

**PLANNING BOARD  
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS  
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

**7:00 PM Public Hearings begin**

**April 21, 2022**

**AGENDA**

**REGULAR MEETING 7:00 PM**

**I. APPROVAL OF MINUTES**

A. Approval of March 17, 2022 minutes.

**II. PUBLIC HEARINGS -- OLD BUSINESS**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.*

*If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

- A. REQUEST TO POSTPONE** The request of **Donald Lowell Stickney III (Owner)**, for property located at **213 Jones Avenue** requesting Conditional Use Permit under section 10.814 of the Zoning Ordinance and modification of the standards set forth in Sections 10.814.40 or 10.814.52 through 10.814.56, to construct a new single family residence and convert the existing residence into a Detached Accessory Dwelling Unit totaling 886 square feet of living area. Said property is shown on Assessor Map 222 Lot 69 and lies within the Single Residence B (SRB) district. (LU-22-34) **REQUEST TO POSTPONE**
- B.** The request of **Nerbonne Family Revocable Trust (Owner)**, for property located at **189 Gates Street** requesting a Conditional Use Permit under section 10.815 of the Zoning Ordinance and modification of the standards set forth in Section 10.815.30 for the conversion of an existing accessory structure (garage) into a garden cottage with 507 gross square footage of living space. Said property is shown on Assessor Map 103 Lot 6 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-30)

### III. PUBLIC HEARINGS – NEW BUSINESS

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- A. The request of **Society for the Protection of NH Forests (Owner)**, for property located at **400 Little Harbor Road** requesting a Wetland Conditional Use Permit under Section 10.1017 of the Zoning Ordinance for the installation of new public bathrooms resulting in 303 S.F. of permanent impacts for the building and 275 S.F. of temporary impact to the 100 ft wetland buffer area. Said property is located on Assessor Map 203 Lot 8 and lies within the Rural (R) District. (LU-22-31)
- B. The request of **ADL 325 Little Harbor Road Trust (Owner)**, for property located at **325 Little Harbor Road** requesting Wetland Conditional Use Permit under Section 10.1017 of the Zoning Ordinance to replace the existing single family structure, carriage house, shed, barn, and paddock; construct a garage, pool, pool cabana playground; and renovate the existing barn and shed with all associated electric, gas, water, and sewer updates as required on private property and within the public right of way resulting in 195,656 S.F. of impact in the tidal buffer area and 17, 189 S.F. of temporary impact to in the tidal wetland area. Said property is shown on Assessor Map 205 Lot 2 and is located within the Rural (R) and Single Residence A (SRA) Districts. (LU-22-23)
- C. The request of **Sharolyn McDermith (Owner)**, for property located at **1054 Banfield Road** requesting Wetland Conditional Use Permit under Section 10.1017 of the Zoning Ordinance to increase the amount of building in the buffer by 270 S.F. for the breezeway and 72 S.F. for the garage for a total building in size increase of 342 S.F. Said property is located on Assessor Map 283 Lot 38 and lies within the Single Residence A (SRA) District. (LU-22-5)
- D. The request of **Charles Dudas (Owner)**, for property located at **32 Monteith Street** requesting a Conditional Use Permit under Section 10.814 of the Zoning Ordinance for the construction of an Attached Accessory Dwelling Unit totaling 576 S.F. in gross floor area. Said property is located on Assessor Map 143 Lot 22 and lies within the General Residence A (GRA) district. (LU-22-44)

### IV. DESIGN REVIEW APPLICATION – PUBLIC HEARING

- A. The request of **One Market Square LLC (Owner)**, for the property located at **1 Congress Street** requesting Design Review approval to partially demolish existing buildings and construct a new 3 story structure with a short 4th story. Said property is shown on Assessor Map 117 Lot 14 and lies within Character District 4 (CD-4), Character District 5 (CD-5) and the Historic District. (LUPD-22-6)

**V. PRELIMINARY CONCEPTUAL CONSULTATION**

- A. The request of **EightKPH LLC (Owner)**, for property located at **161 Deer Street** *to be known as 88 Maplewood Avenue* requesting Preliminary Conceptual Consultation for the demolition of the existing one story commercial building and the construction of a four story building with a pent house. Said property is shown on Assessor Map Lot and lies within the Character District 5 (CD5). (LUPD-22-7)

**VI. DESIGN REVIEW APPLICATION ACCEPTANCE**

- A. The request of **EightKPH LLC (Owner)**, for property located at **161 Deer Street** *to be known as 88 Maplewood Avenue* requesting Preliminary Conceptual Consultation for the demolition of the existing one story commercial building and the construction of a four story building with a pent house. Said property is shown on Assessor Map Lot and lies within the Character District 5 (CD5). (LUPD-22-7)

**VII. OTHER BUSINESS**

- A. Review and discuss presentation on Land Use Committee Existing Conditions and Strategy Report and Regulatory Amendment Work Plan

**IX. ADJOURNMENT**

[https://us06web.zoom.us/webinar/register/WN\\_5IX\\_TyQHRZC3TZwMPpUqig](https://us06web.zoom.us/webinar/register/WN_5IX_TyQHRZC3TZwMPpUqig)



City of Portsmouth  
Planning Department  
1 Junkins Ave, 3<sup>rd</sup> Floor  
Portsmouth, NH  
(603)610-7216

## Memorandum

To: Planning Board  
From: Beverly Mesa-Zendt, Incoming Planning Director  
Stefanie L. Casella, Planner  
Date: April 14, 2022  
Re: Recommendations for the April 21, 2022 Planning Board Meeting

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### I. APPROVAL OF MINUTES

#### Planning Department Recommendation

*Board members should determine if the draft minutes include all relevant details for the decision making process that occurred at the March 17, 2022 meeting, and vote to approve meeting minutes with edits if needed.*

*\*Please note that minutes for the Special Meeting on March 30, 2022 will be provided and available for approval at the May Planning Board Meeting\**

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## II. PUBLIC HEARINGS -- OLD BUSINESS

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that issue should be raised at this point or it will be deemed waived.*

- A. **REQUEST TO POSTPONE** The request of **Donald Lowell Stickney III (Owner)**, for property located at **213 Jones Avenue** requesting Conditional Use Permit under section 10.814 of the Zoning Ordinance and modification of the standards set forth in Sections 10.814.40 or 10.814.52 through 10.814.56, to construct a new single family residence and convert the existing residence into a Detached Accessory Dwelling Unit totaling 886 square feet of living area. Said property is shown on Assessor Map 222 Lot 69 and lies within the Single Residence B (SRB) district. (LU-22-34) **REQUEST TO POSTPONE**

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### Planning Department Recommendation

- 1) *Vote to postpone consideration to the May Planning Board Meeting*

**II. PUBLIC HEARINGS – OLD BUSINESS**

*The Board’s action in these matters has been deemed to be quasi-judicial in nature.*

*If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.*

- B.** The request of **Nerbonne Family Revocable Trust (Owner)**, for property located at **189 Gates Street** requesting a Conditional Use Permit under section 10.815 of the Zoning Ordinance and modification of the standards set forth in Section 10.815.30 for the conversion of an existing accessory structure (garage) into a garden cottage with 507 gross square footage of living space. Said property is shown on Assessor Map 103 Lot 6 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-30)

**Project Review, Decisions, and Recommendations**

This application went before the Zoning Board of Adjustment on March 15, 2022. Please see below for more information. The project will go before the Historic District Commission on May 4, 2022.

**Staff Review | Garden Cottage Standards 10.815.30**

Different from an Accessory Dwelling Unit, a Garden Cottage that complies with the standards of Section 10.815 is otherwise exempt from the residential density standards of the Zoning Ordinance (e.g. minimum lot area per dwelling unit). Garden Cottages comply the standards in Section 10.815.30 (below). In granting a conditional use permit for a garden cottage, the Planning Board may modify a specific dimensional or parking standard set forth in Section 10.815.30 consistent with the required findings in Section 10.815.40.

**Staff Review and Analysis**

<b>Required Standards (10.815.30)</b>	<b>Meets Standard</b>	<b>Does Not Meet Standard</b>	<b>Comments</b>
10.815.31. The existing accessory building shall not be expanded either vertically or horizontally, other than through the addition of a front entry not to exceed 50 sq. ft., or a side or rear deck not to exceed 300 sq. ft.		√	Modification Requested (see below) 192 SF proposed
10.815.32 The garden cottage shall not be larger than 600 sq. ft. gross floor area.	√		Total 507 SF
10.815.33 A garden cottage that is within the required yard for the zoning district shall not have any windows or doors higher than eight feet above grade facing the adjacent property.	√		The right side elevation that encroaches the required setback will have no windows or doors.

Required Standards (10.815.30)	Meets Standard	Does Not Meet Standard	Comments
T10.815.34. The principal dwelling unit and the garden cottage shall not be separated in ownership (including by condominium ownership); and either the principal dwelling unit or the garden cottage shall be occupied by the owner of the property.	√		Required condition per zoning ordinance.
Where municipal sewer service is not provided, the septic system shall meet NH Water Supply and Pollution Control Division requirements for the combined system demand for total occupancy of the premises.	√		Property is on municipal water service.

Request for Modifications:

The applicant requests following modification to 10.815.31 pursuant to Section 10.815.50 of the Zoning Ordinance as follows:

The applicant is proposing a 192 SF addition where 50 SF is allowed.

Staff Analysis

Staff recommends approval of the modification for the following reasons:

1. The total 192 SF expansion seems reasonable to create a livable space for a new dwelling unit and combined with the existing area meets the total limitation of 600 SF established in the ordinance at 507 SF.
2. The total expansion does not exceed the 350 SF expansion footprint contemplated in the ordinance.
3. Adequate space for off-street parking is still available on site.

Zoning Board of Adjustment (BOA)

At its March 15<sup>th</sup> BOA meeting, the Board considered the following variance requests:

1. Variances from Section 10.521 to allow a) 35.5% building coverage where 30% is the maximum allowed; and
2. 1' right side yard where 10' is the minimum.

The Board voted to grant the request approving the revised plan without the deck with a 4' right side yard and 31% building coverage.

The plans as submitted to the Planning Board have incorporated the above revisions.

Note: A request for rehearing was received on April 14, 2022. This item will go before the BOA on May 17, 2022.

Planning Board Review Criteria

In order to grant a conditional use permit for a Garden Cottage, the Planning Board must first make the following findings (Sec. 10.815.40):

Required Findings (10.815.40).	Applicant Analysis
1. Exterior design of the Garden Cottage is consistent with the existing single-family dwelling on the lot.	<i>Exterior siding, trim, windows and details are consistent with the existing dwelling. The garage was renovated in 1998 to complement the newly renovated house. The elevation drawings and photos on dwg. 3 of 3 clearly show this.</i>
2. The site plan provides adequate open space, landscaping and off-street parking for both the Garden Cottage and the primary dwelling.	<i>The garden cottage with the addition and deck is located to have minimal impact on the existing +/- 1 B00sf landscaped rear yard. This is shown on dwg. 1 of 3. The existing driveway will not change &amp; can easily accommodate 3 vehicles.</i>
3. The Garden Cottage will maintain a compatible relationship to adjacent properties in terms of location and design, and will not significantly reduce the privacy of adjacent properties.	<i>The garden cottage will have no windows on the right side and the deck will have just 6' of exposure to that right side. At the rear, the adjacent property is the Point of Graves Cemetery and the proposed addition to the garden cottage will break up the existing blank wall at the rear of the garage. At the left side the garden cottage is more than 30ft away from the adjacent property. All of the attached drawings&amp; photos help to illustrate this.</i>
4. The Garden Cottage will not result in excessive noise, traffic or parking congestion.	<i>There is adequate parking for the garden cottage (dwg. 1 of 3) and the family oriented residential use will not result in excessive noise.</i>

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**Planning Department Recommendations**

- 1) *Vote to grant a modification to the requirements set forth in section 10.815.31 to allow for an expansion that includes a 192 SF addition.*
  - 2) *Vote to find that the application meets the requirements set forth in Section 10.815.40 of the Zoning Ordinance and to grant the Conditional Use Permit with the following stipulation.*
    - *Any change, required as part of the Historic District Commission review and approval, that results in a change to the stipulations approved here or any change that is not substantially compliant with the approved Conditional Use Permit, as determined by the Planning Director, shall be resubmitted to the Planning Board for review and approval.*
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### III. PUBLIC HEARINGS – NEW BUSINESS

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- A. The request of **Society for the Protection of NH Forests (Owner)**, for the property located at **400 Little Harbor Road** requesting a Wetland Conditional Use Permit under Section 10.1017 of the Zoning Ordinance for the installation of new public bathrooms resulting in 303 S.F. of permanent impacts for the building and 275 S.F. of temporary impact to the 100 ft wetland buffer area. Said property is located on Assessor Map 203 Lot 8 and lies within the Rural (R) District. (LU-22-31)

#### Project Review, Decisions, and Recommendations

This application has been before the Conservation Commission. Please see below for more information. The Planning Director has waived review by the Technical Advisory Committee for the following reasons.

1. The Public Works Department was satisfied with the existing drainage plan.
2. The applicant certified that the site had sufficient septic capacity for the proposed use.

#### Conservation Commission

The Conservation Commission reviewed the application at the March 9, 2022 meeting. See below for analysis of criteria as stated in Section 10.1017.50 Of the Zoning Ordinance.

*1. The land is reasonably suited to the use activity or alteration.*

The proposed project is to construct a new exterior bathroom facility for users of the site. The new building is proposed partially within the wetland buffer with 303 square feet of permanent impacts for the building and 275 square feet of temporary impact for the work around the building. The location is previously disturbed and the new building is on the far side of the existing building with only a portion in the buffer. Therefore, this appears to be a reasonable location for this structure.

*2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

According to the applicant this is the most appropriate location for the new structure due to on-site ledge and longer runs of utility lines.

*3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.*

The proposed structure will result in a new building in the buffer where there is currently gravel adjacent to a parking lot. Given the structure is proposed with a stone drip edge the impact from the new structure (if adequate erosion protections are provided) should be less than or equal to the existing condition.

*4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.*

The new construction on the site is proposed in a previously disturbed area with just lawn and gravel. There is no impact to the natural vegetation or managed woodland proposed with this project.

*5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.*

The proposed building will not create new impacts for the wetland as designed.

*6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.*

The applicant is proposing to restore the disturbed area by replacing the lawn. Staff recommends the applicant consider the addition of plantings inside the property line in the area closest to the wetland to

enhance wetland buffer habitat and provide additional water filtration for stormwater runoff from the lawn area.

The Commission voted unanimously to recommend approval of the Wetland Conditional Use Permit to the Planning Board with the following stipulations:

1. Plant blueberry bushes or other native shrubs along the buffer area near the wetland edge.
  2. Maintain property according to NOFA standards.
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**Planning Department Recommendations**

- 1) *Vote to find that the application satisfies the criteria set forth in Section 10.1017.50 of the Zoning Ordinance*
- 2) *Vote to grant the Wetland Conditional Use permit with the following stipulations:*
  - a. *Blueberry bushes or other native shrubs are planted along the buffer area near the wetland edge.*
  - b. *Property is maintained according to NOFA standards.*

### III. PUBLIC HEARINGS – NEW BUSINESS

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- B.** Request of **ADL 325 Little Harbor Road Trust (Owner)**, for property located at **325 Little Harbor Road** requesting Wetland Conditional Use Permit under Section 10.1017 of the Zoning Ordinance to replace the existing single family structure, carriage house, shed, barn, and paddock; construct a garage, pool, pool cabana playground; and renovate the existing barn and shed with all associated electric, gas, water, and sewer updates as required on private property and within the public right of way resulting in 195,656 S.F. of impact in the tidal buffer area and 17, 189 S.F. of temporary impact to in the tidal wetland area. Said property is shown on Assessor Map 205 Lot 2 and is located within the Rural (R) and Single Residence A (SRA) Districts. (LU-22-23)

#### **Project History**

The Planning Board, at its regularly scheduled meeting of Thursday, January 27, 2022, approved a Conditional Use Permit for the conversion of an existing accessory structure (formerly caretaker's home) into a Detached Accessory Dwelling Unit with a gross floor area of 1,300 square feet of gross floor area with the following stipulations:

1. The applicant can demonstrate the availability of sewer or approved onsite septic or septic holding tank approved by NHDES prior to Building Permit issuance.
2. The applicant will add a note on the plans and record an affidavit at the registry that states this DADU will be the only accessory dwelling unit on the property.

#### **Project Review, Decisions, and Recommendations**

This application has been before the Technical Advisory Committee and the Conservation Commission. Please see below for more information.

#### **Technical Advisory Committee**

Although this project did not meet the thresholds under which Site Plan review would be required per Section 1.2 of the Site Plan Review Regulations, the Planning Director asked that this project be reviewed by the Technical Advisory Committee to discuss proposed infrastructure work in the public right-of-way, and fire service.

At their meeting April 8 2022, the Technical Advisory Committee approved the project with the following stipulations:

#### **Item to be addressed before Planning Board submittal:**

1. Sewer force main has more than one high point. Should be designed and stamped by design engineer. Plan to accommodate high points and air relief.

#### **Items to be addressed before construction:**

1. Confirm high points in force main does not require air release valve for air entrapment.

The above conditions have been satisfied in the updated submission provided to the Board.

#### **Conservation Commission**

The Conservation Commission reviewed the application at the March 9, 2022 meeting. See below for analysis of criteria as stated in Section 10.1017.50 Of the Zoning Ordinance.

*1. The land is reasonably suited to the use activity or alteration.*

The proposed project reviewed in November of 2021 was approved by the Conservation Commission. The proposed changes to the project include work in the 100' tidal buffer zone to repair the bridge. This request is reasonable as it is necessary to safely access the island.

*2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

With regard to the new impacts not yet reviewed in this application this is the only way to access the island, therefore, this location is reasonable.

*3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.*

The bulk of the impacts not yet reviewed by the Conservation Commission are located on an island. There is work proposed in the access road to the island and in Little Harbor Road. Those impacts are under the existing roadbed or shoulder and should not cause new impacts if erosion control measures are installed and monitored during project construction.

*4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.*

In addition to the impacts for the pool and home construction there are a great deal of impacts which serve to enhance the tidal buffer zone and upland areas on the island. The applicant is working with a detailed land management plan to control invasive species and provide an extensive planting plan which should result in a net enhancement to the vegetative state and managed woodland on the property.

*5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.*

The Conservation Commission previously approved the extensive work to construct the house, caretaker house, swimming pool and associated pool house in addition to the extensive landscaping work. While there is a great deal of disturbance for the overall project, the reduction in invasive species and planned enhancement to the natural and landscaped areas and overall reduction of impervious surfaces result in a reduction of impacts.

*6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.*

The applicant is proposing to restore and extensive invasive species removal and buffer enhancement planting plan.

The Commission voted 4 in favor and 3 opposed to recommend approval of the Wetland Conditional Use Permit to the Planning Board.

Some of the concerns were the amount of impact from the house and a better location could be found with less buffer impact. Those voting for mentioned all of the beneficial landscaping components, the net reduction of impervious surfaces and removal of the septic system from the buffer.

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**Planning Department Recommendations**

- 1) *Vote to find that the application satisfies the criteria set forth in Section 10.1017.50 of the Zoning Ordinance*
- 2) *Vote to grant the Wetland Conditional Use Permit as presented.*

### III. PUBLIC HEARINGS – NEW BUSINESS

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- C. Request **Sharolyn McDermith (Owner)**, for property located at **1054 Banfield Road** requesting Wetland Conditional Use Permit under Section 10.1017 of the Zoning Ordinance to increase the amount of building in the buffer by 270 S.F. for the breezeway and 72 S.F. for the garage for a total building in size increase of 342 S.F. Said property is located on Assessor Map 283 Lot 38 and lies within the Single Residence A (SRA) District. (LU-22-5)

#### **Project Review, Decisions, and Recommendations**

This application has been before the Conservation Commission. Please see below for more information.

#### **Conservation Commission**

The Conservation Commission reviewed the application at the February 9, 2022 meeting. See below for analysis of criteria as stated in Section 10.1017.50 Of the Zoning Ordinance.

*1. The land is reasonably suited to the use activity or alteration.*

The proposed project is to expand the size of the breezeway and garage. The proposed plan will increase the amount of building in the buffer by 270 square feet for the breezeway and 72 square feet for the garage for a total building in size increase of 342 square feet. While this is all new work in the buffer the proposal is to remove the asphalt for the area of work so there will be a reduction in paved surface by the same amount or 342 square feet. The balance, if constructed properly, will amount to a small net improvement where pavement which currently accommodates automobiles will be replaced by roof surface.

*2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

Almost the entire property is within the 100' wetland buffer therefore there is no location outside of the buffer that is feasible for this work.

*3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.*

This project does not show an erosion control plan or how the construction will be accomplished. If the applicant installs adequate erosion control measures the site should not be impacted by this project.

*4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.*

The new construction on the site is proposed completely in a developed area. There is no impact to the natural vegetation or managed woodland proposed with this project.

*5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.*

The construction portion of the project could be seen as a net benefit given the impervious is going from driveway or asphalt pavement to roof surface.

*6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.*

The applicant is proposing to restore a significant area of the buffer by replacing lawn with shrubs. This area is at the edge of the wetland and could provide habitat and potential water filtration for stormwater runoff from the lawn area.

The Commission voted unanimously to recommend approval of the Wetland Conditional Use Permit to the Planning Board with the following stipulations:

1. The applicant will add new plantings along the fence closest to the wetland in addition to those shown at the front of the property.
2. The applicant will install appropriate erosion control measures during construction.
3. The applicant will follow NOFA standards for lawn care in the wetland buffer
4. The applicant will provide a planting plan showing the spacing, type and location of the new plantings.
5. The applicant will show the location of the drywell on the plans.

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**Planning Department Recommendations**

- 1) *Vote to find that the application satisfies the criteria set forth in Section 10.1017.50 of the Zoning Ordinance*
- 2) *Vote to grant the Wetland Conditional Use permit with the following stipulations:*
  - a) *The applicant will add new plantings along the fence closest to the wetland in addition to those shown at the front of the property.*
  - b) *The applicant will install appropriate erosion control measures during construction.*
  - c) *The applicant will follow NOFA standards for lawn care in the wetland buffer*
  - d) *The applicant will provide a planting plan showing the spacing, type and location of the new plantings for review by Staff.*
  - e) *The applicant will show the location of the drywell on the plans for review by Staff.*

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- D. The request of **Charles Dudas (Owner)**, for property located at **32 Monteith Street** requesting a Conditional Use Permit under Section 10.814 of the Zoning Ordinance for the construction of an Attached Accessory Dwelling Unit totaling 576 S.F. in gross floor area. Said property is located on Assessor Map 143 Lot 22 and lies within the General Residence A (GRA) district. (LU-22-44)

**Project History**

32 Monteith is a 30,644 SF lot with a single family home. This property requested a Wetland Conditional Use Permit by Planning Board on June 18, 2020 for the removal of an existing garage and the construction of new garage, addition, and deck. This approval was granted a 1-year extension on June 17, 2021.

Applicant has revised plans to add an ADU above the proposed garage and expanded footprint outside of the wetland buffer area. This expansion will require relief from the Zoning Ordinance for side yard encroachment.

**Project Review, Decisions, and Recommendations**

The application will be before the Board of Adjustment on April 19, 2022. More information is provided below.

**Staff Review**

Attached accessory dwelling units must comply with standards set forth in the following sections of the Zoning Ordinance:

- 10.814.10
- 10.814.20
- 10.814.30
- 10.814.40

In granting a conditional use permit for an accessory dwelling unit, the Planning Board may modify a specific standard set forth in Sections 10.814.40 (below) including requiring additional or reconfigured off-street parking spaces, provided that the Board finds such modification will be consistent with the required findings in Section 10.814.60.

Required Standards (10.814.40)	Meets Standard	Does Not Meet Standard	Comments
10.814.41 An interior door shall be provided between the principal dwelling unit and the accessory dwelling unit.	√		The second floor of the ADU would be accessed by an interior stairwell that connects the garage to the existing house.

Required Standards (10.814.40)	Meets Standard	Does Not Meet Standard	Comments
10.814.42 The accessory dwelling unit shall not have more than two bedrooms and shall not be larger than 750 sq. ft. gross floor area. For the purpose of this provision, gross floor area shall not include existing storage space, shared entries, or other spaces not exclusive to the accessory dwelling unit	√		The proposed accessory structure provides one bedroom and is 576 SF.
10.814.43 Any exterior changes to the single-family dwelling shall maintain the appearance of a single-family dwelling. If there are two or more doors in the front of the dwelling, one door shall be designed as the principal entrance and the other doors shall be designed to appear to be secondary.	√		The principal entrance is clearly identifiable. The AADU entrance is located as a side entrance.
10.814.44 No portion of the AADU shall be closer to the front lot line than the existing front wall of the principal dwelling unit.	√		Proposed garage is set back 26 ft. from principal façade.
10.814.451 An exterior wall of the AADU that faces a street on which the lot has frontage shall comprise no more than 40 percent of the total visible façade area of the dwelling as seen from that street.	√		Substantial compliance achieved when the garage wall is counted towards the total visible façade of the building.
10.814.452 The addition to or expansion of the existing single-family dwelling may include an increase in building height only as an upward expansion of the existing principal building with no increase in building footprint.		√	The accessory unit is a proposed 576 SF addition and part of a larger renovation project.
10.814.453 The building height of any addition or expansion that includes an increase in building footprint shall be less than the building height of the existing principal building.	√		New garage with accessory unit does not exceed the height of the existing principal structure.
10.814.454 The AADU shall be architecturally consistent with the existing principal dwelling through the use of similar materials, detailing, roof pitch, and other building design elements.	√		The proposed addition is harmonious with the principal structure in materials and is not readily discernable from the principal dwelling.

Staff Analysis

Staff recommends approval of the modification for the following reasons:



1. The total 576 SF expansion for the AADU seems reasonable to create a livable space for a new dwelling unit and does not exceed the total limitation of 750 SF established in the ordinance.
2. Adequate space for off-street parking is still available on site.
3. The proposed AADU, as presented is compatible with the principal dwelling in design and materials.

Board of Adjustment

An application for the following will be before the Board of Adjustment at their meeting scheduled for April 19, 2022.

1. Variance to the Portsmouth Zoning Ordinance 10.521: Dimensional Standards 10' Minimum Side Yard Dimension to allow for a 8' side yard setback.

Staff will provide an update on the application before the Board of Adjustment at the Planning Board meeting on April 21, 2022.

Planning Board Review Criteria

Before granting a conditional use permit for an attached or detached ADU, the Planning Board shall make the following findings (10.814.60):

<b>Required Findings (10.814.60)</b>	<b>Applicant Analysis</b>
10.814.61 Exterior design of the ADU is consistent with the existing principal dwelling on the lot.	<i>The ADU will be architecturally consistent with principal dwelling unit.</i>
10.814.62 The site plan provides adequate and appropriate open space, landscaping and off-street parking for both the ADU and the primary dwelling.	<i>Response: The site plan shows the garage/ADU structure with open space around it particularly to the south and east to the back yard. The location of the garage/ADU structure allows for landscaping around all non-driveway sides of it. The site plan shows a driveway large enough for 4 cars and includes a 2-car garage for a total of 6 off-street parking for both the ADU and primary dwelling.</i>
10.814.63 The ADU will maintain a compatible relationship to adjacent properties in terms of location, design, and off-street parking layout, and will not significantly reduce the privacy of adjacent properties.	<i>Response: We worked closely with an architect to ensure the design of the ADU is compatible with the primary dwelling and fits with the character of the neighborhood. Off street parking shall be provided as noted above. The location of the ADU does not significantly reduce the privacy of the adjacent property.</i>
10.814.64 The ADU will not result in excessive noise, traffic or parking congestion.	<i>Response: The ADU is attached to the primary dwelling and excessive noise from the ADU would not be tolerated by the homeowners (us). The site plan indicates a driveway large enough for 4 cars which allows for off street parking for the ADU and will not cause traffic or parking congestion.</i>

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Planning Department Recommendations

- 1) Vote to grant a modification to the requirements set forth in section 10.814 to allow for an expansion that includes a 576 SF addition.
  - 2) Vote to find that the application meets the requirements set forth in Section 10.814.60 of the Zoning Ordinance and to grant the Conditional Use Permit as presented.
-

#### IV. DESIGN REVIEW – PUBLIC HEARING

- A. The request of **One Market Square LLC (Owner)**, for the property located at **1 Congress Street** requesting Design Review approval to partially demolish existing buildings and construct a new 3 story structure with a short 4<sup>th</sup> story. Said property is shown on Assessor Map 117 Lot 14 and lies within Character District 4 (CD-4), Character District 5 (CD-5) and the Historic District. (LUPD-22-6)

Description

This item is a request for Design Review under the Site Plan Review Regulations. Under the State statute ([RSA 676:4,II](#)), the Design Review phase is an opportunity for the Planning Board to discuss the approach to a project before it is fully designed and before a formal application for Site Plan Review is submitted. The Design Review phase is not mandatory and is nonbinding on both the applicant and the Planning Board.

Although the State statute calls this pre-application phase “design review,” it does not encompass review of architectural design elements such as façade treatments, rooflines and window proportions. Rather, it refers to site planning and design issues such as the size and location of buildings, parking areas and open spaces on the lot; the interrelationships and functionality of these components, and the impact of the development on adjoining streets and surrounding properties.

The process as outlined in Section 2.4.3 of the Site Review regulations is that the Board first has to determine that the request for design review includes sufficient information to allow the Board to understand the project and identify potential issues and concerns, and, if so, vote to accept the request and schedule a public hearing. Completion of the design review process also has the effect of vesting the project to the current zoning provided the project application is submitted within 12 months.

Design review discussions must take place in a public hearing. At the conclusion of the public hearing process, the Board makes a determination that the design review process for the application has ended.

In accordance with Section 2.4.3 (1-4) of the Site Review regulations, on the January 27, 2022 meeting of the Planning Board, the Planning Board voted to accept the request for design review and to schedule a public hearing, finding that the proposal included sufficient information to allow the Board to understand the project and identify potential issues and concerns. Once the application has been accepted by the Planning Board, the following sections are applicable.

Site Plan Review Regulations – Article 2, Section 2.4.3: Design Review Phase

1. *The applicant may request to meet with the Board for nonbinding discussions of a potential application that involve more specific design and engineering details than in the preliminary conceptual consultation phase.*
2. *A request for design review accompanied by all plans and exhibits shall be submitted to the Planning Department at least 14 days prior to the date of a scheduled meeting of the Board via the City’s online permitting system as well as in hard copy. The total number of hard copies required shall be determined by the Planning Director.*
3. *The request for design review shall include enough of the information listed in Section 2.5.3(1) and plans displaying enough of the information listed in Section 2.5.4(3) so that the Board is able*

*to review the project. Detailed engineering of infrastructure and utilities are not required at the design review phase, but the information listed in Section 2.5.4(3) should be displayed in sufficient detail to enable the Board to understand the proposed project and identify potential issues and concerns.*

*4. At a regular meeting of the Planning Board, the Board shall determine if the request for design review includes sufficient information to allow the Board Site Plan Review Regulations 6 November 2020 to understand the project and identify potential issues and concerns, and shall vote on whether to accept the request for design review and to schedule a public hearing. If the Board determines that the request does not describe the proposed project in sufficient detail, it shall notify the applicant of the specific deficiencies that need to be addressed.*

*5. Design review discussions shall take place in a public hearing at a regularly scheduled meeting of the Planning Board, after notice to abutters, holders of conservation, preservation, or agricultural preservation restrictions, and the general public as required by State statute.*

*6. At any public meeting of the Planning Board, the Board may determine that the design review process of an application has ended and shall inform the applicant in writing within 10 days of such determination.*

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**Planning Department Recommendations**

*Planning Board should review relevant sections of the Zoning Ordinance and Site Plan Review Regulations with the applicant.*

*At the closure of discussion, vote to find the design review process is complete.*

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**V. PRELIMINARY CONCEPTUAL CONSULTATION**

- A. The request of **EightKPH LLC (Owner)**, for property located at **161 Deer Street** to be known as **88 Maplewood Avenue** requesting Preliminary Conceptual Consultation for the demolition of the existing one story commercial building and the construction of a four story building with a pent house. Said property is shown on Assessor Map Lot and lies within the Character District 5 (CD5). (LUPD-22-7)

**Description**

The applicant has provided a set of preliminary plans for discussion with the Board.

As authorized by NH [RSA 676:4,II](#), the Site Plan Regulations require preliminary conceptual consultation for certain proposals, including (1) the construction of 30,000 sq. ft. or more gross floor area, (2) the creation of 20 or more dwelling units, or (3) the construction of more than one principal structure on a lot. Preliminary conceptual consultation precedes review by the Technical Advisory Committee.

Preliminary conceptual consultation is described in the state statute as follows:

*[Preliminary conceptual consultation]... shall be directed at review of the basic concept of the proposal and suggestions which might be of assistance in resolving problems with meeting requirements during final consideration. Such consultation shall not bind either the applicant or the board and statements made by planning board members shall not be the basis for disqualifying said members or invalidating any action taken. The board and the applicant may discuss proposals in conceptual form only and in general terms such as desirability of types of development and proposals under the master plan.*

The preliminary conceptual consultation phase provides the Planning Board with an opportunity to review the outlines of a proposed project before it gets to detailed design (and before the applicant refines the plan as a result of review by the Technical Advisory Committee and public comment at TAC hearings). In order to maximize the value of this phase, Board members are encouraged to engage in dialogue with the proponent to offer suggestions and to raise any concerns so that they may be addressed in a formal application. Preliminary conceptual consultation does not involve a public hearing, and no vote is taken by the Board on the proposal at this stage. Unlike Design Review, completion of Preliminary Conceptual Consultation does not vest the project to the current zoning.

*Site Plan Review Regulations Article 2 Section 2.4.2: Preliminary Conceptual Consultation Phase*

*1. The applicant may request a meeting with the Planning Board to discuss a proposal in conceptual form. The preliminary conceptual consultation phase is mandatory for a site plan that meets any of the following criteria: Site Plan Review Regulations 5 November 2020*

- (a) Includes the construction of 30,000 square feet or more gross floor area;*
- (b) Includes the creation of 20 or more dwelling units;*
- (c) Includes the construction of more than one principal structure on a single parcel.*

*2. A request for preliminary conceptual consultation accompanied by all plans and exhibits shall be submitted to the Planning Department at least 14 days prior to the date of a scheduled meeting of the Board via the City's online permitting system and in hard copy. The total number of hard copies required shall be determined by the Planning Director.*

3. Preliminary conceptual consultation may occur only at formal meetings of the Planning Board. However, such discussions shall not be the subject of a public hearing, and formal notice of abutters and the public shall not be required.

4. Preliminary conceptual consultation shall be directed at review of the basic concept of the proposal and suggestions that might be of assistance in resolving problems with meeting requirements during final consideration. The Board and the applicant may discuss proposals in conceptual form only and in general terms such as the desirability of the proposed development type, scale, intensity and layout under the Master Plan.

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#### **Planning Department Recommendations**

The Board and the applicant should discuss proposals in conceptual form only and in general terms such as the desirability of the proposed development type, scale, intensity and layout under the Master Plan. Assistance should be given to the applicant to help resolve problems in meeting city requirements.

Board members should review section 2.4.2 Preliminary Conceptual Consultation Phase of the [Site Plan Regulations](#).

Board members should review sections of the [Zoning Ordinance](#) that may apply to this application. Possible sections may include but are not limited to:

- SECTION 10.520 RESIDENTIAL AND MIXED RESIDENTIAL DISTRICTS
  - SECTION 10.5A40 CHARACTER DISTRICT DEVELOPMENT STANDARDS
  - SECTION 10.1110 OFF-STREET PARKING
  - SECTION 10.1130 LANDSCAPING AND SCREENING
-

## VI. DESIGN REVIEW – APPLICATION ACCEPTANCE

- A. The request of **EightKPH LLC (Owner)**, for property located at **161 Deer Street to be known as 88 Maplewood Avenue** requesting Preliminary Conceptual Consultation for the demolition of the existing one story commercial building and the construction of a four story building with a pent house. Said property is shown on Assessor Map Lot and lies within the Character District 5 (CD5). (LUPD-22-7)

This item is a request for Design Review under the Site Plan Review Regulations. Under the State statute ([RSA 676:4,II](#)), the Design Review phase is an opportunity for the Planning Board to discuss the approach to a project before it is fully designed and before a formal application for Site Plan Review is submitted. The Design Review phase is not mandatory and is nonbinding on both the applicant and the Planning Board.

Although the State statute calls this pre-application phase “design review,” it does not encompass review of architectural design elements such as façade treatments, rooflines and window proportions. Rather, it refers to site planning and design issues such as the size and location of buildings, parking areas and open spaces on the lot; the interrelationships and functionality of these components, and the impact of the development on adjoining streets and surrounding properties.

The process as outlined in Section 2.4.3 of the Site Review regulations is that the Board first has to determine that the request for design review includes sufficient information to allow the Board to understand the project and identify potential issues and concerns, and, if so, vote to accept the request and schedule a public hearing. Completion of the design review process also has the effect of vesting the project to the current zoning provided the project application is submitted within 12 months.

Design review discussions must take place in a public hearing. At the conclusion of the public hearing process, the Board makes a determination that the design review process for the application has ended.

### *Site Plan Review Regulations – Article 2, Section 2.4.3: Design Review Phase*

- 1. The applicant may request to meet with the Board for nonbinding discussions of a potential application that involve more specific design and engineering details than in the preliminary conceptual consultation phase.*
- 2. A request for design review accompanied by all plans and exhibits shall be submitted to the Planning Department at least 14 days prior to the date of a scheduled meeting of the Board via the City’s online permitting system as well as in hard copy. The total number of hard copies required shall be determined by the Planning Director.*
- 3. The request for design review shall include enough of the information listed in Section 2.5.3(1) and plans displaying enough of the information listed in Section 2.5.4(3) so that the Board is able to review the project. Detailed engineering of infrastructure and utilities are not required at the design review phase, but the information listed in Section 2.5.4(3) should be displayed in sufficient detail to enable the Board to understand the proposed project and identify potential issues and concerns.*
- 4. At a regular meeting of the Planning Board, the Board shall determine if the request for design review includes sufficient information to allow the Board Site Plan Review Regulations 6 November 2020 to understand the project and identify potential issues and concerns, and shall vote on whether to accept the request for design review and to schedule a public hearing. If the*

*Board determines that the request does not describe the proposed project in sufficient detail, it shall notify the applicant of the specific deficiencies that need to be addressed.*

*5. Design review discussions shall take place in a public hearing at a regularly scheduled meeting of the Planning Board, after notice to abutters, holders of conservation, preservation, or agricultural preservation restrictions, and the general public as required by State statute. ...*

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**Planning Department Recommendations**

*Board members should identify if the submitted materials are adequate for Design Review Consideration*

*If submitted materials are sufficient, vote to find that Design Review application is complete and to schedule the public hearing to take place at the April 21, 2022 Planning Board meeting.*

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## VI. OTHER BUSINESS

### A. Review and discuss presentation on Land Use Committee Existing Conditions and Strategy Report and Regulatory Amendment Work Plan.

On February 7, 2022, the City Council established the Land Use Committee to look at diversifying land use regulations within the City. The purpose of the Committee is to review all current zoning and policies surrounding housing and development to encourage sustainable, diverse, and affordable development including expanded multi model transportation. The Land Use Committee is charged with reporting back to the City Council on recommended alterations to the zoning and existing policies along with any new zoning or policies to be considered important to furthering the City's Goals. Members include:

- City Councilor/Chair Beth Moreau,
- City Councilor Rich Blalock,
- Rick Chellman, Planning Board Chair
- Corey Clark, Planning Board Vice Chair
- Beverly M. Zendt, Planning Director
- Nick Cracknell, Principal Planner
- Craig Welch, Executive Director, Portsmouth Housing Authority
- Economic Development Commissioner, Sarah LaChance

As part of the first package of amendments, the Land Use Committee has focused on advancing the citywide housing goals identified by City Council in their 2022-2023 Goals. These objectives were refined on February 27, 2022 and include:

1. Increase diversity of housing types and price points;
2. Remove regulatory barriers for housing diversification in neighborhoods (ADUS) – context sensitive design and consideration to impacts to traffic, on street parking and other infrastructure impacts;
3. Restructure incentives to deliver greater public benefit in workforce housing construction; and
4. Identify and maximize partnerships, coalitions, and funding opportunities to deliver affordable housing.

#### **Existing Conditions and Strategy Report**

The Existing Conditions and Strategy Report (**Attachment A**) will be used to inform regulatory amendments that will be developed and recommended for adoption by Land Use Committee and the Planning Board consistent with the City Council adopted goals of diversifying and enhancing the supply of housing choices in Portsmouth. The report includes the following:

- Summary of adopted Master Plan goals and City Council adopted policies related to housing;
- State requirements for workforce housing;
- Data regarding city approvals over the past seven years related to housing;
- Summary of existing housing types; and
- Summary of city cost burden for renters and owners.

#### **Regulatory Amendment Work Plan**

On April 9, 2022, the Land Use Committee approved transmittal of the draft 2021 Regulatory Amendment Work Plan to City Council (Attachment B). The work plan consists of three phases:



1. **Phase 1: Code Clean-Up**  
*Purpose: Improve regulatory implementation and align with legislative intent. Eliminate ambiguous sections that result in unintended consequences.*
2. **Phase 2: Accessory Dwelling Unit Amendments**  
*Purpose: Remove barriers and expand the number of eligible properties for ADUs and Senior Housing Facilities.*
3. **Phase 3: Incentive Amendments**  
*Purpose: Adjust incentives to place a higher emphasis on Workforce Housing.*

The work plan includes evaluation of proposed amendments for alignment with existing Master Plan goals, City Council adopted goals (2022-2023) and City Council adopted policies (Housing Policy). The work plan further identifies stakeholders and focus group members to be included in public outreach. Both Phase 2 and Phase 3 will include a public input summary which will identify key themes and concerns. Public involvement strategies will target those most impacted by regulatory changes and subject matter experts.

**Land Use Committee Recommendation and Council Action**

The Land Use Committee is seeking approval of the 2022 Regulatory Amendment Work Plan and is asking the City Council to transmit phase one draft regulation amendments to the Planning Board for review and a recommendation. Upon Planning Board Recommendation, City Council will schedule the first reading of Phase 1 amendments.

Phase 1 Amendments include the following:

1. **Building Height Map.** Section 10.5A21B: Add new streets, add building heights for civic and municipal properties and modify building heights. Correct the reference to 10.5A46.
2. **Building Height Standards.** Section 10.5A21B: Clarify the standards for corner, through or waterfront lots
3. **Civic Districts.** Section 10.5A52.40: Apply the CD4 development standards to civic properties
4. **Definitions.** Section 10.153: Add definitions for public places and modify building height to be based on existing versus finished grade.

Full proposed amendments are provided in **Attachment B**.

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**X. ADJOURNMENT**

**REGULAR MEETING  
PLANNING BOARD  
PORTSMOUTH, NEW HAMPSHIRE**

**EILEEN DONDERO FOLEY COUNCIL CHAMBERS  
CITY HALL, MUNICIPAL COMPLEX, 1 JUNKINS AVENUE**

**7:00 PM**

**March 17, 2022**

**MINUTES**

**MEMBERS PRESENT:** Rick Chellman, Chairman; Corey Clark Vice Chair; Karen Conard, City Manager; Ray Pezzulo, Assistant City Engineer; Beth Moreau; Peter Harris; Jane Begala; James Hewitt; Franco DiRienzo, Alternate; Andrew Samonas, Alternate

**ALSO PRESENT:** Beverly M. Zendt, Planning Director; Peter Britz, Environmental Planner; Stefanie Casella, Planner 1

**MEMBERS ABSENT:** Greg Mahanna  
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**I. APPROVAL OF MINUTES**

A. Approval of the February 17, 2022 minutes.

Chairman Chellman commented that Mr. DiRienzo would sit in for Mr. Mahanna tonight.

City Council Representative Moreau moved to approve the minutes from the February 17, 2022, minutes as amended, seconded by Mr. Clark

Mr. Hewitt commented that he questioned about taking attendance not Mr. Mahanna. Also, the shadow study that was requested for the 2 Russell St. application was referring to the whole site not just the community space. Mr. Hewitt noted that he commented on the trees for the 230 Commerce Way application and thinking about it more he would have requested that the project also go to the Trees and Greenery Committee. Mr. Hewitt did not say it at the time but would have liked to. Mr. Chellman commented that Mr. Hewitt did not mention the Committee at the time, so that was not an edit to the minutes. That can be addressed when the application returns.

Chairman Chellman noted that he had a couple edits from Mr. Mahanna. The first is that Mahanna is spelled with two N's. Also, Mr. Mahanna has personally never done business with the Green and Company and Port Harbor application developers. That needs to be corrected.

The motion passed unanimously.

Chairman Chellman commented that he had a request to consider VII. Other Business Item A out of order.

City Manager Conard moved to take VII. Other Business Item out of order, seconded by Vice Chairman Clark. The motion passed unanimously.

City Council Representative Moreau moved to grant a 1 – year extension of the 163 Sparhawk Conditional Use Permit, seconded by City Manager Conard. The motion passed unanimously.

## **II. DETERMINATIONS OF COMPLETENESS**

### **SUBDIVISION REVIEW**

- A. The request of **Cate Street Development (Owner)**, for property located at **428 US Route 1 Bypass, 406 US Route 1 Bypass, and 55 Cate St** requesting Subdivision Review approval for a lot line adjustment.

City Council Representative Moreau moved to determine that this application is complete according to the Subdivision Regulations, (contingent on the granting of any required waivers under Section III and IV of the agenda) and to accept the applications for consideration, seconded by Vice Chairman Clark. The motion passed unanimously.

### **SITE PLAN REVIEW**

- A. The request of **238 Deer Street, LLC, (Owner)**, for property located at **238 Deer Street**, requesting Site Plan Review approval.

City Council Representative Moreau moved to determine that this application is complete according to the Site Plan Review Regulations, (contingent on the granting of any required waivers under Section III and IV of the agenda) and to accept the applications for consideration, seconded by Vice Chairman Clark. The motion passed unanimously.

Mr. Harris questioned what the status for parking was for this application. Chairman Chellman commented that this was just for the determination of completeness. That means there is enough information for the discussion. They did not make a decision on any items in that package, and would have a discussion later in the agenda.

- B. The request of **Cate Street Development (Owner)**, for property located at **406 US Route 1 Bypass**, requesting Site Plan Review approval.

City Council Representative Moreau moved to determine that this application is complete according to the Site Plan Review Regulations, (contingent on the granting of any required waivers under Section III and IV of the agenda) and to accept the applications for consideration, seconded by Vice Chairman Clark. The motion passed unanimously.

### III. PUBLIC HEARINGS -- OLD BUSINESS

*The Board's action in these matters has been deemed to be quasi-judicial in nature.*

*If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.*

- A. The request of **Cate Street Development (Owner)**, for property located at **406 US Route 1 Bypass**, requesting amended Site Plan Review approval to reconfigure and expand parking on Tax Map 172 Lot 2, Tax Map 172 Lot 1, and Tax Map 165 Lot 2 to contain 73 new spaces (52 covered); to renovate the existing structure on Tax Map 172 Lot 2; and to add a bioretention stormwater facilities, stormwater collection and treatment facilities on Tax Map 172 Lot 1 and Map 165 Lot 2. Said properties are shown on Assessor Map 172 Lot 1, Map 172 Lot 2, and Map 165 Lot 2 and lie within the Gateway Corridor (G1) District. (LU-22-7)

### SPEAKING TO THE APPLICATION

Gregg Mikolaities from August Consulting Jay Bisognano, John Bosen, and Rick Lundborn and Scott Lamontange were present to speak to the application. Mr. Mikolaities commented that the West End Yards were acquired in 2017 and the project was approved in September 2019. Part of the approval process was a land transfer to create Hodgson Way. At the time West End Yards was going through the permitting process the vacant car dealership was not part of the project. It was a separate lot that was approved in 2017 for a brew pub and restaurant. When the retail building was permitted there were not tenants at the time, so the parking calculations were based on theoretical tenants. Tonight, they have letters of intent for retail tenants for 95% of buildings C and D. They cannot disclose the tenants except for Buffalo Wild Wings. There will be another restaurant on the east side of the site. There is a large corporation tenant based in Portsmouth that will take the top floor and part of the bottom. Now they can calculate the actual parking that is needed. The leases have not been signed yet. This has been through TAC. That's why here tonight. The ordinance states that apartments under 500 sf only need half space, but in reality, this location is closer to 1 space. That's driving the need as well. The minimum calculation for this site is 556 spaces, and that's what was approved. Tonight, they are asking for 622 spaces. The maximum allowed is 668 spaces. The plan has now incorporated retail building D, which is the vacant dealership. It is now integrated into the project. They have also approached the railroad to purchase property to create head in parking. TAC requested covered parking in that area. People will not be able to see the parking without the cover, but they agreed to the covered parking.

Chairman Chellman commented that they said 622 spaces in the presentation, but the plans showed 624 spaces. Mr. Mikolaities responded that they lost 2 because of the parking structure. Mr. Lundborn confirmed that the covered parking area reduced the spaces from 52 spaces to 50. Chairman Chellman requested clarification on whether or not the changes were all in the red outline on the plan. Mr. Mikolaities confirmed that was correct. TAC asked for clarification on parking allocation, so they created a color plan. There will not be designated parking, but the colored plan helps to clarify allocation.

Ms. Begala requested more information on the open space now that the plan includes the former pet zone and the asphalt space is growing larger. Mr. Lundborn responded that the pet zone and grass adjacent to it will stay. Ms. Begala questioned where the residential buildings were. Mr. Lundborn responded that the apartments were in buildings A and B. There is a nice courtyard in the middle between them. Mr. Mikolaities responded that they were not asking for lot coverage. The site far exceeds the green space requirements, and they were not asking for more building coverage. Building A is fully occupied and building B is leasing now. Pending a positive outcome tonight they will secure retail leases and hope to fill those buildings this summer and fall.

Mr. Hewitt commented that he had hard time figuring out how much additional parking they were requesting. Mr. Lundborn responded that they were requesting 120 spaces. 56 of the spaces will go with the building, 50 spaces will go along the railroad, and then there will be some tandem spaces. Some were associated with a previous retail use that has been vacant for years. Mr. Hewitt questioned if there were any tenants that did not own a car. Mr. Bisognano responded that there were not. Mr. Hewitt commented that when this was approved in 2019, they were assuming that there would be 35 people in the development who would not own a car. Mr. Bisognano responded is that the reality is they do own cars. Mr. Hewitt commented that it was sobering to see how far off this was from the City's parking ordinance calculations. At the TAC meeting they were requesting 2 spaces for units above 750 sf, but now they were asking for 1.5 spaces. Mr. Mikolaities responded that they were not asking for any relief. They were just asking for the midpoint. It is shared parking, and they prepared a plan in color to show a rough allocation. Covid has changed things too. People are commuting less. The situation is different from when they designed it. The Veridian is successful and fully leased and the ordinance calculation was right on. Mr. Hewitt commented that he was trying to understand why the calculation was so far off. Mr. Mikolaities responded that they leased building one and realized they needed more parking. They always wanted the front building, but at the time of permitting the owner wasn't willing to sell it.

Chairman Chellman clarified that they were not proposing any changes outside of the red outline. Mr. Mikolaities confirmed that was correct. Chairman Chellman questioned if the bond for the initial approval had been released. Mr. Mikolaities responded that it had not. Chairman Chellman questioned if there were any conditions of prior approval that would not let it be released. Mr. Mikolaities responded that Underwood Engineers were reviewing the site work for that. Chairman Chellman commented that he just wanted the Board to understand that in addition to the ordinance comments.

Vice Chairman Clark questioned if the only changes outside of this additional lot were the tandem spaces. Mr. Mikolaities responded that it also included that row of head in parking on the acquired land. Vice Chairman Clark clarified that the the preexisting lot just added the tandem spaces. Mr. Mikolaities confirmed that was correct. Vice Chairman Clark questioned if this would be revised for the AOT permit as well. Mr. Mikolaities confirmed that was correct. Vice Chairman Clark questioned where the snow storage was shifted. Mr. Bisognano responded that they would haul it off site if they got too much. Vice Chairman Clark questioned what the reasoning behind the covered parking was and if it would cause an issue with snow falling on the

cars. Mr. Mikolaities responded that the snow would not be an issue. They pushed back on the covered parking request. They did view lines on the site and that land is tucked back in. Staff wanted to break up that parking for the railroad view corridor.

Mr. Hewitt questioned if they had evidence to support their need for additional parking. Mr. Bisognano responded that any resident that comes into the development has to state if they have a vehicle and how many. They also required the retailers to state how many parking spaces they need. They have the data and that is why they are here. Mr. Hewitt commented that he did not want them to come back in a year asking for another 100 spaces. Mr. Bisognano responded that there was no way they could practically do that. Mr. Hewitt requested that the applicants send the Board their data. Mr. Bisognano confirmed they would.

Vice Chairman Clark noted that one of the comments they got was about the feasibility of making the covered parking structure capable of housing stacked parking if more was needed in the future. Vice Chairman Clark questioned if that was feasible. Mr. Bisognano responded that in order for lift systems to run smoothly and safely they need a 24-hour attendant. As a practical matter that would not be possible in this location.

Ms. Begala commented that she agreed with point 7 in notes, which talks about how this parking layout conflicts with the Master Plan's vision. This is a sea of asphalt. This is not walkable or a good quality of life for any of the neighbors around there. It's also confusing about how many spaces the Board was voting on tonight. Mr. Mikolaities responded that comment was from the past TAC comments that have already been addressed. The first time around they did a poor job incorporating building D into the site. That TAC comment was to make more walkable connections, so they added a driveway, crosswalk and sidewalk to connect building C to building D. Ms. Begala requested clarification on how many parking spaces they were talking about. Mr. Lundborn responded that they were talking about a total of 120 spaces. There are 56 spaces that go with building D, which was the previous car dealership. Then 50 spaces along the rail road and 11 tandem spaces. That adds up to 127 spaces. However, they eliminated 7 previously approved spaces to make site connections. That leaves 120 spaces.

Mr. DiRienzo questioned if the tandem spots would be designated. Mr. Lundborn confirmed they would be designated for residents that have 2 cars.

Mr. Samonas questioned if it was possible to not allow the leasing tenants of building B to have a car. Mr. Bisognano responded that they could require that they don't have a vehicle. However, then tenants either won't lease the unit or they will park in the neighborhood illegally. The data is real. People have vehicles. If they did not allow cars, then they would have vacant buildings.

Chairman Chellman commented that the maneuvering aisles were 20 feet wide, but the ordinance states they should be 24 feet wide. Mr. Lundborn responded that they were allowed a reduction for a one way. Chairman Chellman questioned if TAC reviewed and approved that. Mr. Lundborn confirmed they did.

Mr. Hewitt questioned if the current impervious was 67% of the site. Mr. Lundborn responded that he did not know off the top of his head, however, there was a reduction from the original properties to today. They do not exceed the allowed impervious.

Chairman Chellman clarified that there were 56 spaces on the front lot and a net of 64 spaces in the because a few of the original spaces out. That makes 120 spaces total. Mr. Lundborn confirmed that was correct.

## **PUBLIC HEARING**

Elizabeth Bratter of 159 McDonough St. commented that she appreciated that this developer was being more realistic about the parking. People like to have cars. The shared parking is overflowing because more people are working from home. They should enclose the parking structure and make it high enough to be able to allow for stacked parking. There is other stacked parking in Portsmouth. They need a professional to set it up and provide enough clearance.

John Chagnon from Ambit Engineering questioned if they were dealing with the lot line application at this point. Chairman Chellman responded that was next on the agenda.

Chairman Chellman asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

## **DISCUSSION AND DECISION OF THE BOARD**

Vice Chairman Clark questioned if they were voting on the subdivision application at this time. City Manager Conard responded that they did not move to hear the agenda items together and vote on them separately, so that would be voted on in the next agenda item.

Vice Chairman Clark moved to grant Site Plan Approval, seconded by City Council Representative Moreau with the following conditions:

### Conditions Precedent

- 1.1 Temporary easements will be needed for construction. Temporary easement language and area (to be identified on the plan) are to be obtained along eastern and western boundary lines in order to begin construction of the foundation.
- 1.2 A Construction Management and Mitigation Plan will be required to address, at minimum, access and use of the municipal ROW to construct the building, and proposed staging areas. Heavy machinery staging and access shall be from Deer St.
- 1.3 The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 1.4 Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 1.5 The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.
- 1.6 Engineer of record shall be established prior to issuance of building permit for the purpose of satisfying condition 1.h.

1.7 Correct existing conditions plans to show 2” water service from water main to the valve and 1” water service from the valve to the building.

Conditions Subsequent

1.8 The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;

1.9 A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City’s Planning and Public Works Departments.

1.10 Applicant will report back to Planning Director in one (1) year regarding how the resident/visitor parking needs are being met and if the approved parking plan is adequately addressing all the uses on the site.

Vice Chairman Clark commented that parking is an obvious issue anywhere in the City. People who are going for this development are the ones that want to have cars. They are sacrificing living downtown and electing to have a car. That makes sense. It is good to see that they are incorporating this additional lot because it was a weird cut out in the site development. Overall, it is a better site in the end.

City Council Representative Moreau commented that she had been reviewing the plan since beginning. It is disheartening to see that they need more parking. That was not what they envisioned because they wanted to encourage a walkable City with less cars. The pandemic ruined that because people are staying home more and need a car. As a land use committee, they need to look at the parking regulations. City Council Representative Moreau commented that she had no issues with the parking plan.

Mr. Hewitt questioned if they could include a stipulation to have the developers submit a report on the traffic that justifies the parking needs. The report should include the square footage of the apartments, number of beds, number of cars, and number of occupants. Chairman Chellman commented that the developers said they had a report that they could submit and questioned if that would suffice. Mr. Hewitt confirmed that would work. Vice Chairman Clark and City Council Representative Moreau agreed to the amendment.

The motion passed unanimously.

- B. The request of **Cate Street Development LLC (Owner)**, and **Boston and Maine Corp (Owner)**, for properties located at **428 US Route 1 Bypass, 406 US Route 1 Bypass, and 55 Cate St** requesting Preliminary and Final Subdivision approval (Lot Line Revision) to convey 31,187 square feet from Map 165 Lot 14 to Map 172 Lot 2, Map 172 Lot 1 and Map 165 Lot 2 which will result in a total of 52,820 square feet lot area for Map 172 Lot 2, 126,500 square feet lot area for Map 172 Lot 1, and 260,789 square feet lot area for Map 165 Lot 2. Said properties are shown on Assessor Map 172 Lot 1, Map 172 Lot 2, Map 165 Lot 2, and Map 165 Lot 14 and lie within the Transportation Corridor (TC) and the Gateway Corridor (G1) District. (LU-22-7)

**SPEAKING TO THE APPLICATION**



Mr. Mikolaities commented that they discussed this above when talking about the front lot and land from the railroad. They have a purchase and sale in hand and if they receive a positive vote tonight, then the sale will occur prior to the end of April.

## **PUBLIC HEARING**

John Chagnon from Ambit Engineering commented that he did some work for the flooding that occurred at the Old Frank Jones Brewery on Islington St. There is a large culvert pipe under the railroad. All of the drainage from the parking runs into a collection system in that goes to a culvert that drains to the Bypass. The prior owner agreed to let them clean it out and allow the water to flow. Mr. Mikolaities confirmed that they were doing a similar easement, so it was all set.

Chairman Chellman asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

## **DISCUSSION AND DECISION OF THE BOARD**

Vice Chairman Clark moved to grant Preliminary and Final Subdivision Approval, seconded by City Council Representative Moreau with the following stipulations:

- 1 Lot numbers as determined by the Assessor shall be added to the final plat.
- 2 Property monuments shall be set as required by the Department of Public Works prior to the filing of the plat.
- 3 GIS data shall be provided to the Department of Public Works in the form as required by the City.
- 4 The final plat and all easement deeds shall be recorded concurrently at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.

The motion passed unanimously.

Chairman Chellman commented that they had two applications that were requesting postponements on tonight's agenda. The Board should take them out of order and postpone them.

City Council Representative Moreau moved to take IV Public Hearings – New Business Item B. 213 Jones Ave. and IV Public Hearings – New Business Item C 189 Gates St. out of order, Vice Chairman Clark. The motion passed unanimously.

City Council Representative Moreau moved to postpone IV Public Hearings – New Business Item B. 213 Jones Ave. to the April Planning Board Meeting, seconded by Vice Chairman Clark. The motion passed unanimously.

City Council Representative Moreau moved to postpone IV Public Hearings – New Business Item C 189 Gates St. to the April Planning Board Meeting, seconded by Vice Chairman Clark. The motion passed unanimously.

#### **IV. PUBLIC HEARINGS – NEW BUSINESS**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.*

*If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.*

- A.** The request of **238 Deer Street, LLC, (Owner)**, for property located at **238 Deer Street**, requesting Site Plan Review approval for demolition of the existing structure and the construction of a new 3-4 story mixed-use building with 21 residential units with a footprint of 5,263 +/- s.f. and 19,190 s.f. gross floor area with associated site improvements. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts. (LU-20-238)

#### **SPEAKING TO THE APPLICATION**

John Chagnon from Ambit Engineering and Mark Gianinny from McHenry Architects spoke to the application. This was formally the VFW Hall and is now the Staley Bar and Grill. The project has been going through the approval process for some time. On February 18, 2021, the Planning Board granted a CUP that would allow them to not provide any parking on site. They were granted some variances from the BOA and have received approval from HDC. The project is to provide 21 micro units in the downtown. They will replace the building that is there now. There will be a no build easements for the western abutter 30 Maplewood Ave. and another easement to allow for parking movement for the other abutters. There is another easement plan that shows the public pedestrian easement areas. They will create a wider pedestrian alley between the buildings and extend it up to the front of the building. There will be 5 bike racks on the exterior and the plan will incorporate some landscaping. The current building will be replaced with a code compliant HDC approved 21-unit micro housing building. Parking for 30 Maplewood Ave. will remain. They agree to all of the stipulations.

Mr. Hewitt questioned what the square footage of the apartments would be. Mr. Chagnon responded that they were all under 500 sf.

Mr. Harris questioned what the status of the parking stipulation was. Mr. Chagnon responded the parking CUP was approved with two conditions. The applicant understands the conditions must be met prior to the issue of a building permit. Without approval for the site, it is hard to go out and secure leased parking spots. They have made some inquiries but there was nothing official to report yet. They are aware that the conditions need to be met before the issuance of a building permit.

Ms. Begala questioned if there was a backup plan if they find tenants have a car. Mr. Chagnon responded that the plan included a draft of the lease provision. It states that the landlord and tenant would work to ensure they had a designated off-street parking location. The landlord would provide off street options and the tenant would choose where they want to park. Then the

cost of the off-site parking space will become part of the rent. It is still applicable if a car is attained after the lease is signed.

City Council Representative commented that lease agreement was her requirement. The landlord has to take responsibility to solve the problem if the tenant has a car. Chairman Chellman questioned if City Council Representative Moreau was satisfied with the language in the lease. City Council Representative Moreau confirmed she was.

Ms. Begala commented that it was a great idea because they don't want another developer coming back to request more parking. This allows the tenants to decide if they want a car or not. It is in a more walkable area.

Chairman Chellman agreed that there was a big difference in locations between this application and the last one. The location is a highly walkable area and people will not need cars as much. The reverse can happen if parking is required. People can tend to have cars in an area where they may not have if parking is provided.

Ms. Zendt commented that the lease and off-street parking agreement and conditions were part of the original approval and must be completed prior to the issuance of a building permit. They will be fully enforced.

Mr. Chagnon commented that current patrons of establishments and employees are using the parking garage which is close and walkable.

Mr. DiRienzo noted that the apartments were studios and questioned if there would be a one-person limit. Mr. Gianinney responded that they will be one-bedroom apartments but there will be no limit. The maximum would probably be 2 people based on the size.

## **PUBLIC HEARING**

Elizabeth Bratter of 159 McDonough St. commented that her biggest concern was that it abuts a neighborhood that was in a pilot of neighborhood parking program. This should not fall through the cracks. The parking conditions should be clear, and someone should be babysitting the lease. The Planning Board has made it clear that this is an experiment. Ms. Bratter would like to be reassured that this would be monitored. Otherwise, the overflow could be parking in the adjacent neighborhood because it is free and the garage costs money.

Charles Dye of the 30 Maplewood Ave. condo association commented that the applicants did a spectacular job working with their immediate neighbor. They had some concerns with drainage and the applicants worked through those problems. They were in support of the project. A year ago, the condo sent the Boards a letter saying that they supported the project. There is a parking lot that has been striped, and they did not have any interest in housing construction vehicles in it. They should house them on the Deer St. side.

Chairman Chellman asked if anyone was present from the public wishing to speak to, for, or against the petition. Seeing no one rise, the Chair closed the public hearing.

## **DISCUSSION AND DECISION OF THE BOARD**

City Council Representative Moreau commented that their stipulations should include a 1 year parking report to understand how many tenants had cars and how it was working. Chairman Chellman questioned if that report would go to the Board. City Council Representative Moreau responded that it would go to staff.

Chairman Chellman questioned if they needed to add a stipulation about the construction equipment location. Vice Chairman Clark commented that there was a condition that said temporary easements were needed for construction, so whether or not those are granted is up to the abutter. Ms. Zendt noted that they could add it as a consideration to be added to the construction mitigation plan. They should look to stage from Deer St. They need the whole perimeter for construction. The condition can be added to B. City Council Representative Moreau agreed that the heavy equipment could be staged on Deer St.

City Council Representative Moreau moved to grant Site Plan Approval, seconded by Vice Chairman Clark with the following conditions:

### Conditions Precedent

- 1.1 Temporary easements will be needed for construction. Temporary easement language and area (to be identified on the plan) are to be obtained along eastern and western boundary lines in order to begin construction of the foundation.
- 1.2 A Construction Management and Mitigation Plan will be required to address, at minimum, access and use of the municipal ROW to construct the building, and proposed staging areas. Heavy machinery staging and access shall be from Deer St.
- 1.3 The site plan and any easement plans and deeds shall be recorded at the Registry of Deeds by the City or as deemed appropriate by the Planning Department.
- 1.4 Any easement plans and deeds for which the City is a grantor or grantee shall be reviewed and approved by the Planning and Legal Departments prior to acceptance by City Council.
- 1.5 The Applicant or its engineer shall submit a copy of a completed Land Use Development Tracking Form using the Pollutant Tracking and Accounting Program (PTAP) online portal currently managed by the UNH Stormwater Center or similar form approved by the City.
- 1.6 Engineer of record shall be established prior to issuance of building permit for the purpose of satisfying condition 1.h.
- 1.7 Correct existing conditions plans to show 2” water service from water main to the valve and 1” water service from the valve to the building.

### Conditions Subsequent

- 1.8 The Engineer of Record shall submit a written report (with photographs and engineer stamp) certifying that the stormwater infrastructure was constructed to the approved plans and specifications and will meet the design performance;
- 1.9 A stormwater inspection and maintenance report shall be completed annually and copies shall be submitted to the City’s Planning and Public Works Departments.
- 1.10 Applicant will report back to Planning Director in one (1) year regarding how the resident/visitor parking needs are being met and if the approved parking plan is adequately addressing all the uses on the site.

Vice Chairman Clark commented that they looked at this for the parking over a year ago and felt at that time that they were going out on a limb for a unique project. City Council Representative Moreau commented that they want this to succeed because if it does, then it will be a good model.

Mr. Harris agreed and appreciated the report after one year. There is so much pressure on the neighborhoods surrounding downtown.

City Council Representative Moreau commented that they worked with the applicants and had a lot of input on the parking. Hopefully this lease agreement has addressed the concern.

Chairman Chellman commented that after a Board decision the applicant will get a written letter of decision and it becomes part of the record. Vincent Hayes is the City's Land Use Compliance Agent. It is his job to look at the conditions in the letter of decision and makes sure that they are all satisfied. They don't release the bond or building permit until the conditions are satisfied. There are a number of steps that happen after the Board makes a decision. Ms. Zendt commented that they will try to bring Mr. Hayes in to walk the Board through the process and explain what he looks at to understand and coordinate the implementation of stipulations provided.

Ms. Begala commented that it will be good to understand how the 21 units fill and what mix will have cars and where they are parking. That is important and they are appreciative of the developer working with the Board on this.

The motion passed unanimously.

- B. REQUEST TO POSTPONE** The request of **Donald Lowell Stickney III (Owner)**, for property located at **213 Jones Avenue** requesting Conditional Use Permit under section 10.814 of the Zoning Ordinance and modification of the standards set forth in Sections 10.814.40 or 10.814.52 through 10.814.56, to construct a new single family residence and convert the existing residence into a Detached Accessory Dwelling Unit totaling 886 square feet of living area. Said property is shown on Assessor Map 222 Lot 69 and lies within the Single Residence B (SRB) district. (LU-22-34) **REQUEST TO POSTPONE**

## **DISCUSSION AND DECISION OF THE BOARD**

This item was postponed earlier in the agenda.

- C. REQUEST TO POSTPONE** The request of **Nerbonne Family Revocable Trust (Owner)**, for property located at **189 Gates Street** requesting a Conditional Use Permit under section 10.815 of the Zoning Ordinance and modification of the standards set forth in Section 10.815.30 for the conversion of an existing accessory structure (garage) into a garden cottage with 546 gross square footage of living space. Said property is shown on

Assessor Map 103 Lot 6 and lies within the General Residence B (GRB) and Historic Districts. **REQUEST TO POSTPONE** (LU-22-30)

## **DISCUSSION AND DECISION OF THE BOARD**

This item was postponed earlier in the agenda.

- D.** The request of **Treadwell House Inc. (Owner)**, for property located at **70 Court Street** requesting a Conditional Use Permit under section 10.112.14 of the Zoning Ordinance to provide five (5) parking spaces where 11 are required. Said property is shown on Assessor Map 116 Lot 49 and lies within the Character District 4-L1 (CD4-L1) and Historic District. (LU-22-10)

## **SPEAKING TO THE APPLICATION**

Chairman Chellman noted that Mr. Samonas recused himself from the application.

