

HDC

ADMINISTRATIVE APPROVALS

March 01, 2023

- | | | |
|-----|-------------------------------------|-----------------------|
| 1. | 11 Sheafe Street (LUHD-552) | -Request to Postpone |
| 2. | 15 Congress Street (LUHD-576) | -Recommended Approval |
| 3. | 57 Salter Street, Unit 2 (LUHD-577) | -Recommended Approval |
| 4. | 60 Penhallow Street (LUHD-578) | -TBD |
| 5. | 63 Islington Stret (LUHD-580) | -Recommended Approval |
| 6. | 4 Rock Street, Unit 3 (LUHD-581) | -Recommended Approval |
| 7. | 303 Pleasant Street (LUHD-579) | -TBD |
| 8. | 70 Court Street (LUHD-567) | -TBD |
| 9. | 44 Gardner Street (LUHD-582) | -Recommended Approval |
| 10. | 117 Bow Street (LUHD-584) | -TBD |
| 11. | 45 Richmond Street (LUHD-586) | -Recommended Approval |
| 12. | 2 Bow Street (LUHD-588) | -TBD |
| 13. | 17 Pray Street (LUHD-587) | -TBD |
| 14. | 179 Pleasant Street (LUHD-589) | -Recommended Approval |

- | | | |
|-----|---------------------------------|------|
| 15. | 64 Vaughan Street (LUHD-591) | -TBD |
| 16. | 28 New Castle Avenue (LUHD-590) | -TBD |

1. 11 Sheafe Street

- Request to Postpone

Background: The applicant is seeking approval for exterior siding, roofing, and HVAC equipment.

Staff Comment: Postponement

Stipulations:

1. _____
2. _____
3. _____

2. 15 Congress Street

- Recommended Approval

Background: The applicant is seeking approval for the removal of existing awnings and new signage.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

LUHD-576

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 7, 2023**Applicant**

Kelly Danner
kelly@sundancesign.com
89 Oak St
Dover, NH 03820
603-742-1517

Primary Location

15 CONGRESS ST
Portsmouth, NH 03801

Owner:

WENBERRY ASSOC LLC & C/O CP MANAGEMENT INC
11 COURT ST STE 100 EXETER, NH 03833

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Remove awnings

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Sign contractor

Full Name (First and Last)

Michael Leary

Business Name (if applicable)

Sundance Sign Co.

Mailing Address (Street)

89 Oak St

City/Town

Dover

State

NH

Zip Code

03820

Phone

6037421517

Email Address

mike@sundancesign.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



Proof 3.3
1/31/23

89 OAK STREET DOVER, NH 03820 • 603-742-1517

Company: Thirsty Moose

Job: Portsmouth Combined

Type: Wall Sign

Quantity: 1

Size:

Wall Sign: 306" x 18.75" (40sqft)

Frontage: 32'

Sides: 1

Style: Reverse Channel Letters
Halo Lit w/ LEDs

Substrate: Aluminum

Brackets: Stud Mounted

Colors: TM Banded / Exact TBD

Install: Yes

PROPOSED

306" x 18.75"

THIRSTY MOOSE TAPHOUSE

Reverse Channel Letters - Halo Lit
4" deep aluminum letters - Rust / Color Finish
Antlers Copper / TBD

REMOVED AWNINGS

**SHORTEN AWNING
OVER WINDOWS**



OFFICE:

Field Measurement: Verified [] / Need

Art: Approved []

Quoted: [] 50%\$ []

Materials: Ordered []

Complete: [] Cust Called []

All proofs and drawings are original unpublished artwork, owned by Sundance Sign Company. Artwork is protected under the U.S. Copyright laws. It is being submitted for your viewing only, and is not to be shown to anyone outside of your organization. Any use, reproduction, copying or exhibiting this drawing without express written consent of Sundance Sign Company will constitute your agreement to incur all expenses involved with the creation of this drawing, and all legal costs to acquire those costs if required. I have verified the accuracy of all graphics shown with respect to sizes and content. The specifications are correct and represent our order requirements exactly. I authorize release to production according to this approval submittal.

Customer Approval _____

Date: _____



Proof 3.3
1/31/23

89 OAK STREET DOVER, NH 03820 • 603-742-1517

Company: Thirsty Moose

Job: Portsmouth Combined

Type: Wall Sign

Quantity: 1

Size:

Wall Sign: 306" x 18.75" (40sqft)

Sides: 1

Style: Reverse Channel Letters
Halo Lit w/ LEDs

Substrate: Aluminum

Brackets: Stud Mounted

Colors: TM BRedned / Exact TBD

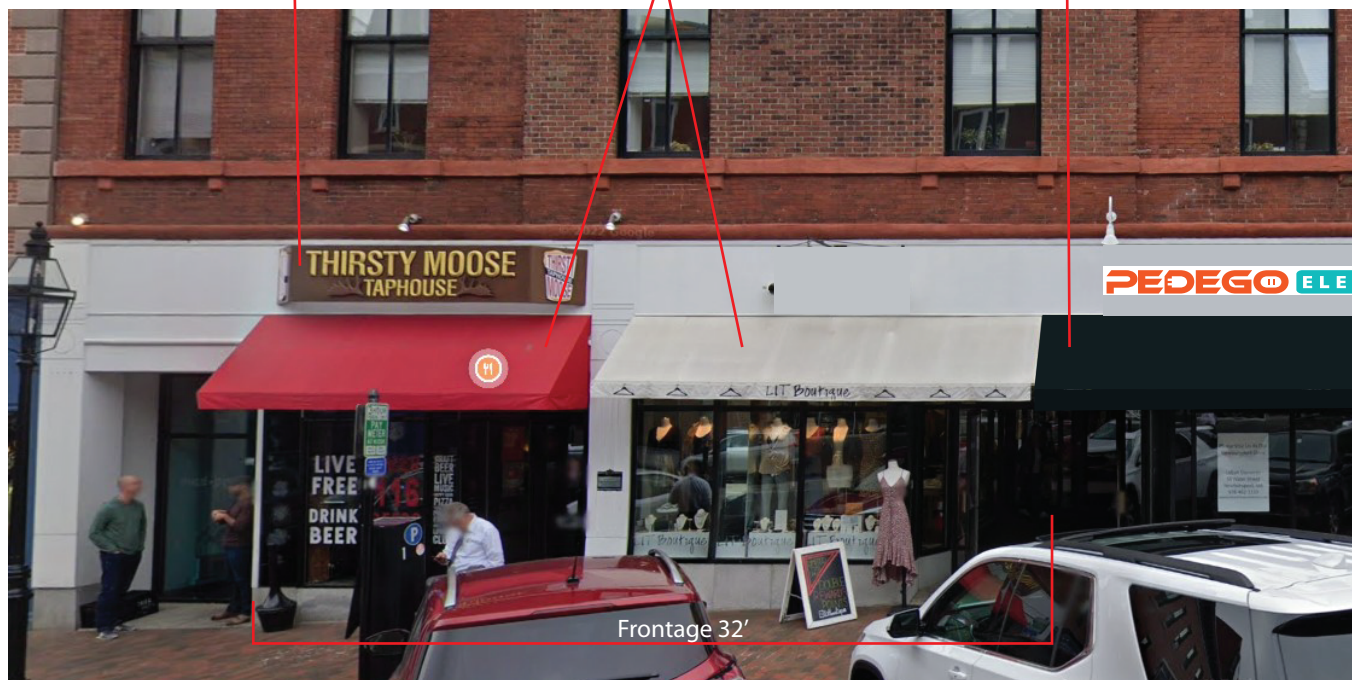
Install: Yes

EXISTING

REMOVING SIGN

REMOVING AWNINGS

**SHORTEN AWNING
OVER WINDOWS**



OFFICE:

Field Measurement: Verified [] / Need

Art: Approved []

Quoted: [] 50%\$ []

Materials: Ordered []

Complete: [] Cust Called []

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Customer Approval _____

Date: _____

3. 57 Salter Street, Unit 2

- Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

LUHD-577

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 8, 2023**Applicant**

Brian Russell
brianrphinc@gmail.com
35 Third Street
Dover, NH 03820
603-765-6976

Primary Location

57 SALTER ST Unit 2
Unit 2
Portsmouth, NH 03801

Owner:

POSTERNAK DANIEL L REV TRUST & POSTERNAK DANIEL L TRUSTEE
57 SALTER ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Replacing existing gas hydronic in floor heat with ducted furnace hvac system. Furnace would vent next to existing vent and outdoor condenser unit would be wall hung above existing outdoor condenser.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Dan Posternak

Business Name (if applicable)

--

Mailing Address (Street)

57 Salter street

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603-396-2832

Email Address

Dan@roundaboutdiner.com

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Authorized contractor for hvac installation service

Full Name (First and Last)**Business Name (if applicable)**



Existing condenser shown. Proposed condenser in same area.



Physical and Electrical Data

MODEL	TCHD18 S41S3	TCHD24 S41S3	TCHD30 S41S3	TCHD36 S41S3	TCHD48 S41S3	TCHD60 S41S3
Unit Supply Voltage	208-230V, 1 ϕ , 60Hz					
Normal Voltage Range ¹	187 to 252					
Minimum Circuit Ampacity	11.8	17.4	17.5	23.1	27.1	34.3
Max. Overcurrent Device Amps ²	20	30	30	40	45	60
Min. Overcurrent Device Amps ³	15	20	20	25	30	35
Compressor Amps	Type	Scroll	Scroll	Scroll	Scroll	Scroll
	Rated Load	9.0	13.5	12.8	17.3	20.5
	Locked Rotor	48.0	58.3	64.0	96.7	115.0
Crankcase Heater	Yes	Yes	Yes	Yes	Yes	Yes
Factory External Discharge Muffler	No	No	No	No	No	No
Factory External Check Valve	No	No	No	No	No	No
HS Kit Required with TXV ⁴	No	No	No	No	No	No
Fan Diameter Inches	17.5	17.5	23	23	23	23
Fan Motor	Rated HP	1/8	1/8	1/4	1/4	1/4
	Rated Load Amps	0.6	0.6	1.5	1.5	1.5
	Nominal RPM	840	840	850	850	850
	Nominal CFM	1150	1150	3200	3200	3050
Coil	Face Area Sq. Ft.	5.76	5.76	11.96	11.96	13.96
	Rows Deep	1	1	1	1	1
	Fins / Inch	23	23	23	23	23
Refrigerant Lines ⁵	Max. Length	200	200	200	200	200
	Max. Lift	65	65	65	65	65
	Max. Drop	150	150	150	150	150
	Liquid Line Set OD (Field Installed)	3/8	3/8	3/8	3/8	3/8
	Vapor Line Set OD (Field Installed)	3/4	3/4	3/4	3/4	7/8
Unit Charge (Lbs. - Oz.) ⁶	2 - 10	3 - 5	4 - 0	4 - 8	5 - 5	5 - 6
Charge Per Foot, Oz.	0.62	0.62	0.62	0.62	0.67	0.67
Operating Weight Lbs.	130	135	195	215	240	250

1. Rated in accordance with AHRI Standard 110-2012, utilization range "A".

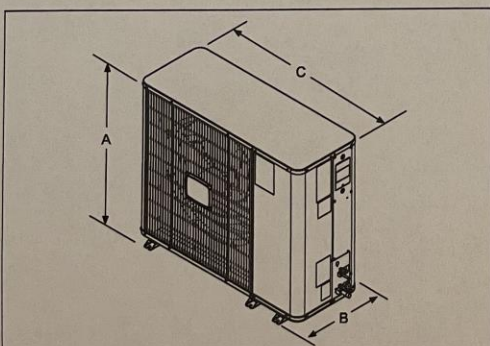
2. Dual element fuses or HACR circuit breaker. Maximum allowable overcurrent protection.

3. Dual element fuses or HACR circuit breaker. Minimum recommended overcurrent protection.

4. See Hard Start Kit Accessory Installation Manual for Hard Start Kit part number for each model.

5. When more than 50 feet of interconnecting tubing and more than 30 feet of vertical lift is used, consult the Application Data (part number 247077). For long-line applications, interconnecting lines over 100 feet must be installed with liquid line solenoid.

6. The Unit Charge is correct for the outdoor unit, smallest matched indoor unit, and 15 feet of refrigerant tubing. For tubing lengths other than 15 feet, add or subtract the amount of refrigerant, using the difference in length multiplied by the per foot value.



Unit Model	Dimensions (Inches)			Refrigerant Connection Service Valve Size	
	A	B	C	Liquid	Vapor
18	25-1/4	17-1/2	37-1/4	3/8	3/4
24	25-1/4	17-1/2	37-1/4		
30	37-1/4	20	45		
36	37-1/4	20	45		
48	43-1/4	20	45		7/8
60	43-1/4	20	45		

All dimensions are in inches and are subject to change without notice.

Overall height is from bottom of mounting feet to top of unit.

Overall length and width include mounting feet and screw heads.

4. 60 Penhallow Street - TBD

Background: The applicant is seeking approval for changes to a previously approved design (trim, exhaust vent, art-stone chimney mural).

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



LUHD-578

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Feb 9, 2023

Applicant

Tracy Kozak
tracyskozak@gmail.com
3 Congress Street, Suite 1
Portsmouth, New Hampshire 03801
603-731-5187

Primary Location

60 PENHALLOW ST
Portsmouth, NH 03801

Owner:

DAGNY TAGGART LLC
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Minor revisions to previously approved application: trim, exhaust vent, art-stone chimney mural

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

architect

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted



HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

60 PENHALLOW STREET

AT

BRICK MARKET

HDC REVISION 8 - FEBRUARY 10, 2023

HDC - REV 8 SHEET LIST	
Sheet Number	Sheet Name
H8.1	COVER
H8.2	NORTH ELEVATION (DANIEL ST) PROPOSED
H8.3	EAST ELEVATION (PENHALLOW ST) PROPOSED
H8.4	SOUTH ELEVATION (SOUTH ALLEY) PROPOSED
H8.5	WEST ELEVATION (WEST ALLEY) PROPOSED
H8.6	NORTH FACADE ENLARGED
H8.7	PENHALLOW ST TAKE-OUT WINDOW
H8.8	ALLEY FASCIA & KITCHEN VENT
H8.9	CHIMNEY DETAILS - PREVIOUSLY APPROVED
H8.10	CHIMNEY 3D VIEWS



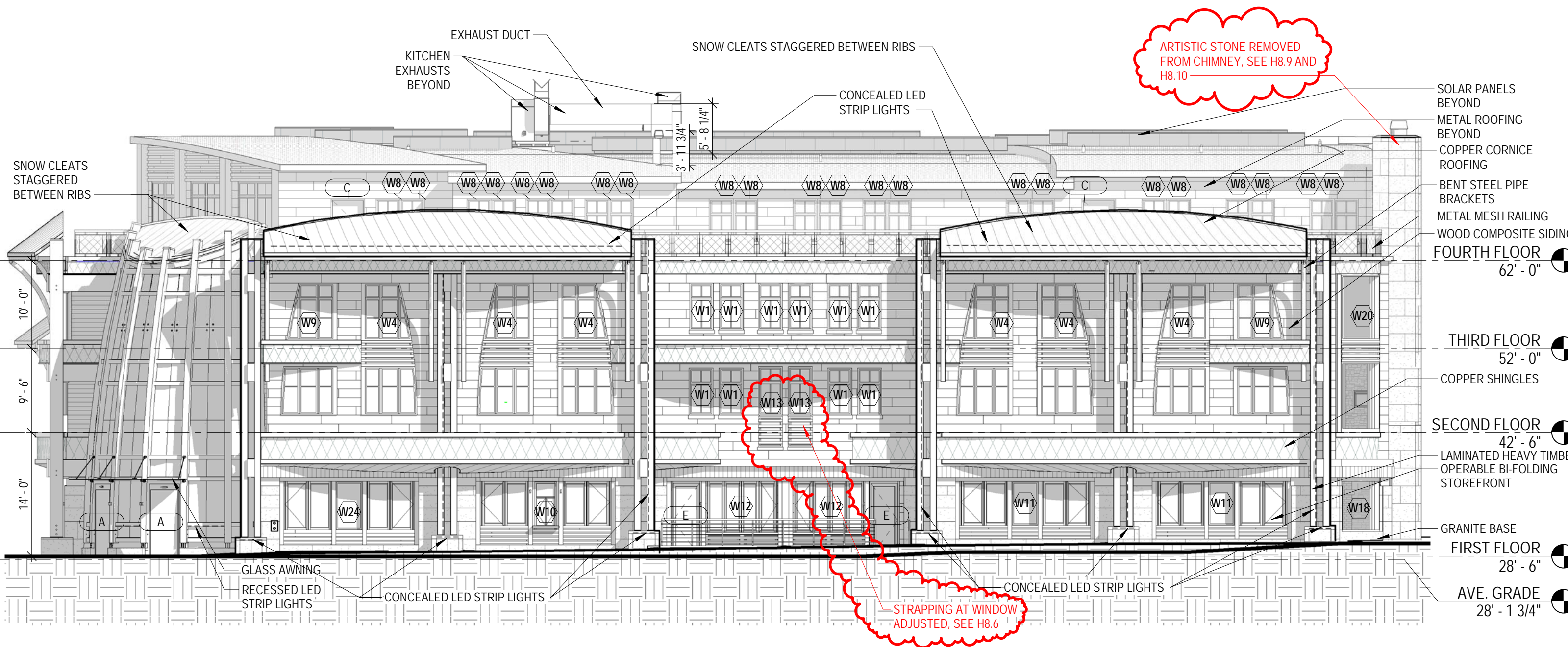
SUMMARY OF REVISIONS

1. At North facade adjustment to trim at center windows
2. At Penhallow St., takeout window counter raised
3. At South Alley, vent added for 2nd floor common room cooktop
4. At South and West Alleys, fascia revised to patina green copper
5. At West Alley, remove artistic stonework from chimney

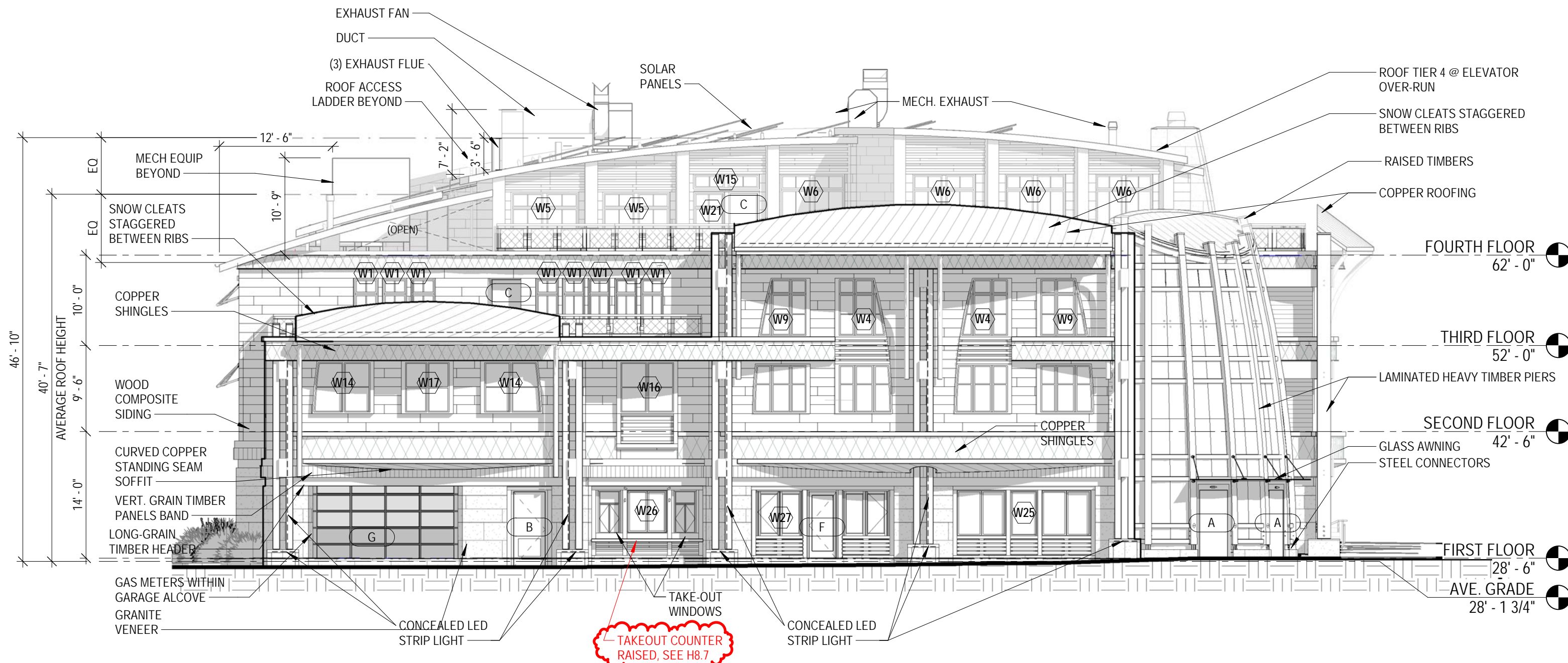
H8.1

COVER

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 8, 2/10/2023



1 NORTH ELEVATION - DANIEL ST
3/32" = 1'-0"



1 EAST ELEVATION - PENHALLOW STREET
3/32" = 1'-0"

H8.3

EAST ELEVATION (PENHALLOW ST) PROPOSED

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 8, 2/10/2023



PREVIOUSLY APPROVED TRIM
CONNECTS TO WINDOW ABOVE

PREVIOUSLY APPROVED TRIM HAS
6 STRAPS INCLUDING BASE

PREVIOUSLY APPROVED TRIM



AS-BUILT TRIM ON NORTH FACADE



PROFORMA BAND ABOVE STRAPPING

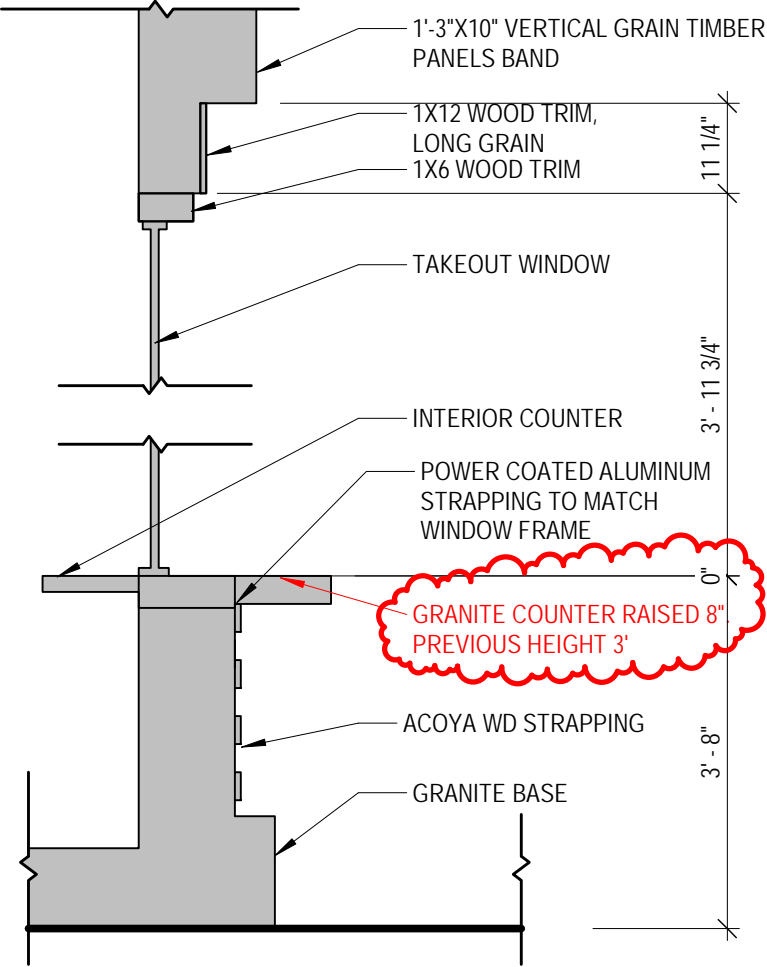
5 STRAPS

MINIMAL SILL AND JAMBS

AS-BUILT TRIM ON NORTH FACADE



PROPOSED TAKEOUT COUNTER HEIGHT



2 HDC EAST TAKE OUT WINDOW ELEVATION
1/2" = 1'-0"

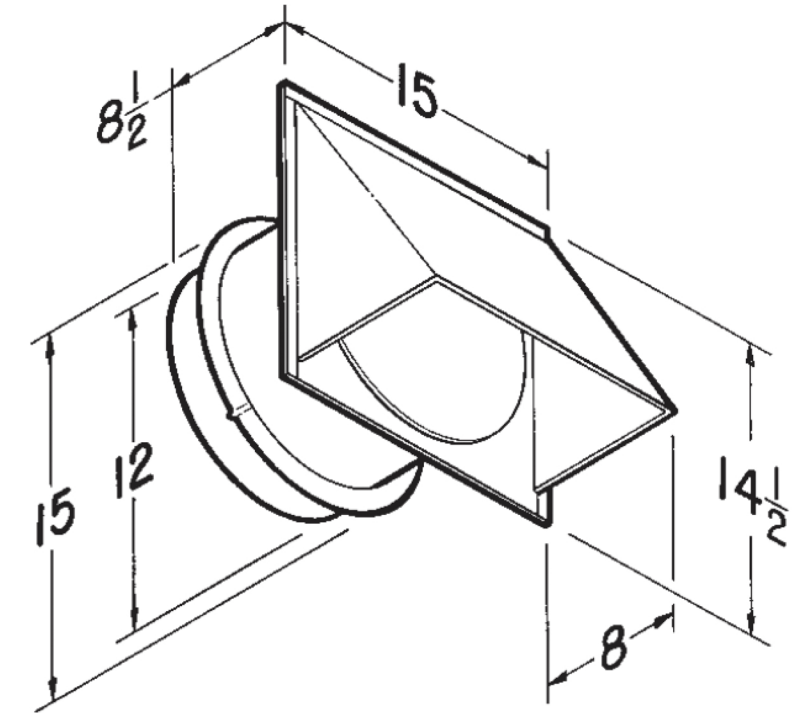
H8.7

PENHALLOW ST TAKE-OUT WINDOW

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 8, 2/10/2023



LOCATION OF PROPOSED KITCHEN VENT



Model 613

- For 12" round duct
- High capacity
- Built-in backdraft damper and bird screen
- .025 Aluminum - natural finish

FIELD PAINTED TO MATCH FACADE

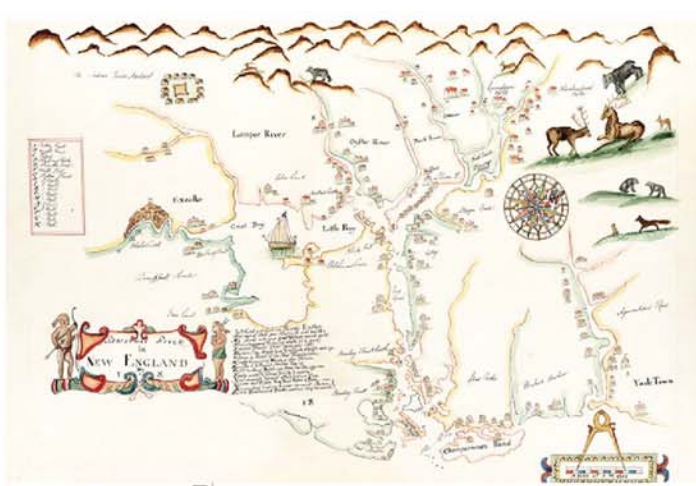
H8.8

ALLEY FASCIA & KITCHEN VENT

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 8, 2/10/2023

JSA

ARCHITECTS
INTERIORS
PLANNERS



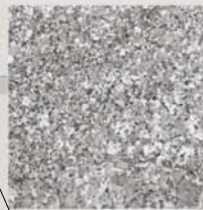
Old Map (mid-1600s) of Piscataqua River



MASONRY STONE & BOND PATTERN - ARTIST CONCEPT



New England Farmer Wall with Granite Field Stones



Deer Island Granite

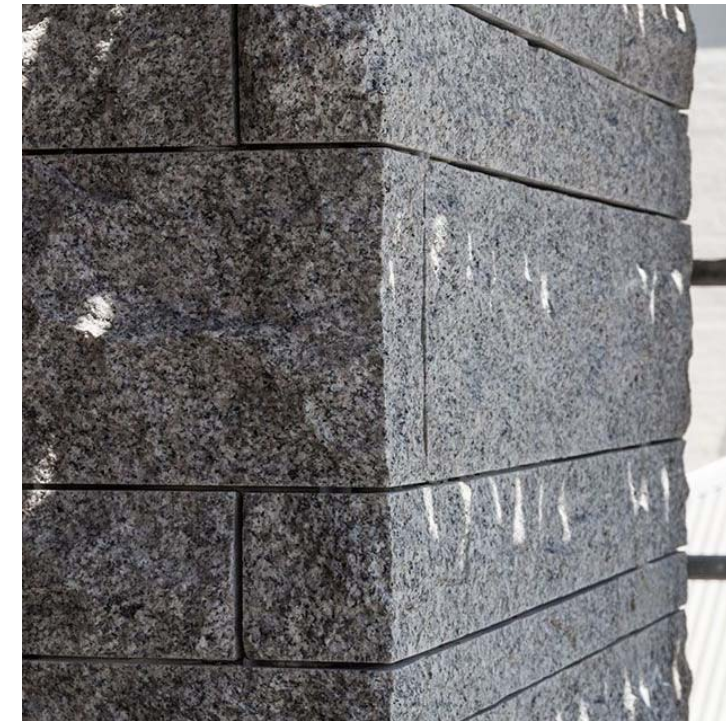


Stenson Granite



Coastal New Hampshire 2100 Flood Scenario with Climate Change

PREVIOUSLY APPROVED ARTISTIC STONE ON CHIMNEY



CUT STONE, FLAMED FINISH

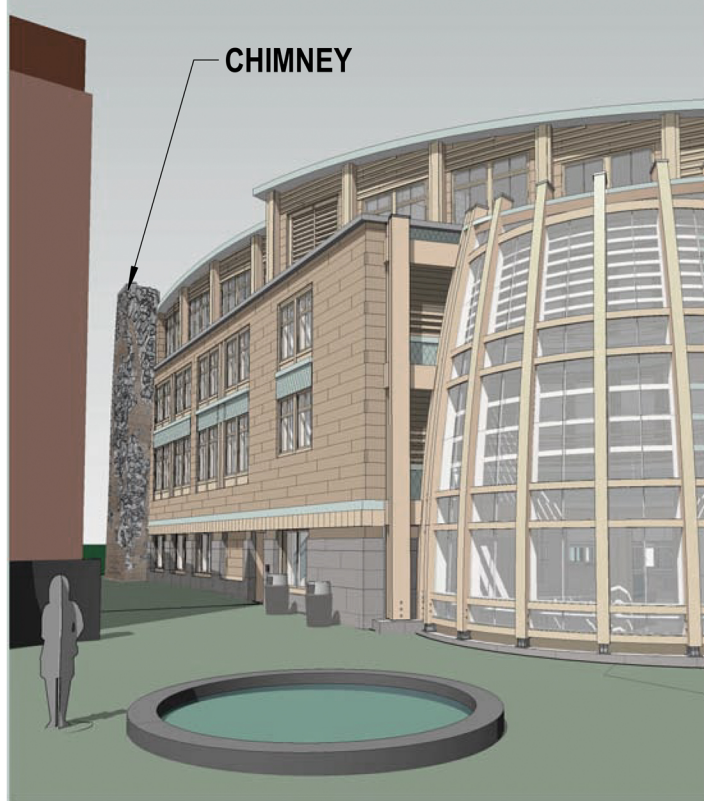


FIELD STONE, NATURAL FINISH

H8.9

CHIMNEY DETAILS - PREVIOUSLY APPROVED

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 8, 2/10/2023



PREVIOUSLY APPROVED VIEW FROM SW
COURTYARD w/ ARTISTIC STONEWORK



PREVIOUSLY APPROVED VIEW FROM DANIEL STREET w/ ARTISTIC
STONEWORK



PROPOSED VIEW FROM DANIEL STREET



PROPOSED VIEW FROM SW COURTYARD

H8.10

CHIMNEY 3D VIEWS

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 8, 2/10/2023

JSA

ARCHITECTS
INTERIORS
PLANNERS

5. 63 Islington Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of new glass store-front windows and necessary repair work.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-578

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Feb 9, 2023

Applicant

Tracy Kozak
tracyskozak@gmail.com
3 Congress Street, Suite 1
Portsmouth, New Hampshire 03801
603-731-5187

Primary Location

60 PENHALLOW ST
Portsmouth, NH 03801

Owner:

DAGNY TAGGART LLC
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Minor revisions to previously approved application: trim, exhaust vent, art-stone chimney mural

Description of Proposed Work (Planning Staff)

--

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architect

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted



HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--









Series 403 2" x 4 1/2" Thermal Storefront Framing



CONFIGURATIONS

Shear Block • Screw Spline

This economical flush glaze system is available in both shear block and screw spline fabrication methods. Series 403 Storefront can accommodate all standard 1 3/4" Entrances as well as WV410 vents. This series is thermally broken, enhancing energy savings potential. Vertical mullions will accept steel reinforcement to enhance structural performance.

Features

Thermally broken frames

Screw spline construction

Shear block construction

The optional Roto-Vent™ ventilator

2-way corner mullions (90° & 135°)

3-way corner mullions (T-mullions)

0°-15° and 15°-30° variable mullions

Accommodates up to 1 1/16" glazing

Uniform glazing gasket is used for exterior and interior

Various height intermediate horizontals and sills

Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.

Anodized or painted finishes available

Benefits

Enhanced thermal performance

Allows assembly of sections prior to installation

Decreases installation time

Ability to erect on the job site

Allows fresh air into the room, yet maintains security

Design flexibility

Multifaceted elevations

Custom applications

Expands design and energy savings options

Allows optimized use of gasket

Simplifies ordering and installation

Ability to maintain desired sight line

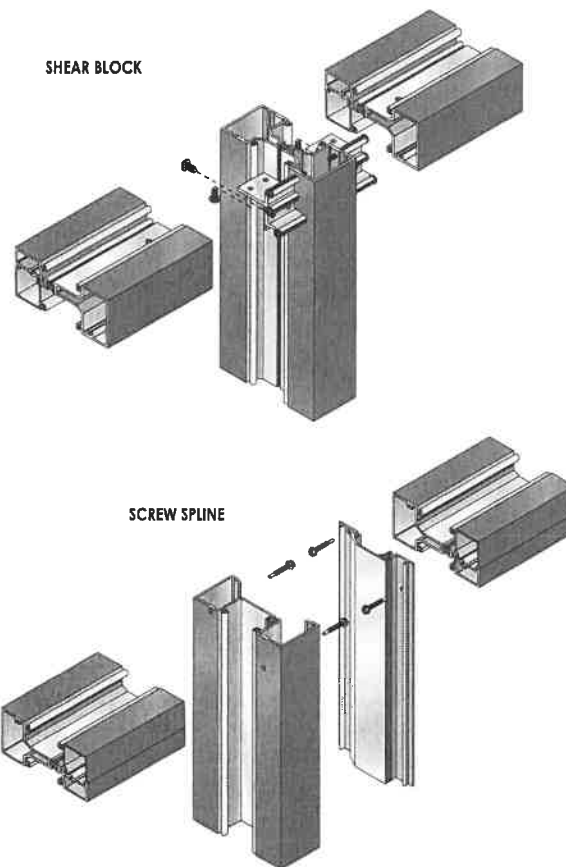
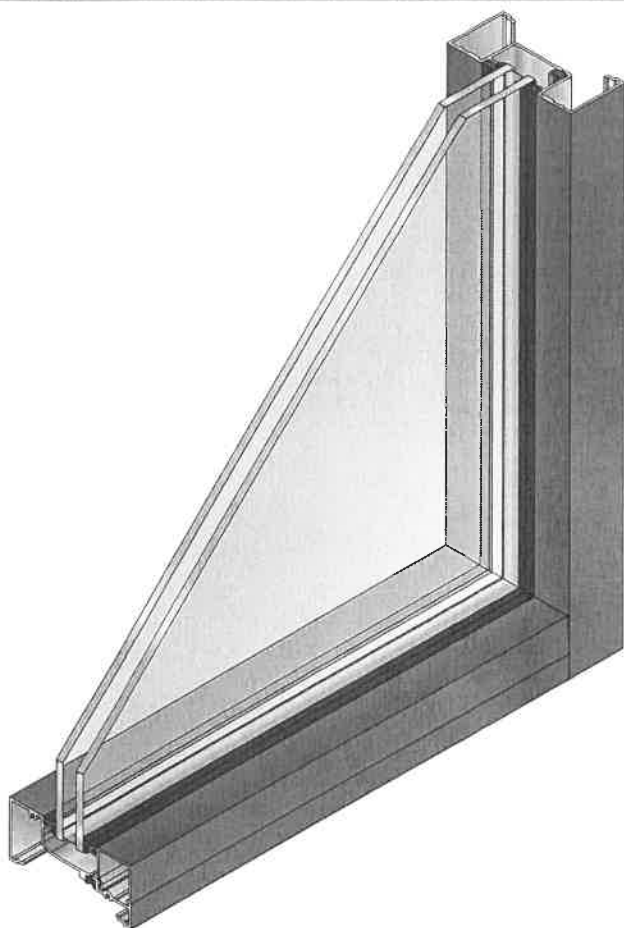
Increased product versatility

Multiple options to answer economic and aesthetic concerns



Series 403

2" x 4 1/2" Thermal Storefront Framing



PERFORMANCE DATA

SYSTEM 403 STOREFRONT SCREW SPLINE FRAMING

AIR INFILTRATION	<.06 CFM/SF @ 6.24 PSF
WATER	NO LEAKAGE @ 12.0 PSF
STRUCTURAL	visit MyEFCO at www.efcoco.com
CRF-FRAME (1503-98)	57 ^E
CRF-GLASS (1503-98)	70 ^E

SYSTEM 403 STOREFRONT SHEAR BLOCK FRAMING

AIR INFILTRATION	<.06 CFM/SF @ 6.24 PSF
WATER	NO LEAKAGE @ 12.0 PSF
STRUCTURAL	visit MyEFCO at www.efcoco.com
CRF-FRAME (1503-98)	57 ^{A, E}
CRF-GLASS (1503-98)	70 ^{A, E}

A = Estimated values and/or designations
 B = Non-standard size or configuration
 C = Dual glazed
 D = 1" Insulated - 1/4" clear, 1/2" air, 1/4" clear
 E = 1" Insulated - 1/4" clear (Low Emissivity), 1/2" air, 1/4" clear
 F = 1" Insulated - 1/4" clear (Low Emissivity), 1/2" argon, 1/4" clear
 G = 1" Insulated - 1/4" clear, 1/2" air, 1/4" clear (Low Emissivity)

403 THERMAL U-FACTORS*		
CENTER OF GLASS U-FACTOR	CONFIGURATION AND SIZE	
	FIXED**	FIXED
	78 3/4" X 78 3/4"	120" X 120"
0.46	0.55	0.52
0.34	0.46	0.41
0.30	0.42	0.38
0.24	0.38	0.33
0.20	0.34	0.29

* Based on NFRC 100
 **NFRC Gateway size

GLAZING

SYSTEM 403 CAN BE INSIDE OR OUTSIDE GLAZED WITH EXTRUDED ALUMINUM, SNAP-IN GLAZING BEAD. GLASS IS "DRY GLAZED" WITH TOP LOAD GASKET. GLAZINGS OF 3/16" TO 1-1/16" INFILL PANELS ARE ACCOMMODATED. SEE GLAZING CHART BELOW FOR EXACT SIZE.

SYSTEM 403 GLAZING CHART	POLYCARBONATE			GLASS OR PANEL												
	3/16"	1/4"	5/16"	3/16"	1/4"	1/4"***	5/16"	7/16"	1/2"	9/16"	5/8"	3/4"	7/8"	15/16"	1"	1-1/16"
MONOLITHIC GLASS	C	C	C	C	C	C	C									
INSULATED GLASS												C		C	A	C

*-Obscure glass thickness
 **-Laminated glass thickness

A-Available glazing option
 C-Adaptor and/or gasket required
 Blank - N/A



Series 403

2" x 4 1/2" Thermal Storefront Framing

Frame Construction

The frames have a depth of 4 1/2", and the nominal material wall thickness is .080". Members are extruded 6063-T6 aluminum alloy. Corner construction employs screw spline or shear block method. See Illustration 1 & 2.

Door Frames

System 403 offers integral System 402 entrance frames as a part of the entrance framing system. Members are nominally .080" in thickness.

Weather Stripping

All entrance frames are weather-stripped with bulb gasket.

Thermal Barrier

All frames and vents are thermally broken using the latest technology in two part, high density polyurethane.

Glazing

Series 403 can be inside or outside glazed with extruded aluminum, snap-in glazing bead. Glass is "dry glazed" with top load gasket. Glazings of 3/16" to 1 1/16" infill panels are accommodated. See Glazing Chart for exact size.

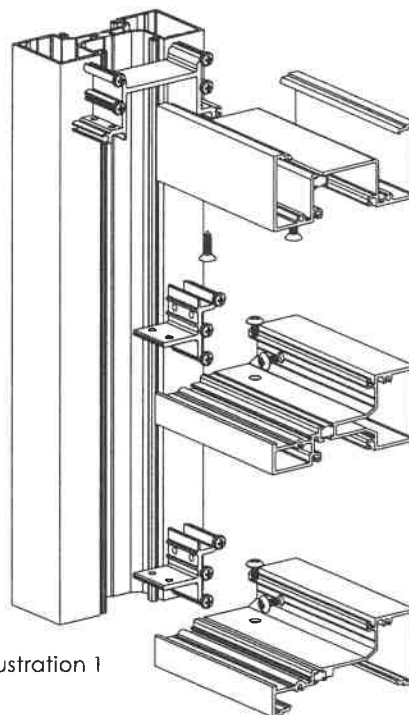


Illustration 1

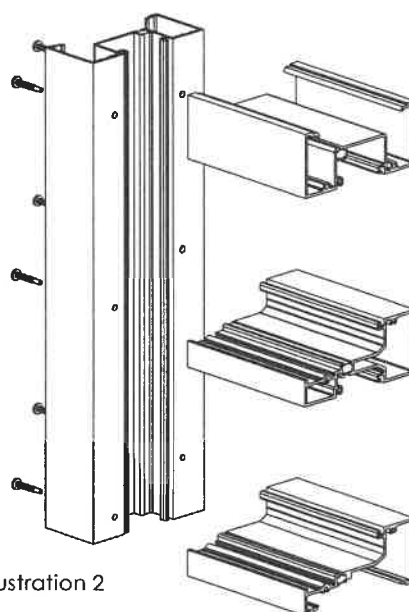


Illustration 2





4 Aviation Dr
Gilford, NH

Cell: (603) 387-7694
Office: (603) 528-4748 EXT 242
E-mail: pellioott@granitestateglass.com

Proposal

Proposal Submitted To:
Fisher Auto Parts
Attention:
Marion
Phone:
603-433-0038

Job Name:
Storefront Replacement
Quote #:
R22-14096

Date:
10/24/22

We hereby submit specifications and estimates for:

Demo & Disposal of Existing, Furnish and Install:

- **(1) EFCO 403 storefront** frame sized **191 1/2" x 86"** see 'Frame 1' elevation drawing.
- **Finish** of storefront to be **clear anodized**
- **Caulking** to be **DOWSIL CWS** to match.
- **Glazing** to be **1" insulated** incorporating **1/4"** clear annealed with **SolarBan60** on the #2 surface, **1/2"** air, **1/4"** clear annealed. **Tempered where required.**
- **1" Clear anodized, smooth,** insulated panel is to be used at the **3" section** of the storefront frame in front of the existing column.
- **Clear anodized brake metal** is to be bent and applied as flashing at the sill of this storefront for **proper flashing.**

Exclusions:

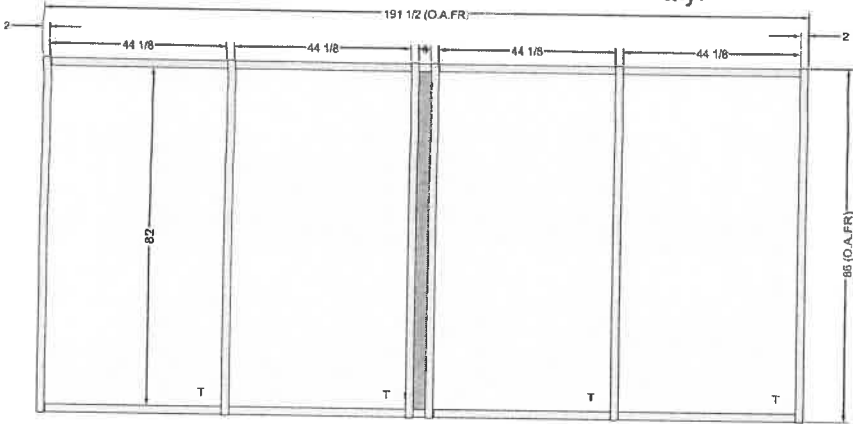
Wood blocking at head and jambs
Finish, final cleaning
Breakage by others
Protection of materials once installed
Materials not noted herein
Lead paint abatement
Brake metal
Hook up of electrical hardware
Non-standard or off hours schedule/weekends/nights
Testing, handling, or removal of hazardous materials

For the Above Work:

Nine Thousand One Hundred Eighty Dollars and 00/100..... **59,180.00**

Frame Set 1 / Frame 1

Qty: 1



6. 4 Rock Street, Unit 3

- Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

LUHD-581

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 15, 2023**Applicant**

Kathryn Coyle
polizzotto@gmail.com
660 Middle Street
Portsmouth, NH 03801
617-413-0325

Primary Location

4 ROCK ST Unit 3
Unit 3
Portsmouth, NH 03801

Owner:

COYLE KATE & COYLE KEVIN
660 MIDDLE ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Install mini split a/c unit with part of line set on exterior of building

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Kate Coyle

Business Name (if applicable)

--

Mailing Address (Street)

660 Middle St.

City/Town

Portsmouth

State

New Hampshire

Zip Code

03801

Phone

617-413-0325

Email Address

polizzotto@gmail.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

4 Rock Street, Unit 3
Kevin and Kate Coyle
617-413-0325
polizzotto@gmail.com

Request for Administrative Approval for Line-set installation on building

We are kindly requesting administrative approval to install a mini-split line set on the side of the building. We own the unit located on the second and third floor. Our proposal is to run the lines on the interior of the building up to the point of the floor of our unit. Then we would run it on the corner trim of recessed side of the building. Our intent is to paint the line set the same color as the trim on the house. We will have a condenser located in the same location on the ground.

