

David Sinclair & Nicole Giusto  
765 Middle Street  
Portsmouth, NH 03801

March 25, 2024

City of Portsmouth Planning Department  
1 Junkins Ave  
Portsmouth, NH 03801

RE: Historic District Approval Extension

Dear Chairman Ruedig:

Historic District approval for 765 Middle Street garage & dwelling were approved on May 3<sup>rd</sup>, 2023 by the Historic District Commission.

Site Plan approval was granted on May 18<sup>th</sup>, 2023 with the following conditions:

*2.2) A licensed utility engineer will determine the appropriate sizing for the fire service and domestic water lines.*

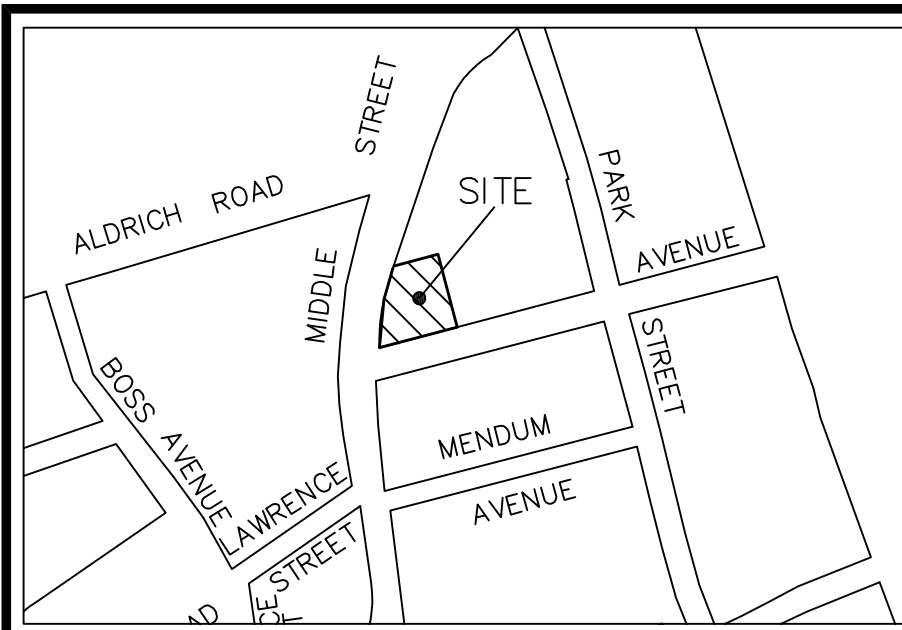
We formally request a 1 year extension to fulfill the conditions. Although permitting process is underway and domestic line sizing has been determined, the fire suppression sizing is backlogged. Additionally, it was discovered by Unitil that Lincoln Avenue lacks sufficient pressure to add an additional gas line. They propose trenching a main from Middle St which is currently under review by their construction department.

Although it's possible we may have the information needed within 5 weeks, we'd prefer to play it safe asking for the extension as the permitting approval process is still ongoing.

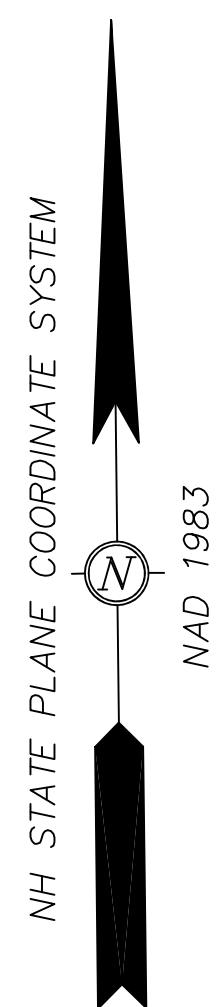
Respectfully,



David Sinclair & Nicole Giusto  
765 Middle St  
720-244-2095



**LOCUS**  
(N.T.S.)



**RIM AND INVERT DATA**

CB #1026 RIM = 22.71	SMH #5714 RIM = 21.55
(1) INV (6"HDPE)=18.51±	(1) INV (18"PVC)=14.05
(2) INV (6"PVC)=19.52	(2) INV (18"PVC)=13.93
(3) (WATER LEVEL)=18.41	
CB #1008 RIM = 28.82	SMH #5715 RIM = 29.00
(1) INV (12"PVC)=25.17	(1) INV CL=17.52
	(2) INV (15"PVC)=17.89
DMH #1010 RIM = 28.82	
INACCESSIBLE(LATCHED)	
CB #1030 RIM = 21.72	
(1) INV (6"HDPE)=18.92	
(2) INV (12"HDPE)=18.42	
(3) INV (12"HDPE)=18.32(WATER LEVEL)	

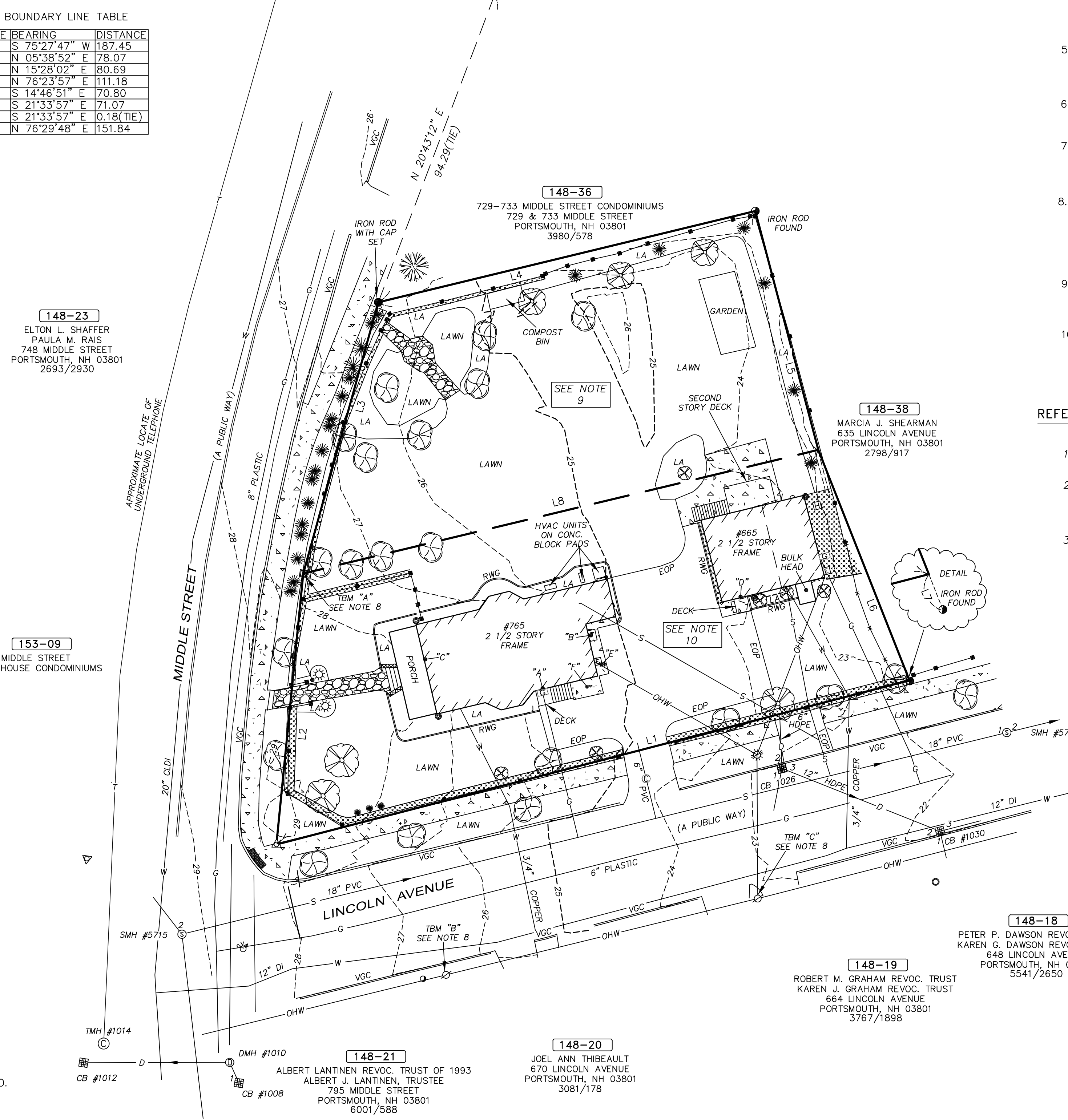
**MISC. ELEVATION TABLE**

LOCATION	DESCRIPTION	ELEVATION
"A"	WOOD THRESHOLD	31.31
"B"	TOP CONCRETE	24.68
"C"	WOOD THRESHOLD	31.30
"D"	WOOD THRESHOLD	26.37
"E"	TOP CONCRETE	25.42
"F"	TOP CONCRETE	25.84

**BOUNDARY LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 75°27'47" W	187.45
L2	N 05°38'52" E	78.07
L3	N 15°28'02" E	80.69
L4	N 76°23'57" E	111.18
L5	S 14°46'51" E	70.80
L6	S 21°33'57" E	71.07
L7	S 21°33'57" E	0.18(TIE)
L8	N 76°29'48" E	151.84

- LEGEND:**
- GRANITE BOUND FOUND
  - IRON ROD (AS NOTED)
  - △ SURVEY NAIL SET
  - × WOVEN VINYL FENCE
  - WOOD FENCE
  - CEMENT CONCRETE PAD
  - CRUSHED STONE
  - FLAG STONE
  - STONE RETAINING WALL
  - UTILITY POLE
  - ⊕ UTILITY POLE W/TRANSFORMER
  - GUY
  - OHW- OVERHEAD WIRES
  - OHE- OVERHEAD ELECTRIC
  - OHC- OVERHEAD COMMUNICATION WIRES
  - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
  - 137-01 TAX SHEET / LOT NO.
  - EOP EDGE OF PAVEMENT
  - LA LANDSCAPED AREA
  - CATCH BASIN
  - DRAIN MANHOLE
  - ROOF DOWNSPOUT
  - SEWER CLEAN OUT
  - SEWER MANHOLE
  - SEWER CLEAN OUT
  - W- WATER LINE
  - S- SEWER LINE
  - D- DRAIN LINE
  - G- GAS LINE
  - WATER GATE VALVE
  - WATER SHUT OFF VALVE
  - HYDRANT
  - VGC VERTICAL FACED GRANITE CURB
  - GRANITE COBBLESTONE BORDER WALL
  - PSNH PUBLIC SERVICE CO. OF NH
  - EVS EVERSOURCE
  - PP/PL PLASTIC GAS LINE
  - GAS METER
  - NETT NEW ENGLAND TELEPHONE AND TELEGRAPH CO.
  - PSNH PUBLIC SERVICE CO. OF NH
  - ELECTRIC METER

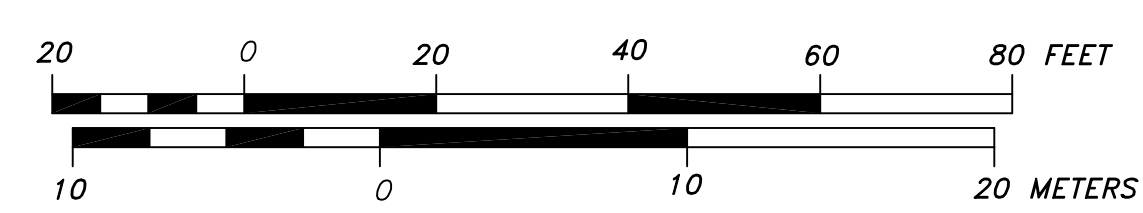
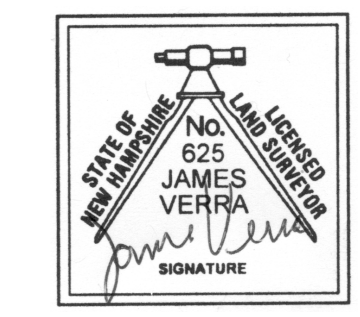