John Bosen spoke to the application and noted that the applicant Andrew Samonas and engineer Eric Saari were in attendance. They are in the process of purchasing 70 Court St. It is currently an office building, and they plan to convert it to an 8-unit inn with a caretaker residence. They have obtained a special exception from The ZBA to operate as an Inn. They are here tonight seeking a CUP to provide 5 parking spaces where 11 is required. This is a historical building and many of its architectural features lend itself well to an inn. Presently there are 4 parking spaces on site. They will be expanding it to 5 spaces. The ordinance requires 11 but a parking demand analysis suggests 6 would be appropriate for the proposed use. They have met all of the approval criteria. The applicant believes that the street parking availability and access to neighboring lots mitigates the need to meet the required 11 spaces. The site is .2 miles from the Worth Lot and .3 miles from the Hanover St. garage. the Samonas family also owns an office building on Middle St. that could be used for parking if needed. There are also ride share options available too. This site is one block away from the Downtown Overlay where the parking requirement could be met. The applicant will be using remote check in, and guests will be provided access codes and parking options in advance. Not all guests will use cars. Ride share options can bring guests to Portsmouth.

Ms. Begala questioned how many spaces would be available in the building they owned next door. Mr. Bosen responded that the site plan will provide 5 spaces and the Samonas family has available parking 500 yards away. It can be utilized for overflow if no public options were available. There are 22 spaces in that lot. Chairman Chellman clarified that application does not include that property. Mr. Bosen confirmed that was correct. It is a small boutique inn. There is plenty of public parking in the vicinity. People will use uber and walk. Chairman Chellman commented that the advanced check in model will allow them to know how many cars were coming to the site. Mr. Bosen confirmed that was correct. It is a benefit to the advanced check in. They can notify guests of the public parking options and the overflow. Chairman Chellman clarified that the overflow was not part of this application. Mr. Bosen confirmed that was correct. It's an option but it is not part of this application.

City Council Representative Moreau commented that she was concerned because typically a tourist would have a car. It would be better to designate 3 additional spaces. Then they would have one space for each room. Some public parking options have limits or hours or days. It would be better to designate 3 spaces on the adjacent property in a covenant. Mr. Bosen confirmed the applicant was agreeable to that. Chairman Chellman questioned if the applicant was agreeable to an easement for that. Ms. Zendt commented that a recommended stipulation was to put up signage to mark those spaces as restricted for hotel parking. The dedicated spaces should be done through a parking covenant because it is one owner for both sites. Staff did not require this because it close to the Historic Overlay and 8 spaces do seem appropriately sized for the inn.

Ms. Begala questioned if the additional spaces were on the property next door. Mr. Bosen responded that they were not. They would be 500 yards away where Court St. and Middle St. intersect. Ms. Begala commented that most tourists will have a car, so 8 spaces should be and the parking covenant for 3 spaces should be required. Mr. Bosen confirmed they were willing to make that part of the condition of approval.

Mr. Harris agreed. There is the bus station, but they are not close enough to a major airport. Tourists will have cars. Mr. Bosen agreed.

Chairman Chellman requested a one-year report to see how this was doing and if it's adequate or needed at all. Mr. Bosen agreed.

## **PUBLIC HEARING**

Elizabeth Bratter 159 McDonough St. appreciated the covenant idea because the south end was already overflowing. The parking lots that are in walking distance are full in the summer 24 hours a day.

Chairman Chellman asked if anyone else was present from the public wishing to speak to, for, or against the petition. Seeing no one else rise, the Chair closed the public hearing.

## **DISCUSSION AND DECISION OF THE BOARD**

City Council Representative Moreau moved to grant a conditional use permit to allow a building or use to provide less than the minimum number of off-street parking spaces required by Section 10.1112.32 (five parking spaces on site), seconded by Vice Chairman Clark with the following stipulations:

- 1.1 Provide three additional parking spaces at 159 Middle St.
- 1.2 A parking covenant will be filed requiring three spaces located at 159 Middle St. to be restricted to the Inn use and signage be appropriately posted.
- 1.3 Applicant will report back to Planning Director in one (1) year regarding how the visitor parking needs are being met and if the approved parking plan is adequately addressing visitor and staff needs.

The motion passed unanimously.

## V. PRELIMINARY CONCEPTUAL CONSULTATION

- A. The request of **One Market Square LLC (Owner)**, for the property located at **1 Congress Street** for Preliminary Conceptual Consultation to partially demolish existing buildings and construct a new 3 story structure with a short 4<sup>th</sup> story. Said property is shown on Assessor Map 117 Lot 14 and lies within Character District 4 (CD-4), Character District 5 (CD-5) and the Historic District. (LUPD-22-6)

Tracy Kozak spoke to the presentation. They have started work sessions with the HDC. The presentation will provide a high overview of the project, the context and history of the site, and then discuss the civil engineering. The goal is to connect public spaces via pedestrian ways. The site is in Market Square on the corner of High St. and Congress St. and across from the North Church. The parking lot is in the back of structure. Historically the right side was a hotel that burned down in the 1960s. It has been parking ever since. The wooden shed structures will be removed. The addition on back will connect to the masonry structures that front Congress St. There will be underground parking with 19 spaces and a car elevator accessed off Haven Court. The ground level will all be retail and restaurant. They will be matching floor levels for 3 stories and have a short 4<sup>th</sup> story. The roof line is just under 45 feet. The plan shows a pedestrian bridge because it is being discussed, however, that is not part of the application. They will restore existing facades. It is currently modern storefronts, and they will bring back the historical features. They are proposing a new dormer on 3 Congress St. The wood structure will become the new primary entrance to this block. There will be other secondary entrances as well.

Terrence Parker from Terra Firma commented that they were trying to create a site experience. The alleyway can go all the way through the McIntyre and they were trying to create excitement in the alleyway. There could be glass partitions and a labyrinth with a wellness and mindfulness theme. There could be stone benches that create an amphitheater above Gilley's. The alleyway would be well lit with arches. There would be a series of interesting stairs up from Fleet St. Lamp posts with glass prism lanterns would illuminate the path. The building creates a wayfinding image then continues through the alley.

John Chagnon commented that the site plan set is broken into the site development and off site. There is frontage on Congress St. and it backs to Haven Court. Part of it is a private right of way owned by the applicant. Haven Court continues as an area the City owns down to Fleet St. It has been blocked off for many years. Currently the building occupies the majority of the property. The lots have been merged, so now it is one lot. The back lot is currently vacant. High St. is narrow with some parking on the other side. The sidewalks are an insufficient width on both sides. It is cluttered with electrical conduits, pipes, and other utilities. The demo plan shows that they will take some of those additions on the back of Congress St. and the pavement will be removed. The plan shows they will build an additional building on the back of the existing building. The main pedestrian entrance will be off Ladd St. It connects at Market St. and the commercial alley. Eventually the developer hopes to connect commercial alley to the Worth Lot. The next sheet shows the utilities. They will put in underground electric and are



working with DPW to replace the sewer and water on High St. There will not be a lot of changes to the grading on Haven Court. It is very active for deliveries and trash removal. They need to keep the alley available for deliveries. The connector pedestrian bridge would be above the travel area if it was built. They are looking at providing an alternative to a street level dumpster. It will most likely be loaded into the basement and taken out through the garage. They will take out the curbs at the street level and make it possible for vehicles and pedestrians to coexist. They looked at levels of the building and the parking garage to understand where they could connect. It would impact 2 spaces if they made the connection.

Mr. Hewitt commented that the building looked historical and traditional, but the prism and sky way were more modern. Mr. Hewitt questioned if the prism was a stairway. Ms. Kozak responded that they were not a habitable space. It would be used for displays or potentially to show images of historical items or other landmarks in town. As people approach from Ladd St. they will see that shape in direct proportion of the church's steeple. It faces due north so as the sun swings to south it casts a shadow that sweeps with the time of day like a clock and the steeple. It is all glassy and metal at that end and masonry with smaller windows on the other. It is telling a progression of time and evolution.

Ms. Begala commented that she loves the labyrinth and creativity. The plan says that there will be 32% open space. Ms. Begala questioned what that percentage referred to. Mr. Chagnon responded that the definition of open space includes walkways. Open space in downtown Portsmouth is different than rural areas. Ms. Begala commented that still did not add up to 32%. That is a large number. Mr. Chagnon responded that the lot was currently bifurcated by zoning. The current parking lot is CD-4 and the front is CD-5. Chairman Chellman commented that they were showing 32.6% for the north, so it could be a typo. Mr. Chagnon agreed. Chairman Chellman commented that 10% was required for CD-4 and 5% was required for CD-5. They do not have 32%. Chairman Chellman questioned if they had any idea what it might be. Mr. Chagnon responded that it was complicated because it was two different lots. The rough math shows it's about 20%.

City Council Representative Moreau commented that they did not need to show the detailed numbers until they come back for the site plan approval. The section for deliveries on High St. is active, so they need to make sure plenty of room. They should keep in mind how many deliveries will happen and if they can get in and around the site. They need to think a lot about lighting for the area of Haven Court. Removing the dumpster would be good. The grade change makes it hard to not include stairs but they should consider big wide steps to help people with strollers maneuver.

Mr. Samonas commented that it was an excellent idea to connect commercial alley to Gilley's and Vaughn Court. Mr. Samonas requested more detail on how the back side of the building would interact with the street and the garage style windows. Ms. Kozak responded that the whole first floor will be retail and restaurant. This style of window will roll all the way up to allow in fresh air in nice weather and not be in the way.

Ms. Begala commented that the maximum height of the building is 40 feet, but the plan said 45 feet. Ms. Begala questioned if the building was higher than the maximum height and if it would

be the highest building around Market Square. Ms. Kozak responded that the height applies to the back part of the parcel. The height question is under review. They submitted a variance request but that was postponed until the zoning was further clarified. They are matching the height of the building it's attached to exactly. The building across High St. is at least as tall if not a little higher. The other building is the parking garage, and they are aligning the third floor with the upper level of the garage. Ms. Begala commented that it should not be higher than the steeple of the North Church. Ms. Kozak responded that it was lower than the steeple.

Vice Chairman Clark commented that the flat top roof is measured differently than a gable and hip roof. The ordinance says that if it's a flat top roof then they should be measuring from the top. The main entrance is a good historical façade, but the proposed addition seems to be swallowing it up a little. They may want to look into breaking the addition up with different facades. The pedestrian access is a fantastic idea. One issue related to the open space is car the elevator and cars coming out onto that. If they are counting that as open space, then they really have to do that tactfully. It should go above and beyond the typical warnings to make pedestrians feel welcome.

Mr. Samonas commented that trees and landscaping could have a separator effect between the public space on Haven Court and the restaurant and retail space. Landscaping will provide a more aesthetically pleasing view than the back of a parking garage.

Chairman Chellman questioned if the building was chamfered to allow for vehicles. Ms. Kozak responded that it was more of a notch. It was not for vehicles. They don't see cars going up and down the alley. There may be some trash chutes and hand trucks but there would be a subterranean trash room that would come up the elevator and out that way. Chairman Chellman questioned if they have studied the pedestrian connection had been tested to see if it was possible. Ms. Kozak responded that they have tested the height, size, and mass to see if a truck could go under it and if it was ADA accessible. They envision that the public could use the walkway to access the building's amenities. Chairman Chellman commented that he was personally opposed to pedestrian bridges because it impacts the level of pedestrians on the street. The prism will act like a clocktower but an actual clocktower would fit in better in this location.

Chairman Chellman closed the presentation.

## **VI. DESIGN REVIEW APPLICATION ACCEPTANCE**

- A.** The request of **One Market Square LLC (Owner)**, for the property located at **1 Congress Street** requesting Design Review approval to partially demolish existing buildings and construct a new 3 story structure with a short 4<sup>th</sup> story. Said property is shown on Assessor Map 117 Lot 14 and lies within Character District 4 (CD-4), Character District 5 (CD-5) and the Historic District. (LUPD-22-6)

City Council Representative Moreau moved to accept the submitted materials for Design Review and schedule the public hearing for the April Planning Board meeting, seconded by Vice Chairman Clark.

Mr. Hewitt questioned if the dispute with the Zoning Board needed to be resolved before they voted on this. Ms. Zendt responded that variances and approvals from other commissions do not have to be resolved before this Board accepts the completeness and it goes through design review. The formal application may need to address that fully. They may identify things for variances through the TAC process and other presentations. At this stage they can identify what is needed, but it does not need to be completed.

The motion passed unanimously.

## **VII. OTHER BUSINESS**

- A.** Request from **Michael J. O'Connor, Owner**, for property located at **163 Sparhawk Street** for a 1-year extension of the Wetland Conditional Use Permit granted on 2/18/2022. (LU-20-256)

## **DISCUSSION AND DECISION OF THE BOARD**

This was voted on earlier in the agenda.

- B.** Review and discuss dates and topics for proposed training offered through the New Hampshire Municipal Association.

Ms. Zendt commented that in response for the request for training they reached out to NHMA to see what resources they have available. Steven Buckley provides some free training and some that costs money. The first session is free. They polled the Planning Board Members and March 30, 2022, at 6 pm will likely be the first special meeting to discuss roles and responsibilities. It will not take the full 2 hours, so they can work to identify an additional topic. They will be sending a similar poll out for April to host a joint meeting with the Conservation Commission to discuss the Wetland CUP. They will discuss the State law, understanding the ordinance and best practices. The topic of today is talk about the March 30, 2022, additional topic. They talked about beginning the meeting at 6 p.m. to have a discussion period before Mr. Buckley begins at 6:30 p.m.

Chairman Chellman commented that the Board has talked a lot about concerns on what Board does and how that ties into the Master Plan, regulations, and the Land Use Committee. Chairman Chellman will talk with Steven Buckley beforehand to find out what possible topics he may have. If a Board member has anything in particular, they would want to discuss feel free to raise it.

Ms. Begala requested that they use a different method to poll the members in the future because she did not see the poll and will not be able to attend the March 30, 2022, meeting. Ms. Begala questioned if they would be reviewing the roles and responsibilities that the Board already has training materials on or if it would be more in depth. Ms. Begala questioned if the meeting would be recorded. Chairman Chellman commented that he would follow up. They did not produce the handbook but are familiar with it. Ms. Begala commented that she attended a training hosted by PLAN today and it was very beneficial. They do it monthly and today's topic was about development as a regional initiative. They looked at the regional impact of projects.

City Council Representative Moreau commented they started doing those trainings online monthly and have always had an annual spring conference. They have been extremely informative, and training is a big part of being a Planning Board Member. A lot of Mr. Buckley's focus will be on exactly what the Planning Board's role is and how they see it from a legal and statutory side of things. It will not be straight out of the manual. There is a Regional Planning Association that looks at regional impact. The Planning Board has the right to consider if a has regional impact and reach out to the Rockingham Planning Commission. Then they would advise the Planning Board. They have done it in the past for 2 projects on Route 1 on the Greenland and Rye line.

Vice Chairman Clark commented that he attended a training hosted by Mr. Buckley in 2016 and found it very helpful. He was very good at going over the roles and responsibilities and touched on a lot of case law. It helped clarify when the Board is outside its legal bounds and what can happen.

C. Discuss upcoming staff presentation on housing data, trends, and needs.

Ms. Zendt commented that in response to the request for additional information and data Staff will be preparing a report for the April Planning Board meeting. It will be about the housing development in Portsmouth and housing trends for the past 5 years. They will be sharing housing data on the cost burden, need, and housing stock in Portsmouth. Council adopted a goal in producing a variety of housing. It is the same report they are giving to the Land Use Committee.

City Council Representative Moreau commented that the Land Use Committee was just getting started. They are charged with looking at any areas in the City for 79E revitalization. They are looking at the City owned property list. There is new legislation coming through and housing opportunity zones. There is a Housing Commission in the City it has not been active, but they did create a housing policy. They are evaluating to see if the Housing Committee would be a good thing to have. They would be an advisory role to Planning Board. At the regulatory meeting on April 8, 2022, they will look at a lot of the current zoning as it stands and how the ADU's are working. There is a whole list of current zoning that may need some adjustments. The next full committee meeting will happen May 13, 2022, and then starting in June it will be the first Friday every month at 9 a.m.

Mr. Samonas questioned what the status of the Housing Commission was. City Council Representative Moreau commented that legally it was there, but nobody is on it and it is not active. They are looking at it and discussing if it is needed. Long term, the Land Use Committee is something that make changes, but the Housing Commission is a standing committee that looks at it on a regular basis. All zoning changes will go to the Planning Board for review with a public hearing. Then it will go through the Council readings and enacted. It is not a quick process, but they hope to get the ball rolling.

Ms. Begala commented the report was going to be for 5 years, but she had requested a report for the past 10 years. It is important for the Planning Board to look at numbers to understand the

context of what is being built now and look at how to manage growth. The future forecasts are around growth, regulations, and comprehensive planning. The Planning Board has a planning role in which the Board has a legislative role to propose ordinance changes and a regulatory role to apply the ordinances. Ms. Begala was not sure how the Planning Board's role was different from the Land Use Committee. They need to follow the Master Plan. If the growth in town was changing the character of the town, then it no longer reflects the Master Plan. The Land Use Committee is guided by and reports to the City Council, but there was no mention of the Master Plan. The data they are gathering is also useful to the Planning Board. Ms. Begala commented that she was looking forward to the Board having a discussion about how to review the ordinance with an eye to ensure the rate of growth and character of the growth is in line with what the citizens and public input into the Master Plan. The big question was if they were still on track with the Master Plan or not. At the last meeting City Council Representative Moreau explained what the Land Use Committee was doing. It will give them a chance to take a structured look at immediate changes and focusing on City owned property.

City Council Representative Moreau commented that was one of the things they were focusing on. They do look at the ordinances but at the same time they don't enact changes. The true legislative body is the City Council. They are the final word on anything. Their direction and policy is what takes precedent. That Master Plan and building future Master Plan is part of the long look back to see if it was effective and. They are looking at many different things and more than just City properties. Ms. Begala commented that their training materials included a flow chart about what the Planning Board is doing, and Ms. Begala was still trying to understand her role and the Planning Board role. They should discuss it in a future session. Ms. Begala had not seen the active part of the Planning Board operate a lot. They should bring zoning ordinance revision recommendations to City Council based on the Master Plan. Ms. Begala questioned how they took a more active role around that.

Ms. Zendt commented on the legislative role of the Planning Board. Staff begins that work with the community and land use plays a role in setting the work plan. Then they bring that to the Planning Board and they help staff form the revisions. The Planning Board's work is to refine the changes. The Master Plan has a host of policies and goals. It is not at a granular level but a high-level vision. There can be any range of amendments needed to implement the Master Plan and all revisions should reflect that with the caveat of state law requirements. That takes precedence over the Master Plan. When Staff moves forward with a regular work plan of amendments the Planning Board will be active in contributing. Then it will go to City Council to approve it. The Land Use Committee is serving as an agent for Council to help develop a preliminary round of amendments. Ms. Begala questioned how a member of the Planning Board could submit a recommendation for revision as part of this process. City Council Representative Moreau responded that right now they are taking input from the public. Any member of the public can send a recommendation for zoning changes and provide feedback.

Chairman Chellman commented that the Land Use Committee was charged by Council specifically to do what it's doing. They are following Council direction. It will feed back to the Planning Board, and they will evaluate it with respect to the Master Plan. Then the Board can propose something and send to it to Council.

Minutes, Planning Board Meeting, March 15, 2022

Mr. Harris questioned what the process was to propose something. City Council Representative Moreau responded that right now anyone can send input. City Manager Conard added that Chairman Chellman and Vice Chairman Clark were serving on the Land Use Committee and proposals can be conveyed through them. City Council Representative Moreau commented that he could assemble the proposals in a document and send it to any one of us. They will get it to the Land Use Committee.

Ms. Begala commented that there should be a future discussion that would provide clarity on what distinguishes the Planning Board and Land Use Committee and how they are collaborating. City Council Representative Moreau confirmed there could be an update every month.

## **VII. ADJOURNMENT**

City Council Representative Moreau moved to adjourn the meeting at 10:00 p.m., seconded by Vice Chairman Clark. The motion passed unanimously.

Respectfully submitted,

Becky Frey,  
Secretary for the Planning Board



3/22/22

Planning Department  
Stefanie Casella, Planner  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

RE: Submission for Conditional Use Permit, Garden Cottage, 189 Gates Street  
Patrick & Judy Nerbonne Owners.

Dear Ms Casella & Planning Board Members,

On behalf of the Nerbonne's, the attached Submission shows the conversion of an existing Garage with a 10.5ft x 14.5ft 1-Story Addition to a Garden Cottage with a 507 total gsf area. Right Side Yard and Building Area Variances were approved by the BOA on March 15th 2022.

The following items are included in our submission:

- Owners statement
- Letter from Dr. Logan
- Letter from Nancy Euchner, Seacoast Village Project
- Narrative for Garden Cottage Criteria
- Proposed Lot Plan which shows existing & proposed conditions
- Plans showing garden cottage floor plan, exterior elevations and photos of the 189 Gates St & the neighboring buildings.

We are requesting a Waiver to 18.815.31, which prohibits the expansion of an existing structure to be converted to a Garden Cottage. The Owners statement (attached) explains their need to pursue this project and relates to their ability to stay in the home they have occupied since 1998. Our reasoning for this request, is as follows:

- The existing Garage at 354sf is very small to accommodate a functional living space.
- The proposed Addition at 153sf is smaller than the allowed 300sf side or rear deck.
- The Lot Size is non-conforming and to pursue a Detached ADU would require several more Variances. The Lot size and building configuration is more in line with a Garden Cottage use.

We respectfully request your approval of this waiver & grant the CUP.

Sincerely,

Anne Whitney Architect for Patrick & Judy Nerbonne

City of Portsmouth  
Planning Board  
Application Narrative

Introduction

We are G. Patrick Narbonne (Pat) and M. Judy Nerbonne (Judy) owners of a single-family home located at 189 Gates Street in Portsmouth, NH, which is identified as Lot 6 on Tax Map 103.

As owners are hoping to convert our two car garage into a single floor one bedroom space to accommodate our single daughter or a caregiver as our needs are changing and we are in our 80's.

Pat was officially diagnosed with Alzheimer's disease five years ago and we are trying to make living arrangements to stay in the residence and neighborhood we love.

Our house was built in 1855 by Walter T. Brooks a ships carpenter. Our garage was his workshop. We purchased the house in 1995 and researched the history of the house and got to understand the neighborhood. We renovated the house and property in 1997-98 and received the Residential Restoration Award from the Portsmouth Advocates in 1999. We love this neighborhood and would like to be able to spend our last years here.

We plan to create an attractive garden cottage with an appearance that matches our home and the other existing homes in our neighborhood.

This project is important to us and hope it will fit into our wonderful neighborhood.



**From:** judy@gatesstreet.com,  
**To:** archwhit@aol.com,  
**Subject:** Fwd: Letter in case you can't open the attachment  
**Date:** Sun, Mar 13, 2022 8:42 pm

---

Sent from my iPhone

Begin forwarded message:

**From:** Kathleen Logan <kathleenblogan@gmail.com>  
**Date:** March 13, 2022 at 5:50:34 PM EDT  
**To:** Judy Nerbonne <judy@gatesstreet.com>  
**Subject:** Letter in case you can't open the attachment

Kent Logan, MD  
21 Blossom Street  
Portsmouth, NH 03801

March 13, 2022

My name is Dr. Kent Logan. I am Mr. Pat Nerbonne's treating neurologist and a resident of the South End. I understand that Judy and Pat Nerbonne wish to make medically appropriate and adaptive home changes in the setting of Mr. Nerbonne's health condition.

Of note, the Nerbonne's have requested that I discuss openly and freely Mr. Nerbonne's health.

Mr. Nerbonne has mild cortical dementia of the Alzheimer's disease type. This is a progressive neurodegenerative disorder. Mr. Nerbonne fares well at present with only mild memory and cognitive concerns, yet with time there is heightened potential of progression of his memory and cognitive loss. He may have impaired activity of daily living function, such as the inability to bathe and dress himself. He may also experience neuropsychiatric symptoms of hallucinations, agitation, and fear.

It is well known in the medical community that a secure familiar home environment with family and friends nearby remarkably reduces the likelihood of these distressing symptoms. In such a safe environment, patients with dementia fare better with less stress, confusion, the above mentioned neuropsychiatric symptoms, as well as injurious falls. Most importantly, the patient is more apt to live in comfort and peace as he faces this life challenge.

It is my medical opinion that appropriate home living conditions in accordance with the Garden Cottage plan be granted to the Nerbonne's. The Garden Cottage plan will give the Nerbonnes the ability to have a family member or caregiver living in close proximity to provide the care necessary for Pat to stay in his home. I applaud the city for beginning to look at ways to help families as the population grows older and faces these problems.

Kent Logan, M.D

**From:** judy@gatesstreet.com,  
**To:** archwhit@aol.com,  
**Subject:** Fwd: letter of support  
**Date:** Tue, Mar 15, 2022 1:53 pm  
**Attachments:** Nerbonne Letter of Support.docx (14K)

---

Begin forwarded message:

**From:** Nancy Euchner <[nancy@seacoastvillageproject.org](mailto:nancy@seacoastvillageproject.org)>  
**Subject:** Fwd: letter of support  
**Date:** March 14, 2022 at 10:08:57 AM EDT  
**To:** Judy Nerbonne <[judy@gatesstreet.com](mailto:judy@gatesstreet.com)>

If you look around Portsmouth today, you will no doubt see benefits that were built through the hard work of its citizens – people who invested time, talent and treasure to develop and sustain our neighborhoods, parks, cultural venues and good governance. As some of these citizens, like Judy and Pat Nerbonne, got older, they invested even more deeply in providing very local support to neighbors and friends who needed a little help – through family crisis, temporary illness or challenges of aging. They took a proactive stance – exploring aging in place options with others in the South End. They prepared.

Today, the Nerbonnes' situation the importance of this planning. Pat was diagnosed with Alzheimer's disease. Not the best news in the world, but also not the worst. Pat has a loving family and friends, and his positive spirit and humor continue to be gifts to those who know him. But an additional part of this picture is the reality of his changing needs. The current need for supervision, and the eventual need for personal care and support beyond what Judy can provide on her own.

If we learned anything from the pandemic that hit the world and our community in the past year, it's that our health care support systems are strained to the breaking point. Smart citizens are doubling down on ways to get connected (to each other and community and family resources), get smart (about normal aging and some of its challenges) and helping each other out. In my work as an eldercare professional for the past 40 years and the leader of the Seacoast Village Projecy, a local non-profit organization promoting aging-in-place, I applaud the efforts of those who take active steps to plan and strengthen their support systems before crises occur.

The proposal that the Nerbonnes are presenting to you tonight is an example of such a proactive plan. It provides close and affordable living space for a family member that doesn't tax the systems of an historic old house, leaving space within the home to be adapted to fit changing needs. It allows Judy and Pat to remain together in familiar surroundings with people who know and care about them. And it allows Judy to continue to contribute to her community and age successfully herself.

Co-housing and inter-generational housing options (like the one proposed) are progressive, flexible strategies that strengthen our communities. I urge you to support this application.

**Narrative for Garden Cottage Criteria  
189 Gates Street**

**3/22/22**

10.815.30 Garden Cottage shall comply with the following criteria

- .31 The existing accessory building shall not be expanded either vertically or horizontally, other than through the addition of a front entry not to exceed 50sf or a side or rear deck not to exceed 300sf.

*We are requesting a waiver from this requirement for a 10.5ft x 14.5ft Addition. Our reasoning for this waiver is described in the cover letter of the CUP Submission and repeated here.*

- *The existing Garage at 354sf is very small to accommodate a functional living space.*
- *The proposed Addition at 153sf is smaller than the allowed 300sf side or rear deck.*
- *The Lot Size is non-conforming and to pursue a Detached ADU would require several more Variances. The Lot size and building configuration is more in line with a Garden Cottage use.*
- *The existing driveway can easily accommodate 3 vehicles.*

- .32 A garden cottage shall not be larger than 600gsf area

*The proposed garden cottage is 507 gross sf area, as show on dwg. 2 of 3.*

- .34 A garden cottage that is within a required yard for the zoning district shall not have any windows or doors higher than eight feet above grade facing the adjacent property.

*The right side elevation that encroaches the required setback will have no windows or doors, as shown on dwg. 2 of 3.*

- .35 *This property has municipal sewer service.*

10.815.40 Before granting a CUP for a garden cottage the Planning Bd. shall make the following findings

- .41 Exterior Design of the garden cottage is consistent with the existing single family dwelling on the lot.

*Exterior siding, trim, windows and details are consistent with the existing dwelling. The garage was renovated in 1998 to complement the newly renovated house. The 1998 Project received a Portsmouth Advocates Residential Restoration Award. The elevation drawings and photos on dwg. 3 of 3 clearly show this.*

10.815.40 continued

- .42 The site plan provides adequate and appropriate open space, landscaping, and off-street parking for both the garden cottage and the primary dwelling.

*The garden cottage with the addition is located to have minimal impact on the existing +/- 1900sf landscaped rear yard. This is shown on dwg. 1 of 3. The existing driveway will not change & can easily accommodate 3 vehicles.*

- .43 The garden cottage will maintain a compatible relationship to adjacent properties in terms of location and design, and will not significantly reduce the privacy of adjacent properties.

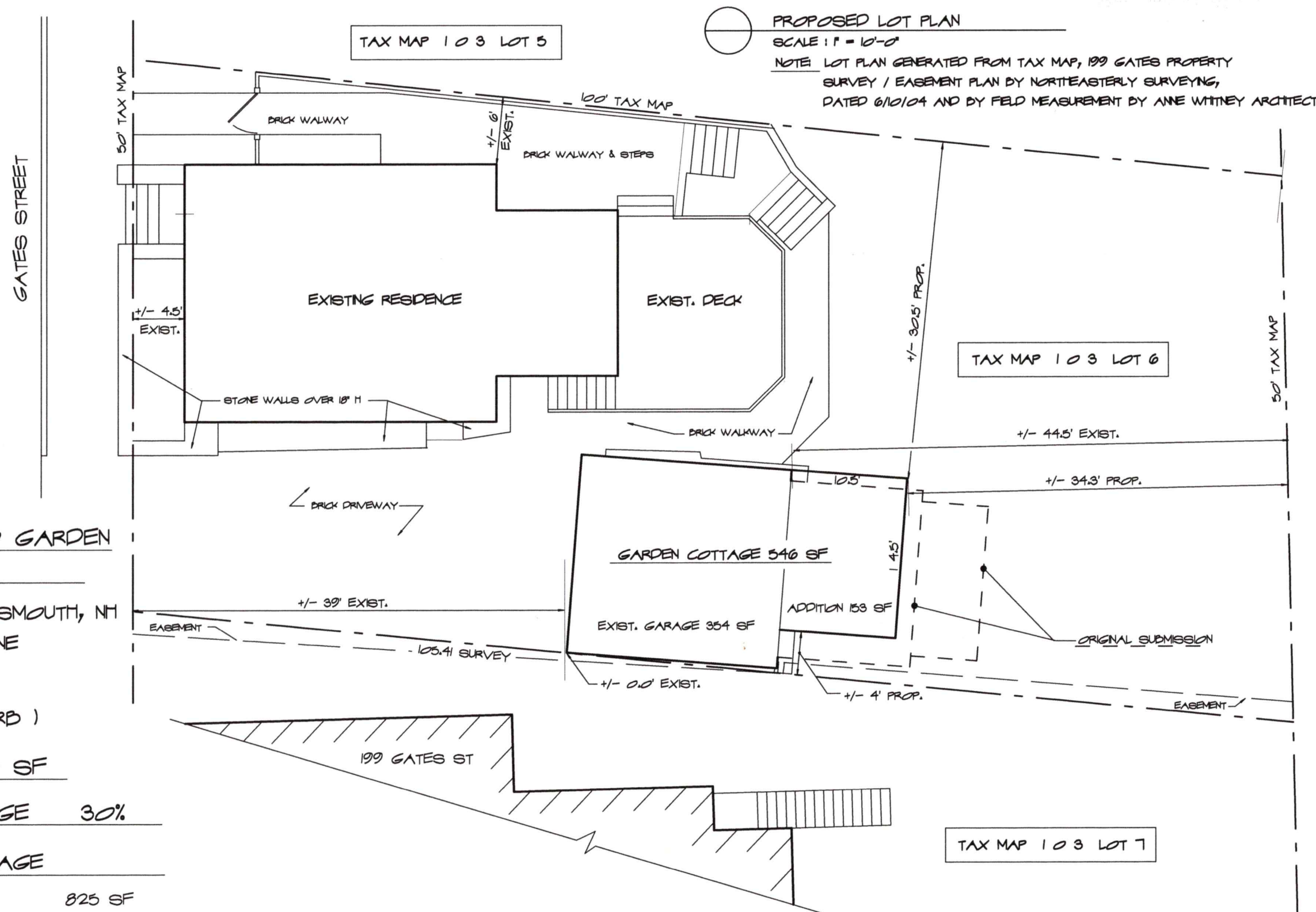
*The garden cottage will have no windows on the right side, which is within the 10ft Right Yard Setback. At the rear, the adjacent property is the Point of Graves Cemetery and the proposed addition to the garden cottage will break up the existing blank wall at the rear of the garage. At the left side the garden cottage is more than 30ft away from the adjacent property. All of the attached drawings & photos help to illustrate this.*

- .44 The garden cottage will not result in excessive noise traffic or parking congestion.

*There is adequate parking for the garden cottage (dwg. 1 of 3) and the family oriented residential use will not result in excessive noise.*

*Anne Whitney Architect*

*For: Patrick & Judy Nerbonne*



GARAGE CONVERSION TO GARDEN COTTAGE WITH ADDITION

189 GATES STREET PORTSMOUTH, NH  
 FOR: PATRICK & JUDY NERBONNE

MAP 103 LOT 6  
 GENERAL RESIDENCE B (GRB)

LOT AREA 5184 SF

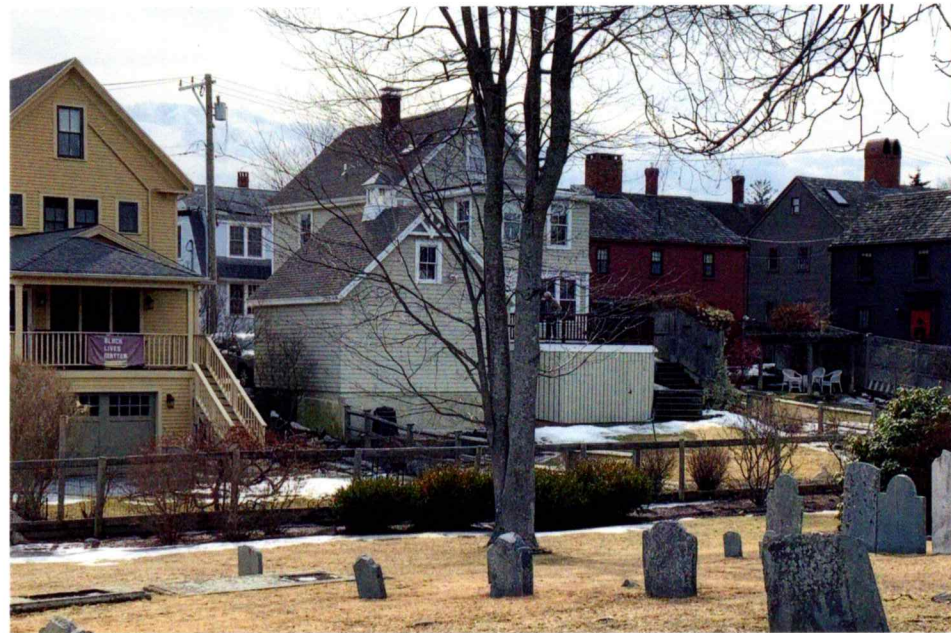
ALLOW. BUILDING COVERAGE 30%

PROPOSED BUILDING COVERAGE

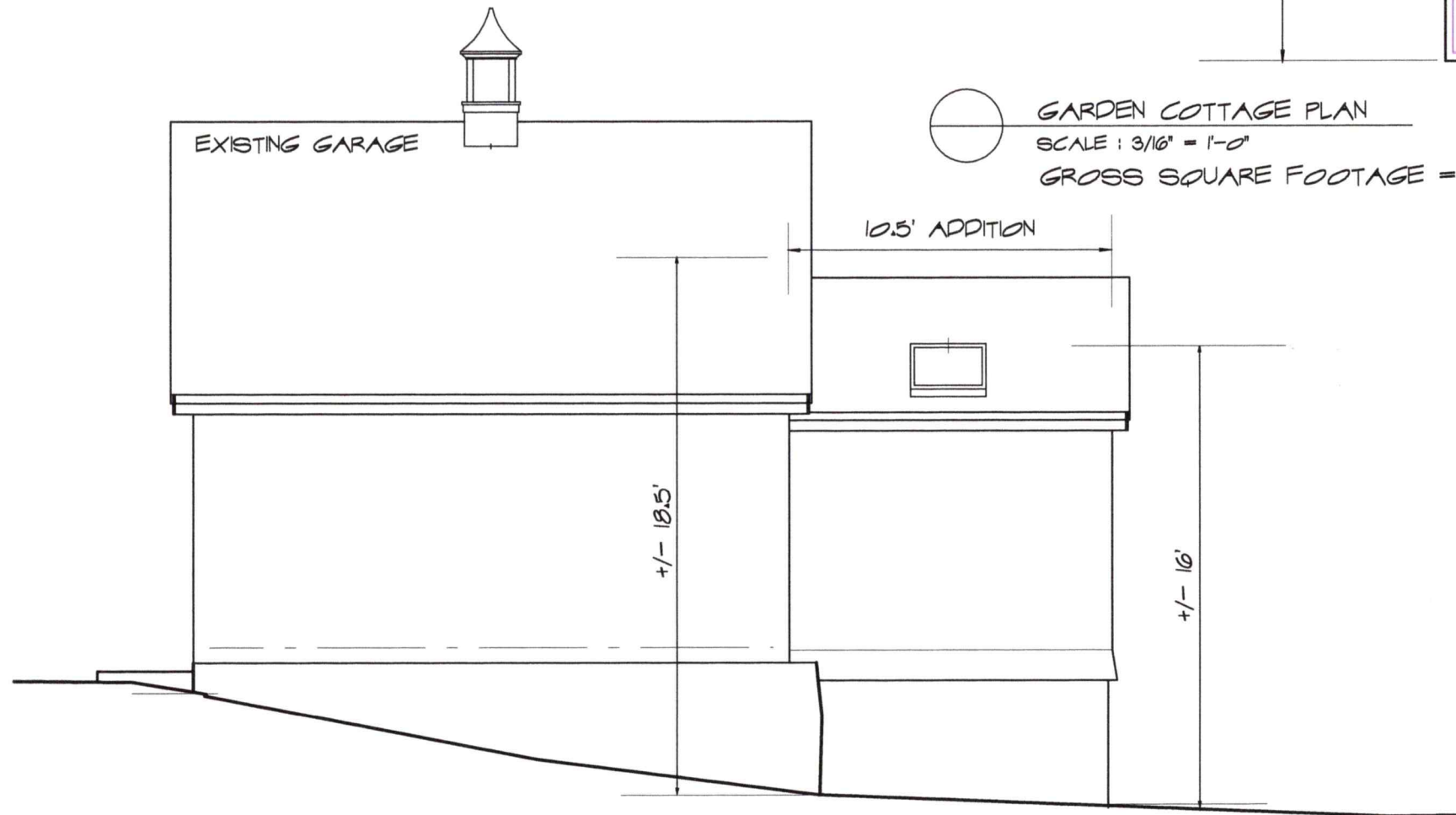
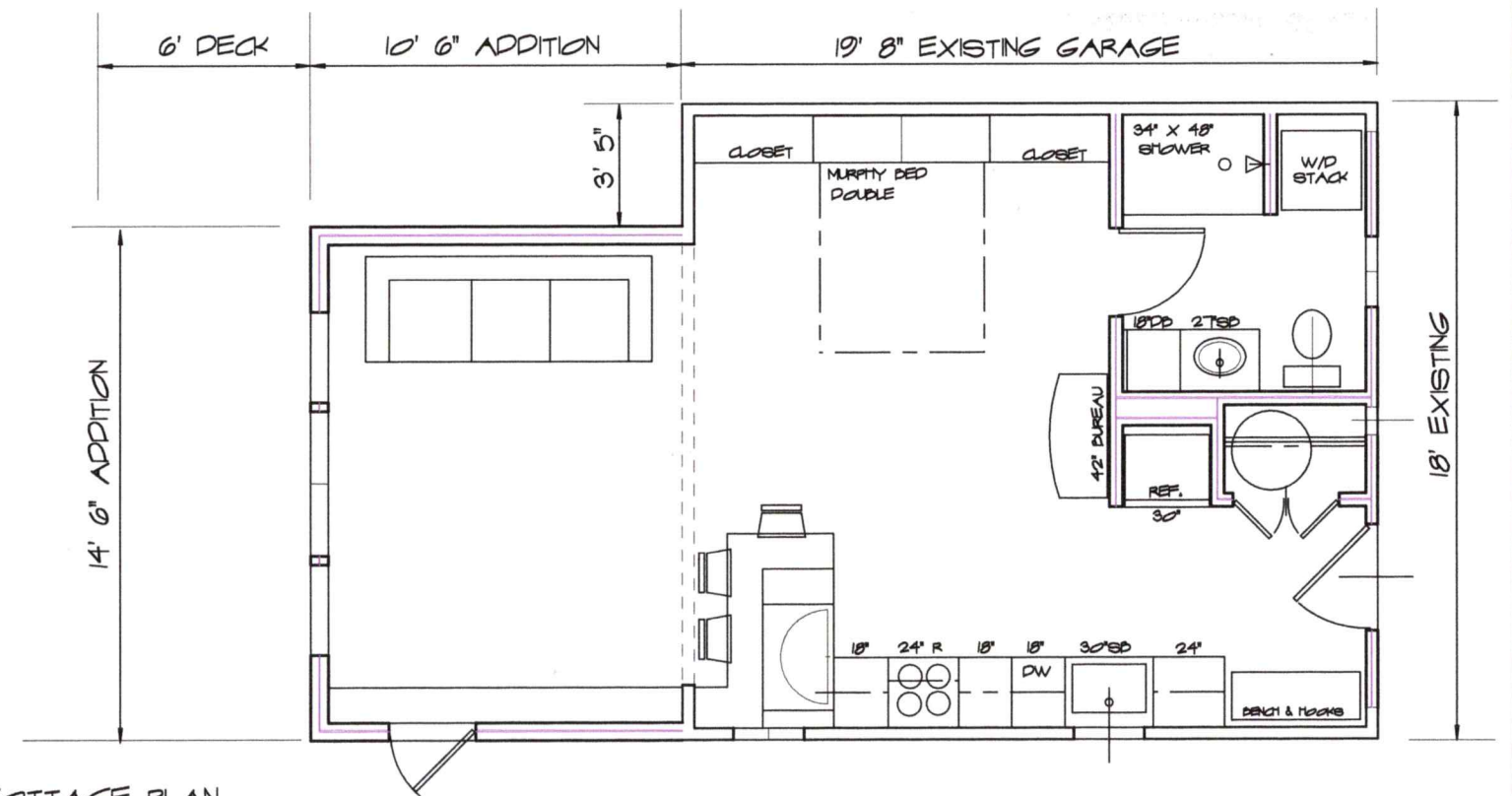
EXISTING RESIDENCE	825 SF
EXISTING DECK & STEPS OVER 18"	272 SF
<del>EXISTING STONE WALLS OVER 18"</del>	<del>108 SF</del>
EXIST. GARAGE CONVERTED TO GARDEN COTTAGE WITH ADDITION	507 SF
<hr/>	
	1604 SF (30.9%)



<b>PROPOSED LOT PLAN</b>  NERBONNE RESIDENCE 189 GATES STREET PORTSMOUTH, NH	8 Sheafe Street Portsmouth NH 03801 603-427-2832		Project: # 2202	Date: 2/22/22
			Revisions: 2/23/22 3/15/22 3/22/22	1 OF 3

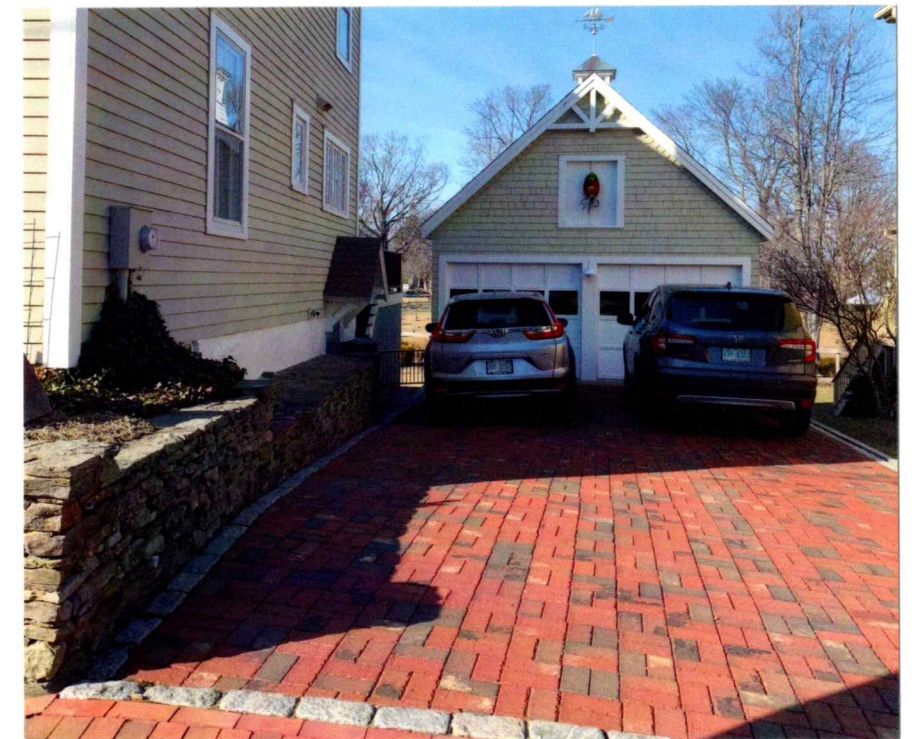


VIEW FROM POINT OF GRAVES



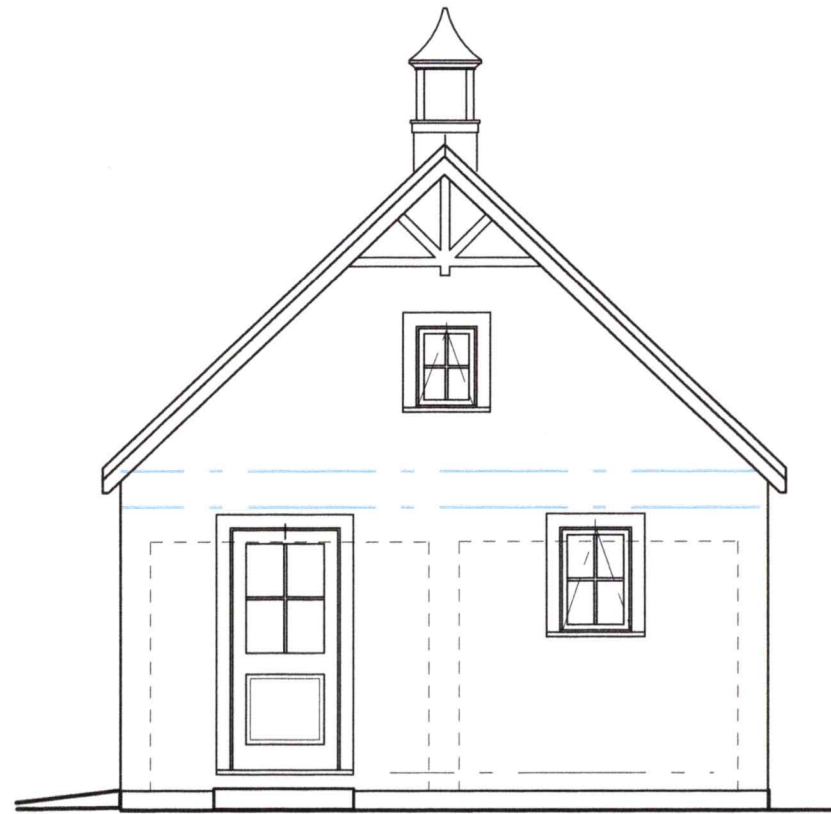
RIGHT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

GARDEN COTTAGE PLAN  
SCALE: 3/16" = 1'-0"  
GROSS SQUARE FOOTAGE = 507 SF

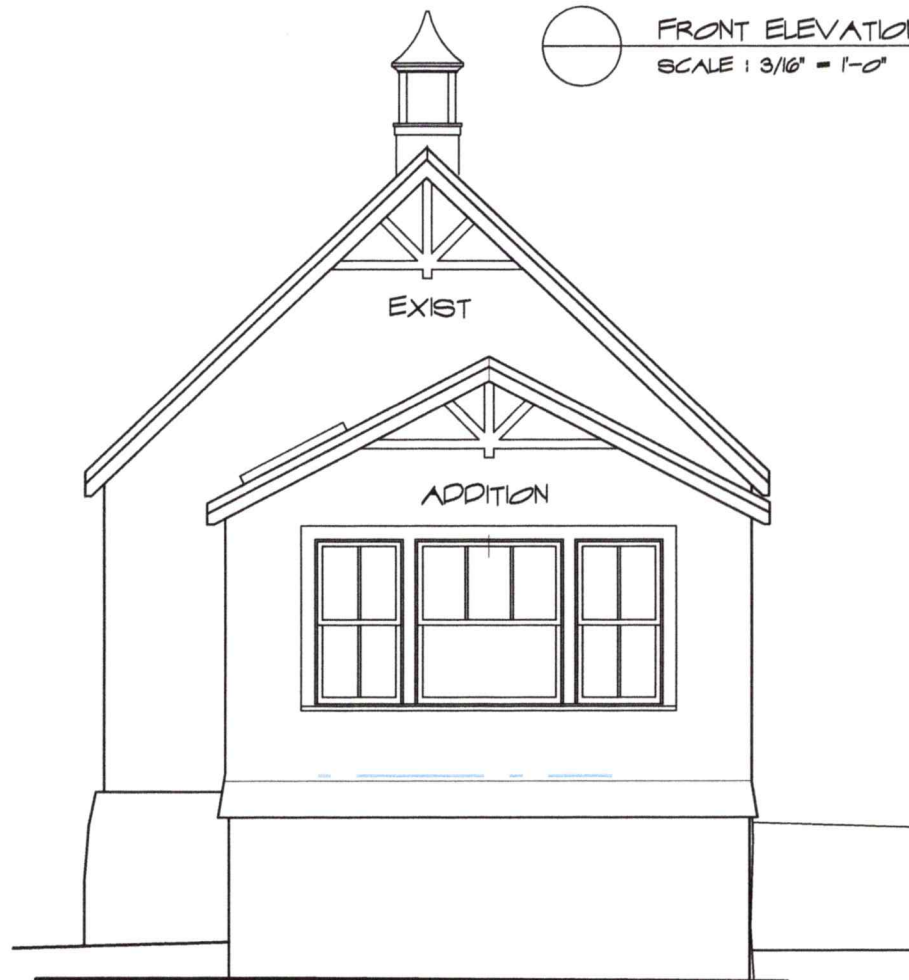


GARAGE FRONT ELEVATION

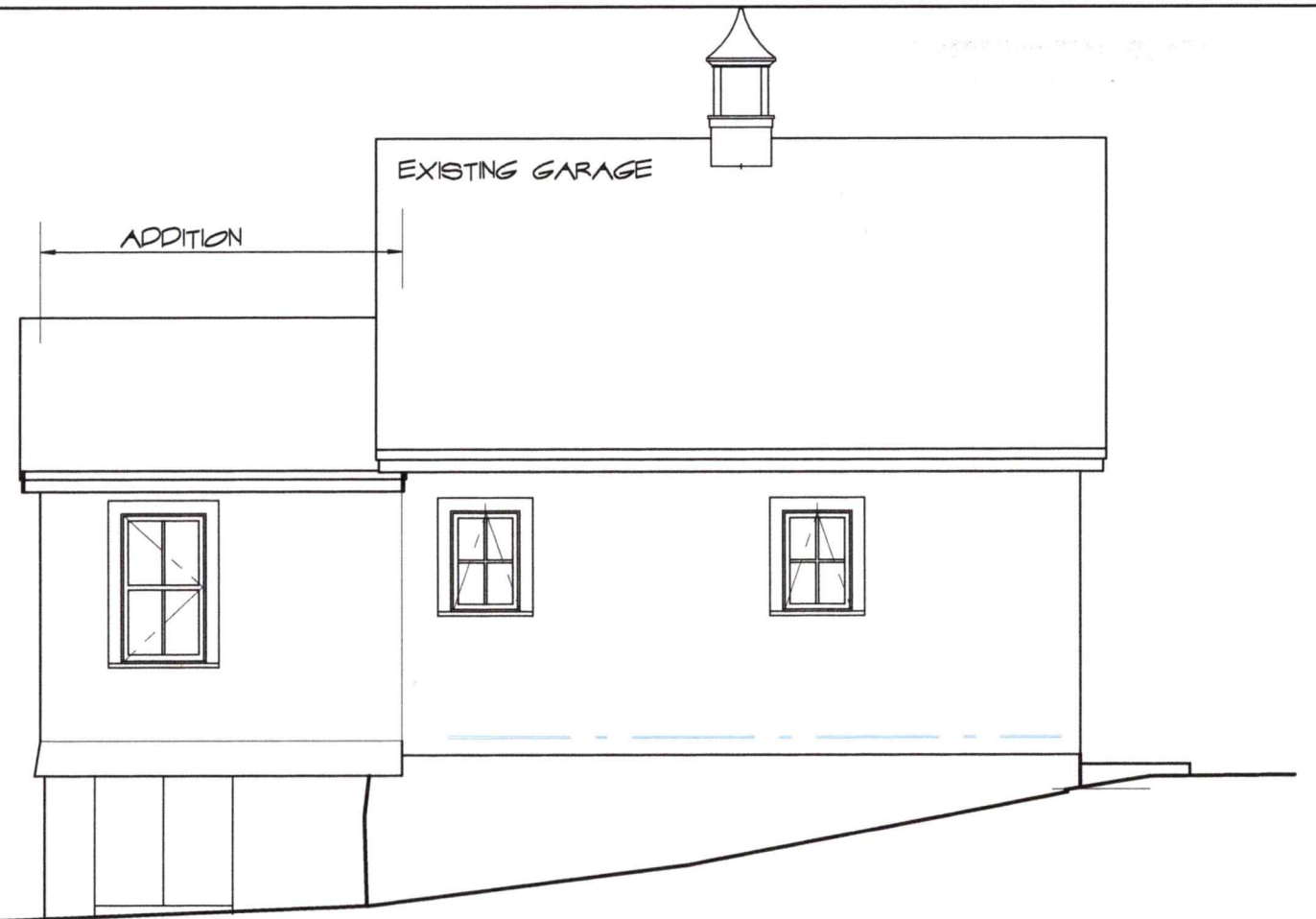
<p><b>SCHMATIC DESIGN</b></p> <p>ANNE WHITNEY ARCHITECT</p> <p>GARAGE CONVERSION TO GARDEN COTTAGE WITH ADDITION</p> <p>NERDONE RESIDENCE 189 GATES STREET PORTSMOUTH, NH</p>	<p>9 Sheafe Street Portsmouth NH 03801 603-427-2832</p>	<p>Project: 2202</p> <p>Revisions: 2 / 23 / 22 3 / 15 / 22 3 / 22 / 22</p>	<p>DATE: 2 / 22 / 22</p> <p>2 OF 3</p>
	<p>AM</p>		



FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



REAR ELEVATION  
SCALE: 3/16" = 1'-0"

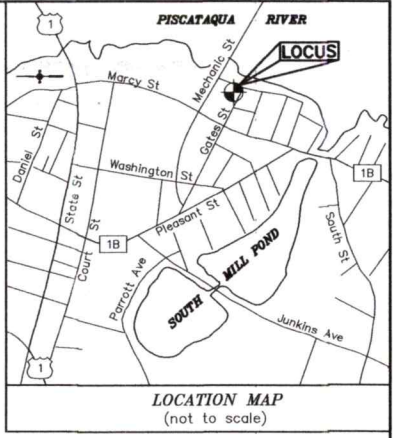
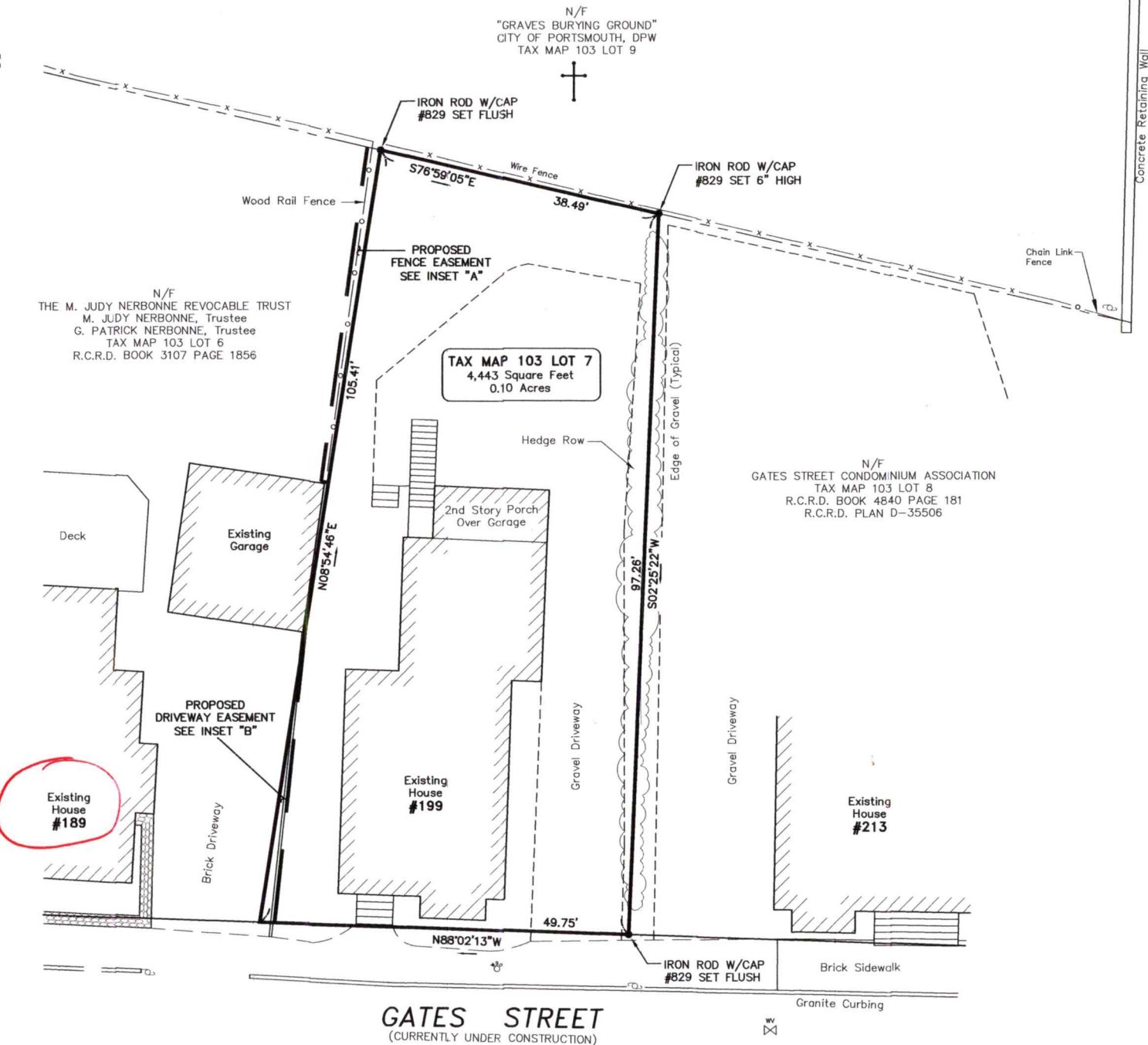
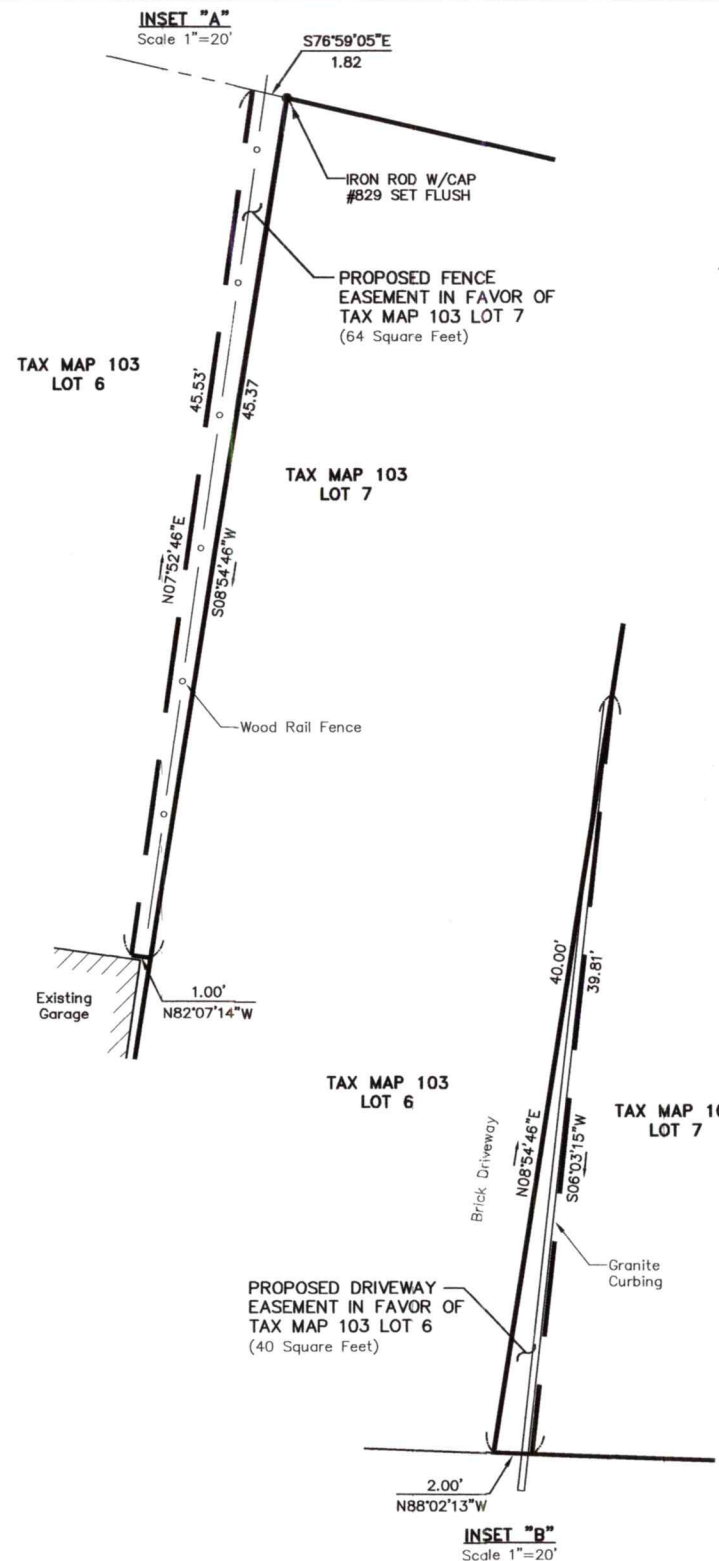


LEFT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



VIEW FROM POINT OF GRAVES

<b>SCHMATIC DESIGN</b> ANNE WHITNEY ARCHITECT GARAGE CONVERSION TO GARDEN COTTAGE WITH ADDITION NERBONE RESIDENCE 189 GATES STREET PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832	Project: # 2202 Date: 2 / 22 / 22
	Revisions: 2 / 23 / 22 3 / 15 / 22 3 / 22 / 22	3 OF 3



- PLAN REFERENCES:**
- "PLAT OF LAND FOR PETER FISHER IN PORTSMOUTH, N.H." BY PARKER SURVEY ASSOCIATES, Inc. DATED JULY 1983 AND RECORDED AT R.C.R.D. PLAN B-11743.
  - "PLAN OF MECHANIC STREET, LEADING FROM LAIGHTON'S MAST YARD TO GRAVES END STREET, PORTSMOUTH" DATED APRIL 20, 1836, ON RECORD AT PORTSMOUTH PUBLIC WORKS.

- NOTES:**
- OWNER OF RECORD:  
JOSEPH A. CAPOBIANCO, Jr. REVOCABLE TRUST  
c/o JOSEPH A. CAPOBIANCO, Jr., Trustee  
R.C.R.D. BOOK 4279 PAGE 156 (1/2 Interest)  
DATED APRIL 27, 2004  
  
JUDITH A. CAPOBIANCO REVOCABLE TRUST  
c/o JUDITH A. CAPOBIANCO, Trustee  
R.C.R.D. BOOK 4279 PAGE 154 (1/2 Interest)  
DATED APRIL 27, 2004
  - TOTAL PARCEL AREA:  
4,443 Square Feet OR 0.10 Acres
  - BASIS OF BEARING IS MAGNETIC MAY 2004.

*REFERENCE PLAN*

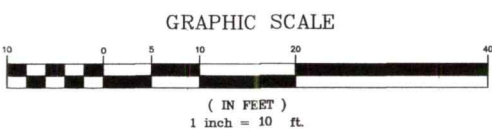
**LEGEND:**

MONUMENT FOUND	○	UTILITY POLE	⊙
WATER GATE VALVE	⊕	FIRE HYDRANT	⊗
ROCKINGHAM COUNTY REGISTRY OF DEEDS	R.C.R.D.		
NOW OR FORMERLY	N/F	WATER SHUT OFF	⊘
EDGE OF PAVEMENT	---		
WOOD RAIL FENCE	—○—○—○—○—		
STOCKADE FENCE	—□—□—□—□—		
WIRE FENCE	—x—x—x—x—		
PROPERTY LINE	—		
APPROXIMATE ABUTTERS PROPERTY LINE	- - -		
GRANITE CURBING	====		
CONCRETE CURBING	=====		

**CERTIFICATION**

"I certify that this survey plat is not a subdivision pursuant to this title and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown."

I further certify that this survey conforms to the ethics and standards set forth by the New Hampshire Land Surveyors Association for a category 1, condition 1 survey.



Peter L. Agrodina, L.L.S. #829			Date:		
3	06/16/09	UPDATED DRAWING DETAIL	RAB	RAB	PLA
2	05/27/09	ADDED PROPOSED EASEMENTS	RAB	RAB	PLA
1	06/17/04	ADDED MONUMENT SET ON JUNE 18, 2004	MCS	RAB	PLA
REV.	DATE	STATUS	BY	CHKD	APPD.

**STANDARD PROPERTY SURVEY & PROPOSED EASEMENT PLAN**

FOR PROPERTY AT  
199 Gates Street  
Portsmouth, Rockingham County, New Hampshire

OWNED BY  
**Joseph A. Capobianco, Jr. Revocable Trust**  
**Judith A. Capobianco Revocable Trust**  
c/o Judith A. & Joseph A. Capobianco, Jr.  
69 Arthur Avenue  
Manchester, New Hampshire 03104

North  
W EASTERLY  
SURVEYING, Inc.

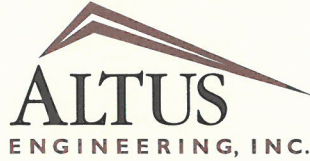
SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1  
(207) 439-6333 KITTERY, MAINE 03904

SCALE:	PROJECT NO.:	DATE:	SHEET:	DRAWN BY:	CHECKED BY:
1" = 10'	04650	6/10/04	1 OF 1	R.A.B.	P.L.A.

DRAWING No: 04650 Boundary  
FIELD BOOK No: "Portsmouth, NH #7"

**Tax Map 103 Lot 7**





March 28, 2022

**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

Beverly Zendt, Planning Director  
Planning Department, City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**Re: Conditional Use Permit – Inland Wetland Buffer  
“The Creek Farm” – Public Restrooms  
Tax Map 203, Lot 8  
400 Little Harbor Road, Portsmouth, NH  
Altus Project #3950**

Dear Ms. Zendt;

Enclosed are the revised plans that address the two comments raised on March 9, 2022 by the Conservation Commission at their regularly scheduled meeting.

5-high bush blueberry plants are proposed along the edge of the wetland boundary and a note has been added to the plans (construction note 14) that requires that the Owner maintain the property around the carriage house in accordance with NOFA standards.

We look forward to presenting this application at the April 21, 2022 Planning Board Hearing.

Please feel free to contact me directly if you have any questions or require any additional supporting documentation.