We chose this location because it is the most recessed location and where there are other mechanical systems on that wall, it would keep the front of the building, free and clear of further mechanical systems. The rear of the building is not an option due to lot lines, as well an inability to access the electrical panel.

Below, please find two images. The first is of the building with the proposed set-line location highlighted in yellow. The second is of a proposed screen for the condenser. The condenser screen will be painted the same color as the main color of the house.

Thank you for your consideration.

Kevin and Kate Coyle



7. 303 Pleasant Street

- TBD

Background: The applicant is seeking approval for the removal/rebuilding of an existing rear entry staircase.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

LUHD-579**Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Feb 9, 2023**Applicant**

Mary Thomas
sarmcmatt@gmail.com
303 Pleasant Street
Portsmouth, NH 03801
603-969-3583

Primary Location

303 PLEASANT ST
Portsmouth, NH 03801

Owner:

THOMAS GREGORY R & THOMAS MARY D
303 PLEASANT ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Remove and replace badly deteriorating exterior stairs at back of building facing Washington Street. These stairs are not original to the house and are crumbling from the inside. Contractor to excavate and pour new concrete slab upon which concrete block will be set to form the majority of the structure. The structure will receive a veneer of reproduction brick while the landing and stairs will be quarried granite. A cast iron hand railing in period appropriate shape will be made by local blacksmith Peter Happney.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Gregory Thomas

Business Name (if applicable)

--

Mailing Address (Street)

303 Pleasant St

City/Town

Portsmouth

State

NH

Zip Code

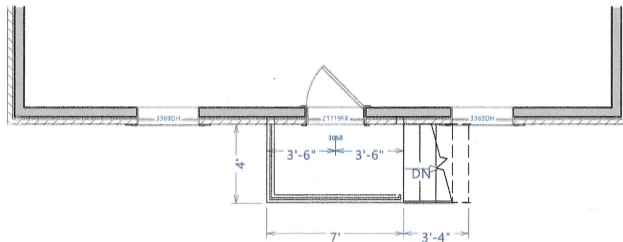
03801

Phone

603-319-7822

Email Address

grthomas82@gmail.com

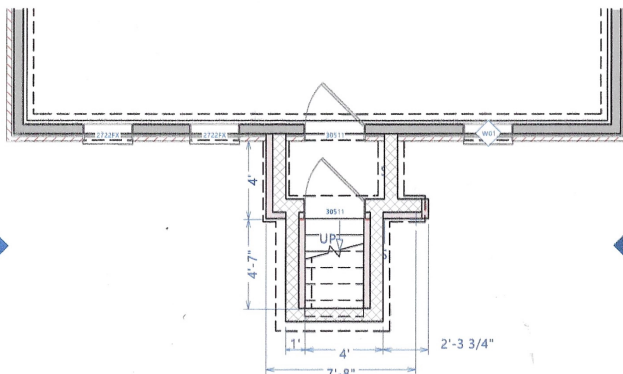


FIRST FLOOR PLAN

1/2" = 1'-0"

WALL SCHEDULE		
ID SYMBOL	WALL TYPE	WALL CONSTRUCTION
13W011	8" CMU (BLOCK) STEM WALL	GREY-BLOCKS RUNNING BOND - 8"
13W012	8" CMU (BLOCK) STEM WALL W/ BRICK VENEER	RED BRICK - 4", GREY-BLOCKS RUNNING BOND - 8"

WINDOW SCHEDULE					
3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	DIMENSIONS	DESCRIPTION
	W01	2722FX	1	30 1/2"X26"FX	31 1/2"X27" FIXED GLASS



FOUNDATION PLAN

1/2" = 1'-0"



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Permitted Use Only

Owner:
Designer:
Reviewer:
Locator:

DATE:

2/2/2023

SCALE:

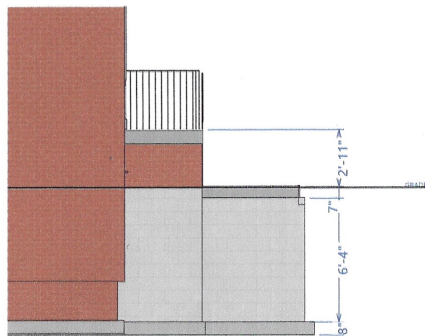
1/4" = 1'-0"

SHEET:

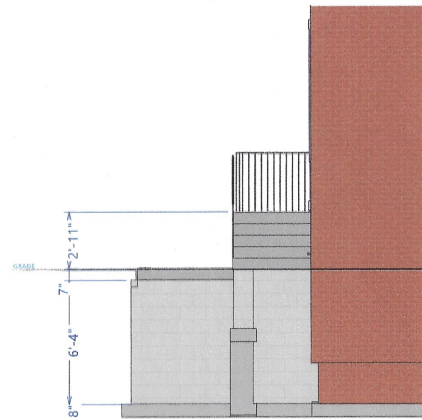
A100



ELEVATION 1- FRONT
1/2" = 1'-0"



ELEVATION 2- LEFT
1/2" = 1'-0"



ELEVATION 3- RIGHT
1/2" = 1'-0"

REVISIONS
DATE
BY
REVISION
DATE
BY

Designation: History
Location: Portsmouth, NH

Date:
Location:
Location:

DATE:
2/2/2023

SCALE:
1/4" = 1'-0"

SHEET:
A100



EXTERIOR 1



EXTERIOR 2



EXTERIOR 3



EXTERIOR 4

REVISIONS
NO. DESCRIPTION
1. 02/02/2023
2. 02/02/2023
3. 02/02/2023

Design: [blank]
Drawn by: [blank]
Reviewed: [blank]
Permitted: [blank]

DATE:
2/2/2023

SCALE:
1/8" = 1'-0"

SHEET:
A100

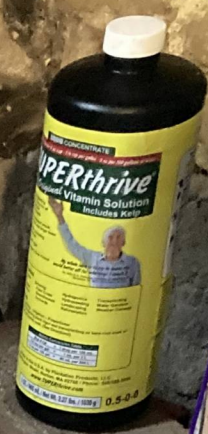


















8. 70 Court Street - TBD

Background: The applicant is seeking approval for the installation of HVAC equipment. Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

LUHD-567

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Jan 11, 2023**Applicant**

Sarah Hourihane
sarah@lasselarchitects.com
370 Main Street
South Berwick, ME 03908
603-553-6911

Primary Location

70 COURT ST
Portsmouth, NH 03801

Owner:

DAVENPORT INN LLC
266 MIDDLE ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Removal of existing ground level AC condensers and wall mounted condenser to be replaced with 3 stacks of heat pump condensers in similar location as existing.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

John Samonas

Business Name (if applicable)

--

Mailing Address (Street)

--

City/Town

--

State

--

Zip Code

--

Phone

--

Email Address

--

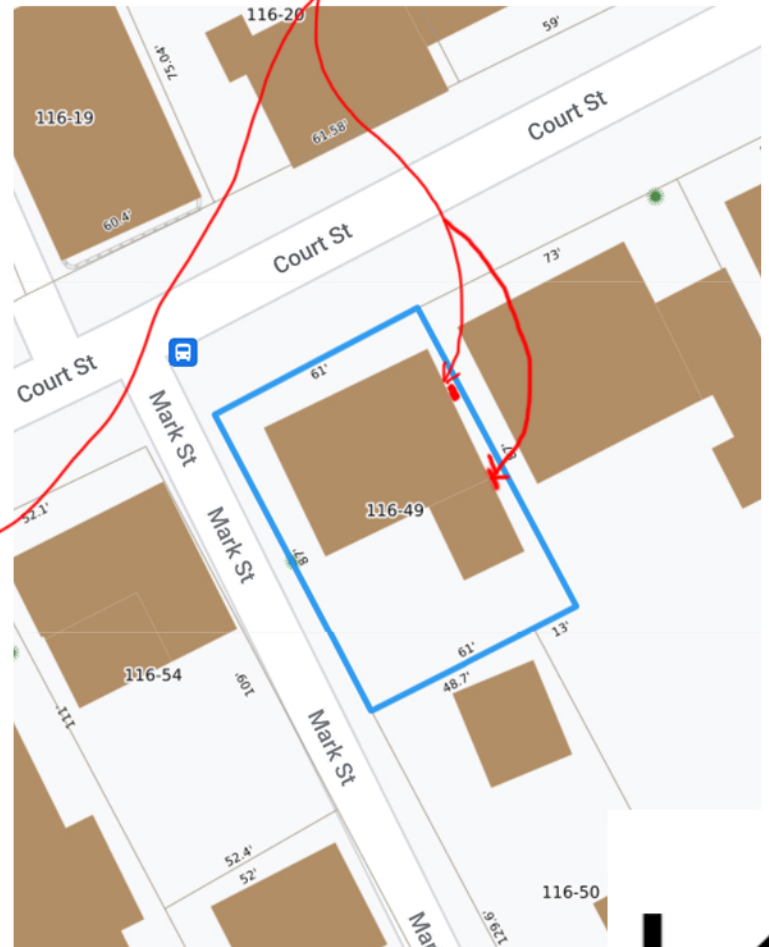
Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**



EXISTING

VIEW FROM COURT STREET

REMOVE EIXSTING GROUND
MOUNTED CONDENSER AND
WALL MOUNTED CONDENSER.



THE DAVENPORT
70 COURT STREET
1/6/22





3 STACKS OF PROPOSED
NEW CONDENSING UNITS
ON 12"x24" CONCRETE
PADS

THE DAVENPORT
70 COURT STREET
1/6/22

MSZ-FS18NA & MUZ-FS18NAH
18,000 BTU/H DELUXE WALL-MOUNTED INDOOR UNIT
18,000 BTU/H HYPER-HEATING OUTDOOR UNIT W/BASE PAN HEATER



Job Name:

System Reference:

Date:



Indoor Unit.....MSZ-FS18NA

Outdoor Unit.....MUZ-FS18NAH



A
QUANTITY (1)

INDOOR UNIT FEATURES

- Slim wall-mounted indoor units provide zone comfort control
- Dual Barrier Coating applied to the heat exchanger, vanes and fan to prevent hydrophilic and hydrophobic dirt build-up
- Multiple fan speed options: Quiet, Low, Medium, High, Super-high, Auto
- 3D i-see Sensor® enables advance features:
 - Indirect or Direct Airflow for personalized comfort
 - Absence Detection for energy-saving mode
- Double Vane features:
 - Separates airflow to deliver air across a large area
 - Simultaneously deliver to air separate sections of a room
 - Generates more comfortable natural airflow pattern
- Multiple control options available:
 - Back-lit screen handheld remote controller (provided with unit)
 - kumo cloud® smart device app for remote access
 - Third-party interface options
 - Wired or wireless controllers
- Triple-action Filtration: Nano Platinum Filter, Deodorizing Filter, & Electrostatic Anti-Allergy Enzyme Filter
- Hot-Start Technology: no cold air rush at equipment startup or when restarting after Defrost Cycle
- Quiet operation

OUTDOOR UNIT FEATURES

- INVERTER-driven compressor and LEV provide high efficiency and comfort while using only the energy needed to maintain maximum performance
- H2i plus™ performance offers 100% heating capacity at -5° and 70% to 81% heating capacity at -13° F
- Blue Fin anti-corrosion treatment applied to the outdoor unit heat exchanger for increased coil protection and longer life
- Built-in base pan heater

SPECIFICATIONS: MSZ-FS18NA & MUZ-FS18NAH

Cooling at 95°F ¹	Maximum Capacity	BTU/H	21,000
	Rated Capacity	BTU/H	17,200
	Minimum Capacity	BTU/H	6,450
	Maximum Power Input	W	2,220
	Rated Power Input	W	1,375
	Moisture Removal	Pints/h	4.8
	Sensible Heat Factor		0.69
	Power Factor [208V / 230V]	%	98.0 / 98.0
Heating at 47°F ²	Maximum Capacity	BTU/H	30,000
	Rated Capacity	BTU/H	19,000
	Minimum Capacity	BTU/H	5,150
	Maximum Power Input	W	4,000
	Rated Power Input	W	1,610
	Power Factor [208V / 230V]	%	98.0 / 98.0
Heating at 17°F ³	Maximum Capacity	BTU/H	27,000
	Rated Capacity	BTU/H	12,800
	Maximum Power Input	W	3,820
	Rated Power Input	W	1,280
Heating at 5°F ⁴	Maximum Capacity	BTU/H	23,000
	Maximum Power Input	W	3,250
Heating at -5°F ⁶	Maximum Capacity	BTU/H	19,000
Heating at -13°F ⁷	Maximum Capacity	BTU/H	17,100
Efficiency	SEER		21.0
	EER ¹		12.5
	HSPF [IV]		12.0
	COP at 47°F ²		3.46
	COP at 17°F at Maximum Capacity ³		2.07
	COP at 5°F at Maximum Capacity ⁴		1.91
	COP at -5°F at Maximum Capacity ⁶		1.91
	COP at -13°F at Maximum Capacity ⁷		1.91
Electrical	ENERGY STAR® Certified		Yes
	Voltage, Phase, Frequency		208/230, 1, 60
	Guaranteed Voltage Range	V AC	187 - 253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Short-circuit Current Rating [SCCR]	kA	5
	Recommended Fuse/Breaker Size (Outdoor)	A	20
	Recommended Wire Size [Indoor - Outdoor]	AWG	14
Indoor Unit	Power Supply		Indoor unit is powered by the outdoor unit
	MCA	A	1.0
	Fan Motor Full Load Amperage	A	0.65
	Fan Motor Type		DC Motor
	Airflow Rate at Cooling, Dry	CFM	225–262–304–355–437
	Airflow Rate at Cooling, Wet	CFM	194–225–261–305–376
	Airflow Rate at Heating, Dry	CFM	201–272–350–410–514
	Sound Pressure Level [Cooling]	dB[A]	27–31–35–39–44
	Sound Pressure Level [Heating]	dB[A]	25–31–37–40–46
	Drain Pipe Size	In. [mm]	5/8 [15.88]
	Coating on Heat Exchanger		Dual Barrier Coating
	External Finish Color		Munsell 1.0Y 9.2/0.2
	Unit Dimensions	W x D x H: In. [mm]	36-7/16 x 9-3/16 x 12 (+11/16) [925 x 234 x 305 (+17)]
	Package Dimensions	W x D x H: In. [mm]	39 x 12-1/4 x 15-1/2 [990 x 310 x 400]
	Unit Weight	Lbs. [kg]	29 [13.5]
	Package Weight	Lbs. [kg]	34 [15.4]
Indoor Unit Operating Temperature Range	Cooling Intake Air Temp [Maximum / Minimum]*	°F	90 DB, 73 WB / 67 DB, 57 WB
	Heating Intake Air Temp [Maximum / Minimum]	°F	80 DB / 70 DB

NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

¹Cooling (Indoor // Outdoor)

²Heating at 47°F (Indoor // Outdoor)

³Heating at 17°F (Indoor // Outdoor)

°F 80 DB, 67 WB // 95 DB, 75 WB

°F 70 DB, 60 WB // 47 DB, 43 WB

°F 70 DB, 60 WB // 17 DB, 15 WB

Conditions

⁴Heating at 5°F (Indoor // Outdoor)

⁶Heating at -5°F (Indoor // Outdoor)

⁷Heating at -13°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 5 DB, 4 WB

°F 70 DB, 60 WB // -5 DB, -6 WB

°F 70 DB, 60 WB // -13 DB, -14 WB

*Indoor/Outdoor Unit Operating Temperature Range (Cooling Air Temp [Maximum / Minimum]):

• Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

**Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures; Heating Thermal Lock-out / Re-start Temperatures):

• System cuts out in heating mode to avoid thermistor error and automatically restarts at these temperatures.

SPECIFICATIONS: MSZ-FS18NA & MUZ-FS18NAH

Outdoor Unit	MCA	A	18.0
	MOCP	A	20
	Fan Motor Full Load Amperage	A	0.93
	Fan Motor Output	W	50
	Airflow Rate [Cooling / Heating]	CFM	1801 / 1949
	Refrigerant Control		LEV
	Defrost Method		Reverse Cycle
	Coating on Heat Exchanger		Blue Fin Coating
	Sound Pressure Level, Cooling ¹	dB(A)	52
	Sound Pressure Level, Heating ²	dB(A)	55
	Compressor Type		Twin Rotary
	Compressor Model		SNB172FQKMT
	Compressor Rated Load Amps	A	17
	Compressor Locked Rotor Amps	A	13.6
	Compressor Oil [Type // Charge]	oz.	FV50S // 0.40
	External Finish Color		Munsell 3Y 7.8/1/1
	Base Pan Heater		Built-in
	Unit Dimensions	W x D x H: In. [mm]	33-1/16 x 13 x 34-5/8 [840 x 330 x 880]
	Package Dimensions	W x D x H: In. [mm]	38-3/4 x 16-3/4 x 39 [980 x 420 x 990]
	Unit Weight	Lbs. [kg]	118 [53.5]
	Package Weight	Lbs. [kg]	135 [61]
Outdoor Unit Operating Temperature Range	Cooling Air Temp [Maximum / Minimum]*	°F	115 DB / 14 DB
	Cooling Thermal Lock-out / Re-start Temperatures**	°F	-4 / 0
	Heating Air Temp [Maximum / Minimum]	°F	75 DB, 65 WB / -13 DB, -14 WB
	Heating Thermal Lock-out / Re-start Temperatures**	°F	-18 / -14
Refrigerant	Maximum Charge Quantity	Lbs, oz	3.0, 7.0
	Initial Charge Quantity	Ft. [m]	25.0 [7.5]
	Additional Refrigerant Charge Per Additional Piping Length	oz./Ft. [g/m]	0.216 [20]
Piping	Gas Pipe Size O.D. [Flared]	In.[mm]	1/2 [12.7]
	Liquid Pipe Size O.D. [Flared]	In.[mm]	1/4 [6.35]
	Maximum Piping Length	Ft. [m]	100 [30]
	Maximum Height Difference	Ft. [m]	50 [15]
	Maximum Number of Bends		10

NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

¹ Cooling (Indoor // Outdoor)	°F	80 DB, 67 WB // 95 DB, 75 WB
² Heating at 47°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 47 DB, 43 WB
³ Heating at 17°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 17 DB, 15 WB

Conditions

⁴ Heating at 5°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 5 DB, 4 WB
⁶ Heating at -5°F (Indoor // Outdoor)	°F	70 DB, 60 WB // -5 DB, -6 WB
⁷ Heating at -13°F (Indoor // Outdoor)	°F	70 DB, 60 WB // -13 DB, -14 WB

*Indoor/Outdoor Unit Operating Temperature Range (Cooling Air Temp [Maximum / Minimum]):

- Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

**Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures; Heating Thermal Lock-out / Re-start Temperatures):

- System cuts out in heating mode to avoid thermistor error and automatically restarts at these temperatures.

INDOOR UNIT ACCESSORIES: MSZ-FS18NA

Control Interface	BACnet® and Modbus® Interface	PAC-UKPRC001-CN-1
	CN24 Relay Kit	CN24RELAY-KIT-CM3
	IT Extender	PAC-WHS01IE-E
	kumo station® for kumo cloud®	PAC-WHS01HC-E
	Lockdown bracket for remote controller	RCMKP1CB
	System Control Interface	MAC-334IF-E
	Thermostat Interface	PAC-US444CN-1
	Thermostat Interface	PAC-US445CN-1
	USNAP Adapter	PAC-WHS01UP-E
	Wireless Interface for kumo cloud®	PAC-USWHS002-WF-2
Remote Sensor	Wireless temperature and humidity sensor for kumo cloud®	PAC-USWHS003-TH-1
Wired Remote Controller	Deluxe Wired MA Remote Controller†	PAR-40MAAU
	Simple MA Remote Controller†	PAC-YT53CRAU-J
	Touch MA Controller†	PAR-CT01MAU-SB
Wireless Remote Controller	kumo touch™ RedLINK™ Wireless Controller	MHK2
Condensate	Blue Diamond (Advanced) Mini Condensate Pump w/ Reservoir & Sensor (208/230V) [recommended]	X87-721
	Blue Diamond (MicroBlue) Mini Condensate Pump (110/208/230V) up to 18,000 BTU/H	X86-003
	Blue Diamond Alarm Extension Cable — 6.5 Ft.	C13-192
	Blue Diamond MultiTank — collection tank for use with multiple pumps	C21-014
	Blue Diamond Sensor Extension Cable — 15 Ft.	C13-103
	Drain Pan Level Sensor/Control	SS610E
	Fascia Kit for MicroBlue Pump, mounts the MicroBlue and sensor directly beneath indoor unit	T18-016
	Refco Condensate Pump (100-240 VAC)	GOBI-II
	Refco Condensate Pump (100-240 VAC) up to 120,000 BTU/H	COMBI
	Sauermann Condensate Pump	SI30-230
Disconnect Switch	(30A/600V/UL) [fits 2" X 4" utility box] - Black	TAZ-MS303
	(30A/600V/UL) [fits 2" X 4" utility box] - White	TAZ-MS303W
Drain Hose	Flexible Mini-Split Drain Hose	DRX-16
Filter	Electro Static Anti-allergy Enzyme Filter	MAC-2330FT-E
	Platinum Deodorizing Filter	MAC-3000FT-E
Lineset	15' x 1/4" x 15' / 1/2" Lineset (Twin-Tube Insulation)	MLS141212T-15
	30' x 1/4" x 30' / 1/2" Lineset (Twin-Tube Insulation)	MLS141212T-30
	50' x 1/4" x 50' / 1/2" Lineset (Twin-Tube Insulation)	MLS141212T-50
	65' x 1/4" x 65' / 1/2" Lineset (Twin-Tube Insulation)	MLS141212T-65

NOTES:

†Requires MAC-334IF-E

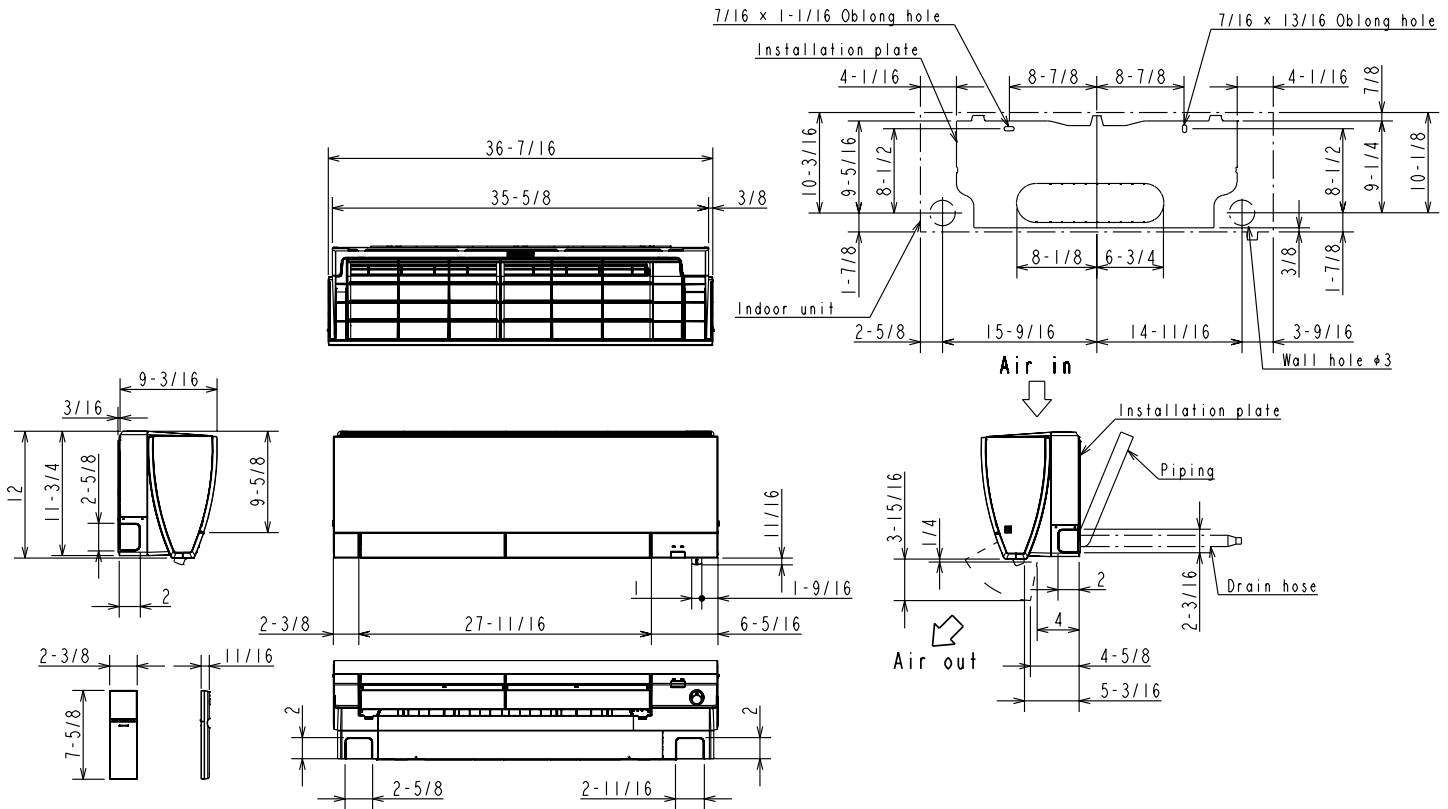
- M-Series EZ FIT® Recessed Ceiling Cassette, Floor-mount and Wall-mount
Allows indoor units to connect to an MA Controller:
Deluxe MA Remote Controller
Simple MA Controller
Touch MA Controller

OUTDOOR UNIT ACCESSORIES: MUZ-FS18NAH

Air Outlet Guide	Air Outlet Guide	MAC-890SG-E
Drain Socket	Drain Socket	MAC-871DS
Hail Guards	Hail Guard	HG-A7
Mini-Split Wire	14 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S144-250
	14 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S144-50
	16 Gauge, 4 wire MiniSplit Cable—250 ft. roll	S164-250
	16 Gauge, 4 wire MiniSplit Cable—50 ft. roll	S164-50
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket - Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M

INDOOR UNIT DIMENSIONS: MSZ-FS18NA

Unit: inch



(06/09/12 KBTU/H)

Piping	Insulation	1-7/16 O.D.
	Liquid line	1/4 19-11/16 (Flared connection 1/4)
	Gas line	3/8 16-15/16 (Flared connection 3/8)
Drain hose	Insulation	1-1/8 Connected part 5/8 O.D.

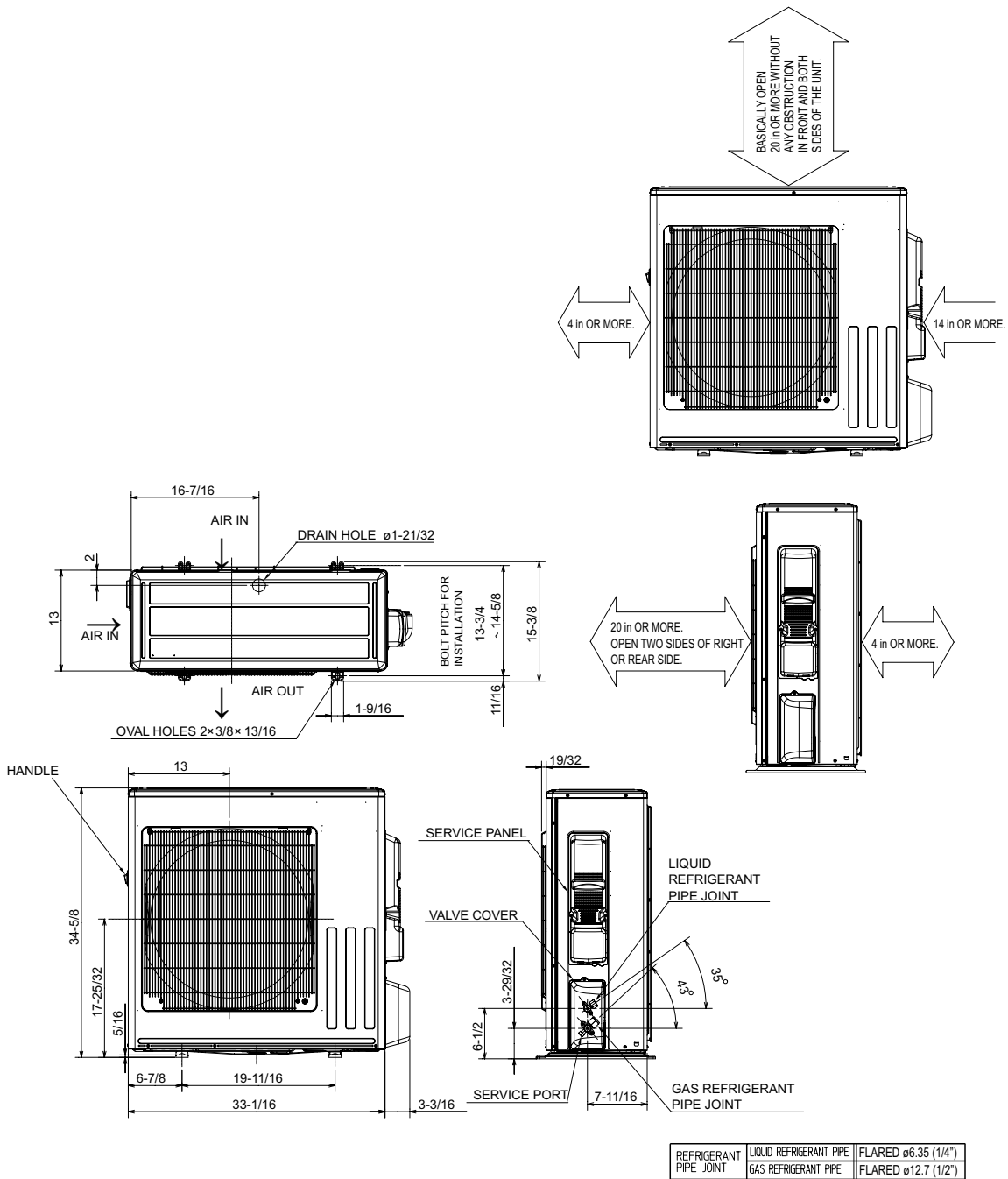
(15/18 KBTU/H)

Piping	Insulation	1-7/16 O.D.
	Liquid line	1/4 19-11/16 (Flared connection 1/4)
	Gas line	3/8 16-15/16 (Flared connection 1/2)
Drain hose	Insulation	1-1/8 Connected part 5/8 O.D.

OUTDOOR UNIT DIMENSIONS: MUZ-FS18NAH

Unit: inch

REQUIRED SPACE



FORM# MSZ-FS18NA & MUZ-FS18NAH - 202211

1340 Satellite Boulevard Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com



MXZ-2C20NAHZ3
1.5-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name:

System Reference:

Date:



B
QUANTITY (3)

FEATURES

- Variable speed INVERTER-driven compressor
- Built-in base pan heater
- Quiet outdoor unit operation as low as 54 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Hyper-heating performance offers 100% heating capacity at 5°F and 93% heating capacity at -13°F
- ENERGY STAR® certified (non-ducted)

ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.

Specifications are subject to change without notice.

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SPECIFICATIONS: MXZ-2C20NAHZ3

Cooling ¹ (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	20,000 // 20,000 // 20,000
	Rated Capacity	BTU/H	18,000 // 19,000 // 20,000
	Minimum Capacity	BTU/H	12,600 // 12,600 // 12,600
	Maximum Power Input	W	2,680 // 2,680 // 2,680
	Rated Power Input	W	1,258 // 1,576 // 1,819
	Power Factor (208V, 230V)	%	97.9, 97.9 // 97.9, 97.9 // 97.9, 97.9
Heating at 47°F ² (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	25,500 // 25,500 // 25,500
	Rated Capacity	BTU/H	22,000 // 22,000 // 22,000
	Minimum Capacity	BTU/H	11,400 // 11,400 // 11,400
	Maximum Power Input	W	3,650 // 3,650 // 3,650
	Rated Power Input	W	1,475 // 1,680 // 1,750
	Power Factor (208V, 230V)	%	97.3, 97.3 // 97.4, 97.4 // 97.5, 97.5
Heating at 17°F ³ (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	22,000 // 22,000 // 22,000
	Rated Capacity	BTU/H	13,000 // 13,700 // 13,700
	Maximum Power Input	W	3,071 // 3,146 // 3,224
	Rated Power Input	W	1,322 // 1,519 // 1,588
Heating at 5°F ⁴ (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	22,000 // 22,000 // 22,000
	Maximum Power Input	W	3,410 // 3,630 // 3,850
Efficiency (Non-Ducted // Mix // Ducted)	SEER		17.1 // 16.0 // 15.0
	EER ¹		14.3 // 12.2 // 11.0
	HSPF (IV)		10.0 // 9.6 // 9.5
	COP at 47°F ²		4.37 // 3.84 // 3.69
	COP at 17°F at Maximum Capacity ³		2.1 // 2.05 // 2.0
	COP at 5°F at Maximum Capacity ⁴		1.89 // 1.78 // 1.67
	ENERGY STAR® Certified		Yes // No // No
Electrical	Electrical Power Requirements	Voltage, Phase, Frequency	208/230, 1, 60
	Guaranteed Voltage Range	V AC	187-253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Short-circuit Current Rating (SCCR)	kA	5
	Recommended Fuse/Breaker Size	A	40
	Recommended Wire Size	AWG	14
	Minimum Circuit Ampacity	A	29.5
	Maximum Overcurrent Protection	A	40
	Fan Motor Full Load Amperage	A	2.43
Outdoor unit	Airflow Rate (Cooling / Heating)	CFM	2,150 / 2,550
	Refrigerant Control		LEV
	Defrost Method		Reverse Cycle
	Heat Exchanger Type		Plate fin coil
	Sound Pressure Level, Cooling ¹	dB(A)	54
	Sound Pressure Level, Heating ²	dB(A)	58
	Compressor Type		DC INVERTER-driven Twin Rotary
	Compressor Model		MNB33FBTMC-L
	Compressor Rated Load Amps	A	20
	Compressor Locked Rotor Amps	A	28.8
	Compressor Oil Type // Charge	oz.	FV50S // 37.2
	Base Pan Heater		Built-in
	Unit Dimensions	W: In. [mm]	37-13/32 [950]
		D: In. [mm]	13 [330]
		H: In. [mm]	41-17/64 [1,048]
	Package Dimensions	W: In. [mm]	41-3/8 [1,050]
		D: In. [mm]	17-3/8 [440]
		H: In. [mm]	46-3/4 [1,190]
	Unit Weight	Lbs.[kg]	187 [85]
	Package Weight	Lbs.[kg]	212 [96]
	Cooling Intake Air Temp (Maximum / Minimum ^Δ)	°FDB	115 / 14
	Cooling Thermal Lock-out / Re-start Temperatures	°FDB	10.4 / 14
	Heating Intake Air Temp (Maximum / Minimum)	°FWB	65 / -13
	Heating Thermal Lock-out / Re-start Temperatures	°FDB	-18 / -14
Refrigerant	Charge	Lbs, oz	8.0, 13.0
	Chargeless Piping Length	Ft. [m]	98.0 [30.0]
	Additional Refrigerant Charge Per Additional Piping Length	oz./Ft. [g/m]	0.216 [20]

NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

¹Cooling (Indoor // Outdoor)

²Heating at 47°F (Indoor // Outdoor)

³Heating at 17°F (Indoor // Outdoor)

°F 80 DB, 67 WB // 95 DB, 75 WB

°F 70 DB, 60 WB // 47 DB, 43 WB

°F 70 DB, 60 WB // 17 DB, 15 WB

Conditions

⁴Heating at 5°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 5 DB, 4 WB

*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

^Δ 5°F DB - 115°F DB when optional wind baffles are installed

For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance.

Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

SPECIFICATIONS: MXZ-2C20NAHZ3

Indoor unit connection	Maximum Number of Connected IDU		2
	Minimum Number of Connected IDU		2
	Minimum connected capacity	BTU/H	12,000
	Maximum connected capacity	BTU/H	24,000
Piping	Liquid Pipe Size O.D. (Flared)	In.[mm]	A,B: 1/4 [A,B: 6.35]
	Gas Pipe Size O.D. (Flared)	In.[mm]	A,B: 3/8 [A,B: 9.52]
	Total Piping Length	Ft. [m]	164 [50]
	Maximum Height Difference, ODU above IDU	Ft. [m]	49 [15]
	Maximum Height Difference, ODU below IDU	Ft. [m]	49 [15]
	Farthest Piping Length from ODU to IDU	Ft. [m]	82 [25]
	Maximum Number of Bends for IDU		50

NOTES:

AHRI Rated Conditions (Rated data is determined at a fixed compressor speed)	¹ Cooling (Indoor // Outdoor)	°F	80 DB, 67 WB // 95 DB, 75 WB
	² Heating at 47°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 47 DB, 43 WB
	³ Heating at 17°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 17 DB, 15 WB

Conditions	⁴ Heating at 5°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 5 DB, 4 WB
------------	---	----	----------------------------

*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

*^ 5°F DB - 115°F DB when optional wind baffles are installed

For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance.

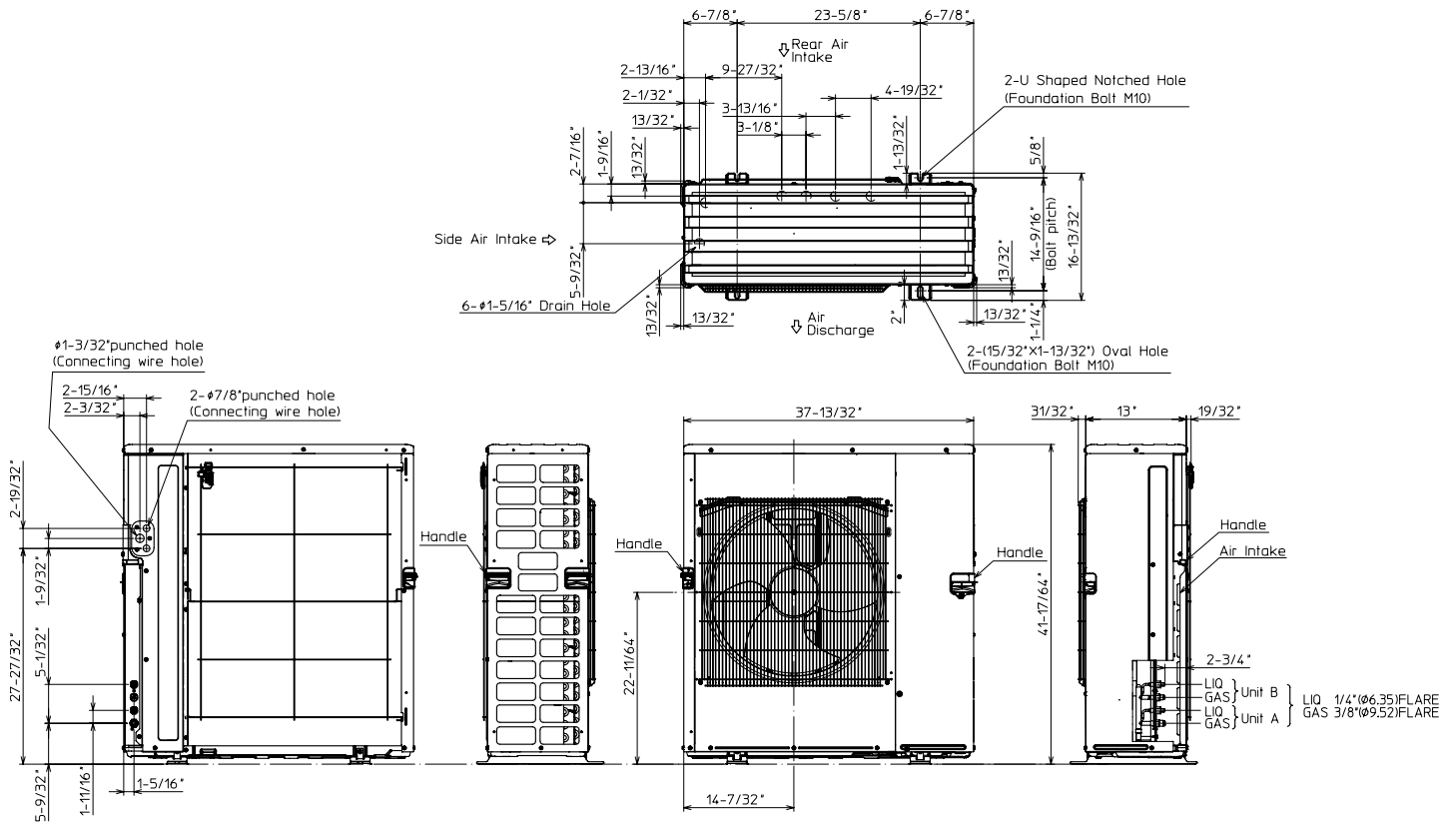
Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

OUTDOOR UNIT ACCESSORIES: MXZ-2C20NAHZ3

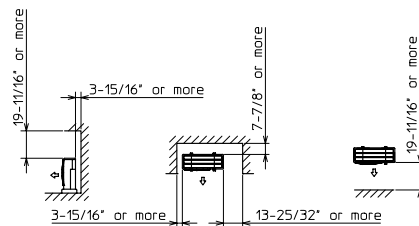
Air Outlet Guide	Air Outlet Guide (1 Piece)	PAC-SH96SG-E
Ball Valve	Refrigeration Ball Valve - 1/2"	BV12FFSI2
	Refrigeration Ball Valve - 1/4"	BV14FFSI2
	Refrigeration Ball Valve - 3/8"	BV38FFSI2
	Refrigeration Ball Valve - 5/8"	BV58FFSI2
Drain Socket	Drain Socket	PAC-SG60DS-E
Hail Guards	Hail Guard	HG-A1
M-NET Converter	M-NET Converter	PAC-IF01MNT-E
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Port Adapter	Adaptor: 1/2" x 3/8"	MAC-A455JP-E
	Adaptor: 1/2" x 5/8"	MAC-A456JP-E
	Adaptor: 3/8" x 1/2"	MAC-A454JP-E
	Adaptor: 3/8" x 5/8"	PAC-SG76RJ-E
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket - Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M

OUTDOOR UNIT DIMENSIONS: MXZ-2C20NAHZ3

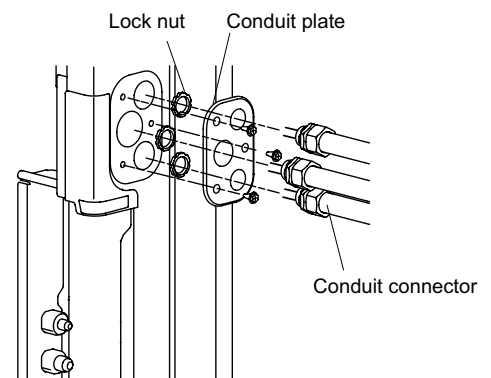
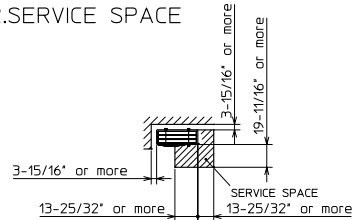
Unit: inch (mm)



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FORM# MXZ-2C20NAHZ3 - 202206



Specifications are subject to change without notice.

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MXZ-3C24NAHZ3 2-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name:

System Reference:

Date:



C
QUANTITY (1)

FEATURES

- Variable speed INVERTER-driven compressor
- Built-in base pan heater
- Quiet outdoor unit operation as low as 54 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Hyper-heating performance offers 100% heating capacity at 5°F and 90% heating capacity at -13°F
- ENERGY STAR® certified (non-ducted)

ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.

Specifications are subject to change without notice.

