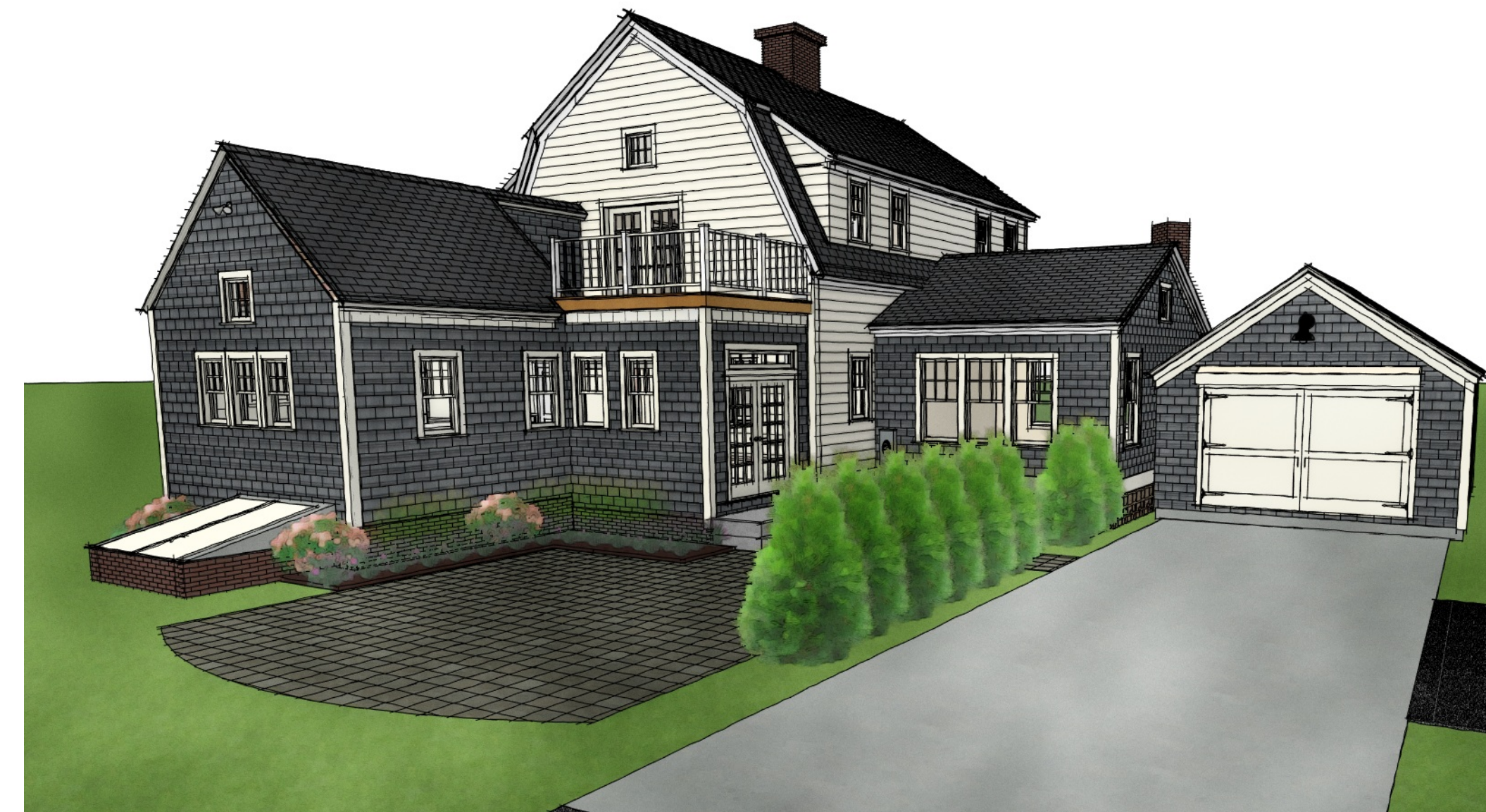


FRONT VIEW

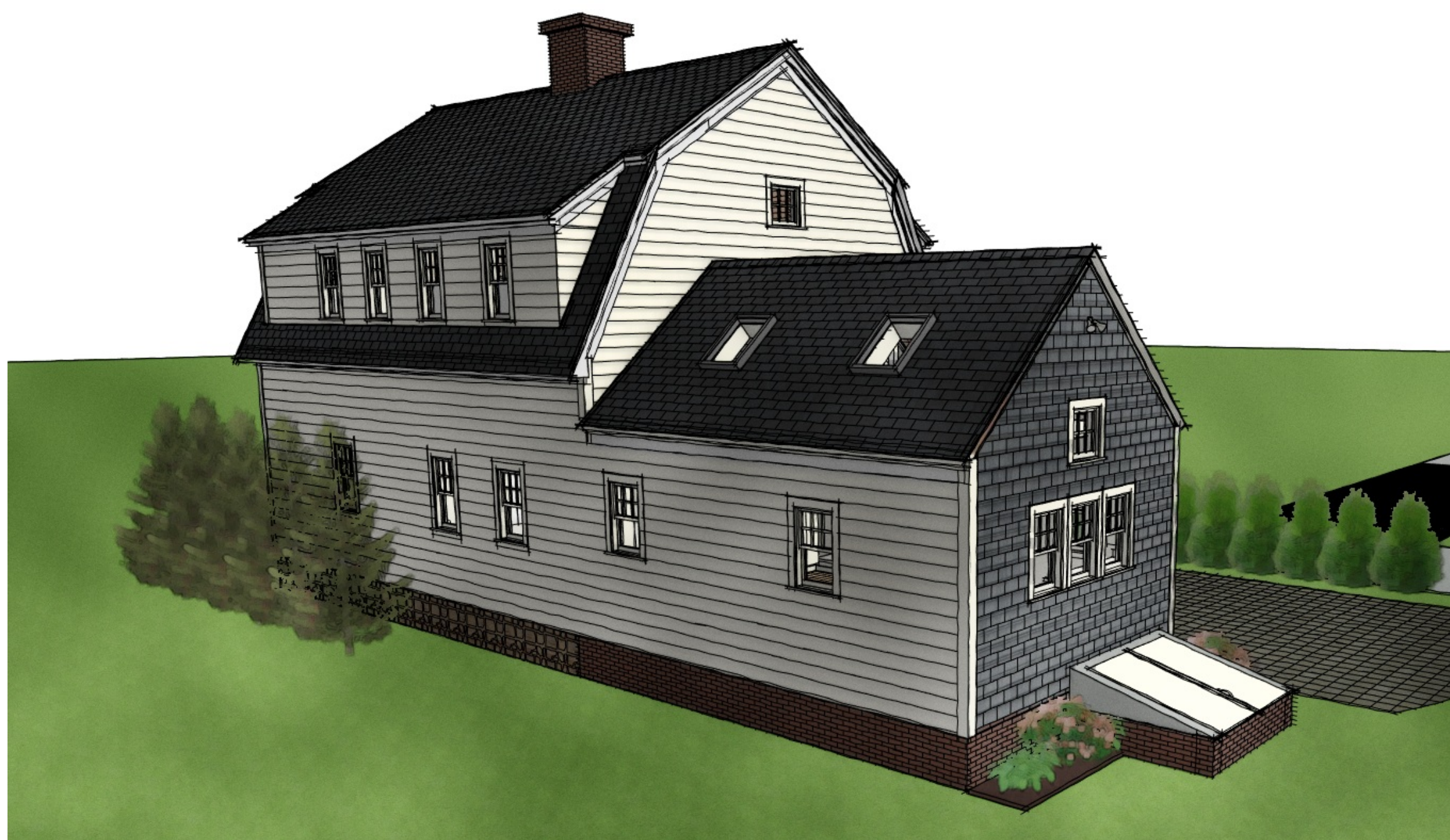


VIEW FROM WATER

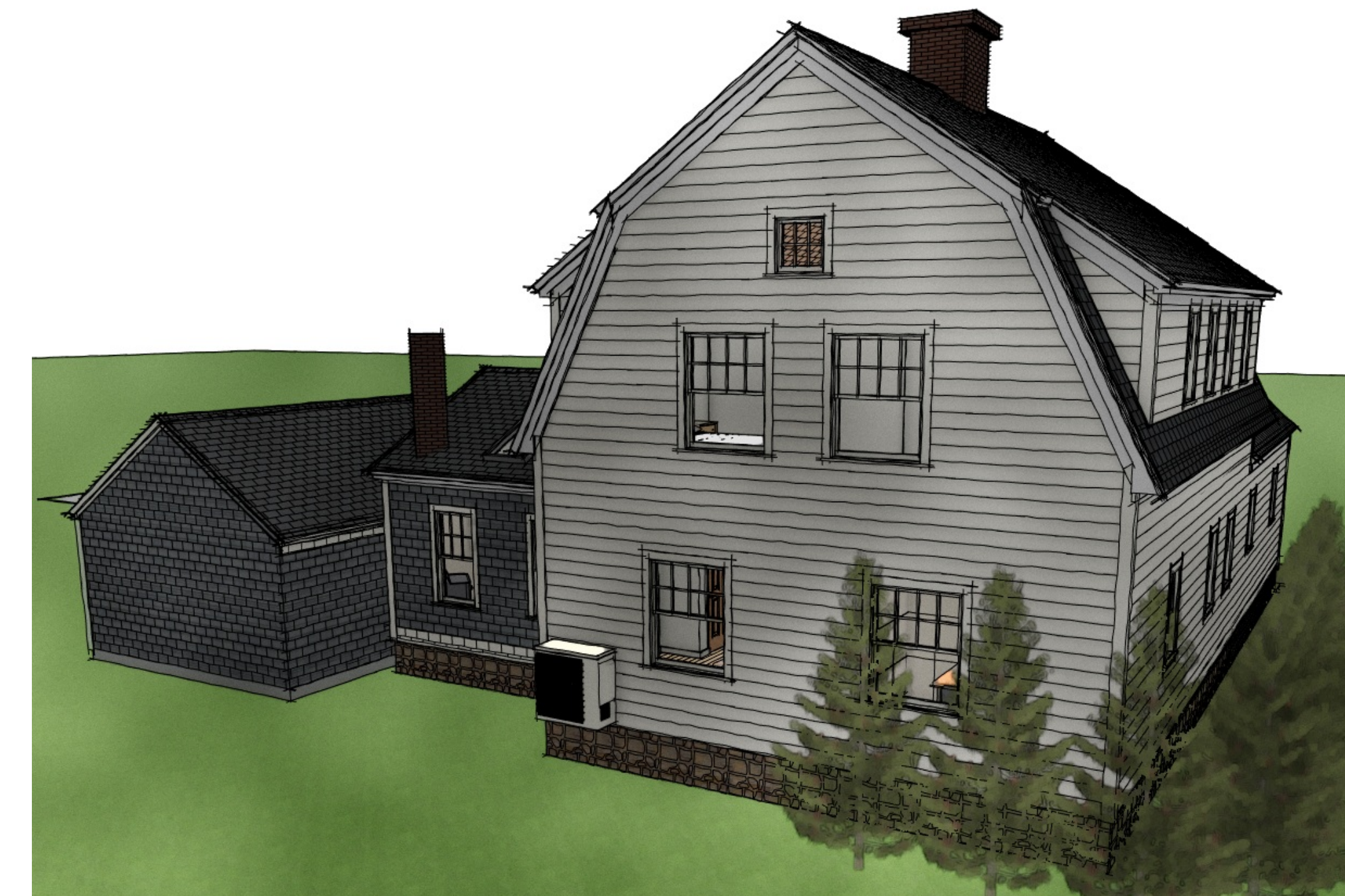
EXISTING PHOTOS



VIEW FROM DENNETT



VIEW BACK SIDE



BACK VIEW



VIEW FROM DEARBORN



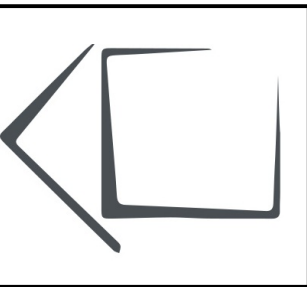
HISTORIC VIEW FROM WATER



HISTORIC FRONT VIEW



VIEW FROM MAPLEWOOD



Number	Date	Description

OVERVIEW

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:

1/10/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

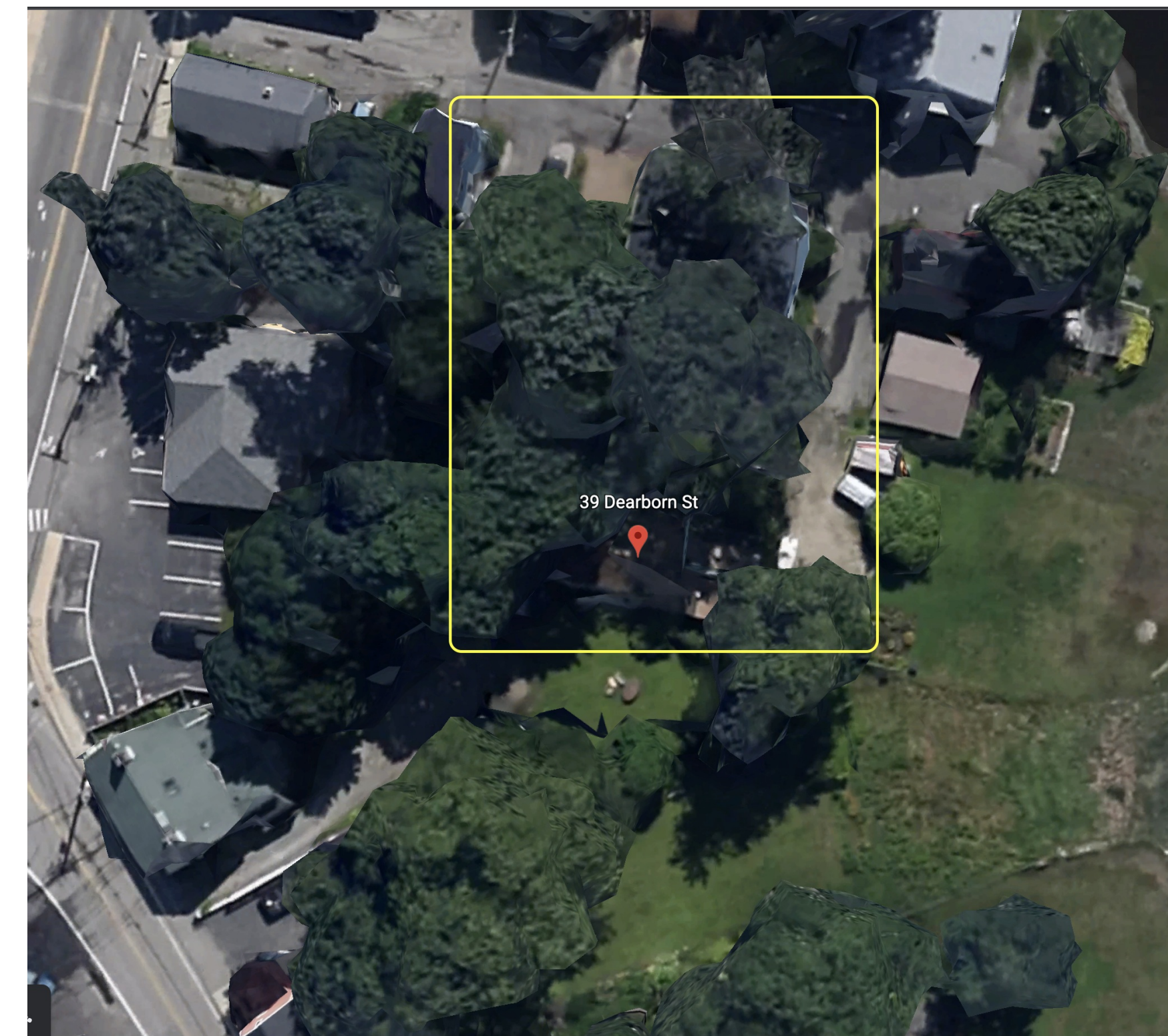
SHEET:

0-2

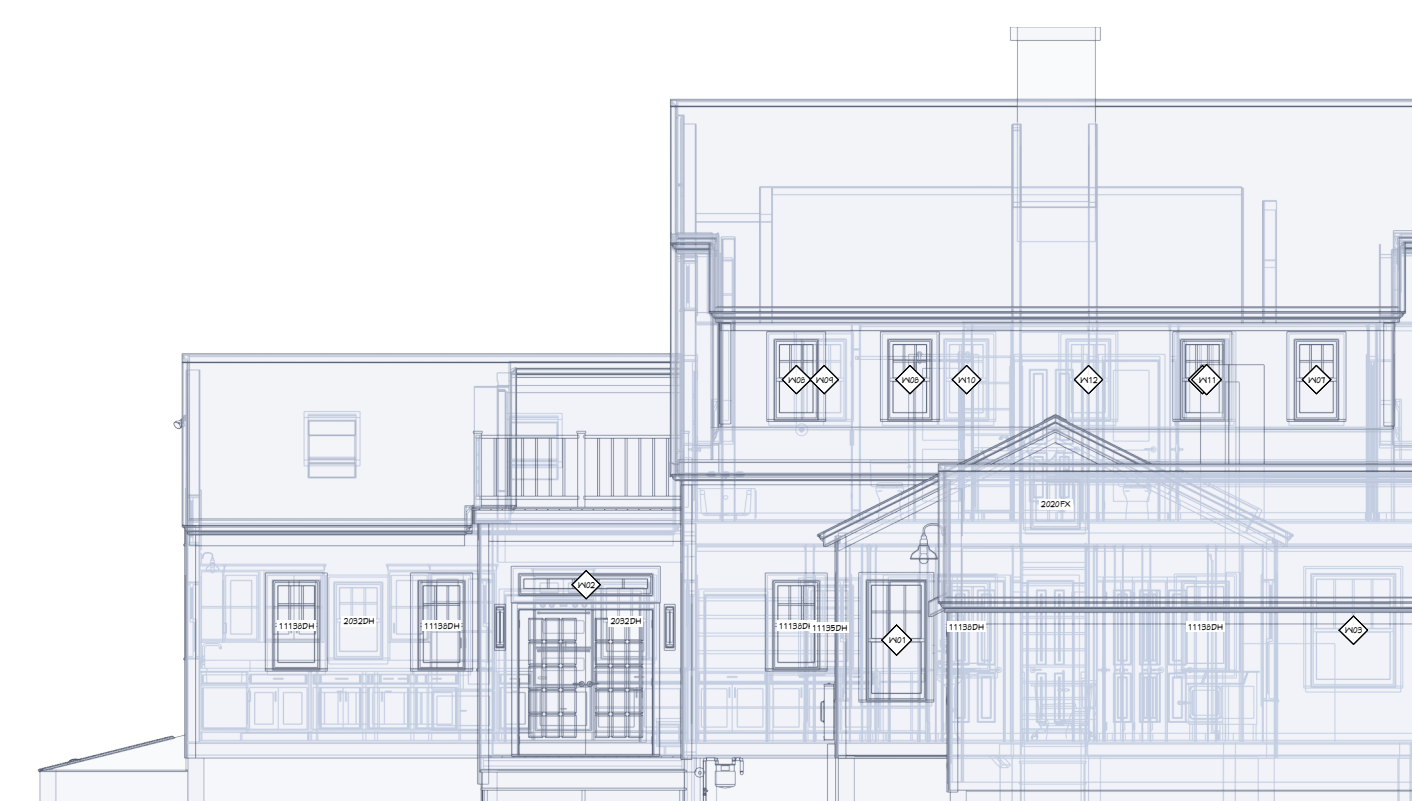


CITY OF PORTSMOUTH - MAP GEO GIS

SITE PLAN

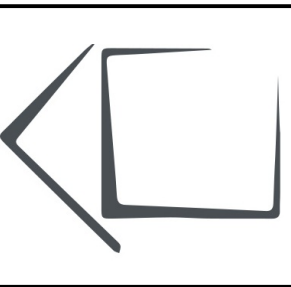


GOOGLE SATELITE SITE



GLASS HOUSE ELEVATION FROM EAST

SCALE: 1/8" = 1'-0"



Revision Table	Description
Number	Date

PLOT PLAN

CLIENT:
 ABRIGO HOME
 BARBONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 201.345.6050

DATE:

1/10/2023

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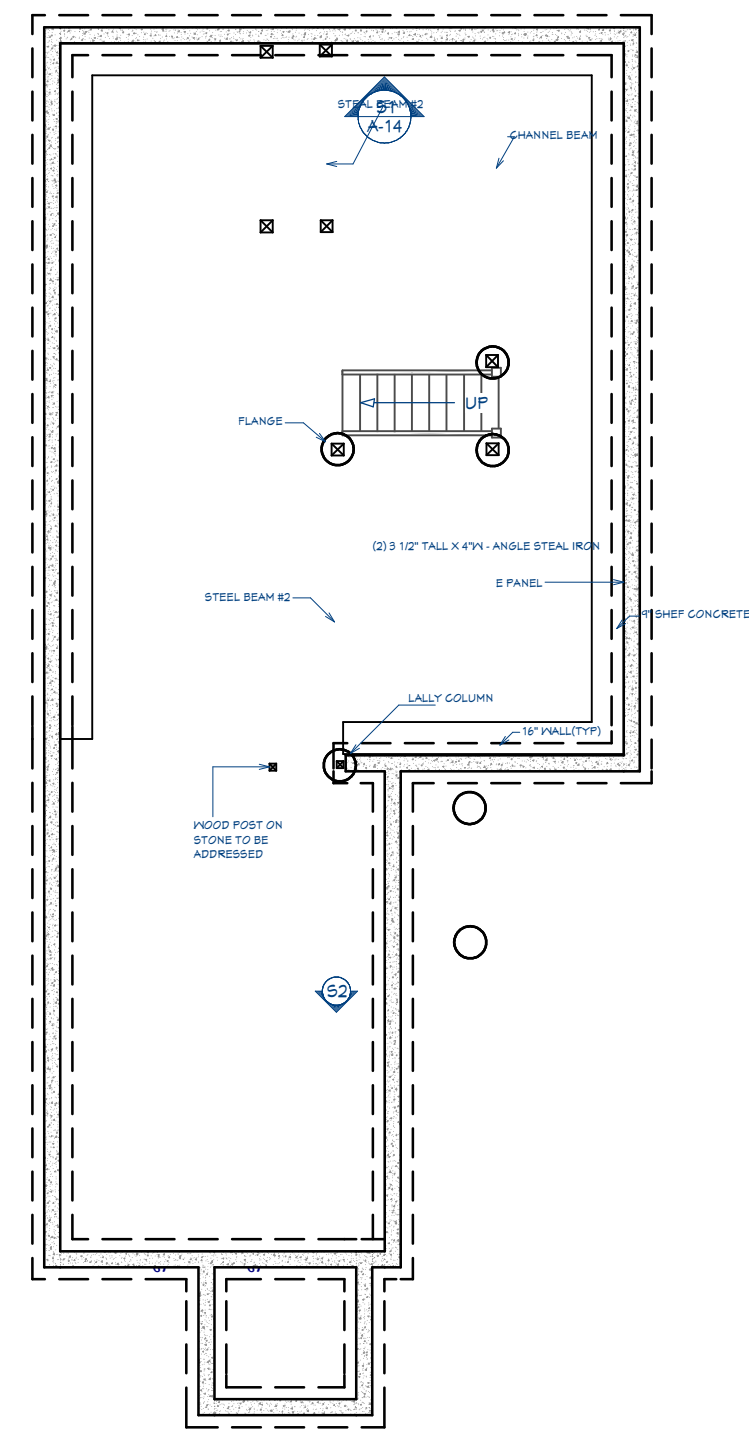
SCALED FOR:
 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

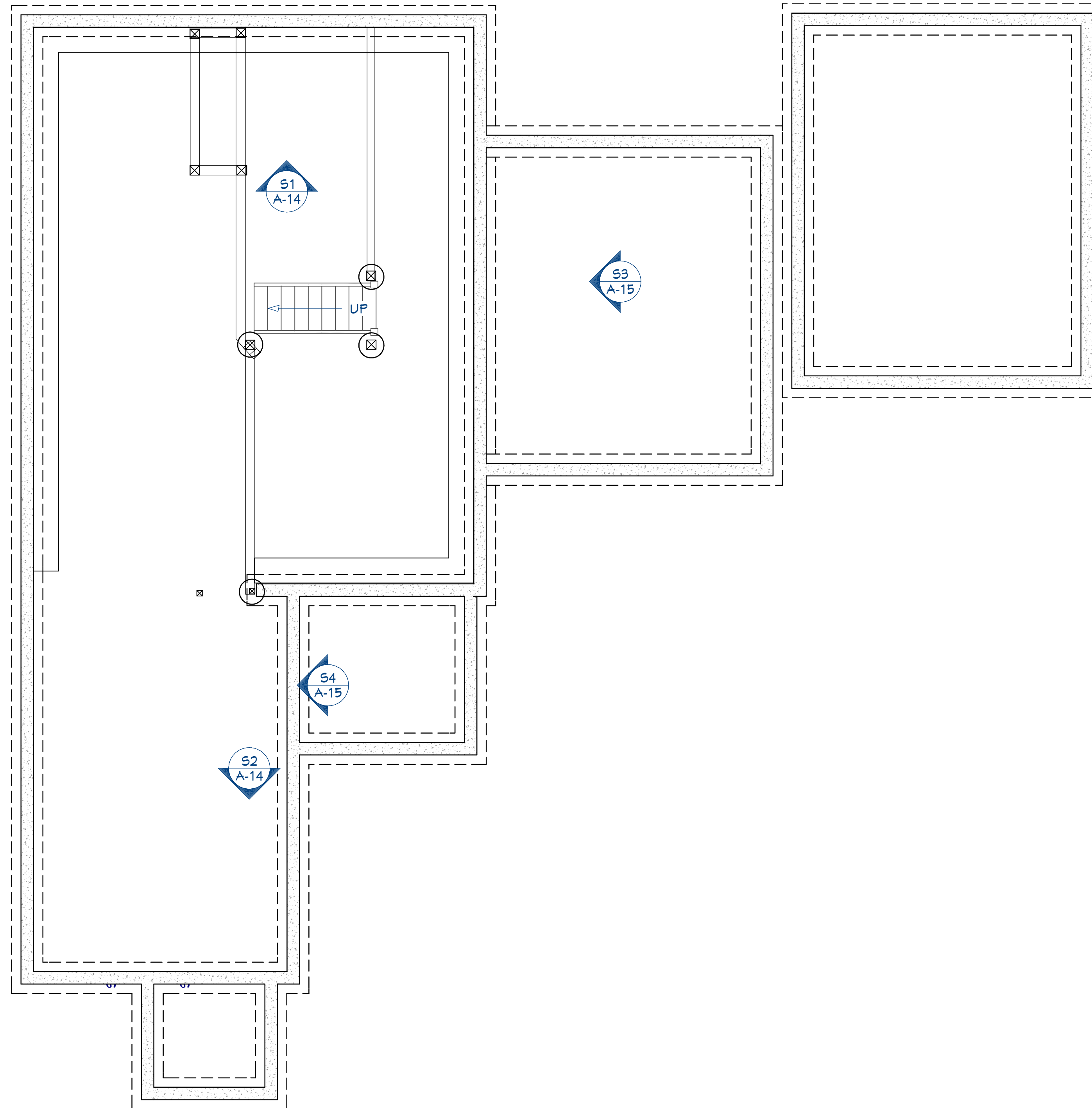
SHEET:

S1



EXISTING FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



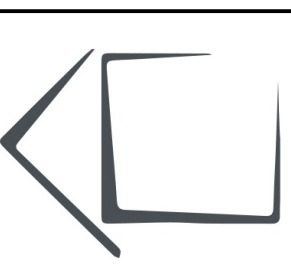
PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

E4
A-10

NOTE SCHEDULE	
①	LANDING
②	OPEN WIDER
④	DOOR TO BE MOVED
⑤	WOOD STOVE

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Number	Date	Description

FOUNDATION

CLIENT:
 BARBONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 201.345.6050

DATE:

1/10/2023

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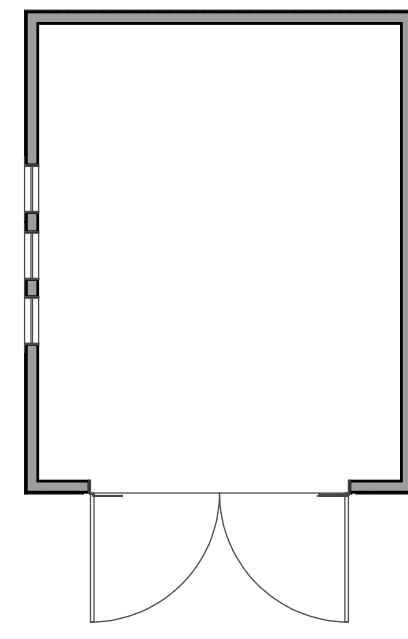
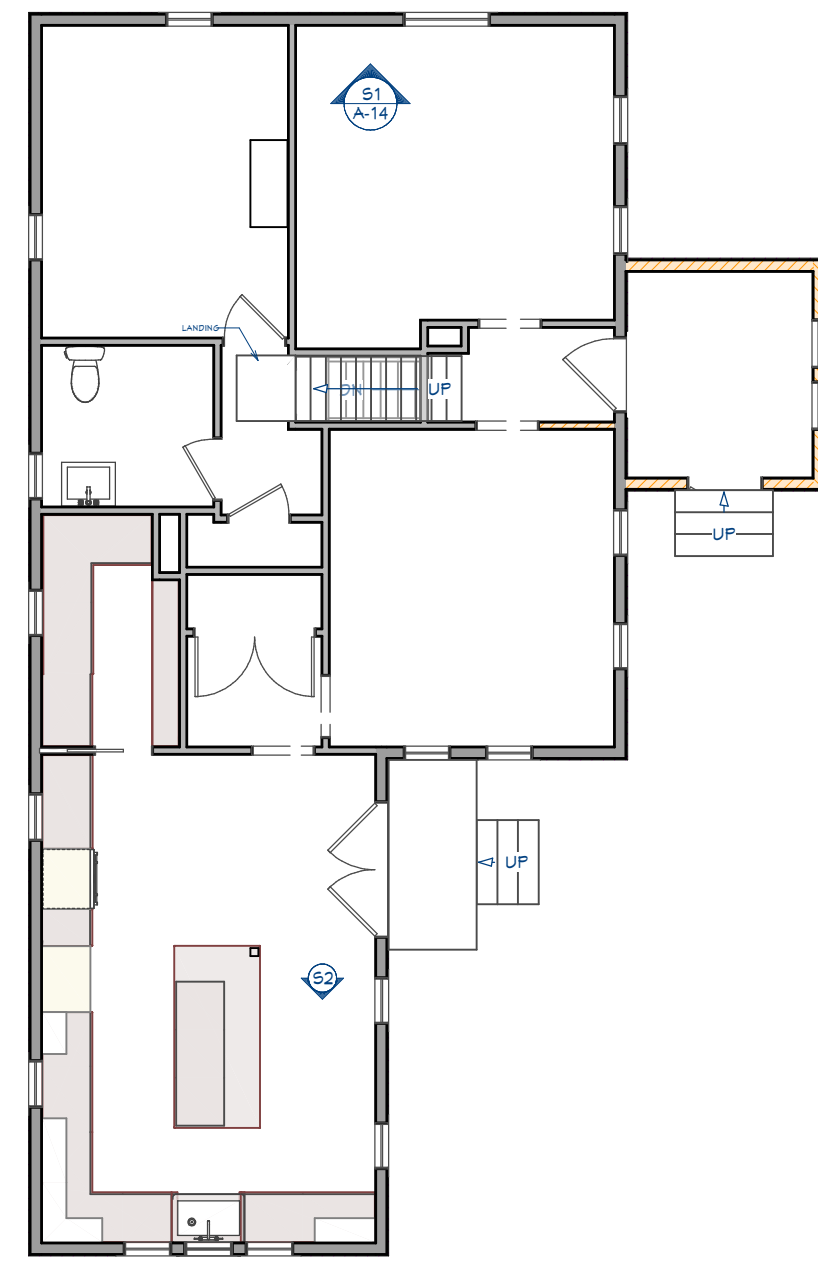
SCALED FOR:
24" X 36"