Sincerely,

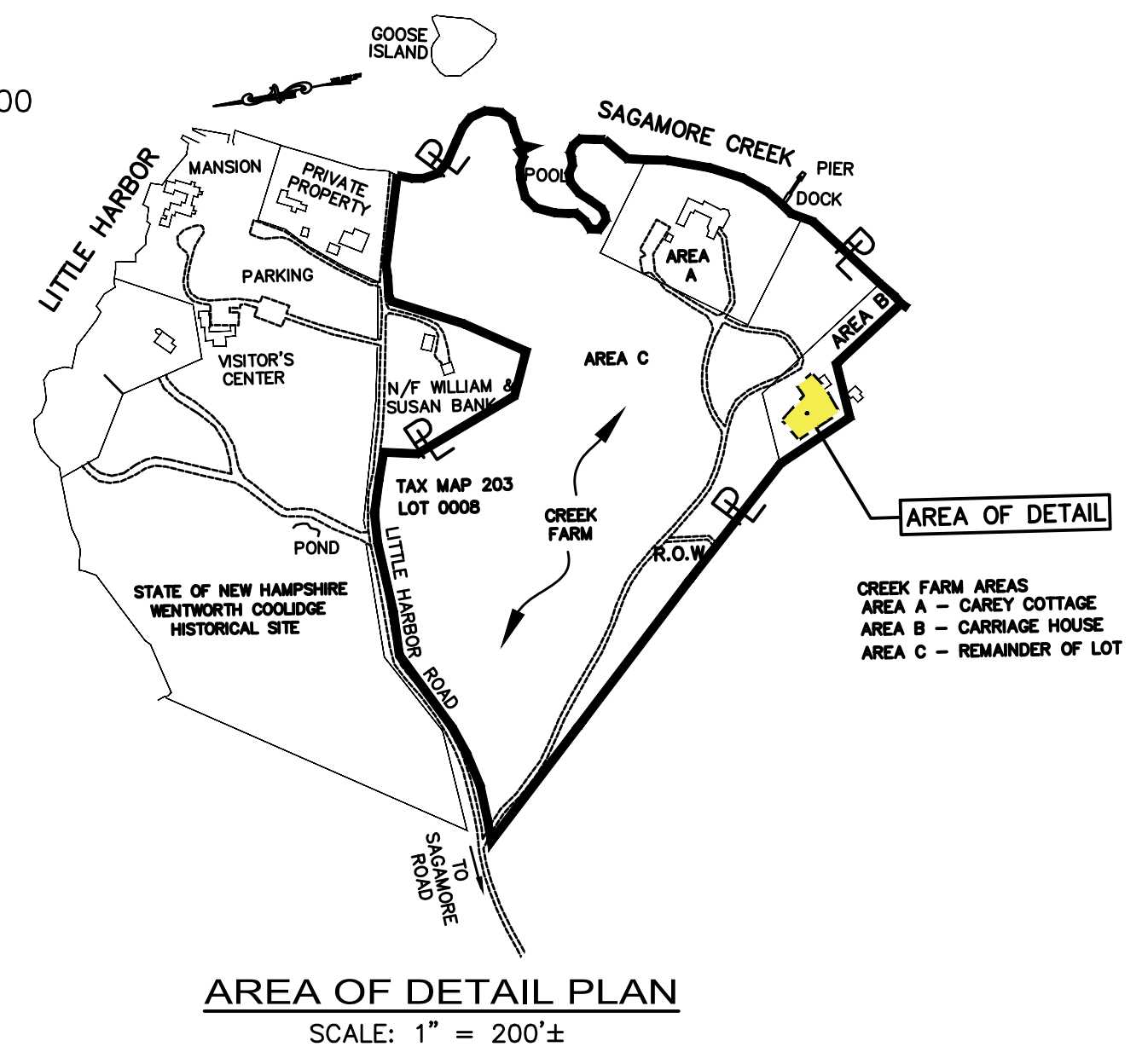
A handwritten signature in red ink, appearing to read "Eric D. Weinrieb". The signature is stylized and somewhat cursive, with a large loop at the end.

Eric D. Weinrieb, PE  
President

Attachment

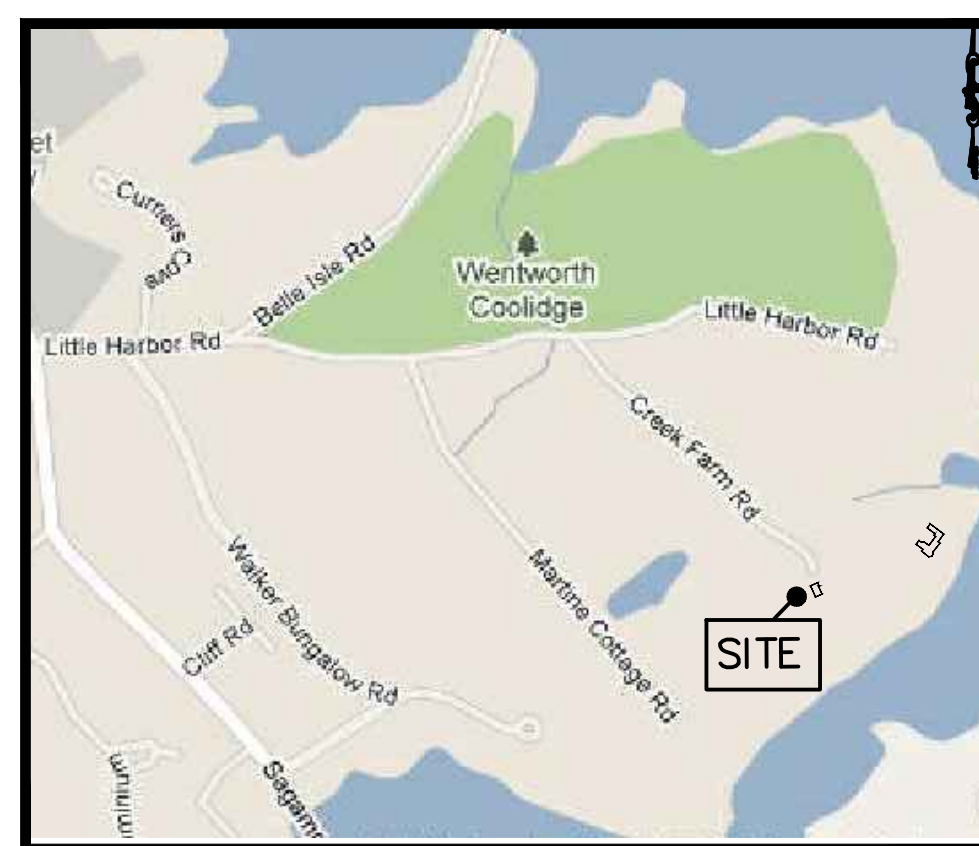
Ecopy: Jack Savage, SPNH  
Carl Murphy, SPNH  
Brian Murphy, Placework

**DESIGN INTENT:**  
 CONSTRUCT PUBLIC RESTROOMS WITH UP TO 300 GPD OF FLOW DISCHARGING TO SUBSURFACE DISPOSAL SYSTEM.  
 WATER SUPPLY: MUNICIPAL SYSTEM (CITY OF PORTSMOUTH)  
 ZONING DISTRICT: RURAL RESIDENTIAL (R)

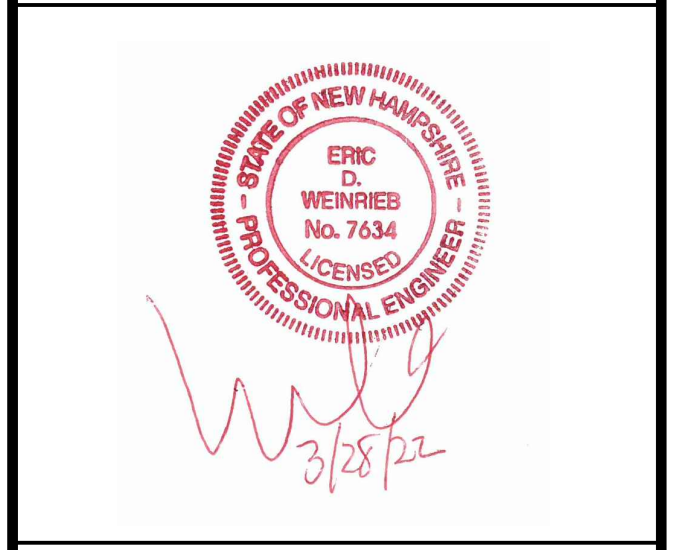


APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



ENGINEER:  
**ALTUS ENGINEERING, INC.**  
 133 COURT STREET PORTSMOUTH, NH 03801  
 (603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR:  
**PLANNING BOARD APPLICATION**  
 ISSUE DATE:  
**MARCH 28, 2022**

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	02/23/22
1	PER CON COMM REVIEW	EDW	03/28/22

**DRAWN BY:** \_\_\_\_\_ **MBS**  
**APPROVED BY:** \_\_\_\_\_ **EDW**  
**DRAWING FILE:** \_\_\_\_\_ 3950SITE.DWG

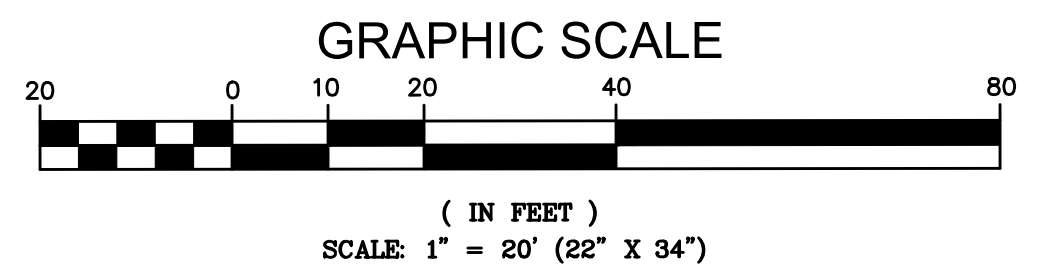
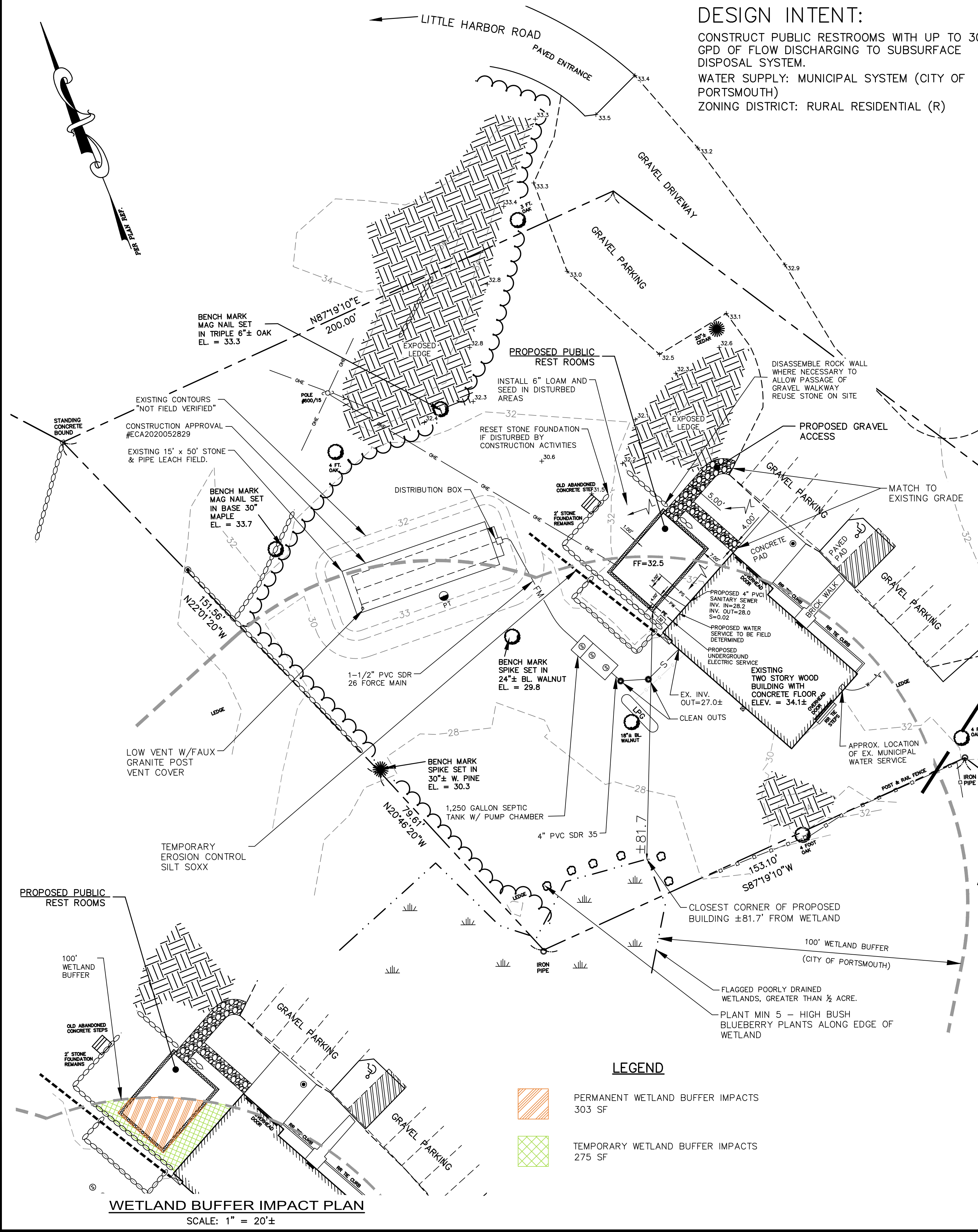
**SCALE:**  
 22" x 34" - 1" = 20"  
 11" x 17" - 1" = 40"

**OWNER OF RECORD/APPLICANT:**  
**SOCIETY FOR THE PROTECTION OF N.H. FORESTS**  
**54 PORTSMOUTH ST. CONCORD, NH 03302**

**PROJECT:**  
**PROPOSED PUBLIC RESTROOMS AT THE CARRIAGE HOUSE CREEK FARM**  
**400 LITTLE HARBOR ROAD PORTSMOUTH, NH TAX MAP 203, LOT 08**

**TITLE:**  
**CONDITIONAL USE PERMIT PLAN**

**SHEET NUMBER:**  
**1 OF 2**



**PLAN REFERENCE:**

- STATE OF NEW HAMPSHIRE DEPT. OF RESOURCES & ECONOMIC DEVELOPMENT "WENTWORTH COOLIDGE HISTORICAL SITE & NOEL CONSERVATION EASEMENT PORTSMOUTH & NEW CASTLE, N.H." DATED DEC. 1997.
- "CARRIAGE HOUSE TOPO WORKSHEET FOR LAND OWNED BY SOCIETY FOR THE PROTECTION OF N.H. FORESTS LOCATED ALONG LITTLE HARBOR ROAD, PORTSMOUTH, NEW HAMPSHIRE", BY KNIGHT HILL LAND SURVEYING SERVICES, INC., DATED JANUARY 24, 2020.
- "PROPOSED SUBSURFACE DISPOSAL SYSTEM AT THE CARRIAGE HOUSE CREEK FARM" SHEET SS-1 & C-1 BY ALTUS ENGINEERING, INC., DATED MAY 28, 2020
- CITY OF PORTSMOUTH CONDITIONAL USE PERMIT FOR SEPTIC, DATED MAY 21, 2020
- "CREEK FARM RESTROOMS" ARCHITECTURAL DRAWINGS BY PLACEWORK, DATED JANUARY 6, 2022

**GENERAL NOTES:**

- THE EXISTING SITE DETAILS DEPICTED ON THIS PLAN ARE THE RESULTS OF AN ON THE GROUND INSTRUMENT FIELD SURVEY CONDUCTED IN JAN. 15, 2020 BY KNIGHT HILL LAND SURVEYING SERVICES, INC. (FIELD BOOK 118) PROJ. #2191.
- THE VERTICAL DATUM SHOWN WAS ESTABLISHED FROM PORTSMOUTH GIS DISK "WENT" (379-0960) ON SITE AS SHOWN. DATUM IS NAVD88.
- WETLANDS FLAGGED DEC. 13, 2019 BY JOSEPH W. NOEL, SOILS/WETLAND SCIENTIST (NH #017) IN ACCORDANCE WITH "PARTIAL WETLAND DELINEATION, CREEK FARM, PORTSMOUTH, NEW HAMPSHIRE, JWN #95-445".
- THE BOUNDARY BEARING SYSTEM SHOWN WAS ESTABLISHED USING PLAN REFERENCE. THE DRAWING WAS SHIFTED TO THE NAD83/86 LOCATION OF DISK "WENT" & THEN ROTATED ON DISK LOCATION TO BEARINGS ON REFERENCE PLAN.
- ON MAY 21, 2020 THE CITY OF PORTSMOUTH PLANNING BOARD APPROVED A CONDITIONAL USE PERMIT (CUP) TO ALLOW THE CONSTRUCTION OF A REPLACEMENT SEPTIC SYSTEM WITHIN 100-FEET OF AN ADJACENT WETLANDS WITH THE FOLLOWING CONDITIONS:  
 \* WHERE EXCAVATION FOR THE WATERLINE OCCURS IN THE WETLAND BUFFER A CONSERVATION SEED MIX SHALL BE PLANTED, WITH THE EXCEPTION OF AREAS IN THE BUFFER OF EXISTING LAWN AND A GRAVEL PATH THAT CROSSES THE WATERLINE. BOTH OF THOSE AREAS SHALL BE RESTORED IN KIND.

P3950

**SITE NOTES**

1. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
2. COORDINATE ALL WORK AND GRADING WITHIN FIVE (5') FEET OF PROPOSED BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL DRAWINGS.

**CONSTRUCTION NOTES**

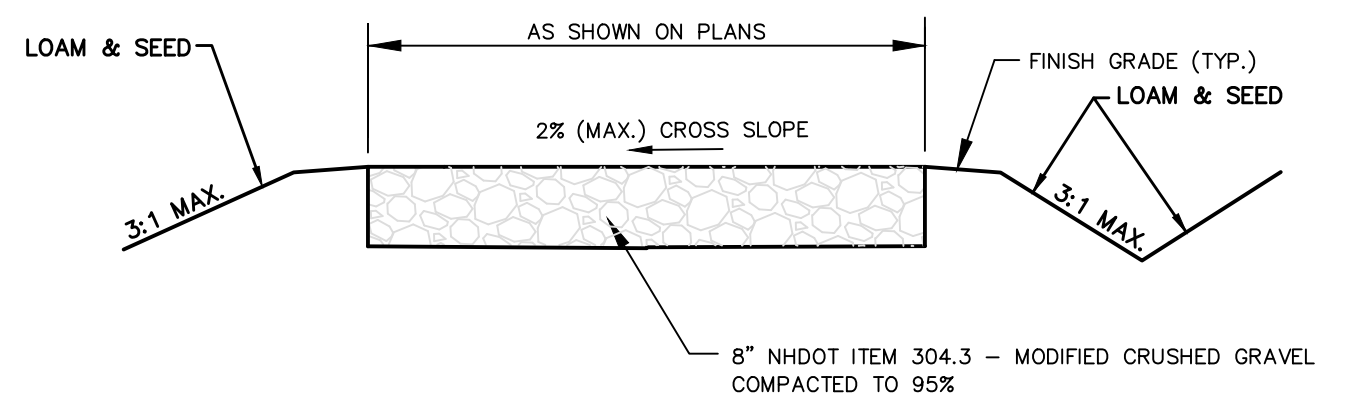
1. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. THE LANDOWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACKS REQUIREMENTS REQUIRED UNDER THESE REGULATIONS. SEE PROJECT MANUAL APPENDICES FOR COPY OF PERMITS.
2. CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
4. ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
5. UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBMS) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
6. PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER. EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
7. IF SUITABLE, EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AWAY FROM LEACH FIELDS, FINE LAWN AND BUILDINGS; AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
8. THE PROJECT WORK IS OUTSIDE THE 100-YEAR FLOOD ZONE. EXCAVATED MATERIAL NOT USED AS FILL MATERIAL ON SITE, SHALL ONLY BE PLACED IN UPLANDS AREA OUTSIDE OF THE 100 YEAR FLOOD ZONE.
9. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE SIX (6") INCHES OF LOAM, LIMESTONE, SEED, MULCH, AND APPROPRIATE SOIL STABILIZATION TECHNIQUES.
11. CONTRACTOR SHALL CONTROL DUST BY SPRAYING WATER, SWEEPING PAVED SURFACES AND VEGETATION AND/OR MULCHING STOCKPILES.
12. FILL SPACED WITHIN FIVE (5) FEET OF THE OUTSIDE FOUNDATION WALLS SHALL MEET THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S DRAWINGS. LOAM AND CONSERVATION SEED MIX IN WETLAND BUFFER AREAS, LAWN SEED MIX IN LAWN AREAS OR GRAVEL WHERE REQUIRED TO RESTORE TRAIL.
14. SITE AROUND CARRIAGE HOUSE SHALL BE MAINTAINED ACCORDING TO NOFA STANDARDS.

**GRADING NOTES**

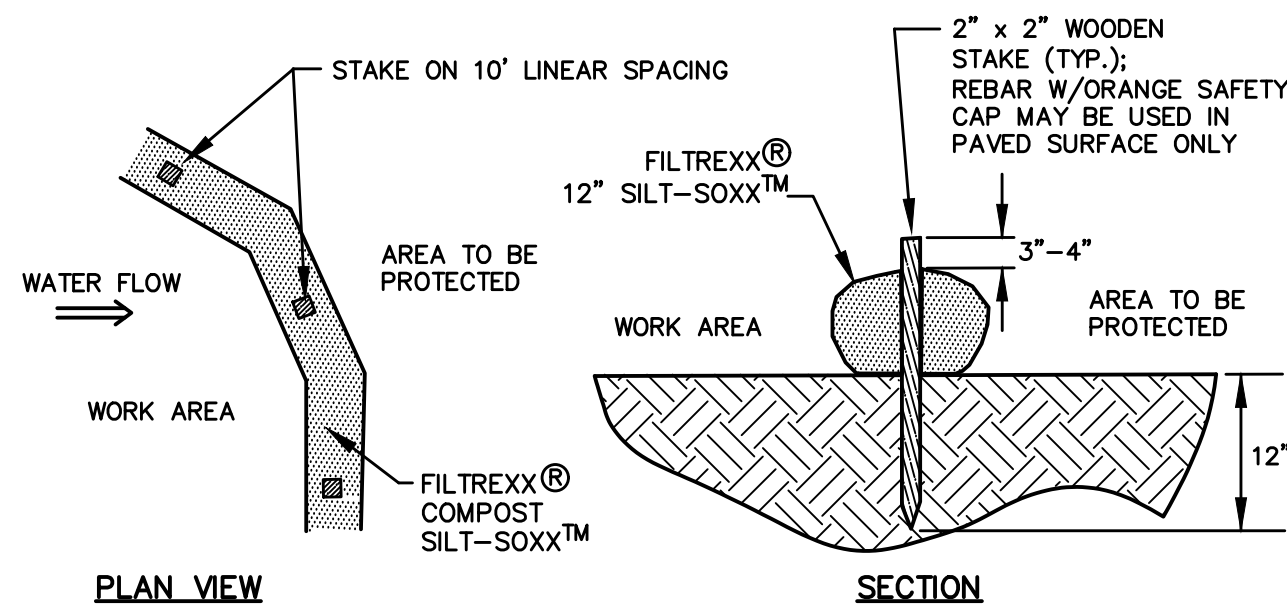
1. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ACCEPTED. ABRUPT RIDGES AT TOPS AND BOTTOM WILL NOT BE ACCEPTED.
2. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
3. MAXIMUM SLOPE IN DISTURBED AREAS SHALL BE NO STEEPER THAN 3:1 (H:V), UNLESS OTHERWISE NOTED. WHERE SLOPES IN DISTURBED AREAS ARE STEEPER THAN 3:1, CONTRACTOR SHALL PROVIDE CURLEX II EROSION CONTROL BLANKET FROM AMERICAN EXCELSIOR COMPANY (800) 777-7645 OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
4. PITCH ALL WALKS AND PATIOS AWAY FROM BUILDINGS AT 1-1/2% MINIMUM; PITCH WITHIN 5 FEET OF STAIRS OR DOORS SHALL NOT EXCEED 2%.
5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS.
6. ALL UNSUITABLE MATERIALS AND SURPLUS MATERIALS WHICH CAN NOT BE APPROPRIATELY WASTED ON SITE SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
7. THE GRADING ON THE PLANS SHOWS THE GENERAL INTENT AND DIRECTION OF THE STORMWATER FLOW. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY FIELD CONDITIONS THAT WILL IMPACT THE GRADING DESIGN SHOWN ON THIS PLAN FOR RESOLUTION.

**UTILITY NOTES**

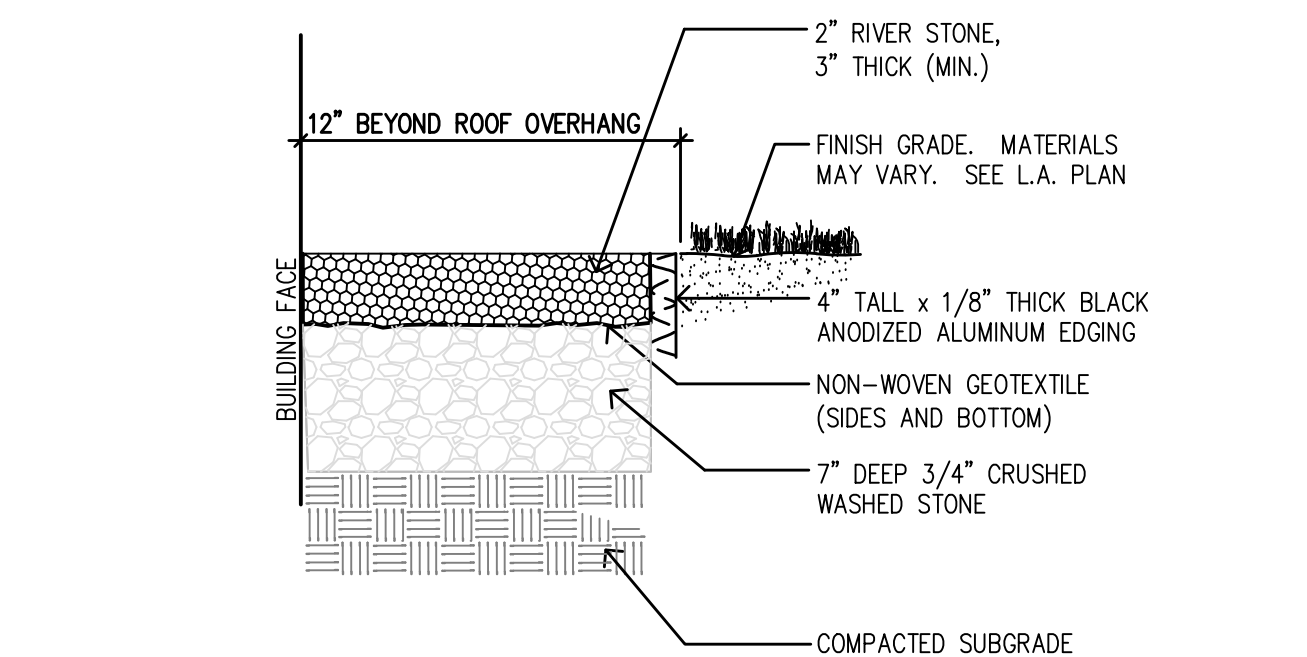
1. COORDINATE UTILITY WORK WITH UTILITY COMPANIES.
2. ALL ELECTRIC, CABLE, AND TELECOMMUNICATION SERVICES AND CONDUITS SHALL BE LOCATED UNDERGROUND WHERE SHOWN. UNDERGROUND UTILITIES INSTALLATIONS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CITY OF PORTSMOUTH AND UTILITY COMPANIES. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING IN CABLES.
3. ALL SEWER, DRAINAGE AND WATER INSTALLATIONS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE PORTSMOUTH PUBLIC WORKS DEPARTMENT AND THE NHDES. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
4. VERIFY LOCATION OF UTILITY BOXES WITH OWNER AND UTILITY COMPANIES.
5. ALL UTILITY STRUCTURES SHALL BE SET FLUSH WITH PROPOSED GRADE.



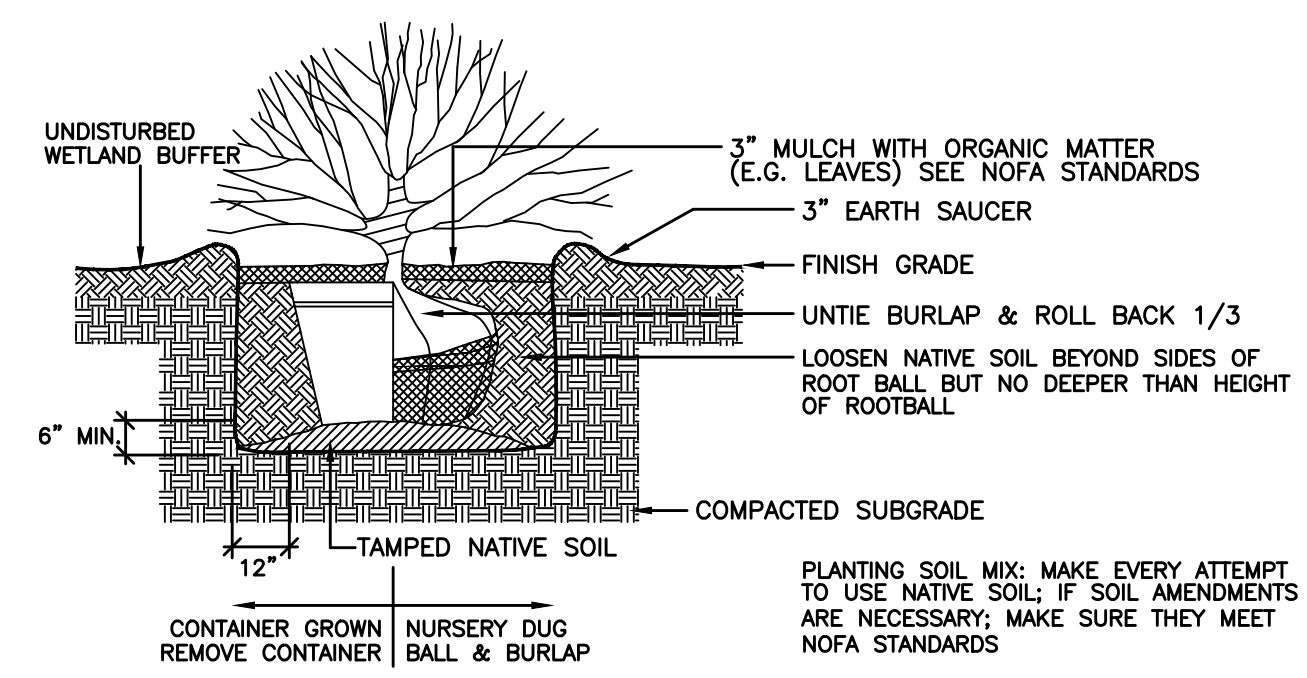
**CRUSHED GRAVEL SIDEWALK NOT TO SCALE**



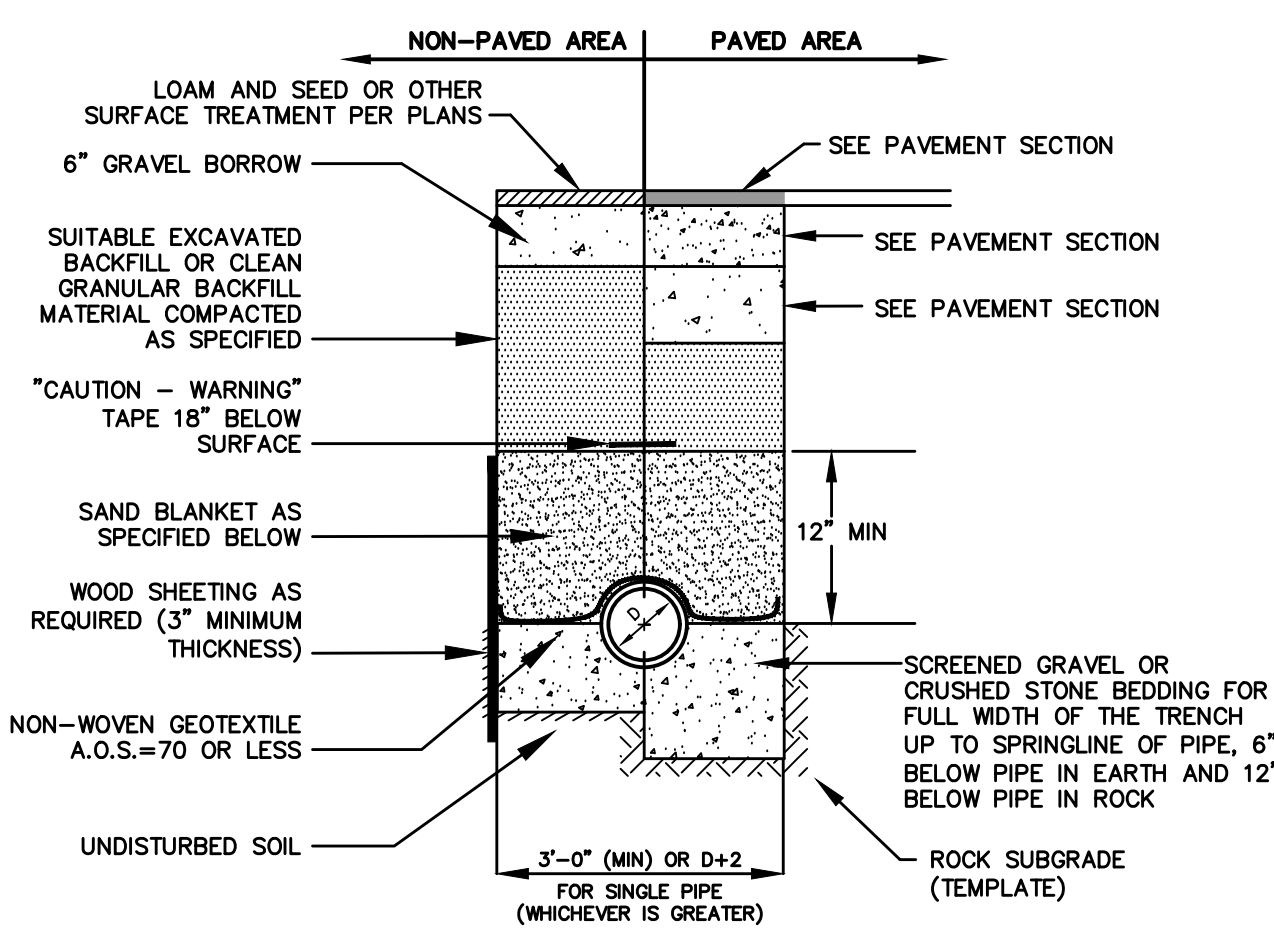
**FILTREXX SILTSOXX DETAIL NOT TO SCALE**



**ROOF DRIP EDGE NOT TO SCALE**



**BLUEBERRY PLANTING DETAIL NOT TO SCALE**



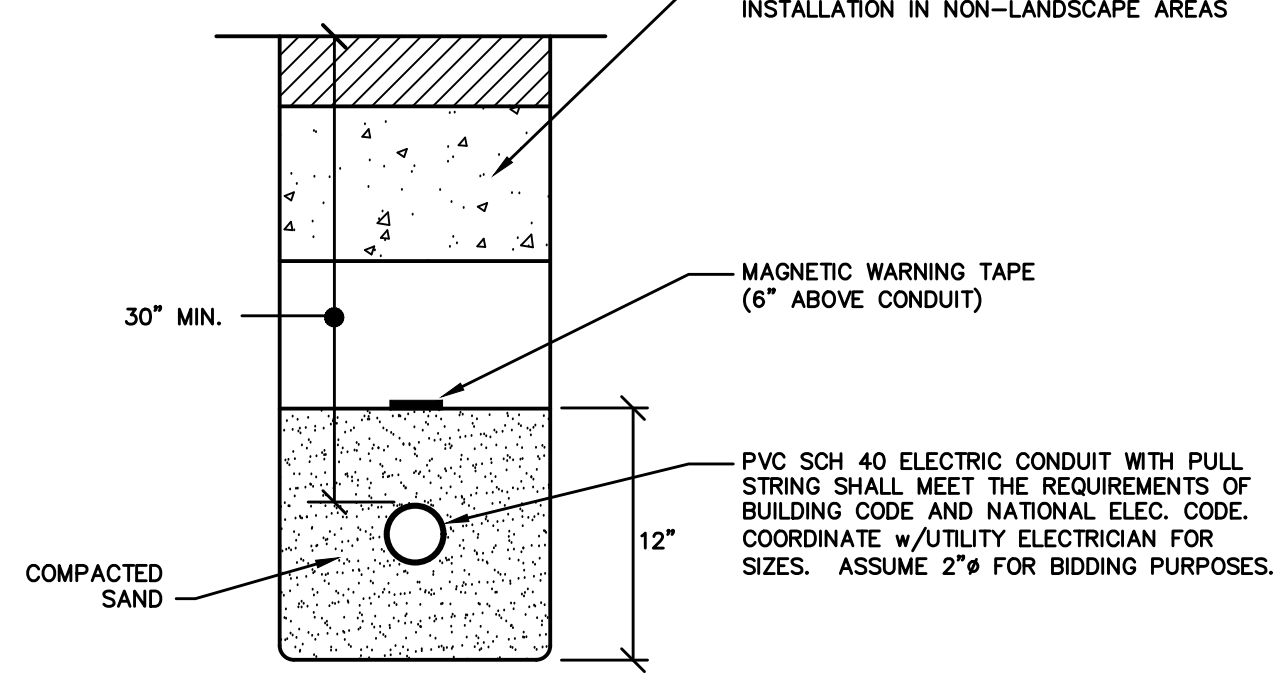
**NOTES**

1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
2. INSULATE GRAVITY SEWER AND FOREMANS WHERE THERE IS LESS THAN 5'-0" OF COVER WITH 2" THICK CLOSED CELL RIGID BOARD INSULATION, 18" ON EACH SIDE OF PIPE.
3. MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION AND WIDEN TRENCH ACCORDINGLY IF MULTIPLE PIPES ARE IN TRENCH.

SAND BLANKET/BARRIER		SCREENED GRAVEL OR CRUSHED STONE BEDDING*	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

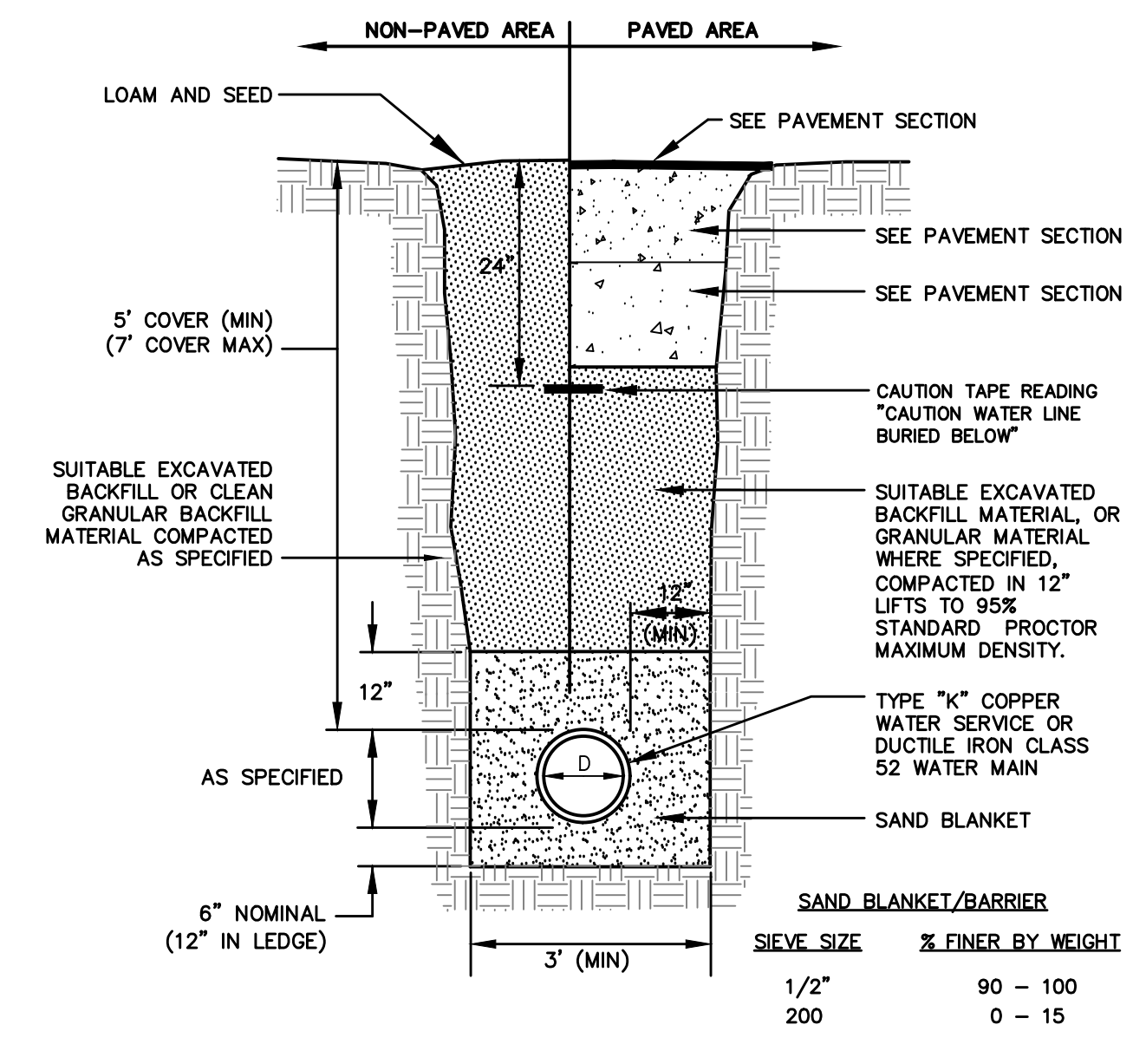
\* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

**SEWER TRENCH NOT TO SCALE**



- NOTES**
1. CONTRACTOR TO COORDINATE WITH MEP PLANS AND ELECTRICIAN AND PROVIDE ALL EXCAVATION, COMPACTION AND BACKFILL REQUIRED FOR CONDUIT INSTALLATION.
  2. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

**LIGHTING TRENCH SECTION NOT TO SCALE**



- NOTES**
1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
  2. WATER MAINS SHALL BE POLY WRAPPED.
  3. WATER MAINS SHALL HAVE 3 WEDGES PER JOINT.

**WATER MAIN TRENCH NOT TO SCALE**

**ENGINEER:**

133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com

*Eric D. Wehrli*  
3/28/22

**ISSUED FOR:**  
**PLANNING BOARD APPLICATION**

**ISSUE DATE:**  
**MARCH 28, 2022**

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	02/23/22
1	PER CON COMM REVIEW	EDW	03/28/22

**DRAWN BY:** MBS  
**APPROVED BY:** EDW  
**DRAWING FILE:** 3950SITE.DWG

**SCALE:**  
**22" x 34" - NOT TO SCALE**

**OWNER OF RECORD/APPLICANT:**  
**SOCIETY FOR THE PROTECTION OF N.H. FORESTS**  
**54 PORTSMOUTH ST. CONCORD, NH 03302**

**PROJECT:**  
**PROPOSED PUBLIC RESTROOMS AT THE CARRIAGE HOUSE CREEK FARM**  
**400 LITTLE HARBOR ROAD PORTSMOUTH, NH**  
**TAX MAP 203, LOT 08**

**TITLE:**  
**CONSTRUCTION DETAILS**

**SHEET NUMBER:**  
**2 OF 2**

P-3950



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists



April 7, 2022

Rick Chellman, Chair  
Portsmouth Planning Board  
1 Junkins Ave, 3rd Floor  
Portsmouth, NH 03801

**RE: Planning Board Submission for Wetland CUP Submission & Rev 6 Plans  
325 Little Harbor Road, Portsmouth, NH – Tax Map 205 Lot 2  
Project #47099.01**

Dear Mr. Chellman:

On behalf of our client, ADL 325 Little Harbor Road Trust, please find updated plans, including revised utility design as part of the **Wetland Conditional Use Permit (CUP)** submission relative to the above-referenced project. The following materials have been submitted via ViewPoint and hard copies are also included in this submission:

- **Client Authorization Letter (1 copy);**
- **Portsmouth Wetland CUP Application, Marked Up on February 23, 2022 (Current) (1 copy);**
- **Land Management Plan (1 copy);**
- **History of the Proposed Residential Project to TAC, from Hoefle, Phenix, Gormley & Roberts, PLLC Attorneys at Law, dated April 1, 2022 (1 copy);**
- **Draft Access Easement for Water Services (Granted to City of Portsmouth for Utility Access for Leak Detection and Metering) (1 copy);**
- **MEP Letter of Intent (1 copy); and**
- **Site Development Plans entitled “Site Development Plans, Tax Map 205 Lot 2, Lady Isle Site Renovations, 325 Little Harbor Road, Portsmouth New Hampshire”, prepared by TFMoran, Inc., dated September 29, 2021, revised April 4, 2022 (1 copy at 22”x34”).**

Although TAC review is not required for Single Family Residential Homes, the client agreed to attend TAC, at the request of the Planning Department and DPW, to provide further details of the proposed utilities. The project was approved at the April 5<sup>th</sup> TAC meeting.

On April 4<sup>th</sup>, TAC provides comments which were addressed in TFM’s Revision 6 plan set. For the record, we have provided TAC’s comments along with our responses, which are shown in ***bold italics***. The following comments were resolved during the April 5<sup>th</sup> TAC Meeting:

**TAC REVIEW COMMENTS:**



1. Item to be addressed before Planning Board submittal: Sewer force main has more than one high point. Should be designed and stamped by design engineer. Plan to accommodate high points and air relief.

***Typical with most force main designs, similar to the Sagamore Avenue Sewer Extension Project, EOne's representative F.R. Mahoney and Associates assisted with the sizing of the pipe and pump and provided EOne's design guidance. It is the civil engineer's responsibility to locate the force main horizontally and vertically, locate cleanout and air release manhole locations, provide details, sewer profiles, etc. TFM has provided this information within the plan set, which have been stamped by a Professional Engineer.***

***EOne's normal recommendation for air release valves are at peak of 25 feet or more (regardless of dips less than 25 feet) and/or at intervals of 2,000 FT to 2,500 FT. TFM's force main design is just over 3,000 FT long, and originally only included one air release valve within Belle Isle Road's private driveway. The location met the spacing requirement, in between SMH-5 and SMH-6 and were no further from 2,500 SF from either manhole. Additionally, the air release met the vertical spacing requirements, located at least 25 feet in height between SMH-5 and SMH-6.***

***Regardless, an additional two valves have been provided to relieve DPW's concern and provide a conservative design. The total proposed air release valves are three. The additional valves are just after the bridge and one within a relative high point within Little Harbor Road.***

2. Items to be addressed before construction: Confirm high points in force main does not require air release valve for air entrapment.

***Please refer to the response above.***

### Project Description

The project includes the replacement of a single-family residence on 325 Little Harbor Road. The existing property is approximately 12.3 acres and currently contains a 2-story house, guest cottage, carriage house, barn, horse barn, horse paddock, shed, and paved driveway. The site is an island within the Rural Zoning District and surrounded by the Piscataqua River. A portion of the development is located within the 100' Tidal Wetland Buffer.

The purpose of this proposal is to demolish the existing house, carriage house, and paddock and to construct a 2-story single-family home, garage, pool, pool cabana, playground, and utility connections via Little Harbor Road; renovate an existing barn and guest cottage; and replace an existing shed and barn with a new shed and barn. The project proposes a total 34,700 SF of impervious area (7%) upon the island within the Highest Observable Tide line. Associated improvements include and are not limited to access (primarily permeable pavers), grading, stormwater management, utilities, and landscaping.

On the mainland side of the bridge, along the Belle Isle Road driveway easement, the intent is to simply install underground utilities and repave the driveway. This will not cause any impacts to woodland area nor increase in impervious area.

The **Total Tidal Wetland Buffer Area is 389,213 SF** within the island and driveway easement. Within this area, the total proposed **disturbance within the Tidal Wetland Buffer Area is 195,656 SF** (58% of Tidal Wetland Buffer Area). The **Temporary Tidal Wetland Impact is 17,189 SF**, primarily required to provide access for construction for suspending utilities from the existing bridge. This impact is also to allow for temporary access beneath the bridge for construction. These calculations are best depicted on Sheet C-04 "Wetland Conditional Use Permit Plan".

All proposed landscape areas propose native vegetation within the Buffer. The combined woodland, lawn, landscaped, and permeable area accounts for 92% of the island's Buffer Area, permitting approximately 8% of the Buffer as impervious. **On the entire island, the project includes a net removal of 16,671 SF of impervious surfaces**, also resulting in a net loss of impervious surface within a jurisdictional wetland buffer. There is also no increase of impervious surface on the entire Lady Isle Road driveway side for the repaving.

### Utility Design

The existing utilities serving the residential island include water from Little Harbor Road via the Belle Isle Road, septic system, and overhead electric from Pleasant Point to the island. The intent is to remove the existing water, which is undersized for the proposed improvements and freezes due to improper insulation and burial depth. The septic system will be decommissioned and removed. Pending coordination with Eversource, the overhead electric utilities may be removed via Pleasant Point and replaced with underground.

All proposed utilities will be located along the existing driveway easement of Belle Isle Road. The utilities will conform to Portsmouth DPW and state standards. Gas and sewer are available in Sagamore Avenue and other utilities are available within Little Harbor Road.

Additionally, as recommended by the Conservation Commission during their original November 2021 approval, our team has been exploring the use of geothermal energy. This would be paired with solar energy. The area considered for solar panels is within the previously disturbed horse paddock area, which is a grassed and meadow area. The proposed solar panels will be entirely outside the 100' Wetland Buffer and 150' Natural Woodland Buffer. No trees are expected to require removal beyond what is show on the plan. There is an ongoing solar study and cost-benefit analysis to determine if the geothermal energy and solar panels are feasible to provide supplemental energy needs. Further permitting would be obtained, as necessary, however it is outside of the jurisdictional wetland buffer.

### Basis for Wetland CUP Approval

In accordance with section 10.1017.50, Criteria For Approval, we've addressed the six (6) criteria as follows:

- (1) The proposed residential improvements are zoned for single family use and reasonably suited for the island. The proposed alteration is within a previously disturbed area and preserves almost half of the island as woodlands. Consider that other possible uses are Open Space PUD's, assisted living, residential care, daycares, or other less preferable uses per Zoning. These uses would likely require larger footprints and human activity that may disturb wildlife. Unlike these for-

profit uses, the homeowners are stewards of the land. At their own expense and decision, they have provided enhanced landscaping, beyond the requirements of Zoning. Additionally, beyond requirements, they have provided a Land Management Plan to control invasive species and restore native plants. The landscaping has been designed to promote wildlife habitat and healthier ecosystem.

**(2) & (5)** Alternative locations for the development have been considered in previous years. In a previous layout, the design was primarily outside of the 100' Wetland Buffer, which is the western, wooded side of the island. While this design limited impact to the wetland buffer, it required removal of the upland wooded area. It was the Conservation Commission's opinion that development should maintain the majority of the woods on the island and be located within previously disturbed areas, as it is now proposed. The design is intended to provide the least adverse impact to areas and environment within the 100' Wetland Buffer.

**(3) & (4)** Most of the impact area is to convert areas from pavement and lawn, to open space, such as landscape areas or drought-tolerant meadows, with the goal of establishing more vegetation. Alterations of woodland will occur only to the extent necessary to achieve construction goals.

The project does not propose any permanent wetland impacts, only Tidal Wetland Buffer Impacts within previous development. Temporary wetland impacts are proposed within the Tidal Flats of the Piscataqua River for construction access related to the bridge.

The island will benefit from an overall reduction in impervious area, increased natural vegetation, and improved groundwater infiltration through stormwater infiltration practices. No adverse impact on the wetland functional values of the site or surrounding properties are proposed.

**(6)** Areas on the western half of the island within the vegetated buffer strip are natural woodland and will remain this way. Areas on the eastern half of the island within the vegetated buffer strip are primarily lawn. Much of this area will be converted from lawn to landscape areas and/or a vegetated meadow. A significant portion of the Buffer will be restored to natural vegetation, particularly along the water line and the seawall.

### Project History & City and State Permit and Approval Status

As explain in the the attached letter from HPGR Attorney's at Law and quoted here: *This project has been pending since August 2017, when ADL first applied for a CUP to replace the existing home and renovate/construct associated residential structures on the Property. That CUP received full Planning Board and Conservation Commission review at the time and was approved shortly thereafter on September 25, 2017. The proposal also received NHDES Wetland and Shoreland permitting approval in February 2018. Construction of the project lapsed, as a result of the untimely death of ADL's general contractor at the time.*



**Planning Board Submission for Wetland CUP Submission & Rev 6 Plans  
325 Little Harbor Road, Portsmouth, NH – Tax Map 205 Lot 2**

**April 7, 2022**

*On September 29, 2021, ADL applied for a new CUP for a modified design in a new location on the Property. ADL met with the Planning Board and Conservation Commission in November 2021. The proposal received a favorable recommendation from the Conservation Commission for the modified project and was originally scheduled for the December 16, 2021 Planning Board meeting.*

*Shortly prior to the December Planning Board hearing, however, City staff requested that the project be reviewed by TAC due to complexities related to utilities. ADL voluntarily agreed to review despite the fact that TAC is not required for residential projects such as ADL's pending proposal.*

Since the continuance of the originally scheduled December 2021 Planning Board meeting, our team has obtained TAC approval and Conservation Commission favorable recommendation. TFM has already obtained a NHDES AoT Permit and are seeking amendments for NHDES Shoreland and Wetland permits. TFM has also submitted to DPW and NHDES Wastewater for sewer permits. Additionally, we have received Planning Board DADU CUP approval for the Guest Cottage in February 2022.

On behalf of our client, we respectfully request review and approval for a Wetland Conditional Use Permit.

We appreciate your consideration of these matters and look forward to presenting this project to you at the April 21, 2022, Planning Board meeting.

Respectfully,  
**TFMoran, Inc.**

**Corey Colwell, LLS**  
Division Manager | Principal

**Hannah Giovannucci, PE**  
Civil Project Manager

JCC/heg

cc: Anthony Dilorenzo, ADL 325 Little Harbor Road Trust (via e-mail)  
Stephen Roberts, Hoefle, Phoenix, Gormley & Roberts (via [sroberts@hpgrlaw.com](mailto:sroberts@hpgrlaw.com))  
Jim Youngblood, Youngblood Builders (via [jim@youngbloodbuilders.com](mailto:jim@youngbloodbuilders.com))  
Bernie Lee, Severino Construction (via [blee@severinotrucking.com](mailto:blee@severinotrucking.com))  
Matthew Cunningham, MCLD (via [matthew@matthew-cunningham.com](mailto:matthew@matthew-cunningham.com))  
Mickey Benson, GPSchafer (via [mbenson@gpschafer.com](mailto:mbenson@gpschafer.com))





Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

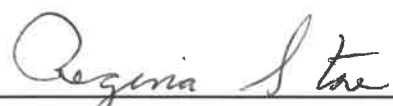
## Letter of Authorization

I, Anthony DiLorenzo, The ADL 325 Little Harbor Road Trust, 127 Parrott Avenue, hereby authorize MSC a division of TFMoran, Inc., 170 Commerce Way, Suite 102, Portsmouth, NH, to act on my behalf concerning property owned by The 325 Little Harbor Road Trust, located at 325 Little Harbor Road, Portsmouth, NH, known as Tax Map 205, Lot 2.

I hereby appoint MSC a division of TFMoran, Inc. as my agent to act on my behalf in the review process, to include any required signatures.

  
 \_\_\_\_\_  
 The 325 Little Harbor Road Trust

11/21/19  
 \_\_\_\_\_  
 Date

  
 \_\_\_\_\_  
 Witness

11/21/19  
 \_\_\_\_\_  
 Date



2/23/2022

## Conservation Commission & Planning Board Submission for Wetland CUP

Please revise the following to the form:

Land Use Application

**LU-22-23**

---

### Your Submission

Attachments

Guests (0)

---

- ✔ Preliminary Application Review
- ✔ Land Use Permit -- Planning Department Review and Fee Calculation
- ▶ Application Permit Fee
  - Land Use Code Review
  - Conservation Commission Review
  - Planning Board Conditional Use Permit (Wetlands) Approval
  - Land Use Conditions of Approval Review
  - Building Permit Issued

### Your submission

Submitted Feb 15, 2022 at 4:45pm

---

### Contact Information

**Corey Colwell**

Email address

ccolwell@tfmoran.com

Phone Number

603-431-2222

Mailing Address

170 Commerce Way , Portsmouth, NH 03801

---

---

## Location

**325 LITTLE HARBOR RD**  
Portsmouth, NH 03801



---

## Applicant Information

Please indicate your relationship to this project \* 

B. Property Owner's Representative

---

## Alternative Project Address

Alternative Project Address 

--

---

## Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

--

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

--

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

--

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

--

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

--

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

--

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

--

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

--

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

--

Request for Extension of Previously Granted Land Use Approval

--

Appeal of an Administrative Decision or Request for Equitable Waiver

--

---

## Zoning Information

Base Zoning District

Rural Residential (R)

Base Zoning District 2 

--

Historic District

--

Flood Plain District



Downtown Overlay District

--

Osprey Landing Overlay District

--

Airport Approach Overlay District

--

Waterfront Use Overlay District

--

North End Incentive Overlay District

--

West End Incentive Overlay District

--

Highway Noise Overlay District

--

---

### **Application Type**

Lot Line Revision (Planning Board)

--

Subdivision (Planning Board)

--

Amended Subdivision or Lot Line Revision Approval

--

Wetland Conditional Use Permit (Planning Board)



Amended Wetland Conditional Use Permit (Planning Board)



Uncheck please?

Accessory Dwelling Unit / Garden Cottage Conditional Use Permit (Planning Board)

--

Site Plan Review (Planning Board)

--

Amended Site Plan Review

--

Other Conditional Use Permit (Planning Board)

--

Variance (Zoning Board of Adjustment)

--

Special Exception (Zoning Board of Adjustment)

--

Historic District Certificate of Approval (Historic District Commission)

--

Request for Extension of Previously Approved Application 

--

Appeal of Administrative Decision 

--

Equitable Waiver

--

---

## Project Description

Lot Area (s.f.)

535,990

## Lot Area Source

--

## Detailed Description of Proposed Work \*

Replace an existing residential home; remove carriage house and paddock, construct new garage, pool, pool cabana, playground, utility connections; renovate existing barn and guest cottage, and replace existing shed and barn. Associated improvements include and are not limited to access, grading, stormwater management systems, utilities, and landscaping improvements.

## Brief Description of Existing Land Use \*

Residential

---

## Land Use Application Fee Calculation

Area of disturbance in wetland or wetland buffer (s.f.)

--

---

## Existing Buildings/Structures


Building / Structure Description	Total Gross Floor Area (s.f.)	Area of Footprint (s.f.)	...
Residential Home	4,180	4,201	...
Guest Cottage	2,056	1,300	...
Barn	3,800	2,130	...
Carriage House	1,982	1,982	...
Horse Shed	467	467	...
Shed	48	48	...

---

## Existing Yards, Coverage, Parking, and Wetlands

Principal Front Yard / Building Setback (ft) 

--

Secondary Front Yard / Building Setback (ft) 

--

Rear Yard / Building Setback (ft) ?

--

Right Side Yard / Building Setback (ft) ?

--

Left Side Yard / Building Setback (ft) ?

--

Total # of Residential Units

2

Number of Parking Spaces

--

Number of Loading Spaces

--

Area of Surface Parking & Driveways (sq ft) ?

22,378 — 29,732

Other Impervious Surface Area (sq ft) ?

21,718 — 21,639

Is all or a portion of the property located in the wetland area and/or within 100' of the wetland boundary? ?



### Proposed Building/Structures (REQUIRED)

Building / Structure Description	Total Gross Floor Area (sq ft)	Area of Footprint (s.f.)	...
Residential House	10,766	6,227	...
Garage	2,212	1,475	...
Guest Cottage	1,320	660	...
Pool Cabana	368	368	...
Shed	384	384	...
Barn	3,882	2,806	...



Building / Structure Description	Total Gross Floor Area (sq ft)	Area of Footprint (s.f.)	...
Barn	722	722	...

---

### Additional Proposed Building Information

Number of new hotel rooms

--

Total New Restaurant Use Gross Floor Area

--

---

### Proposed Yards, Coverage, Parking and Wetlands (REQUIRED)

Principal Front Yard / Building Setback (ft) ?

--

Secondary Front Yard / Building Setback (ft) ?

--

Rear Yard / Building Setback (ft) ?

--

Right Side Yard / Building Setback (ft) ?

--

Left Side Yard / Building Setback (ft) ?

--

Total # of Residential Units ?

--

Number of Parking Spaces ?

--

Number of Loading Spaces ?

--

Area of Surface Parking & Driveways (sq ft) ?

17,154 — 15,860

Other Impervious Surface Area (sq ft) ?

30,641 — 31,894

Are you proposing to do any work in the wetland area or within 100' of the wetland boundary? ?

--

---

### Wetland Conditional Use Permit -- Impacted Jurisdictional Areas

Inland Wetland

--

Tidal Wetland



Inland Wetland Buffer



Tidal Wetland Buffer



Vernal Pool

--

---

### Wetland or Wetland Buffer Activity

Total Area of Inland Wetland (both on and off the parcel) (Sq.Ft.)

4532

Total Area of Vernal Pool (both on and off the parcel) (Sq.Ft.)

--

Distance of proposed structure or activity to edge of wetland (ft.):

0

Wetland Buffer Total Area on Lot (Sq.Ft.)

46,415

Wetland Buffer Area to be Disturbed (Sq.Ft.)

--

Inland Wetland Total Area on Lot (Sq.Ft.)

0

Inland Wetland Area to be Disturbed (Sq.Ft.)

--

Vernal Pool Total Area on Lot (Sq.Ft.)

--

Vernal Pool Area to be Disturbed (Sq.Ft.)

--

Tidal Wetland Total Area on Lot (Sq.Ft.)

389,213

Tidal Wetland Area to be Disturbed (Sq.Ft.)

195,656

---

### Review by Independent Certified Wetland Scientist

I have read and understand the above information. I will pay any additional fees due as required.

--

---

### Project Representatives

Relationship to Project	If you selected "Other", please state relationship to project.	Full Name (First and Last) ...
Engineer	--	Hannah Giovannucci ...

---

### Plan Submission

I understand that this application will not be considered complete until I have provided the required plans and any additional submission requirements. I also understand that any hard copies as required by the Planning Department are required to be submitted prior to the application deadline. (You will be prompted at the next screen to upload your plans.) \*




I have reviewed the application requirements provided on the Planning Department's web page -- [www.cityofportsmouth.com/planportsmouth/land-use-applications-forms-and-fees](http://www.cityofportsmouth.com/planportsmouth/land-use-applications-forms-and-fees). \*



---

### Acknowledgement

I hereby certify that as the applicant for permit, I am \* 

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Civil Engineer

I certify that the information given is true and correct to the best of my knowledge. \*



I understand that I am responsible for paying any applicable application fees and that I will be invoiced separately for legal and abutter notification costs as well. \*



Is this property under condominium ownership? 

--

I understand that it is the obligation of the applicant to submit adequate documents, plans, and exhibits to demonstrate compliance with the Zoning Ordinance. \*



By signing below, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction. \*

 Hannah Giovannucci  
Feb 15, 2022

---

## **INTERNAL USE -- Land Use Approvals**

Historic District Commission

--

HDC Approval Granted

--

Zoning Board of Adjustment

--

BOA Approval Granted

--

Zoning Relief Required

--

Conservation Commission Review

--

Conservation Commission Review Completed

--

Conditional Use Permit (Wetlands)

--

Wetland CUP Granted

--

Conditional Use Permit (Other)

--

Other CUP Granted

--

Prelim. Concept. Consultation

--

Prelim. Concept. Consultation Completed

--

Design Review Phase

--

Design Review Phase Completed

--

Subdivision / Lot Line Revision

--

Subdivision / Lot Line Revision Granted

--

Site Plan Review

--

Site Plan Review Granted

--

Technical Advisory Committee Review

--

TAC Review Completed

--

Internal consistency review required 

--

Certificate of Use Required

--

Stipulations

--

Additional Planning Department Comments

--

## Your Profile

[Your Records \(/dashboard/records\)](/dashboard/records)

## Resources

[Search for Records \(/search\)](/search)

[Claim a Record \(/claimRecord\)](/claimRecord)

[Employee Login \(https://portsmouthnh.viewpointcloud.io\)](https://portsmouthnh.viewpointcloud.io)

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Portal powered by **OpenGov**

# Land Management Plan

A Narrative for Invasive Plant Management  
and Native Plant Restoration

325 Little Harbor Road, Portsmouth, NE

Fall 2021



PARTERRE  
ECOLOGICAL



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## Introduction and Primary Goals

The Dilorenzo residence is located at 325 Little Harbor Road in Portsmouth. The 11-acre island lies near the mouth of the Piscataqua River and the majority of the site is within the 100' tidal river buffer. An inventory of existing native and invasive plant species can be found in this plan.

The primary goal of this plan is to seek approval from the Portsmouth Conservation Commission to offset home construction and landscape improvements within the 100' Tidal buffer. We propose to remove invasive species on site and to restore the area with native species that will benefit the ecosystem around Piscataqua Rive and reduce further incursion of invasive species on the island. An inventory of existing native and invasive plant species can be found in this plan.

We propose removing invasive species by low-impact manual hand methods and cut & dab herbicide application by licensed applicators. All invasive species greater than 1" in caliper will be cut and dabbed with herbicide to reduce the chance of erosion along the banks. All existing erosion will be stabilize and any soil disturbed during planting will be stabilized and seeded with native wildflower mix. Techniques are outlined in the report. After removal of invasive species we will restore with native shrubs and perennials that will help prevent resurgence of the invasive plants and enhance the existing ecology.



A mass of invasive Multiflora Rose along the edges of the horse paddock with maturing Black Swallowwort pods hanging from the stem. The majority of the western portion of the island is healthy pine/oak forest, but invasives are dense in areas with historically high disturbance. We propose managing all invasive species and replacing with native alternatives.



## 325 Little Harbor Road Invasive Plant Inventory

Mature invasive species have developed isolated populations along the tidal river buffer and threaten to spread into an otherwise healthy native ecosystem. We propose controlling invasive plant species that have developed self sustaining populations on the Dilorenzo's property and restoring with native species. The physiology of the invasive plants has enabled them to out compete the native plant community and compromise the ecological value of the native plant community. The dominant invasive plants, including Multiflora Rose and Barberry, disrupt the formation of a native understory by filling ecological niches and resisting any browsing by native species. A very small Japanese Knotweed population exists near the southwestern corner of the paddock. It can spread quickly in coastal areas and should be managed before it can establish itself. All invasive perennials and shrubs with viable fruit will be removed from the site. Poison Ivy is a native species with valuable ecological benefits. We propose control the and areas of human traffic.

### ***Invasive Plant Species Identified:***

*Acer platanoides*, Norway Maple  
*Alliaria petiolata*, Garlic Mustard  
*Berberis thunbergii*, Japanese Barberry  
*Celastrus orbiculatus*, Asiatic Bittersweet  
*Cynanchum louiseae*, Black Swallowwort  
*Elaeagnus umbellata*, Autumn Olive  
*Fallopia japonica*, Japanese Knotweed  
*Frangula alnus*, Glossy Buckthorn  
*Lonicera morrowii*, Morrow's Honeysuckle  
*Rhamnus cathartica*, Common Buckthorn  
*Rosa multiflora*, Multiflora Rose

### ***\* Likely Invasive Plant Species Identified:***

*Artemisia vulgaris*, Mugwort  
*Deutzia scabra*, Fuzzy Deutzia  
*Ligustrum vulgaris*, Common Privet  
*Rhodotypos scandens*, Jetbead  
*Vitus sp.*, Grape (Native but control)

\* While not listed as an Invasive Species by ISC (New Hampshire Invasive Species Committee) these species can dominate the shrub layer and crowd out native trees and shrubs. We recommend removal of along with listed invasive plant species in wetland buffers and replace with native shrubs and trees.



Black Swallowwort releasing seedheads in the paddock. The majority of this area is a healthy goldenrod/blackberry meadow with patches of Milkweed, but Black Swallowwort can establish itself quickly and releases compounds in the soil to limit its competitor. Without intervention there will likely be a large infestation.





