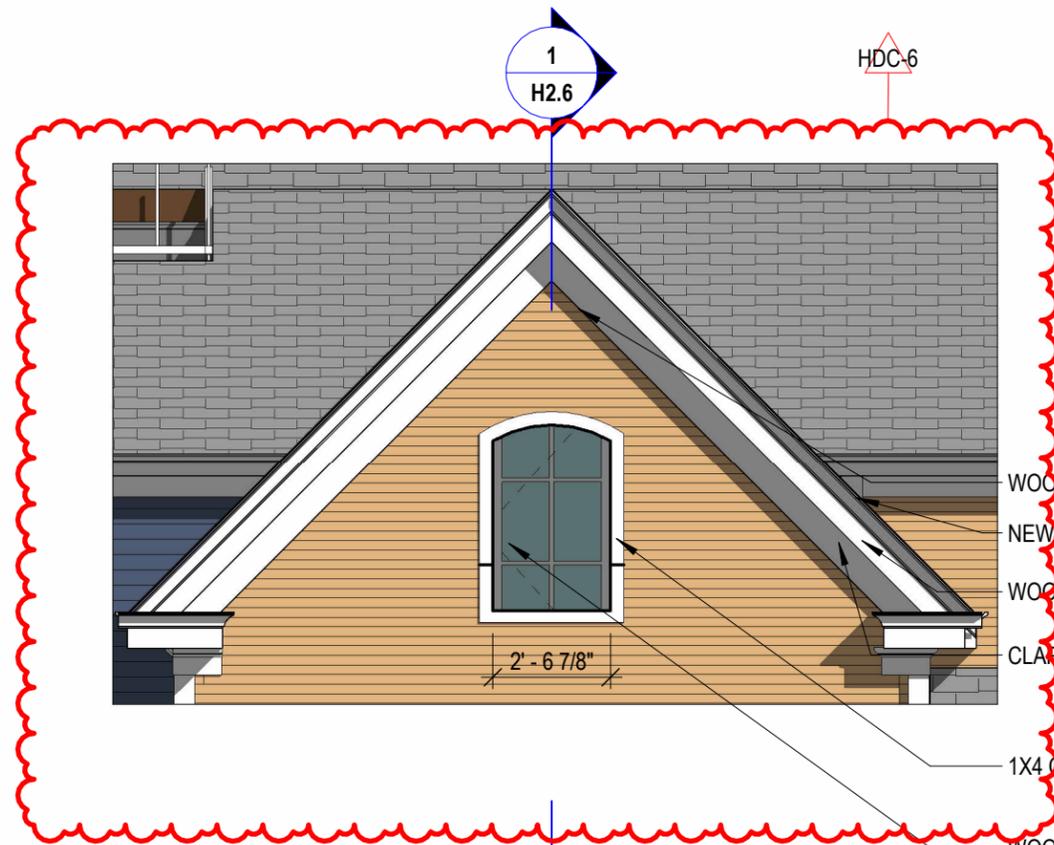
H2.4 SHEAFE STREET ELEVATION - OPTION 1
111 STATE STREET

SCALE: 1/8" = 1'-0"
07/26/2024

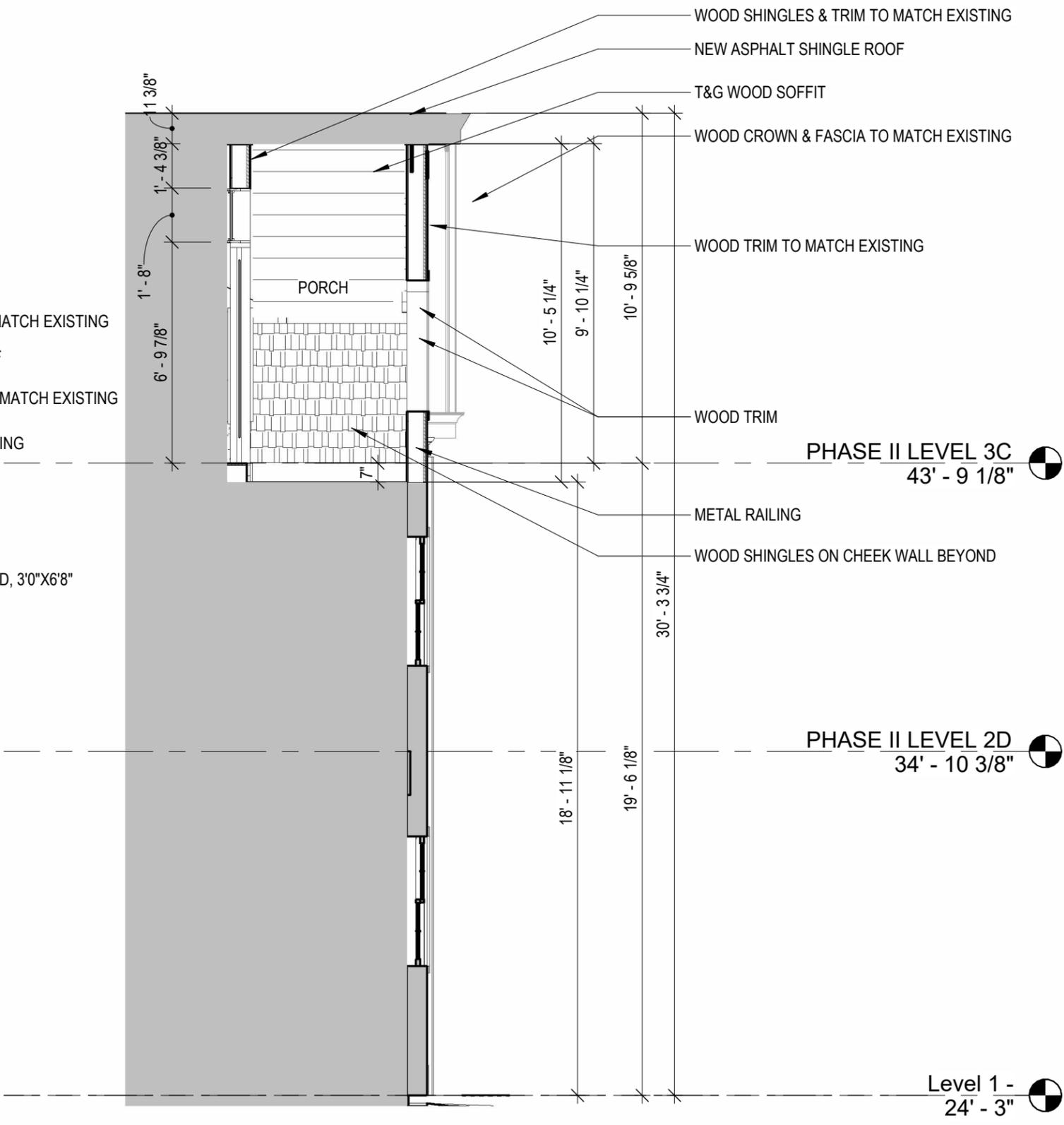


H2.4 SHEAFE STREET ELEVATION - OPTION 2
111 STATE STREET

SCALE: 1/8" = 1'-0"
 07/26/2024



WOOD SHINGLES & TRIM TO MATCH EXISTING
 NEW ASPHALT SHINGLE ROOF
 WOOD CROWN & FASCIA TOP MATCH EXISTING
 CLAPBOARD TO MATCH EXISTING
 1X4 CASING
 WOOD & GLASS DOOR BEYOND, 3'0\"X6'8\"



WOOD SHINGLES & TRIM TO MATCH EXISTING
 NEW ASPHALT SHINGLE ROOF
 T&G WOOD SOFFIT
 WOOD CROWN & FASCIA TO MATCH EXISTING
 WOOD TRIM TO MATCH EXISTING
 WOOD TRIM
 METAL RAILING
 WOOD SHINGLES ON CHEEK WALL BEYOND

PHASE II LEVEL 3C
 43' - 9 1/8"

PHASE II LEVEL 2D
 34' - 10 3/8"

Level 1 -
 24' - 3"

**H2.6 GABLE DETAIL - SHEAFE STREET
 111 STATE STREET**

SCALE: 1/4" = 1'-0"
 07/26/2024

ASI-4





H3.0 VIGNETTE - SHEAFE ST EAST - OPTION 1
111 STATE STREET

SCALE:
07/26/2024



H3.0 VIGNETTE - SHEAFE ST EAST - OPTION 2
111 STATE STREET

SCALE:
07/26/2024



H3.1 VIGNETTE - SHEAFE ST MIDDLE - OPTION 1
111 STATE STREET

SCALE:
07/26/2024



1 SHEAFE MIDDLE HDC REV6.b

H3.1 VIGNETTE - SHEAFE ST MIDDLE - OPTION 2
111 STATE STREET

SCALE:
07/26/2024

ASI-5



H3.2 VIGNETTE - SHEAFE ST WEST - OPTION 1
111 STATE STREET

SCALE:
07/26/2024



ASI-5

H3.2 VIGNETTE - SHEAFE ST WEST - OPTION 2
111 STATE STREET

SCALE:
07/26/2024

Project Address: 142 State Street
Permit Requested: Certificate of Approval
Application: Public Hearing B



A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Mixed Use
- Land Area: 10,295 SF +/-
- Estimated Age of Structure: c.1840
- Building Style: Federal/Greek Revival
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: State Street
- Unique Features: N/A
- Neighborhood Association: Downtown

B. Proposed Work: Remove existing failing slate roofing and replace with asphalt shingles.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Remove and replace the existing slate roof with asphalt roof.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

142 State St. Portsmouth, NH

We are seeking approval to change the roof to asphalt shingles. The building currently has badly damaged slate.

I was able to receive an updated proposal from Exeter Roofing and will provide the cost comparison here:

Architectural Shingles: \$12,480

Grand Manor Architectural Shingles: \$19,500

Synthetic Slate: \$36,400

Authentic Slate: Unavailable from this company

After our last meeting, I walked around the property and realized the back of the building is visible from the street and may be the view Dave Adams was referencing when he mentioned that it was not inconspicuous. However, I don't believe the slate is necessary in this instance as it doesn't seem to enhance the building or make it stand out among its peers, which are both covered with asphalt architectural shingles. Likewise, from the street in front of the building, the shingles are not visible. There are many beautiful buildings downtown that have noteworthy slate roofs, but this is not one of them.

I know it was also a concern that we were losing another slate roof, along with some disbelief about the damage that comes from snow slides from slate. I've attached pictures from about 10 years ago when snow fell from the building across the street. I was home at the time and was able to get a picture when I heard the crash. I'm thankful nobody was underneath when that snow fell and I hate to think of it happening from our roof where we have a busy storefront. I don't have photo documentation from when Basil referenced the snow falling in the past, but I think this shows a clear concern. I also checked with Exeter Roofing and they confirm that synthetic slate acts similarly to natural slate and would have the potential for snow slides.





