

THE STATE OF NEW HAMPSHIRE

ROCKINGHAM, SS

PORTSMOUTH CITY
COUNCIL

City of Portsmouth

v.

Hewitt

Removal Hearing

February 12, 2024

HEWITT'S MEMORANDUM OF LAW

The City of Portsmouth has charged James Hewitt, a member of the Planning Board, with removal under RSA 673:13, I, which reads: “After public hearing, appointed members and alternate members of an appointed local land use board may be removed by the appointing authority upon written findings of **inefficiency, neglect of duty, or malfeasance in office.**” *Id.* (emphasis added).

Mr. Hewitt denies the grounds charged. The facts alleged are inapposite, as a matter of law, to remove him from his appointed position on the Planning Board. The effort to do so is groundless and appears to be motivated by political bias rather than good cause.

The operative language of RSA 673:13, I, in bold above, has historically been used to ensure the independence of an appointed office from supervisory pressure, and specifically from the power of the executive. *BAMZAI, ADITA, TAFT, FRANKFURTER AND THE FIRST PRESIDENTIAL FOR-CAUSE REMOVAL*, 52 U. Rich. L. Rev. 691, 692, n. 5 (2018) (and authorities cited) (“[I]nefficiency, neglect of duty, or malfeasance in office [is language] that Congress still uses to mark some kind of independence from presidential control on behalf of an administrative agency.”). This language is “‘a common formulation’ for statutory provisions limiting the removal of officers.” *Id.* (citing *JERRY L. MASHAW ET AL., ADMINISTRATIVE LAW: THE AMERICAN PUBLIC LAW SYSTEM* 257 (7th ed. 2014)).

The New Hampshire Supreme Court has interpreted this language narrowly, rejecting the argument that this language confers a discretionary removal authority for any cause. *Silva v. Botsch*, 120 N.H. 600, 602 (1980) (“Unless there is evidence to the contrary, statutory itemization indicates that the legislature intended the list to be exclusive.”) (interpreting RSA 36:6, the predecessor statute to RSA 673:13, I). Thus, no authority can remove Mr. Hewitt because it does not like his world view, or his politics, or his exercise of free speech, or for any other reason except (a) inefficiency, (b) neglect of duty, or (c) malfeasance in office. *See, also, Humphrey’s*

Executor v. U.S., 295 U.S. 602, (1935) (explaining that the “inefficiency, neglect of duty or malfeasance” standard was not a unitary for cause provision but barred removal of any officer except for “one or more causes named in the applicable statute.”).

The City does not allege that Mr. Hewitt acted inefficiently or neglectfully. The City charges Mr. Hewitt only with malfeasance in office, identifying six instances of such alleged conduct. I will deal with them more specifically below, but they can broadly be categorized as communications or statements from Mr. Hewitt that, allegedly, violate the so-called “juror standard” for unbiased decision-making by a planning board member, or communicate to seek information “outside the record” in order to inform his decision-making. These are meritless allegations. First, the juror standard is not a basis for removal under RSA 673:13, I. Second, at no time did he breach the “juror standard,” which simply requires him not to prejudge a given application. Third, New Hampshire law very clearly allows board members to pursue information that is “outside the record” in the manner that Mr. Hewitt has allegedly done. Fourth, “malfeasance” in this context must be conduct that is not merely procedurally unorthodox, but driven by scienter, a culpable state of mind in which the actor knows his conduct is wrongful and acts despite that knowledge.

I. The “juror standard” is not a ground for removal under RSA 673:13, I.

Preliminarily, the City’s focus on the “juror standard” as a basis for removal under RSA 673:13, I is grossly misplaced. The “juror standard” appears in only one place in the Planning Board Rules of Procedure: under the definition of a “conflict of interest” that would require a Planning Board member to disqualify himself or be disqualified by a vote of the Board if he had a direct interest in the application. In full, the definition of “conflict of interest” in the City of Portsmouth Planning Board Rules and Procedures states:

Conflict of Interest: Disqualification of Member. No member of the Planning Board “shall participate in deciding or shall sit upon the hearing of any question which the board is to decide in a judicial capacity if that member has a direct personal or pecuniary interest in the outcome which differs from the interest of other citizens, or if that member would be disqualified for any cause to act as a juror upon the trial of the same matter in any action at law ... When uncertainty arises as to the application (of the above) to a board member in particular circumstances, the board shall, upon the request of that member or another member of the board, vote on the question of whether that member should be disqualified. Any such request and vote shall be advisory and nonbinding, and may not be requested by persons other than board members, except as provided by local ordinance or by a procedural rule ... ”

Rules of Procedure at 10-11. Of note is that the board vote is “advisory and non-binding.” *Id.* That means that the board member may take it into consideration in weighing whether he must disqualify himself, but the decision is ultimately his to make.

This rule of procedure derives directly from RSA 673:14 “Disqualification of Member.” RSA 673:14 states: “No member of a zoning board of adjustment, building code board of appeals, planning board, heritage commission, historic district commission, agricultural commission, or housing commission shall participate in deciding or shall sit upon the hearing of any question which the board is to decide in a judicial capacity if that member has a direct personal or pecuniary interest in the outcome which differs from the interest of other citizens, or if that member would be disqualified for any cause to act as a juror upon the trial of the same matter in any action at law. Reasons for disqualification do not include exemption from service as a juror or knowledge of the facts involved gained in the performance of the member’s official duties.”

This memo will address this important exception below, as well as the general lack of evidence that Mr. Hewitt violated the “juror standard.” But the more important point is that the “juror standard” that the City relies on to suggest that Mr. Hewitt should be removed from office is part of the *disqualification* statute, RSA 673:14, *not* the removal statute, RSA 673:13. The removal statute does not incorporate the “juror standard.” The removal statute does not identify the “juror standard” as a component of any of its three grounds for removal. The “juror standard” is alien to the removal statute.

Even assuming, therefore, that Mr. Hewitt, or any given Planning Board member should be disqualified from a particular case based on the juror standard of RSA 673:14, that disqualification would only be as to the one application then being considered—nothing in the statute permits an inference that disqualification, even if merited, should require removal.

Furthermore, there is no evidence that any person, or any other board member, ever called upon Mr. Hewitt to disqualify himself from any decision of the Planning Board. Nor is there any evidence that the Planning Board ever voted to recommend Mr. Hewitt’s disqualification. Nor is there any evidence, in the form of a decision that was appealed and reversed in court due to Mr. Hewitt’s alleged failure to abide by the “juror standard,” that Mr. Hewitt should have disqualified himself, or been disqualified, from consideration of a given application. If the City cannot even find an instance where Mr. Hewitt was asked to disqualify himself, or was disqualified, due to the juror standard, then it cannot speculate that he might have been in order to justify removal.

The City has applied the wrong law to this case. In applying the so-called “juror standard,” the City of Portsmouth has imported a standard unique to the question of *disqualification*, having nothing to do with the removal statute, RSA 673:13. The City is confusing apples and oranges. More accurately, the City is trying to pass apples off as oranges in order to confuse the City Council. The fact is that the juror standard applies only to whether Mr. Hewitt might have been disqualified from a given application. It has nothing whatsoever to do with removal, and the City’s reliance on it as a basis for removal is utterly without foundation.

- II. Even if the juror standard were an appropriate standard for considering removal, Mr. Hewitt did not violate the juror standard in this case.

The best illustration of the state of the law regarding the “juror standard” and conduct “outside the record” for land use board members is the recent New Hampshire Supreme Court case of *Andrews v. Kearsarge Lighting Precinct*, No. 2021-543, Slip Op. (N.H. August 31, 2023), an unreported case decided August 31, 2023 through an order rather than an opinion. Unreported cases are not considered to be precedential, but it is important to understand why. When the Supreme Court issues an order, as opposed to an opinion, it is deciding the appeal based upon established New Hampshire law that resolves the issues in the case. Because the court is not making new law, or considering a case of first impression, it need not issue a fully published opinion explaining the new interpretation it has given to the law and the facts of the case before it.

This is important to understand, because the *Andrews* case affirmed a trial court decision finding that a land use board member had not violated the “juror standard” by engaging in ex parte communications about the pending application with interested parties. In addition, the trial court found that the board member had not sought information improperly “outside the record” by seeking answers to concerns he had about the proposed project—in principal, the very things that the City is arguing justify Mr. Hewitt’s removal in this case. The Supreme Court upheld these decisions, ruling that well-established existing New Hampshire case law resolved the questions. That same law applies here, in exactly the same way.

To reiterate, the *Andrews* case was a disqualification case, not a removal case. Even if the appealing party had prevailed, the remedy would have been to annul the decision and set a new hearing without the disqualified board member, not to *remove* the board member from his office. A project applicant unsatisfied with the land use board decision on a project appealed to the Superior Court, and the Supreme Court, arguing that one board member’s bias against the project meant that he had prejudged the case in violation of the “juror standard.” The conduct that the applicant cited as grounds for a finding of bias was that the Zoning Board member, Wroblewski, had attended a hearing as a private citizen and asked a question about the application of the relevant ordinance; and, that his son was one of the people who had asked the land use board to enforce the ordinance against the applicants.

The Supreme Court held that no party had brought these specific allegations of bias up at the earliest possible time, *i.e.*, during the zoning board proceedings, and therefore never preserved the question. Similarly here, no person has ever asked Mr. Hewitt to disqualify himself from participation in a given application hearing, or cited any specific ground for doing so. Thus, there would be no cause here for disqualification—as there was not in *Andrews*.

Even more apt was the Supreme Court’s handling of allegations that board member Wroblewski contacted other board members “over the holiday weekend, [and] had some lively conversations about the challenges facing the [Kearsarge Lighting Precinct].” Further, Wroblewski’s son was “a lawyer in Brooklyn and had also participated and offered his perspective.” Wroblewski noted in emails that his son was “involved in these discussions” and that he “asked his son if he would consider being Wroblewski’s alternate for the hearing, and recommended that [another member] reach out to [his son] to further discuss that proposal.”

The trial court decided that these off the record, out of business, non-public, non-meeting live and electronic conversations did not evidence improper bias under the “juror standard,” and the Supreme Court agreed. The reason is important: despite a wealth of communication about a particular application with various members of the community, at no point did Member Wroblewski express any opinion about the appeal or the propriety of his son’s complaints to the board. *Id.* at *3 (“Member Wroblewski did not himself express any opinion about the plaintiffs’ appeal or the propriety of his son’s complaint in the email, and there is no evidence that he did so at any other time.”).

The Supreme Court’s ruling that even these lively and detailed *ex parte* conversations about a pending application were not unlawful is entirely consistent with authority from other jurisdictions on the question.

The bar for disqualification is high; no published case has concluded that disqualification was required in quasi-judicial land-use proceedings. An elected local official’s “intense involvement in the affairs of the community” or “political predisposition” is not grounds for disqualification. Involvement with other governmental organizations that may have an interest in the decision does not require disqualification. An elected local official is not expected to have no appearance of having views on matters of community interest when a decision on the matter is to be made by an adjudicatory procedure.

In addition to those general observations, there are three salient principles from the case law that define and drive our analysis in this case. *First*, the scope of the “matter” and “question at issue” is narrowly limited to the specific decision that is before the tribunal. *Second*, because of the nature of elected local officials making decisions in quasi-judicial proceedings, the bias must be actual, not merely apparent. And *third*, the substantive standard for actual bias is that the decision maker has so prejudged the particular matter as to be incapable of determining its merits on the basis of the evidence and arguments presented.

§ 32:18. Disqualifying prejudgment bias, 2 Rathkopf’s *The Law of Zoning and Planning* § 32:18 (4th ed.) (*citing and quoting Beck v. City of Tillamook*, 833 P.2d 1237 (Or. App. 1992)); *see also, In re Opinion of the Justices*, 75 N.H. 613 (1909) (“In a sense all people are interested in rail roads. No one is entirely indifferent on the subject of their development which they afford. But general interest of this character could not have been meant to be a disqualification[.]”) (whether potential railroad commissioner would be disqualified from holding office because he has deposited money in a bank that owns railroad stock shares).

It should go without saying that if the bar for disqualification is high, requiring definitive evidence of actual bias, then the standard for removal must be even more stringent. None of the allegations charged against Mr. Hewitt in this case demonstrated actual bias that led to disqualification, or even gave rise to a vote on the subject. If no fellow board member, no applicant, and no court ever charged Mr. Hewitt with bias, it is hubris, to the say the least, for the City to blithely do so in this forum.

Lastly, under the disqualification statute, RSA 673:14, “[r]easons for disqualification do not include exemption from service as a juror *or knowledge of the facts involved gained in the performance of the member's official duties.*” *Id.* (emphasis added). Very clearly, Mr. Hewitt through the allegedly problematic communications was seeking information “in the performance of the member’s official duties.” He was trying to inform himself and the board of facts he believed relevant to its consideration. Thus, he cannot be disqualified due to his knowledge of those facts.

Scrutinizing the communications that have ostensibly led to these proceedings, there is no evidence in them of Mr. Hewitt having actually prejudged a case.

- Exhibit 1 (Raynes Ave)—Mr. Hewitt commented in an email to other private citizens *before he was a board member* that a proposed project that had *already been approved* was “a monster” in a wetland setback area. While his characterization of the approved project was colorful, it does not signal an intent to prejudge the matter. Moreover, the project was already approved so Mr. Hewitt had no specific decision before him at the time he made the comment.
- Exhibit 2 (Raynes Ave): In the set of emails contained in Exhibit 2, Mr. Hewitt writes to the City Planning Department to obtain documents from its files relating to the subject property at Raynes Avenue. He did so *before* the Planning Board rehearing of the Raynes Avenue application, presumably so that the information could be considered publicly by the Planning Board at its February 17, 2022 rehearing. Applying the *Andrews* interpretation of the “juror standard,” there is no evidence of prejudgment or bias in Mr. Hewitt’s request for public records relating to the applicant’s property. It is a request for information.
- Exhibit 3: March 2022 communications regarding parking: No evidence of prejudgment. Mr. Hewitt asked the Planning Board to take its own prior proceedings regarding this property into account as part of the record of the upcoming hearing. Mr. Hewitt wanted the public record to reflect these earlier decisions and considerations concerning parking, a request by the owner for an expansion of which was on the Planning Board’s agenda. His communications do not evidence prejudgment. They are facts from the City’s own files, which he acquired in the performance of the functions of his office.
- Exhibit 4: Mr. Hewitt made these communications as a private citizen publicly opposed to the project at issue. He had no decision before him on the Planning Board concerning this matter. When he did, he recused himself.
- Exhibit 5: These communications concern environmental litigation over a property that the Planning Board an application for on October 19, 2023. Mr. Hewitt made these communications after opposing that approval because he felt the application was incomplete without evidence of the environmental status of the property. The Planning Department’s own memorandum concerning the application alluded obliquely to the contamination issues, which the Planning Department instructed the Planning Board to ignore. Mr. Hewitt’s position at the hearing was not for or against the application; it was that the application was not complete. He deferred taking a position on it. The emails he

sent, with publicly available materials relating to environmental contamination on the site, were to demonstrate to the Planning Board why he felt the application was incomplete. These communications do not evidence bias. They evidence, again, a desire to obtain more and better information for the Planning Board to consider.

- Exhibit 6: In June of 2023, Mr. Hewitt participated in a pre-hearing consultation by an applicant concerning an application at 581 Lafayette Road. He made recommendations to the applicant for how to improve the application and eliminate clear areas where the application would not comply with the City’s site plan regulations, in particular, a series of encroachments of the applicant’s site plan improvements onto the abutting property. He assumed that the applicant would adopt those changes before moving forward with the planning process. When he learned that the applicant had not in fact made those changes, he wrote to the planning department, which was considering the proposal at a technical advisory committee meeting, to inform the planning department of those defects. To be clear, facts he learned in the course of his work on the Planning Board reflected his earlier feedback and input to the applicant. The juror standard expressly exempts facts learned in the course of a board member’s performance from its application.

These communications are substantially less problematic than even member Wroblewski’s communications in *Andrews*. At worst, Mr. Hewitt’s communications show a health skepticism of the claims of applicants and a desire to get more information before making a definitive decision—that is the opposite of bias. Even “[a] predilection toward a particular decision does not prevent the decision maker from deciding the case fairly.” § 32:18. Disqualifying prejudgment bias, 2 Rathkopf’s *The Law of Zoning and Planning* § 32:18.¹

For these reasons, there is no evidence that Mr. Hewitt’s communications violated the “juror standard” for land use boards. The City’s allegations are devoid of merit and substance. This matter should be dismissed and Mr. Hewitt permitted to serve out his term.

III. Mr. Hewitt’s alleged communications “outside the record” were lawful and wholly consistent with his duties as a Planning Board member.

The other category of alleged malfeasance by Mr. Hewitt is communications related to information “outside the record.” The City has nothing to stand on here, because the Supreme Court disposed of this argument as well in the *Andrews* case. The facts of *Andrews* are directly analogous to the alleged facts in this case, including a body of emails between and amongst people

¹ “[I]n local land use decision making, if courts were to define freedom from bias in a strict dictionary sense of absence of preconceptions, many decisions would probably be struck down, since it is unlikely that zoning decision makers will be totally without opinions concerning the development of their community. In zoning and other cases, courts generally try to distinguish between a strongly held philosophical or policy position as opposed to actual prejudgment of the specific adjudicative facts at issue in a particular case.⁵ As stated by the Connecticut Supreme Court: ‘The law does not require that the zoning authorities have no opinion concerning the proper development of their communities.’” *Id.* (quoting *Furtney v. Simsbury Zoning Commission*, 217 A.2d 319 (Conn. 1970)).

interested in the outcome of the zoning board hearing. The applicants in *Andrews* argued that the repeated reliance of a board member and the ZBA generally “upon information outside of the record to inform its decision in this case thereby further contribut[ed to] the fundamental unfairness of the proceedings and den[ied the plaintiffs] procedural due process.

The Supreme Court rejected this argument definitively, citing and quoting from the matters of *Dietz v. Town of Tuftonboro*, 171 N.H. 614, 618 (2019) and *Biggs v. Town of Sandwich*, 124 N.H. 421, 427 (1984). “We have previously held that ZBA members may base their conclusions upon their own knowledge, experience and observations, as well as upon their common sense. Moreover, the plaintiffs have not shown how, under these circumstances, such outside information amounted to fundamental unfairness so as to constitute reversible error.” *Andrews*, Slip Op. at *3 (cleaned up). The bottom line is that nothing bars a land use board member from ensuring—as Mr. Hewitt attempted to do here—that relevant information in city records, and from the public history of the subject properties, was part of the Planning Board’s consideration. Applying these principles to the facts in the City’s exhibits, it is clear that Mr. Hewitt’s use of information of which he was aware constituted “his own knowledge, experience and observation, as well as ... his common sense.” *Id.*

- Exhibit 1: The materials in Exhibit 1 do not relate to any aspect of Mr. Hewitt’s work for the Planning Board because they occurred prior to his appointment.
- Exhibit 2: The materials in Exhibit 2 concern Mr. Hewitt’s own knowledge, experience and observation about the subject property over time, including his knowledge of wetland related impacts and studies that were part of the public record and which he believed had a bearing on the application.
- Exhibit 3: The materials in Exhibit 3 concern Mr. Hewitt’s own knowledge, experience and observation about the subject property over time, including the previous occasions when the applicant’s needs for parking spaces exceeded its initial approved allotment. Mr. Hewitt applied his common sense that the city’s parking regulations underserved the needs of proposed projects, and wanted to ensure that those issues would be part of the documentary record for the upcoming hearing.
- Exhibit 4: The materials in Exhibit 4 do not relate to any aspect of Mr. Hewitt’s work for the Planning Board because they concern a project he publicly opposed and, in fact, had litigated, and from which he recused himself from decision-making motions.
- Exhibit 5: Mr. Hewitt was aware that the Banfield Road application concerned land that was beset by substantial environmental contamination. The Planning Department, he knew, had some of this information in its files and, in fact, alluded to it in its hearing memorandum. But Mr. Hewitt was aware through decades of community knowledge of the serious nature and extent of the contamination, as well as ongoing litigation over it. This information was “his own knowledge, experience and observation” and therefore, not “outside the record.”
- Exhibit 6: Mr. Hewitt was aware of encroachments onto the neighboring abutter’s lot by the applicant’s improvements on its proposed site plan—because the applicant had already asked the Planning Board to engage in a pre-application consultation that Mr. Hewitt had participated in. Therefore, what he learned in that context is part of his

“knowledge, experience and observation” and fair game for his consideration of the application.

Based on the *Andrews*, *Dietz* and *Biggs* standards, nothing about these communications was unlawful. Not only could Mr. Hewitt rely on his own “knowledge, experience and observations” which included the information he was seeking to ensure made it into the record; but an aggrieved applicant must also show how obtaining the “outside the record” information was “fundamentally unfair.” It is frankly ludicrous that any person could argue that it was fundamentally unfair for Mr. Hewitt to reach out to ensure that the Planning Board duly considered history and information relating to these subject properties that the applicant and the City had elected not to put before the Planning Board—but which was a matter of common knowledge. No applicant would have been able to disqualify Mr. Hewitt on the basis of these communications, and it is an even greater leap to argue that they justify removal from office.

In addition, the City wagged its finger at Mr. Hewitt for sending emails to board members “outside the record” because he was communicating after hours and not during a formally noticed meeting. Setting aside that the Supreme Court found after hours communication to be not-disqualifying in *Andrews*, there is no statutory prohibition on a board member doing so.

RSA 91-A governs public records in New Hampshire. This is what it says about board member email communications:

RSA 91-A:2-a: “I. Unless exempted from the definition of meeting ... public bodies shall deliberate on matters over which they have supervision, control, jurisdiction or advisory power only in meetings held pursuant to and in compliance with the provisions of [this chapter]. II. Communications outside a meeting, including but not limited to sequential communications among members of a public body, shall not be used to circumvent the spirit and purpose of this chapter[.]”

To be sure, any communication by Mr. Hewitt with other board members or the City planning staff would be expected to be public. The City should not have a problem with that. But for an email communication between and amongst all the Planning Board members to constitute a “meeting” requiring public notice and an option for the public to simultaneously participate, a decision would have to be made regarding a matter over which the Planning Board has jurisdiction. RSA 91-A:2, I. There is no “meeting” if there is no decision, and the only consequence of a decision being made during an unnoticed electronic “meeting” between the Planning Board members would be invalid. Furthermore, under RSA 91-A:2-a, the prohibition is against using electronic communications to “circumvent the spirit and purpose of this chapter[.]” RSA 91-A:2-a, II. None of Mr. Hewitt’s communications could be reasonably characterized as such an effort. They were never intended to be non-public, and their obvious purpose was to ensure that important information bearing on these applications was brought before the board for consideration at the appropriate time. To boil it down—these communications violated no open meeting or public document provisions; the public is free to see them; they are evidence of

nothing more than a board member doing his job. To characterize them as “malfeasance” is pure libel.

IV. “Malfeasance” requires more than zealous performance of one’s duties; it requires a willful, corrupt or criminal intent.

The City is trying to shoehorn a series of modest departures from what it deems “normal” board communication into the cauldron of “malfeasance.” But malfeasance is a word with a specific meaning. In *Williams v. City of Dover*, 130 N.H. 527 (1988), the only case in which our Supreme Court has ever had occasion to consider removal of a land use board member, the Court canvassed the various definitions of malfeasance in the removal context. It observed that malfeasance had been identified as “the general misuse of public office”; “wrongful conduct that affects, interrupts or interferes with the performance of official duties”; “the doing of an act which ought not to be done”; “willful or corrupt action in the discharge of official duties”; and an “intentional act or omission relating to the duties of a public office.” *Id.* at 529-31.

Williams was ultimately disposed of on other grounds. Specifically, the land use board member was found not to have been acting in his capacity as a board member when, expressly as an agent on behalf of his employer, he asked for driveway and curb-cut allowances that he knew to be contrary to the local ordinance. *Id.* at 31-32.

Williams, however, does not provide a direct answer as to which of the definitions of “malfeasance” should be utilized in considering allegedly malfeasant conduct. Other jurisdictions that have considered “malfeasance” as a ground for removal from office, however, have determined that “malfeasance” requires malicious intent. Chapman, writing in the Kentucky Law Journal on the removal of county clerks, observes:

Malfeasance is the unjust performance of some act which the party had no right, or which he had contracted not, to do. Misfeasance is the wrongful and injurious exercise of lawful authority, or the doing of a lawful act in an unlawful manner. Nonfeasance is the nonperformance of some act which ought to be performed.

Malfeasance is the worst of the three, requiring “*evil conduct or an illegal deed, the doing of that which one ought not to do, the performance of an act by an officer in his official capacity that is wholly illegal and wrongful.*” If there is no “evil intent or motive,” the act “*must have been done with such gross negligence as to be equivalent to fraud.*” More recently, the Kentucky Supreme Court has expressly held that evil intent is not absolutely required, and that willful, intentional, or grossly negligent conduct would suffice. Nevertheless, criminal culpability for malfeasance can only be shown by “a wrongful or unjust act that was an abuse of power.” Regardless of its exact definition, there is little question that malfeasance is distinguished from “[a]n honest mistake of an officer concerning the discharge of an official duty, although it may be the result of ignorance.” *The gravamen of the offense appears to be corruption or negligence so extreme as to be indistinguishable from intentional misconduct.* Examples of malfeasance include:

- A county judge knowingly ordering work on a non-county road, “violat[ing] both the laws of Kentucky and the regulations of [the county],” and demoting the worker who had reported the improper work.
- A justice of the peace taking money into court to be paid out to a claimant, and telling the payor it had been paid, but keeping the money and later claiming it was to satisfy a court-cost debt.
- A clerk underreporting collected fees of over \$14,000 over the course of ten years, which, although not intentional, was “gross negligence, carelessness and recklessness so ‘as to show an utter want of care or of concern, and such as would be tantamount to a fraud, and therefore could be said to be fraudulently done.’”
- A county judge “willfully, unlawfully, knowingly, and wrongfully exonerat[ing] certain named persons of their state taxes in various respective sums, and ... thereby wrongfully and fraudulently depriv[ing] the state of specified sums of money as being taxes on the assessments so exonerated.”
- A coroner holding of a murder inquest with no belief (or reason to believe) in foul play.
- A constable accepting bribes to not pursue cases.
- A county judge “willfully, wickedly, maliciously and corruptly issu[ing]” an arrest warrant on a “pretended charge.”
- A justice of the peace “willfully and corruptly failing and refusing to report the money collected on fines as provided by section 4252, Kentucky Statutes.”

SHAWN D. CHAPMAN, *Removing Recalcitrant County Clerks in Kentucky*, 105 Ky. L.J. 261, 316–17 (2017).

In ¶ 100,012 *Phh Corporation, Et Al. v. Consumer Financial Protection Bureau.*, Fed. Sec. L. Rep. P 100012, the U.S. Court of Appeals for the D.C. Circuit opined that “[m]alfeasance’ was defined as ‘the doing of an act which ought not to be done; wrongful conduct; especially official misconduct; violation of a public trust or obligation; specifically, the doing of an act which is positively unlawful or wrongful, in contradistinction to misfeasance.’” *Id.* at 12. The Court noted in an accompanying footnote:

Contemporary definitions of malfeasance are generally comparable. *See, e.g., Malfeasance, Black's Law Dictionary* (10th ed. 2014) (‘A wrongful, unlawful, or dishonest act; esp., wrongdoing or misconduct by a public official.’); *see also Daugherty v. Ellis*, 97 S.E.2d 33, 42-43 (W. Va. 1956) (collecting definitions of ‘malfeasance’). Courts have likewise interpreted malfeasance to mean corrupt conduct that is wholly wrongful, if not positively unlawful. *See, e.g., State ex rel. Neal v. State Civil Serv. Comm'n*, 72 N.E.2d 69, 71 (Ohio 1947) (‘Nonfeasance is the omission of an act which a person ought to do; misfeasance is the improper doing of an act which a person might lawfully do; and malfeasance is the doing of

an act which a person ought not to do at all.’) (quoting *Bell v. Josselyn*, 69 Mass. (3 Gray) 309, 311 (1855)).

Id. at 12, n. 10 (interpreting what the Court called the “INM standard”).

What unites all of these examples is a thread reflecting fundamentally and willfully corrupt, illegal or criminal acts, as opposed to procedural or communication missteps. These are acts suffused with *scienter*, or a conscious intent to defraud or corrupt. SCIENTER, Black’s Law Dictionary (11th ed. 2019) (“A mental state consisting in an intent to deceive, manipulate, or defraud.”). Viewed in this light, Mr. Hewitt’s communications and actions fall so well short of “malfeasance” that this effort to remove him constitutes bad faith:

The City is torturing “malfeasance” beyond all recognition in asserting that a board member’s zealous efforts to do his job in what he believed, in good faith, to be the public interest constitute “malfeasance.” If Mr. Hewitt’s conduct is deemed by the City Council to be malfeasance, then “people of common intelligence must necessarily guess as to its meaning and differ as to its application,” rendering it unconstitutionally vague. *See Daily v. City of Philadelphia*, 417 F.Supp. 597, 618 (E.D. Pa. 2019). In truth, we know what “malfeasance” is. It is not sending emails that the City attorney would prefer not to see sent.

V. As a Planning Board member, Mr. Hewitt does not lose his First Amendment right to speak on issues that affect and concern him.

Relatedly, the essence of the Supreme Court’s *Williams* opinion was that when a land use board member was acting outside his official capacity, those actions categorically cannot be grounds for removal. 130 N.H. at 531. This holding completely disposes of one of the alleged instances of “malfeasance” (July 2022 Exhibit 4) involving Mr. Hewitt’s expressed concerns about a project at 710 Middle Road, to which he was an abutter.

The City knows that Mr. Hewitt was acting not as a Planning Board member, but as a citizen. In the City’s own words, “Mr. Hewitt submitted a *citizen request* for a Capital Improvement Project through the City’s on-line application portal [in]... an attempt to express his distaste for and objections to an *approved* project subject to development compliance review by City staff.” Charging Document at 2 (emphasis added). Mr. Hewitt, acting as a private citizen opposed to a project that was approved by the Planning Board before he had been appointed, then sent emails to a member of the Planning Department staff, copying the chairman of the Planning Board, the planning director and the principal planner of the City. In those emails, he asked detailed questions about the applicant’s compliance with the conditions of the Planning Board’s original approval. Just like the land use board member in *Williams*, Mr. Hewitt was acting on his own behalf as an abutter, not as a Planning Board member.²

² Technically, the *Williams* board member was acting on behalf of his employer, the Elliot Rose Company, not himself—but he was not acting as a board member.

At no point in any of the related email exchanges does Mr. Hewitt assert his status as a Planning Board member. Nor does he threaten any professional staffer with any kind of repercussion (which he would have no power to effect anyway). Nor does he imply that he has pre-judged a matter because the Planning Board had already approved the permit in question. He was following up, as any citizen would be permitted to do, to check on the status of the project, and whether the applicant had complied with the requisite conditions imposed by the Planning Board at the time of approval. The notion that Mr. Hewitt was wielding his power as a Planning Board member through these emails is a complete fabrication. Just as the appellants did in *Williams*, the City is trying to argue that Mr. Hewitt’s mere status as a Planning Board member means, *ipso facto*, that every action he takes is on behalf of the Planning Board. The City should know better. The Supreme Court rejected that kind of inferential bootstrapping in *Williams*:

The trial court relied on the fact that, although Williams acted at all times as an employee of the Elliott Rose Company, “the council could reasonably find that [Williams], while a member of the very board which [dealt] with the driveway ordinance, ignored the ordinance....” Furthermore, the court concluded that because a building permit issued, arguably in reliance on Williams’ position on the planning board, “the [city] council could reasonably [have found] that ... something was done which [Williams] ought not to have done.” This is not enough to support a finding of malfeasance in office.

Neither the findings of the trial court nor anything in the record before us supports the conclusion that Williams’ actions were directly related to or connected with the performance of his duties as a planning board member... Absent such a relationship, we conclude that it was error to order his removal from office for malfeasance. ... [S]uch dealings *do not fall within the scope of malfeasance* under the existing statute.

Williams, 130 N.H. at 531.

In short, a Planning Board member does not lose his right to oppose a project that directly affects him, and from which he recused himself at the time of the Planning Board decision. Mr. Hewitt was, like the land use board member in *Williams*, not acting in his official capacity in pursuing the information he sought about 710 Middle Road. He had every right under the First Amendment to advocate for his rights with any member of the City staff or the Planning Board. These rights included his right *as an abutter* to ensure that the City compels the applicant’s compliance with conditions on a permit. For these reasons, Mr. Hewitt’s alleged “violations” under Exhibit 4 (“July 2022”) are not grounds for removal.

Conclusion and Request for Relief

The allegations charged against Jim Hewitt are without merit, and the City knows it—or, should know it based on the controlling case law. The City Council has a last opportunity to

terminate this embarrassing abuse of power by a government against one citizen volunteer. It should seize that opportunity and deny the City's request to remove Mr. Hewitt. Removing him on the threadbare basis presented by the City in its charging letter and exhibits will constitute a vexatious, oppressive, bad faith decision for which Mr. Hewitt, on appeal, will be seeking attorney's fees and costs and initiating damages claims for defamation. It is time to put an end to this charade and dismiss this matter. Let Mr. Hewitt finish his appointed term as a dedicated Portsmouth Planning Board member.

Respectfully submitted,

JAMES HEWITT

By and through his attorneys,

ORR & RENO, P.A.

February 9, 2024

By: /s/ Jeremy D. Eggleton

Jeremy D. Eggleton, No. 18170

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Certificate of Service

This Memorandum has been provided to the City of Portsmouth and the City Attorney's office on this the 9th day of February, 2024, for inclusion in the public agenda for the City Council's meeting on February 12, 2024.

/s/ Jeremy D. Eggleton

THE STATE OF NEW HAMPSHIRE

ROCKINGHAM, SS

PORTSMOUTH CITY
COUNCIL

City of Portsmouth

v.

Hewitt

Removal Hearing

February 12, 2024

HEWITT'S REQUESTS FOR FINDINGS AND RULINGS/PROPOSED MOTION

1. The City of Portsmouth has charged James Hewitt, a member of the Planning Board, with removal under RSA 673:13, I, which reads: "After public hearing, appointed members and alternate members of an appointed local land use board may be removed by the appointing authority upon written findings of **inefficiency, neglect of duty, or malfeasance in office.**" *Id.* (emphasis added).
2. The Council has before a first Motion asking the Council to find that the City has met its burden of proving that Mr. Hewitt has committed malfeasance in office. The Council has voted in the negative and that motion did not pass.
3. The City's second Motion to remove Mr. Hewitt from the Planning Board, which was contingent on the Council passing the first Motion, is therefore moot.
4. Mr. Hewitt shall continue to serve out his term as member of the Portsmouth Planning Board.

Respectfully submitted,

JAMES HEWITT

By and through his attorneys,

ORR & RENO, P.A.

February 9, 2024

By: /s/ Jeremy D. Eggleton

Jeremy D. Eggleton, No. 18170

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/s/ Jeremy D. Eggleton

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

January 27, 2022

MINUTES

MEMBERS PRESENT: Beth Moreau, City Council Representative; Karen Conard, City Manager; Ray Pezzulo; Peter Harris; Corey Clark; Rick Chellman; Greg Mahanna; Jane Begala; James Hewitt will be participating via Zoom Franco DiRienzo, Alternate; Andrew Samonas, Alternate

ALSO PRESENT: Peter Britz, Environmental Planner; Beverly M. Zendt, Planning Director;

MEMBERS ABSENT:

.....

I. ELECTION OF OFFICERS

City Council Representative Moreau moved to nominate Corey Clark as Chair and Rick Chellman as Vice Chair, seconded by City Manager Conard.

City Council Representative Moreau commented that Corey Clark joined the Planning Board in June 2017 as an alternate member and was promoted to a full-time voting member last year by former Mayor Rick Becksted. As a Chief Construction Engineer at NH Environmental Services Mr. Clark has the skills to Chair the Planning Board. In his time on the Board, he has demonstrated the ability and expertise to support new members. His ability to listen and thoughtfully respond to members will make him a good Chair. Mr. Chellman joined the Board a year ago. His tenure is not long, but he has shown that he is knowledgeable in Board matters and would be serve well as the Vice Chair.

Ms. Begala commented that it was difficult to vote on this matter because they don't know everyone on the Board. There should be a better process to share information about the members and who is interested in running.

Mr. Harris commented that he had an alternate nomination for Chair. Mr. Britz commented that they needed to address the motion on the table first.

The motion failed to pass by a 4-5 vote. Mr. Harris, Mr. Chellman, Ms. Begala, Mr. Mahana, and Mr. Hewitt opposed.

Mr. Harris moved to nominate Rick Chellman as Chair and Corey Clark as Vice Chair, seconded by Mr. Mahana.

Mr. Harris commented that Mr. Chellman has been on the Planning Board for a year, has good knowledge of the State statutes, and an engineering background. Mr. Chellman will provide helpful and needed leadership going forward.

The motion passed by a 7-2 vote. City Council Representative Moreau, and Ms. Begala opposed.

II. APPROVAL OF MINUTES

A. Approval of the Planning Board minutes from the December 16, 2021 and the December 30, 2021 meeting.

City Council Representative Moreau moved to approve the minutes from the December 16, 2021, and the December 30, 2021, meetings, seconded by Vice Chairman Clark.

Chairman Chellman commented that “per view” should be “purview.” It is one word.

The motion passed by a 6-0-3 vote. Mr. Hewitt, Ms. Begala and Mr. Mahana abstained from the vote because they were not present at the meetings.

City Manager Conard moved to suspend the rules to vote to postpone the applications for 3400 Lafayette Rd., 325 Little Harbor Rd., and 3548 Lafayette Rd., seconded by Vice Chairman Clark. The motion passed unanimously.

City Manager Conard moved to postpone the applications for 3400 Lafayette Rd., 325 Little Harbor Rd., and 3548 Lafayette Rd., seconded by Vice Chairman Clark. The motion passed unanimously.

III. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

A. The request of **Austin Repair & Renovation LLC, (Owner)**, for the property located at **27 Shaw Road** requesting Preliminary and Final Subdivision approval.

City Council Representative Moreau moved to determine that the application is complete according to the Subdivision Regulations and to accept the application for consideration, seconded by Vice Chairman Clark. The motion passed unanimously.

SITE PLAN REVIEW

- A. **REQUEST TO POSTPONE** The request of **Monarch Village, LLC (Applicant)**, on behalf of **Neveesha Hospitality, LLC (Owner)**, for property located at **3548 Lafayette Road** requesting Site plan approval. **REQUEST TO POSTPONE**

This request was postponed to the February Planning Board Meeting.

- B. The request of **Sagamore Corner LLC, (Owner and Applicant)**, for the property located at **960 Sagamore Avenue** requesting Site Plan Approval.

City Council Representative Moreau moved to determine that the application is complete according to the Site Plan Review Regulations and to accept the application for consideration, seconded by City Manager Conard. The motion passed unanimously.

IV. PUBLIC HEARINGS -- OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. **REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting a wetland Conditional Use Permit under section 10.1017 to construct 50 town homes on an undeveloped lot. The (Applicant) is proposing five areas of wetland impact for a total of 21,350 square feet of permanent impact and three areas of temporary impact for a total of 2,350 square feet. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**

DISCUSSION AND DECISION OF THE BOARD

This request was postponed to the February Planning Board Meeting.

- B. **REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval for construction of a 50-unit multi-family residential development that includes community space and related landscaping, drainage, paving, utilities and other site improvements. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**

DISCUSSION AND DECISION OF THE BOARD

This request was postponed to the February Planning Board Meeting.

- C. The request of **Gregory J. Morneault and Amanda B. Morneault (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting a Wetland Conditional Use Permit under Section 10.1017 of the Zoning Ordinance to impact 5,062 square feet of wetland buffer and 45 square feet of tidal wetland. The proposed new home and existing turnaround is partially within the 100' tidal buffer zone of the North Mill Pond. In addition to the new home the applicant is proposing to remove an existing gravel turnaround and install a new paved parking apron for City vehicles to turn around. This new turnaround and the City pump station are all within a new easement. In addition, there is a plan to upgrade the stormwater outfall to protect against erosion. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District and Historic District. (LU-20-222)

SPEAKING TO THE APPLICATION

John Chagnon from Ambit Engineering and Attorney Tim Phoenix spoke to the application. Mr. Chagnon commented that they appeared at the December meeting, but they would review the plan set because the Board had new members. This is a long skinny lot that involves a subdivision. The existing house is on the west end, and that will remain. The lot provided an easement when the Bypass bridge was reconstructed for a water main connection. The lot on the east is predominantly vacant except for a city sewer pump station and gravel turnaround. This plan will create an easement for that pump station and the turnaround. The turnaround will be a different configuration with this plan. This site is adjacent to the North Mill Pond. The lot slopes from west to east. Currently there is a catch basin pipe and outfall that discharges directly to the North Mill Pond. As part of the subdivision application, the applicant wanted to show a potential development that could go on the subdivided lot. It will be a single-family residence. The existing gravel turnaround will be removed, and it will be replaced by a paved turnaround and buffer plantings. This application went to the BOA for a number of variances. The lot width and placement of the house was approved. The plan includes a silt fence and silt sock during construction. The house will connect to existing City utilities. Mr. Chagnon spoke to the CUP application. The subdivision approval was granted at the November meeting. At that time the Planning Board had some concerns, questions, and suggestions for the CUP application. As a result, they have made some revisions. They have reduced impact by moving the garage to the west side of the house. The previous plan had 1,600 sf of impact; this plan has 900 sf of impact. The house was shifted to the west as well. The garage doors were turned to face Northwest St., which reduced the amount of pavement needed for the driveway. The applicant agreed to reduce the width of the building as well. Mr. Chagnon reviewed the Wetland CUP criteria and discussed how the application complied with it.

1. The first is that the land is reasonably suited to the use, activity or alteration.
 - a. Mr. Chagnon noted that this was a single-family residence in a residential zone. The street has the required utilities and the plan shows the placement and grading of the proposed house will work with land.
2. The second is that there is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.
 - a. Mr. Chagnon noted that the lot narrowed toward the west. The structure is as far west as possible given the setback relief that was granted by the ZBA. The garage is as small as possible. The majority of the structure is located outside of the wetland buffer. There is no other location that this could move to be further outside the buffer.
3. The third is that there will be no adverse impact on the wetland functional values of the site or surrounding properties.
 - a. Mr. Chagnon noted that the plan would remove 2,000 sf of existing gravel from the wetland buffer. It will be replaced with buffer plantings and soil. This proposal will improve the functions and values of the pond. Additionally, at the applicant's expense, they are proposing to improve the outfall that is currently eroding.
4. The fourth is that the alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.
 - a. Mr. Chagnon noted that the area was being altered to go back to vegetation. There will be limited grading. The house is designed to fit the topography. There will be a limited amount of vegetation removed. They are only removing what is necessary to place house on the site.
5. The fifth is that the proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.
 - a. Mr. Chagnon responded that the alteration is an improvement to the buffer. There is no impact to the resource. It is just the buffer. The Planning Board is allowed to approve impacts to the buffer as part of a CUP application. It is a balancing act between applicant's proposal and what the Board can allow without impacting the resource. The gravel area will be restored to natural vegetated state which will provide filtration to runoff. The house is placed behind a structure that is closer to the resource. Another structure that is closer to the resource was recently approved to do a renovation. There will not be any impact to the resource, and it is the least impacting alternative.
6. The sixth is that any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.
 - a. Mr. Chagnon noted that this proposal was restoring 2,000 sf of a wetland buffer. They are asking for 978 sf of permanent impact. This project meets the criteria.

Mr. Begala questioned if this property was in the flood hazard zone. Mr. Chagnon pointed out the flood hazard line on the plan. The proposed house is outside the flood hazard line and is 2 feet above the required elevation. Ms. Begala commented that a smaller house could reduce the impact to the buffer. Mr. Chagnon responded that the criteria talks about no location outside of the buffer that is feasible or reasonable. This is a reasonably sized structure. The size has

already been reduced a number of times through this process. Ms. Begala questioned what the square footage of the house was. Mr. Chagnon responded that the footprint was 1,491 sf. Ms. Begala noted that it looked bigger than house on the North Mill Pond side of the street. Mr. Chagnon responded that they are very similar in size. The house along the pond now has a garage structure as well.

City Council Representative Moreau questioned if they would be digging a basement for this. Mr. Chagnon responded that it would have a crawl space.

Chairman Chellman questioned if they got any new variances for the setbacks since coming here. Mr. Chagnon responded they did not. They were moving forward with variances they have already received. Chairman Chellman questioned if they would need new variances if they moved the same structure more west. Mr. Chagnon confirmed that was correct.

Mr. Phoenix commented that they don't think it's necessary or reasonable to move the house and get new variances. They are not particularly easy to get. They were approved already. The Board approved the subdivision, which suggests that they can build on the lot. The proposal includes over 50% reduction of impervious surface and the reestablishment of buffer plantings. They will be building the truck turnaround for the City and repairing the outfall. They are asking the Board to review the application on balance. By the time they hit the property line a small part of the house would still be in the buffer, and the owner would not be able to walk around the whole house on their own property. No one has said this proposal is harmful to the resource. The Board needs to look at this in the context of the surrounding area. This is a traveled public street with houses closer to the water and docks in the pond. They have met the criteria to the extent that is reasonable. The Staff Memo says that the plans as presented reflect significant changes from the November plan. This was originally intended to be a duplex. That was not received well, so it was amended to be a 1,900-sf single family home. Then it was reduced to 1,700 sf and now it is under 1,500 sf. The house was also moved 18 feet to the west and the width was reduced.

Vice Chairman Clark commented that they brought this proposal to the Conservation Commission in November and questioned if they had any concerns with those stipulations. Mr. Chagnon responded that the plans were revised to accommodate the stipulations. The buffer plantings were originally near the turnaround, but they were moved to accommodate snow plowing. They looked at putting in porous pavement, but it is too close to the pond for the water to infiltrate. They would have to put in an underdrain. They will add filtration to help deal with surface runoff. It will improve the situation. Mr. Clark questioned if they would follow NOFA lawn management practices as well. Mr. Chagnon confirmed it was already included in the plan.

PUBLIC HEARING

Kendra Ford 30 Pine St. questioned if they should be building so close to tidal water knowing that sea levels are rising.

Mr. Chagnon commented that the City has done a good job recognizing sea level rise and adopting an ordinance to extend the flood hazard requirements. This proposal is out of that zone, but also meets the grade requirements.

Chairman Chellman asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark moved to grant the request as presented, seconded by City Council Representative Moreau.

Vice Chairman Clark commented that this application has been to several Boards and presented to some of them multiple times. They have made changes that have improved the plan. The version they presented to the Conservation Commission did not pass. When it came to the Planning Board, they had a good discussion about moving more out of the buffer. The applicant has done that and went through the criteria. Some of it is in the buffer, but the buffer is currently disturbed and has not treatment. This plan is an overall improvement to the pond and improvement to the storm water coming off the site.

City Council Representative Moreau questioned if this proposal addressed some of the outstanding concerns the Conservation Commission had at their meeting. Mr. Britz responded that they have addressed some of the concerns including the buffer plantings. City Council Representative Moreau questioned if they were allowed in to restrict them from coming back to ask for any more paver areas or structure in the buffer. Mr. Britz responded that they have a limited exemption for expanding in the buffer that is tracked over time.

City Council Representative Moreau requested to add a stipulation stating that there could be no further impact for this specific lot in the buffer. Vice Chairman Clark accepted the amendment.

The motion passed by an 8-0-1 vote. Mr. Hewitt abstained.

D. REQUEST TO POSTPONE INDEFINITELY The request of **ADL 325 Little Harbor road Trust (Owner)**, for the property located at **325 Little Harbor Road** requesting a Wetland Conditional Use Permit under section 10.1017. The applicant is proposing 81,865 square feet of disturbance in the tidal wetland buffer the disturbance includes replacement of an existing home with a new home with a footprint of 3,382 square feet, construction of a new garage 1,300 square feet, renovation of an existing guest cottage 1,217 square feet, construction of a pool cabana 368 square feet and replacement of an existing shed 384 square feet along with other impacts/improvements including utility connections, playground, drainage improvement and extensive landscape improvements. Said property is shown on Assessor Map 205 Lot 2 and is located in the Rural (R) and Single Residence A (SRA) Districts. **REQUEST TO POSTPONE INDEFINITELY (LU-21-189)**

DISCUSSION AND DECISION OF THE BOARD

This was postponed to the February Planning Board Meeting.

V. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. The request of **Austin Repair & Renovation LLC, (Owner)**, for the property located at **27 Shaw Road** requesting Preliminary and Final Subdivision approval to subdivide one existing lot with 57,354 square feet of lot area and 230 feet of street frontage on Shaw Road and 127 feet of street frontage on Walker Bungalow Road into 2 lots as follows: Proposed Lot 1 with 34,205 square feet of lot area and 230 feet of street frontage on Shaw Road; Proposed Lot 2 with 23,149 square feet of lot area and 127 feet of street frontage on Walker Bungalow Road. Said property is shown on Assessor Map 223 Lot 18 and is located in the Single Residence B (SRB) District. (LU-21-203)

SPEAKING TO THE APPLICATION

Joe Coranati from Jones and Beach Engineers spoke to the application. The proposal is to subdivide one frontage lot off Walker Bungalow Rd. The existing house would stay on a conforming lot. The new lot would have adequate frontage and lot area. The new drive would be off Walker Bungalow Rd. The area is proposed to have City sewer sometime in the near future. They have requested a waiver to put in a holding tank until that sewer is put in.

Vice Chairman Clark requested more details on the 6-inch PVC pipe at the end of Cliff Rd. and questioned if they would need a flowage easement. Mr. Coranati responded that they thought it was an under drain of some sort.

Mr. Britz commented that a member of the public called in about that pipe today. Their statement was that the pipe was an out flow of a stream. Under heavy rain events it discharges onto this property. The pipe crosses under one property completely underground and is daylighted two properties up.

City Council Representative Moreau requested more detail on the storage tank. Mr. Coranati responded that it would be a 2,500-gallon holding tank that will be put in the ground. It has alarms for when it starts to reach capacity and it will need to be pumped out. It is not uncommon to use these in areas with an upcoming sewer. It will take a while for the house to be built and occupied. They need state approval for the holding tank. It will be installed and operated by the owner. It will not have a leach field.

Ms. Begala noted that 40% open space was required in the SRB zone and questioned if the new lot would have that. Mr. Coranati confirmed that it would. They can add that calculation to the plan.

Mr. Pezzullo commented that the applicants will need DES approval for a holding tank prior to the building permit. The plan should include a rain garden sizing and detail. Typically, a rain garden would have an overflow structure that connects to a catch basin. Mr. Coranati responded that there was a catch basin at the edge of the rain garden. The rain garden is 6 inches lower than the catch basin. Mr. Pezzullo commented that they should add an overflow. Mr. Coranati confirmed that they would.

Mr. Chellman questioned if this would be a 3-bed single family residence. Mr. Coranati confirmed that was correct. Mr. Chellman questioned if it would be pumped every week. Mr. Coranati responded that the calculation accounts for 150 gallons per day per bedroom. The reality of that flow is closer to 70 gallons per day per bedroom. If not all of the bedrooms are full, then it would be even less. Mr. Chellman questioned if they have done a holding tank in the City before. Mr. Coranati responded that they have not in Portsmouth. Mr. Chellman questioned if there was a staff approval process. Mr. Britz responded that it was a State approval. Mr. Pezzullo added that the future sewer would weigh into the decision.

PUBLIC HEARING

Sheraton Lloyd of 45 Cliff Rd. commented that she was the one who called about the PVC pipe. The pipe is at the top left corner where Cliff Rd. is. That is the open-air terminus for what was originally a complete stream system. It is underground on the abutting property and Ms. Lloyd's property has the original stream through her back yard. Beyond that there is more piping. It is not connected to the pond at Walker Bungalow Rd. When there are heavy rains the stream ends up blasting out of the pipe 3-4 feet. It floods the back of that yard. It is a continuous stream. It is always wet and flowing. They should evaluate if this is wetland or not. It is a wet neighborhood, and the area is delicate.

Second time speakers

Sheraton Lloyd of 45 Cliff Rd. commented that the Planning Board should stipulate that at no point in time can that pipe be blocked or plugged. They cannot impact the flow of that stream.

Mr. Coranati commented that Gove Environmental Services walked the property and verified there were no areas on the property that qualified as wetlands. There is a note on the plan that says there were no wetlands observed on the premises.

Chairman Chellman asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark moved to grant the waiver request for Section 6.11 of the Subdivision Regulations, seconded by City Council Representative Moreau.

Vice Chairman Clark commented that a holding tank was not ideal, however, in this instance there is a planned future sewer connection. The holding tank will also go through DES review.

The motion passed unanimously.

City Council Representative Moreau commented that there should be a stipulation to determine the ownership of the pipe and ensure the drainage continues to work. Chairman Chellman questioned if this had a prescriptive easement. City Attorney Sullivan responded that he did not know. City Council Representative Moreau questioned if adding a stipulation to determine what easements were needed covered that enough. City Attorney confirmed it was.

Mr. Pezzullo commented that they should include a stipulation about rain garden maintenance responsibility.

Vice Chairman Clark moved to **grant** the request, seconded by City Council Representative Moreau with the following stipulations:

Conditions Precedent:

- a. *Lot numbers as determined by the Assessor shall be added to the final plat.*
- b. *Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat.*
- c. *GIS data shall be provided to the Department of Public Works in the form as required by the City.*
- d. *The final plat and all easement deeds shall be recorded concurrently at the Registry of Deeds.*
- e. *The applicant can demonstrate the availability of sewer or approved onsite septic or septic holding tank approved by NHDES prior to Building Permit issuance.*
- f. *All lending parties have provided release and approval of the subdivision.*
- g. *Add design details for rain garden and provide a riser overflow structure for rain garden.*
- h. *Owner shall provide for maintenance of rain garden and add to the deed for perpetuity by way of notation on the plan.*
- i. *Plans shall show calculation of 40% open space on existing and proposed lots.*
- j. *Applicant shall work with the City to determine ownership of pipe and ensure flow is not restricted, and resolve any easement rights.*
- k. *Plans must be stamped with wetland determination.*

The motion passed unanimously.

- B. REQUEST TO POSTPONE** The request of **Monarch Village, LLC (Applicant)**, on behalf of **Neveesha Hospitality, LLC (Owner)**, for property located at **3548 Lafayette Road** requesting Site Plan Review and a Conditional Use Permit as permitted under 10.5B41.10 of the Zoning Ordinance to allow for the demolition of 6 structures; the redevelopment of 6 existing structures to create 6 units in building 8, 15 units in building 2, 5 units in building 4, 2 units in building 5, 9 units in building 7; the construction of 4 new structures to create 12 units in building 3 with a 4,303 square foot footprint, 24 units in building 6 with a 7,048 square foot footprint, a 250 square foot storage structure and an 825 square foot storage structure; creating a total of seventy-five (75) residential units with 123 parking spaces where 113 spaces are required. Said property is shown on Assessor Map 297 Lot 6 and lies within the Gateway Corridor (G1) District. **REQUEST TO POSTPONE (LU-21-90)**

DISCUSSION AND DECISION OF THE BOARD

This application was postponed the February Planning Board Meeting.

- C.** The request of **Sagamore Corner LLC, (Owner and Applicant)**, for the property located at **960 Sagamore Avenue** requesting Site Plan Approval to demolish the existing mixed use structure and construct a 6-unit residential structure totaling 21,066 square feet of gross floor area, 21 parking spaces as well as associated utilities, lighting, landscaping, and site improvements. Said property is shown on Assessor Map 201 Lot 2 and is located in the Mixed Residential Business (MRB) District. (LU-21-204)

City Manager Conard moved to discuss New Business items C and D together and vote separately, seconded by City Council Representative Moreau. The motion passed unanimously.

SPEAKING TO THE APPLICATION

Attorney Francis (FX) Bruton, applicant Eric Cates, Eric Weinrieb and Corey Belden from Altus Engineering, and Robbi Woodburn from Woodburn & Company spoke to the application. Mr. Bruton commented that the project was a renovation of the Golden Egg. The Golden Egg was close to Sagamore Ave. Patrons often parked in the right of way while visiting it. The building is in disrepair and this plan dresses up the back side of the property, which has been a concern to neighbors. The lot contains a significant amount of impervious surface. It also lacks drainage mitigation features. There is a dumpster and debris in the back of the lot. The lot is encumbered by the 100-foot wetland buffer. There is a small portion of wetlands in the rear lot. That pushes everything forward. The plan is to build a 6-unit building. The first floor will have enclosed heated parking. The driveway will go out to Sagamore Grove. The project has been through a lot of review by the City. It has been to TAC, the Conservation Commission, and has had Planning Staff discussions. As a result, they came up with a plan that will take away 750 sf of existing impervious surface in the buffer. That will leave 0 sf of impervious in the buffer. The remaining CUP is to construct drainage and allow 1,100 sf of temporary disturbance in the buffer. There will be a 10 by 10 pervious patio in the buffer. The original proposal had 8 units,

but it was reduced to 6 units after abutter input. This proposal has unanimous support from the abutters. They have worked with City Staff and Boards to come up with plan that they will appreciate and approve. All conditions of approval set forth by staff are acceptable.

Mr. Weinrieb commented that this was a tired site, and the back of the house is deteriorated. The gravel parking lot is in the buffer. The front pavement blends with the road and right of way. This proposal is just for the Golden Egg site. The proposal is to eliminate parking in front and put in a new 6 unit building with direct access off Sagamore. There will be basement parking for unit owners and 5 visitor parking outside. There will be a handicap inside and outside as well. There will be permeable pavement for the access way and parking spaces. The ramp for the garage and the right of way for surface parking will be impervious. Currently the site is highly impervious. This proposal will be enhancing stormwater management in every aspect. There will be permeable porous pavement and storm water will get treatment on the area adjacent to the buffer. The pavement in the right of way will be removed and vegetated. The site between the building and right of way will have a sub-surface storm water treatment system and it will discharge into a catch basin. The site has 25,000 sf of impervious surface. There will be a reduction of 8,400 sf with this plan. The proposed water service for domestic and fire will come off Sagamore Ave. A holding tank will be installed as a temporary measure until the sewer comes forward. The area is not part of the base bid for sewer, but it's an add alternate. Their understanding is that the City can decide on doing it. It is part of the Consent Decree meaning they will be on sewer at some point. They don't expect to be online with the project until the summer of 2023. The hope is that as they move forward, they will know if there is a need for the holding tank or if they can connect to the sewer. The holding tank will only be installed if needed. There is a robust planting plan including wetland buffer enhancements and street scape planting. There is 400 sf of wetland on the site and 13,650 sf of wetland and buffer on the parcel. There is already impervious disturbed area in the buffer. Post construction there will be 0 sf in the buffer. They will only be grading and adding a 10 by 10 permeable patio grilling area in the buffer. They are not allowed to have grills on a deck by code, so they are putting in the patio for that. Mr. Weinrieb reviewed the Wetland CUP criteria and discussed how the application complied with it.

1. The first is that the land is reasonably suited to the use, activity or alteration.
 - a. Mr. Weinrieb responded that there was no alternative. They are going to make the site better and enhance the buffer.
2. The second is that there is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.
 - a. Mr. Weinrieb responded that the gravel area provides no buffer or storm water treatment. This plan will be enhancing the site and providing treatment.
3. The third is that there will be no adverse impact on the wetland functional values of the site or surrounding properties.
 - a. Mr. Weinrieb responded that they were not impacting any natural area because it is all disturbed.
4. The fourth is that the alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.
 - a. Mr. Weinrieb responded that this was the least impacting. The plan was removing impervious and adding buffer and storm water treatment.

5. The fifth is that the proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.
 - a. Mr. Weinrieb responded that they will return it to a natural state and create a significant natural buffer.
6. The sixth is that any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.
 - a. Mr. Weinrieb responded that this was a win, win for the City. They are improving storm water management and the buffer. Right now, there is a failed septic on the site that will be taken care of. There will not be any cars backing directly into the street and there will be less vehicles on the busy street.

Mr. Mahana questioned how they would handle the existing septic tank and grease trap. Mr. Weinrieb responded that all of that infrastructure would be removed. The septic is a chambered system under the road. That will be pumped and removed.

Vice Chairman Clark commented that the electric vehicle charge outlet in the basement was good and questioned if an AOT permit was required for the site. Mr. Weinrieb responded that it was not. Vice Chairman Clark appreciated the additional 15% rainfall used in the calculations, however, it looked like they used the 48-hour rain data. Mr. Belden responded that it was their intent to use the 24 hour. They may have highlighted the wrong column, but the correct numbers should be in the calculation. Mr. Clark questioned if they could call out slow-release fertilizer on the site. Mr. Woodburn confirmed that they could. Vice Chairman Clark commented that there was no sidewalk access or pedestrian crossing along Sagamore Ave. and questioned if that was discussed. Mr. Weinrieb responded that they debated it. There is a sidewalk on the west side of Sagamore Ave. TAC did not require it. There is not a lot of pedestrian crossing there because of the speeds on that road. A mid-block crossing is not recommended. There is a walkway coming out of the front of the building that is not intended as everyday use. It's a fire egress access. The walkway goes from the building out to the street. They did not think a sidewalk or crosswalk was necessary. Mr. Clark commented that the building to the north of Sagamore Grove also has a big curb cut. Mr. Weinrieb noted that the sidewalk ends at the bridge. There is a barricade at the entrance. Mr. Clark commented that it would be nice if people could safely walk downtown. Mr. Weinrieb responded that people can wait for the road to clear and cross to walk up the sidewalk on that side.

Ms. Begala questioned how the wetland was not going to undergo further degradation. Mr. Weinrieb responded that it will be enhanced because right now there are vehicles and infrastructure in the buffer. That will all be removed, and they will put in a vegetated buffer. The only permanent structure will be the permeable patio. There will be less water and contamination. Ms. Begala questioned if there would be degradation during construction. Mr. Weinrieb responded that they will use silt fences and silt socks during construction to prevent erosion. Ms. Begala questioned who would be responsible for the maintenance of the site. Mr. Weinrieb responded that the maintenance requirements will be in the condo documents and their responsibility. They would be reporting back to the City like most projects.

Vice Chairman Clark questioned if the Conservation Commission stipulations were included in the plan. Mr. Weinrieb confirmed they had been included.

Chairman Chellman questioned if there were any easements required for the plan. Mr. Weinrieb responded that he did not believe there were any easements required. Chairman Chellman requested that they explain how they were adhering to the building height stipulation by creating a building pad that doesn't conform to the existing grade. Mr. Weinrieb responded that the physical height is 26.5 feet high. The regulations state to use the average grade around the building based on 5 feet out at 5-foot intervals at finished grade. Chairman Chellman commented that they just wanted to ensure the Board members understood that. It will be much higher than the existing grade at its base. The building pad is where the building height is measured from.

PUBLIC HEARING

Sheraton Lloyd of 45 Cliff Rd. commented that there should be a traffic evaluation for this project to evaluate any impact on Sagamore Grove. It's a tiny street and there may be some congestion with that number of cars coming out of the new complex. Ms. Lloyd commented that they should put in a crosswalk to the sidewalk.

William Pingree of Sagamore Grove commented that everyone on the street was in favor of the project. There will be less traffic with the condos than the restaurant. This will be a big improvement for the whole area.

Chairman Chellman asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark commented that it was a good project and requested the Board's input on pedestrian access. It would be difficult to do any sidewalk on the side of the proposed development. People will get down to Sagamore Grove and then want to use that crosswalk. They should stipulate that there should be a crosswalk at that walkway.

City Council Moreau commented that they should stipulate that the application works with the Planning Department and DPW to look at the feasibility of a crosswalk at the end of Sagamore Grove. Vice Chairman Clark agreed and noted that the infrastructure of the storm water in that corner may be impacted.

City Manager Conard commented that they would work with the State on an appropriate solution. Chairman Chellman commented that putting in a crosswalk across a State highway was not a small matter.

Mr. Hewitt commented that the State highway stops at the intersection of Route 1A and Route 1B. That section of the road is City maintained.

Vice Chairman Clark moved to **grant** the request, seconded by City Council Representative Moreau with the following stipulations:

Conditions Precedent

- 2.1 The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 2.2 Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 2.3 The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights-of-way and on site
- 2.4 The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.
- 2.5 The applicant can demonstrate the availability of sewer or onsite septic or septic holding tank approved by NHDES.
- 2.6 A fire service plan will be provided and approved by the Fire Department.
- 2.7 The applicant will work with the Planning Department to determine a finish stone for the retaining wall.
- 2.8 Add slow release fertilizer on entire site in landscape maintenance plan and on full plan set.

Conditions Subsequent:

- 2.9 The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;
- 2.10 A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.
- 2.11 Owner shall provide an access easement to the City for water valve access and leak detection. The easement shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.
- 2.12 At their own expense, the applicant must work with the Department of Public Works and the Planning Department to determine feasibility of a cross walk at the corner of Sagamore Avenue and Sagamore Grove Road.

The motion passed unanimously.

- D.** The request of **Sagamore LLC (Owner and Applicant)**, for the property located at **960 Sagamore Avenue** requesting a Wetland Conditional Use Permit approval according to section 10.1017.5 of the Zoning ordinance to impact 1,100 square feet of wetland buffer for grading and to remove 750 square feet of impervious surface in the wetland buffer and construct a new 100 square foot porous paver patio. Said property is shown on Assessor Map 201 Lot 2 and is located in the Mixed Residential Business (MRB) District (LU-21-204)

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark moved to the request as presented and advertised, seconded by City Council Representative Moreau.

Vice Chairman Clark commented that they were doing a good amount of impervious reduction on the site and were enhancing the buffer.

Chairman Chellman agreed and noted that the signage would be a good educational piece.

The motion passed unanimously.

- E.** Application of **ADL 325 Little Harbor Road Trust (Owner)**, for property located at **325 Little Harbor Road**, for Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the conversion of an existing accessory structure (formerly caretaker's home) into a Detached Accessory Dwelling Unit with a gross floor area of 1,300 square feet of gross floor area. Said property is shown on Assessor Map 205 Lot 2 and lies within the Rural (R) and Single Residence A (SRA) districts. (LU-21-220)

SPEAKING TO THE APPLICATION

Corey Colwell spoke to the application. The proposal is to convert an existing accessory structure into a detached accessory dwelling unit (DADU). It was formally the caretaker's house. The site is 12 acres in size and in the rural zone. The site contains a residential home, carriage house, barn, horse shelter, and the caretaker's home. All of the structures are on the eastern half of the island. The western half is virtually untouched. The caretaker home is 2,400 sf and in a state of disrepair. The current owners bought the property in 2015. It had sat vacant since the early 1990s. They were told by local experts that the caretaker's home was built in the early 1800s. Originally it was slated for demolition, however, because it has historical significance they would like to renovate it into a DADU. The application proposes to remove the 1 story appendages and restore the main section. That reduces the area to 1300 sf. It exceeds the maximum allowed 1,000 sf but dimensional modifications can be issued by the Board. Reducing the size would compromise the integrity of the house and require demolition of the historical building. The island is over 12 acres in size and post construction there will be 94% open space. There will be a building coverage of 2.6%. The DADU complies with the standards

of zoning regulations. The principle and dwelling will be owned by the same owner and the owner will occupy the principle dwelling. They are currently rebuilding the principle dwelling unit and will be back in front of Board for that at a later date. Neither unit will be used for any business. They are currently working with the City to bring sewer to this island. The DADU and house are currently connected to an existing functional septic. The future application will show a sewer connection. If that does not happen, then they can continue to use the septic. The DADU complies with the minimum lot area for the district. It will contain 2 beds but will be over the 1,000 sf limit. The DADU will be clearly smaller in height and appearance to the principle dwelling. This is on an island, so the frontage regulation does not really comply. The DADU architecture is consistent with the principle dwelling. It complies with all the ordinance requirements. The Planning Board granted a CUP for this DADU in June 2019. It was extended by the Board in June 2021. There was a delay in construction caused by the death of the contractor. They have hired a new builder and revised some of the architecture. The only difference between the original approval and now is that in 2019 they were proposing to keep the whole building. This proposal is to only keep 1300 sf.

Ms. Begala questioned if the septic dated back to the 1800s. Mr. Colwell responded that the septic was installed in the late 1990s.

Mr. Pezzullo questioned if the DADU was served by the current septic. Mr. Colwell responded that the plan would be connect the DADU to the new sewer. It is currently connected to the septic and can remain that way. Mr. Pezzullo questioned if they would live there before the sewer connection was established. Mr. Colwell responded that they probably would not.

Vice Chairman Clark commented that the Board had a lot of heartburn over the size of the DADU in the original approval. They were led to believe that the size was necessary because of the historic condition. Vice Chairman Clark questioned if there were additional surveys done to determine it could be reduced. Mr. Colwell responded that that had a timber preservation company assess the structure. He determined that only the main part of the structure was timber frame. The thought is that the main structure was built first and the one story appendages were added later.

Chairman Chellman questioned if they planned to use the septic while doing the big house plan. Chairman Chellman questioned if this approval depended on the sewer connection or not. Mr. Colwell responded that the plan was to do construction as soon as possible. It could take many months. The hope is that by the time the construction was done the sewer would be in place. If it was not, then they could fall back of using the existing septic. Chairman Chellman questioned if it was an adequate septic. Mr. Colwell responded that it was adequate, but they don't like its proximity to river. The hope and intent are to not use it, but the State would allow it if necessary. Chairman Chellman clarified that they could use the existing septic for both the DADU and house if a sewer connection was never made. Mr. Colwell confirmed that was correct. Chairman Chellman questioned if the DADU could be used without the main house being occupied. City Council Representative Moreau responded that ownership was the main concern. The owner can rent one and live in the other. They just can't rent both.

PUBLIC HEARING

Chairman Chellman asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark moved to **grant** dimensional modification as permitted by section 10.814.53 of the zoning ordinance to all a maximum of 1,300 square feet of gross floor area where 1,000 is allowed, seconded by City Council Representative Moreau.

Vice Chairman Clark commented that this proposal was better than what was here in 2019. Historically, this Board has done everything to try to keep the footprint of the DADU. This one is slightly larger, but it is smaller than the original building. This is approvable because it is on a 12 acre island.

City Council Representative Moreau agreed it was approvable because of the uniqueness of the property.

Chairman Chellman agreed that because it was an existing building on an island it worked.

The motion passed by a 8-0-1 vote. Mr. Hewitt abstained.

Vice Chairman Clark moved to find the remainder of section 10.518.50 is **satisfied** by the application, seconded by City Council Representative Moreau.

The motion passed unanimously.

Clark moved to grant cup, seconded by CCM.

Vice Chairman Clark moved to **grant** the conditional use permit, seconded by City Council Representative Moreau with the following stipulations:

3.1 The applicant can demonstrate the availability of sewer or approved onsite septic or septic holding tank approved by NHDES prior to Building Permit issuance.

3.2 The applicant will add a note on the plans and record an affidavit at the registry that states this DADU will be the only accessory dwelling unit on the property.

Vice Chairman Clark commented that it met the criteria. They had a good discussion about the holding tank and sewer. Hopefully it all comes together.

City Council Representative Moreau commented that they need to have approval for a sewer or holding tank before they can get the building permit. There are protections in place.

Hewitt abstained. The motion passed by an 8-0-1 vote. Mr. Hewitt abstained.

VI. PRELIMINARY CONCEPTUAL CONSULTATION

- A. The request of **Bailey J. Frederick III (Owner)**, for the property located at **212, 214 & 216 Woodbury Avenue** requesting Preliminary Conceptual Consultation for a Lot Line Revision, demolition of one existing structure, and the construction of one eight-unit structure, two two-unit structures, and one three-unit structure. Said property is shown on Assessor Map 175 Lot 1; Map 175 Lot 2; Map 175 Lot 3 and lies in the General Residence A (GRA) District. (LUPD-22-3)

SPEAKING TO THE APPLICATION

Mike Garappey and Joe Coranati spoke to the application. Mr. Garappey commented that the location was the site was behind the Roundabout Diner on the corner of Woodbury Ave. and Boyd Rd. The proposal is to demo 212 Woodbury Ave. because it is in disrepair. 214 and 216 Woodbury Ave. will stay and remain as is. The only change to those buildings will be a slight lot modification. The plan is to reduce the lots in size and create an 8-unit condo development that is compliant with zoning and density. The proposal includes a small private road off Boyd Rd. They will close off the existing curb cut to 212 Woodbury Ave. The proposal is to build 3 single family units and 2 duplex units. That may change as this goes through this process.

Vice Chairman Clark commented that this was the opportunity for Board members to speak up because this applicant will come here again. This is the preliminary phase, so it is easier to make changes now than further down road. The storm water is in the back corner of the site, so the applicants should assess if they need any flowage easements from abutters. Mr. Garappey responded that they have not done test pits on the property, but they think there are good soils for drainage. Mr. Coranati commented that the property slopes down to that corner today. There is a little bit of a berm on the lot line. They will not be able to increase the flow going there but it be an outfall if need be. Vice Chairman Clark questioned if there was any way to line up the drive coming in with the drive across the street. That would help with traffic. Mr. Coranati responded that they could look at that. Vice Chairman Clark questioned if there was any way to continue the sidewalk to the end of Woodbury Ave. Mr. Garappey responded that this would more than likely include a sidewalk extension.

Mr. Mahana questioned where they would put the snow. Mr. Coranati responded that there was space. There will not be any development for the whole length of the road and there is an area next to the parking. There will be adequate space for snow. If it needs to be hauled, then the condo docs will have a note about that.

Mr. Samonas requested more details on the units and questioned if these would be for sale or for rent. Mr. Garappey responded that they haven't completed the architecture design work. They need to go to the Zoning Board first. They will probably be in the 2,000-sf range, have three bedrooms, and a 2-car garage. It will be similar to what exists on site today. They will be for sale. Mr. Samonas commented that it may make sense to look at more creative housing to include more density if possible.

City Council Representative Moreau commented that moving the entrance closer to Manor Drive would make more sense. It would look better to not clump them all in that one spot. The applicants should be in communication with the other abutters on Boyd Rd. to ensure they are aware of the plans. Abutter buy in is important. They will be adding more activity to the area, so they should assess how that will impact traffic.

Chairman Chellman commented that they may have a drain issue in the corner. Moving the buildings and driveway may help avoid a problem.

Mr. Garappey commented that the GIS mapping showed there was a wetland approximate to units 5 and 6. However they had a wetland scientist verify that there are no wetlands on the site.

Mr. Britz commented that the site review may require an independent review to verify that at a later date.

Chairman Chellman commented that they needed a motion to continue the meeting past 10 p.m. or continue it to another meeting. There are two agenda items that are time sensitive, so they should at least look at those tonight.

Vice Chairman Clark moved to continue the meeting past 10 p.m., seconded by City Council Moreau.

Mr. Harris commented that he would prefer to split the meeting.

Ms. Begala questioned if they would specify an end time if they chose to continue tonight. Chairman Chellman responded that they could make another motion later to adjourn. If the Board votes yes, then they are committing to getting through the end of the agenda.

The motion passed by a 7-2 vote. Mr. Hewitt and Mr. Harris opposed.

- B. The request of **635 Sagamore Development LLC (Owner)**, for the properties located at **635 and 695 Sagamore Avenue** requesting Preliminary Conceptual Consultation for the demolition of the existing commercial structure on Lot 19, the construction of five single-unit structures on Lot 19, and the construction of one single-unit structure on Lot 18. Said property is located on Assessor Map 222 Lot 18 and Map 222 Lot 19 and lie within the Single residence A (SRA) District. (LUPD-22-2)

SPEAKING TO THE APPLICATION

Mike Garappey and Joe Coranati spoke to the application the application. They are working with a neighbor to potentially merge two parcels and redevelop both. Historically the site has been an auto detailing shop and an existing garage behind the shop. This is located in the SRA zone and is a non-conforming use. The proposal is to demolish the existing buildings on 635 and maintain the existing single family on 695. They have located 6 new dwellings and a private

road. They will need a variance for density. This design is consistent with the development across the street which is SRB zoning. The property is adjacent to the Tide Watch Condo development. They are trying to have a similar density to that. It will be a short private road and all single-family homes.

Vice Chairman Clark commented that there was a 12-foot grade difference between the driveway and furthest back unit. This will make storm water treatment and sewer difficult. They should also consider how the units will appear to the abutter. Mr. Garappey responded that the design has them sitting up above and avoiding slopes down below. They looked at a preliminary sewer design and hope to do gravity fed. It may require some grinder pumps in the back units. The rear units would have a walk out type aspect to them. Vice Chairman Clark commented that the appearance to abutters will be important. Mr. Garappey responded that the site is all treed in the rear. It will not mask the view completely, but it will provide buffering.

City Council Representative Moreau commented that they should consider facing what looks like the front of the house toward Sagamore Avenue with a walkway to the sidewalk. They should put in as much a buffer as possible to provide a buffer from other condo units. They should take a hard look at drainage and runoff because of the grade change.

Ms. Begala commented that they should build 1-3 dwelling units per acre according to the ordinance and not seek density relief. Mr. Garappey responded that the site is an existing non-conforming site. In order to redevelop the site, they need more density. Today they would only be allowed to build one unit. There is not a lot of economic incentive to redevelop without relief. They are trying to be consistent with the surrounding neighborhood for density. There are only few homes along Sagamore Ave.

Mr. Pezzullo commented that the gravity sewer ended at the entrance of Tide Watch. Mr. Garappey commented that they have had communication with DPW. Mr. Coranati added that there is a sewer expansion happening for Shaw Rd. There are 2 manholes going in at the top of the hill. Mr. Pezzullo clarified that they were counting on future City sewer and questioned if they would use pumps. Mr. Coranati responded that the first couple could be gravity and the back units may require pumps.

VII. DESIGN REVIEW APPLICATION ACCEPTANCE

- A. The request of **Port Harbor Land LLC, (Owner)** for the property located at **2 Russell Street and along Russell Street and Deer Street** requesting Design Review for a mixed use project consisting of office, retail/commercial, and residential uses in one 4-story and two 5-story buildings. The site is located between, Russell Street, Deer Street, Maplewood Avenue and the Railroad Corridor. Said properties are located on Assessor Map 124 Lot 12, Assessor Map 118 Lot 28, Assessor Map 119 Lot 4, and Assessor Map 125 Lot 21 and lie within the Character District 5 (CD-5). (LUPD-22-1)

SPEAKING TO THE APPLICATION

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Patrick Crimmins from Tighe and Bond commented that they were seeking a vote to get this scheduled to hold design review at the next public hearing.

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau moved to **accept** the application and scheduled a Design Review and public hearing for the February 17, 2022 Planning Board meeting, seconded by Vice Chairman Clark.

The motion passed unanimously.

VIII. PUBLIC HEARING - CITY COUNCIL REFERRALS

- A. Application of **Randi Collins (Owner)**, for the restoration of involuntarily merged lots at **77 Meredith Way** to their pre-merger status pursuant to NH RSA 674:39-aa. Said property is shown on Assessor Map 162 Lot 16 and lies within the General Residence A (GRA) district. (RIML-21-5)

DISCUSSION AND DECISION OF THE BOARD

This was postponed to the February Planning Board Meeting.

IX. OTHER BUSINESS

- A. Request of **London Bridge South Inc. (Owner)** for property located at **0 Falkland Way (address now known as 114 Saratoga Way)** for a 1-year extension of the Site Plan review approval for the demolition of an existing garage and shed and the construction of a new 4-unit residential building on merged lots with associated parking, stormwater management, lighting, utilities and landscaping as granted on January 21, 2020. (LU-20-164)

SPEAKING TO THE APPLICATION

Joel Lazadorian commented that they were seeking a one year extension. This was originally granted to Rowley Holdings and they purchased it in 2021. They are on week away from getting the bond.

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau moved to **grant** the 1-year extension, seconded by Vice Chairman Clark. The motion passed unanimously.

- B. **Woodbury Avenue Cooperative, Inc. (Owner)**, for the property located at **1338 Woodbury Avenue** for a 1-year extension of the Site Plan review approval for the demolition of two existing structures and replacement and reconfiguration of existing

mobile home units with associated grading, pavement, lighting, utilities, landscaping and other site improvements as granted on March 18, 2021. (LU-20-198)

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau moved to **grant** the 1-year extension, seconded by Mr. Harris.

City Council Representative Moreau commented that it was not required but was pretty standard to give a one-year extension. Beyond that they would need a good explanation.

The motion passed unanimously.

[Pursuant to court order, the City Attorney has advised this section of the record related to application of 31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue has not been accepted into the official record of these minutes.]

- C. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** for a Conditional Use Permit as permitted by Section 10.1112.62 of the Zoning Ordinance and according to the requirements of Section 10.1112.14 to allow 113 off-street parking spaces including 18 reserved spaces to be provided on-site and 25 spaces to be provided on a separate lot where a total of 138 are required and Site Plan Review approval for the demolition of three existing buildings and construction of the following: 1) a 5-story mixed use building with 66,676 gross floor area and 16,629 sq. ft. building footprint including 7,720 sq. ft. of commercial use on the ground story and 32 residential units on the upper stories; 2) a 5-story 124-room hotel with 65,980 gross floor area and 14,622 sq. ft. of building footprint; 3) 34,427 sq. ft. of community space as well as associated paving, lighting, utilities, landscaping and other site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

DISCUSSION AND DECISION OF THE BOARD

Chairman Chellman commented that the City Attorney was there, and they had memo from the City Planning Director. This has been discussed with the NH Municipal Association. There was a relatively similar case Nashua. The court has said the Board has the right to rehear within in a 30-day period. This is up for consideration.

City Attorney Sullivan commented that they did a substantial amount of work on these requests. The statements the Chairman just made were accurate. There is no law compelling the Board to rehear an application, but the Board can choose to do so. If the request for a rehearing is because of an error the Board has made, then it is probably better if the Board grants a rehearing and deals with the error. However, if no error is presented, then they have no reason to do it. The Board's decision to rehear

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should be based solely on the documents provided. If they vote to rehear, then it will be scheduled for another meeting. A rehearing would allow the interested party to speak and present evidence. Then the Board has the latitude to reconsider prior actions.

Mr. Harris to **grant** the rehearing request as presented, seconded by Ms. Begala.

Mr. Harris commented that it was important to evaluate these types of things to prevent further movement into the courts. It's worth evaluating in this case. Mr. Harris was not comfortable with the original vote and thought there was more to consider. It is better for the City to have a rehearing.

City Council Representative Moreau commented that she would be against rehearing it. This Board did a good job and looked at it multiple times at different stages. A lot of effort went into looking at it and changes were made. This was approved by a Board vote. There is no error the Board needs to correct.

Vice Chairman Clark agreed with City Council Representative Moreau and did not think the Board should be considering this request. There is already an avenue for those who wanted to appeal the Board's decision. Vice Chairman Clark was concerned that if they moved forward, then they could be getting rehearing's all the time. There is another avenue for people who disagree with the outcome. The Planning Board is doing their job and reviewing the projects as they should. They should not be considering this because it will set a precedent. There is no Statute to go by. There are already defined legal ways for people to appeal the Board's decision.

Ms. Begala agreed that the Planning Board needed to develop criteria for this, but did not think it limited them from deciding whether or not to have a hearing if they think there are legal consequences. Ms. Begala commented that they could divert a legal action by having a rehearing and would support having one.

Mr. Mahana commented that he was in favor of a rehearing because there were some valid points made in the documentation.

City Council Representative Moreau asked City Attorney Sullivan if the Board was putting themselves in any sort of liability for having a rehearing without proper rules and procedures in place. City Attorney Sullivan responded that there was no monetary liability. There is risk that the decision could be overturned. It is the recommendation of the Planning and Legal Department that Planning Board consider implementing rules and regulations on how the Board would like to handle rehearing requests in the future. The Board has latitude to make their own determination on what that would be.

Vice Chairman Clark commented that if this was something the Board wants to consider, then they need to develop procedures around it.

Chairman Chellman commented that the Board has a right to have a rehearing within 30 days. If the Board grants a rehearing, they are not saying there is a basis for overturning the decision. They are just granting to hear it again. It is a new review. City Attorney Sullivan commented that if the Planning Board wanted to follow the Zoning Board process, then they would look at the documentation in front of them and determine if that presented reason for a rehearing. If they chose to rehear it, then they would bring the matter back in front of the Board. It is not necessarily overruling the action. At the rehearing the Board can expect to hear arguments and maybe new evidence. The Board will make the decision after the arguments and evidence are presented. They can maintain their initial decision or change it.

Minutes, Planning Board Meeting, January 27, 2022

Ms. Begala commented that the timeframe was supposed to be within 30 days and questioned if the original decision was outside of that timeframe. City Council Representative Moreau responded that the decision was made on December 30, 2021, so it was within 30 days.

City Council Representative Moreau commented that this should go to the Zoning Board. There is a mechanism already in place for an appeal. It may look like the Planning Board doesn't know how to do their job if they accept a rehearing without rules and regulations.

Vice Chairman Clark commented that the Planning Board operates on guidelines that are clear on what can and cannot be done. Staff may not be able to provide any recommendations on this. It's unclear what the motion would be. Vice Chairman Clark commented that they should not have a rehearing without established rules and procedures.

Chairman Chellman commented that a CUP was a special exception for this Board, and it did not go to the Zoning Board. The State is behind on this because the CUP is a relatively new thing. The courts have made the decision to let the local boards have the first opportunity to consider just in case a mistake was made, or new information has been presented. It is more expeditious to have a rehearing than an appeal. The motion would be to grant a rehearing or not.

Vice Chairman Clark commented that it would be nice to have something concrete to go by. Chairman Chellman noted that this would not be setting a precedent. Every situation is different.

Ms. Begala agreed and noted that these two requests are very different. There are legality questions with this one and they should have a rehearing for it.

The motion passed by a 5-4 vote. Mr. Pezzullo, City Manager Conard, City Council Representative Moreau, and Vice Chairman Clark opposed.

- D. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting a Wetland Conditional Use Permit under section 10.1017 to construct two buildings 1) a 5 story mixed use commercial and residential building and 2) a five story hotel building with 124 rooms. The project has removed all of the impervious surface from the 25' tidal buffer, proposes 67 square feet of impervious surface in the 25-50' tidal buffer and 21,190 square feet of impervious in the 50-100' tidal buffer. Overall the project is able to demonstrate a reduction of 7,070 square feet of impervious surface in the tidal wetland buffer from the existing condition or a reduction of 10,107 square feet if the reserve parking is not constructed. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

DISCUSSION AND DECISION OF THE BOARD

Mr. Harris moved to **grant** the rehearing request as presented, seconded by Mr. Mahana.

The motion passed by a 5-4 vote. Mr. Pezzullo, City Manager Conard, City Council Representative Moreau, and Vice Chairman Clark opposed.

- E. The rehearing request of **Katy Sherman (Rehearing Applicant)**, for property located at **99 Bow Street**, requesting to allow the expansion of the existing deck to include expanded seating for the business as well as public access to the Piscataqua River. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-21-181)

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau moved to **deny** the request as presented, seconded by Vice Chairman Clark.

City Council Representative Moreau commented that this case was thoroughly looked at. A lot of the points that were brought up were mainly about the trash. They need to bring that up as a violation of the current approval and have Health Officer investigate. The applicants changed the deck and made it smaller. They do not need abutter approval, so the approval is legal.

Vice Chairman Clark agreed. The previous request was for a CUP parking and wetland. This request was just a rehearing request. There is no CUP on this one. This is where the confusion is coming from. The Board does not have any rules and procedures. There is no way for the BOA to review a CUP. This is where the rules and procedures would provide guidance. Vice Chairman Clark was struggling on how to move forward.

Chairman Chellman commented that they were affording the opportunity for this to be requested. It does not mean the Board needs to grant it. They can ask for a rehearing of anything this Board does, but it doesn't need to be reheard. The Board will vote based on the merits of what was submitted.

Ms. Begala commented that she would not grant a rehearing because this was not a legal issue. The Board should codify a process around this.

Mr. Harris commented that based on the information provided he agreed with Ms. Begala.

The motion passed unanimously.

X. ADJOURNMENT

City Council Representative Moreau moved to adjourn the meeting at 10:54 p.m., seconded by Vice Chairman Clark. The motion passed unanimously.

Respectfully submitted,

Becky Frey,
Secretary for the Planning Board

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM Public Hearings

January 27, 2022

AGENDA

Please note the original meeting date for this agenda was scheduled for January 20, 2022 and was rescheduled to be conducted on January 27, 2022

**Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

7:00 PM PUBLIC HEARING

I. ELECTION OF OFFICERS

II. APPROVAL OF MINUTES

- A. Approval of the Planning Board minutes from the December 16, 2021 and the December 30, 2021 meeting.

III. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

- A. The request of **Austin Repair & Renovation LLC, (Owner)**, for the property located at **27 Shaw Road** requesting Preliminary and Final Subdivision approval.

SITE PLAN REVIEW

- A. The request of **Monarch Village, LLC (Applicant)**, on behalf of **Neveesha Hospitality, LLC (Owner)**, for property located at **3548 Lafayette Road** requesting Site Plan Review Approval.
- B. The request of **Sagamore Corner LLC, (Owner and Applicant)**, for the property located at **960 Sagamore Avenue** requesting Site Plan Approval.

IV. PUBLIC HEARINGS -- OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting a wetland Conditional Use Permit under section 10.1017 to construct 50 town homes on an undeveloped lot. The (Applicant) is proposing five areas of wetland impact for a total of 21,350 square feet of permanent impact and three areas of temporary impact for a total of 2,350 square feet. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**
- B. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval for construction of a 50-unit multi-family residential development that includes community space and related landscaping, drainage, paving, utilities and other site improvements. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**
- C.** The request of **Gregory J. Morneault and Amanda B. Morneault (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting a Wetland Conditional Use Permit under Section 10. 1017 of the Zoning Ordinance to impact 5,062 square feet of wetland buffer and 45 square feet of tidal wetland. The proposed new home and existing turnaround is partially within the 100' tidal buffer zone of the North Mill Pond. In addition to the new home the applicant is proposing to remove an existing gravel turnaround and install a new paved parking apron for City vehicles to turn around. This new turnaround and the City pump station are all within a new easement. In addition, there is a plan to upgrade the stormwater outfall to protect against erosion. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District and Historic District. (LU-20-222)
- D. REQUEST TO POSTPONE INDEFINITELY** The request of **ADL 325 Little Harbor road Trust (Owner)**, for the property located at **325 Little Harbor Road** requesting a Wetland Conditional Use Permit under section 10.1017. The applicant is proposing 81,865 square feet of disturbance in the tidal wetland buffer the disturbance includes replacement of an existing home with a new home with a footprint of 3,382 square feet,

construction of a new garage 1,300 square feet, renovation of an existing guest cottage 1,217 square feet, construction of a pool cabana 368 square feet and replacement of an existing shed 384 square feet along with other impacts/improvements including utility connections, playground, drainage improvement and extensive landscape improvements. Said property is shown on Assessor Map 205 Lot 2 and is located in the Rural (R) and Single Residence A (SRA) Districts. **REQUEST TO POSTPONE INDEFINITELY** (LU-21-189)

V. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A.** The request of **Austin Repair & Renovation LLC, (Owner)**, for the property located at **27 Shaw Road** requesting Preliminary and Final Subdivision approval to subdivide one existing lot with 57,354 square feet of lot area and 230 feet of street frontage on Shaw Road and 127 feet of street frontage on Walker Bungalow Road into 2 lots as follows: Proposed Lot 1 with 34,205 square feet of lot area and 230 feet of street frontage on Shaw Road; Proposed Lot 2 with 23,149 square feet of lot area and 127 feet of street frontage on Walker Bungalow Road. Said property is shown on Assessor Map 223 Lot 18 and is located in the Single Residence B (SRB) District. (LU-21-203)
- B.** The request of **Monarch Village, LLC (Applicant)**, on behalf of **Nevesha Hospitality, LLC (Owner)**, for property located at **3548 Lafayette Road** requesting Site Plan Review and a Conditional Use Permit as permitted under 10.5B41.10 of the Zoning Ordinance to allow for the demolition of 6 structures; the redevelopment of 6 existing structures to create 6 units in building 8, 15 units in building 2, 5 units in building 4, 2 units in building 5, 9 units in building 7; the construction of 4 new structures to create 12 units in building 3 with a 4,303 square foot footprint, 24 units in building 6 with a 7,048 square foot footprint, a 250 square foot storage structure and an 825 square foot storage structure; creating a total of seventy-five (75) residential units with 123 parking spaces where 113 spaces are required. Said property is shown on Assessor Map 297 Lot 6 and lies within the Gateway Corridor (G1) District. (LU-21-90)
- C.** The request of **Sagamore Corner LLC, (Owner and Applicant)**, for the property located at **960 Sagamore Avenue** requesting Site Plan Approval to demolish the existing mixed use structure and construct a 6-unit residential structure totaling 21,066 square feet of gross floor area, 21 parking spaces as well as associated utilities, lighting, landscaping, and site improvements. Said property is shown on Assessor Map 201 Lot 2 and is located in the Mixed Residential Business (MRB) District. (LU-21-204)
- D.** The request of **Sagamore LLC (Owner and Applicant)**, for the property located at **960 Sagamore Avenue** requesting a Wetland Conditional Use Permit approval according to section 10.1017.5 of the Zoning ordinance to impact 1,100 square feet of wetland buffer for grading and to remove 750 square feet of impervious surface in the wetland buffer

and construct a new 100 square foot porous paver patio. Said property is shown on Assessor Map 201 Lot 2 and is located in the Mixed Residential Business (MRB) District (LU-21-204)

- E. Application of **ADL 325 Little Harbor Road Trust (Owner)**, for property located at **325 Little Harbor Road**, for Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the conversion of an existing accessory structure (formerly caretaker's home) into a Detached Accessory Dwelling Unit with a gross floor area of 1,300 square feet of gross floor area. Said property is shown on Assessor Map 205 Lot 2 and lies within the Rural (R) and Single Residence A (SRA) districts. (lu-21-220)

VI. PRELIMINARY CONCEPTUAL CONSULTATION

- A. The request of **Bailey J. Frederick III (Owner)**, for the property located at **212, 214 & 216 Woodbury Avenue** requesting Preliminary Conceptual Consultation for a Lot Line Revision, demolition of one existing structure, and the construction of one eight-unit structure, two two-unit structures, and one three-unit structure. Said property is shown on Assessor Map 175 Lot 1; Map 175 Lot 2; Map 175 Lot 3 and lies in the General Residence A (GRA) District. (LUPD-22-3)
- B. The request of **635 Sagamore Development LLC (Owner)**, for the properties located at **635 and 695 Sagamore Avenue** requesting Preliminary Conceptual Consultation for the demolition of the existing commercial structure on Lot 19, the construction of five single-unit structures on Lot 19, and the construction of one single-unit structure on Lot 18. Said property is located on Assessor Map 222 Lot 18 and Map 222 Lot 19 and lie within the Single residence A (SRA) District. (LUPD-22-2)

VII. DESIGN REVIEW APPLICATION ACCEPTANCE

- A. The request of **Port Harbor Land LLC, (Owner)** for the property located at **2 Russell Street and along Russell Street and Deer Street** requesting Design Review for a mixed use project consisting of office, retail/commercial, and residential uses in one 4-story and two 5-story buildings. The site is located between, Russell Street, Deer Street, Maplewood Avenue and the Railroad Corridor. Said properties are located on Assessor Map 124 Lot 12, Assessor Map 118 Lot 28, Assessor Map 119 Lot 4, and Assessor Map 125 Lot 21 and lie within the Character District 5 (CD-5). (LUPD-22-1)

VIII. PUBLIC HEARING - CITY COUNCIL REFERRALS

- A. Application of **Randi Collins (Owner)**, for the restoration of involuntarily merged lots at **77 Meredith Way** to their pre-merger status pursuant to NH RSA 674:39-aa. Said

property is shown on Assessor Map 162 Lot 16 and lies within the General Residence A (GRA) district. (RIML-21-5)

IX. OTHER BUSINESS

- A. Request of **London Bridge South Inc. (Owner)** for property located at **0 Falkland Way (address now known as 114 Saratoga Way)** for a 1-year extension of the Site Plan review approval for the demolition of an existing garage and shed and the construction of a new 4-unit residential building on merged lots with associated parking, stormwater management, lighting, utilities and landscaping as granted on January 21, 2020. (LU-20-164)
- B. **Woodbury Avenue Cooperative, Inc. (Owner)**, for the property located at **1338 Woodbury Avenue** for a 1-year extension of the Site Plan review approval for the demolition of two existing structures and replacement and reconfiguration of existing mobile home units with associated grading, pavement, lighting, utilities, landscaping and other site improvements as granted on March 18, 2021. (LU-20-198)
- C. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** for a Conditional Use Permit as permitted by Section 10.1112.62 of the Zoning Ordinance and according to the requirements of Section 10.1112.14 to allow 113 off-street parking spaces including 18 reserved spaces to be provided on-site and 25 spaces to be provided on a separate lot where a total of 138 are required and Site Plan Review approval for the demolition of three existing buildings and construction of the following: 1) a 5-story mixed use building with 66,676 gross floor area and 16,629 sq. ft. building footprint including 7,720 sq. ft. of commercial use on the ground story and 32 residential units on the upper stories; 2) a 5-story 124-room hotel with 65,980 gross floor area and 14,622 sq. ft. of building footprint; 3) 34,427 sq. ft. of community space as well as associated paving, lighting, utilities, landscaping and other site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)
- D. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting a Wetland Conditional Use Permit under section 10.1017 to construct two buildings 1) a 5 story mixed use commercial and residential building and 2) a five story hotel building with 124 rooms. The project has removed all of the impervious surface from the 25' tidal buffer, proposes 67 square feet of impervious surface in the 25-50' tidal buffer and 21,190 square feet of impervious in the 50-100' tidal buffer. Overall the project is able to demonstrate a reduction of 7,070 square feet of impervious surface in the tidal wetland buffer from the existing condition or a reduction of 10,107 square feet if the reserve parking is not constructed. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

E.

The rehearing request of **Katy Sherman (Rehearing Applicant)**, for property located at **99 Bow Street**, requesting to allow the expansion of the existing deck to include expanded seating for the business as well as public access to the Piscataqua River. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-21-181)

X. ADJOURNMENT

**Members of the public also have the option to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_100OKZg2RSCf1G7968p1YA

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

December 16, 2021

MINUTES

MEMBERS PRESENT: Dexter Legg, Chair; Elizabeth Moreau, Vice Chair; Karen Conard, City Manager; Peter Whelan, City Councilor; Ray Pezzullo, Assistant City Engineer; Colby Gamester; Corey Clark; Peter Harris; Rick Chellman; Polly Henkel, Alternate;

ALSO PRESENT: Peter Britz, Interim Planning Director; Stefanie Casella, Planner 1

MEMBERS ABSENT:
.....

I. PRESENTATIONS (*Time: 6:00 pm*)

A. FY 2023-2028 Capital Improvement Plan

City Manager Conard commented that this presentation will be on the City’s web site as a resource going forward. The CIP helps inform the budget. It’s a planning document but it does not appropriate money. It is made up of projects proposed from staff and public input about what is appropriate for the 6-year horizon. The planning process begins in September. Money will be appropriated for fiscal year 2023 when the budget is adopted by the City Council in March. The document is organized by sections for different projects. It includes citizen requested projects, studies involved in evaluated projects, historical documents, projects by wards. 1,300 historical documents have been identified for preservation and an additional 1,000 that still need to be evaluated. There are currently 98 projects in the document and 14 of them are new. The CIP will not be more than 2% of the previous budget. This is 1.49%, so it is well below the 2% line. The FY 21 and 22 reduction was a direct result of the pandemic restraint. The CIP bonding has target of no more than 10% net debt service. It is 8.91% for this proposal.

Fire Chief Todd Germain spoke to the projects proposed by the Fire Department some of which included: vehicle replacements, medical equipment, protective clothing replacement, breathing apparatus equipment, cardiac monitor replacement.

Public Works Director Peter Rice spoke to the projects proposed by Public Works some of which included: a new brine machine.

Police Chief Mark Newport spoke to the projects proposed by the Police Department some of which included: a new facility land acquisition, new police department facility, upgrades to current facility.

School Business Administrator Nathan Lunney spoke to the projects proposed by the schools some of which included: improvements across the district, turf field replacement, tennis court replacement, high school facility upgrades, elementary school facility upgrades, and Sherburne School upgrade.

Abby Mills from the Finance Department spoke to proposed projects from that department some of which included: a city document storage facility and document restoration, preservation, and scanning.

Interim Planning Director Peter Britz spoke to proposed projects from the Planning Department some of which included: conservation land acquisition, historic district guidelines, trail development projects, McIntyre Building redevelopment, climate action plan, groundwater study.

Recreation Director Todd Henley spoke to proposed projects from the Recreation Department some of which included: additional field, phased build out of the Greenland Rd. recreation facility, playground improvements, Leary Field bleacher upgrade, pool upgrades, community campus upgrades.

Public Works Director Peter Rice spoke to the projects proposed by Public Works some of which included: the Pierce Island Master Plan, park and monument improvements, tree and greenery program, Prescott Park Master Plan and capital improvements, city fuel station replacement, Bow St. overlook maintenance, City Hall HVAC repairs, transfer station upgrades, cemetery improvements, retaining wall maintenance, sound barriers along I-95 corridor, citywide facility improvements, undergrounding downtown aerial utilities.

Deputy City Manager Suzanne Woodland spoke to the projects proposed by the IT Department some of which included: technical service upgrades, server upgrades, licensing, citywide switch to Microsoft Office 365, financial software upgrade, record retention software.

Police Chief Mark Newport spoke to the projects proposed by the Police Department some of which included: public safety record management and dispatch system upgrade.

Public Works Director Peter Rice spoke to the projects proposed by Public Works some of which included: parking lot paving, parking meter maintenance.

Interim Planning Director Peter Britz spoke to proposed projects from the Planning Department some of which included: the Hampton Branch Rail Trail, bike/ped master plan, Middle Street bike lane connection to downtown, wayfinding system, Greenland Rd. bike/pedestrian improvements, Market St. side path, US Route 1 new side path, US Route 1 crosswalk and signals, Maplewood Ave. downtown complete streets program, Elwyn park traffic calming and pedestrian improvements, Borthwick Ave. bike path.

Public Works Director Peter Rice spoke to the projects proposed by Public Works some of which included: Market Square upgrades, Sagamore Ave. upgrades, sidewalk reconstruction program, traffic signal upgrade program, citywide intersection improvements, Russell/Market intersection upgrade, citywide bridge improvement program, Cate St. bridge replacement, Coakley-Borthwick connector roadway, traffic calming on Middle Rd, Aldrich Rd. and South St., street paving for the City and Pease, Junkins Ave. improvements, Pinehurst Rd. drain improvements, Madison St. road improvements.

Deputy Director of Public Works Brian Goetz spoke to the proposed water projects some of which included: annual water line replacement, well stations improvements, reservoir management, new groundwater source, water storage tank painting, water storage tank improvements, Madbury water treatment plan facility repairs and improvements.

City Engineer Terry Desmarais spoke to the proposed sewer projects some of which included: annual sewer line replacement, Pease wastewater treatment facility upgrades, wastewater reuse at Pease, long term control plan related projects, wastewater pumping station improvements, Woodbury Ave. sewer separation, sewer mains and service funding for Sagamore Ave. sewer extension, Mechanic St. pumping station upgrade.

Public Works Director Peter Rice, spoke to the proposed combined projects some of which included: Bartlett St. corridor, Fleet St. utilities upgrade and streetscape, Edmond Avenue upgrades, citywide storm drain improvements, Chapel St. upgrades, DPW complex improvements, The Creek neighborhood reconstruction.

Mr. Clark requested detail on if any projects would help address anything with new the MS4 permit. Mr. Goetz responded that they were currently doing a Master Plan for the storm water permit, which will require site specific projects. They are going through the exercise of locating projects and cost. Then they will start implementing projects in the out years. Public Works Director Rice added that the brine machine was a direct response to the permit.

Mr. Clark questioned if land acquisition outside the Bellamy Reserve was still ongoing. Mr. Goetz confirmed that they were working on pursuing another property. They will utilize reserve Enterprise Funds and receive a 50% match from the State. This will continue to help optimize it. There are conservation easements as well.

Mr. Clark noted that the additional recreation fields project looks like it was pushed out to 2028, but the transfer station is for 2026. Those projects were supposed to go hand in

hand. Mr. Clark questioned if there would be any conflict separating them. Public Works Director Rice did not think so. There was a citizen request to extend the bike/ped access through the building to that area. That request has been identified. There should not be any conflict.

PUBLIC HEARING

Ben Doyle of 4 October Dr. Greenland, NH is a student of Portsmouth High School. Mr. Doyle commented on the proposed climate action plan project. Mr. Doyle is the liaison between Eco-Club and the Mayor's Blue Ribbon Committee on sustainability. Portsmouth has been an eco-friendly municipality for more than a decade and is striving to be as sustainable as possible. The Blue Ribbon Committee is looking for tangible options and is keen on investing in concrete practices to maintain environmental practices. The climate action plan is the central jumping off point. Mr. Doyle urged the Planning Board to include that project. As a young person in Portsmouth, it would be especially meaningful to achieve this and help further the progress.

Effy Malley of 428 Pleasant St. commented that she was on the Sustainability Committee and spoke in favor of the climate action plan. A climate action plan would support actionable steps and technical points to identify targeted emissions. This supports other goals in the Master Plan as well.

Larry Lariviere was a member of the Blue Ribbon Committee and commented in support of the climate action plan. Mr. Lariviere supported the request for additional staff to work with the Planning Board and Sustainability Coordinator to begin the process to create a climate action plan. The City needs to do more to claim that they are an eco-municipality. They need to back it up with action. This will benefit all of us.

Ellen Legg of 4 Moebus Terrace spoke to recognize some members of the Planning Board who were not reappointed by the current Mayor. They have put in a lot of work. The City has a problem of beating up Board members and then sending them out without much thanks. Dexter Legg has lived here for 40 years. He has shown dedication to the City by raising his family here and serving on several boards over the years, including this one. He has been maligned by some City Council members and some future members of the Planning Board. They can be kinder than that. Ms. Legg also thanked Colby Gamester as well. He is the one of the most hard working and honest people she knew. He has worked hard to stay in Portsmouth and serve on the Planning Board without any agendas. It is important to say that because things have gotten out of hand with City politics. Ms. Legg thanked Chairman Legg and Mr. Gamester for their service.

Matt Glenn of 34 Harrison Ave. served on the board of SABR and voiced strong support for the bike/ped project opportunities in the CIP. In 2014 a lot of effort went into the bike/ped plan but only a few projects have been completed. This is an exciting opportunity to connect the fragments and make a network. The newest athletic field and plans on community campus will have a dirt road put in for emergency access only. The multi-use path won't be available until 2028. Walking access should be allowed now.

Mr. Glenn also expressed for the skate park plan to move forward with the Middle Rd. improvements. The Route 1 side path should include the section from Elwyn Rd. to the high school. Safety improvements are needed. These projects are relatively inexpensive.

Christina Dubin or 336 Miller Ave. also expressed support for the CIP to include funds for the climate action plan. They set a good policy. They need consistent data collection and goals across the City and to create plans to address the changing environment.

Lenora Wise Bronson of 828 Woodbury Ave. commented that they requested traffic calming on Woodbury Ave. and the adjacent streets. Ms. Wise Bronson questioned what the status of that project was. The residential area of Woodbury Ave. is very dangerous. Traffic calming has been requested for a long time. There have been a lot of accidents. There needs to be strategic stop sign locations and speed tables. Cars speed and tailgate. It's a dangerous situation. Chairman Legg commented that he would ask for City staff to comment on that query at the end of the hearing.

Page Trace of 27 Hancock St. spoke as a resident and agreed with Ms. Wise Bronson's comments. This request went to the Parking, Traffic, and Safety Committee and now it is somewhere out there in the middle of nowhere. The City needs to take Woodbury Ave. seriously. Someone needs to take action on this.

Chairman Legg asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION

Chairman Legg requested for City staff to comment on the status of the Woodbury Ave. traffic calming request. Public Works Director Rice responded that the request did go to PTS and it is being reviewed. Data is being collected. The request is not being ignored. It is just not in the queue for this year. Traffic calming identification is an ongoing effort. It's not that this request is not important. It's just that other projects have been identified prior to this one. They are moving forward. They are not ignoring the situation. If City Council wants to push this project forward, then that's their prerogative.

Mr. Gamester moved to adopt the Capital Improvement Plan as presented and pass to the City Council for consideration, seconded by Mr. Clark.

Mr. Gamester commented that this was the 8th CIP process that he has sat on, and it is one of the best parts of the year. The City Manager and staff did a good job putting this together.

Vice Chairman Morea commented that she sat on the subcommittee, and they did talk about the Woodbury Ave. traffic calming. Monies are allocated toward traffic calming every year.

Mr. Chellman thanked the staff and noted a lot of work went into this.

Chairman Legg commented that this was his 6th year involved with the CIP process. If someone wants to look at one document to understand the City, this is it. The document will show them what's happened and what's planned for the City. Chairman Legg thanked the City staff again.

The motion passed unanimously.

II. APPROVAL OF MINUTES (*Time: 7:00pm*)

A. Approval of the Planning Board minutes from the November 18, 2021 meeting.

Vice Chairman Moreau recused herself because she was not present at the November meeting.

Mr. Gamester moved to approve the Planning Board minutes from the November 18, 2021 meeting, seconded by City Council Representative Whelan. The motion passed unanimously.

Mr. Chellman commented that after the last Planning Board meeting it came to his attention that they were in a situation with Planning Board members that doesn't comport with the state statute. This was reviewed with the NH Municipal Association, and they agreed. The minutes need to reflect that there is concern that there is an ex officio member on the Board. That could have a detrimental effect on any action the Board takes.

Chairman Legg commented that this was discussed with the City Attorney Bob Sullivan. Attorney Sullivan noted that this Board is not the place to resolve this issue. The Planning Board is not responsible for appointing members to the Board. That authority is invested in the City Council. The Council has voted two current ex officio members to this Board unanimously. They will serve in that role until the City Council makes a different decision. Mr. Chellman should bring his concerns to the City Council because they have the authority.

Mr. Chellman clarified that there were three ex officio members, City Manager Conard, Mr. Pezzullo, and City Council Representative Whelan. Mr. Chellman confirmed he would address this with the City Council. However, this Board does have the authority to remove a member from action. Chairman Legg responded that it did not. They have the authority to make a recommendation to City Council. This is not the place to debate this.

III. DETERMINATIONS OF COMPLETENESS

SITE PLAN REVIEW

- A. The request of **North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners)** for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting Site Plan Review approval.

Mr. Gamester moved to determine that the application is **complete** according to the Site Plan Review Regulations, and to accept the application for consideration, seconded by Vice Chairman Moreau. The motion passed by an 8-1 vote. City Council Representative Whelan opposed.

- B. The request of **Martingale, LLC (Owner)**, for property located at **99 Bow Street**, requesting Site Plan Review approval.

Mr. Gamester moved to determine that the application is **complete** according to the Site Plan Review Regulations, and to accept the application for consideration, seconded by Vice Chairman Moreau. The motion passed by an 8-1 vote. City Council Representative Whelan opposed.

- C. The request of **Dagny Taggart, LLC (Owner)**, for property located at **93 Pleasant Street** requesting Site Plan Review approval.

Mr. Gamester moved to determine that the application is **complete** according to the Site Plan Review Regulations, and to accept the application for consideration, seconded by Vice Chairman Moreau. The motion passed by an 8-1 vote. City Council Representative Whelan opposed.

- D. The request of **Torrington Properties Inc. (Applicant)**, on behalf of **2422 Lafayette Road Associates, LLC (Owner)**, for property located at **2454 Lafayette Road** requesting Site Plan Review approval.

Mr. Gamester moved to determine that the application is **complete** according to the Site Plan Review Regulations, and to accept the application for consideration, seconded by Vice Chairman Moreau. The motion passed by an 8-1 vote. City Council Representative Whelan opposed.

IV. PUBLIC HEARINGS – OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. **REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting a wetland Conditional Use Permit under section 10.1017 to construct 50 town homes on an undeveloped lot. The (Applicant) is proposing five areas of wetland impact for a total of 21,350 square feet of permanent impact and three areas of temporary impact for a total of 2,350 square feet. Said property is shown on

Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**

DISCUSSION AND DECISION OF THE BOARD

Mr. Gamester moved to postpone this application to the January 20, 2022, Planning Board Meeting, seconded by Mr. Clark. The motion passed unanimously.

- B. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval for construction of a 50-unit multi-family residential development that includes community space and related landscaping, drainage, paving, utilities and other site improvements. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**

DISCUSSION AND DECISION OF THE BOARD

Mr. Gamester moved to postpone this application to the January 20, 2022, Planning Board Meeting, seconded by Mr. Clark. The motion passed unanimously.

- C. REQUEST TO POSTPONE** The request of **Gregory J. Morneault and Amanda B. Morneault (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting a Wetland Conditional Use Permit under Section 10. 1017 of the Zoning Ordinance to impact 5,062 square feet of wetland buffer and 45 square feet of tidal wetland. The proposed new home and existing turnaround is partially within the 100' tidal buffer zone of the North Mill Pond. In addition to the new home the applicant is proposing to remove an existing gravel turnaround and install a new paved parking apron for City vehicles to turn around. This new turnaround and the City pump station are all within a new easement. In addition, there is a plan to upgrade the stormwater outfall to protect against erosion. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District and Historic District. **REQUEST TO POSTPONE (LU-20-222)**

DISCUSSION AND DECISION OF THE BOARD

Mr. Gamester moved to postpone this application to the January 20, 2022, Planning Board Meeting, seconded by Vice Chairman Moreau. The motion passed unanimously.

V. PUBLIC HEARINGS – NEW BUSINESS

- A. The request of **North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners)** for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting a Conditional Use Permit as permitted by Section 10.1112.62 of the Zoning Ordinance and according to the requirements of Section 10.1112.14 to allow 113 off-street parking spaces including 18 reserved spaces to be provided on-site and 25 spaces to be provided on a separate lot where a total of 138 are required and Site Plan Review approval for the demolition of three existing buildings and construction of the following: 1) a 5-story mixed use building with 66,676 gross floor area and 16,629 sq. ft. building footprint including 7,720 sq. ft. of commercial use on the ground story and 32 residential units on the upper stories; 2) a 5-story 124-room hotel with 65,980 gross floor area and 14,622 sq. ft. of building footprint; 3) 34,427 sq. ft. of community space as well as associated paving, lighting, utilities, landscaping and other site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

Mr. Gamester moved to review Public Hearings – New Business Items A and B together and vote on them separately, seconded by Vice Chairman Moreau. The motion passed unanimously.

SPEAKING TO THE APPLICATION

Evan Tormey spoke to the application. This project was first here in December 2020 and was back again in March. Input from this and other Boards has made this plan better. The project meets a number of the City's Master Plan goals. The plan was developed in partnership with the City for the North Mill Pond greenway and community park. The proposed greenway site area is located on private property with the exception of the proposed public park. This project will contribute to the ongoing redevelopment of the North End. The proposed development improvements to the streetscape include wide sidewalks, landscaped areas, and hardscaped areas. There is one mixed use building and one hotel proposed for this site. The project will provide over half an acre of greenway trail. The total community space will be 31% of the site. The plan will significantly improve storm water runoff from the site and the neighborhood. The plan will remove impervious surface and provide the City with an easement to access the storm water drain. Since the project was last here, they have made some significant changes in response to feedback. The density has been reduced. The residential units were reduced from 60 units to 32 units. The hotel rooms have been reduced from 128 to 124 rooms. The surface parking has been significantly reduced by including a puzzle lift system. There is no parking or building in the 50-foot setback. The amount of parking and building in the 100-foot buffer has been reduced. More landscaping and a berm were added in the buffer. The space between the 2 buildings has

been increased to make it more pedestrian friendly. There is a net reduction of over 7,000 sf of impervious surface. If the reserve parking is never built, then the net reduction is over 10,000 sf. Wayfinding signage and entrance markers were added to the greenway. This project team worked closely to coordinate with the landscaping and design of the City's abutting property. It will have an enormous beneficial effect on the shoreline and pond.

Patrick Crimmins from Tighe and Bond spoke to the site plan. The applicants have incorporated feedback from City Boards, staff, and the public. This is also being reviewed by the HDC. The property includes 425 linear feet of tidal wetland and buffer. These urban lots were historically filled in the past. It is a highly disturbed site that had industrial use on it in the past. The site currently has buildings and parking lots. The northern portion of the site includes an old boat ramp, piers, culvert, headwall, and outlet. The site is previously disturbed with buildings, maintained lawn, and parking lots. The existing vegetation on the site are invasive species. The existing conditions degrades the water quality in the pond. Runoff directly discharges into the pond today with no treatment. The existing culvert does not have an easement. There are no drainage systems on site. Many stated goals in the Master Plan involve this greenway. The City has the abutting parcel and are proposing a greenway and park for that site. Projects are not connected but this project plays a critical role in connecting the trail to this park. The project complies with the zoning ordinance. The first new building will be a mixed-use residential building with office retail. The upper floors step back. The second building is a 5-story hotel building. There will be one single drive off Raynes Ave. The plan meets site plan regulations to only provide one driveway. There is emergency access along the whole site. They can access all sides of the buildings. During the TAC review, staff requested that Raynes Ave. be converted to a one-way street. That is shown on the plan. They provided a traffic study for the project that contemplated a 2 way road but were asked to show one way street. The findings were that there was no significant impact in the area. This was peer reviewed by TEC and they agreed. The study was done based on the higher density. The total parking required is 138 spaces. On the first iteration of this plan they had 111 surface parking spaces. Now that the density has been reduced and creative parking solutions were implemented there are 59 surface spaces. 18 of those spaces are highlighted for future reserve. Only 41 will be built at this time. The screened lift systems will have 54 spaces and will be covered with the mixed-use building. The CUP is for shared parking off site. The proposal is to share 25 spaces with 145 Maplewood Ave. It is an office use so they will have off setting peaks and the parking will work well together. The plan is dark sky compliant. There will be lighting shields along the pond side, so light won't spill onto the water. The streetscape improvements will include city standard lighting. There will be a connection to the trail off Maplewood Ave. There will be pedestrian connections to the trail throughout the site. The sidewalk connects out to the site. There will also be a community space plaza, which will provide another connection to the park. The North Mill Pond trail is 10 feet wide and completely out of the 25 foot buffer except for where it will connect to the pier and kayak launch. The proposal is to rehab the pier and kayak launch and make that a public amenity. The intent would be to replace them in kind. The landscaping design works with the City's design. The storm water treatment improvements will be a significant upgrade. Utilities will connect off Raynes Ave. running down the middle of the driveway. They will also be upgrading the water main in Raynes Ave. The proposed treatment will include storm water treatment units and incorporate an underground detention system to mitigate temperature and peak runoff. The path will have porous asphalt, but it will be lined because they are not allowed

to infiltrate on the site. The storm water design will replace the existing culvert that discharges the neighborhood runoff. They will grant the City an easement to the culvert. In addition to the culvert reconstruction and easement they will also incorporate a storm water quality unit for neighborhood runoff. There is no treatment today. The plan will provide 34,427 sf of community space, including 27,352 sf along the North Mill Pond. Providing this space will help the City realize a goal of their Master Plan. The community space makes up 32.1% of the parcel. The proposed project will provide an overall improvement by reducing impervious surface in the 100-foot buffer. All impervious will be removed from the 0-25 foot, and there will be 67 sf of existing sidewalk in the 25-50 foot. The amount of impervious surface will be reduced by 3,283 sf in the 50-100 foot. Overall, the net reduction is 7,070 sf. If the reserve parking is never built, then the net reduction would be 10,100 sf. Reduction. The trail is a critical component, and the site will have significant landscaping.

Bob Ulig from Halverson Design with Tighe and Bond spoke to the landscaping plan. The building footprint and setback along Raynes Ave. allows for an active street edge and will tie the whole North End District together. It allows for the spill out of active programs for ground floor uses. The area between buildings has seating areas for the residents and public. The trail has been coordinated with the City to make sure it seamlessly integrates. The landscaping will enhance the relationship with the pond and encourage public use. The buffer plantings are intended to enhance the ecology and separate people from the water's edge while letting them appreciate the pond. Keeping the people from approaching the shoreline will help to prevent degradation. The streetscape will include brick edging strips to highlight furnishing zones. They will have the same tree grates as across the street. There will be a tabletop drive between the buildings to indicate it is a pedestrian space. The spill out areas at the corner of Raynes Ave. and Maplewood Ave. would provide a restaurant terrace and additional plantings. The planting strip will include evergreens and deciduous trees that will create seasonal interest. The dumpster enclosure in the back area will be screened. The area between 3S Art Space and the hotel will be creatively paved and connect to the trail. It will be a multi-use area for community activities. The entryways to the greenway will be identified with similar gateway material, plantings, and wayfinding signage. There will also be a series of different seating areas along the greenway. The kayak launch and storage will be located along there as well. The proposed landscaping matches what is proposed for the City project. The unification will help the ecology and enhance the aesthetic. The fescue mix proposed is low maintenance. The edge of the parking areas will have a mix of hardy evergreens and deciduous trees. The operations and maintenance plans have been updated to address watering, monitoring, and mowing. There will be limited mowing in certain areas. This was designed and constructed through public and private partnerships to create a continuous multi-use path experience from Maplewood Ave. to Market St.

Mr. Crimmins addressed the permits they were seeking. The project was first here in December 2020 and again in March. The applicants have been responsive to feedback for the site plan review permit, wetland CUP, and shared parking CUP. The application includes a response sheet that addresses the stipulations from TAC. The staff report recommends approval. The shared parking on the CUP is for the parking on a separate lot. The hotel requires 93 spaces, the residential building requires 42 spaces, and 7 visitor spaces. The overlay allows for a 4 space reduction. Overall, 138 spaces are required. This proposal provides that by providing 41 onsite surface spaces, 25 shared spaces, 54 puzzle lift spaces, and 18 reserves spaces. The applicant

intends to enter a parking agreement for the shared spaces. If the Planning Board grants the CUP, then a parking agreement be secured and recorded. The puzzle lift system will be screened from view along Maplewood Ave. The lift system is a more viable alternative than putting parking underground. The high ground water table and topography of the site would make underground parking costly and prohibitive. It would require a similar amount or more impervious surface because they would need to provide ramps and fire access. The reserve parking would not be constructed at this time. It will give the applicant opportunity to observe the parking and build it if needed. The applicant has committed to 100% valet for the mixed use and hotel to optimize the use of parking. The applicant has been responsive to comments from the Boards and public for the buffer impact and the wetland CUP. They met with the Conservation Commission 5 times. They have reduced the impervious surface in the buffer by 7,070 sf. If the reserve parking is never built, then it would be over 10,000 sf. The original proposal in December had a net impact of adding 4,000 sf. Now it is a 3,800-sf net reduction. The Conservation Commission voted 3-3 in June, but since that meeting, they have further improved the plans. The staff memo has recommended approval at that time before the further reduction. Mr. Crimmins addressed the six criteria for granting a wetland CUP. 1. The land is reasonably suited to the use, activity or alteration. This is a previously disturbed site that has been used for industrial use in the past. Currently there are buildings and parking on the site. The site is suitable for this project. The proposed project is consistent with the uses in this zoning. The waterfront is highly disturbed, and the existing vegetation provides little value to the pond. There is no public access. 2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration. The placement of the building and parking were done in a way to reduce impervious area in the buffer. The plan replaces maintained lawn with native grass and shrubs. 3. There will be no adverse impact on the wetland functional values of the site or surrounding properties. There is no wetland function on the site today. This plan will improve the tidal buffer and add value by providing public space. 4. The alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals. There is no alteration to woodlands or the wetland area. Any temporary disturbance of the buffer will be restored with vegetation to provide habitat. 5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section. This project will result in a net improvement. 6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible. The project area in the vegetated buffer is limited to removing impervious construction, the greenway, and constructing the storm water outlet. Within the buffer strip the landscape plan will replace lawn with appropriate vegetation to help the wetland and prevent invasive species. It will be a low mow area with native trees and shrubs. The applicants believe that the plan addresses the criteria for all three permits. The project meets requirements, provides buffer enhancement, the greenway, and community space. The latest plan will reduce impervious surface, enhance the buffer, and provide open space. This Board has approved other projects that are similar in nature and scale.

Mr. Clark requested more detail on the soil contamination on the site and how this project may be helping that. Mr. Tormey responded that the site previously had a cleaners and gas station with a number of underground storage tanks. There is a ground water management permit out there and the site is under observation. This development will remove a lot of the remaining contaminated soils. A lot has already been removed over the years. They have found that the

soil is predominantly urban fill which is common throughout Portsmouth. The soil management plan will manage on site work appropriately to minimize exposure risk. The construction here is an engineered cap, so it will cap what is out there now. Mr. Clark questioned if it was their intent to continue monitoring. Mr. Tormey confirmed that was correct. The ground water management has been monitored for 9 years of the 20 years. The excavation and removal should attain closure on the site. There are levels of contamination above what is allowed in state regulations. Right now, there is a degraded parking lot and a lot of surface runoff. The proposal will capture all runoff and rain will not infiltrate. That's why AOT does not allow for pervious pavement because they don't want contaminants to move around. Mr. Clark questioned what the original use of this site was. Mr. Tormey responded that there was evidence of ship building and piers. The site has evolved over the years, but it has predominantly been an industrial site. Mr. Clark questioned if there were higher concentrations of coal ash toward the pond. Mr. Tormey responded that it was more concentrated where the proposed building is.

Mr. Clark requested more detail on the storm water treatment plan and the jellyfish filters. Mr. Crimmins responded that the filter systems will meet AOT regulations. The jellyfish filters will filter out contaminants and TSS to allow clean water to discharge to the pond. The operations and maintenance plan includes plans for the filters and tanks. Mr. Clark questioned what treatment would be provided for the storm water cap on Raynes Ave. Mr. Crimmins responded that they have proposed a water quality unit to treat runoff from the neighborhood. It is a little less maintenance intensive, but it will provide treatment. Mr. Clark commented that there are a lot of DES permits for this site and questioned what the status of those were. Mr. Crimmins responded that they have a number of preapplication meetings for the wetlands permit, AOT, and sewer connection. They haven't submitted the wetland permit application because the plan has changed so much. Once have this approval is granted, then they will submit the wetland application. Mr. Clark questioned if they thought of trying to do a granite head wall. Mr. Crimmins responded that they would have to defer to DPW because they would have an easement for maintenance of that. Mr. Clark commented that he didn't see anything regarding NOFA or organic land management. Mr. Crimmins responded that they have committed to that and will add it to the plan if it is not already in there.

Vice Chairman Moreau questioned how the emergency access road will not be used by regular cars. Mr. Crimmins responded that it will have a mountable curb, so it won't look like an entrance. Vice Chairman Moreau questioned how they will handle snow. Mr. Crimmins responded that it would be hauled off site. Vice Chairman Moreau requested more information on how the shared parking will work. Mr. Crimmins responded that the peaks for the hotel and residential building are at night. The peak for office parking is in the day. There is no one there at night. The valets will evaluate how to best manage the parking. Vice Chairman Moreau questioned if the valet would handle all the parking. Mr. Crimmins confirmed that was correct. Vice Chairman Moreau questioned who would be responsible for all the maintenance long term. Mr. Crimmins responded that the applicant would be. The community space easements would spell out those agreements.

Mr. Harris commented that this plan was a vast improvement from the original plan. Mr. Harris questioned what the status was with their HDC application. Mr. Tormey responded that they have been through 3 work sessions and are going back in January for another one. Mr. Harris

commented that there were still some outstanding items with the HDC relating to size and the location of the building. Mr. Tormey responded that they worked very hard to keep the building out of the buffer. There have been vision plans showing it in the buffer. The focus was to keep it out of the buffer. The design tonight is what they anticipate it will be and they are not flexible on the footprint. Mr. Harris questioned if they should be seeing this application before they were approved by the HDC. Chairman Legg commented that some developers run parallel paths. It is not required for them to get HDC approval before coming to the Planning Board. Mr. Britz confirmed they were not required to get HDC approval before coming to the Planning Board. Mr. Britz had a conversation with Nick Cracknell, and he noted that they have done a lot of work on the site. They are still working on the architectural design of the building, but he felt the site location was nailed down.

City Council Representative Whelan commented that it was his understanding that the HDC had not even started talking about the hotel yet. They have only discussed the mixed-use building. That's a significant open question. The applicant has done a tremendous amount of work on this to get it out of the buffer. They need to be careful when they start to excavate because there has been a lot of industrial action on that site. There needs to be a mitigation plan to keep the soils where they should be. Mr. Tormey responded that it doesn't make sense to make a mitigation plan until they get site plan approval. However, it is something they are very familiar with, and they are skilled with site management plans. The development team has a lot of expertise in this. City Council Representative Whelan questioned if they would get a deed or letter of intent about the shared parking agreement. Mr. Tormey responded that per the zoning ordinance they would need to record the agreement with the Registry of Deeds.

Vice Chairman Moreau commented that if anything in the HDC approval significantly changed the site plan, then they would have to come back for an amendment.

Mr. Chellman commented that it was good to hear the developers had experience with creating a contamination mitigation plan from brown field sites. It would have been good to review the mitigation. The memo in the package shows there is potential for serious stuff. The application feels a little premature. They haven't submitted for DES permits because they feel they need the site plan approval first. The Conservation Commission did not approve this. The HDC approval has not come through. The mixed-use building does go into the 100 foot buffer. Mr. Tormey responded that the part nearest Maplewood Ave. is a little sliver in the 100-foot buffer to the wetland across the street. The zoning requires a max setback from the street, so that's why that is there. Mr. Chellman questioned if the puzzle lifts would be covered like car ports or fully enclosed. Mr. Crimmins responded that they would be fully covered by the building, and they were working on screening with the HDC. Mr. Chellman questioned if they would be accessed from the water side. Mr. Crimmins confirmed they would be accessed through the parking lot. They were still working on what the entrance screening would look like. Mr. Chellman questioned if they had talked with DES to understand if there were any red flags. Mr. Crimmins responded that they were comfortable submitting what they had designed. It coordinates with the City park application that has been submitted. Mr. Chellman questioned if there was any bonding requirement in their past brown field project to ensure mitigation was done in accordance with the plans. Mr. Tormey responded that they did not, but there was collaboration with the EPA and the City. There are a lot of regulations in place to ensure it is done properly.

Mr. Chellman questioned if there was a contingency fund in case there was a severe environmental condition. Mr. Chellman was comfortable with the end result but recognized there was risk during construction. Mr. Tormey responded that the memo notes there would be a storm water pollution prevention plan in place for the site. They will not be exposing contaminated soils. Those soils will need to be hauled off site and/or covered. There will be significant sediment controls. Mr. Chellman questioned if they would be wetting soils. Mr. Tormey confirmed they would for dust control. There are many sites around the City that have contaminated soils that have been handled appropriately. It is highly regulated. Mr. Chellman questioned when they would be wetting soils vs. covering them. It would be good to see those details. Mr. Tormey responded that they were talking about wetting them while they were working with them. They are not going to leave them exposed and wet for days. They keep it wet to prevent dust. The soils will be covered if they are staying exposed. Typically, those soils are going off site immediately. Mr. Chellman questioned if that would be in the plan that has not been developed. Mr. Tormey confirmed that was correct, but it's a plan created at the appropriate time for the appropriate parties.

Mr. Gamester questioned if the owner would be responsible for determining if the reserve parking was needed or if there was another trigger event. Mr. Gamester questioned if all of the spots had to be created if only some of the reserve was needed. Mr. Crimmins responded that the owner would determine if the reserve was needed. That is how it is written in the ordinance. The intent of the reserve spaces is to reduce surface parking as much as possible. The applicant would have to assess the parking management and assess if reserve parking was needed. They may not need to add all 18 at once. They can determine how many spaces are needed. Mr. Gamester questioned if they would just default to go into the reserve spaces or look at innovative options. Mr. Crimmins responded that they would look at innovative options. Cars are evolving so it is hard to predict what parking needs will be like in the future. If they needed to provide a parking demand analysis, then they could do that. Mr. Gamester questioned if they would be open to a discussion with the City before adding it. Mr. Crimmins agreed and noted that they provide a monitoring plan. Mr. Gamester questioned if the shared parking would be in perpetuity. Mr. Crimmins confirmed that was correct. Chairman Legg commented that it was a nicer plan if they kept the reserve parking undeveloped. Chairman Legg questioned if 25 spaces was the maximum amount that they could get across the street. Mr. Tormey responded that 25 was the max at 145 Maplewood Ave. 3S Art Space doesn't have parking and the AC Hotel is not a complementary use. They are optimistic that they won't need the reserve spaces. Chairman Legg questioned if there was any opportunity to put in another puzzle lift on site in the future. That could be a creative solution. Mr. Tormey agreed that it may be a creative solution. It may or may not meet the ordinance. They have to show a future reserve that they are able to build on the plan. They would entertain that as an opportunity before building the surface spaces. Mr. Gamester commented that ultimately what they are getting at that is that there's something more than just the owner going in and building those spaces without some sort of exchange. Chairman Legg commented that they could add a condition saying that the applicant has to provide a document that demonstrates the fact that they need spaces and will have a discussion with City staff on a creative solution before they build the surface reserve spaces. Mr. Tormey confirmed that they were amenable to that condition.

Mr. Chellman questioned if those 18 paces would be paved. Mr. Tormey confirmed that they would. Mr. Chellman commented that it looked like there was a lot of fill in the area between the buildings. Mr. Tormey responded that it was a pretty flat site out there. They were filling a berm to screen the parking from the trail and pond. Mr. Chellman confirmed that was what he was looking at. Mr. Tormey commented that the parking is on grade or slightly below the finished floor. Mr. Chellman questioned if the berm was in the 100-foot buffer. Mr. Tormey confirmed that it was.

Chairman Legg commented that some of the exhibits show that the dock and kayak launch are optional. Mr. Tormey responded that was because they were looking for Board feedback on that. This was discussed with TAC and the Conservation Commission about whether those should or should not be in there. To date all of them have recommended that they are included. Chairman Legg questioned if maintenance would be subject to an agreement with the City. Mr. Tormey confirmed that was correct. Chairman Legg questioned if the landowner would be accountable for the maintenance. Mr. Tormey confirmed that was correct.

Mr. Gamester questioned why the Conservation Commission was a tie vote. Mr. Tormey responded that one member was opposed to the density of the project. Which was not necessarily their per view because it was out of the buffer. There were questions about the soils. One member thought they were going to go back in front of them and was not clear to them it was the final vote.

PUBLIC HEARING

Abigail Gindele of 229 Clinton St. commented that it was important to maintain a functioning if not thriving eco system. It is good to balance a healthy community. The flora and fauna relationship is important and symbiotic. This proposal and a lot of the greenway treats the buffer zone like a park with native plants. The design invites people into the buffer zone and that is the opposite of what should be happening. This much human activity will decimate the whole North Mill Pond eco system. A park is not a buffer zone. The solution is to build a smaller project and pull the park out of the buffer. The greenway should be out of the buffer zone. The applicant's argument is that they are repairing the situation. However, if they make a change, then they should bring it up to current standards. That should include a viable 100-foot buffer. The applicants can still make a profit with a smaller project.

Bill Downey of 67 Bow St. commented that there has been a tremendous amount of work done on this project. It's an exciting project and a major gateway that will speak volumes as to how people perceive the community. At the last HDC meeting there were a lot of concerns with the location and lack of attention on the waterfront. There is a long way to go with the HDC. It is premature to bring this to the Planning Board. This should be postponed until that is resolved.

Mark Brightman of South Mill St. commented that they have an illegal board member on the Planning Board, and they have been warned.

Andrew Maynard of 61 Cabot St. spoke in support of the site review and development. The Portsmouth zoning ordinances provides incentives to build larger buildings in exchange for the greenway. This project complies with zoning and achieves Master Plan goals. Zoning requires 20% community space, and they are providing over 30%. The project features environmental improvements, storm water treatment, removing invasive species, and a landscaped buffer. It will provide a major portion of the long-awaited North Mill Pond greenway. This will be connecting Maplewood Ave. to City owned land. It completes a key piece of the greenway. It achieves the goals of reinvesting in underutilized buildings and land promoting open space and adding residential units. This will increase tax revenue. The wide sidewalks will compliment surrounding development. There is no reason why this site review should not be approved.

Rick Becksted of 1395 Islington St. spoke as a resident. Mr. Becksted commented that he understood the Master Plan and what the City has devised but there are still outstanding questions. This was meant to be a 2.5 story building. Incentives are not always a good thing. This Board should not approve this yet because the HDC has not finished their review. Some stipulations may change if the density changes. They have not taken the surrounding historic homes in consideration. This needs to be tabled.

Page Trace of 27 Hancock St. spoke as a resident. Ms. Trace applauded the gentleman for being so interested in the remediation of the brown fields. The property is featured in a painting and its location is described as Portsmouth, NH the corner of Raynes Ave and Maplewood. Remediation of a brown field is tremendously important, but history is equally important and deserves equal respect. The Board should think about this when they pass judgement. Ms. Trace sat on the HDC and at the last meeting they discussed massing and only looked at the mixed use building.

Second time speakers:

Elizabeth Bratter of 159 McDonough St. commented that the developers were attempting to do a lot of double dipping. The maximum height along the North Mill Pond is 35 feet or two stories stepping upward to 40 feet. They are presenting 5 stories up to 72 feet. They are choosing to use the North End Overlay incentive with the wide sidewalks. The ordinance says that any lots in 100 feet of the North Mill Pond must provide a specific amount of community space. They must provide a minimum of 20% and it must include the greenway trail connections to abutting streets with easements to the City. Using the overlay, they are double dipping on the massing. These buildings are more than that. The changes they have made make it only slightly smaller. They are requesting a 54% reduction of what is allowed for parking. The first summer this hotel is opened they will need 124 spaces without selling any condos. The reserve parking is shown in the buffer. The berm was supposed to be put in all along there per TAC. Please do not approve the parking CUP because they already received a reduction by using the Downtown Overlay District. They have not submitted a parking analysis. There is no extra parking in the area. DES will not allow pervious pavement in the 100-foot buffer or underground parking. It is unclear how they will allow pilings. It is known that the North Mill Pond has toxins in the sediment. That should be tested prior to putting anything into it. This was denied by the Conservation Commission for many good reasons. One of them was because of the mass of the buildings. There will be almost 300 people there every day. That will greatly impact conservation. Do not

override a group of people who know the Commission and regulations well. The site plan review should be postponed until all the double dipping has stopped and the HDC and Conservation Commission give approval.

Page Trace 27 Hancock St. spoke as resident. Ms. Trace applauded all of the work that has been done on the project. However, more work needs to be done. One of the reasons it looks so beautiful is because of stair step of buildings in the vision plan. Another project that will snake off the Sheraton Hotel. That is an entirely different project going into an odd piece of land with a stair step. This 5-story building on the North Mill Pond will not create a stair step. It will just be a long wall along the pond. The Board should look at the parking more.

Esther Kennedy of 41 Pickering Ave. commented that the biggest issue was building in the buffer zone. The Master Plans says to not to build in the buffer zone. Please do not allow building in the buffer zone. The height is questionable.

Duncan McCallum of 536 State St. spoke against the proposal. This proposal is a couple of monstrosities. It is inconsistent with the character of the North End and Historic District. The Wetland CUP is required in order to grant site plan approval for the project. They just went through this with 105 Bartlett St. In this case the development plan clearly violates the wetland ordinance. The development plan is not the alternate location with the least adverse impact. There is an alternate location that is both reasonable and feasible to build on. This plan violates the criteria. The development has to comply with all 6 and if they fail to comply, then the Wetland CUP may not be issued. They clearly do not comply with two of them. They can build out of the buffer. They can place buildings outside the wetlands buffer. They can place the parking lot and paved road out of the buffer. It may not be as big, but they are not entitled to build whatever they want. They don't always get to do what they want. The paved road cuts right through the middle of the buffer. The parking and paved road is 25,000 sf of impervious surface in the buffer. The plan does not meet those two requirements for granting a permit. They need a Wetlands CUP to get site plan approval. The applicants in this case like many don't want to comply with the zoning ordinance because they don't want to. They can't make as much money if they have to comply. If that is all the applicant has to offer, then they should not approve. The wetlands protection ordinance and buffer are not a joke. Developers don't take the buffer seriously enough. The Conservation Commission did not recommend this project.

Third time speakers:

Duncan McCallum of 536 State St. commented that it was clear that it would be premature to grant approval. The HDC has not considered the hotel yet. It is unclear who will enforce and pay for the valet in perpetuity. The developers are trying to focus on the reduction in overall impervious surface. But that misses the point. The construction itself will cause damage to the buffer and the pond overall. It is not just a matter of reducing the overall impervious surface. They will need to do construction to remove it. The greenway is great, but they don't need to construct a 5-story building to build that. They could just donate the land. They are offering nothing by giving that land to the City because they can't build on it anyway. In a public private partnership, it is almost always obvious why it's a good deal for the private side. It is harder to identify the public benefit. In this case it is hard to see why it is a good proposal for the public.

In view of the mass of the buildings they are a bad idea. At the minimum they should postpone and wait until hear they from the HDC. They should wait until some of the other issues raised are resolved. If the Board chooses to vote on it tonight, then they should deny it.

Chairman Legg asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Chairman Legg commented that before they entertain a motion for this applicant request, they should make a motion to consider the balance of the agenda on December 30, 2021. Then if that motion is approved the people and public here for other applications can leave now.

Mr. Gamester moved to postpone the applications after the Raynes Ave. application to the December 30, 2021, Planning Board Meeting, seconded by City Council Representative Whelan. The motion passed unanimously.

Vice Chairman Moreau moved to grant the wetland conditional use permit as presented, seconded by Mr. Gamester.

Vice Chairman Moreau commented that this was a tough one. This project is making this site so much better in so many ways. There are a lot of things on both sides of the argument. People don't want anything there, but nothing will be taken care of. People want the greenway. They have pulled the buildings way out of the buffer, which is good. Vice Chairman Moreau was less worried about the piece in the back end of the buffer because it's across the street and Maplewood Ave. is doing more damage than the building would. The drainage and jellyfish filters are an improvement. Hauling the snow is an improvement. They will pay to maintain the landscaping and greenway. Those are all positives. They are putting in pavement and large buildings, but they are building the greenway. Vice Chairman Moreau disagreed with those who feel they have to meet every criteria exactly. It is more a negotiation of controls. Vice Chairman Moreau has been a board member for nine years and they have always treated it as a mitigation negotiation. It is not as black and white.

Mr. Gamester commented that he had a problem hearing comments that humans should not be using the buffer because that is contrary for what the buffer is there for. It is not just for the body of water, but what can be done in the buffer as it applies to the body of water. If the building was all in the buffer, then they would all agree to deny. It's not all in the buffer. They are restoring the buffer lands. People should be able to enjoy this area. It's the same as a beach or Prescott Park. It doesn't make sense that it does not comply because people will degrade the buffer. Mr. Gamester did not agree with the idea that they cannot build in the buffer. They have had this conversation countless times. The buffer is there for mitigation. It is not there as a strictly no build zone. All but a sliver of this building is not in the buffer. It doesn't make sense with the ordinance or statute that they have to keep it pristine and untouched. The 6 criteria are there to show how to prove they comply with what can be done in the buffer. Building can be done in it. In this instance parking is in the buffer. The buildings are going to create a cap. This site meets the criteria as it applies to the buffer, water, and ground contamination. It's not

perfect but not everything that comes before it has to be perfect. It is not the easiest yes but looking at the site, the proposal, and what's changed Mr. Gamester noted that he would support it.

Mr. Clark commented that the North Mill Pond is on the 303 D list. It's an impaired water body. At some point they have to start looking at what to do to get those water bodies off that list. It is part of the City's MS4 permit. Regardless of what happens on the site people will be using the North Mill Pond for recreation. It's been looked at time and time again. This shoreline was created with urban fill. It wasn't designed by nature. As the shorefront degrades the contaminants within the soil will continue to leach out. They can say that they are never going to do anything in the buffer. However, it will continue to erode and break up and contaminate. If this was a pristine site that would be one thing. It's not. It is completely manmade, and this project is trying to turn it back into something natural. Right now, there is very little vegetation and no trees. Overall, the proposal will help the site and help the health of the North Mill Pond. There will be more human impact, but the site proposal is a benefit overall.

Mr. Chellman disagreed with a few comments. The proposal does include significant environmental improvements to the site. They could still improve and comply with the criteria to not put the building in the wetland buffer. They could clip the corner off the building and get a variance. Mr. Chellman had a problem with the criteria wording in the ordinance. It has nothing to do with people using the buffer or the size of the building. The criteria is very specific and says the application shall comply with all 6 criteria. That's not a discretionary list. If there was another point saying unless the Planning Board found there was an overall benefit that exceeded the prior 6 criteria, then there would be flexibility. It doesn't say that. It's more than a sliver in the buffer. They could still build a large project and do what they want to do by shifting things out of buffer. Criteria 2 and 5 are tough standards and the Board is supposed to follow the ordinance. It's a good project, but this is a threshold problem.

City Council Representative Whelan was not in favor of the project. The Board should table it and let it come back in January. They should give the HDC time for further clarification. City Council Representative Whelan agreed with Mr. Chellman's comments. They have to meet the 6 criteria and they are not meeting 2 of those. That's why have they have a zoning ordinance and they should not deviate from that. They went in front of the Conservation Commission 5 times, and they still did not approve. The Commission had serious concerns. It's a good project but there is a reason that they have a 100-foot buffer. New Hampshire has 18 miles of coastline and people want to develop all of it. The Board should not be cavalier about the buffer. They should come back with a smaller project out of the buffer. There are problems with contamination on the site. There is a risk of putting more pollutants in the water when they excavate and do construction. Mr. Clark is right, it is an impaired waterway and that needs to change. However, this is an intensive project. The Board should be following the rules and regulations. They can come back with a smaller project outside of the buffer.

Mr. Harris agreed with Mr. Chellman and City Council Representative Whelan. There is a lot of benefit to the project. There are a lot of steps to improve the environment there. People accessing the buffer area will cause further disruption. The HDC had issues relating to the size and mass of the buildings. They are hoping to get it down to 3 stories. There are unresolved

issues. They need to listen to other Boards. It is prudent to wait until the HDC approves or vets it further.

Mr. Gamester commented that this CUP is coming before us regardless of the HDC. If they make a significant change, then they will come back before the Planning Board. There will be disturbance here regardless. The alternate location that is feasible and reasonable was achieved through the many iterations of the project. Most of the activity is outside of the buffer save a sliver of the building. The pavement is necessary because underground parking is not feasible. There is no alternate location. This is the least adverse impact especially with all the improvements for this manmade shoreline.

Chairman Legg agreed with Mr. Gamester and Vice Chairman Moreau. They don't need to see the final HDC product before acting. They have done that in the past, so it is not a new process. If the project changes significantly, then they would come back. There is no risk of approving something tonight and having something else developed in its place. Just like the law, the ordinance is open to interpretation. That's why they have attorneys to help interpret the law. If it was all clean cut and easy, then they would not need that. That's the reality with the zoning ordinance. If the City Council wanted to prohibit development in the buffer, then they would have said so. If it were pristine undisturbed wetland buffer, then no one would be saying this was a good project. The reality is that this is urban fill. This will improve the water that is currently shedding into the North Mill Pond. This is similar to the Bartlett St. project when the Piscataqua Waterkeeper spoke and said that the project would improve the water quality because of its current conditions. This project will improve quality of water for the North Mill Pond. The project meets the criteria for the wetland use permit. Chairman Legg commented that he would support the CUP.

Mr. Chellman commented that putting building in the wetlands buffer is a bad idea. It does not meet the criteria.

Chairman Legg commented that this Board has approved building in the wetland buffer in the past. Mr. Chellman commented that should not justify this decision.

Vice Chairman Moreau commented that they look at each project and its unique site. They have denied people in the past. The Board has never allowed someone to build an entirely new building in the buffer.

The motion passed by a 6-3 vote. City Council Representative Whelan, Mr. Chellman and Mr. Harris opposed.

Vice Chairman Moreau applauded the applicants for the unique parking ideas they came up with. The puzzle lift is creative. They considered the constraints of the site and kept it out of the buffer as much as possible. The valet and shared parking are good ideas. The City gets to enforce that with this approval. They can make a stipulation for the developer to report back to the City with a parking monitoring report. It could be a stipulation for the parking CUP or the site plan. Chairman Legg noted that it should go with the parking CUP because it's parking related.

Mr. Harris questioned if the 18 additional spaces were required. Mr. Britz commented that with the offsite parking and allowance to do reserve parking they meet the parking requirement. They need the CUP to allow for the offsite. Chairman Legg commented that when they add up all the parking requirements it comes to 138 spaces, but they can't provide them all on site. They are creating a shared parking agreement for 25 spaces across the street. The applicant is also saying that the ordinance says they need 138 spaces, but they are not sure they do. That's why they are putting in 18 reserve spaces and not build them until it is confirmed that they are needed. That's why asking they are asking for the CUP for 25 spaces off site. Mr. Harris commented that there would be an overlap between hotel parking and office parking and questioned how that would be addressed. Chairman Legg commented that operationally the valets would manage that.

Mr. Chellman commented that hotels don't run at 100% occupancy. Unless they are in downtown Boston, they tend to run at 60-70%. The criteria says they are supposed to provide an arrangement and analysis. Mr. Chellman questioned if the wetlands CUP approved paving for the reserve spaces if needed. Vice Chairman Moreau confirmed that was correct. Mr. Chellman commented that if they have secured 25 spaces and can show a covenant, then they satisfy the ordinance.

Chairman Legg agreed. The applicant will monitor the parking capacity and provide information to the City before building any reserve spots. They will also work with the City to see if there is an innovative way to add more spaces in a different way. The Board should give the City and property owners some direction and guidance. Mr. Gamester applauded the applicant for not building those out right away because ultimately, they probably won't need it. If they are needed, then the applicant can look at innovative solutions. The applicant will keep a parking demand analysis, but they don't necessarily need to submit it unless they need to use any or all reserve spaces. Then they can meet with the City to see if there are innovative solutions.

Vice Chairman Moreau commented that they should include it as a stipulation. It should say something like parking will be subject to an annual usage report that is submitted to the City and they should work with the City to determine an appropriate plan. Mr. Gamester commented that they should not need to submit it to the City if they have no intention of building the reserve.

Mr. Chellman commented that there has been concern with other projects about parking spilling over into adjacent neighborhoods and questioned how that would be handled if the valets began to do that. City Council Representative Whelan responded that the valet license is approved or declined by City Council annually. Mr. Chellman clarified that if they violated their agreement, then they would lose their license. City Council Representative Whelan confirmed that was correct.

Vice Chairman Moreau commented that the City may need more clarification about working with the applicants on innovative solutions. Mr. Gamester commented that they would have to show that they looked at more options than just building out the reserve parking in the plan. Mr. Chellman commented that they could come back to the Planning Board for this too. Vice Chairman Moreau commented that the City can refer it to the Planning Board if needed. Chairman Legg commented that they would have to demonstrate to the City that the demand is

there and that they have exhausted other reasonable alternatives. The City would provide approval.

Vice Chairman Moreau moved to find the number of off-street parking spaces provided will be adequate and appropriate for the proposed use of the property and to grant the conditional use permit, seconded by Mr. Gamester with the following stipulation:

3.1 Construction of reserve parking will be subject to usage reports submitted to the City demonstrating additional parking is needed only after alternative options to construction of reserve spaces have been considered and reviewed by the City . If City staff determines further review is needed applicant will be referred to Planning board for further review.

The motion passed unanimously.

Mr. Gamester noted that City Council Representative Whelan and Mr. Chellman brought up concerns about monitoring the site. They should specifically call out an oversight engineer for monitoring.

Chairman Legg commented that the property owners should maintain the dock and kayak launch. Mr. Britz agreed that it there would be an easement over the community space for the City. Vice Chairman Moreau added that they could add the responsible parties for all maintenance in the stipulations.

Mr. Clark questioned if they should stipulate that they use NOFA practices. Mr. Britz responded that NOFA standards were above and beyond the City's requirements, but the Conservation Commission did ask for that.

Mr. Clark commented on the North End Vision plan that came up a lot tonight. The drawings in the Master Plan shows 8 buildings within the same parcel and one is over the water on Maplewood Ave. A lot of them are shorter than what is proposed but one is directly on the water and the rest are in the buffer. Ultimately these plans have less impact. They are complying with what is proposed in those two documents.

Vice Chairman Moreau commented that overall, the project is a lot better than it was, it is good that they pulled the bulk of the buildings out of the buffer. There are some creative solutions in this plan, and they will maintain the site long term at no expense to the City.

Vice Chairman Moreau moved to grant Site Plan approval, seconded by Mr. Gamester with the following stipulations:

Conditions Precedent

- 1 The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 2 The applicant shall record a notice of voluntary lot merger.
- 3 Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.

4 The applicant shall prepare a Construction Management and Mitigation Plan (CMMP) for review and approval by the City's Legal and Planning Departments.

5 The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the demolition and construction of improvements within the public rights-of-way and on site.

6 Owner shall provide an access easement to the City for water valve access and leak detection. The easement shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.

7 The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.

8 Grease traps will be designed to meet code requirements.

9 Sewer connection permit will be obtained from DES.

10 Applicant and City will enter into a Community Space Agreement which will specify the owner as the responsible party to maintain all the greenway/community space.

11 Fertilizing within the buffer zone will follow City guidance and Northeast Organic Farming Association (NOFA) standards.

12 Exposed parking shall be screened from view.

Conditions Subsequent:

13 The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance.

14 A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.

The motion passed unanimously.

- B.** The request of **North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners)** for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting a Wetland Conditional Use Permit under section 10.1017 to construct two buildings 1) a 5 story mixed use commercial and residential building and 2) a five story hotel building with 124 rooms. The project has removed all of the impervious surface from the 25' tidal buffer, proposes 67 square feet of impervious surface in the 25-50' tidal buffer and 21,190 square feet of impervious in the 50-100' tidal buffer. Overall the project is able to demonstrate a reduction of 7,070 square feet of impervious surface in the tidal wetland buffer from the existing condition or a reduction of 10,107 square feet if the reserve parking is not constructed. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

DISCUSSION AND DECISION OF THE BOARD

The motion and vote for this CUP is documented under Agenda Item A above.

- C. The request of **Martingale, LLC (Owner)**, for property located at **99 Bow Street**, requesting Site Plan Review Approval to allow the expansion of the existing deck to include expanded seating for the business as well as public access to the Piscataqua River. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-21-181)

DISCUSSION AND DECISION OF THE BOARD

The Board voted to postpone to a special meeting scheduled for Thursday, December 30, 2021.

- D. The request of **Dagny Taggart, LLC (Owner)**, for property located at **93 Pleasant Street** requesting Site Plan Review approval for the redevelopment of the existing 4 story structure and the construction of a new structure totaling 34,266 square feet of commercial space and 18 parking spaces. Said property is shown on Assessor Map 107 Lot 74 and lies within the Historic, Downtown Overlay, and CD4 Districts. (LU-21-183)

DISCUSSION AND DECISION OF THE BOARD

The Board voted to postpone to a special meeting scheduled for Thursday, December 30, 2021.

- E. The request of **Torrington Properties Inc. (applicant)**, on behalf of **2422 Lafayette Road Associates, LLC (Owner)**, for property located at **2454 Lafayette Road** requesting to amend a previously granted Conditional Use Permit to provide less than required parking in accordance with Section 10.1112.14 of the Zoning Ordinance and Conditional Use Permits for increased housing density and for increased building height as allowed by Section 10.5B72.10 and Section 105B72.20 of the Zoning Ordinance, and development within the Gateway Neighborhood Mixed Use District in accordance with Section 10.5B40 of the Zoning Ordinance; and for Site Plan Review to demolish the existing structure and construct a five (5) story structure with 95 condominium units with 20% designated as workforce housing units and provide 21,896 square feet of community space. Said property is shown on Assessor Map 273 Lot 3 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District. (LU-21-192)

DISCUSSION AND DECISION OF THE BOARD

The Board voted to postpone to a special meeting scheduled for Thursday, December 30, 2021.

- F. The request of **35 Pines LLC, (Owner)**, for the property located at **295 Maplewood, Unit 1** requesting a Conditional Use Permit Approval in Accordance with Section 10.1112.14 of the Zoning Ordinance, for the provision of no on-site parking spaces where three (3) spaces are required. Said property is shown on Assessor Map 141 Lot 35 and is located in the Character District 4-L2 (CD4-L2) and Historic District. (LU-21-211)

DISCUSSION AND DECISION OF THE BOARD

The Board voted to postpone to a special meeting scheduled for Thursday, December 30, 2021.

- G.** The request of **Public Service CO of NH (Owner)**, for the property located at **300 Gosling Road** requesting a Wetland Conditional Use approval according to section 10.1017 is requested for the replacement of 8 utility poles adjacent to Gosling Road. The project proposed temporary impact of 98,984 square feet in the wetland area and of 25,224 square feet in the wetland buffer. The proposal is to replace existing wooden structures with equivalent steel structures. Said property is shown on Assessor Map 214 Lot 3 and is located in the Office Research (OR) and Waterfront Industrial (WI) Districts. (LU-21-205)

DISCUSSION AND DECISION OF THE BOARD

The Board voted to postpone to a special meeting scheduled for Thursday, December 30, 2021.

- H. REQUEST TO POSTPONE** The request of **ADL 325 Little Harbor road Trust (Owner)**, for the property located at **325 Little Harbor Road** requesting a Wetland Conditional Use Permit under section 10.1017. The applicant is proposing 81,865 square feet of disturbance in the tidal wetland buffer the disturbance includes replacement of an existing home with a new home with a footprint of 3,382 square feet, construction of a new garage 1,300 square feet, renovation of an existing guest cottage 1,217 square feet, construction of a pool cabana 368 square feet and replacement of an existing shed 384 square feet along with other impacts/improvements including utility connections, playground, drainage improvement and extensive landscape improvements. Said property is shown on Assessor Map 205 Lot 2 and is located in the Rural (R) and Single Residence A (SRA) Districts. **REQUEST TO POSTPONE** (LU-21-189)

DISCUSSION AND DECISION OF THE BOARD

The Board voted to postpone to a special meeting scheduled for Thursday, December 30, 2021.

- I.** The request of **The City of Portsmouth (Owner)**, for property located at **0 Vaughan Street** requesting a Wetland Conditional Use Permit under section 10.1017 to restore a piece of property along the North Mill Pond into a City Park, Greenway and Living Shoreline project. The project as proposed includes restoration of 57,520 square feet of restoration work in the Wetland and Buffer with project impacts of 262 square feet in the wetland and 5,490 square feet of impact in the 100' wetland buffer. The project includes the removal of invasive plants, planting of native species to restore the vegetation on the site. The restoration work is proposed in the subtidal, intertidal, and tidal buffer portions

of the site. Said property is shown on the Assessor Map 123 Lot 15 and lies within the Character District 4 (CD-4). (LU-21-187)

DISCUSSION AND DECISION OF THE BOARD

The Board voted to postpone to a special meeting scheduled for Thursday, December 30, 2021.

VIII. PRELIMINARY CONCEPTUAL CONSULTATION

- A.** The request of **Port Harbor Land LLC**, for the property located at **2 Russell Street** requesting Preliminary Conceptual Site Consultation for a mixed use project consisting of office, retail/commercial, and residential uses in one 4-story and two 5-story buildings. The site is located between, Russell Street, Deer Street, Maplewood Avenue and the Railroad Corridor. Said property is located on Assessor Map 124-12 and lies within the Character District 5 (CD-5). (LUPD-21-10)

The Board voted to postpone to a special meeting scheduled for Thursday, December 30, 2021.

X. OTHER BUSINESS

XI. ADJOURNMENT

City Council Representative Whelan moved to adjourn the meeting at 10:46 p.m., seconded by Mr. Gamester. The motion passed unanimously.

Respectfully submitted,

Becky Frey,
Secretary for the Planning Board

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

December 30, 2021

MINUTES

MEMBERS PRESENT: Peter Britz, Interim Planning Director; Dexter Legg, Chair; Elizabeth Moreau, Vice Chair; Karen Conard, City Manager; Peter Whelan, City Councilor; Ray Pezzullo, Assistant City Engineer; Colby Gamester; Corey Clark; Peter Harris; Rick Chellman; Polly Henkel, Alternate; Stefanie Casella, Planner 1

ALSO PRESENT:

MEMBERS ABSENT:
.....

I. PRESENTATIONS *(Time: 6:00 pm)*

A. ~~FY 2023-2028 Capital Improvement Plan~~

II. APPROVAL OF MINUTES *(Time: 7:00pm)*

A. ~~Approval of the Planning Board minutes from the November 18, 2021 meeting.~~

III. DETERMINATIONS OF COMPLETENESS

SITE PLAN REVIEW

A. ~~The request of North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners) for property located at 31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue requesting Site Plan Review approval.~~

B. ~~The request of Martingale, LLC (Owner), for property located at 99 Bow Street, requesting Site Plan Review approval.~~

- ~~C. The request of **Dagny Taggart, LLC (Owner)**, for property located at **93 Pleasant Street** requesting Site Plan Review approval.~~
- ~~D. The request of **Torrington Properties Inc. (Applicant)**, on behalf of **2422 Lafayette Road Associates, LLC (Owner)**, for property located at **2454 Lafayette Road** requesting Site Plan Review approval.~~

IV. PUBLIC HEARINGS—OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- ~~A. **REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting a wetland Conditional Use Permit under section 10.1017 to construct 50 town homes on an undeveloped lot. The (Applicant) is proposing five areas of wetland impact for a total of 21,350 square feet of permanent impact and three areas of temporary impact for a total of 2,350 square feet. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**~~
- ~~B. **REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval for construction of a 50-unit multi-family residential development that includes community space and related landscaping, drainage, paving, utilities and other site improvements. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE (LU-21-98)**~~
- ~~C. **REQUEST TO POSTPONE** The request of **Gregory J. Morneault and Amanda B. Morneault (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting a Wetland Conditional Use Permit under Section 10.1017 of the Zoning Ordinance to impact 5,062 square feet of wetland buffer and 45 square feet of tidal wetland. The proposed new home and existing turnaround is partially within the 100' tidal buffer zone of the North Mill Pond. In addition to the new home the applicant is proposing to remove an existing gravel turnaround and install a new paved parking apron for City vehicles to turn around. This new turnaround and the City pump station are~~

all within a new easement. In addition, there is a plan to upgrade the stormwater outfall to protect against erosion. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District and Historic District. **REQUEST TO POSTPONE (LU-20-222)**

V. PUBLIC HEARINGS—NEW BUSINESS

- A.** The request of ~~North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners)~~ for property located at ~~31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue~~ requesting a Conditional Use Permit as permitted by Section 10.1112.62 of the Zoning Ordinance and according to the requirements of Section 10.1112.14 to allow 113 off-street parking spaces including 18 reserved spaces to be provided on-site and 25 spaces to be provided on a separate lot where a total of 138 are required and Site Plan Review approval for the demolition of three existing buildings and construction of the following: 1) a 5-story mixed use building with 66,676 gross floor area and 16,629 sq. ft. building footprint including 7,720 sq. ft. of commercial use on the ground story and 32 residential units on the upper stories; 2) a 5-story 124-room hotel with 65,980 gross floor area and 14,622 sq. ft. of building footprint; 3) 34,427 sq. ft. of community space as well as associated paving, lighting, utilities, landscaping and other site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)
- B.** The request of ~~North Mill Pond Holdings LLC (Applicant), and One Raynes Ave LLC, 31 Raynes Ave LLC, and 203 Maplewood Ave LLC (Owners)~~ for property located at ~~31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue~~ requesting a Wetland Conditional Use Permit under section 10.1017 to construct two buildings 1) a 5-story mixed use commercial and residential building and 2) a five-story hotel building with 124 rooms. The project has removed all of the impervious surface from the 25' tidal buffer, proposes 67 square feet of impervious surface in the 25-50' tidal buffer and 21,190 square feet of impervious in the 50-100' tidal buffer. Overall the project is able to demonstrate a reduction of 7,070 square feet of impervious surface in the tidal wetland buffer from the existing condition or a reduction of 10,107 square feet if the reserve parking is not constructed. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

- C. The request of **Martingale, LLC (Owner)**, for property located at **99 Bow Street**, requesting Site Plan Review Approval to allow the expansion of the existing deck to include expanded seating for the business as well as public access to the Piscataqua River. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-21-181)

Chairman Legg commented that the Board received a letter from Duncan McCallum suggesting Mr. Pezzullo has been inappropriately elected to the Board and the letter asked the Board to dismiss him. There was a response letter from City Attorney Bob Sullivan stating that it was his opinion that Mr. Pezzullo remain active. The Board has no authority to take action on it. This is informational only.

SPEAKING TO THE APPLICATION

John Chagnon from Ambit Engineering spoke to the application via Zoom. The project consists of 2 separate decks that will be attached to the east and west ends of the existing deck. The western deck expansion will provide general and ADA public access to the riverfront and inner harbor of the Piscataqua River. The eastern deck expansion will be for expanding the outdoor dining space of the Martingale Wharf Restaurant. The public wharf deck will display an educational sculpture. The plan set cover sheet shows the US Army Corps Engineers navigation channel. That channel is located 120 feet from the Martingale Wharf building. There have been some edits to the plans based on abutters' comments. Ultimately, it reduces impact because the eastern deck has been reduced. They had a preapplication mitigation meeting with NHDES that was attended by Fish and Game. This project is adjacent to a critical habitat for Atlantic sturgeon. Fish and Game had no concern regarding impact to the species as long as the construction was completed between November and March. That has been specified in the plan. The deck on the east end has been reduced, so it is no longer located within 20 feet of the abutting property. The revised plans went to the Conservation Commission and there were comments that the structure should be reduced. The deck was reduced by 540 sf on the east. The float expansion has been eliminated completely. There will be a handicap accessible public zone and private provide outdoor dining area. The expansion will provide a specific use which is in accordance with DES regulations. The deck will be a pile supported structure. The project will not have an impact on the functions and values of the adjacent tidal wetland. The structure will not contribute to additional storm water and will not have an impact on species in the area. It will not impede on tidal flow or hydrology. It will not impede migratory fish movement. These structures are common in that area. It will not impact the character of the neighborhood or the abutters. The site was granted an urban exemption by DES. The entire property is now exempted from the Shoreline Protection Act. There was some objection raised at the HDC that they were not transparent, but they disagree. Martingale Wharf appeared before the HDC in many meetings to review and there were public hearings. If there is a required change with the HDC approval, then the team will go back to get approval.

Richard Desjardins and Mark Gianniny from McHenry Architects spoke to the application. Mr. Desjardins commented that the eastern deck would be 890 sf and would extend the restaurant use. The western end of the deck would be extended by 344 sf. The owner is gifting an ADA

compliant public access deck. The deck has squared off edges to align with the existing dock. That was at the request of the HDC. In addition to the expansions the project will include 2 custom designed murals. Those will be going through the HDC and will be included when approved. There will be planter boxes and green screening to soften the space. It will help reduce the long vistas down the deck.

Mr. Chagnon commented that the applicant had no issues with the stipulations that were listed. The second stipulation in the memo is not needed, but the rest are agreeable.

Mr. Chellman requested that the applicant speak to the easement and how the public access would be outlined in the easement. Mr. Chagnon commented that the public access would be through the public entrance to Martingale Wharf and use the elevator. There is also a direct stairway off Bow St. to the left of the building that goes directly to the deck. The developer will be granting the City access in an easement to that area so citizens can use the deck. It will not be available 24/7. There will be periods of time when it is not available. That is consistent with other public easements that have been granted throughout the City.

Vice Chairman Moreau questioned if there would be signage at the street directing the public to the deck. Mr. Chagnon responded that they have not developed a sign package but that would be something the Board can stipulate.

Chairman Legg questioned how the public would access the deck if they did not want to go through the restaurant. Mr. Chagnon responded that they could use the stairs off Bow St. outside the building. Chairman Legg questioned if that was a public right of way now. Mr. Chagnon confirmed that was correct. Chairman Legg commented that it would be more inviting to have the public walk from the sidewalk in the open air to the deck rather than going through the restaurant. Mr. Desjardins commented that the ADA access was through the restaurant, but otherwise they could use the open stairway. Chairman Legg commented that he encouraged safe passage and clear signage that was approved by City Staff.

Mr. Chellman commented that there was concern raised about conventional pilings and questioned if there was an alternative to screwing in the pilings. Mr. Chagnon responded that at this point in time the team is recommending this style of pile. The method is used a lot up and down river, so it's suitable. Mr. Chellman questioned if there had been borings done to know if there was ledge. Mr. Chagnon responded that he was not sure. They were working with a marine engineer contractor and this is what they are recommending.

Vice Chairman Moreau questioned what the status of the DES application was. Mr. Chagnon responded that they requested more information and the applicants responded to that on 12/23/21. DES has 60 days to either issue a decision or request more information.

Mr. Clark commented that the Conservation Commission reviewed this application for a wetland permit review and questioned what that meant. Mr. Britz responded that the City's jurisdiction of the wetland permit is everywhere but the river. The river does not require a City CUP. There is a state wetland permit for tidal wetland and fresh water prime wetlands. This requires a state wetland permit. The Conservation Commission is an advisory committee to the state

application. They make a recommendation to the state. Mr. Clark clarified that their recommendation was going to the state, not the Planning Board. Mr. Britz confirmed that was correct.

Mr. Gamester requested more information on the trash situation that was noted in Attorney Sherman's letter. Mr. Chagnon responded that the trash is routinely collected, and the storage area is on the southeast corner of the property. It is screened from Bow St. It is emptied as many times as necessary. There may be a time when it's overwhelmed, but they are working hard to ensure the bins are not overflowing. The expansion of the seating area is not necessarily an expansion of customers. More people want to eat outside, and this expansion will allow for that. It should not be a large number of additional diners.

Owner John Ricci commented that the trash was not really part of the per view of the dock. They have an enclosure and manage the trash. They have never had the Board of Health complaint. They would be glad to address it if there are issues.

Mr. Chellman commented that the easement for the public access should not include the area to the right, to prevent it from becoming a hang out area before people get to the deck. Mr. Chagnon agreed. That's the hostess station area, so that makes sense. Mr. Desjardins commented that there will be a gate before the hostess station, so that will reenforce that it is a private area. Chairman Legg commented that the public deck should not become an overflow space for customers waiting for a table. Mr. Ricci responded that there will be a landscape barrier between the restaurant and public space. There will be a clear definition between public and private. However, if the deck is open to the public, then who would defines who the public is. They will try to manage it, but people may want to enjoy the view.

Vice Chairman Moreau commented that there needed to be an access easement to use the elevator.

PUBLIC HEARING

Elizabeth Bratter of 159 McDonough St. commented that when the deck was expanded to its current size it was supposed to include a 400-sf public space, and that did not happen. Today they are proposing the same amount of public space. They are asking to expand the deck again. This public access come with a lot of strings. Ms. Bratter questioned if there would be an easement to allow the public access or if it would be just a massive super deck. This application does not show the actual dimensions of the current site. It is unclear on how big the deck is compared to what's there today. There is a large public access area off of Ceres St. The ADA access is not unique because people can go down on the Ceres St. side. The latest application is missing information. They should deny this application until all of the information is provided. If this is approved, then Portsmouth will just end up with a city of restaurants.

Attorney John Sherman of 111 Bow St. Unit 2 commented that there were a lot of unanswered questions in this submission. There were a lot of questions this Board asked that the applicants did not know the answer to. They are proposing to build an unprecedented sized deck over the

Piscataqua. One big open question is how DES will handle this. The Conservation Commission rejected this proposal twice. The applicants were told they could not wharf out into the Piscataqua because it would be in the federal navigable setback. The channel is separate than the navigation setback. In 2015 they were in front of the Conservation Commission and were denied. Now they are saying they will go back to the Conservation Commission again. Mr. Sherman was not aware of that. Their answer will not be different.

Katie Sherman of 111 Bow St. unit 2 commented that the application was not complete. They were asked if there was ledge, and they didn't know. The land use regulations specify the criteria that should be considered. The existing use causes abutters significant problems and expanding that will only make it worse. The expansion will not compliment or enhance 111 Bow St. It will cause the property to decline and one reason for that will be because of the unsightly outdoor storage. The trash is pushed up against the historic building. It is causing a rat problem. The grease trap is there too. There is light spillover from the existing deck, and it is year-round because they have fire pits. There is no space to access the water between the buildings if there is an emergency. The restaurant employees smoke in front of 111 Bow St. All of the units in 111 Bow St. do not agree with this expansion. At the HDC meetings it was noted that the public area now is a space for people waiting for their tables. The public can get to the water through Ceres St. At minimum the Board should do a site visit. This deck is not ADA accessible because the restaurant can open and close access at their discretion. There are several other public decks on Ceres St. already.

Second time speakers

Attorney John Sherman of 111 Bow St. the City just approved an expenditure to fix and upgrade the deck that overlooks the Piscataqua on 113 Bow St. it is double the size of this deck and will allow for public access and viewing opportunities. Patrons will be using the public area while waiting for their tables. That is not speculation. Jeremiah Johnson said that at the HDC meeting. They are presently required to have a public portion on the deck, and patrons use it as overflow waiting space. The applicants should know if there is ledge or not on the shorefront. 111 Bow St. is one of the oldest buildings. The Board should not allow them to drive piles into the shore without knowing what's there. That is unacceptable. The current screens for the trash are out of character with the Historic District. The Board should not allow more screens to be installed. It will take away views. The proposed screens are unsightly and out of character. The art on the screens will only be available to the people on the deck. The other side is blank metal. They are trying to mitigate that problem with plantings, but that is only a seasonal mitigation. The Planning Board needs to be considering the residences in the area. They need to ensure that the value of the abutting residences do not decrease. They have been talking about public ADA access since 2012 and if they were truly motivated to provide that, then they would have 10 years ago.

Katie Sherman of 111 Bow St. Unit 2 reiterated that the trash was a problem. John Ricci noted that the picture was taken on an overflow day but that's the standard. The trash issue has been ongoing. They have only just now separated it from the building by 2 inches.

Attorney John Sherman of 11 Bow St. Unit 2 commented that the trash pictures were from 2015 and were submitted to the Planning Board last time they went through this process.

John Chagnon from Ambit Engineering commented on the issues that were brought up. To say there are a lot of unanswered questions is not entirely true. The Planning Board gets to ask questions that can be answered throughout the process. The applicants come before the Planning Board before they have completed all the construction drawings to build a building. It does not make sense to make final plans before the site approval it acquired. Issues were raised about wharfing out in the previous application. There was an exhibit presented in the last round of applications that showed a wharf perpendicular to the shore wharfing out. That was used as an exhibit in the application to justify the expanded facility. It was stated in the application if they were to wharf perpendicular to the shore, then they would approach the channel and it would not be safe. The Harbor Master has reviewed this application and does not feel that there will be any impact to the navigation channel. This application will not be going back to the Conservation Commission. The project may go back for HDC approval because the deck has gotten smaller. The signage issue was raised and that will be addressed by the applicant. The final design for the pilings comes after the Planning Board approval. It will be part of the application for the building permit. There is public access already and that is not going to change. There are steps in the public access on Ceres St., so it is not ADA compliant. The screen that was proposed on the abutter's side was a mitigation measure and has since been taken out. The deck has been cut back so significant portion of the restaurant building will pick up noise and light before it spills to the abutter. The other side has a screen to separate between the two decks. It will offer privacy to the public portion.

John Ricci owner of Martingale Wharf commented that the elevator access was important because the grades on Ceres St. don't meet ADA requirements. The elevator is the only ADA access to the waterfront. They rebuilt the deck using vibratory piles. The abutting building was not impacted. If this is approved, they will get a marine engineer and investigate what type of piles should be installed. When deck that is there now was installed, they didn't have any complaints or issues from abutters.

Rick Becksted of 1395 Islington St. spoke as resident. Mr. Becksted expressed gratitude to the Chair and the other Planning Board members who will not be serving anymore. Their service has been greatly appreciated. Secondly, Mr. Chagnon claimed that questions can be answered after. Unanswered questions should not get an approval. Unanswered questions means that it's not complete. The Board should consider everyone's views. A direct abutter is opposed. If the Board approves this, then this will be a one and done approval.

Duncan MacCallum of 536 State St. was opposed to the project and agreed with the Shermans' and Ms. Bratter's comments. Mayor Becksted is correct. There are too many unanswered questions. Those should be answered before approval is granted.

Chairman Legg asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Moreau questioned how they ensure that what they approve is built in its entirety and fully finished. Mr. Britz responded that there's a bond in place to ensure all the site work is completed. Vice Chairman Moreau commented that there was a lot of talk about how the pilings can be driven in. Vice Chairman Moreau questioned if the pilings were part of the Planning Board's per view or DES. Mr. Britz responded that DES approves the water work. However, they still will have a building permit phase and that would include the piling construction.

Mr. Harris commented that there were still a lot of unknowns and unanswered questions about the base of the pilings and depth that they have to go down. It is deep water there. This should be evaluated beforehand. They should not approve this if there are unanswered questions.

Mr. Chellman commented that the easement needs to be defined from Bow St. down the stairs to the public deck. Chairman Legg commented that they can include that as a condition.

Mr. Gamester added they should clarify the ADA access would be through the elevator.

City Council Representative Whelan commented that DES has not provided approval yet, and the Conservation Commission did not recommend approval. They need DES approval to be able to do this project. The Planning Board should not approve this, until they have answers. This is a large deck that will be further out into one of the fastest tidal rivers in the U.S. There is a reason why these rules are in place. There are a lot of unanswered questions.

Mr. Clark commented that if NHDES doesn't feel comfortable, then they will either have stipulations or deny it. The permit application to NHDES goes to the Army Corps for environmental review. They will approve what they are comfortable with for the pilings. The contractor has to evaluate the level of risk. Other projects have found ledge and worked with the City to overcome that. Mr. Clark commented that the trash was still an issue. Some may say it is not part of the site plan review because the Board is just reviewing the wharf. However, this expansion will increase occupancy and trash, so the trash management is part of this. There appears to be some onsite issues already and it may be exacerbated by this expansion.

Mr. Chellman commented that he was generally in favor of the application but was not opposed to going out there to have a look and assess the trash and abutters. It felt a little rushed.

Mr. Gamester commented that this did not feel rushed because questions have been asked but some of those decisions are not in the Planning Board's per view. Those questions will be answered through the preconstruction process, NHDES, and federal review. There are other Boards they have to go through. They aren't taking a risk because if something changes, they will have to come back with an amended site plan.

Mr. Harris commented that the trash was still a question. The Board of Health may need to review that. Not taking that step to look at it now can become more of a violation. They should review it and make it part of the approval process.

Vice Chairman Moreau commented that trash may not be their per view because they have already approved where it is and how it functions. If it's not functioning how it is supposed to be, then they are out of compliance. That would be handled by the City.

Mr. Harris commented that it was in the Board's per view because they were being asked to approve an expansion. Chairman Legg commented that they have been told trash has been a problem for a decade and for whatever reason it has not been resolved. If this expansion would exacerbate the problem, then it would be in their per view.

Mr. Britz commented that he had not hear a complaint on this one specifically, but there are a lot of complaints about trash in that part of the City because there are a lot of restaurants in that area. The project was approved through site review. All projects in that area have a construction mitigation management plan that looks at how trash is dealt with and how the site is accessed. The City has not heard that they are out of compliance, but they have not investigated that specifically.

City Manager Karen Conard commented that if this was a concern from the abutter, then the City would take action on it. It would be the City's administration that would ensure the applicant is adhering to the Board of Health standards.

Mr. Gamester commented he appreciated that applicant has argued that the number of diners may not increase. The expansion would just allow more people to sit outside. However, the reality is that it does increase the ability to have more patrons. Mr. Gamester questioned if the trash situation could be improved. If they are in compliance, then it is tough to deal with. Formal complaints should be made if they are out of compliance. It may not make sense to include this as a condition, but the City and owners should collaborate to improve the trash situation.

Mr. Chellman commented that it could be a simple condition saying there should be an administrative view by the Board of Health. Chairman Legg agreed it was appropriate to add as a condition to highlight the concern and ensure the property owner works with the City to address the issue.

Chairman Legg commented that he did not feel this was rushed. It is unusual to have multiple hearings for a site plan review. DES will fulfill its responsibilities as it relates to the pilings etc. DES has the expertise and regulations to review that. The approval of the site plan will not influence DES's decision. They will evaluate based on their criteria. If they deny it, then the project will be denied. If the project is changed significantly, then they will be back for another review. Approving this tonight is not a risk. The only issue was the trash, but the condition covers that.

Mr. Pezzullo commented that the responsible party for the ongoing maintenance of the deck under the City's easement should be included as a stipulation. Chairman Legg agreed and clarified that it should be the owner's responsibility.

Vice Chairman Moreau moved to grant Site plan approval, seconded by Mr. Gamester with the following stipulations:

1. The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
1. a) Easements on the plan and instrument recorded at the registry shall depict the easement to run from Bow street to and through the stairwell to be inclusive of the area depicted as the public deck in the McHenry plan A9 to include ADA access to run with the land
2. Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.
3. Proper signage shall be posted for public space to be consistent with the Board's request from the Street to the public space.
4. Deck to be built in its entirety including public space for this project to be considered complete.
5. Applicant is to do pre-site inspection and vibratory monitoring throughout the project to identify any impacts to abutting properties.
6. Property owner is to work with city staff to resolve trash issues through the Construction Management and Mitigation Plan (CMMP) process.
7. Property owner is to be responsible for maintenance of the deck forever.

The motion passed by an 8-1 vote. City Council Representative Whelan opposed.

- D.** The request of **Dagny Taggart, LLC (Owner)**, for property located at **93 Pleasant Street** requesting Site Plan Review approval for the redevelopment of the existing 4 story structure and the construction of a new structure totaling 34,266 square feet of commercial space and 18 parking spaces. Said property is shown on Assessor Map 107 Lot 74 and lies within the Historic, Downtown Overlay, and CD4 Districts. (LU-21-183)

SPEAKING TO THE APPLICATION

Mr. Chellman recused himself from the application.

John Chagnon from Ambit Engineering spoke to the application. The proposal is for a 2 story and short third addition to the back of the existing building. Currently there is a surface lot. They will create underground parking. The site plan shows the site layout and addition to the rear office. The building is on the corner of Pleasant St. and Court St. Access to the lower parking will be a ramp on Court St. The project originally proposed micro units, however, due to abutter opposition that was eliminated. Now the proposed use will be office only. The HDC has approved the project. TAC recommended approval with conditions, and they are happy to address them all. The parking level plan shows the ramp and 18 parking spaces. The utility plan shows the service transformer location and connections on the east end. The site is currently mostly impervious surface, so that is not really changing. They will provide storm water treatment with an inline filtration system for the roof runoff and a series of R tanks. Runoff will be directed to the City drainage.

Landscape Architect Terrence Parker from Terra Firma commented that the existing historic fence will be renovated and extended along the perimeter of the building as a security fence. It will be the same design as what is there now. The building's main address will be on Pleasant St. The sidewalks will be granite and with new granite pavers. The embankment will be planted with plants that are historically correct for the Treadwell mansion. There will be service berry trees on the corners. The transformer will be screened by arborvitaes. Bike racks and the flagpole on Court St. The garage entrance preserves the historic granite wall. There will be a row of understory trees that allows more vegetated screening along the back of the building. There will be steppingstones in the lawn. They will grow vines up the broad face of the temple side of the building.

Tracy Kozak commented that they went to several sessions with the HDC and received approval. The primary design element was to keep the historic granite wall intact as much as possible. The handicap entrance to the building will be next to the garage entrance. The primary entrance is off Pleasant St. The upper floors are all office use. The addition massing and design will be subservient to the mansion. The plan got variances to allow that. The addition is 2 brick houses connected with recessed areas in between. The existing mansion will be restored. The addition will be brick and the recessed buildings will be composite clapboard.

Rebecca Brown from GPI commented on the traffic. They put together a traffic impact assessment for TAC which included evaluation of trip generations and parking demand. They also assessed the safety of the drive access. Based on ITE data the peak hours will generate 30 vehicle trips. The parking underground will be for the employees of the owner-occupied office. The remaining parking would occur in off-site public parking and garages. That means half of the trips will go to the site and the other half will go to other parking areas. They were not required to do any additional impact assessment. They did a safety analysis and looked at the crashes at Pleasant St. and Court St. and Washington St. and Court St. intersections. All study areas had 2 crashes or less over the study period. Ms. Brown reviewed the sightlines at the site driveway. Cars can see through to the intersection of Pleasant St. and Court St. on the west side. When the vehicle is stopped before the sidewalk people will be able to see 53 feet to the east side. That would allow people to see pedestrians approaching on the sidewalk. Once they and see it is clear they can move forward to be at the edge of the sidewalk to see further down the road. Then they can see 80 feet down the road. That is adequate for vehicles going 15 mph. The sightlines are adequate. The proposal also includes installing a convex mirror on the utility pole across the drive and implementing a pedestrian alert system. There will be a black post mounted in the ground near the drive that would illuminate when a car was exiting the driveway. It would light up with the words "car coming" and the yellow bars will start flashing. It will be posted at the top of the ramp to alert cars and pedestrians of that a car is exiting the garage. There will also be a black post at the bottom of the ramp to alert exiting cars that a new car is entering.

Attorney FX Bruton commented that he was present to answer any questions. They have gone through quite a bit of work to get here and received approval from all prior boards. The project meets site plan regulations and requirements.

Vice Chairman Moreau questioned what would trigger the black posts. Ms. Brown responded that the garage door will open and close when vehicles come and go. When the garage door opens the car coming post will activate. There are supplemental sensors on the ramp to activate the bottom post. Vice Chairman Moreau questioned how trash would be handled. Ms. Kozak responded that there would be a trash room in the garage, and it would be removed via the ramp and hauled away.

Mr. Clark questioned where the solar panels would go on the building. Ms. Kozak responded that there was a note on the roof plan that says the location of the future solar panels would be in the middle section behind the gable roof. There is a flat area there.

PUBLIC HEARING

Elizabeth Bratter of 159 McDonough St. commented on a general problem that she hoped the City would address. This building is in the CD-4 district and across the street is the CD-4 L-1. Right now, the buildings abutting State St. look at a parking lot, so they have a view. If this is approved, then their view will be a building. There is not intermittent zoning. It is very big buildings with limited green space.

Second time:

John Chagnon from Ambit Engineering commented that they agreed with the proposed conditions, however, number 2 was not relevant to this case. There has been some discussion on whether or not number 6 applied. Chairman Legg noted that the conditions 8 and 9 had been revised. Chagnon commented that he had not seen that update but would review.

Chairman Legg asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Mr. Gamester moved to grant Site Plan approval, seconded by Vice Chairman Moreau with the following stipulations:

Conditions Precedent:

1. The Site Plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
2. Any easements plans and deeds for which the City is grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.
3. The Applicant shall prepare a Construction Management and Mitigation Plan (CMMP) for review and approval by the City's Legal and Planning Departments.
4. The Applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public right of way and on site.
5. The Applicant or engineer shall submit a copy of a completed Land Use Development Tracking using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center of Similar form approved by the City.

6. R-Tank shop drawings are to be submitted and approved by DPW before the building permit is issued.

7. A potential underground grease trap location is to be displayed on plans.

Conditions Subsequent:

8. The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance.

9. A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Department.

10. Applicant to obtain a license for the electrical conduits that are to be installed in the public right of way.

Mr. Gamester commented that this was a good project. The construction and design are appropriate for the area. It is good that they are keeping the wall intact by moving the underground parking entrance.

Mr. Pezzullo commented that they would need access for the utilities for the conduits on the transformer pad shown going to Court St. They will need a license from the City to install the electrical conduits in the City right of way.

Mr. Clark commented that the project works and meets the rules and regulations. It is unfortunate that the residence plan could not work. It was a good concept going in.

Chairman Legg agreed the City needs more apartments of different sizes. The original proposal met a need. It is understandable that it was challenging to the neighborhood and developer. It is a better looking project, but it's unclear that if the program is as good as the housing would have been. The design works and the landscaping is great.

The motion passed unanimously.

- E.** The request of **Torrington Properties Inc. (applicant)**, on behalf of **2422 Lafayette Road Associates, LLC (Owner)**, for property located at **2454 Lafayette Road** requesting to amend a previously granted Conditional Use Permit to provide less than required parking in accordance with Section 10.1112.14 of the Zoning Ordinance and Conditional Use Permits for increased housing density and for increased building height as allowed by Section 10.5B72.10 and Section 105B72.20 of the Zoning Ordinance, and development within the Gateway Neighborhood Mixed Use District in accordance with Section 10.5B40 of the Zoning Ordinance; and for Site Plan Review to demolish the existing structure and construct a five (5) story structure with 95 condominium units with 20% designated as workforce housing units and provide 21,896 square feet of community space. Said property is shown on Assessor Map 273 Lot 3 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District. (LU-21-192)

SPEAKING TO THE APPLICATION

Attorney John Bosen, Jay Bisognano, Gregg Mikolaities from August Consulting, Patrick Crimmins from Tighe and Bond, and Rob DiSalvio from Embark Architecture spoke to the application. Mr. Bosen commented that they have worked hard to make sure that this is a successfully well-designed gateway project. It has been vetted through TAC and they received their approval. The project involves demolishing the existing movie theater building a 5-story structure that will include 20% workforce housing and a lot of community space. They will need an amendment to the previously granted Parking CUP. This is a well thought out project that meets City, public realm, and workforce housing requirements. It achieves the Master Plan goals of creating a walkable mixed-use development.

Patrick Crimmins commented that they submitted a comprehensive package. They have been here previously here for Conceptual Consultation and Design Review. This is in the Gateway District, and they are seeking a CUP for site development standards and are seeking a density bonus. The project is required to provide 10% community space and the proposal will provide 14.6%. Also 20% of the units will be workforce housing. The 5-story building will have 95 units total. The first floor will have covered parking with amenity and lobby space. The floors above will be residential units. There will be an attractive drop off roundabout at the entrance of the building. The residential portion of the site will have 177 designated parking spaces. The first floor will cover 83 of those spaces. The community space includes the plaza, pickle ball courts for public use, an additional park, and a dog park area. The site has already been improved with advanced storm water treatment. There will be infiltration throughout the site. They have received appropriate approvals from DES. All of the existing utility connections can be reused. A hydrant will be added in front of the building. The landscaping will include street trees and landscaped seating and patio areas. The plaza will have decorative pavers. There will be landscaped screening between the restaurant and community space. They are required to provide public realm improvements as part of this project. They are proposing to build 700 linear feet of new multi-use path along Constitution Ave. The project team also designed a multi-use path for the remainder of the road. It will be primarily in the existing paved area of the right of way. The path will include drainage improvements and catch basins. The design was coordinated with DPW. Through meeting with various City Boards, they have responded to feedback and addressed stipulations. In 2016 the Veridian was approved with slightly different parking ordinance. The ordinance was changed in 2018 and the shopping center use was eliminated. Now they have to calculate each use in the parcel or perform a parking demand analysis. When Pinz went in, they got a CUP for parking. This is an amendment to that approval and it is a less intensive parking use. Veridian has designated parking. This new residence will now have 177 designated spaces. That leaves 470 spaces for the retail and restaurants. It is more than what is there now for the businesses. They are seeking a CUP for site develop standards as well. The project is consistent with the Master Plan goals. It is promoting walkable areas and improving access to recreational spaces. The site compliments its surroundings because there is already one residential building. It complements the mixed-use space. The project will add 95 units to the housing stock and 19 of them will be workforce housing to accommodate different levels of income. The project has negligible or reduced impact on traffic. The storm water treatment has been designed. There will not be any added demand on municipal systems. The project will maintain the existing character of the neighborhood. It meets the standards outlined with is meeting multiple Master Plan goals. All of the units will be for sale and the workforce housing will be an average or minimum of 1,000

sf. The workforce housing has been identified on the floor plans. They met the criteria to build off site for the public realm improvements because the frontage has already been built out. This plan will be adding to it. The multi-use path will be constructed as part of the project. They are seeking a modification of standards. The site was previously developed. The site by right allows for 16 units per acre. The proposal is for 95 units. Splitting this into smaller buildings would be too challenging.

Rob DiSalvo commented that they tried to cover as much parking as possible on the ground floor. The lobby, fitness space and bike storage are built out in front of the covered parking to screen it from view. The second floor will have an outdoor plaza. There will be private outdoor deck space for the second-floor units and a common area lounge. Floors 3 and 4 will be standard residential units. The top floor sets in from the lower floors. Every unit has some degree of outdoor space. The building should fit into the complex. The drop off area will manage traffic and have greenery.

Mr. Clark questioned how the residents would access the path on Constitution Ave. Mr. Crimmins responded that they can utilize Water Country access road but there is connection out from the Veridian as well via the sidewalks. Mr. Clark questioned how bike traffic would access it. Mr. Crimmins responded that they would have to ride out to it via the access road or walk their bike on the sidewalks. Mr. Clark questioned if they looked at creating a bike lane. Mr. Crimmins responded that it wasn't possible because the space was too tight and there is an existing easement. Mr. Clark questioned what the hours on the pickle ball courts would be. Mr. Crimmins responded that it was community space, and the hours would be coordinated with the City. Lights have been included on the courts. The operations and maintenance will be outlined in the community space agreement as well as the hours.

Mr. Chellman requested more details on their calculations of the building size and units per building. Mr. Crimmins responded that the Board was allowed to modify the standards outlined by the ordinance. Mr. Chellman commented that one point in the ordinance calls out the units per building. Mr. Chellman did not object to more units for the site but was curious how they calculated that in the ordinance. Mr. Britz commented that the ordinance states that the Planning Board can modify the standards in the density bonus thresholds, and that applies to the whole section.

Vice Chairman Moreau requested more detail regarding the workforce housing and questioned if they can agree to 20% at 80% median income and include some larger units. Mr. Bosen responded that they were proud to offer 20% workforce housing units. They are providing 19 units for sale. That is the first of this size in the City. They have determined what qualifies as workforce housing by state law. The area median income is determined by HUD. Workforce housing is based on an income that is no more than 100% of median income for family of 4. This plan is following the statute requirements. The City commissioned a housing study in 2016 and that study recognized that they needed more housing to attract talented people. The study calls up a missing middle and the applicants believe these condos will address that. They will be moderately priced. They will not be able to build a unit at 80% AMI without losing money. They are in favor of workforce housing, but if the Board makes it so difficult, then it can have the counter effect. A private developer should meet the statute and that's what this plan is doing.

Anything beyond that puts this project at risk. Mr. Bisognano agreed with Mr. Bosen. They are proud to deliver 20% workforce housing at 100% AMI. This project is not receiving any subsidy and is privately funded. Mr. Bisognano has created workforce housing in many towns and cities, and was not sure if they had been able to meet the statute the same way they have here. If the consensus is to go to 80% AMI, then they would have to produce less housing units. It will cost \$420,000 to build a unit. Mr. Bisognano did not mind breaking even on the workforce housing, but they could stand to lose a fair amount of money on each unit at 80% AMI. 20% of the units at 100% AMI is a huge win. Less than that will result in a smaller number of units. Mr. Bosen added that they were exceeding the public realm requirements. They could offer a longer covenant instead of a lower AMI. Chairman Legg commented that he felt pretty strongly about the 19 units but wondered if half of the workforce units could be 80% AMI and the other half at 100% AMI. Mr. Bisognano responded that was a good suggestion. However, they are not delivering until late 2023 and that is a risky suggestion because the market could change. Mr. Bisognano was willing to commit to 100% AMI for 19 units. Anything else is a big consideration.

Vice Chairman Moreau questioned if they could stay at 100% AMI and do a 50-year covenant give with an additional 3 bed unit as part of the workforce housing mix. Mr. Bisognano responded that the proposed workforce housing is evenly spread through the building. People want different types of units, and the workforce housing would always be equal opportunity. Chairman Legg commented that there were 11 three-bedroom units and there is only one in the workforce housing mix. There should be 2. Mr. Bisognano confirmed that they could commit to equal distribution throughout the building.

Vice Chairman Moreau questioned if parking would be assigned for residents and if so where would the visitor parking be. Mr. Crimmins confirmed that was correct. The visitors could park in the remainder of the plaza outside of the shaded area on the plan. There are crosswalks and connectivity from the other parking area too.

Mr. Gamester requested clarification about whether or not they were sticking with the 100% AMI because the 80% AMI is too low. Mr. Bisognano confirmed that they can produce 19 units at 100% AMI. Deviation from that would be difficult to answer or commit to on the fly. Any lower AMI would prevent for them from providing 20% workforce units at this time. They can commit to 50 years and equally distributed units.

Mr. Chellman commented that he was in favor of workforce housing, and the proposal exactly conforms with the ordinance. Chairman Legg commented that the ordinance has flexibility to go as low as 80% AMI. Mr. Chellman commented that was understood but they met the ordinance, and it was a good proposal. Chairman Legg agreed that it was better than nothing, but it was good to ensure they could not do better.

PUBLIC HEARING

Rick Becksted 1395 Islington St. spoke as resident. The Board should hold them to the 80% AMI. Otherwise, they should not approve this. This Board granted the Veridian with 7

stipulations and special exceptions. The Board needs to stick to their guns on the 80% AMI. The median income will change in 2023. The Board and Council needs to make bold moves. Portsmouth has only so much land left. They need to consider what this will do to the City's infrastructure. The current residents must cover those costs. McKinnons is overcrowded. There are a lot of concerns about traffic flow. There are issues now without this building.

Second time speakers

Gregg Mikolaities commented that this project was spending close to \$300K off site on the multi-use path and designing the rest of the path as well as engineering and permitting. The cost of workforce housing is the cost of doing business. There is one pot of money, and they can only build so much. This project includes a lot of public realm improvements.

Rick Becksted of 1395 Islington St. commented that it was understood the public realm improvements were icing on the cake. Portsmouth has not defined how many units they need to solve the housing crisis. 80% AMI is not that big of an ask. The price and median will go up by the time this is built. They are pricing themselves out of this town. Two bed condos sell for \$450K. That impacts the price of single-family homes. The Board needs to hold their ground at 80%.

Attorney John Bosen reiterated that they were meeting all of the requirements of the ordinance and are giving more than what is required. They are meeting the definition of workforce housing in the ordinance and statute. This project is addressing the missing middle. The high cost of the market is not a problem they created. It is a problem all over the country. People come here for a reason. It's because it's desirable place to live.

Chairman Legg asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Moreau moved to find that the number of off-street parking spaces provided will be adequate and appropriate for the proposed use of the property and to grant a conditional use permit as presented, seconded by Mr. Gamester.

Vice Chairman Moreau commented that there was additional parking in other places, and it was a complimentary use.

Mr. Gamester agreed. This was adding to a mixed-use space and there was already a residential building there.

The motion passed unanimously.

Vice Chairman Moreau moved to find that the application meets the requirements of Section 10.5B43.10 and to grant a conditional use permit for a Development Site subject to the requirements and conditions of site plan review approval, seconded by Mr. Gamester.

Mr. Gamester commented that the site was already developed. This has been before the Board a few times for different projects. This achieves Master Plan goals of creating a walkable and accessible area. The pickle ball courts are an enhancement, and this is adding housing stock to the City.

The motion passed unanimously.

Vice Chairman Moreau moved to find that the application meets the requirements of 10.5B11 and 10.5B73 of the Zoning Ordinance and to grant a conditional use permit for density bonus incentives, seconded by Mr. Gamester with the following stipulation:

- 1) Workforce housing units are subject to a 50 year covenant with a 20% even distribution among living unit sizes.

Mr. Gamester noted that they have heard the developer's comments that it meets the ordinance and statute. The comments from some of the public are to stick to the 80% AMI. They can enforce that and potentially have the developer not follow through with the project. It would have been good to get more than 19 units at 100% AMI. Mr. Gamester commented that it doesn't sit well, but he would vote in favor.

Vice Chairman Moreau commented that it is always good to get more, but it is hard to justify voting against something that meets the ordinance. The 50-year covenant and evenly distributed units of size was a good negotiation. It is better to have some than none. The West End Yards was this Board's first stab on insisting on workforce housing. They didn't get all they requested there either. They will continue working on this.

Mr. Chellman commented that everyone wants more workforce housing and the way to get it is to work with the developer and change regulations. Requesting beyond the ordinance is not a negotiation it's a demand. If the proposal meets the ordinance, then they should not ask them to go beyond that. If the Board chooses to exceed that and the developer agrees, then that's great. Everyone is in agreement that they need more workforce housing. It costs a lot of money to bring a team together and create these plans. They are created based on the rules that are published. The Board needs to be careful about requesting more than that.

Chairman Legg commented that the ordinance defines workforce housing as up to 100% AMI, but it doesn't mandate 100%. "Up to" suggest that the Board has ability to request less. Chairman Legg understood and appreciated that the developer is looking in the future. It is hard to know what numbers look like. Chairman Legg questioned if they could stipulate that when this project is being developed, they assess the new data and work with city staff to see if they can bring some of the proposed 19 units below the 100% threshold.

Vice Chairman Moreau was concerned about whether or not they could legally do that. They would be approving one thing and then asking them to reconsider and then give more later. Mr.

Chellman agreed and was concerned that the stipulation was not giving them an actual approval. Chairman Legg commented that two years from now the numbers will have changed, and it would be good to add a condition for them to come back and work with the Planning Department on the AMI.

Mr. Gamester commented that it seems like there are too many loose ends with a condition like that. Vice Chairman Moreau agreed and noted that she did not think they could do it legally.

The motion passed unanimously.

Vice Chairman Moreau moved to grant Site Plan approval, seconded by Mr. Gamester with the following stipulations:

Conditions Precedent:

- 1) The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 2) Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 3) The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights-of-way and on site.
- 4) Owner shall provide an access easement to the City for water valve access and leak detection. The easement shall be reviewed and approved by the planning and legal Departments prior to acceptance by the City Council.
- 5) The applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.

Conditions Subsequent:

- 6) The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed according to the approved plans and specifications and will meet the design performance as proposed.
- 7) A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Department.

Vice Chairman Moreau commented that there was already a giant building, parking lot and utilities there. This would be changing the use and function and create more symmetry in the site.

The motion passed unanimously.

- F. The request of **35 Pines LLC, (Owner)**, for the property located at **295 Maplewood, Unit 1** requesting a Conditional Use Permit Approval in Accordance with Section 10.1112.14 of the Zoning Ordinance, for the provision of no on-site parking spaces where three (3) spaces are required. Said property is shown on Assessor Map 141 Lot 35 and is located in the Character District 4-L2 (CD4-L2) and Historic District. (LU-21-211)

Mr. Gamester moved to extend the Planning Board Meeting past 10:00 p.m., seconded by Vice Chairman Moreau. The motion passed unanimously.

SPEAKING TO THE APPLICATION

Mr. Gamester recused himself from the application.

Patrick Lavoie is the owner of Port City Barbers and spoke to the application. Mr. Lavoie is the sole proprietor of the business and has been in business for over a decade. Mr. Lavoie and his wife closed on this property at the beginning of November. The shop is appointment only and each appointment is booked in 1-hour increments. There are no customer overlaps or additional walk ins. The goal is to keep the clients and community safe during Covid. This model will continue indefinitely. There is parking on Jackson Hill Rd. and at the public boat launch. The surrounding roads have public spaces and metered lots. Many clients walk or bike to their appointment. That eliminates the need for parking completely. This permit is important to allow Mr. Lavoie to continue serving the community and operating his business. This was previously used as an insurance company, and it functioned without parking. This will remain residential units and one commercial space.

PUBLIC HEARING

Chairman Legg asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Moreau moved to find that the number of off-street parking spaces provided will be adequate and appropriate for the proposed use of the property and to grant the conditional use permit, seconded by Mr. Clark with the following stipulation:

1) If more chairs are added the applicant must come back for a Conditional Use Permit review and amendment.

Vice Chairman Moreau commented that there was already a business with a more intensive use in this building. The stipulation covers it if any more chairs are added.

The motion passed unanimously.

- G.** The request of **Public Service CO of NH (Owner)**, for the property located at **300 Gosling Road** requesting a Wetland Conditional Use approval according to section 10.1017 is requested for the replacement of 8 utility poles adjacent to Gosling Road. The project proposed temporary impact of 98,984 square feet in the wetland area and of 25,224 square feet in the wetland buffer. The proposal is to replace existing wooden structures with equivalent steel structures. Said property is shown on Assessor Map 214

Lot 3 and is located in the Office Research (OR) and Waterfront Industrial (WI) Districts. (LU-21-205)

SPEAKING TO THE APPLICATION

Lindsay White from GZA Environmental and Ashely Rupect spoke to the application. The CUP is for temporary wetland and buffer impacts for replacing the utility poles. There are 3 transmission lines that run parallel to each other in one corridor. There are 8 poles on Gosling Rd., 5 on Borthwick Ave., and 2 on Greenland Rd. During a routine inspection these poles were determined to be in need of replacement because of deterioration. The proposal is to start in February 2022 and extend to late May. The project requires temporary wetland and buffer impact for access to the poles and timber work pad placement to stage equipment. When the work is complete the timber matting will be removed, and the area will be stabilized with seedless mulch. They met with the Conservation Commission and received approval. They will be submitting an application to DES as well.

Mr. Clark questioned where they would be cleaning the matting before it is moved down the transition line. Ms. Rupect responded that before the matting is removed from a location, they would sweep the mats. They will not transfer anything to another site.

PUBLIC HEARING

Chairman Legg asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Mr. Gamester moved to grant the Wetland Conditional Use Permit as presented, seconded by Mr. Clark.

Mr. Clark commented that these have come to the Board before and for the most part everything works. This is consistent with what they have seen in the past.

The motion passed unanimously.

H. REQUEST TO POSTPONE The request of **ADL 325 Little Harbor road Trust (Owner)**, for the property located at **325 Little Harbor Road** requesting a Wetland Conditional Use Permit under section 10.1017. The applicant is proposing 81,865 square feet of disturbance in the tidal wetland buffer the disturbance includes replacement of an existing home with a new home with a footprint of 3,382 square feet, construction of a new garage 1,300 square feet, renovation of an existing guest cottage 1,217 square feet, construction of a pool cabana 368 square feet and replacement of an existing shed 384 square feet along with other impacts/improvements including utility connections,

playground, drainage improvement and extensive landscape improvements. Said property is shown on Assessor Map 205 Lot 2 and is located in the Rural (R) and Single Residence A (SRA) Districts. **REQUEST TO POSTPONE (LU-21-189)**

DISCUSSION AND DECISION OF THE BOARD

Mr. Gamester moved to postpone to the January 20,2022 Planning Board meeting, seconded by Mr. Clark. The motion passed unanimously.

- I. The request of **The City of Portsmouth (Owner)**, for property located at **0 Vaughan Street** requesting a Wetland Conditional Use Permit under section 10.1017 to restore a piece of property along the North Mill Pond into a City Park, Greenway and Living Shoreline project. The project as proposed includes restoration of 57,520 square feet of restoration work in the Wetland and Buffer with project impacts of 262 square feet in the wetland and 5,490 square feet of impact in the 100' wetland buffer. The project includes the removal of invasive plants, planting of native species to restore the vegetation on the site. The restoration work is proposed in the subtidal, intertidal, and tidal buffer portions of the site. Said property is shown on the Assessor Map 123 Lot 15 and lies within the Character District 4 (CD-4). (LU-21-187)

SPEAKING TO THE APPLICATION

Patrick Crimmins from Tighe and Bond spoke to the application. This is a piece of land that the City acquired with the AC Hotel approval. The site presents a good opportunity for restoration and a public amenity. The proposal is for a porous asphalt multi use path. Prior renditions included public piers. Those piers were removed to reduce impact. The impact is outlined in the buffer exhibit. There will be 57,664 sf of restoration and a little over 5,000 sf of total impact. The porous asphalt and pier count toward that but will serve as infiltration and provide light penetration. The proposed living shoreline will have a mussel bed that will serve as a natural filter for nutrients. The tidal bank has eroded, so they will stabilize that bank with a two-sill living shoreline to mimic coastal shorelines. They will use salvage rock and sand to grow lower marsh vegetation. The next step up will include native plantings. They will create habitat. The invasive plants that are there now will be removed with the exception of the Norway Maples that are more than 6 inches in caliper. Construction oversight observation is required as part of the DES approval. They have teamed up with UNH and Northeastern to construct the shoreline. After care and maintenance will run for 2-5 years to ensure growth and that the living shoreline is thriving. They met with the Conservation Commission. They had comments and concerns, so they had a work session in November then met with again in December and received approval. The boardwalk was reduced in size, and they eliminated the 1-foot gravel shoulders on the multi-use path. This is truly a restoration project, and it hits on all the criteria.

Mr. Britz commented that this was a City project and was part of the North Mill Pond Greenway.

Mr. Clark questioned what the bulkhead was in the cross section. Mr. Crimmins responded that they were referring to the existing bulkhead that was already out there. Mr. Clark questioned

what kind of mitigation measures they were taking in relation to the historic nature of the site. Mr. Crimmins responded that they were building the site up and capping what's out there. They were not planning to dig down. The only excavation that will occur is for the path. Mr. Clark commented that he has seen a lot of collaborative efforts with the State's Historic Preservation on signage or investigation. Mr. Britz responded that there was a lot of opportunities for interpretive signage. Mr. Clark commented that it was a fantastic opportunity to go above and beyond with signage or art to build on what this area was. Mr. Crimmins responded that they were aligned with the vision and are looking for education opportunities and outreach on the site.

PUBLIC HEARING

Elizabeth Bratter of 159 McDonough St. commented that this is what they should be putting this in with every development along the North Mill Pond. The Board should enforce the living shoreline. Mr. Britz has worked tirelessly to provide public access and still protect the wetland with the Conservation Commission. The Board should approve this.

Chairman Legg asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Mr. Clark moved to grant the Wetland Conditional Use Permit, seconded by Mr. Gamester with the following stipulations:

- 1) The applicant shall incorporate "No Digging" signage into the site signage.
- 2) The applicant shall consider measures in the planting plan to work towards reducing the number of geese on site.

Mr. Clark commented that living shorelines can be tough to get going, but ultimately this is what they should be striving for. It will be interesting to see how this site trickles into the abutting sites.

The motion passed unanimously.

VIII. PRELIMINARY CONCEPTUAL CONSULTATION

- A.** The request of **Port Harbor Land LLC**, for the property located at **2 Russell Street** requesting Preliminary Conceptual Site Consultation for a mixed use project consisting of office, retail/commercial, and residential uses in one 4-story and two 5-story buildings. The site is located between, Russell Street, Deer Street, Maplewood Avenue and the Railroad Corridor. Said property is located on Assessor Map 124-12 and lies within the Character District 5 (CD-5). (LUPD-21-10)

Brook Sloken spoke to the plan for the building and the site. This was previously approved with an earlier development. They are currently trying to get read on how to move forward. The plan is to break this into 3 different buildings. There will be a rental building, condos, and an office. There will be at grade parking with a liner building on Deer St. and Russell St. Parking will be

under the center of the building. There will be a 4-story office building and the other two buildings will be 5 stories. There will be 30% or more open space. Some of it is on the adjacent site. There will be two view corridors that will allow the passage of street through the site. It will create an opportunity to use some of the site in front of the Sheraton and the piece across the street on Green St.

Mr. Clark commented that he was not a fan of the community space. The Board has seen a lot of good community space in recent large projects. There can be a lot more activation down by Maplewood Ave. Activation on the corner would be great. The plazas there will have the same issue that Portwalk does. It will be cold and shaded the whole time. The buildings as proposed will look like a giant bow of a ship coming up Russel St. The project is shoehorned in. It may make more sense to do workforce housing to get the incentive instead of community space.

Vice Chairman Moreau questioned if they took into account the future traffic circle. Mr. Sloken confirmed that they did take the roundabout into consideration. They are allowing the street to pass through and is allowing a visual corridor from the old part of town into the north. The view corridor is critical because that street carries through town. There are plans for stairs to allow movement across site without having to go to Maplewood Ave. It is important to have a public gathering space.

Vice Chairman Moreau questioned if some of these units would be for sale and others for rent. Mr. Sloken confirmed that one building would be rentals and the condos would be for sale. Vice Chairman Moreau questioned if they were trying to get crossing through the railroad to give access to Portwalk Place. Mr. Sloken responded that they were not. The plan was to provide a sidewalk to the proper crossing. Vice Chairman Moreau commented that they should have a good plan for activating things like trash, restaurant space, storage, snow maintenance.

Mr. Chellman noted that they were proposing some community space in front of the Sheraton and questioned if both properties would come in for a site plan review at the same time. Mr. Crimmins responded that would be the intent. There is a shared parking component that will be reviewed as well.

Chairman Legg commented that he liked the view corridors and the 3 buildings. They do need to work to improve the community space for the incentive. The Board has allowed some hodgepodge community space in the past. The view corridor is great, but not of community space. The building on Russel St. should step down in some way. Chairman Legg strongly encouraged that they try to get incentives through workforce housing. This is better than what was proposed previously, but still has a long way to go. Mr. Sloken commented that this was the same scale of the Sheraton and further away from Market St. than the Sheraton. It doesn't impose on Market St. It is tough making it a usable building and fitting in a narrow site.

X. OTHER BUSINESS

Mr. Clark commented that it was the last Planning Board Meeting for Mr. Gamester, City Council Representative Whelan, Ms. Henkel, Vice Chairman Moreau, and Chairman Legg. Mr. Clark thanked them for their willingness to listen to his comments and their support. Everyone

on the Board put in 10 hours this month just in the meetings. That does not include the amount of time they took to prepare for the meetings. This last packet over 1000 pages long. Mr. Clark said thank you for all of the time and effort they put into this volunteer position.

Mr. Gamester appreciated that he has had the honor to serve for 8.5 years. All of the members, chairs, and professionals have been amazing. It was fun being on the Board and see projects come to fruition. Mr. Gamester stood by every decision he made on this Board. The Board always came at a fair outcome. In addition to all the applications the Board has worked on the CIP, Master Plans and zoning amendments.

Chairman Legg commented that he was grateful Mayor Jack Blalock appointed him to this Board and was grateful to have served as Chair 5 times. Chairman Legg was thankful for the support of the City Staff and their teams. Their professional expertise and dedication to Portsmouth was so appreciated. They made this a better Board and him a better Chair. Chairman Legg was thankful for the members of this Board and the work they have put in to come up with informed decisions. People can't criticize the process that this Board and other Boards take. The Board consists of fully engaged, thoughtful and respectful members. The process the Board followed is the gold standard of how Boards should work. They treated each other, the applicants, and the public with respect. Chairman Legg has been on the Board 6 years and there has been quiet respect the whole time. There have been disagreements, but no one is disagreeable. Unfortunately, that changed 2 years ago. This Board has remained respectful, but others have become openly critical and hostile to this Board and other land use Boards. This Board and other Boards were blamed for what is perceived as over development. This Board's decisions are based on state statutes, the ordinances, and the facts that are presented. Decisions have to be fact based otherwise the courts will correct an overreach. If people want to change the outcomes, then they need to change the ordinances. This Board has put a list together of potential changes. They are waiting for a new Planning Director to come on board and work with them. The ordinances are a living document that needs to be refined. The incoming City Council should make thoughtful ordinance changes and reestablish the respectful treatment of the City's Boards. All of the Board members are volunteers. It takes a lot of time. Chairman Legg appreciated all of the work they have done and was honored to have worked with the other Board members.

XI. ADJOURNMENT

Vice Chairman Moreau moved to adjourn the meeting at 11:45 p.m., seconded by Mr. Gamester. The motion passed unanimously.

Respectfully submitted,

Becky Frey,
Secretary for the Planning Board



City of Portsmouth
Planning Department
1 Junkins Ave, 3rd Floor
Portsmouth, NH
(603)610-7216

Memorandum

To: Planning Board
From: Beverly Mesa-Zendt, Incoming Planning Director
Peter Britz, Environmental Planner/Sustainability Coordinator/Interim Planning Director
Stefanie L. Casella, Planner
Date: January 21, 2022
Re: Recommendations for the January 27, 2022 Planning Board Meeting

I. ELECTION OF OFFICERS

In the absence of a seated Chair or Vice Chair, Peter Britz will convene the meeting and call for Chair and Vice Chair nominations. Upon the completion of the election, the Chair will conduct the remainder of the meeting.

Please find the section on Board Membership and Officers as found in the [Planning Board Rules and Procedures](#) below:

B. Board Membership and Officers.

...

2. Officers: Board members shall elect annually from its membership in January of each year a Chair and Vice-Chair. Unless voted to the contrary by the Board, the vote shall be conducted by secret ballot. (While this is currently in our Rules and Procedures this procedure is inconsistent with State Law and is not followed for Planning Board Elections) The concurring votes of five members in attendance at a meeting shall be necessary to initiate the election of Officers.

3. Duties of the Chair: The Chair shall preside at all meetings; shall have complete voting privileges on all matters, including the election of officers; and, report any discussion or action relative to the Board that has taken place since the last meeting.

4. Duties of the Vice-Chair: The Vice-Chair shall assist the Chair and, in the absence of the Chair, shall have all the powers and duties of the Chair.

...

II. APPROVAL OF MINUTES

A. Approval of the Planning Board minutes from the December 16, 2021 meeting.

Members who were present at the meeting in question are encouraged to review the drafted minutes and make the necessary edits for recorded accuracy. Members who were not present may abstain from the vote.

A quorum of members must be present to formally accept the draft minutes as official record. If a quorum is not present to vote, the minutes will stay in draft form and will be on file as meeting notes.

III. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

- A. The request of **Austin Repair & Renovation LLC, (Owner)**, for the property located at **27 Shaw Road** requesting Preliminary and Final Subdivision approval.

Planning Department Recommendation

Vote to determine that the applications are complete according to the Subdivision Rules and Regulations (contingent on the granting of any required waivers under Sections IV and VI of the agenda) and to accept the applications for consideration.

SITE PLAN REVIEW

- A. The request of **Sagamore Corner LLC, (Owner and Applicant)**, for the property located at **960 Sagamore Avenue** requesting Site Plan Approval.

Planning Department Recommendation

Vote to determine that this applications is complete according to the Site Plan Review Regulations, (contingent on the granting of any required waivers under Section VI of the agenda) and to accept the applications for consideration.

IV. PUBLIC HEARINGS -- OLD BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

It is recommended that Item IVA and IVB be discussed together and voted on separately.

A motion is required to consider these items together.

- A. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting a wetland Conditional Use Permit under section 10.1017 to construct 50 town homes on an undeveloped lot. The (Applicant) is proposing five areas of wetland impact for a total of 21,350 square feet of permanent impact and three areas of temporary impact for a total of 2,350 square feet. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE** (LU-21-98)
- B. REQUEST TO POSTPONE** Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval for construction of a 50-unit multi-family residential development that includes community space and related landscaping, drainage, paving, utilities and other site improvements. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. **REQUEST TO POSTPONE** (LU-21-98)

Planning Department Recommendation

Vote to postpone to the February Planning Board meeting.

IV. PUBLIC HEARINGS -- OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- C. The request of **Gregory J. Morneault and Amanda B. Morneault (Owners)** and **Darrell Moreau, (Applicant)** for property located at **137 Northwest Street** requesting a Wetland Conditional Use Permit under Section 10. 1017 of the Zoning Ordinance to impact 5,062 square feet of wetland buffer and 45 square feet of tidal wetland. The proposed new home and existing turnaround is partially within the 100' tidal buffer zone of the North Mill Pond. In addition to the new home the applicant is proposing to remove an existing gravel turnaround and install a new paved parking apron for City vehicles to turn around. This new turnaround and the City pump station are all within a proposed easement. In addition, there is a plan to upgrade the stormwater outfall to protect against erosion. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District and Historic District. (LU-20-222)

Project History

This case was last heard at the November 18, 2021 Planning Board meeting where the applicant presented both a Subdivision and Wetland Conditional Use Permit applications. After the presentations the board voted to grant Preliminary and Final Subdivision and postpone action on the Wetland Conditional Use Permit. The Board encouraged the applicant to continue to work on pulling the new structure away from the wetland area and reduce the amount of impacts to the wetland buffer area. The applicant agreed to do so.

BOA Review and Decision on Variance Request

November 24, 2020, variance request denied.

1) Variances from Section 10.521 to allow:

- a) a lot depth of 44.7 feet for Lot 1 and 23.4 feet for Lot 2 where 70 feet is required for each;
- b) a lot area per dwelling unit of 5,317 square feet for proposed Lot 2 where 7,500 square feet per dwelling is required;
- c) a 2.5 foot front yard for proposed Lot 2 where 15 feet is required; and
- d) a 4 foot rear yard for proposed Lot 2 where 20 feet is required.

January 19, 2021, rehearing request denied.

- 1) Request for rehearing of board decision to deny variance request on November 24, 2020.

February 16, 2021, variance request granted.

- 1) Variances from Section 10.521 to allow:

- a) a lot depth of 44.7 feet for Lot 1 and 25.4 feet for Lot 2 where 70 feet is required for each;
- b) a 3 foot front yard where 15 feet is required; and
- c) a 6.5 foot rear yard where 20 feet is required.

Technical Advisory Committee Review of Subdivision

The Technical Advisory Committee (TAC) considered the application for preliminary and final subdivision approval and recommended approval to the Planning Board at the September 7, 2021 meeting with the following stipulations:

- 1) Additional room is added in the turnaround area to prevent backing into the street
- 2) A stonewall (or an appropriate substitute approved by the HDC) be added to the left of the proposed driveway area to screen the garage doors from Northwest Street.

Conservation Commission Review of Wetland Conditional Use Permit

This item was heard at the Conservation Commission meeting on Wednesday November 10, 2021. According to Article 10 Section 10.1017.50 the applicant must satisfy the following conditions for approval of this project:

- 1. The land is reasonably suited to the use activity or alteration.*

The proposed project is in an area which is in need of restoration due to the large amount of debris and invasive vegetation. A restoration and public access project is well suited to his location.

- 2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

The entire property is within the 100' wetland buffer therefore there is no location outside of the buffer that is feasible for this work.

3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.

This project is planned as a restoration project therefore there are no adverse impacts proposed but a number of improvements to the 100' wetland buffer.

4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.

There is no construction on this site other than a porous pavement shared use path and a low boardwalk with openings for light and plants. There will be intertidal structural support for the living shoreline component as well. The goal of the project is to restore the site and to provide flood resilience on the site.

5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.

This is a restoration project which not only restores the site but is responsive to future climate impacts providing resilience to the property.

6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

The applicant is proposing to restore a tidal wetland buffer area to a more natural state through plantings or native vegetation protection of the shoreline from erosion and monitoring for future protection.

A motion was made to approve the request for conditional use with the following stipulations:

- 1) City to use porous pavement or pavers in City Turnaround area
- 2) Shrubs to be kept sufficiently clear of turn around to allow so they are not impacted by snow.

The Commission's vote to approve failed 1-5. Therefore, the Conservation Commission does not recommend approval of this application. The Conservation Commission expressed support for the work that was done by the applicant to reduce the building footprint in the buffer and for installing an enhanced landscape buffer. In addition they supported using pervious pavement or pavers for the proposed turn around. While the

applicant reduced the footprint of the home in the buffer from an earlier review by the Commission, they were not satisfied that the footprint was reduced sufficiently to support approval of a wetland Conditional Use Permit.

Please note that the plans as presented to the Planning Board reflect significant changes to the ones originally presented to the Conservation Commission in November.

Please refer to Section 10.1017 of the [Zoning Ordinance](#) to Review the Wetland Conditional Use provision.

Planning Department Recommendation

The board should consider if the new plans meet the criteria outlined by the regulations.

- Should the board decide that further review is needed, the Board could vote to send the application back to the Conservation Commission for consideration or ask the applicant to continue to work on the proposed application.
- Should the board find that no further review is needed, the Board could vote to grant the Wetland Conditional Use Permit as presented or with stipulations.

IV. PUBLIC HEARINGS -- OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- D. REQUEST TO POSTPONE** The request of **ADL 325 Little Harbor road Trust (Owner)**, for the property located at **325 Little Harbor Road** requesting a Wetland Conditional Use Permit under section 10.1017. The applicant is proposing 81,865 square feet of disturbance in the tidal wetland buffer the disturbance includes replacement of an existing home with a new home with a footprint of 3,382 square feet, construction of a new garage 1,300 square feet, renovation of an existing guest cottage 1,217 square feet, construction of a pool cabana 368 square feet and replacement of an existing shed 384 square feet along with other impacts/improvements including utility connections, playground, drainage improvement and extensive landscape improvements. Said property is shown on Assessor Map 205 Lot 2 and is located in the Rural (R) and Single Residence A (SRA) Districts. **REQUEST TO POSTPONE** (LU-21-189)

Planning Department Recommendation

Vote to postpone the public hearing on this request indefinitely until the applicant has completed review with the Technical Advisory Committee and is ready to proceed. The project should be re-advertised and abutters re-noticed when the public hearing is scheduled.

V. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest,

- A. The request of **Austin Repair & Renovation LLC, (Owner)**, for the property located at **27 Shaw Road** requesting Preliminary and Final Subdivision approval to subdivide one existing lot with 57,354 square feet of lot area and 230 feet of street frontage on Shaw Road and 127 feet of street frontage on Walker Bungalow Road into 2 lots as follows: Proposed Lot 1 with 34,205 square feet of lot area and 230 feet of street frontage on Shaw Road; Proposed Lot 2 with 23,149 square feet of lot area and 127 feet of street frontage on Walker Bungalow Road. Said property is shown on Assessor Map 223 Lot 18 and is located in the Single Residence B (SRB) District. (LU-21-203)

Project Description

This application is proposing the subdivision of one existing lot into two lots. The new lot will have frontage on Walker Bungalow Road and will be tying into the proposed sewer line which is to be extended down Shaw and Walker bungalow Road with substantial completion of the base bid (low pressure sewer installed on Sagamore Avenue north of Sagamore creek, Shaw Road, Walker Bungalow Road, and Cliff Road) by December 30, 2022. As such, the applicant has submitted a waiver request to waive the onsite Sewage Disposal System requirement according to [Subdivision Regulation](#) Section VI.11

Technical Advisory Committee Review

The Technical Advisory Committee (TAC) reviewed this request at their December 7, 2021 meeting and recommended approval to the Planning Board with the following stipulations:

1. Maintain front yard setback subject to zoning review.
2. Show detail of rain garden on lower lot (parent lot) including flowage rights and drainage easement.
3. Show how proposed lot 2 will get power and show pole if needed.
4. Show septic design/holding tank approved by DES.

The applicant's submission to the Planning Board addresses TAC stipulations 1, 2, and 3. Stipulation 4 has been provided as a Planning Board recommended stipulation below.

Planning Department Recommendation

- 1) Vote to approve the waiver request for Section VI.11 of the Subdivision Regulations.
- 2) Vote to approve Preliminary and Final Subdivision with the following stipulations:

- a. Lot numbers as determined by the Assessor shall be added to the final plat.
- b. Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat.
- c. GIS data shall be provided to the Department of Public Works in the form as required by the City.
- d. The final plat and all easement deeds shall be recorded concurrently at the Registry of Deeds.
- e. The applicant can demonstrate the availability of sewer or approved onsite septic or septic holding tank approved by NHDES prior to Building Permit issuance.
- f. All lending parties have provided release and approval of the subdivision.

V. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- B.** The request of **Monarch Village, LLC (Applicant)**, on behalf of **Neveesha Hospitality, LLC (Owner)**, for property located at **3548 Lafayette Road** requesting Site Plan Review and a Conditional Use Permit as permitted under 10.5B41.10 of the Zoning Ordinance to allow for the demolition of 6 structures; the redevelopment of 6 existing structures to create 6 units in building 8, 15 units in building 2, 5 units in building 4, 2 units in building 5, 9 units in building 7; the construction of 4 new structures to create 12 units in building 3 with a 4,303 square foot footprint, 24 units in building 6 with a 7,048 square foot footprint, a 250 square foot storage structure and an 825 square foot storage structure; creating a total of seventy-five (75) residential units with 123 parking spaces where 113 spaces are required. Said property is shown on Assessor Map 297 Lot 6 and lies within the Gateway Corridor (G1) District. (LU-21-90)

Planning Department Recommendation

Vote to postpone the public hearing on this request. Information requested as part of the Technical Advisory Committee process has not been adequately provided and this application is not ready to proceed.

V. PUBLIC HEARINGS – NEW BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,*

***It is recommended that Item VC and VD be discussed together and voted on separately.
A motion is required to consider these items together.***

- C. The request of **Sagamore Corner LLC, (Owner and Applicant)**, for the property located at **960 Sagamore Avenue** requesting Site Plan Approval to demolish the existing mixed use structure and construct a 6-unit residential structure totaling 21,066 square feet of gross floor area, 21 parking spaces as well as associated utilities, lighting, landscaping, and site improvements. Said property is shown on Assessor Map 201 Lot 2 and is located in the Mixed Residential Business (MRB) District. (LU-21-204)

- D. The request of **Sagamore LLC (Owner and Applicant)**, for the property located at **960 Sagamore Avenue** requesting a Wetland Conditional Use Permit approval according to section 10.1017.5 of the Zoning ordinance to impact 1,100 square feet of wetland buffer for grading and to remove 750 square feet of impervious surface in the wetland buffer and construct a new 100 square foot porous paver patio. Said property is shown on Assessor Map 201 Lot 2 and is located in the Mixed Residential Business (MRB) District (LU-21-204)

Description

This application is proposing to redevelop the site formerly known as the Golden Egg restaurant into a new six unit apartment building. This project will be tying into the proposed sewer line which is to be extended to Sagamore Avenue with substantial completion of the base bid (low pressure sewer installed on Sagamore Avenue north of Sagamore creek, Shaw Road, Walker Bungalow Road, and Cliff Road) by December 30, 2022. As such, the applicant has submitted plans for a waste holding tank in lieu of a full septic system.

Conservation Commission Review of Wetland Conditional Use Permit Request

This item was heard at the Conservation Commission meeting on Wednesday December 8, 2021. According to Article 10 Section 10.1017.50 the applicant must satisfy the following conditions for approval of this project:

1. *The land is reasonably suited to the use activity or alteration.*

This property is fairly close to a small wetland in the rear. The applicant has taken steps to remove all of the impervious surface in the buffer and has provided a method to treat stormwater which will not impact the wetland area.

2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.

The proposed lot is fairly compact and they have created a design which reduces the impact in the buffer while providing for the housing goals of the project.

3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.

This project as designed has a net reduction of impervious surface in the buffer which should reduce impacts to the adjacent wetland area. There is a small amount of grading proposed in the buffer which is shown on the grading plan.

4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.

There does not appear to be areas of vegetation in the buffer impacted. There is some upland vegetation which will be removed in the location of the driveway. There does not appear to be new plantings proposed in the buffer other than lawn around the proposed porous patio.

5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.

The applicant has taken steps to reduce the impact in the buffer from what is there today and has addressed stormwater treatment with this application as well. This application as proposed reduces the impacts within the 100' wetland buffer.

6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

The applicant is proposing to restore some areas of impervious surface in the buffer to porous pavement/pavers. In addition there is some grading in the buffer but no plantings shown in these areas other than lawn. Staff believes native groundcover or grasses along with some buffer plantings such as shrubs could be added to the plan to enhance the functions and values of the adjacent wetland.

The Commission made a motion to recommend approval to the Planning Board with the following stipulations:

1. The applicant shall include signage to demonstrate delineation that there is a sensitive resource/wetland area beyond the 10x10 patio area.
2. Along the existing stonewall and existing tree line beyond the proposed patio the applicant shall include additional buffer plantings.

The Conservation Commission voted to recommend approval of the Wetland Conditional Use Permit application to the Planning Board with the above stipulations. The motion passed unanimously.

Technical Advisory Committee Review of Site Plan Request

The Technical Advisory Committee (TAC) reviewed this request at their December 7, 2021 meeting and recommended approval to the Planning Board with the following stipulations:

1. Label address in the title block of the CUP plan.
2. The UG electrical service should be drawn to go from the pole to the building directly.
3. Applicant should coordinate with DPW on viable water source prior to building permit issuance.
4. DES approval of holding tank.
5. Fire service plan.
6. The natural stone finish of the proposed retaining wall shall be finalized and reviewed by the Planning Department prior to approval by the Planning Board.
7. The proposed community storage room in the basement level shall be reduced in size in order to support egress from parking space #10.

In the updated plans provided to the Planning Board the applicant has satisfied all but numbers 4, 5, and 6 of the above stipulations as articulated by TAC. Stipulations 4, 5, and 6 have been recommended as conditions of approval in the Planning Department Recommendation found below.

Planning Department Recommendation

- 1) Vote to grant the Wetland Conditional Use Permit
- 2) Vote to grant Site Plan Approval with the following stipulations:

Conditions Precedent (to be completed prior to the issuance of a building permit):

- 2.1 The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 2.2 Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 2.3 The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights-of-way and on site
- 2.4 The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.
- 2.5 The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.
- 2.6 The applicant can demonstrate the availability of sewer or approved onsite septic or septic holding tank approved by NHDES.
- 2.7 A fire service plan will be provided and approved by the Fire Department.
- 2.8 The applicant will work with the Planning Department to determine a finish stone for the retaining wall.

Conditions Subsequent:

- 2.9 The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;
- 2.10 A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.

...Continued on next page...

2.11 Owner shall provide an access easement to the City for water valve access and leak detection. The easement shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.

V. PUBLIC HEARINGS – NEW BUSINESS

*The Board’s action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,*

- E. Application of **ADL 325 Little Harbor Road Trust (Owner)**, for property located at **325 Little Harbor Road**, for Conditional Use Permit approval in accordance with Section 10.814 of the Zoning Ordinance for the conversion of an existing accessory structure (formerly caretaker’s home) into a Detached Accessory Dwelling Unit with a gross floor area of 1,300 square feet of gross floor area. Said property is shown on Assessor Map 205 Lot 2 and lies within the Rural (R) and Single Residence A (SRA) districts. (Lu-21-220)

Description

This application is requesting the redevelopment of the existing Caretaker’s house. As the proposal entails removing the new appendages to the original structure, this project is more in line with work required for a Detached Accessory Dwelling Unit rather than a Garden Cottage. As such, please find the staff review for a DADU below.

In addition to the dimensional requirements of Section 10.521, the [Zoning Ordinance](#) requires that an DADU comply with the following standards (Section 10.814.30 and 10.814.50).

| Required Standard | Planning Department Comments |
|---|--|
| The principal dwelling unit and the accessory dwelling unit shall not be separated in ownership. | Applicant has stated, in cover letter, the entire property will remain under the ownership of ADL 325 Little Harbor Road Trust. |
| Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling. When the property is owned by one or more trusts, one of the dwelling units shall be the principal place of residence of the beneficiary(ies) f the trust(s). | Applicant has stated, in cover letter, the owner will continue to live in the principal dwelling unit. |
| Neither the principal dwelling nor the accessory dwelling unit shall be used for any business, except that the property owner may have a home occupation use in the unit that he or she occupies as allowed or permitted elsewhere in this Ordinance. | Applicant has stated, in cover letter, neither the primary and accessory dwelling will be used for business other than what is permitted in the Ordinance. |

| Required Standard | Planning Department Comments |
|---|---|
| Where municipal sewer service is not provided, the septic system shall meet NH Water Supply and Pollution Control Division requirements for the combined system demand for total occupancy of the premises. | Applicant is currently working with the City to extend sewer service to the property. |
| <p>In a General Residence district, the combination of the principal dwelling and the DADU shall comply with the minimum lot area per dwelling unit specified for the district.</p> <p>In a Single Residence or Rural district, a lot with a DADU shall comply with the minimum lot area for the district, but need not comply with the minimum lot area per dwelling unit.</p> | Property is located in the Rural district and is a total of 12.3 acres where the minimum is 5 acres. |
| The DADU shall not have more than two bedrooms and shall not be larger than 750 sq. ft. gross floor area; except that the maximum gross floor area shall be 1,000 sq. ft. if the lot area is 2 acres or more. | <p>The proposed DADU will be two-bedrooms with a gross floor area of 1,300 square feet.</p> <p>The applicant is requesting dimensional modifications as permitted by section 10.814.70 of the Zoning Ordinance.</p> |
| The DADU shall be clearly subordinate to the principal single-family dwelling in scale, height and appearance. | Applicant has stated, in cover letter, the proposed DADU is subordinate in height and perimeter façade area, and appearance. |
| The façade area of the DADU that faces a street on which the lot has frontage shall be no more than 40 percent of the combined visible façade areas of the principal single family dwelling and the DADU facing the same street. | This property does not have street frontage and therefore this standard does not apply. |
| The building height of the DADU shall be less than the building height of the principal single-family dwelling. | Applicant has stated, in cover letter, the proposed DADU is 21 feet in height where the principal structure is 32 feet. |

| Required Standard | Planning Department Comments |
|---|---|
| The DADU shall be architecturally consistent with the principal dwelling through the use of similar materials, detailing, and other building design elements. | Applicant has stated, in cover letter, the proposed DADU will be architecturally consistent in design, materials, detailing, and other building elements. |
| The DADU shall be separated from the single-family dwelling by at least 20 feet. | Applicant has stated, in cover letter, the proposed DADU is 112 feet east of the principal single-dwelling structure. |
| The front wall of the DADU shall be set back at least 10 feet further from the front lot line than the existing front wall of the single-family dwelling. | Where this property is an island the front yard requirement is not applicable. However, applicant has stated, in cover letter, the proposed DADU is 20 foot further from the highest observable tide line than the principal structure. |
| No portion of the DADU shall be located in any required front yard, regardless of the location of the single-family dwelling. | N/A |

In order to grant a conditional use permit for an DADU, the Planning Board must first make the following findings (Sec. 10.814.60):

| Required Findings | Planning Department Comments |
|---|--|
| 1. Exterior design of the ADU is consistent with the principal dwelling on the lot. | Applicant has stated, in cover letter, the proposed DADU will use siding similar to that of the principal structure. |

| Required Findings | Planning Department Comments |
|---|--|
| <p>2. The site plan provides adequate open space, landscaping and off-street parking for both the ADU and the primary dwelling.</p> | <p>Proposed ADU and principal structure will require a minimum of 3 parking spaces. According to aerial imagery and proposed garage space it appears this requirement is satisfied. Board should confirm with the applicant that adequate parking will be provided.</p> <p>Applicant has stated, in cover letter, the proposed DADU and overall site renovations will create 94% open space where 75% is required and 2.6% building coverage where 5% is required.</p> |
| <p>3. The ADU will maintain a compatible relationship to adjacent properties in terms of location, design and off-street parking layout and will not significantly reduce the privacy of adjacent properties.</p> | <p>Applicant has stated, in cover letter, the proposed DADU will not alter or reduce privacy of adjacent properties.</p> |
| <p>4. The ADU will not result in excessive noise, traffic or parking congestion.</p> | <p>Applicant has stated, in cover letter, the proposed DADU will not contribute to excessive noise, traffic, or parking congestion.</p> |

Request for Modifications:

The applicant requests modifications of required standards pursuant to Section 10.814.70 of the Zoning Ordinance as follows:

- To grant 1,300 square feet of gross floor area where 1,000 is allowed.

Planning Department Recommendation

- 1) Vote to grant dimensional modification as permitted by section 10.814.53 of the zoning ordinance to all a maximum of 1,300 square feet of gross floor area where 1,000 is allowed.
- 2) Vote to find the remainder of section 10.518.50 is satisfied by the application.
- 3) Vote to grant the conditional use permit with the following stipulations:

3.1 The applicant can demonstrate the availability of sewer or approved onsite septic or septic holding tank approved by NHDES prior to Building Permit issuance.

3.2 The applicant will add a note on the plans and record an affidavit at the registry that states this DADU will be the only accessory dwelling unit on the property.

VI. PRELIMINARY CONCEPTUAL CONSULTATION

- A. The request of **Bailey J. Frederick III (Owner)**, for the property located at **212, 214 & 216 Woodbury Avenue** requesting Preliminary Conceptual Consultation for a Lot Line Revision, demolition of one existing structure, and the construction of one eight-unit structure, two two-unit structures, and one three-unit structure. Said property is shown on Assessor Map 175 Lot 1; Map 175 Lot 2; Map 175 Lot 3 and lies in the General Residence A (GRA) District. (LUPD-22-3)

Description

The applicant has provided a set of preliminary plans for discussion with the Board.

As authorized by NH [RSA 676:4,II](#), the Site Plan Review Regulations require preliminary conceptual consultation for certain proposals, including (1) the construction of 30,000 sq. ft. or more gross floor area, (2) the creation of 20 or more dwelling units, or (3) the construction of more than one principal structure on a lot. Preliminary conceptual consultation precedes review by the Technical Advisory Committee.

Preliminary conceptual consultation is described in the state statute as follows:

[Preliminary conceptual consultation]... shall be directed at review of the basic concept of the proposal and suggestions which might be of assistance in resolving problems with meeting requirements during final consideration. Such consultation shall not bind either the applicant or the board and statements made by planning board members shall not be the basis for disqualifying said members or invalidating any action taken. The board and the applicant may discuss proposals in conceptual form only and in general terms such as desirability of types of development and proposals under the master plan.

The preliminary conceptual consultation phase provides the Planning Board with an opportunity to review the outlines of a proposed project before it gets to detailed design (and before the applicant refines the plan as a result of review by the Technical Advisory Committee and public comment at TAC hearings). In order to maximize the value of this phase, Board members are encouraged to engage in dialogue with the proponent to offer suggestions and to raise any concerns so that they may be addressed in a formal application. Preliminary conceptual consultation does not involve a public hearing, and no vote is taken by the Board on the proposal at this stage. Unlike Design Review, completion of Preliminary Conceptual Consultation does not vest the project to the current zoning.

Staff Suggestions:

- Board members should review section 2.4.2 Preliminary Conceptual Consultation Phase of the [Site Plan Regulations](#).
- Board members should review sections of the [Zoning Ordinance](#) that may apply to this application. Possible sections may include but are not limited to:

- Section 10.440 Table of Uses for GRA District
- Section 10.1110 Off Street Parking

VI. PRELIMINARY CONCEPTUAL CONSULTATION

- B. The request of **635 Sagamore Development LLC (Owner)**, for the properties located at **635 and 695 Sagamore Avenue** requesting Preliminary Conceptual Consultation for the demolition of the existing commercial structure on Lot 19, the construction of five single-unit structures on Lot 19, and the construction of one single-unit structure on Lot 18. Said property is located on Assessor Map 222 Lot 18 and Map 222 Lot 19 and lie within the Single residence A (SRA) District. (LUPD-22-2)

Description

The applicant has provided a set of preliminary plans for discussion with the Board.

As authorized by NH [RSA 676:4,II](#), the Site Plan Review Regulations require preliminary conceptual consultation for certain proposals, including (1) the construction of 30,000 sq. ft. or more gross floor area, (2) the creation of 20 or more dwelling units, or (3) the construction of more than one principal structure on a lot. Preliminary conceptual consultation precedes review by the Technical Advisory Committee.

Preliminary conceptual consultation is described in the state statute as follows:

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The preliminary conceptual consultation phase provides the Planning Board with an opportunity to review the outlines of a proposed project before it gets to detailed design (and before the applicant refines the plan as a result of review by the Technical Advisory Committee and public comment at TAC hearings). In order to maximize the value of this phase, Board members are encouraged to engage in dialogue with the proponent to offer suggestions and to raise any concerns so that they may be addressed in a formal application. Preliminary conceptual consultation does not involve a public hearing, and no vote is taken by the Board on the proposal at this stage. Unlike Design Review, completion of Preliminary Conceptual Consultation does not vest the project to the current zoning.

Staff Suggestions:

- Board members should review section 2.4.2 Preliminary Conceptual Consultation Phase of the [Site Plan Regulations](#).
- Board members should review sections of the [Zoning Ordinance](#) that may apply to this application. Possible sections may include but are not limited to:

- Section 10.440 Table of Uses for SRA district

VII. DESIGN REVIEW APPLICATION ACCEPTANCE

- A. The request of **Port Harbor Land LLC, (Owner)** for the property located at **2 Russell Street and along Russell Street and Deer Street** requesting Design Review for a mixed use project consisting of office, retail/commercial, and residential uses in one 4-story and two 5-story buildings. The site is located between, Russell Street, Deer Street, Maplewood Avenue and the Railroad Corridor. Said properties are located on Assessor Map 124 Lot 12, Assessor Map 118 Lot 28, Assessor Map 119 Lot 4, and Assessor Map 125 Lot 21 and lie within the Character District 5 (CD-5). (LUPD-22-1)

Description

This item is a request for Design Review under the Site Plan Review Regulations. Under the State statute ([RSA 676:4,II](#)), the Design Review phase is an opportunity for the Planning Board to discuss the approach to a project before it is fully designed and before a formal application for Site Plan Review is submitted. The Design Review phase is not mandatory and is nonbinding on both the applicant and the Planning Board.

Although the State statute calls this pre-application phase “design review,” it does not encompass review of architectural design elements such as façade treatments, rooflines and window proportions. Rather, it refers to site planning and design issues such as the size and location of buildings, parking areas and open spaces on the lot; the interrelationships and functionality of these components, and the impact of the development on adjoining streets and surrounding properties.

The process as outlined in Section 2.4.3 of the Site Review regulations is that the Board first has to determine that the request for design review includes sufficient information to allow the Board to understand the project and identify potential issues and concerns, and, if so, vote to accept the request and schedule a public hearing. *Completion of the design review process also has the effect of vesting the project to the current zoning.*

Design review discussions must take place in a public hearing. At the conclusion of the public hearing process, the Board makes a determination that the design review process for the application has ended.

Section 2.4.3 of the Site Plan Review Regulations is provided below for reference.

Site Plan Review Regulations – Article 2, Section 2.4.3: Design Review Phase

1. The applicant may request to meet with the Board for nonbinding discussions of a potential application that involve more specific design and engineering details than in the preliminary conceptual consultation phase.

- 2. A request for design review accompanied by all plans and exhibits shall be submitted to the Planning Department at least 14 days prior to the date of a scheduled meeting of the Board via the City's online permitting system as well as in hard copy. The total number of hard copies required shall be determined by the Planning Director.*
- 3. The request for design review shall include enough of the information listed in Section 2.5.3(1) and plans displaying enough of the information listed in Section 2.5.4(3) so that the Board is able to review the project. Detailed engineering of infrastructure and utilities are not required at the design review phase, but the information listed in Section 2.5.4(3) should be displayed in sufficient detail to enable the Board to understand the proposed project and identify potential issues and concerns.*
- 4. At a regular meeting of the Planning Board, the Board shall determine if the request for design review includes sufficient information to allow the Board Site Plan Review Regulations 6 November 2020 to understand the project and identify potential issues and concerns, and shall vote on whether to accept the request for design review and to schedule a public hearing. If the Board determines that the request does not describe the proposed project in sufficient detail, it shall notify the applicant of the specific deficiencies that need to be addressed.*
- 5. Design review discussions shall take place in a public hearing at a regularly scheduled meeting of the Planning Board, after notice to abutters, holders of conservation, preservation, or agricultural preservation restrictions, and the general public as required by State statute.*
- 6. At any public meeting of the Planning Board, the Board may determine that the design review process of an application has ended and shall inform the applicant in writing within 10 days of such determination.*

Staff Recommendation:

The Board should consider if the materials provided have enough detail for the Board to review the project. If so, the board can vote to accept the application as complete and set a date for the Design Review Public Hearing.

VIII. PUBLIC HEARING - CITY COUNCIL REFERRALS

- A. Application of **Randi Collins (Owner)**, for the restoration of involuntarily merged lots at **77 Meredith Way** to their pre-merger status pursuant to NH RSA 674:39-aa. Said property is shown on Assessor Map 162 Lot 16 and lies within the General Residence A (GRA) district. (RIML-21-5)

Description

At its meeting on November 15, 2021, the City Council considered a request from R. Timothy Phoenix and Monica F. Keiser, on behalf of their client property owners Jeff and Rand Collins, requesting the restoration of involuntarily merged lots at 77 Meredith Way Map 162 Lot 16 to their pre-merger status pursuant to NH RSA 674:39-aa. The Council voted to refer to the Planning Board and Assessor for report back.

Statutory Requirements for Unmerger of Involuntarily Merged Lots

RSA 674:39-aa requires the City Council to vote to restore “to their premerger status” any lots or parcels that were “involuntarily merged” by municipal action for zoning, assessing, or taxation purposes without the consent of the owner. Unlike all other lot divisions, there is no statutory role for the Planning Board in this process nor is there any requirement for the City to hold a public hearing. However, in Portsmouth the City Council has historically referred such requests to the Planning Board to conduct a public hearing.

The statute defines “voluntary merger” and “voluntarily merged” to include “any overt action or conduct that indicates an owner regarded said lots as merged such as, but not limited to, abandoning a lot line” (RSA 674:39-aa, I). It is therefore the City Council’s responsibility to determine whether a merger was voluntary (i.e., requested by a lot owner) or involuntary (implemented by the City without the owner’s consent). If the merger was involuntary, the Council must vote to restore the lots to their premerger status. Following such a vote, the City GIS and Assessing staff will update zoning and tax maps accordingly. It will then be up to the owner to take any further action to confirm the restoration to premerger status, such as recording a plan at the Registry of Deeds.

It is important to note that the granting of a request to restore lots to their premerger status does not mean that the resulting lots will be buildable or, if already developed, will conform to zoning. The statute states that “*The restoration of the lots to their premerger status shall not be deemed to cure any non-conformity with existing land use ordinances*” (RSA 674:39-aa, V). For example, the restored lots may not comply with current zoning requirements for lot area, frontage and depth, and the re-establishment of a lot line between any two premerger lots may introduce a new nonconformity with respect to maximum allowed building coverage or a minimum required side yard where a building already exists on one of the premerger lots. In such cases, the owner(s) of the applicable

lot(s) would have to apply to the Zoning Board of Adjustment for the necessary variances to restore zoning compliance or to allow future development.

Assessing Department Review

The City Assessor has reviewed this application and provided a report on her findings. Her review indicates that this request does not meet the requirements set forth in NH [RSA 674:39-aa](#).

Planning Department Recommendation

The Planning Board should determine if the application meets the requirements set forth in NH RSA 674:39-aa and make a recommendation to the City Council.

IX. OTHER BUSINESS

- A. Request of **London Bridge South Inc. (Owner)** for property located at **0 Falkland Way (address now known as 114 Saratoga Way)** for a 1-year extension of the Site Plan review approval for the demolition of an existing garage and shed and the construction of a new 4-unit residential building on merged lots with associated parking, stormwater management, lighting, utilities and landscaping as granted on January 21, 2020. (LU-20-164)

Description

This application received Planning Board approval on January 21, 2020. The Site Plan Review approval expires one-year from the date granted. The Planning Board may, for good cause shown, extend such period by as much as 1-year if requested and acted upon prior to the expiration date. The original letter of decision and approved site plan are included in the packet for reference.

Please see Section 2.14 of the [Site Plan Review Regulations](#) to reference application approval, expiration and extension steps.

Planning Department Recommendation

Vote to grant a 1-year extension of the Conditional Use Permit and Site Plan Review approval.

IX. OTHER BUSINESS

- B. **Woodbury Avenue Cooperative, Inc. (Owner)**, for the property located at **1338 Woodbury Avenue** for a 1-year extension of the Site Plan review approval for the demolition of two existing structures and replacement and reconfiguration of existing mobile home units with associated grading, pavement, lighting, utilities, landscaping and other site improvements as granted on March 18, 2021. (LU-20-198)

Description

This application received Planning Board approval on March 18, 2021. The Site Plan Review approval expires one-year from the date granted. The Planning Board may, for good cause shown, extend such period by as much as 1-year if requested and acted upon prior to the expiration date. The original letter of decision and approved site plan are included in the packet for reference.

Please see Section 2.14 of the [Site Plan Review Regulations](#) to reference application approval, expiration and extension steps.

Planning Department Recommendation

Vote to grant a 1-year extension of the Conditional Use Permit and Site Plan Review approval.

IX. OTHER BUSINESS

Please refer to the memo from the Planning Director, as provided in the meeting packet, for staff review and recommendation on the remaining items.

- C. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** for a Conditional Use Permit as permitted by Section 10.1112.62 of the Zoning Ordinance and according to the requirements of Section 10.1112.14 to allow 113 off-street parking spaces including 18 reserved spaces to be provided on-site and 25 spaces to be provided on a separate lot where a total of 138 are required and Site Plan Review approval for the demolition of three existing buildings and construction of the following: 1) a 5-story mixed use building with 66,676 gross floor area and 16,629 sq. ft. building footprint including 7,720 sq. ft. of commercial use on the ground story and 32 residential units on the upper stories; 2) a 5-story 124-room hotel with 65,980 gross floor area and 14,622 sq. ft. of building footprint; 3) 34,427 sq. ft. of community space as well as associated paving, lighting, utilities, landscaping and other site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

- D. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting a Wetland Conditional Use Permit under section 10.1017 to construct two buildings 1) a 5 story mixed use commercial and residential building and 2) a five story hotel building with 124 rooms. The project has removed all of the impervious surface from the 25' tidal buffer, proposes 67 square feet of impervious surface in the 25-50' tidal buffer and 21,190 square feet of impervious in the 50-100' tidal buffer. Overall the project is able to demonstrate a reduction of 7,070 square feet of impervious surface in the tidal wetland buffer from the existing condition or a reduction of 10,107 square feet if the reserve parking is not constructed. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

- E. The rehearing request of **Katy Sherman (Rehearing Applicant)**, for property located at **99 Bow Street**, requesting to allow the expansion of the existing deck to include expanded seating for the business as well as public access to the Piscataqua River. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-21-181)

Planning Department Recommendation

Please refer to the memo from the Planning Director as provided in the meeting packet for staff review and recommendation on the matters listed above.

X. ADJOURNMENT



City of Portsmouth
Planning Department
1 Junkins Ave, 3rd Floor
Portsmouth, NH
(603)610-7216

Memorandum

To: Planning Board
From: Beverly Mesa-Zendt, Incoming Planning Director
Date: January 21, 2022
Re: Motions for Planning Board Reconsideration

Background

The following motions for reconsideration are before the Planning Board.

1. Approved December 16, 2021 – Site Plan Application for 1 Raynes Avenue, 203 Maplewood Avenue, and 31 Raynes Avenue
2. Approved December 30, 2021 – Site Plan Application for 99 Bow Street

There is no statute that either requires or authorizes a planning board to conduct a rehearing once a decision has been rendered. Similarly, there is no statute prohibiting a planning board from conducting such a rehearing. A review of prior court decisions suggests that the planning board can consider such requests, however, the planning board is never *required* to grant the request as a matter of law. This lack of state statutory guidance creates an ambiguity for a planning board in determining its authority with respect to rehearing requests. It also creates a void of criteria to apply in determining whether or not to hold such hearings or how to conduct such hearings.

The New Hampshire Municipal Association provides the following:

Whether the board should consider a rehearing depends in part upon the procedural status of the application, and what type of decision the planning board actually reached in the matter.

<https://www.nhmunicipal.org/town-city-article/rehearings-planning-board>

Staff Recommendation

Staff has consulted with and been advised by the City Attorney's office and recommends that the Planning Board **deny** both reconsideration requests.

There are many factors to consider when determining whether or not to grant a rehearing and the decision making criteria and procedural requirements should be firmly grounded in state statute, prior court decisions (case law), and local ordinance. However, as noted above, state law is ambiguous with regard to these matters. Nonetheless, state law has provided an appeal mechanism for aggrieved participants including the right to appeal to superior court, to the Housing Appeals Board, or to the Board of Adjustment (if the issue involves an interpretation of the Zoning Ordinance).

The applicants are requesting a rehearing for the decision on 1 Raynes Avenue, 203 Maplewood Avenue, and 31 Raynes Avenue and have filed a separate and parallel petition with the Board of Adjustment on January 14, 2022.

If the Board of Adjustment finds that an error has been made in the interpretation of the zoning ordinance, the Board of Adjustment may provide necessary zoning relief.

Alternatively, the Applicant may also appeal the decision to superior court under the provisions of RSA 677:15 or the Housing Appeals Board pursuant to RSA 679.

Regulating Rules and Future Requests

It is the recommendation of both the City's Planning and Legal Departments that the Planning Board consider adopting its own rules regulating whether or not rehearing requests will be considered and, if so, the process and criteria which will be applicable to those requests. If the Planning Board accepts this recommendation, staff will place this item on a future Planning Board agenda and will seek guidance from both the Planning Board and the City Attorney's office in developing policies and standards that will facilitate the review of such requests in compliance with both the intent and letter of state statutes and with due consideration to the rights of applicants, abutters, and other participants.

AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS
200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

3 January 2022

Planning Board
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

**Re: City of Portsmouth Application for Conditional Use Permit
Tax Map 122, Lot 2
TBD Northwest Street – Single Family Residence
Portsmouth, New Hampshire**

Dear Planning Board Members:

On behalf of Darrell Moreau – Applicant, and Amanda & Gregory Morneault – Owners, the accompanying **Revised Site Plan Set** is hereby submitted for review for an ongoing City of Portsmouth Wetland Conditional Use Permit Application request. The project was last discussed at the November 18, 2021 Planning Board meeting. The Planning Board asked whether the proposed structure could be located further to the west, to lessen the impact within the city 100 foot buffer zone. These site plans reflect a revised location of the proposed structure as requested. The change was incorporated as follows:

- The building design was revised to relocate the proposed garage doors to the street side
- The driveway was relocated to come to the structure directly from the street and reduced in size
- The minimum garage width of 22 feet was moved west as far as possible while still maintaining the setbacks granted by the ZBA. The west side of the structure now sits at the point where the allowed 3 foot front setback and the 6.5 foot rear setback are 22 feet apart.
- This allowed the building to be moved approximately 18 feet to the west and reduce the impact in the tidal buffer zone
- The exit door for the proposed garage was moved to the west side and the slider moved to the east side of the structure to accommodate grading
- A porous patio (landing) was added on the east side
- The width of the proposed structure beyond the garage was reduced 3 feet so as to maintain the 3 foot front setback and the 6.5 foot rear setback in the rest of the revised house location, as it was slid to the west

As a result of the above changes the request to permit a total of 5,062 square feet of disturbance within the City of Portsmouth Wetland Buffer has been reduced slightly to 4,935 square feet. This overall reduction does not seem productive, however the real impact has been reduced significantly. The proposed structure, pavement and walkway (the impervious surfaces) within the buffer have been reduced from 1,449 SF to 978 SF; a 32% overall impact reduction. The structural component of the impact reduction has been reduced from 760 SF to 312 SF; for a structure impact reduction of 60%. The net impact area remains almost constant as the area of gravel surface to be removed has increased, and the temporary impact area also increased. The net result, however, is a significant decrease in the proposed impervious surface area in the buffer. In addition with the location of the garage doors facing

the street and the subsequent pavement reduction the overall impervious surface on the lot has been reduced by 825 square feet and the total impervious surface proposed now is less than 20% of lot area.

The site plan revisions are listed herein, specifically:

- Cover Sheet – Submission date change
- Subdivision Plan – No Change
- Existing Conditions Plan C1 – The flood zone line has been added
- Subdivision Site Plan C2 – The location, dimensions, and area of the proposed structure and the driveway location have been revised.
- Erosion Control and Grading Plan C3 – The site grading has been revised to the new structure location
- Utility Plan C4 – The utility connections have been updated to the new structure location
- CUP & NHDES Permit Plan C5 – The Disturbed Area Table and impact areas have been revised
- Neighborhood Plan – Aerial P1 – The plan has been updated to the new house location
- Detail Sheets D1 and D2 – a porous patio detail has been added to the construction details

We look forward to the Planning Boards review of this submission and we will be in attendance at the meeting to answer any questions the Board may have on the proposed project.

Respectfully submitted,

John Chagnon

John R. Chagnon
Project Engineer
Ambit Engineering, Inc.

OWNERS:
GREGORY J. MORNEAULT
AMANDA B. MORNEAULT
 137 NORTHWEST STREET
 PORTSMOUTH, N.H. 03801

APPLICANT:

DARRELL MOREAU
 1B JACKSON HILL STREET
 PORTSMOUTH, N.H. 03801
 TEL: (603) 512-5116

LAND SURVEYOR & CIVIL ENGINEER:

AMBIT ENGINEERING, INC.
 200 GRIFFIN ROAD, UNIT 3
 PORTSMOUTH, N.H. 03801-7114
 TEL: (603) 430-9282
 FAX: (603) 436-2315

ARCHITECT:

ART FORM ARCHITECTURE, INC.
 44 LAFAYETTE ROAD
 NORTH HAMPTON, NH. 03862
 TEL: (603) 431-9559

PROPOSED SUBDIVISION PLAN

TBD NORTHWEST STREET

PORTSMOUTH, NEW HAMPSHIRE

PERMIT PLANS

REQUIRED PERMITS
 NHDES SHORELAND PERMIT: PENDING
 NHDES WETLAND PERMIT: PENDING
 PORTSMOUTH CONDITIONAL USE PERMIT: PENDING
 PORTSMOUTH ZONING BOARD: APPROVED 2/16/21
 PORTSMOUTH PLANNING BOARD SUBDIVISION: APPROVED 11/18/21

LEGEND:

| | |
|----------|--------------------------------|
| N/F | NOW OR FORMERLY |
| RP | RECORD OF PROBATE |
| RCRD | ROCKINGHAM COUNTY |
| | REGISTRY OF DEEDS |
| 11/21 | MAP 11/LOT 21 |
| ● IR FND | IRON ROD FOUND |
| ○ IP FND | IRON PIPE FOUND |
| ● IR SET | IRON ROD SET |
| ○ DH FND | DRILL HOLE FOUND |
| ○ DH SET | DRILL HOLE SET |
| □ | GRANITE BOUND w/IRON ROD FOUND |

| EXISTING | PROPOSED | |
|----------|----------|------------------------------|
| --- | --- | PROPERTY LINE |
| --- | --- | SETBACK LINE |
| FM | FM | FORCE MAIN |
| S | S | SEWER PIPE |
| SL | SL | SEWER LATERAL |
| G | PG | GAS LINE |
| D | D | STORM DRAIN |
| FD | FD | FOUNDATION DRAIN |
| W | W | WATER LINE |
| FS | FS | FIRE SERVICE LINE |
| UE | UGE | UNDERGROUND ELECTRIC SUPPLY |
| | UWE | UNDERGROUND ELECTRIC SERVICE |
| OHW | OHW | OVERHEAD ELECTRIC WIRES |
| --- | --- | RETAINING WALL |
| --- | --- | EDGE OF PAVEMENT (EP) |
| 100 | 100 | CONTOUR |
| 97x3 | 98x0 | SPOT ELEVATION |
| ○ | ○ | UTILITY POLE |
| □ | □ | ELECTRIC METER |
| □ | □ | TRANSFORMER ON CONCRETE PAD |
| ○ | ○ | ELECTRIC HANDHOLD/PULLBOX |
| ○ C.O. | ○ C.O. | WATER SHUT OFF/CURB STOP |
| ○ | ○ | PIPE CLEANOUT |
| ○ | ○ | GATE VALVE |
| ○ | ○ | HYDRANT |
| ○ | ○ | CATCH BASIN |
| ○ | ○ | SEWER MANHOLE |
| ○ | ○ | DRAIN MANHOLE |
| ○ | ○ | WATER METER MANHOLE |
| ○ | ○ | TEST BORING |
| ○ | ○ | TEST PIT |
| LA | LA | LANDSCAPED AREA |
| CI | CI | CAST IRON PIPE |
| COP | COP | COPPER PIPE |
| CMP | CMP | CORRUGATED METAL PIPE |
| DI | DI | DUCTILE IRON PIPE |
| PVC | PVC | POLYVINYL CHLORIDE PIPE |
| RCP | RCP | REINFORCED CONCRETE PIPE |
| HYD | HYD | HYDRANT |
| ℄ | ℄ | CENTERLINE |
| EP | EP | EDGE OF PAVEMENT |
| EL | EL | ELEVATION |
| FF | FF | FINISHED FLOOR |
| INV | INV | INVERT |
| TBM | TBM | TEMPORARY BENCH MARK |
| TYP | TYP | TYPICAL |



| | | |
|--|------|------------------------------|
| | R | Rural |
| | SRA | Single Residence A |
| | SRB | Single Residence B |
| | GRA | General Residence A |
| | GRB | General Residence B |
| | GRC | General Residence C |
| | GAMH | Garden Apartment/Mobile Home |

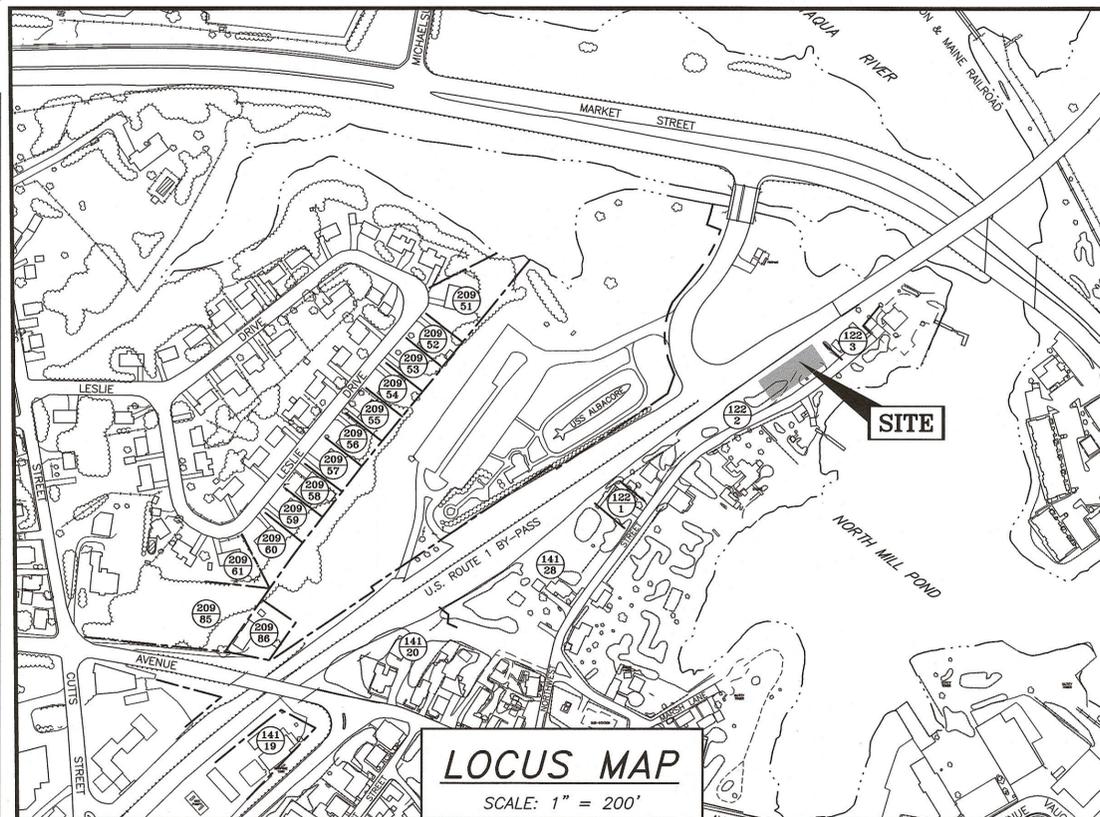
| | | |
|------------------------------------|-----|----------------------------|
| Mixed Residential Districts | | |
| | MRO | Mixed Residential Office |
| | MRB | Mixed Residential Business |
| | G1 | Gateway Corridor |
| | G2 | Gateway Center |

| | | |
|---------------------------|----|---------------------|
| Business Districts | | |
| | GB | General Business |
| | B | Business |
| | WB | Waterfront Business |

| | | |
|-----------------------------|----|-----------------------|
| Industrial Districts | | |
| | OR | Office Research |
| | I | Industrial |
| | WI | Waterfront Industrial |

| | | |
|--------------------------|-----|-----------------------------|
| Airport Districts | | |
| | AIR | Airport |
| | AI | Airport Industrial |
| | PI | Pease Industrial |
| | ABC | Airport Business Commercial |

| | | |
|------------------------|-----|-----------------------------|
| Other Districts | | |
| | M | Municipal |
| | NRP | Natural Resource Protection |
| | TC | Transportation Corridor |



INDEX OF SHEETS

- SUBDIVISION PLAN
 C1- EXISTING CONDITIONS PLAN
 C2- SUBDIVISION SITE PLAN
 C3- EROSION CONTROL & GRADING PLAN
 C4- UTILITY PLAN
 C5- CUP & NHDES PERMIT PLAN
 P1- NEIGHBORHOOD PLAN- AERIAL
 D1-D2- DETAILS

UTILITY CONTACTS

ELECTRIC:
 EVERSOURCE
 74 OLD DOVER ROAD
 ROCHESTER, N.H. 03867
 Tel. (603) 332-4227,
 Ext. 555.5325
 ATTN: MARK COLLINS
 EMAIL:
 mark.collins@eversource.com

NATURAL GAS:
 UNITIL
 325 WEST ROAD
 PORTSMOUTH, N.H. 03801
 Tel. (603) 6294-5147
 ATTN: SUSAN DUPLISA
 dupliseas@unitil.com

CABLE:
 XFINITY BY COMCAST
 180 GREENLEAF AVE.
 PORTSMOUTH, N.H. 03801
 Tel. (603) 266-2278
 ATTN: MIKE COLLINS

SEWER & WATER:
 PORTSMOUTH DEPARTMENT
 OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H. 03801
 Tel. (603) 427-1530
 ATTN: JIM TOW

COMMUNICATIONS:
 FAIRPOINT
 COMMUNICATIONS
 1575 GREENLAND ROAD
 GREENLAND, N.H. 03840
 Tel. (603) 427-5525
 ATTN: JOE CONSIDINE
 EMAIL:
 jconsidine@fairpoint.com

PROJECT ABUTERS:

- | | | | | | |
|--|---|--|---|--|--|
| | N/F ANDREA L. ARDITO R. BRAD LERO 121 NORTHWEST STREET PORTSMOUTH, NH 03801 5646/912 | | N/F MICHAEL GEORGE PETRIN & KATIE MARIE LAVERRIERE 268 DENNETT STREET PORTSMOUTH, NH 03801 6138/647 (12.3% INT.) | | N/F NATHAN LAVERRIERE 2040 FRANKLIN STREET APT. #801 SAN FRANCISCO, CA 94109 6138/647 (87.7% INT.) |
| | N/F MICHAEL GEORGE PETRIN & KATIE MARIE LAVERRIERE 268 DENNETT STREET PORTSMOUTH, NH 03801 6138/647 (12.3% INT.) | | N/F NATHAN LAVERRIERE 2040 FRANKLIN STREET APT. #801 SAN FRANCISCO, CA 94109 6138/647 (87.7% INT.) | | N/F MARY A. MAHONEY TRUST c/o MARY A. MAHONEY TRUST 208 NORTHWEST STREET PORTSMOUTH, NH 03801 6042/1984 |
| | N/F LARRY BOOZ 172 NORTHWEST STREET PORTSMOUTH, NH 03801 5773/2064 0-14146 | | N/F LISA E. GROUX 136 NORTHWEST STREET PORTSMOUTH, NH 03801 4666/602 C-33849 | | N/F THE SOCIETY FOR THE PRESERVATION OF NEW ENGLAND ANTIQUITIES 141 CAMBRIDGE STREET BOSTON, MA 02114 786/216 |

PORTSMOUTH APPROVAL CONDITIONS NOTE:
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN
 PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF
 PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

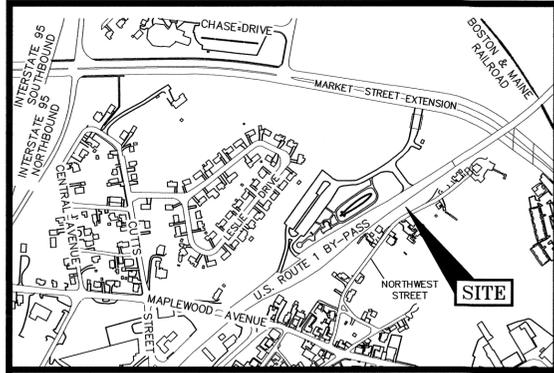
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

PROPOSED SUBDIVISION PLAN
TBD NORTHWEST STREET
PORTSMOUTH, N.H.

AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 3 JANUARY 2022

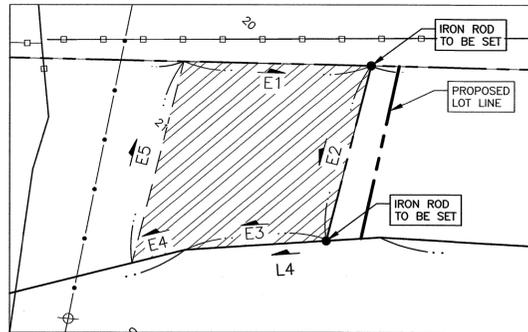


LOCATION MAP SCALE: 1" = 500'

PLAN REFERENCES:

- 1) MAINE NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY PISCATAQUA RIVER BRIDGE KITTERY, MAINE - PORTSMOUTH, NEW HAMPSHIRE RIGHT OF WAY MAP - N.H. APPROACH, SCALE: 1" = 50', PREPARED BY HARRINGTON AND CORTELYOU CONSULTING ENGINEERS KANSAS CITY, MO., DATED DECEMBER 1938, SHEET 1 OF 11, NOT RECORDED
- 2) MAINE - NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY PISCATAQUA RIVER BRIDGE KITTERY, MAINE - PORTSMOUTH, NEW HAMPSHIRE RIGHT OF WAY MAPS N.H. APPROACH, RE-SURVEYED BY: MOULTON ENGINEERING CO. KITTERY, MAINE 1954, SCALE: 1" = 50', SHEET 1 OF 5, NOT RECORDED
- 3) US ROUTE 1 BYPASS & SUBMARINE WAY RIGHT OF WAY LAYOUT PLANS CITY OF PORTSMOUTH JULY 17, 2019, OWNER OF RECORD: STATE OF NEW HAMPSHIRE, STATE PROJECT NO. 13455, SCALE: 1" = 50', PREPARED BY GM2 ASSOCIATES, SHEETS 3 & 4 OF 6, RCRD D-41603
- 4) PLAN OF LAND PORTSMOUTH, N.H. FOR ESTATE OF GRACE L. HOYT, SCALE: 1" = 20' DATED DEC. 1972 REV. MAR. 1973, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD D-3596
- 5) CONDOMINIUM SITE PLAN FOR GANTRY REALTY TRUST 172 NORTHWEST STREET COUNTY OF ROCKINGHAM PORTSMOUTH, N.H. SCALE: 1" = 20', DATED SEPT. 11, 1985 REV OCT. 1, 1985, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SHEET 1 OF 3, RCRD D-14146
- 6) STANDARD PROPERTY SURVEY AND CONDOMINIUM SITE PLAN OF LAND OF LOT 4 TAX MAP U-22 250 NORTHWEST STREET PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM, SCALE: 1" = 10', DATED 9-9-96, PREPARED BY CIVILWORKS DOVER, N.H., RCRD D-24961
- 7) PLAN OF LAND IN THE NAME OF THE SUSAN M. REED REVOCABLE TRUST OF TAX MAP 122 / LOT 8 LOCATED AT #136 NORTHWEST STREET COUNTY OF ROCKINGHAM PORTSMOUTH, NH, SCALE: 1" = 20' DATED MAY 23, 2006, PREPARED BY DAVID W. VINCENT, LLS RCRD C-33849

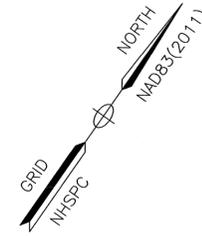
PROPOSED WATERLINE EASEMENT



AREA A SCALE 1"=10'

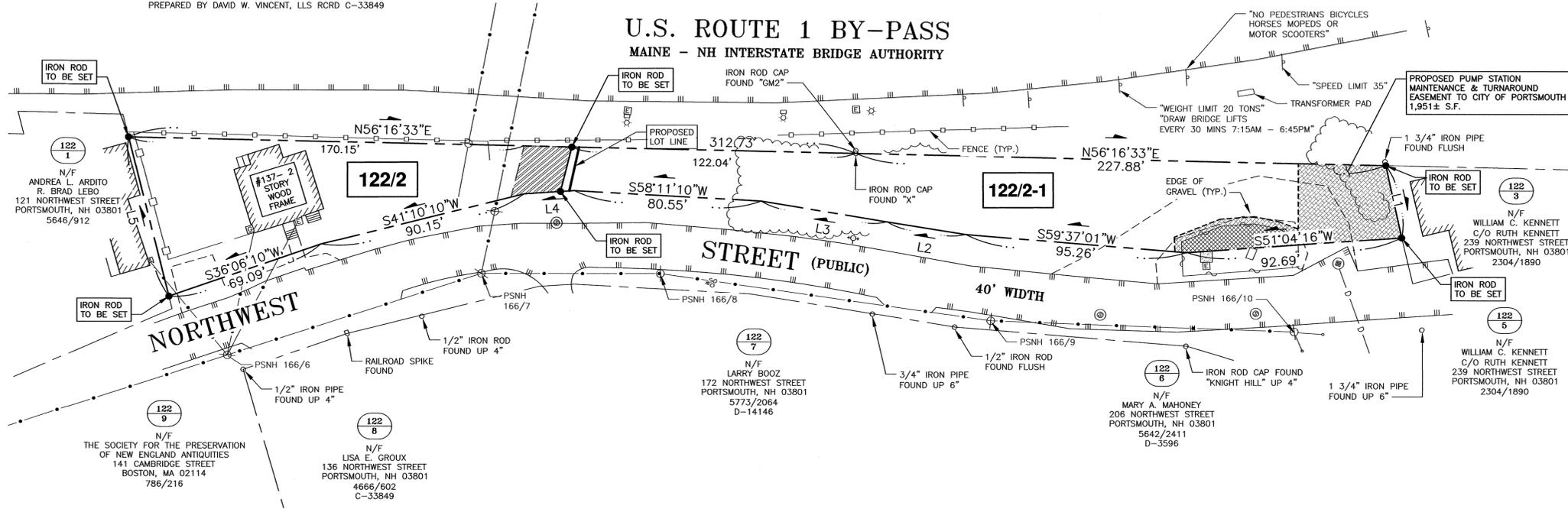
REQUIRED VARIANCES:

SECTION 10.521
 A LOT DEPTH OF 44.7 FEET FOR LOT 1 AND 25.4 FEET FOR LOT 2 WHERE 70 FEET IS REQUIRED FOR EACH.
 APPROVED 2-16-2021

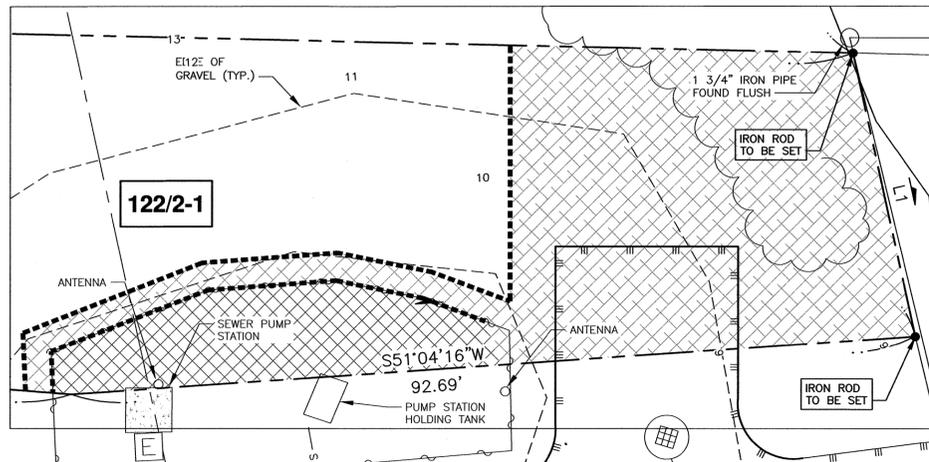


LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHHB NHDOT BOUND FOUND
- ▭ TB TOWN BOUND
- ▭ BND w/DH BOUND WITH DRILL HOLE
- ▭ ST BND w/DH STONE BOUND WITH DRILL HOLE



SEWER PUMP STATION & TURN AROUND



AREA B SCALE 1"=10'

LENGTH TABLE

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | S 47°28'51" E | 31.75' |
| L2 | S 64°01'21" W | 34.26' |
| L3 | S 64°19'54" W | 54.79' |
| L4 | S 51°20'10" W | 21.35' |
| L5 | N 49°16'35" W | 70.45' |

EASEMENT LENGTH TABLE

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| E1 | N 56°16'33" E | 20.54' |
| E2 | S 20°36'02" E | 19.73' |
| E3 | S 51°20'10" W | 15.48' |
| E4 | S 41°10'10" W | 5.99' |
| E5 | N 20°36'02" W | 22.71' |

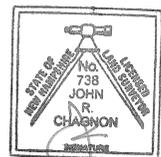
GRAPHIC SCALE



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

John R. Chagnon
 JOHN R. CHAGNON, LLS 738

8.23.21
 DATE



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



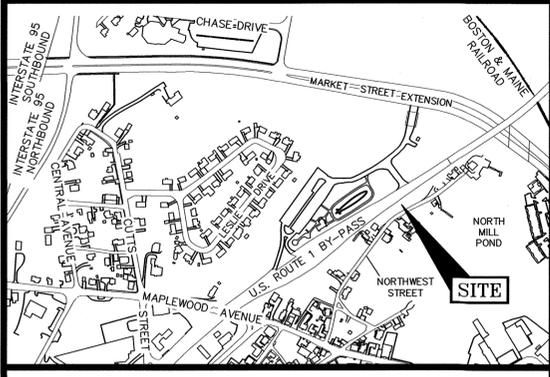
AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
- 2) OWNERS OF RECORD:
 GREGORY J. MORNEAULT
 AMANDA B. MORNEAULT
 137 NORTHWEST STREET
 PORTSMOUTH, N.H. 03801
 APPLICANT:
 DARRELL MOREAU
 1B JACKSON HILL STREET
 PORTSMOUTH, NH 03801
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA (AE EL 8) AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005. PARCEL IS PARTIALLY IN THE 2' EXTENDED FLOOD HAZARD ZONE.
- 4) EXISTING LOT AREA:
 18,134 S.F.
 0.4163 ACRES
 PROPOSED LOT AREAS:
 122/2 122/2-1
 7,500 S.F. 10,634 S.F.
 0.1722 ACRES 0.2441 ACRES
- 5) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBDIVISION OF ONE LOT INTO TWO LOTS AND CREATE EASEMENTS TO THE CITY OF PORTSMOUTH.
- 6) ZONING DISTRICTS:
 GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.
- 7) DIMENSIONAL REQUIREMENTS:
 LOT AREA: 7,500 S.F.
 FRONTAGE: 100'
 DEPTH: 70'
 SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.
 MAXIMUM STRUCTURE HEIGHT: 35'
 MAXIMUM BUILDING COVERAGE: 25%
 MINIMUM OPEN SPACE: 30%
- 8) PROPOSED LOT 1 DIMENSIONAL CALCULATIONS:
 LOT AREA: 7,500 S.F.
 FRONTAGE: 179'
 DEPTH: 44.7' AVERAGE
 SETBACKS:
 FRONT: 13.8'
 SIDE: 40.5'
 REAR: 1.8'
 BUILDING COVERAGE: 1,029 S.F. - 14%
 OPEN SPACE: 6,246 S.F. - 83%

| NO. | DESCRIPTION | DATE |
|-----|-------------------|---------|
| 1 | EASEMENT LOCATION | 8/23/21 |
| 0 | ISSUED TO TAC | 5/17/21 |

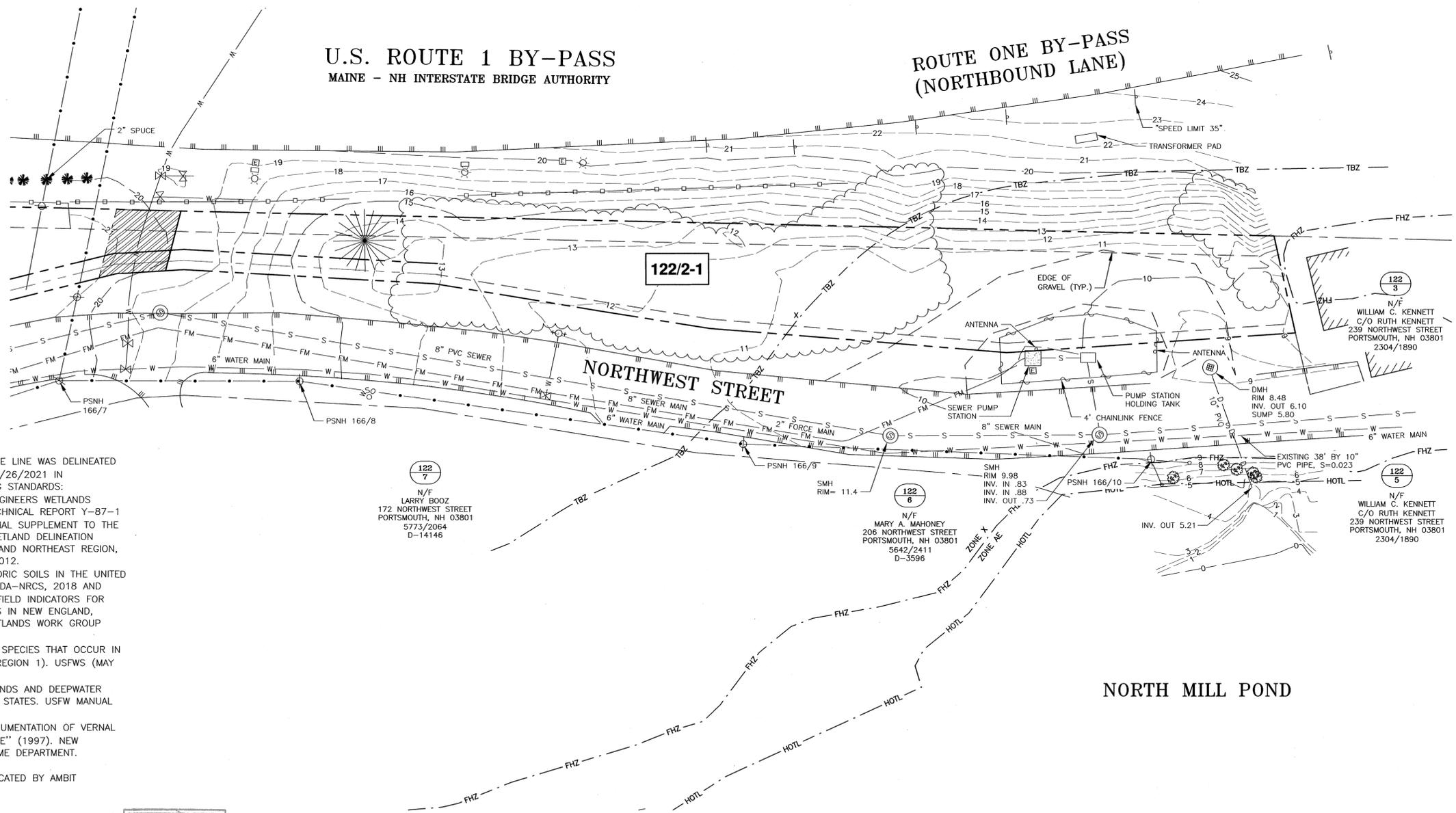
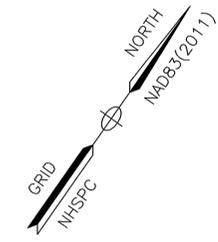
SUBDIVISION PLAN
TAX MAP 122 - LOT 2
 OWNERS:
GREGORY J. MORNEAULT & AMANDA B. MORNEAULT
 137 NORTHWEST STREET
 CITY OF PORTSMOUTH
 COUNTY OF ROCKINGHAM
 STATE OF NEW HAMPSHIRE



LOCATION MAP SCALE: 1" = 500'

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
 - 2) OWNERS OF RECORD:
GREGORY J. MORNEAULT
AMANDA B. MORNEAULT
137 NORTHWEST STREET
PORTSMOUTH, N.H. 03801

APPLICANT:
DARRELL MOREAU
18 JACKSON HILL STREET
PORTSMOUTH, NH 03801
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA (AE EL. 8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021. PARCEL IS PARTIALLY IN THE 2' EXTENDED FLOOD HAZARD ZONE.
 - 4) EXISTING LOT AREA:
10,634 S.F.
0.2441 ACRES
 - 5) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON LOT 2-1 OF THE PROPOSED SUBDIVISION.
 - 6) ZONING DISTRICTS:
GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.
 - 7) DIMENSIONAL REQUIREMENTS:
LOT AREA: 7,500 S.F.
FRONTAGE: 100'
DEPTH: 70'
SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.
MAXIMUM STRUCTURE HEIGHT: 35'
MAXIMUM BUILDING COVERAGE: 25%
MINIMUM OPEN SPACE: 30%
 - 8) PROPOSED LOT 2 DIMENSIONAL CALCULATIONS:
LOT AREA: 10,634 S.F.
FRONTAGE: 357'
DEPTH: 25.4 AVERAGE
 - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

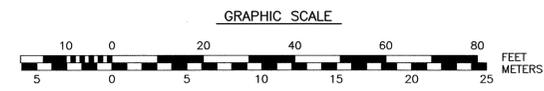
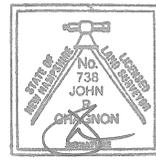


WETLAND NOTES:

- 1) THE HIGHEST OBSERVABLE TIDE LINE WAS DELINEATED BY STEVEN D. RIKER, CWS ON 10/26/2021 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWPCC WETLANDS WORK GROUP (2019).
 - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
 - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1997).
 - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 2) LINE LOCATION WAS FIELD LOCATED BY AMBIT ENGINEERING, INC.

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

John R. Chagnon 1-3-22
JOHN R. CHAGNON, LLS DATE



**PROPOSED HOUSING
TBD NORTHWEST ST.
PORTSMOUTH, NH**

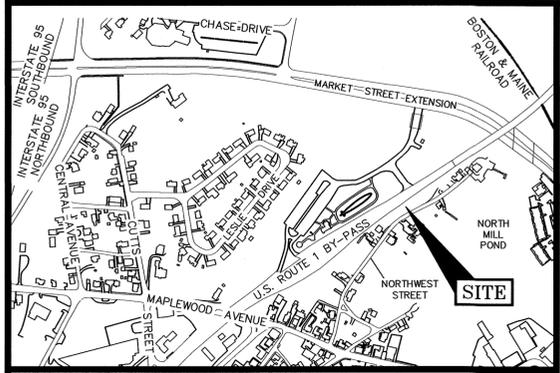
| NO. | DESCRIPTION | DATE |
|-----|----------------------|---------|
| 2 | FLOOD ZONE LINE | 1/3/22 |
| 1 | WET DELINEATION NOTE | 1/27/21 |
| 0 | ISSUED FOR COMMENT | 8/23/21 |

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |

SCALE 1" = 20' JUNE 2021

EXISTING CONDITIONS PLAN- LOT 2-1 **C1**



LOCATION MAP

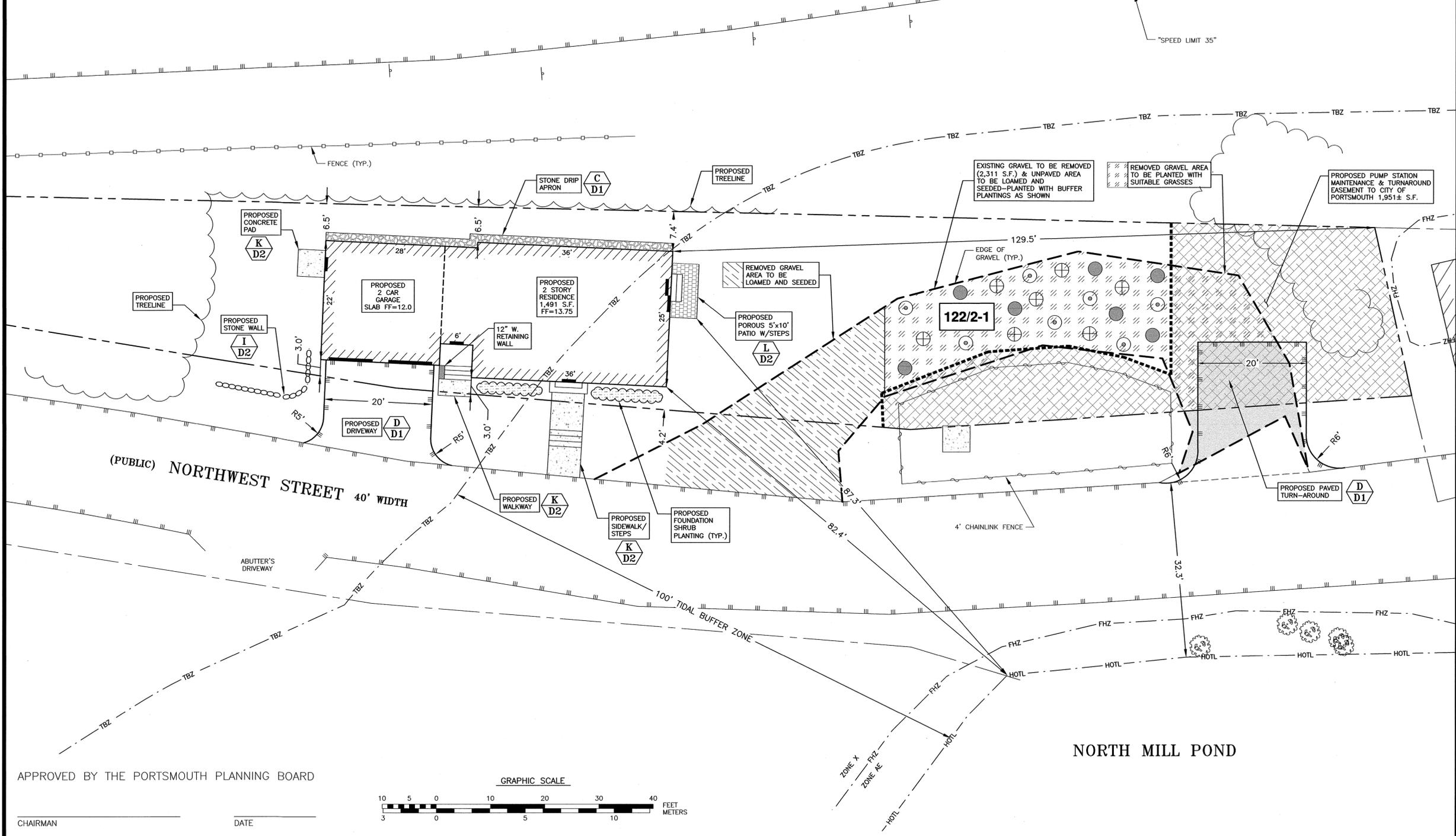
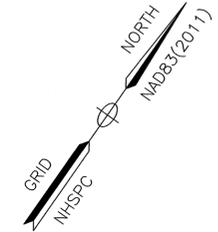
SCALE: 1" = 500'

| IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE) | | |
|--|-------------------------------------|-------------------------------------|
| STRUCTURE | *PRE-CONSTRUCTION IMPERVIOUS (S.F.) | POST-CONSTRUCTION IMPERVIOUS (S.F.) |
| MAIN STRUCTURE | 0 | 1,491 |
| STAIRS/STEPS | 0 | 60 |
| CONCRETE SLAB | 0 | 25 |
| PAVEMENT | 0 | 319 |
| GRAVEL | 1692 | 0 |
| WALKWAY | 0 | 25 |
| RETAINING/STONE WALL | 0 | 8 |
| TOTAL | 1,692 | 1,928 |
| LOT SIZE | 10,634 | 10,634 |
| % LOT COVERAGE | 15.9% | 18.1% |

*NOTE: PUMP STATION & CONTROLS NOT INCLUDED.

| BUFFER PLANTING SCHEDULE | | | |
|--------------------------|----------------------|------------|-----|
| SYMBOL | ITEM | SIZE | QTY |
| ● | CLETHRA ALNIFOLIA | 3-4 GALLON | 7 |
| ○ | SWEET PEPPERBUSH | 3-4 GALLON | 7 |
| ⊕ | MYRICA PENNSYLVANICA | 3-4 GALLON | 7 |
| | NORTHERN BAYBERRY | 3-4 GALLON | 7 |
| | VIBURNUM RECOGNITUM | 3-4 GALLON | 7 |
| | NORTHERN ARROWOOD | 3-4 GALLON | 7 |
| | MEADOW SWEET | 3-4 GALLON | 7 |

ROUTE ONE BY-PASS
(NORTHBOUND LANE)



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9292
Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
 - 2) OWNERS OF RECORD:
GREGORY J. MORNEAULT
AMANDA B. MORNEAULT
137 NORTHWEST STREET
PORTSMOUTH, N.H. 03801

APPLICANT:
DARRELL MOREAU
1B JACKSON HILL STREET
PORTSMOUTH, NH 03801
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA (AE EL 8) AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE DATE JANUARY 29, 2021. PARCEL IS PARTIALLY IN THE 2' EXTENDED FLOOD HAZARD ZONE.
 - 4) EXISTING LOT AREA:
10,634 S.F.
0.2441 ACRES
 - 5) THE PURPOSE OF THIS PLAN IS TO SHOW THE PLACEMENT OF A PROPOSED RESIDENCE ON LOT 2 OF THE PROPOSED SUBDIVISION.
 - 6) ZONING DISTRICTS:
GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.
 - 7) DIMENSIONAL REQUIREMENTS:
LOT AREA: 7,500 S.F.
FRONTAGE: 100'
DEPTH: 70'
SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.
MAXIMUM STRUCTURE HEIGHT: 35'
MAXIMUM BUILDING COVERAGE: 25%
MINIMUM OPEN SPACE: 30%
 - 8) PROPOSED LOT 2 DIMENSIONAL CALCULATIONS:
LOT AREA: 10,634 S.F.
FRONTAGE: 357'
DEPTH: 25.4 AVERAGE

SETBACKS:
FRONT: 3.0'
SIDE: 129.5'
REAR: 6.5'

STRUCTURE HEIGHT: <35'
BUILDING COVERAGE: 1,527 S.F. (14%)
OPEN SPACE: 8,706 S.F. (82%)
 - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 10) PLANTING & MAINTENANCE SHALL BE IN ACCORDANCE WITH NOFA STANDARDS FOR ORGANIC LAND CARE.

**PROPOSED HOUSING
TBD NORTHWEST ST.
PORTSMOUTH, NH**

| NO. | DESCRIPTION | DATE |
|-----|---|----------|
| 2 | BUILDING LOCATION | 1/3/22 |
| 1 | BUILDING, DRIVEWAY, STONEWALL, PLANTING | 10/27/21 |
| 0 | ISSUED FOR COMMENT | 8/23/21 |

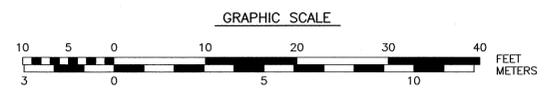
REVISIONS

SCALE 1" = 10' JUNE 2021

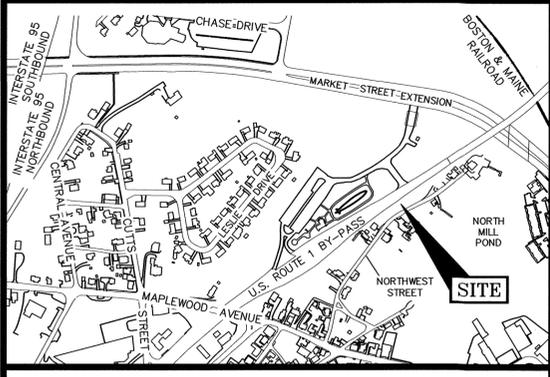
SUBDIVISION SITE
PLAN- LOT 2-1 **C2**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____



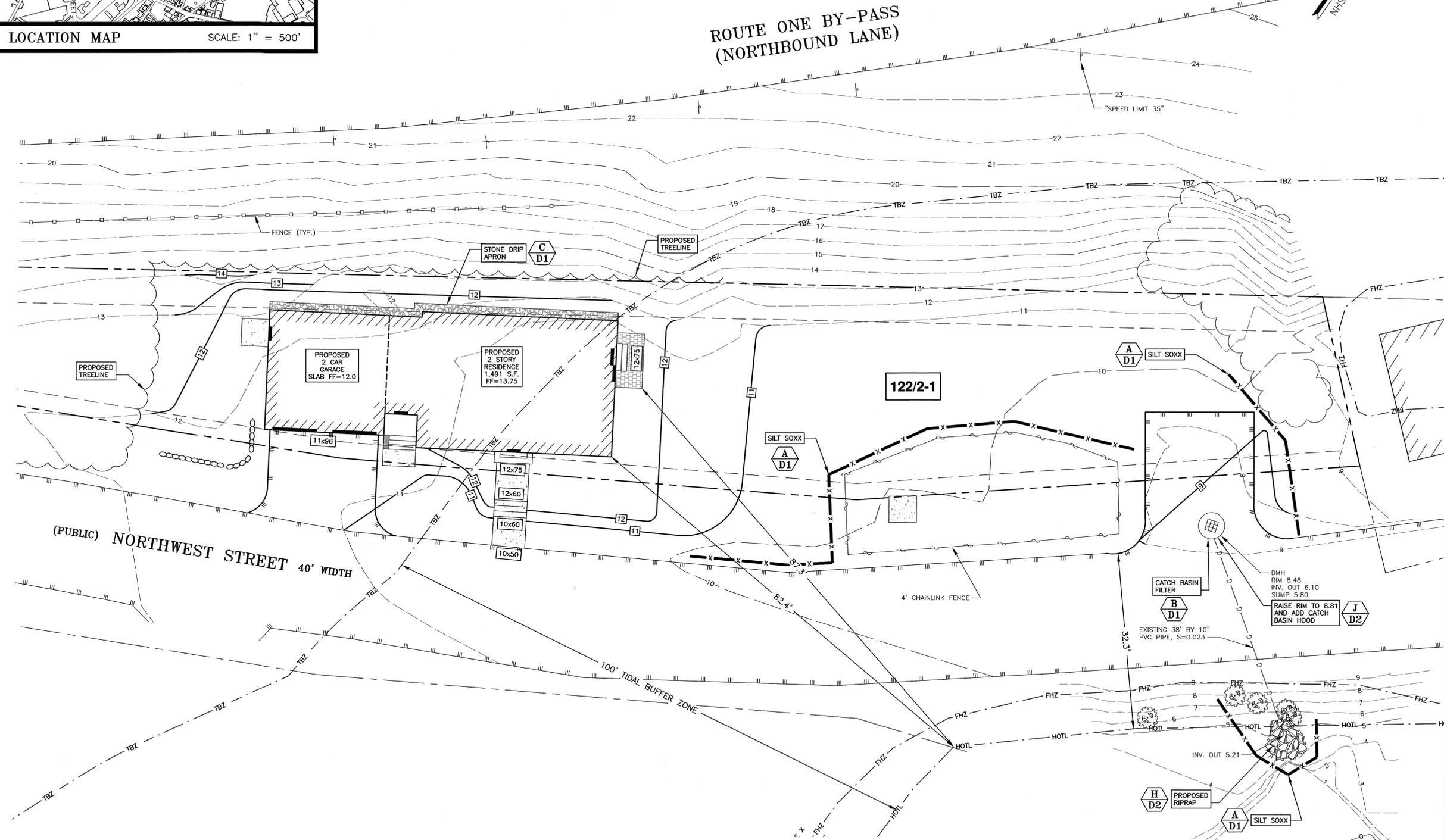
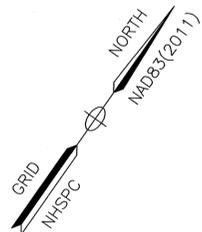
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LOCATION MAP SCALE: 1" = 500'

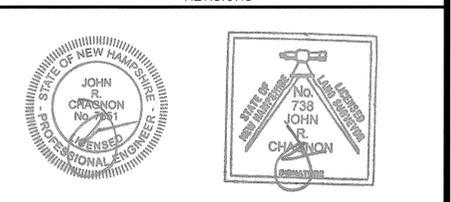
- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008)".

**ROUTE ONE BY-PASS
(NORTHBOUND LANE)**



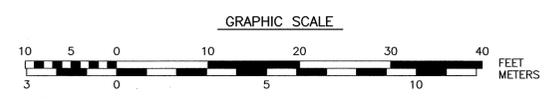
**PROPOSED HOUSING
TBD NORTHWEST ST.
PORTSMOUTH, NH**

| NO. | DESCRIPTION | DATE |
|-----|---|----------|
| 3 | STRUCTURE LOCATION | 1/3/22 |
| 2 | STRUCTURE, DRIVEWAY, TREELINE, STONE WALL | 10/27/21 |
| 1 | RIPRAP | 8/25/21 |
| 0 | ISSUED FOR COMMENT | 8/23/21 |



APPROVED BY THE PORTSMOUTH PLANNING BOARD

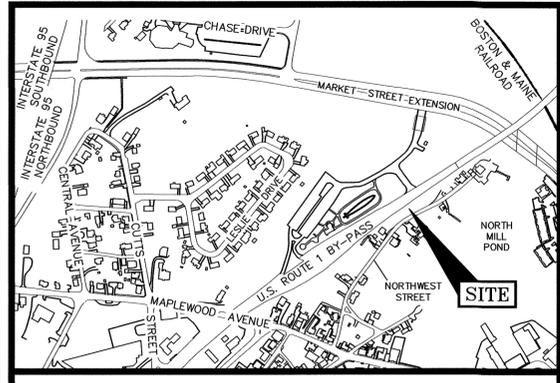
CHAIRMAN _____ DATE _____



SCALE 1" = 10' JUNE 2021

**EROSION CONTROL
& GRADING PLAN-
LOT 2-1**

C3



LOCATION MAP SCALE: 1" = 500'

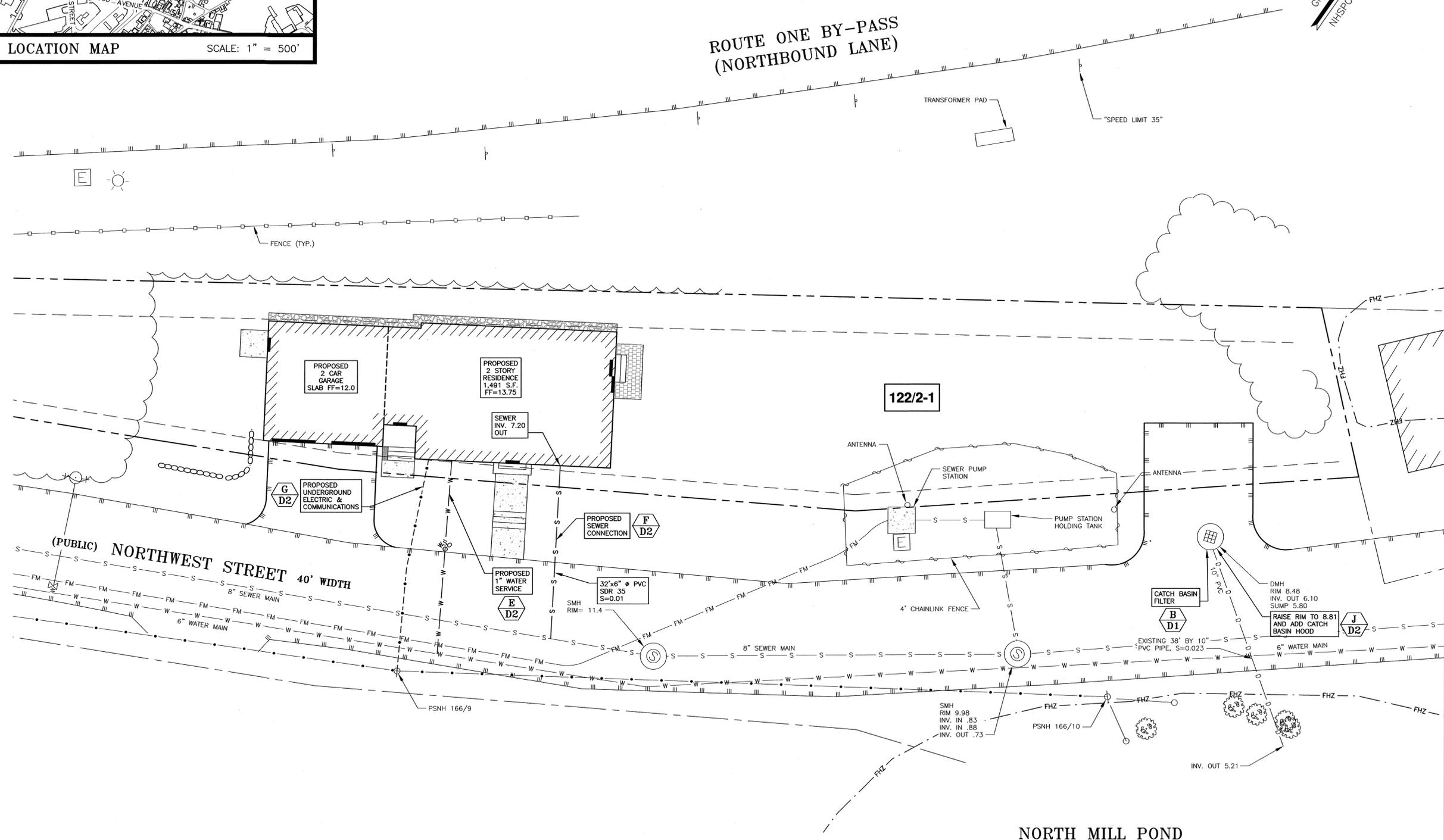
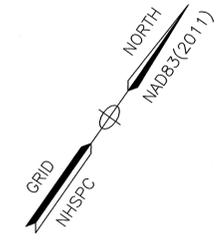


AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

NOTES:

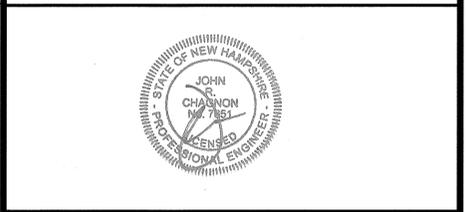
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008)".

**ROUTE ONE BY-PASS
 (NORTHBOUND LANE)**



**PROPOSED HOUSING
 TBD NORTHWEST ST.
 PORTSMOUTH, NH**

| NO. | DESCRIPTION | DATE |
|-----|--------------------|----------|
| 2 | STRUCTURE LOCATION | 1/3/22 |
| 1 | WATER SERVICE SIZE | 10/27/21 |
| 0 | ISSUED FOR COMMENT | 8/23/21 |

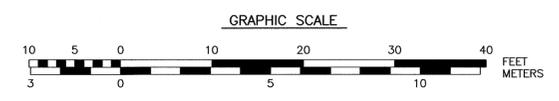


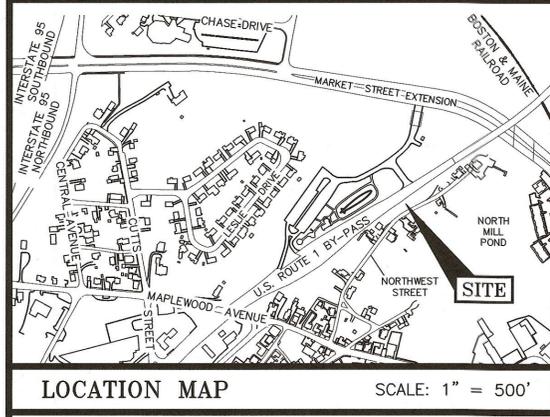
SCALE 1" = 10' JUNE 2021

UTILITY PLAN-
 LOT 2-1 **C4**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____





IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)

| STRUCTURE | *PRE-CONSTRUCTION IMPERVIOUS (S.F.) | POST-CONSTRUCTION IMPERVIOUS (S.F.) |
|----------------------|-------------------------------------|-------------------------------------|
| MAIN STRUCTURE | 0 | 1,491 |
| STAIRS/STEPS | 0 | 60 |
| CONCRETE SLAB | 0 | 25 |
| PAVEMENT | 0 | 319 |
| GRAVEL | 1692 | 0 |
| WALKWAY | 0 | 25 |
| RETAINING/STONE WALL | 0 | 8 |
| TOTAL | 1,692 | 1,928 |
| LOT SIZE | 10,634 | 10,634 |
| % LOT COVERAGE | 15.9% | 18.1% |

*NOTE: PUMP STATION & CONTROLS NOT INCLUDED.

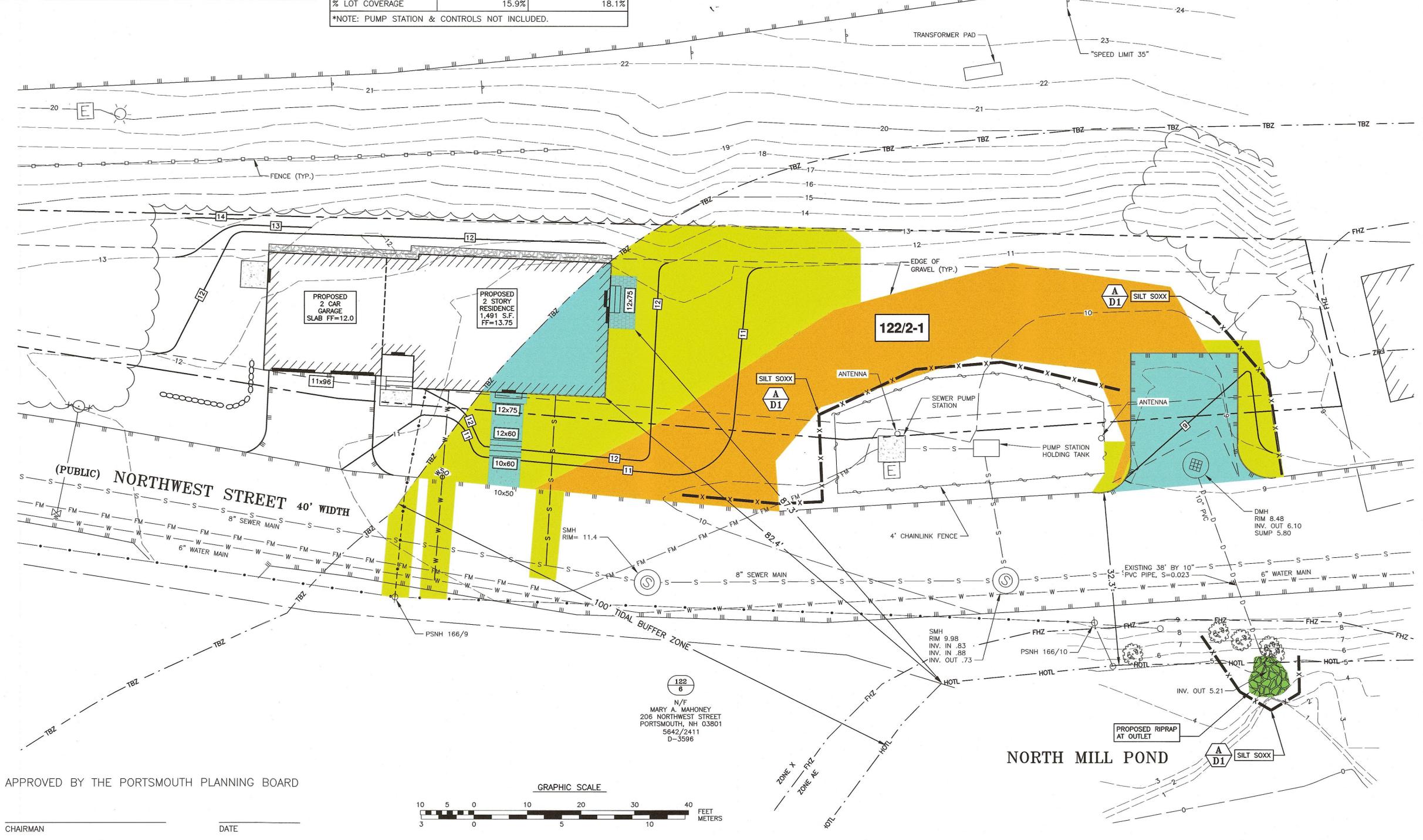
DISTURBED AREAS IN 100' TIDAL WETLAND BUFFER

| STRUCTURE | COLOR | PROPOSED (S.F.) |
|----------------------------------|-------------|-----------------|
| IMPERVIOUS: GRAVEL-TO BE REMOVED | Orange | 1,995 |
| PROPOSED STRUCTURE & PAVEMENT | Light Blue | 978 |
| PROPOSED RIPRAP | Light Green | 45 |
| TEMPORARY IMPACT AREAS | Yellow | 1,917 |
| TOTAL IMPACT AREA | | 4,935 |

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- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
 - 2) OWNERS OF RECORD:
GREGORY J. MORNEAULT
AMANDA B. MORNEAULT
137 NORTHWEST STREET
PORTSMOUTH, N.H. 03801

APPLICANT:
DARRELL MOREAU
18 JACKSON HILL STREET
PORTSMOUTH, NH 03801
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA (AE EL 8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021. PARCEL IS PARTIALLY IN THE 2' EXTENDED FLOOD HAZARD ZONE.
 - 4) EXISTING LOT AREA:
10,634 S.F.
0.2441 ACRES
 - 5) THE PURPOSE OF THIS PLAN IS TO SHOW THE PLACEMENT OF A PROPOSED RESIDENCE ON LOT 2 OF THE PROPOSED SUBDIVISION.
 - 6) ZONING DISTRICTS:
GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.
 - 7) DIMENSIONAL REQUIREMENTS:
LOT AREA: 7,500 S.F.
FRONTAGE: 100'
DEPTH: 70'
SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.
MAXIMUM STRUCTURE HEIGHT: 35'
MAXIMUM BUILDING COVERAGE: 25%
MINIMUM OPEN SPACE: 30%
 - 8) PROPOSED LOT 2 DIMENSIONAL CALCULATIONS:
LOT AREA: 10,634 S.F.
FRONTAGE: 357'
DEPTH: 25.4 AVERAGE
SETBACKS:
FRONT: 3.0'
SIDE: 129.5'
REAR: 6.5'
STRUCTURE HEIGHT: <35'
BUILDING COVERAGE: 1,527 S.F. (14%)
OPEN SPACE: 8,706 S.F. (82%)
 - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.



**PROPOSED HOUSING
TBD NORTHWEST ST.
PORTSMOUTH, NH**

| NO. | DESCRIPTION | DATE |
|-----|-----------------------------|----------|
| 2 | STRUCTURE LOCATION, IMPACTS | 1/3/22 |
| 1 | IMPACT AREAS | 10/27/21 |
| 0 | ISSUED FOR COMMENT | 8/25/21 |

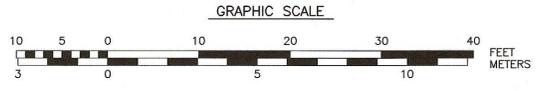
REVISIONS

SCALE 1" = 10' JUNE 2021

CUP & NHDES
PERMIT PLAN-
LOT 2-1

C5

APPROVED BY THE PORTSMOUTH PLANNING BOARD



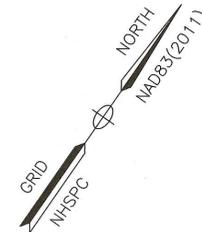
CHAIRMAN _____ DATE _____



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NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
- 2) OWNERS OF RECORD:
 GREGORY J. MORNEAULT
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 137 NORTHWEST STREET
 PORTSMOUTH, N.H. 03801
 APPLICANT:
 DARRELL MOREAU
 1B JACKSON HILL STREET
 PORTSMOUTH, NH 03801
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE DEVELOPMENT IN CONTEXT TO THE NEIGHBORHOOD.

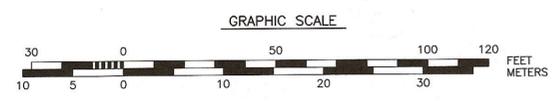


**PROPOSED HOUSING
 TBD NORTHWEST ST.
 PORTSMOUTH, NH**

| NO. | DESCRIPTION | DATE |
|-----------|--------------------|----------|
| 1 | STRUCTURE LOCATION | 1/3/22 |
| 0 | ISSUED FOR COMMENT | 10/27/21 |
| REVISIONS | | |

SCALE 1" = 30' JUNE 2021

**NEIGHBORHOOD
 PLAN-AERIAL** **P1**



CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

INSTALL PERIMETER CONTROLS, i.e., SILT/SOXX AROUND THE LIMITS OF DISTURBANCE AND CATCH BASIN SOCK FILTER BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

CUT BRUSH AND TREES AS REQUIRED. STUMP SITE AND CLEAR TOPSOIL.

INSTALL FOUNDATION AND BACKFILL.

ROUGH GRADE SITE, PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES IN THE FORM OF MULCHING, JUTE MESH OR DITCH DAMS.

CONSTRUCT BUILDING.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER. PER CITY OF PORTSMOUTH ZONING ORDINANCE, ARTICLE 10.1018.24 FERTILIZERS: THE USE OF ANY FERTILIZER IS PROHIBITED IN A WETLAND, VEGETATED BUFFER STRIP OR LIMITED CUT AREA; AND THE USE OF FERTILIZERS OTHER THAN LOW PHOSPHATE AND SLOW RELEASE NITROGEN FERTILIZERS IS PROHIBITED IN ANY PART OF A WETLAND BUFFER.

FINISH ALL REMAINING LANDSCAPE WORK.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS--CONSTRUCT SILT FENCE OR SILT/SOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 * BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
 * A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 * A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
 * EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.

NOFA STANDARDS FOR ORGANIC LAND CARE

*REFERENCE NOFA STANDARDS FOR ORGANIC LAND CARE MANUAL FOR ALL LAND CARE PRACTICES AT THIS SITE.

NEW LAWN INSTALLATION

-ORDER OF PROCESSES:
 1. SOIL TESTING. SOIL TYPE PREFERRED IS CLOSE TO NEUTRAL PH AND HAS A BALANCED FUNGAL TO BACTERIAL RATIO.
 2. PLANTING BED PREPARATION WITH SOIL AMENDMENTS AS SPECIFIED BY SOIL TEST RESULTS.
 3. SEEDING WITH AN APPROPRIATE MIX OF SEEDS BY HAND, USING A SPREADER OR SEED DRILLER, OR BY ORGANIC HYDROSEEDING.
 4. WATERING FREQUENTLY BUT SHALLOWLY, MAINTAINING A "UNIFORMLY MOIST" SEEDBED DURING GERMINATION AND ESTABLISHMENT.

LAWN MAINTENANCE

-GRASS SHOULD BE ALLOWED TO GROW 3" OR TALLER IN HEIGHT PRIOR TO FIRST MOWING. GRASS CLIPPINGS SHOULD BE LEFT IN PLACE.
 -REMOVE NO MORE THAN 1/3 OF GRASS LENGTH PER MOWING.

FERTILIZING

-ORGANIC FERTILIZERS ONLY. OMRI CERTIFIED PRODUCTS (ORGANIC MATERIALS REVIEW INSTITUTE) ARE PREFERRED.

EROSION CONTROL NOTES

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS: LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

ORGANIC FERTILIZERS ONLY. OMRI CERTIFIED PRODUCTS (ORGANIC MATERIALS REVIEW INSTITUTE) ARE PREFERRED.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. PER CITY OF PORTSMOUTH ZONING ORDINANCE, ARTICLE 10.1018.24 FERTILIZERS: THE USE OF ANY FERTILIZER IS PROHIBITED IN A WETLAND, VEGETATED BUFFER STRIP OR LIMITED CUT AREA; AND THE USE OF FERTILIZERS OTHER THAN LOW PHOSPHATE AND SLOW RELEASE NITROGEN FERTILIZERS IS PROHIBITED IN ANY PART OF A WETLAND BUFFER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

| GENERAL COVER | PROPORTION | SEEDING RATE |
|---------------------|------------|--------------|
| CREeping RED FESCUE | 50% | 100 LBS/ACRE |
| KENTUCKY BLUEGRASS | 50% | |

SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)

| | | |
|---------------------|-----|-------------|
| CREeping RED FESCUE | 42% | |
| TALL FESCUE | 42% | 48 LBS/ACRE |
| BIRDSFOOT TREFOLI | 16% | |

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:
 MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:
 PERENNIAL RYE: 0.7 LBS/1,000 S.F.
 1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE. PER CITY OF PORTSMOUTH ZONING ORDINANCE, ARTICLE 10.1018.24 FERTILIZERS: THE USE OF ANY FERTILIZER IS PROHIBITED IN A WETLAND, VEGETATED BUFFER STRIP OR LIMITED CUT AREA; AND THE USE OF FERTILIZERS OTHER THAN LOW PHOSPHATE AND SLOW RELEASE NITROGEN FERTILIZERS IS PROHIBITED IN ANY PART OF A WETLAND BUFFER.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDDED AREAS WILL BE FERTILIZED AND RESEEDDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT. PER CITY OF PORTSMOUTH ZONING ORDINANCE, ARTICLE 10.1018.24 FERTILIZERS: THE USE OF ANY FERTILIZER IS PROHIBITED IN A WETLAND, VEGETATED BUFFER STRIP OR LIMITED CUT AREA; AND THE USE OF FERTILIZERS OTHER THAN LOW PHOSPHATE AND SLOW RELEASE NITROGEN FERTILIZERS IS PROHIBITED IN ANY PART OF A WETLAND BUFFER. ORGANIC FERTILIZERS ONLY. OMRI CERTIFIED PRODUCTS (ORGANIC MATERIALS REVIEW INSTITUTE) ARE PREFERRED.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

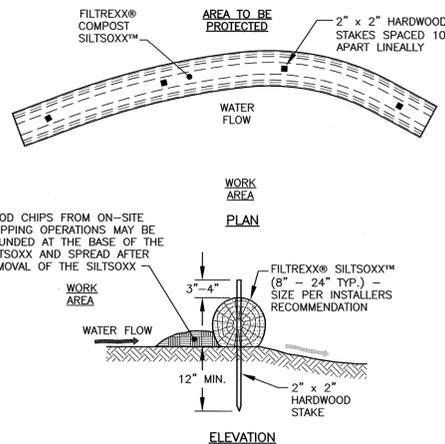
SILT FENCING AND SILT/SOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDDED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

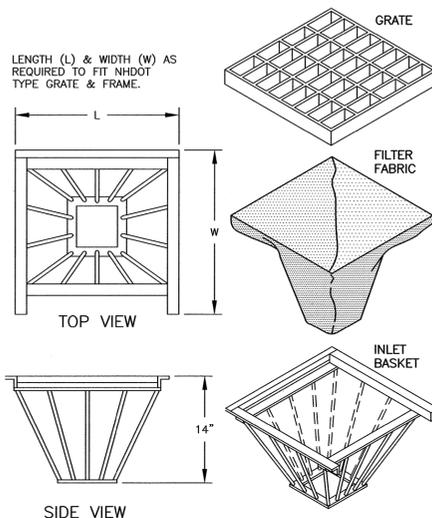
ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



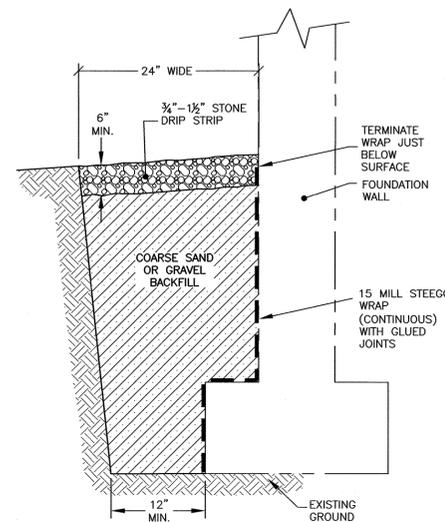
- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 2. FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
 3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
 4. SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES; GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
 5. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

A C3 FILTREXX® SILT/SOXX™ FILTRATION SYSTEM NTS

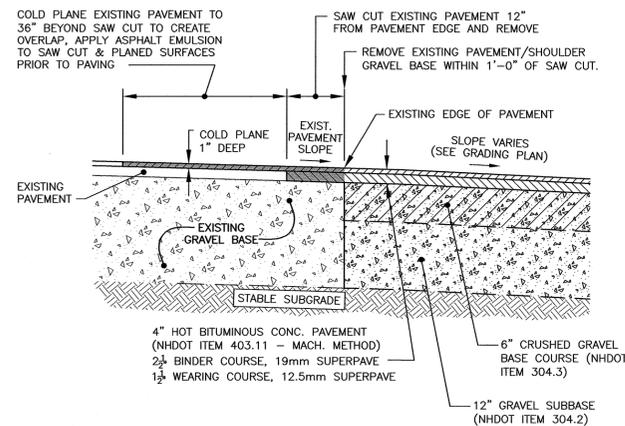


- 1) INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- 2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
- 3) THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC, POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
 -RAB STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)
 -MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)
- 4) THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITTIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)
- 5) THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- 6) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

B C3 CATCH BASIN INLET BASKET NTS



C C3 STONE DRIP APRON (UNDER BUILDING DRIP LINE) NTS



- NOTES:**
- 1) PAVEMENT SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS - SECTION 401.
 - 2) CRUSHED GRAVEL AND GRAVEL SUBBASE SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS - SECTION 304, TABLE 1E, AND SHALL BE COMPACTED AS INDICATED IN SECTION 304, 3.6 COMPACTION, AND 3.7 DENSITY TESTING, AND CITY OF CONCORD CONSTRUCTION STANDARDS, SECTION VIII B AND C.

D C2 PAVEMENT / PAVEMENT JOINT DETAIL NTS



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

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 Portsmouth, N.H. 03801-7114
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 Fax (603) 436-2316

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) PURSUANT TO RSA 483-B:9 11 (D), NO FERTILIZER SHALL BE APPLIED TO VEGETATION OR SOILS LOCATED WITHIN 25 FEET OF THE REFERENCE LINE OF ANY PUBLIC WATER. BEYOND 25 FEET, SLOW OR CONTROLLED RELEASE FERTILIZER MAY BE USED. SLOW RELEASE NITROGEN MUST CONTAIN NO MORE THAN 2% PHOSPHORUS, AND A NITROGEN COMPONENT WHICH IS AT LEAST 50% SLOW RELEASE NITROGEN COMPONENTS.
- 5) PURSUANT TO RSA 483-B:9, V (A) (2) (A), NO CHEMICALS INCLUDING PESTICIDES OR HERBICIDES OF ANY KIND, SHALL BE APPLIED TO GROUND, TURF, OR ESTABLISHED VEGETATION WITHIN THE WATERFRONT BUFFER, EXCEPT IF APPLIED BY HORTICULTURE PROFESSIONAL WHO HAVE AN APPLICATION LICENSE OR AS ALLOWED BY SPECIAL PERMIT ISSUED UNDER RSA 541-A. NO CALCIUM CHLORIDE SHALL BE APPLIED WITHIN THE WATERFRONT BUFFER.

**PROPOSED HOUSING
 TBD NORTHWEST ST.
 PORTSMOUTH, NH**

| NO. | DESCRIPTION | DATE |
|-----|--------------------|---------|
| 1 | UPDATE SEQUENCE | 1/3/22 |
| 0 | ISSUED FOR COMMENT | 8/23/21 |

REVISIONS



SCALE: AS SHOWN JUNE 2021

**EROSION NOTES
 & DETAILS**

D1



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.

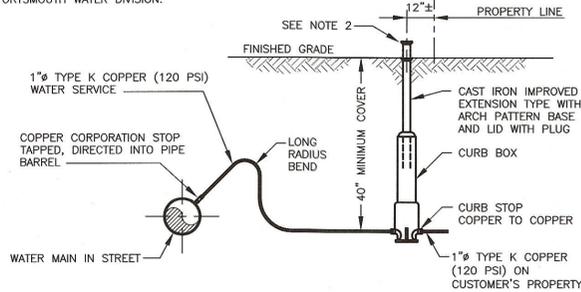
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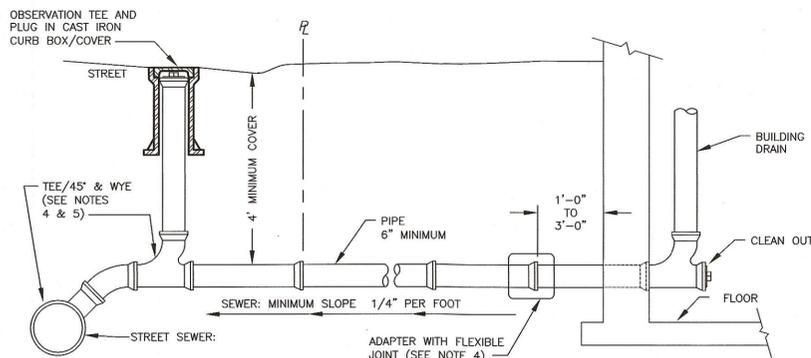
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- NOTE:
- 1) INSTALLATION OF WATER MAIN TAP & CURB STOP & BOX SHALL ONLY BE PERFORMED BY THOSE AUTHORIZED BY THE PUBLIC WORKS DEPARTMENT.
 - 2) IN AREAS OF HEAVY GROWTH THE CURB BOX COVER SHALL BE SET 6" ABOVE FINISH GRADE AND A WITNESS STAKE SET.
 - 3) CURB BOX SHALL BE SET APPROXIMATELY 12" OUTSIDE PROPERTY LINE AS SHOWN.
 - 4) PRIOR TO ACCEPTANCE, A PLAN INDICATING THE LOCATION OF THE CURB BOX SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH WATER DIVISION.

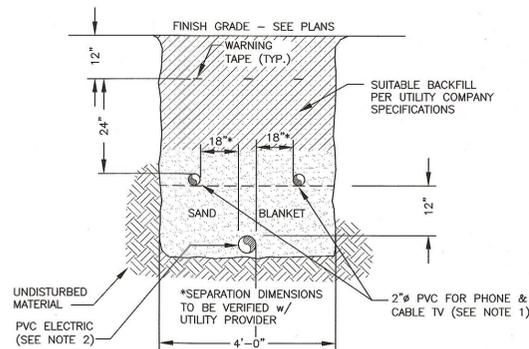


E C4 WATER SERVICE CONNECTION (PORTSMOUTH) NTS

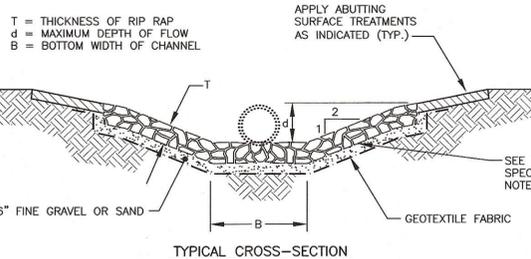


F C4 SEWER SERVICE DETAILS INSTALL PER PORTSMOUTH REQUIREMENTS NTS

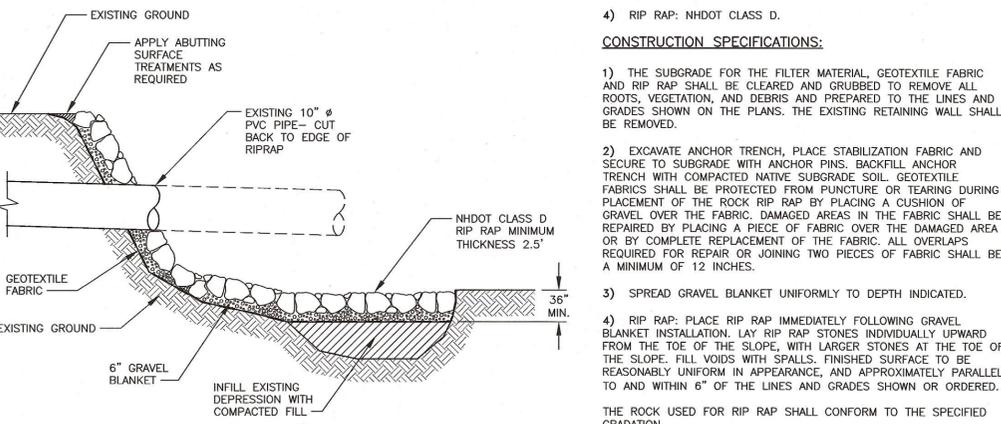
- NOTES:
- 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCHED. 40 FOR THE REMAINDER.
 - 2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
 - 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
 - 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
 - 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANY'S PRIOR TO ANY CONSTRUCTION.



G C4 BURIED ELEC/COMM CABLE NTS



H C3 RIP RAP LINED OUTLET NTS



I C2 FIELDSTONE WALL NTS

RIPRAP GRADATION TABLE

| RIPRAP - 9" | |
|---|-------------------------------|
| % OF WEIGHT SMALLER THAN THE GIVEN SIZE | SIZE OF STONE RANGE IN INCHES |
| d100 | 18 |
| d50 | 8.5 TO 10.5 |
| d15 | 5.5 TO 7.8 |

MATERIALS SPECIFICATIONS:

- 1) GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF NEW HAMPSHIRE STORM WATER MANAGEMENT AND EROSION CONTROL HANDBOOK BMP FOR ROCK RIP RAP.
- 2) ANCHOR PINS: STEEL PINS WITH WASHERS OR WOODEN STAKES SHALL BE PLACED TO HOLD GEOTEXTILE FABRIC IN POSITION PER MANUFACTURER'S RECOMMENDATIONS.
- 3) GRAVEL BLANKET: UNIFORMLY GRADED SCREENED GRAVEL (3/8" TO 1-1/2")
- 4) RIP RAP: NHDOT CLASS D.

CONSTRUCTION SPECIFICATIONS:

- 1) THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, VEGETATION, AND DEBRIS AND PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS. THE EXISTING RETAINING WALL SHALL BE REMOVED.
- 2) EXCAVATE ANCHOR TRENCH, PLACE STABILIZATION FABRIC AND SECURE TO SUBGRADE WITH ANCHOR PINS. BACKFILL ANCHOR TRENCH WITH COMPACTED NATIVE SUBGRADE SOIL. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING PLACEMENT OF THE ROCK RIP RAP BY PLACING A CUSHION OF GRAVEL OVER THE FABRIC. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIR OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- 3) SPREAD GRAVEL BLANKET UNIFORMLY TO DEPTH INDICATED.
- 4) RIP RAP: PLACE RIP RAP IMMEDIATELY FOLLOWING GRAVEL BLANKET INSTALLATION. LAY RIP RAP STONES INDIVIDUALLY UPWARD FROM THE TOE OF THE SLOPE, WITH LARGER STONES AT THE TOE OF THE SLOPE. FILL VOIDS WITH SPALLS. FINISHED SURFACE TO BE REASONABLY UNIFORM IN APPEARANCE AND APPROXIMATELY PARALLEL TO AND WITHIN 6" OF THE LINES AND GRADES SHOWN OR ORDERED.

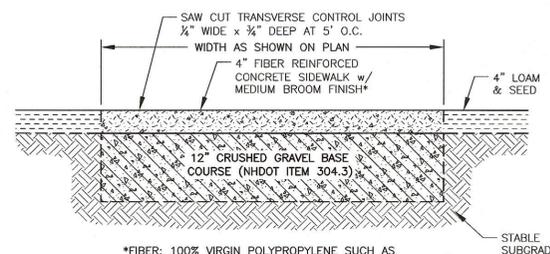
THE ROCK USED FOR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.

STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE NHDOT CLASS D, CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT DISPLACEMENT OF THE UNDERLYING MATERIALS. HAND PLACEMENT MAY BE REQUIRED TO PREVENT DAMAGE TO ANY ADJACENT AREAS. STONES FOR RIP RAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT IS NOT LESS THAN ONE THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT. FLAT ROCKS SHALL NOT BE USED FOR RIP RAP. VOIDS IN THE ROCK RIP RAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

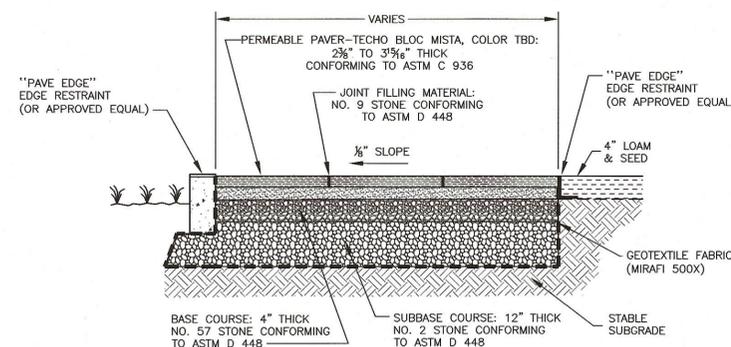


- NOTES:
- 1) EXISTING CATCH BASIN (SEE SHEET C4) TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP INSTALLED.
 - 2) MANUFACTURED BY KLEANSTREAM (NO EQUAL).
 - 3) INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
 - 4) 1/2" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP.

J C3 "ELIMINATOR" OIL & FLOATING DEBRIS TRAP NTS



K C3 CONCRETE WALKWAY/SLAB NTS



L C2 TECHO-BLOC® POROUS PATIO HARDSCAPE DESIGN & INSTALLATION NTS 1-410-969-9260

**PROPOSED HOUSING
TBD NORTHWEST ST.
PORTSMOUTH, NH**

| NO. | DESCRIPTION | DATE |
|-----|--------------------|----------|
| 4 | DETAILS E, J, L | 1/3/22 |
| 3 | DETAIL J | 11/22/21 |
| 2 | DETAIL I, J, K | 10/27/21 |
| 1 | DETAIL H | 8/25/21 |
| 0 | ISSUED FOR COMMENT | 8/23/21 |

REVISIONS



SCALE: AS SHOWN JUNE 2021

DETAILS

D2

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

December 22, 2021

Portsmouth Planning Board
Attn: Chairman of the Planning Board
1 Junkins Ave, Suite 3rd Floor
Portsmouth, NH 03801

**RE: Planning Board Submission
27 Shaw Road, Portsmouth, NH
Tax Map 223, Lot 18
JBE Project No. 21222**

Dear Chairman of the Planning Board,

We received TAC Approval with comments and are submitting revised plans to address those items. Review comments are listed below with our responses in bold.

GENERAL COMMENTS:

1. *Maintain front yard setbacks subject to zoning review.*
RESPONSE: Front yard setbacks are shown on the plan from the property lines as required.
2. *Show detail of rain garden on lower lot (parent lot) including flowage rights and drainage easement.*
RESPONSE: A detail of rain garden on lower lot has been added to sheet C2 and Note 15 on Sheet A1 addresses the flowage rights and drainage easement.
3. *Show how proposed lot 2 will get power and show pole if needed.*
RESPONSE: In coordination with Eversource, a proposed utility pole is shown on Sheet C2 in the northeasterly most corner of the proposed Lot 18-1.
4. *Show septic design/holding tank approval by DES.*
RESPONSE: A holding tank application has been submitted to NHDES and their review is pending.

Included with this response letter are the following:

1. One (1) Full Size Plan Set.

Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.

Joseph Coronati

Joseph A. Coronati
Vice President

cc: Clyde Logue (via email)

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

December 22, 2021

Portsmouth Planning Board
Attn: Chairman of the Planning Board
1 Junkins Avenue, Suite 3rd Floor
Portsmouth, NH 03801

**RE: Waiver Request
27 Shaw Road, Portsmouth, NH
Tax Map 223, Lot 18
JBE Project No. 21222**

Dear Chairman of the Planning Board,

Jones & Beach Engineers, Inc. respectfully submits a waiver request for the above-referenced parcel on behalf of our client, Clyde Logue.

Portsmouth Subdivision Regulations – Section VI.11 – Onsite Sewage Disposal Systems

We are asking for a waiver from the onsite sewage disposal systems requirement as the city has approved a sewer main to be constructed in Walker Bungalow Road. This proposed sewer main will provide the proposed Map 223 Lot 18-1 with a sewer service. In the interim while the sewer is being constructed, we are proposing to utilize a holding tank on site.

Thank you very much for your consideration. If you have any questions, or need further assistance, please contact our office.

Very truly yours,
JONES & BEACH ENGINEERS, INC.

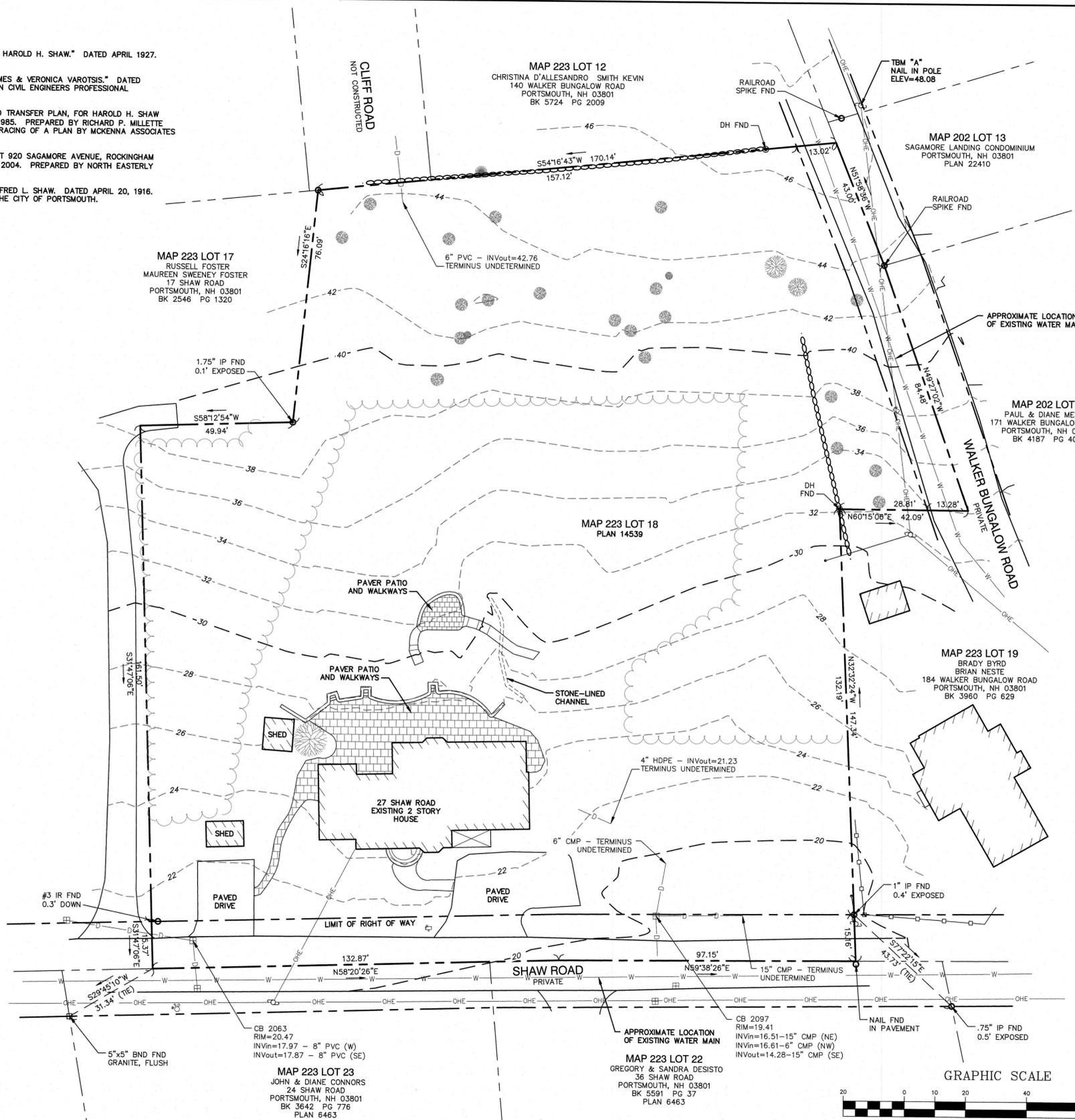


Andrew Butler, EIT
Project Engineer

cc: Clyde Logue (via email)

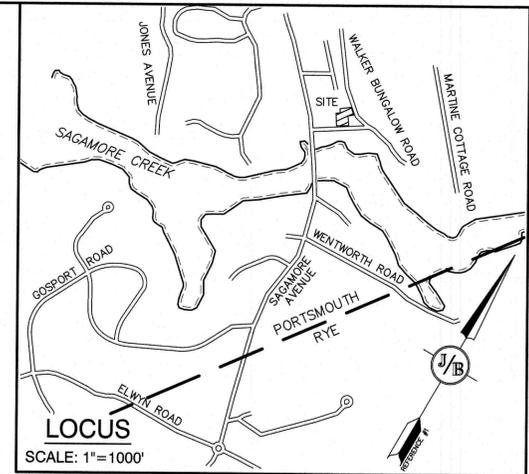
PLAN REFERENCES:

- "LAND IN PORTSMOUTH, N.H., ALICE B. SHAW TO HAROLD H. SHAW." DATED APRIL 1927. PREPARED BY JOHN W. DURGIN. R.C.R.D. 0299.
- "LOT LINE REVISION, PORTSMOUTH, N.H., FOR JAMES & VERONICA VAROTISIS." DATED NOVEMBER 1976. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS PROFESSIONAL ASSOCIATION. R.C.R.D. 6463.
- "SUBDIVISION PLAN, TRACING OF PROPOSED LAND TRANSFER PLAN, FOR HAROLD H. SHAW AND BARBARA L. KEENE." DATED AUGUST 26, 1985. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 14539. THIS IS A TRACING OF A PLAN BY MCKENNA ASSOCIATES FOR HAROLD H. SHAW, DATED OCTOBER 1970.
- "STANDARD PROPERTY SURVEY FOR PROPERTY AT 920 SAGAMORE AVENUE, ROCKINGHAM COUNTY, PORTSMOUTH N.H." DATED MARCH 19, 2004. PREPARED BY NORTH EASTERLY SURVEYING, INC. R.C.R.D. 32504.
- "PLAN OF LOT IN PORTSMOUTH, N.H. OWNED BY FRED L. SHAW. DATED APRIL 20, 1916. PREPARED BY WILLIAM GROVER. ON FILE WITH THE CITY OF PORTSMOUTH.



LEGEND

- PROPERTY LINE
- - - ABUTTER PROPERTY LINE
- BUILDING SETBACK
- SURVEY TIE LINES
- TREE LINE
- EDGE OF PAVEMENT
- OVERHEAD ELECTRIC LINES
- FENCE
- STONE WALL
- MAJOR CONTOUR
- MINOR CONTOUR
- CATCH BASIN
- DRAIN LINE
- DRAIN MANHOLE
- WATER LINE
- WATER SHUTOFF
- UTILITY POLE
- GUY WIRE ANCHOR
- ELECTRIC METER



NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF LOT 18 DEPICTED ON PORTSMOUTH TAX MAP 223.
- ZONING DISTRICT: SINGLE RESIDENCE B
LOT AREA MINIMUM = 15,000 SF
LOT FRONTAGE MINIMUM = 100'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 30'
SIDE SETBACK = 10'
REAR SETBACK = 30'
WETLAND SETBACK = 100', LIMITED CUT 50'. (NO WETLANDS OBSERVED)
MAX. BUILDING HEIGHT = 35'
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33015C0286F, WITH EFFECTIVE DATE OF JANUARY 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE.
VERTICAL - NVAVD88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE CITY OF PORTSMOUTH ASSESSOR'S OFFICE AND PLANNING OFFICE, AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- NO WETLANDS WERE OBSERVED ON THE SUBJECT PREMISES.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- SHAW ROAD AND WALKER BUNGALOW ROAD ARE PRIVATE WAYS. RECORD DEEDS AND PLANS INDICATE A RIGHT OF WAY WIDTH OF THIRTY FEET FOR SHAW ROAD. NO WIDTH IS INDICATED FOR WALKER BUNGALOW ROAD. THE BOUNDARY LINE OF THE SUBJECT PARCEL HAS BEEN HELD AS THE CENTER OF SAID WAYS.

CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

12/22/21
DATE:

APPLICANT
CLYDE LOGUE
10 NEWCASTLE AVENUE
PORTSMOUTH, NH 03801

TOTAL LOT AREA
57,354 SQ. FT.
1.32 ACRES

| | | |
|---|---------------|--------------------|
| Design: JAC | Draft: MJS | Date: 11/18/21 |
| Checked: JAC | Scale: 1"=20' | Project No.: 21222 |
| Drawing Name: 21222-PLAN.dwg | | |
| THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE. | | |



| REV. | DATE | REVISION | BY |
|------|----------|--------------------------------|-----|
| 1 | 12/22/21 | REVISED BASED ON CITY COMMENTS | AJB |
| 0 | 11/22/21 | ISSUED FOR REVIEW | MJS |

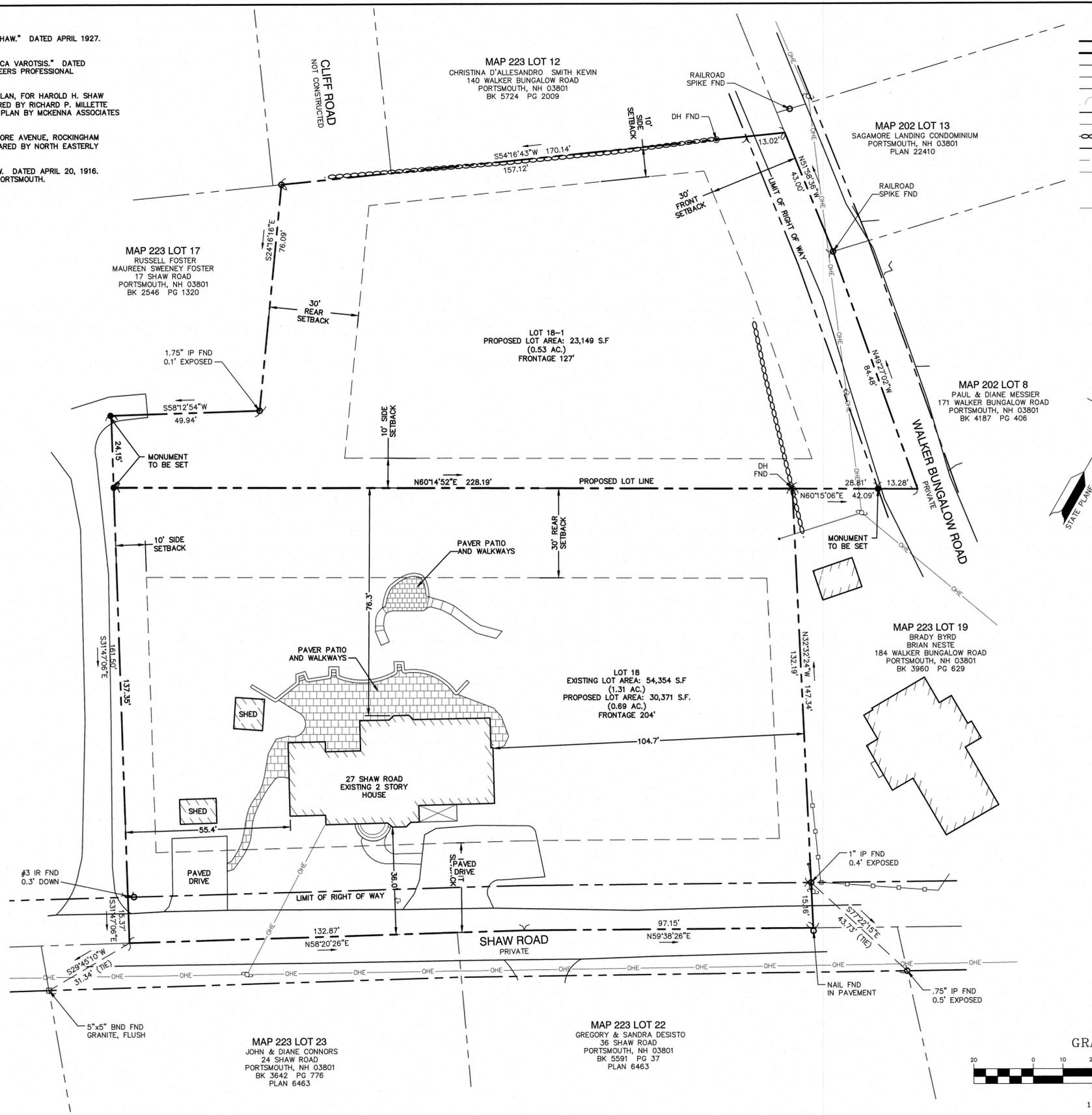
Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

| | |
|------------------|---|
| Plan Name: | EXISTING CONDITIONS PLAN |
| Project: | PROPOSED SUBDIVISION 27 SHAW ROAD, PORTSMOUTH, NH |
| Owner of Record: | AUSTIN REPAIR & RENOVATION LLC BK 6349, PG 2486 4609 RIDGE OAK DRIVE, AUSTIN, TX 78731 |

| | |
|--------------|-----------------------|
| DRAWING No. | C1 |
| SHEET 1 OF 3 | JBE PROJECT NO. 21222 |

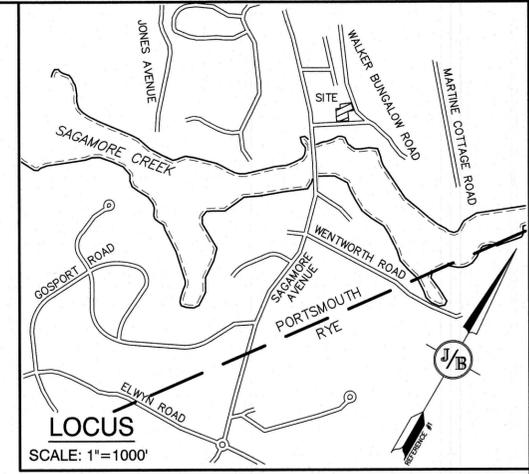
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- "STANDARD PROPERTY SURVEY FOR PROPERTY AT 920 SAGAMORE AVENUE, ROCKINGHAM COUNTY, PORTSMOUTH N.H." DATED MARCH 19, 2004. PREPARED BY NORTH EASTERLY SURVEYING, INC. R.C.R.D. 32504.
- "PLAN OF LOT IN PORTSMOUTH, N.H. OWNED BY FRED L. SHAW. DATED APRIL 20, 1916. PREPARED BY WILLIAM GROVER. ON FILE WITH THE CITY OF PORTSMOUTH.



LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - ABUTTER PROPERTY LINE
- - - BUILDING SETBACK
- - - SURVEY TIE LINES
- - - TREE LINE
- - - EDGE OF PAVEMENT
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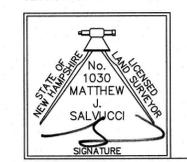


NOTES:

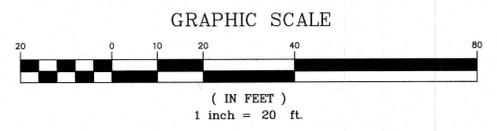
- THE INTENT OF THIS PLAN IS TO SUBDIVIDE LOT 18 DEPICTED ON PORTSMOUTH TAX MAP 223 INTO TWO RESIDENTIAL LOTS. EACH WILL BE SERVICED BY CITY WATER. AT THIS TIME, CITY SEWER SERVICE HAS BEEN PROPOSED, BUT NOT YET CONSTRUCTED.
- ZONING DISTRICT: SINGLE RESIDENCE B
 LOT AREA MINIMUM = 15,000 SF
 LOT FRONTAGE MINIMUM = 100'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 30'
 SIDE SETBACK = 10'
 REAR SETBACK = 30'
 WETLAND SETBACK = 100', LIMITED CUT 50'. (NO WETLANDS OBSERVED)
 MAX. BUILDING HEIGHT = 35'
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 3301500286F, WITH EFFECTIVE DATE OF JANUARY 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE.
 VERTICAL - NAVD83.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE CITY OF PORTSMOUTH ASSESSOR'S OFFICE AND PLANNING OFFICE, AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION OF OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- NO WETLANDS WERE OBSERVED ON THE SUBJECT PREMISES.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- SHAW ROAD AND WALKER BUNGALOW ROAD ARE PRIVATE WAYS. RECORD DEEDS AND PLANS INDICATE A RIGHT OF WAY WIDTH OF THIRTY FEET FOR SHAW ROAD. NO WIDTH IS INDICATED FOR WALKER BUNGALOW ROAD. THE BOUNDARY LINE OF THE SUBJECT PARCEL HAS BEEN HELD AS THE CENTER OF SAID WAYS.
- EXISTING LOT 18 SHALL PROVIDED A FLOWAGE RIGHTS DRAINAGE EASEMENT TO BENEFIT PROPOSED LOT 18-1 IN ORDER TO MANAGE RUN-OFF THAT NATURALLY FLOWS FROM PROPOSED LOT 18-1 ONTO EXISTING LOT 18.

CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14
 I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
 THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
 ON BEHALF OF JONES & BEACH ENGINEERS, INC. DATE: 12/22/21



APPLICANT
 CLYDE LOGUE
 10 NEWCASTLE AVENUE
 PORTSMOUTH, NH 03801

TOTAL LOT AREA
 57,354 SQ. FT.
 1.32 ACRES

APPROVED - PORTSMOUTH, NH PLANNING BOARD

DATE:

| | | |
|---|---------------|--------------------|
| Design: JAC | Draft: MJS | Date: 11/18/21 |
| Checked: JAC | Scale: 1"=20' | Project No.: 21222 |
| Drawing Name: 21222-PLAN.dwg | | |
| THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE. | | |

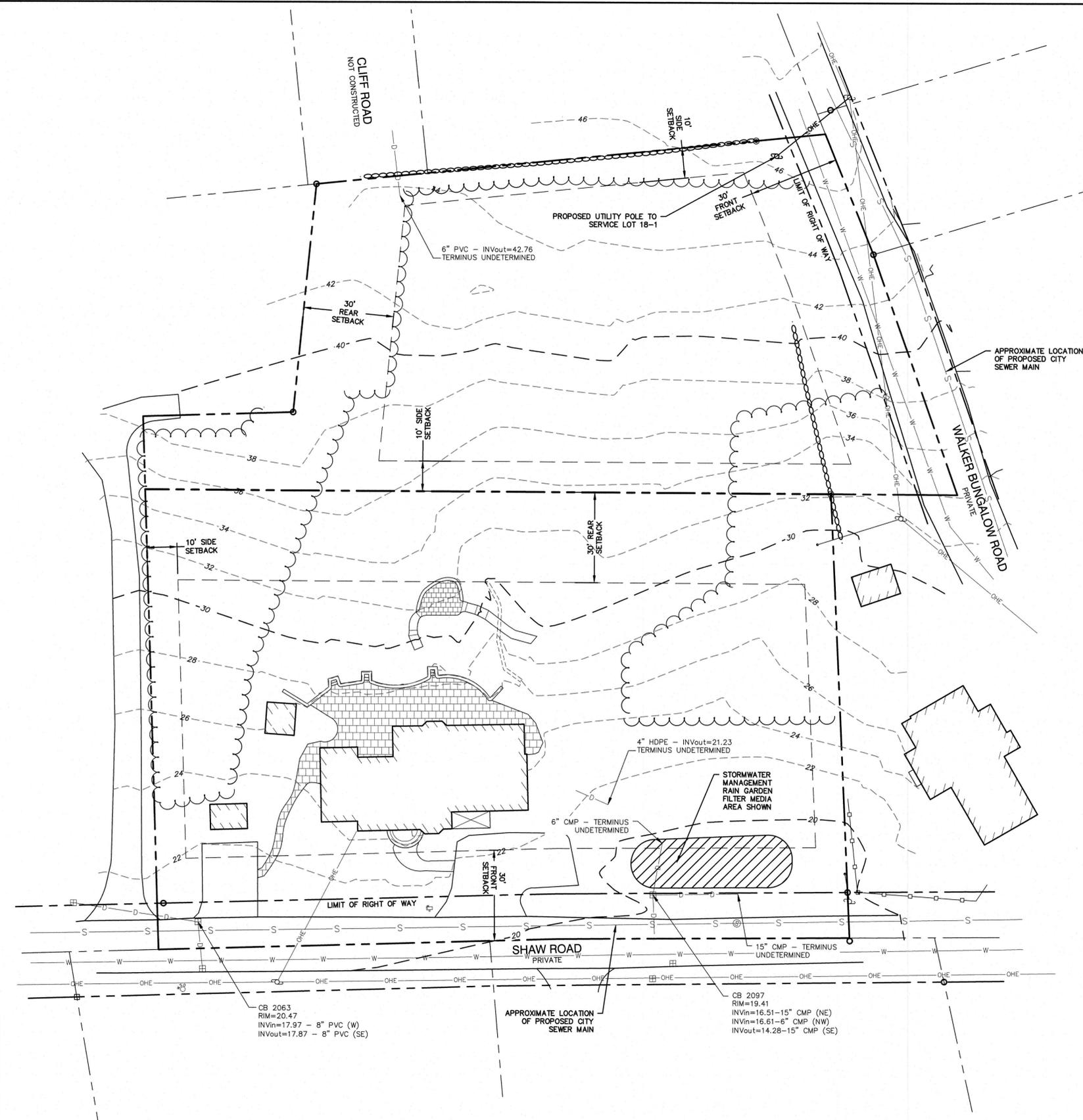
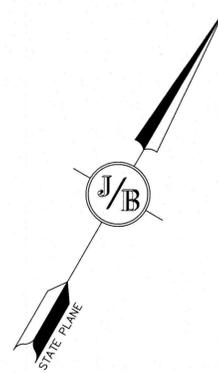


| REV. | DATE | REVISION | BY |
|------|----------|--------------------------------|-----|
| 1 | 12/22/21 | REVISED BASED ON CITY COMMENTS | AJB |
| 0 | 11/22/21 | ISSUED FOR REVIEW | MJS |
| REV. | DATE | REVISION | BY |

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

| | |
|------------------|---|
| Plan Name: | SUBDIVISION PLAN |
| Project: | PROPOSED SUBDIVISION 27 SHAW ROAD, PORTSMOUTH, NH |
| Owner of Record: | AUSTIN REPAIR & RENOVATION LLC BK 6349, PG 2486 4609 RIDGE OAK DRIVE, AUSTIN, TX 78731 |

DRAWING No.
A1
 SHEET 2 OF 3
 JBE PROJECT NO. 21222



GENERAL LEGEND

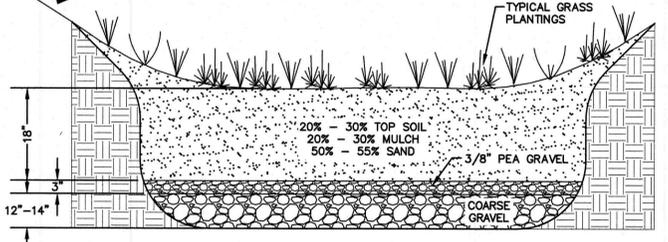
| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|---------------------|
| --- | --- | PROPERTY LINES |
| --- | --- | SETBACK LINES |
| --- | --- | ZONE LINE |
| --- | --- | FENCE |
| --- | --- | ZONELINE |
| --- | --- | EASEMENT |
| --- | --- | EDGE OF PAVEMENT |
| ○ | ○ | IRON PIPE/IRON ROD |
| ○ | ○ | DRILL HOLE |
| ○ | ○ | IRON ROD/DRILL HOLE |
| ○ | ○ | STONE/GRANITE BOUND |
| ○ | ○ | BENCHMARK (TBM) |
| ○ | ○ | TREES AND BUSHES |

GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.

| SAND SPECIFICATION | TOPSOIL SPECIFICATION |
|--------------------|-----------------------|
| SIEVE SIZE | % BY WEIGHT |
| #4 | 100 |
| #8 | 95-100 |
| #16 | 80-100 |
| #30 | 50-85 |
| #60 | 25-60 |
| #100 | 10-30 |
| #200 | 2-10 |
| | 0-5 |

LOAMY SAND TOPSOIL WITH MINIMAL CLAY CONTENT AND BETWEEN 15 TO 25% FINES PASSING THE #200 SIEVE.
 MODERATELY FINE, SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE #200 SIEVE.



DESIGN CONSIDERATIONS

- DO NOT DIRECT RUNOFF TO THE BIORETENTION SYSTEMS UNTIL IT HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUN-OFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

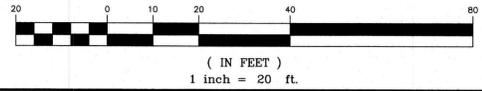
MAINTENANCE REQUIREMENTS:

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

RAIN GARDEN (GRASSED)

NOT TO SCALE

GRAPHIC SCALE

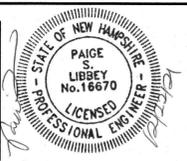


APPLICANT
 CLYDE LOGUE
 10 NEWCASTLE AVENUE
 PORTSMOUTH, NH 03801

TOTAL LOT AREA
 57,354 SQ. FT.
 1.32 ACRES

Design: JAC Draft: MJS Date: 11/18/21
 Checked: JAC Scale: 1"=20' Project No.: 21222
 Drawing Name: 21222-PLAIN.dwg

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



| REV. | DATE | REVISION | BY |
|------|----------|--------------------------------|-----|
| 1 | 12/22/21 | REVISED BASED ON CITY COMMENTS | AJB |
| 0 | 11/22/21 | ISSUED FOR REVIEW | MJS |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **TOPOGRAPHY PLAN**

Project: **PROPOSED SUBDIVISION
 27 SHAW ROAD, PORTSMOUTH, NH**

Owner of Record: **AUSTIN REPAIR & RENOVATION LLC BK 6349, PG 2486
 4609 RIDGE OAK DRIVE, AUSTIN, TX 78731**

DRAWING No. **C2**

SHEET 3 OF 3
 JBE PROJECT NO. 21222



**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

December 29, 2021

Peter Britz, Interim Planning Director
City of Portsmouth Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: Application for Site Plan Review
Assessor's Map 201, Lot 2
960 Sagamore Avenue
Altus Project No. 5079**

Dear Peter,

On behalf of the Applicant, Sagamore Corner, LLC, Altus Engineering, Inc. respectfully submits the attached application material for the redevelopment of the former Golden Egg site at 960 Sagamore Avenue. The Proposed development will consist of a new six (6) unit building and a five (5) exterior stall visitor parking lot to serve the new building. Parking for the residents will be located on the garage level of the building. The existing paved parking lot along Sagamore Avenue will be removed and access will be provided from Sagamore Grove. This will eliminate the head-in parking from Sagamore Avenue, which improve traffic operations and reduce conflicts along Sagamore Avenue. The majority of the new parking lot and driveway will be constructed with porous pavement and a sub-surface treatment system will be constructed to treat and manage the stormwater from the roof. There will be a reduction of over 8,400 square feet of paved and gravel area impervious areas.

On December 7, 2021, the project team met with the Technical Advisory Committee (TAC), who voted to recommend approval with seven (7) stipulations. The stipulations are listed below with the comments on how the comments have been or will be addressed for the approval.

1. *Label address in the title block of the CUP plan.*

Response: The title block has been revised to include the property address.

2. *The UG electrical service should be drawn to go from the pole to the building directly.*

Response: The UG electric service has been re-drawn to go directly from the pole.

3. *Applicant should coordinate with DPW on viable water source prior to building permit issuance.*

Response: The applicant has coordinated with DPW and water service will be provided directly from the main in Sagamore Avenue. Separate connections will be required for domestic and fire services.

4. *DES approval of holding tank*

Response: Notes are added to the plan that DES approval is required if the holding tank is required to be installed.

5. *Fire service plan.*

Response: A Fire sieve plan will be submitted for the building permit application.

6. *The natural stone finish of the proposed retaining wall shall be finalized and reviewed by the Planning Department prior to approval by the Planning Board*

Response: The owner is working with the Planning Department to determine to finish stone for the retaining wall.

7. *The proposed community storage room in the basement level shall be reduced in size in order to support egress from parking space #10.*

Response: The community storage room has been reduced in size to support egress as requested.

On December 8, 2021, the project team met with the Conservation Commission, who also voted to recommend approval.

8. *The applicant shall include signage to demonstrate delineation that there is a sensitive resource/wetland area beyond the 10x10 patio area.*

Response: Signage has been added to the plan to indicate "Sensitive Resource Area / Wetland Buffer" in the area of the patio.

9. *Along the existing stonewall and existing tree line beyond the proposed patio the applicant shall include additional buffer plantings.*

Response: The Landscape Plan (Sheet L-1) has been revised to include additional plantings to provide a native plan buffer, which consists of a combination of ferns as groundcover, Winterberry (12), and one small Amelanchier.

Enclosed please find the following items for consideration at the January 19th Planning Board Meeting:

- Letter of Authorization (Applicant to Altus)
- Full sized sets of Site Plans
- Wetlands Conditional Use Plan
- “Green” Statement
- Average Grade Plane Worksheets
- Profiles worksheet
- Wetlands and Buffer Evaluation
 - Wetlands Letter
 - NHD Data Review
- Drainage Report
 - Stormwater Inspection and Maintenance Manual
- Traffic Impact Study (by VAI)
- Septic Approval Plan (The Wright Choice, 2011)
- Site Pictures
- Sitework Cost Estimate
- Site Review Checklist
- Letter of Decision - Technical Advisory Committee, dated December 14, 2021.
- Letter of Decision – Conservation Commission, dated December 20, 2021.

Please call me if you have any questions or need any additional information.

Sincerely,

ALTUS ENGINEERING, INC.



Cory D. Belden, PE
Associate Principal

ebs/5079-APP-PB-CovLtr-122921.docx

Enclosures

eCopy: Eric Katz, Sagamore Corner, LLC



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

TECHNICAL ADVISORY COMMITTEE

December 14, 2021

Sagamore Corner LLC
273 Corporate Dr, Suite 150
Portsmouth, NH 03801

RE: Site Plan approval for property located at 960 Sagamore Avenue (LU-21-204)

Dear Owner:

The Technical Advisory Committee, at its regularly scheduled meeting of Tuesday, December 7, 2021, considered your application for Site Plan Approval to demolish the existing mixed use structure and construct a 6-unit residential structure totaling 21,066 square feet of gross floor area, 21 parking spaces as well as associated utilities, lighting, landscaping, and site improvements. Said property is shown on Assessor Map 201, Lot 2 and lies within the Mixed Residential Business (MRB) District. As a result of said consideration, the Committee voted to recommend approval to the Planning Board with the following stipulations:

1. Label address in the title block of the CUP plan.
2. The UG electrical service should be drawn to go from the pole to the building directly.
3. Applicant should coordinate with DPW on viable water source prior to building permit issuance.
4. DES approval of holding tank.
5. Fire service plan.
6. The natural stone finish of the proposed retaining wall shall be finalized and reviewed by the Planning Department prior to approval by the Planning Board.
7. The proposed community storage room in the basement level shall be reduced in size in order to support egress from parking space #10.

This matter will be placed on the agenda for the Planning Board meeting scheduled for **Thursday, January 20, 2021**. One (1) hard copy of all plans and supporting reports and exhibits as well as an updated electronic file (in a PDF format) must be filed in the Planning Department and uploaded to the online permit system no later than **Wednesday, December 29, 2021**.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

CONSERVATION COMMISSION

December 20, 2021

Sagamore Corner LLC
273 Corporate Dr, Suite 150
Portsmouth, NH 03801

RE: Wetland Conditional Use Permit Application for property located at 960 Sagamore Avenue (LU-21-204)

Dear Owner:

The Conservation Commission, at its regularly scheduled meeting of **Wednesday, December 08, 2021**, considered your application for a wetland conditional use permit according to section 10.1017.5 of the Zoning ordinance to impact 1,100 square feet of wetland buffer for grading and to remove 750 square feet of impervious surface in the wetland buffer and construct a new 100 square foot porous paver patio.. Said property is shown on Assessor Map 201, Lot 2 and lies within the Mixed Residential Business (MRB) District. As a result of said consideration, the Commission voted to recommend approval of the Wetland Conditional Use Permit Application to the Planning Board with the following stipulations.

1. The applicant shall include signage to demonstrate delineation that there is a sensitive resource/wetland area beyond the 10x10 patio area.
2. Along the existing stonewall and existing tree line beyond the proposed patio the applicant shall include additional buffer plantings.

This matter will be placed on the agenda for the Planning Board meeting scheduled for **Thursday, January 20, 2021**. One (1) hard copy of any revised plans and/or exhibits as well as an updated electronic file (in a PDF format) must be filed in the Planning Department and uploaded to the online permit system no later than Wednesday, December 29, 2021.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

Barbara McMillan, Chair
Conservation Commission

cc:

Letter of Authorization

I, Eric S. Katz, Manager of Sagamore Corner, LLC, hereby authorize Altus Engineering, Inc. of Portsmouth, New Hampshire to represent Sagamore Corner, LLC in all matters concerning engineering and related permitting for the development of property at 960 Sagamore Avenue in Portsmouth, NH. The property is identified on the Assessor's Maps as Tax Map 201, Lot 2. This authorization shall include any signatures required for Federal, State and Municipal permit applications.


Signature

ERIC S. KATZ
Print Name

11/1/21
Date


Witness

Tyler Ruge
Print Name

11-1-21
Date

THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER AND ORIGINAL DOCUMENT SECURITY SCREEN ON BACK WITH PADLOCK SECURITY ICON.



133 Court Street
Portsmouth, NH 03801
603.433.2335

Bangor Savings Bank

9426

52-7438/2112

11-22-21

PAY TO THE
ORDER OF

City of Portsmouth, NH

\$ 3095.00

Three thousand NINETY-FIVE AND ^{XX}/₁₀₀

DOLLARS

960 SAGAMORE

MEMO P5079 - SITE REVIEW APPLN.



[Handwritten Signature]

AUTHORIZED SIGNATURE

MP

⑈009426⑈ ⑆211274382⑆ 0000175633⑈

Security features included. Details on back.

Altus Engineering, Inc.

9426



Civil
Site Planning
Environmental
Engineering | 133 Court Street
 Portsmouth, NH
 (603) 433-2335

Site Plan Application Fee Calculation
960 Sagamore Avenue
Multi-Family Residential Development
Altus Project #5079

Per Portsmouth Fee Schedule Effective 07/01/21 - 06/30/22

\$500 Base Fee
Plus \$5 per \$1,000 Site Costs
Plus \$10 per 1000 Site Development Area
 Total Fee Not the Exceed \$15,000

| | | | |
|-------------------------------|---------------|----------------------|-----------------|
| Base Fee: | | \$ | 500.00 |
| Site Costs: | \$ 265,000.00 | \$ | 1,325.00 |
| Wetlands CUP (>1,000 sf dist) | | | \$1,000 |
| Site Development Area: | 26,500 | \$ | 270.00 |
| | | Total Fee: \$ | 3,095.00 |

* Not including public and abutter notifications.



**Civil
Site Planning
Environmental
Engineering** | 133 Court Street
Portsmouth, NH
(603) 433-2335

**960 Sagamore Avenue
Portsmouth, NH
Engineer's Opinion of Cost
(November 22, 2021 Plan Set)**

PROJECT: 5079

| Est. Qty | Unit | ITEM DESCRIPTION & | Cost/Unit | Total |
|----------|------|---|--------------|--------------|
| 1 | LS | Site Demolition | \$ 30,000.00 | \$ 30,000.00 |
| 1 | LS | Clearing, Grubbing and Loam Stripping | \$ 5,000.00 | \$ 5,000.00 |
| 45 | TON | Hot Bituminous Pavement | \$ 90.00 | \$ 4,050.00 |
| 40 | TON | Porous Pavement | \$ 130.00 | \$ 5,200.00 |
| 240 | CY | Gravels | \$ 40.00 | \$ 9,600.00 |
| 1 | EA | Concrete Pad | \$ 2,000.00 | \$ 2,000.00 |
| 1,250 | SF | Modular Block Retaining Wall | \$ 50.00 | \$ 62,500.00 |
| 200 | LF | 4" PE Underdrain | \$ 25.00 | \$ 5,000.00 |
| 240 | LF | 8" PE Pipe (smooth interior) | \$ 30.00 | \$ 7,200.00 |
| 115 | LF | 12" PE Pipe (smooth interior) | \$ 40.00 | \$ 4,600.00 |
| 4 | EA | Drainage Structure | \$ 3,000.00 | \$ 12,000.00 |
| 1 | EA | Trench Drain | \$ 2,500.00 | \$ 2,500.00 |
| 1 | EA | Reconstruct Drainage Structure (Curb Inlet) | \$ 1,500.00 | \$ 1,500.00 |
| 90 | LF | 24" Perforated Stormwater Chamber | \$ 80.00 | \$ 7,200.00 |
| 1 | EA | Septic Holding Tank | \$ 15,000.00 | \$ 15,000.00 |
| 3 | EA | Bollards | \$ 200.00 | \$ 600.00 |
| 220 | LF | Vertical Granite Curb | \$ 55.00 | \$ 12,100.00 |
| 20 | LF | 6" SDR 35 Sewer Pipe | \$ 45.00 | \$ 900.00 |
| 80 | LF | 4" D.I. Water Pipe | \$ 50.00 | \$ 4,000.00 |
| 90 | LF | 6" D.I. Water Pipe | \$ 60.00 | \$ 5,400.00 |
| 2 | EA | Traffic Sign Type C | \$ 100.00 | \$ 200.00 |
| 26 | LF | Wood Beam Guardrail | \$ 75.00 | \$ 1,950.00 |
| 1 | LS | Site Electrical (Incl Generator) | \$ 20,000.00 | \$ 20,000.00 |
| 1 | LS | Lighting | \$ 5,000.00 | \$ 5,000.00 |
| 1 | LS | Site Gas (Incl Propane Tank) | \$ 15,000.00 | \$ 15,000.00 |
| 1 | EA | Concrete Base and Light Pole | \$ 3,000.00 | \$ 3,000.00 |
| 1 | LS | Misc. Temp. Erosion and Sediment Control | \$ 3,000.00 | \$ 3,000.00 |
| 100 | SF | Porous Paver (Patio) | \$ 25.00 | \$ 2,500.00 |
| 1 | LS | Loam and Seed | \$ 8,000.00 | \$ 8,000.00 |
| 1 | LS | Planted Landscape | \$ 10,000.00 | \$ 10,000.00 |

****SUBTOTAL: \$ 265,000.00**

**** Exclusions:**

Ledge Removal, Hazardous Waste Remediation, Traffic Control, Offsite Work,
Site Construction Monitoring and Reporting



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Owner/Applicant: Sagamore Corner LLC Date Submitted: 11/22/21
 Phone Number: 603-427-5100 E-mail: ekatz@katzcompanies.com
 Site Address: 960 Sagamore Ave Map: 201 Lot: 2
 Zoning District: M1B Lot area: 42,929 sq. ft.

| Application Requirements | | | |
|-------------------------------------|---|--|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page or Plan Sheet/Note #) | Waiver Requested |
| <input checked="" type="checkbox"/> | Fully executed and signed Application form. (2.5.2.3) | Viewpoint (VP) | N/A |
| <input checked="" type="checkbox"/> | All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF). (2.5.2.8) | VP | N/A |

| Site Plan Review Application Required Information | | | |
|---|---|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input checked="" type="checkbox"/> | Statement that lists and describes "green" building components and systems. (2.5.3.1A) | Green Statement | |
| <input checked="" type="checkbox"/> | Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1B) | VP | N/A |
| <input checked="" type="checkbox"/> | Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1C) | Site Plan, C-2 | N/A |
| <input checked="" type="checkbox"/> | Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1D) | VP, Cover Sheet | N/A |

| Site Plan Review Application Required Information | | | |
|---|---|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input checked="" type="checkbox"/> | Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1E) | Existing Conditions Plan, 3 sheets | N/A |
| <input checked="" type="checkbox"/> | Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1F) | Cover Sheet | N/A |
| <input checked="" type="checkbox"/> | List of reference plans. (2.5.3.1G) | Existing Conditions Plan, 1 of 3 | N/A |
| <input checked="" type="checkbox"/> | List of names and contact information of all public or private utilities servicing the site. (2.5.3.1H) | Utilities Plan, C-4 | N/A |

| Site Plan Specifications | | | |
|-------------------------------------|---|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input checked="" type="checkbox"/> | Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. (2.5.4.1A) | Required on all plan sheets | N/A |
| <input checked="" type="checkbox"/> | Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B) | Required on all plan sheets | N/A |
| <input checked="" type="checkbox"/> | GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C) | | N/A |
| <input checked="" type="checkbox"/> | Plans shall be drawn to scale. (2.5.4.1D) | Required on all plan sheets | N/A |
| <input checked="" type="checkbox"/> | Plans shall be prepared and stamped by a NH licensed civil engineer. (2.5.4.1D) | | N/A |
| <input checked="" type="checkbox"/> | Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E) | Existing Conditions 1 of 3, note 6 | N/A |
| <input checked="" type="checkbox"/> | Title (name of development project), north point, scale, legend. (2.5.4.2A) | Cover Sheet, Site Plans | N/A |
| <input checked="" type="checkbox"/> | Date plans first submitted, date and explanation of revisions. (2.5.4.2B) | Title block | N/A |
| <input checked="" type="checkbox"/> | Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C) | Required on all plan sheets | N/A |
| <input checked="" type="checkbox"/> | Source and date of data displayed on the plan. (2.5.4.2D) | | N/A |

Site Plan Specifications

| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
|-------------------------------------|--|--|-----------------------------|
| <input checked="" type="checkbox"/> | A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E) | Srte Plan, C-2 | N/A |
| <input checked="" type="checkbox"/> | Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3) | Srte Plan, C-2 | N/A |
| <input checked="" type="checkbox"/> | Plan sheets showing landscaping and screening shall also include the following additional notes: a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials." b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair." c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director." (2.13.4) | Landscape Plan Sheet L-1 | N/A |

Site Plan Specifications – Required Exhibits and Data

| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
|-------------------------------------|---|--|-----------------------------|
| | 1. Existing Conditions: (2.5.4.3A) | <i>Existing Conditions</i> | |
| <input checked="" type="checkbox"/> | a. Surveyed plan of site showing existing natural and built features; | .. | |
| <input checked="" type="checkbox"/> | b. Zoning boundaries; | .. | |
| <input checked="" type="checkbox"/> | c. Dimensional Regulations; | .. | |
| <input checked="" type="checkbox"/> | d. Wetland delineation, wetland function and value assessment; | .. | |
| <input type="checkbox"/> | e. SFHA, 100-year flood elevation line and BFE data. | N/A | |
| | 2. Buildings and Structures: (2.5.4.3B) | | |
| <input checked="" type="checkbox"/> | a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; | <i>Site Plan, Elevations</i> | |
| <input checked="" type="checkbox"/> | b. Elevations: Height, massing, placement, materials, lighting, façade treatments; | <i>Elevations, Lighting</i> | |
| <input checked="" type="checkbox"/> | c. Total Floor Area; | <i>Elevations</i> | |
| <input checked="" type="checkbox"/> | d. Number of Usable Floors; | <i>Elevations</i> | |
| <input checked="" type="checkbox"/> | e. Gross floor area by floor and use. | <i>Elevations</i> | |
| | 3. Access and Circulation: (2.5.4.3C) | <i>Site Plan</i> | |
| <input checked="" type="checkbox"/> | a. Location/width of access ways within site; | .. | |
| <input checked="" type="checkbox"/> | b. Location of curbing, right of ways, edge of pavement and sidewalks; | .. | |
| <input checked="" type="checkbox"/> | c. Location, type, size and design of traffic signing (pavement markings); | .. | |
| <input checked="" type="checkbox"/> | d. Names/layout of existing abutting streets; | .. | |
| <input checked="" type="checkbox"/> | e. Driveway curb cuts for abutting prop. and public roads; | .. | |
| <input type="checkbox"/> | f. If subdivision; Names of all roads, right of way lines and easements noted; | N/A | |
| <input type="checkbox"/> | g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC). | | |
| | 4. Parking and Loading: (2.5.4.3D) | | |
| <input type="checkbox"/> | a. Location of off street parking/loading areas, landscaped areas/buffers; | N/A | |
| <input checked="" type="checkbox"/> | b. Parking Calculations (# required and the # provided). | <i>Site Plan</i> | |
| | 5. Water Infrastructure: (2.5.4.3E) | | |
| <input checked="" type="checkbox"/> | a. Size, type and location of water mains, shut-offs, hydrants & Engineering data; | <i>Utilities Plan</i> | |
| <input type="checkbox"/> | b. Location of wells and monitoring wells (include protective radii). | N/A | |
| | 6. Sewer Infrastructure: (2.5.4.3F) | | |
| <input checked="" type="checkbox"/> | a. Size, type and location of sanitary sewage facilities & Engineering data. | <i>Utilities Plan</i> | |
| | 7. Utilities: (2.5.4.3G) | | |
| <input checked="" type="checkbox"/> | a. The size, type and location of all above & below ground utilities; | <i>Utilities Plan</i> | |
| <input checked="" type="checkbox"/> | b. Size type and location of generator pads, transformers and other fixtures. | <i>Utilities Plan</i> | |

Site Plan Specifications – Required Exhibits and Data

| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
|-------------------------------------|--|---|---------------------|
| <input type="checkbox"/> | 8. Solid Waste Facilities: (2.5.4.3H) | | |
| <input checked="" type="checkbox"/> | a. The size, type and location of solid waste facilities. | Utilities Plan | |
| <input type="checkbox"/> | 9. Storm water Management: (2.5.4.3I) | | |
| <input checked="" type="checkbox"/> | a. The location, elevation and layout of all storm-water drainage. | Grading & Drainage Plan | |
| <input type="checkbox"/> | 10. Outdoor Lighting: (2.5.4.3J) | | |
| <input checked="" type="checkbox"/> | a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and; b. photometric plan. | Lighting Plan, S-1 | |
| <input checked="" type="checkbox"/> | 11. Indicate where dark sky friendly lighting measures have been implemented. (10.1) | " | |
| <input type="checkbox"/> | 12. Landscaping: (2.5.4.3K) | | |
| <input checked="" type="checkbox"/> | a. Identify all undisturbed area, existing vegetation and that which is to be retained; | Landscape Plan, L-1 | |
| <input type="checkbox"/> | b. Location of any irrigation system and water source. | N/A | |
| <input type="checkbox"/> | 13. Contours and Elevation: (2.5.4.3L) | | |
| <input checked="" type="checkbox"/> | a. Existing/Proposed contours (2 foot minimum) and finished grade elevations. | Grading & Drainage Plan, C-3 | |
| <input type="checkbox"/> | 14. Open Space: (2.5.4.3M) | | |
| <input checked="" type="checkbox"/> | a. Type, extent and location of all existing/proposed open space. | Landscape Plan | |
| <input type="checkbox"/> | 15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N) | Existing Conditions Plans, 3 sheets | |
| <input checked="" type="checkbox"/> | 16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O) | Site Plan, C-2 | |
| <input type="checkbox"/> | 17. Character/Civic District (All following information shall be included): (2.5.4.3Q) | N/A | |
| <input type="checkbox"/> | a. Applicable Building Height (10.5A21.20 & 10.5A43.30); | | |
| <input type="checkbox"/> | b. Applicable Special Requirements (10.5A21.30); | | |
| <input type="checkbox"/> | c. Proposed building form/type (10.5A43); | | |
| <input type="checkbox"/> | d. Proposed community space (10.5A46). | | |

| Other Required Information | | | |
|-------------------------------------|--|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input checked="" type="checkbox"/> | Traffic Impact Study or Trip Generation Report, as required. (Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application) (3.2.1-2) | Traffic Impact Study (by VAI) | |
| <input checked="" type="checkbox"/> | Indicate where Low Impact Development Design practices have been incorporated. (7.1) | Green Statement | |
| <input type="checkbox"/> | Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1) | N/A | |
| <input checked="" type="checkbox"/> | Indicate where measures to minimize impervious surfaces have been implemented. (7.4.3) | Green Statement | |
| <input checked="" type="checkbox"/> | Calculation of the maximum effective impervious surface as a percentage of the site. (7.4.3.2) | Drainage Report | |
| <input checked="" type="checkbox"/> | Stormwater Management and Erosion Control Plan. (Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application) (7.4.4.1) | Drainage Report, Stormwater Manual, Grading & Drainage Plan | |

| Final Site Plan Approval Required Information | | | |
|---|--|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input checked="" type="checkbox"/> | All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> a. Waivers; b. Driveway permits; c. Special exceptions; d. Variances granted; e. Easements; f. Licenses. (2.5.3.2A) | Site Plan table Sheet C-2 | |
| <input checked="" type="checkbox"/> | Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> a. Calculations relating to stormwater runoff; b. Information on composition and quantity of water demand and wastewater generated; c. Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; d. Estimates of traffic generation and counts pre- and post-construction; e. Estimates of noise generation; f. A Stormwater Management and Erosion Control Plan; g. Endangered species and archaeological / historical studies; h. Wetland and water body (coastal and inland) delineations; i. Environmental impact studies. (2.5.3.2B) | Drainage Report, Traffic Impact Study, Wetland and Buffer Evaluation, NHD data check | |

VIEW FROM SAGAMORE AVENUE - WESTSIDE



VIEW FROM SAGAMORE GROVE - NORTHSIDE



VIEW OF BACKYARD - NORTHSIDE



VIEW OF EAST BACKYARD - EASTSIDE



VIEW OF REAR OF EXISTING BUILDING - NORTHSIDE



VIEW OF SIDE YARD - SOUTHSIDE





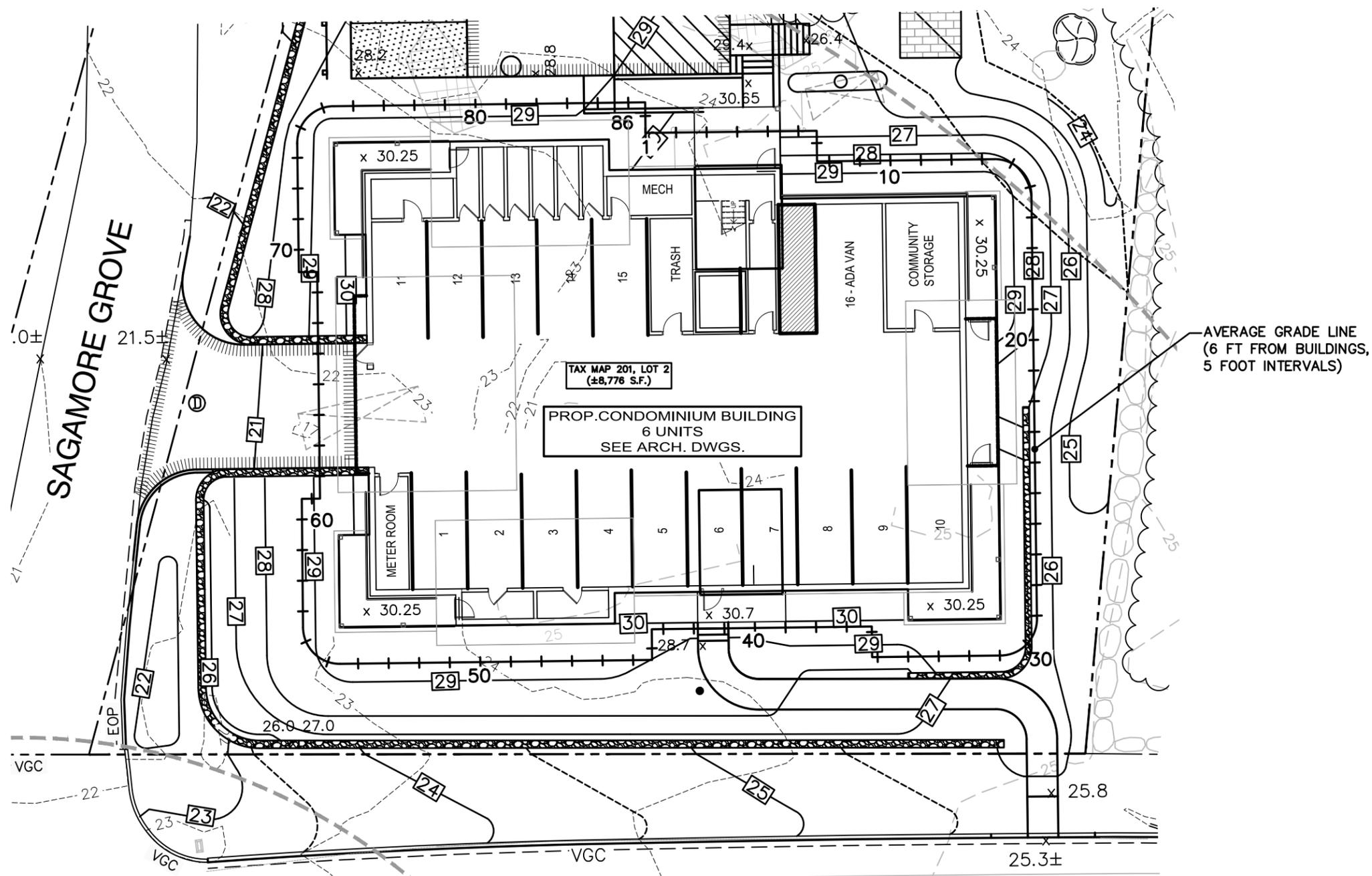
“Green” Statement
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
Assessor’s Map 201, Lot 2
960 Sagamore Avenue
Altus Project 5079

Pursuant to Section 2.5.3.1(a) of the Site Plan Review Regulations, Altus Engineering, Inc. respectfully submits the following list of the project’s “green” components for the redevelopment of the former Golden Egg restaurant site to construct a new 6-Unit multi-family residential building at 960 Sagamore Avenue:

- The existing impervious areas will be decreased by over 6,600 square feet and over 8,400 square feet including the porous pavement area. This will reduce the heat island effect, reduce runoff, and improve the surface water quality.
- The existing site has approximately 26 exterior surface parking stalls to accommodate a restaurant, retail store, and apartment. The proposed development will have all resident parking in the basement garage and only 5 exterior surface visitor parking stalls. This reduces the site impervious and improves stormwater runoff quality.
- The proposed site lighting will have LED fixtures. The light will be mounted at a maximum height of 14-feet. The lights will be dark sky friendly and will exceed the minimum City requirements.
- The existing wetland buffer will have approximately 750 sf of gravel parking area removed. There will be no new impervious surfaces in the 100 ft wetland buffer.
- The existing mature trees along Sagamore Grove will be preserved where possible.
- A robust planting plan and increased green space is proposed to reduce heat island effects.
- The proposed development will have an interior bicycle rack and moped storage area.
- The existing site was constructed prior to stormwater treatment or detention design considerations. Runoff from the site currently discharge directly into the closed drainage system that discharges to Sagamore Creek, or the wetland in the rear of the property. The proposed stormwater management design will treat the runoff with a sub-surface chamber system and porous pavement to reduce the peak rates of runoff to improve the stormwater quality discharge.

- Low Impact Development (LID) has been used for the proposed site development by incorporating basement level parking, porous pavement surfaces, and stormwater retentions and treatment facilities. The impervious areas are reduced by over 8,400 square feet and peak storm runoff for the 10 year storm event is reduced by 29% for the developed area of the parcel.
- The obsolete building will be replaced with a new building code compliant building with components that will meet or exceed all applicable energy codes.
- The new building will meet or exceed all applicable current energy codes.
- Electric vehicle charging stations will be provided in the garage basement for the residents of the new building.

NH STATE PLANE COORDINATE SYSTEM
NAD 1983



133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: NOVEMBER 22, 2021

REVISIONS
NO. DESCRIPTION BY DATE
0 INITIAL SUBMITTAL CDB 11/22/21

DRAWN BY: CDB
APPROVED BY: EDW
DRAWING FILE: 5079-SITE.dwg

SCALE: 22"x34" 1" = 10'
11"x17" 1" = 20'

OWNER:
WENTWORTH CORNER, LLC
1150 SAGAMORE AVENUE
PORTSMOUTH, NH 03801

APPLICANT:
KATZ DEVELOPMENT CORPORATION
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
TAX MAP 201 LOT 2
SAGAMORE ROAD
PORTSMOUTH, NH 03801

TITLE:
AVERAGE GRADE WORKSHEET

SHEET NUMBER:
WRK-1

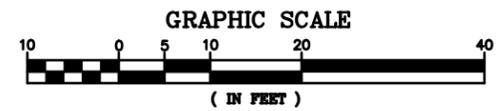
AVERAGE GRADE CALCULATION (MEASURES 6 FT FROM BUILDING EVERY 5 FT)

| POINT | ELEVATION |
|-------|-----------|-------|-----------|-------|-----------|-------|-----------|-------|-----------|-------|-----------|
| 1 | 30 | 16 | 28 | 31 | 29.7 | 46 | 29.4 | 61 | 29 | 76 | 28.5 |
| 2 | 30.4 | 17 | 28 | 32 | 29.7 | 47 | 29.4 | 62 | 30 | 77 | 28.5 |
| 3 | 30.7 | 18 | 28 | 33 | 29.7 | 48 | 29.4 | 63 | 20.5 | 78 | 28.5 |
| 4 | 30.7 | 19 | 28 | 34 | 28.5 | 49 | 29.4 | 64 | 20.5 | 79 | 28.5 |
| 5 | 30.7 | 20 | 27.8 | 35 | 28.5 | 50 | 29.4 | 65 | 20.5 | 80 | 28.5 |
| 6 | 27 | 21 | 27.3 | 36 | 29.5 | 51 | 29.4 | 66 | 20.5 | 81 | 28.5 |
| 7 | 27.5 | 22 | 27 | 37 | 29.7 | 52 | 29.4 | 67 | 29.3 | 82 | 28.5 |
| 8 | 28.4 | 23 | 26.9 | 38 | 29.7 | 53 | 29.4 | 68 | 29.3 | 83 | 28.5 |
| 9 | 28.4 | 24 | 26.9 | 39 | 29.7 | 54 | 29.4 | 69 | 29 | 84 | 29 |
| 10 | 28.4 | 25 | 26.9 | 40 | 29.7 | 55 | 29.2 | 70 | 28.7 | 85 | 29.2 |
| 11 | 28.4 | 26 | 26.9 | 41 | 30.4 | 56 | 28.8 | 71 | 28.6 | 86 | 29.7 |
| 12 | 28.4 | 27 | 26.9 | 42 | 29.7 | 57 | 28.7 | 72 | 28.5 | | |
| 13 | 28.4 | 28 | 26.9 | 43 | 29.7 | 58 | 28.7 | 73 | 28.5 | TOTAL | 2441.1 |
| 14 | 28 | 29 | 26.9 | 44 | 29.2 | 59 | 28.7 | 74 | 28.5 | | |
| 15 | 28 | 30 | 29.5 | 45 | 29.2 | 60 | 28.7 | 75 | 28.5 | AVE. | 28.4 |

SAGAMORE AVE

AVERAGE GRADE SUMMARY

- AVERAGE GRADE 6 FT AROUND BUILDING = 28.4
- 1ST FLOOR ELEVATION OF PROPOSED BUILDING = 30.75
- HEIGHT OF BUILDING 1ST FLR TO TOP OF ROOF = 26.5 FT
- TOTAL HEIGHT OF BUILDING FROM AVERAGE GRADE = 28.85 FT
- TOTAL ALLOWABLE BUILDING HEIGHT = 30.00 FT



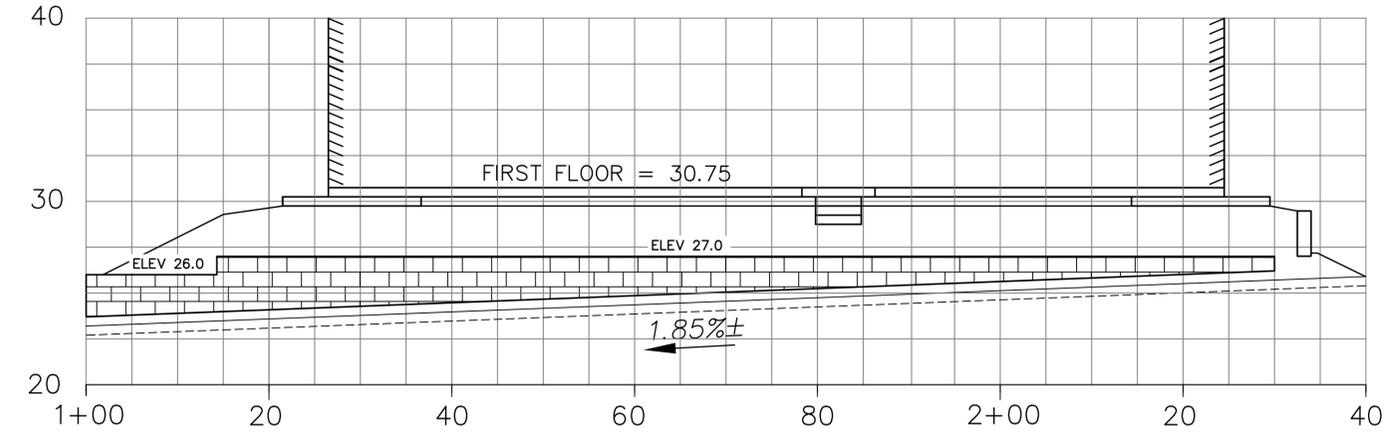
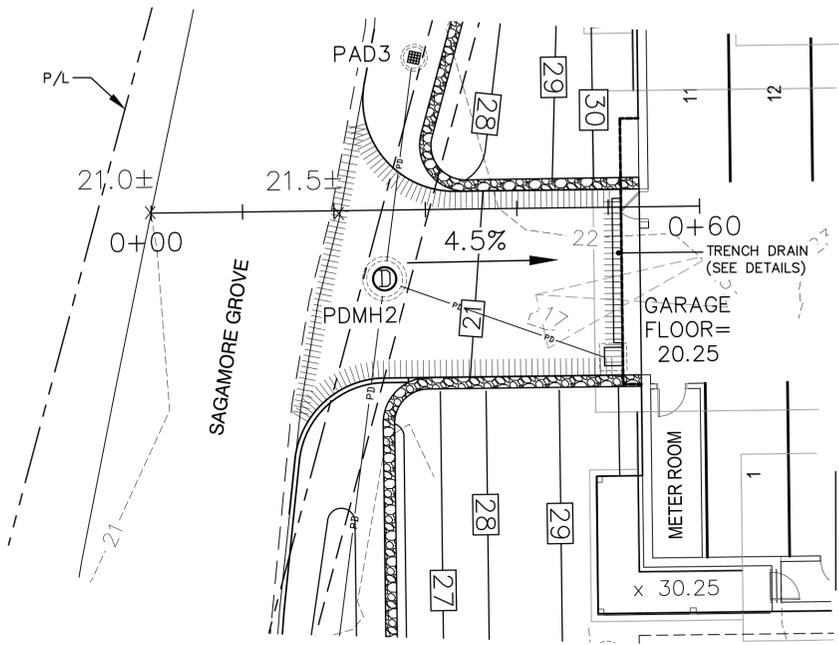
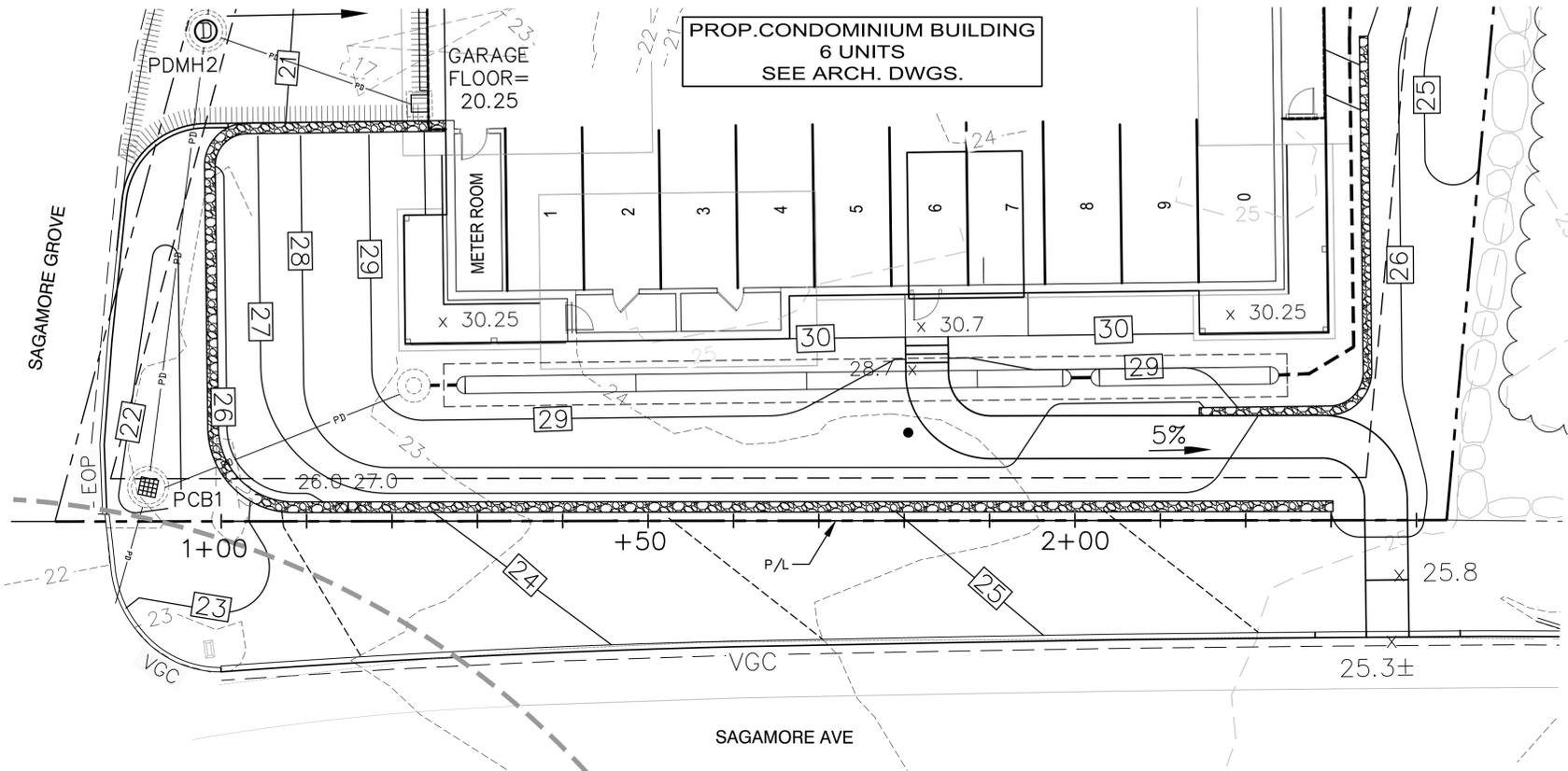
P5079

NH STATE PLANE COORDINATE SYSTEM
NAD 1983

APPROVED BY THE PORTSMOUTH PLANNING BOARD
CHAIRMAN _____ DATE _____

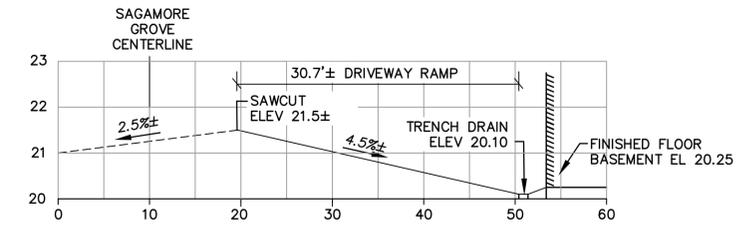


133 COURT STREET PORTSMOUTH, NH 03801
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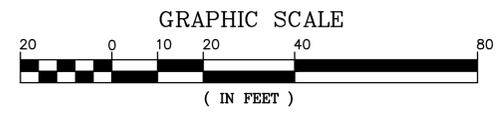
SAGAMORE AVENUE PROFILE

SCALE: 1" = 10' HORIZONTAL
1" = 5' VERTICAL (2X)



DRIVEWAY PROFILE

SCALE: 1" = 10' HORIZONTAL
1" = 2' VERTICAL (5X)



NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: NOVEMBER 22, 2021

| REVISIONS NO. | DESCRIPTION | BY | DATE |
|---------------|-------------------|-----|----------|
| 0 | INITIAL SUBMITTAL | CDB | 11/22/21 |

DRAWN BY: CDB
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DRAWING FILE: 5079-SITE.dwg

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TAX MAP 201
LOT 2
SAGAMORE ROAD
PORTSMOUTH, NH 03801

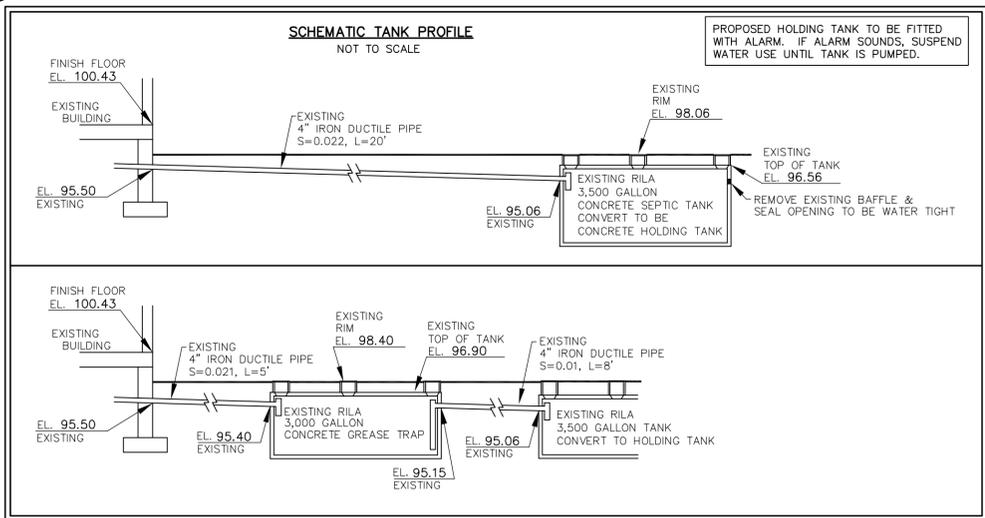
TITLE:

PROFILES

SHEET NUMBER:

WRK-2

P5079



PLAN INTENT:
 THE INTENT OF THIS PLAN IS TO CONVERT THE EXISTING SEPTIC TANK TO A HOLDING TANK, PER REQUEST OF THE CLIENT AND CITY OF PORTSMOUTH.
 THE CURRENT SEPTIC SYSTEM IS IN FAILURE. THE OWNER IS HAVING THE SEPTIC TANK PUMPED AS A HOLDING TANK TO KEEP THE PROPERTY FUNCTIONING. WE ARE REQUESTING THAT THE SEPTIC TANK BE CONVERTED TO A HOLDING TANK WITH AN ALARM AND BE SEALED WATER TIGHT PERMANENTLY. THE LOT HAS SIGNIFICANT LEDGE, AND THE CURRENT FAILED SYSTEM IS LOCATED UNDER A PRIVATE ROAD RIGHT OF WAY. IT IS UNDERSTOOD THAT THE HOLDING TANK WOULD REQUIRE A CONTRACT TO ENSURE KEEPING IT FROM BECOMING A HEALTH HAZARD.

- GENERAL NOTES:**
1. THIS PLAN IS NOT A PROPERTY BOUNDARY SURVEY OR ENGINEERED SITE PLAN. THE WRIGHT CHOICE ACCEPTS NO LIABILITY IF THIS PLAN IS USED INAPPROPRIATELY.
 2. BOUNDARY INFORMATION PER SEPTIC PLAN CA190641, 1/2/1992.
 4. ANY DISCREPANCY BETWEEN THESE PLANS AND THE APPARENT FIELD CONDITIONS TO BE REPORTED TO THE WRIGHT CHOICE PRIOR TO CONSTRUCTION.
 5. CONCRETE STRUCTURES TO BE WATERTIGHT. HOLDING TANK TO BE FITTED WITH ALARM.

- OPERATION AND MAINTENANCE**
1. IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN THIS SYSTEM IN ACCORDANCE WITH THESE "OPERATION AND MAINTENANCE" INSTRUCTIONS. PLANS SHOULD BE PROVIDED TO FUTURE OWNERS.
 2. HOLDING TANK MUST BE PUMPED BY A LICENSED HAULER BEFORE FULL. IF ALARM SOUNDS, WATER USE MUST BE STOPPED UNTIL TANK IS PUMPED, TO AVOID OVERFLOWING OF TANK THAT WILL CREATE A HEALTH HAZARD. KEEP PUMPING RECEIPTS AS PROOF OF MAINTENANCE. CHECK TANK REGULARLY.
 3. BACKWASH FROM WATER SOFTENERS IS NOT TO BE DISCHARGED INTO THE SEPTIC SYSTEM.
 4. CAREFUL AND REASONABLE WATER USE REQUIRED TO MAXIMIZE SYSTEM'S LIFE.
 5. ONLY TOILET PAPER, IN SMALL AMOUNTS, IS TO BE DISPOSED OF VIA THIS SYSTEM.
 6. USE TOILET CLEANING CHEMICALS JUDICIOUSLY.
 7. DO NOT DISPOSE OF PAPER TOWELS, FEMINE PRODUCTS, DIAPERS, INCONTINENCE PADS, DUSTING PRODUCTS, OR ANY OTHER OBJECTS OR ITEMS, VIA THIS SYSTEM.
 8. DO NOT DISPOSE OF GREASE, CHEMICALS, SOLVENTS, PAINT, MOTOR OIL, ETC. VIA THIS SYSTEM.

TEST PITS:

Test Pit: 1 Designer: Others Job # 11-0136
 Witness: None Date: 10/16/1991
 0" - 84" No predominant color, very gravelly sandy loam, massive, friable
 Large stones starting at 72"
 Estimated Seasonal High Water Table: None, Observed Water: None
 Restrictive: None, Refusal: None
 Note: Test Pit from approved septic design CA190641, 1/2/1992 & installed 5/10/1996

Test Pit: 2 Designer: Others Job # 11-0136
 Witness: None Date: 10/16/1991
 0" - 6" 2.5 Y 6/4, Light yellowish brown, gravelly sand, no structure
 6" - 13" 10 YR 6/8, Brownish yellow, medium sand, no structure
 13" - 27" 2.5 Y 4/4, Olive brown, gravelly sand, no structure
 27" - 50" 5 Y 6/3, Pale olive, gravelly silt loam, no structure
 50" - 96" 2.5 Y 6/4, Light yellowish brown, medium sand, no structure
 Estimated Seasonal High Water Table: None, Observed Water: None
 Restrictive: None, Refusal: None
 Note: Test Pit from approved septic design CA190641, 1/2/1992 & installed 5/10/1996

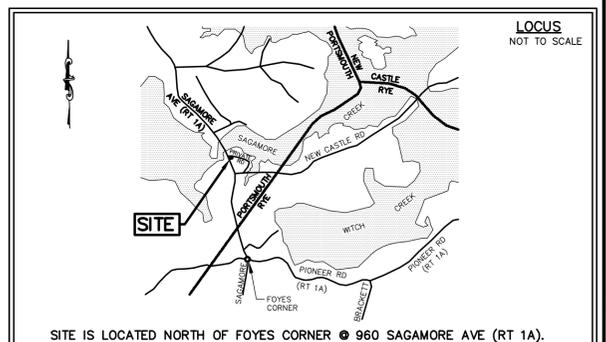
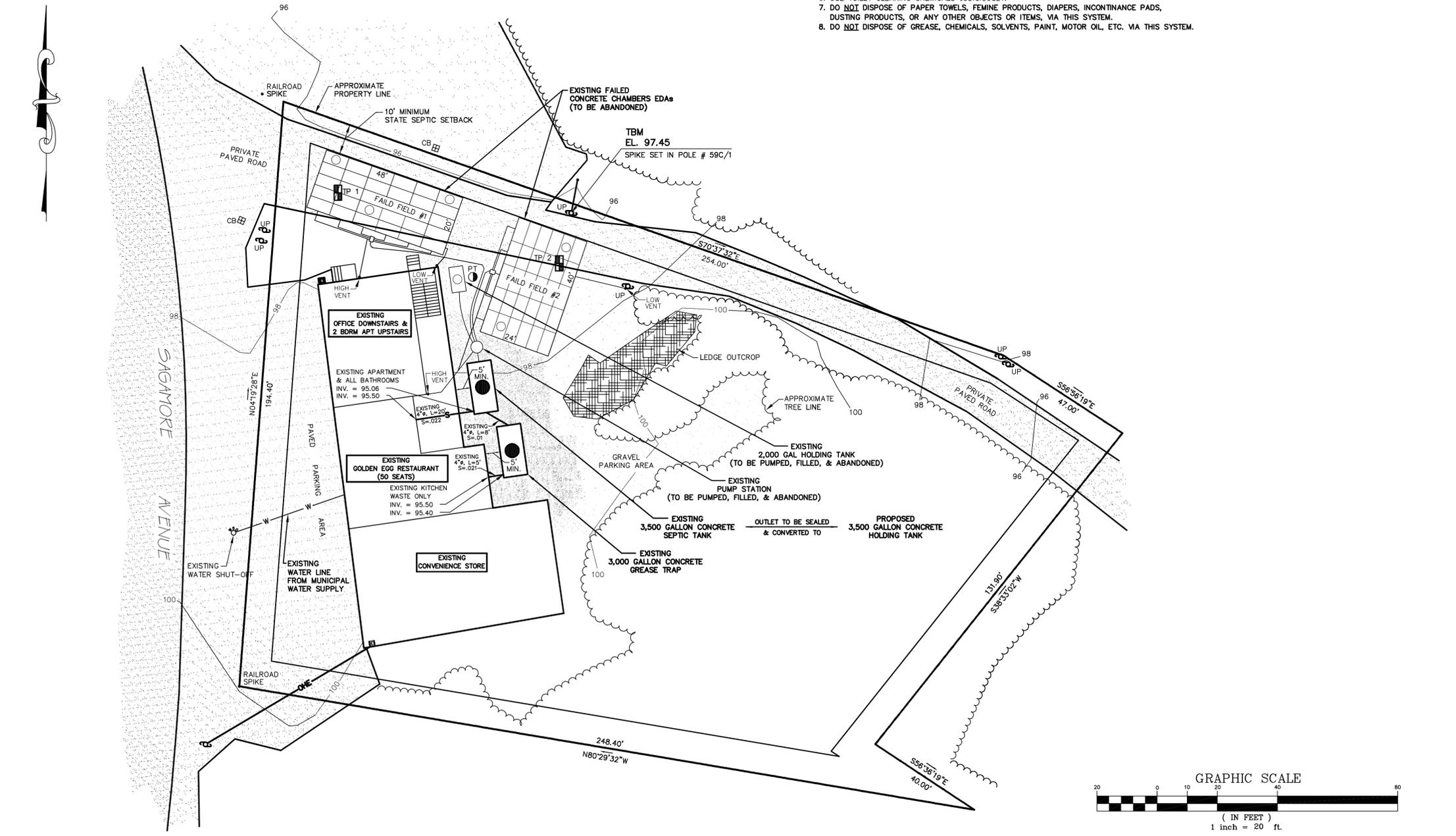
Percolation Test:
 Designer: Others Witness: None Date: 10/16/1991
 Percolation Rate: 2 mins/inch

HOLDING TANK SIZE:
 EXISTING: 3,500 GALLON
 [NOTE: PER PUMPER, EXISTING TANK IS IN GOOD CONDITION]

DESIGN NOTES:
 FOUNDATION DRAINS: NONE
 NEAREST ABUTTING WELL: OVER 75'
 NEAREST POORLY DRAINED WETLAND: OVER 75'
 NEAREST VERY POORLY DRAINED WETLAND: OVER 75'
 NEAREST SURFACE WATER: OVER 75'

LOT LOADING BY SOILS:
 140B - HOLLIS (GROUP 4B) = 1,379 GPD/ACRE x 1.01 ACRES = 1,392 GPD
 TOTAL ALLOWED = 1,392 GPD
 EXISTING USE = 1,430 GPD

PER REAL WATER METER READINGS: (FROM CA190641 APPROVED PLANS)
 YEARLY CONSUMPTION = 69,800 cubic feet/year x 7.48 gallons/cubic feet = 522,104 gallons/year
 EXISTING DAILY CONSUMPTION = 522,104 gallons/year / 365 days/year = 1,430 GPD



| | |
|-----------------|-------------------|
| Official Stamps | NH Designer Stamp |
| | |

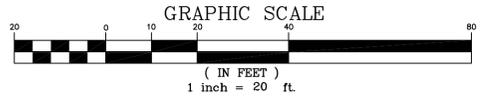
SUBSURFACE SEWAGE DISPOSAL SYSTEM FOR
THE GOLDEN EGG
 GOSELIN LIVING TRUST / THOMAS GOSELIN, TRUSTEE
 960 SAGAMORE AVE
 PORTSMOUTH, NH 03801

TAX MAP 201, LOT 2 SD#: PREDATES 1967 DEED Bk/Pg: 3469 / 2151

| | |
|-------------|---------|
| Drawing # | 11-0136 |
| Job # | 11-0136 |
| Date: | 10/11 |
| Drawn By: | PRW |
| Checked By: | PRW |

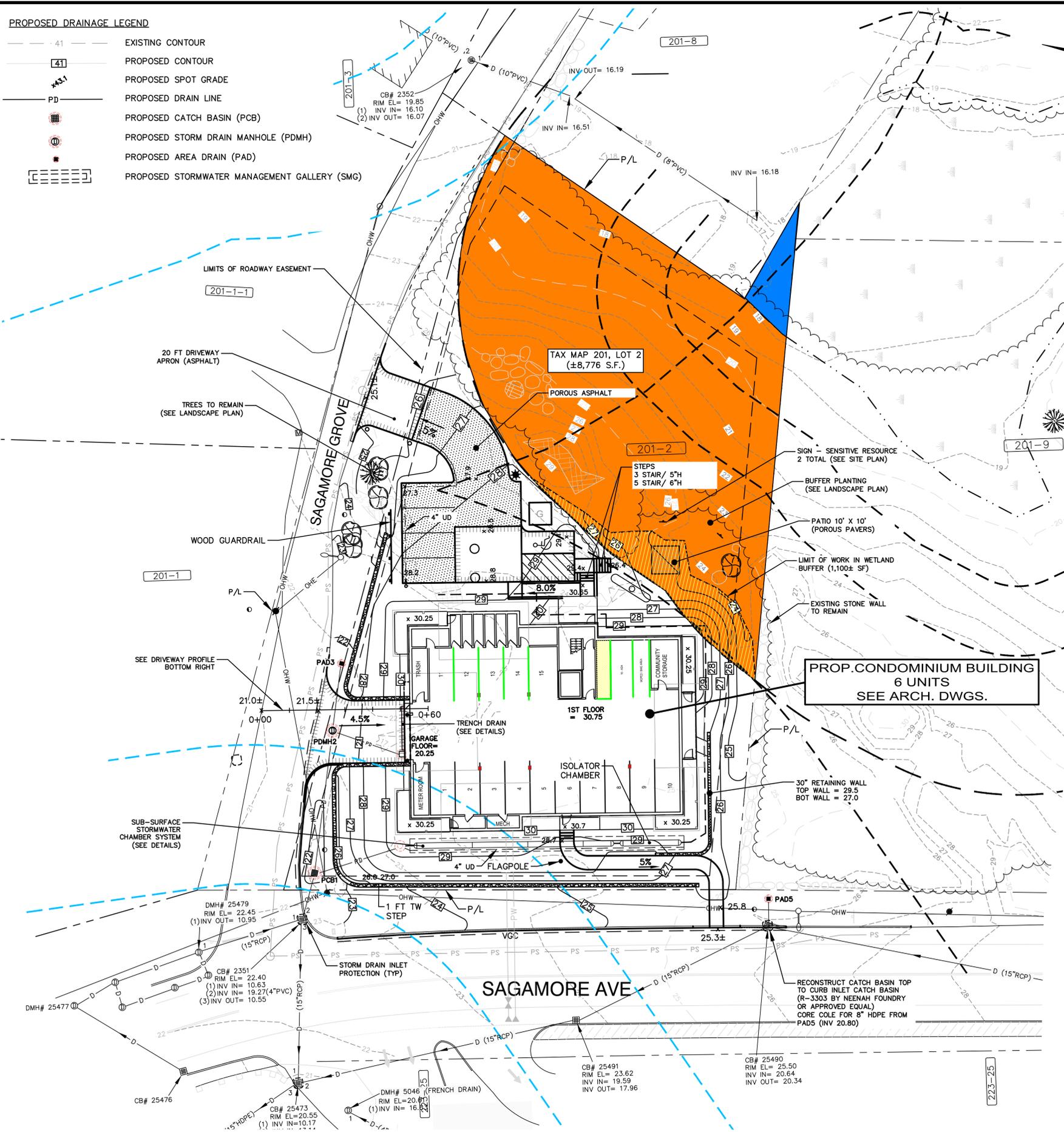
The Wright Choice
 For the Right SEPTIC Design

32 Route 156 Phone: 603-679-1455
 Nottingham, NH 03290 Fax: 603-679-6599
 thewrightchoice.pw@gmail.com Cell: 603-308-6562
 thewrightchoiceseptics.com



PROPOSED DRAINAGE LEGEND

- 41 EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED DRAIN LINE
- PROPOSED CATCH BASIN (PCB)
- PROPOSED STORM DRAIN MANHOLE (PDMH)
- PROPOSED AREA DRAIN (PAD)
- PROPOSED STORMWATER MANAGEMENT GALLERY (SMG)



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

ALTUS
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



WETLANDS IMPACT TABLE

| | |
|---|------------|
| DIRECT WETLANDS IMPACTS | = 0 SF |
| WETLANDS BUFFER IMPACTS | = 1,100 SF |
| EXISTING IMPERVIOUS AREA IN WETLANDS BUFFER | = 750 SF |
| PROPOSED IMPERVIOUS AREA IN WETLANDS BUFFER | = 0 SF |

NOT FOR CONSTRUCTION

ISSUED FOR: PLANNING BOARD

ISSUE DATE: DECEMBER 29, 2021

REVISIONS

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------|-----|----------|
| 0 | INITIAL SUBMITTAL | CDB | 11/02/21 |
| 1 | TAC WS COMMENTS | CDB | 11/22/21 |
| 2 | CC COMMENTS | CDB | 12/29/21 |

DRAWN BY: _____ CDB

APPROVED BY: _____ EDW

DRAWING FILE: 5079-SITE.dwg

SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

OWNER / APPLICANT:

SAGAMORE CORNER, LLC

273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:

PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT

960 SAGAMORE ROAD
PORTSMOUTH, NH 03801

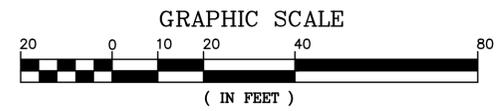
TAX MAP 201, LOT 2

TITLE:

WETLANDS
CONDITIONAL USE
PLAN

SHEET NUMBER:

CUP-1



PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

**960 Sagamore Avenue
Portsmouth, NH
Assessor's Parcel 201-02**

DRAINAGE REPORT

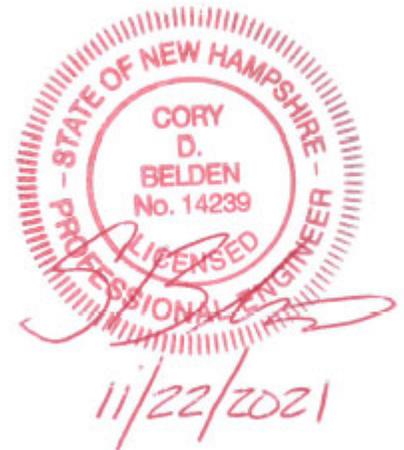
November 2021

Prepared for:

Sagamore Corner, LLC
273 Corporate Drive
Portsmouth, NH 03801

Prepared By:

ALTUS ENGINEERING, INC.
133 Court Street
Portsmouth, NH 03801
Phone: (603) 433-2335



**960 Sagamore Avenue
Portsmouth, NH
Assessor's Parcel 201-02**

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- 1) USGS Site Location Map
- 2) Project Narrative
- 3) FEMA Flood Map
- 4) Aerial Image
- 5) BMP Worksheets
- 6) Soil Data
 - Web Soil Survey
 - Ksat Soil Values
- 7) Drainage Analysis
 - Extreme Precipitation Tables
 - Pre-Development
 - Post Development
- 8) Inspection and Maintenance Manual (*Separate Attachment*)

Appendix: Plans: DA-1: Pre-Development Drainage Plan (11" x 17")
DA-2: Post-Development Drainage Plan (11" x 17")

Project Plans (22" x 34") (*project plans under separate attachment*)

960 Sagamore Avenue, Portsmouth, NH



Legend

- State
- County
- City/Town

Map Scale

1: 10,000

© NH GRANIT, www.granit.unh.edu

Map Generated: 11/15/2021



Notes



Drainage Report
960 Sagamore Avenue
Portsmouth, NH
Assessor's Parcel 201-02
Altus Project P5079

PROJECT DESCRIPTION

Sagamore Corner, LLC is proposing to re-develop the site located at 960 Sagamore Avenue (Assessor's Map 201, Lot 02) to construct a new multi-family building that will provide six (6) housing units. The property is currently the current home to the former Golden Egg restaurant, a single unit apartment, and a retail store. The Property is identified as Tax Map 201-Lot 2 and is approximately 42,930 square feet (sf) in size and is located in the City's Mixed Residential Business (MRB) zoning district.

The proposed project will demolish the existing buildings and ancillary site features, including the paved parking, gravel parking, and site utilities. The new 6-Unit residential building will be constructed completely outside of the 100 foot wetland buffer, that extends onto the lot. The existing site was constructed in 1970 (according to City assessor data), prior to stormwater regulations, and does not have stormwater treatment on site for the buildings, pavement, and gravel parking lot areas, which total approximately 25,000 square feet, including the paved parking in the Sagamore Avenue right of way. The front of the lot that contains the majority of the developed site drains to the municipal storm drain system in Sagamore Avenue and discharges to Sagamore Creek without treatment or retention. The rear portion of the lot drains to the wetland located in the southeast corner of the property. The proposed project will provide treatment through the use of a sub-surface chamber systems for the roof runoff and porous asphalt for the exterior parking area. The project will minimize site impervious area by constructing covered parking in the basement level of the building. The current site discharges approximately 2,400 square feet of untreated impervious (roof and gravel parking areas) to the wetlands in the rear of the property. The proposed project will remove all gravel parking lot areas draining to the wetlands and collect all of the roof runoff for retention and treatment before discharging to the front of the lot. The proposed project will reduce the total impervious area by over 8,400 sf (1,780 sf of porous pavement) compared to the existing conditions.

The site is located within the *Coastal and Great Bay Regional Communities*, so the rainfall precipitation results obtained from the Northeast Regional Climate Center (NRCC) have been increased by 15% for the hydrologic analysis. The stormwater management system proposed for the site will reduce peak flows and treat site runoff prior to discharging back to the storm drain systems.

Pre-Development (Existing Conditions)

The pre-development site conditions reflect the existing conditions of the site, which include the existing restaurant, apartment, retail store and associated paved and gravel parking areas. The current site primarily discharges to the municipal storm drain system in Sagamore Avenue through a catch basin located at corner of Sagamore Avenue and Sagamore Grove (CB #2351) identified as the Point of Analysis #1 (POA1) on the drainage area plans. The existing parking lot and majority of the existing building drain to the catch basin in this area as untreated sheet flow. Point of Analysis #2 (POA2) is the existing wetland in the rear of the property and includes portions of the roof and gravel parking lot that drain to the wetlands untreated, as well as the undeveloped wooded area in the buffer.

The Pre-Development analysis models the existing conditions for the two points of analysis. The points of analysis are the same for the pre and post development models for comparison of flows prior to construction and after the site is development as shown on the plans. The grades and elevations shown on the plans are based on the site survey completed by James Verra and Associates, dated November 22, 2021 and included in the plan set (3 sheets).

Post-Development (Proposed Site Design)

The Proposed development will construct a new six (6) unit building and a five (5) exterior stall visitor parking lot to serve the new building. Parking for the residents will be located on the garage level of the building. The existing paved parking lot along Sagamore Avenue will be removed and access will be provided from Sagamore Grove. This will eliminate the head-in parking from Sagamore Avenue. The visitor entrance will be from the visitor parking area and an ADA accessible stall and ramp will be provided. The majority of the new parking lot and driveway will be constructed with porous pavement to infiltrate the surface water from the lot and a sub-surface treatment system will be constructed to treat and manage the stormwater from the roof.

The proposed stormwater system is depicted on the Grading and Drainage Plan in the project plans and the attached Post-Development Drainage Plan. For the post development analysis, the site was divided into eight (8) watershed areas to depict the post-development conditions. The same points of analysis that were used in the Pre-Development model were used for comparison of the Pre and Post development conditions. The “Post-Development Drainage Plan” illustrates the proposed stormwater management system. Site topography, existing features, proposed site improvements, proposed grading, drainage and erosion control measures are shown on the accompanying plans. Recommended erosion control facilities are based on the “New Hampshire Stormwater Manual Volumes 1 through 3” prepared by NHDES and Comprehensive Environmental, Inc. as amended.

Drainage Analysis

A complete summary of the drainage model is included in the appendix of this report. The following table compares pre- and post-development peak rates at the two Points of Analysis identified on the plans for the 2, 10, 25, and 50 year storm events:

Stormwater Modeling Summary Peak Q (cfs) for Type III 24-Hour Storm Events

| *Rainfall Intensities reflect 15% Increase per AOT | 2-Yr Storm (4.12 inch) | 10-Yr Storm (5.60 inch) | 25-Yr Storm (8.20 inch) | 50-Yr Storm (9.91 inch) |
|---|-----------------------------------|------------------------------------|------------------------------------|------------------------------------|
| POA #1 | | | | |
| Pre | 0.70 | 1.35 | 2.65 | 3.56 |
| Post | 0.53 | 1.12 | 2.35 | 3.22 |
| Net Change | -0.17 (24.3%) | -0.23 (17.0%) | -0.30 (11.3%) | -0.34 (9.6%) |
| POA #2 | | | | |
| Pre | 3.09 | 4.40 | 6.67 | 8.14 |
| Post | 1.63 | 3.12 | 4.86 | 6.14 |
| Net Change | -1.46 (47.2%) | -1.28 (29.1%) | -1.81 (27.1%) | -2.00 (24.6%) |

As the above table demonstrates, the proposed peak rates of runoff will be reduced from the existing conditions for all of the analyzed storm events.

Effective Impervious Area

The existing lot is 42,930 square feet that consists of a restaurant, retail store, residential apartment unit, and associated driveways and parking. The existing site effective impervious area is all of the impervious areas on the lot, which total 23,000 square feet, or 53.6% of the lot (not including impervious in Sagamore Ave right of way). The proposed project will construct a new 6-Unit residential building and associated parking and walkways. The exterior parking lot will be reduced to five parking stalls and walkways will be added for access and emergency egress. The total impervious area will be reduced by over 6,000 sf. The proposed improvements will provide stormwater treatment to the new development area, which will reduced the effective impervious area to 6,250 sf (14.6%), a reduction of approximately 16,750 sf or (39% of the site).

CONCLUSION

The proposed six (6) unit residential development will not have an adverse effect on abutting properties and infrastructure as a result of stormwater runoff. The existing site was developed in the 1970's and has no designed stormwater treatment facilities. The proposed improvements will reduce the total impervious area by approximately 8,400 square feet and the effective impervious area will be reduced by 16,750 sf, which is a reduction of 39% (from 53.6% to 14.6%) compared to the existing conditions. The new development will provide stormwater treatment and retention to the new building, parking and walkways with the construction of a stormwater drainage system consisting of porous pavement and a subsurface chamber system. The analysis of the site utilized a 15% increase to the rainfall intensities for seacoast communities, as is recommended by NHDES and the peak runoff rates for the site will be reduced for the all analyzed storm events (2, 10, 25, and 50 year). Appropriate steps will be taken during construction to properly mitigate erosion and sedimentation through the use of Best Management Practices for sediment and erosion control.

CALCULATION METHODS

The project lies with the *Coastal and Great Bay Regional Communities* as identified in Section 6 – One-Stop AoT Screening Layers Results. As a result, the rainfall precipitation results obtained from the Northeast Regional Climate Center for the project site have been increased by 15% for the hydrologic analysis. The drainage study was completed using the USDA SCS TR-20 Method within the HydroCAD Stormwater Modeling System. Reservoir routing was performed with the Dynamic Storage Indication method which automates the calculation of Tailwater conditions. A Type III 24-hour rainfall distribution was utilized in analyzing the data for the 2, 10, 25, and 50 Year - 24-hour storm events using rainfall data provided by Northeast Regional Climate Center – Extreme Precipitation Tables.

Disclaimer

Altus Engineering, Inc. notes that stormwater modeling is limited in its capacity to precisely predict peak rates of runoff and flood elevations. Results should not be considered to represent actual storm events due to the number of variables and assumptions involved in the modeling effort. Surface roughness coefficients (n), entrance loss coefficients (ke), velocity factors (kv) and times of concentration (Tc) are based on subjective field observations and engineering judgment using available data. For design purposes, curve numbers (Cn) describe the average conditions. However, curve numbers will vary from storm to storm depending on the antecedent runoff conditions (ARC) including saturation and frozen ground. Also, higher water elevations than predicted by modeling could occur if drainage channels, closed drain systems or culverts are not maintained and/or become blocked by debris before and/or during a storm event as this will impact flow capacity of the structures. Structures should be re-evaluated if future changes occur within relevant drainage areas in order to assess any required design modifications.

National Flood Hazard Layer FIRMMette



70°45'11"W 43°3'27"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

| | | |
|----------------------------|--|--|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE) Zone A, V, A99 |
| | | With BFE or Depth Zone AE, AO, AH, VE, AR |
| | | Regulatory Floodway |

| | | |
|-----------------------------|--|---|
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
| | | Future Conditions 1% Annual Chance Flood Hazard Zone X |
| | | Area with Reduced Flood Risk due to Levee. See Notes. Zone X |
| | | Area with Flood Risk due to Levee Zone D |

| | | |
|-------------|--|---|
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard Zone X |
| | | Effective LOMRs |
| | | Area of Undetermined Flood Hazard Zone D |

| | | |
|--------------------|--|----------------------------------|
| GENERAL STRUCTURES | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |

| | | |
|----------------|--|---|
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance |
| | | 17.5 Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |

| | | |
|------------|--|---------------------------|
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **11/17/2021 at 7:03 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

960 Sagamore Avenue

Portsmouth, NH

Legend



Google Earth



200 ft



FILTRATION PRACTICE DESIGN CRITERIA (Env-Wq 1508.07)

Type/Node Name: Storm Water Gallery A

Enter the type of filtration practice (e.g., bioretention system) and the node name in the drainage analysis, if applicable

| | | | |
|---------|----------|--|------------|
| Yes | | Have you reviewed the restrictions on unlined systems outlined in Env-Wq 1508.07(a)? | |
| 0.18 | ac | A = Area draining to the practice | |
| 0.18 | ac | A _I = Impervious area draining to the practice | |
| 1.00 | decimal | I = percent impervious area draining to the practice, in decimal form | |
| 0.95 | unitless | R _v = Runoff coefficient = 0.05 + (0.9 x I) | |
| 0.17 | ac-in | WQV = 1" x R _v x A | |
| 621 | cf | WQV conversion (ac-in x 43,560 sf/ac x 1ft/12") | |
| 155 | cf | 25% x WQV (check calc for sediment forebay volume) | |
| 466 | cf | 75% x WQV (check calc for surface sand filter volume) | |
| | roof | Method of Pretreatment? (not required for clean or roof runoff) | |
| N/A | cf | V _{SED} = sediment forebay volume, if used for pretreatment | ← ≥ 25%WQV |
| 500 | sf | A _{SA} = surface area of the practice | |
| 1.00 | iph | K _{sat} DESIGN = design infiltration rate ¹ | |
| Yes | Yes/No | If K _{sat} (prior to factor of safety) is < 0.50 iph, has an underdrain been provided? | |
| 14.9 | hours | T _{DRAIN} = drain time = V / (A _{SA} * I _{DESIGN}) | ← ≤ 72-hrs |
| | feet | E _{FC} = elevation of the bottom of the filter course material ² | |
| 23.75 | feet | E _{UD} = invert elevation of the underdrain (UD), if applicable | |
| - | feet | E _{SHWT} = elevation of SHWT (if none found, enter the lowest elevation of the test pit) | |
| - | feet | E _{ROCK} = elevation of bedrock (if none found, enter the lowest elevation of the test pit) | |
| (23.75) | feet | D _{FC to UD} = depth to UD from the bottom of the filter course | ← ≥ 1' |
| - | feet | D _{FC to ROCK} = depth to bedrock from the bottom of the filter course | ← ≥ 1' |
| - | feet | D _{FC to SHWT} = depth to SHWT from the bottom of the filter course | ← ≥ 1' |
| 26.30 | ft | Peak elevation of the 50-year storm event (infiltration can be used in analysis) | |
| 27.00 | ft | Elevation of the top of the practice | |
| YES | | 50 peak elevation ≤ Elevation of the top of the practice | ← yes |

If a surface sand filter or underground sand filter is proposed:

| | | | |
|--------|--------|--|-----------------------------|
| YES | ac | Drainage Area check. | ← < 10 ac |
| | cf | V = volume of storage ³ (attach a stage-storage table) | ← ≥ 75%WQV |
| | inches | D _{FC} = filter course thickness | ← 18", or 24" if within GPA |
| Sheet | | Note what sheet in the plan set contains the filter course specification | |
| Yes/No | | Access grate provided? | ← yes |

Stage-Area-Storage for Pond 10P: Stormwater Gallery A

| Elevation (feet) | Storage (cubic-feet) | Elevation (feet) | Storage (cubic-feet) | Elevation (feet) | Storage (cubic-feet) |
|---------------------|-------------------------|---------------------|-------------------------|---------------------|-------------------------|
| 24.00 | 0 | 25.06 | 251 | 26.12 | 571 |
| 24.02 | 4 | 25.08 | 257 | 26.14 | 577 |
| 24.04 | 8 | 25.10 | 263 | 26.16 | 583 |
| 24.06 | 12 | 25.12 | 269 | 26.18 | 588 |
| 24.08 | 16 | 25.14 | 275 | 26.20 | 594 |
| 24.10 | 20 | 25.16 | 281 | 26.22 | 599 |
| 24.12 | 24 | 25.18 | 287 | 26.24 | 605 |
| 24.14 | 28 | 25.20 | 293 | 26.26 | 610 |
| 24.16 | 32 | 25.22 | 299 | 26.28 | 615 |
| 24.18 | 36 | 25.24 | 305 | 26.30 | 621 |
| 24.20 | 40 | 25.26 | 311 | 26.32 | 626 |
| 24.22 | 44 | 25.28 | 317 | 26.34 | 631 |
| 24.24 | 48 | 25.30 | 323 | 26.36 | 636 |
| 24.26 | 52 | 25.32 | 329 | 26.38 | 641 |
| 24.28 | 56 | 25.34 | 336 | 26.40 | 646 |
| 24.30 | 60 | 25.36 | 342 | 26.42 | 651 |
| 24.32 | 64 | 25.38 | 348 | 26.44 | 656 |
| 24.34 | 68 | 25.40 | 354 | 26.46 | 661 |
| 24.36 | 72 | 25.42 | 360 | 26.48 | 665 |
| 24.38 | 76 | 25.44 | 366 | 26.50 | 670 |
| 24.40 | 80 | 25.46 | 373 | 26.52 | 674 |
| 24.42 | 84 | 25.48 | 379 | 26.54 | 678 |
| 24.44 | 88 | 25.50 | 385 | 26.56 | 682 |
| 24.46 | 92 | 25.52 | 391 | 26.58 | 686 |
| 24.48 | 96 | 25.54 | 397 | 26.60 | 690 |
| 24.50 | 100 | 25.56 | 403 | 26.62 | 694 |
| 24.52 | 104 | 25.58 | 409 | 26.64 | 698 |
| 24.54 | 109 | 25.60 | 416 | 26.66 | 702 |
| 24.56 | 113 | 25.62 | 422 | 26.68 | 706 |
| 24.58 | 118 | 25.64 | 428 | 26.70 | 710 |
| 24.60 | 123 | 25.66 | 434 | 26.72 | 714 |
| 24.62 | 128 | 25.68 | 440 | 26.74 | 718 |
| 24.64 | 133 | 25.70 | 446 | 26.76 | 722 |
| 24.66 | 138 | 25.72 | 452 | 26.78 | 726 |
| 24.68 | 144 | 25.74 | 458 | 26.80 | 730 |
| 24.70 | 149 | 25.76 | 465 | 26.82 | 734 |
| 24.72 | 154 | 25.78 | 471 | 26.84 | 738 |
| 24.74 | 160 | 25.80 | 477 | 26.86 | 742 |
| 24.76 | 165 | 25.82 | 483 | 26.88 | 746 |
| 24.78 | 170 | 25.84 | 489 | 26.90 | 750 |
| 24.80 | 176 | 25.86 | 495 | 26.92 | 754 |
| 24.82 | 182 | 25.88 | 501 | 26.94 | 758 |
| 24.84 | 187 | 25.90 | 507 | 26.96 | 762 |
| 24.86 | 193 | 25.92 | 513 | 26.98 | 766 |
| 24.88 | 198 | 25.94 | 519 | 27.00 | 770 |
| 24.90 | 204 | 25.96 | 525 | | |
| 24.92 | 210 | 25.98 | 531 | | |
| 24.94 | 216 | 26.00 | 536 | | |
| 24.96 | 221 | 26.02 | 542 | | |
| 24.98 | 227 | 26.04 | 548 | | |
| 25.00 | 233 | 26.06 | 554 | | |
| 25.02 | 239 | 26.08 | 560 | | |
| 25.04 | 245 | 26.10 | 565 | | |



United States
Department of
Agriculture

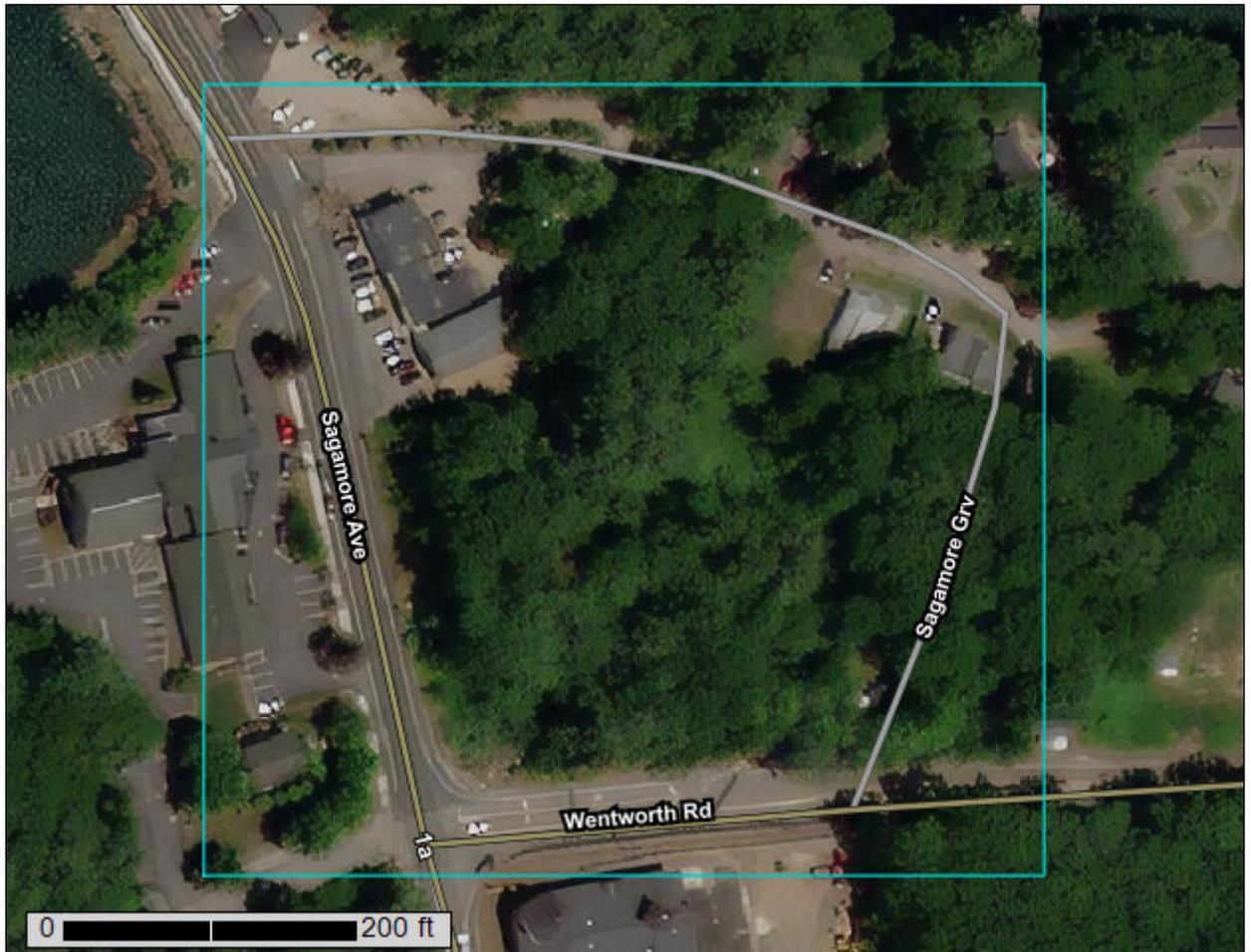
NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Rockingham County, New Hampshire

Sagamore Rd., Portsmouth, Tax
Map 2, Lot 2



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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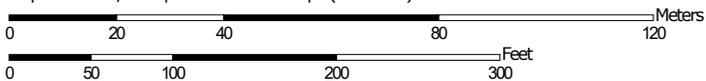
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Map Scale: 1:1,400 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

 Blowout

 Borrow Pit

 Clay Spot

 Closed Depression

 Gravel Pit

 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water

 Perennial Water

 Rock Outcrop

 Saline Spot

 Sandy Spot

 Severely Eroded Spot

 Sinkhole

 Slide or Slip

 Sodic Spot

 Spoil Area

 Stony Spot

 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

Water Features

 Streams and Canals

Transportation

 Rails

 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Rockingham County, New Hampshire
 Survey Area Data: Version 24, Aug 31, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Jun 14, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

| Map Unit Symbol | Map Unit Name | Acres in AOI | Percent of AOI |
|------------------------------------|---|--------------|----------------|
| 140B | Chatfield-Hollis-Canton complex, 0 to 8 percent slopes, rocky | 4.7 | 66.1% |
| 699 | Urban land | 2.4 | 33.9% |
| Totals for Area of Interest | | 7.2 | 100.0% |

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however,

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onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Rockingham County, New Hampshire

140B—Chatfield-Hollis-Canton complex, 0 to 8 percent slopes, rocky

Map Unit Setting

National map unit symbol: 2w82m
Elevation: 380 to 1,070 feet
Mean annual precipitation: 36 to 71 inches
Mean annual air temperature: 39 to 55 degrees F
Frost-free period: 145 to 240 days
Farmland classification: Not prime farmland

Map Unit Composition

Chatfield, very stony, and similar soils: 35 percent
Hollis, very stony, and similar soils: 25 percent
Canton, very stony, and similar soils: 25 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Chatfield, Very Stony

Setting

Landform: Ridges, hills
Landform position (two-dimensional): Summit, shoulder, backslope
Landform position (three-dimensional): Nose slope, side slope, crest
Down-slope shape: Convex
Across-slope shape: Linear, convex
Parent material: Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

Typical profile

O_i - 0 to 1 inches: slightly decomposed plant material
A - 1 to 2 inches: fine sandy loam
B_w - 2 to 30 inches: gravelly fine sandy loam
2R - 30 to 40 inches: bedrock

Properties and qualities

Slope: 0 to 8 percent
Surface area covered with cobbles, stones or boulders: 1.6 percent
Depth to restrictive feature: 20 to 41 inches to lithic bedrock
Drainage class: Well drained
Runoff class: High
Capacity of the most limiting layer to transmit water (K_{sat}): Very low (0.00 to 0.00 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)
Available water supply, 0 to 60 inches: Low (about 4.3 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 6s
Hydrologic Soil Group: B
Ecological site: F144AY034CT - Well Drained Till Uplands

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Hydric soil rating: No

Description of Hollis, Very Stony

Setting

Landform: Ridges, hills

Landform position (two-dimensional): Summit, shoulder, backslope

Landform position (three-dimensional): Nose slope, side slope, crest

Down-slope shape: Convex

Across-slope shape: Linear, convex

Parent material: Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

Typical profile

Oi - 0 to 2 inches: slightly decomposed plant material

A - 2 to 7 inches: gravelly fine sandy loam

Bw - 7 to 16 inches: gravelly fine sandy loam

2R - 16 to 26 inches: bedrock

Properties and qualities

Slope: 0 to 8 percent

Surface area covered with cobbles, stones or boulders: 1.6 percent

Depth to restrictive feature: 8 to 23 inches to lithic bedrock

Drainage class: Somewhat excessively drained

Runoff class: Very high

Capacity of the most limiting layer to transmit water (Ksat): Very low (0.00 to 0.00 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)

Available water supply, 0 to 60 inches: Very low (about 2.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 6s

Hydrologic Soil Group: D

Ecological site: F144AY033MA - Shallow Dry Till Uplands

Hydric soil rating: No

Description of Canton, Very Stony

Setting

Landform: Moraines, hills, ridges

Landform position (two-dimensional): Summit, shoulder, backslope

Landform position (three-dimensional): Nose slope, side slope, crest

Down-slope shape: Convex, linear

Across-slope shape: Convex

Parent material: Coarse-loamy over sandy melt-out till derived from gneiss, granite, and/or schist

Typical profile

Oi - 0 to 2 inches: slightly decomposed plant material

A - 2 to 5 inches: fine sandy loam

Bw1 - 5 to 16 inches: fine sandy loam

Bw2 - 16 to 22 inches: gravelly fine sandy loam

2C - 22 to 67 inches: gravelly loamy sand

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Properties and qualities

Slope: 0 to 8 percent

Surface area covered with cobbles, stones or boulders: 1.6 percent

Depth to restrictive feature: 19 to 39 inches to strongly contrasting textural stratification

Drainage class: Well drained

Runoff class: Low

Capacity of the most limiting layer to transmit water (Ksat): Moderately low to high (0.14 to 14.17 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)

Available water supply, 0 to 60 inches: Low (about 3.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 6s

Hydrologic Soil Group: B

Ecological site: F144AY034CT - Well Drained Till Uplands

Hydric soil rating: No

Minor Components

Newfields, very stony

Percent of map unit: 5 percent

Landform: Ground moraines, hills, moraines

Landform position (two-dimensional): Footslope

Landform position (three-dimensional): Base slope

Down-slope shape: Linear

Across-slope shape: Concave

Hydric soil rating: No

Freetown

Percent of map unit: 5 percent

Landform: Marshes, depressions, bogs, kettles, swamps

Down-slope shape: Concave

Across-slope shape: Concave

Hydric soil rating: Yes

Walpole, very stony

Percent of map unit: 3 percent

Landform: Deltas, depressions, outwash plains, depressions, outwash terraces

Landform position (three-dimensional): Tread

Down-slope shape: Concave

Across-slope shape: Concave

Hydric soil rating: Yes

Rock outcrop

Percent of map unit: 2 percent

Landform: Ridges, hills

Hydric soil rating: Unranked

699—Urban land

Map Unit Composition

Urban land: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Minor Components

Not named

Percent of map unit: 15 percent

Hydric soil rating: No

Extreme Precipitation Tables

Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

| | |
|-----------|---------------------------------|
| Smoothing | Yes |
| State | |
| Location | |
| Longitude | 70.748 degrees West |
| Latitude | 43.054 degrees North |
| Elevation | 0 feet |
| Date/Time | Tue, 09 Nov 2021 08:45:44 -0500 |

Extreme Precipitation Estimates

add
15%

| | 5min | 10min | 15min | 30min | 60min | 120min | | 1hr | 2hr | 3hr | 6hr | 12hr | 24hr | 48hr | | 1day | 2day | 4day | 7day | 10day | |
|-------|------|-------|-------|-------|-------|--------|-------|------|------|------|------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| 1yr | 0.26 | 0.40 | 0.50 | 0.65 | 0.82 | 1.04 | 1yr | 0.70 | 0.98 | 1.21 | 1.56 | 2.03 | 2.67 | 2.94 | 3.38 | 2.36 | 2.82 | 3.24 | 3.96 | 4.57 | 1yr |
| 2yr | 0.32 | 0.50 | 0.62 | 0.82 | 1.03 | 1.30 | 2yr | 0.89 | 1.18 | 1.52 | 1.94 | 2.49 | 3.22 | 3.58 | 4.12 | 2.85 | 3.45 | 3.95 | 4.70 | 5.35 | 2yr |
| 5yr | 0.37 | 0.58 | 0.73 | 0.98 | 1.25 | 1.61 | 5yr | 1.08 | 1.47 | 1.89 | 2.44 | 3.15 | 4.08 | 4.60 | 5.29 | 3.61 | 4.42 | 5.07 | 5.96 | 6.73 | 5yr |
| 10yr | 0.41 | 0.65 | 0.82 | 1.12 | 1.46 | 1.90 | 10yr | 1.26 | 1.73 | 2.24 | 2.91 | 3.76 | 4.88 | 5.55 | 6.60 | 4.32 | 5.34 | 6.12 | 7.14 | 8.01 | 10yr |
| 25yr | 0.48 | 0.77 | 0.97 | 1.34 | 1.78 | 2.35 | 25yr | 1.54 | 2.15 | 2.79 | 3.65 | 4.76 | 6.19 | 7.13 | 8.20 | 5.48 | 6.85 | 7.85 | 9.07 | 10.09 | 25yr |
| 50yr | 0.54 | 0.87 | 1.11 | 1.55 | 2.09 | 2.78 | 50yr | 1.80 | 2.54 | 3.31 | 4.35 | 5.69 | 7.42 | 8.62 | 9.91 | 6.56 | 8.29 | 9.48 | 10.87 | 12.02 | 50yr |
| 100yr | 0.60 | 0.97 | 1.26 | 1.79 | 2.44 | 3.28 | 100yr | 2.10 | 3.00 | 3.93 | 5.19 | 6.80 | 8.88 | 10.42 | 11.98 | 7.86 | 10.02 | 11.46 | 13.03 | 14.33 | 100yr |
| 200yr | 0.68 | 1.11 | 1.44 | 2.07 | 2.85 | 3.87 | 200yr | 2.46 | 3.54 | 4.65 | 6.17 | 8.12 | 10.65 | 12.60 | | 9.42 | 12.11 | 13.85 | 15.63 | 17.08 | 200yr |
| 500yr | 0.81 | 1.33 | 1.73 | 2.51 | 3.52 | 4.81 | 500yr | 3.03 | 4.42 | 5.82 | 7.76 | 10.28 | 13.53 | 16.20 | | 11.97 | 15.58 | 17.81 | 19.89 | 21.57 | 500yr |

Lower Confidence Limits

| | 5min | 10min | 15min | 30min | 60min | 120min | | 1hr | 2hr | 3hr | 6hr | 12hr | 24hr | 48hr | | 1day | 2day | 4day | 7day | 10day | |
|-------|------|-------|-------|-------|-------|--------|-------|------|------|------|------|------|------|-------|-------|------|-------|-------|-------|-------|-------|
| 1yr | 0.23 | 0.36 | 0.44 | 0.59 | 0.72 | 0.88 | 1yr | 0.62 | 0.86 | 0.93 | 1.34 | 1.69 | 2.26 | 2.50 | 1yr | 2.00 | 2.41 | 2.88 | 3.21 | 3.94 | 1yr |
| 2yr | 0.31 | 0.49 | 0.60 | 0.81 | 1.00 | 1.19 | 2yr | 0.86 | 1.16 | 1.37 | 1.81 | 2.33 | 3.07 | 3.47 | 2yr | 2.72 | 3.33 | 3.84 | 4.56 | 5.11 | 2yr |
| 5yr | 0.35 | 0.54 | 0.67 | 0.92 | 1.17 | 1.40 | 5yr | 1.01 | 1.37 | 1.61 | 2.11 | 2.72 | 3.80 | 4.20 | 5yr | 3.36 | 4.04 | 4.74 | 5.56 | 6.26 | 5yr |
| 10yr | 0.39 | 0.59 | 0.74 | 1.03 | 1.33 | 1.60 | 10yr | 1.15 | 1.57 | 1.80 | 2.38 | 3.05 | 4.38 | 4.88 | 10yr | 3.88 | 4.69 | 5.47 | 6.44 | 7.22 | 10yr |
| 25yr | 0.44 | 0.67 | 0.83 | 1.19 | 1.56 | 1.90 | 25yr | 1.35 | 1.86 | 2.10 | 2.74 | 3.52 | 4.78 | 5.91 | 25yr | 4.23 | 5.68 | 6.69 | 7.83 | 8.72 | 25yr |
| 50yr | 0.48 | 0.73 | 0.91 | 1.31 | 1.77 | 2.17 | 50yr | 1.53 | 2.12 | 2.35 | 3.05 | 3.91 | 5.41 | 6.82 | 50yr | 4.79 | 6.56 | 7.77 | 9.10 | 10.06 | 50yr |
| 100yr | 0.54 | 0.81 | 1.02 | 1.47 | 2.02 | 2.47 | 100yr | 1.74 | 2.41 | 2.63 | 3.39 | 4.31 | 6.10 | 7.87 | 100yr | 5.40 | 7.57 | 9.04 | 10.58 | 11.63 | 100yr |
| 200yr | 0.59 | 0.89 | 1.13 | 1.64 | 2.28 | 2.81 | 200yr | 1.97 | 2.75 | 2.94 | 3.74 | 4.74 | 6.86 | 9.09 | 200yr | 6.07 | 8.74 | 10.50 | 12.32 | 13.45 | 200yr |
| 500yr | 0.69 | 1.02 | 1.31 | 1.91 | 2.72 | 3.36 | 500yr | 2.34 | 3.29 | 3.42 | 4.26 | 5.39 | 8.01 | 10.98 | 500yr | 7.09 | 10.56 | 12.80 | 15.09 | 16.30 | 500yr |

Upper Confidence Limits

| | 5min | 10min | 15min | 30min | 60min | 120min | | 1hr | 2hr | 3hr | 6hr | 12hr | 24hr | 48hr | | 1day | 2day | 4day | 7day | 10day | |
|-------|------|-------|-------|-------|-------|--------|-------|------|------|------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| 1yr | 0.29 | 0.44 | 0.54 | 0.72 | 0.89 | 1.09 | 1yr | 0.77 | 1.06 | 1.26 | 1.74 | 2.20 | 2.98 | 3.18 | 1yr | 2.64 | 3.06 | 3.59 | 4.38 | 5.05 | 1yr |
| 2yr | 0.34 | 0.52 | 0.64 | 0.87 | 1.07 | 1.27 | 2yr | 0.92 | 1.24 | 1.48 | 1.96 | 2.52 | 3.43 | 3.72 | 2yr | 3.03 | 3.58 | 4.11 | 4.86 | 5.64 | 2yr |
| 5yr | 0.40 | 0.62 | 0.77 | 1.05 | 1.34 | 1.63 | 5yr | 1.16 | 1.59 | 1.89 | 2.54 | 3.26 | 4.36 | 4.98 | 5yr | 3.85 | 4.79 | 5.40 | 6.40 | 7.18 | 5yr |
| 10yr | 0.47 | 0.72 | 0.89 | 1.25 | 1.62 | 1.99 | 10yr | 1.39 | 1.94 | 2.29 | 3.11 | 3.97 | 5.36 | 6.23 | 10yr | 4.74 | 5.99 | 6.85 | 7.87 | 8.79 | 10yr |
| 25yr | 0.58 | 0.88 | 1.10 | 1.57 | 2.06 | 2.59 | 25yr | 1.78 | 2.53 | 2.97 | 4.08 | 5.18 | 7.75 | 8.38 | 25yr | 6.86 | 8.05 | 9.20 | 10.38 | 11.45 | 25yr |
| 50yr | 0.68 | 1.03 | 1.28 | 1.84 | 2.48 | 3.15 | 50yr | 2.14 | 3.08 | 3.61 | 5.02 | 6.36 | 9.69 | 10.50 | 50yr | 8.57 | 10.10 | 11.51 | 12.78 | 14.01 | 50yr |
| 100yr | 0.80 | 1.20 | 1.51 | 2.18 | 2.99 | 3.84 | 100yr | 2.58 | 3.76 | 4.40 | 6.19 | 7.83 | 12.11 | 13.16 | 100yr | 10.71 | 12.65 | 14.40 | 15.76 | 17.15 | 100yr |
| 200yr | 0.93 | 1.41 | 1.78 | 2.58 | 3.60 | 4.70 | 200yr | 3.10 | 4.59 | 5.37 | 7.63 | 9.63 | 15.17 | 16.51 | 200yr | 13.43 | 15.87 | 18.04 | 19.43 | 20.98 | 200yr |
| 500yr | 1.16 | 1.73 | 2.22 | 3.23 | 4.59 | 6.11 | 500yr | 3.96 | 5.97 | 6.97 | 10.10 | 12.71 | 20.46 | 22.28 | 500yr | 18.11 | 21.43 | 24.31 | 25.62 | 27.41 | 500yr |

| Soil Series | legend number | Ksat low - B in/hr | Ksat high - B in/hr | Ksat low - C in/hr | Ksat high - C in/hr | Hyd. Grp. | Group | Land Form | Temp. | Soil Textures | Spodosol ? | Other |
|---------------------------|----------------|-----------------------|------------------------|-----------------------|------------------------|--------------|--------------|---|-------------------|---------------------------------|---------------|------------------------------|
| Abenaki | 501 | 0.6 | 2.0 | 6.00 | 99.0 | B | 2 | Outwash and Stream Terraces | frigid | loamy over sandy-skeletal | no | loamy over gravelly |
| Acton | 146 | 2.0 | 20.0 | 2.00 | 20.0 | B | 3 | Loose till, sandy textures | mesic | sandy-skeletal | no | cobbly loamy sand |
| Adams | 36 | 6.0 | 20.0 | 20.00 | 99.0 | A | 1 | Outwash and Stream Terraces | frigid | sandy | yes | |
| Agawam | 24 | 6.0 | 20.0 | 20.00 | 100.0 | B | 2 | Outwash and Stream Terraces | mesic | loamy over sandy | no | loamy over sand/gravel |
| Allagash | 127 | 0.6 | 2.0 | 6.00 | 20.0 | B | 2 | Outwash and Stream Terraces | frigid | loamy over sandy | yes | loamy over sandy |
| Au Gres | 516 | | | | | B | 5 | Outwash and Stream Terraces | frigid | sandy | yes | single grain, loose |
| Bangor | 572 | 0.6 | 2.0 | 0.60 | 2.0 | B | 2 | Friable till, silty, schist & phyllite | frigid | loamy | yes | silt loam |
| Becket | 56 | 0.6 | 2.0 | 0.06 | 0.6 | C | 3 | Firm, platy, sandy till | frigid | loamy | yes | gravelly sandy loam in Cd |
| Belgrade | 532 | 0.6 | 2.0 | 0.06 | 2.0 | B | 3 | Terraces and glacial lake plains | mesic | silty | no | strata of fine sand |
| Bemis | 224 | 0.6 | 0.2 | 0.00 | 0.2 | C | 5 | Firm, platy, loamy till | cryic | loamy | no | |
| Berkshire | 72 | 0.6 | 6.0 | 0.60 | 6.0 | B | 2 | Loose till, loamy textures | frigid | loamy | yes | fine sandy loam |
| Bernardston | 330 | 0.6 | 2.0 | 0.06 | 0.2 | C | 3 | Firm, platy, silty till, schist & phyllite | mesic | loamy | no | channery silt loam in Cd |
| Bice | 226 | 0.6 | 6.0 | 0.60 | 6.0 | B | 2 | Loose till, loamy textures | frigid | loamy | no | sandy loam |
| Biddeford | 234 | 0.0 | 0.2 | 0.00 | 0.2 | D | 6 | Silt and Clay Deposits | frigid | fine | no | organic over clay |
| Binghamville | 534 | 0.2 | 2.0 | 0.06 | 0.2 | D | 5 | Terraces and glacial lake plains | mesic | silty | no | |
| Boscawen | 220 | 6.0 | 20.0 | 20.00 | 100.0 | A | 1 | Outwash and Stream Terraces | frigid | sandy-skeletal | no | loamy cap |
| Boxford | 32 | 0.1 | 0.2 | 0.00 | 0.2 | C | 3 | Silt and Clay Deposits | mesic | fine | no | silty clay loam |
| Brayton | 240 | 0.6 | 2.0 | 0.06 | 0.6 | C | 5 | Firm, platy, silty till, schist & phyllite | frigid | loamy | no | |
| Buckland | 237 | 0.6 | 2.0 | 0.06 | 0.2 | C | 3 | Firm, platy, loamy till | frigid | loamy | no | loam in Cd |
| Bucksport | 895 | | | | | D | 6 | Organic Materials - Freshwater | frigid | sapric | no | deep organic |
| Burnham | 131 | 0.2 | 6.0 | 0.02 | 0.2 | D | 6 | Firm, platy, silty till, schist & phyllite | frigid | loamy | no | organic over silt |
| Buxton | 232 | 0.1 | 0.6 | 0.00 | 0.2 | C | 3 | Silt and Clay Deposits | frigid | fine | no | silty clay |
| Cabot | 589 | 0.6 | 2.0 | 0.06 | 0.2 | D | 5 | Firm, platy, silty till, schist & phyllite | frigid | loamy | no | |
| Caesar | 526 | 20.0 | 100.0 | 20.00 | 100.0 | A | 1 | Outwash and Stream Terraces | mesic | coarse sand | no | |
| Canaan | 663 | 2.0 | 20.0 | 2.00 | 20.0 | C | 4 | Weathered Bedrock Till | frigid | loamy-skeletal | yes | less than 20 in. deep |
| Cantebury | 466 | 0.6 | 2.0 | 0.06 | 0.6 | C | 3 | Firm, platy, loamy till | frigid | loamy | no | loam in Cd |
| Canton | 42 | 2.0 | 6.0 | 6.00 | 20.0 | B | 2 | Loose till, sandy textures | mesic | loamy over sandy | no | loamy over loamy sand |
| Cardigan | 367 | 0.6 | 2.0 | 0.60 | 2.0 | B | 4 | Friable till, silty, schist & phyllite | mesic | loamy | no | 20 to 40 in. deep |
| Catden | 296 | | | | | A/D | 6 | Organic Materials - Freshwater | mesic | sapric | no | deep organic |
| Champlain | 35 | 6.0 | 20.0 | 20.00 | 100.0 | A | 1 | Outwash and Stream Terraces | frigid | gravelly sand | no | |
| Charles | 209 | 0.6 | 100.0 | 0.60 | 100.0 | C | 5 | Flood Plain (Bottom Land) | frigid | silty | no | |
| Charlton | 62 | 0.6 | 6.0 | 0.60 | 6.0 | B | 2 | Loose till, loamy textures | mesic | loamy | no | fine sandy loam |
| Chatfield | 89 | 0.6 | 6.0 | 0.60 | 6.0 | B | 4 | Loose till, bedrock | mesic | loamy | no | 20 to 40 in. deep |
| Chatfield var. | 209 | 0.6 | 6.0 | 0.60 | 6.0 | B | 3 | Loose till, bedrock | mesic | loamy | no | mwd to swpd |
| Chesuncook | 126 | 0.6 | 2.0 | 0.02 | 0.2 | C | 3 | Firm, platy, silty till, schist & phyllite | frigid | loamy | yes | channery silt loam in Cd |
| Chichester | 442 | 0.6 | 2.0 | 2.00 | 6.0 | B | | Loose till, sandy textures | frigid | loamy over sandy | no | loamy over loamy sand |
| Chocorua | 395 | | | 6.00 | 20.0 | D | 6 | Organic Materials - Freshwater | frigid | sandy or sandy-skeletal | no | organic over sand |
| Cohas | 505 | 0.6 | 2.0 | 0.60 | 100.0 | C | 5 | Flood Plain (Bottom Land) | frigid | co. loamy over sandy (skeletal) | no | |
| Colonel | 927 | 0.6 | 2.0 | 0.06 | 0.6 | C | 3 | Firm, platy, loamy till | frigid | loamy | yes | loam in Cd |
| Colton | 22 | 6.0 | 20.0 | 20.00 | 100.0 | A | 1 | Outwash and Stream Terraces | frigid | sandy-skeletal | yes | |
| Colton, gravelly | 21 | 6.0 | 20.0 | 20.00 | 100.0 | A | 1 | Outwash and Stream Terraces | frigid | sandy-skeletal | yes | gravelly surface |
| Croghan | 613 | 20.0 | 100.0 | 20.00 | 100.0 | B | 3 | Outwash and Stream Terraces | frigid | sandy | yes | single grain in C |
| Dartmouth | 132 | 0.6 | 2.0 | 0.06 | 0.6 | B | 3 | Terraces and glacial lake plains | mesic | silty | no | thin strata silty clay loam |
| Deerfield | 313 | 6.0 | 20.0 | 20.00 | 100.0 | B | 3 | Outwash and Stream Terraces | mesic | sandy | no | single grain in C |
| Dixfield | 378 | 0.6 | 2.0 | 0.06 | 0.6 | C | 3 | Firm, platy, loamy till | frigid | loamy | yes | fine sandy loam in Cd |
| Dixmont | 578 | 0.6 | 2.0 | 0.60 | 2.0 | C | 3 | Friable till, silty, schist & phyllite | frigid | loamy | yes | silt loam, platy in C |
| Duane | 413 | 6.0 | 20.0 | 6.00 | 20.0 | B | 3 | Outwash and Stream Terraces | frigid | sandy-skeletal | yes | cemented (ortstein) |
| Dutchess | 366 | 0.6 | 2.0 | 0.60 | 2.0 | B | 2 | Friable till, silty, schist & phyllite | mesic | loamy | no | very channery |
| Eldridge | 38 | 6.0 | 20.0 | 0.06 | 0.6 | C | 3 | Sandy/loamy over silt/clay | mesic | sandy over loamy | no | |
| Elliottsville | 128 | 0.6 | 2.0 | 0.60 | 2.0 | B | 4 | Friable till, silty, schist & phyllite | frigid | loamy | yes | 20 to 40 in. deep |
| Elmridge | 238 | 2.0 | 6.0 | 0.00 | 0.2 | C | 3 | Sandy/loamy over silt/clay | mesic | loamy over clayey | no | |
| Elmwood | 338 | 2.0 | 6.0 | 0.00 | 0.2 | C | 3 | Sandy/loamy over silt/clay | frigid | loamy over clayey | no | |
| Finch | 116 | | | | | C | 3 | Outwash and Stream Terraces | frigid | sandy | yes | cemented (ortstein) |

| Soil Series | legend number | Ksat low - B in/hr | Ksat high - B in/hr | Ksat low - C in/hr | Ksat high - C in/hr | Hyd. Grp. | Group | Land Form | Temp. | Soil Textures | Spodosol ? | Other |
|------------------|---------------|-----------------------|------------------------|-----------------------|------------------------|-----------|-------|--|--------|----------------------------------|------------|----------------------------------|
| Fryeburg | 208 | 0.6 | 2.0 | 2.00 | 6.0 | B | 2 | Flood Plain (Bottom Land) | frigid | silty | no | very fine sandy loam |
| Gilmanton | 478 | 0.6 | 2.0 | 0.06 | 0.6 | C | 3 | Firm, platy, loamy till | frigid | loamy | no | fine sandy loam in Cd |
| Glebe | 671 | 2.0 | 6.0 | 2.00 | 6.0 | C | 4 | Loose till, bedrock | cryic | loamy | yes | 20 to 40 in. deep |
| Gloucester | 11 | 6.0 | 20.0 | 6.00 | 20.0 | A | 1 | Sandy Till | mesic | sandy-skeletal | no | loamy cap |
| Glover | NA | 0.6 | 2.0 | 0.60 | 2 | D | 4 | Friable till, silty, schist & phyllite | frigid | loamy | no | less than 20 in. deep |
| Grange | 433 | 0.6 | 2.0 | 0.60 | 2.0 | C | 5 | Outwash and Stream Terraces | frigid | co. loamy over sandy (skeletal) | no | |
| Greenwood | 295 | | | | | A/D | 6 | Organic Materials - Freshwater | frigid | hemic | no | deep organic |
| Groveton | 27 | 0.6 | 2.0 | 0.60 | 6.0 | B | 2 | Outwash and Stream Terraces | frigid | loamy | yes | loamy over sandy |
| Hadley | 8 | 0.6 | 2.0 | 0.60 | 6.0 | B | 2 | Flood Plain (Bottom Land) | mesic | silty | no | strata of fine sand |
| Hadley | 108 | 0.6 | 2.0 | 0.60 | 6.0 | B | 2 | Flood Plain (Bottom Land) | mesic | silty | no | strata of fine sand, occ flooded |
| Hartland | 31 | 0.6 | 2.0 | 0.20 | 2.0 | B | 2 | Terraces and glacial lake plains | mesic | silty | no | very fine sandy loam |
| Haven | 410 | 0.6 | 2.0 | 20.00 | 100.0 | B | 2 | Outwash and Stream Terraces | mesic | loamy over sandy | no | loamy over sand/gravel |
| Henniker | 46 | 0.6 | 2.0 | 0.06 | 0.6 | C | 3 | Firm, platy, sandy till | frigid | loamy | no | loamy sand in Cd |
| Hermon | 55 | 2.0 | 20.0 | 6.00 | 20.0 | A | 1 | Sandy Till | frigid | sandy-skeletal | yes | loamy cap |
| Hinckley | 12 | 6.0 | 20.0 | 20.00 | 100.0 | A | 1 | Outwash and Stream Terraces | mesic | sandy-skeletal | no | |
| Hitchcock | 130 | 0.6 | 2.0 | 0.06 | 0.6 | B | 3 | Terraces and glacial lake plains | mesic | silty | no | silt loam to silt in C |
| Hogback | 84 | 2.0 | 6.0 | 2.00 | 6.0 | C | 4 | Loose till, bedrock | frigid | loamy | yes | less than 20 in. deep |
| Hollis | 86 | 0.6 | 6.0 | 0.60 | 6.0 | C/D | 4 | Loose till, bedrock | mesic | loamy | no | less than 20 in. deep |
| Hooks | 518 | 2.0 | 20.0 | 20.00 | 100.0 | A | 1 | Outwash and Stream Terraces | mesic | sandy-skeletal | no | slate, loamy cap |
| Houghtonville | 795 | 0.6 | 6.0 | 0.60 | 6.0 | B | 2 | Loose till, loamy textures | frigid | loamy | yes | cobbly fine sandy loam |
| Howland | 566 | 0.6 | 2.0 | 0.06 | 0.2 | C | 3 | Firm, platy, silty till, schist & phyllite | frigid | loamy | yes | silt loam, platy in Cd |
| Ipswich | 397 | | | | | D | 6 | Tidal Flat | mesic | hemic/sapric | no | deep organic |
| Kearsarge | 359 | 0.6 | 2.0 | 0.60 | 2.0 | B | 4 | Friable till, silty, schist & phyllite | mesic | loamy | no | less than 20 in. deep |
| Kinsman | 614 | 6.0 | 20.0 | 6.00 | 20.0 | C | 5 | Outwash and Stream Terraces | frigid | sandy | yes | |
| Lanesboro | 228 | 0.6 | 2.0 | 0.06 | 0.2 | C | 3 | Firm, platy, silty till, schist & phyllite | frigid | loamy | no | channery silt loam in Cd |
| Leicester | 514 | 0.6 | 6.0 | 0.60 | 20.0 | C | 5 | Loose till, loamy textures | mesic | loamy | no | |
| Lim | 3 | 0.6 | 2.0 | 6.00 | 20.0 | C | 5 | Flood Plain (Bottom Land) | mesic | loamy | no | |
| Limerick | 109 | 0.6 | 2.0 | 0.60 | 2.0 | C | 5 | Flood Plain (Bottom Land) | mesic | silty | no | |
| Lombard | 259 | 0.6 | 6.0 | 2.00 | 20.0 | C/D | 2 | Weathered bedrock, phyllite | frigid | loamy | no | very channery |
| Lovewell | 307 | 0.6 | 2.0 | 0.60 | 2.0 | B | 3 | Flood Plain (Bottom Land) | frigid | silty | no | very fine sandy loam |
| Lyman | 92 | 2.0 | 6.0 | 2.00 | 6.0 | A/D | 4 | Loose till, bedrock | frigid | loamy | yes | less than 20 in. deep |
| Lyme | 246 | 0.6 | 6.0 | 0.60 | 6.0 | C | 5 | Loose till, sandy textures | frigid | loamy | no | |
| Machias | 520 | 2.0 | 6.0 | 6.00 | 20.0 | B | 3 | Outwash and Stream Terraces | frigid | sandy or sandy-skeletal | yes | strata sand/gravel in C |
| Macomber | 252 | 0.6 | 2.0 | 0.60 | 2.0 | C | 4 | Friable till, silty, schist & phyllite | frigid | loamy-skeletal | yes | 20 to 40 in. deep |
| Madawaska | 28 | 0.6 | 2.0 | 6.00 | 20.0 | B | 3 | Outwash and Stream Terraces | frigid | loamy over sandy | yes | sandy or sandy-skeletal |
| Madawaska, aquet | 48 | 0.6 | 2.0 | 6.00 | 20.0 | B | 3 | Outwash and Stream Terraces | frigid | loamy over sandy | yes | sandy or sandy-skeletal |
| Marlow | 76 | 0.6 | 2.0 | 0.06 | 0.6 | C | 3 | Firm, platy, loamy till | frigid | loamy | yes | fine sandy loam in Cd |
| Masardis | 23 | 6.0 | 20.0 | 6.00 | 20.0 | A | 1 | Outwash and Stream Terraces | frigid | sandy-skeletal | yes | slate, loamy cap |
| Mashpee | 315 | 6.0 | 20.0 | 6.00 | 20.0 | B | 5 | Outwash and Stream Terraces | mesic | sandy | yes | |
| Matunuck | 797 | | | 20.00 | 100.0 | D | 6 | Tidal Flat | mesic | sandy | no | organic over sand |
| Maybid | 134 | 0.0 | 0.2 | 0.00 | 0.2 | D | 6 | Silt and Clay Deposits | mesic | fine | no | silt over clay |
| Meadowsedge | 894 | | | | | D | 6 | Organic Materials - Freshwater | frigid | peat | no | deep organic |
| Medomak | 406 | 0.6 | 2.0 | 0.60 | 2.0 | D | 6 | Flood Plain (Bottom Land) | frigid | silty | no | organic over silt |
| Melrose | 37 | 2.0 | 6.0 | 0.00 | 0.2 | C | 3 | Sandy/loamy over silt/clay | frigid | loamy over clayey | no | silty clay loam in C |
| Merrimac | 10 | 2.0 | 20.0 | 6.00 | 20.0 | A | 1 | Outwash and Stream Terraces | mesic | gravelly sand | no | loamy cap |
| Metacomet | 458 | 0.6 | 2.0 | 0.06 | 0.6 | C | 3 | Firm, platy, sandy till | frigid | loamy | no | loamy sand in Cd |
| Metallak | 404 | 6.0 | 100.0 | 6.00 | 100.0 | B | 3 | Flood Plain (Bottom Land) | frigid | loamy over sandy | no | sandy or sandy-skeletal |
| Millis | 39 | | | | | C | 3 | Firm, platy, sandy till | frigid | loamy | yes | loamy sand in Cd |
| Millsite | 251 | 0.6 | 6.0 | 0.60 | 6.0 | C | 4 | Loose till, bedrock | frigid | loamy | no | 20 to 40 in. deep |
| Monadnock | 142 | 0.6 | 2.0 | 2.00 | 6.0 | B | 2 | Loose till, sandy textures | frigid | loamy over sandy, sandy-skeletal | yes | gravelly loamy sand in C |
| Monarda | 569 | 0.2 | 2.0 | 0.02 | 0.2 | D | 5 | Firm, platy, silty till, schist & phyllite | frigid | loamy | no | |
| Monson | 133 | 0.6 | 2.0 | 0.60 | 2.0 | D | 4 | Friable till, silty, schist & phyllite | frigid | loamy | yes | less than 20 in. deep |
| Montauk | 44 | 0.6 | 6.0 | 0.06 | 0.6 | C | 3 | Firm, platy, sandy till | mesic | loamy | no | loamy sand in Cd |
| Moosilauke | 414 | 6.0 | 20.0 | 6.00 | 20.0 | C | 5 | Loose till, sandy textures | frigid | sandy | no | |

| Soil Series | number | NHDES Soil Group | Ksat low - B in/hr | Ksat high - B in/hr | Ksat low - C in/hr | Ksat high - C in/hr | Hyd. Grp. | Land Form | Temp. | Soil Textures | Spodosol ? | Other |
|------------------|--------|---------------------|-----------------------|------------------------|-----------------------|------------------------|--------------|--|--------|-------------------------|---------------|-----------------------------|
| Buckland | 237 | 3 | 0.6 | 2.0 | 0.06 | 0.2 | C | Firm, platy, loamy till | frigid | loamy | no | loam in Cd |
| Buxton | 232 | 3 | 0.1 | 0.6 | 0.00 | 0.2 | C | Silt and Clay Deposits | frigid | fine | no | silty clay |
| Camdenbury | 100 | 3 | 0.6 | 2.0 | 0.06 | 0.2 | C | Firm, platy, loamy till | frigid | loamy | no | loam in Cd |
| Chatfield Var. | 289 | 3 | 0.6 | 6.0 | 0.60 | 6.0 | B | Loose till, bedrock | mesic | loamy | no | mwd to swpd |
| Chatham | 120 | 3 | 0.6 | 2.0 | 0.06 | 0.2 | C | Firm, platy, silty till, schist & phyllite | frigid | loamy | yes | channery silt loam in Cd |
| Colonel | 927 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, loamy till | frigid | loamy | yes | loam in Cd |
| Croghan | 613 | 3 | 20.0 | 100.0 | 20.00 | 100.0 | B | Outwash and Stream Terraces | frigid | sandy | yes | single grain in C |
| Dartmouth | 132 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | B | Terraces and glacial lake plains | mesic | silty | no | thin strata silty clay loam |
| Deerfield | 313 | 3 | 6.0 | 20.0 | 20.00 | 100.0 | B | Outwash and Stream Terraces | mesic | sandy | no | single grain in C |
| Dixfield | 378 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, loamy till | frigid | loamy | yes | fine sandy loam in Cd |
| Dixmont | 578 | 3 | 0.6 | 2.0 | 0.60 | 2.0 | C | Friable till, silty, schist & phyllite | frigid | loamy | yes | silt loam, platy in C |
| Duane | 413 | 3 | 6.0 | 20.0 | 6.00 | 20.0 | B | Outwash and Stream Terraces | frigid | sandy-skeletal | yes | cemented (ortstein) |
| Eldridge | 38 | 3 | 6.0 | 20.0 | 0.06 | 0.6 | C | Sandy/loamy over silt/clay | mesic | sandy over loamy | no | |
| Elmridge | 238 | 3 | 2.0 | 6.0 | 0.00 | 0.2 | C | Sandy/loamy over silt/clay | mesic | loamy over clayey | no | |
| Elmwood | 338 | 3 | 2.0 | 6.0 | 0.00 | 0.2 | C | Sandy/loamy over silt/clay | frigid | loamy over clayey | no | |
| Finch | 116 | 3 | | | | | C | Outwash and Stream Terraces | frigid | sandy | yes | cemented (ortstein) |
| Gilmanton | 478 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, loamy till | frigid | loamy | no | fine sandy loam in Cd |
| Henniker | 46 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, sandy till | frigid | loamy | no | loamy sand in Cd |
| Hitchcock | 130 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | B | Terraces and glacial lake plains | mesic | silty | no | silt loam to silt in C |
| Howland | 566 | 3 | 0.6 | 2.0 | 0.06 | 0.2 | C | Firm, platy, silty till, schist & phyllite | frigid | loamy | yes | silt loam, platy in Cd |
| Lanesboro | 228 | 3 | 0.6 | 2.0 | 0.06 | 0.2 | C | Firm, platy, silty till, schist & phyllite | frigid | loamy | no | channery silt loam in Cd |
| Lovewell | 307 | 3 | 0.6 | 2.0 | 0.60 | 2.0 | B | Flood Plain (Bottom Land) | frigid | silty | no | very fine sandy loam |
| Machias | 520 | 3 | 2.0 | 6.0 | 6.00 | 20.0 | B | Outwash and Stream Terraces | frigid | sandy or sandy-skeletal | yes | strata sand/gravel in C |
| Madawaska | 28 | 3 | 0.6 | 2.0 | 6.00 | 20.0 | B | Outwash and Stream Terraces | frigid | loamy over sandy | yes | sandy or sandy-skeletal |
| Madawaska, aquet | 48 | 3 | 0.6 | 2.0 | 6.00 | 20.0 | B | Outwash and Stream Terraces | frigid | loamy over sandy | yes | sandy or sandy-skeletal |
| Marlow | 76 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, loamy till | frigid | loamy | yes | fine sandy loam in Cd |
| Melrose | 37 | 3 | 2.0 | 6.0 | 0.00 | 0.2 | C | Sandy/loamy over silt/clay | frigid | loamy over clayey | no | silty clay loam in C |
| Metacomet | 458 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, sandy till | frigid | loamy | no | loamy sand in Cd |
| Metallak | 404 | 3 | 6.0 | 100.0 | 6.00 | 100.0 | B | Flood Plain (Bottom Land) | frigid | loamy over sandy | no | sandy or sandy-skeletal |
| Millis | 39 | 3 | | | | | C | Firm, platy, sandy till | frigid | loamy | yes | loamy sand in Cd |
| Montauk | 44 | 3 | 0.6 | 6.0 | 0.06 | 0.6 | C | Firm, platy, sandy till | mesic | loamy | no | loamy sand in Cd |
| Mundal | 610 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, loamy till | frigid | loamy | yes | gravely sandy loam in Cd |
| Newfields | 444 | 3 | 0.6 | 2.0 | 0.60 | 2.0 | B | Loose till, sandy textures | mesic | loamy over sandy | no | sandy or sandy-skeletal |
| Nicholville | 632 | 3 | 0.6 | 2.0 | 0.60 | 2.0 | C | Terraces and glacial lake plains | frigid | silty | yes | very fine sandy loam |
| Ninigret | 513 | 3 | 0.6 | 6.0 | 6.00 | 20.0 | B | Outwash and Stream Terraces | mesic | loamy over sandy | no | sandy or sandy-skeletal |
| Paxton | 66 | 3 | 0.6 | 2.0 | 0.00 | 0.2 | C | Firm, platy, loamy till | mesic | loamy | no | |
| Peru | 78 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, loamy till | frigid | loamy | yes | |
| Pittstown | 334 | 3 | 0.6 | 2.0 | 0.06 | 0.2 | C | Firm, platy, silty till, schist & phyllite | mesic | loamy | no | channery silt loam in Cd |
| Plaisted | 563 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, silty till, schist & phyllite | frigid | loamy | yes | channery silt loam in Cd |
| Podunk | 104 | 3 | 0.6 | 6.0 | 6.00 | 20.0 | B | Flood Plain (Bottom Land) | frigid | loamy | no | loamy to coarse sand in C |
| Poocham | 230 | 3 | 0.6 | 2.0 | 0.20 | 2.0 | B | Terraces and glacial lake plains | mesic | silty | no | silt loam in C |
| Pootatuck | 4 | 3 | 0.6 | 6.0 | 6.00 | 20.0 | B | Flood Plain (Bottom Land) | mesic | loamy | no | single grain in C |
| Scio | 531 | 3 | 0.6 | 2.0 | 0.60 | 2.0 | B | Terraces and glacial lake plains | mesic | silty | no | gravely sand in 2C |
| Scituate | 448 | 3 | 0.6 | 2.0 | 0.06 | 0.2 | C | Firm, platy, sandy till | mesic | loamy | no | loamy sand in Cd |
| Sheepscot | 14 | 3 | 6.0 | 20.0 | 6.00 | 20.0 | B | Outwash and Stream Terraces | frigid | sandy-skeletal | yes | gravely coarse sand |
| Sisk | 667 | 3 | 0.6 | 2.0 | 0.00 | 0.6 | C | Firm, platy, loamy till | cryic | loamy | yes | sandy loam in Cd |
| Skerry | 558 | 3 | 0.6 | 2.0 | 0.06 | 0.6 | C | Firm, platy, sandy till | frigid | loamy | yes | loamy sand in Cd |
| Sudbury | 118 | 3 | 2.0 | 6.0 | 2.00 | 20.0 | B | Outwash and Stream Terraces | mesic | sandy | no | loam over gravely sand |
| Suffield | 536 | 3 | 0.6 | 2.0 | 0.00 | 0.2 | C | Sandy/loamy over silt/clay | mesic | silty over clayey | no | deep to clay C |
| Sunapee | 168 | 3 | 0.6 | 2.0 | 0.60 | 6.0 | B | Loose till, loamy textures | frigid | loamy | yes | |
| Sunapee var | 269 | 3 | 0.6 | 2.0 | 0.60 | 6.0 | B | Loose till, loamy textures | frigid | loamy | yes | frigid dystrodept |
| Surplus | 669 | 3 | 0.6 | 2.0 | 0.00 | 0.6 | C | Firm, platy, loamy till | cryic | loamy | yes | mwd, sandy loam in Cd |
| Sutton | 68 | 3 | 0.6 | 6.0 | 0.60 | 6.0 | B | Loose till, loamy textures | mesic | loamy | no | |
| Telos | 123 | 3 | 0.6 | 2.0 | 0.02 | 0.2 | C | Firm, platy, silty till, schist & phyllite | frigid | loamy | yes | channery silt loam in Cd |

Extreme Precipitation Tables

Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

| | |
|-----------|---------------------------------|
| Smoothing | Yes |
| State | |
| Location | |
| Longitude | 70.748 degrees West |
| Latitude | 43.054 degrees North |
| Elevation | 0 feet |
| Date/Time | Tue, 09 Nov 2021 08:45:44 -0500 |

Extreme Precipitation Estimates

add
15%

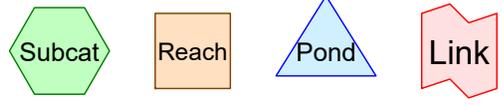
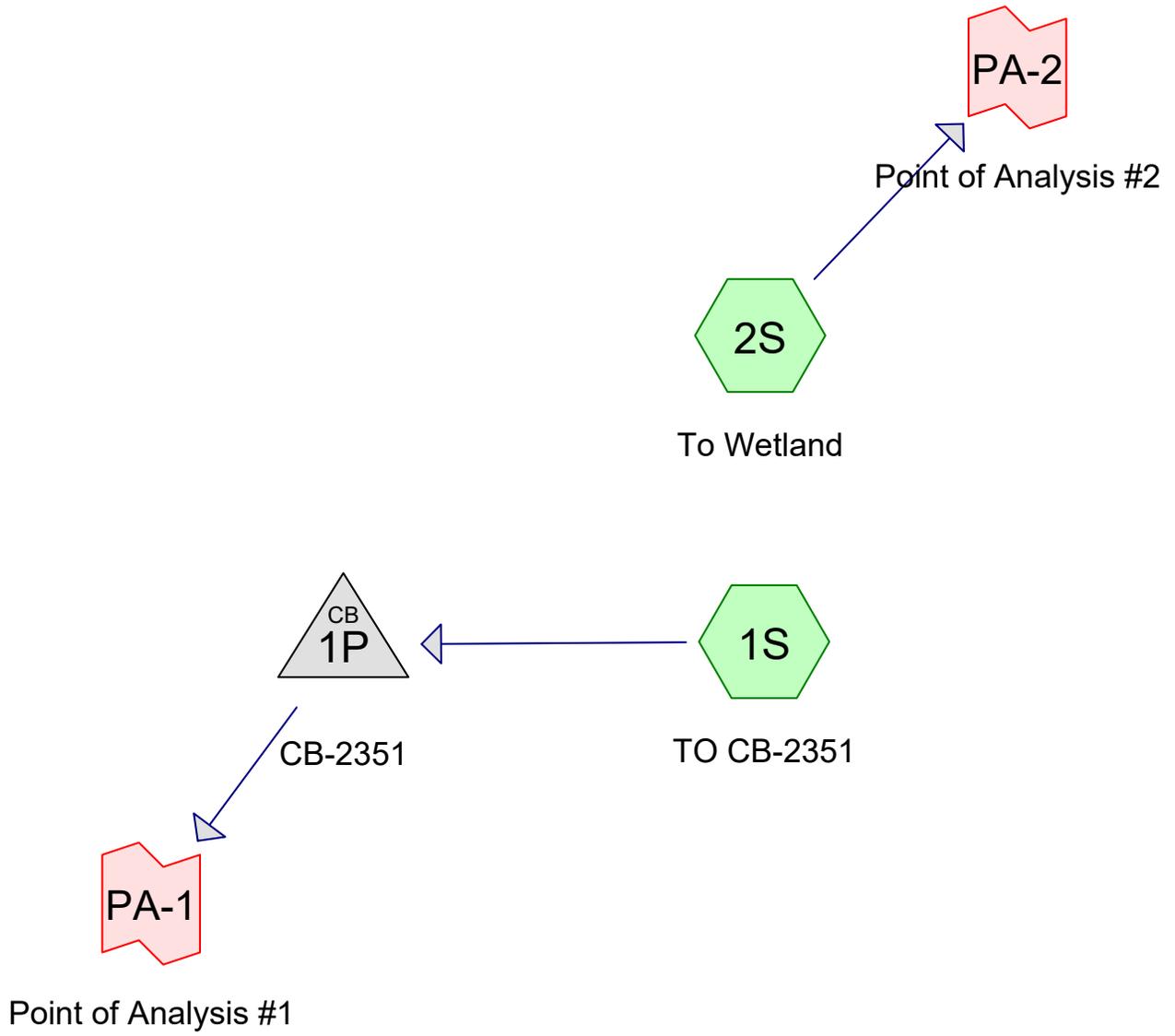
| | 5min | 10min | 15min | 30min | 60min | 120min | | 1hr | 2hr | 3hr | 6hr | 12hr | 24hr | 48hr | | 1day | 2day | 4day | 7day | 10day | |
|-------|------|-------|-------|-------|-------|--------|-------|------|------|------|------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| 1yr | 0.26 | 0.40 | 0.50 | 0.65 | 0.82 | 1.04 | 1yr | 0.70 | 0.98 | 1.21 | 1.56 | 2.03 | 2.67 | 2.94 | 3.38 | 2.36 | 2.82 | 3.24 | 3.96 | 4.57 | 1yr |
| 2yr | 0.32 | 0.50 | 0.62 | 0.82 | 1.03 | 1.30 | 2yr | 0.89 | 1.18 | 1.52 | 1.94 | 2.49 | 3.22 | 3.58 | 4.12 | 2.85 | 3.45 | 3.95 | 4.70 | 5.35 | 2yr |
| 5yr | 0.37 | 0.58 | 0.73 | 0.98 | 1.25 | 1.61 | 5yr | 1.08 | 1.47 | 1.89 | 2.44 | 3.15 | 4.08 | 4.60 | 5.29 | 3.61 | 4.42 | 5.07 | 5.96 | 6.73 | 5yr |
| 10yr | 0.41 | 0.65 | 0.82 | 1.12 | 1.46 | 1.90 | 10yr | 1.26 | 1.73 | 2.24 | 2.91 | 3.76 | 4.88 | 5.55 | 6.60 | 4.32 | 5.34 | 6.12 | 7.14 | 8.01 | 10yr |
| 25yr | 0.48 | 0.77 | 0.97 | 1.34 | 1.78 | 2.35 | 25yr | 1.54 | 2.15 | 2.79 | 3.65 | 4.76 | 6.19 | 7.13 | 8.20 | 5.48 | 6.85 | 7.85 | 9.07 | 10.09 | 25yr |
| 50yr | 0.54 | 0.87 | 1.11 | 1.55 | 2.09 | 2.78 | 50yr | 1.80 | 2.54 | 3.31 | 4.35 | 5.69 | 7.42 | 8.62 | 9.91 | 6.56 | 8.29 | 9.48 | 10.87 | 12.02 | 50yr |
| 100yr | 0.60 | 0.97 | 1.26 | 1.79 | 2.44 | 3.28 | 100yr | 2.10 | 3.00 | 3.93 | 5.19 | 6.80 | 8.88 | 10.42 | 11.98 | 7.86 | 10.02 | 11.46 | 13.03 | 14.33 | 100yr |
| 200yr | 0.68 | 1.11 | 1.44 | 2.07 | 2.85 | 3.87 | 200yr | 2.46 | 3.54 | 4.65 | 6.17 | 8.12 | 10.65 | 12.60 | | 9.42 | 12.11 | 13.85 | 15.63 | 17.08 | 200yr |
| 500yr | 0.81 | 1.33 | 1.73 | 2.51 | 3.52 | 4.81 | 500yr | 3.03 | 4.42 | 5.82 | 7.76 | 10.28 | 13.53 | 16.20 | | 11.97 | 15.58 | 17.81 | 19.89 | 21.57 | 500yr |

Lower Confidence Limits

| | 5min | 10min | 15min | 30min | 60min | 120min | | 1hr | 2hr | 3hr | 6hr | 12hr | 24hr | 48hr | | 1day | 2day | 4day | 7day | 10day | |
|-------|------|-------|-------|-------|-------|--------|-------|------|------|------|------|------|------|-------|-------|------|-------|-------|-------|-------|-------|
| 1yr | 0.23 | 0.36 | 0.44 | 0.59 | 0.72 | 0.88 | 1yr | 0.62 | 0.86 | 0.93 | 1.34 | 1.69 | 2.26 | 2.50 | 1yr | 2.00 | 2.41 | 2.88 | 3.21 | 3.94 | 1yr |
| 2yr | 0.31 | 0.49 | 0.60 | 0.81 | 1.00 | 1.19 | 2yr | 0.86 | 1.16 | 1.37 | 1.81 | 2.33 | 3.07 | 3.47 | 2yr | 2.72 | 3.33 | 3.84 | 4.56 | 5.11 | 2yr |
| 5yr | 0.35 | 0.54 | 0.67 | 0.92 | 1.17 | 1.40 | 5yr | 1.01 | 1.37 | 1.61 | 2.11 | 2.72 | 3.80 | 4.20 | 5yr | 3.36 | 4.04 | 4.74 | 5.56 | 6.26 | 5yr |
| 10yr | 0.39 | 0.59 | 0.74 | 1.03 | 1.33 | 1.60 | 10yr | 1.15 | 1.57 | 1.80 | 2.38 | 3.05 | 4.38 | 4.88 | 10yr | 3.88 | 4.69 | 5.47 | 6.44 | 7.22 | 10yr |
| 25yr | 0.44 | 0.67 | 0.83 | 1.19 | 1.56 | 1.90 | 25yr | 1.35 | 1.86 | 2.10 | 2.74 | 3.52 | 4.78 | 5.91 | 25yr | 4.23 | 5.68 | 6.69 | 7.83 | 8.72 | 25yr |
| 50yr | 0.48 | 0.73 | 0.91 | 1.31 | 1.77 | 2.17 | 50yr | 1.53 | 2.12 | 2.35 | 3.05 | 3.91 | 5.41 | 6.82 | 50yr | 4.79 | 6.56 | 7.77 | 9.10 | 10.06 | 50yr |
| 100yr | 0.54 | 0.81 | 1.02 | 1.47 | 2.02 | 2.47 | 100yr | 1.74 | 2.41 | 2.63 | 3.39 | 4.31 | 6.10 | 7.87 | 100yr | 5.40 | 7.57 | 9.04 | 10.58 | 11.63 | 100yr |
| 200yr | 0.59 | 0.89 | 1.13 | 1.64 | 2.28 | 2.81 | 200yr | 1.97 | 2.75 | 2.94 | 3.74 | 4.74 | 6.86 | 9.09 | 200yr | 6.07 | 8.74 | 10.50 | 12.32 | 13.45 | 200yr |
| 500yr | 0.69 | 1.02 | 1.31 | 1.91 | 2.72 | 3.36 | 500yr | 2.34 | 3.29 | 3.42 | 4.26 | 5.39 | 8.01 | 10.98 | 500yr | 7.09 | 10.56 | 12.80 | 15.09 | 16.30 | 500yr |

Upper Confidence Limits

| | 5min | 10min | 15min | 30min | 60min | 120min | | 1hr | 2hr | 3hr | 6hr | 12hr | 24hr | 48hr | | 1day | 2day | 4day | 7day | 10day | |
|-------|------|-------|-------|-------|-------|--------|-------|------|------|------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| 1yr | 0.29 | 0.44 | 0.54 | 0.72 | 0.89 | 1.09 | 1yr | 0.77 | 1.06 | 1.26 | 1.74 | 2.20 | 2.98 | 3.18 | 1yr | 2.64 | 3.06 | 3.59 | 4.38 | 5.05 | 1yr |
| 2yr | 0.34 | 0.52 | 0.64 | 0.87 | 1.07 | 1.27 | 2yr | 0.92 | 1.24 | 1.48 | 1.96 | 2.52 | 3.43 | 3.72 | 2yr | 3.03 | 3.58 | 4.11 | 4.86 | 5.64 | 2yr |
| 5yr | 0.40 | 0.62 | 0.77 | 1.05 | 1.34 | 1.63 | 5yr | 1.16 | 1.59 | 1.89 | 2.54 | 3.26 | 4.36 | 4.98 | 5yr | 3.85 | 4.79 | 5.40 | 6.40 | 7.18 | 5yr |
| 10yr | 0.47 | 0.72 | 0.89 | 1.25 | 1.62 | 1.99 | 10yr | 1.39 | 1.94 | 2.29 | 3.11 | 3.97 | 5.36 | 6.23 | 10yr | 4.74 | 5.99 | 6.85 | 7.87 | 8.79 | 10yr |
| 25yr | 0.58 | 0.88 | 1.10 | 1.57 | 2.06 | 2.59 | 25yr | 1.78 | 2.53 | 2.97 | 4.08 | 5.18 | 7.75 | 8.38 | 25yr | 6.86 | 8.05 | 9.20 | 10.38 | 11.45 | 25yr |
| 50yr | 0.68 | 1.03 | 1.28 | 1.84 | 2.48 | 3.15 | 50yr | 2.14 | 3.08 | 3.61 | 5.02 | 6.36 | 9.69 | 10.50 | 50yr | 8.57 | 10.10 | 11.51 | 12.78 | 14.01 | 50yr |
| 100yr | 0.80 | 1.20 | 1.51 | 2.18 | 2.99 | 3.84 | 100yr | 2.58 | 3.76 | 4.40 | 6.19 | 7.83 | 12.11 | 13.16 | 100yr | 10.71 | 12.65 | 14.40 | 15.76 | 17.15 | 100yr |
| 200yr | 0.93 | 1.41 | 1.78 | 2.58 | 3.60 | 4.70 | 200yr | 3.10 | 4.59 | 5.37 | 7.63 | 9.63 | 15.17 | 16.51 | 200yr | 13.43 | 15.87 | 18.04 | 19.43 | 20.98 | 200yr |
| 500yr | 1.16 | 1.73 | 2.22 | 3.23 | 4.59 | 6.11 | 500yr | 3.96 | 5.97 | 6.97 | 10.10 | 12.71 | 20.46 | 22.28 | 500yr | 18.11 | 21.43 | 24.31 | 25.62 | 27.41 | 500yr |



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Area Listing (all nodes)

| Area (acres) | CN | Description (subcatchment-numbers) |
|-----------------|-----------|--|
| 0.161 | 61 | >75% Grass cover, Good, HSG B (1S, 2S) |
| 0.187 | 96 | Gravel surface, HSG B (1S, 2S) |
| 0.017 | 98 | Ledge, HSG B (1S, 2S) |
| 0.274 | 98 | Paved parking, HSG B (1S, 2S) |
| 0.126 | 98 | Roofs, HSG B (1S, 2S) |
| 0.290 | 55 | Woods, Good, HSG B (2S) |
| 1.054 | 80 | TOTAL AREA |

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Soil Listing (all nodes)

| Area (acres) | Soil Group | Subcatchment Numbers |
|-----------------|---------------|-------------------------|
| 0.000 | HSG A | |
| 1.054 | HSG B | 1S, 2S |
| 0.000 | HSG C | |
| 0.000 | HSG D | |
| 0.000 | Other | |
| 1.054 | | TOTAL AREA |

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Ground Covers (all nodes)

| HSG-A (acres) | HSG-B (acres) | HSG-C (acres) | HSG-D (acres) | Other (acres) | Total (acres) | Ground Cover | Subcatchment Numbers |
|------------------|------------------|------------------|------------------|------------------|------------------|------------------------|-------------------------|
| 0.000 | 0.161 | 0.000 | 0.000 | 0.000 | 0.161 | >75% Grass cover, Good | 1S, 2S |
| 0.000 | 0.187 | 0.000 | 0.000 | 0.000 | 0.187 | Gravel surface | 1S, 2S |
| 0.000 | 0.017 | 0.000 | 0.000 | 0.000 | 0.017 | Ledge | 1S, 2S |
| 0.000 | 0.274 | 0.000 | 0.000 | 0.000 | 0.274 | Paved parking | 1S, 2S |
| 0.000 | 0.126 | 0.000 | 0.000 | 0.000 | 0.126 | Roofs | 1S, 2S |
| 0.000 | 0.290 | 0.000 | 0.000 | 0.000 | 0.290 | Woods, Good | 2S |
| 0.000 | 1.054 | 0.000 | 0.000 | 0.000 | 1.054 | TOTAL AREA | |

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Type II 24-hr 10-yr Rainfall=5.60"

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Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: TO CB-2351

Runoff Area=26,448 sf 56.60% Impervious Runoff Depth=4.57"
Tc=6.0 min CN=91 Runoff=4.40 cfs 0.231 af

Subcatchment 2S: To Wetland

Runoff Area=19,478 sf 16.36% Impervious Runoff Depth=2.15"
Tc=12.0 min CN=66 Runoff=1.35 cfs 0.080 af

Pond 1P: CB-2351

Peak Elev=11.72' Inflow=4.40 cfs 0.231 af
Outflow=4.40 cfs 0.231 af

Link PA-1: Point of Analysis #1

Inflow=4.40 cfs 0.231 af
Primary=4.40 cfs 0.231 af

Link PA-2: Point of Analysis #2

Inflow=1.35 cfs 0.080 af
Primary=1.35 cfs 0.080 af

Total Runoff Area = 1.054 ac Runoff Volume = 0.311 af Average Runoff Depth = 3.54"
60.46% Pervious = 0.637 ac 39.54% Impervious = 0.417 ac

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Type II 24-hr 10-yr Rainfall=5.60"

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Summary for Subcatchment 1S: TO CB-2351

Runoff = 4.40 cfs @ 11.96 hrs, Volume= 0.231 af, Depth= 4.57"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 4,372 | 98 | Roofs, HSG B |
| 10,058 | 98 | Paved parking, HSG B |
| 6,716 | 96 | Gravel surface, HSG B |
| * 540 | 98 | Ledge, HSG B |
| 4,762 | 61 | >75% Grass cover, Good, HSG B |
| 26,448 | 91 | Weighted Average |
| 11,478 | | 43.40% Pervious Area |
| 14,970 | | 56.60% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 2S: To Wetland

Runoff = 1.35 cfs @ 12.05 hrs, Volume= 0.080 af, Depth= 2.15"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 1,125 | 98 | Roofs, HSG B |
| 1,882 | 98 | Paved parking, HSG B |
| 1,410 | 96 | Gravel surface, HSG B |
| * 180 | 98 | Ledge, HSG B |
| 2,232 | 61 | >75% Grass cover, Good, HSG B |
| 12,649 | 55 | Woods, Good, HSG B |
| 19,478 | 66 | Weighted Average |
| 16,291 | | 83.64% Pervious Area |
| 3,187 | | 16.36% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 12.0 | | | | | Direct Entry, |

Summary for Pond 1P: CB-2351

Inflow Area = 0.607 ac, 56.60% Impervious, Inflow Depth = 4.57" for 10-yr event

Inflow = 4.40 cfs @ 11.96 hrs, Volume= 0.231 af

Outflow = 4.40 cfs @ 11.96 hrs, Volume= 0.231 af, Atten= 0%, Lag= 0.0 min

Primary = 4.40 cfs @ 11.96 hrs, Volume= 0.231 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

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Type II 24-hr 10-yr Rainfall=5.60"

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Peak Elev= 11.72' @ 11.96 hrs

Flood Elev= 22.40'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 10.55' | 15.0" Vert. Orifice/Grate C= 0.600 |

Primary OutFlow Max=4.30 cfs @ 11.96 hrs HW=11.70' (Free Discharge)↑**1=Orifice/Grate** (Orifice Controls 4.30 cfs @ 3.64 fps)**Summary for Link PA-1: Point of Analysis #1**

Inflow Area = 0.607 ac, 56.60% Impervious, Inflow Depth = 4.57" for 10-yr event
 Inflow = 4.40 cfs @ 11.96 hrs, Volume= 0.231 af
 Primary = 4.40 cfs @ 11.96 hrs, Volume= 0.231 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Summary for Link PA-2: Point of Analysis #2

Inflow Area = 0.447 ac, 16.36% Impervious, Inflow Depth = 2.15" for 10-yr event
 Inflow = 1.35 cfs @ 12.05 hrs, Volume= 0.080 af
 Primary = 1.35 cfs @ 12.05 hrs, Volume= 0.080 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

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Type II 24-hr 2-yr Rainfall=4.12"

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Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: TO CB-2351

Runoff Area=26,448 sf 56.60% Impervious Runoff Depth=3.13"
Tc=6.0 min CN=91 Runoff=3.09 cfs 0.158 af

Subcatchment 2S: To Wetland

Runoff Area=19,478 sf 16.36% Impervious Runoff Depth=1.16"
Tc=12.0 min CN=66 Runoff=0.70 cfs 0.043 af

Pond 1P: CB-2351

Peak Elev=11.46' Inflow=3.09 cfs 0.158 af
Outflow=3.09 cfs 0.158 af

Link PA-1: Point of Analysis #1

Inflow=3.09 cfs 0.158 af
Primary=3.09 cfs 0.158 af

Link PA-2: Point of Analysis #2

Inflow=0.70 cfs 0.043 af
Primary=0.70 cfs 0.043 af

Total Runoff Area = 1.054 ac Runoff Volume = 0.202 af Average Runoff Depth = 2.30"
60.46% Pervious = 0.637 ac 39.54% Impervious = 0.417 ac

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Type II 24-hr 2-yr Rainfall=4.12"

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Summary for Subcatchment 1S: TO CB-2351

Runoff = 3.09 cfs @ 11.96 hrs, Volume= 0.158 af, Depth= 3.13"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 4,372 | 98 | Roofs, HSG B |
| 10,058 | 98 | Paved parking, HSG B |
| 6,716 | 96 | Gravel surface, HSG B |
| * 540 | 98 | Ledge, HSG B |
| 4,762 | 61 | >75% Grass cover, Good, HSG B |
| 26,448 | 91 | Weighted Average |
| 11,478 | | 43.40% Pervious Area |
| 14,970 | | 56.60% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 2S: To Wetland

Runoff = 0.70 cfs @ 12.05 hrs, Volume= 0.043 af, Depth= 1.16"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 1,125 | 98 | Roofs, HSG B |
| 1,882 | 98 | Paved parking, HSG B |
| 1,410 | 96 | Gravel surface, HSG B |
| * 180 | 98 | Ledge, HSG B |
| 2,232 | 61 | >75% Grass cover, Good, HSG B |
| 12,649 | 55 | Woods, Good, HSG B |
| 19,478 | 66 | Weighted Average |
| 16,291 | | 83.64% Pervious Area |
| 3,187 | | 16.36% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 12.0 | | | | | Direct Entry, |

Summary for Pond 1P: CB-2351

Inflow Area = 0.607 ac, 56.60% Impervious, Inflow Depth = 3.13" for 2-yr event
 Inflow = 3.09 cfs @ 11.96 hrs, Volume= 0.158 af
 Outflow = 3.09 cfs @ 11.96 hrs, Volume= 0.158 af, Atten= 0%, Lag= 0.0 min
 Primary = 3.09 cfs @ 11.96 hrs, Volume= 0.158 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

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Type II 24-hr 2-yr Rainfall=4.12"

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Peak Elev= 11.46' @ 11.96 hrs

Flood Elev= 22.40'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 10.55' | 15.0" Vert. Orifice/Grate C= 0.600 |

Primary OutFlow Max=3.00 cfs @ 11.96 hrs HW=11.44' (Free Discharge)

↳ **1=Orifice/Grate** (Orifice Controls 3.00 cfs @ 3.21 fps)

Summary for Link PA-1: Point of Analysis #1

Inflow Area = 0.607 ac, 56.60% Impervious, Inflow Depth = 3.13" for 2-yr event
 Inflow = 3.09 cfs @ 11.96 hrs, Volume= 0.158 af
 Primary = 3.09 cfs @ 11.96 hrs, Volume= 0.158 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Summary for Link PA-2: Point of Analysis #2

Inflow Area = 0.447 ac, 16.36% Impervious, Inflow Depth = 1.16" for 2-yr event
 Inflow = 0.70 cfs @ 12.05 hrs, Volume= 0.043 af
 Primary = 0.70 cfs @ 12.05 hrs, Volume= 0.043 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

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Type II 24-hr 25-yr Rainfall=8.20"

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Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: TO CB-2351

Runoff Area=26,448 sf 56.60% Impervious Runoff Depth=7.12"
Tc=6.0 min CN=91 Runoff=6.67 cfs 0.360 af

Subcatchment 2S: To Wetland

Runoff Area=19,478 sf 16.36% Impervious Runoff Depth=4.17"
Tc=12.0 min CN=66 Runoff=2.65 cfs 0.155 af

Pond 1P: CB-2351

Peak Elev=12.44' Inflow=6.67 cfs 0.360 af
Outflow=6.67 cfs 0.360 af

Link PA-1: Point of Analysis #1

Inflow=6.67 cfs 0.360 af
Primary=6.67 cfs 0.360 af

Link PA-2: Point of Analysis #2

Inflow=2.65 cfs 0.155 af
Primary=2.65 cfs 0.155 af

Total Runoff Area = 1.054 ac Runoff Volume = 0.516 af Average Runoff Depth = 5.87"
60.46% Pervious = 0.637 ac 39.54% Impervious = 0.417 ac

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Type II 24-hr 25-yr Rainfall=8.20"

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Summary for Subcatchment 1S: TO CB-2351

Runoff = 6.67 cfs @ 11.96 hrs, Volume= 0.360 af, Depth= 7.12"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 4,372 | 98 | Roofs, HSG B |
| 10,058 | 98 | Paved parking, HSG B |
| 6,716 | 96 | Gravel surface, HSG B |
| * 540 | 98 | Ledge, HSG B |
| 4,762 | 61 | >75% Grass cover, Good, HSG B |
| 26,448 | 91 | Weighted Average |
| 11,478 | | 43.40% Pervious Area |
| 14,970 | | 56.60% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 2S: To Wetland

Runoff = 2.65 cfs @ 12.04 hrs, Volume= 0.155 af, Depth= 4.17"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 1,125 | 98 | Roofs, HSG B |
| 1,882 | 98 | Paved parking, HSG B |
| 1,410 | 96 | Gravel surface, HSG B |
| * 180 | 98 | Ledge, HSG B |
| 2,232 | 61 | >75% Grass cover, Good, HSG B |
| 12,649 | 55 | Woods, Good, HSG B |
| 19,478 | 66 | Weighted Average |
| 16,291 | | 83.64% Pervious Area |
| 3,187 | | 16.36% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 12.0 | | | | | Direct Entry, |

Summary for Pond 1P: CB-2351

Inflow Area = 0.607 ac, 56.60% Impervious, Inflow Depth = 7.12" for 25-yr event

Inflow = 6.67 cfs @ 11.96 hrs, Volume= 0.360 af

Outflow = 6.67 cfs @ 11.96 hrs, Volume= 0.360 af, Atten= 0%, Lag= 0.0 min

Primary = 6.67 cfs @ 11.96 hrs, Volume= 0.360 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

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Type II 24-hr 25-yr Rainfall=8.20"

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Peak Elev= 12.44' @ 11.96 hrs

Flood Elev= 22.40'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 10.55' | 15.0" Vert. Orifice/Grate C= 0.600 |

Primary OutFlow Max=6.50 cfs @ 11.96 hrs HW=12.39' (Free Discharge)

↳ **1=Orifice/Grate** (Orifice Controls 6.50 cfs @ 5.30 fps)

Summary for Link PA-1: Point of Analysis #1

Inflow Area = 0.607 ac, 56.60% Impervious, Inflow Depth = 7.12" for 25-yr event
 Inflow = 6.67 cfs @ 11.96 hrs, Volume= 0.360 af
 Primary = 6.67 cfs @ 11.96 hrs, Volume= 0.360 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Summary for Link PA-2: Point of Analysis #2

Inflow Area = 0.447 ac, 16.36% Impervious, Inflow Depth = 4.17" for 25-yr event
 Inflow = 2.65 cfs @ 12.04 hrs, Volume= 0.155 af
 Primary = 2.65 cfs @ 12.04 hrs, Volume= 0.155 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

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Type II 24-hr 50-yr Rainfall=9.91"

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Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: TO CB-2351

Runoff Area=26,448 sf 56.60% Impervious Runoff Depth=8.81"
Tc=6.0 min CN=91 Runoff=8.14 cfs 0.446 af

Subcatchment 2S: To Wetland

Runoff Area=19,478 sf 16.36% Impervious Runoff Depth=5.62"
Tc=12.0 min CN=66 Runoff=3.56 cfs 0.209 af

Pond 1P: CB-2351

Peak Elev=13.07' Inflow=8.14 cfs 0.446 af
Outflow=8.14 cfs 0.446 af

Link PA-1: Point of Analysis #1

Inflow=8.14 cfs 0.446 af
Primary=8.14 cfs 0.446 af

Link PA-2: Point of Analysis #2

Inflow=3.56 cfs 0.209 af
Primary=3.56 cfs 0.209 af

Total Runoff Area = 1.054 ac Runoff Volume = 0.655 af Average Runoff Depth = 7.46"
60.46% Pervious = 0.637 ac 39.54% Impervious = 0.417 ac

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Type II 24-hr 50-yr Rainfall=9.91"

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Summary for Subcatchment 1S: TO CB-2351

Runoff = 8.14 cfs @ 11.96 hrs, Volume= 0.446 af, Depth= 8.81"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 4,372 | 98 | Roofs, HSG B |
| 10,058 | 98 | Paved parking, HSG B |
| 6,716 | 96 | Gravel surface, HSG B |
| * 540 | 98 | Ledge, HSG B |
| 4,762 | 61 | >75% Grass cover, Good, HSG B |
| 26,448 | 91 | Weighted Average |
| 11,478 | | 43.40% Pervious Area |
| 14,970 | | 56.60% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 2S: To Wetland

Runoff = 3.56 cfs @ 12.04 hrs, Volume= 0.209 af, Depth= 5.62"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 1,125 | 98 | Roofs, HSG B |
| 1,882 | 98 | Paved parking, HSG B |
| 1,410 | 96 | Gravel surface, HSG B |
| * 180 | 98 | Ledge, HSG B |
| 2,232 | 61 | >75% Grass cover, Good, HSG B |
| 12,649 | 55 | Woods, Good, HSG B |
| 19,478 | 66 | Weighted Average |
| 16,291 | | 83.64% Pervious Area |
| 3,187 | | 16.36% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 12.0 | | | | | Direct Entry, |

Summary for Pond 1P: CB-2351

Inflow Area = 0.607 ac, 56.60% Impervious, Inflow Depth = 8.81" for 50-yr event
 Inflow = 8.14 cfs @ 11.96 hrs, Volume= 0.446 af
 Outflow = 8.14 cfs @ 11.96 hrs, Volume= 0.446 af, Atten= 0%, Lag= 0.0 min
 Primary = 8.14 cfs @ 11.96 hrs, Volume= 0.446 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

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Type II 24-hr 50-yr Rainfall=9.91"

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Peak Elev= 13.07' @ 11.96 hrs

Flood Elev= 22.40'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 10.55' | 15.0" Vert. Orifice/Grate C= 0.600 |

Primary OutFlow Max=7.95 cfs @ 11.96 hrs HW=12.98' (Free Discharge)↑**1=Orifice/Grate** (Orifice Controls 7.95 cfs @ 6.48 fps)**Summary for Link PA-1: Point of Analysis #1**

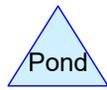
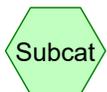
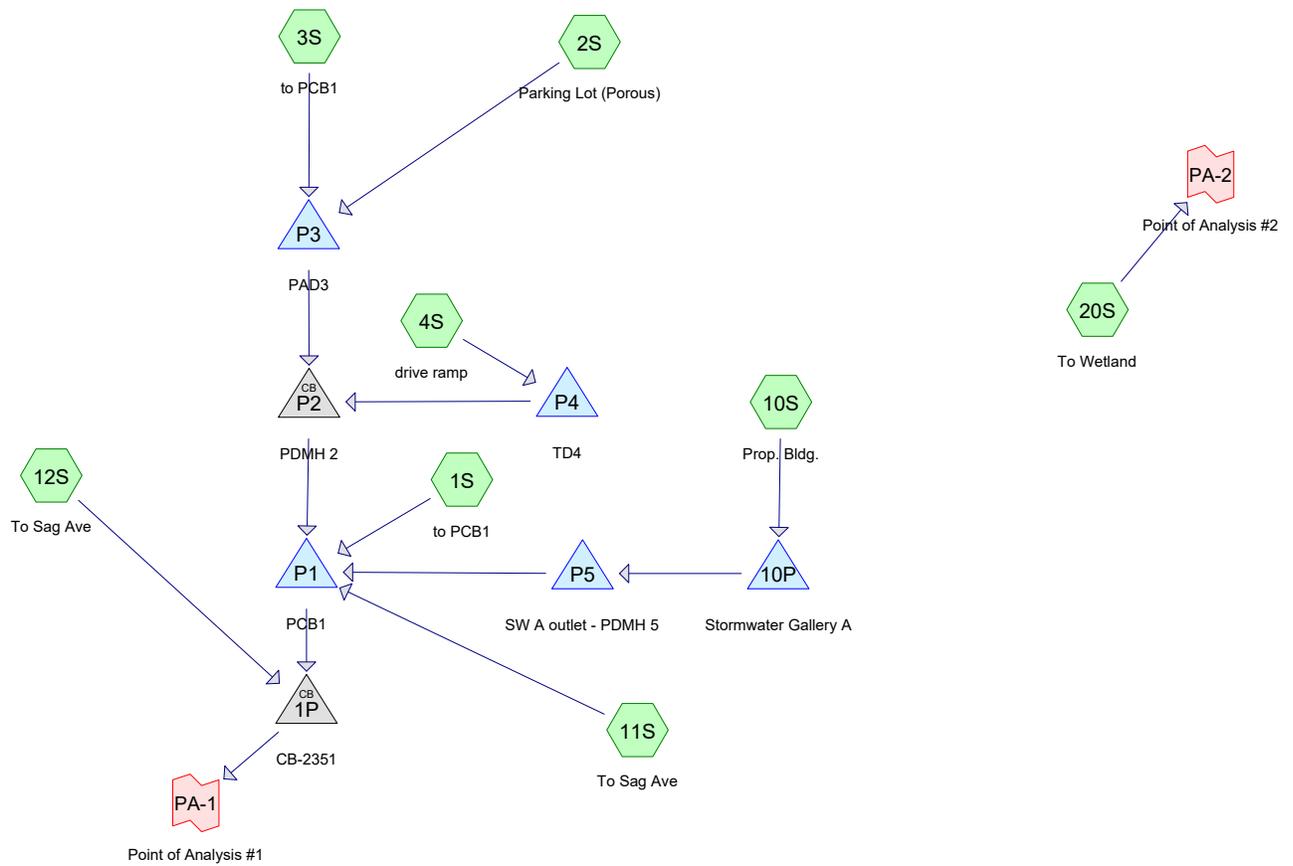
Inflow Area = 0.607 ac, 56.60% Impervious, Inflow Depth = 8.81" for 50-yr event
 Inflow = 8.14 cfs @ 11.96 hrs, Volume= 0.446 af
 Primary = 8.14 cfs @ 11.96 hrs, Volume= 0.446 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Summary for Link PA-2: Point of Analysis #2

Inflow Area = 0.447 ac, 16.36% Impervious, Inflow Depth = 5.62" for 50-yr event
 Inflow = 3.56 cfs @ 12.04 hrs, Volume= 0.209 af
 Primary = 3.56 cfs @ 12.04 hrs, Volume= 0.209 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs



Routing Diagram for 5079.Post_111821
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Area Listing (all nodes)

| Area (acres) | CN | Description (subcatchment-numbers) |
|-----------------|-----------|---|
| 0.336 | 61 | >75% Grass cover, Good, HSG B (1S, 2S, 3S, 11S, 12S, 20S) |
| 0.004 | 98 | Ledge, HSG B (20S) |
| 0.174 | 98 | Paved parking, HSG B (2S, 3S, 4S, 12S, 20S) |
| 0.002 | 98 | Pavers, HSG B (20S) |
| 0.041 | 98 | Porous Pavement, HSG B (2S) |
| 0.189 | 98 | Roofs, HSG B (10S) |
| 0.028 | 98 | Unconnected pavement, HSG B (1S, 2S, 3S, 11S, 12S, 20S) |
| 0.280 | 55 | Woods, Good, HSG B (20S) |
| 1.054 | 75 | TOTAL AREA |

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Soil Listing (all nodes)

| Area (acres) | Soil Group | Subcatchment Numbers |
|-----------------|---------------|------------------------------------|
| 0.000 | HSG A | |
| 1.054 | HSG B | 1S, 2S, 3S, 4S, 10S, 11S, 12S, 20S |
| 0.000 | HSG C | |
| 0.000 | HSG D | |
| 0.000 | Other | |
| 1.054 | | TOTAL AREA |

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Ground Covers (all nodes)

| HSG-A (acres) | HSG-B (acres) | HSG-C (acres) | HSG-D (acres) | Other (acres) | Total (acres) | Ground Cover | Subcatchment Numbers |
|------------------|------------------|------------------|------------------|------------------|------------------|------------------------|---------------------------------|
| 0.000 | 0.336 | 0.000 | 0.000 | 0.000 | 0.336 | >75% Grass cover, Good | 1S, 2S, 3S, 11S, 12S, 20S |
| 0.000 | 0.004 | 0.000 | 0.000 | 0.000 | 0.004 | Ledge | 20S |
| 0.000 | 0.174 | 0.000 | 0.000 | 0.000 | 0.174 | Paved parking | 2S, 3S, 4S, 12S, 20S |
| 0.000 | 0.002 | 0.000 | 0.000 | 0.000 | 0.002 | Pavers | 20S |
| 0.000 | 0.041 | 0.000 | 0.000 | 0.000 | 0.041 | Porous Pavement | 2S |
| 0.000 | 0.189 | 0.000 | 0.000 | 0.000 | 0.189 | Roofs | 10S |
| 0.000 | 0.028 | 0.000 | 0.000 | 0.000 | 0.028 | Unconnected pavement | 1S, 2S, 3S, 11S, 12S, 20S |
| 0.000 | 0.280 | 0.000 | 0.000 | 0.000 | 0.280 | Woods, Good | 20S |
| 0.000 | 1.054 | 0.000 | 0.000 | 0.000 | 1.054 | TOTAL AREA | |

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Pipe Listing (all nodes)

| Line# | Node Number | In-Invert (feet) | Out-Invert (feet) | Length (feet) | Slope (ft/ft) | n | Diam/Width (inches) | Height (inches) | Inside-Fill (inches) |
|-------|----------------|---------------------|----------------------|------------------|------------------|-------|------------------------|--------------------|-------------------------|
| 1 | P1 | 16.40 | 16.20 | 12.0 | 0.0167 | 0.012 | 12.0 | 0.0 | 0.0 |
| 2 | P2 | 16.80 | 16.50 | 50.0 | 0.0060 | 0.012 | 12.0 | 0.0 | 0.0 |
| 3 | P3 | 17.00 | 16.90 | 20.0 | 0.0050 | 0.012 | 12.0 | 0.0 | 0.0 |
| 4 | P4 | 17.10 | 16.90 | 24.0 | 0.0083 | 0.012 | 8.0 | 0.0 | 0.0 |
| 5 | P5 | 16.50 | 16.40 | 10.0 | 0.0100 | 0.012 | 12.0 | 0.0 | 0.0 |

Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

| | |
|--|---|
| Subcatchment 1S: to PCB1 | Runoff Area=2,145 sf 5.13% Impervious Runoff Depth=1.82" Tc=6.0 min UI Adjusted CN=62 Runoff=0.15 cfs 0.007 af |
| Subcatchment 2S: Parking Lot (Porous) | Runoff Area=3,595 sf 82.48% Impervious Runoff Depth>3.77" Tc=790.0 min CN=92 Runoff=0.03 cfs 0.026 af |
| Subcatchment 3S: to PCB1 | Runoff Area=2,735 sf 11.52% Impervious Runoff Depth=2.06" Tc=6.0 min CN=65 Runoff=0.23 cfs 0.011 af |
| Subcatchment 4S: drive ramp | Runoff Area=680 sf 100.00% Impervious Runoff Depth=5.36" Tc=6.0 min CN=98 Runoff=0.12 cfs 0.007 af |
| Subcatchment 10S: Prop. Bldg. | Runoff Area=8,245 sf 100.00% Impervious Runoff Depth=5.36" Tc=6.0 min CN=98 Runoff=1.47 cfs 0.085 af |
| Subcatchment 11S: To Sag Ave | Runoff Area=3,695 sf 10.96% Impervious Runoff Depth=1.90" Tc=6.0 min UI Adjusted CN=63 Runoff=0.28 cfs 0.013 af |
| Subcatchment 12S: To Sag Ave | Runoff Area=5,395 sf 73.03% Impervious Runoff Depth=4.24" Tc=6.0 min CN=88 Runoff=0.85 cfs 0.044 af |
| Subcatchment 20S: To Wetland | Runoff Area=19,422 sf 12.51% Impervious Runoff Depth=1.82" Tc=12.0 min CN=62 Runoff=1.12 cfs 0.068 af |
| Pond 1P: CB-2351 | Peak Elev=11.46' Inflow=3.12 cfs 0.191 af Outflow=3.12 cfs 0.191 af |
| Pond 10P: Stormwater Gallery A | Peak Elev=26.18' Storage=588 cf Inflow=1.47 cfs 0.085 af Outflow=1.51 cfs 0.082 af |
| Pond P1: PCB1 | Peak Elev=17.32' Storage=12 cf Inflow=2.28 cfs 0.147 af 12.0" Round Culvert n=0.012 L=12.0' S=0.0167 '/' Outflow=2.29 cfs 0.147 af |
| Pond P2: PDMH 2 | Peak Elev=17.11' Inflow=0.34 cfs 0.044 af 12.0" Round Culvert n=0.012 L=50.0' S=0.0060 '/' Outflow=0.34 cfs 0.044 af |
| Pond P3: PAD3 | Peak Elev=17.27' Storage=1 cf Inflow=0.23 cfs 0.037 af 12.0" Round Culvert n=0.012 L=20.0' S=0.0050 '/' Outflow=0.23 cfs 0.037 af |
| Pond P4: TD4 | Peak Elev=17.30' Storage=1 cf Inflow=0.12 cfs 0.007 af 8.0" Round Culvert n=0.012 L=24.0' S=0.0083 '/' Outflow=0.12 cfs 0.007 af |
| Pond P5: SW A outlet - PDMH 5 | Peak Elev=17.26' Storage=10 cf Inflow=1.51 cfs 0.082 af 12.0" Round Culvert n=0.012 L=10.0' S=0.0100 '/' Outflow=1.51 cfs 0.082 af |
| Link PA-1: Point of Analysis #1 | Inflow=3.12 cfs 0.191 af Primary=3.12 cfs 0.191 af |

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Type II 24-hr 10-yr Rainfall=5.60"

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Link PA-2: Point of Analysis #2

Inflow=1.12 cfs 0.068 af

Primary=1.12 cfs 0.068 af

Total Runoff Area = 1.054 ac Runoff Volume = 0.261 af Average Runoff Depth = 2.97"
58.42% Pervious = 0.616 ac 41.58% Impervious = 0.438 ac

Summary for Subcatchment 1S: to PCB1

Runoff = 0.15 cfs @ 11.98 hrs, Volume= 0.007 af, Depth= 1.82"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

| Area (sf) | CN | Adj | Description |
|-----------|----|-----|-------------------------------|
| 2,035 | 61 | | >75% Grass cover, Good, HSG B |
| 110 | 98 | | Unconnected pavement, HSG B |
| 2,145 | 63 | 62 | Weighted Average, UI Adjusted |
| 2,035 | | | 94.87% Pervious Area |
| 110 | | | 5.13% Impervious Area |
| 110 | | | 100.00% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 2S: Parking Lot (Porous)

Runoff = 0.03 cfs @ 21.94 hrs, Volume= 0.026 af, Depth> 3.77"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 630 | 61 | >75% Grass cover, Good, HSG B |
| 825 | 98 | Paved parking, HSG B |
| * 1,780 | 98 | Porous Pavement, HSG B |
| 360 | 98 | Unconnected pavement, HSG B |
| 3,595 | 92 | Weighted Average |
| 630 | | 17.52% Pervious Area |
| 2,965 | | 82.48% Impervious Area |
| 360 | | 12.14% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 790.0 | | | | | Direct Entry, |

Summary for Subcatchment 3S: to PCB1

Runoff = 0.23 cfs @ 11.98 hrs, Volume= 0.011 af, Depth= 2.06"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

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Type II 24-hr 10-yr Rainfall=5.60"

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| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 2,420 | 61 | >75% Grass cover, Good, HSG B |
| 210 | 98 | Paved parking, HSG B |
| 105 | 98 | Unconnected pavement, HSG B |
| 2,735 | 65 | Weighted Average |
| 2,420 | | 88.48% Pervious Area |
| 315 | | 11.52% Impervious Area |
| 105 | | 33.33% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 4S: drive ramp

Runoff = 0.12 cfs @ 11.96 hrs, Volume= 0.007 af, Depth= 5.36"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 680 | 98 | Paved parking, HSG B |
| 680 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 10S: Prop. Bldg.

Runoff = 1.47 cfs @ 11.96 hrs, Volume= 0.085 af, Depth= 5.36"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 8,245 | 98 | Roofs, HSG B |
| 8,245 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 11S: To Sag Ave

Runoff = 0.28 cfs @ 11.98 hrs, Volume= 0.013 af, Depth= 1.90"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

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Type II 24-hr 10-yr Rainfall=5.60"

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| Area (sf) | CN | Adj | Description |
|-----------|----|-----|-------------------------------|
| 3,290 | 61 | | >75% Grass cover, Good, HSG B |
| 275 | 98 | | Unconnected pavement, HSG B |
| 130 | 98 | | Unconnected pavement, HSG B |
| 3,695 | 65 | 63 | Weighted Average, UI Adjusted |
| 3,290 | | | 89.04% Pervious Area |
| 405 | | | 10.96% Impervious Area |
| 405 | | | 100.00% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 12S: To Sag Ave

Runoff = 0.85 cfs @ 11.96 hrs, Volume= 0.044 af, Depth= 4.24"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 3,260 | 98 | Paved parking, HSG B |
| 480 | 98 | Paved parking, HSG B |
| 730 | 61 | >75% Grass cover, Good, HSG B |
| 200 | 98 | Unconnected pavement, HSG B |
| 725 | 61 | >75% Grass cover, Good, HSG B |
| 5,395 | 88 | Weighted Average |
| 1,455 | | 26.97% Pervious Area |
| 3,940 | | 73.03% Impervious Area |
| 200 | | 5.08% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 20S: To Wetland

Runoff = 1.12 cfs @ 12.05 hrs, Volume= 0.068 af, Depth= 1.82"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-yr Rainfall=5.60"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 2,110 | 98 | Paved parking, HSG B |
| * 100 | 98 | Pavers, HSG B |
| 40 | 98 | Unconnected pavement, HSG B |
| * 180 | 98 | Ledge, HSG B |
| 4,810 | 61 | >75% Grass cover, Good, HSG B |
| 12,182 | 55 | Woods, Good, HSG B |
| 19,422 | 62 | Weighted Average |
| 16,992 | | 87.49% Pervious Area |
| 2,430 | | 12.51% Impervious Area |
| 40 | | 1.65% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 12.0 | | | | | Direct Entry, |

Summary for Pond 1P: CB-2351

Inflow Area = 0.608 ac, 62.89% Impervious, Inflow Depth > 3.76" for 10-yr event
 Inflow = 3.12 cfs @ 11.99 hrs, Volume= 0.191 af
 Outflow = 3.12 cfs @ 11.99 hrs, Volume= 0.191 af, Atten= 0%, Lag= 0.0 min
 Primary = 3.12 cfs @ 11.99 hrs, Volume= 0.191 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 11.46' @ 11.99 hrs
 Flood Elev= 22.40'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|------------------------------------|
| #1 | Primary | 10.55' | 15.0" Vert. Orifice/Grate C= 0.600 |

Primary OutFlow Max=2.98 cfs @ 11.99 hrs HW=11.44' (Free Discharge)
 ↑1=Orifice/Grate (Orifice Controls 2.98 cfs @ 3.20 fps)

Summary for Pond 10P: Stormwater Gallery A

Inflow Area = 0.189 ac, 100.00% Impervious, Inflow Depth = 5.36" for 10-yr event
 Inflow = 1.47 cfs @ 11.96 hrs, Volume= 0.085 af
 Outflow = 1.51 cfs @ 11.99 hrs, Volume= 0.082 af, Atten= 0%, Lag= 1.9 min
 Primary = 1.51 cfs @ 11.99 hrs, Volume= 0.082 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 26.18' @ 11.99 hrs Surf.Area= 500 sf Storage= 588 cf

Plug-Flow detention time= 45.0 min calculated for 0.082 af (97% of inflow)
 Center-of-Mass det. time= 27.8 min (769.8 - 742.1)

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Type II 24-hr 10-yr Rainfall=5.60"

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| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 24.00' | 487 cf | Custom Stage Data (Prismatic) Listed below (Recalc) 1,500 cf Overall - 283 cf Embedded = 1,217 cf x 40.0% Voids |
| #2 | 24.50' | 283 cf | 24.0" Round Pipe Storage x 4.5 Inside #1 L= 20.0' |
| | | 770 cf | Total Available Storage |

| Elevation (feet) | Surf.Area (sq-ft) | Inc.Store (cubic-feet) | Cum.Store (cubic-feet) |
|---------------------|----------------------|---------------------------|---------------------------|
| 24.00 | 500 | 0 | 0 |
| 27.00 | 500 | 1,500 | 1,500 |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 24.50' | 4.0" Vert. Orifice/Grate C= 0.600 |
| #2 | Primary | 26.00' | 4.0' long Sharp-Crested Vee/Trap Weir Cv= 2.62 (C= 3.28) |

Primary OutFlow Max=1.45 cfs @ 11.99 hrs HW=26.17' (Free Discharge)

1=Orifice/Grate (Orifice Controls 0.52 cfs @ 5.91 fps)

2=Sharp-Crested Vee/Trap Weir (Weir Controls 0.93 cfs @ 1.36 fps)

Summary for Pond P1: PCB1

Inflow Area = 0.484 ac, 60.30% Impervious, Inflow Depth > 3.64" for 10-yr event
 Inflow = 2.28 cfs @ 11.99 hrs, Volume= 0.147 af
 Outflow = 2.29 cfs @ 11.99 hrs, Volume= 0.147 af, Atten= 0%, Lag= 0.1 min
 Primary = 2.29 cfs @ 11.99 hrs, Volume= 0.147 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.32' @ 11.99 hrs Surf.Area= 13 sf Storage= 12 cf

Plug-Flow detention time= 0.3 min calculated for 0.147 af (100% of inflow)

Center-of-Mass det. time= 0.2 min (887.6 - 887.4)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 16.40' | 63 cf | 4.00'D x 5.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.40' | 12.0" Round Culvert L= 12.0' Ke= 0.500 Inlet / Outlet Invert= 16.40' / 16.20' S= 0.0167 '/' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=2.20 cfs @ 11.99 hrs HW=17.29' (Free Discharge)

1=Culvert (Barrel Controls 2.20 cfs @ 3.93 fps)

Summary for Pond P2: PDMH 2

Inflow Area = 0.161 ac, 56.49% Impervious, Inflow Depth > 3.26" for 10-yr event
 Inflow = 0.34 cfs @ 11.97 hrs, Volume= 0.044 af
 Outflow = 0.34 cfs @ 11.97 hrs, Volume= 0.044 af, Atten= 0%, Lag= 0.0 min
 Primary = 0.34 cfs @ 11.97 hrs, Volume= 0.044 af

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Type II 24-hr 10-yr Rainfall=5.60"

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Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.11' @ 11.97 hrs

Flood Elev= 30.07'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.80' | 12.0" Round Culvert L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 16.80' / 16.50' S= 0.0060 ' / ' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=0.32 cfs @ 11.97 hrs HW=17.11' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.32 cfs @ 2.33 fps)**Summary for Pond P3: PAD3**

Inflow Area = 0.145 ac, 51.82% Impervious, Inflow Depth > 3.03" for 10-yr event
 Inflow = 0.23 cfs @ 11.98 hrs, Volume= 0.037 af
 Outflow = 0.23 cfs @ 11.98 hrs, Volume= 0.037 af, Atten= 0%, Lag= 0.1 min
 Primary = 0.23 cfs @ 11.98 hrs, Volume= 0.037 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.27' @ 11.98 hrs Surf.Area= 3 sf Storage= 1 cf

Plug-Flow detention time= 0.2 min calculated for 0.037 af (100% of inflow)

Center-of-Mass det. time= 0.1 min (1,195.9 - 1,195.8)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 17.00' | 13 cf | 2.00'D x 4.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 17.00' | 12.0" Round Culvert L= 20.0' Ke= 0.500 Inlet / Outlet Invert= 17.00' / 16.90' S= 0.0050 ' / ' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=0.22 cfs @ 11.98 hrs HW=17.27' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.22 cfs @ 1.92 fps)**Summary for Pond P4: TD4**

Inflow Area = 0.016 ac, 100.00% Impervious, Inflow Depth = 5.36" for 10-yr event
 Inflow = 0.12 cfs @ 11.96 hrs, Volume= 0.007 af
 Outflow = 0.12 cfs @ 11.96 hrs, Volume= 0.007 af, Atten= 0%, Lag= 0.1 min
 Primary = 0.12 cfs @ 11.96 hrs, Volume= 0.007 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.30' @ 11.96 hrs Surf.Area= 3 sf Storage= 1 cf

Plug-Flow detention time= 0.4 min calculated for 0.007 af (100% of inflow)

Center-of-Mass det. time= 0.4 min (742.4 - 742.1)

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Type II 24-hr 10-yr Rainfall=5.60"

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| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 17.10' | 9 cf | 2.00'D x 3.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|--|
| #1 | Primary | 17.10' | 8.0" Round Culvert L= 24.0' Ke= 0.500 Inlet / Outlet Invert= 17.10' / 16.90' S= 0.0083 '/' Cc= 0.900 n= 0.012, Flow Area= 0.35 sf |

Primary OutFlow Max=0.12 cfs @ 11.96 hrs HW=17.30' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.12 cfs @ 2.00 fps)**Summary for Pond P5: SW A outlet - PDMH 5**

Inflow Area = 0.189 ac, 100.00% Impervious, Inflow Depth = 5.22" for 10-yr event
 Inflow = 1.51 cfs @ 11.99 hrs, Volume= 0.082 af
 Outflow = 1.51 cfs @ 11.99 hrs, Volume= 0.082 af, Atten= 0%, Lag= 0.0 min
 Primary = 1.51 cfs @ 11.99 hrs, Volume= 0.082 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 2

Peak Elev= 17.26' @ 11.99 hrs Surf.Area= 13 sf Storage= 10 cf

Flood Elev= 40.50' Surf.Area= 13 sf Storage= 132 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)

Center-of-Mass det. time= 0.1 min (770.0 - 769.8)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|--|
| #1 | 16.50' | 132 cf | 4.00'D x 10.50'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.50' | 12.0" Round Culvert L= 10.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 16.50' / 16.40' S= 0.0100 '/' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=1.45 cfs @ 11.99 hrs HW=17.24' (Free Discharge)↑**1=Culvert** (Barrel Controls 1.45 cfs @ 3.24 fps)**Summary for Link PA-1: Point of Analysis #1**

Inflow Area = 0.608 ac, 62.89% Impervious, Inflow Depth > 3.76" for 10-yr event
 Inflow = 3.12 cfs @ 11.99 hrs, Volume= 0.191 af
 Primary = 3.12 cfs @ 11.99 hrs, Volume= 0.191 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Summary for Link PA-2: Point of Analysis #2

Inflow Area = 0.446 ac, 12.51% Impervious, Inflow Depth = 1.82" for 10-yr event
Inflow = 1.12 cfs @ 12.05 hrs, Volume= 0.068 af
Primary = 1.12 cfs @ 12.05 hrs, Volume= 0.068 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

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Pipe Listing (all nodes)

| Line# | Node Number | In-Invert (feet) | Out-Invert (feet) | Length (feet) | Slope (ft/ft) | n | Diam/Width (inches) | Height (inches) | Inside-Fill (inches) |
|-------|----------------|---------------------|----------------------|------------------|------------------|-------|------------------------|--------------------|-------------------------|
| 1 | P1 | 16.40 | 16.20 | 12.0 | 0.0167 | 0.012 | 12.0 | 0.0 | 0.0 |
| 2 | P2 | 16.80 | 16.50 | 50.0 | 0.0060 | 0.012 | 12.0 | 0.0 | 0.0 |
| 3 | P3 | 17.00 | 16.90 | 20.0 | 0.0050 | 0.012 | 12.0 | 0.0 | 0.0 |
| 4 | P4 | 17.10 | 16.90 | 24.0 | 0.0083 | 0.012 | 8.0 | 0.0 | 0.0 |
| 5 | P5 | 16.50 | 16.40 | 10.0 | 0.0100 | 0.012 | 12.0 | 0.0 | 0.0 |

Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

| | |
|--|--|
| Subcatchment 1S: to PCB1 | Runoff Area=2,145 sf 5.13% Impervious Runoff Depth=0.93" Tc=6.0 min UI Adjusted CN=62 Runoff=0.07 cfs 0.004 af |
| Subcatchment 2S: Parking Lot (Porous) | Runoff Area=3,595 sf 82.48% Impervious Runoff Depth>2.59" Tc=790.0 min CN=92 Runoff=0.02 cfs 0.018 af |
| Subcatchment 3S: to PCB1 | Runoff Area=2,735 sf 11.52% Impervious Runoff Depth=1.10" Tc=6.0 min CN=65 Runoff=0.12 cfs 0.006 af |
| Subcatchment 4S: drive ramp | Runoff Area=680 sf 100.00% Impervious Runoff Depth=3.88" Tc=6.0 min CN=98 Runoff=0.09 cfs 0.005 af |
| Subcatchment 10S: Prop. Bldg. | Runoff Area=8,245 sf 100.00% Impervious Runoff Depth=3.88" Tc=6.0 min CN=98 Runoff=1.08 cfs 0.061 af |
| Subcatchment 11S: To Sag Ave | Runoff Area=3,695 sf 10.96% Impervious Runoff Depth=0.98" Tc=6.0 min UI Adjusted CN=63 Runoff=0.14 cfs 0.007 af |
| Subcatchment 12S: To Sag Ave | Runoff Area=5,395 sf 73.03% Impervious Runoff Depth=2.84" Tc=6.0 min CN=88 Runoff=0.59 cfs 0.029 af |
| Subcatchment 20S: To Wetland | Runoff Area=19,422 sf 12.51% Impervious Runoff Depth=0.93" Tc=12.0 min CN=62 Runoff=0.53 cfs 0.034 af |
| Pond 1P: CB-2351 | Peak Elev=11.17' Inflow=1.63 cfs 0.128 af Outflow=1.63 cfs 0.128 af |
| Pond 10P: Stormwater Gallery A | Peak Elev=26.09' Storage=564 cf Inflow=1.08 cfs 0.061 af Outflow=0.85 cfs 0.059 af |
| Pond P1: PCB1 | Peak Elev=16.99' Storage=7 cf Inflow=1.16 cfs 0.098 af 12.0" Round Culvert n=0.012 L=12.0' S=0.0167 '/' Outflow=1.16 cfs 0.098 af |
| Pond P2: PDMH 2 | Peak Elev=17.04' Inflow=0.20 cfs 0.029 af 12.0" Round Culvert n=0.012 L=50.0' S=0.0060 '/' Outflow=0.20 cfs 0.029 af |
| Pond P3: PAD3 | Peak Elev=17.19' Storage=1 cf Inflow=0.12 cfs 0.024 af 12.0" Round Culvert n=0.012 L=20.0' S=0.0050 '/' Outflow=0.12 cfs 0.024 af |
| Pond P4: TD4 | Peak Elev=17.27' Storage=1 cf Inflow=0.09 cfs 0.005 af 8.0" Round Culvert n=0.012 L=24.0' S=0.0083 '/' Outflow=0.09 cfs 0.005 af |
| Pond P5: SW A outlet - PDMH 5 | Peak Elev=17.03' Storage=7 cf Inflow=0.85 cfs 0.059 af 12.0" Round Culvert n=0.012 L=10.0' S=0.0100 '/' Outflow=0.84 cfs 0.059 af |
| Link PA-1: Point of Analysis #1 | Inflow=1.63 cfs 0.128 af Primary=1.63 cfs 0.128 af |

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Type II 24-hr 2-yr Rainfall=4.12"

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Link PA-2: Point of Analysis #2

Inflow=0.53 cfs 0.034 af
Primary=0.53 cfs 0.034 af

Total Runoff Area = 1.054 ac Runoff Volume = 0.164 af Average Runoff Depth = 1.87"
58.42% Pervious = 0.616 ac 41.58% Impervious = 0.438 ac

Summary for Subcatchment 1S: to PCB1

Runoff = 0.07 cfs @ 11.99 hrs, Volume= 0.004 af, Depth= 0.93"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

| Area (sf) | CN | Adj | Description |
|-----------|----|-----|-------------------------------|
| 2,035 | 61 | | >75% Grass cover, Good, HSG B |
| 110 | 98 | | Unconnected pavement, HSG B |
| 2,145 | 63 | 62 | Weighted Average, UI Adjusted |
| 2,035 | | | 94.87% Pervious Area |
| 110 | | | 5.13% Impervious Area |
| 110 | | | 100.00% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 2S: Parking Lot (Porous)

Runoff = 0.02 cfs @ 21.95 hrs, Volume= 0.018 af, Depth> 2.59"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 630 | 61 | >75% Grass cover, Good, HSG B |
| 825 | 98 | Paved parking, HSG B |
| * 1,780 | 98 | Porous Pavement, HSG B |
| 360 | 98 | Unconnected pavement, HSG B |
| 3,595 | 92 | Weighted Average |
| 630 | | 17.52% Pervious Area |
| 2,965 | | 82.48% Impervious Area |
| 360 | | 12.14% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 790.0 | | | | | Direct Entry, |

Summary for Subcatchment 3S: to PCB1

Runoff = 0.12 cfs @ 11.98 hrs, Volume= 0.006 af, Depth= 1.10"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

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Type II 24-hr 2-yr Rainfall=4.12"

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| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 2,420 | 61 | >75% Grass cover, Good, HSG B |
| 210 | 98 | Paved parking, HSG B |
| 105 | 98 | Unconnected pavement, HSG B |
| 2,735 | 65 | Weighted Average |
| 2,420 | | 88.48% Pervious Area |
| 315 | | 11.52% Impervious Area |
| 105 | | 33.33% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 4S: drive ramp

Runoff = 0.09 cfs @ 11.96 hrs, Volume= 0.005 af, Depth= 3.88"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 680 | 98 | Paved parking, HSG B |
| 680 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 10S: Prop. Bldg.