**NOTES:**

- OWNER OF RECORD.....DAVID A. SINCLAIR & NICOLE J. GIUSTO  
ADDRESS.....765 MIDDLE STREET, PORTSMOUTH, NH 03801  
DEED REFERENCE.....5543/442  
TAX SHEET / LOT.....148-37
- ZONED.....GENERAL RESIDENCE A  
MINIMUM LOT AREA...7,500 S.F. FRONT YARD SETBACK.....15'  
FRONTAGE.....100' SIDE YARD SETBACK.....10'  
PARCEL AREA.....21,504 S.F. 0.49 ACRES REAR YARD SETBACK.....20'  
HISTORIC OVERLAY DISTRICT
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT.  
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ROBE"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC..
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0259E, EFFECTIVE DATE MAY 17, 2005 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- DESCRIPTIONS OF THE SITE BENCHMARKS:  
TBM "A": MARKED SE CORNER GRANITE BOUND ELEVATION=27.83  
TBM "B": SURVEY NAIL FOUND IN UTILITY POLE #PSNH 84/28 0.20' ABOVE GRADE ELEV.=27.63  
TBM "C": SURVEY NAIL SET IN UTILITY POLE #NETT 5 1.0' ABOVE GRADE ELEV.=24.52
- THIS PARCEL IS SHOWN AS LOT PLAN 40, LOT 7 ON THE PORTSMOUTH TAX MAPS PREPARED BY JOHN W. DURGIN PRIOR TO 1979 & AS RCRD BK. 5543, PG. 442, PARCEL 2.
- THIS PARCEL IS SHOWN AS LOT PLAN 40, LOT 1 ON THE PORTSMOUTH TAX MAPS PREPARED BY JOHN W. DURGIN PRIOR TO 1979 & AS RCRD BK. 5543, PG. 442, PARCEL 1.

**REFERENCE PLANS:**

- SUBDIVISION OF LAND, PORTSMOUTH, NH. FOR EDWARD H. & EMMA L. PATERSON DATED MAY 1982 RCRD PLAN #C-11243
- CONDOMINIUM SITE PLAN, 729-733 MIDDLE STREET CONDOMINIUM FOR PROPERTY AT 729&733 MIDDLE STREET, PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE OWNED BY SHAWN O. GORMAN & CARIANN M. GOODRICH-GORMAN DATED 12/17/02 RCRD PLAN #D-30540
- CONDOMINIUM SITE PLAN FOR 605 LINCOLN AVENUE, A CONDOMINIUM, MARK MCNALLY DECLARANT, TAX MAP 148, LOT 41, PORTSMOUTH, NH DATED 11-8-2008 RCRD PLAN #D-35685.



**ALTUS**  
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com

**James Verra & Associates, Inc.**  
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8  
NEWINGTON, N.H. 03801-7876  
603-436-3557

JOB NO: 23826

ISSUED FOR: CLIENT REVIEW

ISSUE DATE: 3-2-2020

**REVISIONS**

NO.	DESCRIPTION	BY	DATE

DRAWN BY: GTD

APPROVED BY: JV

DRAWING FILE: 23826.DWG

**SCALE:**

22" x 34" - 1" = 20'

11" x 17" - 1" = 40'

**APPLICANT:**

DAVID A. SINCLAIR  
NICOLE J. GIUSTO  
765 MIDDLE STREET  
PORTSMOUTH, NH 03801

**OWNER:**

DAVID A. SINCLAIR &  
NICOLE J. GIUSTO  
765 MIDDLE STREET  
PORTSMOUTH, NH 03801

**PROJECT:**

EXISTING CONDITIONS  
PLAN  
TAX MAP 148,  
LOT 37  
765 MIDDLE STREET  
PORTSMOUTH, NH

**TITLE:**

EXISTING  
CONDITIONS PLAN  
765 MIDDLE STREET  
PORTSMOUTH, NH

**SHEET NUMBER:**

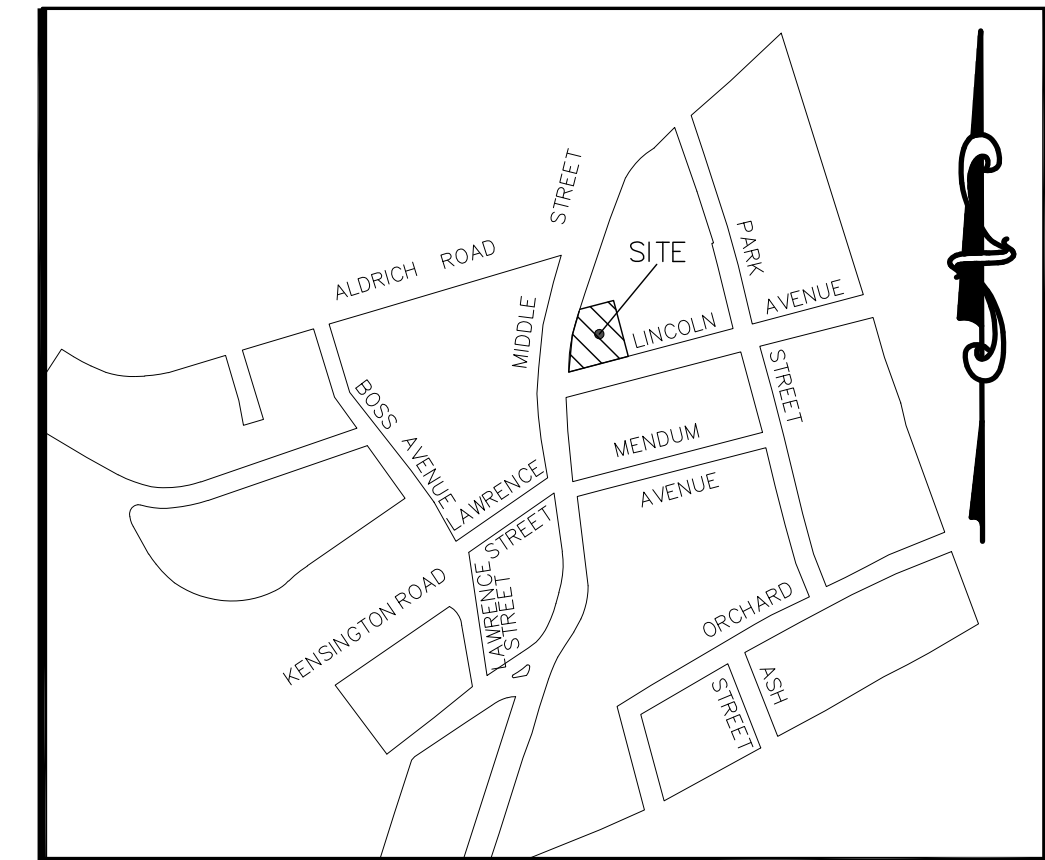
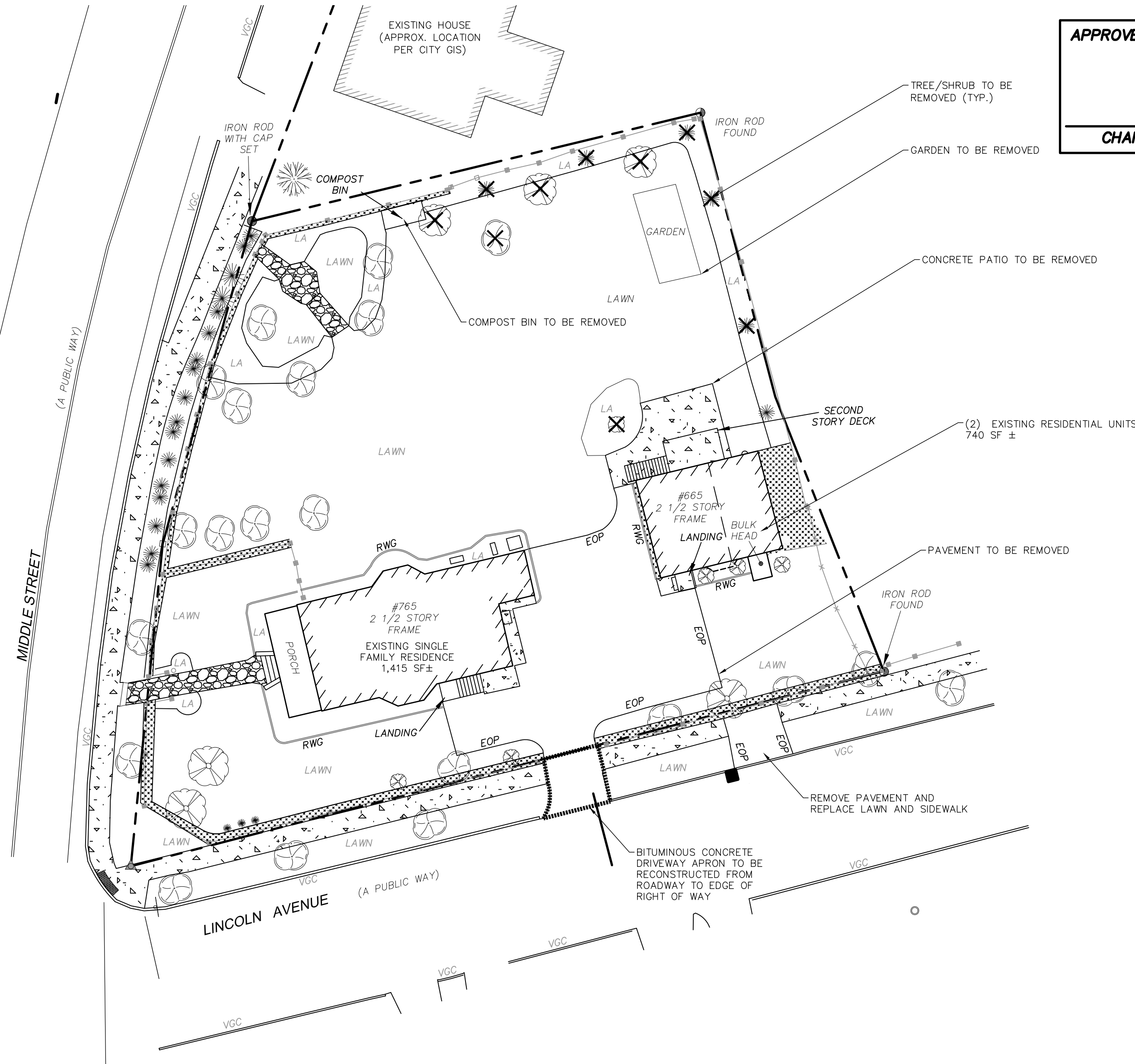
**EX-1**

P5021



**DEMOLITION NOTES**

1. THE CONTRACTOR SHALL BRING ANY AND ALL DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS TO THE ATTENTION OF THE OWNER AND ENGINEER IMMEDIATELY FOR RESOLUTION.
2. THIS DEMOLITION PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES AND TO SHOW THE MAJOR ITEMS OF WORK REQUIRED FOR PREPARING THE SITE FOR THE CONSTRUCTION OF THE PROPOSED PROJECT. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES, AS NECESSARY TO FULLY CONSTRUCT THE PROJECT. THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO BIDDING AND BE RESPONSIBLE FOR PREPARING THE SITE FOR CONSTRUCTION AS NEEDED TO COMPLETE THE PROPOSED IMPROVEMENTS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND VERIFY ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR ANY DAMAGE DONE TO EXISTING UTILITIES AT NO EXTRA COST TO THE OWNER. UTILITY CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, OWNER, AND APPROPRIATE UTILITY COMPANIES.
4. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
6. ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
7. ALL BUILDINGS, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM PROPOSED LANDSCAPE AREAS TO A MINIMUM DEPTH OF 12" BELOW FINISH GRADE AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPE PURPOSES AND MEETING THE PROJECT SPECIFICATIONS.
8. NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
9. HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
10. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG THE PROPERTY LINE IN ALL AREAS WHERE SILT FENCING IS NOT OTHERWISE REQUIRED.
11. SEE EROSION CONTROL PLANS FOR EROSION CONTROL REQUIREMENTS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO; SEDIMENT BARRIERS, STABILIZED CONSTRUCTION SITE EXIT, AND STORM DRAIN INLET PROTECTION.
12. ALL DEMOLISHED MATERIAL OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
13. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE & FEDERAL REGULATIONS AND CODES.
14. INSTALL STABILIZED CONSTRUCTION EXIT; MAINTAIN AND RELOCATE DURING CONSTRUCTION, AS NEEDED BASED ON ACTIVE CONSTRUCTION STAGES.



