

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

**CONFERENCE ROOM A
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

2:00 PM

April 4, 2023

AGENDA

I. APPROVAL OF MINUTES

- A.** Approval of minutes from the March 7, 2023 Site Plan Review Technical Advisory Committee Meeting.

II. OLD BUSINESS

- A. POSTPONED** The application of **Banfield Realty, LLC, (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. Said property is shown on Assessor Map 266 Lot 7 and lies within the Industrial (I) District. (LU-20-259) **POSTPONED**
- B.** The request of and **Thomas E, Marybeth B, James B, and Meegan C. Reis (Owners)**, for property located at **305 Peverly Hill Road** requesting redevelopment of the property including the addition of two new dwelling units for a total of three units with associated site improvements. Said property is shown on Assessor Map 255 Lot 5 and lies within the Single Residence A (SRA), Single Residence B (SRB) and Natural Resources Protection (NRP) Districts. (LU-23-18 and LU-22-25)

https://us06web.zoom.us/webinar/register/WN_ed1Kf23yQJG32-UTimM61g

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

**CONFERENCE ROOM A
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

2:00 PM

March 7, 2023

MINUTES

MEMBERS PRESENT:

Peter Stith, Chairperson, Principal Planner; David Desfosses, Construction Technician Supervisor; Patrick Howe, Deputy Fire Chief; Shanti Wolph, Chief Building Inspector; Peter Britz, Planning and Sustainability Director; Zachary Cronin, Assistant City Engineer; Eric Eby, Parking and Transportation Engineer; Michael Maloney, Patrol Division Captain

MEMBERS ABSENT:

Nicholas Cracknell, Principal Planner

ADDITIONAL

STAFF PRESENT:

Kate Homet, Associate Environmental Planner

*Items in brackets [] denote timestamp of recording

[3:27] Meeting began at 2:01 pm

I. APPROVAL OF MINUTES

- A. Approval of minutes from the February 7, 2023 Site Plan Review Technical Advisory Committee Meeting.

[3:40] D. Desfosses made a motion to approve the minutes from February as presented. P. Britz seconded the motion. The motion passed unanimously.

II. OLD BUSINESS

- A. **REQUEST TO POSTPONE** The application of **Banfield Realty, LLC, (Owner)**, for property located at **375 Banfield Road** requesting Site Plan review approval to demolish two existing commercial buildings and an existing shed and construct a 75,000 s.f. industrial warehouse building with 75 parking spaces as well as associated paving, stormwater management, lighting, utilities and landscaping. Said property is shown on

Assessor Map 266 Lot 7 and lies within the Industrial (I) District. (LU-20-259)

REQUEST TO POSTPONE

[3:50] Chairman Stith announced that the applicant for 375 Banfield had requested to postpone.

B. The request of **Pease Development Authority (Owner)**, and **Aviation Avenue Group, LLC (Applicant)** for property located at **80 Rochester Avenue** Site Plan approval for the construction of a ±209,750 SF advanced manufacturing building including ±18,145 SF of office space, two (2) parking areas, two (2) loading dock areas, minor realignment of a portion of Rochester Avenue, and associated site improvements consisting of underground utilities, landscaping, lighting, and a stormwater management system. Said property is shown on Assessor Map 308 Lot 1 and lies within the Pease Industrial District (PI). (LU-22-210)

C. The request of **Pease Development Authority (Owner)**, and **Aviation Avenue Group, LLC (Applicant)**, for property located at **80 Rochester Avenue** requesting Subdivision Approval under Chapter 500 of the Pease Land Use Controls, Subdivision Regulations, to subdivide 10.9 acres (474,333 square feet) to create a lease lot area for the applicant. Said property is shown on Assessor Map 308 Lot 1 and lies within the Pease Industrial District (PI). (LU-22-210)

[3:58] Chairman Stith introduced Old Business items B and C together. Chairman Stith noted that the description for this application in the agenda for C was incorrect – it was no longer a lot line revision but rather a subdivision request.

SPEAKING TO THE APPLICATION

[5:37] Patrick Crimmons of Tighe and Bond along with Joe Coheegan from Tide Mark representing the ownership team. Mr. Crimmons noted that all of the previous comments had been addressed and went on to address the one remaining comment from the day before.

1. With the anticipated low number of pedestrians to be generated by the project, together with the data from the traffic counts at other locations showing minimal pedestrian activity, marked crosswalks are not warranted. Marked crosswalks are not required for pedestrians to legally cross the street, and they can provide a false sense of security, as pedestrians may assume that traffic will yield or stop due to the presence of a crosswalk. When pedestrian volumes are never more than 20 in an hour, traffic often does not yield as drivers do not notice the pedestrians. Rather than install items that will need to be maintained whether or not they are used, I would recommend conducting observations after the site is fully occupied to determine the actual level of pedestrian activity to determine if crosswalks and additional safety measures are needed. Pedestrians tend to cross whether or not there is a crosswalk. Providing a crosswalk does not tend to induce pedestrian activity where little exists.

Mr. Crimmons responded to this comment by agreeing to the recommendation and overall comment. They have pre-reviewed this with the Pease Development Authority (PDA) which is fine with accepting it and they will have it added as a stipulation.

[7:42] E. Eby noted that they could add in a pedestrian crossing for the multi-use trail at the end of Sherburne Road if they would like to since it is not under City jurisdiction but rather PDA jurisdiction.

PUBLIC HEARING

[8:30] Chairman Stith opened the public hearing. No one spoke. The hearing was closed.

DISCUSSION AND DECISION OF THE BOARD

[8:46] Chairman Stith noted that this application is still before the Zoning Board of Adjustment (ZBA) and if it were to move forward at this stage there would need to be a stipulation for getting ZBA approval.

[9:05] P. Howe made a motion to approve this application with the following conditions:

1. Approval is received from the Zoning Board of Adjustment.
2. Applicant monitor pedestrian safety for the first six months or up to a year after full occupancy and report back to City staff. Applicant will coordinate with DPW and City staff to set up and schedule monitoring.
3. All previous comments be addressed.

[9:20] D. Desfosses seconded the motion. The motion passed unanimously.

III. NEW BUSINESS

- A. The request of and **Thomas E, Marybeth B, James B, and Meegan C. Reis (Owners)**, for property located at **305 Peverly Hill Road** requesting redevelopment of the property including the addition of two new dwelling units for a total of three units with associated site improvements. Said property is shown on Assessor Map 255 Lot 5 and lies within the Single Residence A (SRA), Single Residence B (SRB) and Natural Resources Protection (NRP) Districts. (LU-23-18 and LU-22-251)

[11:11] Chairman Stith introduced this application.

SPEAKING TO THE APPLICATION

[12:20] Erik Sari of Altus Engineering, Jim Reis and Meegan Reis, property owners, came to present this application. Mr. Sari went on to explain the property, including the 48 acre size of the property, the existing conservation easement area, an existing house and barn and the current

use as a horse farm. This project had previously gone to the ZBA to allow for an attached dwelling to the existing house along with a new freestanding three-bedroom house. Mr. Sari inquired what approval would be needed for the approval of a septic system by the City.

[15:43] S. Wolph gave his own experience and knowledge of septic approvals for smaller towns which usually includes a third party or someone from the State to approve of the test pits.

[16:55] D. Desfosses mentioned that he would like to be on site for the test pits and would like to be notified a few days in advance.

[17:05] Mr. Sari proceeded to go through the staff comments:

1. Septic System: DES approval for construction prior to building permit issuance, and approval for operation prior to certificate of occupancy.

Previously addressed.

2. Please confirm the existing septic can support the addition of the 2nd unit.

Previously addressed.

3. Please confirm the erosion control measures are temporary and will be removed after construction is complete.

Mr. Sari confirmed that the measures were all temporary and would be removed after construction and stabilization.

4. Please provide more information on the work in the conservation easement area and how it is consistent with the permitted uses defined in the conservation restriction deed.

The only work proposed in the easement area is work on the water line as well as the overhead electric line which appears to be allowed within the easement.

5. Although a landscaping plan is not necessary, please indicate which trees are to be removed and which trees are to remain.

The trees were not picked up in the survey but a row of trees will go away with one large tree remaining. No trees are being removed in the easement area. A conversation continued on the impacts to the easement area and P. Britz recommended that they inform the State of their plans due to the nature of the State Land and Community Heritage Investment Program (LCHIP) easement.

[19:42] P. Howe asked about the business side of the farm and if it impacts the existing sewer services. Mr. Hett mentioned that the farm uses port-a-potties for with weekly pick ups for the business so there is no extra impact to the sewer.

[20:31] P. Howe asked if they had looked into a sprinkler system for the new attached building setup. He recommended that they look into a detached system and also requested that they address fire access on the plans.

[23:41] P. Britz asked for more details on the silt fence and potential grading changes. Mr. Sari responded that there will be no elevation changes and everything will remain at grade.

[24:15] S. Wolph asked for clarification on how the new addition will attach and noted that fire separation will be needed in between the two units which their architect will address. Mr. Hett and Mr. Sari agreed.

[25:05] M. Maloney asked the applicant how they planned to differentiate the different units with an address. Mr. Hett responded that they could label with A, B and C.

P. Howe and S. Wolph responded that in order to be consistent with the E911 handbook they will have to make the driveway a new street with a new name which could later have to go to the Planning Board and be accepted as a new road.

[27:56] Mr. Sari asked D. Desfosses if he was satisfied with the septic situation. D. Desfosses responded that he believed that they would need to put in a larger system or enhance the current system and add an additional one next to the new detached building proposed. S. Wolph added that he believed it would make more sense to have two separate facilities as well.

PUBLIC HEARING

[29:16] Chairman Stith opened the public hearing. No one spoke. The hearing was closed.

DISCUSSION AND DECISION OF THE BOARD

[30:35] P. Howe made a motion to continue this application to the April meeting where the applicant will provide a revised plan showing the utilities and fire access. P. Britz seconded the motion to continue. The motion passed unanimously.

IV. OTHER BUSINESS

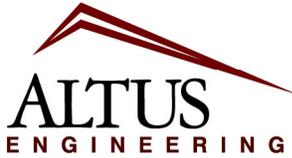
V. ADJOURNMENT

[31:06] Z. Cronin made a motion to adjourn the meeting. P. Howe seconded the motion.

The meeting adjourned at 2:29 pm.

Respectfully submitted,

Kate E. Homet
Secretary for the Technical Advisory Committee



**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

March 22, 2023

Peter Britz, Planning Director
City of Portsmouth
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: TAC Resubmission
Reis Farm
Assessor's Map 255, Lot 5
305 Peverly Hill Road
Altus Project No. 5411**

Dear Peter,

Attached please find revised plans for the above referenced project. Changes include:

- Rerouting of the proposed water line replacement and updating the pipe to CTS.
- Revisions to the septic system layout.
- The addition of pipe sleeves where the septic lines cross truck routes.
- Two "no truck access signs" to restrict trucks from the northerly driveway.
- Unit numbers per DPW and corresponding mailboxes on Peverly Hill Road.
- A turning movement analysis plan for fire truck access.
- Inclusion of plans for the ADU which include details on fire prevention.
- Removal of the existing connector between the ADU and barn.
- Various minor "housekeeping" items.

Please call me if you have any questions or need any additional information.

Sincerely,

ALTUS ENGINEERING

A handwritten signature in red ink, appearing to read "EBS: [unclear]", is written over a faint, light-colored rectangular stamp or watermark.