Project Address: 87 Market Street

Permit Requested: Certificate of Approval

Application: Public Hearing C

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4, Downtown Overlay
- Land Use: Mixed Use
- Land Area: 0 SF +/-
- Estimated Age of Structure: c.1803
- Building Style: Federal
- Number of Stories: 4 facing Market Street and 6 Facing Ceres Street (rear).
- Historical Significance: Focal
- Public View of Proposed Work: Market Street and Ceres Street
- Unique Features: Built along with 75-123 Market Street just after the fire if 1802.
- Neighborhood Association: Downtown



B. Proposed Work: Replace existing windows and Doors with Marvin windows/doors.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replacement windows and doors.



**HISTORIC
SURVEY
RATING
Focal**

D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

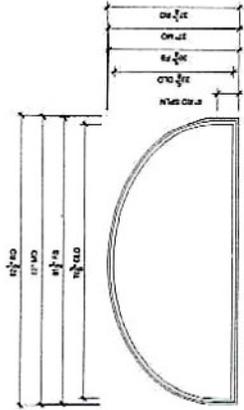
E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

OPTIONAL PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Please ordering the Marvin Window and Door products based upon
 the approved drawings. A copy of these drawings accompanied by an
 approved signature of the purchaser must be returned to the Architect
 or Owner at Marvin's address. Marvin Window and Door products are
 designed to be installed in accordance with the approved drawings.
 Responsibility for providing product coordination with the architect,
 engineer, interior designer, landscape architect and other services to
 the project and ensuring that the products are installed in accordance
 with the approved drawings is the responsibility of the purchaser.

REVISION
 CREATED: 05/07/2024

PROJ: JOB: MARINE COAST BLINDS BISSMACRO ONLY / MARINE COAST BLINDS BISSMACRO ONLY
 DIST: RETAILER: BLINDS BISSMACRO ONLY / HAWAII: YORCO
 DWG: HEATHEN DITZEL
 QUOTE#: RTXWYV
 PK VERSION: 0004 08.01

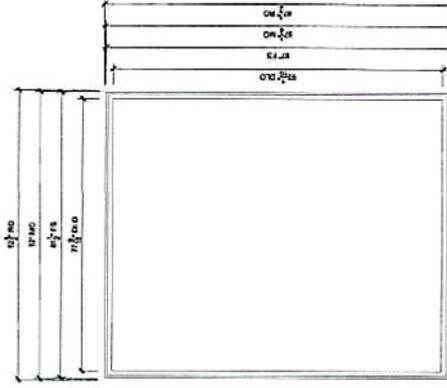


MARKET ST. MACRO FAR RT Lp
 SCALE: 3/4" = 1'-0"

QTY: 4
 UNIT: 4
 MATERIAL: 1 1/2" ALUMINUM
 FINISH: ANODIZED
 GLASS: CLEAR
 HARDWARE: BRASS
 OPERATOR: HAND
 WEIGHT: 11 LB
 HEIGHT: 87 1/2"
 WIDTH: 24 1/2"

SPECIFICATIONS

1. 1 1/2" ALUMINUM
 2. ANODIZED
 3. CLEAR GLASS
 4. BRASS HARDWARE
 5. HAND OPERATOR
 6. 11 LB WEIGHT
 7. 87 1/2" HEIGHT
 8. 24 1/2" WIDTH

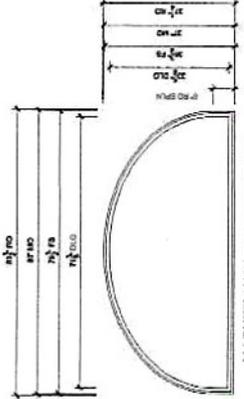


MARKET ST. MACRO FAR RT LWR
 SCALE: 3/4" = 1'-0"

QTY: 4
 UNIT: 4
 MATERIAL: 1 1/2" ALUMINUM
 FINISH: ANODIZED
 GLASS: CLEAR
 HARDWARE: BRASS
 OPERATOR: HAND
 WEIGHT: 11 LB
 HEIGHT: 87 1/2"
 WIDTH: 24 1/2"

SPECIFICATIONS

1. 1 1/2" ALUMINUM
 2. ANODIZED
 3. CLEAR GLASS
 4. BRASS HARDWARE
 5. HAND OPERATOR
 6. 11 LB WEIGHT
 7. 87 1/2" HEIGHT
 8. 24 1/2" WIDTH

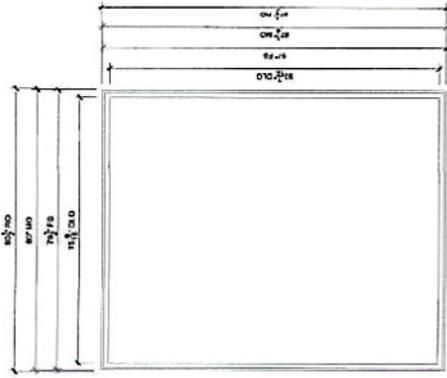


MARKET ST. BLISS LEFT DR UP
 SCALE: 3/4" = 1'-0"

QTY: 4
 UNIT: 4
 MATERIAL: 1 1/2" ALUMINUM
 FINISH: ANODIZED
 GLASS: CLEAR
 HARDWARE: BRASS
 OPERATOR: HAND
 WEIGHT: 11 LB
 HEIGHT: 87 1/2"
 WIDTH: 24 1/2"

SPECIFICATIONS

1. 1 1/2" ALUMINUM
 2. ANODIZED
 3. CLEAR GLASS
 4. BRASS HARDWARE
 5. HAND OPERATOR
 6. 11 LB WEIGHT
 7. 87 1/2" HEIGHT
 8. 24 1/2" WIDTH



MARKET ST. BLISS LEFT DR LWR
 SCALE: 3/4" = 1'-0"

QTY: 4
 UNIT: 4
 MATERIAL: 1 1/2" ALUMINUM
 FINISH: ANODIZED
 GLASS: CLEAR
 HARDWARE: BRASS
 OPERATOR: HAND
 WEIGHT: 11 LB
 HEIGHT: 87 1/2"
 WIDTH: 24 1/2"

SPECIFICATIONS

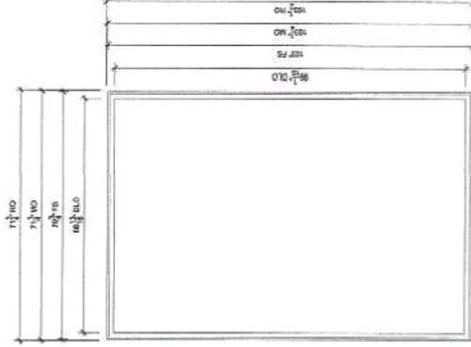
1. 1 1/2" ALUMINUM
 2. ANODIZED
 3. CLEAR GLASS
 4. BRASS HARDWARE
 5. HAND OPERATOR
 6. 11 LB WEIGHT
 7. 87 1/2" HEIGHT
 8. 24 1/2" WIDTH

ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Ordering products with reference to shop drawings is the responsibility of the architect or engineer. Marvin Windows and Doors assumes no responsibility in guaranteeing product compatibility with the drawings.
 If the terms product, brand name or model are used in the drawings, they are intended to identify the product. If the terms product, brand name or model are used in the drawings, they are intended to identify the product. If the terms product, brand name or model are used in the drawings, they are intended to identify the product.

REVISION

PK VERSION: 0004.00A.01
 CREATED: 05/07/2024

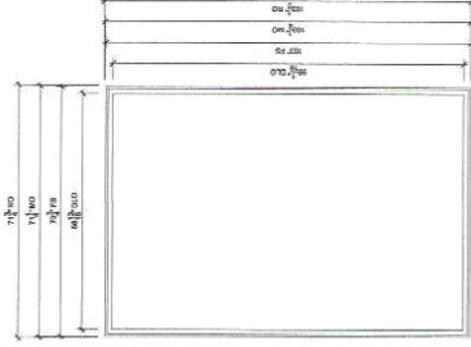
PROJECT: MAINE COAST BLINDS BLISSMACRO ONLY / MAINE COAST BLINDS BLISSMACRO ONLY
 DISTRIBUTOR: ELURIDGE LUMBER & HARDWARE-YORK-00
 DRAWN: HEATHER DITZEL
 QUOTE#: RTXYWY



MACRO ENTRANCE LEFT
 SCALE: 3/4" = 1'-0"

SPECIFICATIONS

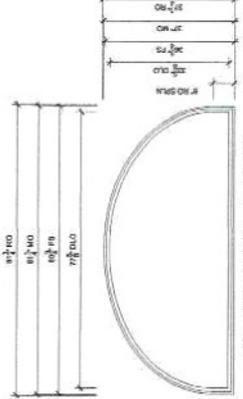
- Line 10
- Product Line: Macro Entrance Left
- Material: White
- Finish: White
- Frame Style: Macro Entrance Left
- Frame Color: White
- Frame Width: 60 1/2"
- Frame Height: 60 1/2"
- Frame Depth: 60 1/2"
- Frame Material: Macro Entrance Left
- Frame Finish: White
- Frame Hardware: Macro Entrance Left
- Frame Operation: Macro Entrance Left
- Frame Weight: Macro Entrance Left
- Frame Dimensions: Macro Entrance Left
- Frame Installation: Macro Entrance Left
- Frame Maintenance: Macro Entrance Left
- Frame Warranty: Macro Entrance Left
- Frame Manufacturer: Macro Entrance Left
- Frame Distributor: Macro Entrance Left
- Frame Retailer: Macro Entrance Left
- Frame Installer: Macro Entrance Left
- Frame Contractor: Macro Entrance Left
- Frame Architect: Macro Entrance Left
- Frame Engineer: Macro Entrance Left
- Frame Designer: Macro Entrance Left
- Frame Manufacturer: Macro Entrance Left
- Frame Distributor: Macro Entrance Left
- Frame Retailer: Macro Entrance Left
- Frame Installer: Macro Entrance Left
- Frame Contractor: Macro Entrance Left
- Frame Architect: Macro Entrance Left
- Frame Engineer: Macro Entrance Left
- Frame Designer: Macro Entrance Left



MACRO ENTRANCE RIGHT
 SCALE: 3/4" = 1'-0"

SPECIFICATIONS

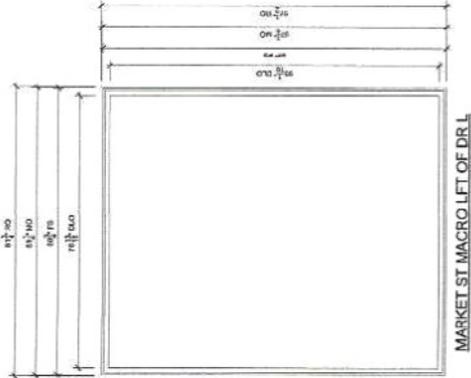
- Line 11
- Product Line: Macro Entrance Right
- Material: White
- Finish: White
- Frame Style: Macro Entrance Right
- Frame Color: White
- Frame Width: 60 1/2"
- Frame Height: 60 1/2"
- Frame Depth: 60 1/2"
- Frame Material: Macro Entrance Right
- Frame Finish: White
- Frame Hardware: Macro Entrance Right
- Frame Operation: Macro Entrance Right
- Frame Weight: Macro Entrance Right
- Frame Dimensions: Macro Entrance Right
- Frame Installation: Macro Entrance Right
- Frame Maintenance: Macro Entrance Right
- Frame Warranty: Macro Entrance Right
- Frame Manufacturer: Macro Entrance Right
- Frame Distributor: Macro Entrance Right
- Frame Retailer: Macro Entrance Right
- Frame Installer: Macro Entrance Right
- Frame Contractor: Macro Entrance Right
- Frame Architect: Macro Entrance Right
- Frame Engineer: Macro Entrance Right
- Frame Designer: Macro Entrance Right