LOCUS NOT TO SCALE

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**ALTUS**  
ENGINEERING

133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR: APPROVAL

ISSUE DATE: JANUARY 30, 2023

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	12/16/22
1	BLDG. MINOR REVISION	EDW	1/30/23

DRAWN BY: \_\_\_\_\_ MBS/RLH  
APPROVED BY: \_\_\_\_\_ EDW  
DRAWING FILE: \_\_\_\_\_ 5021-SITE.dwg

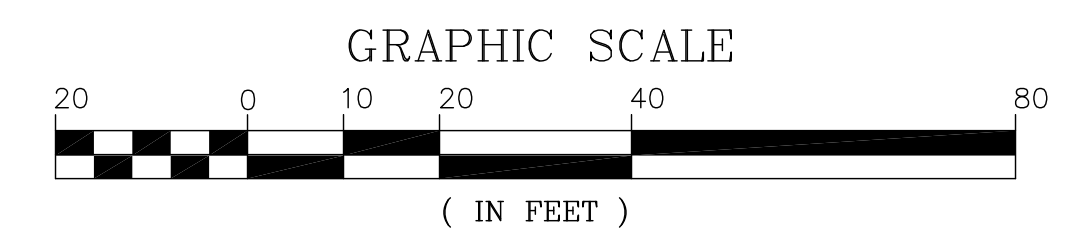
SCALE:  
(22"x34") 1" = 20'  
(11"x17") 1" = 40'

OWNER/APPLICANT:  
  
NICOLE J. GIUSTO &  
DAVID A. SINCLAIR  
  
765 MIDDLE STREET  
PORTSMOUTH, NH 03801  
TAX MAP 148 PARCEL 37

PROJECT:  
**RESIDENTIAL DEVELOPMENT EXPANSION**  
TAX MAP 148, LOT 37  
  
765 MIDDLE STREET  
PORTSMOUTH, NH

TITLE:  
**SITE PREPARATION PLAN**

SHEET NUMBER:  
**C-1**



P5021

Do not heavily prune the tree at planting. Prune only cross-over limbs, co-dominant leaders, and broken or dead branches. Some interior twigs and lateral branches may be pruned; however, Do NOT remove the terminal buds of branches that extend to the edge of the crown.

Trees less than 3" in caliper shall be staked with three stakes per tree, spaced evenly around the trunk with 1/2 gauge wire. Plastic hose sections shall be used at attachment to trees. Each wire shall be flagged with a visual marker. 5' long min. wooden stakes shall be used to anchor the wires. Stakes shall be driven at least 12" outside the edge of the planting pit into stable soil. Remove all staking NO LATER than the end of the first growing season after planting.

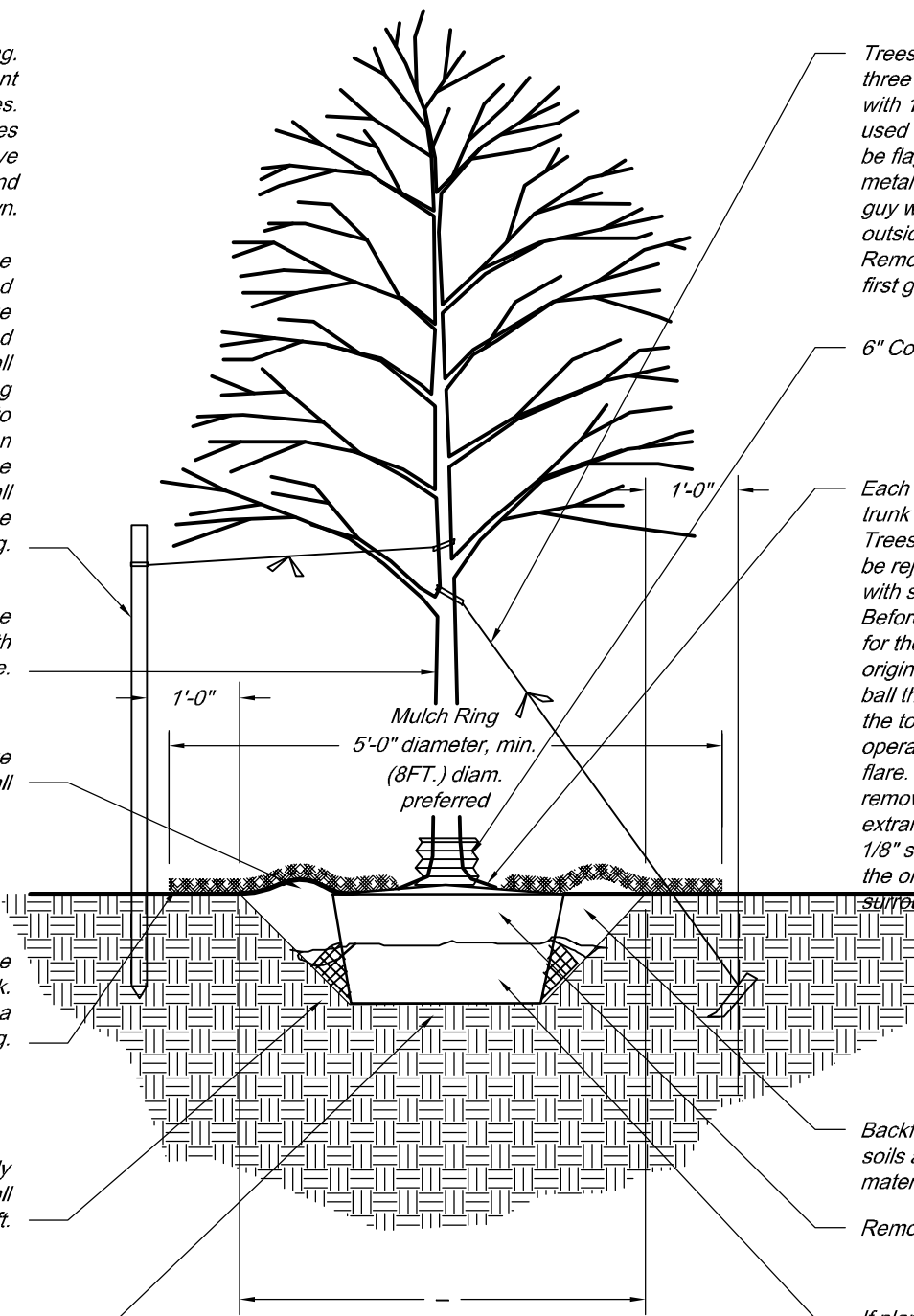
Mark the north side of the tree in the nursery. Rotate the tree to face north at the site whenever possible.

4 in. high earth saucer beyond edge of root ball

2 IN. max. Mulch. Do NOT place mulch in contact with tree trunk. Maintain the mulch weed-free for a minimum of three years after planting.

Tamp soil around root ball base firmly with foot pressure so that root ball does not shift.

Place root ball on unexcavated or tamped soil.



Trees greater than 3" in caliper shall be guyed with three guys per tree, spaced evenly around the trunk with 1/2 gauge wire. Plastic hose sections shall be used at attachment to trees. Each guy wire shall be flagged with a visual marker. 24" stakes or metal drive anchors shall be used to anchor the guy wires. Stakes/Anchors shall be driven 12" min. outside the edge of the planting pit into stable soil. Remove all guying NO LATER than the end of the first growing season after planting.

Each tree must be planted such that the original trunk flare is visible at the top of the root ball. Trees where the original trunk flare is not visible may be rejected. Do NOT cover the top of the root ball with soil.

Before planting Contractor shall inspect the rootball for the location of the original root flare. If the original root flare is not visible at the top of the root ball then the Contractor shall then gently remove from the top of the root ball any excess soil from nursery operations that may be covering the original root flare. All secondary and girdling roots shall be removed prior to planting. Trees with 4" or more of extraneous soil and/or adventitious roots greater than 1/8" shall be rejected. The tree shall be planted with the original root flare at or slightly (2-3") above surrounding finished grade.

Backfill with existing soil, in sandy and heavy clay soils add 20% max. by volume composted organic material to the existing soil. Remove all twine, rope, wire, and burlap.

If plant is shipped with a wire basket around the root ball, prior to planting, the contractor shall cut away the bottom of the wire basket, leaving the sides in place. Once the tree is placed and faced, the contractor shall remove the remainder of the wire basket and backfill the planting pit as noted above.

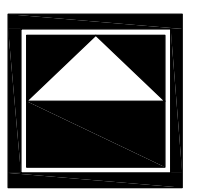
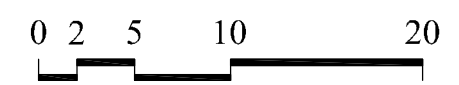
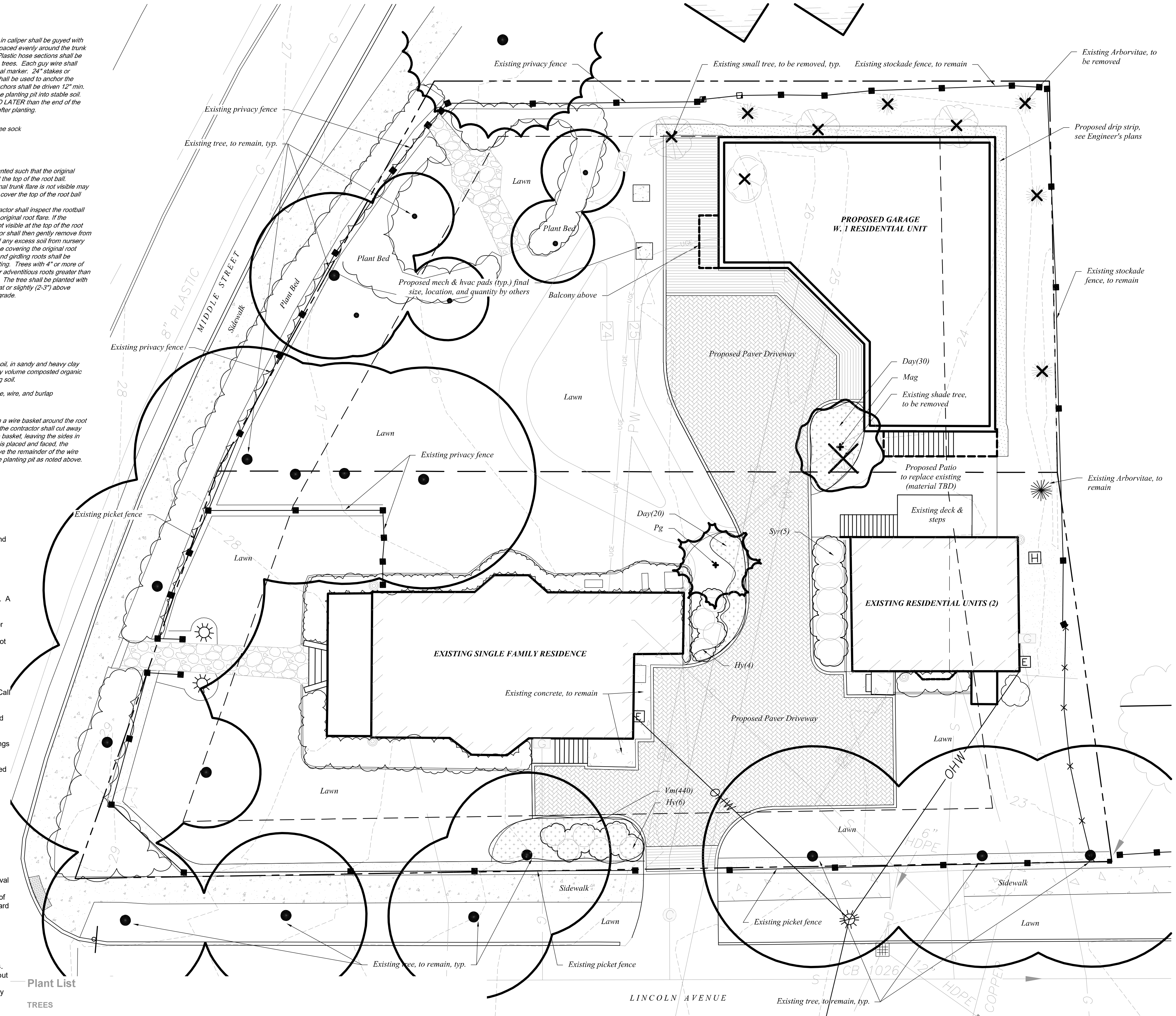
## Tree Planting Detail