Erik B. Saari
Vice President

ebs/5411.01-TAC-CovLtr-032223

Enclosures

eCopy: Jim Reis

The Reis Farm

305 Peverly Hill Road
Portsmouth, NH 03801

Assessor's Parcel 255, Lot 5

ISSUED FOR TAC

Plan Issue Date:

March 22, 2023

Owner/Applicant:

THOMAS E., MARYBETH B,
JAMES B. AND MEEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
(603) 218-1910

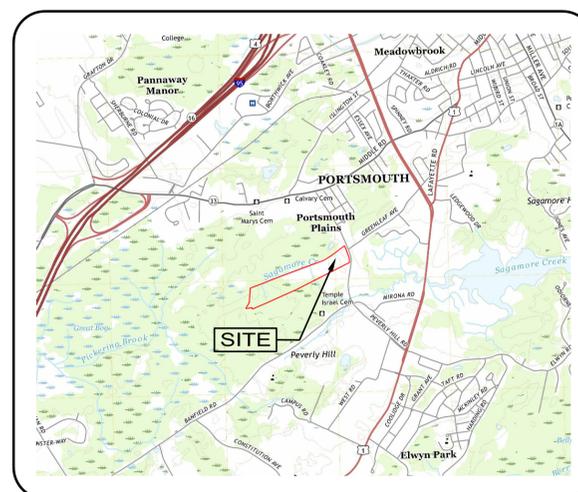
Civil Engineer:



Surveyor:

Ambit Engineering, Inc.

CIVIL ENGINEERS & LAND SURVEYORS
200 Griffin Road, Unit 3
Portsmouth, New Hampshire 03801
Tel. 603-430-9282



LOCUS

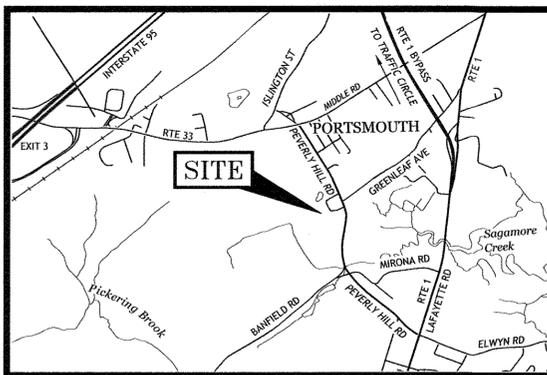
NOT TO SCALE

Sheet Index

Title	Sheet No.:	Rev.	Date
Existing Conditions Plan	C-1	0	01/06/23
Site and Utilities Plan	C-2	1	03/22/23
Site and Utilities Plan	C-3	1	03/22/23
Turning Movement Analysis	C-4	0	03/22/23
Detail Sheet	C-5	1	03/22/23
Front Elevation	-	0	12/13/22
Right Elevation	-	0	12/13/22
Rear Elevation	-	0	12/13/22
Left Elevation	-	0	12/13/22
Proposed & Exist. 1st Floor Plans	A1	1	03/20/23
Proposed & Exist. 2nd Floor Plans	A2	1	03/20/23
Proposed & Exist. Lower Level	A3	1	03/20/23
Proposed & Existing Front Elev.	A4	1	03/20/23
Proposed & Existing Rear Elev.	A5	1	03/20/23

Permit Summary

	Submitted	Received
Portsmouth ZBA Approval	01/10/23	01/24/23
Portsmouth Site Plan Approval	02/21/23	-
NHDES Subsurface Approval	-	-



LOCATION MAP SCALE: 1"=2000'

PLAN REFERENCES:

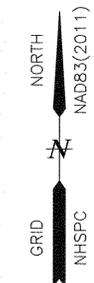
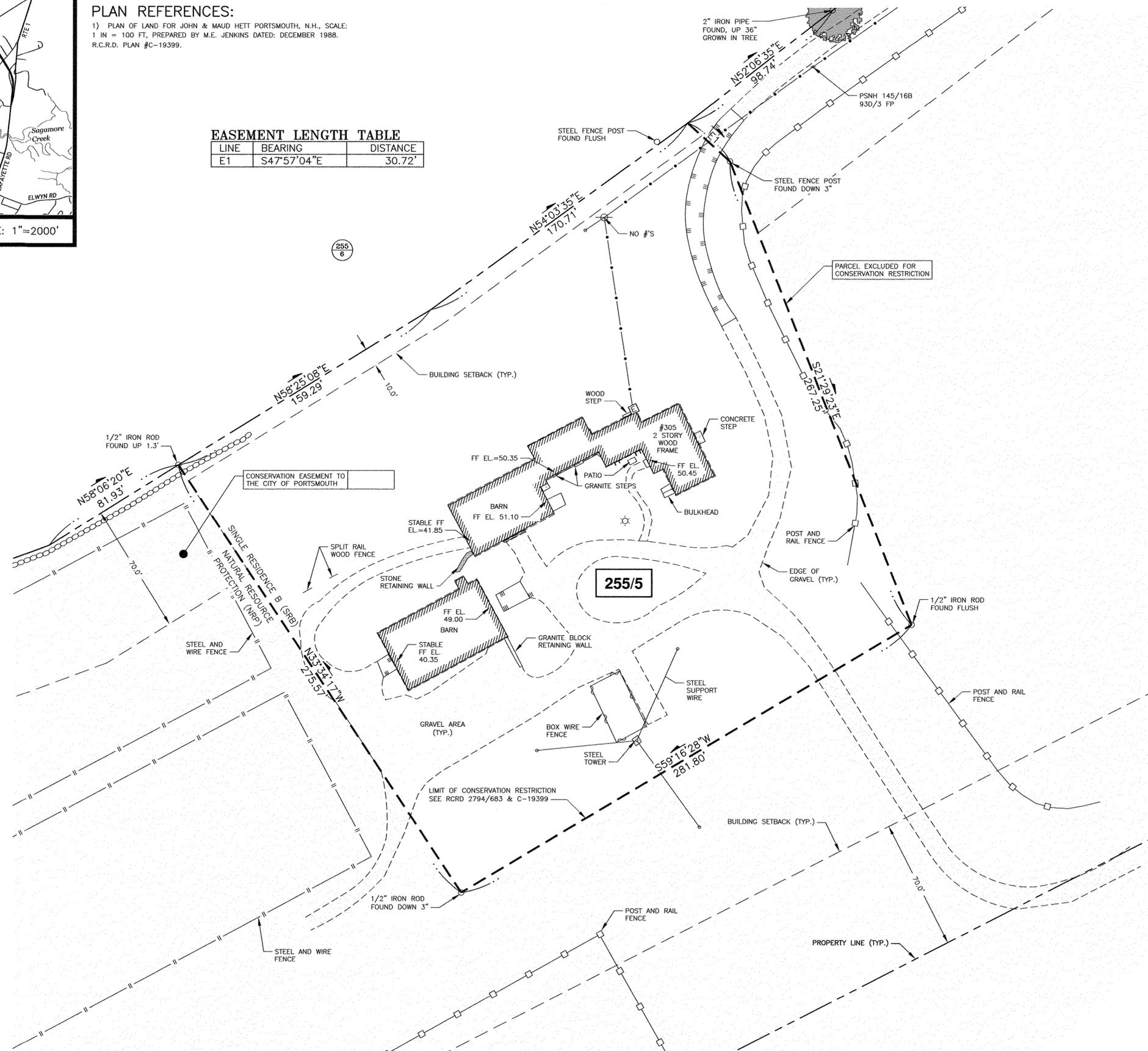
- 1) PLAN OF LAND FOR JOHN & MAUD HETT PORTSMOUTH, N.H., SCALE: 1 IN = 100 FT, PREPARED BY M.E. JENKINS DATED: DECEMBER 1988. R.C.R.D. PLAN #C-19399.

EASEMENT LENGTH TABLE

LINE	BEARING	DISTANCE
E1	S47°57'04"E	30.72'

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS MAP 11 / LOT 21
- BOUNDARY
- SETBACK
- IRON ROD/PIPE FOUND
- OVERHEAD ELECTRIC/WIRES
- CONTOUR
- EDGE OF PAVEMENT (EP)
- UTILITY POLE (w/ GUY)
- ELECTRIC METER
- ELEVATION
- FINISHED FLOOR
- INVERT
- TEMPORARY BENCHMARK
- TYP. TYPICAL



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 255 AS LOT 5.
 - 2) OWNERS OF RECORD: THOMAS E. REIS & MARYBETH R. REIS, JAMES B. REIS & MEGAN C. REIS, 305 PEVERLY HILL ROAD, PORTSMOUTH, NH 03801, 5560/2148, C-19399.
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0270F, EFFECTIVE DATE 1/29/2021.
 - 4) EXISTING LOT AREA: 39.7 ACRES (PER CITY ASSESSOR DATABASE)
 - 5) PARCEL IS LOCATED IN THE NATURAL RESOURCE PROTECTION (NRP) & SINGLE RESIDENCE B (SRB) DISTRICTS.
 - 6) DIMENSIONAL REQUIREMENTS:

NATURAL RESOURCES PROTECTION (NRP)	
MIN. LOT AREA:	N/A
FRONTAGE:	N/A
SETBACKS:	
FRONT:	70 FEET
SIDE:	70 FEET
REAR:	70 FEET
SINGLE RESIDENCE B (SRB)	
MIN. LOT AREA:	15,000 S.F.
FRONTAGE:	100 FEET
SETBACKS:	
FRONT:	30 FEET
SIDE:	10 FEET
REAR:	30 FEET
MAXIMUM STRUCTURE HEIGHT: 35 FEET	
MAXIMUM BUILDING COVERAGE: 20%	
MINIMUM OPEN SPACE: 40%	
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON A PORTION OF ASSESSOR'S MAP 255, LOT 5 IN THE CITY OF PORTSMOUTH.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 9) THIS PLAN DEPICTS THE PORTION OF ASSESSOR'S MAP 255 LOT 5 IDENTIFIED AS "PARCEL EXCEPTED FROM CONSERVATION RESTRICTION" AS SHOWN ON PLAN REFERENCE 1. THIS PORTION OF THE LOT IS LOCATED IN SINGLE RESIDENCE B (SRB) ZONING DISTRICT. THE REMAINDER OF THE LOT IS LOCATED IN THE NATURAL RESOURCES PROTECTION (NRP) DISTRICT.
 - 10) PARCEL PARTIALLY SUBJECT TO CONSERVATION RESTRICTIONS AS STATED IN RCRD 2794/683.