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SPECIFICATIONS: MXZ-3C24NAHZ3

Cooling ¹ (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	23,600 // 23,600 // 23,600
	Rated Capacity	BTU/H	22,000 // 22,800 // 23,600
	Minimum Capacity	BTU/H	12,600 // 12,600 // 12,600
	Maximum Power Input	W	3,770 // 3,770 // 3,770
	Rated Power Input	W	1,630 // 1,995 // 2,360
	Power Factor (208V, 230V)	%	98.5, 98.5 // 98.5, 98.5 // 98.5, 98.5
Heating at 47°F ² (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	30,600 // 30,600 // 30,600
	Rated Capacity	BTU/H	25,000 // 24,800 // 24,600
	Minimum Capacity	BTU/H	11,400 // 11,400 // 11,400
	Maximum Power Input	W	4,540 // 4,540 // 4,540
	Rated Power Input	W	1,725 // 1,809 // 1,871
	Power Factor (208V, 230V)	%	97.3, 97.3 // 97.6, 97.4 // 97.4, 97.6
Heating at 17°F ³ (Non-Ducted // Mix // Ducted)	Maximum Capacity	BTU/H	25,000 // 24,800 // 24,600
	Rated Capacity	BTU/H	14,000 // 14,000 // 14,000
	Maximum Power Input	W	3,557 // 3,671 // 3,795
	Rated Power Input	W	1,622 // 1,629 // 1,635
	Maximum Capacity	BTU/H	25,000 // 24,800 // 24,600
Heating at 5°F ⁴ (Non-Ducted // Mix // Ducted)	Maximum Power Input	W	3,760 // 3,980 // 4,200
Efficiency (Non-Ducted // Mix // Ducted)	SEER		19.0 // 17.2 // 15.5
	EER ¹		13.5 // 11.7 // 10.0
	HSPF (IV)		10.0 // 9.5 // 9.0
	COP at 47°F ²		4.25 // 4.02 // 3.8
	COP at 17°F at Maximum Capacity ³		2.06 // 1.95 // 1.9
	COP at 5°F at Maximum Capacity ⁴		1.95 // 2.11 // 1.72
	ENERGY STAR® Certified		Yes // No // No
Electrical	Electrical Power Requirements	Voltage, Phase, Frequency	208/230, 1, 60
	Guaranteed Voltage Range	V AC	187-253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Short-circuit Current Rating (SCCR)	kA	5
	Recommended Fuse/Breaker Size	A	40
	Recommended Wire Size	AWG	14
	Minimum Circuit Ampacity	A	30.5
	Maximum Overcurrent Protection	A	40
	Fan Motor Full Load Amperage	A	2.43
Outdoor unit	Airflow Rate (Cooling / Heating)	CFM	2,150 / 2,550
	Refrigerant Control		LEV
	Defrost Method		Reverse Cycle
	Heat Exchanger Type		Plate fin coil
	Sound Pressure Level, Cooling ¹	dB(A)	54
	Sound Pressure Level, Heating ²	dB(A)	58
	Compressor Type		DC INVERTER-driven Twin Rotary
	Compressor Model		MNB33FBTMC-L
	Compressor Rated Load Amps	A	20
	Compressor Locked Rotor Amps	A	28.8
	Compressor Oil Type // Charge	oz.	FV50S // 37.2
	Base Pan Heater		Built-in
	Unit Dimensions	W: In. [mm]	37-13/32 [950]
		D: In. [mm]	13 [330]
		H: In. [mm]	41-17/64 [1,048]
	Package Dimensions	W: In. [mm]	41-3/8 [1,050]
		D: In. [mm]	17-3/8 [440]
		H: In. [mm]	46-3/4 [1,190]
	Unit Weight	Lbs.[kg]	189 [86]
	Package Weight	Lbs.[kg]	212 [96]
	Cooling Intake Air Temp (Maximum / Minimum [^])	°FDB	115 / 14
	Cooling Thermal Lock-out / Re-start Temperatures	°FDB	10.4 / 14
	Heating Intake Air Temp (Maximum / Minimum)	°FWB	65 / -13
	Heating Thermal Lock-out / Re-start Temperatures	°FDB	-18 / -14
Refrigerant	Charge	Lbs, oz	8.0, 13.0
	Chargeless Piping Length	Ft. [m]	98.0 [30.0]
	Additional Refrigerant Charge Per Additional Piping Length	oz./Ft. [g/m]	0.216 [20]

NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

¹Cooling (Indoor // Outdoor)

²Heating at 47°F (Indoor // Outdoor)

³Heating at 17°F (Indoor // Outdoor)

°F 80 DB, 67 WB // 95 DB, 75 WB

°F 70 DB, 60 WB // 47 DB, 43 WB

°F 70 DB, 60 WB // 17 DB, 15 WB

Conditions

⁴Heating at 5°F (Indoor // Outdoor)

°F 70 DB, 60 WB // 5 DB, 4 WB

*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

[^] 5°F DB - 115°F DB when optional wind baffles are installed

For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance.

Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

SPECIFICATIONS: MXZ-3C24NAHZ3

Indoor unit connection	Maximum Number of Connected IDU		3
	Minimum Number of Connected IDU		2
	Minimum connected capacity	BTU/H	12,000
	Maximum connected capacity	BTU/H	27,000
Piping	Liquid Pipe Size O.D. (Flared)	In.[mm]	A,B,C: 1/4 [A,B,C: 6.35]
	Gas Pipe Size O.D. (Flared)	In.[mm]	A: 1/2; B,C: 3/8 [A: 12.72; B,C: 9.52]
	Total Piping Length	Ft. [m]	230 [70]
	Maximum Height Difference, ODU above IDU	Ft. [m]	49 [15]
	Maximum Height Difference, ODU below IDU	Ft. [m]	49 [15]
	Farthest Piping Length from ODU to IDU	Ft. [m]	82 [25]
	Maximum Number of Bends for IDU		70

NOTES:

AHRI Rated Conditions (Rated data is determined at a fixed compressor speed)	¹ Cooling (Indoor // Outdoor)	°F	80 DB, 67 WB // 95 DB, 75 WB
	² Heating at 47°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 47 DB, 43 WB
	³ Heating at 17°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 17 DB, 15 WB

Conditions	⁴ Heating at 5°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 5 DB, 4 WB
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*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

*^ 5°F DB - 115°F DB when optional wind baffles are installed

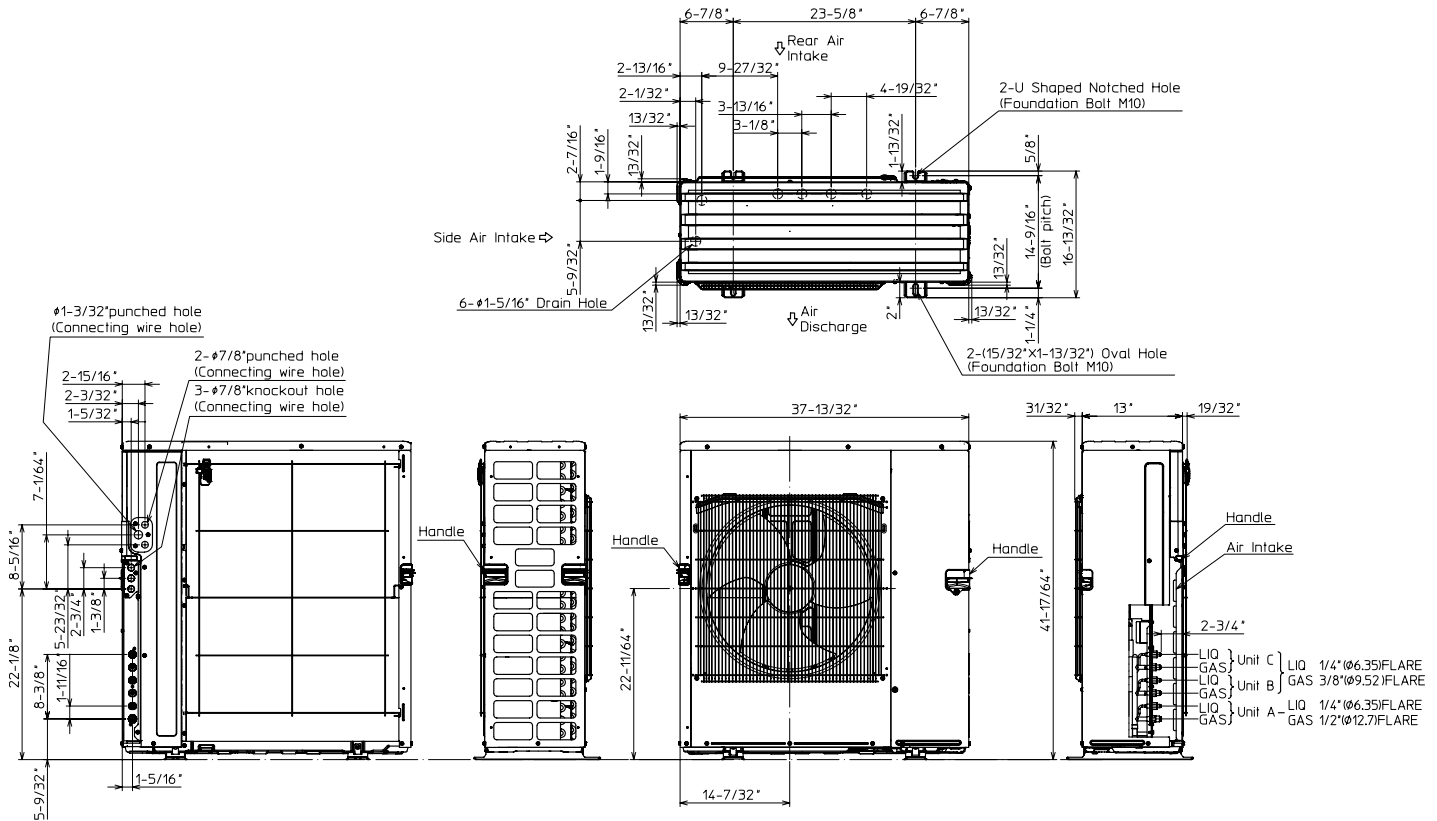
For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance.

Although the maximum connectable capacity is 130%, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

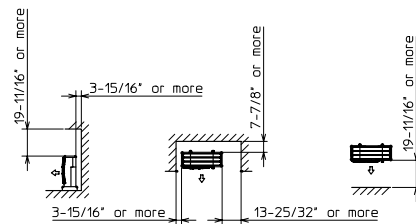
OUTDOOR UNIT ACCESSORIES: MXZ-3C24NAHZ3

Air Outlet Guide	Air Outlet Guide (1 Piece)	PAC-SH96SG-E
Ball Valve	Refrigeration Ball Valve - 1/2"	BV12FFSI2
	Refrigeration Ball Valve - 1/4"	BV14FFSI2
	Refrigeration Ball Valve - 3/8"	BV38FFSI2
	Refrigeration Ball Valve - 5/8"	BV58FFSI2
Drain Socket	Drain Socket	PAC-SG60DS-E
Hail Guards	Hail Guard	HG-A1
M-NET Converter	M-NET Converter	PAC-IF01MNT-E
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Port Adapter	Adaptor: 1/2" x 3/8"	MAC-A455JP-E
	Adaptor: 1/2" x 5/8"	MAC-A456JP-E
	Adaptor: 3/8" x 1/2"	MAC-A454JP-E
	Adaptor: 3/8" x 5/8"	PAC-SG76RJ-E
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket - Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M

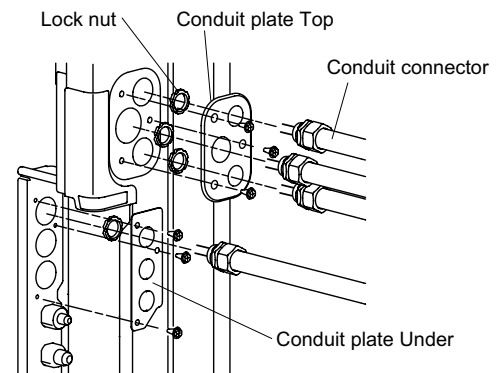
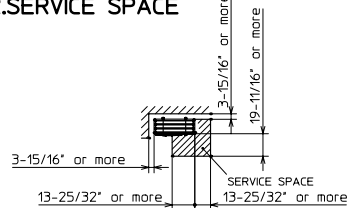
Unit: inch (mm)



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FORM# MXZ-3C24NAHZ3 - 202206



9. 44 Gardner Street

- Recommended Approval

Background: The applicant is seeking approval for decking and railing materials.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

LUHD-582

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 16, 2023**Applicant**

Ryan Baker
ryanjbaker@gmail.com
44 Gardner Street
Portsmouth, NH 03801
603-498-1686

Primary Location

44 GARDNER ST
Portsmouth, NH 03801

Owner:

BAKER RYAN & KAREN E
44 GARDNER ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Admin approval for railing and deck material for roof deck.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Ryan Baker

Business Name (if applicable)

--

Mailing Address (Street)

44 Garnder Street

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

6034981686

Email Address

ryanjbaker@gmail.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

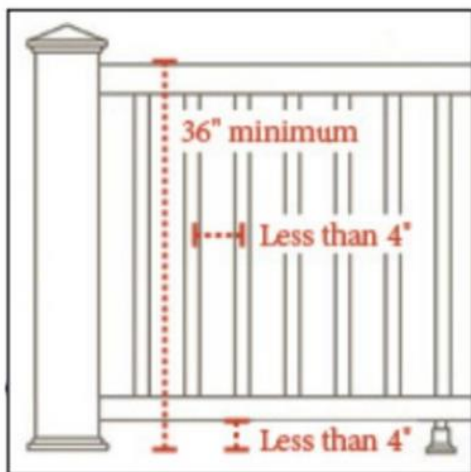
Owner of this property

Ryan Baker <ryanjbaker@gmail.com>
to Nicholas ▾

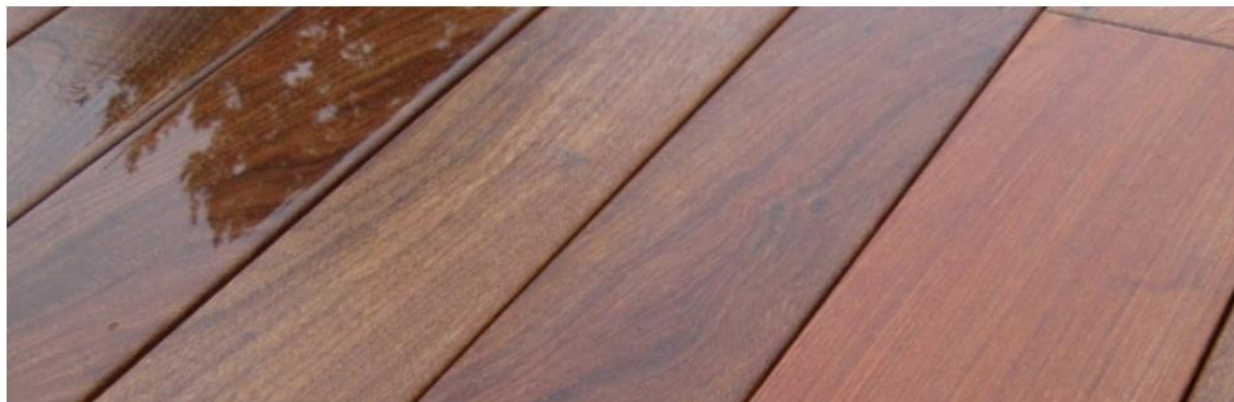
Hi Nick, thanks again for your time this evening. I wanted to provide you with the details the HDC requested to move forward with our project.

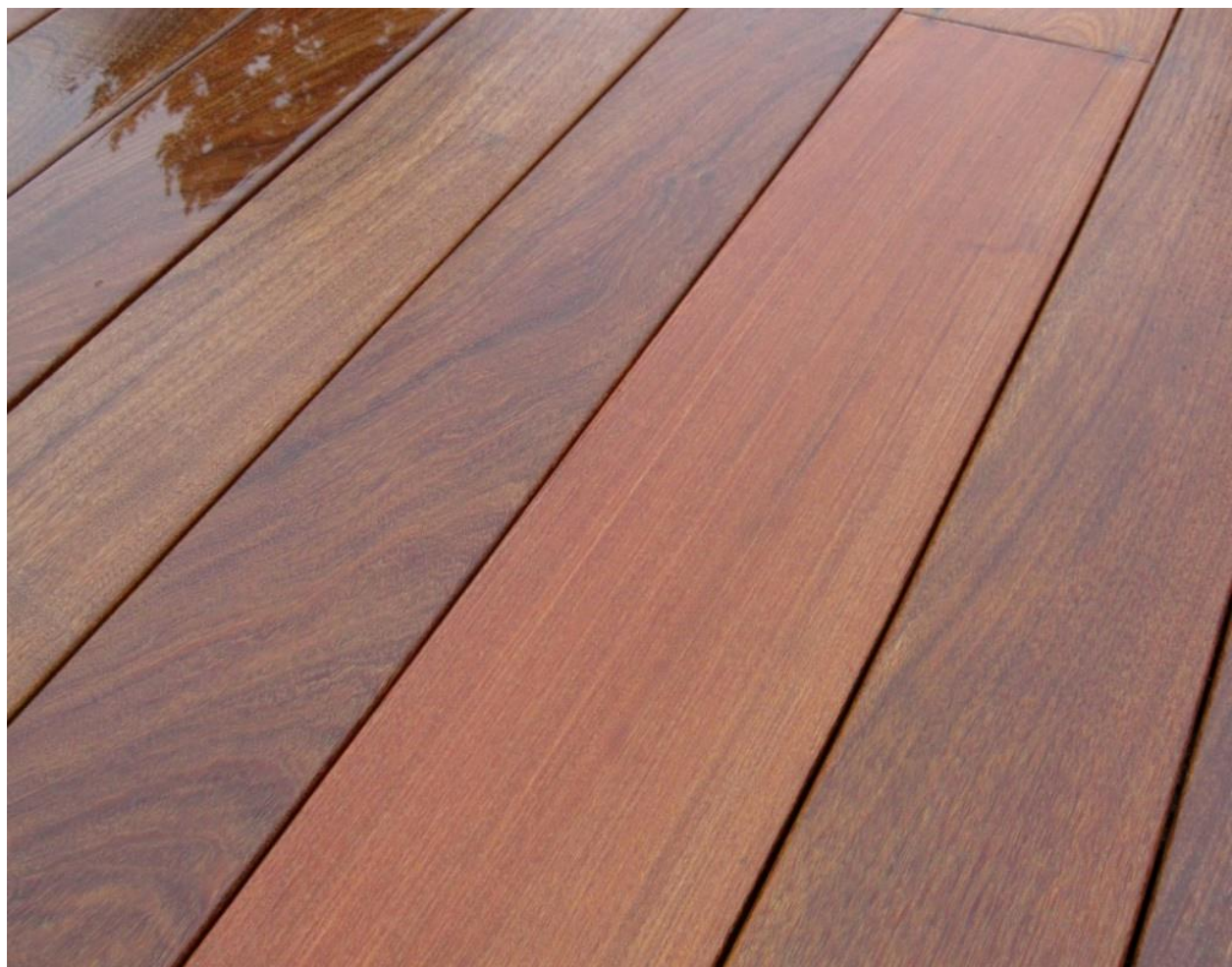
Please see the two items below- railing height and decking material. Just let me know if there is anything else you need from me. Thanks, talk soon.

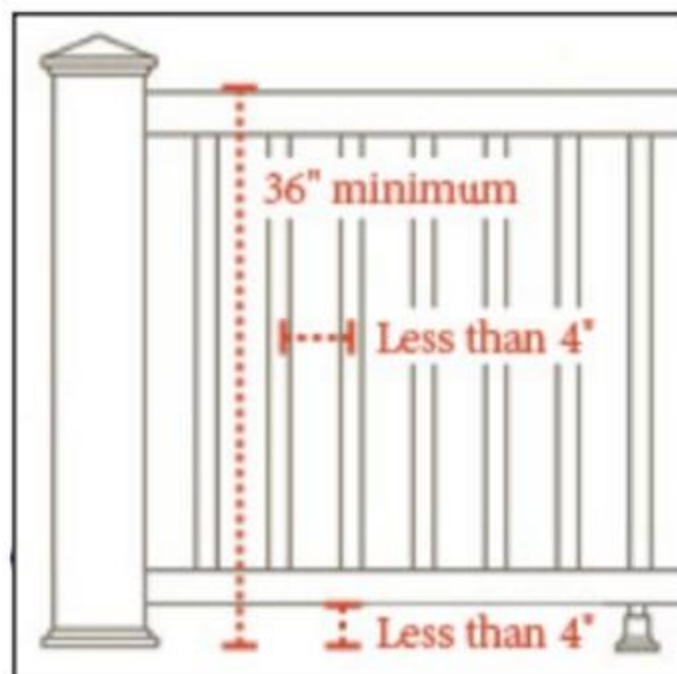
Painted Wood Railing Details (for porch stairs and roof deck):



Roof Deck Material, Red Cedar Square Edge Deck Boards:







10. 117 Bow Street

- TBD

Background: The applicant is seeking approval for the installation of HVAC equipment. Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

LUHD-584

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 20, 2023**Applicant**

Nick Gendron
nick@customclimates.com
88 Priscilla Ln
Auburn, NH 03032
6038609534

Primary Location

117 BOW ST Unit 114
Unit 114
Portsmouth, NH 03801

Owner:

MACDONALD DEANNA L REVOC TRUST & MACDONALD DEANNA L &
ERIC J TTEES
117 BOW ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Single mini split installation in elevator control room to keep controls at optimal temperature

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Project manager

Full Name (First and Last)

Nick Gendron

Mailing Address (Street)

88 Priscilla Ln

State

NH

Phone

6032621623

Business Name (if applicable)

Custom Climates HVAC

City/Town

Auburn

Zip Code

03032

Email Address

Nick@customclimates.com

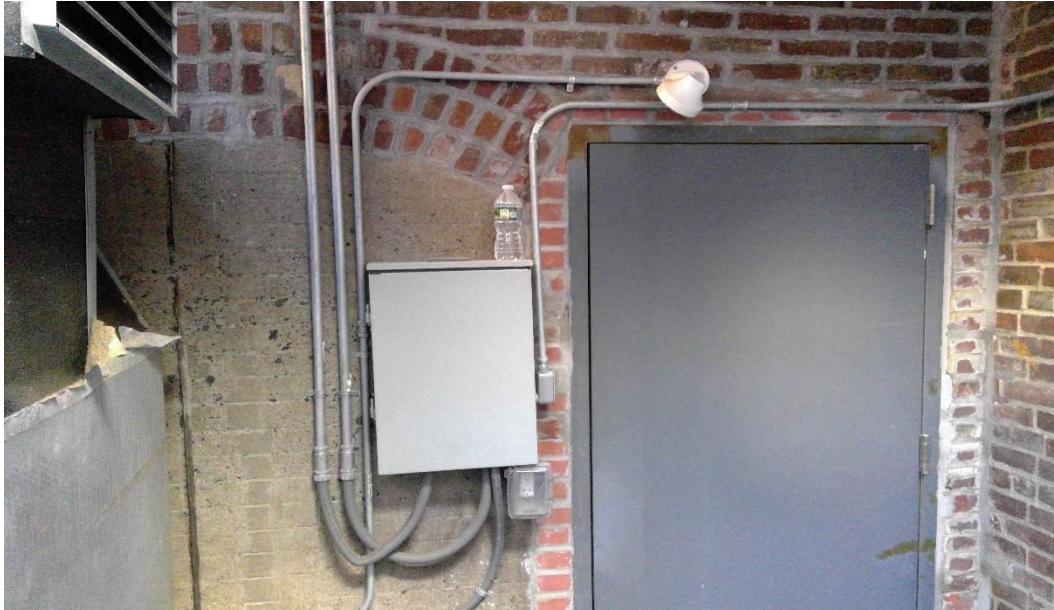
Relationship to Project

Other

If you selected "Other", please state relationship to project.

General Manager

Full Name (First and Last)**Business Name (if applicable)**



This photo depicts the location of where the line sets will exit the building. The line sets will come through the wall and run above the door, following the electrical conduit to the adjacent wall to the right side of the door. The condenser will be wall mounted to the adjacent wall.



This photo depicts the location of the condenser that will be mounted to the wall. The conduit on the left side of the photo is the conduit that runs above the door to this adjacent wall in the previous photo. This entire location is in a dead end back alley way, not visible from the street.

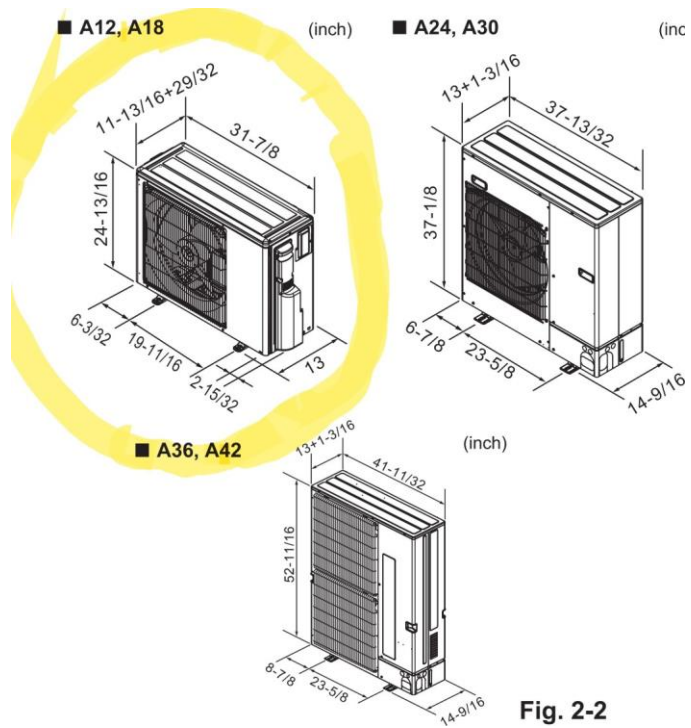


Fig. 2-2

This photo depicts the dimensions of the condenser to be installed

11. 45 Richmond Street

- Recommended Approval

Background: The applicant is seeking approval for final green house dimensions and fan/damper specs.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

LUHD-586

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Feb 20, 2023

Applicant

Anne Whitney
archwhit@aol.com
801 Islington St, Suite 32
Portsmouth, NH 03801
603-502-4387

Primary Location

45 RICHMOND ST
Portsmouth, NH 03801

Owner:

HOLMES CHERIE A & GOLDSBERRY YVONNE P
1087 COUNTY RD WALPOLE, NH 03608

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Final Greenhouse size with shop drawings & fan-damper specs. The Greenhouse change in size does not affect the BOA Approval. This is part of LU-20-249

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted



HDC Approval Date

--

Planning Staff Comments

--

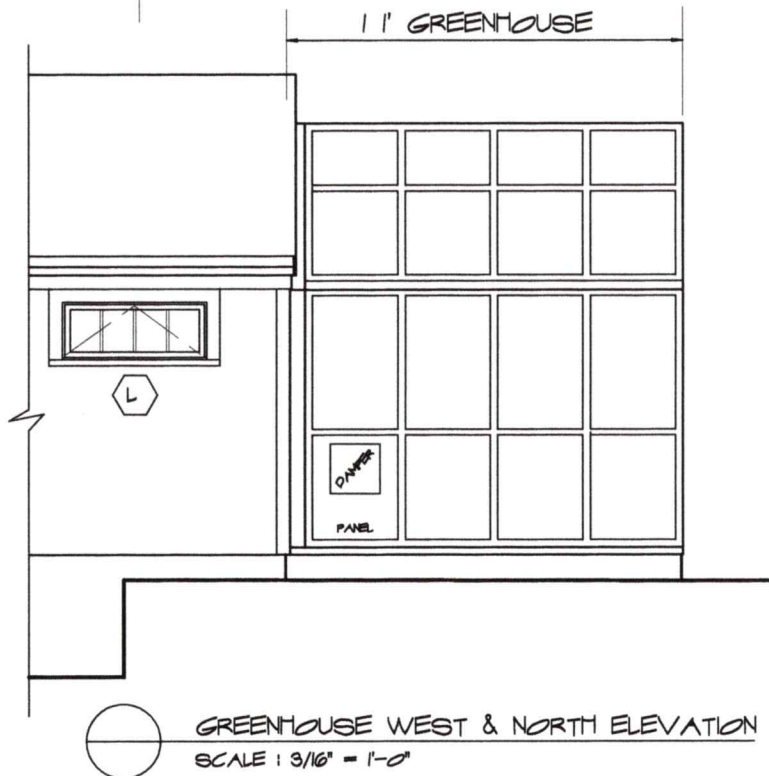
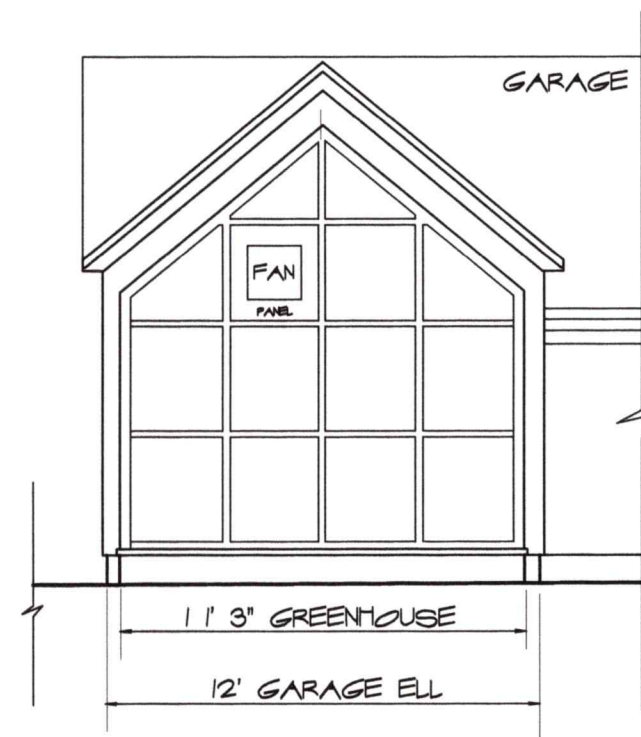
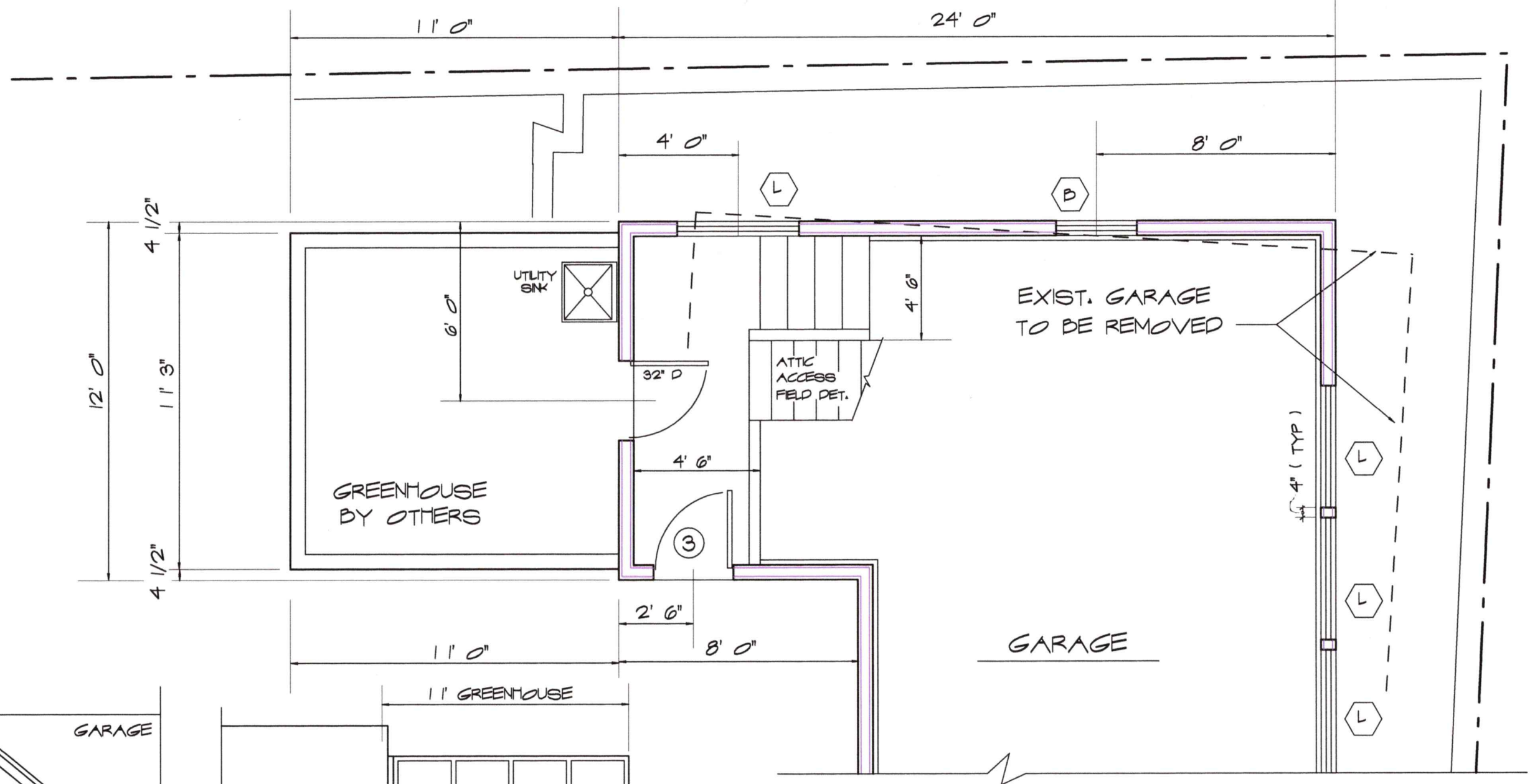
INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--



GREENHOUSE PLAN
SCALE: 1/4" = 1'-0"

NOTE: GREENHOUSE SIZE HAS CHANGED FROM 10' X 10',
TO CONFORM TO MANUFACTURES STANDARD SIZING (11' 3" X 11')

GREENHOUSE

GLDSBERRY HOLMES RESIDENCE

45 RICHMOND STREET

801 Islington St, Suite 32
Portsmouth NH 03801
603-502-4387
archwhit@aol.com

ANNE WHITNEY ARCHITECT

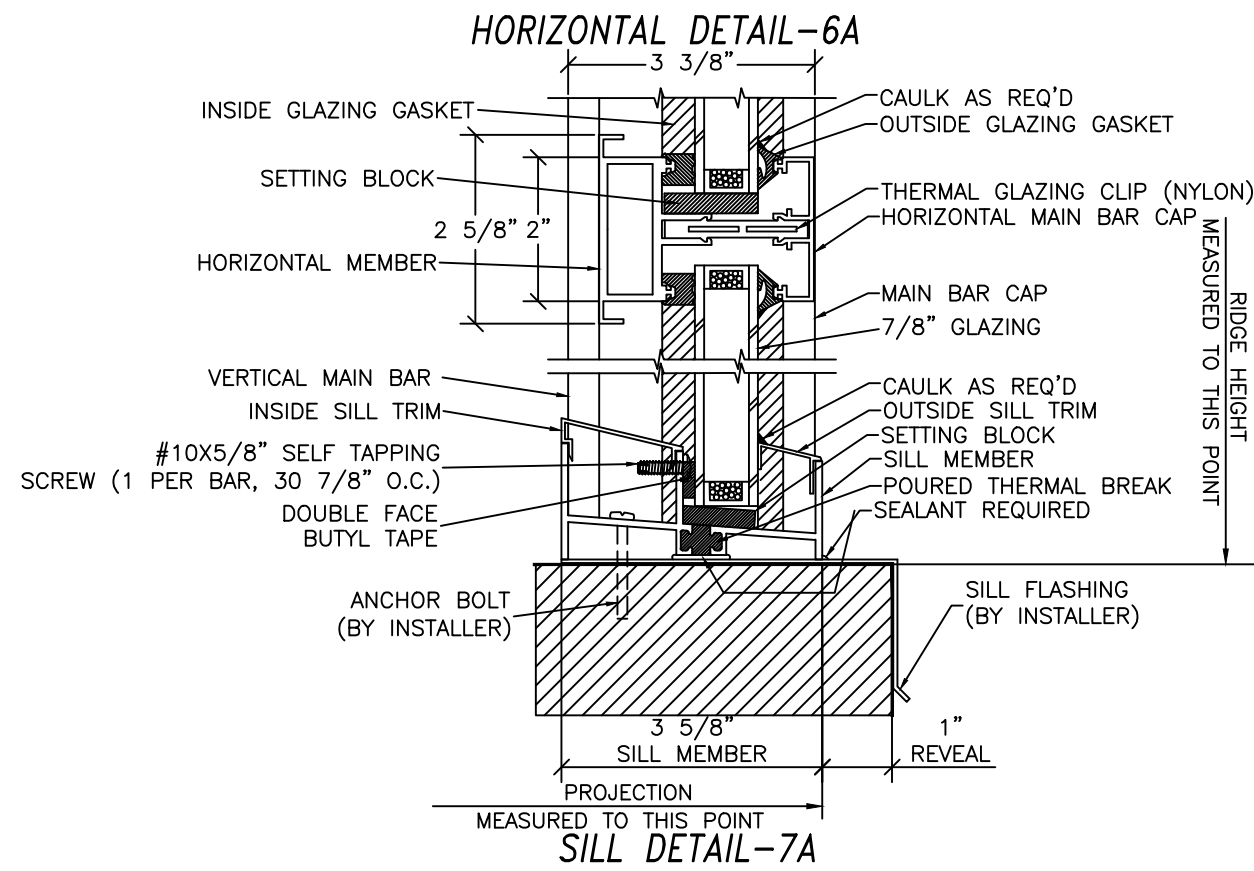
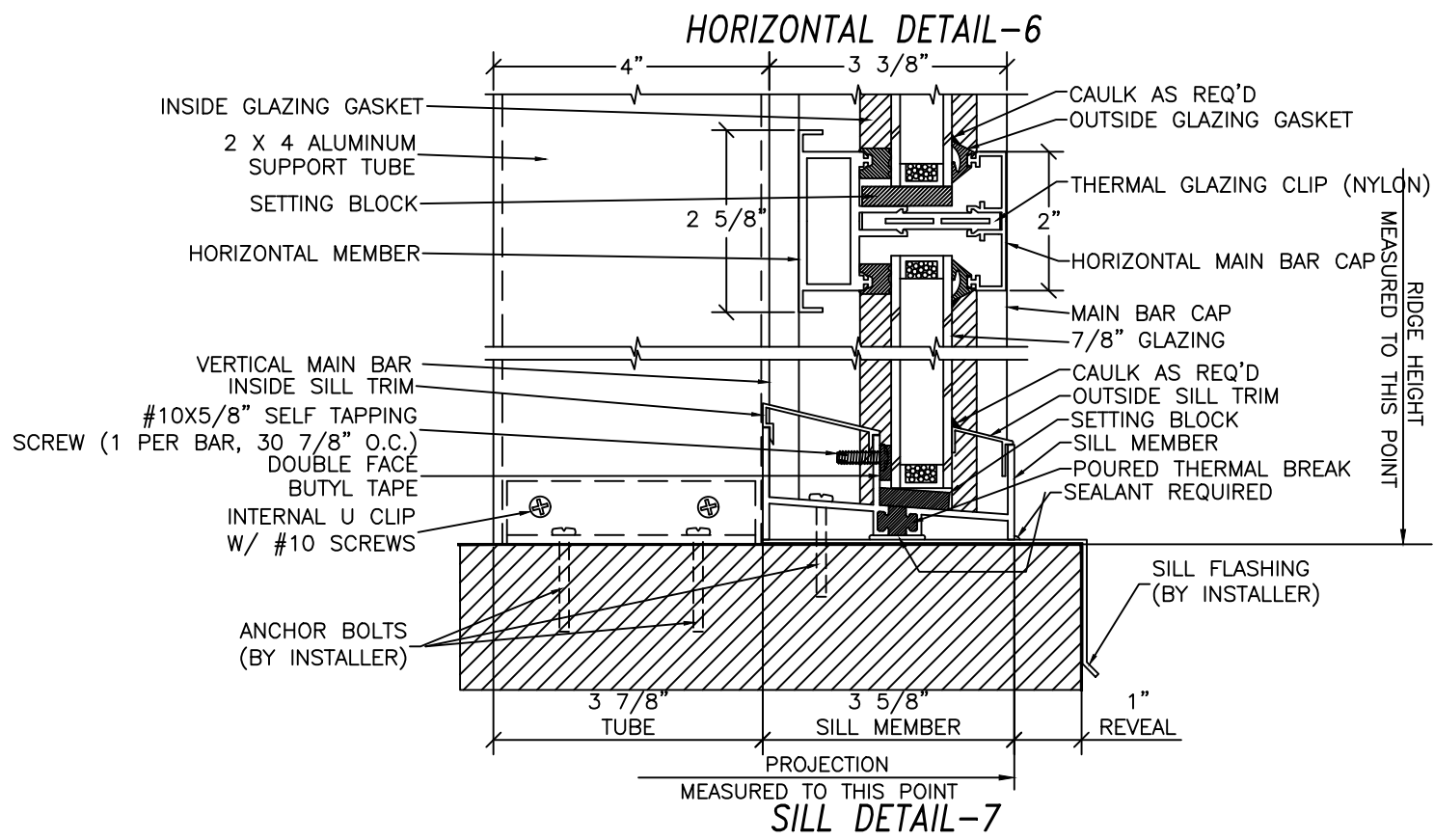
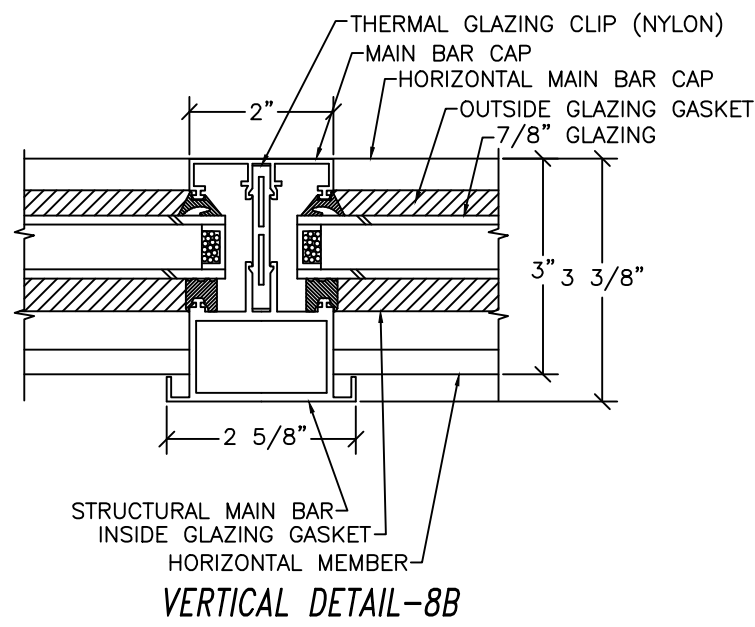
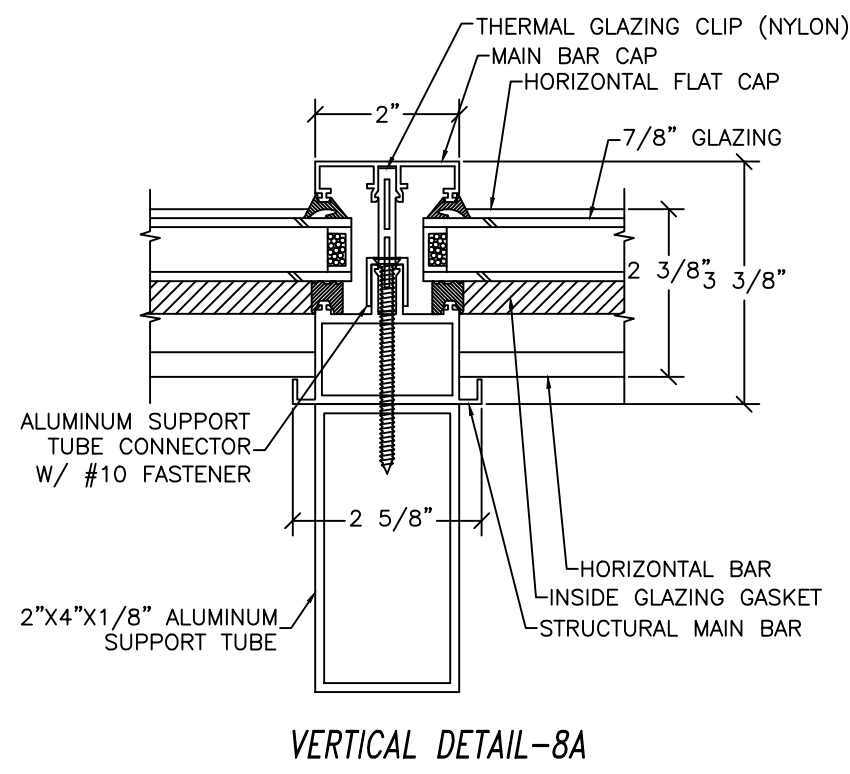
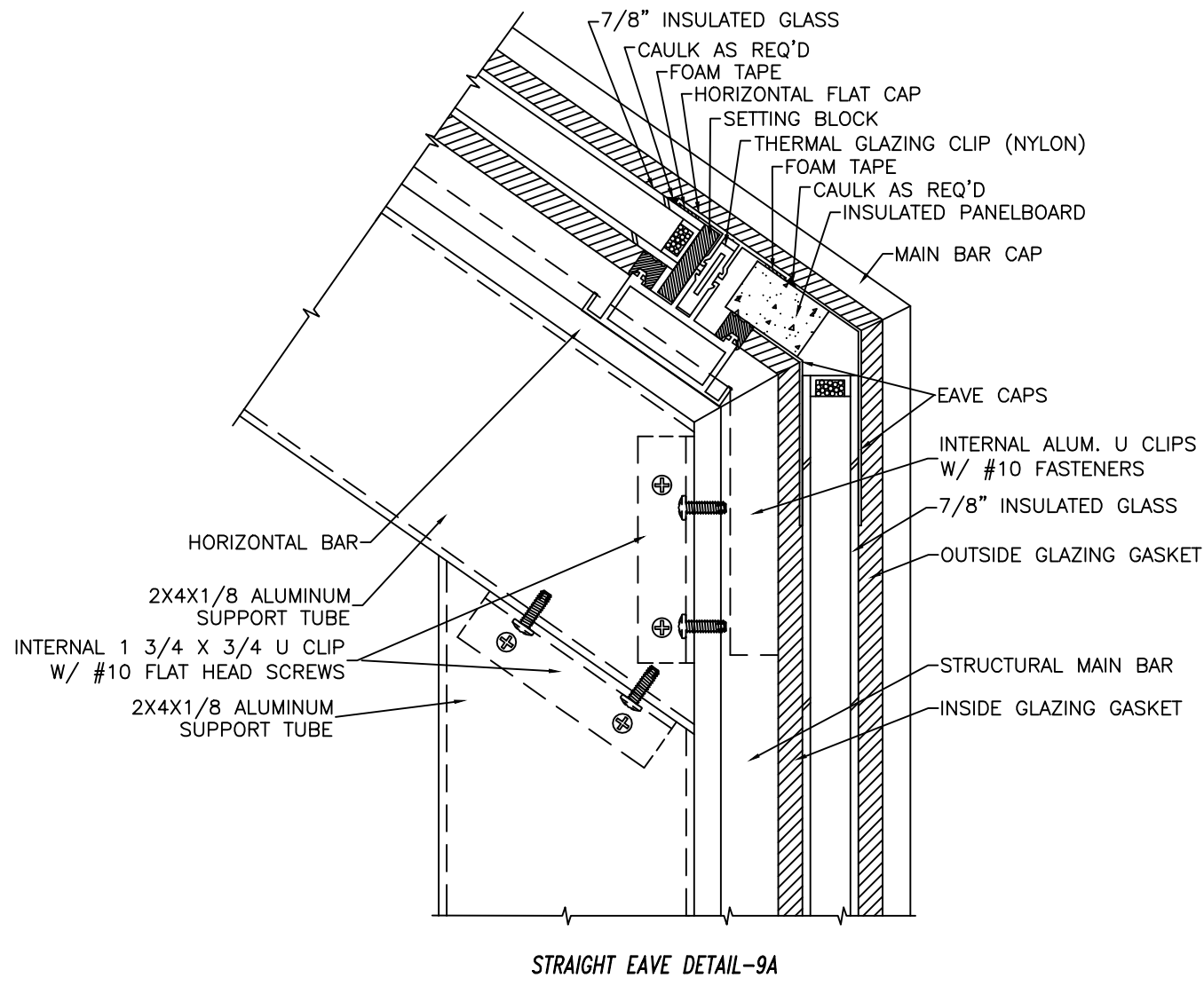
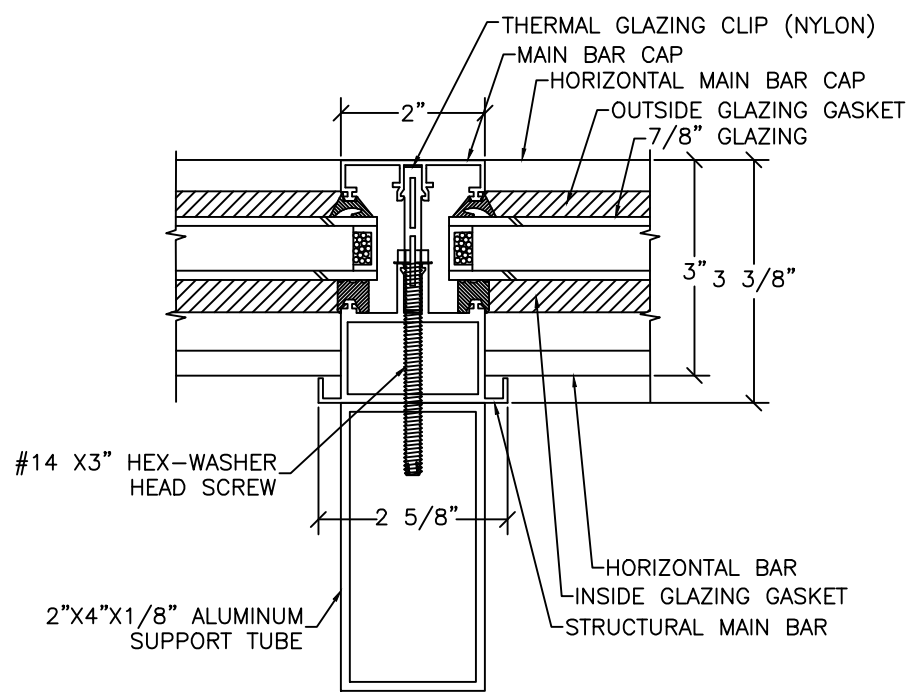
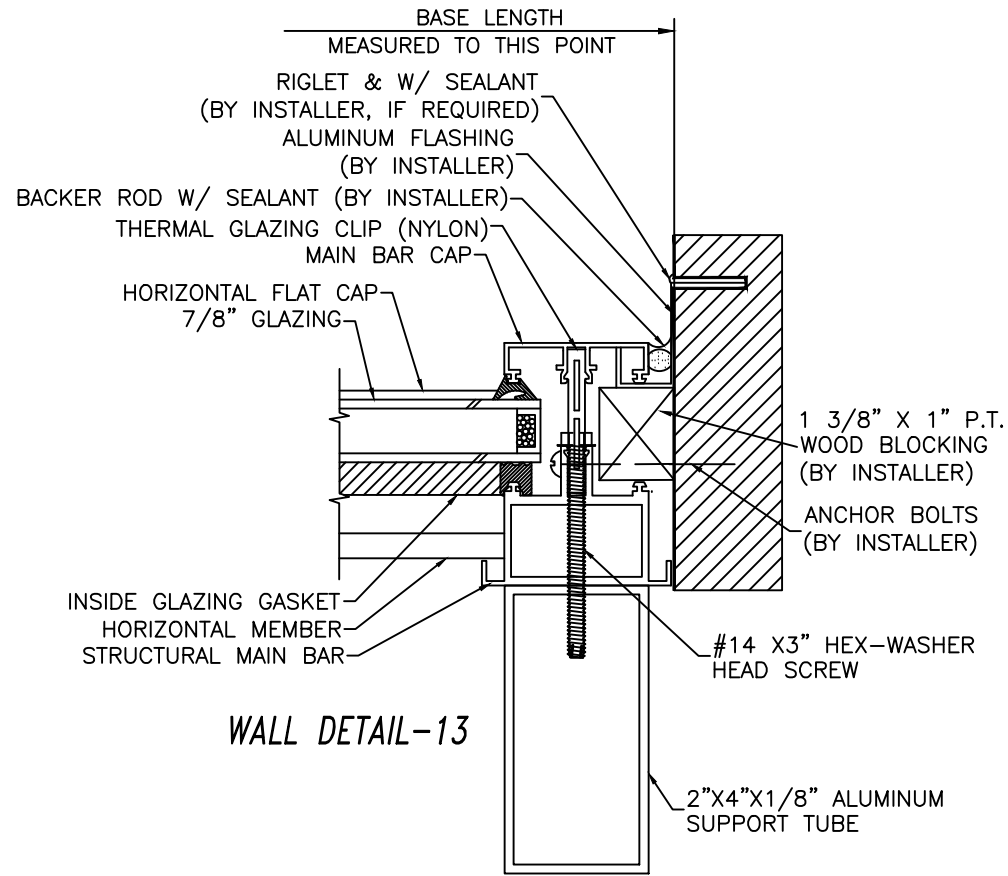
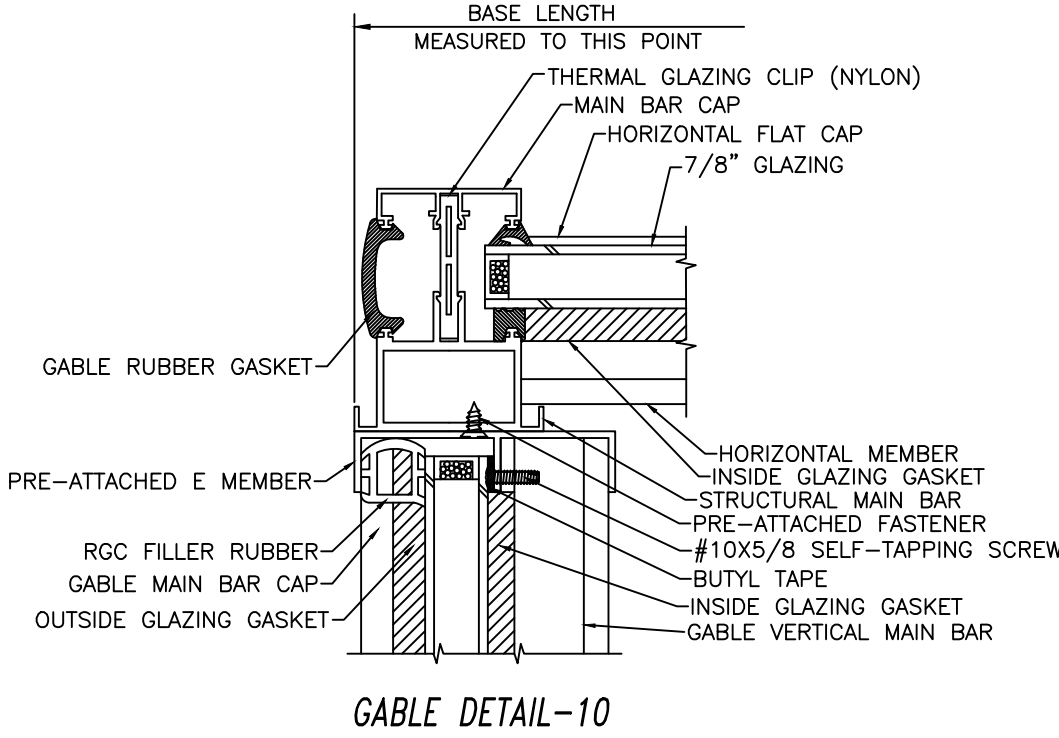
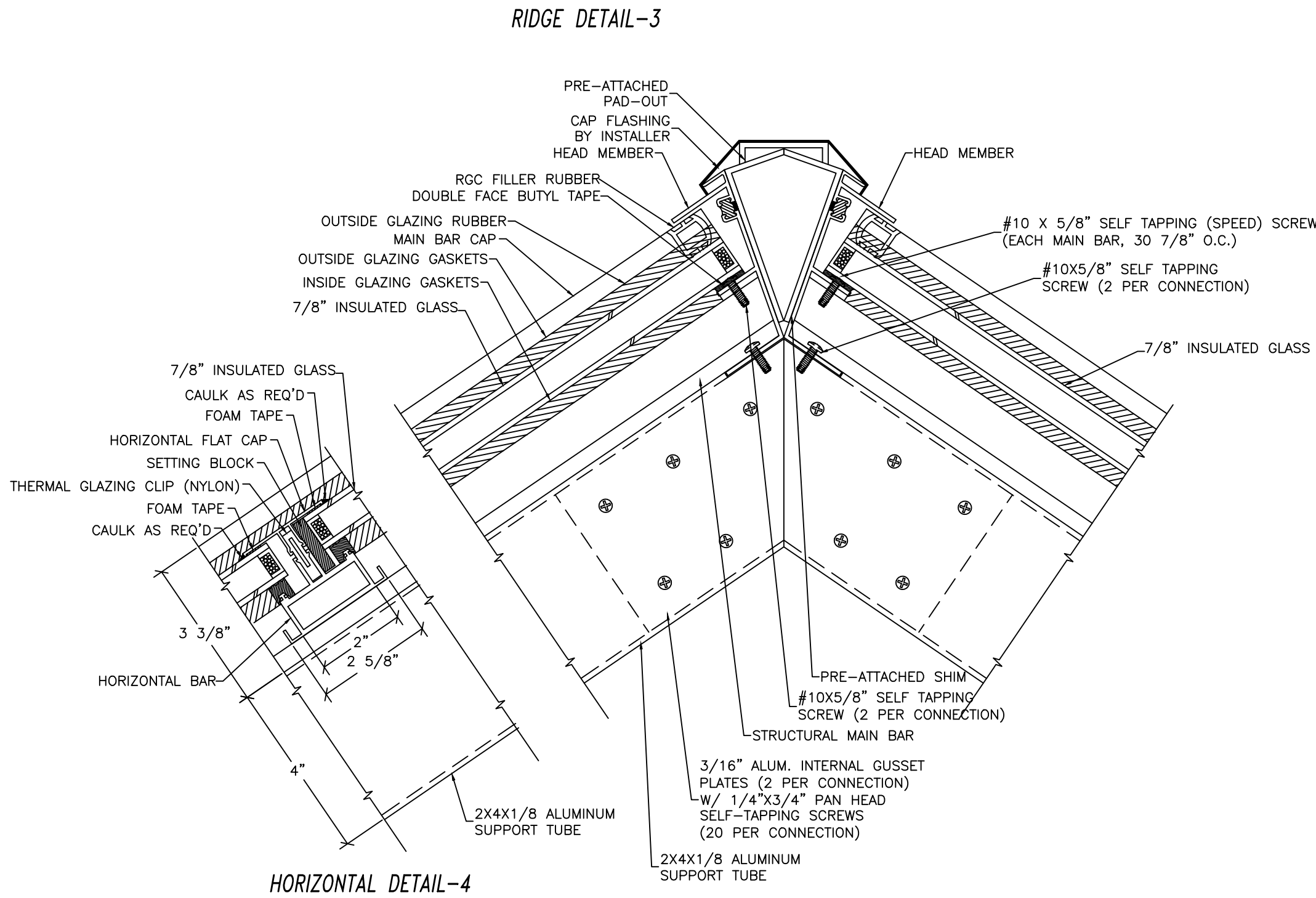
PORTSMOUTH, NH