SCALE:

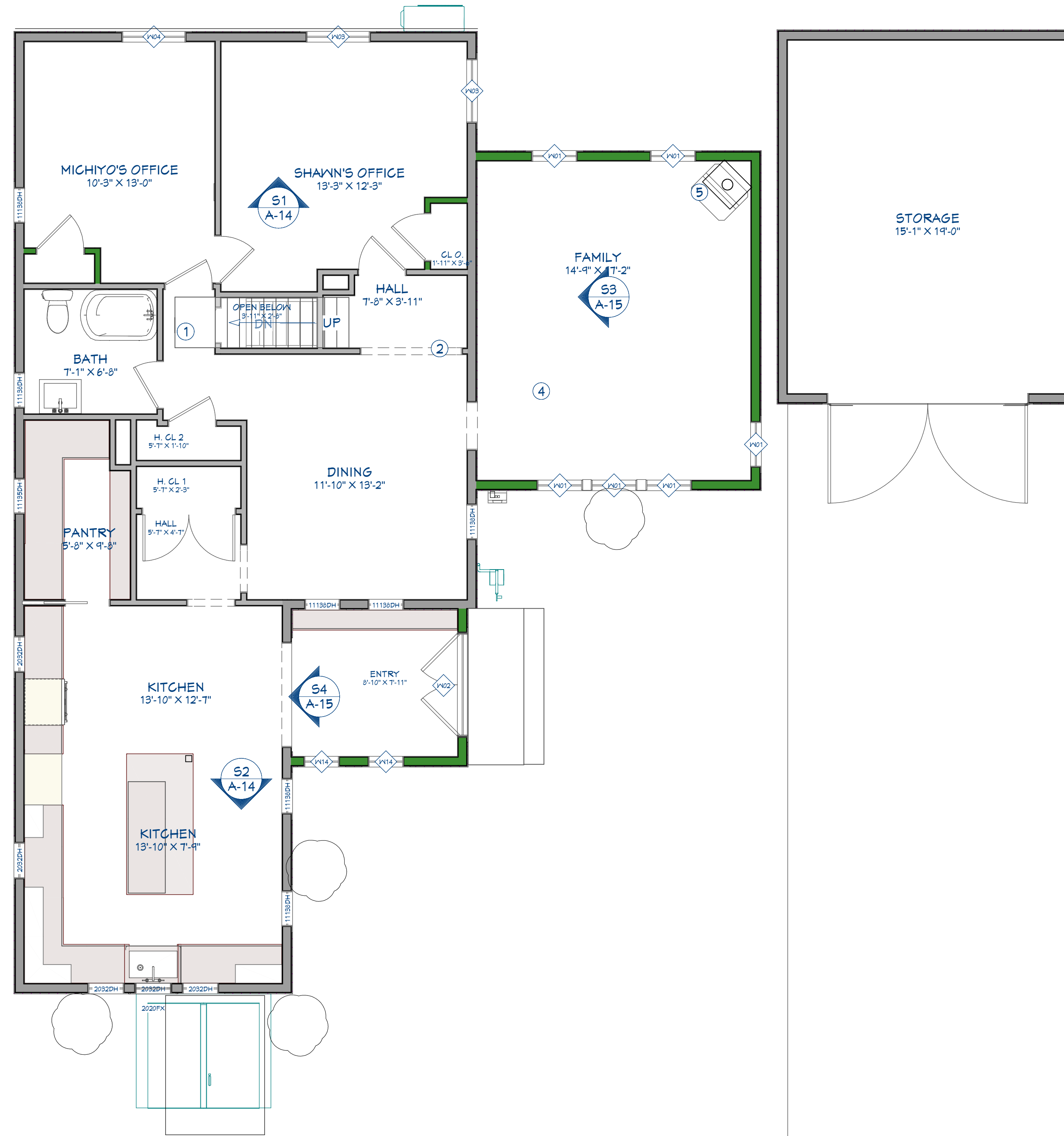
SEE SCALE ON DRAWINGS

SHEET:

A-1



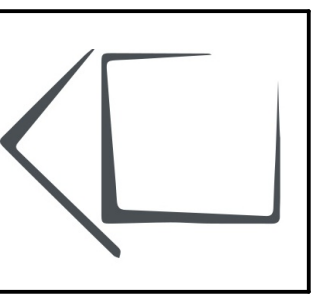
EXISTING FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



NOTE SCHEDULE	
①	LANDING
②	OPEN WIDER
④	DOOR TO BE MOVED
⑤	WOOD STOVE

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL

PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



Revision Table		
Number	Date	Description

FOUNDATION

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:
1/10/2023

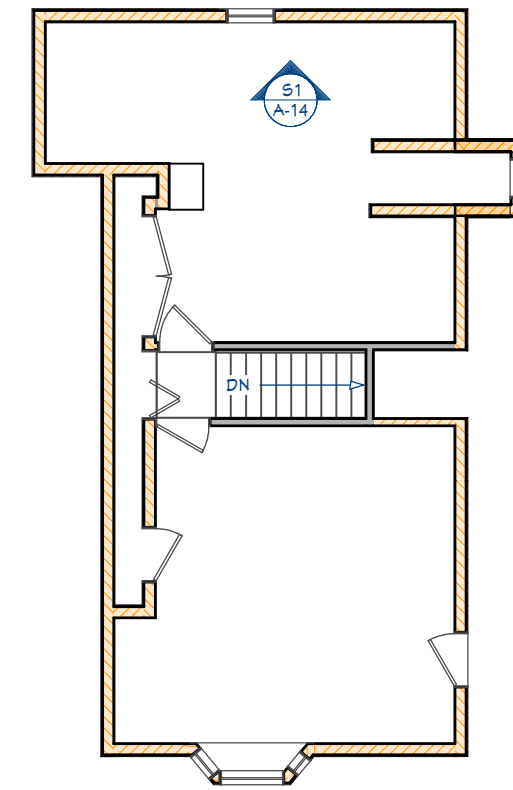
COPYRIGHT © ABRIGO HOME 2022

SCALED FOR:
24" X 36"

SCALE:
SEE SCALE ON DRAWINGS

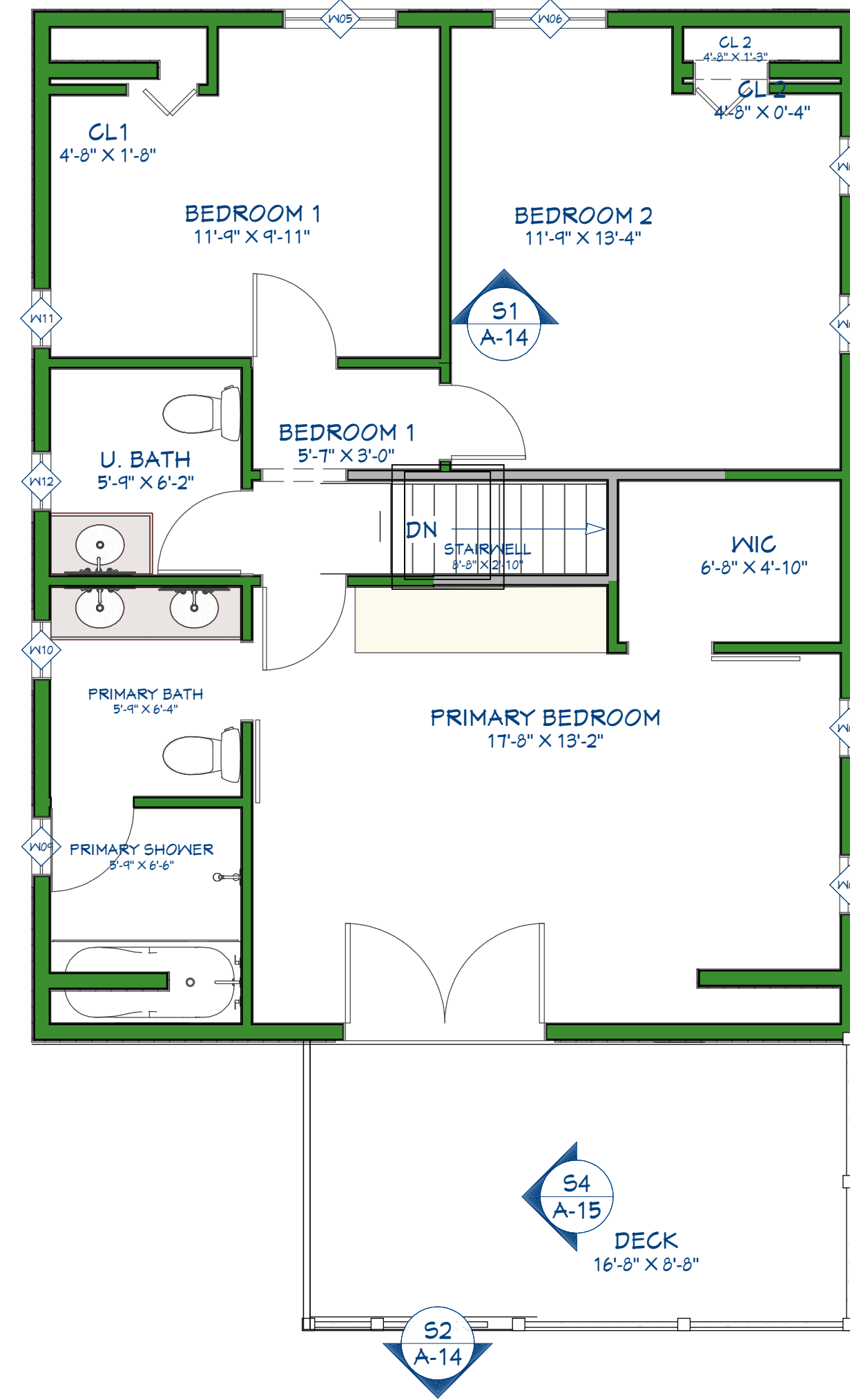
SHEET:

A-2



EXISTING FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

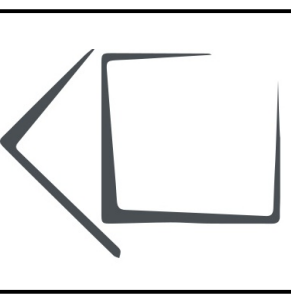


NOTE SCHEDULE	
①	LANDING
②	OPEN WIDER
④	DOOR TO BE MOVED
⑤	WOOD STOVE

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL

PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



Revision Table		
Number	Date	Description

FOUNDATION

CLIENT:
 BARBONG
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 FORTSMOUTH, NH 03801
 207.345.6050