Runoff = 1.08 cfs @ 11.96 hrs, Volume= 0.061 af, Depth= 3.88"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 8,245 | 98 | Roofs, HSG B |
| 8,245 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 11S: To Sag Ave

Runoff = 0.14 cfs @ 11.99 hrs, Volume= 0.007 af, Depth= 0.98"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

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Type II 24-hr 2-yr Rainfall=4.12"

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| Area (sf) | CN | Adj | Description |
|-----------|----|-----|-------------------------------|
| 3,290 | 61 | | >75% Grass cover, Good, HSG B |
| 275 | 98 | | Unconnected pavement, HSG B |
| 130 | 98 | | Unconnected pavement, HSG B |
| 3,695 | 65 | 63 | Weighted Average, UI Adjusted |
| 3,290 | | | 89.04% Pervious Area |
| 405 | | | 10.96% Impervious Area |
| 405 | | | 100.00% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 12S: To Sag Ave

Runoff = 0.59 cfs @ 11.97 hrs, Volume= 0.029 af, Depth= 2.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 3,260 | 98 | Paved parking, HSG B |
| 480 | 98 | Paved parking, HSG B |
| 730 | 61 | >75% Grass cover, Good, HSG B |
| 200 | 98 | Unconnected pavement, HSG B |
| 725 | 61 | >75% Grass cover, Good, HSG B |
| 5,395 | 88 | Weighted Average |
| 1,455 | | 26.97% Pervious Area |
| 3,940 | | 73.03% Impervious Area |
| 200 | | 5.08% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 20S: To Wetland

Runoff = 0.53 cfs @ 12.06 hrs, Volume= 0.034 af, Depth= 0.93"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-yr Rainfall=4.12"

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Type II 24-hr 2-yr Rainfall=4.12"

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| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 2,110 | 98 | Paved parking, HSG B |
| * 100 | 98 | Pavers, HSG B |
| 40 | 98 | Unconnected pavement, HSG B |
| * 180 | 98 | Ledge, HSG B |
| 4,810 | 61 | >75% Grass cover, Good, HSG B |
| 12,182 | 55 | Woods, Good, HSG B |
| 19,422 | 62 | Weighted Average |
| 16,992 | | 87.49% Pervious Area |
| 2,430 | | 12.51% Impervious Area |
| 40 | | 1.65% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 12.0 | | | | | Direct Entry, |

Summary for Pond 1P: CB-2351

Inflow Area = 0.608 ac, 62.89% Impervious, Inflow Depth > 2.52" for 2-yr event
 Inflow = 1.63 cfs @ 12.00 hrs, Volume= 0.128 af
 Outflow = 1.63 cfs @ 12.00 hrs, Volume= 0.128 af, Atten= 0%, Lag= 0.0 min
 Primary = 1.63 cfs @ 12.00 hrs, Volume= 0.128 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 11.17' @ 12.00 hrs
 Flood Elev= 22.40'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 10.55' | 15.0" Vert. Orifice/Grate C= 0.600 |

Primary OutFlow Max=1.61 cfs @ 12.00 hrs HW=11.17' (Free Discharge)
 ↑**1=Orifice/Grate** (Orifice Controls 1.61 cfs @ 2.67 fps)

Summary for Pond 10P: Stormwater Gallery A

Inflow Area = 0.189 ac, 100.00% Impervious, Inflow Depth = 3.88" for 2-yr event
 Inflow = 1.08 cfs @ 11.96 hrs, Volume= 0.061 af
 Outflow = 0.85 cfs @ 12.04 hrs, Volume= 0.059 af, Atten= 21%, Lag= 4.7 min
 Primary = 0.85 cfs @ 12.04 hrs, Volume= 0.059 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 26.09' @ 12.03 hrs Surf.Area= 500 sf Storage= 564 cf

Plug-Flow detention time= 56.6 min calculated for 0.059 af (96% of inflow)
 Center-of-Mass det. time= 33.5 min (780.9 - 747.4)

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Type II 24-hr 2-yr Rainfall=4.12"

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| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 24.00' | 487 cf | Custom Stage Data (Prismatic) Listed below (Recalc) 1,500 cf Overall - 283 cf Embedded = 1,217 cf x 40.0% Voids |
| #2 | 24.50' | 283 cf | 24.0" Round Pipe Storage x 4.5 Inside #1 L= 20.0' |
| | | 770 cf | Total Available Storage |

| Elevation (feet) | Surf.Area (sq-ft) | Inc.Store (cubic-feet) | Cum.Store (cubic-feet) |
|---------------------|----------------------|---------------------------|---------------------------|
| 24.00 | 500 | 0 | 0 |
| 27.00 | 500 | 1,500 | 1,500 |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 24.50' | 4.0" Vert. Orifice/Grate C= 0.600 |
| #2 | Primary | 26.00' | 4.0' long Sharp-Crested Vee/Trap Weir Cv= 2.62 (C= 3.28) |

Primary OutFlow Max=0.80 cfs @ 12.04 hrs HW=26.08' (Free Discharge)

1=Orifice/Grate (Orifice Controls 0.50 cfs @ 5.73 fps)

2=Sharp-Crested Vee/Trap Weir (Weir Controls 0.30 cfs @ 0.93 fps)

Summary for Pond P1: PCB1

Inflow Area = 0.484 ac, 60.30% Impervious, Inflow Depth > 2.44" for 2-yr event
 Inflow = 1.16 cfs @ 12.03 hrs, Volume= 0.098 af
 Outflow = 1.16 cfs @ 12.03 hrs, Volume= 0.098 af, Atten= 0%, Lag= 0.1 min
 Primary = 1.16 cfs @ 12.03 hrs, Volume= 0.098 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 16.99' @ 12.03 hrs Surf.Area= 13 sf Storage= 7 cf

Plug-Flow detention time= 0.4 min calculated for 0.098 af (100% of inflow)
 Center-of-Mass det. time= 0.3 min (898.0 - 897.8)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 16.40' | 63 cf | 4.00'D x 5.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.40' | 12.0" Round Culvert L= 12.0' Ke= 0.500 Inlet / Outlet Invert= 16.40' / 16.20' S= 0.0167 '/' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=1.09 cfs @ 12.03 hrs HW=16.97' (Free Discharge)

1=Culvert (Barrel Controls 1.09 cfs @ 3.43 fps)

Summary for Pond P2: PDMH 2

Inflow Area = 0.161 ac, 56.49% Impervious, Inflow Depth > 2.13" for 2-yr event
 Inflow = 0.20 cfs @ 11.98 hrs, Volume= 0.029 af
 Outflow = 0.20 cfs @ 11.98 hrs, Volume= 0.029 af, Atten= 0%, Lag= 0.0 min
 Primary = 0.20 cfs @ 11.98 hrs, Volume= 0.029 af

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Type II 24-hr 2-yr Rainfall=4.12"

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Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.04' @ 11.98 hrs

Flood Elev= 30.07'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.80' | 12.0" Round Culvert L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 16.80' / 16.50' S= 0.0060 ' / ' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=0.19 cfs @ 11.98 hrs HW=17.03' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.19 cfs @ 2.02 fps)**Summary for Pond P3: PAD3**

Inflow Area = 0.145 ac, 51.82% Impervious, Inflow Depth > 1.94" for 2-yr event
 Inflow = 0.12 cfs @ 11.98 hrs, Volume= 0.024 af
 Outflow = 0.12 cfs @ 11.98 hrs, Volume= 0.024 af, Atten= 0%, Lag= 0.1 min
 Primary = 0.12 cfs @ 11.98 hrs, Volume= 0.024 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.19' @ 11.98 hrs Surf.Area= 3 sf Storage= 1 cf

Plug-Flow detention time= 0.2 min calculated for 0.024 af (100% of inflow)

Center-of-Mass det. time= 0.1 min (1,230.8 - 1,230.7)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 17.00' | 13 cf | 2.00'D x 4.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 17.00' | 12.0" Round Culvert L= 20.0' Ke= 0.500 Inlet / Outlet Invert= 17.00' / 16.90' S= 0.0050 ' / ' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=0.11 cfs @ 11.98 hrs HW=17.19' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.11 cfs @ 1.62 fps)**Summary for Pond P4: TD4**

Inflow Area = 0.016 ac, 100.00% Impervious, Inflow Depth = 3.88" for 2-yr event
 Inflow = 0.09 cfs @ 11.96 hrs, Volume= 0.005 af
 Outflow = 0.09 cfs @ 11.96 hrs, Volume= 0.005 af, Atten= 0%, Lag= 0.1 min
 Primary = 0.09 cfs @ 11.96 hrs, Volume= 0.005 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.27' @ 11.96 hrs Surf.Area= 3 sf Storage= 1 cf

Plug-Flow detention time= 0.4 min calculated for 0.005 af (100% of inflow)

Center-of-Mass det. time= 0.4 min (747.8 - 747.4)

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Type II 24-hr 2-yr Rainfall=4.12"

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| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 17.10' | 9 cf | 2.00'D x 3.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|--|
| #1 | Primary | 17.10' | 8.0" Round Culvert L= 24.0' Ke= 0.500 Inlet / Outlet Invert= 17.10' / 16.90' S= 0.0083 '/' Cc= 0.900 n= 0.012, Flow Area= 0.35 sf |

Primary OutFlow Max=0.09 cfs @ 11.96 hrs HW=17.27' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.09 cfs @ 1.85 fps)**Summary for Pond P5: SW A outlet - PDMH 5**

Inflow Area = 0.189 ac, 100.00% Impervious, Inflow Depth = 3.74" for 2-yr event
 Inflow = 0.85 cfs @ 12.04 hrs, Volume= 0.059 af
 Outflow = 0.84 cfs @ 12.04 hrs, Volume= 0.059 af, Atten= 1%, Lag= 0.0 min
 Primary = 0.84 cfs @ 12.04 hrs, Volume= 0.059 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 2

Peak Elev= 17.03' @ 12.04 hrs Surf.Area= 13 sf Storage= 7 cf

Flood Elev= 40.50' Surf.Area= 13 sf Storage= 132 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)

Center-of-Mass det. time= 0.2 min (781.1 - 780.9)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|--|
| #1 | 16.50' | 132 cf | 4.00'D x 10.50'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.50' | 12.0" Round Culvert L= 10.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 16.50' / 16.40' S= 0.0100 '/' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=0.79 cfs @ 12.04 hrs HW=17.01' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.79 cfs @ 2.83 fps)**Summary for Link PA-1: Point of Analysis #1**

Inflow Area = 0.608 ac, 62.89% Impervious, Inflow Depth > 2.52" for 2-yr event
 Inflow = 1.63 cfs @ 12.00 hrs, Volume= 0.128 af
 Primary = 1.63 cfs @ 12.00 hrs, Volume= 0.128 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Summary for Link PA-2: Point of Analysis #2

Inflow Area = 0.446 ac, 12.51% Impervious, Inflow Depth = 0.93" for 2-yr event
Inflow = 0.53 cfs @ 12.06 hrs, Volume= 0.034 af
Primary = 0.53 cfs @ 12.06 hrs, Volume= 0.034 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

| | |
|--|---|
| Subcatchment 1S: to PCB1 | Runoff Area=2,145 sf 5.13% Impervious Runoff Depth=3.71" Tc=6.0 min UI Adjusted CN=62 Runoff=0.32 cfs 0.015 af |
| Subcatchment 2S: Parking Lot (Porous) | Runoff Area=3,595 sf 82.48% Impervious Runoff Depth>5.87" Tc=790.0 min CN=92 Runoff=0.04 cfs 0.040 af |
| Subcatchment 3S: to PCB1 | Runoff Area=2,735 sf 11.52% Impervious Runoff Depth=4.06" Tc=6.0 min CN=65 Runoff=0.44 cfs 0.021 af |
| Subcatchment 4S: drive ramp | Runoff Area=680 sf 100.00% Impervious Runoff Depth=7.96" Tc=6.0 min CN=98 Runoff=0.18 cfs 0.010 af |
| Subcatchment 10S: Prop. Bldg. | Runoff Area=8,245 sf 100.00% Impervious Runoff Depth=7.96" Tc=6.0 min CN=98 Runoff=2.16 cfs 0.126 af |
| Subcatchment 11S: To Sag Ave | Runoff Area=3,695 sf 10.96% Impervious Runoff Depth=3.83" Tc=6.0 min UI Adjusted CN=63 Runoff=0.56 cfs 0.027 af |
| Subcatchment 12S: To Sag Ave | Runoff Area=5,395 sf 73.03% Impervious Runoff Depth=6.76" Tc=6.0 min CN=88 Runoff=1.32 cfs 0.070 af |
| Subcatchment 20S: To Wetland | Runoff Area=19,422 sf 12.51% Impervious Runoff Depth=3.71" Tc=12.0 min CN=62 Runoff=2.35 cfs 0.138 af |
| Pond 1P: CB-2351 | Peak Elev=11.85' Inflow=4.86 cfs 0.307 af Outflow=4.86 cfs 0.307 af |
| Pond 10P: Stormwater Gallery A | Peak Elev=26.25' Storage=607 cf Inflow=2.16 cfs 0.126 af Outflow=2.16 cfs 0.123 af |
| Pond P1: PCB1 | Peak Elev=17.81' Storage=18 cf Inflow=3.66 cfs 0.238 af 12.0" Round Culvert n=0.012 L=12.0' S=0.0167 '/' Outflow=3.63 cfs 0.238 af |
| Pond P2: PDMH 2 | Peak Elev=17.24' Inflow=0.62 cfs 0.072 af 12.0" Round Culvert n=0.012 L=50.0' S=0.0060 '/' Outflow=0.62 cfs 0.072 af |
| Pond P3: PAD3 | Peak Elev=17.39' Storage=1 cf Inflow=0.44 cfs 0.062 af 12.0" Round Culvert n=0.012 L=20.0' S=0.0050 '/' Outflow=0.44 cfs 0.062 af |
| Pond P4: TD4 | Peak Elev=17.35' Storage=1 cf Inflow=0.18 cfs 0.010 af 8.0" Round Culvert n=0.012 L=24.0' S=0.0083 '/' Outflow=0.18 cfs 0.010 af |
| Pond P5: SW A outlet - PDMH 5 | Peak Elev=17.46' Storage=12 cf Inflow=2.16 cfs 0.123 af 12.0" Round Culvert n=0.012 L=10.0' S=0.0100 '/' Outflow=2.16 cfs 0.123 af |
| Link PA-1: Point of Analysis #1 | Inflow=4.86 cfs 0.307 af Primary=4.86 cfs 0.307 af |

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Type II 24-hr 25-yr Rainfall=8.20"

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Link PA-2: Point of Analysis #2

Inflow=2.35 cfs 0.138 af

Primary=2.35 cfs 0.138 af

Total Runoff Area = 1.054 ac Runoff Volume = 0.448 af Average Runoff Depth = 5.09"
58.42% Pervious = 0.616 ac 41.58% Impervious = 0.438 ac

Summary for Subcatchment 1S: to PCB1

Runoff = 0.32 cfs @ 11.97 hrs, Volume= 0.015 af, Depth= 3.71"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

| Area (sf) | CN | Adj | Description |
|-----------|----|-----|-------------------------------|
| 2,035 | 61 | | >75% Grass cover, Good, HSG B |
| 110 | 98 | | Unconnected pavement, HSG B |
| 2,145 | 63 | 62 | Weighted Average, UI Adjusted |
| 2,035 | | | 94.87% Pervious Area |
| 110 | | | 5.13% Impervious Area |
| 110 | | | 100.00% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 2S: Parking Lot (Porous)

Runoff = 0.04 cfs @ 21.94 hrs, Volume= 0.040 af, Depth> 5.87"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 630 | 61 | >75% Grass cover, Good, HSG B |
| 825 | 98 | Paved parking, HSG B |
| * 1,780 | 98 | Porous Pavement, HSG B |
| 360 | 98 | Unconnected pavement, HSG B |
| 3,595 | 92 | Weighted Average |
| 630 | | 17.52% Pervious Area |
| 2,965 | | 82.48% Impervious Area |
| 360 | | 12.14% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 790.0 | | | | | Direct Entry, |

Summary for Subcatchment 3S: to PCB1

Runoff = 0.44 cfs @ 11.97 hrs, Volume= 0.021 af, Depth= 4.06"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

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Type II 24-hr 25-yr Rainfall=8.20"

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| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 2,420 | 61 | >75% Grass cover, Good, HSG B |
| 210 | 98 | Paved parking, HSG B |
| 105 | 98 | Unconnected pavement, HSG B |
| 2,735 | 65 | Weighted Average |
| 2,420 | | 88.48% Pervious Area |
| 315 | | 11.52% Impervious Area |
| 105 | | 33.33% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 4S: drive ramp

Runoff = 0.18 cfs @ 11.96 hrs, Volume= 0.010 af, Depth= 7.96"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 680 | 98 | Paved parking, HSG B |
| 680 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 10S: Prop. Bldg.

Runoff = 2.16 cfs @ 11.96 hrs, Volume= 0.126 af, Depth= 7.96"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 8,245 | 98 | Roofs, HSG B |
| 8,245 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 11S: To Sag Ave

Runoff = 0.56 cfs @ 11.97 hrs, Volume= 0.027 af, Depth= 3.83"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

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Type II 24-hr 25-yr Rainfall=8.20"

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| Area (sf) | CN | Adj | Description |
|-----------|----|-----|-------------------------------|
| 3,290 | 61 | | >75% Grass cover, Good, HSG B |
| 275 | 98 | | Unconnected pavement, HSG B |
| 130 | 98 | | Unconnected pavement, HSG B |
| 3,695 | 65 | 63 | Weighted Average, UI Adjusted |
| 3,290 | | | 89.04% Pervious Area |
| 405 | | | 10.96% Impervious Area |
| 405 | | | 100.00% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 12S: To Sag Ave

Runoff = 1.32 cfs @ 11.96 hrs, Volume= 0.070 af, Depth= 6.76"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 3,260 | 98 | Paved parking, HSG B |
| 480 | 98 | Paved parking, HSG B |
| 730 | 61 | >75% Grass cover, Good, HSG B |
| 200 | 98 | Unconnected pavement, HSG B |
| 725 | 61 | >75% Grass cover, Good, HSG B |
| 5,395 | 88 | Weighted Average |
| 1,455 | | 26.97% Pervious Area |
| 3,940 | | 73.03% Impervious Area |
| 200 | | 5.08% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 20S: To Wetland

Runoff = 2.35 cfs @ 12.04 hrs, Volume= 0.138 af, Depth= 3.71"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-yr Rainfall=8.20"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 2,110 | 98 | Paved parking, HSG B |
| * 100 | 98 | Pavers, HSG B |
| 40 | 98 | Unconnected pavement, HSG B |
| * 180 | 98 | Ledge, HSG B |
| 4,810 | 61 | >75% Grass cover, Good, HSG B |
| 12,182 | 55 | Woods, Good, HSG B |
| 19,422 | 62 | Weighted Average |
| 16,992 | | 87.49% Pervious Area |
| 2,430 | | 12.51% Impervious Area |
| 40 | | 1.65% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 12.0 | | | | | Direct Entry, |

Summary for Pond 1P: CB-2351

Inflow Area = 0.608 ac, 62.89% Impervious, Inflow Depth > 6.07" for 25-yr event
 Inflow = 4.86 cfs @ 11.97 hrs, Volume= 0.307 af
 Outflow = 4.86 cfs @ 11.97 hrs, Volume= 0.307 af, Atten= 0%, Lag= 0.0 min
 Primary = 4.86 cfs @ 11.97 hrs, Volume= 0.307 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 11.85' @ 11.97 hrs
 Flood Elev= 22.40'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|------------------------------------|
| #1 | Primary | 10.55' | 15.0" Vert. Orifice/Grate C= 0.600 |

Primary OutFlow Max=4.75 cfs @ 11.97 hrs HW=11.82' (Free Discharge)
 ↑1=Orifice/Grate (Orifice Controls 4.75 cfs @ 3.87 fps)

Summary for Pond 10P: Stormwater Gallery A

Inflow Area = 0.189 ac, 100.00% Impervious, Inflow Depth = 7.96" for 25-yr event
 Inflow = 2.16 cfs @ 11.96 hrs, Volume= 0.126 af
 Outflow = 2.16 cfs @ 11.98 hrs, Volume= 0.123 af, Atten= 0%, Lag= 1.3 min
 Primary = 2.16 cfs @ 11.98 hrs, Volume= 0.123 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 26.25' @ 11.98 hrs Surf.Area= 500 sf Storage= 607 cf

Plug-Flow detention time= 34.2 min calculated for 0.123 af (98% of inflow)
 Center-of-Mass det. time= 21.8 min (758.4 - 736.7)

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Type II 24-hr 25-yr Rainfall=8.20"

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| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 24.00' | 487 cf | Custom Stage Data (Prismatic) Listed below (Recalc) 1,500 cf Overall - 283 cf Embedded = 1,217 cf x 40.0% Voids |
| #2 | 24.50' | 283 cf | 24.0" Round Pipe Storage x 4.5 Inside #1 L= 20.0' |
| | | 770 cf | Total Available Storage |

| Elevation (feet) | Surf.Area (sq-ft) | Inc.Store (cubic-feet) | Cum.Store (cubic-feet) |
|---------------------|----------------------|---------------------------|---------------------------|
| 24.00 | 500 | 0 | 0 |
| 27.00 | 500 | 1,500 | 1,500 |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 24.50' | 4.0" Vert. Orifice/Grate C= 0.600 |
| #2 | Primary | 26.00' | 4.0' long Sharp-Crested Vee/Trap Weir Cv= 2.62 (C= 3.28) |

Primary OutFlow Max=2.06 cfs @ 11.98 hrs HW=26.24' (Free Discharge)

↑1=Orifice/Grate (Orifice Controls 0.53 cfs @ 6.04 fps)

└2=Sharp-Crested Vee/Trap Weir (Weir Controls 1.53 cfs @ 1.60 fps)

Summary for Pond P1: PCB1

Inflow Area = 0.484 ac, 60.30% Impervious, Inflow Depth > 5.89" for 25-yr event
 Inflow = 3.66 cfs @ 11.98 hrs, Volume= 0.238 af
 Outflow = 3.63 cfs @ 11.98 hrs, Volume= 0.238 af, Atten= 1%, Lag= 0.0 min
 Primary = 3.63 cfs @ 11.98 hrs, Volume= 0.238 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.81' @ 11.98 hrs Surf.Area= 13 sf Storage= 18 cf

Plug-Flow detention time= 0.3 min calculated for 0.237 af (100% of inflow)

Center-of-Mass det. time= 0.2 min (875.3 - 875.1)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 16.40' | 63 cf | 4.00'D x 5.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.40' | 12.0" Round Culvert L= 12.0' Ke= 0.500 Inlet / Outlet Invert= 16.40' / 16.20' S= 0.0167 '/' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=3.49 cfs @ 11.98 hrs HW=17.76' (Free Discharge)

↑1=Culvert (Barrel Controls 3.49 cfs @ 4.44 fps)

Summary for Pond P2: PDMH 2

Inflow Area = 0.161 ac, 56.49% Impervious, Inflow Depth > 5.36" for 25-yr event
 Inflow = 0.62 cfs @ 11.97 hrs, Volume= 0.072 af
 Outflow = 0.62 cfs @ 11.97 hrs, Volume= 0.072 af, Atten= 0%, Lag= 0.0 min
 Primary = 0.62 cfs @ 11.97 hrs, Volume= 0.072 af

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Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.24' @ 11.97 hrs

Flood Elev= 30.07'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.80' | 12.0" Round Culvert L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 16.80' / 16.50' S= 0.0060 ' / ' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=0.59 cfs @ 11.97 hrs HW=17.23' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.59 cfs @ 2.71 fps)**Summary for Pond P3: PAD3**

Inflow Area = 0.145 ac, 51.82% Impervious, Inflow Depth > 5.08" for 25-yr event
 Inflow = 0.44 cfs @ 11.97 hrs, Volume= 0.062 af
 Outflow = 0.44 cfs @ 11.97 hrs, Volume= 0.062 af, Atten= 0%, Lag= 0.0 min
 Primary = 0.44 cfs @ 11.97 hrs, Volume= 0.062 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.39' @ 11.97 hrs Surf.Area= 3 sf Storage= 1 cf

Plug-Flow detention time= 0.1 min calculated for 0.061 af (100% of inflow)

Center-of-Mass det. time= 0.1 min (1,158.9 - 1,158.8)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 17.00' | 13 cf | 2.00'D x 4.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 17.00' | 12.0" Round Culvert L= 20.0' Ke= 0.500 Inlet / Outlet Invert= 17.00' / 16.90' S= 0.0050 ' / ' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=0.43 cfs @ 11.97 hrs HW=17.38' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.43 cfs @ 2.28 fps)**Summary for Pond P4: TD4**

Inflow Area = 0.016 ac, 100.00% Impervious, Inflow Depth = 7.96" for 25-yr event
 Inflow = 0.18 cfs @ 11.96 hrs, Volume= 0.010 af
 Outflow = 0.18 cfs @ 11.96 hrs, Volume= 0.010 af, Atten= 0%, Lag= 0.1 min
 Primary = 0.18 cfs @ 11.96 hrs, Volume= 0.010 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.35' @ 11.96 hrs Surf.Area= 3 sf Storage= 1 cf

Plug-Flow detention time= 0.3 min calculated for 0.010 af (100% of inflow)

Center-of-Mass det. time= 0.3 min (737.0 - 736.7)

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Type II 24-hr 25-yr Rainfall=8.20"

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| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 17.10' | 9 cf | 2.00'D x 3.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|--|
| #1 | Primary | 17.10' | 8.0" Round Culvert L= 24.0' Ke= 0.500 Inlet / Outlet Invert= 17.10' / 16.90' S= 0.0083 '/' Cc= 0.900 n= 0.012, Flow Area= 0.35 sf |

Primary OutFlow Max=0.17 cfs @ 11.96 hrs HW=17.35' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.17 cfs @ 2.19 fps)**Summary for Pond P5: SW A outlet - PDMH 5**

Inflow Area = 0.189 ac, 100.00% Impervious, Inflow Depth = 7.81" for 25-yr event
 Inflow = 2.16 cfs @ 11.98 hrs, Volume= 0.123 af
 Outflow = 2.16 cfs @ 11.98 hrs, Volume= 0.123 af, Atten= 0%, Lag= 0.0 min
 Primary = 2.16 cfs @ 11.98 hrs, Volume= 0.123 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 2

Peak Elev= 17.46' @ 11.98 hrs Surf.Area= 13 sf Storage= 12 cf

Flood Elev= 40.50' Surf.Area= 13 sf Storage= 132 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)

Center-of-Mass det. time= 0.1 min (758.6 - 758.4)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|--|
| #1 | 16.50' | 132 cf | 4.00'D x 10.50'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.50' | 12.0" Round Culvert L= 10.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 16.50' / 16.40' S= 0.0100 '/' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=2.06 cfs @ 11.98 hrs HW=17.43' (Free Discharge)↑**1=Culvert** (Barrel Controls 2.06 cfs @ 3.53 fps)**Summary for Link PA-1: Point of Analysis #1**

Inflow Area = 0.608 ac, 62.89% Impervious, Inflow Depth > 6.07" for 25-yr event
 Inflow = 4.86 cfs @ 11.97 hrs, Volume= 0.307 af
 Primary = 4.86 cfs @ 11.97 hrs, Volume= 0.307 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Summary for Link PA-2: Point of Analysis #2

Inflow Area = 0.446 ac, 12.51% Impervious, Inflow Depth = 3.71" for 25-yr event
Inflow = 2.35 cfs @ 12.04 hrs, Volume= 0.138 af
Primary = 2.35 cfs @ 12.04 hrs, Volume= 0.138 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

| | |
|--|---|
| Subcatchment 1S: to PCB1 | Runoff Area=2,145 sf 5.13% Impervious Runoff Depth=5.09" Tc=6.0 min UI Adjusted CN=62 Runoff=0.43 cfs 0.021 af |
| Subcatchment 2S: Parking Lot (Porous) | Runoff Area=3,595 sf 82.48% Impervious Runoff Depth>7.26" Tc=790.0 min CN=92 Runoff=0.05 cfs 0.050 af |
| Subcatchment 3S: to PCB1 | Runoff Area=2,735 sf 11.52% Impervious Runoff Depth=5.49" Tc=6.0 min CN=65 Runoff=0.59 cfs 0.029 af |
| Subcatchment 4S: drive ramp | Runoff Area=680 sf 100.00% Impervious Runoff Depth=9.67" Tc=6.0 min CN=98 Runoff=0.22 cfs 0.013 af |
| Subcatchment 10S: Prop. Bldg. | Runoff Area=8,245 sf 100.00% Impervious Runoff Depth=9.67" Tc=6.0 min CN=98 Runoff=2.61 cfs 0.153 af |
| Subcatchment 11S: To Sag Ave | Runoff Area=3,695 sf 10.96% Impervious Runoff Depth=5.22" Tc=6.0 min UI Adjusted CN=63 Runoff=0.76 cfs 0.037 af |
| Subcatchment 12S: To Sag Ave | Runoff Area=5,395 sf 73.03% Impervious Runoff Depth=8.44" Tc=6.0 min CN=88 Runoff=1.63 cfs 0.087 af |
| Subcatchment 20S: To Wetland | Runoff Area=19,422 sf 12.51% Impervious Runoff Depth=5.09" Tc=12.0 min CN=62 Runoff=3.22 cfs 0.189 af |
| Pond 1P: CB-2351 | Peak Elev=12.25' Inflow=6.14 cfs 0.386 af Outflow=6.14 cfs 0.386 af |
| Pond 10P: Stormwater Gallery A | Peak Elev=26.29' Storage=619 cf Inflow=2.61 cfs 0.153 af Outflow=2.60 cfs 0.150 af |
| Pond P1: PCB1 | Peak Elev=18.36' Storage=25 cf Inflow=4.54 cfs 0.299 af 12.0" Round Culvert n=0.012 L=12.0' S=0.0167 '/' Outflow=4.61 cfs 0.299 af |
| Pond P2: PDMH 2 | Peak Elev=17.31' Inflow=0.81 cfs 0.091 af 12.0" Round Culvert n=0.012 L=50.0' S=0.0060 '/' Outflow=0.81 cfs 0.091 af |
| Pond P3: PAD3 | Peak Elev=17.46' Storage=1 cf Inflow=0.59 cfs 0.079 af 12.0" Round Culvert n=0.012 L=20.0' S=0.0050 '/' Outflow=0.59 cfs 0.079 af |
| Pond P4: TD4 | Peak Elev=17.38' Storage=1 cf Inflow=0.22 cfs 0.013 af 8.0" Round Culvert n=0.012 L=24.0' S=0.0083 '/' Outflow=0.21 cfs 0.013 af |
| Pond P5: SW A outlet - PDMH 5 | Peak Elev=17.60' Storage=14 cf Inflow=2.60 cfs 0.150 af 12.0" Round Culvert n=0.012 L=10.0' S=0.0100 '/' Outflow=2.60 cfs 0.150 af |
| Link PA-1: Point of Analysis #1 | Inflow=6.14 cfs 0.386 af Primary=6.14 cfs 0.386 af |

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Type II 24-hr 50-yr Rainfall=9.91"

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Link PA-2: Point of Analysis #2

Inflow=3.22 cfs 0.189 af
Primary=3.22 cfs 0.189 af

Total Runoff Area = 1.054 ac Runoff Volume = 0.578 af Average Runoff Depth = 6.58"
58.42% Pervious = 0.616 ac 41.58% Impervious = 0.438 ac

Summary for Subcatchment 1S: to PCB1

Runoff = 0.43 cfs @ 11.97 hrs, Volume= 0.021 af, Depth= 5.09"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

| Area (sf) | CN | Adj | Description |
|-----------|----|-----|-------------------------------|
| 2,035 | 61 | | >75% Grass cover, Good, HSG B |
| 110 | 98 | | Unconnected pavement, HSG B |
| 2,145 | 63 | 62 | Weighted Average, UI Adjusted |
| 2,035 | | | 94.87% Pervious Area |
| 110 | | | 5.13% Impervious Area |
| 110 | | | 100.00% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 2S: Parking Lot (Porous)

Runoff = 0.05 cfs @ 21.93 hrs, Volume= 0.050 af, Depth> 7.26"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 630 | 61 | >75% Grass cover, Good, HSG B |
| 825 | 98 | Paved parking, HSG B |
| * 1,780 | 98 | Porous Pavement, HSG B |
| 360 | 98 | Unconnected pavement, HSG B |
| 3,595 | 92 | Weighted Average |
| 630 | | 17.52% Pervious Area |
| 2,965 | | 82.48% Impervious Area |
| 360 | | 12.14% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 790.0 | | | | | Direct Entry, |

Summary for Subcatchment 3S: to PCB1

Runoff = 0.59 cfs @ 11.97 hrs, Volume= 0.029 af, Depth= 5.49"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

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| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 2,420 | 61 | >75% Grass cover, Good, HSG B |
| 210 | 98 | Paved parking, HSG B |
| 105 | 98 | Unconnected pavement, HSG B |
| 2,735 | 65 | Weighted Average |
| 2,420 | | 88.48% Pervious Area |
| 315 | | 11.52% Impervious Area |
| 105 | | 33.33% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 4S: drive ramp

Runoff = 0.22 cfs @ 11.96 hrs, Volume= 0.013 af, Depth= 9.67"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 680 | 98 | Paved parking, HSG B |
| 680 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 10S: Prop. Bldg.

Runoff = 2.61 cfs @ 11.96 hrs, Volume= 0.153 af, Depth= 9.67"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

| Area (sf) | CN | Description |
|-----------|----|-------------------------|
| 8,245 | 98 | Roofs, HSG B |
| 8,245 | | 100.00% Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 11S: To Sag Ave

Runoff = 0.76 cfs @ 11.97 hrs, Volume= 0.037 af, Depth= 5.22"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

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Type II 24-hr 50-yr Rainfall=9.91"

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| Area (sf) | CN | Adj | Description |
|-----------|----|-----|-------------------------------|
| 3,290 | 61 | | >75% Grass cover, Good, HSG B |
| 275 | 98 | | Unconnected pavement, HSG B |
| 130 | 98 | | Unconnected pavement, HSG B |
| 3,695 | 65 | 63 | Weighted Average, UI Adjusted |
| 3,290 | | | 89.04% Pervious Area |
| 405 | | | 10.96% Impervious Area |
| 405 | | | 100.00% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 12S: To Sag Ave

Runoff = 1.63 cfs @ 11.96 hrs, Volume= 0.087 af, Depth= 8.44"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 3,260 | 98 | Paved parking, HSG B |
| 480 | 98 | Paved parking, HSG B |
| 730 | 61 | >75% Grass cover, Good, HSG B |
| 200 | 98 | Unconnected pavement, HSG B |
| 725 | 61 | >75% Grass cover, Good, HSG B |
| 5,395 | 88 | Weighted Average |
| 1,455 | | 26.97% Pervious Area |
| 3,940 | | 73.03% Impervious Area |
| 200 | | 5.08% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|----------------------|
| 6.0 | | | | | Direct Entry, |

Summary for Subcatchment 20S: To Wetland

Runoff = 3.22 cfs @ 12.04 hrs, Volume= 0.189 af, Depth= 5.09"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-yr Rainfall=9.91"

| Area (sf) | CN | Description |
|-----------|----|-------------------------------|
| 2,110 | 98 | Paved parking, HSG B |
| * 100 | 98 | Pavers, HSG B |
| 40 | 98 | Unconnected pavement, HSG B |
| * 180 | 98 | Ledge, HSG B |
| 4,810 | 61 | >75% Grass cover, Good, HSG B |
| 12,182 | 55 | Woods, Good, HSG B |
| 19,422 | 62 | Weighted Average |
| 16,992 | | 87.49% Pervious Area |
| 2,430 | | 12.51% Impervious Area |
| 40 | | 1.65% Unconnected |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 12.0 | | | | | Direct Entry, |

Summary for Pond 1P: CB-2351

Inflow Area = 0.608 ac, 62.89% Impervious, Inflow Depth > 7.63" for 50-yr event
 Inflow = 6.14 cfs @ 11.97 hrs, Volume= 0.386 af
 Outflow = 6.14 cfs @ 11.97 hrs, Volume= 0.386 af, Atten= 0%, Lag= 0.0 min
 Primary = 6.14 cfs @ 11.97 hrs, Volume= 0.386 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 12.25' @ 11.97 hrs
 Flood Elev= 22.40'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|------------------------------------|
| #1 | Primary | 10.55' | 15.0" Vert. Orifice/Grate C= 0.600 |

Primary OutFlow Max=5.98 cfs @ 11.97 hrs HW=12.20' (Free Discharge)
 ↑1=Orifice/Grate (Orifice Controls 5.98 cfs @ 4.87 fps)

Summary for Pond 10P: Stormwater Gallery A

Inflow Area = 0.189 ac, 100.00% Impervious, Inflow Depth = 9.67" for 50-yr event
 Inflow = 2.61 cfs @ 11.96 hrs, Volume= 0.153 af
 Outflow = 2.60 cfs @ 11.98 hrs, Volume= 0.150 af, Atten= 0%, Lag= 0.8 min
 Primary = 2.60 cfs @ 11.98 hrs, Volume= 0.150 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 26.29' @ 11.98 hrs Surf.Area= 500 sf Storage= 619 cf

Plug-Flow detention time= 29.7 min calculated for 0.150 af (98% of inflow)
 Center-of-Mass det. time= 19.3 min (753.7 - 734.5)

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| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 24.00' | 487 cf | Custom Stage Data (Prismatic) Listed below (Recalc) 1,500 cf Overall - 283 cf Embedded = 1,217 cf x 40.0% Voids |
| #2 | 24.50' | 283 cf | 24.0" Round Pipe Storage x 4.5 Inside #1 L= 20.0' |
| | | 770 cf | Total Available Storage |

| Elevation (feet) | Surf.Area (sq-ft) | Inc.Store (cubic-feet) | Cum.Store (cubic-feet) |
|---------------------|----------------------|---------------------------|---------------------------|
| 24.00 | 500 | 0 | 0 |
| 27.00 | 500 | 1,500 | 1,500 |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 24.50' | 4.0" Vert. Orifice/Grate C= 0.600 |
| #2 | Primary | 26.00' | 4.0' long Sharp-Crested Vee/Trap Weir Cv= 2.62 (C= 3.28) |

Primary OutFlow Max=2.49 cfs @ 11.98 hrs HW=26.28' (Free Discharge)

1=Orifice/Grate (Orifice Controls 0.53 cfs @ 6.12 fps)

2=Sharp-Crested Vee/Trap Weir (Weir Controls 1.96 cfs @ 1.74 fps)

Summary for Pond P1: PCB1

Inflow Area = 0.484 ac, 60.30% Impervious, Inflow Depth > 7.42" for 50-yr event
 Inflow = 4.54 cfs @ 11.97 hrs, Volume= 0.299 af
 Outflow = 4.61 cfs @ 11.98 hrs, Volume= 0.299 af, Atten= 0%, Lag= 0.2 min
 Primary = 4.61 cfs @ 11.98 hrs, Volume= 0.299 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs
 Peak Elev= 18.36' @ 11.98 hrs Surf.Area= 13 sf Storage= 25 cf

Plug-Flow detention time= 0.2 min calculated for 0.299 af (100% of inflow)
 Center-of-Mass det. time= 0.2 min (869.6 - 869.4)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 16.40' | 63 cf | 4.00'D x 5.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.40' | 12.0" Round Culvert L= 12.0' Ke= 0.500 Inlet / Outlet Invert= 16.40' / 16.20' S= 0.0167 '/' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=4.42 cfs @ 11.98 hrs HW=18.27' (Free Discharge)

1=Culvert (Inlet Controls 4.42 cfs @ 5.63 fps)

Summary for Pond P2: PDMH 2

Inflow Area = 0.161 ac, 56.49% Impervious, Inflow Depth > 6.80" for 50-yr event
 Inflow = 0.81 cfs @ 11.97 hrs, Volume= 0.091 af
 Outflow = 0.81 cfs @ 11.97 hrs, Volume= 0.091 af, Atten= 0%, Lag= 0.0 min
 Primary = 0.81 cfs @ 11.97 hrs, Volume= 0.091 af

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Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.31' @ 11.97 hrs

Flood Elev= 30.07'

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.80' | 12.0" Round Culvert L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 16.80' / 16.50' S= 0.0060 ' / ' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=0.78 cfs @ 11.97 hrs HW=17.30' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.78 cfs @ 2.90 fps)**Summary for Pond P3: PAD3**

Inflow Area = 0.145 ac, 51.82% Impervious, Inflow Depth > 6.49" for 50-yr event
 Inflow = 0.59 cfs @ 11.97 hrs, Volume= 0.079 af
 Outflow = 0.59 cfs @ 11.97 hrs, Volume= 0.079 af, Atten= 0%, Lag= 0.0 min
 Primary = 0.59 cfs @ 11.97 hrs, Volume= 0.079 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.46' @ 11.97 hrs Surf.Area= 3 sf Storage= 1 cf

Plug-Flow detention time= 0.1 min calculated for 0.079 af (100% of inflow)

Center-of-Mass det. time= 0.1 min (1,143.1 - 1,143.0)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 17.00' | 13 cf | 2.00'D x 4.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 17.00' | 12.0" Round Culvert L= 20.0' Ke= 0.500 Inlet / Outlet Invert= 17.00' / 16.90' S= 0.0050 ' / ' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=0.57 cfs @ 11.97 hrs HW=17.45' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.57 cfs @ 2.45 fps)**Summary for Pond P4: TD4**

Inflow Area = 0.016 ac, 100.00% Impervious, Inflow Depth = 9.67" for 50-yr event
 Inflow = 0.22 cfs @ 11.96 hrs, Volume= 0.013 af
 Outflow = 0.21 cfs @ 11.96 hrs, Volume= 0.013 af, Atten= 0%, Lag= 0.1 min
 Primary = 0.21 cfs @ 11.96 hrs, Volume= 0.013 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Peak Elev= 17.38' @ 11.96 hrs Surf.Area= 3 sf Storage= 1 cf

Plug-Flow detention time= 0.3 min calculated for 0.013 af (100% of inflow)

Center-of-Mass det. time= 0.3 min (734.7 - 734.5)

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| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|---|
| #1 | 17.10' | 9 cf | 2.00'D x 3.00'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|--|
| #1 | Primary | 17.10' | 8.0" Round Culvert L= 24.0' Ke= 0.500 Inlet / Outlet Invert= 17.10' / 16.90' S= 0.0083 '/' Cc= 0.900 n= 0.012, Flow Area= 0.35 sf |

Primary OutFlow Max=0.21 cfs @ 11.96 hrs HW=17.37' (Free Discharge)↑**1=Culvert** (Barrel Controls 0.21 cfs @ 2.30 fps)**Summary for Pond P5: SW A outlet - PDMH 5**

Inflow Area = 0.189 ac, 100.00% Impervious, Inflow Depth = 9.52" for 50-yr event
 Inflow = 2.60 cfs @ 11.98 hrs, Volume= 0.150 af
 Outflow = 2.60 cfs @ 11.98 hrs, Volume= 0.150 af, Atten= 0%, Lag= 0.0 min
 Primary = 2.60 cfs @ 11.98 hrs, Volume= 0.150 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 2

Peak Elev= 17.60' @ 11.98 hrs Surf.Area= 13 sf Storage= 14 cf

Flood Elev= 40.50' Surf.Area= 13 sf Storage= 132 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)

Center-of-Mass det. time= 0.2 min (753.9 - 753.7)

| Volume | Invert | Avail.Storage | Storage Description |
|--------|--------|---------------|--|
| #1 | 16.50' | 132 cf | 4.00'D x 10.50'H Vertical Cone/Cylinder |

| Device | Routing | Invert | Outlet Devices |
|--------|---------|--------|---|
| #1 | Primary | 16.50' | 12.0" Round Culvert L= 10.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 16.50' / 16.40' S= 0.0100 '/' Cc= 0.900 n= 0.012, Flow Area= 0.79 sf |

Primary OutFlow Max=2.51 cfs @ 11.98 hrs HW=17.57' (Free Discharge)↑**1=Culvert** (Barrel Controls 2.51 cfs @ 3.72 fps)**Summary for Link PA-1: Point of Analysis #1**

Inflow Area = 0.608 ac, 62.89% Impervious, Inflow Depth > 7.63" for 50-yr event
 Inflow = 6.14 cfs @ 11.97 hrs, Volume= 0.386 af
 Primary = 6.14 cfs @ 11.97 hrs, Volume= 0.386 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Summary for Link PA-2: Point of Analysis #2

Inflow Area = 0.446 ac, 12.51% Impervious, Inflow Depth = 5.09" for 50-yr event
Inflow = 3.22 cfs @ 12.04 hrs, Volume= 0.189 af
Primary = 3.22 cfs @ 12.04 hrs, Volume= 0.189 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

LEGEND

- PROPERTY LINE
- - - WETLAND/SOILS BOUNDARY
- - - EXISTING CONTOUR
- PROPOSED CONTOUR
- WATERSHED BOUNDARY
- Tc PATH
- EXISTING GROUND SLOPE DIRECTION
- 1 1 1 SUBCATCHMENT/POND/REACH
- POA POINT OF ANALYSIS

SOILS:

| SERIES | DESCRIPTION | HSG |
|--------|-------------------------|-----|
| 140B | CHATFIELD-HOLLIS-CANTON | B |
| 699 | URBAN LAND | B |

NOT FOR CONSTRUCTION

ISSUED FOR:
DRAINAGE REPORT

ISSUE DATE:
NOVEMBER 22, 2021

| REVISIONS | NO. | DESCRIPTION | BY | DATE |
|-----------|-------------------|-------------|-----|----------|
| 0 | INITIAL SUBMITTAL | | CDB | 11/22/21 |

DRAWN BY: _____ CDB
APPROVED BY: _____ EDW
DRAWING FILE: 5079-SITE.dwg

SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

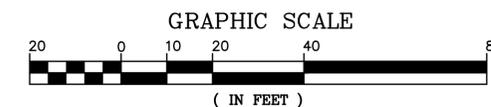
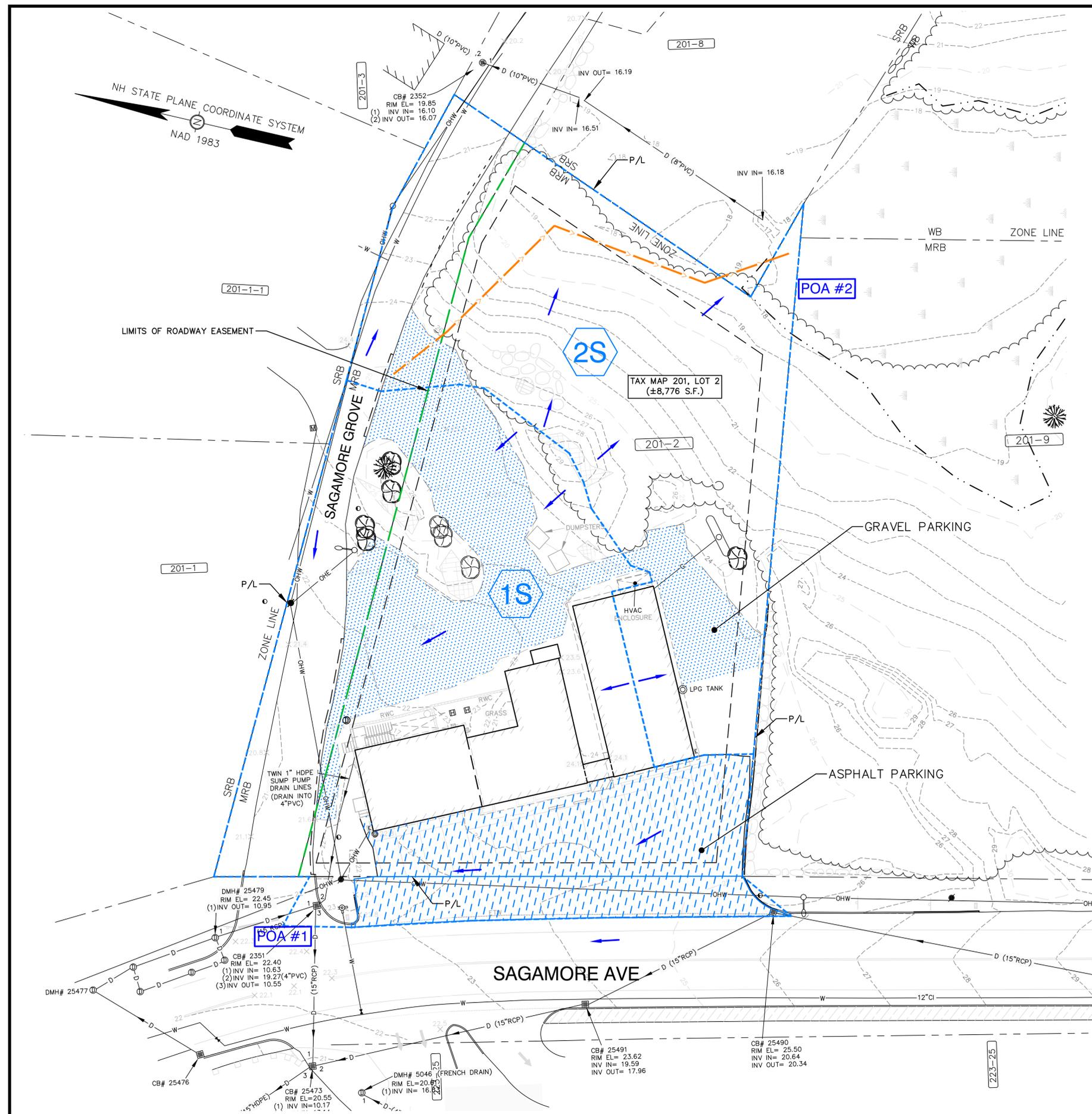
OWNER / APPLICANT:

SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:
PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT
TAX MAP 201, LOT 2
SAGAMORE ROAD
PORTSMOUTH, NH 03801

TITLE:
PRE-DEVELOPMENT
DRAINAGE PLAN

SHEET NUMBER:
DA-1



P5079

LEGEND

- PROPERTY LINE
- - - WETLAND/SOILS BOUNDARY
- - - EXISTING CONTOUR
- PROPOSED CONTOUR
- WATERSHED BOUNDARY
- Tc PATH
- PROPOSED GROUND SLOPE DIRECTION
- 1 1 1 SUBCATCHMENT/POND/REACH
- POA POINT OF ANALYSIS

SOILS:

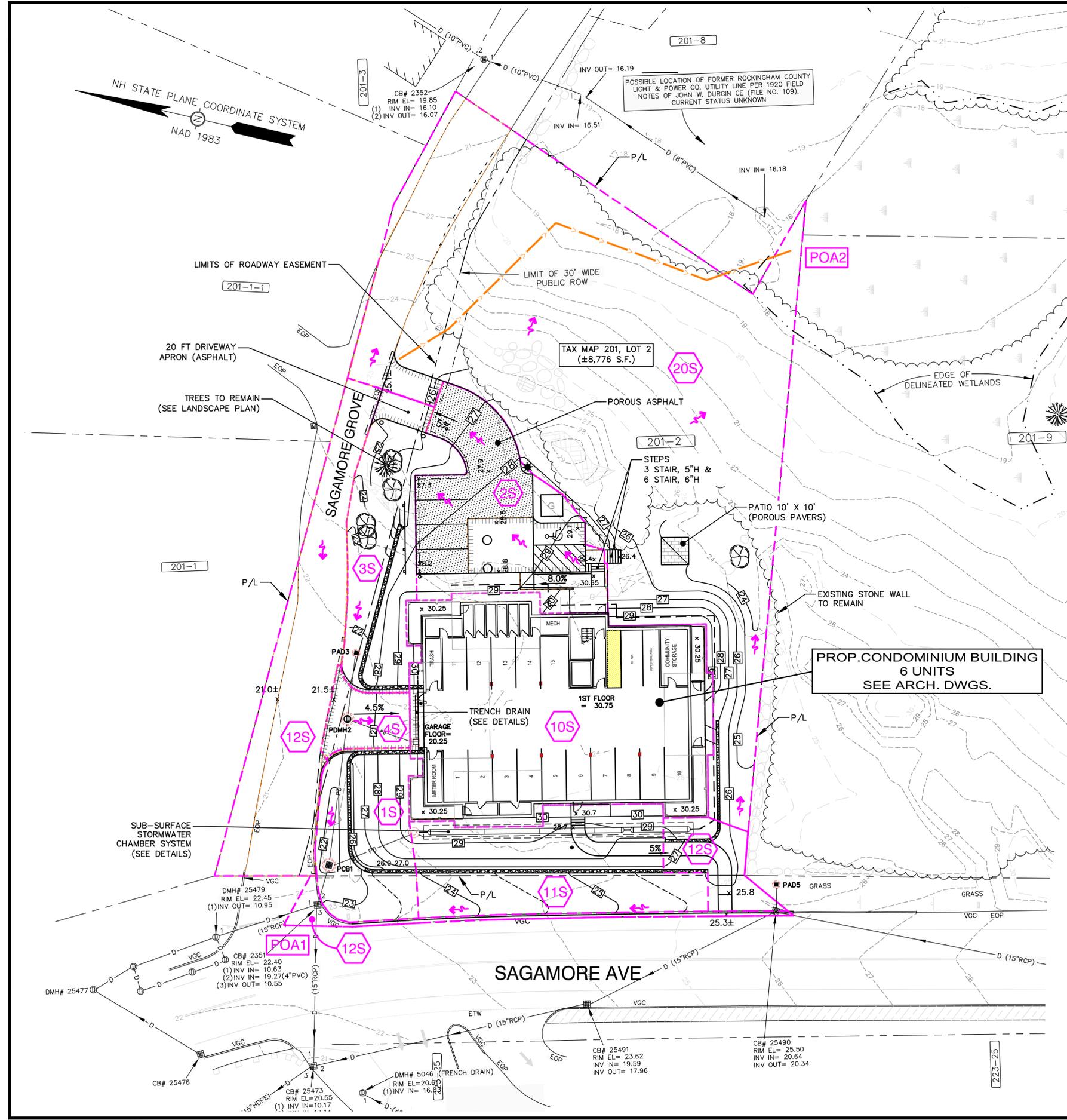
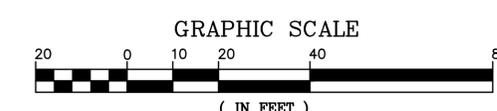
| SERIES | DESCRIPTION | HSG |
|--------|-------------------------|-----|
| 140B | CHATFIELD-HOLLIS-CANTON | B |
| 699 | URBAN LAND | B |

DRAINAGE STRUCTURES

- CB1
RIM = 21.50
12" INV. IN = 16.50 (PDMH2)
12" INV. IN = 16.50 (OS1)
12" INV. OUT = 16.40
- PDMH2
RIM = 21.30
8" INV. IN = 16.90 (TRENCH DRAIN)
12" INV. IN = 16.90 (PAD3)
12" INV. OUT = 16.80
- PAD3
RIM = 21.00
12" INV. OUT = 17.00
- TRENCH DRAIN
ELEV = 20.10
8" INV. OUT = 17.10

STORMWATER PRACTICES

- STORMWATER GALLERY A
24" DIA PERF PIPE
1 ROW / 90 FT LENGTH
(20 FT ISOLATION CHAMBER)
PIPE INV = 24.50
ROCK BOTTOM = 24.00



NOT FOR CONSTRUCTION

ISSUED FOR:
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NOVEMBER 22, 2021

REVISIONS

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------|-----|----------|
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DEVELOPMENT
TAX MAP 201, LOT 2
SAGAMORE ROAD
PORTSMOUTH, NH 03801

TITLE:

POST-DEVELOPMENT
DRAINAGE PLAN

SHEET NUMBER:

DA-2

P5079

**STORMWATER MANAGEMENT
INSPECTION AND MAINTENANCE MANUAL
FOR**

MULTI-FAMILY RESIDENTIAL DEVELOPMENT

**960 Sagamore Avenue
Portsmouth, NH
Assessor's Parcel 201-02**

Proper inspection, maintenance, and repair are key elements in maintaining a successful stormwater management program on a developed property. Routine inspections ensure permit compliance and reduce the potential for deterioration of infrastructure or reduced water quality. The following responsible parties shall be in charge of managing the stormwater facilities:

RESPONSIBLE PARTIES:

Owner: _____
Name Company Phone

Inspection and Maintenance : _____
Name Phone

NOTE: Inspection and maintenance responsibilities transfer to future property owners.

Included in this Inspection and Maintenance Manual are the following components:

- Drainage Features and Site BMP Functions and Maintenance Descriptions
- Regular Inspection and Maintenance Guidance for Permeable Pavements
- Checklists for Inspection of Permeable Pavements
- Stormwater System Operations and Maintenance Report Form
- Site Grading and Drainage Plan

POROUS PAVEMENTS

Function – Porous pavement (or Pavers) is designed to capture rainwater runoff containing suspended solids, nutrients and pollutants. Proper maintenance of porous pavement is crucial for ensuring its longevity and functionality to infiltrate runoff.

Maintenance

- Reference attached “Regular Inspection and Maintenance Guidance for Permeable Pavements
- New porous pavement shall be inspected several times in the first month after construction and at least annually thereafter. Inspections shall be conducted after major storms to check for surface ponding that might indicate possible clogging.
- Inspect annually for pavement deterioration or spalling.
- Vacuum sweeping shall be performed once a year or as needed to maintain permeability. Power washing may be required prior to vacuum sweeping to dislodge trapped particles.
- Sand and abrasives shall not be used for winter maintenance, as they will clog the pores; de-icing materials shall be used instead.
- Never reseal or repave with impermeable materials. If the porous pavement is damaged, it can be repaired using conventional, non-porous patching mixes as long as the cumulative area repaired does not exceed 10 percent of the paved area.

CULVERTS AND DRAINAGE PIPES

Function – Culverts and drainage pipes convey stormwater away from buildings, walkways, and parking areas and to surface waters or closed drainage systems.

Maintenance

- Culverts and drainage pipes shall be inspected semi-annually, or more often as needed, for accumulation of debris and structural integrity. Leaves and other debris shall be removed from the inlet and outlet to insure the functionality of drainage structures. Debris shall be disposed of on site where it will not concentrate back at the drainage structures or at a solid waste disposal facility.
- Riprap Areas - Culvert outlets and inlets shall be inspected during annual maintenance and operations for erosion and scour. If scour or creek erosion is identified, the outlet owner shall take appropriate means to prevent further erosion. Increased lengths of riprap may require a NHDES Wetlands Permit modification.

SUB-SURFACE STORMWATER TREATMENT SYSTEM

Function – Sub-Surface treatment systems treat runoff prior to directing it to surface stormwater systems by filtering sediment and suspended solids, trapping them in the isolation rows and in the filter rock. Stormwater detention and infiltration can also be provided as the filtering process slows runoff, decreases the peak rate of discharge and promotes groundwater recharge.

The Sub-Surface Stormwater Treatment System shall be inspected and maintained at a minimum of every 6 months for the first year and annually thereafter. Inspections shall comply with the requirements of the manufacturer. At a minimum, the following inspection and maintenance requirements are included:

STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

- A. Inspection ports (if present)
 - a.1. Remove/open lid on nyloplast inline drain
 - a.2. Remove and clean flexstorm filter if installed
 - a.3. Using a flashlight and stadia rod, measure depth of sediment and record on maintenance log
 - a.4. Lower a camera into isolator row for visual inspection of sediment levels (optional)
 - a.5. If sediment is at, or above, 3" (80 mm) proceed to step 2. if not, proceed to step 3.

- B. All isolator rows
 - b.1. Remove cover from structure at upstream end of isolator row
 - b.2. using a flashlight, inspect down the isolator row through outlet pipe
 - i) Mirrors on poles or cameras may be used to avoid a confined space entry
 - ii) Follow osha regulations for confined space entry if entering manhole
 - b.3. If sediment is at, or above, 3" (80 mm) proceed to step 2. if not, proceed to step 3.

STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS

- A. *A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED*
- B. *APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN*
- C. *VACUUM STRUCTURE SUMP AS REQUIRED*

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION AND ANNUALLY EVERY YEAR THEREAFTER. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.

2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

CATCH BASINS

Function – Catch basins collect stormwater, primarily from paved surfaces and roofs. Stormwater from paved areas often contains sediment and contaminants. Catch basin sumps serve to trap sediment, trace metals, nutrients and debris. Hooded catch basins trap hydrocarbons and floating debris.

Maintenance

- Remove leaves and debris from structure grates on an as-needed basis.
- Sumps shall be inspected and cleaned (as needed) on an annual basis to protect water quality and infiltration capacity. Catch basin debris shall be disposed of at a solid waste disposal facility.

LANDSCAPED AREAS - FERTILIZER MANAGEMENT

Function – Fertilizer management involves controlling the rate, timing and method of fertilizer application so that the nutrients are taken up by the plants thereby reducing the chance of polluting the surface and ground waters. Fertilizer management can be effective in reducing the amounts of phosphorus and nitrogen in runoff from landscaped areas, particularly lawns.

NOTE: SLOW OR CONTROLLED RELEASE FERTILIZER IS REQUIRED WITHIN THE 250 FOOT SHORELAND PROTECTION AREA. SEE PLANS FOR LOCATIONS.

Maintenance

- Have the soil tested by your landscaper or local Soil Conservation Service for nutrient requirements and follow the recommendations.
- Do not apply fertilizer to frozen ground.
- Clean up any fertilizer spills.
- Do not allow fertilizer to be broadcast into water bodies.
- When fertilizing a lawn, water thoroughly, but do not create a situation where water runs off the surface of the lawn.

GENERAL CLEAN UP

Upon completion of the project, the contractor shall remove all temporary stormwater structures (i.e., temporary stone check dams, silt fence, temporary diversion swales, catch basin inlet basket, etc.). Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform to the existing grade, prepared, and seeded. Remove any sediment in catch basins and clean drain pipes that may have accumulated during construction.

Once in operation, all paved areas of the site should be swept at least once annually, preferably at the end of winter prior to significant spring rains.

APPENDIX

- A. PERMEABLE PAVEMENTS
 - a. REGULAR INSPECTION AND MAINTENANCE GUIDANCE
 - b. CHECKLIST FOR INSPECTION
- B. STORMWATER SYSTEM OPERATIONS AND MAINTENANCE REPORT
- C. GRADING AND DRAINAGE PLAN

Regular Inspection and Maintenance Guidance for Permeable Pavements

Regular inspection and maintenance is critical to the effective operation of permeable pavement. It is the responsibility of the owner to maintain the pavement in accordance with the minimum design standards. This page provides guidance on maintenance activities that are typically required for these systems, along with the suggested frequency for each activity. Individual systems may have more, or less, frequent maintenance needs, depending on a variety of factors including the occurrence of large storm events, seasonal changes, and traffic conditions.

ACTIVITIES

Visual inspections are an integral part of system maintenance. This includes monitoring pavement to ensure water drainage, debris accumulation, and surface deterioration.

ACTIVITY

FREQUENCY

CLOGGING AND SYSTEM PERFORMANCE

Adjacent vegetated areas show no signs of erosion and run-on to permeable pavement.

Remedy: Repair or replace any damaged structural parts.

Whenever vacuuming adjacent permeable pavements

Adjacent non-permeable sections of pavement are clean of debris to prevent debris tracking.

Remedy: Vacuuming adjacent pavement non-permeable pavement can be effective at minimizing run-on.

Check for standing water remaining on the surface of the pavement after a precipitation event within 30 minutes.

Remedy: Use of a power washer or compressed air blower at an angle of 30 degrees or less can be effective, particularly in combination with a vacuum or vacuum sweeper.

1-2 times per year, more frequently for high-use sites or sites with higher potential for run-on

Check for debris accumulation, particularly in the winter.

Remedy: Loose debris such as leaves or trash can be removed using a power/leaf blower or gutter broom. Fall and spring cleanup should be accompanied by pavement vacuuming.

Accumulation of sediment and organic debris on the pavement surface.

Remedy: Regular use of a vacuum sweeper can remove sediment and organic debris. The sweeper may be fitted with water jets.

PAVEMENT CONDITION

Check for accumulation of snow or other stockpiles of materials such as sand/salt, mulch, soil, yard waste, etc. Stockpiling of these materials on permeable pavements can lead to premature clogging.

Remedy: Remove stockpile if possible and check for clogging in storage area.

As Needed

Damage to pavement

Remedy: Repairs should be repaired as they are identified

CHECKLIST FOR INSPECTION OF PERMEABLE PAVEMENT

Location:
 Inspector:
 Date:
 Time:
 Site Conditions:
 Date Since Last Rain Event:

| Inspection Items | Satisfactory (S) or Unsatisfactory (U) | | Comments/Corrective Action |
|---|--|---|----------------------------|
| 1. Salt / Deicing (Winter/Spring) | | | |
| Use salt only for ice management | S | U | |
| Accumulated salt removed in spring | S | U | |
| 2. Debris Cleanup (1-2 times per year minimum, Spring/Fall) | | | |
| Remove sediment and organic debris using vacuum street sweeper | S | U | |
| Clean catch basins (if available) | S | U | |
| 3. Controlling Run-On | | | |
| Adjacent vegetated areas show no signs of erosion and run-on to permeable pavement | S | U | |
| 4. Outlet / Catch Basin Inspection (if available) (1-2 times per year, after large storm events) | | | |
| No evidence of blockage | S | U | |
| Good condition, no need for cleaning/repair | S | U | |
| 5. Poorly Drained Pavement | | | |
| Recently cleaned and vacuumed | S | U | |
| 6. Pavement Condition | | | |
| No evidence of deterioration | S | U | |
| 7. Signage / Stockpiling (As Needed) | | | |
| No evidence of damage | S | U | |
| Proper signage posted indicating usage for traffic load | S | U | |
| No stockpiling of materials and other unauthorized uses | S | U | |
| Corrective Action Needed | | | Due Date |
| 1. | | | |
| 2. | | | |
| 3. | | | |
| Inspector's Signature | | | Date |
| | | | |

STORM WATER SYSTEM OPERATION AND MAINTENANCE REPORT

| General Information | | |
|---|--------------------|------------------|
| Project Name | | |
| Owner | | |
| Inspector's Name(s) | | |
| Inspector's Contact Information | | |
| Date of Inspection | Start Time: | End Time: |
| Type of Inspection: <input type="checkbox"/> Annual Report <input type="checkbox"/> Post-storm event <input type="checkbox"/> Due to a discharge of significant amounts of sediment | | |
| Notes: | | |

| General Site Questions and Discharges of Significant Amounts of Sediment | | | |
|--|---|---|--|
| Subject | Status | Notes | |
| <i>A discharge of significant amounts of sediment may be indicated by (but is not limited to) observations of the following. Note whether any are observed during this inspection:</i> | | | |
| <i>Notes/ Action taken:</i> | | | |
| 1 | Do the current site conditions reflect the attached site plan? | <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2 | Is the site permanently stabilized, temporary erosion and sediment controls are removed, and stormwater discharges from construction activity are eliminated? | <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3 | Is there evidence of the discharge of significant amounts of sediment to surface waters, or conveyance systems leading to surface waters? | <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 4 | Is there evidence of concentrated flows of stormwater such as rills or channels that cause erosion when such flows are not filtered, settled or otherwise treated to remove sediment? | <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 5 | Is there evidence of deposits of sediment from the site on any adjacent property or stormwater system. | <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 6 | Is there evidence of discharges from the site to streams running through or along the site where visual observations indicate significant amounts of sediment present in them. | <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 7 | Is there evidence of invasive species within the stormwater treatment areas? | <input type="checkbox"/> Yes <input type="checkbox"/> No | |

PROPOSED DRAINAGE LEGEND

- 41 --- EXISTING CONTOUR
- [41] PROPOSED CONTOUR
- 4.3.1 PROPOSED SPOT GRADE
- PD PROPOSED DRAIN LINE
- PCB PROPOSED CATCH BASIN (PCB)
- PDMH PROPOSED STORM DRAIN MANHOLE (PDMH)
- PAD PROPOSED AREA DRAIN (PAD)
- SMG PROPOSED STORMWATER MANAGEMENT GALLERY (SMG)

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____

DATE _____



133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

GRADING AND DRAINAGE NOTES

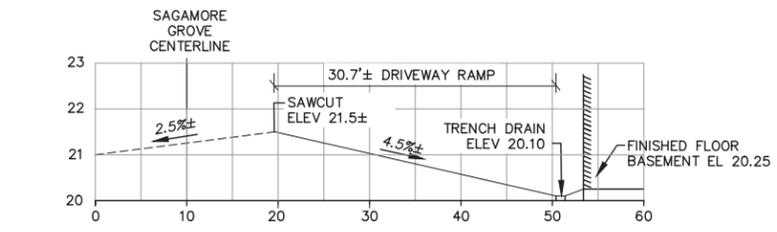
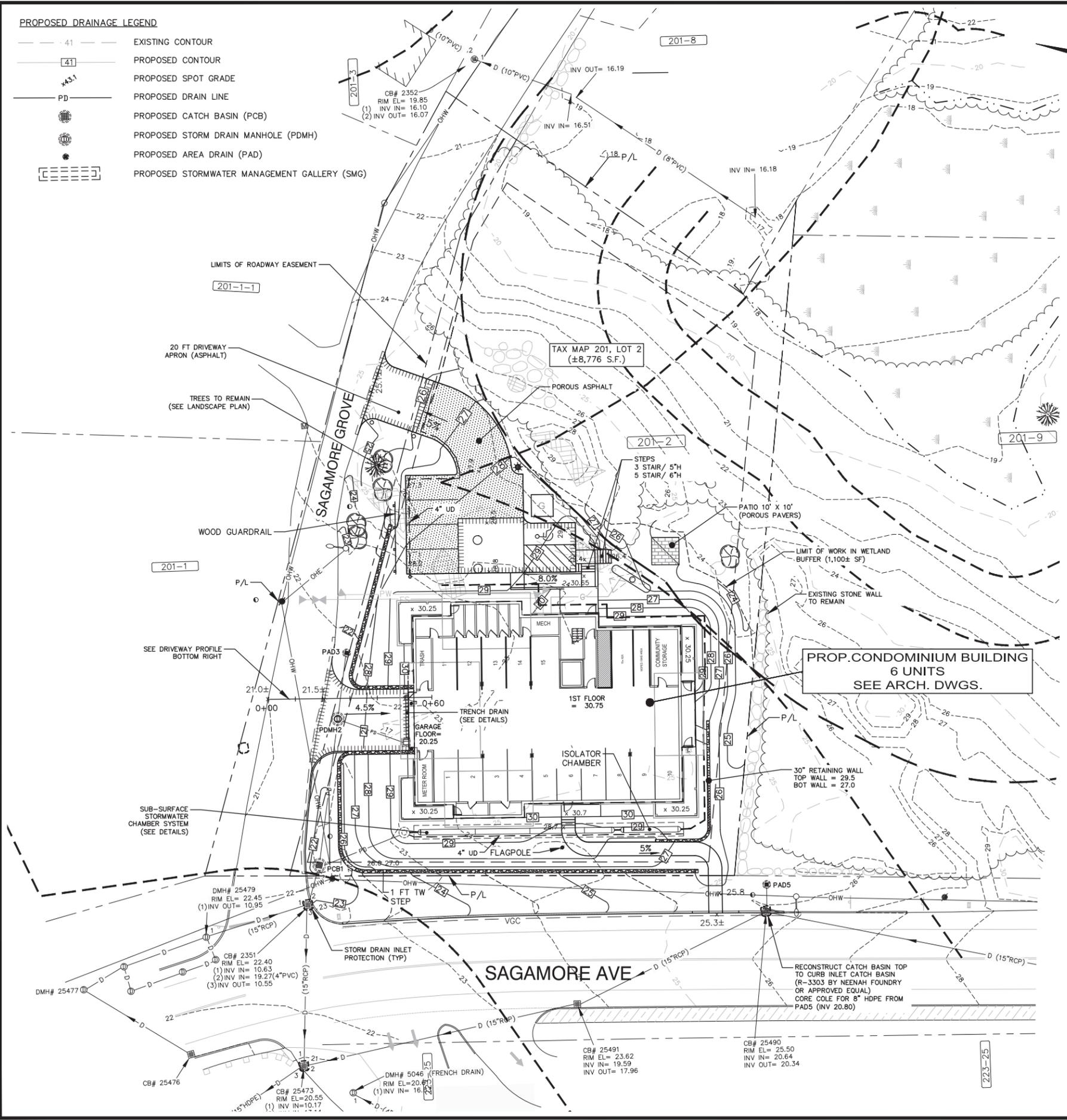
1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
2. ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL READ AND FAMILIARIZE THEMSELVES WITH THE PROJECT GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
4. DEWATERING ACTIVITIES SHALL BE DONE IN ACCORDANCE WITH EPA AND NHDES REGULATIONS AND GUIDELINES.
5. PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES AREA SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS DEGREE OF INSULATION AGAINST FREEZING.
6. IF SUITABLE, EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
7. ALL STORM DRAIN PIPE SHALL BE ADS N-12 OR EQUAL AND APPROVED BY THE ENGINEER.
8. ALL CATCH BASIN, GATE VALVE COVERS, AND MANHOLE RIMS SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISHED GRADE. ANY RIM OR VALVE COVER ABOVE SURROUNDING FINISHED GRADE WILL NOT BE ACCEPTED.
9. ALL CATCH BASINS SHALL BE PRECAST, H-20 LOADING AND BE EQUIPPED WITH 4-FOOT DEEP MIN SEDIMENTATION SUMPS AND GREASE HOODS. (SEE DETAILS)
10. ALL SPOT GRADES ARE AT THE FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
11. UNLESS OTHERWISE SPECIFIED, RETAINING WALL AND BUILDING PERIMETER DRAINS SHALL BE DIRECTED TO THE NEAREST DRAINAGE STRUCTURE. IF DEEMED APPROPRIATE, CONTRACTOR SHALL PROVIDE ADDITIONAL UNDERDRAINS AT THE DIRECTION OF THE ENGINEER.
12. MODULAR BLOCK RETAINING WALL FINISH TO BE SELECTED BY OWNER.
13. ALL INTERNAL FLOOR DRAINS SHALL BE EVAPORATIVE AND SHALL NOT TIE INTO EXTERNAL STORM DRAIN SYSTEM.
14. CONTRACTOR SHALL PROTECT ALL RAINGARDENS FROM CONSTRUCTION STORMWATER RUNOFF. TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED DURING CONSTRUCTION. STORMWATER SHALL NOT BE DIRECTED TO THE RAINGARDENS UNTIL THE WATERSHED ARE HAS BEEN STABILIZED.

DRAINAGE STRUCTURES

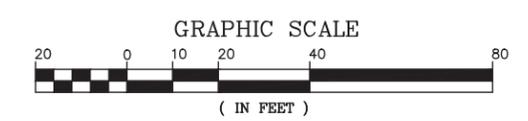
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- PDMH2**
RIM = 21.30
8" INV. IN = 16.90 (TRENCH DRAIN)
12" INV. IN = 16.90 (PAD3)
12" INV. OUT = 16.80
- PAD3**
RIM = 21.00
12" INV. OUT = 17.00
- TRENCH DRAIN**
ELEV = 20.10
8" INV. OUT = 17.10
- PAD5**
RIM = 25.30
8" INV. OUT = 21.3

STORMWATER PRACTICES

- STORMWATER GALLERY A**
24" DIA PERF PIPE
1 ROW / 90 FT LENGTH
(20 FT ISOLATION CHAMBER)
PIPE INV = 24.50
ROCK BOTTOM = 24.00



DRIVEWAY PROFILE
SCALE: 1" = 10' HORIZONTAL
1" = 2' VERTICAL (5X)



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ISSUED FOR: **PLANNING BOARD**

ISSUE DATE: **NOVEMBER 22, 2021**

| NO. | DESCRIPTION | BY | DATE |
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TAX MAP 201, LOT 2
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PORTSMOUTH, NH 03801

TITLE:

GRADING AND DRAINAGE PLAN

SHEET NUMBER:

C-3

P5079

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Altus Engineering, Inc.
133 Court Street
Portsmouth, NH 03801-4413

3 December 2019

Dear Mr. Weinrieb;

This letter is in reference to three vacant parcels on Wentworth House Road in Portsmouth, NH, identified as tax map 201, lots 9, 10, and 11. On 14 November 2019 I conducted a wetland delineation to assist you in planning the development of this property.

The City of Portsmouth defines wetlands as follows:

"An area that is inundated or saturated by surface or ground water at a frequency and duration to support, and that under normal conditions does support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands include, but are not limited to, swamps, marshes, bogs, vernal pools, and similar areas. The following are specifically included in the definition of wetland:

Created wetland: An area that has been transformed from upland to wetland where the upland was not created by human activity such as filling or water diversion.

Inland wetland: A wetland that is not subject to periodic inundation by tidal waters.

Tidal wetland: A wetland whose vegetation, hydrology or

soils are influenced by periodic inundation of tidal waters."

Wetland characteristics were identified using the technical criteria in the *Regional Supplement to the Corps of Engineers Wetlands Delineation Manual: Northcentral and Northeast Region*. The soil component was classified using the *Field Indicators of Hydric Soils in the United States* and the *Field Indicators for Identifying Hydric Soils in New England*. The wetland status of plants were determined using the *National List of Plant Species that Occur in Wetlands: Northeast (Region 1)*. This is the standard used by State and Federal regulators.

A single freshwater wetland was identified along the common boundary of lots 9 and 10. The wetland-upland boundary was marked with 24 sequentially numbered blue flags. This isolated freshwater 'inland' wetland ends along the rear property line of parcel 201/8.

Please contact me if you have questions regarding this work.

Sincerely,



Michael Cuomo
NH Wetland Scientist #004
NH Soil Scientist #006



Michael Cuomo, Soil Scientist

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WETLAND AND BUFFER EVALUATION
using the
Highway Methodology Workbook Supplement

960 Sagamore Road
and
Wentworth Road

Tax map 201, Lot 9

Prepared for:

Altus Engineering, Inc.
133 Court Street
Portsmouth, NH

Prepared by:



Michael Cuomo

27 December 2016

Michael Cuomo, Soil Scientist

6 York Pond Road, York, Maine 03909

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PURPOSE

This report uses *The Highway Methodology Workbook Supplement* (hereafter referred to as the 'Highway Method') to assess the wetlands and buffers at this site. This information is required by City of Portsmouth zoning as part of the Conditional Use Permit application for impact within the wetland buffer. No direct wetland impact is proposed.

SITE

The 'Sagamore Studios' project site is located at the intersection of Wentworth and Sagamore Roads in Portsmouth, NH. This wooded 1.44 acre lot is vacant. A portion of the existing conditions plan is attached at the rear of this report for reference.

WETLAND in the LANDSCAPE

One wetland exists on this site and continues off site to the east. The entire wetland, including the portion off-site, is estimated to be 1/2 acre (about 20,000 square feet) in size. This wetland is regulated by the City because it is greater than 10,000 square feet. It requires a 100 foot buffer, per local zoning.

The wetland receives water from natural subsurface and surface flows, including rain water and snow melt. It is supplemented by flow from a culvert under Wentworth Road. The wetland is not associated with any natural surface water body. Water ponds to shallow depth and for medium duration in this wetland. The wetland does not have the physical characteristics associated with a vernal pool.

The wetland probably extended further to the north and east but was filled at some time in the past when the area was developed. This is inferred by the straight wetland-upland boundaries along these margins of the wetland. The wetland may have flowed north in a small channel to Sagamore Creek prior to development of the Sagamore Grove neighborhood. This is inferred by the presence of a 8" diameter culvert pipe which now flows from the wetland, beneath

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map 201, lots 8 and 3. Two catch basins on these abutting lots identify the apparent route of this pipe.

The wetland has been modified by human activity as described above. The long lasting evidence of this disturbance is reflected in the significant population of non-native invasive plant species which are displacing native plants. Native wildlife is adapted to native plants, so invasive plants generally have reduced wildlife habitat value and disrupt native ecosystems. Invasive shrubs are also found in the uplands on this site. Invasive plants are noted below with an asterisk (*).

VEGETATION AND SOIL

Common plant species in the wetland are listed below by strata.

Trees:

American elm (*Ulmus americana*)
red maple (*Acer rubrum*)
American ash (*Fraxinus americana*)

Shrubs:

glossy buckthorn (*Rhamnus frangula*)*
common winterberry holly (*Ilex verticillata*)
American cranberrybush (*Viburnum trilobum*)
northern arrow-wood (*Viburnum recognitum*)
multiflora rose (*Rosa multiflora*)*

Herbs:

broad-leaf cattail (*Typha latifolia*)
purple loose-strife (*Lythrum salicaria*)*
sensitive fern (*Onoclea sensibilis*)
fireweed (*Epilobium sp.*)
buttercup (*Ranunculus sp.*)
soft rush (*Juncus effusus*)

* Invasive plants

The soils in the wetland are poorly drained fine textured sediments of glacio-marine origin. This is the Scitico soil series. The soil is typically saturated to the surface for less

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than 9 months of the average year. The soils have increasing clay content with depth and absorb water slowly. Though deep to bedrock, these soils have shallow effective rooting depth.

Using the *Classification of Wetlands and Deepwater Habitats of the United States*, developed by Cowardin and others, this wetland is labeled 'PEM1' with a 'PFO1' fringe. This indicates the core of the wetland is a freshwater marsh with persistent emergent plants. The edge is a forested freshwater swamp dominated by deciduous trees.

Additional invasive plants noted in the uplands are bittersweet (*Celastrus scandens*), honeysuckle (*Lonicera sp.*), barberry (*Berberis sp.*), Japanese knotweed (*Polygonum cuspidatum*), and burning bush (*Euonymus atropurpureus*).

The soils in the upland are dominated by shallow and moderately deep to bedrock medium textured glacial till. This would be the Chatfield and Hollis soil series. There are a number of bedrock outcroppings at the surface.

HIGHWAY METHOD

The wetland and buffer were evaluated using the Highway Method on 8 December 2016 by Michael Cuomo, NH Wetland Scientist #4. The results are summarized on the worksheet attached at the rear of this report and described in detail below.

The Highway Method was developed to rapidly evaluate and compare a series of wetlands, primarily for the purpose of selecting the highway corridor with the least environmental impact from among alternative routes. For the purpose of this work, it provides an evaluation framework for drawing attention to the most important functions the wetland serves. The Highway Method does not produce a numerical score. It provides guidance and a framework for the professional judgment of the evaluator, who selects which functions occur and determines the Principal Function(s). The Highway Method evaluates the entire wetland and buffer, including

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those areas which are off-site and can not be controlled by the applicant.

SUMMARY OF HIGHWAY METHOD RESULTS

The Principal Function served by the wetland is Nutrient Removal.

Nutrient Removal is defined in the Highway Method as "...the effectiveness of the wetland as a trap for nutrients in the runoff water from surrounding uplands or contiguous wetlands and the ability of the wetland to process these nutrients into other forms or trophic levels...to prevent ill effects of nutrients entering aquifers or surface waters ..." This wetland performs Nutrient Removal relatively well because of it's ability to trap sediments, the fine textured soil, dense emergent vegetation, and it's cyclical wetting and drying.

The second most important wetland function is Sediment/Toxicant Retention, which "...reduces or prevents degradation of water quality." This wetland performs Sediment/Toxicant Retention relatively well because of it's ability to trap sediments, dense emergent vegetation, and the constricted outlet.

The third most important wetland function is Wildlife Habitat "...the effectiveness of the wetland to provide habitat for various types and populations of animals typically associated with wetlands and the wetland edge." In this case the function is related to the density of wetland vegetation and the wetland as a refuge for small animals in an otherwise developed area along Sagamore Creek.

The wetland performs the Floodflow Alteration function to a limited degree. "This function considers the effectiveness of the wetland in reducing flood damage by water retention for prolonged periods following precipitation events and the gradual release of flood waters." Positive indicators of this function are dense vegetation, constricted outlet, and topography.

Production Export is "...the effectiveness of the wetland to

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produce food or usable products for humans or other living organisms." Wetlands closely associated with waterbodies perform this function best. There is no waterbody associated with this wetland so the function is performed to a limited degree.

Fish and Shellfish Habitat is "...the effectiveness of wetlands, embayments, tidal flats, vegetated shallows, and other environments in supporting marine resources such as fish, shellfish, marine mammals, and sea turtles." The wetland does not support this function because it lacks aquatic habitat.

Sediment/Shoreline Stabilization is "...the effectiveness of a wetland to stabilize streambanks and shorelines against erosion." The wetland is not associated with a waterbody so does not perform this function.

Visual Quality/Aesthetics "...considers the visual and aesthetic quality or usefulness of a wetland." This wetland has no exceptional visual features and is not easily accessible or visible from public places, so the function is performed to a very limited degree.

Recreation "...considers the suitability of the wetland and associated watercourses to provide recreational opportunities such as hiking, canoeing, boating, fishing, hunting, and other active or passive recreational activities." Because of the small size, lack of public access, lack of a waterbody, and surrounding development, this wetland does not provide recreational opportunities.

Educational/Scientific Value is "...the suitability of the wetland as a site for an outdoor classroom or as a location for scientific study or research." The disturbed nature, lack of public access, and lack of wetland diversity mean this wetland performs this function to a very limited degree.

Uniqueness/Heritage "...may include archeological sites, critical

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habitat for endangered species, overall health and appearance, it's role in the ecosystem of the area..." The disturbed nature of the wetland and the common occurrence of this wetland type in the area means the wetland does not perform this function. Inquiry to NH Natural Heritage Bureau revealed no endangered species habitat.

Endangered Species Habitat "...considers the suitability of the wetland to support threatened or endangered species." The disturbed nature of the wetland and the common occurrence of this wetland type in the area means the wetland does not perform this function. Inquiry to NH Natural Heritage Bureau revealed no endangered species habitat.

Groundwater Recharge/Discharge is "...the potential for the wetland to serve as a groundwater recharge and/or discharge area...the fundamental interaction between wetlands and aquifers...." Very slow soil permeability and soil transmissivity indicate the wetland does not perform this function.

CONCLUSIONS

All wetlands have value, even those such as this one that are degraded. There is widespread agreement among professionals that degraded wetlands in urban environments can have higher importance than may be reflected in wetland evaluation methods because they offer refuge for small wildlife, provide screening and green space, and are remnant wetlands in urban environments where many wetlands have historically been filled. This degraded wetland also has increased value due to it's physical proximity to Sagamore Creek.

Using the Highway Method as a framework for the functional assessment of this wetland, Nutrient Removal is the principle wetland function.

The wetland performs three other functions: Sediment/Toxicant Retention, Wildlife Habitat, and Floodflow Alteration.

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The wetland does not perform, or performs to a very limited degree the remaining functions the Highway Method considers: Groundwater Recharge/Discharge, Sediment/Shoreline Stabilization, Production Export, Fish & Shellfish Habitat, Endangered Species Habitat, Visual Quality/Aesthetics, Education/Scientific Value, Recreation, and Uniqueness/Heritage.

The wetland has been partially degraded by historical filling of part of the wetland off the subject property. What may be the historical outflow has been culverted and now runs under the yards of abutting properties and under Sagamore Grove in a system of pipes and receives untreated stormwater through catch-basins. The wetland has a number of undesirable invasive plants, a sign of past disturbance, human induced nutrient enrichment, and sediment deposition. Surrounding land uses, medium density residential and commercial development, partially degrade the 100 foot buffer around the wetlands. Much of the off-site wetland buffer contains structures, parking pavement and lawns. The on-site buffer contains invasive shrubs as well as native plants.

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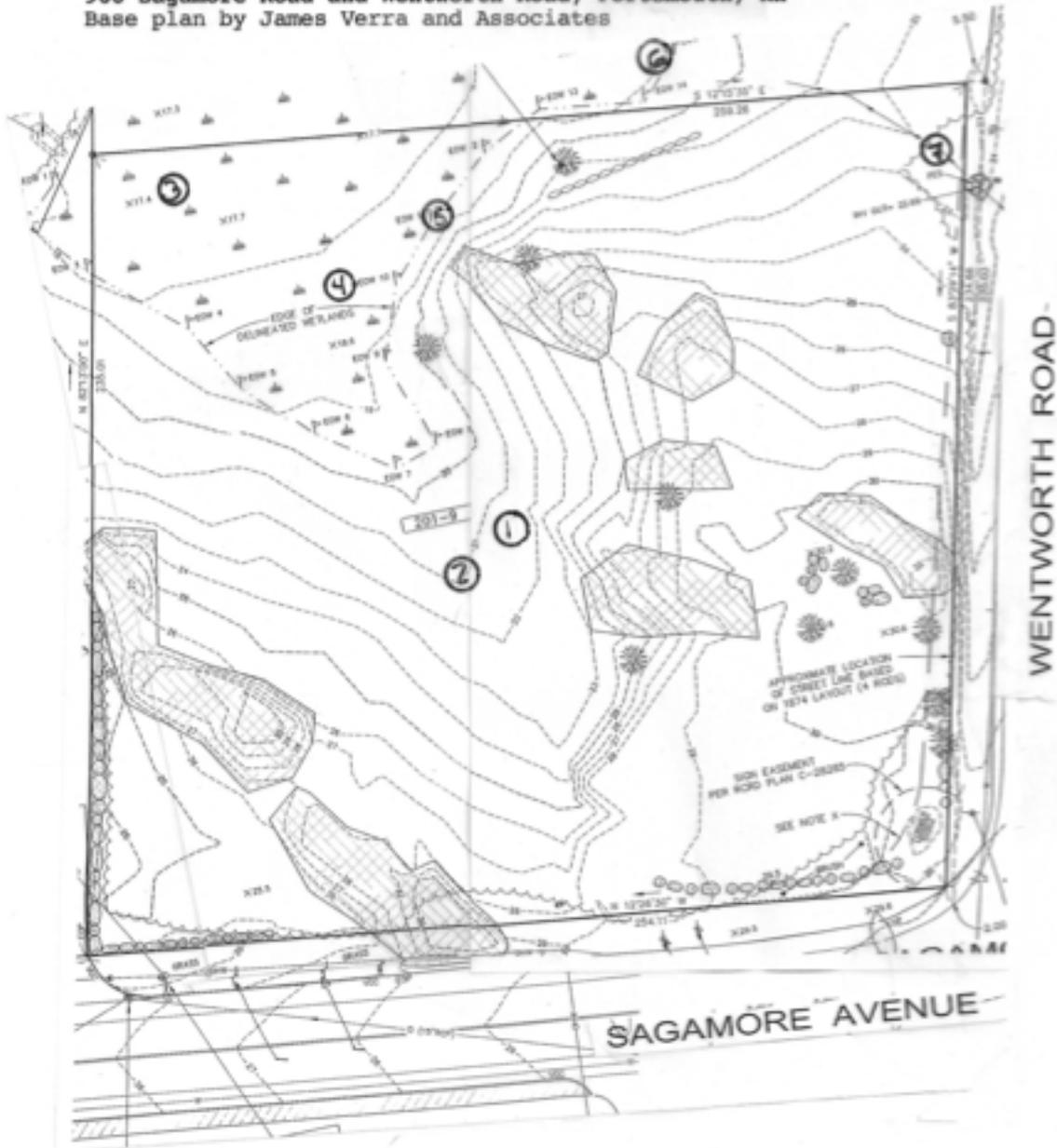
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Portion of PRELIMINARY EXISTING CONDITIONS PLAN
with photo locations added

960 Sagamore Road and Wentworth Road, Portsmouth, NH

Base plan by James Verra and Associates



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Sagamore Studios photo 1: Bittersweet on buckthorn

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Sagamore Studios photo 2: Multiflora rose and bittersweet

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Sagamore Studios photo 3: Purple loose-strife

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Sagamore Studios photo 4: Forested wetland edge

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Sagamore Studios photo 5: Buckthorn along wetland-upland boundary

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Sagamore Studios photo 6: View of wetland

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Sagamore Studios photo 7: Upland near culvert discharge alongside Wentworth Road

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NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

To: Michael Cuomo
6 York Pond Road
York, ME 03909

From: NH Natural Heritage Bureau

Date: 12/20/2016 (valid for one year from this date)

Re: Review by NH Natural Heritage Bureau of request submitted 12/13/2016

NHB File ID: NHB16-3737

Applicant: Eric Wiereib

Location: Portsmouth
Tax Maps: 201/9

Project Description: Commercial bldg proposed for vacant lot. No wetland impact.
Wetland buffer (City requirement) impact

The NH Natural Heritage database has been checked by staff of the NH Natural Heritage Bureau and/or the NH Nongame and Endangered Species Program for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government.

It was determined that, although there was a NHB record (e.g., rare wildlife, plant, and/or natural community) present in the vicinity, we do not expect that it will be impacted by the proposed project. This determination was made based on the project information submitted via the NHB Datacheck Tool on 12/13/2016, and cannot be used for any other project.

Department of Resources and Economic Development
Division of Forests and Lands
(603) 271-2214 fax: 271-6488

DRED/NHB
172 Pembroke Rd.
Concord, NH 03301

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NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

MAP OF PROJECT BOUNDARIES FOR: NHB16-3737

NHB16-3737



Department of Resources and Economic Development
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DRED/NHB
172 Pembeoke Rd.
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WETLAND FUNCTION-VALUE ASSESSMENT WETLAND I.D. (of 1)

PROJECT NAME: SAGAMORE SWAMP

PROJECT LOCATION: WESTINGHOUSE RD. + SAGAMORE AV. PREPARED BY: M. CUOMO DATE: 8/22/06 NO SNOW

DISTAL APPROXIMATE AREA OF WETLAND: 1/2 ACRE IS WETLAND PART OF A WILDLIFE CORRIDOR? N OR A HABITAT ISLAND? Y

ADJACENT LAND USE? RESIDENTIAL/COMMERCIAL DISTANCE TO NEAREST ROADWAY OR OTHER DEVELOPMENT 50 FT

DOMINANT WETLAND SYSTEMS PRESENT: POMI AND PFI CONTIGUOUS UNDEVELOPED BUFFER ZONE PRESENT? NO

DOES THE WETLAND A SEPARATE HYDRAULIC SYSTEM? Y IF NOT, WHERE DOES THE WETLAND LIE IN THE DRAINAGE BASIN? ISOLATED

OF TRIBUTARIES INTO THE WETLAND? 0 AQUATIC DIVERSITY/ABUNDANCE None VEGETATIVE DIVERSITY/ABUNDANCE WATER

WILDLIFE DIVERSITY/ABUNDANCE low ANTICIPATED IMPACTS Buffer only WETLAND AREA IMPACTED: 0

| TREES | SHRUBS | HERBS | WILDLIFE | COMMENTS |
|---|---|--|----------|----------|
| <p><u>ALNUS AMERICANA</u></p> <p><u>Q. ROBURUM</u></p> <p><u>HEDERA AMERICANA</u></p> | <p><u>RHAMNUS FLORIDANA</u></p> <p><u>ILEX</u></p> <p><u>VERTEICILLATA</u></p> <p><u>VIBURNUM</u></p> <p><u>TRELOBUM</u></p> <p><u>VIBURNUM</u></p> <p><u>RELOCANUM</u></p> | <p><u>ORNITHOGALIS</u></p> <p><u>SENEBIOIDES</u></p> <p><u>LYTHIUM</u></p> <p><u>SALEICARIA</u></p> <p><u>TYPH</u></p> <p><u>LANTANA</u></p> <p><u>ERIGONIA</u></p> <p><u>sp.</u></p> <p><u>Ranunculus</u></p> <p><u>sp.</u></p> | | |

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| FUNCTION | Occurrence | | Rationale Numbers | Principal Valuable Function(s) | Comments |
|----------------------------------|------------|---|--------------------------------|--------------------------------|------------|
| | Y | N | | | |
| Groundwater Recharge/Discharge | X | | NO 6 YES 10 | | SEE REPORT |
| Floodflow Alteration | YES | | NO - YES 2, 8, 15, 18 | | |
| Sediment/Shoreline Stabilization | X | | ? | | |
| Sediment/Toxicant Retention | YES | | NO - YES 4, 5, 7 | | |
| Nutrient Removal | YES | | NO - YES 3, 4, 8, 9, 11, 14 | X | |
| Production Export (Nutrient) | X | | NO - YES 2, 7 | | |
| Fish & Shellfish Habitat | X | | NO 1, 2 YES - | | |
| Wildlife Habitat | YES | | NO - YES 11, 13, 21 | | |
| Endangered Species Habitat | X | | NO - YES - | | |
| Visual Quality/Aesthetics | X | | NO - YES - | | |
| Educational Scientific Value | X | | NO - YES - | | |
| Recreation ((Non)Consumptive) | X | | NO - YES 5, 12 | | |
| Uniqueness/Heritage | X | | NO 1, 2, 5 YES - | | |



NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

To: Michael Cuomo
6 York Pond Road
York, ME 03909

From: NH Natural Heritage Bureau

Date: 12/20/2016 (valid for one year from this date)

Re: Review by NH Natural Heritage Bureau of request submitted 12/13/2016

NHB File ID: NHB16-3737

Applicant: Eric Wiereib

Location: Portsmouth
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Project Description: Commercial bldg proposed for vacant lot. No wetland impact.
Wetland buffer (City requirement) impact

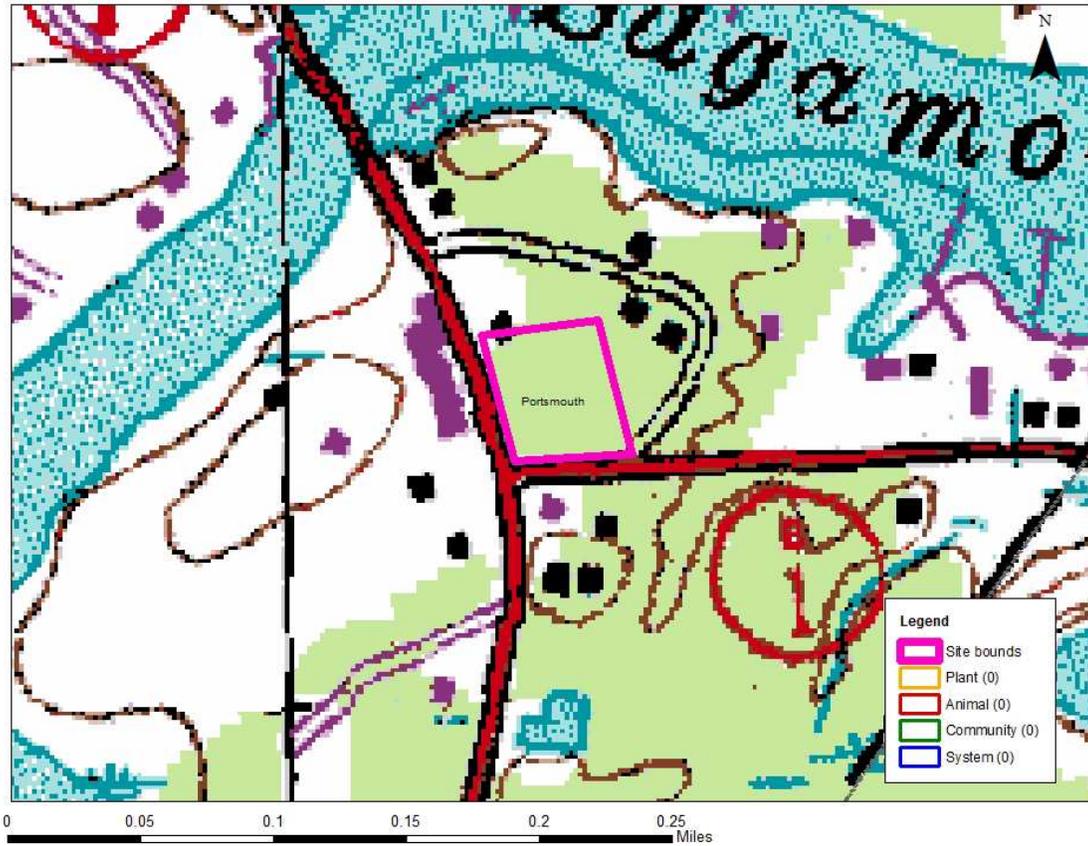
The NH Natural Heritage database has been checked by staff of the NH Natural Heritage Bureau and/or the NH Nongame and Endangered Species Program for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government.

It was determined that, although there was a NHB record (e.g., rare wildlife, plant, and/or natural community) present in the vicinity, we do not expect that it will be impacted by the proposed project. This determination was made based on the project information submitted via the NHB Datacheck Tool on 12/13/2016, and cannot be used for any other project.



MAP OF PROJECT BOUNDARIES FOR: NHB16-3737

NHB16-3737



MEMORANDUM

TO: Katz Development Corporation
c/o Mr. Eric S. Katz
273 Corporate Drive, Suite 150
Portsmouth, NH 03801

FROM: Mr. Jeffrey S. Dirk, P.E., PTOE, FITE 
Managing Partner
Vanasse & Associates, Inc.
35 New England Business Center Drive
Suite 140
Andover, MA 01810-1066
(978) 269-6830
jdirk@rdva.com

Professional Engineer in CT, MA, ME, NH, RI and VA

DATE: May 25, 2021

RE: 8992

SUBJECT: Traffic Impact Study
Proposed Multifamily Residential Development – 960 Sagamore Avenue (NH Route 1A)
Portsmouth, New Hampshire

Vanasse & Associates, Inc. (VAI) has conducted a Traffic Impact Study (TIS) in order to determine the potential impacts on the transportation infrastructure associated with the proposed age-targeted multifamily residential development to be located at 960 Sagamore Avenue (NH Route 1A) in Portsmouth, New Hampshire (hereafter referred to as the “Project”). This study evaluates the following specific areas as they relate to the Project: i) access requirements; ii) potential off-site improvements; and iii) safety considerations; and identifies and analyzes existing traffic conditions and future traffic conditions, both with and without the Project along Sagamore Grove and at the following specific intersections: NH Route 1A at Sagamore Grove; Sagamore Grove at the west Project site driveway; and Sagamore Grove at the east Project site driveway.

Based on this assessment, we have concluded the following with respect to the Project:

1. Using trip-generation statistics published by the Institute of Transportation Engineers (ITE),¹ the Project is expected to generate approximately 20 vehicle trips on an average weekday (two-way volume over the operational day of the Project), with 4 vehicle trips expected during the weekday morning peak hour and 6 vehicle trips expected during the weekday evening peak hour;
2. In comparison to the existing uses that occupy the site, the Project is expected to generate approximately 188 *fewer* vehicle trips on an average weekday, with 10 *fewer* vehicle trips expected during the weekday morning peak hour, and 12 *fewer* vehicle trips expected during the weekday evening peak hour;
3. Given the significant reduction in traffic that is predicted as a result of the Project, the Project will be less impactful on the transportation infrastructure when compared to the existing uses that occupy the Project site;

¹*Trip Generation*, 10th Edition; Institute of Transportation Engineers; Washington, DC; 2017.



4. A review of motorist delays and vehicle queuing at the NH Route 1A/Sagamore Grove intersection indicates that the Project will not result in a significant increase in motorist delays or vehicle queuing, with Project-related impacts defined as an increase in average motorist delay of less than 1.0 seconds with no predicted increase in vehicle queuing; and
5. Lines of sight at the Project site driveway intersections were found to meet, exceed or could be made to meet or exceed the recommended minimum distances for safe operation.

In consideration of the above, we have concluded that the Project can be accommodated within the confines of the existing transportation infrastructure in a safe and efficient manner with the implementation of the recommendations defined herein.

The following details our assessment of the Project.

PROJECT DESCRIPTION

The Project will entail the construction of an 8-unit multifamily residential development to be located at 960 Sagamore Avenue (NH Route 1A) in Portsmouth, New Hampshire. The Project site encompasses approximately 0.98± acres of land that is bounded by Sagamore Grove to the north; areas of open and wooded space to the south and east; and NH Route 1A to the west. The Project site currently contains a mixed-use building that includes a residential unit, 1,420± square feet (sf) of retail space and 1,230 sf of restaurant space. The existing building and associated appurtenances will be removed to accommodate the Project. Access to the Project site will be provided by way of two new driveways that will intersect the south side of Sagamore Grove approximately 75 feet and 175 feet east of NH Route 1A, respectively. The existing driveway that currently serves the Project site along NH Route 1A will be closed in conjunction with the Project resulting in an overall improvement in safety through the elimination of a conflict point for vehicles, pedestrians and bicyclists along NH Route 1A.



Imagery ©2021 Google

On-site parking will be provided for up to 25 vehicles, or a parking ratio of 3.12 spaces per unit, consisting of 7 exterior parking spaces and 18 parking spaces to be located in a garage beneath the residential building. This parking ratio (3.12 parking spaces per unit) exceeds the requirements of Section 10.1112.30, *Off-Street Parking Requirements*, of the City of Portsmouth Zoning Ordinance.²

EXISTING CONDITIONS

A comprehensive field inventory of existing conditions within the study area was conducted in May 2021. This inventory included the collection of traffic volume data and vehicle travel speed measurements, as well as a review of existing pedestrian and bicycle accommodations, public transportation services, and motor vehicle crash data. The following summarizes existing conditions within the study area.

Roadways

NH Route 1A

NH Route 1A is a two-lane minor arterial roadway (Tier 5, Class IV) under the jurisdiction of the City of Portsmouth that traverses the study area in a general north-south alignment. In the vicinity of the Project site, NH Route 1A provides two 11± foot wide travel lanes separated by a double-yellow centerline with 6± foot wide marked shoulders provided. The posted speed limit along NH Route 1A within the study area is 30 miles per hour (mph); prevailing travel speeds measured in May 2021 were found to be 35 mph.³ Illumination is provided by way of streetlights mounted on wood poles. Land use along NH Route 1A within the study area consists of the Project site, commercial properties, areas of open and wooded space, and the Sagamore Creek.

Sagamore Grove

Sagamore Grove is a two-lane local road (Tier 5, Class V) under the jurisdiction of the City of Portsmouth that traverses the study area in a general east-west direction for a distance of approximately 475 feet east of NH Route 1A. In the vicinity of the Project site, Sagamore Grove provides a 21± foot wide traveled-way with no marked centerline or shoulders provided. A posted speed limit is not provided along Sagamore Grove and, as such, the statutory speed limit is 30 mph.⁴ Illumination is provided by way of streetlights mounted on wood poles. Land use along Sagamore Grove within the study area consists of the Project site, residential properties and areas of open and wooded space.

Intersection

NH Route 1A at Sagamore Grove

Sagamore Grove intersects NH Route 1A from the east to form a three-way intersection under STOP-sign control. The NH Route 1A approaches consist of a single 11± foot wide general-purpose travel lane with 6± foot wide marked shoulders. The Sagamore Grove approach provides a single general-purpose lane that

²The Zoning Ordinance requires a minimum of 0.5 spaces per dwelling units of less than 500 sf; 1.0 spaces per dwelling units between 500 to 750 sf; and 1.3 spaces for dwelling units greater than 750 sf.

³The prevailing travel speed is also known as the 85th percentile vehicle travel speed, or the speed at which 85 percent of the observed vehicles traveled at or below during the observation period.

⁴The statutory speed limit for any business or urban residence district is 30 mph as defined in the 2019 New Hampshire Revised Statutes Section 265:60 *Basic Rule and Maximum Limits*.



is under STOP-sign control with a marked STOP-line provided. A sidewalk is provided along the west side of NH Route 1A and illumination is provided by way of streetlights mounted on wood poles. Land use in the vicinity of the intersection consists of residential properties, Seacoast Mental Health Center, Freedom Boat Club and areas of open and wooded space.

Existing Traffic Volumes

In order to determine existing traffic-volume demands and flow patterns within the study area, automatic traffic recorder (ATR) counts, manual turning movement counts (TMCs) and vehicle classification counts were completed in May 2021. The ATR counts were conducted on NH Route 1A in the vicinity of the Project site on May 12th through May 13th, 2021 (Wednesday through Thursday, inclusive) in order to record weekday traffic conditions over an extended period, with weekday morning (7:00 to 9:00 AM) and evening (4:00 to 6:00 PM) peak period manual TMCs performed at the intersection of NH Route 1A at Sagamore Grove on May 12, 2021 (Wednesday). These time periods were selected for analysis purposes as they are representative of the peak traffic-volume hours for both the Project and the adjacent roadway network.

In order to evaluate the potential for seasonal fluctuation of traffic volumes within the study area, 2019 peak-hour and average daily traffic count data were reviewed for NHDOT count station No. 02345001, which is located on Route 1, north of North Road in North Hampton. Based on a review of this data, it was determined that traffic volumes for the month of May are approximately 7.2 percent below peak-month conditions and, therefore, the raw traffic count data that forms the basis of this assessment was adjusted upward accordingly (by 7.2 percent) to represent peak-month conditions in accordance with NHDOT standards.

In order to account for the impact on traffic volumes and trip patterns resulting from the COVID-19 pandemic, traffic-volume data collected at NH DOT Continuous Count Station No. 02345001 in May 2021 was compared to May 2019 traffic volumes that were collected at the same location. The 2019 traffic volumes were expanded to 2021 by applying a background traffic growth rate of 1.0 percent per year in order to allow for a comparison of the data. Based on this comparison, the May 2021 traffic volumes that were collected as a part of this assessment were adjusted upward by an additional 15.1 percent.

Based on a review of the adjusted (as defined above) traffic count data, NH Route 1A in the vicinity of the Project site accommodates approximately 9,790 vehicles per day on an average weekday under peak-month conditions (two-way, 24-hour volume), with approximately 689 vehicles per hour (vph) during the weekday morning peak hour (8:00 to 9:00 AM) and 852 vph during the weekday evening peak hour (4:30 to 5:30 PM).

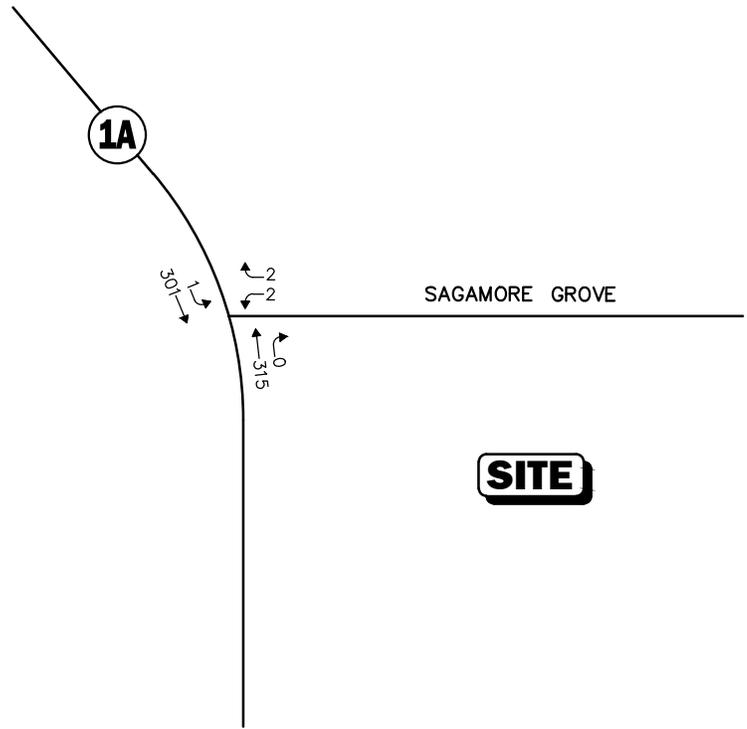
Pedestrian and Bicycle Facilities

Sidewalks are currently provided along the west side of NH Route 1A. Formal bicycle facilities were not identified within the immediate study area; however, both NH Route 1A and Sagamore Grove provide sufficient width to accommodate bicycle travel in a shared traveled-way configuration (i.e., bicyclists and motor vehicles sharing the traveled-way).⁵ Signs indicating that bicycles may use the full travel lane are provided along Route 1A.

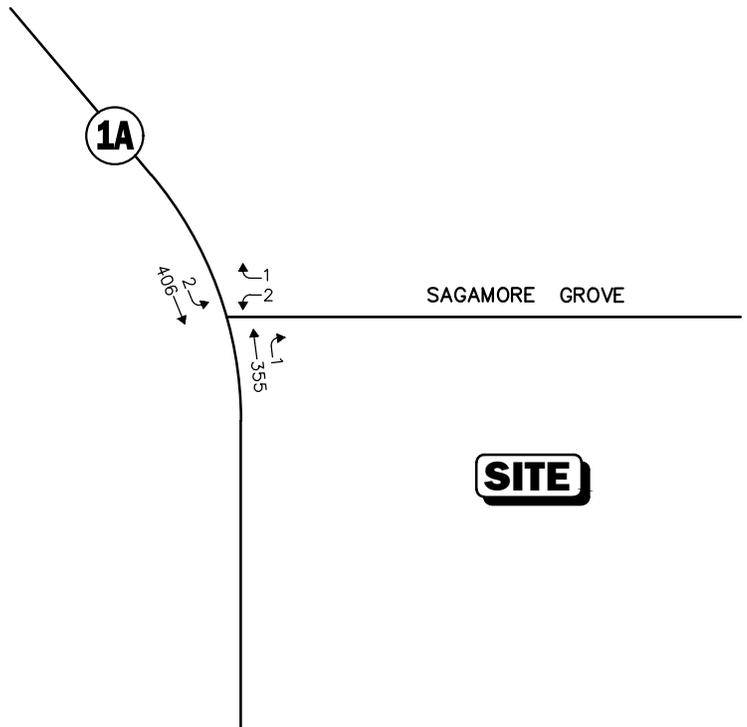
⁵A minimum combined travel lane and paved shoulder width of 14-feet is recommended to support bicycle travel in a shared traveled-way condition.



WEEKDAY EVENING PEAK HOUR (8:00 - 9:00 AM)



WEEKDAY EVENING PEAK HOUR (4:30 - 5:30 PM)



 Not To Scale



Figure 1

2021 Existing Peak-Month Peak-Hour Traffic Volumes

Public Transportation Services

Regularly scheduled fixed-route bus service is provided within the City of Portsmouth by way of the Cooperative Alliance for Seacoast Transportation (COAST); however, these services are not directly accessible at the Project site. In addition to fixed-route bus services, COAST operates paratransit services for eligible persons who cannot use fixed-route transit all or some of the time due to a physical, cognitive, or mental disability in compliance with the Americans with Disabilities Act (ADA). COAST and the City of Portsmouth also provide transportation services for eligible seniors, including free transportation to the Seacoast Mental Health Center.

Motor Vehicle Crash Data

Motor vehicle crash information for the intersection of NH Route 1A at Sagamore Grove has been requested from the Portsmouth Police Department in order to examine motor vehicle crash trends occurring at this location. This data will be summarized in a supplemental memorandum as soon as it is received.

FUTURE CONDITIONS

Traffic volumes in the study area were projected to the years 2022 and 2032, which reflect the anticipated opening-year of the Project and a ten-year planning horizon from opening-year, respectively, consistent with NHDOT TIS guidelines. The future condition traffic-volume projections incorporate identified specific development projects by others, as well as general background traffic growth as a result of development external to the study area and presently unforeseen projects. Anticipated Project-generated traffic volumes superimposed upon the 2022 and 2032 No-Build traffic volumes reflect the Build conditions with the Project.

Future Traffic Growth

Future traffic growth is a function of the expected land development in the immediate area and the surrounding region. Several methods can be used to estimate this growth. A procedure frequently employed estimates an annual percentage increase in traffic growth and applies that percentage to all traffic volumes under study. The drawback to such a procedure is that some turning volumes may actually grow at either a higher or a lower rate at particular intersections.

An alternative procedure identifies the location and type of planned development, estimates the traffic to be generated, and assigns it to the area roadway network. This procedure produces a more realistic estimate of growth for local traffic; however, potential population growth and development external to the study area would not be accounted for in the resulting traffic projections.

To provide a conservative analysis framework, both procedures were used, the salient components of which are described below.

Specific Development by Others

The City of Portsmouth has been contacted in order to determine if there were any projects planned within the study area that would have an impact on future traffic volumes at the study intersections. Based on these discussions, no projects were identified at this time that are expected to result in an increase in traffic that would exceed the general background traffic growth rate (discussion follows). A small (11-unit) multifamily residential development to be located at 1169 Sagamore Avenue is in the initial planning stages; however, formal plans have not been submitted to the City at this time.



General Background Traffic Growth

A review of historic traffic growth information compiled by NHDOT for the City of Portsmouth, and the Towns of New Castle and Rye was undertaken in order to determine general traffic growth trends. This data indicates that traffic volumes have fluctuated over the 10-year period between 2009 and 2019, with an average traffic growth rate of 0.54 percent. In order to provide a prudent planning condition for the Project, a slightly higher 1.0 percent per year compounded annual background traffic growth rate was used in order to account for future traffic growth and presently unforeseen development within the study area.

Roadway Improvement Projects

The City of Portsmouth and NHDOT were contacted in order to determine if there were any planned roadway improvement projects expected to be completed within the study area. Based on these discussions, no roadway improvement projects aside from routine maintenance activities were identified to be planned within the study area at this time.

No-Build Traffic Volumes

The 2022 and 2032 No-Build peak-month peak-hour traffic volumes were developed by applying the 1.0 percent per year compounded annual background traffic growth rate to the 2021 Existing peak-month peak-hour traffic volumes. The resulting 2022 No-Build weekday morning and evening peak-month peak-hour traffic volumes are shown on Figure 2, with the corresponding 2032 No-Build peak-month peak-hour traffic volumes shown on Figure 3.

PROJECT-GENERATED TRAFFIC

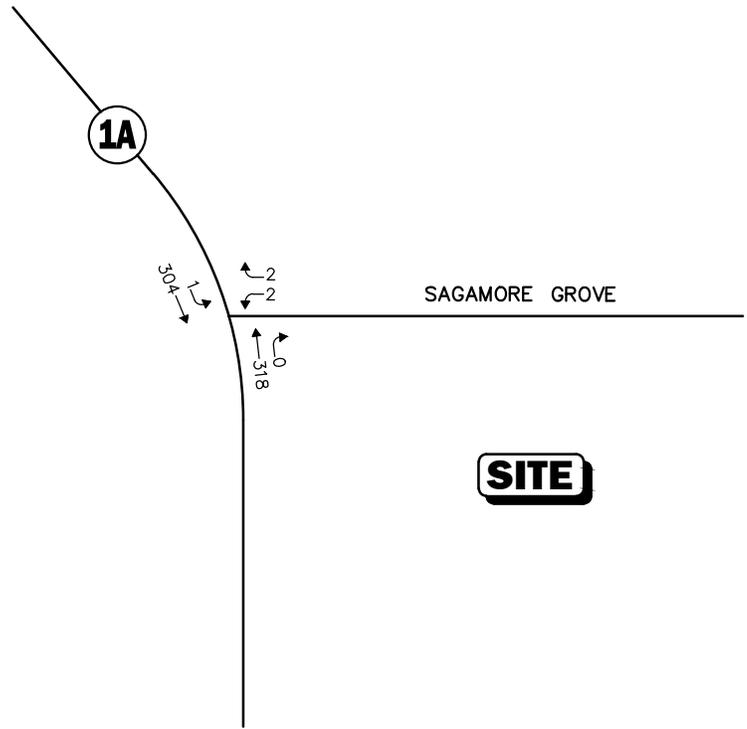
Design year (2022 and 2032) Build traffic volumes for the study area roadways were determined by estimating Project-generated traffic volumes and assigning those volumes on the study roadways. The following sections describe the methodology used to develop the anticipated traffic characteristics of the Project.

As proposed, the Project will entail the construction of an 8-unit multifamily residential community. In order to develop the traffic characteristics of the Project, trip-generation statistics published by the ITE⁶ for a similar land use as that proposed were used. ITE Land Use Code (LUC) 220, *Multifamily Housing (Low-Rise)*, was used to develop the traffic characteristics of the Project, the results of which are summarized in Table 1.

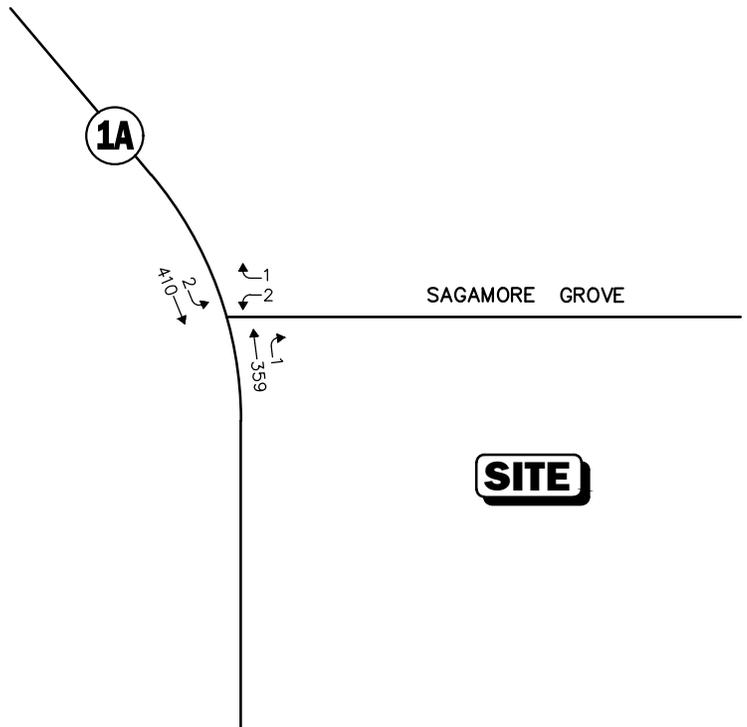
⁶Ibid 1.



WEEKDAY EVENING PEAK HOUR (8:00 - 9:00 AM)



WEEKDAY EVENING PEAK HOUR (4:30 - 5:30 PM)



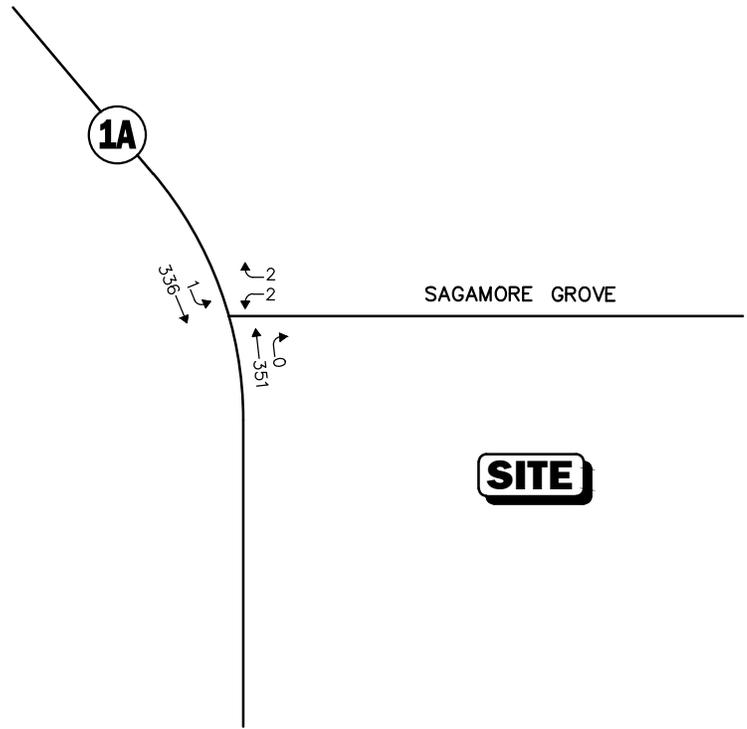
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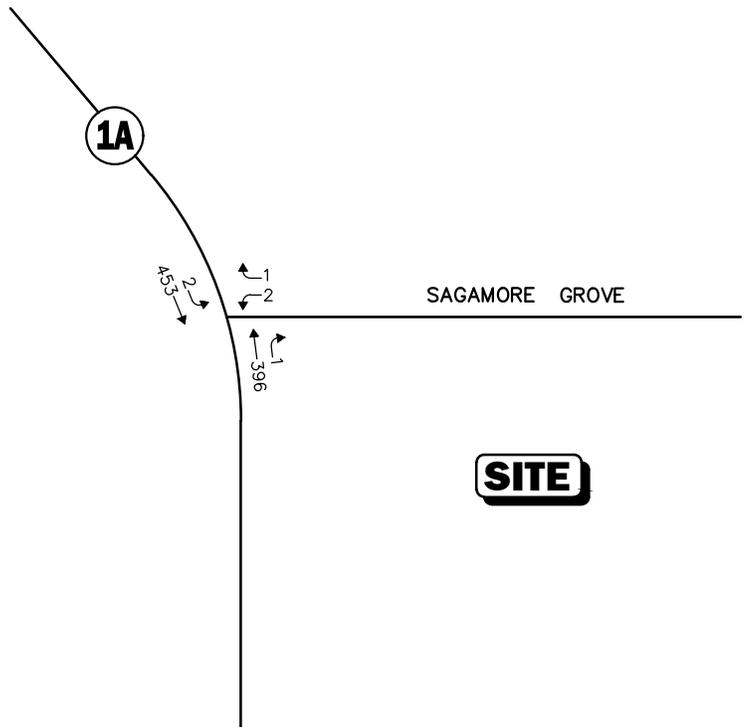
Figure 2

2022 No-Build
Peak-Month
Peak-Hour Traffic Volumes

WEEKDAY EVENING PEAK HOUR (8:00 - 9:00 AM)



WEEKDAY EVENING PEAK HOUR (4:30 - 5:30 PM)



Not To Scale



Figure 3

2032 No-Build
Peak-Month
Peak-Hour Traffic Volumes

Table 1
TRIP-GENERATION SUMMARY

| Time Period | Vehicle Trips | | |
|-----------------------------------|---------------|---------|-------|
| | Entering | Exiting | Total |
| <i>Average Weekday:</i> | 10 | 10 | 20 |
| <i>Weekday Morning Peak Hour:</i> | 1 | 3 | 4 |
| <i>Weekday Evening Peak Hour:</i> | 4 | 2 | 6 |

^aBased on ITE LUC 220, *Multifamily Housing (Low-Rise)*, 8 dwelling units.

Project-Generated Traffic Volume Summary

As can be seen in Table 1, the Project is expected to generate approximately 20 vehicle trips on an average weekday (two-way, 24-hour volume, or 10 vehicles entering and 10 exiting), with 4 vehicle trips (1 vehicle entering and 3 exiting) expected during the weekday morning peak hour and 6 vehicle trips (4 vehicles entering and 2 exiting) expected during the weekday evening peak hour.

Table 2 compares the traffic volumes associated with the Project to those of the existing uses that currently occupy the Project site and that will be removed.

Table 2
TRAFFIC VOLUME COMPARISON

| Time Period/Direction | Vehicle Trips | | |
|-----------------------------------|--|--------------------------------------|--------------------------|
| | (A) Proposed Residential Development ^a | (B) Existing Uses ^b | (C= A - B) Difference |
| <i>Average Weekday Daily:</i> | 20 | 208 | -188 |
| <i>Weekday Morning Peak Hour:</i> | 4 | 14 | -10 |
| <i>Weekday Evening Peak Hour:</i> | 6 | 18 | -12 |

^aBased on ITE LUC 220, *Multifamily Housing (Low-Rise)*, 8 dwelling units.

^bBased on ITE LUC 210, *Single-Family Detached Housing*, 1 dwelling unit; LUC 820, *Shopping Center*, 1,420 sf, and using the average trip rate given the small size of the demised area; and LUC 932, *High-Turnover (Sit-Down) Restaurant*, 1,230 sf



Traffic-Volume Comparison

As can be seen in Table 2, in comparison to the existing uses that occupy the Project site and that will be removed to accommodate the Project, the Project is expected to generate approximately 188 *fewer* vehicle trips on an average weekday (a 90 percent reduction), with 10 *fewer* vehicle trips expected during the weekday morning peak hour (a 71 percent reduction), and 12 *fewer* vehicle trips expected during the weekday evening peak-hour (a 67 percent reduction).

Based on this comparative analysis, it is clear that the Project will be significantly less impactful on the transportation infrastructure when compared to the existing uses that occupy the Project site.

Trip Distribution and Assignment

The directional distribution of generated trips to and from the Project site was determined based on a review of existing traffic patterns within the study area during the peak periods. The general trip distribution for the Project is shown on Figure 4. The additional traffic expected to be generated by the Project was assigned on the study area roadway network as shown on Figure 5.

Build Traffic Volumes

The 2022 Opening-Year and 2032 Build condition traffic-volumes were developed by adding Project-generated traffic to the corresponding 2022 and 2032 No-Build peak-month peak-hour traffic-volumes. The resulting 2022 Opening-Year Build condition weekday morning and evening peak-month peak-hour traffic volumes are graphically depicted on Figure 6, with the corresponding 2032 Build condition peak-month peak-hour traffic volumes depicted on Figure 7.

TRAFFIC OPERATIONS ANALYSIS

In order to assess the potential impact of the Project on the roadway network, a detailed traffic operations analysis (motorist delays, vehicle queuing and level-of-service) was performed at the study area intersections. Capacity analyses provide an indication of how well transportation facilities serve the traffic demands placed upon them, with vehicle queue analyses providing a secondary measure of the operational characteristics of an intersection or section of roadway under study.

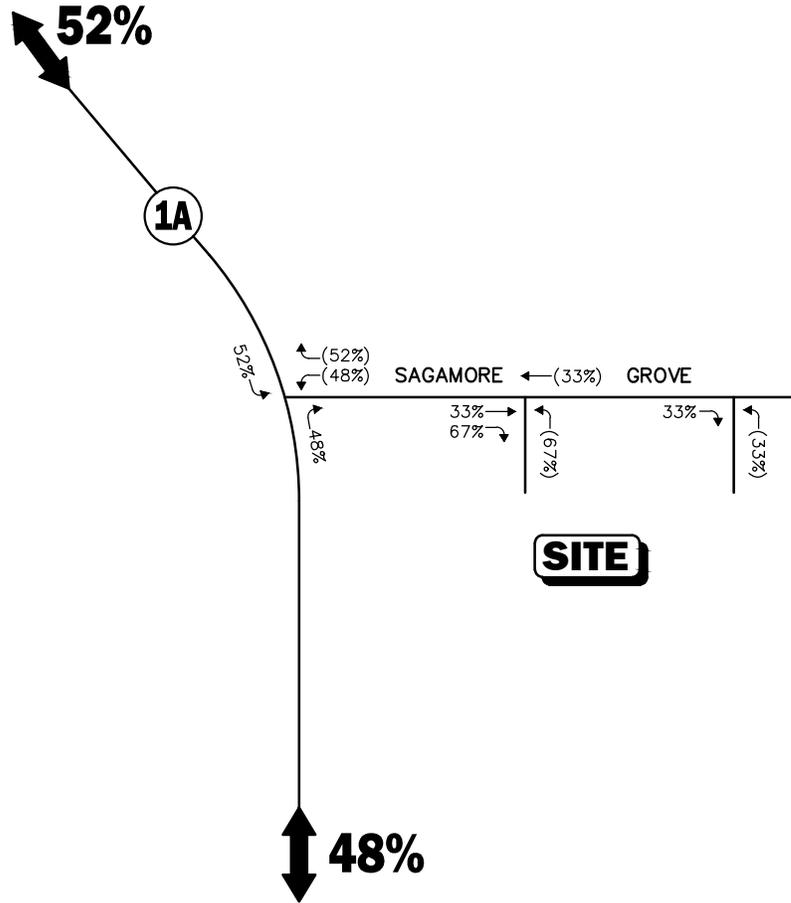
In brief, six levels of service are defined for each type of facility. They are given letter designations ranging from A to F, with level-of-service (LOS) “A” representing the best operating conditions and LOS “F” representing congested or constrained operations. An LOS of “E” is representative of a transportation facility that is operating at its design capacity with an LOS of “D” generally defined as the limit of “acceptable” traffic operations. Since the level-of-service of a traffic facility is a function of the flows placed upon it, such a facility may operate at a wide range of levels of service depending on the time of day, day of week, or period of the year. The Synchro® intersection capacity analysis software, which is based on the analysis methodologies and procedures presented in the 2010 *Highway Capacity Manual* (HCM)⁷ for unsignalized intersections, was used to complete the level-of-service and vehicle queue analyses.

⁷*Highway Capacity Manual*, Transportation Research Board; Washington, DC; 2010.



Legend:

- XX Entering Trips
- (XX) Exiting Trips



Not To Scale

Figure 4

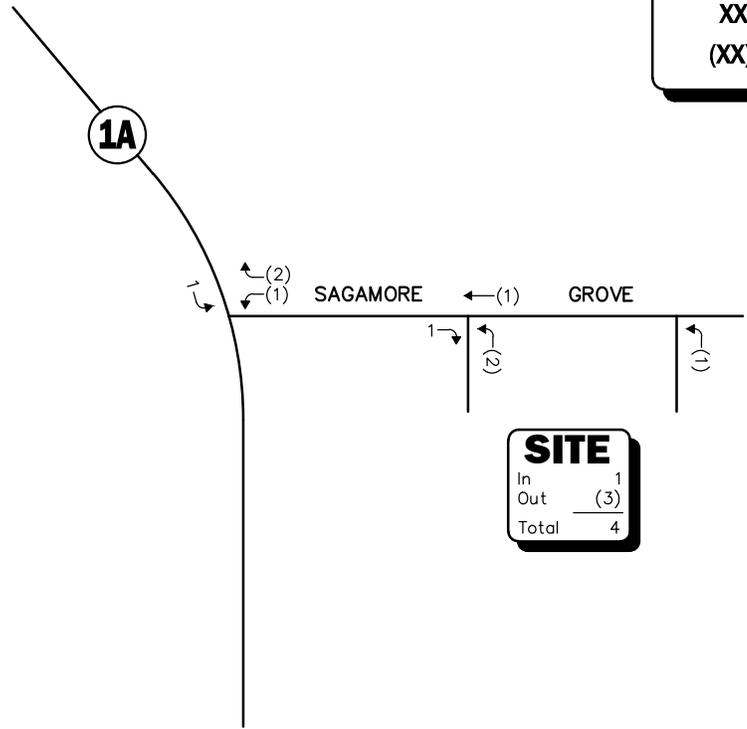
Trip Distribution Map



WEEKDAY EVENING PEAK HOUR (8:00 - 9:00 AM)

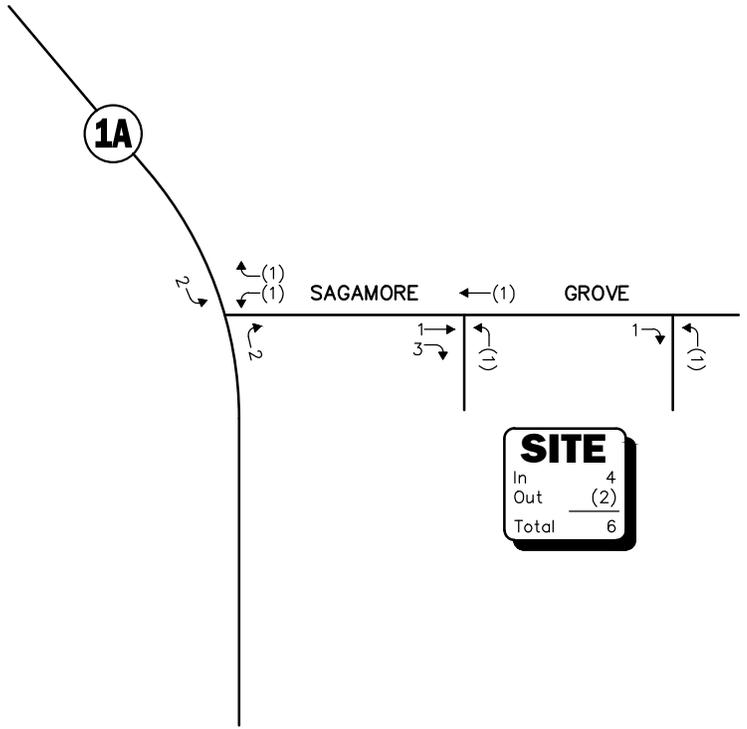
Legend:

- XX Entering Trips
- (XX) Exiting Trips



| | |
|-------------|-----|
| SITE | |
| In | 1 |
| Out | (3) |
| Total | 4 |

WEEKDAY EVENING PEAK HOUR (4:30 - 5:30 PM)



| | |
|-------------|-----|
| SITE | |
| In | 4 |
| Out | (2) |
| Total | 6 |

 Not To Scale

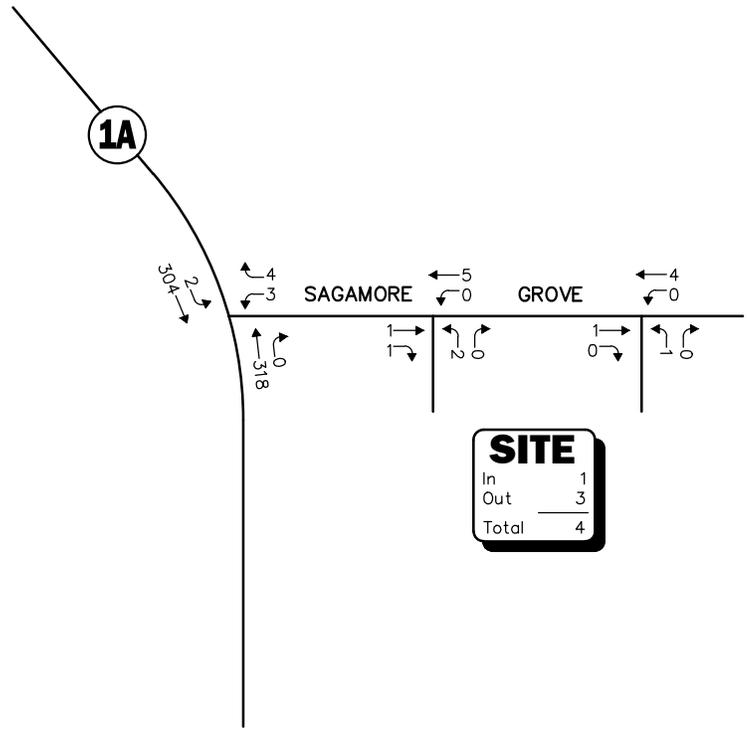
Figure 5



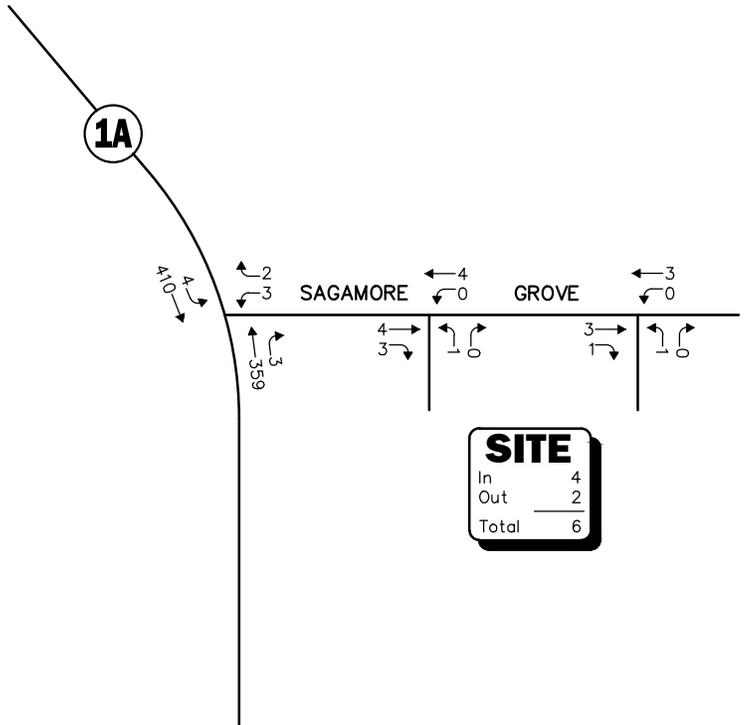
Project-Generated Peak-Hour Traffic Volumes

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WEEKDAY EVENING PEAK HOUR (8:00 - 9:00 AM)



WEEKDAY EVENING PEAK HOUR (4:30 - 5:30 PM)



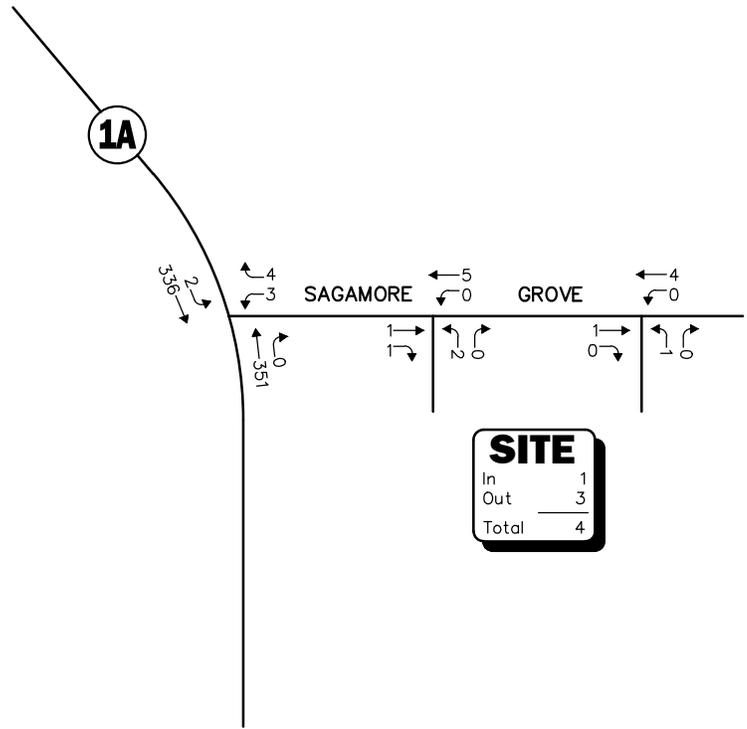
Not To Scale

Figure 6

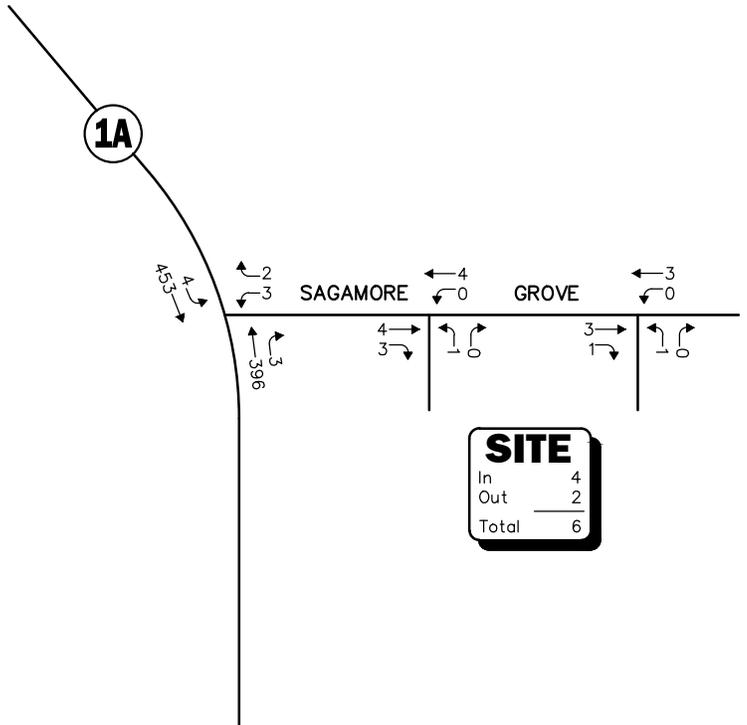


2022 Build
Peak-Month
Peak-Hour Traffic Volumes

WEEKDAY EVENING PEAK HOUR (8:00 - 9:00 AM)



WEEKDAY EVENING PEAK HOUR (4:30 - 5:30 PM)



Not To Scale

Figure 7



2032 Build
Peak-Month
Peak-Hour Traffic Volumes

Analysis Results

The results of the intersection capacity and vehicle queue analyses for the study intersections are summarized in Table 3, with the detailed analysis results presented in the Appendix.

NH Route 1A at Sagamore Grove

Under 2021 Existing, 2022 No-Build and 2022 Opening Year Build peak-month conditions, the critical movements at this unsignalized intersection (all movements from Sagamore Grove) were shown to operate at LOS B during both the weekday morning and evening peak hours. Project-related impacts over 2022 No-Build conditions were defined as an increase in average motorist delay of less than 1.0 seconds with vehicle queuing continuing to be negligible.

Under 2032 No-Build and 2032 Build peak-month conditions, the critical movements were shown to operate at LOS B during the weekday morning peak-hour and at LOS C during the weekday evening peak-hour. Project-related impacts over 2032 No-Build conditions were defined as an increase in average motorist delay of less than 1.0 seconds with vehicle queuing shown to be negligible.

Sagamore Grove at the Project site driveways

All movements at the Project site driveway intersections with Sagamore Grove were shown to operate at LOS A with negligible vehicle queuing under all analysis conditions.



Table 3
UNSIGNALIZED INTERSECTION LEVEL-OF-SERVICE AND VEHICLE QUEUE SUMMARY

| Unsignalized Intersection/ Peak Hour/Movement | 2021 Existing | | | | 2022 No-Build | | | | 2022 Opening Year | | | | 2032 No-Build | | | | 2032 Build | | | |
|---|---------------------|--------------------|------------------|--|---------------|-------|-----|---------------------------|-------------------|-------|-----|---------------------------|---------------|-------|-----|---------------------------|------------|-------|-----|---------------------------|
| | Demand ^a | Delay ^b | LOS ^c | Queue ^d 95 th | Demand | Delay | LOS | Queue 95 th | Demand | Delay | LOS | Queue 95 th | Demand | Delay | LOS | Queue 95 th | Demand | Delay | LOS | Queue 95 th |
| NH Route 1A at Sagamore Grove | | | | | | | | | | | | | | | | | | | | |
| <i>Weekday Morning:</i> | | | | | | | | | | | | | | | | | | | | |
| Sagamore Grove WB LT/RT | 4 | 12.0 | B | 0 | 4 | 12.0 | B | 0 | 7 | 12.0 | B | 0 | 4 | 12.6 | B | 0 | 7 | 12.6 | B | 0 |
| NH Route 1A NB TH/RT | 315 | 0.0 | A | 0 | 318 | 0.0 | A | 0 | 318 | 0.0 | A | 0 | 351 | 0.0 | A | 0 | 351 | 0.0 | A | 0 |
| NH Route 1A SB LT/TH | 302 | 0.0 | A | 0 | 305 | 0.0 | A | 0 | 306 | 0.0 | A | 0 | 337 | 0.0 | A | 0 | 338 | 0.0 | A | 0 |
| <i>Weekday Evening:</i> | | | | | | | | | | | | | | | | | | | | |
| Sagamore Grove WB LT/RT | 3 | 13.9 | B | 0 | 3 | 14.0 | B | 0 | 5 | 14.0 | B | 0 | 3 | 15.0 | C | 0 | 5 | 15.0 | C | 0 |
| NH Route 1A NB TH/RT | 356 | 0.0 | A | 0 | 360 | 0.0 | A | 0 | 362 | 0.0 | A | 0 | 397 | 0.0 | A | 0 | 399 | 0.0 | A | 0 |
| NH Route 1A SB LT/TH | 408 | 0.0 | A | 0 | 412 | 0.0 | A | 0 | 414 | 0.1 | A | 0 | 455 | 0.0 | A | 0 | 457 | 0.1 | A | 0 |
| Sagamore Grove at the West Project Site Driveway | | | | | | | | | | | | | | | | | | | | |
| <i>Weekday Morning:</i> | | | | | | | | | | | | | | | | | | | | |
| Sagamore Grove EB TH/RT | -- | -- | -- | -- | -- | -- | -- | -- | 2 | 0.0 | A | 0 | -- | -- | -- | -- | 2 | 0.0 | A | 0 |
| Sagamore Grove WB LT/TH | -- | -- | -- | -- | -- | -- | -- | -- | 5 | 0.0 | A | 0 | -- | -- | -- | -- | 5 | 0.0 | A | 0 |
| Site Driveway NB LT/RT | -- | -- | -- | -- | -- | -- | -- | -- | 2 | 8.6 | A | 0 | -- | -- | -- | -- | 2 | 8.6 | A | 0 |
| <i>Weekday Evening:</i> | | | | | | | | | | | | | | | | | | | | |
| Sagamore Grove EB TH/RT | -- | -- | -- | -- | -- | -- | -- | -- | 7 | 0.0 | A | 0 | -- | -- | -- | -- | 7 | 0.0 | A | 0 |
| Sagamore Grove WB LT/TH | -- | -- | -- | -- | -- | -- | -- | -- | 4 | 0.0 | A | 0 | -- | -- | -- | -- | 4 | 0.0 | A | 0 |
| Site Driveway NB LT/RT | -- | -- | -- | -- | -- | -- | -- | -- | 1 | 8.6 | A | 0 | -- | -- | -- | -- | 1 | 8.6 | A | 0 |
| Sagamore Grove at the East Project Site Driveway | | | | | | | | | | | | | | | | | | | | |
| <i>Weekday Morning:</i> | | | | | | | | | | | | | | | | | | | | |
| Sagamore Grove EB TH/RT | -- | -- | -- | -- | -- | -- | -- | -- | 1 | 0.0 | A | 0 | -- | -- | -- | -- | 1 | 0.0 | A | 0 |
| Sagamore Grove WB LT/TH | -- | -- | -- | -- | -- | -- | -- | -- | 4 | 0.0 | A | 0 | -- | -- | -- | -- | 4 | 0.0 | A | 0 |
| Site Driveway NB LT/RT | -- | -- | -- | -- | -- | -- | -- | -- | 1 | 8.5 | A | 0 | -- | -- | -- | -- | 1 | 8.5 | A | 0 |
| <i>Weekday Evening:</i> | | | | | | | | | | | | | | | | | | | | |
| Sagamore Grove EB TH/RT | -- | -- | -- | -- | -- | -- | -- | -- | 4 | 0.0 | A | 0 | -- | -- | -- | -- | 4 | 0.0 | A | 0 |
| Sagamore Grove WB LT/TH | -- | -- | -- | -- | -- | -- | -- | -- | 3 | 0.0 | A | 0 | -- | -- | -- | -- | 3 | 0.0 | A | 0 |
| Site Driveway NB LT/RT | -- | -- | -- | -- | -- | -- | -- | -- | 1 | 8.6 | A | 0 | -- | -- | -- | -- | 1 | 8.6 | A | 0 |

^aDemand in vehicles per hour.

^bAverage control delay per vehicle (in seconds).

^cLevel-of-Service.

^dQueue length in vehicles.

SB = southbound; EB = eastbound; WB = westbound; LT = left-turning movements; TH = through movements; RT = right-turning movements.



SIGHT DISTANCE ASSESSMENT

Sight distance measurements were performed at the Project site driveway intersections with Sagamore Grove in accordance with American Association of State Highway and Transportation Officials (AASHTO)⁸ requirements. Both stopping sight distance (SSD) and intersection sight distance (ISD) measurements were performed. In brief, SSD is the distance required by a vehicle traveling at the design speed of a roadway, on wet pavement, to stop prior to striking an object in its travel path. ISD or corner sight distance (CSD) is the sight distance required by a driver entering or crossing an intersecting roadway to perceive an on-coming vehicle and safely complete a turning or crossing maneuver with oncoming traffic. In accordance with AASHTO standards, if the measured ISD is at least equal to the required SSD value for the appropriate design speed, the intersection can operate in a safe manner. Table 4 presents the measured SSD and ISD at the subject intersections.

Table 4
SIGHT DISTANCE MEASUREMENTS^a

| Intersection/Sight Distance Measurement | Feet | | |
|--|------------------------|------------------------------|----------------------|
| | Required Minimum (SSD) | Desirable (ISD) ^b | Measured |
| <i>Sagamore Grove at the West Project Site Driveway</i> | | | |
| <i>Stopping Sight Distance:</i> | | | |
| Sagamore Grove approaching from the east | 155 | -- | 177 |
| Sagamore Grove approaching from the west | 80 | -- | 80 ^c |
| <i>Intersection Sight Distance:</i> | | | |
| Looking to the east from the Project Site Driveway | 155 | 280 | 111/201 ^d |
| Looking to the west from the Project Site Driveway | 80 | 145 | 80 ^c |
| <i>Sagamore Grove at the East Project Site Driveway</i> | | | |
| <i>Stopping Sight Distance:</i> | | | |
| Sagamore Grove approaching from the east | 155 | -- | 315 |
| Sagamore Grove approaching from the west | 155 | -- | 176 ^c |
| <i>Intersection Sight Distance:</i> | | | |
| Looking to the east from the Project Site Driveway | 155 | 280 | 111/189 ^d |
| Looking to the west from the Project Site Driveway | 155 | 240 | 176 ^c |

^aRecommended minimum values obtained from *A Policy on Geometric Design of Highways and Streets*, 7th Edition; American Association of State Highway and Transportation Officials (AASHTO); 2018; and based on a 15 mph speed approaching the west Project site driveway from the east and a 25 mph approach speed for all other approaches.

^bValues shown are the intersection sight distance for a vehicle turning right or left exiting a roadway under STOP control such that motorists approaching the intersection on the major street should not need to adjust their travel speed to less than 70 percent of their initial approach speed.

^cClear line of sight is provided to/from NH Route 1A.

^dWith the selective trimming/removal of vegetation.

As can be seen in Table 3, with the selective trimming or removal of vegetation located within the site triangle areas of the Project site driveways, the available lines of sight to and from the Project site driveways meet or exceed the recommended minimum sight distances to function in a safe (SSD) manner based on a 25 mph approach speed and with consideration to the reduced speed of vehicles transitioning to/from NH Route 1A.

⁸*A Policy on Geometric Design of Highway and Streets*, 7th Edition; AASHTO; Washington D.C.; 2018.



SUMMARY

VAI has completed a detailed assessment of the potential impacts on the transportation infrastructure associated with the proposed multifamily residential development to be located at 960 Sagamore Grove in Portsmouth, New Hampshire (hereafter referred to as the “Project”). The following specific areas have been evaluated as they relate to the Project: i) access requirements; ii) potential off-site improvements; and iii) safety considerations; under existing and future conditions, both with and without the Project. Based on this assessment, we have concluded the following with respect to the Project:

1. Using trip-generation statistics published by the ITE,⁹ the Project is expected to generate approximately 20 vehicle trips on an average weekday (two-way volume over the operational day of the Project), with 4 vehicle trips expected during the weekday morning peak hour and 6 vehicle trips expected during the weekday evening peak hour;
2. In comparison to the existing uses that occupy the site, the Project is expected to generate approximately 188 *fewer* vehicle trips on an average weekday, with 10 *fewer* vehicle trips expected during the weekday morning peak hour, and 12 *fewer* vehicle trips expected during the weekday evening peak hour;
3. Given the significant reduction in traffic that is predicted as a result of the Project, the Project will be less impactful on the transportation infrastructure when compared to the existing uses that occupy the Project site;
4. A review of motorist delays and vehicle queuing at the NH Route 1A/Sagamore Grove intersection indicates that the Project will not result in a significant increase in motorist delays or vehicle queuing, with Project-related impacts defined as an increase in average motorist delay of less than 1.0 seconds with no predicted increase in vehicle queuing; and
5. Lines of sight at the Project site driveway intersections were found to meet, exceed or could be made to meet or exceed the recommended minimum distances for safe operation.

In consideration of the above, we have concluded that the Project can be accommodated within the confines of the existing transportation infrastructure in a safe and efficient manner with the implementation of the recommendations that follow.

RECOMMENDATIONS

Project Access

Access to the Project site will be provided by way of two new driveways that will intersect the south side of Sagamore Grove approximately 75 feet and 175 feet east of NH Route 1A, respectively. The existing driveway that currently serves the Project site along NH Route 1A will be closed in conjunction with the Project resulting in an overall improvement in safety through the elimination of a conflict point for vehicles, pedestrians and bicyclists along NH Route 1A. The following recommendations are offered with respect to the design and operation of the Project site access and internal circulation:

⁹Ibid 1.



- The Project site driveways should be a minimum of 22 feet in width and designed to accommodate the turning and maneuvering requirements of the largest anticipated responding emergency vehicle as defined by the Portsmouth Fire Department.
- Vehicles exiting the Project site should be under stop control.
- Drive aisles behind perpendicular parking should be 23-feet wide in order to accommodate parking maneuvers.
- All signs and pavement markings to be installed within the Project site should conform to the applicable standards of the *Manual on Uniform Traffic Control Devices (MUTCD)*.¹⁰
- Signs and landscaping to be installed as a part of the Project within the intersection sight triangle areas of the Project site driveways should be designed and maintained so as not to restrict lines of sight.
- Existing vegetation located along the south side of Sagamore Grove within the sight triangle areas of the Project site driveways should be selectively trimmed or removed and maintained.
- Snow windrows within sight triangle areas of the Project site driveways should be promptly removed where such accumulations would impede sight lines.
- Bicycle parking should be provided at an appropriate location within the Project site.

With the implementation of the above recommendations, safe and efficient access can be provided to the Project site and the Project can be accommodated within the confines of the existing transportation infrastructure.

cc: File

¹⁰*Manual on Uniform Traffic Control Devices (MUTCD)*; Federal Highway Administration; Washington, D.C.; 2009.



ATTACHMENTS

PROJECT SITE PLAN
AUTOMATIC TRAFFIC RECORDER COUNT DATA
MANUAL TURNING MOVEMENT COUNT DATA
SEASONAL ADJUSTMENT DATA
COVID-19 ADJUSTMENT DATA
VEHICLE TRAVEL SPEED DATA
GENERAL BACKGROUND TRAFFIC GROWTH
TRIP-GENERATION CALCULATIONS
CAPACITY ANALYSIS WORKSHEETS



PROJECT SITE PLAN



AUTOMATIC TRAFFIC RECORDER COUNT DATA



Accurate Counts
978-664-2565

Location : Route 1A
Location : South of Sagamore Grove
City/State: Portsmouth, NH

89920001

| 5/12/2021 Time | NB, | | Hour Totals | | SB, | | Hour Totals | | Combined Totals | |
|-------------------|---------|-----------|-------------|-----------|---------|-----------|-------------|-----------|-----------------|-----------|
| | Morning | Afternoon | Morning | Afternoon | Morning | Afternoon | Morning | Afternoon | Morning | Afternoon |
| 12:00 | 1 | 62 | | | 0 | 77 | | | | |
| 12:15 | 3 | 70 | | | 1 | 83 | | | | |
| 12:30 | 1 | 58 | | | 3 | 67 | | | | |
| 12:45 | 2 | 91 | 7 | 281 | 1 | 73 | 5 | 300 | 12 | 581 |
| 1:00 | 1 | 81 | | | 4 | 83 | | | | |
| 1:15 | 0 | 58 | | | 0 | 85 | | | | |
| 1:30 | 0 | 68 | | | 0 | 73 | | | | |
| 1:45 | 3 | 77 | 4 | 284 | 2 | 67 | 6 | 308 | 10 | 592 |
| 2:00 | 0 | 65 | | | 0 | 72 | | | | |
| 2:15 | 1 | 75 | | | 2 | 72 | | | | |
| 2:30 | 0 | 74 | | | 0 | 67 | | | | |
| 2:45 | 0 | 73 | 1 | 287 | 0 | 93 | 2 | 304 | 3 | 591 |
| 3:00 | 0 | 74 | | | 1 | 92 | | | | |
| 3:15 | 0 | 65 | | | 0 | 109 | | | | |
| 3:30 | 0 | 79 | | | 2 | 101 | | | | |
| 3:45 | 0 | 79 | 0 | 297 | 1 | 90 | 4 | 392 | 4 | 689 |
| 4:00 | 3 | 80 | | | 0 | 68 | | | | |
| 4:15 | 2 | 68 | | | 0 | 91 | | | | |
| 4:30 | 2 | 69 | | | 1 | 98 | | | | |
| 4:45 | 5 | 63 | 12 | 280 | 3 | 111 | 4 | 368 | 16 | 648 |
| 5:00 | 5 | 64 | | | 4 | 98 | | | | |
| 5:15 | 5 | 73 | | | 3 | 102 | | | | |
| 5:30 | 9 | 68 | | | 5 | 86 | | | | |
| 5:45 | 10 | 60 | 29 | 265 | 3 | 69 | 15 | 355 | 44 | 620 |
| 6:00 | 11 | 53 | | | 7 | 73 | | | | |
| 6:15 | 8 | 64 | | | 17 | 57 | | | | |
| 6:30 | 18 | 37 | | | 23 | 66 | | | | |
| 6:45 | 23 | 45 | 60 | 199 | 35 | 55 | 82 | 251 | 142 | 450 |
| 7:00 | 20 | 36 | | | 33 | 63 | | | | |
| 7:15 | 34 | 38 | | | 51 | 54 | | | | |
| 7:30 | 42 | 36 | | | 50 | 32 | | | | |
| 7:45 | 60 | 36 | 156 | 146 | 59 | 25 | 193 | 174 | 349 | 320 |
| 8:00 | 73 | 21 | | | 79 | 46 | | | | |
| 8:15 | 67 | 28 | | | 73 | 50 | | | | |
| 8:30 | 51 | 15 | | | 64 | 36 | | | | |
| 8:45 | 62 | 17 | 253 | 81 | 89 | 32 | 305 | 164 | 558 | 245 |
| 9:00 | 49 | 16 | | | 64 | 28 | | | | |
| 9:15 | 57 | 13 | | | 58 | 19 | | | | |
| 9:30 | 61 | 8 | | | 45 | 11 | | | | |
| 9:45 | 61 | 6 | 228 | 43 | 58 | 11 | 225 | 69 | 453 | 112 |
| 10:00 | 56 | 7 | | | 61 | 13 | | | | |
| 10:15 | 60 | 4 | | | 79 | 8 | | | | |
| 10:30 | 53 | 5 | | | 57 | 2 | | | | |
| 10:45 | 55 | 7 | 224 | 23 | 79 | 5 | 276 | 28 | 500 | 51 |
| 11:00 | 50 | 7 | | | 66 | 6 | | | | |
| 11:15 | 64 | 4 | | | 100 | 3 | | | | |
| 11:30 | 64 | 2 | | | 71 | 0 | | | | |
| 11:45 | 71 | 2 | 249 | 15 | 98 | 4 | 335 | 13 | 584 | 28 |
| Total | 1223 | 2201 | | | 1452 | 2726 | | | 2675 | 4927 |
| Percent | 35.7% | 64.3% | | | 34.8% | 65.2% | | | 35.2% | 64.8% |

Accurate Counts
978-664-2565

Location : Route 1A
Location : South of Sagamore Grove
City/State: Portsmouth, NH

89920001

| 5/13/2021 Time | NB, | | Hour Totals | | SB, | | Hour Totals | | Combined Totals | |
|-------------------|---------|-----------|-------------|-----------|---------|-----------|-------------|-----------|-----------------|-----------|
| | Morning | Afternoon | Morning | Afternoon | Morning | Afternoon | Morning | Afternoon | Morning | Afternoon |
| 12:00 | 1 | 62 | | | 1 | 70 | | | | |
| 12:15 | 0 | 43 | | | 1 | 93 | | | | |
| 12:30 | 1 | 72 | | | 6 | 97 | | | | |
| 12:45 | 1 | 74 | 3 | 251 | 1 | 92 | 9 | 352 | 12 | 603 |
| 1:00 | 1 | 73 | | | 1 | 103 | | | | |
| 1:15 | 1 | 56 | | | 0 | 88 | | | | |
| 1:30 | 0 | 74 | | | 1 | 48 | | | | |
| 1:45 | 0 | 60 | 2 | 263 | 0 | 63 | 2 | 302 | 4 | 565 |
| 2:00 | 0 | 80 | | | 0 | 85 | | | | |
| 2:15 | 1 | 104 | | | 3 | 113 | | | | |
| 2:30 | 0 | 85 | | | 0 | 88 | | | | |
| 2:45 | 1 | 76 | 2 | 345 | 1 | 88 | 4 | 374 | 6 | 719 |
| 3:00 | 0 | 89 | | | 2 | 70 | | | | |
| 3:15 | 1 | 65 | | | 1 | 110 | | | | |
| 3:30 | 0 | 82 | | | 0 | 116 | | | | |
| 3:45 | 2 | 79 | 3 | 315 | 1 | 86 | 4 | 382 | 7 | 697 |
| 4:00 | 2 | 83 | | | 0 | 97 | | | | |
| 4:15 | 2 | 83 | | | 1 | 98 | | | | |
| 4:30 | 5 | 61 | | | 4 | 83 | | | | |
| 4:45 | 4 | 60 | 13 | 287 | 1 | 129 | 6 | 407 | 19 | 694 |
| 5:00 | 3 | 78 | | | 4 | 105 | | | | |
| 5:15 | 3 | 89 | | | 4 | 82 | | | | |
| 5:30 | 9 | 73 | | | 3 | 125 | | | | |
| 5:45 | 7 | 63 | 22 | 303 | 4 | 111 | 15 | 423 | 37 | 726 |
| 6:00 | 7 | 70 | | | 9 | 100 | | | | |
| 6:15 | 14 | 57 | | | 10 | 93 | | | | |
| 6:30 | 11 | 43 | | | 24 | 58 | | | | |
| 6:45 | 26 | 59 | 58 | 229 | 41 | 52 | 84 | 303 | 142 | 532 |
| 7:00 | 34 | 52 | | | 36 | 70 | | | | |
| 7:15 | 32 | 47 | | | 57 | 59 | | | | |
| 7:30 | 49 | 55 | | | 63 | 46 | | | | |
| 7:45 | 75 | 45 | 190 | 199 | 66 | 42 | 222 | 217 | 412 | 416 |
| 8:00 | 92 | 34 | | | 70 | 52 | | | | |
| 8:15 | 70 | 38 | | | 71 | 41 | | | | |
| 8:30 | 42 | 32 | | | 82 | 38 | | | | |
| 8:45 | 51 | 29 | 255 | 133 | 79 | 34 | 302 | 165 | 557 | 298 |
| 9:00 | 52 | 27 | | | 52 | 23 | | | | |
| 9:15 | 50 | 20 | | | 46 | 16 | | | | |
| 9:30 | 64 | 10 | | | 57 | 19 | | | | |
| 9:45 | 51 | 20 | 217 | 77 | 80 | 21 | 235 | 79 | 452 | 156 |
| 10:00 | 40 | 16 | | | 67 | 11 | | | | |
| 10:15 | 65 | 8 | | | 71 | 13 | | | | |
| 10:30 | 54 | 7 | | | 72 | 13 | | | | |
| 10:45 | 54 | 4 | 213 | 35 | 62 | 5 | 272 | 42 | 485 | 77 |
| 11:00 | 74 | 3 | | | 70 | 2 | | | | |
| 11:15 | 68 | 3 | | | 86 | 7 | | | | |
| 11:30 | 78 | 5 | | | 85 | 9 | | | | |
| 11:45 | 62 | 3 | 282 | 14 | 93 | 4 | 334 | 22 | 616 | 36 |
| Total | 1260 | 2451 | | | 1489 | 3068 | | | 2749 | 5519 |
| Percent | 34.0% | 66.0% | | | 32.7% | 67.3% | | | 33.2% | 66.8% |
| Grand Total | 2483 | 4652 | | | 2941 | 5794 | | | 5424 | 10446 |
| Percent | 34.8% | 65.2% | | | 33.7% | 66.3% | | | 34.2% | 65.8% |

ADT

ADT: 7,935

AADT: 7,935

MANUAL TURNING MOVEMENT DATA



Accurate Counts

978-664-2565

N/S Street : Route 1A
 E/W Street : Sagamore Grove
 City/State : Portsmouth, NH
 Weather : Cloudy

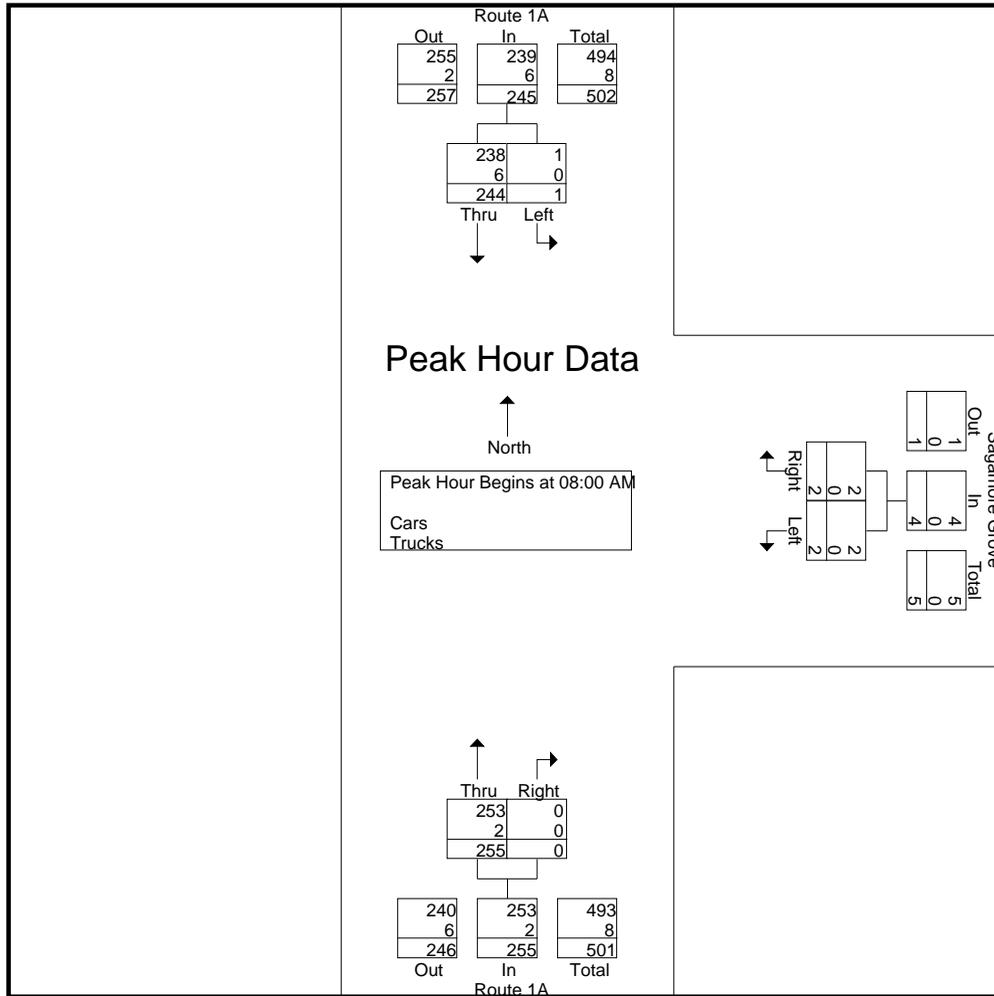
File Name : 89920001
 Site Code : 89920001
 Start Date : 5/12/2021
 Page No : 1

Groups Printed- Cars - Trucks

| Start Time | Route 1A From North | | Sagamore Grove From East | | | Route 1A From South | | Int. Total |
|--------------------|---------------------|------------|--------------------------|----------|------------|---------------------|------------|------------|
| | Left | Thru | Left | Right | Thru | Right | | |
| 07:00 AM | 0 | 31 | 0 | 0 | 24 | 0 | 55 | |
| 07:15 AM | 1 | 38 | 0 | 1 | 31 | 0 | 71 | |
| 07:30 AM | 1 | 45 | 2 | 0 | 41 | 0 | 89 | |
| 07:45 AM | 0 | 57 | 0 | 0 | 57 | 0 | 114 | |
| Total | 2 | 171 | 2 | 1 | 153 | 0 | 329 | |
| 08:00 AM | 0 | 63 | 0 | 0 | 71 | 0 | 134 | |
| 08:15 AM | 1 | 61 | 0 | 1 | 72 | 0 | 135 | |
| 08:30 AM | 0 | 55 | 1 | 0 | 49 | 0 | 105 | |
| 08:45 AM | 0 | 65 | 1 | 1 | 63 | 0 | 130 | |
| Total | 1 | 244 | 2 | 2 | 255 | 0 | 504 | |
| Grand Total | 3 | 415 | 4 | 3 | 408 | 0 | 833 | |
| Apprch % | 0.7 | 99.3 | 57.1 | 42.9 | 100 | 0 | | |
| Total % | 0.4 | 49.8 | 0.5 | 0.4 | 49 | 0 | | |
| Cars | 3 | 406 | 4 | 3 | 404 | 0 | 820 | |
| % Cars | 100 | 97.8 | 100 | 100 | 99 | 0 | 98.4 | |
| Trucks | 0 | 9 | 0 | 0 | 4 | 0 | 13 | |
| % Trucks | 0 | 2.2 | 0 | 0 | 1 | 0 | 1.6 | |

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Int. Total |
|--|---------------------|------------|------------|--------------------------|----------|------------|---------------------|----------|------------|------------|
| | Left | Thru | App. Total | Left | Right | App. Total | Thru | Right | App. Total | |
| Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1 | | | | | | | | | | |
| Peak Hour for Entire Intersection Begins at 08:00 AM | | | | | | | | | | |
| 08:00 AM | 0 | 63 | 63 | 0 | 0 | 0 | 71 | 0 | 71 | 134 |
| 08:15 AM | 1 | 61 | 62 | 0 | 1 | 1 | 72 | 0 | 72 | 135 |
| 08:30 AM | 0 | 55 | 55 | 1 | 0 | 1 | 49 | 0 | 49 | 105 |
| 08:45 AM | 0 | 65 | 65 | 1 | 1 | 2 | 63 | 0 | 63 | 130 |
| Total Volume | 1 | 244 | 245 | 2 | 2 | 4 | 255 | 0 | 255 | 504 |
| % App. Total | 0.4 | 99.6 | | 50 | 50 | | 100 | 0 | | |
| PHF | .250 | .938 | .942 | .500 | .500 | .500 | .885 | .000 | .885 | .933 |
| Cars | 1 | 238 | 239 | 2 | 2 | 4 | 253 | 0 | 253 | 496 |
| % Cars | 100 | 97.5 | 97.6 | 100 | 100 | 100 | 99.2 | 0 | 99.2 | 98.4 |
| Trucks | 0 | 6 | 6 | 0 | 0 | 0 | 2 | 0 | 2 | 8 |
| % Trucks | 0 | 2.5 | 2.4 | 0 | 0 | 0 | 0.8 | 0 | 0.8 | 1.6 |

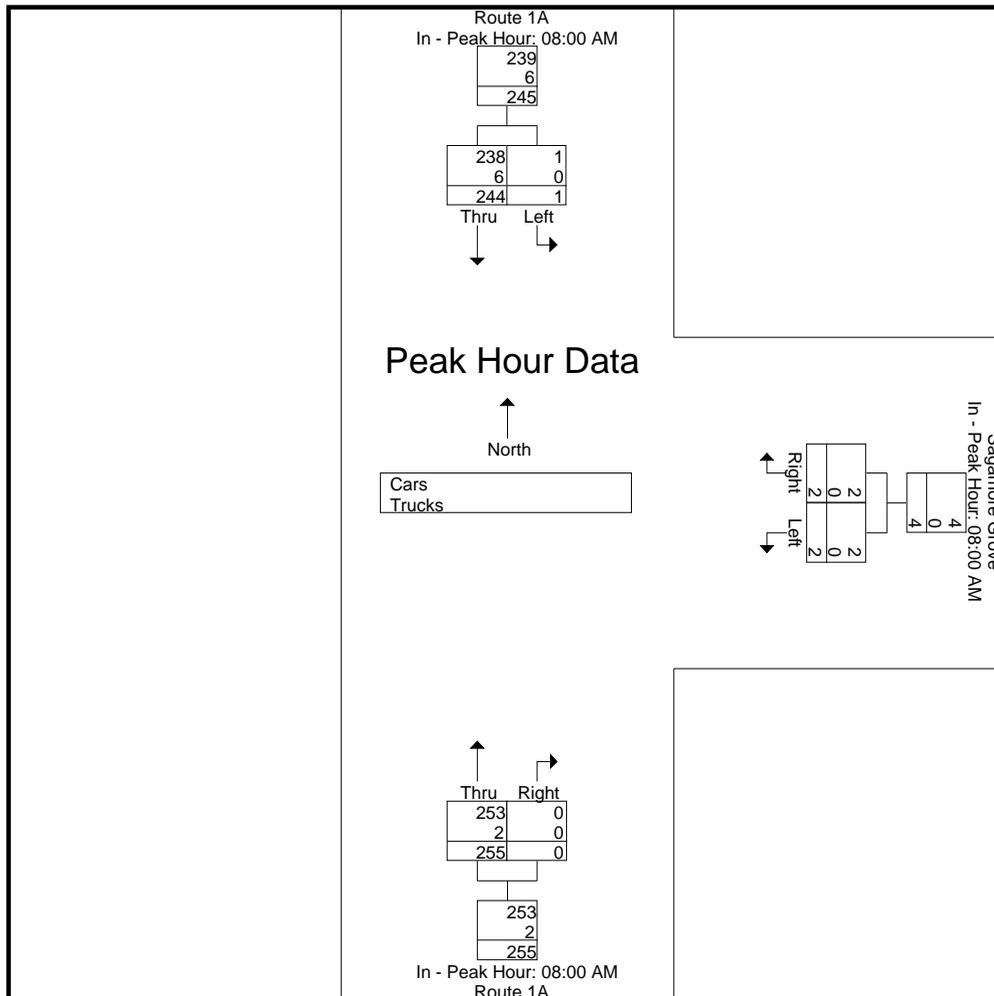
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1
Peak Hour for Each Approach Begins at:

| | 08:00 AM | | | 08:00 AM | | | 08:00 AM | | |
|--------------|----------|------|------|----------|------|------|----------|------|------|
| +0 mins. | 0 | 63 | 63 | 0 | 0 | 0 | 71 | 0 | 71 |
| +15 mins. | 1 | 61 | 62 | 0 | 1 | 1 | 72 | 0 | 72 |
| +30 mins. | 0 | 55 | 55 | 1 | 0 | 1 | 49 | 0 | 49 |
| +45 mins. | 0 | 65 | 65 | 1 | 1 | 2 | 63 | 0 | 63 |
| Total Volume | 1 | 244 | 245 | 2 | 2 | 4 | 255 | 0 | 255 |
| % App. Total | 0.4 | 99.6 | | 50 | 50 | | 100 | 0 | |
| PHF | .250 | .938 | .942 | .500 | .500 | .500 | .885 | .000 | .885 |
| Cars | 1 | 238 | 239 | 2 | 2 | 4 | 253 | 0 | 253 |
| % Cars | 100 | 97.5 | 97.6 | 100 | 100 | 100 | 99.2 | 0 | 99.2 |
| Trucks | 0 | 6 | 6 | 0 | 0 | 0 | 2 | 0 | 2 |
| % Trucks | 0 | 2.5 | 2.4 | 0 | 0 | 0 | 0.8 | 0 | 0.8 |

N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Accurate Counts
978-664-2565

File Name : 89920001
Site Code : 89920001
Start Date : 5/12/2021
Page No : 4

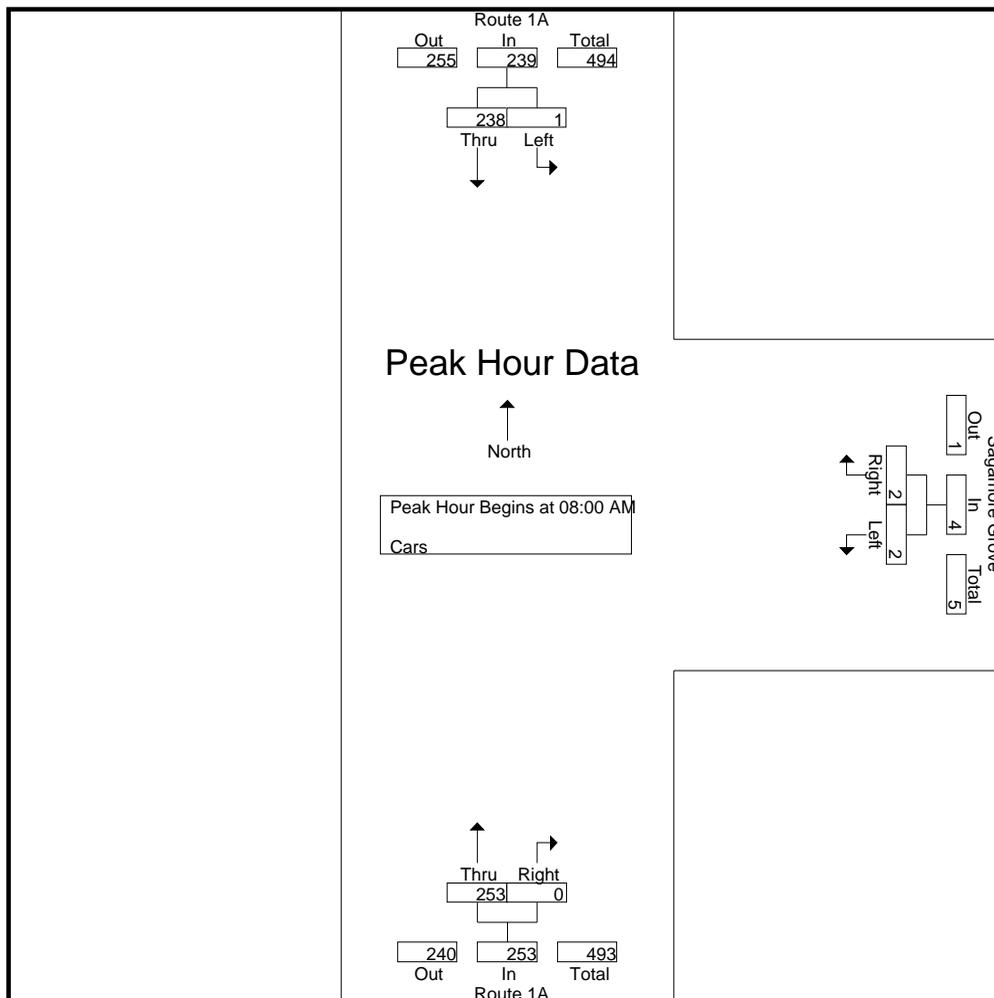
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy

Groups Printed- Cars

| Start Time | Route 1A From North | | Sagamore Grove From East | | Route 1A From South | | Int. Total |
|--------------------|------------------------|------------|-----------------------------|----------|------------------------|----------|------------|
| | Left | Thru | Left | Right | Thru | Right | |
| 07:00 AM | 0 | 31 | 0 | 0 | 24 | 0 | 55 |
| 07:15 AM | 1 | 37 | 0 | 1 | 29 | 0 | 68 |
| 07:30 AM | 1 | 45 | 2 | 0 | 41 | 0 | 89 |
| 07:45 AM | 0 | 55 | 0 | 0 | 57 | 0 | 112 |
| Total | 2 | 168 | 2 | 1 | 151 | 0 | 324 |
| 08:00 AM | 0 | 62 | 0 | 0 | 71 | 0 | 133 |
| 08:15 AM | 1 | 57 | 0 | 1 | 72 | 0 | 131 |
| 08:30 AM | 0 | 54 | 1 | 0 | 48 | 0 | 103 |
| 08:45 AM | 0 | 65 | 1 | 1 | 62 | 0 | 129 |
| Total | 1 | 238 | 2 | 2 | 253 | 0 | 496 |
| Grand Total | 3 | 406 | 4 | 3 | 404 | 0 | 820 |
| Apprch % | 0.7 | 99.3 | 57.1 | 42.9 | 100 | 0 | |
| Total % | 0.4 | 49.5 | 0.5 | 0.4 | 49.3 | 0 | |

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Int. Total |
|--|------------------------|-----------|------------|-----------------------------|-------|------------|------------------------|-------|------------|------------|
| | Left | Thru | App. Total | Left | Right | App. Total | Thru | Right | App. Total | |
| Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1 | | | | | | | | | | |
| Peak Hour for Entire Intersection Begins at 08:00 AM | | | | | | | | | | |
| 08:00 AM | 0 | 62 | 62 | 0 | 0 | 0 | 71 | 0 | 71 | 133 |
| 08:15 AM | 1 | 57 | 58 | 0 | 1 | 1 | 72 | 0 | 72 | 131 |
| 08:30 AM | 0 | 54 | 54 | 1 | 0 | 1 | 48 | 0 | 48 | 103 |
| 08:45 AM | 0 | 65 | 65 | 1 | 1 | 2 | 62 | 0 | 62 | 129 |
| Total Volume | 1 | 238 | 239 | 2 | 2 | 4 | 253 | 0 | 253 | 496 |
| % App. Total | 0.4 | 99.6 | | 50 | 50 | | 100 | 0 | | |
| PHF | .250 | .915 | .919 | .500 | .500 | .500 | .878 | .000 | .878 | .932 |

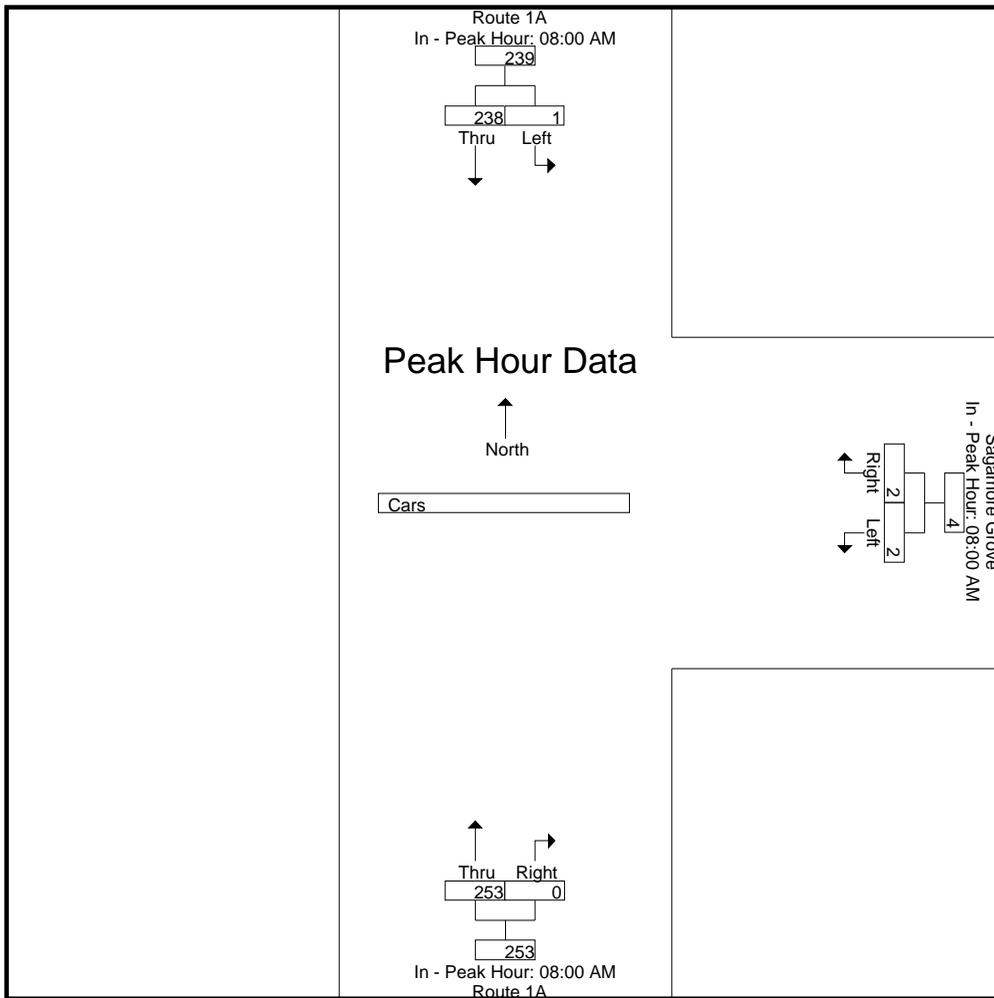
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1
Peak Hour for Each Approach Begins at:

| | 08:00 AM | | | 08:00 AM | | | 08:00 AM | | |
|--------------|----------|------|------|----------|------|------|----------|------|------|
| +0 mins. | 0 | 62 | 62 | 0 | 0 | 0 | 71 | 0 | 71 |
| +15 mins. | 1 | 57 | 58 | 0 | 1 | 1 | 72 | 0 | 72 |
| +30 mins. | 0 | 54 | 54 | 1 | 0 | 1 | 48 | 0 | 48 |
| +45 mins. | 0 | 65 | 65 | 1 | 1 | 2 | 62 | 0 | 62 |
| Total Volume | 1 | 238 | 239 | 2 | 2 | 4 | 253 | 0 | 253 |
| % App. Total | 0.4 | 99.6 | | 50 | 50 | | 100 | 0 | |
| PHF | .250 | .915 | .919 | .500 | .500 | .500 | .878 | .000 | .878 |

N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Accurate Counts
978-664-2565

File Name : 89920001
Site Code : 89920001
Start Date : 5/12/2021
Page No : 7

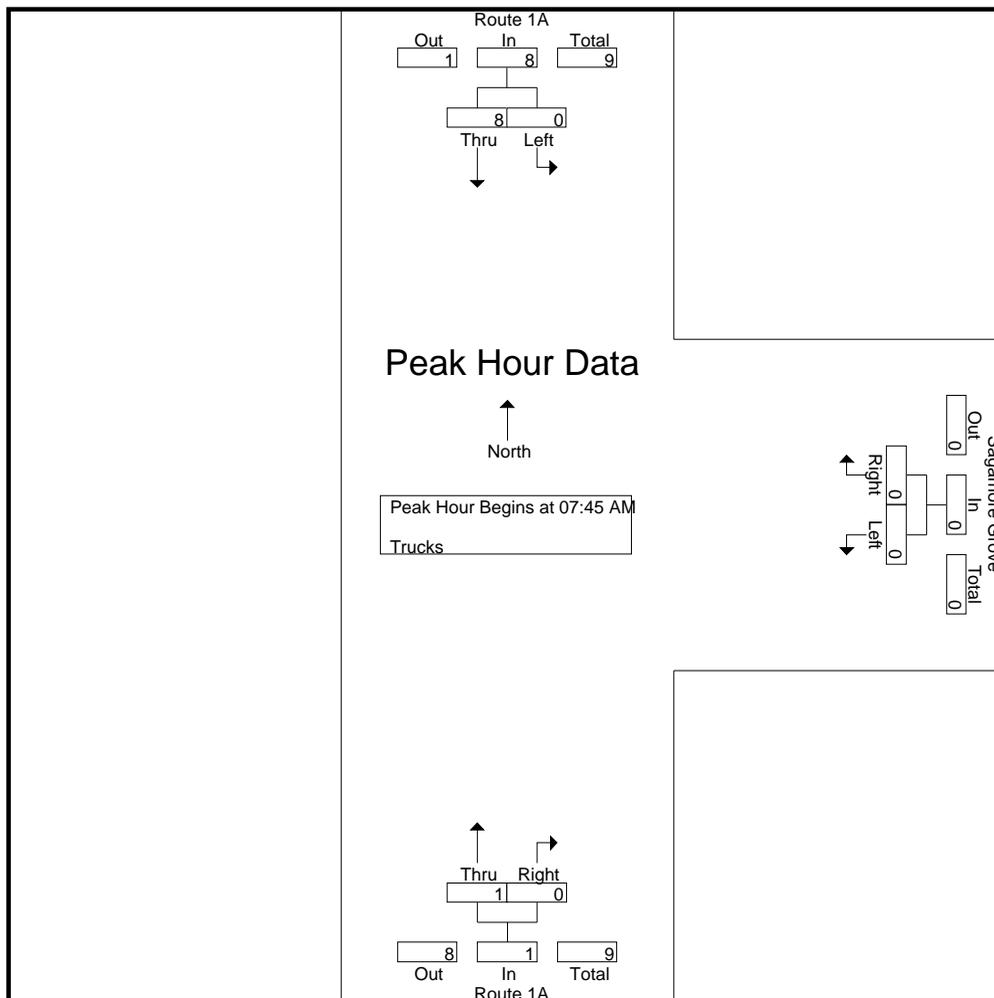
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy

Groups Printed- Trucks

| Start Time | Route 1A From North | | Sagamore Grove From East | | Route 1A From South | | Int. Total |
|-------------|------------------------|------|-----------------------------|-------|------------------------|-------|------------|
| | Left | Thru | Left | Right | Thru | Right | |
| 07:00 AM | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 07:15 AM | 0 | 1 | 0 | 0 | 2 | 0 | 3 |
| 07:30 AM | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 07:45 AM | 0 | 2 | 0 | 0 | 0 | 0 | 2 |
| Total | 0 | 3 | 0 | 0 | 2 | 0 | 5 |
| 08:00 AM | 0 | 1 | 0 | 0 | 0 | 0 | 1 |
| 08:15 AM | 0 | 4 | 0 | 0 | 0 | 0 | 4 |
| 08:30 AM | 0 | 1 | 0 | 0 | 1 | 0 | 2 |
| 08:45 AM | 0 | 0 | 0 | 0 | 1 | 0 | 1 |
| Total | 0 | 6 | 0 | 0 | 2 | 0 | 8 |
| Grand Total | 0 | 9 | 0 | 0 | 4 | 0 | 13 |
| Apprch % | 0 | 100 | 0 | 0 | 100 | 0 | |
| Total % | 0 | 69.2 | 0 | 0 | 30.8 | 0 | |

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Int. Total |
|--|------------------------|------|------------|-----------------------------|-------|------------|------------------------|-------|------------|------------|
| | Left | Thru | App. Total | Left | Right | App. Total | Thru | Right | App. Total | |
| Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1 | | | | | | | | | | |
| Peak Hour for Entire Intersection Begins at 07:45 AM | | | | | | | | | | |
| 07:45 AM | 0 | 2 | 2 | 0 | 0 | 0 | 0 | 0 | 0 | 2 |
| 08:00 AM | 0 | 1 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 1 |
| 08:15 AM | 0 | 4 | 4 | 0 | 0 | 0 | 0 | 0 | 0 | 4 |
| 08:30 AM | 0 | 1 | 1 | 0 | 0 | 0 | 1 | 0 | 1 | 2 |
| Total Volume | 0 | 8 | 8 | 0 | 0 | 0 | 1 | 0 | 1 | 9 |
| % App. Total | 0 | 100 | | 0 | 0 | | 100 | 0 | | |
| PHF | .000 | .500 | .500 | .000 | .000 | .000 | .250 | .000 | .250 | .563 |

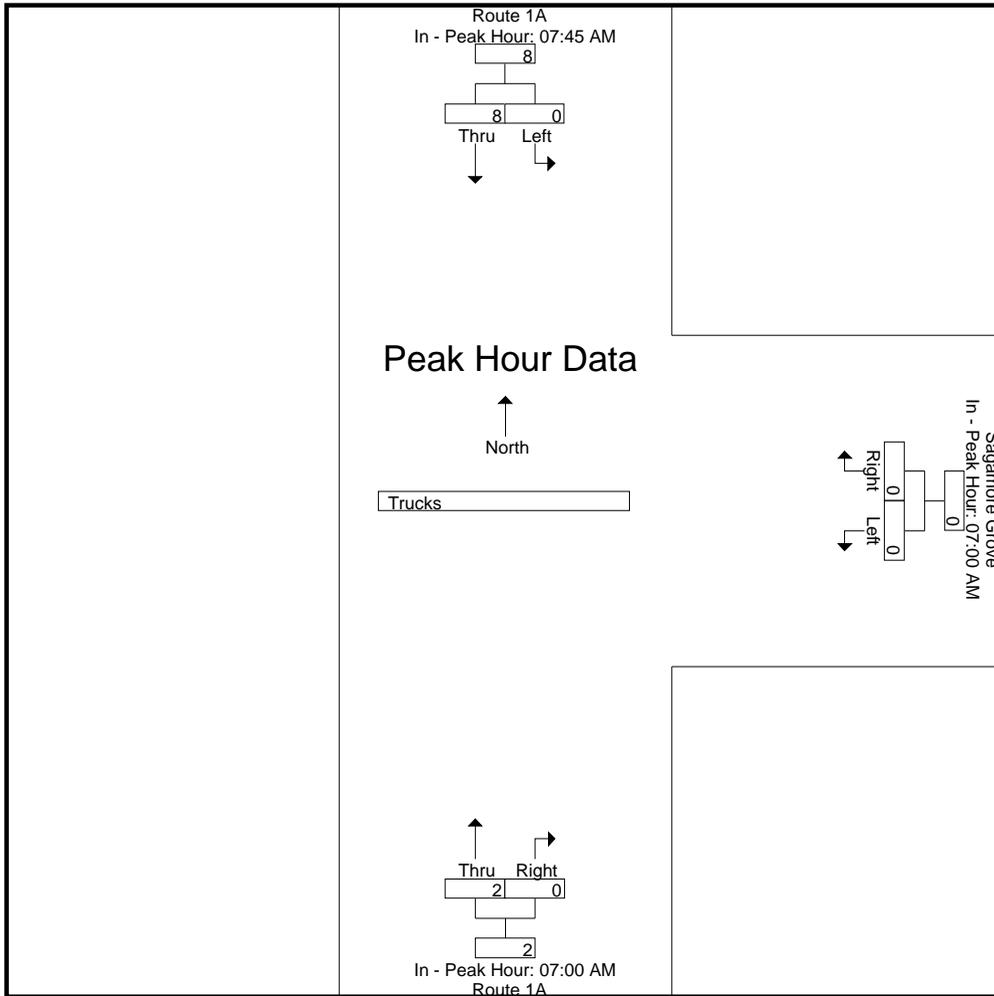
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1
Peak Hour for Each Approach Begins at:

| | 07:45 AM | | | 07:00 AM | | | 07:00 AM | | |
|--------------|----------|------|------|----------|------|------|----------|------|------|
| +0 mins. | 0 | 2 | 2 | 0 | 0 | 0 | 0 | 0 | 0 |
| +15 mins. | 0 | 1 | 1 | 0 | 0 | 0 | 2 | 0 | 2 |
| +30 mins. | 0 | 4 | 4 | 0 | 0 | 0 | 0 | 0 | 0 |
| +45 mins. | 0 | 1 | 1 | 0 | 0 | 0 | 0 | 0 | 0 |
| Total Volume | 0 | 8 | 8 | 0 | 0 | 0 | 2 | 0 | 2 |
| % App. Total | 0 | 100 | | 0 | 0 | | 100 | 0 | |
| PHF | .000 | .500 | .500 | .000 | .000 | .000 | .250 | .000 | .250 |

N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Accurate Counts
978-664-2565

File Name : 89920001
Site Code : 89920001
Start Date : 5/12/2021
Page No : 10

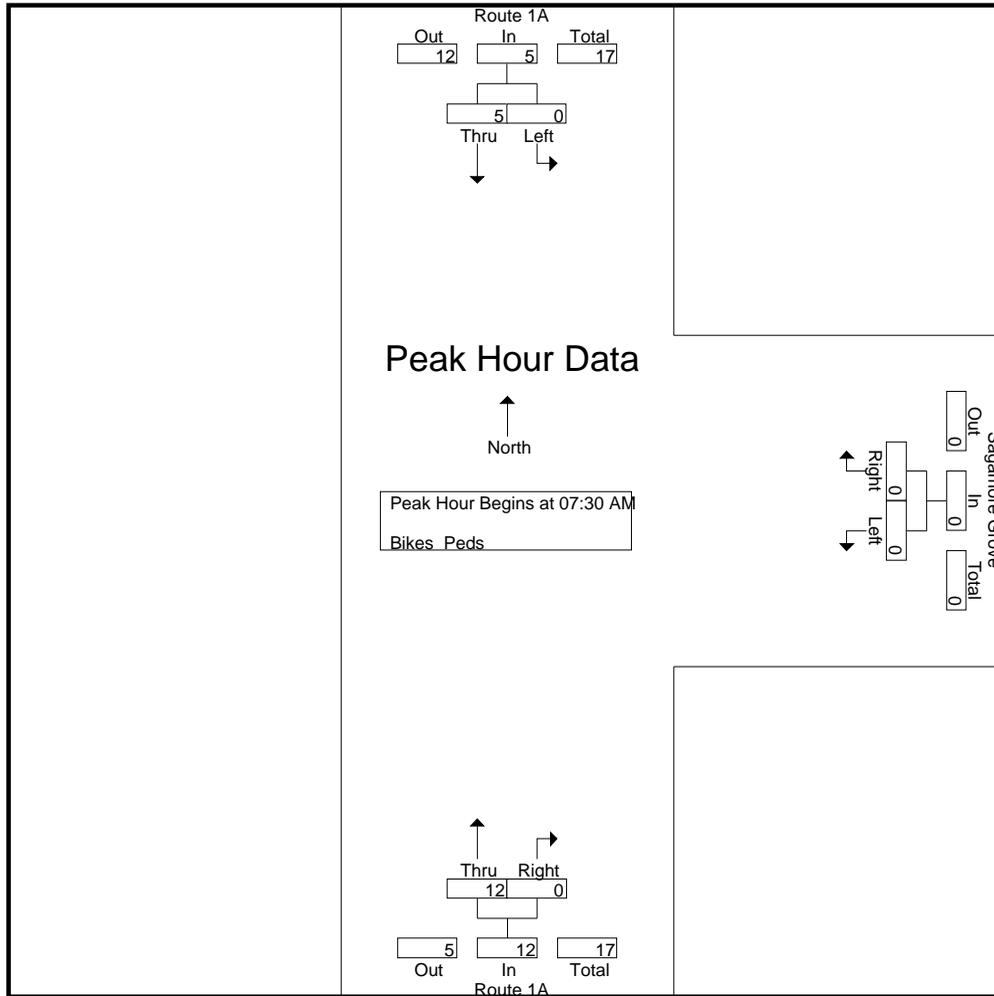
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy

Groups Printed- Bikes Peds

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Exclu. Total | Inclu. Total | Int. Total |
|--------------------|------------------------|----------|----------|-----------------------------|----------|----------|------------------------|----------|----------|--------------|--------------|------------|
| | Left | Thru | Peds | Left | Right | Peds | Thru | Right | Peds | | | |
| 07:00 AM | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 07:15 AM | 0 | 2 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 2 |
| 07:30 AM | 0 | 1 | 0 | 0 | 0 | 0 | 5 | 0 | 0 | 0 | 6 | 6 |
| 07:45 AM | 0 | 2 | 0 | 0 | 0 | 0 | 2 | 0 | 0 | 0 | 4 | 4 |
| Total | 0 | 5 | 0 | 0 | 0 | 0 | 7 | 0 | 0 | 0 | 12 | 12 |
| 08:00 AM | 0 | 1 | 0 | 0 | 0 | 1 | 2 | 0 | 0 | 1 | 3 | 4 |
| 08:15 AM | 0 | 1 | 0 | 0 | 0 | 0 | 3 | 0 | 0 | 0 | 4 | 4 |
| 08:30 AM | 0 | 1 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 2 | 2 |
| 08:45 AM | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 1 | 1 |
| Total | 0 | 3 | 0 | 0 | 0 | 1 | 7 | 0 | 0 | 1 | 10 | 11 |
| Grand Total | 0 | 8 | 0 | 0 | 0 | 1 | 14 | 0 | 0 | 1 | 22 | 23 |
| Apprch % | 0 | 100 | | 0 | 0 | | 100 | 0 | | | | |
| Total % | 0 | 36.4 | | 0 | 0 | | 63.6 | 0 | | 4.3 | 95.7 | |

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Int. Total |
|--|------------------------|------|------------|-----------------------------|-------|------------|------------------------|-------|------------|------------|
| | Left | Thru | App. Total | Left | Right | App. Total | Thru | Right | App. Total | |
| Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1 | | | | | | | | | | |
| Peak Hour for Entire Intersection Begins at 07:30 AM | | | | | | | | | | |
| 07:30 AM | 0 | 1 | 1 | 0 | 0 | 0 | 5 | 0 | 5 | 6 |
| 07:45 AM | 0 | 2 | 2 | 0 | 0 | 0 | 2 | 0 | 2 | 4 |
| 08:00 AM | 0 | 1 | 1 | 0 | 0 | 0 | 2 | 0 | 2 | 3 |
| 08:15 AM | 0 | 1 | 1 | 0 | 0 | 0 | 3 | 0 | 3 | 4 |
| Total Volume | 0 | 5 | 5 | 0 | 0 | 0 | 12 | 0 | 12 | 17 |
| % App. Total | 0 | 100 | | 0 | 0 | | 100 | 0 | | |
| PHF | .000 | .625 | .625 | .000 | .000 | .000 | .600 | .000 | .600 | .708 |

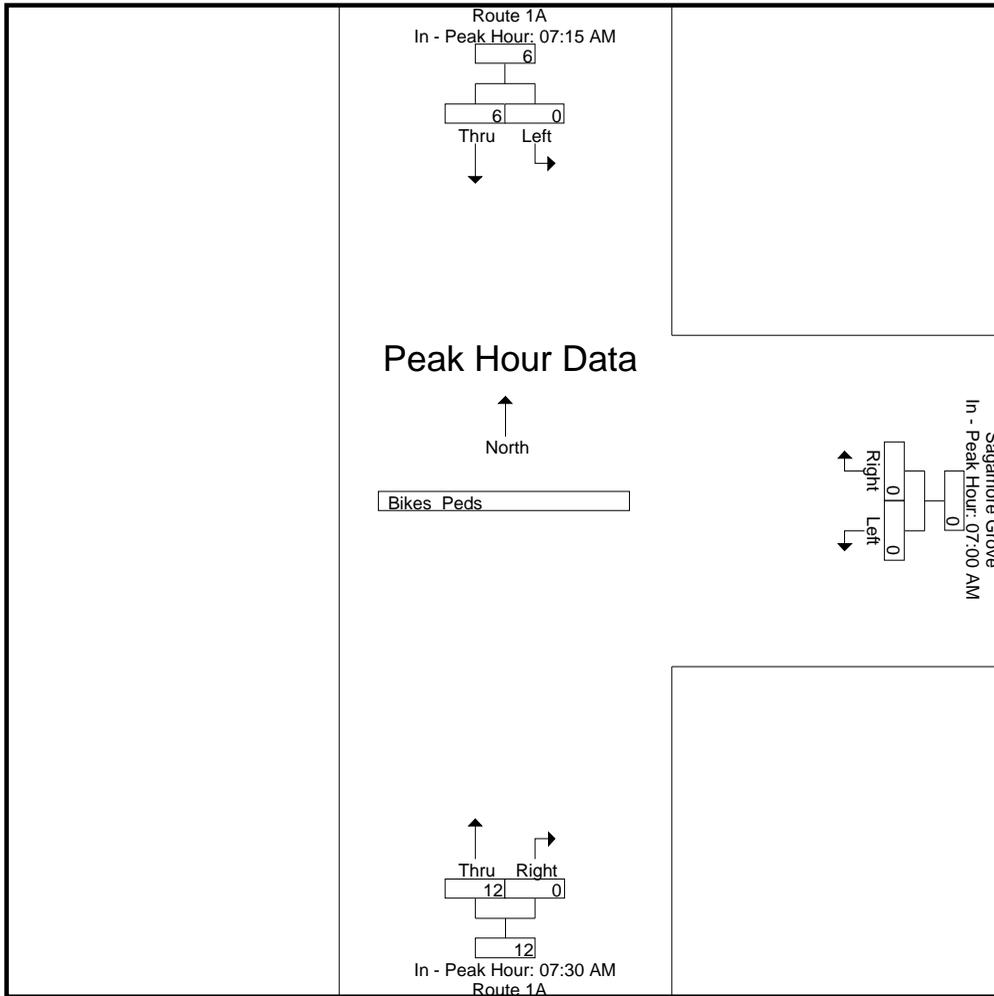
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1
Peak Hour for Each Approach Begins at:

| | 07:15 AM | | | 07:00 AM | | | 07:30 AM | | |
|--------------|----------|------|------|----------|------|------|----------|------|------|
| +0 mins. | 0 | 2 | 2 | 0 | 0 | 0 | 5 | 0 | 5 |
| +15 mins. | 0 | 1 | 1 | 0 | 0 | 0 | 2 | 0 | 2 |
| +30 mins. | 0 | 2 | 2 | 0 | 0 | 0 | 2 | 0 | 2 |
| +45 mins. | 0 | 1 | 1 | 0 | 0 | 0 | 3 | 0 | 3 |
| Total Volume | 0 | 6 | 6 | 0 | 0 | 0 | 12 | 0 | 12 |
| % App. Total | 0 | 100 | | 0 | 0 | | 100 | 0 | |
| PHF | .000 | .750 | .750 | .000 | .000 | .000 | .600 | .000 | .600 |

N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Accurate Counts

978-664-2565

N/S Street : Route 1A
 E/W Street : Sagamore Grove
 City/State : Portsmouth, NH
 Weather : Cloudy

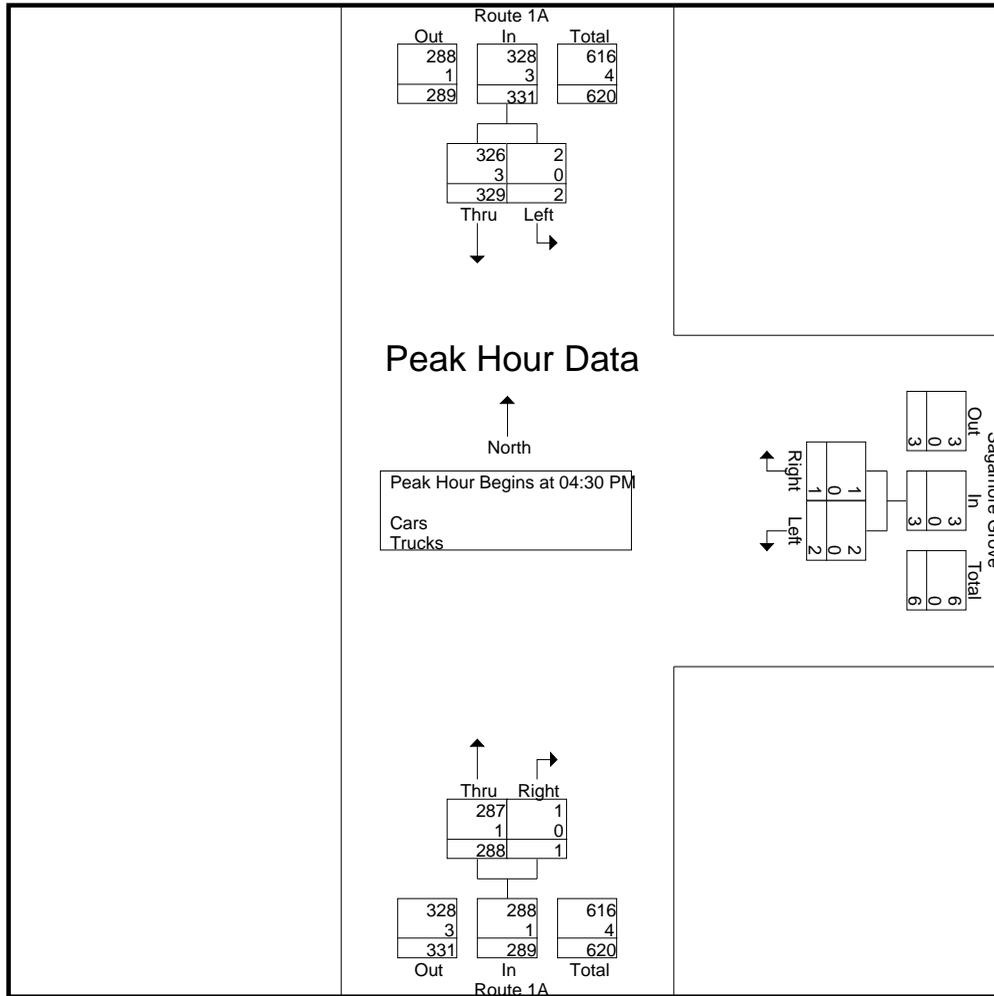
File Name : 89920001
 Site Code : 89920001
 Start Date : 5/12/2021
 Page No : 1

Groups Printed- Cars - Trucks

| Start Time | Route 1A From North | | Sagamore Grove From East | | | Route 1A From South | | Int. Total |
|--------------------|---------------------|------------|--------------------------|----------|------------|---------------------|-------------|------------|
| | Left | Thru | Left | Right | Thru | Right | | |
| 04:00 PM | 0 | 63 | 0 | 0 | 82 | 0 | 145 | |
| 04:15 PM | 0 | 76 | 0 | 0 | 61 | 0 | 137 | |
| 04:30 PM | 0 | 77 | 0 | 0 | 73 | 0 | 150 | |
| 04:45 PM | 0 | 90 | 0 | 0 | 70 | 0 | 160 | |
| Total | 0 | 306 | 0 | 0 | 286 | 0 | 592 | |
| 05:00 PM | 2 | 81 | 1 | 1 | 69 | 0 | 154 | |
| 05:15 PM | 0 | 81 | 1 | 0 | 76 | 1 | 159 | |
| 05:30 PM | 1 | 81 | 0 | 1 | 66 | 0 | 149 | |
| 05:45 PM | 0 | 61 | 1 | 0 | 73 | 0 | 135 | |
| Total | 3 | 304 | 3 | 2 | 284 | 1 | 597 | |
| Grand Total | 3 | 610 | 3 | 2 | 570 | 1 | 1189 | |
| Apprch % | 0.5 | 99.5 | 60 | 40 | 99.8 | 0.2 | | |
| Total % | 0.3 | 51.3 | 0.3 | 0.2 | 47.9 | 0.1 | | |
| Cars | 3 | 606 | 3 | 2 | 568 | 1 | 1183 | |
| % Cars | 100 | 99.3 | 100 | 100 | 99.6 | 100 | 99.5 | |
| Trucks | 0 | 4 | 0 | 0 | 2 | 0 | 6 | |
| % Trucks | 0 | 0.7 | 0 | 0 | 0.4 | 0 | 0.5 | |

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Int. Total |
|--|---------------------|------------|------------|--------------------------|----------|------------|---------------------|----------|------------|------------|
| | Left | Thru | App. Total | Left | Right | App. Total | Thru | Right | App. Total | |
| Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1 | | | | | | | | | | |
| Peak Hour for Entire Intersection Begins at 04:30 PM | | | | | | | | | | |
| 04:30 PM | 0 | 77 | 77 | 0 | 0 | 0 | 73 | 0 | 73 | 150 |
| 04:45 PM | 0 | 90 | 90 | 0 | 0 | 0 | 70 | 0 | 70 | 160 |
| 05:00 PM | 2 | 81 | 83 | 1 | 1 | 2 | 69 | 0 | 69 | 154 |
| 05:15 PM | 0 | 81 | 81 | 1 | 0 | 1 | 76 | 1 | 77 | 159 |
| Total Volume | 2 | 329 | 331 | 2 | 1 | 3 | 288 | 1 | 289 | 623 |
| % App. Total | 0.6 | 99.4 | | 66.7 | 33.3 | | 99.7 | 0.3 | | |
| PHF | .250 | .914 | .919 | .500 | .250 | .375 | .947 | .250 | .938 | .973 |
| Cars | 2 | 326 | 328 | 2 | 1 | 3 | 287 | 1 | 288 | 619 |
| % Cars | 100 | 99.1 | 99.1 | 100 | 100 | 100 | 99.7 | 100 | 99.7 | 99.4 |
| Trucks | 0 | 3 | 3 | 0 | 0 | 0 | 1 | 0 | 1 | 4 |
| % Trucks | 0 | 0.9 | 0.9 | 0 | 0 | 0 | 0.3 | 0 | 0.3 | 0.6 |

N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1
Peak Hour for Each Approach Begins at:

| | 04:45 PM | | | 05:00 PM | | | 04:30 PM | | |
|--------------|----------|-----------|-----------|----------|----------|----------|-----------|----------|-----------|
| +0 mins. | 0 | 90 | 90 | 1 | 1 | 2 | 73 | 0 | 73 |
| +15 mins. | 2 | 81 | 83 | 1 | 0 | 1 | 70 | 0 | 70 |
| +30 mins. | 0 | 81 | 81 | 0 | 1 | 1 | 69 | 0 | 69 |
| +45 mins. | 1 | 81 | 82 | 1 | 0 | 1 | 76 | 1 | 77 |
| Total Volume | 3 | 333 | 336 | 3 | 2 | 5 | 288 | 1 | 289 |
| % App. Total | 0.9 | 99.1 | | 60 | 40 | | 99.7 | 0.3 | |
| PHF | .375 | .925 | .933 | .750 | .500 | .625 | .947 | .250 | .938 |
| Cars | 3 | 330 | 333 | 3 | 2 | 5 | 287 | 1 | 288 |
| % Cars | 100 | 99.1 | 99.1 | 100 | 100 | 100 | 99.7 | 100 | 99.7 |
| Trucks | 0 | 3 | 3 | 0 | 0 | 0 | 1 | 0 | 1 |
| % Trucks | 0 | 0.9 | 0.9 | 0 | 0 | 0 | 0.3 | 0 | 0.3 |

Accurate Counts

978-664-2565

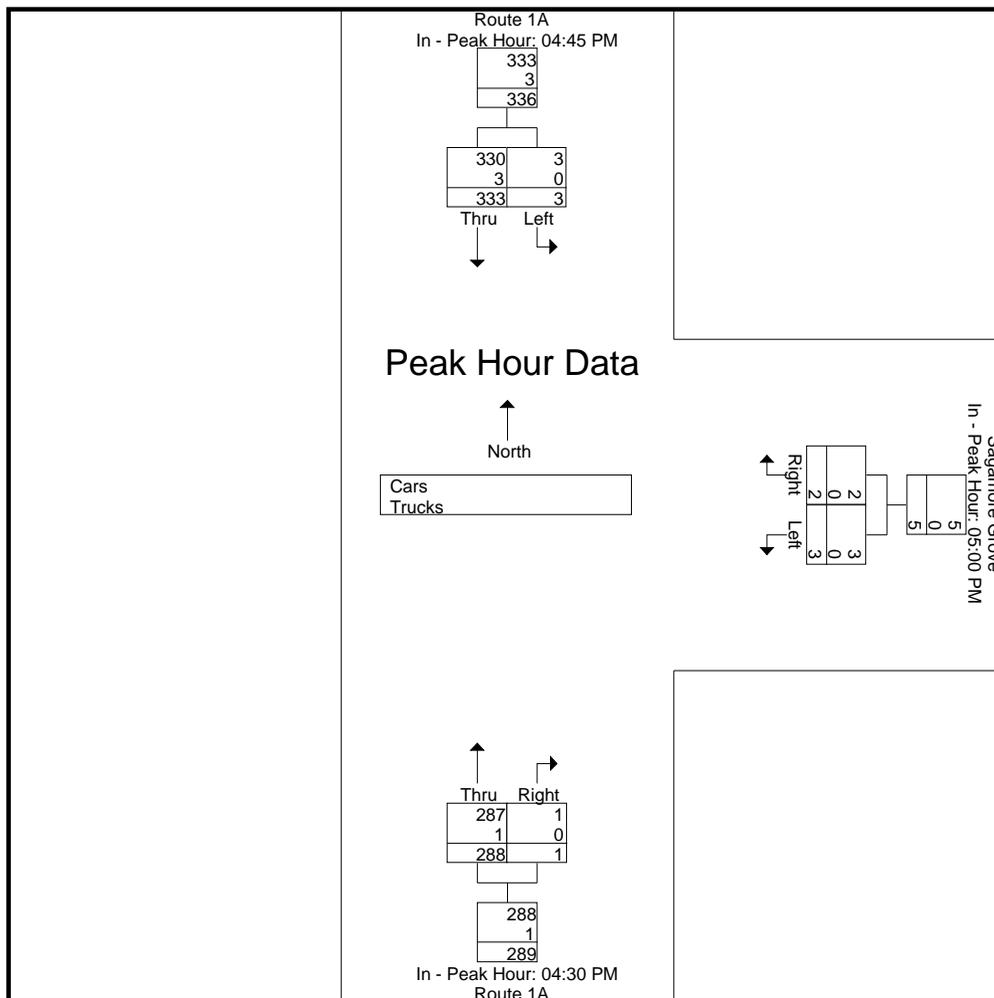
File Name : 89920001

Site Code : 89920001

Start Date : 5/12/2021

Page No : 3

N/S Street : Route 1A
 E/W Street : Sagamore Grove
 City/State : Portsmouth, NH
 Weather : Cloudy



Accurate Counts
978-664-2565

N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy

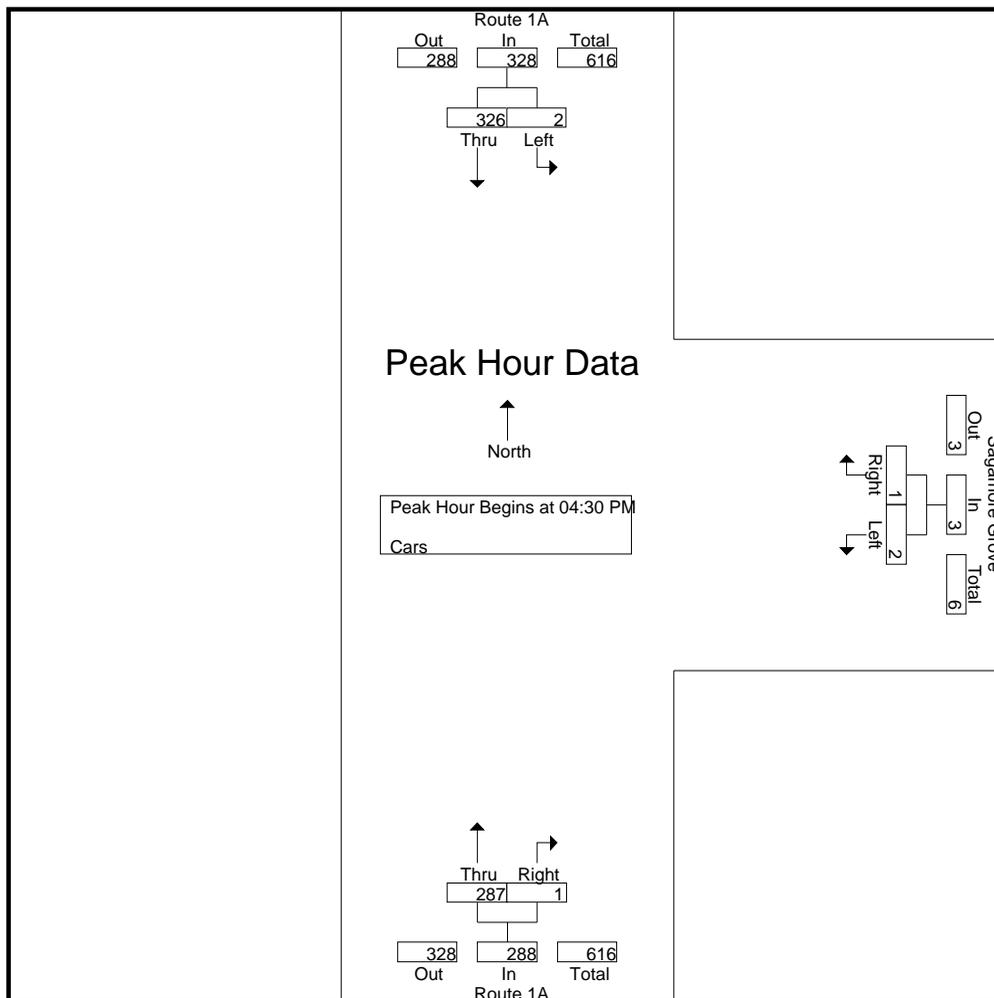
File Name : 89920001
Site Code : 89920001
Start Date : 5/12/2021
Page No : 4

Groups Printed- Cars

| Start Time | Route 1A From North | | Sagamore Grove From East | | Route 1A From South | | Int. Total |
|--------------------|------------------------|------------|-----------------------------|----------|------------------------|----------|-------------|
| | Left | Thru | Left | Right | Thru | Right | |
| 04:00 PM | 0 | 63 | 0 | 0 | 81 | 0 | 144 |
| 04:15 PM | 0 | 75 | 0 | 0 | 61 | 0 | 136 |
| 04:30 PM | 0 | 77 | 0 | 0 | 73 | 0 | 150 |
| 04:45 PM | 0 | 87 | 0 | 0 | 70 | 0 | 157 |
| Total | 0 | 302 | 0 | 0 | 285 | 0 | 587 |
| 05:00 PM | 2 | 81 | 1 | 1 | 69 | 0 | 154 |
| 05:15 PM | 0 | 81 | 1 | 0 | 75 | 1 | 158 |
| 05:30 PM | 1 | 81 | 0 | 1 | 66 | 0 | 149 |
| 05:45 PM | 0 | 61 | 1 | 0 | 73 | 0 | 135 |
| Total | 3 | 304 | 3 | 2 | 283 | 1 | 596 |
| Grand Total | 3 | 606 | 3 | 2 | 568 | 1 | 1183 |
| Apprch % | 0.5 | 99.5 | 60 | 40 | 99.8 | 0.2 | |
| Total % | 0.3 | 51.2 | 0.3 | 0.2 | 48 | 0.1 | |

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Int. Total |
|--|------------------------|------------|------------|-----------------------------|----------|------------|------------------------|----------|------------|------------|
| | Left | Thru | App. Total | Left | Right | App. Total | Thru | Right | App. Total | |
| Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1 | | | | | | | | | | |
| Peak Hour for Entire Intersection Begins at 04:30 PM | | | | | | | | | | |
| 04:30 PM | 0 | 77 | 77 | 0 | 0 | 0 | 73 | 0 | 73 | 150 |
| 04:45 PM | 0 | 87 | 87 | 0 | 0 | 0 | 70 | 0 | 70 | 157 |
| 05:00 PM | 2 | 81 | 83 | 1 | 1 | 2 | 69 | 0 | 69 | 154 |
| 05:15 PM | 0 | 81 | 81 | 1 | 0 | 1 | 75 | 1 | 76 | 158 |
| Total Volume | 2 | 326 | 328 | 2 | 1 | 3 | 287 | 1 | 288 | 619 |
| % App. Total | 0.6 | 99.4 | | 66.7 | 33.3 | | 99.7 | 0.3 | | |
| PHF | .250 | .937 | .943 | .500 | .250 | .375 | .957 | .250 | .947 | .979 |

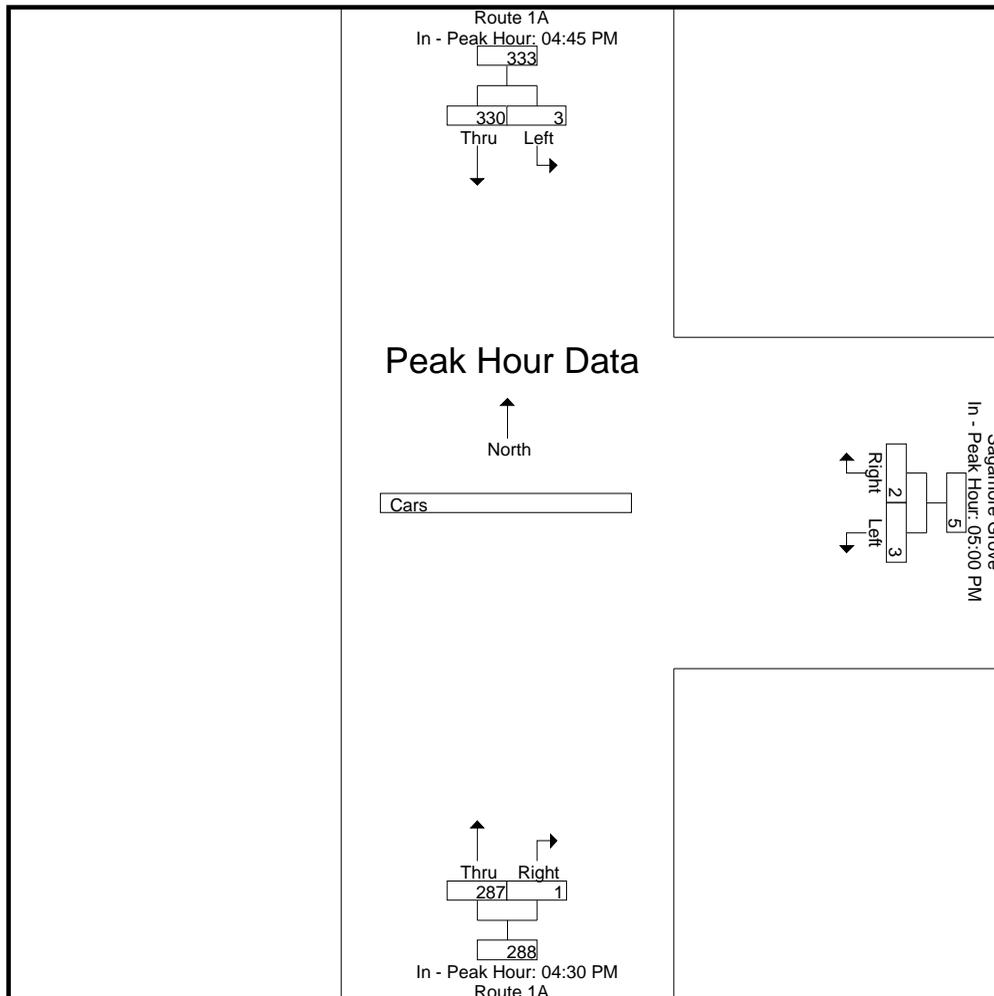
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1
Peak Hour for Each Approach Begins at:

| | 04:45 PM | | | 05:00 PM | | | 04:30 PM | | |
|--------------|----------|-----------|-----------|----------|----------|----------|-----------|----------|-----------|
| +0 mins. | 0 | 87 | 87 | 1 | 1 | 2 | 73 | 0 | 73 |
| +15 mins. | 2 | 81 | 83 | 1 | 0 | 1 | 70 | 0 | 70 |
| +30 mins. | 0 | 81 | 81 | 0 | 1 | 1 | 69 | 0 | 69 |
| +45 mins. | 1 | 81 | 82 | 1 | 0 | 1 | 75 | 1 | 76 |
| Total Volume | 3 | 330 | 333 | 3 | 2 | 5 | 287 | 1 | 288 |
| % App. Total | 0.9 | 99.1 | | 60 | 40 | | 99.7 | 0.3 | |
| PHF | .375 | .948 | .957 | .750 | .500 | .625 | .957 | .250 | .947 |

N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Accurate Counts
978-664-2565

File Name : 89920001
Site Code : 89920001
Start Date : 5/12/2021
Page No : 7

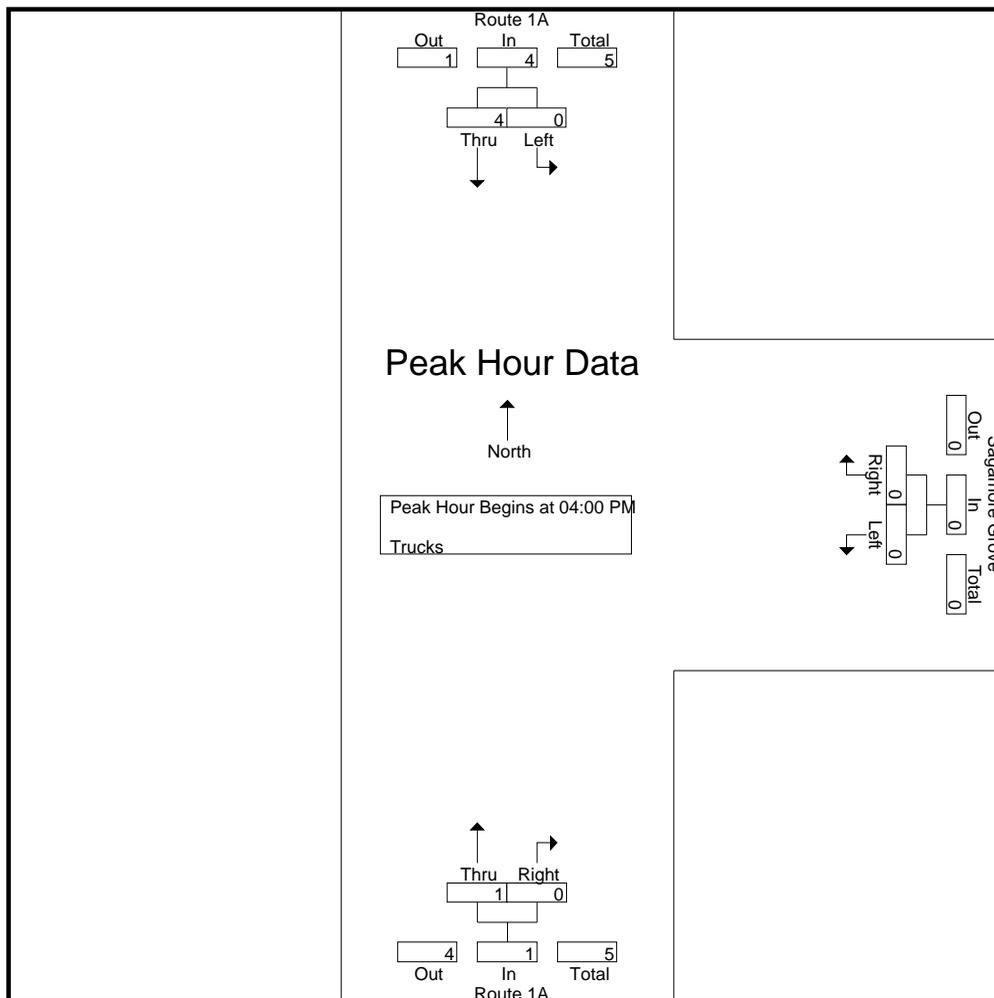
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy

Groups Printed- Trucks

| Start Time | Route 1A From North | | Sagamore Grove From East | | Route 1A From South | | Int. Total |
|--------------------|------------------------|----------|-----------------------------|----------|------------------------|----------|------------|
| | Left | Thru | Left | Right | Thru | Right | |
| 04:00 PM | 0 | 0 | 0 | 0 | 1 | 0 | 1 |
| 04:15 PM | 0 | 1 | 0 | 0 | 0 | 0 | 1 |
| 04:30 PM | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 04:45 PM | 0 | 3 | 0 | 0 | 0 | 0 | 3 |
| Total | 0 | 4 | 0 | 0 | 1 | 0 | 5 |
| 05:00 PM | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 05:15 PM | 0 | 0 | 0 | 0 | 1 | 0 | 1 |
| 05:30 PM | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 05:45 PM | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Total | 0 | 0 | 0 | 0 | 1 | 0 | 1 |
| Grand Total | 0 | 4 | 0 | 0 | 2 | 0 | 6 |
| Apprch % | 0 | 100 | 0 | 0 | 100 | 0 | |
| Total % | 0 | 66.7 | 0 | 0 | 33.3 | 0 | |

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Int. Total |
|--|------------------------|------------|------------|-----------------------------|----------|------------|------------------------|----------|------------|------------|
| | Left | Thru | App. Total | Left | Right | App. Total | Thru | Right | App. Total | |
| Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1 | | | | | | | | | | |
| Peak Hour for Entire Intersection Begins at 04:00 PM | | | | | | | | | | |
| 04:00 PM | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 | 1 |
| 04:15 PM | 0 | 1 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 1 |
| 04:30 PM | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 04:45 PM | 0 | 3 | 3 | 0 | 0 | 0 | 0 | 0 | 0 | 3 |
| Total Volume | 0 | 4 | 4 | 0 | 0 | 0 | 1 | 0 | 1 | 5 |
| % App. Total | 0 | 100 | 100 | 0 | 0 | 0 | 100 | 0 | 100 | 100 |
| PHF | .000 | .333 | .333 | .000 | .000 | .000 | .250 | .000 | .250 | .417 |

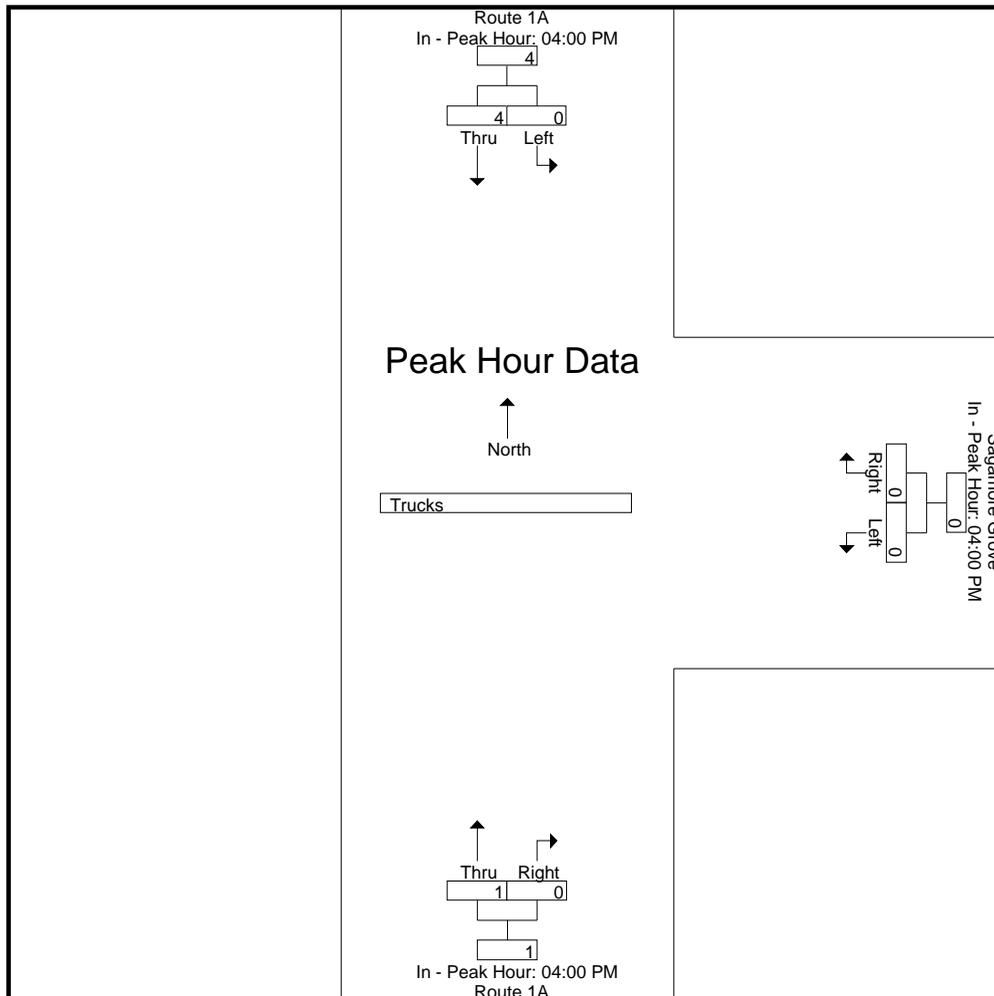
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1
Peak Hour for Each Approach Begins at:

| | 04:00 PM | | | 04:00 PM | | | 04:00 PM | | |
|--------------|----------|------|------|----------|------|------|----------|------|------|
| +0 mins. | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 |
| +15 mins. | 0 | 1 | 1 | 0 | 0 | 0 | 0 | 0 | 0 |
| +30 mins. | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| +45 mins. | 0 | 3 | 3 | 0 | 0 | 0 | 0 | 0 | 0 |
| Total Volume | 0 | 4 | 4 | 0 | 0 | 0 | 1 | 0 | 1 |
| % App. Total | 0 | 100 | | 0 | 0 | | 100 | 0 | |
| PHF | .000 | .333 | .333 | .000 | .000 | .000 | .250 | .000 | .250 |

N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Accurate Counts
978-664-2565

File Name : 89920001
Site Code : 89920001
Start Date : 5/12/2021
Page No : 10

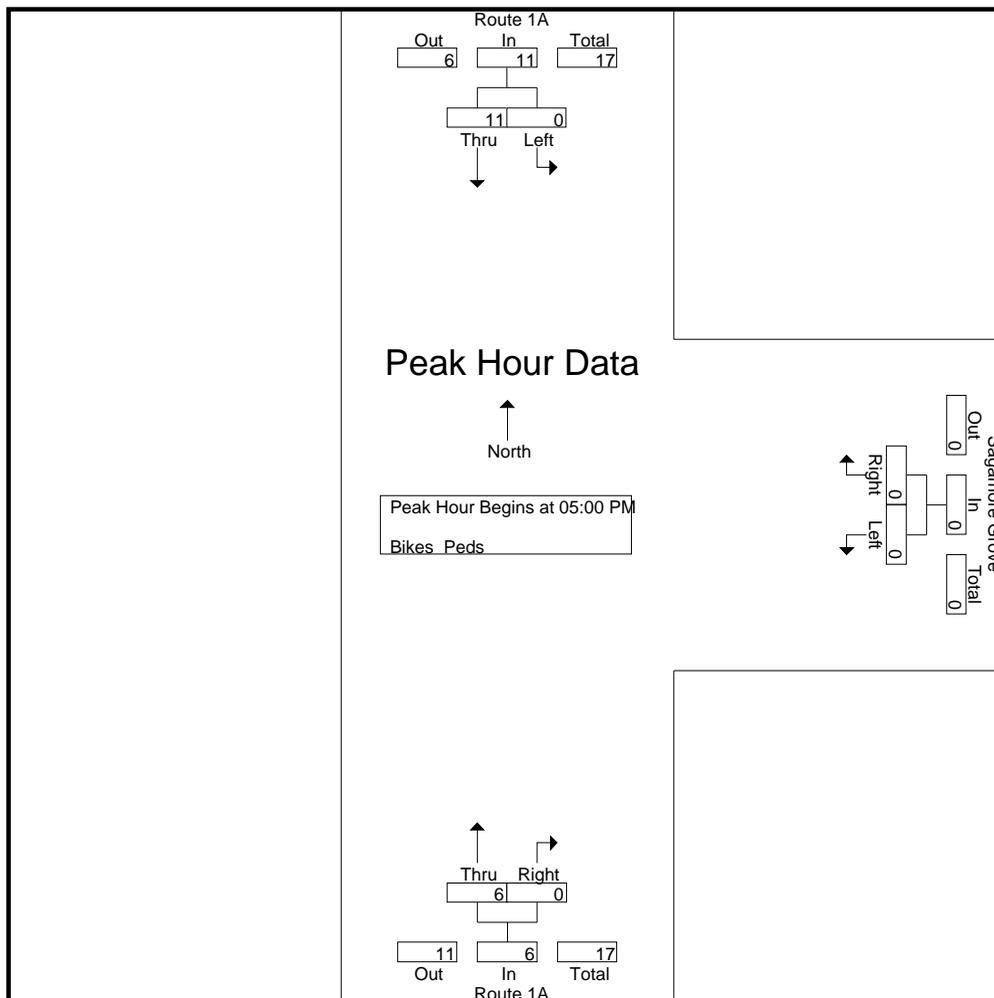
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy

Groups Printed- Bikes Peds

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Exclu. Total | Inclu. Total | Int. Total |
|--------------------|------------------------|------|------|-----------------------------|-------|------|------------------------|-------|------|--------------|--------------|------------|
| | Left | Thru | Peds | Left | Right | Peds | Thru | Right | Peds | | | |
| 04:00 PM | 0 | 4 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 5 | 5 |
| 04:15 PM | 0 | 1 | 0 | 0 | 0 | 0 | 4 | 0 | 0 | 0 | 5 | 5 |
| 04:30 PM | 0 | 2 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 2 |
| 04:45 PM | 0 | 2 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 2 |
| Total | 0 | 9 | 0 | 0 | 0 | 0 | 5 | 0 | 0 | 0 | 14 | 14 |
| 05:00 PM | 0 | 2 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 3 | 3 |
| 05:15 PM | 0 | 3 | 0 | 0 | 0 | 0 | 2 | 0 | 4 | 4 | 5 | 9 |
| 05:30 PM | 0 | 3 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 4 | 4 |
| 05:45 PM | 0 | 3 | 0 | 0 | 0 | 0 | 2 | 0 | 0 | 0 | 5 | 5 |
| Total | 0 | 11 | 0 | 0 | 0 | 0 | 6 | 0 | 4 | 4 | 17 | 21 |
| Grand Total | 0 | 20 | 0 | 0 | 0 | 0 | 11 | 0 | 4 | 4 | 31 | 35 |
| Apprch % | 0 | 100 | | 0 | 0 | | 100 | 0 | | | | |
| Total % | 0 | 64.5 | | 0 | 0 | | 35.5 | 0 | | 11.4 | 88.6 | |

| Start Time | Route 1A From North | | | Sagamore Grove From East | | | Route 1A From South | | | Int. Total |
|--|------------------------|------|------------|-----------------------------|-------|------------|------------------------|-------|------------|------------|
| | Left | Thru | App. Total | Left | Right | App. Total | Thru | Right | App. Total | |
| Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1 | | | | | | | | | | |
| Peak Hour for Entire Intersection Begins at 05:00 PM | | | | | | | | | | |
| 05:00 PM | 0 | 2 | 2 | 0 | 0 | 0 | 1 | 0 | 1 | 3 |
| 05:15 PM | 0 | 3 | 3 | 0 | 0 | 0 | 2 | 0 | 2 | 5 |
| 05:30 PM | 0 | 3 | 3 | 0 | 0 | 0 | 1 | 0 | 1 | 4 |
| 05:45 PM | 0 | 3 | 3 | 0 | 0 | 0 | 2 | 0 | 2 | 5 |
| Total Volume | 0 | 11 | 11 | 0 | 0 | 0 | 6 | 0 | 6 | 17 |
| % App. Total | 0 | 100 | | 0 | 0 | | 100 | 0 | | |
| PHF | .000 | .917 | .917 | .000 | .000 | .000 | .750 | .000 | .750 | .850 |

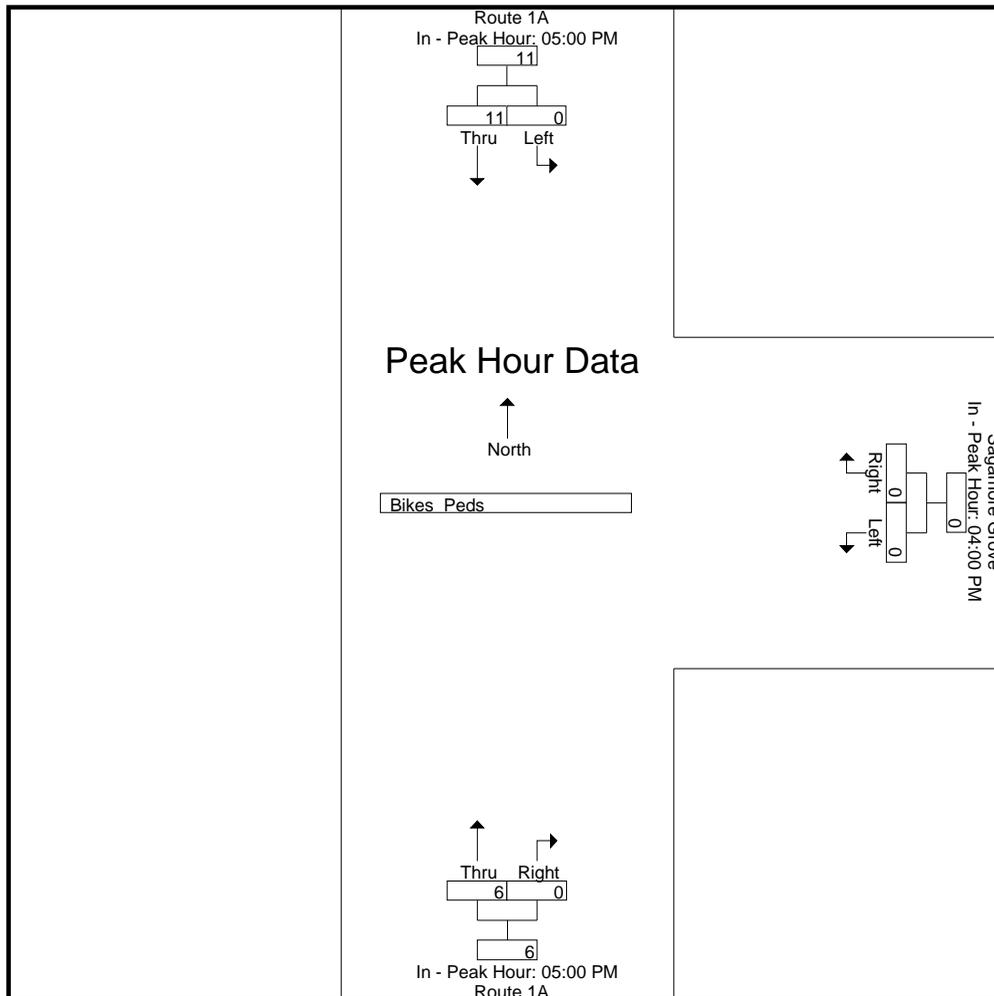
N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1
Peak Hour for Each Approach Begins at:

| | 05:00 PM | | | 04:00 PM | | | 05:00 PM | | |
|--------------|----------|------|------|----------|------|------|----------|------|------|
| +0 mins. | 0 | 2 | 2 | 0 | 0 | 0 | 1 | 0 | 1 |
| +15 mins. | 0 | 3 | 3 | 0 | 0 | 0 | 2 | 0 | 2 |
| +30 mins. | 0 | 3 | 3 | 0 | 0 | 0 | 1 | 0 | 1 |
| +45 mins. | 0 | 3 | 3 | 0 | 0 | 0 | 2 | 0 | 2 |
| Total Volume | 0 | 11 | 11 | 0 | 0 | 0 | 6 | 0 | 6 |
| % App. Total | 0 | 100 | | 0 | 0 | | 100 | 0 | |
| PHF | .000 | .917 | .917 | .000 | .000 | .000 | .750 | .000 | .750 |

N/S Street : Route 1A
E/W Street : Sagamore Grove
City/State : Portsmouth, NH
Weather : Cloudy



SEASONAL ADJUSTMENT DATA



New Hampshire DOT

02345001: Monthly Hourly Volume for May 2019

Location ID: 02345001
 County: ROCKINGHAM
 Functional Class: 3
 Location: Lafayette Rd

Seasonal Factor Group: 04
 Daily Factor Group:
 Axle Factor Group:
 Growth Factor Group:

| | 0:00 | 1:00 | 2:00 | 3:00 | 4:00 | 5:00 | 6:00 | 7:00 | 8:00 | 9:00 | 10:00 | 11:00 | 12:00 | 13:00 | 14:00 | 15:00 | 16:00 | 17:00 | 18:00 | 19:00 | 20:00 | 21:00 | 22:00 | 23:00 | TOTAL | QCStatus | |
|----|------|------|------|------|------|------|------|------|------|------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|----------|--|
| 1 | 37 | 25 | 12 | 48 | 73 | 246 | 604 | 1162 | 1282 | 1033 | 1097 | 1216 | 1261 | 1153 | 1215 | 1336 | 1360 | 1383 | 993 | 632 | 428 | 263 | 150 | 90 | 17099 | Accepted | |
| 2 | 40 | 24 | 14 | 36 | 76 | 244 | 607 | 1115 | 1279 | 991 | 1070 | 1172 | 1168 | 1173 | 1217 | 1394 | 1405 | 1361 | 932 | 611 | 467 | 244 | 166 | 95 | 16901 | Accepted | |
| 3 | 52 | 29 | 17 | 39 | 73 | 266 | 601 | 1178 | 1290 | 1157 | 1189 | 1258 | 1409 | 1317 | 1428 | 1435 | 1327 | 1423 | 936 | 659 | 465 | 359 | 222 | 139 | 18268 | Accepted | |
| 4 | 82 | 41 | 27 | 29 | 37 | 124 | 257 | 565 | 767 | 939 | 1160 | 1340 | 1342 | 1371 | 1332 | 1237 | 1190 | 1048 | 817 | 654 | 474 | 342 | 248 | 178 | 15601 | Accepted | |
| 5 | 86 | 51 | 32 | 24 | 28 | 82 | 160 | 362 | 614 | 684 | 1020 | 1161 | 1187 | 1117 | 1131 | 1000 | 926 | 799 | 655 | 445 | 317 | 154 | 148 | 69 | 12252 | Accepted | |
| 6 | 36 | 23 | 19 | 21 | 62 | 267 | 611 | 1088 | 1263 | 981 | 984 | 1140 | 1216 | 1168 | 1229 | 1410 | 1474 | 1434 | 931 | 585 | 414 | 234 | 116 | 67 | 16773 | Accepted | |
| 7 | 42 | 30 | 23 | 36 | 73 | 276 | 610 | 1164 | 1339 | 1040 | 1016 | 1129 | 1240 | 1177 | 1282 | 1383 | 1458 | 1398 | 925 | 522 | 357 | 240 | 116 | 59 | 16935 | Accepted | |
| 8 | 39 | 20 | 29 | 39 | 75 | 266 | 632 | 1289 | 1354 | 1100 | 1095 | 1258 | 1320 | 1290 | 1331 | 1402 | 1412 | 1463 | 1066 | 640 | 501 | 312 | 141 | 85 | 18159 | Accepted | |
| 9 | 42 | 22 | 19 | 36 | 74 | 278 | 632 | 1179 | 1333 | 1078 | 1138 | 1253 | 1266 | 1285 | 1277 | 1502 | 1422 | 1449 | 964 | 636 | 469 | 264 | 137 | 101 | 17856 | Accepted | |
| 10 | 61 | 32 | 18 | 34 | 72 | 251 | 585 | 1079 | 1327 | 1155 | 1182 | 1305 | 1447 | 1331 | 1355 | 1478 | 1454 | 1386 | 934 | 626 | 564 | 356 | 245 | 135 | 18412 | Accepted | |
| 11 | 74 | 43 | 23 | 31 | 44 | 127 | 285 | 600 | 842 | 1072 | 1230 | 1365 | 1331 | 1385 | 1384 | 1339 | 1255 | 1119 | 916 | 746 | 582 | 337 | 230 | 166 | 16526 | Accepted | |
| 12 | 102 | 58 | 27 | 17 | 19 | 68 | 185 | 366 | 651 | 784 | 1025 | 1036 | 1198 | 1178 | 1141 | 1084 | 951 | 757 | 658 | 493 | 343 | 190 | 124 | 88 | 12543 | Accepted | |
| 13 | 30 | 16 | 17 | 33 | 84 | 258 | 653 | 1122 | 1275 | 1036 | 1116 | 1276 | 1242 | 1151 | 1282 | 1366 | 1451 | 1418 | 938 | 573 | 345 | 225 | 112 | 60 | 17079 | Accepted | |
| 14 | 34 | 19 | 22 | 45 | 80 | 260 | 582 | 1143 | 1362 | 1014 | 1065 | 1248 | 1269 | 1221 | 1276 | 1405 | 1372 | 1415 | 968 | 539 | 364 | 263 | 130 | 78 | 17174 | Accepted | |
| 15 | 55 | 27 | 20 | 43 | 73 | 254 | 635 | 1176 | 1314 | 1092 | 1183 | 1206 | 1336 | 1269 | 1262 | 1491 | 1499 | 1376 | 967 | 580 | 491 | 286 | 131 | 100 | 17866 | Accepted | |
| 16 | 42 | 27 | 15 | 42 | 89 | 267 | 615 | 1178 | 1365 | 1091 | 1097 | 1309 | 1379 | 1231 | 1379 | 1468 | 1557 | 1528 | 951 | 663 | 535 | 301 | 174 | 123 | 18426 | Accepted | |
| 17 | 69 | 65 | 80 | 67 | 123 | 255 | 607 | 1134 | 1221 | 1088 | 1117 | 1364 | 1397 | 1277 | 1396 | 1476 | 1481 | 1403 | 1034 | 747 | 634 | 420 | 250 | 138 | 18843 | Accepted | |
| 18 | 84 | 43 | 24 | 34 | 47 | 124 | 265 | 591 | 835 | 1136 | 1277 | 1386 | 1464 | 1363 | 1304 | 1283 | 1132 | 1046 | 902 | 690 | 539 | 339 | 266 | 154 | 16328 | Accepted | |
| 19 | 84 | 49 | 26 | 20 | 33 | 97 | 305 | 443 | 665 | 783 | 1153 | 1265 | 1259 | 1135 | 1163 | 1122 | 1056 | 797 | 730 | 613 | 321 | 196 | 121 | 75 | 13511 | Accepted | |
| 20 | 64 | 26 | 27 | 39 | 86 | 247 | 625 | 1228 | 1306 | 1056 | 1100 | 1211 | 1261 | 1202 | 1273 | 1477 | 1457 | 1388 | 890 | 646 | 394 | 271 | 134 | 105 | 17513 | Accepted | |
| 21 | 71 | 57 | 44 | 51 | 88 | 285 | 653 | 1177 | 1450 | 1115 | 1149 | 1254 | 1326 | 1371 | 1313 | 1478 | 1503 | 1495 | 940 | 654 | 457 | 272 | 143 | 86 | 18432 | Accepted | |
| 22 | 67 | 49 | 54 | 89 | 119 | 282 | 628 | 1163 | 1326 | 1108 | 1079 | 1195 | 1347 | 1355 | 1282 | 1439 | 1531 | 1474 | 1015 | 660 | 430 | 272 | 126 | 105 | 18195 | Accepted | |
| 23 | 49 | 67 | 49 | 86 | 95 | 247 | 654 | 1132 | 1306 | 1118 | 1087 | 1224 | 1350 | 1274 | 1314 | 1493 | 1472 | 1373 | 972 | 695 | 451 | 367 | 220 | 206 | 18301 | Accepted | |
| 24 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 25 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 26 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 27 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 28 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 29 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 30 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 31 | | | | | | | | | | | | | | | | | | | | | | | | | | | |

May Average 16913
 Peak Month (Aug) 18127
 Seasonal Adjustment 1.072

COVID-19 ADJUSTMENT DATA



2019 Average Count Data – Sta. 02345001

May ADT: 16,913

Growth Rate: 1.0%/Year

$$16,913 \times (1.010^2) = 17,253$$

2021 Average Count Data – Sta. 02345001

May ADT: 14,995

COVID Adjustment

$$\frac{17,253}{14,995} = 1.151$$

New Hampshire DOT

02345001: Monthly Hourly Volume for May 2021

Location ID: 02345001
County: ROCKINGHAM
Functional Class: 3
Location: Lafayette Rd

Seasonal Factor Group: 04
Daily Factor Group:
Axle Factor Group:
Growth Factor Group:

| | 0:00 | 1:00 | 2:00 | 3:00 | 4:00 | 5:00 | 6:00 | 7:00 | 8:00 | 9:00 | 10:00 | 11:00 | 12:00 | 13:00 | 14:00 | 15:00 | 16:00 | 17:00 | 18:00 | 19:00 | 20:00 | 21:00 | 22:00 | 23:00 | TOTAL | QC Status |
|----|------|------|------|------|------|------|------|------|------|------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-----------|
| 1 | 51 | 29 | 28 | 20 | 46 | 96 | 232 | 467 | 620 | 964 | 1175 | 1310 | 1404 | 1351 | 1312 | 1205 | 1169 | 957 | 756 | 622 | 451 | 310 | 170 | 116 | 14861 | Accepted |
| 2 | 60 | 40 | 24 | 14 | 15 | 80 | 148 | 306 | 520 | 702 | 887 | 1095 | 1221 | 1242 | 1298 | 1112 | 939 | 828 | 670 | 510 | 371 | 205 | 109 | 80 | 12476 | Accepted |
| 3 | 32 | 10 | 23 | 14 | 69 | 245 | 560 | 1029 | 1109 | 906 | 940 | 1146 | 1161 | 1184 | 1236 | 1373 | 1297 | 1219 | 784 | 533 | 321 | 211 | 149 | 98 | 15649 | Accepted |
| 4 | 41 | 28 | 27 | 30 | 74 | 258 | 593 | 995 | 1130 | 974 | 1028 | 1143 | 1244 | 1171 | 1268 | 1386 | 1381 | 1218 | 858 | 520 | 371 | 225 | 173 | 123 | 16259 | Accepted |
| 5 | 64 | 22 | 24 | 24 | 73 | 228 | 557 | 973 | 1115 | 956 | 1001 | 1113 | 1231 | 1178 | 1240 | 1357 | 1304 | 1275 | 784 | 474 | 298 | 215 | 143 | 82 | 15731 | Accepted |
| 6 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 8 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 9 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 11 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 12 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 13 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 14 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 15 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 16 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 17 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 18 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 19 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 20 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 21 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 22 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 23 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 24 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 25 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 26 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 27 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 28 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 29 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 30 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 31 | | | | | | | | | | | | | | | | | | | | | | | | | | |

May Average 14995

VEHICLE TRAVEL SPEED DATA



Accurate Counts
978-664-2565

89920001

Location : Route 1A
Location : South of Sagamore Grove
City/State: Portsmouth, NH
Direction: NB,

| 5/12/2021 | 0 - 3 | > 3 - 6 | > 6 - 9 | > 9 - 12 | > 12 - 15 | > 15 - 18 | > 18 - 21 | > 21 - 24 | > 24 - 27 | > 27 - 30 | > 30 - 33 | > 33 - 36 | > 36 - 39 | > 39 | |
|-----------|-------|---------|---------|----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|------|------|
| Time | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | |
| 12:00 AM | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 5 | 0 | 1 | 0 | 7 |
| 1:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 2 | 0 | 0 | 0 | 0 | 4 |
| 2:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 1 |
| 3:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 4:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 4 | 2 | 3 | 3 | 0 | 12 |
| 5:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 4 | 5 | 9 | 7 | 2 | 0 | 29 |
| 6:00 | 0 | 0 | 0 | 1 | 0 | 0 | 1 | 0 | 8 | 11 | 17 | 10 | 8 | 4 | 60 |
| 7:00 | 0 | 0 | 0 | 0 | 0 | 0 | 3 | 4 | 15 | 37 | 47 | 35 | 14 | 1 | 156 |
| 8:00 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 3 | 15 | 58 | 86 | 56 | 27 | 6 | 253 |
| 9:00 | 0 | 0 | 0 | 0 | 0 | 1 | 2 | 3 | 26 | 56 | 60 | 53 | 23 | 4 | 228 |
| 10:00 | 0 | 0 | 0 | 0 | 1 | 0 | 6 | 11 | 24 | 55 | 72 | 31 | 23 | 1 | 224 |
| 11:00 | 0 | 0 | 0 | 0 | 0 | 2 | 4 | 9 | 33 | 52 | 83 | 46 | 17 | 3 | 249 |
| 12:00 PM | 0 | 0 | 0 | 0 | 1 | 0 | 4 | 9 | 28 | 67 | 93 | 50 | 24 | 5 | 281 |
| 1:00 | 0 | 0 | 0 | 1 | 0 | 0 | 5 | 10 | 41 | 74 | 88 | 40 | 19 | 6 | 284 |
| 2:00 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 9 | 46 | 72 | 86 | 54 | 15 | 3 | 287 |
| 3:00 | 0 | 0 | 0 | 0 | 1 | 1 | 2 | 16 | 44 | 81 | 99 | 36 | 12 | 5 | 297 |
| 4:00 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 9 | 29 | 76 | 82 | 58 | 23 | 2 | 280 |
| 5:00 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 10 | 33 | 66 | 88 | 53 | 12 | 1 | 265 |
| 6:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 9 | 25 | 39 | 62 | 35 | 22 | 7 | 199 |
| 7:00 | 0 | 0 | 0 | 0 | 1 | 0 | 1 | 4 | 17 | 41 | 46 | 22 | 12 | 2 | 146 |
| 8:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 8 | 20 | 23 | 23 | 5 | 0 | 81 |
| 9:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 8 | 8 | 13 | 7 | 7 | 0 | 43 |
| 10:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 3 | 3 | 7 | 3 | 4 | 1 | 23 |
| 11:00 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 2 | 4 | 3 | 2 | 2 | 1 | 15 |
| Total | 0 | 0 | 0 | 2 | 4 | 4 | 36 | 113 | 411 | 831 | 1071 | 625 | 275 | 52 | 3424 |

| | | | | |
|----------------------|-------|------|------|------|
| Percentile | 15th | 50th | 85th | 95th |
| Speed | 26.6 | 31 | 34.7 | 36.6 |
| Mean Speed (Average) | 32.4 | | | |
| 10 MPH Pace Speed | 26-35 | | | |
| Number in Pace | 2657 | | | |
| Percent in Pace | 77.6% | | | |
| Number > 30 MPH | 2023 | | | |
| Percent > 30 MPH | 59.1% | | | |

Accurate Counts
978-664-2565

Location : Route 1A
Location : South of Sagamore Grove
City/State: Portsmouth, NH
Direction: SB,

89920001

| 5/12/2021 | > 12 - 15 | > 15 - 18 | > 18 - 21 | > 21 - 24 | > 24 - 27 | > 27 - 30 | > 30 - 33 | > 33 - 36 | > 36 - 39 | > 39 | | | | | |
|-----------|--------------|----------------|----------------|-----------------|--------------|--------------|--------------|--------------|--------------|------|------|-----|-----|----|------|
| Time | 0 - 3 MPH | > 3 - 6 MPH | > 6 - 9 MPH | > 9 - 12 MPH | MPH | MPH | MPH | MPH | MPH | MPH | | | | | |
| 12:00 AM | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 4 | 0 | 0 | 0 | 5 | | |
| 1:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 3 | 2 | 6 | | |
| 2:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 0 | 0 | 0 | 2 | | |
| 3:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 1 | 0 | 0 | 1 | 4 | | |
| 4:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 1 | 1 | 0 | 4 | | |
| 5:00 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 2 | 3 | 4 | 15 | | |
| 6:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 3 | 8 | 21 | 28 | 7 | 82 | | |
| 7:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 10 | 30 | 47 | 56 | 29 | 193 | | |
| 8:00 | 0 | 0 | 0 | 0 | 0 | 1 | 8 | 21 | 57 | 68 | 80 | 44 | 305 | | |
| 9:00 | 0 | 0 | 0 | 0 | 0 | 2 | 4 | 9 | 46 | 59 | 57 | 28 | 225 | | |
| 10:00 | 0 | 0 | 0 | 0 | 0 | 2 | 1 | 16 | 51 | 61 | 71 | 43 | 276 | | |
| 11:00 | 0 | 0 | 0 | 0 | 1 | 2 | 9 | 37 | 58 | 68 | 88 | 44 | 335 | | |
| 12:00 PM | 0 | 0 | 0 | 0 | 0 | 2 | 2 | 15 | 36 | 81 | 76 | 52 | 300 | | |
| 1:00 | 0 | 0 | 1 | 1 | 9 | 11 | 12 | 22 | 43 | 73 | 68 | 39 | 308 | | |
| 2:00 | 0 | 0 | 0 | 0 | 2 | 3 | 14 | 13 | 63 | 58 | 73 | 46 | 304 | | |
| 3:00 | 0 | 0 | 1 | 4 | 6 | 6 | 15 | 17 | 65 | 103 | 104 | 39 | 392 | | |
| 4:00 | 0 | 0 | 2 | 1 | 1 | 1 | 9 | 20 | 72 | 80 | 116 | 42 | 368 | | |
| 5:00 | 0 | 0 | 0 | 0 | 2 | 0 | 6 | 19 | 44 | 100 | 105 | 41 | 355 | | |
| 6:00 | 0 | 0 | 0 | 0 | 0 | 0 | 15 | 14 | 40 | 53 | 55 | 44 | 251 | | |
| 7:00 | 0 | 0 | 0 | 0 | 0 | 0 | 3 | 8 | 22 | 32 | 51 | 29 | 174 | | |
| 8:00 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 12 | 35 | 37 | 48 | 19 | 164 | | |
| 9:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 8 | 7 | 28 | 14 | 69 | | |
| 10:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 4 | 4 | 7 | 28 | | |
| 11:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 4 | 5 | 1 | 13 | | |
| Total | 0 | 0 | 4 | 6 | 21 | 30 | 101 | 238 | 682 | 963 | 1123 | 576 | 345 | 89 | 4178 |

| | | | | |
|----------------------|-------|------|------|------|
| Percentile | 15th | 50th | 85th | 95th |
| Speed | 24.8 | 30.3 | 34.7 | 36.6 |
| Mean Speed (Average) | 32.2 | | | |
| 10 MPH Pace Speed | 24-33 | | | |
| Number in Pace | 2949 | | | |
| Percent in Pace | 70.6% | | | |
| Number > 30 MPH | 2133 | | | |
| Percent > 30 MPH | 51.1% | | | |

Accurate Counts
978-664-2565

Location : Route 1A
Location : South of Sagamore Grove
City/State: Portsmouth, NH
Direction: Combined

89920001

| 5/12/2021 | 0 - 3 | > 3 - 6 | > 6 - 9 | > 9 - 12 | > 12 - 15 | > 15 - 18 | > 18 - 21 | > 21 - 24 | > 24 - 27 | > 27 - 30 | > 30 - 33 | > 33 - 36 | > 36 - 39 | > 39 | |
|-----------|-------|---------|---------|----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|------|------|
| Time | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | MPH | |
| 12:00 AM | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 9 | 0 | 1 | 0 | 12 |
| 1:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 2 | 2 | 0 | 3 | 2 | 0 | 10 |
| 2:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 1 | 0 | 0 | 3 |
| 3:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 2 | 1 | 0 | 0 | 1 | 4 |
| 4:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 5 | 3 | 4 | 3 | 0 | 16 |
| 5:00 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 2 | 4 | 7 | 12 | 11 | 6 | 1 | 44 |
| 6:00 | 0 | 0 | 0 | 1 | 0 | 0 | 1 | 3 | 16 | 32 | 45 | 17 | 18 | 9 | 142 |
| 7:00 | 0 | 0 | 0 | 0 | 0 | 0 | 3 | 14 | 45 | 84 | 103 | 64 | 32 | 4 | 349 |
| 8:00 | 0 | 0 | 0 | 0 | 0 | 1 | 10 | 24 | 72 | 126 | 166 | 100 | 49 | 10 | 558 |
| 9:00 | 0 | 0 | 0 | 0 | 0 | 3 | 6 | 12 | 72 | 115 | 117 | 81 | 38 | 9 | 453 |
| 10:00 | 0 | 0 | 0 | 0 | 1 | 2 | 7 | 27 | 75 | 116 | 143 | 74 | 48 | 7 | 500 |
| 11:00 | 0 | 0 | 0 | 0 | 1 | 4 | 13 | 46 | 91 | 120 | 171 | 90 | 40 | 8 | 584 |
| 12:00 PM | 0 | 0 | 0 | 0 | 1 | 2 | 6 | 24 | 64 | 148 | 169 | 102 | 54 | 11 | 581 |
| 1:00 | 0 | 0 | 1 | 2 | 9 | 11 | 17 | 32 | 84 | 147 | 156 | 79 | 45 | 9 | 592 |
| 2:00 | 0 | 0 | 0 | 0 | 2 | 3 | 16 | 22 | 109 | 130 | 159 | 100 | 38 | 12 | 591 |
| 3:00 | 0 | 0 | 1 | 4 | 7 | 7 | 17 | 33 | 109 | 184 | 203 | 75 | 40 | 9 | 689 |
| 4:00 | 0 | 0 | 2 | 1 | 1 | 1 | 10 | 29 | 101 | 156 | 198 | 100 | 45 | 4 | 648 |
| 5:00 | 0 | 0 | 0 | 0 | 2 | 0 | 8 | 29 | 77 | 166 | 193 | 94 | 39 | 12 | 620 |
| 6:00 | 0 | 0 | 0 | 0 | 0 | 0 | 15 | 23 | 65 | 92 | 117 | 79 | 43 | 16 | 450 |
| 7:00 | 0 | 0 | 0 | 0 | 1 | 0 | 4 | 12 | 39 | 73 | 97 | 51 | 34 | 9 | 320 |
| 8:00 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 14 | 43 | 57 | 71 | 42 | 11 | 5 | 245 |
| 9:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 16 | 15 | 41 | 21 | 16 | 1 | 112 |
| 10:00 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 4 | 7 | 11 | 10 | 14 | 3 | 51 |
| 11:00 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 3 | 8 | 8 | 3 | 4 | 1 | 28 |
| Total | 0 | 0 | 4 | 8 | 25 | 34 | 137 | 351 | 1093 | 1794 | 2194 | 1201 | 620 | 141 | 7602 |

| | | | | |
|----------------------|-------|------|------|------|
| Percentile | 15th | 50th | 85th | 95th |
| Speed | 26 | 30.3 | 34.7 | 36.6 |
| Mean Speed (Average) | 32.3 | | | |
| 10 MPH Pace Speed | 26-35 | | | |
| Number in Pace | 5550 | | | |
| Percent in Pace | 73.0% | | | |
| Number > 30 MPH | 4156 | | | |
| Percent > 30 MPH | 54.7% | | | |

GENERAL BACKGROUND TRAFFIC GROWTH



General Background Traffic Growth - Daily Traffic Volumes

| CITY/TOWN | ROUTE/STREET | LOCATION | 2009 | 2010 | 2011 | 2012 | 2013 | 2014 | 2015 | 2016 | 2017 | 2018 | 2019 | Annual Growth Rate |
|------------|------------------|---------------------------|--------|--------|-------|--------|-------|-------|--------|--------|--------|--------|--------|--------------------|
| Portsmouth | Lafayette Road | South of South Street | 12,000 | | | 13,000 | | | 12,000 | 12,240 | 12,485 | 11,179 | 11,313 | -1.25% |
| New Castle | Wentworth Road | At Rye Town Line | | 4,200 | | | 4,000 | 4,088 | 4,211 | 3,551 | 3,803 | 3,879 | 3,167 | -2.68% |
| Portsmouth | South Street | East of US Route 1 | 5,800 | | | 8,800 | | | 7,600 | 7,752 | 7,907 | 7,366 | 7,454 | 0.46% |
| Portsmouth | Middle Street | South of Mendum Avenue | | 10,000 | | | 7,900 | 8,074 | 8,316 | 9,628 | 9,821 | 10,017 | 8,793 | 1.75% |
| Portsmouth | Middle Street | East of US Route 1 | 6,200 | | | 6,800 | | | 7,200 | 7,344 | 7,491 | 6,686 | 6,766 | -0.10% |
| Portsmouth | Newcastle Avenue | At New Castle Town Line | 3,400 | | | 2,900 | | | 2,900 | 2,958 | 3,017 | 3,163 | 3,201 | 0.86% |
| Portsmouth | Richards Avenue | South of US Route 1 | 1,800 | | | 1,300 | | | 1,400 | 1,428 | 1,457 | 1,700 | 1,720 | 2.60% |
| Portsmouth | Newcastle Avenue | East of South Street | 1,400 | | | 1,400 | | | 1,400 | 1,428 | 1,457 | 1,486 | 1,374 | 0.15% |
| Portsmouth | Marcy Street | At Mill Pond Bridge | | | | 2,900 | | 6,000 | 6,180 | 6,304 | 5,291 | 5,397 | 5,462 | 4.18% |
| Portsmouth | Sagamore Avenue | At Sagamore Creek | | 8,100 | | | 6,500 | 6,643 | 6,842 | 7,520 | 7,670 | 7,823 | 7,086 | 1.14% |
| Portsmouth | Cass Street | West of US Route 1 | | 2,700 | | | 2,400 | 2,453 | 2,527 | 2,953 | 3,012 | 3,072 | 2,557 | 2.02% |
| Portsmouth | Junkins Avenue | North of Lincoln Avenue | | 3,900 | | | 3,300 | 3,373 | 3,474 | 2,962 | 3,021 | 3,081 | 2,766 | -3.07% |
| Portsmouth | South Street | West of Monroe Street | 4,700 | | 4,700 | | | 4,600 | 4,738 | 4,833 | 4,066 | 4,147 | 4,197 | -1.73% |
| Portsmouth | Elwyn Road | At Rye Town Line | | 7,800 | | | | 7,400 | 7,790 | 10,317 | 10,523 | 10,733 | 8,408 | 4.28% |
| Rye | Wentworth Road | At Portsmouth City Line | | 5,200 | | | 4,900 | 5,008 | 5,158 | 5,767 | 5,882 | 6,000 | 4,937 | 1.38% |
| Rye | Brackett Road | South of NH Route 1A | | 2,100 | | | 1,400 | 1,431 | 1,474 | 1,804 | 1,840 | 1,877 | 1,469 | 1.08% |
| Rye | Sagamore Road | South of Berry Brook Lane | | 4,400 | | | 4,700 | 4,803 | 4,947 | 4,394 | 4,482 | 4,572 | 3,840 | -1.87% |
| | | | | | | | | | | | | | | 0.54% |

TRIP-GENERATION CALCULATIONS



Multifamily Housing (Low-Rise) (220)

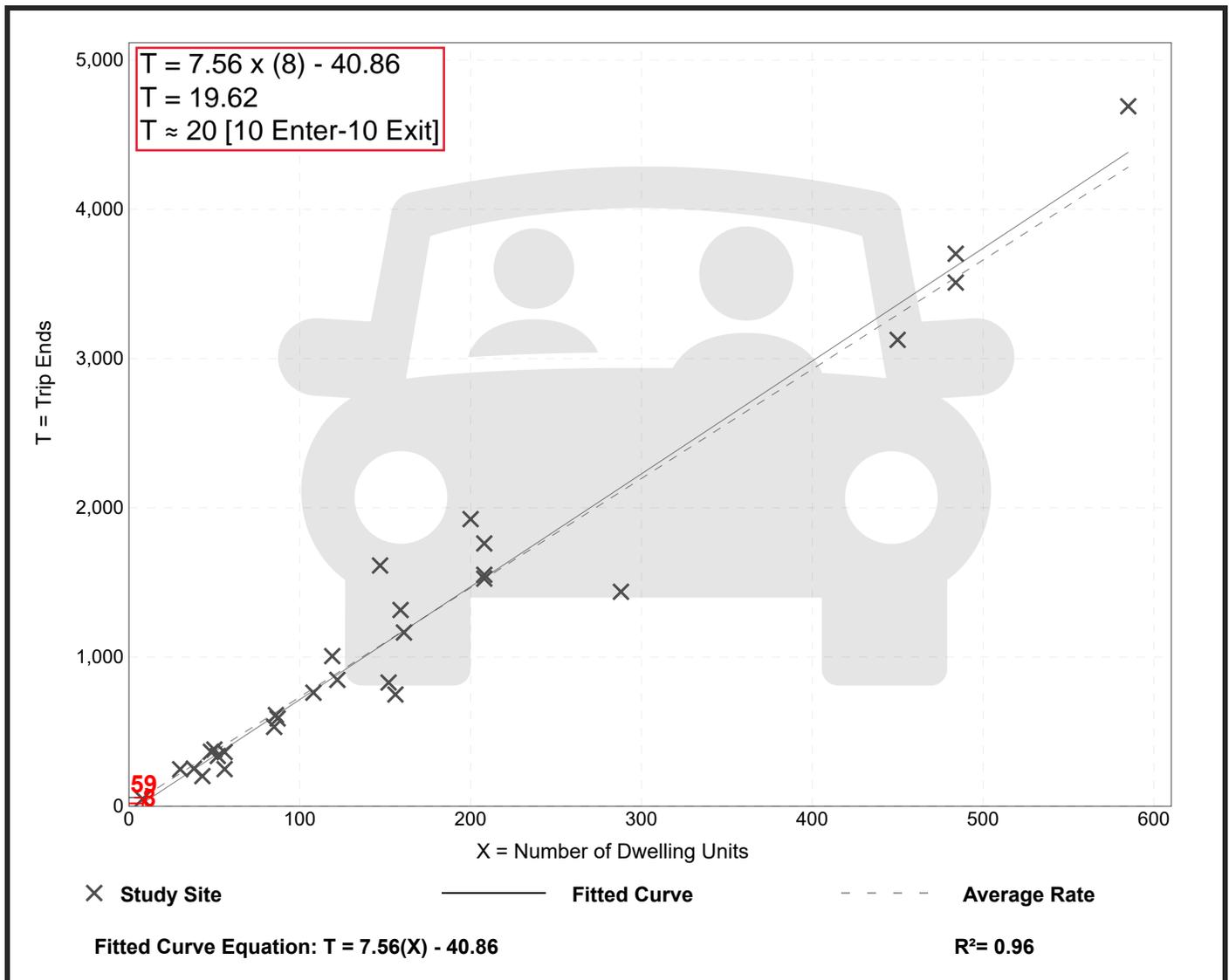
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 29
Avg. Num. of Dwelling Units: 168
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 7.32 | 4.45 - 10.97 | 1.31 |