Property area



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019  
Data updated 7/17/2019

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



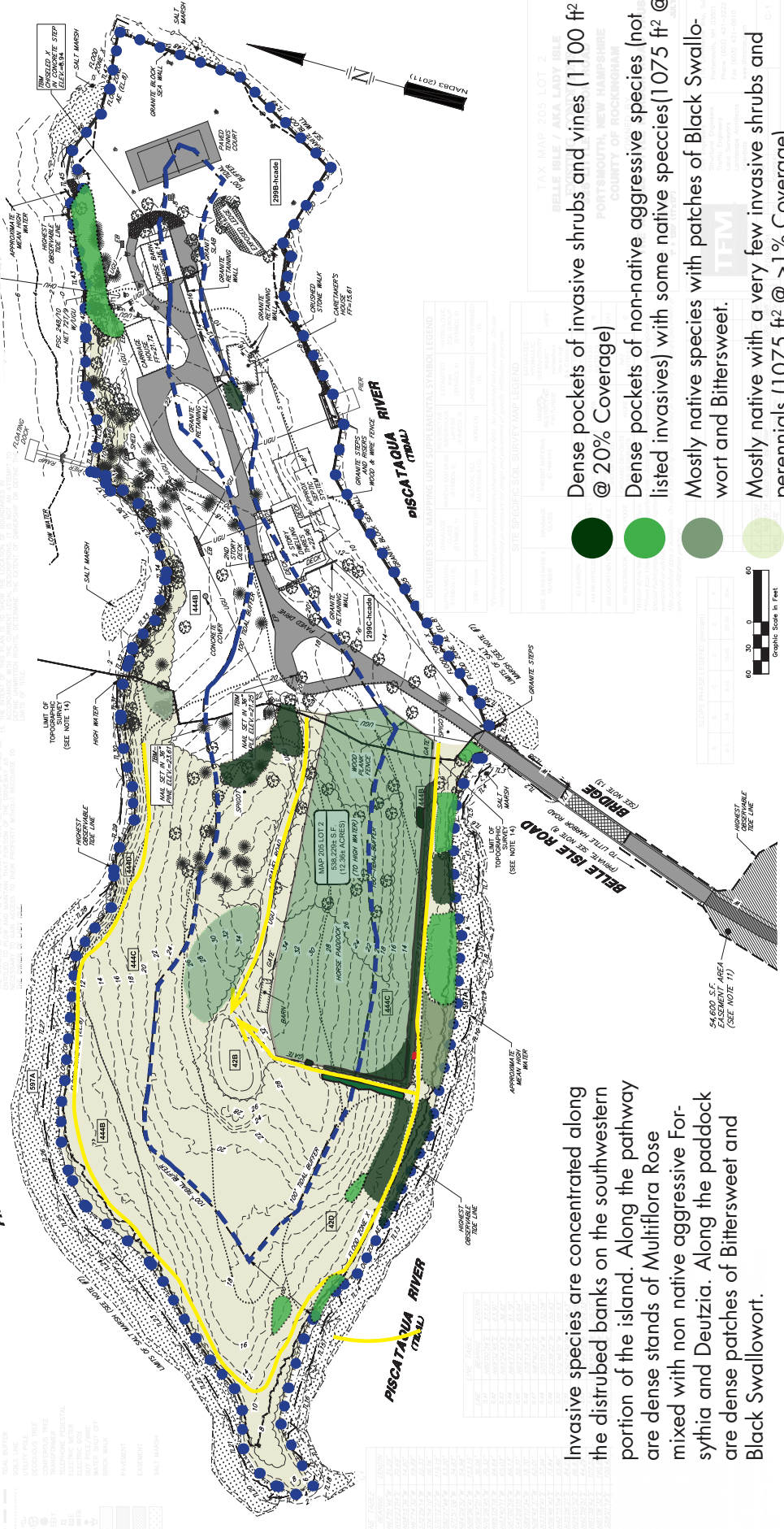


**NOTES:**

1. THE PLANNING IS BASED ON THE DATA PROVIDED BY THE CLIENT AND THE INFORMATION OBTAINED FROM VISUAL INSPECTION AND FIELD SURVEY.
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**PLAN REFERENCES:**

- 1. MAP 200 LOT 2 (SEE NOTE 1)
- 2. MAP 200 LOT 3 (SEE NOTE 1)
- 3. MAP 200 LOT 4 (SEE NOTE 1)
- 4. MAP 200 LOT 5 (SEE NOTE 1)
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- Dense pockets of invasive shrubs and vines (1100 ft<sup>2</sup> @ 20% Coverage)
- Dense pockets of non-native aggressive species (not listed invasives) with some native species (1075 ft<sup>2</sup> @ 20% Coverage)
- Mostly native species with patches of Black Swallowwort and Bittersweet.
- Mostly native with a very few invasive shrubs and perennials (1075 ft<sup>2</sup> @ >1% Coverage)
- Japanese Knotweed (20 ft<sup>2</sup>)
- Wetland Buffer
- Highest Observable tide line
- Existing Pathways

Invasive species are concentrated along the disturbed banks on the southwestern portion of the island. Along the pathway are dense stands of Multiflora Rose mixed with non native aggressive Forsythia and Deutzia. Along the paddock are dense patches of Bittersweet and Black Swallowwort.



**325 Little Harbor Road**  
**Invasive Plant Images**



Japanese Barberry with Deutzia and Black Swallowwort at the edge of the forest



Autumn Olive in the open paddock



Garlic Mustard seedheads with Mugwort on the northern bank



Japanese Barberry with viable fruits



A single small population of Japanese Knotweed on site should be managed as soon as possible



## 325 Little Harbor Road

### Invasive management techniques

We propose a combination of manual hand removal and cut & dab herbicide to control invasive plant species within the identified project areas over a phased time line. Once the initial identified invasive plant species have been removed by manual methods (described below), we propose seeding all exposed soil with native seed blend and begin planting identified tree, shrub and perennial plant species selected from the native plant community list that will increase the density and diversity of the existing wetland buffers.

#### Manual Hand Removal Methods:

Manual methods of invasive plant management will include hand pulling or cutting. To minimize soil disturbance, shallow-rooted invasive plants less than 1" in caliper will be hand pulled from the soil. Invasive plant species greater than 1" in diameter will be cut. All invasive plant material will be disposed of off site. Manual hand pulling and cutting will remove all invasive plants from the wetland buffer.

**Cut and Dab and Foam application:** All invasive plant species that have a base greater than 1" in caliper are proposed for herbicide application methods. Although invasive, the root systems of plants greater than 1" in caliper usually have extensive fibrous root systems, providing soil stabilization. So we propose a cut & dab method of application of a Triclopyr based herbicide (Garlon) or Glyphosate based herbicide approved for wetland use (trade name Rodeo) on individual cut stumps. Licensed Pesticide Applicators will complete all aspects of the proposed restoration. For treatment of perennial species that cannot be controlled with cut and dab or by manual methods should be treated by a foam based herbicide that is wiped onto the leaves using a cotton glove. This hyper-specific treatment limits any treatment of non-target plants. No treatment will occur in areas of standing water.



Qualified applicators with necessary Personal Protective Equipment paint the stems of invasive species after cutting



Proposed cut stump treatment (below) using hand tools and applying marking dye to eliminate possibility of treatment of stump twice, or missing stump entirely. (Above) Foam treatment allows highly specific placement of herbicide to remove invasive perennials that limits disturbance and protects surrounding species



## 325 Little Harbor Road Asiatic Bittersweet ID and Management

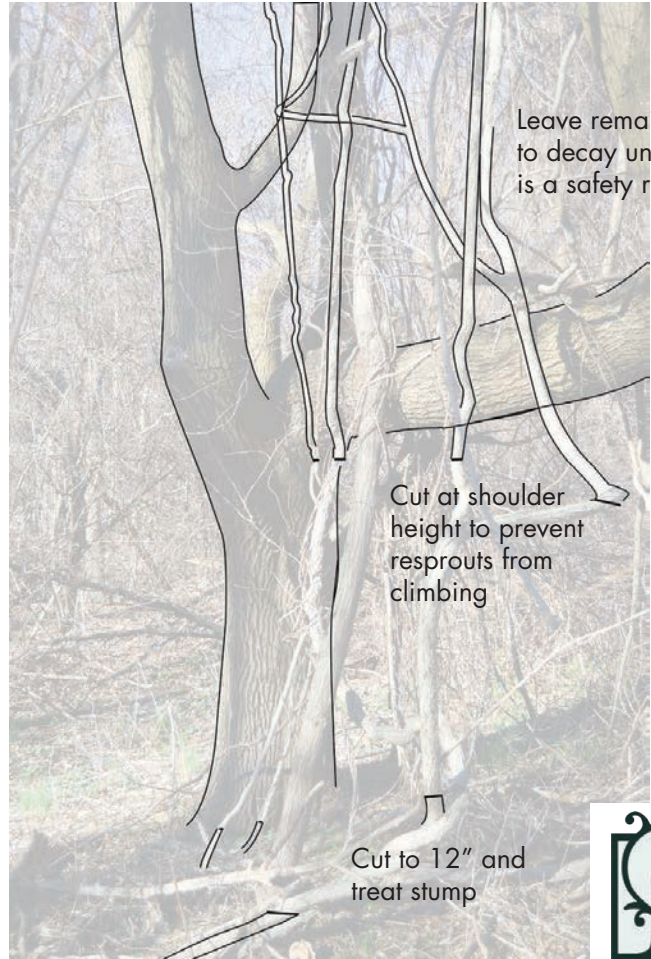
Invasive Bittersweet (*Celastrus orbiculatus*) have the capacity to girdle, weaken, and even kill mature canopy trees. Without some frequency of removal, they will eventually open large holes in the canopy while suppressing saplings from filling the holes. They readily resprout after being cut and can damage the aesthetic and ecological value of meadows.

Mature stems produce thousands of bright red berries that mature in late fall and are spread by birds.

Removing the entire vines from trees is often dangerous and unnecessary (unless it poses safety risk). Our team recommends making cuts at shoulder height followed by a cut at 12" and immediate herbicide treatment. Bittersweet aggressively suckers after cutting so it is important to cut and treat during or after its flowering period (late June to December).



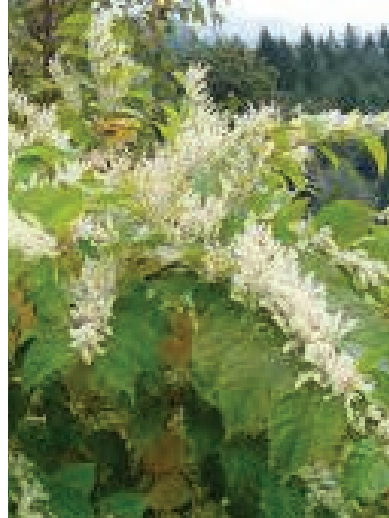
Identification: Alternate, circular light green leaves 2-5 in. long. Distinctive, large light colored vine. Red berries with orange casing appearing in late fall. Seedlings have light green leaves. Deep orange roots.





## 325 Little Harbor Road Japanese Knotweed Management

Japanese Knotweed (*Fallopia japonica*) is one of the most difficult invasive species to control. Its main mode of spreading is through cut portions of its rhizomes or stem, which can actively resprout even when 1 inch in length. Growing 10-15' and shading out any competitors, Japanese Knotweed can quickly form a monoculture. It can take 2-5 seasons to fully contain through repeat herbicide treatments. It is at its weakest point during the flowering stage, when nutrients are flowing back into the roots (Aug, Sept.) Unfortunately, taproots can extend over 6' below the ground making organic eradication nearly impossible without excavation. There are two ways to approach treatment.



Identification: Herbaceous perennial, with long heart shaped leaves. Young sprouts can be red, rhubarb in nature. Extensive roots can spread and colonize quickly and can reach 15 ft. at maturity.

1. Cut and treat: For smaller areas, involves cutting the stem between the 1st and 3rd node and adding a 66% solution of Aquaneat (glyphosate), generally 5 oz per treated stem. If density is less than 5 ft per plant treat every third stem. Do this for 2-5 seasons.
2. Cut in May, wipe leaves in fall or apply to stem in fall: In this case, dense stands of Knotweed are mown in end of May so when they regrow they are at hip height by August. They can then be easily wiped with a 6.0% Aquaneat (glyphosate) solution



Japanese Knotweed cut in preparation for a fall herbicide foliar wipe treatment (top left). Treatment of Japanese Knotweed stems using a cut and fill method (above). A combination of cut and fill in the first season and foliar wipe in the second has shown to be effective. Foliar wipe can be accomplished by applying herbicide to a glove and wiping leaves or by utilizing a foaming agent to help herbicide stick to the leaves (left). It is a highly specific treatment with little risk of drift.



## Management Calendar for Treatment and Planting

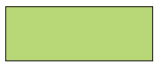
Task	March/ April	May	June	July	August	Sept.	Oct.	Nov.	Dec.
<i>Remove Garlic Mustard and Lesser Celandine seedlings by hand or smothering</i>	Optimal	Optimal	Possible					Possible	Possible
<i>Cutting of Japanese Knotweed</i>	Optimal	Optimal	Possible	Possible	Possible	Possible	Possible	Not optimal	Not optimal
<i>Cut and dab of woody invasive species</i>	Possible	Possible	Optimal	Optimal	Optimal	Optimal	Optimal	Optimal	Optimal
<i>Treatment of Japanese Knotweed</i>					Optimal	Optimal	Possible		
<i>Invasive vine management and cut and dab treatment</i>	Possible	Possible	Optimal	Optimal	Optimal	Optimal	Optimal	Optimal	Optimal
<i>Restoration planting</i>	Optimal	Optimal	Not optimal		Possible	Optimal	Optimal	Possible	
<i>Treatment of Black Swallowwort</i>			Optimal	Optimal	Optimal	Optimal			
<i>Mowing of meadows</i>	Optimal							Optimal	Optimal



*Optimal timing and efficiency*



*Not optimal but mostly effective*



*Possible, but not ideal*



## 325 Little Harbor Road Native Plant Inventory

Within the tidal river buffer is a diverse native plant community dominated by mature Oaks and White Pines with Chokeberry, Black Cherry, Arrowwood Viburnum, and lowbush Blueberry in the understory. In the sunnier areas is a wet meadow featuring Rough Goldenrod, Alleghaney Blackberry, Sumac, Common Rush and Elderberry. An occupied Belted Kingfisher nest was found during the site visits. We propose utilizing these existing native plant species as indicators of what naturally inhabits this plant community and propose additional planting of these species and diversifying with other native trees, shrubs and perennials.

### Native Plant Species Identified:

*Acer rubrum*, Red Maple  
*Acer sacharinum*, Sugar Maple  
*Aronia melanocarpa*, Black Chokeberry  
*Betula populifolia*, Gray Birch  
*Betula papyrifera*, Paper Birch  
*Iva frutescens*, Bigleaf Marsh-elder  
*Juncus tenuis*, Path Rush  
*Juniperus virginiana*, Eastern Red Cedar  
*Kalmia latifolia*, Mountain Laurel  
*Myrica pensylvanica*, Bayberry  
*Parthenocissus quinquefolia*, Virginia Creeper  
*Pinus strobus*, Eastern White Pine  
*Prunus serotina*, Black Cherry  
*Prunus virginiana*, Chokecherry

*Toxicodendron radicans*, Poison Ivy  
*Quercus alba*, White Oak  
*Rosa virginiana*, Virginia Rose  
*Rhus typhina*, Staghorn Sumac  
*Rubus allegheniensis*, Allegheny blackberry  
*Sambucus canadensis*, Elderberry  
*Solidago bicolor*, Silverrod  
*Solidago sempervirens*, Sea-side Goldenrod  
*Solidago rugosa*, Rough-leaved Goldenrod  
*Swida amonum*, Silky Dogwood  
*Tilia americana*, American Basswood  
*Vaccinium corymbosum*, High-bush Blueberry  
*Viburnum dentatum*, Arrowwood Viburnum



Silverrod alongside Blue-stem Goldenrod and Carex. sp



Gray Birch along the bank



**325 Little Harbor Road**  
**Invasive Plant Images**

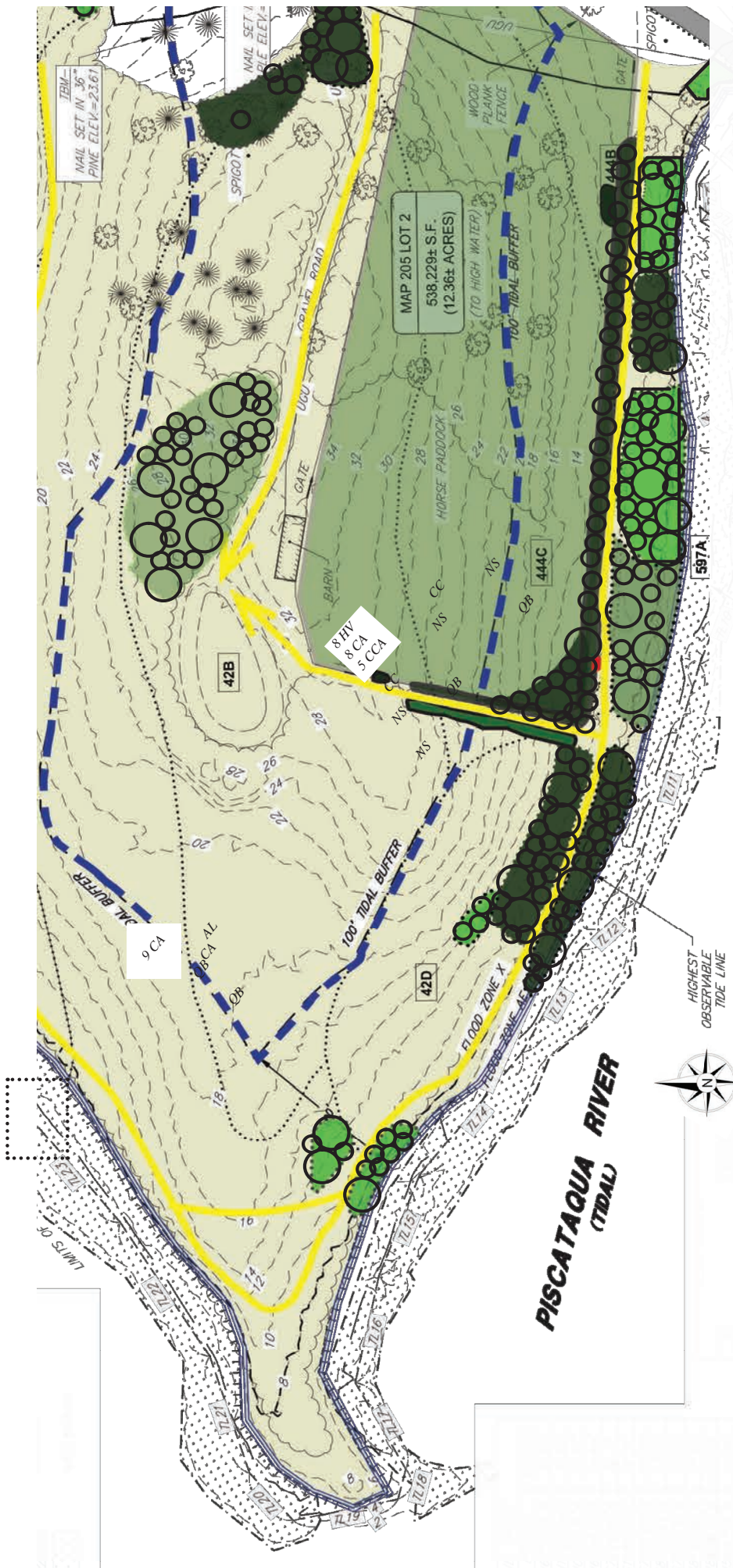


Staghorn Sumac along the banks with Arrowwood Viburnum and Virginia Rose in the foreground



Marsh Elder along with Beechgrass line the western banks of the island





LOT OF TOPOGRAPHIC SURVEY MAP (SEE NOTE 1A)

PISCATAQUA RIVER

- Wetland Buffer
- Highest Observable tide line
- Existing Pathways



HIGHEST OBSERVABLE TIDE LINE

**PISCATAQUA RIVER**  
(TIDAL)

LIMITS OF

SPICOT

SPICOT GATE

WOOD PLANK FENCE

MAP 205 LOT 2  
538,229± S.F.  
(12.36± ACRES)  
TO HIGH WATER

8 HV  
8 CA  
5 CCA

9 CA

42B

42D

444C

444B

587A

SPICOT

NAIL SET IN 36" PINE ELEV.=23.61'

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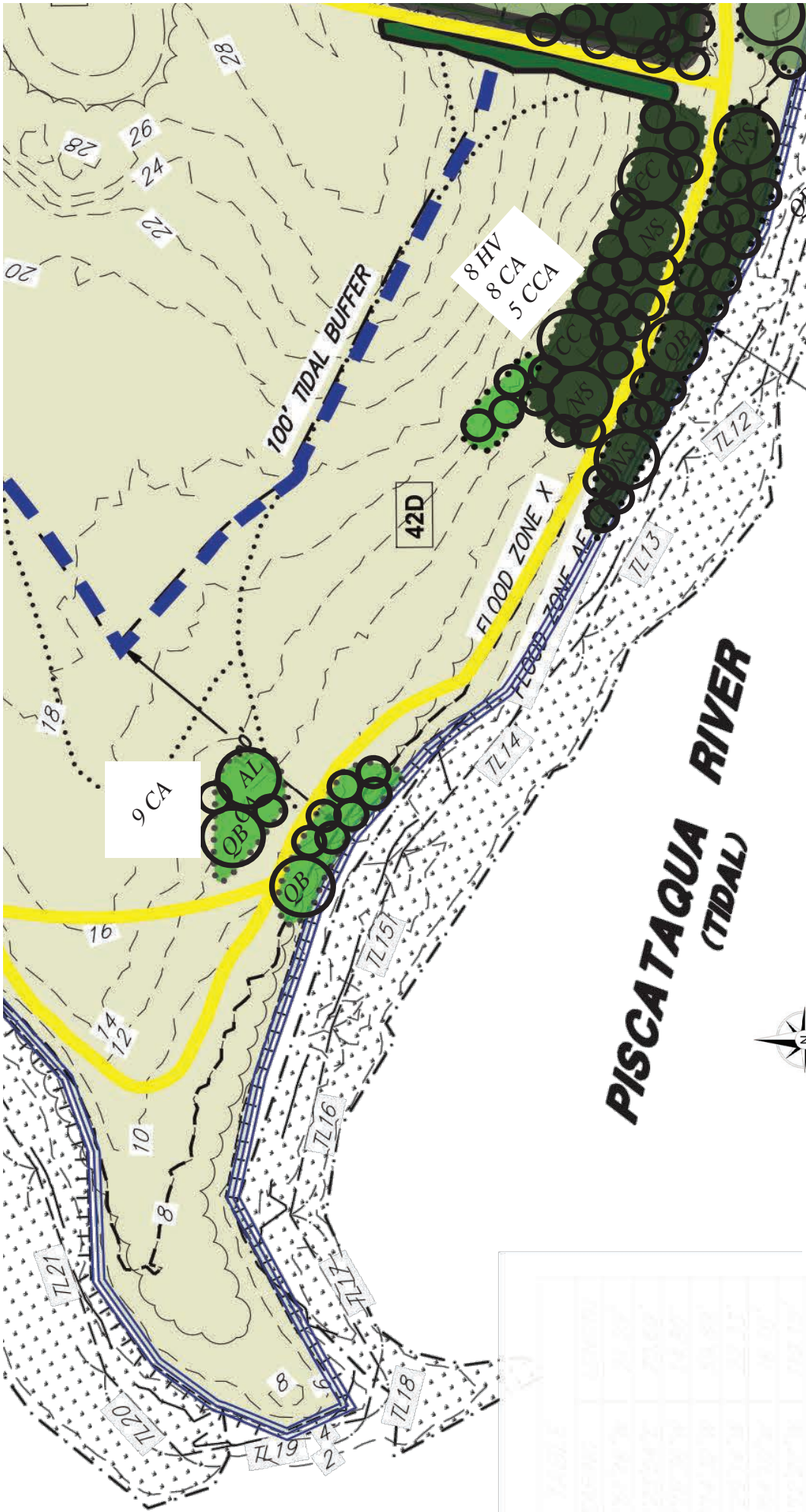
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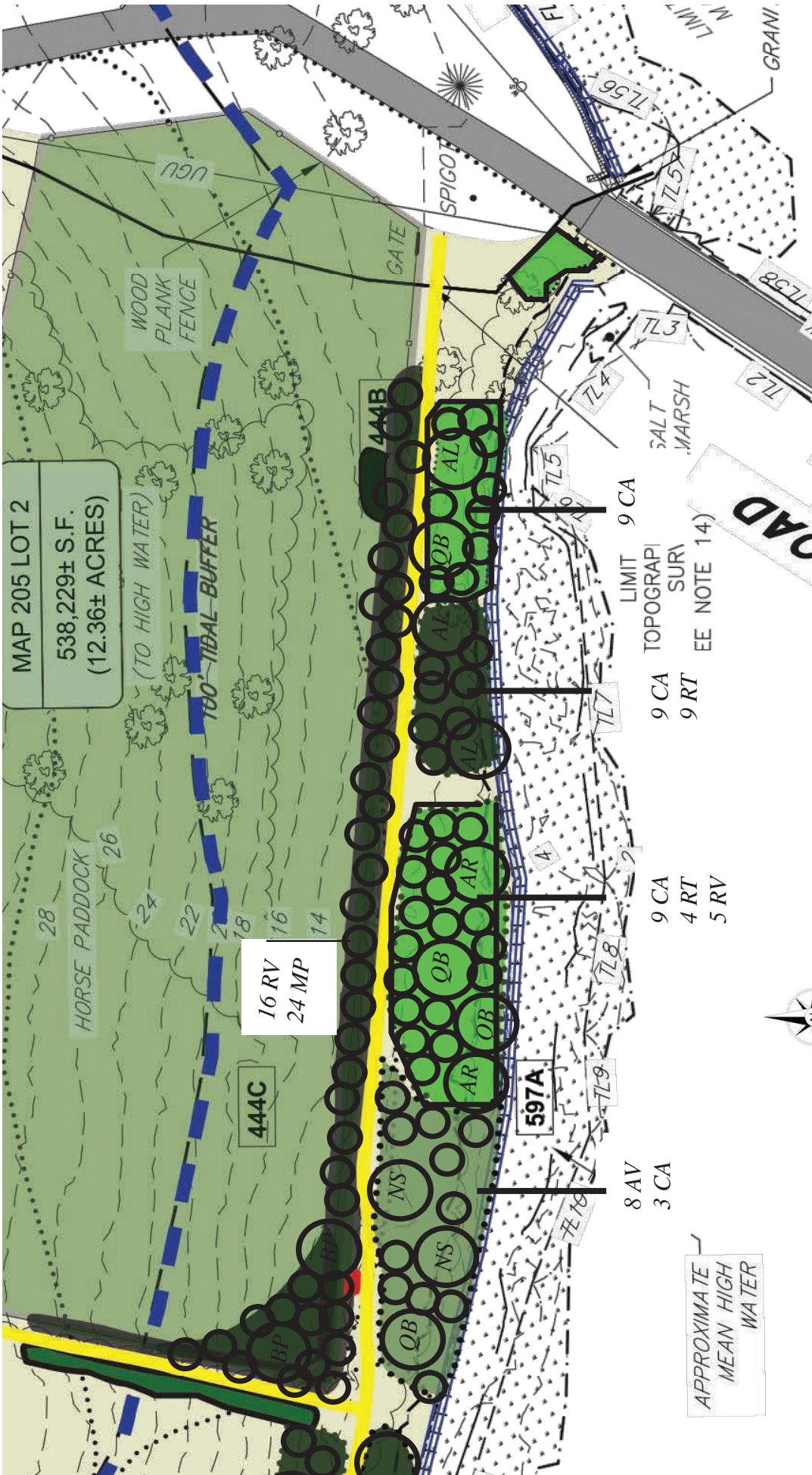


- Wetland Buffer
- Highest Observable tide line
- Existing Pathways



Area	Wetland Buffer	Highest Observable tide line	Existing Pathways
TL12	Yes	Yes	Yes
TL13	Yes	Yes	Yes
TL14	Yes	Yes	Yes
TL15	Yes	Yes	Yes
TL16	Yes	Yes	Yes
TL17	Yes	Yes	Yes
TL18	Yes	Yes	Yes
TL19	Yes	Yes	Yes
TL20	Yes	Yes	Yes
TL21	Yes	Yes	Yes

Area	Wetland Buffer	Highest Observable tide line	Existing Pathways
TL12	Yes	Yes	Yes
TL13	Yes	Yes	Yes
TL14	Yes	Yes	Yes
TL15	Yes	Yes	Yes
TL16	Yes	Yes	Yes
TL17	Yes	Yes	Yes
TL18	Yes	Yes	Yes
TL19	Yes	Yes	Yes
TL20	Yes	Yes	Yes
TL21	Yes	Yes	Yes



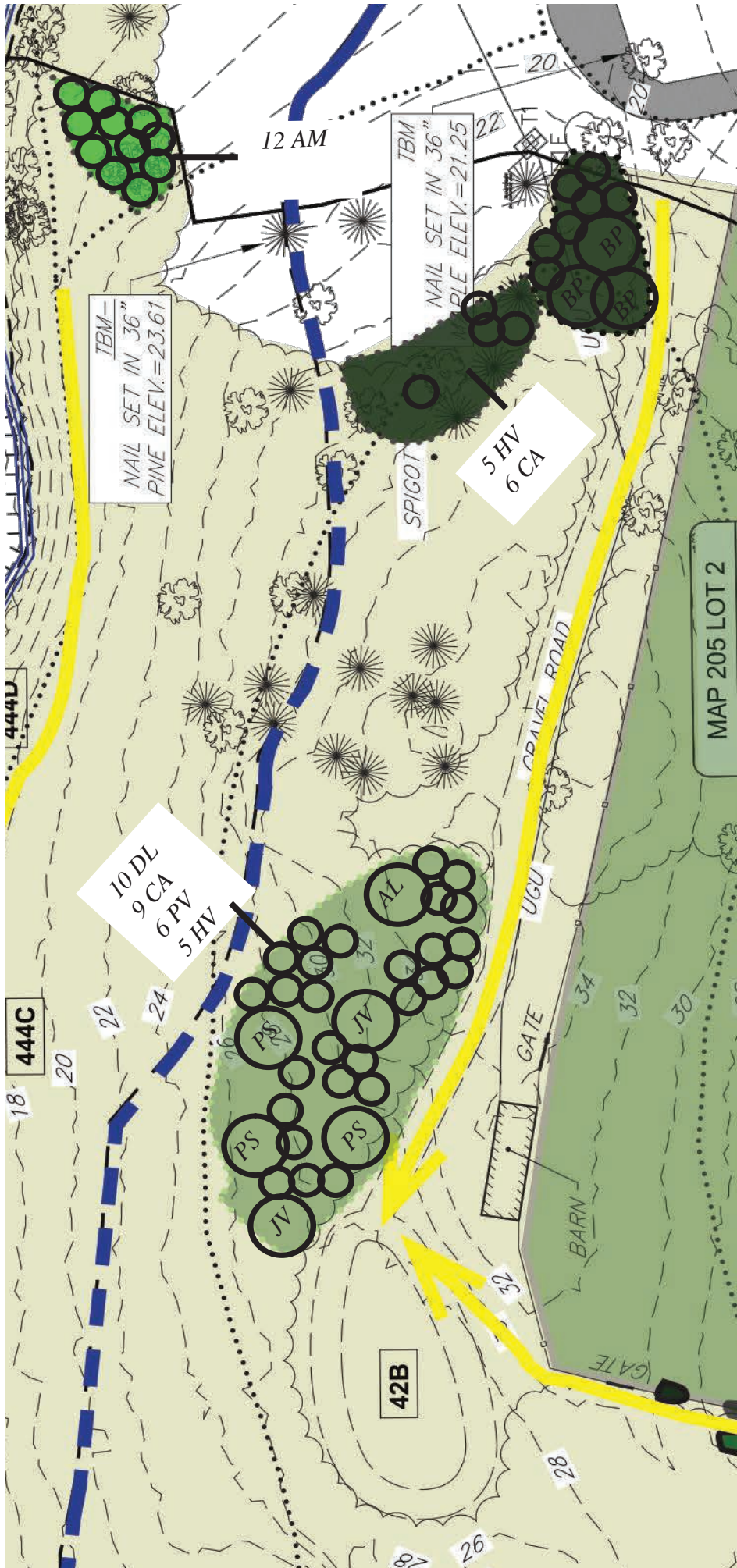
- Wetland Buffer
- ⋯ Highest Observable tide line
- Existing Pathways



1" = 20'

For the planting, we propose restoring a path through the meadow. In areas proposed for mowing and controlling existing invasive species with native shrubs and perennials. We propose mowing and controlling existing invasive species and establish native perennials and add diverse

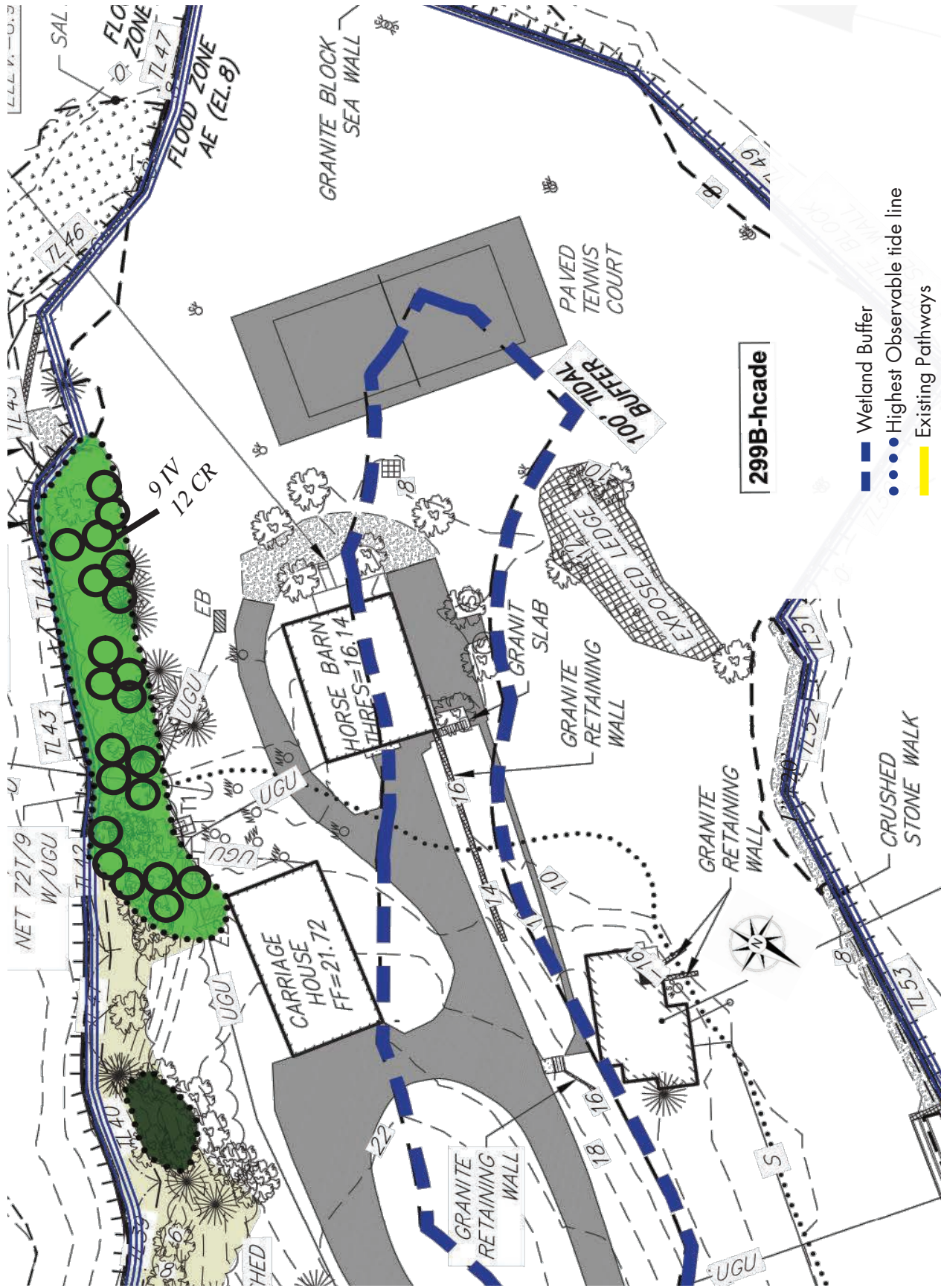




- Wetland Buffer
- Highest Observable tide line
- Existing Pathways







**299B-hcade**

- Wetland Buffer
- Highest Observable tide line
- Existing Pathways



## 325 Little Harbor Road Native Restoration Strategies

After invasive plant species have been removed from the wetland buffer, the area will be planted with one to five gallon native conservation grade New England native trees, shrubs and perennials from local seed and cutting sources. It is proposed that native plants will have greater than 90% coverage by the conclusion of the 3 year Order of Conditions. Native plants proposed for installation will add diversity of existing native plants, provide habitat and forage for wildlife, and reduce storm water and sediment flow wetland areas. Plants proposed for installation include:

	<b>Quantity</b>	<b>Size</b>	<b>Scientific name</b>	<b>Common name</b>
	4	3-4'	<i>Amelanchier laevis</i>	Shadblow Serviceberry
	2	3-4'	<i>Acer rubrum</i>	Red Maple
	12	3-4'	<i>Aronia melanocarpa</i>	Black Chokecherry
	5	3-4'	<i>Betula papyrifera</i>	Paper Birch
	2	3-4'	<i>Carpinus caroliniana</i>	Ironwood
Within 100'	44	3-4'	<i>Clethra alnifolia</i>	Summersweet
Tidal River	5	3-4'	<i>Cornus amomum</i>	Silky Dogwood
Buffer	12	3-4'	<i>Cornus racemosa</i>	Gray Dogwood
	10	3-4'	<i>Diervilla lonicera</i>	Northern Bush Honeysuckle
	18	3-4'	<i>Hamamelis virginiana</i>	Witchazel
	9	3-4'	<i>Ilex verticillata</i>	Winterberry
	2	3-4'	<i>Juniperus virginiana</i>	Eastern Red Cedar
	24	3-4'	<i>Myrica pennsylvatica</i>	Bayberry
	6	3-4'	<i>Nyssa sylvatica</i>	Black Tupelo
	6	3-4'	<i>Prunus virginiana</i>	Chokecherry
	3	3-4'	<i>Prunus serotina</i>	Black Cherry
	7	3-4'	<i>Quercus bicolor</i>	Swamp White Oak
	9	3-4'	<i>Rhus typhina</i>	Staghorn Sumac
	16	3-4'	<i>Rosa virginiana</i>	Virginia Rose

After planting the conservation grade native shrubs and trees and slope stabilizing perennials, we propose the area be seeded with a custom Dormant seed mix at recommended seeding rates. This dense seed mix will supply a matrix of vegetative growth to cover disturbed soils, and reduce recolonization of invasive plant species. These mixes include:

New England Showy New England Wildflower mix  
New England Understory Grass and Forb Mix



## **325 Little Harbor Road Maintenance Schedule**

The recommendations for restoration take into consideration the long term health of the wetland. Once the invasive plant species have been managed in a locus area and any native plants installed, a long-term maintenance plan will be set in motion with the goal of continued control of invasive plant species on site, serve, and sustain native plant populations, and improve the native plant diversity and aesthetic beauty of the wetland.

### **Fall - Winter 2021**

- Complete invasive species management of Buckthorn and woody invasive plant species by cut and dab methods
- Identify and manually hand-pull identified invasive shrubs and vines under 1' in caliper
- Cover all disturbed soil along with native seed mix

### **Winter 2021-Spring 2022**

- Continue utilizing control methods of invasive plant management to exhaust seed bank
- Begin planting native plant species according to approved quantities and varieties
- Monitor plant response and continue hand pulling and herbicide application methods on re sprouting invasive plant species
- Cover exposed soils Conservation seed mix

### **Summer 2022**

- Cut and dab/Foam application to Japanese Knotweed and remaining invasive shrub and tree species
- Continue utilizing control methods of invasive plant management to exhaust seed bank
- Continue planting native plant species according to approved quantities and varieties

### **Fall 2022 - Summer 2023**

- Monitor plant response and continue hand pulling and herbicide application methods on re sprouting invasive plant species
- Followup treatment of Japanese Knotweed (Mowing in spring, treating in fall)
- Cover exposed soils Conservation seed mix
- Monitor native species for plant health

### **Ongoing Maintenance and Monitoring:**

- After the treatments of fall 2023, the management plan should be re-evaluated. If management treatments have been successful, only monitoring and minimal hand removal should be required to keep invasive plant species from being reintroduced. Native trees, shrubs, and herbaceous forbs should dominate the wetland buffer.
- Implementation of the LMP should be completed by qualified professionals including:
  - NH Licensed pesticide applicator
  - Certified Massachusetts/NH Invasive Species Management
  - MCH Massachusetts Certified Horticulturist
- Monitoring reports shall be submitted to conservation at the end of each growing season indicating invasive species management efforts and establishment of the restoration plantings.





## **Bittersweet**

### **Description:**

*Celastrus orbiculatus*, Asiatic Bittersweet is a deciduous climbing vine common in areas of disturbance in our New England forests. It has glossy, rounded leaves that are alternate with finely toothed margins. The leaves turn yellow in the fall. The fruiting plants produce small greenish flower clusters from leaf axils that mature in fall to produce high numbers of fruiting seed. The seed are noticeably yellow, globular capsules that split open at maturity to reveal red-orange fruiting seeds. Roots are also distinctly orange.



### **Habitat:**

Bittersweet spreads easily into forest edges, woodlands, unmanaged meadows and old fields. Most disturbed sites that are not being actively managed that receive full sun are susceptible. The vine can tolerate shade but is often found in more open, sunny areas.



### **Management:**

Asiatic Bittersweet management is a combination of manual hand pulling with cut & dab herbicide treatments. For established plants, vines should be cut to ground to reduce mass. Persistent root infestations will require repeat cutting and treatments over several seasons. Rake any seeds present, bagging in plastic bags, tying, and disposing of correctly.

*Celastrus orbiculatus*,  
Asiatic Bittersweet





## Honeysuckle

### **Description:**

*Lonicera morrowii*, Morrow's honeysuckles are upright, deciduous shrubs that typically have a multi-stem mounding appearance. Oval leaves are opposite along the stem with smooth edges (no teeth or lobes) and hairy on the underside. Mature stems are often hollow on the interior and peeling on the outer bark. In the spring pairs of fragrant, tubular flowers less than an inch long are borne along the stem in the leaf axils. The fruits are red to orange, and fleshy .



### **Habitat:**

Honeysuckles are relatively shade-intolerant and most often occur in forest edges, abandoned fields, and other open, upland habitats. Woodlands and open meadows, especially those that have been grazed or otherwise disturbed and are left unmanaged are also highly susceptible. Morrow's Honeysuckle have the greatest habitat diversity and are capable of invading wetland edges and other uncommon habitat types.



### **Management:**

Morrow's Honeysuckle management is a combination of mechanical mowing and manual hand pulling with cut and dab herbicide treatments. When feasible, the root system is generally shallow and plants can be uprooted easily. Persistent root re sprouting may require repeat cutting with herbicide application over several seasons to fully control.

*Lonicera morrowii*,  
Morrow's Honeysuckle





## Buckthorn

### **Description:**

*Frangula alnus*, Glossy Buckthorn is a deciduous shrub that grows up to 20 ft. tall. The oblong leaves are up to 2" long, arranged alternately along the stem and are dark green on the surface, glossy above and slightly pubescent beneath. The leaves turn yellow in the fall, and remain on the plant when most other species have already lost their leaves. The yellow-green flowers are arranged in 1-8 flowered sessile, glabrous umbels. This plant flowers after the leaves expand, from May to September. The fruit ripen from red to black July to August.

### **Habitat:**

Buckthorn thrives in early successional habitat. Abandoned agricultural or pasture lands, an opening in canopy within woodland, or unmanaged meadows are common areas. Buckthorn will also tolerate wetland soils where it can form dense stands that suppress the growth of native plant species. The seed is readily dispersed by birds, and the extended productivity of the fruit into winter allows the plant to be dispersed through the entire season.



### **Management:**

Manual methods of hand-pulling seedlings is recommended. For larger saplings, a 'Weed Wrench' is effective. Mature Buckthorn can also be cut and the stump application of Triclopyr based herbicide. Rake any seeds present, bagging and disposing of correctly.

*Frangula alnus*,  
Glossy buckthorn





## Multiflora Rose

### **Description:**

*Rosa multiflora*, Multiflora Rose is a shrub with arching canes with a mounding shape in the landscape. The leaves are divided into five to eleven sharply toothed leaflets. The base of each leaf stalk has a pair of fringed bracts which is a key identifier of the plant from other wild rose. Beginning in early summer, clusters of showy white flowers appear. The flowers are followed by developing red fruit, or hips, during the summer that remain on the plant through the winter.



### **Habitat:**

Multiflora Rose thrives in early successional habitat. The rose has a wide tolerance for various soil, moisture, and light conditions. It occurs in dense woods, along river banks and roadsides and in open unmanaged fields. It can form a dense understory that suppresses growth of native plant species. The seed is readily dispersed by birds, and the extended productivity of the fruit into winter months allows wide spread distribution of the plant.



### **Management:**

Manual methods of hand-pulling seedlings is effective. For more established shrubs, a combination of pruning to reduce mass followed by cut & dab treatments with a Triclopyr based herbicide is recommended. Persistent root infestations may require repeat cutting over several seasons. Rake any seeds present, bagging and disposing of correctly.

*Rosa multiflora*,  
Multiflora rose



## IDENTIFICATION AND QUALIFICATION OF APPLICANT

This plan has been developed by Miles H. Connors, Director of Ecological Services at Parterre Ecological, a division of Parterre Garden Services. Parterre Ecological Services provides Land Management Planning, expert Invasive Plant Management services, Native Plant Restoration strategies, and ongoing Maintenance and Monitoring in natural area restorations.

### PLAN AUTHOR AND QUALIFICATIONS

Miles Hilton Connors  
Director of Ecological Services  
mconnors@parterreecological.com

Parterre Garden Services  
67 Smith Place, unit 12A  
Cambridge MA 12138

Miles holds an Bachelor of Science degree in Environmental Planning and Policy and Biology, with a Masters of Science in Sustainable Landscape Planning and Design. Miles is also a Massachusetts Certified Horticulturist, holds an Invasive Plant Certification from UMASS Amherst and is a Licensed Pesticide Applicator.

Members of the Parterre Ecological team are licensed Massachusetts Pesticide Applicators, are Massachusetts Certified Horticulturists and hold an Invasive Plant Certification from UMASS Amherst.





# Precedent Images of a Restoration Project completed in 2020



1. Existing Conditions - Client under an enforcement order to restore buffer after tree & shrub removal and hydroseeding turf



2. After installation of sediment control, we mechanically mowed area and seeded with New England Conservation and Wildlife Seed Mix



3. Covered exposed loam with straw erosion control blanket: BioNet S75BN and staple into existing slope



4. Layout native plant species suitable for an Oak Hickory Forest plant community



5. Native plant species installed: *Quercus rubra*, *Kalmia latifolia*, *Ostrya virginiana*, *Corylus americana*, *Betula lenta*, *Fagus grandiflora* and *Viburnum acerfolium*



# HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

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April 1, 2022

BY EMAIL AND FIRST CLASS MAIL

Peter Stith, Chair  
City of Portsmouth  
Technical Advisory Committee  
1 Junkins Avenue  
Portsmouth NH 03801

Dear Chairman Stith:

Please accept this letter on behalf of the ADL 325 Little Harbor Road Trust (“ADL”) with respect to the pending Wetland Conditional Use Permit (“CUP”) application for 325 Little Harbor Road (the “Property”). The purpose of this letter is to provide a history of the proposed residential project and to address the scope of technical advisory committee (“TAC”) review.

This project has been pending since August 2017, when ADL first applied for a CUP to replace the existing home and renovate/construct associated residential structures on the Property. That CUP received full Planning Board and Conservation Commission review at the time and was approved shortly thereafter on September 25, 2017. The proposal also received NHDES wetland and shoreland permitting approval in February 2018. Construction of the project lapsed as a result of the untimely death of ADL’s general contractor at the time.

On September 29, 2021, ADL applied for a new CUP for a modified design in a new location on the Property. ADL met with the Planning Board and Conservation Commission in November 2021. The proposal received a favorable recommendation from the Conservation Commission for the modified project and was originally scheduled for the December 16, 2021 Planning Board meeting.

Shortly prior to the December Planning Board hearing, however, City staff requested that the project be reviewed by TAC due to complexities related to utilities. ADL voluntarily agreed to review despite the fact that TAC is not required for residential projects such as ADL’s pending proposal. ADL’s project team met with TAC at its February 8, 2022 work session and again at its March 1, 2022 meeting. They also met with the Conservation Commission on March 9<sup>th</sup> and received a second favorable recommendation for the project.

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DANIEL C. HOEFLE	R. PETER TAYLOR	MONICA F. KIESER	AMANDA M. FREDERICK
R. TIMOTHY PHOENIX	KIMBERLY J.H. MEMMESHEIMER	SAMUEL HARKINSON	OF COUNSEL:
LAWRENCE B. GORMLEY	KEVIN M. BAUM	JACOB J.B. MARVELLEY	SAMUEL R. REID
STEPHEN H. ROBERTS	GREGORY D. ROBBINS	DUNCAN A. EDGAR	JOHN AHLGREN

ADL has addressed all comments made by the members at the February 8<sup>th</sup> work session and March 1<sup>st</sup> meeting. All requested information and documentation that can reasonably be provided at this time has been delivered. All other outstanding requests relate to items that require third party agreements (e.g., utility licenses) and/or are more properly provided subsequent to approval and finalization of plans, as part of the building permit process.

The scope of TAC's review, submitted to voluntarily by the applicant, was limited to technical utility concerns related to the pending wetlands CUP, and not the overall residential project, which has already received multiple Planning Board, Conservation Commission and NH DES review. ADL has provided all requested information and documentation reasonably available at this point in the approval process. This proposal has been pending since 2017 in its original form and for over four months in its current iteration.

Accordingly, I respectfully remind the committee of the limited scope of its review and request that the project be recommended for review and approval at the Planning Board's next regularly scheduled meeting on April 21, 2022.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'Kevin M. Baum', with a stylized flourish at the end.

Kevin M. Baum

cc Anthony DiLorenzo  
TF Moran, Inc.  
John Kuzinevich, Esq.  
Stephen H. Roberts, Esq.,  
Trustee of The ADL 325  
Little Harbor Road Trust

### **ACCESS EASEMENT FOR WATER SERVICES**

KNOW ALL PERSONS BY THESE PRESENTS, that STEPHEN H. ROBERTS, ESQ. TRUSTEE OF THE ADL 325 LITTLE HARBOR ROAD TRUST, with a mailing address of 127 Parrott Avenue, Portsmouth, New Hampshire 03801 (“Grantor”), for consideration received, grants to the CITY OF PORTSMOUTH, a municipal body politic having a mailing address of 1 Junkins Avenue, Portsmouth, County of Rockingham and State of New Hampshire 03801 (“Grantee”), with QUITCLAIM COVENANTS an easement over, below, along, and across Grantor’s real property situate on the northerly side of Little Harbor Road, also known as Lady Isle, in the City of Portsmouth, State of New Hampshire, further identified as 325 Little Harbor Road, Portsmouth, Rockingham County, New Hampshire, City of Portsmouth Tax Assessor's Map No. 205, Lot 2.

Meaning and intending to convey an easement over the premises conveyed to the within Grantor by deed of Stephen H. Roberts, Esq., Trustee of The ADL Portsmouth Residence Trust dated November 1, 2018 and recorded in Book 5959, Page 1244 of the Rockingham County Registry of Deeds.

Purpose and Rights: The Grantee shall have a perpetual, permanent uninterrupted and unobstructed nonexclusive easement for the purpose of enabling the City of Portsmouth to access private water infrastructure including mains, water shutoffs, and valves for the limited purpose of leak detection and similar infrastructure inspection services and for access to valves for purposes of turning on and shutting off municipal water service. Grantee shall have no responsibility for installation, maintenance, operation, or replacement of the water infrastructure.

Retained Rights: Grantor retains the right to freely use and enjoy its interest in the easement area insofar as the exercise thereof does not interfere with the purpose of this instrument.

Easement To Run With Land: All rights and privileges, obligations and liabilities created by this instrument shall inure to the benefit of, and be binding upon, the heirs, devisees, administrators, executor, successors and assignees of the Grantee and of the Grantor, the parties hereto and all subsequent owners of the Premises and shall run with the land and be binding upon, any and all successors and assignees of the Grantee.

This is an exempt transfer per R.S.A. 78-B:2(I).

IN WITNESS WHEREOF, the parties have executed this document on the \_\_\_\_ day of \_\_\_\_\_, 2022

ADL 325 Little Harbor Road Trust

Witness: \_\_\_\_\_

By: \_\_\_\_\_  
Stephen H. Roberts, Esq., Trustee

STATE OF NEW HAMPSHIRE  
COUNTY OF \_\_\_\_\_

Personally appeared the above-named Stephen H. Roberts, Esq., Trustee of the ADL 325 Little Harbor Road Trust and acknowledged the foregoing instrument to be his free act and deed executed for the purposes contained therein.

\_\_\_\_\_  
Notary Public/Justice of the Peace  
My commission expires: \_\_\_\_\_



## **TE2 ENGINEERING, LLC.**

**200 Reservoir St. Suite 204 Needham, MA 02494**

**(P) 781-334-8323 (F) 877-360-4269**

**[www.te2engineering.com](http://www.te2engineering.com)**

March 21, 2022

Portsmouth DPW  
Attn: DPW Representative

Re: 325 Little Harbor Rd.  
Portsmouth, NH 03801

To whom it may concern,

TE2 Engineering LLC has been hired to design the mechanical, electrical, plumbing and fire protection (MEPFP) systems for the project addressed above. TE2 Engineering, LLC is working in close contact with many team members including but not limited to the architect (GP Schafer), the civil engineer (TF Moran), and general contractor (Youngblood Builders) to design safe, effective and code compliant MEPFP systems.

The water service has been designed based on the current list of plumbing fixtures and building layouts. This calculation has yielded a 4" domestic water line for the property. Our intent is to design an automatic sprinkler system based on the NPFA 13 D standard for the main house, the guest cottage and pool cabana buildings. Each of these buildings would be provided with a tank & pump system to be independent of the domestic water supply. Each fire pump would be powered by utility power, but also backed up on emergency power from a standby generator. In addition, each fire tank will have an automatic fill valve based on the relative water level in the tank, should additional water be required.

We will continue to design the MEPFP systems and look forward to working with you on this project.

Sincerely,

Drew Domnarski, P.E.  
TE2 Engineering, LLC.

**GENERAL INFORMATION**

**OWNER/APPLICANT**

MAP 205 LOT 2  
ADL 325 LITTLE HARBOR ROAD TRUST  
C/O STEPHEN H ROBERTS, ESQ  
TRUSTEE  
127 PARROT AVENUE  
PORTSMOUTH, NH 03801

**RESOURCE LIST**

PLANNING/ZONING DEPARTMENT  
1 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
603-610-7296  
**BEVERLY ZENDT**,  
PLANNING DIRECTOR

BUILDING DEPARTMENT  
1 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
603-610-7261  
ROBERT MARSILIA,  
CHIEF BUILDING INSPECTOR

PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, NH 03801  
603-427-1530  
PETER RICE,  
DIRECTOR OF PUBLIC WORKS

POLICE DEPARTMENT  
3 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
603-427-1500  
MARK NEWPORT, INTERIM CHIEF

FIRE DEPARTMENT  
170 COURT STREET  
PORTSMOUTH, NH 03801  
603-427-1515  
TODD GERMAIN, CHIEF

**ASSOCIATED PROFESSIONALS**

ARCHITECT  
G.P. SCHAFER ARCHITECT, PLLC  
19 UNION SQUARE WEST, 4TH FLOOR  
NEW YORK CITY, NY 10003  
212-965-1355  
MICKEY BENSON, PRINCIPAL

ECOLOGICAL SERVICES  
PARTERRE ECOLOGICAL  
67 SMITH PLACE, UNIT 12A  
CAMBRIDGE, MA 02138  
617-482-2230  
RYAN CORRIGAN, MSed, MCH

LANDSCAPE ARCHITECT  
MATTHEW CUNNINGHAM LANDSCAPE  
ARCHITECTURE DESIGN LLC  
411 MAIN STREET  
STONEHAM, MA 02180  
617-905-2246  
MATTHEW CUNNINGHAM, PRINCIPAL

WETLAND SCIENTIST  
MARC JACOBS,  
CERTIFIED WETLAND SCIENTIST  
PO BOX 417  
GREENLAND, NH  
603-686-5097

WILDLIFE ASSESSOR  
GZA GEOENVIRONMENTAL, INC.  
5 COMMERCE PARK NORTH  
BEDFORD, NH 03110  
603-232-8739  
TRACY TARR, ASSOCIATE PRINCIPAL

# LADY ISLE SITE RENOVATIONS

**325 LITTLE HARBOR ROAD  
PORTSMOUTH, NEW HAMPSHIRE**

**SEPTEMBER 29, 2021  
REVISED APRIL 4, 2022**

**INDEX OF SHEETS**

SHEET	SHEET TITLE
C-00	COVER
C-01	NOTES & LEGEND
S-01 TO S-04	EXISTING CONDITIONS PLAN
C-02	NHDES AMENDED SHORELANDS PERMIT IMPACT PLAN
C-03	NHDES AMENDED WETLANDS PERMIT IMPACT PLAN
C-04	WETLAND CONDITIONAL USE PERMIT PLAN
C-05	OVERLAY PLAN
C-06 TO C-07	SITE PREPARATION & DEMOLITION PLAN
C-08 TO C-09	SITE LAYOUT PLAN
C-10	GRADING & DRAINAGE PLAN
C-11 TO C-12	UTILITY PLAN
C-13 TO C-14	DRIVEWAY GRADING & PROFILE
C-15 TO C-17	SEWER PROFILE
C-18	EROSION CONTROL PLAN
C-19	EROSION CONTROL NOTES
C-20 TO C-26	DETAILS
REFERENCE PLANS BY ASSOCIATED PROFESSIONALS	
-	FLOOR & EXTERIOR ELEVATIONS PLANS BY G.P. SCHAFER
L1.0 TO L1.4	LANDSCAPE ARCHITECTURE PLANS BY MCLD
1	BELLE ISLE ROAD BRIDGE REHABILITATION PROJECT

**PERMITS/APPROVALS**

	NUMBER	APPROVED	EXPIRES
PORTSMOUTH PLANNING BOARD & CONSERVATION COMMISSION WETLAND CUP	LU-22-23	-	-
PORTSMOUTH PLANNING BOARD CUP FOR DADU	LU-21-220	1/27/2022	1/27/2023
NH FISH & GAME	-	3/14/2022	-
NHDES WETLANDS & PERMIT AMENDMENT	2014-02662	2/15/2018	2/15/2023
NHDES SHORELAND & PERMIT AMENDMENT	2017-02665	2/26/2018	2/26/2023
NHDES ALTERATION OF TERRAIN	AOT-2104	3/14/2022	3/14/2027
NHDES SEWER	-	-	-
EPA NPDES ENOI CGP & SWPPP	-	-	-

**APPROVED BY THE CITY OF PORTSMOUTH PLANNING BOARD**

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**COVER**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

SCALE: NTS **SEPTEMBER 29, 2021**

Seacoast Division



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists  
170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

47099.01	DR	HEG	FB	-	-	C-00
	CK	JCC	CADFILE	47099-01_COVER_MAIN		



**NEW HAMPSHIRE FISH AND GAME AOT PERMIT CONDITIONS RELATED TO THREATENED AND ENDANGERED SPECIES**

- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV. EMAIL SUBJECT LINE: NHB21-3751, LADY ISLE SITE RENOVATIONS. WILDLIFE SPECIES OBSERVATION. PHOTOGRAPHS SHALL BE PROVIDED FOR VERIFICATION AS FEASIBLE; AND
- THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.
- ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, UTILIZED FOR, BUT NOT LIMITED TO SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, AND INLET PROTECTION, CHECK DAMS, SEDIMENT TRAPS, AND SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH.
- PRIOR TO CONSTRUCTION, MARSH ELDER SHALL BE IDENTIFIED, FLAGGED, AND SURROUNDED WITH ORANGE CONSTRUCTION FENCING WITH YELLOW CAUTION TAPE FOR PROTECTION OF THE SPECIES. DO NOT REMOVE, MOW, TRAMPLE, COVER, OR OTHERWISE HARM THE PLANT. REMOVE FLAGS AND CONSTRUCTION FENCING AND CAUTION TAPE AFTER CONSTRUCTION IS COMPLETED.



**MARSH ELDER**

**NOTES**

- SHRUBBY PERENNIAL HERB 2 TO 4 FT TALL, WITH THICKISH, OPPOSITE LEAVES AND SMALL GREENISH-WHITE CAPITULA, EACH WITH 5-6 MINUTE TUBULAR-SHAPED FLOWERS
- EACH CLUMP CONSISTS OF FROM 10 TO 100 OR MORE STEMS FROM A SINGLE WOODY BASE
- OCCURS NEAR THE HIGH TIDE LINE IN A FEW SMALL, SCATTERED POPULATIONS.

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48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

**THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.**

REV	DATE	DESCRIPTION	DR	CK
6	4/4/2022	REVISED PER TAC COMMENTS & SEWER COVER	HEG	JCC
5	3/22/2022	REVISED PER TAC COMMENTS	HEG	JCC
4	2/18/2022	REVISED PER NHDES & UTILITIES	HEG	JCC
3	2/15/2022	REVISED PER NHDES & UTILITIES PER TAC	HEG	JCC
2	2/2/2022	REVISED PER NHDES & UPDATE SURVEY/UTILITIES	HEG	JCC
1	11/23/2021	REVISED PER NHDES & PROJECT COORDINATION	HEG	JCC

**LEGEND**

PROPOSED	
	PROPERTY LINE
	ZONING LINE
	EASEMENT
	BASELINE
	FLOODPLAIN
	EDGE OF WATERBODY
	EDGE OF WETLAND
	SETBACK (WETLAND)
	SETBACK (STRUCTURE)
	SETBACK (PARKING)
	SETBACK (LANDSCAPE)
	GRAVEL ROAD
	EDGE OF PAVEMENT
	VERTICAL GRANITE CURB
	SLOPED GRANITE CURB
	CONCRETE CURB
	INTEGRATED CONCRETE CURB
	BITUMINOUS ASPHALT CURB
	CAPE COD BERM
	SAWCUT
	BUILDING
	BUILDING ROOF OVERHANG
	BUILDING FOUNDATION
	BUILDING ENTRANCE
	OVERHEAD DOOR
	TREE LINE
	FENCE (CHAIN LINK)
	FENCE (WIRE)
	FENCE (STOCKADE)
	GUARDRAIL
	STONE WALL
	RETAINING WALL
	SILT FENCE
	SILT SOCK
	SOIL BOUNDARY
	LIMIT OF GRADING CONTOUR
	SPOT GRADE
	PARKING COUNT
	YELLOW DOUBLE SOLID LINE
	YELLOW SINGLE SOLID LINE
	WHITE SINGLE SOLID LINE
	WHITE SINGLE BROKEN LINE
	STOP BAR
	CROSSWALK
	ACCESSIBLE PARKING SYMBOL
	PAVEMENT ARROW
	TRAFFIC FLOW ARROW (NOT PAINTED)
	SIGN (SINGLE POST)
	SIGN (DOUBLE POST)
	SIGN (PYLON)
	SIGN (MONUMENT)
	BOLLARD
	DUMPSTER PAD

PROPOSED	
	CONCRETE
	GRAVEL
	HEAVY DUTY PAVEMENT
	LANDSCAPE AREA
	NATURAL WOODED AREA
	CONSTRUCTION ENTRANCE
	RIPRAP
	INLET PROTECTION
	DRAIN LINE
	DRAINAGE SWALE
	STORMWATER BMP
	SEWER LINE
	SEWER FORCE MAIN LINE
	WATER LINE
	GAS LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND UTILITY LINE
	CATCH BASIN
	DRAIN INLET
	OUTLET CONTROL STRUCTURE
	ROOF DRAIN
	DRAIN CLEANOUT
	DRAIN MANHOLE
	FARED END SECTION
	SEWER CLEAN OUT
	SEWER MANHOLE
	SEWER VENT
	DRAIN/SEWER/WATER PLUG OR CAP
	HYDRANT
	FIRE DEPARTMENT CONNECTION
	WATER GATE VALVE
	WATER SHUTOFF
	THRUST BLOCK
	WATER METER
	WATER MANHOLE
	WELL
	GAS GATE VALVE
	GAS SHUT OFF
	GAS METER
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	TRAFFIC CONTROL CABINET
	ELECTRIC HANDHOLE
	ELECTRIC PULL BOX
	ELECTRIC METER
	FLOOD LIGHT
	LIGHT POLE
	UTILITY POLE
	GUY POLE
	TRANSFORMER PAD
	BORING LOCATION
	TEST PIT LOCATION
	INFILTRATION TEST LOCATION
	MONITORING WELL

**ABBREVIATIONS**

GENERAL			
ABAN	ABANDON	DIA	DIAMETER
AC	ACRES	DOM	DOMESTIC
ADJ	ADJUST	ELEV	ELEVATION
APPROX	APPROXIMATE	EP	EDGE OF PAVEMENT
BC	BOTTOM OF CURB	EXIST	EXISTING
BIT	BITUMINOUS	FDE	FINISHED FLOOR ELEVATION
BK/Pg	BOOK & PAGE	FND	FOUNDATION
BLDG	BUILDING	HP	HIGH POINT
BMP	BEST MANAGEMENT PRACTICE	INV	INVERT ELEVATION
BS	BOTTOM OF SLOPE	IT	INFILTRATION TEST
BW	BOTTOM OF WALL	L	LENGTH
CONC	CONCRETE	LF	LINEAR FEET
COORD	COORDINATE	LSA	LANDSCAPE AREA
CUP	CONDITIONAL USE PERMIT	MAX	MAXIMUM
DADU	DETACHED ACCESSORY DWELLING UNIT	MIN	MINIMUM
		N/F	NOW OR FORMERLY
		NHFG	NH FISH & GAME
		NTS	NOT TO SCALE
		NWA	NATURAL WOODLAND AREA
		OC	ON CENTER
		PAVE	PAVEMENT
		PERF	PERFORATED
		PROP	PROPOSED
		R	RADIUS
		R&D	REMOVE AND DISPOSE
		R&R	REMOVE AND RESET
		REM	REMOVE
		RET	RETAIN
		RIM	RIM ELEVATION
		ROW	RIGHT OF WAY
		S	SLOPE
		SF	SQUARE FEET
		SW	SIDEWALK
		TBM	TEMPORARY BENCHMARK
		TC	TOP OF CURB
		TP	TEST PIT
		TD	TOP OF WALL
		TW	TYPICAL
		UG	UNDERGROUND
		W/	WITH
		CA/TV	CABLE/TELEVISION
		CB	CATCH BASIN
		CIP	CAST IRON PIPE
		CMP	CORRUGATED METAL PIPE
		CO	CLEANOUT
		COND	CONDUIT
		CTS	COPPER TUBING SIZE
		DI	DUCTILE IRON PIPE
		DMH	DRAIN MANHOLE
		F&C	FRAME AND COVER
		FES	FLARED END SECTION
		FM	FORCE MAIN
		HDPE	HIGH DENSITY POLYETHYLENE PIPE
		HH	HANDHOLE
		HW	HEADWALL
		HYD	HYDRANT
		IRRIG	IRRIGATION
		IRRIG	IRRIGATION
		MJ	MECHANICAL JOINT
		OCS	OUTLET CONTROL STRUCTURE
		PVC	POLYVINYL CHLORIDE PIPE
		ROP	REINFORCED CONCRETE PIPE
		RD	ROAD
		SMH	SEWER MANHOLE
		SOS	SEDIMENT OIL SEPARATOR
		UP	UTILITY POLE

**GENERAL NOTES**

- THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THE SITE LAYOUT PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS OF ENV-WQ 1500. THE SITE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF CONSTRUCTION OF EACH STORMWATER FACILITY TO COORDINATE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL TAKE PROGRESS PHOTOS DURING CONSTRUCTION OF ALL STORMWATER DRAINAGE COMPONENTS AND SEND TO THE ENGINEER.
- SEE EXISTING CONDITIONS PLAN FOR THE HORIZONTAL AND VERTICAL DATUM.
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
- PRIOR TO COMMENCING ANY SITE WORK, ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- ALL DEMOLITION AND RENOVATION OF STRUCTURES SHALL COMPLY WITH ENV-A 1800 FOR ASBESTOS MANAGEMENT AND CONTROL.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR'S GENERAL RESPONSIBILITIES:
  - BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, REGULATIONS, AND STANDARDS AND CONDITIONS OF ALL PROJECT-SPECIFIC PERMITS AND APPROVALS AS LISTED ON THE COVER SHEET TO THESE PLANS OR OTHERWISE REQUIRED.
  - NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
  - EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
  - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST, AND UNSIGHTLY DEBRIS. CONSTRUCTION ACTIVITIES SHALL BE CARRIED OUT BETWEEN THE HOURS IN ACCORDANCE WITH THE APPLICABLE MUNICIPAL ORDINANCES AND REGULATIONS OF THE CITY OF PORTSMOUTH.
  - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
  - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
  - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
  - PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
  - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
  - VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE AND WETLAND SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
  - PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
  - IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.