MARKET ST MACRO LEFT DR UP
 SCALE: 3/4" = 1'-0"

SPECIFICATIONS

- Line 10
- Product Line: Market St Macro Left Dr Up
- Material: White
- Finish: White
- Frame Style: Market St Macro Left Dr Up
- Frame Color: White
- Frame Width: 60 1/2"
- Frame Height: 60 1/2"
- Frame Depth: 60 1/2"
- Frame Material: Market St Macro Left Dr Up
- Frame Finish: White
- Frame Hardware: Market St Macro Left Dr Up
- Frame Operation: Market St Macro Left Dr Up
- Frame Weight: Market St Macro Left Dr Up
- Frame Dimensions: Market St Macro Left Dr Up
- Frame Installation: Market St Macro Left Dr Up
- Frame Maintenance: Market St Macro Left Dr Up
- Frame Warranty: Market St Macro Left Dr Up
- Frame Manufacturer: Market St Macro Left Dr Up
- Frame Distributor: Market St Macro Left Dr Up
- Frame Retailer: Market St Macro Left Dr Up
- Frame Installer: Market St Macro Left Dr Up
- Frame Contractor: Market St Macro Left Dr Up
- Frame Architect: Market St Macro Left Dr Up
- Frame Engineer: Market St Macro Left Dr Up
- Frame Designer: Market St Macro Left Dr Up



MARKET ST MACRO LEFT DR L
 SCALE: 3/4" = 1'-0"

SPECIFICATIONS

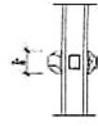
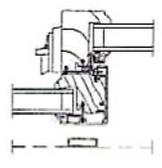
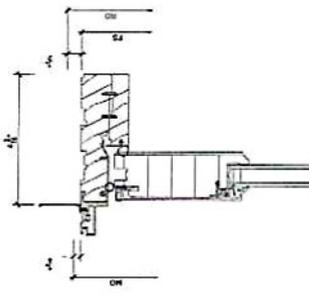
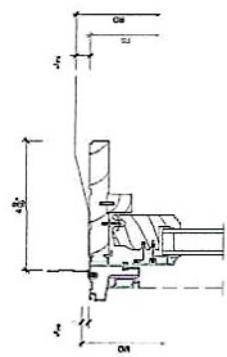
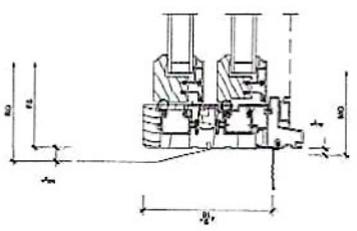
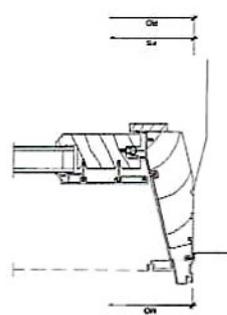
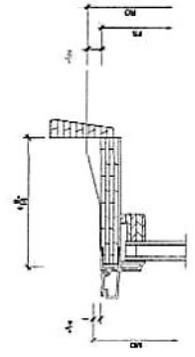
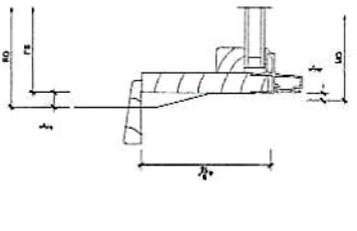
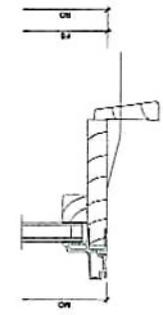
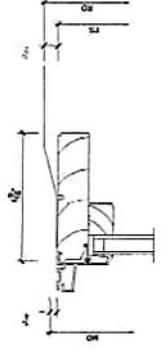
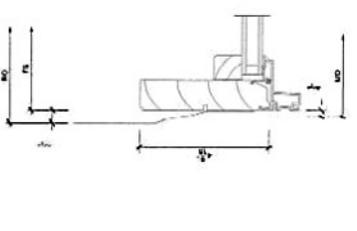
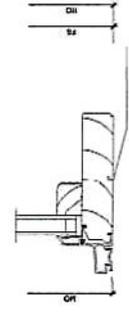
- Line 8
- Product Line: Market St Macro Left Dr L
- Material: White
- Finish: White
- Frame Style: Market St Macro Left Dr L
- Frame Color: White
- Frame Width: 60 1/2"
- Frame Height: 60 1/2"
- Frame Depth: 60 1/2"
- Frame Material: Market St Macro Left Dr L
- Frame Finish: White
- Frame Hardware: Market St Macro Left Dr L
- Frame Operation: Market St Macro Left Dr L
- Frame Weight: Market St Macro Left Dr L
- Frame Dimensions: Market St Macro Left Dr L
- Frame Installation: Market St Macro Left Dr L
- Frame Maintenance: Market St Macro Left Dr L
- Frame Warranty: Market St Macro Left Dr L
- Frame Manufacturer: Market St Macro Left Dr L
- Frame Distributor: Market St Macro Left Dr L
- Frame Retailer: Market St Macro Left Dr L
- Frame Installer: Market St Macro Left Dr L
- Frame Contractor: Market St Macro Left Dr L
- Frame Architect: Market St Macro Left Dr L
- Frame Engineer: Market St Macro Left Dr L
- Frame Designer: Market St Macro Left Dr L

DESIGNING PRODUCTS WITH RESPECT TO ENERGY EFFICIENCY.
 (When ordering the Marvin Window and Door products, please refer to the approved figures of purchase and be related to the approved design drawings, a copy of which is provided to you by email or in hard copy form. Marvin Windows and Door products are designed to meet the energy efficiency requirements of the International Energy Conservation Code (IECC) and the International Residential Code (IRC). Marvin Windows and Door products are designed to meet the energy efficiency requirements of the International Energy Conservation Code (IECC) and the International Residential Code (IRC).)

REVISION: CREATED: 05/07/2024

PK VERSION: 004.09.01

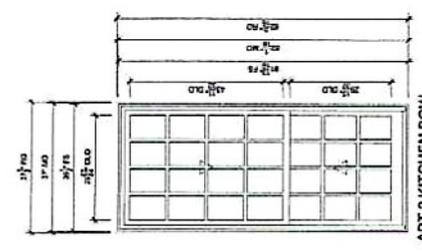
QUOTER: RTXYWYM
 DRAWN: HEATHER DITZEL
 DISTRIBUTOR: ELDERIDGE LUMBER & HARDWARE-ORF-CO

 <p>Divided Lite</p> <p>SCALE: 1/4" = 1'-0"</p>	 <p>Checkrail</p> <p>SCALE: 1/4" = 1'-0"</p>	 <p>Head</p> <p>SCALE: 1/4" = 1'-0"</p>
 <p>Head</p> <p>SCALE: 1/4" = 1'-0"</p>	 <p>Jamb</p> <p>SCALE: 1/4" = 1'-0"</p>	 <p>Sill</p> <p>SCALE: 1/4" = 1'-0"</p>
 <p>Head</p> <p>SCALE: 1/4" = 1'-0"</p>	 <p>Jamb</p> <p>SCALE: 1/4" = 1'-0"</p>	 <p>Sill</p> <p>SCALE: 1/4" = 1'-0"</p>
 <p>Head</p> <p>SCALE: 1/4" = 1'-0"</p>	 <p>Jamb</p> <p>SCALE: 1/4" = 1'-0"</p>	 <p>Sill</p> <p>SCALE: 1/4" = 1'-0"</p>

ORDERING PRODUCTS WITH REFERENCE TO THIS DRAWING. BEFORE ORDERING THE MARVIN BRAND WINDOW AND DOOR PRODUCTS, PLEASE CONTACT THE MARVIN BRAND REPRESENTATIVE IN YOUR AREA TO OBTAIN THE LATEST PRODUCT INFORMATION AND TO VERIFY THE APPLICABILITY OF THIS DRAWING TO YOUR PROJECT. MARVIN BRAND REPRESENTATIVE: 1-800-345-3333. MARVIN BRAND REPRESENTATIVE: 1-800-345-3333. MARVIN BRAND REPRESENTATIVE: 1-800-345-3333.

REVISION: _____
 CREATED: 05/07/2024
 PK VERSION: 0004.00.01
 QUOTE#: DSR7W5

PROJECT: MARINE COAST BLINDS DORPHIN APTS
 DISTRIBUTOR: EASTRIDGE DITZEL
 DRAWING: EASTRIDGE DITZEL

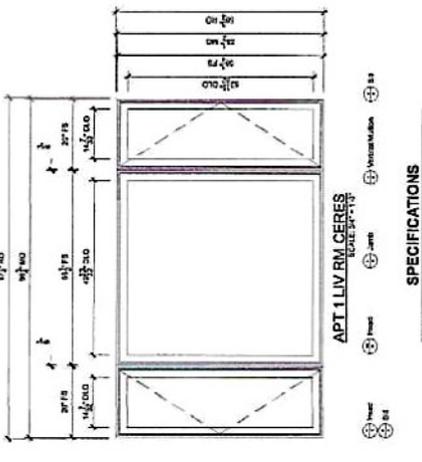


APT 2 KITCHEN BOW
 SCALE: 3/4\"/>

① Head
 ② Jam
 ③ Panel
 ④ Grid
 ⑤ Grid
 ⑥ Grid
 ⑦ Grid
 ⑧ Grid
 ⑨ Grid
 ⑩ Grid
 ⑪ Grid
 ⑫ Grid
 ⑬ Grid
 ⑭ Grid
 ⑮ Grid
 ⑯ Grid
 ⑰ Grid
 ⑱ Grid
 ⑲ Grid
 ⑳ Grid
 ㉑ Grid
 ㉒ Grid
 ㉓ Grid
 ㉔ Grid
 ㉕ Grid
 ㉖ Grid
 ㉗ Grid
 ㉘ Grid
 ㉙ Grid
 ㉚ Grid
 ㉛ Grid
 ㉜ Grid
 ㉝ Grid
 ㉞ Grid
 ㉟ Grid
 ㊱ Grid
 ㊲ Grid
 ㊳ Grid
 ㊴ Grid
 ㊵ Grid
 ㊶ Grid
 ㊷ Grid
 ㊸ Grid
 ㊹ Grid
 ㊺ Grid
 ㊻ Grid
 ㊼ Grid
 ㊽ Grid
 ㊾ Grid
 ㊿ Grid