## Landscape Notes

- Design is based on drawings by Altus Engineering and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D. C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with the following:
  - Outside hose attachments spaced a maximum of 150 feet apart, and
  - An underground irrigation system, or
  - A temporary irrigation system designed for a two-year period of plant establishment.
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from off site, should it not be available on site.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond roof overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy. Within the sight distance triangles at vehicle intersections the canopies shall be raised to 9' min.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.

### Plant List

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Pg	<i>Picea orientalis</i> 'Gowdy'	Gowdy Oriental Spruce	1	8-10' Ht	B&B
Mag	<i>Magnolia</i> 'Betty'	Betty Magnolia	1	8-10' Ht	B&B
<b>SHRUBS</b>					
Hy	<i>Hydrangea arborescens</i> 'Incrediball'	Incrediball Hydrangea	10	5 gal	
Syr	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	5	3-4' Ht	B&B
<b>PERENNIALS, GROUNDCOVERS, VINES and ANNUALS</b>					
Day	<i>Hemerocallis</i> 'Siloam Double Classic'	Siloam Double Classic Daylily	50	1 gal	
Vm	<i>Vinca minor</i> 'Bowles'	Bowles Periwinkle	440	2.5" pots	



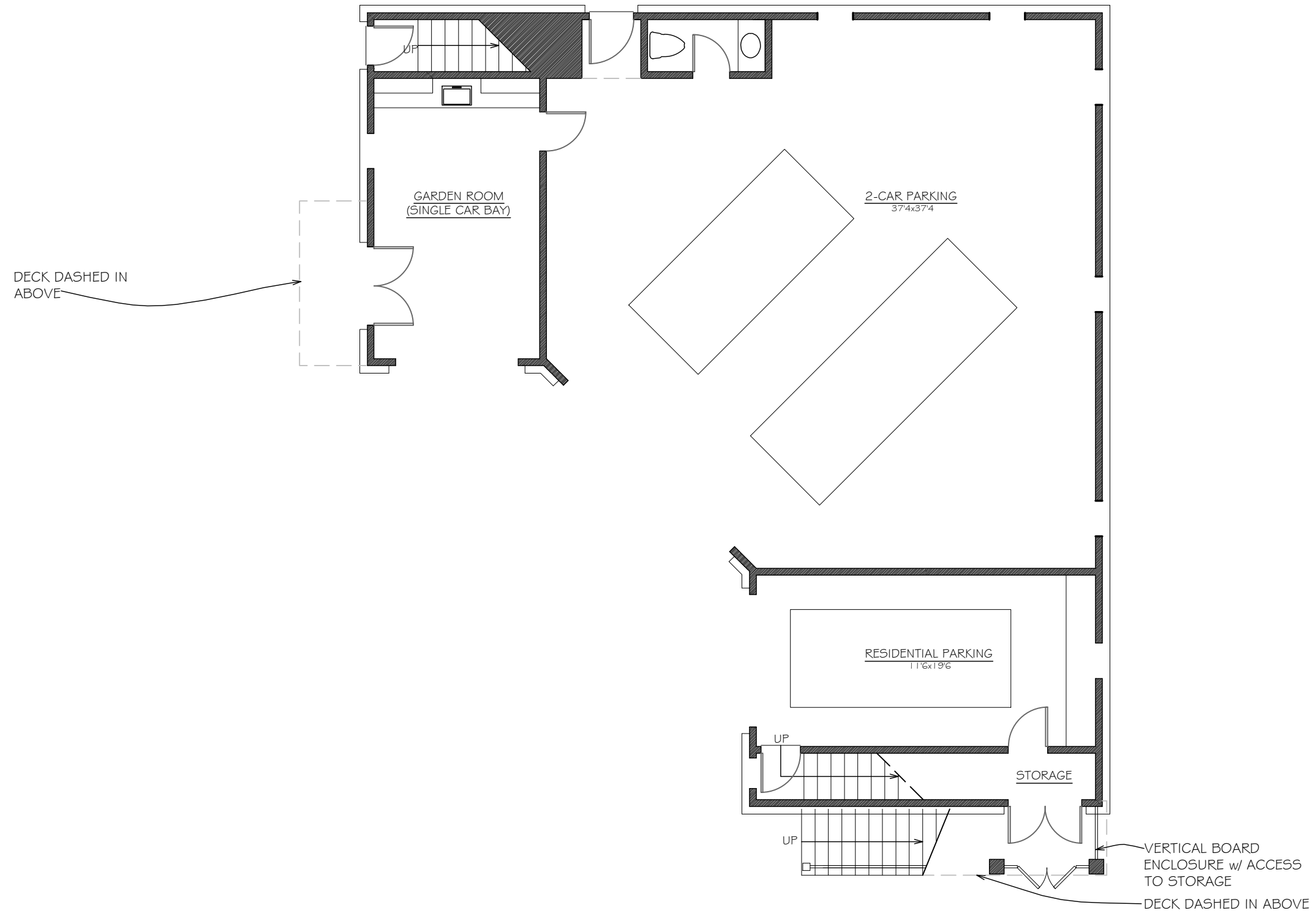
**woodburn & company**  
LANDSCAPE ARCHITECTURE  
103 Kent Place  
New Hampshire Phone: 603.659.5949

**Residential Development Expansion**  
**LANDSCAPE PLAN**  
765 Middle Street Portsmouth, New Hampshire

Drawn By: VM  
Checked By: RW  
Scale: 1" = 10' - 0"  
Date: September 28, 2022  
Revisions:  
December 16, 2022 For PB Submission  
February 8, 2023 per revised site plan  
April 7, 2023

**L-1**  
Sheet 1 of 1



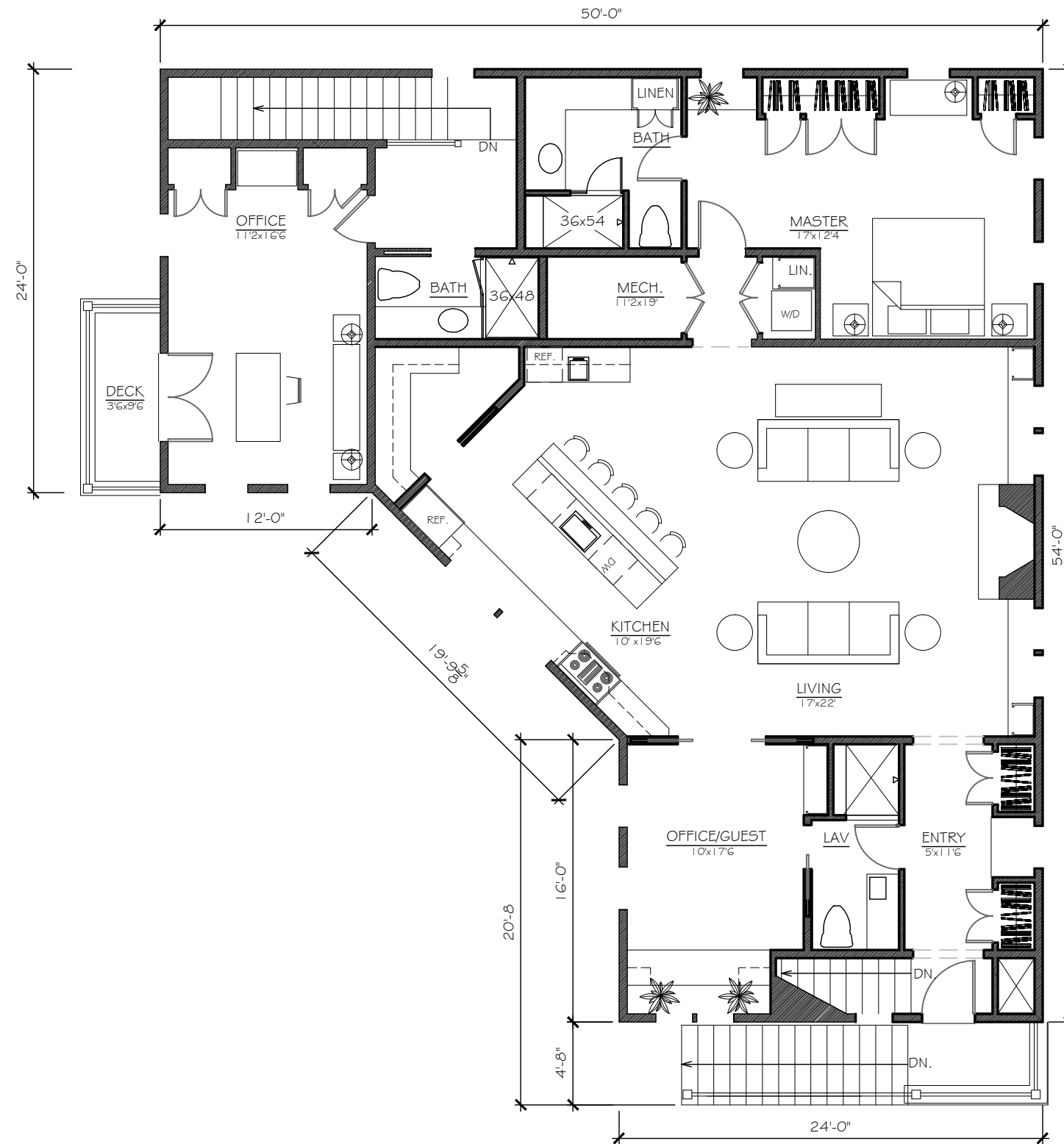


**GARAGE: Proposed First Floor**

SCALE: 1/8" = 1'-0"







**GARAGE: Proposed Second Floor**

SCALE: 1/8" = 1'-0"