DATE:

1/10/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-3

WINDOW SCHEDULE:
MFG: MARVIN_ELEVATE

FIRST FLOOR

WINDOW SCHEDULE							
3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION
	W01	6		30 1/2"x60 3/4"	29 1/2" x 59 3/4"	FAMILY	DOUBLE HUNG
	W02	1		67 1/2"x11 1/2"	66 1/2" x 10 1/2"	ENTRY	FIXED GLASS
	W03	2		42 1/2"x56 3/4"	41 1/2" x 55 3/4"	SHAWN'S OFFICE	DOUBLE HUNG
	W04	1		42 1/2"x56 3/4"	41 1/2" x 55 3/4"	MICHIYO'S OFFICE	DOUBLE HUNG

SECOND FLOOR

WINDOW SCHEDULE							
3D EXTERIOR ELEVATION	NUMBER	QTY	R/O	WIDTH	HEIGHT	ROOM NAME	DESCRIPTION
	W05	1		42 1/2"x56 3/4"	41 1/2" x 55 3/4"	BEDROOM 1	DOUBLE HUNG
	W06	1		42 1/2"x56 3/4"	41 1/2" x 55 3/4"	BEDROOM 2	DOUBLE HUNG
	W07	2		22 1/2"x40 3/4"	21 1/2" x 39 3/4"	BEDROOM 2	DOUBLE HUNG
	W08	2		22 1/2"x40 3/4"	21 1/2" x 39 3/4"	PRIMARY BEDROOM	DOUBLE HUNG
	W09	1		22 1/2"x40 3/4"	21 1/2" x 39 3/4"	PRIMARY SHOWER	DOUBLE HUNG
	W10	1		22 1/2"x40 3/4"	21 1/2" x 39 3/4"	PRIMARY BATH	DOUBLE HUNG
	W11	1		22 1/2"x40 3/4"	21 1/2" x 39 3/4"	BEDROOM 1	DOUBLE HUNG
	W12	1		22 1/2"x40 3/4"	21 1/2" x 39 3/4"	U. BATH	DOUBLE HUNG
	W13	2		25"x25"	24" x 24"		FIXED GLASS
	W14	2		24"x45"	23" x 44"	ENTRY	DOUBLE HUNG

MARVIN INC, ELEVATE DOUBLE HUNG,
7/8" SDL, LOW E GLAZING, STONE WHITE CLADDING
HARDWARE TO BE CHOSEN BY HOMEOWNER, IN 2X6 WALL

MARVIN ELEVATE™ COLLECTION
DOUBLE HUNG

MO (mm)	1-10 (259)	2-2 (66)	2-6 (76)	2-8 (81)	2-10 (86)
RO (mm)	1-10 (257)	2-2 (67)	2-6 (77)	2-8 (82)	2-10 (87)
FS (mm)	1-8 (206)	2-1 (54)	2-5 (72)	2-7 (78)	2-9 (83)
DLO (mm)	1-3 (116 (206))	1-7 (116 (206))	1-11 (116 (202))	2-1 (116 (202))	2-3 (116 (202))

MARVIN ELEVATE™ COLLECTION
INSWING FRENCH DOOR

MO (mm)	4-11 (104)	5-3 (128)	5-11 (136)
RO (mm)	5-0 (124)	5-4 (128)	5-1 (128)
FS (mm)	4-11 (104)	5-3 (128)	5-11 (136)
DLO (mm)	2-1 (102 (202))	2-1 (102 (202))	2-1 (102 (202))

Direct Glaze

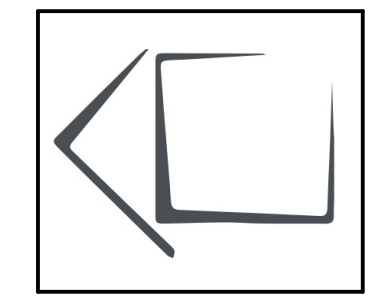
MO (mm)	3-0 (76)	3-11 (81)	3-11 (81)
RO (mm)	3-0 (76) <td>3-11 (81)</td> <td>3-11 (81)</td>	3-11 (81)	3-11 (81)
FS (mm)	3-0 (76)	3-11 (81)	3-11 (81)
DLO (mm)	3-1 (76 (152))	3-1 (76 (152))	3-1 (76 (152))

Details and Elevations not to scale.
* This product is only available field milled.
O = Stationary, X = Operator
Optional Direct Glaze GBGs, SDLs and SDLs with Spacer Bar are available in a standard rectangular cut, as shown. Alternate line cuts available to align with doors using select the cut options shown on page 3.
For further details and drawings visit the "Tools and Documents" section at Marvin.com.

January 2020

- SUBMIT FINAL WINDOW/ EXT. DOOR SCHEDULE FOR APPROVAL BEFORE ORDERING
 - BUILDER TO VERIFY ROUGH OPENINGS
- *EGRESS = SIGNIFIES EGRESS (see window notes for specs)

WINDOW SCHEDULES



Revision	Table	Description
Number	Date	

WINDOW AND DOOR SCHEDULE

CLIENT:
ABRIGO HOME
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:
1/10/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:



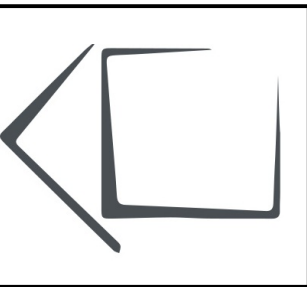
MARVIN_ELEVATE DOUBLE-HUNG 6/1

Simulated Divided Lite (SDL)

An energy-efficient way to create the look of authentic divided lites. SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

Details and Elevations not to scale.
Special sized units available within and outside of CN matrix. Please contact your Marvin dealer.
Minimum frame size: 17" x 27"
Maximum frame size: 52" x 63"
Optional Double Hung GBGs and SDLs are available in a standard Rectangular cut shown. Other available line cuts shown on page 3.
When ordering 5/8" (16 mm) or 6/8" (17 mm) jamb, add 1/2" (6 mm) to width and 1/2" (3 mm) to height for Rough Opening. Frame Size and Masonry Opening.
E = These windows meet National Egress Codes for fire evacuation. Local codes may differ.
Available in equal, cottage, and reverse cottage sash configurations. Cottage and reverse cottage sash configurations are not available below CN 36 height and above CN 68 height.
For further details and drawings visit the "Tools and Documents" section at Marvin.com.

MULTIPLE ASSEMBLIES
Multiple assemblies can be factory milled.
MAXIMUM ROUGH OPENING not to exceed 113 1/2" x 76 1/2" Maximum up to 5 units wide by 1 unit high.
MAXIMUM ROUGH OPENING not to exceed 84" x 92" Maximum up to 3 units wide by 5 units high.
Field mull kits are available. Structural mullion reinforcement is required for some assemblies.
Please consult your local Marvin representative for more information.



LINE LEGEND

- = EXISTING
- = PROPOSED

NOTE SCHEDULE

Number	Description
①	CENTRAL NEW BRICK CHIMNEY
②	HARDI-PLANK SIDING W/ 4" WEATHER & TRIM TO MATCH EXISTING ON BACK SIDE OF HOUSE
③	REBUILT ROOF SYSTEM TO REPLACE EXISTING FAILED ROOF ROOF CONSISTENT W/ 1800 RESTORED DUTCH COLONIAL
④	FRIEZE, SOFFIT & FASCIA - AZEC TO MATCH EXISTING PAINTED (PREVIOUSLY APPROVED)
⑤	CORNER BOARD TO MATCH EX. IN AZEC PAINTED (1 X 6) (PREVIOUSLY APPROVED)
⑥	1 X 5 AZEC WINDOW & DOOR TRIM (5/4 X 5") PAINTED TO MATCH EXISTING (PREVIOUSLY APPROVED)
⑦	WINDOWS ALIGN DIRECTLY W/ DINING ROOM WINDOW LOCATIONS
⑧	NATURAL WOOD SHAKES TO MATCH EXISTING
⑨	RELOCATE ELECTRIC METER TO BE MORE DISCRETE
⑩	15 LIGHT FRENCH DOOR TO MATCH EXISTING 15 LIGHT DOOR
⑪	WOOD RAILING SYSTEM (PREVIOUSLY APPROVED)
⑫	GRANITE LANDING & STEP DOWN TO GRADE (PREVIOUSLY APPROVED)
⑬	STONE FOUNDATION TO MATCH EXISTING ON ALL NEW FOUNDATIONS
⑭	MAHOGANY WOOD DECKING
⑮	NEW BRICK CHIMNEY

Revision Table	Description
Number	Date

ELEVATIONS

CLIENT:
 ABRIGO HOME
 39 DEARBORN EXT
 FORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 FORTSMOUTH, NH 03801
 207.345.6050

DATE:

1/10/2023

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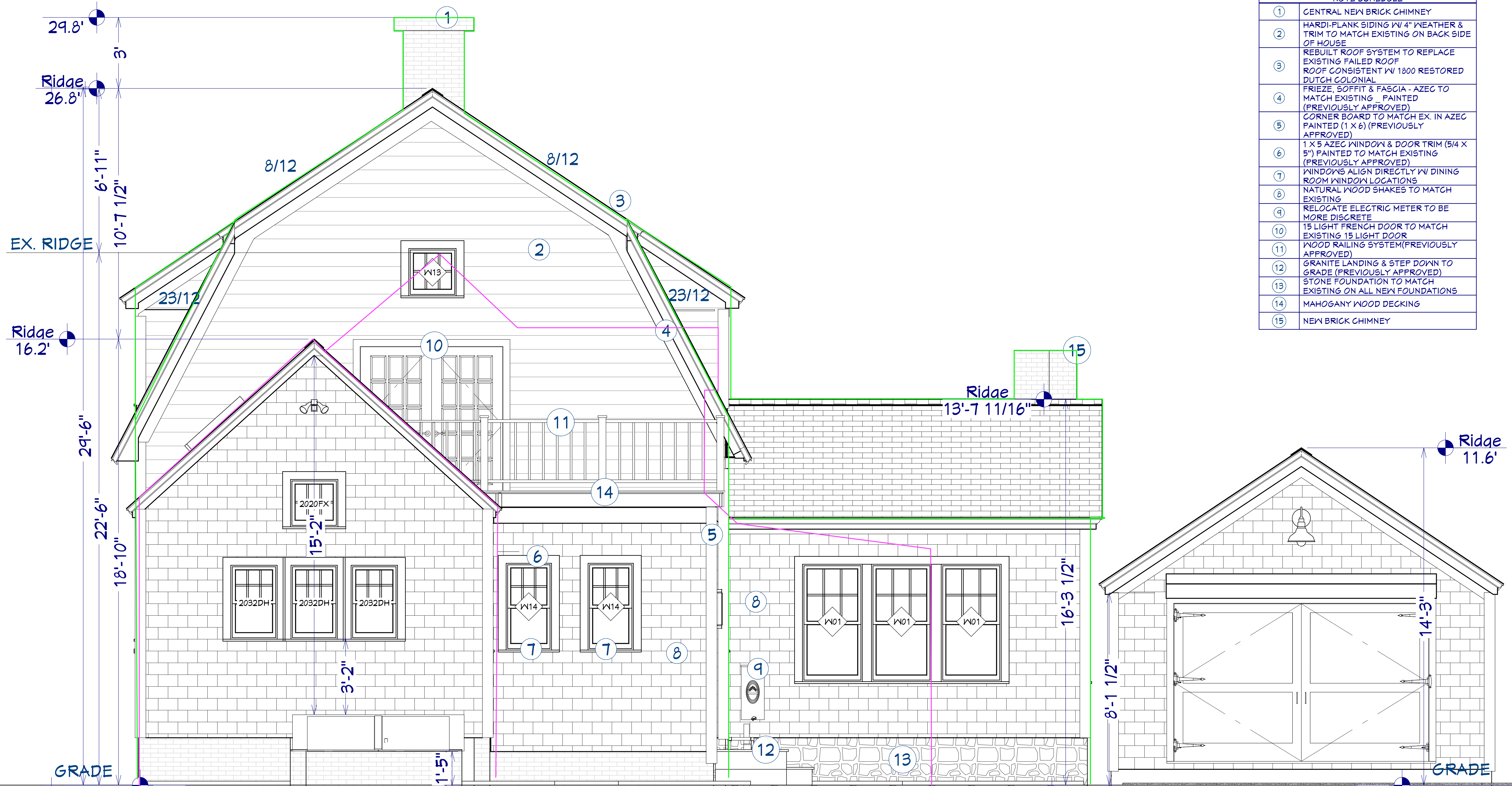
SCALED FOR: 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-9



PROPOSED NORTH ELEVATION

SCALE: 1/2" = 1'-0"

ELEVATION

SCALE: 1/2" = 1'-0"



EXISTING FRONT HOUSE



EXISTING VIEW OF ENTRY AND MUDROOM AREA



EXISTING WEST ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"



Timberline® AH Shingles
Appalachian Sky

ASPHALT ROOF
GAF TIMBERLINE



EXISTING FRONT DOOR



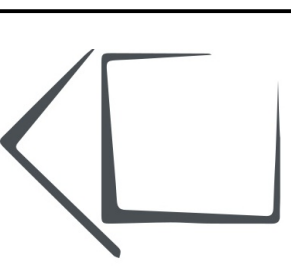
EXISTING 15-LITE FRENCH DOOR

PROPOSED 15 LITE DOOR TO MATCH IN PRIMARY
PROPOSED TRANSOM INSTALLED OVER THIS RELOCATED 15-LITE DOOR



INCANDESCENT BULB_40W

NIGHT SKY COMPLIANT
BRONZE FINISH



Revision Table	
Number	Date

ELEVATIONS

CLIENT:
BARDOG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:

1/10/2023

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SCALED FOR:

24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-10
ELEVATIONS



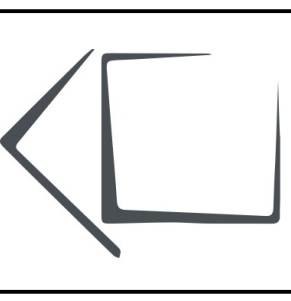
EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING VIEW FROM WATER



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



Revision Table	
Number	Description

ELEVATIONS

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:

1/10/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-11

EXISTING PHOTOS



SOUTH SIDE VIEW



REAR VIEW



BACK | SIDE ROOF, SIDING & PROPERTY LINE



EXISTING SOUTH ELEVATION | REAR VIEW

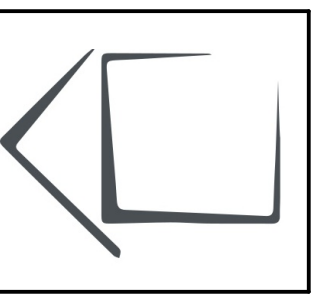
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION | REAR VIEW

SCALE: 1/4" = 1'-0"

LINE LEGEND	
—	= EXISTING
—	= PROPOSED



Revision Table		
Number	Date	Description

ELEVATIONS

CLIENT:
 BARBONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 207.345.6050

DATE:

1/10/2023

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SCALED FOR: 24" X 36"

SCALE:

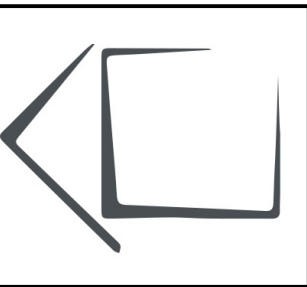
SEE SCALE ON DRAWINGS

SHEET:

A-12

ELEVATIONS

SCALE: 1/4" = 1'-0"



Revision Table

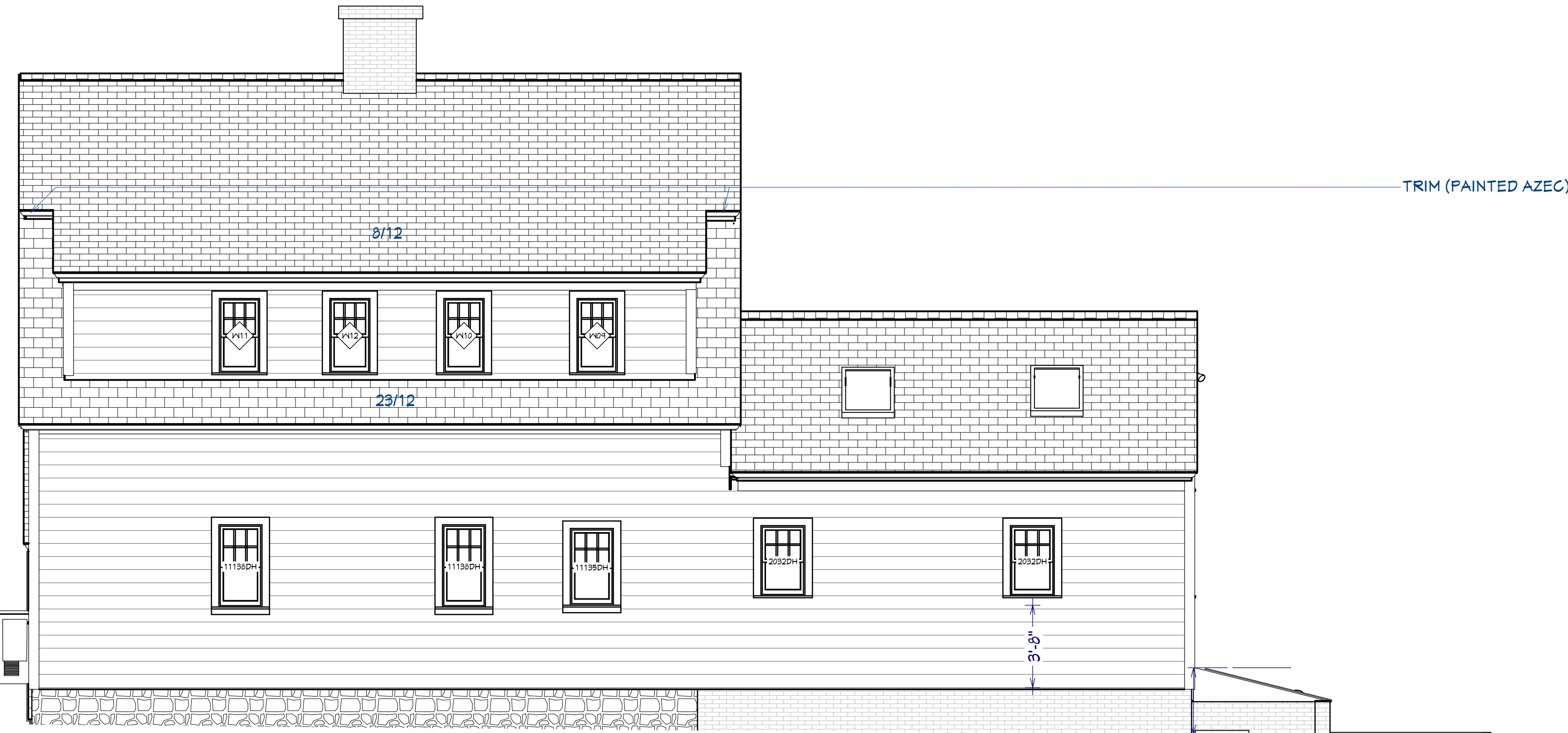
Number	Date	Description



EXISTING EAST ELEVATION | SIDEVIEW
SCALE: 1/4" = 1'-0"



EXISTING PHOTO
SCALE: NTS



PROPOSED EAST ELEVATION | SIDEVIEW
SCALE: 1/4" = 1'-0"

ELEVATIONS

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
207.345.6050

DATE:

1/10/2023

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

A-13
ELEVATIONS

EXAMPLES OF DUTCH COLONIALS IN HDC PORTSMOUTH, NH



170 MECHANIC STREET



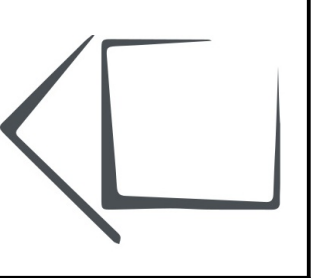
640 MIDDLE STREET



13 SALTER



32 LIVERMORE



Revision Table	
Number	Date

SAMPLE IMAGES

CLIENT:
 BARBONG
 39 DEARBORN EXT
 PORTSMOUTH, NH

CONTACT:
 ABRIGO HOME
 PO BOX 1564
 PORTSMOUTH, NH 03801
 201.345.6050

DATE:

1/10/2023

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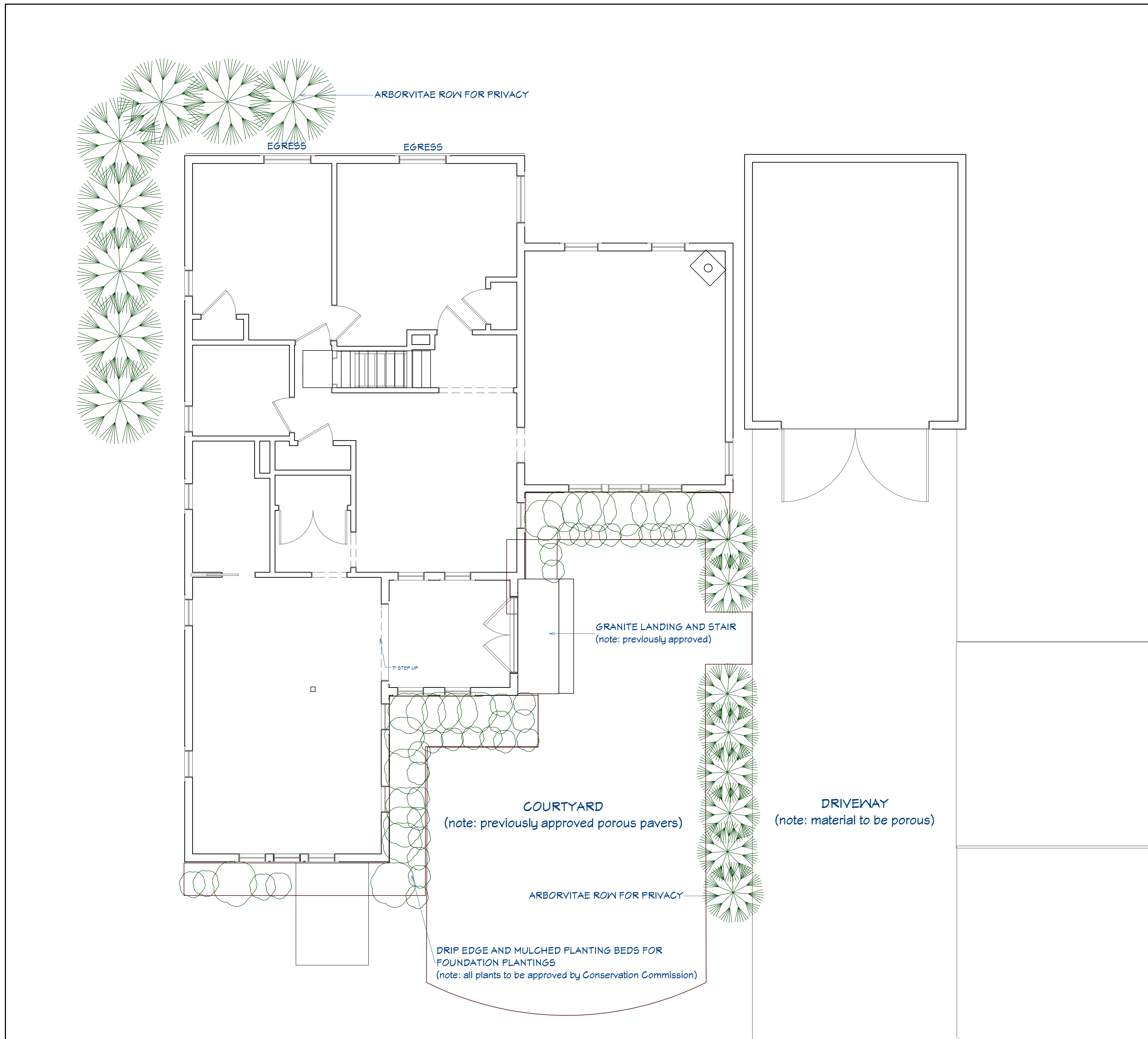
SCALED FOR:
 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

SHEET:

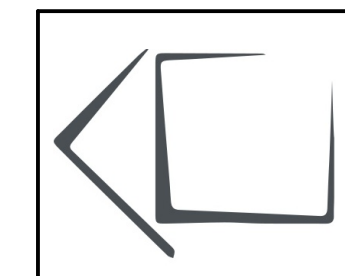
A-16



NOTE: COURTYARD CREATED WITH PAVERS INSTALLED ACCORDING TO CONSERVATION COMMISSION



COURTYARD PAVERS
EVERBLUE BLUESTONE_THERMAL BLUE



Revision Table	
Number	Date

LANDSCAPE PLAN

CLIENT:
BARBONG
39 DEARBORN EXT
PORTSMOUTH, NH

CONTACT:
ABRIGO HOME
PO BOX 1564
PORTSMOUTH, NH 03801
201.345.6050

DATE:

1/10/2023

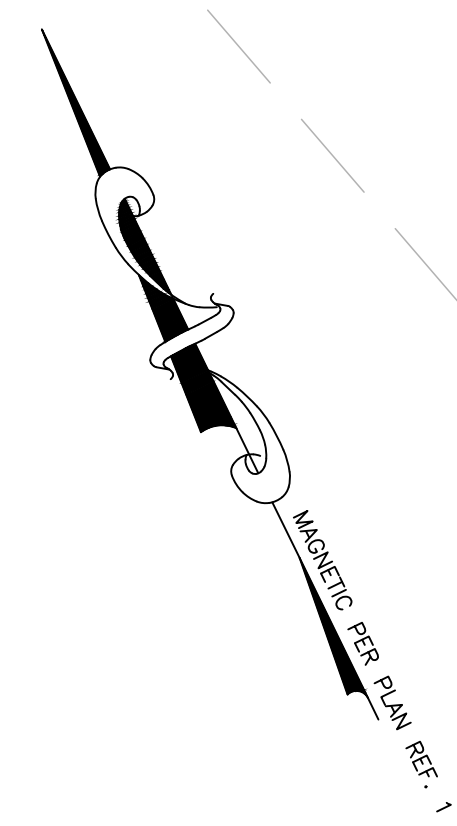
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SCALED FOR:
24" X 36"

SCALE:
SEE SCALE ON DRAWINGS

SHEET:

L-1

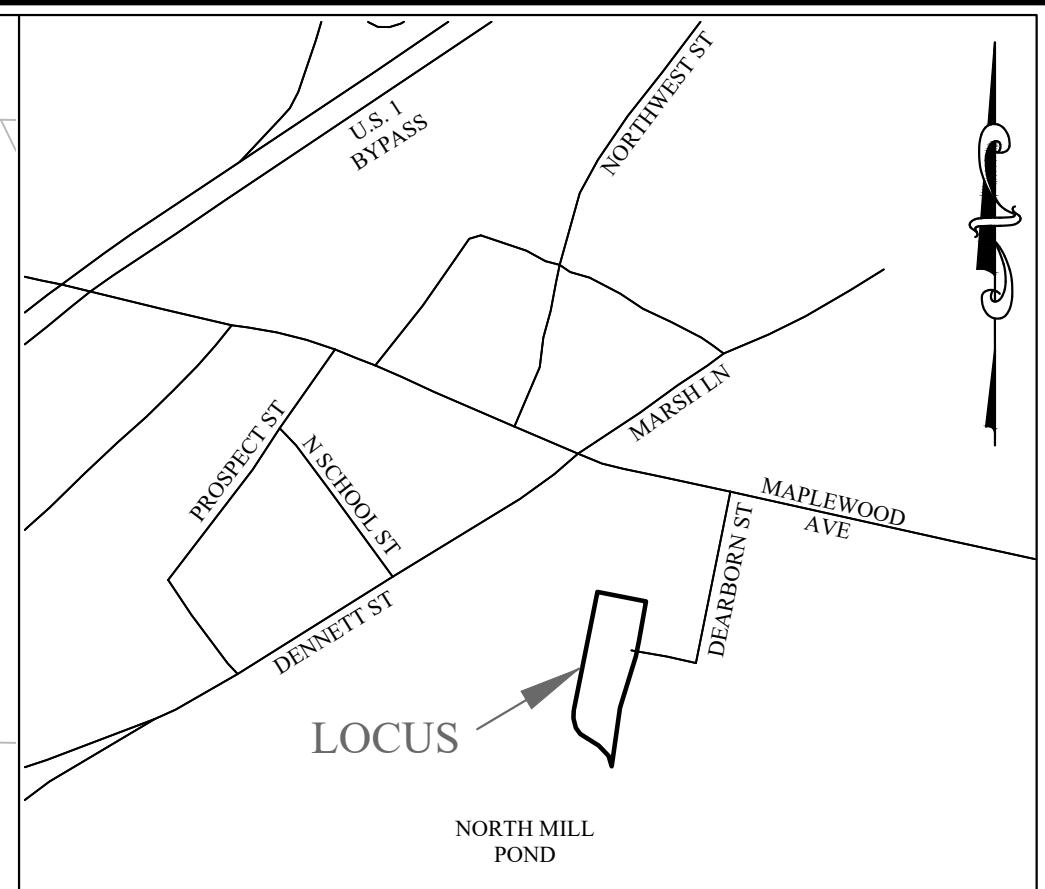
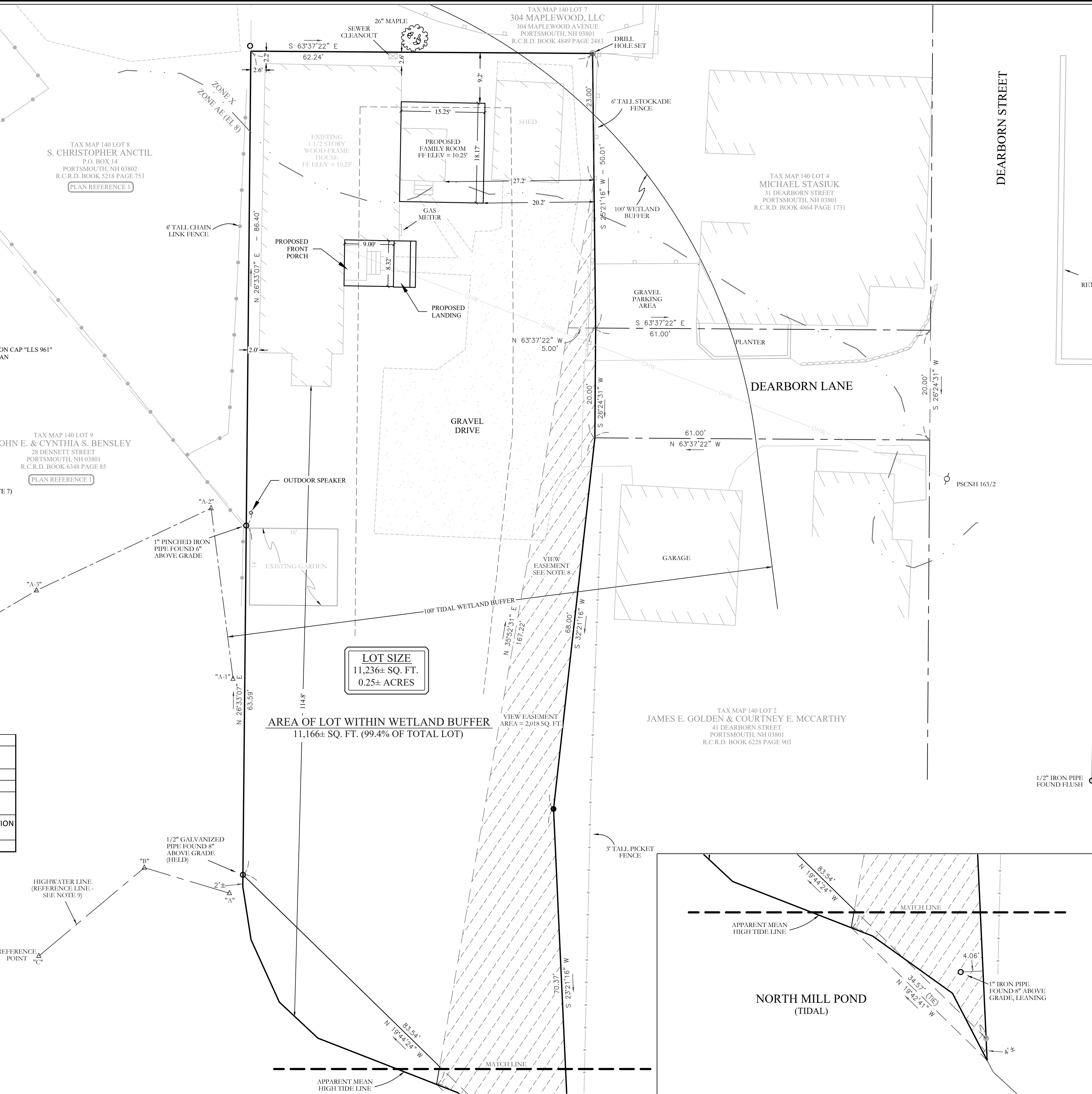