SPECIFICATIONS

Line 1
 Make Use: APT 2 KITCHEN BOW
 Production: Ultratec
 Panel: 1/2\"/>

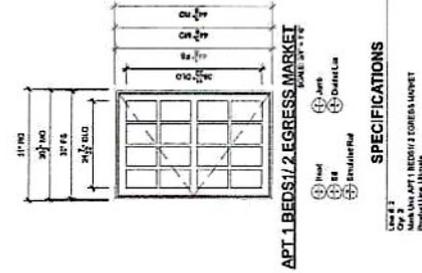


APT 1 LIV RM CERES
 SCALE: 3/4\"/>

① Head
 ② Jam
 ③ Panel
 ④ Panel
 ⑤ Panel
 ⑥ Panel
 ⑦ Panel
 ⑧ Panel
 ⑨ Panel
 ⑩ Panel
 ⑪ Panel
 ⑫ Panel
 ⑬ Panel
 ⑭ Panel
 ⑮ Panel
 ⑯ Panel
 ⑰ Panel
 ⑱ Panel
 ⑲ Panel
 ⑳ Panel
 ㉑ Panel
 ㉒ Panel
 ㉓ Panel
 ㉔ Panel
 ㉕ Panel
 ㉖ Panel
 ㉗ Panel
 ㉘ Panel
 ㉙ Panel
 ㉚ Panel
 ㉛ Panel
 ㉜ Panel
 ㉝ Panel
 ㉞ Panel
 ㉟ Panel
 ㊱ Panel
 ㊲ Panel
 ㊳ Panel
 ㊴ Panel
 ㊵ Panel
 ㊶ Panel
 ㊷ Panel
 ㊸ Panel
 ㊹ Panel
 ㊺ Panel
 ㊻ Panel
 ㊼ Panel
 ㊽ Panel
 ㊾ Panel
 ㊿ Panel

SPECIFICATIONS

Line 2
 Make Use: APT 1 LIV RM CERES
 Production: Ultratec
 Panel: 1/2\"/>

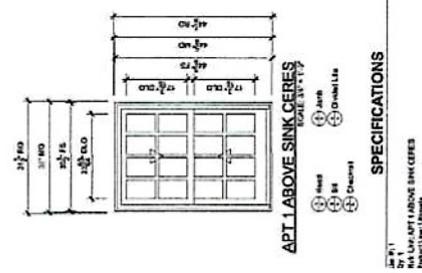


APT 1 BEDS 1/2 EGRESS MARKET
 SCALE: 3/4\"/>

① Head
 ② Jam
 ③ Grid
 ④ Grid
 ⑤ Grid
 ⑥ Grid
 ⑦ Grid
 ⑧ Grid
 ⑨ Grid
 ⑩ Grid
 ⑪ Grid
 ⑫ Grid
 ⑬ Grid
 ⑭ Grid
 ⑮ Grid
 ⑯ Grid
 ⑰ Grid
 ⑱ Grid
 ⑲ Grid
 ⑳ Grid
 ㉑ Grid
 ㉒ Grid
 ㉓ Grid
 ㉔ Grid
 ㉕ Grid
 ㉖ Grid
 ㉗ Grid
 ㉘ Grid
 ㉙ Grid
 ㉚ Grid
 ㉛ Grid
 ㉜ Grid
 ㉝ Grid
 ㉞ Grid
 ㉟ Grid
 ㊱ Grid
 ㊲ Grid
 ㊳ Grid
 ㊴ Grid
 ㊵ Grid
 ㊶ Grid
 ㊷ Grid
 ㊸ Grid
 ㊹ Grid
 ㊺ Grid
 ㊻ Grid
 ㊼ Grid
 ㊽ Grid
 ㊾ Grid
 ㊿ Grid

SPECIFICATIONS

Line 3
 Make Use: APT 1 BEDS 1/2 EGRESS MARKET
 Production: Ultratec
 Panel: 1/2\"/>



APT 1 ABOVE SINK CERES
 SCALE: 3/4\"/>

① Head
 ② Jam
 ③ Grid
 ④ Grid
 ⑤ Grid
 ⑥ Grid
 ⑦ Grid
 ⑧ Grid
 ⑨ Grid
 ⑩ Grid
 ⑪ Grid
 ⑫ Grid
 ⑬ Grid
 ⑭ Grid
 ⑮ Grid
 ⑯ Grid
 ⑰ Grid
 ⑱ Grid
 ⑲ Grid
 ⑳ Grid
 ㉑ Grid
 ㉒ Grid
 ㉓ Grid
 ㉔ Grid
 ㉕ Grid
 ㉖ Grid
 ㉗ Grid
 ㉘ Grid
 ㉙ Grid
 ㉚ Grid
 ㉛ Grid
 ㉜ Grid
 ㉝ Grid
 ㉞ Grid
 ㉟ Grid
 ㊱ Grid
 ㊲ Grid
 ㊳ Grid
 ㊴ Grid
 ㊵ Grid
 ㊶ Grid
 ㊷ Grid
 ㊸ Grid
 ㊹ Grid
 ㊺ Grid
 ㊻ Grid
 ㊼ Grid
 ㊽ Grid
 ㊾ Grid
 ㊿ Grid

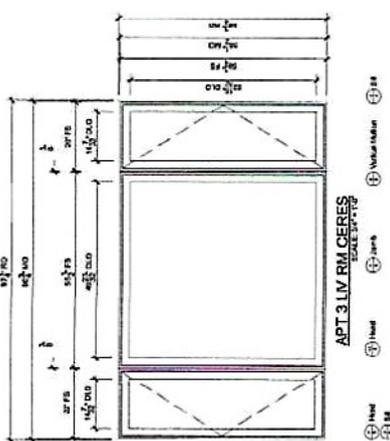
SPECIFICATIONS

Line 4
 Make Use: APT 1 ABOVE SINK CERES
 Production: Ultratec
 Panel: 1/2\"/>

Before ordering the Marvin Window and Door product, please contact your local distributor to verify the availability of the product in your area. The distributor will provide you with the appropriate product literature and contact information for the appropriate Marvin Window and Door distributor. The distributor will also provide you with the appropriate product literature and contact information for the appropriate Marvin Window and Door distributor. The distributor will also provide you with the appropriate product literature and contact information for the appropriate Marvin Window and Door distributor.

REVISIONS
 CREATED: 06/07/2014
 PK VERSION: 0004.00.01

PROVIDER: MAINE COAST BLINDS DOPUNYAN APTS / MAINE COAST BLINDS DOPUNYAN APTS
 DRAWN: I. LEATHER DTZBL
 QUOTED: 05/29/15

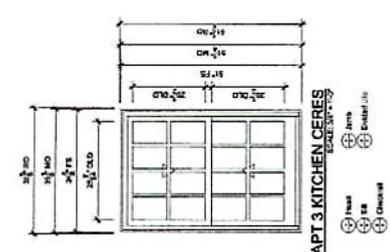


APT 3 LIV RM CERES
 SCALE: 3/4\"/>

Legend: (H) Head, (M) Muntin, (J) Jamb, (C) Check out, (E) Entail, (L) Lock, (U) Under, (D) Depth

SPECIFICATIONS

Line # 15
 MA Linc APT 3 LIV RM CERES
 Product Line: Window
 Product Line: Window
 Rough Opening: 48 1/2\"/>

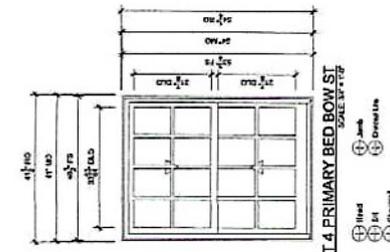


APT 3 KITCHEN CERES
 SCALE: 3/4\"/>

Legend: (H) Head, (M) Muntin, (J) Jamb, (C) Check out, (E) Entail, (L) Lock, (U) Under, (D) Depth

SPECIFICATIONS

Line # 16
 MA Linc APT 3 KITCHEN CERES
 Product Line: Window
 Product Line: Window
 Rough Opening: 36 1/2\"/>

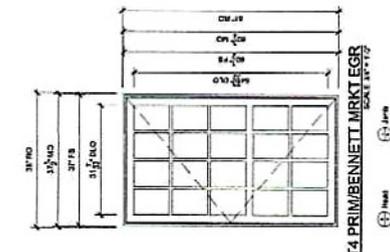


APT 4 PRIMARY BED BOW ST
 SCALE: 3/4\"/>

Legend: (H) Head, (M) Muntin, (J) Jamb, (C) Check out, (E) Entail, (L) Lock, (U) Under, (D) Depth

SPECIFICATIONS

Line # 17
 MA Linc APT 4 PRIMARY BED BOW ST
 Product Line: Window
 Product Line: Window
 Rough Opening: 36 1/2\"/>

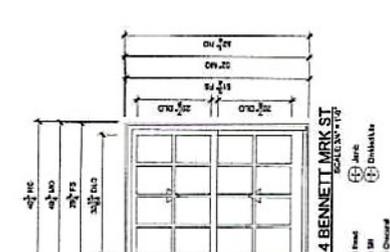


APT 4 PRIMBENNETT MKT LGRS
 SCALE: 3/4\"/>

Legend: (H) Head, (M) Muntin, (J) Jamb, (C) Check out, (E) Entail, (L) Lock, (U) Under, (D) Depth

SPECIFICATIONS

Line # 18
 MA Linc APT 4 PRIMBENNETT MKT LGRS
 Product Line: Window
 Product Line: Window
 Rough Opening: 37 1/2\"/>



APT 4 BENNETT MKT ST
 SCALE: 3/4\"/>

Legend: (H) Head, (M) Muntin, (J) Jamb, (C) Check out, (E) Entail, (L) Lock, (U) Under, (D) Depth

SPECIFICATIONS

Line # 19
 MA Linc APT 4 BENNETT MKT ST
 Product Line: Window
 Product Line: Window
 Rough Opening: 41 1/2\"/>

MA Linc APT 3 LIV RM CERES
 Product Line: Window
 Product Line: Window
 Rough Opening: 48 1/2\"/>

MA Linc APT 3 KITCHEN CERES
 Product Line: Window
 Product Line: Window
 Rough Opening: 36 1/2\"/>

MA Linc APT 4 PRIMARY BED BOW ST
 Product Line: Window
 Product Line: Window
 Rough Opening: 36 1/2\"/>

MA Linc APT 4 PRIMBENNETT MKT LGRS
 Product Line: Window
 Product Line: Window
 Rough Opening: 37 1/2\"/>

MA Linc APT 4 BENNETT MKT ST
 Product Line: Window
 Product Line: Window
 Rough Opening: 41 1/2\"/>

GENERAL PRODUCTS WITH REFERENCE TO SPEC DRAWINGS.
 Before making the Marvin Frames and Casement Windows with
 these drawings, a copy of these drawings must be obtained from the
 Division of Building & Construction, City of New York, Department of
 Design, at the address given below. These drawings are intended for
 use in the construction of Marvin Frames and Casement Windows only.
 No responsibility is assumed by the City of New York for any
 errors or omissions in these drawings.