Data Plot and Equation



Multifamily Housing (Low-Rise) (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 42

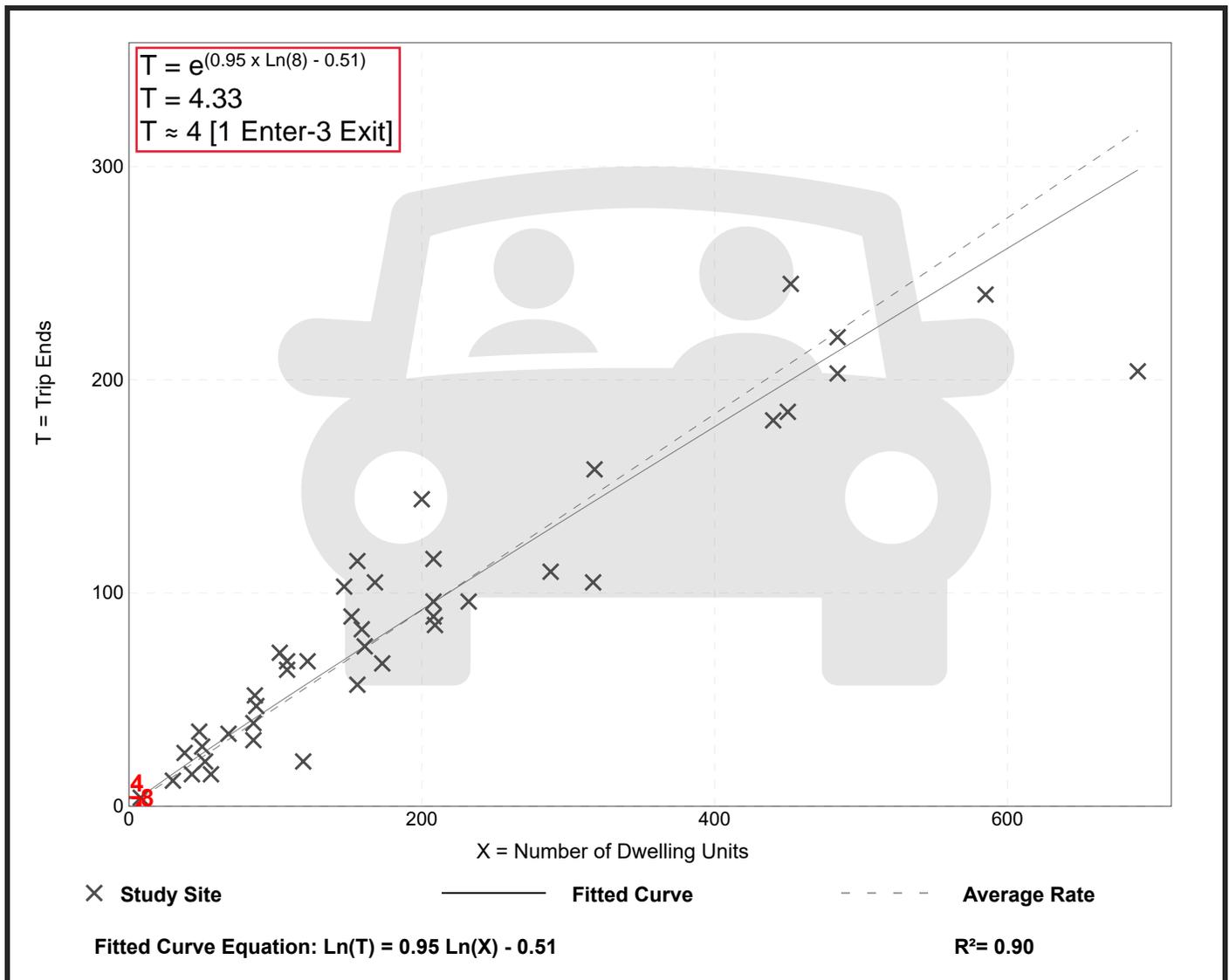
Avg. Num. of Dwelling Units: 199

Directional Distribution: 23% entering, 77% exiting

Vehicle Trip Generation per Dwelling Unit

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 0.46 | 0.18 - 0.74 | 0.12 |

Data Plot and Equation



Multifamily Housing (Low-Rise) (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 50

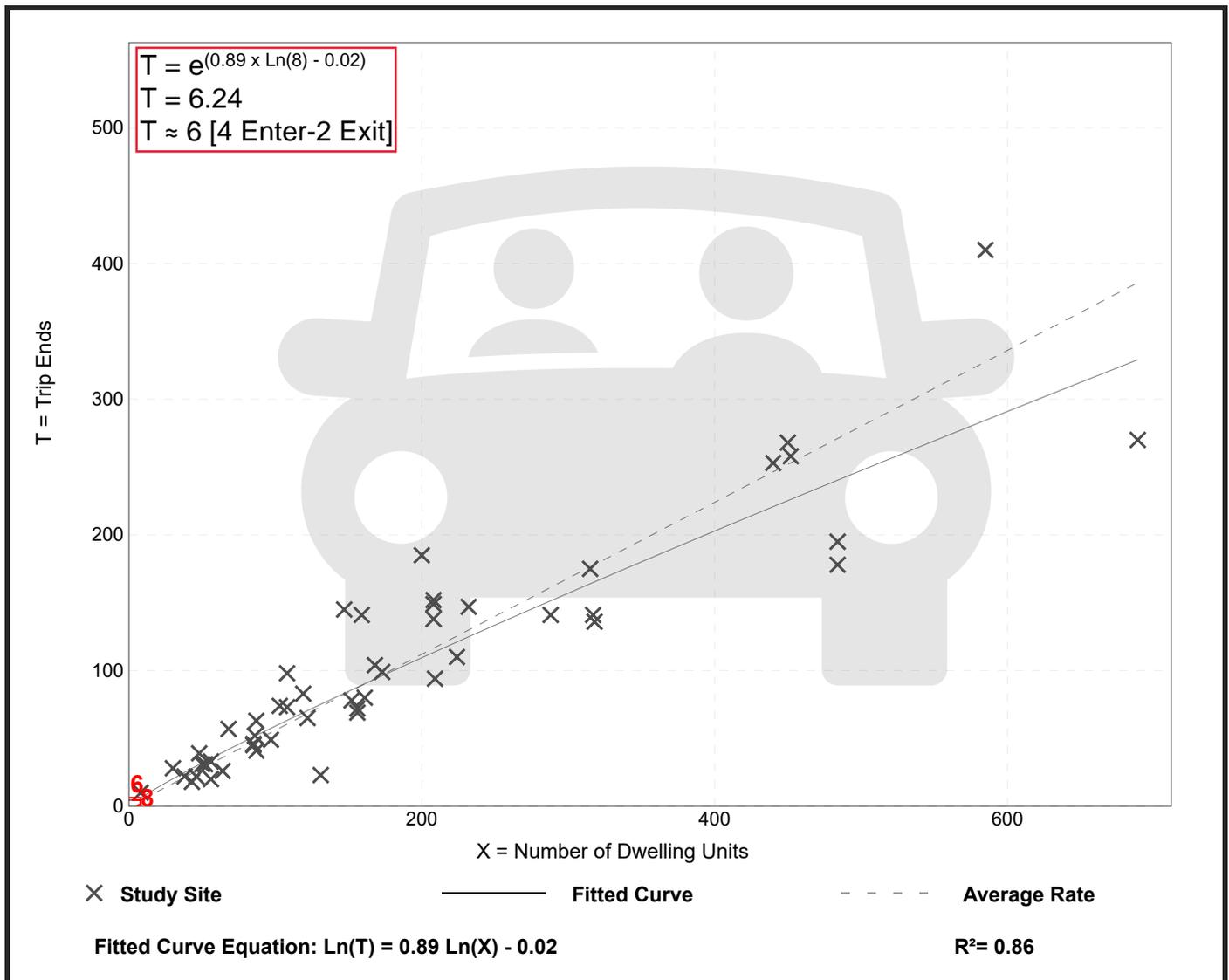
Avg. Num. of Dwelling Units: 187

Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 0.56 | 0.18 - 1.25 | 0.16 |

Data Plot and Equation



Single-Family Detached Housing (210)

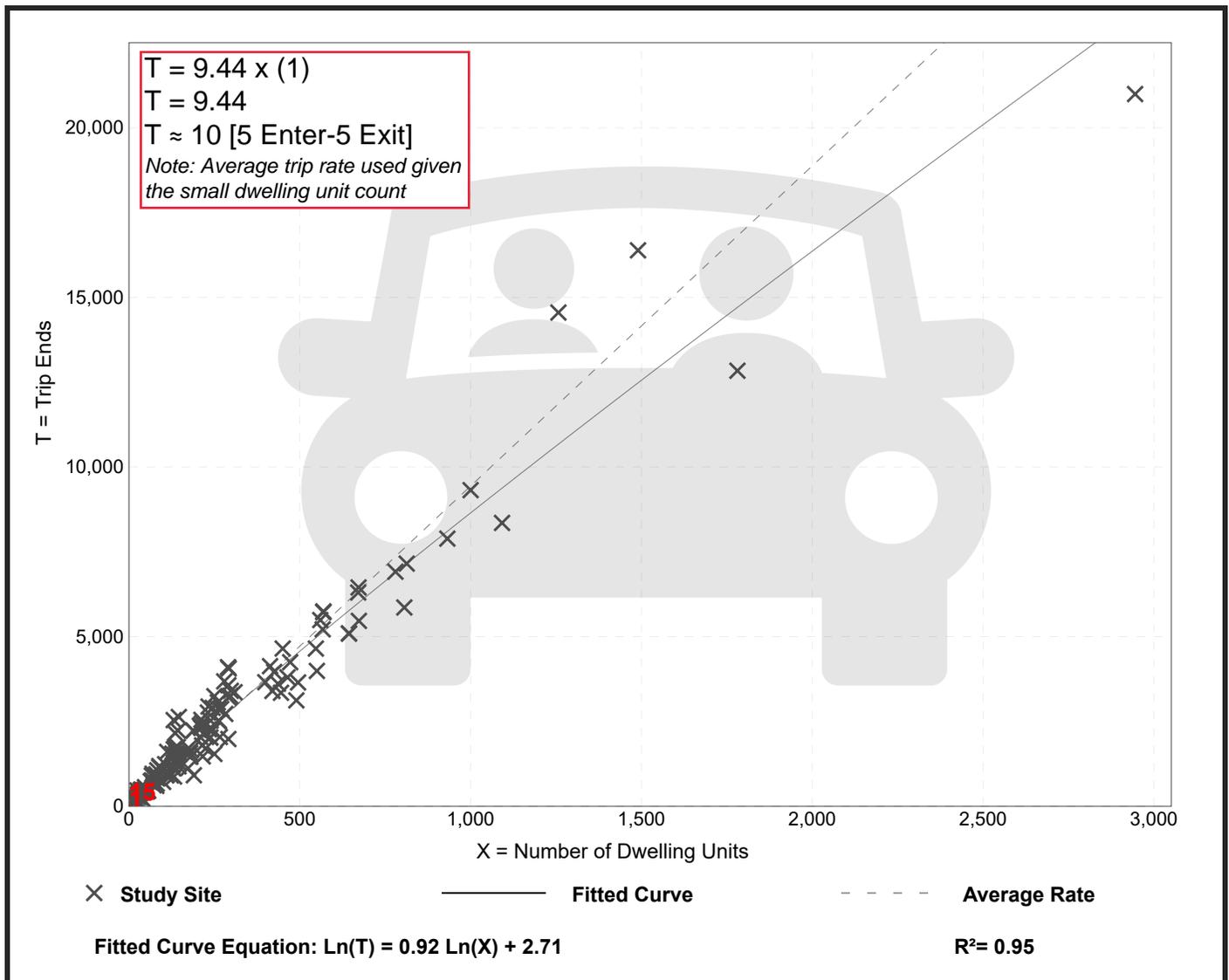
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 159
Avg. Num. of Dwelling Units: 264
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 9.44 | 4.81 - 19.39 | 2.10 |

Data Plot and Equation



Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 173

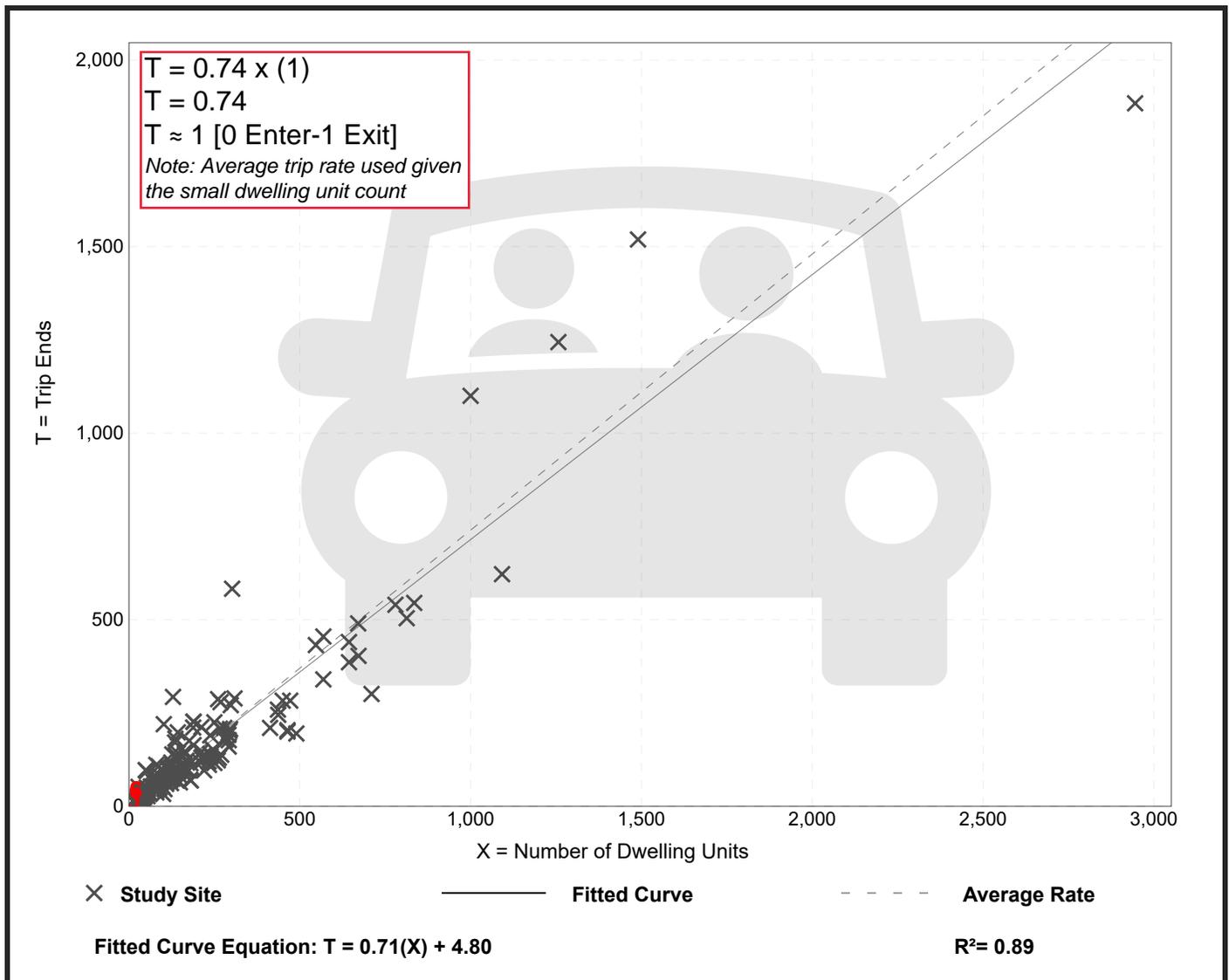
Avg. Num. of Dwelling Units: 219

Directional Distribution: 25% entering, 75% exiting

Vehicle Trip Generation per Dwelling Unit

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 0.74 | 0.33 - 2.27 | 0.27 |

Data Plot and Equation



Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 190

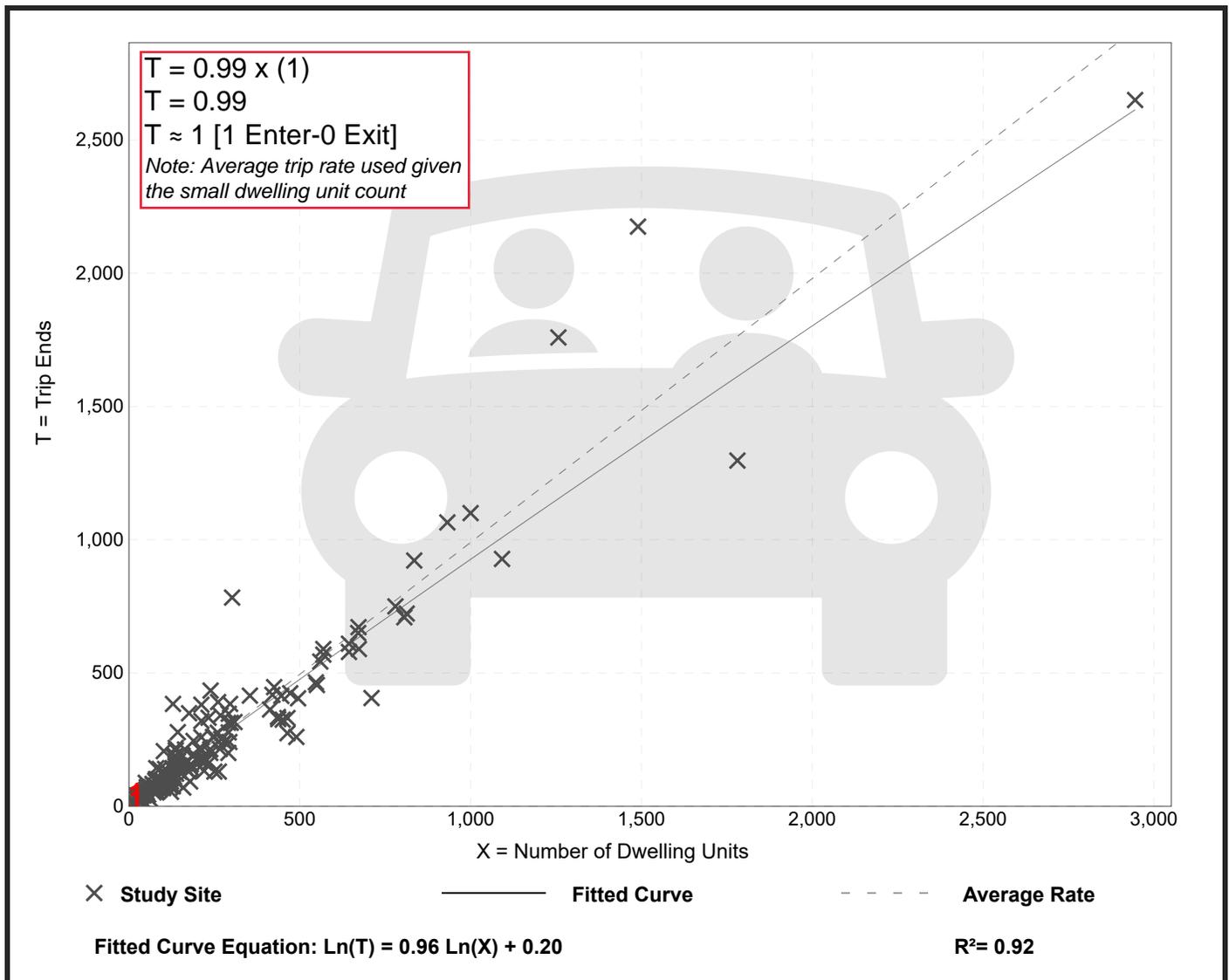
Avg. Num. of Dwelling Units: 242

Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 0.99 | 0.44 - 2.98 | 0.31 |

Data Plot and Equation



Shopping Center (820)

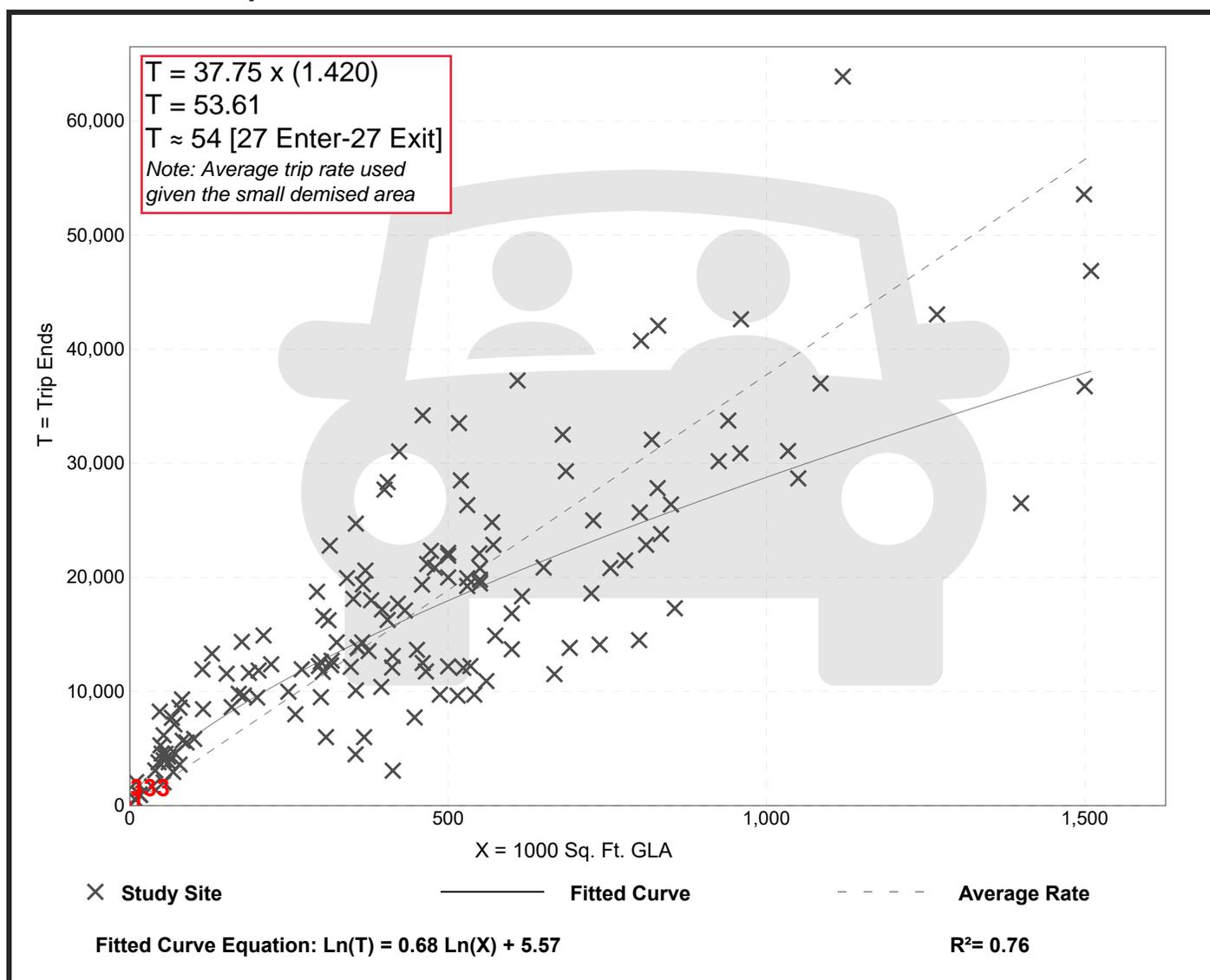
Vehicle Trip Ends vs: 1000 Sq. Ft. GLA
On a: Weekday

Setting/Location: General Urban/Suburban
 Number of Studies: 147
 Avg. 1000 Sq. Ft. GLA: 453
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 37.75 | 7.42 - 207.98 | 16.41 |

Data Plot and Equation



Shopping Center (820)

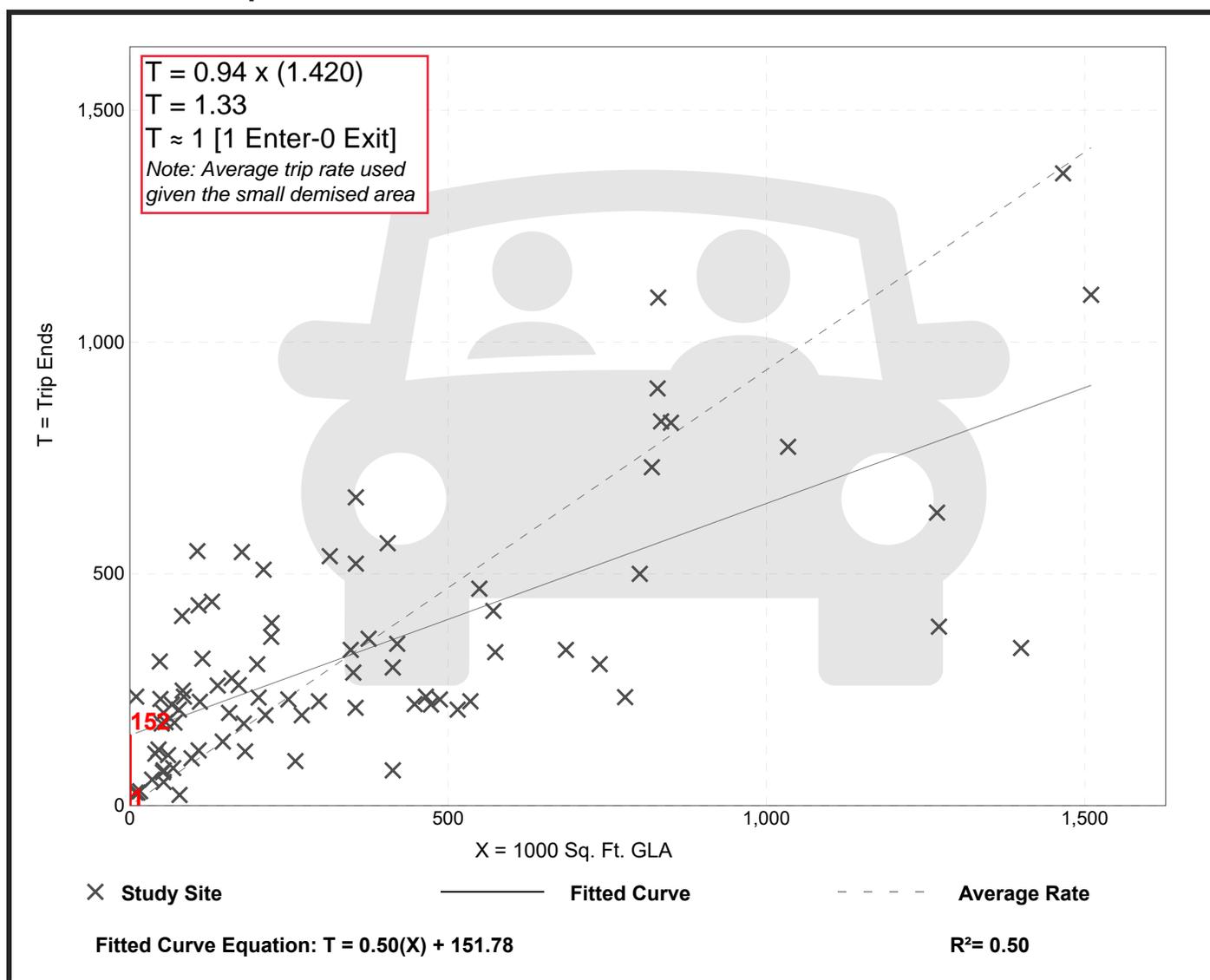
Vehicle Trip Ends vs: 1000 Sq. Ft. GLA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban
 Number of Studies: 84
 Avg. 1000 Sq. Ft. GLA: 351
 Directional Distribution: 62% entering, 38% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 0.94 | 0.18 - 23.74 | 0.87 |

Data Plot and Equation



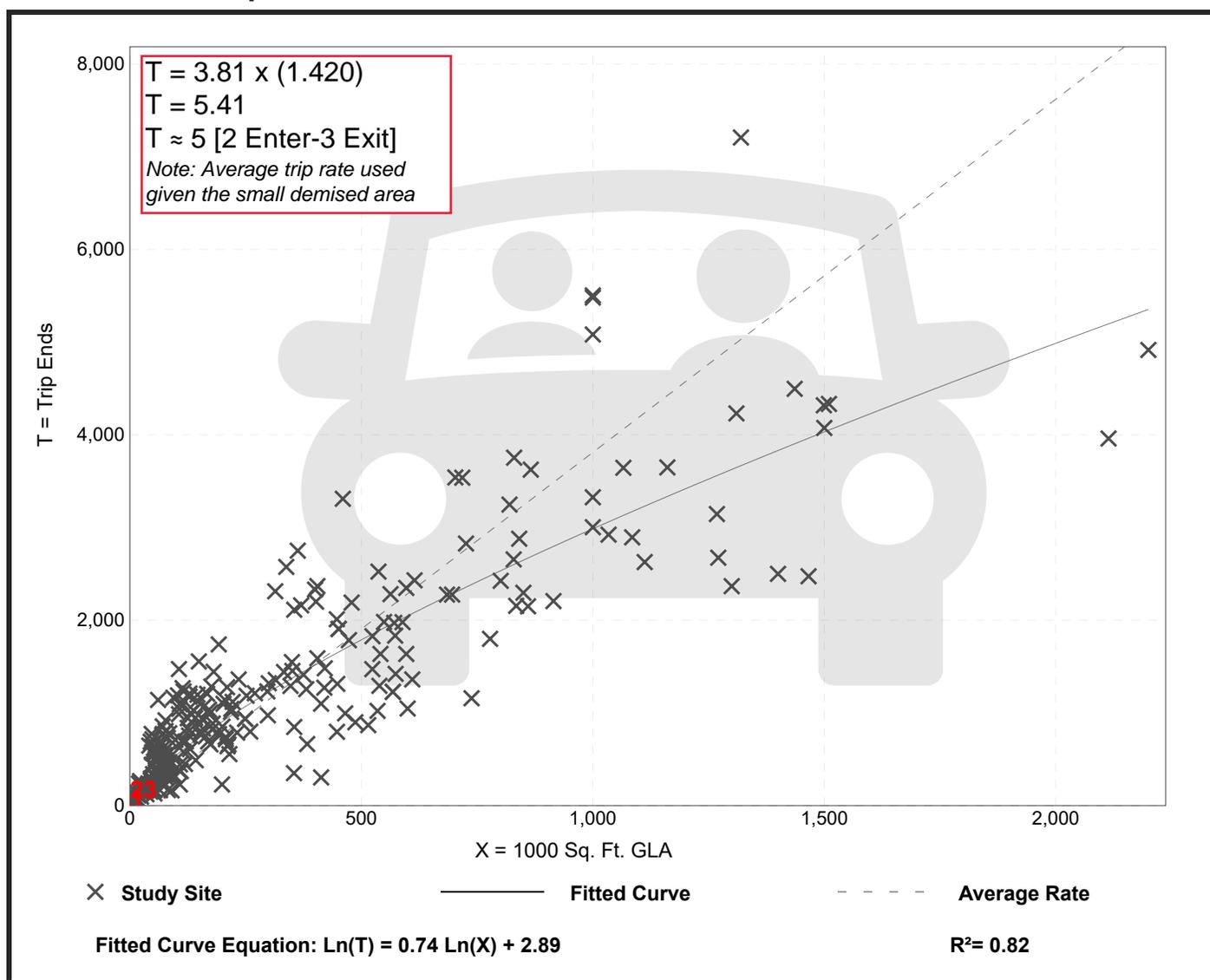
Shopping Center (820)

Vehicle Trip Ends vs: 1000 Sq. Ft. GLA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 261
 Avg. 1000 Sq. Ft. GLA: 327
 Directional Distribution: 48% entering, 52% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 3.81 | 0.74 - 18.69 | 2.04 |

Data Plot and Equation



High-Turnover (Sit-Down) Restaurant (932)

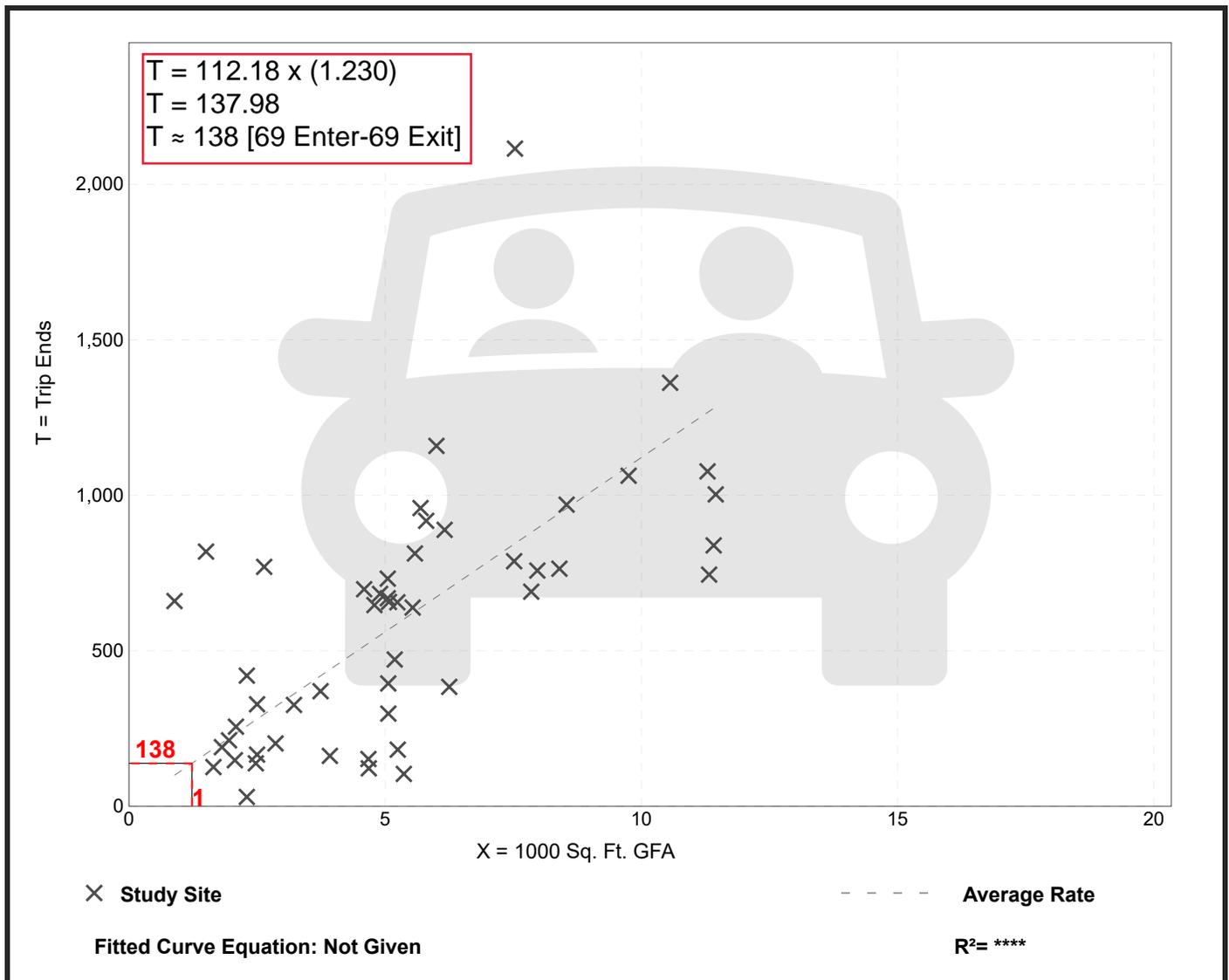
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 50
Avg. 1000 Sq. Ft. GFA: 5
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 112.18 | 13.04 - 742.41 | 72.51 |

Data Plot and Equation



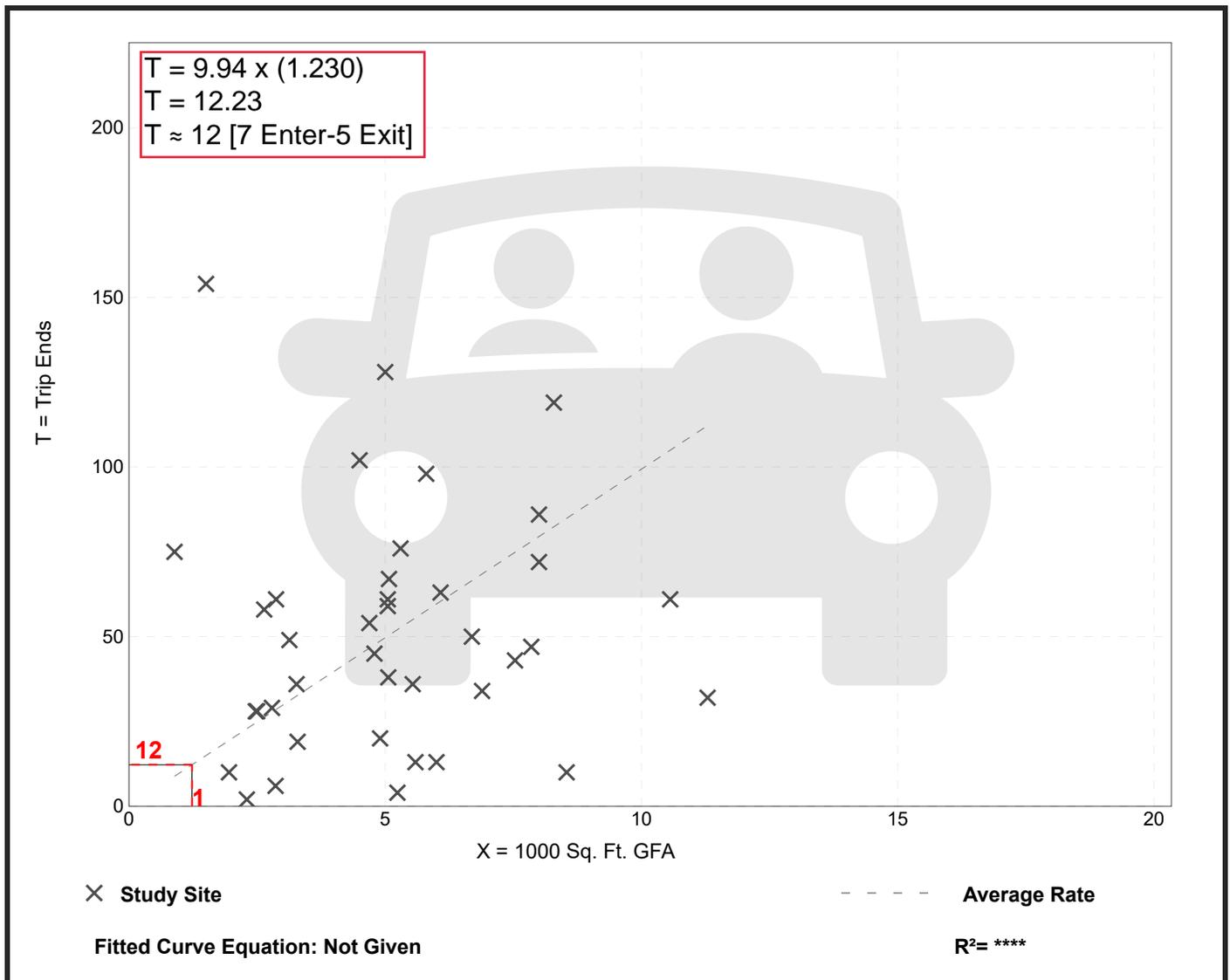
High-Turnover (Sit-Down) Restaurant (932)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 39
 Avg. 1000 Sq. Ft. GFA: 5
 Directional Distribution: 55% entering, 45% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 9.94 | 0.76 - 102.39 | 11.33 |

Data Plot and Equation



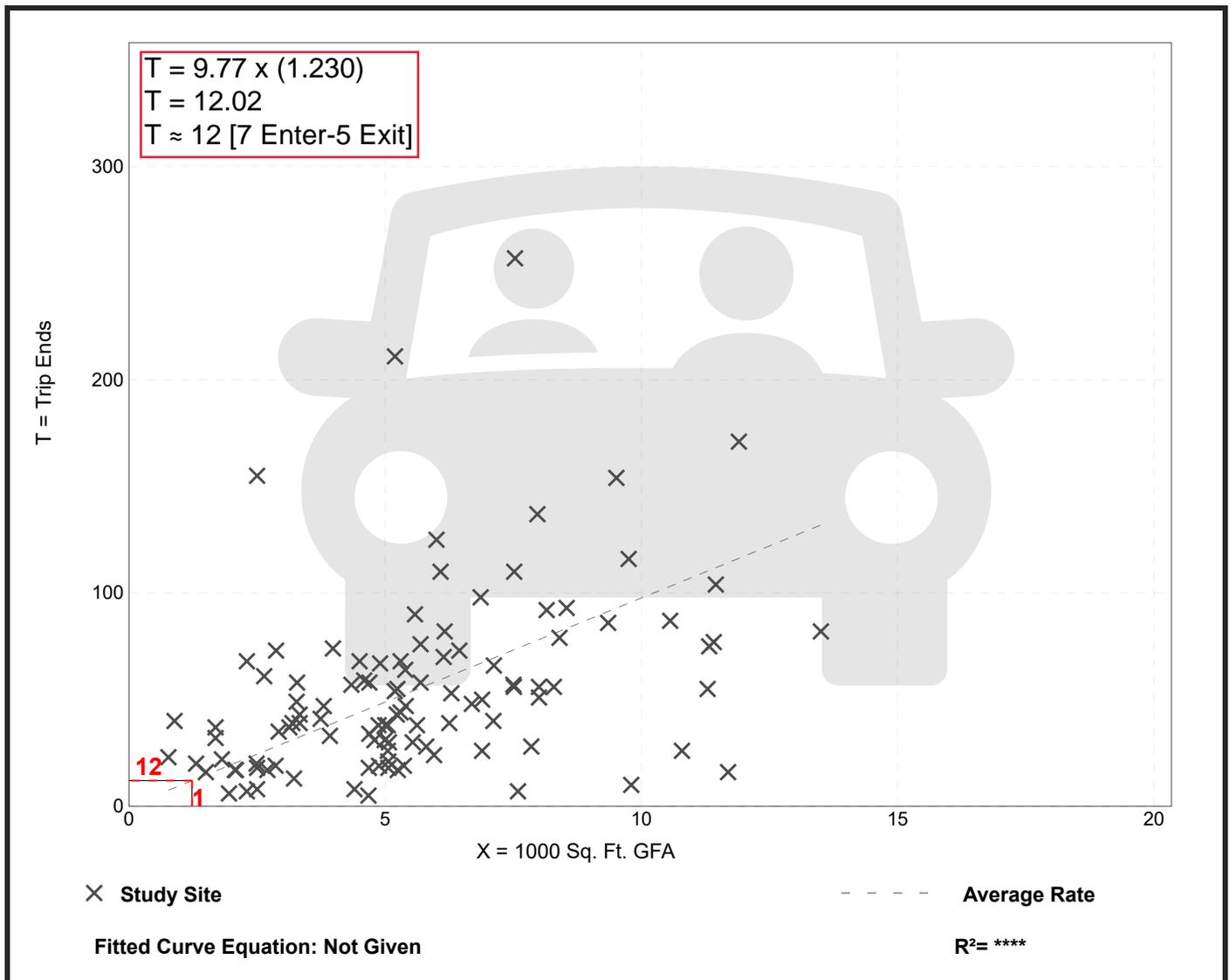
High-Turnover (Sit-Down) Restaurant (932)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 107
 Avg. 1000 Sq. Ft. GFA: 6
 Directional Distribution: 62% entering, 38% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

| Average Rate | Range of Rates | Standard Deviation |
|--------------|----------------|--------------------|
| 9.77 | 0.92 - 62.00 | 7.37 |

Data Plot and Equation



CAPACITY ANALYSIS WORKSHEETS

NH Route 1A at Sagamore Grove
Sagamore Grove at the West Project Site Driveway
Sagamore Grove at the East Project Site Driveway



NH Route 1A at Sagamore Grove



2021 Existing Weekday Morning Peak Hour
1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.1 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | TT | | TT | | | TT |
| Traffic Vol, veh/h | 2 | 2 | 315 | 0 | 1 | 301 |
| Future Vol, veh/h | 2 | 2 | 315 | 0 | 1 | 301 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 50 | 50 | 89 | 89 | 94 | 94 |
| Heavy Vehicles, % | 0 | 0 | 1 | 0 | 0 | 2 |
| Mvmt Flow | 4 | 4 | 354 | 0 | 1 | 320 |

| Major/Minor | Minor1 | Major1 | Major2 | | |
|----------------------|--------|--------|--------|---|------|
| Conflicting Flow All | 676 | 354 | 0 | 0 | 354 |
| Stage 1 | 354 | - | - | - | - |
| Stage 2 | 322 | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 |
| Pot Cap-1 Maneuver | 422 | 694 | - | - | 1216 |
| Stage 1 | 715 | - | - | - | - |
| Stage 2 | 739 | - | - | - | - |
| Platoon blocked, % | | | - | - | - |
| Mov Cap-1 Maneuver | 422 | 694 | - | - | 1216 |
| Mov Cap-2 Maneuver | 422 | - | - | - | - |
| Stage 1 | 715 | - | - | - | - |
| Stage 2 | 738 | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|----|----|----|
| HCM Control Delay, s | 12 | 0 | 0 |
| HCM LOS | B | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 525 | 1216 |
| HCM Lane V/C Ratio | - | - | 0.015 | 0.001 |
| HCM Control Delay (s) | - | - | 12 | 8 |
| HCM Lane LOS | - | - | B | A |
| HCM 95th %tile Q(veh) | - | - | 0 | 0 |

2021 Existing Weekday Evening Peak Hour
1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.1 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | W | R | T | R | L | T |
| Traffic Vol, veh/h | 2 | 1 | 355 | 1 | 2 | 406 |
| Future Vol, veh/h | 2 | 1 | 355 | 1 | 2 | 406 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 38 | 38 | 94 | 94 | 92 | 92 |
| Heavy Vehicles, % | 0 | 0 | 0 | 0 | 0 | 1 |
| Mvmt Flow | 5 | 3 | 378 | 1 | 2 | 441 |

| Major/Minor | Minor1 | Major1 | Major2 | | | |
|----------------------|--------|--------|--------|---|------|---|
| Conflicting Flow All | 824 | 379 | 0 | 0 | 379 | 0 |
| Stage 1 | 379 | - | - | - | - | - |
| Stage 2 | 445 | - | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 | - |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 | - |
| Pot Cap-1 Maneuver | 346 | 672 | - | - | 1191 | - |
| Stage 1 | 696 | - | - | - | - | - |
| Stage 2 | 650 | - | - | - | - | - |
| Platoon blocked, % | | | - | - | - | - |
| Mov Cap-1 Maneuver | 345 | 672 | - | - | 1191 | - |
| Mov Cap-2 Maneuver | 345 | - | - | - | - | - |
| Stage 1 | 696 | - | - | - | - | - |
| Stage 2 | 649 | - | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|------|----|----|
| HCM Control Delay, s | 13.9 | 0 | 0 |
| HCM LOS | B | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 412 | 1191 |
| HCM Lane V/C Ratio | - | - | 0.019 | 0.002 |
| HCM Control Delay (s) | - | - | 13.9 | 8 |
| HCM Lane LOS | - | - | B | A |
| HCM 95th %tile Q(veh) | - | - | 0.1 | 0 |

2022 No Build Weekday Morning Peak Hour
1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.1 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | TT | | TT | | | TT |
| Traffic Vol, veh/h | 2 | 2 | 318 | 0 | 1 | 304 |
| Future Vol, veh/h | 2 | 2 | 318 | 0 | 1 | 304 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 50 | 50 | 89 | 89 | 94 | 94 |
| Heavy Vehicles, % | 0 | 0 | 1 | 0 | 0 | 2 |
| Mvmt Flow | 4 | 4 | 357 | 0 | 1 | 323 |

| Major/Minor | Minor1 | Major1 | Major2 | | | |
|----------------------|--------|--------|--------|---|------|---|
| Conflicting Flow All | 682 | 357 | 0 | 0 | 357 | 0 |
| Stage 1 | 357 | - | - | - | - | - |
| Stage 2 | 325 | - | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 | - |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 | - |
| Pot Cap-1 Maneuver | 419 | 692 | - | - | 1213 | - |
| Stage 1 | 713 | - | - | - | - | - |
| Stage 2 | 737 | - | - | - | - | - |
| Platoon blocked, % | | | - | - | | - |
| Mov Cap-1 Maneuver | 419 | 692 | - | - | 1213 | - |
| Mov Cap-2 Maneuver | 419 | - | - | - | - | - |
| Stage 1 | 713 | - | - | - | - | - |
| Stage 2 | 736 | - | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|----|----|----|
| HCM Control Delay, s | 12 | 0 | 0 |
| HCM LOS | B | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 522 | 1213 |
| HCM Lane V/C Ratio | - | - | 0.015 | 0.001 |
| HCM Control Delay (s) | - | - | 12 | 8 |
| HCM Lane LOS | - | - | B | A |
| HCM 95th %tile Q(veh) | - | - | 0 | 0 |

2022 No Build Weekday Evening Peak Hour
1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.1 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | TT | | TT | | | TT |
| Traffic Vol, veh/h | 2 | 1 | 359 | 1 | 2 | 410 |
| Future Vol, veh/h | 2 | 1 | 359 | 1 | 2 | 410 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 38 | 38 | 94 | 94 | 92 | 92 |
| Heavy Vehicles, % | 0 | 0 | 0 | 0 | 0 | 1 |
| Mvmt Flow | 5 | 3 | 382 | 1 | 2 | 446 |

| Major/Minor | Minor1 | Major1 | Major2 | | |
|----------------------|--------|--------|--------|---|------|
| Conflicting Flow All | 833 | 383 | 0 | 0 | 383 |
| Stage 1 | 383 | - | - | - | - |
| Stage 2 | 450 | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 |
| Pot Cap-1 Maneuver | 341 | 669 | - | - | 1187 |
| Stage 1 | 694 | - | - | - | - |
| Stage 2 | 647 | - | - | - | - |
| Platoon blocked, % | | | - | - | - |
| Mov Cap-1 Maneuver | 340 | 669 | - | - | 1187 |
| Mov Cap-2 Maneuver | 340 | - | - | - | - |
| Stage 1 | 694 | - | - | - | - |
| Stage 2 | 646 | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|----|----|----|
| HCM Control Delay, s | 14 | 0 | 0 |
| HCM LOS | B | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 407 | 1187 |
| HCM Lane V/C Ratio | - | - | 0.019 | 0.002 |
| HCM Control Delay (s) | - | - | 14 | 8 |
| HCM Lane LOS | - | - | B | A |
| HCM 95th %tile Q(veh) | - | - | 0.1 | 0 |

2022 Build Weekday Morning Peak Hour
 1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.3 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | W | R | T | R | L | T |
| Traffic Vol, veh/h | 3 | 4 | 318 | 0 | 2 | 304 |
| Future Vol, veh/h | 3 | 4 | 318 | 0 | 2 | 304 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 50 | 50 | 89 | 89 | 94 | 94 |
| Heavy Vehicles, % | 0 | 0 | 1 | 0 | 0 | 2 |
| Mvmt Flow | 6 | 8 | 357 | 0 | 2 | 323 |

| Major/Minor | Minor1 | Major1 | Major2 | | | |
|----------------------|--------|--------|--------|---|------|---|
| Conflicting Flow All | 684 | 357 | 0 | 0 | 357 | 0 |
| Stage 1 | 357 | - | - | - | - | - |
| Stage 2 | 327 | - | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 | - |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 | - |
| Pot Cap-1 Maneuver | 417 | 692 | - | - | 1213 | - |
| Stage 1 | 713 | - | - | - | - | - |
| Stage 2 | 735 | - | - | - | - | - |
| Platoon blocked, % | | | - | - | - | - |
| Mov Cap-1 Maneuver | 416 | 692 | - | - | 1213 | - |
| Mov Cap-2 Maneuver | 416 | - | - | - | - | - |
| Stage 1 | 713 | - | - | - | - | - |
| Stage 2 | 734 | - | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|------|----|-----|
| HCM Control Delay, s | 11.9 | 0 | 0.1 |
| HCM LOS | B | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 539 | 1213 |
| HCM Lane V/C Ratio | - | - | 0.026 | 0.002 |
| HCM Control Delay (s) | - | - | 11.9 | 8 |
| HCM Lane LOS | - | - | B | A |
| HCM 95th %tile Q(veh) | - | - | 0.1 | 0 |

2022 Build Weekday Evening Peak Hour
 1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.3 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | W | R | T | R | L | T |
| Traffic Vol, veh/h | 3 | 2 | 359 | 3 | 4 | 410 |
| Future Vol, veh/h | 3 | 2 | 359 | 3 | 4 | 410 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 38 | 38 | 94 | 94 | 92 | 92 |
| Heavy Vehicles, % | 0 | 0 | 0 | 0 | 0 | 1 |
| Mvmt Flow | 8 | 5 | 382 | 3 | 4 | 446 |

| Major/Minor | Minor1 | Major1 | Major2 | | |
|----------------------|--------|--------|--------|---|------|
| Conflicting Flow All | 838 | 384 | 0 | 0 | 385 |
| Stage 1 | 384 | - | - | - | - |
| Stage 2 | 454 | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 |
| Pot Cap-1 Maneuver | 339 | 668 | - | - | 1185 |
| Stage 1 | 693 | - | - | - | - |
| Stage 2 | 644 | - | - | - | - |
| Platoon blocked, % | | | - | - | - |
| Mov Cap-1 Maneuver | 338 | 668 | - | - | 1185 |
| Mov Cap-2 Maneuver | 338 | - | - | - | - |
| Stage 1 | 693 | - | - | - | - |
| Stage 2 | 641 | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|------|----|-----|
| HCM Control Delay, s | 13.8 | 0 | 0.1 |
| HCM LOS | B | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 421 | 1185 |
| HCM Lane V/C Ratio | - | - | 0.031 | 0.004 |
| HCM Control Delay (s) | - | - | 13.8 | 8 |
| HCM Lane LOS | - | - | B | A |
| HCM 95th %tile Q(veh) | - | - | 0.1 | 0 |

2032 No Build Weekday Morning Peak Hour
1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.1 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | | | | | | |
| Traffic Vol, veh/h | 2 | 2 | 351 | 0 | 1 | 336 |
| Future Vol, veh/h | 2 | 2 | 351 | 0 | 1 | 336 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 50 | 50 | 89 | 89 | 94 | 94 |
| Heavy Vehicles, % | 0 | 0 | 1 | 0 | 0 | 2 |
| Mvmt Flow | 4 | 4 | 394 | 0 | 1 | 357 |

| Major/Minor | Minor1 | Major1 | Major2 | | | |
|----------------------|--------|--------|--------|---|------|---|
| Conflicting Flow All | 753 | 394 | 0 | 0 | 394 | 0 |
| Stage 1 | 394 | - | - | - | - | - |
| Stage 2 | 359 | - | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 | - |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 | - |
| Pot Cap-1 Maneuver | 380 | 659 | - | - | 1176 | - |
| Stage 1 | 686 | - | - | - | - | - |
| Stage 2 | 711 | - | - | - | - | - |
| Platoon blocked, % | | | - | - | - | - |
| Mov Cap-1 Maneuver | 380 | 659 | - | - | 1176 | - |
| Mov Cap-2 Maneuver | 380 | - | - | - | - | - |
| Stage 1 | 686 | - | - | - | - | - |
| Stage 2 | 710 | - | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|------|----|----|
| HCM Control Delay, s | 12.6 | 0 | 0 |
| HCM LOS | B | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 482 | 1176 |
| HCM Lane V/C Ratio | - | - | 0.017 | 0.001 |
| HCM Control Delay (s) | - | - | 12.6 | 8.1 |
| HCM Lane LOS | - | - | B | A |
| HCM 95th %tile Q(veh) | - | - | 0.1 | 0 |

2032 No Build Weekday Evening Peak Hour
1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.1 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | W | R | T | R | L | T |
| Traffic Vol, veh/h | 2 | 1 | 396 | 1 | 2 | 453 |
| Future Vol, veh/h | 2 | 1 | 396 | 1 | 2 | 453 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 38 | 38 | 94 | 94 | 92 | 92 |
| Heavy Vehicles, % | 0 | 0 | 0 | 0 | 0 | 1 |
| Mvmt Flow | 5 | 3 | 421 | 1 | 2 | 492 |

| Major/Minor | Minor1 | Major1 | Major2 | | | |
|----------------------|--------|--------|--------|---|------|---|
| Conflicting Flow All | 918 | 422 | 0 | 0 | 422 | 0 |
| Stage 1 | 422 | - | - | - | - | - |
| Stage 2 | 496 | - | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 | - |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 | - |
| Pot Cap-1 Maneuver | 304 | 636 | - | - | 1148 | - |
| Stage 1 | 666 | - | - | - | - | - |
| Stage 2 | 616 | - | - | - | - | - |
| Platoon blocked, % | | | - | - | - | - |
| Mov Cap-1 Maneuver | 303 | 636 | - | - | 1148 | - |
| Mov Cap-2 Maneuver | 303 | - | - | - | - | - |
| Stage 1 | 666 | - | - | - | - | - |
| Stage 2 | 615 | - | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|----|----|----|
| HCM Control Delay, s | 15 | 0 | 0 |
| HCM LOS | C | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 367 | 1148 |
| HCM Lane V/C Ratio | - | - | 0.022 | 0.002 |
| HCM Control Delay (s) | - | - | 15 | 8.1 |
| HCM Lane LOS | - | - | C | A |
| HCM 95th %tile Q(veh) | - | - | 0.1 | 0 |

2032 Build Weekday Morning Peak Hour
 1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.2 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | W | R | T | R | L | T |
| Traffic Vol, veh/h | 3 | 4 | 351 | 0 | 2 | 336 |
| Future Vol, veh/h | 3 | 4 | 351 | 0 | 2 | 336 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 50 | 50 | 89 | 89 | 94 | 94 |
| Heavy Vehicles, % | 0 | 0 | 1 | 0 | 0 | 2 |
| Mvmt Flow | 6 | 8 | 394 | 0 | 2 | 357 |

| Major/Minor | Minor1 | Major1 | Major2 | | | |
|----------------------|--------|--------|--------|---|------|---|
| Conflicting Flow All | 755 | 394 | 0 | 0 | 394 | 0 |
| Stage 1 | 394 | - | - | - | - | - |
| Stage 2 | 361 | - | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 | - |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 | - |
| Pot Cap-1 Maneuver | 379 | 659 | - | - | 1176 | - |
| Stage 1 | 686 | - | - | - | - | - |
| Stage 2 | 710 | - | - | - | - | - |
| Platoon blocked, % | | | - | - | | - |
| Mov Cap-1 Maneuver | 378 | 659 | - | - | 1176 | - |
| Mov Cap-2 Maneuver | 378 | - | - | - | - | - |
| Stage 1 | 686 | - | - | - | - | - |
| Stage 2 | 709 | - | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|------|----|----|
| HCM Control Delay, s | 12.4 | 0 | 0 |
| HCM LOS | B | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 500 | 1176 |
| HCM Lane V/C Ratio | - | - | 0.028 | 0.002 |
| HCM Control Delay (s) | - | - | 12.4 | 8.1 |
| HCM Lane LOS | - | - | B | A |
| HCM 95th %tile Q(veh) | - | - | 0.1 | 0 |

2032 Build Weekday Evening Peak Hour
 1: NH Route 1A & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.3 | | | | | |
| Movement | WBL | WBR | NBT | NBR | SBL | SBT |
| Lane Configurations | W | R | T | R | L | T |
| Traffic Vol, veh/h | 3 | 2 | 396 | 3 | 4 | 453 |
| Future Vol, veh/h | 3 | 2 | 396 | 3 | 4 | 453 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Stop | Stop | Free | Free | Free | Free |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | 0 | - | - | - | - | - |
| Veh in Median Storage, # | 0 | - | 0 | - | - | 0 |
| Grade, % | 0 | - | 0 | - | - | 0 |
| Peak Hour Factor | 38 | 38 | 94 | 94 | 92 | 92 |
| Heavy Vehicles, % | 0 | 0 | 0 | 0 | 0 | 1 |
| Mvmt Flow | 8 | 5 | 421 | 3 | 4 | 492 |

| Major/Minor | Minor1 | Major1 | Major2 | | | |
|----------------------|--------|--------|--------|---|------|---|
| Conflicting Flow All | 923 | 423 | 0 | 0 | 424 | 0 |
| Stage 1 | 423 | - | - | - | - | - |
| Stage 2 | 500 | - | - | - | - | - |
| Critical Hdwy | 6.4 | 6.2 | - | - | 4.1 | - |
| Critical Hdwy Stg 1 | 5.4 | - | - | - | - | - |
| Critical Hdwy Stg 2 | 5.4 | - | - | - | - | - |
| Follow-up Hdwy | 3.5 | 3.3 | - | - | 2.2 | - |
| Pot Cap-1 Maneuver | 302 | 635 | - | - | 1146 | - |
| Stage 1 | 665 | - | - | - | - | - |
| Stage 2 | 613 | - | - | - | - | - |
| Platoon blocked, % | | | - | - | - | - |
| Mov Cap-1 Maneuver | 300 | 635 | - | - | 1146 | - |
| Mov Cap-2 Maneuver | 300 | - | - | - | - | - |
| Stage 1 | 665 | - | - | - | - | - |
| Stage 2 | 610 | - | - | - | - | - |

| Approach | WB | NB | SB |
|----------------------|------|----|-----|
| HCM Control Delay, s | 14.8 | 0 | 0.1 |
| HCM LOS | B | | |

| Minor Lane/Major Mvmt | NBT | NBRWBLn1 | SBL | SBT |
|-----------------------|-----|----------|-------|-------|
| Capacity (veh/h) | - | - | 380 | 1146 |
| HCM Lane V/C Ratio | - | - | 0.035 | 0.004 |
| HCM Control Delay (s) | - | - | 14.8 | 8.2 |
| HCM Lane LOS | - | - | B | A |
| HCM 95th %tile Q(veh) | - | - | 0.1 | 0 |

Sagamore Grove at the West Project Site Driveway



2022 Build Weekday Morning Peak Hour
 2: West Project Site Driveway & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 1.9 | | | | | |
| Movement | EBT | EBR | WBL | WBT | NBL | NBR |
| Lane Configurations | ↔ | | | ↔ | ↔ | |
| Traffic Vol, veh/h | 1 | 1 | 0 | 5 | 2 | 0 |
| Future Vol, veh/h | 1 | 1 | 0 | 5 | 2 | 0 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Free | Free | Free | Free | Stop | Stop |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | - | - | - | - | 0 | - |
| Veh in Median Storage, # | 0 | - | - | 0 | 0 | - |
| Grade, % | 0 | - | - | 0 | 0 | - |
| Peak Hour Factor | 90 | 90 | 90 | 90 | 90 | 90 |
| Heavy Vehicles, % | 0 | 2 | 2 | 0 | 2 | 2 |
| Mvmt Flow | 1 | 1 | 0 | 6 | 2 | 0 |

| Major/Minor | Major1 | Major2 | Minor1 | | |
|----------------------|--------|--------|--------|---|-------|
| Conflicting Flow All | 0 | 0 | 2 | 0 | 8 |
| Stage 1 | - | - | - | - | 2 |
| Stage 2 | - | - | - | - | 6 |
| Critical Hdwy | - | - | 4.12 | - | 6.42 |
| Critical Hdwy Stg 1 | - | - | - | - | 5.42 |
| Critical Hdwy Stg 2 | - | - | - | - | 5.42 |
| Follow-up Hdwy | - | - | 2.218 | - | 3.518 |
| Pot Cap-1 Maneuver | - | - | 1620 | - | 1013 |
| Stage 1 | - | - | - | - | 1021 |
| Stage 2 | - | - | - | - | 1017 |
| Platoon blocked, % | - | - | - | - | - |
| Mov Cap-1 Maneuver | - | - | 1620 | - | 1013 |
| Mov Cap-2 Maneuver | - | - | - | - | 1013 |
| Stage 1 | - | - | - | - | 1021 |
| Stage 2 | - | - | - | - | 1017 |

| Approach | EB | WB | NB |
|----------------------|----|----|-----|
| HCM Control Delay, s | 0 | 0 | 8.6 |
| HCM LOS | | | A |

| Minor Lane/Major Mvmt | NBLn1 | EBT | EBR | WBL | WBT |
|-----------------------|-------|-----|-----|------|-----|
| Capacity (veh/h) | 1013 | - | - | 1620 | - |
| HCM Lane V/C Ratio | 0.002 | - | - | - | - |
| HCM Control Delay (s) | 8.6 | - | - | 0 | - |
| HCM Lane LOS | A | - | - | A | - |
| HCM 95th %tile Q(veh) | 0 | - | - | 0 | - |

2022 Build Weekday Evening Peak Hour
 2: West Project Site Driveway & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.7 | | | | | |
| Movement | EBT | EBR | WBL | WBT | NBL | NBR |
| Lane Configurations | | | | | | |
| Traffic Vol, veh/h | 4 | 3 | 0 | 4 | 1 | 0 |
| Future Vol, veh/h | 4 | 3 | 0 | 4 | 1 | 0 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Free | Free | Free | Free | Stop | Stop |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | - | - | - | - | 0 | - |
| Veh in Median Storage, # | 0 | - | - | 0 | 0 | - |
| Grade, % | 0 | - | - | 0 | 0 | - |
| Peak Hour Factor | 90 | 90 | 90 | 90 | 90 | 90 |
| Heavy Vehicles, % | 0 | 2 | 2 | 0 | 2 | 2 |
| Mvmt Flow | 4 | 3 | 0 | 4 | 1 | 0 |

| Major/Minor | Major1 | Major2 | Minor1 | Minor2 | Minor3 |
|----------------------|--------|--------|--------|--------|--------|
| Conflicting Flow All | 0 | 0 | 7 | 0 | 10 |
| Stage 1 | - | - | - | - | 6 |
| Stage 2 | - | - | - | - | 4 |
| Critical Hdwy | - | - | 4.12 | - | 6.42 |
| Critical Hdwy Stg 1 | - | - | - | - | 5.42 |
| Critical Hdwy Stg 2 | - | - | - | - | 5.42 |
| Follow-up Hdwy | - | - | 2.218 | - | 3.518 |
| Pot Cap-1 Maneuver | - | - | 1614 | - | 1010 |
| Stage 1 | - | - | - | - | 1017 |
| Stage 2 | - | - | - | - | 1019 |
| Platoon blocked, % | - | - | - | - | - |
| Mov Cap-1 Maneuver | - | - | 1614 | - | 1010 |
| Mov Cap-2 Maneuver | - | - | - | - | 1010 |
| Stage 1 | - | - | - | - | 1017 |
| Stage 2 | - | - | - | - | 1019 |

| Approach | EB | WB | NB |
|----------------------|----|----|-----|
| HCM Control Delay, s | 0 | 0 | 8.6 |
| HCM LOS | | | A |

| Minor Lane/Major Mvmt | NBLn1 | EBT | EBR | WBL | WBT |
|-----------------------|-------|-----|-----|------|-----|
| Capacity (veh/h) | 1010 | - | - | 1614 | - |
| HCM Lane V/C Ratio | 0.001 | - | - | - | - |
| HCM Control Delay (s) | 8.6 | - | - | 0 | - |
| HCM Lane LOS | A | - | - | A | - |
| HCM 95th %tile Q(veh) | 0 | - | - | 0 | - |

2032 Build Weekday Morning Peak Hour
 2: West Project Site Driveway & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 1.9 | | | | | |
| Movement | EBT | EBR | WBL | WBT | NBL | NBR |
| Lane Configurations | | | | | | |
| Traffic Vol, veh/h | 1 | 1 | 0 | 5 | 2 | 0 |
| Future Vol, veh/h | 1 | 1 | 0 | 5 | 2 | 0 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Free | Free | Free | Free | Stop | Stop |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | - | - | - | - | 0 | - |
| Veh in Median Storage, # | 0 | - | - | 0 | 0 | - |
| Grade, % | 0 | - | - | 0 | 0 | - |
| Peak Hour Factor | 90 | 90 | 90 | 90 | 90 | 90 |
| Heavy Vehicles, % | 0 | 2 | 2 | 0 | 2 | 2 |
| Mvmt Flow | 1 | 1 | 0 | 6 | 2 | 0 |

| Major/Minor | Major1 | Major2 | Minor1 | | |
|----------------------|--------|--------|--------|---|-------|
| Conflicting Flow All | 0 | 0 | 2 | 0 | 8 |
| Stage 1 | - | - | - | - | 2 |
| Stage 2 | - | - | - | - | 6 |
| Critical Hdwy | - | - | 4.12 | - | 6.42 |
| Critical Hdwy Stg 1 | - | - | - | - | 5.42 |
| Critical Hdwy Stg 2 | - | - | - | - | 5.42 |
| Follow-up Hdwy | - | - | 2.218 | - | 3.518 |
| Pot Cap-1 Maneuver | - | - | 1620 | - | 1013 |
| Stage 1 | - | - | - | - | 1021 |
| Stage 2 | - | - | - | - | 1017 |
| Platoon blocked, % | - | - | - | - | - |
| Mov Cap-1 Maneuver | - | - | 1620 | - | 1013 |
| Mov Cap-2 Maneuver | - | - | - | - | 1013 |
| Stage 1 | - | - | - | - | 1021 |
| Stage 2 | - | - | - | - | 1017 |

| Approach | EB | WB | NB |
|----------------------|----|----|-----|
| HCM Control Delay, s | 0 | 0 | 8.6 |
| HCM LOS | | | A |

| Minor Lane/Major Mvmt | NBLn1 | EBT | EBR | WBL | WBT |
|-----------------------|-------|-----|-----|------|-----|
| Capacity (veh/h) | 1013 | - | - | 1620 | - |
| HCM Lane V/C Ratio | 0.002 | - | - | - | - |
| HCM Control Delay (s) | 8.6 | - | - | 0 | - |
| HCM Lane LOS | A | - | - | A | - |
| HCM 95th %tile Q(veh) | 0 | - | - | 0 | - |

2032 Build Weekday Evening Peak Hour
 2: West Project Site Driveway & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 0.7 | | | | | |
| Movement | EBT | EBR | WBL | WBT | NBL | NBR |
| Lane Configurations | | | | | | |
| Traffic Vol, veh/h | 4 | 3 | 0 | 4 | 1 | 0 |
| Future Vol, veh/h | 4 | 3 | 0 | 4 | 1 | 0 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Free | Free | Free | Free | Stop | Stop |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | - | - | - | - | 0 | - |
| Veh in Median Storage, # | 0 | - | - | 0 | 0 | - |
| Grade, % | 0 | - | - | 0 | 0 | - |
| Peak Hour Factor | 90 | 90 | 90 | 90 | 90 | 90 |
| Heavy Vehicles, % | 0 | 2 | 2 | 0 | 2 | 2 |
| Mvmt Flow | 4 | 3 | 0 | 4 | 1 | 0 |

| Major/Minor | Major1 | Major2 | Minor1 | Minor2 | Minor3 |
|----------------------|--------|--------|--------|--------|--------|
| Conflicting Flow All | 0 | 0 | 7 | 0 | 10 |
| Stage 1 | - | - | - | - | 6 |
| Stage 2 | - | - | - | - | 4 |
| Critical Hdwy | - | - | 4.12 | - | 6.42 |
| Critical Hdwy Stg 1 | - | - | - | - | 5.42 |
| Critical Hdwy Stg 2 | - | - | - | - | 5.42 |
| Follow-up Hdwy | - | - | 2.218 | - | 3.518 |
| Pot Cap-1 Maneuver | - | - | 1614 | - | 1010 |
| Stage 1 | - | - | - | - | 1017 |
| Stage 2 | - | - | - | - | 1019 |
| Platoon blocked, % | - | - | - | - | - |
| Mov Cap-1 Maneuver | - | - | 1614 | - | 1010 |
| Mov Cap-2 Maneuver | - | - | - | - | 1010 |
| Stage 1 | - | - | - | - | 1017 |
| Stage 2 | - | - | - | - | 1019 |

| Approach | EB | WB | NB |
|----------------------|----|----|-----|
| HCM Control Delay, s | 0 | 0 | 8.6 |
| HCM LOS | | | A |

| Minor Lane/Major Mvmt | NBLn1 | EBT | EBR | WBL | WBT |
|-----------------------|-------|-----|-----|------|-----|
| Capacity (veh/h) | 1010 | - | - | 1614 | - |
| HCM Lane V/C Ratio | 0.001 | - | - | - | - |
| HCM Control Delay (s) | 8.6 | - | - | 0 | - |
| HCM Lane LOS | A | - | - | A | - |
| HCM 95th %tile Q(veh) | 0 | - | - | 0 | - |

Sagamore Grove at the East Project Site Driveway



2022 Build Weekday Morning Peak Hour
 3: East Project Site Driveway & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 1.4 | | | | | |
| Movement | EBT | EBR | WBL | WBT | NBL | NBR |
| Lane Configurations | ↔ | | | ↔ | ↔ | |
| Traffic Vol, veh/h | 1 | 0 | 0 | 4 | 1 | 0 |
| Future Vol, veh/h | 1 | 0 | 0 | 4 | 1 | 0 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Free | Free | Free | Free | Stop | Stop |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | - | - | - | - | 0 | - |
| Veh in Median Storage, # | 0 | - | - | 0 | 0 | - |
| Grade, % | 0 | - | - | 0 | 0 | - |
| Peak Hour Factor | 90 | 90 | 90 | 90 | 90 | 90 |
| Heavy Vehicles, % | 0 | 2 | 2 | 0 | 2 | 2 |
| Mvmt Flow | 1 | 0 | 0 | 4 | 1 | 0 |

| Major/Minor | Major1 | Major2 | Minor1 | Minor2 | Minor3 |
|----------------------|--------|--------|--------|--------|--------|
| Conflicting Flow All | 0 | 0 | 1 | 0 | 5 |
| Stage 1 | - | - | - | - | 1 |
| Stage 2 | - | - | - | - | 4 |
| Critical Hdwy | - | - | 4.12 | - | 6.42 |
| Critical Hdwy Stg 1 | - | - | - | - | 5.42 |
| Critical Hdwy Stg 2 | - | - | - | - | 5.42 |
| Follow-up Hdwy | - | - | 2.218 | - | 3.518 |
| Pot Cap-1 Maneuver | - | - | 1622 | - | 1017 |
| Stage 1 | - | - | - | - | 1022 |
| Stage 2 | - | - | - | - | 1019 |
| Platoon blocked, % | - | - | - | - | - |
| Mov Cap-1 Maneuver | - | - | 1622 | - | 1017 |
| Mov Cap-2 Maneuver | - | - | - | - | 1017 |
| Stage 1 | - | - | - | - | 1022 |
| Stage 2 | - | - | - | - | 1019 |

| Approach | EB | WB | NB |
|----------------------|----|----|-----|
| HCM Control Delay, s | 0 | 0 | 8.5 |
| HCM LOS | | | A |

| Minor Lane/Major Mvmt | NBLn1 | EBT | EBR | WBL | WBT |
|-----------------------|-------|-----|-----|------|-----|
| Capacity (veh/h) | 1017 | - | - | 1622 | - |
| HCM Lane V/C Ratio | 0.001 | - | - | - | - |
| HCM Control Delay (s) | 8.5 | - | - | 0 | - |
| HCM Lane LOS | A | - | - | A | - |
| HCM 95th %tile Q(veh) | 0 | - | - | 0 | - |

2022 Build Weekday Evening Peak Hour
 3: East Project Site Driveway & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 1.1 | | | | | |
| Movement | EBT | EBR | WBL | WBT | NBL | NBR |
| Lane Configurations | ↔ | | | ↔ | ↔ | |
| Traffic Vol, veh/h | 3 | 1 | 0 | 3 | 1 | 0 |
| Future Vol, veh/h | 3 | 1 | 0 | 3 | 1 | 0 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Free | Free | Free | Free | Stop | Stop |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | - | - | - | - | 0 | - |
| Veh in Median Storage, # | 0 | - | - | 0 | 0 | - |
| Grade, % | 0 | - | - | 0 | 0 | - |
| Peak Hour Factor | 90 | 90 | 90 | 90 | 90 | 90 |
| Heavy Vehicles, % | 0 | 2 | 2 | 0 | 2 | 2 |
| Mvmt Flow | 3 | 1 | 0 | 3 | 1 | 0 |

| Major/Minor | Major1 | Major2 | Minor1 | Minor2 | Minor3 |
|----------------------|--------|--------|--------|--------|--------|
| Conflicting Flow All | 0 | 0 | 4 | 0 | 7 |
| Stage 1 | - | - | - | - | 4 |
| Stage 2 | - | - | - | - | 3 |
| Critical Hdwy | - | - | 4.12 | - | 6.42 |
| Critical Hdwy Stg 1 | - | - | - | - | 5.42 |
| Critical Hdwy Stg 2 | - | - | - | - | 5.42 |
| Follow-up Hdwy | - | - | 2.218 | - | 3.518 |
| Pot Cap-1 Maneuver | - | - | 1618 | - | 1014 |
| Stage 1 | - | - | - | - | 1019 |
| Stage 2 | - | - | - | - | 1020 |
| Platoon blocked, % | - | - | - | - | - |
| Mov Cap-1 Maneuver | - | - | 1618 | - | 1014 |
| Mov Cap-2 Maneuver | - | - | - | - | 1014 |
| Stage 1 | - | - | - | - | 1019 |
| Stage 2 | - | - | - | - | 1020 |

| Approach | EB | WB | NB |
|----------------------|----|----|-----|
| HCM Control Delay, s | 0 | 0 | 8.6 |
| HCM LOS | | | A |

| Minor Lane/Major Mvmt | NBLn1 | EBT | EBR | WBL | WBT |
|-----------------------|-------|-----|-----|------|-----|
| Capacity (veh/h) | 1014 | - | - | 1618 | - |
| HCM Lane V/C Ratio | 0.001 | - | - | - | - |
| HCM Control Delay (s) | 8.6 | - | - | 0 | - |
| HCM Lane LOS | A | - | - | A | - |
| HCM 95th %tile Q(veh) | 0 | - | - | 0 | - |

2032 Build Weekday Morning Peak Hour
 3: East Project Site Driveway & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 1.4 | | | | | |
| Movement | EBT | EBR | WBL | WBT | NBL | NBR |
| Lane Configurations | | | | | | |
| Traffic Vol, veh/h | 1 | 0 | 0 | 4 | 1 | 0 |
| Future Vol, veh/h | 1 | 0 | 0 | 4 | 1 | 0 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Free | Free | Free | Free | Stop | Stop |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | - | - | - | - | 0 | - |
| Veh in Median Storage, # | 0 | - | - | 0 | 0 | - |
| Grade, % | 0 | - | - | 0 | 0 | - |
| Peak Hour Factor | 90 | 90 | 90 | 90 | 90 | 90 |
| Heavy Vehicles, % | 0 | 2 | 2 | 0 | 2 | 2 |
| Mvmt Flow | 1 | 0 | 0 | 4 | 1 | 0 |

| Major/Minor | Major1 | Major2 | Minor1 | Minor2 | Minor3 |
|----------------------|--------|--------|--------|--------|--------|
| Conflicting Flow All | 0 | 0 | 1 | 0 | 5 |
| Stage 1 | - | - | - | - | 1 |
| Stage 2 | - | - | - | - | 4 |
| Critical Hdwy | - | - | 4.12 | - | 6.42 |
| Critical Hdwy Stg 1 | - | - | - | - | 5.42 |
| Critical Hdwy Stg 2 | - | - | - | - | 5.42 |
| Follow-up Hdwy | - | - | 2.218 | - | 3.518 |
| Pot Cap-1 Maneuver | - | - | 1622 | - | 1017 |
| Stage 1 | - | - | - | - | 1022 |
| Stage 2 | - | - | - | - | 1019 |
| Platoon blocked, % | - | - | - | - | - |
| Mov Cap-1 Maneuver | - | - | 1622 | - | 1017 |
| Mov Cap-2 Maneuver | - | - | - | - | 1017 |
| Stage 1 | - | - | - | - | 1022 |
| Stage 2 | - | - | - | - | 1019 |

| Approach | EB | WB | NB |
|----------------------|----|----|-----|
| HCM Control Delay, s | 0 | 0 | 8.5 |
| HCM LOS | | | A |

| Minor Lane/Major Mvmt | NBLn1 | EBT | EBR | WBL | WBT |
|-----------------------|-------|-----|-----|------|-----|
| Capacity (veh/h) | 1017 | - | - | 1622 | - |
| HCM Lane V/C Ratio | 0.001 | - | - | - | - |
| HCM Control Delay (s) | 8.5 | - | - | 0 | - |
| HCM Lane LOS | A | - | - | A | - |
| HCM 95th %tile Q(veh) | 0 | - | - | 0 | - |

2032 Build Weekday Evening Peak Hour
 3: East Project Site Driveway & Sagamore Grove

| Intersection | | | | | | |
|--------------------------|------|------|------|------|------|------|
| Int Delay, s/veh | 1.1 | | | | | |
| Movement | EBT | EBR | WBL | WBT | NBL | NBR |
| Lane Configurations | ↔ | | | ↔ | ↔ | |
| Traffic Vol, veh/h | 3 | 1 | 0 | 3 | 1 | 0 |
| Future Vol, veh/h | 3 | 1 | 0 | 3 | 1 | 0 |
| Conflicting Peds, #/hr | 0 | 0 | 0 | 0 | 0 | 0 |
| Sign Control | Free | Free | Free | Free | Stop | Stop |
| RT Channelized | - | None | - | None | - | None |
| Storage Length | - | - | - | - | 0 | - |
| Veh in Median Storage, # | 0 | - | - | 0 | 0 | - |
| Grade, % | 0 | - | - | 0 | 0 | - |
| Peak Hour Factor | 90 | 90 | 90 | 90 | 90 | 90 |
| Heavy Vehicles, % | 0 | 2 | 2 | 0 | 2 | 2 |
| Mvmt Flow | 3 | 1 | 0 | 3 | 1 | 0 |

| Major/Minor | Major1 | Major2 | Minor1 | Minor2 | Minor3 |
|----------------------|--------|--------|--------|--------|--------|
| Conflicting Flow All | 0 | 0 | 4 | 0 | 7 |
| Stage 1 | - | - | - | - | 4 |
| Stage 2 | - | - | - | - | 3 |
| Critical Hdwy | - | - | 4.12 | - | 6.42 |
| Critical Hdwy Stg 1 | - | - | - | - | 5.42 |
| Critical Hdwy Stg 2 | - | - | - | - | 5.42 |
| Follow-up Hdwy | - | - | 2.218 | - | 3.518 |
| Pot Cap-1 Maneuver | - | - | 1618 | - | 1014 |
| Stage 1 | - | - | - | - | 1019 |
| Stage 2 | - | - | - | - | 1020 |
| Platoon blocked, % | - | - | - | - | - |
| Mov Cap-1 Maneuver | - | - | 1618 | - | 1014 |
| Mov Cap-2 Maneuver | - | - | - | - | 1014 |
| Stage 1 | - | - | - | - | 1019 |
| Stage 2 | - | - | - | - | 1020 |

| Approach | EB | WB | NB |
|----------------------|----|----|-----|
| HCM Control Delay, s | 0 | 0 | 8.6 |
| HCM LOS | | | A |

| Minor Lane/Major Mvmt | NBLn1 | EBT | EBR | WBL | WBT |
|-----------------------|-------|-----|-----|------|-----|
| Capacity (veh/h) | 1014 | - | - | 1618 | - |
| HCM Lane V/C Ratio | 0.001 | - | - | - | - |
| HCM Control Delay (s) | 8.6 | - | - | 0 | - |
| HCM Lane LOS | A | - | - | A | - |
| HCM 95th %tile Q(veh) | 0 | - | - | 0 | - |

Site Redevelopment Plans

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

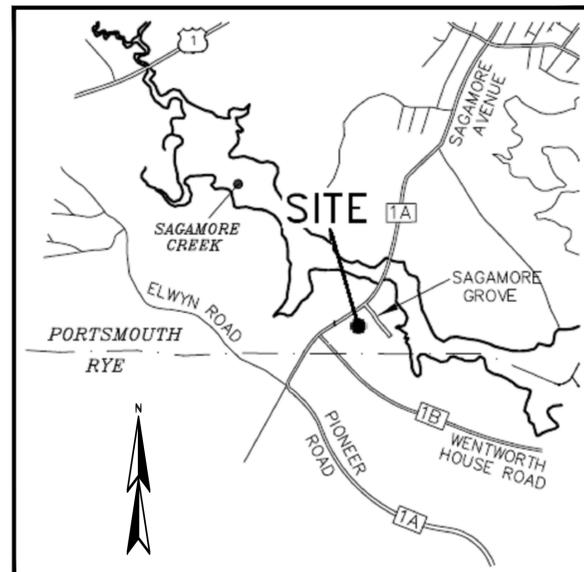
960 SAGAMORE AVENUE
PORTSMOUTH, NH 03801

TAX MAP 201, LOT 2

Issued for:

DECEMBER 29, 2021

PLANNING BOARD



Locus Map
Scale: Not to Scale

| Sheet Index Title | Sheet No.: | Rev. | Date |
|---|------------|------|----------|
| Existing Conditions Plan (by JVA) | 3 SHEETS | 0 | 11/22/21 |
| Demolition Plan | C-1 | 2 | 12/29/21 |
| Site Plan | C-2 | 2 | 12/29/21 |
| Grading and Drainage Plan | C-3 | 2 | 12/29/21 |
| Utilities Plan | C-4 | 2 | 12/29/21 |
| Erosion Control Notes and Details | C-5 | 1 | 11/22/21 |
| Construction Details | C-6 | 1 | 11/22/21 |
| Construction Details | C-7 | 1 | 11/22/21 |
| Construction Details | C-8 | 1 | 11/22/21 |
| Construction Details | C-9 | 1 | 11/22/21 |
| Construction Details | C-10 | 1 | 11/22/21 |
| Site Lighting Plan (by Visible Light, Inc.) | S-1 | 0 | 11/15/21 |
| Landscape Plan (by Woodburn & Co.) | L-1 | 1 | 12/28/21 |
| Garage Level Floor Plan (by JSA) | A-1 | 0 | 10/04/21 |
| Elevations (by JSA) | A-2 | 0 | 10/4/21 |

Reference:

| | | | |
|--|------|--|-------|
| 90% Sagamore Grove Sewer Extension (Wright-Pierce) | C-3A | | 03/21 |
|--|------|--|-------|

Owner/ Applicant:

SAGAMORE CORNER, LLC
273 CORPORATE DRIVE, STE 150
PORTSMOUTH, NH 03801
(603)427-5100

Architect:



273 CORPORATE DRIVE, SUITE 100
PORTSMOUTH NH 03801
603.436.2551
INFO@JSAINC.COM

Civil Engineer:



133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

Landscape Architect:



WOODBURN
& COMPANY

Landscape Architecture, LLC

103 Kent Place
Newmarket, NH 03857
Tel 603.659.5949
Fax: 603.659.5939

Surveyor:

James Verra and
Associates, Inc.

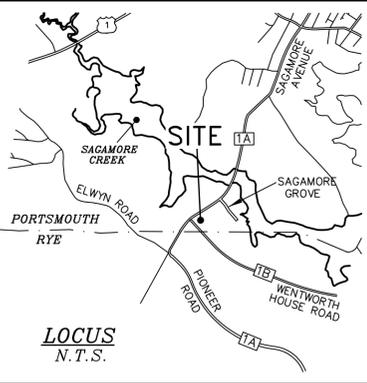
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801 - 7876
603-436-3557

Permit Summary

ZONING - THE FOLLOWING TWO VARIANCES WERE GRANTED ON SEPTEMBER 21, 2021.

- SECTION 10.1114.31 - TO ALLOW TWO (2) DRIVEWAYS WHERE ONE (1) IS PERMITTED.
- ZONING SECTION 10.521 - TO ALLOW A DENSITY OF SIX (6) DWELLING UNITS WHERE 5.7 ARE PERMITTED.



LEGEND:

| | |
|---------|-------------------------------------|
| ○ | STONE WALL |
| ● | IRON ROD FOUND |
| ○ | IRON ROD SET |
| ○ | IRON PIPE FOUND |
| □ | BOUND as DESCRIBED |
| ● | DRILL HOLE |
| PSNH | PUBLIC SERVICE CO. OF NH |
| VZ | VERIZON |
| 110-5 | TAX SHEET - LOT NUMBER |
| (A) | SEE SIGN TABLE |
| RCRD | ROCKINGHAM COUNTY REGISTRY OF DEEDS |
| EOP | EDGE OF PAVEMENT |
| ETW | EDGE OF TRAVELLED WAY |
| VGC | VERTICAL FACED GRANITE CURB |
| ⊕ | BOLLARD |
| ⊞ | REFLECTOR |
| — | SIGN |
| — | DOUBLE POST SIGN |
| ∅ | UTILITY POLE |
| ⊙ | UTILITY POLE W/TRANSFORMER |
| ☆ | LIGHT POLE |
| ○ | UTILITY POLE WITH ARM & LIGHT |
| ⊖ | GUY |
| ⊞ | ELECTRIC METER |
| ⊙ | VERTICAL PROPANE TANK |
| ⊙ | HORIZONTAL PROPANE TANK |
| ⊞ | WATER GATE VALVE |
| ⊞ | WATER SHUT OFF VALVE |
| ⊞ | HYDRANT |
| ⊞ | CATCH BASIN |
| ⊞ | TREE LINE/BRUSH LINE |
| ⊞ | CONIFEROUS TREE |
| — w — | WATER LINE |
| — d — | DRAIN LINE |
| — ugu — | UNDERGROUND UTILITIES |
| — ohw — | OVERHEAD WIRES |
| ▨ | CEMENT CONCRETE |
| ▨ | RIP RAP |
| ▨ | EXPOSED ROCK/LEDGE |
| x12.5 | SPOT GRADE |
| ⊙ | BORING |
| ⊞ | SEE SIGNAGE TABLE |
| (A) | SEE BUILDING ELEVATION TABLE |

ABUTTERS LIST

| MAP-LOT | OWNER OF RECORD | DEED REF. |
|----------|--|-----------|
| 201-1 | 955 SAGAMORE REALTY TRUST - 3/12/2008 MICHAEL T. GOODRIDGE, TRUSTEE 39 FERRY RD, SALISBURY, MA 01952 | 4903/695 |
| 201-1-1 | WILLIAM L. PINGREE 2013 REV. TRUST 11 SAGAMORE GROVE, PORTSMOUTH, NH 03801 | 6155/537 |
| 201-3 | LUCIAN SZMYD & DIANE M. SZMYD 41 HARBORVIEW DR, RYE, NH 03870 | 4547/2733 |
| 201-6 | JASON GOULEMAS 2002 FAMILY TRUST JASON GOULEMAS, TRUSTEE LISA M. GOULEMAS 2002 FAMILY TRUST LISA M. GOULEMAS, TRUSTEE 5 SAGAMORE GROVE, PORTSMOUTH, NH 03801 | 5784/2715 |
| 201-7 | BRIAN L. NESTE BRADFORD J. BYRD 184 WALKER BUNGALOW, PORTSMOUTH, NH 03801 | 5222/1547 |
| 201-8 | WALTER J. ALLEN 1 SAGAMORE GROVE, PORTSMOUTH, NH 03801 | 2296/878 |
| 201-12 | SEA LEVEL, LLC PO BOX 4094, PORTSMOUTH, NH 03802-4094 | 5743/352 |
| 201-22 | WENTWORTH-SAGAMORE, LLC 1150 SAGAMORE AVE, PORTSMOUTH, NH 03801 | |
| 201-26 | CITY OF PORTSMOUTH C/O CONSERVATION COMMISSION 1 JUNKINS AVE, PORTSMOUTH, NH 03801 | |
| 223-25 | SEACOAST MENTAL HEALTH CENTER 1145 SAGAMORE AVE, PORTSMOUTH, NH 03801 | |
| 223-25-A | SEACOAST MENTAL HEALTH CENTER 1145 SAGAMORE AVE, PORTSMOUTH, NH 03801 | |
| 223-25-B | CITY OF PORTSMOUTH 1 JUNKINS AVE, PORTSMOUTH, NH 03801 | |
| 224-19 | JUSTIN P. NADEAU & MICHELLE FIRMBACH NADEAU 507 STATE ST, PORTSMOUTH, NH 03801 | |

NOTES:

- OWNER OF RECORD.....SAGAMORE CORNER, LLC
ADDRESS.....273 CORPORATE DR, SUITE 150, PORTSMOUTH, NH 03801
DEED REFERENCE.....6350/364
TAX SHEET / LOT.....201-2
PARCEL AREA42,929 S.F. (0.986 ACRES)
ZONEDMRB

OWNER OF RECORD.....LIVE FREE REAL ESTATE LLC
ADDRESS.....314 MIDDLE ST, PORTSMOUTH, NH 03801
DEED REFERENCE.....6172/974
TAX SHEET / LOT.....201-9
PARCEL AREA59,243 S.F. (1.360 ACRES)
ZONEDMRB

OWNER OF RECORD.....LIVE FREE REAL ESTATE LLC
ADDRESS.....314 MIDDLE ST, PORTSMOUTH, NH 03801
DEED REFERENCE.....6187/68
TAX SHEET / LOT.....201-10
PARCEL AREA31,857 S.F. (0.731 ACRES)
ZONEDWB

OWNER OF RECORD.....LIVE FREE REAL ESTATE LLC
ADDRESS.....314 MIDDLE ST, PORTSMOUTH, NH 03801
DEED REFERENCE.....6201/1839
TAX SHEET / LOT.....201-11
PARCEL AREA14,186 S.F. (0.326 ACRES)
ZONEDWB
- ZONED:..... MRB FRONT YARD SETBACK....5'
MINIMUM LOT AREA 7,500 S.F. SIDE YARD SETBACK.....10'
FRONTAGE..... 100' REAR YARD SETBACK.....15'
ZONED:..... WB FRONT YARD SETBACK....30'
MINIMUM LOT AREA 20,000 S.F. SIDE YARD SETBACK.....30'
FRONTAGE..... 100' REAR YARD SETBACK.....20'
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- ON SITE CONTROL ESTABLISHED USING SURVEY GRADE GPS UNITS.
HORIZONTAL DATUM: NAD 1983 (2011)
VERTICAL DATUM: NAVD 1988
PRIMARY BM: CITY CONTROL POINT "ALBA"
- WETLANDS DELINEATION 12/2015 & 11/2019 BY MICHAEL CUOMO, NHCWS# 4, 6 YORK POND RD, YORK, ME 03909.
- LOCATION OF "WARRANT HIGHWAY EASEMENT" PER RCRD BOOK 3123, PAGE 2896, DATED OCTOBER 18, 1995 & SHOWN ON "PLAN OF WENTWORTH ROAD (ROUTE 1-B), PORTSMOUTH, HIGHWAY EASEMENT". SAID PLAN IS NOT RECORDED & CAN NOT BE LOCATED BY NHDOT. SEE SAID DEED FOR OTHER RIGHTS GRANTED TO THE STATE OF NH.
- THE SUBJECT TRACT LIES IN ZONE X (NO SCREEN), AREA OF MINIMAL FLOOD HAZARD, AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 33015C0286F, MAP REVISED TO JANUARY 29, 2021, BY FEMA.
- THIS PLAN IS BASED ON A FIELD SURVEY 2016 & 2020 BY JAMES VERRA AND ASSOCIATES, INC.
- SAGAMORE GROVE ROAD IS A PUBLIC WAY. THE UNDERLYING FEE OF THIS PORTION OF THE ROAD REMAINS WITH FRANCES & ARMAND GOSSELIN, THEIR HEIRS, SUCCESSORS & ASSIGNS. SEE ACKNOWLEDGEMENT & RELEASE DATED 3/17/1997, RCRD BOOK 3231, PAGE 470.
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE SETTING OR ESTABLISHMENT OF ANY GRADES/ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOC., INC.

REFERENCE PLANS:

- PLAN OF LAND, 1150 SAGAMORE AVENUE, PORTSMOUTH, N.H., RYE CORNER GAS, LLC, DATED 4/8/2015, RCRD PLAN C-38865.
- PLAN OF LAND FOR NC WENTWORTH, LLC, WENTWORTH ROAD, NEW CASTLE, N.H., REVISED TO 8/14/2000, RCRD PLAN C-28285.
- LAND IN PORTSMOUTH, N.H., SADIE P. GOUSE TO FRANCES L. PENDERGAST, DATED 7/1954, RCRD PLAN 02283.
- PLAN OF LAND, PORTSMOUTH, N.H., SADIE P. GOUSE TO JOHN S. DIMOCK, DATED 6/1950, FILE NO. 109, PLAN NO. 1-420, BY JOHN W. DURGIN, CE, NOT RECORDED.
- PLAN OF LAND, PORTSMOUTH, N.H., SADIE P. GOUSE TO LEONARD & EMILY OSTERMAN, DATED 3/1946, FILE NO. 109, PLAN NO. 1-295, BY JOHN W. DURGIN, CE, NOT RECORDED.
- PLAN OF LAND FOR MICHAEL KUCHTEY REVOCABLE TRUST, WENTWORTH ROAD, PORTSMOUTH/RYE, NH, DATED 3/25/1999, RCRD PLAN D-27320.
- RIGHT OF WAY PLAT, SAGAMORE GROVE, PORTSMOUTH, N.H. FOR CITY OF PORTSMOUTH, N.H., DATED 4/9/1995, RCRD PLAN D-25616.
- SUBDIVISION PLAN, TAX MAP 201 - LOT 1, OWNER: 955 SAGAMORE REALTY TRUST, 955 SAGAMORE AVENUE, PORTSMOUTH, N.H., REVISED TO 6/29/2016, RCRD PLAN D-39767.
- SUBSURFACE SEWAGE DISPOSAL SYSTEM FOR THE GOLDEN EGG, GOSSELIN LIVING TRUST / THOMAS GOSSELIN, TRUSTEE, 960 SAGAMORE AVENUE, PORTSMOUTH, NH, JOB # 11-0136, REVISED TO 10/22/2011, BY THE WRIGHT CHOICE, NOT RECORDED.

SEE SHEETS 2 & 3 FOR PLANIMETRIC INFORMATION

SURVEYOR:
James Verra and Associates, Inc.
LAND SURVEYORS
101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801-7876
603-436-3557
JOB NO: 23655
PLAN NO: 23655-2

ENGINEER:

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:
DESIGN & PERMITTING

ISSUE DATE:
NOVEMBER 22, 2021

REVISIONS

| NO. | DESCRIPTION | BY | DATE |
|-----|---------------------|----|----------|
| 1 | DESIGN & PERMITTING | JV | 11/22/21 |

DRAWN BY: JCS
APPROVED BY: JV
DRAWING FILE: 23655-2.DWG

SCALE:
22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

APPLICANT:

OWNERS:
SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
SUITE 150
PORTSMOUTH, NH 03801
DEED REF: 6350/364
ASSESSOR'S PARCEL 201-2

LIVE FREE REAL ESTATE LLC
1150 SAGAMORE ROAD
PORTSMOUTH, NH 03801
DEED REF: 6172/974
ASSESSOR'S PARCEL 201-9
DEED REF: 6187/68
ASSESSOR'S PARCEL 201-10
DEED REF: 6201/1839
ASSESSOR'S PARCEL 201-11

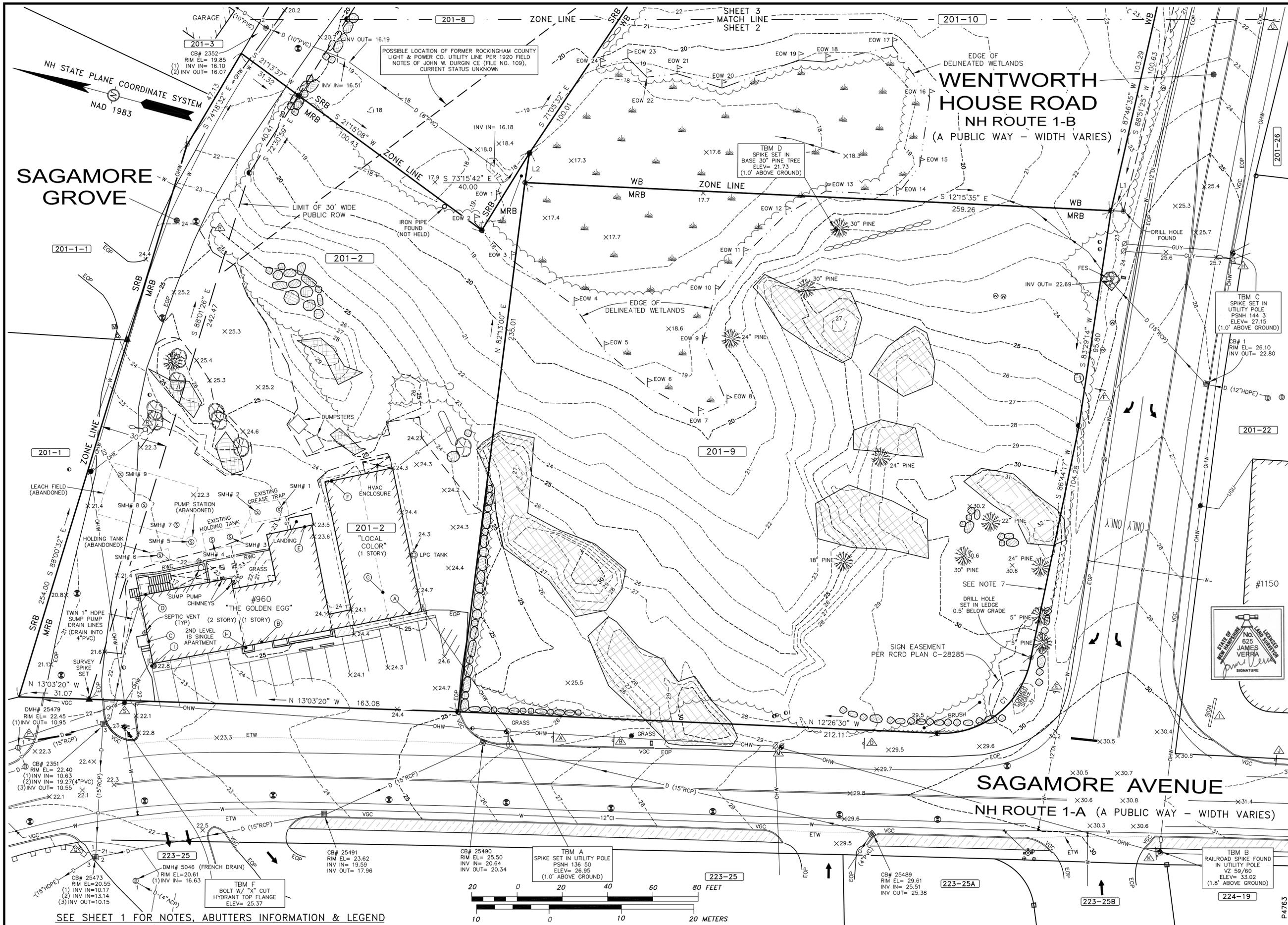
PROJECT:
PROPOSED SITE DEVELOPMENT PLANS
SAGAMORE AVENUE, SAGAMORE GROVE & WENTWORTH HOUSE ROAD
PORTSMOUTH, N.H.
ASSESSOR'S PARCELS 201-2, 201-9, 201-10 & 209-11

TITLE: EXISTING CONDITIONS PLAN

SHEET NUMBER:
1 OF 3



P4763



SURVEYOR:
James Verra and Associates, Inc.
LAND SURVEYORS
 101 SHATTUCK WAY - SUITE 8
 NEWINGTON, N.H. 03801-7876
 603-436-3557
 JOB NO: 23655
 PLAN NO: 23655-2

ENGINEER:
ALTUS ENGINEERING, INC.
 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:
DESIGN & PERMITTING
ISSUE DATE:
NOVEMBER 22, 2021

REVISIONS

| NO. | DESCRIPTION | BY | DATE |
|-----|---------------------|----|----------|
| 1 | DESIGN & PERMITTING | JV | 11/22/21 |

DRAWN BY: JCS
APPROVED BY: JV
DRAWING FILE: 23655-2.DWG

SCALE:
 22" x 34" - 1" = 20'
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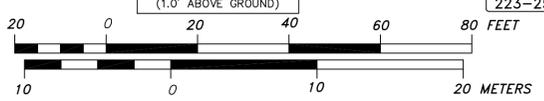
APPLICANT:

OWNERS:
SAGAMORE CORNER, LLC
 273 CORPORATE DRIVE
 SUITE 150
 PORTSMOUTH, NH 03801
DEED REF: 6350/364
ASSESSOR'S PARCEL 201-2
LIVE FREE REAL ESTATE LLC
 1150 SAGAMORE ROAD
 PORTSMOUTH, NH 03801
DEED REF: 6172/974
ASSESSOR'S PARCEL 201-9
DEED REF: 6187/68
ASSESSOR'S PARCEL 201-10
DEED REF: 6201/1839
ASSESSOR'S PARCEL 201-11

PROJECT:
PROPOSED SITE DEVELOPMENT PLANS
 SAGAMORE AVENUE,
 SAGAMORE GROVE &
 WENTWORTH HOUSE ROAD
 PORTSMOUTH, N.H.
ASSESSOR'S PARCELS 201-2, 201-9, 201-10 & 209-11

TITLE:
EXISTING CONDITIONS PLAN
SHEET NUMBER:
2 OF 3

SEE SHEET 1 FOR NOTES, ABUTTERS INFORMATION & LEGEND



STATE OF NEW HAMPSHIRE
 LAND SURVEYOR
 No. 625
 JAMES VERRA
 SIGNATURE

SURVEYOR:
James Verra and Associates, Inc.
LAND SURVEYORS
 101 SHATTUCK WAY - SUITE 8
 NEWINGTON, N.H. 03801- 7876
 603-436-3557
 JOB NO: 23655
 PLAN NO: 23655-2

ENGINEER:

 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:
DESIGN & PERMITTING

ISSUE DATE:
NOVEMBER 22, 2021

REVISIONS
 NO. DESCRIPTION BY DATE
 1 DESIGN & PERMITTING JV 11/22/21

DRAWN BY: JCS
APPROVED BY: JV
DRAWING FILE: 23655-2.DWG

SCALE:
 22" x 34" - 1" = 20'
 11" x 17" - 1" = 40'

APPLICANT:

OWNERS:
SAGAMORE CORNER, LLC
 273 CORPORATE DRIVE
 SUITE 150
 PORTSMOUTH, NH 03801
 DEED REF: 6350/364
 ASSESSOR'S PARCEL 201-2

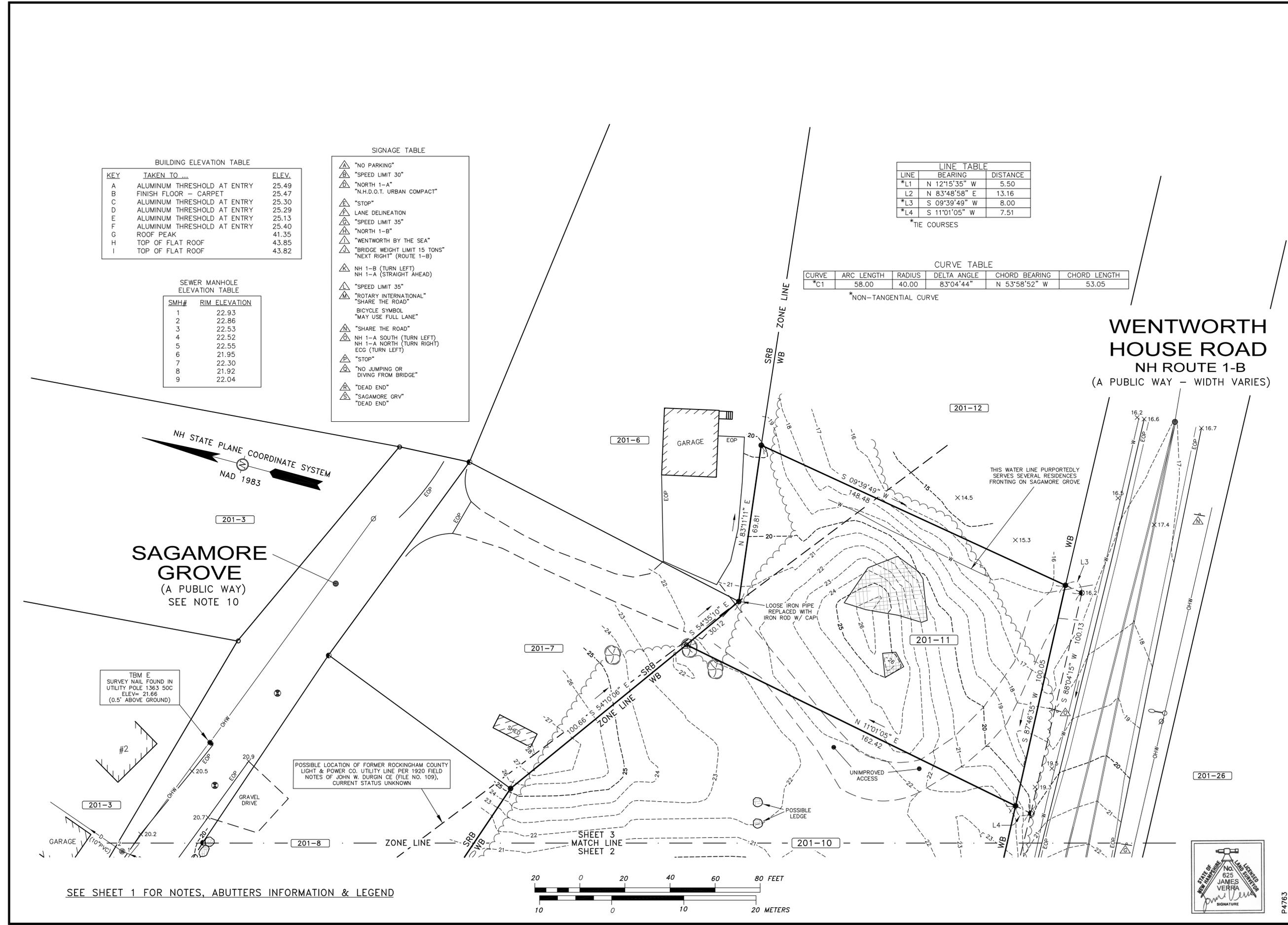
LIVE FREE REAL ESTATE LLC
 1150 SAGAMORE ROAD
 PORTSMOUTH, NH 03801
 DEED REF: 6172/974
 ASSESSOR'S PARCEL 201-9
 DEED REF: 6187/68
 ASSESSOR'S PARCEL 201-10
 DEED REF: 6201/1839
 ASSESSOR'S PARCEL 201-11

PROJECT:
PROPOSED SITE DEVELOPMENT PLANS
 SAGAMORE AVENUE,
 SAGAMORE GROVE &
 WENTWORTH HOUSE ROAD
 PORTSMOUTH, N.H.
 ASSESSOR'S PARCELS 201-2,
 201-9, 201-10 & 209-11

TITLE:
EXISTING CONDITIONS PLAN

SHEET NUMBER:
3 OF 3

P4763



BUILDING ELEVATION TABLE

| KEY | TAKEN TO ... | ELEV. |
|-----|-----------------------------|-------|
| A | ALUMINUM THRESHOLD AT ENTRY | 25.49 |
| B | FINISH FLOOR - CARPET | 25.47 |
| C | ALUMINUM THRESHOLD AT ENTRY | 25.30 |
| D | ALUMINUM THRESHOLD AT ENTRY | 25.29 |
| E | ALUMINUM THRESHOLD AT ENTRY | 25.13 |
| F | ALUMINUM THRESHOLD AT ENTRY | 25.40 |
| G | ROOF PEAK | 41.35 |
| H | TOP OF FLAT ROOF | 43.85 |
| I | TOP OF FLAT ROOF | 43.82 |

SEWER MANHOLE ELEVATION TABLE

| SMH# | RIM ELEVATION |
|------|---------------|
| 1 | 22.93 |
| 2 | 22.86 |
| 3 | 22.53 |
| 4 | 22.52 |
| 5 | 22.55 |
| 6 | 21.95 |
| 7 | 22.30 |
| 8 | 21.92 |
| 9 | 22.04 |

SIGNAGE TABLE

- ▲ "NO PARKING"
- ▲ "SPEED LIMIT 30"
- ▲ "NORTH 1-A"
- ▲ "N.H.D.O.T. URBAN COMPACT"
- ▲ "STOP"
- ▲ LANE DELINEATION
- ▲ "SPEED LIMIT 35"
- ▲ "NORTH 1-B"
- ▲ "WENTWORTH BY THE SEA"
- ▲ "BRIDGE WEIGHT LIMIT 15 TONS"
- ▲ "NEXT RIGHT" (ROUTE 1-B)
- ▲ NH 1-B (TURN LEFT)
- ▲ NH 1-A (STRAIGHT AHEAD)
- ▲ "SPEED LIMIT 35"
- ▲ "ROTARY INTERNATIONAL"
- ▲ "SHARE THE ROAD"
- ▲ BICYCLE SYMBOL
- ▲ "MAY USE FULL LANE"
- ▲ "SHARE THE ROAD"
- ▲ NH 1-A SOUTH (TURN LEFT)
- ▲ NH 1-A NORTH (TURN RIGHT)
- ▲ ECG (TURN LEFT)
- ▲ "STOP"
- ▲ "NO JUMPING OR DIVING FROM BRIDGE"
- ▲ "DEAD END"
- ▲ "SAGAMORE GRV"
- ▲ "DEAD END"

LINE TABLE

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| *L1 | N 12°15'35" W | 5.50 |
| L2 | N 83°48'58" E | 13.16 |
| *L3 | S 09°39'49" W | 8.00 |
| *L4 | S 11°01'05" W | 7.51 |

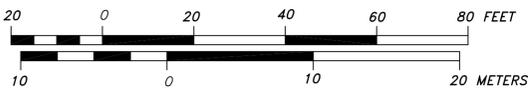
*TIE COURSES

CURVE TABLE

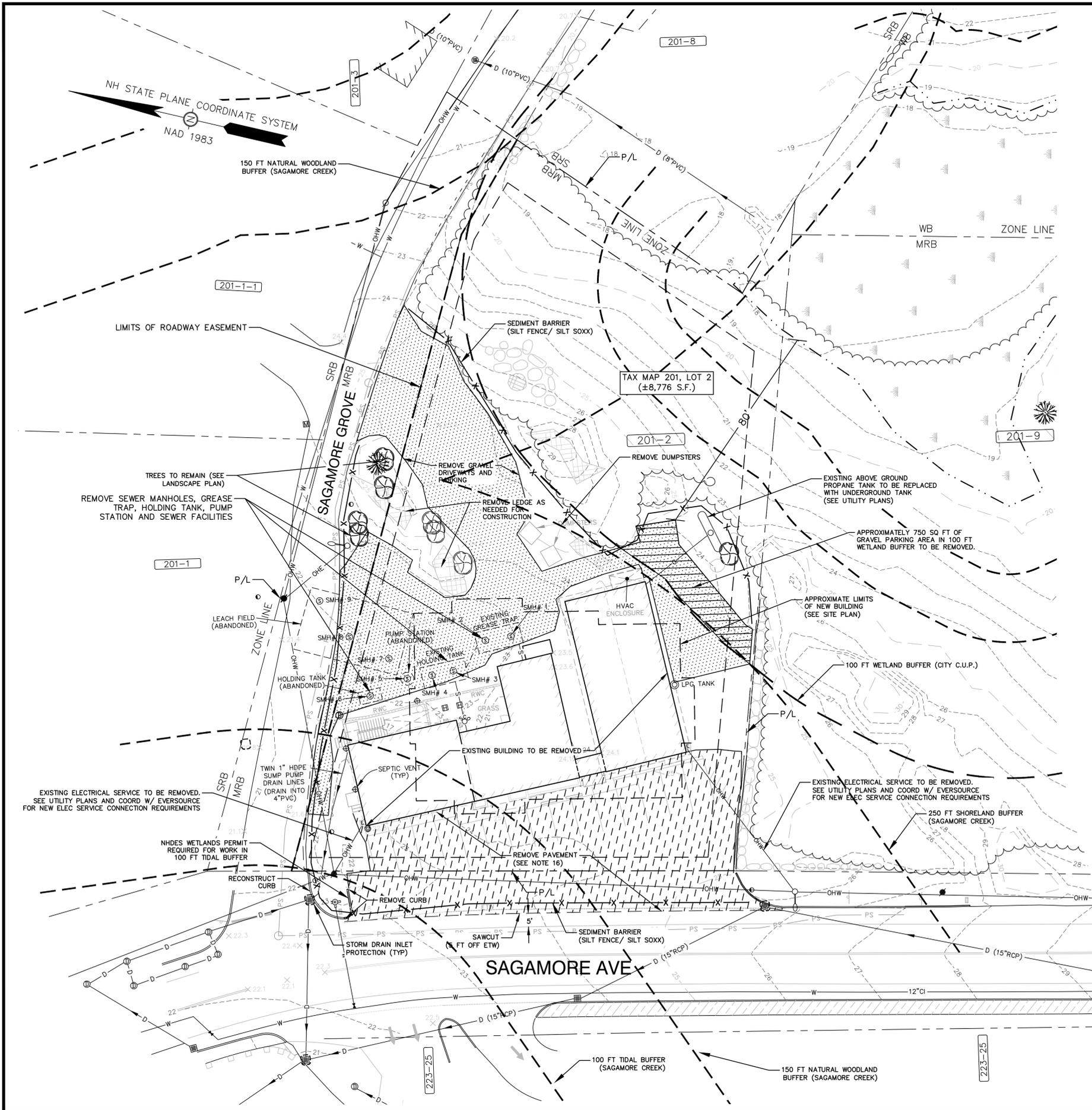
| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|--------|-------------|---------------|--------------|
| *C1 | 58.00 | 40.00 | 83°04'44" | N 53°58'52" W | 53.05 |

*NON-TANGENTIAL CURVE

SEE SHEET 1 FOR NOTES, ABUTTERS INFORMATION & LEGEND



NEW STATE OF NH LICENSED LAND SURVEYOR
 No. 625
JAMES VERRA
 SIGNATURE



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

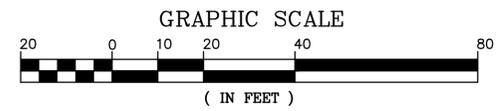
DATE

DEMOLITION NOTES

- CONTRACTOR SHALL SAFELY SECURE THE SITE WITH SECURITY FENCING. FENCING SHALL BE LOCKED DURING NON-WORK HOURS.
- CITY DEMOLITION PERMIT REQUIRED PRIOR TO ANY DEMOLITION ACTIVITIES. CONTRACTOR IS NOTIFIED THAT THIS PERMIT PROCESS MAY REQUIRE A 30-DAY LEAD TIME.
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
- THIS DEMOLITION PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
- ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
- ALL STRUCTURES, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM PROPOSED LANDSCAPE AREAS AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPE AND/OR STORMWATER MANAGEMENT PURPOSES AND MEETING THE PROJECT SPECIFICATIONS.
- WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, HANDHOLES, MONITORING WELLS, ETC. SHALL BE ADJUSTED TO FINISH GRADE.
- NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
- HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- IN AREAS WHERE CONSTRUCTION IS TO BE ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG THE PROPERTY LINE IN ALL AREAS WHERE SILT FENCING IS NOT OTHERWISE REQUIRED.
- SEE EROSION CONTROL PLANS FOR EROSION CONTROL REQUIREMENTS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO; SILT FENCING, STABILIZED CONSTRUCTION SITE EXITS, AND STORM DRAIN INLET PROTECTION.
- ALL DEMOLISHED MATERIALS OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS AND CODES.
- LEDGE REMOVAL IS ANTICIPATED ON THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE CITY WITH A LEDGE REMOVAL PLAN. IF BLASTING IS TO BE PERFORMED, ALL STATE AND LOCAL REQUIREMENTS SHALL BE COMPLIED WITH. SEE BEST MANAGEMENT PRACTICES FOR BLASTING NOTES.
- EXISTING PAVEMENT ALONG SAGAMOVE AVENUE TO REMAIN DURING CONSTRUCTION UNTIL FOUNDATIONS ARE BACK FILLED.
- AS PART OF THIS PROPOSED PROJECT APPROXIMATELY 200 SF OF PAVEMENT WITHIN THE 100-FOOT NHDES WETLANDS BUFFER WILL BE REMOVED AND THE AREA RESTORED TO LAWN OR LANDSCAPING. THE WORK OCCURS WITHIN THE CITY OF PORTSMOUTH RIGHT-OF-WAY. COORDINATE WITH THE CITY DEPARTMENT OF PUBLIC WORKS PRIOR TO ACTIVITY WITHIN THIS AREA.

UTILITY CONTACTS:

- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL DISCONNECTIONS/INSTALLATIONS WITH EVERSOURCE. CONTACT NICK KOSKO @ 603-332-4227, EXT. 5555334
- CONTRACTOR SHALL COORDINATE ALL NATURAL GAS DISCONNECTIONS/INSTALLATIONS WITH UNITIL CORPORATION. CONTACT DAVID BEAULIEU @ 603-294-5144
- CONTRACTOR SHALL COORDINATE ALL CABLE DISCONNECTIONS/INSTALLATIONS WITH COMCAST. CONTACT MIKE COLLINS @ 603-679-5695 EXT 1037
- CONTRACTOR SHALL COORDINATE ALL TELE-COMMUNICATION DISCONNECTIONS AND INSTALLATION WITH FAIRPOINT COMMUNICATIONS. CONTACT JOE CONSONE @ 603-427-5255



133 COURT STREET PORTSMOUTH, NH 03801
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NOT FOR CONSTRUCTION

ISSUED FOR: APPROVAL

ISSUE DATE: DECEMBER 3, 2021

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------------|-----|----------|
| 0 | INITIAL SUBMITTAL | CDB | 11/02/21 |
| 1 | TAC WS COMMENTS | CDB | 11/22/21 |
| 2 | INITIAL NHDES SUBMITTAL | CDB | 12/03/21 |

DRAWN BY: CDB
APPROVED BY: EDW
DRAWING FILE: 5079-SITE.dwg

SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

OWNER / APPLICANT:

SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:
PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT

960 SAGAMORE ROAD
PORTSMOUTH, NH 03801
TAX MAP 201, LOT 2

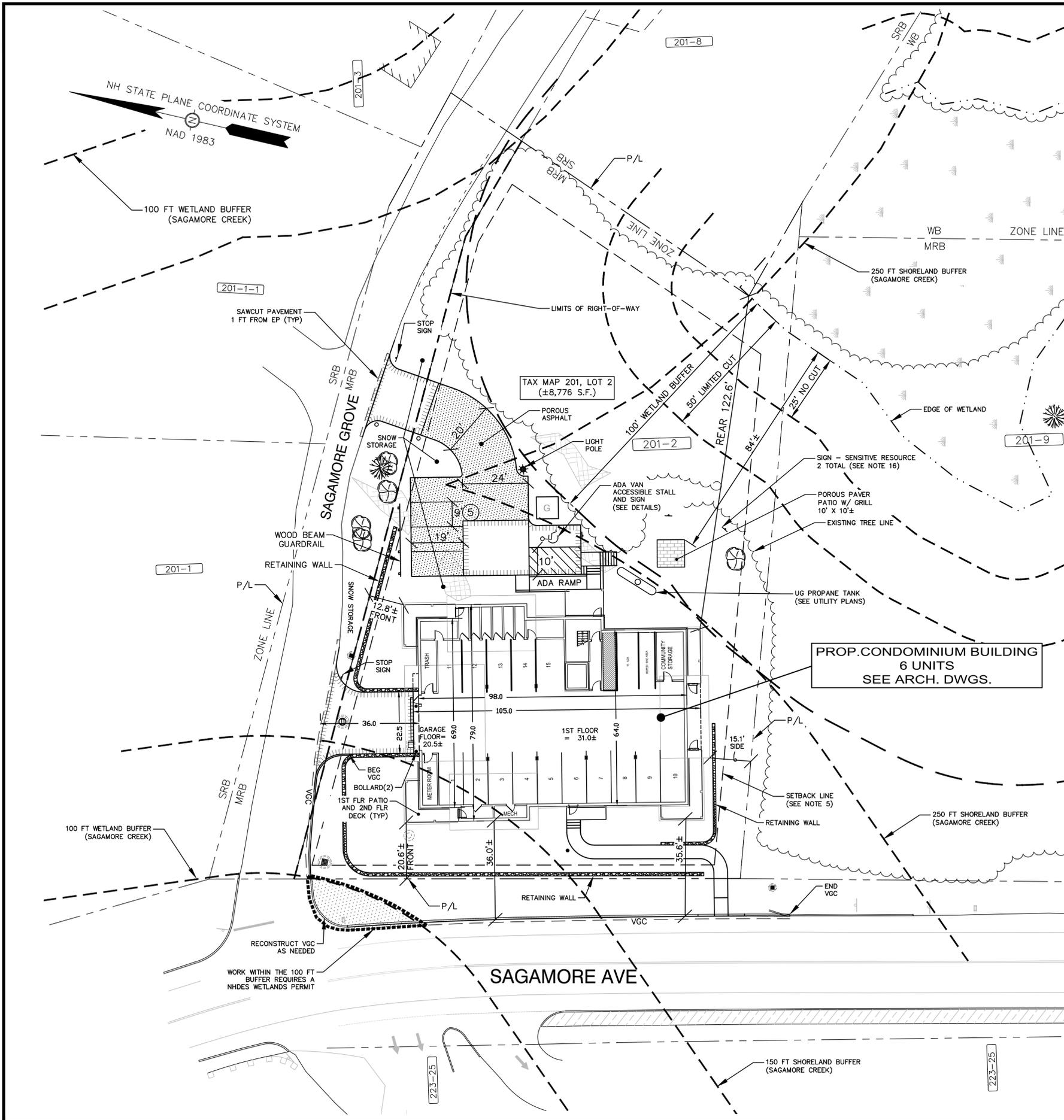
TITLE:

DEMOLITION PLAN

SHEET NUMBER:

C-1

P5079



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

NOTES

- DESIGN INTENT - THIS PLAN IS INTENDED TO DEPICT A CONCEPTUAL MULTI-FAMILY RESIDENTIAL BUILDING TOGETHER WITH ASSOCIATED PARKING AND ACCESSWAYS.
- THE BASE PLAN USED HERE WAS DEVELOPED FROM "EXISTING CONDITIONS PLAN, SAGAMORE AVENUE, SAGAMORE GROVE & WENTWORTH HOUSE ROAD, PORTSMOUTH, N.H., ASSESSOR'S PARCELS 201-2, 201-9, 201-10 & 209-11" BY JAMES VERRA AND ASSOCIATES, INC., DATED NOVEMBER 22, 2021.
- WETLANDS DELINEATION 12/2015 & 11/2019 BY MICHAEL CUOMO, NHCWS# 4, 6 YORK POND RD, YORK, ME 03909.
- ZONES: MRB (MIXED RESIDENTIAL BUSINESS)
- PROJECT PARCEL: TAX MAP 201 LOT 2 42,930 S.F. (±0.99 AC.)
- DIMENSIONAL REQUIREMENTS:**

| | MRB | PROVIDED |
|---------------------------|-------------------------------|-----------------|
| MIN. LOT AREA: | 7,500 S.F. (0.17 AC.) | 42,929 S.F. |
| LOT AREA PER DWELLING: | 7,500 S.F. | ±7,155 S.F. |
| MIN. STREET FRONTAGE: | 100' | ±194' |
| MIN. LOT DEPTH: | 80' | ±212' |
| FRONT SETBACK: | 5' (±17' EXISTING) | ±20.6' / ±12.8' |
| SIDE SETBACK: | 10' (±21' EXISTING) | ±15.1' |
| REAR SETBACK: | 15' (±111' EXISTING) | ±122.6' |
| MAX. BUILDING HEIGHT: | 30' (FLAT ROOF) | 28.85' |
| | (±22' - EXISTING TWO STORIES) | |
| MULTI-FAM. BLDG. LENGTH: | 160' (MAX) | ±105' |
| MAX. BUILDING COVERAGE: | 40% (±12.2% EXISTING) | ±17.9% |
| DWELLING UNITS PER BLDG: | 8 (MAX) | 6 |
| MIN. OPEN SPACE: | 25% (±45.4% EXISTING) | ±55.0% |
| WETLAND BUFFER: | 100' (80' EXISTING) | 84±' |
| WETLAND LIMITED CUT: | 50' | 50' |
| WETLAND NO-CUT: | 25' | 25' |
| DRIVEWAY/RD/PARKING/BLDG: | ±52.2% (EXISTING) | ±42.2% |
- ZONING - THE FOLLOWING TWO VARIANCES WERE GRANTED ON SEPTEMBER 21, 2021.
 - SECTION 10.1114.31 - TO ALLOW TWO (2) DRIVEWAYS WHERE ONE (1) IS PERMITTED.
 - ZONING SECTION 10.521 - TO ALLOW A DENSITY OF SIX (6) DWELLING UNITS WHERE 5.7 ARE PERMITTED.
- AREA OF DISTURBANCE UNDER 43,560 SF, COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT NOT REQUIRED.
 - LOT AREA IN WETLAND: ±400 S.F. (±0.9%)
 - LOT AREA IN WETLAND & WETLAND BUFFER: ±13,650 S.F. (±31.8%)
 - EXISTING LOT IMPERVIOUS IN WETLAND BUFFER: ±760 S.F. (±1.8%)
 - PROPOSED LOT IMPERVIOUS IN WETLAND BUFFER: 0 S.F. (0%)
- PARKING REQUIREMENTS:**

DWELLING UNITS: 1.3 SPACES PER DWELLING UNIT
6 UNITS x 1.3 = 7.8 SPACES REQUIRED

TOTAL PARKING PROVIDED: 16 SPACES (INTERIOR)
5 SPACES (EXTERIOR)
21 SPACES TOTAL

NO MAXIMUM REQUIREMENT

EXISTING PARKING SPACES: 15 PAVED
11 GRAVEL (APPROX)
26 TOTAL
- BICYCLE PARKING WILL BE PROVIDED IN THE BASEMENT OF THE BUILDING.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN UPLAND AREAS SHOWN THEREON. IF ADEQUATE ON-SITE SNOW STORAGE IS NOT AVAILABLE, THE SNOW SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED.
- THE PROPOSED LIGHTING SHALL BE DARK SKY FRIENDLY.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THIS PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- INSTALL SIGN INDICATING SENSITIVE RESOURCE, "SENSITIVE RESOURCE AREA / WETLAND BUFFER" OR APPROVED EQUAL.



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ISSUED FOR: APPROVAL

ISSUE DATE: DECEMBER 3, 2021

REVISIONS

| NO. | DESCRIPTION | BY | DATE |
|-----|--------------------------|-----|----------|
| 0 | INITIAL SUBMITTAL | CDB | 11/02/21 |
| 1 | TAC WS COMMENTS | CDB | 11/22/21 |
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DRAWN BY: _____ CDB
APPROVED BY: _____ EDW
DRAWING FILE: 5079-SITE.dwg

SCALE: 22"x34" 1" = 20'
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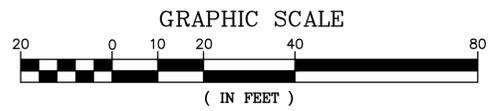
OWNER / APPLICANT:

SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:
PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT

960 SAGAMORE ROAD
PORTSMOUTH, NH 03801
TAX MAP 201, LOT 2

TITLE:
SITE PLAN
SHEET NUMBER:
C-2



P5079

PROPOSED DRAINAGE LEGEND

- 41 EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED DRAIN LINE
- PROPOSED CATCH BASIN (PCB)
- PROPOSED STORM DRAIN MANHOLE (PDMH)
- PROPOSED AREA DRAIN (PAD)
- PROPOSED STORMWATER MANAGEMENT GALLERY (SMG)

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE



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ISSUED FOR: PLANNING BOARD

ISSUE DATE: DECEMBER 29, 2021

| REVISIONS | NO. | DESCRIPTION | BY | DATE |
|-----------|-------------------|-------------|-----|----------|
| 0 | INITIAL SUBMITTAL | | CDB | 11/02/21 |
| 1 | TAC WS COMMENTS | | CDB | 11/22/21 |
| 2 | TAC COMMENTS | | CDB | 12/29/21 |

DRAWN BY: CDB
APPROVED BY: EDW
DRAWING FILE: 5079-SITE.dwg

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OWNER / APPLICANT:

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273 CORPORATE DRIVE
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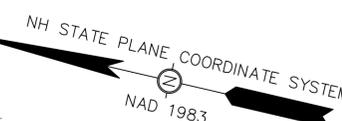
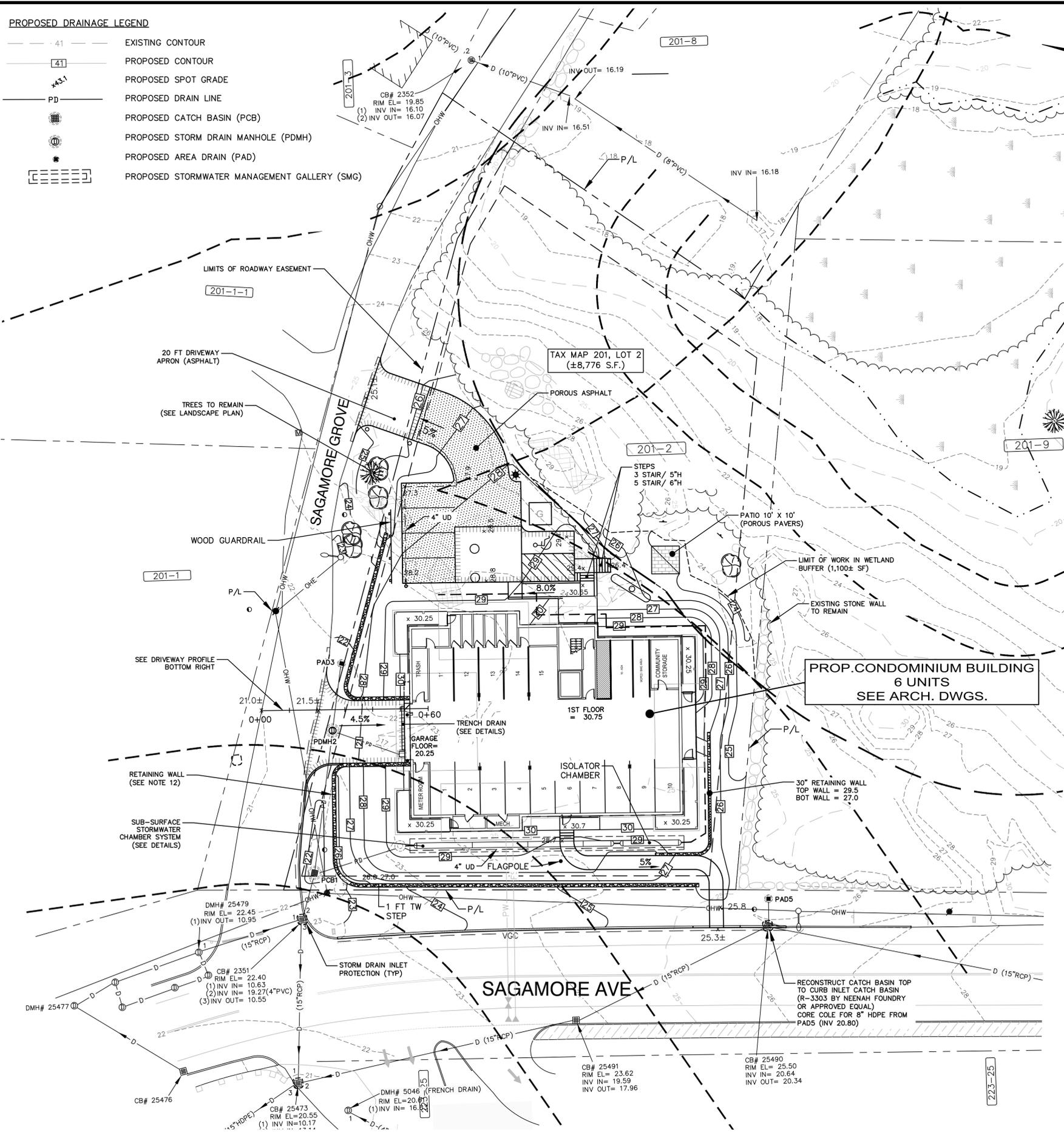
TAX MAP 201, LOT 2

TITLE:

**GRADING AND
DRAINAGE PLAN**

SHEET NUMBER:

C-3



GRADING AND DRAINAGE NOTES

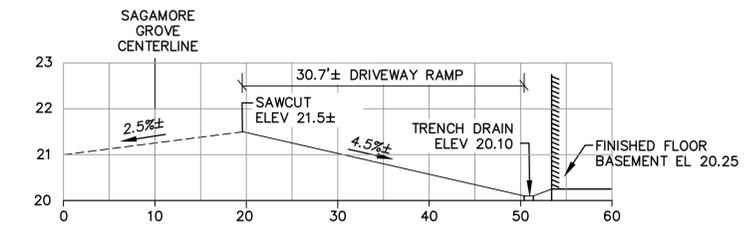
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL READ AND FAMILIARIZE THEMSELVES WITH THE PROJECT GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
- DEWATERING ACTIVITIES SHALL BE DONE IN ACCORDANCE WITH EPA AND NHDES REGULATIONS AND GUIDELINES.
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES AREA SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS DEGREE OF INSULATION AGAINST FREEZING.
- IF SUITABLE, EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
- ALL STORM DRAIN PIPE SHALL BE ADS N-12 OR EQUAL AND APPROVED BY THE ENGINEER.
- ALL CATCH BASIN, GATE VALVE COVERS, AND MANHOLE RIMS SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISHED GRADE. ANY RIM OR VALVE COVER ABOVE SURROUNDING FINISHED GRADE WILL NOT BE ACCEPTED.
- ALL CATCH BASINS SHALL BE PRECAST, H-20 LOADING AND BE EQUIPPED WITH 4-FOOT DEEP MIN SEDIMENTATION SUMPS AND GREASE HOODS. (SEE DETAILS)
- ALL SPOT GRADES ARE AT THE FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
- UNLESS OTHERWISE SPECIFIED, RETAINING WALL AND BUILDING PERIMETER DRAINS SHALL BE DIRECTED TO THE NEAREST DRAINAGE STRUCTURE. IF DEEMED APPROPRIATE, CONTRACTOR SHALL PROVIDE ADDITIONAL UNDERDRAINS AT THE DIRECTION OF THE ENGINEER.
- RETAINING WALL FINISH TO BE CULTURED STONE "DRESSED FIELDSTONE" VENEER, UNLESS OTHERWISE APPROVED F BY PORTSMOUTH PLANNING DEPARTMENT.
- ALL INTERNAL FLOOR DRAINS SHALL BE EVAPORATIVE AND SHALL NOT TIE INTO EXTERNAL STORM DRAIN SYSTEM.
- CONTRACTOR SHALL PROTECT ALL RAINGARDENS FROM CONSTRUCTION STORMWATER RUNOFF. TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED DURING CONSTRUCTION. STORMWATER SHALL NOT BE DIRECTED TO THE RAINGARDENS UNTIL THE WATERSHED ARE HAS BEEN STABILIZED.

DRAINAGE STRUCTURES

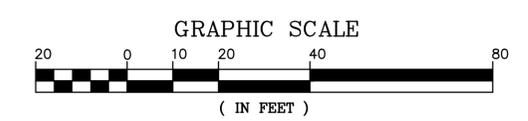
- CB1**
RIM = 21.50
12" INV. IN = 16.50 (PDMH2)
12" INV. IN = 16.50 (OS1)
12" INV. OUT = 16.40
- PDMH2**
RIM = 21.30
8" INV. IN = 16.90 (TRENCH DRAIN)
12" INV. IN = 16.90 (PAD3)
12" INV. OUT = 16.80
- PAD3**
RIM = 21.00
12" INV. OUT = 17.00
- TRENCH DRAIN**
ELEV = 20.10
8" INV. OUT = 17.10
- PAD5**
RIM = 25.30
8" INV. OUT = 21.3

STORMWATER PRACTICES

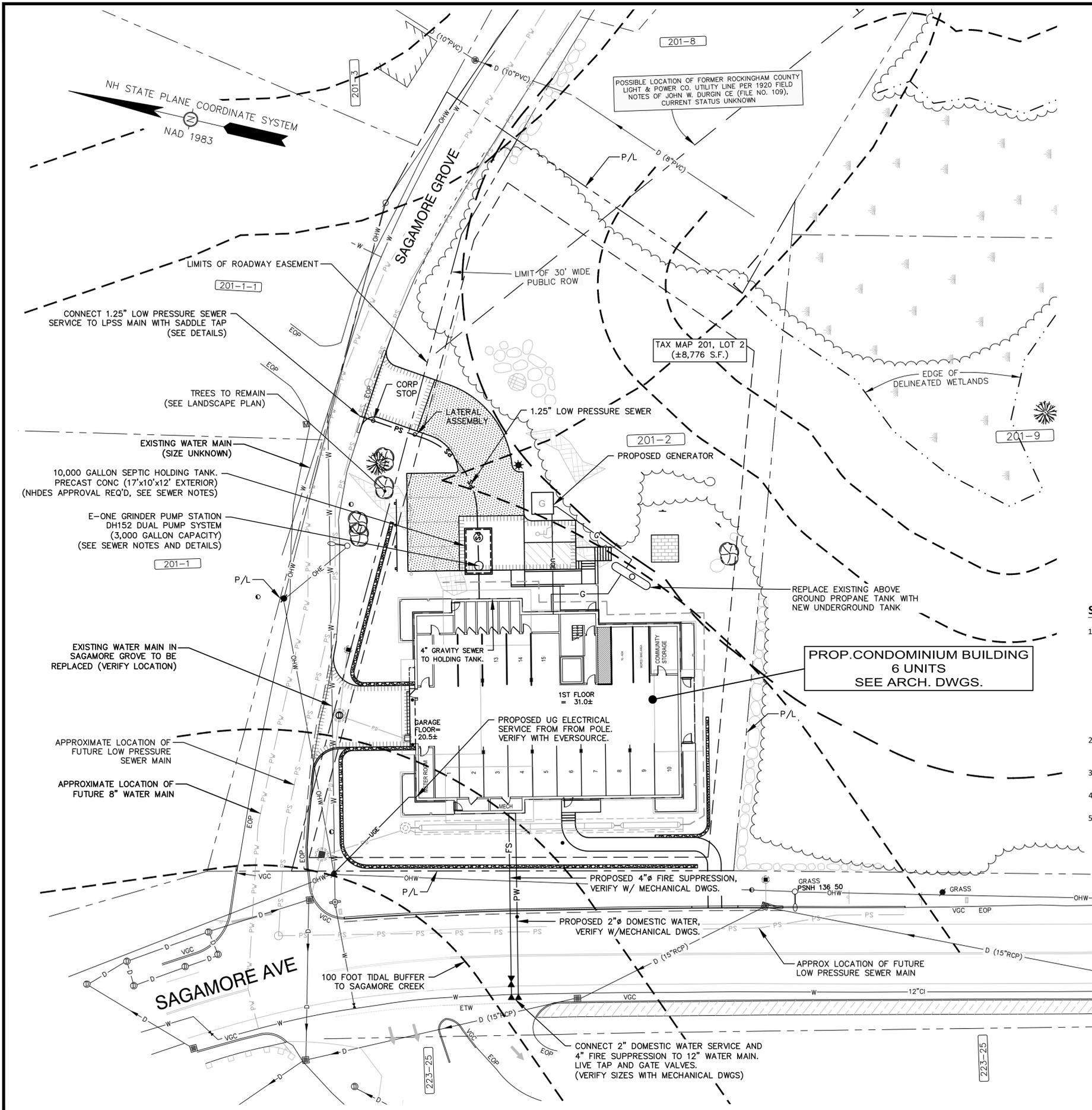
- STORMWATER GALLERY A**
24" DIA PERF PIPE
1 ROW / 90 FT LENGTH
(20 FT ISOLATION CHAMBER)
PIPE INV = 24.50
ROCK BOTTOM = 24.00
- OUTLET STRUCTURE**
RIM = 29.50
(SEE CONTROL PLATE DTL, SHT C-6)
6" UD IN = 23.60
12" INV IN = 23.75
12" INV. OUT = 23.50



DRIVEWAY PROFILE
SCALE: 1" = 10' HORIZONTAL
1" = 2' VERTICAL (5X)



P5079



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

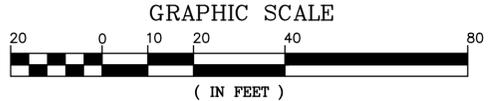
DATE

UTILITY NOTES

1. ALL ROAD/LANE CLOSURES OR OTHER TRAFFIC INTERRUPTIONS ON CITY ROADS SHALL BE COORDINATED WITH THE PORTSMOUTH POLICE DEPARTMENT AND/OR PORTSMOUTH DPW.
2. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL PERMIT CONDITIONS AND REQUIREMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
4. ALL WATER MAIN INSTALLATIONS AND SERVICE CONNECTIONS SHALL CONFORM TO PORTSMOUTH WATER DEPARTMENT STANDARDS. WATER MAIN SHALL BE WRAPPED WITH A WATER TIGHT POLYETHYLENE WRAPPING. ALL JOINTS SHALL HAVE THREE (3) WEDGES PER JOINT.
5. THE WATER MAIN IN SAGAMORE GROVE WILL BE REPLACED AT THE SAME TIME AS THE LOW PRESSURE SEWER INSTALLATION. THE NEW WATER SERVICE SHALL CONNECT TO ACTIVE MAIN LINE SAGAMORE GROVE. COORDINATE WITH CITY OF PORTSMOUTH WATER DEPARTMENT.
6. FIRE ALARM PANEL SHALL MONITORED THROUGH A THIRD-PARTY SECURITY COMPANY. CONTRACTOR SHALL COORDINATE ALL PANEL LOCATIONS AND INTERCONNECTIONS WITH FIRE DEPARTMENT.
7. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATION DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE APPLICANT SHALL BE REQUIRED TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES A REPEATER IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY. THE SURVEY SHALL BE COMPLETED AND THE REPEATER, IF DETERMINED IT IS REQUIRED, SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.
8. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
9. SITEWORK CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL DRAWINGS.
10. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDINGS. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING RELATED WORK.
11. FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ARCHITECT.
12. CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS.
13. CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH COMCAST.
14. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
15. DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.

SEWER NOTES

1. THE PROJECT HAS TWO OPTIONS FOR SEWER SERVICE. THE CITY OF PORTSMOUTH INTENDS TO INSTALL A NEW LOW PRESSURE SEWER FORCE MAIN ALONG SAGAMORE GROVE AS AN AGREEMENT TO THE CONSENT DECREE WITH USEPA. IF THE SEWER CONSTRUCTION IS ESTIMATED TO BE COMPLETED IN NOVEMBER OF 2022, PENDING ALLOWABLE FUNDING.
 - 1.1. IF THE LOW PRESSURE SEWER MAIN IS COMPLETE, THE PROJECT WILL INSTALL AN E-ONE GRINDER PUMP STATION AND DISCHARGE TO THE 2" LOW PRESSURE SEWER IN SAGAMORE GROVE.
 - 1.2. IF THE LOW PRESSURE SEWER IN SAGAMORE GROVE IS NOT COMPLETE, THE PROJECT WILL INSTALL A 10,000 GALLON TEMPORARY HOLDING TANK. A PERMIT FROM NHDES SUBSURFACE SYSTEMS BUREAU IS REQUIRED FOR THE INSTALLATION OF THE HOLDING TANK. WHEN THE LPSS IS COMPLETED, THE HOLDING TANK MAY BE USED TO HOUSE THE NEW E-ONE PUMP STATION.
2. ALL SEWER INSTALLATIONS AND SERVICE CONNECTIONS SHALL CONFORM TO PORTSMOUTH WATER AND SEWER DEPARTMENT STANDARDS. CONTRACTOR SHALL CONTACT CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AT 603-427-1530 TO COORDINATE INSPECTION OF SEWER AND WATER WORK.
3. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL PERMIT CONDITIONS AND REQUIREMENTS.
4. ELEVATOR SUMP TO BE CONSTRUCTED MONOLITHICALLY AND SEALED TO BE WATER TIGHT. ELEVATOR TO OPERATE ON BELT SYSTEM, NOT HYDRAULICS. EMERGENCY PUMP IN ELEVATOR SUMP TO TIE INTO SEWER.
5. THE PROPOSED SEWER DESIGN FLOW IS 1,260 GPD, BASED ON 70 GPD PER PERSON AND 3 OCCUPANTS PER UNIT. THE EXISTING SITE SEPTIC IS PERMITTED AT 1,430 GPD CAPACITY BASED ON METERED FLOW. REFERENCE "SUBSURFACE SEWERAGE DISPOSAL SYSTEM" FOR THE GOLDEN EGG, GOSSELIN LIVING TRUST, 960 SAGAMORE AVE, PORTSMOUTH, NH 03801, BY THE WRIGHT CHOICE, 10/22/2011.



133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



NOT FOR CONSTRUCTION

ISSUED FOR: PLANNING BOARD

ISSUE DATE: DECEMBER 29, 2021

| REVISIONS NO. | DESCRIPTION | BY | DATE |
|---------------|------------------|-----|----------|
| 0 | INITIAL SUBMITAL | CDB | 11/02/21 |
| 1 | TAC WS COMMENTS | CDB | 11/22/21 |
| 2 | TAC COMMENTS | CDB | 12/29/21 |

DRAWN BY: CDB
APPROVED BY: EDW
DRAWING FILE: 5079-SITE.dwg

SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

OWNER / APPLICANT:

SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:
PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT

960 SAGAMORE ROAD
PORTSMOUTH, NH 03801
TAX MAP 201, LOT 2

TITLE:

UTILITIES PLAN

SHEET NUMBER:

C-4

P5079

SEDIMENT AND EROSION CONTROL NOTES

PROJECT NAME AND LOCATION

Owner:
SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

DESCRIPTION

The project consists of the redevelopment of a commercial retail property on Sagamore Road. The existing building will be razed and replaced with a modern 2-story residential building containing six (6) new residential units, underground parking, and site amenities. Stormwater will be managed and treated with sub-surface chambers and porous pavement. Site improvements include underground utilities, landscaping and associated site improvements.

DISTURBED AREA

The total area to be disturbed on the parcel and for the building, driveway, parking area, drainage, and utility construction is approximately 26,500 SF± (less than 1-acre). The combined disturbed area does NOT exceed 43,560 SF (1 acre), thus a SWPPP will NOT be required for compliance with the USEPA-NPDES Construction General Permit. All local requirements for stormwater and erosion control during construction are still required.

NPDES CONSTRUCTION GENERAL PERMIT- exempt

Contractor shall be NOT required to prepare a Stormwater Pollution Prevention Plan (SWPPP) or file an NOI (Notice of Intent) in accordance with federal storm water permit requirements under the USEPA-NPDES Construction General Permit.

SEQUENCE OF MAJOR ACTIVITIES

- Hold a pre-construction meeting with City & stake holders.
- Install temporary erosion control measures, including drain inlet protection, silt fences, and stabilized construction exit/entrance.
- Remove existing building, disconnect and remove utilities.
- Clear and grub vegetated areas per plan; Strip and stockpile loam. Stockpiles shall be temporarily stabilized with hay bales, mulch and surrounded by a hay bale or silt fence barrier until material is removed and final grading is complete. Remove debris. Remove pavement and structures intended to be removed within the initial work limits.
- Construct utility infrastructure. Rough grade lot to prepare for site development. Stabilize swales prior to directing flow to them.
- Construct Foundations and underground garage parking, install temporary septic holding tank.
- Construct building, Construct pavement & driveway access.
- Construct stormwater treatment chambers.
- Loam and seed disturbed areas.
- When all construction activity is complete and site is stabilized, remove all silt fences and temporary structures and sediment that has been trapped by these devices.

NAME OF RECEIVING WATER

The site drainage discharges into a municipal closed drainage system outletting to Sagamore Creek.

TEMPORARY EROSION & SEDIMENT CONTROL AND STABILIZATION PRACTICES

All work shall be in accordance with state and local permits. Work shall conform to the practices described in the "New Hampshire Stormwater Manual, Volumes 1 - 3", issued December 2008, as amended. As indicated in the sequence of Major Activities, the silt fences shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area, silt fences and any earth/dikes will be removed once permanent measures are established.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet runoff from the site shall be filtered through hay bale barriers, stone check dams, and silt fences. All storm drain inlets shall be provided with hay bale filters or stone check dams. Stone rip rap shall be provided at the outlets of drain pipes and culverts where shown on the drawings.

Stabilize all ditches, swales, stormwater ponds, level spreaders and their contributing areas prior to directing flow to them.

Temporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation control plan. All areas shall be inspected and maintained until vegetative cover is established. These control measures are essential to erosion prevention and also reduce costly rework of graded and shaped areas.

Temporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, erosion and sediment control measures shall be maintained until permanent vegetation is established.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

A. GENERAL

These are general inspection and maintenance practices that shall be used to implement the plan:

- The smallest practical portion of the site shall be denuded at one time, but in no case shall it exceed 5 acres at one time.
- All control measures shall be inspected at least once each week and following any storm event of 0.25 inches or greater.
- All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours.
- Built-up sediment shall be removed from silt fence or other barriers when it has reached one-third the height of the fence or bale, or when "bulges" occur.
- All diversion dikes shall be inspected and any breaches promptly repaired.
- Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
- The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the Plans.
- All roadways and parking lots shall be stabilized within 72 hours of achieving finished grade.
- All cut and fill slopes shall be seeded/loamed within 72 hours of achieving finished grade.
- An area shall be considered stable if one of the following has occurred:
 - Base coarse gravels have been installed in areas to be paved;
 - A minimum of 85% vegetated growth as been established;
 - A minimum of 3 inches of non-erosive material such as stone of riprap has been installed;
- Erosion control blankets have been properly installed.
- The length of time of exposure of area disturbed during construction shall not exceed 45 days.

B. MULCHING

Mulch shall be used on highly erodible soils, on critically eroding areas, on areas where conservation of moisture will facilitate plant establishment, and where shown on the plans.

- Timing - In order for mulch to be effective, it must be in place prior to major storm events. There are two (2) types of standards which shall be used to assure this:
 - Apply mulch prior to any storm event. This is applicable when working within 100 feet of wetlands. It will be necessary to closely monitor weather predictions, usually by contacting the National Weather Service in Concord, to have adequate warning of significant storms.
 - Required Mulching within a specified time period. The time period can range from 21 to 28 days of inactivity on an area, the length of time varying with site conditions. Professional judgment shall be used to evaluate the interaction of site conditions (soil erodibility, season of year, extent of disturbance, proximity to sensitive resources, etc.) and the potential impact of erosion on adjacent areas to choose an appropriate time restriction.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (CON'T)

2. Guidelines for Winter Mulch Application -

| Type | Rate per 1,000 s.f. | Use and Comments |
|--|------------------------------------|---|
| Hay or Straw | 70 to 90 lbs. | Must be dry and free from mold. May be used with plantings. |
| Wood Chips or Bark Mulch | 460 to 920 lbs. | Used mostly with trees and shrub plantings. |
| Jute and Fibrous Matting (Erosion Blanket) | As per manufacturer Specifications | Used in slope areas, water courses and other Control areas. |
| Crushed Stone 1/4" to 1-1/2" dia. | Spread more than 1/2" thick | Effective in controlling wind and water erosion. |
| Erosion Control Mix | 2" thick (min) | <ul style="list-style-type: none"> The organic matter content is between 80 and 100% dry weight basis. Particle size by weight is 100% passing a 6" screen and a minimum of 70 % maximum of 85% passing a 0.75" screen. The organic portion needs to be fibrous and elongated. Large portions of silts, clays or fine sands are not acceptable in the mix. Soluble salts content is less than 4.0 mmhos/cm. The pH should fall between 5.0 and 8.0. |

- Maintenance - All mulches must be inspected periodically, in particular after rainstorms, to check for rill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied.

C. TEMPORARY GRASS COVER

- Seedbed Preparation - Apply fertilizer at the rate of 600 pounds per acre of 10-10-10. Apply limestone (equivalent to 50 percent calcium plus magnesium oxide) at a rate of three (3) tons per acre.
- Seeding -
 - Utilize annual rye grass at a rate of 40 lbs./acre.
 - Where the soil has been compacted by construction operations, loosen soil to a depth of two (2) inches before applying fertilizer, lime and seed.
 - Apply seed uniformly by hand, cyclone seeder, or hydroseeder (slurry including seed and fertilizer). Hydroseedings, which include mulch, may be left on soil surface. Seeding rates must be increased 10% when hydroseeding.
- Maintenance - Temporary seedings shall be periodically inspected. At a minimum, 95% of the soil surface should be covered by vegetation. If any evidence of erosion or sedimentation is apparent, repairs shall be made and other temporary measures used in the interim (mulch, filter barriers, check dams, etc.).

D. FILTERS

| | | |
|-----------------------------|--|---|
| 1. Tubular Sediment Barrier | a. See detail. | b. Install per manufacturer's requirements. |
| 2. Silt Fence (if used) | a. Synthetic filter fabric shall be a previous sheet of propylene, nylon, polyester or ethylene yarn and shall be certified by the manufacturer or supplier as conforming to the following requirements: | |
| | Physical Property | Test |
| | Filtering Efficiency | VTM-51 |
| | Tensile Strength at 20% Maximum Elongation* | VTM-52 |
| | | Extra Strength 50 lb./lin in (min) Standard Strength 30 lb./lin in (min) |
| | Flow Rate | VTM-51 |
| | | 0.3 gal/sf/min (min) |

* Requirements reduced by 50 percent after six (6) months of installation.

Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizer to provide a minimum of six (6) months of expected usable construction life at a temperature range of 0 degrees F to 120° F.

- Posts shall be spaced a maximum of ten (10) feet apart at the barrier location or as recommended by the manufacturer and driven securely into the ground (minimum of 16 inches).
- A trench shall be excavated approximately six (6) inches wide and eight (8) inches deep along the line of posts and upslope from the barrier.
- When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least one (1) inch long, the wires or hog rings. The wire shall extend no more than 36 inches above the original ground surfaces.
- The "standard strength" filter fabric shall be stapled or wired to the fence, and eight (8) inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
- When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of item (g) applying.
- The trench shall be backfilled and the soil compacted over the filter fabric.
- Silt fences shall be removed when they have served their useful purpose but not before the upslope areas have been permanently stabilized.

- Sequence of Installation - Sediment barriers shall be installed prior to any soil disturbance of the contributing upslope drainage area.

- Maintenance -
 - Silt fence barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired if there are any signs of erosion or sedimentation below them. Any required repairs shall be made immediately. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water, the sediment barriers shall be replaced with a temporary stone check dam.
 - Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier still is necessary, the fabric shall be replaced promptly.
 - Sediment deposits must be removed when deposits reach approximately one-third (1/3) the height of the barrier.
 - Any sediment deposits remaining in place after the silt fence or other barrier is no longer required shall be removed. The area shall be prepared and seeded.

- Additional stone may have to be added to the construction entrance, rock barrier and riprap lined swales, etc., periodically to maintain proper function of the erosion control structure.

E. PERMANENT SEEDING -

- Bedding - stones larger than 1 1/2", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 5" to prepare a seedbed and mix fertilizer into the soil.
- Fertilizer - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:
 - Agricultural Limestone @ 100 lbs. per 1,000 s.f.
 - 10-20-20 fertilizer @ 12 lbs. per 1,000 s.f.
- Seed Mixture (See Landscape Drawings for additional information):
 - Lawn seed mix shall be a fresh, clean new seed crop. The Contractor shall furnish a dealer's guaranteed statement of the composition of the mixture and the percentage of purity and germination of each variety.
 - Seed mixture shall consist of:
 - 1/3 Kentucky blue,
 - 1/3 perennial rye, and
 - 1/3 fine fescue.
 - Turf type tall fescue is unacceptable.
- Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook. Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/silt), etc.

WINTER CONSTRUCTION NOTES

- All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events;
- All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
- After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel per NHDOT Item 304.3.

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Long Term Inspection & Maintenance Schedule

| | Spring | Fall or Vearly | After Major Storm | Every 2-5 Years |
|---|--------|----------------|-------------------|-----------------|
| Vegetated Areas | | | | |
| Inspect all slopes and embankments | x | | x | |
| Replant bare areas or areas with sparse growth | x | | x | |
| Armor areas with rill erosion with an appropriate lining or divert the erosive flows to on-site areas able to withstand concentrated flows. | x | | x | |
| Stormwater Channels: | | | | |
| Inspect ditches, swales and other open stormwater channels | x | x | x | |
| Remove any obstructions and accumulated sediments or debris | x | x | | |
| Control vegetated growth and woody vegetation | | x | | |
| Repair any erosion of the ditch lining | | x | | |
| Mow vegetated ditches | | x | | |
| Remove woody vegetation growing through riprap | | x | | |
| Repair any slumping side slopes | | x | | |
| Replace riprap where underlying filter fabric or underdrain gravel is exposed or where stones have been dislodged | | x | | |
| Culverts | | | | |
| Remove accumulated sediments and debris at inlet, outlet and within the conduit | x | x | x | |
| Repair any erosion damage at the culvert's inlet and outlet | x | x | x | |
| Remove woody vegetation growing through riprap | | x | | |
| Roadways and Parking Surfaces | | | | |
| Remove accumulated winter sand along roadways | x | | | |
| Sweep pavement to remove sediment | x | | | |
| Grade road shoulders and remove excess sand either manually or by a front-end loader | x | | | |
| Grade gravel roads and gravel shoulders | x | | | |
| Clean out sediment contained in water bars or open-top culverts | x | | | |
| Ensure that stormwater is not impeded by accumulations of material or false ditches in the roadway shoulder | x | | | |
| Runoff Diversion Facilities | | | | |
| Remove dead vegetation and any accumulated sediment (normally at the entrance to the garden) to allow for new growth | x | | | |
| Weed, add additional hardwood mulch to suppress weeds | x | x | | |
| Mow turf three (3) times a growing season | | | | |
| Aerate area with deep tines, if water ponds on the surface for more than 24 hours during the first year or for a length of 72 hours | | x | | |
| Vegetative Swale | | | | |
| Mow grass swales monthly | | | | |
| Inspect swale following significant rainfall event | x | x | x | |
| Control vegetated growth and woody vegetation | x | x | | |
| Repair any erosion of the ditch | x | x | | |
| Remove debris and litter as necessary | x | x | | |

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

ALTUS
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



NOT FOR CONSTRUCTION

ISSUED FOR:

PLANNING BOARD

ISSUE DATE:

NOVEMBER 22, 2021

REVISIONS

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------|-----|----------|
| 0 | INITIAL SUBMITTAL | CDB | 11/02/21 |
| 1 | TAC WS COMMENTS | CDB | 11/22/21 |

DRAWN BY: _____ CDB

APPROVED BY: _____ EDW

DRAWING FILE: 5079-SITE.dwg

SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

OWNER / APPLICANT:

SAGAMORE CORNER, LLC

273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:

PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT
TAX MAP 201, LOT 2

SAGAMORE ROAD
PORTSMOUTH, NH 03801

TITLE:

EROSION CONTROL
NOTES AND DETAILS

SHEET NUMBER:

C-5

CONSTRUCTION SPECIFICATIONS

- REFERENCE NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3 (LATEST EDITION), SECTION 4.2 "TEMPORARY CONSTRUCTION EXIT" REQUIREMENTS AND BMP DETAIL.
- STONE SIZE - 3" COARSE AGGREGATE
- THICKNESS - SIX (6) INCHES (MINIMUM)
- LENGTH - 75 FOOT MINIMUM, OR 50 FOOT ALLOWED WHEN DIVERSION RIDGE IS PROVIDED.
- WIDTH - 1/2 OF DRIVEWAY (10 FOOT MINIMUM)
- FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL.
- SURFACE WATER CONTROL - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION EXIT NOT TO SCALE

NOTE:

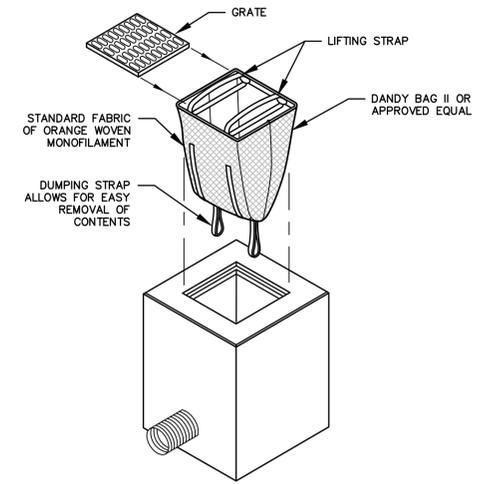
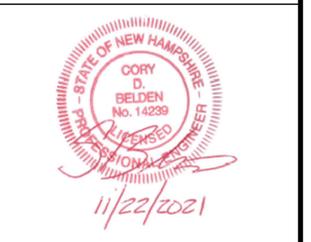
ALL FACILITIES SHOULD BE INSPECTED ON AN ANNUAL BASIS AT A MINIMUM. IN ADDITION, ALL FACILITIES SHOULD BE INSPECTED AFTER A SIGNIFICANT PRECIPITATION EVENT TO ENSURE THE FACILITY IS DRAINING APPROPRIATELY AND TO IDENTIFY ANY DAMAGE THAT OCCURRED AS A RESULT OF THE INCREASED RUNOFF. FOR THE PURPOSE OF THIS STORMWATER MANAGEMENT PROGRAM, A SIGNIFICANT RAINFALL EVENT IS CONSIDERED AN EVENT OF THREE (3) INCHES IN A 24-HOUR PERIOD OR 0.25 INCHES IN A ONE-HOUR PERIOD. IT IS ANTICIPATED THAT A SHORT, INTENSE EVENT IS LIKELY TO HAVE A HIGHER POTENTIAL OF EROSION FOR THIS SITE THAN A LONGER, HIGH VOLUME EVENT.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

ALTUS ENGINEERING, INC.

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INSTALLATION AND MAINTENANCE:

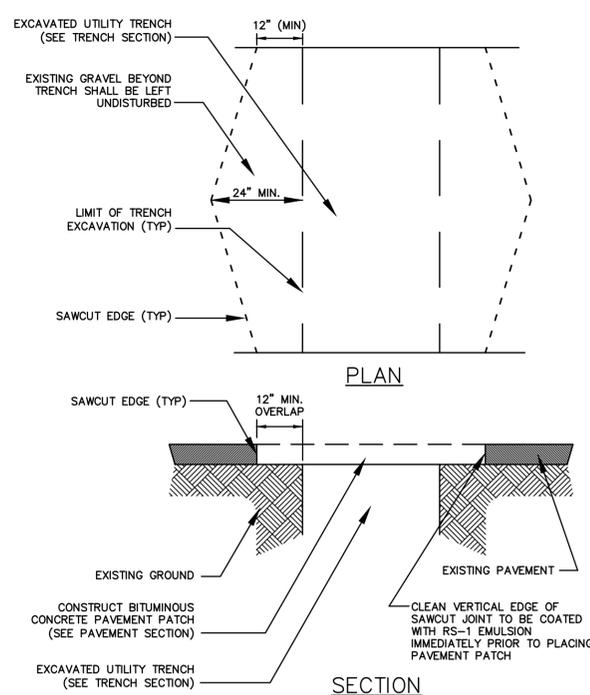
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLON IN UNIT. STAND GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO CATCH BASIN. INSERT SO THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE CATCH BASIN INSERT. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY THE UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

UNACCEPTABLE INLET PROTECTION METHOD:

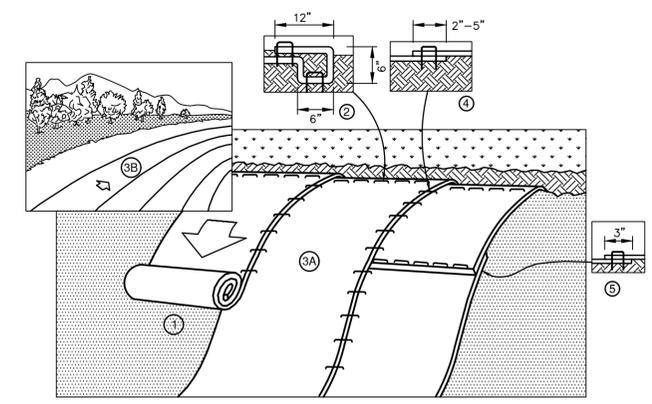
A SIMPLE SHEET OF GEOTEXTILE UNDER THE GRATE IS NOT ACCEPTABLE.

STORM DRAIN INLET PROTECTION NOT TO SCALE



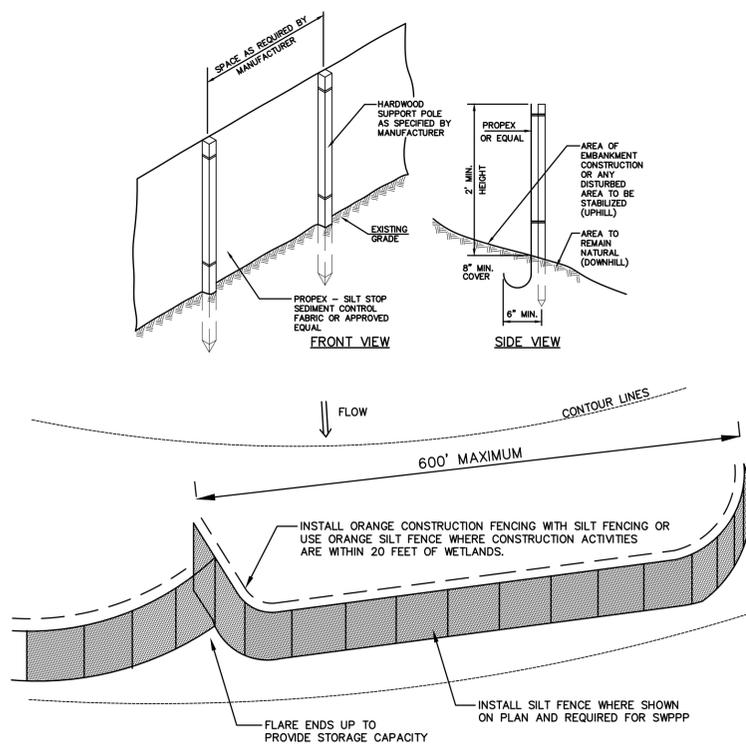
- NOTES:**
1. MACHINE CUT EXISTING PAVEMENT.
 2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
 3. DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

TYPICAL TRENCH PATCH NOT TO SCALE

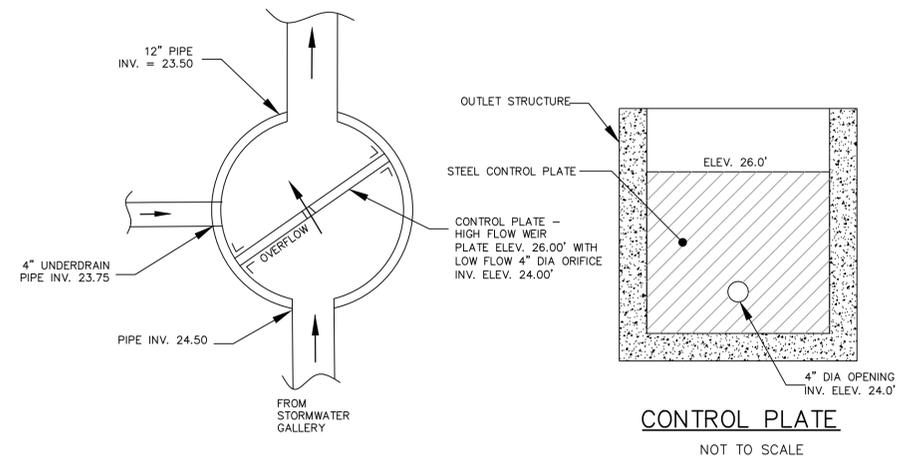


- NOTES:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

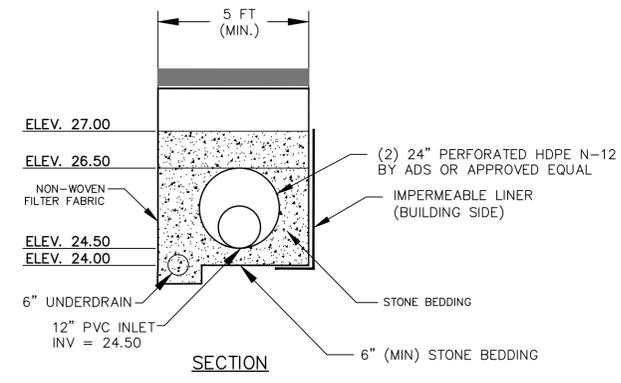
EROSION CONTROL BLANKET - SLOPE NOT TO SCALE



SILT AND ORANGE CONSTRUCTION FENCE DETAIL NOT TO SCALE

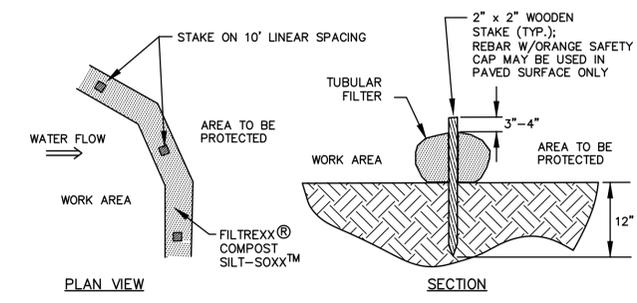


OUTLET CONTROL STRUCTURE NOT TO SCALE



NOTE: PERFERATED PIPES TO BE LAYED FLAT. 6" MINIMUM THICKNESS OF ROCK ABOVE AND BELOW PIPE

STORMWATER MANAGEMENT GALLERY NOT TO SCALE



- NOTES:**
1. SILTSOXX OR APPROVED EQUAL SHALL BE USED FOR TUBULAR SEDIMENT BARRIERS.
 2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS.
 3. COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 4. ALL SEDIMENT TRAPPED BY BARRIER SHALL BE DISPOSED OF PROPERLY.

TUBULAR SEDIMENT BARRIER DETAIL NOT TO SCALE

NOT FOR CONSTRUCTION

ISSUED FOR: **PLANNING BOARD**

ISSUE DATE: **NOVEMBER 22, 2021**

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------|-----|----------|
| 0 | INITIAL SUBMITTAL | CDB | 11/02/21 |
| 1 | TAC WS COMMENTS | CDB | 11/22/21 |

DRAWN BY: _____ CDB
APPROVED BY: _____ EDW
DRAWING FILE: 5079-SITE.dwg

SCALE: **22"x34" 1" = 20'**
11"x17" 1" = 40'

OWNER / APPLICANT:

SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
TAX MAP 201, LOT 2
SAGAMORE ROAD
PORTSMOUTH, NH 03801

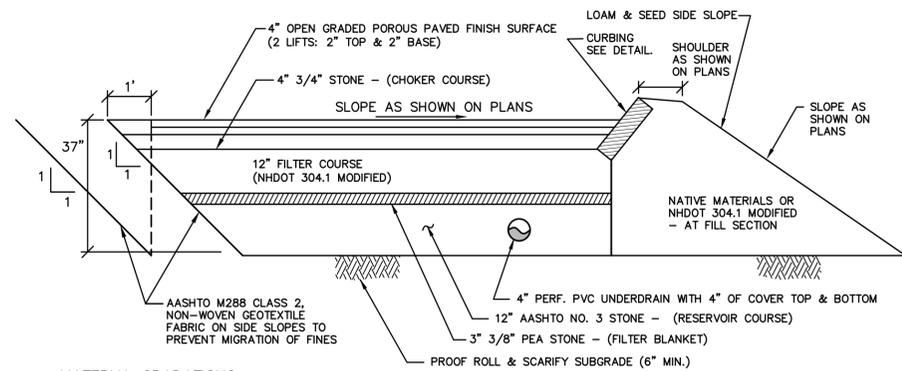
TITLE:

CONSTRUCTION DETAILS

SHEET NUMBER:

C-6

P5079



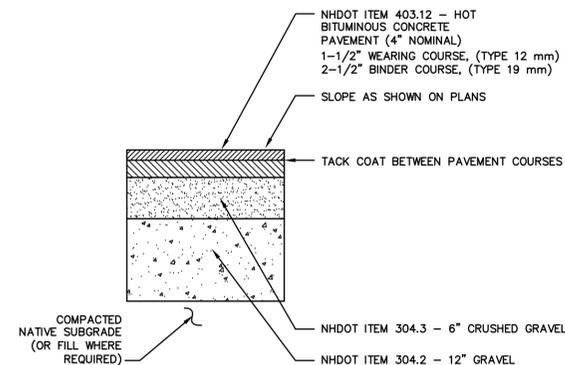
MATERIAL GRADATIONS

| RESERVOIR COURSE | | CHOKER COURSE STONE | | GRAVEL FILTER COURSE (NHDOT 304.1 MODIFIED) | | 3/8\"/> | |
|------------------|---------------------|---------------------|---------------------|---|---------------------|------------|---------------------|
| SIEVE SIZE | % PASSING BY WEIGHT | SIEVE SIZE | % PASSING BY WEIGHT | SIEVE SIZE | % PASSING BY WEIGHT | SIEVE SIZE | % PASSING BY WEIGHT |
| 2-1/2" | 100 | 1-1/2" | 100 | 6" | 100 | 1/2" | 100 |
| 2" | 90 - 100 | 1" | 95 - 100 | # 4 | 70 - 100 | 3/8" | 85 - 100 |
| 1-1/2" | 35 - 70 | 1/2" | 25 - 60 | # 200 | 0 - 6 | # 4 | 10 - 30 |
| 1" | 0 - 15 | # 4 | 0 - 10 | | | # 8 | 0 - 10 |
| 1/2" | 0 - 5 | # 8 | 0 - 5 | | | # 16 | 0 - 15 |

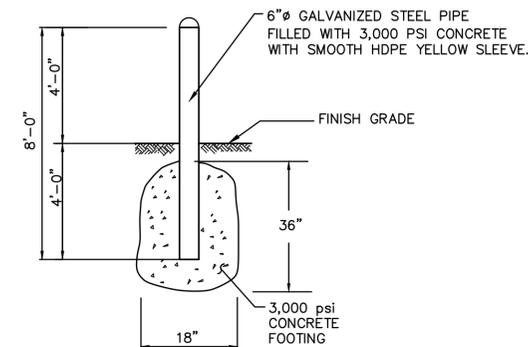
POROUS PAVEMENT CROSS SECTION

NOT TO SCALE

- NOTES:**
- DESIGN OF POROUS PAVEMENT SHALL BE IN ACCORDANCE WITH UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS.
 - CONTRACTOR TO REMOVE ANY EXISTING BURIED LAYERS OF LOAM OR UNSUITABLE MATERIAL DURING THE EXCAVATION OF THE PARKING AREA AND/OR WHENEVER ENCOUNTERED IN TRENCHES.
 - A PROFESSIONAL ENGINEER SHALL INSPECT SITE PREPARATION AND INSTALLATION OF POROUS PAVEMENT.
 - THE TOP LAYER (WEARING COURSE) SHALL BE PRE-BLENDED PG 76-28 MODIFIED WITH SBS. THE BASE COURSE SHOULD BE, AT A MINIMUM, PG 64-28 WITH 5 POUNDS OF FIBER PER TON ASPHALT MIX. IF SUFFICIENT STAGING OR USE OF THE BASE COURSE SECTION WILL BE REQUIRED PRIOR TO THE APPLICATION OF THE WEARING COURSE, THE ENGINEER MAY DECIDE TO USE PRE-BLENDED PG 64V-28 MODIFIED WITH SBS ON BOTH COURSES.
 - CONTRACTOR SHALL PROVIDE SUBMITTALS FOR POROUS PAVEMENT & SUBGRADE MATERIALS AS NOTED IN THE ABOVE SPECIFICATION A MINIMUM OF 14-DAYS PRIOR TO COMMENCING CONSTRUCTION.
 - THE CONSTRUCTION OF THE POROUS PAVEMENT SHALL BE IN ACCORDANCE WITH THE UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS.

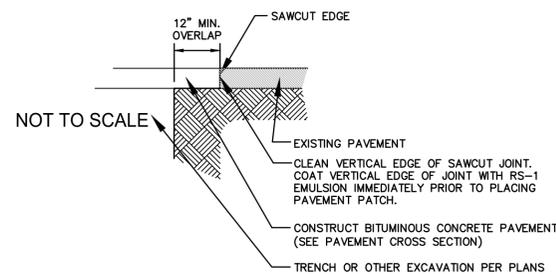


PENDING GEOTECH REPORT PAVEMENT CROSS SECTION



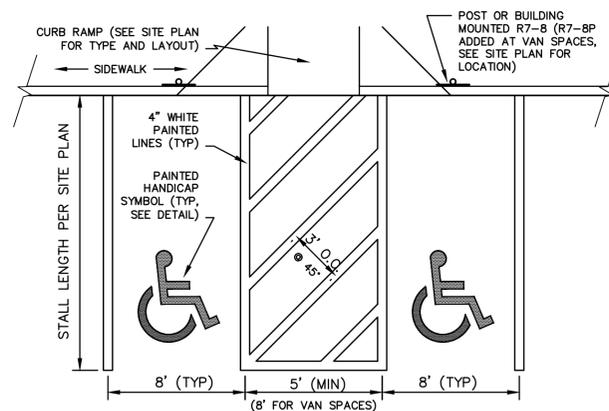
BOLLARD

NOT TO SCALE



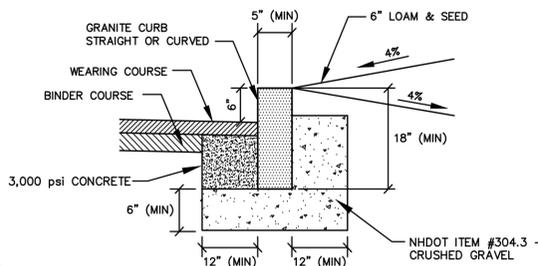
TYPICAL PAVEMENT SAWCUT

NOT TO SCALE



PARKING STALL LAYOUT

NOT TO SCALE



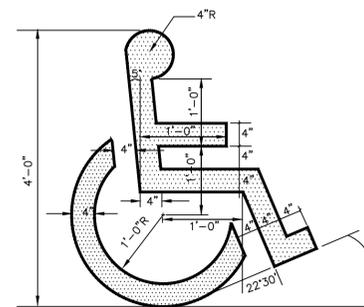
NOTES:

- SEE PLANS FOR CURB LOCATION.
- SEE PLANS FOR PAVEMENT CROSS SECTION.
- ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
- MINIMUM LENGTH OF CURB STONES = 4'.
- MAXIMUM LENGTH OF CURB STONES = 10'.
- MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
- CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALL FOR ON THE PLANS.
- CURB SHALL BE INSTALLED PRIOR TO PLACEMENT OF TOP PAVEMENT COURSE.
- JOINTS BETWEEN CURB STONES SHALL BE MORTARED.

| RADIUS | MAX. LENGTH |
|----------|-------------|
| 21' | 3' |
| 22'-28' | 4' |
| 29'-35' | 5' |
| 36'-42' | 6' |
| 43'-49' | 7' |
| 50'-56' | 8' |
| 57'-60' | 9' |
| OVER 60' | 10' |

VERTICAL GRANITE CURB

NOT TO SCALE

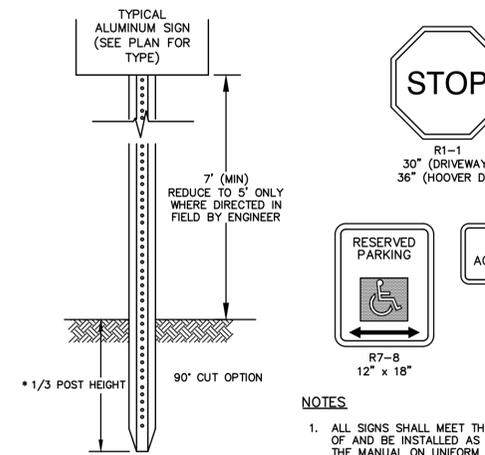
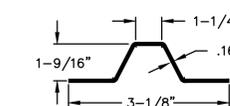


NOTES:

- SYMBOL TO BE PAINTED IN ALL HANDICAPPED ACCESSIBLE SPACES IN WHITE PAINT (BLUE-PAINTED SQUARE BACKGROUND OPTIONAL).

PAINTED ADA SYMBOL

NOT TO SCALE



LENGTH: AS REQUIRED

WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)

HOLES: 3/8\"/>

STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)

SIGN DETAILS

NOT TO SCALE

NOT FOR CONSTRUCTION

ISSUED FOR:

PLANNING BOARD

ISSUE DATE:

NOVEMBER 22, 2021

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| 1 | TAC WS COMMENTS | CDB | 11/22/21 |

DRAWN BY: _____ CDB

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DRAWING FILE: 5079-SITE.dwg

SCALE: 22"x34" 1" = 20'

11"x17" 1" = 40'

OWNER / APPLICANT:

SAGAMORE CORNER, LLC

273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:

PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT
TAX MAP 201, LOT 2

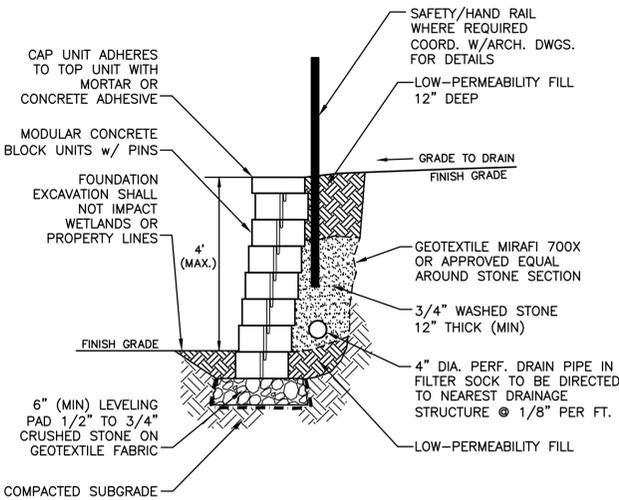
SAGAMORE ROAD
PORTSMOUTH, NH 03801

TITLE:

CONSTRUCTION
DETAILS

SHEET NUMBER:

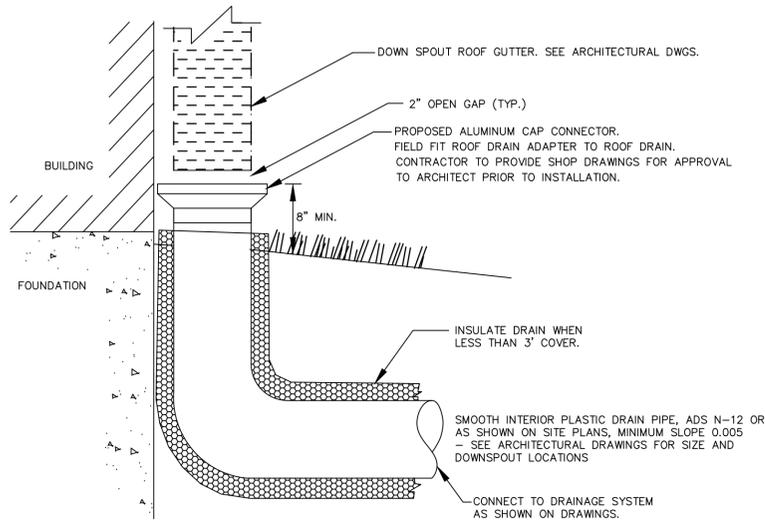
C-7



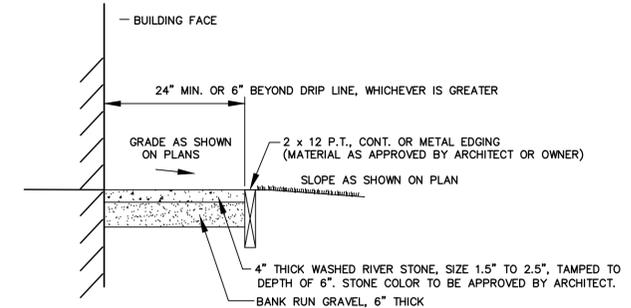
NOTES:

1. MODULAR BLOCK WALLS SHALL BE "DIAMOND PRO" RETAINING WALL SYSTEMS WITH CONCRETE BLOCKS MEASURING APPROXIMATELY 8"x16"x12" WITH WALL CAP. USE OF A DIFFERENT MODULAR BLOCK SYSTEM SHALL BE APPROVED BY BOTH THE OWNER AND ENGINEER.
2. WALL SHALL BE INSTALLED PER THE REQUIREMENTS OF THE MANUFACTURER.
3. WALL HEIGHT SHALL NOT EXCEED 4' WITHOUT DESIGN DRAWINGS STAMPED BY A PROFESSIONAL STRUCTURAL ENGINEER. WALLS EXCEEDING 4 FT IN HEIGHT WILL REQUIRE GEOSYNTHETIC REINFORCING OR ANCHORPLEX RETRAINING WALL SYSTEMS.
4. LOCKING PINS MAY OR MAY NOT BE REQUIRED BASED ON THE WALL MANUFACTURER APPROVED BY THE ENGINEER.
5. WALL SHALL BE EMBEDDED BELOW EXISTING GRADE THE DEPTH OF AT LEAST ONE BLOCK UNLESS OTHERWISE SPECIFIED BY THE WALL MANUFACTURER.
6. WALL BATTER SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS.
7. BLOCK FINISH SHALL BE AT THE DISCRETION OF THE OWNER.

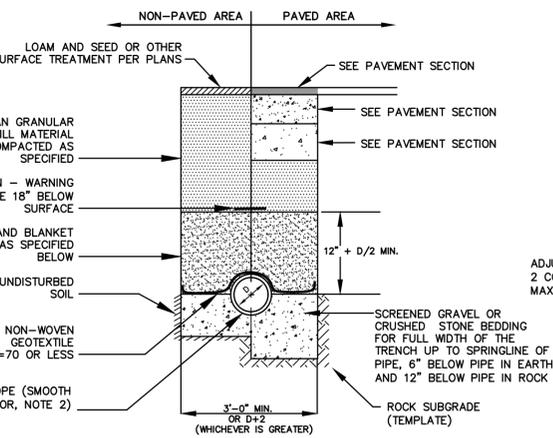
MODULAR BLOCK RETAINING WALL NOT TO SCALE



ROOF DRAIN NOT TO SCALE



DRIP EDGE DETAIL NOT TO SCALE



NOTE: NO MANHOLE STEPS.

ADJUST TO GRADE WITH BRICK, 2 COURSES (MINIMUM) MAXIMUM 12" ADJUSTMENT

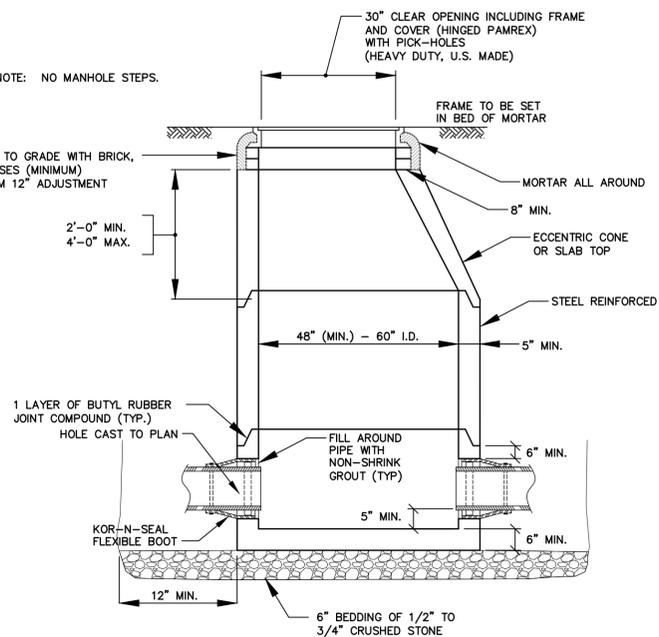
NOTES:

1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
2. ALL PIPE SHALL BE HDPE WITH SMOOTH INTERIOR AND CORRUGATED EXTERIOR, ADS TYPE N-12 OR APPROVED EQUAL.

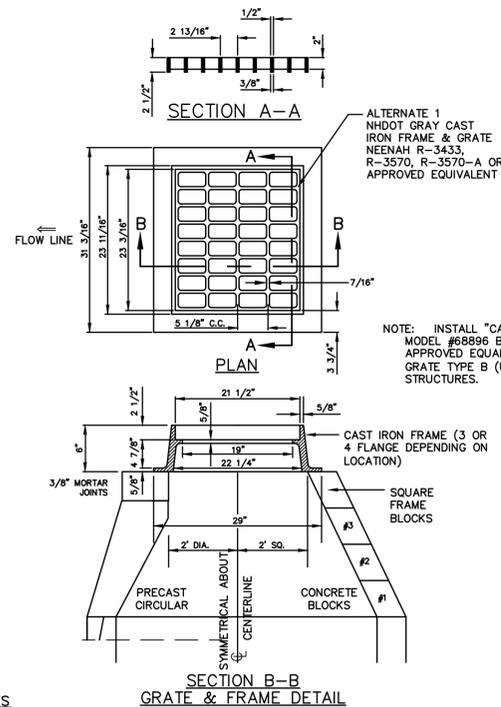
| SAND BLANKET/BARRIER | | SCREENED GRAVEL OR CRUSHED STONE BEDDING* | |
|----------------------|-------------------|---|---------------------|
| SIEVE SIZE | % FINER BY WEIGHT | SIEVE SIZE | % PASSING BY WEIGHT |
| 1/2" | 90 - 100 | 1" | 100 |
| 200 | 0 - 15 | 3/4" | 90 - 100 |
| | | 3/8" | 20 - 55 |
| | | # 4 | 0 - 10 |
| | | # 8 | 0 - 5 |

* EQUIVALENT TO STANDARD STONE SIZE #87 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

STORM DRAIN TRENCH NOT TO SCALE



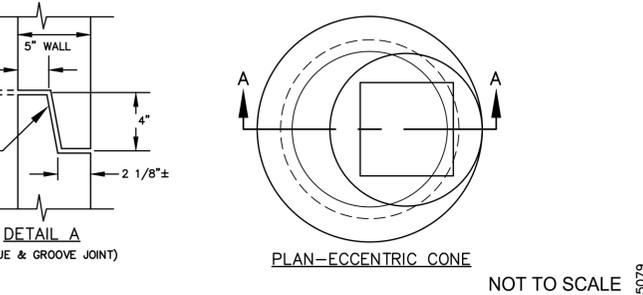
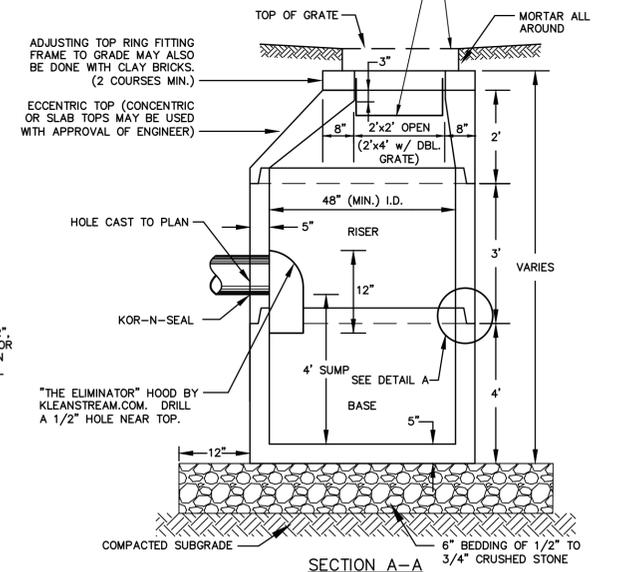
DRAIN MANHOLE DETAIL NOT TO SCALE



NOTES:

1. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI).
2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
3. THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
4. RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
5. THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
6. USE H2O LOADING SLAB TOP SECTION IN LIEU OF ECCENTRIC TOP WHERE PIPE INVERT IS WITHIN 4' OF FINISH GRADE.
7. FRAME AND GRATE DIMENSIONS ARE TYPICAL BUT MAY VARY BASED ON PRODUCT SELECTED OR EQUIVALENT APPROVED BY THE ENGINEER.

DEEP SUMP CATCH BASIN



PLAN-ECCENTRIC CONE NOT TO SCALE

APPROVED BY THE PORTSMOUTH PLANNING BOARD
CHAIRMAN _____ DATE _____

ALTUS ENGINEERING, INC.
133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

STATE OF NEW HAMPSHIRE
CORY D. BELDEN
No. 14239
11/22/2021

NOT FOR CONSTRUCTION
ISSUED FOR: PLANNING BOARD
ISSUE DATE: NOVEMBER 22, 2021

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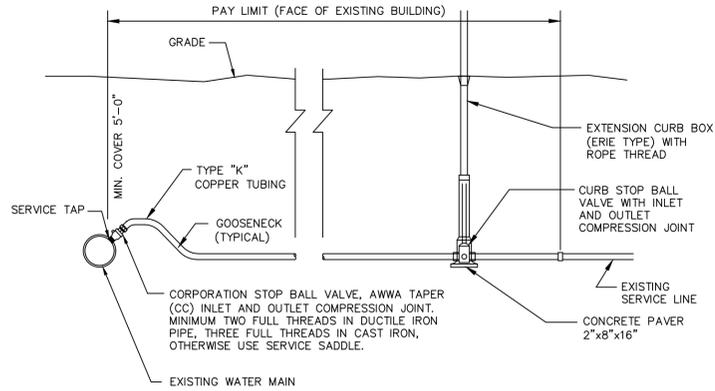
SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

OWNER / APPLICANT:
SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:
PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT
TAX MAP 201, LOT 2
SAGAMORE ROAD
PORTSMOUTH, NH 03801

TITLE:
CONSTRUCTION
DETAILS

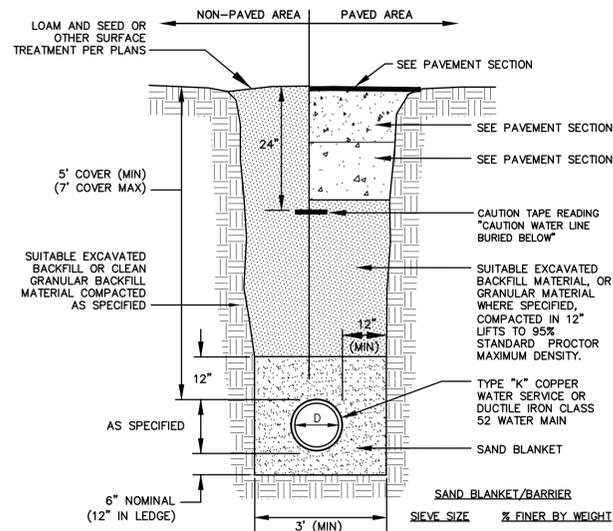
SHEET NUMBER:
C-8



NOTES

1. PROVIDE NEW LINE USING CONTINUOUS LENGTHS OF COPPER. NO COUPLING ALLOWED IN ROADWAY WITHOUT APPROVAL OF ENGINEER.
2. TAPS TO BE MADE AT APPROXIMATELY 2:00 & 10:00
3. PROVIDE FOR SERVICE LINE CONTRACTION AND EXPANSION BY INSTALLING "S" IN SERVICE LINE NEAR MAIN.
4. IF SERVICE IS INSTALLED WITH LESS THAN 5' COVER, INSULATE OVER LINE.
5. REMOVE EXISTING CURB STOP.
6. CONNECT CURB STOP TO EXISTING SERVICE LINE AT PROPERTY LINE OR AT LOCATION APPROVED BY THE ENGINEER (NO COUPLING WITHOUT APPROVAL OF ENGINEER) AFTER PRESSURE TESTING AND DISINFECTION.
7. SHUT OFF EXISTING CORPORATION AND REMOVE OR ABANDON EXISTING SERVICE LINE.
8. CURB BOX SHALL BE SET IN THE GRASS/LANDSCAPE AREA BETWEEN CURB AND SIDEWALK UNLESS DIRECTED OTHERWISE.
9. 2" OR LARGER SERVICE CONNECTIONS SHALL USE A STAINLESS STEEL SERVICE SADDLE.

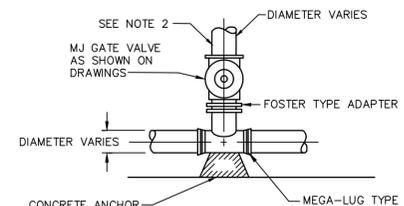
SERVICE CONNECTION DETAIL NOT TO SCALE



NOTES

1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
2. WATER MAINS SHALL BE POLY WRAPPED.
3. WATER MAINS SHALL HAVE 3 WEDGES PER JOINT.

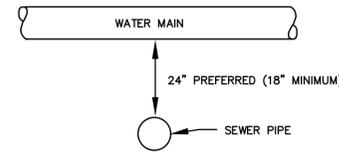
WATER TRENCH NOT TO SCALE



NOTES:

1. GATE VALVES SHALL OPEN RIGHT, PER CITY STANDARDS.
2. BRANCH PIPING SHALL BE MECHANICALLY RESTRAINED AS NOTED UNDER THRUST BLOCK DETAIL REQUIREMENTS.

TEE & GATE VALVE ASSEMBLY DETAIL NOT TO SCALE

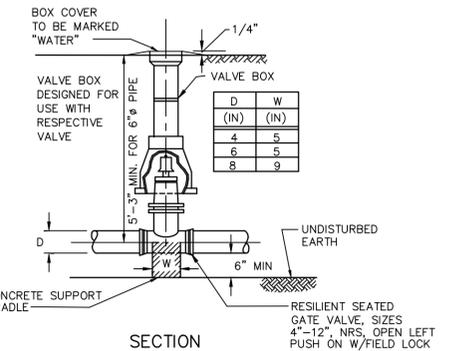


NOTES

1. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER MAINS. A MINIMUM VERTICAL DISTANCE WITH WATER ABOVE SEWER SHALL BE MAINTAINED.
2. SEWER PIPE JOINTS SHALL BE LOCATED A MINIMUM OF 6 FEET HORIZONTALLY FROM WATER MAIN.
3. IF THE REQUIRED CONFIGURATION CANNOT BE MET, THE SEWER MAIN SHALL BE CONSTRUCTED TO MEET THE NHDES REQUIREMENTS FOR FORCE MAIN CONSTRUCTION.

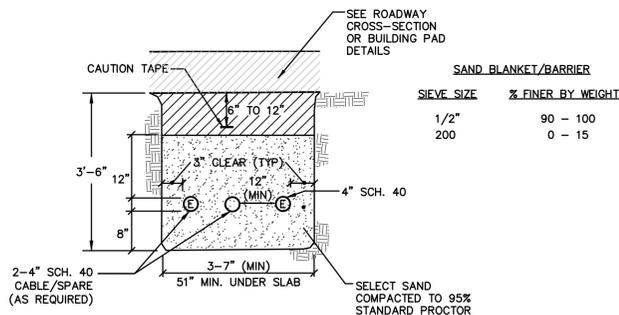
WATER / SEWER CROSSING NOT TO SCALE

APPROVED BY THE PORTSMOUTH PLANNING BOARD
CHAIRMAN _____ DATE _____



SECTION

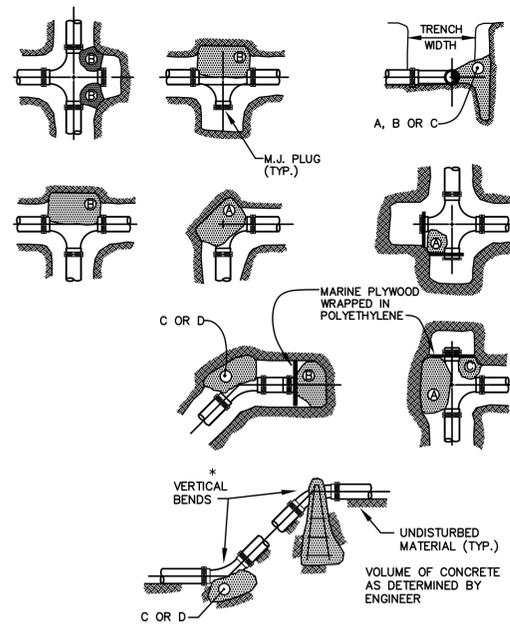
WATER VALVE DETAIL NOT TO SCALE



NOTES

1. ALL CONDUIT IS TO BE SCHEDULE 40 PVC, ELECTRICAL GRADE, GRAY IN COLOR AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. A 10-FOOT HORIZONTAL SECTION OF RIGID GALVANIZED STEEL CONDUIT WILL BE REQUIRED AT EACH SWEEP, UNLESS IN THE OPINION OF THE SERVICE PROVIDER DESIGNER, THE SWEEP-PVC JOINT IS NOT SUBJECT TO FAILURE DURING PULLING OF THE CABLE. ALL JOINTS ARE TO BE WATERTIGHT.
2. ALL 90 DEGREE SWEEPS WILL BE MADE WITH RIGID GALVANIZED STEEL WITH A MINIMUM RADIUS OF 36 INCHES FOR PRIMARY CABLES AND 24 INCHES FOR SECONDARY CABLES.
3. BACKFILL MAY BE MADE WITH EXCAVATED MATERIAL OR COMPARABLE, UNLESS MATERIAL IS DEEMED UNSUITABLE BY SERVICE PROVIDER. BACKFILL SHALL BE FREE OF FROZEN LUMPS, ROCKS, DEBRIS, AND RUBBISH. ORGANIC MATERIAL SHALL NOT BE USED AS BACKFILL. BACKFILL SHALL BE IN 6-INCH LAYERS AND THOROUGHLY COMPACTED.
4. A SUITABLE PULLING STRING, CAPABLE OF 300 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE SERVICE PROVIDER IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT. A MINIMUM OF TWENTY-FOUR (24") INCHES OF ROPE SLACK SHALL REMAIN AT THE END OF EACH DUCT. PULL ROPE SHALL BE INSTALLED IN ALL CONDUIT FOR FUTURE PULLS. PULL ROPE SHALL BE NYLON ROPE HAVING A MINIMUM TENSILE STRENGTH OF THREE HUNDRED (300#) LBS.
5. SERVICE PROVIDER SHALL BE GIVEN THE OPPORTUNITY TO INSPECT ALL CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD SERVICE PROVIDER BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
6. TYPICAL CONDUIT SIZES ARE 3-INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4-INCH FOR THREE PHASE SECONDARY, AND 5-INCH FOR THREE PHASE PRIMARY. HOWEVER, SERVICE PROVIDERS MAY REQUIRE DIFFERENT NUMBERS, TYPES AND SIZES OF CONDUIT THAT THOSE SHOWN HERE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDUIT SIZES, TYPES AND NUMBERS WITH EACH SERVICE PROVIDER PRIOR TO ORDERING THEM.
7. ROUTING OF CONDUIT, LOCATION OF MANHOLES, TRANSFORMERS, CABINETS, HANDHOLES, ETC., SHALL BE DETERMINED BY SERVICE PROVIDER DESIGN PERSONNEL. THE CONTRACTOR SHALL COORDINATE WITH ALL SERVICE PROVIDERS PRIOR TO THE INSTALLATION OF ANY CONDUIT.
8. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE. WHERE REQUIRED BY UTILITY PROVIDER, CONDUIT SHALL BE SUPPORTED IN PLACE USING PIPE STANCHIONS PLACED EVERY FIVE (5') FEET ALONG THE CONDUIT RUN.
9. UNDER A BUILDING SLAB THE CONDUIT SHALL BE ENCASED IN 8" OF CONCRETE ON ALL SIDES.
10. ALL CONDUIT TERMINATIONS SHALL BE CAPPED TO PREVENT DEBRIS FROM ENTERING CONDUIT.

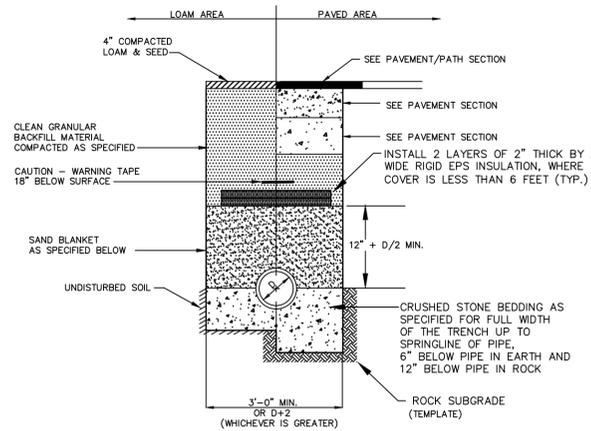
ELECTRIC / COMMUNICATION TRENCH NOT TO SCALE



NOTES:

1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
5. POLYETHYLENE (6 MIL) SHALL BE PLACED AROUND FITTINGS PRIOR TO CONCRETE PLACEMENT.

THRUST BLOCKING DETAIL NOT TO SCALE



BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

| SAND BLANKET | | CRUSHED STONE BEDDING * | |
|--------------|-------------------|-------------------------|---------------------|
| SIEVE SIZE | % FINER BY WEIGHT | SIEVE SIZE | % PASSING BY WEIGHT |
| 1/2" | 90 - 100 | 1" | 100 |
| 200 | 0 - 15 | 3/4" | 90 - 100 |
| | | 3/8" | 20 - 55 |
| | | # 4 | 0 - 10 |
| | | # 8 | 0 - 5 |

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

SEWER TRENCH SECTION NOT TO SCALE

STANDARD TRENCH NOTES:

1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE: BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN OF THE DRAWING.
2. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE NO. 67.

| | |
|-----------|-------------------------|
| 100% | PASSING 1 INCH SCREEN |
| 90 - 100% | PASSING 3/4 INCH SCREEN |
| 20 - 55% | PASSING 3/8 INCH SCREEN |
| 0-10% | PASSING #4 SIEVE |
| 0-5% | PASSING #8 SIEVE |
3. SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90 - 100% PASSES 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER, THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
4. SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK; PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
5. BASE COURSE AND PAVEMENT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
6. SHEETING, IF REQUIRED: WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
7. W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
8. FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
9. CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATION REQUIREMENTS FOR CLASS A (3000#) CONCRETE AS FOLLOWS: CEMENT: 6.0 BAGS PER CUBIC YARD. WATER: 5.75 GALLONS PER BAG CEMENT. MAXIMUM SIZE OF AGGREGATE: 1 INCH CONCRETE ENCASEMENT IS NOT ALLOWED FOR PVC PIPE.
10. CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
11. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE TEN FEET (10') SEPARATION BETWEEN WATER AND SEWER. REFER TO CITY'S STANDARD SPECIFICATIONS FOR METHODS OF PROTECTION IN AREAS THAT CANNOT MEET THESE REQUIREMENTS.

ALTUS ENGINEERING, INC.
133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

STATE OF NEW HAMPSHIRE
CORY D. BELDEN
No. 14239
APPROVED
11/22/2021

NOT FOR CONSTRUCTION
ISSUED FOR: PLANNING BOARD

ISSUE DATE: NOVEMBER 22, 2021

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------|-----|----------|
| 0 | INITIAL SUBMITTAL | CDB | 11/02/21 |
| 1 | TAC WS COMMENTS | CDB | 11/22/21 |

DRAWN BY: _____ CDB
APPROVED BY: _____ EDW
DRAWING FILE: 5079-SITE.dwg

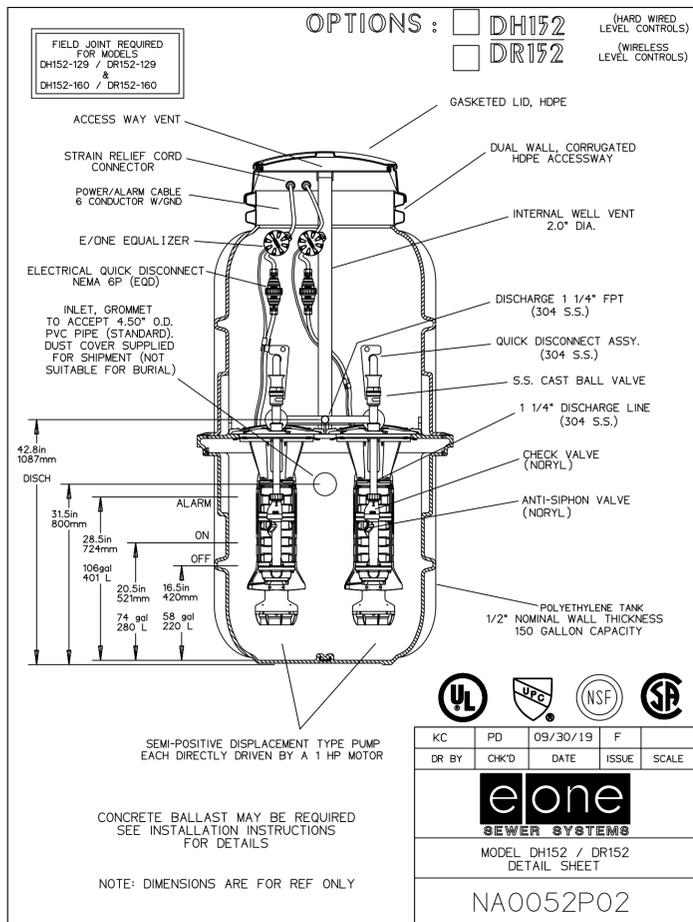
SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

OWNER / APPLICANT:
SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:
PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT
TAX MAP 201, LOT 2
SAGAMORE ROAD
PORTSMOUTH, NH 03801

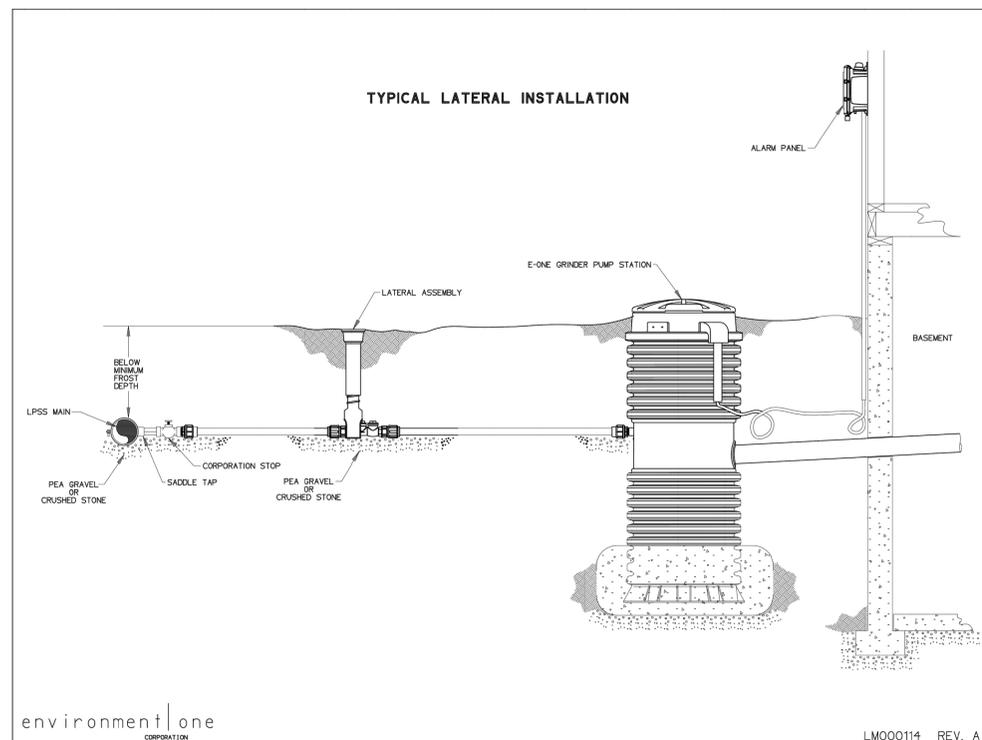
TITLE:
CONSTRUCTION
DETAILS

SHEET NUMBER:
C-9



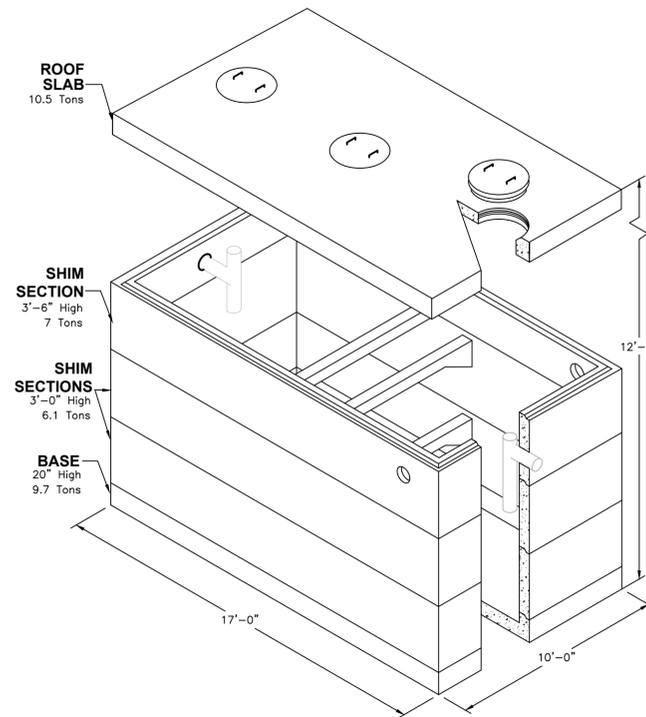
E-ONE GRINDER PUMP DETAIL

NOT TO SCALE



E-ONE TYPICAL SEWER SERVICE INSTALLATION

NOT TO SCALE



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

ALTUS ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: NOVEMBER 22, 2021

| REVISIONS | NO. | DESCRIPTION | BY | DATE |
|-----------|-------------------|-------------|-----|----------|
| 0 | INITIAL SUBMITTAL | | CDB | 11/22/21 |

DRAWN BY: _____ CDB

APPROVED BY: _____ EDW

DRAWING FILE: 5079-SITE.dwg

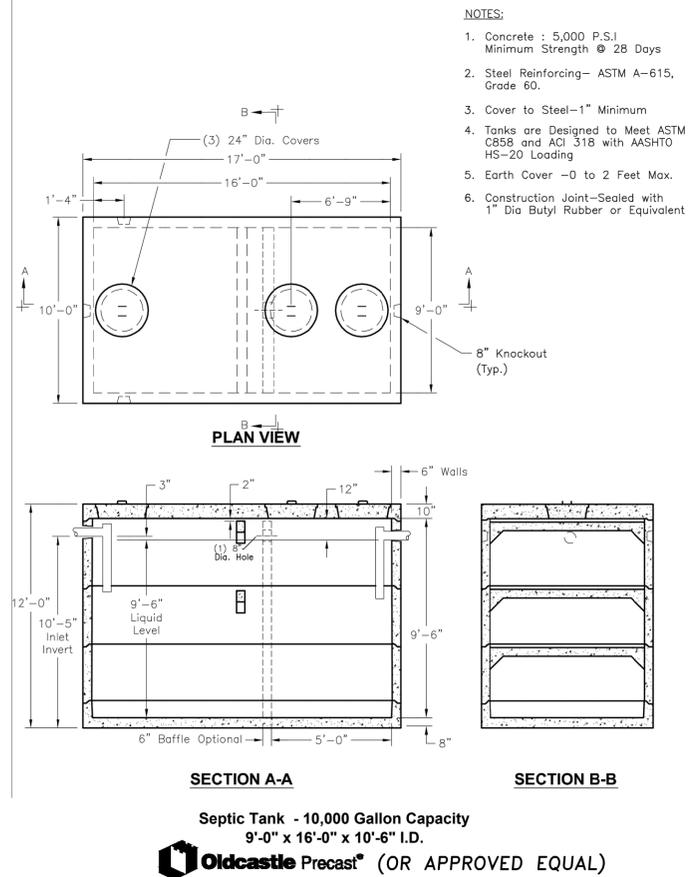
SCALE: 22"x34" 1" = 10'
11"x17" 1" = 20'

OWNER / APPLICANT: SAGAMORE CORNER, LLC
273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT: PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
TAX MAP 201, LOT 2
960 SAGAMORE ROAD
PORTSMOUTH, NH 03801

TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: C-10



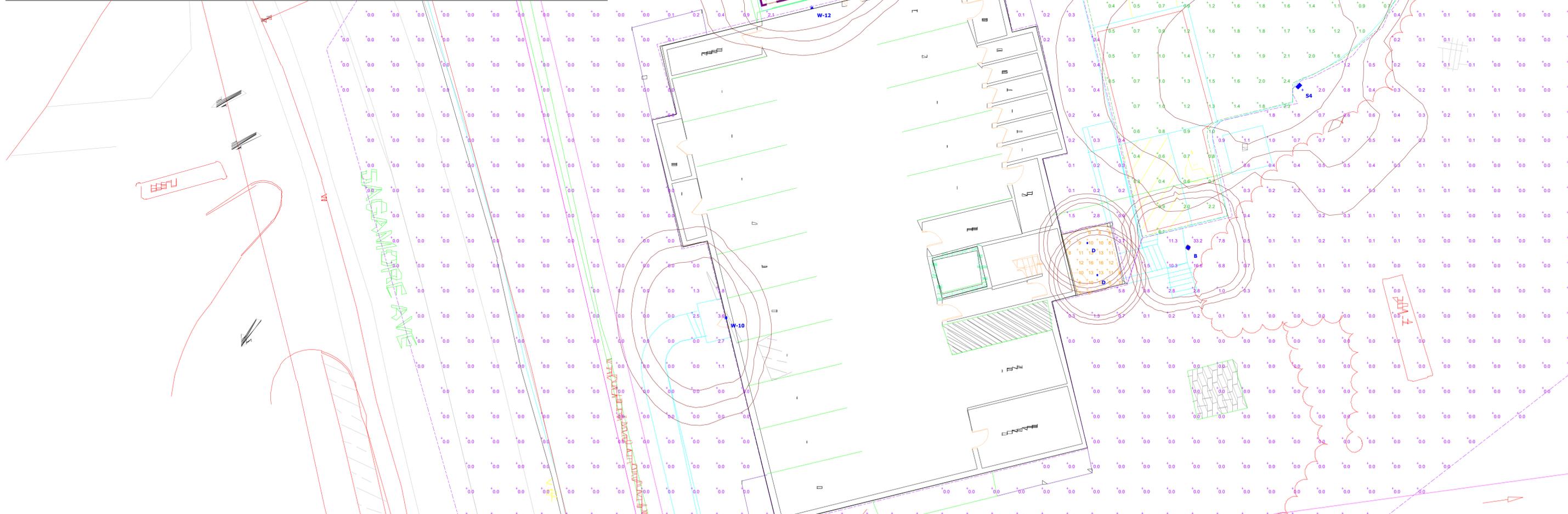
SEPTIC HOLDING TANK DETAIL (10,000 GALLON CAPACITY)

NOT TO SCALE

P5079



| Symbol | Label | QTY | Manufacturer | Catalog Number | Description | Lamp | Filename | Lumens per Lamp | LLF | Distribution | Polar Plot |
|--------|-------------|-----|-------------------|--|--|------|---------------------------------|-----------------|----------|---|------------|
| | B | 1 | Lithonia Lighting | DSXB LED 16C 700 30K SYM MVOLT DDBXD | D-SERIES BOLLARD; mounted at 3ft | LED | DSXB_LED_16 C_700_30K_SY M.ies | 2801 | 2801.369 | TYPE VS, BUG RATING; B2 - U0 - G1 | |
| | D | 2 | Lithonia Lighting | LDN4 30/10 L04AR LSS MVOLT GZ1 | 4IN LDN, 3000K, 1000LM, CLEAR, SEMI-SPECULAR REFLECTOR, 80CRI; mounted at 10ft | LED | LDN4_30_10_L 04AR_LSS.ies | 1031 | 1030.906 | DIRECT, SC=0=1.04, SC=90=1.06 | |
| | S4 | 1 | Lithonia Lighting | DSX0 LED P1 30K TFTM MVOLT SPA DDBXD with SSS 14 4C DM19AS DDBXD | DSX0 LED Area Fixture; mounted at 14ft | LED | DSX0_LED_P1 30K_TFTM_M VOLT.ies | 4373 | 4373.052 | TYPE IV, SHORT, BUG RATING; B1 - U0 - G1 | |
| | W-10 | 1 | Lithonia Lighting | WDGE1 LED P2 30K 80CRI VF MVOLT SRM DDBXD | WDGE1 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC; mounted at 10ft | LED | WDGE1_LED_P 2_30K_80CRI_ VF.ies | 1872 | 1872.051 | TYPE II, VERY SHORT, BUG RATING; B1 - U0 - G0 | |
| | W-12 | 1 | Lithonia Lighting | WDGE1 LED P2 30K 80CRI VF MVOLT SRM DDBXD | WDGE1 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC; mounted at 12ft | LED | WDGE1_LED_P 2_30K_80CRI_ VF.ies | 1872 | 1872.051 | TYPE II, VERY SHORT, BUG RATING; B1 - U0 - G0 | |



| Statistics | | | | | | |
|--------------|--------|--------|---------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Driveway | + | 1.7 fc | 4.1 fc | 0.2 fc | 20.5:1 | 8.5:1 |
| Ground | + | 0.2 fc | 33.2 fc | 0.0 fc | N/A | N/A |
| Parking Lot | + | 1.0 fc | 6.1 fc | 0.1 fc | 61.0:1 | 10.0:1 |
| Under Canopy | + | 10 fc | 16 fc | 5 fc | 3.2:1 | 2.0:1 |

960 SAGAMORE AVE
Site Lighting Layout

Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney
Terrace
Suite 6
Hampton, NH
03842
11/15/2021
Scale
1"=10'
Drawing No.
Summary

Do not heavily prune the tree at planting. Prune only cross-over limbs, co-dominant leaders, and broken or dead branches. Some interior twigs and lateral branches may be pruned; however, Do NOT remove the terminal buds of branches that extend to the edge of the crown.

Trees less than 3" in caliper shall be staked with three stakes per tree, spaced evenly around the trunk with 12 gauge wire. Plastic hose sections shall be used at attachment to trees. Each wire shall be flagged with a visual marker. 5' long min. wooden stakes shall be used to anchor the wires. Stakes shall be driven at least 12" outside the edge of the planting pit into stable soil. Remove all staking NO LATER than the end of the first growing season after planting.

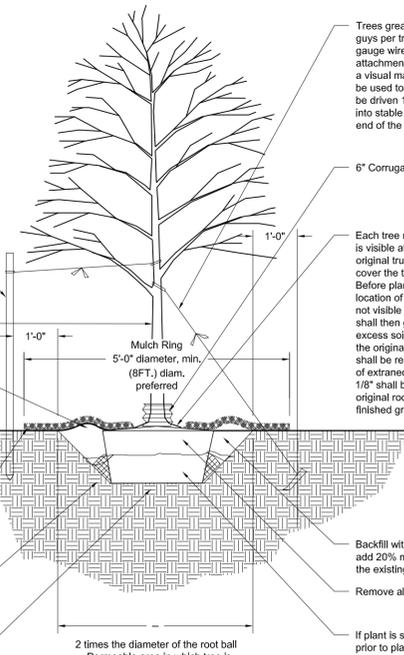
Mark the north side of the tree in the nursery. Rotate the tree to face north at the site whenever possible.

4 in. high earth saucer beyond edge of root ball

2 IN. max. Mulch. Do NOT place mulch in contact with tree trunk. Maintain the mulch weed-free for a minimum of three years after planting.

Tamp soil around root ball base firmly with foot pressure so that root ball does not shift.

Place root ball on unexcavated or tamped soil.



Trees greater than 3" in caliper shall be guyed with three guys per tree, spaced evenly around the trunk with 12 gauge wire. Plastic hose sections shall be used at attachment to trees. Each guy wire shall be flagged with a visual marker. 24" stakes or metal drive anchors shall be used to anchor the guy wires. Stakes/Anchors shall be driven 12" min. outside the edge of the planting pit into stable soil. Remove all guying NO LATER than the end of the first growing season after planting.

6" Corrugated PVC tree sock

Each tree must be planted such that the original trunk flare is visible at the top of the root ball. Trees where the original trunk flare is not visible may be rejected. Do NOT cover the top of the root ball with soil. Before planting Contractor shall inspect the rootball for the location of the original root flare. If the original root flare is not visible at the top of the root ball then the Contractor shall then gently remove from the top of the root ball any excess soil from nursery operations that may be covering the original root flare. All secondary and girdling roots shall be removed prior to planting. Trees with 4" or more of extraneous soil and/or adventitious roots greater than 1/8" shall be rejected. The tree shall be planted with the original root flare at or slightly (2-3") above surrounding finished grade.

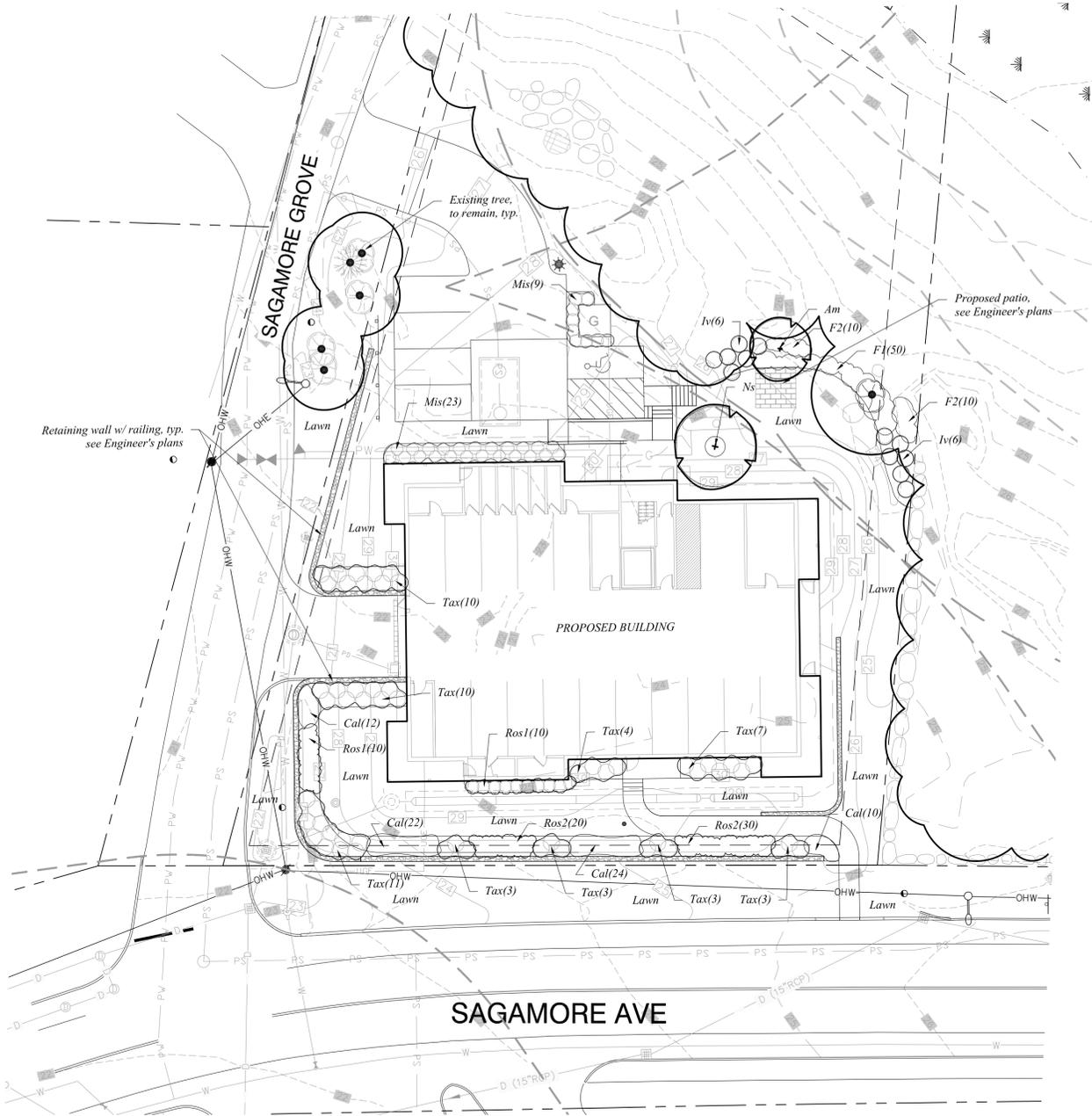
Backfill with existing soil. In sandy and heavy clay soils add 20% max. by volume composted organic material to the existing soil.

If plant is shipped with a wire basket around the root ball, prior to planting, the contractor shall cut away the bottom of the wire basket, leaving the sides in place. Once the tree is placed and faced, the contractor shall remove the remainder of the wire basket and backfill the planting pit as noted above.

Tree Planting Detail

Landscape Notes

- Design is based on drawings by Altus Engineering received 11/15/2021 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at a drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with the following:
 - Outside hose attachments spaced a maximum of 150 feet apart, and
 - An underground irrigation system, or
 - A temporary irrigation system designed for a two-year period of plant establishment.
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from off site, should it not be available on site.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy. Within the sight distance triangles at vehicle intersections the canopies shall be raised to 8' min.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.



Plant List

TREES

| Symbol | Botanical Name | Common Name | Quantity | Size | Comments |
|--------|--|-----------------------|----------|------------|------------------|
| Am | <i>Amelanchier canadensis</i> 'Glenform' | Glenform Serviceberry | 1 | 7-8' ht. | B&B multistemmed |
| Ns | <i>Nyssa Syratica</i> | Black Tupelo | 1 | 2.5-3" Cal | B&B |

SHRUBS

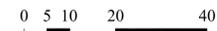
| Symbol | Botanical Name | Common Name | Quantity | Size | Comments |
|--------|---------------------------------------|------------------------|----------|-------|----------|
| Iv | <i>Ilex verticillata</i> 'Red Sprite' | Red Sprite Winterberry | 12 | 3 gal | |
| Ros1 | <i>Rosa</i> 'Sunny Knockout' | Sunny Knockout Rose | 20 | 5 gal | |
| Ros2 | <i>Rosa</i> 'Apricot Drift' | Apricot Drift Rose | 50 | 3 gal | |
| Tax | <i>Taxus media</i> 'Greenwave' | Greenwave Yew | 54 | 5 gal | |

PERENNIALS, GROUNDCOVERS, VINES and ANNUALS

| Symbol | Botanical Name | Common Name | Quantity | Size | Comments |
|--------|---|----------------------------|----------|-------|----------|
| Cal | <i>Calamagrostis acutifolia</i> 'Karl Foerster' | Feather Reed Grass | 68 | 2 gal | |
| F1 | <i>Dennstaedtia punctiloba</i> | Hayscented Fern | 50 | 2 qt. | |
| F2 | <i>Mataeteucia struthiopteris</i> | Ostrich Fern | 20 | 2qt. | |
| Mis | <i>Miscanthus sinensis</i> 'Morning Light' | Morning Light Maiden Grass | 32 | 2 gal | |

City of Portsmouth Notes

- The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials.
- All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair.
- The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director.

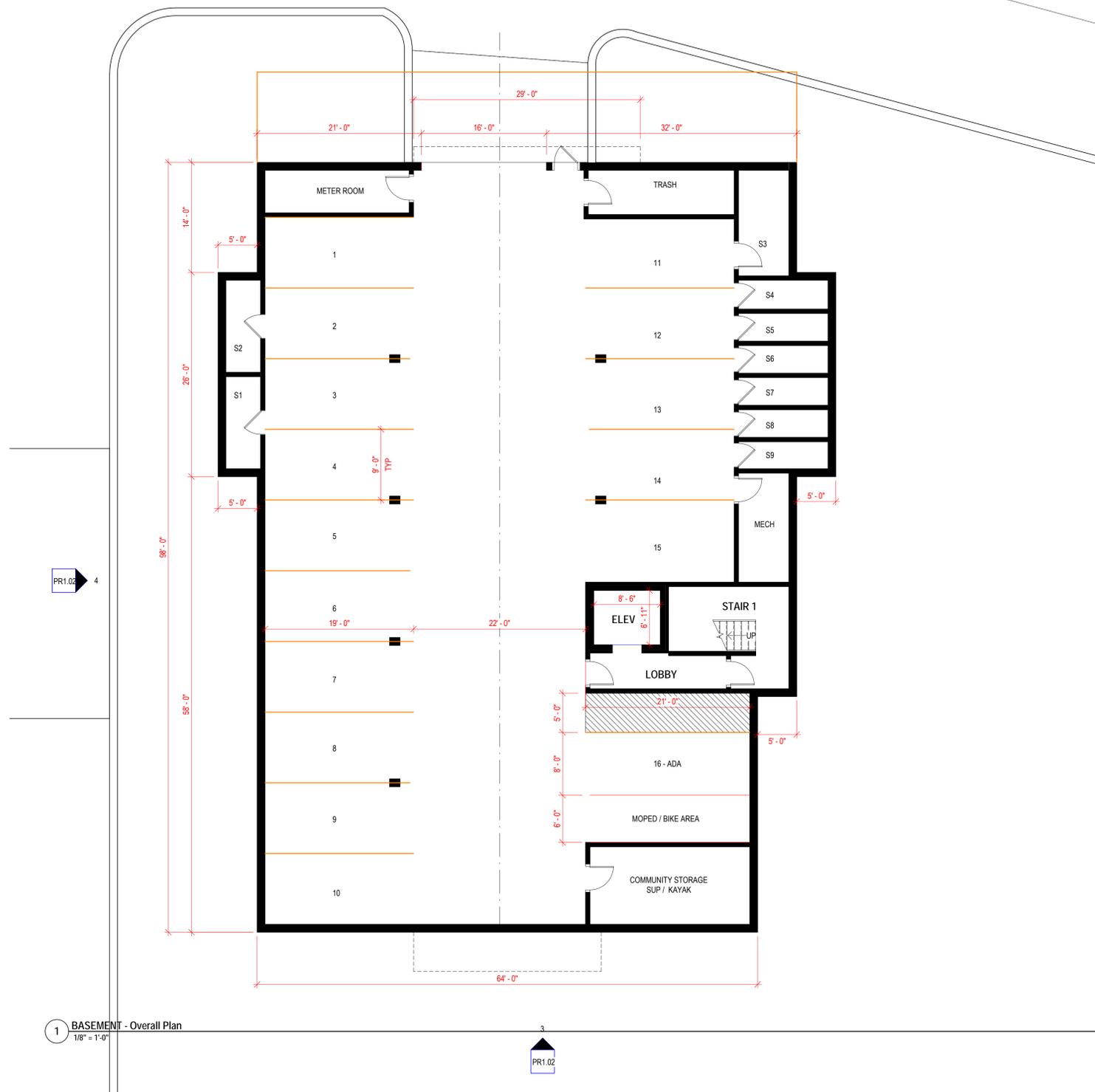


woodburn & company
LANDSCAPE ARCHITECTURE
103 Kent Place, New Hampshire
Phone: 603.659.5949

Sagamore Corner, LLC
LANDSCAPE PLAN
Sagamore Road, Portsmouth, New Hampshire

Drawn By: VM
Checked By: RW
Scale: 1" = 20' - 0"
Date: November 22, 2021
Revisions: December 28, 2021

L-1
Sheet 1 of 1



1 BASEMENT - Overall Plan
1/8" = 1'-0"

3
PR1.02

GARAGE LEVEL PLAN

1/8" = 1'-0"
10/4/2021
COPYRIGHT © 2021



1 Elevation 6 - a
1/8" = 1'-0"



2 Elevation 7 - a
1/8" = 1'-0"

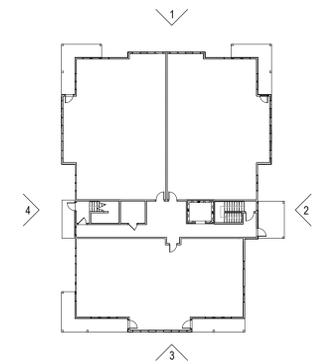


3 Elevation 8 - a
1/8" = 1'-0"



4 Elevation 9 - a
1/8" = 1'-0"

GROSS FLOOR AREAS:
 Basement = 6872 (PARKING, UTILITIES, STORAGE)
 1ST FLOOR = 7097 (RESIDENTIAL)
 2ND FLOOR = 7097 (RESIDENTIAL)
 TOTAL - 21,066 GROSS FLOOR AREA



ELEVATIONS

As indicated
 10/4/2021
 COPYRIGHT © 2021

JSA

ARCHITECTS
 INTERIORS
 PLANNERS



**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

November 24, 2021

Peter Britz, Interim Planning Director
Attn: Barbara McMillan, Conservation Commission Chair
City of Portsmouth Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: Wetlands Conditional Use Permit Application
Assessor's Map 201, Lot 2
960 Sagamore Avenue
Altus Project No. 5079**

Dear Peter and Barbara,

On behalf of the Applicant, Sagamore Corner, LLC, Altus Engineering, Inc. respectfully submits a Wetlands Conditional Use Permit application for the redevelopment of the former Golden Egg site at 960 Sagamore Avenue. The Proposed development will consist of a new six (6) unit building and a five (5) exterior stall visitor parking lot to serve the new building. Parking for the residents will be located on the garage level of the building. The existing paved parking lot along Sagamore Avenue will be removed and access will be provided from Sagamore Grove, which will eliminate the head-in parking from Sagamore Avenue and traffic conflicts. The majority of the new parking lot and driveway will be constructed with porous pavement and a sub-surface treatment system will be constructed to treat and manage the stormwater from the roof. There will be a reduction of over 8,400 square feet of impervious and gravel area. All existing impervious surfaces (over 750 square feet) in the 100 ft buffer will be removed. A 10 ft x 10 ft porous patio is proposed in the same location.

Per Section 10.1017.50 for criteria for approval of a conditional use permit, the following responses are provided;

- (1) The land is reasonably suited to the use, activity or alteration.
The property use is residential in the MRB District and will replace an existing restaurant, retail store, and apartment. This is a reasonable use as allowed by the zoning district.
- (2) There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.
The proposed project will remove over 750 square feet of gravel parking area in the wetland buffer. A small 10 ft x 10 ft porous patio will be constructed in the location of the former parking area. There will be no impervious area in the buffer.

(3) There will be no adverse impact on the wetland functional values of the site or surrounding properties;

The proposed project will reduce approximately 8,400 square feet of impervious from the site and 750 square feet in the wetland buffer. Stormwater treatment will be provided where none currently exists. Peak runoff flows will be significantly reduced and treatment provided to improve water quality runoff.

(4) Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals; and

There will not be any impacts to the natural wooded wetland buffer.

(5) The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.

The proposed project will remove over 750 square feet of impervious area in the buffer and no new impervious is proposed. Stormwater treatment will be provided where none currently exists. Peak runoff flows will be significantly reduced and treatment provided to improve water quality runoff.

(6) Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

There will be no impacts to the vegetated buffer strip, which exists in its natural state.

Enclosed please find eight (8) copies of the following items for consideration at the December 8th Conservation Commission Meeting:

- Site Plans (1 full size, 7 half size)
- Wetlands Conditional Use Plan
- "Green" Statement
- Wetlands and Buffer Evaluation
 - Wetlands Letter
 - NHD Data Review
- Drainage Report (summary)

Please call me if you have any questions or need any additional information.

Sincerely,

ALTUS ENGINEERING, INC.



Cory D. Belden, PE
Associate Principal

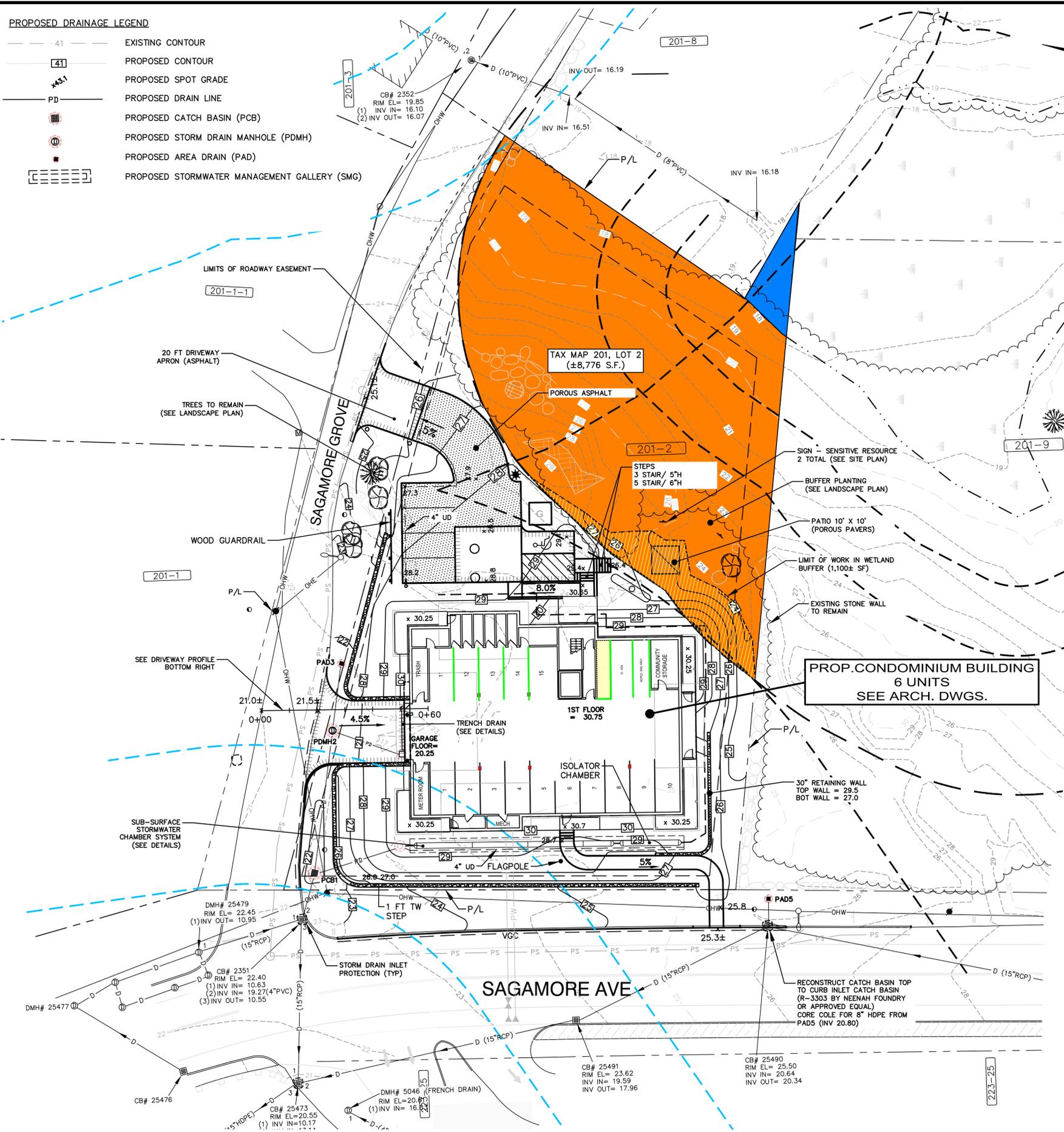
ebs/5079-CUP-PB-CovLtr-112221.docx

Enclosures

eCopy: Eric Katz, Sagamore Corner, LLC

PROPOSED DRAINAGE LEGEND

- 41 EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED DRAIN LINE
- PROPOSED CATCH BASIN (PCB)
- PROPOSED STORM DRAIN MANHOLE (PDMH)
- PROPOSED AREA DRAIN (PAD)
- PROPOSED STORMWATER MANAGEMENT GALLERY (SMG)



APPROVED BY THE PORTSMOUTH PLANNING BOARD

NH STATE PLANE COORDINATE SYSTEM
NAD 1983

CHAIRMAN _____ DATE _____

ALTUS
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com



WETLANDS IMPACT TABLE

| | |
|---|------------|
| DIRECT WETLANDS IMPACTS | = 0 SF |
| WETLANDS BUFFER IMPACTS | = 1,100 SF |
| EXISTING IMPERVIOUS AREA IN WETLANDS BUFFER | = 750 SF |
| PROPOSED IMPERVIOUS AREA IN WETLANDS BUFFER | = 0 SF |

NOT FOR CONSTRUCTION

ISSUED FOR: PLANNING BOARD

ISSUE DATE: DECEMBER 29, 2021

REVISIONS

| NO. | DESCRIPTION | BY | DATE |
|-----|-------------------|-----|----------|
| 0 | INITIAL SUBMITTAL | CDB | 11/02/21 |
| 1 | TAC WS COMMENTS | CDB | 11/22/21 |
| 2 | CC COMMENTS | CDB | 12/29/21 |

DRAWN BY: _____ CDB

APPROVED BY: _____ EDW

DRAWING FILE: 5079-SITE.dwg

SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

OWNER / APPLICANT:

SAGAMORE CORNER, LLC

273 CORPORATE DRIVE
PORTSMOUTH, NH 03801

PROJECT:

PROPOSED MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT

960 SAGAMORE ROAD
PORTSMOUTH, NH 03801

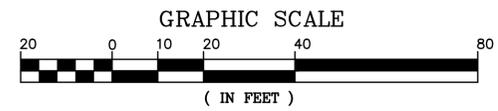
TAX MAP 201, LOT 2

TITLE:

WETLANDS
CONDITIONAL USE
PLAN

SHEET NUMBER:

CUP-1





Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists



December 29, 2021

Dexter Legg, Chair
Portsmouth Planning Board
1 Junkins Ave, 3rd Floor
Portsmouth, NH 03801

**RE: Planning Board DADU CUP Application
325 Little Harbor Road, Portsmouth, NH – Tax Map 205 Lot 2**

Dear Mr. Legg:

On behalf of our client, ADL 325 Little Harbor Road Trust, please find a Planning Board Detached Accessory Dwelling Unit (DADU) Conditional Use Permit (CUP) submission relative to the above-referenced project. The following materials, along with this letter, have been submitted online and hard copies are also included in this submission:

- **DADU CUP Application (1 copy);**
- **Client Authorization Letter (1 copy);**
- **Original DADU CUP Permit, dated June 24, 2019 (1 copy);**
- **Original DADU CUP Permit Extension, dated June 22, 2020 (1 copy);**
- **Site Photos of Lady Isle Guest Cottage (1 copy); AND**
- **Site Development Plans entitled “Permit Plans for DADU CUP, Tax Map 205 Lot 2, Lady Isle Guest Cottage, 325 Little Harbor Road, Portsmouth New Hampshire”, prepared by TFMoran, Inc., dated December 29, 2021 (1 copy at 22”x34”).**

A previous request to renovate the existing caretaker’s house, was previously approved by the Planning Board on June 20, 2019 for a DADU with a gross floor area of 2,435 SF. An extension was granted until June 20, 2021, however, before this time, the original builder, Peter Kasnet, unexpectedly passed away. Due to this unfortunate event, the client hired a new builder, Youngblood Builders, and new architect, G. P. Schafer.

Based on the new team’s input, a number of modifications to the renovated property were suggested, enough to warrant re-permitting the project. The originally permitted DADU proposed renovations of the entire existing structure. The current project team realized demolishing additions of the house would be more in line with the history and character of the originally built house. Modifications to the originally approved DADU include revised architecture and a smaller footprint with less gross floor area.





**Planning Board DADU CUP Application
325 Little Harbor Road, Portsmouth, NH – Tax Map 205 Lot 2**

December 29, 2021

Property Description

The property is a single-family residence at 325 Little Harbor Road, located on a private island, known as Lady Isle and also Belle Isle. The site is 12.3 acres within the Rural Zoning District and surrounded by the Piscataqua River. The property currently contains a 2-story house, guest cottage, carriage house, barn, horse barn, horse paddock, and shed.

The intent of the applicant is to renovate the easternly half of the island containing the building and yard areas. The proposal is to demolish the existing house, carriage house, and paddock and to construct a 2-story single-family home, garage, pool, pool cabana, and playground; renovate an existing barn and guest cottage; and replace an existing shed and barn with a new shed and barn. TFM's previously submitted Site Development Plans for Lady Isle Site Renovation depicts associated improvements, including and not limited to access, grading, utilities, and landscaping.

In this submission, we are applying for a Conditional Use Permit for a Detached Accessory Dwelling Unit (DADU). The property contains only one principal dwelling. The remaining dwelling on the property is a vacant house. The structure was built in the 1800's and formerly served as a caretaker's house for a private school that previously occupied the island. The existing house footprint and gross floor area are 1,300 SF and 2,056 SF, respectively. The proposed construction is to demolish the appendages of the existing structure and renovate the remaining, original structure to a 2-story guest cottage, serving as a detached accessory dwelling unit. The proposed footprint and gross floor area are 660 SF and 1,300 SF, respectively.

In accordance with the City of Portsmouth Zoning Ordinances, Article 10.814, the proposal complies with the following regulations:

The principal dwelling unit and the accessory dwelling unit shall not be separated in ownership.

The proposed project to renovate the existing detached accessory dwelling unit will not affect the ownership of the property. Ownership will remain with the ADL 325 Little Harbor Road Trust.

Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling as his or her principal place of residence.

The owner, ADL 325 Little Harbor Road Trust, will continue to occupy the principal dwelling unit.

Neither the principal dwelling unit nor the accessory dwelling unit shall be used for any business, except that the property owner may have a home occupation use in the unit that he or she occupies as allowed or permitted elsewhere in this Ordinance.

Neither the primary dwelling unit nor the accessory dwelling unit will be used for business, other than what is allowed.

In a Rural district, a lot with a DADU shall comply with the minimum lot area for the district, but need not comply with the minimum lot area per dwelling unit.

The minimum lot area is 5 acres per dwelling unit. The lot area is 12.3 acres.

The DADU shall not have more than two bedrooms and shall not be larger than 750 SF gross floor area; except that the maximum gross floor area shall be 1,000 SF if the lot area is 2 acres or more.

We respectfully request dimensional modifications to maintain the historical portion of the existing structure. The structure is a 2-story structure constructed in the 1800's, located on a 12.3 acre parcel. The existing structure is an approximately 24' tall, 3-bedroom house with a gross floor area of 2,056 SF, which has a number of additions. The renovated DADU proposes to remove appendages of the existing structure, maintaining the historic, original structure, which is a proposed 21' tall, 2-bedroom house with a gross floor area of 1,300 SF. Reducing the DADU to 1,000 SF or less would require demolition of a portion of the original, historic, existing structure. Given the size of the lot and the historical value of the building, we believe it's better to leave the 660 SF footprint and 1,300 SF gross floor area, rather than demolish additional portions of a historical building.

The DADU shall be clearly subordinate to the principal single-family dwelling in scale, height and appearance.

The facade area and building height of the DADU is subordinate to the principal single-family dwelling. The perimeter facade of the DADU versus principal dwelling is approximately 125 FT and 440 FT, respectively. Additionally, the height of the DADU versus the principal dwelling is approximately 21 FT and 32 FT, respectively. The DADU is also architecturally consistent with the principal dwelling, using similar materials, detailing, and other building design elements.

The DADU shall be separated from the single-family dwelling by at least 20 feet.

The renovated guest cottage meets the separation requirements and is located 112' east of the proposed principal single-family dwelling.

The front wall of the DADU shall be set back at least 10 feet further from the front lot line than the existing front wall of the single-family dwelling.

The property is an island, so a front yard is not applicable. The DADU, however, is located approximately 70' from the highest observable tide line (HOTL) whereas the principal dwelling is located 50 FT from the HOTL, which is at least a 20 FT differential.

No portion of the DADU shall be located in any required front yard, regardless of the location of the single-family dwelling.

The property is an island, so a front yard is not applicable. The DADU, however, is located approximately 70' from the HOTL.

Exterior design of the ADU is consistent with the existing principal dwelling on the lot.

The DADU will be re-sided similar to the proposed principal dwelling on the lot.

The site plan provides adequate and appropriate open space, landscaping and off-street parking for both the ADU and the primary dwelling.

The proposed renovation to the guest cottage removes almost half of the existing structure and replaces it with open space and landscaping. The overall Lady Isle site renovations provides adequate and appropriate open space and landscaping, exceeding Zoning requirements for open space (75% required, 94% proposed) and meeting building coverage requirements (5% required, 2.6% proposed). Off-street parking is provided adjacent to both the DADU and primary dwelling.

The ADU will maintain a compatible relationship to adjacent properties in terms of location, design, and offstreet parking layout, and will not significantly reduce the privacy of adjacent properties.

The DADU is an existing structure located on an island. It will not alter or reduce privacy of adjacent properties.

The ADU will not result in excessive noise, traffic or parking congestion.

The building being converted to a DADU exists on site today. It is currently an unoccupied building. Once converted, the owner will have the ability to host guests on the property, since the main dwelling only has four bedrooms. Since the DADU is still owned by the principal dwelling owner, it will be occupied on a selected basis. This will not contribute to excessive noise, traffic, or parking congestion.



Planning Board DADU CUP Application
325 Little Harbor Road, Portsmouth, NH – Tax Map 205 Lot 2

December 29, 2021

Work on the island requires approvals for a City Wetland CUP, NHDES Wetlands Permit, NHDES Shoreland Permit, NHDES Alteration of Terrain (AoT) Permit, NHDES Wastewater Permit, and EPA's NOI for Construction General Permit, all of which are pending.

We appreciate your consideration of these matters and look forward to presenting this project to you in the near future.

We respectfully request that we be placed on the upcoming agenda for the January 20th Planning Board Meeting.

Respectfully,
TFMoran, Inc.

Corey Colwell, LLS
Division Manager | Principi

Hannah Giovannucci, PE
Civil Project Manager

JCC/heg

cc: Anthony Dilorenzo, ADL 325 Little Harbor Road Trust (via e-mail)
Jim Youngblood, Youngblood Builders (via jim@youngbloodbuilders.com)
Mickey Benson, GPSchafer (via mbenson@gpschafer.com)
Matthew Cunningham, MCLD (via matthew@matthew-cunningham.com)
Stephan Roberts, Hoefle, Phoenix, Gormley & Roberts (via sroberts@hpgrlaw.com)



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

PLANNING BOARD

June 24, 2019

ADL Portsmouth Residence Trust
549 US Highway 1 Bypass
Portsmouth, NH 03801

RE: Conditional Use Permit for property located at 325 Little Harbor Road

Dear Applicant:

The Planning Board, at its regularly scheduled meeting of Thursday, June 20, 2019, considered your application for Conversion of an existing accessory structure (formerly caretaker's home) into an Detached Accessory Dwelling Unit with a gross floor area of 2,435sq.ft. Said property is shown on Assessor Map 205 Lot 02 and lies within the Rural District. As a result of said consideration, the Board voted to :

1. Grant a modification from the following sections:

1.1) Section 10.814.52 of the Zoning Ordinance – for approval of a DADU with 3 bedrooms and 2,435+/- s.f. of gross floor area where 2 bedrooms and 1,000 s.f. is the maximum allowed.

1.2) Section 10.814.532 of the Zoning Ordinance – for a building height of 24.2' where the maximum allowed must be less than the building height of the principal single-family dwelling.

2. Find that the application satisfies the remaining requirements of 10.814.50.

3. Grant the conditional use permit as presented, with the following stipulations:

3.1) In accordance with Sec. 10.814.90 of the Zoning Ordinance, the owner is required to obtain a certificate of use from the Planning Department verifying compliance with all standards of Sec. 10.814, including the owner-occupancy requirement, and shall renew the certificate of use annually.

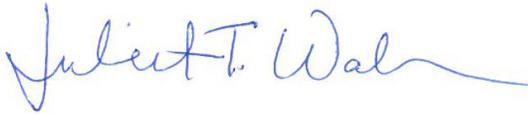
The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Unless otherwise indicated above, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work. All stipulations of approval must be completed prior to issuance of a building permit unless otherwise indicated above.

This approval shall expire unless a building permit is obtained within a period of one year from the date granted, unless otherwise stated in the conditions of approval. The Planning Board may, for good cause shown, extend such period by as much as one year if such extension is requested and acted upon prior to the expiration date. No other extensions may be requested.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

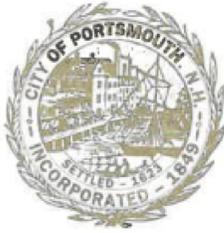
Very truly yours,



Juliet T. H. Walker, AICP, Planning Director
for Dexter Legg, Chairman of the Planning Board

cc:

Corey Colwell, LLS, MSC a division of TFMoran, Inc.
Rosann Maurice-Lentz, City Assessor
Robert Marsilia, Building Inspector
Peter Rice, Director of Public Works



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801

(603) 610-7216

PLANNING BOARD

June 22, 2020

ADL Portsmouth Residence Trust
549 US Highway 1 Bypass
Portsmouth, NH 03801

RE: Conditional Use Permit for property located at 325 Little Harbor Road

Dear Applicant:

The Planning Board, at its meeting of Thursday, June 18, 2020, considered your request for 1-year extension of the Conditional Use Permit for the conversion of an existing accessory structure into a Detached Accessory Dwelling Unit that was granted on June 20, 2019.

As a result of said consideration, the Board voted to grant your request for an extension with the approval now expiring on June 20, 2021.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

Dexter R. Legg, Chairman of the Planning Board

cc: Robert Marsilia, Chief Building Inspector
Rosann Maurice-Lentz, City Assessor

Corey Colwell, LLS, MSC a division of TFMoran, Inc.
Rosann Maurice-Lentz, City Assessor
Robert Marsilia, Building Inspector
Peter Rice, Director of Public Works



Site Photos

Lady Isle Guest Cottage

325 Little Harbor Road, Portsmouth, NH

**Taken on
October 25, 2018**

Photo #1: View from existing driveway, from right to left, of western side of guest cottage, barn, and carriage house



Photo #2: Western side of existing guest cottage



Photo #3: Southern side and rear of existing guest cottage



Photo #4: Eastern side of existing guest cottage



Photo #5: Northern side and front of existing guest cottage



LADY ISLE GUEST COTTAGE

325 LITTLE HARBOR ROAD
PORTSMOUTH, NEW HAMPSHIRE

DECEMBER 29, 2021

OWNER/APPLICANT

MAP 205 LOT 2
ADL 325 LITTLE HARBOR ROAD TRUST
C/O STEPHEN H ROBERTS, ESQ
TRUSTEE
127 PARROT AVENUE
PORTSMOUTH, NH 03801

RESOURCE LIST

PLANNING/ZONING DEPARTMENT
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
603-610-7296
PETER BRITZ,
INTERIM PLANNING DIRECTOR

BUILDING DEPARTMENT
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
603-610-7261
ROBERT MARSILIA,
CHIEF BUILDING INSPECTOR

PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
603-427-1530
PETER RICE,
DIRECTOR OF PUBLIC WORKS

POLICE DEPARTMENT
3 JUNKINS AVENUE
PORTSMOUTH, NH 03801
603-427-1500
MARK NEWPORT, INTERIM CHIEF

FIRE DEPARTMENT
170 COURT STREET
PORTSMOUTH, NH 03801
603-427-1515
TODD GERMAIN, CHIEF

ASSOCIATED PROFESSIONALS

ARCHITECT
G.P. SCHAFER ARCHITECT, PLLC
19 UNION SQUARE WEST, 4TH FLOOR
NEW YORK CITY, NY 10003
212-965-1355
MICKEY BENSON, PRINCIPAL

ECOLOGICAL SERVICES
PARTERRE ECOLOGICAL
67 SMITH PLACE, UNIT 12A
CAMBRIDGE, MA 02138
617-482-2230
RYAN CORRIGAN, MSED, MCH

LANDSCAPE ARCHITECT
MATTHEW CUNNINGHAM LANDSCAPE
ARCHITECTURE DESIGN LLC
411 MAIN STREET
STONEHAM, MA 02180
617-905-2246
MATTHEW CUNNINGHAM, PRINCIPAL

WETLAND SCIENTIST
MARC JACOBS,
CERTIFIED WETLAND SCIENTIST
PO BOX 417
GREENLAND, NH
603-686-5097

WILDLIFE ASSESSOR
GZA GEOENVIRONMENTAL, INC.
5 COMMERCE PARK NORTH
BEDFORD, NH 03110
603-232-8739
TRACY TARR, ASSOCIATE PRINCIPAL



INDEX OF SHEETS

| SHEET | SHEET TITLE |
|-------|--------------------------|
| C-00 | COVER |
| C-01 | NOTES & LEGEND |
| S-01 | EXISTING CONDITIONS PLAN |
| C-02 | SITE LAYOUT PLAN |
| C-03 | GRADING & UTILITY PLAN |

REFERENCE PLANS BY ASSOCIATED PROFESSIONALS

| | |
|------------------|---|
| A-1.01 TO 1-2.00 | RENOVATED GUEST COTTAGE FOR LADY ISLE PLANS BY G.P. SCHAFER |
| L1.0 TO L1.4 | LANDSCAPE ARCHITECTURE PLANS & AERIALS BY MCLD |

PERMITS/APPROVALS

| | NUMBER | APPROVED | EXPIRES |
|---|------------|-----------|-----------|
| PORTSMOUTH PLANNING BOARD & CONSERVATION COMMISSION WETLAND CUP | - | - | - |
| PORTSMOUTH PLANNING BOARD CUP FOR DADU | - | - | - |
| NH FISH & GAME | - | - | - |
| NHDES WETLANDS & PERMIT AMENDMENT | 2014-02662 | 2/15/2018 | 2/15/2023 |
| NHDES SHORELAND & PERMIT AMENDMENT | 2017-02665 | 2/26/2018 | 2/26/2023 |
| NHDES ALTERATION OF TERRAIN | - | - | - |
| NHDES SEWER | - | - | - |
| EPA NPDES ENOI CGP & SWPPP | - | - | - |

NOTE: ADDITIONAL PERMITS AND APPROVALS MAY BE REQUIRED PRIOR TO CONSTRUCTION.

APPROVED BY THE CITY OF PORTSMOUTH PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

PERMIT PLANS FOR DADU CUP

TAX MAP 205 LOT 2
COVER
LADY ISLE GUEST COTTAGE
325 LITTLE HARBOR ROAD, PORTSMOUTH, NH
OWNED BY & PREPARED FOR
ADL 325 LITTLE HARBOR ROAD TRUST

SCALE: NTS

DECEMBER 29, 2021



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48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

| REV. | DATE | DESCRIPTION | DR | CK |
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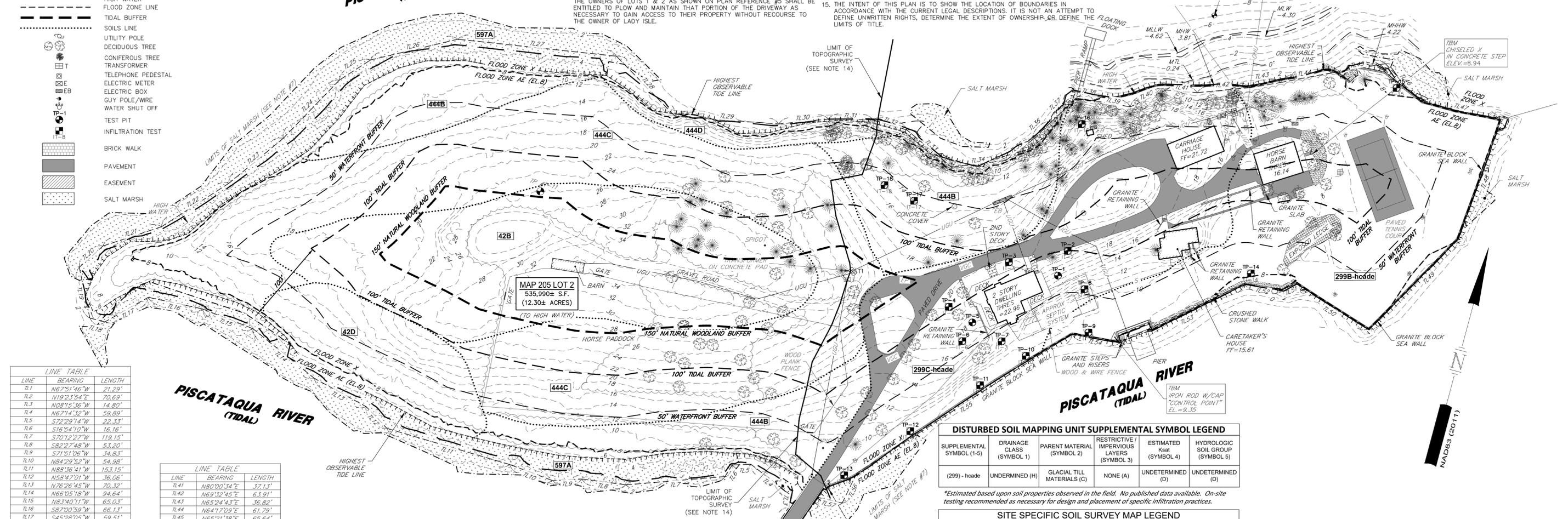
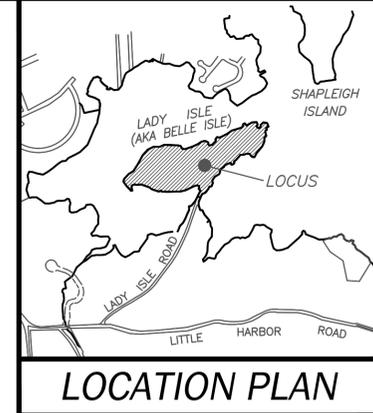
| FILE | DR | HEG | FB | | |
|----------|----|-----|---------|----------------------|------|
| 47099.01 | CK | JCC | CADFILE | 47099-01_COVER_GUEST | C-00 |

LEGEND:

- BK.PG. BOOK/PAGE
- ELEV. ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- NET NEW ENGLAND TELEPHONE PUBLIC SERVICE COMPANY OF NEW ENGLAND
- PSNH
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- S.F. SQUARE FEET
- SL SEPTIC LINE
- UGU UNDERGROUND UTILITIES
- TBM TEMPORARY BENCH MARK
- TL TIE LINE
- 444C SOILS TYPE
- OHU TREE LINE
- 18 OVERHEAD UTILITIES
- EXISTING CONTOUR
- UGU LIMIT OF SALT MARSH UNDERGROUND UTILITIES
- W WATER LINE
- WOOD FENCE
- HIGHEST OBSERVABLE TIDE LINE
- HIGH WATER
- FLOOD ZONE LINE
- TIDAL BUFFER
- SOILS LINE
- UTILITY POLE
- DECIDUOUS TREE
- CONFEROUS TREE
- TRANSFORMER
- TELEPHONE PEDESTAL
- ELECTRIC METER
- ELECTRIC BOX
- QUI POLE/WIRE
- WATER SHUT OFF
- TEST PIT
- INFILTRATION TEST
- BRICK WALK
- PAVEMENT
- EASEMENT
- SALT MARSH

NOTES:

- THE PARCEL IS LOCATED IN THE RURAL (R) ZONING DISTRICT.
- THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 205 AS LOT 2.
- THE PARCEL IS LOCATED IN FLOOD HAZARD ZONE AE (EL.8) AND ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM), ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 278, VERSION NUMBER 2.3.21 MAP NUMBER 3301500278F, MAP REVISED: JANUARY 29, 2021. FLOOD ZONES DEPICTED ON THIS PLAN ESTABLISHED BY ELEVATION, THE DATUM IS NAVD88 BASED ON STATIC GPS OBSERVATIONS.
- OWNER OF RECORD: THE ADL 325 LITTLE HARBOR ROAD TRUST STEPHEN H. ROBERTS ESQ., TRUSTEE 127 PARROTT AVENUE PORTSMOUTH, NH 03801 RCRD BK.5959 PG.1244
- ZONING REQUIREMENTS: MINIMUM LOT AREA: 5 ACRES (PER DWELLING UNIT) MINIMUM STREET FRONTAGE: N/A DEPTH: N/A MINIMUM YARD SETBACKS: FRONT: 50 FEET SIDE: 20 FEET REAR: 40 FEET MAXIMUM STRUCTURE HEIGHT: 35 FEET MAXIMUM BUILDING COVERAGE: 5% MINIMUM OPEN SPACE: 75% TOTAL PARCEL AREA: 538,229± S.F. (12.36± ACRES)
- HIGHEST OBSERVABLE TIDE LINE (HOTL) AND SALT MARSH WERE DELINEATED BY MARG JACOBS, CERTIFIED WETLAND SCIENTIST D90, ON MAY 24, 2019. SALT MARSH WAS DELINEATED BASED UPON THE EXTENT OF ROOTED EMERGENT SALT-TOLERANT VEGETATION OBSERVED DURING LOW TIDE. HOTL WAS DELINEATED BASED UPON THE CODE OF ADMINISTRATIVE RULES, NH DEPARTMENT OF ENVIRONMENTAL SERVICES - WETLANDS BUREAU - ENV WT 100-900, ESPECIALLY ENV-WT 101.49. COPIES OF SITE PLANS WHICH DEPICT THE DELINEATION THAT HAVE BEEN REVIEWED BY THE WETLAND SCIENTIST ARE INDIVIDUALLY STAMPED, SIGNED AND DATED. THIS NOTE HAS BEEN CUSTOMIZED FOR THIS PROJECT.
- THE EXISTING PAVED DRIVEWAY (BELLE ISLE ROAD) PROVIDING ACCESS BETWEEN LITTLE HARBOR ROAD AND LADY ISLE (AKA BELLE ISLE) IS PRIVATE. A 25' WIDE ACCESS EASEMENT EXISTS ACROSS LAND TO THE SOUTH OF THE ISLAND TO LITTLE HARBOR ROAD. (SEE RCRD BK.#4551 PG.#0327). THE OWNER OF LADY ISLE (AKA BELLE ISLE) SHALL BE RESPONSIBLE FOR MAINTENANCE AND FLOWING OF THE DRIVEWAY, PROVIDED, HOWEVER, THAT IF THE OWNER OF LADY ISLE DOES NOT MAINTAIN AND FLOW THE DRIVEWAY, THE OWNERS OF LOTS 1 & 2 AS SHOWN ON PLAN REFERENCE #5 SHALL BE ENTITLED TO PLOW AND MAINTAIN THAT PORTION OF THE DRIVEWAY AS NECESSARY TO GAIN ACCESS TO THEIR PROPERTY WITHOUT RECOURSE TO THE OWNER OF LADY ISLE.
- THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. CALL 1-888-344-7233. THE BEST AVAILABLE INFORMATION WAS USED TO DETERMINE THE LOCATION, SIZE AND ELEVATION OF EXISTING UTILITIES. THE EXACT SIZE AND LOCATION OF UTILITIES SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL COORDINATE TERMINATION OF ALL UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- ALL USES AND CONSTRUCTION SHALL COMPLY WITH RSA 483-B, THE SHORELAND WATER QUALITY PROTECTION ACT (SWOPA). REFERENCE IS ALSO MADE TO ARTICLE 10 SECTION 10.1016 OF THE PORTSMOUTH ZONING ORDINANCE WHICH SPECIFIES THE PERMITTED USES IN THE 100' TIDAL BUFFER SHOWN HEREON.
- THE CURRENT AND FUTURE OWNERS OF LADY ISLE HAVE THE BENEFIT OF A 54,600 S.F. "EASEMENT AREA" AS SHOWN ON PLAN REFERENCE #5 AND DESCRIBED IN RCRD BK.#4551 PG.#0327. THE EASEMENT AREA IS LOCATED TO THE SOUTH OF THE EXISTING BRIDGE.
- PARCEL IS ON TOWN WATER. THE CURRENT AND FUTURE OWNERS OF LADY ISLE HAVE THE BENEFIT OF A PERMANENT EASEMENT FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF THE EXISTING WATER LINE RUNNING FROM LITTLE HARBOR ROAD TO AND ALONG THE 25' WIDE ACCESS EASEMENT SHOWN ON PLAN REFERENCE #5. SEE RCRD BK.#4551 PG.#0327.
- SEE PRIVATE ROADWAY & BRIDGE MAINTENANCE AGREEMENT ON FILE WITH THE CITY OF PORTSMOUTH.
- HORIZONTAL DATUM IS NAD83(2011). VERTICAL DATUM IS NAVD88 (EGOID12B). ALL PREVIOUS PLANS PRODUCED BY MSC/TFM WERE ON AN ASSUMED HORIZONTAL DATUM AND NGVD29 VERTICAL DATUM (-0.78' SHIFT DOWN TO NAVD88). TOPOGRAPHY TO THE EAST OF LIMIT OF TOPOGRAPHIC SURVEY REFERENCE LINE BASED ON AN ON THE GROUND FIELD SURVEY. TOPOGRAPHY TO THE WEST OF THIS LINE BASED ON LIAR DATA DERIVED FROM 2013-2014 U.S. GEOLOGICAL SURVEY OMPG LIAR: POST SANDY (MA, NH, RI).
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.