765 Middle Street, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760

SCALE: AS NOTED

PH

4.14.23

ARCH. SHT. 2



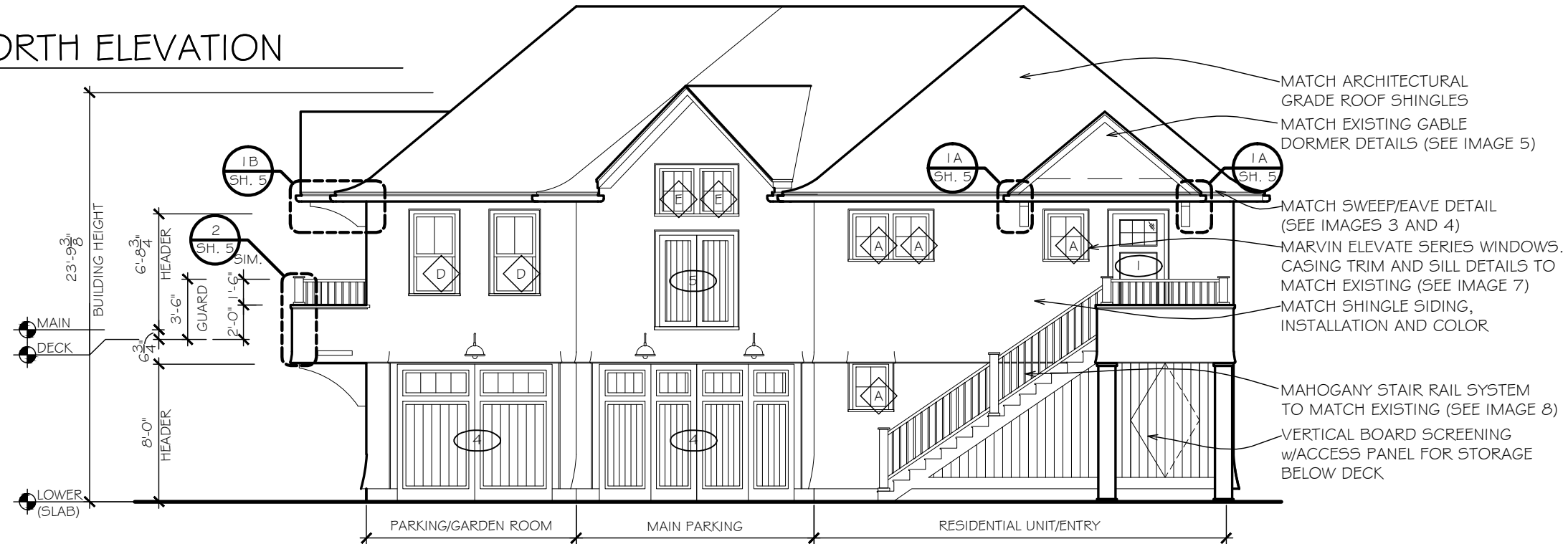


1) HALF WALL AT DECK  
[SIM.]



2) SHINGLE SWEEP AT BASE

## NORTH ELEVATION



5) GABLE DORMER  
[SIM.]



6) HORIZONTAL TRIM AND SWEEP

## EAST ELEVATION

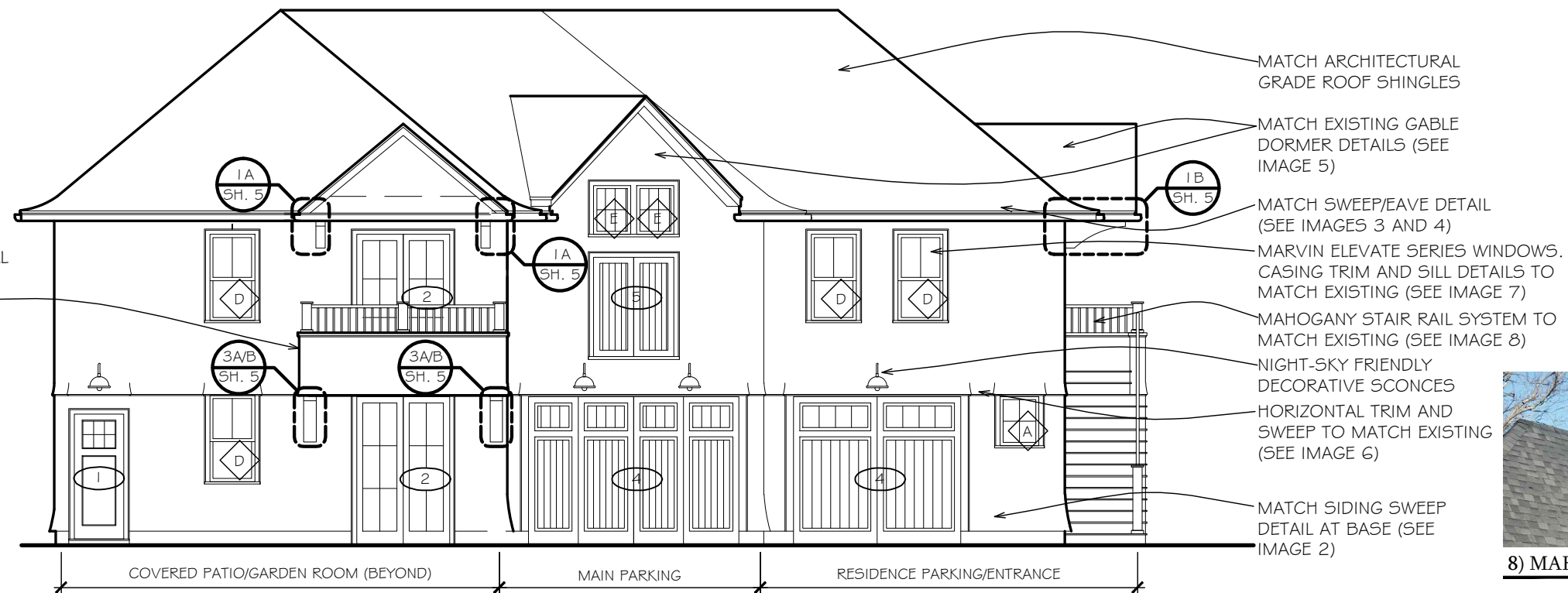


3) ROOF SWEEP AND RAFTER TAILS  
[PROPORTIONS FROM CARRIAGE HOUSE]

SHINGLED HALF WALL  
DETAIL AT DECK  
(SEE IMAGE 1)



4) ROOF SWEEP AND RAFTER TAILS  
[FROM BELOW]



7) WINDOW TRIM CASING AND SILL  
[DOES NOT INCLUDE DECORATIVE FRIEZE]



8) MAHOGANY RAILS

## GARAGE: Proposed Elevations

SCALE: 1/8" = 1'-0"