**REIS RESIDENCE
305 PEVERLY ROAD
PORTSMOUTH, N.H.**

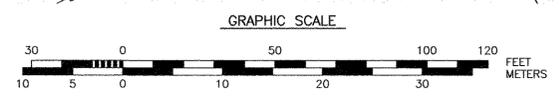
NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	1/6/23
REVISIONS		

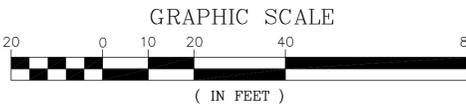
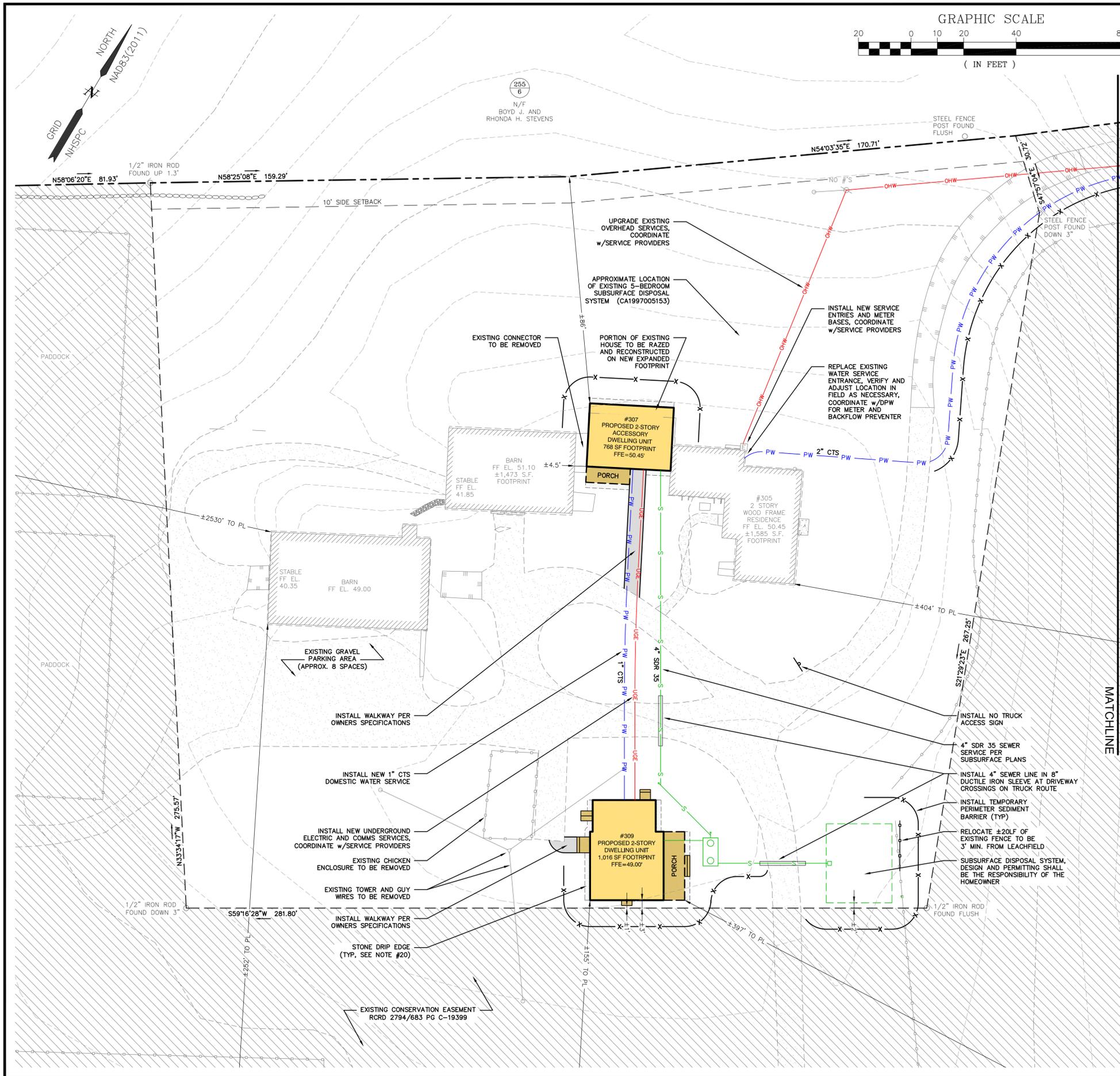
SCALE: 1"=30' DECEMBER 2022

EXISTING CONDITIONS PLAN **C1**

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

John R. Chagnon 1.6.23
JOHN R. CHAGNON, LLS #738 DATE





SITE NOTES

- DESIGN INTENT - THIS PLAN SET IS INTENDED TO DEPICT THE ADDITION OF TWO RESIDENTIAL UNITS TO THE SITE TOGETHER WITH ASSOCIATED SITE IMPROVEMENTS.
- APPROXIMATE LOT AREA: 1,690,603 S.F. (±38.81 AC.)
- ZONE: SINGLE RESIDENCE B (SRB) & NATURAL RESOURCE PROTECTION (NRP)
- DIMENSIONAL REQUIREMENTS (SRB):
 MIN. LOT AREA: 15,000 S.F.
 MIN. STREET FRONTAGE: 100'
 FRONT SETBACK: 30'
 SIDE SETBACK: 10'
 REAR SETBACK: 30'
 MAX. BUILDING HEIGHT: 35'
 MAX. BLDG. COVERAGE: 20% (0.35% EXISTING, 0.43% PROPOSED)
 MIN. OPEN SPACE: 40% (1.54% EXISTING, 1.65% PROPOSED)
 WETLAND SETBACK: 100'
- PARKING REQUIREMENTS:
 AGRICULTURAL USES: NO REQUIREMENT
 DWELLING UNITS:
 <300 S.F. 0.5 SPACES/UNIT
 300-750 S.F. 1.0 SPACES/UNIT
 >750 S.F. 1.3 SPACES/UNIT
 3 UNITS >750 S.F. x 1.3 SPACES = 3.9 SPACES
 TOTAL PARKING REQUIRED = 4 SPACES
 TOTAL PARKING PROVIDED = 8+ SPACES
- OVERALL AREA OF DISTURBANCE UNDER 100,000 S.F., NHDES ALTERATION OF TERRAIN PERMIT NOT REQUIRED.
- AREA OF DISTURBANCE UNDER 43,560 SF, COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT NOT REQUIRED (NOI, SWPPP AND INSPECTIONS NOT REQUIRED).
- THE FOLLOWING VARIANCES FROM THE PORTSMOUTH ZONING ORDINANCE WERE GRANTED BY THE PORTSMOUTH BOARD OF ADJUSTMENT ON JANUARY 24, 2023:
 SECTION 10.440 USE #1.30 - TO ALLOW A TWO UNIT DWELLING IN THE SRB DISTRICT.
 SECTION 10.513 - TO ALLOW MORE THAN ONE FREESTANDING DWELLING UNIT ON A LOT IN THE SRB DISTRICT.
 ZBA APPROVAL CONDITIONED ON A MAXIMUM OF 3 DWELLING UNITS.
- NO WETLANDS OR FLOODPLAINS ARE LOCATED WITHIN THE PROJECT LIMITS.
- THE PROJECT AREA IS NOT IN A WELLHEAD OR AQUIFER PROTECTION AREA.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- BUILDING AREA SHOWN IS BASED ON FOOTPRINT MEASURED TO THE EDGE OF FOUNDATIONS AND/OR SLABS. ACTUAL INTERIOR SPACE WILL DIFFER.
- SOLID WASTE IS DELIVERED TO THE MUNICIPAL TRANSFER/RECYCLING STATION ON A WEEKLY BASIS.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- SNOW TO BE STORED AT THE EDGE OF DRIVEWAYS AND PARKING AREAS AND IN LOCATIONS SHOWN.
- TOPOGRAPHY SHOWN WAS OBTAINED FROM THE CITY OF PORTSMOUTH GIS DATABASE. CONTRACTOR TO VERIFY ELEVATIONS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INITIATING WORK.
- STONE DRIP EDGES SHALL BE CONSTRUCTED AT ALL ROOF LINES THAT DIRECT RUNOFF TO ANY NON-IMPERVIOUS AREA SUCH AS LAWNS OR LANDSCAPING. GUTTERS INSTALLED OVER DOORWAYS, DECKS, DRIVEWAYS, ETC. SHALL DIRECT THEIR DOWNSPOUTS TO THE NEAREST STONE DRIP EDGE.
- AN INDIVIDUAL NUMBERED MAILBOX FOR EACH UNIT SHALL BE INSTALLED ON PEVERLY HILL ROAD.

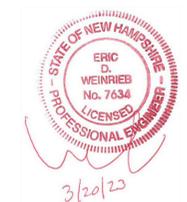
RECORDING OF THIS PLAN IS A REQUIREMENT OF THE PORTSMOUTH PLANNING BOARD AS PART OF THEIR APPROVAL.

FOR AMBIT ENGINEERING, INC.
 DATE _____

APPROVED BY THE PORTSMOUTH PLANNING BOARD
 CHAIRMAN _____ DATE _____



133 Court Street Portsmouth, NH 03801
 (603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: MARCH 22, 2023

NO.	DESCRIPTION	BY	DATE
0	TAC	EBS	02/21/23
1	REVISED PER TAC	EBS	03/22/23

DRAWN BY: EBS
 APPROVED BY: EBS
 DRAWING FILE: 5411-SITE.dwg

SCALE:
 22" x 34" - 1" = 20'
 11" x 17" - 1" = 40'