**GENERAL NOTES (CONTINUED)**

- CONTRACTOR'S GENERAL RESPONSIBILITIES (CONTINUED):
  - THIS PROJECT IS SUBJECT TO THE AOT PERMIT LISTED ON THE COVER SHEET. THE CONTRACTOR SHALL CONFORM TO ALL CONDITIONS OF THE PERMIT AND PROVIDE THE FOLLOWING DOCUMENTATION TO OWNER AND ENGINEER:
    - ADVANCE WRITTEN NOTICE AT LEAST ONE WEEK PRIOR TO COMMENCING ANY WORK UNDER THE PERMIT.
    - IF ANY UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS WERE INSTALLED, FOR EACH SUCH SYSTEM:
      - REPRESENTATIVE PHOTOGRAPHS OF THE SYSTEM AFTER COMPLETION BUT PRIOR TO BACKFILLING; AND
      - A LETTER SIGNED BY A QUALIFIED ENGINEER WHO OBSERVED THE SYSTEM PRIOR TO BACKFILLING, THAT THE SYSTEM CONFORMS TO THE APPROVED PLANS AND SPECIFICATIONS.
    - UPON COMPLETION OF CONSTRUCTION, WRITTEN CERTIFICATION THAT:
      - ALL WORK UNDER THE PERMIT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
      - IF ANY DEVIATIONS FROM THE APPROVED PLANS WERE MADE, WRITTEN DESCRIPTIONS AND AS-BUILT DRAWINGS OF ALL SUCH DEVIATIONS, STAMPED BY A QUALIFIED ENGINEER, SHALL BE PROVIDED.
- PURSUANT TO PORTSMOUTH PLANNING BOARD DADU CUP APPROVAL ON 1/27/2022, THE APPROVED DADU SHALL BE THE ONLY ACCESSORY DWELLING UNIT ON THE PROPERTY, AN AFFIDAVIT STATING THIS HAS BEEN RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

**GRADING & DRAINAGE NOTES**

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE, INCLUDING AND NOT LIMITED TO DEWATERING METHODS, PERIMETER DRAINS AND THE INTO STORMWATER MANAGEMENT SYSTEM, ETC.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER, AND MULCH.
- DENSITY REQUIREMENTS:
 

MINIMUM DENSITY**	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

\*\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

**UTILITY NOTES**

- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). FORCE MAINS AND FITTINGS SHALL CONFORM TO NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF PORTSMOUTH STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 9.5' COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10' MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, SEWER LINE MUST BE CONSTRUCTED OF FORCE MAIN MATERIALS (PER ENV-WQ 704.08) FROM BUILDING OR MANHOLE TO MANHOLE, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 6' HORIZONTALLY TO THE WATER LINE.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING, AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT, AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:
 

DRAINAGE	PRIVATE
SEWER	MUNICIPAL
WATER	MUNICIPAL
GAS	UNITLE
ELECTRIC	EVERSOURCE
TELEPHONE	COMCAST
CABLE	COMCAST

**SITE DEVELOPMENT PLANS**  
 TAX MAP 205 LOT 2  
**NOTES & LEGEND**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

**SCALE: NTS**

**SEPTEMBER 29, 2021**



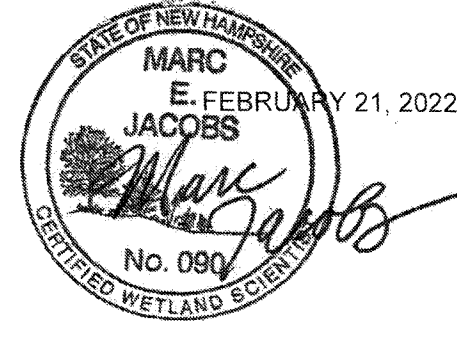
REV	DATE	DESCRIPTION	DR	CK
6	4/4/2022	REVISED PER TAC COMMENTS & SEWER COVER	HEG	JCC
5	3/22/2022	REVISED PER TAC COMMENTS	HEG	JCC
4	2/18/2022	REVISED PER NHDES & UTILITIES	HEG	JCC
3	2/15/2022	REVISED PER NHDES & UTILITIES PER TAC	HEG	JCC
2	2/15/2022	REVISED PER NHDES & UPDATE SURVEY/UTILITIES	HEG	JCC
1	11/23/2021	REVISED PER NHDES & PROJECT COORDINATION	HEG	JCC

<b>Seacoast Division</b>			
<b>TFM</b>	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com	
F	47099.01	DR HEG FB CK JCC CADFILE	47099-01_NOTES-LEGEND.MAIN
			C-01



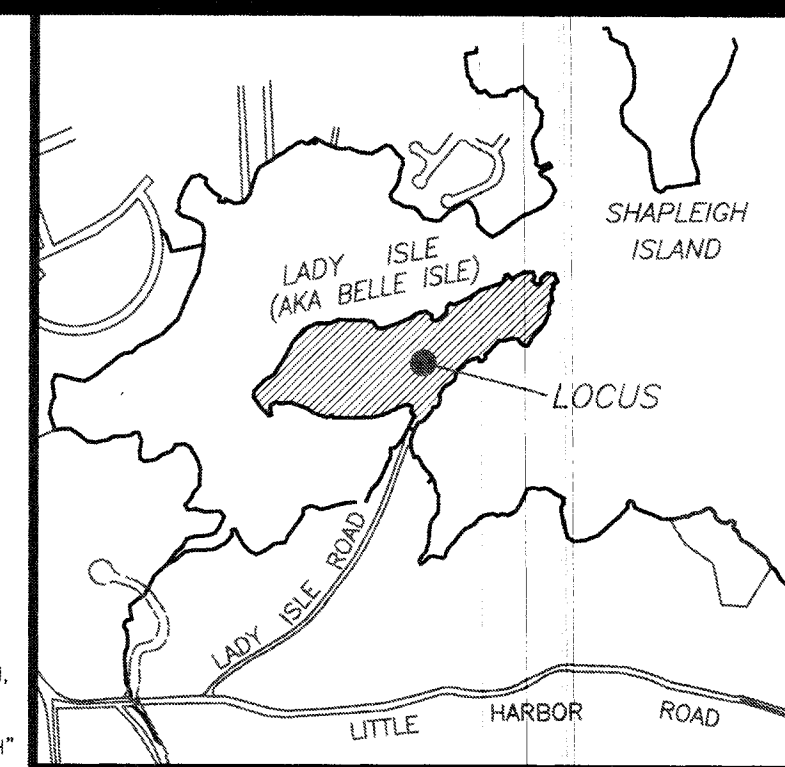
LEGEND:

- BK.PG. BOOK/PAGE
ELEV. ELEVATION
EP EDGE OF PAVEMENT
FF FINISHED FLOOR
NE NEW ENGLAND TELEPHONE
PSNH PUBLIC SERVICE COMPANY
RCRD ROCKINGHAM COUNTY
REGISTRY OF DEEDS
S.F. SQUARE FEET
SL SEPTIC LINE
UGU UNDERGROUND UTILITIES
TBM TEMPORARY BENCH MARK
TL TIE LINE
444C SOILS TYPE
OHU OVERHEAD UTILITIES
TS EXISTING CONTOUR
UGU UNDERGROUND UTILITIES
W WATER LINE
WOOD FENCE
HIGHEST OBSERVABLE TIDE LI
HIGH WATER
FLOOD ZONE LINE
TIDAL BUFFER
SOILS LINE
UTILITY POLE
DECIDUOUS TREE
CONIFEROUS TREE
TRANSFORMER
TELEPHONE PEDESTAL
ELECTRIC METER
ELECTRIC BOX
GUY POLE/WIRE
WATER SHUT OFF
TEST PIT
INFILTRATION TEST
BRICK WALK
PAVEMENT
EASEMENT
SALT MARSH



NOTES:

- 1. THE PARCEL IS LOCATED IN THE RURAL (R) ZONING DISTRICT.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 205 AS LOT 2.
3. THE PARCEL IS LOCATED IN FLOOD HAZARD ZONE AE (EL.8) AND ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM), ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 278, VERSION NUMBER 2.3.2.1 MAP NUMBER 33015C0278F, MAP REVISED: JANUARY 29, 2021.
4. OWNER OF RECORD: THE ADL 325 LITTLE HARBOR ROAD TRUST...
5. ZONING REQUIREMENTS: MINIMUM LOT AREA: 5 ACRES (PER DWELLING UNIT)
6. TOTAL PARCEL AREA: 538,229± S.F. (12.36± ACRES)
7. HIGHEST OBSERVABLE TIDE LINE (HOTL) AND SALT MARSH NORTHERLY OF THE BRIDGE SHOWN HEREON WERE DELINEATED BY MARC JACOBS, CERTIFIED WETLAND SCIENTIST 090...
8. THE EXISTING PAVED DRIVEWAY (BELLE ISLE ROAD) PROVIDING ACCESS BETWEEN LITTLE HARBOR ROAD AND LADY ISLE (AKA BELLE ISLE) IS PRIVATE...



LOCATION PLAN

LINE TABLE with columns: LINE, BEARING, LENGTH. Lists boundary lines from TL.1 to TL.40.

LINE TABLE with columns: LINE, BEARING, LENGTH. Lists boundary lines from TL.41 to TL.58.

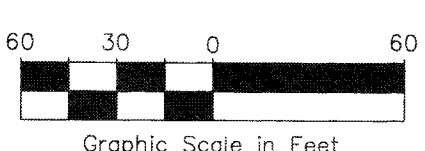
SOILS NOTE:

THIS SOIL MAP FALLS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT INTENDED FOR USE IN COMPLYING WITH THE NEW HAMPSHIRE ALTERATION OF TERRAIN (AOT) REGULATIONS (ENV-WQ 1500).

DISTURBED SOIL MAPPING UNIT SUPPLEMENTAL SYMBOL LEGEND table with columns: SUPPLEMENTAL (1-5), DRAINAGE CLASS, PARENT MATERIAL, RESTRICTIVE / IMPERVIOUS LAYERS, ESTIMATED Ksat, HYDROLOGIC SOIL GROUP.

SITE SPECIFIC SOIL SURVEY MAP LEGEND table with columns: SOIL SERIES NAME & NUMBER, DRAINAGE CLASS, PARENT MATERIAL, MINERAL RESTRICTIVE FEATURES, SATURATED HYDRAULIC CONDUCTIVITY, HSG\*\*.

SLOPE PHASE LEGEND (percent) table with columns: A, B, C, D, E, F and corresponding slope ranges.

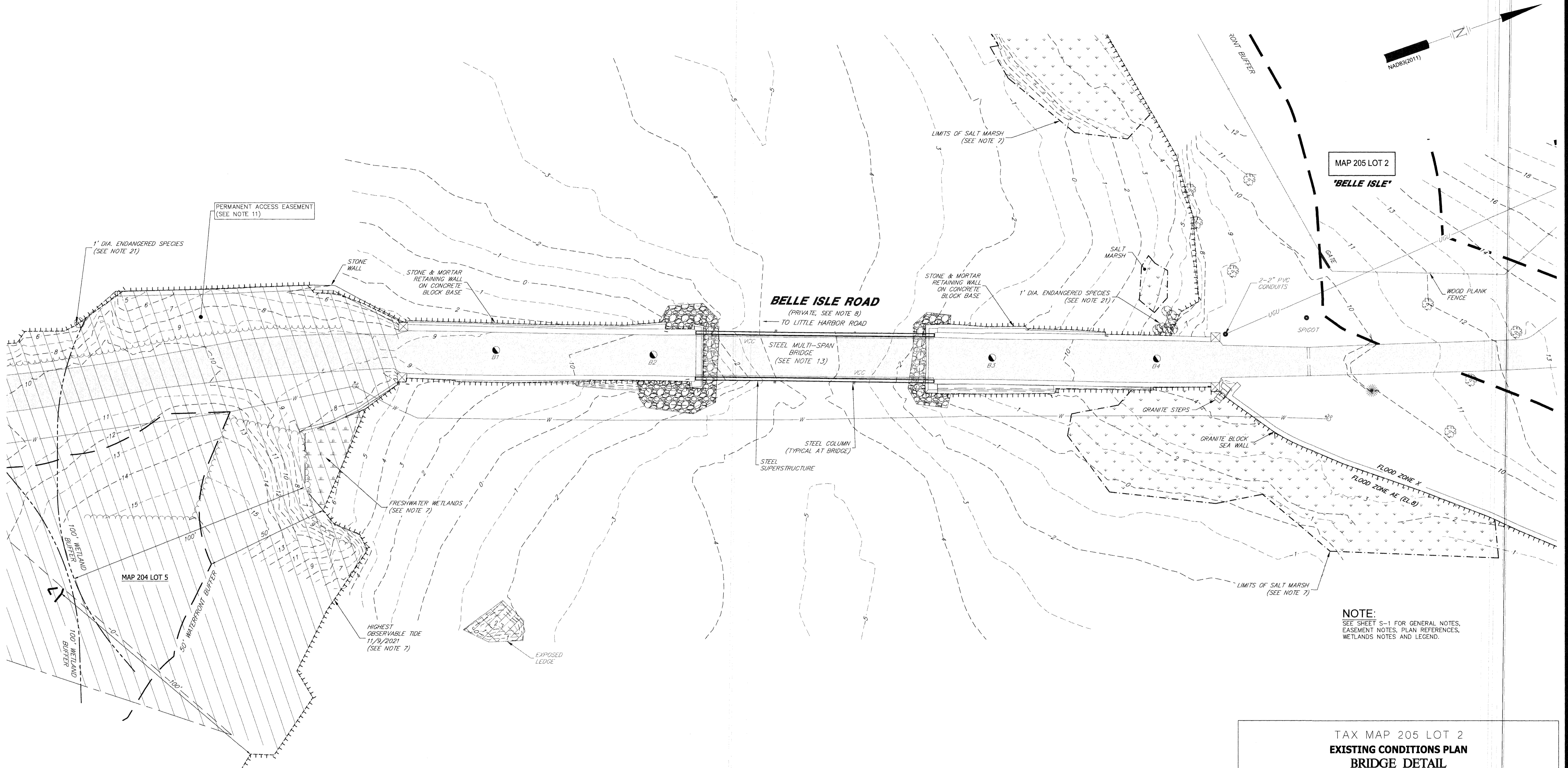


TAX MAP 205 LOT 2 BELLE ISLE / AKA LADY ISLE EXISTING CONDITIONS 325 LITTLE HARBOR ROAD PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM OWNED BY THE ADL 325 LITTLE HARBOR ROAD TRUST

Scale: 1" = 60' (22"x34'), 1" = 120' (11"x17'). February 1, 2022. TFM logo and contact information for Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists.

Feb 21, 2022 - 2:59pm F:\MSC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099-01 - D:\Lorenzo - 325 Little Harbor Rd\Carson Survey\Drawings\47099-01 Existing Conditions\_2022.dwg

Feb 18, 2022 - 11:56am  
 F:\MSC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099 01 - DiLorenzo - 325 Little Harbor Rd\Carson Survey\Drawings\47099-01\wrk.dwg



MAP 205 LOT 2  
 'BELLE ISLE'

MAP 204 LOT 5

NOTE:  
 SEE SHEET S-1 FOR GENERAL NOTES,  
 EASEMENT NOTES, PLAN REFERENCES,  
 WETLANDS NOTES AND LEGEND.

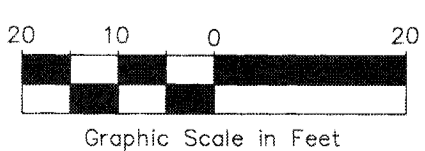
TAX MAP 205 LOT 2  
**EXISTING CONDITIONS PLAN**  
**BRIDGE DETAIL**  
**325 LITTLE HARBOR ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
 OWNED BY  
**THE ADL PORTSMOUTH RESIDENCE TRUST**

SCALE: 1" = 20' (22x34)  
 1" = 40' (11x17)

FEBRUARY 1, 2022



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REV.	DATE	DESCRIPTION	DR	CK

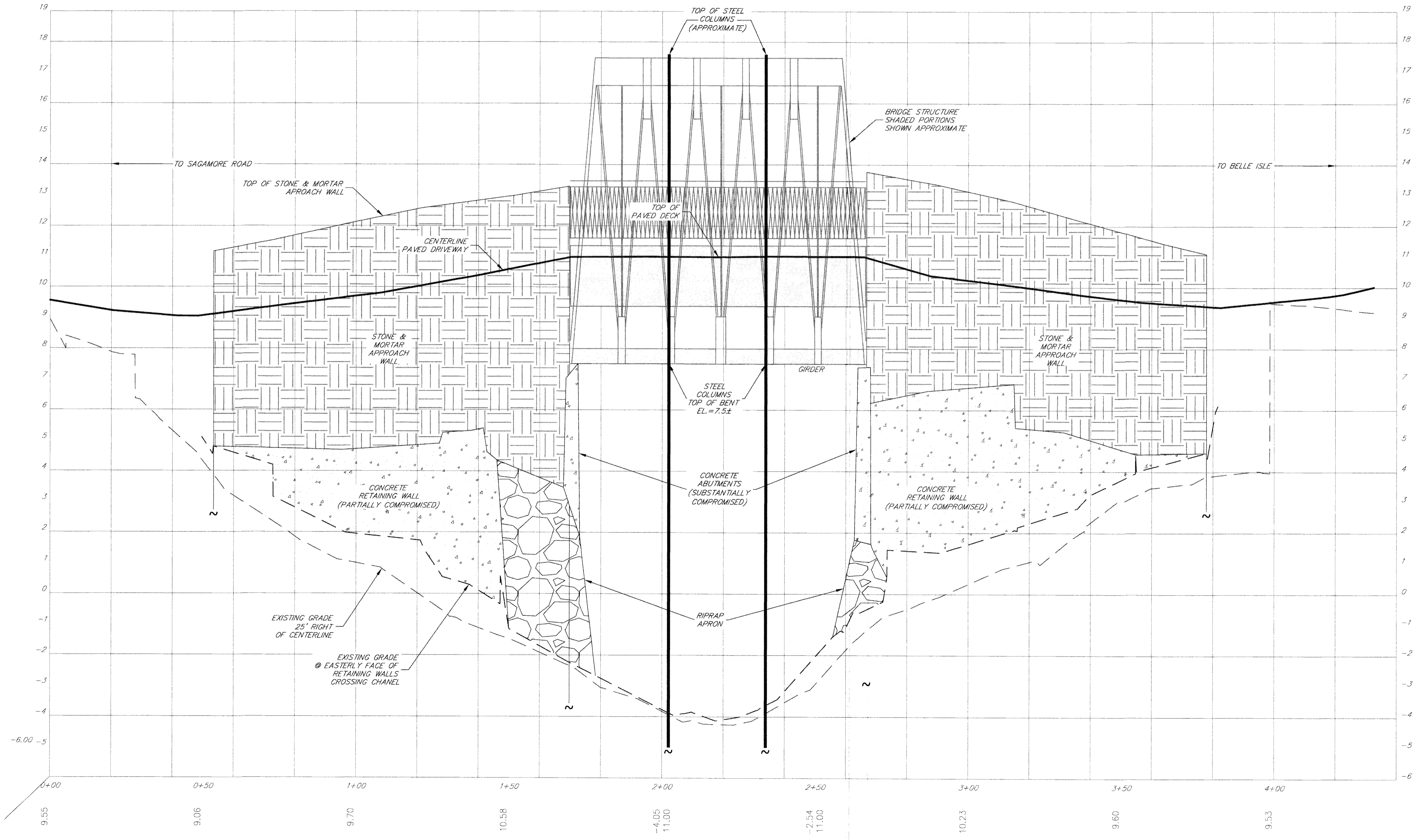
Seacoast Division

Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
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FILE	47099-01	DR	MVP	FB	583	SEE MARGIN	S-02
		CK	BMK	CADFILE			

Feb 18, 2022 - 11:56am F:\MSC Projects\47099 - Little Harbor Rd & Gasport Rd - Portsmouth\47099-01 - DiLorenzo - 325 Little Harbor Rd\Carlson Survey\Drawings\47099-01\wk.dwg



**BRIDGE PROFILE:**  
 1" = 20' HORIZONTAL  
 1" = 2' VERTICAL

**FOR REVIEW**

**NOTE:**  
 SEE SHEET S-1 FOR GENERAL NOTES,  
 EASEMENT NOTES, PLAN REFERENCES,  
 WETLANDS NOTES AND LEGEND.

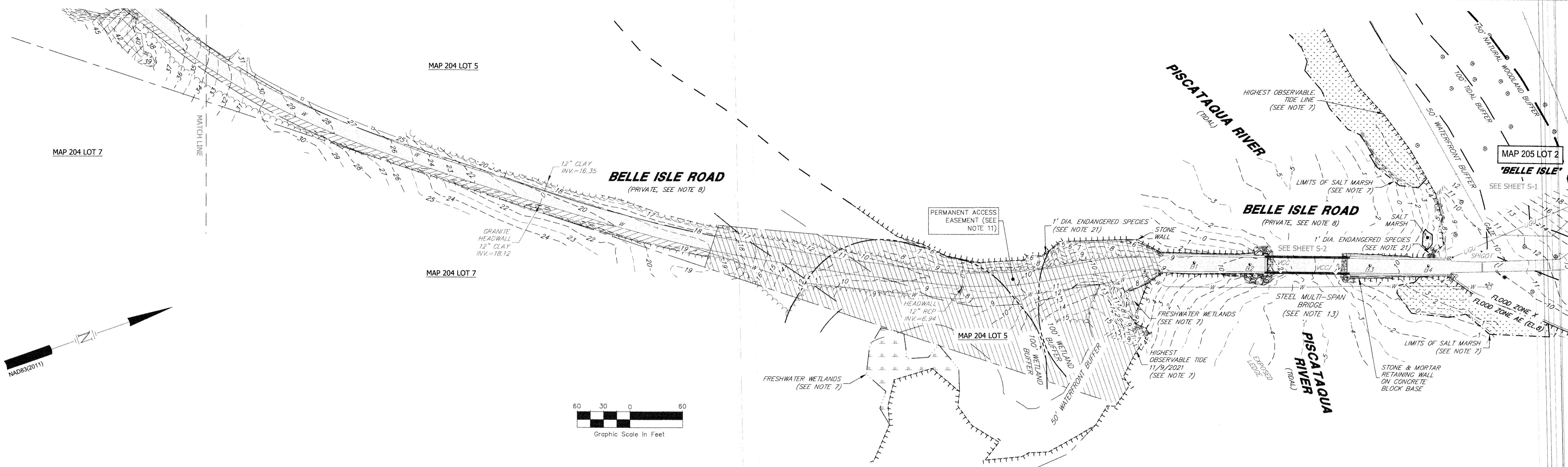
TAX MAP 205 LOT 2  
**EXISTING CONDITIONS PLAN**  
**BRIDGE PROFILE**  
**325 LITTLE HARBOR ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
 OWNED BY  
**THE ADL PORTSMOUTH RESIDENCE TRUST**  
 SCALE: AS NOTED FEBRUARY 1, 2022

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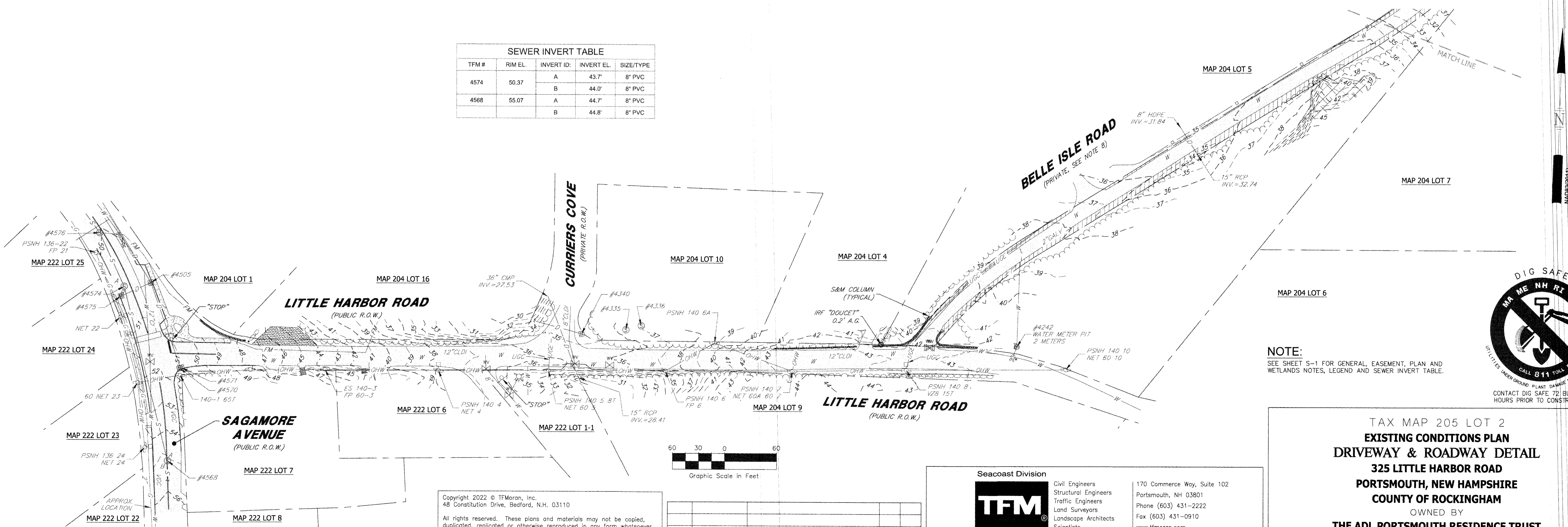
REV.	DATE	DESCRIPTION	DR	CK

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			Land Surveyors	
			Landscape Architects	
			Scientists	

47099-01	DR	MWP	FB	583	S-3
	CK	BMK	CADFILE	SEE MARGIN	



SEWER INVERT TABLE				
TFM #	RIM EL.	INVERT ID:	INVERT EL.	SIZE/TYPE
4574	50.37	A	43.7'	8" PVC
		B	44.0'	8" PVC
4568	55.07	A	44.7'	8" PVC
		B	44.8'	8" PVC



**NOTE:**  
SEE SHEET S-1 FOR GENERAL EASEMENT, PLAN AND WETLANDS NOTES, LEGEND AND SEWER INVERT TABLE.



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Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

**TFM**

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47099-01	DR	MVP	FB	583	S-4
	CK	BMK	CADFILE	SEE MARGIN	

TAX MAP 205 LOT 2  
**EXISTING CONDITIONS PLAN  
DRIVEWAY & ROADWAY DETAIL**  
325 LITTLE HARBOR ROAD  
PORTSMOUTH, NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM  
OWNED BY  
**THE ADL PORTSMOUTH RESIDENCE TRUST**

SCALE: 1" = 60' (22x34)  
1" = 120' (11x17)

FEBRUARY 1, 2022

Feb 18, 2022 - 11:57am F:\MISC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099.01 - Dilorenzo - 325 Little Harbor Rd\Carlson Survey\Drawings\47099-01.wk.dwg

**NOTES**

- SEE NOTES ON SHEET C-01.
- NO IMPACTS ARE PROPOSED TO NATURAL GROUND COVERS WITHIN THE WATERFRONT BUFFER. IMPACT ARE ONLY PROPOSED TO EXISTING GRANDFATHERED OPEN AREA.

**LEGEND**

- HIGHEST OBSERVABLE TIDE LINE (HOTL)
- 100' TIDAL WETLAND BUFFER BOUNDARY
- PROTECTED SHORELAND ZONE BEYOND TBZ
- TEMPORARY IMPACT AREA
- PERMANENT IMPACT AREA
- UNALTERED WOODLAND AREA
- PROPOSED WOODLAND AREA
- LIMIT OF IMPACTS
- PROPOSED TREE (OUTSIDE OF LANDSCAPED AREAS)
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- IMPERVIOUS SURFACE
- PERVIOUS PAVERS
- GRAVEL SURFACE

IMPERVIOUS AREA (PERMITTED)	
TOTAL EXISTING IMPERVIOUS AREA WITHIN 250' PROTECTED SHORELAND	45,095 SF (9.21%) <sup>1</sup>
TOTAL PROPOSED IMPERVIOUS AREA WITHIN 250' PROTECTED SHORELAND	32,884 SF (6.72%) <sup>1</sup>
TOTAL LOT AREA	489,466 SF
TOTAL LAND AREA WITHIN HOTL	496,469 SF

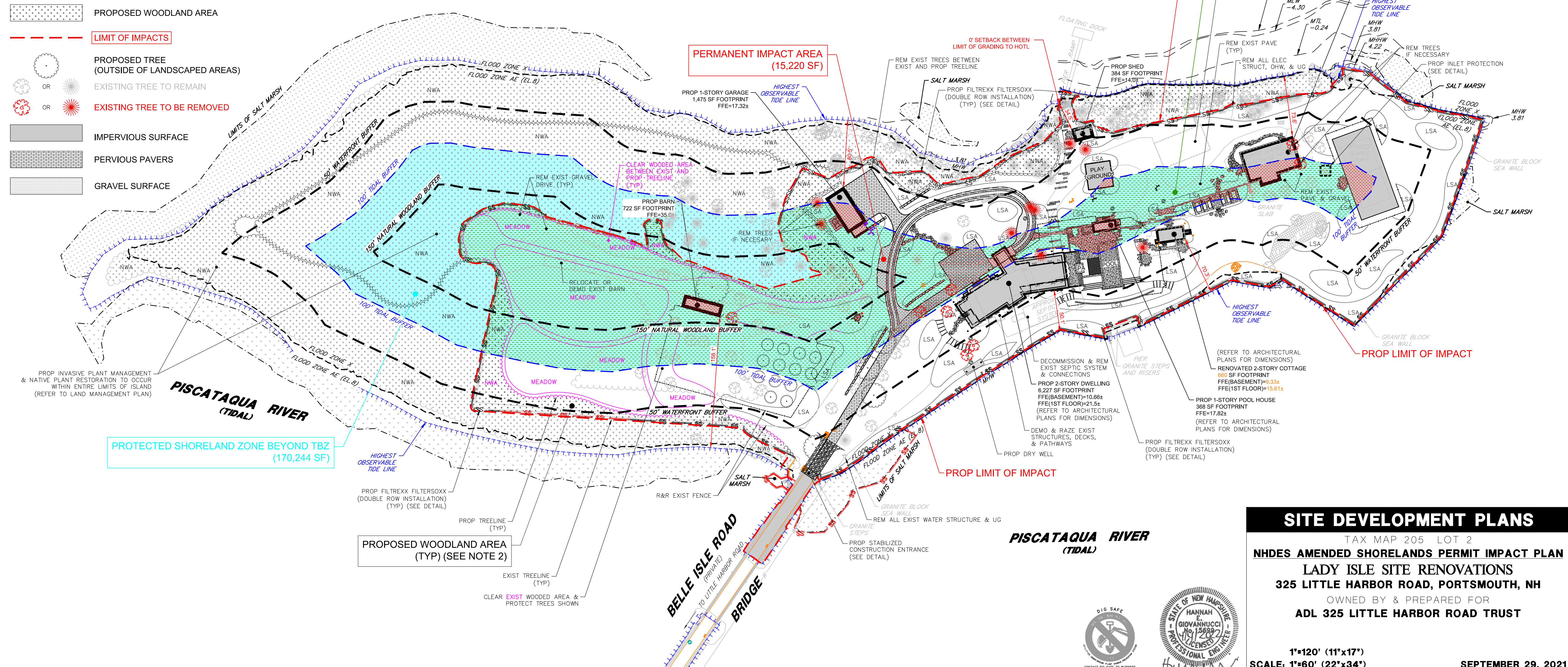
IMPERVIOUS AREA (AMENDED)	
TOTAL EXISTING IMPERVIOUS AREA WITHIN 250' PROTECTED SHORELAND BUFFER	51,371 SF (9.6%) <sup>1</sup> (10.1%) <sup>2</sup>
TOTAL PROPOSED IMPERVIOUS AREA WITHIN 250' PROTECTED SHORELAND BUFFER	34,700 SF (6.5%) <sup>1</sup> (6.8%) <sup>2</sup>
TOTAL LOT AREA	535,990 SF
TOTAL LAND AREA WITHIN HOTL	507,445 SF

NATURAL WOODLAND AREA	
TOTAL AREA OF LOT BETWEEN 50' AND 150' THAT EXISTS AS NATURAL WOODLAND	104,542 SF
TOTAL AREA OF LOT BETWEEN 50' AND 150' OF REFERENCE LINE	259,091 SF
25% X 259,091 SF =	64,773 SF
TOTAL AREA OF NATURAL WOODLAND TO REMAIN UNALTERED	95,173 SF

PROPOSED IMPACT AREA (PERMITTED)	
TOTAL PROPOSED PERMANENT IMPACT AREA WITHIN 100'-250' PROTECTED SHORELAND	40,710 SF
TOTAL PROPOSED TEMPORARY IMPACT AREA WITHIN 100'-250' PROTECTED SHORELAND	0 SF
TOTAL AREA WITHIN 100'-250' PROTECTED SHORELAND	157,507 SF

PROPOSED IMPACT AREA (AMENDED)	
TOTAL PROPOSED PERMANENT IMPACT AREA WITHIN 100'-250' PROTECTED SHORELAND	15,220 SF
TOTAL PROPOSED TEMPORARY IMPACT AREA WITHIN 100'-250' PROTECTED SHORELAND	97,145 SF
TOTAL AREA WITHIN 100'-250' PROTECTED SHORELAND	170,244 SF

- PERCENTAGE IS CALCULATED BASED ON TOTAL LOT AREA, AS IT WAS CALCULATED IN THE ORIGINAL 2018 PERMIT APPLICATION.
- PERCENTAGE IS CALCULATED BASED ON TOTAL LAND AREA WITHIN THE HOTL, AS REQUIRED PER NHDES.



**SITE DEVELOPMENT PLANS**  
 TAX MAP 205 LOT 2  
**NHDES AMENDED SHORELANDS PERMIT IMPACT PLAN**  
**LADY ISLE SITE RENOVATIONS**  
 325 LITTLE HARBOR ROAD, PORTSMOUTH, NH  
 OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

1"=120' (11"x17")  
 SCALE: 1"=60' (22"x34")

SEPTEMBER 29, 2021

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 CK JCC CADFILE 47099-01\_NHDES-SHORE\_MAIN C-02

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**NOTES**

- SEE NOTES ON SHEET C-01.
- THE PROPOSED LIMIT OF IMPACT INCLUDES THE LIMIT OF GRADING AND OTHER AREAS WHICH WILL BE LANDSCAPED WITH MECHANIZED EQUIPMENT, PER THE LANDSCAPE ARCHITECTURE PLANS.

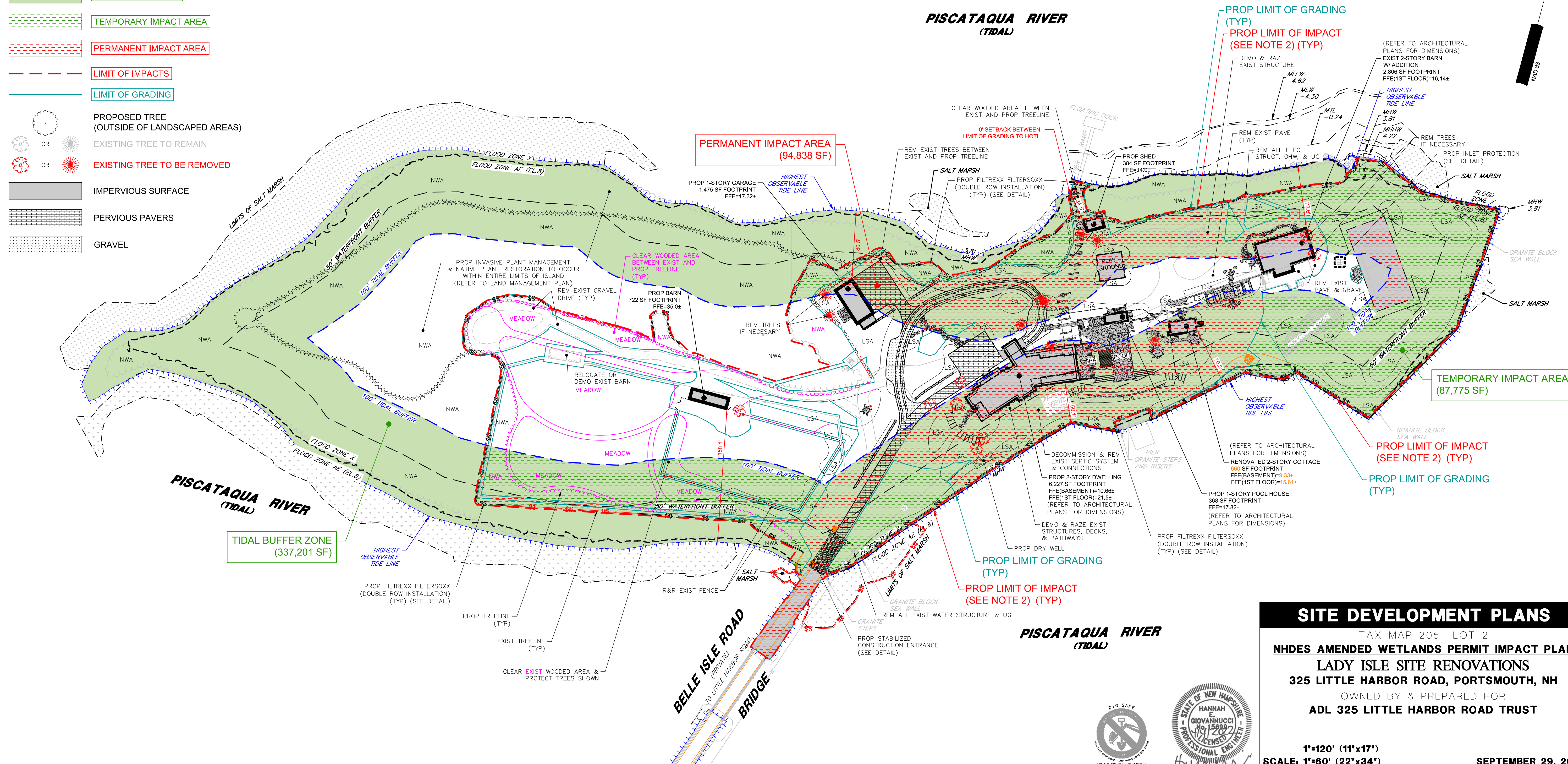
**LEGEND**

- HIGHEST OBSERVABLE TIDE LINE (HOTL)
- 100' TIDAL WETLAND BUFFER BOUNDARY

- TIDAL BUFFER ZONE
- TEMPORARY IMPACT AREA
- PERMANENT IMPACT AREA
- LIMIT OF IMPACTS
- LIMIT OF GRADING
- PROPOSED TREE (OUTSIDE OF LANDSCAPED AREAS)
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- IMPERVIOUS SURFACE
- PERVIOUS PAVERS
- GRAVEL

PROPOSED IMPACT AREA (PERMITTED)	
TOTAL PROPOSED PERMANENT IMPACT AREA WITHIN 100' TIDAL BUFFER ZONE	149,508 SF
TOTAL PROPOSED TEMPORARY IMPACT AREA WITHIN 100' TIDAL BUFFER ZONE	4,995 SF
TOTAL IMPACT AREA WITHIN 100' TIDAL BUFFER ZONE	154,503 SF
MAXIMUM ALLOWED TOTAL IMPACT AREA WITHIN 100' TIDAL BUFFER ZONE (154,503 SF)+(154,503 SF X 20%)	185,404 SF

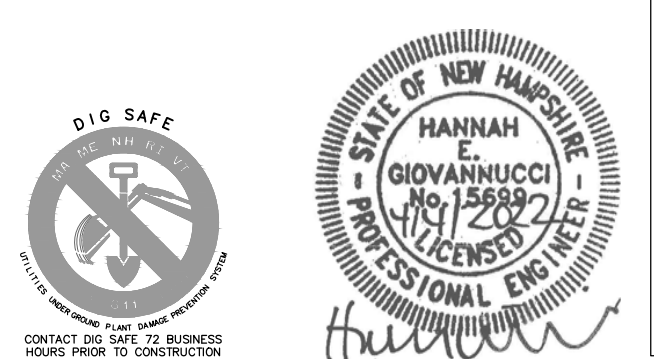
PROPOSED IMPACT AREA (AMENDED)	
TOTAL PROPOSED PERMANENT IMPACT AREA WITHIN 100' TIDAL BUFFER ZONE	94,838 SF
TOTAL PROPOSED TEMPORARY IMPACT AREA WITHIN 100' TIDAL BUFFER ZONE	87,775 SF
TOTAL PROPOSED IMPACT AREA WITHIN 100' TIDAL BUFFER ZONE	182,613 SF



**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**NHDES AMENDED WETLANDS PERMIT IMPACT PLAN**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

1"=120' (11"x17")  
 SCALE: 1"=60' (22"x34")  
 SEPTEMBER 29, 2021



REV	DATE	DESCRIPTION	DR	CK
6	4/4/2022	REVISED PER TAC COMMENTS & SEWER COVER	HEG	JCC
5	3/22/2022	REVISED PER TAC COMMENTS	HEG	JCC
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3	2/15/2022	REVISED PER NHDES & UTILITIES PER TAC	HEG	JCC
2	2/2/2022	REVISED PER NHDES & UPDATE SURVEY/UTILITIES	HEG	JCC
1	11/23/2021	REVISED PER NHDES & PROJECT COORDINATION	HEG	JCC

HORIZONTAL SCALE 1"=60'  
 60 30 0 60

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**NOTES**

1. SEE NOTES ON SHEET C-01.

**LEGEND**

- HIGHEST OBSERVABLE TIDE LINE (HOTL)
- 100' TIDAL WETLAND BUFFER BOUNDARY
- TIDAL BUFFER ZONE
- IMPACT AREA
- TEMPORARY IMPACT AREA
- LIMIT OF IMPACTS
- IMPERVIOUS SURFACE
- PERVIOUS PAVERS
- GRAVEL SURFACE

EXISTING IMPERVIOUS AREA (LADY ISLE ONLY)		
	TIDAL WETLAND BUFFER ZONE	TOTAL ISLAND AREA*
TOTAL IMPERVIOUS AREA	27,123 SF (8.0%)	51,371 SF (10.2%)
TOTAL PERMEABLE AREA	754 SF (0.3%)	754 SF (0.1%)
EXISTING VEGETATED AREA (LADY ISLE ONLY)		
	TIDAL WETLAND BUFFER ZONE	TOTAL ISLAND AREA*
TOTAL GRASS/LANDSCAPE AREA	176,413 SF (52.3%)	245,920 SF (48.4%)
TOTAL NATURAL WOODLAND AREA	132,911 SF (39.4%)	209,400 SF (41.3%)
TOTAL AREA (LADY ISLE ONLY)		
TOTAL	337,201 SF	507,445 SF

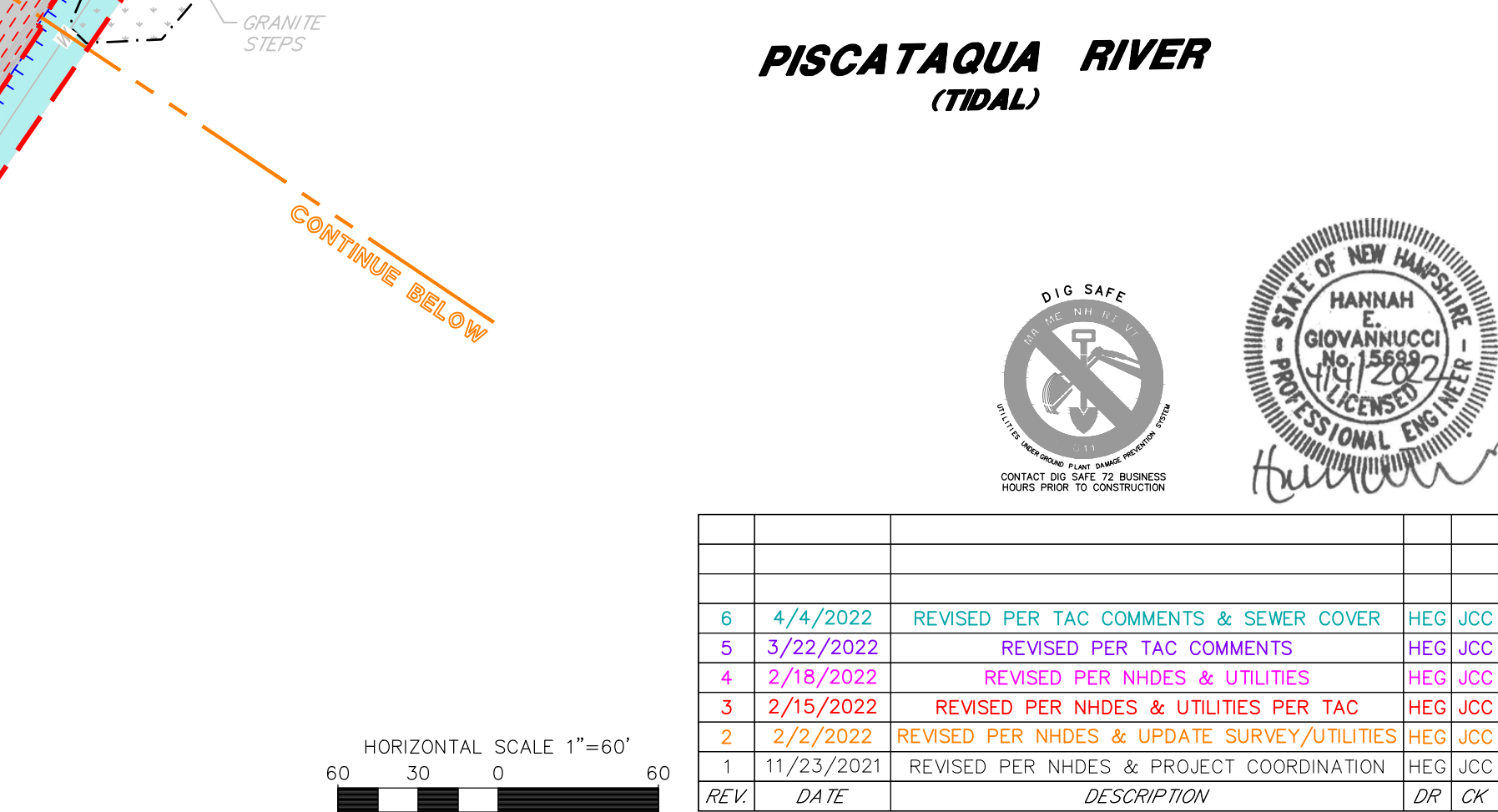
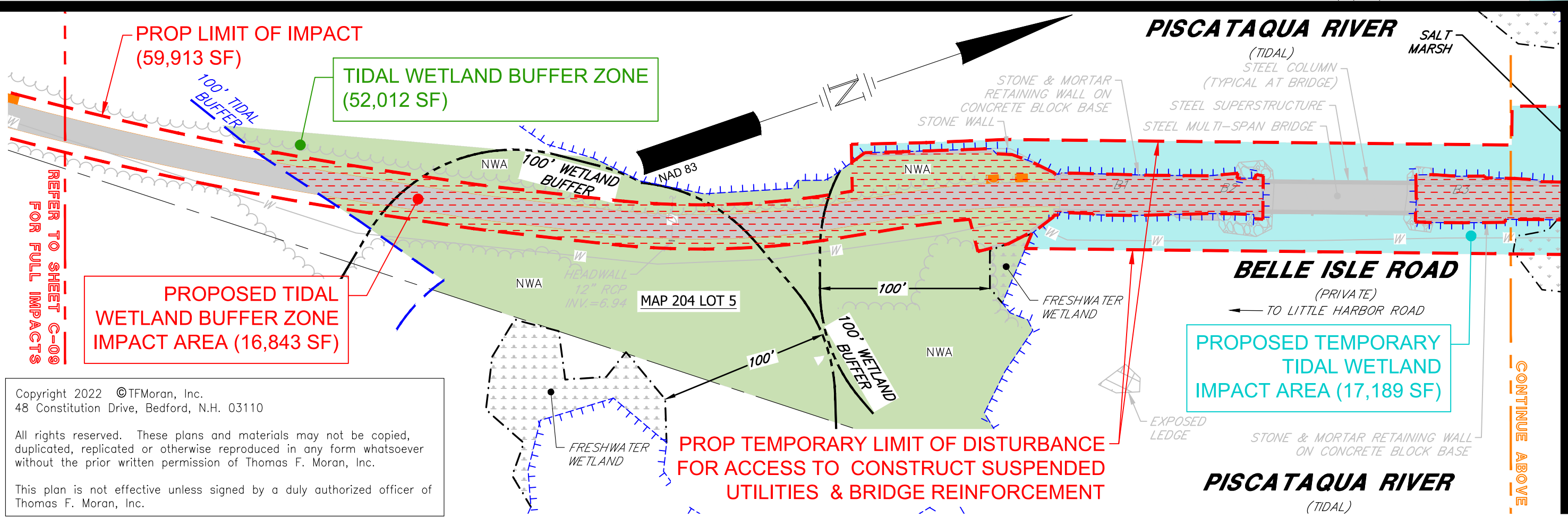
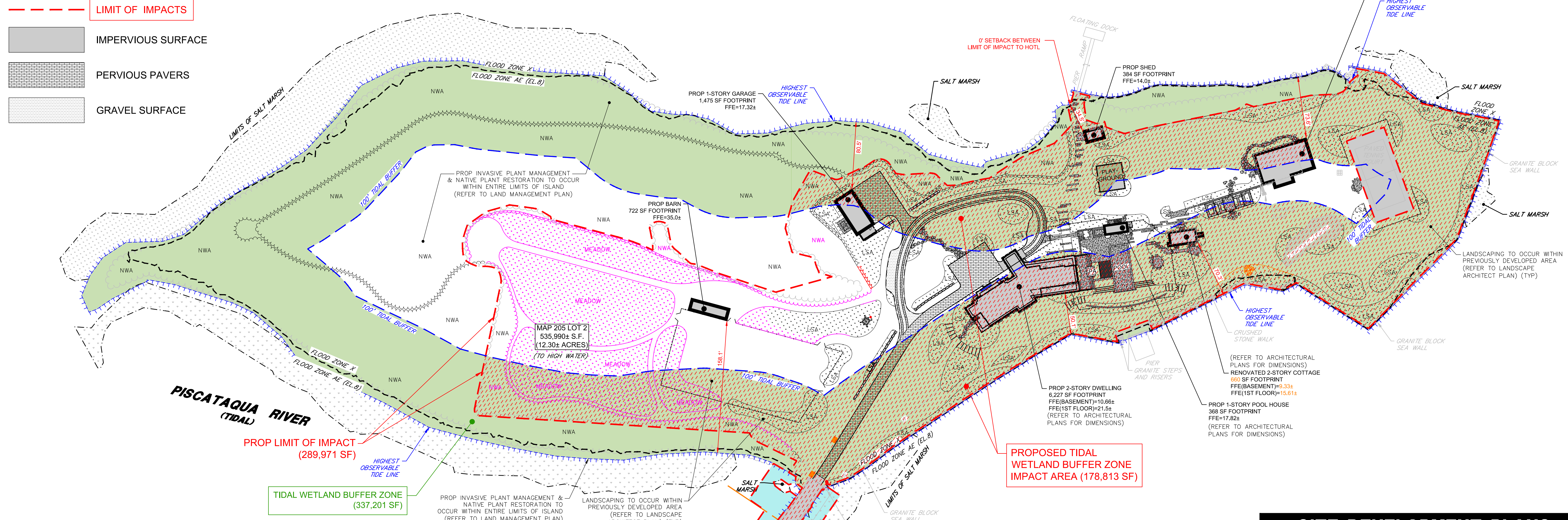
\*TOTAL ISLAND AREA INCLUDES THE TOTAL LAND UPON LADY ISLE WITHIN HIGHEST OBSERVABLE TIDE LINE (HOTL), INCLUDING THE ADJACENT BRIDGE APPROACH.

PROPOSED IMPERVIOUS AREA (LADY ISLE ONLY)		
	TIDAL WETLAND BUFFER ZONE	TOTAL ISLAND AREA*
TOTAL IMPERVIOUS AREA	25,217 SF (7.5%)	34,700 SF (6.8%)
TOTAL PERMEABLE AREA	8,144 SF (2.4%)	13,224 SF (2.6%)
PROPOSED VEGETATED AREA (LADY ISLE ONLY)		
	TIDAL WETLAND BUFFER ZONE	TOTAL ISLAND AREA*
TOTAL GRASS AREA	118,339 SF (35.1%)	156,880 SF (30.9%)
TOTAL LANDSCAPE/MEADOW AREA	48,191 SF (14.3%)	97,785 SF (19.3%)
TOTAL NATURAL WOODLAND AREA	137,310 SF (40.7%)	204,856 SF (40.4%)
TOTAL AREA (LADY ISLE ONLY)		
TOTAL	337,201 SF	507,445 SF

PROPOSED IMPACT AREA (ALL IMPROVEMENTS)			
	TIDAL WETLAND BUFFER ZONE	TOTAL LAND AREA	TIDAL WETLAND AREA
TOTAL LAND IMPACT AREA	195,656 SF	349,884 SF	
TOTAL WETLAND TEMPORARY IMPACT AREA			17,189 SF

**WETLAND SCIENTIST NOTE**

HIGHEST OBSERVABLE TIDE LINE (HOTL) AND SALT MARSH WERE DELINEATED BY MARC JACOBS, CERTIFIED WETLAND SCIENTIST 090, ON MAY 24, 2019. SALT MARSH WAS DELINEATED BASED UPON THE EXTENT OF ROOTED EMERGENT SALT-TOLERANT VEGETATION OBSERVED DURING LOW TIDE. HOTL WAS DELINEATED BASED UPON THE CODE OF ADMINISTRATIVE RULES, NH DEPARTMENT OF ENVIRONMENTAL SERVICES - WETLANDS BUREAU - ENV WT 100-900, ESPECIALLY ENV-WT 101.49. COPIES OF SITE PLANS WHICH DEPICT THE DELINEATION THAT HAVE BEEN REVIEWED BY THE WETLAND SCIENTIST ARE INDIVIDUALLY STAMPED, SIGNED AND DATED. THIS NOTE HAS BEEN CUSTOMIZED FOR THIS PROJECT.



**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**WETLAND CONDITIONAL USE PERMIT PLAN**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

1"=120' (11"x17")  
 SCALE: 1"=60' (22"x34")  
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47099.01 DR HEG FB  
 CK JCC CADFILE 47099-01\_WETLAND CUP C-04

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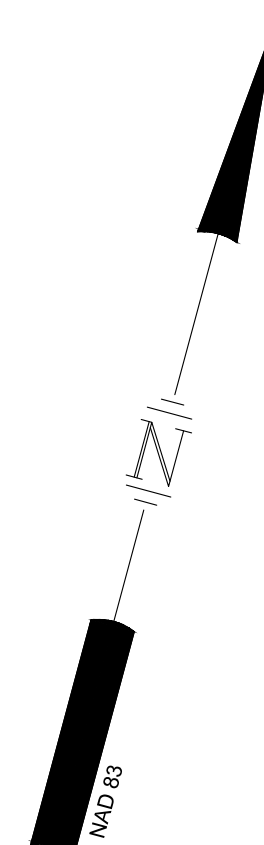
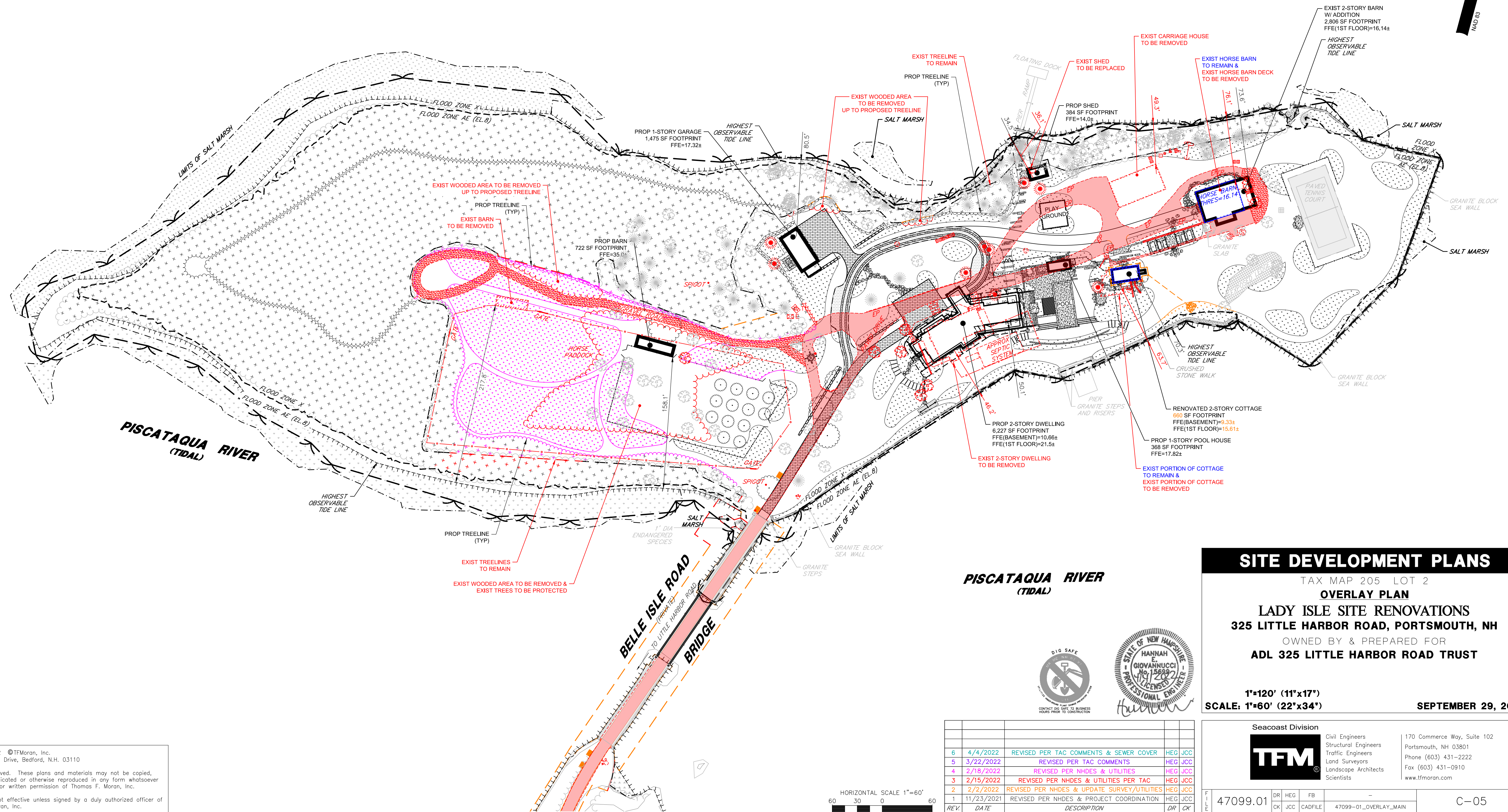
**NOTES**

1. SEE NOTES ON SHEET C-01.

**LEGEND**

- EXISTING FEATURES TO REMAIN
- EXISTING BUILDING TO REMAIN
- EXISTING FEATURES TO BE REMOVED
- PROPOSED FEATURES

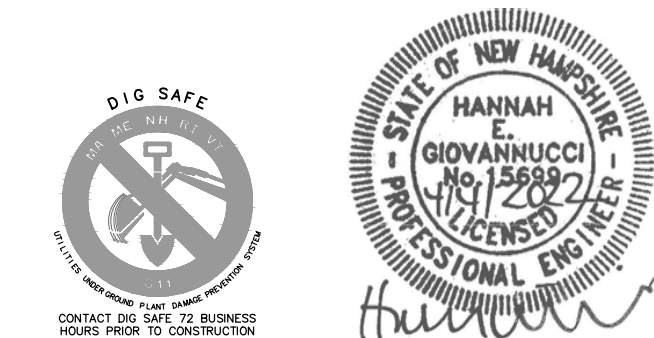
**PISCATAQUA RIVER  
(TIDAL)**



**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**OVERLAY PLAN**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
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HORIZONTAL SCALE 1"=60'  
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### CONSTRUCTION SEQUENCE NOTES

TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.

MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.

THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.

THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.

DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO STORMWATER BMP'S. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.

### CONSTRUCTION SEQUENCE NOTES (CONTINUED)

DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

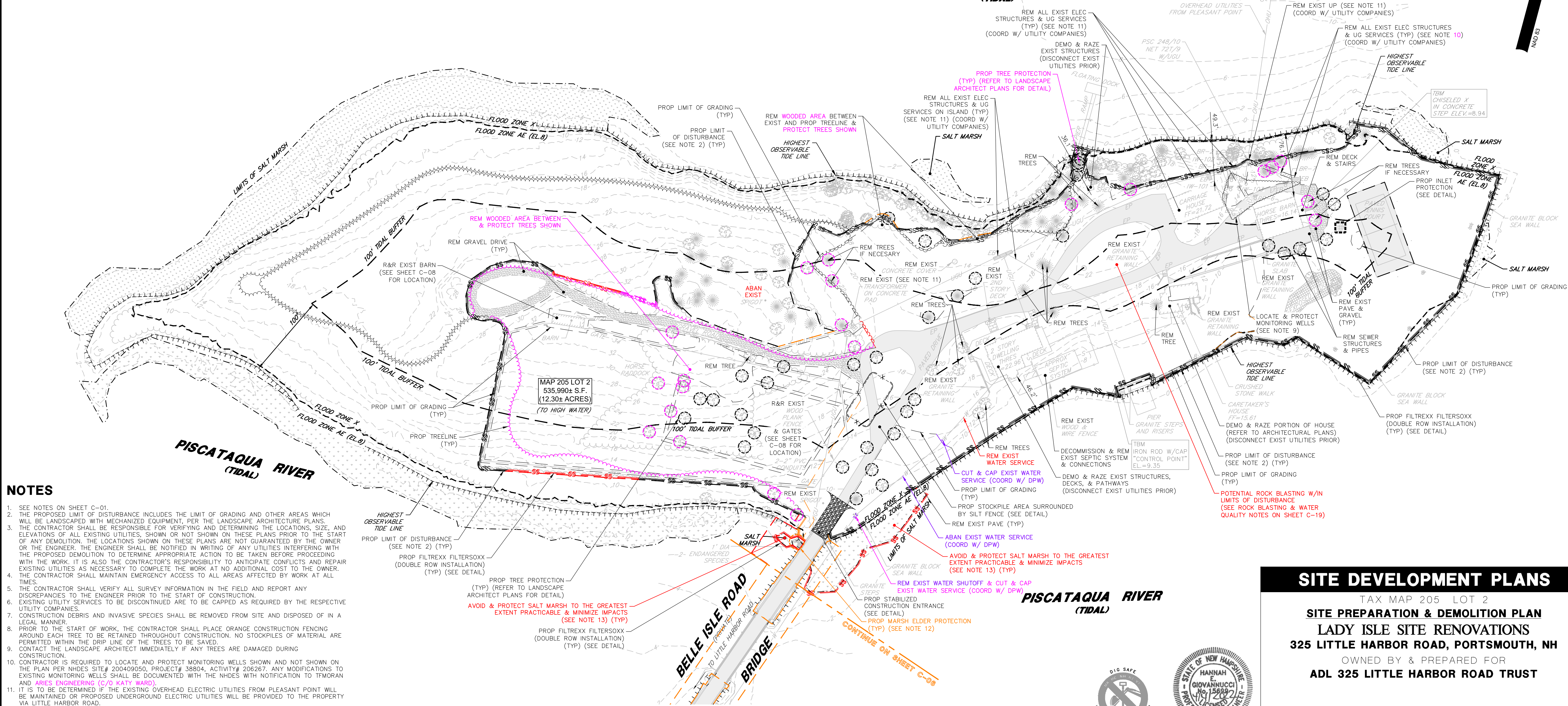
1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. STORMWATER TREATMENT PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING OF THE SITE.
4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
5. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEED WITHIN 72 HOURS AFTER GRADING.
6. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
7. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
8. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.

### CONSTRUCTION SEQUENCE NOTES (CONTINUED)

10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

### CONSTRUCTION SEQUENCE NOTES (FOR ALTERATION OF TERRAIN)

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO BMP'S DURING ANY STAGE OF CONSTRUCTION.
2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
3. AFTER INFILTRATION SYSTEMS ARE EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
4. DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
5. DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED, IF NECESSARY, AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



### NOTES

1. SEE NOTES ON SHEET C-01.
2. THE PROPOSED LIMIT OF DISTURBANCE INCLUDES THE LIMIT OF GRADING AND OTHER AREAS WHICH WILL BE LANDSCAPED WITH MECHANIZED EQUIPMENT, PER THE LANDSCAPE ARCHITECTURE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
4. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
5. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
6. CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
7. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
8. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.
9. CONTRACTOR IS REQUIRED TO LOCATE AND PROTECT MONITORING WELLS SHOWN AND NOT SHOWN ON THE PLAN PER NHDES SITE# 200409050, PROJECT# 38804, ACTIVITY# 206267. ANY MODIFICATIONS TO EXISTING MONITORING WELLS SHALL BE DOCUMENTED WITH THE NHDES WITH NOTIFICATION TO TFMORAN AND ARIES ENGINEERING (C/O KATY WARD).
10. IT IS TO BE DETERMINED IF THE EXISTING OVERHEAD ELECTRIC UTILITIES FROM PLEASANT POINT WILL BE MAINTAINED OR PROPOSED UNDERGROUND ELECTRIC UTILITIES WILL BE PROVIDED TO THE PROPERTY VIA LITTLE HARBOR ROAD.
11. PRIOR TO CONSTRUCTION, MARSH ELDER SHALL BE IDENTIFIED, FLAGGED, AND SURROUNDED WITH ORANGE CONSTRUCTION FENCING WITH YELLOW CAUTION TAPE FOR PROTECTION OF THE SPECIES. DO NOT REMOVE, MOW, TRAMPLE, COVER, OR OTHERWISE HARM THE PLANT. REMOVE FLAGS AND CONSTRUCTION FENCING AND CAUTION TAPE AFTER CONSTRUCTION IS COMPLETED.
12. TO THE GREATEST EXTENT PRACTICABLE, IMPACTS TO THE SALT MARSH SHALL BE MINIMIZED. EROSION CONTROLS SHALL BE INSTALLED, MONITORED, AND ADJUSTED AS REQUIRED THROUGHOUT THE DURATION OF THE PROJECT. UPON COMPLETION, DISTURBED AREAS SHALL BE REPLANTED WITH PLUGS OF SALT MARSH CORDGRASS (SPARTINA ALTERNIFLORA).

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### SITE DEVELOPMENT PLANS

TAX MAP 205 LOT 2  
**SITE PREPARATION & DEMOLITION PLAN**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

1"=120' (11"x17")  
SCALE: 1"=60' (22"x34")  
SEPTEMBER 29, 2021



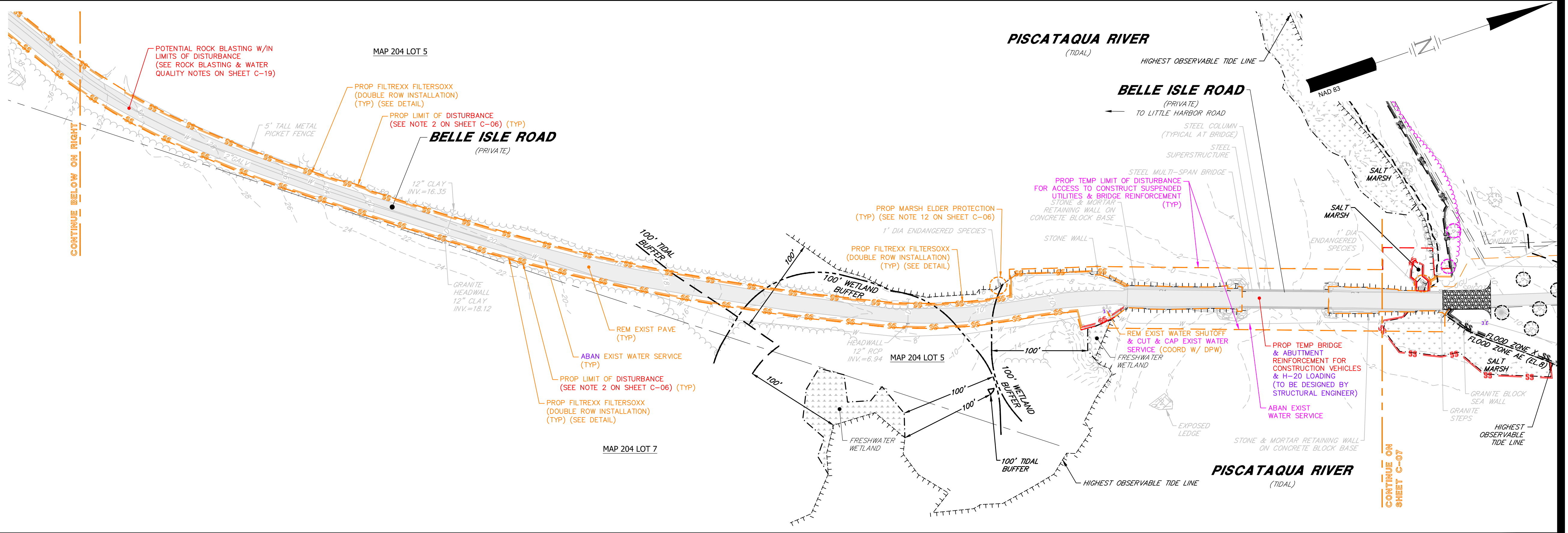
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TFM		Structural Engineers	Portsmouth, NH 03801
		Traffic Engineers	Phone (603) 431-2222
		Land Surveyors	Fax (603) 431-0910
		Landscape Architects	www.tfmoran.com
		Scientists	
47099.01	DR HEG FB		
	CK JCC CADFILE	47099-01_SITE PREP_MAIN	C-06

Apr 05, 2022 - 4:18am F:\MISC Projects\47099 - Little Harbor Rd & Gosport Rd - Little Harbor Rd Design\PRODUCTION DRAWINGS\47099-01\_Site Prep\_Main.dwg

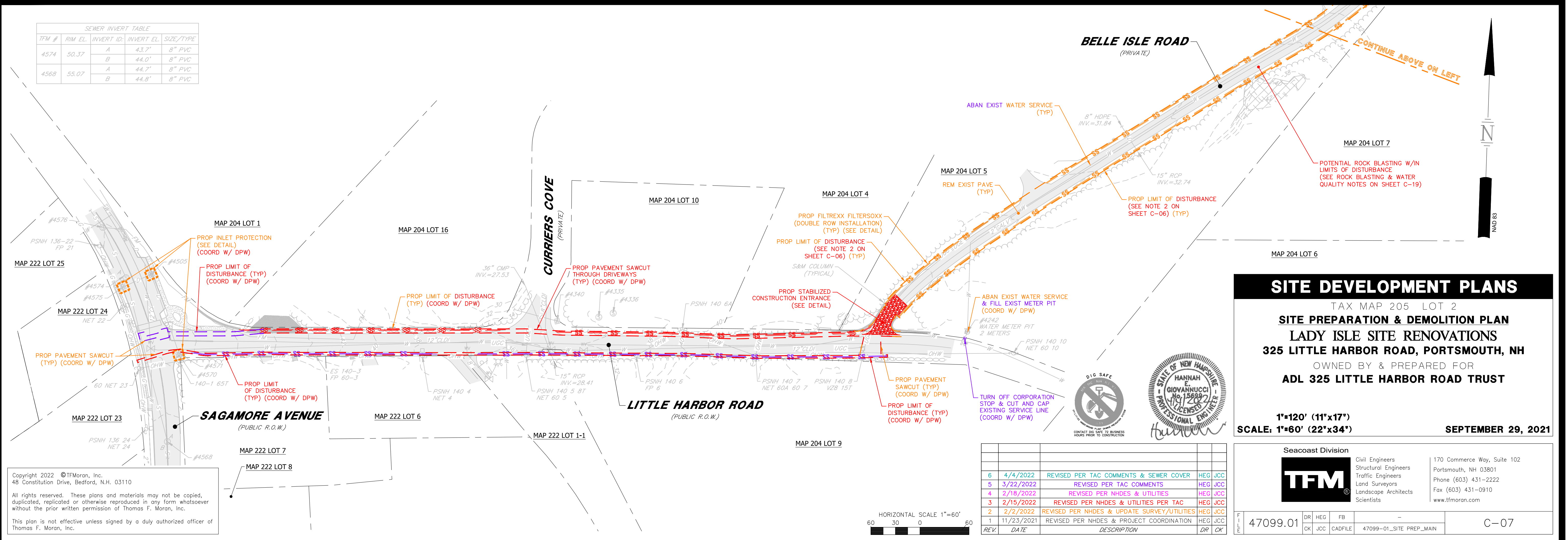
**NOTES**

1. SEE NOTES ON SHEET C-01 & C-06.



SEWER INVERT TABLE

TFM #	RIM EL.	INVERT ID.	INVERT EL.	SIZE/TYPE
4574	50.37	A	43.7'	8" PVC
		B	44.0'	8" PVC
4568	55.07	A	44.7'	8" PVC
		B	44.8'	8" PVC



**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**SITE PREPARATION & DEMOLITION PLAN**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
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1	11/23/2021	REVISED PER NHDES & PROJECT COORDINATION	HEG	JCC

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47099.01    DR HEG    FB    -    -    -    -    -  
 CK JCC    CADFILE    47099-01\_SITE\_PREP\_MAIN    -    -    -    -    -  
 C-07

Apr 05, 2022 - 4:19am F:\MSC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099-01 - DiLorenzo - 325 Little Harbor Rd\Design\PRODUCTION DRAWINGS\47099-01\_Site Prep\_Main.dwg

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**SITE DATA**

OWNER OF RECORD OF MAP 205 LOT 2: THE ADL 325 LITTLE HARBOR ROAD TRUST  
STEPHEN H. ROBERTS ESQ., TRUSTEE  
127 PARROTT AVENUE  
PORTSMOUTH, NH 03801

DEED REFERENCE TO PARCEL IS BK 5959 PG 1244  
AREA OF PARCEL = 535,990± SF OR 12.30± ACRES

ZONED: RURAL (R)  
EXISTING USE: SINGLE-FAMILY DWELLING / ACCESSORY USE  
PROPOSED USE: SINGLE-FAMILY DWELLING / ACCESSORY USE

THE PURPOSE OF THIS PLAN IS TO DEMOLISH THE EXISTING HOUSE, CARRIAGE HOUSE, AND PADDOCK TO CONSTRUCT A 2-STORY SINGLE-FAMILY HOME, GARAGE, POOL, POOL CABANA, PLAYGROUND, AND UTILITY CONNECTIONS VIA LITTLE HARBOR ROAD; RENOVATE AN EXISTING BARN AND GUEST COTTAGE; AND REPLACE AN EXISTING SHED AND BARN WITH A NEW SHED AND BARN. ASSOCIATED IMPROVEMENTS INCLUDE AND ARE NOT LIMITED TO ACCESS, GRADING, STORMWATER MANAGEMENT SYSTEMS, UTILITIES, AND LANDSCAPING.