LINE TABLE

| LINE | BEARING | LENGTH |
|------|-------------|---------|
| TL1 | N67°51'46"W | 21.29' |
| TL2 | N19°23'54"E | 70.69' |
| TL3 | N08°15'36"W | 14.80' |
| TL4 | N67°14'32"W | 59.89' |
| TL5 | S72°29'14"W | 22.33' |
| TL6 | S16°54'10"W | 16.16' |
| TL7 | S70°12'27"W | 119.15' |
| TL8 | S82°27'48"W | 53.20' |
| TL9 | S71°51'06"W | 34.83' |
| TL10 | N84°29'52"W | 54.99' |
| TL11 | N88°36'41"W | 153.15' |
| TL12 | N58°42'01"W | 36.06' |
| TL13 | N76°26'45"W | 70.32' |
| TL14 | N66°02'18"W | 94.64' |
| TL15 | N83°40'11"W | 65.03' |
| TL16 | S87°00'59"W | 66.13' |
| TL17 | S45°28'05"W | 59.51' |
| TL18 | S89°10'34"W | 18.70' |
| TL19 | N26°45'37"W | 62.01' |
| TL20 | N33°08'41"E | 37.94' |
| TL21 | N56°46'40"E | 73.84' |
| TL22 | N42°15'04"E | 95.86' |
| TL23 | N35°26'21"E | 84.21' |
| TL24 | N29°00'52"E | 96.87' |
| TL25 | N42°09'51"E | 44.29' |
| TL26 | N61°38'42"E | 107.52' |
| TL27 | N81°06'32"E | 190.89' |
| TL28 | S59°21'19"E | 100.43' |
| TL29 | N79°14'16"E | 124.39' |
| TL30 | N69°13'26"E | 59.61' |
| TL31 | N76°05'53"E | 53.54' |
| TL32 | S88°27'29"E | 42.28' |
| TL33 | S65°15'44"E | 69.64' |
| TL34 | N67°30'40"E | 65.49' |
| TL35 | N37°18'24"E | 40.52' |
| TL36 | N31°24'47"E | 30.94' |
| TL37 | N31°15'45"E | 40.69' |
| TL38 | N83°02'00"E | 21.40' |
| TL39 | N84°27'00"E | 44.43' |
| TL40 | N49°53'28"E | 47.44' |

LINE TABLE

| LINE | BEARING | LENGTH |
|------|-------------|---------|
| TL41 | N80°00'34"E | 37.13' |
| TL42 | N69°32'45"E | 63.91' |
| TL43 | N65°24'43"E | 36.82' |
| TL44 | N64°17'09"E | 61.79' |
| TL45 | N65°21'38"E | 65.64' |
| TL46 | S58°13'54"E | 62.60' |
| TL47 | N87°40'31"E | 97.13' |
| TL48 | S05°01'54"W | 152.08' |
| TL49 | S29°38'22"W | 150.63' |
| TL50 | N72°46'01"W | 101.53' |
| TL51 | S30°14'36"W | 18.43' |
| TL52 | N38°23'46"W | 31.49' |
| TL53 | S49°44'15"W | 164.33' |
| TL54 | S84°45'30"W | 58.73' |
| TL55 | S42°08'26"W | 306.52' |
| TL56 | S11°02'55"W | 39.88' |
| TL57 | S88°23'11"W | 29.73' |
| TL58 | S19°52'05"W | 100.99' |

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN APRIL 2019, DECEMBER 2020 AND MARCH 2021. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

LICENSED LAND SURVEYOR

DATE

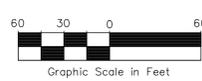
54,600 S.F. EASEMENT AREA (SEE NOTE 11)

NOTES CONTINUED:

- TIDE LINES SHOWN BASED ON TIDAL DATUM FOR NOAA STATION #8419870, SEAVEY ISLAND, ME. DATUM IS NAVD88.

SLOPE PHASE LEGEND (percent)

| A | B | C | D | E | F |
|-----|-----|------|-------|-------|-----|
| 0-3 | 3-8 | 8-15 | 15-25 | 25-50 | 50+ |



DISTURBED SOIL MAPPING UNIT SUPPLEMENTAL SYMBOL LEGEND

| SUPPLEMENTAL SYMBOL (1-5) | DRAINAGE CLASS (SYMBOL 1) | PARENT MATERIAL (SYMBOL 2) | RESTRICTIVE / IMPERVIOUS LAYERS (SYMBOL 3) | ESTIMATED Ksat (SYMBOL 4) | HYDROLOGIC SOIL GROUP (SYMBOL 5) |
|---------------------------|---------------------------|----------------------------|--|---------------------------|----------------------------------|
| (299) - hcade | UNDERMINED (H) | GLACIAL TILL MATERIALS (C) | NONE (A) | UNDETERMINED (D) | UNDETERMINED (D) |

*Estimated based upon soil properties observed in the field. No published data available. On-site testing recommended as necessary for design and placement of specific infiltration practices.

SITE SPECIFIC SOIL SURVEY MAP LEGEND

| SOIL SERIES NAME & NUMBER | DRAINAGE CLASS | PARENT MATERIAL (C Horizon) | MINERAL RESTRICTIVE FEATURES* | SATURATED HYDRAULIC CONDUCTIVITY (Ksat)** inches/hour low to high B & C horizons | HSG** |
|---------------------------|-----------------|---------------------------------|-------------------------------|--|-------|
| 42 CANTON | WELL | GLACIAL TILL | NONE | 0.0 TO 6.0 | B |
| 444 NEWFIELDS | MODERATELY WELL | GLACIAL TILL | NONE | 0.6 TO 2.0 | B |
| 299 UDORTHENTS | VARIABLE | VARIABLE - CUT AND/OR FILLED | NONE† | 0.6 TO 2.0 | NA† |
| 597 WESTBROOK | VERY POOR | ORGANIC DEPOSITS OVER SEDIMENTS | NONE | NA† | D |

*Within 40 inches of the soil surface.
**From Ksat Values for New Hampshire Soils - Society of Soil Scientists of Northern New England - Special Publication Number 5 - September 2009 unless noted otherwise. On-site Ksat testing may be warranted or advisable.
†No published data is available. On-site Ksat testing recommended as necessary for design/ placement of specific infiltration practices.

| REV. | DATE | DESCRIPTION | DR | CK |
|------|------|-------------|----|----|
| | | | | |

TAX MAP 205 LOT 2
BELLE ISLE / AKA LADY ISLE
EXISTING CONDITIONS
325 LITTLE HARBOR ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
THE ADL 325 LITTLE HARBOR ROAD TRUST

SCALE: 1" = 60' (22"x34")
 1" = 120' (11"x17")

SEPTEMBER 29, 2021



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
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47099.01

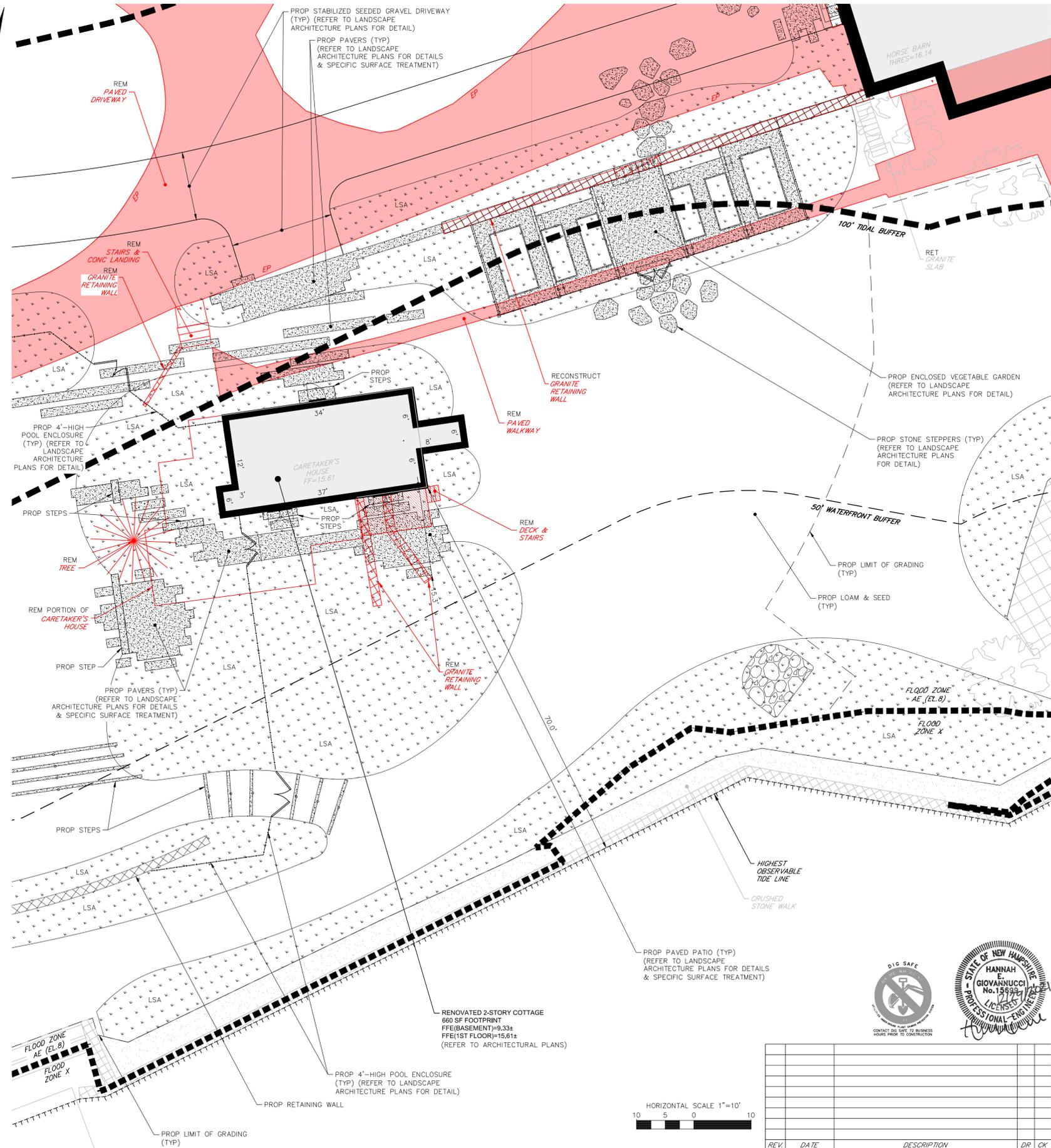
DR FB
 CK CADFILE

S-01

Dec 29, 2021 - 11:09am F:\MSC Projects\47099-01 - Little Harbor Rd & Gosport Rd - Portsmouth\PRODUCTION DRAWINGS_GUEST\47099-01_Site_Guest.dwg

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- LEGEND**
- EXISTING FEATURES TO REMAIN
 - EXISTING FEATURES TO BE REMOVED
 - PROPOSED FEATURES



SITE DATA

OWNER OF RECORD OF MAP 205 LOT 2: THE ADL 325 LITTLE HARBOR ROAD TRUST
 127 PARROTT AVENUE
 PORTSMOUTH, NH 03801
 DEED REFERENCE TO PARCEL IS BK 5959 PG 1244
 AREA OF PARCEL = 535,990± SF OR 12.30± ACRES

ZONED: RURAL (R)
 EXISTING USE: SINGLE-FAMILY DWELLING // ACCESSORY USE
 PROPOSED USE: SINGLE-FAMILY DWELLING // ACCESSORY USE

THE PURPOSE OF THIS PLAN IS TO ACCOMPANY A CONDITIONAL USE PERMIT APPLICATION FOR A DETACHED ACCESSORY DWELLING UNIT. THE PROPOSED CONSTRUCTION IS TO RENOVATE AND DEMOLISH SECTIONS OF AN EXISTING 2-STORY STRUCTURE AND CONVERT THE REMAINING STRUCTURE TO A 2-STORY GUEST COTTAGE, SERVING AS A DETACHED ACCESSORY DWELLING UNIT. THE PLAN DEPICTS ASSOCIATED IMPROVEMENTS, INCLUDING AND NOT LIMITED TO ACCESS, GRADING, UTILITIES, AND LANDSCAPING, WHICH IS A PORTION OF THE LADY ISLE SITE REDEVELOPMENT (REFER TO TFM'S SITE DEVELOPMENT PLANS FOR LADY ISLE SITE RENOVATION).

DIMENSIONAL REQUIREMENTS (CURRENT ZONING)

| | REQUIRED: | PROVIDED: |
|-------------------------------|--------------------------|-------------------|
| MINIMUM LOT DIMENSIONS: | | |
| LOT AREA | 5 AC (PER DWELLING UNIT) | 12.30± AC (TOTAL) |
| MINIMUM YARD DIMENSIONS: | | |
| FRONT | 50 FT | >50 FT |
| SIDE | 20 FT | >20 FT |
| REAR | 40 FT | >40 FT |
| MAXIMUM STRUCTURE DIMENSIONS: | | |
| STRUCTURE HEIGHT | 35 FT | <35 FT |
| BUILDING COVERAGE | 5% | 2.6% |
| MINIMUM OPEN SPACE | 75% | 94%± |

NOTES

- SEE NOTES ON SHEET 01.
- REFER TO SHEET C-00 FOR LIST OF PERMITS REQUIRED.
- REFER TO THE LATEST TFM SITE DEVELOPMENT PLANS FOR LADY ISLE SITE RENOVATION FOR ADDITIONAL PLANS, NOTES, AND DETAILS.

PERMIT PLANS FOR DADU CUP

TAX MAP 205 LOT 2
SITE LAYOUT PLAN
LADY ISLE GUEST COTTAGE
325 LITTLE HARBOR ROAD, PORTSMOUTH, NH
 OWNED BY & PREPARED FOR
ADL 325 LITTLE HARBOR ROAD TRUST

1"=20' (11"X17')
SCALE: 1"=10' (22"X34') **DECEMBER 29, 2021**



| REV | DATE | DESCRIPTION | DR | CK |
|-----|------|-------------|----|----|
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Seacoast Division

TFM

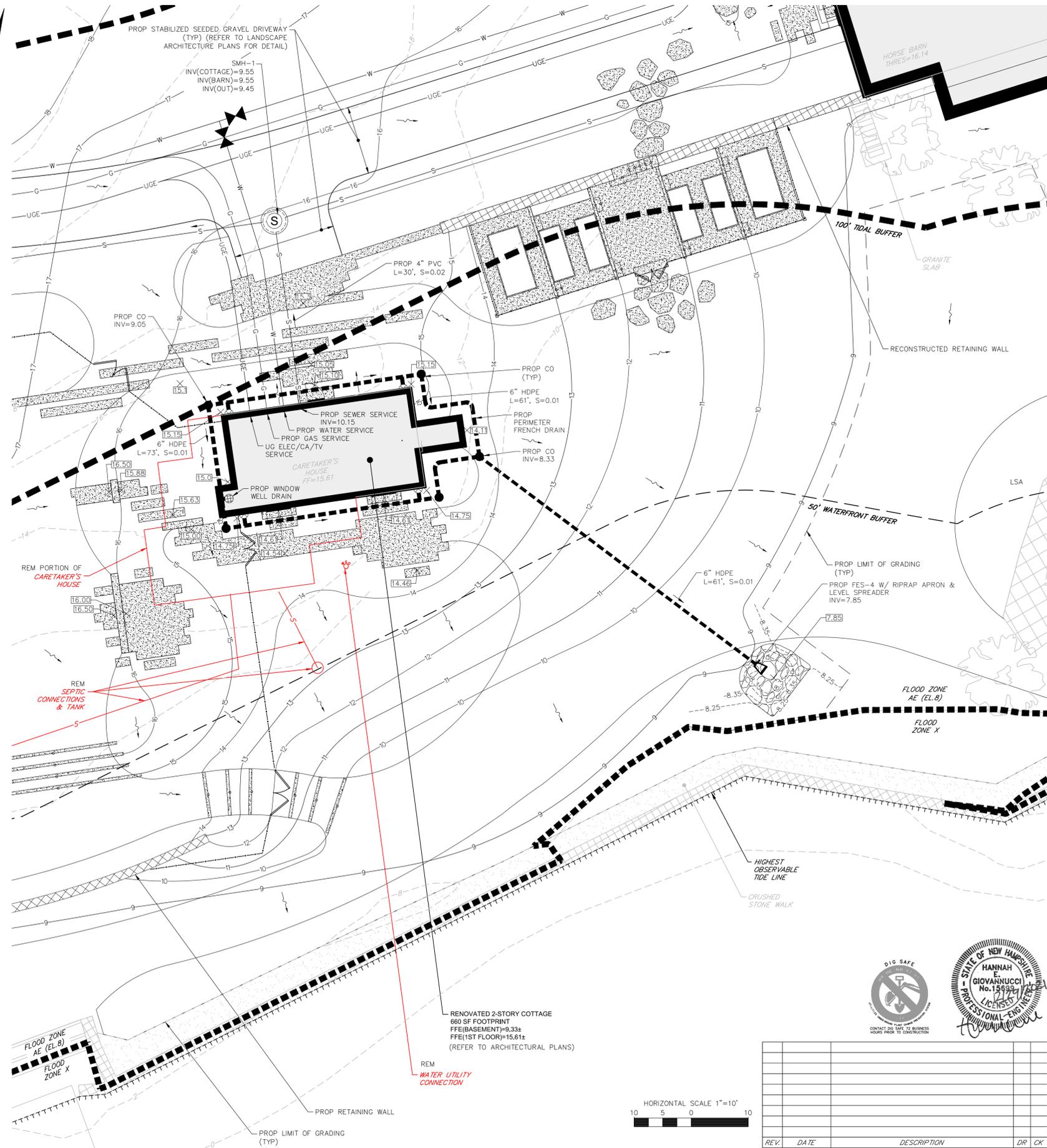
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F 47099.01 DR HEG FB
 CK JCC CADFILE 47099-01_SITE_GUEST C-02

Dec 29, 2021 - 11:09am F:\MSC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099-01 - DiLorenzo - 325 Little Harbor Rd\Design\PRODUCTION DRAWINGS_GUEST\47099-01_Grad-Util_Guest.dwg

- LEGEND**
- EXISTING FEATURES TO REMAIN
 - EXISTING FEATURES TO BE REMOVED
 - PROPOSED FEATURES



- NOTES**
1. SEE NOTES ON SHEET 01.
 2. REFER TO SHEET C-00 FOR LIST OF PERMITS REQUIRED.
 3. REFER TO THE LATEST TFM SITE DEVELOPMENT PLANS FOR LADY ISLE SITE RENOVATION FOR ADDITION PLANS, NOTES, AND DETAILS.

PERMIT PLANS FOR DADU CUP

TAX MAP 205 LOT 2
GRADING & UTILITY PLAN
LADY ISLE GUEST COTTAGE
325 LITTLE HARBOR ROAD, PORTSMOUTH, NH
 OWNED BY & PREPARED FOR
ADL 325 LITTLE HARBOR ROAD TRUST

1"=20' (11'X17')
SCALE: 1"=10' (22'X34') **DECEMBER 29, 2021**



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Seacoast Division

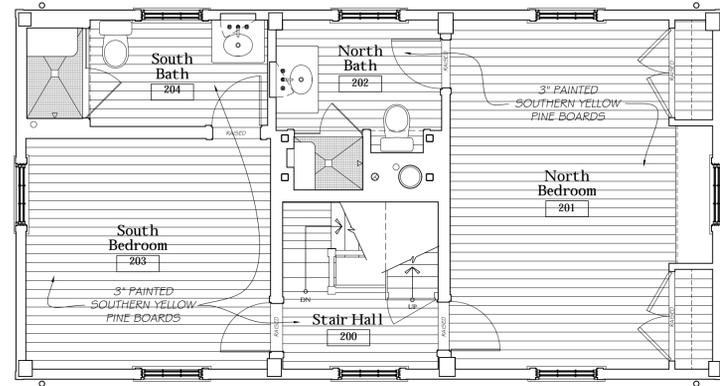
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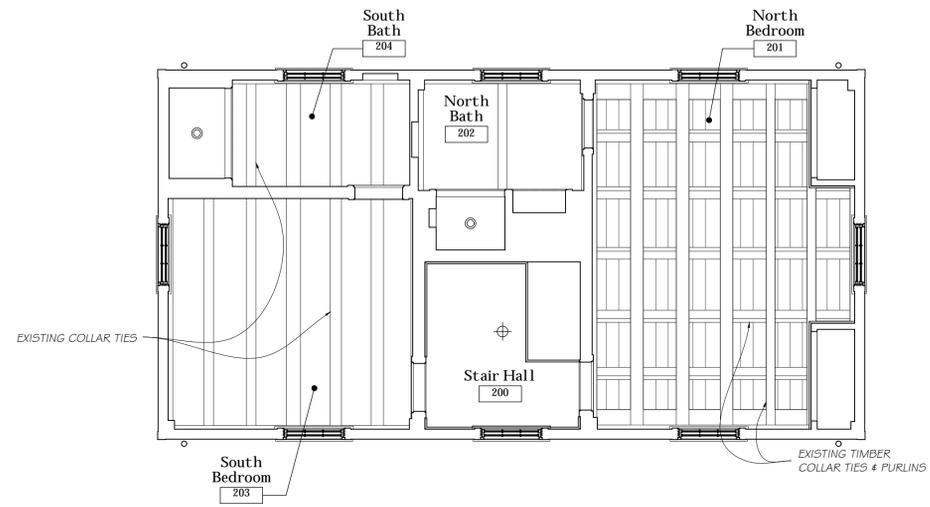
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| | | | | |
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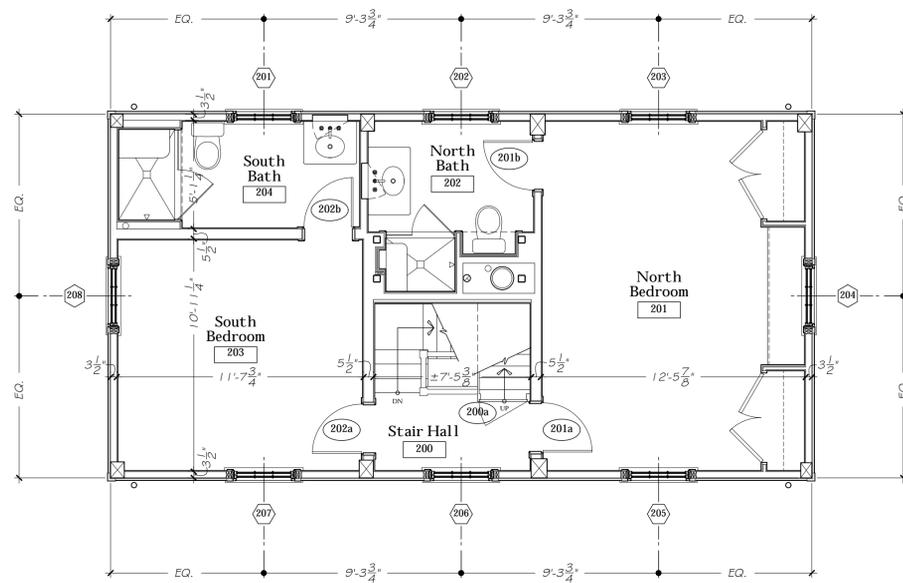
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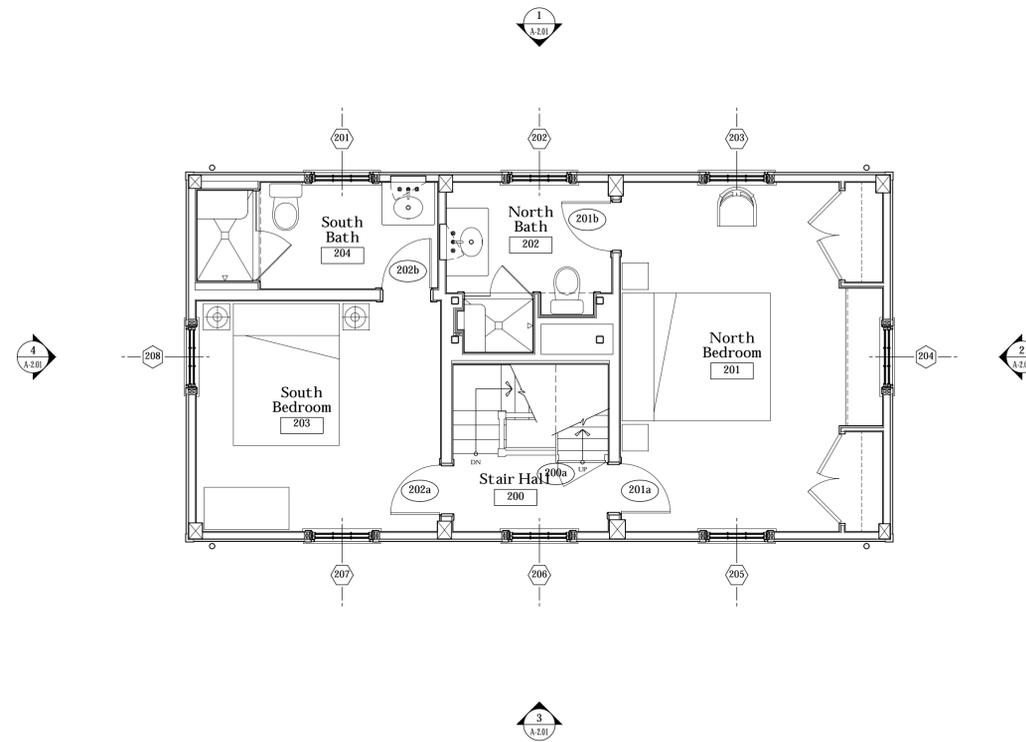
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Second Floor Finish Plan
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3
A-1.02
Second Floor Reflected Ceiling Plan
Scale: 1/4" = 1'-0"



2
A-1.02
Second Floor Framing Plan
Scale: 1/4" = 1'-0"



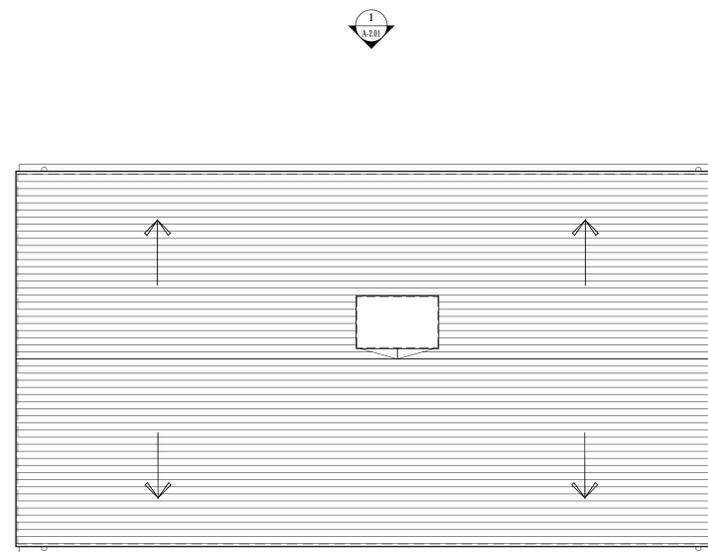
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A-1.02
Second Floor Plan
Scale: 1/4" = 1'-0"

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NOT FOR CONSTRUCTION

| | | |
|--|--------------------------------|--------|
| ISSUED FOR PRICING (NOT FOR CONSTRUCTION) | | 9/8/20 |
| A RENOVATED GUEST COTTAGE for LADY ISLE PORTSMOUTH, NEW HAMPSHIRE | | |
| SHEET TITLE: Second Floor Plan, Framing Plan, RCP & FFP | | |
| DATE: September 8, 2020 | SHEET NUMBER: A-1.02 | |
| SCALE: 1/4" = 1'-0" | | |
| DRAWN BY: BHC | | |
| G. P. SCHAFFER ARCHITECT, DPC 19 UNION SQUARE WEST 4TH FLOOR NEW YORK, NEW YORK 10003 TELEPHONE: 212-965-1355 TELEFAX: 212-965-1356 | | |
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A RENOVATED GUEST COTTAGE
for
LADY ISLE
PORTSMOUTH, NEW HAMPSHIRE

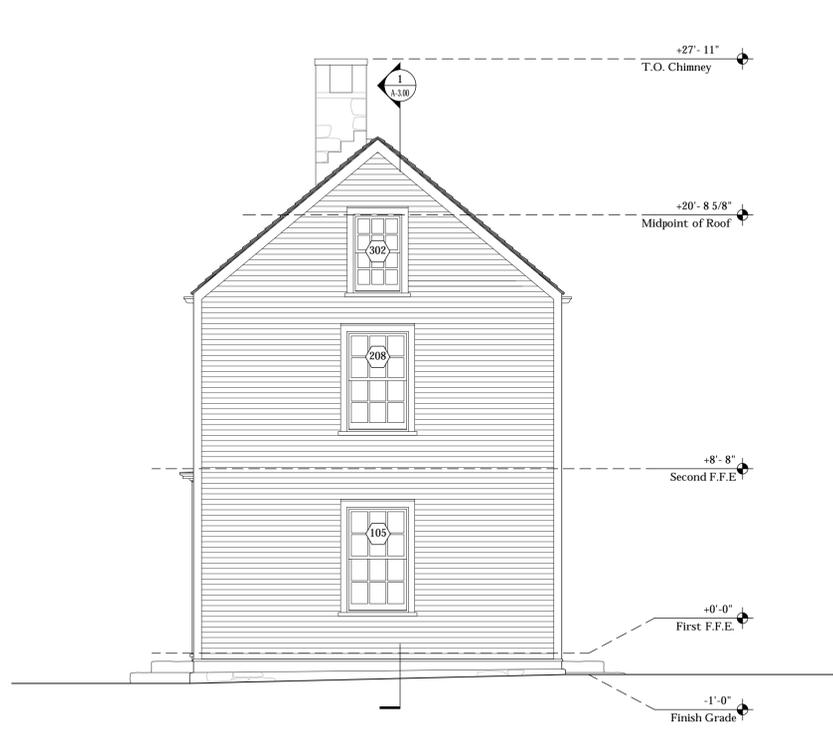
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Roof Plan

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|-----------------------------------|--------------------------------|
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| DRAWN BY: <i>PH</i> | |

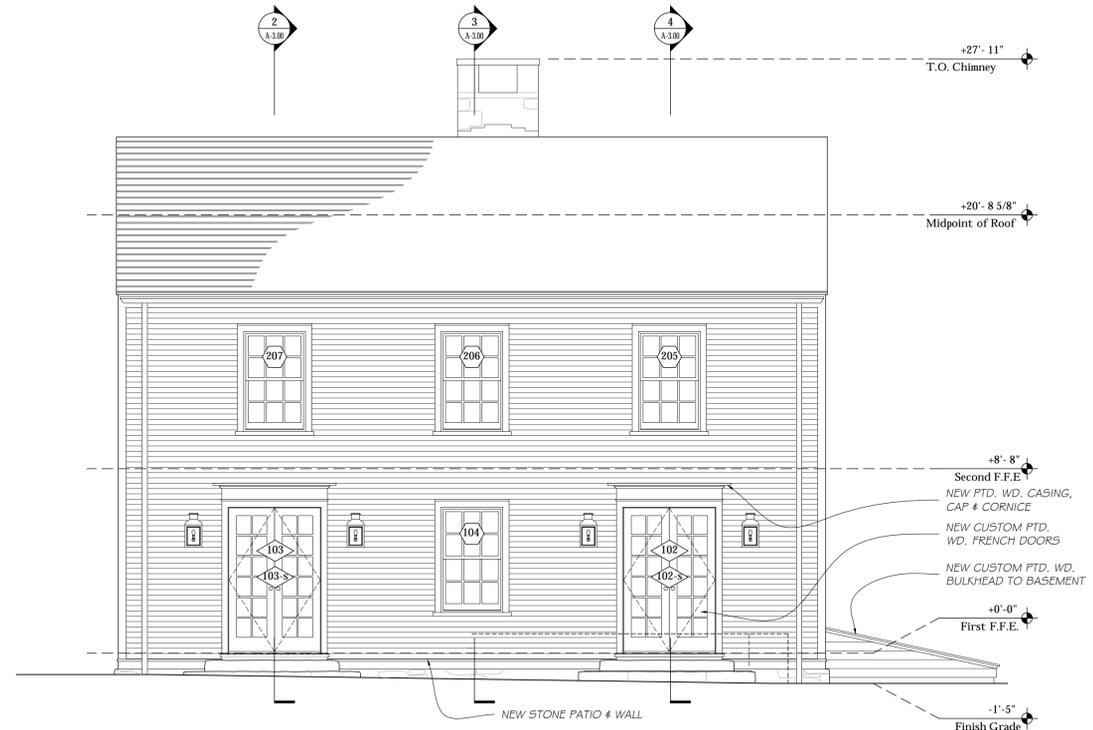
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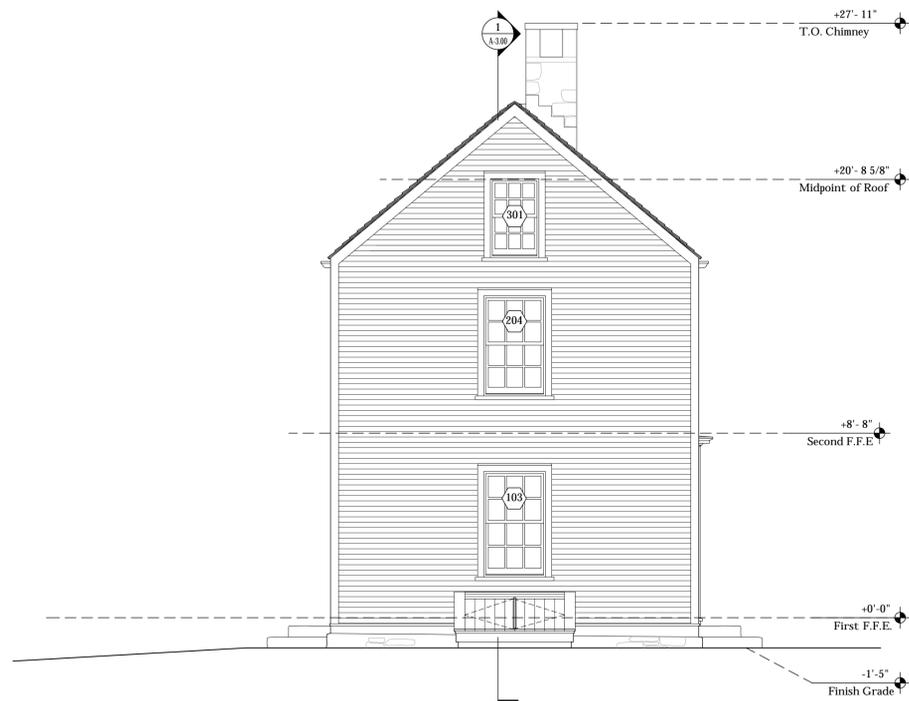
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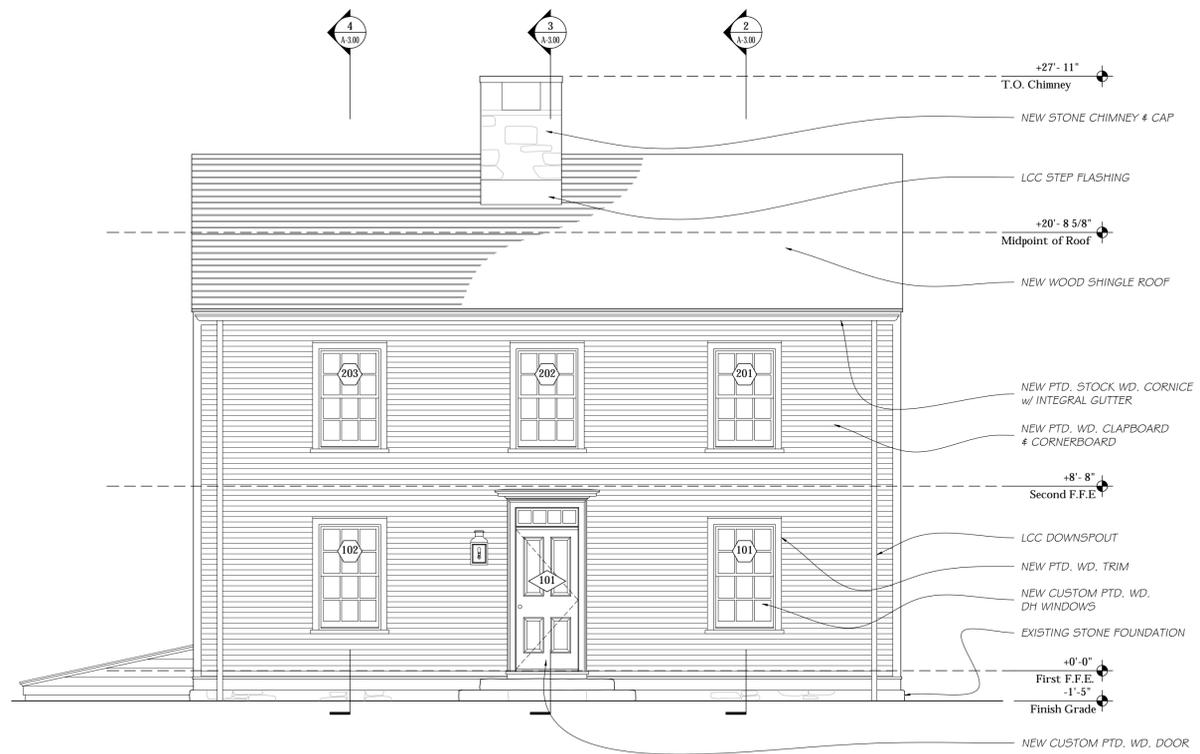
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3 East Elevation
A-2.00 Scale: 1/4" = 1'-0"



2 North Elevation
A-2.00 Scale: 1/4" = 1'-0"



1 West Elevation
A-2.00 Scale: 1/4" = 1'-0"

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A RENOVATED GUEST COTTAGE
for
LADY ISLE
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:
Exterior Elevations

DATE: September 8, 2020

SHEET NUMBER:

SCALE: 1/4" = 1'-0"

A-2.00

DRAWN BY: BHC

G. P. SCHAFER ARCHITECT, DPC

19 UNION SQUARE WEST
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NEW YORK, NEW YORK 10003
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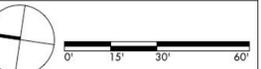
General Notes:

- Existing conditions and topographic data are from a site plan of land dated March 2, 2021; prepared by: Thomas F. Moran Inc., 170 Commerce Way, Suite 102, Portsmouth, NH, 03801 - Tel: (603) 431.2222
- Existing conditions supplemented from data collected by: Matthew Cunningham Landscape Design LLC, 411 Main Street, Stoneham, MA 02180 - Tel: (617) 905.2246
- Do not scale drawings



MATTHEW
CUNNINGHAM
LANDSCAPE
DESIGN LLC
matthew-cunningham.com

SCALE: 1" = 30'-0" DATE: 24 NOVEMBER 2021



SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

L1.1

FOR PERMIT SUBMISSION

Lady Isle

325 Little Harbor Road,
Portsmouth NH

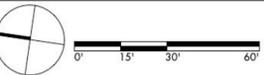
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LANDSCAPE
DESIGN LLC
matthew-cunningham.com

SCALE: 1" = 30'-0" DATE: 24 NOVEMBER 2021



SHEET TITLE:

PLANTING PLAN

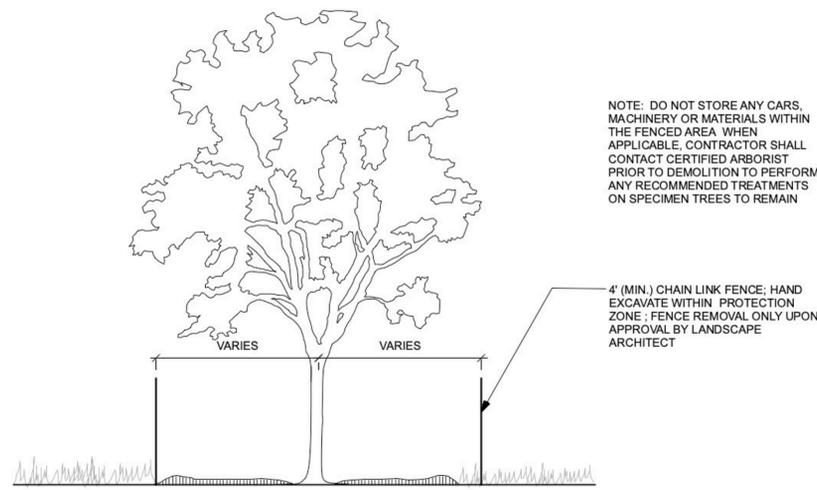
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L1.3

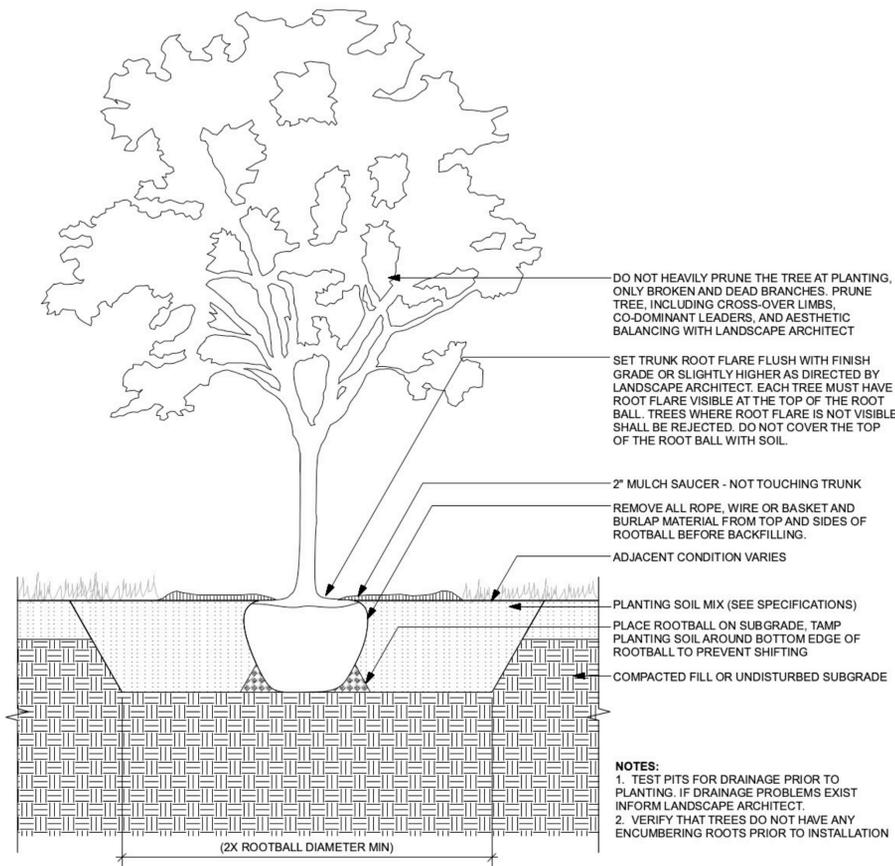
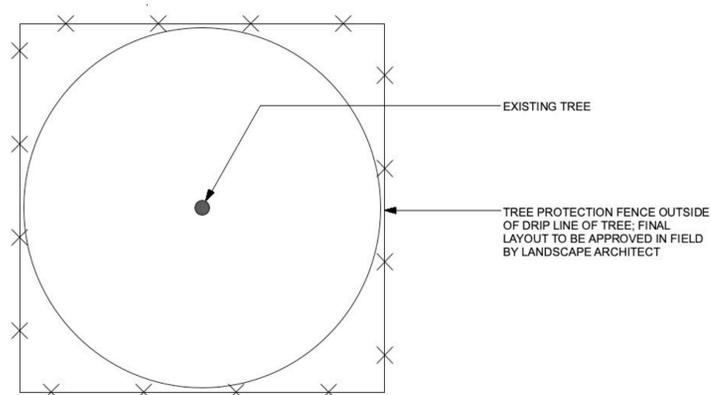
FOR PERMIT SUBMISSION

General Notes:

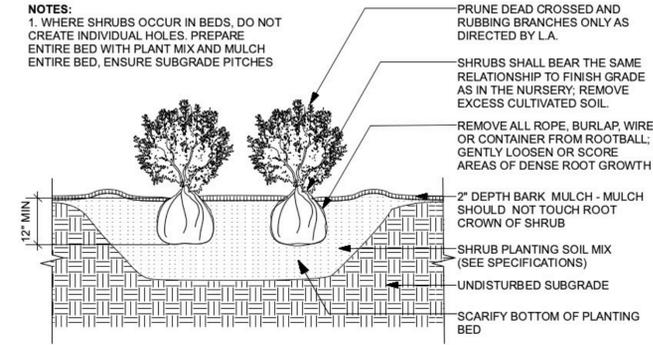
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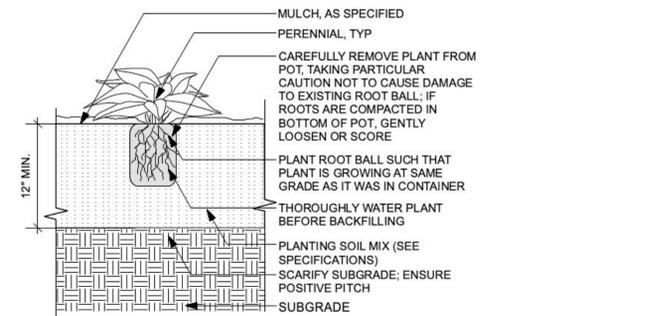
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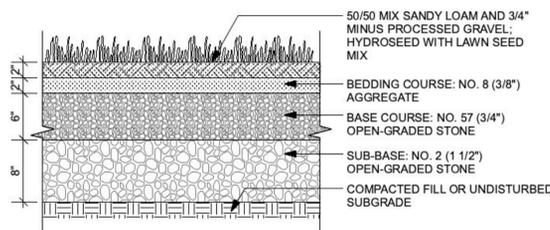
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Scale: 1/2" = 1'-0"



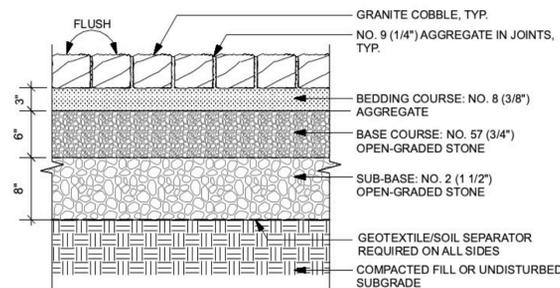
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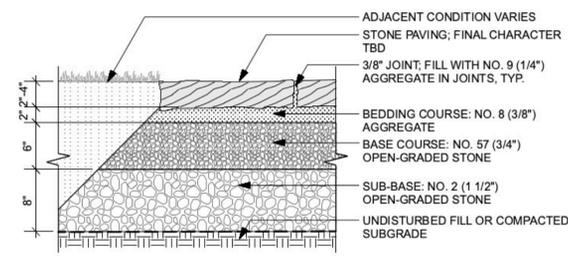
4 PERENNIAL PLANTING - TYPICAL SECTION
Scale: 1/2" = 1'-0"



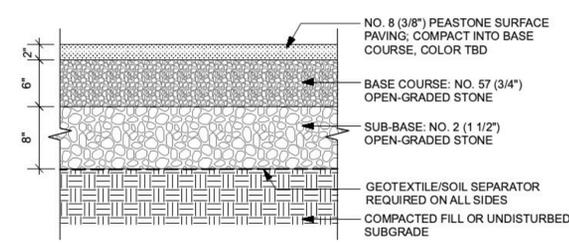
5 STABILIZED SEEDED GRAVEL VEHICULAR PAVING
Scale: 1" = 1'-0"



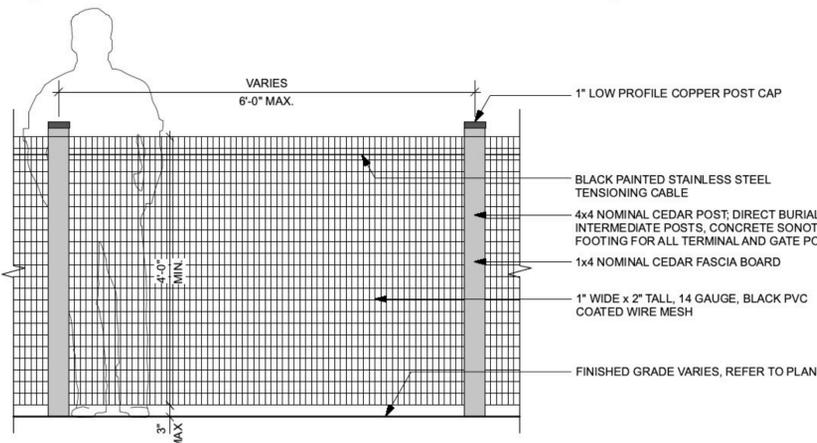
6 PERMEABLE COBBLE PAVING
Scale: 1" = 1'-0"



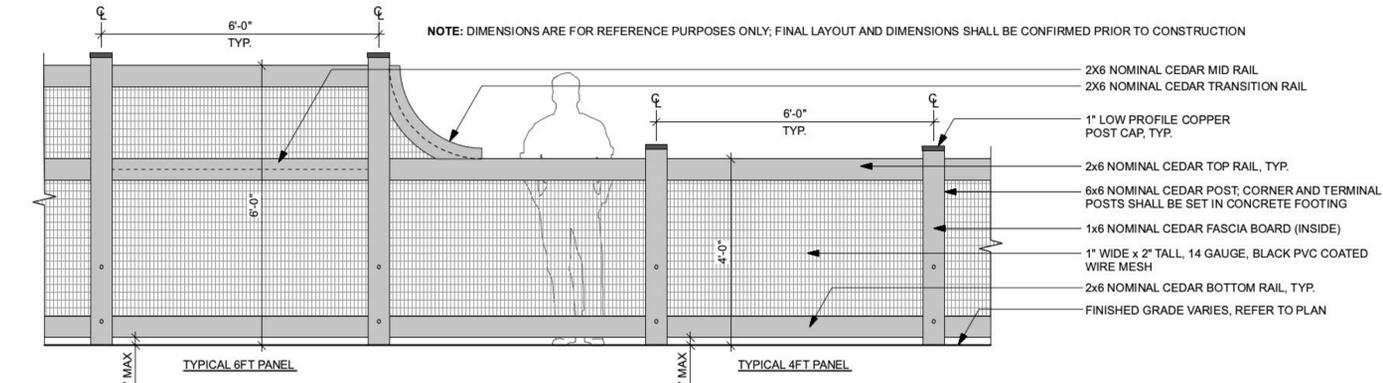
7 GRANITE VEHICULAR PAVING
Scale: 1" = 1'-0"



8 PEASTONE VEHICULAR PAVING
Scale: 1" = 1'-0"



9 POOL ENCLOSURE MESH FENCE - TYPICAL PANEL ELEVATION
Scale: 3/4" = 1'-0"



10 TENNIS COURT FENCING - TYPICAL PANEL ELEVATION
Scale: 1/2" = 1'-0"



MATTHEW
CUNNINGHAM
LANDSCAPE
DESIGN LLC
matthew-cunningham.com

SCALE: AS NOTED DATE: 24 NOVEMBER 2021

SHEET TITLE:
LANDSCAPE DETAILS

SHEET NUMBER:
L1.4
FOR PERMIT SUBMISSION



PLANNING BOARD | EXISTING AERIAL PHOTO (06/02/21)

Lady Isle | 325 Little Harbor Road, Portsmouth NH
24 November 2021

G. P. SCHAFFER ARCHITECT
— ARCHITECTURE & DESIGN —



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists



MATTHEW
CUNNINGHAM
LANDSCAPE
DESIGN LLC
matthew-cunningham.com



1



2



3



4

PLANNING BOARD | EXISTING AERIAL PHOTOS (06/02/21)

Lady Isle | 325 Little Harbor Road, Portsmouth NH
24 November 2021

G. P. SCHAFFER ARCHITECT
— ARCHITECTURE & DESIGN —



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists





GOOGLE EARTH - 2013 AERIAL IMAGE



GOOGLE EARTH - 2020 AERIAL IMAGE



5



6

PLANNING BOARD | EXISTING AERIAL PHOTOS (06/02/21)

Lady Isle | 325 Little Harbor Road, Portsmouth NH
24 November 2021

G. P. SCHAFFER ARCHITECT
ARCHITECTURE & DESIGN



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists



MATTHEW
CUNNINGHAM
LANDSCAPE
DESIGN LLC
matthew-cunningham.com



PLANNING BOARD | PROPOSED ILLUSTRATIVE RENDERINGS

Lady Isle | 325 Little Harbor Road, Portsmouth NH
24 November 2021

G. P. SCHAFFER ARCHITECT
ARCHITECTURE & DESIGN



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists



MATTHEW
CUNNINGHAM
LANDSCAPE
DESIGN LLC
matthew-cunningham.com

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

January 6, 2021

Portsmouth Planning Board
Attn: Chairman of the Board
1 Junkins Avenue, Suite 3rd Floor
Portsmouth, NH 03801

**RE: Conceptual Application
212, 214 & 216 Woodbury Avenue, Portsmouth, NH
Tax Map 175, Lots 1, 2, 3
JBE Project No. 21254**

Dear Chairman of the Board,

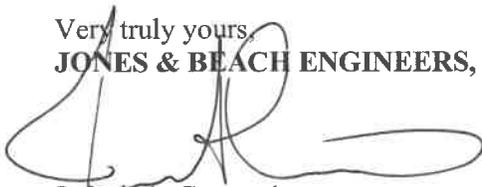
Jones & Beach Engineers, Inc., respectfully submits a Conceptual Application on behalf of the applicant, Tuck Realty Corporation. The intent of this application is to keep the existing structures on Lots 2 & 3 and reduce their lot sizes. The existing dilapidated structure on Lot 1 will be removed and this lot will be consolidated with the back land of Lots 2 & 3. This consolidated parcel (Lot 1) will then have an 8-unit condominium development proposed consisting of a single family, 2 duplexes and one 3-unit structure. Access will be from Boyd Street for condominium parcel. Architectural plans have not been generated yet, but the homes are planned to be 2-stories and fit in with the abutting structure.

The following items are provided in support of this Application:

1. Completed Conceptual Application (submitted online).
2. Letters of Authorization.
3. Current Deeds.
4. One (1) Full Size Plan Set Folded.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



Joseph A. Coronati
Vice President

cc: Michael Garrepy, Tuck Realty Corporation (via email)

**FEE SCHEDULE
Planning Department
Effective 07/01/21 – 06/30/22**

PLANNING BOARD

Subdivision:

Subdivision
Residential\$500.00 plus \$200.00 per lot
Non-Residential\$700.00 plus \$300.00 per lot

Subdivision Amendment:
Administrative approval\$200.00
TAC or Planning Board approval\$500.00

Lot line revision/verification.....\$250.00

Lot Line Revision Amendment
Administrative approval\$100.00
TAC or Planning Board approval\$150.00

Lot Consolidation – No Subdivision\$175.00

Restoration of Involuntarily Merged Lots\$250.00

Preliminary Conceptual Consultation.....\$200.00

Design Review.....\$500.00

Site Plan Review:

All developments.....\$500.00
plus \$5.00 per \$1,000 of site costs only
plus \$10.00 per 1,000 s.f. of site development area

Total fee not to exceed (cap)\$15,000.00

Site Plan Minor Amendment:
Administrative approval\$200.00
Administrative approval after
work has been done.....\$500.00
TAC or Planning Board approval\$800.00

Preliminary Conceptual Consultation.....\$200.00

Total = \$200.00

Design Review.....\$500.00

Planning Department Fee Schedule (Effective 07/01/21 – 06/30/22)

Wetlands Conditional Use Permit:

Area of disturbance in wetland or wetland buffer:

| | |
|---------------------------------|------------|
| Up to 250 sq. ft. | \$100.00 |
| Up to 1,000 sq. ft..... | \$500.00 |
| Greater than 1,000 sq. ft. | \$1,000.00 |

Conditional Use Permit (Non-Wetland)

| | |
|---|----------|
| Conditional Use Permit (Non-Wetland)..... | \$200.00 |
|---|----------|

BOARD OF ADJUSTMENT

Residential Applications

| | |
|-------------------------------------|--|
| 1-2 dwelling units | \$150.00 |
| 3 and over | \$250.00 plus \$50.00 for each unit over 4 |
| Total fee not to exceed (cap) | \$3,000.00 |

| | |
|--|---------|
| Residential accessory structure only | \$50.00 |
|--|---------|

Non-Residential Applications..... \$300.00 plus \$5.00 per \$1,000 of valuation of new construction

| | |
|-------------------------------------|------------|
| Total fee not to exceed (cap) | \$3,000.00 |
|-------------------------------------|------------|

| | |
|--------------------|----------|
| Signs | \$200.00 |
|--------------------|----------|

| | |
|--|---------|
| Appeal of Administrative Decision | \$50.00 |
|--|---------|

HISTORIC DISTRICT COMMISSION

| | |
|---|---------------------------|
| Work Session (prior to application for approval) | \$200.00 per work session |
|---|---------------------------|

Residential Applications

| | |
|-------------------------------------|---|
| 1 dwelling unit | \$100.00 |
| 2 dwelling units | \$100.00 |
| 3 dwelling units | \$250.00 |
| 4 dwelling units and over | \$400.00 plus \$100.00 for each unit over 4 |
| Total fee not to exceed (cap) | \$5,000.00 |

| | |
|---|----------|
| Accessory structure, mechanical equipment or replacement of doors/windows only..... | \$100.00 |
|---|----------|

Planning Department Fee Schedule (Effective 07/01/21 – 06/30/22)

| | |
|--|--|
| Non-Residential Applications | \$500.00 plus \$5.00 per \$1,000 of valuation of new construction |
| Total fee not to exceed (cap) | \$5,000.00 |
| Accessory structure, mechanical equipment or replacement of doors/windows only..... | \$100.00 |
| Signs | \$100.00 |
| Amendment to Certificate of Approval: | |
| Administrative approval | \$100.00 |
| Administrative approval after work has been done | \$500.00 |
| Commission approval | \$800.00 |

ZONING PERMITS

| | |
|---------------------------------|----------|
| Certificate of conformity | \$50.00 |
| Letter of interpretation..... | \$100.00 |

Letter of Authorization

We, Frederick Bailey & Joyce Nelson, owners of property located at 212, 214 & 216 Woodbury Avenue & 6 Boyd in Portsmouth, NH, known as Tax Map 175, Lots 1, 2, 3 & 13 do hereby authorize Jones & Beach Engineers, Inc. ("JBE"), Garrepy Planning Consultants, LLC ("GPC"), and Hoefle, Phoenix, Gormley & Roberts, PLLC ("HPGR") to act on its behalf concerning the previously mentioned property.

I hereby appoint JBE, GPC and HPGR as agents to act on our behalf in the Planning Board and Zoning Board application process, to include any required signatures.

Frederick Bailey

Frederick Bailey
As Partners and, Individually

1/5/22
Date

Joyce Nelson

Joyce S. Nelson
As Partners and, Individually

1/05/22
Date

Letter of Authorization

I, Turner Porter, Tuck Realty Corporation, PO Box 190, Exeter, NH 03833, developer of property known as Tax Map 175, Lots 1, 2, 3, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcels are located on 212, 214 & 216 Woodbury Avenue in Portsmouth, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Susan Porter
Witness

TP
Turner Porter
Tuck Realty Corporation

1/5/22
Date

DEED

KNOW ALL MEN BY THESE PRESENTS that we, Seron E. Nelson and Peter A. Nelson, both of 19 Buckingham Drive, Bow, NH 03304 for nominal (less than \$1.00) consideration paid, do hereby release and disclaim any and all claim to or interest in and do hereby give and grant to the other parties of interest, to wit, Frederick J. Bailey III of 27 Kirriemuir, Stratham, NH and Joyce S. Nelson of 19 Buckingham Drive, Bow, NH with QUIT-CLAIM COVENANTS, the following undivided interest in the following described tract of land, to wit:

All of the Grantors estate's right, title and interest in and to eight certain tracts of land with the buildings thereon situated in Portsmouth, County of Rockingham, State of New Hampshire, bounded and described as follow:

TRACTS I, III, V, VI AND VII

Beginning at land of the State of New Hampshire at a concrete post in the ground which is a New Hampshire Highway Bound situated at the northeasterly corner of the premises hereby conveyed, which bound is also located at the northwesterly corner of land of Spectrum Enterprises, Inc., thence turning and running S 14 degrees 15' E along land of Spectrum Enterprises, Inc., a distance of two hundred sixty-seven and 40/100 (267.40) feet to a drill hole in a boulder at other land formerly of Colony Motor Hotel, Inc.; thence turning and running S 14 degrees 08' E along land formerly of Colony Motor Hotel, Inc., a distance of ninety-six and 14/100 (96.14) feet to a corner of other land formerly of Colony Motor Hotel, Inc.; thence turning and running N 82 degrees 49' W along other land formerly of Colony Motor Hotel, Inc. a distance of one hundred twelve and no/100 (112.00) feet to the northeast corner of such other land formerly of Colony Motor Hotel, Inc. (There is also included in the aforesaid tract the right to use so much, if any, of the area owned by the grantor south of such line as is now occupied by the pool or cooling tower now located on the aforesaid tract); thence turning and running S 14 degrees 08' E along such other land formerly of Colony Motor Hotel, Inc. a distance of one hundred fifty and no/100 (150.00) feet to the northerly sideline of Boyd Road at the southeasterly corner of the premises hereby conveyed; thence turning and running N 82 degrees 49' W along the northerly sideline of the said Boyd Road a distance of two hundred ninety-eight and no/100 (298.00) feet to a point in such sideline; thence turning and running N 84 degrees 25' 10" W still along the northerly sideline of Boyd Road a distance of one hundred seven and 39/100 (107.39) feet to an iron pipe set in the ground at land of the State of New Hampshire; thence turning and running N 13 degrees 10' 55" E along land of the State of New Hampshire a distance of twenty-four and 88/100 (24.88) feet to and iron pipe set in the ground; thence turning and running N 20 degrees 19' 40" E still along land of the State of New Hampshire a distance of two hundred seventy-two and 92/100 (272.92) feet to an iron pipe set in the ground; thence turning and running N 43 degrees 09' 40" E still along land of the State of New Hampshire a distance of seventy-seven and 61/100 (77.61) feet to an iron pipe set in the ground; thence turning and running N 67 degrees 00' 10" E still along land of the State of New Hampshire a distance of two

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ROCKINGHAM COUNTY
REGISTRY OF DEEDS

DEED

hundred fifty-four and 38/100 (254.38) feet to the New Hampshire Highway Bound at the place of beginning.

The foregoing described premises include (as Tract VII) the whole of the premises conveyed by the State of New Hampshire to Colony Motor Hotel, Inc. by deed dated November 12, 1975, and recorded in the Rockingham County Registry of Deeds, Book 2247, Page 0552; (as Tract VI) the whole of the premises conveyed by Parkwood, Inc. to Colony Motor Hotel, Inc. by deed dated February 6, 1973, and recorded in the Rockingham County Registry of Deeds, Book 2196, Page 1564; the whole of Tract I (original motel lot) and Tract III (original adjunct to pool lot), and Tract V (triangular lot at corner of State land) as conveyed by Frederick J Bailey and Seron W. Bailey to Colony Motor Hotel, Inc. by deed dated June 30, 1976, and recorded in the Rockingham County Registry of Deeds, Book 2261, Page 0479, together with all grantor's right, title and interest in and to rights of way, easements, options, etc., as set forth on the last page of said Baileys to Colony deed in Book 2261, Page 0479.

There is expressly excepted and reserved to the State of New Hampshire as to the tract adjacent to the Portsmouth Traffic Circle the rights by said State reserved to itself in said deed by the State of New Hampshire to Colony Motor Hotel, Inc. dated November 12, 1975 recorded in said Rockingham County Registry of Deeds, Book 2247, Page 0552 in the following terms as therein set forth, namely:

"There is expressly excepted and reserved to the grantor herein all rights of access, light, air and view, appurtenant to the parcel herein conveyed, over, from and to US Route 1 By-Pass and the Woodbury Avenue Ramp along the first four (4) described courses with the exception of two (2) points of access, as presently existing along the fourth described course at the new right of way line established by this conveyance, said two (2) points of access being as shown on the plan herein above referred to.

Attached hereto is a copy of the relevant portion of the plan referred to above."

Former easement reserved by deed of Parkwood, Inc. to Colony Motor Hotel, Inc. dated February 6, 1973, recorded in Rockingham County Registry of Deeds, Book 2196, Page 1564, reserving easement to Frederick J. Bailey and Seron W. Bailey over strip of land 20 feet in width along southerly side of restaurant property, having since become meaningless, was terminated by conveyance of such easement in total by said Frederick J. Bailey and Seron W. Bailey by deed to Colony Motor Hotel, Inc. dated July 24, 1981, recorded on July 29, 1981, in said Rockingham Deeds, Book 2394, Page 1324.

TRACT II

A certain parcel of land with the buildings thereon, situate in said Portsmouth, and County of Rockingham and State of New Hampshire, on the northerly side of Boyd Road, so-called, and bounded and described as follows:

DEED

Beginning on said Road at the southwesterly corner of land formerly owned by one Taccetta at a stake in the ground and thence running in a northerly direction in part by said land formerly of said Taccetta and in part by Tract IV in this deed one hundred and fifty (150) feet to a stake in the ground at land formerly of Joseph Cohen, (now Tract III in this deed); thence turning and running in a generally westerly direction by said land (Tract III herein) one hundred and twelve (112) feet to a stake in the ground; thence turning and running still by land formerly of said Hazel E. Wood (Tract I in this deed) in a generally southerly direction one hundred and fifty (150) feet to said Boyd Road to a stake in the ground; thence turning and running by said Boyd Road in a generally easterly direction one hundred and twelve (112) feet to said stake in the ground at said southwesterly corner of said land formerly of said Taccetta to the place begun at.

Tract II above described being the same premises as Tract II conveyed by deed of Frederick J. Bailey and Seron W. Bailey dated June 30, 1976, recorded Rockingham County Registry of Deeds, Book 2261, Page 0479.

TRACT IV.

A certain lot or parcel of land with the buildings thereon, situated on the westerly side of Woodbury Avenue, in said Portsmouth, and County of Rockingham and State of New Hampshire, and more particularly bounded and described as follows:

Beginning at the northeasterly side of the premises herein described at the southeast corner of land now or formerly of Priscilla Hamilton; thence running by said Woodbury Avenue, S 21 degrees 30' E, 85.0 feet, to land formerly of Vincent Taccetta, Jr.; thence turning and running by said Taccetta, Jr. land S 68 degrees 30' W, 99.2 feet to a point at said Taccetta Jr., land; thence turning and running still by said Taccetta, Jr. land S 85 degrees 23' W, 203.8 feet to land formerly of Parkwood, Inc., (now Tract II in this deed), thence turning and running by said land (Tracts II and III in this deed and other land formerly of Colony Motor Hotel, Inc.) N 14 degrees 50' W, 86.5 feet to land formerly of said Hamilton; thence turning and running by said Hamilton land, N 80 degrees 24' E, 290.4 feet to Woodbury Avenue and the point of the beginning.

Reserving and excepting from the above described premises a strip of land along the southerly side thereof conveyed to Vincent Taccetta, Jr. et al by deed dated June 21, 1966, recorded in the Rockingham County Registry of Deeds, Book 1833, Page 435.

Tract IV being the same premises as Tract IV conveyed by deed of Frederick J. Bailey and Seron W. Bailey, dated June 30, 1976, and recorded in the Rockingham County Registry of Deeds, Book 2261, Page 0479.

DEED

The foregoing premises all being that portion of the same premises conveyed by deed of Colony Motor Hotel, Inc. dated December 15, 1986, recorded in the Rockingham County Registry of Deeds, Book 2652, Page 550.

The foregoing premises all being conveyed to by deed of Frederick J. Bailey and Frederick J. Bailey III as co-executors Estate of Seron W. Bailey dated January 1, 1987, recorded in the Rockingham County Registry of Deeds, Book , Page and by Frederick J. Bailey, Frederick J. Bailey III, and Joyce S. Nelson as Trustees of Seron W. Bailey Trust A by Deed dated December 31, 1989 and recorded in Book 2823 Page 1009.

The premises hereby conveyed, namely Tracts I-VII inclusive, are also conveyed subject to any and all existing rights or easements or record with respect to poles, wires or other facilities of public utilities and to any and all existing access, view and other rights and easements of the State of New Hampshire and/or others for highway or right of way purposes.

TRACT VIII

Beginning at the intersection of the Easterly Sideline of said By-Pass and the Southerly sideline of Boyd Road; thence running Easterly by said Road Forty-five (45) feet, more or less, to the Westerly sideline of a proposed street known as Center Street; thence turning and running Southeasterly by said proposed street Two Hundred Forty-nine (249) feet to the Northerly sideline of a proposed street known as Garden Street; thence continuing in a straight line across said Garden Street Fifty (50) feet and continuing further in a straight line Fifty (50) feet to land now, or formerly of, one Regan; thence turning and running Westerly by land of said Regan and land of another Two Hundred (200) feet, more or less, to the Easterly sideline of said By-Pass One Hundred (100) feet, more or less, to land of Harry E. Yoken, et. al or Darley Realty Company; thence continuing in a general Northeasterly direction Three Hundred Nine (309) feet, more or less, by the Easterly sideline of said By-Pass to the point of beginning; subject, however, to such rights, if any, as the public or adjoining owners may have in that portion of Garden and Inland Street, so called, included in the above description, and meaning and intending to convey all right of the grantor in Center Street, Garden Street, and Inland Street as shown on Plan of Land belonging to Frank Jones, recorded in Rockingham County Records, Book 584, Page 481, and also shown on Plan of Spadea Lots, Garden and Center Streets, Portsmouth, New Hampshire, by John W. Durgin, C. E., recorded in Rockingham Records, Plat 53, page 10, excepting, however, from the above description a parcel of land one hundred twenty (120) feet in length and twenty-five (25) feet in depth extending from the Northerly sideline of Garden Street Northeasterly along the Easterly sideline of said By-Pass, all as shown on said Plan.

To have and to hold the same, with all the rights, privileges, and appurtenances thereunto appertaining unto and to the use of the said Frederick J. Bailey III, and Joyce S. Nelson, and their successors and assigns forever.

DEED

Either statutory minimum or no Documentary Stamps are required, as this is a release and disclaimer of an interest. *Non contractual transfer.*

IN WITNESS WHEREOF Seron E. Nelson and Peter A. Nelson have affixed their hands under seal this 27th day of December, 2002.

In the presence of:

Sheila Castelletz-Cod

Seron E. Nelson
Seron E. Nelson

Sheila Castelletz-Cod

Peter A. Nelson
Peter A. Nelson

STATE OF NEW HAMPSHIRE
ROCKINGHAM, SS.

December 27, 2002

Personally appeared the above named, Seron E. Nelson and acknowledges the foregoing instrument be of her free act and deed.

Before me,

Jane H. Dodge
Notary Public

JANE H. DODGE, Notary Public
My Commission Expires September



STATE OF NEW HAMPSHIRE
ROCKINGHAM, SS.

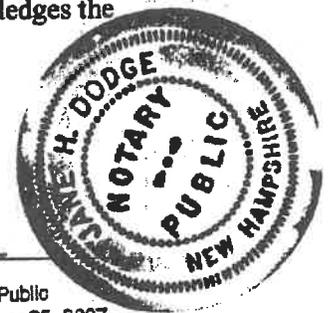
December 27, 2002

Personally appeared the above named Peter A. Nelson and acknowledges the foregoing instrument to of his free act and deed.

Before me,

Jane H. Dodge
Notary Public

JANE H. DODGE, Notary Public
My Commission Expires September 25, 2007



WARRANTY DEED

We, Mitchell A. Hyder, Edward A. Hyder, Henry K. Hyder, Jr., A. Robert McGuire, and Henry K. Hyder III, all as Trustee's of the Mitchell A. Hyder and Edward A. Hyder Irrevocable Trust of 1993, of One Raynes Avenue, Portsmouth, Rockingham County, New Hampshire

Frederick J. Bailey, III and Joyce S. Nelson with a mailing address of 27 Kirriemuir Road, Stratham, New Hampshire 03885, as tenants in partnership in accordance with the Bailey Nelson Partnership.

with Warranty Covenants

A certain tract or parcel of land, with the buildings thereon, situate in Portsmouth, County of Rockingham and State of New Hampshire, and more particularly bounded and described as follows:

Beginning on the Westerly side of Woodbury Avenue at the Northeasterly corner of land now or formerly of James and Mary Verna; thence running S 68° 30' W, by said Verna land, ninety-nine and two-tenths (99.2) feet, more or less, to other land of said Verna; thence N 21° 30' W by said Verna land, ten (10) feet, thence S 68° 30' W by said Verna land, seventy-two (72) feet, thence S 80° 24' W, by said Verna land in part, and by land of John F. and Gloria C. Collins in part sixty-eight and three-tenths (68.3) feet; thence N 84° 6' N by said Collins land, seventy-four and five-tenths (74.5) feet to land formerly of Edward C. Berry; thence by said Berry land in part and by land of Parkwood, Inc. in part, N 14° 50' W, eighty-six and five-tenths (86.5) feet to land formerly of Vincent Taccetta; thence by land formerly of Vincent Taccetta, N 85° 23' E, one hundred sixteen and nine-tenths (116.9) feet; thence still by land formerly of Vincent Taccetta, N 70° 23' 30" W, one hundred eighty-two and four-tenths (182.4) feet to Woodbury Avenue; thence S 21° 30' E, by said Woodbury Avenue, one hundred four and four-tenths (104.4) feet to the point of beginning.

Being parcel No. 6 as described in Deed at Registry of Deeds in Book 3005, Page 1883 dated August 31, 1993.

Executed as a sealed instrument this 16 day of Nov. 2005.

MITCHELL A. HYDER
EDWARD A. HYDER
IRREVOCABLE TRUST OF 1993

Mitchell A. Hyder

Mitchell A. Hyder, Trustee

Edward A. Hyder

Edward A. Hyder, Trustee

A. Robert McGuire, Jr.

A. Robert McGuire, Jr. Trustee

Henry K. Hyder, Jr.

Henry K. Hyder, Jr., Trustee

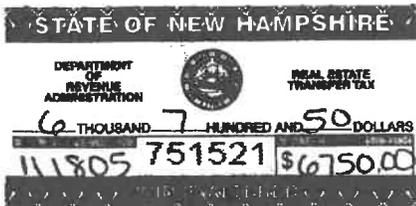
Henry K. Hyder, Jr.

Henry K. Hyder, Jr., Trustee

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ROCKINGHAM COUNTY
REGISTRY OF DEEDS



State of New Hampshire
THE COMMONWEALTH OF MASSACHUSETTS

Rockingham
ESSEX, ss

November 16, 2005

On this 16 day of ~~November~~ 2005, before me, the undersigned notary public, personally appeared Henry K. Hyder III proved to me through satisfactory evidence of identification, which was personal knowledge, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Susan Cooney
Notary Public
My Commission Expires:
Susan Cooney
NOTARY PUBLIC
New Hampshire
My Commission Expires:



STATE of New Hampshire
THE COMMONWEALTH OF MASSACHUSETTS

Rockingham
ESSEX, ss

Nov 16, 2005

On this 16th day of NOV. 2005, before me, the undersigned notary public, personally appeared Henry K. Hyder, Jr., proved to me through satisfactory evidence of identification, which was personal knowledge, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Pamela J. Starkey
Notary Public
My Commission Expires:
PAMELA J. STARKEY, Commissioner of
My Commission Expires August 12, 2008



State of New Hampshire
County of Rockingham

On this the 16th day of NOVEMBER, 2005, before me, Michael A. Hyder, the undersigned officer, personally appeared Mitchell A. Hyder, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.
In witness whereof I hereunto set my hand and official seal.



Michael A. Hyder
Notary Public
My Commission Expires: 4/21/08

State of New Hampshire
County of Rockingham

On this the 16 day of NOVEMBER, 2005, before me, the undersigned officer, personally appeared Edward A. Hyder, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.
In witness whereof I hereunto set my hand and official seal.



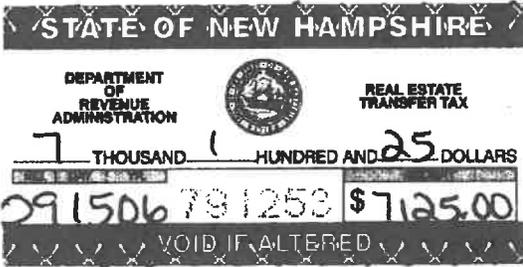
Michael A Sanderell
Notary Public
My Commission Expires: 4/21/09

State of New Hampshire
County of Rockingham

On this the 16 day of ^{NOVEMBER} ~~NOVEMBER~~, 2005, before me, the undersigned officer, personally appeared A. Robert McGuire, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.

In witness whereof I hereunto set my hand and official seal.

Michael A Sanderell
Notary Public
My Commission Expires: 4/21/09



WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that JOSEPH M. VERNA, married, of 347 Meadow Road, Portsmouth, Rockingham County, New Hampshire, and GLORIA C. COLLINS, an unmarried widow, of 6 Boyd Road, Portsmouth, New Hampshire,

for consideration paid, grants to FREDERICK J. BAILEY, III, and JOYCE NELSON, of 27 Kirriemuir Road, Stratham, Rockingham County, New Hampshire, as tenants in partnership in accordance with the Bailey Nelson Partnership, with WARRANTY COVENANTS, the following described premises:

A certain tract or parcel of land with the buildings thereon situate in Portsmouth, County of Rockingham, State of New Hampshire, being shown as Lot 1 on a plan entitled "Lot Line Adjustment Plan for John & Gloria Collins in Portsmouth, NH" dated October 27, 1988, Scale 1"=20', prepared by Seacoast Engineering Associates, Inc., recorded at the Rockingham County Registry of Deeds as Plan D#18914, and being more particularly bounded and described as follows:

Beginning on Woodbury Avenue at land now or formerly of Margaret H. Taccetta, and running by said Woodbury Avenue South 21°30'East 141.9 feet to a point; thence by a curve whose radius is 12.97 feet, Southerly and Westerly to a point on Boyd Road; thence by said last named road North 86°8'West 240.56 feet to land now or formerly of John F. and Gloria C. Collins; thence turning and running North 01°16'23" West, by land now or formerly of said Collins, a distance of 74.00 feet to a point; thence turning and running North 80°24'02" East, by land now or formerly of Hyder Management, a distance of 36.83 feet to a point; thence turning and running North 68°30'00" East, by land now or formerly of said Hyder Management a distance of 72.00 feet to a point; thence turning and running South 21°30'01" East by land of said Hyder Management, a distance of 10.0 feet to a point; thence turning and running North 68°30'00"East, a distance of 99.20 feet to the point of beginning.

Together with a right of way for all purposes to and from said conveyed premises and Woodbury Avenue over adjoining land now or formerly of Margaret H. Taccetta ten feet wide and carrying that width back 99.2 feet from said Avenue; and subject to a similar right of way, as appurtenant to said land of Margaret H. Taccetta over the land conveyed,

057606
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ROCKINGHAM COUNTY
REGISTRY OF DEEDS

to and from said premises now or formerly of said Margaret H. Taccetta and said Woodbury Avenue, adjoining the aforementioned right of way and similarly ten feet wide and carrying that width back 99.2 feet form said Avenue; the two rights of way together constituting a strip of land 20 feet wide and 99.2 feet deep, over which the two adjoining properties have mutual rights of way. Being a part of the premises described in the deed from Guisseppe Vincini to Croce Taccetta, dated October, 5, 1923, and recording in the Rockingham County Registry of Deeds in Book 781, Page 24.

SUBJECT TO all plans, easements, covenants and restrictions of record, if any.

The is not homestead property of the Grantors and the Grantors release all other interest in the property.

Meaning and intending to describe and convey the same premises conveyed by Corrective Quitclaim Deed to Christine V. Harris, having a life estate, and remainder interest of Joseph M. Verna, and Gloria C. Collins, from Christine V. Harris, Trustee under the Trust created under the Will of James Verna, dated September 15, 2006, and recorded contemporaneously with this deed at the Rockingham County Registry of Deeds.

IN WITNESS WHEREOF, signed this 15th day of September, 2006.

Joseph M. Verna

JOSEPH M. VERNA

Gloria C. Collins

GLORIA C. COLLINS

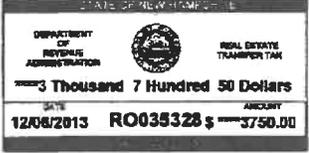
**STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM**

Personally appeared this 15th day of September, 2006, the above-named Joseph M. Verna and Gloria C. Collins, acknowledged the foregoing instrument to be their voluntary act and deed. Before me,

Victoria Spinks

Notary Public
My commission expires:





063099

2013 DEC -6 PM 2:20

ROCKINGHAM COUNTY
REGISTRY OF DEEDS

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, That I, **GLORIA C. COLLINS**, Trustee of the **Gloria C. Collins Living Revocable Trust of 1999**, established u/d/t dated September 14, 1999, a single woman, with an address of 6 Boyd Road in Portsmouth, County of Rockingham and State of New Hampshire, for consideration paid, grant to, **FREDERICK J. BAILEY, III**, and **JOYCE S. NELSON**, both of 27 Kirmimur Road, Stratham, County of Rockingham, State of New Hampshire, as joint tenants with rights of survivorship, **WITH WARRANTY COVENANTS**, the following described premises:

PORTSMOUTH, NEW HAMPSHIRE

A certain tract or parcel of land, with the buildings thereon, situate at 6 Boyd Road, in the City of Portsmouth, County of Rockingham, and State of New Hampshire, being more particularly bounded and described as follows:

Beginning at a point on the northerly sideline of Boyd Road, at land now or formerly of Christine Harris, thence turning and running N 86° 08' 00" W, along the northerly sideline of Boyd Road, a distance of 85.00 feet to a point; thence turning and running N 14° 30' 00" W, by land now or formerly of F.J. and F.J. III Bailey and J.S. Nelson, a distance of 53.10 feet to a point; thence turning and running N 14° 48' 57" W, by land now or formerly of said F.J. and F.J. III Bailey and J.S. Nelson, a distance of 20.00 feet to a point at land now or formerly of Hyder Management; thence turning and running S 84° 06' 04" E, by land now or formerly of said Hyder Management, a distance of 74.53 feet to a point; thence turning and running N 80° 24' 02" E, by land of said Hyder Management, a distance of 10.47 feet to a point; thence turning and running S 15° 08' 02" E, by land now or formerly of Christine Harris, a distance of 73.01 feet to the point of beginning.

Meaning and intending to convey the same premises conveyed to Gloria C. Collins, Trustee of the Gloria C. Collins Living Revocable Trust of 1999 by deed dated October 24, 2005, said deed being recorded in the Rockingham County Registry of Deeds at Book 4570, Page 1092.

Also conveying a certain tract or parcel of land with any improvements thereon situate in Portsmouth, County of Rockingham, State of New Hampshire, being a triangular shaped parcel shown on a plan entitled, "Lot Line Adjustment Plan for John & Gloria Collins in Portsmouth, NH" dated October 27, 1988, Scale 1" = 20', prepared by Seacoast Engineering Associates, Inc., recorded at the Rockingham County Registry of Deeds as Plan D-18914, and being more particularly bounded and described as follows:

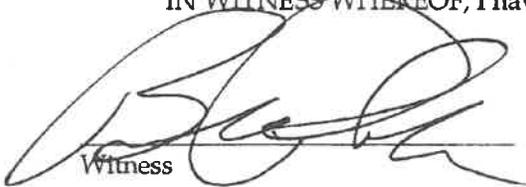
Beginning at a point on the Northerly sideline of Boyd Road, at the Southeasterly corner of other land of the Grantor; thence turning and running N 15° 08' 02" E, along land of the Grantor, a distance of 73.01 feet to a point at land now or formerly of Hyder Management; thence turning and running N 80° 24' 02" E by land of said Hyder Management, a distance of 21.00 feet to a point; thence turning and running S 01° 16' 23" W by land now or formerly of Christine Harris a distance of 74.00 feet to the point of beginning.

The within conveyed parcel of land being the premises conveyed to the Grantor by Warranty Deed of Christine V. Harris, Trustee, dated September 15, 2006 and recorded in the Rockingham County Registry of Deeds at Book 4708, Page 0976.

The said John F. Collins was deceased on December 4, 1990.

The undersigned Trustee as Trustee under The Gloria C. Collins Living Revocable Trust of 1999 created by Gloria C. Collins, as grantor under Trust Agreement dated September 14, 1999, has full and absolute power in said Trust Agreement to convey any interest in real estate and improvements thereon held in said Trust and no purchaser or third party shall be bound to inquire whether the Trustee has said power or is properly exercising said power or to see to the applications of any Trust asset paid to the Trustee for the conveyance thereof. The Trust has not been revoked and is still in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand, this 25th day of November, 2013.


Witness


GLORIA C. COLLINS, Trustee

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

November 25, 2013

Personally appeared the above-named Gloria C. Collins, Trustee of the Gloria C. Collins Living Revocable Trust of 1999, and acknowledged the above instrument to be her free act and deed,

Before me,


 My commission expires:



ABUTTERS

TAX MAP 161 LOT 24
 THOMAS KENNEDY
 378 THORNTON ST
 PORTSMOUTH, NH 03801
 2328/0295 (12/08/1978)

TAX MAP 161 LOT 30
 STEPHEN LAROCHE
 JESSICA LAROCHE
 676 DENNETT ST
 PORTSMOUTH, NH 03801
 5499/2791 (12/6/2013)

TAX MAP 162 LOT 55
 BRUCE OSBORN
 2 ECHO AVE.
 PORTSMOUTH, NH 03801
 6084/2933 (02/18/2020)

TAX MAP 162 LOT 56
 COLBY GAMESTER
 AMANDA GAMESTER
 187 WOODBURY AVE
 PORTSMOUTH, NH 03801
 6050/180 (10/24/2019)

TAX MAP 162 LOT 57
 STEPHEN YANG
 KENDRA YANG
 179 WOODBURY AVE
 PORTSMOUTH NH 03801
 6223/396 (10/19/2021)

TAX MAP 162 LOT 58-1
 FRANK DRAKE
 ELIZABETH DRAKE
 159 WOODBURY AVE UNIT 1
 PORTSMOUTH, NH 03801
 5038/0252 (07/30/2009)

TAX MAP 162 LOT 58-2
 MELISSA ITALIA
 820 E 7TH/ ST STE 409
 CHARLOTTE, NC 28202-3054
 5498/0702 (11-27-2013)

TAX MAP 162 LOT 58-3
 RICHARDS FAMILY 2002 TRUST
 ATTN: ELIZABETH RICHARDS
 159 WOODBURY AVE UNIT 3
 PORTSMOUTH, NH 03801
 4951/1507 (09/24/2008)

TAX MAP 174 LOT 2
 PORTSMOUTH HOUSING
 AUTHORITY
 245 MIDDLE STREET
 PORTSMOUTH, NH 03801

TAX MAP 174 LOT 3
 DAWN P MOYLAN
 55 BOYD ROAD
 PORTSMOUTH, NH 03801
 2969/0654 (02/18/1993)

TAX MAP 174 LOT 4
 KAREN FOYE
 KENNETH FOYE
 79 BOYD ROAD
 PORTSMOUTH, NH 03801
 6108/2989 (04/30/2020)

TAX MAP 174 LOT 6
 JAMES HANSON JR.
 STEPHEN HANSON
 109 BOYD ROAD
 PORTSMOUTH, NH 03801
 3759/2505 (04-22-2002)

TAX MAP 174 LOT 5
 PHYLLIS RANDELL
 REVOCABLE TRUST
 99 BOYD ROAD
 PORTSMOUTH, NH 03801
 5597/0620 (02/26/2015)

TAX MAP 175 LOT 5
 KUZZINS BOWDEN
 HOSPITALITY III LLC
 C/O KEY BANK
 ATTN: SERVICING DEPT.
 300 FIRST AVE THIRD FL
 NEEDHAM, MA 02494
 4772/1282 (02/24/2007)

TAX MAP 175 LOT 7
 WADE BABISH
 273 WOODBURY AVE
 PORTSMOUTH, NH 03801
 4650/0135 (05/02/2006)

TAX MAP 175 LOT 8
 MARGARET WALSH
 263 WOODBURY AVE
 PORTSMOUTH, NH 03801
 6135/1689 (07/06/2020)

TAX MAP 175 LOT 9
 ALAN MOORE
 JOAN MOORE
 PO BOX 591
 PORTSMOUTH, NH 03802
 4459/2659 (04/01/2005)

TAX MAP 175 LOT 10
 RYAN MARTIN
 221 WOODBURY AVE
 PORTSMOUTH, NH 03801
 3526/2011 (12/08/2000)

TAX MAP 175 LOT 11
 JHM PORTSMOUTH LLC
 440 BEDFORD ST
 LEXINGTON MA, 02420
 5444/0334 (05/30/2013)

TAX MAP 175 LOT 1
 EXISTING BUILDING
 TO BE REMOVED

TAX MAP 175 LOT 2
 EXISTING RESIDENCE
 +/-2200 SF

TAX MAP 175 LOT 3
 EXISTING RESIDENCE
 +/-1525 SF

TAX MAP 175 LOT 4

TAX MAP 175 LOT 5
 EXISTING RESIDENCE
 +/-1380 SF

TAX MAP 175 LOT 6

TAX MAP 175 LOT 7

TAX MAP 175 LOT 8

TAX MAP 175 LOT 9

TAX MAP 175 LOT 10

TAX MAP 175 LOT 11

TAX MAP 175 LOT 12

TAX MAP 175 LOT 13

TAX MAP 175 LOT 14

TAX MAP 175 LOT 15

TAX MAP 175 LOT 16

TAX MAP 175 LOT 17

TAX MAP 175 LOT 18

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TAX MAP 175 LOT 165

TAX MAP 175 LOT 166

TAX MAP 175 LOT 167

TAX MAP 175 LOT 168

TAX MAP 175 LOT 169

TAX MAP 175 LOT 170

TAX MAP 175 LOT 171

TAX MAP 175 LOT 172

TAX MAP 175 LOT 173

TAX MAP 175 LOT 174

TAX MAP 175 LOT 175

TAX MAP 175 LOT 176

TAX MAP 175 LOT 177

TAX MAP 175 LOT 178

TAX MAP 175 LOT 179

TAX MAP 175 LOT 180

TAX MAP 175 LOT 181

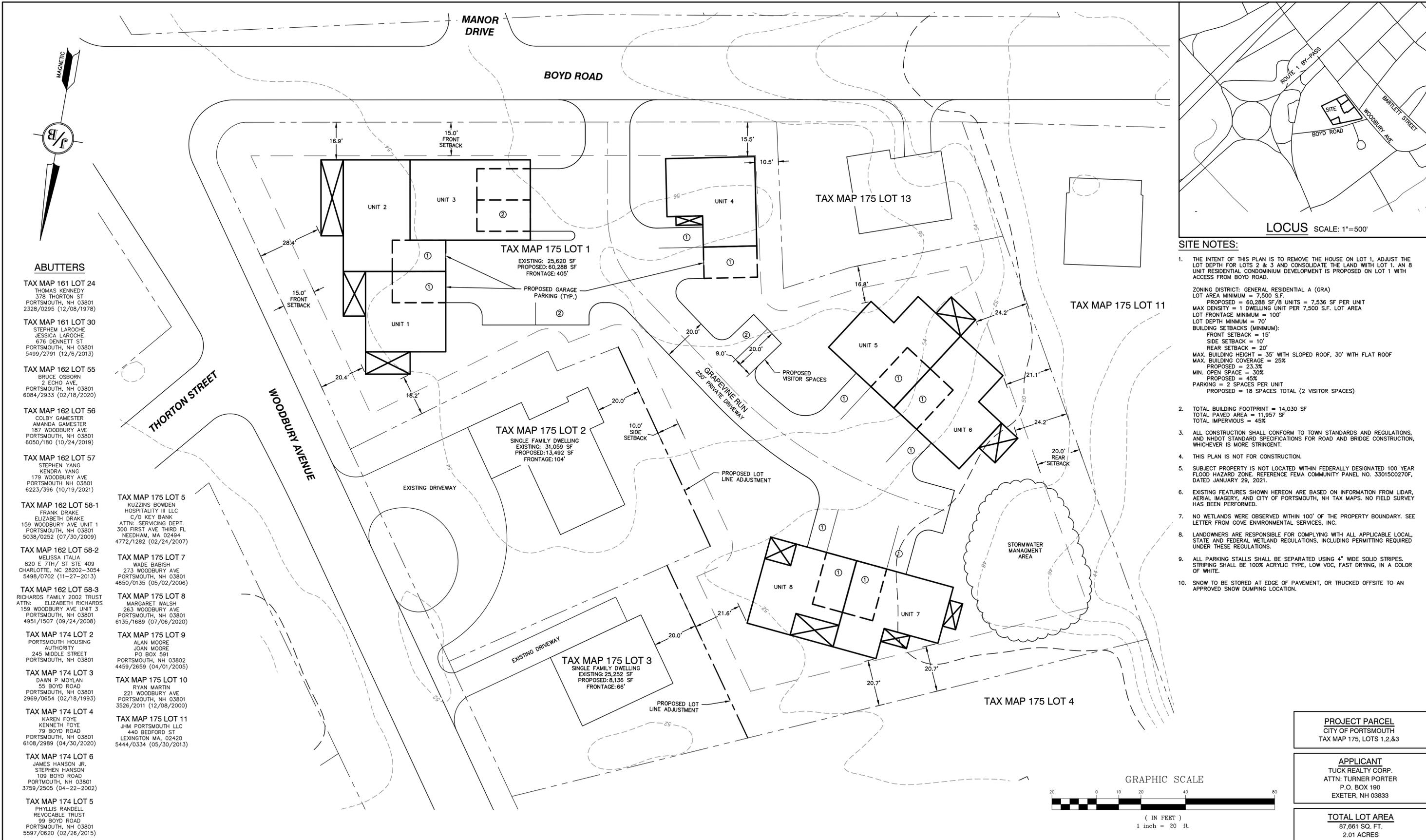
TAX MAP 175 LOT 182

TAX MAP 175 LOT 183

TAX MAP 175 LOT 184

TAX MAP 175 LOT 185

TAX MAP 175 LOT 186



ABUTTERS

- TAX MAP 161 LOT 24**
THOMAS KENNEDY
378 THORTON ST
PORTSMOUTH, NH 03801
2328/0295 (12/08/1978)
- TAX MAP 161 LOT 30**
STEPHEN LAROCHE
JESSICA LAROCHE
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CHARLOTTE, NC 28202-3054
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99 BOYD ROAD
PORTSMOUTH, NH 03801
5597/0620 (02/26/2015)

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HOSPITALITY III LLC
C/O KEY BANK
ATTN: SERVICING DEPT.
300 FIRST AVE THIRD FL
NEEDHAM, MA 02494
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WADE BABISH
273 WOODBURY AVE
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- TAX MAP 175 LOT 8**
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RYAN MARTIN
221 WOODBURY AVE
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3526/2011 (12/08/2000)
- TAX MAP 175 LOT 11**
JHM PORTSMOUTH LLC
440 BEDFORD ST
LEXINGTON MA, 02420
5444/0334 (05/30/2013)

SITE NOTES:

1. THE INTENT OF THIS PLAN IS TO REMOVE THE HOUSE ON LOT 1, ADJUST THE LOT DEPTH FOR LOTS 2 & 3 AND CONSOLIDATE THE LAND WITH LOT 1. AN 8 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT IS PROPOSED ON LOT 1 WITH ACCESS FROM BOYD ROAD.

ZONING DISTRICT: GENERAL RESIDENTIAL A (GRA)
LOT AREA MINIMUM = 7,500 S.F.
PROPOSED = 60,288 SF/8 UNITS = 7,536 SF PER UNIT
MAX DENSITY = 1 DWELLING UNIT PER 7,500 S.F. LOT AREA
LOT FRONTAGE MINIMUM = 100'
LOT DEPTH MINIMUM = 70'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 15'
SIDE SETBACK = 20'
REAR SETBACK = 20'
MAX. BUILDING HEIGHT = 35' WITH SLOPED ROOF, 30' WITH FLAT ROOF
MAX. BUILDING COVERAGE = 25%
PROPOSED = 23.3%
MIN. OPEN SPACE = 30%
PROPOSED = 45%
PARKING = 2 SPACES PER UNIT
PROPOSED = 18 SPACES TOTAL (2 VISITOR SPACES)
2. TOTAL BUILDING FOOTPRINT = 14,030 SF
TOTAL PAVED AREA = 11,957 SF
TOTAL IMPERVIOUS = 45%
3. ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
4. THIS PLAN IS NOT FOR CONSTRUCTION.
5. SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270F, DATED JANUARY 29, 2021.
6. EXISTING FEATURES SHOWN HEREON ARE BASED ON INFORMATION FROM LIDAR, AERIAL IMAGERY, AND CITY OF PORTSMOUTH, NH TAX MAPS. NO FIELD SURVEY HAS BEEN PERFORMED.
7. NO WETLANDS WERE OBSERVED WITHIN 100' OF THE PROPERTY BOUNDARY. SEE LETTER FROM GOVE ENVIRONMENTAL SERVICES, INC.
8. LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
9. ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL BE 100% ACRYLIC TYPE, LOW VOC, FAST DRYING, IN A COLOR OF WHITE.
10. SNOW TO BE STORED AT EDGE OF PAVEMENT, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.

PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 175, LOTS 1,2,&3

APPLICANT
TUCK REALTY CORP.
ATTN: TURNER PORTER
P.O. BOX 190
EXETER, NH 03833

TOTAL LOT AREA
87,661 SQ. FT.
2.01 ACRES

| | | |
|---|---------------|--------------------|
| Design: JAC | Draft: AJB | Date: 01/05/22 |
| Checked: JAC | Scale: 1"=20' | Project No.: 21254 |
| Drawing Name: 21254-PLAN.dwg | | |
| THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE. | | |

| REV. | DATE | REVISION | BY |
|------|----------|-------------------|-----|
| 0 | 01/05/22 | ISSUED FOR REVIEW | AJB |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **CONCEPTUAL SITE PLAN**

Project: **"GRAPEVINE RUN" PORTSMOUTH, NH 03801**

Owner of Record: **FREDERICK BAILEY 4 SHORE ROAD WOLFEBORO, NH 03894**

DRAWING No.

C2

SHEET 2 OF 2
JBE PROJECT NO. 21254

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

January 6, 2021

Portsmouth Planning Board
Attn: Chairman of the Board
1 Junkins Avenue, Suite 3rd Floor
Portsmouth, NH 03801

**RE: Conceptual Application
635 Sagamore Avenue, Portsmouth, NH
Tax Map 222, Lots 18 & 19
JBE Project No. 18134.1**

Dear Chairman of the Board,

Jones & Beach Engineers, Inc., respectfully submits a Conceptual Application on behalf of the applicant & owner, 635 Sagamore Development, LLC. The intent of this application is to remove the existing structures know as Luster King and keep the existing house of Tax Map 222, Lot 18. The back land of Lot 18 will be constructed with Tax Map 222, Lot 19 and a 6-unit single-family condominium development proposed. The homes will be accessed via a common driveway from Sagamore Avenue. The wide curb cut that currently exists for Luster King will be narrowed for just the driveway. The new development will be tied into the new sewer line being installed for this area.

The following items are provided in support of this Application:

1. Completed Conceptual Application (submitted online).
2. Letters of Authorization.
3. Current Deed.
4. One (1) Full Size Plan Set Folded.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.


Joseph A. Coronati
Vice President

cc: Michael Garrepy, 635 Sagamore Development, LLC (via email)

FEE SCHEDULE
Planning Department
Effective 07/01/21 – 06/30/22

PLANNING BOARD

Subdivision:

| | |
|---|--------------------------------|
| Subdivision | |
| Residential | \$500.00 plus \$200.00 per lot |
| Non-Residential | \$700.00 plus \$300.00 per lot |
| Subdivision Amendment: | |
| Administrative approval | \$200.00 |
| TAC or Planning Board approval | \$500.00 |
| Lot line revision/verification | \$250.00 |
| Lot Line Revision Amendment | |
| Administrative approval | \$100.00 |
| TAC or Planning Board approval | \$150.00 |
| Lot Consolidation – No Subdivision | \$175.00 |
| Restoration of Involuntarily Merged Lots | \$250.00 |
| Preliminary Conceptual Consultation..... | \$200.00 |
| Design Review | \$500.00 |

Site Plan Review:

| | | |
|--|-------------|--|
| All developments..... | \$500.00 | |
| | | plus \$5.00 per \$1,000 of site costs only |
| | | plus \$10.00 per 1,000 s.f. of site development area |
| Total fee not to exceed (cap) | \$15,000.00 | |
| Site Plan Minor Amendment: | | |
| Administrative approval | \$200.00 | |
| Administrative approval after | | |
| work has been done | \$500.00 | |
| TAC or Planning Board approval | \$800.00 | |
| Preliminary Conceptual Consultation..... | \$200.00 | Total = \$200.00 |
| Design Review | \$500.00 | |

Planning Department Fee Schedule (Effective 07/01/21 – 06/30/22)

Wetlands Conditional Use Permit:

Area of disturbance in wetland or wetland buffer:

| | |
|---------------------------------|------------|
| Up to 250 sq. ft. | \$100.00 |
| Up to 1,000 sq. ft..... | \$500.00 |
| Greater than 1,000 sq. ft. | \$1,000.00 |

Conditional Use Permit (Non-Wetland)

| | |
|---|----------|
| Conditional Use Permit (Non-Wetland)..... | \$200.00 |
|---|----------|

BOARD OF ADJUSTMENT

Residential Applications

| | |
|--|--|
| 1-2 dwelling units | \$150.00 |
| 3 and over | \$250.00 plus \$50.00 for each unit over 4 |
| Total fee not to exceed (cap) | \$3,000.00 |
| Residential accessory structure only | \$50.00 |

| | |
|---|---|
| Non-Residential Applications | \$300.00 plus \$5.00 per \$1,000 of valuation of new construction |
| Total fee not to exceed (cap) | \$3,000.00 |

| | |
|--------------------|----------|
| Signs | \$200.00 |
|--------------------|----------|

| | |
|--|---------|
| Appeal of Administrative Decision | \$50.00 |
|--|---------|

HISTORIC DISTRICT COMMISSION

| | |
|---|---------------------------|
| Work Session (prior to application for approval) | \$200.00 per work session |
|---|---------------------------|

Residential Applications

| | |
|-------------------------------------|---|
| 1 dwelling unit | \$100.00 |
| 2 dwelling units | \$100.00 |
| 3 dwelling units | \$250.00 |
| 4 dwelling units and over | \$400.00 plus \$100.00 for each unit over 4 |
| Total fee not to exceed (cap) | \$5,000.00 |

| | |
|---|----------|
| Accessory structure, mechanical equipment or replacement of doors/windows only..... | \$100.00 |
|---|----------|

Planning Department Fee Schedule (Effective 07/01/21 – 06/30/22)

| | |
|--|--|
| Non-Residential Applications | \$500.00 plus \$5.00 per \$1,000 of valuation of new construction |
| Total fee not to exceed (cap) | \$5,000.00 |
| Accessory structure, mechanical equipment or replacement of doors/windows only..... | \$100.00 |
| Signs | \$100.00 |
| Amendment to Certificate of Approval: | |
| Administrative approval | \$100.00 |
| Administrative approval after work has been done | \$500.00 |
| Commission approval | \$800.00 |

ZONING PERMITS

| | |
|---------------------------------|----------|
| Certificate of conformity | \$50.00 |
| Letter of interpretation..... | \$100.00 |



Letter of Authorization

I, Thomas P. Nicholson, owner of property located at 695 Sagamore Avenue in Portsmouth, NH, known as Tax Map 222, Lot 18, do hereby authorize Jones & Beach Engineers, Inc. ("JBE"), Garrepy Planning Consultants, LLC ("GPC"), and Hoefle, Phoenix, Gornley & Roberts, PLLC ("HPGR") to act on his behalf concerning the previously mentioned property.

I hereby appoint JBE, GPC and HPGR as agents to act on my behalf in the Planning Board and Zoning Board application process, to include any required signatures.

Thomas P. Nicholson



, Individually

1/2/22
Date





Letter of Authorization

635 Sagamore Development, LLC, owner of property located at 635 Sagamore Avenue in Portsmouth, NH, known as Tax Map 222, Lot 19, do hereby authorize Jones & Beach Engineers, Inc. ("JBE"), Garrepy Planning Consultants, LLC ("GPC"), and Hoefle, Phoenix, Gornley & Roberts, PLLC ("HPGR") to act on its behalf concerning the previously mentioned property.

I hereby appoint JBE, GPC and HPGR as agents to act on behalf of 635 Sagamore Development, LLC in the Planning Board and Zoning Board application process, to include any required signatures.

635 Sagamore Development, LLC


Timothy J. Black, Duty Authorized

January 5, 2022
Date



WARRANTY DEED

B3204 P2852

KNOW EVERYONE BY THESE PRESENTS, That

Raymond O. Curti and Norma O. Curti, Trustees of the Curti Family Trust of 1993

of 21 Spur Road, Dover, New Hampshire 03820

for consideration paid, grant to Thomas P. Nicholson ,

of 726 Middle Street, Portsmouth New Hampshire 03801

with warranty covenants

A certain tract of land together with the buildings thereon, situated on Sagamore Avenue in Portsmouth, County of Rockingham, State of New Hampshire, bounded and described as follows:

0012054

Beginning at a point at the southeasterly corner of the tract herein conveyed at land now or formerly of Louise A. Davis; thence running in a westerly direction by said Davis land, 276 feet, more or less, to land now or formerly of Lawrence M. Kimball and L. Myrtle Kimball; thence turning and running in a northerly direction by said Kimball land, to feet, more or less, to land now or formerly of Benjamin L. and Ruth B. Smith; thence turning and running in an easterly direction by said Smith land to Sagamore Avenue; thence turning and running in a southerly direction along said Sagamore Avenue, 90 feet, more or less to the point of beginning.

MAR 24 2 50 PM '97

Meaning and intending to described the same premises conveyed to Raymond W. Curti and Norma O. Curti as Trustees of the Curti Family Trust of 1993 by deed of Raymond W. Curti and Norma O. Curti dated August 9, 1993 and recorded at Book 3003, Page 932, Rockingham County Registry of Deeds. See also deed dated September 4, 1987 recorded at Book 2701, Page 2519, Rockingham County Registry of Deeds.

Signed this 21st day of March, 1997.

Raymond O. Curti
Raymond O. Curti, Trustee of
the Curti Family Trust of 1993

Norma O. Curti
Norma O. Curti, Trustee of the
Curti Family Trust of 1993

ROCKINGHAM COUNTY
REGISTRY OF DEEDS

State of New Hampshire

Rockingham, ss:

21st day of March, 1997

Personally appeared Raymond O. Curti and Norma O. Curti, Trustees of the Curti Family Trust of 1993, known to me, or satisfactorily proven, to be the person whose name subscribed to the foregoing instrument and acknowledged that they executed the same for the purposes therein contained.

My Commission Expires:

Mary Driscoll Peysler (Seal)
Justice of the Peace/Notary Public

MARY DRISCOLL PEYSER
Notary Public
My Commission Expires 10/23/01



Return to:



| | | |
|--------------|-----------|----------|
| LCHIP | ROA585829 | 25.00 |
| TRANSFER TAX | RO109828 | 5,807.00 |
| RECORDING | | 14.00 |
| SURCHARGE | | 2.00 |

WARRANTY DEED

KNOW ALL BY THESE PRESENTS, that I, **WILLIAM A. HINES**, married person, **TRUSTEE OF THE WILLIAM A. HINES FAMILY REVOCABLE TRUST** a/k/a The Hines Family Revocable Trust of 2006, of 635 Sagamore Avenue, Portsmouth, New Hampshire 03801, for consideration paid, hereby grant to **635 SAGAMORE DEVELOPMENT, LLC**, a New Hampshire limited liability company with a mailing address of 3612 Lafayette Road, Dept. 4, Portsmouth, New Hampshire 03801 with **WARRANTY COVENANTS**, the following described premises:

A certain tract of land with the buildings thereon, situate on Sagamore Avenue in said Portsmouth, more particularly described as follows:

Beginning at a point on Sagamore Avenue at land now or formerly of Arnold, thence running Westerly by said Arnold land three hundred (300) feet, more or less, to land now or formerly of W.W. and D.M. Johnston; thence turning and running Northwesterly by said Johnston land one hundred and twenty-four (124) feet; thence turning and running Northerly also by said Johnston land one hundred sixty-two (162) feet to land now or formerly of C.W. Walker; thence turning and running Easterly by said Walker land four hundred nineteen (419) feet to Sagamore Avenue; thence turning and running Easterly one hundred forty (140) feet; thence turning and running along said Sagamore Avenue thirty (30) feet to land of one Smith; thence turning and running Westerly one hundred forty (140) feet; thence turning and running Southerly ninety (90) feet; thence turning and running Easterly one hundred forty (140) feet to Sagamore Avenue; the last three bounds being land of Smith; thence turning running Southerly by said Sagamore Avenue one hundred sixty (160) feet to the point of beginning.

EXCEPTING AND RESERVING to the said William A. Hines and his wife Bonnie Hines a life estate in the above-described property permitting them to reside in the existing residential apartment on the property for the remainder of William A. Hines natural life, plus one year unless Bonne Hines shall have predeceased.

Meaning and intending to convey the same premises conveyed to the Grantor by deed of William A. Hines dated February 11, 2008 and recorded in the Rockingham County Registry of Deeds at Book 4885, Page 1538.

BY SIGNING BELOW, William A. Hines and Bonnie Hines release all homestead rights to the Premises.

TRUSTEE CERTIFICATE

I, William A. Hines, Trustee of the William A. Hines Family Revocable Trust A/K/A The Hines Family Revocable Trust of 2006, hereby covenant that said Trust is duly organized under the laws of the State of New Hampshire; that I am the sole trustee pursuant to said Declaration of Trust; that said Trust is still in full force and effect; that I have the power thereunder to convey as aforesaid; and that, in making this conveyance, I have, in all respects, acted pursuant to the authority vested in and granted to me therein and no purchaser or third party shall be bound to inquire whether the Trustee has said power or are properly exercising said power or to see to the application of any trust assets paid to the Trustee for a conveyance thereof.

Signed this 3rd day of September, 2021.

William A. Hines

William A. Hines, Trustee of the William A. Hines Family Revocable Trust A/K/A The Hines Family Revocable Trust of 2006

Bonnie Hines

Bonnie Hines

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

On this, the 3rd day of September, 2021, before me, the undersigned Officer, personally appeared William A. Hines, Trustee of the William A. Hines Family Revocable Trust A/K/A The Hines Family Revocable Trust of 2006, known to me, or satisfactorily proven, to be the person whose name is subscribed to the foregoing instrument, and acknowledged that he executed the same for the purposes set forth therein.

Laura Ramsdell

Justice of the Peace/Notary Public

My commission expires: _____



STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

On this, the 3rd day of September, 2021, before me, the undersigned Officer, personally appeared Bonnie Hines, known to me, or satisfactorily proven, to be the person whose name is subscribed to the foregoing instrument, and acknowledged that she executed the same for the purposes set forth therein.

Laura Ramsdell

Justice of the Peace/Notary Public

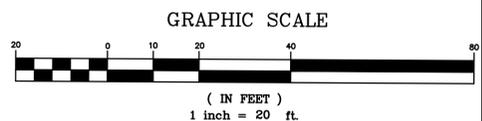
My commission expires: _____





SAGAMORE AVE.

TIDEWATCH CONDOMINIUMS
(PRIVATE ROAD)



PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 222, LOTS 18 & 19

TOTAL LOT AREA
108,480 SQ. FT. ±
2.49 ACRES ±

Design: JAC Draft: DJM Date: 12/07/2021
 Checked: JAC Scale: AS NOTED Project No.: 18134.1
 Drawing Name: 18134-CONCEPT-4.dwg

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

| REV. | DATE | REVISION | BY |
|------|--------|-------------------|-----|
| 0 | 1/6/22 | ISSUED FOR REVIEW | DJM |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

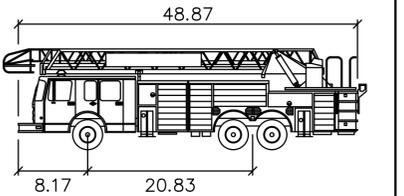
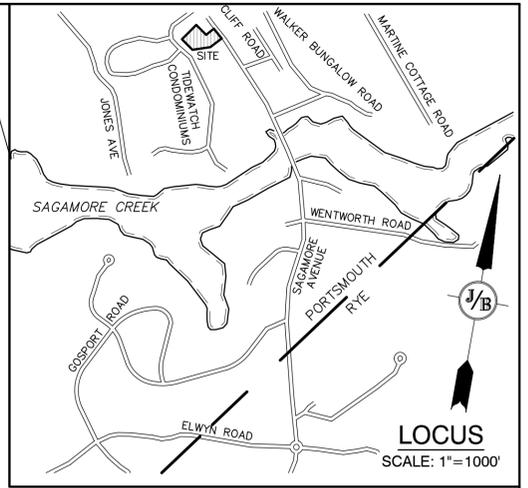
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **CONCEPTUAL TOPOGRAPHIC SITE PLAN**

Project: **5-UNIT RESIDENTIAL SITE
635 & 695 SAGAMORE AVE., PORTSMOUTH, NH**

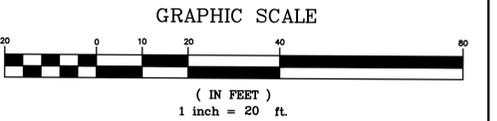
Applicant / Owner: LOT 18 APPLICANT: THOMAS F. NICHOLSON, 635 SAGAMORE DEVELOPMENT, LLC
635 SAGAMORE AVE., PORTSMOUTH, NH 03801 3612 LAFAYETTE RD., DEPT 4, PORTSMOUTH, NH 03801
BK 5204 PG 2852 BK 6552 PG 1158

DRAWING No.
C3
SHEET 3 OF 4
JBE PROJECT NO. 18134.1



Portsmouth Fire Truck

| | |
|-------------------|--------|
| | feet |
| Width | : 8.50 |
| Track | : 6.91 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 38.7 |



PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 222, LOTS 18 & 19

TOTAL LOT AREA
108,480 SQ. FT. ±
2.49 ACRES ±

Design: JAC Draft: DJM Date: 12/07/2021
 Checked: JAC Scale: AS NOTED Project No.: 18134.1
 Drawing Name: 18134-CONCEPT-4.dwg

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

| REV. | DATE | REVISION | BY |
|------|--------|-------------------|-----|
| 0 | 1/6/22 | ISSUED FOR REVIEW | DJM |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **TRUCK TURNING PLAN**

Project: **5-UNIT RESIDENTIAL SITE
635 & 695 SAGAMORE AVE., PORTSMOUTH, NH**

Applicant / Owner: LOT 18: THOMAS F. NICHOLSON, 635 SAGAMORE AVE., PORTSMOUTH, NH 03801, BK 5204 PG 2852 LOT 19 APPLICANT: 635 SAGAMORE DEVELOPMENT, LLC, 3612 LAFAYETTE RD., DEPT 4, PORTSMOUTH, NH 03801, BK 6332 PG 1158

DRAWING No.

T1

SHEET 4 OF 4
JBE PROJECT NO. 18134.1

T5037-002
January 6, 2022

Mr. Peter Britz, Interim Planning Director
City of Portsmouth Planning Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: Request for Design Review
Proposed Mixed Use Development, 2 Russell Street, Portsmouth, NH**

Dear Peter,

On behalf of Port Harbor Land, LLC (owner/applicant), we are pleased to submit the following information to support a request for Design Review with the Planning Board for the above referenced project:

- One (1) full size & one (1) half size copy of the Site Plan Set, dated January 4, 2022;
- One (1) copy of the Community Space Exhibit, dated January 4, 2022;
- One (1) copy of the Truck Turning Exhibit, dated January 4, 2022;
- One (1) copy of the Precedent Images Plans, prepared by SGA, dated January 5, 2022

Under a separate cover a Design Review application fee check of \$500 has been submitted to the Planning Department by the applicant.

The proposed project is located along Deer Street and Russell Street on properties identified as Map 118 Lot 28, Map 119 Lot 4, Map 124 Lot 12, and Map 125 Lot 21 on the City of Portsmouth Tax Maps which are located in the Character District 5 (CD5). The project includes three buildings consisting of office, retail/commercial, and residential uses. The buildings consist of a 4-story office building at the corner of Deer Street and Maplewood Avenue, 5-story mixed-use residential building at the corner of Deer Street and Russell Street with below ground parking, first floor residential lobby, commercial space and parking and upper floor residential units, and a 5-story mixed-use residential building along Russell Street with first floor residential lobby and commercial space and upper floor residential units. The project also consists of significant on-site and off-site improvements including wide sidewalks, roadway improvements, community space, stormwater management, lighting, landscaping, and utilities.

The project is proposing over 30% community space for Map 118 Lot 28 in order to meet the requirements to receive a Conditional Use Permit (CUP) for an increased building footprint. The CUP will allow the project to consolidate parking under the building on the corner of Deer and Russell Streets. The project is also providing 20% community space for Map 124 Lot 12 and Map 125 Lot 21 in order to receive the Incentives to Development Standards allowed in the North End Incentive Overlay District.

The applicant is seeking to meet with the Planning Board for Design Review Phase. As such, the applicant also respectfully requests a vote from the Planning Board at the January 20, 2022 meeting to accept a request for Design Review Phase so that public hearing can be scheduled for the February 17, 2022 Planning Board meeting.



If you have any questions or need any additional information, please contact Neil Hansen by phone at (603) 433-8818 or by email at nahansen@tighebond.com.

Sincerely,
TIGHE & BOND, INC.



Patrick M. Crimmins, PE
Vice President



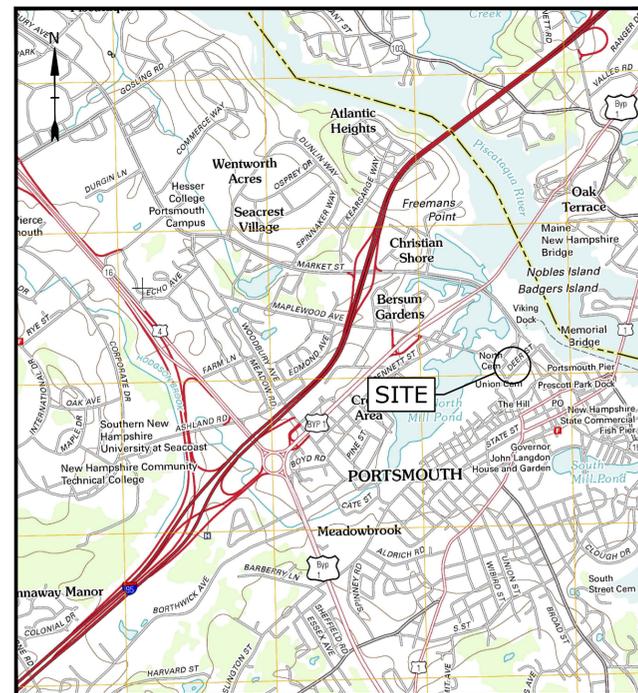
Neil A. Hansen, PE
Project Manager

Copy: Port Harbor Land, LLC (via email)

NORTH END MIXED USE DEVELOPMENT

RUSSELL STREET & DEER STREET
PORTSMOUTH, NEW HAMPSHIRE
JANUARY 4, 2021

| LIST OF DRAWINGS | | |
|------------------|---|--------------|
| SHEET NO. | SHEET TITLE | LAST REVISED |
| | COVER SHEET | 1/4/2022 |
| G-100 | GENERAL NOTES AND LEGEND | 1/4/2022 |
| C-101 | EXISTING CONDITIONS & DEMOLITION PLAN | 1/4/2022 |
| C-102 | SITE PLAN | 1/4/2022 |
| C-103 | GRADING & DRAINAGE PLAN | 1/4/2022 |
| C-104 | UTILITIES PLAN | 1/4/2022 |
| C-501 | EROSION CONTROL NOTES AND DETAILS SHEET | 1/4/2022 |
| C-502 | DETAILS SHEET | 1/4/2022 |
| C-503 | DETAILS SHEET | 1/4/2022 |
| C-504 | DETAILS SHEET | 1/4/2022 |
| C-505 | DETAILS SHEET | 1/4/2022 |



LOCATION MAP
SCALE: 1" = 2,000'

PREPARED BY:
Tighe & Bond
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

OWNER/APPLICANT:
TAX MAP 118, LOT 28,
TAX MAP 124, LOT 12 &
TAX MAP 125, LOT 21
PORT HARBOR LAND, LLC
1000 MARKET STREET, BUILDING ONE
PORTSMOUTH, NEW HAMPSHIRE 03801

| LIST OF PERMITS | | |
|--------------------------------------|---------------|------|
| LOCAL | STATUS | DATE |
| SITE PLAN REVIEW PERMIT | NOT SUBMITTED | |
| LOT LINE REVISION PERMIT | NOT SUBMITTED | |
| CONDITIONAL USE PERMIT | NOT SUBMITTED | |
| STATE | | |
| NHDES - SEWER CONNECTION PERMIT | NOT SUBMITTED | |
| NHDES - ALTERATION OF TERRAIN PERMIT | NOT SUBMITTED | |

EXISTING CONDITIONS PLAN NOTES:

- 1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY BY TFMORAN, DATED AUGUST 19, 2019.

DEMOLITION NOTES:

- 1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- 3. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- 4. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- 5. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 6. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- 8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- 10. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK.
- 11. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- 12. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- 13. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- 14. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 15. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 16. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- 17. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "STORMWATER INLET FILTER" BY BLOCKSOM & CO. OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
- 18. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- 19. SEE ROADWAY IMPROVEMENT PLANS FOR OFF-SITE DEMOLITION.
- 20. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- 21. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- 22. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 23. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

EROSION CONTROL NOTES:

- 1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
- 2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS SHEET".
- 3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. MAINTAIN FOR THE DURATION OF THE PROJECT.
- 4. INSTALL STABILIZED CONSTRUCTION EXIT(S).
- 5. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- 6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- 7. CONSTRUCT EROSION CONTROL BLANKET ON ALL SLOPES STEEPER THAN 3:1.
- 8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
- 9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
- 10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- 11. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN FULLY PAVED.
- 12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED WITH PERIMETER CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS.

- 13. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
- 14. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.

SITE NOTES:

- 1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES SHALL BE THERMOPLASTIC MATERIAL. THERMOPLASTIC MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO M249. (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
- 2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- 3. SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- 5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- 6. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- 7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY CODES & SPECIFICATIONS.
- 9. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
- 11. SEE BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- 12. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- 13. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- 14. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- 15. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 16. THE STREET LIGHTING TYPE TO BE DISTRICT STYLE FIXTURE AND POLE TO MATCH EXISTING LIGHTING ON SOUTH SIDE OF DEER STREET.
- 17. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- 18. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
- 19. ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS.
- 20. THE APPLICANT SHALL PREPARE A CONSTRUCTION MITIGATION AND MANAGEMENT PLAN (CMMP) FOR REVIEW AND APPROVAL BY THE CITY'S LEGAL AND PLANNING DEPARTMENTS.
- 21. A TEMPORARY SUPPORT OF EXCAVATION (SOE) PLAN SHALL BE PREPARED BY THE APPLICANT'S CONTRACTOR TO CONFIRM ANY TEMPORARY ENCUMBRANCES OF THE CITY'S RIGHT-OF-WAY. IF LICENSES ARE REQUIRED FOR THE SOE, THE APPLICANT WILL BE REQUIRED TO OBTAIN THESE FROM THE CITY PRIOR TO CONSTRUCTION.
- 22. ALL EXCESS SNOW SHALL BE HAULED OFF-SITE IN ACCORDANCE TO ALL LOCAL AND STATE LAWS. PROPOSED SNOW STAGING AREAS HAVE BEEN PROVIDED TO SHOW TEMPORARY SNOW STORAGE AREAS.
- 23. AREAS DESIGNATED FOR FIRE EMERGENCY ACCESS SHALL BE KEPT CLEAR OF SNOW.

SITE RECORDING NOTES:

- 1. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- 3. THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.

GRADING AND DRAINAGE NOTES:

- 1. COMPACTION REQUIREMENTS:
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
- 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
- 3. SEE UTILITY PLAN FOR ALL SITE UTILITY INFORMATION.
- 4. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- 6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- 7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- 8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
- 9. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- 10. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
- 11. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
- 12. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
- 13. SEE EXISTING CONDITIONS & DEMOLITION PLAN FOR BENCH MARK INFORMATION.

UTILITY NOTES:

- 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S

- RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- 2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
 - NATURAL GAS - UNITIL
 - WATER - CITY OF PORTSMOUTH
 - SEWER - CITY OF PORTSMOUTH
 - ELECTRIC - EVERSOURCE
 - COMMUNICATIONS - FAIRPOINT AND COMCAST
- 3. SEE EXISTING CONDITIONS & DEMOLITION PLAN FOR BENCHMARK INFORMATION.
- 4. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 5. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- 6. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE PORTSMOUTH WATER DEPARTMENT.
- 7. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 8. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 9. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 10. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO THE CITY OF PORTSMOUTH STANDARDS.
- 11. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 12. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 13. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
- 14. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 15. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 16. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- 17. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 18. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 19. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- 20. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- 21. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- 22. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- 23. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 24. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 25. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAN 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
- 26. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 27. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- 28. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
- 29. CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.

LEGEND

Legend table with symbols and descriptions for proposed and existing features like sawcut, limit of work, pavement, construction exit, building, property line, building, pavement section, concrete sidewalk, brick sidewalk, bollard, utility lines, catchbasins, manholes, valves, etc.



North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

Table with columns: E, D, C, B, A

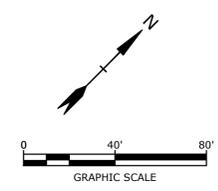
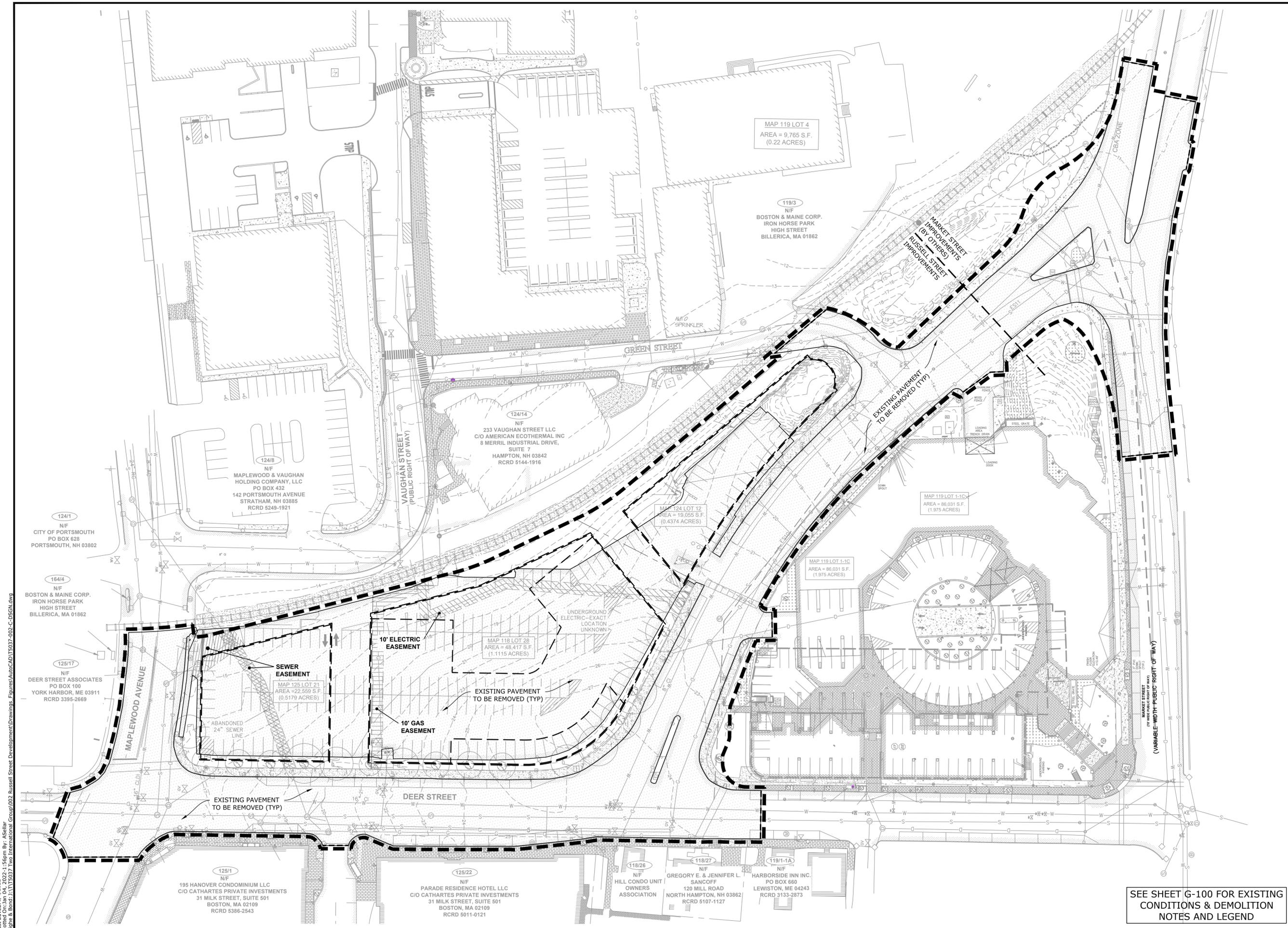
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GENERAL NOTES AND LEGEND

SCALE: AS SHOWN

G-100

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**North End
Mixed Use
Development**

Two
International
Group

Russell Street &
Deer Street
Portsmouth, NH

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**EXISTING CONDITIONS &
DEMOLITION PLAN**

SCALE: AS SHOWN

SEE SHEET G-100 FOR EXISTING
CONDITIONS & DEMOLITION
NOTES AND LEGEND

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SITE DATA:
 LOCATION: TAX MAP 118 LOT 28 OWNER: PORT HARBOR LAND LLC
 TAX MAP 119 LOT 4 1000 MARKET ST
 TAX MAP 124 LOT 12 BUILDING ONE
 TAX MAP 125 LOT 21 PORTSMOUTH, NH 03801

ZONING DISTRICT: CHARACTER DISTRICT 5 (CD5)
 DOWNTOWN OVERLAY DISTRICT
 NORTH END INCENTIVE OVERLAY DISTRICT
 HISTORIC DISTRICT

PROPOSED USE: MIXED USE, RESIDENTIAL, RETAIL

DEVELOPMENT STANDARDS

| BUILDING PLACEMENT (PRINCIPAL BUILDING): | REQUIRED | PROPOSED | MAP 118 LOT 28 | MAP 124 LOT 12 |
|--|--------------------------|--|---|---|
| MAXIMUM PRINCIPAL FRONT YARD: | 5 FT | MAP 125 LOT 21 16 FT ⁽¹⁾ | MAP 118 LOT 28 6 FT ⁽¹⁾ | MAP 124 LOT 12 8 FT ⁽¹⁾ |
| SIDE YARD: | NR | 15 FT | 15 FT | 12 FT |
| MINIMUM REAR YARD: | 5 FT | 15 FT | 15 FT | 12 FT |
| FRONT LOT LINE LENGTH: | NR | 81% | 100% | 84% |
| MINIMUM FRONT LOT LINE BUILDOUT: | 80% | 81% | 100% | 84% |
| BUILDING AND LOT OCCUPATION: | REQUIRED | PROPOSED | MAP 118 LOT 28 | MAP 124 LOT 12 |
| MAXIMUM BUILDING BLOCK LENGTH: | 225 FT | MAP 125 LOT 21 <225 FT | MAP 118 LOT 28 <225 FT | MAP 124 LOT 12 <225 FT |
| MAXIMUM FACADE MODULATION LENGTH: | 100 FT | <100 FT | <100 FT | <100 FT |
| MAXIMUM ENTRANCE SPACING: | 50 FT | <50 FT | <50 FT | <50 FT |
| MAXIMUM BUILDING COVERAGE: | 95% | 66% | 66% | 66% |
| MAXIMUM BUILDING FOOTPRINT: | 40,000 SF ⁽²⁾ | 12,952 SF | 40,000 SF | 12,942 SF |
| MINIMUM LOT AREA: | NR | >5% | >5% | >5% |
| MINIMUM OPEN SPACE: | 5% | <15,000 SF | <15,000 SF | <15,000 SF |
| MAXIMUM GROUND FLOOR GFA PER USE: | 15,000 SF | | | |
| BUILDING FORM (PRINCIPAL BUILDING): | REQUIRED | PROPOSED | MAP 118 LOT 28 | MAP 124 LOT 12 |
| BUILDING HEIGHT: | 2-4 STORIES | MAP 125 LOT 21 4 STORIES 57.5 FT | MAP 118 LOT 28 5 STORIES ⁽¹⁾ 60 FT | MAP 124 LOT 12 5 STORIES ⁽¹⁾ 60 FT |
| MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE: | 36 IN | 0 IN | 0 IN | 0 IN |
| MINIMUM GROUND STORY HEIGHT: | 12 FT | 19 FT | 16 FT | 16 FT |
| MINIMUM SECOND STORY HEIGHT: | 10 FT | 12.5 FT | 11 FT | 11 FT |
| FACADE GLAZING: | | | | |
| SHOP FRONT | 70% MIN. | >70% | >70% | >70% |
| ALLOWED ROOF TYPES | | | | |
| FLAT, GABLE, HIP, GAMBREL, MANSARD | | FLAT | FLAT | FLAT |

OFF-STREET PARKING REQUIREMENTS

| PARKING SPACES REQUIRED: | REQUIRED | PROPOSED |
|--|-----------|-------------------|
| COMMERCIAL: | | |
| NO REQUIREMENT IN DOD | 0 SPACES | |
| DWELLING UNITS: | | |
| OVER 750 SF, 1.3 SPACES PER UNIT | 116 UNITS | 151 SPACES |
| VISITOR SPACES: | | |
| 1 SPACE PER 5 DWELLING UNITS | 116 UNITS | 24 SPACES |
| EXISTING HOTEL: | | |
| 0.75 SPACES PER GUEST ROOM | 181 ROOMS | 136 SPACES |
| EXISTING DEEDED CONDO SPACES: | | |
| SHERATON CONDOS | 24 SPACES | 24 SPACES |
| DEER STREET CONDOS | 58 SPACES | 58 SPACES |
| DOWNTOWN OVERLAY DISTRICT | | |
| | | -4 SPACES |
| TOTAL MINIMUM PARKING SPACES REQUIRED = | | 389 SPACES |

| TOTAL PARKING SPACES PROVIDED: | REQUIRED | PROPOSED |
|---------------------------------|----------|-------------------|
| EXISTING SHERATON HOTEL PARKING | | 154 SPACES |
| ON SITE SURFACE PARKING | | 235 SPACES |
| TOTAL SPACES PROVIDED | | 389 SPACES |

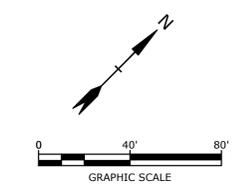
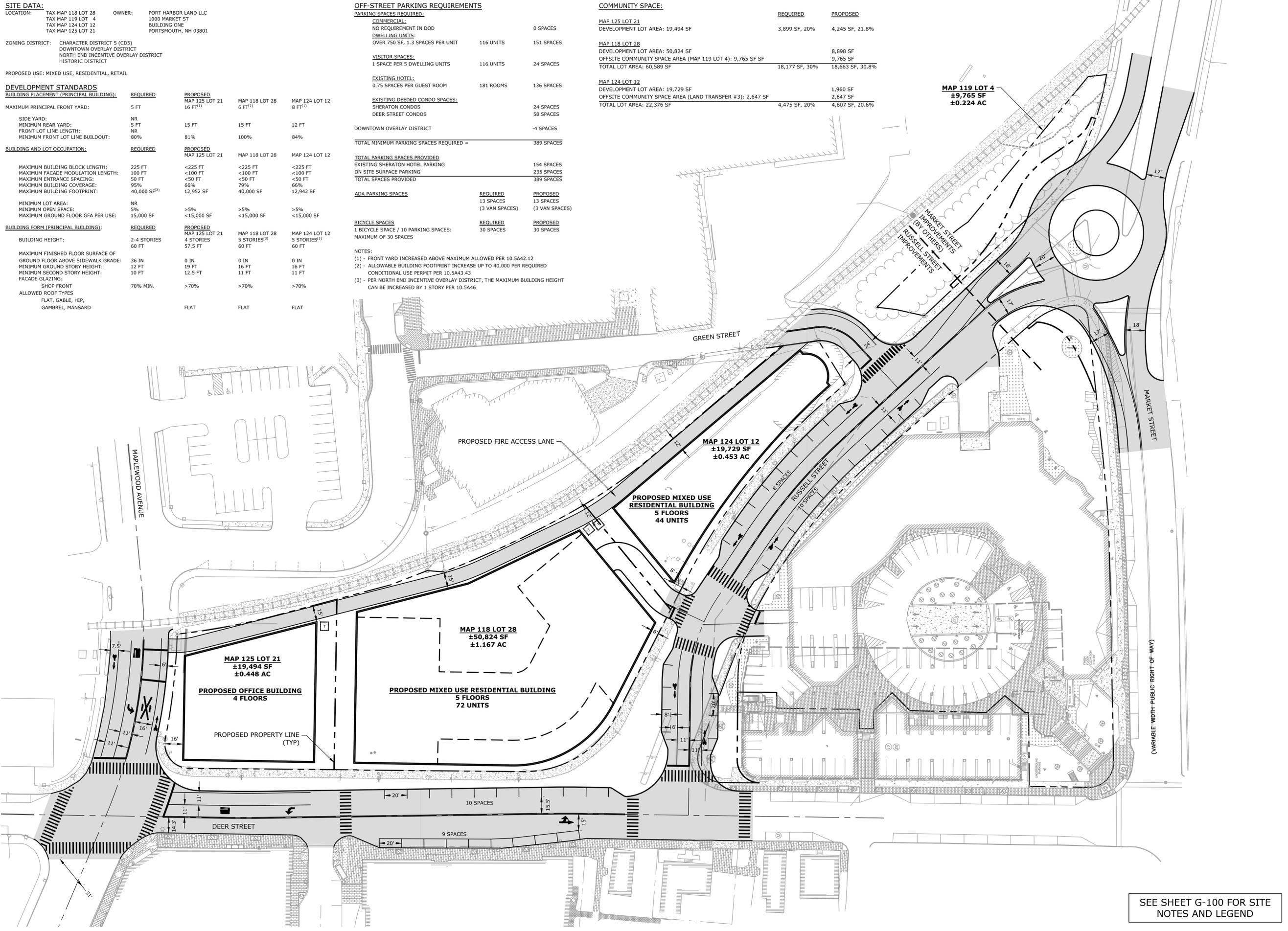
| ADA PARKING SPACES | REQUIRED | PROPOSED |
|--------------------|----------------|----------------|
| | 13 SPACES | 13 SPACES |
| | (3 VAN SPACES) | (3 VAN SPACES) |

| BICYCLE SPACES | REQUIRED | PROPOSED |
|--------------------------------------|-----------|-----------|
| 1 BICYCLE SPACE / 10 PARKING SPACES: | 30 SPACES | 30 SPACES |
| MAXIMUM OF 30 SPACES | | |

NOTES:
 (1) - FRONT YARD INCREASED ABOVE MAXIMUM ALLOWED PER 10.5A42.12
 (2) - ALLOWABLE BUILDING FOOTPRINT INCREASE UP TO 40,000 PER REQUIRED CONDITIONAL USE PERMIT PER 10.5A43.43
 (3) - PER NORTH END INCENTIVE OVERLAY DISTRICT, THE MAXIMUM BUILDING HEIGHT CAN BE INCREASED BY 1 STORY PER 10.5A46

COMMUNITY SPACE:

| | REQUIRED | PROPOSED |
|---|-----------------------|-------------------------|
| MAP 125 LOT 21 | | |
| DEVELOPMENT LOT AREA: 19,494 SF | 3,899 SF, 20% | 4,245 SF, 21.8% |
| MAP 118 LOT 28 | | |
| DEVELOPMENT LOT AREA: 50,824 SF | | 8,898 SF |
| OFFSITE COMMUNITY SPACE AREA (MAP 119 LOT 4): 9,765 SF | | 9,765 SF |
| TOTAL LOT AREA: 60,589 SF | 18,177 SF, 30% | 18,663 SF, 30.8% |
| MAP 124 LOT 12 | | |
| DEVELOPMENT LOT AREA: 19,729 SF | | 1,960 SF |
| OFFSITE COMMUNITY SPACE AREA (LAND TRANSFER #3): 2,647 SF | | 2,647 SF |
| TOTAL LOT AREA: 22,376 SF | 4,475 SF, 20% | 4,607 SF, 20.6% |



North End Mixed Use Development

Two International Group

Russell Street & Deer Street
 Portsmouth, NH

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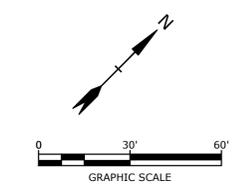
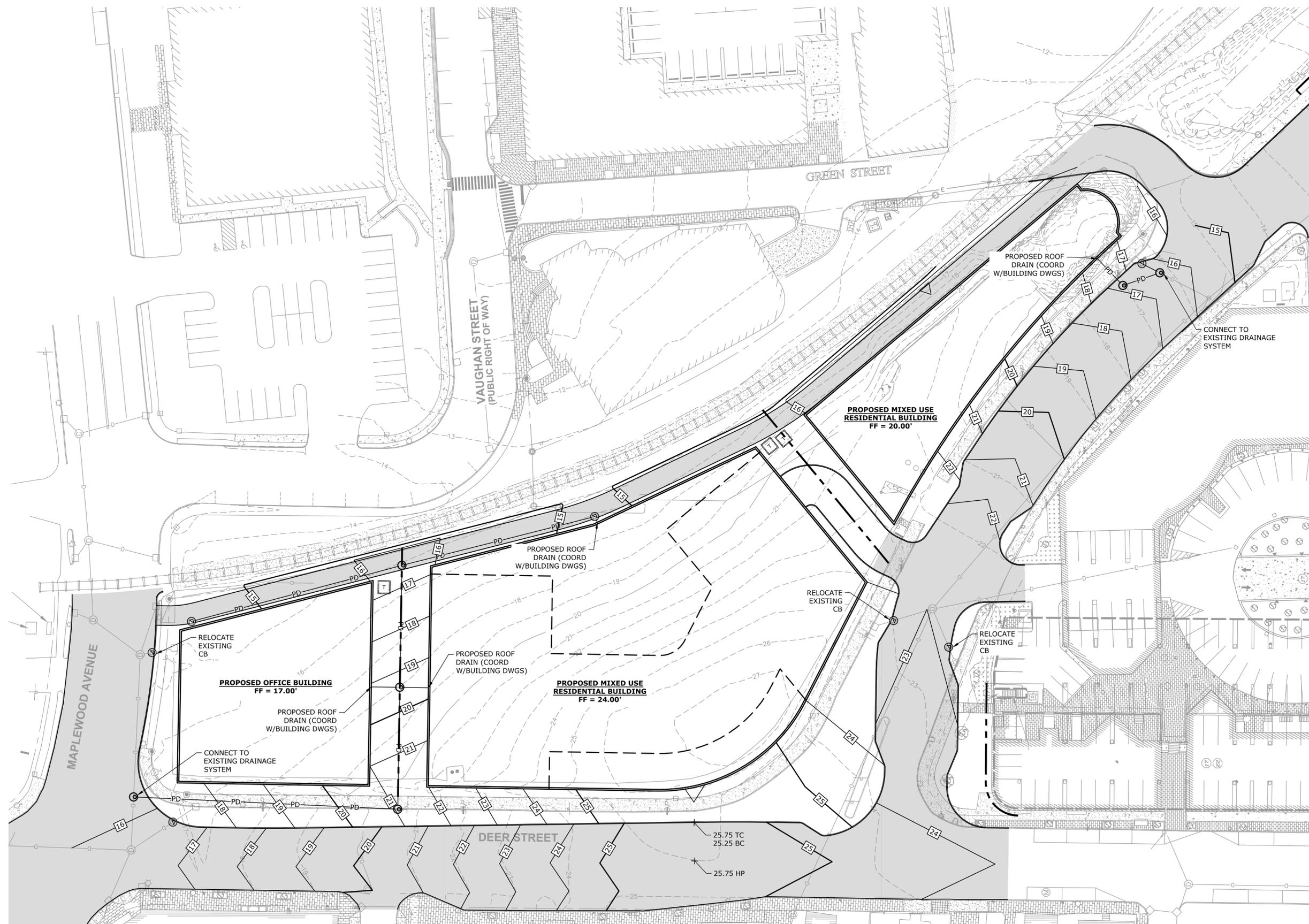
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SITE PLAN

SCALE: AS SHOWN

SEE SHEET G-100 FOR SITE NOTES AND LEGEND

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**North End
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Development**

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Portsmouth, NH

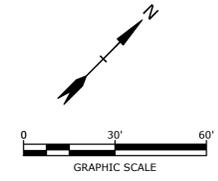
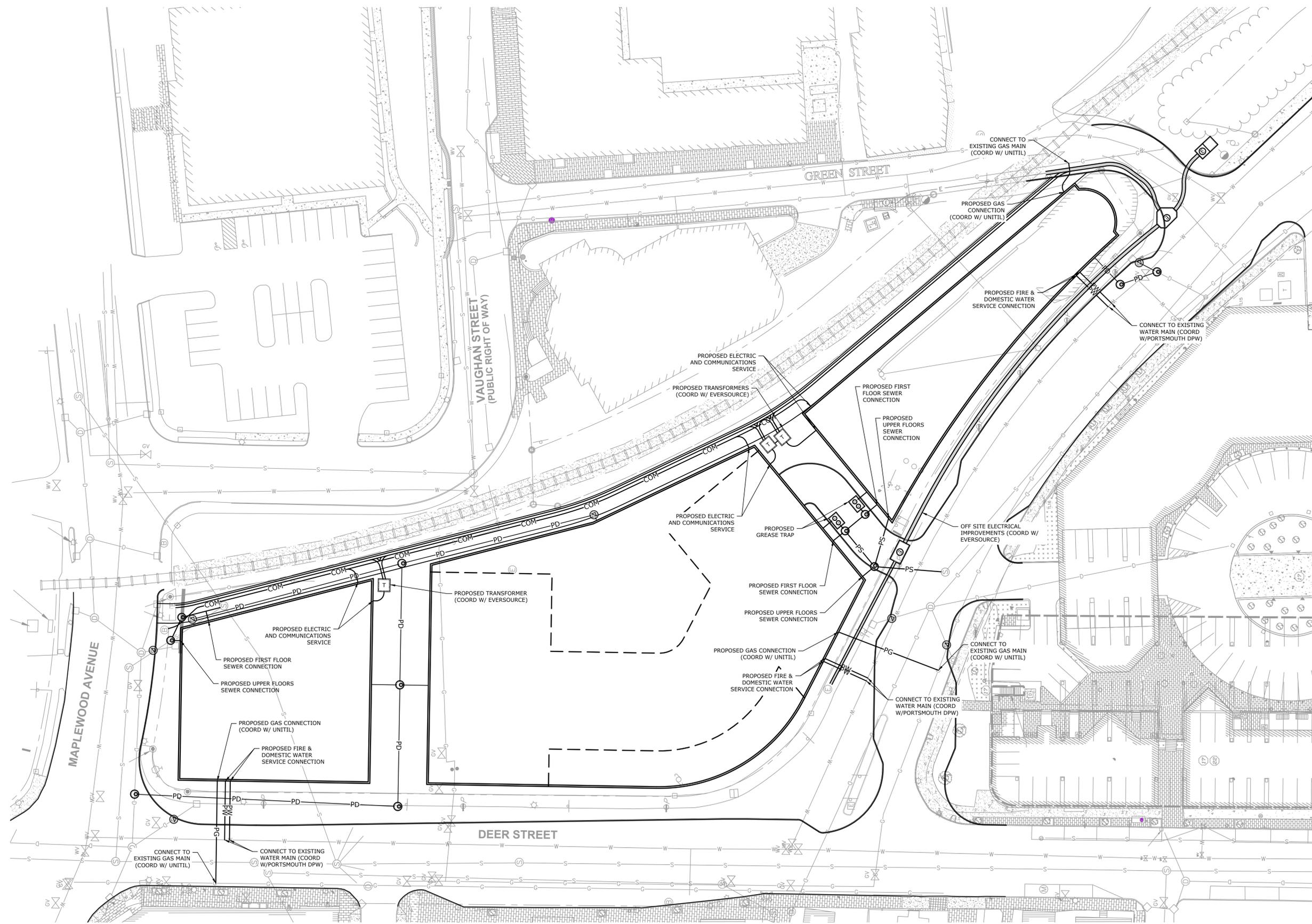
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**GRADING & DRAINAGE
PLAN**

SCALE: AS SHOWN

SEE SHEET G-100 FOR
GRADING & DRAINAGE NOTES
AND LEGEND



**North End
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Russell Street &
Deer Street
Portsmouth, NH

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UTILITIES PLAN

SCALE: AS SHOWN

SEE SHEET G-100 FOR
UTILITIES NOTES AND LEGEND

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GENERAL PROJECT INFORMATION

PROJECT APPLICANT: PORT HARBOR LAND, LLC
1000 MARKET STREET, BUILDING ONE
PORTSMOUTH, NH 03801
PROJECT NAME: PROPOSED MIXED USE DEVELOPMENT
PROJECT MAP / LOT: MAP 118 / LOT 28
PROJECT ADDRESS: RUSSELL STREET & DEER STREET
PORTSMOUTH, NH 03801
MAP 124 / LOT 12
MAP 125 / LOT 21
PROJECT LATITUDE: 43°-04'-43" N
PROJECT LONGITUDE: 70°-45'-41" W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE CONSTRUCTION OF AN OFFICE BUILDING AND TWO MIXED USE RESIDENTIAL BUILDINGS WITH ASSOCIATED SITE IMPROVEMENTS.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 2.1 ACRES.

SOIL CHARACTERISTICS

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH IS EXCESSIVELY DRAINED SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF A.

NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH'S CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO NORTH MILL POND THEN TO THE PISCATAQUA RIVER.

CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:

- 1. CUT AND CLEAR TREES.
- 2. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
 - NEW CONSTRUCTION
 - CONTROL OF DUST
 - CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
- 3. ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.
- 4. CLEAR AND DISPOSE OF DEBRIS.
- 5. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- 6. GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- 7. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- 8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- 9. SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.
- 10. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
- 11. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- 12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 13. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

SPECIAL CONSTRUCTION NOTES:

- 1. THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.
- 2. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

EROSION CONTROL NOTES:

- 1. ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
- 2. PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
- 3. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
- 4. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- 5. PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
- 6. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- 7. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
- 8. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- 9. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

STABILIZATION:

- 1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.;
 - E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.
- 2. WINTER STABILIZATION PRACTICES:
 - A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
 - B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
 - C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
- 3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
 - A. TEMPORARY SEEDING;
 - B. MULCHING.
- 4. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- 5. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- 6. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

DUST CONTROL:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
- 2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
- 3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

STOCKPILES:

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- 2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- 3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- 4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

OFF SITE VEHICLE TRACKING:

- 1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

VEGETATION:

- 1. TEMPORARY GRASS COVER:
 - A. SEEDBED PREPARATION:
 - a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
 - B. SEEDING:
 - a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
 - b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
 - c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;
 - C. MAINTENANCE:
 - a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
- 2. VEGETATIVE PRACTICE:
 - A. FOR PERMANENT MEASURES AND PLANTINGS:
 - a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5; FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
 - b. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH; SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
 - c. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE;
 - d. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDDED, AND ALL NOXIOUS WEEDS REMOVED;
 - e. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
 - f. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

| SEED MIX | APPLICATION RATE |
|---------------------|------------------|
| CREeping RED FESCUE | 20 LBS/ACRE |
| TALL FESCUE | 20 LBS/ACRE |
| REDTOP | 2 LBS/ACRE |

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
 - B. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
 - A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA:

- 1. THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
 - A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
 - B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
 - C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
 - D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES:

- 1. FIRE-FIGHTING ACTIVITIES;
- 2. FIRE HYDRANT FLUSHING;
- 3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- 4. WATER USED TO CONTROL DUST;
- 5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
- 6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- 7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- 8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- 9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
- 10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- 11. UNCONTAMINATED EXCAVATION DEWATERING;
- 12. LANDSCAPE IRRIGATION.

WASTE DISPOSAL:

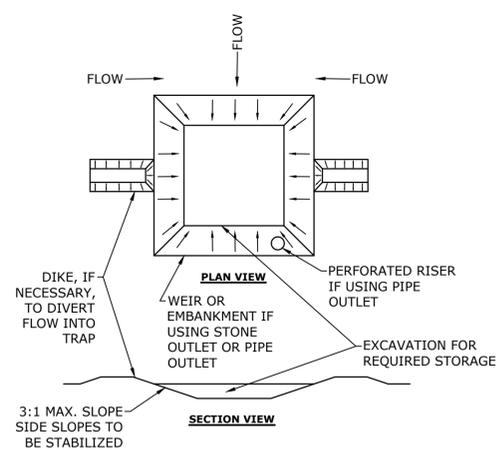
- 1. WASTE MATERIAL:
 - A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
 - B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
 - C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- 2. HAZARDOUS WASTE:
 - A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
 - B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- 3. SANITARY WASTE:
 - A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION:

- 1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
- 2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
 - A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
 - a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
 - b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE;
 - c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
 - d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
 - e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
 - f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - g. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES
 - B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
 - a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
 - b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;
 - c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
 - C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
 - i. PETROLEUM PRODUCTS:
 - a. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
 - b. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - c. SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
 - d. INSPECT FUEL STORAGE AREAS WEEKLY;
 - e. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS;
 - f. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;
 - g. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
 - ii. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
 - (1) EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
 - (2) PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS;
 - (3) HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
 - (4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES;
 - (5) PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
 - ix. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.
<https://www.des.nh.gov/organization/commissioner/pip/factsheets/dwgb/documents/dwgb-22-6.pdf>
 - b. FERTILIZERS:
 - i. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
 - ii. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER;
 - iii. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
 - c. PAINTS:
 - i. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;
 - ii. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;
 - iii. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
 - D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
 - b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
 - c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
 - d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
 - e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
 - f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SILT PREVENTION AND CLEANUP COORDINATOR.
 - E. VEHICLE FUELING AND MAINTENANCE PRACTICE:
 - a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
 - b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
 - c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
 - d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
 - e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
 - f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

- 1. THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ON SITE AT ALL TIMES.
- 2. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:
 - A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
 - B. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
 - C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
 - D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

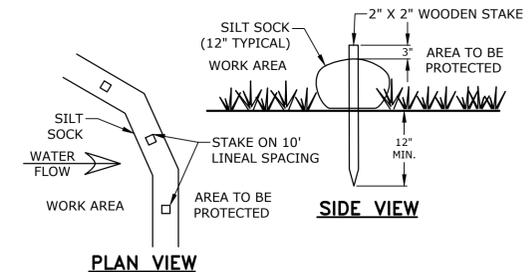


NOTES:

- 1. THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE.
- 2. THE MAXIMUM CONTRIBUTING AREA TO A SINGLE TRAP SHALL BE LESS THAN 5 ACRES.
- 3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
- 4. TRAP OUTLET SHALL BE MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP.
- 5. TRAP SHALL DISCHARGE TO A STABILIZED AREA.
- 6. TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
- 7. MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.
- 8. SEDIMENT TRAPS MUST BE USED AS NEEDED TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.

SEDIMENT TRAP

NO SCALE

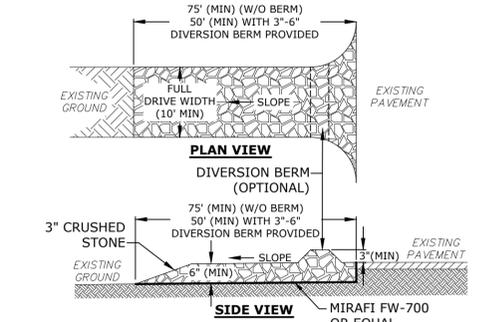


NOTES:

- 1. SILT SOCK SHALL BE SILT SOCK BY FILTREXX OR APPROVED EQUAL
- 2. INSTALL SILT SOCK IN ACCORDANCE WITH...

SILT SOCK

NO SCALE



NOTES:

- 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT FROM THE SITE. WHEN WASHING IS REQUIRED, IT SHALL BE DONE SO RUNOFF DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS

STABILIZED CONSTRUCTION EXIT

NO SCALE



North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

| MARK | DATE | DESCRIPTION |
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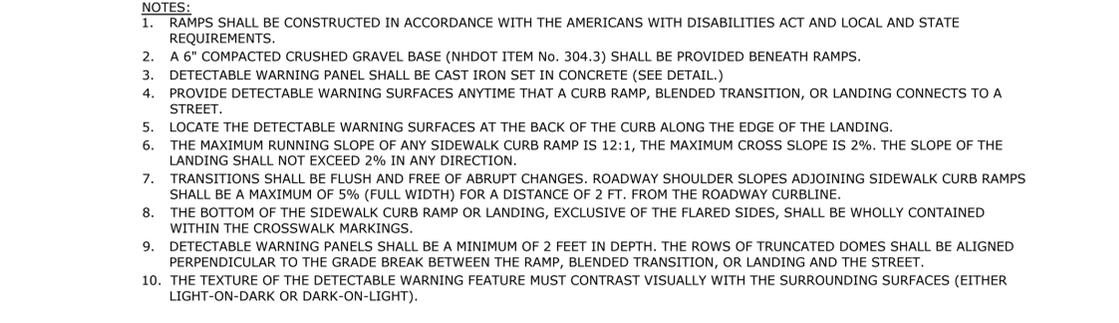
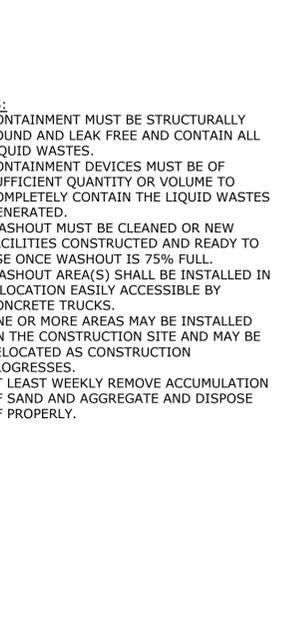
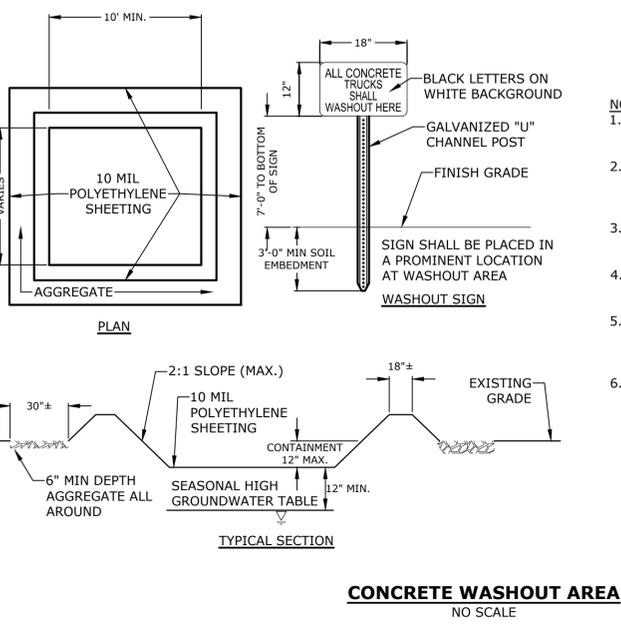
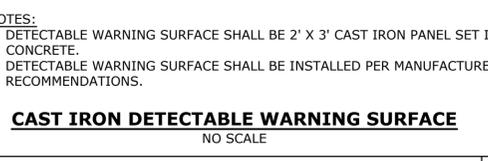
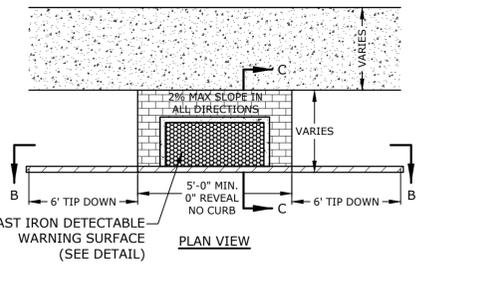
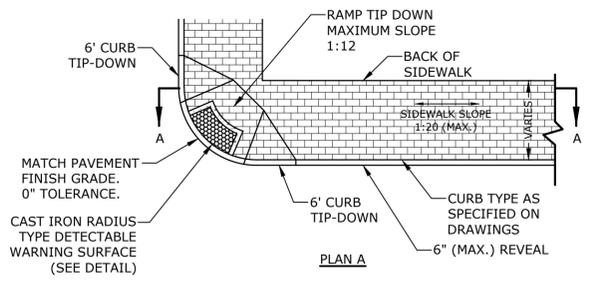
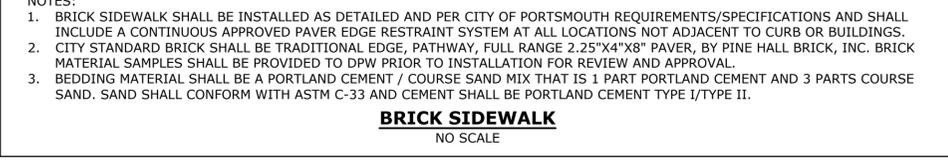
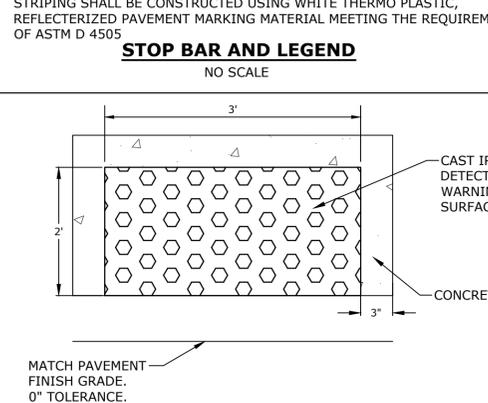
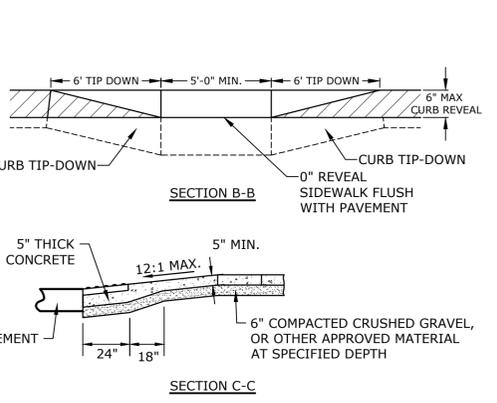
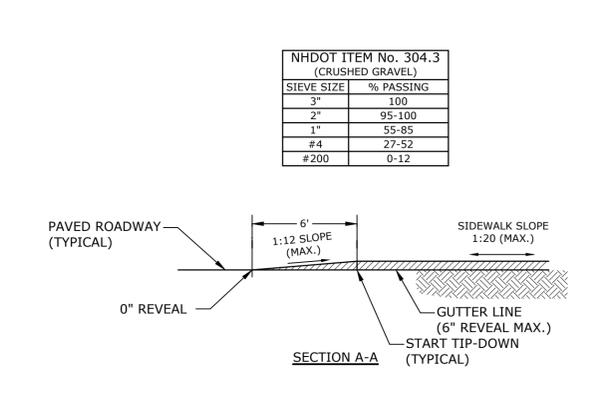
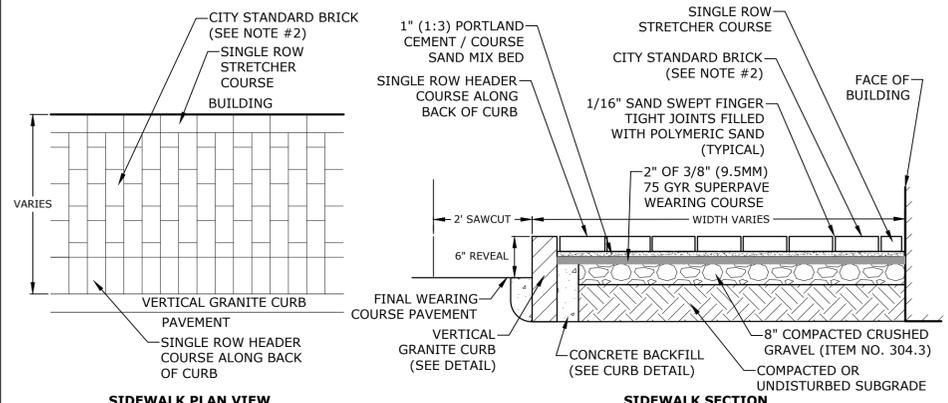
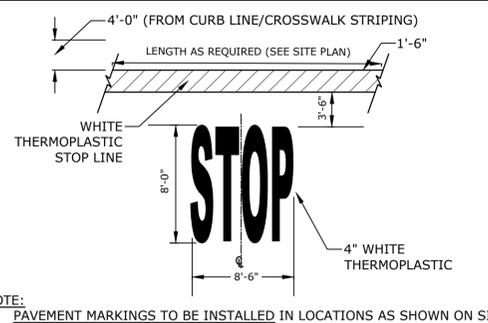
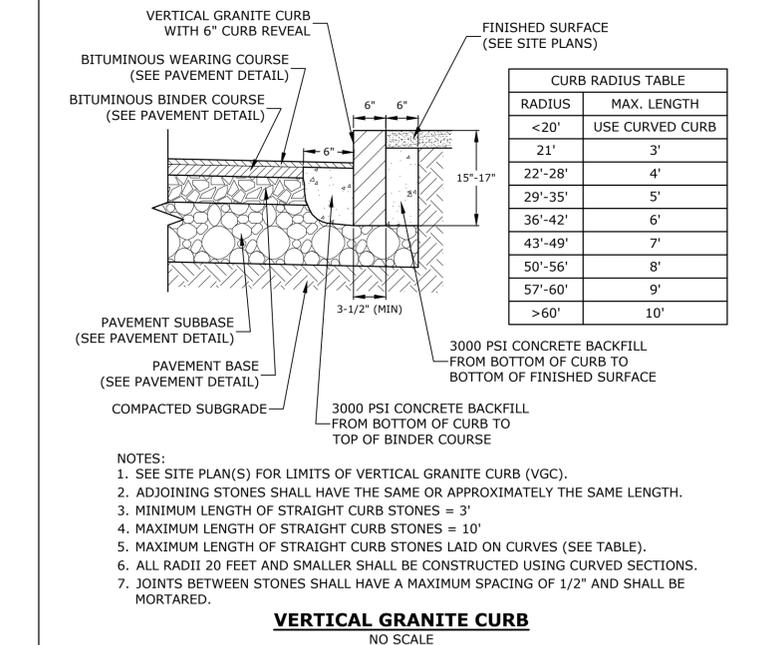
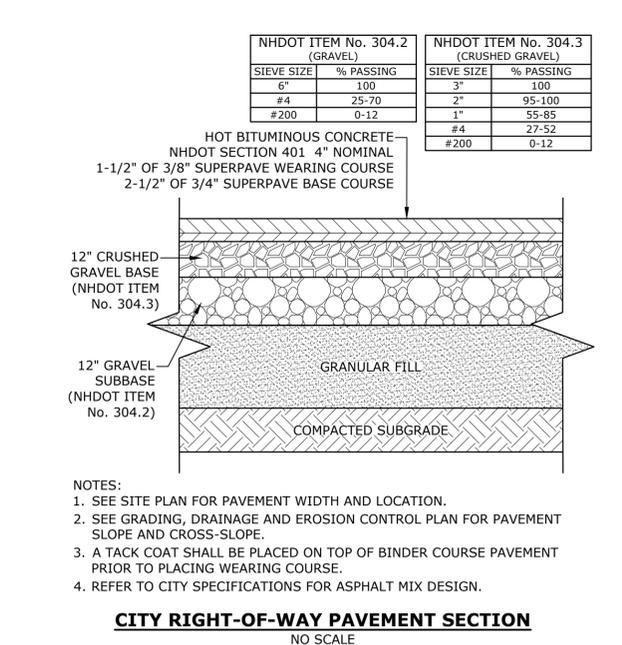
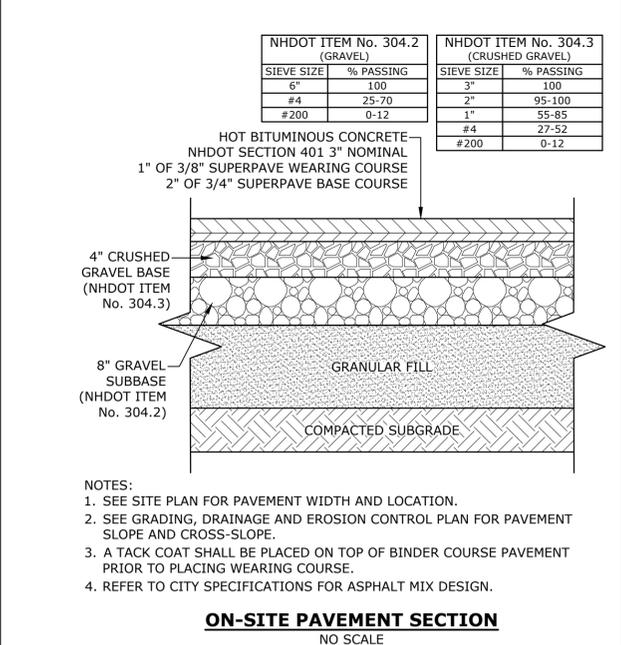
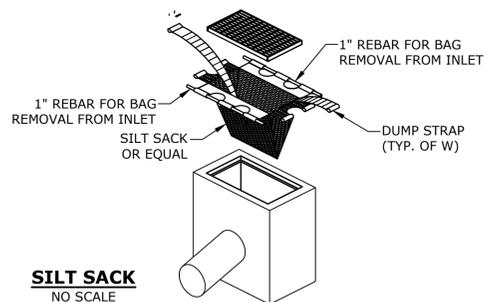
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| DATE: | January 4, 2022 |
| FILE: | T5037-002-C-DTLS.DWG |
| DRAWN BY: | AFS |
| CHECKED: | --- |
| APPROVED: | --- |

EROSION CONTROL NOTES AND DETAILS SHEET

SCALE: AS SHOWN

C-501

Last Saved: 1/3/2022 2:15:27pm By: ASellar
Plotted On: Jan 04, 2022 2:15:27pm By: ASellar
Tighe & Bond\EA\T5037 Two International Group\02 Russell Street Development\Drawings\Figures\AutoCAD\T5037-002-C-DTLS.dwg



North End Mixed Use Development

Two International Group

**Russell Street & Deer Street
Portsmouth, NH**

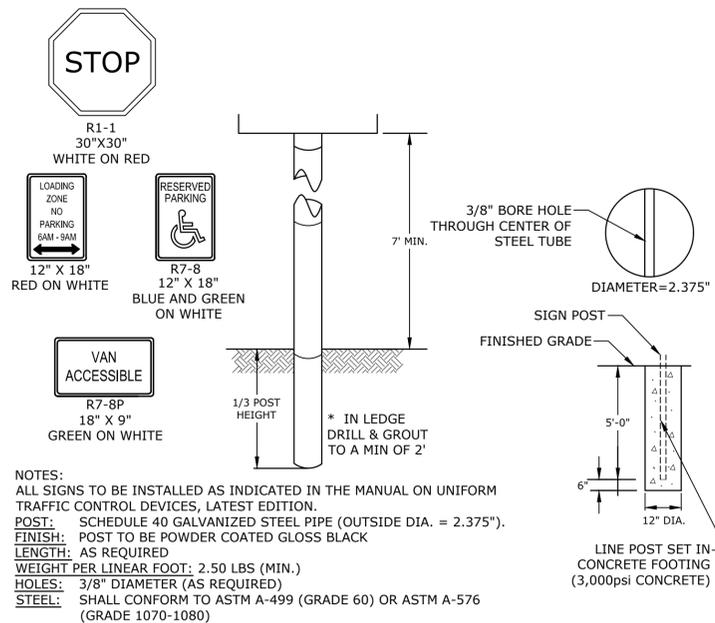
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| FILE: | T5037-002-C-DTLS.DWG | |
| DRAWN BY: | AFS | |
| CHECKED: | --- | |
| APPROVED: | --- | |

DETAILS SHEET

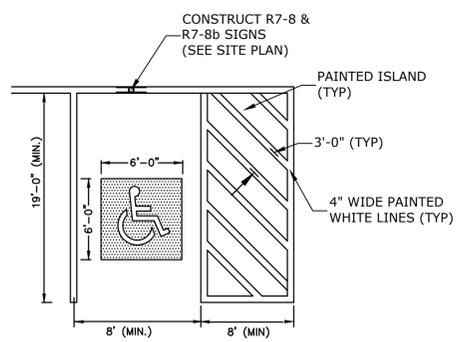
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C-502

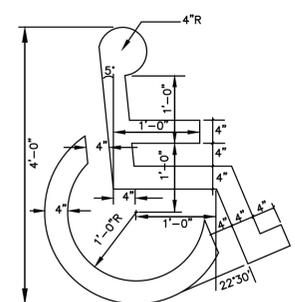
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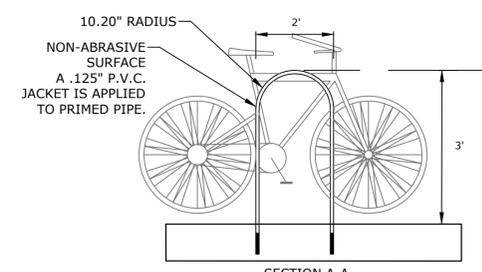
SIGN LEGEND & SIGN POST
NO SCALE



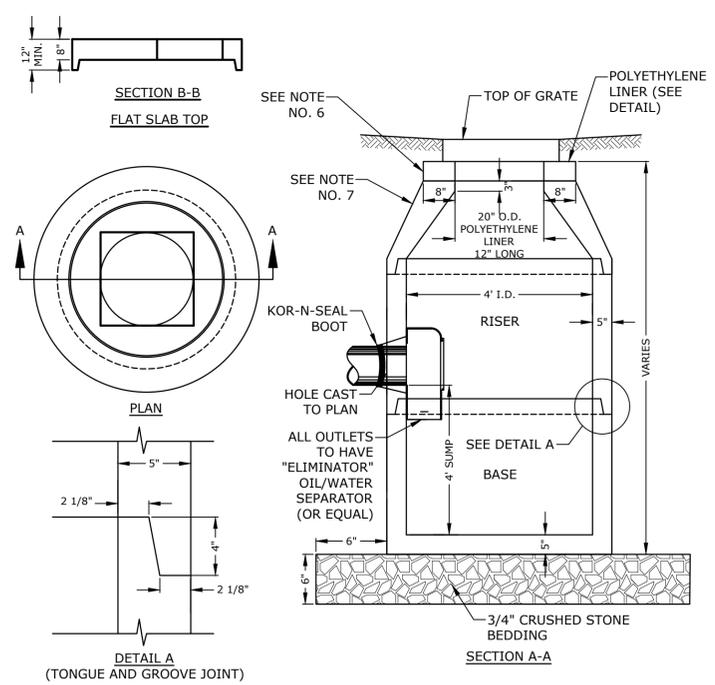
ACCESSIBLE PARKING STALL
NO SCALE



ACCESSIBLE SYMBOL
NO SCALE

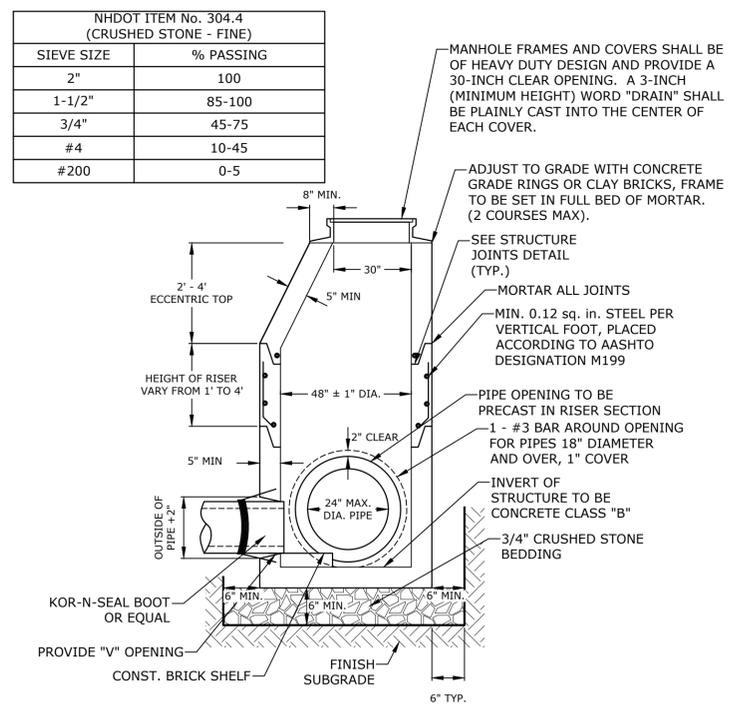


BIKE RACK
NO SCALE

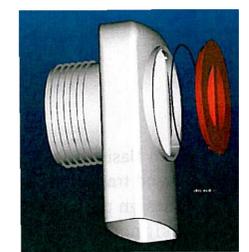


4' DIAMETER CATCHBASIN
NO SCALE

| NHDOT ITEM No. 304.4 (CRUSHED STONE - FINE) | |
|--|-----------|
| SIEVE SIZE | % PASSING |
| 2" | 100 |
| 1-1/2" | 85-100 |
| 3/4" | 45-75 |
| #4 | 10-45 |
| #200 | 0-5 |

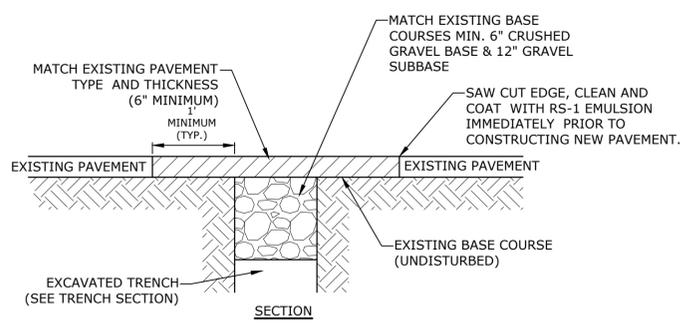


4' DIAMETER DRAIN MANHOLE
NO SCALE



- NOTES:
- ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
 - INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
 - 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

"ELIMINATOR" OIL FLOATING DEBRIS TRAP



ROADWAY TRENCH PATCH
NO SCALE

North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

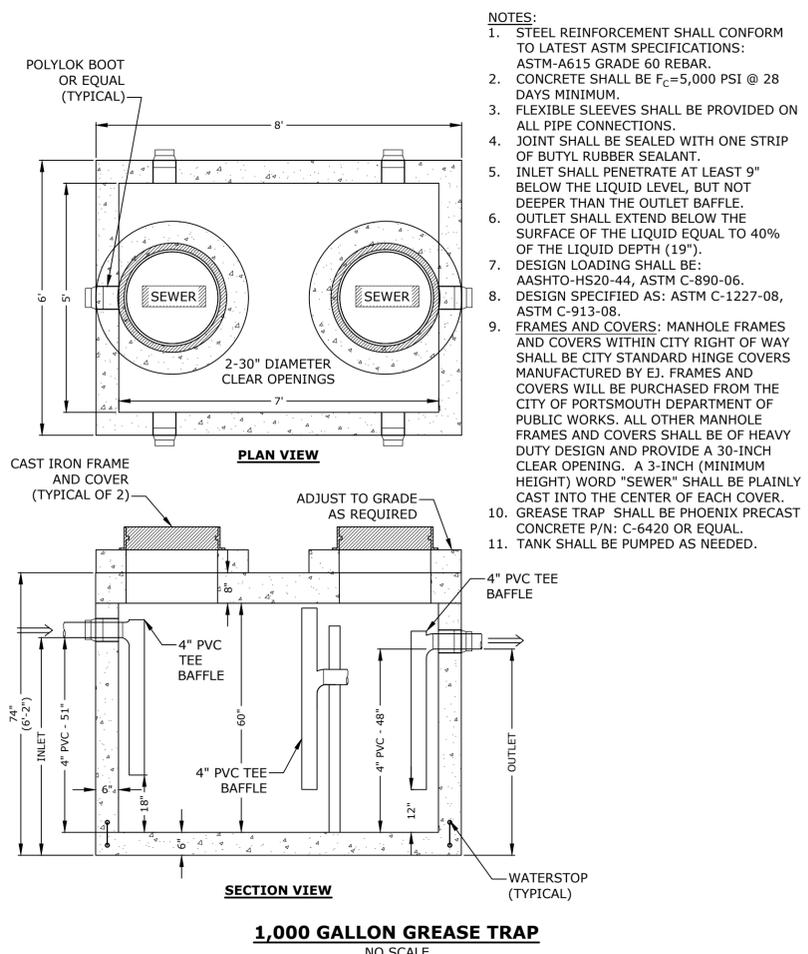
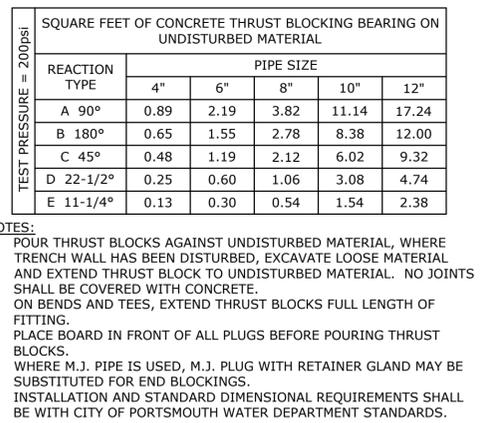
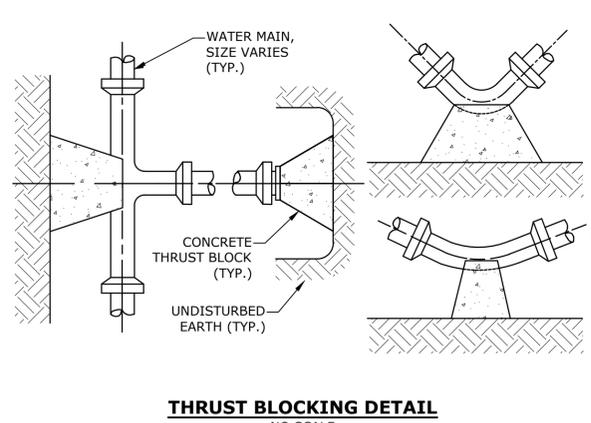
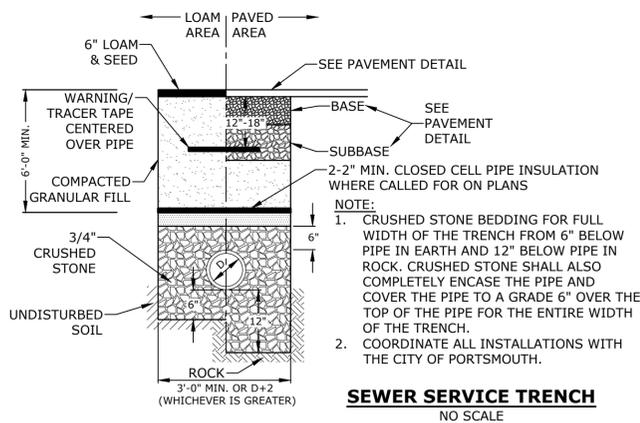
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PROJECT NO: T5037-002
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APPROVED: ---

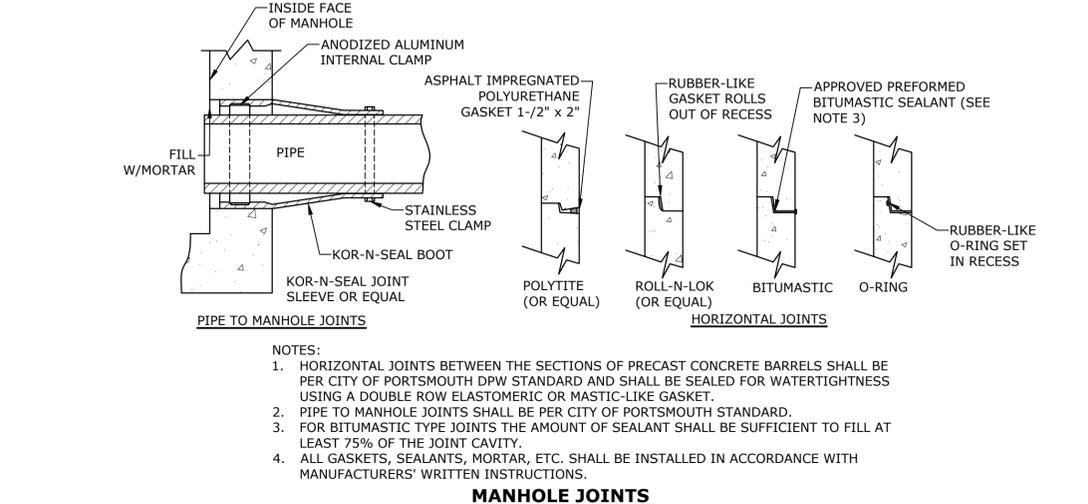
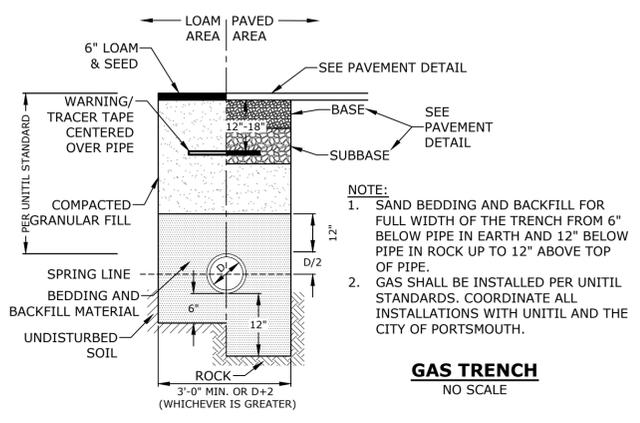
DETAILS SHEET

SCALE: AS SHOWN

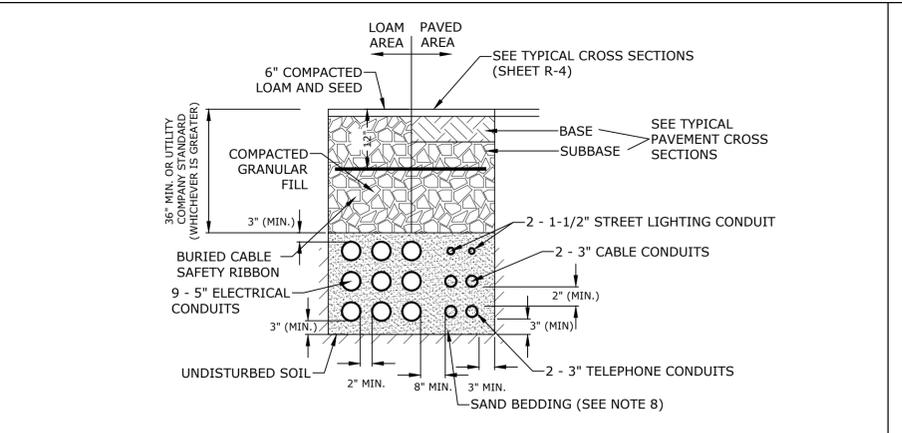
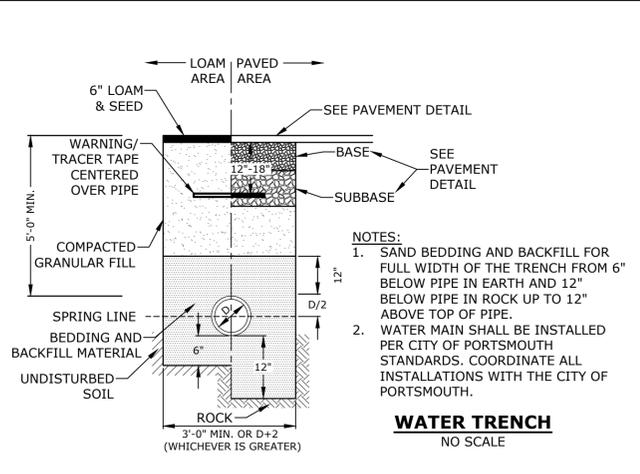
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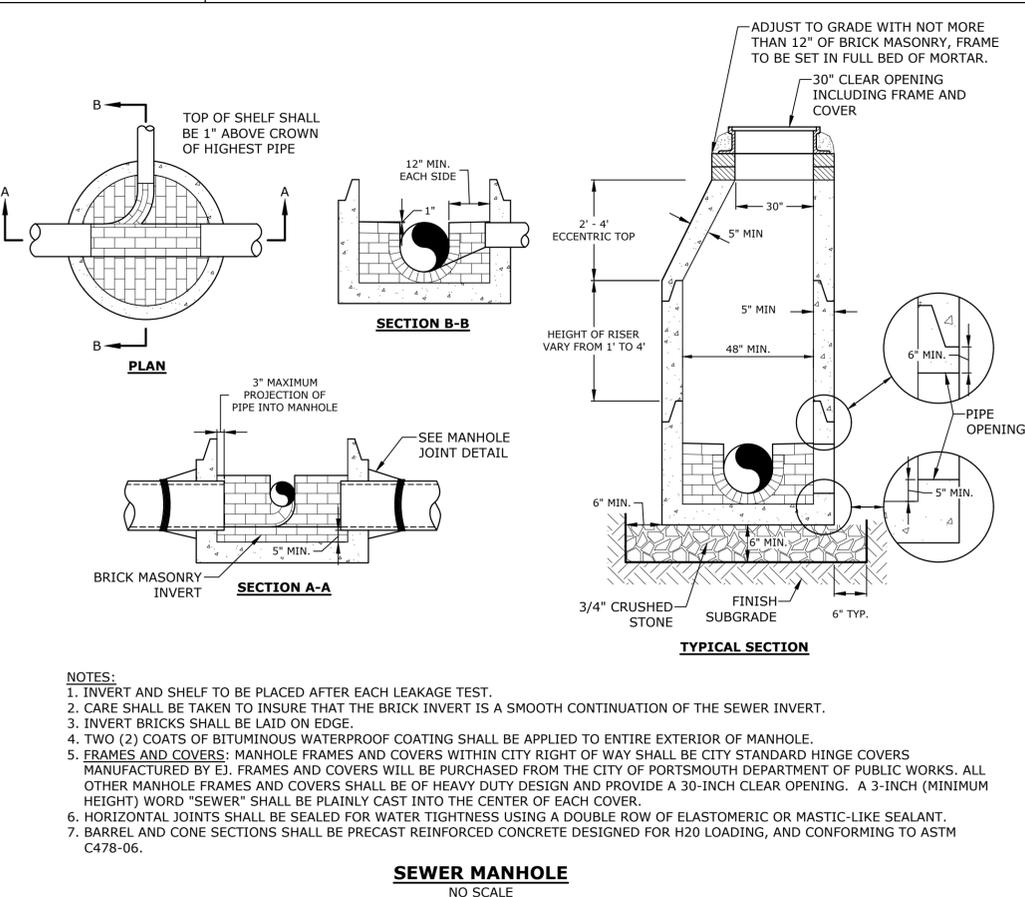
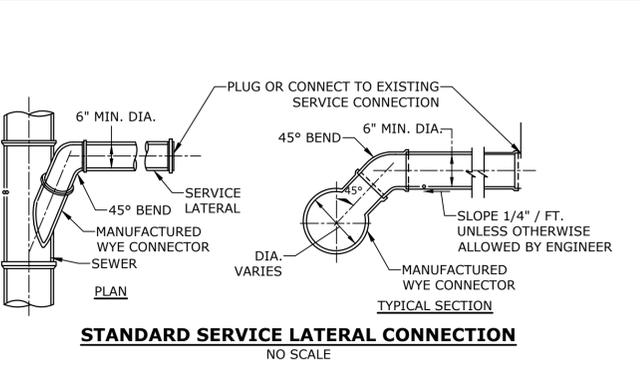
- NOTES:**
1. STEEL REINFORCEMENT SHALL CONFORM TO LATEST ASTM SPECIFICATIONS: ASTM-A615 GRADE 60 REBAR.
2. CONCRETE SHALL BE $F_c=5,000$ PSI @ 28 DAYS MINIMUM.
3. FLEXIBLE SLEEVES SHALL BE PROVIDED ON ALL PIPE CONNECTIONS.
4. JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
5. INLET SHALL PENETRATE AT LEAST 9" BELOW THE LIQUID LEVEL, BUT NOT DEEPER THAN THE OUTLET BAFFLE.
6. OUTLET SHALL EXTEND BELOW THE SURFACE OF THE LIQUID EQUAL TO 40% OF THE LIQUID DEPTH (19").
7. DESIGN LOADING SHALL BE: AASHTO-HS20-44, ASTM C-890-06.
8. DESIGN SPECIFIED AS: ASTM C-1227-08, ASTM C-913-08.
9. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY E.J. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
10. GREASE TRAP SHALL BE PHOENIX PRECAST CONCRETE P/N: C-6420 OR EQUAL.
11. TANK SHALL BE PUMPED AS NEEDED.



- NOTES:**
1. HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.



- NOTES:**
1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.



- NOTES:**
1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
3. INVERT BRICKS SHALL BE LAID ON EDGE.
4. TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY E.J. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H2O LOADING, AND CONFORMING TO ASTM C478-06.

North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

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PROJECT NO: T5037-002
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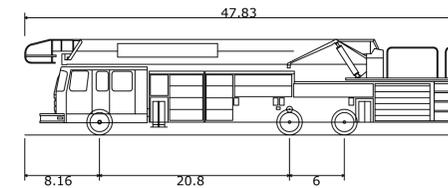
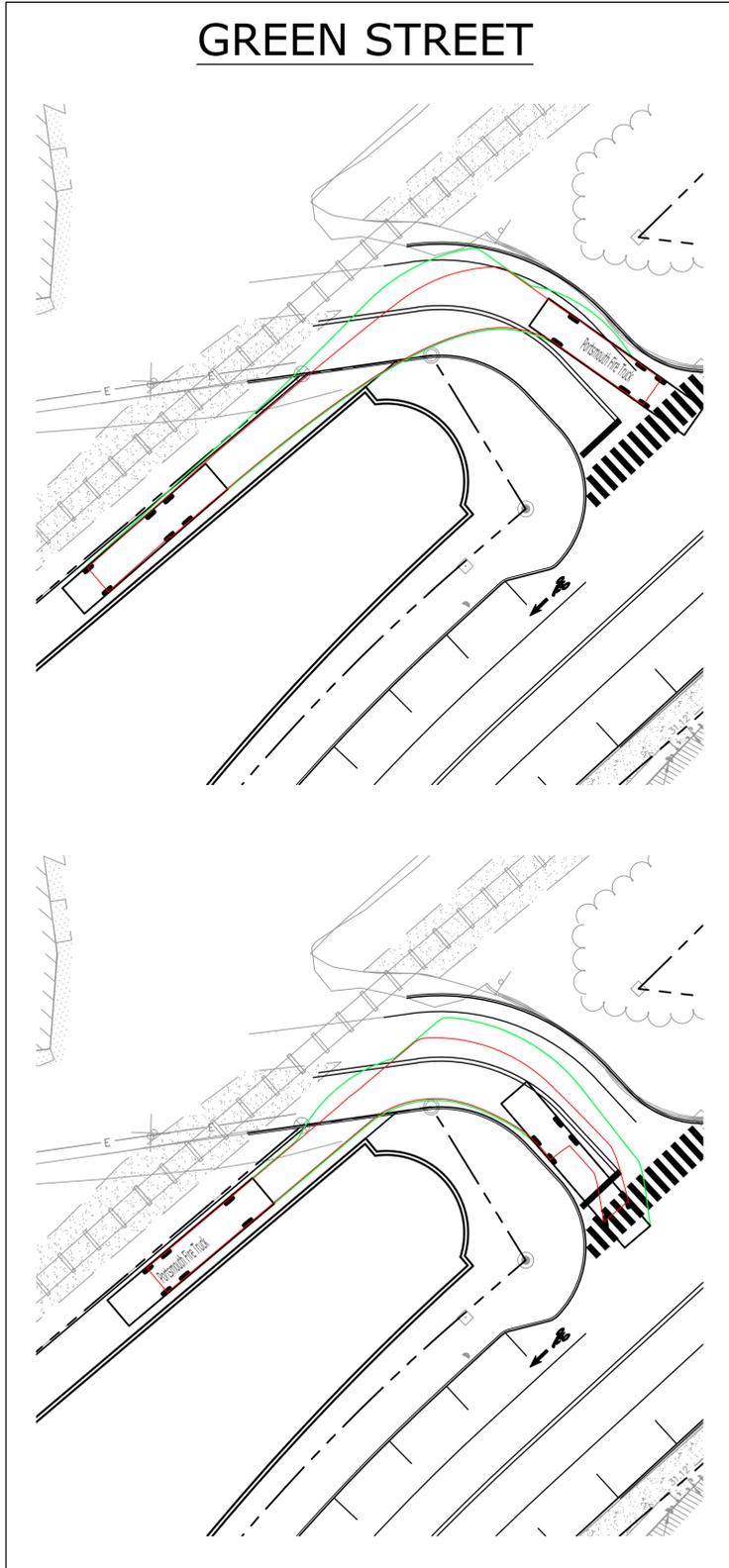
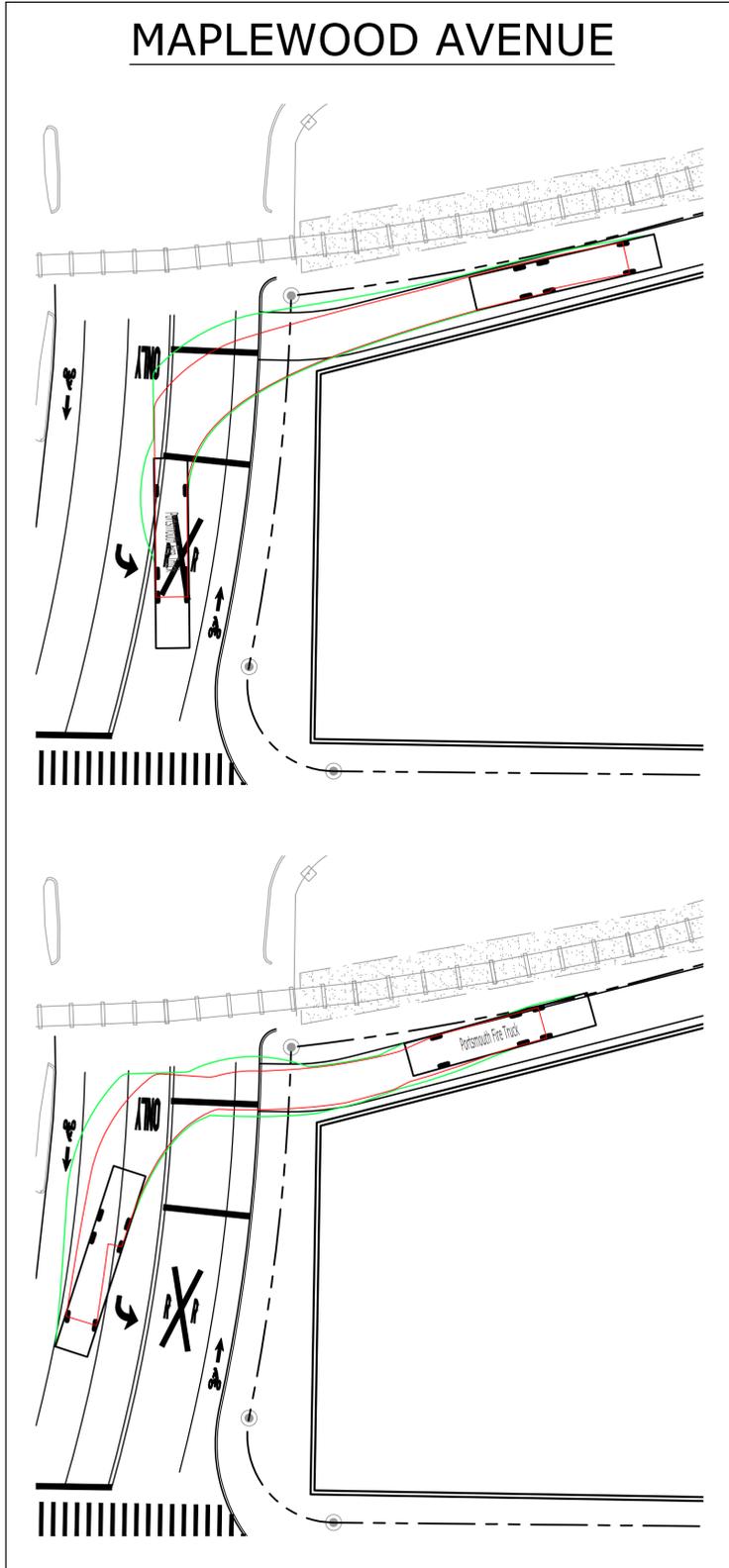
DETAILS SHEET

SCALE: AS SHOWN

C-505

**NORTH END MIXED USE DEVELOPMENT
RUSSELL STREET & DEER STREET
PORTSMOUTH, NEW HAMPSHIRE**

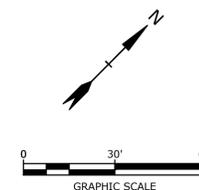
FIRE TRUCK TURNING EXHIBIT



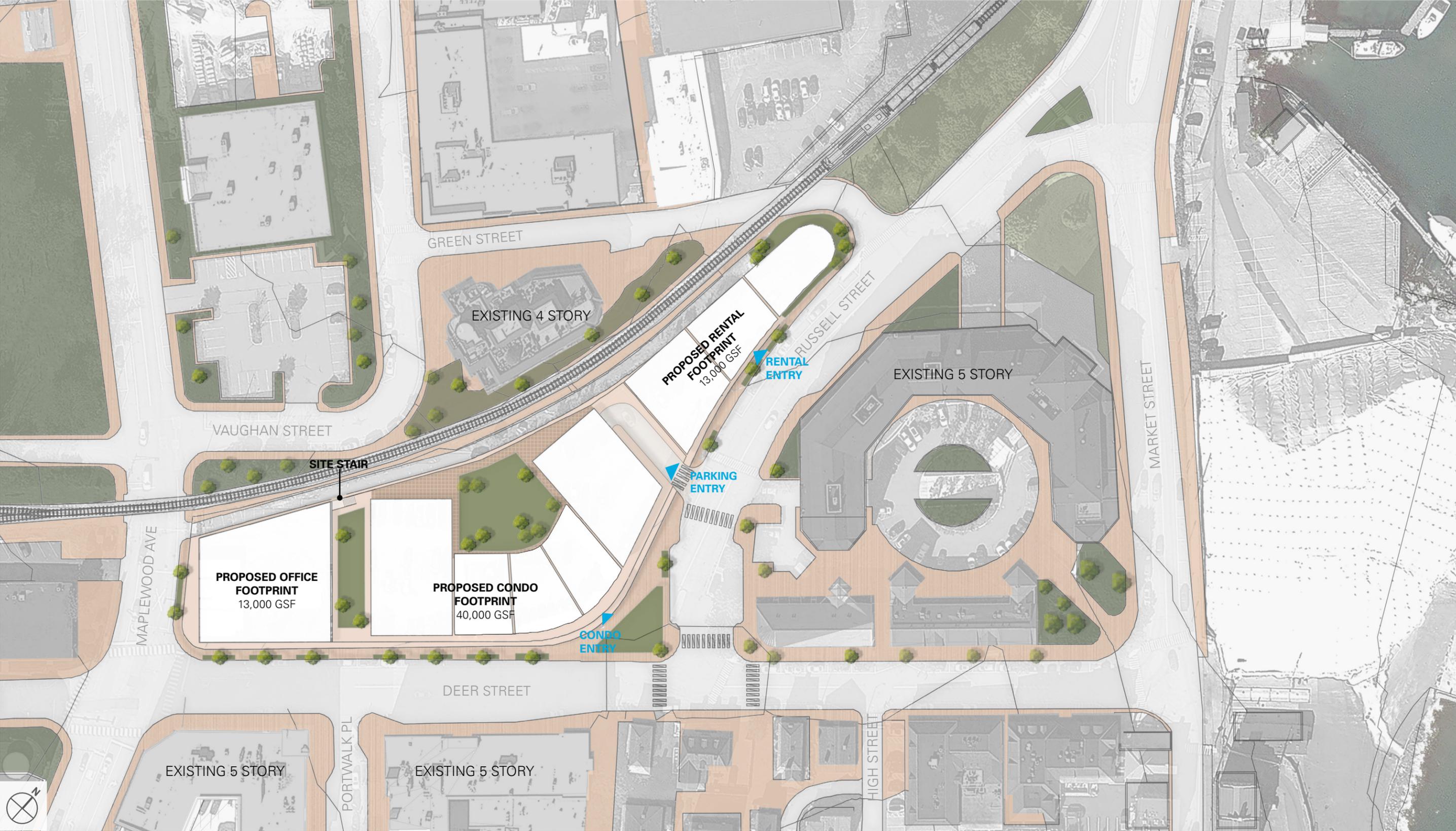
| | |
|------------------------------|----------|
| Portsmouth Fire Truck | |
| Overall Length | 47.830ft |
| Overall Width | 8.500ft |
| Overall Body Height | 10.432ft |
| Min Body Ground Clearance | 0.862ft |
| Track Width | 8.000ft |
| Lock-to-lock time | 6.00s |
| Max Steering Angle (Virtual) | 38.00° |

LEGEND

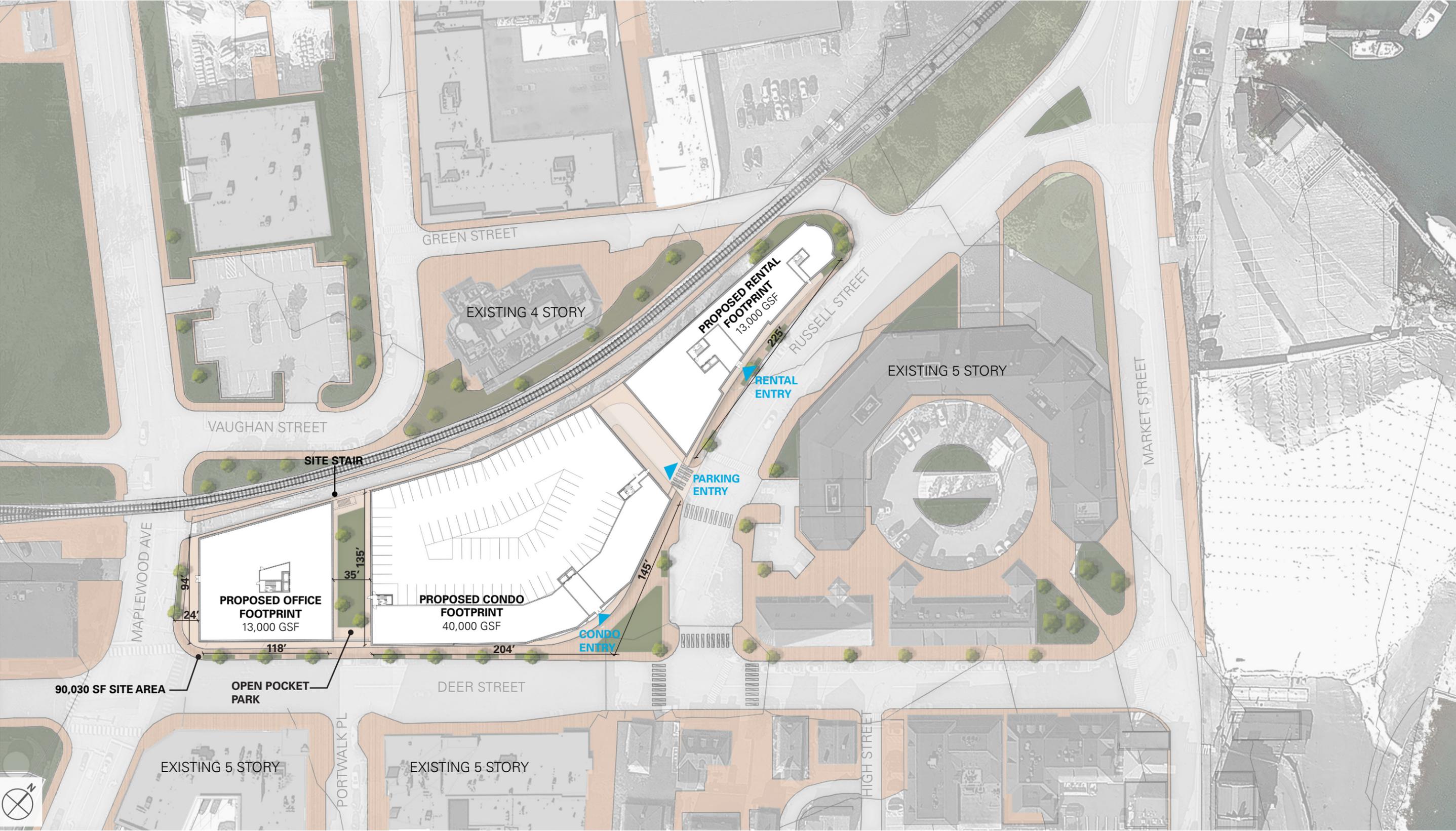
- VEHICLE WHEEL BASE
- VEHICLE OVERHANG
- VEHICLE WHEEL BASE (REVERSE)
- VEHICLE OVERHANG (REVERSE)



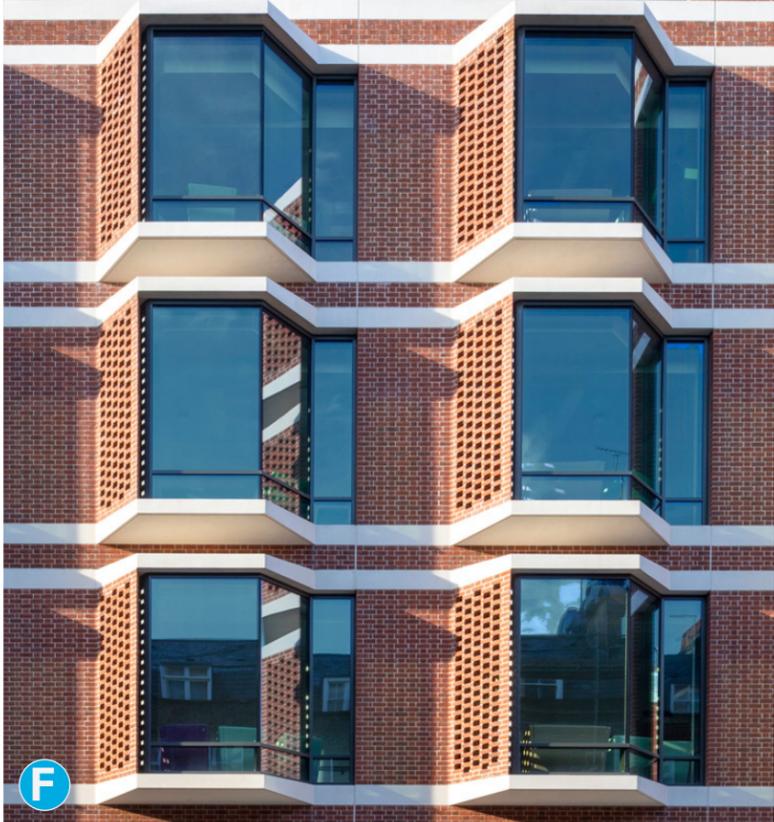
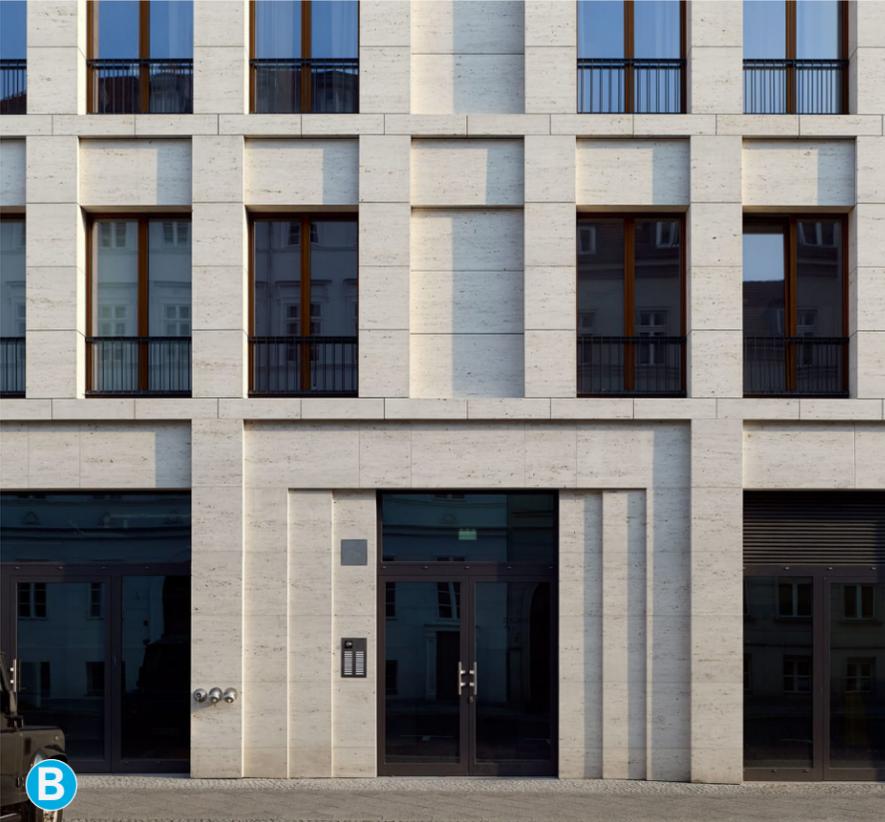
SITE PLAN



GROUND FLOOR PLAN



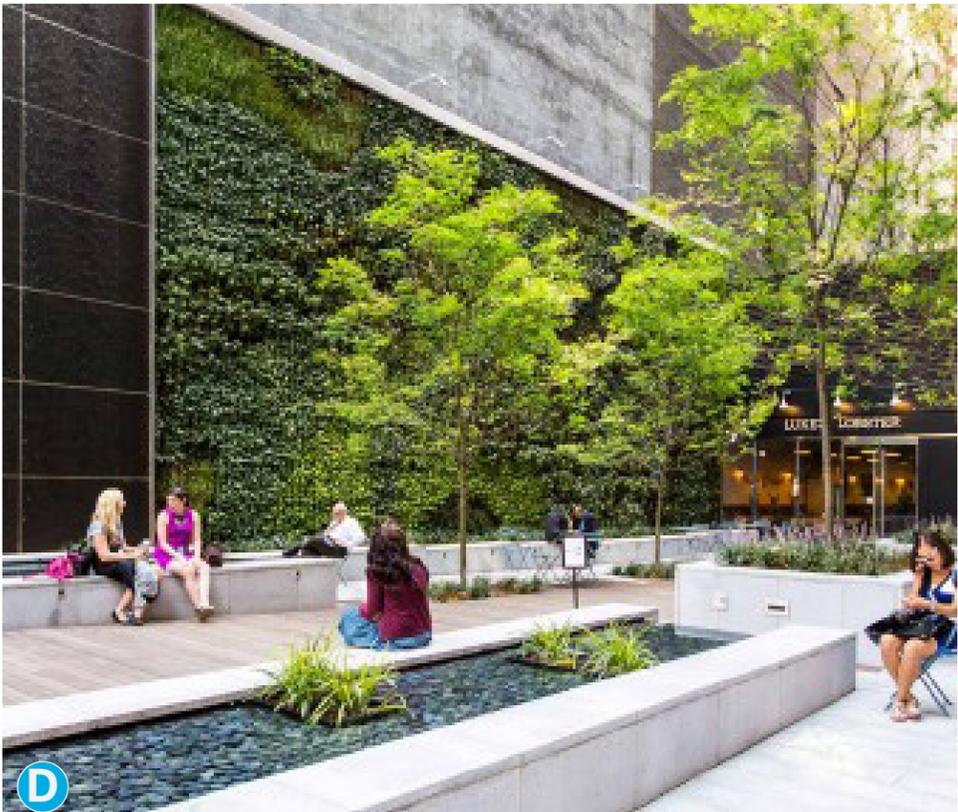
PRECEDENT IMAGES - FACADE



PRECEDENT IMAGES - LOCAL PORTSMOUTH



PRECEDENT IMAGES - COMMUNITY SPACE



HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480
Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

October 20, 2021

Karen Conard, City Manager
City Council
City of Portsmouth
One Junkins Avenue
Portsmouth, NH 03801

RE: Restoration of Involuntary Merged lots
Jeff & Randi Collins
77 Meredith Way, Map 162, Lot 16

Dear Mayor Becksted and City Council Members:

On behalf of Jeff and Randi Collins, (“Collins”), we submit the following documents and commentary in support of Collins’ Application for Un-Merger of 3 lots located at 77 Meredith Way which were involuntarily merged by the City of Portsmouth:

I. EXHIBITS

- A. 10/7/2021 – Application for Restoration of Involuntarily Merged Lots.
- B. Authorization
- C. Existing Conditions Plan – TF Moran.
- D. Plan of Elm Place, 1856; Rockingham County Registry of Deeds Plan 008.
- E. Current & Historical Tax Cards.
- F. Current and Historical Tax Maps.
- G. Deed Chain.

II. HISTORY

The square-shaped lot acquired by Collins is currently improved with one single family home 11.5 feet from the southwest (left) lot line and a shed 4.9 ft. from the southwest (left lot line)(the “Property”). The rest of the lot is undeveloped. The lot as it exists today was originally comprised of three 50 ft. by 150 ft. parcels shown as Lots 55, 56, and 57 in an 1856 plan titled Plan of Elm Place and recorded at the Rockingham County Registry of Deeds (“RCRD”) as Plan 008 and developed with a home on lot 57 (**Exhibits C & D**). Examination of early Portsmouth tax maps from 1927, 1935, and 1956 depict the Property as two lots: one is 100 ft. by 150 ft. and the other is 50 ft. by 100 ft. (**Exhibit D**). Only the 1935 map assigns lot numbers, depicting the

| | | | |
|---------------------|----------------------------|----------------------|---------------------|
| DANIEL C. HOEFLE | R. PETER TAYLOR | MONICA F. KIESER | AMANDA M. FREDERICK |
| R. TIMOTHY PHOENIX | KIMBERLY J.H. MEMMESHEIMER | SAMUEL HARKINSON | OF COUNSEL: |
| LAWRENCE B. GORMLEY | KEVIN M. BAUM | JACOB J.B. MARVELLEY | SAMUEL R. REID |
| STEPHEN H. ROBERTS | GREGORY D. ROBBINS | DUNCAN A. EDGAR | JOHN AHLGREN |

Property as lots 45 and 46. A later tax map from 1979 depicts the Property as one lot. Similarly, the earliest tax card available (1950) describes only the 100 ft. by 150 ft. lot containing the existing 32 ft. wide home, the next two tax cards (1972 and 1983-86) describe a primary site and secondary site on the same card, before transitioning to a description of one single site by 1994. **(Exhibit E)**.

III. REQUEST TO UNMERGE

Pursuant to RSA 674:39-aa, lots involuntarily merged by the municipality before September 18, 2010 shall, upon request of the owner, be restored to their pre-merger status provided that the request is submitted before December 31, 2021 and no previous owner:

- a.) voluntarily merged their lot pursuant to the process in RSA 674:39-a, or
- b) “any overt action or conduct that indicates that an owner regarded said lots as merged such as, but not limited to, abandoning a lot line.”

“The municipality shall have the burden of proof to show that any previous owner voluntarily merged his or her lots.” RSA 674:39-aa, II(b).

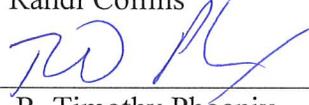
An examination of the deed chain back to 1898 demonstrates that the Property was described as a single square parcel of land measuring 150 ft. on each side **(Exhibit G)** without reference to the recorded Plan of Elm Place. **(Exhibit D)**. The mere description of the Property as one parcel alone is not enough to for a municipality to demonstrate an overt act of merger. Roberts v. Windham, 165 N.H. 236 (2013). Evaluation of an owner’s claim of involuntary merger considers several factors including the legal description of the land and the “meaning and intending to convey” clause of the deed, but also the physical characteristics of the lot, including building placement, and the conduct of the owners. Id. As the Existing Conditions Plan demonstrate here, the only developed area of the lot is the existing home on the first (Lot 57) of the three lots on the 1856 Plan. A review by the undersigned of the assessor records indicates that the rest of the Property remained undeveloped. **(Exhibit E)**. Early tax maps and tax cards depict the Property as two separate lots, with the tax cards in conflict regarding the size of the developed portion. Building records available only include repairs of the existing home, not construction of additional structures on the undeveloped portion of the parcel. Accordingly, there is no indication that the Parcels were merged by use, occupation, or any overt action or conduct indicating that any owner in the chain of title regarded the lots as merged. RSA 674: 39-a. In addition, review of Assessor Records and the chain of title from 1898 through the present reveal

that no voluntary lot merger was submitted or recorded. Accordingly, no voluntary lot merger by document exists.

RSA 674:30-aa, first enacted in 2011 and revised in 2016, requires the Council to approve unmerger. Based upon the foregoing information and evidence, the Property originally shown as three lots in 1956 and shown in the 1927, 1935 and 1956 tax maps as two lots were involuntarily merged into the single lot depicted on the current tax map and tax card. Accordingly, Collins has met the requirements for unmerger. We respectfully request that the Council grant the Unmerger Application and restore the Property to its pre-merger status as required by RSA 674:39aa (II).

Respectfully submitted,

Jeff & Randi Collins

By: 

R. Timothy Phoenix
Monica F. Kieser

Encl.

cc: Jeff & Randi Collins
Peter Britz, Acting Planning Director
Rosann Maurice-Lentz
Robert P. Sullivan, City Attorney

APPLICATION FOR RESTORATION OF INVOLUNTARILY MERGED LOTS

EXHIBIT A

PURSUANT TO RSA 674:39-aa

Name of Property Owner(s): Jeffrey and Randi Collins

Mailing Address: 77 Meredith Way Portsmouth, NH 03801

Telephone Number: c/o Counsel Tim Phoenix 436.0666

Email Address: c/o Counsel tphoenix@hpgrlaw.com

Street Location of Parcels Affected by the Requested Restoration:

77 Meredith Way

Properties Requested to be Restored (attach additional sheet if needed):

Parcel 1.

Current Deed Reference: Book 6274 Page 1666 Date Recorded _____

Tax Map _____ Lot Number _____

Parcel 2.

Current Deed Reference: Book _____ Page _____ Date Recorded _____

Tax Map _____ Lot Number _____

Parcel 3.

Current Deed Reference: Book _____ Page _____ Date Recorded _____

Tax Map _____ Lot Number _____

Please state when you believe the involuntary merger took place:

Please see attached letter.

Signature(s) of Property Owner(s):

Signature: [Handwritten Signature] Name: JEFFREY COLLINS Date: 10/5/21

Signature: [Handwritten Signature] Name: RANDI COLLINS Date: 10/8/21

Monica Kieser

From: Jeff Collins <jeffreycollins@yahoo.com>
Sent: Friday, October 8, 2021 5:33 AM
To: Monica Kieser; Tim Phoenix
Cc: Randi Collins
Subject: Authorization

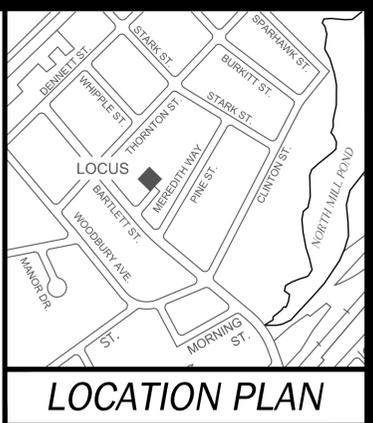
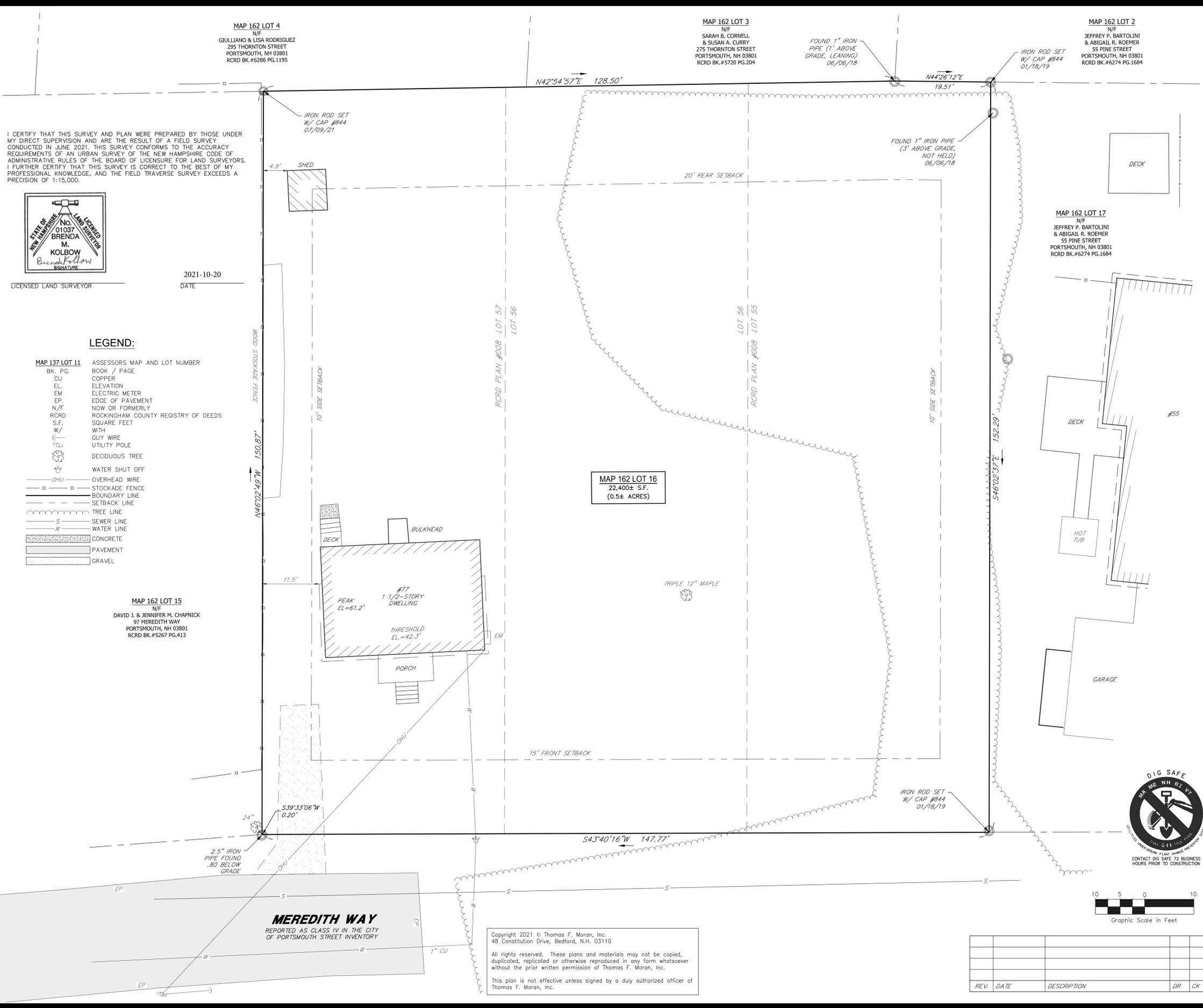
To whom it may concern,

We authorize Hoefle, Phoenix, Gormley & Roberts, PLLC to execute all applications before the City of Portsmouth Council and Land Use Boards and to take any and all actions necessary throughout the application and permitting process related to our property at 77 Meredith Way (Tax Map 162, 16) including but not limited to attendance and presentation at public hearings.

Jeff and Randi Collins

Jeff Collins
c. 774.278.8676
w. 603.435.3900 x100

Oct 20, 2021 - 9:38am
 F:\MSC Projects\47442-77 Meredith Way - Portsmouth\47442-00 - Collins - 77 Meredith Way\Collins\Survey\Drawings\47442-00 Survey.dwg



- NOTES:**
- THE PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
 - THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 162 AS LOT 16.
 - THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, MAP NUMBER 33015C0259F, MAP REVISED JANUARY 29, 2021.
 - | MINIMUM LOT DIMENSIONS: | REQUIRED: |
|-------------------------------|------------|
| LOT AREA: | 7,500 S.F. |
| LOT AREA PER DWELLING UNIT: | 7,500 S.F. |
| CONTINUOUS STREET FRONTAGE: | 100' |
| DEPTH: | 70' |
| MINIMUM YARD DIMENSIONS: | |
| FRONT: | 15' |
| SIDE: | 10' |
| REAR: | 20' |
| MAXIMUM STRUCTURE DIMENSIONS: | |
| STRUCTURE HEIGHT: | |
| SLOPED ROOF: | 35' |
| FLAT ROOF: | 30' |
| ROOF APPURTENANCE HEIGHT: | 8' |
| BUILDING COVERAGE: | 25% |
| MINIMUM OPEN SPACE: | 30% |
 - OWNER OF RECORD:
 MAP 162 LOT 16:
 RANDI & JEFF COLLINS
 77 MEREDITH WAY
 PORTSMOUTH, NH 03801
 RCRD BK.#6274 PG.#1666
 - PARCEL AREA:
 MAP 162 LOT 16:
 22,400± S.F.
 (0.5± ACRES)
 - THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES, TOPOGRAPHY AND CURRENT SITE FEATURES OF MAP 162 LOT 16.
 - FIELD SURVEY COMPLETED BY TCE JUNE 2021 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
 - HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS. THE VERTICAL DATUM IS NAVD88 PER STATIC GPS OBSERVATIONS. THE CONTOUR INTERVAL IS 2 FEET.
 - EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.

EXHIBIT C

- PLAN REFERENCES:**
- "PLAN OF ELM PLACE, SITUATED IN PORTSMOUTH, N.H." DATED 1856. RCRD PLAN #008.
 - "LOT LINE REVISION, PINE STREET, PORTSMOUTH, NEW HAMPSHIRE, FOR JOYCE M. MAYO & CITY OF PORTSMOUTH" PREPARED BY DURGIN, VERRA AND ASSOCIATES, INC., DATED 6/9/93 WITH REVISION 1 DATED 10/4/93. RCRD PLAN #0-22643.

TAX MAP 162 LOT 16
EXISTING CONDITIONS PLAN
COLLINS
77 MEREDITH WAY
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
RANDI & JEFF COLLINS

SCALE: 1" = 10' (22x34)
1" = 20' (11x17)

JULY 9, 2021

Seacoast Division
TFM

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

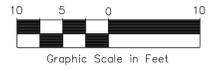
170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

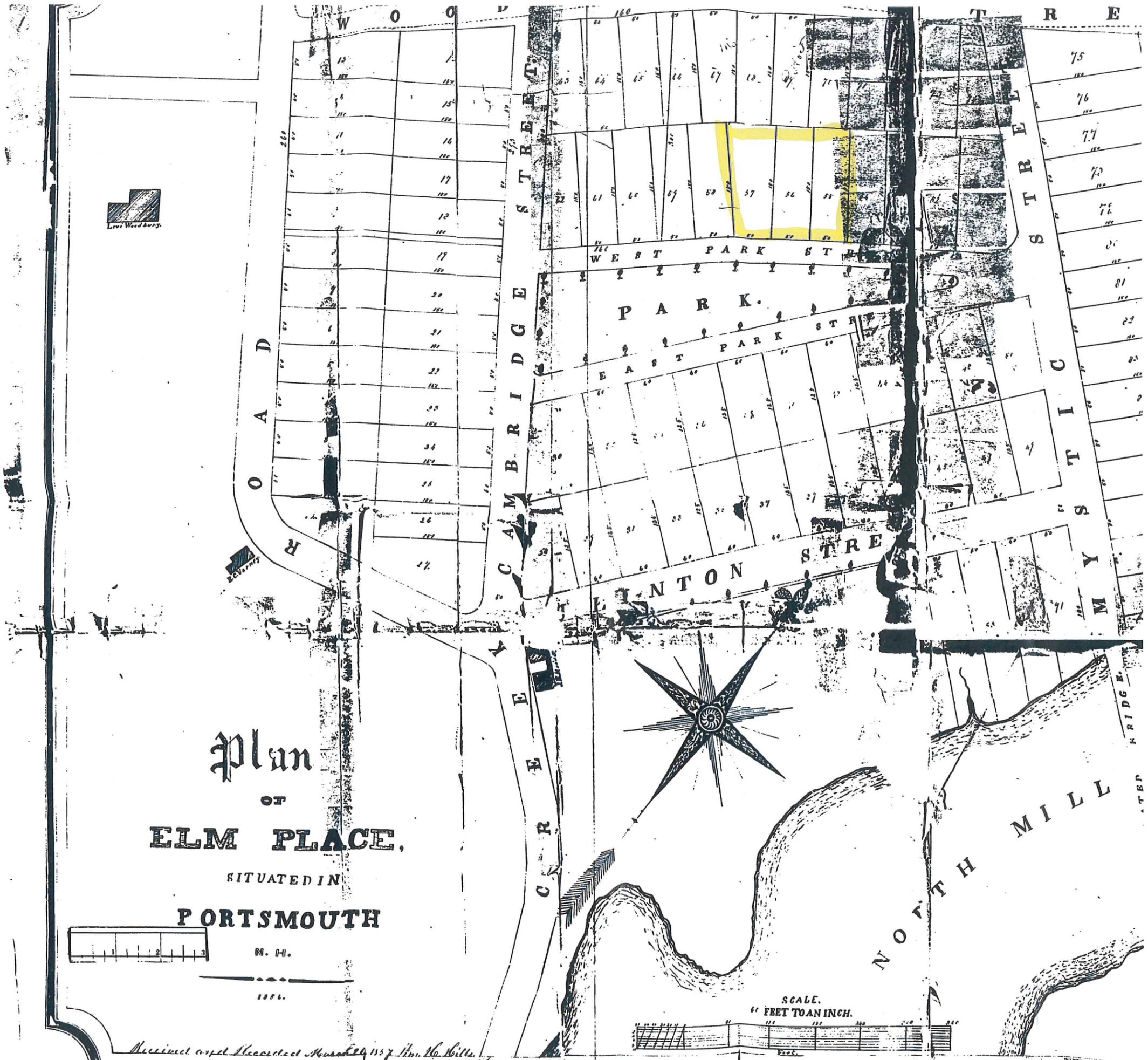
F 47442-00 DR FB
 CK CADFILE

S-1

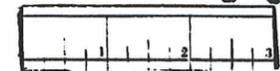
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 48 Constitution Drive, Bedford, N.H. 03110
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 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

| REV. | DATE | DESCRIPTION | DR | CK |
|------|------|-------------|----|----|
| | | | | |
| | | | | |
| | | | | |





Plan
 OF
 ELM PLACE,
 SITUATED IN
 PORTSMOUTH



N. H.

1876.

SCALE.
 66 FEET TO AN INCH.



Received and Recorded March 24 1877 Hon. W. H. Hill

| CURRENT OWNER | | TOPO | UTILITIES | STRT / ROAD | LOCATION | CURRENT ASSESSMENT | | |
|---------------------|--|--------------|-----------|------------------|-----------------------|----------------------|--------------------------------|--------------------------------|
| DUFOUR KAREN L | 1 Level | 0 All Public | 1 Paved | 8 2+ Off-St. PKG | RESIDENTL RES LAND | Code 1010 1010 | Assessed 138,900 290,600 | Assessed 138,900 290,600 |
| 77 MEREDITH WAY | SUPPLEMENTAL DATA | | | | PORTSMOUTH, NH | 2229 | | |
| PORTSMOUTH NH 03801 | Alt Prcl ID 0162-0016-0000-0000 OLDACGN 59180 PHOTO WARD PREC. 1/2 HSE GIS ID 35046 CONDO C INLAW Y/ LOT SPLIT 2015 Reva Ex/Cr Appli JM Assoc Pld# | | | | VISION | | | |

| RECORD OF OWNERSHIP | | BK-VOL/PAGE | SALE DATE | QU | VI | SALE PRICE | VC | PREVIOUS ASSESSMENTS (HISTORY) | | | | | | |
|---------------------|------|-------------|------------|----|----|------------|----|--------------------------------|-------|----------|-------|---------|----------|---------|
| DUFOUR KAREN L | 2916 | 2173 | 03-23-1992 | 1 | | 0 | | Year | Code | Assessed | Year | Code | Assessed | |
| | | | | | | | | 2020 | 1010 | 138,900 | 2019 | 1010 | 138,900 | |
| | | | | | | | | 1010 | 1010 | 290,600 | 1010 | 1010 | 290,600 | |
| Total | | | | | | | | 429,500 | Total | 429,500 | Total | 429,500 | Total | 429,500 |

| EXEMPTIONS | | Amount | Code | Description | Number | Amount | Comm Int |
|------------|-----------|--------|------|-------------|--------|--------|----------|
| Nbhd | Nbhd Name | | | | | | |
| 131 | B | 0.00 | | Tracing | | | |
| Total | | | | | | | |

| ASSESSING NEIGHBORHOOD | | Appraised Bldg. Value (Card) | Appraised Xt (B) Value (Bldg) | Appraised Ob (B) Value (Bldg) | Appraised Land Value (Bldg) | Special Land Value | Total Appraised Parcel Value | |
|-------------------------|--|------------------------------|-------------------------------|-------------------------------|-----------------------------|--------------------|------------------------------|---|
| APPT LETTER SENT 1/4/13 | | 138,900 | 0 | 0 | 290,600 | 0 | 429,500 | |
| NOTES | | Valuation Method | | | | | | C |

| BUILDING PERMIT RECORD | | Amount | Insp Date | % Comp | Date Comp | Comments | |
|------------------------------|------------|--------|-------------|--------|-----------|----------|---------|
| Permit Id | Issue Date | Type | Description | | | | |
| Total Appraised Parcel Value | | | | | | | 429,500 |

| VISIT / CHANGE HISTORY | | Date | Id | Type | Is | Cd | Purpose/Result |
|------------------------|--|------------|----|------|----|----|--------------------------|
| | | 07-13-2017 | | PM | | FR | Field Review Stat Update |
| | | 03-06-2015 | | DG | | FR | Field Review Stat Update |
| | | 01-17-2013 | | JM | | 10 | Meas/LtrSnt Letter Sent |
| | | 10-07-2000 | | ET | 1 | | Entry + Sign |
| | | 09-13-2000 | | ET | 0 | | No one home |
| | | 09-06-2000 | | ET | 0 | 2 | No one home |

| LAND LINE VALUATION SECTION | | | | | | | | | | | | | | | | |
|---|----------|--------------|------|----------|-------|------------|------------|----------|------|-------|--------|-----------|------------|-----------------|------------|------------|
| B | Use Code | Description | Zone | Frontage | Depth | Land Units | Unit Price | Size Adj | Site | Cond. | ST Idx | S.I. Adj. | Notes- Adj | Special Pricing | Adj Unit P | Land Value |
| 1 | 1010 | SINGLE FAM M | GRA | | | 22,787 SF | 7.5 | 1.0000 | 1 | 1.00 | 131 | 1,700 | 0 | 1.0000 | 12.75 | 290,600 |
| Total Card Land Units 0.523 AC Parcel Total Land Area 0.5231 Total Land Value 290,600 | | | | | | | | | | | | | | | | |

EXHIBIT E

CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

| Element | Cd | Description | Element | Cd | Description |
|---------------------|------|--------------------------|---------|----|-------------|
| Style: 06 | 01 | Conventional Residential | | | |
| Model: 01 | C+ | C+ | | | |
| Grade: C+ | 1.75 | | | | |
| Stories: 1 | | | | | |
| Occupancy: 1 | | | | | |
| Exterior Wall 1: 25 | | Vinyl Siding | | | |
| Exterior Wall 2: 03 | | Gable/Hip | | | |
| Roof Structure: 03 | | Asph/F Gls/Cmp | | | |
| Roof Cover: 03 | | Plastered | | | |
| Interior Wall 1: 12 | | Hardwood | | | |
| Interior Wall 2: 12 | | Hardwood | | | |
| Interior Flr 1: 02 | | Oil | | | |
| Interior Flr 2: 02 | | Warm Air | | | |
| Heat Fuel: 01 | | None | | | |
| Heat Type: 02 | | 2 Bedrooms | | | |
| AC Type: 02 | | | | | |
| Total Bedrooms: 1 | | | | | |
| Total Bathrms: 0 | | | | | |
| Total Half Baths: 0 | | | | | |
| Total Xtra Fixts: 6 | | | | | |
| Total Rooms: 1 | | | | | |
| Bath Style: 1 | | Avg Quality | | | |
| Kitchen Style: 1 | | Avg Quality | | | |
| Kitchen Gr: 0 | | | | | |
| WB Fireplaces: 0 | | | | | |
| Extra Openings: 0 | | | | | |
| Metal Fireplace: 0 | | | | | |
| Extra Openings: 0 | | | | | |
| Brnt Garage: 0 | | | | | |

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

| Code | Description | LB | Units | Unit Price | Yr Bilt | Cond. Cd | % Gd | Grade | Grade Adj. | Appr. Value |
|------|-------------|----|-------|------------|---------|----------|------|-------|------------|-------------|
| | | | | | | | | | | |

BUILDING SUB-AREA SUMMARY SECTION

| Code | Description | Living Area | Floor Area | Eft Area | Unit Cost | Undeprec Value |
|----------------------------|----------------------|-------------|------------|----------|-----------|----------------|
| BAS | First Floor | 704 | 704 | 704 | 178,999 | 126,007 |
| FOP | Porch, Open | 0 | 66 | 13 | 35,25 | 2,327 |
| TQS | Three Quarter Story | 0 | 448 | 336 | 134,24 | 60,139 |
| UBM | Basement, Unfinished | 0 | 704 | 141 | 35,85 | 25,237 |
| Ttl Gross Liv / Lease Area | | 1,040 | 1,922 | 1,194 | | 213,710 |

MIXED USE

| Code | Description | Percentage |
|------|-------------------|------------|
| 1010 | SINGLE FAM MDL-01 | 100 |
| | | 0 |
| | | 0 |

COST / MARKET VALUATION

| | |
|--------------------------|---------|
| Adj. Base Rate | 178,999 |
| Building Value New | 213,710 |
| Year Built | 1870 |
| Effective Year Built | 1984 |
| Depreciation Code | AV |
| Remodel Rating | |
| Year Remodeled | |
| Depreciation % | 35 |
| Functional Obsol | |
| External Obsol | |
| Trend Factor | 1 |
| Condition | |
| Condition % | |
| Percent Good | 65 |
| RCNLD | 138,900 |
| Dep % Ovr | |
| Dep Ovr Comment | |
| Misc Imp Ovr | |
| Misc Imp Ovr Comment | |
| Cost to Cure Ovr | |
| Cost to Cure Ovr Comment | |

BAS
UBM

8

32

TQS
BAS
UBM

11

32

FOP

11

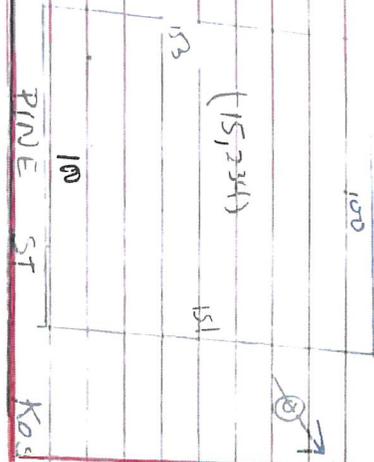


PROPERTY ASSESSMENT RECORD, - CITY OF FORTSMOUTH, N.C.

PLAN **81** LOT **45** RECORD OF OWNERSHIP

ADDRESS **77 BARK ST** DATE OF TRANSFER

DESCRIPTION **11.11.1-1** SALE PRICE IF KNOWN



RURAL PROPERTY

PROPERTY FACTORS

| | | | |
|--------------|-------|---------|-------|
| TOPOGRAPHY | LEVEL | ROLLING | LEDGE |
| SOIL TYPE | LOAM | SAND | CLAY |
| LAND CLASS | GOOD | FAIR | POOR |
| DRAINAGE | GOOD | FAIR | POOR |
| WATER SUPPLY | GOOD | FAIR | POOR |
| FENCES | GOOD | FAIR | NONE |
| ELECTRICITY | YES | NO | |
| TELEPHONE | YES | NO | |
| ROAD | PAVED | IMPR. | DIRT |
| EMARKS | | | |

LAND VALUE COMPUTATIONS AND SUMMARY

| | | | |
|------------------------------|--------------|------|---------|
| CLASSIFICATION | NO. OF ACRES | RATE | TOTAL |
| TILLABLE | 710 | 710 | 504,700 |
| PASTURE | 710 | 710 | 504,700 |
| WOODED | 710 | 710 | 504,700 |
| WASTE LAND | | | |
| TOTAL ACREAGE | | | |
| TOTAL VALUE LAND | | | |
| TOTAL VALUE BUILDINGS | | | |
| TOTAL VALUE LAND & BUILDINGS | | | |

OWNERS PREVIOUS TO 1981

| | | |
|-----------------------|-------|-------------|
| NAME | DATES | ASSESSMENTS |
| Mrs. Richard Felton | 1910 | |
| Mrs. Elizabeth Felton | 1910 | |
| Mrs. Ethel Robinson | 1910 | |
| Mary Oakley | 1910 | |
| Isabella Mary | 1910 | |
| Est. N. Jones | 1908 | |

URBAN PROPERTY

PROPERTY FACTORS

| | |
|------------|-------------------|
| TOPOGRAPHY | IMPROVEMENTS |
| VEL | WATER |
| SM | SEWER |
| W | GAS (partially) |
| CLING | ELECTRICITY |
| AMPY | ALL UTILITIES |
| | CARBAGE DISPOSAL |
| STREET | TREND OF DISTRICT |
| ED | IMPROVING |
| IMPROVED | STAGING |
| PAIK | DEFINING |

LAND VALUE COMPUTATIONS AND SUMMARY

| | | | | | |
|------------------------------|-------|------------|--------------|-----------------|-------|
| FRONTAGE | DEPTH | UNIT PRICE | DEPTH FACTOR | FRONT FT. PRICE | TOTAL |
| 710 | 156 | 300 | | | 300 |
| TOTAL VALUE LAND | | | | | 300 |
| TOTAL VALUE BUILDINGS | | | | | 1800 |
| TOTAL VALUE LAND & BUILDINGS | | | | | 2100 |

ASSESSMENT RECORD

| | | |
|------|-------|------|
| 1951 | LAND | |
| | BLDGS | |
| | TOTAL | 16 |
| 1954 | LAND | |
| | BLDGS | |
| | TOTAL | 2000 |
| 1957 | LAND | |
| | BLDGS | |
| | TOTAL | 2200 |
| 1959 | LAND | 1250 |
| | BLDGS | 1200 |
| | TOTAL | 2450 |
| 1960 | LAND | 3400 |
| | BLDGS | 4800 |
| | TOTAL | 8200 |
| 1961 | LAND | 3500 |
| | BLDGS | 2450 |
| | TOTAL | 5950 |
| 1962 | LAND | |
| | BLDGS | |
| | TOTAL | |
| 1963 | LAND | |
| | BLDGS | |
| | TOTAL | |
| 1964 | LAND | |
| | BLDGS | |
| | TOTAL | |
| 1965 | LAND | |
| | BLDGS | |
| | TOTAL | |

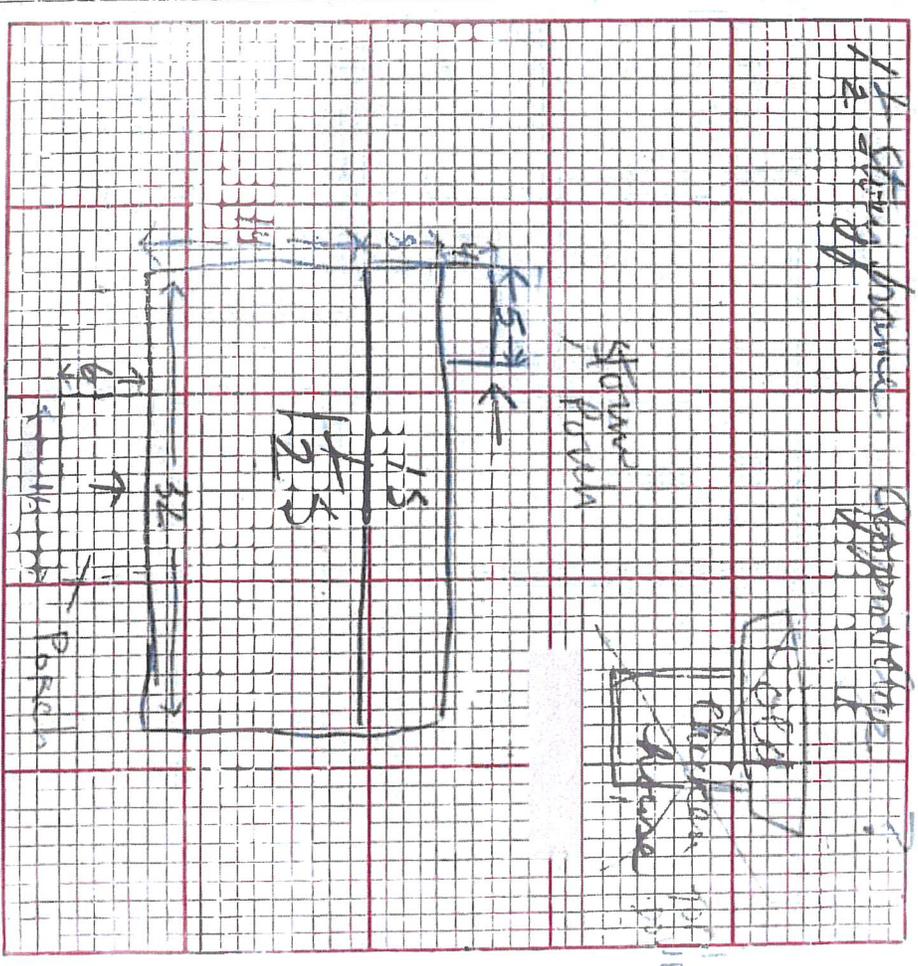
RECORD OF BUILDINGS

CONSTRUCTION

NOTES—SPECIAL EQUIPMENT

| OCCUPANCY | FLOORS | | | |
|---------------------------|--------|---|---|---|
| | B | 1 | 2 | 3 |
| SINGLE FAMILY | | | | |
| TWO FAMILY | | | | |
| APARTMENT | | | | |
| STORE | | | | |
| THEATRE | | | | |
| HOTEL | | | | |
| OFFICES | | | | |
| WAREHOUSE | | | | |
| COMM GARAGE | | | | |
| GAS STATION | | | | |
| FOUNDATION | | | | |
| CONCRETE | | | | |
| CONCRETE BLOCK | | | | |
| BRICK OR STONE | | | | |
| PIERS | | | | |
| CELLAR AREA FULL | | | | |
| NO CELLAR | | | | |
| EXTERIOR WALLS | | | | |
| CLAPBOARDS | | | | |
| WIDE SIDING | | | | |
| DROP SIDING | | | | |
| NO SHEATHING | | | | |
| WOOD SHINGLES | | | | |
| ASBEST SHINGLES | | | | |
| STUCCO ON FRAME | | | | |
| STUCCO ON TILE | | | | |
| BRICK VENEER | | | | |
| BRICK ON TILE | | | | |
| SOLID BRICK | | | | |
| STONE VENEER | | | | |
| CONC OR CIND BL. | | | | |
| INTERIOR FINISH | | | | |
| PINE | | | | |
| HARDWOOD | | | | |
| PLASTER | | | | |
| UNFINISHED | | | | |
| METAL CLG | | | | |
| RECREAT ROOM | | | | |
| FINISHED ATTIC | | | | |
| FIREPLACE | | | | |
| HEATING | | | | |
| PIPELESS FURNACE | | | | |
| HOT AIR FURNACE | | | | |
| FORCED AIR FURN | | | | |
| STEAM | | | | |
| HOT WAT. OR VAPOR | | | | |
| NO HEATING | | | | |
| PLUMBING | | | | |
| BATHROOM | | | | |
| TOILET ROOM | | | | |
| WATER CLOSET | | | | |
| KITCHEN SINK | | | | |
| STD. WAT. HEAT | | | | |
| AUTO. WAT. HEAT | | | | |
| ELECT. WAT. SYST. | | | | |
| LAUNDRY TUBS | | | | |
| NO PLUMBING | | | | |
| TILING | | | | |
| BATH FL. & WCOT. | | | | |
| TOILET FL. & WCOT. | | | | |
| LIGHTING | | | | |
| ELECTRIC | | | | |
| NO LIGHTING | | | | |
| NO. OF ROOMS | | | | |
| BSMT | | | | |
| 1ST | | | | |
| 2ND | | | | |
| 3RD | | | | |

| UNIT | COMPUTATIONS | |
|------------|--------------|---|
| | 1931 | |
| 1ST | 5 F | @ |
| 2ND | 5 F | @ |
| | 5 F | @ |
| ADDITIONS | | |
| BASEMENT | | |
| WALLS | | |
| ROOF | | |
| FLOORS | | |
| ATTIC | | |
| FINISH | | |
| FIREPLACE | | |
| HEATING | | |
| PLUMBING | | |
| TILING | | |
| TOTAL | | |
| FACTOR | | |
| REPL. VAL. | | |



SUMMARY OF BUILDINGS

| DATE | LISTED | MEAS | AREA | PRICED | AGE | DATE REMOD | COND | REPL. VAL. | PHYS. DEPR. | PHYS. VALUE | FUNCT. DEPR. | SOUND VALUE |
|-----------------------|--------|------|------|--------|-----|-----------------------|------|------------|-------------|-------------|--------------|-------------|
| | | | | | 19 | | | 4000 | 50% | 2000 | 10% | 1800 |
| TOTAL VALUE BUILDINGS | | | | | 19 | TOTAL VALUE BUILDINGS | | | | | | |

PROPERTY OWNER: JAKIMCZYK/HELEN & JOHN F
 PROPERTY LOCATION: 77 PINE ST
 CITY OF PORTSMOUTH N.H.
 JOHN B. PETTY CAE, ASSESSOR
 MA 01905
 RECORD OF TRANSFER
 DATE: 72672
 BOOK: 2157
 PAGE: 32
 CONTROL NO: 1413089004500
 CARD: 1 OF 1
 PLAN LOT: 089 045
 U62 016

REMARKS-1
 RENT \$75 PER MONTH
 NO UTILITIES
 PRAMIT # 746
 SIDING
 COST 2800

| NO | DATE | BOOK | PAGE | AMOUNT | REMARKS |
|----|-------|------|------|--------|-------------------|
| 1 | 72672 | 2157 | 32 | | ZABROCKI/KOSTANTY |
| 2 | | | | | |
| 3 | | | | | |
| 4 | | | | | |
| 5 | | | | | |
| 6 | | | | | |
| 7 | | | | | |

LAND FACTORS
 LAND IMPROVEMENTS
 SUMMARY
 19 LAND BLDGS TOTAL 72 APPRAISED 4900 10045 14945
 19 LAND BLDGS TOTAL ASSESSED 4900 10000 14900

LAND DEPRECIATION CODES
 1-EXCESS FRONTAGE
 LEGAL

| TYPE | ACRES | PRICE | TOTAL | DEPR | VALUE | EQ | ASSESSMENT |
|---------------|-------|-------|-------|-------|-------|------|------------|
| 1 H-LOT | 48 A | 0.230 | 10000 | 4800 | 100 | 4300 | |
| 2 REAR | 2 | 0.290 | 2000 | 580 | 100 | 600 | |
| ACREAGE TOTAL | | | | 0.520 | 4900 | 100 | 4900 |

| FRONT | REAR | FRONTAGE | DEPTH | STREET PRICE | DEPTH % | ADJ FR PR | TOTAL | DEPRECIATION | CORNER | VALUE | EQ | ASSESSMENT |
|-----------------|------|----------|-------|--------------|---------|-----------|-------|--------------|--------|-------|-----|------------|
| 1 | | | | | | | | | | | | |
| 2 | | | | | | | | | | | | |
| 3 | | | | | | | | | | | | |
| 4 | | | | | | | | | | | | |
| LOT COMPUTATION | | | | | | | | | | 4900 | 100 | 4900 |
| LOT TOTAL | | | | | | | | | | 4900 | 100 | 4900 |
| LAND TOTAL | | | | | | | | | | 4900 | 100 | 4900 |

CONTROL NO. 141
 3089004500
 OUT BUILDINGS

STRUCTURE VALUE

PRICE

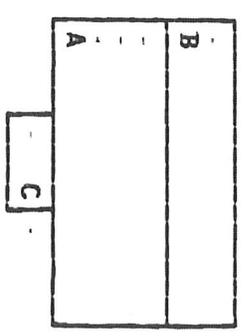
BASE FOUNDATION 1/2 BRICK WALLS 448SF
 EXT WALLS 1/2 STONE WALLS
 INSULATION NONE ASBESTOS
 ROOF GABLE FULL CONCRETE FLOOR
 BASEMENT 1 PINE
 FLOORS 2 PINE
 INT FIN 1 PLASTR
 2 COND F
 LAYOUT 1-4 2-2
 ROOMS NONE
 ATTIC 1 W AIR-CD
 HEAT 1 W AIR-CD
 PLUMBING 1 SINK 1
 TILE NONE
 DORMERS NONE
 CONC BLOCK 256SF
 BRICK U-BSMT, ADD 66SF
 BRICK OPEN-PORCH
 STONE
 FLOOR
 INT FINISH
 PLUMB
 ELEC

| | | | | | | |
|-------------|---|---|---|---|---|---|
| ITEM | 1 | 2 | 3 | 4 | 5 | 6 |
| PIER FOUND | | | | | | |
| WALL FOUND | | | | | | |
| SKIDS | | | | | | |
| SGLE | | | | | | |
| SDG | | | | | | |
| DBL | | | | | | |
| SDG | | | | | | |
| SHING WALLS | | | | | | |
| CONC BLOCK | | | | | | |
| BRICK | | | | | | |
| STONE | | | | | | |
| FLOOR | | | | | | |
| INT FINISH | | | | | | |
| PLUMB | | | | | | |
| ELEC | | | | | | |
| SIZE | | | | | | |

SUB TOTAL FACTOR - 5

17623
 -881

| | | | | | | |
|------------|--------------|-------|-------|-------|------|-------------------|
| OCCUPANCY | CONSTRUCTION | CLASS | AGE | REMOD | COND | REPLACEMENT VALUE |
| DHLG 1 FAM | 1.55 FR B | 3 | 1900+ | ND | F | 16742 |



SCALE = 20 FT./IN.

| | | | | | |
|------|-------------|------|------|-------|------------|
| SECT | TYPE | STOR | CONS | CLASS | DIMENSIONS |
| A | 14-32-14-32 | | | | |
| B | 04 | 1.0 | FRAM | 3 | 8-32-8-32 |
| C | 30 | 1.0 | FRAM | 3 | 6-11-6-11 |

| | | | | | | | |
|----------------|----------------|-----------|--------------|-----|------------|------------|------------|
| PHYS DEPR | PHYSICAL VALUE | FUNC DEPR | ACTUAL VALUE | EQ | ASSESSMENT | SALE PRICE | DATE MO/YR |
| 40 | 10045 | | 10045 | 100 | 10000 | | |
| BUILDING TOTAL | | | | | | 10045 | 1.00 |
| | | | | | | 1.00000 | |
| | | | | | | 12/03/71 | 3416 |
| | | | | | | X SIGNED | 2735 |

UNITED APPRAISAL CO.

08/20/72

LEG 016 LOT 016 CARD 01 OF 01 (OLD M/L# 065 045)
 RECORD OF OWNERSHIP
 MAILING ADDRESS: 83 CAMDEN ST LYNN MA 01905
 BOOK-PAGE: 2157/0032
 DATE: 07/72
 NRHD ID: 101
 PROPERTY USE CODE: 01
 CLASS: R

Philbrick Richard S & Harriet
 Doleac Charles B
 Dufour Karen L
 217 Broad St
 Little Harbor Road
 77 Meredith Way
 MA 01905
 2562/157
 2580/2091
 2916/2173
 9/5/85
 1/3/86
 3-23-92
 61,000
 88,000
 87,500

LAND VALUE COMPUTATIONS AND SUMMARY

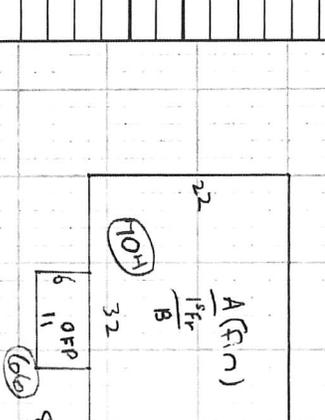
| SQ. FT. DESC. | CODE | SIZE | RATE | INFLUENCE FACTOR | LAND VALUE |
|---------------------|------|-----------------|------|------------------|------------|
| 1 PRIMARY SITE | 1 | 7500 | 1.30 | | 9000 |
| 2 SECONDARY SITE | 2 | 15287 | .10 | | 1530 |
| 3 UNDEVELOPED | | | | | |
| 4 RESIDUAL | | | | | |
| 5 WATERFRONT | 7 | 22787 | | | 10500 |
| CATEGORY CODES | | NUMBER OF ACRES | RATE | | |
| 1 PRIMARY SITE | | | | | |
| 2 SECONDARY SITE | | | | | |
| 3 UNDEVELOPED | | | | | |
| 4 TILLABLE | | | | | |
| 5 PASTURE | | | | | |
| 6 WOODLAND | | | | | |
| 7 WASTELAND | | | | | |
| 8 HOMESITE | | | | | |
| 9 FRONTAGE - ROAD | | | | | |
| 10 FRONTAGE - WATER | | | | | |
| 11 REAR | | | | | |
| 12 ACREAGE - DEPR. | | | | | |
| TOTAL ACREAGE | | | | | |

City water + sewer MEMORANDA
 E & I vinyl siding
 loose floorboards, etc;
 poor construction
 and/a
 1st / 3
 8/10
 \$13225 - Sep 10, 1985 - Replacement of existing bath
 & kitchen. sell \$10,000

SALES DATA

| DATE | TYPE | SALE PRICE | SOURCE | VALIDITY |
|---------|-------------------|------------|---|---------------|
| MO. YR. | 1 LAND 2 L & B | | 1 BUYER 2 SELLER 3 FEE 4 AGENT | 1 YES 2 NO |
| 1 2 | 1 2 | | 1 2 3 4 | 1 2 |
| 1 2 | 1 2 | | 1 2 3 4 | 1 2 |
| 1 2 | 1 2 | | 1 2 3 4 | 1 2 |
| TOTAL | | | | |

| OCCUPANCY | | | INTERIOR FINISH | | | COMMERCIAL COMPUTATIONS | | | OCCUPANCY | | |
|---------------------------------|----------------------|------------------|---------------------------|---------------|-----------------|-------------------------|--------------|--------------|-------------------------|--------------|--|
| 1 | 2 | 3 | B | 1 | 2 | 3 | 1 | 2 | 3 | 4 | 5 |
| VAC. LOT DWELLING | OTHER | OTHER | DRYWALL/PLASTER | WOOD PANELING | FIBERBOARD | UNFINISHED | NO. OF UNITS | TOTAL ROOMS | BED ROOMS | FAMILY ROOMS | EXTERIOR WALL CODES |
| 1.0 | 1.5 | 2.0 | 2.5 | 3.0 | 1 | 2 | 01 | 05 | 03 | 02 | 1 BRICK 3 GLASS 5 STUCCO 7 STONE 9 CONCRETE 2 FRAME 4 BLOCK 6 TILE 8 METAL 0 EXAM. STL. |
| BASEMENT | BASEMENT | BASEMENT | LIVING ACCOMMODATIONS | | | NO. OF UNITS | | | AVG. UNIT SIZE | | |
| 1 | 2 | 3 | PART MASONRY WALLS | | | BASEMENT | | | SCHEDULE | | |
| NONE | BASE | AIR CON | FIREPLACE | | | HT. | | | BASEMENT | | |
| WARM AIR-F OR G | HOT WATER/STEAM | ELECTRIC | BASEMENT REC. ROOM | | | FIRST | | | SECOND | | |
| FLOOR/WALL FURNACE | UNIT HEATERS | PLUMBING | FIN. BASEMENT LIVING AREA | | | BASE PRICE | | | B. P. A. | | |
| PLUMBING | PLUMBING | PLUMBING | MODERNIZED KITCHEN | | | SUBTOTAL | | | LIGHTING | | |
| POINTS | POINTS | POINTS | REMODELING DATA | | | SUBTOTAL | | | HTG./AIR CON. | | |
| STANDARD | BATHROOM | HALF BATH | YEAR | HEATING | GENERAL | SPRINKLER | | | PARTITIONS | | |
| 0/5 | ERECTED | 1430 | AGE | ER/AV | INTERIOR FINISH | | | SF./CF PRICE | | | |
| SINK/LAVATORY | WATER CLOSET/URINAL | NO PLUMBING | DWELLING COMPUTATIONS | | | AREA CUBE | | | SUBTOTAL | | |
| ATTIC | ATTIC | ATTIC | 1.0 STORY | | | SPECIAL FEATURES* | | | ADDITIONS | | |
| 1 NONE | 2 UNFIN | 3 PT. FIN | 0704 S.F. | | | TOTAL BASE | | | GRADE FACTOR | | |
| FULL FIN | 5 FULL FIN/WH | 5 FULL FIN/WH | 32,346 | | | REPLACEMENT COST | | | SURPLUS CAP | | |
| ROOF | SHINGLE-ASP/ASB/WOOD | SLATE/TILE/METAL | HEATING | | | BLIGHTED AREA | | | COMM. LOCATION | | |
| COMP. ON WOOD FRAME | COMP. ON STEEL FRAME | WALLS | ATTIC | | | COMM. ECONOMIC | | | ECONOMIC | | |
| ADDNS. & POHS. | TOTAL | 38,650 | 800 | | | TOTAL SPECIAL FEATURES* | | | TOTAL SPECIAL FEATURES* | | |
| FRAME-SIDING/ALUM./VINYL/STUCCO | SHINGLE-ASP/ASB/WOOD | CONCRETE BLOCK | O.F. POINTS | | | TYPE | | | NO. | | |
| BRICK VENEER/STONE | PLATE GLASS FRONT | FLOORS | TOTAL | | | CONSTRUCTION | | | SIZE | | |
| CONCRETE | WOOD | CARPET | 38,650 | | | DATE | | | RATE | | |
| WD./STL. FRAME | REFINE CONC. | TRUE VALUE | 38,650 | | | DATE | | | GRADE | | |
| | | | 38,650 | | | DATE | | | ERECTED | | |
| | | | 38,650 | | | DATE | | | CDU | | |
| | | | 38,650 | | | DATE | | | REPLACEMENT COST | | |
| | | | 38,650 | | | DATE | | | DEPR. | | |
| | | | 38,650 | | | DATE | | | TRUE VALUE | | |



| CONTEMPORARY | SPLIT LEVEL | RANCH | COLONIAL | CAPE |
|--------------|-------------|-------|----------|------|
| 0 | W T E | 5 | | |

| QTY. | ITEM DESCRIPTION | A | B |
|------|-------------------|---|---|
| | PLUMBING FIXTURES | | |
| | STORE FRONT | | |

| TYPE | NO. | CONSTRUCTION | SIZE | RATE | GRADE | ERECTED | CDU | REPLACEMENT COST | DEPR. | TRUE VALUE |
|------------|-----|--------------|------|------|-------|---------|-----|------------------|-------|------------|
| GARAGE | | | | | | | | | | |
| BARN | | | | | | | | | | |
| SHED | | | | | | | | | | |
| POOL | | | | | | | | | | |
| COMM BLDG. | | | | | | | | | | |

| LISTED | DATE | DATE | TOTAL OF CARDS | THRU | TOTAL VALUE ALL BUILDINGS |
|--------|----------|------|----------------|------|---------------------------|
| 2. F. | 12-25-61 | | | | 29,000 |

TLA 1056

GRADE DENOTES QUALITY OF CONSTRUCTION: A-EXCELLENT, B-GOOD, C-AVERAGE, D-CHEAP, E-VERY CHEAP
 CDU FACTOR REFERS TO THE CONDITION, DESIRABILITY, AND USEFULNESS OF THE BUILDING

PRC-07-59

ASSESSMENT SUMMARY

| Assessment Year | Building Value | Yard Items | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|-----------------|----------------|------------|----------------|------------------|----------------|
| 101 | 57,100 | 0 | 0.52 | 36,900 | 94,000 |

OWNERSHIP AND MAILING INFORMATION
 Owner 1 DUFOR KAREN L
 Owner 2

PREVIOUS ASSESSMENTS
 FY % Building Value Yard Items Land Area (Ac) Asses'd Land Val Total Assessed
 93 1 29,000 0 0.52 36,900 94,000
 From Total Assmt Per S.F. Finished Area/Card 101.29/ Parcel 101.29

PRIOR (OTHER) IDENTIFICATION

| Code | Descr | Amount | Com. Int |
|-------|-------------------|--------|----------|
| 59180 | OTHER ASSESSMENTS | | |

SALES INFORMATION

Grantor Legal Reference No./Dt./Yr. Sale Price V Adj Sale / Desc'd
 2916-2173 03/23/92 F 87,500 N CONVIENC

BUILDING PERMITS

| Mo | Yr | Number | Description | Amount |
|----|----|--------|-------------|--------|
| | | | | |

| Item | Code | Description |
|------|------|-------------|
| 15 | 15 | OLD STYLE |
| 1H | 1H | 1-HALF STR |
| 3 | 3 | BRICKSTONE |
| 4 | 4 | WOOD |
| 4 | 4 | VINYL |
| 1 | 1 | GABLE |
| 1 | 1 | ASPHALT |
| 2 | 2 | STANDARD |
| 2 | 2 | PLASTER |
| 1 | 1 | TYPICAL |
| 4 | 4 | CARPET |
| 2 | 2 | GOOD |
| 2 | 2 | TYPICAL |
| 1 | 1 | OIL |
| 1 | 1 | FORCED H/A |
| 5 | 5 | Bath Rang A |
| 5 | 5 | Grade C |
| 1870 | 1870 | E/Y/B |
| | | % All Class |

| Condition | Depreciation | % |
|--------------------|--------------|---|
| A | 31.0% | |
| Func OBS | | |
| Estr OBS | | |
| Special | | |
| Total Depreciation | 31.0% | |

| Item | # | % | # |
|-----------|-----|---|---|
| Baths | 1 | | |
| 1/2 Baths | 0 | | |
| On-Fit | 0 | | |
| Kitchens | 1 | | |
| Employees | 0 | | |
| W/S Plugs | 0 | | |
| Bath Gar | 0 | | |
| Head Sys | 1 | | |
| Solar HW | N | | |
| Cent Vac | N | | |
| % Heated | 100 | | |
| % AC | 0 | | |
| % Co Wall | 0 | | |

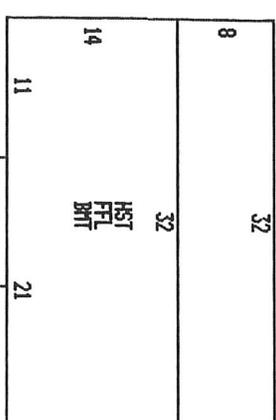
| Reported Income | Assessed Value |
|-----------------|----------------|
| 36,900 | 36,900 |

| Overall Rate | Income Value | Expense | Reserve |
|--------------|--------------|---------|---------|
| | | | |

BUILDING DESCRIPTION

| Item | Code | Description |
|------|------|-------------|
| 15 | 15 | OLD STYLE |
| 1H | 1H | 1-HALF STR |
| 3 | 3 | BRICKSTONE |
| 4 | 4 | WOOD |
| 4 | 4 | VINYL |
| 1 | 1 | GABLE |
| 1 | 1 | ASPHALT |
| 2 | 2 | STANDARD |
| 2 | 2 | PLASTER |
| 1 | 1 | TYPICAL |
| 4 | 4 | CARPET |
| 2 | 2 | GOOD |
| 2 | 2 | TYPICAL |
| 1 | 1 | OIL |
| 1 | 1 | FORCED H/A |
| 5 | 5 | Bath Rang A |
| 5 | 5 | Grade C |
| 1870 | 1870 | E/Y/B |
| | | % All Class |

SKETCH



SKETCH INSTRUCTIONS

(FFL, BMT, L32, D8, R32, (HST, FFL, BMT, L32, D14, R11, (DFP, D6XR10), R21, J14), J8).

SUB AREA SUMMARY

| Code | Area (S.F.) | Area (Sq Ft) | Under | Value |
|------|-------------|--------------|-------|--------|
| BMT | 704.0 | 16.72 | | 11,771 |
| FFL | 704.0 | 66.87 | | 47,076 |
| HST | 224.0 | 66.87 | | 14,979 |
| DFP | 60.0 | 24.00 | | 1,440 |

| RES BREAKDOWN | LAST REVISION |
|-----------------|---------------|
| 05/12/94 | 6:48P |
| SUB AREA DETAIL | T6A |
| 1.916 | |

| CONDO DATA | View |
|------------|------|
| 1 | 2 H |

| CALCULATIONS | Value |
|--------------|-------|
| 75,266 | |
| 928 | |
| 1,692 Total | |
| 75,266 | |
| 928 | |

| COMPARABLE SALES | Map | Block | Lot | Typ | Mo | Yr | Sale Price |
|------------------|-----|-------|-----|-----|----|----|------------|
| | | | | | | | |

| INSPECTION INFO | Date | Code | Result | By |
|-----------------|------|-----------|--------|----|
| 03/08/94 | 2 | MEASURED | 210 | |
| 04/18/94 | 14 | INSPECTED | 209 | |

| ALT. APPROACH | Multiple Regression (M) |
|----------------------|-------------------------|
| Comparable Sales (C) | |
| Income Approach (I) | |
| Market Adj. Cost | |

| Use Code | Descr | No. Of Units | Unit Price | Market Value |
|----------|--------------------------|--------------|------------|--------------------|
| 101 | ONE FAM 22, 787 S P SITE | 1 | 1.80 | EA 100 A-10 ACCESS |

| Special Features and Yard Items | Total Acres | Total Square Feet |
|---------------------------------|-------------|-------------------|
| | 0.523 | 22,787 |

| INCOME APPROACH | Total |
|-----------------|--------|
| | 36,900 |

| Overall Rate | Income Value | Expense | Reserve |
|--------------|--------------|---------|---------|
| | | | |

| Reported Income | Assessed Value |
|-----------------|----------------|
| 36,900 | 36,900 |

| Overall Rate | Income Value | Expense | Reserve |
|--------------|--------------|---------|---------|
| | | | |

| Reported Income | Assessed Value |
|-----------------|----------------|
| 36,900 | 36,900 |

| Overall Rate | Income Value | Expense | Reserve |
|--------------|--------------|---------|---------|
| | | | |

PROPERTY LOCATION
 No. 77 MEREDITH
 Name MEREDITH
 Way H/W

OWNERSHIP AND MAILING INFORMATION
 Owner 1 LORRINE KAREN L
 Owner 2
 Street 77 MEREDITH WAY
 City PORTSMOUTH
 State NH Zip 03801

NARRATIVE DESCRIPTION
 THIS LAND HAS 0.52 ACRES OF LAND
 MAINLY CLASSIFIED AS RESIDENTIAL
 WITH A(AN) OLD STYLE BUILDING
 BUILT ABOUT 1870, HAVING PRIMARILY
 VINYL EXTERIOR, AND ASPHALT
 ROOF COVER, WITH 1 BATHS, 2 BEDRM
 BATHS, 1 UNITS, 5 ROOMS, 2 BEDRM

PROPERTY FACTORS
 Item Code % Item %
 5th 100
 Zoning
 Districts
 Traffic

ASSESSMENT SUMMARY

| Assess | Building Value | Yard Items | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|---|----------------|------------|----------------|------------------|----------------|
| 101 | 51,400 | 0 | 0.52 | 36,900 | 88,300 |
| Total Asses'd Per S.F. Finished Area/Card | | | | | 35.13 |

PREVIOUS ASSESSMENTS

| FY | Building Value | Yard Items | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|----|----------------|------------|----------------|------------------|----------------|
| 93 | 29,000 | 0 | 0.00 | 10,500 | 39,500 |
| 94 | 57,100 | 0 | 0.52 | 36,900 | 94,000 |
| 94 | 57,100 | 0 | 0.52 | 36,900 | 94,000 |

BUILDING PERMITS

| No | Yr | Number | Description | Amount |
|-------|----|--------|-------------|--------|
| 99180 | | | | |

SALES INFORMATION
 Grantor Legal Reference No/Dy/Yr
 2316-2173 03/23/92 F
 Sale Price 87,500
 V Adj Sale / Desc 100% N CONVIEN

DEPRECIATION

| Condition | Depreciation |
|--------------------|--------------|
| A | 31% |
| L | 10% |
| E | 10% |
| O | 0% |
| S | 0% |
| Special | 0% |
| Total Depreciation | 37.9% |

BUILDING DESCRIPTION

| Item | Code | Description |
|------------|------|--------------|
| Type | 15 | OLD STYLE |
| Story Ht | 1H | 1+HALF STR |
| Lot/Unit | 1 | BRICKSTONE |
| Foundn | 3 | WOOD |
| Frame | 4 | VINYL |
| Sec | 1 | GABLE |
| Struct | 1 | ASPHALT |
| Cover | 1 | STANDARD |
| Av Ht/Ft | 5TD | PLASTER |
| Sec | 2 | PLASTER |
| Sec | 1 | TYPICAL |
| Prime | 4 | CARPET |
| Sec | 4 | GOOD |
| Electric | 2 | TYPICAL |
| Insulation | 2 | FORCED H/A |
| Fuel | 1 | Bath Range A |
| Type | 1 | Grade C |
| Kil Rating | 4 | EVCB |
| Int vs Ext | 5 | |
| Yr Built | 1870 | |
| All Class | | % All Class |

OTHER ASSESSMENTS

| Code | Description / No | Amount | Com. Int |
|------|------------------|--------|----------|
| | | | |

OTHER FEAT

| Item | # | % |
|------------|-----|------|
| Baths | 1 | 100% |
| 1/2 Baths | 0 | 0% |
| On-Fit | 0 | 0% |
| Kitchens | 1 | 100% |
| Fireplaces | 0 | 0% |
| W/S Plugs | 0 | 0% |
| Burnt Gar | 0 | 0% |
| Star HW | 1 | 100% |
| Cent Vac | 1 | 100% |
| % Heated | 100 | 100% |
| % AC | 0 | 0% |
| % Spr | 0 | 0% |
| % Co Wall | 0 | 0% |

CONDO DATA

| Loc | Floor | View |
|-----|-------|------|
| | | |

RES BREAKDOWN

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 79,266 |

SUB AREA SUMMARY

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 79,266 |

SKETCH INSTRUCTIONS
 (FFL, BMT, L32, D14, R11, (DPP, D6XR10)
 R21, J14, J8).

SCALE = 20 FT/IN

CONDO DATA

| No | Units | Sub | Area | View |
|----|-------|-----|------|------|
| 1 | 5 | 2 | | |

RES BREAKDOWN

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
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| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
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| Total | 1,692 | Total | 79,266 |

SKETCH INSTRUCTIONS
 (FFL, BMT, L32, D14, R11, (DPP, D6XR10)
 R21, J14, J8).