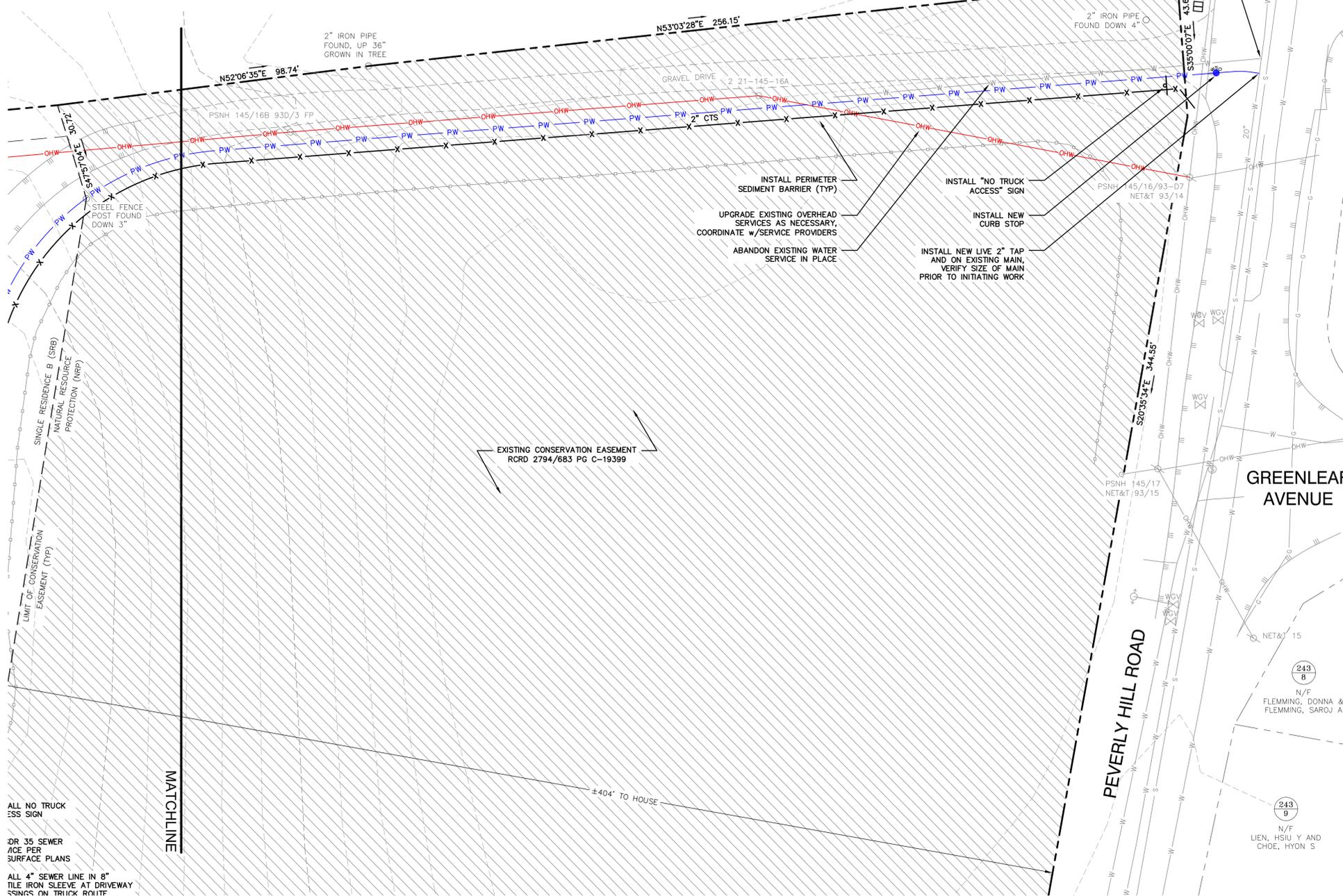
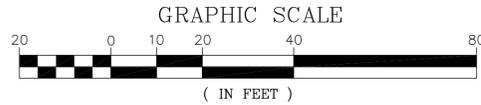
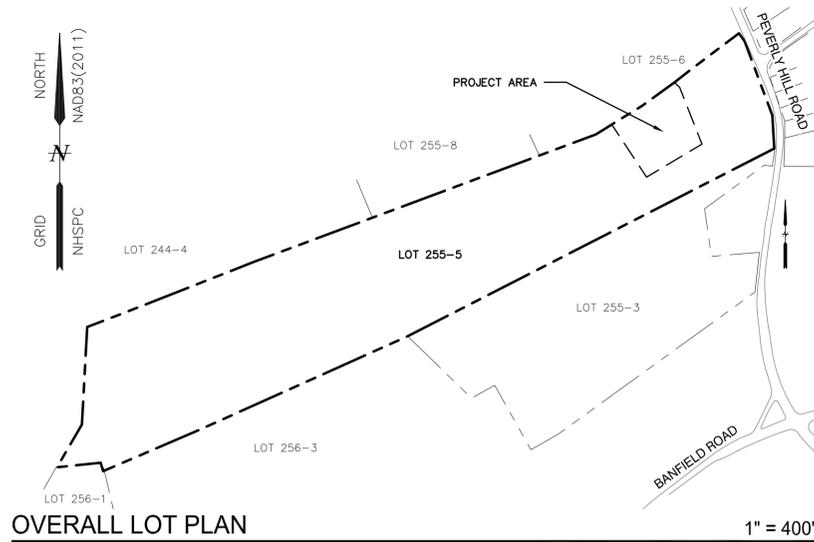
OWNER:
 THOMAS E., MARYBETH B.,
 JAMES B. AND MEEGAN C. REIS
 305 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801

APPLICANT:
 THOMAS E., MARYBETH B.,
 JAMES B. AND MEEGAN C. REIS
 305 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801

PROJECT:
REIS FARM
 TAX MAP 255 LOT 5
 305 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801

TITLE:
SITE AND UTILITIES PLAN

SHEET NUMBER:
C-2



UTILITY NOTES

- THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE. CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY PROVIDERS AND GOVERNMENTAL AGENCIES. AS SUCH, THEY ARE NOT INCLUSIVE AS OTHER UTILITIES AND UNDERGROUND STRUCTURES THAT ARE NOT SHOWN ON THE PLANS MAY EXIST. THE ENGINEER, SURVEYOR AND OWNER ACCEPT NO RESPONSIBILITY FOR POTENTIAL INACCURACIES IN THE PLAN AND/OR UNFORESEEN CONDITIONS. THE CONTRACTOR SHALL NOTIFY, IN WRITING, SAID AGENCIES, UTILITY PROVIDERS, CITY OF PORTSMOUTH DPW AND OWNER'S AUTHORIZED REPRESENTATIVE AND CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION WORK.
- PRIOR TO CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING AND PROPOSED STORMWATER AND UTILITY LINES. CONFLICTS SHALL BE ANTICIPATED AND ALL EXISTING LINES TO BE RETAINED SHALL BE PROTECTED. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED AND, IF NECESSARY, EXISTING UTILITIES SHALL BE RELOCATED AT NO EXTRA COST TO THE OWNER. ALL CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, DPW AND APPROPRIATE UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
- ALL ROAD/LANE CLOSURES OR OTHER TRAFFIC INTERRUPTIONS SHALL BE COORDINATED WITH THE PORTSMOUTH POLICE DEPARTMENT AND DPW AT LEAST TWO WEEKS PRIOR TO COMMENCING RELATED CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL & COMPACTION FOR ALL UTILITY TRENCHING IN ADDITION TO ALL CONDUIT INSTALLATION AND COORDINATION OF ALL REQUIRED INSPECTIONS.
- ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES. COLORS PER THE RESPECTIVE UTILITY PROVIDERS.
- ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL BE CONSTRUCTED AND TESTED PER PORTSMOUTH DPW STANDARDS AND SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE TO THE STANDARDS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY PROVIDERS.
- WHERE WATER LINES CROSS, RUN ADJACENT TO OR ARE WITHIN 5' OF STORM DRAINAGE PIPES OR STRUCTURES, 2"-THICK CLOSED CELL RIGID BOARD INSULATION SHALL BE INSTALLED FOR FROST PROTECTION.
- WATER AND SANITARY SEWER LINES SHALL BE LOCATED AT LEAST 10' HORIZONTALLY FROM EACH OTHER. WHERE CROSSING, 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED WITH WATER INSTALLED OVER SEWER.
- ALL NEW WATER PIPING SHALL BE CTS OR K COPPER..
- WATER/WASTEWATER DEMAND (USING NHDES SUBSURFACE CRITERIA):
(7 BEDROOMS x 150 GPD) + (1 ADU x 225 GPD) = 1,275 TOTAL FLOW (WASTEWATER TO BE DIRECTED TO ONSITE SUBSURFACE DISPOSAL SYSTEMS, ONE 5-BEDROOM SYSTEM CURRENTLY EXISTS (#CA1997005153), ONE NEW 4-BEDROOM SYSTEM TO BE CONSTRUCTED)
- UTILITY PROVIDERS AND CONTACTS:
 - WATER & SEWER: PORTSMOUTH DPW, JIM TOW, (603) 427-1530.
 - GAS: UNITIL, DAVID BEAULIEU, (603) 294-5144.
 - TELECOMMUNICATIONS: CONSOLIDATED, JOE CONSIDINE, (603) 427-5525.
 - CABLE: COMCAST, MIKE COLLINS, (603) 679-5695, EXT. 1037.
 - ELECTRICAL: EVERSOURCE, MICHAEL BUSBY, (603) 332-4227, EXT. 5555334. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
- SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDINGS. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY PRIOR TO COMMENCING RELATED WORK.
- FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE ARCHITECT, CONTRACTOR, APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DPW.
- ASIDE FROM VISIBLE SURFACE FEATURES SUCH AS VALVES AND HYDRANTS, ALL WATER LINE INFORMATION IN THE PEVERLY HILL ROAD RIGHT OF WAY WAS OBTAINED FROM PORTSMOUTH DPW. ALTUS ENGINEERING DOES NOT WARRANT THE ACCURACY OF THIS DATA.

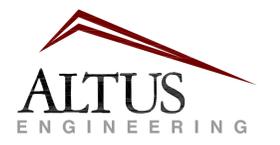
RECORDING OF THIS PLAN IS A REQUIREMENT OF THE PORTSMOUTH PLANNING BOARD AS PART OF THEIR APPROVAL.

FOR AMBIT ENGINEERING, INC.

DATE

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: MARCH 22, 2023

NO.	DESCRIPTION	BY	DATE
0	TAC	EBS	02/21/23
1	REVISED PER TAC	EBS	03/22/23

DRAWN BY: EBS

APPROVED BY: EBS

DRAWING FILE: 5411-SITE.dwg

SCALE:
22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

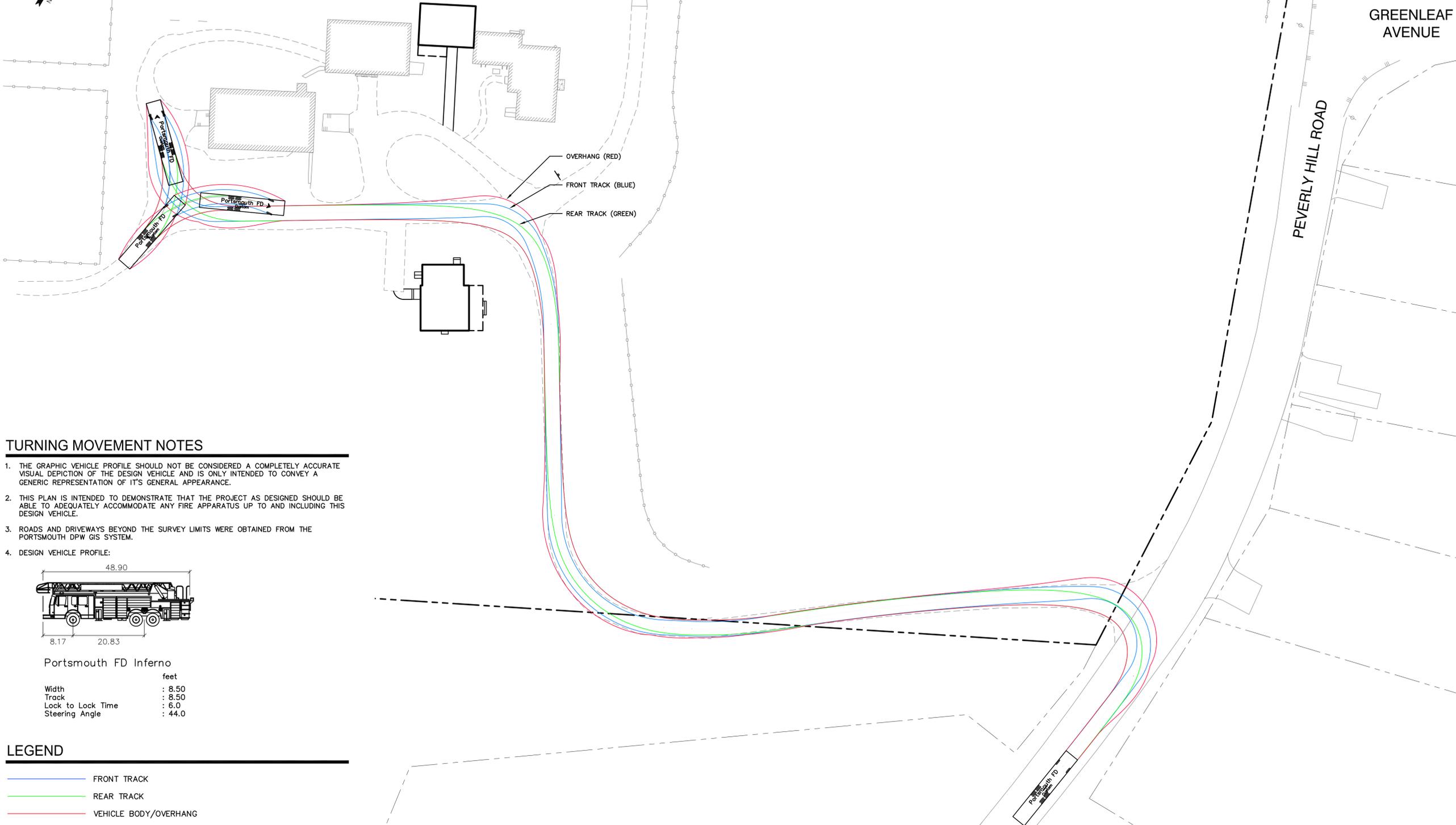
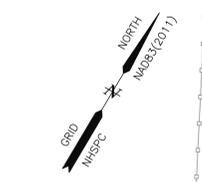
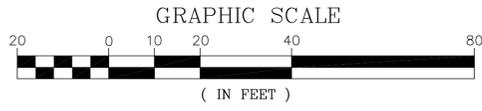
OWNER:
THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