Project: 2008
Date: 2/20/23
Revisions:

REVISIONS AND APPROVAL			
REV	DESCRIPTION	DATE	APPROVED

COMPOSITE SECTIONS		
STRUCTURAL MAIN BAR	2x4x1/8" TUBE	2x4x1/8" W/MAN. BAR

REVISIONS AND APPROVAL			
REV	DESCRIPTION	DATE	APPROVED



© 2023 FLORIAN SOLAR PRODUCTS, L.L.C.



Solariums
Greenhouses
Conservatories

Solar Products, L.L.C.

IMPROVE YOUR OUTLOOK

549 AVIATION BLVD.
GEORGETOWN, S.C.
29440

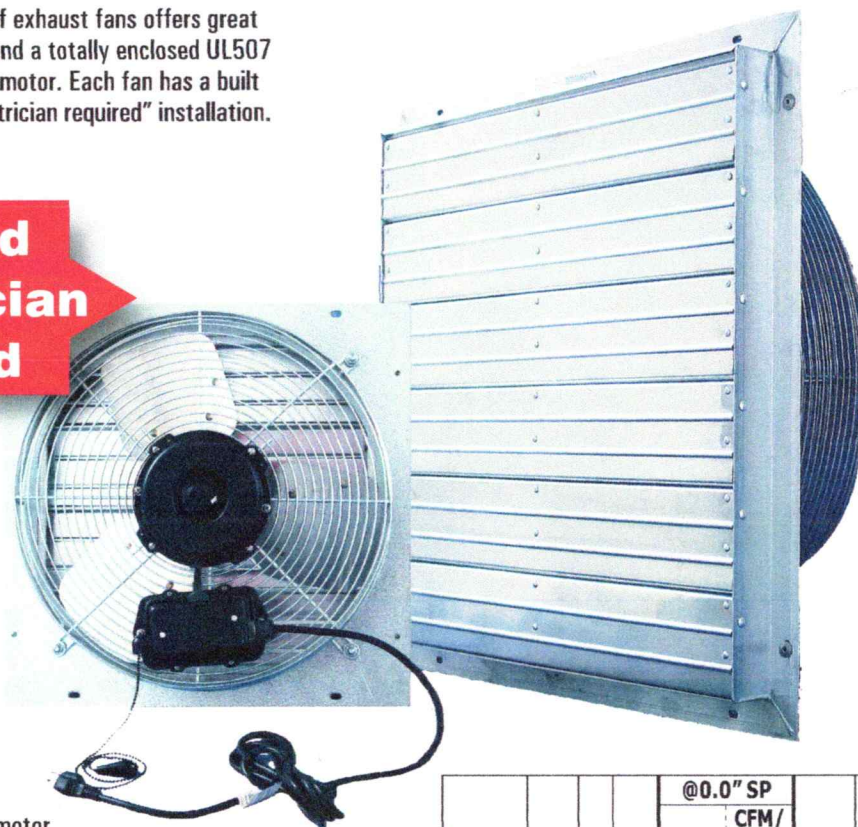
TEL. (800) 356-7426
FAX (843) 520-4605

DRAWN/CHK'D: <u>DM</u>	CUSTOMER: ARCADIA GLASSHOUSE 354 N. LAKE ST MADISON, OH 44057	END USER: WHITNEY RESIDENCE MADISON, OH 44057
ISSUED: <u>2/15/23</u>		
CODE IDENT NO: 16549-5994		
DWG NO: DM-5994	SCALE: 3/8" = 1'-0"	SHEET 2 OF 2

Indoor/Outdoor ES Shutter Fan W/Cord

Our VPES Indoor/Outdoor series of exhaust fans offers great performance, smooth operation, and a totally enclosed UL507 outdoor certified energy efficient motor. Each fan has a built in 9' cord and switch for "no electrician required" installation.

**Pre-wired
No Electrician
Required**



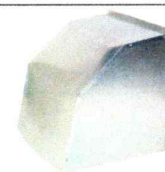
Features

- Smooth and quiet operation
- Direct drive
- Outdoor rated UL507 certified motor
- Ships fully assembled and ready for installation
- Attached 9' pre-wired 115 Volt cord with 3-prong plug for "No Electrician Required" installation. Just plug it in!
- Balanced 3 bladed aluminum prop with a corrosion resistant coated steel hub
- Coated steel guard allows for easy cleaning and meets OSHA 1910.212(a)(5) requirements to mount at any height on inlet side of fan. (When mounted, shutter side should be 7' above ground.)
- High efficiency aluminum shutters with tie bar reduces shutter flapping and opening on windy days
- Energy efficient, fully enclosed, maintenance free, high efficiency motors feature sealed ball bearings, and a **Two Year Warranty**
- Optional weather hood for exterior shutter side to protect your fan from harsh weather and severe wind

Part#	Size	Ph	Spd	@0.0" SP		Prop	Rough Opening	Cord
				CFM	Watt			
Single Phase								
VPES12	12"	1	3	1,100	12.0	3-Alm	12½" x 12½"	9'
				850	11.0			
				550	10.0			
VPES16	16"	1	3	2,950	15.0	3-Alm	16½" x 16½"	9'
				2,050	14.0			
				1,200	13.0			
VPES20	20"	1	3	4,220	18.0	3-Alm	20½" x 20½"	9'
				3,250	16.0			
				2,130	14.0			
VPES24	24"	1	2	5,850	20.0	3-Alm	24½" x 24½"	9'
				3,475	16.0			

Optional Weather Hood

Shutter Fan Size	Weather Hood
12"	VFT140855
16"	VFT140856
20"	VFT140857
24"	VFT140858



Weather hood for exterior shutter side

⚠ WARNING: This product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. For more information go to www.P65Warnings.ca.gov/product.

Due to our continual effort to provide the best products available and adhere to market conditions; literature, products, prices and availability are subject to change without notice.

Please read and save these instructions. Read carefully before attempting to assemble, install, operate or maintain the product described. Protect yourself and others by observing all safety information. Failure to comply with instructions could result in personal injury and/or property damage! Retain instructions for future reference.

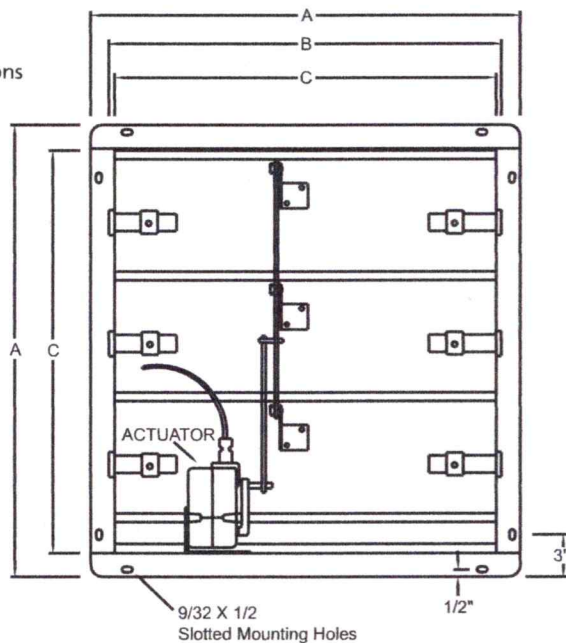
Dayton®

Motorized Dampers

Description

Dayton heavy-duty dampers are constructed of extruded aluminum or galvanized steel frame and blades. Dampers can be mounted horizontally or vertically. For intake or exhaust applications. Tie rod linkage is attached to blades on fan side.

Figure 2 - Dimensions



REAR VIEW CLOSED

Dimensions

Model No.		A	B	C	Opening Req'd Square
Aluminum	Galvanized				
3HHP4A	3HHP3A	15"	12 1/2"	12"	13"
4C560E	3C725E	19	16 1/2	16	17
4C561E	3C726E	23	20 1/2	20	21
3C315E	3C727E	27	24 1/2	24	25

Specifications

Model No.		Power Supply Req'd	Motor (*)		Motor Dimensions		
Aluminum	Galvanized		Watts: Run (Hold)	Torque	H	W	D
3HHP4A	3HHP3A	100 to 240v, 50/60Hz	2.0 (.13)	18 inch-lbs	6 1/4"	3"	3 1/2"
4C560E	3C725E	100 to 240v, 50/60Hz	2.0 (.13)	18 inch-lbs	6 1/4"	3	3 1/2"
4C561E	3C726E	100 to 240v, 50/60Hz	2.0 (.13)	18 inch-lbs	6 1/4"	3	3 1/2"
3C315E	3C727E	100 to 240v, 50/60Hz	2.0 (.13)	18 inch-lbs	6 1/4"	3	3 1/2"

(*) Motor is single-phase, continuous duty with a 50°C, (122°F) maximum ambient temperature. (+) 1 SPDT, 3A (0.5A) @250 VAC.

100 to 240 VAC

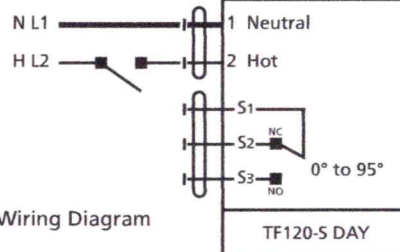
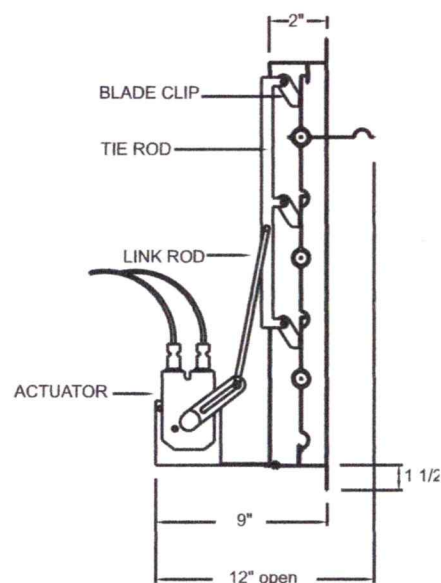


Figure 1 - Wiring Diagram

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12. 2 Bow Street

- TBD

Background: The applicant is seeking approval for new exterior façade trim (replacing wood with PVC, painted to match existing trim).

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

LUHD-588

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 21, 2023**Applicant**

Ryan Greenhalgh
ryang@ryan-cm.com
3 Moose Mountain Rd
brookfield, NEW HAMPSHIRE 03872
6037288955

Primary Location

2 BOW ST
Portsmouth, NH 03801

Owner:

TWO BOW STREET LLC
PO BOX 310 DOVER, NH 03821

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Replace damaged/rotting panels on lower exterior facade adjacent to sidewalk. New panels to be made from pvc trim, painted to match using same trim profile to prevent future rot.

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Owner's Representative

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title**

--

Owner Addressee Prefix and Last Name

--

Overall front view



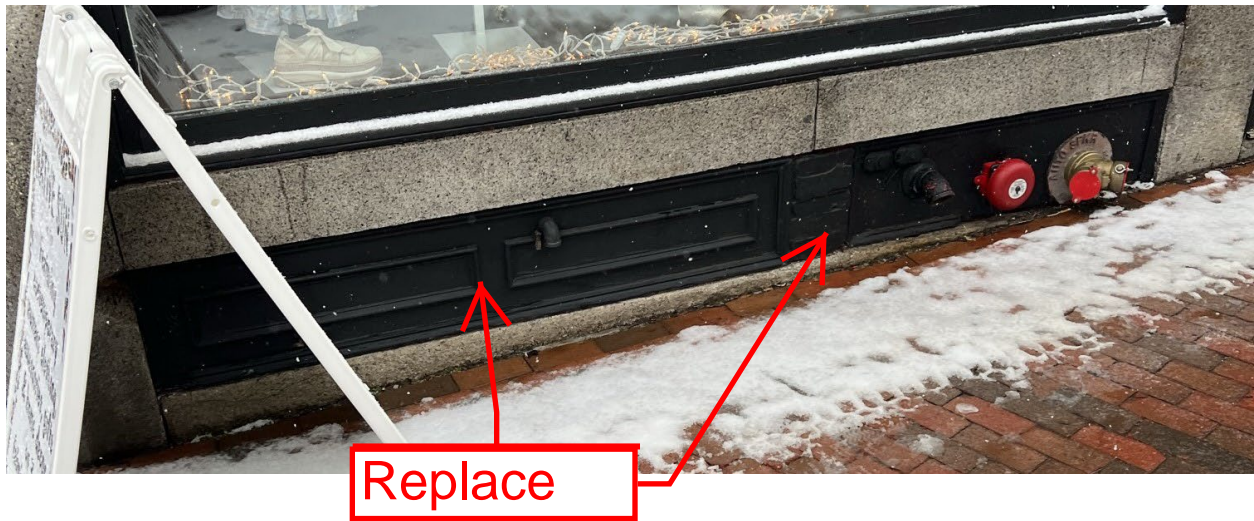
Store entry



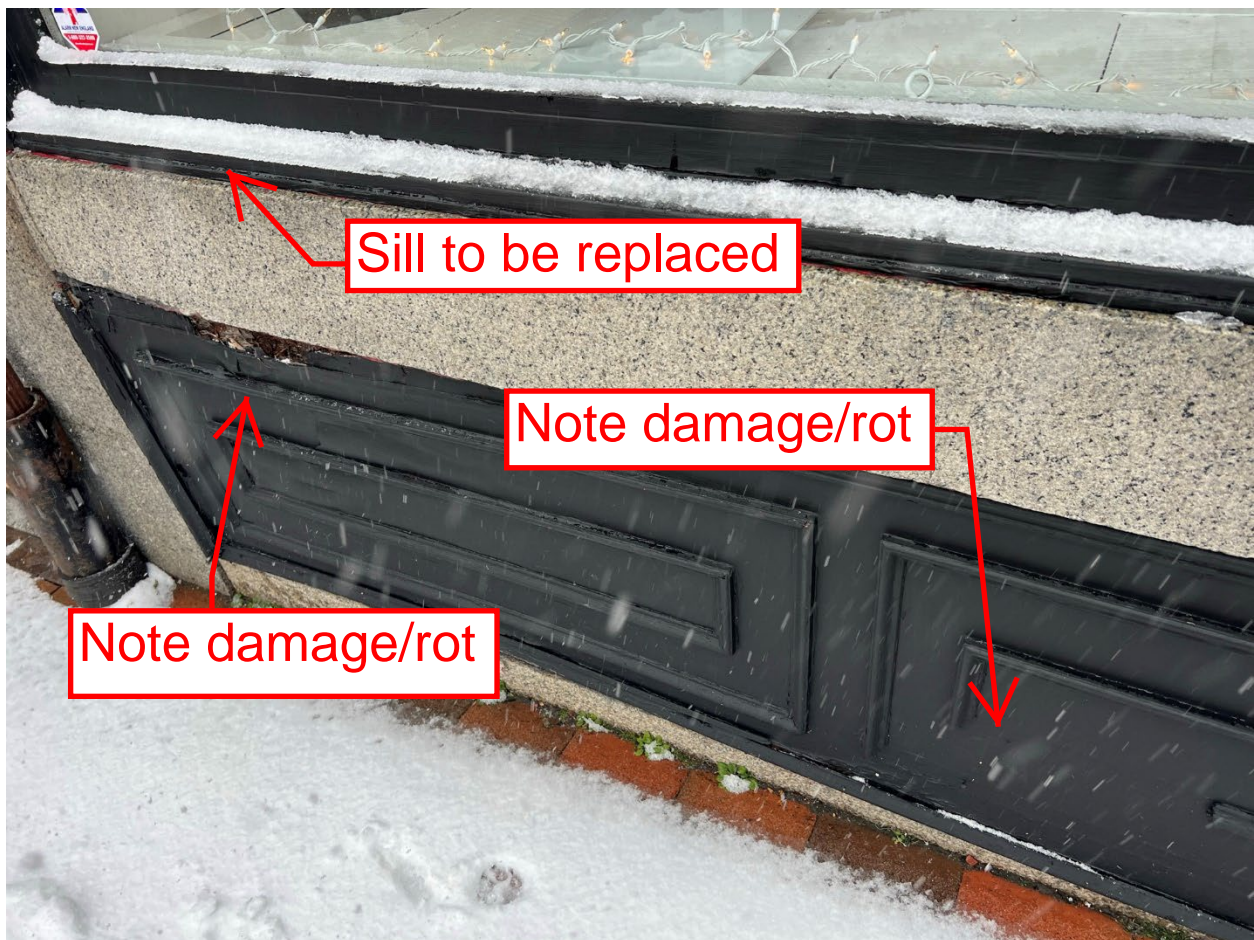
Replace

Replace

Damaged lower panel right



Damaged lower panel Left



13. 17 Pray Street

- TBD

Background: The applicant is seeking approval for the installation of HVAC equipment. Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

LUHD-587

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 21, 2023**Applicant**

Bruce Addison
radarizzy@gmail.com
17 Pray St
17 Pray St
Portsmouth, New Hampshire 03801
7814241834

Primary Location

17 PRAY ST
Portsmouth, NH 03801

Owner:

ADDISON BRUCE L REV TST OF 2021 (1/2 INT) & ELSHOUT SALLY E REV
TST OF 2021 (1/2 INT)
17 PRAY ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

adding split heater pump

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Sally Elshout

Business Name (if applicable)

--

Mailing Address (Street)

17 Pray St

City/Town

Portsmouth

State

NH

Zip Code

03801

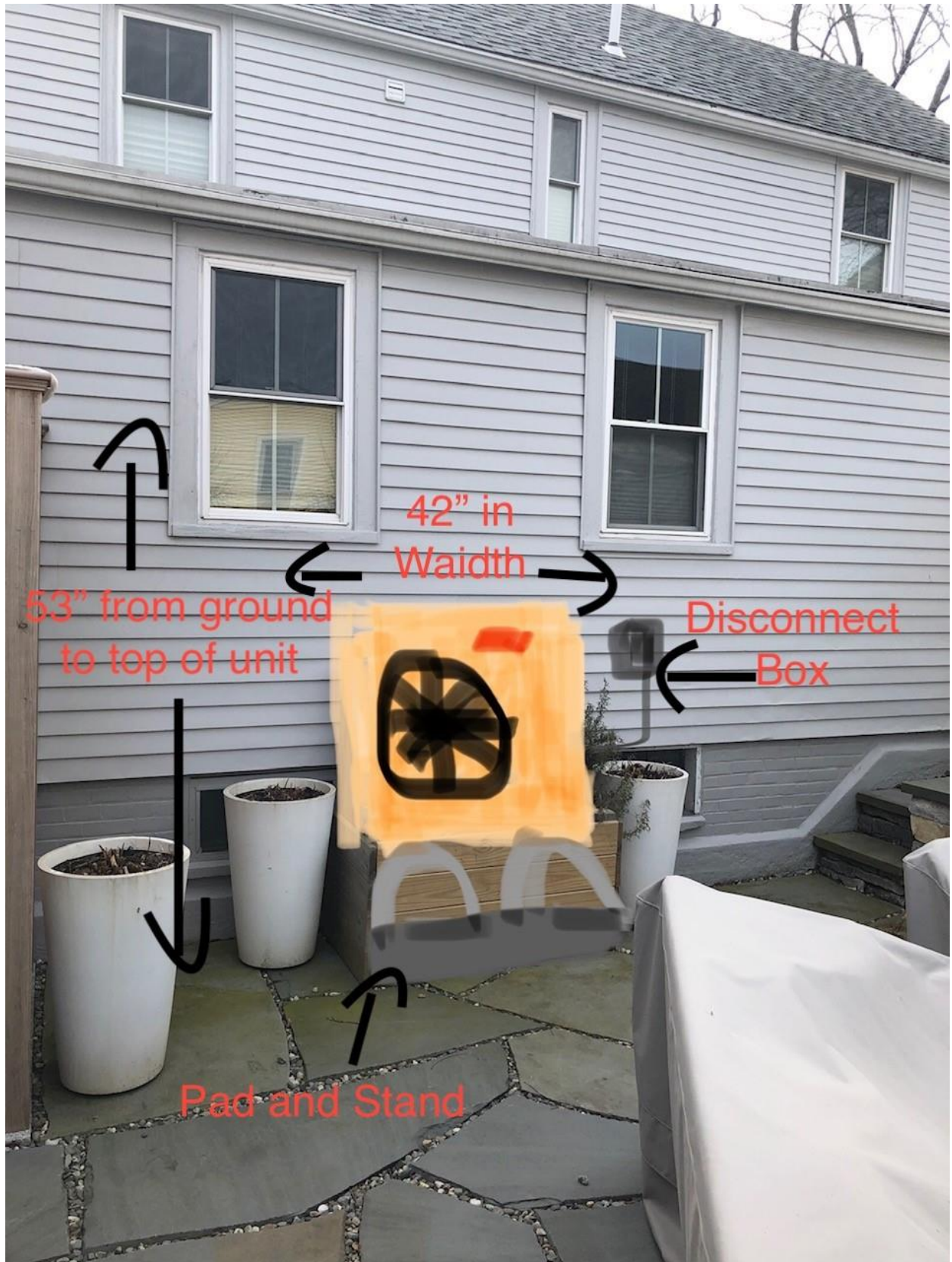
Phone

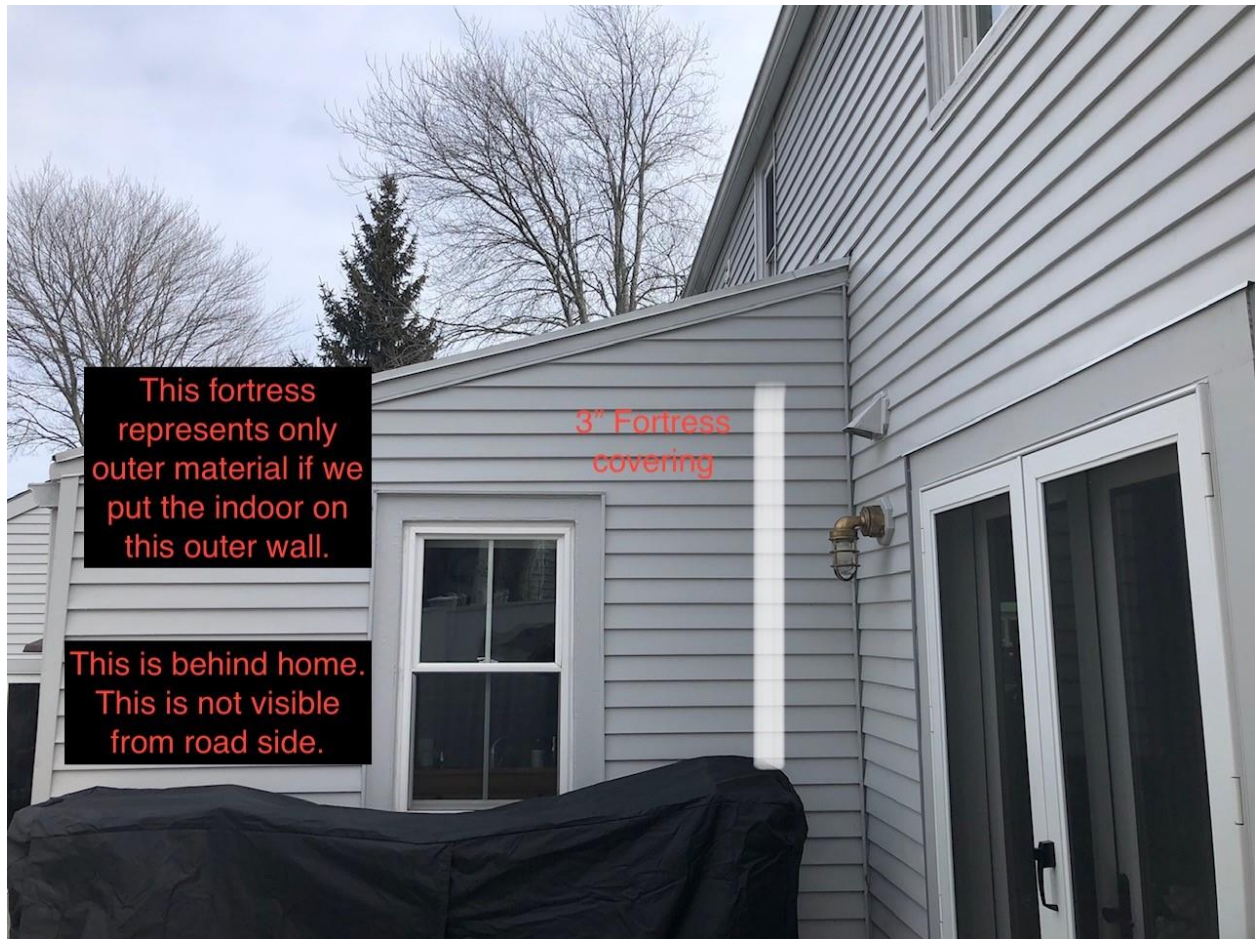
603-498-6456

Email Address

sallyelshout@yahoo.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**





This fortress
represents only
outer material if we
put the indoor on
this outer wall.

3" Fortress
covering

This is behind home.
This is not visible
from road side.

14. 179 Pleasant Street

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (removal of one new chimney and infill of a basement walkout).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

LUHD-589

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 22, 2023**Applicant**

Carla Goodknight
carla@cjarchitects.net
233 Vaughan Street
Suite 101
Portsmouth, NH 03801
6034312808

Primary Location

179 PLEASANT ST
Portsmouth, NH 03801

Owner:

MILL POND VIEW LLC
PO BOX 399 NOTTINGHAM, NH 03290

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

This application is for approval of two changes. Removal of one new chimney and infill of a small basement walkout.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Carla Goodknight

Business Name (if applicable)

CJ Architects

Mailing Address (Street)

233 Vaughan Street

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

6034312808

Email Address

carla@cjarchitects.net

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



APPROVED 9/7/2022



APPROVED 9/7/2022



PROPOSED 3/1/2023



PROPOSED 3/1/2023

City of Portsmouth
Historic District Commission & Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

March 1, 2023

**179 PLEASANT STREET - HDC APPLICATION
FOR ADMINISTRATIVE APPROVAL**

Dear Chairman Wyckoff,

This application is for approval of two changes: Both changes are depicted in several views and plans where they occurred in the original application for approval.

1. Removal of one of the new chimneys that would have been visible from Pleasant Street.
2. Infill of a small basement walkout level due to grading requirements along the adjacent sewer easement. Remove walkout doors and replace with (3) Marvin 3'-5" W x 2'-7 3/8" H awning windows to match approved specification.

Thank you for your consideration.
Sincerely,

Carla Goodknight, AIA
Principal, CJ Architects LLC

Representing owners:
Mill Pond View, LLC.

REMOVE CHIMNEY

REMOVE WALKOUT

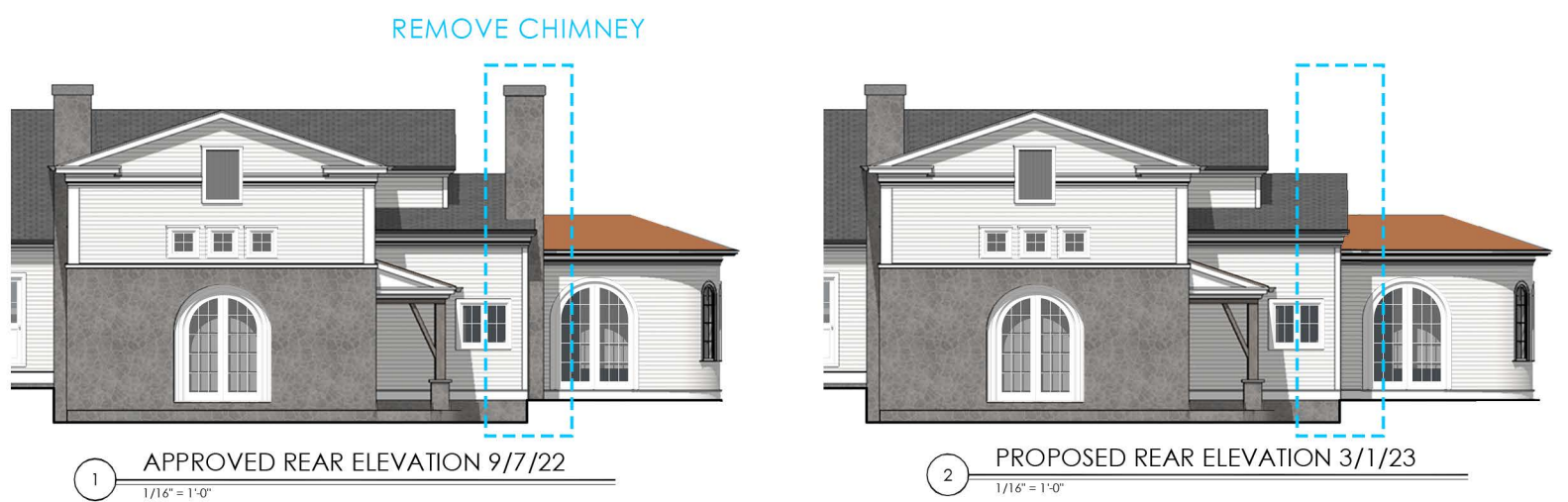
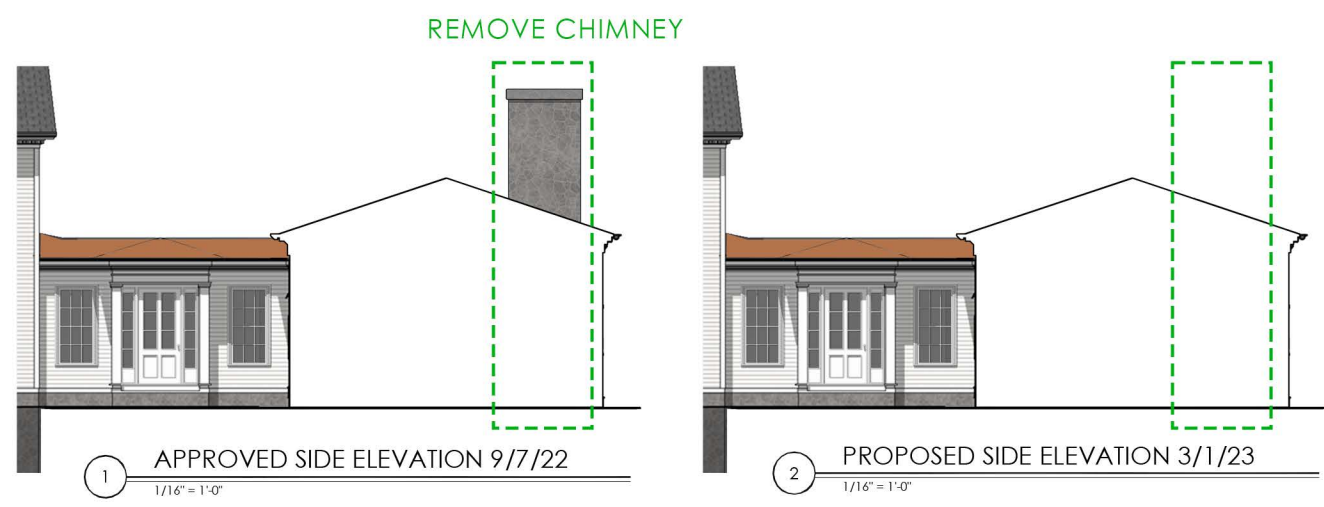
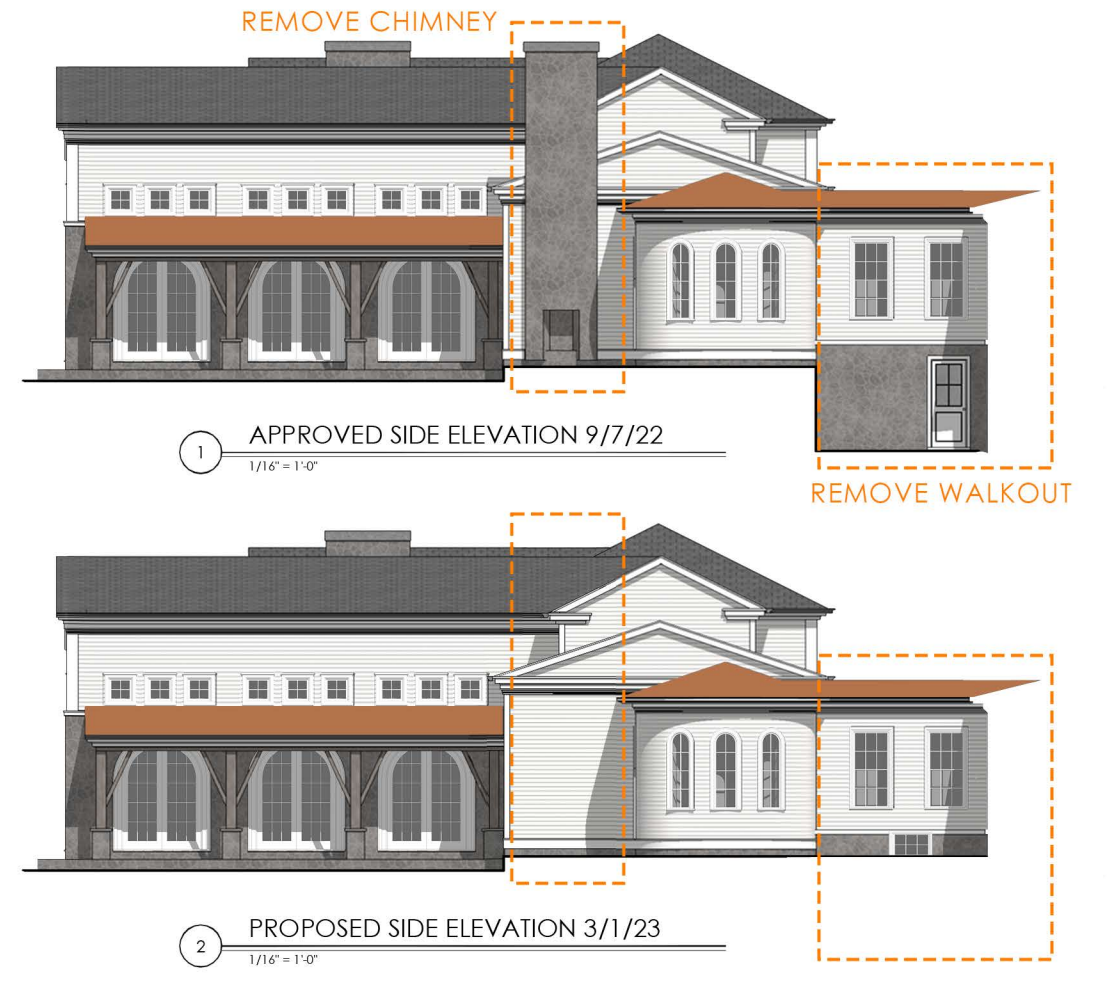
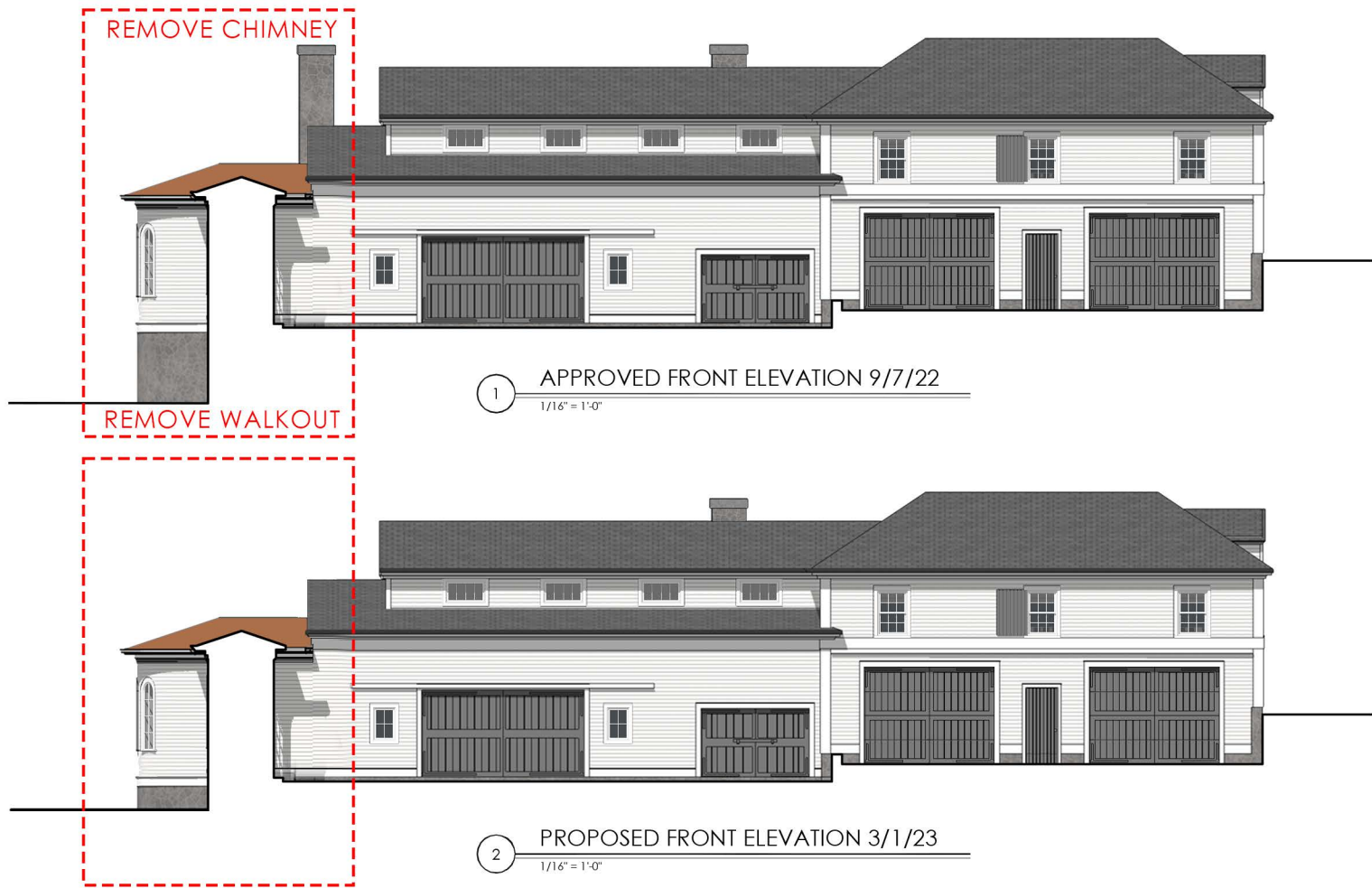
179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