QUOTE: D67NWS
 DRAWN: HEATHER DITZEL
 PK VERSION: 004 08 01
 CREATED: 05/07/2014
 REVISION:

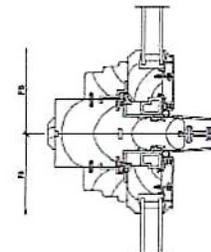
PROJECT: MAINE COAST BLINDS DOPPHIN APTS / MAINE COAST BLDGS DOPPHIN APTS

<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① NOT USED</p> <p>SCALE: 1"=1'-0"</p>	<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① NOT USED</p> <p>SCALE: 1"=1'-0"</p>
<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① NOT USED</p> <p>SCALE: 1"=1'-0"</p>
<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① NOT USED</p> <p>SCALE: 1"=1'-0"</p>
<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① Sill</p> <p>SCALE: 1"=1'-0"</p>	<p>① NOT USED</p> <p>SCALE: 1"=1'-0"</p>

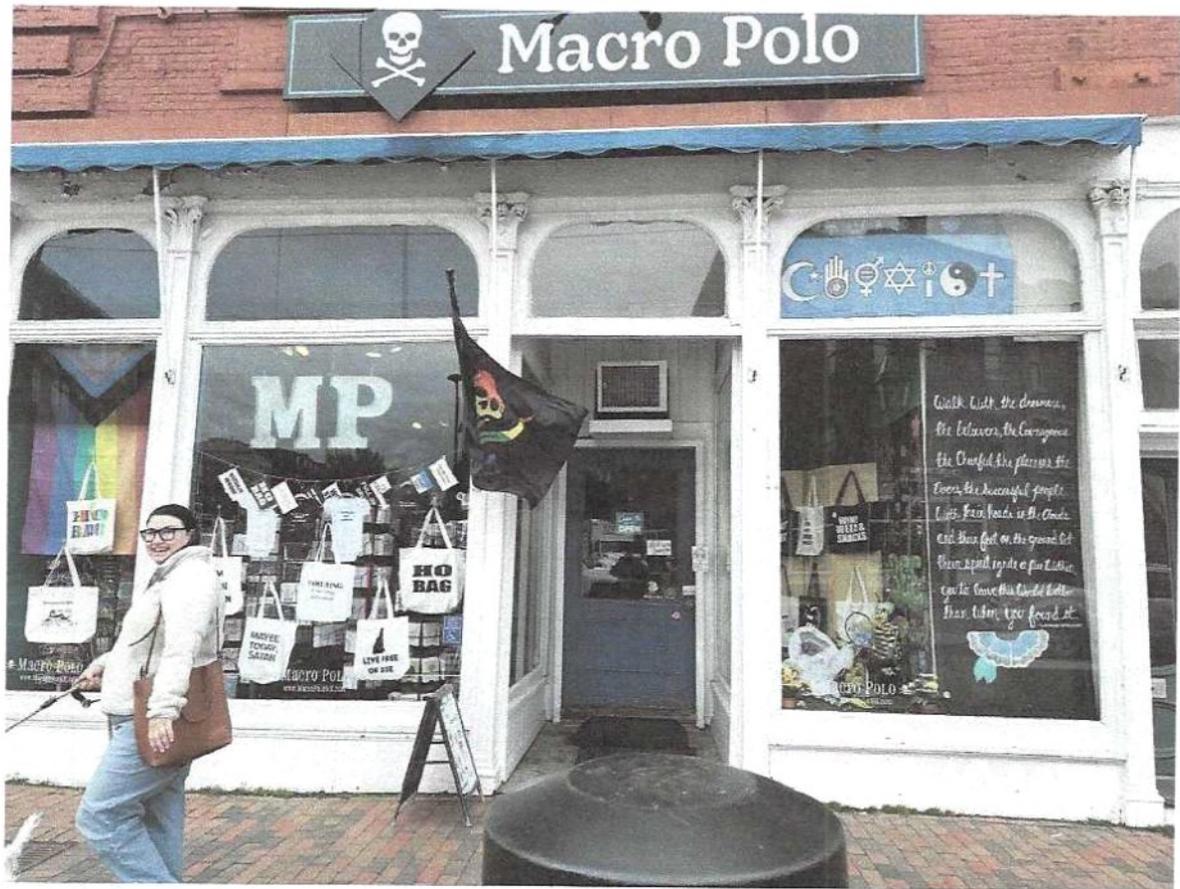
PROJECT: MAINE COAST BLDG DOPHER STRKER RESTAU / MAINE COAST BLDG DOPHER RESTAURANT
 DISTRIALER: ELBRIDGE LUMBER & HARDWARE-YORK-CD
 DRAWN: HEATHER DITZEL
 QUOTE#: 2261952
 PK VERSION: 0004.00.01
 CREATED: 05/07/2024
 REVISION:



ORDERING PROJECTS WITH REFERENCE TO SHOP DRAWINGS
 Before ordering the Marvin Window and Door products, please refer to the
 drawings and specifications of the products that are referred to in the drawings.
 Changes in drawings and specifications are the responsibility of the architect.
 The drawings and specifications are the property of Marvin Windows and Doors and
 are not to be reproduced, copied, or distributed without the written permission
 of Marvin Windows and Doors. All rights reserved. Marvin Windows and Doors
 is not responsible for any errors or omissions in these drawings and specifications.

<p>① NOT USED</p> <p>SCALE: 8" = 1'-0"</p>	<p>② NOT USED</p> <p>SCALE: 8" = 1'-0"</p>	<p>③ NOT USED</p> <p>SCALE: 8" = 1'-0"</p>	<p>④ Vertical Mullion</p> <p>SCALE: 8" = 1'-0"</p> 
<p>① NOT USED</p> <p>SCALE: 8" = 1'-0"</p>	<p>② NOT USED</p> <p>SCALE: 8" = 1'-0"</p>	<p>③ NOT USED</p> <p>SCALE: 8" = 1'-0"</p>	<p>④ NOT USED</p> <p>SCALE: 8" = 1'-0"</p>
<p>① NOT USED</p> <p>SCALE: 8" = 1'-0"</p>	<p>② NOT USED</p> <p>SCALE: 8" = 1'-0"</p>	<p>③ NOT USED</p> <p>SCALE: 8" = 1'-0"</p>	<p>④ NOT USED</p> <p>SCALE: 8" = 1'-0"</p>