765 Middle Street, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760

SCALE: AS NOTED

PH

4.14.23

ARCH. SHT. 3





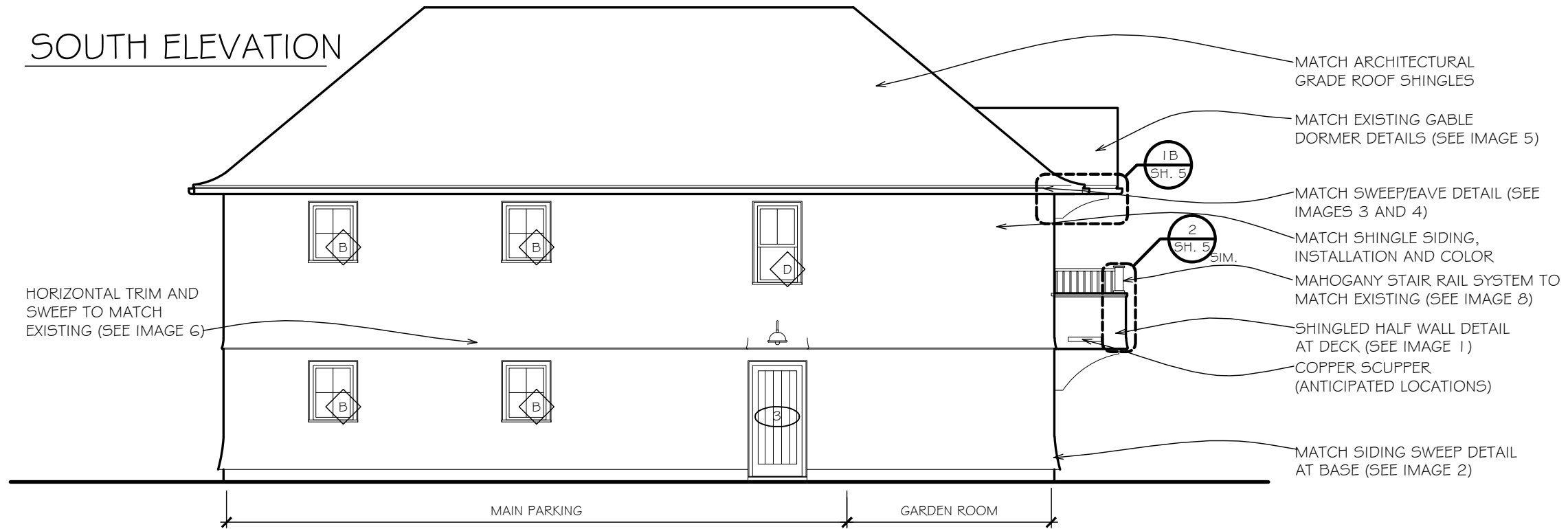




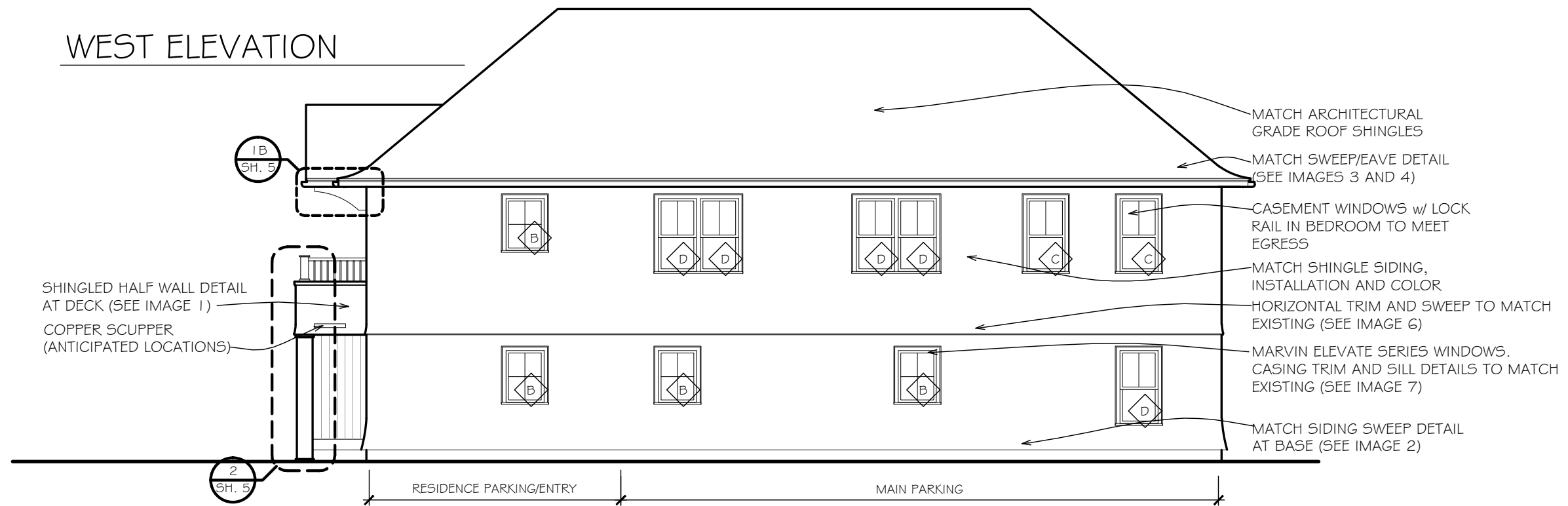




# SOUTH ELEVATION



# WEST ELEVATION



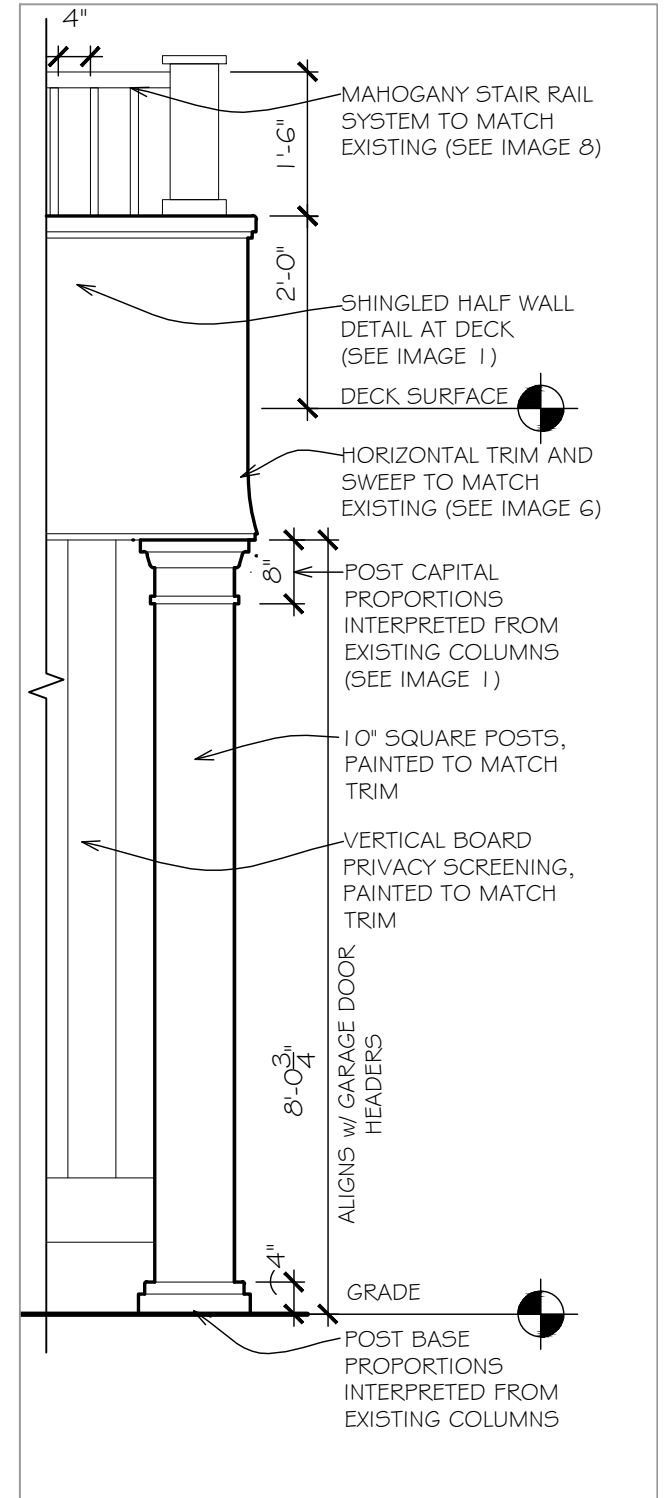
## GARAGE: Proposed Elevations

SCALE: 1/8" = 1'-0"



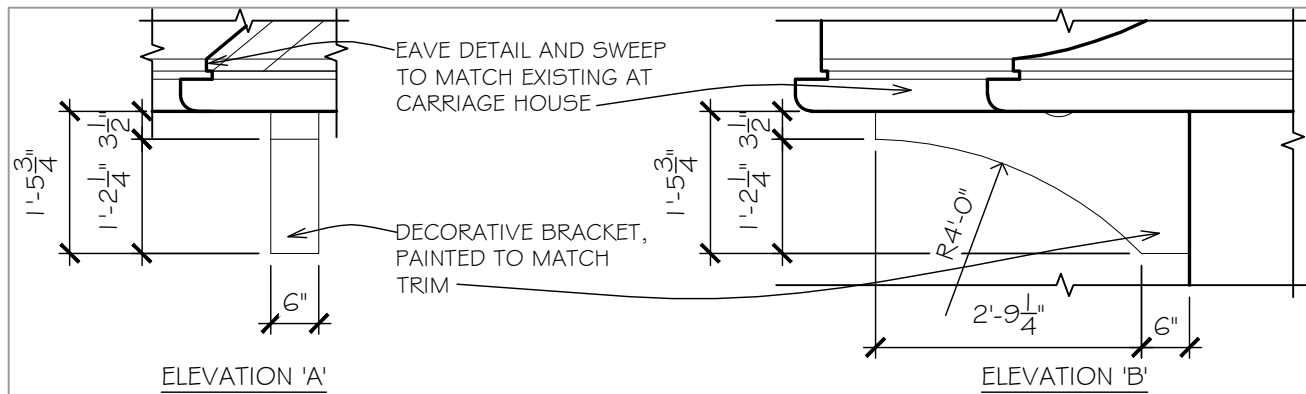
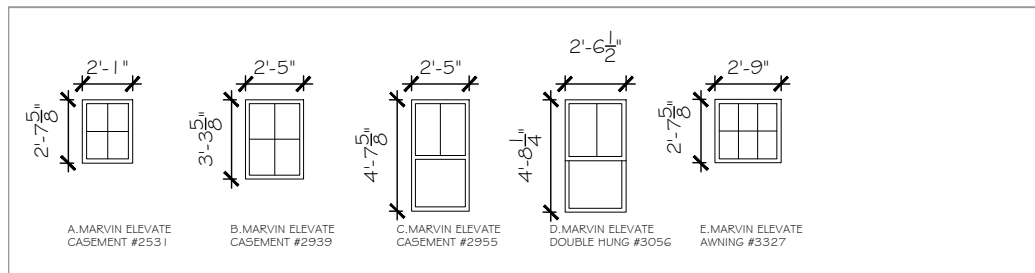
# NORTHEAST ELEVATION

(DOES NOT SHOW DECKS)



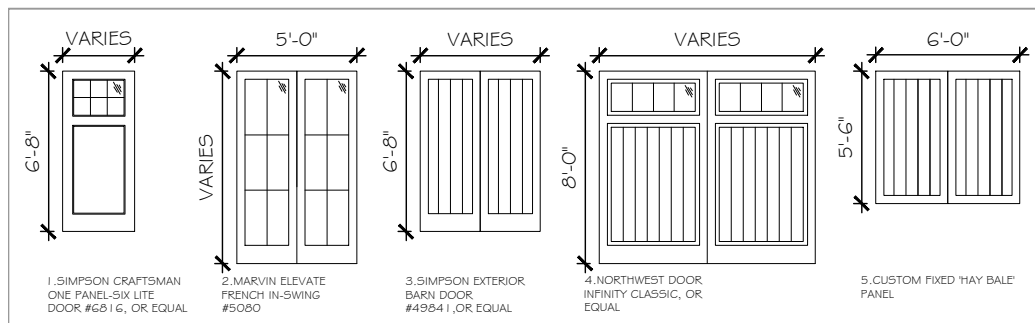
## GARAGE: Proposed Elevations

SCALE: 1/8" = 1'-0"



## Window Types

SCALE: N.T.S.

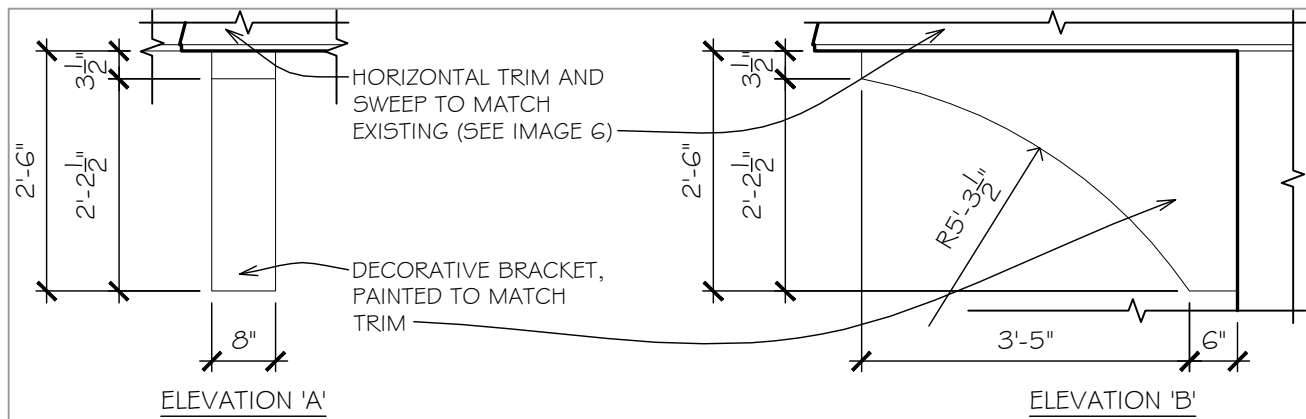


## Door Types

SCALE: N.T.S.

## 1 Bracket Detail

SCALE: 1/2" = 1'-0"



## 3 Bracket Detail

SCALE: 1/2" = 1'-0"

## 2 Sweep & Rail @ Deck

SCALE: 1/2" = 1'-0"