RENDERINGS

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MARCH 1, 2023



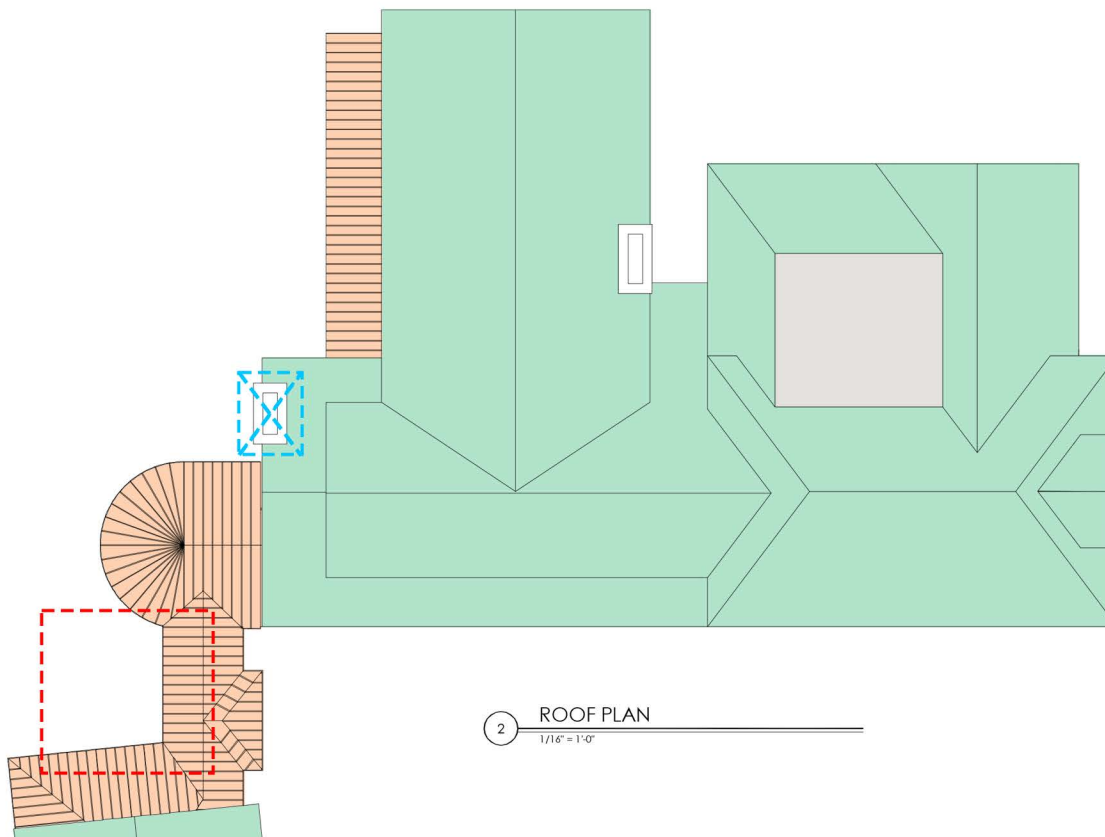
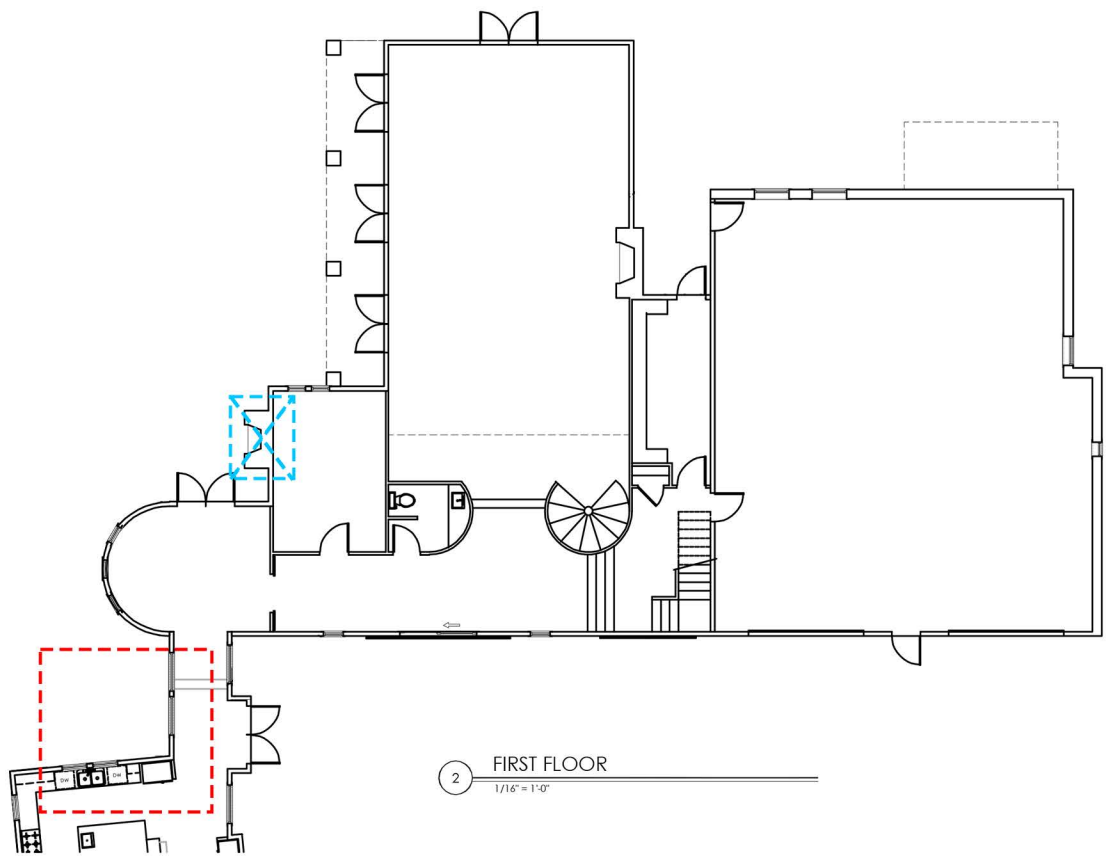
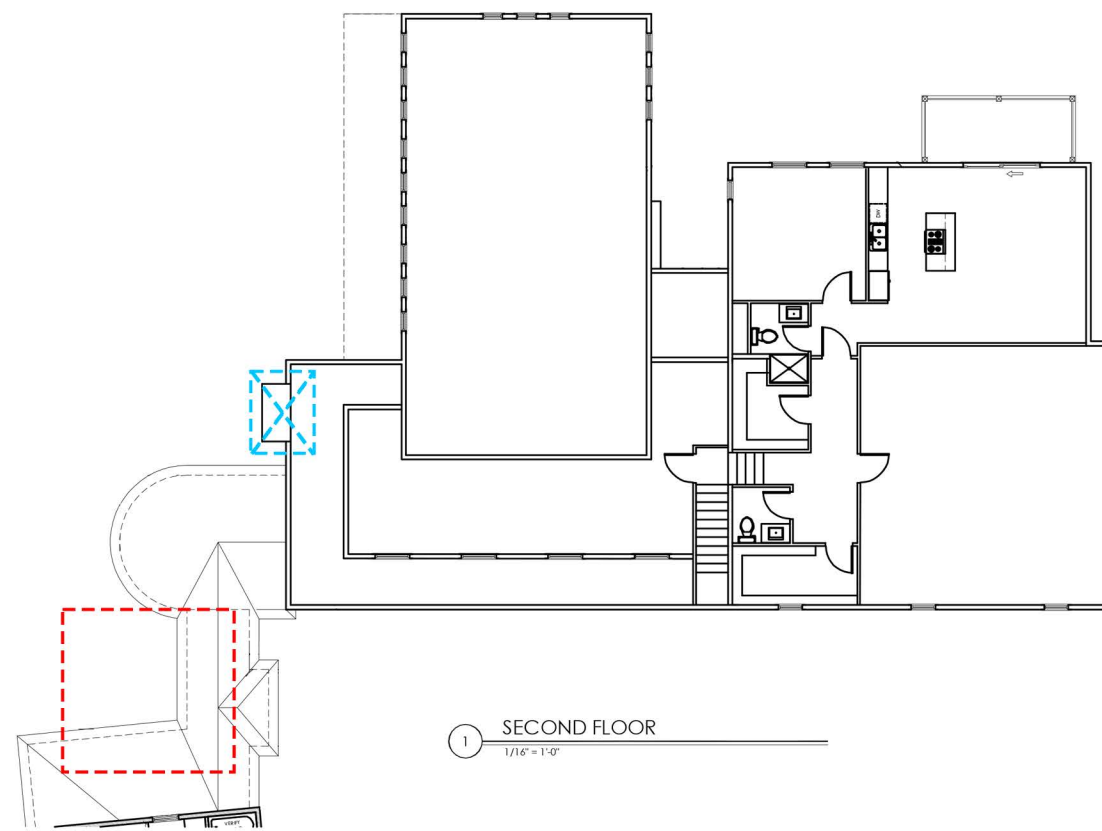
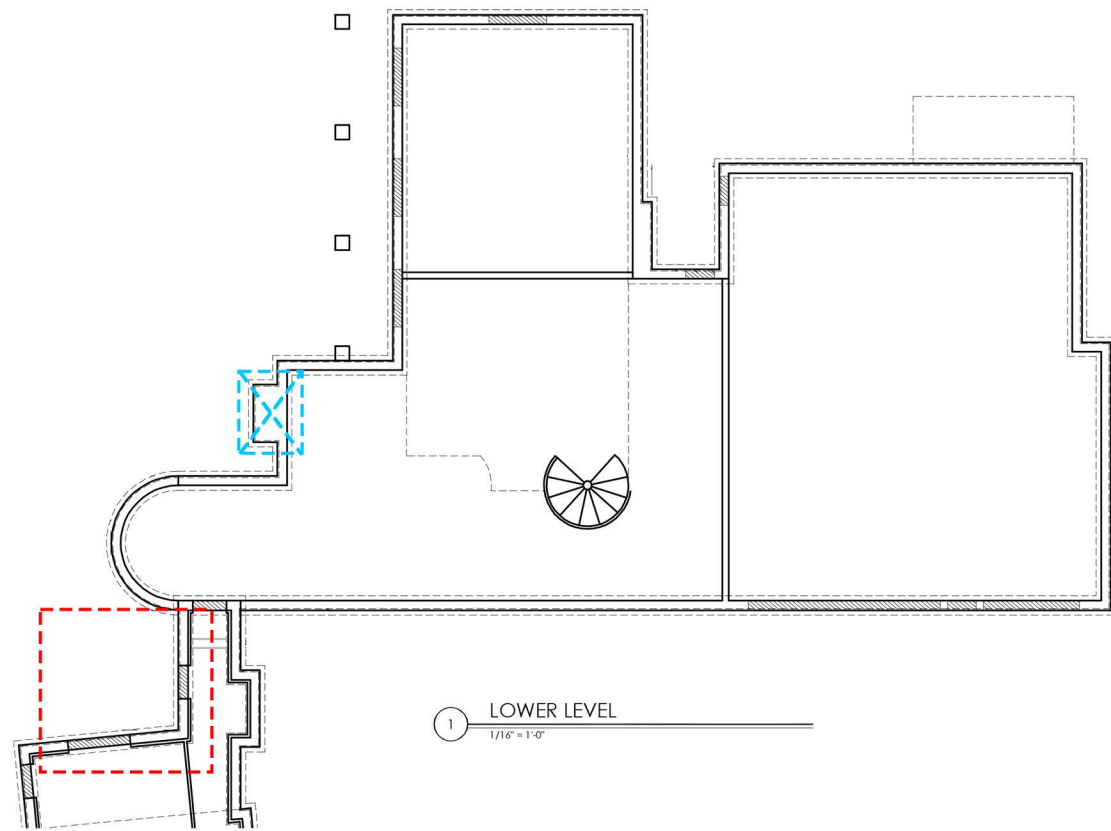
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179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

ELEVATIONS

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MARCH 1, 2023



KEY:

 SLATE
 COPPER
 RUBBER MEMBRANE

REMOVE CHIMNEY

REMOVE WALKOUT

179 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

PLANS

HDC ADMINISTRATIVE APPLICATION TO AMEND PREVIOUS APPROVAL: MARCH 1, 2023



3.0

15. 64 Vaughan Street - TBD

Background: The applicant is seeking approval for changes to a previously approved design (extended shed roof over entry door, revised stair massing and deck footprint, and other material and design changes).

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

LUHD-591

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Feb 22, 2023**Applicant**

Mark Moeller
mmoeller@jsainc.com
273 Corporate Drive
Portsmouth, NH 03801
603-436-2551 ext 248

Primary Location

64 VAUGHAN ST
Portsmouth, NH 03801

Owner:

NOVOCURE INC
195 COMMERCE WAY PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

HDC requested modifications to the roof appurtenance (approved 01/19/23) including: extended shed roof over entrance door; revised secondary stair massing; revised deck footprint; material change at dormer pediment. There is also a minor change to the extent of the shed roof (facing the roof deck).

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Owner

Full Name (First and Last)

Dean Smith

Business Name (if applicable)

Novocure

Mailing Address (Street)

195 Commerce Way

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603 436 2809

Email Address

dsmith@novocure.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**



February 8, 2023

City of Portsmouth
Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

Attn: Historic District Commission
Re: 64 Vaughan mall (LU-20-214)

In response to the HDC Approval Letter dated January 19, 2023, the applicant for the renovations/addition to 64 Vaughan Mall (Novocure) is seeking an administrative approval for the revisions requested in the Approval Letter. The revisions are noted on the attached plans elevations and shown juxtaposed to the previously submitted 12/20/22 plans/elevations.

The revisions include:

1. Extended shed roof over the entrance/exit door to roof deck.
2. Revised secondary stair massing.
3. Revised deck footprint.
4. Material change at dormer pediment

Please note that we've made subtle interior modifications over the past month that have impacted the extent of the shed roof (Revision 1). This shed dormer is slightly wider than the December submission resulting in a more symmetrical presentation to the roof deck.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'Mark K. Moeller', followed by a long horizontal line extending to the right.

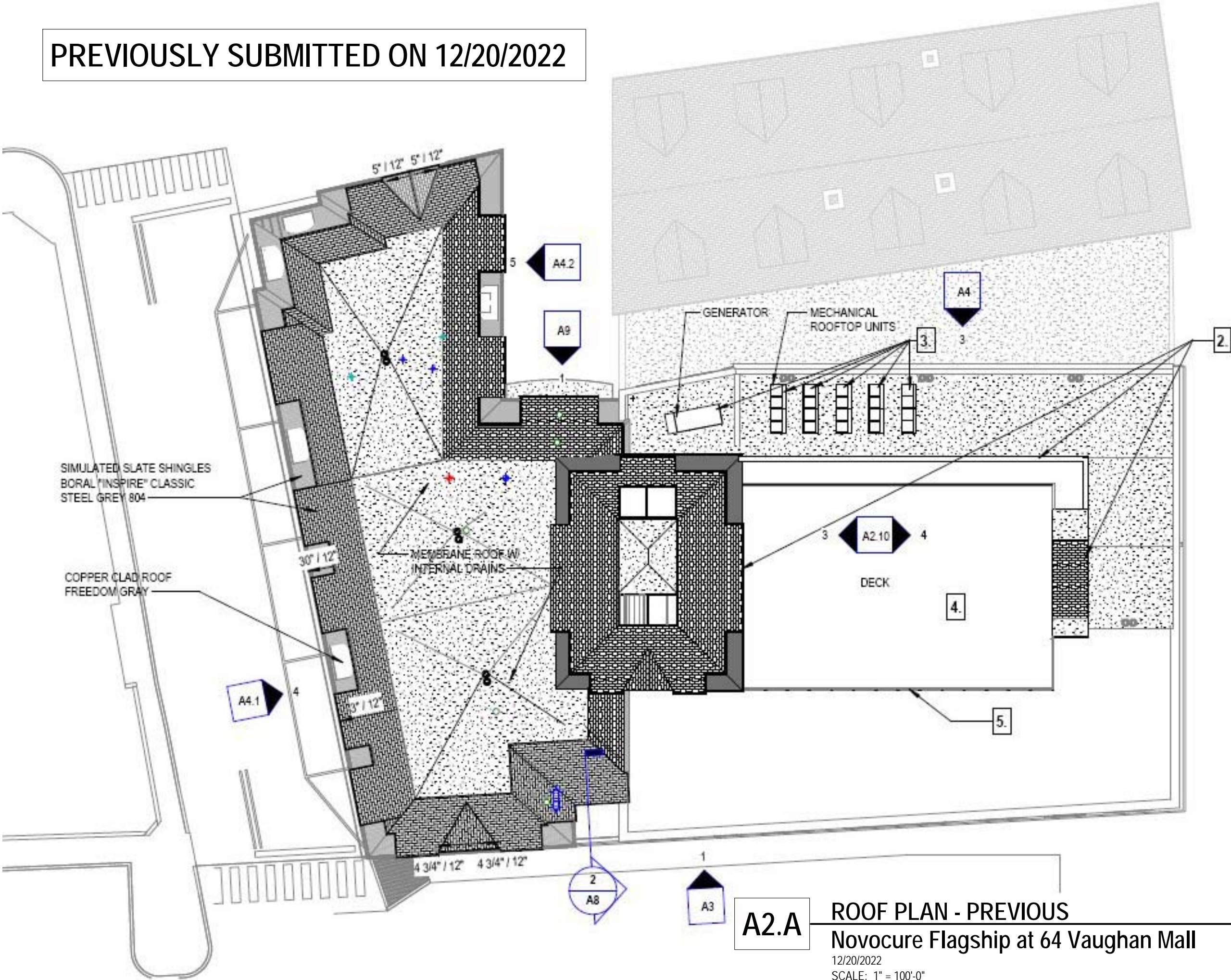
Mark K. Moeller, AIA LEED AP
Principal

cc: Dean Smith, Novocure
Steve Wilson, Hampshire Development Corporation

PREVIOUSLY SUBMITTED ON 12/20/2022

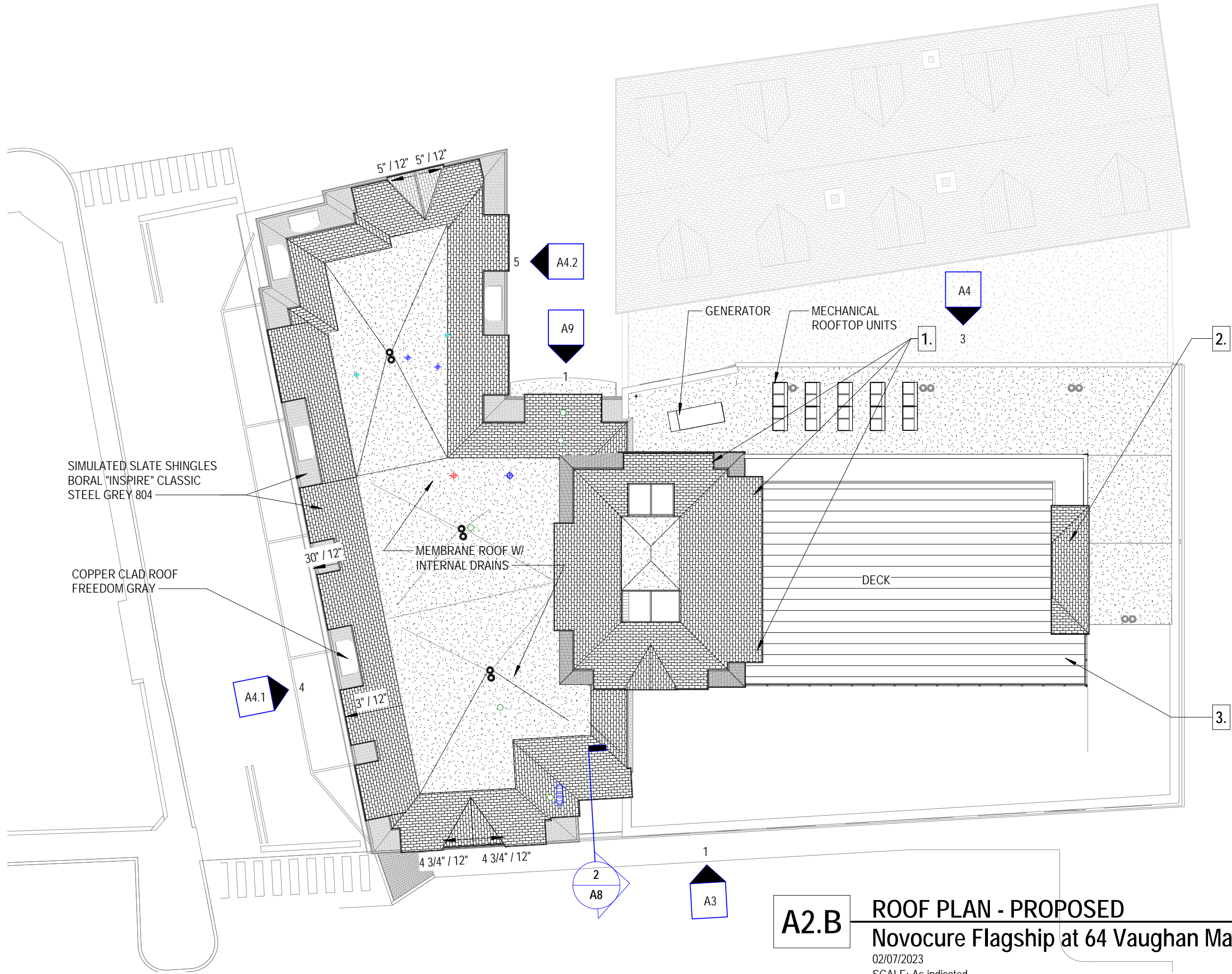
HDC REVISION KEY NOTES- 12/20/2022

- 1. LOUVER LOCATIONS FOR MECH SYSTEM
- 2. REVISED DESIGN OF ELEVATOR AND STAIR OVERRUNS, ADDED RAISED GREEN ROOF PLANTERS AT ROOF TERRACE.
- 3. UPDATED MECHANICAL ROOF TOP UNITS
- 4. ROOF TERRACE
- 5. REVISED ROOF DECK RAILING ASSEMBLY
- 6. NEW EGRESS DOOR

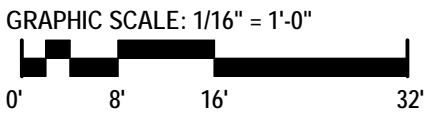


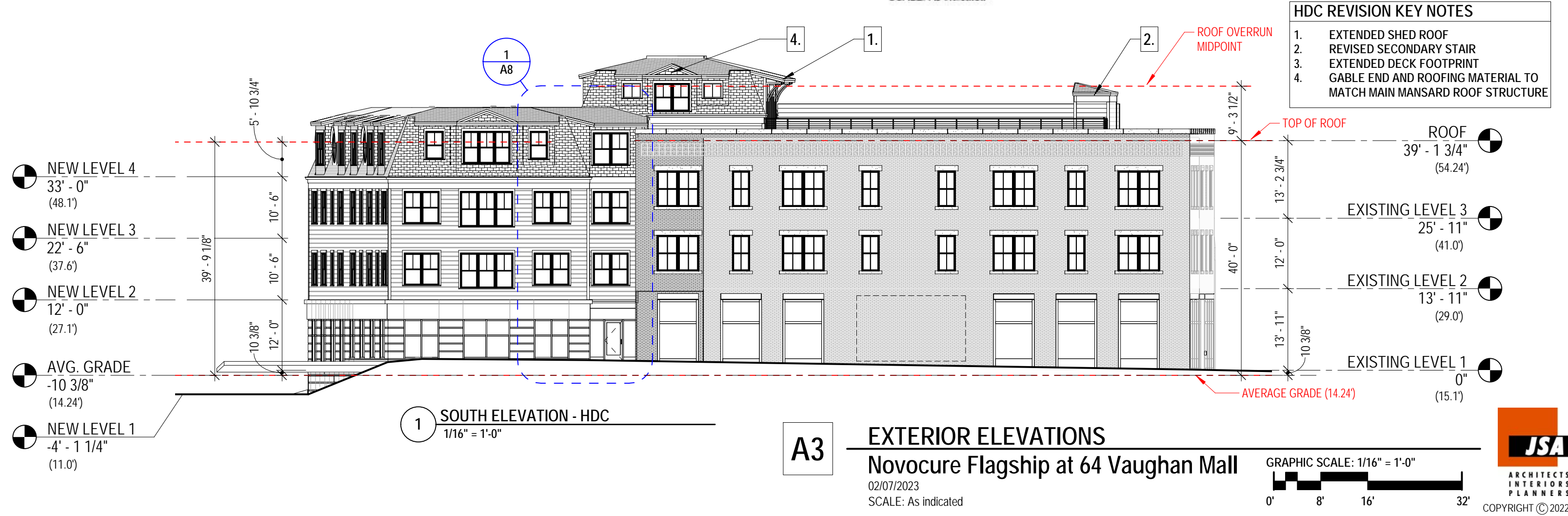
A2.A ROOF PLAN - PREVIOUS
Novocure Flagship at 64 Vaughan Mall
12/20/2022
SCALE: 1" = 100'-0"

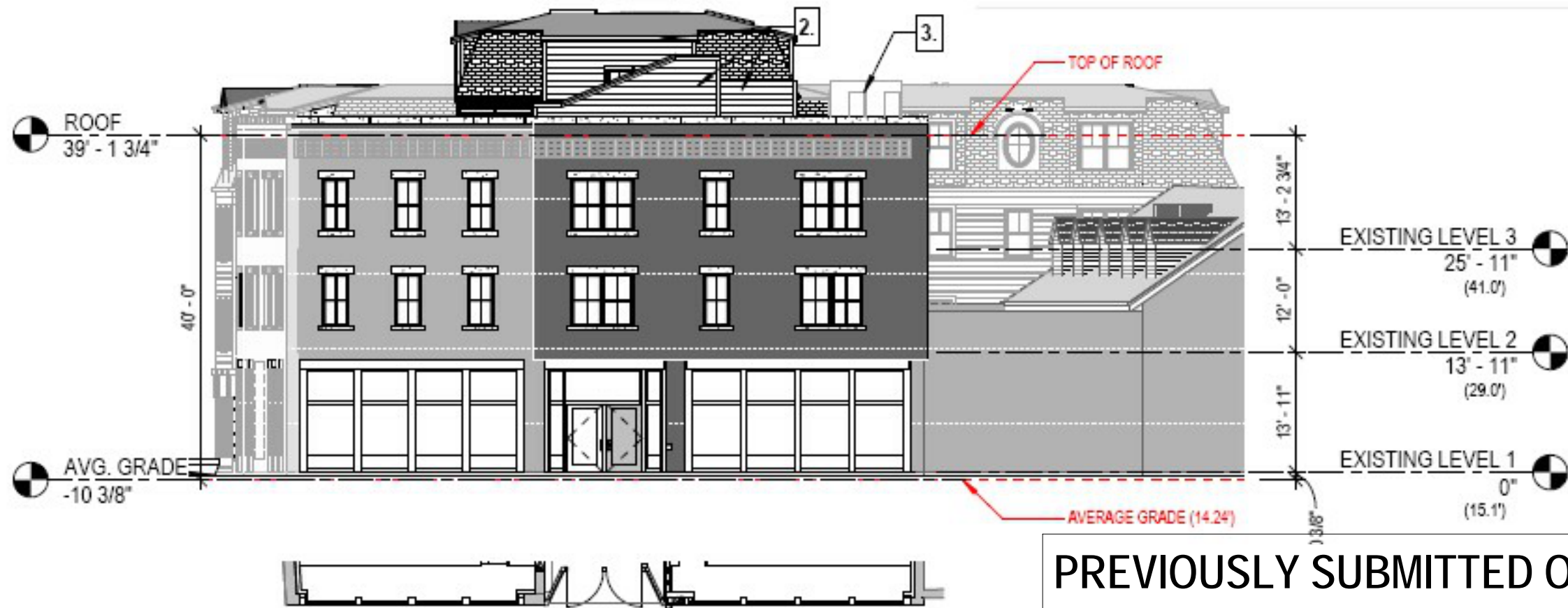
HDC REVISION KEY NOTES	
1.	EXTENDED SHED ROOF
2.	REVISED SECONDARY STAIR
3.	EXTENDED DECK FOOTPRINT
4.	GABLE END AND ROOFING MATERIAL TO MATCH MAIN MANSARD ROOF STRUCTURE



A2.B ROOF PLAN - PROPOSED
Novocure Flagship at 64 Vaughan Mall
02/07/2023
SCALE: As indicated







HDC REVISION KEY NOTES- 12/20/2022

1. LOUVER LOCATIONS FOR MECH SYSTEM
2. REVISED DESIGN OF ELEVATOR AND STAIR OVERRUNS, ADDED RAISED GREEN ROOF PLANTERS AT ROOF TERRACE.
3. UPDATED MECHANICAL ROOF TOP UNITS
4. ROOF TERRACE
5. REVISED ROOF DECK RAILING ASSEMBLY
6. NEW EGRESS DOOR

2 EAST ELEVATION - HDC
1/16" = 1'-0"

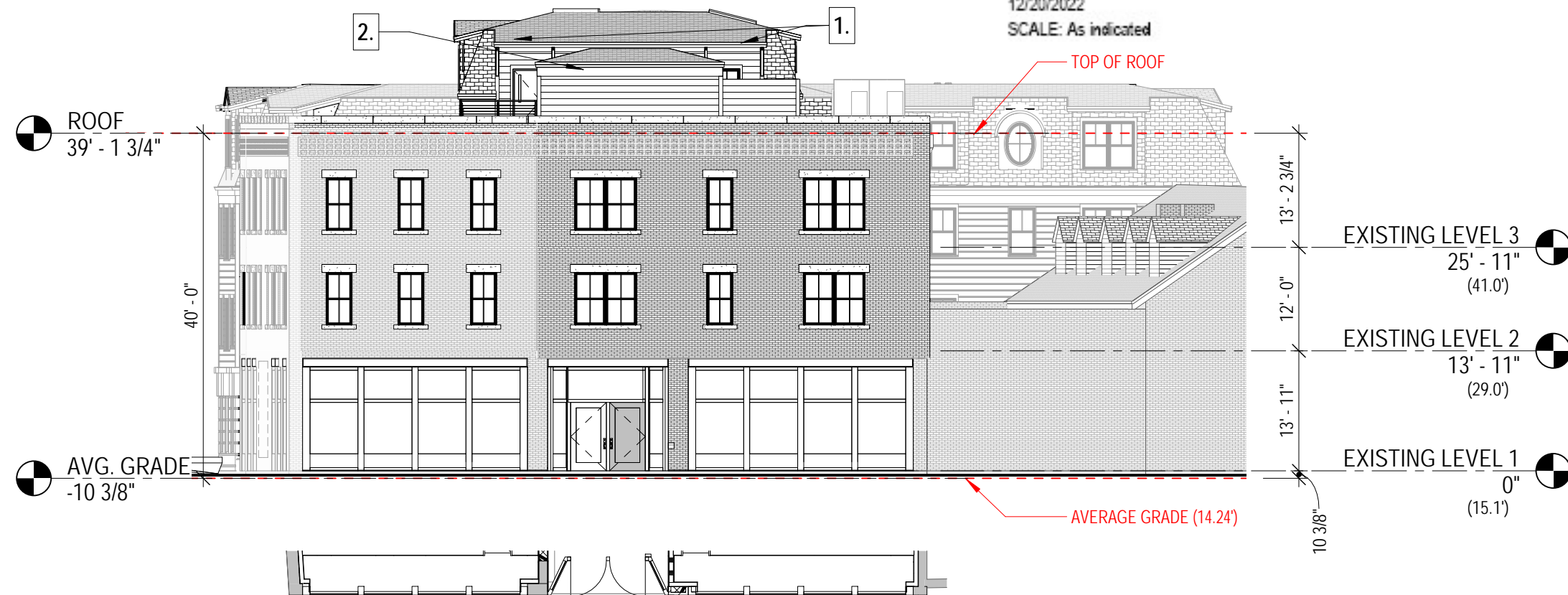
A3.1

EXTERIOR ELEVATIONS

Novocure Flagship at 64 Vaughan Mall

12/20/2022

SCALE: As indicated



HDC REVISION KEY NOTES

1. EXTENDED SHED ROOF
2. REVISED SECONDARY STAIR
3. EXTENDED DECK FOOTPRINT
4. GABLE END AND ROOFING MATERIAL TO MATCH MAIN MANSARD ROOF STRUCTURE

2 EAST ELEVATION - HDC
1/16" = 1'-0"

A3.1

EXTERIOR ELEVATIONS

Novocure Flagship at 64 Vaughan Mall

02/07/2023

SCALE: As indicated

GRAPHIC SCALE: 1/16" = 1'-0"



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PREVIOUSLY SUBMITTED ON 12/20/2022

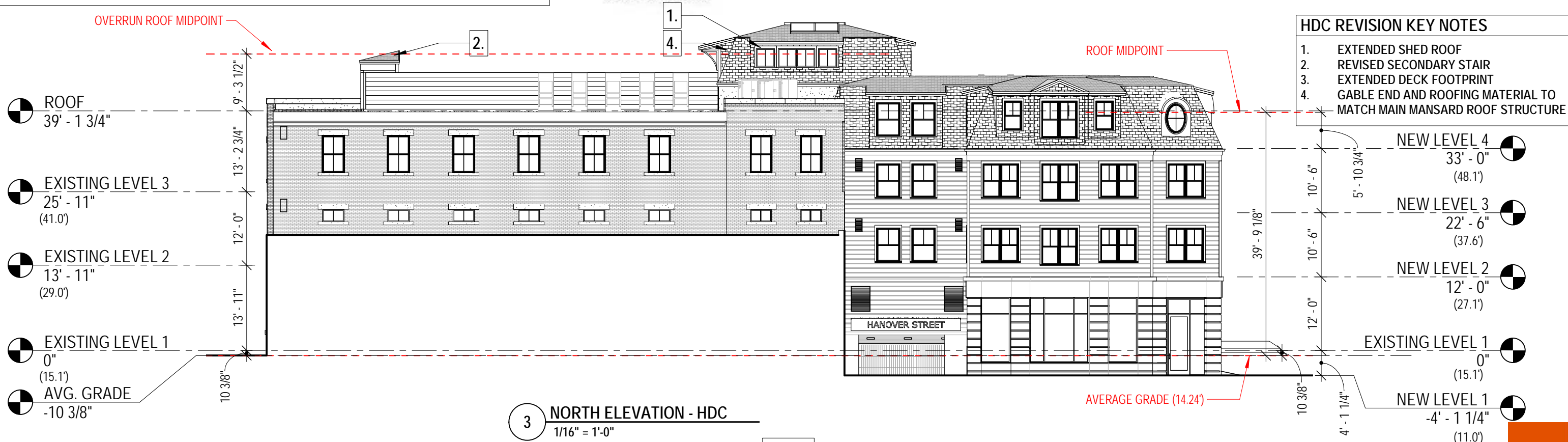
A4

EXTERIOR ELEVATIONS

Novocure Flagship at 64 Vaughan Mall

12/20/2022

SCALE: As indicated



A4

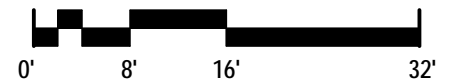
EXTERIOR ELEVATIONS

Novocure Flagship at 64 Vaughan Mall

02/07/2023

SCALE: As indicated

GRAPHIC SCALE: 1/16" = 1'-0"



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HDC REVISION KEY NOTES	
1.	EXTENDED SHED ROOF
2.	REVISED SECONDARY STAIR
3.	EXTENDED DECK FOOTPRINT
4.	GABLE END AND ROOFING MATERIAL TO MATCH MAIN MANSARD ROOF STRUCTURE





2 HANOVER STREET VIEW 02



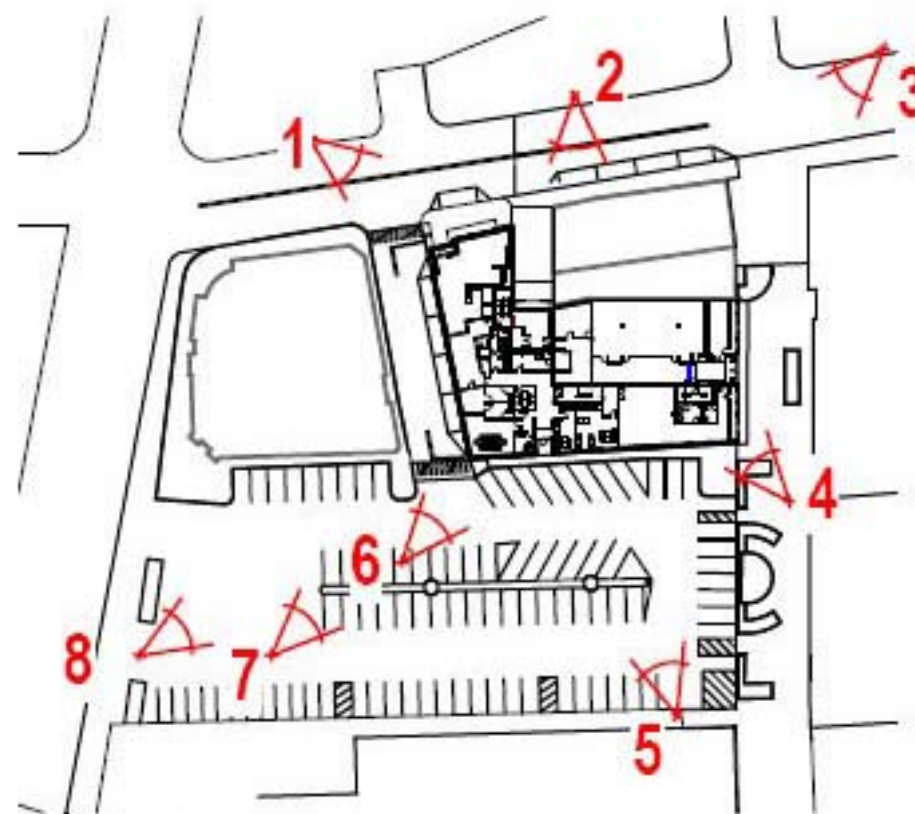
4 VAUGHAN MALL VIEW 01



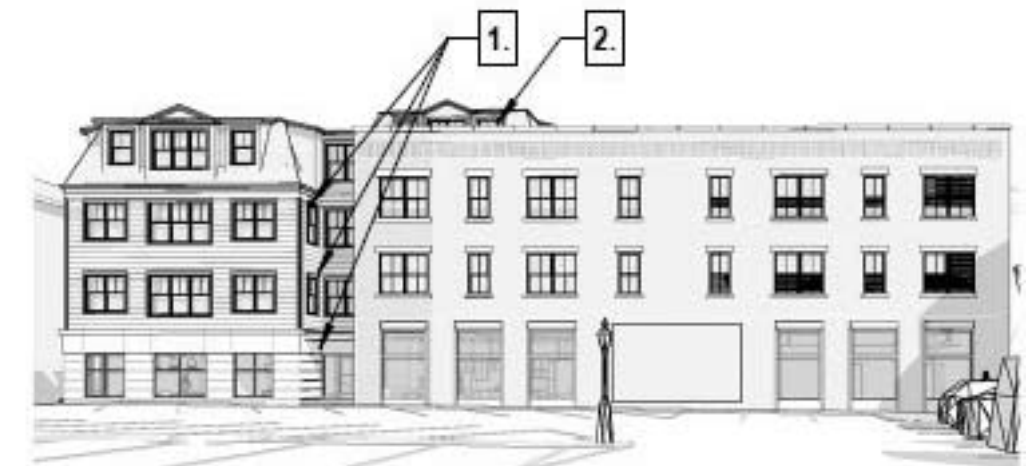
6 WORTH LOT VIEW 02



1 HANOVER STREET VIEW 01



P PERSPECTIVE PLAN
1" = 100'-0"



5 WORTH LOT VIEW 01

- HDC REVISION KEY NOTES- 12/20/2022
1. LOUVER LOCATIONS FOR MECH SYSTEM
 2. REVISED DESIGN OF ELEVATOR AND STAIR OVERRUNS, ADDED RAISED GREEN ROOF PLANTERS AT ROOF TERRACE.
 3. UPDATED MECHANICAL ROOF TOP UNITS
 4. ROOF TERRACE
 5. REVISED ROOF DECK RAILING ASSEMBLY
 6. NEW EGRESS DOOR

PREVIOUSLY SUBMITTED ON 12/20/2022

A5.A

PERSPECTIVE VIEWS - PREVIOUS Novocure Flagship at 64 Vaughan Mall

12/20/2022
SCALE: 1" = 100'-0"