**DIMENSIONAL REQUIREMENTS (CURRENT ZONING)**

MINIMUM LOT DIMENSIONS:	REQUIRED:	PROVIDED:
LOT AREA	5 AC (PER DWELLING UNIT)	12.30± AC (TOTAL)
MINIMUM YARD DIMENSIONS:		
FRONT	50 FT	>50 FT
SIDE	20 FT	>20 FT
REAR	40 FT	>40 FT
MAXIMUM STRUCTURE DIMENSIONS:		
STRUCTURE HEIGHT	35 FT	<35 FT
BUILDING COVERAGE	5%	4.1%
MINIMUM OPEN SPACE	75%	92%±

**SNOW STORAGE CALCULATIONS**

REQUIRED SNOW STORAGE PER PARKING RATIO:  
1 SF OF STORAGE AREA / 5 SF TO 10 SF OF CLEARING AREA

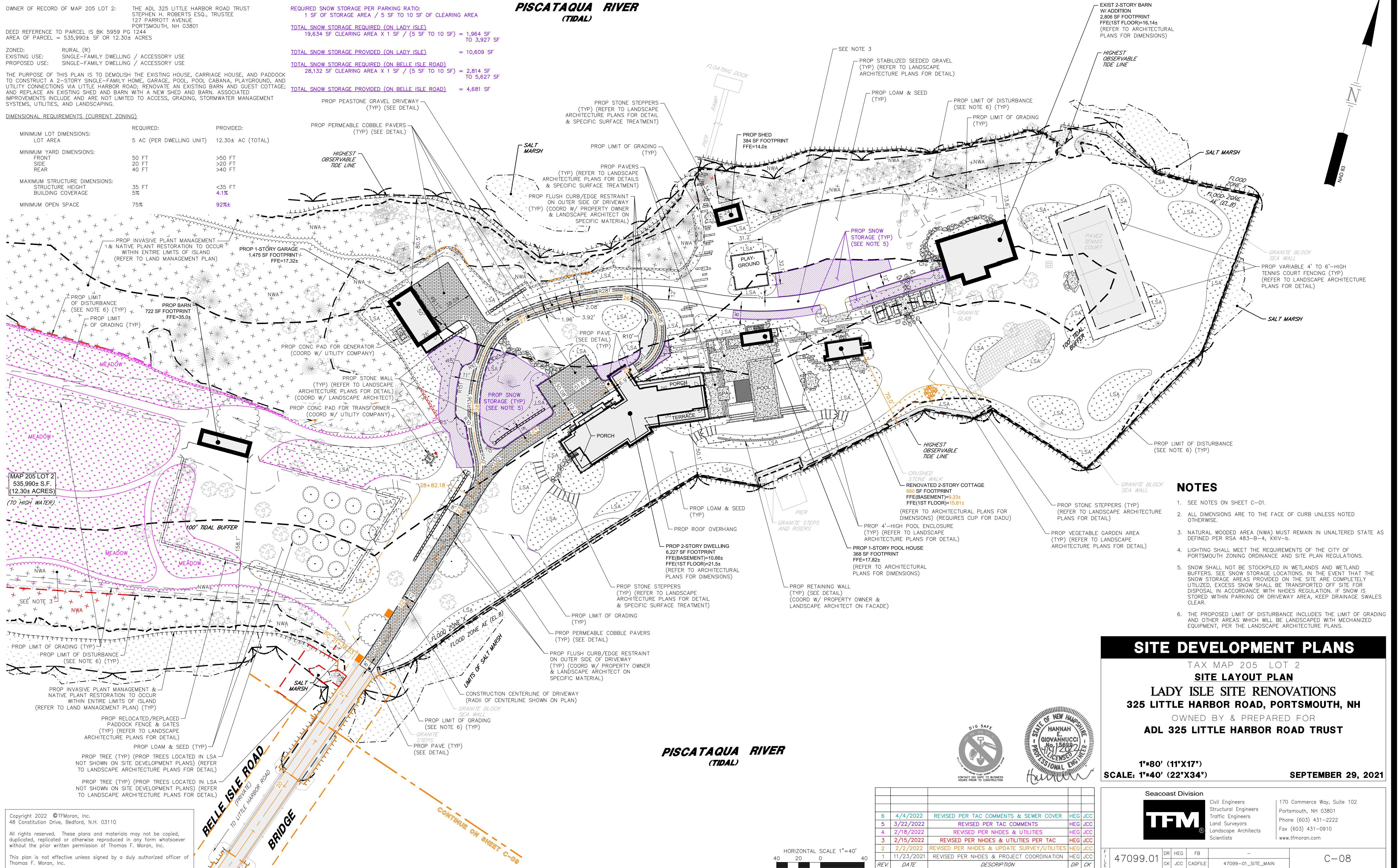
**TOTAL SNOW STORAGE REQUIRED (ON LADY ISLE)**  
19,634 SF CLEARING AREA X 1 SF / (5 SF TO 10 SF) = 1,964 SF TO 3,927 SF

**TOTAL SNOW STORAGE PROVIDED (ON LADY ISLE)** = 10,609 SF

**TOTAL SNOW STORAGE REQUIRED (ON BELLE ISLE ROAD)**  
28,132 SF CLEARING AREA X 1 SF / (5 SF TO 10 SF) = 2,814 SF TO 5,627 SF

**TOTAL SNOW STORAGE PROVIDED (ON BELLE ISLE ROAD)** = 4,681 SF

**PISCATAQUA RIVER (TIDAL)**



**NOTES**

- SEE NOTES ON SHEET C-01.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- NATURAL WOODED AREA (NWA) MUST REMAIN IN UNALTERED STATE AS DEFINED PER RSA 483-B-4, XXIV-B.
- LIGHTING SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- SNOW SHALL NOT BE STOCKPILED IN WETLANDS AND WETLAND BUFFERS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING OR DRIVEWAY AREA, KEEP DRAINAGE SWALES CLEAR.
- THE PROPOSED LIMIT OF DISTURBANCE INCLUDES THE LIMIT OF GRADING AND OTHER AREAS WHICH WILL BE LANDSCAPED WITH MECHANIZED EQUIPMENT, PER THE LANDSCAPE ARCHITECTURE PLANS.

**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**SITE LAYOUT PLAN**  
**LADY ISLE SITE RENOVATIONS**  
325 LITTLE HARBOR ROAD, PORTSMOUTH, NH  
OWNED BY & PREPARED FOR  
ADL 325 LITTLE HARBOR ROAD TRUST

1"=80' (11"X17")  
SCALE: 1"=40' (22"X34")  
SEPTEMBER 29, 2021



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CK JCC CADFILE 47099-01\_SITE\_MAIN C-08

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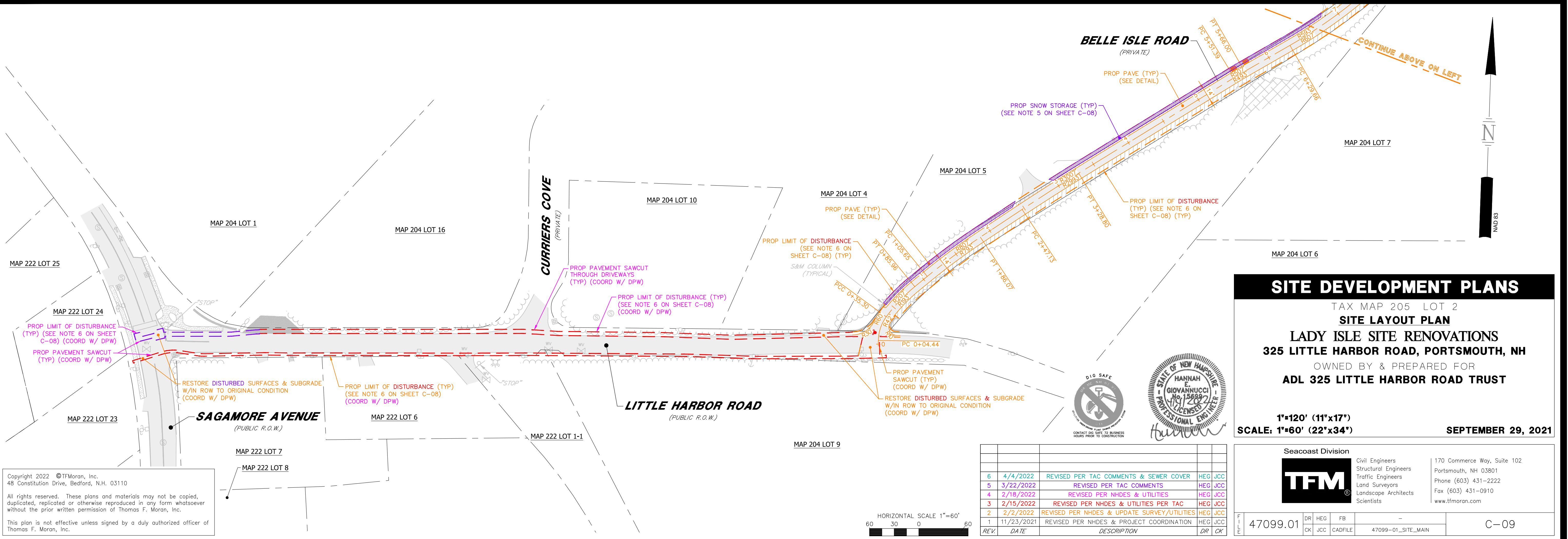
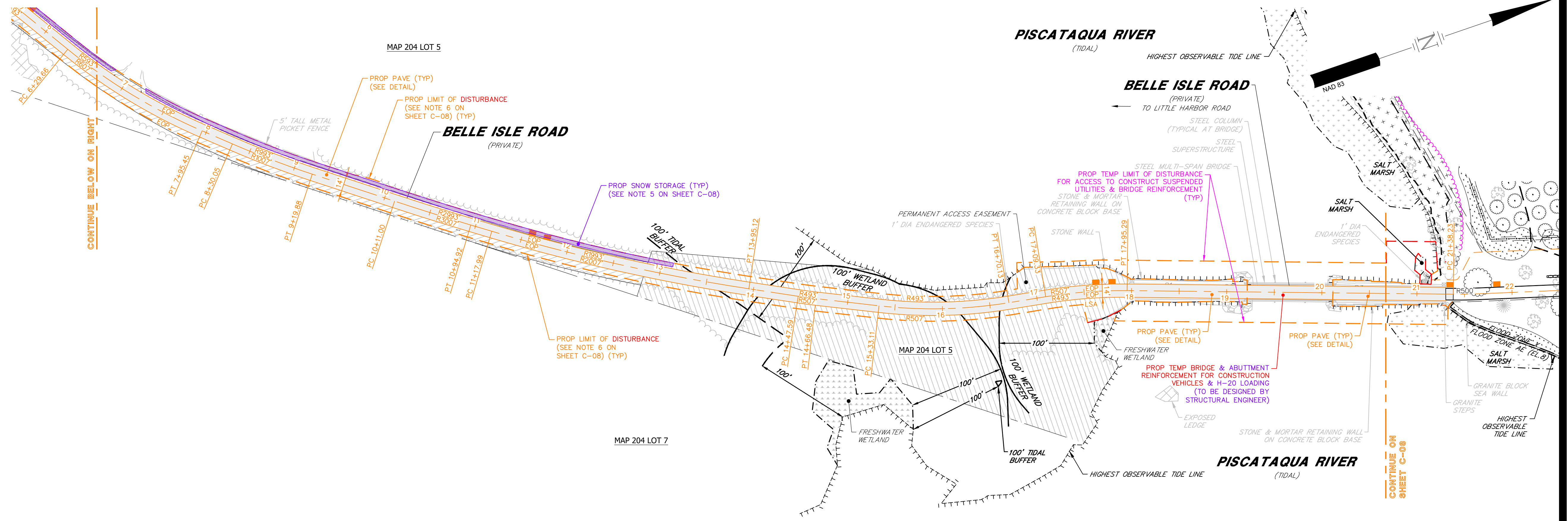
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**NOTES**

1. SEE NOTES ON SHEET C-01 AND C-08.



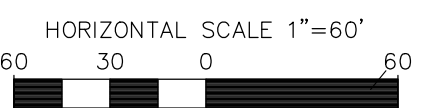
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**SITE LAYOUT PLAN**  
**LADY ISLE SITE RENOVATIONS**  
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**1"=120' (11"x17")**  
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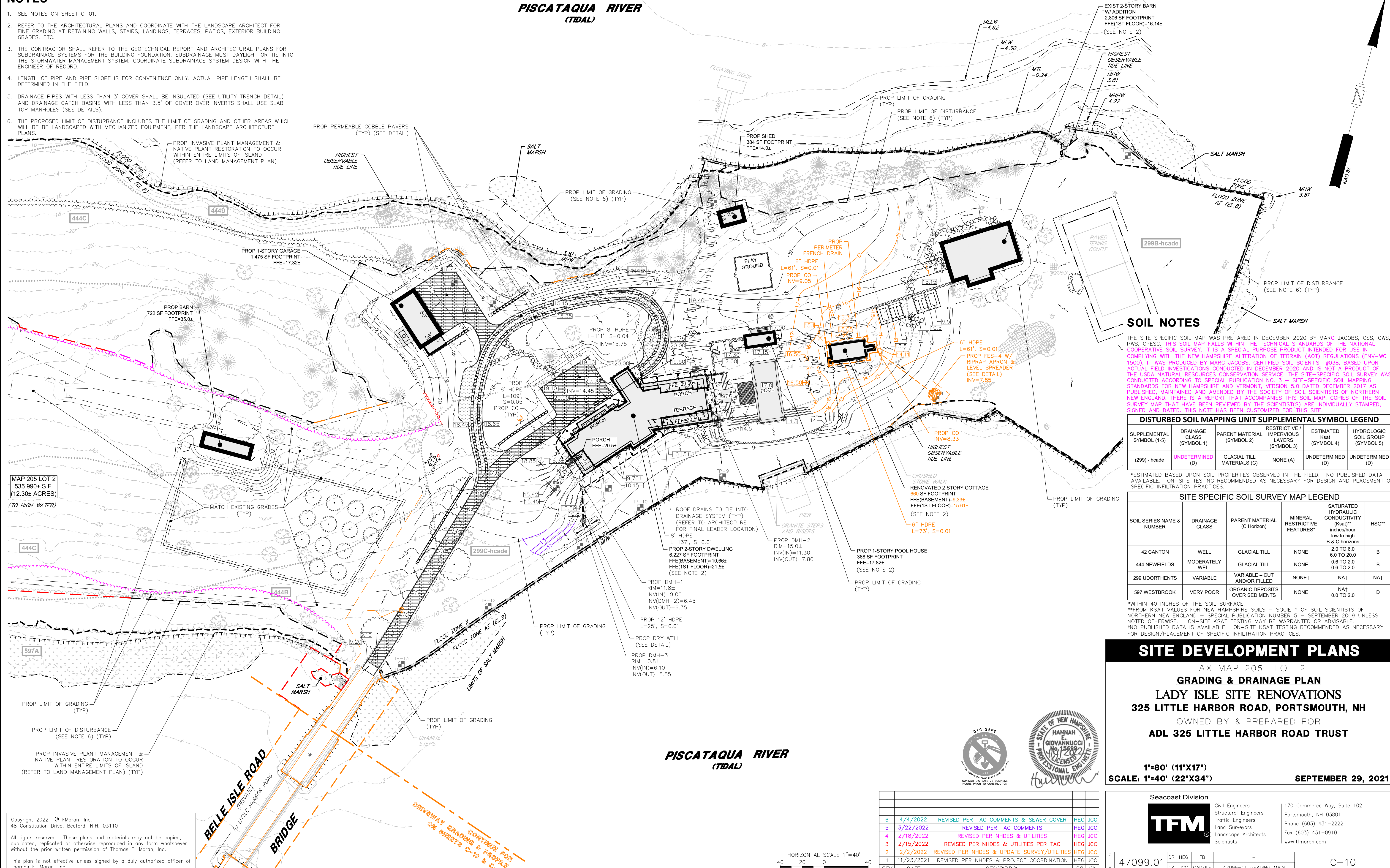
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**NOTES**

- SEE NOTES ON SHEET C-01.
- REFER TO THE ARCHITECTURAL PLANS AND COORDINATE WITH THE LANDSCAPE ARCHITECT FOR FINE GRADING AT RETAINING WALLS, STAIRS, LANDINGS, TERRACES, PATIOS, EXTERIOR BUILDING GRADES, ETC.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS FOR SUBDRAINAGE SYSTEMS FOR THE BUILDING FOUNDATION. SUBDRAINAGE MUST DAYLIGHT OR TIE INTO THE STORMWATER MANAGEMENT SYSTEM. COORDINATE SUBDRAINAGE SYSTEM DESIGN WITH THE ENGINEER OF RECORD.
- LENGTH OF PIPE AND PIPE SLOPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- DRAINAGE PIPES WITH LESS THAN 3' COVER SHALL BE INSULATED (SEE UTILITY TRENCH DETAIL) AND DRAINAGE CATCH BASINS WITH LESS THAN 3.5' OF COVER OVER INVERTS SHALL USE SLAB TOP MANHOLES (SEE DETAILS).
- THE PROPOSED LIMIT OF DISTURBANCE INCLUDES THE LIMIT OF GRADING AND OTHER AREAS WHICH WILL BE LANDSCAPED WITH MECHANIZED EQUIPMENT, PER THE LANDSCAPE ARCHITECTURE PLANS.

**PISCATAQUA RIVER (TIDAL)**



**SOIL NOTES**

THE SITE SPECIFIC SOIL MAP WAS PREPARED IN DECEMBER 2020 BY MARC JACOBS, CSS, CWS, PWS, CPESC. THIS SOIL MAP FALLS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT INTENDED FOR USE IN COMPLYING WITH THE NEW HAMPSHIRE ALTERATION OF TERRAIN (AOT) REGULATIONS (ENR-VI-Q 1500). IT WAS PRODUCED BY MARC JACOBS, CERTIFIED SOIL SCIENTIST #038, BASED UPON ACTUAL FIELD INVESTIGATIONS CONDUCTED IN DECEMBER 2020 AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THE SITE-SPECIFIC SOIL SURVEY WAS CONDUCTED ACCORDING TO SPECIAL PUBLICATION NO. 3 - SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, VERSION 5.0 DATED DECEMBER 2017 AS PUBLISHED, MAINTAINED AND AMENDED BY THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND. THERE IS A REPORT THAT ACCOMPANIES THIS SOIL MAP. COPIES OF THE SOIL SURVEY MAP THAT HAVE BEEN REVIEWED BY THE SCIENTIST(S) ARE INDIVIDUALLY STAMPED, SIGNED AND DATED. THIS NOTE HAS BEEN CUSTOMIZED FOR THIS SITE.

**DISTURBED SOIL MAPPING UNIT SUPPLEMENTAL SYMBOL LEGEND**

SUPPLEMENTAL SYMBOL (1-5)	DRAINAGE CLASS (SYMBOL 1)	PARENT MATERIAL (SYMBOL 2)	RESTRICTIVE / IMPERVIOUS LAYERS (SYMBOL 3)	ESTIMATED Ksat (SYMBOL 4)	HYDROLOGIC SOIL GROUP (SYMBOL 5)
(299) - hcade	UNDETERMINED (D)	GLACIAL TILL MATERIALS (C)	NONE (A)	UNDETERMINED (D)	UNDETERMINED (D)

\*ESTIMATED BASED UPON SOIL PROPERTIES OBSERVED IN THE FIELD. NO PUBLISHED DATA AVAILABLE. ON-SITE TESTING RECOMMENDED AS NECESSARY FOR DESIGN AND PLACEMENT OF SPECIFIC INFILTRATION PRACTICES.

**SITE SPECIFIC SOIL SURVEY MAP LEGEND**

SOIL SERIES NAME & NUMBER	DRAINAGE CLASS	PARENT MATERIAL (C Horizon)	MINERAL RESTRICTIVE FEATURES*	SATURATED HYDRAULIC CONDUCTIVITY (Ksat)** inches/hour low to high B & C horizons	HSG**
42 CANTON	WELL	GLACIAL TILL	NONE	2.0 TO 6.0	B
444 NEWFIELDS	MODERATELY WELL	GLACIAL TILL	NONE	6.0 TO 20.0	B
299 UDORTHERNS	VARIABLE	VARIABLE - CUT AND/OR FILLED	NONE†	0.6 TO 2.0	NA†
597 WESTBROOK	VERY POOR	ORGANIC DEPOSITS OVER SEDIMENTS	NONE	NA†	D

\*WITHIN 40 INCHES OF THE SOIL SURFACE.  
 \*\*FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS - SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND - SPECIAL PUBLICATION NUMBER 5 - SEPTEMBER 2009 UNLESS NOTED OTHERWISE. ON-SITE KSAT TESTING MAY BE WARRANTED OR ADVISABLE.  
 †NO PUBLISHED DATA IS AVAILABLE. ON-SITE KSAT TESTING RECOMMENDED AS NECESSARY FOR DESIGN/PLACEMENT OF SPECIFIC INFILTRATION PRACTICES.

**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**GRADING & DRAINAGE PLAN**  
**LADY ISLE SITE RENOVATIONS**  
 325 LITTLE HARBOR ROAD, PORTSMOUTH, NH  
 OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

**1"=80' (11'X17')**  
**SCALE: 1"=40' (22'X34')** **SEPTEMBER 29, 2021**

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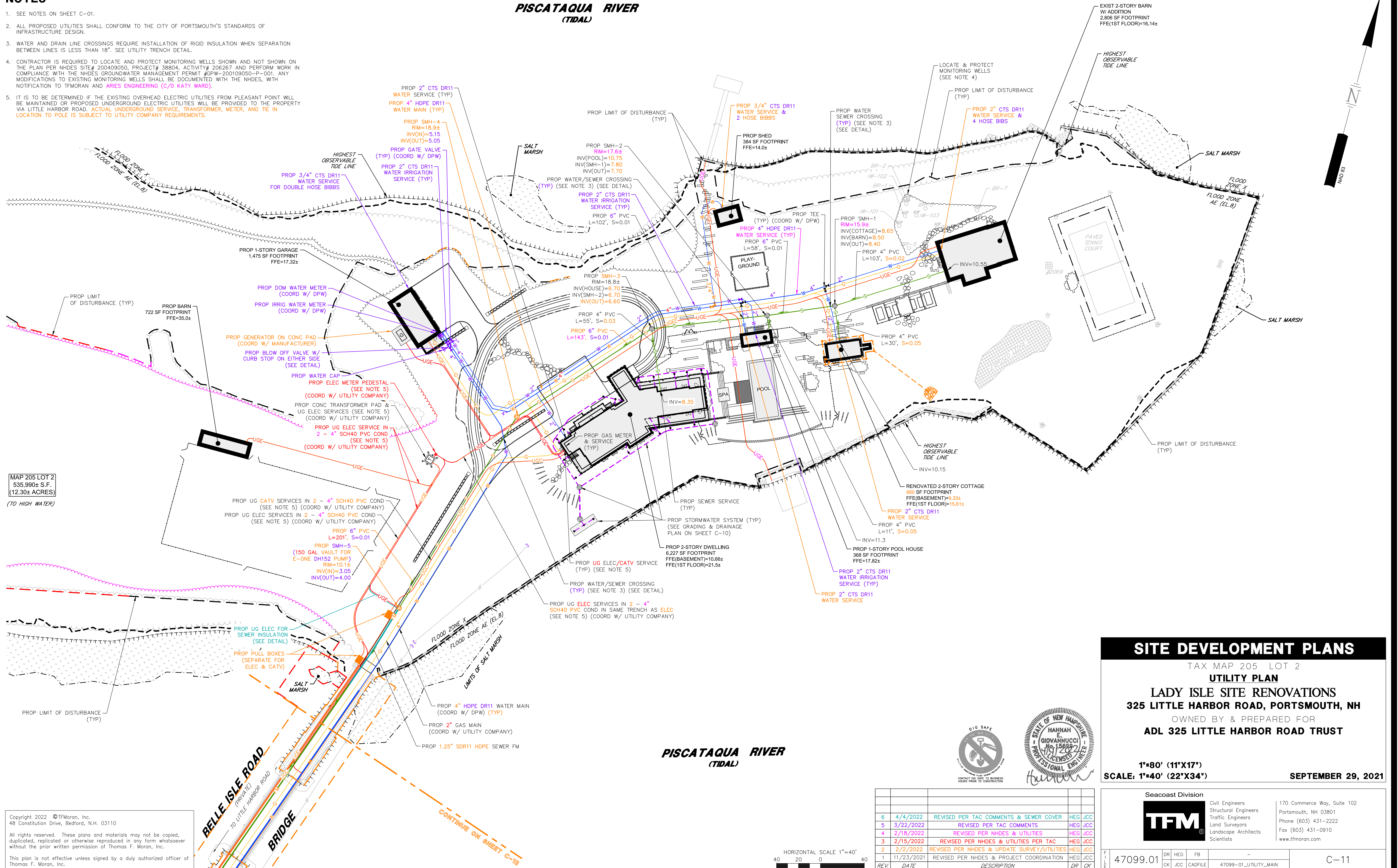
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**NOTES**

- SEE NOTES ON SHEET C-01.
- ALL PROPOSED UTILITIES SHALL CONFORM TO THE CITY OF PORTSMOUTH'S STANDARDS OF INFRASTRUCTURE DESIGN.
- WATER AND DRAIN LINE CROSSINGS REQUIRE INSTALLATION OF RIGID INSULATION WHEN SEPARATION BETWEEN LINES IS LESS THAN 18". SEE UTILITY TRENCH DETAIL.
- CONTRACTOR IS REQUIRED TO LOCATE AND PROTECT MONITORING WELLS SHOWN AND NOT SHOWN ON THE PLAN PER NHDES SITE# 200409050, PROJECT# 38804, ACTIVITY# 206267 AND PERFORM WORK IN COMPLIANCE WITH THE NHDES GROUNDWATER MANAGEMENT PERMIT #GPW-200109050-P-001. ANY MODIFICATIONS TO EXISTING MONITORING WELLS SHALL BE DOCUMENTED WITH THE NHDES, WITH NOTIFICATION TO TFMORAN AND ARIES ENGINEERING (C/O KATY WARD).
- IT IS TO BE DETERMINED IF THE EXISTING OVERHEAD ELECTRIC UTILITIES FROM PLEASANT POINT WILL BE MAINTAINED OR PROPOSED UNDERGROUND ELECTRIC UTILITIES WILL BE PROVIDED TO THE PROPERTY VIA LITTLE HARBOR ROAD. ACTUAL UNDERGROUND SERVICE, TRANSFORMER, METER, AND TIE IN LOCATION TO POLE IS SUBJECT TO UTILITY COMPANY REQUIREMENTS.

**PISCATAQUA RIVER  
(TIDAL)**



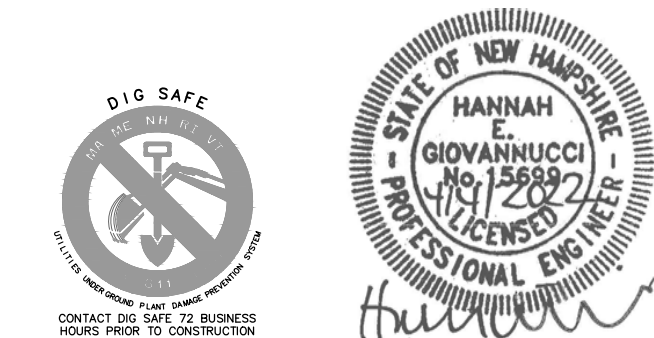
MAP 205 LOT 2  
535,990± S.F.  
(12.30± ACRES)  
(TO HIGH WATER)

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TAX MAP 205 LOT 2  
**UTILITY PLAN**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
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**1"=80' (11"X17')**  
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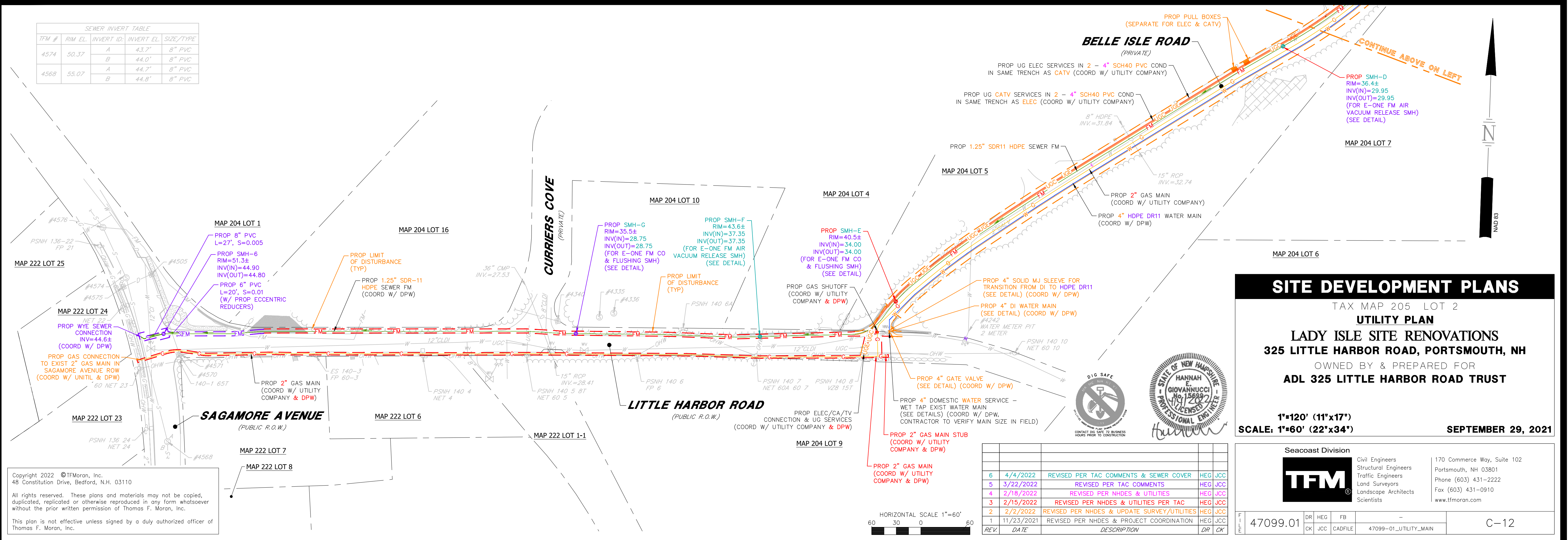
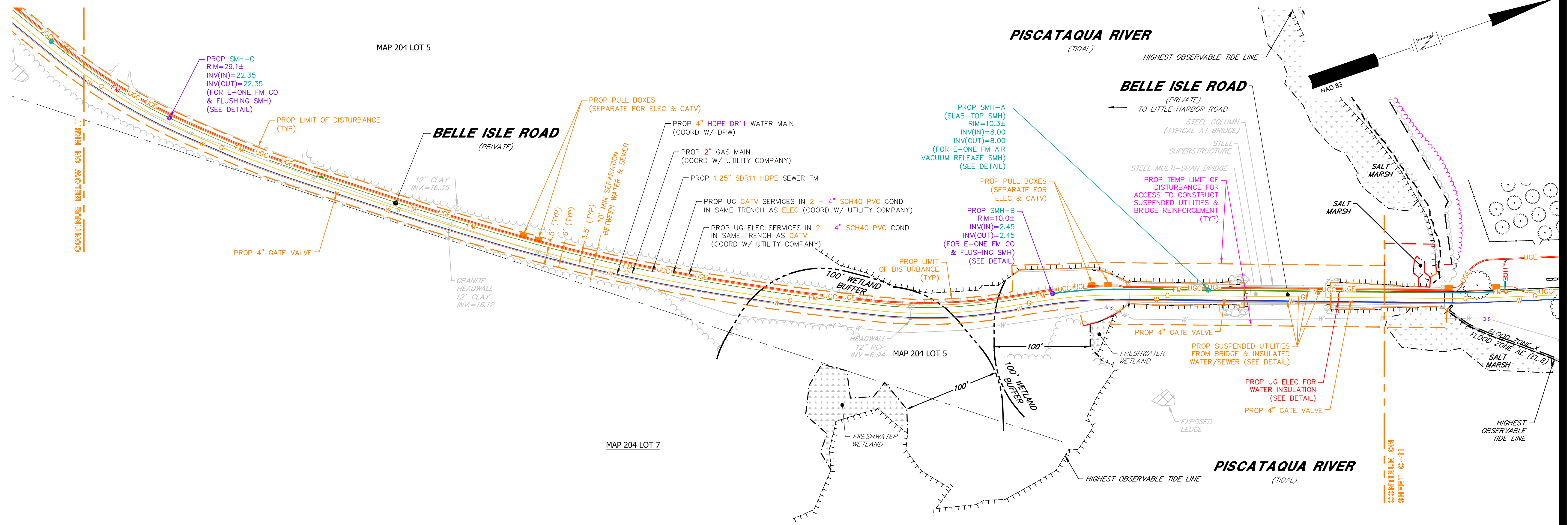
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**NOTES**

1. SEE NOTES ON SHEET C-01 & C-12.



SEWER INVERT TABLE

TFM #	RIM EL.	INVERT ID.	INVERT EL.	SIZE/TYPE
4574	50.37	A	43.7'	8" PVC
		B	44.0'	8" PVC
4568	55.07	A	44.7'	8" PVC
		B	44.8'	8" PVC

**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
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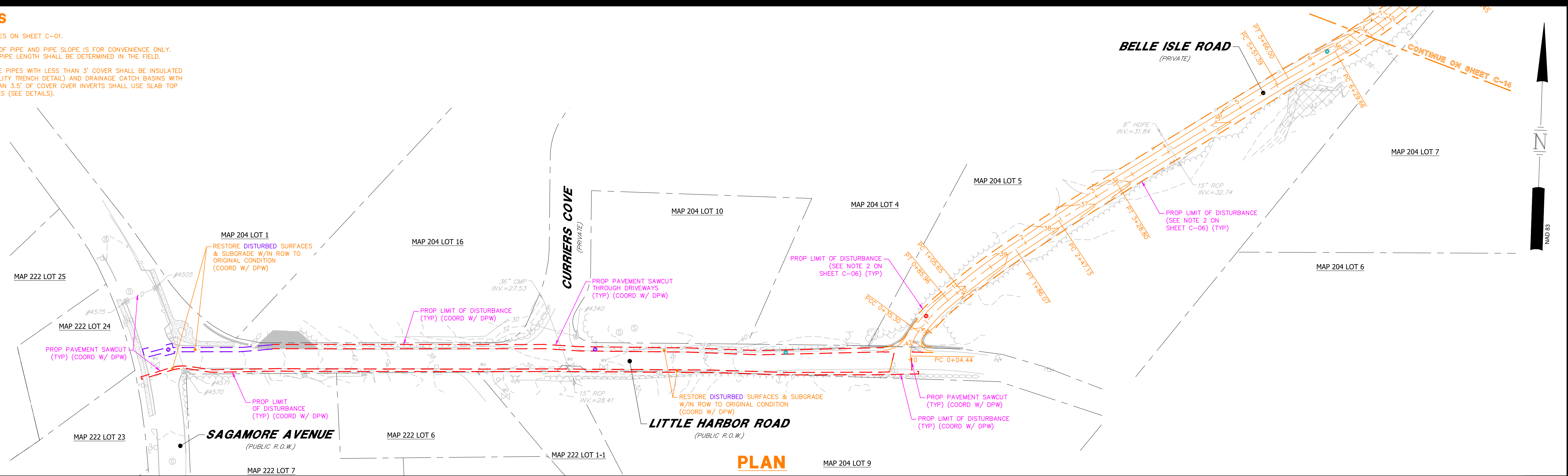
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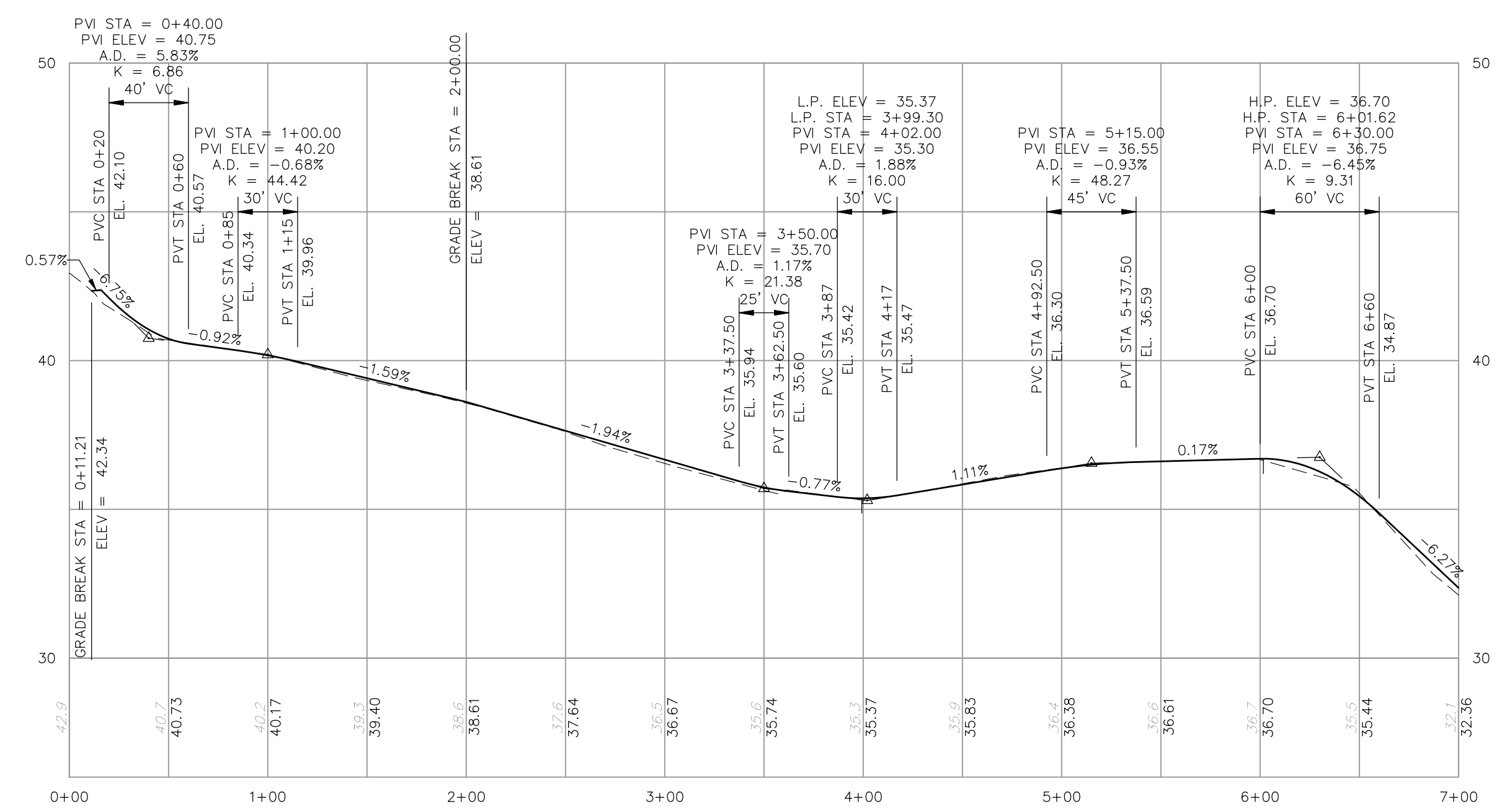
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**PLAN**



**BELLE ISLE ROAD PROFILE**

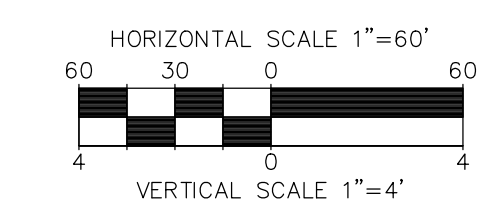
**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**DRIVEWAY GRADING & PROFILE**  
**LADY ISLE SITE RENOVATIONS**  
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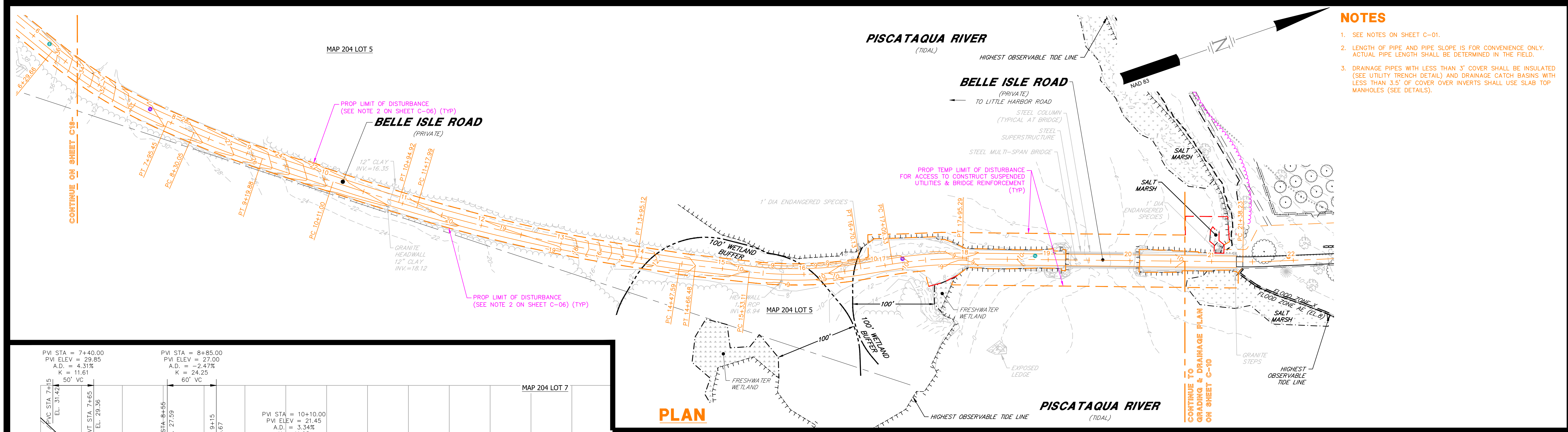
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47099.01 DR HEG FB  
 CK JCC CADFILE 47099-01\_PROFILE\_DRIVEWAY

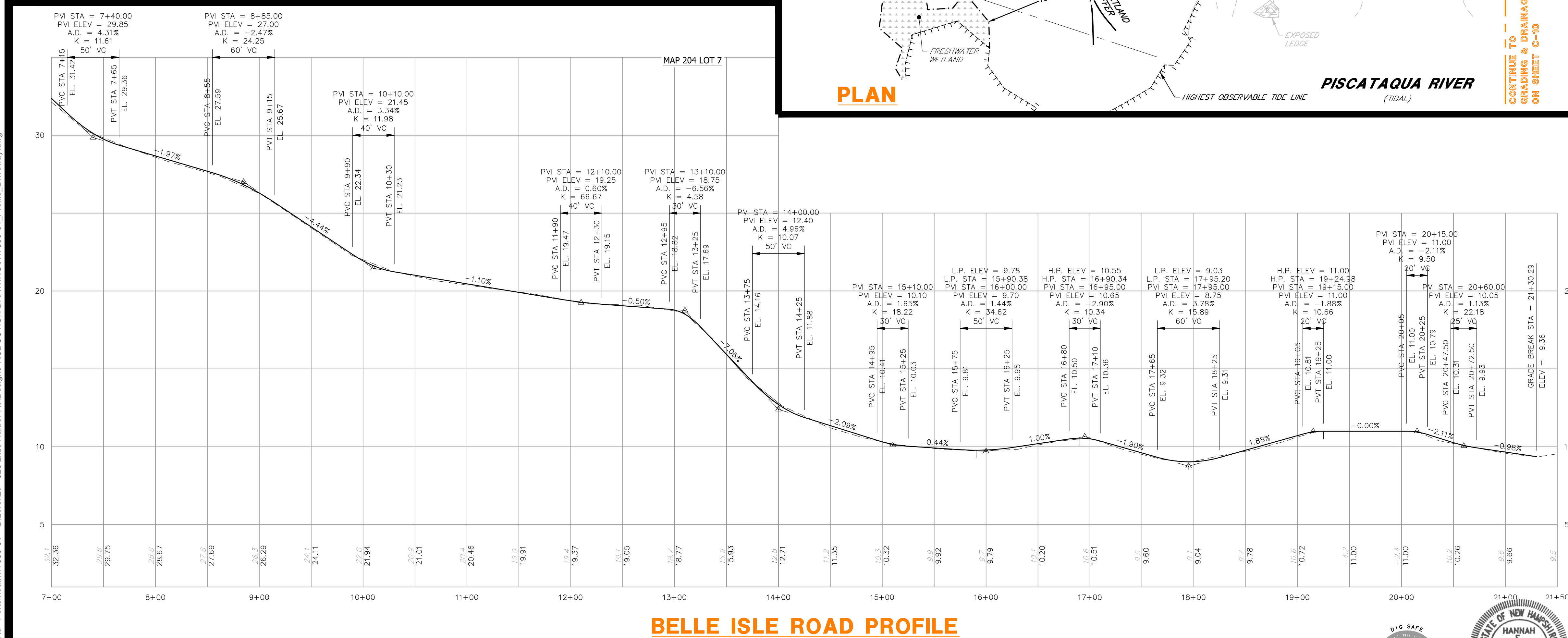
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- NOTES**
- SEE NOTES ON SHEET C-01.
  - LENGTH OF PIPE AND PIPE SLOPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
  - DRAINAGE PIPES WITH LESS THAN 3' COVER SHALL BE INSULATED (SEE UTILITY TRENCH DETAIL) AND DRAINAGE CATCH BASINS WITH LESS THAN 3.5' OF COVER OVER INVERTS SHALL USE SLAB TOP MANHOLES (SEE DETAILS).



**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2

**DRIVEWAY GRADING & PROFILE**

**LADY ISLE SITE RENOVATIONS**

**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**

OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

**1"=120' (11"x17")**

**SCALE: 1"=60' (22"x34")**

**SEPTEMBER 29, 2021**



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6	4/4/2022	REVISED PER TAC COMMENTS & SEWER COVER	HEG	JCC
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3	2/15/2022	REVISED PER NHDES & UTILITIES PER TAC	HEG	JCC
2	2/2/2022	REVISED PER NHDES & UPDATE SURVEY/UTILITIES	HEG	JCC
1	11/23/2021	REVISED PER NHDES & PROJECT COORDINATION	HEG	JCC

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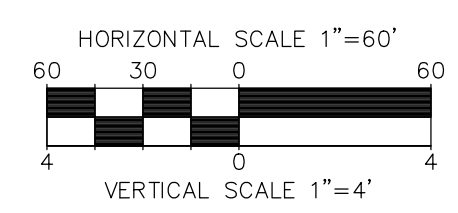
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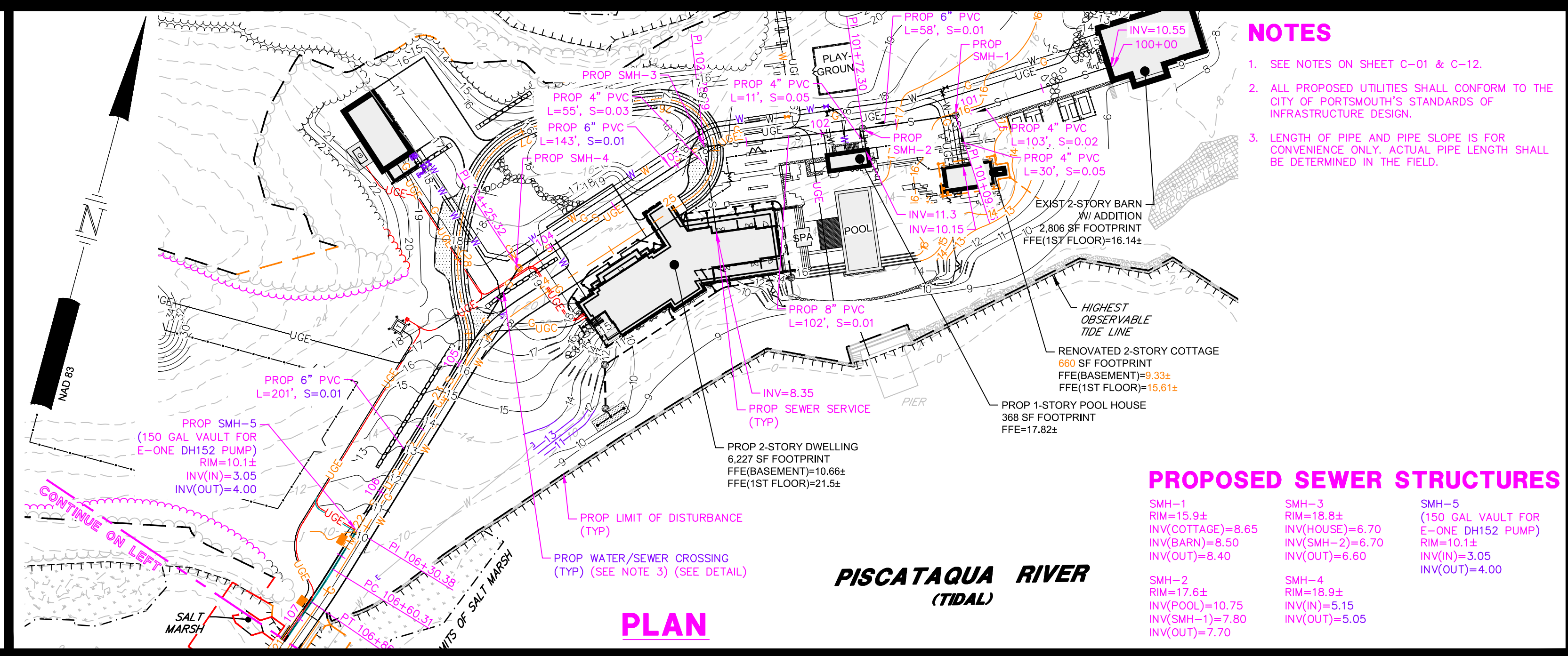
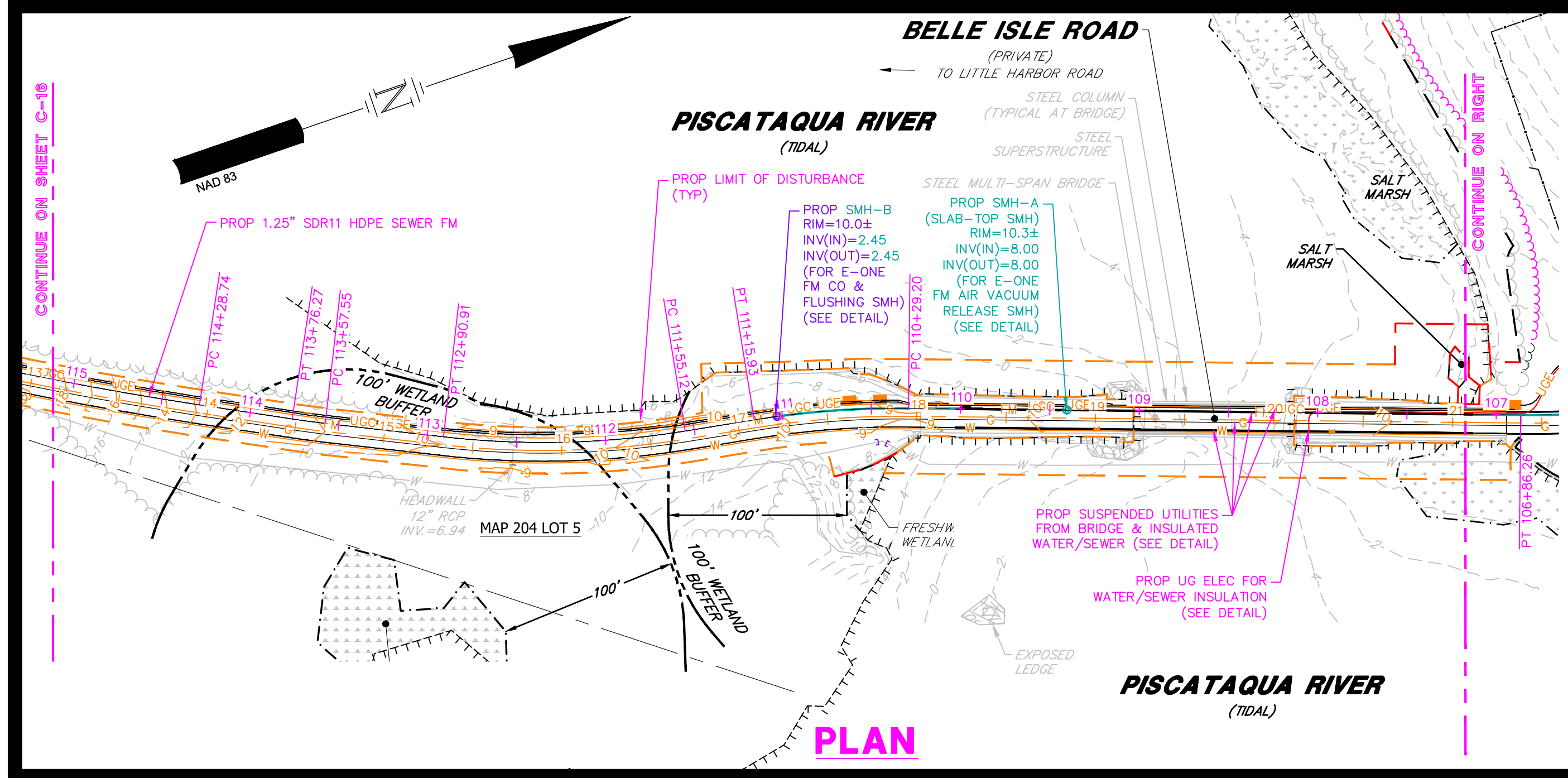
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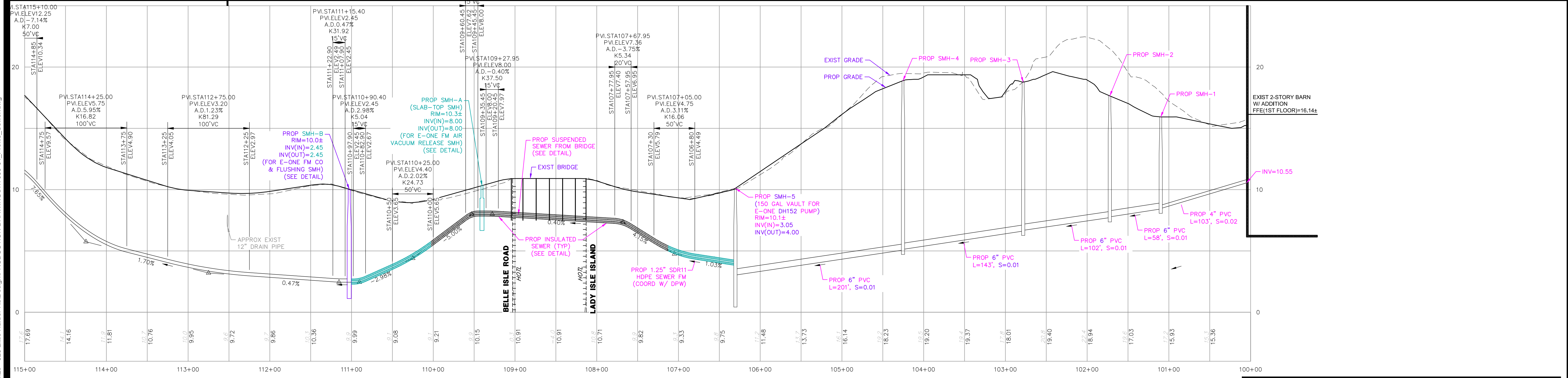




- NOTES**
- SEE NOTES ON SHEET C-01 & C-12.
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**PROPOSED SEWER STRUCTURES**

SMH-1 RIM=15.9± INV(COTTAGE)=8.65 INV(BARN)=8.50 INV(OUT)=8.40	SMH-3 RIM=18.8± INV(HOUSE)=6.70 INV(SMH-2)=6.70 INV(OUT)=6.60	SMH-5 (150 GAL VAULT FOR E-ONE DH152 PUMP) RIM=10.1± INV(N)=3.05 INV(OUT)=4.00
SMH-2 RIM=17.6± INV(PHYS)=10.75 INV(SMH-1)=7.80 INV(OUT)=7.70	SMH-4 RIM=18.9± INV(N)=5.15 INV(OUT)=5.05	

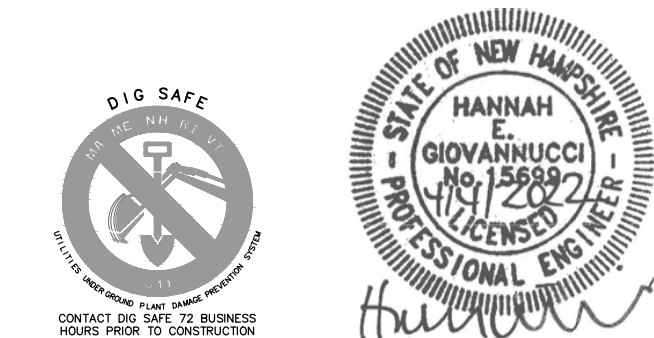


**SEWER PROFILE**

**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**SEWER PROFILE**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

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**SCALE: 1"=40' (22'X34')** **SEPTEMBER 29, 2021**



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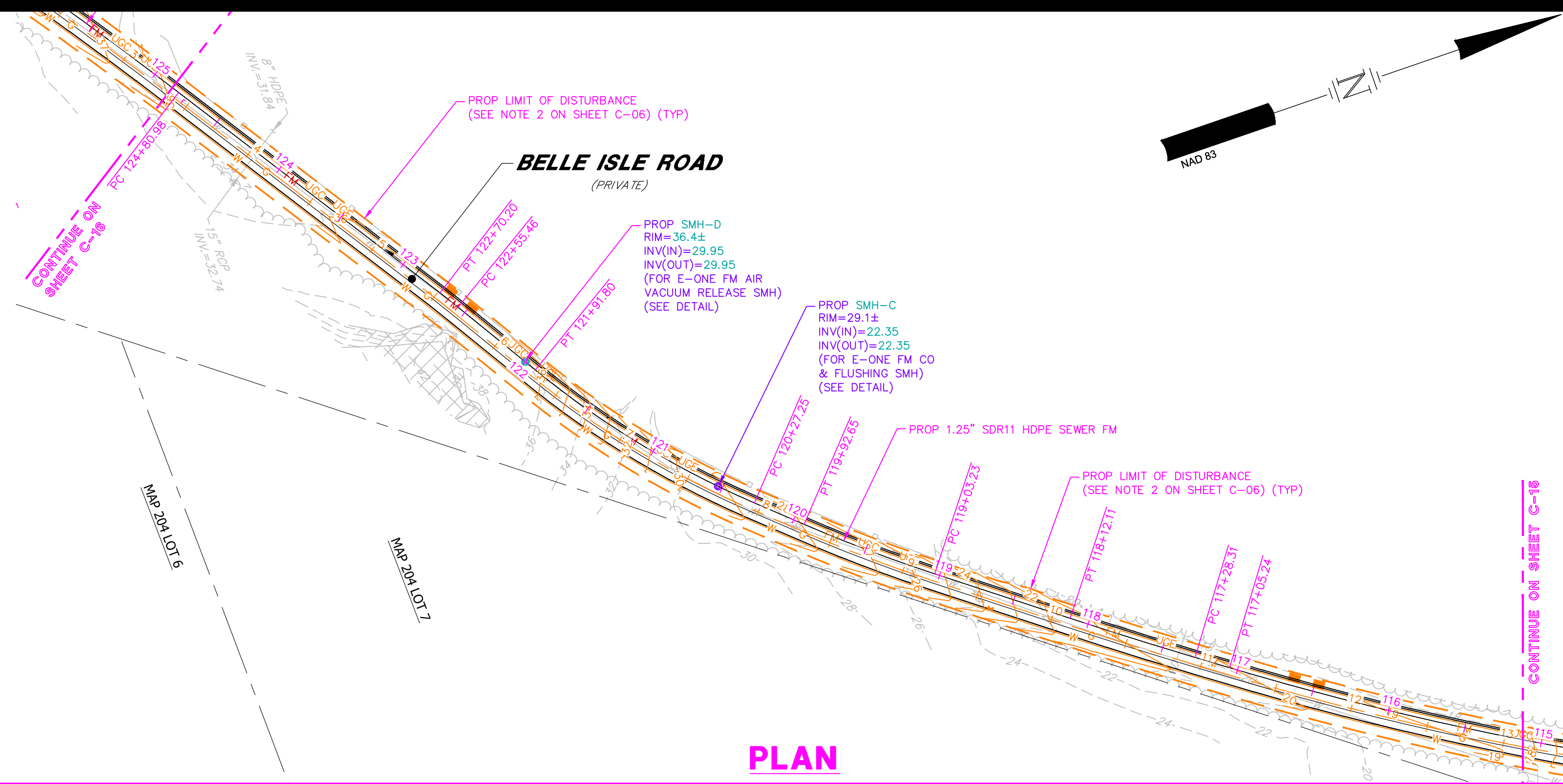
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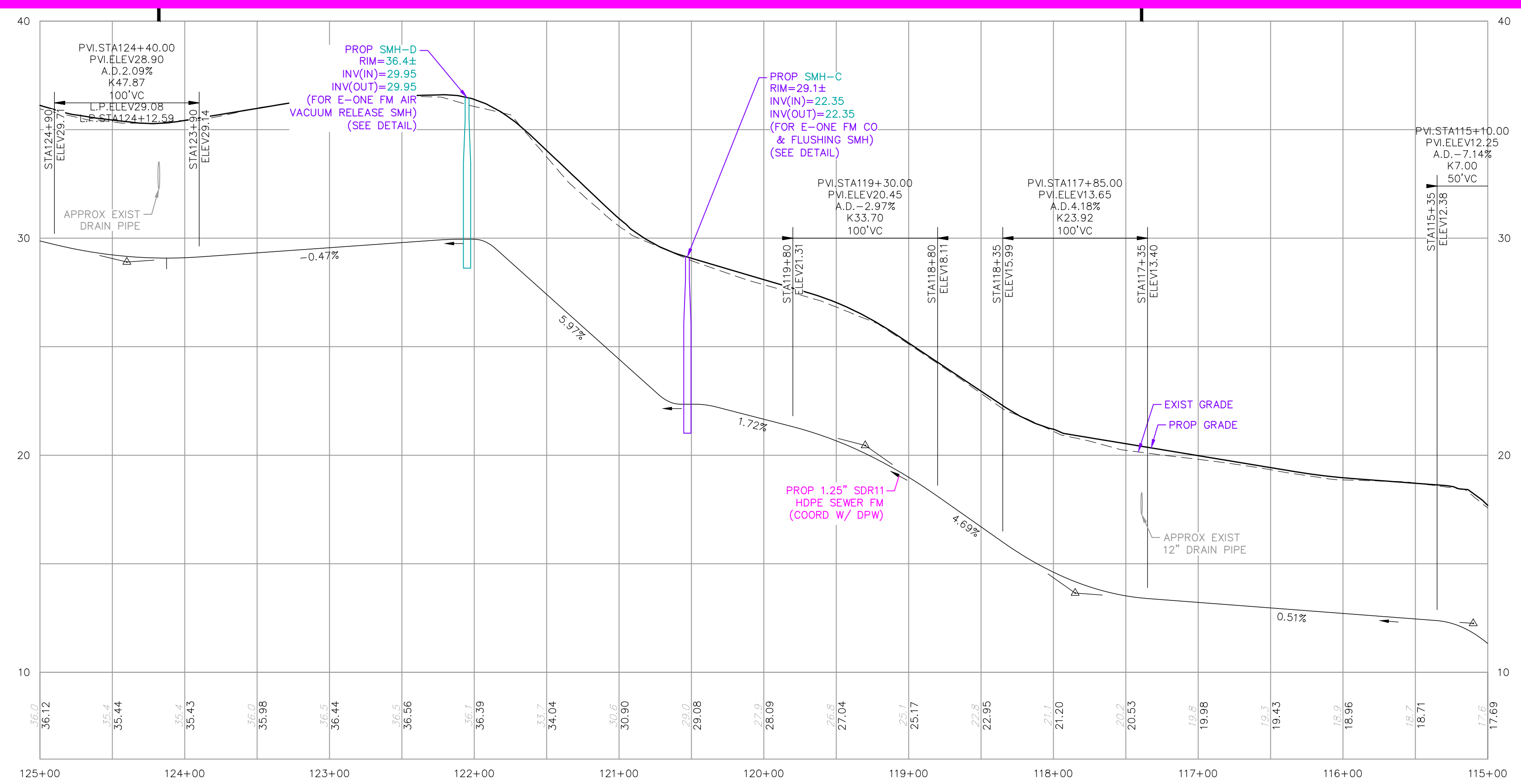
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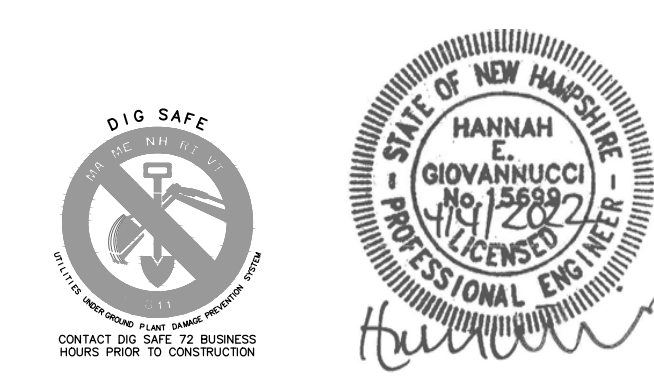


**SEWER FORCE MAIN PROFILE**

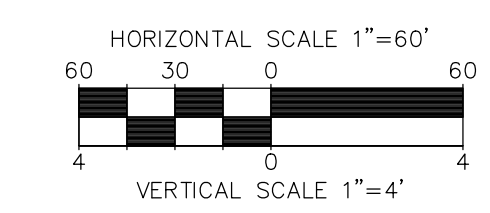
**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
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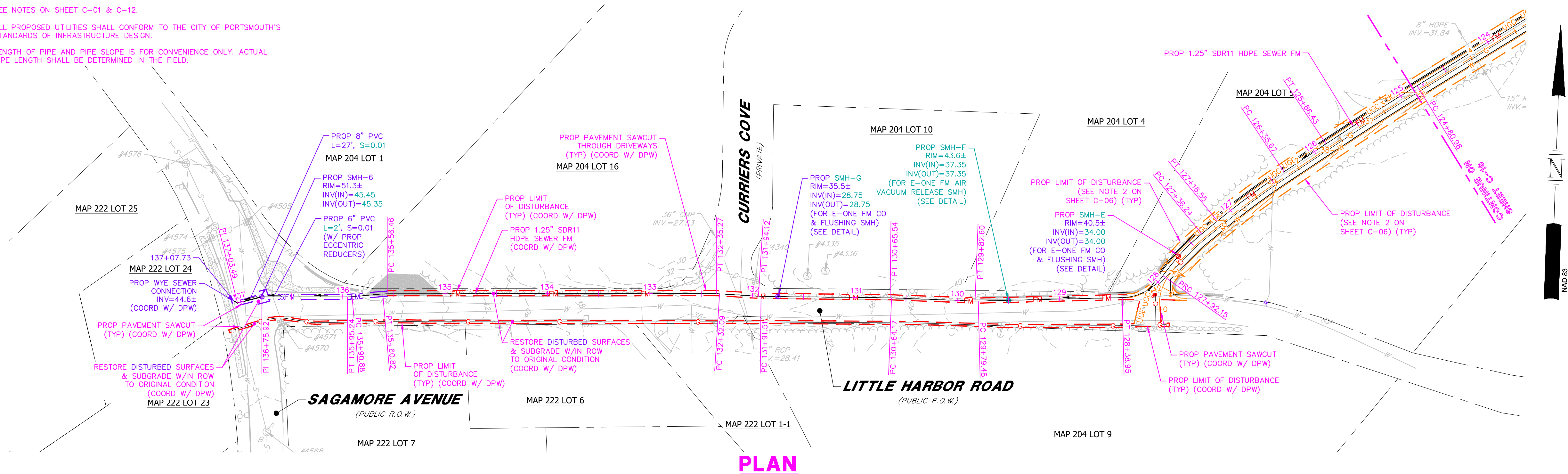
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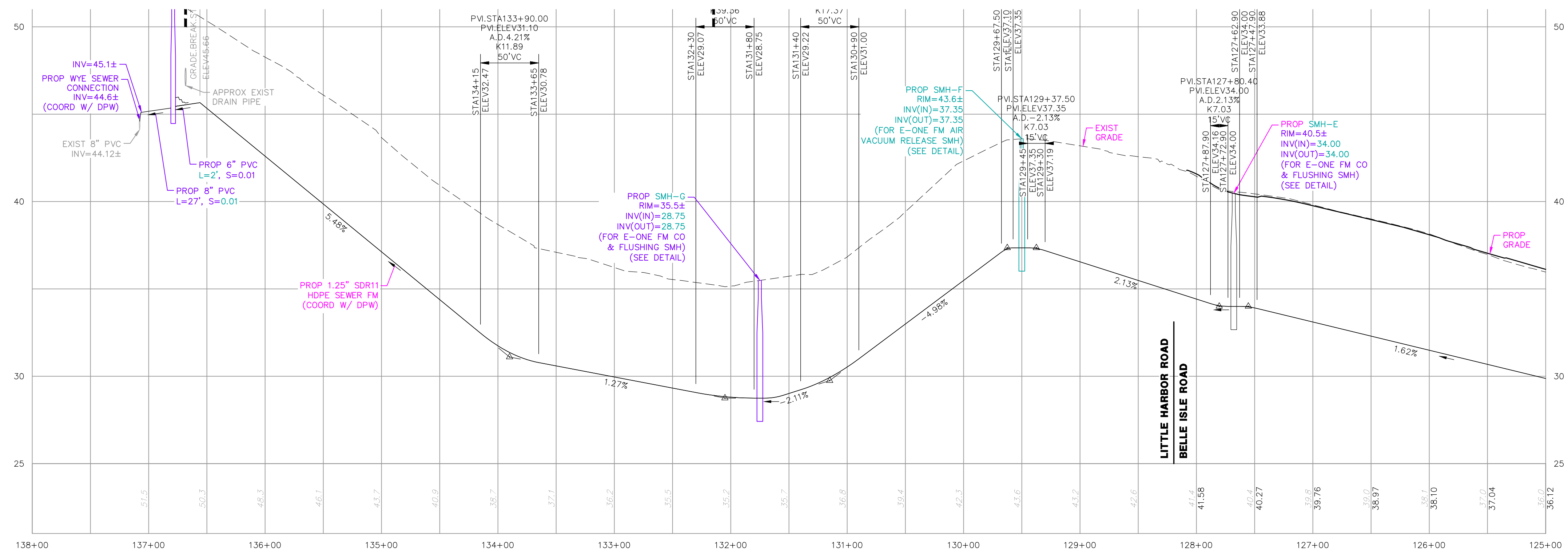
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**NOTES**

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**PLAN**



**SEWER PROFILE**

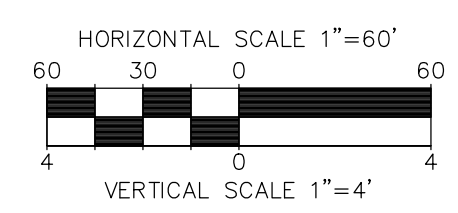
**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**SEWER PROFILE**  
**LADY ISLE SITE RENOVATIONS**  
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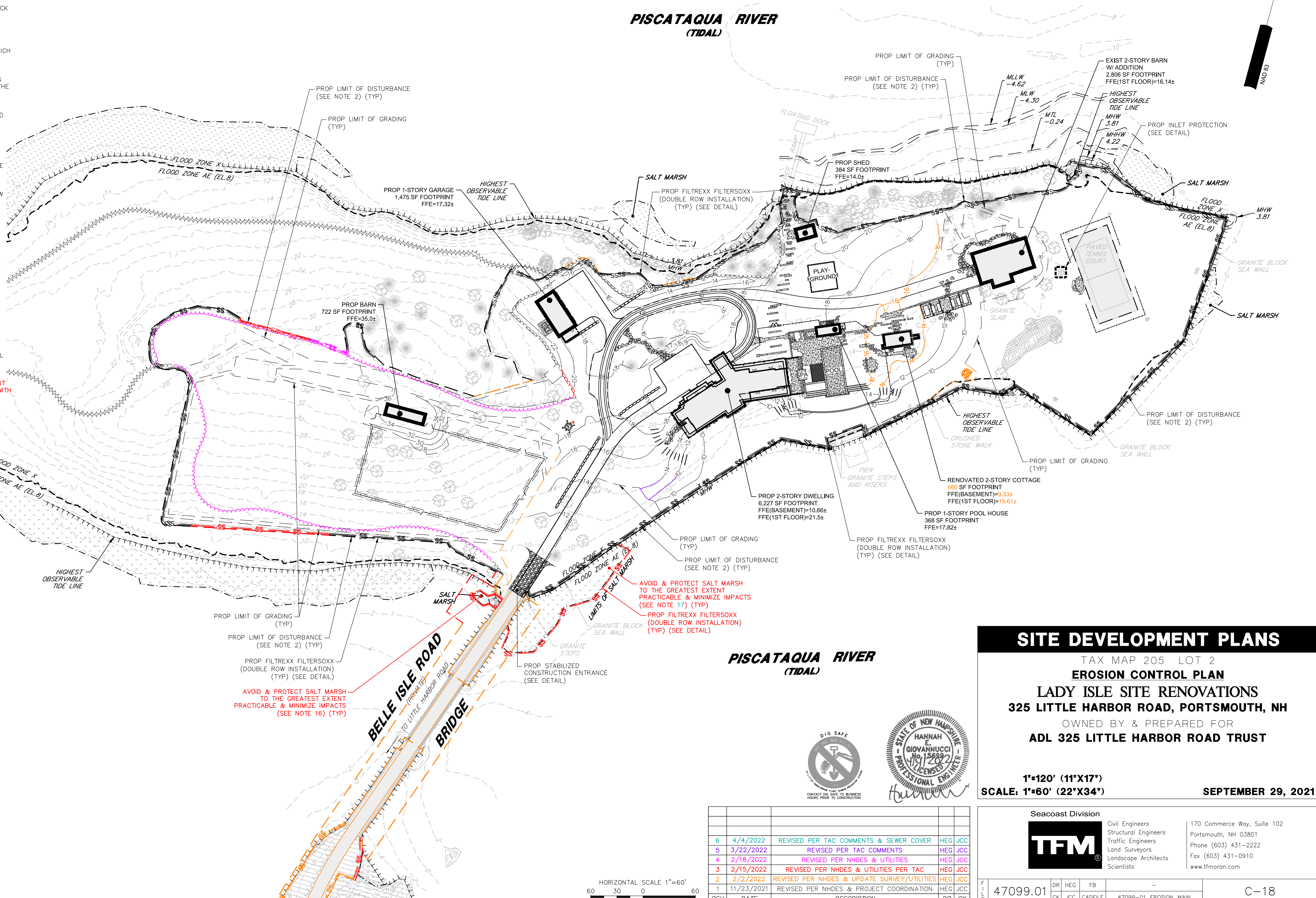
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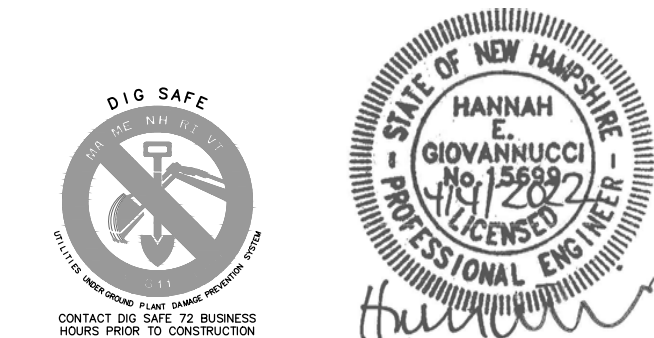
**NOTES**

- SEE NOTES ON SHEET C-01, EROSION CONTROL NOTES ON SHEET C-19, EROSION CONTROL DETAILS ON SHEET C-20, AND THE APPROVED SWPPP, AS APPLICABLE.
- THE PROPOSED LIMIT OF DISTURBANCE INCLUDES THE LIMIT OF GRADING AND OTHER AREAS WHICH WILL BE LANDSCAPED WITH MECHANIZED EQUIPMENT, PER THE LANDSCAPE ARCHITECTURE PLANS.
- INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
- PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
- DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
- THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION IF THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE FOR, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
- CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
- INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10" OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
- PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
- ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, ARE INSTALLED IN AREAS TO BE PAVED
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
- THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
- TO THE GREATEST EXTENT PRACTICABLE, IMPACTS TO THE SALT MARSH SHALL BE MINIMIZED. EROSION CONTROLS SHALL BE INSTALLED, MONITORED, AND ADJUSTED AS REQUIRED THROUGHOUT THE DURATION OF THE PROJECT. UPON COMPLETION, DISTURBED AREAS SHALL BE REPLANTED WITH PLUGS OF SALT MARSH CORDGRASS (SPARTINA ALTERNIFLORA).