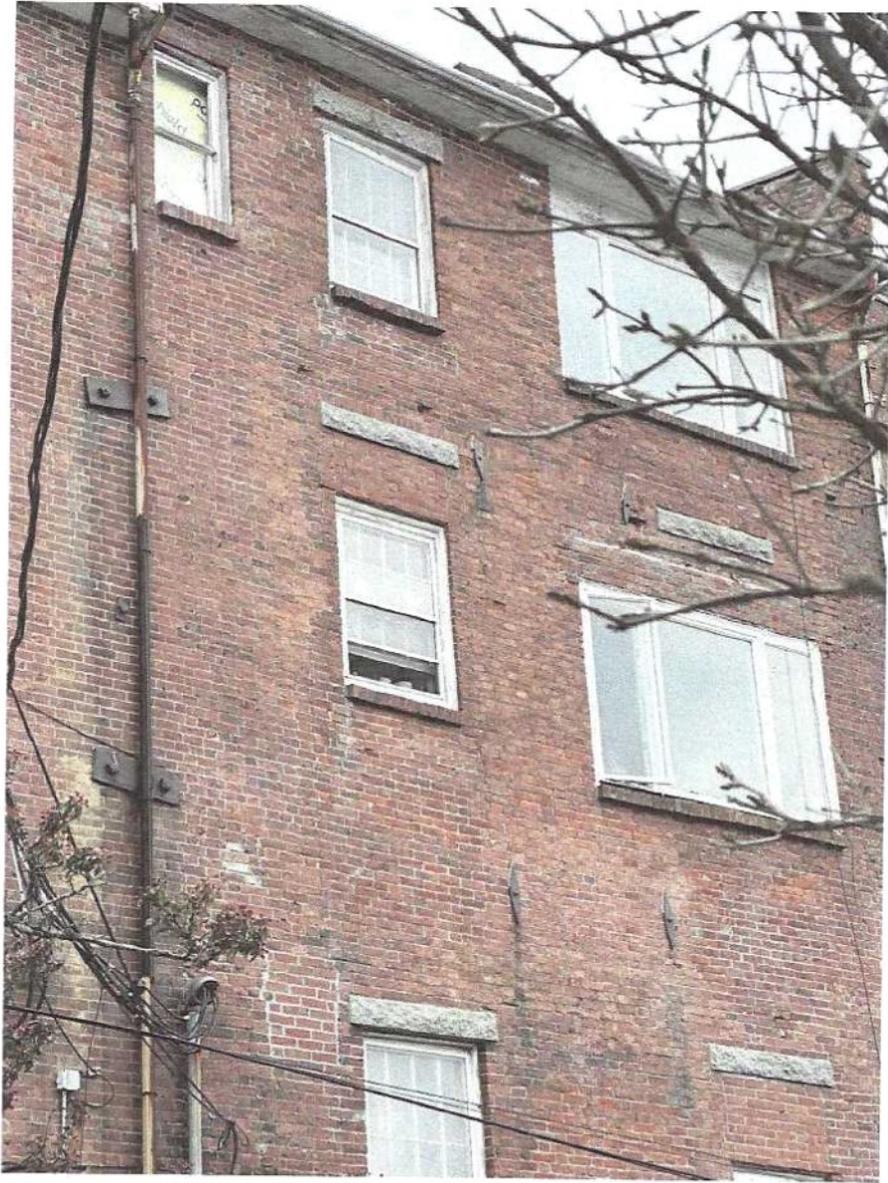


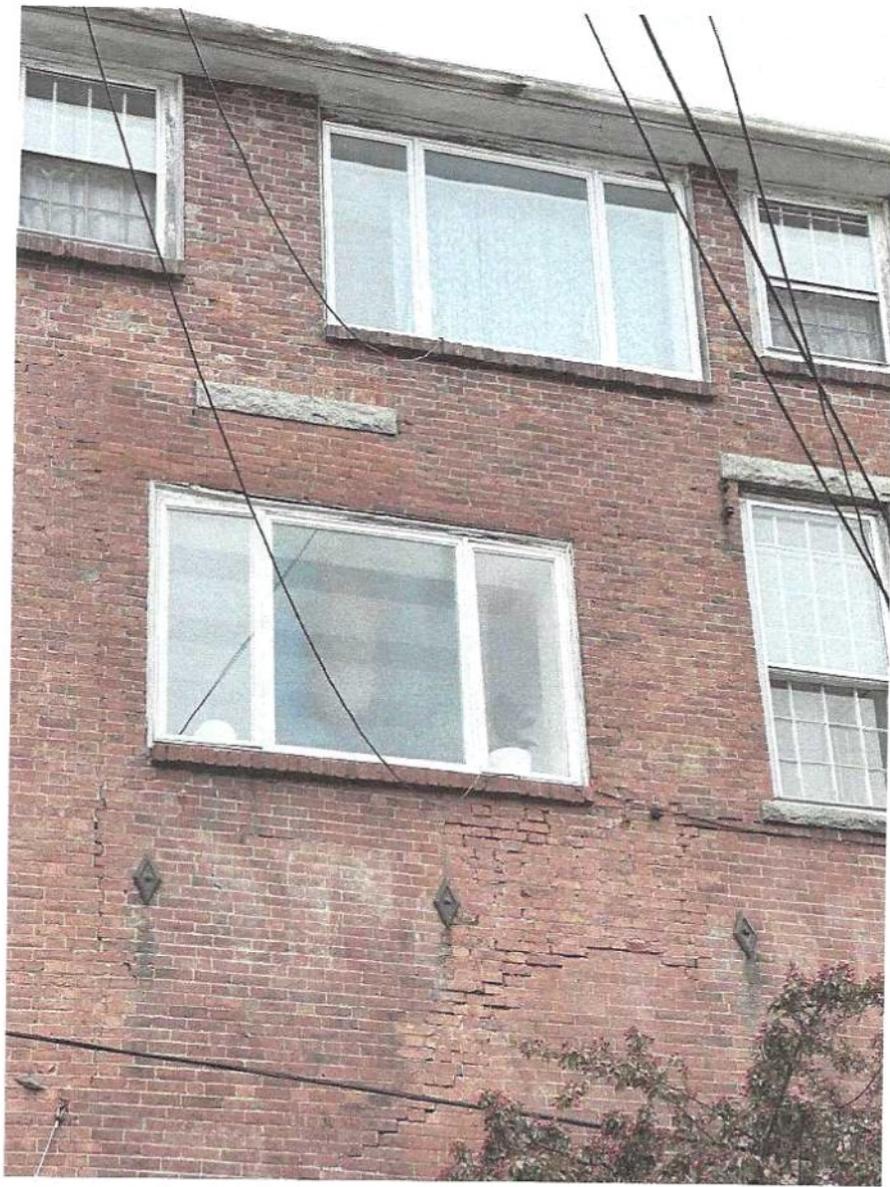












Project Address: 44 Gardner Street

Permit Requested: Certificate of Approval

Application: Public Hearing D



A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Residential
- Land Area: 6,267 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: Queen Anne
- Number of Stories: 2.5
- Historical Significance: C
- Public View of Proposed Work: Gardner Street
- Unique Features: Wraparound one-story full width porch, parapet gable over entry bay, two story polygonal bay on the left side of the façade and a one story hipped roof garage to the rear of the property.
- Neighborhood Association: South End

B. Proposed Work: to replace the existing windows with Marvin Elevate windows, replace the existing siding with Hardie siding, install HVAC equipment and ventilation.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Replacement of windows and siding
- Installation of HVAC equipment and venting.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties

Applicant:

Keith Dockham & Jeff Kisiel
Dockham Builders, Inc
2060 Lafayette Road
Portsmouth, NH 03801

Property:

44 Gardner Street
Portsmouth, NH 03801

Property Owner:

Bernie and Emily Roesler

- I. Letter of Authorization
- II. Scope of work
- III. Window Replacement
- IV. Siding & Exterior Trim
- V. HVAC & Venting

I. Letter of Authorization:

See attached Letter of Authorization.

II. Project Summary:

The proposed scope of work includes:

-Remove the existing wood siding, exterior corner trim, window casing and windows

-Install new windows (III. Window Replacement), new siding (IV. Siding & Exterior Trim)

-Install new HVAC system, kitchen range hood and Bathroom Fans with vents (V. HVAC & Venting)

III. Window Replacement:

Install new Marvin Ultimate Windows on entire house.

See attached schedule and specification sheet for window details.

IV. Siding and Exterior Trim

-Remove existing siding and install new 5 1/4" Hardie Plank Siding with smooth finish and a 4" reveal to match existing. See attached Hardie Specification Sheet for more details.

-Remove existing wood trim (corner boards and window casing) and install new Azek PVC trim to match existing profile. See attached Azek Specification Sheet for more details

-Corner Board: 5/4" x 6"

-Window Casing: 5/4" x 4" legs, 5/4" x 5" Header, 3" Crown AZM-52, Historic Sill AZM-6930

V. HVAC & Venting

-Install two new HVAC systems w/ condenser on north side of property along brick foundation,

-Bosch Thermotechnology, Bosch 2.0 IDS, 3.00 Ton, Heat Pump (2)

-See attached Bosch Specification Sheet for more details























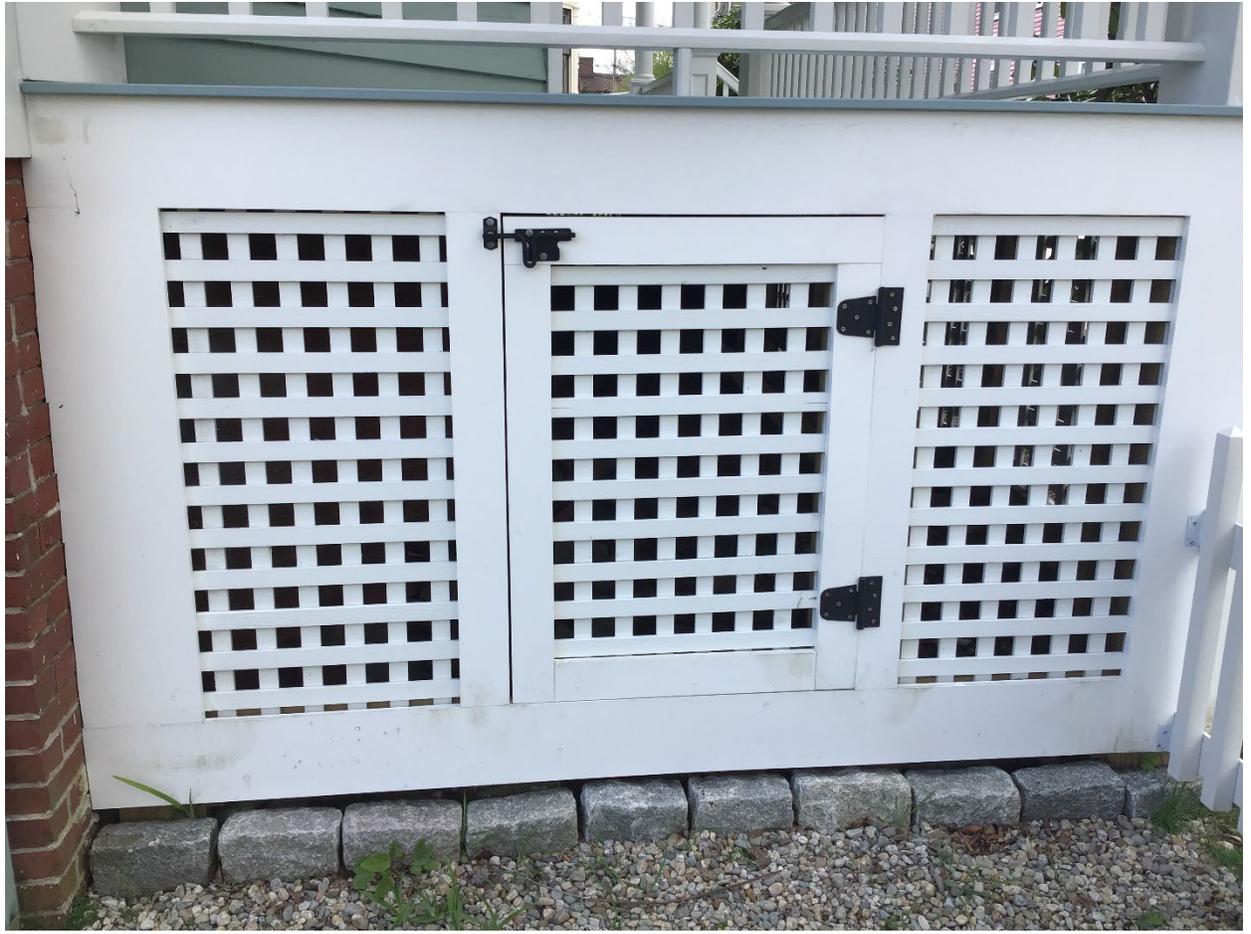






























DOCKHAM 022024 ROESLER

Quote #: R3HN2NG

A Proposal for Window and Door Products prepared for:

Job Site:

03801

Shipping Address:

ELDREDGE LBR & HDWE-PORTSMOUTH
275 Constitution Ave
Portsmouth, NH 03801-8600

Project Description:

44 GARDNER STREET PORTSMOUTH NH

Featuring products from:



SELECTWOOD

The Choice For Building Professionals.

TOM MCELREAVY
ELDREDGE LBR & HDWE-PORTSMOUTH
PO BOX 69
CAPE NEDDICK, ME 03902-0069
Phone: (603) 436-9663

Email: tmcelreavy@eldredgelumber.com

This report was generated on 2/21/2024 9:36:25 AM using the Marvin Order Management System, version 0004.06.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 9

TOTAL UNIT QTY: 33

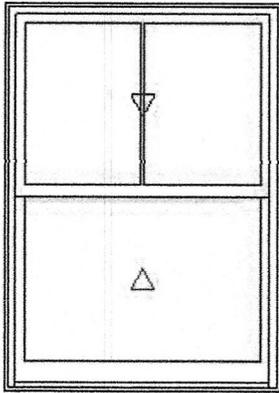
EXT NET PRICE: USD [REDACTED]

LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	KIT/ENTRY	Ultimate	Double Hung G2 RO 47" X 64" Entered as RO 47" X 64"	[REDACTED]	1	[REDACTED]
2	1ST FLR	Ultimate	Double Hung G2 RO 36" X 66" Entered as RO 36" X 66"	[REDACTED]	11	[REDACTED]
3	KITCHEN SINK	Ultimate	Marvin Assembly RO 67 63/64" X 46" Entered as Size by Units	[REDACTED]	1	[REDACTED]
4	1ST FLR BATH	Ultimate	Double Hung G2 RO 33" X 66" Entered as RO 33" X 66"	[REDACTED]	1	[REDACTED]
5	STAIRS /FULL TEMP	Ultimate	Double Hung G2 RO 36" X 62" Entered as RO 36" X 62"	[REDACTED]	1	[REDACTED]
6	2ND FLR	Ultimate	Double Hung G2 RO 36" X 62" Entered as RO 36" X 62"	[REDACTED]	14	[REDACTED]
7	3RD FLR BATH	Ultimate	Double Hung G2 RO 36" X 62" Entered as RO 36" X 62"	[REDACTED]	1	[REDACTED]
8	3RD FLR	Ultimate	Double Hung G2 RO 36" X 58" Entered as RO 36" X 58"	[REDACTED]	2	[REDACTED]
9	PLAYROOM	Ultimate	Double Hung G2 RO 34" X 62" Entered as RO 34" X 62"	[REDACTED]	1	[REDACTED]

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: KIT/ENTRY	Net Price:		
Qty: 1		Ext. Net Price:	USD	



As Viewed From The Exterior

Entered As: RO
 MO 46 1/2" X 63 3/4"
 FS 46" X 63 1/2"
 RO 47" X 64"
Egress Information
 Width: 42 13/32" Height: 26 25/64"
 Net Clear Opening: 7.77 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 47" X 64"
 Standard CN Height 28
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required

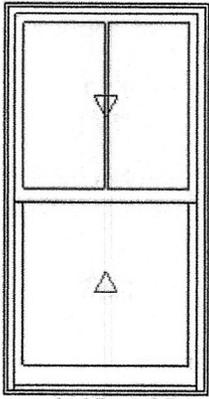
Seller: _____

Buyer: _____

Line #2	Mark Unit: 1ST FLR	Net Price:		
Qty: 11		Ext. Net Price:	USD	



Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 66"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 65 3/4"
 FS 35" X 65 1/2"
 RO 36" X 66"
Egress Information
 Width: 31 13/32" Height: 27 11/16"
 Net Clear Opening: 6.04 SqFt

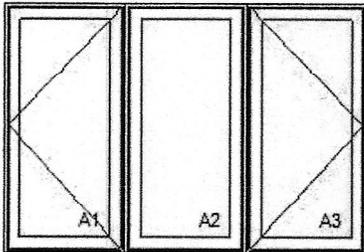
Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Line #3	Mark Unit: KITCHEN SINK	Net Price:	
Qty: 1		Ext. Net Price:	USD



As Viewed From The Exterior

Entered As: Size by Units
 MO 67 31/64" X 45 3/4"
 FS 66 63/64" X 45 1/2"
 RO 67 63/64" X 46"
Egress Information A1, A3
 Width: 15 7/32" Height: 40 25/64"
 Net Clear Opening: 4.27 SqFt
Egress Information A2
 No Egress Information available.