DEPRECIATION

| Condition | Depreciation |
|--------------------|--------------|
| A | 31% |
| L | 10% |
| E | 10% |
| O | 0% |
| S | 0% |
| Special | 0% |
| Total Depreciation | 37.9% |

OTHER FEAT

| Item | # | % |
|------------|-----|------|
| Baths | 1 | 100% |
| 1/2 Baths | 0 | 0% |
| On-Fit | 0 | 0% |
| Kitchens | 1 | 100% |
| Fireplaces | 0 | 0% |
| W/S Plugs | 0 | 0% |
| Burnt Gar | 0 | 0% |
| Star HW | 1 | 100% |
| Cent Vac | 1 | 100% |
| % Heated | 100 | 100% |
| % AC | 0 | 0% |
| % Spr | 0 | 0% |
| % Co Wall | 0 | 0% |

CONDO DATA

| Loc | Floor | View |
|-----|-------|------|
| | | |

RES BREAKDOWN

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 79,266 |

SUB AREA SUMMARY

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 79,266 |

SKETCH INSTRUCTIONS
 (FFL, BMT, L32, D14, R11, (DPP, D6XR10)
 R21, J14, J8).

SCALE = 20 FT/IN

CONDO DATA

| No | Units | Sub | Area | View |
|----|-------|-----|------|------|
| 1 | 5 | 2 | | |

RES BREAKDOWN

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 79,266 |

SUB AREA SUMMARY

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 79,266 |

SKETCH INSTRUCTIONS
 (FFL, BMT, L32, D14, R11, (DPP, D6XR10)
 R21, J14, J8).

DEPRECIATION

| Condition | Depreciation |
|--------------------|--------------|
| A | 31% |
| L | 10% |
| E | 10% |
| O | 0% |
| S | 0% |
| Special | 0% |
| Total Depreciation | 37.9% |

OTHER FEAT

| Item | # | % |
|------------|-----|------|
| Baths | 1 | 100% |
| 1/2 Baths | 0 | 0% |
| On-Fit | 0 | 0% |
| Kitchens | 1 | 100% |
| Fireplaces | 0 | 0% |
| W/S Plugs | 0 | 0% |
| Burnt Gar | 0 | 0% |
| Star HW | 1 | 100% |
| Cent Vac | 1 | 100% |
| % Heated | 100 | 100% |
| % AC | 0 | 0% |
| % Spr | 0 | 0% |
| % Co Wall | 0 | 0% |

CONDO DATA

| Loc | Floor | View |
|-----|-------|------|
| | | |

RES BREAKDOWN

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
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SUB AREA SUMMARY

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 79,266 |

PROPERTY LOCATION
 No. 77 MEREDITH
 Name MEREDITH
 Way H/W

OWNERSHIP AND MAILING INFORMATION
 Owner 1 LORRINE KAREN L
 Owner 2
 Street 77 MEREDITH WAY
 City PORTSMOUTH
 State NH Zip 03801

NARRATIVE DESCRIPTION
 THIS LAND HAS 0.52 ACRES OF LAND
 MAINLY CLASSIFIED AS RESIDENTIAL
 WITH A(AN) OLD STYLE BUILDING
 BUILT ABOUT 1870, HAVING PRIMARILY
 VINYL EXTERIOR, AND ASPHALT
 ROOF COVER, WITH 1 BATHS, 2 BEDRM
 BATHS, 1 UNITS, 5 ROOMS, 2 BEDRM

PROPERTY FACTORS
 Item Code % Item %
 5th 100
 Zoning
 Districts
 Traffic

ASSESSMENT SUMMARY

| Assess | Building Value | Yard Items | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|---|----------------|------------|----------------|------------------|----------------|
| 101 | 51,400 | 0 | 0.52 | 36,900 | 88,300 |
| Total Asses'd Per S.F. Finished Area/Card | | | | | 35.13 |

PREVIOUS ASSESSMENTS

| FY | Building Value | Yard Items | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|----|----------------|------------|----------------|------------------|----------------|
| 93 | 29,000 | 0 | 0.00 | 10,500 | 39,500 |
| 94 | 57,100 | 0 | 0.52 | 36,900 | 94,000 |
| 94 | 57,100 | 0 | 0.52 | 36,900 | 94,000 |

BUILDING PERMITS

| No | Yr | Number | Description | Amount |
|-------|----|--------|-------------|--------|
| 99180 | | | | |

SALES INFORMATION
 Grantor Legal Reference No/Dy/Yr
 2316-2173 03/23/92 F
 Sale Price 87,500
 V Adj Sale / Desc 100% N CONVIEN

DEPRECIATION

| Condition | Depreciation |
|--------------------|--------------|
| A | 31% |
| L | 10% |
| E | 10% |
| O | 0% |
| S | 0% |
| Special | 0% |
| Total Depreciation | 37.9% |

OTHER FEAT

| Item | # | % |
|------------|-----|------|
| Baths | 1 | 100% |
| 1/2 Baths | 0 | 0% |
| On-Fit | 0 | 0% |
| Kitchens | 1 | 100% |
| Fireplaces | 0 | 0% |
| W/S Plugs | 0 | 0% |
| Burnt Gar | 0 | 0% |
| Star HW | 1 | 100% |
| Cent Vac | 1 | 100% |
| % Heated | 100 | 100% |
| % AC | 0 | 0% |
| % Spr | 0 | 0% |
| % Co Wall | 0 | 0% |

CONDO DATA

| No | Units | Sub | Area | View |
|----|-------|-----|------|------|
| 1 | 5 | 2 | | |

RES BREAKDOWN

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 79,266 |

SUB AREA SUMMARY

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 79,266 |

SKETCH INSTRUCTIONS
 (FFL, BMT, L32, D14, R11, (DPP, D6XR10)
 R21, J14, J8).

DEPRECIATION

| Condition | Depreciation |
|--------------------|--------------|
| A | 31% |
| L | 10% |
| E | 10% |
| O | 0% |
| S | 0% |
| Special | 0% |
| Total Depreciation | 37.9% |

OTHER FEAT

| Item | # | % |
|-----------|---|------|
| Baths | 1 | 100% |
| 1/2 Baths | 0 | 0% |
| On-Fit | 0 | 0% |
| | | |

PROPERTY LOCATION: 77 MEREDITH WAY
 ASSESSMENT SUMMARY: LOT 0
 BUILDING DESCRIPTION: PORTSMOUTH, NH

OWNERSHIP AND MAILING INFORMATION

| No. | All No. | Name | Way |
|-------------------------------|---------|----------|-----|
| 77 | | MEREDITH | WAY |
| Owner 1 DUFORD KAREN L | | | |
| Owner 2 | | | |
| Street 77 MEREDITH WAY | | | |
| City PORTSMOUTH | | | |
| State NH | | | |
| Zip 03801 | | | |
| Parcels Y | | | |

NARRATIVE DESCRIPTION
 THIS CARL HAS 0.52 ACRES OF LAND MAINLY CLASSIFIED AS RESIDENTIAL WITH A(N) OLD STYLE BUILDING BUILT ABOUT 1870 HAVING PRIMARILY VINYL EXTERIOR, AND ASPHALT ROOF COVER, WITH 1 BATHS, 0 HALF BATHS, 1 UNITS, 5 ROOMS, 2 BEDRM

PROPERTY FACTORS

| Item Code | % | Item # | Descrip |
|------------------|-----|--------|---------|
| GR | 100 | | |
| Zoning | | | |
| Utilities | | | |
| Districts | | | |
| Topo | | | |
| Steel | | | |
| Traffic | | | |

SALES INFORMATION

| Grantee | Legal Reference | Mo/Dy/Yr | Sale Price | V Adj Sale / Desc Code |
|---------|-----------------|----------|------------|------------------------|
| | E916-2173 | 03/23/92 | 87,500 | N CONVICENC |

OTHER ASSESSMENTS

| Code | Descr | Mo | Amnt | Com | Int |
|------|-------|----|------|-----|-----|
| | | | | | |

PREVIOUS ASSESSMENTS

| Year | Building Value | Yard Items | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|------|----------------|------------|----------------|------------------|----------------|
| 93 | 29,000 | 0 | 0.00 | 10,500 | 39,500 |
| 92 | 29,000 | 0 | 0.52 | 36,900 | 65,900 |
| 91 | 29,000 | 0 | 0.52 | 36,900 | 65,900 |
| 90 | 29,000 | 0 | 0.52 | 36,900 | 65,900 |

BUILDING PERMITS

| Mo/Yr | Number | Description | Amount |
|-------|--------|-------------|--------|
| | | | |

DEPRECIATION

| Item | Code | Description | Condition | Depreciation % |
|------|------|-------------|-----------|----------------|
| 1 | 15 | OLD STYLE | A | 31% |
| 2 | 1H | 1-HALF STR | L | 10% |
| 3 | 3 | BLOCKSTONE | L | 10% |
| 4 | 4 | WOOD | L | 10% |
| 5 | 4 | VINYL | L | 10% |
| 6 | 1 | GABLE | L | 10% |
| 7 | 1 | ASPHALI | L | 10% |
| 8 | 1 | STANDARD | L | 10% |
| 9 | 2 | PLASTER | L | 10% |
| 10 | 1 | TYPICAL | L | 10% |
| 11 | 4 | CHARPET | L | 10% |
| 12 | 2 | GOOD | L | 10% |
| 13 | 2 | TYPICAL | L | 10% |
| 14 | 1 | DTL | L | 10% |
| 15 | 1 | FORCED H/A | L | 10% |
| 16 | 4 | Bath Rng | L | 10% |
| 17 | 5 | Grade | L | 10% |
| 18 | 7 | E.V.B.I | L | 10% |

LAND SECTION

| Use Code | Descr | No. of Units | Descr | Unit Price | Int'l 1 | Int'l 2 | Int'l 3 | Market Value | Alt Class | % | Special Land or Shd | Assessed Value |
|----------|---------|--------------|----------|------------|---------|---------|---------|--------------|-----------|---|---------------------|----------------|
| 101 | ONE FAM | 22,787 | S F SITE | 1.80 | EA 100 | A-10 | ACCESS | 36,900 | | | | 36,900 |

OTHER FEAT

| Item # | % | # | % |
|---------------|---|---|---|
| Baths | | 1 | |
| 1/2 Baths | | 0 | |
| On Frnt | | 1 | |
| Kitchens | | 1 | |
| Fireplaces | | 0 | |
| W.S. Pipes | | 0 | |
| Bent Gar | | 0 | |
| Heat Sys | | 1 | |
| Star HW | | N | |
| Cent Vac | | N | |
| % Heated 100% | | | |
| % AC | | 0 | |
| % Sp | | 0 | |
| % CO. WALL | | 0 | |

SPECIAL FEATURES AND YARD ITEMS

| Code | Description | Size or Units | Price | Unit Price | TMB | % Dep | Sound Value | Class |
|------|-------------|---------------|-------|------------|-----|-------|-------------|-------|
| | | | | | | | | |

CONDO DATA

| Sub Area | Sub Area Detail | Sub Area | Sub Area |
|----------|-----------------|----------|----------|
| | | | |

| CURRENT OWNER | | TOPO | UTILITIES | STRT / ROAD | LOCATION | CURRENT ASSESSMENT | | | |
|---|---------|--------------|-----------|------------------|----------|-----------------------|--------------|--------------------|------------------------|
| DUFOUR KAREN L | 1 Level | 0 All Public | 1 Paved | 8 2+ Off-St. PKG | | Description | Code | Assessed | Assessed |
| 77 MEREDITH WAY | | | | | | RESIDENTL RES LAND | 1010 1010 | 138,900 290,600 | 138,900 290,600 |
| PORTSMOUTH NH 03801 | | | | | | | | | 2229 PORTSMOUTH, NH |
| SUPPLEMENTAL DATA Alt Prcl ID 0162-0016-0000-0000 CONDO C OLDACGN 59180 INLAW Y/ PHOTO LOT SPLIT WARD 2015 Reva JM PREC. Ex/ Cr Appl 1/2 HSE GIS ID 35046 Assoc Pld# | | | | | | VISION | | | |

| RECORD OF OWNERSHIP | | BK-VOL/PAGE | SALE DATE | QU | VI | SALE PRICE | VC | PREVIOUS ASSESSMENTS (HISTORY) | | | | | |
|---------------------|------|-------------|------------|----|----|------------|----|--------------------------------|------|----------|------|------|----------|
| DUFOUR KAREN L | 2916 | 2173 | 03-23-1992 | 1 | | 0 | | Year | Code | Assessed | Year | Code | Assessed |
| | | | | | | | | 2020 | 1010 | 138,900 | 2019 | 1010 | 138,900 |
| | | | | | | | | | 1010 | 290,600 | | 1010 | 290,600 |
| Total | | | | | | | | | | 429,500 | | | 429,500 |

| EXEMPTIONS | | Amount | Code | Description | Number | Amount | Comm Int |
|-------------------------------|-----------|--------|------|-------------|--------|--------|----------|
| Nbhd | Nbhd Name | | | | | | |
| 131 | B | 0.00 | | Tracing | | | Batch |
| ASSESSING NEIGHBORHOOD | | | | | | | |
| Total | | | | | | | |

| OTHER ASSESSMENTS | | Amount | Code | Description | Number | Amount | Comm Int |
|---|--|--------|------|-------------|--------|---------|----------|
| APPRAISED BLDG. VALUE (CARD) APPRAISED Xf (B) VALUE (BLDG) APPRAISED Ob (B) VALUE (BLDG) APPRAISED Land Value (BLDG) SPECIAL Land Value Total Appraised Parcel Value Valuation Method | | | | | | | |
| | | | | | | 138,900 | 0 |
| | | | | | | 0 | 0 |
| | | | | | | 290,600 | 0 |
| | | | | | | 429,500 | C |

| BUILDING PERMIT RECORD | | Amount | Insp Date | % Comp | Date Comp | Comments |
|--|------------|--------|-------------|--------|-----------|----------|
| Permit Id | Issue Date | Type | Description | | | |
| Total Appraised Parcel Value VISIT / CHANGE HISTORY | | | | | | |

| LAND LINE VALUATION SECTION | | Date | Id | Type | Is | Cd | Purpose/Result |
|-----------------------------|--|------------|----|------|----|----|--------------------------|
| | | 07-13-2017 | PM | | | FR | Field Review Stat Update |
| | | 03-06-2015 | DG | | | FR | Field Review Stat Update |
| | | 01-17-2013 | JM | | | 10 | Meas/Ltr Snt Letter Sent |
| | | 10-07-2000 | ET | | 1 | | Entry + Sign |
| | | 09-13-2000 | ET | | 0 | | No one home |
| | | 09-06-2000 | ET | | 0 | | No one home |

| Use Code | Description | Zone | Frontage | Depth | Land Units | Unit Price | Size Adj | Site | Cond. | ST Idx | S.I. Adj. | Notes- Adj | Special Pricing | Adj Unit P | Land Value |
|---|-------------------|------|----------|-------|------------|------------|----------|------|-------|--------|-----------|------------|-----------------|------------|------------|
| 1 | 1010 SINGLE FAM M | GRA | | | 22,787 SF | 7.5 | 1,0000 | 1 | 1.00 | 131 | 1,700 | 0 | 1,0000 | 12.75 | 290,600 |
| Total Card Land Units 0.523 AC Parcel Total Land Area 0.5231 Total Land Value 290,600 | | | | | | | | | | | | | | | |

EXHIBIT E

CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

| Element | Cd | Description | Element | Cd | Description |
|---------------------|------|--------------------------|---------|----|-------------|
| Style: 06 | 01 | Conventional Residential | | | |
| Model: 01 | C+ | C+ | | | |
| Grade: C+ | 1.75 | | | | |
| Stories: 1 | | | | | |
| Occupancy: 1 | | | | | |
| Exterior Wall 1: 25 | | Vinyl Siding | | | |
| Exterior Wall 2: 03 | | Gable/Hip | | | |
| Roof Structure: 03 | | Asph/F Gls/Cmp | | | |
| Roof Cover: 03 | | Plastered | | | |
| Interior Wall 1: 12 | | Hardwood | | | |
| Interior Wall 2: 12 | | Hardwood | | | |
| Interior Flr 1: 02 | | Oil | | | |
| Interior Flr 2: 02 | | Warm Air | | | |
| Heat Fuel: 01 | | None | | | |
| Heat Type: 02 | | 2 Bedrooms | | | |
| AC Type: 02 | | | | | |
| Total Bedrooms: 1 | | | | | |
| Total Bathrms: 0 | | | | | |
| Total Half Baths: 0 | | | | | |
| Total Xtra Fixts: 6 | | | | | |
| Total Rooms: 1 | | | | | |
| Bath Style: 1 | | Avg Quality | | | |
| Kitchen Style: 1 | | Avg Quality | | | |
| Kitchen Gr: 0 | | | | | |
| WB Fireplaces: 0 | | | | | |
| Extra Openings: 0 | | | | | |
| Metal Fireplace: 0 | | | | | |
| Extra Openings: 0 | | | | | |
| Brnt Garage: 0 | | | | | |

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

| Code | Description | LB | Units | Unit Price | Yr Bilt | Cond. Cd | % Gd | Grade | Grade Adj. | Appr. Value |
|------|-------------|----|-------|------------|---------|----------|------|-------|------------|-------------|
| | | | | | | | | | | |

BUILDING SUB-AREA SUMMARY SECTION

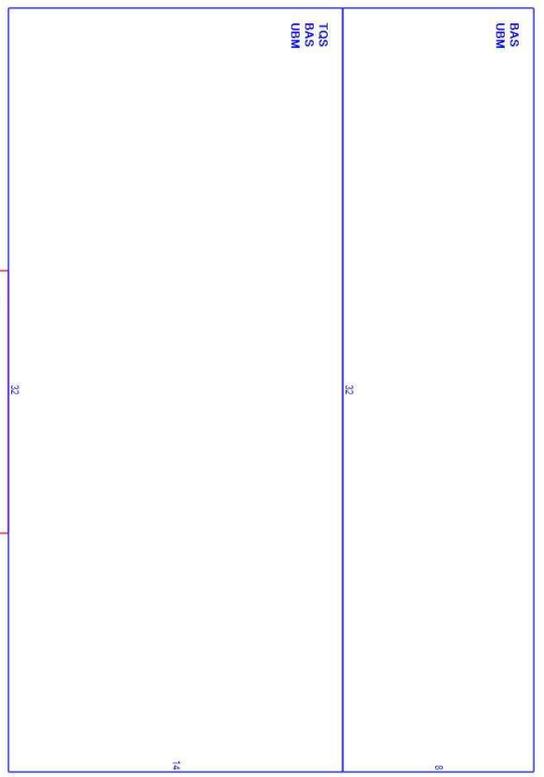
| Code | Description | Living Area | Floor Area | Eff Area | Unit Cost | Undeprec Value |
|----------------------------|----------------------|-------------|------------|----------|-----------|----------------|
| BAS | First Floor | 704 | 704 | 704 | 178,999 | 126,007 |
| FOP | Porch, Open | 0 | 66 | 13 | 35,25 | 2,327 |
| TQS | Three Quarter Story | 0 | 448 | 336 | 134,24 | 60,139 |
| UBM | Basement, Unfinished | 0 | 704 | 141 | 35,85 | 25,237 |
| Ttl Gross Liv / Lease Area | | 1,040 | 1,922 | 1,194 | | 213,710 |

MIXED USE

| Code | Description | Percentage |
|------|-------------------|------------|
| 1010 | SINGLE FAM MDL-01 | 100 |
| | | 0 |
| | | 0 |

COST / MARKET VALUATION

| | |
|--------------------------|---------|
| Adj. Base Rate | 178,999 |
| Building Value New | 213,710 |
| Year Built | 1870 |
| Effective Year Built | 1984 |
| Depreciation Code | AV |
| Remodel Rating | |
| Year Remodeled | |
| Depreciation % | 35 |
| Functional Obsol | |
| External Obsol | |
| Trend Factor | 1 |
| Condition | |
| Condition % | |
| Percent Good | 65 |
| RCNLD | 138,900 |
| Dep % Ovr | |
| Dep Ovr Comment | |
| Misc Imp Ovr | |
| Misc Imp Ovr Comment | |
| Cost to Cure Ovr | |
| Cost to Cure Ovr Comment | |



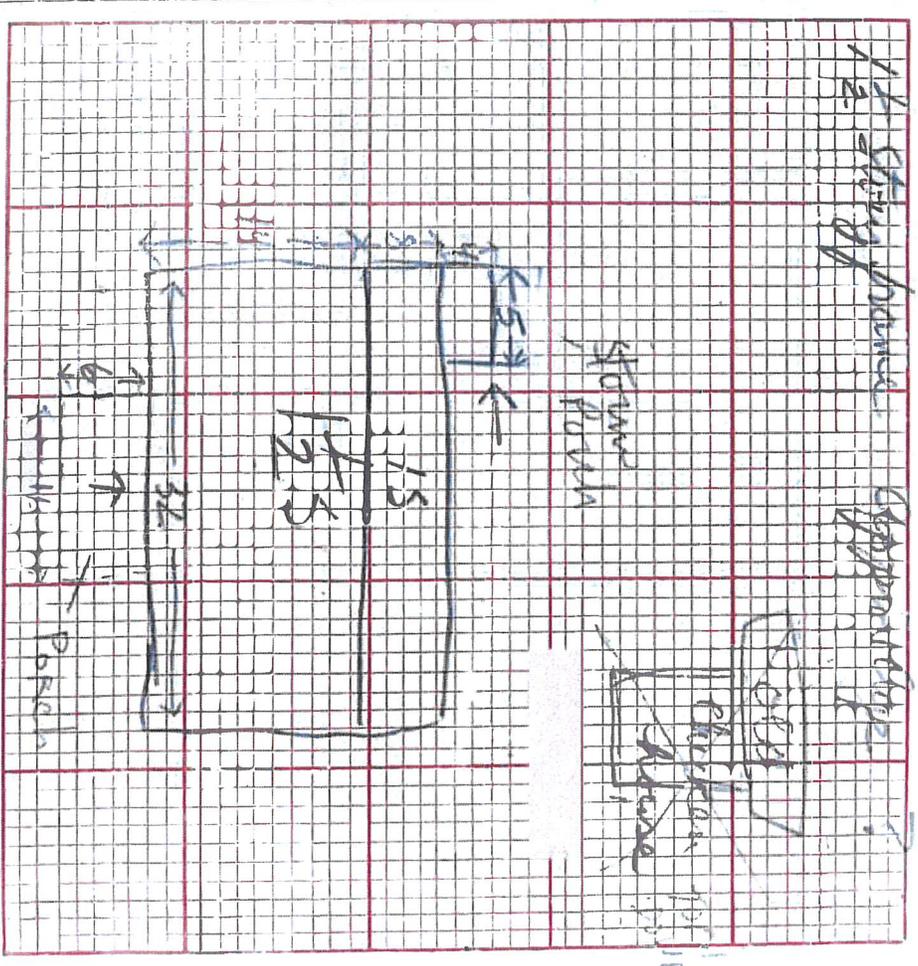
RECORD OF BUILDINGS

CONSTRUCTION

NOTES—SPECIAL EQUIPMENT

| OCCUPANCY | FLOORS | | | |
|---------------------------|--------|---|---|---|
| | B | 1 | 2 | 3 |
| SINGLE FAMILY | | | | |
| TWO FAMILY | | | | |
| APARTMENT | | | | |
| STORE | | | | |
| THEATRE | | | | |
| HOTEL | | | | |
| OFFICES | | | | |
| WAREHOUSE | | | | |
| COMM GARAGE | | | | |
| GAS STATION | | | | |
| FOUNDATION | | | | |
| CONCRETE | | | | |
| CONCRETE BLOCK | | | | |
| BRICK OR STONE | | | | |
| PIERS | | | | |
| CELLAR AREA FULL | | | | |
| NO CELLAR | | | | |
| EXTERIOR WALLS | | | | |
| CLAPBOARDS | | | | |
| WIDE SIDING | | | | |
| DROP SIDING | | | | |
| NO SHEATHING | | | | |
| WOOD SHINGLES | | | | |
| ASBEST SHINGLES | | | | |
| STUCCO ON FRAME | | | | |
| STUCCO ON TILE | | | | |
| BRICK VENEER | | | | |
| BRICK ON TILE | | | | |
| SOLID BRICK | | | | |
| STONE VENEER | | | | |
| CONC OR CIND BL. | | | | |
| HEATING | | | | |
| PIPELESS FURNACE | | | | |
| HOT AIR FURNACE | | | | |
| FORCED AIR FURN | | | | |
| STEAM | | | | |
| HOT WAT. OR VAPOR | | | | |
| NO HEATING | | | | |
| PLUMBING | | | | |
| BATHROOM | | | | |
| TOILET ROOM | | | | |
| WATER CLOSET | | | | |
| KITCHEN SINK | | | | |
| STD. WAT. HEAT | | | | |
| AUTO. WAT. HEAT | | | | |
| ELECT. WAT. SYST. | | | | |
| LAUNDRY TUBS | | | | |
| NO PLUMBING | | | | |
| TILING | | | | |
| BATH FL. & WCOT. | | | | |
| TOILET FL. & WCOT. | | | | |
| LIGHTING | | | | |
| ELECTRIC | | | | |
| NO LIGHTING | | | | |
| NO. OF ROOMS | | | | |
| BSMT | | | | |
| 1ST | | | | |
| 2ND | | | | |
| 3RD | | | | |

| UNIT | COMPUTATIONS | |
|------------|--------------|--|
| | 1931 | |
| 1ST 5 F | ① | |
| 2ND 5 F | ② | |
| 3RD 5 F | ③ | |
| ADDITIONS | | |
| BASEMENT | | |
| WALLS | | |
| ROOF | | |
| FLOORS | | |
| ATTIC | | |
| FINISH | | |
| FIREPLACE | | |
| HEATING | | |
| PLUMBING | | |
| TILING | | |
| TOTAL | | |
| FACTOR | | |
| REPL. VAL. | | |



SUMMARY OF BUILDINGS

| DATE | LISTED | MEAS | AREA | PRICED | AGE | DATE REMOD | COND | REPL. VAL. | PHYS. DEPR. | PHYS. VALUE | FUNCT. DEPR. | SOUND VALUE |
|-----------------------|--------|------|------|--------|-----|-----------------------|------|------------|-------------|-------------|--------------|-------------|
| | | | | | 19 | | | 4000 | 50% | 2000 | 10% | 1800 |
| TOTAL VALUE BUILDINGS | | | | | 19 | TOTAL VALUE BUILDINGS | | | | | | |

PROPERTY OWNER: JAKIMCZYK/HELEN & JOHN F
 PROPERTY LOCATION: 77 PINE ST
 CITY OF PORTSMOUTH N.H.
 JOHN B. PETTY CAE, ASSESSOR
 MA 01905
 RECORD OF TRANSFER
 DATE: 72672
 BOOK: 2157
 PAGE: 32
 CONTROL NO: 1413089004500
 CARD: 1 OF 1
 PLAN LOT: 089 045
 U62 016

REMARKS-1
 RENT \$75 PER MONTH
 NO UTILITIES
 PRAMIT # 746
 SIDING
 COST 2800

| NO | DATE | BOOK | PAGE | AMOUNT | REMARKS |
|----|-------|------|------|--------|-------------------|
| 1 | 72672 | 2157 | 32 | | ZABROCKI/KOSTANTY |
| 2 | | | | | |
| 3 | | | | | |
| 4 | | | | | |
| 5 | | | | | |
| 6 | | | | | |
| 7 | | | | | |

LAND DEPRECIATION CODES
 1-EXCESS FRONTAGE
 LEGAL

TOPOGRAPHY-1 LEVEL
 IMPROVEMENTS-1 C WATER
 -2 SEWER
 -3 ELEC
 STREET/RD--2 S IMP

LOCATION ZONING NEIGHBORHOOD
 SOIL-1
 -2

FAIR +
 GOOD
 03
 SANDY
 LOAM

| TYPE | ACRES | PRICE | TOTAL | DEPR | VALUE | EQ | ASSESSMENT | |
|---------------------|-------|-------|---------------|------|-------|------|------------|------|
| 1 H-LOT | 48 A | 0.230 | 10000 | 4800 | 100 | 4320 | 100 | 4300 |
| 2 REAR | 2 | 0.290 | 2000 | 580 | 100 | 580 | 100 | 600 |
| 3 | | | | | | | | |
| 4 | | | | | | | | |
| 5 | | | | | | | | |
| 6 | | | | | | | | |
| ACREAGE COMPUTATION | | 0.520 | ACREAGE TOTAL | | 4900 | 100 | 4900 | 4900 |

| FRONT | REAR | FRONTAGE | DEPTH | STREET PRICE | DEPTH % | ADJ FR PR | TOTAL | DEPRECIATION | CORNER | VALUE | EQ | ASSESSMENT |
|-------|------|----------|-------|--------------|---------|-----------|-------|--------------|--------|-------|----|------------|
| 1 | | | | | | | | | | | | |
| 2 | | | | | | | | | | | | |
| 3 | | | | | | | | | | | | |
| 4 | | | | | | | | | | | | |

LOT COMPUTATION

LOT TOTAL: 4900

LAND TOTAL: 4900

ASSESSMENT: 4900

UNITED APPRAISAL CO.

CONTROL NO. 141
 3089004500
 OUT BUILDINGS

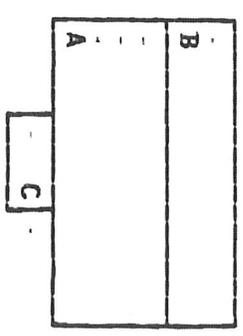
STRUCTURE VALUE

PRICE

BASE FOUNDATION 1/2 BRICK WALLS 448SF
 EXT WALLS 1/2 STONE WALLS
 INSULATION NONE ASBESTOS
 ROOF GABLE FULL CONCRETE FLOOR
 BASEMENT 1 PINE
 FLOORS 2 PINE
 INT FIN 1 PLASTR
 2 LAYOUT
 1-4 2-2 COND F
 ROOMS NONE
 ATTIC 1 W AIR-CD
 HEAT 1 W AIR-CD
 PLUMBING NONE
 TILE NONE
 DORMERS NONE
 SEG. B U-BSMT, ADD
 C OPEN-PORCH
 BRICK 256SF
 66SF
 3930
 383

STRUCTURAL ELEMENTS

| OCCUPANCY | CONSTRUCTION | CLASS | AGE | REMOD | COND | REPLACEMENT VALUE |
|------------|--------------|-------|-------|-------|------|-------------------|
| DHLG 1 FAM | 1.55 FR B | 3 | 1900+ | ND | F | 16742 |
| SUB TOTAL | | | | | | 17623 |
| FACTOR | | | | | | -881 |



SCALE = 20 FT./IN.

| SECT | TYPE | STOR | CONS | CLASS | DIMENSIONS |
|------|-------------|------|------|-------|------------|
| A | 14-32-14-32 | | | | |
| B | 04 | 1.0 | FRAM | 3 | 8-32-8-32 |
| C | 30 | 1.0 | FRAM | 3 | 6-11-6-11 |

| PHYS DEPR | PHYSICAL VALUE | FUNC DEPR | ACTUAL VALUE | EQ | ASSESSMENT | SALE PRICE | DATE MO/YR |
|----------------------|----------------|-----------|--------------|-----|------------|------------|------------|
| 40 | 10045 | | 10045 | 100 | 10000 | | |
| BUILDING TOTAL | | | | | | 10045 | 1.00 |
| UNITED APPRAISAL CO. | | | | | | 1.00000 | 08/30/72 |

LISTED DATE 12/03/71
 SIGNATURE X SIGNED
 DATE MO/YR 3416
 REVIEW 2735

LEG 016 LOT 016 CARD 01 OF 01 (OLD M/L# 065 045)
 RECORD OF OWNERSHIP
 MAILING ADDRESS: 83 CAMDEN ST LYNN MA 01905
 BOOK-PAGE: 2157/0032 DATE: 07/72
 NRHD ID: 101

Philbrick Richard S & Harriet
 Doleac Charles B
 Dufour Karen L
 217 Broad St Little Harbor Road #14 Po 418
 77 Meredith Way
 2562/157 9/5/85 61,000
 2580/2091 1/3/86 88000
 2916/2173 3-23-92 87,500

LAND VALUE COMPUTATIONS AND SUMMARY

| SQ. FT. DESC. | CODE | SIZE | RATE | INFLUENCE FACTOR | LAND VALUE |
|---------------------|------|-----------------|------|------------------|------------|
| 1 PRIMARY SITE | 1 | 7500 | 1.30 | | 9000 |
| 2 SECONDARY SITE | 2 | 15287 | .10 | | 1530 |
| 3 UNDEVELOPED | | | | | |
| 4 RESIDUAL | | | | | |
| 5 WATERFRONT | 7 | 22787 | | | 10500 |
| CATEGORY CODES | | NUMBER OF ACRES | RATE | | |
| 1 PRIMARY SITE | | | | | |
| 2 SECONDARY SITE | | | | | |
| 3 UNDEVELOPED | | | | | |
| 4 TILLABLE | | | | | |
| 5 PASTURE | | | | | |
| 6 WOODLAND | | | | | |
| 7 WASTELAND | | | | | |
| 8 HOMESITE | | | | | |
| 9 FRONTAGE - ROAD | | | | | |
| 10 FRONTAGE - WATER | | | | | |
| 11 REAR | | | | | |
| 12 ACREAGE - DEPR. | | | | | |
| TOTAL ACREAGE | | | | | |

City water + sewer MEMORANDA
 E & I vinyl siding
 loose floorboards, etc;
 poor construction
 and/a
 1st / 3
 8/10
 \$13225 - Sep 10, 1985 - Replacement of existing bath
 & kitchen. sell \$10,000

SALES DATA

| DATE | TYPE | SALE PRICE | SOURCE | VALIDITY |
|---------|----------------|------------|--------------------------------|------------|
| MO. YR. | 1 LAND 2 L & B | | 1 BUYER 2 SELLER 3 FEE 4 AGENT | 1 YES 2 NO |
| 1 2 | 1 2 | | 1 2 3 4 | 1 2 |
| 1 2 | 1 2 | | 1 2 3 4 | 1 2 |
| 1 2 | 1 2 | | 1 2 3 4 | 1 2 |
| TOTAL | | | | |

| NAME | MAILING ADDRESS | BOOK-PAGE | DATE | AMOUNT |
|--|---|-----------|---------|--------|
| JAKIMCZYK HELEN & JOHN F | 83 CAMDEN ST LYNN MA 01905 | 2157/0032 | 07/72 | |
| Philbrick Richard S & Harriet Doleac Charles B | 217 Broad St Little Harbor Road #186 Po 418 | 2562/157 | 9/5/85 | 61,000 |
| Dufour Karen L | 77 Meredith Way | 2580/2091 | 1/3/86 | 88000 |
| | | 2916/2173 | 3-23-92 | 87,500 |

LAND VALUE COMPUTATIONS AND SUMMARY

| SQ. FT. DESC. | CODE | SIZE | RATE | INFLUENCE FACTOR | LAND VALUE |
|------------------|------|-------|------|------------------|------------|
| 1 PRIMARY SITE | 1 | 7500 | 130 | | 9000 |
| 2 SECONDARY SITE | 2 | 15257 | .10 | | 1530 |
| 3 UNDEVELOPED | | | | | |
| 4 RESIDUAL | | | | | |
| 5 WATERFRONT | 7 | 22787 | | | 10500 |

| CATEGORY CODES | NUMBER OF ACRES | RATE | DATE | TYPE | SALE PRICE | SOURCE | VALIDITY |
|---------------------|-----------------|------|------|------|------------|--------|----------|
| 1 PRIMARY SITE | | | | 1 | | 1 | 1 |
| 2 SECONDARY SITE | | | | 2 | | 2 | 2 |
| 3 UNDEVELOPED | | | | 1 | | 1 | 1 |
| 4 TILLABLE | | | | 2 | | 2 | 2 |
| 5 PASTURE | | | | 1 | | 1 | 1 |
| 6 WOODLAND | | | | 2 | | 2 | 2 |
| 7 WASTELAND | | | | 1 | | 1 | 1 |
| 8 HOMESITE | | | | 2 | | 2 | 2 |
| 9 FRONTAGE - ROAD | | | | 1 | | 1 | 1 |
| 10 FRONTAGE - WATER | | | | 2 | | 2 | 2 |
| 11 REAR | | | | 1 | | 1 | 1 |
| 12 ACREAGE - DEPR. | | | | 2 | | 2 | 2 |
| TOTAL ACREAGE | | | | | | | |

city water + sewer MEMORANDA
 E I vinyl siding
 loose floorboards;
 poor construction
 and/a
 1st/3
 B/O
 #1323 - Sep 10, 1985 - Replacement of existing bath
 + Kitchen. sep 10, 1985

INSPECTION WITNESSED BY: *[Signature]*

ASSESSMENT SUMMARY

| Assessed | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|----------|----------------|------------------|----------------|
| 101 | 0.52 | 36,900 | 94,000 |

OWNERSHIP AND MAILING INFORMATION
 Owner 1 DUFOR KAREN L
 Owner 2

PREVIOUS ASSESSMENTS
 FY % Building Value Yard Items Land Area (Ac) Asses'd Land Val Total Assessed
 93 1 29,000 0 0.52 36,900 94,000
 From Total Assmt Per S.F. Finished Area/Card 101.29/ Parcel 101.29

PRIOR (OTHER) IDENTIFICATION

| Code | Descr | Amount | Com. Int |
|-------|-------------------|--------|----------|
| 59180 | OTHER ASSESSMENTS | | |

SALES INFORMATION

Grantor Legal Reference No./Dt./Yr. Sale Price V Adj Sale / Desc'd Area
 2916-2173 03/23/92 F 87,500 N CONVIENC

DEPRECIATION

| | | | |
|--------------------|---|--------------|-------|
| Condition | A | Depreciation | 31% |
| Func OBS | | % | |
| Estr OBS | | % | |
| Special | | % | |
| Total Depreciation | | | 31.0% |

OTHER FEAT

| | | | |
|-----------|-----|---|---|
| Item | # | % | # |
| Baths | 1 | | |
| 1/2 Baths | 0 | | |
| On-Fit | 0 | | |
| Kitchens | 1 | | |
| Engines | 0 | | |
| W/S Pools | 0 | | |
| Bmnt Gar | 0 | | |
| Head Sys | 1 | | |
| Solar HW | N | | |
| Cent Vac | N | | |
| % Heated | 100 | | |
| % AC | 0 | | |
| % Co Wall | 0 | | |

CONDO DATA

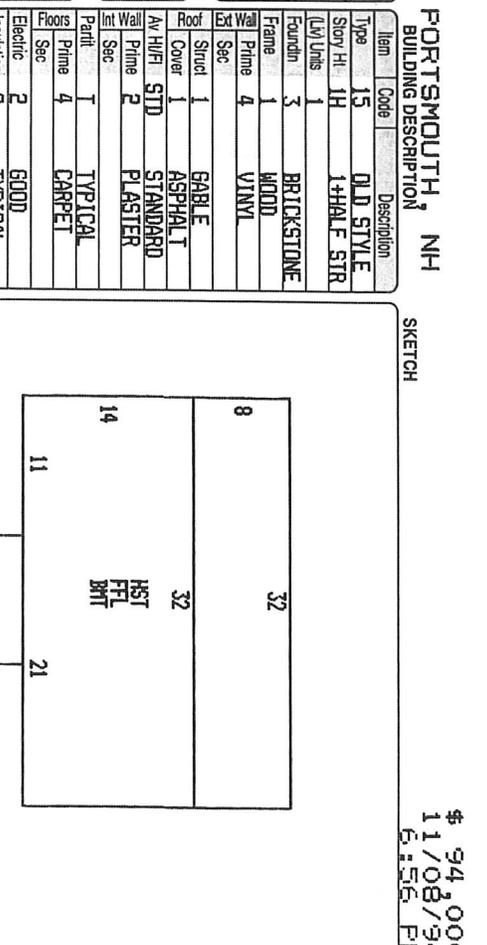
| | | | |
|------|---|-------|---|
| Unit | 5 | Floor | 2 |
| View | | | |

INSPECTION INFO

| | | | |
|------|----------|--------|-----------|
| Date | 03/08/94 | By | 210 |
| Code | 2 | Result | MEASURED |
| Date | 04/18/94 | By | 209 |
| Code | 14 | Result | INSPECTED |

ALT. APPROACH

| | |
|-------------------------|----|
| Multiple Regression (M) | |
| Comparable Sales (C) | |
| Income Approach (I) | |
| Market Adj. Cost | <> |



SKETCH INSTRUCTIONS

(FFL, BMT, L32, D8, R32, (HST, FFL, BMT, L32, D14, R11, (DFP, D6XR10), R21, J14), J8).

SUB AREA SUMMARY

| Code | Area (S.F.) | Area (Sq Ft) | Under | Value |
|------|-------------|--------------|-------|--------|
| BMT | 704.0 | 16.72 | | 11,771 |
| FFL | 704.0 | 66.87 | | 47,076 |
| HST | 224.0 | 66.87 | | 14,979 |
| DFP | 60.0 | 24.00 | | 1,440 |

RES BREAKDOWN

| | | | |
|----------|-----|-------|--------|
| No Units | 5 | Value | 75,266 |
| Units | 5 | Value | 928 |
| Sub Area | T6A | Value | 1,916 |

CALCULATIONS

| | |
|-------------|---------|
| Unimproved | 75,266 |
| Basement | 47,000 |
| Size Adj | 1,42284 |
| Cons Adj | 1,00000 |
| AGISF | 66,87 |
| Plumbing | 4,000 |
| Freights | 0 |
| W/S Pools | 0 |
| Bmnt Gar | 0 |
| Heating | 0 |
| Cent Vac | 0 |
| Air Cond | 0 |
| Sprink | 0 |
| Av Total | 82,766 |
| Grade-Fact | 1,000 |
| Neighb Int | 1,000 |
| Adj Total | 82,766 |
| Depr | 25,657 |
| Der Total | 57,109 |
| Spec-Fact | 0 |
| Final Total | 27,100 |
| Fin Area | 928 |

COMPARABLE SALES

| Map | Block | Lot | Typ | Mo | Yr | Sale Price |
|-----|-------|-----|-----|----|----|------------|
| | | | | | | |

INCOME APPROACH

| | |
|--------------|--|
| Overall Rate | |
| Income/Less | |
| Expenses | |
| Reserve | |
| Overall Rate | |
| Income/Less | |
| Expenses | |
| Reserve | |

LAND SECTION

| Use Code | Descr | No. Of Units | Unit Price | Market Value | Class |
|----------|--------------------------|--------------|------------|--------------|--------------------|
| 101 | ONE FAM 22, 787 S P SITE | 1 | 1.80 | 36,900 | EA 100 A-10 ACCESS |

SPECIAL FEATURES AND YARD ITEMS

| Description | Size or Units | Unit Price | Sound Value |
|-------------|---------------|------------|-------------|
| | | | |

INCOME APPROACH

| | | | |
|-------------------|-------|-------------------|--------|
| Total Acres | 0.523 | Total Square Feet | 22,787 |
| Total Land Credit | | Total | 36,900 |
| Reported Income | | Total | 36,900 |

PROPERTY LOCATION
 No. 77 MEREDITH
 Name MEREDITH
 Way H/W

OWNERSHIP AND MAILING INFORMATION
 Owner 1 LORRINE KAREN L
 Owner 2

Street 77 MEREDITH WAY
 City PORTSMOUTH
 State NH Zip 03801

NARRATIVE DESCRIPTION
 THIS LAND HAS 0.52 ACRES OF LAND
 MAINLY CLASSIFIED AS RESIDENTIAL
 WITH A(1N) OLD STYLE BUILDING
 BUILT ABOUT 1870, HAVING PRIMARILY
 VINYL EXTERIOR, AND ASPHALT
 ROOF COVER, WITH 1 BATHS, 2 BEDRM
 BATHS, 1 UNITS, 5 ROOMS, 2 BEDRM

PROPERTY FACTORS
 Item Code % Item %
 5th 100

Zoning
 Districts
 Zoning
 Street
 Traffic

ASSESSMENT SUMMARY

| Assess | Building Value | Yard Items | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|---|----------------|------------|----------------|------------------|----------------|
| 101 | 51,400 | 0 | 0.52 | 36,900 | 88,300 |
| Total Asses'd Per S.F. Finished Area/Parcel | | | | | 35.13 |

PREVIOUS ASSESSMENTS

| FY | Building Value | Yard Items | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|----|----------------|------------|----------------|------------------|----------------|
| 93 | 29,000 | 0 | 0.00 | 10,500 | 39,500 |
| 94 | 57,100 | 0 | 0.52 | 36,900 | 94,000 |
| 94 | 57,100 | 0 | 0.52 | 36,900 | 94,000 |

BUILDING PERMITS

| No | Yr | Number | Description | Amount |
|----|----|--------|-------------|--------|
| | | | | |

OTHER ASSESSMENTS

| Code | Descr | No | Amount | Com | Int |
|------|-------|----|--------|-----|-----|
| | | | | | |

SALES INFORMATION

| Grantor | Legal Reference | No | Dy | Yr | Sale Price | V Adj | Land Sale / Desc |
|---------|-----------------|----------|----|----|------------|-------|------------------|
| | 2316-2173 | 03/23/92 | F | | 87,500 | N | CONVINC |

BUILDING DESCRIPTION

| Item | Code | Description |
|------------|------|--------------|
| Type | 15 | OLD STYLE |
| Story | 1H | 1+HALF STR |
| Lot | 1 | BRICKSTONE |
| Foundn | 3 | WOOD |
| Frame | 4 | VINYL |
| Sec | 1 | GABLE |
| Struct | 1 | ASPHALT |
| Cover | 1 | STANDARD |
| Av Ht | 5TD | PLASTER |
| Sec | 2 | PLASTER |
| Sec | 1 | TYPICAL |
| Prime | 4 | CARPET |
| Sec | 2 | GOOD |
| Electric | 2 | TYPICAL |
| Insulation | 2 | FORCED H/A |
| Fuel | 1 | Bath Range A |
| Type | 4 | Grade C |
| Kil Rating | 4 | EVCB |
| Int vs Ext | 5 | % All Class |
| Yr Built | 1870 | |
| All Class | | |

DEPRECIATION

| Condition | Depreciation |
|--------------------|--------------|
| A | 31% |
| L | 10% |
| Ecn OBS | % |
| Special | % |
| Total Depreciation | 37.9% |

OTHER FEAT

| Item | # | % | # |
|------------|-----|---|---|
| Baths | 1 | | |
| 1/2 Baths | 0 | | |
| On Flr | 0 | | |
| Kitchens | 1 | | |
| Fireplaces | 0 | | |
| W/S Plugs | 0 | | |
| Burnt Gar | 0 | | |
| Heat Sys | 1 | | |
| Star HW | 1 | | |
| Cent Vac | 1 | | |
| % Heated | 100 | | |
| % AC | 0 | | |
| % Spr | 0 | | |
| % Co Wall | 0 | | |

SKETCH INSTRUCTIONS

(FFL, BMT, L32, D14, R11, (DPP, D6XR10)
 R21, J14, J8).

SUB AREA SUMMARY

| Code | Area (S.F.) | Rate (w/Qual) | Undepr. Value |
|--------------|--------------|---------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FFL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DPP | 50.0 | 24.00 | 1,440 |
| Total | 1,692 | Total | 75,256 |

RES BREAKDOWN

| No | Units | Area | Rate | Total |
|----|-------|------|-------|-------|
| 1 | 5 | 21 | 1,916 | 1,916 |

CONDO DATA

| Loc | Floor | View |
|-----|-------|------|
| | | |

INSPECTION INFO

| Date | Code | Result | By |
|----------|------|-----------|-----|
| 03/05/94 | 2 | MEASURED | 210 |
| 04/18/94 | 14 | INSPECTED | 209 |

ALT. APPROACH

| Multiple Regression (M) | Comparable Sales (C) | Income Approach (I) |
|-------------------------|----------------------|---------------------|
| | | |

COMPARABLE SALES

| Rating | Map | Block | Lot | Typ | Mo | Yr | Sale Price | Adj |
|--------|-----|-------|-----|-----|----|----|------------|-----|
| | | | | | | | | |

CALCULATIONS

| Category | Value |
|---------------|-----------|
| Undepr. Value | 75,256 |
| BascsSF | 47,000 |
| Size Adj | 1,422,294 |
| Const Adj | 1,000,000 |
| AdjS/SF | 66.87 |
| Plumbing | 4,000 |
| Fireplaces | 0 |
| W/S Flues | 0 |
| Burnt Gar | 0 |
| Heating | 0 |
| Cent Vac | 0 |
| Air Cond | 0 |
| Stair | 0 |
| Kitchen | 3,500 |
| Av Total | 92,706 |
| Grade Adj | 1,000 |
| Height Adj | 1,000 |
| Adj Total | 92,706 |
| Degree | 0.1208 |
| Depr Total | 51,400 |
| Spec Feat | 51,400 |
| Final Total | 51,400 |
| Fin Area | 528 |
| Value/SF | 30.37 |

SPECIAL FEATURES AND YARD ITEMS

| Description | Y/S | Size or Units | Land Cond | Yr Bilt | Unit Price | TMB | % Dep | Sound Value | Class | attach |
|-------------|-----|---------------|-----------|---------|------------|-----|-------|-------------|-------|--------|
| | | | | | | | | | | |

INCOME APPROACH

| Type | Description | FI | OU | Leased Area | No Ten | Benefit of Mo | Economic Income | Reported Income |
|------|-------------|----|----|-------------|--------|---------------|-----------------|-----------------|
| | | | | | | | | |

LAND SECTION

| Use Code | Descr | No. of Units | Unit Price | Int'l 1 | Int'l 2 | Int'l 3 | Market Value | AI Class | % | Special Land % or S/FAC | Assessed Value |
|----------|------------------------|--------------|------------|---------|---------|---------|--------------|----------|---|-------------------------|----------------|
| 101 | ONE FAM 22,787 SF SITE | 1 | 1.80 | EA | 100 | A-10 | 36,900 | | | | 36,900 |

DEPRECIATION

| Condition | Depreciation |
|--------------------|--------------|
| A | 31% |
| L | 10% |
| Ecn OBS | % |
| Special | % |
| Total Depreciation | 37.9% |

SCALE = 20 FT/IN

PROPERTY LOCATION: 77 MEREDITH WAY
 ASSESSMENT SUMMARY: LOT 0
 BUILDING DESCRIPTION: PORTSMOUTH, NH

OWNERSHIP AND MAILING INFORMATION

| No. | All No. | Name | Way |
|-------------------------------|---------|----------|-----|
| 77 | | MEREDITH | WAY |
| Owner 1 DUFORD KAREN L | | | |
| Owner 2 | | | |
| Street 77 MEREDITH WAY | | | |
| City PORTSMOUTH | | | |
| State NH Zip 03801 | | | |

NARRATIVE DESCRIPTION
 THIS CARL HAS 0.52 ACRES OF LAND MAINLY CLASSIFIED AS RESIDENTIAL WITH A(N) OLD STYLE BUILDING BUILT ABOUT 1870 HAVING PRIMARILY VINYL EXTERIOR, AND ASPHALT ROOF COVER, WITH 1 BATHS, 0 HALF BATHS, 1 UNITS, 5 ROOMS, 2 BEDRM

PROPERTY FACTORS

| Item Code | % | Item # | Descrip |
|------------------|-----|--------|---------|
| GR | 100 | | |
| Zoning | | | |
| Utilities | | | |
| Districts | | | |
| Topo | | | |
| Steel | | | |
| Traffic | | | |

SALES INFORMATION

| Grantee | Legal Reference | Mo/Dy/Yr | Sale Price | V Adj Sale / Desc Code |
|---------|-----------------|----------|------------|------------------------|
| | E916-2173 | 03/23/92 | 87,500 | N CONVICENC |

OTHER ASSESSMENTS

| Code | Descr | Mo | Amnt | Com | Int |
|------|-------|----|------|-----|-----|
| | | | | | |

PREVIOUS ASSESSMENTS

| Year | Building Value | Yard Items | Land Area (Ac) | Asses'd Land Val | Total Assessed |
|---|----------------|------------|----------------|------------------|----------------|
| 1991 | 51,400 | 0 | 0.52 | 36,900 | 88,300 |
| 1990 | 51,400 | 0 | 0.52 | 36,900 | 88,300 |
| Total Assmnt Per S.F. Finished Area/Gar 95.157/Parcel 95.15 | | | | | |

LAND SECTION

| Use Code | Descr | No. of Units | Descr | Unit Price | EA | Int'l 1 | Descr | Int'l 2 | Descr | Int'l 3 | Market Value | Alt Class | % |
|--|---------|--------------|----------|------------|--------|---------|--------|---------|-------|---------|--------------|-----------|---|
| 101 | ONE FAM | 22,787 | S F SITE | 1.80 | EA 100 | A-10 | ACCESS | | | | 36,900 | | |
| Total Acres 0.523 Total Square Feet 22,787 Total 36,900 | | | | | | | | | | | | | |

INCOME APPROACH

| Description | FI | Qu | Leased Area | No Tenants/SF | Economic Income | Reported Income |
|---------------------|----|----|-------------|---------------|-----------------|-----------------|
| | | | | | | |
| Total 36,900 | | | | | | |

OTHER FEATURES AND YARD ITEMS

| Description | Size or Units | Price | % Dep | Sound Value | class |
|-------------------------------|---------------|-------|-------|-------------|-------|
| | | | | | |
| Total Yard Items | | | | | |
| Total Special Features | | | | | |

COMPARABLE SALES

| Map | Block | Lot | Typ | Mo | Yr | Sale Price | Adj |
|----------------------------|-------|-----|-----|----|----|------------|-----|
| | | | | | | | |
| ALT. APPROACH | | | | | | | |
| Multiple Regression (M) | | | | | | | |
| Comparable Sales (C) | | | | | | | |
| Income Approach (I) | | | | | | | |
| Market Adj. Cost <> 89,700 | | | | | | | |

DEPRECIATION

| Item | Code | Description |
|----------|------|---------------|
| 15 | 1H | OLD STYLE |
| 1H | 1H | 1-HALF STR |
| 3 | | BLOCKSTONE |
| 4 | | WOOD |
| 4 | | VINYL |
| 1 | | GABLE |
| 1 | | ASPHALI |
| 1 | | STANDARD |
| 2 | | PLASTER |
| 1 | | TYPICAL |
| 4 | | CHAR-ET |
| 2 | | GOOD |
| 2 | | TYPICAL |
| 1 | | DTL |
| 1 | | FORCED H/A |
| 4 | | Bath Rating A |
| 5 | | Grade |
| 1870 | | E.V.A.B.I |
| AI Class | | % AI Class |

SKETCH INSTRUCTIONS

FFL, BMT, L32, D14, R11, (DFF, D6X110)
 BMT, L32, D14, R11, (DFF, D6X110)
 R21, U14, U18.

SUB AREA SUMMARY

| Code | Area (S.F.) | Area (sq. Ft.) | Undepr. Value |
|------|-------------|----------------|---------------|
| BMT | 704.0 | 16.72 | 11,771 |
| FEL | 704.0 | 66.87 | 47,076 |
| HST | 224.0 | 66.87 | 14,979 |
| DFF | 60.0 | 24.00 | 1,440 |

CONDO DATA

| Fac | Floor | View |
|-----|-------|------|
| | | |

RES BREAKDOWN

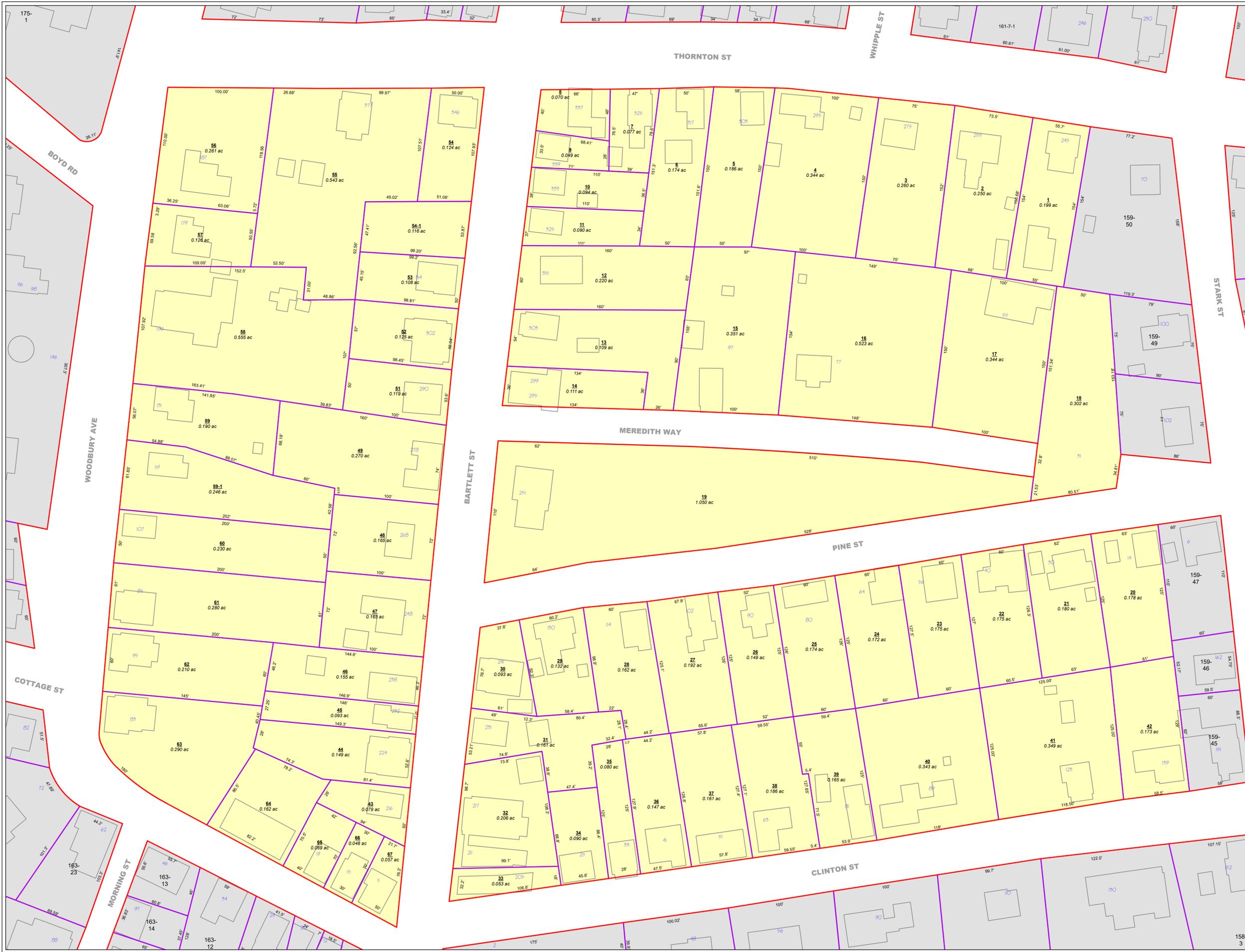
| Units | Sub Area | Area | Value |
|-------|----------|------|-------|
| 1 | | | |

INSPECTION INFO

| Date | Code | Result | By |
|----------|------|-----------|-----|
| 03/08/94 | E | MEASURED | E10 |
| 04/13/94 | L | INSPECTED | E09 |

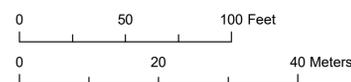
CALCULATIONS

| | |
|------------|--------|
| Valuation | 73,100 |
| Basic/SF | 47,076 |
| Size Adj | 1,440 |
| Const Adj | 1,440 |
| Ad/SF | 66,87 |
| Plumbing | 4,100 |
| Fireplaces | |
| W/S Flues | |
| Burnt Gar | |
| Heating | |
| Cent Vac | |
| Magnt Int | 1,000 |
| Ad Total | 33,750 |
| Deprec | 11,400 |
| Der Total | 22,350 |
| Special | 31,400 |
| Fiel Total | 31,400 |
| Fin Area | 224 |
| Value/SF | 140 |

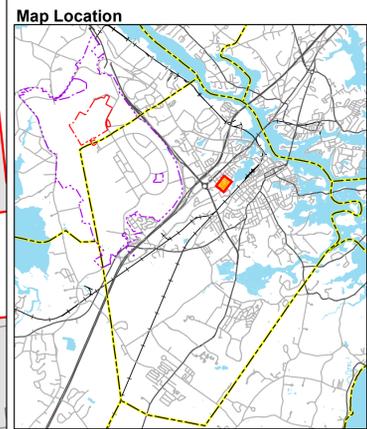
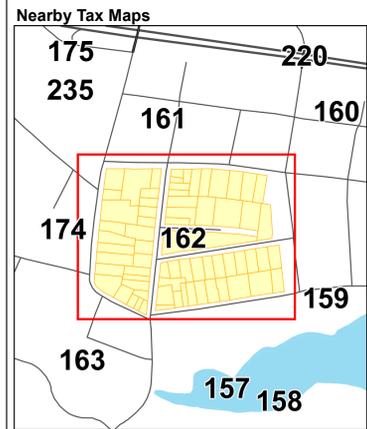


- Partial Legend**
 See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
 - 2.56 ac Parcel area in acres (ac) or square feet (sf)
 - 25 Address number
 - 233-137 Parcel number from a neighboring map
 - 68' Parcel line dimension
 - Street name
- Parcel/Parcel boundary
 - Parcel/ROW boundary
 - Water boundary
 - Structure (1994 data)
- Parcel covered by this map
 - Parcel from a neighboring map (see other map for current status)

EXHIBIT F

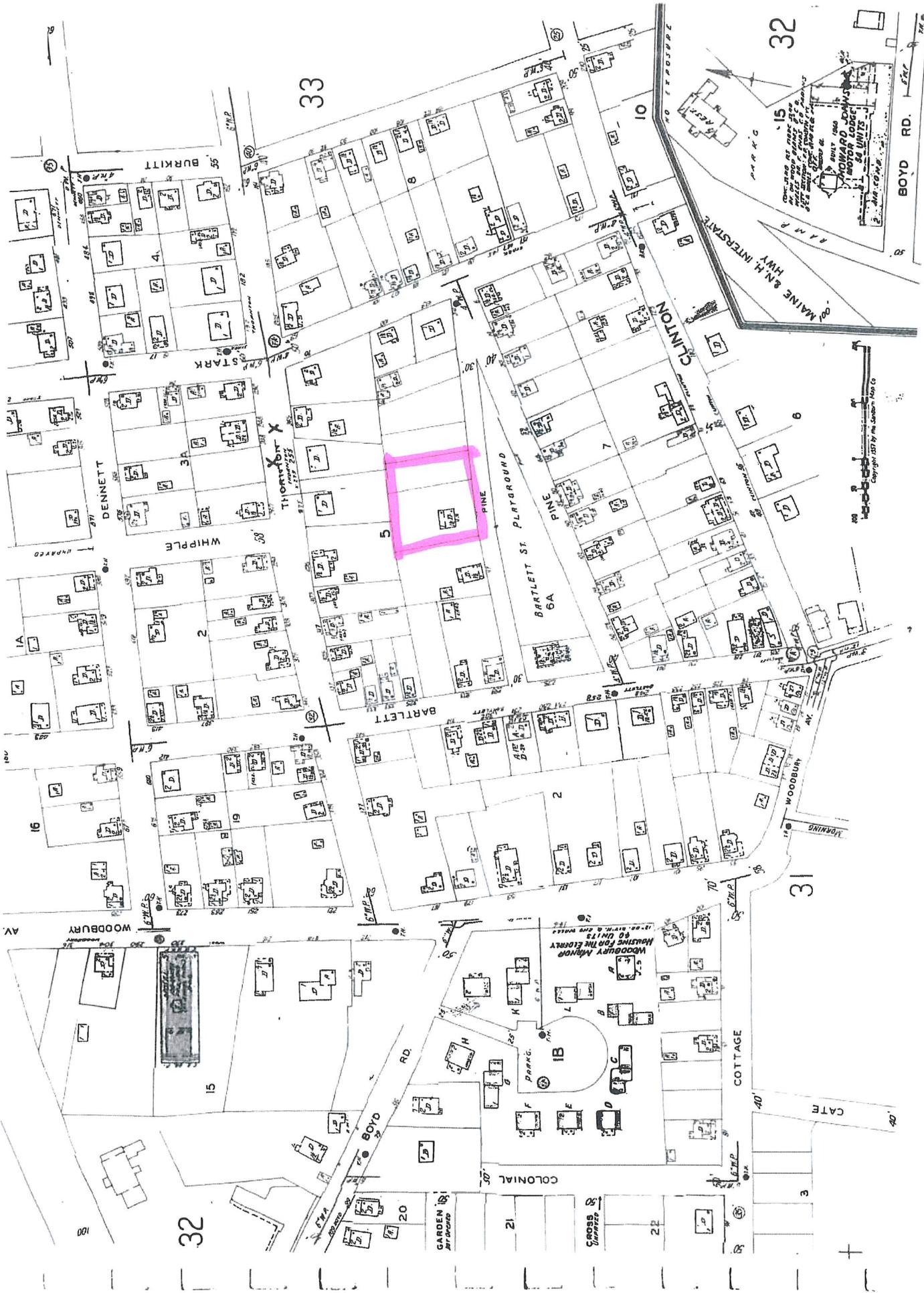


This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.





1927-1931 Map page 32



1956

32

33

31

32

10

15

10

6

7

5

2

2

2

16

19

15

21

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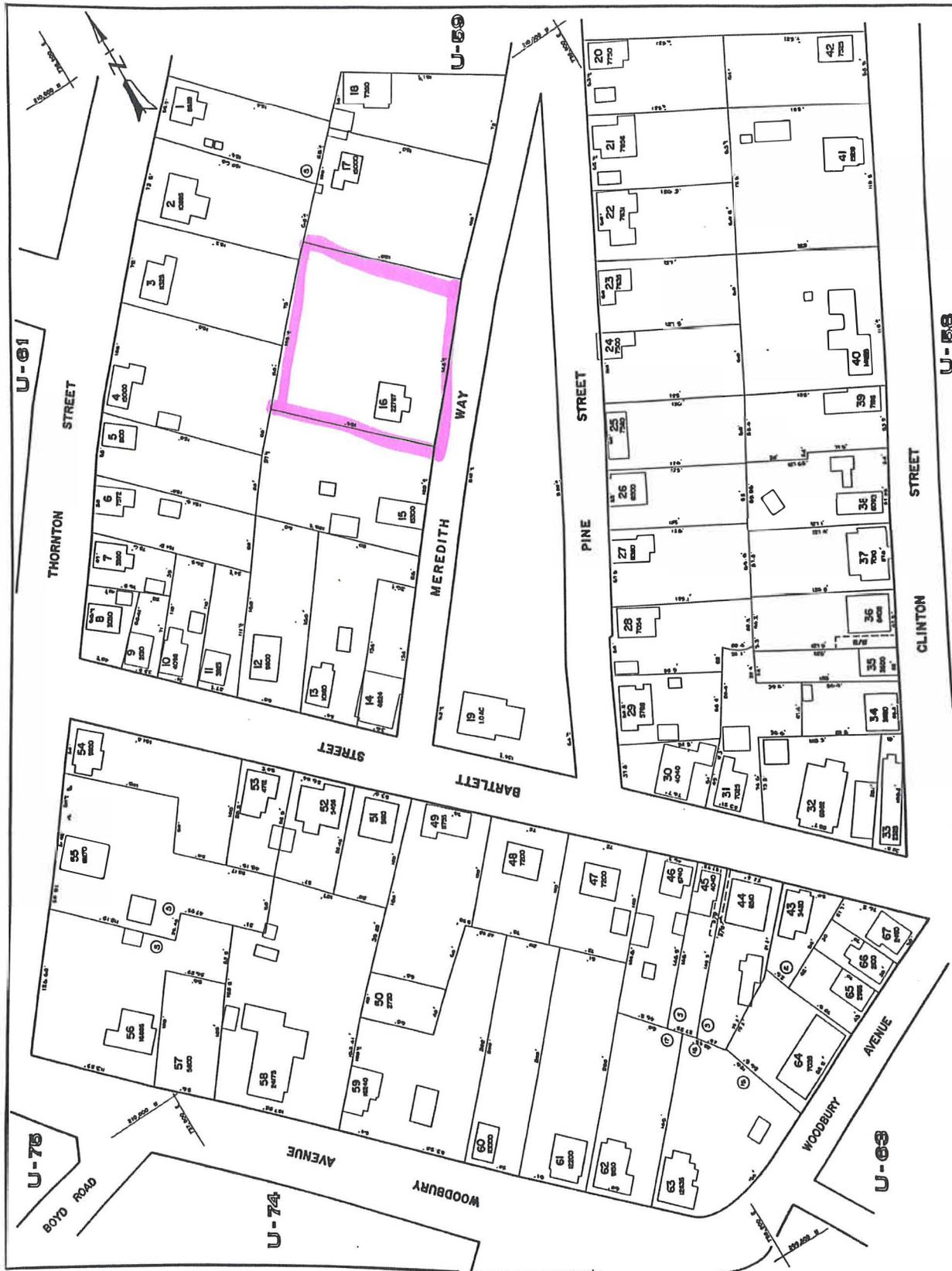
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SCALE IN FEET
 0 20 40 80

PROPERTY MAP
PORTSMOUTH
 NEW HAMPSHIRE

LEGEND
 ADJACENT SHEET NO. 12
 DEVELOPMENT LOT NO. 10
 CALLED OVERSIDE 2

PREPARED BY PHOTO-DUPLICATION METHOD BY
 JOHN E. O'DONNELL & ASSOCIATES
 ALBANY, MAINE
 879

U-62

Book: 6274 Page: 1666

E # 21029791 05/04/2021 03:15:39 PM
 Book 6274 Page 1666 Page 1 of 2
 Register of Deeds, Rockingham County



| | | |
|--------------|-----------|----------|
| LCHIP | ROA561516 | 25.00 |
| TRANSFER TAX | RO105780 | 8,850.00 |
| RECORDING | | 14.00 |
| SURCHARGE | | 2.00 |

RETURN TO:

Stewart Title Company - New Hampshire
 110 Corporate Drive, Suite 1
 Portsmouth, NH 03801

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS THAT I/We Karen L. Dufour, a single person, of 77 Meredith Way, Portsmouth, NH 03801, for consideration paid, grant(s) to Randi Collins and Jeff Collins, a married couple, of 55 Pine Street, Portsmouth, NH 03801, as joint tenants, with WARRANTY COVENANTS, the following described premises:

A certain lot of land, together with the buildings thereon, situated in the City of Portsmouth, County of Rockingham and State of New Hampshire, being further bounded and described as follows:

Southerly by Pine Street;

Easterly by land now or formerly of Carroll Shershun;

Northerly by land now or formerly of Martin J. Early, Margaret Tebbetts, Douglas Arey and Carol Arey;
 and

Westerly by land now or formerly of Laurence Robbins and Bella Robbins.

Said property being further described by instrument recorded in the Rockingham County Registry of Deeds in Book 2916, Page 2173.

I/We the grantor(s) hereby release all rights of homestead and any other interests therein in and to the above described premises.

Reference is made to title vested in Karen L. Dufour by virtue of a Warranty Deed from Charles B. Doleac dated March 23, 1992 and recorded in the Rockingham County Registry of Deeds in Book 2916, Page 2173.

EXECUTED this 4th day of May, 2021.



 Karen L. Dufour

State of New Hampshire
County of Rockingham

On this 4th day of May, 2021, personally appeared, before me, the above named Karen L. Dufour, known to me or satisfactorily proven to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged that he/she/they executed the same as his/her/their free act and deed.

Stephanie M. Thompson
Justice of the Peace/Notary Public
Print Name: Stephanie M. Thompson
My commission expires: 6.19.2024



P2173
RK2916 P2173

KNOW ALL MEN BY THESE PRESENTS, That CHARLES B. DOLEAC, a married person, of Little Harbour Road, Portsmouth, New Hampshire,

for consideration paid, grants to KAREN L. DUFOUR, of 50 Snell Road, #4, Dover, New Hampshire,

with warranty covenants to the said Karen L. Dufour, the following-described real estate:

A certain lot of land, together with the buildings thereon, situated in the City of Portsmouth, County of Rockingham and State of New Hampshire, being further bounded and described as follows:

Southerly by Pine Street;
Easterly by land now or formerly of Carroll Shershun;
Northerly by land now or formerly of Martin J. Early, Margaret Tebbets, Douglas Arey and Carol Arey; and
Westerly by land now or formerly of Laurence Robbins and Bella Robbins.

Being the same premises conveyed to Charles B. Doleac by Warranty Deed of Richard S. Philbrick and Harriet Philbrick, dated January 3, 1986 and recorded in the Rockingham County Registry of Deeds on January 3, 1986 at Book 2580, Page 2091.

0012117

MAR 27 2 40 PM '92

ROCKINGHAM COUNTY
REGISTRY OF DEEDS

STATE OF NEW HAMPSHIRE
 DEPARTMENT OF REVENUE ADMINISTRATION
 REAL ESTATE TRANSFER TAX

| | | | |
|----|-----|----|--|
| MO | DAY | YR | |
| 03 | 27 | 92 | |

\$919.00

Kx THOUSAND 9 HUNDRED AND 19 DOLLARS

CONTROL NUMBER 45870 VOID IF ALTERED

THIS IS NOT HOMESTEAD PROPERTY.

~~with warranty covenants to the said Karen L. Dufour, the following-described real estate:~~

Signed this 23 day of March 1992

Charles B. Doleac
Charles B. Doleac

State of New Hampshire

ROCKINGHAM ss.: March 23, A. D. 1992

Personally appeared Charles B. Doleac,

known to me, or satisfactorily proven, to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purposes therein contained.

Before me, *Sandra Weston*
Justice of the Peace - Notary Public

KNOW ALL MEN BY THESE PRESENTS, That RICHARD S. PHILBRICK and HARRIET PHILBRICK, husband and wife, of 217 Broad Street, Portsmouth, County of Rockingham, and State of New Hampshire,

for consideration paid, grant to CHARLES B. DOLEAC, of Little Harbor Road, Portsmouth, County of Rockingham, and State of New Hampshire,

with warranty covenants to the said Charles B. Doleac, the following described real estate:

A certain lot of land together with the buildings thereon situated in Portsmouth, NH and being further bounded and described as follows:

Southerly by Pine Street; Easterly by land now or formerly of Carroll Shershun; Northerly by land now or formerly of Martin J. Early, Margaret Tebbets, Douglas Arey and Carol Arey; and Westerly by land now or formerly of Laurence Robbins and Bella Robbins.

Being the same premises conveyed to Richard S. Philbrick and Harriet Philbrick by deed of Helen Jakimczyk, dated September 5, 1985, and recorded in the Rockingham County Registry of Deeds in Book 2562, Page 157.

JAN 3 2 55 PM '86

00401

Rockingham County Registry of Deeds



We, being, ~~xxxxxx~~ said grantor~~s~~ release to said grantee all rights of homestead and other interests therein.

Signed this 3rd day of January, 1986

Helen M. Jones
Witness as to both

Richard S. Philbrick L.S.
Richard S. Philbrick
Harriet Philbrick L.S.
Harriet Philbrick
L.S.

State of New Hampshire

ROCKINGHAM ss.: January 3, A.D. 19 86

Personally appeared Richard S. Philbrick and Harriet Philbrick, known to me, or satisfactorily proven, to be the persons whose names are subscribed to the foregoing instrument and acknowledged that they executed the same for the purposes therein contained.

MARYANN E. TOWLE, Notary Public
My Commission Expires January 12, 1987

Before me,

Maryann Towle
Justice of the Peace - Notary Public



KNOW ALL MEN BY THESE PRESENTS, that Helen Jakimczyk, of West Lynn, Massachusetts

M2562 P0157

in consideration of

one dollar and other valuable consideration

paid by Richard S. Philbrick & Harriet Philbrick of Portsmouth 217 Broad Street, Portsmouth, N.H.

the receipt whereof I do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said Richard S. Philbrick and Harriet Philbrick their heirs and assigns forever, a certain lot or parcel of land

A certain lot of land together with the buildings thereon situated in Portsmouth, NH and being further bounded and described as follows:

Southerly by Pine Street; Easterly by land now or formerly of Carroll Shershun; Northerly by land now or formerly of Martin J. Early, Margaret Tebbets, Douglas Arcy and Carol Arcy; and Westerly by land now or formerly of Laurence Robbins and Bella Robbins.

Meaning and intending to convey and hereby conveying; the same parcel which was conveyed to the grantor herein by deed of Joseph Zabroski et al dated July 11, 1972 and recorded in the Rockingham County Registry of Deeds in Book 2157 Page 30. See also the Affidavit of the Grantor to be recorded herewith. The grantor is also conveying as the surviving joint tenant, John F. Jakimczyk having died on July 14, 1978 in West Lynn, Massachusetts.



To Have and to Hold the aforegranted and bargained premises with all the privileges and appurtenances thereof to the said Richard S. Philbrick and Harriet Philbrick

their heirs and assigns, to them and their use and behoof forever.

And I do COVENANT with the said Grantees, their heirs and assigns, that I am lawfully seized in fee of the premises that they are free of all encumbrances

that I have good right to sell and convey the same to the said Grantees to hold as aforesaid, and that I and my heirs shall and will WARRANT and DEFEND the same to the said Grantees, their heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, Harriet Jakimczyk, being an unmarried widow

do hereby set my hand and seal hereunto set hand and seal this 5th day of September in the year of our Lord one thousand nine hundred and 85.

Signed, Sealed and Delivered in presence of:

Handwritten signatures of witnesses and Helen Jakimczyk

State of New Hampshire

September 5, 1985

Personally appeared the above named Helen Jakimczyk and acknowledged the above instrument to be her free act and deed.

CATHERINE J. YOUNGS, Notary Public My Commission Expires October 28, 1988

Before me Catherine J. Youngs Justice of the Peace - Notary Public

Rockingham County Registry of Deeds SEP 6 3 56 PM '85

Know all Men by these Presents:
BK2157 PG032

THAT I, Helen Jakimczyk, of West Lynn, County of Essex, State of Massachusetts,
for consideration paid, grant to Helen Jakimczyk and John F. Jakimczyk, both of West Lynn, County of Essex, State of Massachusetts,
with warranty covenants to the said Helen Jakimczyk and John F. Jakimczyk,
as joint tenants with rights of survivorship, the

A certain lot of land with a building thereon situated in Portsmouth, County of Rockingham, State of New Hampshire, and bounded and described as follows:

Southerly by Pine Street; Easterly by land of Carroll Shershun; Northerly by land of Martin J. Early, Margaret Tebbets, and Douglas and Carol Arey; and Westerly by land of Laurence and Bella Robbins.

Being the same premises conveyed to the grantor by Deed dated July 11, 1972, to be recorded herewith.

14615

Jul 26 9 21 AM '72

REC'D ROCKINGHAM COUNTY
REGISTRY OF DEEDS

(dower (curtsey and homestead and other interests therein. (wife (husband of said grantor, release to said grantee all right of

Witness my hand and seal this 25th day of July, 1972.

WITNESS:

Lawrence W. GupTill

Helen Jakimczyk 

STATE OF NEW HAMPSHIRE

COUNTY OF ROCKINGHAM

On this the 25th day of July, 1972, before me, Lawrence W. GupTill, Jr. the undersigned officer, personally appeared Helen Jakimczyk known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purpose therein contained.

In witness whereof I hereunto set my hand and official seal.

Lawrence W. GupTill

Consideration less than \$100.00.

Justice of the Peace.

PG030

KNOW ALL MEN BY THESE PRESENTS:

THAT WE, Joseph Zabroski, of Chelsea in the County of Suffolk and the State of Massachusetts; Stella Carideo of Everett in the County of Middlesex and the State of Massachusetts; Mary Gronski of Saugus in the County of Essex and the State of Massachusetts; and John Zabroski of Lynn in the County of Essex in the State of Massachusetts

for consideration less then One Hundred (\$100.00) Dollars grant to Helen Jakimczyk of West Lynn, County of Essex in the State of Massachusetts,

WITH WARRANTY COVENANTS to the said Helen Jakimczyk.

A certain lot of land with a building thereon situated in said Portsmouth, and bounded and described as follows:

Southerly by Pine Street; Easterly by land of Carroll Shershun; Northerly by land of Martin J. Early; Margaret Tebbets, and Douglas and Carol Arey; and Westerly by land of Laurence and Bella Robbins.

Being the same premises being conveyed to Kostanty Zabrockij a/k/a Kostanty Zabrocki by Warranty Deed of Mary Coakley, dated October 28, 1919 and recorded in Rockingham County, Registry of Deeds in Book 734, Page 223.

We, Vinci Zabroski, Willis Gronski, Eleanor Zabroski (wife of said grantors, release to said grantee all rights husband) of (dower and homestead and other interests therein. curtsey)

Witness Our Hands and Seals this 11th day of July 1972.

WITNESS:

Janie Weinberg
Janie Weinberg
Janie Weinberg
John Cronin
John Cronin
Helen P. Bute
Helen P. Bute

Joseph K. Zabroski
Vinci Zabroski
Stella Carideo
Mary Gronski
Willis Gronski
John S. Zabroski
Eleanor M. Zabroski

STATE OF MASSACHUSETTS

COUNTY OF SUFFOLK

On this the TWELFTH day of July 1972, before me, NATHAN M. GOLDBERG the undersigned officer, personally appeared Joseph Zabroski and Vinci Zabroski known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same for the purpose therein contained.

In witness whereof I hereunto set my hand and official seal.

Nathan M. Goldberg
Notary Public
MASSACHUSETTS

N.P.S.

My commission expires:
NOTARY PUBLIC
MY COMMISSION EXPIRES
JAN. 7. 1977

Jul 26 9 21 AM '72
REC'D ROCKINGHAM COUNTY
REGISTRY OF DEEDS

14614

BK2157 PG031

STATE OF MASSACHUSETTS

SUFFOLK
COUNTY OF ~~WESTSEX~~

On this the ^{fourteenth} day of July 1972, before me, Nathan M. Godey the undersigned officer, personally appeared Stella Carideo (known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that they executed the same for the purpose therein contained.

In witness whereof I hereunto set my hand and official seal

NOTARY PUBLIC
MY COMMISSION EXPIRES
JAN. 7, 1977
NES.
My commission expires:

Nathan M. Godey
~~Justice of the Peace~~
Notary Public



STATE OF MASSACHUSETTS

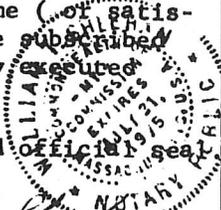
COUNTY OF ESSEX

On this the ~~Twenty~~ ^{FIRST} day of July 1972, before me, William T. Sheehan, the undersigned officer, personally appeared Mary Gronski and Willis Gronski known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same for the purpose therein contained.

In witness whereof I hereunto set my hand and official seal

Subscribed and sworn to before me this twenty first day of July, 1972. William T. Sheehan (my term expires 7/31/75)
Notary Public

N.P.S.
My commission expires:



STATE OF MASSACHUSETTS

COUNTY OF ESSEX

On this the ^{eleventh} day of July 1972, before me, Wallace T. Bates the undersigned officer, personally appeared John Zabroski and Eleanor Zabroski known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same for the purpose therein contained.

In witness whereof I hereunto set my hand and official seal.

My commission expires:

Wallace T. Bates
~~Justice of the Peace~~
Notary Public



THAT I, Mary Coakley of Portsmouth in the County of Rockingham and State of New Hampshire.

for and in consideration of the sum of ^{consideration} One Dollar and other valuable ^{to} Coakley
to me in hand, before the delivery hereof well and truly paid by ^{to} Constant Gabrockij
of said Portsmouth

the receipt whereof I do hereby acknowledge, have given, granted, bargained and sold, and by these presents do give, grant, bargain, sell, alien, enfeoff, convey and confirm unto the said Constant Gabrockij, his heirs and assigns forever, C. H. B. B. del. to by mail.

A certain lot of land with the buildings thereon situated in said Portsmouth, and bounded as described as follows: southerly by Pine Street; easterly by land of Sophia Leaver and land of one Drouve; westerly by land of Harry J. Freeman, and westerly by land formerly of Charles H. Cressman now owned or occupied by one Richard. Being the same premises conveyed to me by Isabelle J. Cleary, by her deed dated June 2, 1910, and recorded in Rockingham County Record Book 654 Page 212.

To have and to hold the said granted premises, with all the privileges and appurtenances to the same belonging, to him the said Constant Gabrockij and his heirs and assigns, to him and their only proper use and benefit forever. And I the said Mary Coakley and my heirs, executors and administrators, do hereby covenant, grant and agree, to and with the said Constant Gabrockij and his heirs and assigns, that until the delivery hereof I am the lawful owner of the said premises, and my seized and possessed thereof in my own right in fee simple; and have full power and lawful authority to grant and convey the same in manner aforesaid; that the said premises are free and clear from all and every incumbrance ^{except} whatsoever; and that I and my heirs, executors and administrators, shall and will warrant and defend the same to the said Constant Gabrockij and his heirs and assigns, against the lawful claims and demands of any person or persons whomsoever.

And I, Michael Coakley ^{husband} of the said Mary Coakley ^{wife} in consideration aforesaid, do hereby release my right of dower in the above mentioned premises.

And we and each of us do hereby release, discharge and waive all such rights of exemption from attachment and levy or sale on execution and such other rights whatsoever in said premises and to each and every part thereof, as our Family Homestead, as are reserved or secured to us, or either of us, by the Statute of the State of New Hampshire, passed July 4, 1851, entitled "An Act to exempt the Homestead of Families from attachment and levy or sale on execution," or by any other Statute or Statutes of said State.

In Witness whereof we have hereunto set our hands and seal, this twenty-eighth day of October in the year of our Lord one thousand nine hundred and ¹⁹ A. D. 1919.

SIGNED SEALED AND DELIVERED IN PRESENCE OF US:

Helena W. Linn.

Mary Coakley. (25)
Michael Coakley. (25)

STATE OF NEW HAMPSHIRE, ROCKINGHAM, ss. October 28, A. D. 1919.
Personally appeared the above named Mary Coakley and Michael Coakley and acknowledged the foregoing instrument to be their voluntary act and deed.
(G. P. Seal.) BEFORE ME. S. A. P. O. O.

... of ... in the county of Rockingham and State of New Hampshire married woman

For and in Consideration of the sum of One dollar to me in hand, before the delivery hereof, well and truly paid by Mary Coakley of the same Portsmouth

the receipt whereof I do hereby acknowledge, have given, granted, bargained and sold, and by these presents do give, grant, bargain, sell, alien, enfeoff, convey and confirm unto the said

Mary Coakley and her heirs and assigns forever,

def. to T.H. Sines my friend.

A certain lot of land with the dwellinghouse thereon situate in said Portsmouth upon the northern side of what was formerly known as West Park Street and now called Pine Street and being number 5 on said Street Bounded as follows viz: southerly by said street about one hundred and fifty (150) feet; easterly by land of Sophia Sears and land of one Drown one hundred and fifty (150) feet, northerly by land of Harry J. Freeman one hundred and fifty feet (150) and westerly by land formerly of Charles H. Freeman now owned or occupied by one Pearson one hundred and fifty feet (150).

Being the same premises conveyed to me by Calvin Page Trustee by deed recorded in Rockingham County Registry of Deeds.

To have and to hold the said granted premises, with all the privileges and appurtenances to the same belonging, to the said Coakley and her heirs and assigns, to her and their only proper use and benefit forever. And I the said Sabelle for myself and for my heirs, executors and administrators, do hereby covenant, grant, and agree to and with the said Coakley and her heirs and assigns, that until the delivery hereof I am the lawful owner of the said premises, and am seized and possessed thereof in my own right in fee simple; and have full power and lawful authority to grant and convey the same in manner aforesaid; that the said premises are free and clear from all and every incumbrance whatsoever; and that I and my heirs, executors and administrators, shall and will warrant and defend the same to the said Coakley and her heirs and assigns, against the lawful claims and demands of any person or persons whomsoever. And Horace A. Massey husband of said Sabelle J. Massey in consideration aforesaid, do hereby release my right of dower in the above mentioned premises.

And we and each of us do hereby release, discharge and waive all such rights of exemption from attachment and levy or sale on execution and such other rights whatsoever in said premises and in each and every part thereof, as our Family Homestead, as are reserved or secured to us, or either of us, by the Statute of the State of New Hampshire, passed July 4, 1851, entitled "An act to exempt the Homestead of Families from attachment and levy or sale on execution," or by any other Statute or Statutes of said State.

IN WITNESS WHEREOF, We have hereunto set our hand & seal & this Record day of June in the year of our Lord one thousand nine hundred and 1910.

Signed, sealed and delivered in presence of us:
William L. Fernald. } Horace A. Massey. (L.S.)
T.H. Sines. } Sabelle J. Massey. (L.S.)
Horace A. Massey Jr. } Charlotte M. Gladding. (L.S.)

STATE OF NEW HAMPSHIRE, Rockingham ss. June 25 A. D. 1910.
PERSONALLY appearing the above named Sabelle J. and Horace A. Massey and acknowledged the foregoing instrument to be their voluntary act and deed. — BEFORE ME,
T.H. Sines. Justice of the Peace.
Received and Recorded, June 14 - 9.50 A.M. 1910. NO M A C

Suffolk, ss.

May 9th A. D. 1908.

Personally appeared the above named Thomas J. Emery and acknowledged the foregoing instrument to be his voluntary act and deed - Before me

Geo. W. Estabrook

Justice of the Peace.

Received and Recorded Apr. 13, -4 P.M. 1910.

John W. A. Green Register

Deed
Page 1
Trust
Maggie
Del. to
Mrs. H. L. Maggery
By mail.

Know All Men By These Presents, That I, Calvin Page of Portsmouth in the County of Rockingham and State of New Hampshire, as I am trustee under the last will and testament of Nathan Jones, late of said Portsmouth, deceased, which will has been duly proved and allowed by the Probate Court for said County of Rockingham, for and in consideration of the sum of one dollar to me paid by Isabel J. Maggery of said Portsmouth, the receipt of which is hereby acknowledged, and because in my best judgment it is proper to make this conveyance, under and by virtue and in execution of the powers in said will contained, have bargained and sold, quit do hereby bargain, sell, release, and convey to the said Isabel J. Maggery, her heirs and assigns forever, a certain lot of land, with the dwelling house thereon, situated in said Portsmouth upon the westerly side of what was formerly known as West Park Street and is now called Pine Street, and being No. 1, on said street, bounded southerly by said street one hundred and fifty (150) feet, Easterly by land of Sophia Sears and land of one, Drowne, one hundred and fifty (150) feet, Northerly by land of Harry J. Green one hundred and fifty (150) feet and Westerly by land formerly of Charles H. Mendum, now owned or occupied by Mrs. Pearson, one hundred and fifty (150) feet.

The premises intended to be conveyed are the same described in the deed of Lydia W. White and others to the said Nathan Jones, dated August 16, 1889, and recorded in Registry of deeds for said County of Rockingham, Book 576, Page 291.

To Have And To Hold the above granted premises to her the said Isabel J. Maggery and to her heirs and assigns to her and theirs, sole use and benefit forever. In Witness Whereof, I have hereunto set my hand and seal this thirteenth day of July, A. D. 1909.
Signed, sealed and delivered
in presence of:

to perform and observe the condition of this deed, rendering the surplus if any, to them or their heirs and assigns; and they hereby for themselves and their heirs and assigns, covenant with the grantees, their survivors, Successors and assigns, that, in case a sale shall be made under the foregoing power, they will, upon request, execute and deliver to the purchaser or purchasers a deed or deeds of release confirming the sale.

And it is agreed that the grantees, its successors, assigns, or any person or persons in their behalf, may purchase at any sale made as aforesaid, and that no other purchaser shall be answerable for the application of the purchase money; and that until default in the performance or observance of some one of the conditions of this deed, they and their heirs and assigns may hold and enjoy the granted premises and receive the rents and profits thereof.

In Witness Whereof, We the said Leonard H. Pillsbury and Evelyn S. Pillsbury have set our hands and seals this twenty-second day of August, in the year One thousand eight hundred and eighty nine.

Signed and Sealed in presence of.

John Ballantyne to wit,
Charles W. Bell.

Leonard H. Pillsbury, 
Evelyn S. Pillsbury, 

Commonwealth of Massachusetts.

Essex, ss. August 22, 1889.

Then personally appeared the above named Leonard H. Pillsbury and Evelyn S. Pillsbury and acknowledged the foregoing instrument to be their free act and deed.

Before me,

Charles W. Bell,

Judge of the Peace.

Received and Recorded.
August 23, 1889.

Simon B. Hoyle
Register.

Know all men by these Presents, That Mr. Lydia A. White of Boston in the County of Suffolk and Commonwealth of Massachusetts, and Ella F. Shackford of Gelford in the County of Bermap and State of New Hampshire.

For and in consideration of the sum of One dollar and other valuable considerations to us in hand before the delivery hereof, well and truly paid by Nathan Jones of Portsmouth in the County of Rockingham in said State of New Hamp-

White Etal
to
Jones.
Oct. 8. 1889.

unto the said grantee his heirs and assigns forever.

A certain parcel of land with the buildings thereon, situated in Portsmouth aforesaid, and bounded as follows: Beginning on West Park St. and running westerly by land formerly of Ephraim Pickering, One hundred and fifty feet; thence Easterly one hundred and fifty feet; thence Southerly by land formerly of Sophia J. Moran One hundred and fifty feet; thence Westward by West Park St. to the point began at, One hundred and fifty feet.

Being the same premises formerly conveyed by Sarah L. Martin to Lydia A. White and Frank M. Shackford by her deed of July 10th, 1888, recorded in Rockingham Records, Book R 570 Folio 255.

To have and to hold the said granted premises, with all the privileges and appurtenances to the same belonging, to the said grantee and his heirs and assigns, to his and their only proper use and benefit forever. And we the said grantors and our heirs, executors, and administrators, do hereby covenant grant and agree to and with the said grantee and his heirs and assigns, that until the delivery thereof we are the lawful owners of the said premises and are seized and possessed thereof in our own right in fee simple, and have full power and lawful authority to grant and convey the same in manner aforesaid, that the said premises are free and clear from all and every incumbrance whatsoever, and that we and our heirs, executors and administrators, shall and will warrant and defend the same to the said grantee and his heirs and assigns against the lawful claims and demands of any person or persons whatsoever.

And I, Frank M. Shackford husband of the said Ella F. Shackford, and I, Henry White, husband of the said Lydia A. White, in consideration hereof, do hereby relinquish all of our rights in the before mentioned premises.

And we and each of us, do hereby release, discharge and waive all such rights of exemption from attachment and levy or sale on execution, and such other rights whatsoever in said premises, and in such and every part thereof, as our family homestead, or as a residuum or residue to us, or either of us, by the Statute of the State of New Hampshire, or any act, in amendment thereof, or any other statute of said State.

In Witness Whereof We have hereunto set our hands and Seals, this sixteenth day of August, in the year of our Lord, 1889.

Signed sealed and delivered in presence of us:

S. C. Clark,
J. H. Smith,
J. W. Emery,
J. W. Emery

Ella F. Shackford,
Frank M. Shackford,
Lydia A. White,
Henry White.

ES
ES
ES
ES

State of New Hampshire.

Bethnap, ss, Aug. 16th, A. D. 1889.

Prunella Chittenden, clerical name of Ella F. Shackford

That Sarah L. Martin of Portsmouth in the County of
Rockingham and State of New Hampshire.

for and in consideration of the sum of *One dollar*

to my hand before the delivery hereof, well and truly paid by *Sydia A. White of Boston in
the State of Massachusetts, and Frank M. Shackford of
Laconia in the County of Belknap, and State of New Hampshire*

*Martin
to
White et al*

have remised, released and forever Quitclaimed, and by these presents do remise, release and forever quitclaim unto the said
Sydia A. White & Frank M. Shackford - heirs and assigns forever.

*Delivered to
M. Bufford.*

All my right, title and interest in and to a certain parcel of land
with the buildings thereon situated in said Portsmouth and bounded
as follows: beginning on West Park Street and running westerly by
land formerly of Ephraim Pickering one hundred and fifty feet,
thence Easterly one hundred and fifty feet, thence Southerly by land
formerly of Sophia J. Moran one hundred and fifty feet, thence
Westerly by West Park Street to the point began at, one hundred
and fifty feet.

Being the same premises conveyed to Joseph L. Martin by Sydia
A. White and others by deed Oct 21, 1878, and recorded in
Rockingham Records Liber 510 Folio 36

To HAVE and to HOLD the said premises, with all the privileges and appurtenances thereunto belonging, to the said
White and Shackford, their heirs and assigns forever; and *I*

do hereby covenant with the said *White and Shackford*

that I will warrant and defend the said premises to *them* the said *White and Shackford*
and their heirs and assigns, against the lawful claims and demands of

any person or persons claiming by, from or under *me*.

And I, *Marcellus Bufford* wife of said *Sydia A. White* for

the consideration aforesaid, do hereby release my right of dower in said premises.

And we, the said *and each of us* do hereby release discharge and waive all such
rights of exemption *from attachment and levy or sale on execution*

in consideration aforesaid, do hereby grant and release to said
and such other rights whatsoever in said premises, and in each and every part
all the right, title, interest, claim or demand which we, or either of us have in or to the above described premises, by virtue of an act of
the Legislature of the State of New Hampshire, entitled "An act to exempt the Homestead of Families from attachment and levy or sale
of the State of New Hampshire, passed July 4, 1851,

IN WITNESS WHEREOF I have hereunto set my hand and seal, this *twelfth* day of
July in the year of our Lord 1888 *one thousand eight hundred and eighty eight*

SIGNED, SEALED AND DELIVERED IN PRESENCE OF US:

*Marcellus Bufford
John J. Laskey*

Sarah L. Martin

State of New Hampshire, Rockingham, ss. *July 10,* A. D. 1888

Personally appeared the above named *Sarah L. Martin*

and acknowledged the foregoing instrument to be her voluntary act and deed.

Before me: *On the tenth day of July, 1888.*
Marcellus Bufford

That We Lydia Ann White, of Boston in the State of Massachusetts, and Mary Jane Shackford, of Lake Village, in the State of New Hampshire.

White & Co
to
Martin

for and in consideration of the sum of *one dollar*
to us in hand before the delivery hereof, well and truly paid by *Joseph L. Martin of Portsmouth, in the County of Rockingham and State of New Hampshire,*

Delivered to
M. Bufford
mail.

have remised, released and forever Quitclaimed, and by these presents do remise, release and forever quitclaim unto the said *Joseph L. Martin, and his* heirs and assigns forever.

A certain parcel of land with the buildings thereon situated in said Portsmouth, and bounded as follows: beginning on West Park Street and running northerly by land of Ephraim Pickering, one hundred and fifty feet, thence Easterly by land of Joseph L. Martin, and Phineas D. Hoyt, one hundred and fifty feet, thence Southerly by land of Sophie J. Moran, one hundred and fifty feet, thence Westerly by West Park Street, to the point begun at one hundred and fifty feet.

To HAVE and to HOLD the said premises, with all the privileges and appurtenances thereunto belonging, to the said *Joseph L. Martin his* heirs and assigns forever; and we do hereby covenant with the said *Joseph L. Martin,* that we will warrant and defend the said premises to *him* the said *Joseph L. Martin,* his heirs and assigns, against the lawful claims and demands of

any person or persons claiming by, from or under us
And we the Husbands *of said* grantors for

the consideration aforesaid, do hereby release my right of dower in said premises.
And we, the said *all and each of us* and

wife of said *Joseph L. Martin,* in consideration aforesaid, do hereby grant and release to said *Joseph L. Martin,* all the right, title, interest, claim or demand which we, or either of us have in or to the above described premises, by virtue of an act of the Legislature of the State of New Hampshire, entitled "An act to exempt the Homestead of Families from attachment and levy or sale on execution," passed July 4, 1851.

In WITNESS WHEREOF we have hereunto set our hands and seals, this *twenty first* day of *October,* in the year of Lord 18*58.*

SIGNED, SEALED AND DELIVERED IN PRESENCE OF US:
Mary A. Wallae, Emma White, Lydia A. White (L.S.)
S. C. Clark, } To Mr + Mrs. } Lemmy White (L.S.)
E. H. Blaisdell, } Shackford, } Mary Jane Shackford (L.S.)
Beknap, } Nathaniel Shackford (L.S.)
State of New Hampshire, *Rockingham, ss. October 24th 1858* A. D. 18*58.*

Personally appeared the above named *Mary Jane Shackford and Nathaniel Shackford,* and acknowledged the foregoing instrument to be *their* voluntary act and deed.

Before me:
S. C. Clark,

Justice of the Peace.

Co. of Massachusetts, County of Suffolk, October 31, 1858.
I, the undersigned, Henry White and Lydia A. White, do hereby acknowledge the within instrument to be their act and deed, before me, J. Hammon, Justice of the Peace.

tenor of a certain note given by said Sarah Huntington, bearing date even
herewith said last mentioned sum of three hundred and twenty dollars, with-
out interest thereon, then this deed and also said note shall be void otherwise
they shall remain in full force.

In witness whereof I the said Sarah Huntington have hereunto set
my hand and seal this Eleventh day of March in the year of our Lord
one thousand eight hundred and fifty three.

Executed and delivered
in presence of us } Sarah Huntington. (L.S.)
Parker Merrill
C. W. Huntington.

State of New Hampshire, Rockingham ss March 11. 1853. Then the
aforenamed Sarah Huntington personally acknowledged the afore written
instrument by her signed and sealed to be her deed.

Before me, Parker Merrill, Justice of the Peace.

Received and Recorded March 19. 1853.

J. Hamilton Shapley, Register.

White
to
White
Oculus Approp.

Now all men by these presents, that I William White of Haver-
hill, in the County of Essex and Commonwealth of Massachusetts, yeoman
in consideration of one hundred and sixty seven dollars \$167 paid by Lydia
White, of Haverhill aforesaid, single woman, the receipt whereof I do hereby
acknowledge, have remise, released, and forever quit claimed, and do for my-
self and my heirs by these presents remise, release, and forever quit claim, unto
the said Lydia White, her heirs and assigns, all my right title & interest & claim
in & to a lot of land situate in Salem in the County of Rockingham and State
of New Hampshire, containing about twenty six acres and 14 3/4 rods. Also all my
right & title to about one hundred acres of land, being number fifteen, sixth
range, second division right of Reuben French, in Warren, in the County of
Drafton in said State. Also lot number twenty five, third division, right of
said French containing about seventy acres in Warren aforesaid. The said pieces
or lots being my part of my inheritance thereof, in the estate of my late sister,
Fanny Whittier.

To have and to hold the afore-mentioned premises, with all the privileges so
and appertinances thereunto belonging, to her the said Lydia White her
heirs and assigns to her & their use forever, so that neither I the said William
White, nor my heirs or any other person or persons, claiming from or under me,
or them, or in the name, right, or stead of me, or them, shall or will, by any way
or means, have, claim, or demand, any right or title, to the aforesaid premises
or their appertinances, or to any part or parcel thereof, forever.

In witness whereof I the said William White, and I Priscilla White
wife of said William, in token of relinquishment of dower have hereunto set
our hands and seals this ninth of February, in the year of our Lord one thou-
sand eight hundred and twenty seven.

Signed, Sealed, and delivered
in presence of us } William White (L.S.)
Priscilla White (L.S.)

Emily Stacey.
 State of New Hampshire
 Rockingham ss. July 13, 1909.
 Then personally appeared ete above named Catharine
 Page, Trustee under ete will of Nathaniel Jones, and
 acknowledged ete foregoing instrument to be his
 free act and deed.

Before me,
 Howard W. Wilson
 Justice of the Peace.

Received and Recorded April 19 - 3.40 P.M. 1910.

John W. A. Green Register

Know all men by these presents that I Catherine Beede
 wife of Alpheus Beede within named in consideration of
 one dollar to me paid by William S. Farrow within
 named do hereby release to said William S. Farrow all
 my right of dower in the within described premises.
 In witness whereof I have hereto set my hand and
 seal this 14 day of May A. D. 1891.

Signed sealed & delivered
 in presence of

Catherine Beede (ES)
 Edwin A. Beede

Release
 of Dower.
 Beede

to
 Farrow.

del. to
 J. K. & B. J. Burtlett

See B. - 493

P. - 275.

Received and Recorded April 2-10 A. M. 1910.

John W. A. Green Register

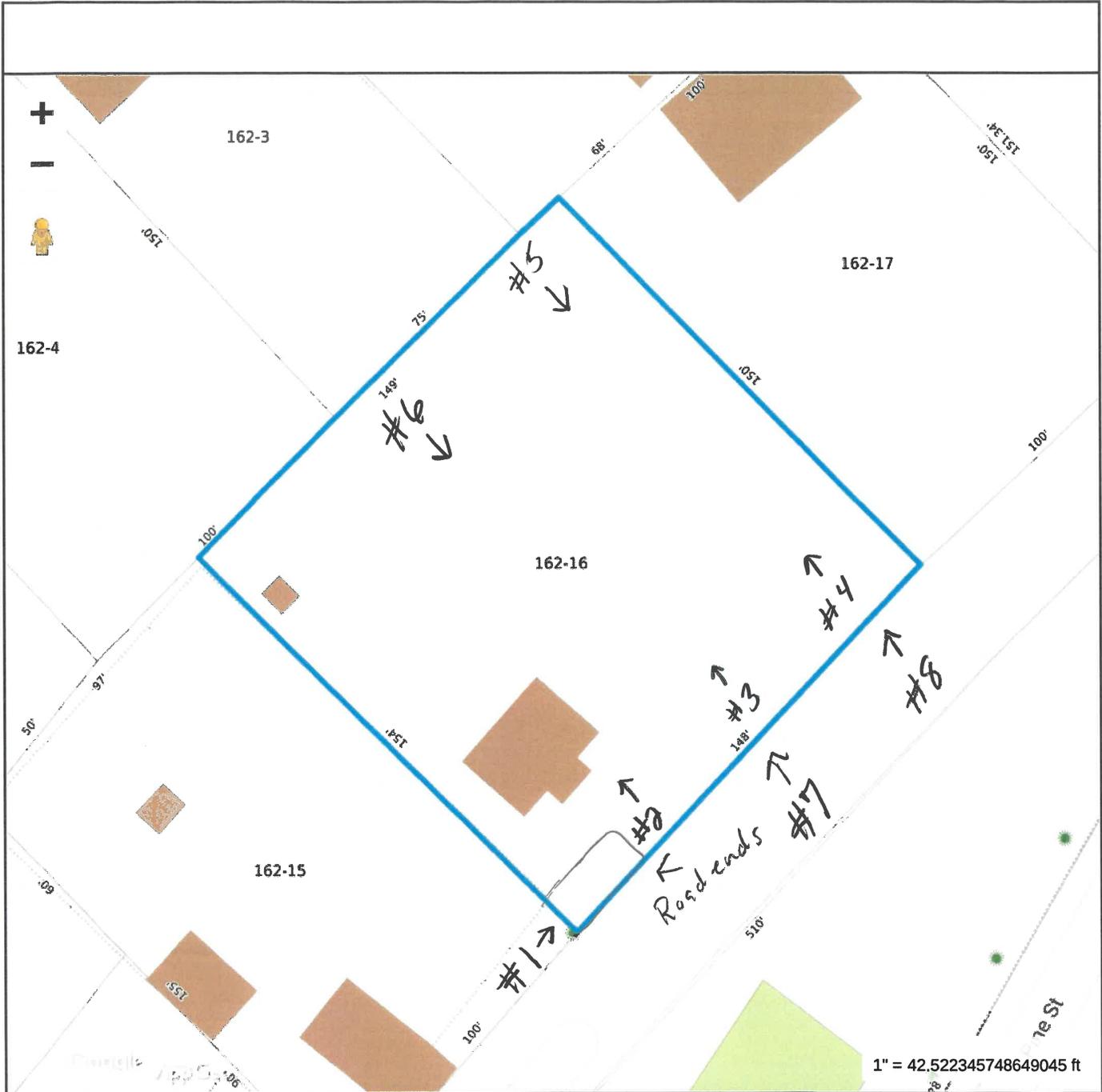
Know all Men by these Presents,
 That we, John S. Smith of the County of Rockingham and State of New Hampshire, and
 Mary E. Smith of ete same County wife of ete said John S. Smith, in consideration of One Thousand
 dollars paid by George S. Webster of ete same County ete receipt whereof we do hereby acknowledge, do
 hereby give, grant, bargain, sell and convey, with ete
 said George S. Webster his Heirs and Assigns forever.

A certain piece or parcel of land situated in said
 County and bounded and described as follows, viz:
 On the north by land of Benjamin Hill on the
 west by land of Daniel C. Treble on the north by
 land of Samuel Wagon and Frederick Wagon
 the east by land of ete heirs of George Warden containing
 thirty acres more or less, being precisely ete same
 premises conveyed to John S. Smith by Benjamin
 Spofford, Mary his wife, Benjamin T. Spofford and
 Abbie S. his wife, by eteir deed of warranty dated

Mortgage.
 Smith

to
 Webster
 del. to
 Call for

Revised and Renewed Apr. 25-1911. John W. A. Green Register
 Charles N. J. April 14th 1911.
 The within mortgage having been for
 in full & hereby discharge the same
 George S. Webster



| Property Information | |
|----------------------|-----------------|
| Property ID | 0162-0016-0000 |
| Location | 77 MEREDITH WAY |
| Owner | COLLINS RANDI |


MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.
 Geometry updated 4/1/2019
 Data updated 7/17/2019

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

#1

01 21 2022



01 21 2022

17



#3

01 21 2022



#4

01 21 2022



#5

01 21 2022





#6

01 21 2022



01 21 2022



#8

01 21 2022

#9

01 21 2022



CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

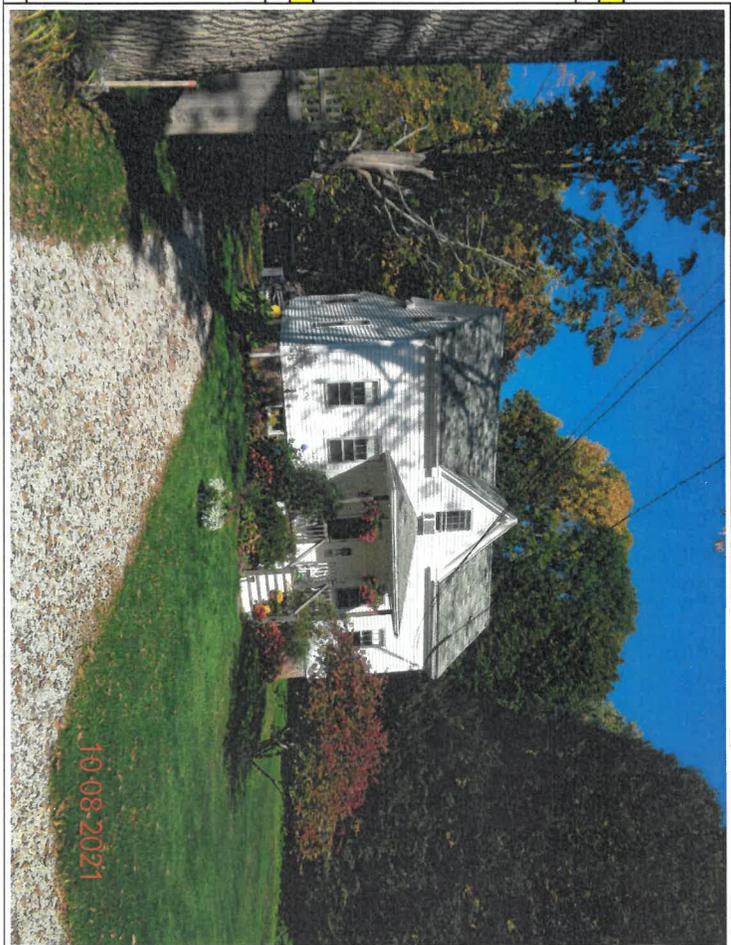
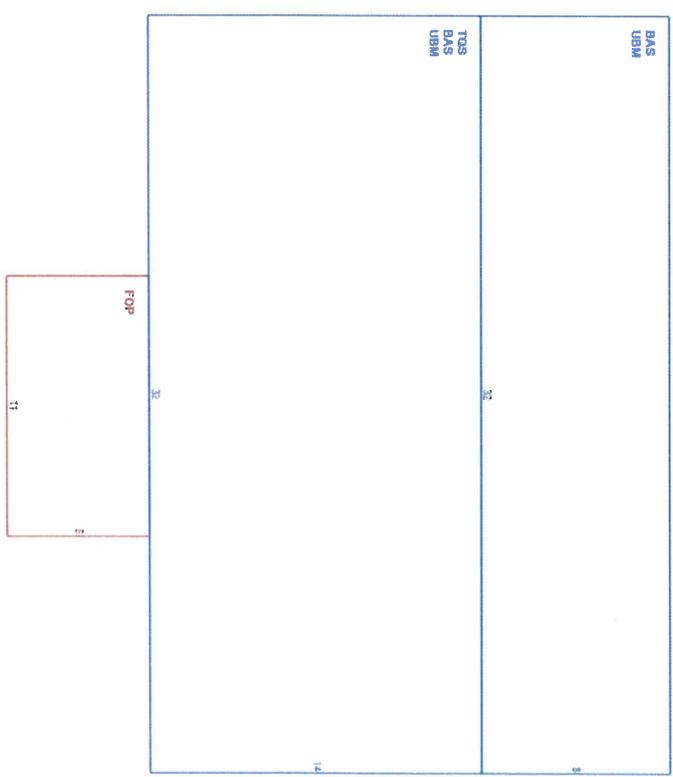
| Element | Cd | Description | Element | Cd | Description |
|---------------------|------|--------------------------|---------|----|-------------|
| Style: 06 | 01 | Conventional Residential | | | |
| Model: 01 | C+ | C+ | | | |
| Grade: C+ | 1.75 | | | | |
| Stories: 1 | | | | | |
| Occupancy 1 | | | | | |
| Exterior Wall 1 25 | | Vinyl Siding | | | |
| Exterior Wall 2 | | | | | |
| Roof Structure: 03 | | Gable/Hip | | | |
| Roof Cover 03 | | Asph/F Gls/Cmp | | | |
| Interior Wall 1 03 | | Plastered | | | |
| Interior Wall 2 | | | | | |
| Interior Fir 1 14 | | Carpet | | | |
| Interior Fir 2 20 | | Laminate Wood | | | |
| Heat Fuel 02 | | Oil | | | |
| Heat Type: 02 | | Warm Air | | | |
| AC Type: 01 | | None | | | |
| Total Bedrooms 02 | | 2 Bedrooms | | | |
| Total Bthrms: 1 | | | | | |
| Total Half Baths 0 | | | | | |
| Total Xtra Fixtrs 0 | | | | | |
| Total Rooms: 6 | | | | | |
| Bath Style: 1 | | Avg Quality | | | |
| Kitchen Style: 1 | | Avg Quality | | | |
| Kitchen Gr | | | | | |
| WB Fireplaces 0 | | | | | |
| Extra Openings 0 | | | | | |
| Metal Fireplace 0 | | | | | |
| Extra Openings 0 | | | | | |
| Brnt Garage | | | | | |

| MIXED USE | | |
|-----------|--------------------|------------|
| Code | Description | Percentage |
| 1010 | SINGLE FAM MIDL-01 | 100 |
| | | 0 |
| | | 0 |

| COST / MARKET VALUATION | | |
|--------------------------|--|---------|
| Adj. Base Rate | | 175.55 |
| Building Value New | | 209,605 |
| Year Built | | 1870 |
| Effective Year Built | | 1990 |
| Depreciation Code | | GD |
| Remodel Rating | | |
| Year Remodeled | | |
| Depreciation % | | 29 |
| Functional Obsol | | |
| External Obsol | | |
| Trend Factor | | 1 |
| Condition | | |
| Condition % | | 71 |
| Percent Good | | 148,800 |
| RCNLD | | |
| Dep % Ovr | | |
| Dep Ovr Comment | | |
| Misc Imp Ovr | | |
| Misc Imp Ovr Comment | | |
| Cost to Cure Ovr | | |
| Cost to Cure Ovr Comment | | |

| OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B) | | | | | | | | | | | |
|--|-------------|----|-------|------------|---------|-------|----|------|-------|------------|-------------|
| Code | Description | VB | Units | Unit Price | Yr. Bit | Cond. | Cd | % Gd | Grade | Grade Adj. | Appr. Value |
| WDK | WOOD DECK | L | 100 | 13.00 | | A | | 50 | C | 1.00 | 700 |

| BUILDING SUB-AREA SUMMARY SECTION | | | | | | |
|-----------------------------------|----------------------|-------------|------------|----------|-----------|----------------|
| Code | Description | Living Area | Floor Area | Eff Area | Unit Cost | Undeprec Value |
| BAS | First Floor | 704 | 704 | 704 | 175.55 | 123,586 |
| FOP | Porch, Open | 0 | 66 | 13 | 34.58 | 2,282 |
| TOS | Three Quarter Story | 336 | 448 | 336 | 131.66 | 58,984 |
| UBM | Basement, Unfinished | 0 | 704 | 141 | 35.16 | 24,752 |
| Ttl Gross Liv / Lease Area | | 1,040 | 1,922 | 1,194 | | 209,604 |





CITY OF PORTSMOUTH

Assessors Office

Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801
Tel: (603) 610-7249 – Fax: (603) 427-1579

To: Dexter Legg, Chair Planning Board
Cc: Karen S. Conard, City Manager
From: Rosann Lentz, City Assessor *Rosann Lentz*
Date: January 3, 2022
RE: City Council Referral- Request of Restoration of Involuntarily Merged Lots to pre-merger status at 77 Meredith Way

At its meeting on November 15, 2021, the City Council considered a request from R. Timothy Phoenix and Monic F. Keiser, on behalf of their client property owners Jeff and Rand Collins, requesting the restoration of involuntarily merged lots at 77 Meredith Way Map 162 Lot 16 to their pre-merger status pursuant to NH RSA 674:39-aa. The Council voted to refer to the Planning Board and Assessor for report back.

Description

Current assessment records identify the parcel as having .52 acres with a 2 bedroom 1 bath single family dwelling built around 1870 located on the parcel. Older assessment records dating back to the 50's identified the parcels as Tax Map 89 Lot 45.

History

Deeds: According to the deeds researched back to 1853 in the chain of title, this above property was described as one parcel of land. Deeds in the chain of title dated between June 14, 1919 through October 25, 1878 describe one parcel of land with metes and bounds not referencing a plan or identify separate lots in any meaning or intending to convey statement.

Property Assessment Records:

1950's assessment records indicate 15,000 sqft lot identified as Map 89 Lot 45. Later assessment records identify one lot with 22,500 sqft.

Court Decisions

Upon review of various New Hampshire court decisions concerning the denial of restorations of lots, the courts have held that the conveyance of multiple lots in a single deed does not, standing alone, support a voluntary merger Roberts v. Town of Windham, 165 N.H. 186,192 (2013).

Summary

The description of the parcel of land within the chain of title does not refer to the conveyance of multiple lots as discussed in the above court decision. These deeds describe a single parcel of land with a metes and bounds description and no reference to other lots or a subdivision within the conveyance. Taking the above into consideration the request for restoration does not meet the requirements of RSA 674:39-aa.



CITY OF PORTSMOUTH

Assessors Office

Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801
Tel: (603) 610-7249 – Fax: (603) 427-1579

To: Dexter Legg, Chair Planning Board
Cc: Karen S. Conard, City Manager
From: Rosann Lentz, City Assessor *Rosann Lentz*
Date: January 19, 2022
RE: City Council Referral- Request of Restoration of Involuntarily Merged Lots to Pre-Merger Status at 77 Meredith Way – Additional Review

Please accept this memo as additional information and further explanation of my prior review on the request for the Restoration of Involuntarily Merged Lots on the above referenced property.

1. The original conveyance of the subject property going back to 1878 does not describe 3 lots within the “meaning and intending to convey” area of the deed nor does it reference a plan. In the Roberts v. Town of Windham appeal, lots within the current deed or prior deeds were identified individually or referred back to in a prior conveyance.
2. The location of the dwelling depicted on Exhibit C of the taxpayer’s request shows the dwelling falling at the end of Meredith Way. The two remaining lots do not front the paved/developed part of Meredith Way. Thus the redevelopment of West Park Street (Depicted in Exhibit D submitted by the Collins’s) to Meredith Way reasonably supports that 77 Meredith Way is as a single lot.
3. A meeting held with Attorney Sullivan supports my findings that 77 Meredith Way does not meet the requirements RSA 674:39-aa.

HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480
Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

January 20, 2022

Peter Britz and
Portsmouth Planning Board
City of Portsmouth
One Junkins Avenue
Portsmouth, NH 03801

RE: **Restoration of Involuntary Merged Lots RIML-21-5**
Jeff & Randi Collins
77 Meredith Way, Map 162, Lot 16

Dear Mr. Britz and Planning Board Members:

On behalf of Jeff and Randi Collins, (“Collins”), we submit the following response to City Assessor Lentz’s Memorandum with respect to Collins’ Application for Un-Merger of 3 lots located at 77 Meredith Way (the “Property”) which were involuntarily merged by the City of Portsmouth. Ms. Lentz’s sections are reproduced below followed by our response in **bold** text.

Description

Current Assessment Records identify the parcel as having .52 acres with a 2 bedroom 1 bath single family dwelling built around 1870 located on the parcel. Older assessment records dating back to the 50’s identified the parcels as Tax Map 89, Lot 45.

RESPONSE: Respectfully, the Assessor’s description is incomplete. These combined lots measure 150 ft. by 150 ft. We also obtained a tax card from the 1950s demonstrating the Property was identified as Map 89/Lot 45, but it contained an incomplete description. (Exhibit E to original submission). The 1950s tax card describes a lot that has 100 ft. of frontage and 150 ft. depth and omits another lot with frontage of 50 ft. and a depth of 150 ft. which would have been assigned a separate lot number. Tax Maps from 1927, 1935, and 1956 also depict the Property as two lots: one that is 100 ft. by 150 ft. and another that is 50 ft. by 150 ft. The 1935 Tax Map assigns lot number 45 to the larger lot and lot number 46 to the smaller lot. Later tax cards (1972 and 1983-86) describe a primary site and a secondary site on the same card associated with Map 89, Lot 45. Based on this information, it is clear that the City treated the Property as two separate lots, even when consolidated on one tax card.

| | | | |
|---------------------|----------------------------|----------------------|---------------------|
| DANIEL C. HOEFLE | R. PETER TAYLOR | MONICA F. KIESER | AMANDA M. FREDERICK |
| R. TIMOTHY PHOENIX | KIMBERLY J.H. MEMMESHEIMER | SAMUEL HARKINSON | OF COUNSEL: |
| LAWRENCE B. GORMLEY | KEVIN M. BAUM | JACOB J.B. MARVELLEY | SAMUEL R. REID |
| STEPHEN H. ROBERTS | GREGORY D. ROBBINS | DUNCAN A. EDGAR | JOHN AHLGREN |

History

Deeds: According to the deeds researched back to 1853 in the chain of title, this above property was described as one parcel of land. Deeds in the chain of title dated between June 14, 1919 through October 25, 1878 describe one parcel of land with metes and bounds not referencing a plan or identify separate lots in any meaning and intending to convey statement.

RESPONSE: We have confirmed that the Assessor did not independently research the chain of title and relies solely on the Deed Chain provided as Exhibit G to our original submission dates, which dates back to 1878¹, not 1853. The Plan of Elm Place created in 1856 created the original three lots identified as Lots 55, 56, and 57. We agree that all deeds since 1878 describe the perimeter measuring 150 ft. by 150 ft. without reference to lots on a plan, but as discussed in our initial submission, the mere description of the Property as one parcel alone is not enough for a municipality to meet its burden of demonstrating an overt act of merger. Roberts v. Windham, 165 N.H. 236 (2013). Rather, the perimeter description was a matter of simplicity. This is underscored by the subsequent building constructed on the lot at one end of the combined lots, rather than a central location.

Property Assessment Records

1950's assessment records indicate [a] 15,000 s.f. lot identified as Map 89, Lot 45. Later assessment records identify one lot with 22, 500 s.f.

RESPONSE: As discussed *supra*, the 1950s assessment records identifying a 15,000 s.f. as Map 89, Lot 45 clearly missed another lot, identified on the 1935 Tax Map as Map 89, Lot 46, which contained 7,500 s.f. It is not accurate that later assessment records identify one lot with 22,500 s.f. The 1972 tax card describes an H-Lot (.23 acres) and a rear lot (.29 acres), while the 1983-86 cards describe a primary site (15,287 s.f.) and a secondary site (7,500 s.f.) on the same card associated with Map 89, Lot 45. Based on this information, it is clear that the City treated the Property as two separate lots, even if consolidated on one tax card.

Court Decisions

Upon review of various New Hampshire court decisions concerning the denial of restoration of lots, the courts have held that conveyance of multiple lots in a single deed does not, standing alone, support a voluntary merger Roberts v. Town of Windham, 165 N.H. 186, 192 (2013).

RESPONSE: The Assessor's statement that conveyances of multiple lots in a single deed is not the sole issue presented by these facts, nor the end of the inquiry under New

¹ Our letter misstates 1878 as 1898.

Hampshire law. The facts here involve an 1856 subdivision creating three lots, construction of a home centered on one of those lots, a subsequent conveyance of the three combined lots via a single metes and bounds description of the perimeter, and municipal records demonstrating the existence of two lots from 1927 to the early 1990s. New Hampshire Courts have determined that a deed description containing a metes and bounds description of a single parcel is not enough to for a municipality to meet its burden of demonstrating voluntary lot merger under RSA 674:39-aa, II. Roberts v. Town of Windham, 165 N.H. 186, 192 (2013). Instead, the courts consider several factors, including the legal description of the land and the “meaning and intending to convey” clause of the deed, but also the physical characteristics of the lot, including building placement, and the conduct of the owners. Id. Here the small home is sited on approximately one-third of the combined parcel leaving two-thirds of it vacant and the municipality treated the parcel as two lots – one with approximately 7500 s.f. (approximately 1/3) and the other with approximately 15,287 s.f. (approximately 2/3). The municipality has not produced any evidence that previous owners requested merger of the two lots shown on tax maps since 1927, nor has it demonstrated that any previous owner occupied the lot in a manner demonstrating an intent to merge the two lots shown in municipal records from 1927 until the early 1990s.

Summary

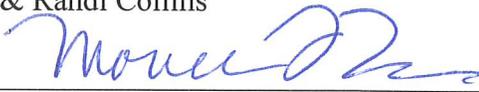
The description of the parcel of land within the chain of title does not refer to the conveyance of multiple lots as discussed in the above court decision. These deeds describe a single parcel of land with a metes and bounds description and no reference to other lots or a subdivision within the conveyance. Taking the above into consideration the request for restoration does not meet the requirements of RSA 674:39-aa.

RESPONSE: The court decisions section of Ms. Lentz’s memorandum sets forth the accurate holding of Roberts v. Windham, 165 N.H. 186 (2013) and its progeny: that the deed description is but one of several factors considered by a court in evaluating whether a previous owner merged lots. Despite correctly summarizing the holding of the case, the recommendation against unmerger is erroneously based solely on the previous deed descriptions of the Property, and no consideration of other factors, thus contravenes the holding of Roberts v. Windham. It is the municipality’s burden to demonstrate a previous owner merged these lots. RSA 674:39-aa, II(b). If the municipality cannot demonstrate

that the current or prior owners of the Property merged the lots, then the Council is required to restore the lots to their pre-merger status. Id. Based upon the foregoing information and evidence, the Property is originally shown as three lots in 1856 and as two lots on the 1927, 1935, and 1956. At a subsequent point, these lots were involuntarily merged into the single lot depicted on the current tax map and tax card. Accordingly, Collins has met the requirements for unmerger.

We respectfully request that the Council grant the Unmerger Application and restore the Property to its pre-merger status as two lots (approximately +/-7,500 s.f. lot with the home and a +/-15,287 s.f. vacant lot according to premerger tax cards; +/-7500 s.f. and +/-14,900 s.f. per current survey) as required by RSA 674:39aa (II).

Respectfully submitted,
Jeff & Randi Collins

By: 
R. Timothy Phoenix
Monica F. Kieser

cc: Jeff & Randi Collins
Karen Conard, City Manager
Rosann Maurice-Lentz
Robert P. Sullivan, City Attorney



CITY OF PORTSMOUTH

Assessors Office

Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801
Tel: (603) 610-7249 – Fax: (603) 427-1579

To: City of Portsmouth Planning Board
Cc: Karen S. Conard, City Manager
From: Rosann Lentz, City Assessor, *Rosann Lentz*
Date: January 20, 2022
RE: City Council Referral- Request of Restoration of Involuntarily Merged Lots to pre-merger status at 135 Thaxter Road – RIML-21-2

In response to Monica F. Keiser letter dated January 20, 2022. RSA 674:39-aa II states “Lots or parcels that were involuntarily merged prior to September 18, 2010 by a city, town, county, village district, or any other municipality, shall at the request of the owner, **be restored to their premerger status** and all zoning and tax maps shall be updated **to identify the premerger boundaries** of said lots or parcels **as recorded at the appropriate registry of deeds**.” Ms. Keiser is requesting to unmerge based on tax billing and tax maps. This request differs from the subdivision provided to show the property’s pre-merger status.

Tax bills and tax maps are not legal representations of a property. Deeds, mortgages, and other land documents that are typically recorded at the registry of deeds identify the legal description of the boundaries of lots or parcels. If the City of Portsmouth Planning Board chooses to recommend the unmerging of 77 Meredith Way, it would be three lots not two.

London Bridge South INC

12-27-21

Sender: Joel Asadoorian Construction supervisor

Property Address : 00 Falkland Way *Portsmouth NH*

Dear Recipient:

London Bridge south inc. is formally requesting a 1 year extension for the approval granted on 00 Falkland Way for a 4 unit townhouse building. The current expiration conditions of the approval is January 20,2022 and we are requesting that the new deadline for conditions to be met would be January 20,2023.

Reason for request: The original owners Raleigh Way Holding Group, LLC did the lot mergers and recording for the subdivision and transfer ownership to us in mid to late November of this year. At that time, we immediately submitted the drawing to our architect and applied for a building permit in early December after some delay and difficulty with the town of Portsmouth permitting portal. Within a couple days Myself and my team got covid and were unable to correspond with the appropriate departments in a reasonable manor to progress things forward fast enough to meet the new deadline. After conversation with the town engineer and building inspector they feel they may not be able to do the appropriate reviews and issue a building permit in such a short time from now and suggested we should be getting an extension.

Sincerely, Joel Asadoorian Construction supervisor London Bridge South

Your Name



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

PLANNING BOARD

January 26, 2021

James McSharry
Raleigh Way Holding Group, LLC
1 Middle Street, Suite 1
Portsmouth, NH 03801

RE: Site Plan Review Approval for properties located at 0 Falkland Way (at Saratoga Way and Albacore Way)

Dear Mr. McSharry:

The Planning Board, at its regularly scheduled meeting of **Thursday, January 21, 2021**, considered your application for Site Plan Review approval for the demolition of an existing garage and shed and the construction of a new 4-unit residential building on merged lots with associated parking, stormwater management, lighting, utilities and landscaping. Said property is shown on Assessor Map 212 Lots 112 & 113 and lies within the General Residence B (GRB) District. As a result of said consideration, the Board voted to **grant** Site Plan Review approval as presented.

The owner shall submit a request for voluntary lot merger to the Planning Department for approval prior to the execution of the site plan review agreement. The lot merger, site plan, and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

This site plan approval shall not be effective until a site plan agreement has been signed satisfying the requirements of Section 2.12 of the City's Site Review Approval Regulations.

Unless otherwise indicated above, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

The Planning Director must certify that all stipulations of approval have been completed prior to issuance of a building permit unless otherwise indicated above.

This site plan approval shall expire unless a building permit is issued within a period of one (1) year from the date granted by the Planning Board unless an extension is granted by the Planning Board in accordance with Section 2.14 of the Site Review Regulations.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Dexter R. Legg". The signature is written in a cursive, flowing style.

Dexter R. Legg, Chairman of the Planning Board

cc: Robert Marsilia, Chief Building Inspector
Rosann Maurice-Lentz, City Assessor

Peter H. Rice, Director of Public Works

Alex Ross, PE

Site Plan Review

Saratoga Way, Lots 112 & 113

Portsmouth, New Hampshire

PREPARED FOR:

Raleigh Way Holding Group, LLC

PREPARED BY:

ROSS ENGINEERING, LLC

Civil/Structural Engineering
& Surveying

909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

LIST OF PROJECT PLANS:

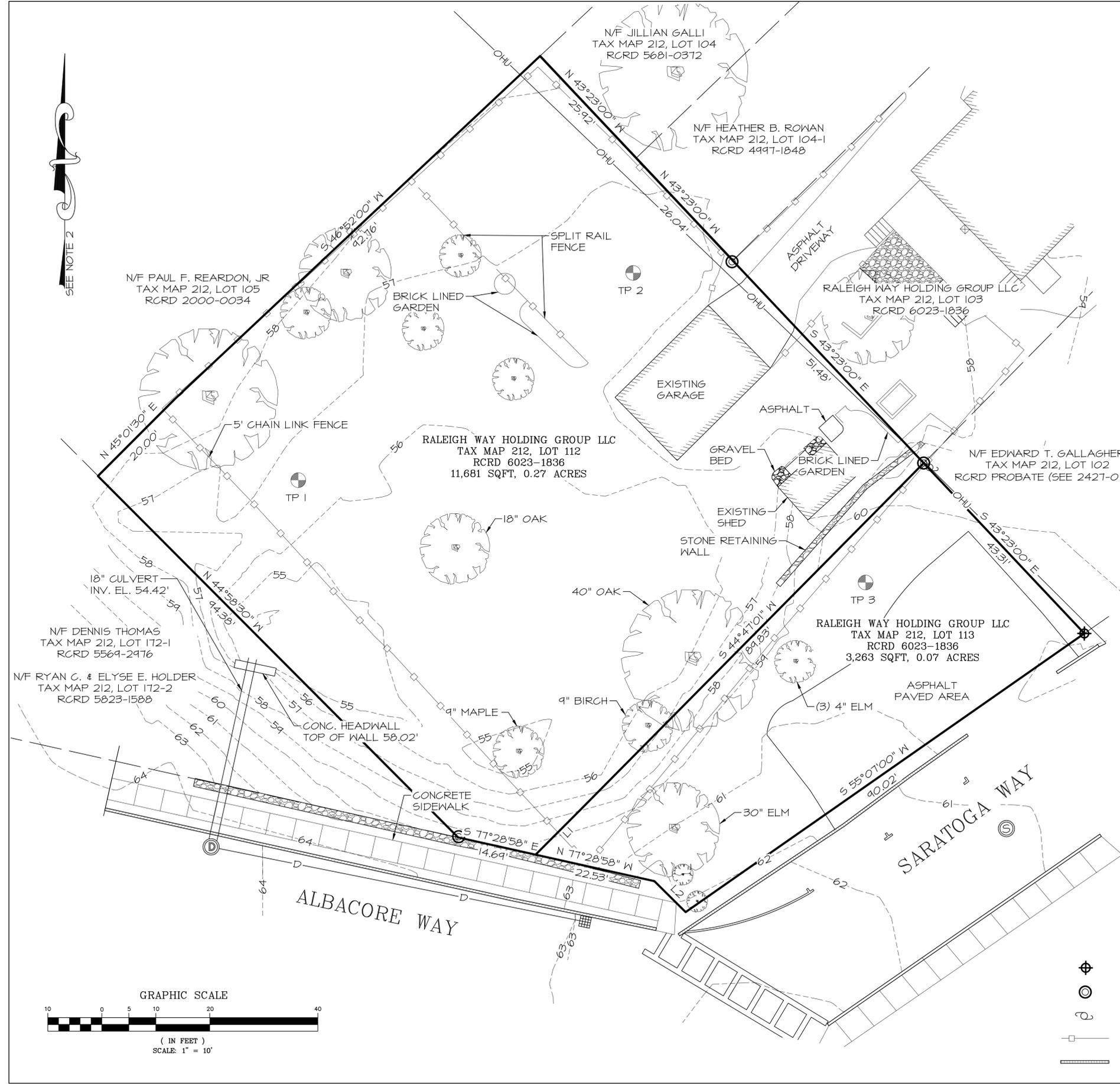
SITE PLAN SET

- 1 - Existing Conditions
- 2 - Site Plan
- 3 - Utility Plan
- 4 - Grading & Drainage
- 5 - Landscape Plan
- 6 - Roadway Plan
- 7 - Erosion Control Plan
- 8 - Details
- 9 - Pavement Details
- 10 - Notes

ARCHITECTURAL PLAN SET

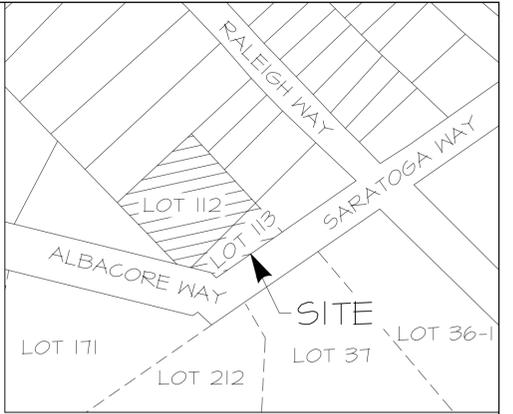
- Color Rendering
- A1 - Proposed West & East Elev.
- A2 - Proposed South & North Elev.
- A3 - First Floor Plan
- A4 - Second Floor Plan
- A5 - Third Floor (Attic) Plan
- A6 - First Floor Plan, Unit #1

January 7, 2021



NOTES

- 1) OWNER OF RECORD:
 RALEIGH WAY HOLDING GROUP LLC
 1 MIDDLE STREET SUITE 1
 PORTSMOUTH, NH 03801
 SITE LOCATION:
 SARATOGA WAY
 TAX MAP 212, LOT 103
 RCRD: 6023-1836
 AREA: 14,944 SF, 0.34 ACRES
 PARCELS 2 AND 3
- 2) BASIS OF BEARING AS PER REF. PLAN #2.
- 3) PARCEL IS IN GENERAL RESIDENCE B ZONE (GRB):
 MINIMUM LOT AREA.....5,000 SF
 MIN. LOT AREA PER DWELLING UNIT.....5,000 SF
 MINIMUM FRONTAGE.....80 FT
 MINIMUM DEPTH.....60 FT
 SETBACKS:
 FRONT.....5 FT
 SIDE.....10 FT
 REAR.....25 FT
 MAXIMUM BUILDING HEIGHT:
 SLOPED ROOF.....35 FT
 FLAT ROOF.....30 FT
 MAXIMUM BUILDING COVERAGE.....30%
 MINIMUM OPEN SPACE.....25%
- 4) THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE, AS PER FLOOD INSURANCE RATE MAP #33015C0259E, PANEL 259 OF 681. DATED MAY 17, 2005.
- 5) VARIANCES WERE GRANTED ON THE JUNE 16, 2020 ZBA MEETING
 A) TO ALLOW 3,736 SF PER DWELLING UNIT
 B) A SPECIAL EXCEPTION FROM SECTION 10.440 USE #1.51 TO ALLOW 4 DWELLING UNITS.



**LOCUS PLAN
N.T.S.**

REFERENCE PLANS

- 1) "PROPERTY MAP OF ATLANTIC HEIGHTS COMPANY FOR ATLANTIC HEIGHTS DEVELOPERS", BY LOCKWOOD, GREENE & CO. ENGINEERS, JULY, 1919. RCRD 0247.
- 2) "ATLANTIC HEIGHTS CO., PORTSMOUTH, N.H., PLAN SHOWING ADDITIONS TO AND REVISION OF LAYOUT PLAN OF 1919", BY JOHN W. DURGIN, C.E., DATED MAY, 1925. RCRD 0273
- 3) "SUBDIVISION PLAN MAP 212 - LOT 104 FOR JAMES A. MULEY LIVING TRUST & PETER BROWN", BY AMBIT ENGINEERING, DATED SEPTEMBER, 2004. RCRD D-32010.
- 4) "SUBDIVISION PLAN MEADOW VIEW HEIGHTS CHANGING PLACES, LLC", BY AMES MSC ARCHITECTS & ENGINEERS, DATED MAY 2, 2006. RCRD D-33771
- 5) "CONDOMINIUM SITE PLAN "ATLANTIC POINTE" A CONDOMINIUM UNIT OWNERS ASSOCIATION", BY AMES MSC ARCHITECTS & ENGINEERS, DATED JULY 19, 2007. RCRD D-34872
- 6) "AS BUILT ROADWAY PLAN FOR ATLANTIC POINTE BUILDERS, LLC" BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. DATED NOV. 17, 2010. NOT RECORDED.

ADDITIONAL ABUTTERS

- TAX MAP 212
- LOT 36-1
MICHAEL B. & LEANNE L. POWER
RCRD: 5692-0310
 - LOT 37
LISA H. & THOMAS M. CONRAD
RCRD: 5435-1874
 - LOT 121
PHA HOUSING DEVELOPMENT, LTD.
RCRD: 5452-0868
 - LOT 171-01
GEORGE COURTOVICH
RCRD: 4847-0230
 - LOT 171-02
JEFFREY T. VEINO
RCRD: 4828-0417

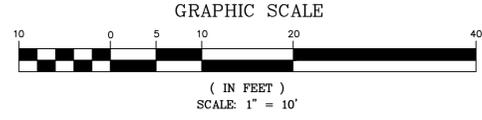
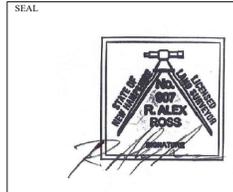
I ALEX ROSS, HEREBY CERTIFY:

- A) THAT THIS SURVEY PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
- B) THIS PLAN IS A RESULT OF FIELD SURVEY PERFORMED BY DDD, MGP & AR DURING NOVEMBER OF 2019 AND JULY 2020. THE ERROR OF CLOSURE IS BETTER THAN 1/15,000. SURVEY PER NHLSA STANDARDS; CATEGORY 1, CONDITION 1.
- C) "I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUB-DIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

R. ALEX ROSS _____ DATE _____

LEGEND

- ⊕ MONUMENT TO BE SET
- ⊙ MONUMENT FOUND
- ⊕ UTILITY POLE
- 6' STOCKADE FENCE
- VERTICAL GRANITE CURB



| ISS. | DATE | DESCRIPTION OF ISSUE |
|------|------------|----------------------|
| 7 | 1/7/2021 | PB SUBMITTAL |
| 6 | 12/3/2020 | PB SUBMITTAL |
| 5 | 10/28/2020 | PB SUBMITTAL |
| 4 | 10/10/2020 | REVISIONS |
| 3 | 9/21/2020 | TAC SUBMITTAL |
| 2 | 8/17/2020 | TAC SUBMITTAL |
| 1 | 8/4/2020 | TAC SUBMITTAL |

| | |
|----------|--------|
| CHECKED: | A.ROSS |
| DRAWN: | DDD |
| CHECKED: | A.ROSS |

ROSS ENGINEERING, LLC
 Civil/Structural Engineering & Surveying
 909 Islington St.
 Portsmouth, NH 03801
 (603) 433-7560

TITLE
EXISTING CONDITIONS
 for
SARATOGA WAY
 Tax Map 212, Lots 112 & 113
 Portsmouth, NH

OWNER OF RECORD
 Raleigh Way Holding Group, LLC
 1 Middle Street, Suite 1
 Portsmouth, NH 03801

| | | |
|------------|----------|-------|
| JOB NUMBER | DWG. NO. | ISSUE |
| 19-097 | 1 OF 10 | 7 |

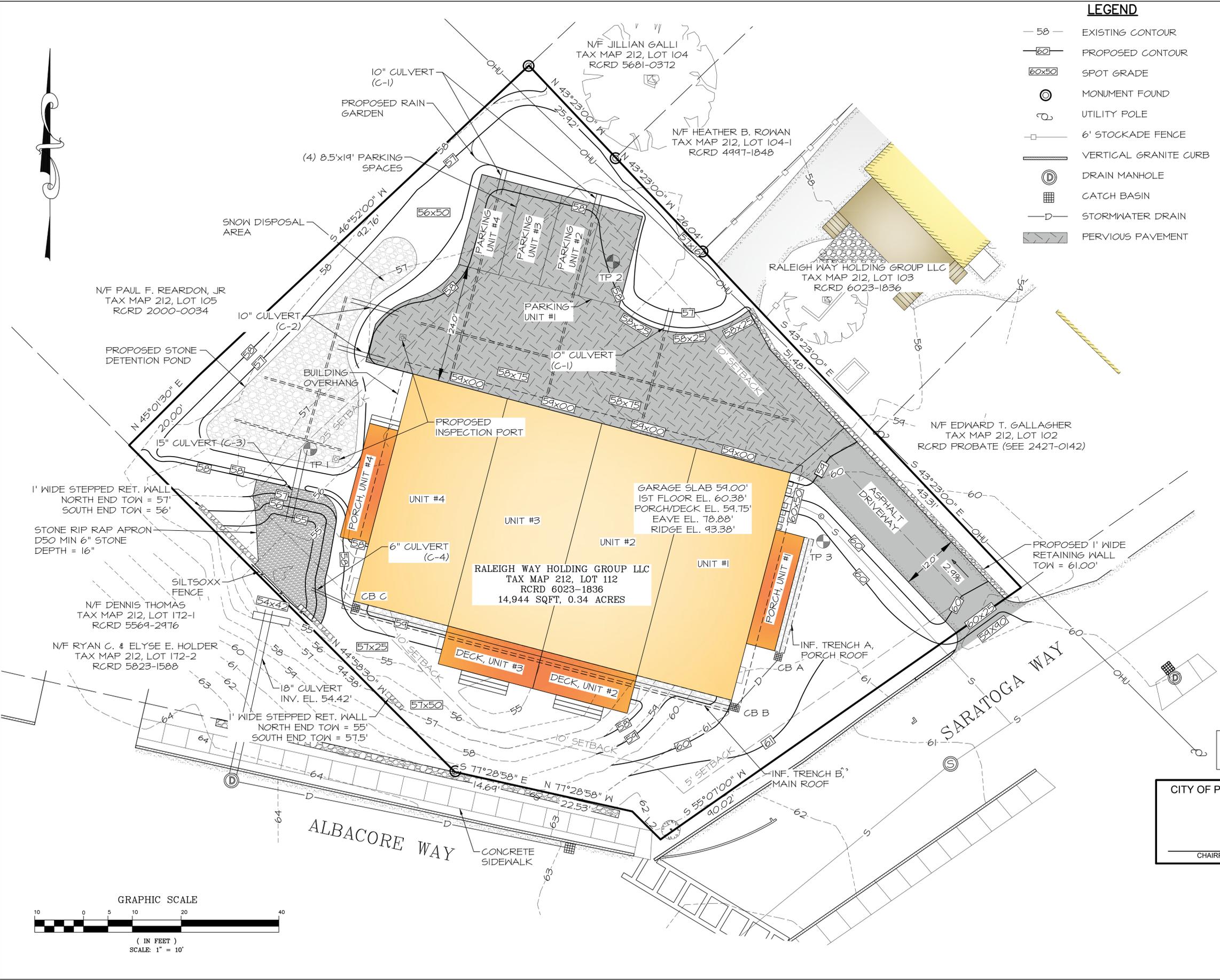


LEGEND

- 58 — EXISTING CONTOUR
- 60 — PROPOSED CONTOUR
- 60x50 SPOT GRADE
- ⊙ MONUMENT FOUND
- ⊙ UTILITY POLE
- 6' — 6' STOCKADE FENCE
- — VERTICAL GRANITE CURB
- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- D — STORMWATER DRAIN
- ▨ PERVIOUS PAVEMENT

NOTES

- 1) OWNER OF RECORD:
RALEIGH WAY HOLDING GROUP LLC
1 MIDDLE STREET, SUITE 1
PORTSMOUTH, NH 03801
RCRD: 6023-1836
TAX MAP 212, LOTS 112 & 113
AREA: 14,944 SF, 0.34 ACRES
- 2) PARCEL IS IN GENERAL RESIDENCE B ZONE (GRB):
MINIMUM LOT AREA.....5,000 SF
MIN. LOT AREA PER DWELLING UNIT.....5,000 SF
MINIMUM FRONTAGE.....80 FT
MINIMUM DEPTH.....60 FT
SETBACKS:
FRONT.....5 FT
SIDE.....10 FT
REAR.....25 FT
MAXIMUM BUILDING HEIGHT:
SLOPED ROOF.....35 FT
FLAT ROOF.....30 FT
PROPOSED HEIGHT.....27.33 FT
MAXIMUM BUILDING COVERAGE.....30%
PROPOSED BUILDING COVERAGE.....27.6%
MINIMUM OPEN SPACE.....25%
PROPOSED OPEN SPACE.....43.6%
- 3) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 4) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- 5) VARIANCES WERE GRANTED ON THE JUNE 16, 2020 ZBA MEETING
A) TO ALLOW 3,736 SF PER DWELLING UNIT
B) A SPECIAL EXCEPTION FROM SECTION 10.440 USE #1.51 TO ALLOW 4 DWELLING UNITS.
- 6) CONTINUE VERTICAL GRANITE CURB TO DRIVEWAY APRON.



| ISS. | DATE | DESCRIPTION OF ISSUE |
|------|------------|----------------------|
| 7 | 1/7/2021 | PB SUBMITTAL |
| 6 | 12/3/2020 | PB SUBMITTAL |
| 5 | 10/28/2020 | PB SUBMITTAL |
| 4 | 10/10/2020 | REVISIONS |
| 3 | 9/21/2020 | TAC SUBMITTAL |
| 2 | 8/17/2020 | TAC SUBMITTAL |
| 1 | 8/4/2020 | TAC SUBMITTAL |

ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

CITY OF PORTSMOUTH PLANNING BOARD

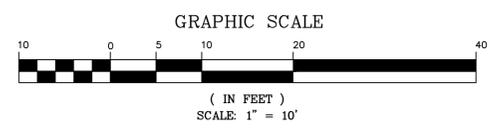
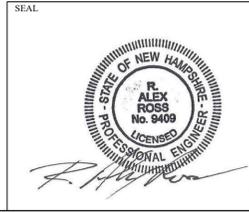
CHAIRPERSON _____ DATE _____

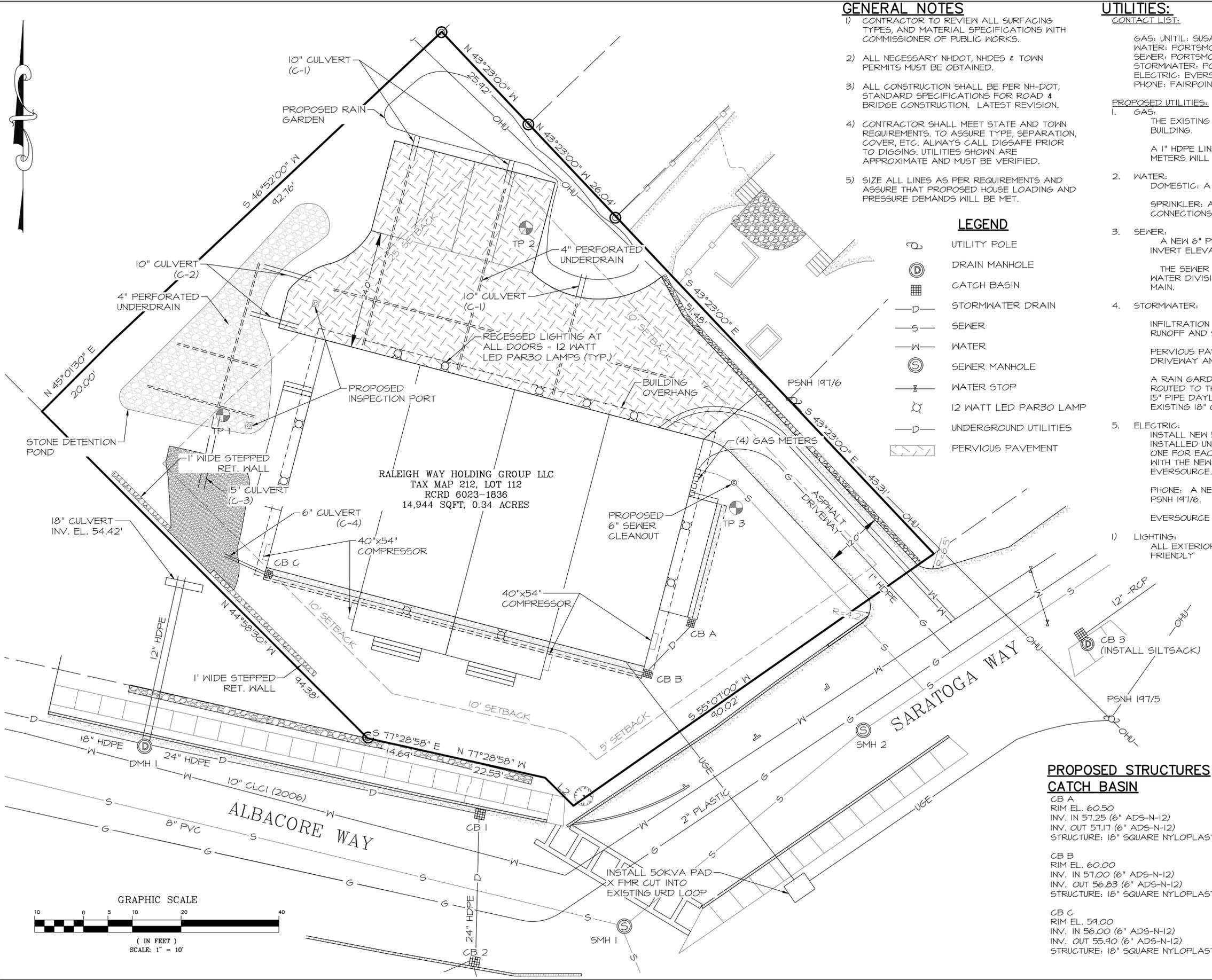
ROSS ENGINEERING, LLC
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

SITE PLAN
for
SARATOGA WAY
Tax Map 212, Lots 112 & 113
Portsmouth, NH

OWNER OF RECORD
Raleigh Way Holding Group, LLC
1 Middle Street, Suite 1
Portsmouth, NH 03801

JOB NUMBER 19-097 DWG. NO. 2 OF 10 ISSUE 7





GENERAL NOTES

- 1) CONTRACTOR TO REVIEW ALL SURFACING TYPES, AND MATERIAL SPECIFICATIONS WITH COMMISSIONER OF PUBLIC WORKS.
- 2) ALL NECESSARY NHDOT, NHDES & TOWN PERMITS MUST BE OBTAINED.
- 3) ALL CONSTRUCTION SHALL BE PER NH-DOT, STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION. LATEST REVISION.
- 4) CONTRACTOR SHALL MEET STATE AND TOWN REQUIREMENTS. TO ASSURE TYPE, SEPARATION, COVER, ETC. ALWAYS CALL DIGSAFE PRIOR TO DIGGING. UTILITIES SHOWN ARE APPROXIMATE AND MUST BE VERIFIED.
- 5) SIZE ALL LINES AS PER REQUIREMENTS AND ASSURE THAT PROPOSED HOUSE LOADING AND PRESSURE DEMANDS WILL BE MET.

UTILITIES:

- CONTACT LIST:**
- GAS: UNITIL: SUSAN L. DUPLISEA.....603-244-5147
 WATER: PORTSMOUTH DPW:603-427-1530
 SEWER: PORTSMOUTH DPW:603-427-1530
 STORMWATER: PORTSMOUTH DPW:603-427-1530
 ELECTRIC: EVERSOURCE: CASEY McDONALD.....603-436-7708 EXT 5641
 PHONE: FAIRPOINT: JOSEPH P. CONSIDINE.....603-790-4054
- PROPOSED UTILITIES:**
1. GAS:
 - THE EXISTING 2" PLASTIC INTERMEDIATE PRESSURE GAS MAIN WILL SERVE THE 4 UNIT BUILDING.
 - A 1" HDPE LINE WILL BE INSTALLED CONNECTING TO THE EXISTING GAS MAIN. 4 GAS METERS WILL BE INSTALLED.
 2. WATER:
 - DOMESTIC: A NEW 2" COPPER LINE WILL BE INSTALLED TO THE BUILDING
 - SPRINKLER: A 4" SPRINKLER LINE WILL BE INSTALLED. NECESSARY FLOW TEST CONNECTIONS AND SPECIFICATIONS AS PER CITY REQUIREMENTS.
 3. SEWER:
 - A NEW 6" PVC SEWER LATERAL SHALL BE CONNECTED TO THE 8" STREET MAIN. INVERT ELEVATION AT BUILDING SHALL BE 56.00'. SEE CROSS SECTION ON SHEET II
 - THE SEWER CONNECTION SHALL BE WITNESSED AND APPROVED BY THE PORTSMOUTH WATER DIVISION AND SOLID COUPLINGS WILL BE USED TO CUT IN THE SERVICE TO THE MAIN.
 4. STORMWATER:
 - INFILTRATION TRENCHES FOR THE SOUTHERN ROOF AND EASTERN PORCH ROOF STORE RUNOFF AND SLOWLY RELEASE IT TO THE 18" CULVERT.
 - PERVIOUS PAVEMENT IS PROPOSED TO COLLECT RUNOFF FROM THE ASPHALT DRIVEWAY AND NORTHERN ROOF.
 - A RAIN GARDEN IS PROPOSED TO COLLECT RUNOFF FROM THE NORTH. RUNOFF IS ROUTED TO THE PERVIOUS PAVEMENT SUB BASE, THEN TO A STONE DETENTION POND. A 15" PIPE DAYLIGHTS TO THE SOUTHWEST, SLOWLY RELEASING THE WATER TO THE EXISTING 18" CULVERT.
 5. ELECTRIC:
 - INSTALL NEW 50KVA PAD CUT INTO EXISTING LOOP. TWO NEW 4" CONDUITS ARE TO BE INSTALLED UNDERGROUND TO PROVIDE SERVICE. FOUR METERS ARE TO BE INSTALLED, ONE FOR EACH UNIT. ALL ELECTRIC WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW HAMPSHIRE REQUIREMENTS FOR ELECTRIC SERVICE CONNECTIONS BY EVERSOURCE.
 - PHONE: A NEW 2" CONDUIT IS TO BE INSTALLED UNDERGROUND FROM UTILITY POLE PSNH 197/6.
 - EVERSOURCE WORK# 3446499
 - 1) LIGHTING:
 - ALL EXTERIOR LIGHTING SHALL COMPLY WITH CITY REGULATIONS AND BE DARK SKY FRIENDLY

LEGEND

- UTILITY POLE
- DRAIN MANHOLE
- CATCH BASIN
- STORMWATER DRAIN
- SEWER
- WATER
- SEWER MANHOLE
- WATER STOP
- 12 WATT LED PAR30 LAMP
- UNDERGROUND UTILITIES
- PERVIOUS PAVEMENT

EXISTING STRUCTURES

CATCH BASINS

- CB #1
RIM EL. 62.96
INV. IN 24" (HDPE = 53.36 NW)
INV. OUT 24" (HDPE = 53.10 S)
- CB #2
RIM EL. 62.89
INV. IN 12" (HDPE = 58.09 SE)
INV. IN 24" (HDPE = 52.97 N)
INV. OUT 24" (HDPE = 52.91 SW)

DRAIN MANHOLES

- DMH 1
RIM EL. 64.12
INV. IN 12" (HDPE= 54.34 NW)
INV. IN 18" (HDPE= 54.27 NE)
INV. OUT 24" (HDPE= 54.14 SE)

SEWER MANHOLES

- SMH 1
RIM EL. 63.64
INV. IN 58.04 (8" PVC)
INV. IN 57.90 (8" PVC)
INV. OUT 57.84 (8" PVC)
- SMH 2
RIM EL. 61.17
INV. IN 56.26 (8" PVC)
INV. OUT 56.16 (8" PVC)

PROPOSED STRUCTURES

CATCH BASIN

- CB A
RIM EL. 60.50
INV. IN 57.25 (6" ADS-N-12)
INV. OUT 57.17 (6" ADS-N-12)
STRUCTURE: 18" SQUARE NYLOPLAST
- CB B
RIM EL. 60.00
INV. IN 57.00 (6" ADS-N-12)
INV. OUT 56.83 (6" ADS-N-12)
STRUCTURE: 18" SQUARE NYLOPLAST
- CB C
RIM EL. 59.00
INV. IN 56.00 (6" ADS-N-12)
INV. OUT 55.90 (6" ADS-N-12)
STRUCTURE: 18" SQUARE NYLOPLAST

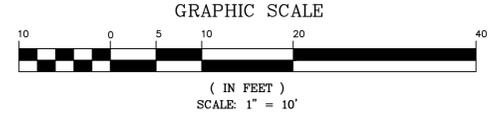
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| 1 | 8/4/2020 | TAC SUBMITTAL |

ROSS ENGINEERING, LLC
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

TITLE
UTILITY PLAN
for
SARATOGA WAY
Tax Map 212, Lots 112 & 113
Portsmouth, NH

OWNER OF RECORD
Raleigh Way Holding Group, LLC
1 Middle Street, Suite 1
Portsmouth, NH 03801

JOB NUMBER: 19-097
DWG. NO.: 3 OF 10
ISSUE: 7

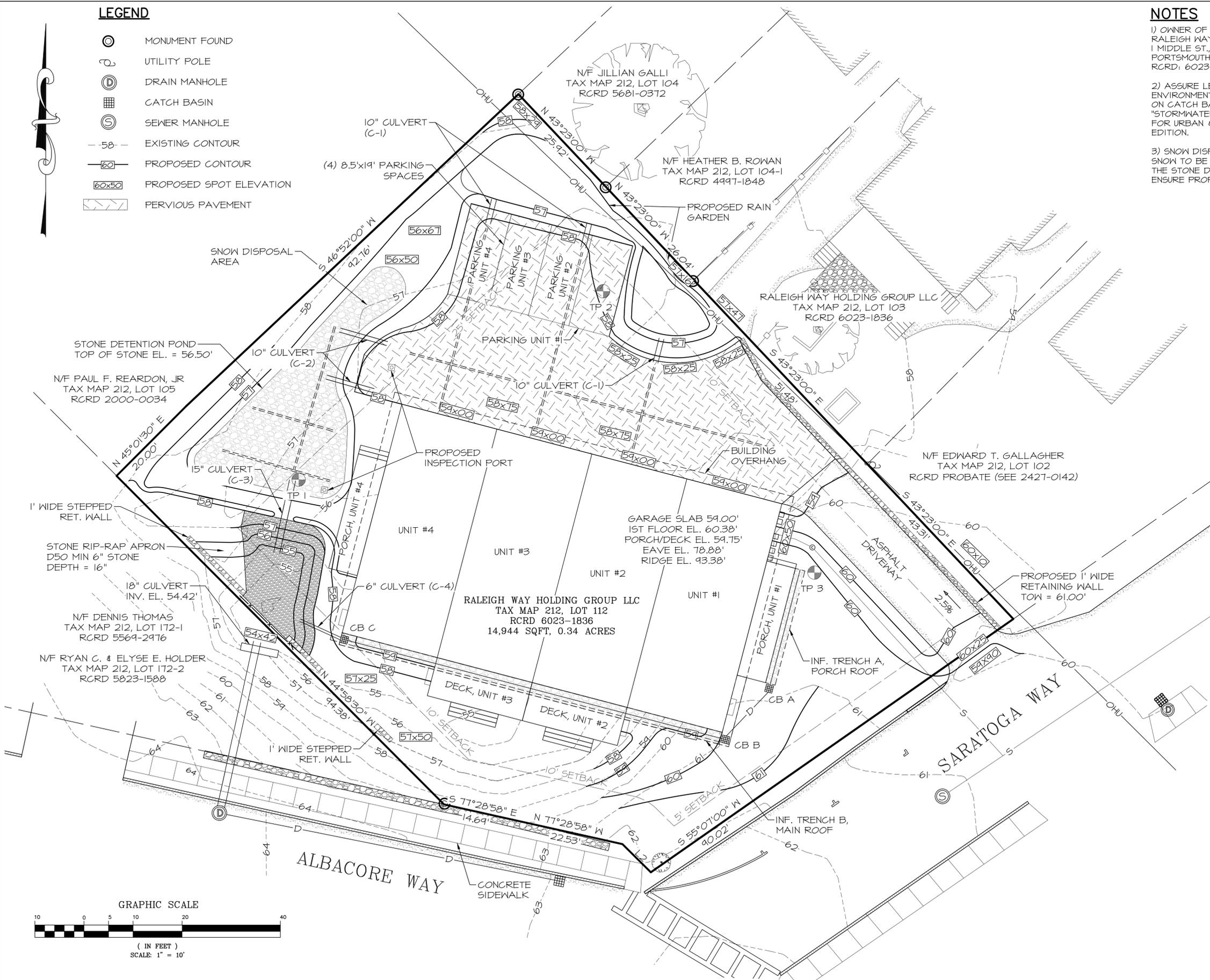


LEGEND

- MONUMENT FOUND
- UTILITY POLE
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PERVIOUS PAVEMENT

NOTES

- 1) OWNER OF RECORD:
RALEIGH WAY HOLDING GROUP, LLC
1 MIDDLE ST., SUITE 1
PORTSMOUTH NH, 03801
RCRD: 6023-1836
- 2) ASSURE LEAST PRACTICAL DISTURBANCE OF THE PHYSICAL ENVIRONMENT. INSTALL SILTSACKS ON CATCH BASINS A, B, & C AND ON CATCH BASIN 3. FOLLOW NHDES REGULATIONS AND GUIDELINES IN "STORMWATER & EROSION & SEDIMENTATION CONTROL HANDBOOK FOR URBAN & DEVELOPING AREAS IN NEW HAMPSHIRE" LATEST EDITION.
- 3) SNOW DISPOSAL AREA
SNOW TO BE MOVED WEST ALONG THE 24' WIDE PARKING AREA TO THE STONE DETENTION POND. 4" UNDERDRAIN TO BE INSTALLED TO ENSURE PROPER DRAINAGE.



TEST PIT 1 (of 3)

| DEPTH (INCHES) | COLOR | TEXTURE | STRUCTURE | CONSISTENCE |
|----------------|--|-----------------|-----------------------------|------------------------|
| 0 | 10 YR ½ DARK BROWN | FINE SANDY LOAM | WEAK FINE GRANULAR | MOIST FRIABLE |
| 12 | 10 YR ½ BROWN | FINE SANDY LOAM | WEAK FINE SUBANGULAR BLOCKY | MOIST FRIABLE |
| 24 | 10 YR ½ GRAYISH BROWN 1.5 YR ½ STRONG BROWN REDOXIMORPHIC CONCENTRATION AND 28 10 YR ½ LIGHT GRAY REDOXIMORPHIC DEPLETIONS | FINE SANDY LOAM | MASSIVE | DRY FIRM & RESTRICTIVE |
| 42 | 2.5 YR ½ LIGHT OLIVE BROWN MANY REDOXIMORPHIC FEATURES | SILT LOAM | WEAK FLATY | DRY FIRM & RESTRICTIVE |

| ESKHT | 24 INCHES | ROOTS | COMMON TO 30 INCHES | RESTRICTIVE LAYERS | 24 INCHES |
|--------------|-----------|------------------|---------------------|--------------------|-----------|
| OBSERVED H2O | NONE | REFUSAL (INCHES) | NONE TO 64" | | |

NOTES: ALL PITS MARKED WITH PINK FLAGS EMBLAZONED WITH THE CORRESPONDING PIT #

TEST PIT 2 (of 3)

| DEPTH (INCHES) | COLOR | TEXTURE | STRUCTURE | CONSISTENCE |
|----------------|---|---|-----------------------------|--------------------------|
| 0 | 10 YR ½ VERY DARK GRAYISH BROWN | FINE SANDY LOAM | WEAK FINE GRANULAR | DRY TO MOIST FRIABLE |
| 10 | 10 YR ½ DARK YELLOWISH BROWN | FINE SANDY LOAM | WEAK FINE SUBANGULAR BLOCKY | MOIST FRIABLE |
| 19 | 10 YR ½ GRAYISH BROWN 5.6 1.5 YR ½ STRONG BROWN REDOXIMORPHIC FEATURES AND 28 10 YR ½ LIGHT GRAY REDOXIMORPHIC DEPLETIONS | FINE SANDY LOAM | MASSIVE | DRY FIRM AND RESTRICTIVE |
| 28 | 10 YR ½ GRAYISH BROWN COMMON REDOXIMORPHIC FEATURES | GRAVELLY FINE SANDY LOAM | MASSIVE | DRY FIRM |
| 44 | 10 YR ½ BROWN 2.6 1.5 YR ½ STRONG BROWN REDOXIMORPHIC CONCENTRATIONS AND 28 10 YR ½ LIGHT GRAY REDOXIMORPHIC DEPLETIONS | ALTERNATING 2" LAYERS OF VERY FINE SANDY LOAM AND SILT LOAM | MASSIVE | DRY FRIABLE |

| ESKHT | 18 INCHES | ROOTS | FEM | RESTRICTIVE LAYERS | NONE |
|--------------|-----------|------------------|-------------|--------------------|------|
| OBSERVED H2O | NONE | REFUSAL (INCHES) | NONE TO 64" | | |

NOTES:

TEST PIT 3 (of 3)

| DEPTH (INCHES) | COLOR | TEXTURE | STRUCTURE | CONSISTENCE |
|----------------|--|-----------------|--------------------|--------------------------|
| 0 | 10 YR ½ VERY DARK GRAYISH BROWN | FINE SANDY LOAM | WEAK FINE GRANULAR | DRY TO MOIST FRIABLE |
| 15 | 10 YR ½ DARK YELLOWISH BROWN | FINE SANDY LOAM | MASSIVE | DRY FRIABLE |
| 30 | 10 YR ½ BROWN 1.0 1.5 YR ½ STRONG BROWN REDOXIMORPHIC CONCENTRATIONS | FINE SANDY LOAM | MASSIVE | DRY FIRM AND RESTRICTIVE |

| ESKHT | 30 INCHES | ROOTS | FEM | RESTRICTIVE LAYERS | NONE |
|--------------|-----------|------------------|-------------|--------------------|------|
| OBSERVED H2O | NONE | REFUSAL (INCHES) | NONE TO 60" | | |

NOTES:

| | | | |
|---|------------|---------------|--|
| 7 | 1/7/2021 | PB SUBMITTAL | |
| 6 | 12/3/2020 | PB SUBMITTAL | |
| 5 | 10/28/2020 | PB SUBMITTAL | |
| 4 | 10/10/2020 | REVISIONS | |
| 3 | 9/21/2020 | TAC SUBMITTAL | |
| 2 | 8/17/2020 | TAC SUBMITTAL | |
| 1 | 8/4/2020 | TAC SUBMITTAL | |

| ISS. | DATE | DESCRIPTION OF ISSUE |
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SCALE: 1" = 10'

CHECKED: A.ROSS

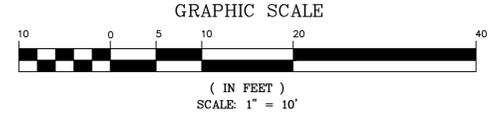
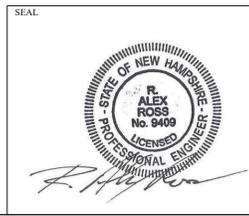
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CHECKED: A.ROSS

ROSS ENGINEERING, LLC
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

TITLE GRADING & DRAINAGE PLAN
for
SARATOGA WAY
Tax Map 212, Lots 112 & 113
Portsmouth, NH

OWNER OF RECORD
Raleigh Way Holding Group, LLC
1 Middle Street, Suite 1
Portsmouth, NH 03801



CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON

DATE

ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

NOTES

- 1) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 2) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

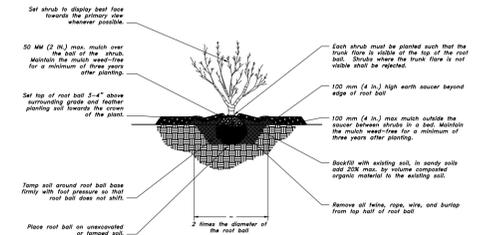
PLANTING NOTES

1. ALL PLANT MATERIALS SHALL BE FIRST QUALITY NURSERY GROWN STOCK.
2. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH NEW HAMPSHIRE LANDSCAPE ASSOCIATION STANDARDS AND GUARANTEED FOR ONE YEAR BY THE LANDSCAPE CONTRACTOR.
3. AFTER PLANTING, ALL PLANTS SHALL BE FLOODED AT THE BASE WITH WATER FROM A SLOW-RUNNING HOSE FOR 5 MINUTES EACH.
4. ALL PLANTS SHALL BE INSTALLED BEFORE ANY GRASS IS SEEDED.
5. ALL SHRUBS AND PLANTING BEDS SHALL BE MULCHED WITH 3" OF DARK BROWN AGED BARK MULCH AS A FINAL STEP. MULCH MUST BE KEPT 2" AWAY FROM BASE OF EACH PLANT.
6. THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
7. ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
8. THE PROPERTY OWNER IS RESPONSIBLE FOR REMOVING AND REPLACING DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE, AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED, AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

INSTALLATION REQUIREMENTS:

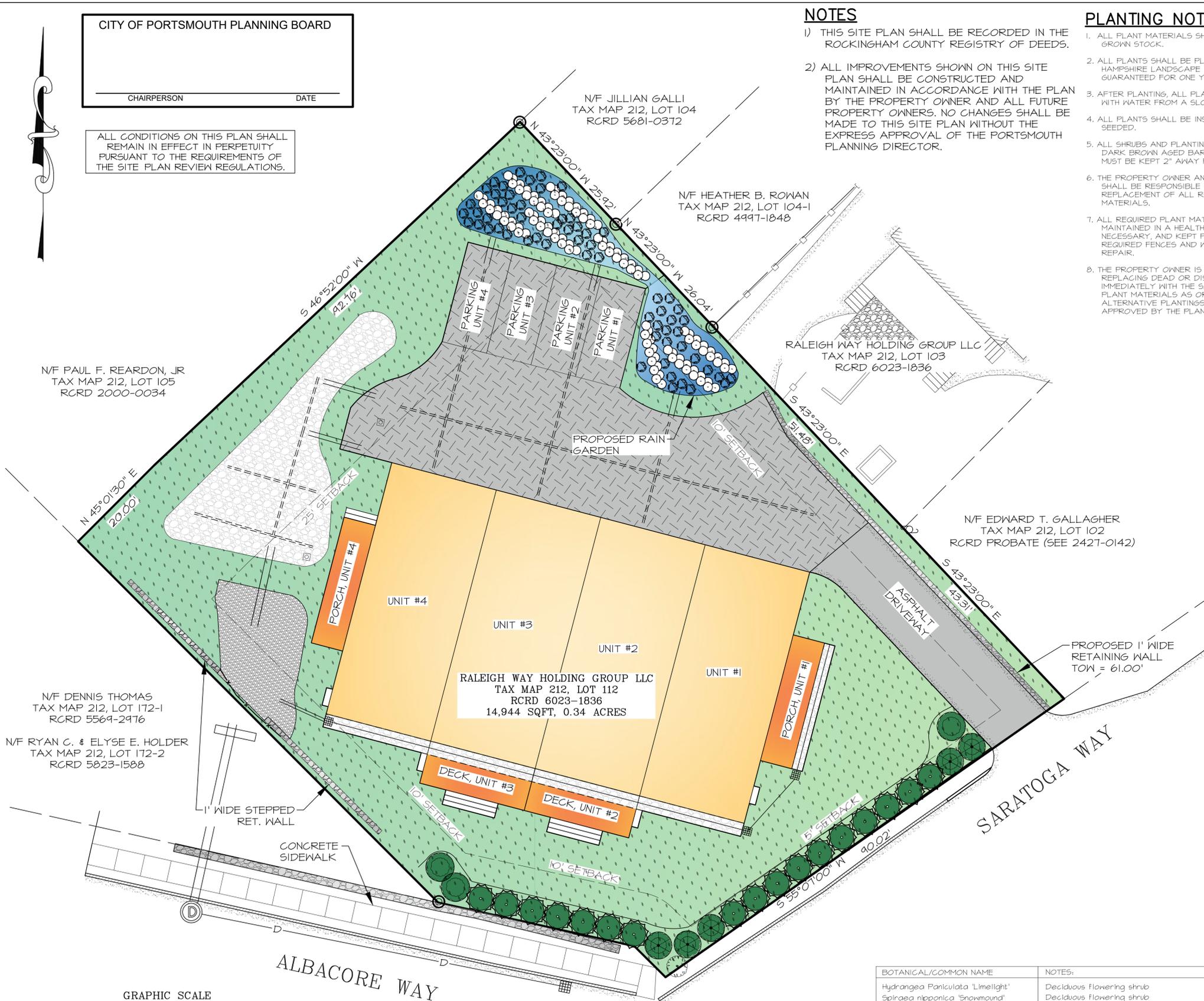
1. THE INSTALLATION OF A DRIP IRRIGATION SYSTEM IS RECOMMENDED TO ASSURE WELL GROWN PLANTS.
2. IN CASE OF DROUGHT (DEFINED AS TWO WEEK PERIOD WITHOUT RAIN) ALL NEW PLANTS SHALL BE WATERED THROUGH NOVEMBER 1ST DURING THE FIRST SEASON IN WHICH THEY ARE INSTALLED. THEY SHALL BE WATERED ONE TIME PER DAY FOR THE FIRST WEEK AFTER INSTALLATION AND THREE TIMES PER WEEK FOR THE REMAINDER OF THE SEASON. AFTER THE FIRST SEASON WHEN THE ROOTS OF THE PLANTS ARE ESTABLISHED THEY WILL NOT REQUIRE WATERING.
3. SOAKER HOSES WOUND THROUGH THE BED NEAR THE BASE OF EACH PLANT ARE THE RECOMMENDED METHOD OF WATERING DURING THE FIRST SEASON. THESE CA BE REMOVED AFTER NOVEMBER 30TH WHEN THE PLANTS ARE ESTABLISHED.

Shrub Detail



LEGEND

- Pervious Pavement
- Grassed Area
- Hydrangea paniculata 'Limelight'
- Spiraea nipponica 'Snowmound'
- Thuja occidentalis 'Nigra'



| BOTANICAL/Common Name | NOTES: | MATURE SIZE | POT SIZE | QTY: |
|--|-----------------------------------|----------------|----------|------|
| Hydrangea Paniculata 'Limelight' | Deciduous Flowering shrub | 6'T x 6'W | 6 G | 5 |
| Spiraea nipponica 'Snowmound' | Deciduous Flowering shrub | 4-5'T x 4-5'W | 5 G | 3 |
| Thuja occidentalis 'Nigra': Arborvitae | Pyramidal evergreen hedging shrub | 20-30'T-5-10'W | 6-T' BB | 17 |

| ISS. | DATE | DESCRIPTION OF ISSUE |
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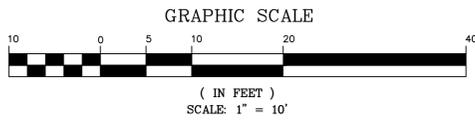
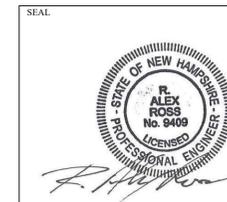
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 CHECKED: A.ROSS

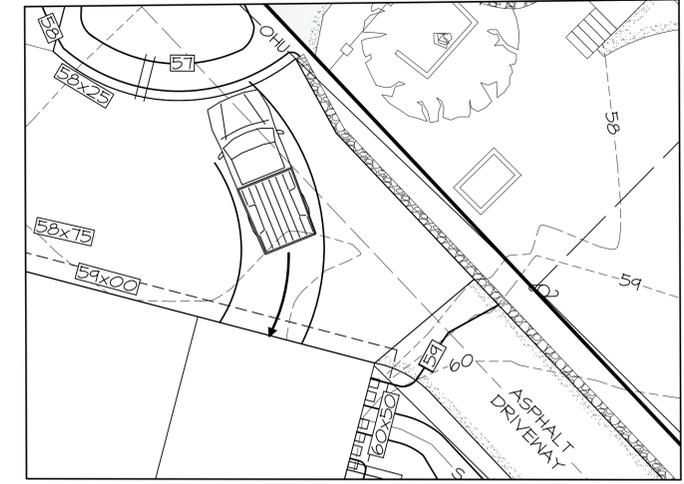
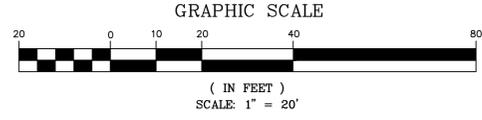
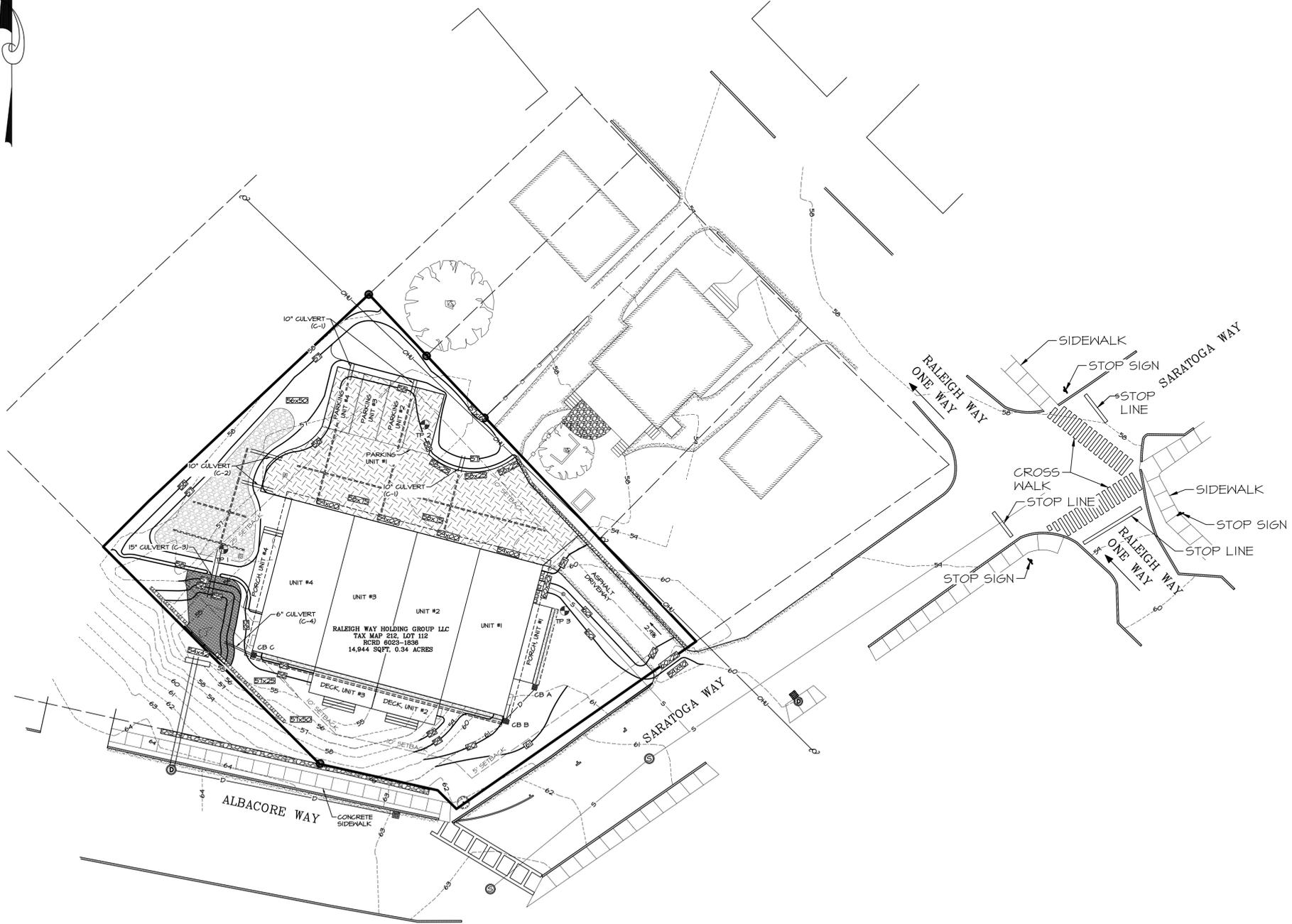
ROSS ENGINEERING, LLC
 Civil/Structural Engineering & Surveying
 909 Islington St.
 Portsmouth, NH 03801
 (603) 433-7560

TITLE **LANDSCAPE PLAN**
 for **SARATOGA WAY**
 Tax Map 212, Lots 112 & 113
 Portsmouth, NH

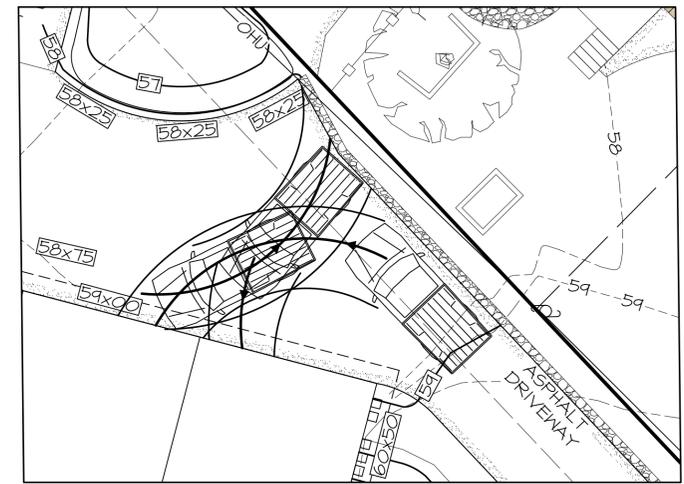
OWNER OF RECORD
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 1 Middle Street, Suite 1
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JOB NUMBER: 19-097 DWG. NO.: 5 OF 10 ISSUE: 7





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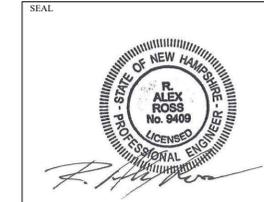
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ROSS ENGINEERING, LLC
 Civil/Structural Engineering
 & Surveying
 909 Islington St.
 Portsmouth, NH 03801
 (603) 433-7560

ROADWAY PLAN

for
SARATOGA WAY
 Tax Map 212, Lots 112 & 113
 Portsmouth, NH

OWNER OF RECORD
 Raleigh Way Holding Group, LLC
 1 Middle Street, Suite 1
 Portsmouth, NH 03801



**EROSION AND SEDIMENTATION CONTROL
CONSTRUCTION PHASING AND SEQUENCING**

1. SEE "EROSION AND SEDIMENTATION CONTROL GENERAL NOTES" WHICH ARE TO BE AN INTEGRAL PART OF THIS PROCESS.
2. INSTALL SILT/SOXX FENCING AS PER DETAILS AND AT SEDIMENT MIGRATION.
3. CONSTRUCT TREATMENT SWALES, LEVEL SPREADERS AND DETENTION STRUCTURES AS DEPICTED ON DRAWINGS.
4. STRIP AND STOCKPILE TOPSOIL. STABILIZE PILES OF SOIL CONSTRUCTION MATERIAL & COVER WHERE PRACTICABLE.
5. MINIMIZE DUST THROUGH APPROPRIATE APPLICATION OF WATER OR OTHER DUST SUPPRESSION TECHNIQUES ON SITE.
6. ROUGH GRADE SITE, INSTALL CULVERTS AND ROAD DITCHES.
7. FINISH GRADE AND COMPACT SITE.
8. RE-SPREAD AND ADD TOPSOIL TO ALL ROADSIDE SLOPES. TOTAL TOPSOIL THICKNESS TO BE A MINIMUM OF FOUR TO SIX INCHES.
9. STABILIZE ALL AREAS OF BARE SOIL WITH MULCH AND SEEDING.
10. RE-SEED PER EROSION AND SEDIMENTATION CONTROL GENERAL NOTES.
11. SILT SOXX FENCING TO REMAIN AND BE MAINTAINED FOR TWENTY FOUR MONTHS AFTER CONSTRUCTION TO ENSURE ESTABLISHMENT OF ADEQUATE SOIL STABILIZATION AND VEGETATIVE COVER. ALL SILT SOXX FENCING ARE THEN TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
12. PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
13. ALL TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC. MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
14. PONDS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE - BEFORE ROUGH GRADING THE SITE.
15. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
16. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
17. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
18. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
19. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
20. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

PLANTING NOTES:

1. ALL PLANT MATERIALS SHALL BE FIRST QUALITY NURSERY GROWN STOCK.
2. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH NEW HAMPSHIRE LANDSCAPE ASSOCIATION STANDARDS AND GUARANTEED FOR ONE YEAR BY THE LANDSCAPE CONTRACTOR.
3. ALL TREES AND SHRUBS SHALL HAVE WATER GAUGERS BUILT AROUND THEIR BASES AND THESE SHALL BE MULCHED WITH 4" OF DARK BROWN AGED BARK MULCH. MULCH MUST BE KEPT 2" AWAY FROM THEIR TRUNKS.
4. ALL TREES AND SHRUBS SHALL BE PLANTED AND MULCHED BEFORE LAWN IS SEEDED.

MAINTENANCE REQUIREMENTS:

1. ALL TREES, SHRUBS, AND PERENNIALS WILL NEED TO BE WATERED THROUGH THANKSGIVING DURING THE FIRST SEASON IN WHICH THEY ARE INSTALLED.
2. AN UNDERGROUND DRIP IRRIGATION SYSTEM IS RECOMMENDED. IF AN UNDERGROUND DRIP IRRIGATION SYSTEM IS NOT INSTALLED, SOAKER HOSES WOUND THROUGHOUT PLANTING BEDS ARE ACCEPTABLE. ALTHOUGH OVERHEAD SPRINKLERS ARE RECOMMENDED FOR LAWN AREAS, THEY ARE NOT ACCEPTABLE FOR IRRIGATING TREES AND SHRUBS.

SEEDING AND STABILIZATION FOR LOAMED SITE:

FOR TEMPORARY & LONG TERM SEEDINGS USE ASWAY'S SOIL CONSERVATION GRASS SEED OR EQUAL
 COMPONENTS: ANNUAL RYE GRASS, PERENNIAL RYE GRASS, WHITE CLOVER, 2 FESCUES, SEED AT A RATE OF 100 POUNDS PER ACRE,
 FERTILIZER & LIME:
 NITROGEN (N) 50 LBS/ACRE, PHOSPHATE (P2O5) 100 LBS/ACRE, POTASH (K2O) 100 LBS/ACRE, LIME 2000 LBS/ACRE
 MULCH:
 HAY OR STRAW 1.5-2 TONS/ACRE

A) GRADING AND SHAPING

1) SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

B) SEED BED PREPARATION

1) SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 2) STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

EROSION AND SEDIMENTATION CONTROL GENERAL NOTES

1. CONDUCT ALL CONSTRUCTION IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE PHYSICAL ENVIRONMENT, BUT IN NO CASE SHALL EXCEED 2 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
3. ALL DITCHES, SWALES AND PONDS MUST BE STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
4. ALL GROUND AREAS OPENED UP FOR CONSTRUCTION WILL BE STABILIZED WITHIN 24 HOURS OF EARTH-DISTURBING ACTIVITIES BEING CEASED, AND WILL BE FULLY STABILIZED NO LONGER THAN 14 DAYS AFTER INITIATION. (SEE NOTE II FOR DEFINITION OF STABLE). ALL SOILS FINISH GRADED MUST BE STABILIZED WITHIN SEVENTY TWO HOURS OF DISTURBANCE. ALL TEMPORARY OR LONG TERM SEEDING MUST BE APPLIED TO COMPLY WITH "WINTER CONSTRUCTION NOTES" (SEE WINTER CONSTRUCTION NOTES). EMPLOY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS DETAILED ON THIS PLAN AS NECESSARY UNTIL ADEQUATE STABILIZATION HAS BEEN ASSURED (SEE NOTE II FOR DEFINITION OF STABLE).
5. TEMPORARY & LONG TERM SEEDING: USE SEED MIXTURES, FERTILIZER, LIME AND MULCHING AS RECOMMENDED (SEE SEEDING AND STABILIZATION NOTES).
6. SILT/SOXX FENCING TO BE SECURELY EMBEDDED AND STAKED AS DETAILED. WHEREVER POSSIBLE A VEGETATED STRIP OF AT LEAST TWENTY FIVE FEET IS TO BE KEPT BETWEEN SILT/SOXX AND ANY EDGE OF WET AREA.
7. SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO ENSURE VEGETATIVE ESTABLISHMENT.
8. SEDIMENT BASIN(S), IF REQUIRED, TO BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND CLEANED AS NEEDED TO RETAIN DESIGN CAPACITY.
9. SILT/SOXX FENCING WILL BE CHECKED REGULARLY AND AFTER EACH SIGNIFICANT RAINFALL. NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DETERIORATION OF THE BARRIER AS WELL AS CLEANING, REMOVAL AND PROPER DISPOSAL OF TRAPPED SEDIMENT.
10. TREATMENT SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATIVE COVER HAS BEEN ESTABLISHED.
11. AN AREA SHALL BE CONSIDERED FULLY STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED.
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN THE PLAN SHALL MEET THE DESIGN BASED ON STANDARDS AND SPECIFICATIONS SET FORTH IN THE STORM WATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE (DECEMBER 2008 OR LATEST) PREPARED BY ROCKINGHAM COUNTY CONSERVATION DISTRICT, N.H. DES AND NRCS.

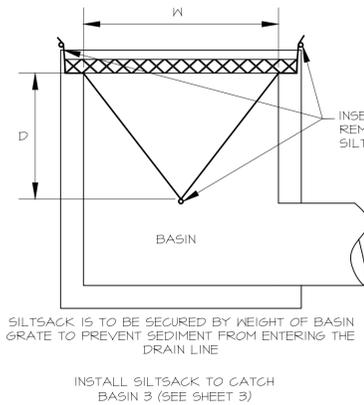
WINTER CONSTRUCTION NOTES

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND FLAGGING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT;
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER MHDOT ITEM 304.3.

TRENCH NOTES - STORM DRAIN:

- 1) **BEDDING:** BEDDING FOR PIPES SHALL CONSIST OF PREPARING THE BOTTOM OF THE TRENCH TO SUPPORT THE ENTIRE LENGTH OF THE PIPE AT A UNIFORM SLOPE AND ALIGNMENT. CRUSHED STONE SHALL BE USED TO BED THE PIPE TO THE ELEVATION SHOWN ON THE DRAWINGS. NORMAL PIPE BEDDING IS CRUSHED STONE TO THE HAUNCH OF THE PIPE AND SAND BEDDING 6' ABOVE THE CROWN. IF THE TOP OF THE PIPE IS LESS THAN 30' FROM FINISH GRADE, BED PIPE COMPLETELY IN STONE UP TO 6' ABOVE PIPE CROWN. UNDERDRAIN TO HAVE 4" MIN' OF STONE OVER PIPE OR AS NECESSARY TO BE IN CONTACT WITH GRAVEL LAYER OF SELECTS ABOVE. FILTER FABRIC TO BE PLACED IN BETWEEN ALL STONE BEDDING MATERIAL AND SUBSEQUENT LAYERS OF FILL MATERIAL.
- 2) **COMPACTION:** ALL BACKFILL SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE CONTENT BY PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. BACKFILL BENEATH PAVED SURFACES SHALL BE COMPACTED TO NOT LESS THAN 95 PERCENT OF AASHTO T99, METHOD C.
- 3) **SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ROCKS OVER 6 INCHES IN LARGEST DIMENSION; FROZEN EARTH AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.

 IN SEEDED AREAS, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAD, ROCKS UNDER 12", FROZEN EARTH OR CLAY, IF HE/SHE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EAST ACCESS TO THE PIPE WILL BE PRESERVED.
- 4) **BASE COURSE AND PAVEMENT:** SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
- 5) **DRAINAGE PIPE:** PIPE MATERIALS SHALL BE POLYETHYLENE (SEE SPECIFICATIONS).
- 6) **W=MAXIMUM ALLOWABLE TRENCH WIDTH:** W SHALL BE THE MAXIMUM PAYMENT WIDTH FOR ROCK EXCAVATION (TRENCH) AND FOR ORDERED EXCAVATION BELOW GRADE.



Silt sack
N.T.S.

LONG TERM SEEDING

*WELL TO MODERATELY WELL DRAINED SOILS

FOR CUT AND FILL AREA AND FOR WATERWAYS AND CHANNELS

SEEDING MIXTURE C

| | lb/ACRE | lb/1000SF |
|---------------------|---------|-----------|
| TALL FESCUE | 20 | 0.45 |
| CREeping RED FESCUE | 20 | 0.45 |
| RED CLOVER (ALSIKE) | 20 | 0.45 |
| TOTAL | 48 | 1.35 |

LIME: AT 2 TONS PER ACRE OR 100 LBS PER 1000 SF.
 FERTILIZER: 10 20 20 (NITROGEN, PHOSPHATE, POTASH) AT 500# PER ACRE.
 MULCH: HAY OR CLEAN STRAW; 2 TONS/ACRE OR 2 BALES/1000 SF.

GRADING AND SHAPING:

SLOPES SHALL NOT BE STEEPER THAN 2 TO 1. 3 TO 1 OR FLATTER SLOPES ARE PREFERRED.

SEEDBED PREPARATION:

SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS. STONES LARGER THAN FOUR INCHES AND TRASH SHOULD BE REMOVED. SOD SHOULD BE TILLED TO A DEPTH OF FOUR INCHES TO PREPARE SEEDBED. FERTILIZER & LIME SHOULD BE MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

* FROM: STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DECEMBER 2008.

SHORT TERM SEEDING

*WELL TO MODERATELY WELL DRAINED SOILS

FOR CUT AND FILL AREA AND FOR WATERWAYS AND CHANNELS

SEEDING MIXTURE C

| | #/ACRE | #/1000SF |
|---|--------|----------|
| FOR APRIL 1 - AUGUST 15 ANNUAL RYE GRASS | 40 | 1 |
| FOR FALL SEEDING WINTER RYE | 112 | 2.5 |

LIME: AT 1 TON PER ACRE OR 100 LBS PER 1000 SF.
 FERTILIZER: 10 10 10 (NITROGEN, PHOSPHATE, POTASH) AT 500# PER ACRE.
 MULCH: HAY OR CLEAN STRAW; 2 TONS/ACRE OR 2 BALES/1000 SF.

GRADING AND SHAPING:

SLOPES SHALL NOT BE STEEPER THAN 2 TO 1. 3 TO 1 OR FLATTER SLOPES ARE PREFERRED.

SEEDBED PREPARATION:

SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS. STONES LARGER THAN FOUR INCHES AND TRASH SHOULD BE REMOVED. SOD SHOULD BE TILLED TO A DEPTH OF FOUR INCHES TO PREPARE SEEDBED. FERTILIZER & LIME SHOULD BE MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

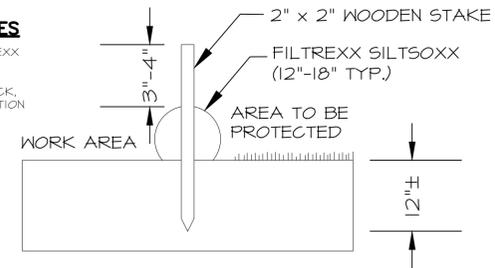
* FROM: STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DECEMBER 2008.

WHEN PROPOSED FOR ALTERATION DURING CONSTRUCTION AS BEING INFESTED WITH INVASIVE SPECIES SHALL BE MANAGED APPROPRIATELY USING THE DISPOSAL PRACTICES IDENTIFIED IN "NHDOT - BEST MANAGEMENT PRACTICES FOR ROADSIDE INVASIVE PLANTS - 2008" AND "METHODS FOR DISPOSING NON-NATIVE INVASIVE PLANTS - UNH COOPERATIVE EXTENSION - 2010"

SEED MIXES SHALL NOT CONTAIN ANY SPECIES IDENTIFIED BY THE NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST.

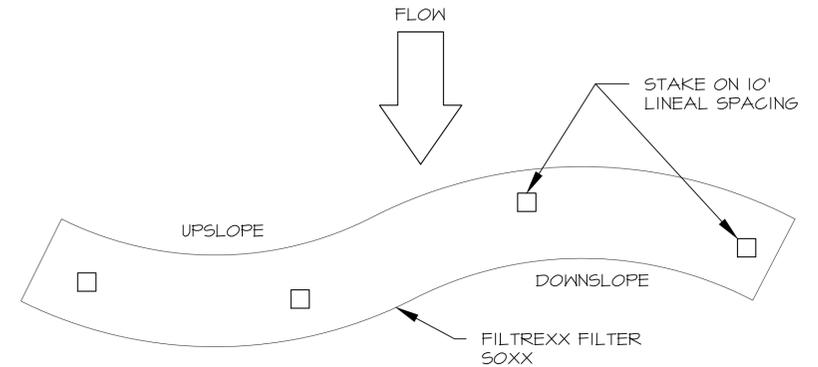
FILTREXX SILT/SOXX NOTES

- 1) ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS
- 2) SILT/SOXX COMPOST, SOIL, ROCK, SEED FILL TO MEET APPLICATION REQUIREMENTS



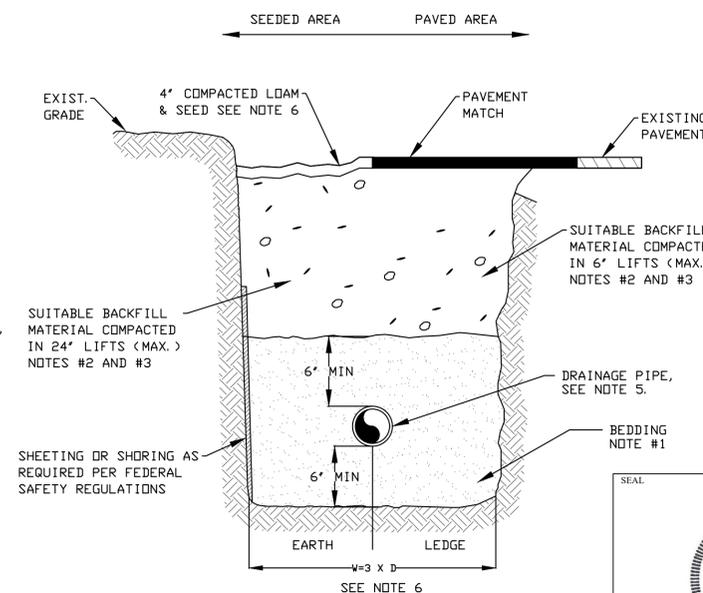
Filtrexx SiltSoxx Section

N.T.S.



Filtrexx SiltSoxx Plan View

N.T.S.



TRENCH DETAIL-STORM DRAIN

Scale: N.T.S.

| ISS. | DATE | DESCRIPTION OF ISSUE |
|------|------------|----------------------|
| 7 | 1/7/2021 | PB SUBMITTAL |
| 6 | 12/3/2020 | PB SUBMITTAL |
| 5 | 10/28/2020 | PB SUBMITTAL |
| 4 | 10/10/2020 | REVISIONS |
| 3 | 9/21/2020 | TAC SUBMITTAL |
| 2 | 8/17/2020 | TAC SUBMITTAL |
| 1 | 8/4/2020 | TAC SUBMITTAL |

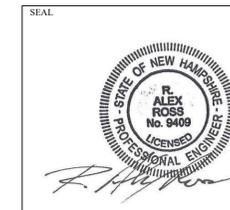
SCALE: 1" = 10'
 CHECKED: A.ROSS
 DRAWN: DDD
 CHECKED: A.ROSS

ROSS ENGINEERING, LLC
 Civil/Structural Engineering & Surveying
 909 Islington St.
 Portsmouth, NH 03801
 (603) 433-7560

TITLE
EROSION CONTROL PLAN
 for
SARATOGA WAY
 Tax Map 212, Lots 112 & 113
 Portsmouth, NH

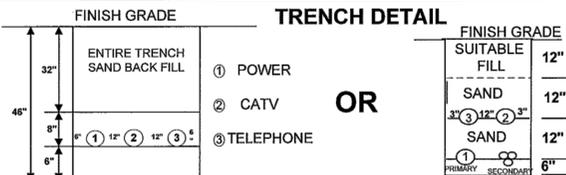
OWNER OF RECORD
 Raleigh Way Holding Group, LLC
 1 Middle Street, Suite 1
 Portsmouth, NH 03801

| JOB NUMBER | DWG. NO. | ISSUE |
|------------|----------|-------|
| 19-097 | 7 OF 10 | 7 |



CONDUIT SPECIFICATIONS

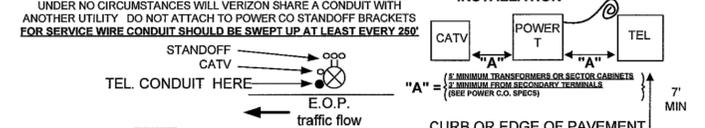
ANY DEVIATION FROM OUTLINED SPECIFICATIONS MUST BE AGREED TO IN ADVANCE BY VERIZON ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE CONDUIT THROUGH WHICH CABLE CAN BE SUCCESSFULLY PULLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXPENSE ASSOCIATED WITH THE REPAIR OF CONDUIT THAT CANNOT BE USED BY VERIZON. VERIZON RESERVES THE RIGHT TO REQUIRE INSPECTION OF CONDUIT PRIOR TO BACK FILLING TO ENSURE COMPLIANCE.



A - SAND BACK FILL SHALL CONSIST OF FINE GRANULAR MATERIAL 100% SHALL PASS THROUGH A 1/4" SIEVE
B - EXCEPTION: NATURALLY OCCURRING SMOOTH ROUND PEBBLES NO GREATER THAN 3/8" IN DIAMETER ARE PERMITTED AS LONG AS THEIR TOTAL VOLUME PER CUBIC FOOT OF SAND DOES NOT EXCEED 1%
C - THE SAND SHALL BE COMPLETELY FREE OF FROZEN LUMPS, ROCKS, STONES, DEBRIS OR RUBBISH

ALL CONDUIT SHALL BE GRAY NESC SCHEDULE 40 PVC OR EQUIVALENT (REQUIRES TEL ENGINEER APPROVAL)
4" MINIMUM FOR TELEPHONE CABLE 2" MINIMUM FOR SERVICE WIRES
UNDER NO CIRCUMSTANCES WILL VERIZON SHARE A CONDUIT WITH ANOTHER UTILITY DO NOT ATTACH TO POWER CO STANDOFF BRACKETS FOR SERVICE WIRE CONDUIT SHOULD BE SWEEP UP AT LEAST EVERY 250'

TYPICAL UTILITY INSTALLATION

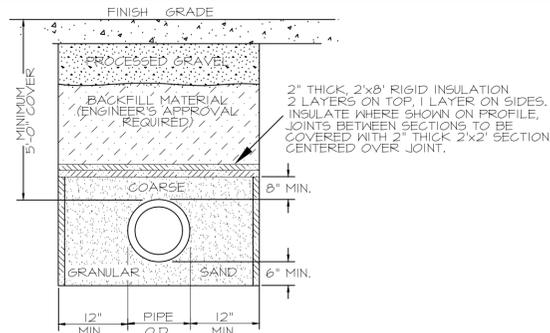


ALL CONDUITS ARE TO BE SWEEP UP HARD TOGETHER A MINIMUM OF 8" ABOVE FINISH GRADE AT ALL PEDESTAL LOCATIONS & MUST FIT INTO 11" X11" SQUARE AREA TO ALLOW CLOSURE TO FIT OVER ENDS

ALL CONDUITS MUST BE LABELED "TEL" WITH DIRECTION OF RUN INDICATED SO AS TO POSITIVELY IDENTIFY THEM FOR OUR PERSONNEL AND FURNISHED WITH A PULL STRING CAPABLE OF A 200 TO 300 POUND PULL

A #6 AWG COPPER GROUND WIRE SHALL BE CONNECTED TO THE POWER CO. TRANSFORMER / SECTOR CABINET GRID AT EACH TRANSFORMER / SECTOR CABINET LOCATION AND RUN FROM THERE TO THE TEL CONDUIT LEAVING A 3 FOOT COIL SECURED TO THE CONDUIT TO PREVENT ITS LOSS

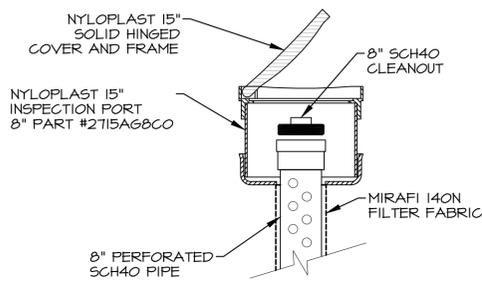
ALL BENDS ARE TO BE 36" RADIUS SWEEPS (NO PLUMBERS BENDS)
METALLIC SWEEPS REQUIRED ON ALL RUNS IN EXCESS OF 225'



- NOTE:
- SEE SITE PLAN FOR PIPE SIZES AND SERVICES.
 - WATER PIPE TO BE DUCTILE IRON (DI) CLASS 52.
 - CONTRACTOR TO REVIEW ALL UTILITIES WITH PORTSMOUTH DPW.

Waterline Installation

N.T.S.

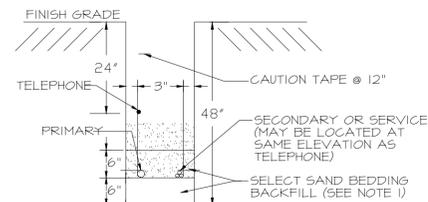


INSPECTION PORT DETAIL

N.T.S.

| CRUSHED STONE BEDDING * | SIEVE SIZE | % PASSING BY WEIGHT |
|-------------------------|------------|---------------------|
| #1 | 1" | 100 |
| #2 | 3/4" | 90 - 100 |
| #3 | 3/8" | 20 - 55 |
| #4 | #8 | 0 - 10 |
| #5 | #10 | 0 - 5 |

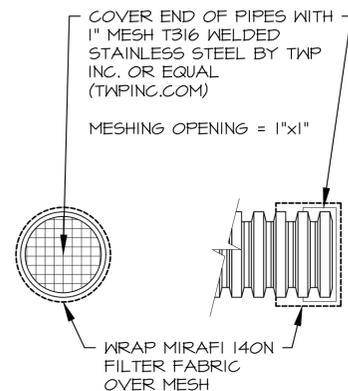
* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 103 OF NHDOT NHDOT STANDARD SPECIFICATIONS



- NOTES:
- SELECTED SAND BACKFILL--100% SHALL PASS THROUGH 1/4" SCREEN UP TO 1% MAY BE ROUNDED PEBBLES UP TO 3/8" IN SIZE.
 - TRENCH WIDTH IS TO BE 12" MINIMUM IF CABLE IS NOT FLOWED IN.
 - UNDERGROUND UTILITY CABLES ARE TO BE FIELD RUN AND COORDINATED WITH APPLICABLE UTILITY COMPANIES.
 - PRIMARY SERVICE IS BE NO LESS THAN 3' LATERALLY TO ANY FUEL LINE.

Utility Cable Installation

N.T.S.

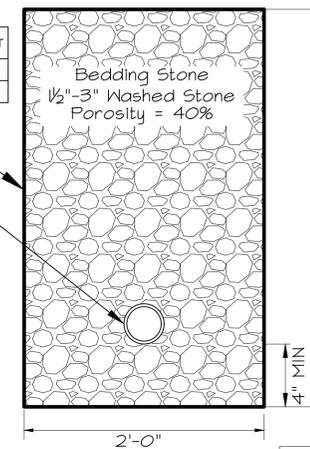


CULVERT PROTECTION DETAIL

N.T.S.

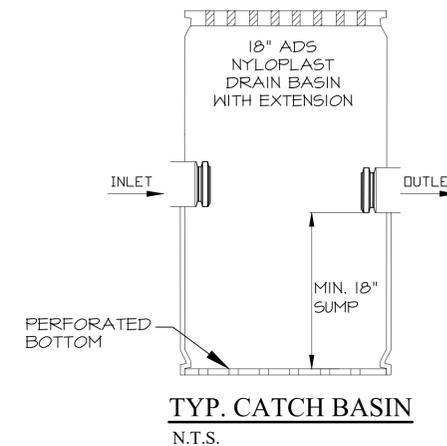
| INF. TRENCH | INV. TRENCH | OUTLET INV. | HEIGHT |
|-------------|-------------|-------------|--------|
| A | 57.25' | 57.25' | 3.25' |
| B | 56.00' | 56.00' | 3.00' |

MIRAFI 140N Filter Fabric
6" ADS-N-12 PERF. PIPE



INFILTRATION TRENCH DETAIL

N.T.S.



TYP. CATCH BASIN

N.T.S.

| # | DESCRIPTION | TYPE | INLET | OUTLET | LENGTH |
|-----|--------------------------------|--------------|--------|--------|--------|
| C-1 | CULVERT FROM RAIN GARDEN | 10" ADS-N-12 | 55.20' | 55.15' | 5.00' |
| C-2 | CULVERT FROM PERVIOUS PAVEMENT | 10" ADS-N-12 | 55.00' | 54.85' | 10.00' |
| C-3 | CULVERT FROM STONE DET. POND | 15" ADS-N-12 | 54.70' | 54.50' | 15.00' |
| C-4 | CULVERT FROM CB C | 6" ADS-N-12 | 55.90' | 55.70' | 9.00' |

PROPOSED CULVERT DESCRIPTION

N.T.S.

| # | DATE | DESCRIPTION |
|---|------------|---------------|
| 7 | 1/7/2021 | PB SUBMITTAL |
| 6 | 12/3/2020 | PB SUBMITTAL |
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ISS. DATE DESCRIPTION OF ISSUE

SCALE: AS SHOWN

CHECKED: A.ROSS

DRAWN: DDD

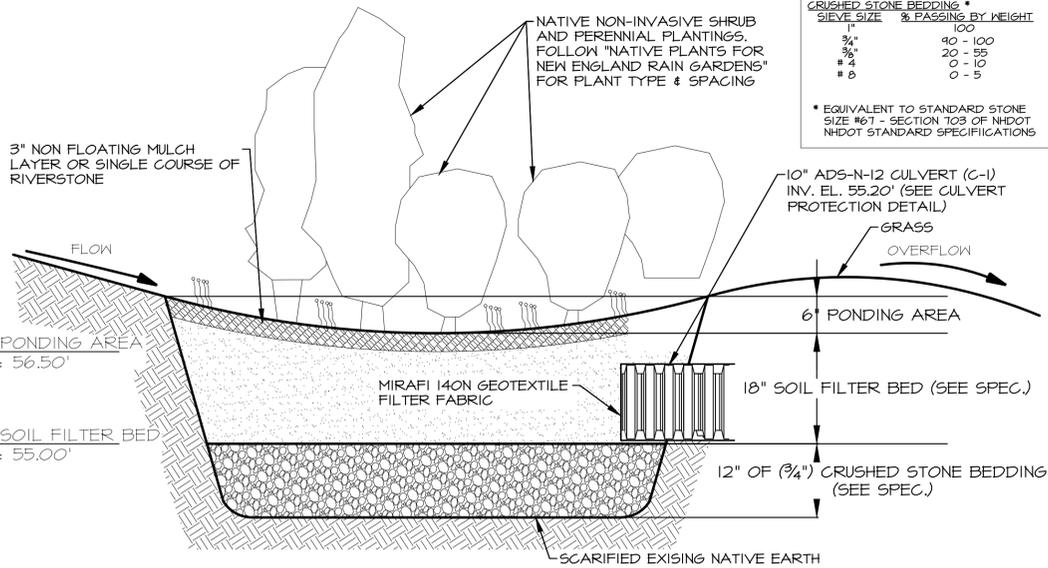
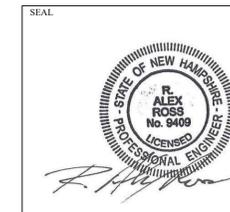
CHECKED: A.ROSS

ROSS ENGINEERING, LLC
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

DETAILS
for
SARATOGA WAY
Tax Map 212, Lots 112 & 113
Portsmouth, NH

OWNER OF RECORD
Raleigh Way Holding Group, LLC
1 Middle Street, Suite 1
Portsmouth, NH 03801

JOB NUMBER: 19-097
DWG. NO.: 8 OF 10
ISSUE: 7

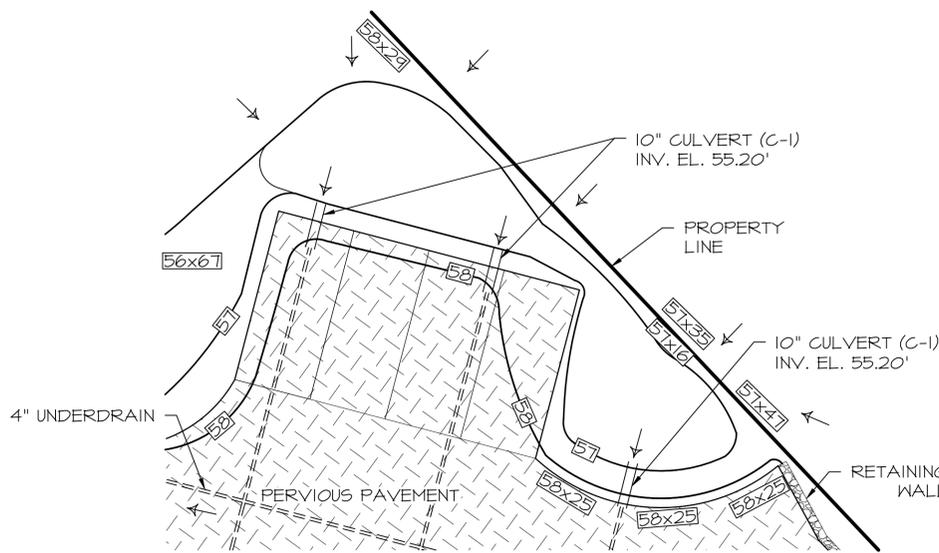


TYPICAL RAINGARDEN DETAIL

NOT TO SCALE

| Component Material | Percent of Mixture by Volume | Gradation of Material | |
|--|------------------------------|-----------------------|--|
| | | Sieve No. | Percent by Weight Passing Standard Sieve |
| Moderately fine shredded bark or wood fiber mulch, with fines as indicated | 20 to 30 | 200 | <5 |
| | 70 to 80 | 10 | 85 to 100 |
| | | 20 | 10 to 100 |
| Loamy coarse sand | 70 to 80 | 60 | 15 to 40 |
| | | 200 | 8 to 15 |
| | | 200 | 8 to 15 |

FILTER MEDIA SPECIFICATION



RAIN GARDEN PLAN VIEW

Scale: 1" = 10'

CONSTRUCTION SPECIFICATIONS FOR POROUS ASPHALT

REFERENCE DOCUMENT: UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS, UNH STORMWATER CENTER, FEBRUARY, 2014.

INSTALLATION RECOMMENDATIONS

THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE POROUS ASPHALT PAVEMENT IS PROPERLY INSTALLED.

- THE FULL PAVEMENT DESIGN MUST BE FOLLOWED CONSCIENTIOUSLY DURING CONSTRUCTION. IT IS BASED ON UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS. THE UNH SPECIFICATION INCLUDES NUMEROUS VITAL PROVISIONS FOR AGGREGATE AND BITUMINOUS MATERIALS, THEIR PLACEMENT, AND QUALITY CONTROL. AMONG ITS NOTABLE PROVISIONS ARE THE FOLLOWING EXAMPLES:
 - OPEN-GRADED AGGREGATE TO MAKE ALL PAVEMENT LAYERS POROUS AND PERMEABLE;
 - STIFF ASPHALT BINDER TO ADHERE TO THE AGGREGATE PARTICLES AND RESIST "DRAIN-DOWN" THROUGH THE PAVEMENT'S PORES, ENHANCING THE MATERIAL'S PERFORMANCE AND DURABILITY;
 - A SPECIFIC LIMIT ON ALLOWABLE DRAIN-DOWN, AND ADDITION OF A STYRENE-BUTADIENE-STYRENE (SBS) POLYMER ADDITIVE TO HELP MEET THAT REQUIREMENT;
 - THE POROUS PAVEMENT IS TO BE INSTALLED ONLY AFTER MAJOR CONSTRUCTION IS COMPLETED, SO THAT CONSTRUCTION TRAFFIC WILL NOT TRACK POTENTIALLY CLOGGING SEDIMENT ONTO THE PAVEMENT SURFACE, FOR CONSTRUCTION ACCESS, A TEMPORARY SURFACE WILL BE INSTALLED, SIMILAR IN CONSTRUCTION TO A STANDARD STABILIZED CONSTRUCTION ENTRANCE. THIS TYPE OF SURFACE CAN BEAR CONSTRUCTION TRAFFIC WITHOUT ERODING.
 - PROMINENT AND REPEATED STATEMENTS OF THE SPECIAL NATURE AND PURPOSE OF POROUS PAVEMENT, AND THE NECESSITY OF COMPLYING STRICTLY WITH THESE DISTINCTIVE SPECIFICATIONS.
 - PROTECTION OF THE FINISHED POROUS ASPHALT SURFACE FROM TRACKING OF CONSTRUCTION SEDIMENT.
- THOROUGH COMMUNICATION WITH THE POROUS ASPHALT SUPPLIER AND PAVEMENT INSTALLER IS ESSENTIAL. THEY MUST UNDERSTAND THE POROUS PAVEMENT'S SPECIAL OBJECTIVES, THE SPECIAL MATERIALS AND PROCEDURES NECESSARY TO MAKE IT EFFECTIVE, AND WHY COMPLIANCE WITH SPECIFICATIONS IS ESSENTIAL. TO THIS END, THE SPECIFICATIONS STATE PROMINENTLY AND REPEATEDLY THE SPECIAL NATURE AND PURPOSE OF THE POROUS MATERIALS. IN ADDITION, THE PROJECT ENGINEER SHOULD MEET WITH THE CONTRACTORS IN PERSON TO REVIEW THE SPECIFICATIONS AND MAKE SURE THE CONTRACTORS UNDERSTAND THE OBJECTIVES. HE SHOULD OBSERVE THE CONTRACTORS ON-SITE FREQUENTLY, TO MAKE SURE THE OBJECTIVES ARE CARRIED OUT. HE SHOULD MAINTAIN A WRITTEN RECORD DOCUMENTING REVIEW AND APPROVAL AT CRITICAL PROJECT STAGES SUCH AS EXCAVATION OF THE SUB GRADE AND QUALITY CHECKS OF BASE AND SURFACE MATERIALS. HE SHOULD INSPECT THE SITE TO MAKE SURE CONSTRUCTION VEHICLES ARE NOT ALLOWED TO TRAVERSE EXCAVATED SUB GRADE OR THE PAVEMENT STRUCTURE AT ANY INAPPROPRIATE STAGE. HE SHOULD FORBID CONSTRUCTION TRAFFIC FROM TRACKING SOIL ONTO THE FINISHED PAVEMENT SURFACE.

INSTALLATION

- PERCOLATION BEDS
 - OWNER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ALL PERCOLATION BED AND POROUS PAVING WORK.
 - SUB GRADE PREPARATION
 - EXISTING SUB GRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO STONE BED PLACEMENT.
 - WHERE EROSION OF SUB GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
 - BRING SUB GRADE OF STONE PERCOLATION BED TO LINE, GRADE, AND ELEVATIONS INDICATED. FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSIONS, PONDING, OR TRAFFIC COMPACTION BEFORE THE PLACING OF STONE. ALL BED BOTTOMS ARE LEVEL GRADE.
 - RECHARGE BED INSTALLATION
 - UPON COMPLETION OF SUB GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS DISCRETION BEFORE PROCEEDING WITH PERCOLATION BED INSTALLATION.
 - PERCOLATION BED AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB GRADE PREPARATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUB GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF AGGREGATE AT NO EXTRA COST TO THE OWNER.
 - INSTALL COARSE AGGREGATE (CRUSHED STONE) IN 8-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 45% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - INSTALL FILTER COARSE (BANK RUN GRAVEL) IN 8-INCH MAXIMUM LIFTS, TO A MAXIMUM OF 95% STANDARD PROCTOR COMPACTION, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
 - INSTALL CHOKER BASE COURSE (SEE MATERIALS SECTION) AGGREGATE EVENLY OVER SURFACE OF STONE BED, SUFFICIENT TO ALLOW PLACEMENT OF PAVEMENT, AND NOTIFY ENGINEER FOR APPROVAL. CHOKER BASE COURSE SHALL BE SUFFICIENT TO ALLOW FOR EVEN PLACEMENT OF ASPHALT BUT NO LESS THAN 4-INCH IN DEPTH.
- SURROUNDING AREAS
 - BEFORE THE POROUS PAVEMENT IS INSTALLED, ADJACENT SOIL AREAS SHOULD BE SLOPED AWAY FROM ALL PAVEMENT EDGES, TO PREVENT POTENTIAL SEDIMENT FROM WASHING ON THE PAVEMENT SURFACE.
 - TO ACCOMPLISH THIS, A SEQUENCE OF TEMPORARY SWALES SHOULD BE EXCAVATED INTO ALL EARTHEN (UNPAVED) AREAS AT LEAST ON THE UPHILL SIDES OF THE PAVEMENT, AND WHERE NECESSARY, TO BE ON THE CURB OR PAVEMENT ELEVATION. ITS SHAPE AND PLANTINGS CAN BE INTEGRATED WITH THE PROJECT'S ARCHITECTURE AND LANDSCAPE, AND DESIGNED TO MAXIMIZE INFILTRATION. SWALE OVERFLOW, WHEN IT OCCURS, CAN BE DISCHARGED FROM ONE SWALE TO ANOTHER BY CONNECTING PIPES UNDER DRIVEWAYS.
 - BUILDING BASEMENTS AND FOUNDATIONS SHOULD BE WATERPROOFED AS NECESSARY, WHERE THE POROUS PAVEMENT ABUTS BUILDINGS.

INSTALLATION (CONT...)

- TRANSPORTING MATERIAL
 - THE MIX SHALL BE COVERED DURING TRANSPORT TO CONTROL COOLING.
- POROUS BITUMINOUS ASPHALT SHALL NOT BE STORED IN EXCESS OF 90 MINUTES BEFORE PLACEMENT.
- ASPHALT PLACEMENT
 - THE POROUS BITUMINOUS SURFACE COURSE SHALL BE LAID IN ONE OR TWO LIFTS DIRECTLY OVER THE CHOKER COARSE, FILTER COARSE, AND CRUSHED STONE BASE COURSE TO DEPTH INDICATED. IF LAID IN TWO LIFTS THE PAVEMENT SHALL BE CLEANED AND INSPECTED BY THE ENGINEER BEFORE PLACEMENT OF SECOND LIFT.
 - THE LAYING TEMPERATURE OF THE BITUMINOUS MIX SHALL BE BETWEEN 275 DEGREES FAHRENHEIT AND 325 DEGREES FAHRENHEIT (BASED ON RECOMMENDATIONS OF THE ASPHALT SUPPLIER).
 - INSTALLATION SHALL TAKE PLACE WHEN AMBIENT TEMPERATURES ARE 55 DEGREES FAHRENHEIT OR ABOVE, WHEN MEASURED IN THE SHADE AWAY FROM ARTIFICIAL HEAT.
 - THE USE OF A REMIXING MATERIAL TRANSFER DEVICE BETWEEN THE TRUCKS AND THE PAVER IS HIGHLY RECOMMENDED TO ELIMINATE COLD LUMPS IN THE MIX.
 - THE POLYMER-MODIFIED ASPHALT IS VERY DIFFICULT TO RAKE, A WELL-HEATED SCREED SHOULD BE USED TO MINIMIZE THE NEED FOR RAKING.
 - COMPACTION OF THE SURFACE COURSE SHALL TAKE PLACE WHEN THE SURFACE IS COOL ENOUGH TO RESIST AN 8-12-TON ROLLER. BREAKDOWN ROLLING SHALL OCCUR WHEN THE MIX TEMPERATURE IS BETWEEN 275 DEGREES FAHRENHEIT AND 325 DEGREES FAHRENHEIT. INTERMEDIATE ROLLING SHALL OCCUR WHEN THE MIX TEMPERATURE IS BETWEEN 150 DEGREES FAHRENHEIT AND 200 DEGREES FAHRENHEIT. THE CESSATION TEMPERATURE OCCURS AT APPROXIMATELY 175 DEGREES FAHRENHEIT, AT WHICH POINT THE MIX BECOMES RESISTANT TO COMPACTION. IF COMPACTION HAS NOT BEEN DONE AT TEMPERATURE GREATER THAN THE CESSATION TEMPERATURE, THE PAVEMENT WILL NOT ACHIEVE ADEQUATE DURABILITY.
- IN THE EVENT CONSTRUCTION SEDIMENT IS INADVERTENTLY DEPOSITED ON THE FINISHED POROUS SURFACE, IT MUST BE IMMEDIATELY REMOVED BY VACUUMING.
- AFTER FINAL ROLLING, NO VEHICULAR TRAFFIC OF ANY KIND SHALL BE PERMITTED ON THE SURFACE UNTIL COOLING AND HARDENING HAS TAKEN PLACE, AND IN NO CASE WITHIN THE FIRST 48 HOURS. PROVIDE BARRIERS AS NECESSARY AT NO EXTRA COST TO THE OWNER TO PREVENT VEHICULAR USE, REMOVE AT THE DISCRETION OF THE ENGINEER.
- STRIPING PAINT FOR TRAFFIC LANES AND PARKING BAYS SHALL BE CHLORINATED RUBBER BASE, FACTORY MIXED, NON-BLEEDING, FAST DRYING, BEST QUALITY, WHITE TRAFFIC PAINT WITH A LIFE EXPECTANCY OF TWO YEARS UNDER NORMAL TRAFFIC USE.
 - PAVEMENT-MARKING PAINT; LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH FS TT-P-1952.
 - SNEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
 - PAINT 4 INCH WIDE PARKING STRIPING AND TRAFFIC LANE STRIPING IN ACCORDANCE WITH LAYOUTS OF PLAN, APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES. PROVIDE CLEAR, SHARP LINES USING WHITE TRAFFIC PAINT, INSTALLED IN ACCORDANCE WITH NHDOT SPECIFICATIONS.
- WORK SHALL BE DONE EXPERTLY THROUGHOUT, WITHOUT STAINING OR INJURY TO OTHER WORK. TRANSITION TO ADJACENT IMPERVIOUS BITUMINOUS PAVING SHALL BE MERGED NEATLY WITH FLUSH, CLEAN LINE. FINISHED PAVING SHALL BE EVEN, WITHOUT POCKETS, AND GRADED TO ELEVATION SHOWN ON DRAWINGS.
- POROUS PAVEMENT BEDS SHALL NOT BE USED FOR EQUIPMENT OR MATERIALS STORAGE DURING CONSTRUCTION, AND UNDER NO CIRCUMSTANCES SHALL VEHICLES BE ALLOWED TO DEPOSIT SOIL ON PAVED POROUS SURFACES.
- REPAIR OF DAMAGED PAVING
 - ANY EXISTING PAVING ON OR ADJACENT TO THE SITE THAT HAS BEEN DAMAGED AS A RESULT OF CONSTRUCTION WORK SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER.
- FULL QUALITY CONTROL
 - THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHALL BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 3 GPM OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVICE. WATER USED FOR THE TEST SHALL BE CLEAN, FREE OF SUSPENDED SOLIDS AND DELETERIOUS LIQUIDS AND WILL BE PROVIDED AT NO EXTRA COST TO THE OWNER. ALL APPLIED WATER SHALL INFILTRATE DIRECTLY WITHOUT PUDDLE FORMATION OR SURFACE RUNOFF, AND SHALL BE OBSERVED BY THE ENGINEER AND OWNER.
 - TEST IN-PLACE BASE AND SURFACE COURSE FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS, REPAIR OR REMOVE AND REPLACE UNACCEPTABLE WORK AS DIRECTED BY THE OWNER.
 - SURFACE SMOOTHNESS: TEST FINISHED SURFACE FOR SMOOTHNESS AND EVEN DRAINAGE, USING A TEN-FOOT TO CENTERLINE OF PAVED AREA. SURFACE WILL NOT BE ACCEPTED IF GAPS OR RIDGES EXCEED 3/16 OF AN INCH.

MAINTENANCE SPECIFICATIONS FOR POROUS ASPHALT

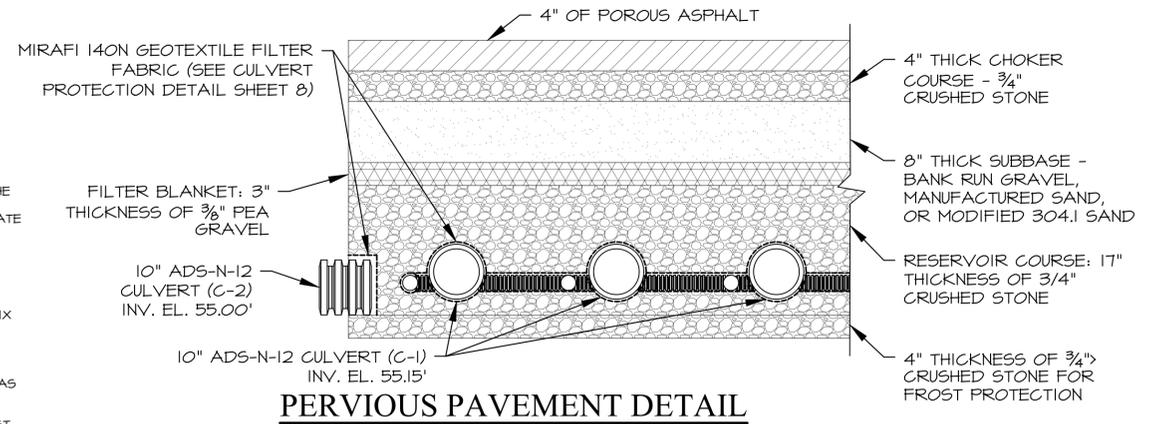
THE FOLLOWING RECOMMENDATIONS WILL HELP ASSURE THAT THE PAVEMENT IS MAINTAINED TO PRESERVE ITS HYDROLOGIC EFFECTIVENESS.

WINTER MAINTENANCE:

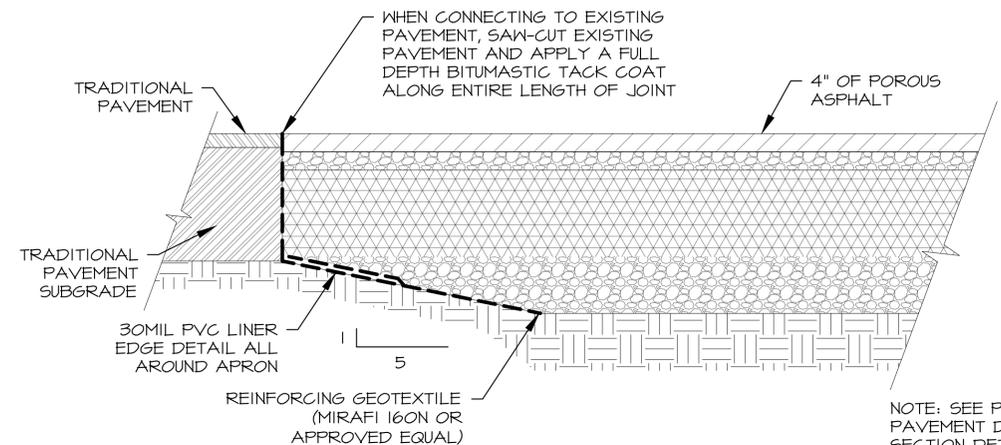
- SANDING FOR WINTER TRACTION IS PROHIBITED. DEICING IS PERMITTED (NaCl, MgCl2, OR EQUIVALENT). REDUCED SALT APPLICATION OF 50% OVER TRADITIONAL PAVEMENT APPLICATION RATES, NONTOXIC, ORGANIC DEICERS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE-BASED LIQUID PRODUCTS OR AS PRETREATED SALT, ARE PREFERABLE.
- PLOWING IS ALLOWED. BLADE SHOULD BE SLIGHTLY RAISED (ALTHOUGH NOT NECESSARY, THIS WILL PREVENT PAVEMENT SCARING). ICE AND LIGHT SNOW ACCUMULATION ARE GENERALLY NOT AS PROBLEMATIC AS FOR STANDARD ASPHALT. SNOW WILL ACCUMULATE DURING HEAVIER STORMS AND SHOULD BE PLOWED AFTER 2 TO 4 INCHES OF SNOW ACCUMULATION.

ROUTINE MAINTENANCE:

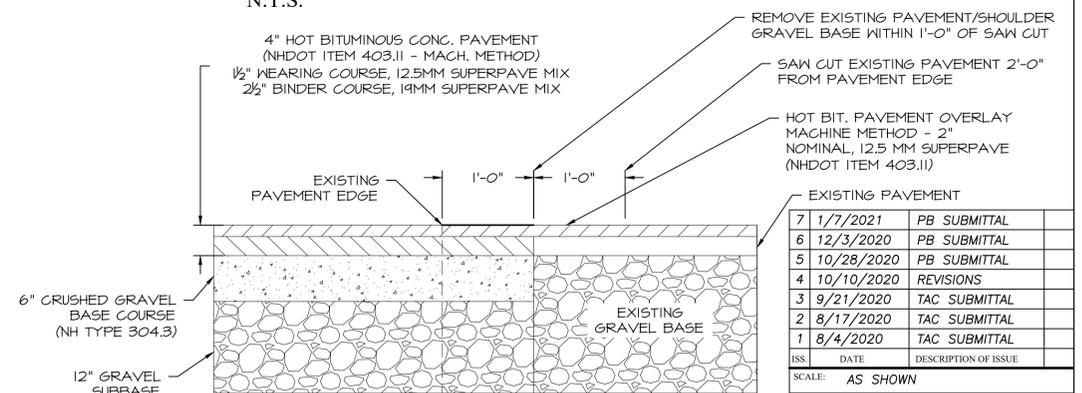
- ASPHALT SEAL COATING MUST BE ABSOLUTELY FORBIDDEN. SURFACE SEAL COATING IS NOT REVERSIBLE.
- THE PAVEMENT SURFACE SHOULD BE VACUUMED 2 TO 4 TIMES PER YEAR, ESPECIALLY AFTER WINTER AND FALL SEASONS, AND AT ANY ADDITIONAL TIMES SEDIMENT IS SPILLED, ERODED, OR TRACKED ONTO THE SURFACE.
- PLANTED AREAS ADJACENT TO PERVIOUS PAVEMENT SHOULD BE WELL MAINTAINED TO PREVENT SOIL WASHOUT ONTO THE PAVEMENT. IF ANY BARE SPOTS OR ERODED AREAS ARE OBSERVED WITHIN THE PLANTED AREAS, THEY SHOULD BE REPLANTED AND/OR STABILIZED AT ONCE.
- IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT. SUPERFICIAL DIRT DOES NOT NECESSARILY CLOG THE PAVEMENT VOIDS. HOWEVER, DIRT THAT IS GROUND IN REPEATEDLY BY TIRES CAN LEAD TO CLOGGING. THEREFORE, TRUCKS OR OTHER HEAVY VEHICLES SHOULD BE PREVENTED FROM TRACKING OR SPILLING DIRT ONTO THE PAVEMENT.
- DO NOT ALLOW CONSTRUCTION STAGING, SOIL/MULCH STORAGE, ETC. ON UNPROTECTED PAVEMENT SURFACE.
- REPAIRS: FOR THE POROUS ASPHALT PARKING LOT, POTHOLES OF LESS THAN 50 SQUARE FEET CAN BE PATCHED BY ANY MEANS SUITABLE WITH STANDARD PAVEMENT OR A PERVIOUS MIX IS PREFERRED. FOR AREAS GREATER THAN 50 SQ. FT. IS IN NEED OF REPAIR, APPROVAL OF PATCH TYPE SHOULD BE SOUGHT FROM A QUALIFIED ENGINEER. ANY REQUIRED REPAIR OF DRAINAGE STRUCTURES SHOULD BE DONE PROMPTLY TO ENSURE CONTINUED PROPER FUNCTIONING OF THE SYSTEM. REPAIRS TO THE POROUS ASPHALT SIDEWALK SHALL BE MADE WITH A PERVIOUS MIX.
- WRITTEN AND VERBAL COMMUNICATION TO THE POROUS PAVEMENT'S FUTURE OWNER SHOULD MAKE CLEAR THE PAVEMENT'S SPECIAL PURPOSE AND SPECIAL MAINTENANCE REQUIREMENTS SUCH AS THOSE LISTED HERE.



PERVIOUS PAVEMENT DETAIL
N.T.S.



PERVIOUS PAVEMENT TRANSITION DETAIL
N.T.S.



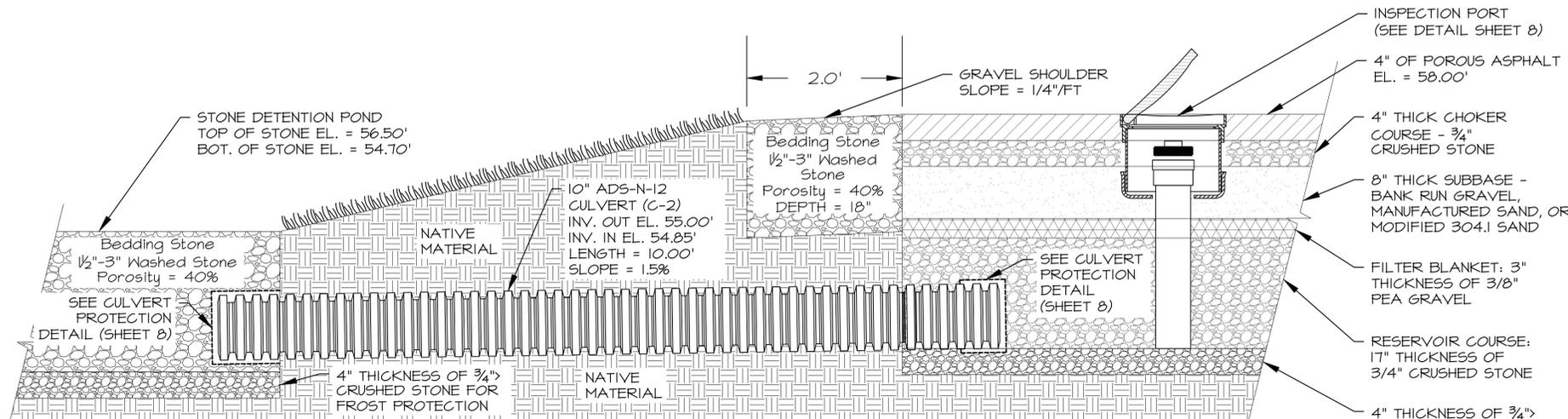
PAVEMENT JOINT DETAIL
N.T.S.

MIX SUMMARY

1. POROUS ASPHALT PAVEMENT MIX PER THE CURRENT UNH STORM WATER CENTER DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS MANUAL.

2. NO WORK SHALL BE STARTED UNTIL THE CONTRACTOR HAS SUBMITTED AND THE ENGINEER HAS APPROVED A MIX DESIGN INCLUDING THE PERCENTAGE OF EACH INGREDIENT INCLUDING BINDER, POLYMER, AND THE JOB-MIX FORMULA FROM SUCH A COMBINATION. THE JOB-MIX FORMULA SHALL ESTABLISH A SINGLE PERCENTAGE OF AGGREGATE PASSING SIEVE AND A SINGLE PERCENTAGE OF BITUMINOUS MATERIAL TO BE ADDED TO THE AGGREGATE. NO CHANGE IN THE JOB-MIX FORMULA MAY BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER. THE JOB-MIX FORMULA MUST FALL WITH THE MASTER RANGE SPECIFIED IN COMPOSITION OF MIXTURE TABLE.

TRANSPORTING MATERIAL: SEE CONSTRUCTION AND INSTALL SPECIFICATIONS



PERVIOUS PAVEMENT - STONE DET. POND TRANSITION DETAIL
N.T.S.

| ISS. | DATE | DESCRIPTION OF ISSUE |
|------|------------|----------------------|
| 7 | 1/7/2021 | PB SUBMITTAL |
| 6 | 12/3/2020 | PB SUBMITTAL |
| 5 | 10/28/2020 | PB SUBMITTAL |
| 4 | 10/10/2020 | REVISIONS |
| 3 | 9/21/2020 | TAC SUBMITTAL |
| 2 | 8/17/2020 | TAC SUBMITTAL |
| 1 | 8/4/2020 | TAC SUBMITTAL |

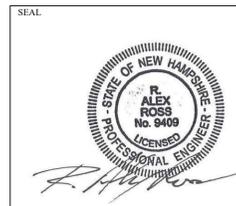
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| CHECKED: | A.ROSS |
| DRAWN: | DDD |
| CHECKED: | A.ROSS |

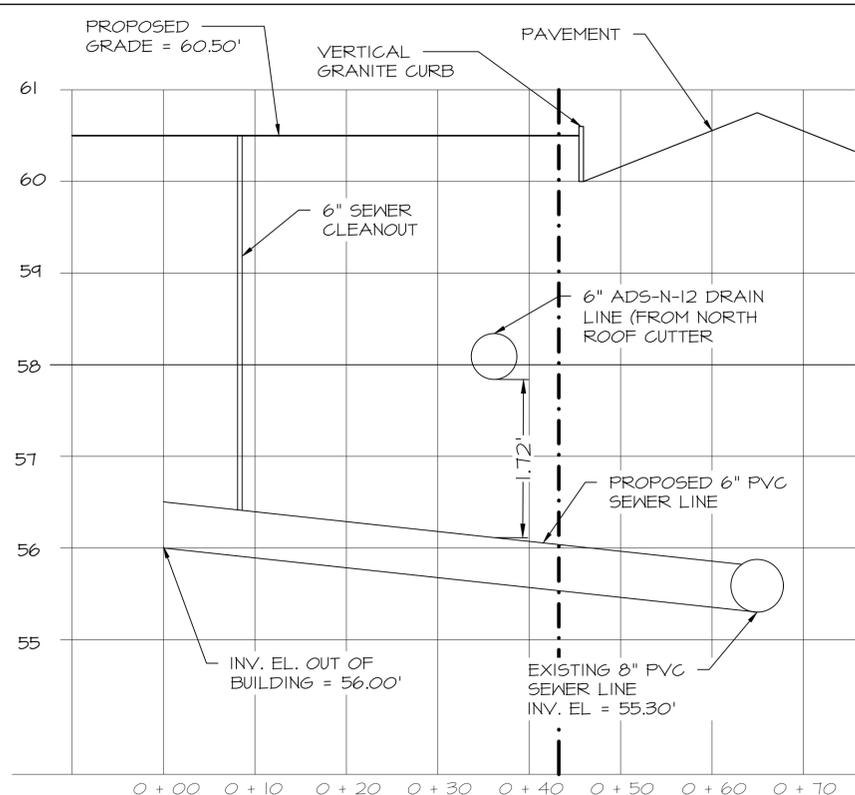
ROSS ENGINEERING, LLC
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

TITLE
PAVEMENT DETAILS
for
SARATOGA WAY
Tax Map 212, Lots 112 & 113
Portsmouth, NH

OWNER OF RECORD
Raleigh Way Holding Group, LLC
1 Middle Street, Suite 1
Portsmouth, NH 03801

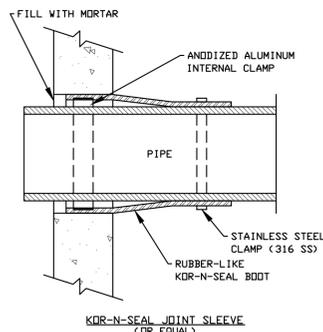
| JOB NUMBER | DWG. NO. | ISSUE |
|------------|----------|-------|
| 19-097 | 9 OF 10 | 7 |





SEWER PROFILE

SCALE: HORIZONTAL: 1" = 10'
VERTICAL: 1" = 1'



MANHOLE PENETRATIONS

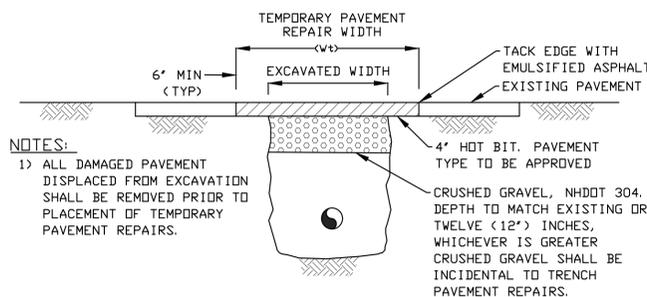
Scale: N.T.S.

PAVEMENT REPAIR NOTE:

THE DIMENSIONS SHOWN SHALL BE CONSIDERED MINIMUM PAVEMENT PAYMENT WIDTHS FOR 0-10' DEEP CONSTRUCTION. W_t AND W_p SHALL BE INCREASED BY 4' - 0" FOR TRENCHES 10' TO 15' AND BY 8' - 0" FOR TRENCHES 15' TO 20' IN DEPTH.

MINIMUM TRENCH PAVEMENT WIDTHS

| PIPE I. D. | W _t (INCHES) | W _p (INCHES) |
|--------------|-------------------------|-------------------------|
| 1-21 INCHES | 72 | 108 |
| 24-30 INCHES | 84 | 120 |
| > 30 INCHES | 96 | 132 |



NOTES:

1) ALL DAMAGED PAVEMENT DISPLACED FROM EXCAVATION SHALL BE REMOVED PRIOR TO PLACEMENT OF TEMPORARY PAVEMENT REPAIRS.

4" HOT BIT. PAVEMENT TYPE TO BE APPROVED
CRUSHED GRAVEL, NHDOT 304. DEPTH TO MATCH EXISTING OR TWELVE (12") INCHES, WHICHEVER IS GREATER CRUSHED GRAVEL SHALL BE INCIDENTAL TO TRENCH PAVEMENT REPAIRS.

TEMPORARY TRENCH PAVEMENT REPAIR

Scale: N.T.S.

WATER SYSTEM NOTES:

- ALL WATER SERVICES SHALL BE AT LEAST 1" COPPER UNLESS THE EXISTING SERVICE IS LARGER.
- NO WORK SHALL BE PERFORMED ON PRIVATE PROPERTY UNTIL THE OWNER HAS SIGNED A MEMORANDUM OF UNDERSTANDING WITH THE CITY.
- THE CONTRACTOR SHALL PHASE THE CONSTRUCTION OF THE WATER TO MINIMIZE DISRUPTION TO THE EXISTING SYSTEM. THE SYSTEM SHALL NOT BE IMPACTED OR SHUT DOWN WITHOUT PROPER NOTICE AND ANY DAMAGE CAUSED BY A SHUTDOWN WILL BE PAID FOR BY THE CONTRACTOR. MAINTENANCE OF THE WATER FLOW IS SUBSIDIARY TO THE WORK.
- WATER SHUT DOWN NOTICES SHALL BE 3 WEEK DAYS IN ADVANCE OF THE SHUTDOWN.
- THE WATER MAINS SHALL BE CONSTRUCTED OF 8" CEMENT LINED DUCTILE IRON EXCEPT FOR TIE LINES AND HYDRANT STUBS.
- WATER SERVICE CURB STOPS SHALL BE SET 1/4" OF AN INCH BELOW GRADE IN THE SIDEWALK SURFACE IF POSSIBLE.
- ALL EXISTING PIPES ABANDONED IN PLACE SHALL BE PLUGGED AT ALL OPEN AREAS.
- THE SYSTEM WILL BE TESTED FOR LEAKS, CONTAMINANTS.
- NATION AND FLAWS PRIOR TO ACCEPTANCE BY THE CITY.
- ALL GATE VALVES SHALL BE RESTRAINED WITH MECHANICAL RESTRAINT JOINTS AND REINFORCED WITH THRUST BLOCKING.
- ALL TEES, BENDS GATES AND CAPS SHALL BE USED WITH MECHANICAL RESTRAINT JOINTS AND REINFORCED WITH THRUST BLOCKING.
- ALL TEES, BENDS GATES AND CAPS SHALL BE USED WITH MECHANICAL RESTRAINT JOINTS AND REINFORCED WITH THRUST BLOCKING.
- MAINTAIN A MINIMUM DISTANCE OF 10' BETWEEN THE SEWER AND THE WATER SYSTEM EXCEPT FOR CROSSINGS WHICH SHALL BE CONSTRUCTED PER THE CURRENT STATE APPROVED RULES.
- ALL PORTIONS OF THE NEW DUCTILE IRON WATER MAIN SYSTEM SHALL BE PROTECTED USING PLASTIC WRAPPINGS AND BRASS CONDUCTIVITY WEDGES. SEE SPECIFICATIONS.

GENERAL NOTES:

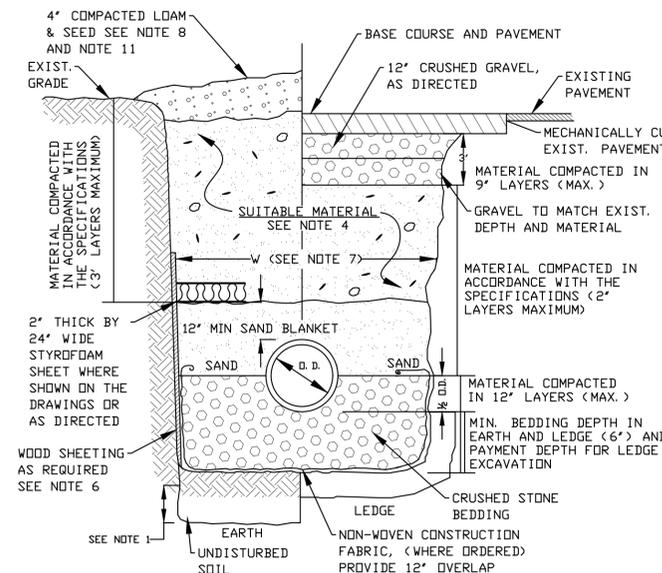
- ADD FITTINGS AS NECESSARY TO ENSURE THAT VALVES ARE INSTALLED NEARLY LEVEL.
- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY RDSS ENGINEERING. EXISTING UTILITIES THAT ARE SHOWN ON THE PLANS WERE GATHERED FROM AVAILABLE STRUCTURES THAT WERE VIABLE, RECORD DRAWINGS OF THE VARIOUS UTILITY COMPANIES CAMERA INSPECTIONS AND OBSERVATIONS MADE. THERE IS NO GUARANTEE THAT THE UTILITIES SHOWN ARE EXACTLY AS PORTRAYED OF THAT OTHER UTILITIES THAT ARE NOT SHOWN DON'T EXIST. ALL THE STRUCTURES SHOWN HAVE MULTIPLE SERVICES AND MAY HAVE OLD CONNECTIONS THAT MAY HAVE NOT BEEN PROPERLY ABANDONED. THE BIDDER SHOULD ASSUME THAT EXTREME CAUTION AND HAND EXCAVATION MAY BE REQUIRED IN THESE OLDER PORTIONS OF THE CITY. NO EXTRA PAYMENTS WILL BE MADE FOR EXPLORATION OF DEFUNCT UTILITIES LEFT IN THE GROUND.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR (IF DAMAGED) OF THE EXISTING UTILITY INFRASTRUCTURE WITHIN THE BOUNDS OF THE PROJECT ONCE CONSTRUCTION HAS BEGUN. NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE BEGINNING OF EXCAVATION WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF CONFLICTS BETWEEN THE EXISTING AND PROPOSED UTILITIES.
 - ALL CONFLICTS WITH GAS LINES SHALL BE COORDINATED WITH UNITIL, THE GAS COMPANY, AND SHALL BE SUBSIDIARY. THE GAS COMPANY WAS NOTIFIED OF OBVIOUS CONFLICTS PREVIOUSLY AND WAS TO LOCATE THEIR MAINS AND SERVICES IN ACCORDANCE TO THE PROPOSED LAYOUT ON THIS PLAN. THE CITY MAKES NO GUARANTEES THAT THE ACTUAL AS BUILT LOCATIONS OF THE GAS LINES ARE AS SHOWN ON THESE PLANS.
 - THE CONTRACTOR SHALL MAINTAIN ONE PASSABLE LANE AND SAFE PASSAGE FOR RESIDENTS TO AND FROM THEIR BUSINESS AND DWELLINGS IN THE NEIGHBORHOOD. WORK THAT REQUIRES THE COMPLETE SHUT DOWN OF THE STREET HAS TO BE APPROVED BY THE ENGINEER PRIOR TO THE WORK COMMENCING.
 - THE STREETS IN THE PROJECT AREA WILL BE PASSABLE AND SAFE IN THE OPINION OF THE ENGINEER PRIOR TO WORK TERMINATING AT THE END OF THE DAY.
 - THE USE OF STEEL PLATES IN LIEU OF BACKFILLING WILL NOT BE ALLOWED UNLESS APPROVED BY THE DIRECTOR OF PUBLIC WORKS AHEAD OF TIME.
 - THESE PLANS HAVE BEEN CREATED TO BE USED TOGETHER WITH THE CONTRACT AND SPECIFICATIONS TO CREATE ONE COMPLETE BID AND CONSTRUCTION DOCUMENT.
 - THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL MATERIALS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL NOT PURCHASE ANY MATERIALS UNTIL THEY HAVE BEEN APPROVED FOR USE BY THE DEPARTMENT.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL SURPLUS EARTHEN MATERIALS, PIPE, UNUSED CURBING, LEDGE, OLD OR UNUSED SEWER AND DRAINAGE STRUCTURES ETC.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PROPERTY RESTORATION BOTH PUBLIC AND PRIVATE FOR DAMAGE DONE BY THE CONTRACTOR. RESTORATION WILL BE COMPLETED WITH NOT COST TO THE CITY.
 - TEMPORARY OR PERMANENT PAVING WILL BE RESTORED TO EXISTING LINE AND GRADE UNLESS DIRECTED BY THE ENGINEER.
 - OVERHEAD WIRES ARE SHOWN ON THE DRAWINGS BUT THE CITY MAKES NO WARRANTY TO THEIR COMPLETENESS OR THAT THEIR HEIGHT IS SUFFICIENT TO COMPLETE THE WORK. POLES THAT NEED TO BE HELD UP BY THE UTILITY COMPANY WILL BE PAID FOR BY THE CONTRACTOR WITH NO ADDITIONAL COST PASSED ON TO THE CITY.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF TRAFFIC AND CONSTRUCTION SIGNS AS NEEDED TO ACCOMPLISH THE WORK. CITY SIGNS (STOP, NO PARKING, ONE WAY, ETC) NEED TO BE REINSTALLED AT THE END OF EACH WORKDAY.
 - ALL WORK BEING DONE IN THE CITY RIGHT-OF-WAY SHALL BE REVIEWED BY THE CITY AND INSPECTED BY THE CITY AS IT IS BEING DONE.

GRAVITY SEWER TRENCH NOTES:

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE:** BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWINGS.
- BEDDING:** SEE NOTE 7 OF STANDARD MANHOLE NOTES. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.
- SAND BLANKET:** CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. NO STONE LARGER THAN 2" SHOULD BE IN CONTACT WITH THE PIPE.
- SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK, OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WILL BE PRESERVED.
- BASE COURSE AND PAVEMENT:** SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY AND LOCAL REGULATION.
- WOOD SHEATHING, IF REQUIRED:** WHERE SHEATHING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEATHING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH PAYMENT WIDTH** FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 12 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O. D.). ALSO, W SHALL BE THE PAYMENT WIDTH.
- FOR CROSS COUNTRY CONSTRUCTION,** BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- CONCRETE FOR ENCASEMENT** SHALL CONFORM TO THE REQUIREMENTS OF SECTION 520, (NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION).
- CONCRETE FULL ENCASEMENT:** IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I. D. (4' MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
- GRAVEL DRIVEWAY AND SHOULDER RESTORATION:** CRUSHED GRAVEL IN DRIVEWAYS AND ROAD SHOULDERS SHALL MATCH EXISTING WITH A MINIMUM OF 12". GRAVEL REPLACEMENT SHALL BE SUBSIDIARY TO SEWER CONSTRUCTION AND WILL NOT BE MEASURED FOR PAYMENT.

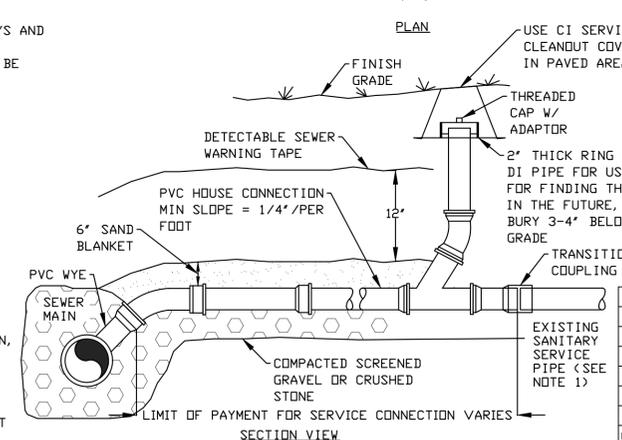
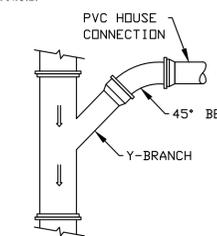
NOTES:

- ALL SEWER SERVICE EXTENSIONS SHALL BE 6', CONTRACTOR SHALL VERIFY EXISTING SEWER SERVICE LOCATION AND ELEVATION BY EXCAVATION OF TEST PITS OR OTHER MEANS PRIOR TO THE CONSTRUCTION OF SEWER MAIN.
- SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE.
- VARIOUS SIZE TRANSITION COUPLINGS SHALL BE STORED ON SITE FOR CONNECTION TO EXISTING SERVICES.
- CLEANOUTS SHALL BE INSTALLED AT EACH LIVE SEWER SERVICE CONNECTION, AS SHOWN ON THIS PLAN. REBAR SHALL BE PLACED AT SIDE OF CLEANOUT.
- CLEANOUT SHALL BE USED TO PLUG AND TEST ALL NEW LATERALS WITH MINIMAL INTERRUPTION TO OPERATION OF HOMEOWNER SANITARY SYSTEM. CLEANOUTS SHALL BE INCIDENTAL TO SERVICE CONNECTIONS AND SHALL NOT BE CONSIDERED FOR PAYMENT.



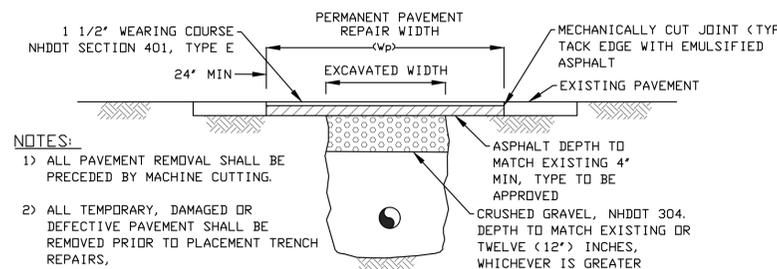
TRENCH DETAIL- GRAVITY SEWER

Scale: N.T.S.



TYPICAL SERVICE CONNECTION

Scale: N.T.S.



NOTES:

- ALL PAVEMENT REMOVAL SHALL BE PRECEDED BY MACHINE CUTTING.
- ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT TRENCH REPAIRS.
- DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

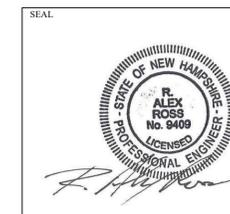
PERMANENT TRENCH PAVEMENT REPAIR

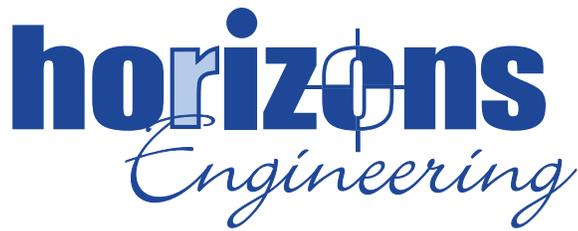
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| 7 | 1/7/2021 | PB SUBMITTAL |
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| 1 | 8/4/2020 | TAC SUBMITTAL |

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| SCALE: | 1" = 10' |
| CHECKED: | A.ROSS |
| DRAWN: | DDD |
| CHECKED: | A.ROSS |

ROSS ENGINEERING, LLC
Civil/Structural Engineering & Surveying
909 Islington St.
Portsmouth, NH 03801
(603) 433-7560

| | | |
|--|----------|-------|
| TITLE | | |
| NOTES for SARATOGA WAY Tax Map 212, Lots 112 & 113 Portsmouth, NH | | |
| OWNER OF RECORD Raleigh Way Holding Group, LLC 1 Middle Street, Suite 1 Portsmouth, NH 03801 | | |
| JOB NUMBER | DWG. NO. | ISSUE |
| 19-097 | 10 OF 10 | 7 |





4995 VT Route 14, PO Box 247, Sharon, VT 05065 • Ph 802-457-3151 • Fax 603-444-1343 • www.horizonsengineering.com

Project No. 16074

TO: Dexter R. Legg, Chairman of the Planning Board
Planning Board Members

FROM: Ryan Libbey, P.E.
Horizons Engineering, Inc.

CC: Peter Stith, Principal Planner, Planning Department
Elise D. Annunziata, Community Development Coordinator

DATE: December 29, 2021

SUBJECT: Woodbury Avenue Cooperative Inc., Site Plan Approval Extension

In accordance with the Site Plan Approval for 1338 Woodbury Avenue, dated March 18, 2021 (see Letter of Decision 3/23/21), Woodbury Avenue Cooperative, Inc. respectfully requests a one-year extension until March 18, 2023. We understand that this site plan approval shall expire unless a building permit is issued within a period of one (1) year from the date granted by the Planning Board unless an extension is granted by the Planning Board in accordance with Section 2.14 of the Site Review Regulations.

A demolition permit has been requested of Inspections and the construction bid for the above reference project has been advertised.

T:\16074 Woodbury Coop Subdivision\DOCS\Corresp

Horizons Engineering, Inc.

New London, NH • Newport, VT • Littleton, NH • Pomfret, VT • Kennebunk, ME • Conway, NH



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

PLANNING BOARD

March 23, 2021

Woodbury Avenue Cooperative, Inc.
1 Wakefield Street, Suite 5
Rochester, NH 03867

RE: Site Plan Review for property located at 1338 Woodbury Avenue (LU 20-198)

Dear Property Owner:

The Planning Board, at its regularly scheduled meeting of **Thursday, March 18, 2021**, considered your application for Site Plan Review approval for the demolition of two existing structures and replacement and reconfiguration of existing mobile home units with associated grading, pavement, lighting, utilities, landscaping and other site improvements.

Said property is shown on Assessor Map 237 Lot 70 and lies within the Mixed Residential Business (MRB) District. As a result of said consideration, the Board voted grant your request with the following stipulations:

- 1) Property owners shall provide an access easement to the City for water valve access and leak detection. The easement shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.
- 2) The services in Echo Ave shall be terminated to the satisfaction of Portsmouth Water and Sewer Divisions.
- 3) Sewer connections to the City sewer system need to be witnessed by the Portsmouth Sewer Division. The entire system must be tested to ensure the system is tight with no groundwater leaks to the satisfaction of the City.
- 4) Work in the City of Portsmouth right-of-way shall require excavation permits.
- 5) Contractor shall meet with Portsmouth Water Division before starting project.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

This site plan approval shall not be effective until a site plan agreement has been signed satisfying the requirements of Section 2.12 of the City's Site Review Approval Regulations.

Unless otherwise indicated above, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

The Planning Director must certify that all stipulations of approval have been completed prior to issuance of a building permit unless otherwise indicated above.

This site plan approval shall expire unless a building permit is issued within a period of one

(1) year from the date granted by the Planning Board unless an extension is granted by the Planning Board in accordance with Section 2.14 of the Site Review Regulations.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Dexter R. Legg". The signature is written in a cursive style with a large initial "D".

Dexter R. Legg, Chairman of the Planning Board

cc: Robert Marsilia, Chief Building Inspector
Rosann Maurice-Lentz, City Assessor

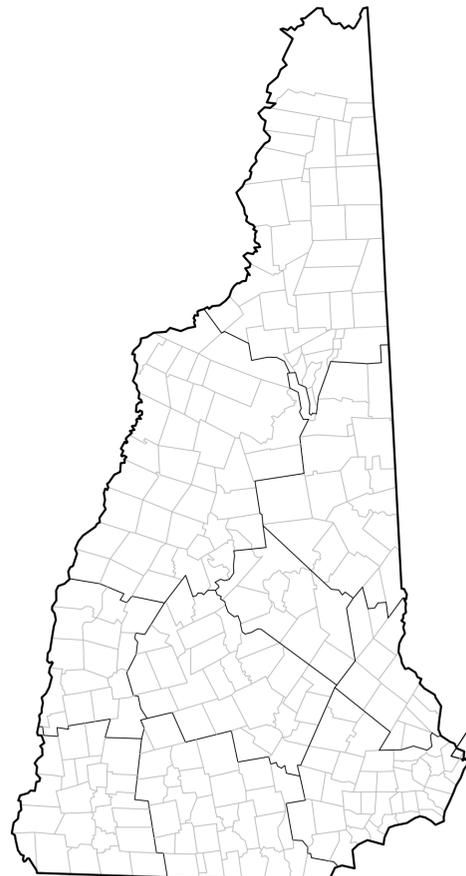
Peter H. Rice, Director of Public Works

Stephen Boutin, Horizons Engineering, Inc.

WOODBURY COOPERATIVE

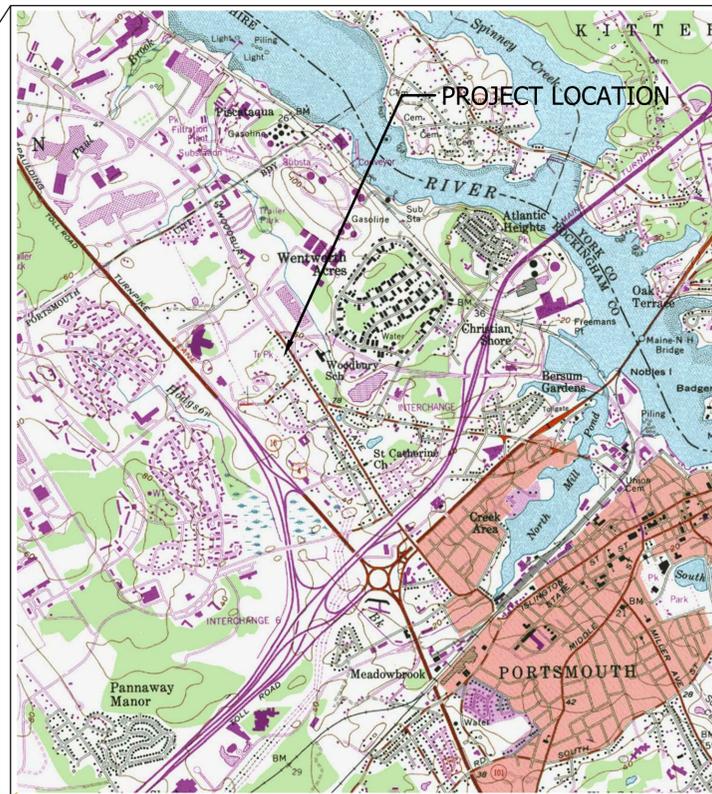
SITE IMPROVEMENTS

PORTSMOUTH, NEW HAMPSHIRE
 FEBRUARY 2021



NEW HAMPSHIRE

PORTSMOUTH



LOCATION PLAN

SCALE: 1" = 2000'

OWNER:

WOODBURY COOPERATIVE
 ROC-NH
 7 WALL STREET
 CONCORD, NH 03301
 (603) 224-6669

ENGINEER & SURVEYOR:



34 SCHOOL STREET
 LITTLETON, NH 03561
 (603) 444-4111

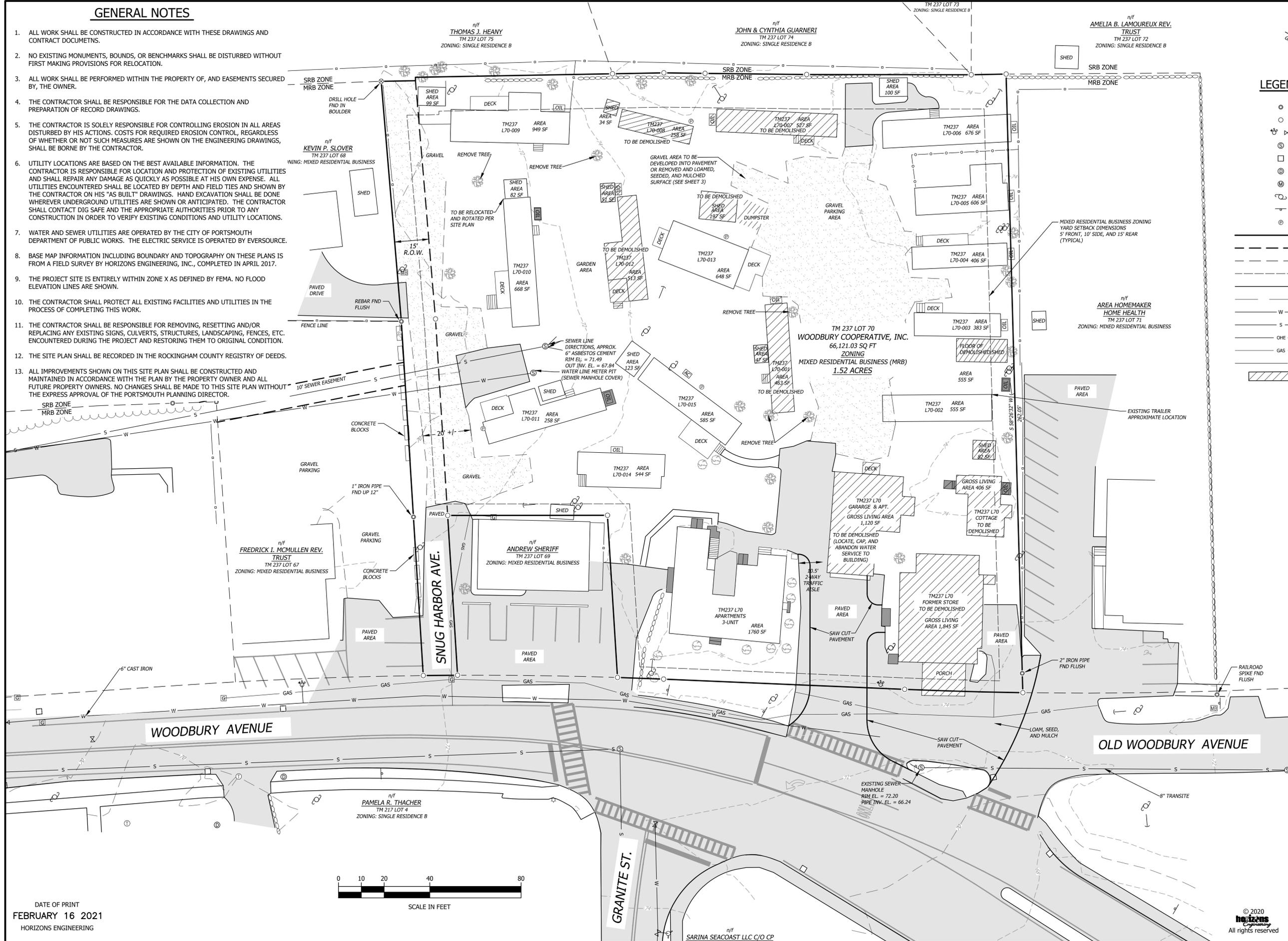
INDEX OF SHEETS:

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FOR REVIEW
 NOT FOR CONSTRUCTION

GENERAL NOTES

- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE DRAWINGS AND CONTRACT DOCUMENTS.
- NO EXISTING MONUMENTS, BOUNDS, OR BENCHMARKS SHALL BE DISTURBED WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
- ALL WORK SHALL BE PERFORMED WITHIN THE PROPERTY OF, AND EASEMENTS SECURED BY, THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DATA COLLECTION AND PREPARATION OF RECORD DRAWINGS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTROLLING EROSION IN ALL AREAS DISTURBED BY HIS ACTIONS. COSTS FOR REQUIRED EROSION CONTROL, REGARDLESS OF WHETHER OR NOT SUCH MEASURES ARE SHOWN ON THE ENGINEERING DRAWINGS, SHALL BE BORNE BY THE CONTRACTOR.
- UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF EXISTING UTILITIES AND SHALL REPAIR ANY DAMAGE AS QUICKLY AS POSSIBLE AT HIS OWN EXPENSE. ALL UTILITIES ENCOUNTERED SHALL BE LOCATED BY DEPTH AND FIELD TIES AND SHOWN BY THE CONTRACTOR ON HIS "AS BUILT" DRAWINGS. HAND EXCAVATION SHALL BE DONE WHEREVER UNDERGROUND UTILITIES ARE SHOWN OR ANTICIPATED. THE CONTRACTOR SHALL CONTACT DIG SAFE AND THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION IN ORDER TO VERIFY EXISTING CONDITIONS AND UTILITY LOCATIONS.
- WATER AND SEWER UTILITIES ARE OPERATED BY THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. THE ELECTRIC SERVICE IS OPERATED BY EVERSOURCE.
- BASE MAP INFORMATION INCLUDING BOUNDARY AND TOPOGRAPHY ON THESE PLANS IS FROM A FIELD SURVEY BY HORIZONS ENGINEERING, INC., COMPLETED IN APRIL 2017.
- THE PROJECT SITE IS ENTIRELY WITHIN ZONE X AS DEFINED BY FEMA. NO FLOOD ELEVATION LINES ARE SHOWN.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING FACILITIES AND UTILITIES IN THE PROCESS OF COMPLETING THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING, RESETTING AND/OR REPLACING ANY EXISTING SIGNS, CULVERTS, STRUCTURES, LANDSCAPING, FENCES, ETC. ENCOUNTERED DURING THE PROJECT AND RESTORING THEM TO ORIGINAL CONDITION.
- THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.