**SITE DEVELOPMENT PLANS**  
 TAX MAP 205 LOT 2  
**EROSION CONTROL PLAN**  
**LADY ISLE SITE RENOVATIONS**  
 325 LITTLE HARBOR ROAD, PORTSMOUTH, NH  
 OWNED BY & PREPARED FOR  
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## SOIL CHARACTERISTICS

THE SOIL IN THE VICINITY OF THE SITE CONSIST OF UDORTHENTS (UNKNOWN, BUT ASSUMED TO BE HSG D), NEWFIELDS (HSG B), AND CANTON (HSG B). THESE SOILS ARE CLASSIFIED AS VARIABLE, MODERATELY DRAINED, AND WELL-DRAINED, RESPECTIVELY.

## DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY **366,773** SQUARE FEET (**8.4+** ACRES). CONSTRUCTION SHALL BE PHASED TO LIMIT DISTURBED AREAS TO LESS THAN 5 ACRES.

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH APPLICABLE CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP, AND PERMIT REQUIREMENTS.

## SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL PERIMETER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED SITE DEVELOPMENT PLANS, PERMITS, OR SWPPP IF REQUIRED, PRIOR TO EARTH MOVING OPERATIONS.
2. DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL.
3. INSTALL STORMWATER TREATMENT PONDS AND SWALES BEFORE ROUGH GRADING THE SITE.
4. COMPLETE MAJOR GRADING OF SITE.
5. CONSTRUCT BUILDING PAD, STORMWATER SYSTEM, AND SITE UTILITIES.
6. CONSTRUCT PARKING AREAS.
7. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS, AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.
8. CONSULT APPLICABLE REGULATIONS, PERMITS, CONDITIONS, AND APPROVED SWPPP FOR CONDITIONS RELATED TO NOTICE OF TERMINATION, IF REQUIRED.

## EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

1. BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSION VELOCITIES ARE ENCOUNTERED.

## OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

## INSTALLATION, MAINTENANCE, AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

### A. GENERAL

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

1. STABILIZATION OF ALL SWALES, DITCHES, AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME. (5 AC MAX)
3. ALL CONTROL MEASURES WILL BE INSPECTED IN ACCORDANCE WITH APPLICABLE REGULATIONS, PERMITS, AND CONDITIONS AND REPORTS REQUIRING A NHDES AOT PERMIT AND NHDES EPA GCP, DISCHARGING TO A NON-SENSITIVE WATERBODY, AT LEAST EVERY 7 DAYS AND AFTER A 0.5 INCH RAIN EVENT OR GREATER, AND INSPECTIONS SHALL BE CONDUCTED BY THE ENVIRONMENTAL MONITOR IF ONE IS REQUIRED, PURSUANT TO ENV-WQ 1505.03(B) OR FOR PROJECTS REQUIRING A NHDES AOT PERMIT AND NHDES EPA GCP, DISCHARGING TO A SENSITIVE WATERBODY, AT LEAST EVERY 7 DAYS AND AFTER A 0.25 INCH RAIN EVENT OR GREATER, AND INSPECTIONS SHALL BE CONDUCTED BY THE ENVIRONMENTAL MONITOR IF ONE IS REQUIRED, PURSUANT TO ENV-WQ 1505.03(B).
4. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE BARRIER.
6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
7. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING AN ENVIRONMENTAL MONITOR, IF ONE IS REQUIRED, PURSUANT TO ENV-WQ 1505.03(B), IS CONTRACTED.

### B. FILTERS / BARRIERS

1. SILT SOCKS
  - A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

PHYSICAL PROPERTY	TEST	REQUIREMENTS
PH	TMCC 04.11-A	5.0 TO 8.0
PARTICLE SIZE	TMCC 02.02-B	2" SIEVE AND MIN. 60% GREATER THAN THE 1/8" SIEVE
MOISTURE CONTENT	STND TESTING	< 60%

MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS  
MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.
  - B. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.
  - C. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.
2. SEQUENCE OF INSTALLATION  
SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.
3. MAINTENANCE
  - A. SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
  - B. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

- C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
- D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

### C. MULCHING

1. TIMING

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

- A. APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100' OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.

- B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

2. GUIDELINES FOR WINTER MULCH APPLICATION.

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

3. MAINTENANCE

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

### D. VEGETATIVE PRACTICE

1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF 4". THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND ROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.
2. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER, AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER 1" IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.
3. THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.
4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.
5. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDED.
6. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
7. IF PERMITTED PER LOCAL AND STATE REGULATIONS, FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.
9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN, IMMEDIATELY BEFORE SEEDING. THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4" AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
10. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.
11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEDED, AND ALL NOXIOUS WEEDS REMOVED.
12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.
13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK. IN NO CASE SHALL THE WEED CONTROL EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:
  - A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
  - B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 500 POUNDS PER ACRE.MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

WINTER RYE (FALL SEEDING)	2.5 LBS/1,000 SF
OATS (SPRING SEEDING)	2.0 LBS/1,000 SF
MULCH	1.5 TONS/ACRE

### E. CATCH BASIN INLET PROTECTION

1. INLET BASKET STRUCTURE

- A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- B. MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.
- C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC, POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:

GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682)
MULLEN BURST STRENGTH: MIN. 60PSI (ASTM D774)
- D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.
- E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

## F. WINTER CONSTRUCTION SEQUENCE

1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

## TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

## WASTE DISPOSAL

1. WASTE MATERIALS  
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE  
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE  
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

## SPILL PREVENTION

1. MATERIAL MANAGEMENT PRACTICES  
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:

GOOD HOUSEKEEPING:  
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:

  - A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
  - B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
  - C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
  - D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
  - E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
  - F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.HAZARDOUS PRODUCTS:  
THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
  - A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
  - B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
  - C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
2. PRODUCT SPECIFICATION PRACTICES  
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

### PETROLEUM PRODUCTS:

ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

### FERTILIZERS:

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

### PAINTS:

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

### CONCRETE TRUCKS:

CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.

## SPILL CONTROL PRACTICES

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
- G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

## DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

## ROCK BLASTING & WATER QUALITY NOTES

1. IDENTIFY DRINKING WATER WELLS LOCATED WITHIN 2000 FEET OF THE PROPOSED BLASTING ACTIVITIES. DEVELOP A GROUNDWATER SAMPLING PROGRAM TO MONITOR FOR NITRATE AND NITRITE EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF THE DRINKING WATER SUPPLY WELLS IN THE AREA. THE PLAN MUST INCLUDE PRE AND POST BLAST WATER QUALITY MONITORING AND BE APPROVED BY NHDES PRIOR TO INITIATING BLASTING. THE GROUNDWATER SAMPLING PROGRAM MUST BE IMPLEMENTED ONCE APPROVED BY NHDES.
2. ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPS) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING, AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURES; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.
  - A. LOADING PRACTICES: THE FOLLOWING BLAHSTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
    - (1) DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
    - (2) EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
    - (3) SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF SITE DISPOSAL.
    - (4) LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
    - (5) LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
    - (6) EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING, AND CUMM REE NEED TO BE ATTENDED TO.
  - B. EXPLOSIVE SELECTION: THE FOLLOWING BMPS SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
    - (1) EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
    - (2) EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.
  - C. PREVENTION OF MISFIRES: APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
  - D. MUCK PILE MANAGEMENT: MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
    - (1) REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
    - (2) MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
  - E. SPILL PREVENTION MEASURES AND SPILL MITIGATION: SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE, AT A MINIMUM:
    - (1) THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
      - STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
      - SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY.
      - LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.
      - INSPECT STORAGE AREAS WEEKLY.
      - COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS.
      - WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
      - SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON REMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
    - (2) THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
      - EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED.
      - PLACE DRIP PANS UNDER SPOIGTS, VALVES, AND PUMPS.
      - HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS.
      - USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES.
      - PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
    - (3) THE TRAINING OF ONSITE EMPLOYEES AND THE ON SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
    - (4) FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING, AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF NHDES (NOTE THESE REQUIREMENTS ARE SUMMARIZED IN WD DWBG 22 6: BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT OR ITS SUCCESSOR DOCUMENT).

## SITE DEVELOPMENT PLANS

TAX MAP 205 LOT 2

### EROSION CONTROL NOTES

## LADY ISLE SITE RENOVATIONS

325 LITTLE HARBOR ROAD, PORTSMOUTH, NH

OWNED BY & PREPARED FOR

ADL 325 LITTLE HARBOR ROAD TRUST

1"=80' (11'X17')

SCALE: 1/4"=40' (22'X34')

SEPTEMBER 29, 2021

Seacoast Division



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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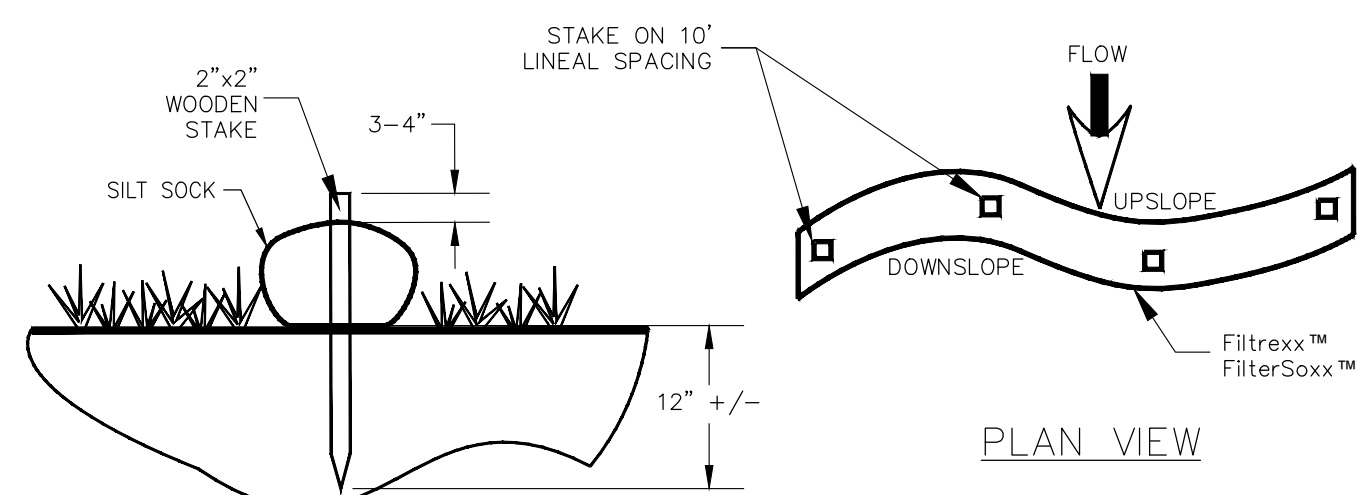
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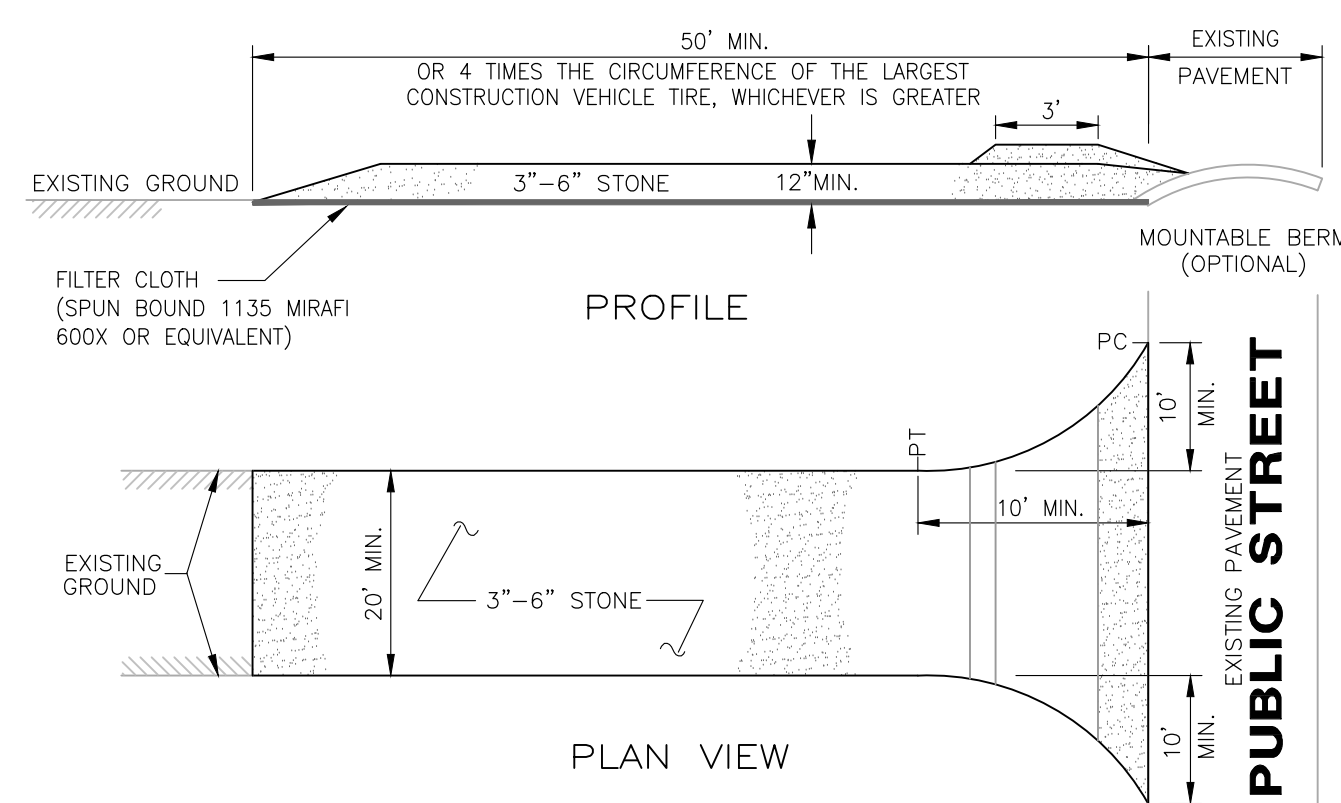
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- NOTES:
- SILT SOCK SHALL BE FILTREXX™ SILT SOCK™ NATURAL ORIGINAL OR APPROVED EQUIVALENT.
  - ALL MATERIAL AND SIZES TO MEET FILTREXX SPECIFICATIONS.
  - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
  - SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.

### FILTREXX™ FILTERSOXX™ STAKING

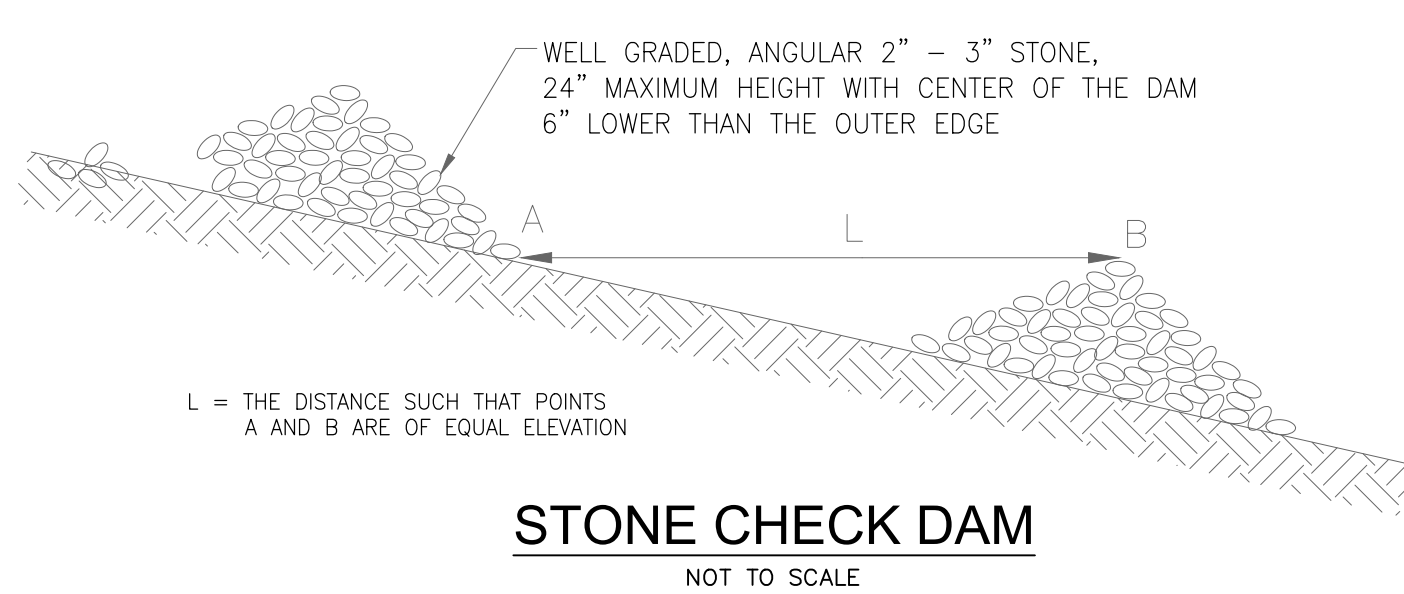
NOT TO SCALE



- NOTES:
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
  - WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

### STABILIZED CONSTRUCTION ENTRANCE

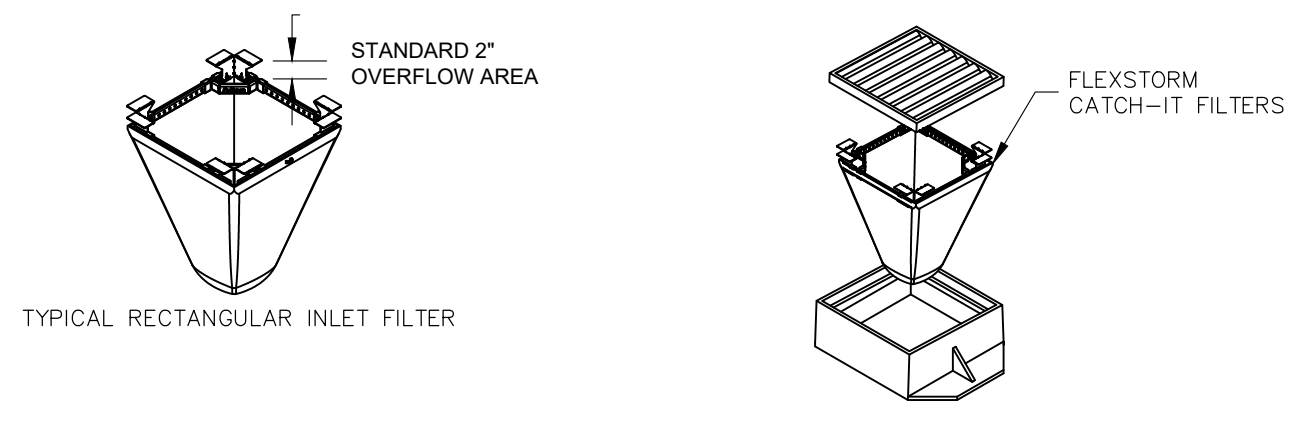
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### STONE CHECK DAM

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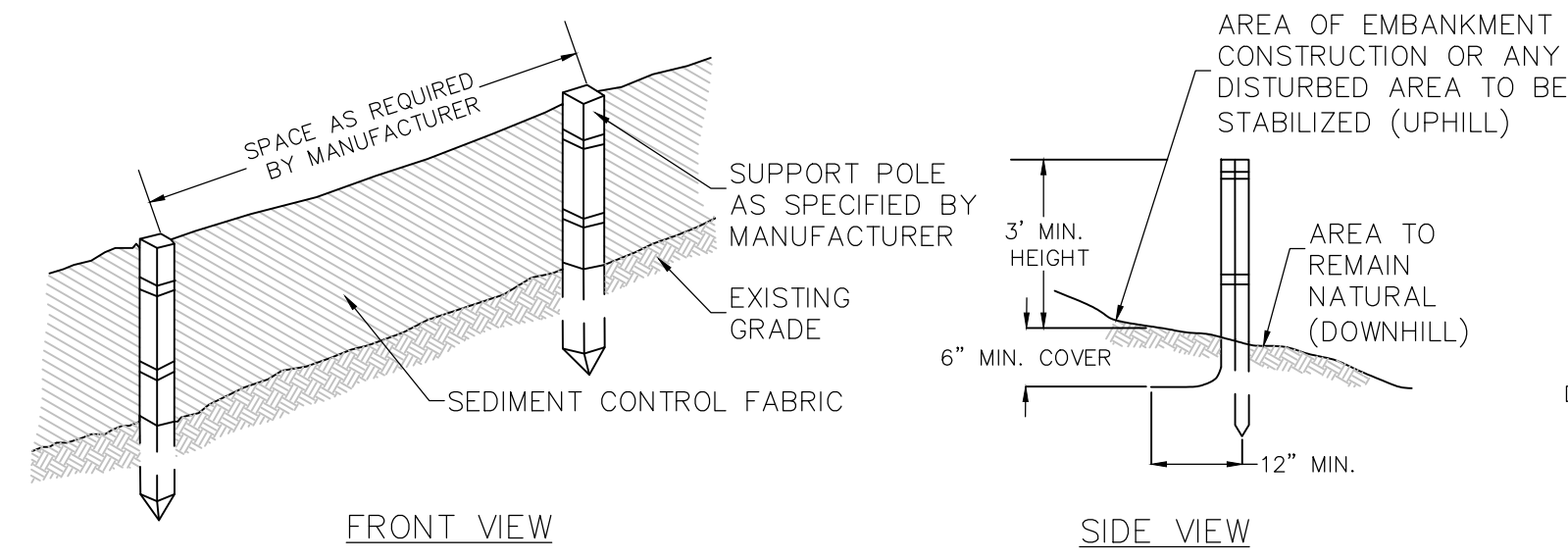


- NOTES:
- INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT > 1/2".
  - EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
  - REMOVED CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
  - REPLACE BAG IF TORN OR PUNCTURED TO > 1/2" DIAMETER ON LOWER HALF OF BAG.

### INLET PROTECTION

NOT TO SCALE

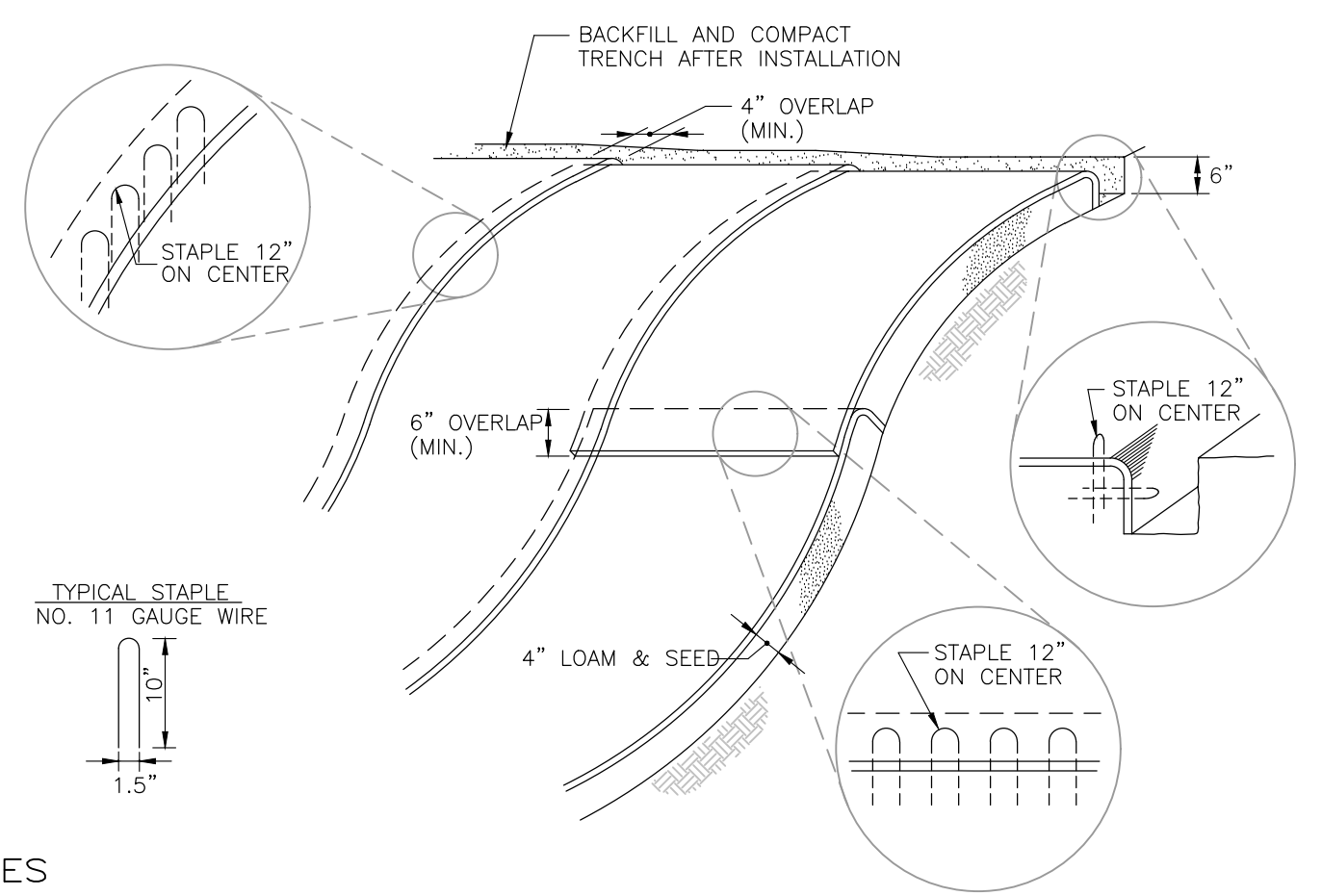
ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC.  
A DIVISION OF ADS, INC.  
WWW.INLETFILTERS.COM  
(866) 287-8655 INFO@INLETFILTERS.COM



- NOTES:
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR BEST MANAGEMENT PRACTICE FOR SILT FENCES, OF THE NEW HAMPSHIRE STORMWATER MANUAL, DECEMBER 2008.
  - THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES.
  - WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATIONS.
  - POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL BE AS MANUFACTURER RECOMMENDS.
  - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH RECOMMENDATIONS.
  - THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE, AND WILL EXPOSE TO A MINIMUM OF 8 INCHES INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.
  - THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
  - FILTER BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
  - FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
  - SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
  - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDDED.

### SILT FENCE

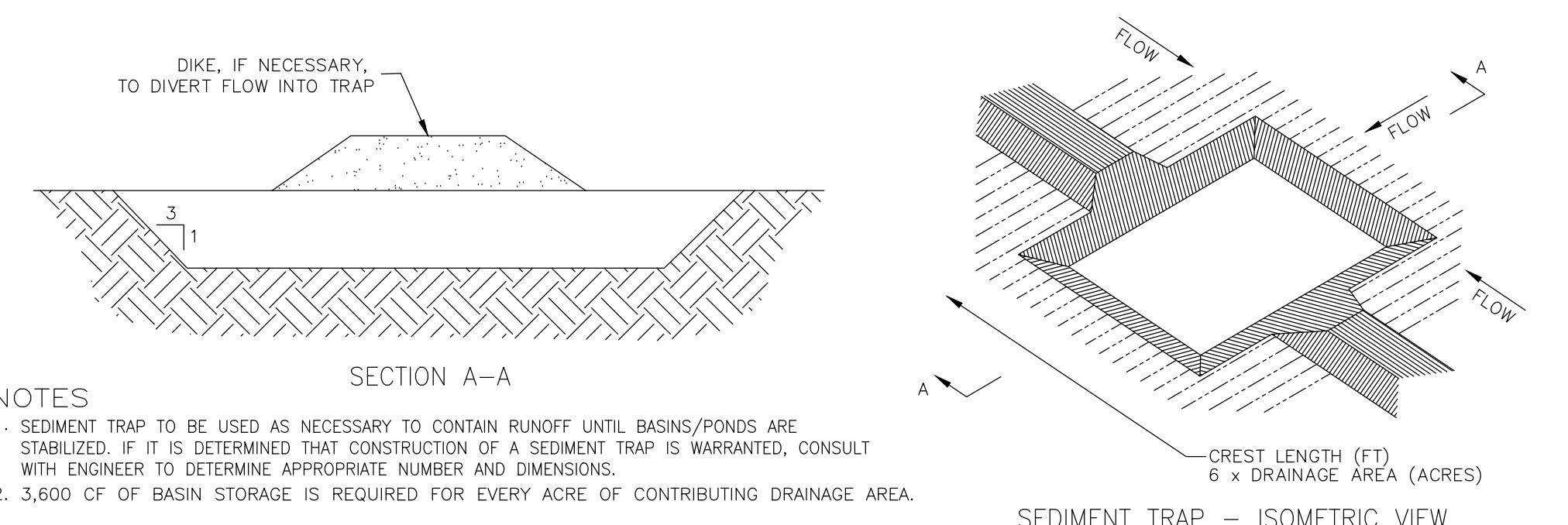
NOT TO SCALE



- NOTES:
- INSTALL AT DISTURBED LOCATIONS WITH 2:1 SLOPES OR GREATER AND AS INDICATED PER PLANS.
  - BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
  - ROLL THE BLANKET DOWN THE SLOPE OR SWALE IN THE DIRECTION OF THE WATER FLOW.
  - THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
  - WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
  - BLANKET SHALL BE NORTH AMERICAN GREEN C125BN, EAST COAST EROSION CONTROL ECC-2B, AMERICAN EXCELSIOR COMPANY CURLEX III FIBRENET, ROLANCA GEONATURAL EROSION & SEDIMENT CONTROL MATTE JUTEMAT OR BIOD-OCF 30, OR APPROVED EQUAL.
  - BLANKET SHALL BE PLACED WITHIN 24-HRS AFTER SOWING SEE IN THE AREA BEING COVERED

### EROSION CONTROL BLANKET

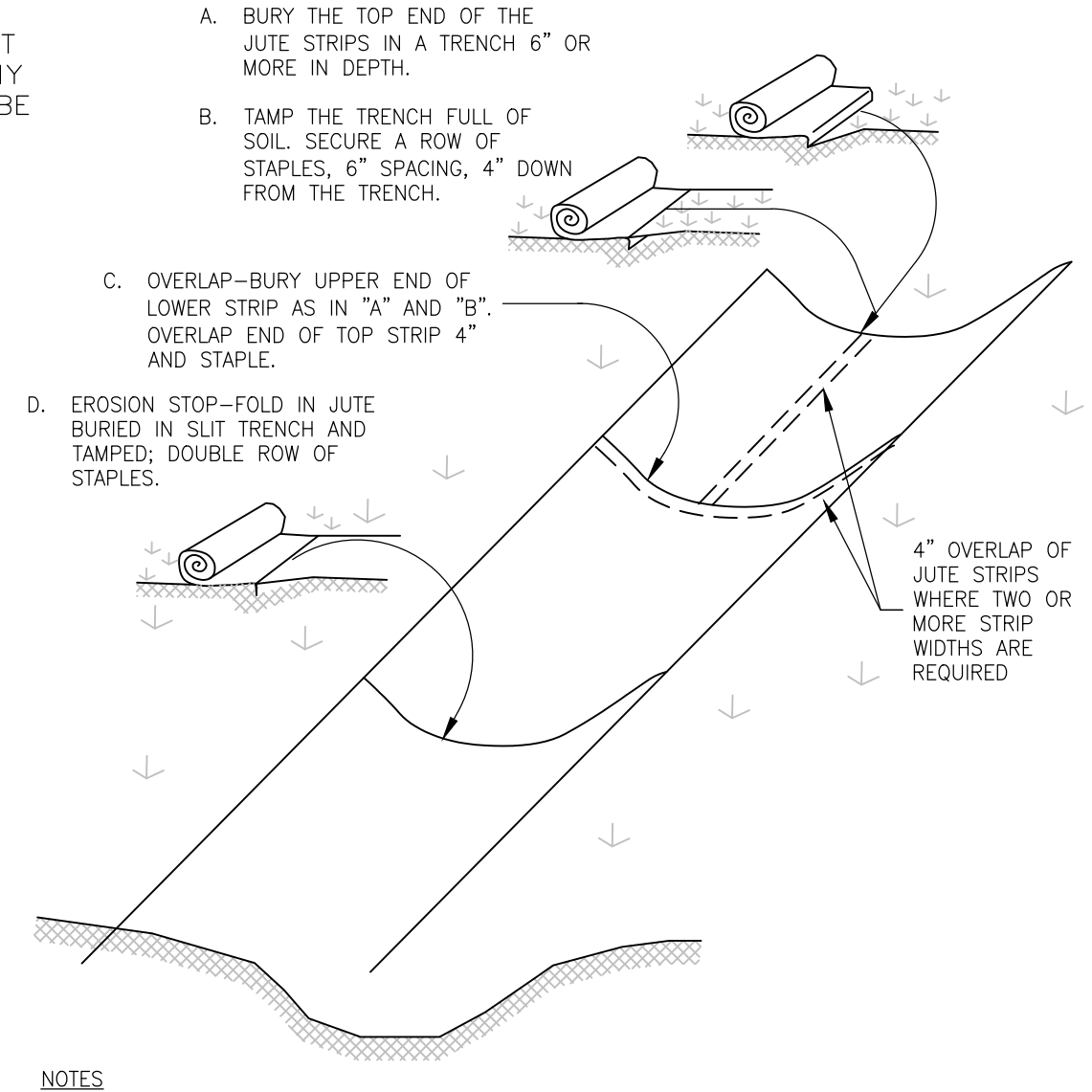
NOT TO SCALE



- NOTES:
- SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.
  - 3,600 CF OF BASIN STORAGE IS REQUIRED FOR EVERY ACRE OF CONTRIBUTING DRAINAGE AREA.

### SEDIMENT TRAP

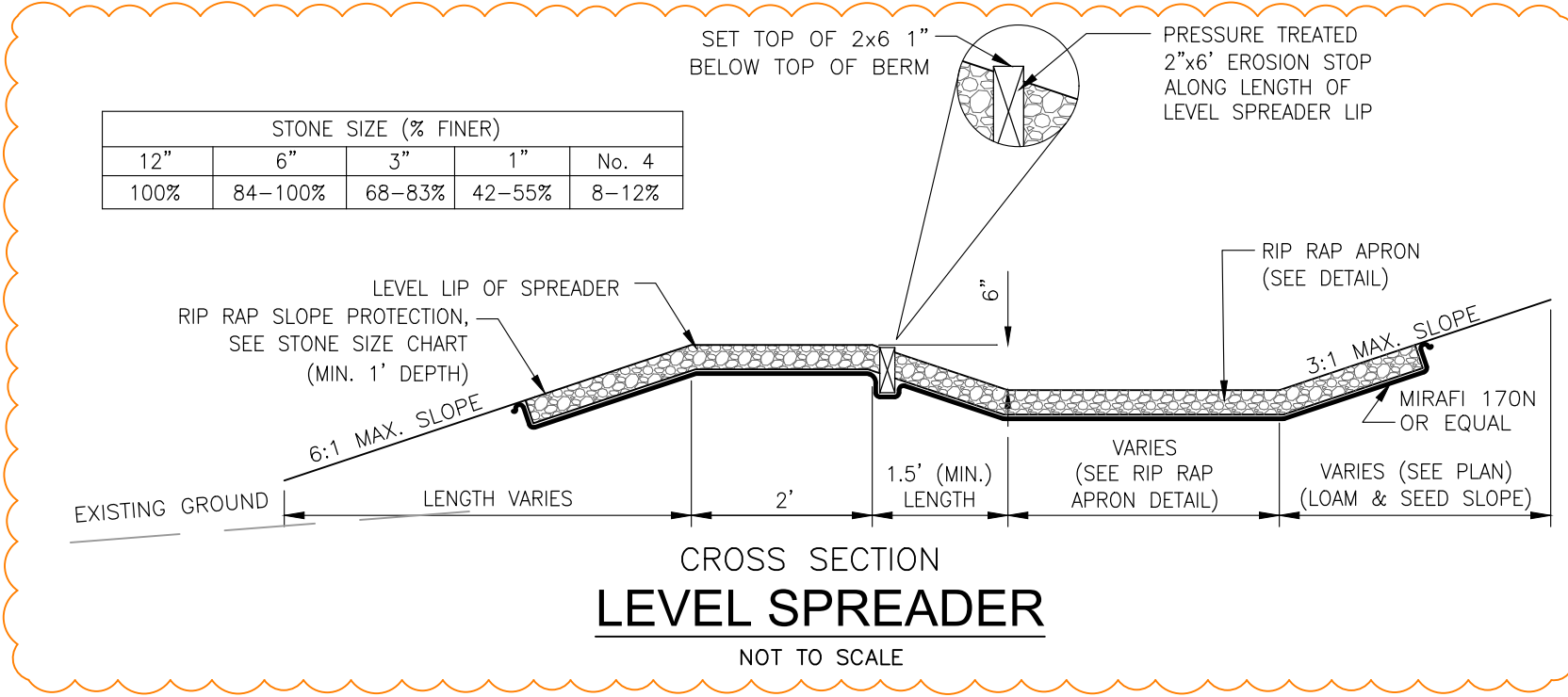
NOT TO SCALE



- NOTES:
- MATTING SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, INCLUDING STAPLE PATTERNS.
  - STAPLES SHALL BE BIODEGRADABLE.

### JUTE MATTING

NOT TO SCALE



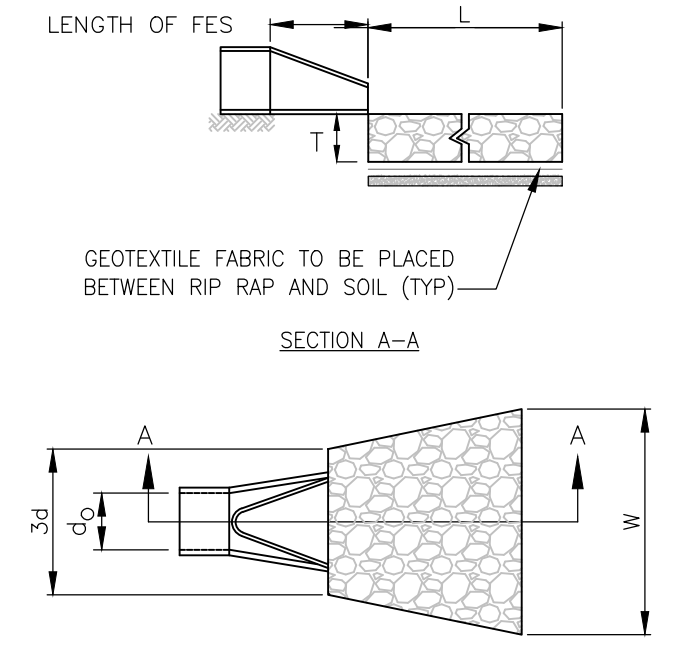
### LEVEL SPREADER

NOT TO SCALE

MAINTENANCE:  
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TALWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

#### CONSTRUCTION SPECIFICATIONS:

- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12".
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
- ADD ANIMAL SCREEN TO FLARED END SECTION OUTLET.



RIP RAP DIMENSIONS:

LOCATION	FES-4
d50 STONE SIZE:	3"
LENGTH OF APRON (L):	4'
WIDTH OF APRON (W):	3'
DEPTH OF RIP RAP (T):	6"
% OF WEIGHT SMALLER THAN THE GIVEN SIZE OF STONE (INCHES)	
100	4.50 TO 6.00
85	3.90 TO 5.40
50	3.00 TO 4.50
15	0.90 TO 1.50

### RIP RAP AND FLARED END SECTION WITH OUTLET PROTECTION

NOT TO SCALE

## SITE DEVELOPMENT PLANS

TAX MAP 205 LOT 2

### DETAILS

**LADY ISLE SITE RENOVATIONS**  
325 LITTLE HARBOR ROAD, PORTSMOUTH, NH  
OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**



SCALE: NTS

SEPTEMBER 29, 2021

REV	DATE	DESCRIPTION	DR	CK
6	4/4/2022	REVISED PER TAC COMMENTS & SEWER COVER	HEG	JCC
5	3/22/2022	REVISED PER TAC COMMENTS	HEG	JCC
4	2/18/2022	REVISED PER NHDES & UTILITIES	HEG	JCC
3	2/15/2022	REVISED PER NHDES & UTILITIES PER TAC	HEG	JCC
2	2/2/2022	REVISED PER NHDES & UPDATE SURVEY/UTILITIES	HEG	JCC
1	11/23/2021	REVISED PER NHDES & PROJECT COORDINATION	HEG	JCC

Seacoast Division

Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

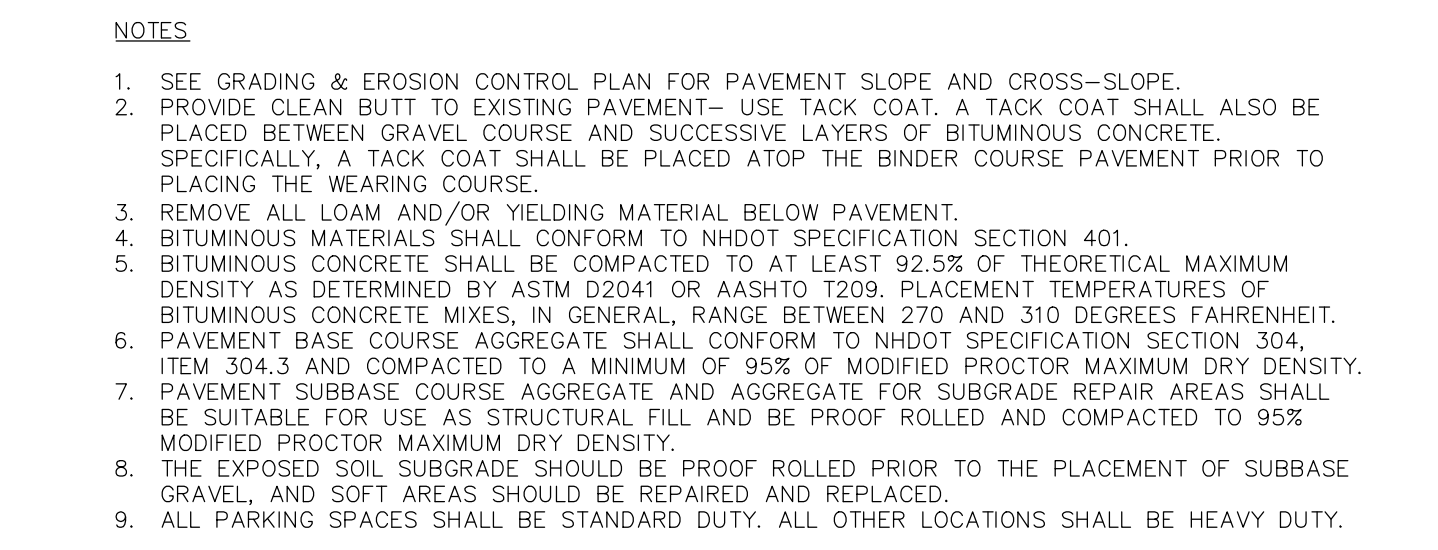
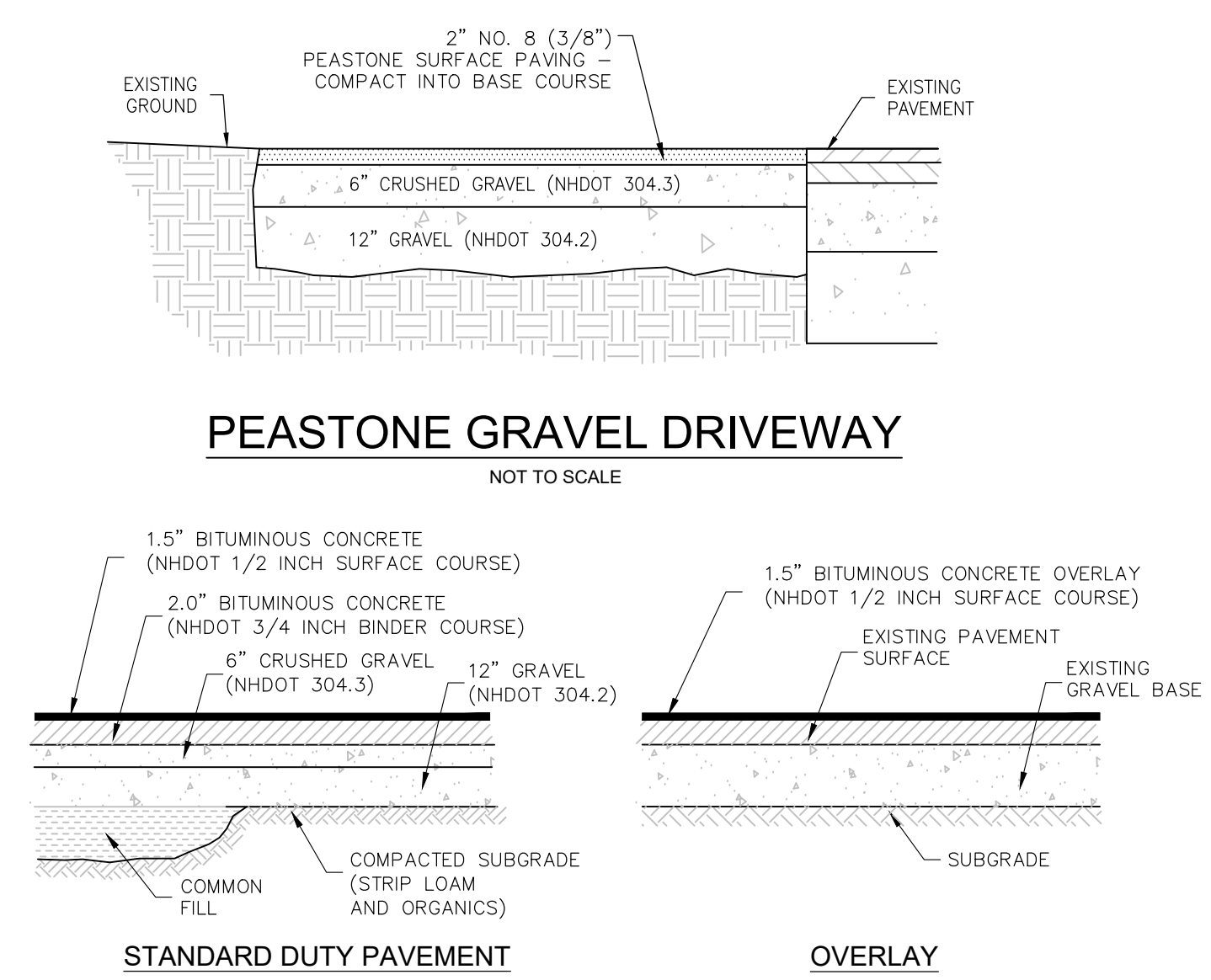
170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

47099.01 DR HEG FB  
CK JCC CADFILE 47099-01\_DETAILS\_MAIN

C-20

Apr 05, 2022 - 4:28am F:\MISC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099-01 - DiLorenzo - 325 Little Harbor Rd\Design\PRODUCTION DRAWINGS\47099-01\_Details\_Main.dwg

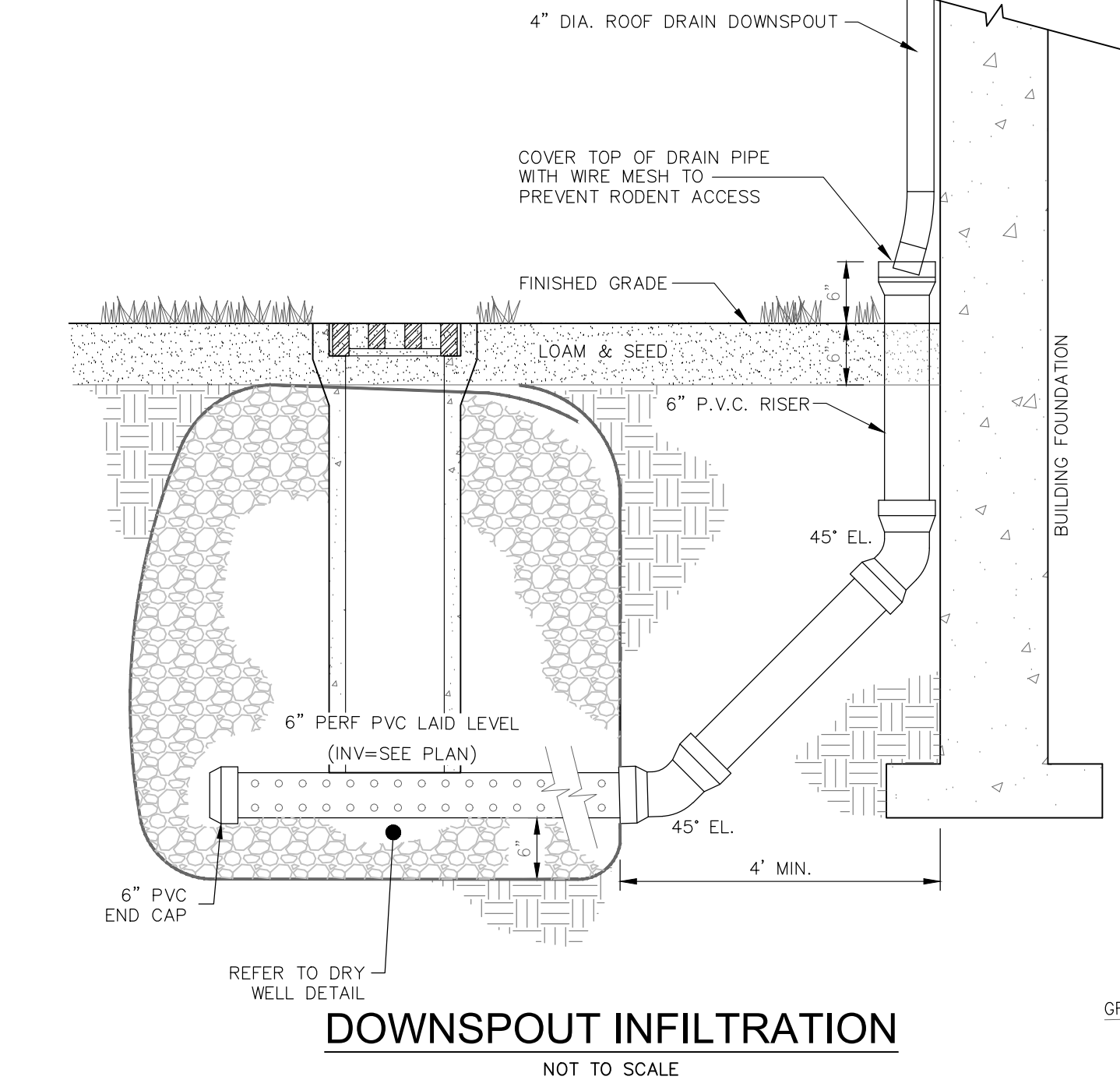
Apr 05, 2022 - 4:28am F:\MISC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099-01 - Dilorenzo - 325 Little Harbor Road\Design\PRODUCTION DRAWINGS\47099-01\_Details\_Main.dwg



**NOTES**

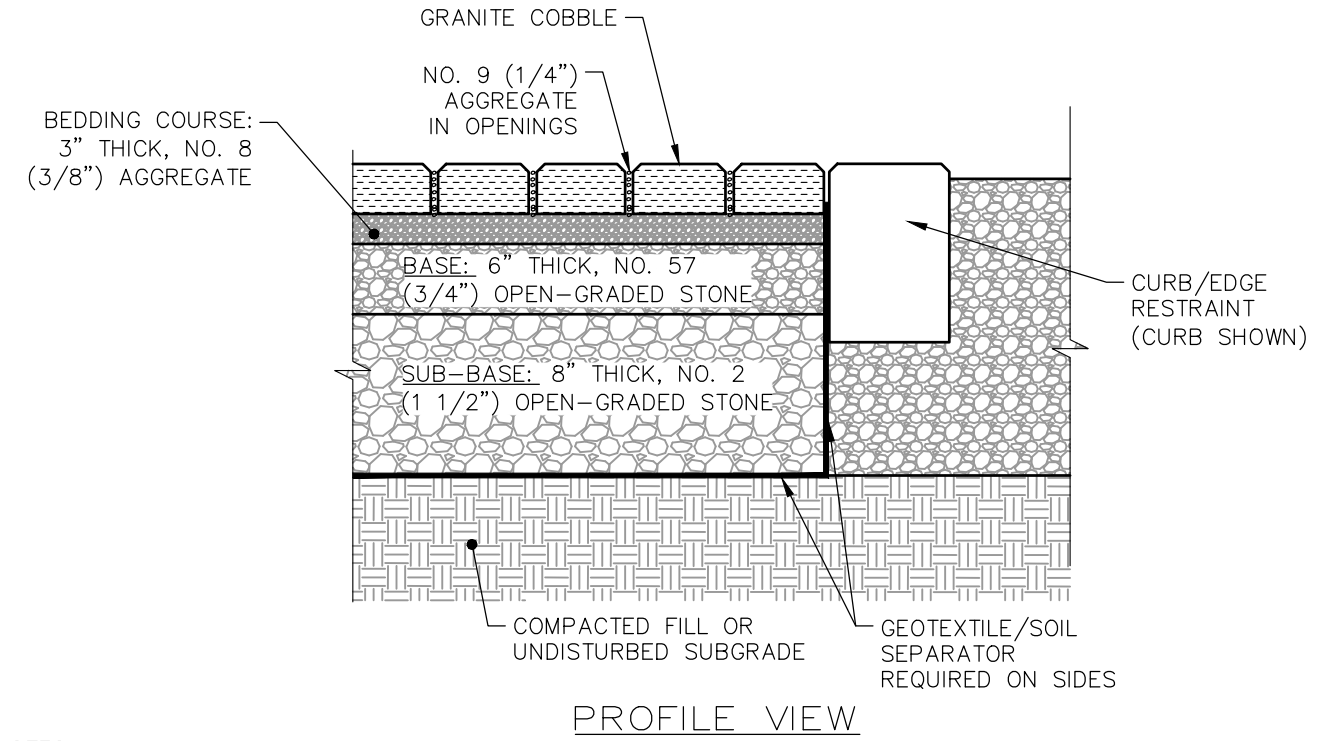
- SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
- PROVIDE CLEAN BUTT TO EXISTING PAVEMENT— USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
- REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
- BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
- BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041 OR AASHTO T209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
- PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
- PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY.
- THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
- ALL PARKING SPACES SHALL BE STANDARD DUTY. ALL OTHER LOCATIONS SHALL BE HEAVY DUTY.

**PAVEMENT SECTIONS**  
NOT TO SCALE



**NOTES**

- PERMEABLE PAVERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. PERMEABLE PAVERS FUNCTION AS AN EFFECTIVE STORMWATER TREATMENT SYSTEM AND REMAIN CLOG-FREE FOR YEARS WITH REASONABLE GOOD HOUSEKEEPING PRACTICES.
- KEEP THE PAVEMENT FREE OF LEAVES, WEEDS, AND SEDIMENT.
- AVOID THE USE OF SAND IN THE WINTER; IF USED, SPREAD SPARINGLY.
- PERIODICALLY SWEEP THE OPENINGS TO REMOVE CRUST THAT FORMS ON THE SURFACE. A STIFF BRISTLE BROOM WORKS WELL FOR RESIDENTIAL WALKS AND DRIVEWAYS.
- IF PUDDLES RESULT FROM CLOGGING, INFILTRATION RATES CAN BE RESTORED TO 100% CAPACITY BY REMOVING THE AGGREGATE FROM THE OPENINGS AND REPLACING IT WITH CLEAN MATERIAL.
- DO NOT PRESSURE WASH.
- MINIMIZE APPLICATION OF SALT FOR ICE CONTROL.
- INSPECT ANNUALLY FOR PAVEMENT DETERIORATION.
- MONITOR PERIODICALLY TO ENSURE THAT THE PAVERS DRAIN EFFECTIVELY AFTER STORMS.
- PERIODICALLY ADD JOINT MATERIAL TO REPLACE LOST MATERIAL.
- MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF PAVERS AND POSSIBLY FILTER COURSE AND SUB-BASE COURSE.



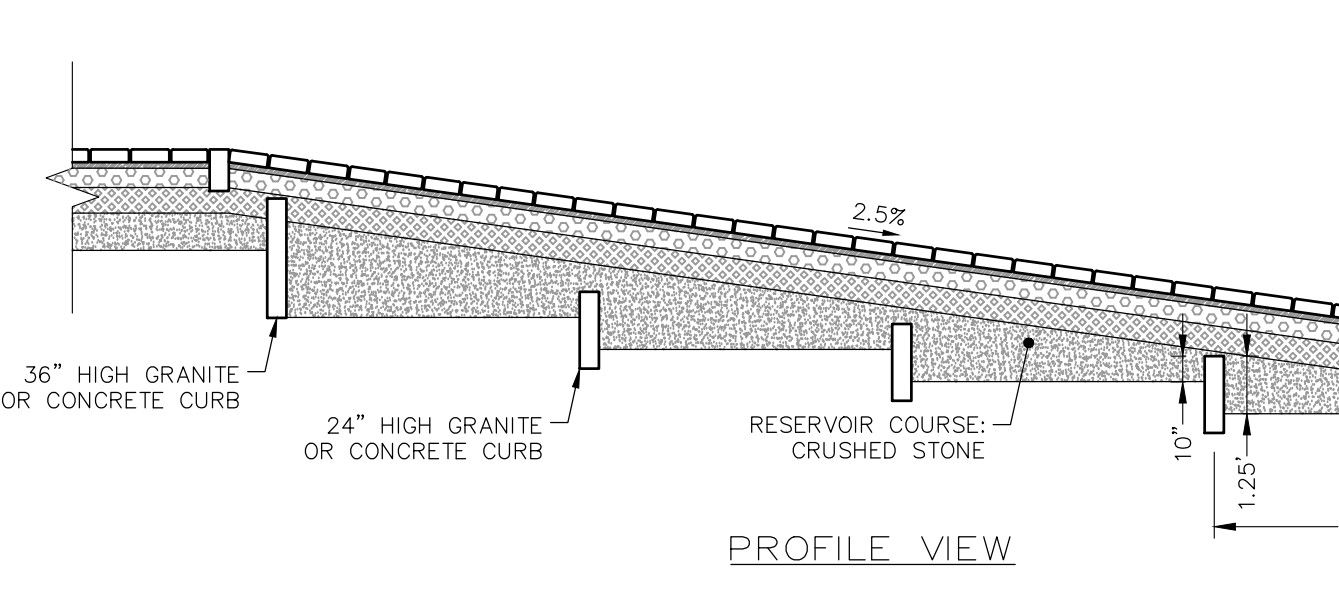
**NOTES:**

- REFER TO LANDSCAPE ARCHITECTURE FOR ADDITIONAL DETAIL AND SPECIFIC SURFACE TREATMENT.
- PERMEABLE PAVERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- INSTALLATION OF PERMEABLE PAVEMENT SECTION SHALL BEGIN AT LOWEST GRADE AND END AT HIGHEST GRADE.