2 HANOVER STREET VIEW 02



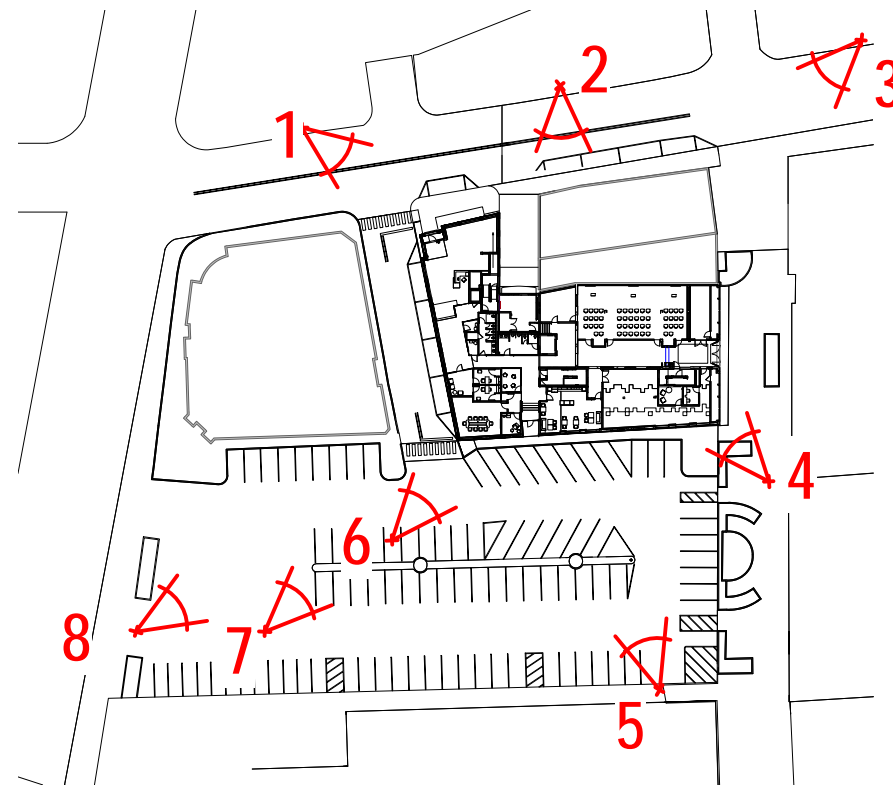
4 VAUGHAN MALL VIEW 01



6 WORTH LOT VIEW 02

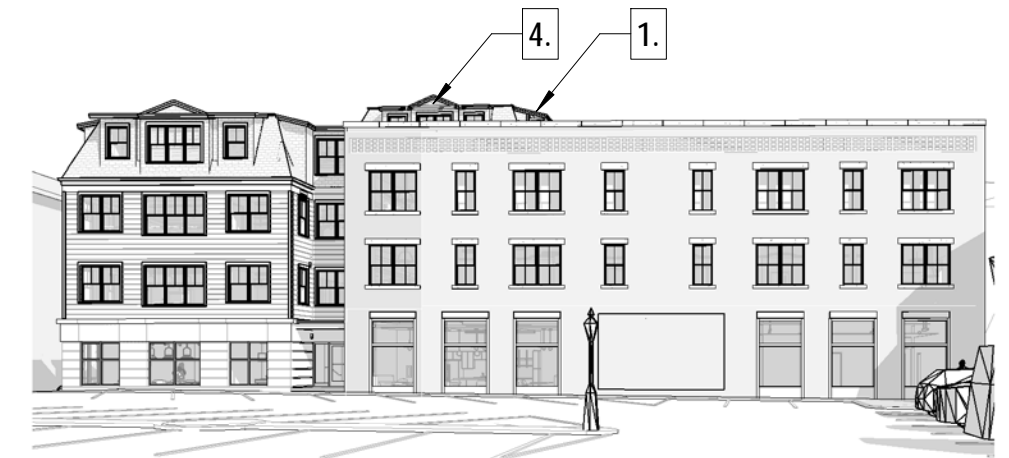


1 HANOVER STREET VIEW 01



P PERSPECTIVE PLAN
1" = 100'-0"

HDC REVISION KEY NOTES	
1.	EXTENDED SHED ROOF
2.	REVISED SECONDARY STAIR
3.	EXTENDED DECK FOOTPRINT
4.	GABLE END AND ROOFING MATERIAL TO MATCH MAIN MANSARD ROOF STRUCTURE



5 WORTH LOT VIEW 01

A5.B

PERSPECTIVE VIEWS - PROPOSED Novocure Flagship at 64 Vaughan Mall

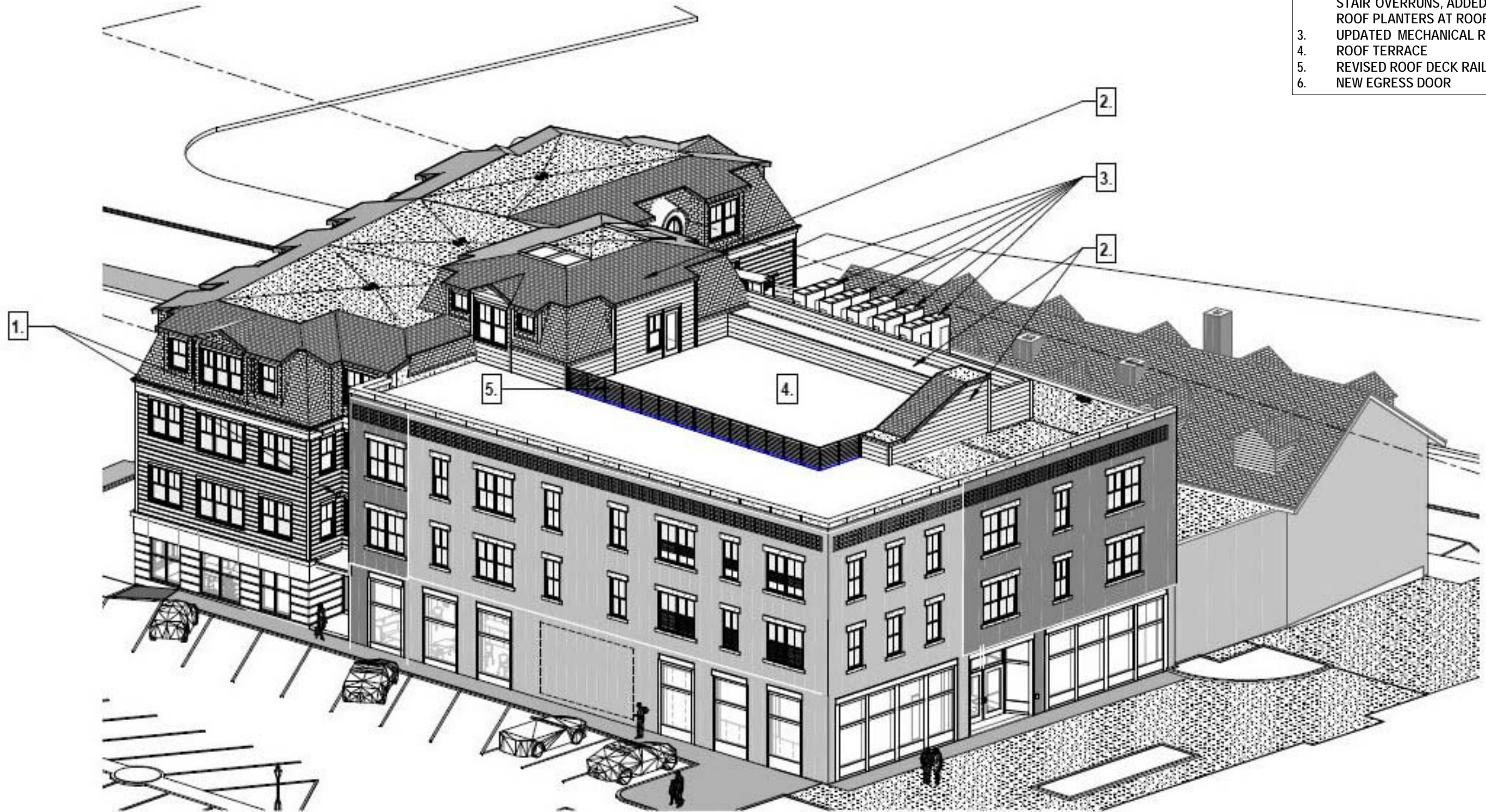
02/07/2023
SCALE: 1" = 100'-0"



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HDC REVISION KEY NOTES- 12/20/2022

1. LOUVER LOCATIONS FOR MECH SYSTEM
2. REVISED DESIGN OF ELEVATOR AND STAIR OVERRUNS, ADDED RAISED GREEN ROOF PLANTERS AT ROOF TERRACE.
3. UPDATED MECHANICAL ROOF TOP UNITS
4. ROOF TERRACE
5. REVISED ROOF DECK RAILING ASSEMBLY
6. NEW EGRESS DOOR



PREVIOUSLY SUBMITTED ON 12/20/2022

A15

SOUTHEAST AXONOMETRIC- PREVIOUS
Novocure Flagship at 64 Vaughan Mall

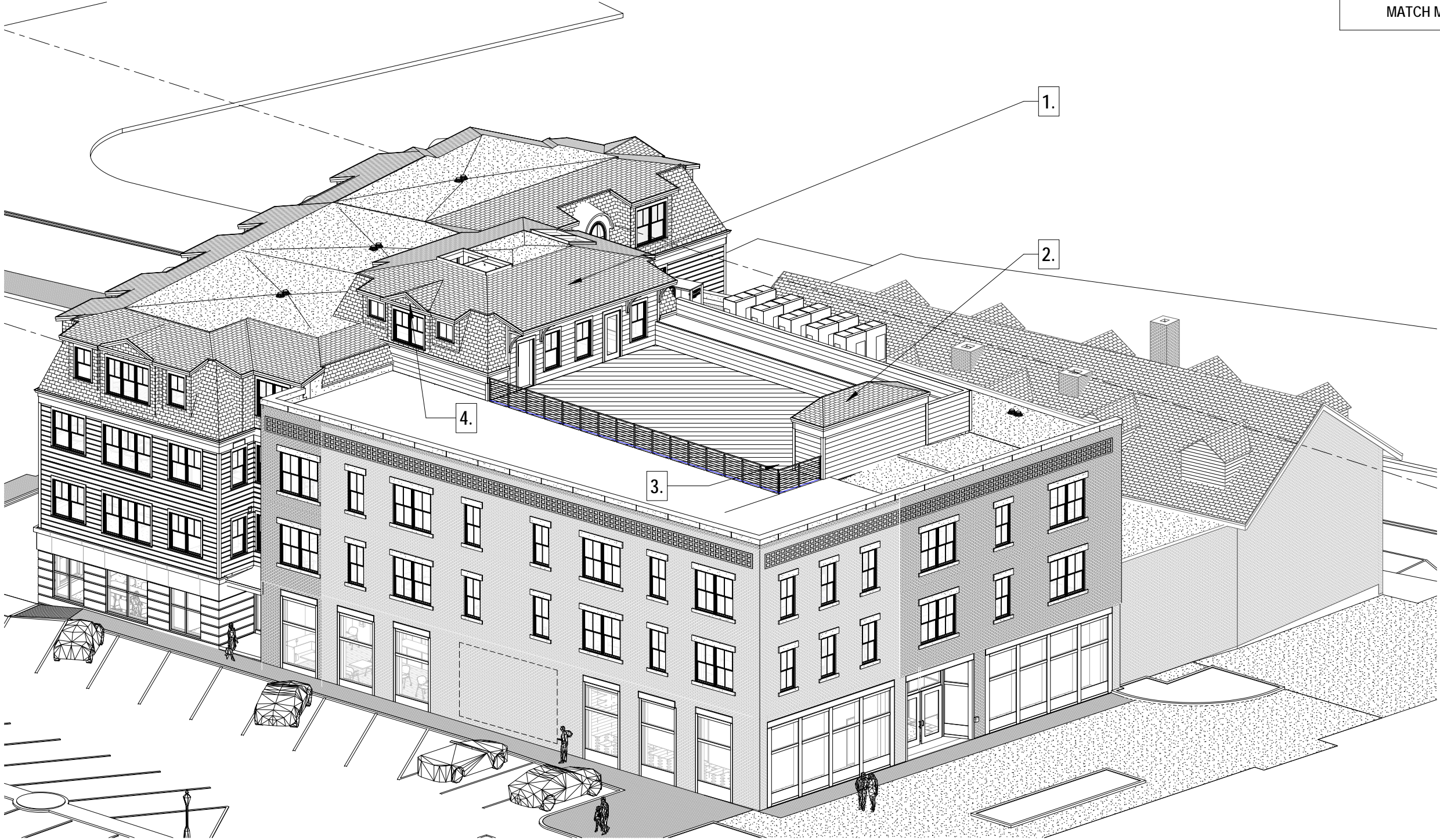
12/20/2022
SCALE: 1" = 100'-0"



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HDC REVISION KEY NOTES	
1.	EXTENDED SHED ROOF
2.	REVISED SECONDARY STAIR
3.	EXTENDED DECK FOOTPRINT
4.	GABLE END AND ROOFING MATERIAL TO MATCH MAIN MANSARD ROOF STRUCTURE



A15.1

SOUTHEAST AXONOMETRIC- PROPOSED
Novocure Flagship at 64 Vaughan Mall

02/07/2023
SCALE: 1" = 100'-0"

HDC REVISION KEY NOTES- 12/20/2022

1. LOUVER LOCATIONS FOR MECH SYSTEM
2. REVISED DESIGN OF ELEVATOR AND STAIR OVERRUNS, ADDED RAISED GREEN ROOF PLANTERS AT ROOF TERRACE.
3. UPDATED MECHANICAL ROOF TOP UNITS
4. ROOF TERRACE
5. REVISED ROOF DECK RAILING ASSEMBLY
6. NEW EGRESS DOOR



PREVIOUSLY SUBMITTED ON 12/20/2022

A19

NORTHWEST AXONOMETRIC- PREVIOUS
Novocure Flagship at 64 Vaughan Mall

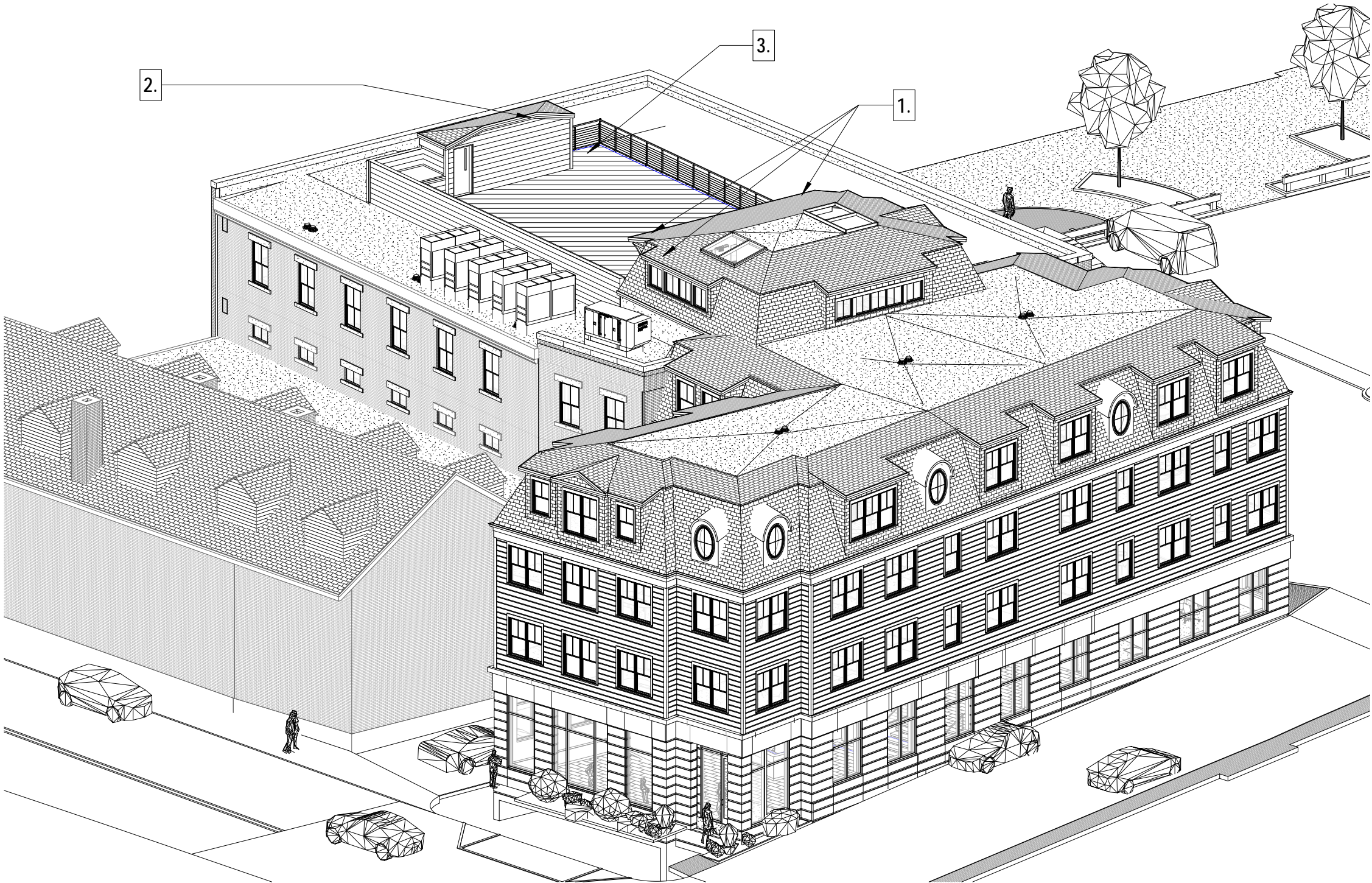
12/20/2022
SCALE: 1" = 100'-0"



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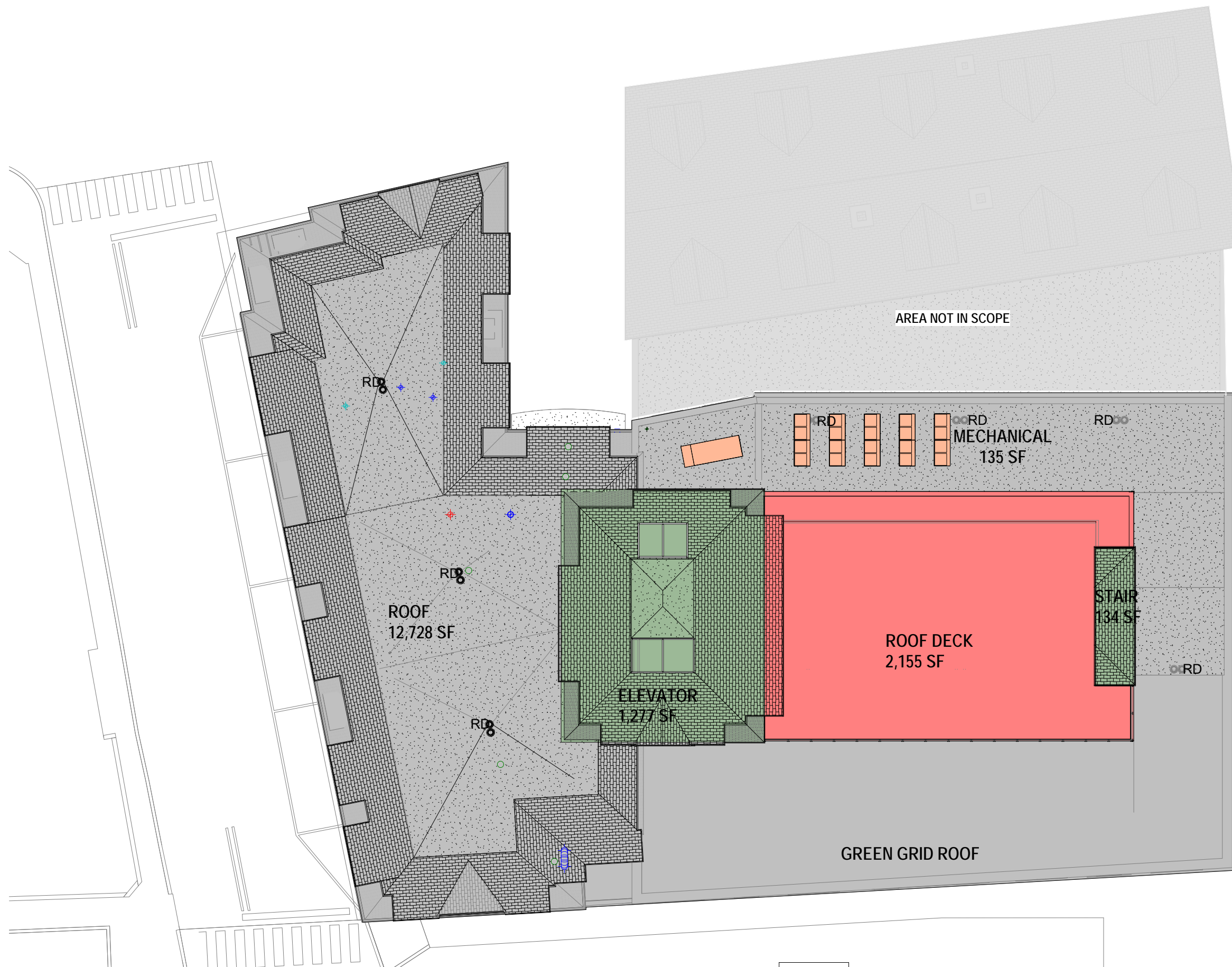
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HDC REVISION KEY NOTES	
1.	EXTENDED SHED ROOF
2.	REVISED SECONDARY STAIR
3.	EXTENDED DECK FOOTPRINT
4.	GABLE END AND ROOFING MATERIAL TO MATCH MAIN MANSARD ROOF STRUCTURE



A19.1

NORTHWEST AXONOMETRIC- PROPOSED
 Novocure Flagship at 64 Vaughan Mall
 02/07/2023
 SCALE: 1" = 100'-0"



ELEVATOR	1,277 SF
STAIR	134 SF
MECHANICAL	135 SF
ROOF DECK	2,155 SF

TOTAL 3,701 SF

3,701SF / 12,728 SF = 29%

A20

ROOF APPURTENANCE AREA Novocure Flagship at 64 Vaughan Mall

02/07/2023

SCALE: 1/16" = 1'-0"



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16. 28 New Castle Avenue

- TBD

Background: The applicant is seeking approval for changes to a previously approved design (siding, windows, and approval for the stone porch columns).

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

LUHD-590**Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Feb 22, 2023**Applicant**

Kimery Poldrack
kimery28@gmail.com
28 New Castle Avenue
Portsmouth, NH 03801
512-789-7119

Primary Location

28 NEW CASTLE AVE
Portsmouth, NH 03801

Owner:

BARBER SUZANNA ERIN & POLDRACK KIMERY G
48 HILLSIDE DR PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

We would like to request administrative approval of the following two items previously requested by the HDC. We are also requesting a window change (item #3) from 6 over 1's to 2 over 1's. If this is not allowable as an administrative approval, we will move forward with 6 over 1's as previously approved.

1. We have uncovered the cladding on the original house structure (cedar shake). Our intent is to re-use this cladding as much as possible and infill with new cedar shake where necessary. It will all be painted when complete. On the 1970's addition (and our 2nd floor addition on top of that portion), we would like to use hardie board.
2. We are planning to use matching New England round stone (natural) for the columns on the front porch.
3. We previously requested to install Marvin Elevate 6 Over 1 windows in all locations. Upon further review of existing windows, we found an original window in the front of the house (facing New Castle Avenue) that is 2 over 1. We would like to request administrative approval for changing the Marvin 6 over 1's to Marvin 2 over 1 Elevate windows, if possible. We have not updated the plans with this change.

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments



LOCATION MAP



ZONING REGULATIONS

SINGLE FAMILY SRB
LOT SIZE 1.16 ACRES

SYMBOLS LEGEND

	INTERIOR ELEVATION
	EXTERIOR ELEVATION TAG
	BUILDING SECTION TAG
	WINDOW TAG
	DOOR TAG
	PLAN/ELEVATIONS/DETAIL REFERENCE TAG
	CEILING HEIGHT/ELEVATION TAG
	NORTH ARROW
	REVISED ARCH CLOUD & SHEET REVISION TAG

DRAWING LIST

<u>ARCHITECTURAL</u>	
A.0	COVER
A.1	SITE PLAN
A.2	EXISTING BASEMENT FLOOR PLAN, DEMOLITION PLAN
A.3	EXISTING FIRST FLOOR PLAN, DEMOLITION PLAN
A.4	EXISTING SECOND FLOOR PLAN, DEMOLITION PLAN
A.5	EXISTING EXTERIOR ELEVATIONS, DEMOLITION ELEVATIONS
A.6	PROPOSED BASEMENT PLANS
A.7	PROPOSED FIRST FLOOR PLAN
A.8	PROPOSED SECOND FLOOR PLAN
A.9	PROPOSED ATTIC FLOOR PLAN
A.10	EXTERIOR ELEVATION
A.11	EXTERIOR ELEVATION
A.12	EXTERIOR ELEVATION
A.13	EXTERIOR ELEVATION
A.14	INTERIOR ELEVATIONS
A.15	INTERIOR ELEVATIONS
A.16	WINDOW & EXTERIOR DOOR SCHEDULE
A.17	INTERIOR PERSPECTIVES
A.18	INTERIOR PERSPECTIVES
L.1	FIRST FLOOR LIGHTING PLAN
L.2	SECOND FLOOR LIGHTING PLAN
<u>STRUCTURAL</u>	
S.1	FIRST FLOOR FRAMING PLAN
S.2	SECOND FLOOR FRAMING PLAN
S.3	CEILING FRAMING PLAN
S.4	ROOF FRAMING PLAN
S.5	BUILDING SECTION

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO AND BE IN ACCORDANCE WITH THE REGULATORY REQUIREMENTS OF THE STATE OF NEW HAMPSHIRE AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED ON MEASUREMENTS AND PHOTOGRAPHS AND ARE NOT INTENDED TO GUARANTEE EXACT CONDITIONS BEFORE WORK IS STARTED. ANY DISCREPANCIES IN ACTUAL FIELD CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

CONSULTANTS:

BARBER/POLDRACK RESIDENCE
28 NEW CASTLE AVE.
PORTSMOUTH, NH

SEAL:

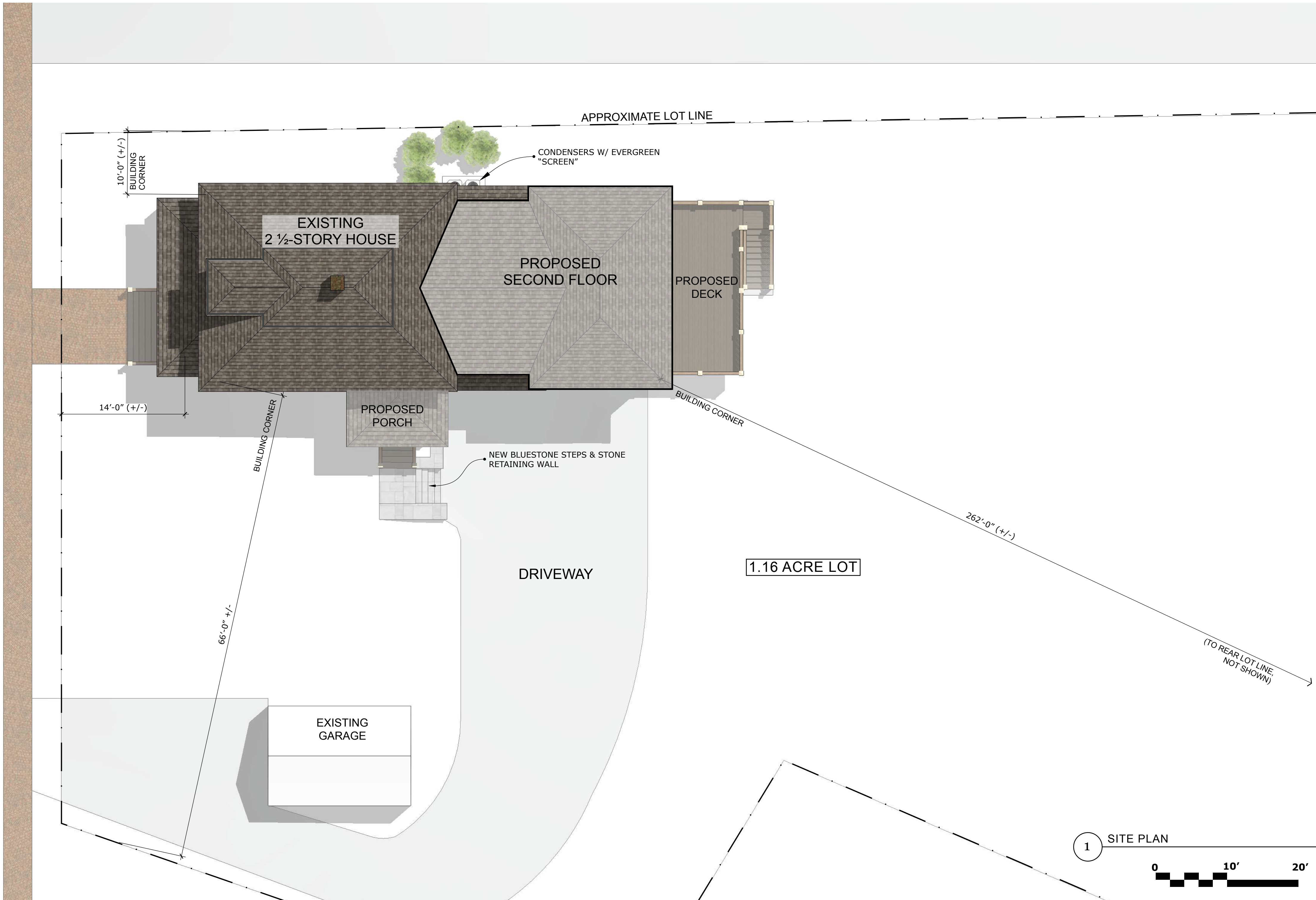
NO.	DESCRIPTION	DATE
1	PERMIT REISSUE	2-16-23

SCALE: NTS
ISSUE DATE: PERMIT 2-3-2023
DRAWING: COVER

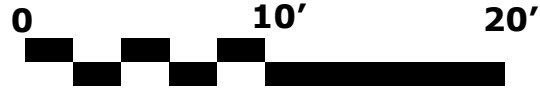
A.0

McGavern
Design

42 Madison Street
Newburyport, MA
978.914.1900



1 SITE PLAN

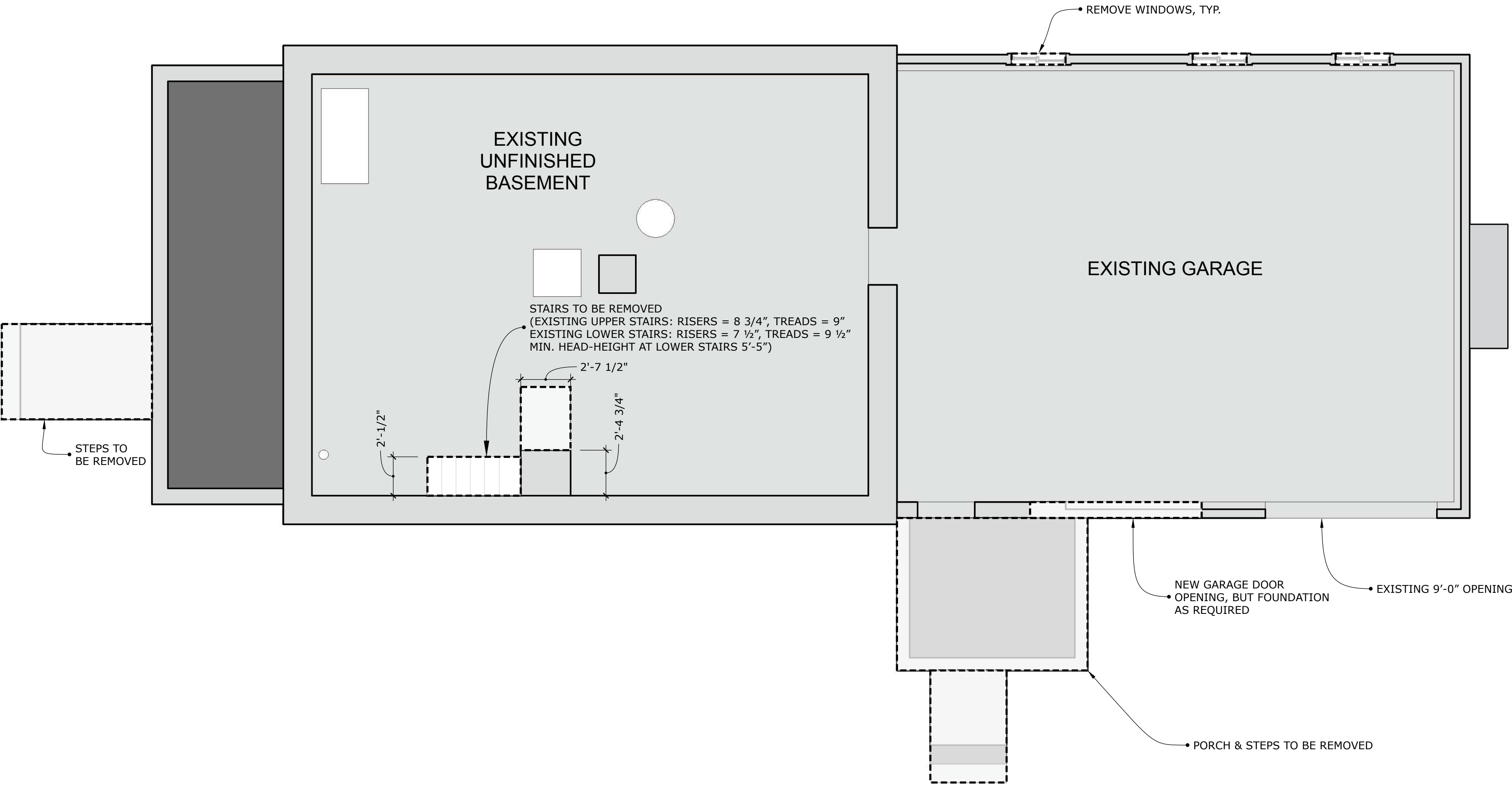


<div>McGavern Design</div> <div>42 Madison Street Newburyport, MA 978.914.1900</div>	CONSULTANTS:	BARBER/POLDRACK RESIDENCE 28 NEW CASTLE AVE. PORTSMOUTH, NH	SEAL:	NO:	DESCRIPTION	DATE	SCALE: 1/8" = 1'-0"	A.1
				1	PERMIT REISSUE	2-16-23	ISSUE DATE: PERMIT 2-3-2023	
							DRAWING: SITE	

KEY

TO BE DEMOLISHED

EXISTING WALLS



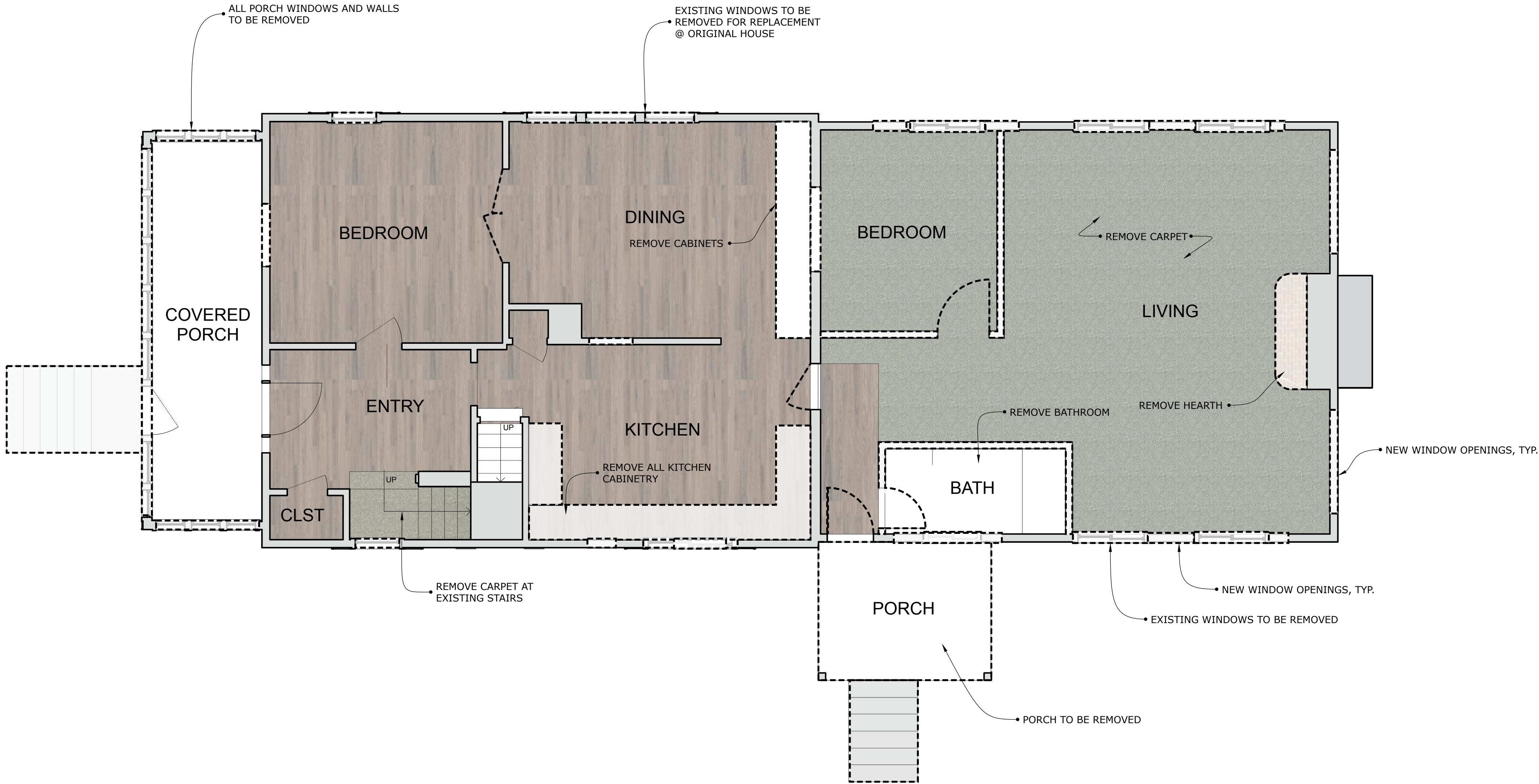
1 EXISTING BASEMENT FLOOR PLAN

0 5' 10'

KEY

TO BE DEMOLISHED

EXISTING WALLS



1

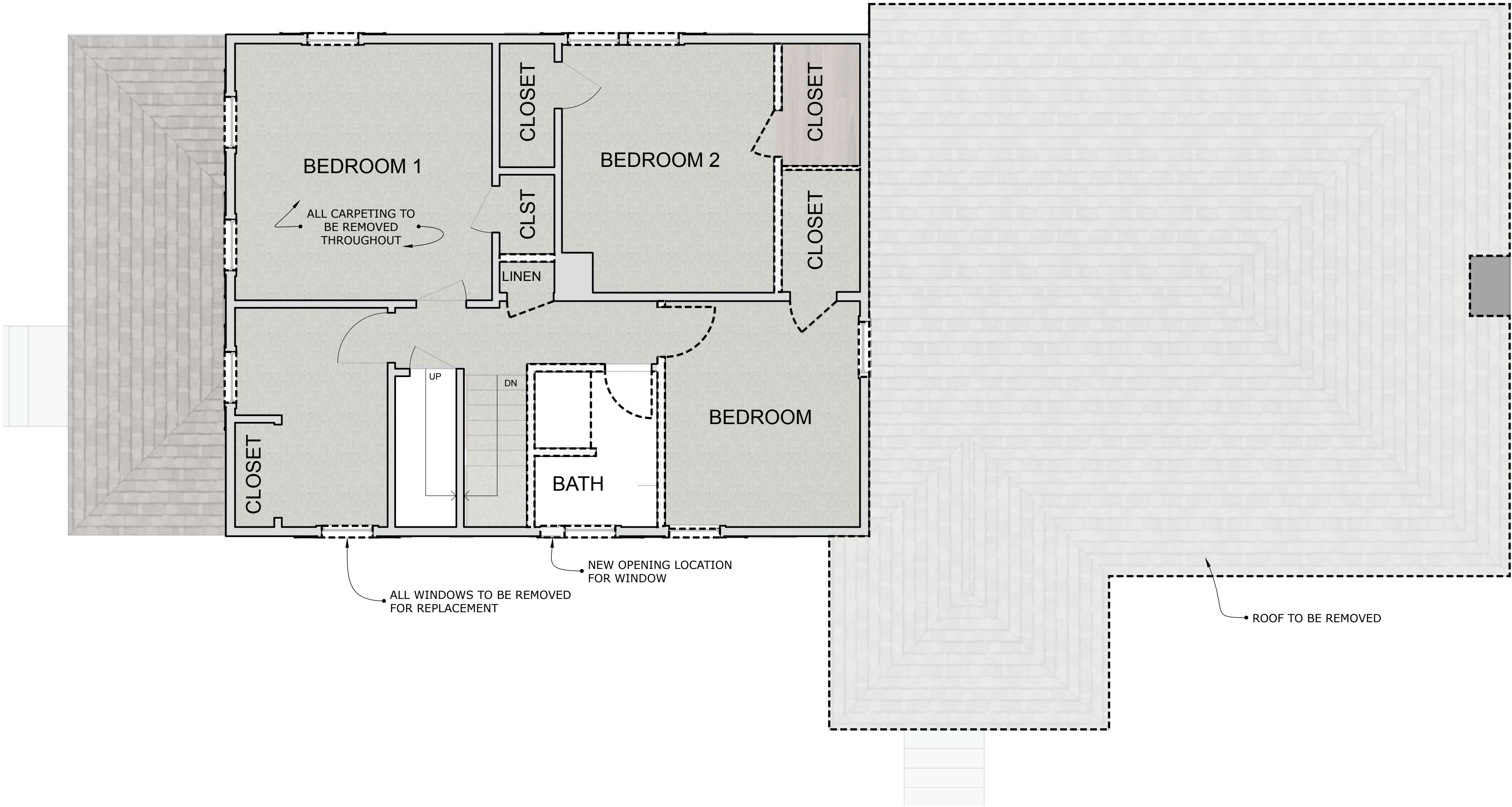
EXISTING FIRST FLOOR PLAN

0 5' 10'