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 3W1H - Rectangle Assembly
 Assembly Rough Opening
 67 63/64" X 46"

Unit: A1
 Ultimate Casement - Left Hand
 Basic Frame 22 21/64" X 45 1/2"
 Rough Opening 23 21/64" X 46"
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 3/4" - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 White Folding Handle
 White Multi - Point Lock
 Stainless Steel Hardware
 Aluminum Screen
 White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose

Unit: A2
 Ultimate Casement - Stationary
 Basic Frame 22 21/64" X 45 1/2"
 Rough Opening 23 21/64" X 46"
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 3/4" - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 Solid Wood Covers

Unit: A3
 Ultimate Casement - Right Hand
 Basic Frame 22 21/64" X 45 1/2"
 Rough Opening 23 21/64" X 46"
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 3/4" - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 White Folding Handle
 White Multi - Point Lock
 Stainless Steel Hardware
 Aluminum Screen
 White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 Standard Mull Charge
 4 9/16" Jamb
 Nailing Fin
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
 ***Note: Unit Availability and Price is Subject to Change

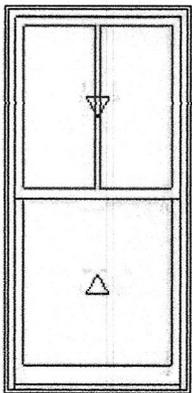
Initials required

Seller: _____

Buyer: _____

Line #4	Mark Unit: 1ST FLR BATH	Net Price:	USD	
Qty: 1		Ext. Net Price:		

MARVIN 



As Viewed From The Exterior

Entered As: RO
 MO 32 1/2" X 65 3/4"
 FS 32" X 65 1/2"
 RO 33" X 66"

Egress Information
 Width: 28 13/32" Height: 27 11/16"
 Net Clear Opening: 5.46 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 33" X 66"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb

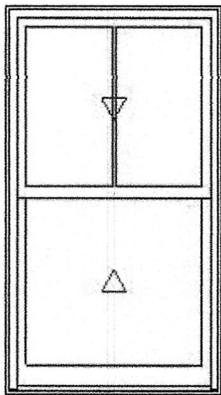
Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Line #5 Qty: 1	Mark Unit: STAIRS /FULL TEMP	Net Price: Ext. Net Price:	USD	
-------------------	------------------------------	-------------------------------	-----	--



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 61 3/4"
 FS 35" X 61 1/2"
 RO 36" X 62"

Egress Information
 Width: 31 13/32" Height: 25 11/16"
 Net Clear Opening: 5.60 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Tempered Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Initials required

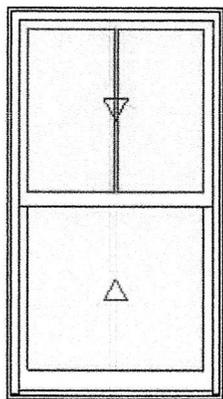
Seller: _____

Buyer: _____

Line #6 Qty: 14	Mark Unit: 2ND FLR	Net Price: Ext. Net Price:	USD	
--------------------	--------------------	-------------------------------	-----	--



Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 61 3/4"
 FS 35" X 61 1/2"
 RO 36" X 62"

Egress Information

Width: 31 13/32" Height: 25 11/16"
 Net Clear Opening: 5.60 SqFt

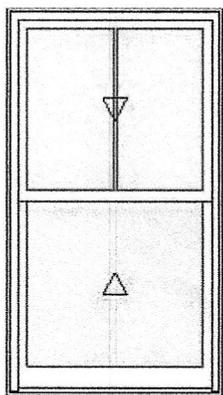
Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Line #7	Mark Unit: 3RD FLR BATH	Net Price:	
Qty: 1		Ext. Net Price:	USD



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 61 3/4"
 FS 35" X 61 1/2"
 RO 36" X 62"

Egress Information

Width: 31 13/32" Height: 25 11/16"
 Net Clear Opening: 5.60 SqFt

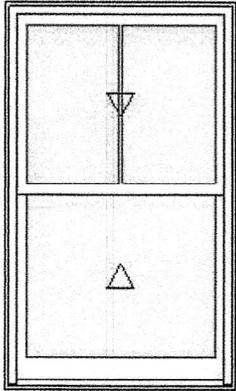
Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Line #8	Mark Unit: 3RD FLR	Net Price:	
Qty: 2		Ext. Net Price:	USD



As Viewed From The Exterior

Entered As: RO
 MO 35 1/2" X 57 3/4"
 FS 35" X 57 1/2"
 RO 36" X 58"
Egress Information
 Width: 31 13/32" Height: 23 11/16"
 Net Clear Opening: 5.17 SqFt

Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 36" X 58"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Black Perimeter Bar
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Initials required

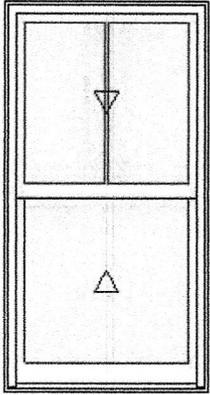
Seller: _____

Buyer: _____

Line #9	Mark Unit: PLAYROOM	Net Price:	
Qty: 1		Ext. Net Price:	USD



Stone White Clad Exterior
 Painted Interior Finish - White - Pine Interior
 Ultimate Double Hung G2
 Rough Opening 34" X 62"
 Top Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W1H
 Stone White Clad Ext - Painted Interior Finish - White - Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Painted Interior Finish - White - Pine Sash Interior
 IG - 1 Lite
 Tempered Low E2 w/Argon



As Viewed From The Exterior

Entered As: RO

MO 33 1/2" X 61 3/4"

FS 33" X 61 1/2"

RO 34" X 62"

Egress Information

Width: 29 13/32" Height: 25 11/16"

Net Clear Opening: 5.25 SqFt

- Black Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weather Strip Package
- White Exterior Weather Strip Package
- White Sash Lock
- White Top Sash Strike Plate Assembly Color
- Extruded Aluminum Screen
- Stone White Surround
- Bright View Mesh
- ***Screen/Combo Ship Loose
- 4 9/16" Jamb
- Nailing Fin
- ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Project Subtotal Net Price: USD

0.000% Sales Tax: USD

Project Total Net Price: USD

██████████

0.00

██████████

TERMS AND CONDITIONS

PRODUCT AND PERFORMANCE INFORMATION

NFRC Ratings:

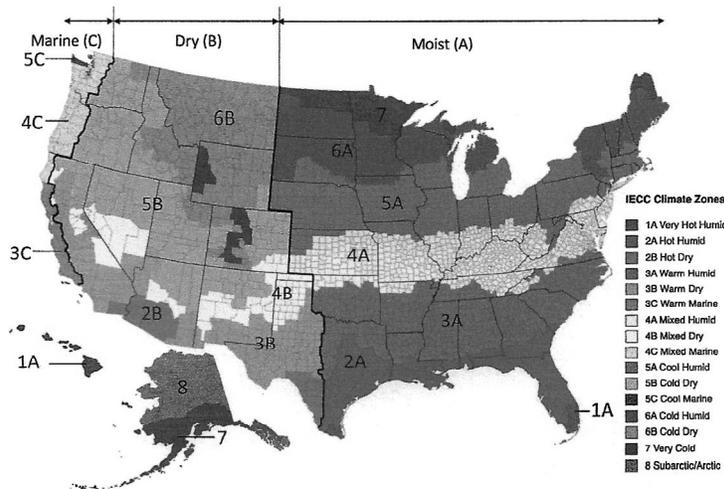
NFRC energy ratings may vary depending on the exact configuration of glass thickness used on the unit. NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements. NFRC values and ratings are finalized on the date of manufacture.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform rating system for the energy performance of fenestration products, including windows, doors and skylights. For additional information regarding this rating system, see www.nfrc.org.

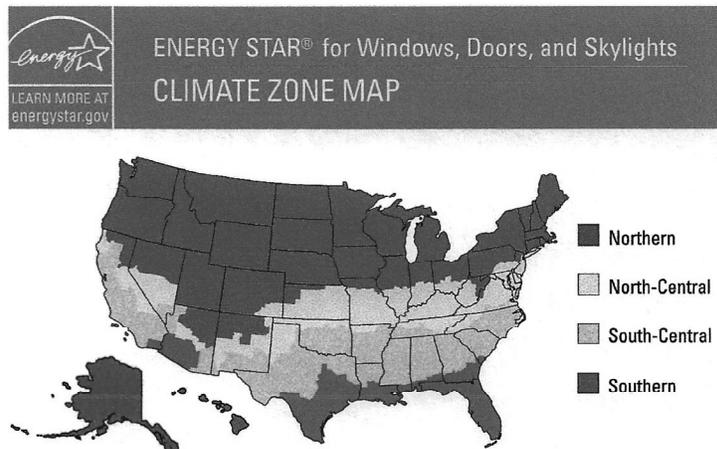
Code (residential, building or energy) Compliance:

Determining the suitability and compliance with state, provincial, local, or other applicable building codes or standards, including energy codes, is the responsibility of the buyer, user, architect, contractor, installer, and/or other construction professional.