765 Middle Street, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760

SCALE: AS NOTED

PH

4.14.23

ARCH. SHT. 5



















TANGRAM 3DS



TANGRAM 3DS



TANGRAM 3DS





# INFINITY CLASSIC™

All Aluminum Carriage Style Garage Doors

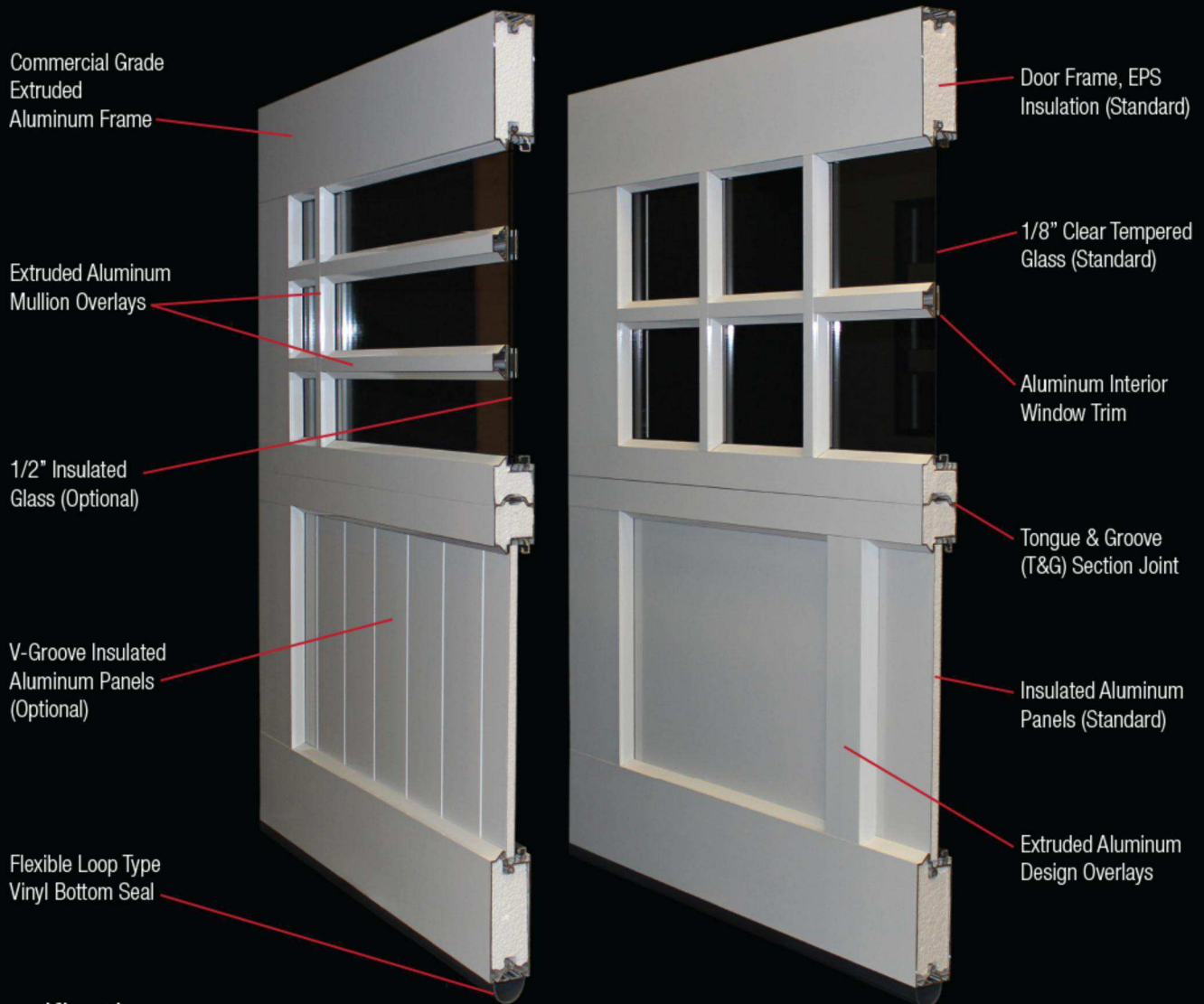
**HÖRMANN** NORTHWEST DOOR



# Infinity Classic Corrosion-Proof Construction

The Infinity Classic is virtually maintenance free and built to last as long as you own your home! It is constructed using heavy duty commercial grade extruded aluminum stiles and rails. Framing members are mechanically fastened at joints creating an exceptionally high strength door frame. A precisely engineered Tongue and Groove (T&G) joint with a compressible gasket is incorporated at meeting rails. Framing members and aluminum panels have a (EPS) polystyrene core for thermal and acoustic advantages. Single pane clear tempered glass is standard. Several other glass types are available.

The Infinity Classic comes with a standard white Polycron III finish. Optional wood grain and solid color powder coat finishes are available. Northwest Door offers a vast selection of designs including arched windows and custom designs.



## Specifications

- Frame: 2" thick, extruded commercial grade aluminum with EPS polystyrene core. *(Average insulation value R 5.6 with insulated thermo pane windows)*
- Panels: .050" thick aluminum each side of a 1/2" EPS polystyrene core, sandwiched. *(Optional "VG" v-groove insulated panels available)*
- Windows: Simulated true divided lites, straight or arched. *(Optional custom arched windows can be made to match your door opening)*
- Glass: 1/8" single pane clear tempered glass. *(Optional thermo pane insulated, tinted and obscure glass - page 11)*
- Sections Joints: Tongue and Groove type with compressible gasket.
- Bottom Seal: Flexible loop type vinyl.
- Finish: White Polycron III. *(Optional "WG" wood grain powder coat and solid color painted finishes - page 4)*
- Hardware: Galvanized standard lift torsion hardware, 15" radius, 2" bracket mounted track, 10,000 cycle springs, 14 gauge hinges, 2" nylon ball bearing rollers. Doors over 12' wide or 156 sq. ft. receive double end hinges and long stem rollers, doors exceeding 575 lbs. receive 3" angle mounted track, doors exceeding 750 lbs. receive solid keyed shaft. *(Optional high lift, low clearance and high cycle options - page 11, solid color powder coat finishes - page 4)*
- Warranty: Limited Lifetime Warranty on door, One Year Warranty on hardware. *(When used on residential applications)*

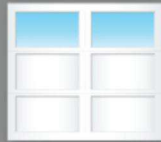


# Designs

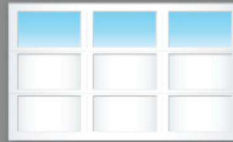
Infinity Classic doors are available in one inch increments up to \*24 ft. wide and 16 ft. high, with a maximum total door size of 336 sq. ft. Doors up to 8 ft. in height are made using only three sections, which provides an authentic replication of original carriage house style doors. 33 1/4 in. is our maximum section height. \*Note: (24 ft. wide available in white only, other colors available to 22 ft. wide)

Extruded aluminum designs and mullion overlays are adhered to the door. They can be configured to create many carriage style designs. We offer seven base designs, seven standard window patterns, and six arched window patterns. Our standard arch is 15'-0" radius on both single car and double car doors. A 58'-0" radius arch is also available on double car doors. Optional custom arches can be made to match your exact door opening arch or angles when a template is provided. Aluminum trim is applied to the inside surface of the glass to match the pattern on the exterior. Please contact your Northwest Door Dealer for more information about custom arches.

## Standard Windows:



2-Panel  
Up to 10'-0" Wide



3-Panel  
10'-1" to 13'-0" Wide

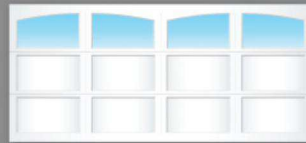


4-Panel  
13'1" to 20'-0" Wide

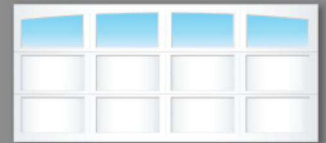
## Arched Windows:



Single Car  
15'-0" Radius

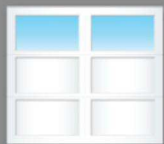


Double Car, 15'-0" Radius  
2-Arches (Standard)

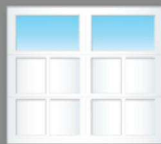


Double Car, 58'-0" Radius  
1-Arch (Optional)

## Base Designs:



I001S



I101S



I201S



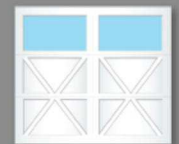
I301S



IA01S



I01S



IX01S

## Standard Windows:



01S



02S



03S



04S



06S



08S

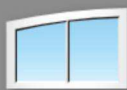


09S

## Arched Windows:



01A



02A



03A



04A



06A



08A

## Custom Designs



I116C VG Custom

Our all aluminum Infinity Classic garage doors can be created with your home or structure's architecture in mind. Custom designs can be created, including custom section heights and windows in both the intermediate and top sections.

The door at right has 4 sections. Each section was made a different height to achieve the desired proportions. The two upper sections contain customized 8-lite windows with the top window section having a custom arch. The lower sections contain v-groove panels. This I116C custom door has a Walnut wood grain powder coat finish.

Scaled dimensioned drawings are available upon request for all custom and standard Infinity Classic designs.





# Optional Wood Grain Powder Coat Finishes



Infinity Classic is available in a high performance state-of-the-art wood grain finish. Our doors look so realistic and natural that they are mistaken for real wood doors. The wood finish is a powder coat process, an excellent performer in coastal regions and where corrosion is present. All door surfaces are finished so the door is as beautiful on the inside as the outside.

## Powder Coated Hardware

To further enhance the beauty of your door's interior, we offer optional powder coated track and operational hardware in five solid colors: Black, Red, Grey, White and Brown.

Interior of doors shown at right, Dark Walnut wood grain finish with black powder coated track and hardware.



Note: Stock wood grain colors have shorter lead times and are offered at a lower price.

\*Note: Wood grains and solid colors will vary due to the printing process, these representations are not an exact match with actual product.





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## 6816 CRAFTSMAN ONE PANEL-SIX LITE

### DOOR SPECIFICATIONS (AS SHOWN):

**Wood Species:** Fir

**Glass:** Clear

**Profile:** Ovolo Sticking

**Panel Type:** 3/4" FP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

### STANDARD OPTIONS

Quantity

[Change Quantity](#)

Change Door Shape

Stain or Paint?

[view more](#)

Stain  Paint

Wood Species

Slab Width

[view more](#)

Feet	Inches	Fraction
<input type="text" value="3"/>	<input type="text" value="0"/>	<input type="text" value="0"/>

Slab Height

[view more](#)

<input type="text" value="6"/>	<input type="text" value="8"/>	<input type="text" value="0"/>
--------------------------------	--------------------------------	--------------------------------



Thickness  

[view more](#)


IG Glass, Option 1  

[view more](#)

Add Low-E  Yes  No

Film Yes

[view more](#)

Sticking Profile  

Panel Type  

Groove Type  

Stile Width  

[view more](#)

UltraBlock Yes

[view more](#)

## DESIGN AND CONSTRUCTION ALTERATIONS

Modified Mortise & Tenon  Yes  No

[view more](#)

Two-Piece Laminated Stiles  Yes  No

and Rails

[view more](#)

Engineered Stiles and Rails  Yes  No

with 1/4" Veneer

[view more](#)

Mouldings  

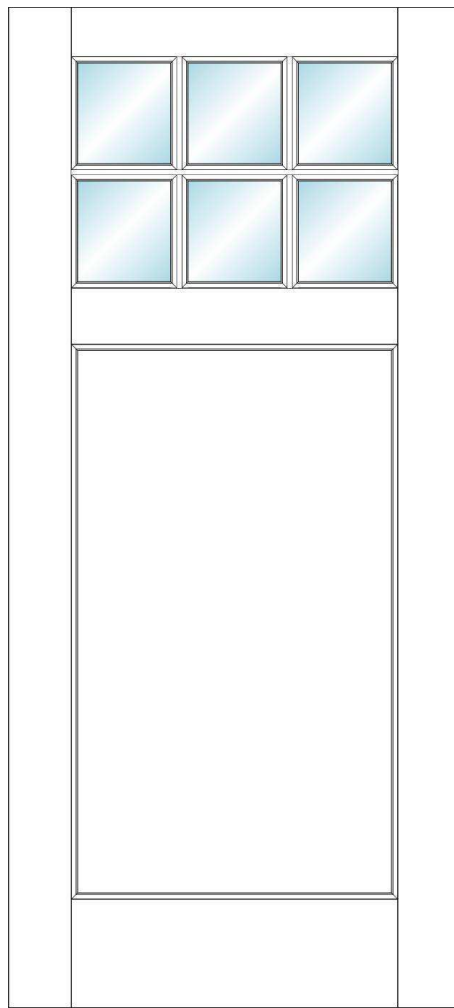
[view more](#)

## FINISHING TOUCHES

Priming  Yes  No

[view more](#)





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## 49841 BARN DOOR

DOOR SPECIFICATIONS (AS SHOWN):

**Wood Species:** Fir

**Profile:** Shaker

**Panel Type:** 3/4" FP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

### STANDARD OPTIONS

Quantity

[Change Quantity](#)

Change Door Shape

Stain or Paint?