KEY

TO BE DEMOLISHED

EXISTING WALLS

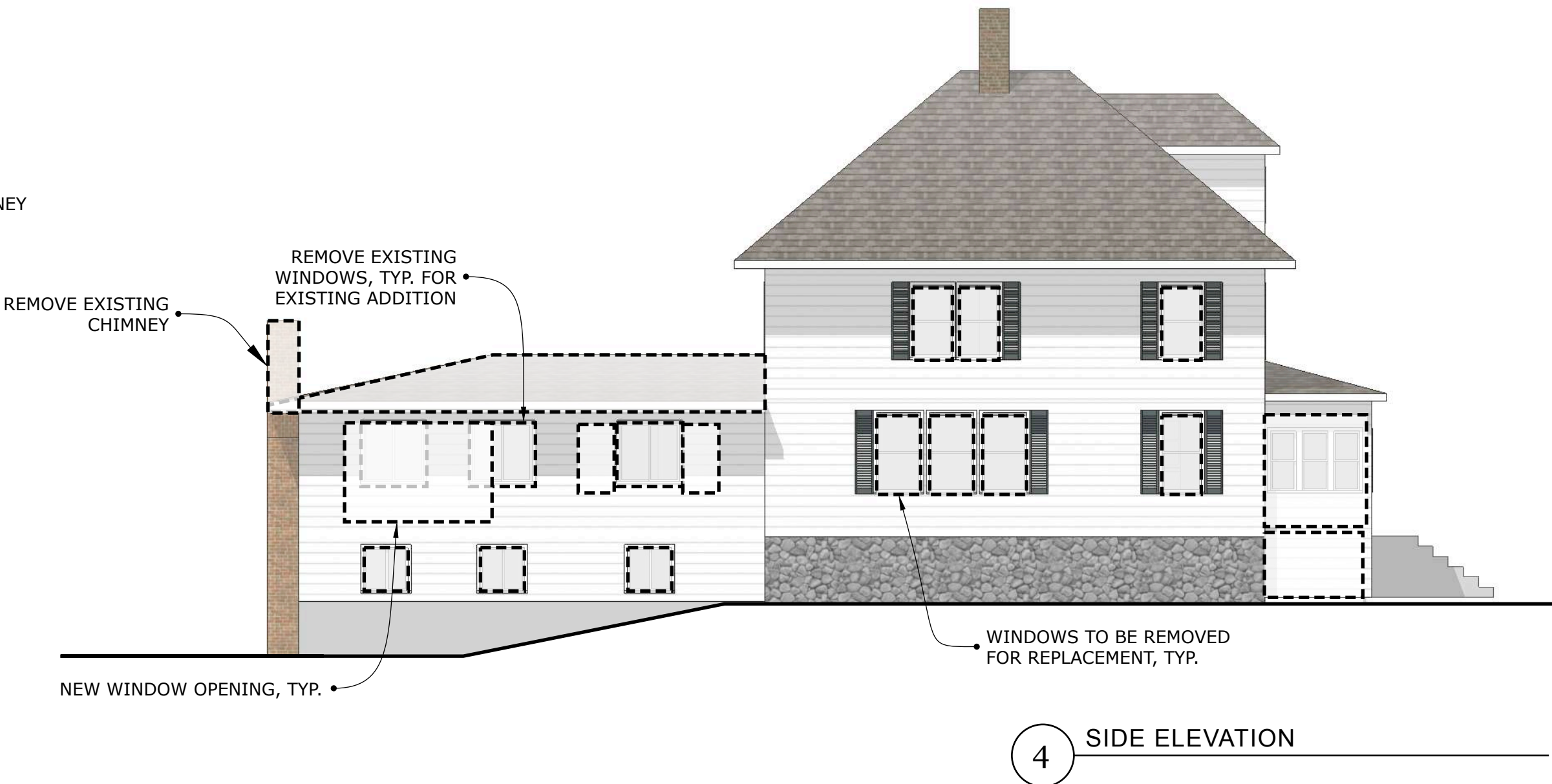
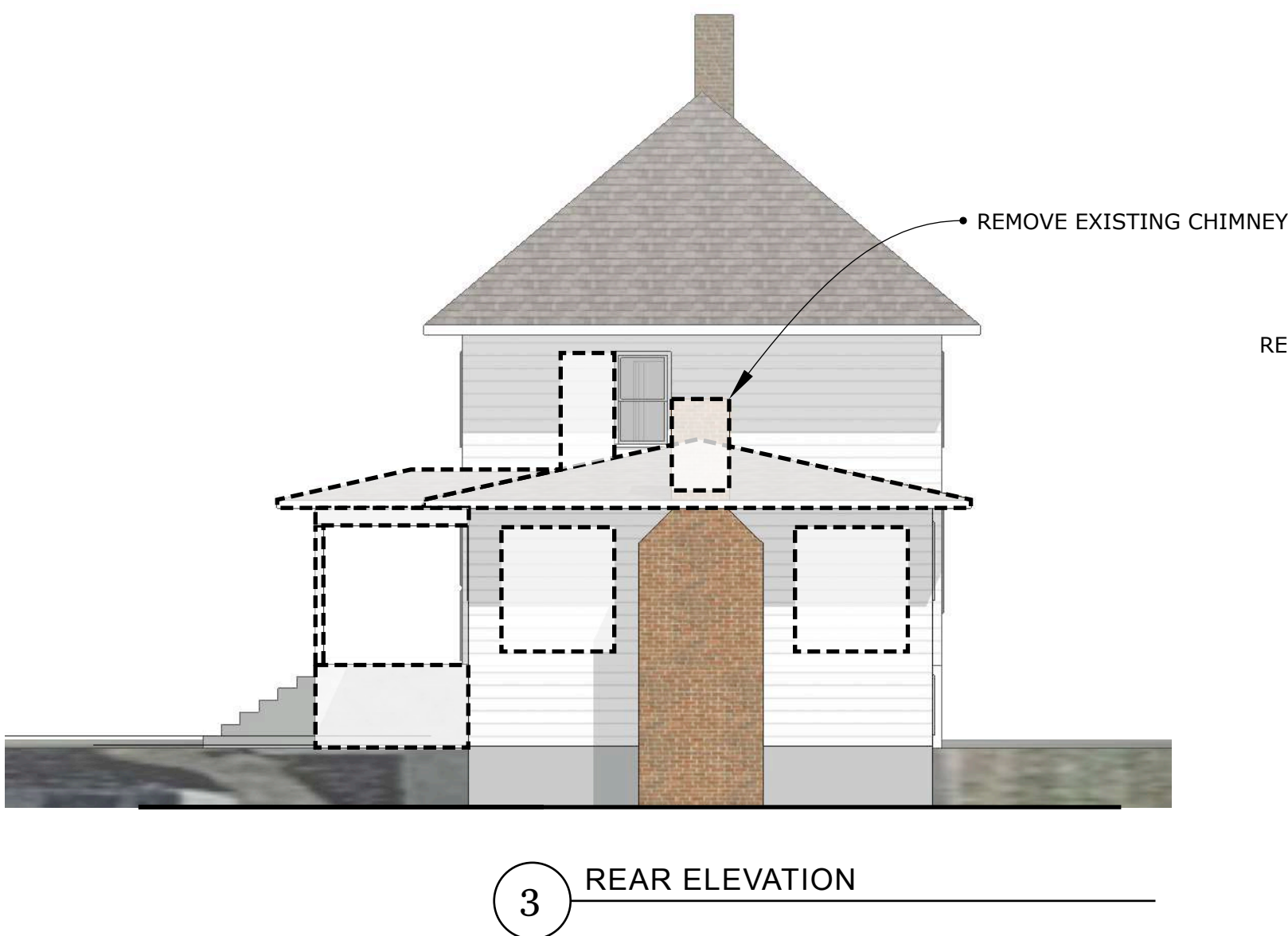
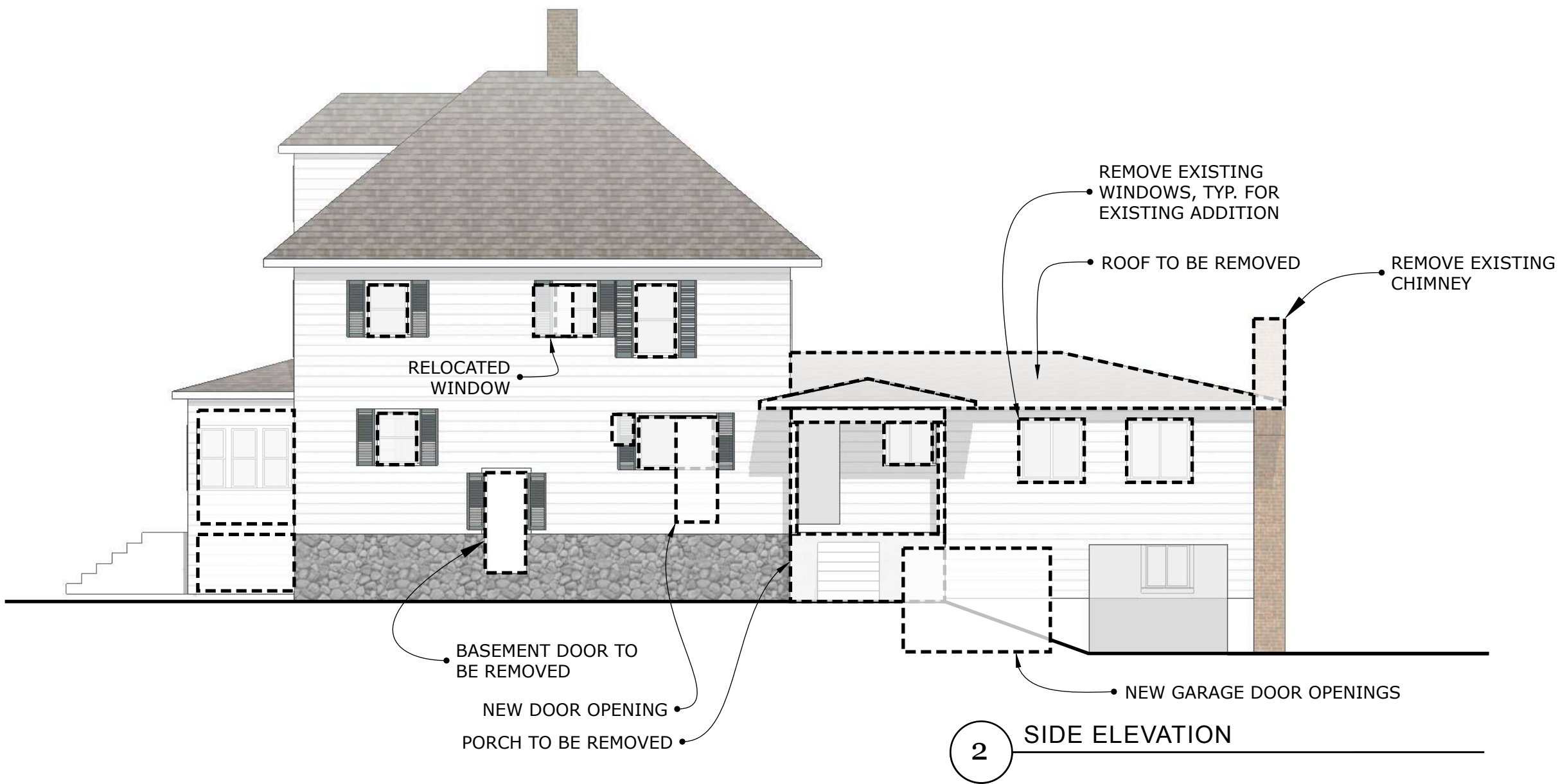
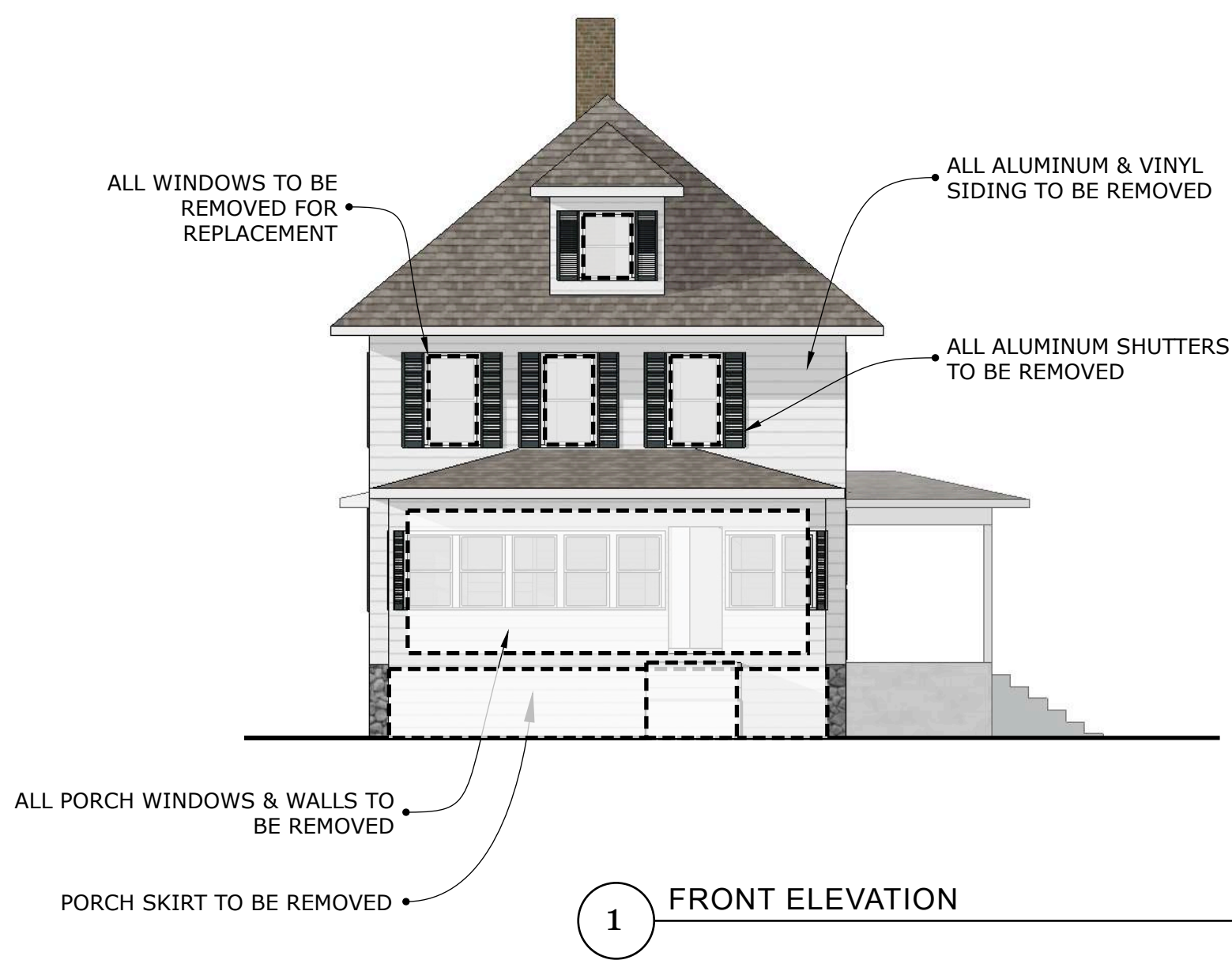


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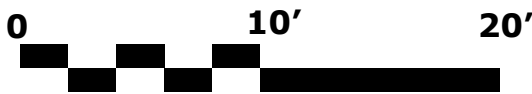
EXISTING SECOND FLOOR PLAN


05'10'

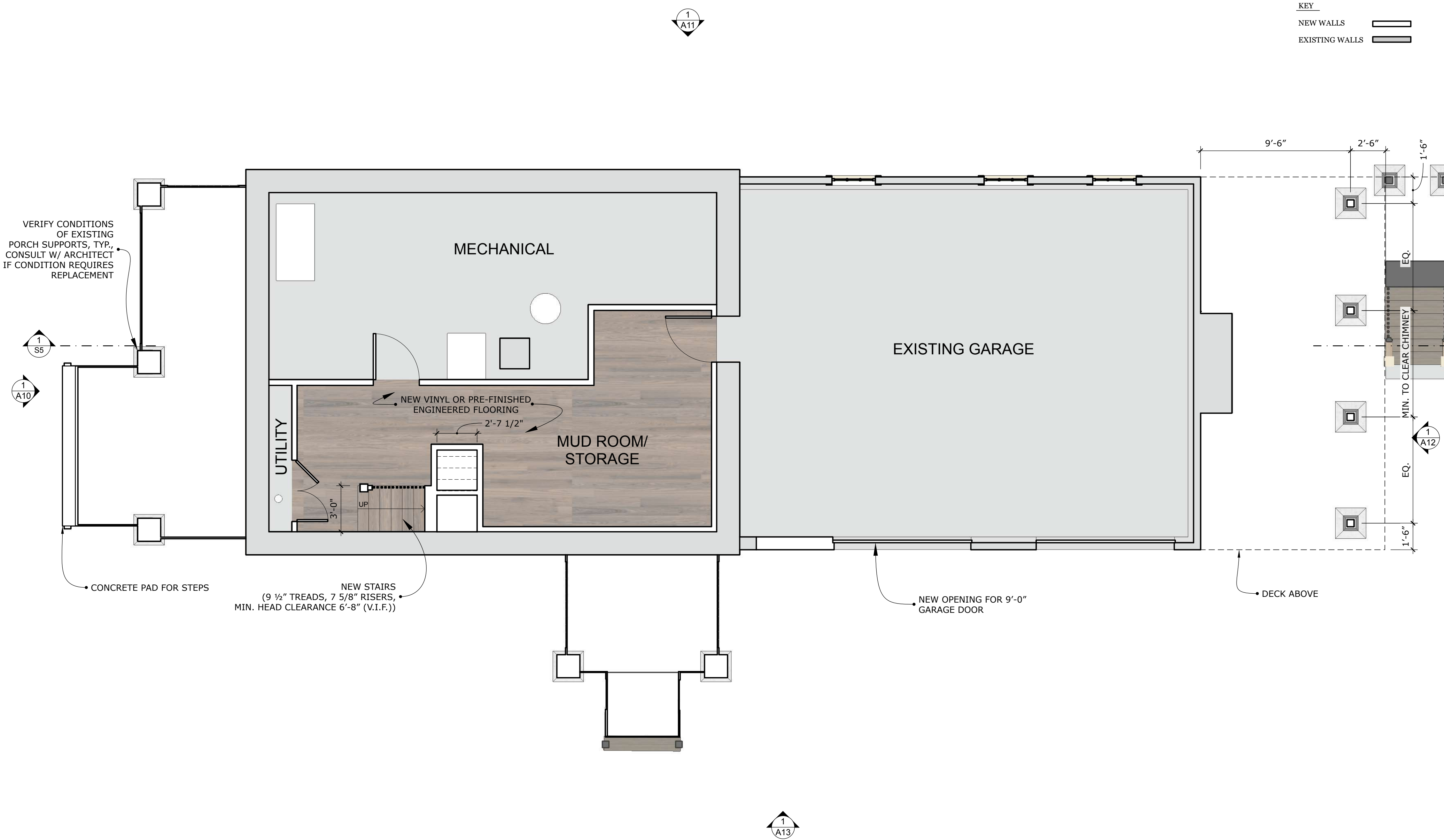
KEY
TO BE DEMOLISHED
EXISTING WALLS



- NOTES:
- 1 REMOVE ALL ALUMINUM & VINYL SIDING SO AS TO MINIMIZE DAMAGE TO EXISTING SHINGLES BELOW AT ORIGINAL 1913 STRUCTURE.
 - 2 ALL EXISTING WOOD SHINGLES TO REMAIN, AS CONDITION ALLOWS
 - 3 ALL WOOD TRIM AT EXISTING 1913 STRUCTURE, INCLUDING AT WINDOWS, ROOF EAVES, FACIA AND FRIEZE, TO REMAIN, AS CONDITION ALLOWS




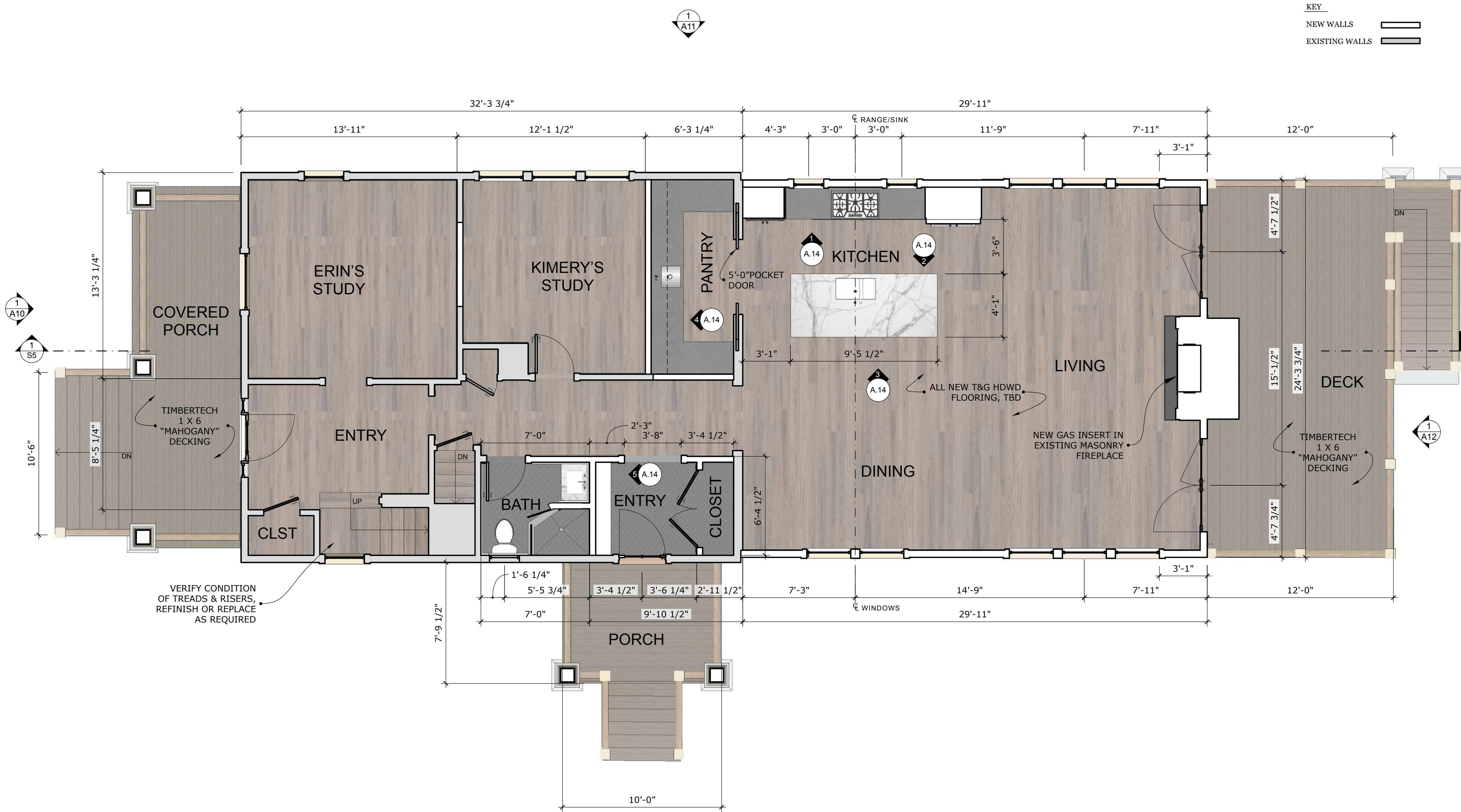
	CONSULTANTS:	42 Madison Street Newburyport, MA 978.914.1900	BARBER/POLDRACK RESIDENCE 28 NEW CASTLE AVE. PORTSMOUTH, NH	SEAL:	NO:	DESCRIPTION	DATE	SCALE: 1/8" = 1'-0"	A.5
					1	PERMIT REISSUE	2-16-23	ISSUE DATE: PERMIT 2-3-2023	
								DRAWING: EXISTING EXTERIOR ELEVATIONS	



1 BASEMENT FLOOR PLAN



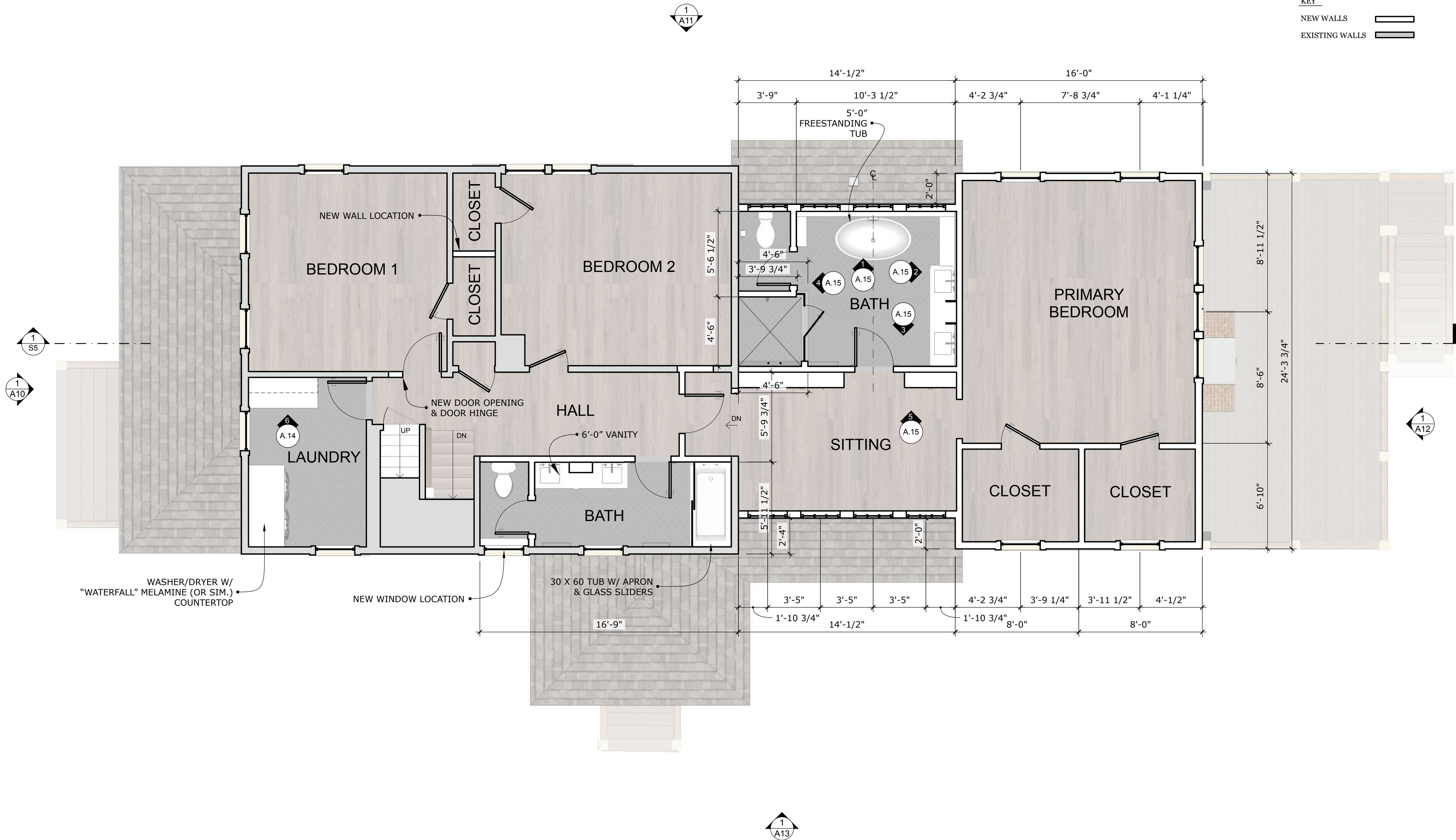
	42 Madison Street Newburyport, MA 978.914.1900	CONSULTANTS:	BARBER/POLDRACK RESIDENCE 28 NEW CASTLE AVE. PORTSMOUTH, NH	SEAL:	NO:	DESCRIPTION	DATE	SCALE: 1/4" = 1'-0"	A.6
					1	PERMIT REISSUE	2-16-23	ISSUE DATE: PERMIT 2-3-2023	
								DRAWING: PROPOSED FLOOR PLANS	



- NOTES:
- 1 CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND CONSULT WITH THE ARCHITECT IF ANY CONDITIONS OR DIMENSIONS VARY FROM THE DRAWINGS.
 - 2 ALL DIMENSIONS AT INTERIOR WALLS ARE FROM FINISHED WALL TO FINISHED WALL EXCEPT WHERE NOTED.
 - 3 ALL INTERIOR WALLS ARE 2 X 4 WALLS EXCEPT AS NOTED.
 - 4 ALL DIMENSIONS AT NEW EXTERIOR WALLS ARE TO THE STUDS.
 - 5 ALL NEW EXTERIOR WALLS ARE 2 X 6 WALLS EXCEPT AS NOTED.
 - 6 SEE A.16 FOR WINDOW & EXTERIOR DOOR SCHEDULE

1 FIRST FLOOR PLAN





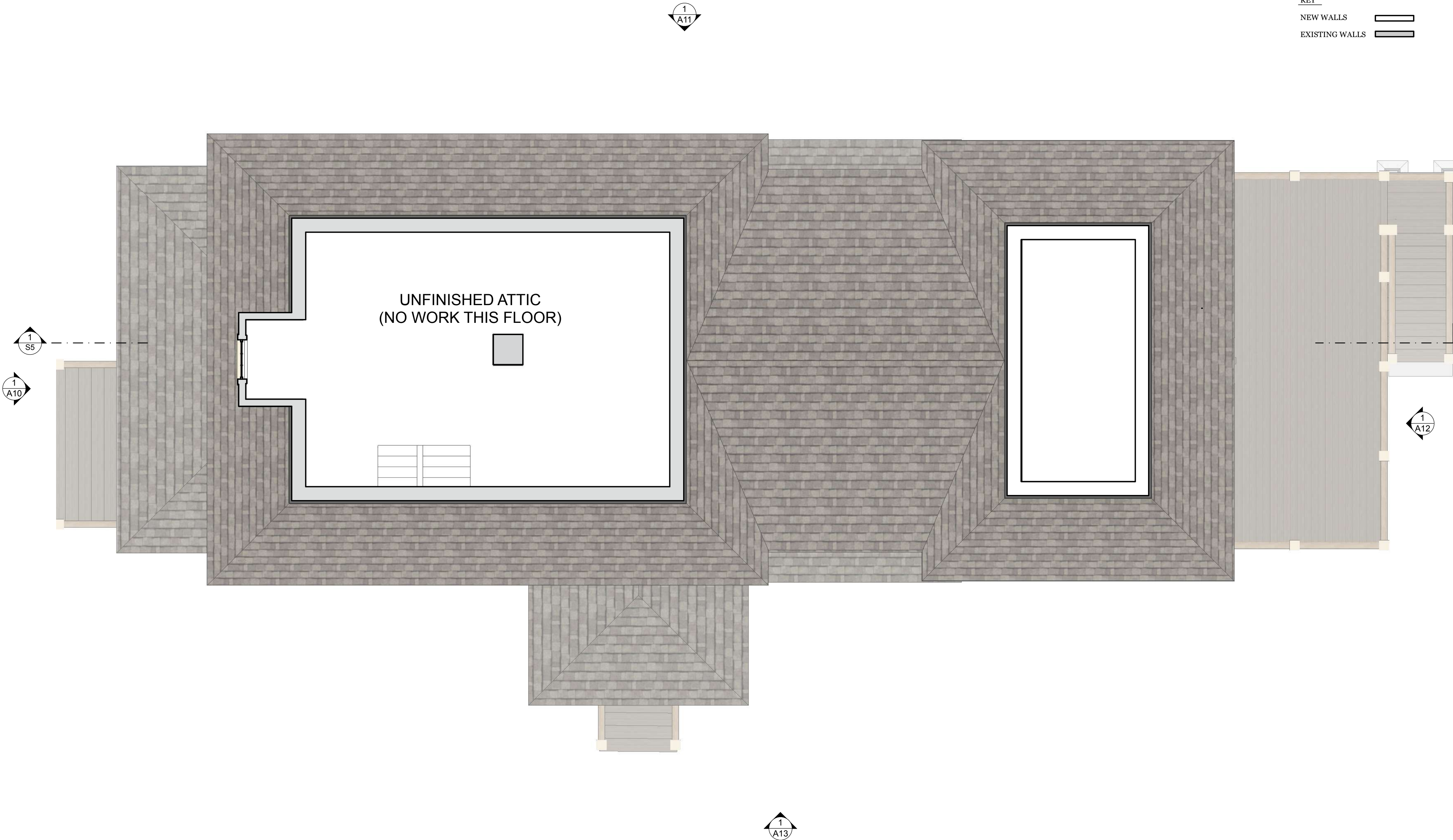
1 SECOND FLOOR PLAN



KEY

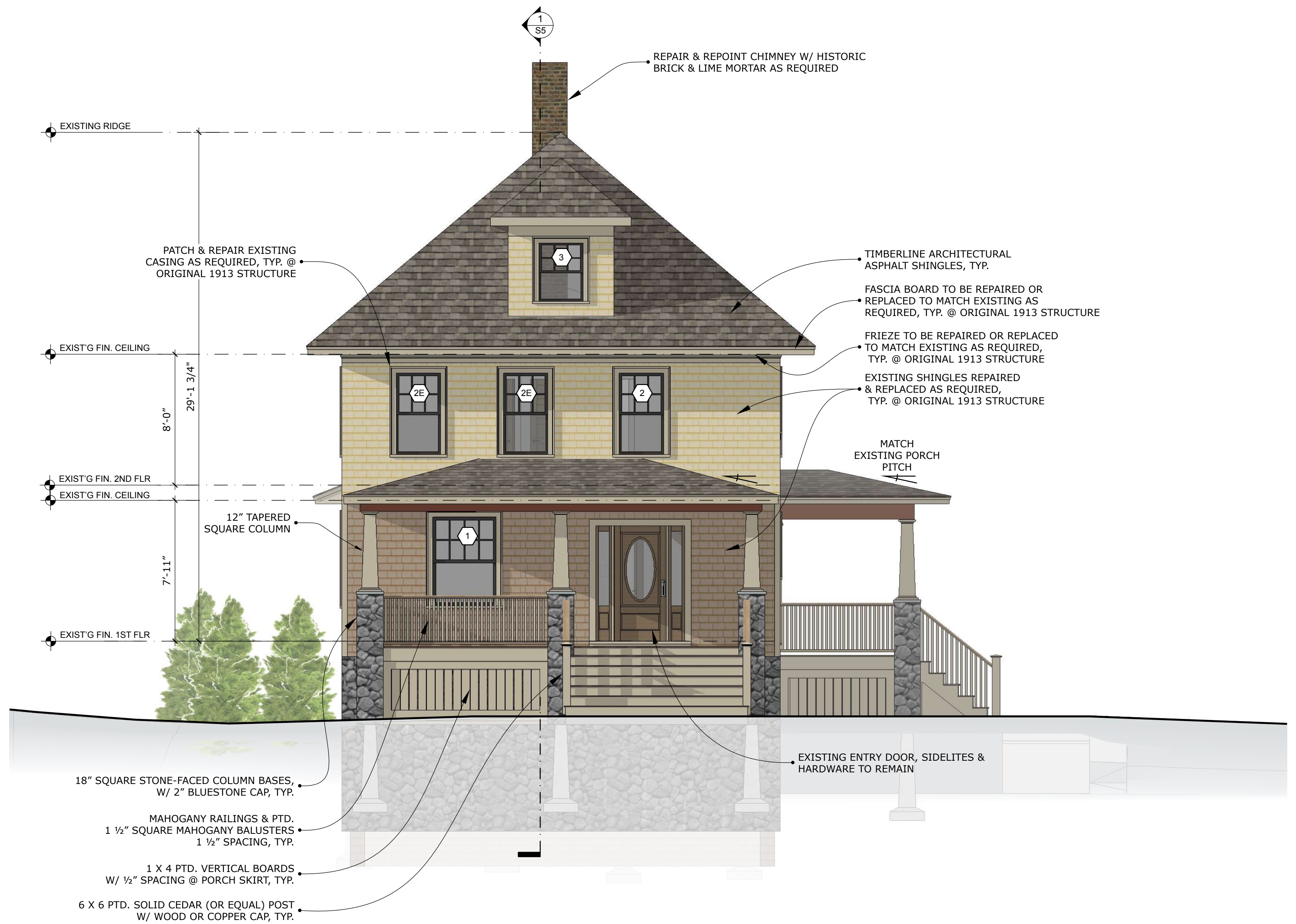
NEW WALLS

EXISTING WALLS



1


ATTIC FLOOR PLAN

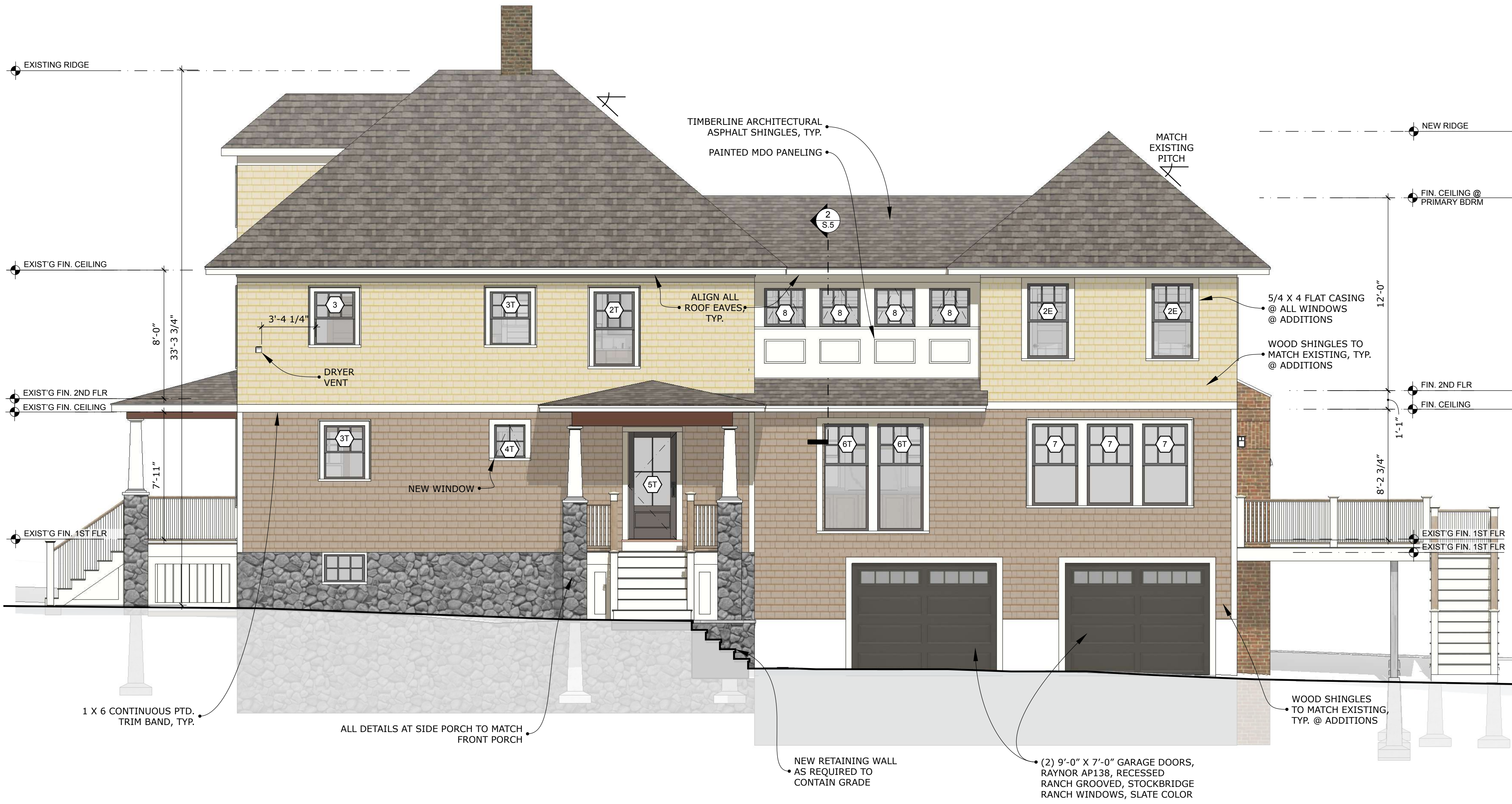


- GENERAL NOTES:
- 1 SEE A.16 FOR WINDOW & EXTERIOR DOOR SCHEDULE
 - 2 ALL EXISTING SIDING AT ORIGINAL 1913 STRUCTURE TO BE REPAIRED AND REPLACED AS REQUIRED, EXCEPT AS NOTED & DEPENDENT ON CONDITION
 - 3 ALL EXISTING WOOD TRIM AT ORIGINAL 1913 STRUCTURE TO BE REPAIRED AND REPLACED AS REQUIRED, EXCEPT AS NOTED & DEPENDENT ON CONDITION
 - 4 NOTIFY ARCHITECT OF ANY SIGNIFICANT COMPROMISE IN CONDITION OF EXISTING MATERIAL INTENDED TO REMAIN
 - 5 ALL BATHROOM VENTING TO BE THROUGH THE ROOF, MINIMUM 36" FROM ANY WINDOW OPENING

1 NORTH ELEVATION

0 5' 10'


	CONSULTANTS:	42 Madison Street Newburyport, MA 978.914.1900	BARBER/POLDRACK RESIDENCE 28 NEW CASTLE AVE. PORTSMOUTH, NH	SEAL:	NO:	DESCRIPTION	DATE	SCALE: 1/4" = 1'-0"	A.10
					1	PERMIT REISSUE	2-16-23	ISSUE DATE: PERMIT 2-3-2023	
								DRAWING: PROPOSED EXTERIOR ELEVATIONS	





1 SOUTH ELEVATION


0 5' 10'

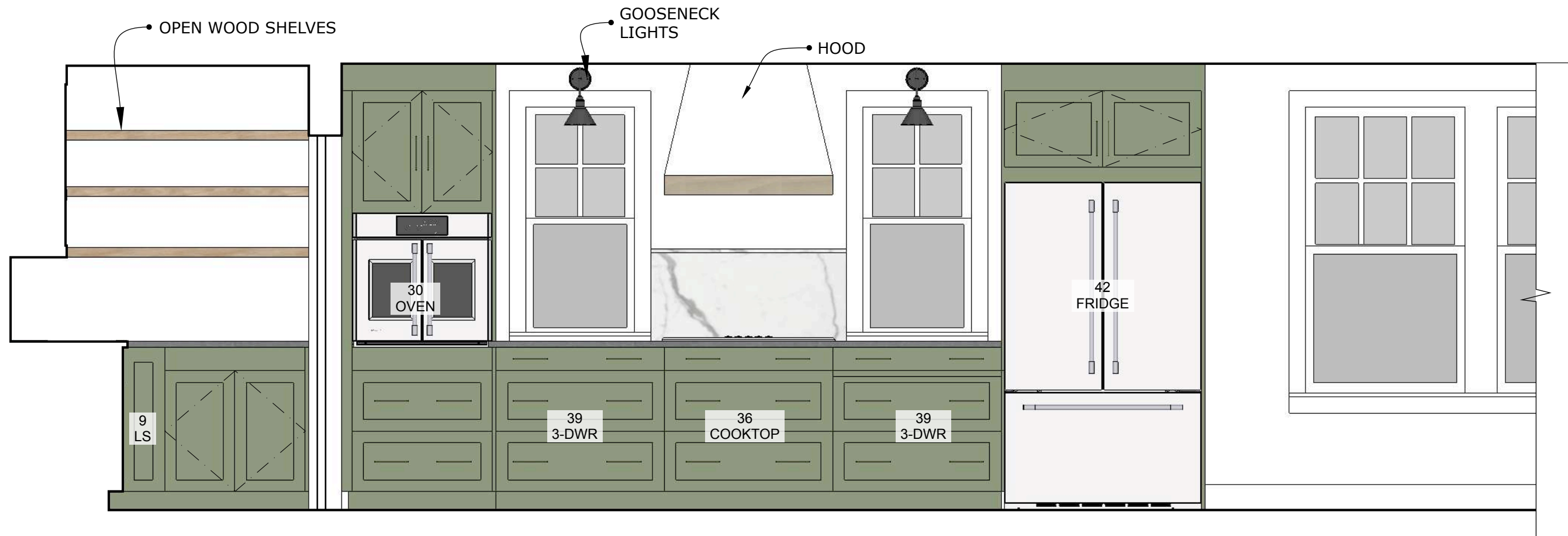
	42 Madison Street Newburyport, MA 978.914.1900	CONSULTANTS:	BARBER/POLDRACK RESIDENCE 28 NEW CASTLE AVE. PORTSMOUTH, NH	SEAL:	NO:	DESCRIPTION	DATE	SCALE: 1/4" = 1'-0"	A.12
					1	PERMIT REISSUE	2-16-23	ISSUE DATE: PERMIT 2-3-2023	
								DRAWING: PROPOSED EXTERIOR ELEVATIONS	



GENERAL NOTES:
1 SEE A.16 FOR WINDOW & EXTERIOR DOOR SCHEDULE

1 EAST ELEVATION
0 5' 10'

 <div>42 Madison Street Newburyport, MA 978.914.1900</div>	CONSULTANTS:	BARBER/POLDRACK RESIDENCE 28 NEW CASTLE AVE. PORTSMOUTH, NH	SEAL:	NO:	DESCRIPTION	DATE	SCALE: 1/4" = 1'-0"	A.13
				1	PERMIT REISSUE	2-16-23	ISSUE DATE: PERMIT 2-3-2023	
							DRAWING: PROPOSED EXTERIOR ELEVATIONS	