LEGEND

| | |
|-----|----------------------------------|
| ○ | IRON PIPE OR ROD FOUND |
| ○ | CALCULATED POINT |
| ⊕ | EXISTING WATER STRUCTURES |
| ⊙ | EXISTING SEWER MANHOLE |
| ⊕ | EXISTING CATCH BASIN |
| ⊙ | EXISTING DRAIN MANHOLE |
| ⊕ | EXISTING METER PIT |
| ⊙ | EXISTING UTILITY POLE |
| ⊕ | EXISTING SIGN |
| ⊙ | EXISTING PROPANE TANK |
| --- | EXISTING BOUNDARY LINE |
| --- | EXISTING EASEMENT |
| --- | ABUTTERS LINE |
| --- | BUILDING SETBACK LINE |
| --- | EXISTING EDGE OF PAVEMENT |
| --- | EXISTING EDGE OF GRAVEL |
| W | EXISTING WATER SERVICE |
| S | EXISTING SEWER SERVICE |
| OHE | EXISTING OVERHEAD ELECTRIC LINES |
| GAS | EXISTING UNDERGROUND GAS |
| --- | EXISTING FENCE |
| ▨ | BUILDING TO BE DEMOLISHED |

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NOT FOR CONSTRUCTION



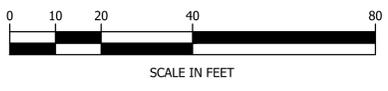
WOODBURY COOPERATIVE, INC
SITE IMPROVEMENTS
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITIONS &
DEMOLITION PLAN

| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
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| | FEB. 2021 | 16074 |
| | ENGINE'D BY: | DRAWN BY: |
| | --- | CLB |
| CHECK'D BY: | ARCHIVE #: | |
| DMC | | |
| SHEET 2 OF 9 | | |

DATE OF PRINT
FEBRUARY 16 2021
HORIZONS ENGINEERING



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Engineering
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AREA COVERAGE TOTALS

EXISTING
 BUILDINGS, SHEDS, DECKS, CONCRETE : 15,237 SQ. FT. (0.35 ACRES)
 GRAVEL: 10,961 SQ. FT. (0.25 ACRES)
 PAVEMENT: 6,349 SQ. FT. (0.15 ACRES)
 TOTAL EXISTING IMPERVIOUS: (49.22%) 32,547 SQ. FT. (0.75 ACRES)

PROPOSED
 BUILDINGS, SHEDS, DECKS, CONCRETE: 12,820 SQ. FT. (0.30 ACRES)
 GRAVEL: 15,953 SQ. FT. (0.37 ACRES)
 PAVEMENT: 4,999 SQ. FT. (0.11 ACRES)
 TOTAL PROPOSED IMPERVIOUS: (51.07%) 33,772 SQ. FT. (0.85 ACRES)

SITE PLAN REGULATION 1.2.2

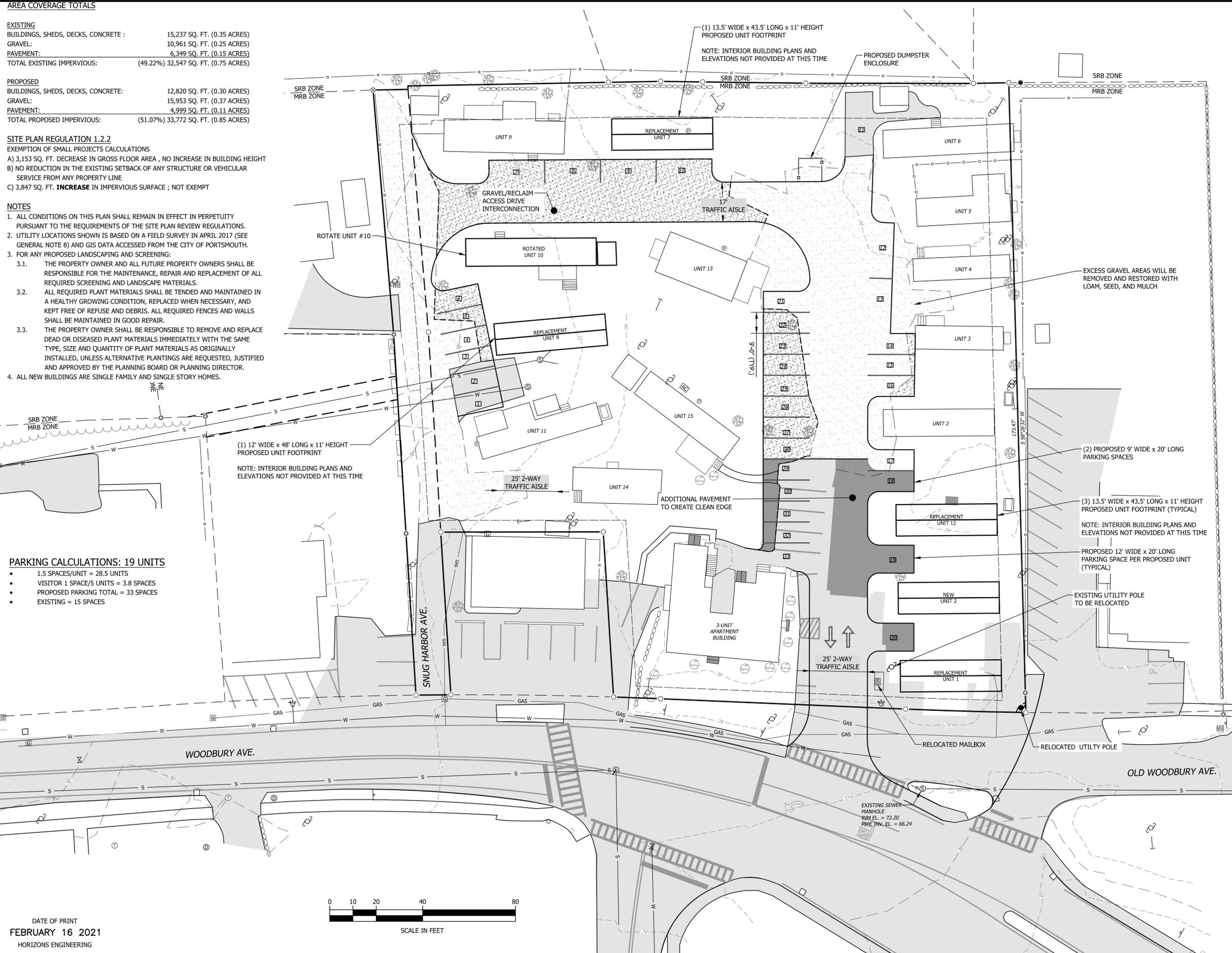
- EXEMPTION OF SMALL PROJECTS CALCULATIONS
 A) 3,153 SQ. FT. DECREASE IN GROSS FLOOR AREA, NO INCREASE IN BUILDING HEIGHT
 B) NO REDUCTION IN THE EXISTING SETBACK OF ANY STRUCTURE OR VEHICULAR SERVICE FROM ANY PROPERTY LINE
 C) 3,847 SQ. FT. **INCREASE** IN IMPERVIOUS SURFACE ; NOT EXEMPT

NOTES

- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- UTILITY LOCATIONS SHOWN IS BASED ON A FIELD SURVEY IN APRIL 2017 (SEE GENERAL NOTE 8) AND GIS DATA ACCESSED FROM THE CITY OF PORTSMOUTH.
- FOR ANY PROPOSED LANDSCAPING AND SCREENING:
 - THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
 - ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
 - THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- ALL NEW BUILDINGS ARE SINGLE FAMILY AND SINGLE STORY HOMES.

PARKING CALCULATIONS: 19 UNITS

- 1.5 SPACES/UNIT = 28.5 UNITS
- VISITOR 1 SPACE/5 UNITS = 3.8 SPACES
- PROPOSED PARKING TOTAL = 33 SPACES
- EXISTING = 15 SPACES



LEGEND

- — IRON PIPE OR ROD FOUND
- — CALCULATED POINT
- — 5/8" REBAR TO BE SET
- ⊗ — EXISTING WATER STRUCTURES
- ⊙ — EXISTING SEWER MANHOLE
- ⊠ — EXISTING CATCH BASIN
- ⊚ — EXISTING DRAIN MANHOLE
- ⊕ — EXISTING METER PIT
- ⊖ — EXISTING UTILITY POLE
- ⊗ — EXISTING SIGN
- ⊙ — EXISTING PROPANE TANK
- — EXISTING BOUNDARY LINE
- - - - ABUTTERS LINE
- - - - EXISTING EASEMENT
- - - - SETBACK LINE
- ▬ — EXISTING EDGE OF PAVEMENT
- ▬ — PROPOSED EDGE OF PAVEMENT
- ▬ — EXISTING EDGE OF GRAVEL
- ▬ — PROPOSED EDGE OF GRAVEL
- W — EXISTING WATER SERVICE
- S — EXISTING SEWER SERVICE
- OHE — EXISTING OVERHEAD ELECTRIC LINES
- GAS — EXISTING UNDERGROUND GAS
- — EXISTING FENCE

**FOR REVIEW
NOT FOR CONSTRUCTION**



WOODBURY COOPERATIVE, INC
 SITE IMPROVEMENTS
 PORTSMOUTH, NEW HAMPSHIRE

SITE PLAN

| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
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DATE: FEB. 2021 PROJECT #: 16074
 ENGIN'D BY: RDL DRAWN BY: CLB
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 SHEET 3 OF 9



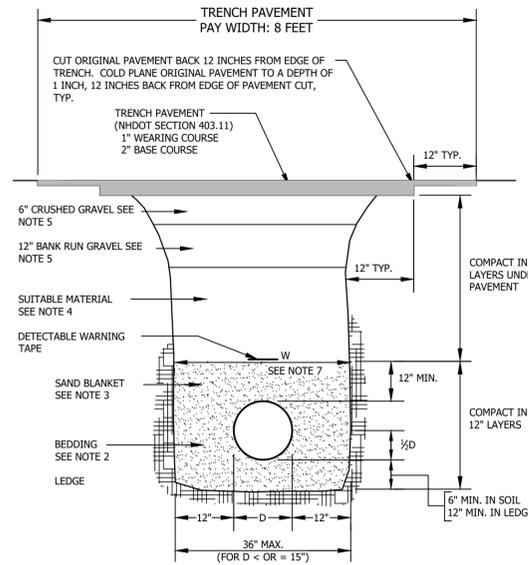
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STANDARD TRENCH NOTES - WATER

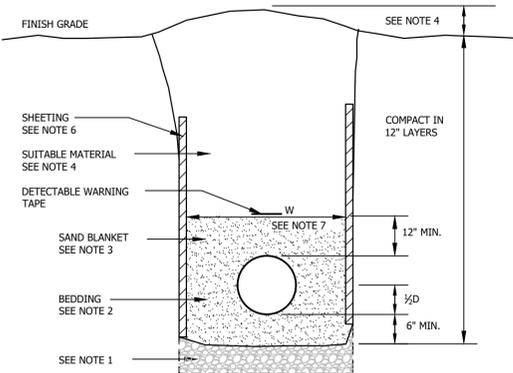
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL** BELOW GRADE SHALL BE REPLACED WITH BEDDING MATERIAL. SEE ALSO NOTE 4.
- BEDDING & SAND BLANKET:** CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% PASSES A #200 SIEVE.
- SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS, AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED FROM THE TRENCH DURING THE COURSE OF CONSTRUCTION, AFTER EXCLUDING DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL NOT APPROVED BY THE ENGINEER.

TRENCH BACKFILL IN CROSS-COUNTRY LOCATIONS SHALL BE SUITABLE MATERIAL AS DESCRIBED ABOVE, EXCEPT THAT TOP SOIL, LOAM, MUCK, OR PEAT MAY BE USED PROVIDED THAT THE COMPLETED CONSTRUCTION WILL BE STABLE AND ACCESS TO THE PIPE FOR MAINTENANCE AND RECONSTRUCTION IS PRESERVED. BACKFILL SHALL BE MOUND TO A HEIGHT OF SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- BASE COURSE FOR TRENCH REPAIR** SHALL MEET THE REQUIREMENTS OF SECTION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- SHEETING:** ALL TRENCH SUPPORTS SHALL CONFORM TO OSHA STANDARDS. CONTRACTOR IS RESPONSIBLE FOR OSHA COMPLIANCE AND WORKER SAFETY THROUGHOUT CONSTRUCTION.
- TRENCH DIMENSIONS:** W = MAXIMUM ALLOWABLE TRENCH WIDTH MEASURED 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER (D) OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS THE PIPE OUTSIDE DIAMETER. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE. THE MAXIMUM ALLOWABLE TRENCH PAVEMENT PAYMENT WIDTH SHALL BE 8 FEET CENTERED OVER PIPE.
- WATER/SEWER SEPARATION:** WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWER BY A MINIMUM OF 10 FEET HORIZONTALLY AND A MINIMUM OF 18 INCHES VERTICALLY, WITH THE WATER MAIN ABOVE THE SEWER.
- PIPE COVER:** COVER OVER WATER SHALL BE 6 FEET MINIMUM IN ALL LOCATIONS.



NOTE:
MINIMUM BEDDING DEPTH AND MAXIMUM PAYMENT LIMIT FOR LEDGE EXCAVATION = 1/2 D (12" MINIMUM)

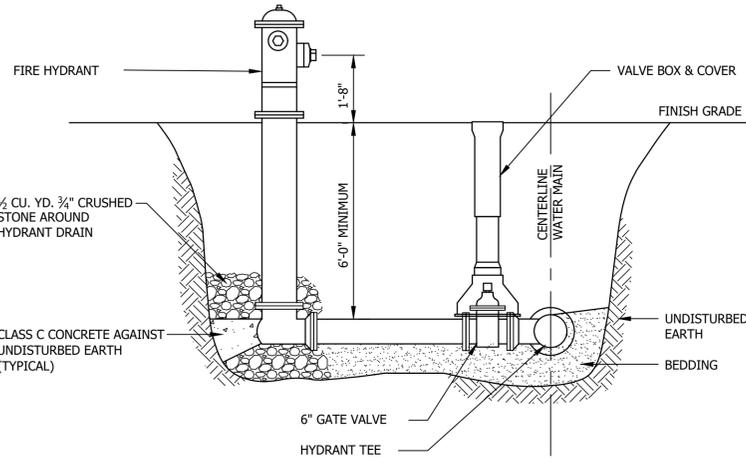
LEDGE/SUB PAVEMENT CONSTRUCTION



EARTH CONSTRUCTION WITH OR WITHOUT SHEETING

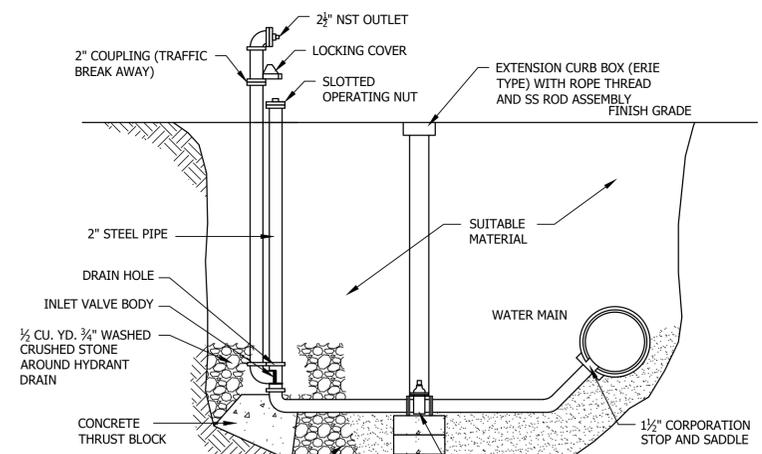
STANDARD TRENCH SECTIONS

NOT TO SCALE



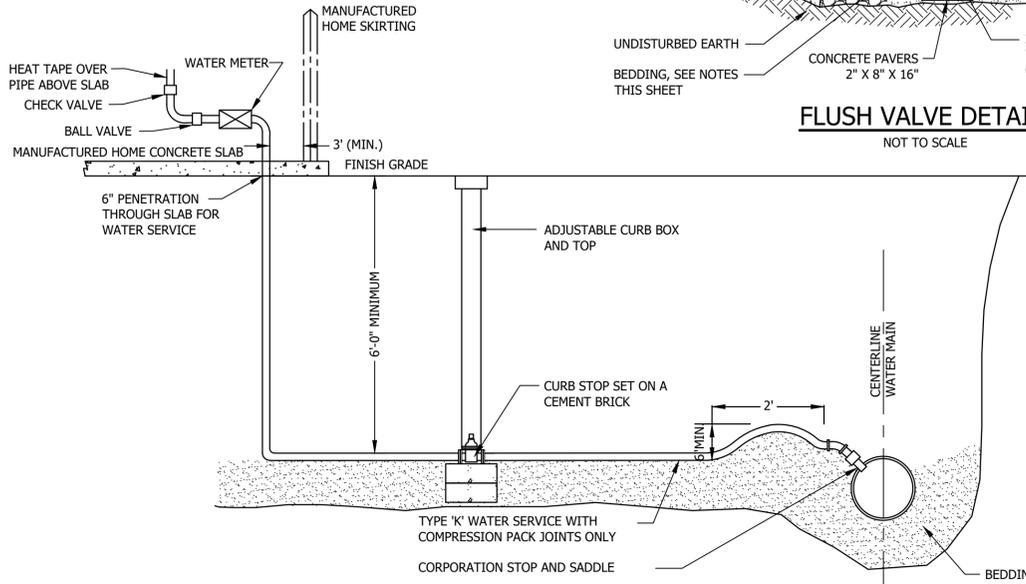
FIRE HYDRANT DETAIL

NOT TO SCALE



FLUSH VALVE DETAIL

NOT TO SCALE



WATER SERVICE CONNECTION

NOT TO SCALE

- BLOCKS MUST BE POURED AGAINST UNDISTURBED SOIL
- THE PIPE JOINT AND BOLTS MUST BE ACCESSIBLE.
- CONCRETE SHOULD BE CURED FOR AT LEAST 5 DAYS AND SHOULD HAVE A COMPRESSION STRENGTH OF 3,000 LBS. AT 28 DAYS.
- BLOCKS MUST BE POSITIONED TO COUNTERACT THE DIRECTION OF THE RESULTANT THRUST FORCE.

RESTRAINED JOINTS MAY BE USED FOR RESISTING THRUST FORCES WHERE THERE IS A SHORTAGE OF SPACE OR WHERE THE SOIL BEHIND A FITTING WILL NOT PROVIDE ADEQUATE SUPPORT. THIS RESTRAINING METHOD INVOLVES PLACEMENT OF THESE SPECIAL JOINTS AT APPROPRIATE FITTINGS AND FOR A PREDETERMINED NUMBER OF PIPE LENGTHS ON EACH SIDE, (MINIMUM 15 FEET).

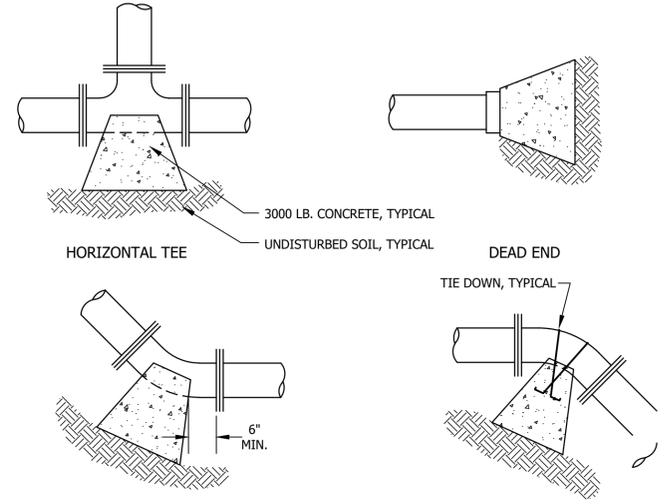
| NOMINAL PIPE DIA. (INCHES) | TOTAL THRUST (POUNDS) | | | | |
|----------------------------|-----------------------|----------|----------|--------------|--------------|
| | DEAD END | 90° BEND | 45° BEND | 22 1/2° BEND | 11 1/4° BEND |
| 4 | 1,810 | 2,559 | 1,385 | 706 | 355 |
| 6 | 3,739 | 5,288 | 2,862 | 1,459 | 733 |
| 8 | 6,433 | 9,097 | 4,923 | 2,510 | 1,261 |
| 10 | 9,677 | 13,685 | 7,406 | 3,776 | 1,897 |
| 12 | 13,685 | 19,353 | 10,474 | 5,340 | 2,683 |
| 14 | 18,385 | 26,001 | 14,072 | 7,174 | 3,604 |
| 16 | 23,779 | 33,628 | 18,199 | 9,278 | 4,661 |
| 18 | 29,865 | 42,235 | 22,858 | 11,653 | 5,855 |
| 20 | 36,644 | 51,822 | 28,046 | 14,298 | 7,183 |
| 24 | 52,279 | 73,934 | 40,013 | 20,398 | 10,249 |

NOTE:
TO DETERMINE THRUST AT PRESSURES OTHER THAN 100 PSI, MULTIPLY THE THRUST OBTAINED IN THE TABLE BY THE RATIO OF THE PRESSURE TO 100. FOR EXAMPLE, THE THRUST ON A 12 INCH, 90° BEND AT 125 PSI IS:

$$\frac{19,353 \times 125}{100} = 24,191 \text{ POUNDS}$$

TO DETERMINE THE SIZE OF A CONCRETE THRUST BLOCK, DIVIDE THE TOTAL FORCE BY THE BEARING VALUE OF THE SOIL. THE QUOTIENT WILL BE THE SIZE OF THE BEARING AREA OF THE THRUST BLOCK IN SQUARE FEET. APPROXIMATE VALUES FOR VARIOUS TYPES OF SOIL ARE LISTED BELOW.

| SOIL | BEARING LOAD (LBS./SQ. FT.) |
|------------|-----------------------------|
| MUCK | 0 |
| SOFT CLAY | 1,000 |
| SILT | 1,500 |
| SANDY SILT | 3,000 |
| SAND | 4,000 |
| SANDY CLAY | 6,000 |



THRUST BLOCK NOTES & DETAILS

NOT TO SCALE

NOTES

- MAINGUARD #77 KUPFERLE FOUNDRY OR APPROVED EQUAL.
- PAINTED RED ABOVE GRADE.
- MINIMUM OF 4 CUBIC FEET OF CRUSHED STONE FOR PROPER DRAINAGE.
- PAY ITEM FOR FLUSHING HYDRANT INCLUDES CORPORATION AND CURB STOP IN ROADWAY.

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NEWPORT VT • LITTLETON NH • NEW LONDON NH
POMFRET VT • KENNEBUNK ME • CONWAY NH

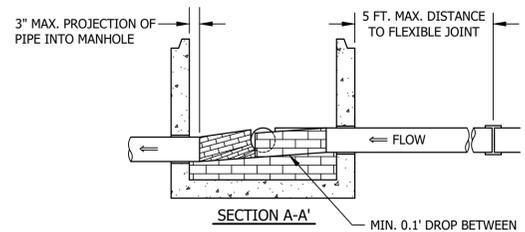
WOODBURY COOPERATIVE, INC

SITE IMPROVEMENTS
PORTSMOUTH, NEW HAMPSHIRE

POTABLE WATER DETAILS

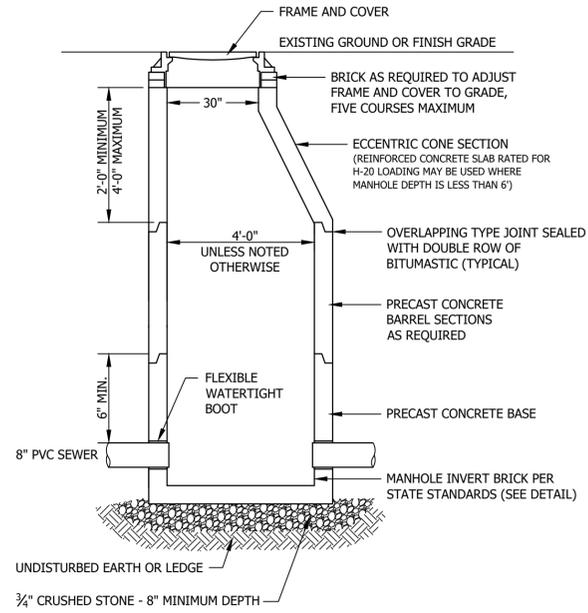
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| SHEET 5 OF 9 | | |



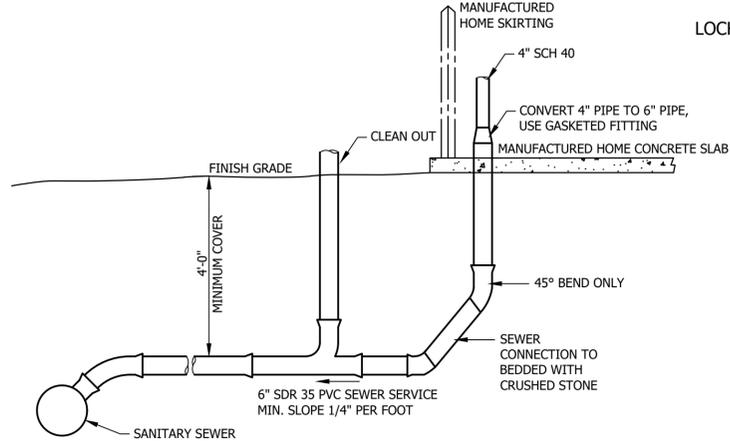
MANHOLE INVERT DETAILS

NOT TO SCALE



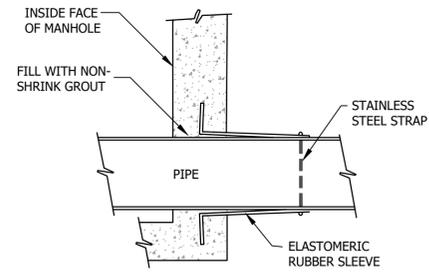
SANITARY SEWER MANHOLE DETAIL

NOT TO SCALE

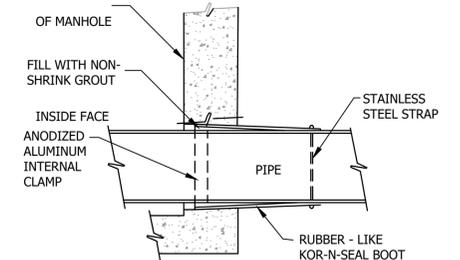


SEWER SERVICE DETAIL

NOT TO SCALE



LOCK-JOINT FLEXIBLE MANHOLE SLEEVE



KOR-N-SEAL JOINT SLEEVE

JOINTING DETAILS

NOT TO SCALE

STANDARD TRENCH NOTES - SEWER

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL** BELOW GRADE SHALL BE REPLACED WITH BEDDING MATERIAL. SEE ALSO NOTE 4.
- BEDDING:** SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 67.

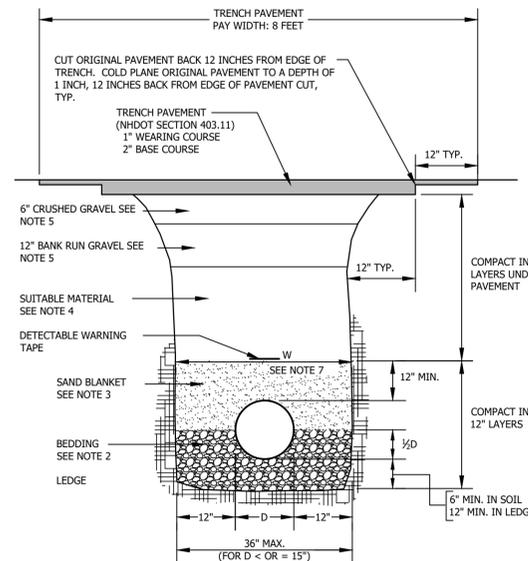
| | |
|-----------------|-----------------|
| 100% PASSING | 1 INCH SCREEN |
| 90-100% PASSING | 3/4 INCH SCREEN |
| 20-55% PASSING | 3/8 INCH SCREEN |
| 0-10% PASSING | #4 SIEVE |
| 0-5% PASSING | #8 SIEVE |
- SAND BLANKET:** CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% PASSES A #200 SIEVE.
- SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS, AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED FROM THE TRENCH DURING THE COURSE OF CONSTRUCTION, AFTER EXCLUDING DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL NOT APPROVED BY THE ENGINEER.

TRENCH BACKFILL IN CROSS-COUNTRY LOCATIONS SHALL BE SUITABLE MATERIAL AS DESCRIBED ABOVE, EXCEPT THAT TOP SOIL, LOAM, MUCK, OR PEAT MAY BE USED PROVIDED THAT THE COMPLETED CONSTRUCTION WILL BE STABLE AND ACCESS TO THE PIPE FOR MAINTENANCE AND RECONSTRUCTION IS PRESERVED. BACKFILL SHALL BE MOUND TO A HEIGHT OF SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE
- BASE COURSE FOR TRENCH REPAIR** SHALL MEET THE REQUIREMENTS OF SECTION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- SHEETING:** ALL TRENCH SUPPORTS SHALL CONFORM TO OSHA STANDARDS. CONTRACTOR IS RESPONSIBLE FOR OSHA COMPLIANCE AND WORKER SAFETY THROUGHOUT CONSTRUCTION.
- TRENCH DIMENSIONS:** W = MAXIMUM ALLOWABLE TRENCH WIDTH MEASURED 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER (D) OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS THE PIPE OUTSIDE DIAMETER. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE. THE MAXIMUM ALLOWABLE TRENCH PAVEMENT PAYMENT WIDTH SHALL BE 8 FEET CENTERED OVER PIPE.
- PIPE INSULATION AT STORM DRAIN CROSSING:** INSTALL 2" THICK RIGID FOAM INSULATION OVER SEWER AT STORM DRAIN CROSSINGS, EXTEND INSULATION 4 FEET EITHER SIDE OF STORM DRAIN ALONG SEWER.

SEWER NOTES

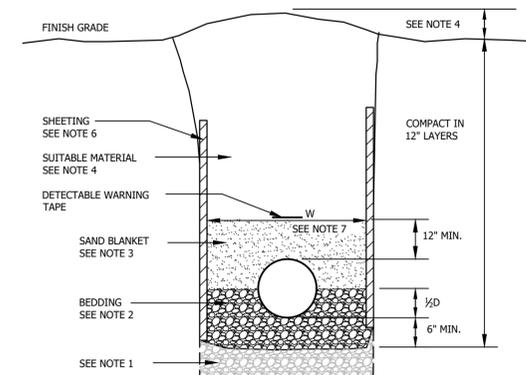
- GENERAL**
CONSTRUCTION OF ALL COMPONENTS OF THE SANITARY SEWER SYSTEM SHALL CONFORM TO THE MOST CURRENT VERSION OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES ENV-WQ 700 AND TECHNICAL SPECIFICATIONS.
- TYPES OF SEWERS**
 - THERE SHALL BE NO CONNECTION BETWEEN SANITARY SEWERS AND STORM SEWERS.
 - RUNOFF FROM ROOFS, STREETS, AND OTHER AREAS AND GROUNDWATER FROM FOUNDATION DRAINS, SUMP PUMPS, OR OTHER SUBSURFACE DRAINS SHALL BE EXCLUDED FROM SANITARY SEWERS.
- SEWER SIZE AND COVER**
 - MINIMUM PIPE SIZE FOR GRAVITY SEWER MAINS SHALL BE 8 INCHES.
 - MINIMUM PIPE SIZE FOR GRAVITY SEWER SERVICES SHALL BE 4 INCHES.
 - MINIMUM PIPE SIZE FOR FORCE MAIN SEWER SERVICES SHALL BE 2 INCHES.
 - SANITARY SEWERS SHALL HAVE 6 FEET MINIMUM COVER IN ALL ROADWAY LOCATIONS AND 4 FEET MINIMUM COVER IN ALL CROSS-COUNTRY LOCATIONS.
- PIPE AND FITTING MATERIALS:**
 - DUCTILE IRON PIPE**
DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION:
 - AWWA C151 FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL OR SAND LINED MOLDS, FOR WATER OR OTHER LIQUIDS;
 - AWWA C150 FOR THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A 536 IRON CASTINGS; AND
 - JOINTS SHALL BE MECHANICAL TYPE, PUSH-ON TYPE, OR BALL-AND-SOCKET TYPE;
 - PVC (POLY VINYL CHLORIDE) PIPE**
PVC PIPE AND FITTINGS SHALL BE APPROVED FOR SEWAGE SERVICE AND CONFORM TO THE FOLLOWING:
 - PVC PIPE USED FOR GRAVITY SEWERS SHALL BE TYPE SDR 35 CONFORMING TO ASTM D3034;
 - PVC PIPE USED FOR FORCE MAINS SHALL BE TYPE SDR 26 CONFORMING TO ASTM D2241 OR ASTM D1785;
 - JOINTS SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE HAVING OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D3212.
- BEDDING**
PIPE BEDDING SHALL BE SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 67. BEDDING SHALL EXTEND FROM THE SPRING LINE OF THE PIPE TO A MINIMUM DEPTH OF 6" BELOW THE BOTTOM OF THE PIPE OUTSIDE SURFACE.

| | |
|-----------------|-----------------|
| 100% PASSING | 1 INCH SCREEN |
| 90-100% PASSING | 3/4 INCH SCREEN |
| 20-55% PASSING | 3/8 INCH SCREEN |
| 0-10% PASSING | #4 SIEVE |
| 0-5% PASSING | #8 SIEVE |
- MANHOLES**
 - PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C478.
 - MANHOLES SHALL BE DESIGNED FOR H-20 LOADING.
 - HORIZONTAL JOINTS BETWEEN BARREL SECTIONS SHALL BE OF AN OVERLAPPING TYPE WHICH SHALL DEPEND UPON A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT FOR WATER TIGHTNESS.
 - PIPE TO MANHOLE JOINTS SHALL BE AS FOLLOWS:
 - ELASTOMERIC, RUBBER SLEEVE WITH WATERTIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES;
 - CAST INTO THE WALL OR SECURED WITH STAINLESS STEEL CLAMPS;
 - ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING; AND
 - NON-SHRINK GROUTED JOINTS WHERE WATERTIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.
 - MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.
- PROTECTION OF WATER SUPPLIES**
 - THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE.
 - NO SEWER SHALL BE LOCATED WITHIN THE WELL PROTECTIVE RADIUS ESTABLISHED IN ENV-WS 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL.
 - SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN.
 - A DEVIATION FROM THE SEPARATION REQUIREMENTS OF (B) OR (C) ABOVE SHALL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SUBSURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS, PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENV-WQ 704.06.
 - WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
 - VERTICAL SEPARATION OF THE SEWER AND WATER MAIN SHALL BE NOT LESS THAN 18 INCHES, WITH WATER ABOVE SEWER; AND
 - SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.



NOTE:
MINIMUM BEDDING DEPTH AND MAXIMUM PAYMENT LIMIT FOR LEDGE EXCAVATION = 1/2 D (12" MINIMUM)

LEDGE/SUB PAVEMENT CONSTRUCTION



EARTH CONSTRUCTION WITH OR WITHOUT SHEETING

STANDARD TRENCH SECTIONS

NOT TO SCALE

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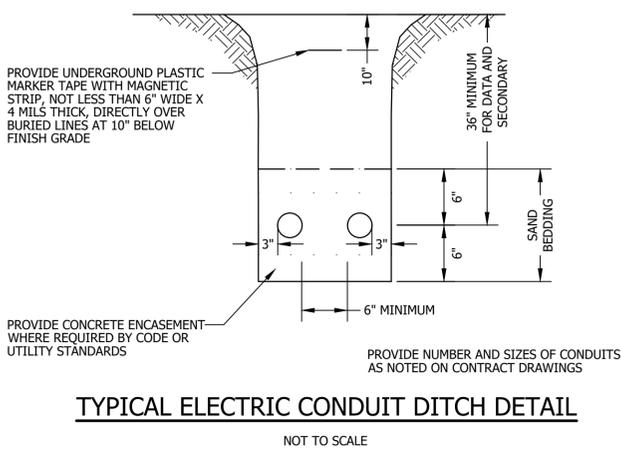
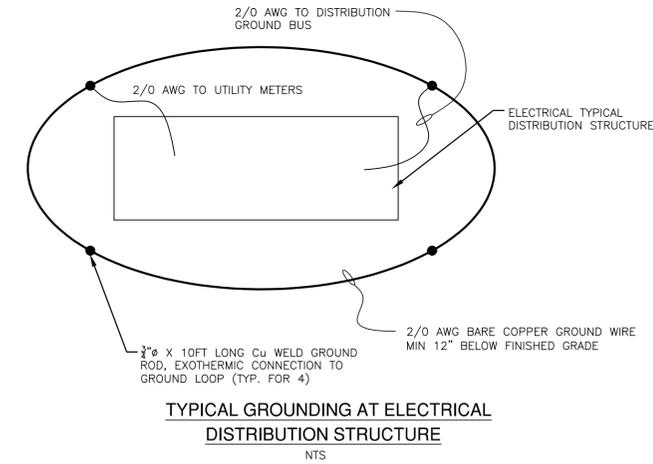
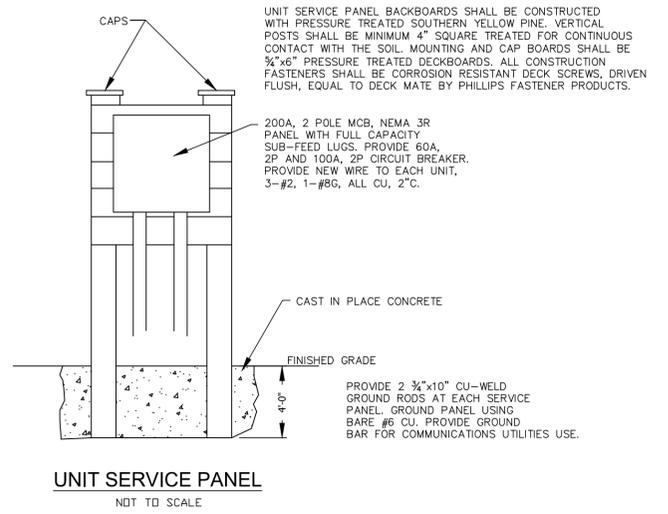
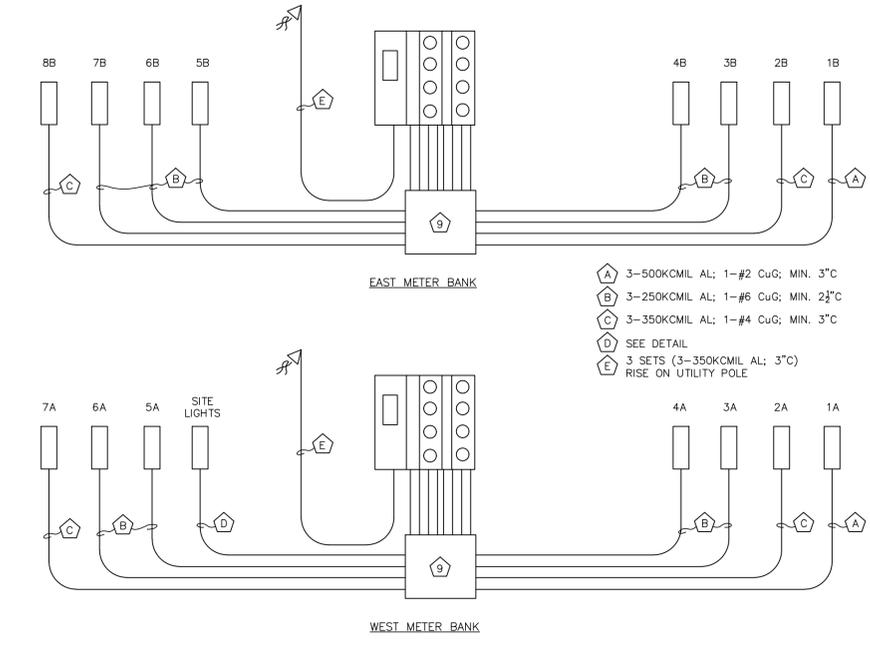
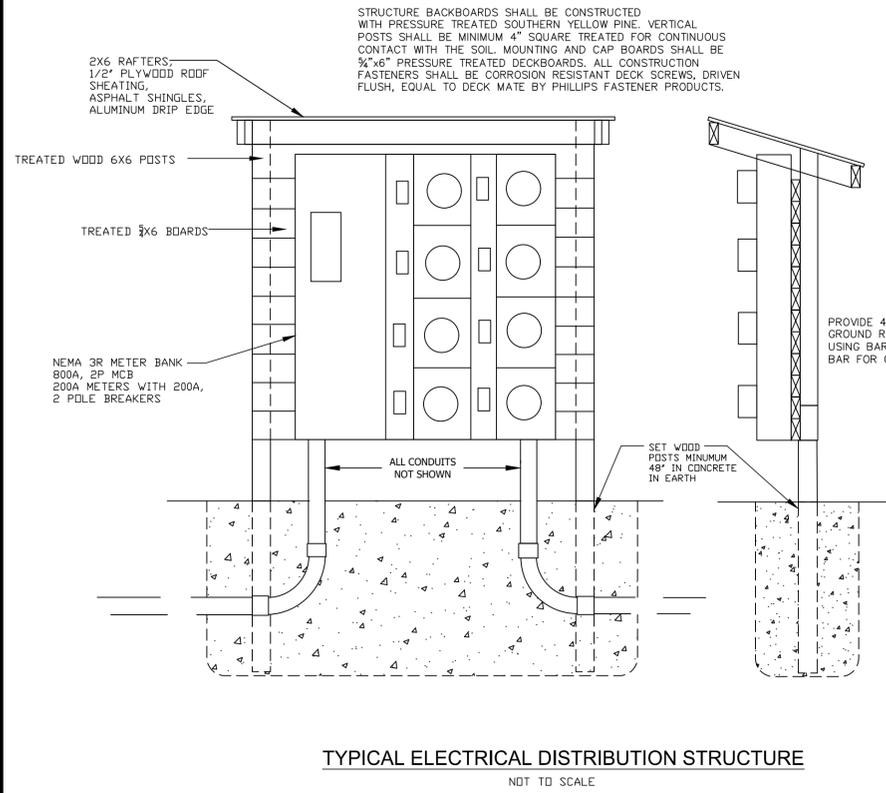
SITE IMPROVEMENTS

PORTSMOUTH, NEW HAMPSHIRE

SEWER DETAILS

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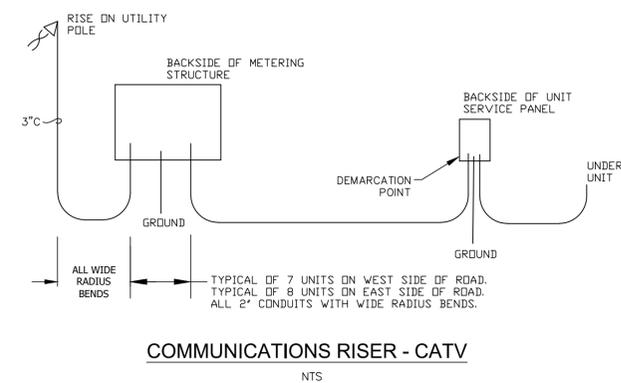
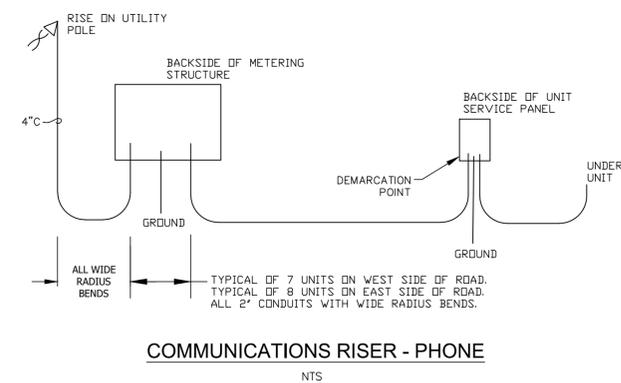
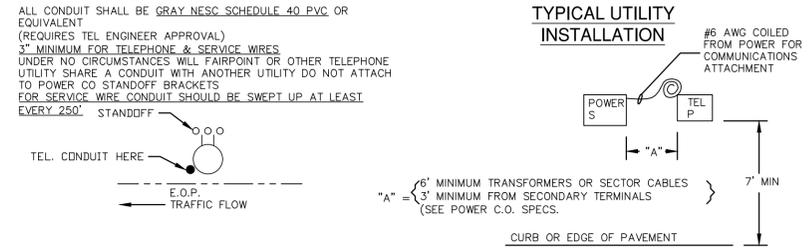
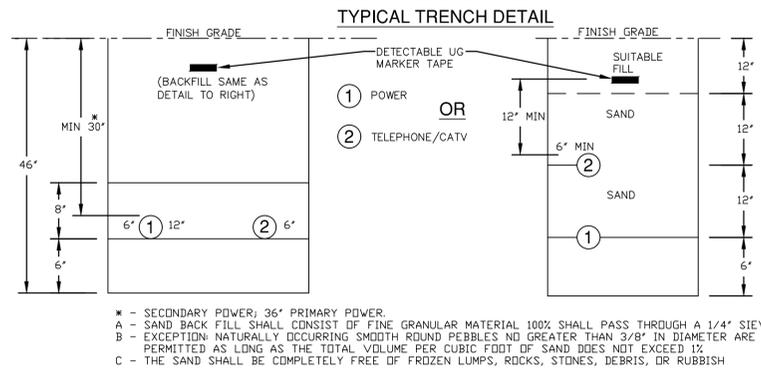
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| | CHECK'D BY: DMC | ARCHIVE #: |
| SHEET 6 OF 9 | | |



CONDUIT SPECIFICATIONS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE CONDUIT THROUGH WHICH CABLE CAN BE SUCCESSFULLY PULLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXPENSE ASSOCIATED WITH THE REPAIR OF CONDUIT THAT CANNOT BE USED. OWNER RESERVES THE RIGHT TO REQUIRE INSPECTION OF CONDUIT PRIOR TO BACK FILLING TO ENSURE COMPLIANCE.

NOTE: WHERE LEDGE DOES NOT PERMIT DEPTHS NOTED, CONCRETE ENCASUREMENT WILL BE REQUIRED TO CONFORM TO NEC AND/OR UTILITY REQUIREMENT TO, WHICHEVER IS MORE STRINGENT.



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ELECTRICAL DETAILS

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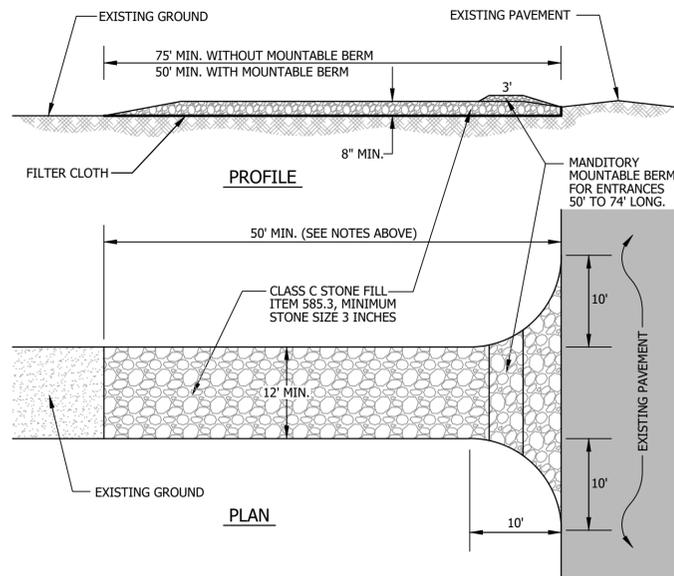
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STATE OF NEW HAMPSHIRE
WILLIAM T. DAVIS
No. 11518
LICENSED PROFESSIONAL ENGINEER

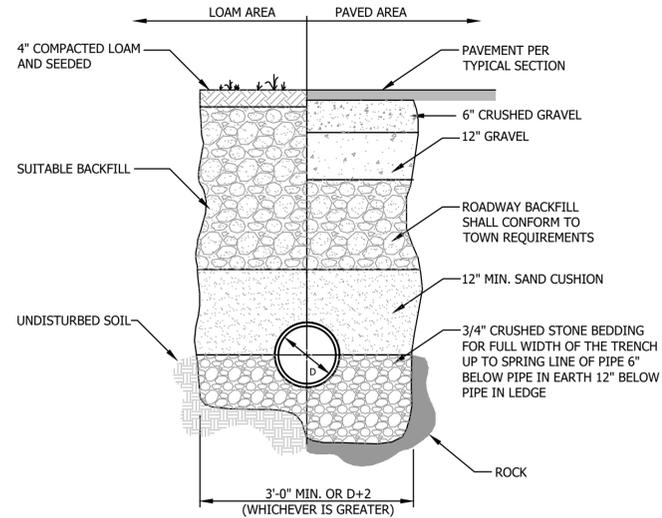
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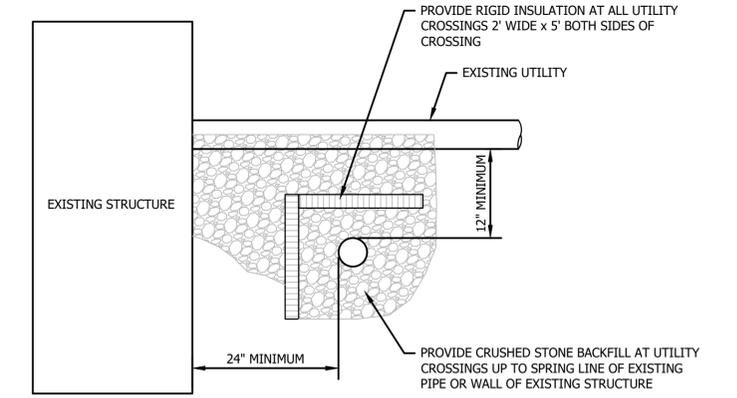
SHEET 7 OF 9



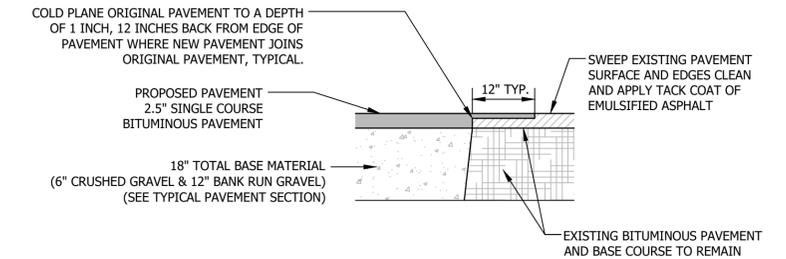
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



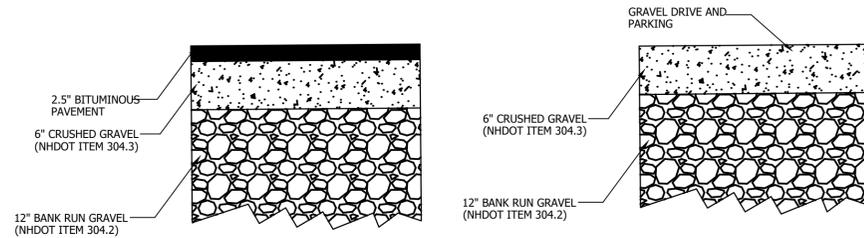
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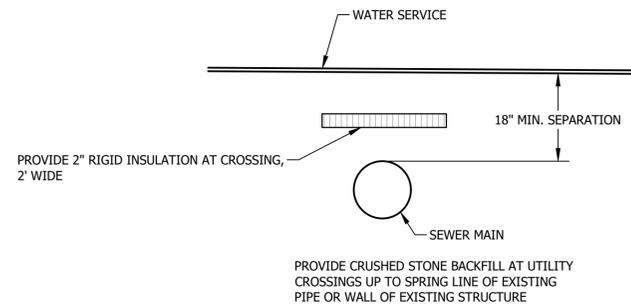
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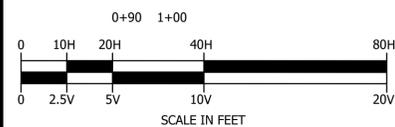
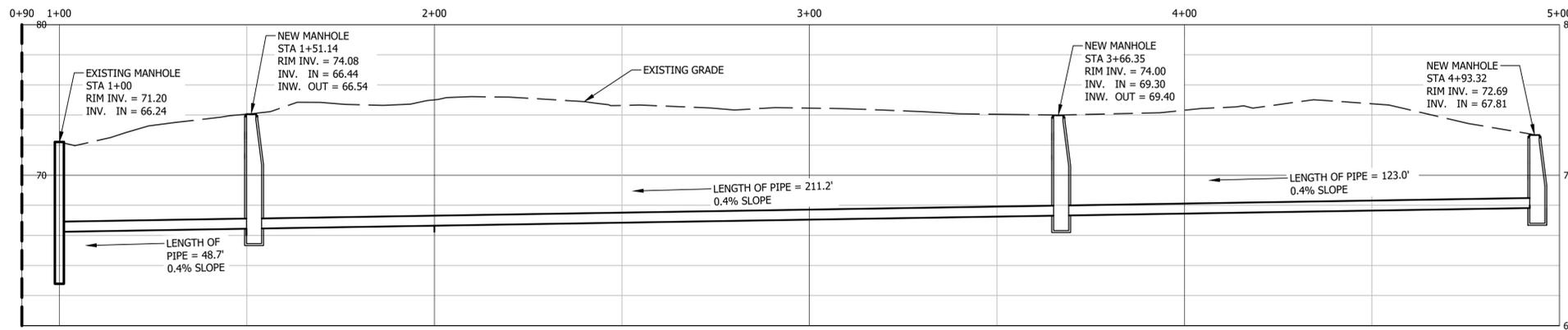
PAVEMENT JOINING DETAIL
NOT TO SCALE



TYPICAL SECTIONS
NOT TO SCALE



UTILITY CROSSING DETAIL
NOT TO SCALE



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| SHEET 8 OF 9 | | |

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SEEDING RECOMMENDATIONS

- 1. GRADING AND SHAPING**
A. SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- 2. SEEDBED PREPARATION**
A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE AMENDED WITH ORGANIC MATTER AND TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME THOROUGHLY INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- 3. ESTABLISHING VEGETATION**
A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
-AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ. FT.
-NITROGEN (N), 50 LBS., PER ACRE OR 1.1 LBS. PER 1,000 SQ. FT.
-PHOSPHATE (P₂O₅), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ. FT.
-POTASH (K₂O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ. FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10).

B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.

C. SEEDING GUIDE:

| USE | SEEDING MIXTURE (SEE 3D) | SOIL TYPE | | | |
|--|--------------------------|-----------|--------------|-------------------|----------------|
| | | DROUGHTY | WELL DRAINED | MOD. WELL DRAINED | POORLY DRAINED |
| STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS | A | FAIR | GOOD | GOOD | FAIR |
| | B | POOR | GOOD | FAIR | FAIR |
| | C | FAIR | EXCELLENT | EXCELLENT | POOR |
| WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER | A | GOOD | GOOD | GOOD | FAIR |
| | B | GOOD | GOOD | GOOD | FAIR |
| LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES | A | GOOD | GOOD | GOOD | FAIR |
| | B | GOOD | GOOD | FAIR | POOR |

D. SEEDING RATES:

| MIXTURE | POUNDS PER ACRE | POUNDS PER 1,000 SQ. FT. |
|------------------------|-----------------|--------------------------|
| A TALL FESCUE | 20 | 0.45 |
| CREEPING RED FESCUE | 20 | 0.45 |
| REDTOP | 2 | 0.05 |
| TOTAL: | 42 | 0.95 |
| B TALL FESCUE | 15 | 0.35 |
| CREEPING RED FESCUE | 10 | 0.25 |
| CROWN VETCH OR FLATPEA | 15 OR 30 | 0.35 OR 0.75 |
| TOTAL: | 40 OR 55 | 0.95 OR 1.35 |
| C TALL FESCUE | 20 | 0.45 |
| FLATPEA | 30 | 0.75 |
| TOTAL: | 50 | 1.20 |

E. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO SEPTEMBER 15. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.

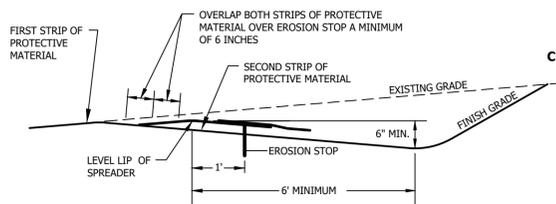
F. TEMPORARY SEEDING RATES:

| SPECIES | POUNDS PER ACRE | POUNDS PER 1,000 SQ. FT. | REMARKS |
|--------------------|-----------------|--------------------------|---|
| WINTER RYE | 112 | 2.5 | BEST FOR FALL SEEDING. SEED FROM AUGUST TO SEPTEMBER 5TH FOR BEST COVER. SEED TO A DEPTH OF 1 INCH. |
| OATS | 80 | 2.0 | BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15TH FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1 INCH. |
| ANNUAL RYEGRASS | 40 | 1.0 | GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE NOT IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15TH AND SEPTEMBER 15TH. COVER SEED WITH NO MORE THAN 0.25 INCH OF SOIL. |
| PERENNIAL RYEGRASS | 30 | 0.7 | GOOD COVER WHICH IS LONGER LASTING THAN ANNUAL RYEGRASS. SEED BETWEEN APRIL 1ST AND JUNE 1ST AND/OR BETWEEN AUGUST 15TH AND SEPTEMBER 15TH. MULCHING WILL ALLOW SEEDING THROUGHOUT THE GROWING SEASON. SEED TO A DEPTH OF APPROXIMATELY 0.5 INCH. |

- 4. MULCH**
A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING.
- 5. MAINTENANCE TO ESTABLISH A STAND**
A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

LEVEL LIP SPREADER INSTALLATION

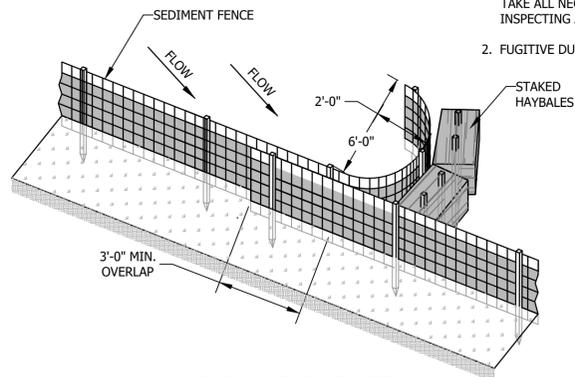
- CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
- LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
- AN EROSION STOP SHALL BE PLACED VERTICALLY A MINIMUM OF SIX INCHES DEEP IN A SLIT TRENCH ONE FOOT BACK OF THE LEVEL LIP AND PARALLEL TO THE LIP. THE EROSION STOP SHALL EXTEND THE ENTIRE LENGTH OF THE LEVEL LIP.
- THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING TWO STRIPS OF JUTE OR EXCELSIOR MATTING ALONG THE LIP. EACH STRIP SHALL OVERLAP THE EROSION STOP BY AT LEAST SIX INCHES.
- THE ENTRANCE CHANNEL TO THE LEVEL SPREADER SHALL NOT EXCEED A 1 PERCENT GRADE FOR AT LEAST 50 FEET BEFORE ENTERING INTO THE SPREADER.
- THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.
- PROTECTIVE MATERIAL AND EROSION STOP SHALL BE NORTH AMERICAN GREEN C125 EROSION CONTROL BLANKET OR APPROVED EQUAL.



LEVEL SPREADER DETAIL

NO SCALE

SOURCE: ROCKINGHAM COUNTY CONSERVATION SERVICE

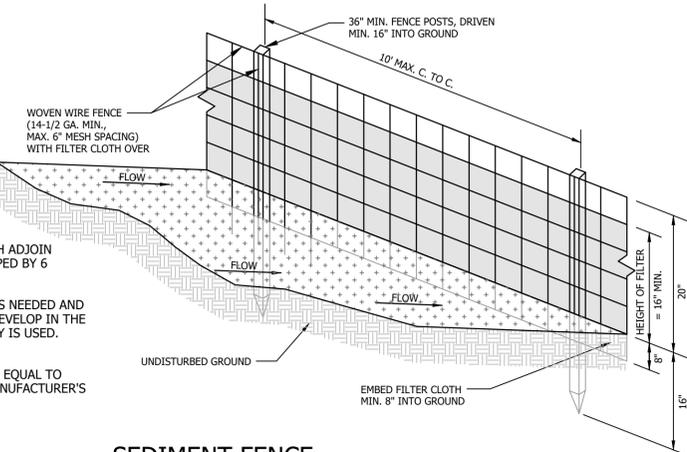


SEDIMENT FENCE POCKET

NO SCALE

CONSTRUCTION NOTES FOR SEDIMENT FENCE

- WOVEN WIRE FENCE, IF REQUIRED, TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SEDIMENT FENCE, OR 50% OF CAPACITY IS USED.
- 12" DIAMETER FILTREX SILTSOX SHALL BE CONSIDERED AN ACCEPTABLE EQUAL TO SEDIMENT FENCE IF INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



SEDIMENT FENCE

NO SCALE

EROSION CONTROL GENERAL NOTES

A. KEEP SITE MODIFICATION TO A MINIMUM

- CONSIDER FITTING THE BUILDINGS AND STREETS TO THE NATURAL TOPOGRAPHY. THIS REDUCES THE NEED FOR CUTS AND FILLS. AVOID EXTENSIVE GRADING THAT WOULD ALTER DRAINAGE PATTERNS OR CREATE VERY STEEP SLOPES.
- EXPOSE AREAS OF BARE SOIL TO EROSION ELEMENTS FOR THE SHORTEST TIME POSSIBLE.
- SAVE AND PROTECT DESIRABLE EXISTING VEGETATION WHERE POSSIBLE. ERECT BARRIERS TO PREVENT DAMAGE FROM CONSTRUCTION EQUIPMENT.
- LIMIT THE GRADES OF SLOPES SO VEGETATION CAN BE EASILY ESTABLISHED AND MAINTAINED.
- AVOID SUBSTANTIAL INCREASE IN RUNOFF LEAVING THE SITE.

B. MINIMIZE POLLUTION OF WATER DURING CONSTRUCTION ACTIVITIES

- STOCKPILE TOPSOIL REMOVED FROM CONSTRUCTION AREA AND SPREAD OVER ANY DISTURBED AREAS PRIOR TO REVEGETATION. TOPSOIL STOCKPILES MUST BE PROTECTED FROM EROSION.
- PROTECT BARE SOIL AREAS EXPOSED BY GRADING ACTIVITIES WITH TEMPORARY VEGETATION OR MULCHES.
- USE SEDIMENT BASINS TO TRAP DEBRIS AND SEDIMENT WHICH WILL PREVENT THESE MATERIALS FROM MOVING OFF SITE.
- USE DIVERSIONS TO DIRECT WATER AROUND THE CONSTRUCTION AREA AND AWAY FROM EROSION PRONE AREAS TO POINTS OF SAFE DISPOSAL.
- USE TEMPORARY CULVERTS OR BRIDGES WHEN CROSSING STREAMS WITH EQUIPMENT.
- PLACE CONSTRUCTION FACILITIES, MATERIALS, AND EQUIPMENT STORAGE AND MAINTENANCE AREAS AWAY FROM DRAINAGE WAYS.

C. PROTECT AREA AFTER CONSTRUCTION.

- ESTABLISH GRASS OR OTHER SUITABLE VEGETATION ON ALL DISTURBED AREAS. SELECT SPECIES ADAPTED TO THE SITE CONDITIONS AND THE FUTURE USE OF THE AREA. FINAL GRADES SHALL BE SEEDED WITHIN 72 HOURS. STABILIZATION SHALL BE DEFINED AS 85% VEGETATIVE COVER.
- MAINTAIN VEGETATED AREAS USING PROPER VEGETATIVE 'BEST MANAGEMENT PRACTICES' DURING THE CONSTRUCTION PERIOD.
- MAINTAIN NEEDED STRUCTURAL 'BEST MANAGEMENT PRACTICES' AND REMOVE SEDIMENT FROM DETENTION PONDS AND SEDIMENT BASINS AS NEEDED.
- DETERMINE RESPONSIBILITY FOR LONG TERM MAINTENANCE OF PERMANENT 'BEST MANAGEMENT PRACTICES'.
- IF CONSTRUCTION IS ANTICIPATED DURING WINTER MONTHS, REFER TO 'COLD WEATHER SITE STABILIZATION REQUIREMENTS'.

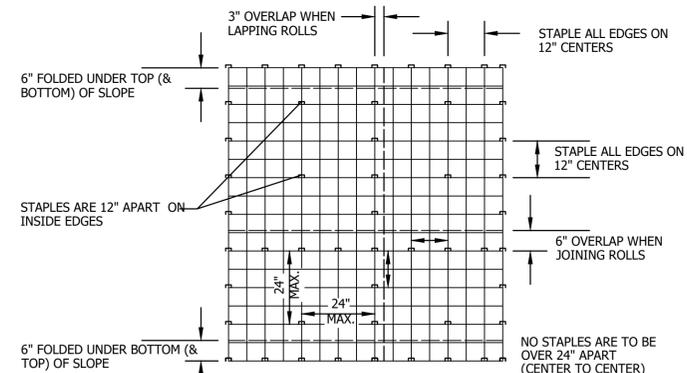
D. INVASIVE SPECIES AND FUGITIVE DUST

- THE PROJECT SHALL NOT CONTRIBUTE TO THE SPREAD OF INVASIVE SPECIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EVALUATE WORK AREAS FOR THE PRESENCE OF INVASIVE SPECIES, AND IF FOUND SHALL TAKE NECESSARY MEASURES TO PREVENT THEIR SPREAD IN ACCORDANCE WITH RSA 430:51-57 AND AGR 3800. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT THE INTRODUCTION OF INVASIVE SPECIES BY INSPECTING AND CLEANING ALL EQUIPMENT ARRIVING ON SITE.
- FUGITIVE DUST SHALL BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.

COLD WEATHER SITE STABILIZATION REQUIREMENTS

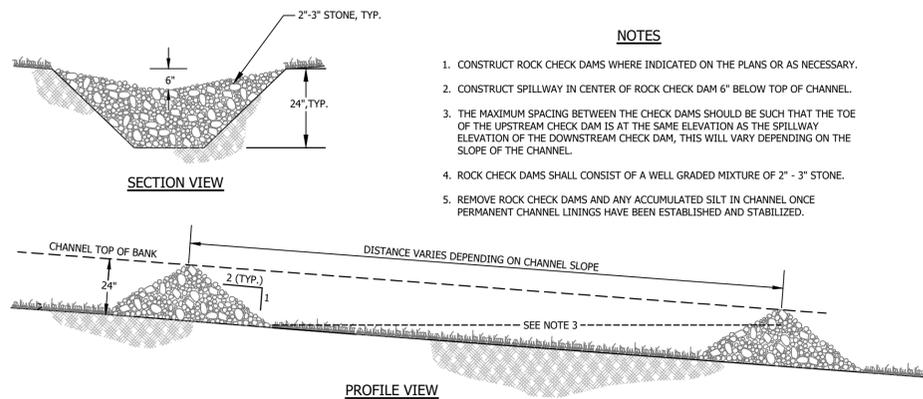
TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE FOLLOWING ADDITIONAL STABILIZATION TECHNIQUES SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 1:

- THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO 1 ACRE AND SHALL BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT. THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF A WINTER CONSTRUCTION PLAN, DEVELOPED BY A QUALIFIED ENGINEER OR A CPESC SPECIALIST, IS REVIEWED AND APPROVED BY NHDES.
- ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE, SECURED WITH ANCHORED NETTING OR TACKIFIER, OR 2 INCHES OF EROSION CONTROL MIX MEETING THE CRITERIA OF ENV-WQ 1506.05(D) THROUGH (H).
- ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH PROPERLY INSTALLED AND ANCHORED EROSION CONTROL MATTING OR WITH A MINIMUM 4 INCH THICKNESS OF EROSION CONTROL MIX MEETING THE CRITERIA OF ENV-WQ 1506.05(D) THROUGH (H).
- INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX, MEETING THE CRITERIA OF ENV-WQ 1506.05(D) THROUGH (H), SHALL NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH.
- INSTALLATION OF EROSION CONTROL MATTING SHALL NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH OR ON FROZEN GROUND.
- ALL PROPOSED STABILIZATION IN ACCORDANCE WITH NOTES 2 OR 3 ABOVE, SHALL BE COMPLETED WITHIN 1 DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY THE OWNER'S ENGINEERING CONSULTANT.
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM 3 INCH LAYER OF BASE COURSE GRAVELS MEETING THE GRADATION REQUIREMENTS OF NHDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM NO. 304.1 OR 304.2.



MULCH NETTING DETAIL

SOURCE: USDA SOIL CONSERVATION SERVICE
NO SCALE



PROFILE VIEW

ROCK CHECK DAM DETAIL

NO SCALE

DATE OF PRINT
FEBRUARY 16 2021

HORIZONS ENGINEERING

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CONSTRUCTION SEQUENCE

- PREPARE AN EROSION CONTROL PLAN OR A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - INSTALL CONSTRUCTION ENTRANCE, SEE DETAIL.
 - CUT AND CLEAR TREES WITHIN THE CLEARING LIMITS.
 - INSTALL SEDIMENT FENCES, ROCK CHECK DAMS, AND OTHER APPROPRIATE EROSION CONTROL MEASURES AT LOCATIONS SHOWN ON THE PLANS AND AS NEEDED.
 - GRUB SITE WITHIN GRADING LIMITS.
 - STRIP AND STOCKPILE TOPSOIL AND INSTALL EROSION CONTROL MEASURES.
 - INSTALL/ADJUST SEDIMENT FENCE, CHECK DAMS, AND HAYBALES, AS REQUIRED.
 - CONSTRUCT PERMANENT STORMWATER CONTROLS AS SOON AS PRACTICAL. DO NOT DIRECT STORMWATER TOWARD TREATMENT BASINS, PONDS, SWALES, DITCHES AND LEVEL SPREADERS UNTIL THEY HAVE BEEN STABILIZED.
 - PROCEED WITH WORK, LIMITING THE DURATION OF DISTURBANCE. THE MAXIMUM OF UNCOVERED DISTURBED EARTH AT ANY ONE TIME IS FIVE ACRES. THE MAXIMUM LENGTH OF TIME THAT DISTURBED EARTH MAY BE LEFT UNSTABILIZED IS 45 DAYS.
 - BEGIN SEEDING AND MULCHING IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED WITH APPROVED METHODS WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
D) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- INSPECT ALL EROSION CONTROL MEASURES ON A DAILY BASIS AND AFTER EVERY 0.5 INCHES OF PRECIPITATION. MAINTAIN SEDIMENT FENCE, SEDIMENT TRAPS, HAY BALES, ETC., AS NECESSARY.
 - PAVE ROADWAYS, AND/OR PARKING AREAS.
 - PLACE TOPSOIL, SEED AND MULCH.
 - COMPLETE ALL REMAINING PERMANENT EROSION CONTROL STRUCTURES.
 - MONITOR THE SITE AND MAINTAIN STRUCTURES AS NEEDED UNTIL FULL VEGETATION IS ESTABLISHED.

FOR REVIEW
NOT FOR CONSTRUCTION

horizons
Engineering

NEWPORT VT • LITTLETON NH • NEW LONDON NH
POMFRET VT • KENNEBUNK ME • CONWAY NH

WOODBURY COOPERATIVE, INC

SITE IMPROVEMENTS

PORTSMOUTH, NEW HAMPSHIRE

EROSION PREVENTION & SEDIMENT CONTROL DETAILS

| NO. | DATE | REVISION DESCRIPTION | ENG | DWG |
|-----|------|----------------------|-----|-----|
| | | | | |
| | | | | |
| | | | | |

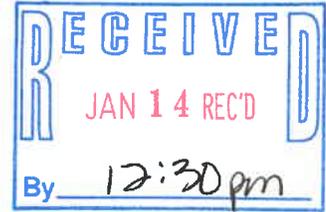
| | | |
|--------------|--------------|------------|
| | DATE: | PROJECT #: |
| | FEB. 2021 | 16074 |
| | ENGINE'D BY: | DRAWN BY: |
| | RDL | CLB |
| CHECK'D BY: | ARCHIVE #: | |
| DMC | | |
| SHEET 9 OF 9 | | |

DUNCAN J. MACCALLUM

ATTORNEY AT LAW

536 STATE STREET
PORTSMOUTH, NEW HAMPSHIRE 03801-4327
(603) 431-1230
TELECOPIER: (603) 431-1308

ALSO ADMITTED IN NY, PA, OHIO & MA



August 13, 2021

Beverly Mesa Zendt, Planning Director
City of Portsmouth
One Junkins Avenue
Portsmouth, New Hampshire 03801

Re: Raynes Avenue Project

Dear Ms. Zendt:

Enclosed for filing are the original and fifteen copies of our Motion for Rehearing/
Reconsideration in the above-referenced matter.

Very truly yours

Duncan J. MacCallum

DJM/eap

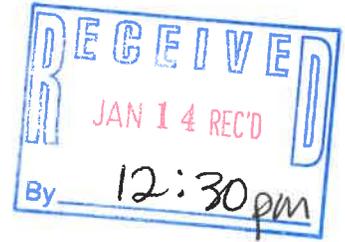
Enclosures

cc. Michael D. Ramsdell, Esquire
Brian J. Bouchard, Esquire
Robert A. Previti, Esquire

HAND DELIVERED TO ADDRESSEE ONLY

THE STATE OF NEW HAMPSHIRE

PLANNING BOARD
OF THE CITY OF PORTSMOUTH



**In re Application of North Mill Pond Holdings, LLC,
One Raynes Ave, LLC, 31 Raynes Ave, LLC, and
203 Maplewood Ave, LLC, regarding the properties
located at 1 Raynes Avenue, 203 Maplewood Avenue,
and 31 Raynes Avenue, and known familiarly as**

The Raynes Avenue Project

MOTION FOR REHEARING/RECONSIDERATION

James A. Beal, Fintan (“Finn”) Connell, Joseph R. Famularo, Jr., Philippe Favet, Charlotte Gindele, Julia Gindele, Linda Griebisch, Catherine L. (“Kate”) Harris, Roy W. Helsel, Elizabeth Jefferson, and Donna Pantelakos, all of whom are citizens, residents and/or property owners in the City of Portsmouth, respectfully move this Planning Board to reconsider its decision of December 16, 2021, in which it granted site plan approval to the applicants’ project, granted a wetlands conditional use permit, and granted various other approvals to the project. The movants ask that the Planning Board reconsider its decision, vacate and reverse its grant of site plan approval and its grant of the wetlands conditional use permit, rehear the developers’ application anew, and ultimately disapprove the applicants’ site plan. As grounds in support of their motion, the movants state the following:

1. An ineligible member of the Planning Board, who was improperly appointed to that Board, participated in consideration of the applicants’ site plan review and joined in the vote to

grant site plan approval. Therefore, under the teachings of the New Hampshire Supreme Court's decision in Winslow v. Town of Holderness Planning Bd., 125 N.H. 262, 480 A.2d 114 (1984), the Planning Board's decision granting site plan approval, issuing a wetlands conditional use permit, and granting other approvals is absolutely void. In the Winslow case, the court ruled that the participation of a single ineligible member in a land use board's decision invalidates the entire decision because "it [is] impossible to estimate the influence one member might have on his associates". 125 N.H. at 268, 480 A.2d at 117.

2. Planning Board member Raymond Pezzullo was and is ineligible to sit on the Planning Board because he was improperly appointed pursuant to a provision in Portsmouth's local Administrative Code which directly conflicts with a New Hampshire state statute. Therefore, the local Administrative Code provision is void.

3. More specifically, RSA 673: 2 provides that in cities having a city manager form of local government, the planning board is to consist of nine members, two of whom are to be ex officio members and the other seven of whom are to be appointed by the mayor and confirmed by the city council. Of the two ex officio members, one is to be the city manager or someone whom he or she appoints to serve in his or her place, and the other is to be a member of the city council, selected by the city council itself. By contrast, section 1.303 of Portsmouth's local Administrative Code, pursuant to which Mr. Pezzullo was ostensibly appointed, conflicts with this statutory scheme, in that it purports to authorize the city manager to appoint a third Planning Board member, selected from the City administrative staff, as an ex officio member, increasing the number of ex officio members from two to three and decreasing the number of Planning Board members appointed by the mayor and confirmed by the City Council from seven to six. RSA 673:2 neither provides for nor permits the appointment of a third ex officio member. Therefore, section 1.303

of the City's Administrative Code is in direct conflict with state law, and therefore void, and Mr. Pezzullo's appointment to the Planning Board was unlawful. (The conflict between state law and the local Administrative Code is explained more fully in a letter dated December 1, 2021 from Planning Board member Rick Chellman to City Attorney Robert P. Sullivan, a copy of which is appended hereto as Attachment A, and in a subsequent letter dated December 29, 2021 from the movants' undersigned counsel to former Planning Board Chairman Dexter Legg, a copy of which is appended hereto as Attachment B.)

4. Mr. Pezzullo's participation in the December 16, 2021 decision was especially egregious, for his lack of eligibility to sit on this Board was timely called to the Board's attention by another member of the Planning Board itself, Rick Chellman, at the start of the meeting. Mr. Chellman had previously written a letter to City Attorney Bob Sullivan on December 1, 2021, raising the issue and explaining why Mr. Pezzullo's appointment violated the state's statutory scheme (see Attachment A hereto), and he re-raised it verbally with the chairman and the other Planning Board members at the start of the December 16, 2021 meeting.

5. In addition to violating state law, Portsmouth's method of selecting a third ex officio member also creates an obvious conflict of interest on the part of the appointee. As noted above, section 1.303 of Portsmouth's Administrative Code provides that the third ex officio member is appointed by the city manager and selected from the City's administrative staff. As a member of the city administration, the appointee is a city employee and thus is beholden to the city manager for his job; she has the power of hiring and firing over the former. Under such circumstances, the appointee will be loath to publicly express an opinion that is contrary to the opinion, stance, or wishes of the city manager, and he is not likely to vote against an application or measure that she supports. Almost invariably, he will vote in favor of whatever she votes for, and he will vote

against whatever she votes against. In this situation, there is no chance that the appointee in question will ever exercise independent judgment. The practical effect of section 1.303 is that the city manager gets two votes on the Planning Board--her own, and the vote of the ex officio member whom she has appointed from the City's administrative staff--whereas the regular members appointed by the mayor and confirmed by the City Council get only one.

6. Finally, Mr. Pezzullo's purported membership on the Planning Board did not even comply with the Administrative Code itself, for as an ex officio member his term of office was to have expired at the time of the retirement of the appointing authority who had placed him in that office, which was former City Manager John Bohenko. Following City Manager Bohenko's retirement two years ago, Mr. Pezzullo was never reappointed by the current city manager nor confirmed by the City Council. (For further discussion, see Attachments A and B hereto.) Under any scenario, therefore, he has been sitting on the Planning Board unlawfully.

7. For all of the foregoing reasons, Mr. Pezzullo was ineligible to sit on the Planning Board; he was appointed to that Board unlawfully; and under the teachings of Winslow v. Town of Holderness Planning Bd., 125 N.H. 262, 480 A.2d 114 (1984), the Planning Board's decision of December 16, 2021 was absolutely void. For that reason, this Board should reconsider its decision and conduct a full rehearing on the developers' application.

8. Several of the members of the Planning Board who voted to grant site plan approval and, in particular, who voted to grant a wetlands conditional use permit employed palpably erroneous legal reasoning and committed clear legal error in applying section 10.1017.50 of the Zoning Ordinance, which sets forth the six criteria for the granting of wetlands conditional use permits. These six criteria are mandatory, yet four of the members of this Board, including its then-chairman, openly expressed the view that these six criteria were merely "factors" to be

weighed against one another and that the criteria were “negotiable” and subject to broad interpretation. The vice-chairwoman flatly--and totally erroneously--stated that an applicant does not necessarily have to meet all of the six criteria in order to qualify for a wetlands conditional use permit. The chairman at one point opined that the six criteria are “open to interpretation”. Two other members of the Board made similar comments, evincing a very cavalier attitude toward the six criteria.

9. All of this constituted clear and obvious legal error. The criteria for granting a conditional use permit--allowing a developer to erect a building or install a paved roadway within the 100' wetlands buffer--are indeed mandatory, and the applicants' proposal did not satisfy at least two of these criteria. Section 10.1017.50 of the Zoning Ordinance sets forth the six criteria which must be met in order for a wetlands conditional use permit to be issued. They are:

(1) The land is reasonably suited to the **use**, activity or **alteration**.

(2) There is no alternative location outside the **wetland buffer** that is feasible and reasonable for the proposed **use**, activity or **alteration**.

(3) There will be no adverse impact on the **wetland** functional values of the site or surrounding properties;

(4) **Alteration** of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals; and

(5) The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.

(6) Any area within the **vegetated buffer strip** will be returned to a natural state to the extent feasible.

(Boldfacing in original.) Section 10.1017.41 of the Zoning Ordinance makes clear that these criteria are mandatory and that all six must be satisfied in order for a wetlands conditional use permit to be issued. That section states:

The Planning Board shall grant a conditional use permit provided that it finds that all other restrictions of this Ordinance are met and that proposed **development** meets all the criteria set forth in section 10.1017.50 or 10.1017.60, as applicable.¹

(Boldfacing in original; other emphasis added.)

10. The above-quoted sections of the Zoning Ordinance make clear that these criteria are not merely “factors” to be taken into consideration and to be weighed against one another in deciding whether to issue a permit, nor that an exceptionally strong showing of compliance with one of these criteria may be used to offset or excuse compliance with another. Four members of this Planning Board erred in so regarding them. There is no question but that the applicants’ proposal fails to meet subsections (2) and (5) of section 10.1017.50: It would be “feasible and reasonable” for the developers to erect a building and paved driveway within the site yet outside the 100’ wetlands buffer, simply by reducing the size of the proposed building, § 10.1017.50(2), and therefore the developers’ proposal is not the alternative with “the least adverse impact to” the wetlands buffer, the North Mill Pond, and its surroundings. § 10.1017.50(5). Four members of this Board committed clear and obvious error by averring that these six criteria were “open to interpretation” and using like observations as the basis for voting to grant site plan approval and issue a wetlands conditional use permit.

1. Section 10.1017.60, mentioned in the quoted section above, is inapplicable here, inasmuch as it pertains to public and private utilities and rights-of-way in wetlands and wetlands buffers. There are no public or private utilities at issue here.

11. In addition to misinterpreting the criteria for the wetlands conditional use permit, this Board also made other, unrelated errors during the course of ultimately granting site plan approval. For one thing, the Board acted prematurely and committed error in refusing to wait until after the Historic District Commission had acted on the application that was before it, relating to the same project. The Planning Board should have waited to see what the developers' plan was going to look like after having been vetted by the HDC. More generally, there were many other unanswered questions which came to light during the December 16, 2021 hearing, and this Board should have waited until they were resolved. For example, it was never settled who was going to be responsible for paying for valet parking in perpetuity and who was going to be responsible for enforcing the stipulation that such valet parking be provided, as the existing on-site parking provided-for by the developers' plan was and is admittedly inadequate.

12. As part of his remarks in support of the project during the Board's deliberations, the chairman totally misquoted a member of the Conservation Law Foundation who had spoken before the Planning Board previously at its April 15, 2021 meeting, and he claimed that she had said that "this project [is] going to improve the quality of North Mill Pond water." In reality, she had said just the opposite. Attached hereto as Attachment C is a copy of a letter issued by the Conservation Law Foundation and dated December 23, 2021, in which the CLF, in reaction to the events which transpired at this Board's December 16, 2021 meeting, took issue with the chairman's misuse of its representative's words. While praising the developers' stormwater run-off treatment program, the CLF representative had condemned the project in general because of the intrusion into the wetlands buffer zone. (See Attachment C.)

13. Finally, the Planning Board erred in failing to adopt the recommendation of the Conservation Commission, which had disapproved the project in question. At the proceedings before the Planning Board, the developers boasted that they had worked closely with the Conservation Commission and that they had had five meetings with the latter in which they had modified their project in order to respond to the comments, criticisms, and feedback which the Commission had given. Yet, after five meetings the Conservation Commission was still dissatisfied with the applicants' project and issued a negative recommendation concerning same. The Planning Board should have heeded the Conservation Commission's recommendation and denied site plan approval.

For all of the foregoing reasons, the Planning Board should reconsider, vacate, and reverse its decision of December 16, 2021 granting site plan approval, a wetlands conditional use permit, and other approvals to the above-referenced project, and the Board should conduct a de novo rehearing of the developers' application without the participation of ineligible Planning Board member Raymond Pezzullo.



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Attorney for Moving Parties

CERTIFICATE OF SERVICE

The undersigned, Duncan J. MacCallum, Attorney for Movants in the within proceeding, hereby certifies that on this 14th day of January, 2022, true and correct copies of the foregoing Motion for Rehearing/Reconsideration were served upon the applicants both via e-mail and by first class mail, postage prepaid, to each of the following counsel of record:

Michael D. Ramsdell, Esquire
Brian J. Bouchard, Esquire
Sheehan Phinney Bass & Green, P.A.
1000 Elm Street, 17th Floor
Manchester, New Hampshire 03101

Robert A. Previti, Esquire
Stebbins, Lazos & Van Der Beken, LLC
889 Elm Street, 6th Floor
Manchester, New Hampshire 03101


Duncan J. MacCallum

ATTACHMENT A



TND ENGINEERING

TRAFFIC, TND, TRANSPORTATION AND CONSULTING

224 State Street
PORTSMOUTH, NH 03801
p. 603.479-7195
Email: Chellman@TNDEngineering.com

Mr. Robert P. Sullivan, Esq.
City Attorney, City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

December 1, 2021

Re: Planning Board Members

Dear Bob:

As we discussed recently in your office, and I briefly reviewed with Trevor by telephone last week, it has recently come to my attention that the current makeup of the Planning Board, which includes an ex-officio member appointed by the City Manager, is apparently not in conformance with the enabling statutes.

You asked that I reduce some of my thoughts about, and research into, this matter to writing and in compliance with that request, I offer this letter.

Beginning with the City's Code, Section 1.303 A contains the relevant City guidance:¹

Section 1.303: PLANNING BOARD

- A. Membership: The Planning Board of the City shall consist of nine (9) members and two (2) alternate members, specifically; (Adopted 1/23/95)
1. The City Manager, or the designee of the City Manager with the approval of the City Council, who shall be an ex-officio member;
 2. An administrative official of the City selected by the City Manager who shall be an ex-officio member;
 3. A member of the City Council selected by the Mayor with the approval of the Council, who shall be an ex-officio member;
 4. Six residents of the City appointed by the Mayor with the approval of the City Council.
 5. Two (2) alternates who shall be residents of the City appointed by the Mayor with the approval of the City Council. (Adopted 1/23/95)

Figure 1: Section 1.303 of City Code

¹ Rather than retyping reference materials, I will use image-copy inserts in this letter to reduce the likelihood of typographical errors.

Based on a review of City Minutes, the previous City Manager appointed a City employee to an ex-officio position on the Planning Board in September, 2018. While not cited in the Council minutes, since it was an informational item only, I assume this appointment was in accordance with 1.303 A: 2, above.

While you obviously have all of the statutes readily at hand, to make this letter stand-alone in case you find yourself reviewing it away from your desk, the relevant statute is 673:2 (I grayed out the section not used in Portsmouth):

Appointment and Terms of Local Land Use Board Members

Section 673:2

673:2 Planning Board.—

I. (a) In cities, the planning board shall consist of 9 members:



(b) Alternatively, the local legislative body in a city with a city council-city manager form of government may establish a planning board with membership as provided in paragraph I-a.

I-a. In cities with a city council-city manager form of government, the planning board may consist of the following 9 members:

- (a) The city manager, or with the approval of the local legislative body the city manager's designee, who shall be an ex officio member;
- (b) A member of the city council selected by the council, who shall be an ex officio member; and
- (c) Seven persons appointed by the mayor, if the mayor is an elected official, or such other method of appointment or election as shall be provided for by the local legislative body or municipal charter.

Figure 2: NH RSA 673:2

It is immediately apparent that while the current statute provides for only two ex-officio members on the Planning Board, the Manager and a Councilor, the City's Code adds another appointed by the Manager.

I have not researched the origin of 1.303 of the City's Code as I think that is not particularly relevant to our current discussion. In fact, I think it likely that 1.303 was in conformance with earlier statutes or at least accepted practices in or about 1980. My reason for this thinking is gleaned in part from the City of Concord's past history with this specific topic, and its Ordinance #1396, bearing a date of 7/14/80 that contains almost the same language as Portsmouth's Code's Section 1.303. Concord's Ordinance #1396, superseded more than once since 1980 follows on the next page.

CITY OF CONCORD

170
7/14/80

In the year of our Lord one thousand nine hundred and
AN ORDINANCE Amending Section 52.6 of the Administrative Code,
relative to Planning Boards.

The City of Concord ordains as follows:

Section One: Amend Section 52.6 of The Municipal Code of Ordinances,
Administrative Code, Planning Board by striking the whole thereof
and substituting in its place the following new section:

52.6 Planning Board. The Planning Board shall consist
of nine members, namely, the City Manager, one of the
administrative officials of the city who shall be select-
ed by the manager, and a member of the council who shall
be selected by it, as members ex officio, and six (6)
persons to be appointed by the Mayor, subject to con-
firmation by the City Council. The Mayor shall also
appoint, subject to confirmation by the City Council,
three (3) alternate members. Whenever a regular member
shall be absent the chairman shall designate an alternate
if an alternate is present to act in the absent member's
place.

The Planning Board shall perform all functions provided
for by Chapter 36 of the New Hampshire Revised Statutes
as amended and be subject to all provisions of said
chapter.

Section Two: This ordinance shall take effect upon its passage.

Figure 3 City of Concord Ordinance #1396 from 1980

Concord revised its Ordinance #1396 in 1986, 2001 and again most recently
earlier this year with its current version being Ordinance No. 3084, that is
attached for reference.

Concord's current Ordinance tracks the current statutory provisions of RSA 673:2
by providing for two ex-officio members, and seven members appointed by the
Mayor and confirmed by the Council.

Like you, I am more focused on the statutory provisions than what other cities
may or may not have enacted, but I found Concord's example to be informative.²

I am of course more focused on the provisions of land use regulations
themselves than I am with enabling legislation, so when you were away on
vacation last week, I took the opportunity to review this topic with two private

² The Cities of Manchester and Rochester have provisions similar to Concord's but neither provides for a Manager appointment of
an ex-officio member.

attorneys I work with and also with the NH Municipal Association Counsel.³

In each instance, it was quickly apparent to these attorneys that Portsmouth's current Code is out of date and not in conformance with the current statutory scheme.

I would like to note with specific emphasis that my concerns are not in any way personal or related to the specific individuals currently or recently involved with this matter. My concerns are that this topic relates to the basic makeup of a Planning Board on which I serve myself and I strive to ensure compliance with pertinent requirements- I feel the City and the applicants before the Board deserve no less.

That thinking led me to consider the possible ramifications of not correcting what I believe was originally common practice but has now been revealed to be an outdated mistake that has only very recently been discovered by these discussions with you and others.

The Planning Board has many functions, but for this discussion we need to focus on its quasi-judicial functions, where interested parties are furnished notice, public hearings are held, and evidence is considered before a decision is reached. These quasi-judicial functions at least include the Board's review of subdivisions, site plans, and conditional use permits. These sorts of reviews occur very regularly, sometimes many times each month.

From my own review of this, it appears that at about the time of the enactment of Concord's Ordinance #1396, above, and possibly of Portsmouth's 1.303 (which may very well pre-date the Concord Ordinance), even the NH Supreme Court had a different opinion on the possible effects of one member's participation in a Board decision where that member may later be found to be disqualified.

In ***Totty V. Grantham Planning Board***, 120 NH 390 (1980), the Court reviewed a case where two of the five voting members on a subdivision application were abutters, and the Court held that those two members were therefore disqualified. However, the Court also held that since the other three members voting in the unanimous Board decision were "concededly qualified" and that since there "was no indication" the disqualified members participation determined the outcome of the vote, the vote was held to be valid.

Just four years later the Court demonstrated that we all can make mistakes, in ***Winslow v. Holderness Planning Board*** 125 NH 262 (1984), the Court stated that with respect to ***Totty*** that "[w]e now believe this to be a misstatement of the

³ Mr. Natch Greyes, Esq.

law".⁴

In the *Winslow* case, the matter of a member's disqualification and the implications of a Planning Board member are discussed at some length. Noting that when Boards act in a quasi-judicial manner, the Court cited as relevant the NH Constitution which "demands" that all judges be "as impartial as the law of humanity will admit".

Under the current makeup of the Portsmouth Planning Board, one member (the "extra ex-officio member discussed above) is appointed by, and reports to another member who is that member's employer or supervisor (the Manager).

I think it impossible to contemplate and satisfactorily reconcile all of the possible problems such a situation can present under the current regulatory frameworks.

The pressure on the employee to agree with their employer/supervisor is one obvious possibility. However, what if -for example- the employee happens to speak first during deliberations, could that result in an undue influence on the Manager simply because of the employer/employee relationship that exists outside the Board?

The Court in *Winslow* also noted it would "reach the same result" in applying the test for members of zoning boards of adjustment to meet the standards required of jurors.

Here, and as you agreed in your office earlier this week, we have a situation where the City's Code does not conform with the current statute. I submit it also does not conform with current policy and best practices as enumerated in case law and followed by other cities. There can be no valid argument for allowing the manager or anyone else to appoint an "extra" ex-officio member without that falling into the realm of an ultra vires action.

I now turn to a sense of urgency in this matter as we have a Planning Board meeting scheduled for later this month. If I, the NH Municipal Association's counsel and others I have reviewed this matter with are all correct, then this "extra" member is not qualified as a Board member.

Finally, and again in the *Winslow* case, the NH Court stated (citing the *Rollins* Court) that "mere participation by one disqualified member was sufficient to invalidate the tribunal's decision because it was impossible to estimate the influence one member might have on his associates (emphasis added)".

⁴ This case also cites a much earlier case, *Rollins v. Connor* 74 NH 456 (1908) which also held that the participation in a "judicial action by a tribunal" by a disqualified member is voidable.

Again, please understand that this is not a matter focused on any individual person, but in a framework that has created a Planning Board membership scheme that does not conform to current Statutes.

If I am correct, then every quasi-judicial decision the Board reaches with such a member's participation runs the risk of being declared invalid. If I am incorrect, then the only risk is one less administrative official on the Board and the City's administrative officials have ample other opportunities to provide input to the planning processes in the City.

If you would care to discuss this further, I am at your service in that regard.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "C. Hellman", written in a cursive style.

Chester "Rick" C Hellman, P.E., L.L.S.

Email only copies to:
Synthia Ravell (to print for Bob)
Trevor McCourt, Esq.

ATTACHMENT B

DUNCAN J. MACCALLUM

ATTORNEY AT LAW

536 STATE STREET
PORTSMOUTH, NEW HAMPSHIRE 03801-4327
(603) 431-1230
TELECOPIER: (603) 431-1308

ALSO ADMITTED IN NY, PA, OHIO & MA

December 29, 2021

Dexter Legg, Chairman
Portsmouth Planning Board
City of Portsmouth
One Junkins Avenue
Portsmouth, New Hampshire 03801

Re: Ineligibility of Raymond Pezzullo

Dear Mr. Legg:

This will constitute my formal request that Raymond Pezzullo be disqualified from sitting on the Planning Board at its upcoming December 30, 2021 meeting and that he in any event refrain from participating in the consideration of, or voting on, any of the applications that are to be entertained at that meeting.

The basis for my request is that Mr. Pezzullo is ineligible to sit on the Planning Board and was unlawfully appointed thereto, for in a city manager form of local government New Hampshire state law allows for the appointment of only two ex officio members to a planning board: the city manger (or his or her designee) and a member of the City Council. RSA 673:2. All other members of the planning board are to be appointed by the mayor and confirmed by the City Council. Id.

Mr. Pezzullo was neither designated by the city manager to sit on the Planning Board in her place nor chosen by the City Council to be its delegate to that Board (inasmuch as he is not a member of the City Council in the first place). Rather, he was purportedly appointed to the Planning Board as an additional ex officio member by the city manger, acting under color of section 1.303 of the City's Administrative Code. Section 1.303, however, clashes with the above-cited New Hampshire state statute and is therefore invalid. Ergo, Mr. Pezzullo is ineligible to sit on the Planning Board (or, at least, he is ineligible to sit as an ex officio member; he theoretically could still be appointed by the mayor and confirmed by the City Council), and he is presently holding his seat unlawfully.

You, of course, already have quite a bit of familiarity with this issue, inasmuch as it was publicly raised by Planning Board member Rick Chellman at the Planning Board's December 16,

2021 meeting and was the subject of some discussion between Mr. Chellman and yourself at that time. Further, at that meeting you also indicated that you were already aware of Mr. Chellman's letter of December 1, 2021 to City Attorney Bob Sullivan and that in fact you had already discussed it with the latter, even if you had not yet been provided with a copy. (In case you still have not received one, I enclose a copy of the letter herewith, as well as copies of its attachments.) To my knowledge, the December 16, 2021 meeting marked the first public disclosure of the fact that Mr. Pezzullo's eligibility to serve on the Planning Board was in question. But in any event, it seems clear that you yourself were already well aware of the issue.

As I'm also quite sure you're aware, the root of the reason why that issue has arisen is that there is a conflict between the relevant New Hampshire state statute, RSA 673:2, and one of the provisions of the City's Administrative Code, § 1.303. I deem it to be a proposition so obvious as to require no citation to legal authority, that if there is a conflict between a state statute and a local ordinance, the state statute prevails and the conflicting provisions of the local ordinance must yield.

RSA 673:2 establishes the framework for the planning board and prescribes the composition of its membership. In cities with a city manager form of government, there are to be nine regular members and, as already noted above, two of those members are to be ex officio members, consisting of (a) the city manager or his/her designee, and (b) a member of the City Council, chosen by the latter body. (There may also be alternates. See RSA 673:6.) The remaining seven regular members are to be appointed by the mayor and confirmed by the City Council. There is no provision in the statute for a third ex officio member.

RSA 673:2 states in pertinent part:

- I. (a) In cities, the planning board shall consist of 9 members:
 - (1) The mayor of the city, or with the approval of the local legislative body the mayor's designee, who shall be an ex officio member;
 - (2) An administrative official of the city selected by the mayor, who shall be an ex officio member;
 - (3) A member of the city council selected by the council, who shall be an ex officio member; and

(4) Six persons appointed by the mayor, if the mayor is an elected official, or such other method of appointment or election as shall be provided for by the local legislative body or municipal charter.

(b) Alternatively, the local legislative body in a city with a city council-city manager form of government may establish a planning board with membership as provided in paragraph I-a.

I-a. In cities with a city council-city manager form of government, the planning board may consist of the following 9 members:

(a) The city manager, or with the approval of the local legislative body the city manager's designee, who shall be an ex officio member;

(b) A member of the city council selected by the council, who shall be an ex officio member; and

(c) Seven persons appointed by the mayor, if the mayor is an elected official, or such other method of appointment or election as shall be provided for by the local legislative body or municipal charter.

In neither RSA 673:2, I nor I-a is there any provision for a third ex officio member on the planning board. The portion of the statute providing for the number of planning board members is expressed in the mandatory term "shall": "In cities, the planning board shall consist of 9 members[.]" RSA 673:2, I(a) (quoted above) (emphasis added). Subsection I-a(c) of the statute provides that by charter or by local legislative action, the municipality may alter the method of appointment of the non-ex officio members, but the subsection does not augment the total number of members who may be appointed, either regular or ex officio.

Section 1.303 of the Portsmouth Administrative Code is both internally inconsistent and in conflict with this statutory scheme, and therefore that section is void to the extent of the conflict. Section 1.303 provides:

A. Membership: The Planning Board of the City shall consist of nine (9) members and two (2) alternate members, specifically;

1. The City Manager, or the designee of the City Manager with the approval of the City Council, who shall be an ex-officio member;
2. An administrative official of the City selected by the City Manager who shall be an ex-officio member;
3. A member of the City Council selected by the Mayor with the approval of the Council, who shall be an ex-officio member;
4. Six residents of the City appointed by the Mayor with the approval of the City Council.
5. Two (2) alternates who shall be residents of the City appointed by the Mayor with the approval of the City Council.

B. Term: All Planning Board members shall serve as such without compensation and the appointed members shall hold no other municipal office except ward official, election official and check-list supervisors. The term of each appointed member shall be three (3) years. The Mayor shall apportion appointments so that no more than three appointments occur annually.

Section 1.303 unlawfully provides for a planning board which includes three ex officio members, rather than two, contrary to the statutory scheme laid out in RSA 673:2. It also reduces the number of citizen board members appointed by the mayor to six members, rather than seven. Conversely, it increases the number of members who may be appointed by the city manager (including herself) from one to two. It also purports to authorize the city manager to appoint a member who holds another municipal office other than ward official, election official, or check-list supervisor, contrary to Section 1.303's own provisions.

Finally, it throws the terms of office of ex officio members into a state of confusion. According to what Mr. Chellman says in his letter to City Attorney Sullivan--and I have no reason to doubt it--Mr. Pezzullo was appointed to the Planning Board as an ex officio member by then-City Manager John Bohenko, acting under color of the above-quoted section 1.303 of the Administrative Code. Was Mr. Pezzullo appointed to a three-year term? As an ex officio

Dexter Legg, Planning Board Chairman
December 29, 2021
Page 5

member, one would have expected his term of office to have expired with the expiration of the term of the official or other authority that appointed him, and former City Manager Bohenko retired two years ago. Was Mr. Pezzullo reappointed by our current city manager, Karen Conard, within these past two years since the time that she took office? If so, I doubt very much that he was confirmed by our current City Council, headed by Mayor Rick Becksted.

Absent some evidence that Mr. Pezzullo, an ex officio member, was reappointed by City Manager Conard and his reappointment confirmed by the City Council, it is clear that he is presently sitting on the Planning Board unlawfully, even under the terms of the City's own Administrative Code.

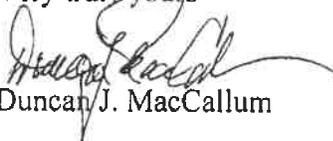
Finally, as Planning Board member Rick Chellman has ably pointed out in his letter of December 1, 2021 to City Attorney Bob Sullivan, the system laid out in section 1.303 of the Administrative Code, wherein the city manager appoints a Planning Board member selected from the City administrative staff, creates a situation of obvious conflict of interest on the part of the appointee (in this case Mr. Pezzullo). As a member of the city administration, the appointee is a city employee and thus is beholden to the city manager for his job; she has the power of hiring and firing over the former. The appointee is going to be loath to publicly express an opinion that is contrary to the opinion, stance, or wishes of the city manager, and he is not likely to vote against an application or measure that she supports. Almost invariably, he will vote in favor of whatever she votes for, and he will vote against whatever she votes against.

In practical effect, under this arrangement the city manager gets two votes: her own, and the vote of the ex officio member whom she has separately appointed from City administrative staff pursuant to section 1.303(A)(2). Any notion of independence of thought or action on the part of the appointee is a pipe dream, and in any event the arrangement does violence to the statutory scheme established by RSA 673:2, I and I-a.

Dexter Legg, Planning Board Chairman
December 29, 2021
Page 6

For all of the foregoing reasons, I ask that Mr. Pezzullo be disqualified from sitting as a Planning Board member at the upcoming December 30, 2021 meeting and at all future meetings.

Very truly yours



Duncan J. MacCallum

DJM/eap

Enclosures

cc. Robert P. Sullivan, Esquire (w/o enclosures)
Karen Conard, City Manager
Rick Becksted, Mayor
Rick Chellman (w/o enclosures)

HAND DELIVERED

ATTACHMENT C



For a thriving New England

CLF New Hampshire 27 North Main Street
Concord, NH 03301
P: 603.225.3060
F: 603.225.3059
www.clf.org

December 23, 2021

Chairman Dexter Legg and Planning Board Members
City of Portsmouth Planning Board
1 Junkins Avenue
Portsmouth NH 03801

Re: 1&31 Raynes Avenue Project, Conditional Use Permit Hearing

Dear Chairman Legg and Planning Board Members,

We write to you with concerns about comments made at the Planning Board meeting on December 16, 2021 in which the Board considered a conditional use permit (CUP) to allow the proposed 1&31 Raynes Avenue project to build within the 100 foot wetlands buffer. At that meeting, Chairman Legg referred to comments made by CLF's Great Bay-Piscataqua Waterkeeper, Melissa Paly, at an April 15, 2021 hearing on a different project as justification to support and approve a CUP.

At the April 15 hearing referenced by Chairman Legg, Ms. Paly provided comments regarding a project at 105 Bartlett Street, which was also seeking a variance from the 100-foot buffer. The first part of those comments commended elements of the project related to stormwater management that would enhance water quality in North Mill Pond. However, the second part of Ms. Paly's comments addressed the importance of buffers and concerns about reducing the 100-foot wetlands buffer.¹ During deliberations, several Planning Board members focused solely on the first part of Ms. Paly's comments related to stormwater management yet overlooked her concerns about encroachment on the wetland buffer.

¹ In her April 15 comments, Ms. Paly brought to the Board's attention a recent report called *Buffer Options on the Bay*, released by a consortium including the NH Department of Environmental Services, The Nature Conservancy, the Great Bay National Estuarine Research Reserve and others, that includes recommendations on buffer width to meet different objectives. Ms Paly stated:

One of the recommendations to really reduce runoff and stabilize banks is a minimum of 164 feet recommended in this report.... I'd like you to consider that a 100-foot buffer is a *minimum* to protect habitat, water quality and other things, so certainly granting a waiver will compromise the benefits that it's intended to produce.... There will be impacts as you chip away at that buffer.



conservation law foundation

At the December 16 hearing on the 1&31 Raynes Avenue project, Chairman Legg referred to Ms. Paly's April 15 comments, again focusing on her statements about stormwater management while ignoring those related to the importance of wetland buffers.² We want to clarify that (1) we have provided no public comment on the Raynes Avenue project, (2) any comments we provide on one project – which will always be based on site-specific characteristics – cannot fairly be invoked for, and applied to, *other* projects, and (3) the Chairman's comments ignored a critical element of the Waterkeeper's April 15 testimony about the dual importance of both stormwater management *and* buffers to improving water quality.

We respectfully request that any comments provided by CLF and/or its Waterkeeper program in one context not be applied to other projects for which they were not intended. Furthermore, we request that the Waterkeeper's comments be viewed fully rather than parsed to justify encroachments into critically important wetland buffers. Finally, we request that this letter be shared with both current and incoming members of the Planning Board who will, no doubt, continue deliberations on the Raynes Avenue project.

Sincerely,

/s/ Melissa Paly

Melissa Paly
Great Bay-Piscataqua Waterkeeper

/s/ Tom Irwin

Tom Irwin
CLF Vice President for New Hampshire

² <https://www.cityofportsmouth.com/planportsmouth/planning-board>
December 16, 2021 at 4:17

January 20, 2022

FOR BOARD MEMBERS AND PUBLIC

Planning Board Chairperson
City of Portsmouth Planning Board
1 Junkins Avenue
Portsmouth, New Hampshire 03801

RE: **MOTION FOR REHEARING**
Application for Site Plan Approval
Tax Map 106, Lot 54, 99 Bow Street

Dear Planning Board Members:

BowPorts EV, LLC (“BowPorts”), which is the record owner of 111 Bow Street, Unit 2, Portsmouth New Hampshire, and a direct abutter to Martingale LLC, Moves for Rehearing Regarding the Application for Site Plan Approval for Martingale LLC approved at the December 30, 2021 Planning Board meeting for the following reasons:

I. NEW Plan Submitted Only DAYS Before the Meeting Constitutes Denial of Due Process

There was a gross lack of adequate notice to (a) the Board, (b) the abutters, and (c) the public about the proposal that was actually considered and approved. The Applicant amended its plan and submitted it to the Board on December 22, 2021. It did not even have for consideration the final version of this NEW proposal.

This NEW proposal amended the deck size such that the Applicant’s representative could not even identify the total square footage of the deck as identified in this “new” plan. The same representative also could *not* answer direct questions from the Board about important issues that Board members themselves identified.

II. Board Rushed This Application and Potentially Was Out of Compliance with Law

A. One Meeting On Last Day of the Year

To our knowledge, the December 30, 2021 Planning Board meeting was the *first time* in City history that the Board met the night before New Year's Eve to vote on an Application for Approval.

This application – with a new version submitted on December 22, 2021, was approved after one (1) meeting, with nine (9) conditions, on the last day of the year.

One or more Board members asked for a site visit indicating that he would “like to see the area” in question. Yet, there was *no* follow-up regarding this. No communication about continuing the application until a site visit could occur.

B. Issue of Board Being Out of Compliance

At the immediately prior Planning Board meeting of December 16, 2021, an issue was raised about whether the Planning Board was out of compliance with the law because it had a legally unauthorized additional participating member. The Board did not deliberate publicly about this issue. To the contrary, it glossed over it and moved ahead.

We now understand that the Board was aware of this issue prior to and at the time of the December 30, 2021 meeting *and* did not (a) identify it or (b) address it. Instead, it just rushed this Application through.

If this representation about the Board’s non-compliance is accurate, the deliberation and approval is flawed.

Because it was raised, it is at least an issue that should be addressed publicly in the interest of the Board’s acting transparently and as an open form of government.

III. Board Relied Upon A Direct Factual Error

Trash disposal has been a huge problem at this location since the building was built. This Applicant has had their large trash barrels slammed up against 111 Bow Street -- the oldest historic building on Bow Street. More frequently than not, it has left this trash uncovered and overflowing. These barrels have damaged our wooden siding – something that the Historic District Commission requires us to maintain. This situation also has caused odor, seepage, noise, and rodent problems.

111 Bow Street has raised this issue with the City *multiple* times over the last eleven years. We specifically raised it during this Applicant’s last proposal to expand the deck in 2015. We used pictures and asked Historic District Commission members to do a site visit.

We have also raised it with the Building Department *and* the Health Department.

During the most recent Planning Board meeting we again included pictures of the trash problem. We explained that these pictures *were from 2015* and used during the 2015 objections to this deck expansion *and* explained that the problem has persisted since that time.

When the Applicant challenged the legitimacy of this trash problem, one Board member referenced that he personally observed it.

Yet, during deliberation the Chair of the Planning Board stated that the “trash issue” was not something that 111 Bow Street had previously raised with the City. This was directly and abjectly false. The vote to approve the Application, with its nine (9) conditions, followed. It is apparent, therefore, that this factual error directly impacted the result.

IV. Applicant Was Unable to Answer Numerous Questions From the Board

A. Pilings Hammered Into ? ? ? ?

As an abutter, we are concerned about the direct impact on our property from the construction process proposed. This Applicant identified that it plans to drive pilings deep into the ground to support the expanded deck. For this, they plan to use a barge with a large crane that has a huge "vibratory hammer" to drive the pilings into the ground under the water.

We are only a few feet away from where this is supposed to happen. We asked whether they have done a study to determine what the ground is like in this location. Specifically, is it ledge? If so, this could fracture and affect our building, impact the ecosystem which we know from the DES application includes endangered species, and weaken the ground all along Bow Street.

The developer's representative responded that it does *not* know what the ground is where it proposes driving these pilings. It has not done anything to assess this.

Obviously, an issue of concern, a Board member asked if the Applicant could screw the pilings into the ground. The Applicant responded, “I don’t know.”

The Board ignored this when it approved this project.

B. Signage for “Public Deck”

The Board then asked about signage for what is supposed to be a “public deck.” As one Board member explained, if a portion of this proposal is supposed to be a “public deck” there needs to be signage explaining this. Asked about this, the Applicant again said he “did not know” if there would be signage or where it would be.

Members then followed up with questions about whether the portion of the deck will actually be “public”. The responses made it clear that it will be accessed by a stairwell open and closed at the business’ discretion and the “public” deck area will have a gate that the business will be able to open and close when they want. They also will control how many people use it. This is clearly *not* a “public” deck.

C. Access for Disabled

Martingale LLC claimed that it would provide access for the disabled who park on Bow Street to the waterfront by allowing use of its elevator. FEDERAL LAW requires this because the Martingale is a place of public accommodation. This is *not* a concession or even anything additional that Martingale is offering. Yet, the Board cited it as an additional benefit the City is receiving.

It then ignored a great question from a Board member who asked if there is a safety issue created regarding evacuation if the elevator fails. About this, the Applicant's representative again responded that he "did not know."

V. Direct RESIDENTIAL Abutters Object

The seven units at 111 Bow Street Object to this application. Five of these seven units are residential. All will be adversely affected by the sound, noise, odor and light this deck will create.

It is undisputed that this proposal will increase the impact each of elements will have on abutting properties. This proposal means *more* customers which will generate *more* trash, noise, sound, light, and odor.

Indeed, for this reason the proposal includes "screening" for the neighboring properties. At the meeting, the Applicant mentioned something about *eliminating* the screening on one side. This *elimination* was not shown *anywhere* on the new version of its proposal!

Moreover, this proposed screening is woefully insufficient to mitigate the increased harm this project will cause. It is short. It is decorative. It is only directed toward making the dining experience for customers better. But will do nothing for abutting residential property owners who will be subjected to much greater adverse impact.

VI. NH DES Application Still Pending

The Portsmouth Conservation Commission has denied this proposed deck expansion *twice*.

The Applicant has repeatedly acknowledged that whether this proposal goes forward depends upon the NH DES consideration of its Dredge and Fill permit. It is agreed – and undisputed – that the NH DES is the agency with the expertise to address the issues this proposal raises. It also is undisputed that there are many unanswered questions, especially since the Applicant just amended its proposal *again*.

Portsmouth Planning Board
Motion for Rehearing
January 20, 2022
Page 5 of 5

Before the Planning Board proceeds further, it should receive the determination from NH DES so the Board can address any issues raised therein. Proceeding otherwise, and approving this application without even knowing the concerns that NH DES identifies, is a dereliction of the responsibility that the Planning Board owes to Portsmouth residents.

Please reconsider this Application.

Sincerely,

A handwritten signature in black ink that reads "John P. Sherman". The signature is written in a cursive style with a long horizontal stroke extending to the right.

John P. Sherman

cc: Client
Planning Board members – via email planning@cityofportsmouth.com
Nick Cracknell, City of Portsmouth (via email)
Peter Britz, City of Portsmouth (via email)
Marjan Frank and George Glidden (via email)
John Samonas (via email)
David Price, NH DES (via email)
Stefanie Giallongo, NH DES (via email)
Juliet Walker, City of Portsmouth (via email)

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

February 17, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark Vice Chair; Karen Conard, City Manager; Ray Pezzullo, Assistant City Engineer; Beth Moreau; Peter Harris; Greg Mahanna; Jane Begala; James Hewitt; Franco DiRienzo, Alternate; Andrew Samonas, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner 1

MEMBERS ABSENT:

.....

Chairman Chellman commented that before they began the agenda City Attorney Sullivan had requested to speak.

City Attorney Sullivan commented that he was there to speak to the Board about the matter with North Mill Pond Holdings LLC and Raynes Ave. vs. City of Portsmouth. It will have an effect on the proceedings this evening. On February 9, 2022, a lawsuit was filed, and the City was served this week. It is a lengthy suit and a serious matter. There are three counts. The City is the defendant but the actions of the Planning Board and Zoning are the subject. The first count is an appeal on the Planning Board's decision to rehear the application. The petition raises a number of legal questions about the Board's authority to conduct the rehearing, actions of particular members of the Board, and generally requests that the court order against a rehearing. Count 2 is in some ways a repeat of count 1. However, it's a request that the judge make a declaratory ruling. That is a statement from the court not necessarily a ruling. The complaint should be read by the Planning Board members. This lawsuit makes assiduous claims for their attorney's fees to be paid by the City because of the actions of the Planning Board. That is a rare situation. When Board members read the complaint, they should direct their attention to the third count. The last item in the complaint is why the City Attorney was there tonight. The process of appealing a Planning Board decision is a little different. Before taking any action, the judge conducts a very brief preliminary hearing to determine if any preliminary orders are needed. They were issued in this case. The order is proceedings upon decision appeal are stayed. That means the rehearing cannot move forward because the court has ordered that it not happen. Beyond that the attorneys in the case have agreed that no action should be taken by anyone in connection to this case. This will end when in some way or another the court orders it

to end. The City has 30 days from filing to file an answer. When the answer is prepared and filed copies will be sent to the Planning Board. The Board should review the complaint and answer side by side.

Chairman Chellman questioned if the order included not reviewing the minutes for that application. City Attorney Sullivan confirmed that was correct.

I. APPROVAL OF MINUTES

A. Approval of the January 27, 2022 minutes.

City Council Representative Moreau moved to approve the January 27, 2022, minutes with the exception of items that speak to the case considered at 31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue, seconded by Vice Chairman Clark.

Vice Chairman Clark commented that the paragraph before 6B was abbreviated and needed to be edited.

Ms. Begala questioned if they would be able to return to the excluded section of the minutes at a later date after the litigation was settled because she had some corrections for that section. Chairman Chellman confirmed that they could.

The motion passed unanimously.

Chairman Chellman commented that they had a robust agenda, and he had a request to postpone items 4 A and B at the beginning of the meeting.

City Council Representative Moreau moved to suspend rules the rules to vote on items 4 A and B at the beginning of the meeting, seconded by City Manager Conard. The motion passed unanimously.

City Council Representative Moreau moved to consider agenda items 4 A and B together and postpone them to the next Planning Board Meeting, seconded by City Manager Conard. The motion passed unanimously.

II. DETERMINATIONS OF COMPLETENESS

SITE PLAN REVIEW

- A. Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval.

Mr. Hewitt recused himself from the application. Chairman Chellman noted that Mr. Samonas would be voting in his stead.

Mr. Mahanna commented that he has personally known the applicant for 25 years but has never done business with them in the past. Mr. Mahanna had nothing to do with this project and no bearing on the decision.

City Council Representative Moreau moved to determine that the application is **complete** according to the Site Plan Review Regulations and to accept the application for consideration, seconded by Vice Chairman Clark. The motion passed unanimously.

- B. The request of **Monarch Village, LLC (Applicant)**, on behalf of **Neveesha Hospitality, LLC (Owner)**, for property located at **3548 Lafayette Road** requesting Site plan approval.

City Council Representative Moreau moved to determine that the application is **complete** according to the Site Plan Review Regulations and to accept the application for consideration, seconded by Vice Chairman Clark. The motion passed unanimously.

- ~~C. The rehearing request for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** for a Conditional Use Permit as permitted by Section 10.1112.62 of the Zoning Ordinance and Site Plan Review.~~

III. PUBLIC HEARINGS -- OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting a wetland Conditional Use Permit under section 10.1017 to construct 50 town homes on an undeveloped lot. The (Applicant) is proposing five areas of wetland impact for a total of 21,350 square feet of permanent impact and three areas of temporary impact for a total of 2,350 square feet. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. (LU-21-98)

Mr. Hewitt recused himself from the application. Chairman Chellman noted that Mr. Samonas would vote in his stead.

SPEAKING TO THE APPLICATION

Attorney John Bosen and Gregg Mikolaities from August Consulting spoke to the application. Mr. Bosen commented that the project was to build 50 townhouse style condos, which is less than what the ordinance allows. There is 44 acres on the property. 28.8 acres are in the NRP zone, and 15 acres are in the gateway. That would allow for 248 units, but they are only planning to construct 50 units. They will donate 10.3 acres of land to the City to put in a conservation easement. The developers have worked hard to get the plan where it is today. They first did a Conceptual Consultation in 2020 and worked with Staff, DPW, the Conservation Commission and TAC to finalize the plan. They received TAC and Conservation Commission approval in August. They have been working with DPW to bring sewer to the site and are now in agreement on the cost for off-site improvements.

Mr. Mikolaities commented that this was a unique site because it's set back from Route 1. The frontage is off Lafayette Rd. with good sight distances. There are 28 acres in a conservation easement as part of a wetland mitigation site. The site is surrounded on the south and the west by conservation land. This development will consist of 12 different buildings with a total of 50 units. The site layout has been vetted through TAC. They will be 3 bed units with a 2-car parking garage underneath. There will be 37,000 sf of temporary buffer disturbance that will be restored. There will be walking paths along the back of the units. There will be clear demarcations of the buffer and a three-rail cedar fence will be installed along the path to keep people out of the wetland. There will be a 4,800-sf park in the cul-de-sac area with pet waste stations at the park and along the path. The drainage plan is simple for the site. All of the work will be out of the buffer. There will be 2,600 sf of temporary buffer impacts for the swale to convey clean stormwater. All treatment will be out of the buffer. The disturbed areas will be restored with a wetland mix. The sewer manhole will be a temporary disturbance. There is a robust landscaping plan that will create a private community off Route 1. The site will be fed by municipal water and sewer. They have agreed to contribute \$155,000 to help with the sewer. They are providing 10 acres of conservation land, a park, and walking paths for community space. The site will be 85.3% open space and have only 5.6% building coverage.

Mr. Bosen commented on the CUP request for the development site. The plan is consistent with the City's Master Plan. It is providing much needed housing with multiple unit sizes and a reasonable degree of affordability. It is a gateway project with the allowed use of townhomes. It's permitted and appropriate and it exceeds the public realm requirements. They are restoring wetlands that are currently being impacted, donating conservation land, and adding a dog park walking paths, and sidewalk. The traffic study shows that it will not have an impact to the traffic pattern. The development will complement the surrounding properties as well. There are condos on both sides of this property and one in the front. This project meets the ordinance requirements.

City Council Representative Moreau questioned if there was public transportation access to the site. Mr. Bosen responded that he did not think there was. City Council Moreau commented that it would be good to look into providing public transportation to help residents get to work and play options. Mr. Bosen agreed.

Ms. Begala commented that somewhere in the reading it said there was a bus route they could walk to. There are already condos in the area and this development will add traffic. It may warrant a traffic light especially to help with turning left. It would be good to extend the COAST bus route. The Master Plan vision was for mixed use developments that created unique neighborhoods and village centers. That's what should be shown here. They should take advantage of the conservation land or create a village center and draw more people to this development. This development isn't showing connectivity or a village center. Mr. Bosen responded that they were confined by the environment of the site. It's a huge site but 28 acres are already in the NRP zone. They are donating 10 acres to the City that can be accessed from the trails on Coach Road. There is an opportunity for the public to connect to the site through the trail system.

Mr. Mikolaities added that Hill Crest Estates was the closest COAST bus stop. They can connect with COAST to see if they would coordinate a stop somehow without impacting their schedules. The traffic study was done by Steve Pernaw. The a.m. peak hour showed 4 cars going in and 10 cars going out and the p.m. peak showed 14 cars going in and 9 cars going out. The impact is minimal. This will be vetted by DOT as well. It is allowed in the Gateway Zone ordinance to build a general residential development. This meets that part of the ordinance. There is only 128 feet of frontage on Lafayette Rd., so the site doesn't lend itself to retail or commercial frontage.

Ms. Begala noted that there was a difference between the Master Plan and the zoning ordinance. There are two single family houses along the front of Lafayette Road. This entire development will be built behind those houses. There are other condo developments in the area but there are also individual residences along the entrance to the proposed development. Mr. Mikolaities responded that there were pros and cons when the Gateway District was established. There are individual residences that were there before the Gateway Zones existed. There will be a 6-foot fence that starts at the north end of the property line and goes down to the south end. There will also be a robust landscaping plan. There will be screening.

Chairman Chellman requested clarification about whether or not a traffic light was warranted based on the traffic study. Mr. Mikolaities responded that there was no impact, and they were not applying for a signal.

City Council Representative Moreau commented that they were debating connecting to the sewer in the back or on Lafayette Rd. and questioned how they determined which one to connect to. Mr. Mikolaities responded that they originally proposed to connect to the one out back. The Conservation Commission was concerned about that connection because of the environmental impact. The City was concerned about the capacity on Lafayette Rd. They have worked to determine that there is capacity on the Lafayette Rd., so they will connect there.

Mr. Mahanna commented that the plan noted that there were areas where sand will be used instead of salt and questioned how that would be maintained in perpetuity. Mr. Bosen responded that it would be a covenant in the condo documents. It's a private road so the condo association will enforce it.

Mr. Samonas commented that plants should be planted within 5 feet of the roof drip edge systems. Mr. Bosen confirmed that they would ensure that was in the condo documents. The association will be able to enforce that. Mr. Samonas noted that the operations and maintenance plan call for annual drainage inspections, but they should be more frequent because there is a sensitive water body on the site. Mr. Bosen confirmed they could increase the frequency.

Vice Chairman Clark requested more details on the proposed treatment plan sheet. Mr. Mikolaities commented that they created that plan to show the Conservation Commission what direction the drainage would be flowing on the site. The light brown goes to the wet pond and the light green goes to the bioretention area. That plan just shows the flow and the outlets. Vice Chairman Clark questioned if the concerns about the impact to the prime wetland were eliminated because the sewer was connecting on Lafayette Rd. Mr. Mikolaities confirmed that was correct. Vice Chairman Clark questioned if the NOFA standards would be in the condo documents. The plans don't reference NOFA standards for stabilizing the site. Mr. Mikolaities responded that they could add it to the plan. Vice Chairman Clark questioned if they thought about adding a trail out to the sewer easement which goes all the way to Nathaniel St. They could create a more established trail system. Mr. Mikolaities responded that there was a lot of discussion on that. The original plan had trails that connected in and out. The Conservation Commission wanted to take a bigger look at all the land the City owns in that area and have a larger discussion about how much access and maintenance should be happening in that area. Mr. Samonas confirmed that the Commission did not reach a definitive resolution on the trails. Mr. Mikolaities added that the Commission wanted to look at the City's public lands and access. They had a number of discussions about the trail, but the final decision was to go with this proposal. Vice Chairman Clark questioned if they intended to open Coach Road all the way down to the cul-de-sac. Mr. Mikolaities responded that was a City road with City property around it, and he was not sure what the City was doing with it.

Chairman Chellman commented that the plan did not define the public access easements yet. Mr. Mikolaities responded that the Conservation Commission did not want them. Mr. Samonas added that the Commission could not determine if there should be access or not on the site. Chairman Chellman noted that people were already using that area. Mr. Mikolaities responded that was not on their property. It's in the NRP zone. The Conservation Commission did not want people out there walking. City Council Representative Moreau noted that the rail trail would be done in a couple years and the City will be able to determine access points. The City can look at adding access then.

Ms. Begala noted that the memo explicitly stated that TAC wanted to look at deeded public access to open space that abuts city parcels. Mr. Mikolaities responded that was for the 10 acres they are donating to the City. The discussion is if the City wants paths on it or not. That's an internal discussion within the City. This plan's formal path stops where the informal path ends. The City will have the easement and can determine what they want to do with it. Chairman Chellman requested clarification on the easements. Mr. Britz responded that the green area of the plan will be deeded to the City. The Conservation Commission was not interested in doing heavily developed trails on the site. The sewer line is a wide access road that runs from the Nathaniel St. neighborhood to the Rye line to maintain the sewer. It is not an organized trail, but

it is easy to walk. The Conservation Commission was concerned about cutting a trail through the wetland. Chairman Chellman questioned if the sewer easement allowed for hiking. Mr. Britz responded that it's City property. It's not precluded but the red area of the plan is very wet.

Ms. Begala questioned where people would park now to access this land. Mr. Bosen responded that they would park on Coach Rd. Ms. Begala questioned if they could legally park on Coach Rd. Mr. Bosen responded that they park there now and it's a City street. Mr. Britz added that the City street goes back to the cul-de-sac. It was closed off because people were dumping material back there. It's open for people to walk. It could connect to trails with land that is being deeded to the City with this project. It is probably better for the City to have a bigger discussion about what to do with that land at a later time. It will be deeded to the City, so they can do what they want with it.

Mr. Samonas commented that they should think about a way to advertise the new development along Route 1 to help mitigate the new traffic. Chairman Chellman noted that the State will be looking at access questions and management. A 50-home project will probably not warrant a driver information system. They are also very expensive.

PUBLIC HEARING

Chairman Chellman asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark moved to request that the applicant revise the plans to comply with the requirements of Section 10.5B92 related to the provision of an 8' wide pedestrian walkway throughout the site, seconded by City Council Representative Moreau.

Vice Chairman Clark commented that this site has the sewer easement back there. It is rutted and has some vehicular traffic. There is a connection to this site from Court St. People will naturally want to go that way. The current trail is in the buffer but not the wetland. There may be future connections to the rail trail, but there is already a connection at the end of Nathaniel Rd. It would be good to see the developer's work with the City to build upon the trails that are back there. That may be in conflict with the Conservation Commissions suggestion, but they are already being used and will continue to be used. The City has a sewer easement to access manholes. The easement is in rough shape and will need to be fixed in the near future. There should be some signage on Court St. It may be more prudent to make this a stipulation in the site plan approval.

City Council Representative Moreau clarified that they were just talking about revising the plan to make sure the sidewalk was a certain width to make sure it's connected. Ms. Zendt responded that the Staff recommended that the Board take a look and decide if it's adequate. The existing

connections and trail provide reasonable support for the proposed use. This will have less pedestrian activity than a mixed-use site, so it seems reasonable. They are only speaking about the 8-foot connections in the development site. City Council Representative Moreau that they should ensure there are safe ways to walk through the site.

Chairman Chellman requested clarification on the motion. Vice Chairman Clark responded that this motion only pertained to the walkway in the development site. Vice Chairman Clark commented that he thought the walkway worked for this particular site. If the Board felt it needed to be 8 feet, then they can move that way.

Mr. Samonas questioned if the sidewalk behind units 45-50 was existing or proposed. City Council Representative Moreau responded that was the walking pathway they are proposing to put in. Mr. Britz commented that an 8-foot pedestrian path is required in the Gateway District. They have provided it through the site but not in front of every building. There is a section of an 8-foot path behind the buildings. Staff just wanted the Board to consider that.

Chairman Chellman questioned if TAC approved of the way it was currently depicted on the plan. Mr. Britz confirmed that was correct. Vice Chairman Clark questioned if they already complied with the provision of an 8-foot path on the site. Mr. Britz confirmed that they did. The path just does not go in front of every building. Staff recommends that it probably meets the spirit because it's residential. The intent was just to point it out. Chairman Chellman requested clarification about whether or not the 8-foot walk throughout the site was adequately depicted on the plan. Ms. Zendt responded that it does not meet the letter, but it meets the spirit and intent for the use on the site.

Ms. Begala questioned where kids could bike on the site. It looked like sometimes it could be on a sidewalk and other times it was in the parking lot. Mr. Britz responded that he came up to clarify one point, but the Board was in motion mode. Chairman Chellman commented that the Board has to approve that question at this point. City Council Representative Moreau commented that they have enough information to move forward.

Vice Chairman Clark commented that even though he made the motion he was going to vote against the revision request. City Council Representative Moreau commented that anyone on the Board should vote against the motion if they felt no revision was needed.

The motion failed unanimously.

Vice Chairman Clark moved to approve the wetland conditional use permit, seconded by City Council Representative Moreau with the following stipulations:

- 1.1) The Condominium documents shall include maintenance for the landscaping and plants proposed for the wetland buffer area and also a requirement that the property owners shall utilize NOFA (Northeast Organic Farming Association) approved practices (or comparable equivalent) for landscaped areas on the site.
- 1.2) The condominium documents shall prohibit the use of salt on paved surfaces.
- 1.3) Applicant will include specification for the use of NOFA standards on the plan set.

1.4) The Operation and Maintenance Manual will include outfall monitoring to occur quarterly

The motion passed unanimously.

B. Request of Ricci Construction Company Inc., (Owner) and Green & Company Building & Development Corp., (Applicant) for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval for construction of a 50-unit multi-family residential development that includes community space and related landscaping, drainage, paving, utilities and other site improvements. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. (LU-21-98)

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark moved to find that the application meets the requirements of Section 10.5B43.10 and to grant a conditional use permit for a Development Site subject to the requirements and conditions of site plan review approval, seconded by City Council Representative Moreau.

Vice Chairman Clark commented that the applicant showed how the development meets the standards of the CUP. This is a purely residential area of Portsmouth. There are a lot of similar developments in the area, and another proposed on the adjacent site. It does lack bringing in the public, but the possible trail networks could attract them. There are good ways to bring people into the site. It meets the character of the neighborhood and Vice Chairman Clark appreciated the large land going into the easement. The site abuts a very large track of conservation land that is managed by the Southeast Land Trust.

City Council Representative Moreau agreed and commented that when they were developing the Gateway the intent was to build residential around commercial areas. Right now, there is no commercial in this area. These additional housing units will be appreciated. It is appropriate to be just residential. This meets all the requirements. The land is surrounded by wetlands and conservation land. This will give a good connection option to the rail trail.

Chairman Chellman commented that the applicant was not required to be consistent with all of the elements of the Master Plan. This property has unique elements. It is back from the road. Access is still needed for retail. They would not want to require something that would fail.

Ms. Begala commented that she appreciated that there will be a fence that will provide screening from the houses.

The motion passed unanimously.

Vice Chairman Clark moved to grant site plan review approval, seconded by City Council Representative Moreau with the following stipulations:

Conditions Precedent

- 3.1) Deeded public access will be provided to the proposed open space and undeveloped portion of the property that abuts city-owned parcels.
- 3.2) Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 3.3) The applicant shall provide \$155,000 to the City of Portsmouth prior to approval of the Site Plan Agreement for the purpose of infiltration and inflow removal.
- 3.4) The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the installation of utilities and stormwater infrastructure.
- 3.5) The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.
- 3.6) The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 3.7) Applicant to provide a design report on the water booster system summarizing water system supply, pressures and operation for potable water, irrigation, and fire suppression to the satisfaction of the Fire Department and Department of Public Works.

Conditions Subsequent:

- 3.8) The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;
- 3.9) A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.

Vice Chairman Clark commented that they should add a stipulation to have Staff work with the applicants to see if there is a feasible way to add a trail to the City's sewer access trail.

Chairman Chellman commented that he was concerned about providing additional access along the City sewer easement. Vice Chairman Clark commented that the sewer easement was built up in the wetland for the easement. There aren't any other viable trails through the area.

City Council Moreau commented that the red area was the existing easement, and the green area was the future easement and questioned if the trail would be across the red or green section. Vice Chairman Clark responded both. City Council Representative Moreau commented that the City was already in control of so much of the land and they were adding 10 acres at the bottom of the site. There is not a strong reason to add a trail. The only people going through the red are

residents in this development. Vice Chairman Clark commented that eventually people would access this from the Nathaniel Dr. development and the adjacent development. City Council Representative Moreau commented that they should push the public toward where the rail trail will be built. This is such a sensitive area, and more disturbance would be more harmful. Vice Chairman Clark commented that they will need to do work on the sewer easement to get vehicles down the access road. People can see the clearing from the last unit in this development. It makes sense to provide access. City Council Representative Moreau commented that the other option would be to restrict them from accessing it to begin with. They should add signage stating no entrance into that area. There will be other ways to access the rail trail without going through here.

Chairman Chellman clarified that the Board had differing opinions. One was to allow walking out to and on the sewer easement where walking is not typically allowed. Adding access may be inviting people into trespassing without updating the easement which would require discussions with the landowner. The other is to add signage to not allow that. City Council Representative Moreau commented that they were already adding signs to demarcate the buffer, so they could add wording onto that.

Ms. Begala commented that if they were approving projects that encroach this close to natural areas, then people will be looking for places to walk in that area. Basically, the Board is deciding if they should make that legal or illegal. Ms. Begala commented that she would support Vice Chairman Clark's stipulation.

Mr. Pezzullo commented that it was a challenge to maintain the sewer easement in the wetland and added pedestrian traffic could increase that challenge. It is not allowed now. The Rail Trail may present a better option for pedestrians.

Vice Chairman Clark questioned if City Council Representative Moreau anticipated the Rail Trail would make a direct connection to this site. City Council Representative Moreau commented that it would be possible because there is so much City property around it. The State portion of the of the trail will done in 2024. Then the City can step in and add enhancements to that. Vice Chairman Clark agreed but noted that the only issue was the area between the existing sewer easement and the rail trail is prime wetland. It would require a new wetland impact for a quarter of a mile to make that connection. Regardless of the vote tonight, the easiest way for people to access the Rail Trail would be to go to the sewer easement then to Nathaniel Dr. and then to the Rail Trail.

Mr. Mahanna commented that it did not make sense to encourage the public to walk over a raised path through a swamp. They would be inviting dogs and trash into the wetlands. The sewer easement is not made to be a pedestrian path. It would need to be modified to be a pedestrian path.

City Council Representative Moreau commented that this proposed as an additional stipulation to the site plan approval. They should vote on the site plan approval and then vote on this stipulation separately.

The site plan motion passed unanimously.

Vice Chairman Clark moved to have applicant work with the City to provide meaningful access to and across City sewer easement, seconded by City Council Representative Moreau.

The motion failed by a 1-8 vote. Vice Chairman Clark was the only member who voted in favor of the motion.

- C. The request of **Monarch Village, LLC (Applicant)**, on behalf of **Neveesha Hospitality, LLC (Owner)**, for property located at **3548 Lafayette Road** requesting Site Plan Review and a Conditional Use Permit as permitted under 10.5B41.10 of the Zoning Ordinance to allow for the demolition of 6 structures; the redevelopment of 6 existing structures to create 6 units in building 8, 15 units in building 2, 5 units in building 4, 2 units in building 5, 9 units in building 7; the construction of 4 new structures to create 12 units in building 3 with a 4,303 square foot footprint, 24 units in building 6 with a 7,048 square foot footprint, a 250 square foot storage structure and an 825 square foot storage structure; creating a total of seventy-five (75) residential units with 123 parking spaces where 113 spaces are required. Said property is shown on Assessor Map 297 Lot 6 and lies within the Gateway Corridor (G1) District. **(LU-21-90)**

SPEAKING TO THE APPLICATION

Eric Saari from Altus Engineering and Vicki Martel from Woodburn and Company, and builder Norman Lee spoke to the application. Mr. Saari commented that the site was the Wren's Nest Hotel. This land is behind the site of the application the Board just heard. This hotel was built in the 1930s. There is an eclectic mix of motel units. The most recent building was built in 1999. The parking lot is a mix of pavement and gravel. The proposal is to take down some small structures, retain and rehab the rest of the structures, and build two new apartment buildings. This will yield a total of 75 units on the property which is the maximum allowed. There will be 113 parking spaces. The indoor pool will go away. However, there will be other amenities like a dog park, patio, and bocce ball court. There will be a little trail on the site and a connection out to the conservation land mentioned in the prior proposal. The dumpster will be in the back and the pool building will become common laundry and the mail center. The site currently has a very interesting drainage set up. Right now, it conveys water from Tortillas Flats across the site. The new drainage system will have an infiltration basin and overflow that will only see water in storms over the 10-year storm. Right now, the utilities connect in from a few different directions. This proposal will replace all of that with new upgraded facilities with proper sizing. They will donate to the City's sewer construction project to mitigate the increase in sewer. The lighting on the site will be replaced with dark sky compliant LED lighting.

Ms. Martel commented that the planting plan was very straight forward. The handful of trees at the entry will be retained. The rest of the trees are all proposed trees and will be a mix of native and canopy trees. There will also be some understory trees to remediate the dumping area on the site.

Mr. Saari added that there was a dump site on the property. It's in the wetland buffer. They will remove those items by hand, then seed the area and add the understory trees. There is a small wetland off site, so there is a buffer on the property. Structurally the buildings are in good shape. They just need some cosmetic work. The new buildings will be colonial style. This property is under the DOT jurisdiction. They got comments back today and there were no showstoppers. They need a sewer discharge permit because they are adding a manhole.

Chairman Chellman commented that Mr. Hewitt recused himself from the application so Mr. DiRienzo would be voting on this application.

Vice Chairman Clark questioned if all of the proposed storm water system had perforated pipe. Mr. Saari confirmed that was correct. The site has good soils. They did test pits on the site and lends itself to infiltration. The overflow only sees water at end of a 10-year storm event and they added 15% to the calculations. Vice Chairman Clark commented that the outfall elevation on the plans did not match the hydra CAD. Mr. Saari confirmed they would correct that.

Ms. Begala questioned if there was a bus route stop near this site, or if they had requested to add one. Mr. Saari responded that the trailer park across the street was the last stop on COAST. They have not reached out at to COAST at the present time.

Mr. Mahanna questioned if they knew the price point for the rentals. Mr. Saari responded that they would be market rate.

Mr. Pezzullo commented that they should add a terminal manhole at the end of the line in the back of the property. Mr. Saari confirmed that they could add that.

City Council Representative Moreau questioned what the size of the units would be. Mr. Saari responded that there would be 18 Studios, 15 one bedrooms, and 3 renovated 2-bedroom units. The new buildings will be all 2 or 3 bedroom units.

Chairman Chellman appreciated the crosswalks but questioned why there were no sidewalks on the south side. Mr. Saari responded that they didn't add it so they could maximize grade space. The crosswalk will get people over to the open space. There is a lot of signage and crosswalks on the site. Traffic should be moving at slower speeds. Chairman Chellman noted that 113 parking spaces were required and questioned if they were proposing more than that. Mr. Saari responded that they were only planning to propose 113 spaces. There was a typo on the plan that needs to be corrected.

Ms. Begala commented that market rate was pretty high, and she would hope for a better architectural design. Mr. Saari responded that the buildings were designed to minimize cost which will minimize rent. They will not be visible from the street, and it does meet the architecture requirements for the zone.

Mr. Harris questioned if these would be on the more affordable end of market rate. Mr. Saari responded that they naturally would be because of the location on Route 1.

Chairman Chellman noted that even enhancing the entryway could make a big difference with a building.

Mr. Lee commented that the renderings don't necessarily convey the quality of workmanship the buildings will have. They will be using high end materials with granite counter tops and wood flooring. People will be impressed with the finished product. They will make sure the architecture, construction, and landscaping will all be good quality.

Mr. Samonas questioned if there was a way to better illuminate the crosswalks and curbing on the site. Mr. Saari responded that it was only really dark down the middle. All of the sidewalks will be illuminated, but they can look at adding more light if it's needed. Chairman Chellman questioned if reflectors were a better option. Mr. Saari responded that reflectors don't last as long, so lighting would be better. Chairman Chellman noted that one of the TAC comments mentioned a sewer drain but it was really supposed to be water mains. Mr. Saari confirmed that was a typo. Mr. Saari added clarification to the recorded easement comment. Right now, the drainage is going onto the abutting property and the existing power is coming from the abutting property. They have prescriptive rights and have had trouble contacting the owner to formalize an easement. Therefore, they are moving forward with prescriptive rights. They are also giving drainage easement to Tortilla Flats. Stipulation 2.10 is a little extreme. Review of on-site water and sewer is what is expected. The stipulation could be narrowed down. They don't need a resident engineer for paving and parking. Mr. Pezzullo questioned if they would be doing offsite improvements with a sidewalk. Mr. Saari responded that they may. They will dedicate a 12-foot reserve strip for a City sidewalk.

PUBLIC HEARING

Chairman Chellman asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark moved to find that the application meets the requirements of Section 10.5B43.10 and to grant a conditional use permit for a Development Site subject to the requirements and conditions of site plan review approval, seconded by City Council Representative Moreau.

Vice Chairman Clark commented that this fits with the surroundings. It is all residential, but it matches the character of the neighborhood. It will have a bocce court and other public amenities. They are also reusing some of the buildings on this site. They may not be the best looking, but that's a huge amount of material that will not be going to a landfill. That's a benefit.

The motion passed unanimously.

Vice Chairman Clark moved to grant Site Plan Approval, seconded by City Council Representative Moreau with the following stipulations:

Conditions Precedent (to be completed prior to the issuance of a building permit):

- 2.1.) Remove one additional space from parking area between Building 7 and Building 8 to total 11 spaces and update parking calculations found in note #8.
- 2.2) Include design detail for dog-park subject to review by Planning Staff.
- 2.3) The applicant shall provide \$22,733 to the City of Portsmouth prior to approval of the Site Review Agreement for the purpose of the infiltration and inflow removal project. The costs will be used for engineering and construction of the Sewer System Rehabilitation Contract 1 project being overseen by the City. This work is anticipated to be complete by October 2023.
- 2.4) Page C4 note 15, polyethylene wrap needs to be soil tight not water tight and is only needed around ductile iron pipe. If the contractor is going to use c900 water pipe, tracing wires must be provided that meet the water department requirements.
- 2.5) Add to the profile near the Ripley Dam that 'the City MUST inspect the dam as it's being installed'. Dam should be moved to station 0+60 now that drainage design has changed.
- 2.6) Add thrust block at horizontal 90 degree bend at hydrant. Hydrant location is fine with DPW, needs to be approved by Portsmouth Fire.
- 2.7) The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 2.8) Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 2.9) The applicant shall prepare a Construction Management and Mitigation Plan (CMMP) for review and approval by the City's Legal and Planning Departments.
- 2.10) The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the public utility improvements within the public rights-of-way and on site
- 2.11) Owner shall provide an access easement to the City for water valve access and leak detection. The easement shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.
- 2.12) The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.
- 2.13) Applicant shall add additional lighting to western sidewalk.
- 2.14) Applicant shall contact COAST and request additional bus service be added to accommodate the addition of 125 units within the general area.

2.15) Applicant shall add a terminal man hole at the end of the sewer line

Conditions Subsequent:

2.16) The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;

2.17) A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.

The motion passed unanimously.

D. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** for a Conditional Use Permit as permitted by Section 10.1112.62 of the Zoning Ordinance and according to the requirements of Section 10.1112.14 to allow 113 off-street parking spaces including 18 reserved spaces to be provided on-site and 25 spaces to be provided on a separate lot where a total of 138 are required and Site Plan Review approval for the demolition of three existing buildings and construction of the following: 1) a 5-story mixed use building with 66,676 gross floor area and 16,629 sq. ft. building footprint including 7,720 sq. ft. of commercial use on the ground story and 32 residential units on the upper stories; 2) a 5-story 124-room hotel with 65,980 gross floor area and 14,622 sq. ft. of building footprint; 3) 34,427 sq. ft. of community space as well as associated paving, lighting, utilities, landscaping and other site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

THIS MATTER WILL NOT BE HEARD PER COURT ORDER

E. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting a Wetland Conditional Use Permit under section 10.1017 to construct two buildings 1) a 5 story mixed use commercial and residential building and 2) a five story hotel building with 124 rooms. The project has removed all of the impervious surface from the 25' tidal buffer, proposes 67 square feet of impervious surface in the 25-50' tidal buffer and 21,190 square feet of impervious in the 50-100' tidal buffer. Overall the project is able to demonstrate a reduction of 7,070 square feet of impervious surface in the tidal wetland buffer from the existing condition or a reduction of 10,107 square feet if the reserve parking is not constructed. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54) **THIS MATTER WILL NOT BE HEARD PER COURT ORDER**

IV. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. **REQUEST TO POSTPONE** The request of **Cate Street Development (Owner)**, for property located at **406 US Route 1 Bypass**, requesting amended Site Plan Review approval to reconfigure and expand parking on Tax Map 172 Lot 2, Tax Map 172 Lot 1, and Tax Map 165 Lot 2 to contain 73 new spaces (52 covered); to renovate the existing structure on Tax Map 172 Lot 2; and to add a bioretention stormwater facilities, stormwater collection and treatment facilities on Tax Map 172 Lot 1 and Map 165 Lot 2. Said properties are shown on Assessor Map 172 Lot 1, Map 172 Lot 2, and Map 165 Lot 2 and lie within the Gateway Corridor (G1) District. **REQUEST TO POSTPONE (LU-22-7)**

DISCUSSION AND DECISION OF THE BOARD

This item was postponed at the beginning of the meeting.

- B. **REQUEST TO POSTPONE** The request of **Cate Street Development LLC (Owner)**, and **Boston and Maine Corp (Owner)**, for properties located at **428 US Route 1 Bypass, 406 US Route 1 Bypass, and 55 Cate St** requesting Preliminary and Final Subdivision approval (Lot Line Revision) to convey 31,187 square feet from Map 165 Lot 14 to Map 172 Lot 2, Map 172 Lot 1 and Map 165 Lot 2 which will result in a total of 52,820 square feet lot area for Map 172 Lot 2, 126,500 square feet lot area for Map 172 Lot 1, and 260,789 square feet lot area for Map 165 Lot 2. Said properties are shown on Assessor Map 172 Lot 1, Map 172 Lot 2, Map 165 Lot 2, and Map 165 Lot 14 and lie within the Transportation Corridor (TC) and the Gateway Corridor (G1) District. **REQUEST TO POSTPONE (LU-22-7)**

DISCUSSION AND DECISION OF THE BOARD

This item was postponed at the beginning of the meeting.

V. DESIGN REVIEW – PUBLIC HEARING

- A. The request of **Port Harbor Land LLC (Owner)**, for the property located at **2 Russell Street** and along Russell Street and Deer Street requesting Design Review for a mixed use project consisting of office, retail/commercial, and residential uses in one 4-story and two 5-story buildings. The site is located between, Russell Street, Deer Street, Maplewood Avenue and the Railroad Corridor. Said properties are located on Assessor

Map 124 Lot 12, Assessor Map 118 Lot 28, Assessor Map 119 Lot 4, and Assessor Map 125 Lot 21 and lie within the Character District 5 (CD-5). (LUPD-22-1)

SPEAKING TO THE APPLICATION

Mr. Mahanna commented that he has known the developers for a long time, but has never done business with them in the past.

Patrick Crimmins from Tighe and Bond and Bob Ulig from Halverson Studio Tighe and Bond spoke to the presentation. Mr. Crimmins commented that they were here for a preliminary design review. They are going through the Historic District Commission process now and it has been very collaborative. They met with TAC for a work session last month. The site is often referred to as the Sheraton parking lot. The site itself is 3 lots and will remain 3 lots. This proposal will require a lot line adjustment. There is also a vacant lot of land on Market St. that is part of the project. There is a proposed 4 story office building on the corner of Maplewood Ave. and Russell St. It will have improved wide sidewalks and a community space plaza area between the buildings. The length of the buildings will have an access drive to provide parking under building 2. It will also be fire access and they are looking at using that as community space as well. Further down Deer St. there will be improved wide sidewalks and a mixed-use building. There will be commercial on the first floor and 72 units on the floors above. It will be a condo building. The first story will have a parking deck and there will be a second story amenity deck to cover it. There will also be basement level parking. The front of the site will have significant upgrades. They will T off the intersection at Russell St. to improve traffic flow. They will create a large open space plaza area which creates the opportunity to put in something special there. Building 3 will also be mixed use. The first floor will be commercial and there will be 44 rental units on the floors above. There will be further improvements to the Russell St. and Green St. intersection as well. They will create community space on the vacant land on Market St. There has been discussions with Staff to see if a roundabout at Market St. and Russell St. was still desired and they indicated it was. That is part of the proposal. There is a shared parking situation at the Sheraton parking lot that exists now and that will continue. The preliminary parking calculations were included as they work through the design. The unit mix has not been determined yet. They looked at the highest parking count per unit. The total estimate is 389 spaces. There is 154 spaces in the Sheraton parking area, so they will need to provide 235 on this site. The first-floor deck will probably hold 80-100 spaces and the basement will have the rest. They will be seeking a CUP for building 2. Buildings 1 and 3 will each be 13,000 sf. Building 2 will have a 40,000 sf footprint. This is allowed in the district if it meets certain requirements and has a CUP. They need to provide a liner building to screen the parking. The parking needs to make up over 50% of the first floor, which it does. If they need additional parking, then they will look at lift systems. They are confident that they can achieve the parking requirement in this space.

Attorney John Lyons addressed one issue relating to parking. The condos across the street are known as Market Wharf 1. By warranty deed created in 1987 Market Wharf 1 has a parking easement for 58 parking spaces on the 2 Russell St. lot. The easement spaces may be temporarily relocated during construction. On the record the client agrees that all of the easement terms are fully enforceable. The application has specifically provided for the 58 spaces. At the present time the client is currently allowing unit owners to have permissive and

temporary use of the underground parking garage on the Sheraton lot. That will continue throughout the construction process. As part of the development, they will go from surface lot parking to covered garage spaces. Prior to the client purchasing the lots there were negotiations between the prior owner and Market Wharf 1 to move them across the street to the underground garage parking spaces. That agreement was never formalized in any written way. Market Wharf 1 may use this development as leverage to get them to accept the prior agreement that was never formalized. Mr. Lyons was confident the Board would not allow themselves to be enrolled in that effort. The client agrees to all terms of the warranty easement and will continue to allow permissive temporary use of the garage. That has nothing to do with the development as Market Wharf 1 would have parking across the street.

Mr. Crimmins commented that they had preliminary grading and drainage plans. They will mimic the drainage flow patterns with roof drain tie ins. They will treat the runoff with storm water treatment units. During a work session there was some discussion about outfall improvements at the North Mill Pond, so they will coordinate with DPW on the storm water design. There will be a number of easements across the site for utilities. Eversource will be doing electric upgrades for the neighborhood. The project will require a site plan review approval, lot line revision plan, CUP for shared parking on a separate lot, CUP for 40,000 sf footprint, and a CUP for use of off-site community space. The project is going through the HDC process as well, so they included some graphics to show options for the public realm improvement. It would be good to get feedback from the Board on what they would like to see in these community spaces. They are proposing a wide sidewalk around Building 1 and a plaza space between the two buildings. The access drive could be used as a community space area as well. That idea was brought up by Staff. Building 2 will have the plaza between the buildings and wide sidewalks. There will be a significant amount of public realm improvements on the right of way that can't be counted as community space. This site requires 30% community space for a 40,000-sf building. They are looking at wide sidewalks and an off site passive park community space area at the top. Another idea could be to tie in brick sidewalk improvements Building 1. The railroad tracks create an impediment for a direct connection. However, people can go from Portwalk and continue on to that neighborhood. Building 3 will have wide sidewalks. The applicant will be deeding some land on the corner to allow for road improvements. Any improvements that may be done in the area of the new roundabout will need to wait until after the roundabout is constructed.

Mr. Ulig presented design ideas for the three community spaces. The Muse common space will be between Buildings 1 and 2, the Corner community space will be on the corner of Deer St. and Russell St., and the North community space will be closer to Market St. The Muse space is long and narrow. Mr. Ulig showed a place in Boston which is a similar open space. The proposal includes wood elements and green plantings. The Boston space includes a sculptural element and that may be included here. Another similar space is the Vaughn Mall next to the Worth Lot. Mr. Ulig showed a space in Cambridge, MA that is similar in scale to the Corner community space. It would be a corner destination. It will have a continued circulation on the street scape. They could make a public space on the inside and surround it with trees. The area in front of Tuscan Market in Market Square is similar to what this space would be. The Muse space would be a continual progression beginning at the African Burial ground to there. One option would be to keep it open in the middle and buffer the edges of the buildings with plantings with a potential

for a spill out at the corner entryway. There will be additional street trees on Deer St. They will use forms to create smaller spaces in the linear space. The space will have seating and maybe sculptures. Another alternative could be to circulate people along the edges and put a tree grove in the middle. That will give more access to the building edges. There would be fixed seating elements in the middle. One option for the community park at the corner would be to create space closer to the building and put in green space along the perimeter. There will be benches in the center. They could add a sculpture for interest. Street trees and larger plantings would provide a lush environment. Another alternative could be to create a stronger tree canopy at the corner and put in a sidewalk along the streetscape. The northern park space is currently overgrown and would need to be regraded. One approach could be to keep the sidewalk along the street edge. Another could be to create a sinuous path with seating throughout. Another option would be to create a straightforward pathway along with buffer with a seating element.

The Planning Board took a 10-minute break.

Mr. Hewitt questioned if they were supposed to take attendance at the beginning of the meeting. City Council Representative Moreau commented that attendance would be reflected in the minutes.

Vice Chairman Clark commented that the Muse community space will not get a lot of sunlight. The Trillium space in Boston works well because one building is smaller in height to allow for more sun. There is also a lot of activity between the building and the public. The proposed building here would be office space. They would need to think about how to activate that building. The liner building should continue around to activate that space. They need to make sure that what's happening in the spaces are activating the community space. There is no activation with the sidewalk on the corner of Deer St. and Maplewood Ave. and they want to make sure to not repeat that. The Market Square space works because there is a café and shops right there. They need to think about how to get people into those spaces. The spaces on the far end may be more of a transient space. If that space is all bedrock, then they will need to think about how to activate it without flattening it. Sidewalks out there are already wide and Deer St. gets a lot of sun. The sidewalk doesn't need to be as wide and they should build upon other areas. It would be good to put in activation on Deer St. A pocket park is a good idea on the other side of the railroad track. Vice Chairman Clark questioned if the applicant was going to pay for the roundabout. Mr. Crimmins responded that they were not. They would be providing the level of design similar to the last project and making a contribution that will be determined in the TAC process.

Mr. Samonas commented that it was critical to have good sun in the community space. The Muse space could be very windy. They don't want to create a wind tunnel. They should consider retail and restaurant functionality on the ground floor spaces to engage the community. This would be the first impression on Maplewood Ave. on both corners. They could consider adding a local art sculpture there. They should think about how people can use these spaces year-round.

Ms. Begala commented that they received a letter from the public talking about the larger community space and asking if it could be a place for people to gather. There should be benches

so people have a chance to sit and enjoy. The Muse space is not comparable to Commercial Way. It will be in shadows 90% of the time. If they consider this an extension of the African Burial Ground, then it would be good to extend the history of Portsmouth along this. The spaces should be 4 season friendly. They should have bike racks.

Mr. Hewitt requested more details on the contribution the client would be making toward the roundabout. Mr. Crimmins responded that the process would be driven by the traffic study. TAC will look at the impact the project will place on the roadway and that percentage of impact will determine the percentage of cost sharing they will contribute. It is the typical process that they work out during TAC. Mr. Hewitt commented that they should complete a shadow study for the entire site. It would be helpful to understand how the buildings would create shadows in the whole site for all 4 seasons during the hours of 10 a.m. and 3 p.m. They should look at different building heights with the extra story and without it. Mr. Hewitt questioned if they would be working on the green space through the HDC process as well. Mr. Crimmins confirmed that they have presented it to HDC at a high level as well. Mr. Hewitt questioned if they anticipated having HDC approval by the time they came back to this Board. Mr. Crimmins responded that they hoped to have it. They are ahead in the HDC process, so they should be able to.

Mr. Mahanna commented that the northern boundary parcel has an active railway, which can be dangerous. Mr. Mahanna questioned if they looked at creating a pedestrian path over the tracks. Mr. Crimmins responded that they have not reached out to the railroad. They are not easy to deal with and their requirements probably won't work in that setting because they would need a pedestrian bridge. They could create a barrier to force the pedestrian traffic back out to Maplewood Ave.

City Council Representative Moreau agreed with Vice Chairman Clark's comments about community. The corner of Deer St. and Russell St. is concerning. That's the entrance to the condo building and it will not be an activated area if it's just an entrance. It will feel like a park for the condo. They need to make sure it's inviting to the public. The Muse will need a lot of work, but City Council Representative Moreau was not sure what the answer was for that. It also needs to be inviting for the public to enter that space. City Council Representative Moreau requested more information about the second story deck. Mr. Crimmins responded that they envisioned it to be an open deck amenity space for the condo space. They are looking at floor depths that would allow for plantings. City Council Representative Moreau commented that it was hard to conceptualize and on the railroad side. It may not be as welcoming there. Mr. Crimmins confirmed that it was important to them to make it welcoming.

Ms. Begala requested more information on the land transfer and questioned how the City was benefitting from it and if the land isn't transferred what would it become. Mr. Crimmins responded that if the land wasn't transferred, then they would not be able to complete the intersection improvements.

Mr. Harris commented that it was a very difficult intersection so that is a welcomed traffic enhancement.

Mr. Samonas commented that they should include wayfinding signs to direct people to the community spaces. They should be conscious about the direction they are pushing people to get downtown.

Vice Chairman Clark questioned if they were providing any workforce housing to achieve the bonus or if it was just community space. Mr. Crimmins responded that they were just doing the community space. Workforce housing does not really work for this site.

Chairman Chellman thanked the applicants for a nice proposal. They got good feedback on what they need to work on. Repairing the damage on Russell St. is a huge move and making a T intersection is a tremendous benefit to the City. It may be beneficial to consider moving the buildings to open the bottom area for community space and step the buildings. They could create a receiving space as people are walking from the Portwalk as opposed to creating a corridor. Breaking it up at the ground level could create seating and landscaping opportunities. Mr. Crimmins did not disagree but the land in yellow was City land. Chairman Chellman commented that it would be to the City's benefit to have that configuration. Russell St. is not a historical street. This proposal is urban repair. It's in the public's interest. Chairman Chellman questioned how they felt about the roundabout. Mr. Crimmins responded that they were indifferent to it. It must have been studied at a prior time to show it's warranted. It would be a nice gateway entry with landscaping. The traffic study will look at it as well. Chairman Chellman questioned if the Sheraton property was included in the application purely for the shared parking and roundabout. Mr. Crimmins confirmed that was correct and the land swap.

PUBLIC HEARING

Attorney Larry Gormley represented Market Wharf 1 which is a condo association of 29 property owners who have a deeded right to park on the site. They have learned more about the future parking plans tonight than they have in 2 years. It is good to hear they conceded that Market Wharf has a property right. They are currently deeded on Russell St. but were moved to the garage. They previously had a 15-page document outlining the agreement with the prior owner, but the property was sold before the agreement was finalized. It would be incumbent on good faith of the developer to inform them that they will be taken care of.

Elizabeth Bratter of 159 McDonough St. commented that she was a big proponent of environmentally friendly developments with less impervious surface. The proposal at Russell St. and Deer St. is a required fire road that will be 20 feet wide. They should consider continuing the fire road all the way to Market St. with a curbed separation. That would provide a safe route for bikers and create a safe route from Bartlett St. to the North End. There are orange crossings on Green St. over the railroad tracks. They are allowed to cross there.

Second time speakers

Attorney Larry Gormley commented that Market Wharf was an entity that has interest in the property. They deserve more information and interest. This process complicates selling condos because they can't account for the parking. They are putting this concern out there for their consideration and to make sure they are accounted for.

Elizabeth Bratter of 159 McDonough St. commented that the second view corridor should be lined up with the hill to look at old houses up there. They could attract people into that area by adding a splash park on the railroad end. Large sidewalks are a waste. They should move closer to Deer St. and add plantings along the railroads.

Chairman Chellman asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau moved to find the design review process to be complete, seconded by Vice Chairman Clark.

City Council Representative Moreau clarified for new Board members that if they voted in favor it would lock this project into the zoning as it is now.

The motion passed unanimously.

PRELIMINARY CONCEPTUAL CONSULTATION

- A. The request of **Julia R. Tiebout Revocable Trust (Owner)**, for the property located at **405 South Street** requesting Preliminary Conceptual Consultation for the subdivision of the existing parcel of 0.52 acres (22,750 square feet) into two lots. Said property is shown on Assessor Map 111 Lot 18 and is located in the General Residence A (GRA) District. (LUPD-22-4)

SPEAKING TO THE APPLICATION

John Chagnon from Ambit Engineering spoke to the presentation. The proposal is for a subdivision plan. This is a unique property because it runs long and is 70 feet wide. It has access on McNabb Court as well. The property is in a zone that requires 7,500 sf of lot area. The property in total is 22,000 sf. It is a large lot for the zoning. The plan shows subdividing the lot to split it almost in the middle. The lot on South St. would remain as is. The lot in the back would be accessed by McNabb Court. In general, the site slopes southeast to northwest. Past the garage the property drops off. McNabb Court is off Lincoln St. and has a pocket neighborhood of 4 homes. The City currently plows it. The property line ends with an existing chain-link fence. Right now, the City can't push the snow over far enough, so it impacts 2 homes on McNabb Court. They put together a concept plan to show what might be done on the lot. It meets all the criteria except for the required frontage. It has 30 feet instead of 100 feet. They will need a variance. This will be going to TAC and they are talking about the possibility of creating an access drive to give the City the opportunity to clear the street entirely. They looked at placing the house in the middle but that would not allow the snow plowing solution. Therefore, they moved it to the southeast portion of the lot. The low spot would be open space and would help assist with storm water runoff.

Chairman Chellman requested a motion to go past 10 p.m.

City Council Representative Moreau moved to continue past 10 p.m., seconded by Vice Chairman Clark. The motion passed unanimously.

Mr. Hewitt commented that he walked out there the other weekend and talked to someone on Lincoln St. It is a unique lot and slopes from the south to Lincoln St. The abutter he spoke with was concerned about the drainage and the additional impervious this would create. They need to look carefully at that whole system. Mr. Chagnon agreed. They have done some test pits. They will try to infiltrate the roof runoff from the structure. Some of the other lots do drain onto this lot. This will not want to cause a problem.

Ms. Begala commented that the proposed house will be 1,500 sf and questioned if that was consistent with the size of other houses in the neighborhood. Mr. Chagnon responded that it was consistent with the size of the house that's currently on the property. It's a little bit bigger than homes on McNabb Court. They are limited by the coverage requirements there. The builder has recently done some work in the neighborhood and the packet includes architecture plans. It will be a well-done custom house with quality building.

Chairman Chellman questioned if they were proposing to violate the setback on the back. Mr. Chagnon confirmed that they would be asking for relief for that setback requirement. The body of the house and garage bumps back to provide space for a proposed easement for plowing access for the City. It is a small area that would be the subject of a variance for the garage. Chairman Chellman questioned if the City would plow snow in front of the garage. Mr. Chagnon responded that they could plow it off to the side. They will work it out with TAC. Chairman Chellman noted that the garage may be able to slide a couple feet, but they can figure it out with the ZBA.

Chairman Chellman closed the presentation.

- B. The request of **230 Commerce Way LLC**, for the property located at **230 Commerce Way** requesting Preliminary Conceptual Consultation for the construction of a new 2-story structure with 12,000 square feet of office space and veterinary clinic. Said property is shown on Assessor Map 216 Lot 1-5 and located within the Office Research (OR) District.

SPEAKING TO THE APPLICATION

Neil Hanson from Tighe and Bond spoke to the presentation. The project would add second primary structure to the lot. The proposed project will need a site plan review permit and special exception from the ZBA for a veterinary use. They will be heard next week at the Zoning Board. The existing site has an office building on Commerce Way. Behind it is a large surface parking lot with portions in the buffer. There is about 3,000 sf in the buffer, and they will need a CUP for the buffer impact. They have met with the Conservation Commission and TAC for work sessions. Currently storm water runoff sheet flows off the surface lot into the wetland. The proposed site plan is for a 2-story office building. The first floor will be a veterinary office and the second floor will be general office. They will be reconfiguring the parking in the area and

pulling most the existing pavement out of the buffer. There would also be buffer restoration. They are proposing to add a new driveway out to Portsmouth Blvd. This would allow direct access from the rear of the lot. It will require a waiver from the Planning Board to have more than one driveway on a lot. Today there is no storm water treatment. This plan would capture, detain, and treat the storm water runoff before discharging it to the wetlands. The ledge is shallow on the lot, so a rain garden won't be possible. The utilities will connect on Portsmouth Blvd. They are working with DPW on the water main connections.

City Council Representative Moreau commented that they could move the building over to get it out of the buffer. Mr. Hanson responded that could be a possibility. The developer did not have the updated survey originally. When they get to the detailed design work they will work to minimize or completely remove the pavement from the buffer.

Mr. Hewitt questioned if they would be removing sections from the landscaped median on Portsmouth Blvd. to allow access. Mr. Hanson confirmed that was correct. Mr. Hewitt commented that the proposed drive was through a treed area. Portsmouth is fixated on creating safer streets. Fewer access points mean safer streets. They will need justify that this access is really needed.

Ms. Begala commented that they should include landscaping in the parking lot. Mr. Hanson responded that the landscape plan will be included in the future submission. There will most likely be trees and plantings in the islands in the parking lot.

Vice Chairman Clark questioned if the storm water improvements were only in the required parking spaces. Mr. Hanson confirmed it would be for the rear half of the lot. The high point of the lot was in the middle so they will naturally capture most of it.

Chairman Chellman closed the presentation.

VII. PUBLIC HEARING - CITY COUNCIL REFERRALS

- A. Application of **Randi Collins (Owner)**, for the restoration of involuntarily merged lots at **77 Meredith Way** to their pre-merger status pursuant to NH RSA 674:39-aa. Said property is shown on Assessor Map 162 Lot 16 and lies within the General Residence A (GRA) district. (RIML-21-5)

SPEAKING TO THE APPLICATION

Attorney Monica Kaiser commented that she represented Randi and Jeff Collins. They have resided in Portsmouth for the last decade. Originally, they resided next to this site. They purchased the neighboring lot and downsized. It's in need of significant renovation. They are looking at building another house in its stead. That led to seeking an unmerger. Originally there were three lots, 55-57. This took a lot of deed research, but they did find early deeds that referenced multiple lots. In 1862 and 1865. Ms. Kaiser provided a map from 1876 that showed the subdivided neighborhood. After that it gets a little fuzzy. In 1919 the house went to one owner and stayed in that family for a long time. The name changed in 1972 and it became a

rental until the 1980s. The lots were identified separately on the 1856 plan and some of the deeds thereafter. The conduct has been to develop lot 57 and leave 56 and 55 vacant. The tax cards flip flop a bit. One tax card only lists part of the property and the other lists the whole property. Then after that the tax card lists one lot. The tax maps were a similar split and then it ends up as one lot. That is the lay of the land. Ms. Kaiser noted that their position was that it is the City's obligation to show a voluntary merger happened by conduct. The deed description is one factor in consideration, but not the only factor considered. They need to look at how it was developed and if the owner did any design or construction to occupy one lot. The original house was constructed to occupy just one of the three lots. The only other development on the lot was some landscaping. It is currently just the house and shed on the original lot 57. The current tax map shows a number of the smaller original lots still in existence today.

Mr. Hewitt questioned if the three lots were ever described with meets and bounds and recorded at the registry. Ms. Kaiser responded that they don't find a lot of meets and bounds in old deeds. The lots are shown in the early deeds in 1862 and 1865. They are also included in an undivided land called land on Christian Shore, which shows lots numbered 51-58. Those lots are identified individually and refer to the 1856 plan. Mr. Hewitt questioned if all descriptions referenced a plan. Ms. Kaiser responded that not all of them did. The deed chain stops in the middle. There may have been a time when it was in probate. After that the lot was conveyed 150 sf by 150 sf. That is the issue with the description. That's what the City Assessor is focusing on. Ms. Kaiser's position was that was only one piece of the puzzle.

Chairman Chellman commented that it looked like they were describing a singular parcel piece of land from 1878 on. Ms. Kaiser responded that they understood the issue with that was unclear. Some of those may have been family transfers or transfers from probate. It is a weakness. However, they do not carry the burden of persuasion. The City does. If there were a 10-lot subdivision and it was conveyed to the Board it may be described as a whole area not by lot. The Board should look beyond the deed description. The law is considers other factors as well. Chairman Chellman questioned if they found any monuments on the lots. Ms. Kaiser was not sure.

City Council Representative Moreau commented that the biggest issue is that the prior owner considered it one lot and bought it that way. It was clear that was her position and the deed description for a long time has seen it as one lot. Ms. Kaiser responded that they haven't been too many cases where the court has had to look at the subjective belief of the owner. They look at if the owner put a shed or pool on the other lot or expanded the house to violate setbacks etc. They have yet to look at the subjective opinion of a prior owner. The prior owner had the opportunity to subdivide the property herself and almost did it, but ultimately did not. They did not change the description in the deed conveyed. There were not any new declarations from her in terms of what was given to Mr. and Mrs. Collins. By the time Ms. Dufour got the property the City was already treating it like one lot. The City had already involuntarily merged it. The question is if it was requested to be one lot or was it involuntarily merged. The City has to prove that it was voluntarily merged. The City listed it as 2 lots in the 1920s. The intention is to make it two lots not three. City Council Representative Moreau commented that they should subdivide the lot instead of trying to turn it into 3 lots. Ms. Kaiser responded that they did not have to request to go back to 3 lots. City Council Representative Moreau responded that they had go

back to the original conditions, which would be 3 lots. Ms. Kaiser commented that the request was to unmerge lot 57 and they can file to merge the other 2 lots. They are not obligated to build 3 lots. They can take one out and keep the other 2 lots together.

Chairman Chellman requested clarification on whether or not the prior owner tried to subdivide the lot. Ms. Kaiser responded that she had it under contract with someone who sought to do that.

City Assessor Rosann Maurice-Lentz commented that in decision noted by Attorney Kaiser the Supreme Court made clear that neither the legal description describing one lot nor the owner's acceptance of a taxation of a single parcel supports a finding of a voluntary merger. In the decision those properties were listed as multiple lots in the deeds along with a combined meets and bounds description. These deeds do list multiple lots regardless of having one meets and bounds description. The description of the lot does not constitute a merger if it is listing multiple lots. The deeds go back to 1878 and describes one parcel with no reference to multiple lots in the meets and bounds. The deeds prior 1878 describe 16 lots. Some time after 1865 the lots were transferred and were described as single parcels without reference to multiple lots. Attorney Kaiser states that the property reflects another merger in 1992. It describes 7,500 sf of primary site and 15,287 sf of a secondary site. That does not mean the assessor merged the lot. It means they reviewed the property and the deed and an assessment was made. They recognized the additional land and assessed it at 10% value and listed as surplus land that was not buildable. The 1994 deed does not show a merger. It just shows that the valuation methodology changed that year from a manual process to a computerized process. That changed how it was valued. Two sites were listed as one site because of a valuation methodology change. The Collins' request indicates that the tax maps show the City treated the parcel as separate lots. The only indication that they were treated as separate lots was between 1951 and 1971 when the parcel plan 89 showed lot 45 was assessed as a 100 sf by 150 sf lot, which included the dwelling. There were no additional records for lot 46 on file. Tax records indicate that the lot was treated as a single parcel. 77 Meredith Way was assumed to be sold as a single lot. One would have to research records back to the 1800s to see three lots. Ms. Dufour regarded her lot as a single lot. They went for a subdivision as a single lot and sold it as a single lot. This should not be unmerged.

PUBLIC HEARING

Kendra Forden commented that she submitted a letter for the last hearing objecting to the land being subdivided into 3 lots. Ms. Forden wrote the letter when the wooded area was being clear cut. She was told the cutting was because the trees unhealthy. If that's the case, then that makes sense. The plan for this has changed several times since the neighbors were initially informed. They want the land and surrounding neighborhood to accommodate the plan. This won't suit the neighborhood. The owners have said if they can't subdivide, then they will build a large multi family. None of the plans are good. The drainage will be impacted by additional impervious surface.

Second time speakers

Attorney Monica Kaiser commented that the Collins' would like to put two structures two lots. This lot can support a duplex structure, but they thought it would look nicer to have two separate small homes. Attorney Kaiser and the City Assessor have a difference of opinion on the lead case.

Chairman Chellman asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau requested to ask City Attorney Sullivan a question. City Attorney Sullivan noted that he had not studied the factual background of the case. The City's opinion will not be determined until the City Council votes. When they make a decision, it will be the duty of the City's Legal Department to advance that decision should any litigation occur. City Council Representative Moreau questioned if the unmerger had to go back to its original conditions or if they could just take one out. City Attorney Sullivan responded that it is in the statute that it needs to go back to original conditions.

City Council Representative Moreau moved to recommend denial of lot unmerging to the City Council, seconded by Vice Chairman Clark.

City Council Representative Moreau commented that she had seen a lot of these cases for a lot of years. In every case they have been looking at current deeds that list actual lots and the plans it refers too. It will be better to do a simple subdivision. It will be cleaner for the chain of title and the City's Tax Office. There are a lot of gaps in the ownership and listed lots for this. City Council Representative Moreau did not feel comfortable unmerging the lots.

Vice Chairman Clark agreed. Also, the application they just had before the Board is the way to go with this lot. A lot of the abutter issues can be addressed when they do a subdivision. Cleaner way to go. It is cleaner to subdivide.

The motion passed unanimously.

VIII. OTHER BUSINESS

- A. Request of 238 Deer Street LLC (Owner), for the property located at 238 Deer Street for a 1-year extension of the Conditional Use Permit approval granted on February 18, 2021. (LU-20-238)**

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau moved to grant a 1-year extension of the Conditional Use Permit granted on February 18, 2021, seconded by Vice Chairman Clark. The motion passed unanimously.

- B.** Request of **Robert Gigliotti (Owner)**, for the property located at **292 Lang Road** for a 1-Year extension of the Wetland Conditional Use Permit approval granted on February 18, 2021. (LU-20-215)

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau moved to grant a 1-year extension of the Conditional Use Permit granted on February 18, 2021, seconded by Vice Chairman Clark. The motion passed unanimously.

IX. Other Business

Ms. Begala commented that she would like to make a motion because there were new Planning Board members. It would be good to understand the history and context in which they were reviewing developments. One of the Planning Board's roles is growth management and making sure they are reviewing things in the big picture and ensure they were meeting the needs of the community. Citizens have expressed concern on the rate of growth and size of developments happening in Portsmouth and how that's impacting the character of the City. It would be helpful to have a recent inventory of the mix of residential, commercial, hotel and affordable units that have been approved and built in recent years. The Board needs to know if they are meeting the State's standards and if they are meeting the fair share of affordable housing.

Ms. Begala moved to have Planning Staff prepare an inventory of approved and built or in the pipeline to be built single family residences, multi-family condos, affordable units, hotel rooms and number and types of variances, exceptions, CUPs in the last 10 years, seconded by Mr. Hewitt.

Ms. Begala commented that it would be helpful to have the bigger context. The rate of growth is large in Portsmouth and they are changing the cityscape. Everybody knows we need more housing. It would be helpful to understand to what extent and what type of housing was needed. It would be good to understand if the City is meeting that. Ms. Begala commented that she did not mean to burden Staff, but it was a good place to start.

City Council Representative Moreau commented that the Portsmouth Housing Authority is currently doing a housing assessment for the City of Portsmouth. Some of the information from that will be helpful. Also, the Rockingham Planning Commission is doing a housing assessment for the entire state. They will get information on the housing stock and see which towns have affordable housing and which don't. Some of that data will be coming in the next year because there has been a State push. The entire country is experiencing a housing crisis. City Council Representative Moreau was not against getting this information, but they need to look at it in a grander scheme of actual data from more than just Portsmouth.

Mr. Harris commented that he understood City Council Representative Moreau's concern but liked Ms. Begala's request. There has been a lot of new housing units and hotels built in the last

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10 years. It would be good to understand the occupancy of the apartments and hotels. It's important to understand when they are building too much.

Mr. Samonas agreed that this was a larger conversation. They need a direction for the motion before sending Planning Staff on an information gathering mission. They need an overarching goal of what they want to achieve. Mr. Samonas commented that he received some housing data monthly as part of his job and he could share it with the Board.

City Manager Conard commented that they have provided some of this information to the previous Council, and they can share it to the Planning Board as well. However, the Planning Board is not a policy making Board. It is a regulatory Board. Staff can provide the information but there are other bodies like City Council that sets policy.

Ms. Begala commented that the City just recently formed a land use committee and it would be good to understand the mission, goals, members of the Committee and what their relationship with the Planning Board would be. Ms. Begala noted that she learned in her training that the Planning Board is an active and passive Board. They are here to review plans, but they are missing their roles as an active Board. It would be good to look at the Master Plan and the rate of variances and CUPs they were granting. It would be good to understand why. If it is too frequent, then they should look at the Zoning Ordinance and recommend revisions to the City Council.

Chairman Chellman commented that they may need a workshop meeting to discuss this in detail. Some of what the Board does effects policy decisions to the Council. Growth management can start with this Board.

Ms. Zendt commented that the Board was interested in a lot of initiative. They can bring some of the information that was requested to the Board. Bringing the entire exhaustive list could take months. Ms. Zendt was working on understanding where the Staff's capacity was. The Planning Department supports multiple Boards and Committees. They recognize that the Planning Board has larger initiatives and policy work. They can work on developing a work plan that is more comprehensive. Some of the requested data is already out there. There's a larger work plan in question here.

Chairman Chellman questioned if they could amend the motion to have the Planning Director come back in a month with a work plan looking to help start the process of gathering information. Ms. Begala and Mr. Hewitt agreed to the amended motion.

The amended motion passed unanimously.

City Council Representative Moreau commented that on February 7, 2022, the City Council created a Land Use Committee whose purpose will be to review all current zoning policy surrounding housing and development to encourage sustainable diverse and affordable housing including expanding transportation. They will report back to Council with information, which will go to the Planning Board as well for input. The Committee will consist of City Council Representative Moreau, Councilor Blalock, Assistant Mayor Kelley, Chairman Chellman, Vice

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Chairman Clark, Planning Director Zendt, Mr. Cracknell, the Director of the PHA and a representative from the Economic Development Commission. The Committee will give them a chance to take a structured look at immediate changes and look at all city property to expand on affordable housing.

X. ADJOURNMENT

City Council Representative Moreau moved to adjourn the meeting at 11:45 p.m., seconded by Vice Chairman Clark. The motion passed unanimously.

Respectfully submitted,

Becky Frey,
Secretary for the Planning Board



City of Portsmouth
Planning Department
1 Junkins Ave, 3rd Floor
Portsmouth, NH
(603)610-7216

Memorandum

To: Planning Board
From: Beverly Mesa-Zendt, Incoming Planning Director
Peter Britz, Environmental Planner/Sustainability Coordinator/Interim Planning Director
Stefanie L. Casella, Planner
Date: February 11, 2022– Revised February 15, 2022
Re: Recommendations for the February 17, 2022 Planning Board Meeting

I. APPROVAL OF MINUTES

II. DETERMINATIONS OF COMPLETENESS

SITE PLAN REVIEW

- A. Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval.
- B. The request of **Monarch Village, LLC (Applicant)**, on behalf of **Neveesha Hospitality, LLC (Owner)**, for property located at **3548 Lafayette Road** requesting Site plan approval. (*PP from Jan*)
- ~~C. The rehearing request for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** for a Conditional Use Permit as permitted by Section 10.1112.62 of the Zoning Ordinance and Site Plan Review.~~

Planning Department Recommendation

Vote to determine that this applications is complete according to the Site Plan Review Regulations, (contingent on the granting of any required waivers under Section III and IV of the agenda) and to accept the applications for consideration.

III. PUBLIC HEARINGS -- OLD BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

It is recommended that Item IVA and IVB be discussed together and voted on separately.

A motion is required to consider these items together.

- A. Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting a Wetland Conditional Use Permit under section 10.1017 to construct 50 town homes on an undeveloped lot. The (Applicant) is proposing five areas of wetland impact for a total of 21,350 square feet of permanent impact and three areas of temporary impact for a total of 2,350 square feet. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. (LU-21-98)
- B. Request of **Ricci Construction Company Inc., (Owner)** and **Green & Company Building & Development Corp., (Applicant)** for property located at **3400 Lafayette Rd** requesting Conditional Use Permit for a Development Site in accordance with Section 10.5B40 of the Zoning Ordinance and Site Plan Review approval for construction of a 50-unit multi-family residential development that includes community space and related landscaping, drainage, paving, utilities and other site improvements. Said property is shown on Assessor Map 297 Lot 11 and lies within the Gateway Neighborhood Mixed Use Corridor (G1) District and the Natural Resource Protection (NRP) District. (LU-21-98)

Project Description:

This application has been before the Technical Advisory Committee, the Conservation Commission, and the Zoning Board of Adjustment. Please see below for more information on the review from each.

Review of Wetland Conditional Use Permit

The majority of the proposed development falls outside of the wetland buffer however there is stormwater treatment area and site drainage and sewer line construction proposed to go into the wetland and wetland buffer area.

1. *The land is reasonably suited to the use activity or alteration.* Given this area is intended to be a highly functioning wetland system it is critical that the stormwater treatment does not introduce contaminants. The applicant has stated their willingness to avoid the use of salt to treat the driving areas in this

development. Additionally, the area to the rear of the site shows a sewer line through a prime wetland and prime wetland buffer. This impact is described as temporary. There is no detail on how that construction will take place. More information is needed to understand how these impacts will be only temporary and how the construction will be protective of the existing prime wetland system.

2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.* The applicant has designed a dense residential development on this site which could have longterm impact to the wetland area adjacent to it. The applicant has stated their willingness to reduce stormwater impacts by not using salt in the snow removal process. More information is needed as to how the impacts through the wetland at the rear of the site is being undertaken. If the sewer line were routed from Lafayette Road in front of the development there would be a substantial reduction in impacts.
3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.* The applicant has stated they will stipulate that snow removal will not include the use of salt. This needs to be documented in a way that can be enforced in the long term. The applicant has moved the trail closer to the development and has provided a fence to reduce impacts to the wetland buffer in this trail area. In addition they have provided a dog park which will reduce the impact of dog waste in the buffer.
4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.* The area proposed for development is currently being used as a wood processing area therefore a portion of the natural vegetation has been impacted. The introduction of 50 housing units in this area will require removal of all the natural vegetation outside of the buffer and some of the vegetation in the buffer at least as a temporary impact. The applicant does have a fairly robust planting plan to restore the current wetland buffer.
5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.* If the sewer line were not routed to the rear of the site that would be a less impacting alternative. Additionally, to reduce impacts to the wetland the removal of snow should be done without the use of sodium chloride.
6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.* The applicant is proposing an extensive planting plan for the buffer impacts at the front of the site. The only restoration shown on the proposed sewer line to the rear of the site is planting of a New England wetland

seed mix. There should be more thought put into how the direct impact to the prime wetlands will be restored after the sewer is installed through that area.

Conservation Commission Decision:

The Commission reviewed this application at the August 11, 2021 meeting and voted to recommend approval with stipulations. It should be noted that the vote to recommend approval was not unanimous, with three members voting to approve and two opposed.

1. The applicant will plant trees and other tall vegetation in the wetland buffer across from units 20-24 at the end of the proposed development to protect the wetland from light spillover.
2. The applicant shall follow NOFA standards for the landscaping on the site.
3. The Condominium docs should include maintenance for the landscaping and plants proposed for the wetland buffer
4. The applicant shall provide signage for the wetland buffer designating its location and requiring all dogs be leashed.
5. The applicant shall provide a three bar split rail fence at the wetland side of the proposed trail behind the buildings in the wetland buffer.
6. The applicant shall have the snow removal company staff attend the Green Snow Pro Trainings.
7. The applicant shall include language in the condominium docs prohibiting the use of salt.
8. Drainage plan TR1 shall be corrected to accurately depict the contributing area for stormwater.

On August 25, 2021 the applicant submitted updated plans addressing items 1, 4-6, and 8 to the satisfaction of the Planning Department staff. The remaining items have been included as stipulations below.

Conditional Use Permit Approval for Development Site

Per Section 10.5B43.10, prior to granting a conditional use permit for development sites in the Gateway Neighborhood Mixed Use Districts, the Planning Board shall make the following findings.

- 1) The development project is consistent with the Portsmouth Master Plan.
- 2) The development project has been designed to allow uses that are appropriate for its context and consistent with City's planning goals and objectives for the area.
- 3) The project includes measures to mitigate or eliminate anticipated impacts on traffic safety and circulation, demand on municipal services, stormwater runoff, natural resources, and adjacent neighborhood character.
- 4) The project is consistent with the purpose and intent set forth in Section 10.5B11.

Technical Advisory Committee Review of Conditional Use Permit and Site Plan

At the August 3, 2021 meeting, the TAC voted to recommend approval with the following conditions:

1. Applicant will update community space area terminology to be consistent with Ordinance terminology.
2. Trailhead connections and wayfinding signs will be included for residents on the eastern side of the development to access the recreational trails.
3. Deeded public access will be provided to the proposed open space and undeveloped portion of the property that abuts city-owned parcels.
4. Water main sizes will be labeled.
5. Applicant will provide written statement that demonstrates conformance with Article 7 of the City's Site Plan Review regulations.
6. Applicant will hire a 3rd party company to identify areas of ground water infiltration that can be eliminated from the local municipal sewer collection system. After agreement from the City on the targeted areas, the developer will need to permit and construct via whatever means are approved (repair/replace/reline) areas of the sewer successfully in order to create capacity for this development in the sewer system. The amount of infiltration to be removed must be a value equal or greater to two times the amount of waste predicted from the development.
7. Applicant will hire a third party to inspect all utilities and stormwater systems.
8. Applicant will provide a fire hydrant flow rate plan that shows acceptable pressure as determined by city DPW and Fire Department.

On August 25, 2021 the applicant submitted updated plans addressing items 1, 2, and 4.

For item 6, the applicant has worked closely with the Department of Public Works (DPW) to resolve the issue of infiltration. A letter from DPW will be issued when a solution has been identified.

For item 8, the applicant completed a fire hydrant flow rate test and determined that the project is in need of a booster pump. The applicant's water system designer, Weston & Sampson, has met with DPW and generally agreed on a design. As a formal plan has not been submitted for DPW review, this is identified as a recommended stipulation of approval by Staff.

For item 3, staff feels that more discussion is needed with the Planning Board to determine how the deeded public access (to the proposed open space) should be provided.

Planning Department staff have noted that the applicant is required by the Zoning (Section 10.5B92) to provide an 8' wide pedestrian walkway throughout the lot that connects to adjacent streets, access ways, sidewalks, and off-street parking areas to the entrances of all principal buildings. In reviewing these plans, the applicant has integrated pedestrian walkways and crosswalks throughout the proposed development area to include a greenway trail that is accessible from Lafayette via the proposed pedestrian connections. This section of code presumes a mixed-use site, typically permitted in the Gateway Neighborhood Mixed Use District, where multiple users including residents, shoppers, and pedestrians will bring a sustained level of activity throughout the day to the site. Instead, the proposed use is limited to residential uses which are reasonably supported by the proposed pedestrian walkways, crosswalks, and pathways.

The remaining items have been carried forward as recommended stipulations of approval.

Planning Department Recommendations

- 1) *Vote to request that the applicant revise the plans to comply with the requirements of Section 10.5B92 related to the provision of an 8' wide pedestrian walkway throughout the site.*

[NOTE: if the Board does not act on or does not approve the above recommended action, then the following votes are recommended for approval of the application as presented]

- 1) *Vote to approve the wetland conditional use permit with the following stipulations:*
 - 1.1) *The Condominium documents shall include maintenance for the landscaping and plants proposed for the wetland buffer area and also a requirement that the property owners shall utilize NOFA (Northeast Organic Farming Association) approved practices (or comparable equivalent) for landscaped areas on the site.*
 - 1.2) *The condominium documents shall prohibit the use of salt on paved surfaces.*
- 2) *Vote to find that the application meets the requirements of Section 10.5B43.10 and to grant a conditional use permit for a Development Site subject to the requirements and conditions of site plan review approval.*

10.5B43.10 *Conditional Use Permit Criteria: Prior to granting a conditional use permit for development sites in the Gateway Neighborhood Mixed Use Districts*

according to the requirements of this Article, the Planning Board shall make the following findings.

- a) The development project is consistent with the Portsmouth Master Plan.*
- b) The development project has been designed to allow uses that are appropriate for its context and consistent with City's planning goals and objectives for the area.*
- c) The project includes measures to mitigate or eliminate anticipated impacts on traffic safety and circulation, demand on municipal services, stormwater runoff, natural resources, and adjacent neighborhood character.*
- d) The project is consistent with the purpose and intent set forth in Section 10.5B11.*

3) *Vote to grant site plan review approval with the following stipulations:*

Conditions Precedent

3.1) Deeded public access will be provided to the proposed open space and undeveloped portion of the property that abuts city-owned parcels.

[NOTE: staff feels that more discussion is required with the Planning Board to determine the scope of the public access to the site and any proposed limitations on use]

3.2) Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.

3.3) The applicant shall deposit \$155,000 to the City of Portsmouth prior to approval of the Site Plan Agreement for the purpose of infiltration and inflow removal.

3.4) The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the installation of utilities and stormwater infrastructure.

3.5) The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.

3.6) The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.

3.7) Applicant to provide a design report on the water booster system summarizing water system supply, pressures and operation for potable water, irrigation, and fire suppression to the satisfaction of the Fire Department and Department of Public Works.

Conditions Subsequent:

3.7) The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;

3.8) A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.

IV. PUBLIC HEARINGS -- OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- C. The request of **Monarch Village, LLC (Applicant)**, on behalf of **Neveesha Hospitality, LLC (Owner)**, for property located at **3548 Lafayette Road** requesting Site Plan Review and a Conditional Use Permit as permitted under 10.5B41.10 of the Zoning Ordinance to allow for the demolition of 6 structures; the redevelopment of 6 existing structures to create 6 units in building 8, 15 units in building 2, 5 units in building 4, 2 units in building 5, 9 units in building 7; the construction of 4 new structures to create 12 units in building 3 with a 4,303 square foot footprint, 24 units in building 6 with a 7,048 square foot footprint, a 250 square foot storage structure and an 825 square foot storage structure; creating a total of seventy-five (75) residential units with 123 parking spaces where 113 spaces are required. Said property is shown on Assessor Map 297 Lot 6 and lies within the Gateway Corridor (G1) District. (LU-21-90)

Project Description:

This application has been before the Technical Advisory Committee and the Zoning Board of Adjustment. Please see below for more information on the review from each.

Zoning Board of Adjustment Review and Decision

At the June 15, 2021 Zoning Board of Adjustment meeting the Board voted to grant the following Variances as presented:

1. A Variance from Section 10.5B53.10 to allow new buildings to be constructed on a lot with existing non-conforming buildings, to be outside of the minimum and maximum front building setback if the 50% front lot line buildout has not been met.
2. A Variance from Section 10.5B22.40 to allow buildings to be constructed outside of the special setback from Lafayette Road which requires a 70' minimum and 90' maximum setback from the centerline of Lafayette Road.

Technical Advisory Committee Review of the Site Plan

At the December 7, 2021 Technical Advisory Committee meeting, the committee voted to recommend approval to the Planning Board with the following stipulations:

1. That the applicant use only Sno-pro certified contractors to conduct snow removal on the property.
2. Hydrant location reviewed by DPW.

3. Provide easement or rationale for prescriptive easement to the Legal department for drainage and electrical service coming from the abutting property.
4. Show a note on the site plan that the area proposed for cleanup in the wetland exclude heavy equipment and earth disturbance.
5. Plan showing revised community space areas including design details for an enclosed dog park, playground and/or other active recreation (e.g. half-court basketball or a pickleball courts).
6. Remove 8 parking spaces along the proposed community space adjacent building #7.
7. Update utility plan showing fire service to each building on the site.
8. Provide colored shutoff's for both domestic and fire water supply valves.
9. The sewer laterals for building 6 and 7 are revised so as to not conflict with the water mains.
10. The new sewer is to enter manhole 5158 at least a few inches above the main sewer run.
11. Sewer mains are installed about 1 foot above sewer on a constant grade.
12. Provide a hydraulic Ripley Dam on the proposed sewer main at Station 3+00.
13. A yard drain detail is added to the plan set.
14. The 12' FES from the CPP leaving outlet structure 1 should be at least elev. 49.00.
15. The 4" proposed water will have a tapping saddle and valve.
16. The water shut off heads for the buildings will be permanently painted blue if domestic and red if for fire service.
17. Add a note to plan that building 8 is to provide shot off valves on both the incoming and outgoing mains to facilitate meter changing. 4" backflow device and bypass metering required. Portsmouth DPW to review plans prior to construction.
18. Applicant will hire a 3rd party company to identify areas of groundwater infiltration and create capacity within the sewer system for this project. The City must agree on the targeted areas and the applicant will construct the system to create capacity. The amount of infiltration to be removed must be a value equal or greater to two times the amount of waste predicted from the development.
19. A second fire hydrant will be installed at the beginning of the water main near Lafayette Road.

Applicant has worked with DPW and Planning staff to update plans according to the above stipulations. All outstanding stipulations have been brought forward and are listed as recommended Planning Board Stipulations of approval.

Conditional Use Permit Review

The applicant has requested a Conditional Use Permit under section 10.5B32.20 of the [Zoning Ordinance](#) which provides the following:

Number of Buildings: No more than one principal building type is allowed on a lot except where otherwise specified in Section 10.5B40.

Section 10.5B40 of the [Zoning Ordinance](#) allows a single development site to provide more than one principal building or building type with the approval of a Conditional Use Permit in the Gateway Neighborhood Mixed Use District.

10.5B43.10 Conditional Use Permit Criteria: Prior to granting a conditional use permit for development sites in the Gateway Neighborhood Mixed Use Districts according to the requirements of this Article, the Planning Board shall make the following findings. The applicant has provided the following analysis

1. The development project is consistent with the Portsmouth Master Plan.
Applicant Response: *The project proposes the redevelopment of the site into 75 new housing units, identified as a top priority in the Master Plan. Location of the project site on Lafayette Road at the edge of the City lends itself to more affordable housing than is found in the downtown core. This reinvestment in underutilized buildings and land is in direct conformity with Plan.*
2. The development project has been designed to allow uses that are appropriate for its context and consistent with City's planning goals and objectives for the area.
Applicant Response: *According to the Master Plan, the redevelopment of the gateway areas was overwhelmingly identified by residents as the preferred strategy to increase housing stock. The abutting lots to the north are also currently or proposed for residential uses such as this. Therefore, the project is appropriate for the site and not out of context with the surrounding area.*
3. The project includes measures to mitigate or eliminate anticipated impacts on traffic safety and circulation, demand on municipal services, stormwater runoff, natural resources, and adjacent neighborhood character.
Applicant Response: *Given that the project is the redevelopment of an existing motel and restaurant, the impact to these elements is relatively minimal. However, the design does implement several measures to mitigate its modest impacts. These include a pedestrian-friendly layout with a roadway designed for slow vehicular speeds, payment of a fee to the City to improve sewer services in the area, pre-treatment and infiltration of the entirety of the site runoff, preservation of a buffer to an offsite wetland, and complete rehabilitation of the majority of the site's existing buildings. This redevelopment will be an improvement over the existing condition of the neighborhood.*
4. The project is consistent with the purpose and intent set forth in Section 10.5B11.
Applicant Response: *The site plan includes various amenities including a dog park, patio area, bocce court, open lawn, woodland and a short walking trail that connects to other offsite trails to the west of the site. Bike racks are provided at several locations and the project will construct a multi-use path along its Route 1*

frontage. These features promote both active and passive recreation. Parking has also been reduced to the absolute minimum required by the zoning ordinance. Desirable studio and one-bedroom units comprise 44% of the unit mix, more than twice the City average. Complemented with a variety of two- and three bedroom units, the plan provides for a range of housing types and is well-suited to the demographic trends of the City.

Planning Department Recommendations

1) Vote to find that the application meets the requirements of Section 10.5B43.10 and to grant a conditional use permit for a Development Site subject to the requirements and conditions of site plan review approval.

10.5B43.10 Conditional Use Permit Criteria: *Prior to granting a conditional use permit for development sites in the Gateway Neighborhood Mixed Use Districts according to the requirements of this Article, the Planning Board shall make the following findings.*

- 1) *The development project is consistent with the Portsmouth Master Plan.*
- 2) *The development project has been designed to allow uses that are appropriate for its context and consistent with City's planning goals and objectives for the area.*
- 3) *The project includes measures to mitigate or eliminate anticipated impacts on traffic safety and circulation, demand on municipal services, stormwater runoff, natural resources, and adjacent neighborhood character.*
- 4) *The project is consistent with the purpose and intent set forth in Section 10.5B11.*

Site Plan Approval

2) Vote to grant Site Plan Approval with the following stipulations:

Conditions Precedent (to be completed prior to the issuance of a building permit):

- 2.1 Remove one additional space from parking area between Building 7 and Building 8 to total 11 spaces and update parking calculations found in note #8.
- 2.2 Include design detail for dog-park subject to review by Planning Staff.
- 2.3 DPW – (Item 18) The applicant shall provide \$22,733 to the City of Portsmouth prior to approval of the Site Review Agreement for the purpose of the infiltration and inflow removal project. The costs will be used for engineering and construction of the Sewer System Rehabilitation Contract 1 project being overseen by the City. This work is anticipated to be complete by October 2023.
- 2.4 Page C4 note 15, polyethylene wrap needs to be soil tight not water tight and is only needed around ductile iron pipe. If the contractor is going to use c900 water pipe, tracing wires must be provided that meet the water department requirements.
- 2.5 DPW (Item 12) Add to the profile near the Ripley Dam that 'the City MUST inspect the dam as it's being installed'. Dam should be moved to station 0+60 now that drainage design has changed.
- 2.6 DPW (2 and 19) Add thrust block at horizontal 90 degree bend at hydrant. Hydrant location is fine with DPW, needs to be approved by Portsmouth Fire.

- 2.7 The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 2.8 Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 2.9 The applicant shall prepare a Construction Management and Mitigation Plan (CMMP) for review and approval by the City's Legal and Planning Departments.
- 2.10 The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights-of-way and on site
- 2.11 Owner shall provide an access easement to the City for water valve access and leak detection. The easement shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.
- 2.12 The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.

Conditions Subsequent

- 2.13 The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;
- 2.14 A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.

IV. PUBLIC HEARINGS -- OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

It is recommended that Item IVD and IVE be discussed together and voted on separately.

A motion is required to consider these items together.

- D. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** for a Conditional Use Permit as permitted by Section 10.1112.62 of the Zoning Ordinance and according to the requirements of Section 10.1112.14 to allow 113 off-street parking spaces including 18 reserved spaces to be provided on-site and 25 spaces to be provided on a separate lot where a total of 138 are required and Site Plan Review approval for the demolition of three existing buildings and construction of the following: 1) a 5-story mixed use building with 66,676 gross floor area and 16,629 sq. ft. building footprint including 7,720 sq. ft. of commercial use on the ground story and 32 residential units on the upper stories; 2) a 5-story 124-room hotel with 65,980 gross floor area and 14,622 sq. ft. of building footprint; 3) 34,427 sq. ft. of community space as well as associated paving, lighting, utilities, landscaping and other site improvements. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)
- E. The rehearing request of **Duncan McCallum (Rehearing Applicant)**, for property located at **31 Raynes Avenue, 203 Maplewood Avenue, and 1 Raynes Avenue** requesting a Wetland Conditional Use Permit under section 10.1017 to construct two buildings 1) a 5 story mixed use commercial and residential building and 2) a five story hotel building with 124 rooms. The project has removed all of the impervious surface from the 25' tidal buffer, proposes 67 square feet of impervious surface in the 25-50' tidal buffer and 21,190 square feet of impervious in the 50-100' tidal buffer. Overall the project is able to demonstrate a reduction of 7,070 square feet of impervious surface in the tidal wetland buffer from the existing condition or a reduction of 10,107 square feet if the reserve parking is not constructed. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, Map 123 Lot 12, Map 123 Lot 10 and lie within the Character District 4 (CD4) District, Downtown Overlay District (DOD), Historic District, and the North End Incentive Overlay District. (LU-21-54)

Project History

This project was originally heard at the December 16, 2021 Planning Board meeting. On January 14, 2022 Attorney Duncan McCallum filed a request for rehearing with the

Planning Department. On January 25, 2022 Attorney Michael Ramsdell, of the applicant's team, filed an objection to the motion for reconsideration. At the January 27, 2022 Planning Board meeting, the Board granted the rehearing request.

Technical Advisory Committee (Parking CUP and Site Plan Review)

The applicant met with the TAC committee various times to review the proposed site plan and parking conditions.

Section 10.1112.14 of the Zoning Ordinance found below.

10.1112.14 *The Planning Board may grant a conditional use permit to allow a building or use to provide less than the minimum number of off-street parking spaces required by Section 10.1112.30, Section 10.1112.61 or Section 10.1115.20, as applicable, or to exceed the maximum number of off-street parking spaces allowed by Section 10.1112.51.*

10.1112.141 *An application for a conditional use permit under this section shall include a parking demand analysis, which shall be reviewed by the City's Technical Advisory Committee prior to submission to the Planning Board, demonstrating that the proposed number of off-street parking spaces is sufficient for the proposed use.*

10.1112.142 *An application for a conditional use permit under this section shall identify permanent evidence-based measures to reduce parking demand, including but not limited to provision of rideshare/microtransit services or bikeshare station(s) servicing the property, proximity to public transit, car/van-pool incentives, alternative transit subsidies, provisions for teleworking, and shared parking on a separate lot subject to the requirements of 10.1112.62.*

10.1112.143 *The Planning Board may grant a conditional use permit only if it finds that the number of off-street parking spaces required or allowed by the permit will be adequate and appropriate for the proposed use of the property. In making this determination, the Board may accept, modify or reject the findings of the applicant's parking demand analysis.*

10.1112.144 *At its discretion, the Planning Board may require more off-street parking spaces than the minimum number requested by the applicant, or may allow fewer spaces than the maximum number requested by the applicant.*

According to the reports and third party reviews performed on the available parking and predicted traffic patterns the TAC members accepted the proposed conditions as adequate for a Conditional Use Permit.

TAC Recommendation to the Planning Board:

The committee voted to recommend approval to the Planning Board with the following stipulations:

- 1) The Community space plan is to include all the public space types.
- 2) Dock, kayak launch, and pier are included as public spaces
- 3) Parking spaces are reduced to 138 with specific space reduction on Maplewood Ave.
- 4) Lights will include full cut off feature with a shield to prevent light pollution across the water.
- 5) Mountable curb is included on pedestrian walkway between proposed hotel and 3S Art Space.
- 6) Grease traps will be designed to meet code requirements.
- 7) Sewer connection permit will be obtained from DES.
- 8) Applicant and City will enter into a Community Space Agreement.
- 9) Fertilizing within the buffer zone will follow city guidance.
- 10) Third party inspection services are required during construction.
- 11) Square footage will be added to the public space plan, matrix and exhibits.
- 12) Wide pedestrian sidewalks and alleyways, including seating, are to be included as Community Space.
- 13) Exposed parking shall be screened from view.
- 14) Proposed greenway trail along the abutting property is shown on the site and landscape plan.

The application as submitted to the Planning Board has resolved stipulations 1-5, 11, 12, and 14. The remaining stipulations have been included as conditions of approval in the staff recommendation below.

Conservation Commission (Wetland Conditional Use Permit review and recommendation)

This item was heard at the Conservation Commission meeting on **Wednesday June 16, 2021**. According to *Article 10 Section 10.1017.50* the applicant must satisfy the following conditions for approval of this project:

1. *The land is reasonably suited to the use activity or alteration.* This project is located in an area along the North Mill Pond that is currently private and not open to the public. The current property is being improved to include a bicycle and pedestrian trail made of porous pavement and a new landscaping plan which enhances what is there today and provides public access along the water consistent with the North Mill Pond Greenway plan. The overall project

reduces the amount of impervious surface. For these reasons the land is reasonably suited to the proposed alterations.

2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.* The location of the property is primarily within the 100' wetland buffer. The applicant has removed the majority of the impacts from the first fifty feet of the wetland buffer. Given the small amount of developable area outside of the wetland buffer there is no alternative location that is reasonable for a project in this area.
3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.* The proposed development is significantly further from the edge of wetland and there is a reduction in impervious surface with this proposal. The proposal also seeks to improve the treatment of stormwater on the site with a treatment and detention system. The pedestrian trail that is proposed is planned for porous pavement. This project provides community space that will allow people to walk along the pond on a safe accessible trail and proposed a landscape plan which is an improvement over the existing pavement and small area of vegetation currently in the buffer.
4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.* The proposed project has plans to remove a good deal of building and impervious surface from the buffer. The plans include a landscape plan which will provide adjacent wetland habitat and an amenity to the public using the greenway trail.
5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.* This application propose to provide enhancements to the tidal buffer zone over what exists today. The project will provide enhanced landscaping over what exists today and will provide public access this portion of the North Mill pond where none exists today. Given these improvements and the reduction of impervious surface and treatment of stormwater on the site staff believes this project has worked to provide an application which reduces the overall impacts.
6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.* The applicant provided a landscape plan which includes plantings around the proposed building and within the 100' tidal wetland buffer. The use of native plantings within the 100 foot buffer and removal of invasive species on this site will provide a benefit over the vegetation in buffer which exists today.

A motion was made to recommend approval of the conditional use request to the Planning Board with the following stipulations:

- 1) Relating to the porous asphalt maintenance requirements, monitor periodically to ensure the pavement surface drains effectively after storms, and if not look into replacing the porous pavement.
- 2) The clause 'no salt and de-icing material shall be used in the 100-ft buffer' shall be added to the Operations and Maintenance Plan, probably in Section 1.7.
- 3) Add instructions for the two-plus year time span on eliminating mulching and maintenance to allow for natural growth and esthetics on some of the planted islands.
- 4) Add frequency of inspection of the jellyfish.
- 5) Store salt indoors.

- 6) Add the clause 'sweeping of de-icing material after storm events' to the general sweeping section in the Operations and Maintenance Plan.
- 7) Restore the pier to something vegetative and porous and investigate it in that stage.

The Commission's vote to approve failed 3-3.

At the July 14, 2021 Conservation Commission meeting the applicant submitted a letter requesting reconsideration and re-vote of the recommendation. The Commission voted to reconsider the application. The vote to reconsider failed 1-5 (with one abstention). Therefore, the application was not reconsidered.

Project Update

Since the Conservation Commission reviewed the project there has been a further reduction of buffer impacts of 3,270 square feet to the wetland buffer area.

Staff Recommendation:

This matter will not be heard per court order.

- ~~1) Board members should evaluate if the new plan meets the standards and criteria for a Wetland Conditional Use Permit.~~
- ~~2) Vote to find that the number of off street parking spaces provided will be adequate and appropriate for the proposed use of the property and to grant the conditional use permit as presented.~~
- ~~3) Vote to grant Site Plan Approval with the following stipulations:~~

Conditions Precedent (to be completed prior to the issuance of a building permit):

- ~~3.1 The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.~~
- ~~3.2 The applicant shall record a notice of voluntary lot merger.~~
- ~~3.3 Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.~~
- ~~3.4 The applicant shall prepare a Construction Management and Mitigation Plan (CMMP) for review and approval by the City's Legal and Planning Departments.~~
- ~~3.5 The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights of way and on site~~

- ~~3.6 — Owner shall provide an access easement to the City for water valve access and leak detection. The easement shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by the City Council.~~
- ~~3.7 — The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.~~
- ~~3.8 — Grease traps will be designed to meet code requirements.~~
- ~~3.9 — Sewer connection permit will be obtained from DES.~~
- ~~3.10 — Applicant and City will enter into a Community Space Agreement.~~
- ~~3.11 — Fertilizing within the buffer zone will follow City guidance.~~
- ~~3.12 — Exposed parking shall be screened from view.~~
- Conditions Subsequent:
- ~~3.13 — The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;~~
- ~~3.14 — A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.~~

V. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

***It is recommended that Item IVF and IVG be discussed together and voted on separately.
A motion is required to consider these items together.***

- F. REQUEST TO POSTPONE** The request of **Cate Street Development (Owner)**, for property located at **406 US Route 1 Bypass**, requesting amended Site Plan Review approval to reconfigure and expand parking on Tax Map 172 Lot 2, Tax Map 172 Lot 1, and Tax Map 165 Lot 2 to contain 73 new spaces (52 covered); to renovate the existing structure on Tax Map 172 Lot 2; and to add a bioretention stormwater facilities, stormwater collection and treatment facilities on Tax Map 172 Lot 1 and Map 165 Lot 2. Said properties are shown on Assessor Map 172 Lot 1, Map 172 Lot 2, and Map 165 Lot 2 and lie within the Gateway Corridor (G1) District. (LU-22-7) **REQUEST TO POSTPONE**

- G. REQUEST TO POSTPONE** The request of **Cate Street Development LLC (Owner)**, and **Boston and Maine Corp (Owner)**, for properties located at **428 US Route 1 Bypass**, **406 US Route 1 Bypass**, and 55 Cate St requesting Preliminary and Final Subdivision approval (Lot Line Revision) to convey 31,187 square feet from Map 165 Lot 14 to Map 172 Lot 2, Map 172 Lot 1 and Map 165 Lot 2 which will result in a total of 52,820 square feet lot area for Map 172 Lot 2, 126,500 square feet lot area for Map 172 Lot 1, and 260,789 square feet lot area for Map 165 Lot 2. Said properties are shown on Assessor Map 172 Lot 1, Map 172 Lot 2, Map 165 Lot 2, and Map 165 Lot 14 and lie within the Transportation Corridor (TC) and the Gateway Corridor (G1) District. (LU-22-7) **REQUEST TO POSTPONE**

VII. DESIGN REVIEW – PUBLIC HEARING

- A. The request of **Port Harbor Land LLC, (Owner)** for the property located at **2 Russell Street and along Russell Street and Deer Street** requesting Design Review for a mixed use project consisting of office, retail/commercial, and residential uses in one 4-story and two 5-story buildings. The site is located between, Russell Street, Deer Street, Maplewood Avenue and the Railroad Corridor. Said properties are located on Assessor Map 124 Lot 12, Assessor Map 118 Lot 28, Assessor Map 119 Lot 4, and Assessor Map 125 Lot 21 and lie within the Character District 5 (CD-5). (LUPD-22-1)

Description

This item is a request for Design Review under the Site Plan Review Regulations. Under the State statute ([RSA 676:4,II](#)), the Design Review phase is an opportunity for the Planning Board to discuss the approach to a project before it is fully designed and before a formal application for Site Plan Review is submitted. The Design Review phase is not mandatory and is nonbinding on both the applicant and the Planning Board.

Although the State statute calls this pre-application phase “design review,” it does not encompass review of architectural design elements such as façade treatments, rooflines and window proportions. Rather, it refers to site planning and design issues such as the size and location of buildings, parking areas and open spaces on the lot; the interrelationships and functionality of these components, and the impact of the development on adjoining streets and surrounding properties.

The process as outlined in Section 2.4.3 of the Site Review regulations is that the Board first has to determine that the request for design review includes sufficient information to allow the Board to understand the project and identify potential issues and concerns, and, if so, vote to accept the request and schedule a public hearing. *Completion of the design review process also has the effect of vesting the project to the current zoning for 1 year.*

Design review discussions must take place in a public hearing. At the conclusion of the public hearing process, the Board makes a determination that the design review process for the application has ended.

In accordance with Section 2.4.3 (1-4) of the Site Review regulations, on the January 27, 2022 meeting of the Planning Board, the Planning Board voted to accept the request for design review and to schedule a public hearing, finding that the proposal included sufficient information to allow the Board to understand the project and identify potential issues and concerns. Once the application has been accepted by the Planning Board, the following sections are applicable.

Site Plan Review Regulations – Article 2, Section 2.4.3: Design Review Phase

...

5. Design review discussions shall take place in a public hearing at a regularly scheduled meeting of the Planning Board, after notice to abutters, holders of conservation, preservation, or agricultural preservation restrictions, and the general public as required by State statute.

6. At any public meeting of the Planning Board, the Board may determine that the design review process of an application has ended and shall inform the applicant in writing within 10 days of such determination.

Staff Recommendation:

Vote to find that the Design Review process is complete.

VI. PRELIMINARY CONCEPTUAL CONSULTATION

- A.** The request of **Julia R. Tiebout Revocable Trust (Owner)**, for the property located at **405 South Street** requesting Preliminary Conceptual Consultation for the subdivision of the existing parcel of 0.52 acres (22,750 square feet) into two lots. Said property is shown on Assessor Map 111 Lot 18 and is located in the General Residence A (GRA) District.

Description

The applicant has provided a set of preliminary plans for discussion with the Board.

As authorized by NH [RSA 676:4,II](#), the Subdivision Regulations require preliminary conceptual consultation for certain proposals, including (1) the construction of 30,000 sq. ft. or more gross floor area, (2) the creation of 20 or more dwelling units, or (3) the construction of more than one principal structure on a lot. Preliminary conceptual consultation precedes review by the Technical Advisory Committee.

Preliminary conceptual consultation is described in the state statute as follows:

[Preliminary conceptual consultation]... shall be directed at review of the basic concept of the proposal and suggestions which might be of assistance in resolving problems with meeting requirements during final consideration. Such consultation shall not bind either the applicant or the board and statements made by planning board members shall not be the basis for disqualifying said members or invalidating any action taken. The board and the applicant may discuss proposals in conceptual form only and in general terms such as desirability of types of development and proposals under the master plan.

The preliminary conceptual consultation phase provides the Planning Board with an opportunity to review the outlines of a proposed project before it gets to detailed design (and before the applicant refines the plan as a result of review by the Technical Advisory Committee and public comment at TAC hearings). In order to maximize the value of this phase, Board members are encouraged to engage in dialogue with the proponent to offer suggestions and to raise any concerns so that they may be addressed in a formal application. Preliminary conceptual consultation does not involve a public hearing, and no vote is taken by the Board on the proposal at this stage. Unlike Design Review, completion of Preliminary Conceptual Consultation does not vest the project to the current zoning.

| |
|---------------------------|
| <u>Staff Suggestions:</u> |
|---------------------------|

- Board members should review section 3.A.2 Preliminary Conceptual Consultation Phase of the [Subdivision Regulations](#).
- Board members should review sections of the [Zoning Ordinance](#) that may apply to this application. Possible sections may include but are not limited to:

- Section 10.521 Table of Dimensional Standards

VI. PRELIMINARY CONCEPTUAL CONSULTATION

- B.** The request of **230 Commerce Way LLC**, for the property located at **230 Commerce Way** requesting Preliminary Conceptual Consultation for the construction of a new 2-story structure with 12,000 square feet of office space and veterinary clinic. Said property is shown on Assessor Map 216 Lot 1-5 and located within the Office Research (OR) District.

Description

The applicant has provided a set of preliminary plans for discussion with the Board.

As authorized by NH [RSA 676:4,II](#), the Site Plan Review Regulations require preliminary conceptual consultation for certain proposals, including (1) the construction of 30,000 sq. ft. or more gross floor area, (2) the creation of 20 or more dwelling units, or (3) the construction of more than one principal structure on a lot. Preliminary conceptual consultation precedes review by the Technical Advisory Committee.

Preliminary conceptual consultation is described in the state statute as follows:

[Preliminary conceptual consultation]... shall be directed at review of the basic concept of the proposal and suggestions which might be of assistance in resolving problems with meeting requirements during final consideration. Such consultation shall not bind either the applicant or the board and statements made by planning board members shall not be the basis for disqualifying said members or invalidating any action taken. The board and the applicant may discuss proposals in conceptual form only and in general terms such as desirability of types of development and proposals under the master plan.

The preliminary conceptual consultation phase provides the Planning Board with an opportunity to review the outlines of a proposed project before it gets to detailed design (and before the applicant refines the plan as a result of review by the Technical Advisory Committee and public comment at TAC hearings). In order to maximize the value of this phase, Board members are encouraged to engage in dialogue with the proponent to offer suggestions and to raise any concerns so that they may be addressed in a formal application. Preliminary conceptual consultation does not involve a public hearing, and no vote is taken by the Board on the proposal at this stage. Unlike Design Review, completion of Preliminary Conceptual Consultation does not vest the project to the current zoning.

Staff Suggestions:

- Board members should review section 2.4.2 Preliminary Conceptual Consultation Phase of the [Site Plan Regulations](#).
- Board members should review sections of the [Zoning Ordinance](#) that may apply to this application. Possible sections may include but are not limited to:

- Section 10.440 Table of Uses for SRA district
- Section 10.1010 Wetlands Protection

VIII. PUBLIC HEARING - CITY COUNCIL REFERRALS

- A. Application of **Randi Collins (Owner)**, for the restoration of involuntarily merged lots at **77 Meredith Way** to their pre-merger status pursuant to NH RSA 674:39-aa. Said property is shown on Assessor Map 162 Lot 16 and lies within the General Residence A (GRA) district. (RIML-21-5)

Description

At its meeting on November 15, 2021, the City Council considered a request from R. Timothy Phoenix and Monica F. Keiser, on behalf of their client property owners Jeff and Rand Collins, requesting the restoration of involuntarily merged lots at 77 Meredith Way Map 162 Lot 16 to their pre-merger status pursuant to NH RSA 674:39-aa. The Council voted to refer to the Planning Board and Assessor for report back.

Statutory Requirements for Unmerger of Involuntarily Merged Lots

RSA 674:39-aa requires the City Council to vote to restore “to their premerger status” any lots or parcels that were “involuntarily merged” by municipal action for zoning, assessing, or taxation purposes without the consent of the owner. Unlike all other lot divisions, there is no statutory role for the Planning Board in this process nor is there any requirement for the City to hold a public hearing. However, in Portsmouth the City Council has historically referred such requests to the Planning Board to conduct a public hearing.

The statute defines “voluntary merger” and “voluntarily merged” to include “any overt action or conduct that indicates an owner regarded said lots as merged such as, but not limited to, abandoning a lot line” (RSA 674:39-aa, I). It is therefore the City Council’s responsibility to determine whether a merger was voluntary (i.e., requested by a lot owner) or involuntary (implemented by the City without the owner’s consent). If the merger was involuntary, the Council must vote to restore the lots to their premerger status. Following such a vote, the City GIS and Assessing staff will update zoning and tax maps accordingly. It will then be up to the owner to take any further action to confirm the restoration to premerger status, such as recording a plan at the Registry of Deeds.

It is important to note that the granting of a request to restore lots to their premerger status does not mean that the resulting lots will be buildable or, if already developed, will conform to zoning. The statute states that “*The restoration of the lots to their premerger status shall not be deemed to cure any non-conformity with existing land use ordinances*” (RSA 674:39-aa, V). For example, the restored lots may not comply with current zoning requirements for lot area, frontage and depth, and the re-establishment of a lot line between any two premerger lots may introduce a new nonconformity with respect to maximum allowed building coverage or a minimum required side yard where a building already exists on one of the premerger lots. In such cases, the owner(s) of the applicable

lot(s) would have to apply to the Zoning Board of Adjustment for the necessary variances to restore zoning compliance or to allow future development.

Assessing Department Review

The City Assessor has reviewed this application and provided a report on her findings. Her review indicates that this request does not meet the requirements set forth in NH [RSA 674:39-aa](#).

Planning Department Recommendation

The Planning Board should determine if the application meets the requirements set forth in NH RSA 674:39-aa and make a recommendation to the City Council.

IX. OTHER BUSINESS

- A. Request of **238 Deer Street LLC (Owner)**, for the property located at **238 Deer Street** for a 1-year extension of the Conditional Use Permit approval granted on February 18, 2021. (LU-20-238)

Description

This application received Planning Board approval on February 18, 2021. The approval expires one-year from the date granted. The Planning Board may, for good cause shown, extend such period by as much as 1-year if requested and acted upon prior to the expiration date. The original letter of decision and approved site plan are included in the packet for reference.

Please see Section 2.14 of the [Site Plan Review Regulations](#) to reference application approval, expiration and extension steps.

Planning Department Recommendation

Vote to grant a 1-year extension of the Conditional Use Permit.

IX. OTHER BUSINESS

- B. Request of **Robert Gigliotti (Owner)**, for the property located at **292 Lang Road** for a 1-Year extension of the Wetland Conditional Use Permit approval granted on February 18, 2021. (LU-20-215)

Description

This application received Planning Board approval on February 18, 2021. The approval expires one-year from the date granted. The Planning Board may, for good cause shown, extend such period by as much as 1-year if requested and acted upon prior to the expiration date. The original letter of decision and approved site plan are included in the packet for reference.

Please see Section 2.14 of the [Site Plan Review Regulations](#) to reference application approval, expiration and extension steps.

Planning Department Recommendation

Vote to grant a 1-year extension of the Conditional Use Permit.

X. ADJOURNMENT

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

March 17, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark Vice Chair; Karen Conard, City Manager; Ray Pezzulo, Assistant City Engineer; Beth Moreau; Peter Harris; Jane Begala; James Hewitt; Franco DiRienzo, Alternate; Andrew Samonas, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner 1

MEMBERS ABSENT: Greg Mahanna

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I. APPROVAL OF MINUTES

A. Approval of the February 17, 2022 minutes.

Chairman Chellman commented that Mr. DiRienzo would sit in for Mr. Mahanna tonight.

City Council Representative Moreau moved to approve the minutes from the February 17, 2022, minutes as amended, seconded by Mr. Clark

Mr. Hewitt commented that he questioned about taking attendance not Mr. Mahanna. Also, the shadow study that was requested for the 2 Russell St. application was referring to the whole site not just the community space. Mr. Hewitt noted that he commented on the trees for the 230 Commerce Way application and thinking about it more he would have requested that the project also go to the Trees and Greenery Committee. Mr. Hewitt did not say it at the time but would have liked to. Mr. Chellman commented that Mr. Hewitt did not mention the Committee at the time, so that was not an edit to the minutes. That can be addressed when the application returns.

Chairman Chellman noted that he had a couple edits from Mr. Mahanna. The first is that Mahanna is spelled with two N's. Also, Mr. Mahanna has personally never done business with the Green and Company and Port Harbor application developers. That needs to be corrected.

The motion passed unanimously.

Chairman Chellman commented that he had a request to consider VII. Other Business Item A out of order.

City Manager Conard moved to take VII. Other Business Item out of order, seconded by Vice Chairman Clark. The motion passed unanimously.

City Council Representative Moreau moved to grant a 1 – year extension of the 163 Sparhawk Conditional Use Permit, seconded by City Manager Conard. The motion passed unanimously.

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

- A. The request of **Cate Street Development (Owner)**, for property located at **428 US Route 1 Bypass, 406 US Route 1 Bypass, and 55 Cate St** requesting Subdivision Review approval for a lot line adjustment.

City Council Representative Moreau moved to determine that this application is complete according to the Subdivision Regulations, (contingent on the granting of any required waivers under Section III and IV of the agenda) and to accept the applications for consideration, seconded by Vice Chairman Clark. The motion passed unanimously.

SITE PLAN REVIEW

- A. The request of **238 Deer Street, LLC, (Owner)**, for property located at **238 Deer Street**, requesting Site Plan Review approval.

City Council Representative Moreau moved to determine that this application is complete according to the Site Plan Review Regulations, (contingent on the granting of any required waivers under Section III and IV of the agenda) and to accept the applications for consideration, seconded by Vice Chairman Clark. The motion passed unanimously.

Mr. Harris questioned what the status for parking was for this application. Chairman Chellman commented that this was just for the determination of completeness. That means there is enough information for the discussion. They did not make a decision on any items in that package, and would have a discussion later in the agenda.

- B. The request of **Cate Street Development (Owner)**, for property located at **406 US Route 1 Bypass**, requesting Site Plan Review approval.

City Council Representative Moreau moved to determine that this application is complete according to the Site Plan Review Regulations, (contingent on the granting of any required waivers under Section III and IV of the agenda) and to accept the applications for consideration, seconded by Vice Chairman Clark. The motion passed unanimously.

III. PUBLIC HEARINGS -- OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. The request of **Cate Street Development (Owner)**, for property located at **406 US Route 1 Bypass**, requesting amended Site Plan Review approval to reconfigure and expand parking on Tax Map 172 Lot 2, Tax Map 172 Lot 1, and Tax Map 165 Lot 2 to contain 73 new spaces (52 covered); to renovate the existing structure on Tax Map 172 Lot 2; and to add a bioretention stormwater facilities, stormwater collection and treatment facilities on Tax Map 172 Lot 1 and Map 165 Lot 2. Said properties are shown on Assessor Map 172 Lot 1, Map 172 Lot 2, and Map 165 Lot 2 and lie within the Gateway Corridor (G1) District. (LU-22-7)

SPEAKING TO THE APPLICATION

Gregg Mikolaities from August Consulting Jay Bisognano, John Bosen, and Rick Lundborn and Scott Lamontange were present to speak to the application. Mr. Mikolaities commented that the West End Yards were acquired in 2017 and the project was approved in September 2019. Part of the approval process was a land transfer to create Hodgson Way. At the time West End Yards was going through the permitting process the vacant car dealership was not part of the project. It was a separate lot that was approved in 2017 for a brew pub and restaurant. When the retail building was permitted there were not tenants at the time, so the parking calculations were based on theoretical tenants. Tonight, they have letters of intent for retail tenants for 95% of buildings C and D. They cannot disclose the tenants except for Buffalo Wild Wings. There will be another restaurant on the east side of the site. There is a large corporation tenant based in Portsmouth that will take the top floor and part of the bottom. Now they can calculate the actual parking that is needed. The leases have not been signed yet. This has been through TAC. That's why here tonight. The ordinance states that apartments under 500 sf only need half space, but in reality, this location is closer to 1 space. That's driving the need as well. The minimum calculation for this site is 556 spaces, and that's what was approved. Tonight, they are asking for 622 spaces. The maximum allowed is 668 spaces. The plan has now incorporated retail building D, which is the vacant dealership. It is now integrated into the project. They have also approached the railroad to purchase property to create head in parking. TAC requested covered parking in that area. People will not be able to see the parking without the cover, but they agreed to the covered parking.

Chairman Chellman commented that they said 622 spaces in the presentation, but the plans showed 624 spaces. Mr. Mikolaities responded that they lost 2 because of the parking structure. Mr. Lundborn confirmed that the covered parking area reduced the spaces from 52 spaces to 50. Chairman Chellman requested clarification on whether or not the changes were all in the red outline on the plan. Mr. Mikolaities confirmed that was correct. TAC asked for clarification on parking allocation, so they created a color plan. There will not be designated parking, but the colored plan helps to clarify allocation.

Ms. Begala requested more information on the open space now that the plan includes the former pet zone and the asphalt space is growing larger. Mr. Lundborn responded that the pet zone and grass adjacent to it will stay. Ms. Begala questioned where the residential buildings were. Mr. Lundborn responded that the apartments were in buildings A and B. There is a nice courtyard in the middle between them. Mr. Mikolaities responded that they were not asking for lot coverage. The site far exceeds the green space requirements, and they were not asking for more building coverage. Building A is fully occupied and building B is leasing now. Pending a positive outcome tonight they will secure retail leases and hope to fill those buildings this summer and fall.

Mr. Hewitt commented that he had hard time figuring out how much additional parking they were requesting. Mr. Lundborn responded that they were requesting 120 spaces. 56 of the spaces will go with the building, 50 spaces will go along the railroad, and then there will be some tandem spaces. Some were associated with a previous retail use that has been vacant for years. Mr. Hewitt questioned if there were any tenants that did not own a car. Mr. Bisognano responded that there were not. Mr. Hewitt commented that when this was approved in 2019, they were assuming that there would be 35 people in the development who would not own a car. Mr. Bisognano responded is that the reality is they do own cars. Mr. Hewitt commented that it was sobering to see how far off this was from the City's parking ordinance calculations. At the TAC meeting they were requesting 2 spaces for units above 750 sf, but now they were asking for 1.5 spaces. Mr. Mikolaities responded that they were not asking for any relief. They were just asking for the midpoint. It is shared parking, and they prepared a plan in color to show a rough allocation. Covid has changed things too. People are commuting less. The situation is different from when they designed it. The Veridian is successful and fully leased and the ordinance calculation was right on. Mr. Hewitt commented that he was trying to understand why the calculation was so far off. Mr. Mikolaities responded that they leased building one and realized they needed more parking. They always wanted the front building, but at the time of permitting the owner wasn't willing to sell it.

Chairman Chellman clarified that they were not proposing any changes outside of the red outline. Mr. Mikolaities confirmed that was correct. Chairman Chellman questioned if the bond for the initial approval had been released. Mr. Mikolaities responded that it had not. Chairman Chellman questioned if there were any conditions of prior approval that would not let it be released. Mr. Mikolaities responded that Underwood Engineers were reviewing the site work for that. Chairman Chellman commented that he just wanted the Board to understand that in addition to the ordinance comments.

Vice Chairman Clark questioned if the only changes outside of this additional lot were the tandem spaces. Mr. Mikolaities responded that it also included that row of head in parking on the acquired land. Vice Chairman Clark clarified that the the preexisting lot just added the tandem spaces. Mr. Mikolaities confirmed that was correct. Vice Chairman Clark questioned if this would be revised for the AOT permit as well. Mr. Mikolaities confirmed that was correct. Vice Chairman Clark questioned where the snow storage was shifted. Mr. Bisognano responded that they would haul it off site if they got too much. Vice Chairman Clark questioned what the reasoning behind the covered parking was and if it would cause an issue with snow falling on the

cars. Mr. Mikolaities responded that the snow would not be an issue. They pushed back on the covered parking request. They did view lines one the site and that land is tucked back in. Staff wanted to break up that parking for the railroad view corridor.

Mr. Hewitt questioned if they had evidence to support their need for additional parking. Mr. Bisognano responded that any resident that comes into the development has to state if they have a vehicle and how many. They also required the retailers to state how many parking spaces they need. They have the data and that is why they are here. Mr. Hewitt commented that he did not want them to come back in a year asking for another 100 spaces. Mr. Bisognano responded that there was no way they could practically do that. Mr. Hewitt requested that the applicants send the Board their data. Mr. Bisognano confirmed they would.

Vice Chairman Clark noted that one of the comments they got was about the feasibility of making the covered parking structure capable of housing stacked parking if more was needed in the future. Vice Chairman Clark questioned if that was feasible. Mr. Bisognano responded that in order for lift systems to run smoothly and safely they need a 24-hour attendant. As a practical matter that would not be possible in this location.

Ms. Begala commented that she agreed with point 7 in notes, which talks about how this parking layout conflicts with the Master Plan's vision. This is a sea of asphalt. This is not walkable or a good quality of life for any of the neighbors around there. It's also confusing about how many spaces the Board was voting on tonight. Mr. Mikolaities responded that comment was from the past TAC comments that have already been addressed. The first time around they did a poor job incorporating building D into the site. That TAC comment was to make more walkable connections, so they added a driveway, crosswalk and sidewalk to connect building C to building D. Ms. Begala requested clarification on how many parking spaces they were talking about. Mr. Lundborn responded that they were talking about a total of 120 spaces. There are 56 spaces that go with building D, which was the previous car dealership. Then 50 spaces along the rail road and 11 tandem spaces. That adds up to 127 spaces. However, they eliminated 7 previously approved spaces to make site connections. That leaves 120 spaces.

Mr. DiRienzo questioned if the tandem spots would be designated. Mr. Lundborn confirmed they would be designated for residents that have 2 cars.

Mr. Samonas questioned if it was possible to not allow the leasing tenants of building B to have a car. Mr. Bisognano responded that they could require that they don't have a vehicle. However, then tenants either won't lease the unit or they will park in the neighborhood illegally. The data is real. People have vehicles. If they did not allow cars, then they would have vacant buildings.

Chairman Chellman commented that the maneuvering aisles were 20 feet wide, but the ordinance states they should be 24 feet wide. Mr. Lundborn responded that they were allowed a reduction for a one way. Chairman Chellman questioned if TAC reviewed and approved that. Mr. Lundborn confirmed they did.

Mr. Hewitt questioned if the current impervious was 67% of the site. Mr. Lundborn responded that he did not know off the top of his head, however, there was a reduction from the original properties to today. They do not exceed the allowed impervious.

Chairman Chellman clarified that there were 56 spaces on the front lot and a net of 64 spaces in the because a few of the original spaces out. That makes 120 spaces total. Mr. Lundborn confirmed that was correct.

PUBLIC HEARING

Elizabeth Bratter of 159 McDonough St. commented that she appreciated that this developer was being more realistic about the parking. People like to have cars. The shared parking is overflowing because more people are working from home. They should enclose the parking structure and make it high enough to be able to allow for stacked parking. There is other stacked parking in Portsmouth. They need a professional to set it up and provide enough clearance.

John Chagnon from Ambit Engineering questioned if they were dealing with the lot line application at this point. Chairman Chellman responded that was next on the agenda.

Chairman Chellman asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark questioned if they were voting on the subdivision application at this time. City Manager Conard responded that they did not move to hear the agenda items together and vote on them separately, so that would be voted on in the next agenda item.

Vice Chairman Clark moved to grant Site Plan Approval, seconded by City Council Representative Moreau with the following conditions:

Conditions Precedent

- 1.1 Temporary easements will be needed for construction. Temporary easement language and area (to be identified on the plan) are to be obtained along eastern and western boundary lines in order to begin construction of the foundation.
- 1.2 A Construction Management and Mitigation Plan will be required to address, at minimum, access and use of the municipal ROW to construct the building, and proposed staging areas. Heavy machinery staging and access shall be from Deer St.
- 1.3 The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 1.4 Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 1.5 The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.
- 1.6 Engineer of record shall be established prior to issuance of building permit for the purpose of satisfying condition 1.h.

1.7 Correct existing conditions plans to show 2” water service from water main to the valve and 1” water service from the valve to the building.

Conditions Subsequent

1.8 The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;

1.9 A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City’s Planning and Public Works Departments.

1.10 Applicant will report back to Planning Director in one (1) year regarding how the resident/visitor parking needs are being met and if the approved parking plan is adequately addressing all the uses on the site.

Vice Chairman Clark commented that parking is an obvious issue anywhere in the City. People who are going for this development are the ones that want to have cars. They are sacrificing living downtown and electing to have a car. That makes sense. It is good to see that they are incorporating this additional lot because it was a weird cut out in the site development. Overall, it is a better site in the end.

City Council Representative Moreau commented that she had been reviewing the plan since beginning. It is disheartening to see that they need more parking. That was not what they envisioned because they wanted to encourage a walkable City with less cars. The pandemic ruined that because people are staying home more and need a car. As a land use committee, they need to look at the parking regulations. City Council Representative Moreau commented that she had no issues with the parking plan.

Mr. Hewitt questioned if they could include a stipulation to have the developers submit a report on the traffic that justifies the parking needs. The report should include the square footage of the apartments, number of beds, number of cars, and number of occupants. Chairman Chellman commented that the developers said they had a report that they could submit and questioned if that would suffice. Mr. Hewitt confirmed that would work. Vice Chairman Clark and City Council Representative Moreau agreed to the amendment.

The motion passed unanimously.

- B. The request of **Cate Street Development LLC (Owner)**, and **Boston and Maine Corp (Owner)**, for properties located at **428 US Route 1 Bypass, 406 US Route 1 Bypass, and 55 Cate St** requesting Preliminary and Final Subdivision approval (Lot Line Revision) to convey 31,187 square feet from Map 165 Lot 14 to Map 172 Lot 2, Map 172 Lot 1 and Map 165 Lot 2 which will result in a total of 52,820 square feet lot area for Map 172 Lot 2, 126,500 square feet lot area for Map 172 Lot 1, and 260,789 square feet lot area for Map 165 Lot 2. Said properties are shown on Assessor Map 172 Lot 1, Map 172 Lot 2, Map 165 Lot 2, and Map 165 Lot 14 and lie within the Transportation Corridor (TC) and the Gateway Corridor (G1) District. (LU-22-7)

SPEAKING TO THE APPLICATION

Mr. Mikolaities commented that they discussed this above when talking about the front lot and land from the railroad. They have a purchase and sale in hand and if they receive a positive vote tonight, then the sale will occur prior to the end of April.

PUBLIC HEARING

John Chagnon from Ambit Engineering commented that he did some work for the flooding that occurred at the Old Frank Jones Brewery on Islington St. There is a large culvert pipe under the railroad. All of the drainage from the parking runs into a collection system in that goes to a culvert that drains to the Bypass. The prior owner agreed to let them clean it out and allow the water to flow. Mr. Mikolaities confirmed that they were doing a similar easement, so it was all set.

Chairman Chellman asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Vice Chairman Clark moved to grant Preliminary and Final Subdivision Approval, seconded by City Council Representative Moreau with the following stipulations:

- 1 Lot numbers as determined by the Assessor shall be added to the final plat.
- 2 Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat.
- 3 GIS data shall be provided to the Department of Public Works in the form as required by the City.
- 4 The final plat and all easement deeds shall be recorded concurrently at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.

The motion passed unanimously.

Chairman Chellman commented that they had two applications that were requesting postponements on tonight's agenda. The Board should take them out of order and postpone them.

City Council Representative Moreau moved to take IV Public Hearings – New Business Item B. 213 Jones Ave. and IV Public Hearings – New Business Item C 189 Gates St. out of order, Vice Chairman Clark. The motion passed unanimously.

City Council Representative Moreau moved to postpone IV Public Hearings – New Business Item B. 213 Jones Ave. to the April Planning Board Meeting, seconded by Vice Chairman Clark. The motion passed unanimously.

City Council Representative Moreau moved to postpone IV Public Hearings – New Business Item C 189 Gates St. to the April Planning Board Meeting, seconded by Vice Chairman Clark. The motion passed unanimously.

IV. PUBLIC HEARINGS – NEW BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

- A.** The request of **238 Deer Street, LLC, (Owner)**, for property located at **238 Deer Street**, requesting Site Plan Review approval for demolition of the existing structure and the construction of a new 3-4 story mixed-use building with 21 residential units with a footprint of 5,263 +/- s.f. and 19,190 s.f. gross floor area with associated site improvements. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts. (LU-20-238)

SPEAKING TO THE APPLICATION

John Chagnon from Ambit Engineering and Mark Gianinny from McHenry Architects spoke to the application. This was formally the VFW Hall and is now the Staley Bar and Grill. The project has been going through the approval process for some time. On February 18, 2021, the Planning Board granted a CUP that would allow them to not provide any parking on site. They were granted some variances from the BOA and have received approval from HDC. The project is to provide 21 micro units in the downtown. They will replace the building that is there now. There will be a no build easements for the western abutter 30 Maplewood Ave. and another easement to allow for parking movement for the other abutters. There is another easement plan that shows the public pedestrian easement areas. They will create a wider pedestrian alley between the buildings and extend it up to the front of the building. There will be 5 bike racks on the exterior and the plan will incorporate some landscaping. The current building will be replaced with a code compliant HDC approved 21-unit micro housing building. Parking for 30 Maplewood Ave. will remain. They agree to all of the stipulations.

Mr. Hewitt questioned what the square footage of the apartments would be. Mr. Chagnon responded that they were all under 500 sf.

Mr. Harris questioned what the status of the parking stipulation was. Mr. Chagnon responded the parking CUP was approved with two conditions. The applicant understands the conditions must be met prior to the issue of a building permit. Without approval for the site, it is hard to go out and secure leased parking spots. They have made some inquiries but there was nothing official to report yet. They are aware that the conditions need to be met before the issuance of a building permit.

Ms. Begala questioned if there was a backup plan if they find tenants have a car. Mr. Chagnon responded that the plan included a draft of the lease provision. It states that the landlord and tenant would work to ensure they had a designated off-street parking location. The landlord would provide off street options and the tenant would choose where they want to park. Then the

cost of the off-site parking space will become part of the rent. It is still applicable if a car is attained after the lease is signed.

City Council Representative commented that lease agreement was her requirement. The landlord has to take responsibility to solve the problem if the tenant has a car. Chairman Chellman questioned if City Council Representative Moreau was satisfied with the language in the lease. City Council Representative Moreau confirmed she was.

Ms. Begala commented that it was a great idea because they don't want another developer coming back to request more parking. This allows the tenants to decide if they want a car or not. It is in a more walkable area.

Chairman Chellman agreed that there was a big difference in locations between this application and the last one. The location is a highly walkable area and people will not need cars as much. The reverse can happen if parking is required. People can tend to have cars in an area where they may not have if parking is provided.

Ms. Zendt commented that the lease and off-street parking agreement and conditions were part of the original approval and must be completed prior to the issuance of a building permit. They will be fully enforced.

Mr. Chagnon commented that current patrons of establishments and employees are using the parking garage which is close and walkable.

Mr. DiRienzo noted that the apartments were studios and questioned if there would be a one-person limit. Mr. Gianinney responded that they will be one-bedroom apartments but there will be no limit. The maximum would probably be 2 people based on the size.

PUBLIC HEARING

Elizabeth Bratter of 159 McDonough St. commented that her biggest concern was that it abuts a neighborhood that was in a pilot of neighborhood parking program. This should not fall through the cracks. The parking conditions should be clear, and someone should be babysitting the lease. The Planning Board has made it clear that this is an experiment. Ms. Bratter would like to be reassured that this would be monitored. Otherwise, the overflow could be parking in the adjacent neighborhood because it is free and the garage costs money.

Charles Dye of the 30 Maplewood Ave. condo association commented that the applicants did a spectacular job working with their immediate neighbor. They had some concerns with drainage and the applicants worked through those problems. They were in support of the project. A year ago, the condo sent the Boards a letter saying that they supported the project. There is a parking lot that has been striped, and they did not have any interest in housing construction vehicles in it. They should house them on the Deer St. side.

Chairman Chellman asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau commented that their stipulations should include a 1 year parking report to understand how many tenants had cars and how it was working. Chairman Chellman questioned if that report would go to the Board. City Council Representative Moreau responded that it would go to staff.

Chairman Chellman questioned if they needed to add a stipulation about the construction equipment location. Vice Chairman Clark commented that there was a condition that said temporary easements were needed for construction, so whether or not those are granted is up to the abutter. Ms. Zendt noted that they could add it as a consideration to be added to the construction mitigation plan. They should look to stage from Deer St. They need the whole perimeter for construction. The condition can be added to B. City Council Representative Moreau agreed that the heavy equipment could be staged on Deer St.

City Council Representative Moreau moved to grant Site Plan Approval, seconded by Vice Chairman Clark with the following conditions:

Conditions Precedent

- 1.1 Temporary easements will be needed for construction. Temporary easement language and area (to be identified on the plan) are to be obtained along eastern and western boundary lines in order to begin construction of the foundation.
- 1.2 A Construction Management and Mitigation Plan will be required to address, at minimum, access and use of the municipal ROW to construct the building, and proposed staging areas. Heavy machinery staging and access shall be from Deer St.
- 1.3 The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 1.4 Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 1.5 The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.
- 1.6 Engineer of record shall be established prior to issuance of building permit for the purpose of satisfying condition 1.h.
- 1.7 Correct existing conditions plans to show 2” water service from water main to the valve and 1” water service from the valve to the building.

Conditions Subsequent

- 1.8 The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;
- 1.9 A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City’s Planning and Public Works Departments.
- 1.10 Applicant will report back to Planning Director in one (1) year regarding how the resident/visitor parking needs are being met and if the approved parking plan is adequately addressing all the uses on the site.

Vice Chairman Clark commented that they looked at this for the parking over a year ago and felt at that time that they were going out on a limb for a unique project. City Council Representative Moreau commented that they want this to succeed because if it does, then it will be a good model.

Mr. Harris agreed and appreciated the report after one year. There is so much pressure on the neighborhoods surrounding downtown.

City Council Representative Moreau commented that they worked with the applicants and had a lot of input on the parking. Hopefully this lease agreement has addressed the concern.

Chairman Chellman commented that after a Board decision the applicant will get a written letter of decision and it becomes part of the record. Vincent Hayes is the City's Land Use Compliance Agent. It is his job to look at the conditions in the letter of decision and makes sure that they are all satisfied. They don't release the bond or building permit until the conditions are satisfied. There are a number of steps that happen after the Board makes a decision. Ms. Zendt commented that they will try to bring Mr. Hayes in to walk the Board through the process and explain what he looks at to understand and coordinate the implementation of stipulations provided.

Ms. Begala commented that it will be good to understand how the 21 units fill and what mix will have cars and where they are parking. That is important and they are appreciative of the developer working with the Board on this.

The motion passed unanimously.

- B. REQUEST TO POSTPONE** The request of **Donald Lowell Stickney III (Owner)**, for property located at **213 Jones Avenue** requesting Conditional Use Permit under section 10.814 of the Zoning Ordinance and modification of the standards set forth in Sections 10.814.40 or 10.814.52 through 10.814.56, to construct a new single family residence and convert the existing residence into a Detached Accessory Dwelling Unit totaling 886 square feet of living area. Said property is shown on Assessor Map 222 Lot 69 and lies within the Single Residence B (SRB) district. (LU-22-34) **REQUEST TO POSTPONE**

DISCUSSION AND DECISION OF THE BOARD

This item was postponed earlier in the agenda.

- C. REQUEST TO POSTPONE** The request of **Nerbonne Family Revocable Trust (Owner)**, for property located at **189 Gates Street** requesting a Conditional Use Permit under section 10.815 of the Zoning Ordinance and modification of the standards set forth in Section 10.815.30 for the conversion of an existing accessory structure (garage) into a garden cottage with 546 gross square footage of living space. Said property is shown on

Assessor Map 103 Lot 6 and lies within the General Residence B (GRB) and Historic Districts. **REQUEST TO POSTPONE** (LU-22-30)

DISCUSSION AND DECISION OF THE BOARD

This item was postponed earlier in the agenda.

- D.** The request of **Treadwell House Inc. (Owner)**, for property located at **70 Court Street** requesting a Conditional Use Permit under section 10.112.14 of the Zoning Ordinance to provide five (5) parking spaces where 11 are required. Said property is shown on Assessor Map 116 Lot 49 and lies within the Character District 4-L1 (CD4-L1) and Historic District. (LU-22-10)

SPEAKING TO THE APPLICATION

Chairman Chellman noted that Mr. Samonas recused himself from the application.

John Bosen spoke to the application and noted that the applicant Andrew Samonas and engineer Eric Saari were in attendance. They are in the process of purchasing 70 Court St. It is currently an office building, and they plan to convert it to an 8-unit inn with a caretaker residence. They have obtained a special exception from The ZBA to operate as an Inn. They are here tonight seeking a CUP to provide 5 parking spaces where 11 is required. This is a historical building and many of its architectural features lend itself well to an inn. Presently there are 4 parking spaces on site. They will be expanding it to 5 spaces. The ordinance requires 11 but a parking demand analysis suggests 6 would be appropriate for the proposed use. They have met all of the approval criteria. The applicant believes that the street parking availability and access to neighboring lots mitigates the need to meet the required 11 spaces. The site is .2 miles from the Worth Lot and .3 miles from the Hanover St. garage. the Samonas family also owns an office building on Middle St. that could be used for parking if needed. There are also ride share options available too. This site is one block away from the Downtown Overlay where the parking requirement could be met. The applicant will be using remote check in, and guests will be provided access codes and parking options in advance. Not all guests will use cars. Ride share options can bring guests to Portsmouth.

Ms. Begala questioned how many spaces would be available in the building they owned next door. Mr. Bosen responded that the site plan will provide 5 spaces and the Samonas family has available parking 500 yards away. It can be utilized for overflow if no public options were available. There are 22 spaces in that lot. Chairman Chellman clarified that application does not include that property. Mr. Bosen confirmed that was correct. It is a small boutique inn. There is plenty of public parking in the vicinity. People will use uber and walk. Chairman Chellman commented that the advanced check in model will allow them to know how many cars were coming to the site. Mr. Bosen confirmed that was correct. It is a benefit to the advanced check in. They can notify guests of the public parking options and the overflow. Chairman Chellman clarified that the overflow was not part of this application. Mr. Bosen confirmed that was correct. It's an option but it is not part of this application.

City Council Representative Moreau commented that she was concerned because typically a tourist would have a car. It would be better to designate 3 additional spaces. Then they would have one space for each room. Some public parking options have limits or hours or days. It would be better to designate 3 spaces on the adjacent property in a covenant. Mr. Bosen confirmed the applicant was agreeable to that. Chairman Chellman questioned if the applicant was agreeable to an easement for that. Ms. Zendt commented that a recommended stipulation was to put up signage to mark those spaces as restricted for hotel parking. The dedicated spaces should be done through a parking covenant because it is one owner for both sites. Staff did not require this because it close to the Historic Overlay and 8 spaces do seem appropriately sized for the inn.

Ms. Begala questioned if the additional spaces were on the property next door. Mr. Bosen responded that they were not. They would be 500 yards away where Court St. and Middle St. intersect. Ms. Begala commented that most tourists will have a car, so 8 spaces should be and the parking covenant for 3 spaces should be required. Mr. Bosen confirmed they were willing to make that part of the condition of approval.

Mr. Harris agreed. There is the bus station, but they are not close enough to a major airport. Tourists will have cars. Mr. Bosen agreed.

Chairman Chellman requested a one-year report to see how this was doing and if it's adequate or needed at all. Mr. Bosen agreed.

PUBLIC HEARING

Elizabeth Bratter 159 McDonough St. appreciated the covenant idea because the south end was already overflowing. The parking lots that are in walking distance are full in the summer 24 hours a day.

Chairman Chellman asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

City Council Representative Moreau moved to grant a conditional use permit to allow a building or use to provide less than the minimum number of off-street parking spaces required by Section 10.1112.32 (five parking spaces on site), seconded by Vice Chairman Clark with the following stipulations:

- 1.1 Provide three additional parking spaces at 159 Middle St.
- 1.2 A parking covenant will be filed requiring three spaces located at 159 Middle St. to be restricted to the Inn use and signage be appropriately posted.
- 1.3 Applicant will report back to Planning Director in one (1) year regarding how the visitor parking needs are being met and if the approved parking plan is adequately addressing visitor and staff needs.

The motion passed unanimously.

V. PRELIMINARY CONCEPTUAL CONSULTATION

- A. The request of **One Market Square LLC (Owner)**, for the property located at **1 Congress Street** for Preliminary Conceptual Consultation to partially demolish existing buildings and construct a new 3 story structure with a short 4th story. Said property is shown on Assessor Map 117 Lot 14 and lies within Character District 4 (CD-4), Character District 5 (CD-5) and the Historic District. (LUPD-22-6)

Tracy Kozak spoke to the presentation. They have started work sessions with the HDC. The presentation will provide a high overview of the project, the context and history of the site, and then discuss the civil engineering. The goal is to connect public spaces via pedestrian ways. The site is in Market Square on the corner of High St. and Congress St. and across from the North Church. The parking lot is in the back of structure. Historically the right side was a hotel that burned down in the 1960s. It has been parking ever since. The wooden shed structures will be removed. The addition on back will connect to the masonry structures that front Congress St. There will be underground parking with 19 spaces and a car elevator accessed off Haven Court. The ground level will all be retail and restaurant. They will be matching floor levels for 3 stories and have a short 4th story. The roof line is just under 45 feet. The plan shows a pedestrian bridge because it is being discussed, however, that is not part of the application. They will restore existing facades. It is currently modern storefronts, and they will bring back the historical features. They are proposing a new dormer on 3 Congress St. The wood structure will become the new primary entrance to this block. There will be other secondary entrances as well.

Terrence Parker from Terra Firma commented that they were trying to create a site experience. The alleyway can go all the way through the McIntyre and they were trying to create excitement in the alleyway. There could be glass partitions and a labyrinth with a wellness and mindfulness theme. There could be stone benches that create an amphitheater above Gilley's. The alleyway would be well lit with arches. There would be a series of interesting stairs up from Fleet St. Lamp posts with glass prism lanterns would illuminate the path. The building creates a wayfinding image then continues through the alley.

John Chagnon commented that the site plan set is broken into the site development and off site. There is frontage on Congress St. and it backs to Haven Court. Part of it is a private right of way owned by the applicant. Haven Court continues as an area the City owns down to Fleet St. It has been blocked off for many years. Currently the building occupies the majority of the property. The lots have been merged, so now it is one lot. The back lot is currently vacant. High St. is narrow with some parking on the other side. The sidewalks are an insufficient width on both sides. It is cluttered with electrical conduits, pipes, and other utilities. The demo plan shows that they will take some of those additions on the back of Congress St. and the pavement will be removed. The plan shows they will build an additional building on the back of the existing building. The main pedestrian entrance will be off Ladd St. It connects at Market St. and the commercial alley. Eventually the developer hopes to connect commercial alley to the Worth Lot. The next sheet shows the utilities. They will put in underground electric and are

working with DPW to replace the sewer and water on High St. There will not be a lot of changes to the grading on Haven Court. It is very active for deliveries and trash removal. They need to keep the alley available for deliveries. The connector pedestrian bridge would be above the travel area if it was built. They are looking at providing an alternative to a street level dumpster. It will most likely be loaded into the basement and taken out through the garage. They will take out the curbs at the street level and make it possible for vehicles and pedestrians to coexist. They looked at levels of the building and the parking garage to understand where they could connect. It would impact 2 spaces if they made the connection.

Mr. Hewitt commented that the building looked historical and traditional, but the prism and sky way were more modern. Mr. Hewitt questioned if the prism was a stairway. Ms. Kozak responded that they were not a habitable space. It would be used for displays or potentially to show images of historical items or other landmarks in town. As people approach from Ladd St. they will see that shape in direct proportion of the church's steeple. It faces due north so as the sun swings to south it casts a shadow that sweeps with the time of day like a clock and the steeple. It is all glassy and metal at that end and masonry with smaller windows on the other. It is telling a progression of time and evolution.

Ms. Begala commented that she loves the labyrinth and creativity. The plan says that there will be 32% open space. Ms. Begala questioned what that percentage referred to. Mr. Chagnon responded that the definition of open space includes walkways. Open space in downtown Portsmouth is different than rural areas. Ms. Begala commented that still did not add up to 32%. That is a large number. Mr. Chagnon responded that the lot was currently bifurcated by zoning. The current parking lot is CD-4 and the front is CD-5. Chairman Chellman commented that they were showing 32.6% for the north, so it could be a typo. Mr. Chagnon agreed. Chairman Chellman commented that 10% was required for CD-4 and 5% was required for CD-5. They do not have 32%. Chairman Chellman questioned if they had any idea what it might be. Mr. Chagnon responded that it was complicated because it was two different lots. The rough math shows it's about 20%.

City Council Representative Moreau commented that they did not need to show the detailed numbers until they come back for the site plan approval. The section for deliveries on High St. is active, so they need to make sure plenty of room. They should keep in mind how many deliveries will happen and if they can get in and around the site. They need to think a lot about lighting for the area of Haven Court. Removing the dumpster would be good. The grade change makes it hard to not include stairs but they should consider big wide steps to help people with strollers maneuver.

Mr. Samonas commented that it was an excellent idea to connect commercial alley to Gilley's and Vaughn Court. Mr. Samonas requested more detail on how the back side of the building would interact with the street and the garage style windows. Ms. Kozak responded that the whole first floor will be retail and restaurant. This style of window will roll all the way up to allow in fresh air in nice weather and not be in the way.

Ms. Begala commented that the maximum height of the building is 40 feet, but the plan said 45 feet. Ms. Begala questioned if the building was higher than the maximum height and if it would

be the highest building around Market Square. Ms. Kozak responded that the height applies to the back part of the parcel. The height question is under review. They submitted a variance request but that was postponed until the zoning was further clarified. They are matching the height of the building it's attached to exactly. The building across High St. is at least as tall if not a little higher. The other building is the parking garage, and they are aligning the third floor with the upper level of the garage. Ms. Begala commented that it should not be higher than the steeple of the North Church. Ms. Kozak responded that it was lower than the steeple.

Vice Chairman Clark commented that the flat top roof is measured differently than a gable and hip roof. The ordinance says that if it's a flat top roof then they should be measuring from the top. The main entrance is a good historical façade, but the proposed addition seems to be swallowing it up a little. They may want to look into breaking the addition up with different facades. The pedestrian access is a fantastic idea. One issue related to the open space is car the elevator and cars coming out onto that. If they are counting that as open space, then they really have to do that tactfully. It should go above and beyond the typical warnings to make pedestrians feel welcome.

Mr. Samonas commented that trees and landscaping could have a separator effect between the public space on Haven Court and the restaurant and retail space. Landscaping will provide a more aesthetically pleasing view than the back of a parking garage.

Chairman Chellman questioned if the building was chamfered to allow for vehicles. Ms. Kozak responded that it was more of a notch. It was not for vehicles. They don't see cars going up and down the alley. There may be some trash chutes and hand trucks but there would be a subterranean trash room that would come up the elevator and out that way. Chairman Chellman questioned if they have studied the pedestrian connection had been tested to see if it was possible. Ms. Kozak responded that they have tested the height, size, and mass to see if a truck could go under it and if it was ADA accessible. They envision that the public could use the walkway to access the building's amenities. Chairman Chellman commented that he was personally opposed to pedestrian bridges because it impacts the level of pedestrians on the street. The prism will act like a clocktower but an actual clocktower would fit in better in this location.

Chairman Chellman closed the presentation.

VI. DESIGN REVIEW APPLICATION ACCEPTANCE

- A.** The request of **One Market Square LLC (Owner)**, for the property located at **1 Congress Street** requesting Design Review approval to partially demolish existing buildings and construct a new 3 story structure with a short 4th story. Said property is shown on Assessor Map 117 Lot 14 and lies within Character District 4 (CD-4), Character District 5 (CD-5) and the Historic District. (LUPD-22-6)

City Council Representative Moreau moved to accept the submitted materials for Design Review and schedule the public hearing for the April Planning Board meeting, seconded by Vice Chairman Clark.

Mr. Hewitt questioned if the dispute with the Zoning Board needed to be resolved before they voted on this. Ms. Zendt responded that variances and approvals from other commissions do not have to be resolved before this Board accepts the completeness and it goes through design review. The formal application may need to address that fully. They may identify things for variances through the TAC process and other presentations. At this stage they can identify what is needed, but it does not need to be completed.

The motion passed unanimously.

VII. OTHER BUSINESS

- A.** Request from **Michael J. O'Connor, Owner**, for property located at **163 Sparhawk Street** for a 1-year extension of the Wetland Conditional Use Permit granted on 2/18/2022. (LU-20-256)

DISCUSSION AND DECISION OF THE BOARD

This was voted on earlier in the agenda.

- B.** Review and discuss dates and topics for proposed training offered through the New Hampshire Municipal Association.

Ms. Zendt commented that in response for the request for training they reached out to NHMA to see what resources they have available. Steven Buckley provides some free training and some that costs money. The first session is free. They polled the Planning Board Members and March 30, 2022, at 6 pm will likely be the first special meeting to discuss roles and responsibilities. It will not take the full 2 hours, so they can work to identify an additional topic. They will be sending a similar poll out for April to host a joint meeting with the Conservation Commission to discuss the Wetland CUP. They will discuss the State law, understanding the ordinance and best practices. The topic of today is talk about the March 30, 2022, additional topic. They talked about beginning the meeting at 6 p.m. to have a discussion period before Mr. Buckley begins at 6:30 p.m.

Chairman Chellman commented that the Board has talked a lot about concerns on what Board does and how that ties into the Master Plan, regulations, and the Land Use Committee. Chairman Chellman will talk with Steven Buckley beforehand to find out what possible topics he may have. If a Board member has anything in particular, they would want to discuss feel free to raise it.

Ms. Begala requested that they use a different method to poll the members in the future because she did not see the poll and will not be able to attend the March 30, 2022, meeting. Ms. Begala questioned if they would be reviewing the roles and responsibilities that the Board already has training materials on or if it would be more in depth. Ms. Begala questioned if the meeting would be recorded. Chairman Chellman commented that he would follow up. They did not produce the handbook but are familiar with it. Ms. Begala commented that she attended a training hosted by PLAN today and it was very beneficial. They do it monthly and today's topic was about development as a regional initiative. They looked at the regional impact of projects.

City Council Representative Moreau commented they started doing those trainings online monthly and have always had an annual spring conference. They have been extremely informative, and training is a big part of being a Planning Board Member. A lot of Mr. Buckley's focus will be on exactly what the Planning Board's role is and how they see it from a legal and statutory side of things. It will not be straight out of the manual. There is a Regional Planning Association that looks at regional impact. The Planning Board has the right to consider if a has regional impact and reach out to the Rockingham Planning Commission. Then they would advise the Planning Board. They have done it in the past for 2 projects on Route 1 on the Greenland and Rye line.

Vice Chairman Clark commented that he attended a training hosted by Mr. Buckley in 2016 and found it very helpful. He was very good at going over the roles and responsibilities and touched on a lot of case law. It helped clarify when the Board is outside its legal bounds and what can happen.

C. Discuss upcoming staff presentation on housing data, trends, and needs.

Ms. Zendt commented that in response to the request for additional information and data Staff will be preparing a report for the April Planning Board meeting. It will be about the housing development in Portsmouth and housing trends for the past 5 years. They will be sharing housing data on the cost burden, need, and housing stock in Portsmouth. Council adopted a goal in producing a variety of housing. It is the same report they are giving to the Land Use Committee.

City Council Representative Moreau commented that the Land Use Committee was just getting started. They are charged with looking at any areas in the City for 79E revitalization. They are looking at the City owned property list. There is new legislation coming through and housing opportunity zones. There is a Housing Commission in the City it has not been active, but they did create a housing policy. They are evaluating to see if the Housing Committee would be a good thing to have. They would be an advisory role to Planning Board. At the regulatory meeting on April 8, 2022, they will look at a lot of the current zoning as it stands and how the ADU's are working. There is a whole list of current zoning that may need some adjustments. The next full committee meeting will happen May 13, 2022, and then starting in June it will be the first Friday every month at 9 a.m.

Mr. Samonas questioned what the status of the Housing Commission was. City Council Representative Moreau commented that legally it was there, but nobody is on it and it is not active. They are looking at it and discussing if it is needed. Long term, the Land Use Committee is something that make changes, but the Housing Commission is a standing committee that looks at it on a regular basis. All zoning changes will go to the Planning Board for review with a public hearing. Then it will go through the Council readings and enacted. It is not a quick process, but they hope to get the ball rolling.

Ms. Begala commented the report was going to be for 5 years, but she had requested a report for the past 10 years. It is important for the Planning Board to look at numbers to understand the

context of what is being built now and look at how to manage growth. The future forecasts are around growth, regulations, and comprehensive planning. The Planning Board has a planning role in which the Board has a legislative role to propose ordinance changes and a regulatory role to apply the ordinances. Ms. Begala was not sure how the Planning Board's role was different from the Land Use Committee. They need to follow the Master Plan. If the growth in town was changing the character of the town, then it no longer reflects the Master Plan. The Land Use Committee is guided by and reports to the City Council, but there was no mention of the Master Plan. The data they are gathering is also useful to the Planning Board. Ms. Begala commented that she was looking forward to the Board having a discussion about how to review the ordinance with an eye to ensure the rate of growth and character of the growth is in line with what the citizens and public input into the Master Plan. The big question was if they were still on track with the Master Plan or not. At the last meeting City Council Representative Moreau explained what the Land Use Committee was doing. It will give them a chance to take a structured look at immediate changes and focusing on City owned property.

City Council Representative Moreau commented that was one of the things they were focusing on. They do look at the ordinances but at the same time they don't enact changes. The true legislative body is the City Council. They are the final word on anything. Their direction and policy is what takes precedent. That Master Plan and building future Master Plan is part of the long look back to see if it was effective and. They are looking at many different things and more than just City properties. Ms. Begala commented that their training materials included a flow chart about what the Planning Board is doing, and Ms. Begala was still trying to understand her role and the Planning Board role. They should discuss it in a future session. Ms. Begala had not seen the active part of the Planning Board operate a lot. They should bring zoning ordinance revision recommendations to City Council based on the Master Plan. Ms. Begala questioned how they took a more active role around that.

Ms. Zendt commented on the legislative role of the Planning Board. Staff begins that work with the community and land use plays a role in setting the work plan. Then they bring that to the Planning Board and they help staff form the revisions. The Planning Board's work is to refine the changes. The Master Plan has a host of policies and goals. It is not at a granular level but a high-level vision. There can be any range of amendments needed to implement the Master Plan and all revisions should reflect that with the caveat of state law requirements. That takes precedence over the Master Plan. When Staff moves forward with a regular work plan of amendments the Planning Board will be active in contributing. Then it will go to City Council to approve it. The Land Use Committee is serving as an agent for Council to help develop a preliminary round of amendments. Ms. Begala questioned how a member of the Planning Board could submit a recommendation for revision as part of this process. City Council Representative Moreau responded that right now they are taking input from the public. Any member of the public can send a recommendation for zoning changes and provide feedback.

Chairman Chellman commented that the Land Use Committee was charged by Council specifically to do what it's doing. They are following Council direction. It will feed back to the Planning Board, and they will evaluate it with respect to the Master Plan. Then the Board can propose something and send to it to Council.

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Mr. Harris questioned what the process was to propose something. City Council Representative Moreau responded that right now anyone can send input. City Manager Conard added that Chairman Chellman and Vice Chairman Clark were serving on the Land Use Committee and proposals can be conveyed through them. City Council Representative Moreau commented that he could assemble the proposals in a document and send it to any one of us. They will get it to the Land Use Committee.

Ms. Begala commented that there should be a future discussion that would provide clarity on what distinguishes the Planning Board and Land Use Committee and how they are collaborating. City Council Representative Moreau confirmed there could be an update every month.

VII. ADJOURNMENT

City Council Representative Moreau moved to adjourn the meeting at 10:00 p.m., seconded by Vice Chairman Clark. The motion passed unanimously.

Respectfully submitted,

Becky Frey,
Secretary for the Planning Board



City of Portsmouth
Planning Department
1 Junkins Ave, 3rd Floor
Portsmouth, NH
(603)610-7216

Memorandum

To: Planning Board
From: Beverly Mesa-Zendt, Incoming Planning Director
Peter Britz, Environmental Planner/Sustainability Coordinator/Interim Planning Director Stefanie L. Casella, Planner
Date: March 11, 2022 – Revised March 17, 2022
Re: Recommendations for the March 17, 2022 Planning Board Meeting

I. APPROVAL OF MINUTES

Planning Department Recommendation

Board members should determine if the draft minutes include all relevant details for the decision making process that occurred at the February 17, 2022 meeting, and vote to approve meeting minutes with edits if needed.

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

A. The request of Cate Street Development (Owner), for property located at 428 US Route 1 Bypass, 406 US Route 1 Bypass, and 55 Cate St requesting Subdivision Review approval for a lot line adjustment.

Planning Department Recommendation

Vote to determine that this applications is complete according to the Subdivision Regulations, (contingent on the granting of any required waivers under Section III and IV of the agenda) and to accept the applications for consideration.

SITE PLAN REVIEW

A. The request of 238 Deer Street, LLC, (Owner), for property located at 238 Deer Street, requesting Site Plan Review approval.

- B.** The request of **Cate Street Development (Owner)**, for property located at **406 US Route 1 Bypass**, requesting Site Plan Review approval.
-

Planning Department Recommendation

Vote to determine that this applications is complete according to the Site Plan Review Regulations, (contingent on the granting of any required waivers under Section III and IV of the agenda) and to accept the applications for consideration.

III. PUBLIC HEARINGS -- OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

It is recommended that Item IIIA and IIIB be discussed together and voted on separately.

A motion is required to consider these items together.

- A. The request of **Cate Street Development (Owner)**, for property located at **406 US Route 1 Bypass**, requesting amended Site Plan Review approval to reconfigure and expand parking on Tax Map 172 Lot 2, Tax Map 172 Lot 1, and Tax Map 165 Lot 2 to contain 73 new spaces (52 covered); to renovate the existing structure on Tax Map 172 Lot 2; and to add a bioretention stormwater facilities, stormwater collection and treatment facilities on Tax Map 172 Lot 1 and Map 165 Lot 2. Said properties are shown on Assessor Map172 Lot 1, Map 172 Lot 2, and Map 165 Lot 2 and lie within the Gateway Corridor (G1) District. (LU-22-7)

- B. The request of **Cate Street Development LLC (Owner)**, and **Boston and Maine Corp (Owner)**, for properties located at **428 US Route 1 Bypass**, **406 US Route 1 Bypass**, and **55 Cate St** requesting Preliminary and Final Subdivision approval (Lot Line Revision) to convey 31,187 square feet from Map 165 Lot 14 to Map 172 Lot 2, Map 172 Lot 1 and Map 165 Lot 2 which will result in a total of 52,820 square feet lot area for Map 172 Lot 2, 126,500 square feet lot area for Map 172 Lot 1, and 260,789 square feet lot area for Map 165 Lot 2. Said properties are shown on Assessor Map172 Lot 1, Map 172 Lot 2, Map 165 Lot 2, and Map 165 Lot 14 and lie within the Transportation Corridor (TC) and the Gateway Corridor (G1) District. (LU-22-7)

Project Review and Approvals:

This application has been before the Technical Advisory Committee, ~~the Conservation Commission, and the Zoning Board of Adjustment~~. Please see below for more information on the review from each.

Technical Advisory Committee Review of Site Plan

At the February 1, 2022 meeting, the TAC voted to recommend approval with the following conditions:

1. The 10' temporary easement should be in favor of the developer.

2. The easement in favor of Millport does not actually touch the boundary where the water enters the property. Please revise. Also, on the planting plan the easement is still listed as to benefit the City of Portsmouth.
3. Ensure that the two handicapped spots for Building D are the closest to the entrance and that there is an accessible route into the structure.
4. The grease trap reserve area should be closer to the structure.
5. Ensure the existing granite culvert is tied into the drainage swale with proper headwall.
6. Show on plans location of retaining wall 4" underdrain shown on CD-552.
7. Proposed Parking Layout: The proposed parking expansion and layout appears to significantly increase the required off-street parking required under the Zoning Ordinance. Moreover, it also conflicts with the assumptions of the previous projected parking demands of this development. Consisting of a wide variety of land uses and services, the West End is assumed to be a walkable neighborhood. Thus, the proposed parking expansion appears to conflict with the stated objectives of the community vision for this property. Additionally, the area proposed for expansion is currently considered open space (including a dog park) and also acts as an important vegetated buffer to the active railroad corridor.
8. Alternative Parking Layout: If the evidence does not support the proposed parking expansion the open space areas should not be reduced or impacted. However, if the evidence does support the proposed parking expansion in order to complete the final phase of the overall redevelopment the applicant should consider the visual buffer and screening aspects of the existing wooded area along the railroad land (which is being proposed to be **converted to surface parking**). In order to mitigate the visual and environmental impacts on the project, the 76 spaces proposed for this area should be covered with an open shed-like structure and solar arrays should be considered for the roof given the likely solar gain at this location. The image below is an example of such a system. Additional consideration should be given to reduce encroachment on the dog park.

The applicant has worked with staff to address the concerns listed above. The remaining outstanding items have been carried forward as recommended stipulations of approval.

Planning Department Recommendation

- 1) *Vote to grant Preliminary and Final Subdivision Approval with the following stipulations:*
 - a. *Lot numbers as determined by the Assessor shall be added to the final plat.*

- b. Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat.*
- c. GIS data shall be provided to the Department of Public Works in the form as required by the City.*
- d. The final plat and all easement deeds shall be recorded concurrently at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*

2) Vote to grant Site Plan Approval with the following stipulations:

Conditions Precedent

- a. Applicant shall provide an updated site plan, utility plan, and lighting plan showing the two proposed parking structures (to cover 50 parking spaces and constructed to be substantially consistent with the detail provided in the submission package dated March 10, 2022) located along the southern boundary line along the rail road right of way; and a statement to planning staff confirming that section 10.1140 (Outdoor Lighting) has been is met.*
- b. The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
- c. The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.*
- d. The temporary construction easement along the railroad right-of-way should be shown on a recordable plan.*
- e. A drainage easement directly adjacent to the rail road right of way line (as there are actually two pipes coming through the bank) should be shown on a recordable plan.*

IV. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A.** The request of **238 Deer Street, LLC, (Owner)**, for property located at **238 Deer Street**, requesting Site Plan Review approval for demolition of the existing structure and the construction of a new 3-4 story mixed-use building with 21 residential units with a footprint of 5,263 +/- s.f. and 19,190 s.f. gross floor area with associated site improvements. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts. (LU-20-238)

Project Review, Decisions, and Recommendations:

This application has been before the Technical Advisory Committee, the Zoning Board of Adjustment, and the Historic District Commission. Please see below for more information on the review from each.

On February 18, 2021 the Planning Board granted Conditional Use Permit approval to allow no onsite parking where 12 spaces were required. On February 17, 2022 this approval was granted a 1-year extension.

Technical Advisory Committee Review of the Site Plan

At the December 7, 2021 Technical Advisory Committee meeting, the committee voted to recommend approval to the Planning Board with the following stipulations:

1. Show existing utilities on existing features plan and note any utility disruptions or removals on the demolition plan.
2. Easements shall be provided for all proposed work (grading, access, etc.) that is to occur on land other than the applicant's.
3. Proposed staging areas shall be identified during the CMMP development stage.
4. Applicant shall coordinate with abutting property owners to relocate the first 4 bike racks adjacent the commercial storefront windows.
5. Easements shall be provided to the City for the pedestrian alleyway access to the abutting public walkways.
6. Consider a decorative metal screen should be added along the proposed curb line in the abutting parking lot in order to provide better protection to the building.

The applicant has worked with staff to address the concerns listed above. The remaining outstanding items have been carried forward as recommended stipulations of approval.

Zoning Board of Adjustment Review and Decision

At the September 28, 2021 Zoning Board of Adjustment meeting the Board considered the following variance requests:

1. Variances from Section 10.5A41.10C to allow a) 2.5% open space where 10% is required; and b) a 3.5' rear yard where 5' is required.
2. A Variance from Article 15 to allow a structure to be designated as a penthouse with an 8' setback from the edge where 15' is required and 60% floor area of the story below where 50% is the maximum allowed as outlined in the definition of a penthouse.

Decision

As a result of this consideration the Board voted to grant the variance requests with the following stipulation:

1. Penthouse-level units shall not exceed 500 square feet.

Historic District Commission Review

At the November 3, 2021 Historic District Commission meeting the Commission voted to grant the Certificate of Approval with the following stipulations:

1. The bricks shall be finalized with a mockup prior to installation.
2. The applicant shall return with a final design for the parapet.
3. Photographic record of existing building shall be presented to the Planning Department and the Athenaeum prior to construction.

Planning Department Recommendations

1) Vote to grant Site Plan Approval with the following conditions:

Conditions Precedent

- a. Temporary easements will be needed for construction. Temporary easement language and area (to be identified on the plan) are to be obtained along eastern and western boundary lines in order to begin construction of the foundation.*

- b. A Construction Management and Mitigation Plan will be required to address, at minimum, access and use of the municipal ROW to construct the building, and proposed staging areas.*
- c. The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
- d. Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.*
- e. The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.*
- f. Engineer of record shall be established prior to issuance of building permit for the purpose of satisfying condition 1.h.*
- g. Correct existing conditions plans to show 2" water service from water main to the valve and 1" water service from the valve to the building.*

Conditions Subsequent

- h. The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;*
- i. A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City's Planning and Public Works Departments.*

IV. PUBLIC HEARINGS – NEW BUSINESS

The Board’s action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

B. REQUEST TO POSTPONE The request of **Donald Lowell Stickney III (Owner)**, for property located at **213 Jones Avenue** requesting Conditional Use Permit under section 10.814 of the Zoning Ordinance and modification of the standards set forth in Sections 10.814.40 or 10.814.52 through 10.814.56, to construct a new single family residence and convert the existing residence into a Detached Accessory Dwelling Unit totaling 886 square feet of living area. Said property is shown on Assessor Map 222 Lot 69 and lies within the Single Residence B (SRB) district. (LU-22-34) **REQUEST TO POSTPONE**

Planning Department Recommendations

Vote to postpone consideration to the April Planning Board meeting.

IV. PUBLIC HEARINGS – NEW BUSINESS

The Board’s action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- C. **REQUEST TO POSTPONE** The request of **Nerbonne Family Revocable Trust (Owner)**, for property located at **189 Gates Street** requesting a Conditional Use Permit under section 10.815 of the Zoning Ordinance and modification of the standards set forth in Section 10.815.30 for the conversion of an existing accessory structure (garage) into a garden cottage with 546 gross square footage of living space. Said property is shown on Assessor Map 103 Lot 6 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-30) **REQUEST TO POSTPONE**

Project Review, Decisions, and Recommendations

This application has been reviewed by staff and will be before the Zoning Board of Adjustments on March 15, 2022. Please see below for more information on the review from each.

Staff Review | Garden Cottage Standards 10.815.30

Different from an Accessory Dwelling Unit, a Garden Cottage that complies with the standards of Section 10.815 is otherwise exempt from the residential density standards of the Zoning Ordinance (e.g. minimum lot area per dwelling unit).

The Ordinance requires that a Garden Cottage comply with the following standards (Section 10.815.30).

Staff Review and Analysis

| Required Standard | Meets Standard | Does Not Meet Standard | Comments |
|---|-----------------------|-------------------------------|------------------------------------|
| 10.815.31. The existing accessory building shall not be expanded either vertically or horizontally, other than through the addition of a front entry not to exceed 50 sq. ft., or a side or rear deck not to exceed 300 sq. ft. | | ✓ | Modification Requested (see below) |
| 10.815.32 The garden cottage shall not be larger than 600 sq. ft. gross floor area. | ✓ | | Total 546 SF |
| 10.815.33 A garden cottage that is within the required yard for the zoning district shall not have any windows or doors higher than eight feet above grade facing the adjacent property. | ✓ | | |

| | | | |
|---|-----------------------|-------------------------------|--|
| T10.815.34. The principal dwelling unit and the garden cottage shall not be separated in ownership (including by condominium ownership); and either the principal dwelling unit or the garden cottage shall be occupied by the owner of the property. | ✓ | | Required condition per zoning ordinance. |
| Required Standard | Meets Standard | Does Not Meet Standard | Comments |
| Where municipal sewer service is not provided, the septic system shall meet NH Water Supply and Pollution Control Division requirements for the combined system demand for total occupancy of the premises. | ✓ | | Property is on municipal water service |

Request for Modifications:

The applicant requests following modification to 10.815.31 pursuant to Section 10.815.50 of the Zoning Ordinance as follows:

The applicant is proposing an expansion that includes a 192 SF addition and an 84 SF rear deck addition. The total expansion will be 276 SF.

Staff Analysis

Staff recommends approval of the modification for the following reasons:

1. The total 192 SF expansion seems reasonable to create a livable space for a new dwelling unit and meets the total limitation of 600 SF established in the ordinance.
2. The total expansion does not exceed the 350 SF expansion footprint contemplated in the ordinance.
3. Adequate space for off-street parking is still available on site.