APPLICANT:
THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

PROJECT:
REIS FARM
TAX MAP 255 LOT 5
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

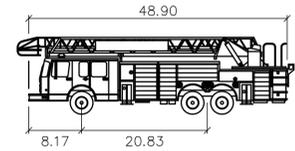
TITLE:
SITE AND UTILITIES PLAN

SHEET NUMBER:
C-3



TURNING MOVEMENT NOTES

1. THE GRAPHIC VEHICLE PROFILE SHOULD NOT BE CONSIDERED A COMPLETELY ACCURATE VISUAL DEPICTION OF THE DESIGN VEHICLE AND IS ONLY INTENDED TO CONVEY A GENERIC REPRESENTATION OF IT'S GENERAL APPEARANCE.
2. THIS PLAN IS INTENDED TO DEMONSTRATE THAT THE PROJECT AS DESIGNED SHOULD BE ABLE TO ADEQUATELY ACCOMMODATE ANY FIRE APPARATUS UP TO AND INCLUDING THIS DESIGN VEHICLE.
3. ROADS AND DRIVEWAYS BEYOND THE SURVEY LIMITS WERE OBTAINED FROM THE PORTSMOUTH DPW GIS SYSTEM.
4. DESIGN VEHICLE PROFILE:



Portsmouth FD Inferno

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 44.0

LEGEND

- FRONT TRACK
- REAR TRACK
- VEHICLE BODY/OVERHANG



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REVISIONS	NO.	DESCRIPTION	BY	DATE
0	TAC		EBS	03/22/23

DRAWN BY: _____ EBS
APPROVED BY: _____ EBS
DRAWING FILE: 5411-SITE.dwg

SCALE:
22" x 34" - 1" = 30'
11" x 17" - 1" = 60'

OWNER:
THOMAS E., MARYBETH B.,
JAMES B. AND MEEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

APPLICANT:
THOMAS E., MARYBETH B.,
JAMES B. AND MEEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

PROJECT:
REIS FARM
TAX MAP 255 LOT 5
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

TITLE:
**TURNING
MOVEMENT
ANALYSIS**

SHEET NUMBER:
C-4

SEDIMENT AND EROSION CONTROL NOTES

PROJECT NAME AND LOCATION

REIS FARM
305 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
TAX MAP 255 LOT 5

LATITUDE: 43°03'08" N
LONGITUDE: 70°46'50" W

OWNER/APPLICANT:
THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

DESCRIPTION

The project consists of the renovation an expansion of an existing residence and the construction of a new detached residence together with associated site improvements.

DISTURBED AREA

The total area to be disturbed for the development is ±8,025 S.F. (±0.18 acres).

PROJECT PHASING

The proposed project will be completed in one phase.

NAME OF RECEIVING WATER

The site drains over land to to Sagamore Creek.

SEQUENCE OF MAJOR ACTIVITIES

1. Install temporary erosion control measures including perimeter controls, stabilized construction entrance and inlet sediment filters as noted on the plan. All temporary erosion control measures shall be maintained in good working condition for the duration of the project.
2. Remove landscaping and trees, strip loam and stockpile.
3. Demolish existing site features, buildings, utilities, etc. as shown on Demolition Plan.
4. Construct building foundations.
5. Construct new buildings and associated improvements.
6. Rough grade site including placement of borrow materials.
7. Construct utilities.
8. Loam (6" min) and seed on all disturbed areas not paved or otherwise stabilized.
9. When all construction activity is complete and site is stabilized, remove all temporary erosion control measures and any sediment that has been trapped by these devices.

TEMPORARY EROSION & SEDIMENT CONTROL AND STABILIZATION PRACTICES

All work shall be in accordance with state and local permits. Work shall conform to the practices described in the "New Hampshire Stormwater Manual, Volumes 1 - 3", issued December 2008, as amended. As indicated in the sequence of Major Activities, perimeter controls shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area and permanent measures are established, perimeter controls shall be removed.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet runoff from the site shall be filtered through appropriate perimeter controls. All storm drain inlets shall be provided with inlet protection measures.

Temporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation control plan. All areas shall be inspected and maintained until vegetative cover is established. These control measures are essential to erosion prevention and also reduce costly rework of graded and shaped areas.

Temporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, erosion and sediment control measures shall be maintained until permanent vegetation is established.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

A. GENERAL

These are general inspection and maintenance practices that shall be used to implement the plan:

1. The smallest practical portion of the site shall be denuded at one time.
2. All control measures shall be inspected at least once each week and following any storm event of 0.5 inches or greater.
3. All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours.
4. Built-up sediment shall be removed from perimeter barriers when it has reached one-third the height of the barrier or when "bulges" occur.
5. All diversion dikes shall be inspected and any breaches promptly repaired.
6. Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
7. The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the Plans.
8. An area shall be considered stable if one of the following has occurred:
 - a. Base coarse gravels have been installed in areas to be paved;
 - b. A minimum of 85% vegetated growth as been established;
 - c. A minimum of 3 inches of non-erosive material such as stone or riprap has been installed; - or -
 - d. Erosion control blankets have been properly installed.
9. The length of time of exposure of area disturbed during construction shall not exceed 45 days.

B. MULCHING

Mulch shall be used on highly erodible soils, on critically eroding areas, on areas where conservation of moisture will facilitate plant establishment, and where shown on the plans.

1. Timing - In order for mulch to be effective, it must be in place prior to major storm events. There are two (2) types of standards which shall be used to assure this:
 - a. Apply mulch prior to any storm event. This is applicable when working within 100 feet of wetlands. It will be necessary to closely monitor weather predictions, usually by contacting the National Weather Service in Concord, to have adequate warning of significant storms.
 - b. Required Mulching within a specified time period. The time period can range from 21 to 28 days of inactivity on a area, the length of time varying with site conditions. Professional judgment shall be used to evaluate the interaction of site conditions (soil erodibility, season of year, extent of disturbance, proximity to sensitive resources, etc.) and the potential impact of erosion on adjacent areas to choose an appropriate time restriction.

2. Guidelines for Winter Mulch Application -

Type	Rate per 1,000 s.f.	Use and Comments
Hay or Straw	70 to 90 lbs.	Must be dry and free from mold. May be used with plantings.
Wood Chips or Bark Mulch	460 to 920 lbs.	Used mostly with trees and shrubs.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (CONTINUED)

Material	As per manufacturer Specifications	Used in slope areas, water courses and other Control areas.
Jute and Fibrous Matting (Erosion Blanket)		
Crushed Stone 1/4" to 1-1/2" dia.	Spread more than 1/2" thick	Effective in controlling wind and water erosion.
Erosion Control Mix	2" thick (min)	<ul style="list-style-type: none"> * The organic matter content is between 80 and 100%, dry weight basis. * Particle size by weight is 100% passing a 6" screen and a minimum of 70 % maximum of 85%, passing a 0.75" screen. *The organic portion needs to be fibrous and elongated. *Large portions of silts, clays or fine sands are not acceptable in the mix. * Soluble salts content is less than 4.0 mmhos/cm. *The pH should fall between 5.0 and 8.0.

3. Maintenance - All mulches must be inspected periodically, in particular after rainstorms, to check for rill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied.

C. PERMANENT SEEDING -

1. Bedding - stones larger than 1 1/2", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 5" to prepare a seedbed and mix fertilizer into the soil.
2. Fertilizer - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and organic fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:

Agricultural Limestone @ 100 lbs. per 1,000 s.f.
10-20-20 organic fertilizer @ 12 lbs. per 1,000 s.f.

3. Seed Mixture (recommended):

Type	Lbs. / Acre	Lbs. / 1,000 sq
Tall Fescue	24	0.55
Creeping Red Fescue	24	0.55
Total	48	1.10

Seed Mixture (For slope embankments):

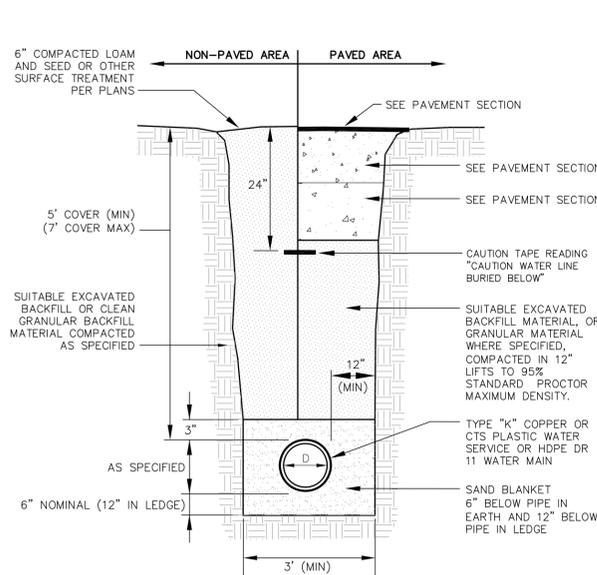
Grass Seed - Provide fresh, clean, new-crop seed complying with tolerance for purity and germination established by Official Seed Analysis of North America. Provide seed mixture composed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed, as specified:

Type	Min. Purity (%)	Min. Germination (%)	Kg./Hectare (Lbs./Acre)
Creeping Red Fescue (c)	96	85	45 (40)
Perennial Rye Grass (a)	98	90	35 (30)
Redtop	95	80	5 (5)
Alsike Clover	97	90(e)	5 (5)
Total			90 (80)

- a. Ryegrass shall be a certified fine-textured variety such as Pennfine, Fiesta, Yorktown, Diplomat, or equal.
 - b. Fescue varieties shall include - Creeping Red and/or Hard Reliant, Scaldis, Koket, or Jarnewtown.
4. Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook. Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/silt), etc.

WINTER CONSTRUCTION NOTES

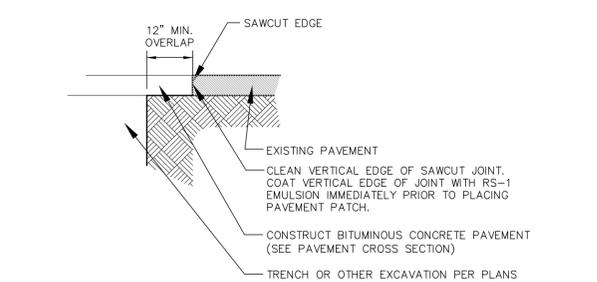
1. All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events;
2. All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
3. After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel per NHDOT Item 304.3.