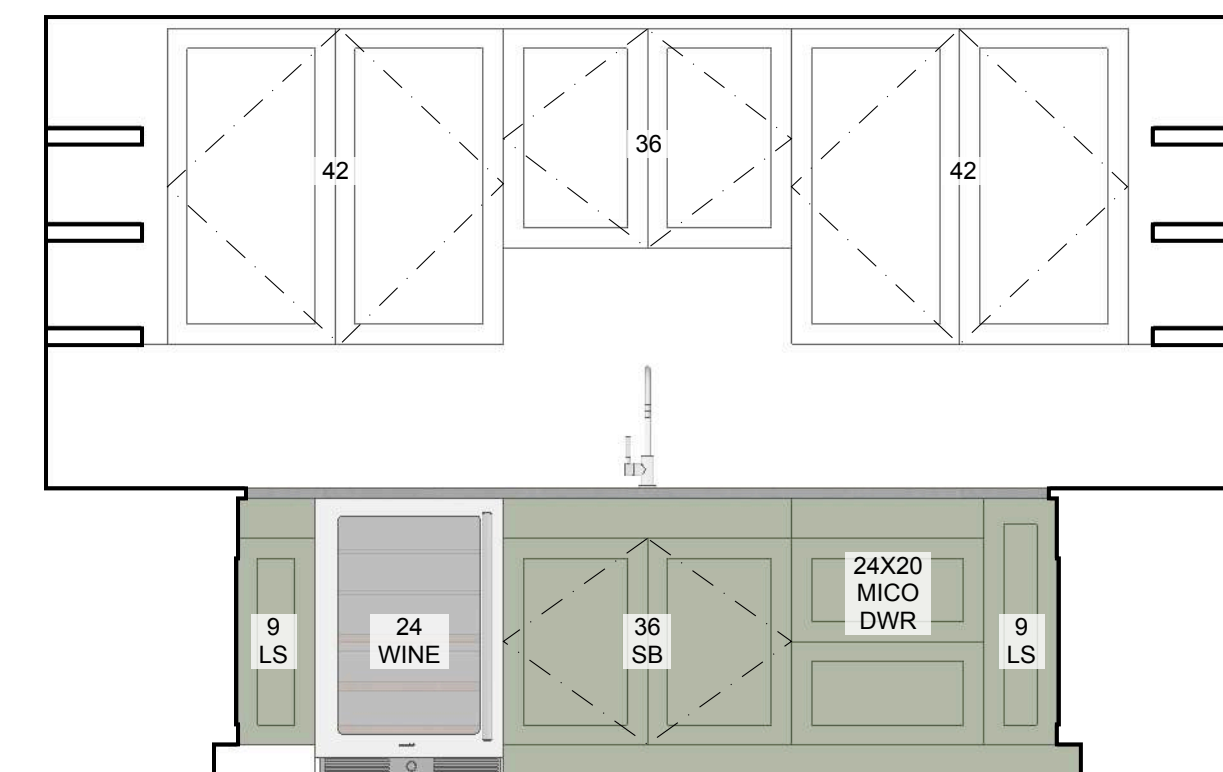
1 KITCHEN RANGE WALL



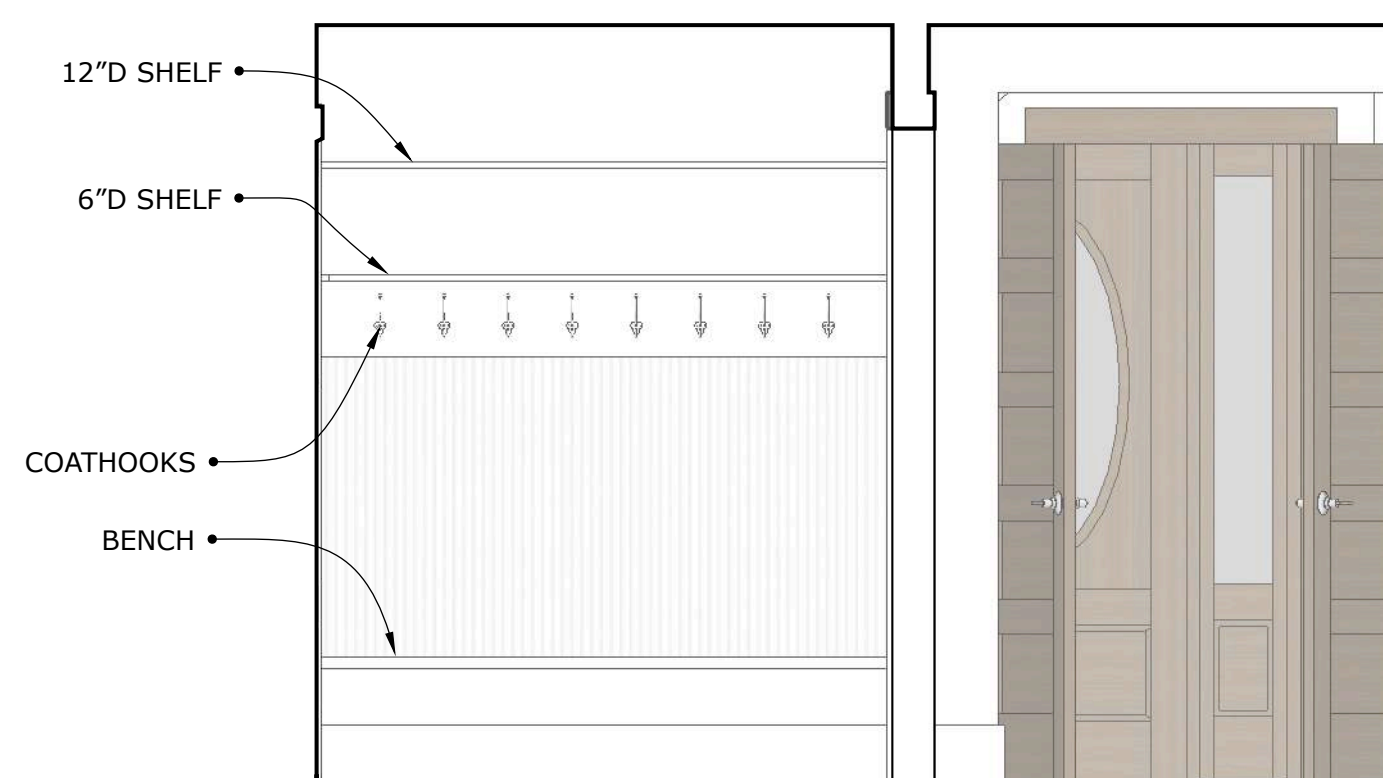
2 KITCHEN ISLAND



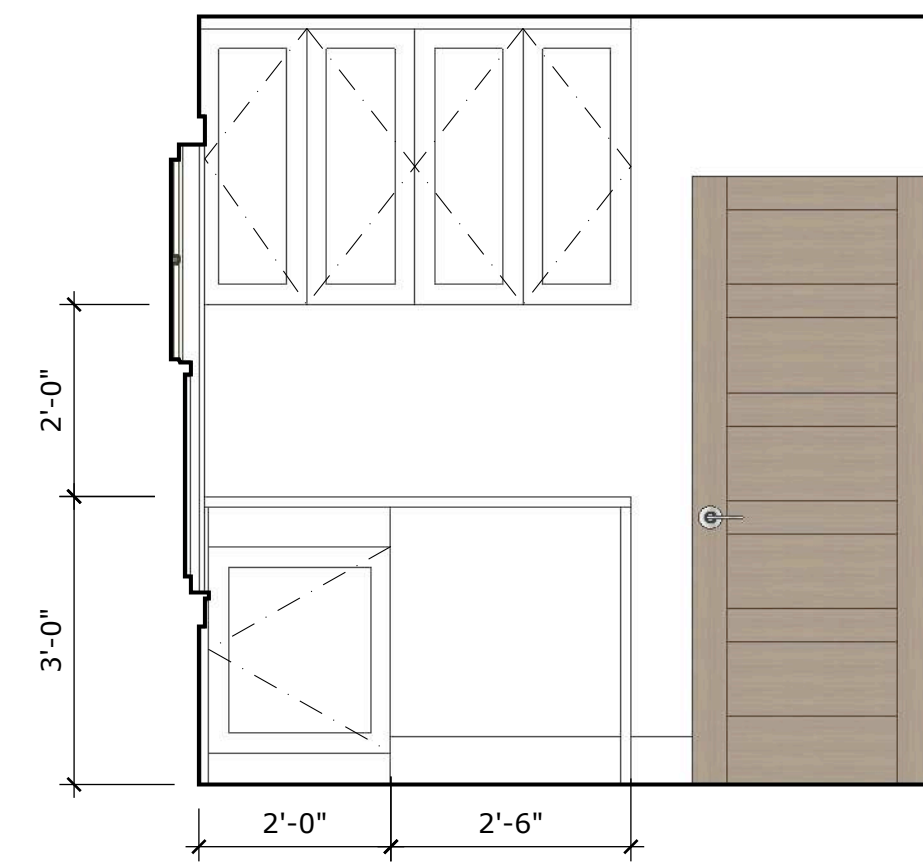
3 KITCHEN ISLAND



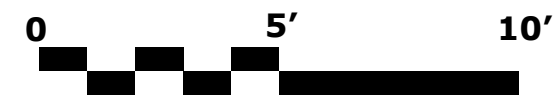
4 PANTRY

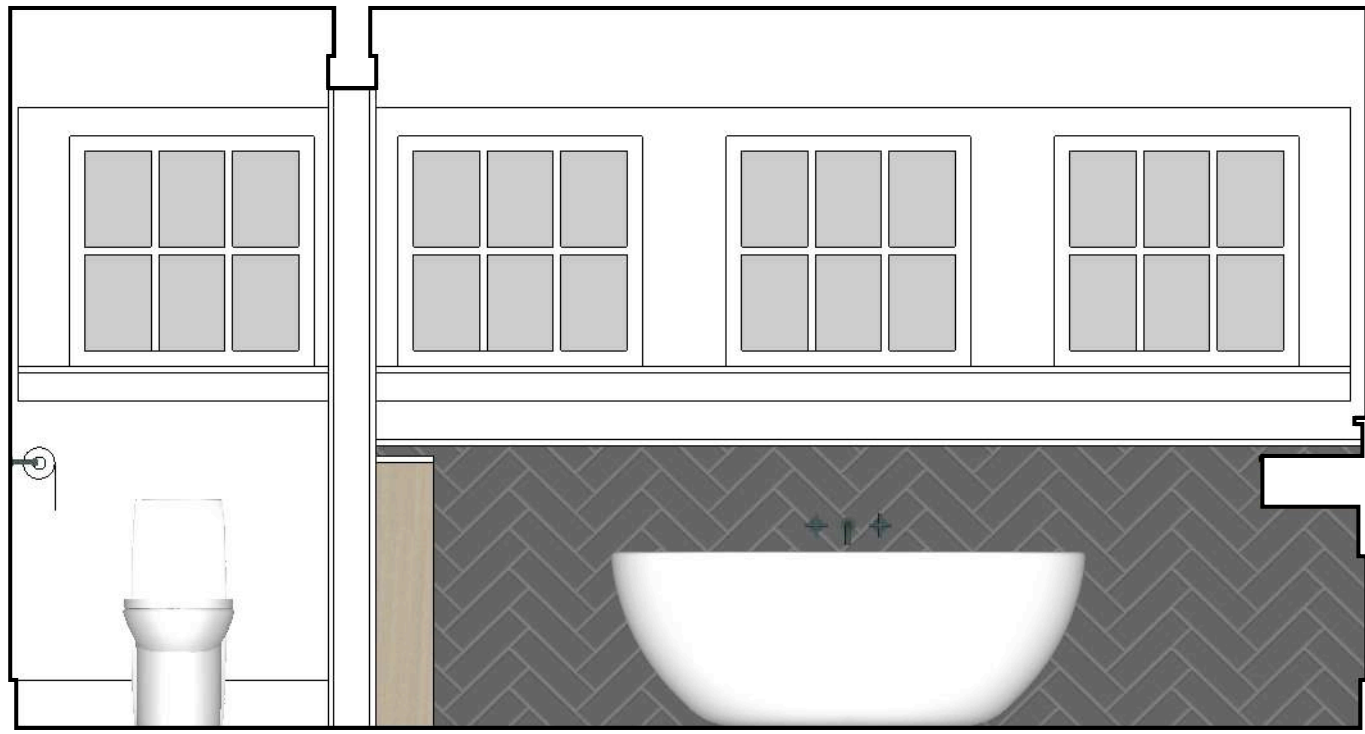


5 MUD ROOM

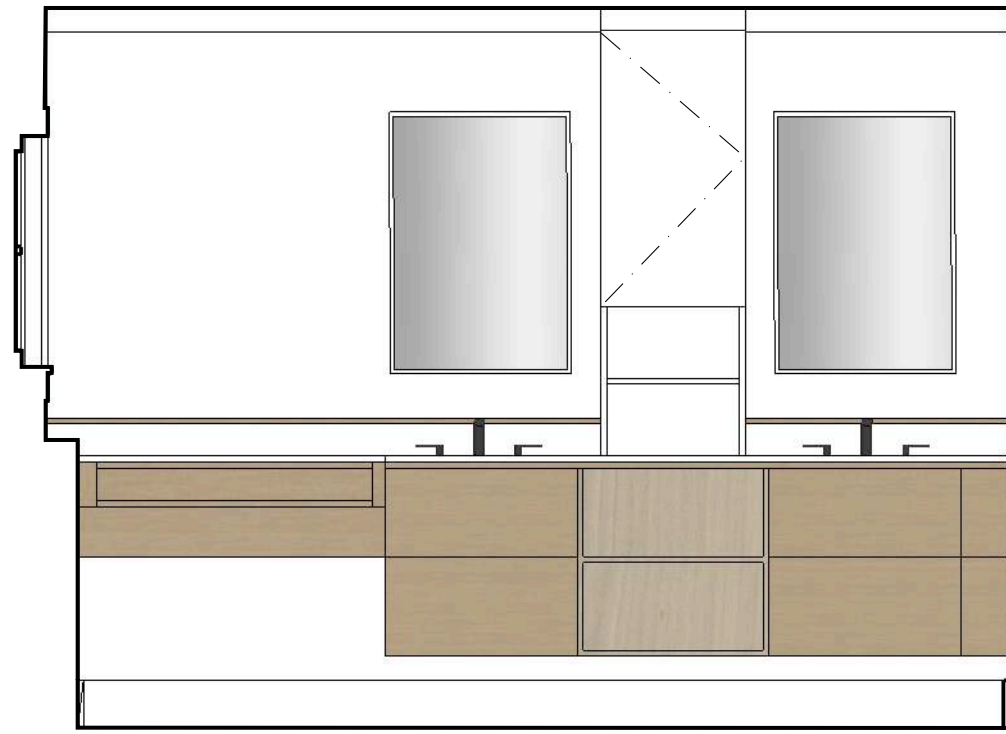


6 SEWING TABLE

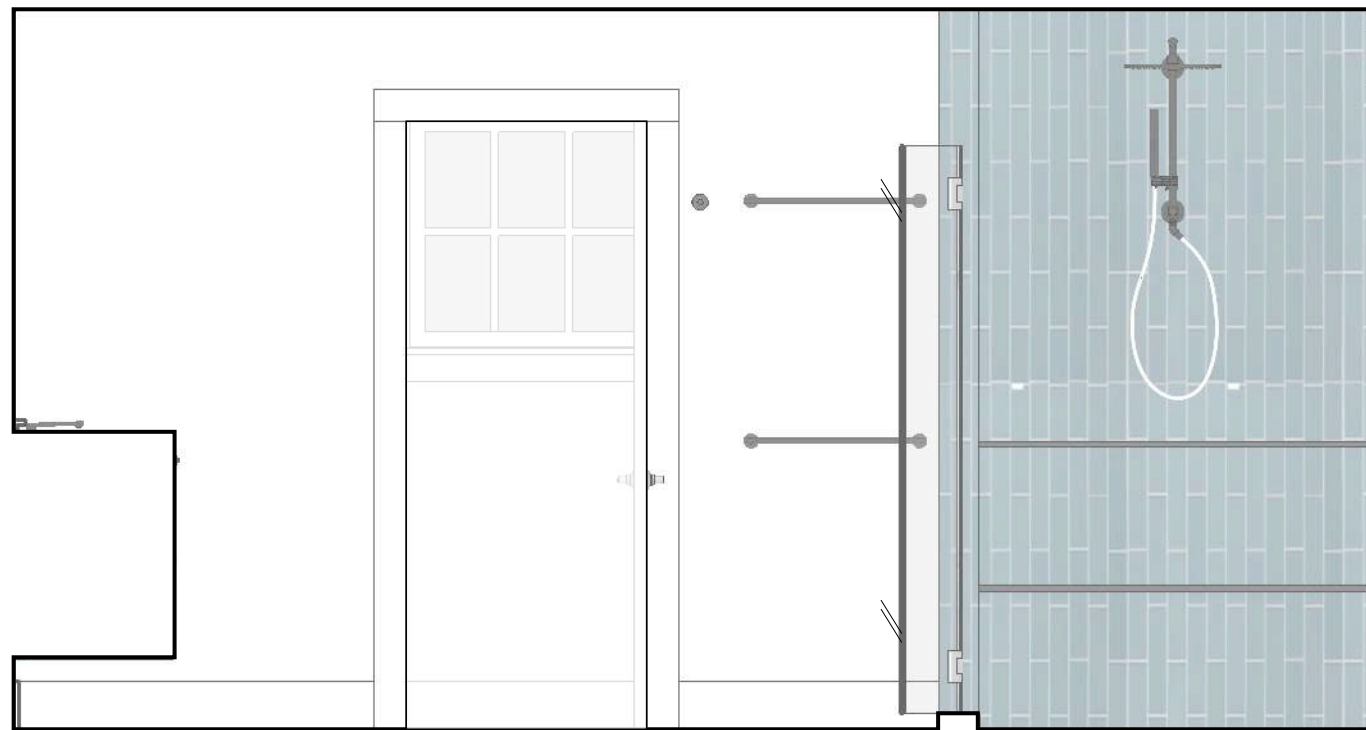




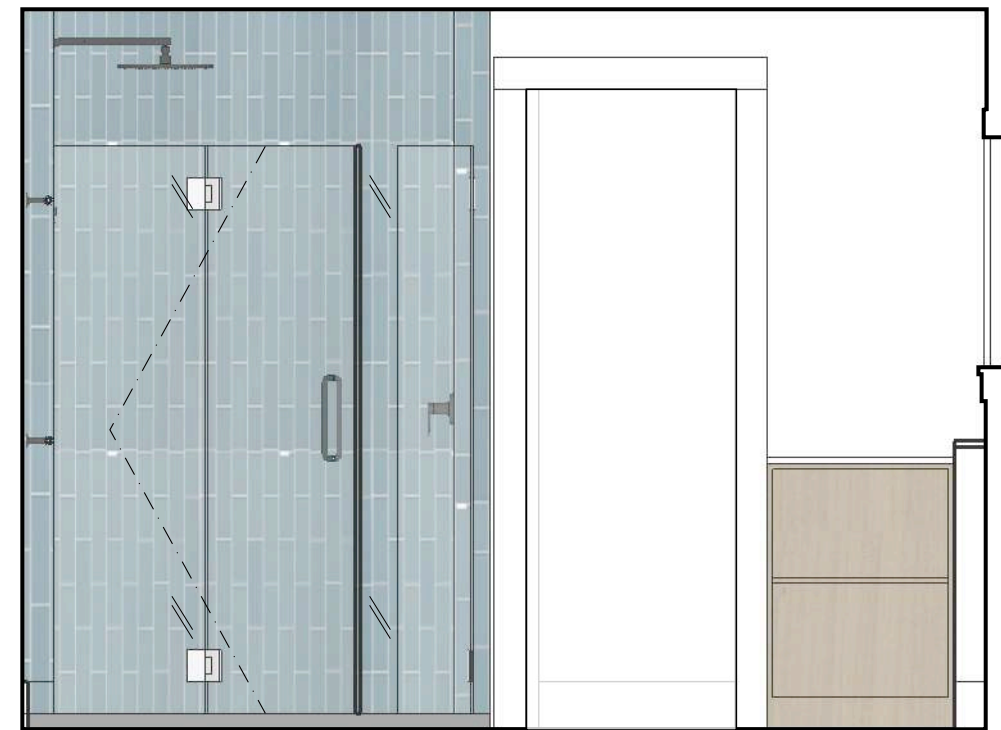
1 PRIMARY BATH



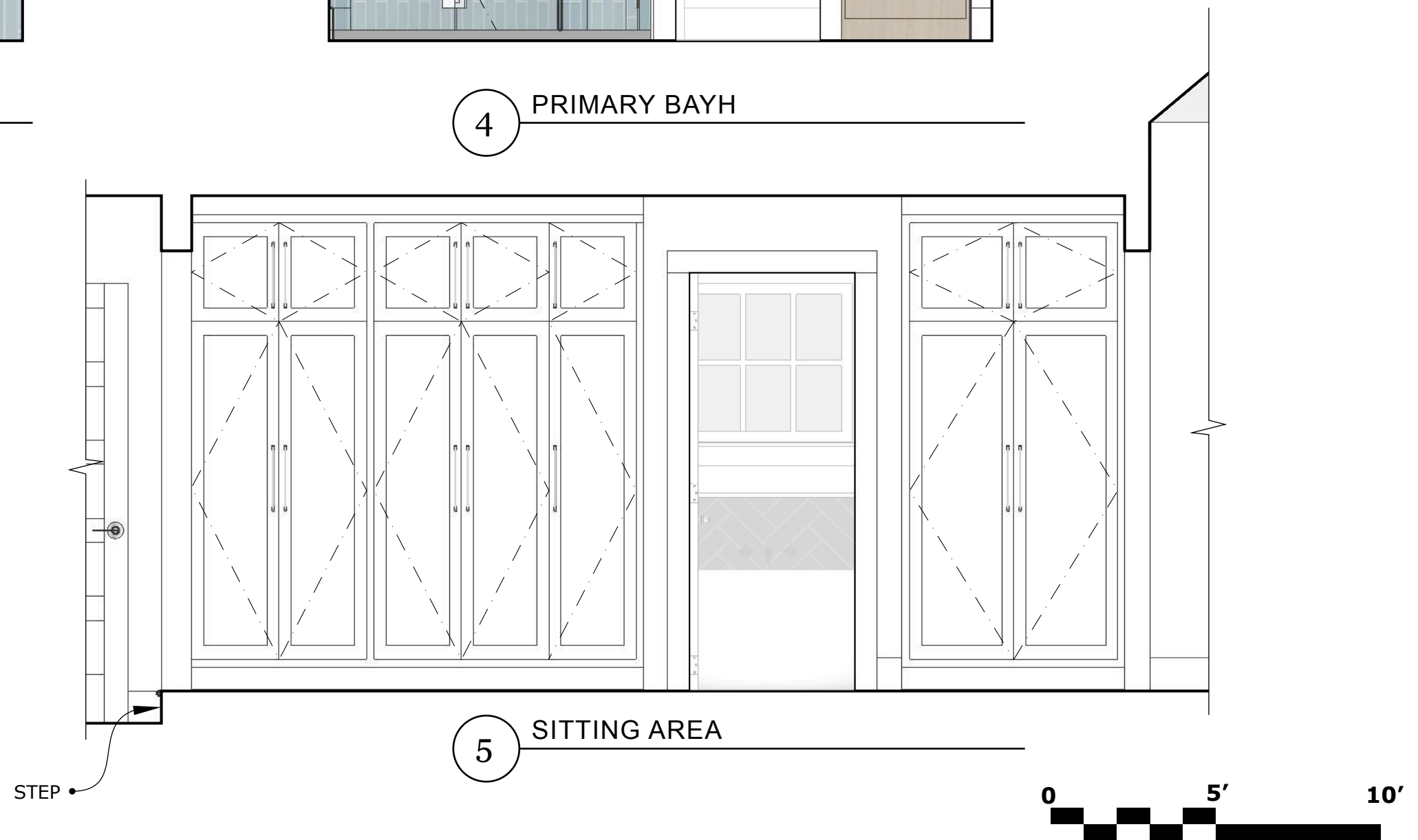
2 PRIMARY BATH



3 PRIMARY BATH

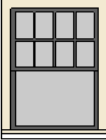
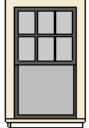



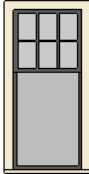
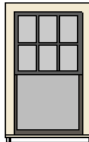

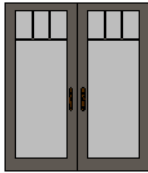
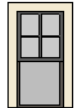



4 PRIMARY BAYH



5 SITTING AREA

WINDOW & EXTERIOR DOOR SCHEDULE

#	WINDOW		TYPE	MANUF. #	R.O. (W X H)	LITES	GLAZING	NOTES
1		MARVIN	'ELEVATE' DOUBLE HUNG	ELDH4864	4'-0 1/2" X 5'-4 1/4"	8/1	LOW-E W/ ARGON	FIELD VERIFY EXISTING ROUGH OPENING
2		MARVIN	'ELEVATE' DOUBLE HUNG EGRESS	ELDH3660 E	3'-0 1/2" X 5'-0 1/4"	6/1	LOW-E W/ ARGON	FIELD VERIFY EXISTING ROUGH OPENINGS, "2E" = EGRESS
3		MARVIN	'ELEVATE' DOUBLE HUNG	ELDH3644	3'-0 1/2" X 3'-8 1/4"	6/1	LOW-E W/ ARGON	FIELD VERIFY EXISTING ROUGH OPENINGS, "3T" = TEMPERED GLASS
4		MARVIN	ELEVATE AWNING	ELAWN2427	2'-3 5/8" X 2'-1"	4	LOW-E W/ ARGON	"4T" = TEMPERED GLASS
5		SIMPSON	FIR ENTRY DOOR W/ 3/4 GLAZING 1 3/4"	7504	2'-8" X 6'-8"	4	LOW-E W/ ARGON	
6		MARVIN	'ELEVATE' TOP SASH COTTAGE DOUBLE HUNG	ELDH3676	3'-0 1/2" X 6'-4 1/4"	6/1	LOW-E W/ ARGON	TRIPLE STUD POCKET @ ASSEMBLIES, "6T" = TEMPERED GLASS
7		MARVIN	'ELEVATE' DOUBLE HUNG	ELD3664	3'-0 1/2" X 5'-4 1/4"	6/1	LOW-E W/ ARGON	FIELD VERIFY EXISTING ROUGH OPENINGS, TRIPLE STUD POCKET @ ASSEMBLIES
8		MARVIN	ELEVATE AWNING	ELAWN3327	2'-9" X 2'-3 5/8"	6	LOW-E W/ ARGON	STUD POCKET DETERMINED BY WALL WIDTH, "8T" = TEMPERED GLASS
9		MARVIN	'ELEVATE' INSWING FRENCH DOOR	ELIFD6070XX	6'-0" X 7'-2 1/2"	4	LOW-E W/ ARGON	HARDWARE: SATIN NICKEL HINGES & SATIN NICKEL 'NORTHFIELD' KEYED DOOR HANDLES, NOTE DIVIDED LIGHT PATTERN "9T" = TEMPERED GLASS
10		MARVIN	'ELEVATE' DOUBLE HUNG	ELDH2648	2'-2 1/2" X 4'-0 1/4"	4/1	LOW-E W/ ARGON	
11		MARVIN	'ELEVATE' AWNING	ELAWN3335	2'-9" X 2'-11 5/8"	6	LOW-E W/ ARGON	FIELD VERIFY EXISTING ROUGH OPENINGS

NOTES FOR WINDOWS AT HISTORIC HOUSE

- RETAIN EXISTING EXTERIOR CASINGS—REPAIR & REPLACE AS REQUIRED
- SIMULATED DIVIDED LITES W/ SPACER BAR
- 7/8" MUNTINS W/ PUTTY PROFILE
- BRONZE EXTERIOR, PRIMED WHITE INTERIOR
- 2 1/8" SILL CASING
- SATIN NICKEL SASH LOKS AND TILT LATCH
- HALF SCREENS

NOTES FOR WINDOWS AT ADDITIONS

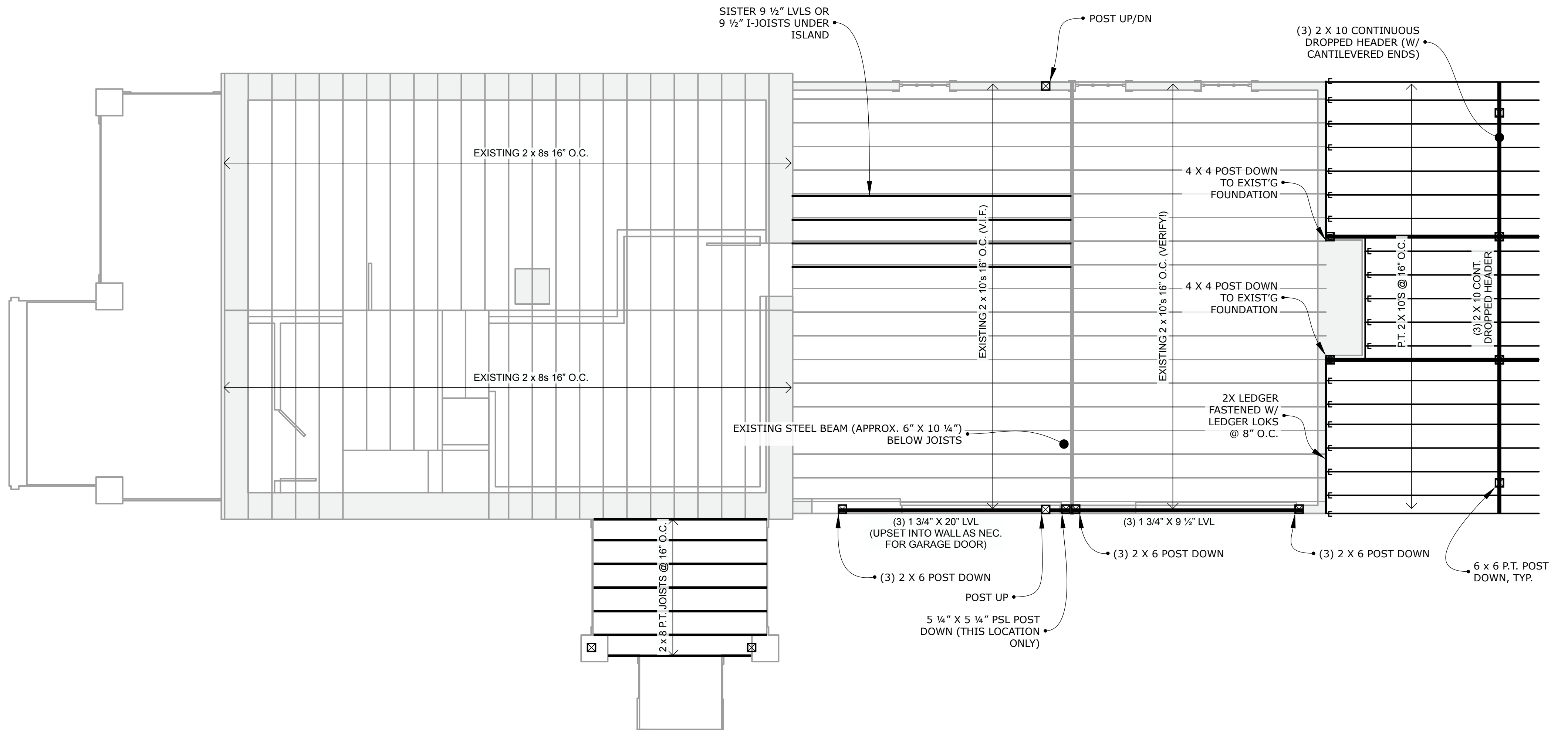
- 4" FLAT CASING
- SIMULATED DIVIDED LITES W/ SPACER BAR
- 7/8" MUNTINS W/ PUTTY PROFILE
- BRONZE EXTERIOR, PRIMED WHITE INTERIOR
- 2 1/8" SILL CASING
- SATIN NICKEL SASH LOKS AND TILT LATCH
- HALF SCREENS



1 FIRST FLOOR INTERIOR PERSPECTIVE

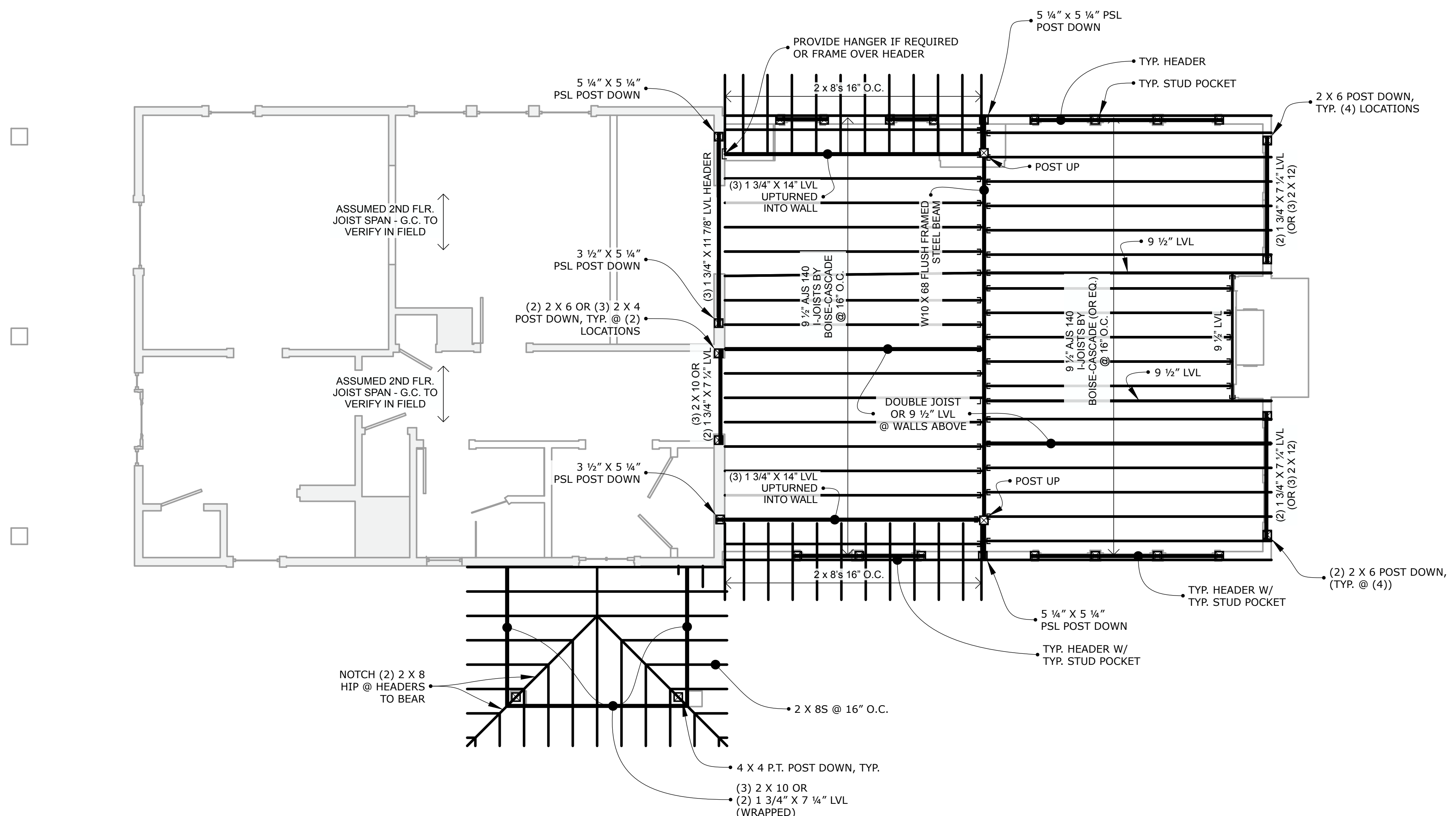


1 SECOND FLOOR INTERIOR PERSPECTIVE



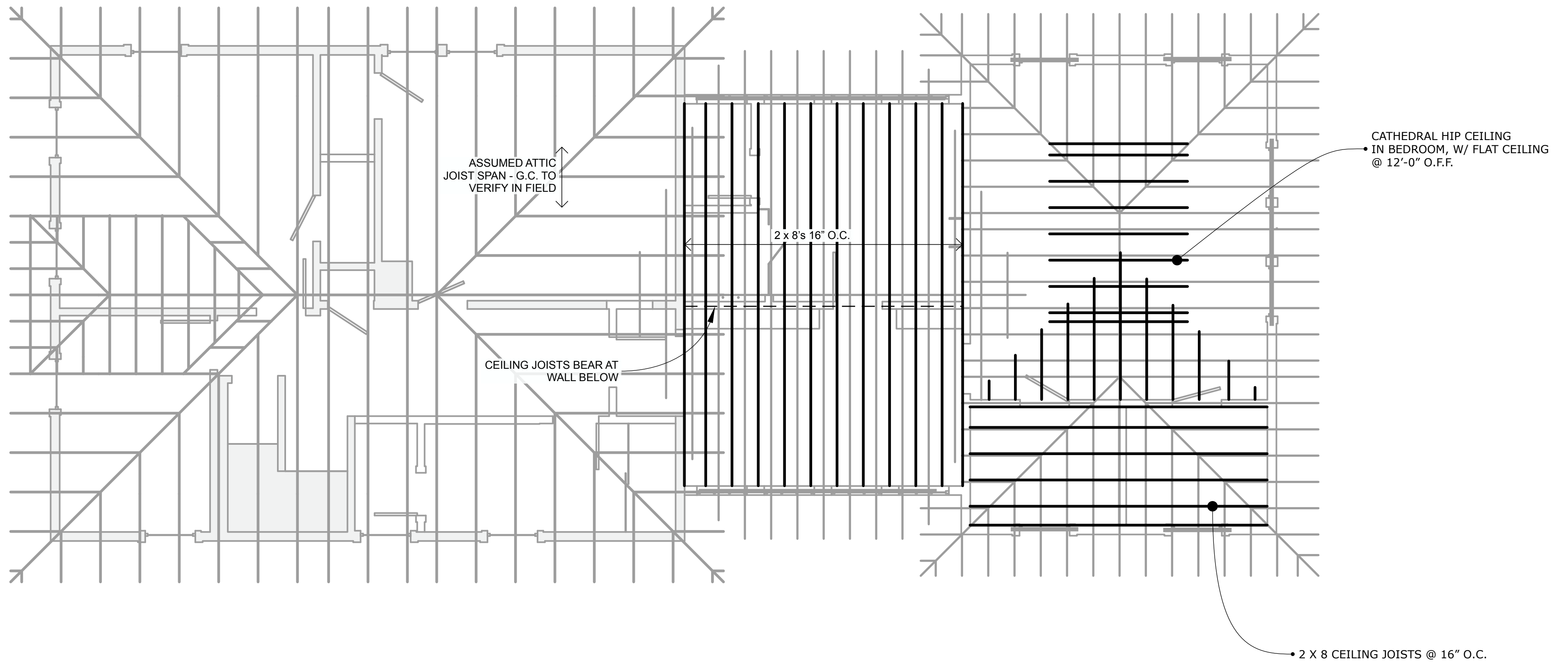
1 FIRST FLOOR FRAMING OVER
BASEMENT FLOOR PLAN

0 5' 10'

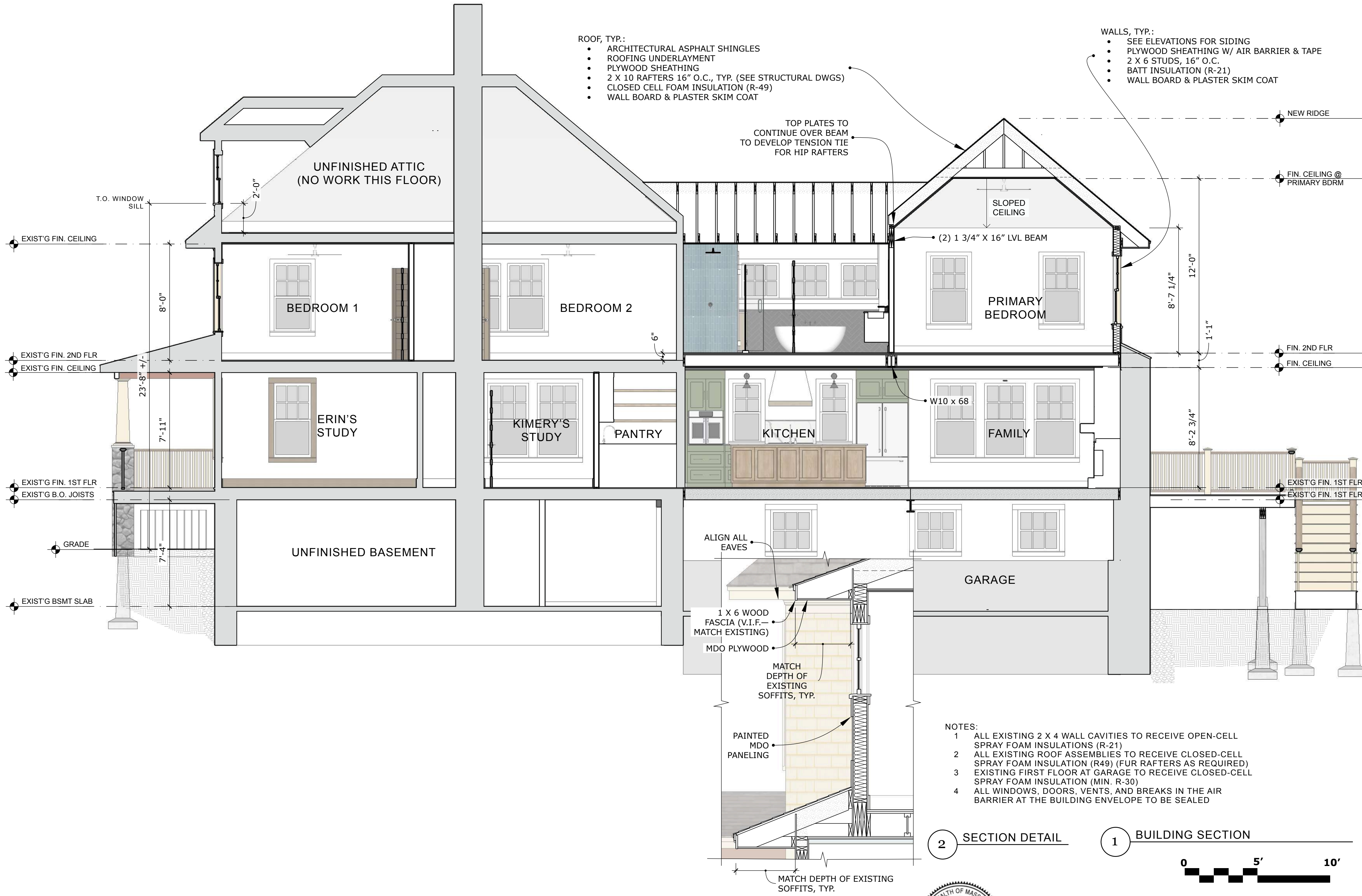


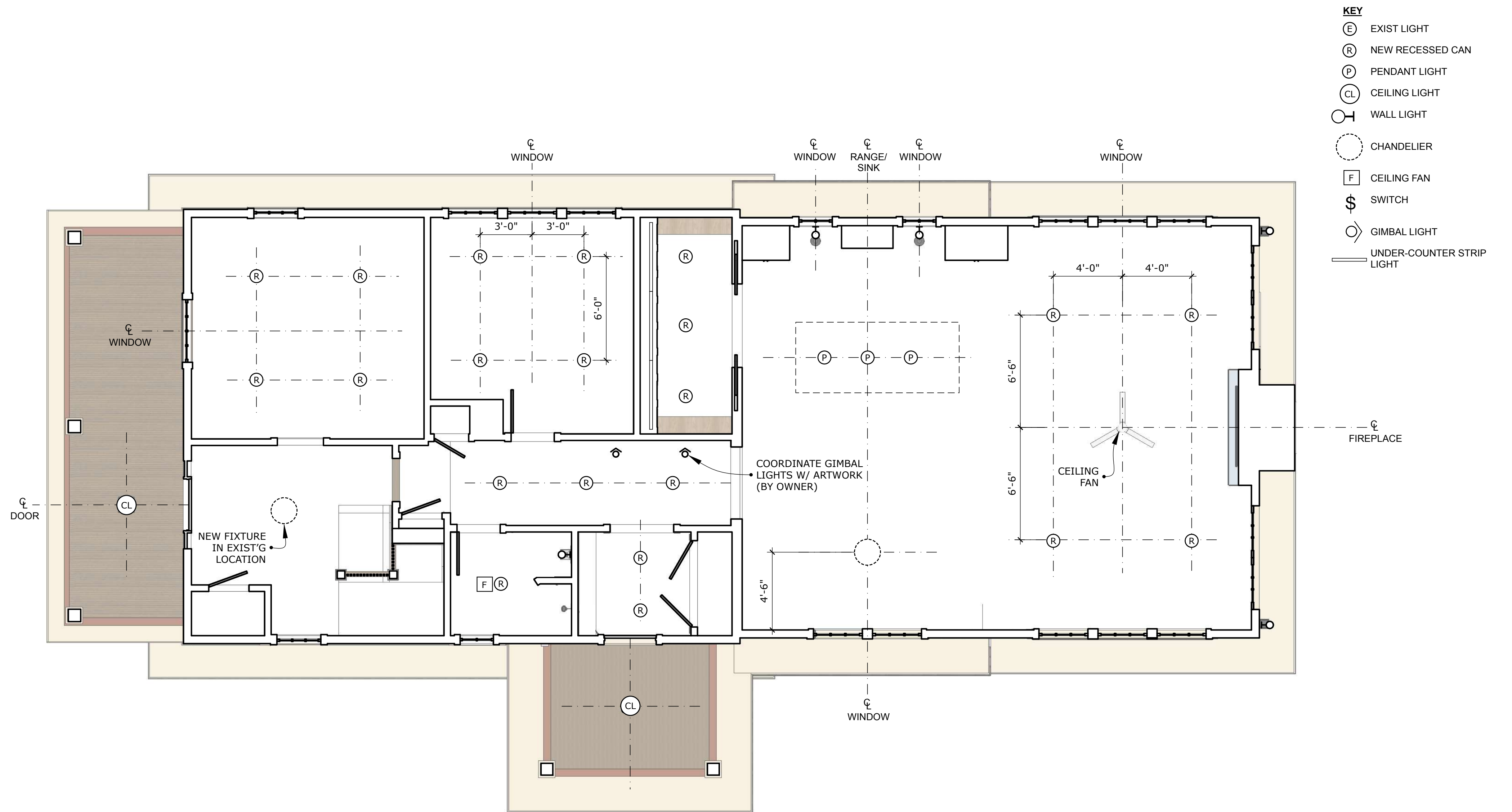
1 SECOND FLOOR FRAMING OVER FIRST FLOOR PLAN

0 5' 10'




1 CEILING FRAMING PLAN

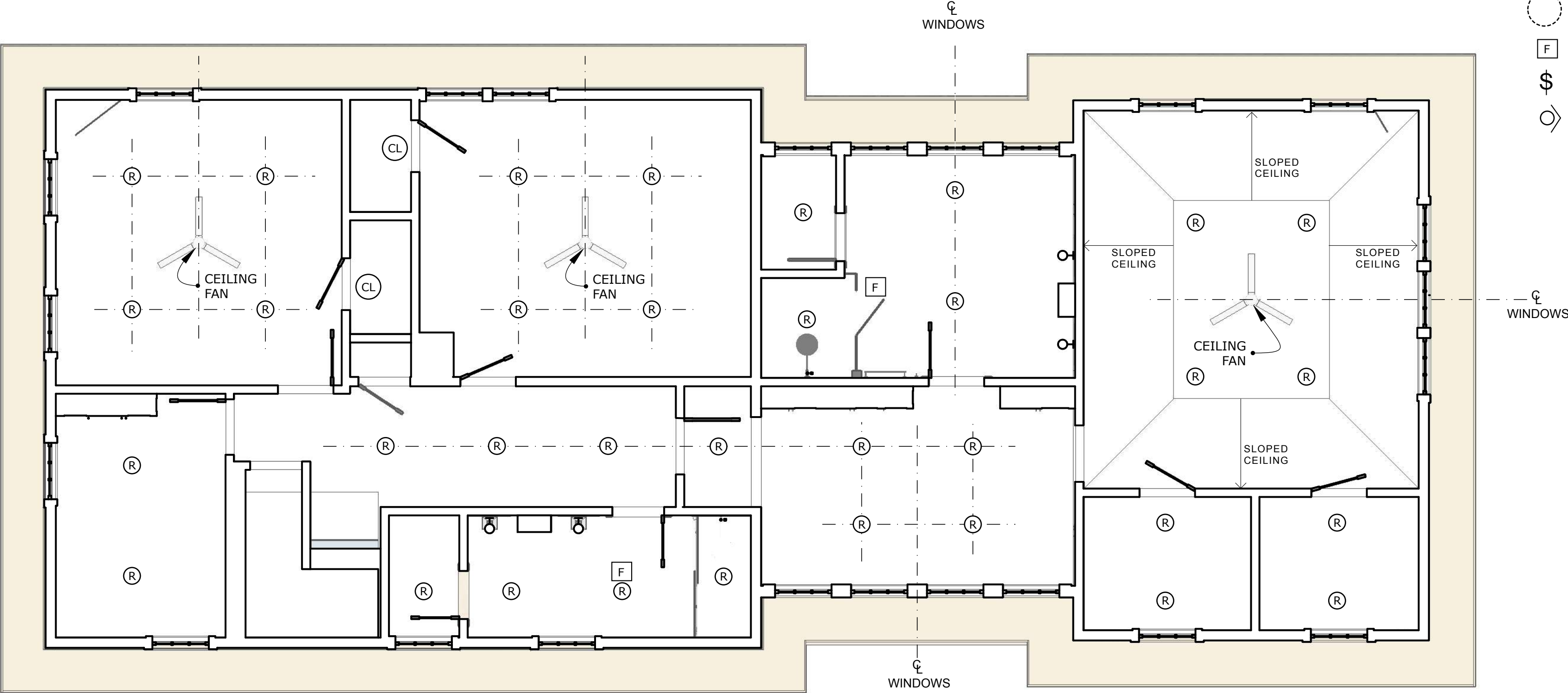




1 FIRST FLOOR LIGHTING & REFLECTED CEILING PLAN

0 5' 10'

	42 Madison Street Newburyport, MA 978.914.1900	CONSULTANTS:	BARBER/POLDRACK RESIDENCE 28 NEW CASTLE AVE. PORTSMOUTH, NH	SEAL:	NO:	DESCRIPTION	DATE	SCALE: 1/4" = 1'-0"	<div>L.1</div>
					1	PERMIT REISSUE	2-16-23	ISSUE DATE: PERMIT 2-3-2023	
								DRAWING: RCP/LIGHTING PLAN	



- KEY**
- (E) EXIST LIGHT
 - (R) NEW RECESSED CAN
 - (P) PENDANT LIGHT
 - (CL) CEILING LIGHT
 - WALL LIGHT
 - CHANDELIER
 - [F] CEILING FAN
 - \$ SWITCH
 - ◇ GIMBAL LIGHT

1 SECOND FLOOR LIGHTING & REFLECTED CEILING PLAN

0 5' 10'