Zoning Board of Adjustment (BOA)

At its March 15th BOA meeting, the Board will consider the following variance requests:

1. Variances from Section 10.521 to allow a) 35.5% building coverage where 30% is the maximum allowed; and
2. 1' right side yard where 10' is the minimum.

At the time of this publication, the BOA had not considered this request. Staff will provide an update on the BOA decision at the March 17, 2022 meeting of the Planning Board.

Planning Board Review Criteria

In order to grant a conditional use permit for a Garden Cottage, the Planning Board must first make the following findings (Sec. 10.815.40):

| Required Findings | Applicant Analysis |
|---|---|
| 1. Exterior design of the Garden Cottage is consistent with the existing single-family dwelling on the lot. | <i>Exterior siding, trim, windows and details are consistent with the existing dwelling. The garage was renovated in 1998 to complement the newly renovated house. The elevation drawings and photos on dwg. 3 of 3 clearly show this.</i> |
| 2. The site plan provides adequate open space, landscaping and off-street parking for both the Garden Cottage and the primary dwelling. | <i>The garden cottage with the addition and deck is located to have minimal impact on the existing +/- 1 B00sf landscaped rear yard. This is shown on dwg. 1 of 3. The existing driveway will not change & can easily accommodate 3 vehicles.</i> |
| 3. The Garden Cottage will maintain a compatible relationship to adjacent properties in terms of location and design, and will not significantly reduce the privacy of adjacent properties. | <i>The garden cottage will have no windows on the right side and the deck will have just 6' of exposure to that right side. At the rear, the adjacent property is the Point of Graves Cemetery and the proposed addition to the garden cottage will break up the existing blank wall at the rear of the garage. At the left side the garden cottage is more than 30ft away from the adjacent property. All of the attached drawings & photos help to illustrate this.</i> |
| 4. The Garden Cottage will not result in excessive noise, traffic or parking congestion. | <i>There is adequate parking for the garden cottage (dwg. 1 of 3) and the family oriented residential use will not result in excessive noise.</i> |

Planning Department Recommendations

- 1) *Vote to grant a modification to the requirements set forth in section 10.815.31 to allow for an expansion that includes a 192 SF addition and an 84 SF rear deck addition.*

- 2) *Vote to find that the application meets the requirements set forth in Section 10.815.40 of the Zoning Ordinance and to grant the Conditional Use Permit.*

IV. PUBLIC HEARINGS – NEW BUSINESS

- D. The request of **Treadwell House Inc. (Owner)**, for property located at **70 Court Street** requesting a Conditional Use Permit under section 10.112.14 of the Zoning Ordinance to provide five (5) parking spaces where 11 are required. Said property is shown on Assessor Map 116 Lot 49 and lies within the Character District 4-L1 (CD4-L1) and Historic District. (LU-22-10)

Project Review, Decisions, and Recommendations

This application has been before the Technical Advisory Committee and the Zoning Board of Adjustment.

Technical Advisory Committee (TAC) Work Session

The Planning Director has determined this project meets the criteria set forth in Section 1.2.2 of Site Plan Regulations for an exemption from site plan review. In accordance with Section 10.1112.14, which sets forth criteria for considering a Conditional Use Permit to allow less than the required parking, the Technical TAC reviewed the project and the parking demand analysis submitted by the applicant.

The TAC provided the following comments to the applicant:

1. Provide three additional parking spaces at 159 Middle St.
2. Signage shall be posted restricting three spaces for hotel use only.

The Planning Board may also consider that a Parking Covenant (enforceable by the city) be placed on 159 Middle St. to ensure that the three parking spots remain should the property be conveyed to another party.

Zoning Board of Adjustment (BOA)

The Zoning Board of Adjustment, at its regularly scheduled meeting of Tuesday, February 15, 2022, considered the application for the conversion of the building into an 8 room inn with caretaker residence which requires the following:

1. A Variance from Section 10.440 Use #10.30 to allow an Inn where the use is not permitted.
2. A Variance from Section 10.114.21 to allow a 13' maneuvering aisle where 24' is required. Said property is shown on Assessor Map 116 Lot 49 and lies within the Character District 4-L1 (CD4-L1).

Decision: As a result of said consideration, the Board voted to grant the request as presented and advertised.

Conditional Use Permit (off-street parking) Review

10.1112.14 *The Planning Board may grant a conditional use permit to allow a building or use to provide less than the minimum number of off-street parking spaces required by Section 10.1112.30, Section 10.1112.61 or Section 10.1115.20, as applicable, or to exceed the maximum number of off-street parking spaces allowed by Section 10.1112.51*

10.1112.141 An application for a conditional use permit under this section shall include a parking demand analysis, which shall be reviewed by the City's Technical Advisory Committee prior to submission to the Planning Board, demonstrating that the proposed number of off-street parking spaces is sufficient for the proposed use.

10.1112.142 An application for a conditional use permit under this section shall identify permanent evidence-based measures to reduce parking demand, including but not limited to provision of rideshare/microtransit services or bikeshare station(s) servicing the property, proximity to public transit, car/van-pool incentives, alternative transit subsidies, provisions for teleworking, and shared parking on a separate lot subject to the requirements of 10.1112.62.

10.1112.143 The Planning Board may grant a conditional use permit only if it finds that the number of off-street parking spaces required or allowed by the permit will be adequate and appropriate for the proposed use of the property. In making this determination, the Board may accept, modify or reject the findings of the applicant's parking demand analysis.

10.1112.144 At its discretion, the Planning Board may require more off-street parking spaces than the minimum number requested by the applicant, or may allow fewer spaces than the maximum number requested by the applicant.

10.1112.141 An application for a conditional use permit under this section shall include a parking demand analysis, which shall be reviewed by the City's Technical Advisory Committee prior to submission to the Planning Board, demonstrating that the proposed number of off-street parking spaces is sufficient for the proposed use.

10.1112.142 An application for a conditional use permit under this section shall identify permanent evidence-based measures to reduce parking demand, including but not

limited to provision of rideshare/microtransit services or bikeshare station(s) servicing the property, proximity to public transit, car/van-pool incentives, alternative transit subsidies, provisions for teleworking, and shared parking on a separate lot subject to the requirements of 10.1112.62.

Planning Department Recommendations

1) Vote to grant a conditional use permit to allow a building or use to provide less than the minimum number of off-street parking spaces required by Section 10.1112.32 (five parking spaces on site) with the following stipulations.

- a) Provide three additional parking spaces at 159 Middle St.*
- b) Signage shall be posted restricting three spaces for hotel use only.*

V. PRELIMINARY CONCEPTUAL CONSULTATION

- A. The request of **One Market Square LLC (Owner)**, for the property located at **1 Congress Street** for Preliminary Conceptual Consultation to partially demolish existing buildings and construct a new 3 story structure with a short 4th story. Said property is shown on Assessor Map 117 Lot 14 and lies within Character District 4 (CD-4), Character District 5 (CD-5) and the Historic District. (LUPD-22-6)

Description

The applicant has provided a set of preliminary plans for discussion with the Board.

As authorized by NH [RSA 676:4,II](#), the Site Plan Regulations require preliminary conceptual consultation for certain proposals, including (1) the construction of 30,000 sq. ft. or more gross floor area, (2) the creation of 20 or more dwelling units, or (3) the construction of more than one principal structure on a lot. Preliminary conceptual consultation precedes review by the Technical Advisory Committee.

Preliminary conceptual consultation is described in the state statute as follows:

[Preliminary conceptual consultation]... shall be directed at review of the basic concept of the proposal and suggestions which might be of assistance in resolving problems with meeting requirements during final consideration. Such consultation shall not bind either the applicant or the board and statements made by planning board members shall not be the basis for disqualifying said members or invalidating any action taken. The board and the applicant may discuss proposals in conceptual form only and in general terms such as desirability of types of development and proposals under the master plan.

The preliminary conceptual consultation phase provides the Planning Board with an opportunity to review the outlines of a proposed project before it gets to detailed design (and before the applicant refines the plan as a result of review by the Technical Advisory Committee and public comment at TAC hearings). In order to maximize the value of this phase, Board members are encouraged to engage in dialogue with the proponent to offer suggestions and to raise any concerns so that they may be addressed in a formal application. Preliminary conceptual consultation does not involve a public hearing, and no vote is taken by the Board on the proposal at this stage. Unlike Design Review, completion of Preliminary Conceptual Consultation does not vest the project to the current zoning.

Planning Department Recommendations

Board members should review section 3.A.2 Preliminary Conceptual Consultation Phase of the [Site Plan Regulations](#).

Board members should review sections of the [Zoning Ordinance](#) that may apply to this application. Possible sections may include but are not limited to:

- *Section 10.521 Table of Dimensional Standards*

VI. DESIGN REVIEW – APPLICATION ACCEPTANCE

- A. The request of **One Market Square LLC (Owner)**, for the property located at **1 Congress Street** requesting Design Review approval to partially demolish existing buildings and construct a new 3 story structure with a short 4th story. Said property is shown on Assessor Map 117 Lot 14 and lies within Character District 4 (CD-4), Character District 5 (CD-5) and the Historic District. (LUPD-22-6)

Description

This item is a request for Design Review under the Site Plan Review Regulations. Under the State statute ([RSA 676:4,II](#)), the Design Review phase is an opportunity for the Planning Board to discuss the approach to a project before it is fully designed and before a formal application for Site Plan Review is submitted. The Design Review phase is not mandatory and is nonbinding on both the applicant and the Planning Board.

Although the State statute calls this pre-application phase “design review,” it does not encompass review of architectural design elements such as façade treatments, rooflines and window proportions. Rather, it refers to site planning and design issues such as the size and location of buildings, parking areas and open spaces on the lot; the interrelationships and functionality of these components, and the impact of the development on adjoining streets and surrounding properties.

The process as outlined in Section 2.4.3 of the Site Review regulations is that the Board first has to determine that the request for design review includes sufficient information to allow the Board to understand the project and identify potential issues and concerns, and, if so, vote to accept the request and schedule a public hearing. *Completion of the design review process also has the effect of vesting the project to the current zoning for 1 year.*

Design review discussions must take place in a public hearing. At the conclusion of the public hearing process, the Board makes a determination that the design review process for the application has ended.

In accordance with Section 2.4.3 (1-4) of the Site Review regulations, on the January 27, 2022 meeting of the Planning Board, the Planning Board voted to accept the request for design review and to schedule a public hearing, finding that the proposal included sufficient information to allow the Board to understand the project and identify potential issues and concerns. Once the application has been accepted by the Planning Board, the following sections are applicable.

Site Plan Review Regulations – Article 2, Section 2.4.3: Design Review Phase

1. *The applicant may request to meet with the Board for nonbinding discussions of a potential application that involve more specific design and engineering details than in the preliminary conceptual consultation phase.*
2. *A request for design review accompanied by all plans and exhibits shall be submitted to the Planning Department at least 14 days prior to the date of a scheduled meeting of the Board via the City's online permitting system as well as in hard copy. The total number of hard copies required shall be determined by the Planning Director.*
3. *The request for design review shall include enough of the information listed in Section 2.5.3(1) and plans displaying enough of the information listed in Section 2.5.4(3) so that the Board is able to review the project. Detailed engineering of infrastructure and utilities are not required at the design review phase, but the information listed in Section 2.5.4(3) should be displayed in sufficient detail to enable the Board to understand the proposed project and identify potential issues and concerns.*
4. *At a regular meeting of the Planning Board, the Board shall determine if the request for design review includes sufficient information to allow the Board Site Plan Review Regulations 6 November 2020 to understand the project and identify potential issues and concerns, and shall vote on whether to accept the request for design review and to schedule a public hearing. If the Board determines that the request does not describe the proposed project in sufficient detail, it shall notify the applicant of the specific deficiencies that need to be addressed.*
5. *Design review discussions shall take place in a public hearing at a regularly scheduled meeting of the Planning Board, after notice to abutters, holders of conservation, preservation, or agricultural preservation restrictions, and the general public as required by State statute.*
6. *At any public meeting of the Planning Board, the Board may determine that the design review process of an application has ended and shall inform the applicant in writing within 10 days of such determination.*

Planning Department Recommendations

Board members should identify if the submitted materials are adequate for Design Review Consideration

If submitted materials are sufficient, vote to find that Design Review application is complete and to schedule the public hearing to take place at the April 21, 2022 Planning Board meeting.

VII. OTHER BUSINESS

- A. Request from **Michael J. O'Connor, Owner**, for property located at **163 Sparhawk Street** for a 1-year extension of the Wetland Conditional Use Permit granted on 2/18/2022. (LU-20-256)

Description

This application received Planning Board approval on February 23, 2021. The approval expires one-year from the date granted. The Planning Board may, for good cause shown, extend such period by as much as 1-year if requested and acted upon prior to the expiration date. The original letter of decision and approved site plan are included in the packet for reference.

Please see Section 2.14 of the [Site Plan Review Regulations](#) to reference application approval, expiration and extension steps.

Planning Department Recommendations

Vote to grant a 1-year extension of the Conditional Use Permit.

VII. OTHER BUSINESS

- B. Review and discuss dates and topics for proposed training offered through the New Hampshire Municipal Association.

Stephen C. Buckley, Legal Services Counsel for the NH Municipal Association, has been contacted to provide training to Portsmouth Planning Board members. As a member city of the NH Municipal Association, a session of training is available to the city without charge. The first session of training would be for two hours - with the first hour dedicated to the topic of Planning Board Roles and Responsibilities. Staff would like to set a special meeting date for March 30, 2022 at 6:00 p.m.

Planning staff would like to discuss additional topics of interest and possible dates for a second April training session when the Planning Board will have a joint meeting with the Conservation Commission to receive training from the New Hampshire Municipal Association on Wetland Conditional Use Permits.

- C. Discuss upcoming staff presentation on housing data, trends, and needs.

In response to requests for information and additional data related to housing development and housing needs in the city, staff is preparing a report for the April Planning Board meeting that will cover the following topics:

- *Housing development in Portsmouth- data and trends for the past five years;*
- *Portsmouth–American Community Survey- five year average housing data released annually; and*
- *Assessor’s data on current housing stock and housing types in Portsmouth.*

This report will be used to inform regulatory amendments that will be developed and recommended for adoption by Land Use Committee and the Planning Board consistent with the City Council adopted goals of diversifying and enhancing the supply of housing choices in Portsmouth.

X. ADJOURNMENT

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

July 20, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Greg Mahanna, Peter Harris, James Hewitt, and Jayne Begala

.....

ALSO PRESENT: Peter Stith, Principal Planner

MEMBERS ABSENT: Alternate Andrew Samonas

.....

REGULAR MEETING 7:00 pm

I. APPROVAL OF MINUTES

A. Approval of the **June 15, 2023** meeting minutes.

*The June 15 minutes were **approved** as amended by unanimous vote, 9-0.*

B. Approval of the **June 22, 2023** meeting minutes.

*The June 22 minutes were **approved** as presented by unanimous vote, 9-0.*

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

A. The request of **Murdock Living Trust (Owner), 15 Lafayette Road** requesting Preliminary and Final Subdivision Approval to subdivide one lot into two lots to create the following: Proposed Lot 1 to be 9,129 square feet of lot area and 73.8 feet of frontage and Proposed Lot 2 to be 8,172 square feet of lot area and 102 feet of frontage.

SITE PLAN REVIEW

Councilor Moreau moved to determine that the application is complete according to the Subdivision Review Regulations (contingent on the granting of any required waivers under

Sections IV of the agenda) and to accept the application for consideration. Vice-Chair Clark seconded. The motion passed by unanimous vote, 9-0.

- A. REQUEST TO POSTPONE** The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. **REQUEST TO POSTPONE**

Mr. Mahanna moved to postpone the petition, seconded by Vice-Chair Clark. The motion passed by unanimous vote, 9-0.

III. PUBLIC HEARINGS – NEW BUSINESS

- A.** The request of **CP Management Inc (Applicant)** and **Sarnia Properties INC, (Owner)**, for property located at **933 US Route 1 BYP** requesting a Conditional Use Permit in accordance with Section 10.1112.14 of the Zoning Ordinance to provide 83 parking spaces where 114 are required. Said property is located on Assessor Map 142 Lot 37 and lies within the Business (B) District. (LU-23-76)

SPEAKING TO THE APPLICATION

[Timestamp 5:00] Attorney Chris Mulligan was present on behalf of the applicant CJA Corporation aka Vanguard Key Club. He reviewed the petition. He noted that the site plan and parking calculation indicated that there are 82 spaces on the site but that 83 spaces were advertised. He discussed where they could fit two additional spaces. Chairman Chellman said the notice stated that Attorney Mulligan was representing CP Management and Sarnia. Attorney Mulligan replied that CP Management represents the landlord Sania and that his client would be a tenant of CP Management and that he had authorization on file from CP Management to represent CJA Corporation. Attorney Mulligan continued to review the application and said the application met all the criteria for a Conditional Use Permit.

[Timestamp 15:29] Mr. Mahanna asked if the future NH Motorcycle facility was the 2-story office space across the street. Attorney Mulligan said it was where Rexall used to be. Councilor Moreau remarked that Attorney Mulligan said the access point for the specific unit was only from that parking lot, but she said it looked like two sides of the parking lot weren't accessible from one to the other. She asked if any of the other units were accessible from the parking lot. Attorney Mulligan said he did not believe so. He said there were stairwells that ran from the lower parking area, so the lower and upper parking lots could be accessed, but there were no other facilities that accessed the building from the upper lot. Mr. Mahanna asked if the Board could ask for a one-year report back, and Attorney Mulligan agreed. Chairman Chellman asked if a need for overflow parking was anticipated, and Attorney Mulligan said was not. Ms. Begala asked what the average space allotment was for the other Vanguard Key Club sites. Attorney Mulligan said it would require cross-referencing but the full membership was expected to be ported over from Raynes Avenue. He said the historical information provided was from Raynes

Avenue but the demand would be for 933 Route One because the two facilities wouldn't be open at the same time. Mr. Harris asked how much smaller the Raynes Avenue lot was. Attorney Mulligan said that parking lot held 41 spaces and the new parking lot would be the same size.

Chairman Chellman opened the public hearing.

PUBLIC HEARING

No one spoke, and Chairman Chellman closed the public hearing.

DECISION OF THE BOARD

*Note: The original motion made was **amended** after further discussion [Timestamp 21:04]*

Vice-Chair Clark moved to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1112.14 and to adopt the findings of fact as presented. Councilor Moreau seconded. The motion passed by unanimous vote, 9-0.

*Vice-Chair Clark moved to find that the number of off-street parking spaces provided will be adequate and appropriate for the proposed use of the property and to **grant** the conditional use permit with the following **conditions**:*

- 2.1) The applicant shall submit a written report to the Planning Department one year after opening evaluating the parking usage.*
- 2.2) The parking spaces as depicted on Sheet C-3 on the current loading dock area can be used for parking as necessary.*

*Councilor Moreau seconded. The motion **passed** by unanimous vote, 9-0.*

- B. REQUEST TO POSTPONE** The request of **Tanner Family Revocable Trust (Owner)**, for property located at **380 Greenleaf Avenue** requesting a Wetland Conditional Use Permit according to Section 10.1017 of the Zoning Ordinance for the construction of a new 20 x 20' one-story garage on a residential property with various additions of native buffer plantings and areas of storm water improvement to mitigate any impervious impacts from the garage. The proposal includes removal of 885 square feet of impervious asphalt, installation of 2' drip edge of crushed stone around the perimeter of the garage and 484 square feet of pervious pavers leading up to the garage where asphalt currently exists. Additional planting beds are proposed in areas of existing asphalt. Said property is located on Assessor Map 243 Lot 63 and lies within the Single Residence B (SRB) District. **REQUEST TO POSTPONE (LU-23-62)**

DECISION OF THE BOARD

Mr. Mahanna moved to postpone the petition to the August meeting, seconded by City Manager Conard. The motion passed by unanimous vote, 8-0, with Councilor Moreau recused.

- C. The request of **Murdock Living Trust (Owner), 15 Lafayette Road** requesting Preliminary and Final Subdivision Approval to subdivide one lot into two lots to create the following: Proposed Lot 1 to be 9,129 square feet of lot area and 73.8 feet of frontage and Proposed Lot 2 to be 8,172 square feet of lot area and 102 feet of frontage. Said property is located on Assessor Map 152 Lot 2 and lies within the General Residence A (GRA) and Historic Districts. (LU-23-26)

SPEAKING TO THE APPLICATION

[Timestamp 26:20] Ryan Fowler of James Verra and Associates was present on behalf of Trustee Jeff Murdock, who was also present. He said they proposed an additional lot subdivision, noting that the original house fronts on Lafayette Road and the new parcel will front on Orchard Street. He said the existing parcel was granted a variance because it lacked the minimal required amount of frontage. He said his client had no desire to develop the lot and planned to sell it. He said they met with TAC and agreed to add Notes 14 through 18 on the plan to let the new buyer know that the City required the items to be completed prior to issuing a building permit.

[Timestamp 28:18] Chairman Chellman asked if Note 15 had been corrected, and Mr. Fowler agreed. Mr. Almeida commented that it was a great opportunity to carve a lot out of a piece of property that was a unique situation.

Chairman Chellman opened the public hearing.

PUBLIC HEARING

No one spoke, and Chairman Chellman closed the public hearing.

DECISION OF THE BOARD

*Vice-Chair Clark moved to **grant** the requested waivers to the Subdivision Standards from Section VI General Requirements #5 Driveways, #6 Drainage Improvements, #7 Municipal Water Services, #8 Municipal Sewer Services, #9 Installation of Utilities and #14 Erosion and Sedimentation Controls, because strict conformity would pose an unnecessary hardship to the applicant and waiver would not be contrary to the spirit and intent of the regulations. Mr. Mahanna seconded. The motion passed by unanimous vote, 9-0.*

Vice-Chair Clark moved to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as presented. Mr. Almeida seconded. The motion passed by unanimous vote, 9-0.

*Vice-Chair Clark moved to **grant** Preliminary and Final Subdivision Approval with the following conditions:*

- 2.1) The subdivision plan and any easement plans and deeds shall be recorded simultaneously at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
- 2.2) Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat;*
- 2.3) GIS data shall be provided to the Department of Public Works in the form as required by the City;*
- 2.4) Prior to issuance of a building permit, owner shall obtain necessary permits or approvals from DPW to serve the site.*

Councilor Moreau seconded. The motion passed by unanimous vote, 9-0.

- D.** The request of **ADL 325 Little Harbor Road Trust (Owner)**, for property located at **325 Little Harbor Road** requesting a Wetland Conditional Use Permit according to Section 10.017 of the Zoning Ordinance for the replacement of the existing bridge with a timber pile bridge and removal of the existing causeway. The project proposes permanent impacts within the wetland buffer of 36,358 square feet and 3,443 square feet of permanent impacts within the tidal wetland. Said property is located on Assessor Map 205 Lot 2 and lies within the Rural (R) District. (LU-23-81)

SPEAKING TO THE APPLICATION

[Timestamp 32:06] Lead environmental scientist and certified NH wetlands scientist Jay Aube of TFMoran was present on behalf of the applicant and reviewed the petition and criteria.

[Timestamp 51:22] Councilor Moreau asked if wood piles were currently holding up the bridge. Mr. Aube said they were metal piles reinforced with different mechanisms. Councilor Moreau asked if there was an anticipated length of time that the new bridge would last. Mr. Aube said it would last beyond 2100. He said there were a lot of recreational folks who used the area, and the span would not decrease at all. Ms. Begala said the piles would be coated with acrylic and asked how the applicant would ensure that the construction materials would be clean and that organisms would not be added to the environment. Mr. Aube said they normally took materials from facilities that had clean fill, but in this instance they would utilize the existing material to return the site to its original grade. He said if anything, materials would be removed from the site. He said the piles would be wooden and there would be no opportunity to bring in any kind of invasive species but if one were to travel on a pile, it would be unlikely that it could survive the salt conditions. He said the Environmental Protection Agency (EPA) initially had concerns about the butternut oil but it was found that it wouldn't have any adverse impact. Ms. Begala said the bridge's height would be increased by about four feet and asked whether that required additional materials. Mr. Aube said additional material would be from reputable sources that have clean material. Ms. Begala said the concrete block remnants would sink into the mud sedimentation and asked why they wouldn't be removed. Mr. Aube said that some of those structures were so imbedded that they may not be able to be removed, so instead of spending time and resources to dig them up, they decided to cut them two feet below the grade of the mud

flat. He said by removing the tidal restrictions, the silt and sediment would gradually fill over the areas of the remaining concrete two feet below. He said he was confident that the bulk of the materials could be removed. Ms. Begala said there would be a visual impact by increasing the height of the ridge four feet and that more kayakers would be attracted to the area if the tidal restriction was reduced and the width of the channel area was kept. Mr. Aube said the construction would not impede access to kayakers from the northerly part of the island. He agreed that the bridge would be four feet higher but said it would look better. Chairman Chellman said the view of it would change but didn't think the Board had the criteria to judge the visual impacts. Ms. Begala asked how decreasing the tidal restriction would not change the retention of nutrients found in that area. Mr. Aube said they proposed the method prescribed by the 2019 NHDES wetland rules. He said they looked at all tidal restrictions in the seacoast area and now to decrease the hydraulic capacity and return systems to their natural ecological state. He said he was confident they had achieved that and would monitor it. Chairman Chellman asked if it was a restoration of the natural conditions and enhancement beyond what was there today. Mr. Aube agreed. Ms. Begala asked how increasing the hydraulic capacity would provide the same nutrients or more nutrients to support the living organisms in that area. Mr. Aube said they wanted vegetation to utilize the nutrients and absorb them and that they were increasing the likelihood of scouring occurring along the shoreline by increasing the hydraulic capacity and slowing down the water. He said increasing the vegetation on the shoreline with the salt marsh addition gave more opportunity to treat and handle stormwater and attenuate the nutrients. Mr. Hewitt asked what the bridge weight loading capacity was rated for and if it would handle all fire equipment. Mr. Aube said he didn't have the numbers but that it was being designed to accommodate all emergency vehicles at the local level and that the the Conservation Commission confirmed that it met that criteria.

Chairman Chellman opened the public hearing.

PUBLIC HEARING

No one spoke, and Chairman Chellman closed the public hearing.

DECISION OF THE BOARD

*Vice-Chair Clark moved to **grant** the Wetland Conditional Use permit with the following **conditions**:*

2.1) In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall install permanent wetland boundary markers adjacent to the freshwater wetland areas during project construction. These can be purchased through the City of Portsmouth Planning and Sustainability Department.

2.2) Applicant shall provide a monitoring report detailing the success of the planting plan one year after project completion and demonstrate compliance with the NHDES monitoring requirements when complete.

- 2.3) *The Salicornia be relocated or added to the planting plan as additional plantings.*
- 2.4) *An independent wetland scientist that specializes in salt marsh restoration shall be hired to review the salt marsh restoration plan and provide comments back to the applicant.*
- 2.5) *The applicant shall research ways to reduce the disturbance to the local Nudibranch fish population.*

Councilor Moreau seconded. The motion passed by unanimous vote, 9-0.

- E. REQUEST TO POSTPONE** The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District. **REQUEST TO POSTPONE (LU-20-259)**

DECISION OF THE BOARD

The petition was postponed to the August meeting.

IV. PRELIMINARY CONCEPTUAL CONSULTATION

- A. The request of Atlas Commons LLC (Owner)**, for property located at **581 Lafayette Road** requesting an addition to the existing commercial building for residential dwelling units with the associated site improvements. Said property is shown on Assessor Map 229 Lot 0229-008B and lies within the Gateway Corridor (G1) District. (LUPD-23-5)

[Timestamp 1:12:48] Project architect Tracy Kozak was present on behalf of the applicant to review the petition, along with owner Mark McNabb. Ms. Kozak said they proposed to build two apartment buildings and use the workforce housing incentive. She said there would also be a level of underground parking. She said there was a right-of-way easement across the back for neighboring properties. She reviewed the floor plans and said they met the required parking on site and that they also had a shared parking analysis. She said the apartments would range from studios to five bedrooms but most would be two bedrooms. She said they were also seeking variances for building length and coverage.

[Timestamp 1:23:05] Ms. Conard said several bedrooms didn't have windows. Ms. Kozak said the apartments on the second floor where the building butted up against the back of the existing building didn't have windows, but the corridor was on the outside and on top of that was glass for borrowed light. She said the apartments would also get borrowed light from the skylights and transoms. Ms. Begala asked what the range of living areas was for the different sized units. Ms. Kozak said the smallest units were 500 square feet and the largest apartment was 1,952 square feet. Ms. Begala asked if they would tower above the Winchester Apartments. Ms. Kozak said they were not right next to the Winchester Apartments, which were three stories. She said the applicant's buildings were four stories in the middle and three stories at the end. Ms. Begala

asked if there would be green space. Ms. Kozak said there were landscaped areas on the west and north sides of the building as well as a patio.

[Timestamp 1:27:05] Mr. McNabb addressed the Board and said he purposely kept the full 24-ft double travel lane behind the building on the side of the Winchester Apartments, so his building was pulled far away from that lot line. He discussed the Gateway District briefly and noted that the site was a sea of parking lot. He said the greenscape on the side of Ledgewood Drive would remain. On the front, he said there was a nice relief because that part of Route One was recently developed and benefited the parcel with modern amenities. He said the vast amount of parking was a waste of property, especially when additional housing was needed. He said smaller units were more helpful to get affordable rates.

[Timestamp 1:33:31] Councilor Moreau said the entrance closest to Lafayette Road was an entrance only and not an exit and she had seen many cars exit that entrance. She said it would be helpful to design it to keep people from doing that. She said she was part of the creation of the Gateway District and they were figuring out how they could incentivize things more. Mr. Mahanna asked if there was a percentage that would be allocated to workforce housing and if so, what would be asked for in exchange. Ms. Kozak said they would comply with the required minimum of 20 percent. She said the benefit was being allowed to have two buildings with 24 units each, and workforce housing allowed that to be increased to 36 units. Mr. Mahanna asked if there would be spaces for bike racks, scooters and bikes. Mr. McNabb agreed.

[Timestamp 1:36:55] Mr. Hewitt asked if the applicant would commit to the standard RSA in Portsmouth zoning, which was 20 percent, and that 20 percent would rent for 60 percent of AMI (area median income). Mr. McNabb said they would comply with the 20 percent and would also have pilot programs that included having the renter's employer pay the security deposit. Mr. Hewitt asked if the rest of the units would be market rate. Mr. McNabb said they would be market rate by definition but lower. Mr. Hewitt asked if it was realistic to propose 61 apartments and provide only 54 parking spaces. Ms. Kozak said a studio apartment required a half parking space, so she thought it was realistic because a lot of those renters didn't drive. Mr. Hewitt noted that the West End Yards had a lot of apartments that small and every tenant owned a car. He said the buildings would have to have between 102 and 116 spaces in Dover. Mr. McNabb said they complied with the parking requirement and pointed out that the parcel was unique. He said there was a cross agreement with Bowl-O-Rama that tenants could park on free spaces, so he thought the combination of the amount of parking in that area with the development's subterranean parking was sufficient. He said there were parking easements. Mr. Hewitt asked if the neighbors understood that the development would place a huge new demand for parking in that area. Chairman Chellman asked that it not be debated. He said Mr. McNabb might have data based on what his other tenants were doing in similar locations and with similar rent scales. He said if people used scooters, bikes, and transit, they would park less, and if there was a lot of parking provided, a need for more parking would be generated because it would attract people with cars. Mr. Hewitt asked if visitor parking was included in the applicant's calculations, and he noted that the property seemed to encroach to the west. Mr. McNabb said he would speak to the project engineer about it but he didn't believe that any of their parking was off their site.

[Timestamp 1:46:46] Ms. Begala said she thought there should be amenities for children on the site. Mr. McNabb said the development was near the high school fields. Chairman Chellman asked if the applicant wanted a Conditional Use Permit for parking. Mr. McNabb said he didn't because he believed they complied with the parking requirement. Chairman McNabb asked what was happening in the corner with all the dumpsters. Mr. McNabb said he would look into it and also the encroachment issue. Mr. Almeida asked if there were recreational spaces for children inside the buildings. Mr. McNabb said there were not but that he would look into it.

[Timestamp 1:51:35] Vice-Chair Clark said there was a lot of stormwater infrastructure on Ledgewood Drive that cut across the applicant's site and dove off into the Bowl-O-Rama site. He said he assumed that there would be a lot of roof drains tying in on the east and west sides of the buildings and asked if everything would go back into those existing stormwater systems or if the applicant proposed to slow things down on his site as far as retaining some of the volume and then discharging it. Mr. McNabb said he didn't think the project was far enough along on that issue but knew it was unlikely that they would increase anything because it was a paved site and all the paving went into the same system. Vice-Chair Clark asked if Mr. McNabb would have solar rooftops like his other buildings had. Mr. McNabb agreed and said he would also have charging stations for cars. He discussed the parking issue further.

V. OTHER BUSINESS

- A. The request of **230 Commerce Way, LLC** for property located at **230 Commerce Way** requesting a 1-year extension to the Amended Site Plan Approval and Wetland Conditional Use Permit originally granted on **July 21, 2022**. (LU- 22-14)

DISCUSSION AND DECISION OF THE BOARD

*Councilor Moreau moved to **grant** a one-year extension to the Planning Board Approval of the Site Plan and Wetland Conditional Use Permit to July 21, 2024. Ms. Conard seconded. The motion passed by unanimous vote, 9-0.*

B. Chairman updates and discussion items.

[Timestamp 1:56:36] Chairman Chellman referred to the utilities project for High Street/Haven Court and asked if it would help if the Board told the City Council whether they supported the proposed enhancements. Mr. Hewitt asked if the City had an obligation to make the property ADA compliant. Councilor Moreau said it was ADA compliant as long as there was a way for a handicapped person to get from point A to point B. Vice-Chair Clark said he would feel more comfortable proposing the concept as it was presented to the Board in the package. Ms. Begala said she wasn't clear about the design. Chairman Chellman said the concept was having a developer participate with private funds on public property, which was presented to the Board and was part of the record, and if it changed, it was up to the City Council or City Staff. Mr. Hewitt asked if it wasn't more preferred, as an urban planning project, that tourists and pedestrians would be directed on main street fronts to spend their money. Chairman Chellman said it would add enhancements to the downtown. Councilor Moreau said it would make the dark

and unsafe place a lighter and safer one. Mr. Almeida said there were a few precedents for private funds and agreed that the back side of High Street was in desperate need of improvement.

Vice-Chair Clark voted to conceptually support the High Street/Haven Court public/private improvements as were originally presented to the Planning Board during its review of the 1 Congress Street proposal, and to inform the Council of this support.

Mr. Mahanna seconded. The motion passed by unanimous vote, 9-0.

C. Planning Board Rules and Procedures.

Timestamp 2:04:01 Chairman Chellman said he and the City Attorney would meet on August 1 to discuss the Planning Board's rules and procedures and that he would present the results at the August Planning Board meeting.

D. Board discussion of Regulatory Amendments, Master Plan Scope & other matters.

[Timestamp 2:04:38] Chairman Chellman said he wanted to see the Master Plan process formally begin by having a subcommittee work on the Scope of Work. It was further discussed.

Mr. Mahanna moved to formally begin the Master Plan process per RSA 674:1. Mr. Almeida seconded the motion.

[Timestamp 2:06:07] There was further discussion.

The motion passed by unanimous vote, 9-0.

Mr. Stith said the Conservation Commission wanted a work session to discuss amendments to the Wetland ordinance and suggested that a date and time be chosen in the next few weeks.

VI. ADJOURNMENT

The meeting adjourned at 9:18 p.m.

Respectfully submitted,

Joann Breault
Secretary for the Planning Board



City of Portsmouth
Planning Department
1 Junkins Ave, 3rd Floor
Portsmouth, NH
(603)610-7216

Memorandum

To: Planning Board
From: Peter Stith, Planning Manager
Date: July 20, 2023
Re: Recommendations for the July 20, 2023 Planning Board Meeting

I. APPROVAL OF MINUTES

A. Approval of the June 15, 2023 and June 22, 2023 minutes.

Planning Department Recommendation

1) Board members should determine if the draft minutes include all relevant details for the decision-making process that occurred at the June 15, 2023 regular meeting and June 22 25, 2023 meeting and vote to approve meeting minutes with edits if needed.

II. DETERMINATION OF COMPLETENESS

SUBDIVISION REVIEW

- A. The request of **Murdock Living Trust (Owner), 15 Lafayette Road** requesting Preliminary and Final Subdivision Approval to subdivide one lot into two lots to create the following: Proposed Lot 1 to be 9,129 square feet of lot area and 73.8 feet of frontage and Proposed Lot 2 to be 8,172 square feet of lot area and 102 feet of frontage.

Planning Department Recommendations

- 1) *Vote to determine that the application is complete according to the Subdivision Review Regulations, (contingent on the granting of any required waivers under Sections IV of the agenda) and to accept the application for consideration.*
-

SITE PLAN REVIEW

- B. **REQUEST TO POSTPONE** The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. **REQUEST TO POSTPONE**

III. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. The request of **CP Management Inc (Applicant)** and **Sarnia Properties INC, (Owner)**, for property located at **933 US Route 1 BYP** requesting a Conditional Use Permit in accordance with Section 10.1112.14 of the Zoning Ordinance to provide 83 parking spaces where 114 are required. Said property is located on Assessor Map 142 Lot 37 and lies within the Business (B) District. (LU-23-76)

Project Background

The applicant is seeking a conditional use permit to provide less than the required parking as a result of relocating their health club to this location. The site contains multiple tenants, ranging from office to warehouse, with one other gym located at the property. The applicant proposes to lease approximately 12,000 square feet of space, which is similar to what they occupy at the Raynes Avenue site.



Project Review, Discussion, and Recommendations

The project has been before the Board of Adjustment and the Technical Advisory Committee. See below for details.

Board of Adjustment

The Board of Adjustment, at its regularly scheduled meeting of Tuesday, June 27, 2023, considered the application and voted to grant a Special Exception to allow a health club greater than 2,000 square feet in the Business District.

Technical Advisory Committee

The Technical Advisory Committee, at their regularly scheduled meeting of Tuesday, June 6, 2023, voted to recommend approval to the Planning Board as presented.

Conditional Use Permit for Parking

The off-street parking standards in the City's Zoning Ordinance require 48 parking spaces for the use based on the parking requirements for a health club greater than 2,000 square feet as provided in Section 10.1112.32. The total parking requirement for all the uses onsite is 114 spaces.

Per Section 10.1112.14 of the Zoning Ordinance, the Planning Board may grant a conditional use permit to allow a building or use to provide less than the minimum parking spaces required by the off-street parking standards. An application for a conditional use permit for off-street parking must include a parking demand analysis.

Per Section 10.1112.142, an application for a conditional use permit shall identify permanent measures to reduce parking demand including but not limited to proximity to public transit and shared parking on a separate lot. The applicant has indicated if parking demand requires additional parking they could use space at 650 Maplewood and are currently in talks with the owner of that property.

The notice stated there will be 83 parking spaces provided, however some of the documents in the application indicate 82. In discussion with the applicant's representative, other areas on the site may be available to add a couple spaces and will provide that before or at the meeting on the 20th.

Planning Department Recommendation

Parking Conditional Use Permit

1) *Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1112.14 and to adopt the findings of fact as presented.*

(Alt.) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1112.14 and to adopt the findings of fact as amended and read into the record.

2) *Vote to find that the number of off-street parking spaces provided will be adequate and appropriate for the proposed use of the property and to grant the conditional use permit as presented.*

III. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- B. The request of **Tanner Family Revocable Trust (Owner)**, for property located at **380 Greenleaf Avenue** requesting a Wetland Conditional Use Permit according to Section 10.1017 of the Zoning Ordinance for the construction of a new 20 x 20' one-story garage on a residential property with various additions of native buffer plantings and areas of storm water improvement to mitigate any impervious impacts from the garage. The proposal includes removal of 885 square feet of impervious asphalt, installation of 2' drip edge of crushed stone around the perimeter of the garage and 484 square feet of pervious pavers leading up to the garage where asphalt currently exists. Additional planting beds are proposed in areas of existing asphalt. Said property is located on Assessor Map 243 Lot 63 and lies within the Single Residence B (SRB) District. (LU-23-62)

Project Background

This application proposes the construction of a new 20 x 20' one-story garage on a residential property with various additions of native buffer plantings and areas of stormwater improvement to mitigate any impervious impacts from the garage. This property consists of a large wetland system and is completely within the 100' wetland buffer. AS noted in the description, the project includes removal of 885 square feet of impervious asphalt and the garage will be located on a portion of the area where impervious asphalt currently exists. A 2' drip edge of crushed stone is proposed around the perimeter of the garage and 484 square feet of pervious pavers will be installed leading up to the garage where asphalt currently exists.



Project Review, Discussion, and Recommendations

The project has been before the Conservation Commission. See below for details.

Conservation Commission

The Conservation Commission, at its regularly scheduled meeting of Wednesday, June 14, 2023, considered the application and voted to recommend approval of the Wetland Conditional Use Permit to the Planning Board with the following conditions:

- 1. The applicant shall provide detailed specifications for the proposed pervious pavers including a cross-section plan and information about how they will be installed within the driveway area.*
- 2. The applicant shall provide a maintenance plan for the proposed pervious pavers.*

Staff Analysis

- 1. The land is reasonably suited to the use activity or alteration.***

The applicant is proposing to build the garage on an area of already disturbed and impervious land within the buffer. The overall project will be reducing the amount of impervious surface on the property and will be infiltrating stormwater and further buffering the wetland through planting beds.

- 2. There is no alternative location outside the wetland buffer that is feasible and***

reasonable for the proposed use, activity or alteration.

The entirety of this property is either within the wetland or the wetland buffer. There is no alternative location to build and the applicant is proposing to build in an existing disturbed area to minimize further impact to the buffer.

3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.

The applicant is proposing an overall reduction in impervious area to the site. This proposal will increase the number of plantings in the buffer while also helping to infiltrate and slow stormwater on the property due to added crushed stone drip edges.

4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.

The applicant is proposing no disturbance to the natural vegetative state on the property. The existing asphalt will be removed, and a garage and pervious pavers will be placed. Additional plantings will add to the vegetated buffer.

5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.

While the entire parcel is within wetland and buffer boundaries, the applicant is proposing to build in an area that is already impervious and will be significantly reducing existing impervious area while offsetting impacts with additional plantings, stormwater controls and pervious pavers.

6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

The applicant is not proposing to disturb any area within the first 25' of the wetland boundary. Disturbances within the buffer will be offset with the removal of asphalt, the addition of native buffer plantings and stormwater controls.

Planning Department Recommendation

Wetland Conditional Use Permit

1) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.60 and to adopt the findings of fact as presented.

(Alt.) Vote to find that the Conditional Use Permit application meets the criteria set forth in

Section 10.1017.60 and to adopt the findings of fact as amended and read into the record.

2) Vote to grant the Wetland Conditional Use permit with the following conditions:

- 2.1) The applicant shall provide detailed specifications for the proposed pervious pavers including a cross-section plan and information about how they will be installed within the driveway area.*
 - 2.2) The applicant shall provide a maintenance plan for the proposed pervious pavers.*
-

III. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- C. The request of **Murdock Living Trust (Owner), 15 Lafayette Road** requesting Preliminary and Final Subdivision Approval to subdivide one lot into two lots to create the following: Proposed Lot 1 to be 9,129 square feet of lot area and 73.8 feet of frontage and Proposed Lot 2 to be 8,172 square feet of lot area and 102 feet of frontage. Said property is located on Assessor Map 152 Lot 2 and lies within the General Residence A (GRA) and Historic Districts. (LU-23-26)

Project Background

The applicant is proposing to subdivide one lot into two, with the new lot having frontage on Orchard Street. The proposed lot will conform to the dimensional standards for the GRA district. The remainder lot received a variance from the Board of Adjustment for the lack of frontage because of the proposed subdivision. The applicant has requested several waivers from the general requirements, because no development has been planned for the lot at this time.



Project Review, Discussion, and Recommendations

The project has been before the Zoning Board of Adjustment and the Technical Advisory Committee. See below for details.

Zoning Board of Adjustment

The applicant was before the Zoning Board at their regularly scheduled meeting of Tuesday, April 18th, and was granted a variance for 73.8 feet of street frontage where 100 feet is the requirement in the GRA district.

Technical Advisory Committee

The Technical Advisory Committee, at its regularly scheduled meeting of Tuesday, June 6, 2023, considered the application and voted to recommend approval of the subdivision to the Planning Board with the following conditions:

- 2.1) *Note #15 shall be corrected on the plan.*

Planning Department Recommendation

Subdivision Waiver

1. *Vote to grant the requested waivers to the Subdivision Standards from Section VI General Requirements #5 Driveways, #6 Drainage Improvements, #7 Municipal Water Services, #8 Municipal Sewer Services, #9 Installation of Utilities and #14 Erosion and Sedimentation Controls. [NOTE: Motion maker must select one of the following options]:*

- a) *Strict conformity would pose an unnecessary hardship to the applicant and waiver would not be contrary to the spirit and intent of the regulations.*

[OR]

- b) *Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.*

Subdivision

- 1) *Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as presented.*

(Alt.) Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as amended and read into the record.

- 2) Vote to grant Preliminary and Final Subdivision Approval with the following stipulations:*
 - 2.1) The subdivision plan, and any easement plans and deeds shall be recorded simultaneously at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
 - 2.2) Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat;*
 - 2.3) GIS data shall be provided to the Department of Public Works in the form as required by the City;*
 - 2.4) Prior to issuance of a building permit, owner shall obtain necessary permits or approvals from DPW to serve the site.*

III. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- D. The request of **ADL 325 Little Harbor Road Trust (Owner)**, for property located at **325 Little Harbor Road** requesting a Wetland Conditional Use Permit according to Section 10.017 of the Zoning Ordinance for the replacement of the existing bridge with a timber pile bridge and removal of the existing causeway. The project proposes permanent impacts within the wetland buffer of 36,358 square feet and 3,443 square feet of permanent impacts within the tidal wetland. Said property is located on Assessor Map 205 Lot 2 and lies within the Rural (R) District. (LU-23-81)

Background

This project proposes the construction of a new bridge for access to Lady Isle aka Belle Isle, with the demolition of the existing bridge proposed for after construction is complete. This project is required as heavy maintenance and construction vehicles need to access Lady Isle, and under the current bridge there are signs of degradation and failure. The proposed work will occur on private land and will cross over the Piscataqua River, putting this project within the City's wetland and buffer boundaries, as well as the tidal and shoreline buffers. This project proposes permanent impacts within the wetland buffer of 36,358 square feet and 3,443 square feet of permanent impacts within the tidal wetland. Re-grading and filling is needed to accommodate elevating the new bridge to a higher elevation to adapt to sea level rise. Restoration of existing salt marsh and Marsh Elder (*Iva frutescens*) species is also proposed.



Project Review, Discussion, and Recommendations

The project has been before the Conservation Commission. See below for details.

Conservation Commission

The Conservation Commission, at its regularly scheduled meeting of Wednesday, June 14, 2023, considered the application and voted to recommend approval of the Wetland Conditional Use Permit to the Planning Board with the following conditions:

- 1. In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall install permanent wetland boundary markers adjacent to the freshwater wetland areas during project construction. These can be purchased through the City of Portsmouth Planning and Sustainability Department.*
- 2. Applicant shall provide a monitoring report detailing the success of the planting plan one year after project completion and demonstrate compliance with the NHDES monitoring requirements when complete.*
- 3. The Salicornia be relocated or added to the planting plan as additional plantings.*
- 4. An independent wetland scientist that specializes in salt marsh restoration shall be hired to review the salt marsh restoration plan and provide comments back to the applicant.*
- 5. The applicant shall research ways to reduce the disturbance to the local Nudibranch fish population.*

The project will also require a State Wetland permit, which the Conservation Commission recommended approval of to the State.

Staff Analysis

1. The land is reasonably suited to the use activity or alteration.

The proposed site has an existing bridge connecting the mainland to Lady Isle, where a safe method of transport is needed to get residents, contractors, guests, etc. to the property and back from the mainland. The proposed project would construct a new bridge spanning a tidal water way connecting the island to the mainland with a higher elevation to increase resiliency to sea level rise, a lifespan of approximately 75 years, and an increased passage size to allow for improved tidal flow over what currently exists.

2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.

The existing and proposed bridge are within the City tidal wetlands and tidal buffer zone as well as State tidal wetlands and tidal buffer zone. To provide access to the Island any reconstruction, rehab work or new construction of the bridge must occur in these wetland and buffer areas.

3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.

The applicant has performed a study of the habitat underneath the current bridge and has deemed it not highly valuable. Surrounding impacts to salt marsh and Marsh Elder (*Iva frutescens*) habitats will be minimized through the introduction of new plantings of salt marsh habitat (both low and high marsh) and replanting of existing Marsh Elder (*Iva frutescens*) in a more protected area.

4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.

This proposal will require regrading and filling the current private drive to increase the height of the road and proposed bridge. Additionally, the new location of the bridge will impact areas of existing vegetation. All impacted vegetation will be remediated through a restoration plan of new plantings on site.

5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.

Given the nature of the project, replacing the bridge in its current location would continue to cause scouring of the channel under the bridge and would impact the function of the waterway. Placement of the bridge further east would cause unwanted impacts to well-established salt marsh. The proposed placement on the west side of the existing bridge shows the least adverse impacts to the tidal waterway and salt marsh.

6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

Applicant is proposing planting low and high marsh areas along the shoreline along with native buffer species between the shoreline/marsh and the road.

Planning Department Recommendation

Wetland Conditional Use Permit

1) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.50 and to adopt the findings of fact as presented.

(Alt.) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.50 and to adopt the findings of fact as amended and read into the record.

2) Vote to grant the Wetland Conditional Use permit with the following conditions:

2.1) In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall

install permanent wetland boundary markers adjacent to the freshwater wetland areas during project construction. These can be purchased through the City of Portsmouth Planning and Sustainability Department.

2.2) Applicant shall provide a monitoring report detailing the success of the planting plan one year after project completion and demonstrate compliance with the NHDES monitoring requirements when complete.

2.3) The Salicornia be relocated or added to the planting plan as additional plantings.

2.4) An independent wetland scientist that specializes in salt marsh restoration shall be hired to review the salt marsh restoration plan and provide comments back to the applicant.

2.5) The applicant shall research ways to reduce the disturbance to the local Nudibranch fish population.

III. PUBLIC HEARINGS – NEW BUSINESS

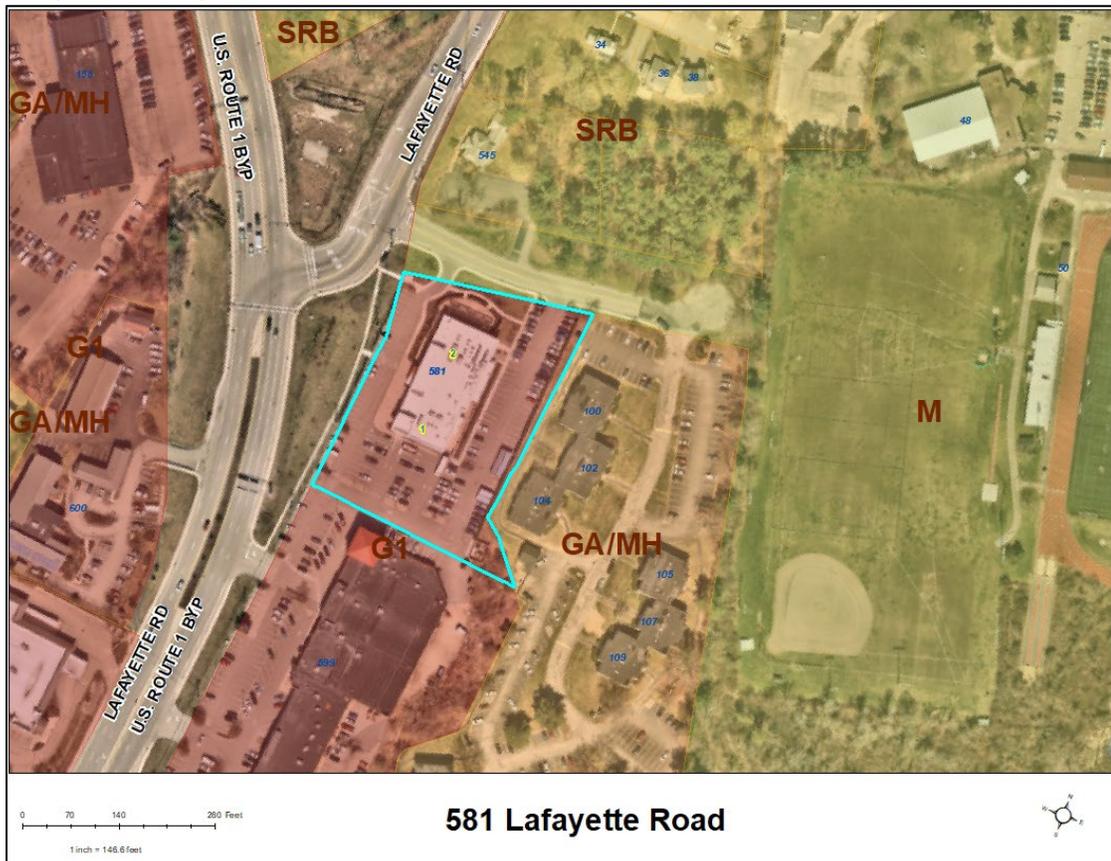
The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- E. REQUEST TO POSTPONE** The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District. **REQUEST TO POSTPONE (LU-20-259)**

Staff Note: The Wetland Conditional Use Permit was not advertised or included in the packet, thus the reason for postponing.

IV. PRELIMINARY CONCEPTUAL CONSULTATION

- A. The request of Atlas Commons LLC (Owner), for property located at 581 Lafayette Road requesting an addition to the existing commercial building for residential dwelling units with the associated site improvements. Said property is shown on Assessor Map 229 Lot 0229-008B and lies within the Gateway Corridor (G1) District. (LUPD-23-5)**



The applicant has provided a set of preliminary plans for discussion with the Board. As authorized by NH [RSA 676:4,II](#), the Site Plan Regulations require preliminary conceptual consultation for certain proposals, including (1) the construction of 30,000 sq. ft. or more gross floor area, (2) the creation of 20 or more dwelling units, or (3) the construction of more than one principal structure on a lot. Preliminary conceptual consultation precedes review by the Technical Advisory Committee.

Preliminary conceptual consultation is described in the state statute as follows:
[Preliminary conceptual consultation] ... shall be directed at review of the basic concept of the proposal and suggestions which might be of assistance in resolving problems with meeting requirements during final consideration. Such consultation shall not bind either the applicant or the board and statements made by planning board members shall not be the basis for disqualifying said members or invalidating any action taken. The board and the applicant may discuss proposals in conceptual form only and in

general terms such as desirability of types of development and proposals under the master plan.

The preliminary conceptual consultation phase provides the Planning Board with an opportunity to review the outlines of a proposed project before it gets to detailed design (and before the applicant refines the plan as a result of review by the Technical Advisory Committee and public comment at TAC hearings). In order to maximize the value of this phase, Board members are encouraged to engage in dialogue with the proponent to offer suggestions and to raise any concerns so that they may be addressed in a formal application. Preliminary conceptual consultation does not involve a public hearing, and no vote is taken by the Board on the proposal at this stage. Unlike Design Review, completion of Preliminary Conceptual Consultation does not vest the project to the current zoning.

V. OTHER BUSINESS

- A.** The request of **230 Commerce Way, LLC** for property located at **230 Commerce Way** requesting a 1-year extension to the Amended Site Plan Approval and Wetland Conditional Use Permit was originally granted on **July 21, 2022**. (LU– 22-14)

Project Background

On July 21, 2022, the Planning Board granted a Wetland CUP and Amended Site Plan approval for the project to construct a new two-story building with a 12,500 square foot footprint totaling 25,000 square feet with associated site improvements.

Section 10.246.10 below allows the applicant to request a one-year extension prior to the expiration of the original approval for a Conditional Use Permit for a drive-thru facility and the Wetland Conditional Use permit. Section 2.14 of the Site Plan regulations allows for an extension.

10.246 Expiration and Abandonment of Approvals

10.246.10 A conditional use permit shall expire unless a **building permit** is obtained within a period of one year from the date granted, unless otherwise stated in the conditions of approval. The **Board** may, for good cause shown, extend such period by as much as one year if such extension is requested and acted upon prior to the expiration date. No other extensions may be requested.

Section 2.14 Approval Expiration and Extension

1. Site plan approval by the Planning Board shall expire unless used (obtain a Building Permit) within a period of one (1) year from the date granted.
2. The Planning Board may, for good cause shown, extend such period by as much as one (1) year if requested and acted upon prior to the expiration date.

Planning Department Recommendation

- 1) *Vote to grant a one-year extension to the Planning Board Approval of the Site Plan and Wetland Conditional Use Permit to July 21, 2024.*
-

- A.** Chairman's Updates and Discussion Items
- B.** Planning Board Rules and Procedures
- C.** Board discussion of Regulatory Amendments, Master Plan Scope & other matters

VI. ADJOURNMENT

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

October 19, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chair; Corey Clark, Vice-Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Peter Harris, James Hewitt, Jayne Begala; Alternates Andrew Samonas and William Bowen

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ALSO PRESENT: Peter Stith, Planning Manager; Deputy City Attorney Trevor McCourt

MEMBERS ABSENT: Greg Mahanna

.....

REGULAR MEETING 7:00 p.m.

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| <p style="text-align:center">DUE TO THE LARGE VOLUME OF AGENDA ITEMS SCHEDULED FOR OCTOBER, THE BOARD WILL BE VOTING TO POSTPONE CONSIDERATION OF NEW BUSINESS ITEMS (IV.) F. THROUGH K. TO THE THURSDAY, OCTOBER 26, 2023 MEETING.</p> |
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Alternate Andrew Samonas took a voting seat for the evening. Chair Chellman noted that the agenda was split and that Item I, Lonza requested to continue to the November 16 meeting.

I. APPROVAL OF MINUTES

A. Approval of the **September 21, 2023** meeting minutes.

*Councilor Moreau moved to **adopt** the minutes as presented, seconded by Vice-Chair Clark. The motion with all in favor.*

B. Approval of the **September 28, 2023** Work Session minutes.

*Councilor Moreau moved to **postpone** approval of the minutes so that more detail could be added. The motion was seconded by Vice-Chair Clark and passed with all in favor.*

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

- A. The request of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting to Subdivide one lot into two lots to create the following: Proposed Lot 1 with 6.65 acres of lot area and 354 feet of street frontage and Proposed Lot 2 with 7.96 acres of lot area and 200 feet of street frontage.

Chair Chellman read the petition into the record as well as the site plan review approval for Banfield Realty (Site Plan Review, Item A).

Councilor Moreau moved that the Board vote to determine that the subdivision and site plan review applications were complete.

Mr. Hewitt said he needed more information to consider it complete for both subdivision and site plan and that he would prefer a copy of the pending lawsuit and explanation from the City's Legal Department of where it stood now, with Portsmouth being a defendant in that lawsuit, and how the Board's actions may or may not affect the lawsuit's outcome. Chair Chellman said the determination of completeness was an initial step before conversation with the applicant and was not a determination of acceptance of the items. He said he did not think the lawsuit was something that fell within the purview of the Board's regulations. He said if the application was accepted as complete, the lawsuit could be brought up during the Board's later deliberations.

Ms. Conard seconded the motion.

Mr. Harris noted that there was a memo from the Technical Advisory Committee (TAC) indicating that the applicant had to provide proof of cleanup responsibility required for Planning Board approval, and he wanted to make sure that happened. Chair Chellman said it was in the package but again was a next-step discussion about the application.

The motion passed 7-2, with Mr. Hewitt and Mr. Harris voting in opposition to the motion.

- B. The request of **Caleb E. and Samantha L. Ginsberg (Owners)**, and **Peter and Donna Splaine (Owners)**, for property located at **303 Bartlett Street** and **295/299 Bartlett Street** requesting Preliminary and Final Subdivision approval for a lot line relocation between Tax Map 162 Lot 13 and Lot 14 where a separate parcel was discovered between the two lots and is proposed to be divided between Lot 13 and 14 as follows: Lot 13 increasing in size from 4,906 square feet and 36 feet of frontage to 6,665 square feet and 37 feet of frontage. Lot 14 increasing in size from 4,802 square feet and 192 feet of frontage to 8,640 square feet and 217 feet of frontage.

Councilor Moreau moved that the Board vote to determine that the subdivision application was complete, seconded by Ms. Conard. The motion passed with all in favor.

- C. The request of **Richard and Jessica Hayes (Owners)**, and **William and Katja Becker (Owners)**, for property located at **40 Walker Bungalow Road** and **26 Walker Bungalow Road** requesting Preliminary and Final Subdivision approval for

a lot line relocation to remove the encroachment of a driveway and retaining wall as follows: Tax Map 222 Lot 5-1 consisting of 53,970 square feet of lot area, increasing in frontage from 140. feet to 160.17 feet with no change in lot area. Tax Map 222 Lot 5-2, consisting of 37,637 square feet, decreasing in frontage from 120.17 feet to 100 feet, with no change in lot area.

Councilor Moreau moved that the Board vote to determine that the subdivision application was complete, seconded by Ms. Conard. The motion passed with all in favor.

- D.** The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Preliminary and Final Subdivision approval for the subdivision of the 2.23-acre lot into nine (9) conforming Single-Family lots.

*No action was taken on the item and it was **postponed** to the October 26, 2023 meeting.*

SITE PLAN REVIEW

- A.** The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping.

Councilor Moreau moved that the Board vote to determine that the subdivision and site plan applications were complete, seconded by Ms. Conard. The motion passed by 7-2, with Mr. Harris and Mr. Hewitt voting in opposition to the motion.

- B.** The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Site Plan Review approval for the construction of nine (9) single-family dwellings with associated paving, stormwater management, lighting, utilities and landscaping.

No action taken on this item. It will be considered at the October 26, 2023 meeting.

III. PUBLIC HEARINGS -- OLD BUSINESS

Chair Chellman stated that Items III.A, B, and C for Banfield Realty, LLC would be discussed together but voted upon separately.

Vice-Chair Clark moved to vote that the Board hear Old Business Items III.A, B & C together and vote on them separately, seconded by Mr. Almeida. The motion passed by all in favor.

- A.** The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater

management, lighting, utilities and landscaping. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District. (LU-20-259)

SPEAKING TO THE APPLICATION

[Timestamp 16:28] Attorney Courtney Herz was present on behalf of the applicant, with Rob Graham of Banfield Realty and project engineer Joe Coronati. Attorney Herz said they wanted to remove the two existing commercial buildings and construct an industrial one. She said the applicant had been working with the Department of Environmental Services (DES) and the U.S. Environmental Protection Agency (EPA) to remediate the contamination that existed prior to Banfield Realty purchasing the site. She said a separate issue of dealing with an easement on the property held by the City was worked out, and the changes to the plan left the easement area exactly as it is. She said a few TAC comments came up during the completeness review about whether the pending lawsuit implicated the issues before the Board that night, and she said it did not. Regarding TAC's comments about proof of cleanup responsibility, she said the subdivision application indicated how the two parcels would be owned and the Staff Memo stated that the applicant satisfied those TAC comments.

Chair Chellman said the Board received a huge packet of materials with thousands of pages of information and that the applicant provided the Board with a 250-page summary. He said an April letter from DES was on page 2,489. He asked why the packet was so large and whether the applicant could assure that the Board could rely on a certain number of those pages as indicated in the cover letter or not. Attorney Herz said the Board could rely on them. She said a large chunk of it had to do with the reports submitted to DES and that she could direct the Board to those reports if there were questions. Ms. Begala said, regarding Attorney Herz's statement that there was proper remediation, she said she read in the packet that DES said the Board received the revised work plans and remedial action plan but said they were acceptable plans. She said that was different than having completed all of the work in the action plans that were meant to be implemented actions plans. She said DES indicated that they were still concerned about a greater density of sampler points within and near the stream channel that should be completed as part of the Spring 2023 assessment work, but she did not see anything in the packet indicating that it was completed. She said they wanted a summary report with the results of all the additional investigational activities within 120 days of receipt of the letter, which meant she should be able to find something dated July 2023 in the packet saying that was done. She asked if the verb tense was "planned action" or "had been completed", and where the proof was in the packet. Attorney Herz said the work was underway. She said the question of remediation was outside the Board's purview and was being handled by DES and EPA with the applicant's cooperation. Ms. Begala said the definition in the zoning ordinance of an industrial site stated that the use does not allow for recycling, high hazard use, and so on, so it restricts the types of things to be stored or manufactured because of concerns about pollutants, etc. Chair Chellman said he agreed with Attorney Herz and the Board's regulations did not cover a lot of the issues and that is was a situation where the site was previously contaminated. Ms. Begala said she was confused about the amount of pages the Board was given to consider and then being told that the Board could not look at the site plan. Chair Chellman explained that there was an interrelation between some of the elements of what the site is and what the Board had to look at for site plan and subdivision regulations. He gave a few examples and said the Board was constrained by their regulations that

did not extend to include cleanup activities. Ms. Begala said she wasn't comfortable approving the project before she knew if the issues included in the Board's packet were met. Attorney Herz said it was within the jurisdiction of DES and EPA and that the Board's purview was to decide if the application met the regulations for subdivision and site plan. She said everything that was submitted showed that the applicant was cooperating with DES and EPA, but nothing in the regulations or materials said the whole property that's been contaminated for a long time and all the related cleanup activities needed to be completed before work can be done on the property.

Deputy City Attorney Trevor McCourt said he spoke with outside counsel in that case and they advised that the Board and TAC not consider the pending lawsuit as they all work through the criteria. He said that lawsuit was about how to pay for the remediation and had nothing to do with past remediation or remediation moving forward. He said the environmental cleanup was under the jurisdiction of DES and EPA. He said there was a legal document called preemption, which means that when the State enacts a comprehensive legal scheme governing something like an environmental cleanup, they've done something called preempting the field so that any subsidiary body like the Planning Board has no authority to regulate that. He said all the power comes from the State and they use it as they see fit. He cited a relevant case, *Colebrook vs the Town of Colebrook* that could be contrasted with State laws relative to wetland buffers.

Mr. Hewitt asked if the pending lawsuit was filed so that the judge could apportion liability between potential responsible parties. Attorney McCourt said that would be the result that the plaintiffs are looking for and that one of those parties were Portsmouth. Mr. Hewitt asked Attorney McCourt to explain the superfund provision known as joint and several liability, which he did. Mr. Hewitt asked if it was up to EPA to decide which responsible party they chose to go after and if it was often based on the ability to pay. Attorney McCourt said the reason outside counsel was hired was because he wasn't an expert and that it was not relevant to the discussion. Mr. Hewitt said he believed it was and that he did not want to do anything to increase Portsmouth taxpayers' liability, and he asked how subdividing the property would increase or decrease that liability. Attorney McCourt said the City was working toward the same goal, and whether the site plan or subdivision plan was approved, it would not have an impact on the amount of liability shifted to the Portsmouth taxpayers. Ms. Begala said as the Board went through approval of the site plan, they would talk about a design that includes capping contaminated property and so on, but she did not think the Board could ignore the contaminated condition of the site. She said the Board might be able to place conditions about the applicant fulfilling what was written in the April 26 DES Memo, but she didn't know how that would affect the design of what the Board looked at as part of the site plan approval. Chair Chellman said the Board has regulations that tie into that capping material. Ms. Begala asked if EPA would correct an approval of the Board for the site plan with a lesser cap than was needed for full remediation. Attorney McCourt said if the site plan was approved and there was a change between that approval and what was dictated by DES or EPA, the applicant would have to return to ask for an amended site plan approval. Attorney Herz said various approvals already granted by the State were included in the packet, and she agreed that the applicant would return if anything changed after the Board's approval.

[Timestamp 41:57] Mr. Coronati reviewed the existing conditions plan and said the simplest was to subdivide the lot into two parcels. He said as part of the cleanup and remediation of the site

and the approvals, they would all tie in with the financing and the way the site would be cleaned up, which would be in two phases, an upland and a lowland. He said the lowland was labeled as a non-buildable lot. He said they had a few waivers that were part of the subdivision plan that referred to bonding. He said the two-lot frontage subdivision required no work and that the offsite improvements required by TAC were already performed. Mr. Coronati discussed the site plan proposal of a 75,000-sf industrial building for warehousing and offices. He said TAC and a local engineering firm signed off on all the design aspects of the property. Relating to how stormwater would be handled, he said they proposed to tie into the City's water and gas lines and forgo a septic system and would need an easement from the City to tie into their manhole. He said their Alteration of Terrain permit granted a waiver to allow them not to infiltrate.

Mr. Hewitt asked why the applicant only recently decided to subdivide the property after working on it for almost four years as a single lot. Mr. Graham said Kennebunk Bank would finance the construction but could not finance a project that wasn't fully permitted, so the first portion of the permit was the upland area (Lot One) that was the subdivision lot with the development, and the lowland area was Lot 2. He said the bank would only lend money for the permitted portion. Mr. Hewitt asked if it was because the bank didn't want to lend money on contaminated property. Mr. Graham said permits were needed to do the work.

Mr. Samonas asked if the applicant came up with a metric for runoff from post-development conditions and whether it had been studied or would be a result of remediation. Mr. Coronati said the Alteration of Terrain approval allowed for the .01 acre foot of volume increase. Mr. Samonas asked if it was in fact .1 feet acre or more than that. Mr. Coronati said it was not because it was only allowed up to that, which was part of the reason that their tank system was almost the size of the parking lot. Mr. Samonas verified that all the requirements were State parameters. Mr. Samonas referred to the letter from DES in the submission that stated that the Soil Management Plan and the Remedial Action Plan had concerns for human health, and he asked if it was a previous letter that had since been updated, noting that it was a DES form dated April 21, 2022, and if it was part of the remediation plan. Mr. Coronati said the letter was old, and on April 26, 2023 the applicant received their approval for the Remediation Action Plan that incorporated how the work on site would be handled for the cleanup. He said there was a Groundwater Monitoring Permit from the State dated September 5, 2023 that explained the details involved. Attorney Herz said the concerns about pre-existing conditions of contamination were not before the Board and that it was important that the Board base its decisions on the application before them and their regulations that govern it.

Ms. Begala said one of TAC's conditions for the project was proof of cleanup responsibility required prior to Planning Board approval. Attorney Herz said the Staff Memo stated that the applicant had satisfied that. Ms. Begala asked who had responsibility for cleanup if it had already been handled. Attorney Herz said Attorney McCourt provided that answer but that it was outside the Board's jurisdiction. Chair Chellman explained that TAC makes their recommendations to the Board and that they're not conditions until the Board adopts them as such. In terms of responsibility, he said it was the responsibility of everyone who had ever touched it. Mr. Hewitt said TAC indicated that a requirement of the Board was to have proof of cleanup responsibility. Chair Chellman said TAC made a recommendation and the Board was instructed that evening that it wasn't under their jurisdiction. He said he questioned what was underground, however.

Mr. Stith said the concern during the subdivision was that the City wanted to ensure that the owner was responsible for both properties. He said the applicant submitted a letter stating that they were responsible for the cleanup of both properties.

Ms. Begala said Banfield Road truck traffic was a concern of residents and that it was important to get an accurate analysis of what the new volume of trucks and truck trips would be throughout the day. Mr. Coronati said the use was general manufacturing and the warehouse was a high-bay one. He said the warehouse and office component and the truck traffic associated with it were part of the offsite improvements that TAC required and the applicant was told that the lot was zoned industrial but the road wasn't up to standard, so the applicant paid to beef up the depth and shoulders of the road to handle truck traffic. He said there were restrictions with that, including which ways the trucks could travel along Banfield Road and the routes they had to take. He said they did not have the exact number of trucks per day. Mr. Graham said they only studied a narrow window because they studied the early morning peaks and so on. He said it was discussed with TAC and there were no concerns about trip generation but there were concerns about shoulder and travel widths on the road. He said they worked with the Department of Public Works (DPW) and found out that the City was beginning a project to repave Banfield Road. He said DPW spent a lot of time with them to make some recommendations about what was needed, which was a 2-ft shoulder expansion and a deeper depth. He said that work was completed over a year ago. He said the applicant did not contaminate the site and did not want to sue the City but was doing so out of constraints. He said the proposed project was to clean up the site, and that the applicant contributed to rebuilding the entire road.

Chair Chellman said the applicant said they changed their design to put a retaining wall on the site of the building but he noticed that, based on the grading on the SE corner, they would have to go through some fill for the sewer connection. He said there were issues in discussions with DES about how to move materials on site, and he asked how the sewer installation would affect the City's potential future use of the roadway and if the City would have to address dealing with contaminated material for grading. Mr. Coronati said the gravity sewer line came out of the building to a pump station and that whole section was higher than the site, and they needed a force main because it was a big hill. He said they did remove all the grading off that portion and would use the side of the building as a grading wall. As far as the work done on it, he said it had to follow the State approvals for the Remediation Plan no matter who was doing it and that there was a length guideline no how that as done, whether it was by the City or the applicant in the future. He noted that a rail trail was being built in the vicinity and there may be a future need to put a trail on that easement to go from the City's property to Banfield Road, which would involve a sidewalk leading to the rail trail. He said that was helped by regrading the site as well as providing a sloped easement with Banfield Road. Chair Chellman said the SE corner had hazardous materials and the City's easement rights were limited to the 50-ft area. In the course of putting in the sewer line he asked if the applicant would regrade that so the City wasn't faced with an insurmountable problem. Attorney Gerz said the important thing was that the easement exists as it is today and they were asking to leave that easement as it is now. She said nothing in the application changed the City's right pertaining to that easement but that the applicant was trying to be reasonable and cooperative and would try to make it work if it came up. Chair Chellman asked about the pile of material. Mr. Graham said it was clean material and that they were committed to prepping and constructing the gravel trail bed for the City's trail and that they

would regrade it. Mr. Coronati said it was noted on the landscape plan that they would put a gravel area after the force main installation and needed access to the force main for maintenance. Chair Chellman asked if the grading plan would be revised slightly to show the change in that corner. Mr. Coronati said it would not because there would be no change to the grade, which he further explained. Chair Chellman asked if the depth of the force main wouldn't be deep enough to account for possible future grading. Mr. Coronati said that would come up when they submitted it to Public Works and that a design had not been done yet. Mr. Graham said the City hadn't decided on how to trail would be upgrade. Chair Chellman said that was the reason the applicant was before the Board and that he was concerned about it. He said if the applicant put the force main down deep enough, they would be grading out wide enough for the City trail. He asked about the soil conditions. Mr. Graham said they didn't know the depth of it and didn't have any signs on it but would work with Public Works on the design.

Mr. Bowen said he didn't see staging or parking for trucks in the loading area and the number of trucks coming and going, their size, the intensity of activity, and so on that might call for staging or a parking rea of trucks. He asked if adequacy for parking of trucks on site was a TAC consideration. Mr. Coronati said it was and was based on what was proposed. The said trucks would not be allowed to park on Banfield Road, and if the tenant seemed that the lot wasn't a big enough area for trucks to park in, then they would not select the site. He said it was a limiting factor of the use of the building. Ms. Begala said the Board didn't have any guidance for the Conditional Use Permit from the Conservation Commission outside of planting wild seed. She said it was done two years ago and asked if there was any change to the packet of materials. Mr. Graham said they went back to TAC in 2022 and nothing had changed.

Chair Chellman opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

First Time Speakers

Kelly Shaw of 892 Banfield Road called in via Zoom and said she lived between Heritage and Ocean Avenues and that it had taken her eight years to get the City to place sidewalks, guard rails, speed bumps and signs at that end of Banfield Road. She said tractor trailers and box trucks were not allowed on Banfield Road due to an air brake ordinance and that it was a hazard every day. She said her end of Banfield Road was a rural area and single residential only and she was concerned about the direction the tractor trailers would go.

No one else spoke. Chair Chellman asked for second time speakers.

Second Time Speakers

Mr. Shaw suggested that the trucks take a right turn onto Banfield Road, then down Peverly Hill Road, and cross over on Mirona to get to Route One, or go to Peverly Hill Road to get to the lights near Market Basket. She said otherwise it was an accident waiting to happen.

Third Time Speakers

No else spoke. Chair Chellman closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Ms. Begala said she was concerned about the truck volume on Banfield Road and the fact that the Board had no traffic analysis on Peverly Hill Road or Mirona Road.

Vice-Chair Clark moved that the Board vote to grant the requested waivers to the Subdivision Standards from Section IX.1 Improvements and Installation Bonds, and Section IX.2 Maintenance Bonds in accordance with the following:

- a) *Strict conformity would pose an unnecessary hardship to the applicant and waiver would not be contrary to the spirit and intent of the regulations.*

Councilor Moreau seconded. The motion passed with all in favor.

Vice-Chair Clark said the applicant was doing improvements to the site but that they weren't necessarily associated with the proposed subdivision and the City's easement was not part of that subdivision, so there's no additional work that the City would be subject to in the subdivision in the future. Mr. Hewitt said he wasn't convinced that the subdivision would not increase Portsmouth's environmental liabilities.

Vice-Chair Clark moved that the Board find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as presented. The motion was seconded by Councilor Moreau.

The motion passed 8-1, with Mr. Hewitt voting in opposition to the motion.

*Vice-Chair Clark moved that the Board vote to grant Preliminary and Final Subdivision Approval with the following **conditions**:*

- 1.1) *The subdivision plan, and any easement plans and deeds shall be recorded simultaneously at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
- 1.2) *Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat;*
- 1.3) *GIS data shall be provided to the Department of Public Works in the form as required by the City;*

Councilor Moreau seconded. The motion passed 7-2, with Mr. Hewitt and Mr. Harris voting in opposition to the motion.

Vice-Chair Clark moved that the Board vote to find that the Site Plan Application meets the requirements set forth in the Site Plan Regulations Section 2.9 Evaluation Criteria and adopt the findings of fact as presented. Councilor Moreau seconded. The motion passed 7-2, with Mr. Hewitt and Mr. Harris voting in opposition to the motion.

Vice-Chair Clark moved that the Board vote to grant Site Plan Approval with the following conditions:

Conditions to be satisfied subsequent to final approval of site plan but prior to the issuance of a building permit or the commencement of any site work or construction activity:

- 1.1) *The site plan, and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
- 1.2) *The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights-of-way and on site.*
- 1.3) *Any site development (new or redevelopment) resulting in 15,000 square feet or greater ground disturbance will require the submittal of a Land Use Development Tracking Form through the Pollutant Tracking and Accounting Program (PTAP) online portal. For more information visit <https://www.cityofportsmouth.com/publicworks/stormwater/ptap>*
- 1.4) *DPW will review and approve the locations of domestic and fire service lines entering all buildings.*
- 1.5) *DPW shall review and approve the sewer connection.*
- 1.6) *A peer review of the traffic analysis will be provided and subject to acceptance by City staff.*

Prior to the issuance of a Certificate of Occupancy or release of the bond:

- 1.7) *The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance.*
- 1.8) *Subject to written assurance and any required surety for performance provided to the Planning Board, the applicant shall conduct work in accordance with all requirements of the NHDES letter dated April 26, 2023, which includes investigation work in the proposed upland development areas, approval of an Activities and Use limitation and the completion of a remedial action implementation plan for the upland development area. In addition, as presented by the applicant, they shall continue their investigation of the lowland area, including full characterization of any reportable site contaminants in compliance with any and all remedial action plans or other permits from NHDES or the EPA.*
- 1.9) *The applicant shall meet with DPW and discuss the topic of signage and install any on-site signage DPW recommends related to truck traffic on Banfield Road.*

Councilor Moreau seconded. The motion passed 8-1, with Mr. Hewitt voting in opposition to the motion.

DISCUSSION

Note: The original motion was further discussed. Mr. Almeida said Peverly Hill Road would be significantly widened soon and the rules for the trucks paths could change dramatically over the coming years. He suggested that the Board stipulate that there be directional signage that reflects the rules of the road. Vice-Chair Clark and Councilor Moreau amended the original motion.

Ms. Begala said the trip analysis and the conclusions in the plan referred to 25 trucks and asked if the Board could limit the number of trucks per day out of concern for the people who live on that road. Chair Chellman said the City Engineer looked at TAC's comment about shoulder widening and so on and was satisfied with the analysis. He said it would be difficult to know what the truck traffic would be from the project until it was built and that it would be a burdensome limitation and difficult to monitor. He said if the Board had concerns about traffic, they could require additional traffic analyses. Ms. Begala asked if the Board could ask for traffic analyses for Peverly Hill Road and Mirona Road. Chair Chellman agreed. He noted that 25 trucks going right and 25 trucks going left was in the analysis.

[Timestamp 1:58:34] Ms. Begala explained why she thought holding the applicant to the April 26 2023 wasn't a very good condition. Chair Chellman said it should be whatever the DES current requirements were. Vice-Chair Clark explained the reasons why he was more comfortable with the truck traffic proposed for the site alone. Chair Chellman said the applicant did a traffic analysis and if the Board wasn't satisfied with it, they could ask for a peer review or additional analysis. He said that, based on what the Board had before them, he would be uncomfortable with a traffic condition because there was nothing technical to base it on. Ms. Begala suggested that a per review be asked for so the Board would know what kind of volume could be expected on Banfield Road. Chair Chellman said it was in the report but that a peer review would check whether that projection was agreed with. He said it could be a condition subject to acceptance by City Staff. Ms. Begala moved to add a condition to the amended motion to have a per review of the included traffic analysis that was seconded by Vice-Chair Clark.

1) *Vice-Chair Clark moved that the Board vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017 and to adopt the findings of fact as presented. Councilor Moreau seconded. The motion passed 8-1, with Mr. Hewitt voting in opposition to the motion.*

2) *2) Vice-Chair Clark moved that the Board vote to grant the Wetland Conditional Use permit with the following condition:*

1.1) Any areas left to naturally revegetate shall be loamed and seeded with a wildflower mix and monitored for invasive species, and their removal shall be done according to Article 10 Section 10.1018.23 of the zoning ordinance.

Councilor Moreau seconded. The motion passed 8-1, with Mr. Hewitt voting in opposition to the motion.

- B.** The request of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting to Subdivide one lot into two lots to create the following: Proposed Lot 1 with 6.65 acres of lot area and 354 feet of street frontage and Proposed Lot 2 with 7.96 acres of lot area and 200 feet of street frontage. Said property is shown on Assessor Map 266 Lot 7 and 7-1 and lies within the Industrial (I) District. (LU-23-107)

DECISION OF THE BOARD

See Item A.

- C.** The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting a Wetland Conditional Use Permit according to Section 10.1017 of the Zoning Ordinance for 7,910 square feet of impact within the 100' wetland buffer for stormwater management in association with the proposed development. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District. (LU-20-259)

DECISION OF THE BOARD

See Item A.

IV. PUBLIC HEARINGS – NEW BUSINESS

- A.** The request of **Jeffrey M. and Melissa Foy (Owners)**, for property located at **67 Ridges Court** requesting a Wetland Conditional Use Permit from Section 10.1017 of the Zoning Ordinance for the construction of a new addition, a re-configuration of the existing driveway utilizing pervious pavers, installation of three rain gardens, and construction of stone steps. The project proposes a decrease of 479 sf of impervious surface and is proposing 2,010 sf of permanent impacts and 1,056 sf of temporary impacts. The impacts would be offset by the various buffer plantings to be planted within the 25' vegetated buffer as well as the installation of rain gardens to help control and filter storm-water runoff from the property. Said property is located on Assessor Map 207 Lot 59 and lies within the Single Residence B (SRB) District. (LU-22-199)

SPEAKING TO THE APPLICATION

[Timestamp 2:19:18] Project engineer John Chagnon was present on behalf of the applicant. He reviewed application and noted that the garage addition to the existing house over a parking hot top area would be removed, so the impervious surface would not be increased. He said a variance was received to pull the structure front and more forward than the ordinance would allow so that the buffer would be more protected. He said the Conservation Commission recommended approval with the conditions that 2) three buffer zone markers be placed on the property, 2) that the applicant report to the City on the rain garden and planting success after one year, and 3) that

the owner follow NOFA standards for landscape maintenance and planting. He said those conditions were acceptable to the applicant.

Vice-Chair Clark asked if the addition would have gutters. Mr. Chagnon agreed and said the gutters direct the runoff from the addition to the rain garden. Ms. Begala asked of the stone patio and steps were pervious or impervious and what square footage they added. Mr. Chagnon said the stairs went from 123 square feet to 297 square feet and were impervious. He said the patio was existing and was 109 square feet and the steps would take up some of it.

Chair Chellman opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Chellman closed the public hearing.

DECISION OF THE BOARD

1) *Councilor Moreau moved that the Board vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.60 and to adopt the findings of fact as presented. Vice-Chair Clark seconded. The motion passed with all in favor.*

2) *Councilor Moreau moved that the Board vote to grant the Wetland Conditional Use permit with the following conditions:*

2.1) In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall install at least 3 permanent wetland boundary markers during project construction in the locations discussed with the Conservation Commission. These can be purchased through the City of Portsmouth Planning and Sustainability Department.

2.2) Applicant shall provide a report on the success of the rain garden plantings one year after planting has occurred to the City of Portsmouth Planning & Sustainability Department. If they have not achieved at least an 80% success rate then the applicant will replant.

2.3) The applicant and property owners shall follow NOFA standards for organic land care for lawn maintenance. Please visit <https://nofa.organiclandcare.net/homeowner-resources/> for details.

The motion passed with all in favor.

B. The request of **Caleb E. and Samantha L. Ginsberg (Owners)**, and **Peter and Donna Splaine (Owners)**, for property located at **303 Bartlett Street** and **295/299 Bartlett Street** requesting Preliminary and Final Subdivision approval for a lot line relocation between Tax Map 162 Lot 13 and Lot 14 where a separate parcel was discovered between the two lots and is proposed to be divided between Lot 13 and 14 as follows: Lot 13 increasing in size from 4,906 square feet and 36 feet of frontage to 6,665 square feet

and 37 feet of frontage. Lot 14 increasing in size from 4,802 square feet and 192 feet of frontage to 8,640 square feet and 217 feet of frontage. Said property is located on Assessor Map 162 Lot 13 & 14 and lies within the General Residence A (GRA) District. (LU-23-120)

SPEAKING TO THE APPLICATION

[Timestamp 2:28:54] Attorney Monica Kaiser was present on behalf of the applicants, along with the project engineer Daniel Dadmum. She said there was a T-shaped area in the middle of the property between the two homes and on the rear side, and the Ginsbergs wanted to add a garage. She said they had a property survey done and learned that the area of the property they occupied was not theirs, so the configuration of the two lots did not match the tax map. She said the error happened in the 1960s and the neighbors resolved the situation. She said the garage and setbacks to the lot lines were approved by the Board of Adjustment and the applicant was before the Board for the lot line adjustment that will dissolve the tee portion between the two parties and clean up the issue and the tax record. She said it looked like the amount of land they were taxed on was accurate but just not reflected on the ground, and each lot would now be a bit bigger.

Mr. Hewitt said he found it odd that the tee-shaped area was shared by the two agreeing parties and asked how Attorney Kaiser knew which lot was the applicant's to divide. Attorney Kaiser said they discovered the issue as a result of the survey and then tracked down the former owners of the Splaine property. She said the Splaines and Ginsbergs then bought the tee area from that family, so now the four of them owned it and were before the Board to apportion it between the two families. She referenced a letter from Ashton Hearst, the husband of one of the family members that the tee was purchased from, who said he didn't realize that the Bartlett and Meredith Streets frontages were included, so there was no concern there.

Chair Chellman opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Chellman closed the public hearing.

DECISION OF THE BOARD

Subdivision Waiver

1) Vice-Chair Clark moved that the Board vote to grant the requested waivers to the Subdivision Standards from Section VI.5 Driveways, VI.6 Drainage Improvements, Section VI.7 Municipal water service, Section VI.8 Municipal sewer service, Section VI.9 Installation of utilities, Section VI.14 Erosion and Sedimentation Control, Section IX.1 Improvements and Installation Bonds, and Section IX.2 Maintenance Bonds.

Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.

Councilor Moreau seconded the motion. The motion passed with all in favor, 9-0.

Subdivision

- 1) *Vice-Chair Clark moved that the Board vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as presented.*

Councilor Moreau seconded. The motion passed with all in favor.

- 2) *Vice-Chair Clark moved that the Board voted to grant Preliminary and Final Subdivision Approval with the following **conditions**:*

2.1) The subdivision plan, and any easement plans and deeds shall be recorded simultaneously at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.

2.2) Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat;

2.3) GIS data shall be provided to the Department of Public Works in the form as required by the City.

Councilor Moreau seconded. The motion passed with all in favor.

- C. The request of **Coventry Realty LLC (Owner)**, for property located at **111 State Street** requesting a parking Conditional Use Permit under Section 10.1112.14 to allow zero (0) parking spaces where 48 are required. Said property is located on Assessor Map 107 Lot 50 and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-125)

SPEAKING TO THE APPLICATION

[Timestamp 2:37:46] Project engineer John Chagnon was present on behalf of the applicant as well as Hailey Ward of behalf of Coventry Realty, project architect Tracy Kozak, owner Mark McNabb, and Marie Bodi of Coventry Realty. Mr. Chagnon said they were asking for a parking Conditional Use Permit for the conversion of second-floor space from restaurant to residential. He said they wanted to add two apartments to the building in addition to the five residential units that were approved a year ago. He said it would decrease the parking demand by 25 spaces, noting that the revised parking demand was 48 spaces. He said zero spaces could be provided due to the lot building to the property line and the lot buildout that can't be changed. He said TAC recommended approval of the project. He said the downtown location offers access to services so the tenants don't need a full-time car, and bicycle racks were added for alternative modes of transportation. He said the site has operated with a higher demand for some time and it didn't cause a problem in the downtown of neighborhood. He said the restaurant's peak parking demand was not at the same time as the peak parking demand of the residential uses. Ms. Kozak

said the addition in the back of the courtyard is what kicked off the project. She said the new fire egress stair and elevator were required by the Fire Department.

[Timestamp 2:42:15] Mr. Hewitt said there were a few different floor plans on the second floor over time and that he had never heard of a four-bedroom apartment having four full baths. Mr. McNabb said they would prefer to have more bedrooms but the Chief Building Inspector and TAC determined that it would have been a boarding house with the amount of bedrooms they had, so they made less bedrooms and two units. Mr. Hewitt asked if the 1,200-sf one bedroom apartment with two full baths was what was intended to build. Ms. Kozak said it was 1,170 square feet for a one-bedroom and two full baths. Mr. Hewitt asked what would prompt a one-bedroom apartment to have two full baths. Ms. Kozak said the bathrooms were tiny and were the same size as a regular bathroom. She said there might be two people living in that apartment or even three. Mr. McNabb said he wasn't allowed to make it a two-bedroom because there couldn't be a separate room without a window. He said it was a large apartment on the existing second floor and they had to conform to building code and zoning. Chair Chellman asked if it changed the applicant's parking analysis. Ms. Kozak said it didn't because it went by square footage. Councilor Moreau asked if mopeds could be accommodated in addition to bikes. Ms. Kozak said they could be, noting that there were two bike storage areas, one inside and one outside. Ms. Begala said the Board received a comment from citizen Elizabeth Bratter about counting the kitchen and restaurant storage on the first floor in the area constituting a restaurant, which would affect the parking analysis. Ms. Kozak said the parking analysis was adjusted to include the basement space, which was the prep kitchen. She said the accessory spaces in the basement per the zoning ordinance did not require parking and that it was updated in the package. Vice-Chair Clark asked if the two basement storage rooms were for the restaurant of the tenants. Ms. Kozak said one room was for six bikes and the other was storage for tenants.

Chair Chellman said the Downtown Overlay District had a strange configuration in that area and had several recommended changes to it going back to 2010. He asked Mr. McNabb if he had looked at that. Mr. McNabb said he didn't know why that area of Sheafe Street was carved out in the Downtown Overlay District and thought it was awkward. Chair Chellman said he told the Board that they needed to make suggestion to the City Council about it. He said the current Downtown Overlay District fit the way downtown was in 1975. Mr. McNabb said it was awkward to have a parking regulation where 80 percent was nonconforming. Chair Chellman said the fact that the applicant had a request to reduce from 48 spaces to zero showed a lack of connection between the ordinance and reality and that 48 spaces would eliminate the entire project. Mr. Bowen asked if there had been a loss of parking on Sheafe Street in the past, and Ms. Bodi said there had not. Mr. Harris said there was a loss of parking where outside dining took place and that it seemed like a sacrifice to exchange parking for that due to the demand for parking downtown. It was further discussed. Chair Chellman said there was a separate study going on by the Parking Utilization Committee and a hearing was scheduled in November. He said that group was not in the stage of making a recommendation for final regulatory changes but it was moving in the direction of policies that spoke to the need for more public parking and not private parking downtown. He said the Board could make a recommendation to the City Council to consider the need for public parking as things go forward. It was further discussed.

Chair Chellman opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

First Time Speakers

Elizabeth Bratter of 159 McDonough Street passed out documents to the Board to compare the existing basement plans to the proposed ones. She said the red area was the same use and just the names had changed, and the prep kitchen was downstairs. She said all of that should be included in the parking analysis. She said that district had no requirement for commercial parking.

Bill Downey of 67 Bow Street (via Zoom) said most of the apartments in those areas had never had parking, including present day. He said he didn't see a viable option except for the residential one because office space was such a soft market. He said he was in strong support of the request and thought there would be losses or gains on Sheafe Street.

Second Time Speakers

Elizabeth Bratter of 159 McDonough Street said on May 2, 2023 Deer Street was granted a parking Conditional Use Permit to provide zero spaces where seven were allowed. She said it was generous of the Board to allow a 35-space reduction for the lot, yet 111 State Street was before the Board again asking for 48 spaces to be washed away. She said they didn't show where the nine needed spaces for the residents would be found. She said the back parking area was now proposed to have buildings to meet other requirements and that a minimum of four stacked parking spaces could be placed out back. She said not providing residential parking in downtown wasn't acceptable. She said Portsmouth lowered the parking requirements but residential units should have parking. She asked that the Board not approve the reduction in parking and noted that even with the change to the residential, the applicant was not able to meet the criteria for a Conditional Use Permit. She said the applicant had still not bought down the parking to the 35 spaces they were granted previously and they didn't show how big the prep kitchen is or why it's not included. She said the Board could allow fewer than the maximum spots but can't allow none. She said the applicant was short 13 spaces, even with the 35-space reduction.

Project Engineer John Chagnon said the applicant was before the Board a year ago for a different application, which was 35 spaces, and the numbers at that time were based on the interpretation of the former Planning Director by looking at only the portions of the building that were changing at the time. He said the 48 spaces were now calculated taking into account the entire building, and the proposed change is a decrease in parking, going from 25 to 2.5, so it sounds like the application is for more relief but it really isn't.

Bill Downey of 67 Bow Street said if the number of units are reduced, the residents will be able to afford up to \$500 for parking. He said if the units were affordable, people have to learn how to find a place to park. He said it was a downtown location that was always residential up until the last dozen years or so when it became anything other than that. He said the request was reasonable and more apartments were needed in the City.

Third Time Speakers

No one else spoke, and Chair Chellman closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Ms. Begala asked if the final outcome was reviewed with the Deer Street property. Chair Chellman said, based on the second application and the applicant's explanation that they could not secure those offsite spaces, the Board approved it. Councilor Moreau said they couldn't do it prior to getting occupancy, which was the big issue.

Mr. Samonas said it was an opportunity to reflect on some of the parking codes and the ordinance and that he was unwilling to let it slide in the future because it set a scary precedent for property owners downtown who may fall inside or outside of the Overlay District to reposition their properties and take advantage of some of the parking precedents that are being set. He said the applicant had a long history of utilizing visa employment in his restaurants, so it seemed a viable opportunity to complete that cycle for business and investment, but if it was just one property owner looking to get reduced parking to zero, the Board would then create a snowball effect, whether it was Sheafe Street, Deer Street, or anywhere in downtown proper. He said the Board should find a concrete solution to that. He noted that more and more private parking areas were being purchased and will become developed, and some of those spaces will get lost and the Board would hear that they set a precedent on similar projects and it will create a disruption on how property developers look at downtown. He said it was naïve for restaurant owners to think that their employees would just figure things out. Chair Chellman said it was directly related to public policy of providing public parking, and the state of the practice downtown today was that you don't require parking in an environment like this by a private owner. He said private parking was private and not shared, and public parking was shared so less of it was needed. He said a dialog with the City Council would help create more public parking.

Councilor Moreau said she was in support of the applicant. Based off the numbers the Board got, she said a lot of these people didn't have cars and the few who did would rent spaces in the City's parking garages, She said there was lots of public transportation also. She said the zoning had to be looked at again as far as parking because the downtown was different from other zones and zoning was needed that reflected that. Mr. Hewitt said he could not support the Conditional Use Permit because he had a long-standing issue with the City's parking rights to begin with. He said the number of bedrooms was a better indicator than parking demands in an apartment area. He said that was well established at Western Yards, but he didn't believe that some of the applicant's apartments would stay one-bedroom ones and thought there would be more parking demands. Mr. Samonas said it wasn't efficient to require parking because the City didn't want to increase the demand for car traffic, but it also passed onto property owners and the neighbors who might be impacted. He said the West End and Islington Street areas and some of downtown were all in the same situation where people all had cars, but he worried about the disruption within the neighborhoods, like blocking a driveway or taking someone's parking spot. He advised being cognizant of the applicant's property and surrounding properties that could be impacted by this residual type of approval. Mr. Harris said the applicant was giving up four public parking spaces and not providing any parking, which seemed contradictory. Mr. Almeida said he didn't fear a precedent being set because there has never been parking in those areas. Mr.

Samonas said his conflict came from the site being previously approved as a restaurant where there were certain stipulations and then changing into residential with a waiver request.

Conditional Use Permit

- 1) *Vice-Chair Clark moved that the Board vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1112.14 and to adopt the findings of fact as presented.*

Mr. Almeida seconded. The motion passed with all in favor.

- 2) *Vice-Chair Clark moved that the Board vote to grant the conditional use permit as presented.*

Mr. Almeida seconded. The motion passed 6-2, with Mr. Hewitt and Mr. Harris voting in opposition to the motion and Ms. Begala abstaining from the vote.

- D.** The request of **Marcella F. Hoekstra (Owner)**, for property located at **35 Whipple Court** requesting a Conditional Use Permit Approval as permitted under Section 10.814 to allow a Detached Accessory Dwelling Unit. Said property is located on Assessor Map 260 Lot 98 and lies within the Single Residence B (SRB) District. (LU-23-147)

SPEAKING TO THE APPLICATION

Attorney Monica Kaiser was present on behalf of the applicant and said the proposal was to place a small ADU in a portion of the existing detached garage. She said they were also asking for a waiver from the parking requirement. She said there was enough space for two small cars but not enough for two compliant parking spaces, but given the small size of the house with a single owner, it worked out. She said almost all the abutters supported the proposal and the Staff Memo stated that the garage issues were resolved and the ADU was under 400 square feet.

Vice-Chair Clark asked if the asphalt in front of the garage was removed. Attorney Kaiser said it was and there was just a small section for plantings.

Chair Chellman opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Chellman closed the public hearing.

DISCUSSION AND DECISION OF THE BOARD

Conditional Use Permit

1) *Councilor Moreau moved that the Board vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.814.62 and to adopt the findings of fact as presented.*

Mr. Almeida seconded. The motion passed with all in favor.

2) *Councilor Moreau moved that the Board vote to grant the Conditional Use Permit with a modification to the requirement set forth in Section 10.814.26 to not require an additional parking space for the DADU and to approve the Conditional Use Permit with the following condition:*

2.1) In accordance with [Sec. 10.814.70] of the Zoning Ordinance, the owner is required to obtain a certificate of use from the Planning Department verifying compliance with all standards of [Sec. 10.814], including the owner-occupancy requirement, and shall renew the certificate of use annually.

Mr. Almeida seconded. The motion passed with all in favor.

E. The request of **Richard and Jessica Hayes (Owners)**, and **William and Katja Becker (Owners)**, for property located at **40 Walker Bungalow Road and 26 Walker Bungalow Road** requesting Preliminary and Final Subdivision approval for a lot line relocation to remove the encroachment of a driveway and retaining wall as follows: Tax Map 222 Lot 5-1 consisting of 53,970 square feet of lot area, increasing in frontage from 140. feet to 160.17 feet with no change in lot area. Tax Map 222 Lot 5-2, consisting of 37,637 square feet, decreasing in frontage from 120.17 feet to 100 feet, with no change in lot area. Said property is located on Assessor Map 222 Lot 5-1 and Map 222 Lot 5-2 and lies within the Single Residence B (SRB) District. (LU-23-137)

SPEAKING TO THE APPLICATION

The applicant Richard Hayes were present and said he represented himself, his wife, and his neighbors the Beckers. He said the issue was encroachment of his driveway and a 15-ft retaining wall on the Beckers' property and that he wanted approval for a land swap and removal of the line between the two properties that would eliminate the encroachment.

The Board had no questions, and Chair Chellman opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chair Chellman closed the public hearing.

DECISION OF THE BOARD

Subdivision Waiver

- 1) *Vice-Chair Clark moved that the Board vote to grant the requested waivers to the Subdivision Standards from Section VI.3 Streets, Section VI.4 Curbing, VI.5 Driveways, VI.6 Drainage Improvements, Section VI.7 Municipal water service, Section VI.8 Municipal sewer service, Section VI.9 Installation of utilities, Section VI.14 Erosion and Sedimentation Control, Section IX.1 Improvements and Installation Bonds, and Section IX.2 Maintenance Bonds.*

Specific circumstances relative to the subdivision, or conditions of the land in such subdivision indicate that the waiver will properly carry out the spirit and intent of the regulations.

Councilor Moreau seconded. The motion passed with all in favor.

Subdivision

- 1) *Vice-Chair Clark moved that the Board vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as presented.*

Councilor Moreau seconded. The motion passed with all in favor, 9-0.

- 2) *Vice-Chair Clark moved that the Board vote to grant Preliminary and Final Subdivision Approval with the following **conditions**:*

2.1) The subdivision plan, and any easement plans and deeds shall be recorded simultaneously at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.

2.2) Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat;

2.3) GIS data shall be provided to the Department of Public Works in the form as required by the City;

Councilor Moreau seconded. The motion passed with all in favor.

THE FOLLOWING ITEMS WILL BE HEARD ON THURSDAY, OCTOBER 26, 2023

- F.** The request of **Eric and Amanda Beidleman, (Owners)**, for property located at **810 McGee Drive** requesting a Wetland Conditional Use Permit from Section 10.1017 for the removal of an existing 508 s.f. rear deck within the 100-ft wetland buffer and the associated framing and stairs. The applicant is proposing to replace the rear deck with a smaller deck of approx. 319 s.f. with a 60 s.f. landing. Said property is located on Assessor Map 219 Lot 45-5 and lies within the Single Residence B (SRB) District. (LU-23-143)
- G.** The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Site Plan Review approval for the construction of nine (9) single-family dwellings with associated paving, stormwater management, lighting,

utilities and landscaping. Said property is located on Assessor Map 217 Lot 2-1844 and lies within the General Residence B (GRB) District. (LU-23-138)

- H.** The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Preliminary and Final Subdivision approval for the subdivision of the 2.23-acre lot into nine (9) conforming Single-Family lots. Said property is located on Assessor Map 217 Lot 2-1844 and lies within the General residence B (GRB) District. (LU-23-138)
- I. REQUEST TO POSTPONE** The request of **Lonza Biologics (Owner)**, for property located at **101 International Drive** requesting Amended Site Plan approval for Phase 2 which includes fit-up of Building #1 and the utility building, construction of a temporary surface parking lot and gravel area for construction trailers, parking and laydown area in the location of Proposed Building #2. Said property is located on Assessor Map 305 Lot 6 and lies within the Airport Business Commercial (ABC) District. **REQUEST TO POSTPONE** (LU-23-108)

Councilor Moreau moved to grant the request to postpone to the November meeting, seconded by Mr. Almeida. The motion passed with all in favor.

- J.** The request of **Richard P. Fusegni (Owner)**, for property located at **201 Kearsarge Way** requesting Amended Subdivision approval for revisions to the grading and drainage design. Said property is located on Assessor Map 218 Lot 5 and lies within the Single Residence B (SRB) District. (LU-23-161)
- K.** The request of **Daniel Sigalovsky and Sarah Cook (Owners)**, for property located at **390 F.W. Hartford Drive** requesting a Wetland Conditional Use Permit from Section 10.1017 for the removal of an existing 16' x 24' rear deck within the 100-ft wetland buffer and the replacement of the deck with a 14' x 16' permeable paver patio. The project will include enhanced stormwater management including a gravel infiltration area, installation of a rain garden, native plantings, and the installation of a permeable patio in place of the existing deck. Said property is located on Assessor Map 249 Lot 25 and lies within the Single Residence B (SRB) District. (LU-23-140)

*The Board voted to postpone the above items (IV.) F. through K. to the **October 26, 2023** meeting.*

V. CITY COUNCIL REFERRALS

- A.** Right of Way Easement on Gray's Lane

Councilor Moreau moved that the Board vote to recommend that the City Council authorize the City Manager to accept a right of way easement over land at 219 Sagamore Avenue from Thomas and Deidre Hammar (Tax Map 221 Lot 19).

Vice-Chair Clark seconded. The motion passed with all in favor.

VI. OTHER BUSINESS

- A. Chairman updates and discussion items
- B. Planning Board Rules and Procedures
- C. Board discussion of Regulatory Amendments, Master Plan Scope & other matters

There was no other business.

VII. ADJOURNMENT

The meeting adjourned at 10:35 p.m.

Respectfully submitted,

Joann Breault,
Secretary for the Planning Board



City of Portsmouth
Planning Department
1 Junkins Ave, 3rd Floor
Portsmouth, NH
(603)610-7216

Memorandum

To: Planning Board
From: Peter Stith, Planning Manager
Date: October 19, 2023
Re: Recommendations for the October 19, 2023 Planning Board Meeting

I. APPROVAL OF MINUTES

A. Approval of the September 21, 2023 and September 28, 2023 minutes.

Planning Department Recommendation

1) Board members should determine if the draft minutes include all relevant details for the decision-making process that occurred at the September 21, 2023 regular meeting and September 28, 2023 work session and vote to approve meeting minutes with edits if needed.

II. DETERMINATION OF COMPLETENESS

SUBDIVISION REVIEW

- A. The request of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting to Subdivide one lot into two lots to create the following: Proposed Lot 1 with 6.65 acres of lot area and 354 feet of street frontage and Proposed Lot 2 with 7.96 acres of lot area and 200 feet of street frontage. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District.
- B. The request of **Caleb E. and Samantha L. Ginsberg (Owners)**, and **Peter and Donna Splaine (Owners)**, for property located at **303 Bartlett Road** and **295/299 Bartlett Street** requesting Preliminary and Final Subdivision approval for a lot line relocation between Tax Map 162 Lot 13 and Lot 14 where a separate parcel was discovered between the two lots and is proposed to be divided between Lot 13 and 14 as follows: Lot 13 increasing in size from 4,906 square feet and 36 feet of frontage to 6,665 square feet and 37 feet of frontage. Lot 14 increasing in size from 4,802 square feet and 192 feet of frontage to 8,640 square feet and 217 feet of frontage. Said property is located on Assessor Map 162 Lot 13 & 14 and lies within the General Residence A (GRA) District.
- C. The request of **Richard and Jessica Hayes (Owners)**, and **William and Katja Becker (Owners)**, for property located at **40 Walker Bungalow Road** and **26 Walker Bungalow Road** requesting Preliminary and Final Subdivision approval for a lot line relocation to remove the encroachment of a driveway and retaining wall as follows: Tax Map 222 Lot 5-1 consisting of 53,970 square feet of lot area, increasing in frontage from 140. feet to 160.17 feet with no change in lot area. Tax Map 222 Lot 5-2, consisting of 37,637 square feet, decreasing in frontage from 120.17 feet to 100 feet, with no change in lot area. Said property is located on Assessor Map 222 Lot 5-1 and Map 222 Lot 5-2 and lies within the Single Residence B (SRB) District.
- D. The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Preliminary and Final Subdivision approval for the subdivision of the 2.23-acre lot into nine (9) conforming Single-Family lots. Said property is located on Assessor Map 217 Lot 2-1844 and lies within the General residence B (GRB) District.

Planning Department Recommendations

- 1) *Vote to determine that the above applications are complete according to the Subdivision Review Regulations, (contingent on the granting of any required waivers under Sections III and/or IV of the agenda) and to accept the application for consideration.*
-

SITE PLAN REVIEW

- A. The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District.

- B. The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Site Plan Review approval for the construction of nine (9) single-family dwellings with associated paving, stormwater management, lighting, utilities and landscaping. Said property is located on Assessor Map 217 Lot 2-1844 and lies within the (GRB) District.

Planning Department Recommendations

- 2) *Vote to determine that Item A is complete according to the Site Plan Review Regulations, (contingent on the granting of any required waivers under Sections III and/or IV of the agenda) and to accept the applications for consideration.*
-

III. PUBLIC HEARINGS – OLD BUSINESS

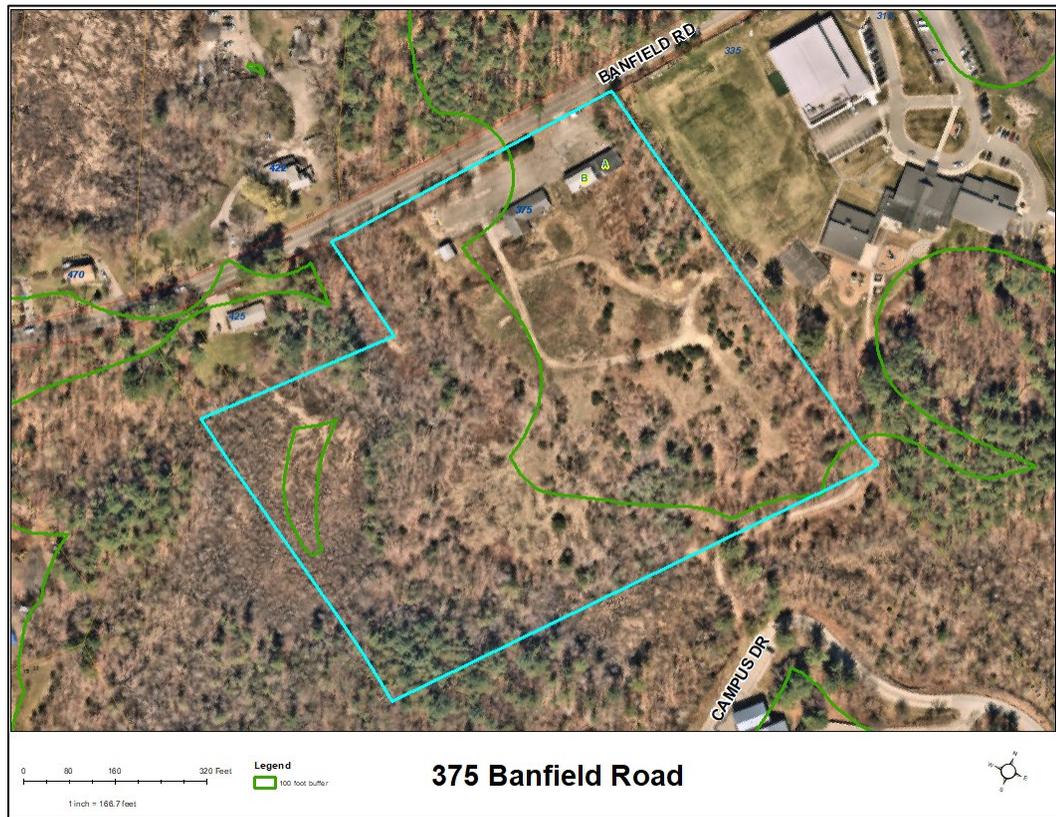
*The Board’s action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

It is recommended that Old Business Items IIIA, B & C be discussed together and voted on separately. A motion is required to consider these items together.

- A.** The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District. (LU-20-259)

Project Background

This application proposes removing the existing buildings and constructing a new, 75,000 square foot industrial building. The property contains two commercial buildings and was most recently an auto salvage yard. The majority of the lot contains wetlands or wetland buffer area, with approximately 6.5 acres of the 17-acre site consisting of uplands and the remaining 10.5 acres consisting of wetlands and buffer area. As part of this proposal, the applicant is proposing to subdivide the lot into two lots to separate the development from the lowland portion of the site that consists of wetlands. A portion of the stormwater infrastructure is in the buffer as well as an area near the entrance of the site where asphalt will be removed and replaced with a vegetative strip. This work triggers the requirement for a Wetland CUP. The applicant has revised the plans to remove the previously proposed grading of the easement area and install a retaining wall. In addition, a new easement for sewer connection to the City’s for existing sewer on the Community Campus property. A gravel trail will be added in the easement area after the sewer is installed.



Project Review, Discussion, and Recommendations

The applicant was before the Conservation Commission in 2021 and has been working through the Technical Advisory Committee since February of 2021 and received a recommendation on June 6, 2023. See below for details.

Conservation Commission

The Conservation Commission, at its regularly scheduled meeting of Wednesday, June 9, 2021, considered the application and voted (5-0) to recommend approval of the Wetland Conditional Use Permit to the Planning Board with the following conditions:

- 1. Any areas left to naturally revegetate shall be loamed and seeded with a wildflower mix and monitored for invasive species, and their removal shall be done according to Article 10 Section 10.1018.23 of the zoning ordinance.*

Technical Advisory Committee – Site Plan

The project first went to TAC in early 2021 and was postponed for a considerable amount of time while the applicant was working with DES and the EPA on pollutant investigation and preparing remediation plans for the upland portion of the property. At the regularly scheduled Technical Advisory Committee meeting on June 6, 2023, the Committee recommended approval to the Planning Board with the following conditions:

- 1) Subject to written assurance and any required surety for performance provided to*

the Planning Board, the applicant shall conduct work in accordance with all requirements of the NHDES letter dated April 26, 2023, which includes investigation work in the proposed upland development areas, approval of an Activities and Use limitation and the completion of a remedial action implementation plan for the upland development area. In addition, as presented by the applicant, they shall continue their investigation of the lowland area, including full characterization of any reportable site contaminants in compliance with any and all remedial action plans or other permits from NHDES or the EPA.

2) Fire service shall be at least 8" in diameter to where it meets the two 6" lines.

Technical Advisory Committee – Subdivision

The Technical Advisory Committee, at its regularly scheduled meeting on Tuesday, August 1, 2023 recommended approval of the subdivision to the Planning Board with the following conditions:

- 1) The necessary waivers are requested prior to Planning Board approval.*
- 2) Proof of clean up responsibility required prior to Planning Board approval.*

The applicant has satisfied both comments above in their Planning Board submission.

Staff Analysis – Wetland CUP

1. The land is reasonably suited to the use activity or alteration.

The amended proposal is for 4000 square feet of new stormwater treatment swale to be constructed in the wetland buffer almost to the edge of the existing wetland area. It was stated by the applicant that this swale needed to be constructed here to stay away from waste. The applicant has provided reasoning for the location of the buffer encroachment.

2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.

The proposed pavement to be removed from the buffer is the appropriate location for this work. Per the approved DES plan, the building will act as a cap for the contaminated soil and the stormwater will be directed to the wetlands to reduce the infiltration of water into the contaminated soil.

3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.

This pavement removal will result in a reduction of impervious surface in the wetland buffer but the stormwater treatment swale and stone check dam are all new impacts to the buffer.

4. Alteration of the natural vegetative state or managed woodland will occur only to the

extent necessary to achieve construction goals.

The removal of pavement from the buffer will result in an expansion of the natural vegetative state of the buffer. The addition of the new vegetated area will provide some buffer function as the natural vegetation in this location where there is pavement today.

5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.

The proposed pavement removal will reduce the amount of impervious surface in the wetland buffer. The new swale at the rear of the site initially did not appear to be the least impacting alternative, the design and location will allow stormwater to drain into the wetland and reduce the amount of infiltration on site.

6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

The plan provides for removal of pavement in the buffer to provide a planted area and the proposed swale will be vegetated so it will be vegetated over much of its area but the maintenance will now allow for as robust a planting as would be if this were undisturbed buffer.

Planning Department Recommendation

Subdivision Waiver

1. *Vote to grant the requested waivers to the Subdivision Standards from Section IX.1 Improvements and Installation Bonds, and Section IX.2 Maintenance Bonds. [NOTE: Motion maker must select one of the following options]:*

a) *Strict conformity would pose an unnecessary hardship to the applicant and waiver would not be contrary to the spirit and intent of the regulations.*

[OR]

b) *Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.*

Planning Department Recommendation

Subdivision

- 1) *Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as presented.*

(Alt.) Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as amended and read into the record.

- 2) *Vote to grant Preliminary and Final Subdivision Approval with the following stipulations:*
 - 1.1) *The subdivision plan, and any easement plans and deeds shall be recorded simultaneously at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
 - 1.2) *Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat;*
 - 1.3) *GIS data shall be provided to the Department of Public Works in the form as required by the City;*

Site Plan Approval

1) Vote to find that the Site Plan Application meets the requirements set forth in the Site Plan Regulations Section 2.9 Evaluation Criteria and adopt the findings of fact as presented.

(Alt.) Vote to find that the Site Plan Application meets the requirements set forth in the Site Plan Regulations Section 2.9 Evaluation Criteria and adopt the findings of fact as amended.

2.) Vote to grant Site Plan Approval with the following conditions:

Conditions to be satisfied subsequent to final approval of site plan but prior to the issuance of a building permit or the commencement of any site work or construction activity:

- 1.1) *The site plan, and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
- 1.2) *The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights-of-way and on site.*
- 1.3) *Any site development (new or redevelopment) resulting in 15,000 square feet or greater ground disturbance will require the submittal of a Land Use Development Tracking Form through the Pollutant Tracking and Accounting Program (PTAP) online portal. For more information visit <https://www.cityofportsmouth.com/publicworks/stormwater/ptap>*
- 1.4) *DPW will review and approve the locations of domestic and fire service lines entering all buildings.*

Prior to the issuance of a Certificate of Occupancy or release of the bond:

- 1.5) *The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance.*
- 1.6) *Subject to written assurance and any required surety for performance provided*

to the Planning Board, the applicant shall conduct work in accordance with all requirements of the NHDES letter dated April 26, 2023, which includes investigation work in the proposed upland development areas, approval of an Activities and Use limitation and the completion of a remedial action implementation plan for the upland development area. In addition, as presented by the applicant, they shall continue their investigation of the lowland area, including full characterization of any reportable site contaminants in compliance with any and all remedial action plans or other permits from NHDES or the EPA.

Planning Department Recommendation

Wetland Conditional Use Permit

1) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017 and to adopt the findings of fact as presented.

(Alt.) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017 and to adopt the findings of fact as amended and read into the record.

2) Vote to grant the Wetland Conditional Use permit with the following condition:

- 1.1) Any areas left to naturally revegetate shall be loamed and seeded with a wildflower mix and monitored for invasive species, and their removal shall be done according to Article 10 Section 10.1018.23 of the zoning ordinance.*

III. PUBLIC HEARINGS – OLD BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

It is recommended that Item IIIA, B & C under Old Business be discussed together and voted on separately.

A motion is required to consider these items together.

- B.** The request of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting to Subdivide one lot into two lots to create the following: Proposed Lot 1 with 6.65 acres of lot area and 354 feet of street frontage and Proposed Lot 2 with 7.96 acres of lot area and 200 feet of street frontage. Said property is shown on Assessor Map 266 Lot 7 and 7-1 and lies within the Industrial (I) District. (LU-23-107)

See Item IIIA under Old Business

- C.** The application of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting a Wetland Conditional Use Permit according to Section 10.1017 of the Zoning Ordinance for 7,910 square feet of impact within the 100' wetland buffer for stormwater management in association with the proposed development. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District. (LU-20-259)

See Item IIIA under Old Business

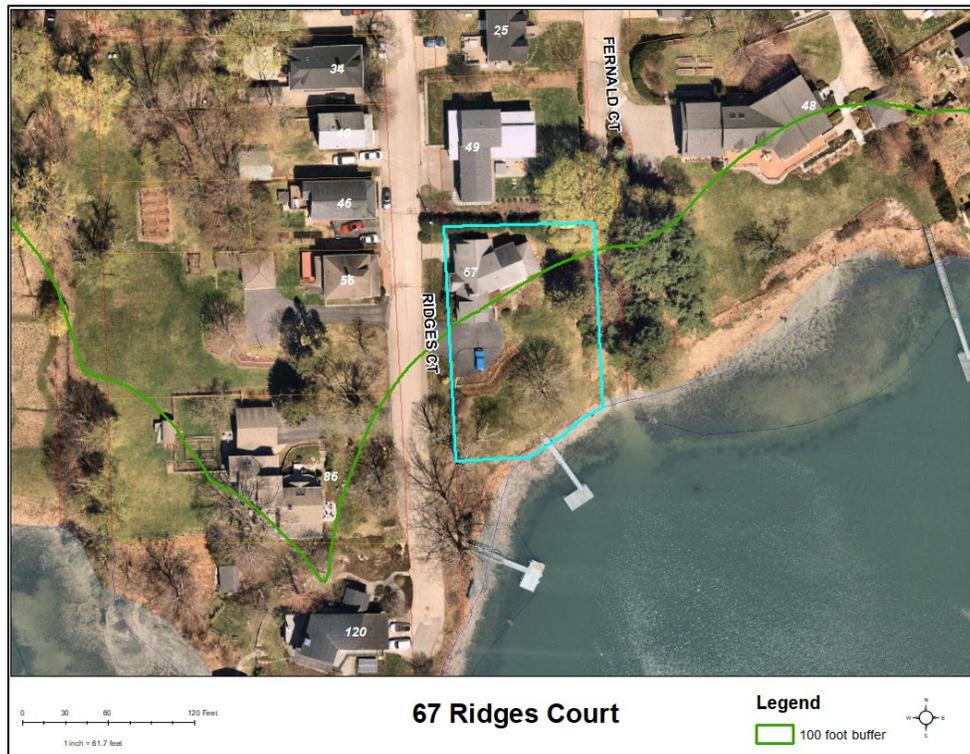
IV. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. The request of **Jeffrey M. and Melissa Foy (Owners)**, for property located at **67 Ridges Court** requesting a Wetland Conditional Use Permit from Section 10.1017 of the Zoning Ordinance for the construction of a new addition, a re-configuration of the existing driveway utilizing pervious pavers, installation of three rain gardens, and construction of stone steps and a stone patio. The project proposes a decrease of 479 sf of impervious surface and is proposing 2,010 sf of permanent impacts and 1,056 sf of temporary impacts. The impacts would be offset by the various buffer plantings to be planted within the 25' vegetated buffer as well as the installation of the rain gardens to help control and filter storm-water runoff from the property as well as other areas upslope from the street. Said property is located on Assessor Map 207 Lot 59 and lies within the Single Residence B (SRB) District. (LU-22-199)

Project Background

The applicant is proposing to construct a new garage addition with living space above, a bump out of the existing rear deck and roof, a re-configuration of the existing driveway utilizing pervious pavers, installation of three rain gardens, and construction of stone steps and a stone patio. The existing retaining walls are to remain. Approximately 68% of the lot is within the City's 100 ft wetland buffer and the project proposes a decrease of 479 sf of impervious surface across the lot. Within the buffer, the applicant is proposing 2,010 sf of permanent impacts and 1,056 sf of temporary impacts. The impacts would be offset by the various buffer plantings to be planted within the 25' vegetated buffer as well as the installation of the rain gardens to help control and filter stormwater runoff from the property as well as other areas upslope from the street.



Project Review, Discussion, and Recommendations

The applicant has been before the Board of Adjustment and the Conservation Commission prior to coming before the Planning Board. See below for details.

Board of Adjustment

The applicant was first before the Board of Adjustment at its regularly scheduled meeting of Tuesday, August 16, 2022 for a larger addition which was denied by the Board. The applicant reduced the size of the addition and submitted a new application for consideration. The Board of Adjustment, at its regularly scheduled meeting of Tuesday, April 18, 2023, considered the application for variance and voted to:

- 1. approve the request to rehear based on Fisher v. Dover; and 2) grant the variances for the application as presented and advertised.*

Conservation Commission

The Conservation Commission, at its regularly scheduled meeting of Wednesday, August 9, 2023, considered the application and voted to recommend approval of the Wetland Conditional Use Permit to the Planning Board with the following conditions:

- 1. In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall install at least 3 permanent wetland boundary markers during project construction in*

the locations discussed with the Conservation Commission. These can be purchased through the City of Portsmouth Planning and Sustainability Department.

2. Applicant shall provide a report on the success of the rain garden plantings one year after planting has occurred to the City of Portsmouth Planning & Sustainability Department. If they have not achieved at least an 80% success rate then the applicant will replant.

3. Applicant and property owners shall follow NOFA standards for organic land care for lawn maintenance. Please visit <https://nofa.organiclandcare.net/homeowner-resources/> for details.

Staff Analysis

1. *The land is reasonably suited to the use activity or alteration.*

Currently the area that will receive the addition is impervious asphalt. The new addition will not impact the amount of impervious on the site and will increase the infiltration of stormwater with the conversion of the driveway from impervious to a new porous driveway and the adjacent rain garden system which will also help mitigate roof runoff.

2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

Given that a majority of the property is within the buffer, there is no other reasonable location for the garage addition. It will be placed in an area that is already impervious surface within the buffer and will be removing a large portion of the current impervious asphalt in favor of a porous driveway.

3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.*

This project is within the 100' buffer of a tidal wetland. The wetland edge currently includes salt marsh species which are to be further buffered with the applicant's landscaping plan which includes additional salt marsh grasses along with both native and non-native plants to further protect the resource. The applicant is also proposing to remove invasive burning bush species.

4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.*

This project is not proposing any construction within the 25' vegetative buffer but will be enhancing the buffer with various plantings which will add an additional 5 feet of buffering to the wetland edge.

5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.

This application proposes a new attached garage with a new porous driveway, the expansion of the rear deck and roof, the installation of new stone steps, a stone patio, and three rain gardens. According to the applicant, this project will result in a net loss of approximately 479 sf of impervious surface across the property, which should create a positive impact on the wetland resource. The applicant has shown a mitigation plan that will work to offset the impacts of the new addition by capturing and filtering stormwater before it reaches the salt marsh species and wetland resource.

6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

As stated above, new buffer plantings are to be added to the vegetative buffer strip which should help the buffer continue to protect the tidal wetland resource.

Planning Department Recommendation

Wetland Conditional Use Permit

1) *Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.60 and to adopt the findings of fact as presented.*

(Alt.) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.60 and to adopt the findings of fact as amended and read into the record.

2) *Vote to grant the Wetland Conditional Use permit with the following conditions:*

- 2.1) *In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall install at least 3 permanent wetland boundary markers during project construction in the locations discussed with the Conservation Commission. These can be purchased through the City of Portsmouth Planning and Sustainability Department.*
 - 2.2) *Applicant shall provide a report on the success of the rain garden plantings one year after planting has occurred to the City of Portsmouth Planning & Sustainability Department. If they have not achieved at least an 80% success rate then the applicant will replant.*
 - 2.3) *The applicant and property owners shall follow NOFA standards for organic land care for lawn maintenance. Please visit <https://nofa.organiclandcare.net/homeowner-resources/> for details.*
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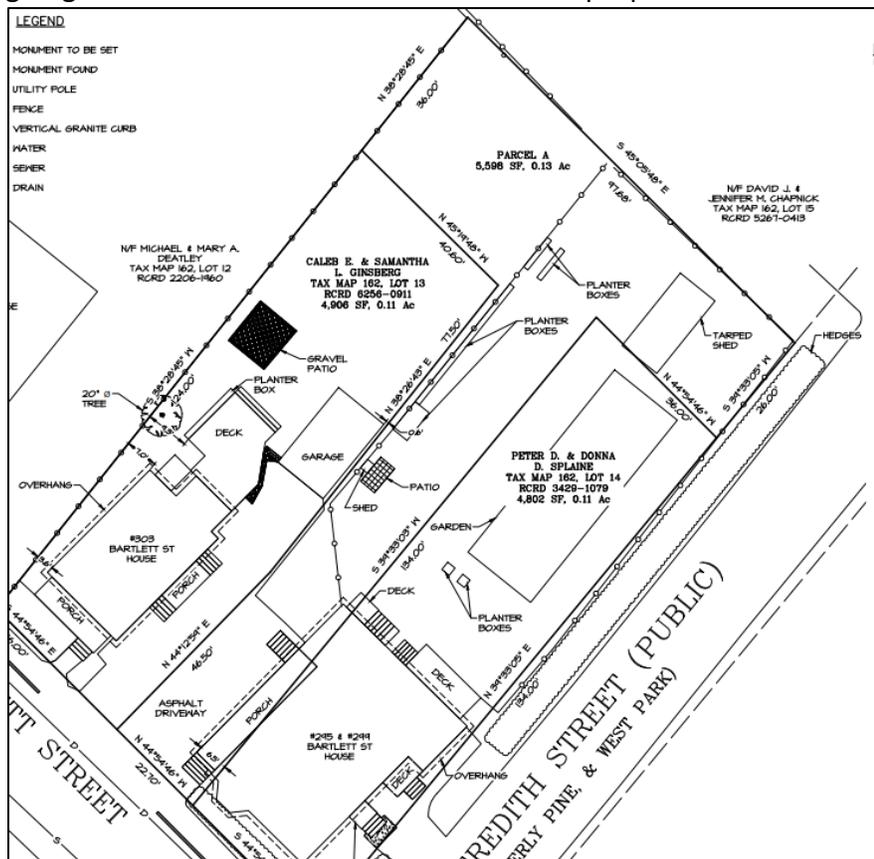
IV. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- B. The request of **Caleb E. and Samantha L. Ginsberg (Owners)**, and **Peter and Donna Splaine (Owners)**, for property located at **303 Bartlett Street** and **295/299 Bartlett Street** requesting Preliminary and Final Subdivision approval for a lot line relocation between Tax Map 162 Lot 13 and Lot 14 where a separate parcel was discovered between the two lots and is proposed to be divided between Lot 13 and 14 as follows: Lot 13 increasing in size from 4,906 square feet and 36 feet of frontage to 6,665 square feet and 37 feet of frontage. Lot 14 increasing in size from 4,802 square feet and 192 feet of frontage to 8,640 square feet and 217 feet of frontage. Said property is located on Assessor Map 162 Lot 13 & 14 and lies within the General Residence A (GRA) District. (LU-23-120)

Background

A recent survey revealed a separate parcel separating 303 Bartlett and 295/299 Bartlett as shown in the application materials and in the image below. The owners have acquired the T-shaped parcel and have submitted a lot line relocation plan to split the parcel between the two lots. Although not relevant to the application before the Board, a variance was granted in September by the Board of Adjustment for a garage addition at 303 Bartlett based on the proposed lot line configuration.





Project Review, Discussion, and Recommendations

Subdivisions are required to be reviewed by TAC if they contain any of the following:

- a. Creation of a new lot;
- b. Construction of a new public or private street;
- c. Widening or realignment of an existing public or private street;
- d. Construction of public or private water, sewer or stormwater facilities serving more than one lot;
- e. Establishment of an easement over one lot for water, sewer or stormwater facilities to serve a different lot; or
- f. Provision of a common driveway or access easement;

The proposed lot line relocation does not include any of the above, therefore the need to go before TAC is not required, however if the Planning Board feels the need for TAC review, it may refer it to TAC.

Planning Department Recommendation

Subdivision Waiver

- 1) *Vote to grant the requested waivers to the Subdivision Standards from Section VI.5 Driveways, VI.6 Drainage Improvements, Section VI.7 Municipal water service, Section VI.8 Municipal sewer service, Section VI.9 Installation of utilities, Section VI.14 Erosion*

and Sedimentation Control, Section IX.1 Improvements and Installation Bonds, and Section IX.2 Maintenance Bonds. [NOTE: Motion maker must select one of the following options]:

a) Strict conformity would pose an unnecessary hardship to the applicant and waiver would not be contrary to the spirit and intent of the regulations.

[OR]

b) Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.

Planning Department Recommendation

Subdivision

- 1) Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as presented.

(Alt.) Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as amended and read into the record.

- 2) Vote to grant Preliminary and Final Subdivision Approval with the following stipulations:
 - 2.1) *The subdivision plan, and any easement plans and deeds shall be recorded simultaneously at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
 - 2.2) *Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat;*
 - 2.3) *GIS data shall be provided to the Department of Public Works in the form as required by the City;*

IV. PUBLIC HEARINGS – NEW BUSINESS

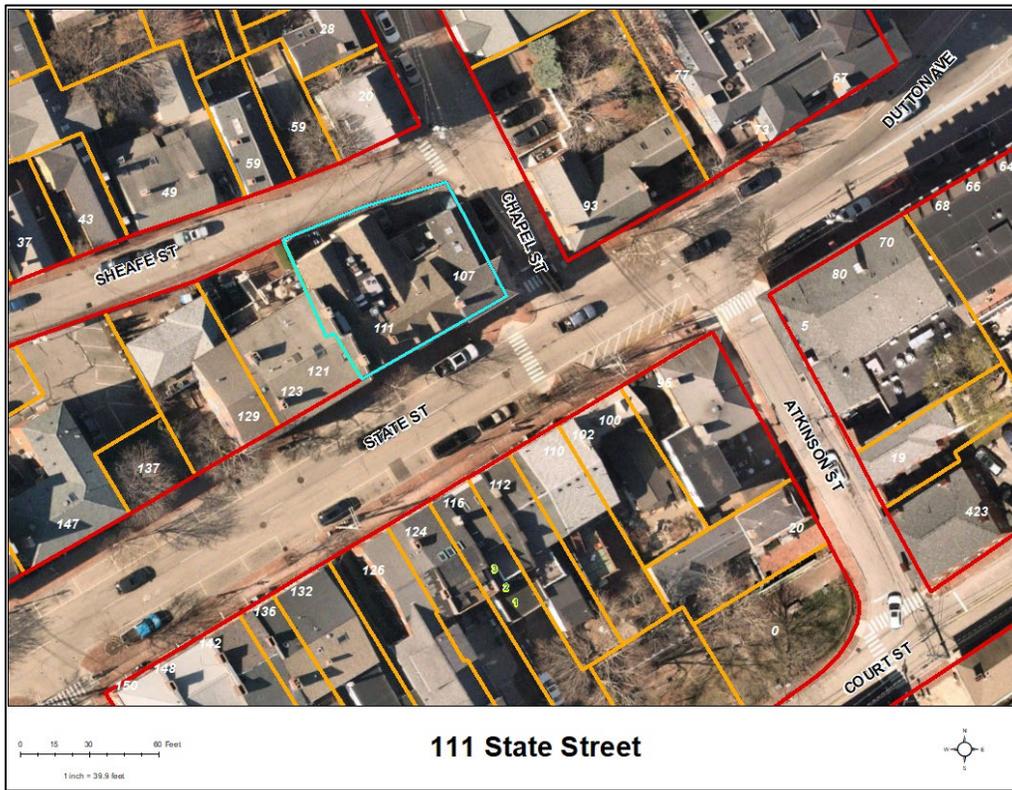
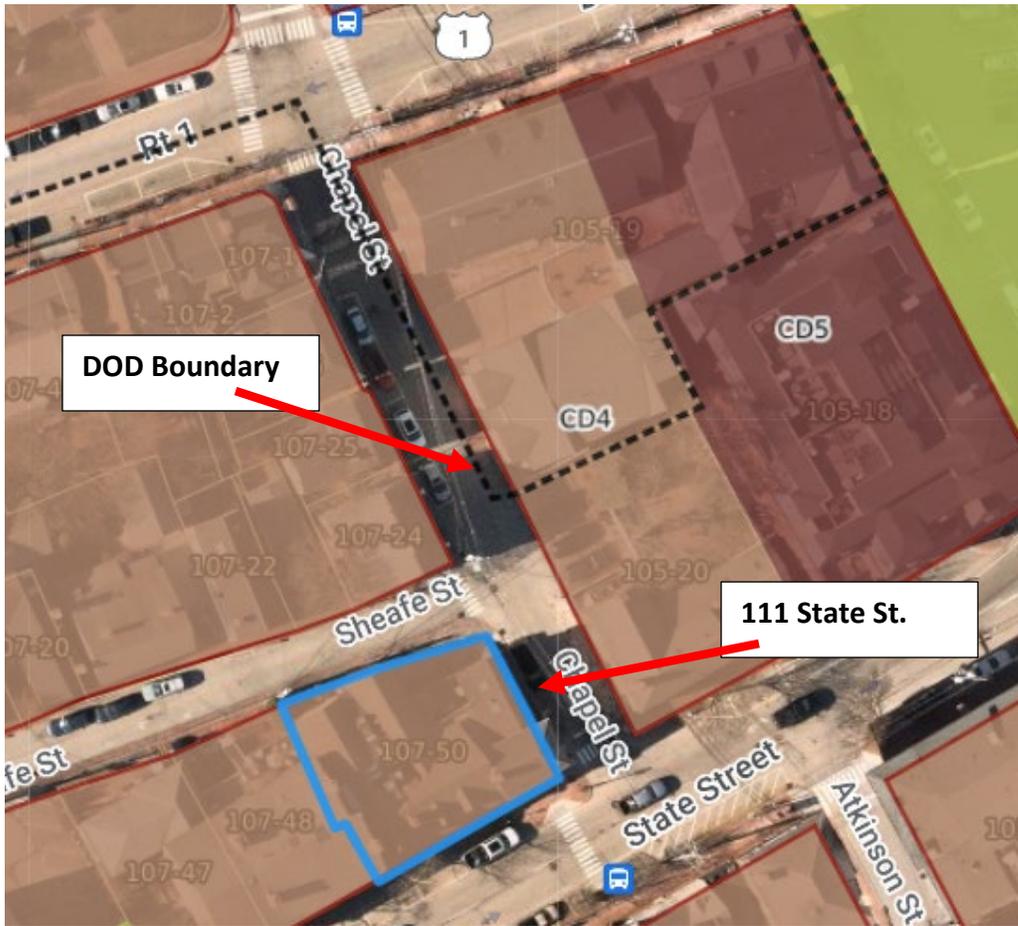
The Board’s action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- C. The request of **Coventry Realty LLC (Owner)**, for property located at **111 State Street** requesting a parking Conditional Use Permit under Section 10.1112.14 to allow zero (0) parking spaces where 48 are required. Said property is located on Assessor Map 107 Lot 50 and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-125)

Project Background

The applicant was before the Planning Board at their October 20, 2022 meeting requesting a parking CUP to allow 0 spaces where 35 were required and the Board granted the request. The proposal last fall included the addition of 4 new apartments that were converted from existing office and restaurant space. The request at the time, was for the space that was changing use and did not include all of the uses in the building. The current proposal removes the restaurant space from the second floor and adds two more apartments, which results in a decrease in parking for the property. In addition, the current request seeks approval for the total parking for the property, thus the increase from 35 to 48 spaces. The applicant is adding 6 bike racks, which allows for the reduction of 1 parking space per Section 10.1116.13.

It is important to note that this property is just outside of the Downtown Overlay District (DOD), where parking is not required for nonresidential uses and a credit of 4 spaces is allocated to each lot when parking is required for residential or lodging uses. With the current proposal, only 5 (including the reduction of 1 space for 6 bike racks) parking spaces would be required for the property if it were located in the DOD.



Project Background

Project Review Discussion and Recommendations

The project has been before the Technical Advisory Committee for review of the updated parking demand analysis. See below for details.

Technical Advisory Committee Review

The Technical Advisory Committee reviewed the parking demand analysis at their regularly scheduled meeting of Tuesday, October 3, 2023 and recommended approval to the Planning Board with the following condition:

- 1. The parking calculation be updated.*

The parking calculation was updated with the Planning Board submission.

Planning Department Recommendation

1) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1112.14 and to adopt the findings of fact as presented.

(Alt.) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1112.14 and to adopt the findings of fact as amended and read into the record.

2) Vote to grant the conditional use permit as presented.

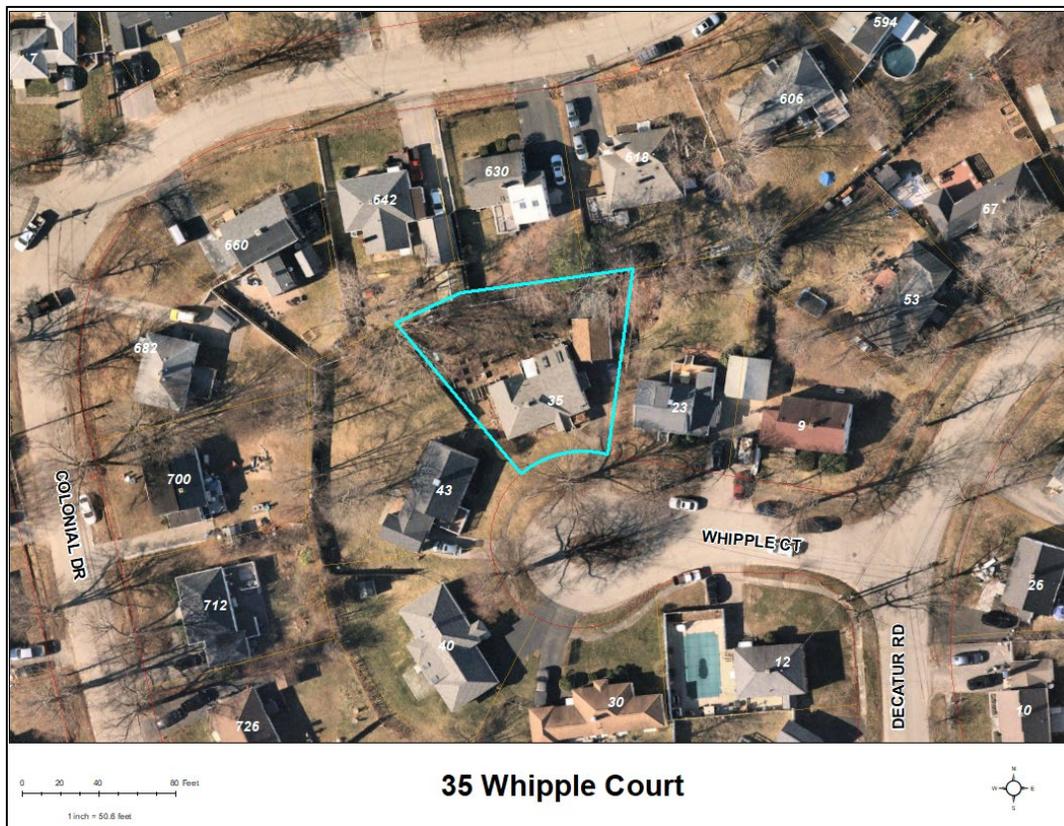
IV. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- D. The request of **Marcella F. Hoekstra (Owner)**, for property located at **35 Whipple Court** requesting a Conditional Use Permit Approval as permitted under Section 10.814 to allow a Detached Accessory Dwelling Unit. Said property is located on Assessor Map 260 Lot 98 and lies within the Single Residence B (SRB) District. (LU-23-147)

Project Background

The applicant is proposing to convert a portion of the existing one car garage into a 353 square foot Detached Accessory Dwelling Unit (DADU). The use falls under Section 10.440 Use# 1.223 for up to 600 square feet of Gross Living Area in an existing accessory building that does not conform with the dimensional requirements of the Ordinance. A variance was granted in 1968 for the structure, however it was recently discovered the location was closer to the side and rear lot lines. An Equitable Waiver was granted by the Board of Adjustment in September for the additional encroachment. The interior of the existing structure will be renovated to provide for a small ADU, with no exterior expansion proposed, other than new entry door and windows.



Project Review Discussion and Recommendations

The applicant was before the Board of Adjustment in September. See below for details.

Board of Adjustment

The Board of Adjustment, at its regularly scheduled meeting of Tuesday, September 26, 2023, voted to grant an equitable waiver for an accessory structure with an 8.5-foot right yard where 10 feet was permitted and an 8-foot rear yard where 17 feet was permitted.

In granting a conditional use permit for an accessory dwelling unit, the Planning Board may modify a specific standard set forth in Sections 10.814.26 and 10.814.30 through 10.814.50 (except the size and height of any ADU) including requiring additional or reconfigured off-street parking spaces, provided that the Board finds such modification will be consistent with the required findings in Section 10.814.62.

The applicant has requested a modification from Section 10.814.26 which requires 1 off-street parking space in addition to the required parking for the single-family dwelling. The applicant has indicated they cannot provide a third conforming space and are requesting a modification to not require the additional space for the DADU.

Planning Department Recommendation

1) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.814.62 and to adopt the findings of fact as presented.

(Alt.) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.814.60 and to adopt the findings of fact as amended and read into the record.

2) Vote to grant the Conditional Use Permit with a modification to the requirement set forth in Section 10.814.26 to not require an additional parking space for the DADU and to approve the Conditional Use Permit with the following condition:

2.1) In accordance with [Sec. 10.814.70] of the Zoning Ordinance, the owner is required to obtain a certificate of use from the Planning Department verifying compliance with all standards of [Sec. 10.814], including the owner-occupancy requirement, and shall renew the certificate of use annually.

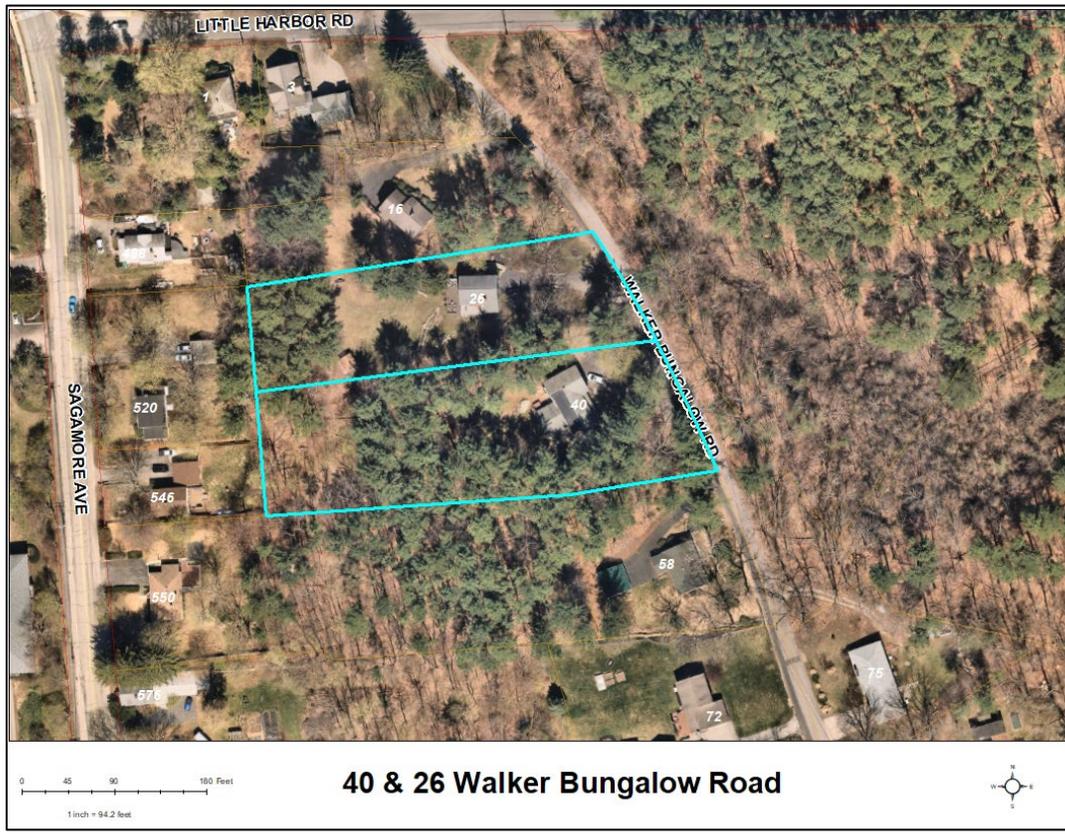
IV. PUBLIC HEARINGS – NEW BUSINESS

The Board’s action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- E. The request of **Richard and Jessica Hayes (Owners)**, and **William and Katja Becker (Owners)**, for property located at **40 Walker Bungalow Road** and **26 Walker Bungalow Road** requesting Preliminary and Final Subdivision approval for a lot line relocation to remove the encroachment of a driveway and retaining wall as follows: Tax Map 222 Lot 5-1 consisting of 53,970 square feet of lot area, increasing in frontage from 140 feet to 160.17 feet with no change in lot area. Tax Map 222 Lot 5-2, consisting of 37,637 square feet, decreasing in frontage from 120.17 feet to 100 feet, with no change in lot area. Said property is located on Assessor Map 222 Lot 5-1 and Map 222 Lot 5-2 and lies within the Single Residence B (SRB) District. (LU-23-137)

Project Background

The applicants are proposing a lot line relocation to adjust the side lot line between the two properties in order to have the driveway and retaining wall entirely on 40 Walker Bungalow. Both lots will retain the same lot area, however the frontage will increase for lot 5-1 and decrease for lot 5-2.



Project Review, Discussion, and Recommendations

Subdivisions are required to be reviewed by TAC if they contain any of the following:

- a. *Creation of a new lot;*
- b. *Construction of a new public or private street;*
- c. *Widening or realignment of an existing public or private street;*
- d. *Construction of public or private water, sewer or stormwater facilities serving more than one lot;*
- e. *Establishment of an easement over one lot for water, sewer or stormwater facilities to serve a different lot; or*
- f. *Provision of a common driveway or access easement;*

The proposed lot line relocation does not include any of the above, therefore the need to go before TAC is not required, however if the Planning Board feels the need for TAC review, it may refer it to TAC.

Planning Department Recommendation

Subdivision Waiver

- 1) *Vote to grant the requested waivers to the Subdivision Standards from Section VI.3 Streets, Section VI.4 Curbing, VI.5 Driveways, VI.6 Drainage Improvements, Section VI.7 Municipal water service, Section VI.8 Municipal sewer service, Section VI.9 Installation of utilities, Section VI.14 Erosion and Sedimentation Control, Section IX.1 Improvements and Installation Bonds, and Section IX.2 Maintenance Bonds. [NOTE: Motion maker must select one of the following options]:*

a) *Strict conformity would pose an unnecessary hardship to the applicant and waiver would not be contrary to the spirit and intent of the regulations.*

[OR]

b) *Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations.*

Planning Department Recommendation

Subdivision

- 1) *Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as presented.*

(Alt.) Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as amended and read into the record.

- 2) Vote to grant Preliminary and Final Subdivision Approval with the following stipulations:
 - 2.1) *The subdivision plan, and any easement plans and deeds shall be recorded simultaneously at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
 - 2.2) *Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat;*
 - 2.3) *GIS data shall be provided to the Department of Public Works in the form as required by the City;*

IV. PUBLIC HEARINGS – NEW BUSINESS

The Board’s action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- F. The request of **Eric and Amanda Beidleman, (Owners)**, for property located at **810 McGee Drive** requesting a Wetland Conditional Use Permit from Section 10.1017 for the removal of an existing 508 s.f. rear deck within the 100-ft wetland buffer and the associated framing and stairs. The applicant is proposing to replace the rear deck with a smaller deck of approx. 319 s.f. with a 60 s.f. landing. Said property is located on Assessor Map 219 Lot 45-5 and lies within the Single Residence B (SRB) District. (LU-23-143)

Project Background

This application is for the removal of an existing wraparound 508 s.f. rear deck within the 100-ft wetland buffer and the associated framing and stairs. The applicant is proposing to replace the rear deck with an approximately 319 s.f. deck with a 60 s.f. landing.



Project Review, Discussion, and Recommendations

The project was before the Conservation Commission in September. See below for details.

Conservation Commission

The applicant was before the Conservation Commission at their regularly scheduled meeting of Wednesday, September 13, 2023 meeting and voted unanimously to recommend approval with the following conditions:

- 1. Crushed stone be placed underneath the deck area to provide storm-water infiltration.*
- 2. Wetland boundary markers shall be placed along the fence towards the back of the property to designate sensitive wetland area.*

Staff Analysis

1. The land is reasonably suited to the use activity or alteration.

The applicant is proposing removal of existing impervious surface within the wetland buffer and will be replacing with a smaller amount of impervious surface in the same spot. While the same use is being placed in this spot, it is recommended that buffer enhancements such as stormwater infiltration and native plantings be installed to offset impacts of the new deck development.

2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.

The existing deck is completely within the wetland buffer and while the proposed deck will be in the same location, it will be smaller. There is no other feasible location for the rear deck that would place it further from the wetland resource.

3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.

The removal of the deck and replacement with a smaller deck should help to minimize some of the impacts to the wetland but additional measures should be taken to enhance the quality of the buffer on the property and to offset the impacts from the deck.

4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.

No removal of vegetation is proposed.

5. The proposal is the alternative with the least adverse impact to areas and

environments under the jurisdiction of this section.

The existing deck is completely within the wetland buffer and while the proposed deck will be in the same location, it will be smaller which should reduce impervious impacts to the buffer and wetland.

6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

Applicant is not proposing any change to the vegetated buffer strip. It is recommended, however, that the applicant consider native plantings within the buffer and stormwater infiltration measures to help offset impacts from the new deck.

Wetland Conditional Use Permit

1) *Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.60 and to adopt the findings of fact as presented.*

(Alt.) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.60 and to adopt the findings of fact as amended and read into the record.

2) *Vote to grant the Wetland Conditional Use permit with the following conditions:*

2.1) *Crushed stone be placed underneath the deck area to provide storm-water infiltration.*

2.2) *Wetland boundary markers shall be placed along the fence towards the back of the property to designate sensitive wetland area.*

IV. PUBLIC HEARINGS – NEW BUSINESS

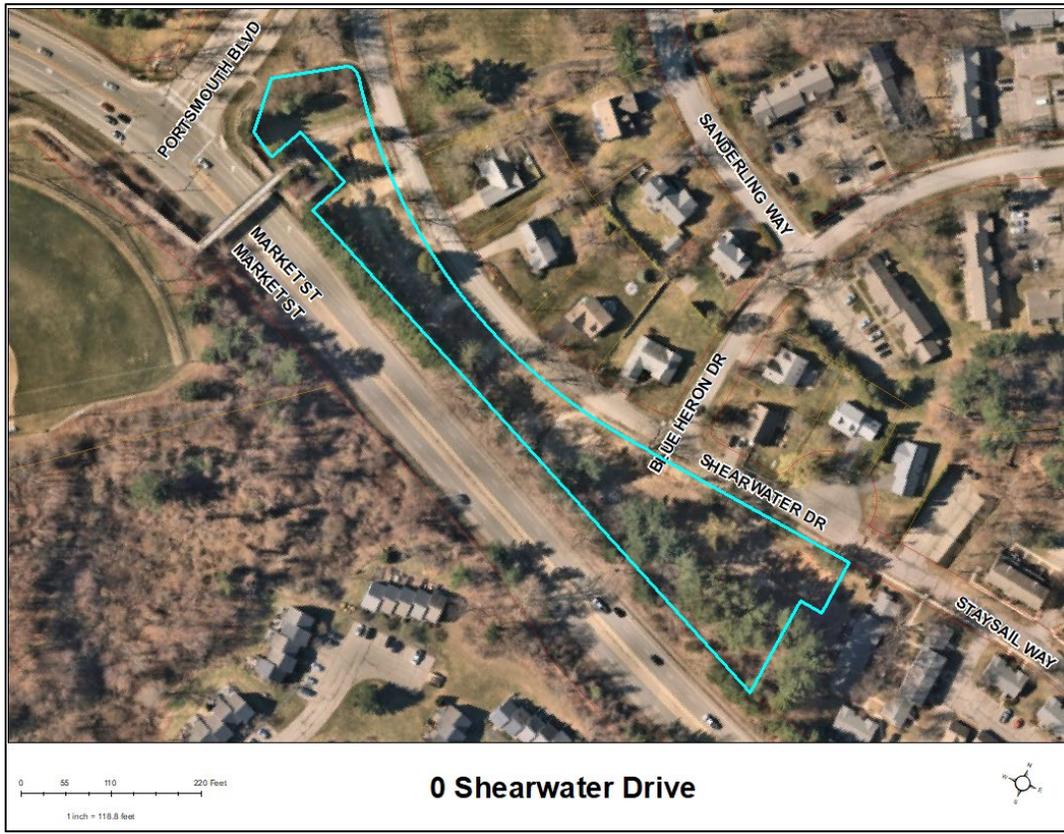
The Board’s action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

It is recommended that New Business Items G & H be discussed together and voted on separately. A motion is required to consider these items together.

- G.** The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Site Plan Review approval for the construction of nine (9) single-family dwellings with associated paving, stormwater management, lighting, utilities and landscaping. Said property is located on Assessor Map 217 Lot 2-1844 and lies within the General Residence B (GRB) District. (LU-23-138)

Project Background

The existing lot contained seven buildings, consisting of 20 apartments located in 7 buildings that were all demolished this year. The proposal is to subdivide the 2.23-acre lot into 9 conforming lots. The property is located in the General Residence B (GRB) district, which requires 5,000 square feet of lot area and 80 feet of street frontage. The nine proposed lots meet or exceed these requirements. The proposal includes construction of a single-family dwelling on each of the nine lots that will conform to the dimensional requirements of the district, therefore no zoning relief is necessary for this development.



Project Review, Discussion, and Recommendations

The project was before the Technical Advisory Committee in September. See below for details.

Technical Advisory Committee

The applicant was before TAC for at their regularly scheduled meeting of Tuesday, September 5, 2023 and recommended approval with the following conditions:

- 2.1) *Sidewalk along frontage must be concrete, 5.5' wide with grass strip between curb and sidewalk.*
- 2.2) *Old water service taps shall have corp closed and capped at main.*
- 2.3) *Applicant will coordinate with DPW to abandon or replace all existing cross country drains with HDPE to Market Street.*
- 2.4) *Applicant will replace CMP drain in Shearwater near Blue Heron Drive with HDPE.*
- 2.5) *City standards will be used for planting and loam and seed details.*
- 2.6) *Drainage easements will extend over cross country pipes to Market Street right of way.*
- 2.7) *Drain detail will be corrected to show mortar in annular space around boot connection.*
- 2.8) *Applicant will work with City staff to coordinate offsite improvements including sidewalk to Granite Street crossing Market Street and installing pedestrian signals as part of crosswalk.*
- 2.9) *Hydrant will be relocated to be 10' from driveways.*
- 2.10) *Brick under curb stop will be shown in water service detail.*
- 2.11) *Details will be updated to show thrust blocks for hydrant will be 2'x2'x2'x precast.*
- 2.12) *Applicant will work with the legal department to overcome the doctrine of merger.*
- 2.13) *Waiver will be requested for a maintenance bond if needed.*

All the TAC comments have been addressed in the Planning Board submission. The applicant met with City staff to discuss condition 2.8 and determined a \$25,000 contribution was appropriate.

Planning Department Recommendation

Subdivision Waiver

- 1) *Vote to grant the requested waivers to the Subdivision Standards from Section IX.2, Maintenance Bonds. [NOTE: Motion maker must select one of the following options]:*

a) Strict conformity would pose an unnecessary hardship to the applicant and waiver would not be contrary to the spirit and intent of the regulations.

[OR]

b) Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and

intent of the regulations.

Planning Department Recommendation

Subdivision

- 1) *Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as presented.*

(Alt.) Vote to find that the Subdivision (Lot Line Revision) application meets the standards and requirements set forth in the Subdivision Rules and Regulations to adopt the findings of fact as amended and read into the record.

- 2) *Vote to grant Preliminary and Final Subdivision Approval with the following stipulations:*
 - 2.1) *The subdivision plan, and any easement plans and deeds shall be recorded simultaneously at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
 - 2.2) *Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat;*
 - 2.3) *GIS data shall be provided to the Department of Public Works in the form as required by the City;*

Site Plan Approval

- 1) *Vote to find that the Site Plan Application meets the requirements set forth in the Site Plan Regulations Section 2.9 Evaluation Criteria and adopt the findings of fact as presented.*

(Alt.) Vote to find that the Site Plan Application meets the requirements set forth in the Site Plan Regulations Section 2.9 Evaluation Criteria and adopt the findings of fact as amended.

- 2) *Vote to grant Site Plan Approval with the following conditions:*

Conditions to be satisfied subsequent to final approval of site plan but prior to the issuance of a building permit or the commencement of any site work or construction activity:

- 2.1) *The site plan, and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.*
- 2.2) *The applicant shall agree to pay for the services of an oversight engineer, to be selected by the City, to monitor the construction of improvements within the public rights-of-way and on site.*
- 2.3) *Any site development (new or redevelopment) resulting in 15,000 square feet or greater ground disturbance will require the submittal of a Land Use*

Development Tracking Form through the Pollutant Tracking and Accounting Program (PTAP) online portal. For more information visit

<https://www.cityofportsmouth.com/publicworks/stormwater/ptap>

- 2.4) *DPW will review and approve the locations of domestic and fire service lines entering all buildings.*
- 2.5) *Applicant will contribute a fair share payment of \$25,000 for offsite improvements including a sidewalk to Granite Street crossing Market Street and installing pedestrian signals as part of crosswalk.*

Prior to the issuance of a Certificate of Occupancy or release of the bond:

- 2.6) *The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance.*

IV. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- H.** The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Preliminary and Final Subdivision approval for the subdivision of the 2.23-acre lot into nine (9) conforming Single-Family lots. Said property is located on Assessor Map 217 Lot 2-1844 and lies within the General residence B (GRB) District. (LU-23-138)

See Item G above.

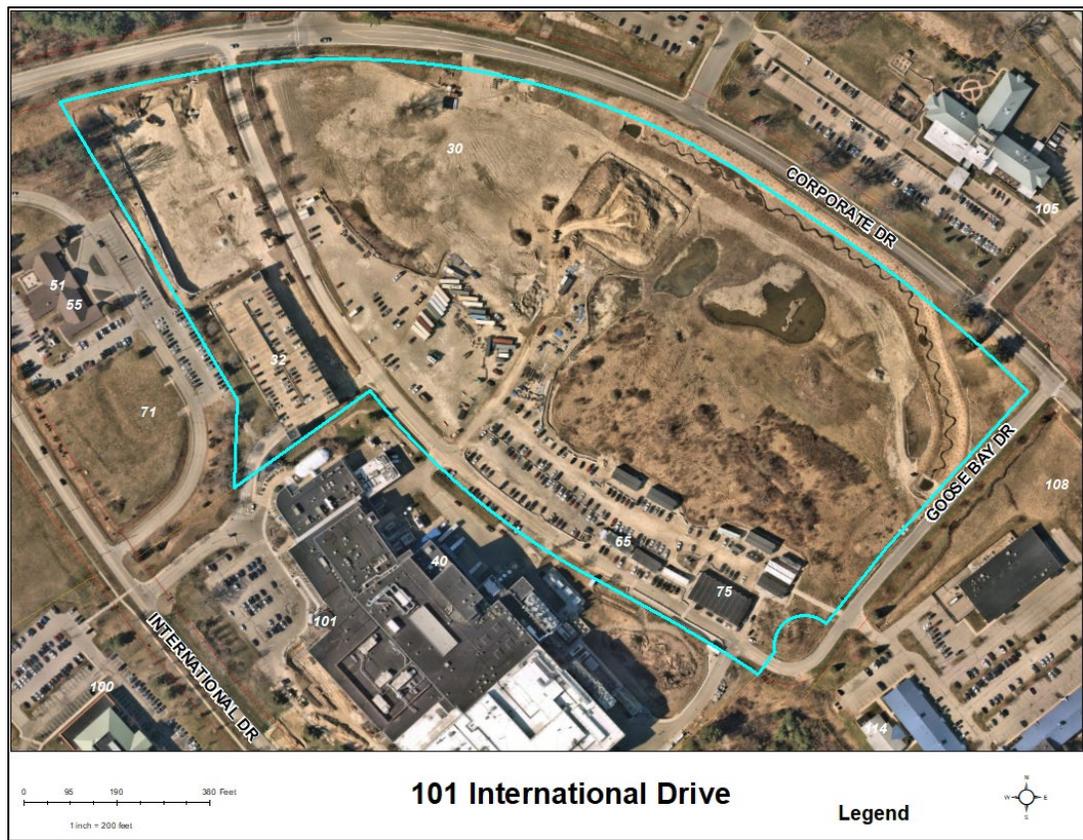
IV. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- I. The request of **Lonza Biologics (Owner)**, for property located at **101 International Drive** requesting Amended Site Plan approval for Phase 2 which includes fit-up of Building #1 and the utility building, construction of a temporary surface parking lot and gravel area for construction trailers, parking and laydown area in the location of Proposed Building #2. Said property is located on Assessor Map 305 Lot 6 and lies within the Airport Business Commercial (ABC) District. (LU-23-108)

Project Background

The project received Site Plan approval in 2019 and received 2 administrative approvals from the PDA since the original approval. This project was planned in phases and the original approval was for Phase 1A and Phase 1B which included the daylighting of Hodgson Brook. Phase 1A has been completed and Phase 1B has started. The current application includes the fit-up of Building #1, final fit up of the utility building, construction of the temporary surface lot and temporary gravel area for construction trailers, parking, and laydown area.



Project Review, Discussion, and Recommendations

The project was before the Technical Advisory Committee in August. See below for details.

Technical Advisory Committee

The applicant was before TAC for at their regularly scheduled meeting of Tuesday, August 1, 2023 meeting and recommended approval.

As part of the discussion at TAC, the applicant was asked to complete new third-party reviews for stormwater and traffic. Altus Engineering provided the third-party stormwater review and TEC provided the third-party traffic review. The applicant provided responses to the stormwater review in the packet, however at the writing of this report, no response to the TEC memo have been provided.

The recent amendments to RSA 676:3 with regards to adopting findings of fact for a project apply to local planning boards making decisions based on the municipality's regulations. Pease falls exclusively under RSA 12-G and the Pease Land Use Controls, therefore the requirement to vote on and adopt findings of fact do not apply for this application.

Site Plan Approval

- 1) *Vote to recommend Amended Site Plan Approval to the PDA Board with the following conditions:*
 - 2.1) *The Applicant shall maintain shift times that do not overlap with the documented morning and evening peak hours for Corporate Drive and International Drive.*
 - 2.2) *The applicant shall provide daily traffic counts for the proposed site access points to better understand the hourly distribution of traffic over the course of several weekdays.
The applicant shall perform a supplemental sensitivity analysis using U.S. Census data and limited travel time runs to confirm the percentage of traffic that is expected to use each gateway to the Tradeport.*
 - 2.3) *The applicant should consider separate left- and right-turn lanes at the driveway intersection with Corporate Drive to alleviate delays created with a single departure lane.*
 - 2.4) *The Applicant shall coordinate with PDA to perform supplemental all-way stop control (AWSC) and traffic signal warrant analysis for the following intersections: Corporate Drive at Grafton; International Drive at New Hampshire Avenue/Durham Street; and International Drive/Corporate Drive.*
 - 2.6) *The applicant should coordinate with the PDA to consider measures for the temporary signalization of the intersection of International Drive and Corporate Drive. The applicant shall provide updated traffic data following the occupancy*

- of Building 1 (and other subsequent buildings) and assess the actual delays and queuing for this intersection.*
- 2.7) *The applicant should coordinate with the PDA and other applicants within the Pease Tradeport to develop a fair share cost assessment for mitigation measures based on the number of new trips.*
 - 2.8) *The Applicant shall review the potential for lane use changes within Corporate Drive that may consider an exclusive left-turn lane for Lonza's entering traffic. Any planned improvements should consider an enhanced pedestrian crossing between the Lonza site and the existing COAST bus stop on the opposite side of Corporate Drive in the vicinity of Redhook Way, including a new bus shelter to provide additional accommodations for existing and future transit riders.*
 - 2.9) *The Applicant shall coordinate with the City, PDA and COAST to review the current ridership along Bus Route 42 related to Lonza and identify opportunities for coordinated service schedules and potential bus route changes for Route 13 (Dover) and Route 14 (Rochester) to further reduce single-occupancy vehicle trips for several PDA employers.*
 - 2.10) *The stone, sand, fabric, pipe and sediment from the temporary sediment basin #1 shall be removed at the end of Phase 1B and the basin shall be restored as a depressed ponding area and re-seeded once the upstream watershed has been stabilized.*

IV. PUBLIC HEARINGS – NEW BUSINESS

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- J. The request of **Richard P. Fusegni (Owner)**, for property located at **201 Kearsarge Way** requesting Amended Subdivision approval for revisions to the grading and drainage design. Said property is located on Assessor Map 218 Lot 5 and lies within the Single Residence B (SRB) District. (LU-23-161)

Project Background

The subdivision was approved by the Planning Board on October 27, 2022. Two extensions have been granted, one by the Planning Director on April 18, 2023 and the Planning Board granted a second 6-month extension at the September 21, 2023 regular meeting. The property is currently under agreement and the new buyers are proposing changes to the drainage design. The original approval contained a more complex drainage design including Stormtech chambered infrastructure and a retaining wall. The owner imposed a conservation restriction on the rear portion of each of the parcels to preserve to natural habitat. It is likely the Stormtech drainage was used to minimize impacts in the conservation area. The new proposal is a more natural rain garden feature that does encroach further into the conservation area, however the covenant as drafted, does allow for stormwater and drainage as stated below in the draft covenant under Section 2.C.i and in Section 3.A.

2. **USE LIMITATIONS**
- A. The Conservation Land shall be maintained in perpetuity as open space free from industrial or commercial activities, except for those activities and structures reserved by Declarant in Section 3 hereof.
 - B. The Conservation Land shall not be subdivided or otherwise divided into parcels of separate ownership, other than as shown on the herein referenced Subdivision Plan and may only be sold, conveyed, transferred, or devised as is shown on said Subdivision Plan as the rear portion of each of the 3 Lots shown on said Subdivision Plan..
 - C. Other than in connection with development and operation of the Subdivision Plan, no structure or improvement of any kind, except for ancillary structures shall be constructed, placed or introduced onto the Conservation Land.
 - i. Ancillary structures and improvements such as drainage structures,, or culverts, may be constructed, placed or introduced onto the Conservation Land as necessary in the accomplishment of the agricultural, forestry or noncommercial outdoor recreational uses of the Conservation Land so long as they are not detrimental to the purposes of this Declaration.

3. **DECLARANT'S RESERVED RIGHTS**
- A. Declarant reserves the right to install, maintain, repair, or replace in kind vegetation and stormwater treatment swales and drainage structures
 - B. Declarant reserves the right to repair any damage caused to the Conservation Land by natural or other causes provided said repairs are in conformance with the conservation values/purposes stated herein.

Project Review, Discussion, and Recommendations

The amendment originally came in as an Administrative Approval request, however upon review with the Planning Director, it was determined that this request should go back before the Planning Board for consideration. With the change in design to the stormwater system, certain conditions no longer apply. In addition to the amended approval request, the applicant has requested the removal of the following conditions from the prior letters of decision dated October 27, 2022 and March 2, 2020:

October 27, 2022 conditions:

- 2.5.1) *The drainage for lots 2 and 3 shall be incorporated into the back yard areas where they can be maintained without impacting the portion of the property designated to be a conservation area along with the following **conditions:***
- 2.5.1-a) *Maintenance responsibilities for the storm-tech systems by the homeowners shall be addressed through a maintenance document that outlines*

the requirements to keep the system functional at all times. That document shall be recorded as part of the conservation easement deed;

2.5.1-b) Plans shall be updated to note stabilized construction entrances shall be installed for all 3 lots; and

2.5.1-c) System installation shall be witnessed by the City DPW during installation. The City will review the subsoils under the system to guarantee any ledge is removed to a point 24" under the system and will review all the functional parts of the system as a whole to verify the systems will work as designed.

March 2, 2020 conditions:

1) The drainage for the houses shall be incorporated into the back yard areas where they can be maintained without impacting the portion of the property designated to be a conservation area along with the following conditions:

1-1) Drainage easements shall be provided across lot 3 for lot 2 and 1 drainage and across lot 2 for lot 1 drainage. Maintenance responsibilities for the storm-tech systems shall be included in the easement language or otherwise addressed through a maintenance agreement;

Planning Department Recommendation
Subdivision

1) Vote to grant Amended Subdivision Approval with the following conditions:

2.1) *Removal of prior conditions 2.5.1, 2.5.1-a, 2.5.1-b and 2.5.1-c from the October 27, 2022 letter of decision and removal of prior condition 1 and 1-1 from the March 2, 2020 letter of decision. All other prior conditions of approval are still required.*

IV. PUBLIC HEARINGS – NEW BUSINESS

The Board’s action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- K.** The request of **Daniel Sigalovsky** and **Sarah Cook (Owners)**, for property located at **390 F.W. Hartford Drive** requesting a Wetland Conditional Use Permit from Section 10.1017 for the removal of an existing 16’ x 24’ rear deck within the 100-ft wetland buffer and the replacement of the deck with a 14’ x 16’ permeable paver patio. The project will include enhanced stormwater management including a gravel infiltration area, installation of a rain garden, native plantings, and the installation of a permeable patio in place of the existing deck. Said property is located on Assessor Map 249 Lot 25 and lies within the Single Residence B (SRB) District. (LU-23-140)

Project Background

This application is for the removal of an existing 16 x 24’ rear deck within the 100-ft wetland buffer and the replacement of the deck with a 14’ x 16’ permeable paver patio. The applicant has cited significant water problems on the property which has led to the rotting of the existing deck. The applicant is proposing to address this problem with greater stormwater management such as a gravel infiltration area, the installation of a rain garden, the increase of native plantings such as ferns and flowers as well as the installation of a permeable patio in place of the existing deck.



Project Review, Discussion, and Recommendations

The project was before the Conservation Commission in September. See below for details.

Conservation Commission

The Conservation Commission, at its regularly scheduled meeting of Wednesday, June 13, 2023, considered the application and voted unanimously to recommend approval of the Wetland Conditional Use Permit to the Planning Board with the following conditions:

- 2.1) *A cross-section showing the details of the permeable paver installation be submitted prior to submittal to the Planning Board.*
- 2.2) *A maintenance plan be submitted for both the proposed rain garden and proposed permeable pavers prior to submittal to the Planning Board.*
- 2.3) *In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall install permanent wetland boundary markers during project construction. These can be purchased through the City of Portsmouth Planning and Sustainability Department.*

****Condition 2.1 and 2.2 above have been satisfied and are contained in the Planning Board packet.***

Staff Analysis

- 1. *The land is reasonably suited to the use activity or alteration.***

The applicant is proposing removal of existing impervious surface within the wetland buffer and will be replacing with permeable pavers and greater stormwater control measures. This will likely provide a positive impact to the wetland buffer and wetland resource.

- 2. *There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.***

The existing deck is completely within the wetland buffer and due to the rotting, it must be removed. The applicant will alter the existing area with impacts that are likely to increase buffer health and help with stormwater and runoff issues both into the wetland and surrounding the home.

- 3. *There will be no adverse impact on the wetland functional values of the site or surrounding properties.***

The removal of the deck and replacement with greater stormwater infiltration measures will likely have a positive impact on the functional values of the wetland

and site due to better infiltration of runoff.

- 4. *Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.***

No removal of vegetation is proposed. Applicant is proposing to increase native vegetation within the buffer along with a new rain garden within the buffer.

- 5. *The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.***

The applicant is proposing an increase to the existing vegetation within the buffer and the removal of existing impervious surface which creates little to no adverse impacts within the site.

- 6. *Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.***

Applicant is proposing to increase vegetation within the overall buffer and the vegetated buffer strip.

Planning Department Recommendation

Wetland Conditional Use Permit

1) *Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.60 and to adopt the findings of fact as presented.*

(Alt.) Vote to find that the Conditional Use Permit application meets the criteria set forth in Section 10.1017.60 and to adopt the findings of fact as amended and read into the record.

2) *Vote to grant the Wetland Conditional Use permit with the following conditions:*

- 2.1) *In accordance with Section 10.1018.40 of the Zoning Ordinance, applicant shall install permanent wetland boundary markers during project construction. These can be purchased through the City of Portsmouth Planning and Sustainability Department.*

V. CITY COUNCIL REFERRALS

A. Right of Way Easement on Gray's Lane

Background

As described in the attached memo from Deputy City Attorney McCourt, the City owns a right of way over half of Gray's Lane. The owners of Tax Map 221 Lot 19 (219 Sagamore Avenue) have offered to convey the other half to the City. This would allow the City to make the necessary drainage and roadway improvements to Gray's Lane. The image below shows the City's current ROW in red and the new easement would extend the rest of the way to Sagamore Avenue.



Planning Department Recommendation

Vote to recommend that the City Council authorize the City Manager to accept a right of way easement over land at 219 Sagamore Avenue from Thomas and Deidre Hammar (Tax Map 221 Lot 19).

VI. OTHER BUSINESS

- A. Chairman's Updates and Discussion Items
- B. Planning Board Rules and Procedures
- C. Board discussion of Regulatory Amendments, Master Plan Scope & other matters

VII. ADJOURNMENT

JAN VOTES 3 ABSTAIN

JAN, 2022

13 YES
2 NO

- MINUTES - ABSTAIN
- POSTPONE 3 PROJECTS: YES
- 27 STARBUCKS RD - COMPLETE: YES
- 960 SAGAMON - COMPLETE: YES
- NORTHWEST ST - ABSTAIN
- 27 STARBUCKS RD WAIVER YES
- " " SUBDIVISION YES
- 960 SAGAMON YES
- 960 SAGAMON CUP YES
- 325 LYNN ANN ABSTAIN
- EXTEND MTLB NO 7-2
- 635 SAGAMON YES
- 0 FRANKLAND WAY EXT YES
- 1338 WOODMAN EXT YES
- RETHORIC RAINES YES
- DENY REITHORN 919 BOW ST YES
- ADJORN YES

FEB, 2022

MINUTES - YES

SUBPOND RUL - YES

3400 LAFAVAT - RECURSE

3548 LAFAVAT CONVERT - YES RECURSE

RAYNES AVE - NOT HEARD (OVER)

2 RUSSELL - YES (OVER)

230 COMMONS - WORK SESSION

77 WILKINSON - YES

236 BLEN STREET YES

242 LAND RD EXT YES

YES

FEB, 2022

CITY HALL - MONS INFO - YES
ADJOURN - YES

MARCH, 2022

MINUTES - YES
163 SPANNAWK CRT - YES
428 US BY PASS COMPUTER - YES
238 ALLEN ST COMPLETE - YES
426 US BY SIDE PLANT COMP - YES
" " " - YES

YES
YES

- YES
- YES
- YES
238 ALLEN ST YES
70 COURT ST YES
ONE CONGRESS YES
163 SPANNAWK CRT YES
ADJOURN YES

~~APRIL, 2022~~ 2nd MTG

MARCH, 2022

WORK SESSION

YES - 11
NO - 1

APRIL, 2022

MINUTES APPROVED - YES
213 JONES ADO RP - YES
189 GARLES ST YES
400 LITTLE HARBOR YES
325 LITTLE HARBOR NO
1054 BANTFIELD YES
" " CUP YES
32 MONTREAT YES
" " CUP YES
ONE CONGRESS YES
161 ALLEN ST CONCURT
" " MTG YES
PERZULLO LABS MONTNO

NO
BELL 140

ADJOURN YES

MAY, 2022

18 - YES

668 MIDDLE RD APP - YES YES
5 GUYS APTS - YES
213 JONES ADO - YES, YES, YES, YES
CINEMATIC YES
668 MADRID YES YES YES
5 GUYS APTS YES YES YES YES
161 ALLEN ST YES
ZONING AMOD YES
57 SPANNAWK YES
ADJOURN YES

JUNE, 2022

11 YES

MINUTES - YES
 355 SPINNEY COMP - YES
 2255 LAFA YOUNG PP - YES
 355 SPINNEY - YES
 404 ISLINGTON YES
 445 MARCH PP - YES
 ZONING AMEND PP YES
 DEMO ORDINANCE YES
 SARGANT AND CROFT YES YES
 ADJOURN YES

JUNE, 2022

11

21

MINUTES - YES
 CHANGE ORDER - YES YES YES
 437 LAFA YOUNG COMP YES YES
 866 RT 1 BYPASS " YES
 437 LA " YES YES
 2255 LAFA YOUNG YES
 " " YES YES YES YES
 455 MARCH ST YES
 806 BYPASS YES YES
 329 HARTING ~~PP~~ P.S. YES
 460 NEW HARTING CUP YES
 ZONING AMENDS YES
 ADJOURN YES

JULY, 2022

16

MINUTES - YES
 230 COMMONS COMP - YES YES
 333 BOOTHWICK COMP YES YES YES YES
 437 LAFA YOUNG TOGETHER YES
 " " " YES YES YES
 373 BOOTHWICK CUP
 11 PLUMBER ST YES
 81 TART RD YES
 O PATRICIA YES YES
 ADJOURN YES

AUGUST, 2022

1-NO

11 YES

PUBLIC COMMENTS - YES
 ZONING AMEND - NO
 MINUTES - YES
 1299 ISLINGTON COMP - YES YES
 444 BOOTHWICK COMP YES
 1169-1171 SARGANT COM YES YES
 140 WEST COMP YES YES
 101 INTOWN CONDO COMP YES
 22 PLUMBER PT YES

DIRECTED RESIGNS FROM
 PB

SEPT, 2022

10 YES

MINUTES - YES
 O PATRICIA COMP. YES YES YES
 1465 WOODBURY WMP YES YES
 225 WILBIRD - YES
 1465 WOODMAN CUP YES YES
 ADJOURN - YES

OCT, 2022

16 YES

MINUTES - YES
 77 WINDSOR VAN COMP YES
 201 KENNESAW COMP YES
 225 WILBIRD PP YES
 111 STAFFS ST YES YES
 124 KENSINGTON ST CUP - YES YES
 15 CENTRAL RD YES YES
 77 WINDSOR YES YES YES
 380 WOODBURY YES YES
 ADJOURN YES

NOV. 2022

6 YES

MINUTES - YES
 225 WILBIRD CUP - YES, YES
 42 HARVARD ST CUP YES YES
 ADJOURN YES

24

2 NOS

DEC. 2022

MINUTES YES YES YES YES
 2 RUSSELL COMP YES YES NO
 40 STAFFS YES NO
 161 DEER ST YES YES YES
 29 VESSELLO YES YES
 85 DANIEL YES YES
 40 STAFFS YES YES YES
 YES
 800 WILCOX YES YES
 653 GLENNMANN YES YES
 137 NORTON YES
 CINCINNATI GREAT YES
 ADJOURN YES

2022 Summary

100 YES

5 NOS

BELOW ISLE + 2 RUSSELL

2023

375 BANFIELD
STATY EXTENSION

JANUARY, 2023

YES
4

225 BOOTHWICK - PP - YES
12 PULASKI WALKWAY CUP - YES
132-134 WINDLO RD - YES
ADJOURN - YES

FEBRUARY, 2023

2 NO
8 YES

MINUTES - YES
1 CONGRESS - COMPUTER - YES - YES - YES
225 BOOTHWICK PP - YES
238 DORR ST LLC - EXT YES NO (PARENTS)
(STATY) YES NO

~~MARCH~~, 2023 YES
FEB

MARCH, 2023

7 YES

MINUTES - YES
212, 214, 216 WOODSON PP - YES
147 CONGRESS ST - YES, YES, YES
361 ISLINGTON - YES - RECUSE
668 WINDLO ST EXT YES

16 YES

APRIL 2023

MINUTES - YES YES
212, 214, 216 WOODSON - YES, YES, YES, YES, YES
80 ROCKBROOK AVE - YES, YES, YES, YES
765 WINDLO RD - PP - YES
86 NEWARK AVE - YES YES
96 BUCKINGHAM - YES YES
K CONRAD ABSTAIN

MAY, 2023

15 YES

MINUTES - YES
765 WINDLO ST YES, YES, YES
306 BENTLEY HILL YES, YES, YES, YES
MAHARAJA BY ZOOM, CAROLAN OW
(5-4)
238 DORR ST (STATY) - YES, YES
500 MARKET ST CUP - YES YES
50 ANDREW JARVIS - YES YES
POTENTIAL CONCERN
404 ISLINGTON - YES

JUNE, 2023

9 YES

MINUTES - YES
EVERGREEN WALK CUP - YES YES
MOJOS CUP - YES, YES
253 OGDEN POINT YES, YES
815 CATHART RD WALK
2255 CATHART EXT YES
806 US ROUTE 1 EXT YES

JULY, 2023

13 YES

MINUTES - YES

15 CATTARAUGUS - YES, YES, YES YES

375 BANTFIELD PP - YES

933 US ROUTE 184 PPS - YES, YES

380 GREENWAVE PP - YES

~~15 CATTARAUGUS~~

325 LINDS HARBOR RD - YES

581 CATTARAUGUS TOUR CONCERT

230 COMMONW WATER - YES

HIGH / MARLIN CONCERT - YES

MARKER PLAN - YES

AUGUST, 2023

9 YES

MINUTES - YES

375 BANTFIELD PP - YES

380 GREENWAVE YES, YES

189 GRAYS ST YES

196 CESSY YES, YES

80 ROCKSBURG PPA - YES

SEPTEMBER 2023

1 NO (11 YES)

MINUTES - YES

375 BANTFIELD PP - YES

27 SISKIYOU RD - YES

928 SARA ST - YES, YES YES

700 PENN HILL RD - YES, YES YES

67 RIDGES COURT - YES

202 ROCKSBURG PPA

2 RUSSELL ST EXT - ~~YES~~ NO

OCTOBER, 2023

YES 25 (7 NO)

MINUTES - YES

NO

375 BANTFIELD - NO, NO, NO, NO, NO

303 DARTMOUTH - YES, YES, YES YES

40 WALKER BUNGALOW - YES, YES YES

0 SHEARWATER PP - YES

67 RIDGES YES YES

111 STATE ST YES, NO

35 WHIPPW CT YES YES

LONZA PP - YES

GRAY VANCE GROOM YES

NOVEMBER, 2023

0 SHEARWATER - YES YES YES

810 MCGEE YES YES YES

210 ROCKSBURG YES

380 F.W. HARTFORD YES YES

NOVEMBER, 2023

6 YES

NO MINUTES

LONZA REGO

0 SPANIO BUNGALOW - YES, YES YES

2454 JESSA - YES, YES

1 CONGRESS EXT - YES

DECEMBER, 2023

3 YES

1 NO

CIP PRESENTATION

MINORS - YES

360 CORPORATE

- NO

YES YES
STRATEGIC

1155 SAGAMONW

YES

YES

60 PUEBLO PT

YES

YES

YES

2023

130 - YES

11 - NO

2 YEAR TOTAL

310 - YES

16 - NO

95%

5%

VOTE YES

VOTE NO

From: [JAH](#)
To: [Eggleton, Jeremy D.](#)
Subject: Fw: May 2 City Council Meeting
Date: Thursday, February 8, 2024 10:19:34 PM

----- Forwarded Message -----

From: JAH <samjakemax@aol.com>
To: rpsullivan@cityofportsmouth.com <rpsullivan@cityofportsmouth.com>
Cc: kconard@cityofportsmouth.com <kconard@cityofportsmouth.com>; mayor@cityofportsmouth.com <mayor@cityofportsmouth.com>; sravell@cityofportsmouth.com <sravell@cityofportsmouth.com>
Sent: Friday, May 13, 2022 at 09:16:21 PM EDT
Subject: Re: May 2 City Council Meeting

Dear Bob:

There is a lot to unpack here so please allow me to set the foundation and begin with the rights and responsibilities of government in New Hampshire (in this case, the Portsmouth City Council) and the rights and responsibilities of the people (in this case me and others, as Portsmouth citizens) as they pertain to Freedom of Speech and the Redress of Grievances. Below are five relevant articles from the Bill of Rights section of New Hampshire's Constitution.

Article 1. [Equality of Men; Origin and Object of Government.] All men are born equally free and independent; Therefore, all government of right originates from the people, is founded in consent, and instituted for the general good.
June 2, 1784*

[Art.] 22. [Free Speech; Liberty of the Press.] Free speech and Liberty of the press are essential to the security of Freedom in a State: They ought, therefore, to be inviolably preserved.
June 2, 1784
Amended 1968 to include free speech.

[Art.] 30. [Freedom of Speech.] The freedom of deliberation, speech, and debate, in either House of the Legislature, is so essential to the rights of the people, that it cannot be the foundation of any action, complaint, or prosecution, in any other Court or place whatsoever.
June 2, 1784

[Art.] 32. [Rights of Assembly, Instruction, and Petition.] The People have a right, in an orderly and peaceable manner, to assemble and consult upon the common good, give instructions to their Representatives, and to request of the legislative body, by way of petition or remonstrance, redress of the wrongs done them, and of the grievances they suffer.
June 2, 1784

[Art.] 38. [Social Virtues Inculcated.] A frequent recurrence to the fundamental principles of the constitution, and a constant adherence to justice, moderation, temperance, industry, frugality, and all the social virtues, are indispensably necessary to preserve the blessings of liberty and good government; the people ought, therefore, to have a particular regard to all those principles in the choice of their officers and representatives, and they have a right to require of their lawgivers and magistrates, an exact and constant observance of them, in the formation and execution of the laws necessary for the good administration of government.

June 2, 1784

Kindly note that the People of New Hampshire believed Freedom of Speech was so essential to the security of Freedom in a state, that they listed it twice in the Bill of Rights. No other right is similarly duplicated.

This leaves the issue of respect. I fail to see how exercising of my Constitutional right to redress a grievance by politely applauding a like-minded speaker for 2-3 seconds, either by clapping or by sign language, is in any way disrespectful to anyone. In fact Bill of Rights Article 32 grants the right to give instructions to Representatives in any manner the People choose, as long as it is conducted in an orderly and peaceable manner. The authors of the New Hampshire Constitution expected the government to welcome citizen engagement to help it gauge the will of the People.

If there was any disrespect displayed at the May 2, 2022 City Council meeting, it was from the government towards the New Hampshire Constitution and from the government toward the people wishing to orderly and peaceably exercise their free speech rights.

Regards,

Jim Hewitt

P.S. Regarding my May 3, 2022 email to the City Council, that was prompted by a hot mic comment at 1 hr, 56 minutes into the meeting where someone on Council table says "What is with the hands ? So embarrassing". The email answered this question by explaining the American Sign Language sign for applause, which is silent.

-----Original Message-----

From: Robert P. Sullivan <rpsullivan@cityofportsmouth.com>

To: samjakemax@aol.com <samjakemax@aol.com>

Cc: Karen Conard <kconard@cityofportsmouth.com>; Mayor <mayor@cityofportsmouth.com>; Synthia Ravell <sravell@cityofportsmouth.com>

Sent: Thu, May 12, 2022 1:56 pm

Subject: May 2 City Council Meeting

Dear Mr. Hewitt,

Please recall the May 2 City Council meeting, which you attended in person. During that meeting there was a contentious discussion of an issue pending before the City Council regarding an appropriation of funds to implement a previously approved conditional settlement agreement in the case of SoBow Square v City of Portsmouth (McIntyre).

During the public hearing on the appropriation the audience had begun to applaud those speakers with whom it agreed. In order to maintain appropriate decorum in the Council Chambers Mayor McEachern politely requested that there be no applause. In response to his request, you took two actions which now call for some concern:

1. Rather than applaud, along with others you then made hand signals said to represent the sign language equivalent of applause.
2. Subsequent to the meeting you wrote an email to all of the members of the Council which highlighted the meaning of your hand signals.

The Mayor has asked that I write to you about these concerns. His point is not one of legality. While your actions were likely Constitutionally protected, they may not have shown the respect for the municipal governmental process which is expected of a member of the City Planning Board.

When you are sitting on the Planning Board you have the reasonable expectation that those who appear before you be respectful. The City Council is entitled to the same expectation, especially from a member of another branch of the City government. The Mayor believes that your conduct described above did not meet that expectation.

Accordingly, similarly to the message contained in my email to you of December 15, 2021 regarding the juror standard, you are requested to be mindful in the future that your membership on the Planning Board creates a higher standard of conduct in governmental proceedings than is applicable to the general public.

RPS

Robert P. Sullivan, City Attorney
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

(603) 610-7204 (Direct Dial)

(603) 427-1577 (Fax)

rpsullivan@cityofportsmouth.com

City Hall Hours: Monday, 8:00 a.m. - 6:00 p.m.; Tuesday - Thursday, 8:00 a.m. - 4:30 p.m. and Friday, 8:00 a.m. - 1:00 p.m. (NOTE: If a holiday falls on a Monday, City Hall will be open until 6:00 p.m. on Tuesday).

The information in this message may be legally privileged and confidential. It is intended only for the use of the named individual. If you receive this communication in error, please notify me and delete the communication without making any copy or distributing it.

ISSUE: PLANNING DEPT DOES NOT ANSWER MY QUESTIONS

Hewitt, James

From: JAH <samjakemax@aol.com>
Sent: Friday, February 02, 2024 2:13 PM
To: Hewitt, James
Subject: Fw: Portsmouth Land Use Boards and the PDA

EXTERNAL: Do not open attachments or click on links unless you recognize and trust the sender.

----- Forwarded Message -----

From: JAH <samjakemax@aol.com>
To: Peter M. Stith <pmstith@cityofportsmouth.com>; Peter L. Britz <plbritz@cityofportsmouth.com>
Cc: Rick Chellman <chellman@tndengineering.com>; m.mates@peasedev.org <m.mates@peasedev.org>; Peasedev Info <info@peasedev.org>; Karen Conard <kconard@cityofportsmouth.com>; Phyllis Eldridge <phyllis917@gmail.com>; samantha collins <samantha.c.wright@gmail.com>; Andrew Bagley <andrewbagleyportsmouth@gmail.com>
Sent: Tuesday, January 2, 2024 at 08:03:25 PM EST
Subject: Fw: Portsmouth Land Use Boards and the PDA

Hi Peter:

Happy New Year. Hoping 2024 will be the year the questions below get answered.

Thank you.

Regards,

Jim Hewitt

----- Forwarded Message -----

From: JAH <samjakemax@aol.com>
To: Peter M. Stith <pmstith@cityofportsmouth.com>; Peter L. Britz <plbritz@cityofportsmouth.com>
Cc: Rick Chellman <chellman@tndengineering.com>; m.mates@peasedev.org <m.mates@peasedev.org>; Peasedev Info <info@peasedev.org>; Karen Conard <kconard@cityofportsmouth.com>; phyllis917@gmail.com <phyllis917@gmail.com>; barbara McMillian <bdorrmcm@gmail.com>; Andrew Bagley <andrewbagleyportsmouth@gmail.com>
Sent: Thursday, March 2, 2023 at 04:42:20 PM EST
Subject: Portsmouth Land Use Boards and the PDA

Hi Peter:

I wish to better understand Portsmouth Land Use Board jurisdiction at the Pease Development Authority and hope you can answer the following questions based on the PDA land use application flow chart and the PDA zoning map in the links below:

[Land-Use-Applications-Flow-Chart.pdf \(peasedevauth.wpenginepowered.com\)](#)

<https://peasedevauth.wpenginepowered.com/wp-content/uploads/2022/03/Land-Use-Applications-Flow-Chart.pdf>

[Zoning 22 x 34 \(peasedevauth.wpenginepowered.com\)](#)

1. Based on the PDA zoning map, the Portsmouth Planning Board and Portsmouth Zoning Board of Adjustment have land use jurisdiction in the following three PDA zoning districts 1) Industrial, (red) 2) Business/ Commercial (aqua) and 3) Natural Resource Protection zones (yellow) . Is that correct ?
2. Portsmouth land use boards (i.e., Planning Board, Zoning Board, and the Conservation Commission) have no jurisdiction in the 1) Airport District (purple) or 2) the Airport Industrial District (green). Is that correct ?
3. Which PDA zoning districts, if any, does the Parking, Traffic & Safety Committee and the Site Review Technical Advisory Committee have jurisdiction ?
4. No Portsmouth Land Use boards have jurisdiction in the Airport and Airport Industrial districts. Does the Portsmouth Conservation Commission have jurisdiction in the Industrial, Business / Commercial and Natural Resource Protections zoning districts ? The ConCom is not referenced in the PDA land use application chart.

Thank you.

Regards,

Jim Hewitt

----- Forwarded Message -----

From: Beverly M. Zendt <bmzendt@cityofportsmouth.com>

To: JAH <samjakemax@aol.com>

Cc: chellman@tndengineering.com <chellman@tndengineering.com>; Peter L. Britz <plbritz@cityofportsmouth.com>

Sent: Monday, April 11, 2022 at 08:36:49 AM EDT

Subject: RE: Million Air Project at PDA Tax Map 307 Lot 0

Good morning!

This project did come before the Conservation Commission for a recommendation to the State. The Conservation Commission reviews State Wetland Permits submitted to the NH Department of Environmental Services. The Commission does not have any approval authority on these applications but their recommendations are considered in the State's review of the application. Ultimately however, the State must follow the Statues and Administrative rules in making its decision to approve or deny a wetland permit application.

Let me know if you have questions or would like additional information.

Best Regards,

Beverly Mesa-Zendt AICP

Director | Planning Department

City of Portsmouth

1 Junkins Avenue

Portsmouth, NH 03801

☎ **(603) 610-7216**

✉ Bmz@cityofportsmouth.com

🖱 [Planning Department | City of Portsmouth](#)

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From: JAH [<mailto:samiakemax@aol.com>]
Sent: Sunday, April 10, 2022 8:27 AM
To: Beverly M. Zendt <bmzendt@cityofportsmouth.com>
Cc: chellman@tndengineering.com
Subject: Million Air Project at PDA Tax Map 307 Lot 0

Hi Beverly:

I noticed the subject project went to the Portsmouth Conservation Commission for review and a vote.

Will this happen with the Planning Board also ?

[NH Wetlands Application Notification \(cityofportsmouth.com\)](#)

https://files.cityofportsmouth.com/files/planning/apps/ExeterSt_0/ExeterSt_0_CC_NHDES_120821.pdf

Thank you

Jim Hewitt

JAYNE
ABSENT
6 TIMES

2023

19
MEETINGS
IN
2023

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

January 19, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Assistant City Engineer; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt, Jayne Begala; Members, Andrew Samonas, Alternate

ALSO PRESENT: Peter Stith, Principal Planner

MEMBERS ABSENT:

REGULAR MEETING 7:00 pm

The meeting began at 7:04 pm.

*Items denoted in brackets indicate timestamps

I. ELECTION OF OFFICERS

[7:50] Mr. Mahanna made a motion to nominate Chairman Chellman as the chair. Ms. Begala seconded the motion. The motion passed unanimously.

[8:18] Mr. Hewitt made a motion to nominate Corey Clark for Vice Chair. City Manager Conard seconded the motion. The motion passed unanimously.

II. APPROVAL OF MINUTES

A. Approval of the December 15, 2022 meeting minutes.

2024
JAYNE ABSENT
1 TIME
JAN 10

**SPECIAL MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

January 30, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Beth Moreau, City Councilor; Greg Mahanna, James Hewitt, Jayne Begala, Members; Andrew Samonas, Alternate

.....

ALSO PRESENT: Peter Stith, Planning Manager; Nicholas Cracknell, Principal Planner(via zoom); Rick Taintor, Consultant

MEMBERS ABSENT: Peter Harris, Member; Joseph Almeida, Facilities Manager

.....

SPECIAL MEETING 7:00 pm

Timestamps denoted in brackets []

Meeting began at 7:02 pm.

[6:09] Chairman Chellman called the meeting to order and announced that Mr. Harris would not be in attendance, Mr. Samonas would sit in his place and vote.

I. CITY COUNCIL REFERRALS – PUBLIC HEARING

A. Presentation on ADU Amendments

[7:34] Rick Taintor, who has been working with the Land Use Committee and Planning & Sustainability Department Staff, came to present on the topic of ADU amendments.

This presentation focused on the changes proposed for amendments for ADU regulations. These are broadly aligned with removing barriers and providing more flexibility, strengthening provisions for neighborhood compatibility and making the ordinance easier to understand and apply. Proposed changes include, but are not limited to, folding in the Garden Cottages into detached ADUs, modifying the Table of Uses for ADUs revising parking standards, applying standards to all ADU's along with Attached and Detached ADUs, changes to architectural design standards, post-approval requirements, definitions,

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

February 16, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Assistant City Engineer; Beth Moreau, City Councilor; Peter Harris; James Hewitt, Members; Jayne Begala; Andrew Samonas, Alternate

.....

ALSO PRESENT: Peter Stith, Principal Planner; Nicholas Cracknell, Principal Planner

MEMBERS ABSENT: Greg Mahanna, Member

.....

*Items in brackets [] denote timestamp of recording

[7:10] The meeting began.

I. APPROVAL OF MINUTES

- A. Discussion of proposed amendments of the **December 15, 2022** minutes, and approval of the **January 19, 2023** and **January 30, 2023** meeting minutes.

[7:44] Councilor Moreau made a motion to approve the December 15th, 2022 minutes along with the January 19th and 30th, 2023 minutes as presented. The motion was seconded by Vice Chair Clark. The motion passed unanimously.

II. DETERMINATIONS OF COMPLETENESS

SITE PLAN REVIEW

- A. The request of **One Market Square LLC (Owner)**, for property located at **1 Congress Street** requesting Site Plan Review approval for the partial demolition and expansion of the existing structure to construct a 3-story mixed-use building with

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

February 23, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Assistant City Engineer; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt, Members; Andrew Samonas, Alternate

.....

ALSO PRESENT: Peter Stith, Principal Planner; Nicholas Cracknell, Principal Planner

MEMBERS ABSENT: Jane Begala

.....

REGULAR MEETING 7:00pm (Continued from February 16, 2023)

*Items in brackets denote timestamp of recording

[5:15] The meeting began at 7:00 p.m.

Chairman Chellman began the meeting by noting that Mr. Samonas would be sitting in for Ms. Begala as she was unable to make the meeting.

I. PUBLIC HEARINGS – OLD BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

- A. Phase II Regulatory Amendments** – The Planning Board will consider a recommendation to City Council to adopt amendments to Article 8 Supplemental Use Standards: Section 10.440 Table of Uses, Section 10.814 Accessory Dwelling Units, and Section 10.815 Garden Cottages; Article 11 Site Development Standards: Section 10.1110 Off-Street Parking; and Article 15 Definitions related to Accessory Dwelling Units and Garden Cottages.

SPEAKING TO THE APPLICATION

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

March 16, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Assistant City Engineer; Beth Moreau, City Councilor; Peter Harris; James Hewitt, Members; Jayne Begala; Andrew Samonas, Alternate

.....

ALSO PRESENT: Peter Stith, Principal Planner

MEMBERS ABSENT: Greg Mahanna

.....

REGULAR MEETING 7:00pm

[5:50] The meeting began at 7:00pm.

I. APPROVAL OF MINUTES

- A. Approval of the February 16, 2023 Minutes
- B. Approval of the February 23, 2023 Minutes.

[6:15] Councilor Moreau made a motion to approve both minutes. City Manager Conard seconded the motion. The motion passed unanimously.

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

- A. **REQUEST TO POSTPONE** The request of **Frederick J. Bailey III & Joyce Nelson (Owners)**, and **Tuck Realty Corporation (Applicant)**, for properties located at **212, 214, and 216 Woodbury Avenue** requesting Preliminary and Final Subdivision Approval for a Lot Line Relocation to create the following lots: Proposed Lot 1 to be 60,025 square feet of lot area where 26,012 square feet are existing, Proposed Lot 2 to be 12,477 square feet of lot area where 29,571 square feet are existing, and Proposed Lot 3 to be 7,917 square feet of lot area where 24,836 square feet are existing. No changes in street frontage are proposed. Said

**PLANNING BOARD MEETING
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

MINUTES

7:00 PM

April 20, 2023

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Peter Harris, James Hewitt, Jayne Begala and Andrew Samonas

ALSO PRESENT: Peter Stith, Planning Manager

MEMBERS ABSENT: Greg Mahanna

.....

***Items in brackets denote timestamp of recording.**

Chairman Chellman called the meeting to order at 7:05. He announced that Mr. Mahanna would not be in attendance and Mr. Samonas would sit in his place and vote.

I. APPROVAL OF MINUTES

A. Approval of the March 16, 2023 Minutes

Mr. Almeida made a motion to approve the March 16 minutes as presented. The motion was seconded by City Manager Conard. The motion passed unanimously.

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

- A.** The request of **Frederick J. Bailey III and Joyce Nelson (Owners)**, and **Tuck Realty Corporation (Applicant)**, for properties located at **212, 214, and 216 Woodbury Avenue** requesting Preliminary and Final Subdivision Approval for a Lot Line Relocation to create the following lots: Proposed Lot 1 to be 60,025 square feet of lot area where 26,012 square feet are existing, Proposed Lot 2 to be 12,477 square feet of lot area where 29,571 square feet are existing, and Proposed Lot 3 to be 7,917 square feet of lot area where 24,836 square feet are existing. No changes in street frontage are proposed. Said properties are located on Assessor Map 175 Lots 1, 2, and 3 and lie within the General Residence A (GRA) District. (LU-22-129)

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

May 18, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Greg Mahanna (via Zoom), Peter Harris, James Hewitt, Jayne Begala; Andrew Samonas, Alternate; Ernest Carrier, Alternate

MEMBERS ABSENT: Corey Clark, Vice-Chair

ALSO PRESENT:
.....

Note: Items in brackets denote recording timestamp.

Chairman Chellman called the meeting to order at 7:06. He announced that Alternate Andrew Samonas would take a voting seat for the entire meeting and that Alternate Ernest Carrier would take a voting seat for Section II, Petitions A and B, and Section III Petition A for Mr. Mahanna, who was not able to attend the meeting via Zoom at that point.

I. APPROVAL OF MINUTES

A. Approval of the April 20, 2023 Minutes.

*The Board voted to **approve** the minutes as amended.*

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

SITE PLAN REVIEW

Chairman Chellman read Petitions A and B together.

A. The request of **Nicole J. Giusto and David A. Sinclair (Owners)**, for property located at **765 Middle Street** requesting Site Plan Approval for a fourth dwelling unit in a new detached structure with a 3-bay garage, including stormwater management improvements, expanded driveway utility services and landscaping. Said property is

**PLANNING BOARD WORK SESSION
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

May 25, 2023

MEMBERS PRESENT: Rick Chellman, Chairman; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Greg Mahanna, Peter Harris (via Zoom), James Hewitt, Jayne Begala; Greg Mahanna, Andrew Samonas

ALSO PRESENT: Peter Stith, Planning Manager; Nick Cracknell, Principal Planner

Chairman Chellman called the work session to order at 7:00. Nick Cracknell was present to give a presentation on the proposed zoning amendments scheduled for a City Council public hearing on July 10. Chairman Chellman also suggested that the board could have a public hearing on it on June 15. Mr. Cracknell said he had been working on incentive amendments put together by the Planning Department with inputs from the land use committees relating to the zoning ordinance that affects workforce housing and community spaces downtown. He said the incentives were either in the Character District that includes the north and west ends, downtown, and the Islington Street corridor that connects them, and the Gateway District. He said he would focus on the density incentives in the Character Districts and that the Gateway District would be addressed at a later time.

He said the presentation was broken into six parts:

1. Density incentives in the Overlay Districts (north and west ends).
2. Density incentives for large building footprints.
3. Density incentives for larger parcels in downtown and north and west ends.
4. New community space types that would be useful to add to the current 16 or so community space types.
5. Exemption of community spaces like plazas or parks that sit on top of subsurface parking from being counted in the building footprints.
6. Minor changes to the building height map, specifically for the south side of Bow Street, to be more consistent with the existing context and character.

Part 1: Density incentives in the Overlay Districts (north and west ends).

Mr. Cracknell said the existing density indicated that a parcel could be of any size. The incentive for the developer would be to get an additional story or height of ten feet and an increased footprint anywhere between 20,000-30,000 square feet, depending on the district. He said the incentive required the property owner to deed the City 20 percent of the parcel size as

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

June 15, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Peter Harris; James Hewitt, Members; Jayne Begala; Andrew Samonas, Alternate.

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ALSO PRESENT: Peter Stith, Principal Planner

MEMBERS ABSENT: Greg Mahanna

.....

***Items in brackets denote timestamp of video recording.**

Chairman Chellman called the meeting to order at 7:00 p.m. Alternate Andrew Samonas took a voting seat for Greg Mahanna, who was absent.

I. APPROVAL OF MINUTES

- A. Approval of the May 18, 2023 Meeting Minutes
- B. Approval of the May 25, 2023 Work Session Minutes

*Councilor Moreau moved to **approve** the May 18 meeting minutes and the May 25 work session minutes as presented. The motion was seconded by Mr. Harris. The motion **passed** with all in favor, 8-0, with Vice-Chair Clark abstaining from the vote.*

II. PUBLIC HEARINGS – NEW BUSINESS

Ms. Begala recused herself from the following petition.

- A. The request of **Eversource Energy (Applicant) and Public Service of New Hampshire (Owner)**, for properties located off **Gosling Road, Greenland Road, Borthwick Avenue and Ocean Road** requesting a proposed Wetland Conditional Use Permit under Section 10.1017 for utility structure replacement project involving the replacement of wooden utility poles with steel poles and associated equipment. This work would be throughout the Portsmouth transmission corridor between Gosling Road to Echo Avenue and between Borthwick Avenue and the Ocean Road Substation. In total, the proposed project requires approximately 208,734 sq. ft. of temporary wetland impact for the

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

June 22, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Greg Mahanna, Peter Harris, Jayne Begala and Andrew Samonas, Alternate

.....

ALSO PRESENT: Peter Stith, Planning Manager; Nick Cracknell, Principal Planner; Assistant City Attorney Jane Ferrini

MEMBERS ABSENT: Corey Clark, Vice-Chair; Karen Conard, City Manager; Members James Hewitt

.....

ONLY ABSENT

SPECIAL MEETING 7:00 p.m.
(Continued from June 15, 2023)

Chairman Chellman called the meeting to order at 7:07 p.m. and stated that Mr. Samonas would sit in for Mr. Hewitt.

I. PUBLIC HEARINGS – NEW BUSINESS

- A. The Planning Board will consider a recommendation to City Council to adopt amendments to Chapter 10 – Article 5A – CHARACTER-BASED ZONING, Section 10.5A20, Regulating Plan, Subsection 10.5A21.10 Contents of Regulating Plan, Map 10.5A21B – Building Height Standards, Section 10.5A43.30 – Building and Story Heights, Subsection 10.5A43.33, Section 10.5A43.40 – Maximum Building Footprint, Subsections 10.5A43.41-44, and Section 10.5A45 – Community Spaces, Subsection Figures 10.5A45.10 Community Spaces, Section 10.5A46.20 – Requirements to Receive Incentives to the Development Standards, Subsections 10.5A46.21-22, and Article 15 – DEFINITIONS, Section 10.1530 – Terms of General Applicability, of the Ordinances of the City of Portsmouth.

Chairman Chellman read the recommendation into the record.

SPEAKING TO THE APPLICATION

Principal Planner Nick Cracknell was present to review the amendments that addressed the issues raised at the previous meeting.

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

July 20, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Greg Mahanna, Peter Harris, James Hewitt, and Jayne Begala

.....

ALSO PRESENT: Peter Stith, Principal Planner

MEMBERS ABSENT: Alternate Andrew Samonas

.....

REGULAR MEETING 7:00 pm

I. APPROVAL OF MINUTES

A. Approval of the **June 15, 2023** meeting minutes.

*The June 15 minutes were **approved** as amended by unanimous vote, 9-0.*

B. Approval of the **June 22, 2023** meeting minutes.

*The June 22 minutes were **approved** as presented by unanimous vote, 9-0.*

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

A. The request of **Murdock Living Trust (Owner), 15 Lafayette Road** requesting Preliminary and Final Subdivision Approval to subdivide one lot into two lots to create the following: Proposed Lot 1 to be 9,129 square feet of lot area and 73.8 feet of frontage and Proposed Lot 2 to be 8,172 square feet of lot area and 102 feet of frontage.

SITE PLAN REVIEW

Councilor Moreau moved to determine that the application is complete according to the Subdivision Review Regulations (contingent on the granting of any required waivers under

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

August 17, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chair; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Greg Mahanna; James Hewitt and Alternate Andrew Samonas

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ALSO PRESENT: Peter Stith, Principal Planner; Peter Britz, Planning Director

MEMBERS EXCUSED: Jayne Begala, Peter Harris

.....

Note: The timestamp denotes the video time.

Chair Chellman called the meeting to order at 7:00 p.m. He stated that Alternate Andrew Samonas would take a voting seat for the evening in place of excused member Peter Harris.

I. PRESENTATIONS

- A. Presentation on Capital Improvement Plan Process and appoint a CIP Advisory Committee**

[Timestamp 5:20] Planning and Sustainability Director Peter Britz did a presentation on the Capital Improvement Plan (CIP) process. There were no questions from the Board.

[Timestamp 12:19] Chair Chellman said there would be a subcommittee of three members from the Planning Board for the CIP Advisory Committee, including himself. Mr. Mahanna said he would volunteer. Other members said they had conflicts. Since a few members were absent, Chair Chellman said a third member would be chosen at the September meeting.

II. APPROVAL OF MINUTES

- A. Approval of the July 20, 2023 meeting minutes**

Mr. Mahanna moved to approve the July 20 minutes, seconded by Vice-Chair Clark.

Mr. Hewitt requested that the words “in Dover” be added to the following sentence (Page 8, third paragraph) so that the sentence reads as follows: “He said the buildings would have to have



NO
MINUTES

JAMN
PRESENTS

**MEETING OF THE
CONSERVATION COMMISSION
AND PLANNING BOARD**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE**

6:00 P.M.

August 30th, 2023

**PUBLIC NOTICE OF JOINT WORK SESSION
(REVISED)**

Eileen Dondero Foley City Council Chambers

The Conservation Commission & Planning Board will convene on
Wednesday, August 30th, 2023 at 6:00 P.M. for the purpose of
discussing updates to the City of Portsmouth Zoning Ordinance Article
10.

Register for Zoom Here:

https://us06web.zoom.us/webinar/register/WN_FdOwYCxoTKu6_I8ut47dXQ

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

September 21, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chair; Corey Clark, Vice-Chair; Karen Conard, City Manager Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Greg Mahanna; Peter Harris; James Hewitt, Andrew Samonas, Alternate; William Bowen, Alternate

ALSO PRESENT: Peter Stith, Principal Planner

MEMBERS EXCUSED: Jayne Begala
.....

Chair Chellman called the meeting to order at 7:00 p.m. He stated that Alternate Andrew Samonas would take a voting seat for the evening in place of excused member Jayne Begala.

Note: the timestamp denotes the video recording time.

I. APPROVAL OF MINUTES

- A. Approval of the August 17, 2023 meeting minutes.
- B. Approval of the August 30, 2023 Work Session minutes.

Chair Chellman requested that the term "Chairman" used throughout both sets of minutes be changed to "Chair" to reflect Code Committee changes.

Councilor Moreau moved to approve The August 17 and August 30 minutes as amended, seconded by Vice-Chair Clark. The motion passed unanimously, 9-0.

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

*Councilor Moreau moved to **postpone** all the 375 Banfield Road items to the October 19 meeting, seconded by Ms. Conard. The motion passed unanimously, 9-0.*

- A. **REQUEST TO POSTPONE** The request of **Banfield Realty, LLC (Owner)**, for property located at **375 Banfield Road** requesting to Subdivide one lot into two lots to create the following: Proposed Lot 1 with 6.65 acres of lot area and 354 feet of street frontage and Proposed Lot 2 with 7.96 acres of lot area and 200 feet of street

**MINUTES of the
PLANNING BOARD WORK SESSION
ON DRAFT RULES AND PROCEDURES**

PORTSMOUTH, NEW HAMPSHIRE

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

6:00 PM

September 28, 2023

MEMBERS PRESENT: Rick Chellman, Chair; Corey Clark, Vice-Chair; Beth Moreau, City Councilor; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Members Greg Mahanna, Peter Harris, James Hewitt, Andrew Samonas, Alternate; William Bowen, Alternate

MEMBERS EXCUSED: Jayne Begala

ALSO PRESENT: Peter Stith, Planning Manager; City Attorney Susan Morrell; Retired City Attorney Bob Sullivan

I. DISCUSSION ON DRAFT RULES AND PROCEDURES

Alternate Andrew Samonas replaced member Jayne Begala, who was excused. The Board discussed the proposed amendments to the Rules and Procedures.

Relating to Section B.3, Duties of the Chair, the following changes were recommended by the Legal Department: the Chair does not have to approve the agenda prior to its posting because it adds a layer of review that is cumbersome for the staff as well as additional unnecessary work for the staff. There is no legal requirement for the Chair to sign all Board-approved plans for recording at the Registry of Deeds. The Planning Board does not have any authority to expend City funds and can only be done so with the approval of the City Council. There was also a consensus of the Board to adopt the agenda at the beginning of the meeting.

Mr. Mahanna said the Chair should approve the agenda, according to Robert's Rules. Chair Chellman said the only reason he proposed that the Chair approve the agenda was because felt that it should be one person, whether it was a Staff member of the Chair, who does have the final say when it comes to the agenda being posted. Mr. Mahanna said he would like the Chair to have the ability to approve the agenda. Mr. Bowen said he had written bylaws for half-dozen organizations that he had been in and had studied the proposed bylaws, and he said he was taken by the State's Municipal Association's recommendations because they had specific recommendations for the role of the Chair and he thought the Board shouldn't depart from those

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

October 19, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chair; Corey Clark, Vice-Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Members Peter Harris, James Hewitt, Jayne Begala; Alternates Andrew Samonas and William Bowen

.....

ALSO PRESENT: Peter Stith, Planning Manager; Deputy City Attorney Trevor McCourt

MEMBERS ABSENT: Greg Mahanna

.....

REGULAR MEETING 7:00 p.m.

| |
|--|
| <p>DUE TO THE LARGE VOLUME OF AGENDA ITEMS SCHEDULED FOR OCTOBER, THE BOARD WILL BE VOTING TO POSTPONE CONSIDERATION OF NEW BUSINESS ITEMS (IV.) F. THROUGH K. TO THE THURSDAY, OCTOBER 26, 2023 MEETING.</p> |
|--|

Alternate Andrew Samonas took a voting seat for the evening. Chair Chellman noted that the agenda was split and that Item I, Lonza requested to continue to the November 16 meeting.

I. APPROVAL OF MINUTES

A. Approval of the September 21, 2023 meeting minutes.

Councilor Moreau moved to adopt the minutes as presented, seconded by Vice-Chair Clark. The motion with all in favor.

B. Approval of the September 28, 2023 Work Session minutes.

Councilor Moreau moved to postpone approval of the minutes so that more detail could be added. The motion was seconded by Vice-Chair Clark and passed with all in favor.

II. DETERMINATIONS OF COMPLETENESS

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

October 26, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chair; Corey Clark, Vice-Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Members Peter Harris, Greg Mahanna; , James Hewitt; Alternates Andrew Samonas and William Bowen

.....

ALSO PRESENT: Peter Stith, Planning Manager

MEMBERS ABSENT: Beth Moreau, City Councilor; Jayne Begala

.....

Chair Chellman called the meeting to order at 7:00 p.m.

I. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

- A.** The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Preliminary and Final Subdivision approval for the subdivision of the 2.23-acre lot into nine (9) conforming Single-Family lots. Said property is located on Assessor Map 217 Lot 2-1844 and lies within the General residence B (GRB) District.

SITE PLAN REVIEW

- A.** The request of **Bantry Bay Associates LLC (Owner)**, for property located at **0 Shearwater Drive** requesting Site Plan Review approval for the construction of nine (9) single-family dwellings with associated paving, stormwater management, lighting, utilities and landscaping. Said property is located on Assessor Map 217 Lot 2-1844 and lies within the General Residence B (GRB) District.

Vice-Chair Clark moved that the Board vote to determine that the above applications are complete according to the Subdivision Review Regulations (contingent on the granting of any required waivers under Sections III and/or IV of the agenda) and the Site Plan Review Regulations (contingent on the granting of any required waivers under Sections III and/or IV of the agenda) to accept the application for consideration.

PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE

NO
MINUTES

EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE

7:00 PM Public Hearings begin

November 16, 2023

AGENDA

REGULAR MEETING 7:00pm

JAYNE
BEGALA
ABSENT

I. APPROVAL OF MINUTES

- A. Approval of the September 28 Work Session minutes.
- B. Approval of the October 19, 2023 meeting minutes.
- C. Approval of the October 26, 2023 meeting minutes.

II. PUBLIC HEARINGS – OLD BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

- A. The request of **Lonza Biologics (Owner)**, for property located at **101 International Drive** requesting Amended Site Plan approval for Phase 2 which includes fit-up of Building #1 and the utility building, construction of a temporary surface parking lot and gravel area for construction trailers, parking and laydown area in the location of Proposed Building #2. Said property is located on Assessor Map 305 Lot 6 and lies within the Airport Business Commercial (ABC) District. (LU-23-108)

III. PUBLIC HEARINGS – NEW BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

- A. The request of **Springbrook Condominium Association (Owner)**, for property located at **0 Springbrook Circle** requesting a Wetland Conditional Use Permit from Section 10.1017.40 for the installation of a concrete sidewalk within the City's 100-ft wetland buffer. The 5'wide by 174' long sidewalk will add an additional 870 s.f. of impervious surface to the buffer. New buffer plantings are proposed to offset the impacts of the new impervious surface and a culvert is proposed where the sidewalk will cross over an

**PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

December 21, 2023

MINUTES

MEMBERS PRESENT: Rick Chellman, Chair; Corey Clark, Vice-Chair (via Zoom); Joseph Almeida, Facilities Manager; City Council Representative Beth Moreau; Karen Conard, City Manager; Members Greg Mahanna, James Hewitt, and Jayne Begala

.....

ALSO PRESENT: Peter Britz, Director of Planning and Sustainability

MEMBERS ABSENT: Alternates William Bowen and Andrew Samonas

.....

Chair Chellman stated that Vice-Chair Corey Clark was ill but would be present via Zoom.

Mr. Mahanna moved to allow Vice-Chair Clark to join the meeting via Zoom, seconded by Mr. Almeida. The motion passed unanimously.

I. PRESENTATIONS

- A.** Receive a presentation and consider a recommendation to the City Council to adopt the proposed FY 2025-2030 Capital Improvement Plan.

[Video Timestamp 7:37] City Manager Karen Conard reviewed the 2025-2030 Capital Improvement Plan (CIP) definition and process. She said it was a planning tool to provide the City with a 6-year horizon to support city-wide capital investments and that a variety of funding sources made up the CIP. She said that evening's meeting was the first opportunity to solicit public input, and that the City Council would hold its CIP session on January 17 as well as another public hearing in February and then adopt the CIP in March.

[Timestamp 14:48] Members of the City's various departments were present to submit their requests, including the Fire Department, Police Department, Public Works, Schools, Finance and Administration, Library, Economic and Community Development, Health, Recreation, Information, and Sustainability.

QUESTIONS FROM THE BOARD

[Timestamp 1:02:02] Councilor Moreau asked why the Coast Guard was involved in the new project added for Marine One by the Fire Department. Fire Chief Bill McQuillen said the Coast

JAMES
ABSENT
10 TIMES

2022

19 MEETINGS
IN
2022

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

January 27, 2022

MINUTES

MEMBERS PRESENT: Beth Moreau, City Council Representative; Karen Conard, City Manager; Ray Pezzulo; Peter Harris; Corey Clark; Rick Chellman; Greg Mahanna; Jane Begala; James Hewitt will be participating via Zoom Franco DiRienzo, Alternate; Andrew Samonas, Alternate

ALSO PRESENT: Peter Britz, Environmental Planner; Beverly M. Zendt, Planning Director;

MEMBERS ABSENT:
.....

I. ELECTION OF OFFICERS

City Council Representative Moreau moved to nominate Corey Clark as Chair and Rick Chellman as Vice Chair, seconded by City Manager Conard.

City Council Representative Moreau commented that Corey Clark joined the Planning Board in June 2017 as an alternate member and was promoted to a full-time voting member last year by former Mayor Rick Becksted. As a Chief Construction Engineer at NH Environmental Services Mr. Clark has the skills to Chair the Planning Board. In his time on the Board, he has demonstrated the ability and expertise to support new members. His ability to listen and thoughtfully respond to members will make him a good Chair. Mr. Chellman joined the Board a year ago. His tenure is not long, but he has shown that he is knowledgeable in Board matters and would be serve well as the Vice Chair.

Ms. Begala commented that it was difficult to vote on this matter because they don't know everyone on the Board. There should be a better process to share information about the members and who is interested in running.

Mr. Harris commented that he had an alternate nomination for Chair. Mr. Britz commented that they needed to address the motion on the table first.

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

February 17, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark Vice Chair; Karen Conard, City Manager; Ray Pezzullo, Assistant City Engineer; Beth Moreau; Peter Harris; Greg Mahanna; Jane Begala; James Hewitt; Franco DiRienzo, Alternate; Andrew Samonas, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner I

MEMBERS ABSENT:

.....

Chairman Chellman commented that before they began the agenda City Attorney Sullivan had requested to speak.

City Attorney Sullivan commented that he was there to speak to the Board about the matter with North Mill Pond Holdings LLC and Raynes Ave. vs. City of Portsmouth. It will have an effect on the proceedings this evening. On February 9, 2022, a lawsuit was filed, and the City was served this week. It is a lengthy suit and a serious matter. There are three counts. The City is the defendant but the actions of the Planning Board and Zoning are the subject. The first count is an appeal on the Planning Board's decision to rehear the application. The petition raises a number of legal questions about the Board's authority to conduct the rehearing, actions of particular members of the Board, and generally requests that the court order against a rehearing. Count 2 is in some ways a repeat of count 1. However, it's a request that the judge make a declaratory ruling. That is a statement from the court not necessarily a ruling. The complaint should be read by the Planning Board members. This lawsuit makes assiduous claims for their attorney's fees to be paid by the City because of the actions of the Planning Board. That is a rare situation. When Board members read the complaint, they should direct their attention to the third count. The last item in the complaint is why the City Attorney was there tonight. The process of appealing a Planning Board decision is a little different. Before taking any action, the judge conducts a very brief preliminary hearing to determine if any preliminary orders are needed. They were issued in this case. The order is proceedings upon decision appeal are stayed. That means the rehearing cannot move forward because the court has ordered that it not happen. Beyond that the attorneys in the case have agreed that no action should be taken by anyone in connection to this case. This will end when in some way or another the court orders it

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

March 17, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark Vice Chair; Karen Conard, City Manager; Ray Pezzulo, Assistant City Engineer; Beth Moreau; Peter Harris; Jane Begala; James Hewitt; Franco DiRienzo, Alternate; Andrew Samonas, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner 1

MEMBERS ABSENT: Greg Mahanna

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I. APPROVAL OF MINUTES

A. Approval of the February 17, 2022 minutes.

Chairman Chellman commented that Mr. DiRienzo would sit in for Mr. Mahanna tonight.

City Council Representative Moreau moved to approve the minutes from the February 17, 2022, minutes as amended, seconded by Mr. Clark

Mr. Hewitt commented that he questioned about taking attendance not Mr. Mahanna. Also, the shadow study that was requested for the 2 Russell St. application was referring to the whole site not just the community space. Mr. Hewitt noted that he commented on the trees for the 230 Commerce Way application and thinking about it more he would have requested that the project also go to the Trees and Greenery Committee. Mr. Hewitt did not say it at the time but would have liked to. Mr. Chellman commented that Mr. Hewitt did not mention the Committee at the time, so that was not an edit to the minutes. That can be addressed when the application returns.

Chairman Chellman noted that he had a couple edits from Mr. Mahanna. The first is that Mahanna is spelled with two N's. Also, Mr. Mahanna has personally never done business with the Green and Company and Port Harbor application developers. That needs to be corrected.

The motion passed unanimously.

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

6:00 PM Special Meeting Begins

March 30, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark Vice Chair; Karen Conard, City Manager; Ray Pezzulo, Assistant City Engineer; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt; Andrew Samonas, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Stefanie Casella, Planner 1

MEMBERS ABSENT: Jayne Begala; Franco DiRienzo, Alternate;

.....

I. 6-6:30 PM

Call to Order and discussion with the Board regarding rules, regulations, upcoming meetings, and upcoming training topics.

DISCUSSION OF THE BOARD:

Chairman Chellman introduced the opportunity for Board Members to propose items for discussion. Member Mahanna requested workshop time to review agenda items prior to regularly scheduled Planning Board meetings. Member Hewitt suggested the Board look at the CIP for improvements, establishing an impact fee program, revising the abutter notification process, and revisiting the North End Visioning plan created in 2000. Alternate Member Samonas suggested revisiting the way the Board evaluates Design Review applications to create a more interactive process than is currently existing. The Board discussed Design Review and the history of the Planning Boards review process, post approval process, and potential work shop meeting times and topics.

II. 6:30-7:30 PM

Training Session with Attorney Stephen Buckley, *NH Municipal Association* regarding Planning Board roles and responsibilities.

PRESENTATION:

Attorney Buckley introduced himself and his role at the New Hampshire Municipal Associate where he provides legal services to member communities around the State. Attorney Buckley's

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

April 21, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Karen Conard, City Manager; Ray Pezzullo, Assistant City Engineer; Beth Moreau; Greg Mahanna; Peter Harris; James Hewitt; Franco DiRienzo, Alternate;

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner 1

MEMBERS ABSENT: Corey Clark, Vice Chair; Andrew Samonas, Alternate; Jane Begala,

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I. APPROVAL OF MINUTES

A. Approval of March 17, 2022 minutes.

Mr. Hewitt commented that the parameters for the West End Yards parking report should include the number of “bedrooms” not “beds.” Also, the second to last sentence where it says, “Mr. Hewitt confirmed that would work” should include “if it contained the information that was requested for the report.” The heading under the minutes says March 15, 2022, but it should say March 17, 2022.

City Manager Conard moved to approve the minutes from the March 17, 2022, Planning Board Meeting, as amended, seconded by City Council Representative Moreau. The motion passed unanimously.

II. PUBLIC HEARINGS – OLD BUSINESS

The Board’s action in these matters has been deemed to be quasi-judicial in nature.

If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

- A. REQUEST TO POSTPONE** The request of **Donald Lowell Stickney III (Owner)**, for property located at **213 Jones Avenue** requesting Conditional Use Permit under section 10.814 of the Zoning Ordinance and modification of the standards set forth in Sections 10.814.40 or 10.814.52 through 10.814.56, to construct a new single family residence and convert the existing residence into a Detached Accessory Dwelling Unit totaling 886

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

6:00 PM Special Meeting Begins

May 5, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark Vice Chair; Beth Moreau, City Councilor; Peter Harris; James Hewitt; Andrew Samonas, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Nick Cracknell, Principal Planner; Stefanie Casella, Planner I

MEMBERS ABSENT: Jayne Begala; Greg Mahanna; Franco DiRienzo, Alternate; Karen Conard, City Manager

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I. Receive and discuss the Land Use Committee Existing Conditions and Strategy Report.

PRESENTATION TO THE BOARD

Chairman Chellman called the meeting to order at 6:04 pm and sat Member Samonas in the absence of Member Mahanna. Chair Chellman introduced the topics for the evening including the strategy report and the proposed Zoning Amendments. Planning Director Mesa-Zendt introduced the evening's presentation that will have sections from herself, Councilor Moreau, and Principal Planner Nick Cracknell. Director Mesa-Zendt started with the Summary of Existing Conditions and Strategy Report which was developed by the Land Use Committee, noting that the report had been before the City Council, and is now before the Planning Board. Director Mesa-Zendt presented the report findings to the Board and highlighted populations changes, the number of cost burdened renters and homeowners, housing and ownership types, and project trends.

Councilor Moreau presented the Regulatory Workplan. Councilor Moreau's section of the presentation articulated the three phases of zoning amendments and how the Land Use Committee has worked through their process and the future steps that are to be taken including stakeholder meetings, public input sessions, and public hearings.

QUESTIONS FROM THE BOARD

Member Hewitt asked how the population data was broken down. Director Zendt explained that specific migration data was not available but through the Assessing department Staff was able to

**SITE WALK MEETING OF THE
PLANNING BOARD
1 CONGRESS STREET
PORTSMOUTH, NEW HAMPSHIRE**

10:00 A.M. Site Walk Begins

May 19, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice-Chairman; Beth Moreau, City Councilor; Greg Mahanna; Jayne Begala, Peter Harris, James Hewitt; Joe Almeida

ALSO PRESENT: Beverly M. Zendt, Planning Director; Nicholas Cracknell, Principal Planner; Robert Sullivan, City Attorney; Sean Clancy, Assistant City Manager – Economic Development

MEMBERS ABSENT: Karen Conard, City Manager, Andrew Samonas & Franco DiRienzo Alternates

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The Planning Board convened on Thursday May 19, 2022, at 10:00 A.M. for the purpose of conducting a site walk at the above referenced property.

City Attorney Robert Sullivan provided an overview to the regulatory intent of a site walk emphasizing the importance of avoiding deliberation and using the opportunity to gain contextual and situational information that would facilitate a greater understanding of the information presented before the Planning Board as part of the record.

The property owner, Mark McNabb, led a tour around the site and provided an overview of the project showing locations of proposed key project components, anticipated pedestrian and vehicular circulation improvements, and anticipated public space enhancements.

DISCUSSIONS WITH THE BOARD:

Members of the Board generally discussed the following topics with Mr. McNabb, the project engineer, John Chagnon, and the project architect Tracy Kozak:

- Traffic and circulation,
- View impacts of proposed site improvements,
- Nature and location of possible nearby improvements to streets and buildings,
- Public/private participation,
- Pedestrian Circulation, and
- Solid Waste Management

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

May 19, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joe Almeida, Facilities Manager; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; Jane Begala; James Hewitt; Andrew Samonas, Alternate;

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner 1

MEMBERS ABSENT: Franco DiRienzo, Alternate

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I. APPROVAL OF MINUTES

A. Approval of April 21, 2022 Minutes

Chairman Chellman noted that the April Minutes would be voted on at the June Planning Board Meeting.

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

A. The request of **Elizabeth B Larsen Trust of 2012 (Owner)**, for property located at **668 Middle Street** requesting Preliminary and Final Subdivision approval.

Vice Chairman Clark moved to determine that the application was complete according to the Subdivision Regulations, (contingent on the granting of any required waivers under Section VI of the agenda) and to accept the applications for consideration, seconded by City Council Representative Moreau. The motion passed unanimously.

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

June 16, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joe Almeida, Facilities Manager; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt; Franco DiRienzo, Alternate; Andrew Samonas, Alternate;

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner I

MEMBERS ABSENT: Jane Begala

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REGULAR MEETING 7:00pm

I. APPROVAL OF MINUTES

Chairman Chellman commented that Mr. DiRienzo would vote tonight because Ms. Begala was absent.

A. Approval of the May 19, 2022, regular meeting minutes.

City Council Representative Moreau moved to approve the May 19, 2022, regular meeting minutes, seconded by Vice Chairman Clark. The motion passed by an 8-0-1 vote. Mr. Almeida abstained because he was not at the meeting.

B. Approval of the March 30, 2022 and May 5, 2022 special meeting minutes.

City Council Representative Moreay moved to approve the March 30, 2022, and May 5, 2022, special meeting minutes as presented, seconded by Vice Chairman Clark. The motion passed by an 8-0-1 vote. Mr. Almeida abstained because he was not at the meeting.

C. Approval of the May 19, 2022, site walk minutes.

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

June 23, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Karen Conard, City Manager; Joe Almeida, Facilities Manager; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt;

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner 1;

MEMBERS ABSENT: Corey Clark, Vice Chair; Franco DiRienzo, Alternate; Andrew Samonas, Alternate; Jane Begala

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I. APPROVAL OF MINUTES

A. Approval of the April, 21 regular meeting minutes

City Manager Conard moved to suspend the rules to bring forward item IV. G out of order, seconded by City Council Representative Moreau.

City Manager Conard commented that it's at the end of the agenda and it is a quick item.

The motion passed unanimously.

City Council Representative Moreau moved to suspend the rules to bring forward item V. A out of order, seconded by Mr. Almeida. The motion passed unanimously.

City Council Representative Moreau moved to approve the minutes from the April 21, 2022, regular meeting, seconded by Mr. Harris. The motion passed unanimously.

II. DETERMINATIONS OF COMPLETENESS

SUBDIVISION REVIEW

**JOINT WORK SESSION
PLANNING BOARD AND CONSERVATION COMMISSION
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

6:30 PM

June 29, 2022

MINUTES

PLANNING BOARD

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager (Present on Zoom); Joe Almeida, Facilities Manager; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt; Andrew Samonas, Alternate

MEMBERS ABSENT: Jayne Begala; Franco DiRienzo, Alternate,

CONSERVATION COMMISSION

MEMBERS PRESENT: Barbara McMillan, Chair; Samantha Collins, Vice Chair (Present on Zoom); Allison Tanner, Abigail Gindele, Alternate; Thaddeus Jankowski (Present on Zoom)

MEMBERS ABSENT: Jessica Blasko; Henry Mellynychuk; Lynn Vaccaro; Mika Court, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner I; Kate Homet, Associate Environmental Planner

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I. Training Session with Attorney Stephen Buckley, *NH Municipal Association* and Sandy Crystall, formerly with New Hampshire Department of Environmental Services regarding State regulations related to Wetland Conditional Use Permits.

Planning Board Chairman Chellman called the meeting to order at 7:05 PM and introduced Attorney Stephan Buckley, Legal Services Counsel at the NH Municipal Association, and Sandy Crystall, Professional Wetland Scientist (formerly with the New Hampshire Department of Environmental Services).

Attorney Buckley introduced himself and his role at the New Hampshire Municipal Associate where he provides legal services to member communities around the State. Attorney Buckley's

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

6:00 PM

June 29, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager (present on Zoom); Joe Almeida, Facilities Manager; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt; Alternate; Andrew Samonas, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner 1;

MEMBERS ABSENT: Jane Begala; Franco DiRienzo,

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I. CALL TO ORDER

Chairman Chellman called the meeting to order at 6:00 p.m.

II. CITY COUNCIL REFERRALS

- A. Continue the public hearing and consider a recommendation to the City Council for Zoning Ordinance Amendments to Building Height standards.
***Please note this item was postponed from the June 23, 2022 Planning Board meeting.**

SPEAKING TO THE PROPOSED AMENDMENTS

Ms. Zendt commented that on May 5, 2022, the Board received a draft for zoning amendments to building height requirements and structural code clean up. They have had a public hearing, and worked with Board Members, Staff, and Community Members on feedback. The fourth version was presented at the June 23, 2022, Planning Board Meeting. It was continued to tonight. The purpose is to provide clarity to certain ambiguity in the code around building height and design guidelines. The intent is to make it more understandable for the Board and community.

QUESTIONS FROM THE BOARD

Mr. Harris questioned who was setting the priorities for the changes coming to the Planning Board. City Council Representative Moreau commented that the City Council set this priority based on goals they set.

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

July 21, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joe Almeida, Facilities Manager; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt; Jane Begala; Andrew Samonas, Alternate;

ALSO PRESENT: Beverly M. Zendt, Planning Director; Stefanie Casella, Planner 1

MEMBERS ABSENT: Franco DiRienzo, Alternate;

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REGULAR MEETING 7:00pm

I. APPROVAL OF MINUTES

- A. Approval of June 16, 2022 and June 23, 2022 meeting minutes.
- B. Approval of June 29, 2022 special meeting minutes.
- C. Approval of June 29, 2022 joint work session minutes.

City Council Representative Moreau moved to approve the June 16, 2022, revised June 23, 2022 meeting minutes, June 29, 2022 special meeting minutes, and the June 29, 2022 joint work session meeting minutes as presented, seconded by Mr. Mahanna. The motion passed unanimously.

II. DETERMINATIONS OF COMPLETENESS

SITE PLAN REVIEW

- A. The request of **230 Commerce Way LLC (Owner and Applicant)**, for Property located at **230 Commerce Way** requesting **Amended Site Plan Review Approval** to construct a new two-story building.

PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE

EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE

JAMES
ABSENT

6:30 PM Work Session begin

August 8, 2022

AGENDA

WORK SESSION MEETING 6:30pm

- I. Review and discuss the following amendments to the zoning ordinance.**
1. Building Height Map. Section 10.5A21B: *Add new streets, add building heights for civic and municipal properties and modify building heights. Correct the reference to 10.5A46.*
 2. Building Height Standards. Section 10.5A21B: *Clarify the standards for corner, through or waterfront lots.*
 3. Civic Districts. Section 10.5A52.40: *Apply some of the CD4 development standards to civic properties.*
 4. Definitions. Section 10.153: *Add new definitions for public places, urban districts, average existing grade, and average finished grade; and modify building height, penthouse, mansard roof, and short story.*

II. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom. A unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_UjA9d5SskT6uWbVKfVisSEw

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

August 18, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Beth Moreau, City Councilor; Peter Harris; James Hewitt; Franco DiRienzo; Jayne Begala; Andrew Samonas, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Stefanie Casella, Planner 1

ABSENT: Greg Mahanna; Corey Clark, Vice-Chair;

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I. BOARD DISCUSSION OF REGULATORY AMENDMENTS AND MASTER PLAN UPDATE

Ms. Begala said she reviewed the Master Plan and thought the continued trends in its diversity chapters, like art, theater and start-up businesses, were not current and that she had not seen development in those areas. She said because the Master Plan didn't use conventional categories like land use, housing, or economic development, it didn't provide any vision about population growth and excluded standards for density, development, infill, and rate of growth. She said it seemed to emphasize the need for more open spaces and waterfront access instead. She said the public wanted a human scale for downtown developments and she didn't think the city was growing in that manner. She said it needed more specific standards relating to density, extended future rate of growth and higher value uses with land. Second, she said the Master Plan talked about the need to plan for an aging population and how it should become a major focus of the city. She said affordable housing was different than senior housing, and the need for it was across a large socio-economic range, which she felt were two areas that needed further discussion and public input and specification. Mr. Samonas said the city would continue to incorporate sidewalks, which would bring a human scale, but thought the Gateway Zoning couldn't be neglected, especially parking considerations. Mr. Hewitt said that he noticed on the 2016 web site survey that the citizens' number one issue was ensuring an adequate water supply, and he hoped the Master Plan update would include water resources. Mr. Harris said the No. 2 issue in the Master Plan raised by residents was parking and that residents were struggling, especially in neighborhoods just off downtown. Compared to other cities in New Hampshire, he said there was a difference in requirements for new construction and developments related to parking, and it was lowest in Portsmouth. He referred to the West End Yard development. Chairman Chellman said it was a regulatory issue because the disconnected areas were different than downtown areas, so there should be different parking standards. Mr. Hewitt asked if the architectural and site drawings could be separated into one packet and everything else in another

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

September 15, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Assistant City Engineer; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt; Andrew Samonas, Alternate

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ALSO PRESENT: Susan Morrell, City Attorney; Beverly M. Zendt, Planning Director; Stefanie Casella, Planner 1

MEMBERS ABSENT: Jayne Begala, Corey Clark, Vice Chair; Franco DiRienzo, Alternate

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REGULAR MEETING 7:00pm
Meeting started at 7:07pm

I. SUMMARY OF LEGISLATIVE CHANGES ENACTED THROUGH HB1661 AND THE IMPACT TO LAND USE BOARDS

Chairman Chellman commenced discussion on this topic at timestamp 7:27 in the recording. Retired City Attorney Robert Sullivan presented this topic, first with a correction in his introduction that he is no longer the City Attorney. He presented on a new state law that came into effect for the first time at this Planning Board meeting. This statute, HB 1661, regulates among other things, technical education in school districts, the design, engineering and sitework for a new legislative parking garage in Concord, a special fund for establishes a special fund for the administration of opioid treatment programs, establishes a pilot program for individuals with developmental disabilities, revises the Department's authority to recover unauthorized payments by the state, repeal certain reporting requirements establishes investigatory procedures and licensing criteria for recreational camps allows for alternative service and process in juvenile matters creates a separate category of foster care licenses for kinship Care Homes and a total number of 27 other unrelated items. The section of this new law relating to the Planning Board can be found in Section 272:73 'Planning and Zoning: Administrative and Enforcement Procedures Issuance of Decisions'. This section on re-adopts significant portions of the laws which already regulate the conduct of Planning Boards in making decisions but adds that zoning board decisions and/or land use regulatory board decisions shall include specific written findings

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

October 20, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Assistant City Engineer; Beth Moreau, City Councilor; Greg Mahanna; Jayne Begala; Peter Harris; James Hewitt; Andrew Samonas, Alternate

ALSO PRESENT: Beverly M. Zendt, Planning Director; Stefanie Casella, Planner 1

ABSENT: Franco DiRienzo, Alternate

REGULAR MEETING 7:00pm

Meeting started at 7:00pm.

Items in brackets denote timestamp of recording []

[0:05] Chairman Chellman opened the meeting.

I. BOARD DISCUSSION OF REGULATORY AMENDMENTS AND OTHER MATTERS

[0:20] Chairman Chellman introduced the first item on the agenda for a discussion on regulatory and other planning board matters. He wanted to talk about the Planning Board rules briefly and have them amended possibly next month along with anything that Planning Board members might notice.

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

7:00 PM

November 17, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Assistant City Engineer; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt; Jayne Begala; Andrew Samonas, Alternate

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ALSO PRESENT: Beverly M. Zendt, Planning Director; Stefanie Casella, Planner I

MEMBERS ABSENT: None

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Items in brackets denote timestamp of recording []

REGULAR MEETING 7:00pm

[5:32] Chairman Chellman opened the meeting.

Chairman Chellman mentioned some small mistakes in the agenda. He noted that the public hearing would not start immediately at 7pm and that the board discussion of ongoing regulatory amendments was an ongoing matter and should really be included in Old Business.

[6:24] *The Board voted to recognize agenda item IV. B as unfinished business to be heard immediately following the approval of minutes.*

Motion: G. Mahanna, Second: J. Hewitt. Motion passed all in favor.

I. APPROVAL OF MINUTES

A. Approval of the October 20, 2022 meeting minutes.

[20:22] Chairman Chellman had one issue with the October minutes. On page 2 at timestamp 2:41 the discussion between him and Mr. Hewitt need to be clarified.

**REGULAR MEETING
PLANNING BOARD
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

6:00 PM

December 15, 2022

MINUTES

MEMBERS PRESENT: Rick Chellman, Chairman; Corey Clark, Vice Chair; Karen Conard, City Manager; Joseph Almeida, Facilities Manager; Assistant City Engineer; Beth Moreau, City Councilor; Greg Mahanna; Peter Harris; James Hewitt, Members; Andrew Samonas, Alternate

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ALSO PRESENT: William McQuillen, Fire Chief; Mark Newport, Police Chief; Judie Belanger, Director of Finance; Peter Rice, Director of Public Works, Brian Goetz, Deputy Director of Public Works, Christine Friese, Library Director; Nathan Lunney, School Department Business Administrator; Todd Henley, Recreation Director; Alan Brady, Technology Director; Peter Stith, Principal Planner; Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner I

MEMBERS ABSENT: Jayne Begala

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REGULAR MEETING 6:00pm

*Items in brackets [] denote timestamps of the recording

[5:45] Chairman Chellman opened up the December 15th, 2022 Planning Board meeting.

I. PRESENTATIONS

- A. Receive a presentation and consider a recommendation to the City Council to adopt the proposed **FY2024- 2029 Capital Improvement Plan**.

[7:22] Karen Conard, the City Manager, provided a brief overview of what the CIP is, the annual process to address CIPs, the different project sections, and the appendices which includes citizen requested projects, state projects, a studies list, a historic document restoration index and maps. A brief overview was given of the different funding sources for the CIP as well as a breakdown

From: [JAH](#)
To: [Eggleton, Jeremy D.](#)
Subject: RE: Morrell Exhibit 3
Date: Monday, January 29, 2024 11:11:25 AM
Attachments: [95 Southgate Plaza Condos Parking Demand.pdf](#)
[110 units Albany NY Parking Demand.pdf](#)
[image002.png](#)
[image004.png](#)
[image006.png](#)

FYI... Below was sent to Planning Board via Planning Director Mesa-Zendt as a blind copy to all members

----- Forwarded Message -----

From: Beverly M. Zendt <bmzendt@cityofportsmouth.com>
To: Beverly M. Zendt <bmzendt@cityofportsmouth.com>; Nicholas J. Cracknell <njcracknell@cityofportsmouth.com>; Peter M. Stith <pmstith@cityofportsmouth.com>; Peter L. Britz <plbritz@cityofportsmouth.com>; Stefanie L. Casella <SLCasella@cityofportsmouth.com>
Sent: Monday, March 21, 2022 at 06:04:55 PM EDT
Subject: FW: Quasi Judicial Capacity / Right to Know Law

Good afternoon – please see the comments and information provided by Board Member Hewitt provided below.

Staff will be seeking input in upcoming months regarding the zoning amendment (regulatory) work plan. At that time, and if the PB feels parking regulations should be reviewed, staff recommends adding a recommendation to the list of proposed amendments that will be considered (by the Land Use Committee/City Council) for inclusion on the future regulatory work plan. Staff will follow up with the Chair regarding this item.

Best Regards,

Beverly Mesa-Zendt AICP

Director | Planning Department

City of Portsmouth

1 Junkins Avenue

Portsmouth, NH 03801

 (603) 610-7216

 Bmz@cityofportsmouth.com

 [Planning Department | City of Portsmouth](#)

Notice of Public Disclosure: This e-mail account is public domain. Any correspondence from or to this e-mail account is a public record. Accordingly, this e-mail, in whole or in part, may be subject to disclosure pursuant to

From: JAH [mailto:samjakemax@aol.com]
Sent: Sunday, March 20, 2022 8:38 PM
To: Beverly M. Zendt <bmzendt@cityofportsmouth.com>; Robert P. Sullivan <rpsullivan@cityofportsmouth.com>
Cc: chellman@tndengineering.com; Karen Conard <kconard@cityofportsmouth.com>; Stefanie L. Casella <SLCasella@cityofportsmouth.com>; Nicholas J. Cracknell <njcracknell@cityofportsmouth.com>
Subject: Re: Quasi Judicial Capacity / Right to Know Law

Hi Beverly:

As suggested in your March 16, 2022 email on the subject matter, could you please review a draft email to the Planning Board below, and if compliant with the Quasi-Judicial Capacity Communication Guidelines and Right to Know laws, kindly forward to the Planning Board ?. This informational email focuses on current and future parking regulations in a generic manner that are meant to be applicable to the entire City.

Thank you

Jim Hewitt

Dear Chair Chellman and Planning Board members:

I am writing to provide you and the Planning Board with information that I hope will explain my impassioned response last Thursday upon learning the Planning Board approved the West End Yards project 95 parking spaces short of what Torrington Properties informed us is needed. (529 spaces approved on September 26, 2019, 624 spaces approved on March 17, 2022)

Attached are two parking demand studies that I believe will help the Planning Board better understand parking demand predictions at two similar sized apartment / condominium projects. The first study is for the 95 unit condominium project at Southgate Plaza approved in December, 2021 and the other is for a 110-unit apartment complex in Albany, NY approved in 2017.

1) Southgate Plaza, 95 Condos , (1 to 3 BRS, 1,200 SF average)

If you care not to decipher the margin notes, the main take away is that Torrington Properties, (the same developer for both Southgate Plaza and West End Yards) assumed all 95 proposed condo units and all existing 95 apartments would need 2.05 parking spaces per unit, no matter how large the units were or how many bedrooms they had. In other words, 390 spaces for 190 dwelling units.

2) 363 Ontario Street Apartments, Albany, NY (66 -1BR units, 44- 2 BR units)

Again, if you wish to skip the marginalia, the main take away is the information on page 5 of 6 of the parking demand study. The Institute of Transportation Engineers, (ITE, <https://www.ite.org/>), the nationally recognized experts that planners and engineers consult for parking demand guidance, use "dwelling units" as the variable to determine the number parking spaces needed for a multi-unit project. If further accuracy is needed, ITE then drills down into the number of bedrooms as the parking demand variable. Importantly, also please note nowhere does ITE use square footage of the dwelling unit as the variable to predict the number of parking spaces needed.

I remain concerned about projects previously approved with current parking standards that, based on the West End Yards experience, do not accurately reflect real world parking demand. Will these projects have sufficient room on their properties to build additional parking spaces as West End Yards did? If not, where will the cars park?

I also believe the Planning Board and Planning Staff should begin work immediately to update the current parking regulations to correct apparent parking standard errors. In that regard, the links below provide information about parking demand experts we may wish to hire to help us. We need to work together with all parties to develop parking demand standards as soon as we can to avoid having the Planning Board be placed in the awkward position of having to approve projects we know will not have enough parking. **(see staff comment above)**

[PARK_Plus_ParkingGen.pdf \(kimley-horn.com\)](#)

https://www.kimley-horn.com/wp-content/uploads/2017/02/PARK_Plus_ParkingGen.pdf

[ParkPlus_Brochure.pdf \(netdna-ssl.com\)](#)

https://178yg936h1pp19coc6scbyb1-wpengine.netdna-ssl.com/wp-content/uploads/2017/07/ParkPlus_Brochure.pdf

Regards,

Jim Hewitt

From: [JAH](#)
To: [Eggleton, Jeremy D.](#)
Subject: Fw: Planning Board Quasi-Judicial Standards
Date: Thursday, February 8, 2024 10:12:21 PM

----- Forwarded Message -----

From: JAH <samjakemax@aol.com>
To: rpsullivan@cityofportsmouth.com <rpsullivan@cityofportsmouth.com>; chellman@tndengineering.com <chellman@tndengineering.com>
Cc: jim@jimlee.com <jim@jimlee.com>; sgmorrell@cityofportsmouth.com <sgmorrell@cityofportsmouth.com>; tmccourt@cityofportsmouth.com <tmccourt@cityofportsmouth.com>; bmzendt@cityofportsmouth.com <bmzendt@cityofportsmouth.com>; sravell@cityofportsmouth.com <sravell@cityofportsmouth.com>; smwoodland@cityofportsmouth.com <smwoodland@cityofportsmouth.com>
Sent: Tuesday, October 25, 2022 at 04:48:09 PM EDT
Subject: Re: Planning Board Quasi-Judicial Standards

Bob and / or All:

It's been over four weeks since Atty. Sullivan first recommended that we meet and over two weeks since he handed off that decision to the Planning Director. I simply need an explanation as to why the Planning Department is allowed to introduce bias favoring every single applicant to a quasi-judicial, purportedly impartial land use board.

Again, I'd happily accept a written answer and spare everyone the inconvenience of a meeting. If the City does not intend to answer my question, tell me. Alternatively, continue to ignore my requests.

Thank you

Regards,

Jim Hewitt

-----Original Message-----

From: Robert P. Sullivan <rpsullivan@cityofportsmouth.com>
To: JAH <samjakemax@aol.com>; chellman@tndengineering.com <chellman@tndengineering.com>
Cc: akparrott@comcast.net <akparrott@comcast.net>; Susan G. Morrell <sgmorrell@cityofportsmouth.com>; Trevor McCourt <tmccourt@cityofportsmouth.com>; Beverly M. Zendt <bmzendt@cityofportsmouth.com>; Synthia Ravell <sravell@cityofportsmouth.com>; Suzanne M. Woodland <smwoodland@cityofportsmouth.com>
Sent: Tue, Oct 11, 2022 4:10 pm
Subject: RE: Planning Board Quasi-Judicial Standards

Jim,

I will check with the Planning Director and see how she wants this matter handled.

RPS

From: JAH [mailto:samjakemax@aol.com]
Sent: Thursday, October 6, 2022 8:50 PM
To: Robert P. Sullivan <rpsullivan@cityofportsmouth.com>; chellman@tndengineering.com

Cc: akparrott@comcast.net; Susan G. Morrell <sgmorrell@cityofportsmouth.com>; Trevor McCourt <tmccourt@cityofportsmouth.com>; Beverly M. Zendt <bmzendt@cityofportsmouth.com>; Synthia Ravell <sravell@cityofportsmouth.com>; Suzanne M. Woodland <smwoodland@cityofportsmouth.com>
Subject: Planning Board Quasi-Judicial Standards

Bob and / or All:

I'm just following up on your suggestion from two weeks ago that we meet and to confirm the City still wishes to discuss the importance of eliminating bias in Planning Board proceedings. I can certainly appreciate the difficulties in coordinating schedules of others, so I would cheerfully accept a written answer to my September 21, 2022 question below, as nuanced and involved as it may be.

Regards,

Jim Hewitt

-----Original Message-----

From: Robert P. Sullivan <rpsullivan@cityofportsmouth.com>
To: JAH <samjakemax@aol.com>; chellman@tndengineering.com <chellman@tndengineering.com>
Cc: akparrott@comcast.net <akparrott@comcast.net>; Susan G. Morrell <sgmorrell@cityofportsmouth.com>; Trevor McCourt <tmccourt@cityofportsmouth.com>; Beverly M. Zendt <bmzendt@cityofportsmouth.com>; Synthia Ravell <sravell@cityofportsmouth.com>
Sent: Fri, Sep 30, 2022 9:56 am
Subject: RE: Quasi Judicial Capacity / Right to Know Law

Jim,

The proposed discussion would be helpful to all. However, there has been some difficulty in coordinating the schedules of others. I am pretty much available at any time.

RPS

From: JAH [<mailto:samjakemax@aol.com>]
Sent: Thursday, September 29, 2022 7:08 PM
To: Robert P. Sullivan <rpsullivan@cityofportsmouth.com>; chellman@tndengineering.com
Cc: akparrott@comcast.net; Susan G. Morrell <sgmorrell@cityofportsmouth.com>; Trevor McCourt <tmccourt@cityofportsmouth.com>; Beverly M. Zendt <bmzendt@cityofportsmouth.com>; Synthia Ravell <sravell@cityofportsmouth.com>
Subject: Re: Quasi Judicial Capacity / Right to Know Law

Bob:

It's been over a week since you first suggested that we meet. While I can appreciate you are transitioning, I was just wondering if the City still has any interest in discussing who can, and who cannot, introduce bias into Planning Board proceedings.

Regards,

Jim Hewitt

-----Original Message-----

From: Robert P. Sullivan <rpsullivan@cityofportsmouth.com>
To: JAH <samjakemax@aol.com>; Rick Chellman <chellman@tndengineering.com>
Cc: akparrott@comcast.net <akparrott@comcast.net>; Susan G. Morrell <sgmorrell@cityofportsmouth.com>; Trevor McCourt <tmccourt@cityofportsmouth.com>; Beverly M. Zendt <bmzendt@cityofportsmouth.com>; Synthia Ravell <sravell@cityofportsmouth.com>
Sent: Tue, Sep 27, 2022 8:56 am
Subject: RE: Quasi Judicial Capacity / Right to Know Law

All,

I am forbidden by law to be “employed” by the City during the month of October per Retirement System rules. However, I will come back on my own time to deal with this matter. If Synthia tells me where and when to show up, I will be there.

RPS

Robert P. Sullivan, City Attorney
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

(603) 610-7204 (Direct Dial)
(603) 427-1577 (Fax)

rpsullivan@cityofportsmouth.com

City Hall Hours: Monday, 8:00 a.m. - 6:00 p.m.; Tuesday - Thursday, 8:00 a.m. - 4:30 p.m. and Friday, 8:00 a.m. - 1:00 p.m. (NOTE: If a holiday falls on a Monday, City Hall will be open until 6:00 p.m. on Tuesday).

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From: JAH [<mailto:samjakemax@aol.com>]
Sent: Friday, September 23, 2022 1:03 PM
To: Rick Chellman <chellman@tndengineering.com>
Cc: Robert P. Sullivan <rpsullivan@cityofportsmouth.com>; akparrott@comcast.net; Susan G. Morrell <sgmorrell@cityofportsmouth.com>; Trevor McCourt <tmccourt@cityofportsmouth.com>; Beverly M. Zendt <bmzendt@cityofportsmouth.com>
Subject: Re: Quasi Judicial Capacity / Right to Know Law

Sorry, the 28th is now out for me.

JAH

On Friday, September 23, 2022 at 08:39:01 AM EDT, Rick Chellman <chellman@tndengineering.com> wrote:

Monday works for me- the only other late afternoon I have open next week is Thursday.

Sent from my iPhone

On Sep 23, 2022, at 7:49 AM, JAH <samjakemax@aol.com> wrote:

Yes, Monday afternoon, Sept 26 at 4 pm works for me. Late afternoon on other days next week work also

JAH

On Friday, September 23, 2022 at 07:08:51 AM EDT, Rick Chellman <chellman@tndengineering.com> wrote:

I have communicated with Jim and we feel a face-to-face meeting will be the best way to at least begin this important discussion. That may or may not lead into a larger discussion as Bob has suggested below.

Assuming we are looking at next week, Friday is out for me and other days I can mostly be flexible. I assume Jim's schedule may be the most difficult to work around, so Jim if you can let us know if during the day is even possible for you or not. Since the City is open late on Monday, that might be an option?

I look forward to hearing from everyone and having this discussion.

[Rick Chellman, P.E., L.L.S.](#)

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On Sep 22, 2022, at 4:39 PM, Beverly M. Zendt <bmzendt@cityofportsmouth.com> wrote:

I will set up a meeting –Jim – do you prefer Zoom?

Best Regards,

Beverly Mesa-Zendt AICP
Director | Planning Department
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

<image004.png> **(603) 610-7296**

<image005.png> Bmz@cityofportsmouth.com

<image006.png> [Planning Department | City of Portsmouth](#)

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mail account is a public record. Accordingly, this e-mail, in whole or in part, may be subject to disclosure pursuant to RSA 91-A, regardless of any claim of confidentiality or privilege asserted by an external party.

From: Robert P. Sullivan
Sent: Thursday, September 22, 2022 4:26 PM
To: JAH <samjakemax@aol.com>
Cc: chellman@tndengineering.com; akparrott@comcast.net; Susan G. Morrell <sgmorrell@cityofportsmouth.com>; Trevor McCourt <tmccourt@cityofportsmouth.com>; Beverly M. Zendt <bmzendt@cityofportsmouth.com>
Subject: RE: Quasi Judicial Capacity / Right to Know Law

Jim,

Your question is more involved and my answer would be more nuanced than can be handled by email. I suggest a face to face discussion. The discussion should include Beverly Zendt. Beyond her, it could be between you and I; the Chair you and I or the full Board. It might even be desirable to do that in public session on television as an educational experience for all. However, if no one else has a strong preference, I am suggesting the you, Beverly and I talk.

RPS

Robert P. Sullivan, City Attorney
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

(603) 610-7204 (Direct Dial)
(603) 427-1577 (Fax)

rpsullivan@cityofportsmouth.com

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From: JAH [<mailto:samjakemax@aol.com>]
Sent: Wednesday, September 21, 2022 7:54 PM
To: Robert P. Sullivan <rpsullivan@cityofportsmouth.com>
Cc: chellman@tndengineering.com; akparrott@comcast.net; Trevor McCourt <tmccourt@cityofportsmouth.com>; Beverly M. Zendt

<bmzendt@cityofportsmouth.com>

Subject: Re: Quasi Judicial Capacity / Right to Know Law

Bob:

I understand from your March 16 email below that members of land use boards that operate under the quasi-judicial capacity are to formulate their decisions based on factual information provided by the following three sources only:

- 1) The applicant / proponents
- 2) Aggrieved abutters / opponents
- 3) Plans and other documents from Planning Department staff

I understand the manner in which information is provided to land use boards is analogous to how a juror receives evidence in a court of law. Opinions or "hearsay" that would introduce bias are prohibited and are to be discounted.

Given the above, I am perplexed as to why the Planning Department is allowed to introduce bias to Planning Board with its recommendation to approve every project on the agenda. How can a Planning Board member evaluate the merits of a project impartially when the Planning Department recommends that every project be approved? I also understand the Planning Department does not provide the Zoning Board of Adjustment with recommendations.

Can you explain why the Planning Department is allowed to introduce bias by providing its opinion (approve everything) to the Planning Board and not to the Zoning Board of Adjustment?

Thank you

Regards,

Jim Hewitt

----- Forwarded Message -----

From: Robert P. Sullivan <rpsullivan@cityofportsmouth.com>

To: samjakemax@aol.com <samjakemax@aol.com>

Cc: rick chellman <chellman@tndengineering.com>; Karen Conard <kconard@cityofportsmouth.com>; Beverly M. Zendt <bmzendt@cityofportsmouth.com>

Sent: Wednesday, March 16, 2022 at 10:16:49 AM EDT

Subject: Quasi Judicial Capacity / Right to Know Law

Jim,

A Planning Board member has commented on the fact that you have apparently recently sent an email to the full Board with respect to a matter in which the Board will be receiving evidence in its quasi judicial capacity. The issues which this raises are as follows:

1. When sitting in a quasi judicial capacity the Planning Board should only be receiving evidence from three sources. The Applicant. Opponents of the application. The Planning staff.
2. Evidence coming into the Planning Board in that capacity should only come through or at public proceedings.

3. The RTK prohibits the sequential communication which would occur if even one Planning Board member responded to an email from anyone addressed to the full Board.

These concerns arise from either the concept of quasi judicial in which Planning Board members sit as judges, or from RSA 91-A the Right to Know law (RTK).

As your experience on the Planning Board increases, it is not unlikely that further questions might arise. I am available at your convenience to respond to them.

RPS

Robert P. Sullivan, City Attorney
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

(603) 610-7204 (Direct Dial)
(603) 427-1577 (Fax)

rpsullivan@cityofportsmouth.com

City Hall Hours: Monday, 8:00 a.m. - 6:00 p.m.; Tuesday - Thursday, 8:00 a.m. - 4:30 p.m. and Friday, 8:00 a.m. - 1:00 p.m. (NOTE: If a holiday falls on a Monday, City Hall will be open until 6:00 p.m. on Tuesday).

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**CITY OF PORTSMOUTH, NEW HAMPSHIRE
PLANNING BOARD
RULES AND PROCEDURES**



ADOPTED FOLLOWING A PUBLIC HEARING: September 28, 2000

Last Amended by the Planning Board: January 28, 2024

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PLANNING BOARD RULES AND PROCEDURES

A. Adoption and Purpose.

These rules of procedure have been adopted at a regular meeting of the planning board on the most recent date noted on the cover page. Any changes to these rules of procedure shall be adopted at a regular meeting of the board by majority vote and shall be placed on file with the City clerk for public inspection. (NH RSA 676:1)

These Rules and Procedures have also been adopted by the Board as an aid for better understanding the responsibilities of the Planning Board and its methods of conducting business.¹

B. Board Membership and Officers.

1. **Membership:** The Planning Board shall consist of nine voting members and two alternates. Board Membership, selection, qualification, term, removal of Members and filling of vacancies shall conform to the City Charter and applicable City Ordinances and Regulations.²
2. **Officers:** Board members shall elect annually from its membership in January of each year a Chair and Vice-Chair. The votes shall be public votes. The concurring votes of five members in attendance at a meeting shall be necessary to elect each Officer.
3. **Duties of the Chair:** The Chair shall:
 - a) Preside at all meetings.
 - b) Assist in the preparation of the agenda for each meeting in consultation with City staff,
 - c) Sign Board letters of decision, and Board approved plans for recording at the registry of deeds.
 - d) Have authority to sign agreements with consultants to the Planning Board only after: 1) a majority vote by the Planning Board specifically granting such authority; and, 2) the approval of the City Council to expend funds for a consultant.
 - e) Appoint alternate Board Members to sit in the absence of regular Board members.
 - f) Have complete voting privileges on all matters, including the election of officers.

¹ NH RSA 676:1

² The Board composition is set forth in City Ordinance, Article I, Chapter I, Section 1.303.

- g) Report any discussion or action relative to the Board that has taken place since the last meeting.
 - h) Receive, review and refer appropriate questions from the Board members to staff.
 - i) Represent the Planning Board outside Planning Board meetings, including before the City Council
4. Duties of the Vice-Chair: The Vice-Chair shall assist the Chair and, in the absence of the Chair, shall have all the powers and duties of the Chair.
5. In the absence of the Chair and Vice-Chair, Board members present and constituting a quorum shall appoint a member of their group as Acting-Chair for purposes of conducting business at that meeting.
6. Duties of Alternate Board Members: An alternate shall sit in the absence, for whatever reason, of a Board Member and shall have all responsibilities becoming of a Board Member in that instance. Additionally, it is the Board's practice to include Alternate members in all Board proceedings so that they may be available to participate as may be required. When serving as an Alternate, the Alternate Member may participate in Board deliberations, once a motion is formally placed on the table. Alternate Members shall only have voting authority when replacing a Board member.
7. Duties of the Secretary: The Secretary³ shall be the Director of Planning and Sustainability, or their designee. The Secretary shall cause to be kept a complete and accurate record of proceedings of all meetings; record the roll; conduct Board correspondence and fulfill such duties as the Chair and the Board may request. Pursuant to City Ordinances, the Secretary shall act as advisor to the Board on matters coming before it. In this capacity, the Secretary shall work on materials⁴ that will further the City's Master Plan and its Master Planning Process. These materials include such other reports, studies or other topical items that come before the Board and which are deemed to be appropriate to be so included in the Master Planning Process.

C. Meetings – Controlling Length of, Types of and Scheduling.

At the start of a Regular Meeting, if an Agenda has not been previously divided by the Chair, any Board Member may request a polling of the membership to determine whether the Agenda should immediately be divided at some designated

³ The Director of Planning and Sustainability, or designee, shall act as the Board's Secretary but shall be without vote.

⁴ Including but not limited to the following: studies, reports, plans, maps and similar work products.

point. On an affirmative vote, the Board shall then act to ascertain if a consensus exists to divide the Agenda in order that the public may be informed, before the meeting formally starts.

If a decision is not made to divide an Agenda, and the Board's business continues to 10:00 PM, the Board shall immediately determine by majority vote, whether to remain working past 10:30 PM and complete the Agenda or to continue any business, which has been not yet been considered before 10:30 PM to a date and time certain (usually, the next Regular Meeting of the Board). One exception to this rule shall be to allow the Board to consider any time sensitive materials as which may be identified by the Chair.

1. Notice of Regular Meetings: Regular Meetings shall be held monthly, the date and time to be selected by majority vote of the Board.⁵ The Board's Secretary shall make notice of such meetings by sending out a written notice to all Members at least three days before the meeting indicating the time and the place of the meeting.
2. Special Meetings: These may be called by the Chair, or the Chair at the request of three or more Members, or by the Secretary and the Chair or Vice Chair. The Chair shall select the date, time and place of the Special Meeting. The Secretary shall give at least twenty-four hour written notice of the meeting.
3. The Secretary shall provide a meeting Agenda and a briefing on that agenda to each Board member.⁶ The Secretary shall make these materials available for public inspection in the Planning Department Office following delivery to the Board.

D. General Order of Proceedings.

At each Regular Meeting the following Agenda format shall be followed; unless, otherwise modified by the Board.

1. Approval of Minutes.
2. Unfinished Business.
3. Public Hearings.
4. New Business.
5. City and Board Business.

⁵ Usually, the Board's regular meeting is on the third Thursday of the month. If another meeting is necessary to complete the Board's business, it is usually scheduled either for the next regular Board meeting or for some other day (usually the fourth Thursday of the month).

⁶ Agenda items, other than applications requiring a Public Hearing, should be submitted to the Planning Department at least five days before the meeting.

6. Communications and Other Business.
7. Adjournment.

E. Quorum Requirements.

1. Five Board members must be physically present in attendance at a meeting (except in case of emergency) to form a quorum. No Board member shall leave a meeting without the permission of the Chair if such presence is necessary to maintain a quorum.

Remote participation: Where in-person attendance is not reasonably practical for a Board member who requests to participate remotely, that participation may be allowed with a finding of necessity and a concurring vote of a majority of members physically present. Otherwise, a member's absence shall be covered by an alternate appointed to sit by the Chair.⁷

F. Brief Overview of the Statutory Duties of the Planning Board.

1. To prepare and amend a Master Plan for the City and as may be appropriate for areas lying within the City.⁸ In this capacity the Board has the "responsibility" for promoting the public's "interest in" and "understanding of" the Master Plan (RSA 674:1 (a)).
2. The Board has the authority to make any investigations, maps and reports and recommendations "which relate to the planning and development of the municipality (RSA 674:1 (b))."
3. To report and formulate recommendations to appropriate public officials and agencies programs for development of the City, programs for the "erection of public structures" and programs for municipal improvements. In this capacity the Board shall consult with appropriate officials, the public and provide financing recommendations.⁹
4. To "attend municipal planning conferences or meetings, or hearings upon pending municipal planning legislation."
5. On the performance of these duties, Board members may make site inspections, examinations and surveys "as are reasonably necessary" to complete these responsibilities.
6. To make recommendations to the legislative body (City Council) of amendments of the Zoning Ordinance or Zoning Map.

⁷ NH RSA 91-A:2,III

⁸ The Master Plan initiates the Board's process of preparing/adopting conforming Bylaws. These consist of the following: Zoning Ordinance and Zoning Map; Subdivision Rules and Regulations; Site Review Regulations; an annual Capital Improvement Plan; and an Official Map. (In Portsmouth, the Official Map is usually deemed to be the Zoning Map.)

⁹ The Board's annual Capital Improvement Plan addresses this responsibility.

7. The City Council may grant to the Board such powers “as may be necessary to enable it to fulfill its function, promote municipal planning, or carry out the purposes of this Title” (Title LXIV, Planning and Zoning).¹⁰
8. Subdivisions. To “approve or disapprove, in its discretion, plats and to approve or disapprove plans showing the extent to which and the manner in which streets within subdivisions shall be graded and improved and to which streets, water, sewer and other utility mains, piping, connections or other facilities within subdivisions shall be installed.”¹¹
9. Site Plan Review. To “review and approve or disapprove site plans for the development or change or expansion of use of tracts for nonresidential uses or for multi-family dwelling units ... whether or not such development includes a subdivision or resubdivision of the site”.¹²
10. To exercise any other authority or responsibility contemplated by State or local law.
11. Pursuant to the direction of the City Council, to represent the City before the Rockingham Regional Planning Commission.

G. General Procedures.

1. The Board intends to review, consider and act on completed applications. To accomplish this intention, the Board’s application process and calendar is readily available to the public.¹³ The Board’s regulations specify what constitutes a completed application sufficient for the Board to invoke jurisdiction. Applicants are encouraged to make the original application as complete as possible and to avoid submitting new materials.¹⁴ City staff Memoranda shall be considered City work products and shall not constitute new information.
2. Each application shall be considered and acted upon immediately following the close of its presentation and Public Hearing.
3. A motion shall be carried by a majority of Members present and voting in the affirmative unless other rules should require a greater number voting in the majority.¹⁵

¹⁰ NH RSA 674:1

¹¹ NH RSA 674:35

¹² NH RSA 674:43

¹³ See City’s Web page located at: <https://www.cityofportsmouth.com/>

¹⁴ See appropriate time requirements contained in the Subdivision Regulations and Site Review Criteria.

¹⁵ For example, the waiving of a requirement in the Board’s Subdivision Rules and Regulations require a two-thirds majority vote of the Board (at least six votes in support).

4. When a question is put to the Board, each member present shall vote; except, if such vote would be excluded by a conflict of interest as defined by State Statute and City ordinance.
5. Roll call votes shall be taken at the request of the Chair, a Board member, or the applicant.
6. With these Rules and Procedures, the Board shall conduct its business generally in accord with Roberts Rules of Order; except, when these rules or other laws would dictate otherwise.
7. Planning Board members shall advise the Membership of any contact with an applicant or a representative of the applicant before the initiation of an action on that matter. If a Board member has any questions concerning a contact, these should be discussed immediately with the Chair.
8. Procedure for Public Hearings
 - a) Public hearings of the Board shall follow the following procedures:
 - (1) Presentation by the proponent
 - (2) Questions by Planning Board members
 - (3) Public comment limited to comments to, for or against the application or proposal:
 - (a) Anyone providing public comment shall provide their name and address for the record.
 - (b) Anyone wishing to speak during public comment must speak during the first round and only first round speakers may speak in subsequent rounds.
 - (c) All comment shall be directed to the Chair
 - (d) First round: maximum of 3 minutes per person; oral comment only
 - (e) Second round: maximum of 5 minutes per person; may include presentations
 - (f) Third round: maximum of 5 minutes per person; oral comment only. This time may, in the Board's discretion, be extended at the request of the speaker and the approval of the Board.
 - (4) Chair closes public hearing

- (5) Discussion on Findings of Fact
- (6) Motion(s) on Findings of Fact
- (7) Discussion on Motion(s) on Findings of Fact
- (8) Vote on Findings of Fact
- (9) Motion(s) on the application or proposal
- (10) Discussion on the motion(s)
 - (a) No further public comment
 - (b) No addition by the applicant or proponent unless in answer to a question from the Board
- (11) Vote on the motion(s)

- b) If the public hearing is continued to a subsequent meeting of the Board, the procedure outlined above shall also be followed at the continued hearing.

9. Electronic or Multimedia Presentations

- a) The Planning Board encourages (and, in some cases, requires) applicants to provide their materials in electronic format (PDF). The purpose of this is twofold: to publish application materials on the Planning Department's website for public review, and to project the application materials on a screen in the hearing room so that it can be more easily seen by Board members and the public. Applicants for subdivision or site plan approval must submit their materials at the same time as their paper applications.
- b) In addition, applicants are allowed to submit modified plans as PowerPoint, PDF or multimedia presentations in a format that is easier to display or view (for example, colored site plans and renderings). Any such presentations must be submitted to the Planning Department by the close of business on the day preceding the public hearing.
- c) Members of the public may use PowerPoint, PDF or multimedia presentations in a public hearing during the second round of public comment, subject to the 5-minute time limit specified above. Any such presentation must be submitted to the Planning Department by the close of business on the day preceding the public hearing, as is required of the applicant.

- d) Other presentation formats may be permitted during a public hearing subject to the prior approval by the Director of Planning and Sustainability.

H. General Practice and Guidelines.

1. Board members shall not text each other during public hearings or board deliberations. All deliberations must be done in public.
2. When, for purposes of conducting a Public Hearing, Board attendance at the meeting is five members, the applicant shall be afforded the opportunity to request that the application or item be rescheduled to the next available meeting. Any such rescheduling shall not count against any time standards requiring the Board to act.
3. Board Decisions and Motions:
 - a) The Board shall decide to either Approve, Conditionally Approve or Disapprove an application pursuant to State Law. Board decisions are not final until one of these decisions has been reached.
 - b) A motion that receives a tie vote of the Board means the motion fails to pass.
 - c) A motion shall receive a majority vote of the Board members present to pass.
 - d) The Board shall issue a written Letter of Decision to the Applicant, including Findings of Fact conforming with the Board's decision and signed by the Chair pursuant to State Law.

I. Definitions.

1. **Bylaw:** The term when used in reference to legislative action taken by a city, town, county or village district shall have the same meaning as an ordinance and shall be subject to the same procedures for enactment.¹⁶
2. **Conflict of Interest:** Disqualification of Member. No member of the Planning Board "shall participate in deciding or shall sit upon the hearing of any question which the board is to decide in a judicial capacity if that member has a direct personal or pecuniary interest in the outcome which differs from the interest of other citizens, or if that member would be disqualified for any cause to act as a juror upon the trial of the same matter

¹⁶ NH RSA 21:45

in any action at law ... When uncertainty arises as to the application (of the above) to a board member in particular circumstances, the board shall, upon the request of that member or another member of the board, vote on the question of whether that member should be disqualified. Any such request and vote shall be advisory and nonbinding, and may not be requested by persons other than board members, except as provided by local ordinance or by a procedural rule ..."¹⁷

3. **Ex Officio Member:** Any member who holds office by virtue of an official position and who shall exercise all the powers of regular members of a local land use board.¹⁸
4. **Local Governing Body:** The City Council .¹⁹

¹⁷ NH RSA 673:14

¹⁸ NH RSA 672:5

¹⁹ NH RSA 672:6