[view more](#)

Stain  Paint

Wood Species

Slab Width

[view more](#)

Feet	Inches	Fraction
<input type="text" value="3"/>	<input type="text" value="0"/>	<input type="text" value="0"/>

Slab Height

[view more](#)

<input type="text" value="6"/>	<input type="text" value="8"/>	<input type="text" value="0"/>
--------------------------------	--------------------------------	--------------------------------



Thickness  
ie m re


Sticking Profile

Shaker

Panel Type

Grain Type

Grain

Stile Width  
ie m re

UltraBlock  
ie m re

Yes

## DESIGN AND CONSTRUCTION ALTERATIONS

One-Piece Laminated Stiles  
and Rails  
ie m re

Yes  No

Engineered Stiles and Rails  
with 1/4" Veneer  
ie m re

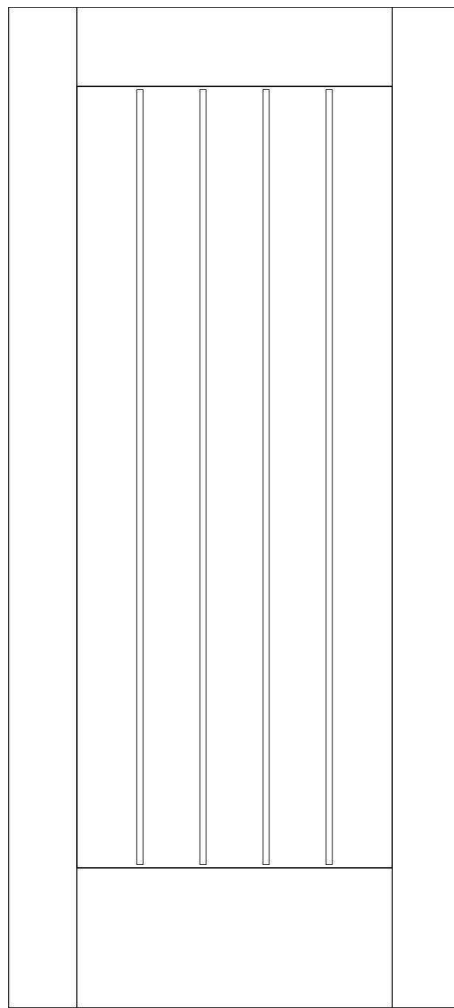
Yes  No

## FINISHING TOUCHES

Priming  
ie m re

Yes  No





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**Marvin Elevate® collection**

## THE PERFECT BALANCE OF BEAUTY AND STRENGTH

Balancing beautiful design with superior strength, the Marvin Elevate collection delivers style in any climate. Elevate features warm wood interiors that can blend in or stand out with Ultrex® fiberglass exteriors for lasting durability. The collection offers a range of carefully selected features and options, making it as versatile as it is elegant.

**About Us**

At Marvin, we're driven to imagine and create better ways of living, helping people feel happier and healthier inside their homes. We believe that our work isn't just about designing better windows and doors—it's about opening new possibilities for the people who use them.

Casement windows with Simulated Checkrails and Grills-between-the-Glass in Designer Black with Matte Black hardware



## CASEMENT + AWNING



Casement windows with  
Matte Black hardware



Casement windows in White

## CASEMENT + AWNING

- Multi-point sequential locking system provides superior PG50 performance rating with single lever operation.
- Interior screen features an aluminum surround and concealed pressure mounting points for ease of operation and enhanced aesthetics.
- Operating, transom, and picture units available.
- Folding handle neatly stows out of the way. Stainless steel coastal hardware available.
- Casement available in standard and special sizes up to 3 feet wide by 6 feet high.
- Awning available in standard and special sizes up to 4 feet wide by 4 feet high.
- Coordinating Picture and Transom windows also available.
- Narrow frame option with 3 ¼ inch insert replacement frame, flat sill, and through jamb installation.



CASEMENT + AWNING



CASEMENT NARROW FRAME + AWNING NARROW FRAME



Available with IZ3  
(Excludes Narrow Frame option)



# DOUBLE HUNG



Double Hung windows in Designer Black with Matte Black hardware



Double Hung window in White with White hardware

## DOUBLE HUNG

- Equipped with a standard full screen; optional half screen is available.
- Tilt latches are ergonomically designed and easy to operate, making tilting and cleaning effortless.
- Sash lock provides a positive detent, reassuring the user that the window is either locked or unlocked.
- Up to PG50 performance rating.
- Equal, Cottage, and Reverse Cottage sash provide a variety of looks and checkrail heights.
- Available in standard and special sizes up to 4 feet 6 inches wide by 7 feet high.
- Coordinating Picture and Transom windows also available.
- Double Hung Insert option features ¾ inch insert replacement frame with through jamb installation and up to PG40 performance rating.



DOUBLE HUNG



DOUBLE HUNG INSERT



 Available with IZ3  
(Excludes Insert option)



# INSWING FRENCH DOOR



Inswing French door with Northfield hardware in Matte Black



Inswing French doors in White with custom hardware

## INSWING FRENCH DOOR

- Secure and stable stainless steel multi-point locking system.
- Precision built in 1/4 inch increments.
- Available in 1-, 2-, or 3-panel configurations.\*
- Multiple configurations up to 6 feet wide by 8 feet high.
- Bronze or Beige sill available.
- PG30 performance rating standard.
- PG50 performance rating optional on 1- and 2-panel configurations.



INTERIOR



EXTERIOR



DOOR HINGE SHOWN IN SATIN NICKEL



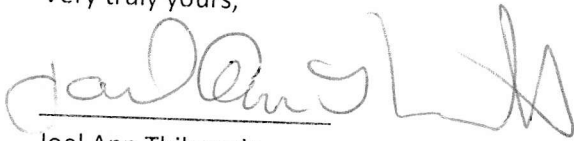


September 9th, 2022

To Whom it May Concern:

I Joel Ann Thibeault, own a property at 670 Lincoln Ave, Portsmouth, New Hampshire. I am abutter to/ neighbor of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that I have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,

A handwritten signature in cursive script, appearing to read "Joel Ann Thibeault", written over a horizontal line.

Joel Ann Thibeault

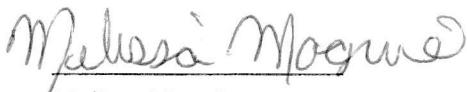


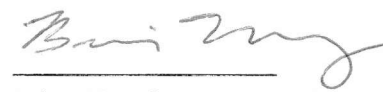
September 8th, 2022

To Whom it May Concern:

We Melissa & Brian Maguire, own a property at 774 Middle St #3, Portsmouth, New Hampshire. I am abutter to/ neighbor of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that I have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,

  
Melissa Maguire

  
Brian Maguire



September 9th, 2022

To Whom it May Concern:

We Patricia and Charles Corlin, own a property at 736 Middle St, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,

  
Patricia Corlin

  
Charles Corlin

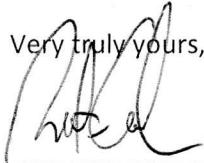


September 8th, 2022

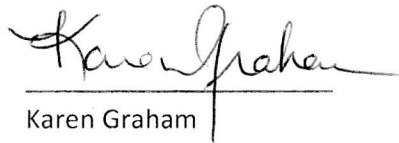
To Whom it May Concern:

We Robert Graham and Karen Graham, own a property at 664 Lincoln Avenue, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,



Robert Graham



Karen Graham



May 27th, 2022

To Whom it May Concern:

We Elton Shaffer and Paula Rais, own a property at 748 Middle St, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,

  
Elton Shaffer

  
Paula Rais



Sept 8th, 2022

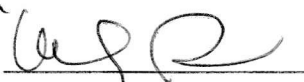
To Whom it May Concern:

We Peter Dawson and Karen Dawson, own a property at 648 Lincoln Ave, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,



Peter Dawson



Karen Dawson



---

**Follow up re variance 765 Middle Street**

---

**Kristie Jorgensen** <knejorg@gmail.com>  
From: sleddiver@gmail.com  
To: "Nathan H. Jorgensen" <nhjorgensen@mac.com>

Tue, Sep 20, 2022 at 10:22 AM

Dear David and Nicole,

We received your packet in our mailbox last week after returning from our trip traveling abroad. It was addressed to a "Carla" but we are the current owners across the street, located at 774 Middle Street, Unit 1, Portsmouth, NH.

My apologies for a delayed response but I am still ill with a Covid infection from our trip back home. I hope we are not too late in offering our support for your variance request. I just wanted to let you know that we, as abutters to the subject property at 765 Middle Street, Portsmouth, NH support your variance request and feel that it will be a very pleasant addition to the neighborhood. It does not impact parking or impact abutting structures and conforms nicely with the area and for the historic district.

Please feel free to reach out to us in the near future if you need further support in any way. As abutters and good neighbors, we are here to help.

All the best to you and your plans.

Kristie and Nathan Jorgensen  
774 Middle Street, Unit 1  
Portsmouth, NH 03801  
Kristie's Cell: 603-767-7182  
Email: knejorg@gmail.com

**KRISTIE JORGENSEN**  
Vice President, Associate Broker, Realtor  
Licensed in ME & NH  
**Legacy Properties Sotheby's International Realty**  
141 Maine Street, Brunswick, ME 04011  
c 603-767-7182 | ME 207-200-5082  
kjorgensen@legacysir.com  
MyProfile | LegacySIR | SothebysRealty



January 9th, 2023

To Whom it May Concern:

We Shelley Vessels and Corey Vessels, own a property at <sup>795 Middle St</sup>~~635 Lincoln Ave~~, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,

  
Corey & Shelly Vessels



January 9th, 2023

To Whom it May Concern:

We Marcia ~~Shearman~~<sup>Shearman</sup> and John ~~Shearman~~<sup>Shearman</sup>, own a property at 635 Lincoln Ave, Portsmouth, New Hampshire. We are abutters to/ neighbors of David Sinclair and Nicole Giusto at 765 Middle Street, Portsmouth, NH. David and Nicole have provided me with their garage/dwelling project for which they are seeking relief from the Portsmouth zoning board of adjustment and Portsmouth Historic District Commission. This is to provide notice that we have no objection to the project. We support the granting of any and all variances or other relief required.

Very truly yours,

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John & Marcia Shearman



DUSTON LEDDY  
— REAL ESTATE —

Dear Commission Members,

I am the broker/owner of Duston Leddy Real Estate. I have been selling real estate here in the Seacoast and Portsmouth NH for 17 years. I am writing in support of the garage/dwelling addition project for David Sinclair and Nicole Giusto at 765 Middle Street.

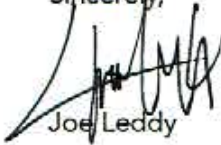
Middle Street is a major artery into historic downtown Portsmouth where virtually all of the homes are of an historic nature consisting of several different styles from classic New Englanders, Colonial Farmhouses, Tudors and Georgian to Queen Anne Victorians.

Our analysis covered a 300 ft radius around the subject property and revealed that more than 30% are multi-family dwellings. The virtue of adding an additional 4th unit to an existing 3 family property will not diminish values of the already dense neighborhood.

765 Middle Street's main Victorian house and complimenting Carriage House are of exquisite architectural detail and craftsmanship. The level of corresponding detail the owners are willing to bring to the new structure will only increase the number of elegant homes in the surrounding area. This new addition with its courtyard design will be an enhancement to the neighborhood and help increase surrounding property values.

It is my professional opinion that this new structure will not be a detriment to any neighbors, nor diminish surrounding property values.

Sincerely,



Joe Leddy

Broker/Owner

Duston Leddy Real Estate



## **Broker Opinion of Value**

**For**

**765 Middle Street, Portsmouth NH 03801**

I, Terri Golter, a real estate agent from RE/MAX Shoreline, and 38 yr. veteran of the Seacoast and Portsmouth NH real estate, give my professional opinion that the garage addition project for David Sinclair and Nicole Giusto is in keeping with the neighborhood and will certainly not diminish any surrounding property values. In fact, adding this new addition with the courtyard design, will be an enhancement to the neighborhood, and this will only increase property values. It will showcase the current neighborhood!

I sold this property in its original condition to the current owners and they have done an exemplary job of updating the structure and retaining the old historic design and charm, in keeping with the neighborhood. They have also added a vast amount of landscaping, enhancing the property on this large corner lot. In fact, they have tastefully brought out more of the original architectural character than could be seen in the past and have made it a show piece with historic preservation in mind.

The way the new garage placement in the corner will be shaped in a courtyard design, will allow the neighbors privacy as well as more light and will be appealing to the eye. David and Nicole have carefully planned this out so as not to diminish the neighboring home values. Again, the entire project including the new garage addition will only increase neighboring property values by having a higher end, quality, well cared for home in their immediate vicinity, as well as paying attention to the historic detail.

It is my professional opinion that the garage placement will not be a detriment to any neighbors, nor diminish the surrounding property values and I feel the variance should be granted.

Terri Golter

RE/MAX SHORELINE

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