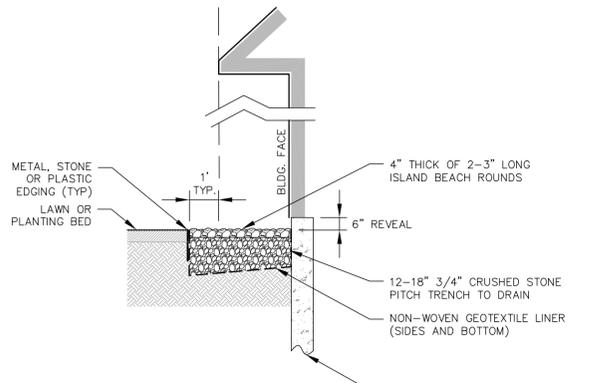
SAND BLANKET/BARRIER	SIEVE SIZE	% FINER BY WEIGHT
	1/2"	90 - 100
	200	0 - 15

- NOTES**
1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
 2. ALL TRENCHING AND BACKFILL SHALL CONFORM WITH THE STANDARDS OF THE CITY OF PORTSMOUTH.

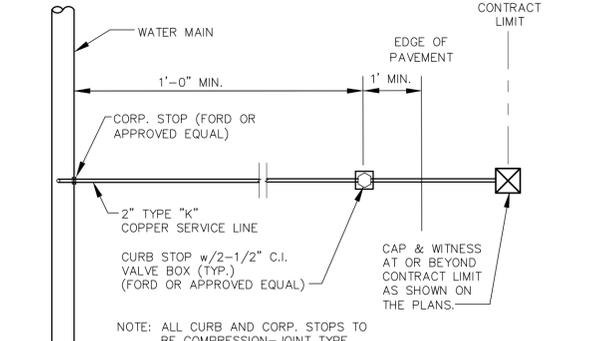
WATER MAIN TRENCH NOT TO SCALE



TYPICAL PAVEMENT SAWCUT NOT TO SCALE

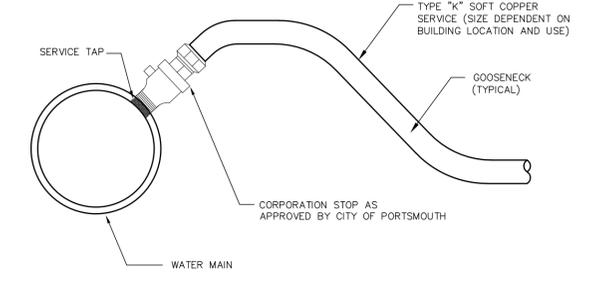


STONE DRIP EDGE NOT TO SCALE

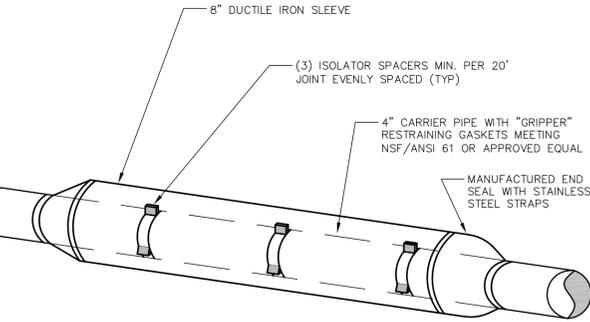


NOTE: ALL CURB AND CORP. STOPS TO BE COMPRESSION-JOINT TYPE

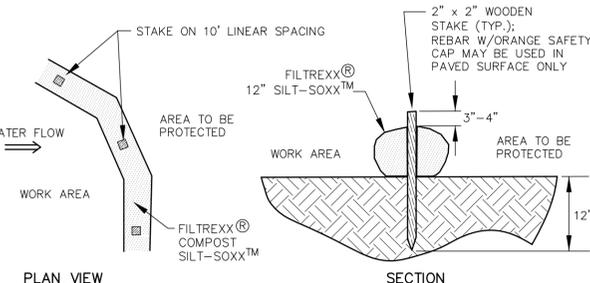
NOTE: ALL MATERIALS AND SPECIFICATIONS SHALL CONFORM TO CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS AND REQUIREMENTS. VERIFY PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.



WATER SERVICE CONNECTION NOT TO SCALE



WATER SLEEVE DETAIL NOT TO SCALE



- NOTES:**
1. SILT-SOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
 2. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 3. SILT-SOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 4. ALL SEDIMENT TRAPPED BY SILT-SOXX SHALL BE DISPOSED OF PROPERLY.

TUBULAR SEDIMENT BARRIER NOT TO SCALE

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(603) 433-2335

Portsmouth, NH 03801
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ISSUED FOR: TAC

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NO.	DESCRIPTION	BY	DATE
0	TAC	EBS	02/21/23
1	REV. PER TAC/RENUMBERED	EBS	03/22/23

DRAWN BY: EBS

APPROVED BY: EBS

DRAWING FILE: 5411-SITE.dwg

SCALE:
22" x 34" - 1" = XX'
11" x 17" - 1" = XX'

OWNER:
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JAMES B. AND MEEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

APPLICANT:
THOMAS E., MARYBETH B.,
JAMES B. AND MEEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

PROJECT:
REIS FARM
TAX MAP 255 LOT 5
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

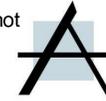
TITLE:

DETAIL SHEET

SHEET NUMBER: C-5

12/13/2022
Alcott (Reis Res)
1124.500 EL (12/13/2022)

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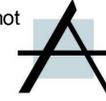
Front Elevation

Scale: 1/8" = 1'-0"

CRS 1124.500 EL Alcott

12/13/2022
Alcott (Reis Res)
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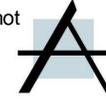
Right Elevation

Scale: 1/8" = 1'-0

CRS 1124.500 EL Alcott

12/13/2022
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Rear Elevation

Scale: 1/8" = 1'-0"

CRS 1124.500 EL Alcott

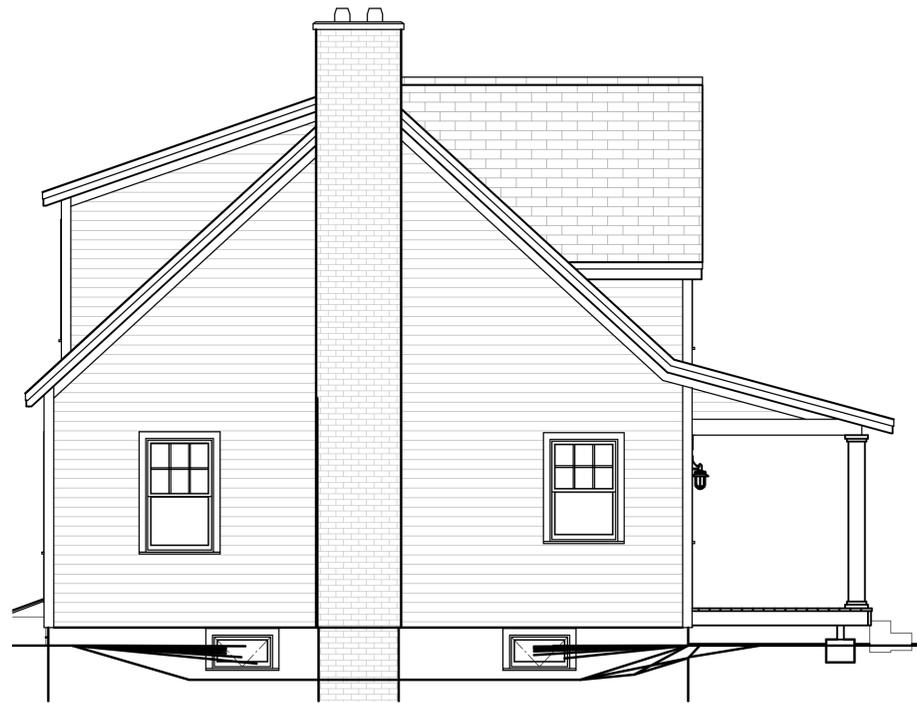
12/13/2022
Alcott (Reis Res)
1124.500 EL (12/13/2022)