LEGEND

- — IRON PIPE/ROD FOUND
- ⊙ — DRILL HOLE SET
- ◆ — CORNER - NOTHING FOUND/SET
- — IRON ROD SET WITH IDENTIFICATION CAP "LLS 961" UNLESS OTHERWISE NOTED ON PLAN
- ⊕ — UTILITY POLE
- — BOUNDARY LINE
- - - BUILDING SETBACK LINE
- - - ABUTTER LINE
- — OVERHEAD WIRES
- - - RIGHT-OF-WAY
- — STONE WALL
- - - EDGE OF GRAVEL
- - - FLOOD ZONE BOUNDARY (SEE NOTE 7)
- - - EDGE OF WATER
- - - WETLAND BOUNDARY
- - - VIEW EASEMENT

BUILDING AREAS			
STRUCTURE	EXISTING AREA (SF)	PROPOSED AREA (SF)	NOTES
EXISTING HOUSE	1,232.5		
EXISTING SHED	221.8		
FRONT PORCH ADDITION (PROPOSED)		75.1	
FAMILY ROOM (PROPOSED)		196.4	AREA EXCLUDES EXISTING PORTION OF BUILDING BEING REPLACED
TOTALS	1,454.3	271.5	

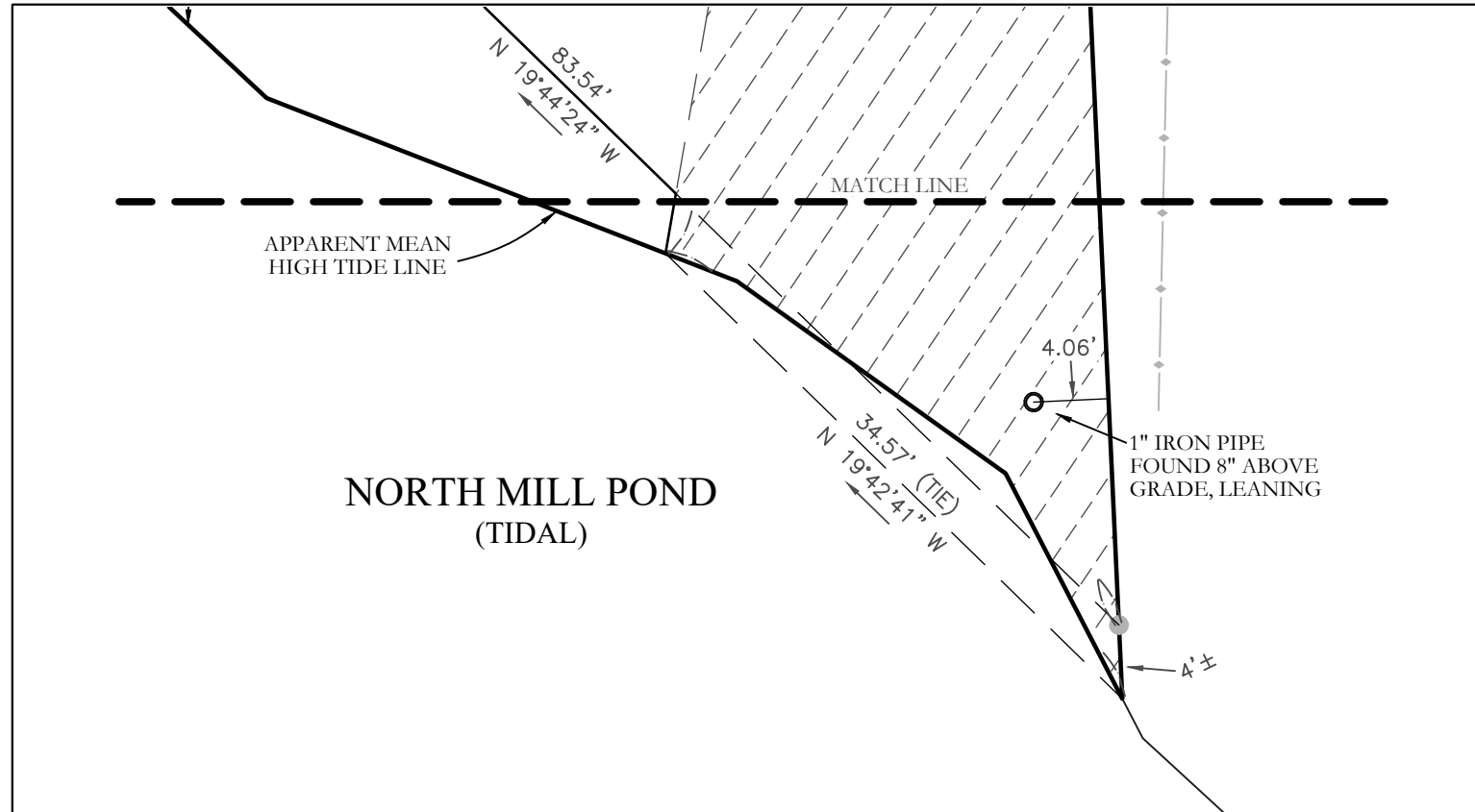
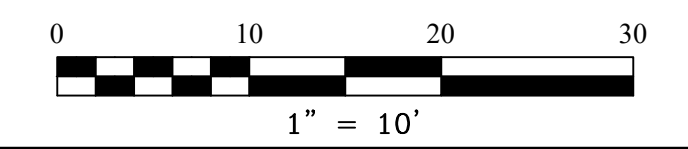
LOT COVERAGE	
LOT AREA (SF)	11,236.0
TOTAL PROPOSED BUILDING AREA (SF)	1,725.8
PROPOSED BUILDING COVERAGE	15.4%
ALLOWABLE BUILDING COVERAGE	25%



LOCATION MAP
SCALE: 1" = 400'

- NOTES:**
- REFERENCE: TAX MAP 140 LOT 3 R.C.R.D. BOOK 6450 PAGE 552 R.C.R.D. PLAN D-37444
 - TOTAL PARCEL AREA: 11,236 SQ. FT. OR 0.25 AC.
 - OWNER OF RECORD: SHAWN & MICHIO BARDONG 39 DEARBORN STREET PORTSMOUTH, NH 03801
 - ZONE: GRA - GENERAL RESIDENCE A DIMENSIONAL REQUIREMENTS:
 MINIMUM LOT AREA 7,500 SQ. FT.
 MINIMUM FRONTAGE 100 ft.
 MINIMUM FRONT SETBACK 15 ft.
 MINIMUM SIDE SETBACK 10 ft.
 MINIMUM REAR SETBACK 20 ft.
 MAXIMUM STRUCTURE HEIGHT 35 ft.
 - FIELD SURVEY PERFORMED BY S.D.B. ON 12/1/2022 USING A SPECTRA FOCUS 35 ROBOTIC TOTAL STATION. TRAVERSE ADJUSTMENT IS BASED ON THE COMPASS RULE METHOD OF ADJUSTMENT.
 - HORIZONTAL DATUM IS MAGNETIC BASED ON PLAN REFERENCE 1.
 - A PORTION OF THIS LOT FALLS WITHIN FLOOD ZONE AE AND ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM MAP NUMBER 33015C0259F, EFFECTIVE DATE JANUARY 29, 2021.
 - VIEW EASEMENT FOR THE BENEFIT OF TAX MAP 140 LOT 4, TO REMAIN FREE OF ALL TEMPORARY OR PERMANENT STRUCTURES INCLUDING BUT NOT LIMITED TO SHEDS, BUILDINGS, EQUIPMENT, VEHICLE STORAGE OR PARKING, OR OTHER SIMILAR OBSTRUCTIONS OF THE VIEW CORRIDOR.
 - TIDAL WETLANDS AND HIGHWATER REFERENCE LINE WERE DELINEATED BY PATRICK D. SEEKAMP, P.W.S., C.W.S. OF SEEKAMP ENVIRONMENTAL CONSULTING.
 - THE INTENT OF THIS PLAN IS TO SHOW A BUILDING ADDITION IN REFERENCE TO THE BOUNDARY OF RECORD.

- PLAN REFERENCES:**
- PLAN TITLED "LOT LINE RELOCATION PLAN FOR JOHN J. & CATHERINE PAUSON AND HAROLD C. & ASTRID LOUISE PASSER, 12-28 DENNETT STREET" DATED NOVEMBER 30, 1983, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, R.C.R.D. PLAN D-12123.
 - PLAN TITLED "BOUNDARY LINE ADJUSTMENT FOR MICHAEL J. & DIANE REGAN, MAPLEWOOD AVENUE, PORTSMOUTH, NH" DATED SEPT. 1997, PREPARED BY EMERY ENGINEERING, R.C.R.D. PLAN C-27772.
 - PLAN TITLED "PLAN OF LAND PREPARED FOR MICHAEL BRANDZEL & HELEN LONG" DATED OCTOBER 1, 2012, PREPARED BY THIS OFFICE, R.C.R.D. PLAN D-37444.



SITE PLAN
LAND OF
SHAWN & MICHIO BARDONG
(TAX MAP 140 LOT 3)
39 DEARBORN STREET
PORTSMOUTH, NH

DRAWN BY: SDB	DATE: JANUARY 10, 2023
CHECKED BY: ARB	DRAWING NAME: 22039B2
JOB NAME: 22039	SHEET: C1

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