2021 IECC Climate Zone Map:



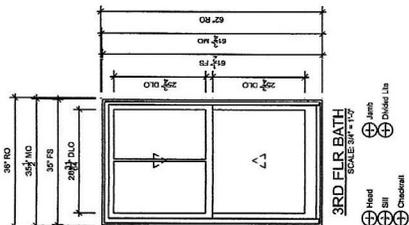
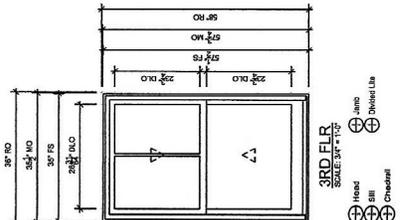
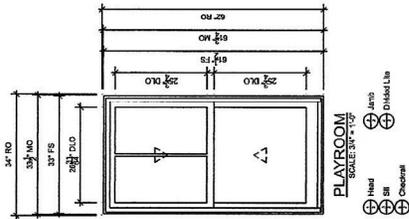
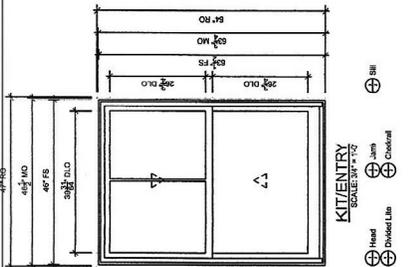
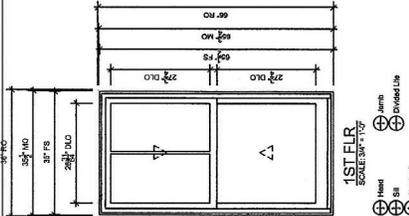
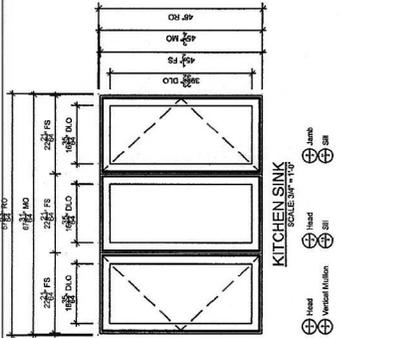
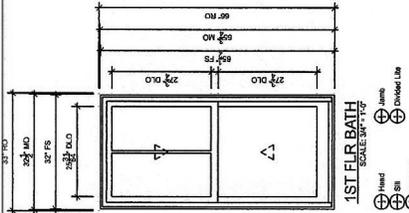
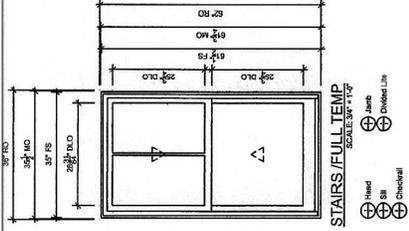
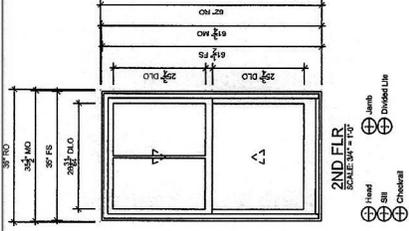
ENERGY STAR Version 7 Climate Zone Map:



FORGING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS.
 Before ordering the Marvin Windows and Door products illustrated herein,
 these drawings, a copy of these drawings accepted by an
 approved signatory of the purchaser must be returned to the Architectural
 Division at Marvin Windows & Doors, P.O. Box 100, Winnetka, Minnesota
 55393. The Marvin products included herein are subject to revision
 to the approved shop drawings. Marvin Windows and Doors assumes no
 responsibility in guaranteeing product conditions with the drawings.

REVISION: CREATED: 02/21/2024 PK VERSION: 0004.00.00 QUOTE#: R3H2NG

PROJ/OB: DOCKHAM 022024 / ROESLER
 DRAWN: TOM MCREARY
 DIST/DEALER: ELDRIDGE LUMBER & HARDWARE-YORK.GO



ORIGINATING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS.
 Before ordering the Marvin Window and Door products illustrated herein,
 check all drawings, a copy of these drawings is acceptable for
 these shop drawings. A copy of these drawings is acceptable for
 the Marvin products and/or window and door units.
 The approved shop drawings, Marvin Windows and Doors assumes no
 responsibility in guaranteeing product coordination with the drawings.

REVISION:
 CREATED: 02/22/2024

PK VERSION: 0004.06.00

QUOTER: R3HNZG
 DRAWN: TOM MCELREAVY

PROJ/JOB: DOCKHAM 022024 / ROESLER
 DISTRIBUTOR: ELDRIDGE LUMBER & HARDWARE-YORK, GO

1 Head SCALE: 1/4" = 1'-0"

2 Divided Lite SCALE: 1/4" = 1'-0"

3 Head SCALE: 1/4" = 1'-0"

4 Head SCALE: 1/4" = 1'-0"

5 Sill SCALE: 1/4" = 1'-0"

6 Jamb SCALE: 1/4" = 1'-0"

7 Jamb SCALE: 1/4" = 1'-0"

8 Checkrail SCALE: 1/4" = 1'-0"

9 Jamb SCALE: 1/4" = 1'-0"

10 Head SCALE: 1/4" = 1'-0"

11 Vertical Mullion SCALE: 1/4" = 1'-0"

12 Sill SCALE: 1/4" = 1'-0"

13 NOT USED SCALE: 1/4" = 1'-0"

Project Address: 278 State Street
Permit Requested: Certificate of Approval
Application: Public Hearing 1

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4 & Downtown Overlay
- Land Use: Mixed
- Land Area: 1,750 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Commercial
- Number of Stories: 4
- Historical Significance: C
- Public View of Proposed Work: State Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: Full demolition of the existing standing structure.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Complete demolition of existing structure.



D. Purpose and Intent:

1. Preserve the integrity of the District
2. Assessment of the Historical Significance
3. Conservation and enhancement of property values
4. Maintain the special character of the District
5. Complement and enhance the architectural and historic character
6. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

1. Consistent with special and defining character of surrounding properties
2. Compatibility of design with surrounding properties
3. Relation to historic and architectural value of existing structures
4. Compatibility of innovative technologies with surrounding properties



Bosen & Associates
ATTORNEYS AT LAW

John K. Bosen
Admitted in NH & MA

Christopher P. Mulligan
Admitted in NH & ME

Molly C. Ferrara
Admitted in NH & ME

Austin Mikolaities
Admitted in NH

Bernard W. Pelech
1949 - 2021

July 18, 2024

VIA VIEWPOINT and HAND DELIVERY

Reagan Ruedig, Chair
Historic District Commission
1 Junkins Avenue
Portsmouth, NH 03801

***Re: 278 State Street
Tax Map 107, Lot 80
REQUEST FOR CERTIFICATE OF APPROVAL***

Dear Ms. Ruedig:

This office represents PNF Realty Trust of 2013, the owner of the above-referenced property. I enclose the report and findings of Emanuel Engineering dated July 12, 2024. On the basis of the foregoing, we are respectfully requesting permission to demolish the remaining structure at 278 State Street. There is no feasible design that will preserve the remaining structure that will be consistent with and further the purposes and objectives of the Historic District. We have concurrently requested a Work Session to discuss the redevelopment of this property in conjunction with 266 and 270 State Street and 84 Pleasant Street.

Thank you for your attention and we look forward to working with the Commission on this project.

Sincerely,

Christopher P. Mulligan
Christopher P. Mulligan

CPM/
Encls.

cc: Peter Floros (w/ encls.)
Michael Keane (w/ encls.)



July 12, 2024

Mr. Peter Floros
PNF Trust 2013
282 Middle Street
Portsmouth, NH 03801

Re: Fire Damaged Building
276 & 278 State Street
Portsmouth, NH

Dear Mr. Floros,

At your request I am responding to a letter dated June 20, 2024 from the City of Portsmouth's Chief Building Inspector Shanti Wolph and addressed to your attorney John Kuzinevich. The letter demands a report seeking a short-term solution designed to protect the public safety while your land use application is in the approval process. It is my understanding that certain variances have lapsed and there are no pending applications.

The writer has visited the site several times and it is his opinion that there is no temporary fix to guarantee public safety.

The basis of this conclusion relies on existing condition observations, such as fire damage; environmental damage – snow, wind, rain; age of the structure; and past renovations that compromised the structure.

The biggest fear to the writer is a potential progressive collapse of the structure regardless of any short-term repairs that may or may not have been implemented.

The writer's reasons for advocating complete demolition include the following:

For Exterior Masonry Walls

- Collapsed masonry
- Loosened masonry
- Cracked granite lintels and sills
- Deteriorated mortar joints
- Masonry step cracks (vertical/diagonal) between the floor levels
- Deteriorated and failed foundation walls

civil & structural consultants, land planners

- Previous masonry modifications to walls

For Wood Members – Roof, Roof Trusses, Floor, & Interior Walls

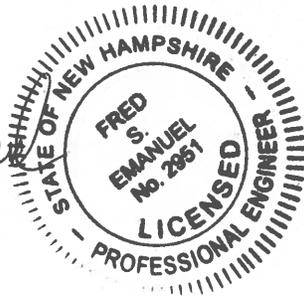
- Burned members
- Wet & rotten members
- Sagging floors
- Damaged members
- Compromised members from past renovations
- Retrofitting of wood and masonry
- Unknown condition of embedded wood members & roof truss rods

Given the above conditions, the writer concludes that the structure is unsafe, has the potential of a progressive collapse, and needs to be demolished immediately. Should you require more information or assistance, please do not hesitate to contact me.

Very truly yours,

Fred Emanuel

Fred Emanuel, P.E.



Project Address: 266-278 State Street

Permit Requested: Work Session

Application: Work Session 1

A. Property Information - General:

Existing Conditions:

- Zoning District: Character District 4 & Downtown Overlay
- Land Use: Mixed
- Land Area: 1,750 SF +/-
- Estimated Age of Structure: c.1870's-1900
- Building Style: Italianate/Commercial
- Number of Stories: 3-4
- Historical Significance: C
- Public View of Proposed Work: State Street & Downtown
- Unique Features: N/A
- Neighborhood Association: Downtown



B. Proposed Work: Construction of a new 4-story building.

C. Staff Comments and/ or Suggestions for Consideration:

The project proposal includes the following:

- Construct a new 4-story building.



D. Purpose and Intent:

7. Preserve the integrity of the District
8. Assessment of the Historical Significance
9. Conservation and enhancement of property values
10. Maintain the special character of the District
11. Complement and enhance the architectural and historic character
12. Promote the education, pleasure and welfare of the District and the city residents and visitors

E. Review Criteria/Findings of Fact:

5. Consistent with special and defining character of surrounding properties
6. Compatibility of design with surrounding properties
7. Relation to historic and architectural value of existing structures
8. Compatibility of innovative technologies with surrounding properties



Bosen & Associates
ATTORNEYS AT LAW

John K. Bosen
Admitted in NH & MA

Christopher P. Mulligan
Admitted in NH & ME

Molly C. Ferrara
Admitted in NH & ME

Austin Mikolaities
Admitted in NH

Bernard W. Pelech
1949 - 2021

July 18, 2024

VIA VIEWPOINT and HAND DELIVERY

Reagan Ruedig, Chair
Historic District Commission
1 Junkins Avenue
Portsmouth, NH 03801

***Re: 266, 270, 278 State Street & 84 Pleasant Street
Tax Map 107, Lots 77 – 80
REQUEST FOR WORK SESSION***

Dear Ms. Ruedig:

This office represents PNF Realty Trust of 2013, the owner of the above-referenced property. I enclose a conceptual design proposal for the redevelopment of the property with all new construction. Please accept this correspondence as our request for a work session pursuant to Section 10.635.20 of the zoning ordinance to review and discuss this proposal with the Commission at its August 7, 2024 meeting. To the extent it is applicable, we hereby request a waiver from the requirements of Section 10.634.23.

Thank you for your attention and we look forward to working with the Commission on this project.

Sincerely,

Christopher P. Mulligan
Christopher P. Mulligan

CPM/
Encls.

cc: Peter Floros (w/ encls.)
Michael Keane (w/ encls.)