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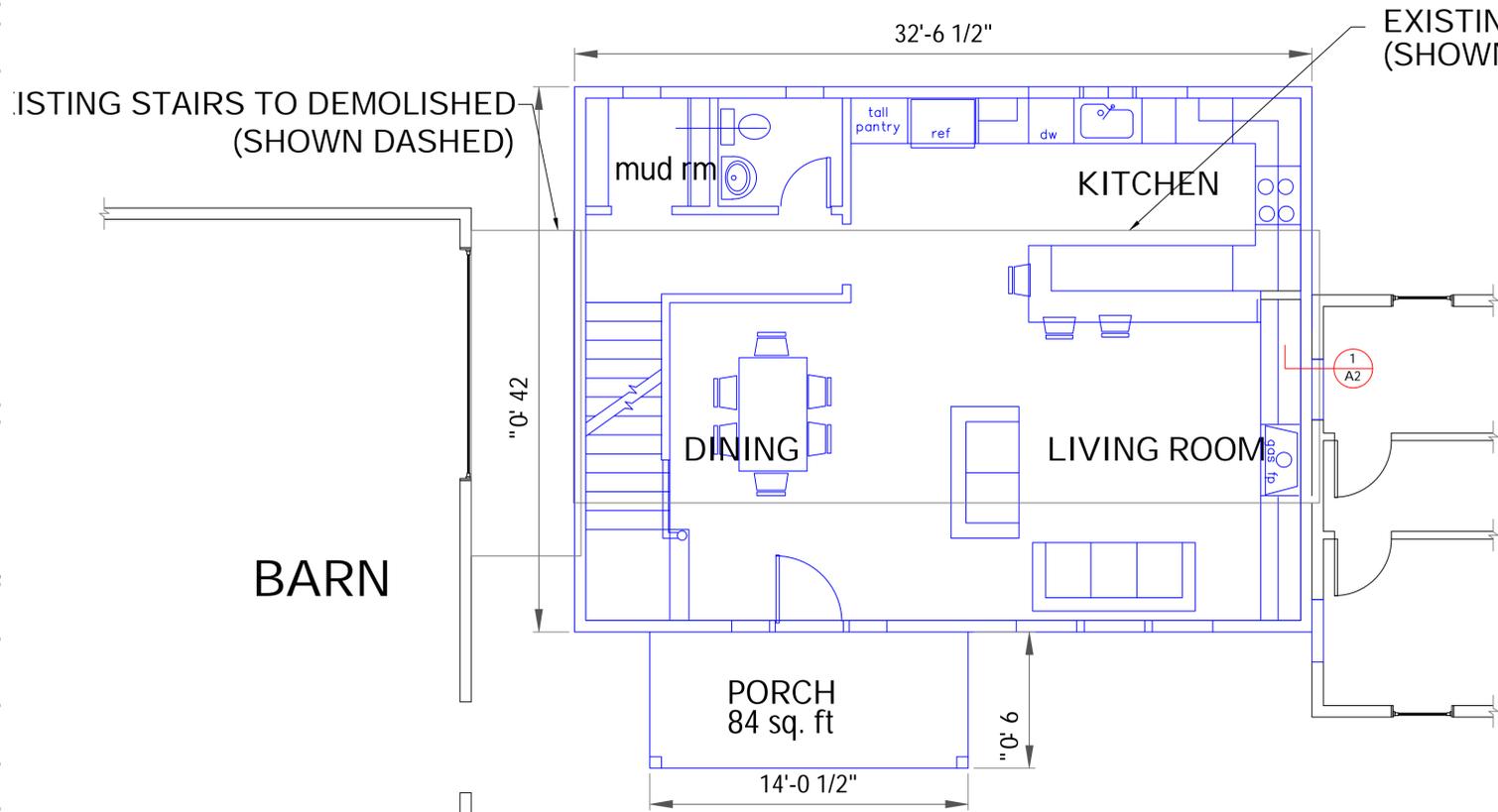
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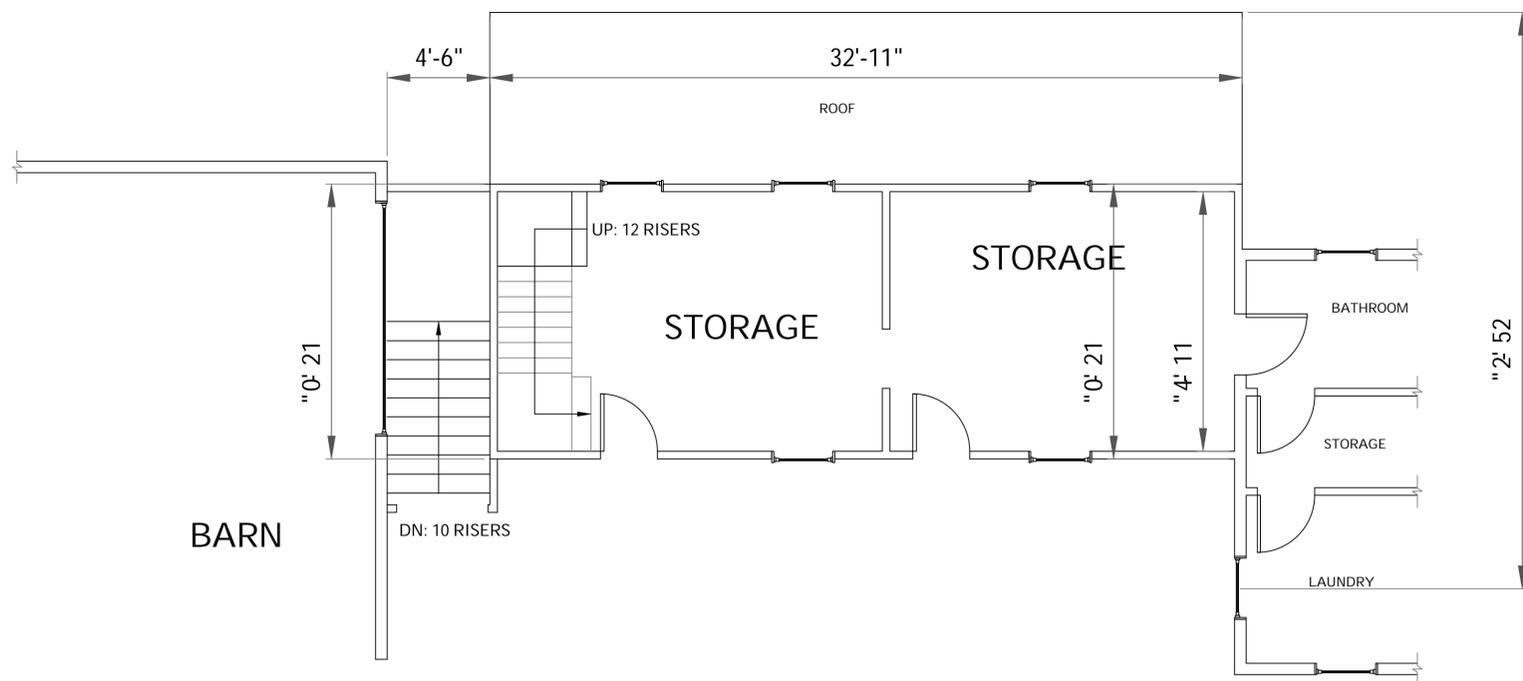


Left Elevation
Scale: 1/8" = 1'-0

CRS 1124.500 EL Alcott



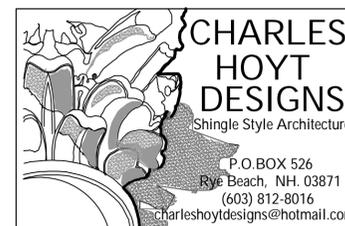
PROPOSED FIRST FLOOR PLAN



EXISTING FIRST FLOOR PLAN

NOTES

- 1: All Construction shall comply with the 2018 International Residential Code and all applicable regulations for a legal two-family structure in the city of Portsmouth.
- 2: The following sections are applicable: Section R302 Fire-Resistant Construction. R302.3 Two-family dwellings. Dwelling units in two-family dwellings shall be separated from each other by wall and floor assemblies having not less than a 1-hour fire-resistance rating where tested in accordance with ASTM E119 or UL U305. Fire-resistance-rated floor/ceiling and wall assemblies shall extend to and be tight against the exterior wall, and wall assemblies shall extend from the foundation to the underside of the roof sheathing.
 - R302.3.1 Supporting construction. Where floor assemblies are required to be fire-resistance rated by Section R302.3, the supporting construction of such assemblies shall have an equal or greater fire-resistance rating
 - R302.4 Dwelling unit rated penetrations. Penetrations of wall or floor-ceiling assemblies required to be fire-resistance rated in accordance with Section R302.2 or R302.3 shall be protected in accordance with this section.
 - R302.4.1 Through penetrations. Through penetrations of fire-resistance-rated wall or floor assemblies shall comply with Section R302.4.1.1 or R302.4.1.2
 - R302.4.1.2 Penetration firestop system. Penetrations shall be protected by an approved penetration firestop system installed as tested in accordance with ASTM E814 or UL 1479, with a positive pressure differential of not less than 0.01 inch of water (3 Pa) and shall have an F rating of not less than the required fire-resistance rating of the wall or floor/ceiling assembly penetrate.



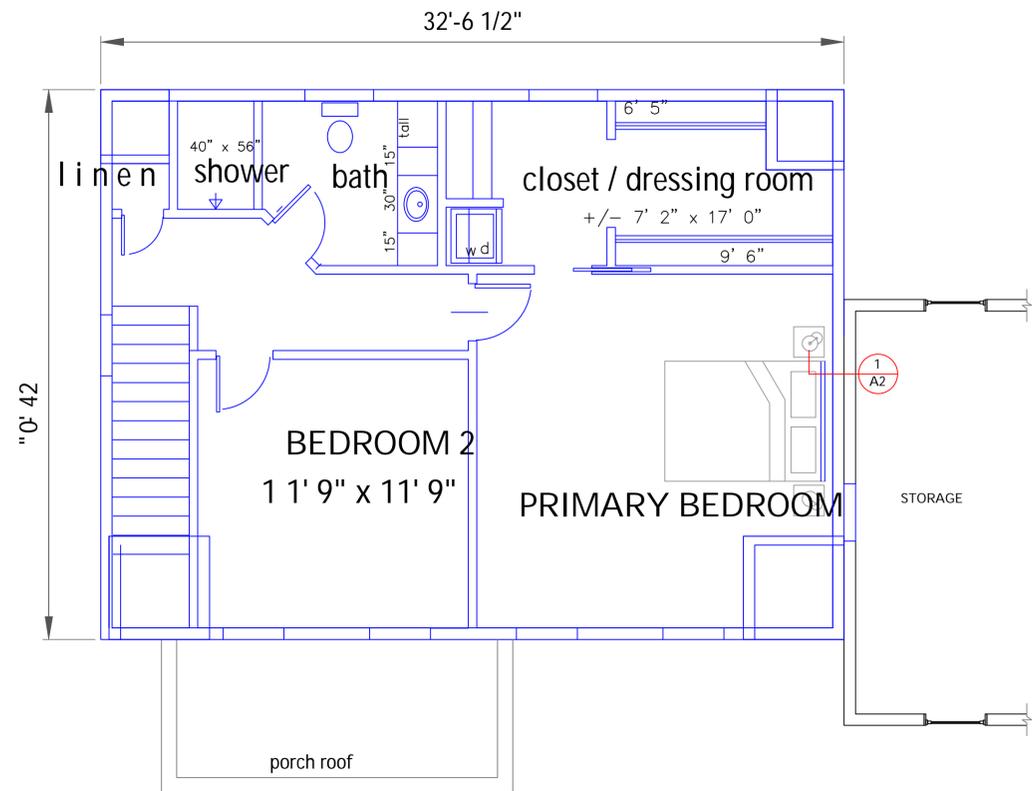
305 PEVERLY HILL ROAD
 PORTSMOUTH, NH

3-20-23
 12-5-22

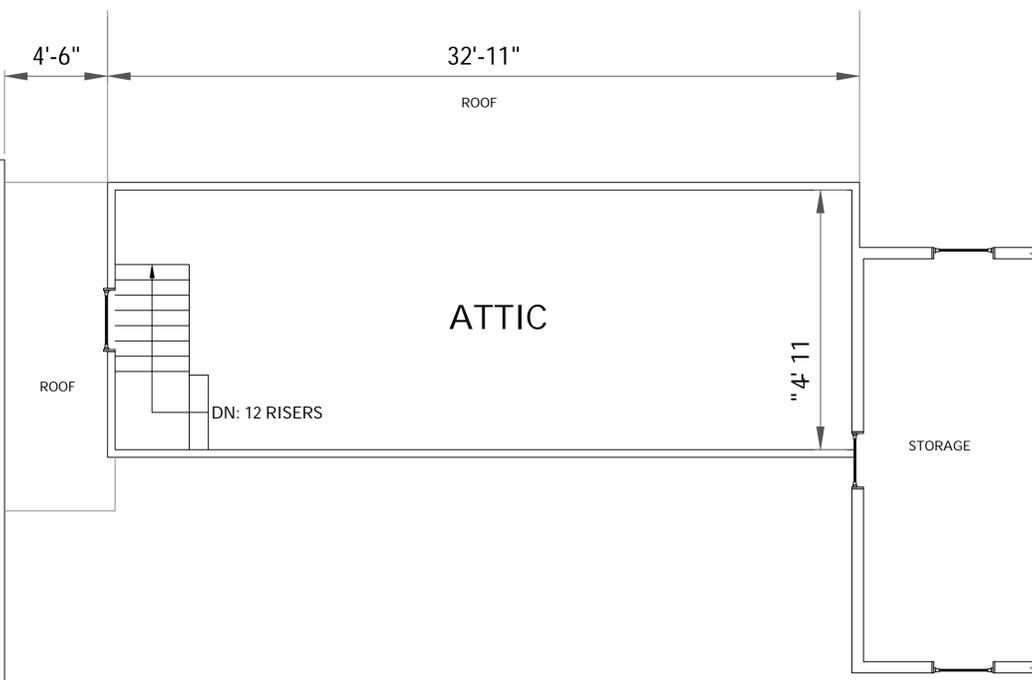
A1

PROPOSED & EXIST. 1ST FLOOR PLANS
 SCALE: 1/4"=1'-0" on 24" x 36"
 SCALE: 1/8"=1'-0" on 11" x 17"

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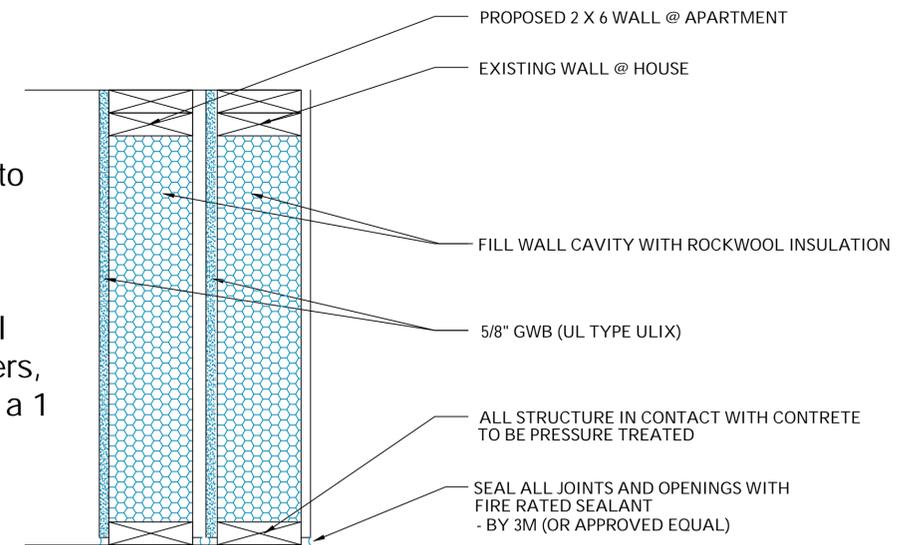
PROPOSED SECOND FLOOR PLAN



EXISTING SECOND FLOOR PLAN

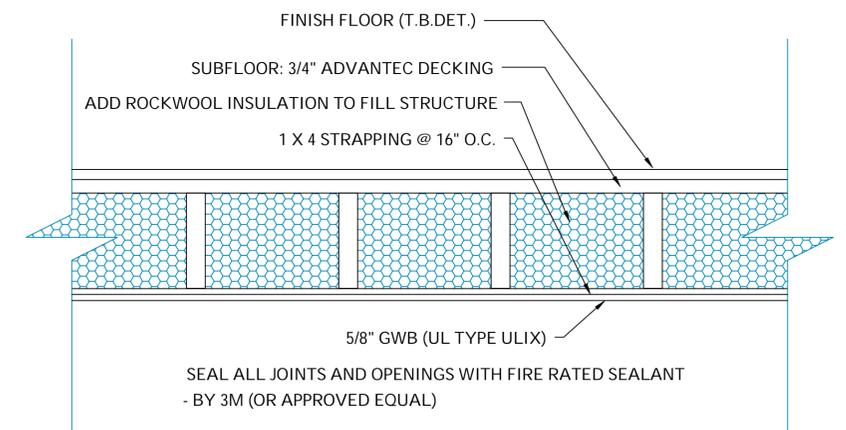
NOTES:

1. All penetrations in fire rated walls or ceiling are to be sealed to maintain continuous 1 hour fire rating.
2. All Outlets and Switches shall use 1 hour rated boxes and covers, or utilize other means to provide a 1 hour fire rating.



1 HOUR FIRE RATED WALL
BASED ON UL U305 - NOT TO SCALE

DETAIL 1.



1 HOUR FLOOR
BASED ON UL P522 - NOT TO SCALE
UNDERSIDE OF STAIR, & SEPERATION BTWN GARAGE & 1ST FLOOR

DETAIL 2.

CHARLES HOYT DESIGNS
Shingle Style Architecture

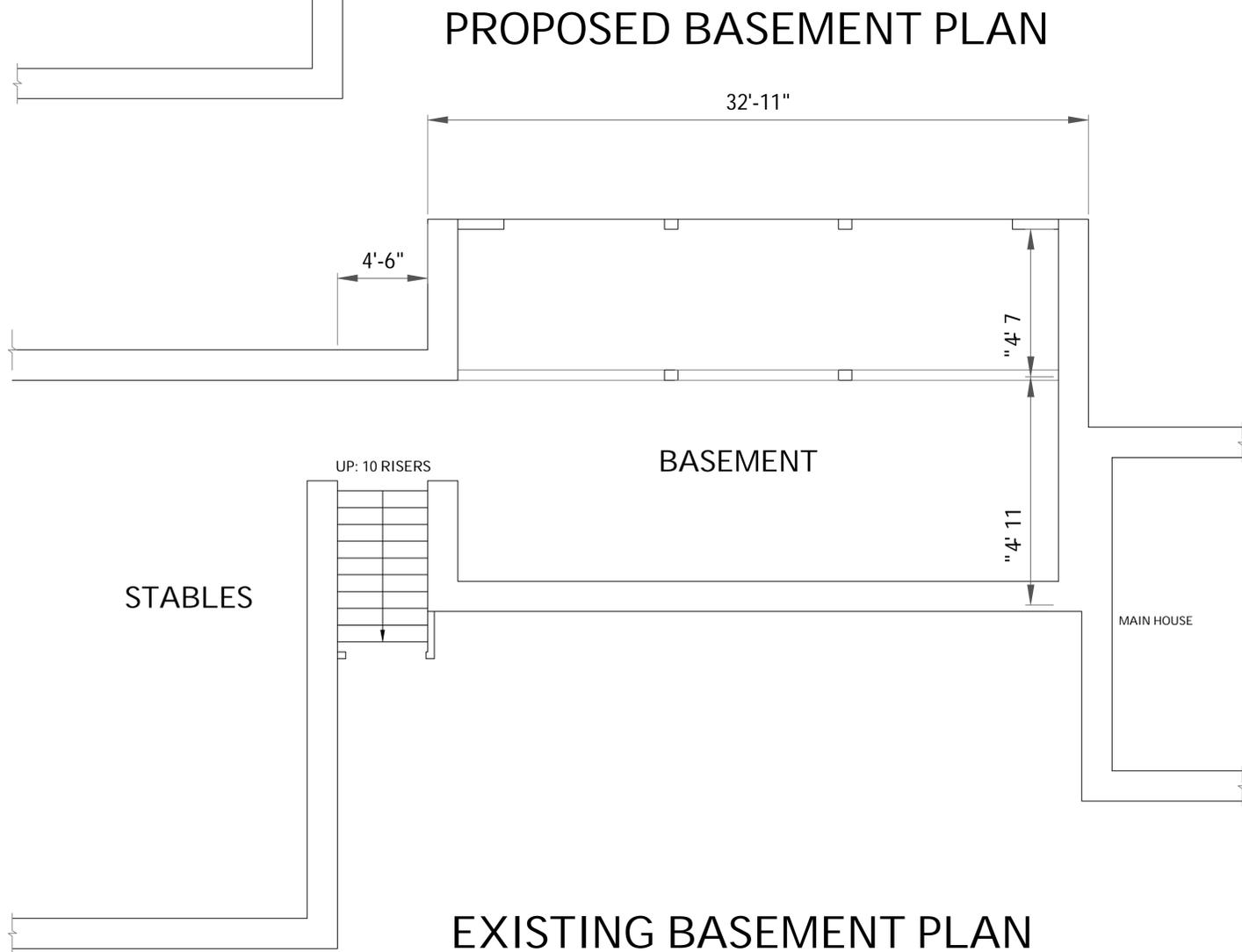
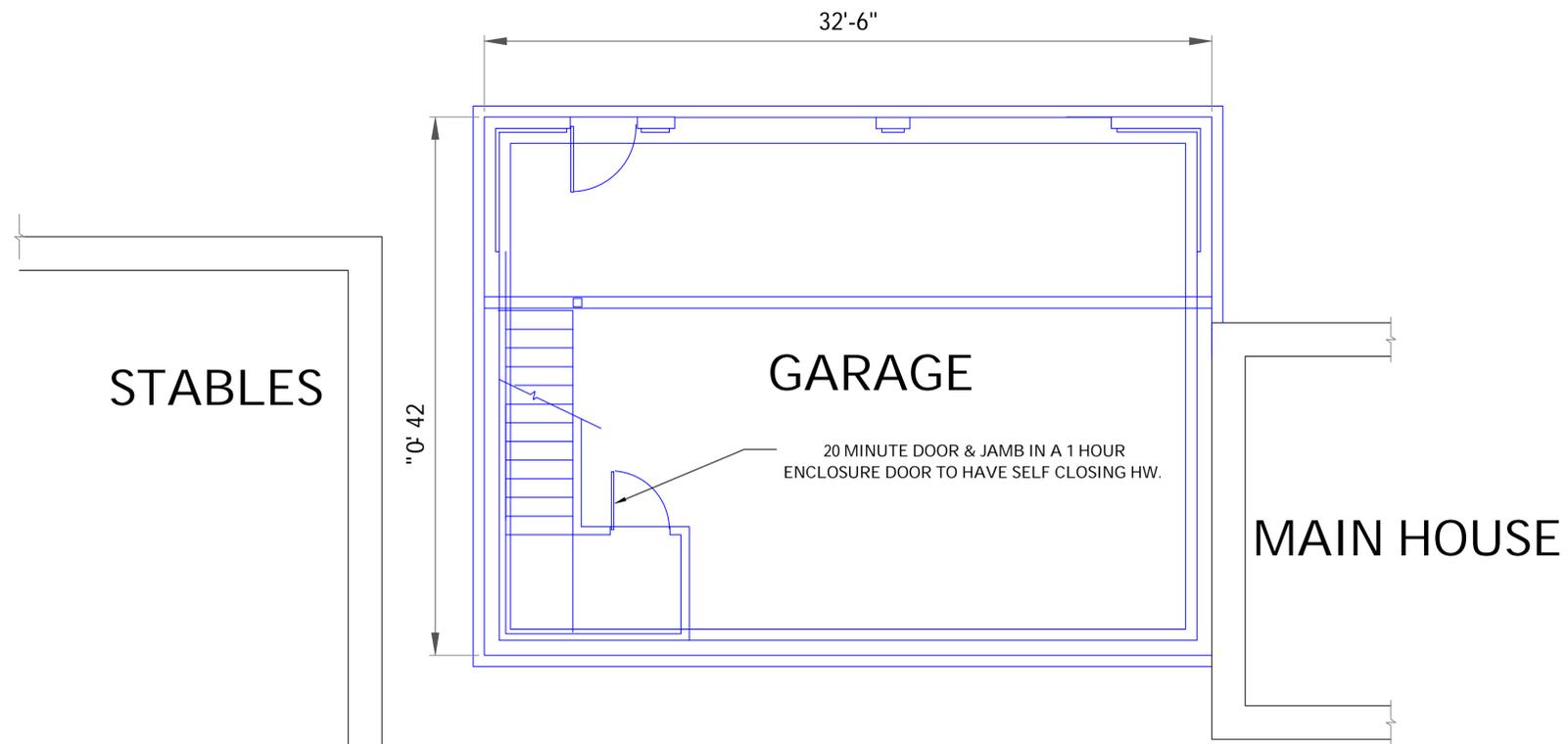
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305 PEVERLY HILL ROAD
PORTSMOUTH, NH

3-20-23
12-5-22

A2

PROPOSED & EXIST. 2ND FLOOR PLANS
SCALE: 1/4"=1'-0" on 24" x 36"
SCALE: 1/8"=1'-0" on 11" x 17"



 CHARLES HOYT DESIGNS Shingle Style Architecture P.O. BOX 526 Rye Beach, NH. 03871 (603) 812-8016 charleshoytdesigns@hotmail.com	305 PEVERLY HILL ROAD PORTSMOUTH, NH	
	3-20-23 12-5-22	A3 PROPOSED & EXIST. LOWER LEVEL SCALE: 1/4"=1'-0" on 24" x 36" SCALE: 1/8"=1'-0" on 11" x 17"