**MAINTENANCE:**

- PERMEABLE PAVERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. PERMEABLE PAVERS FUNCTION AS AN EFFECTIVE STORMWATER TREATMENT SYSTEM AND REMAIN CLOG-FREE FOR YEARS WITH REASONABLE GOOD HOUSEKEEPING PRACTICES.
- KEEP THE PAVEMENT FREE OF LEAVES, WEEDS, AND SEDIMENT.
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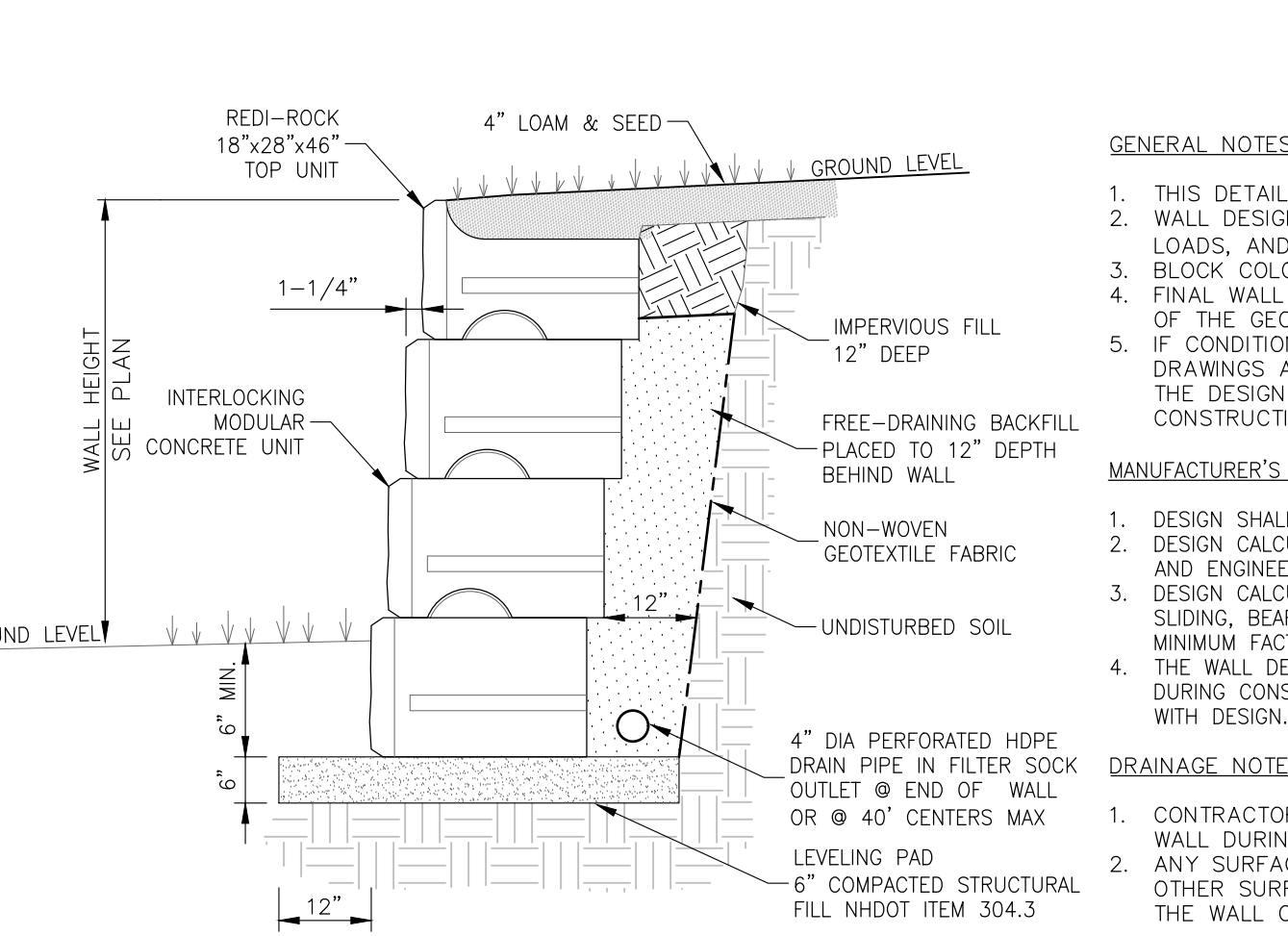
**PERMEABLE PAVER**  
NOT TO SCALE



**MAINTENANCE:**

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- KEEP THE PAVEMENT FREE OF LEAVES, WEEDS, AND SEDIMENT.
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- PERIODICALLY ADD JOINT MATERIAL TO REPLACE LOST MATERIAL.
- MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF PAVERS AND POSSIBLY FILTER COURSE AND SUB-BASE COURSE.

**PERMEABLE PAVER DRIVEWAY**  
NOT TO SCALE



**GENERAL NOTES**

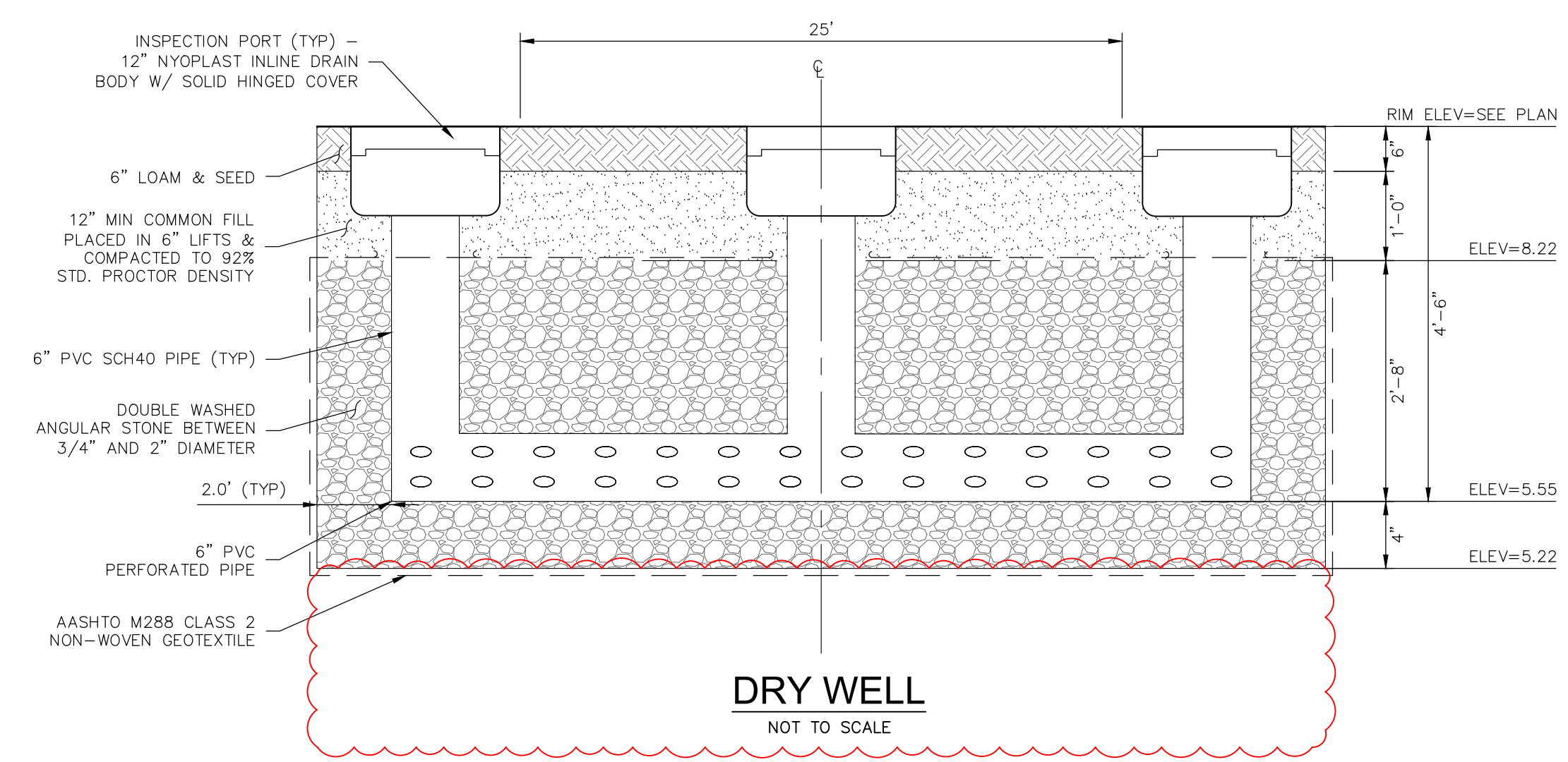
- THIS DETAIL IS ONLY FOR WALLS LESS THAN 4 FEET IN HEIGHT.
- WALL DESIGNS SHALL CONSIDER EFFECTS OF SLOPE, TRAFFIC LOADS, AND/OR BUILDING LOADS AS REQUIRED.
- BLOCK COLOR SHALL BE DETERMINED BY OWNERS REPRESENTATIVE.
- FINAL WALL DESIGN SHALL BE SUBJECT TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.

**MANUFACTURER'S DESIGN**

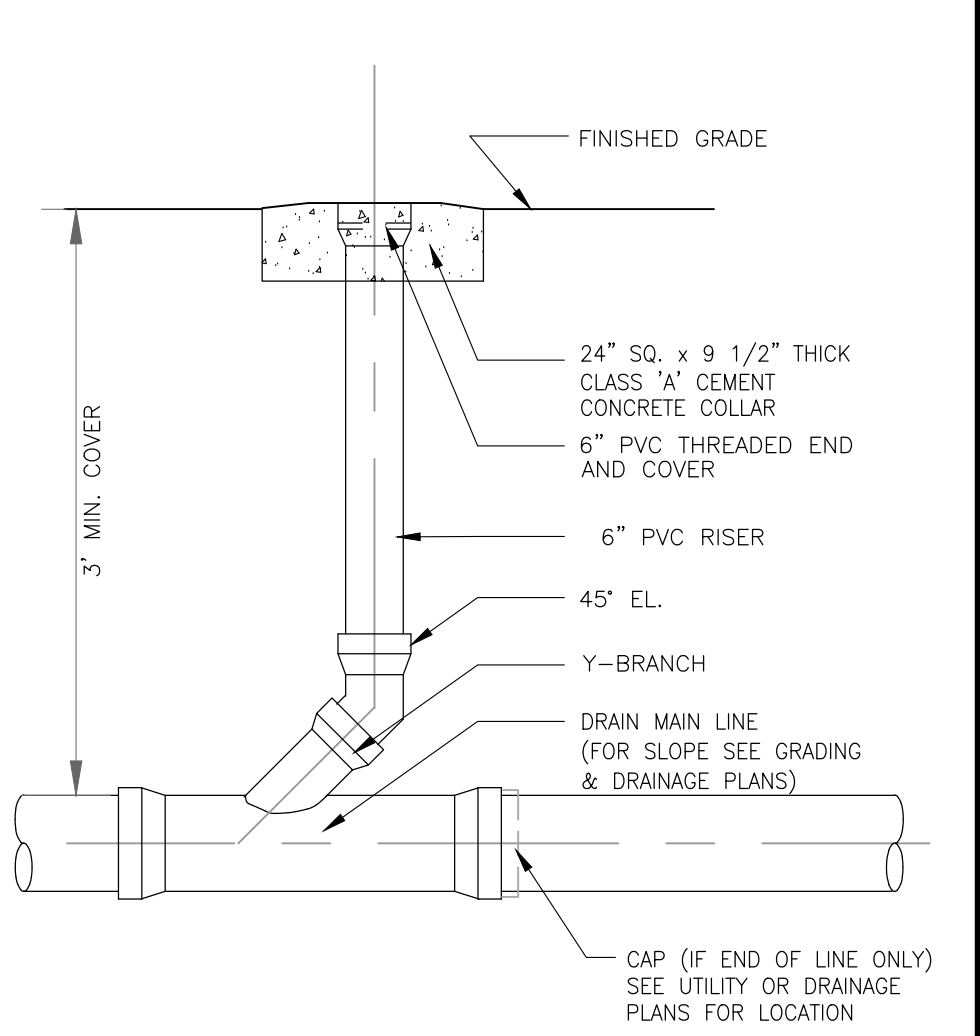
- DESIGN SHALL BE FROM THE WALL MANUFACTURER.
- DESIGN CALCULATIONS AND PLANS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER OF RECORD FOR APPROVAL.
- DESIGN CALCULATIONS TO INCLUDE SAFETY FACTORS AGAINST OVERTURNING, SLIDING, BEARING CAPACITY, GEGRID PULLOUT AND GLOBAL STABILITY. MINIMUM FACTORS OF SAFETY ARE INDICATED BELOW.
- THE WALL DESIGN ENGINEER SHALL COMPLETE SUFFICIENT INSPECTIONS DURING CONSTRUCTION TO CERTIFY WORK IS COMPLETE IN ACCORDANCE WITH DESIGN.

**DRAINAGE NOTES**

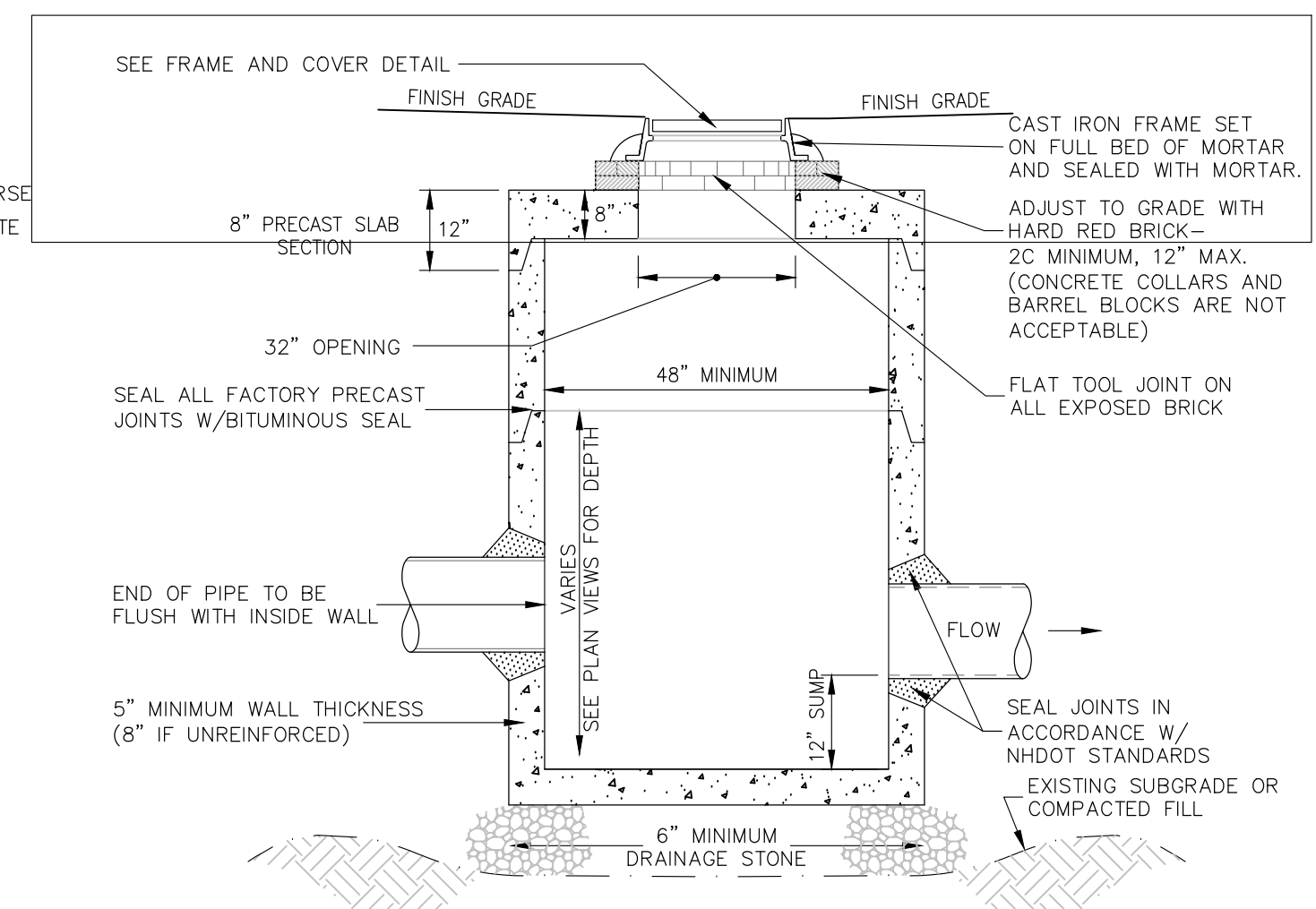
- CONTRACTOR SHALL DIRECT SURFACE RUNOFF AWAY FROM THE WALL DURING CONSTRUCTION.
- ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT OR OTHER SURFACE TREATMENT SHALL BE INSTALLED IN THE AREA OF THE WALL CONCURRENTLY WITH WALL CONSTRUCTION.



**DRY WELL**  
NOT TO SCALE



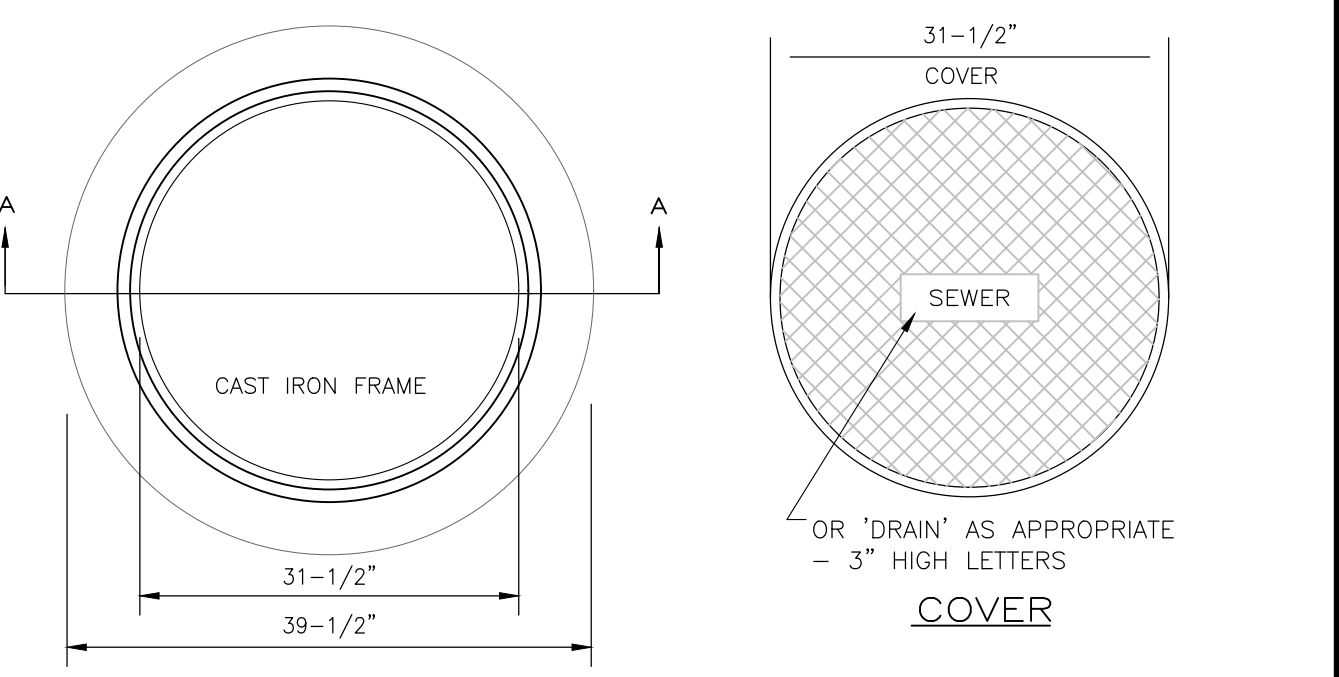
**DRAINAGE CLEAN OUT**  
NOT TO SCALE



**NOTES**

- ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478
- MANHOLES SHALL MEET NHDOT SPECIFICATIONS.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING
- REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
- ALL CONCRETE SHALL BE NHDOT CLASS A.

**SLAB TOP MANHOLE**  
NOT TO SCALE



**NOTES**

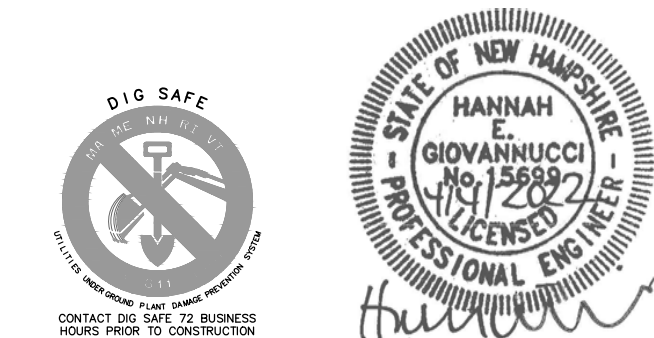
- FRAMES AND COVERS SHALL BE MANUFACTURED FROM DUCTILE IRON IN ACCORDANCE WITH ISO 1083.
- COVERS SHALL BE ON MAN OPERABLE USING STANDARDS TOOLS AND SHALL BE CAPABLE OF WITHSTANDING A TEST LOAD OF 120,000 LBS (#20 REQUIREMENT).
- FRAME SHALL INCORPORATE A SEATING GASKET.
- FLANGE SHALL INCORPORATE BEDDING SLOTS AND BOLT HOLES.
- ALL COMPONENTS SHALL BE BLACK COATED.
- MANHOLE FRAME AND COVER SHALL BE PER TOWN OF TILTON STANDARDS.

BRICK RISERS (IF REQUIRED) ASTM C32-05, CLAY OR SHALE SS HARD BRICK SEE STRUCTURE DETAILS

**MANHOLE FRAME AND COVER**  
NOT TO SCALE

**SITE DEVELOPMENT PLANS**  
TAX MAP 205 LOT 2  
**DETAILS**  
**LADY ISLE SITE RENOVATIONS**  
325 LITTLE HARBOR ROAD, PORTSMOUTH, NH  
OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

SCALE: NTS      **SEPTEMBER 29, 2021**



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2	2/2/2022	REVISED PER NHDES & UPDATE SURVEY/UTILITIES	HEG	JCC
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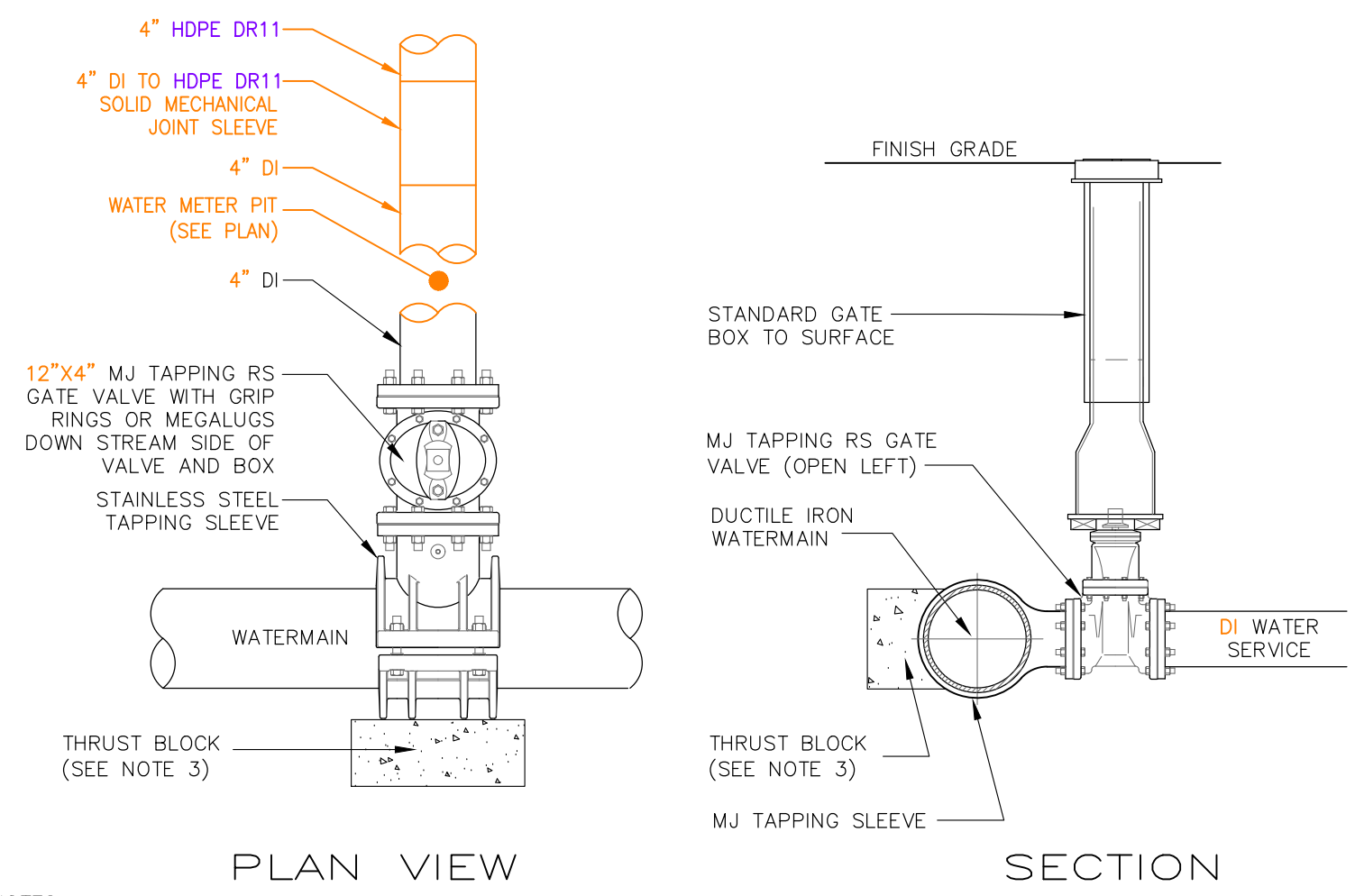
Seacoast Division  
**TFM**  
Civil Engineers  
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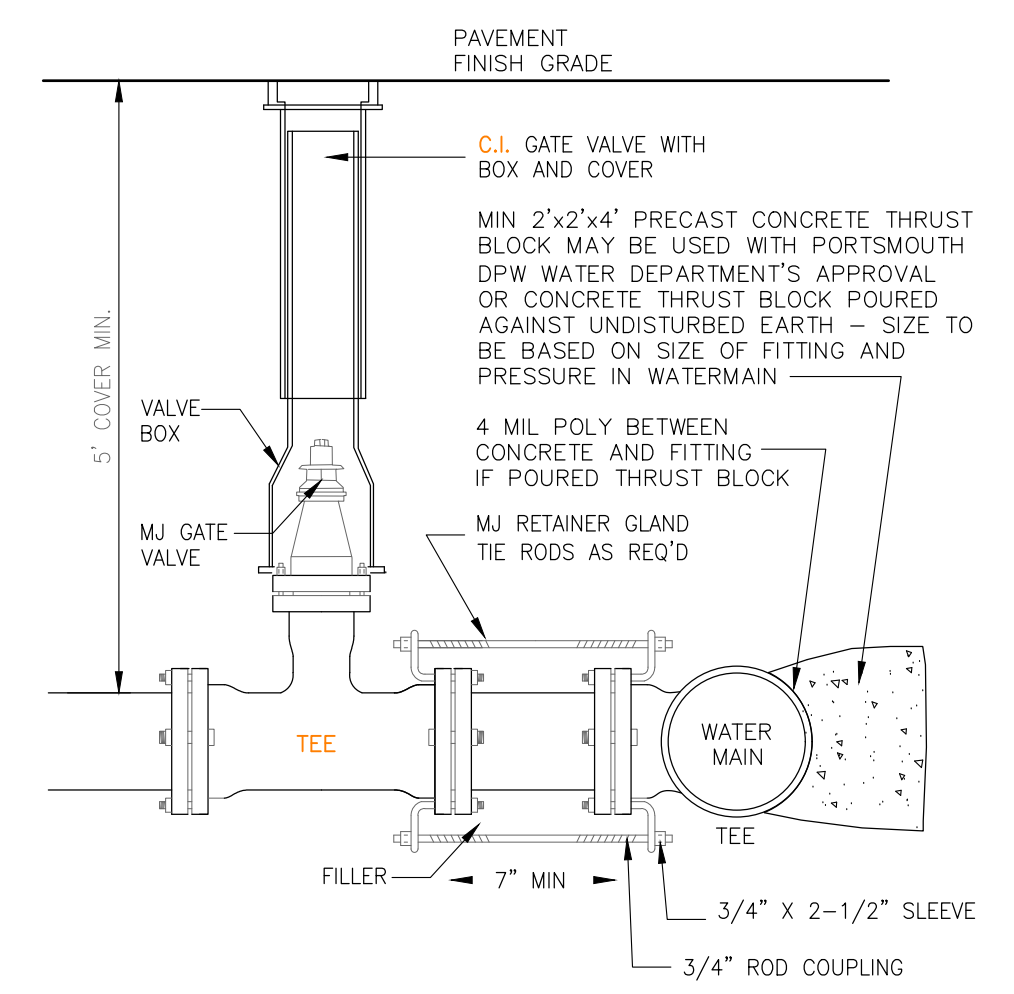


**PLAN VIEW**  
NOT TO SCALE

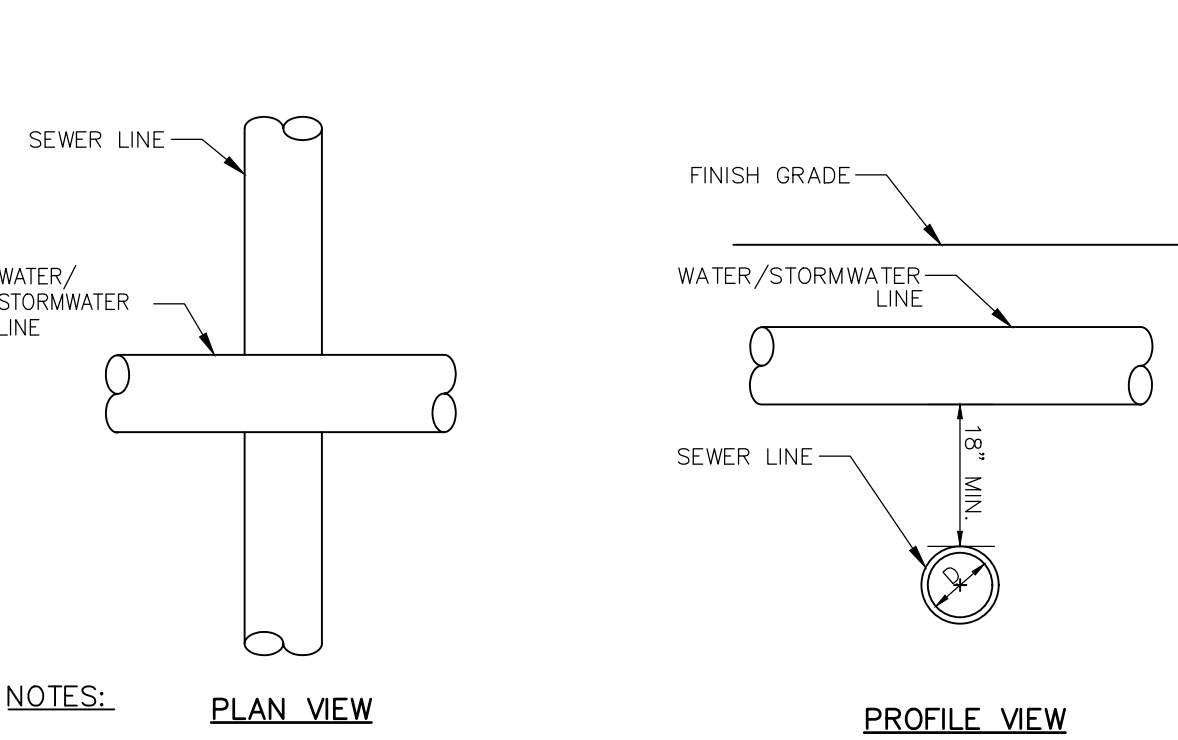
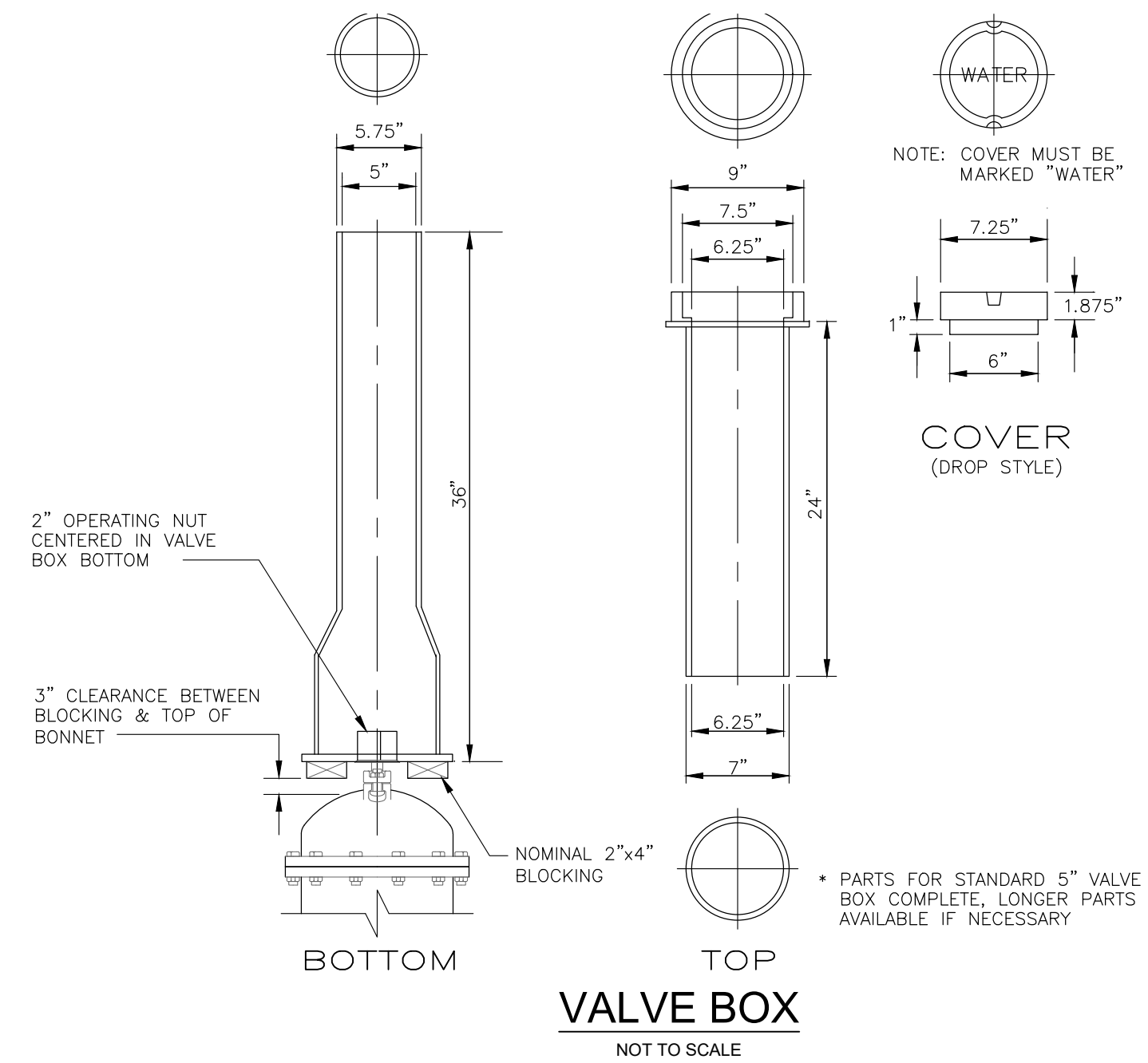
**SECTION**  
NOT TO SCALE

**WATER SERVICE WET TAP INSTALLATION**  
NOT TO SCALE

NOTES:  
1. TAPPING SLEEVES SHALL BE STAINLESS STEEL (SS) WITH SS HARDWARE.  
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 6" FROM TOP OF PIPE TO FINISH GRADE PER NHDOT REQUIREMENTS WITHIN THE RIGHT OF WAY.  
3. PRECAST CONCRETE THRUST BLOCK TO BE USED, SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATERMAIN.

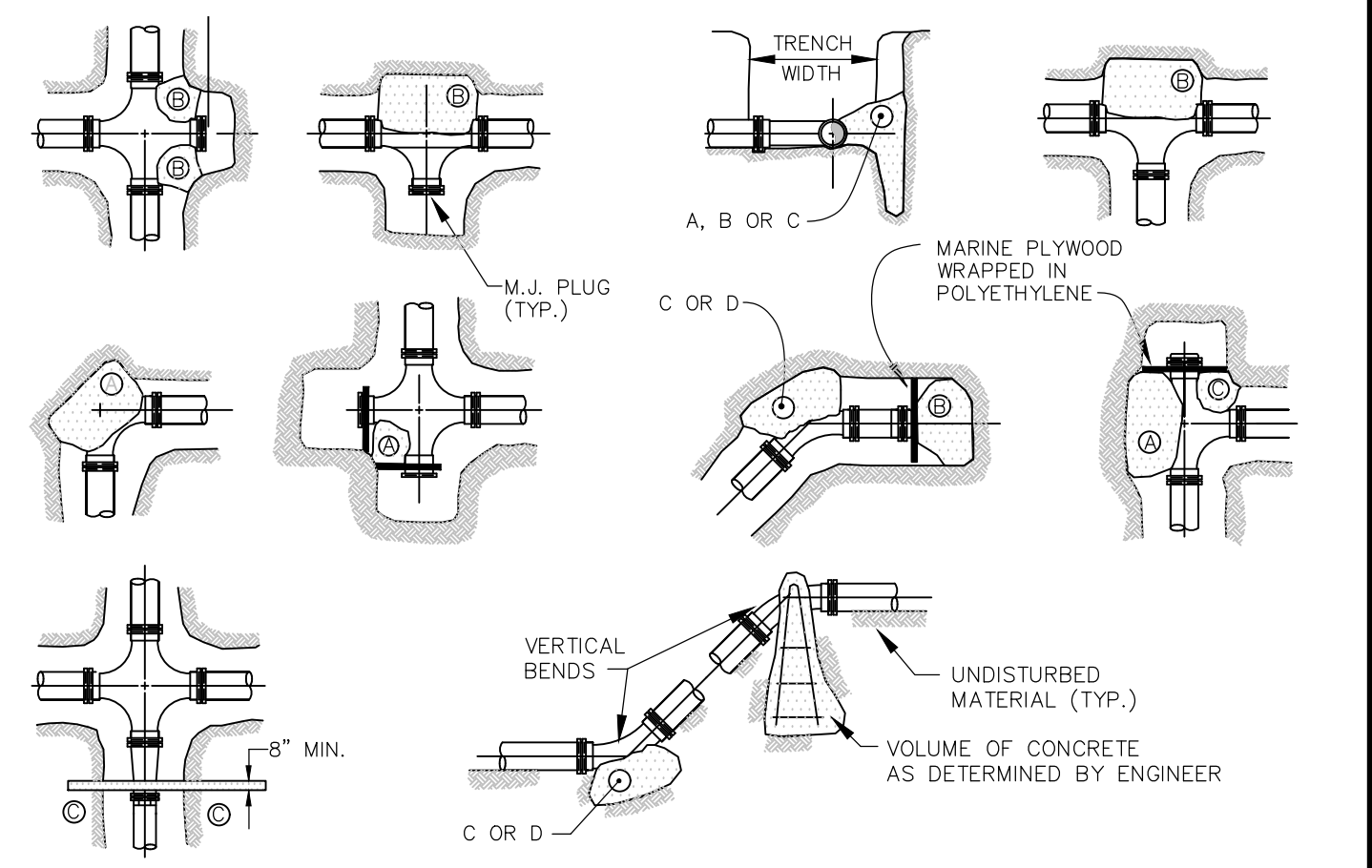


**BURIED GATE VALVE**  
NOT TO SCALE



**WATER/STORMWATER & SEWER CROSSING**  
NOT TO SCALE

NOTES:  
1. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPERATION SHALL BE PROVIDED BETWEEN ALL WATER/STORMWATER AND SANITARY SEWER LINES. AN 18" MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPERATION SHALL BE PROVIDED AT ALL WATER/STORMWATER AND SANITARY SEWER CROSSINGS.  
2. PROTECTION OF WATER SUPPLIES  
2.1 THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE POTABLE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE.  
2.2 NO SEWER SHALL BE LOCATED WITHIN THE WELL PROTECTED RADI established in ENV-W5 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL.  
2.3 SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN.  
2.4 A DEVIATION FROM THE SEPERATION REQUIREMENTS OF (2) OR (3) ABOVE SHALL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SUBSURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS, PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENV-WQ 704.06.  
2.5 WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS:  
2.5.1 VERTICAL SEPERATION OF THE SEWER AND WATER MAIN SHALL BE NOT LESS THAN 18 INCHES, WITH WATER ABOVE SEWER; AND  
2.5.2 SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.



**THRUST BLOCKS**  
NOT TO SCALE

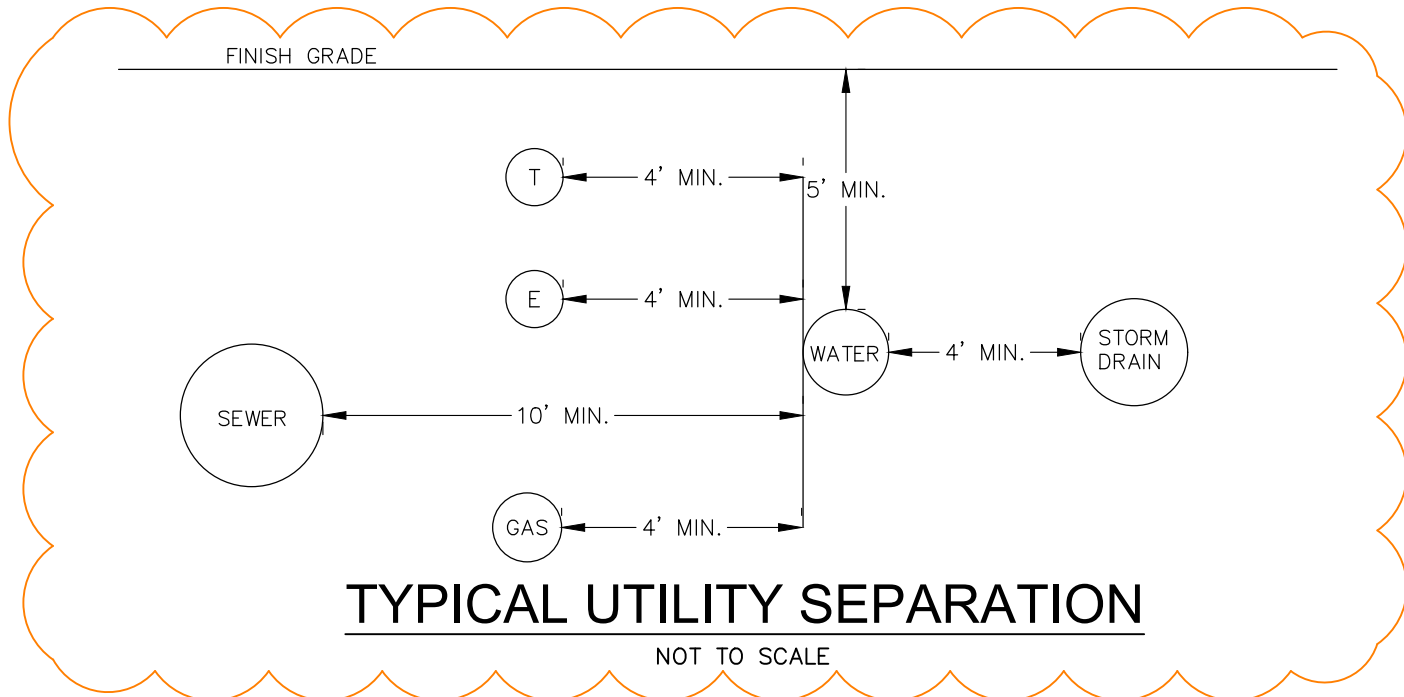
BEARING AREA REQUIRED, SQUARE FEET

TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	4" AND LESS DEGREE BEND				6" AND 8" DEGREE BEND				10" AND 12" DEGREE BEND			
	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
LOOSE SAND OR MEDIUM CLAY - 2,000	1.0	2.0	2.7	4.0	1.5	3.0	6.0	10.0	3.0	6.2	12.0	22.0
PACKED GRAVEL AND SAND - 4,000	1.0	1.0	1.5	2.0	1.0	1.5	3.0	5.0	1.5	3.1	6.0	11.0
ROCK - 10,000	1.0	1.0	1.0	1.0	1.0	1.0	1.2	2.0	1.0	1.3	2.4	4.4

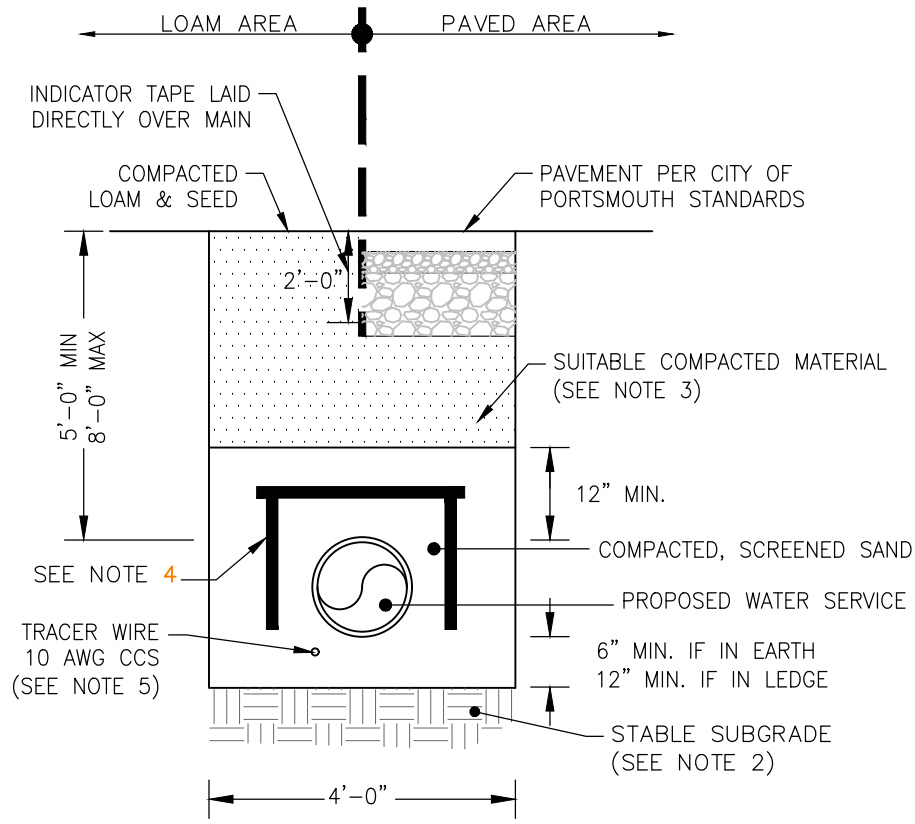
  

TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	14" AND 16" DEGREE BEND OR DEFLECTION				18" AND 20" DEGREE BEND OR DEFLECTION			
	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
LOOSE SAND OR MEDIUM CLAY - 2,000	6.0	12.0	22.5	40.0	9.5	19.0	37.0	67.0
PACKED GRAVEL AND SAND - 4,000	3.0	6.0	11.3	20.0	4.8	9.5	18.5	33.5
ROCK - 10,000	1.2	2.4	4.5	8.0	2.0	3.8	7.4	13.5

NOTES:  
1. ALL MATERIAL, INSTALLATION PROCEDURES, MANUFACTURERS, AND DIMENSIONAL REQUIREMENTS SHALL CONFORM TO PORTSMOUTH'S INFRASTRUCTURE DESIGN STANDARDS AND PORTSMOUTH DPW'S ESTABLISHED RULES AND PROCEDURES.  
2. A PRECAST CONCRETE THRUST BLOCK IS PREFERRED BY PORTSMOUTH DPW AND MUST CONFORM TO PORTSMOUTH DPW'S INFRASTRUCTURE DESIGN STANDARDS.  
3. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO PIPE JOINTS SHALL BE COVERED WITH CONCRETE.  
4. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.  
5. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS. PLACE ROOFING FELT AROUND HYDRANT ELBOW BEFORE POURING THRUST BLOCKS AND ENSURE CONCRETE DOES NOT PLUG HYDRANT DRAIN PORTS.

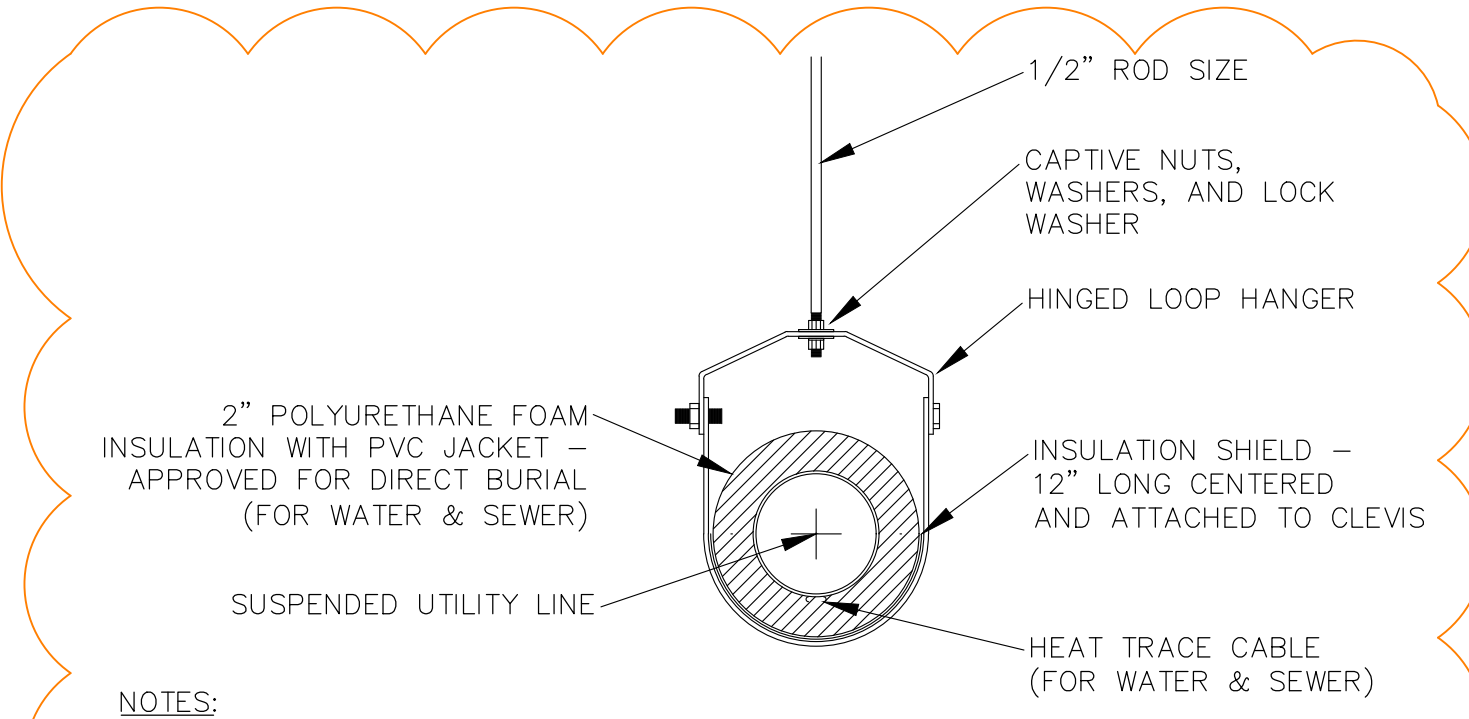


**TYPICAL UTILITY SEPARATION**  
NOT TO SCALE



**WATER TRENCH**  
NOT TO SCALE

NOTES:  
1. ALL MATERIAL, INSTALLATION PROCEDURES, MANUFACTURERS, AND DIMENSIONAL REQUIREMENTS SHALL CONFORM TO PORTSMOUTH'S INFRASTRUCTURE DESIGN STANDARDS AND PORTSMOUTH DPW'S ESTABLISHED RULES AND PROCEDURES.  
2. IN LOCATIONS WITH EXISTING FILL SOILS, CONSULT WITH THE GEOTECHNICAL ENGINEER FOR METHODS TO PREPARE STABLE SUBGRADE AND REMOVAL OF MATERIAL IF NECESSARY.  
3. SUITABLE MATERIAL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER 6" IN THE LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. SUITABLE MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.  
4. RIGID STYROFOAM INSULATION (DOW HI-40 OR EQUAL) WITH 6" CLEAN SAND BLANKET AROUND WATER PIPE WHERE WATER AND DRAIN PIPE SEPERATION IS LESS THAN 18". TRACER WIRE SPECIFIED FOR NON-METALLIC WATER LINES SHALL BE INSTALLED BELOW AND TO THE SIDE OF THE PIPE AND PER THE MANUFACTURER REQUIREMENTS. TRACER WIRE PRODUCT SHALL BE SELECTED FOR OPEN CUT INSTALLATION TECHNIQUE.



**SUSPENDED UTILITIES**  
NOT TO SCALE

NOTES:  
1. HEAT TRACE CABLE SHALL BE RATED 5 WATTS/FT. TEMPERATURE CONTROLLED WITH GROUND FAULT CIRCUIT INTERRUPTER PROTECTION.  
2. HEAT TRACE CABLE SHALL RUN ALONG BOTTOM OF PIPE AND ATTACHED WITH ADHESIVE ALUMINUM TAPE.

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**SITE DEVELOPMENT PLANS**  
TAX MAP 205 LOT 2  
**DETAILS**  
**LADY ISLE SITE RENOVATIONS**  
325 LITTLE HARBOR ROAD, PORTSMOUTH, NH  
OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

SCALE: NTS SEPTEMBER 29, 2021

Seacoast Division  
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# GENERAL NOTES

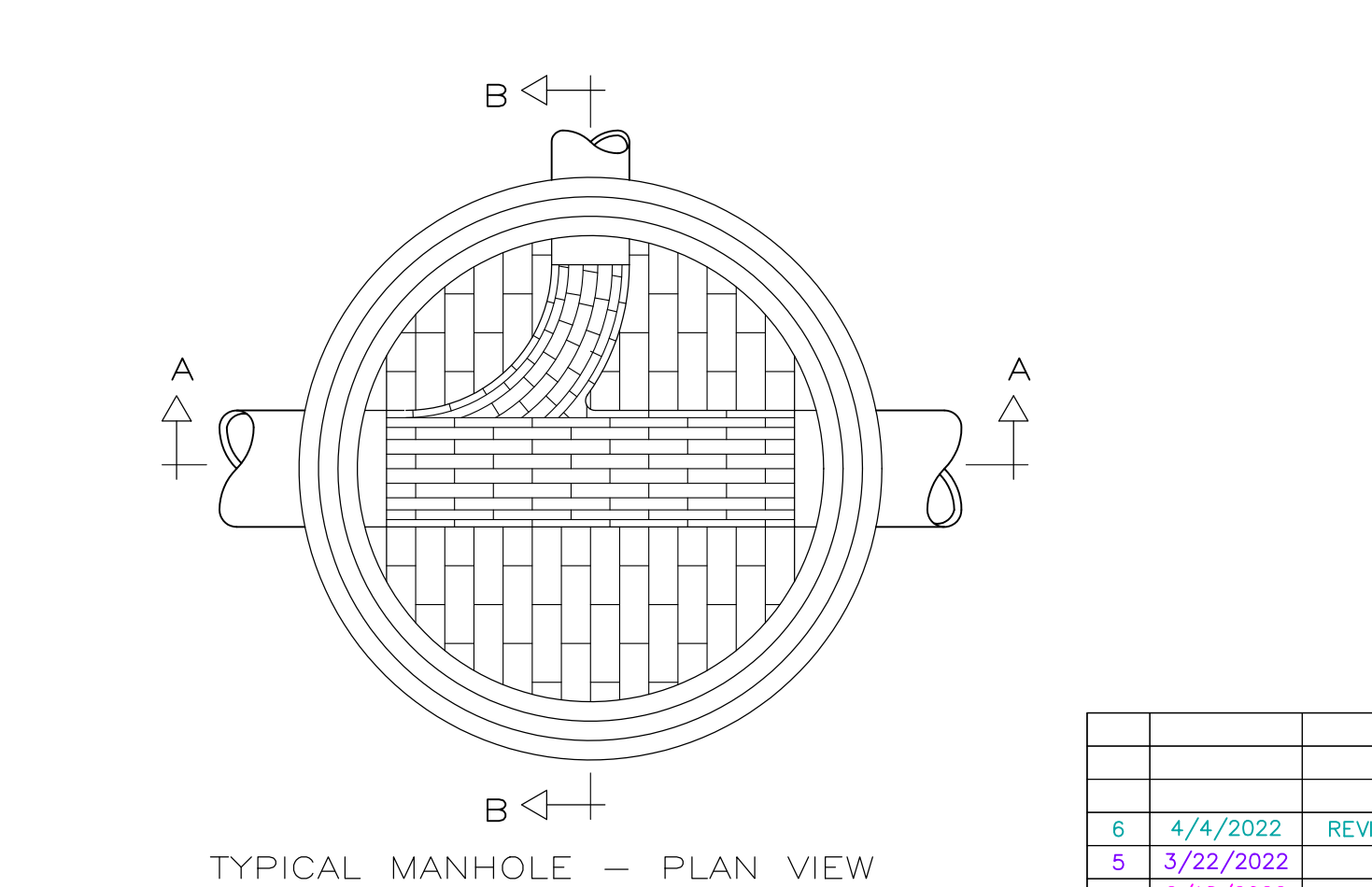
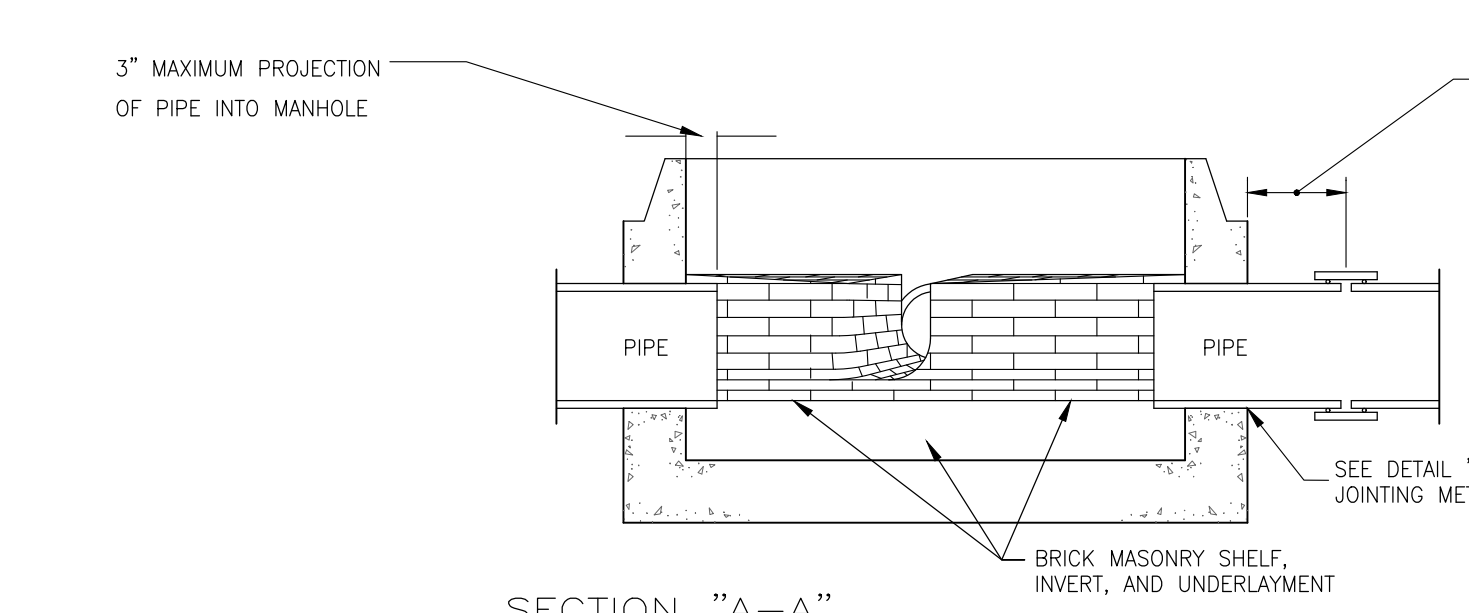
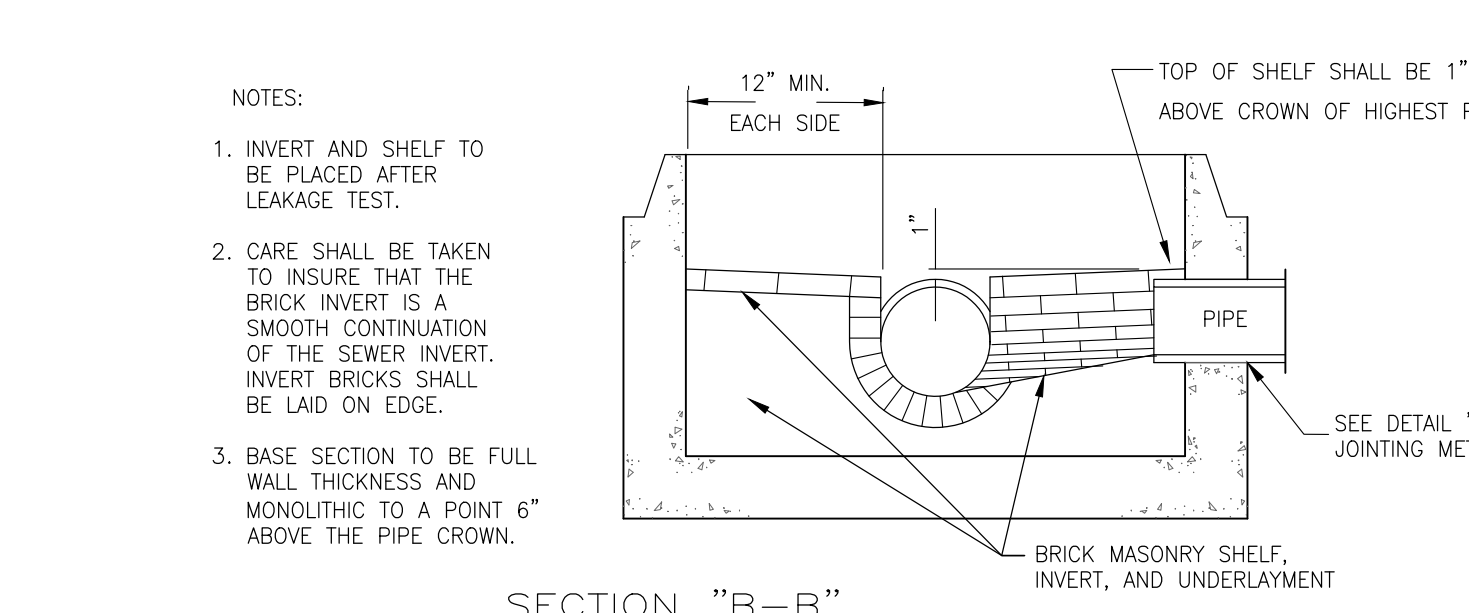
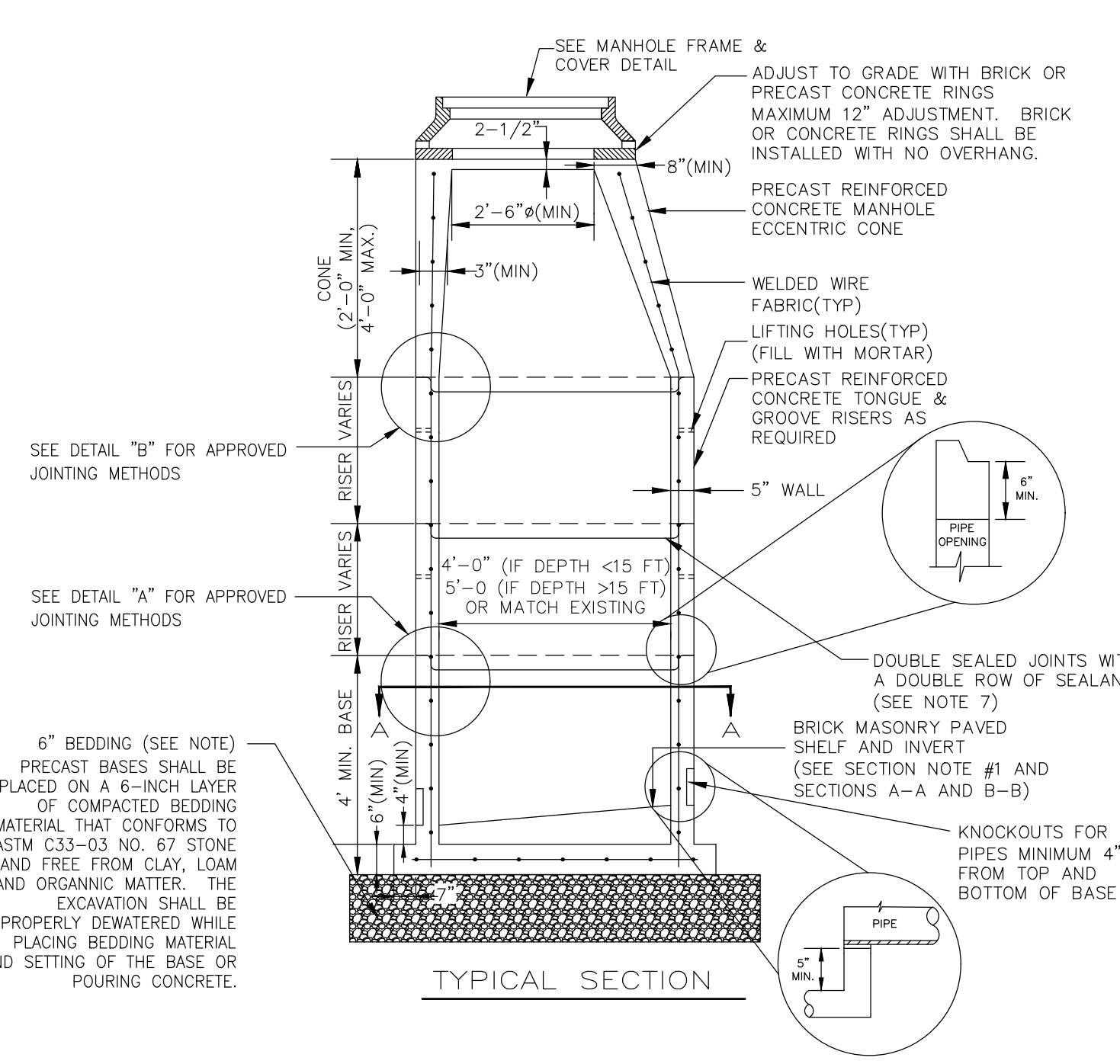
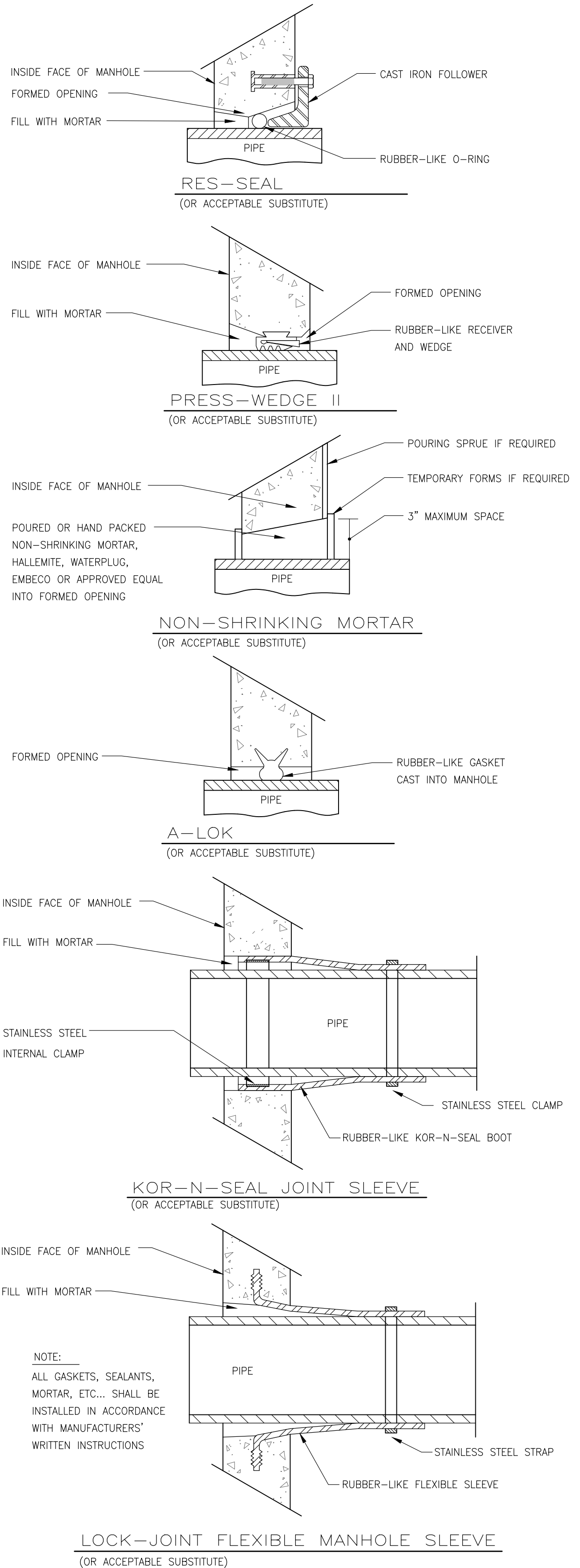
- IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H=20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- BARRELS, CONE SECTIONS AND CONCRETE GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE AND SHALL CONFORM ENV-WQ 704.12 & 704.13.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478-06.
- BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.
- MANHOLE CONE SECTIONS SHALL BE ECCENTRIC IN SHAPE.
- ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDELIBLY MARKED ON THE INSIDE WALL.
- ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H=20 LOADS.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT. APPROVED ELASTOMERIC SEALANTS ARE:
  - SIKAFLEX-12-SL
  - SONNEBORN BUILDING PRODUCTS-SONOLASTIC SL-1
- THE MINIMUM INTERNAL DIAMETER OF MANHOLES SHALL BE 48 INCHES. FOR SEWERS LARGER THAN 24-INCH DIAMETER, MANHOLE DIAMETERS SHALL BE INCREASED SO AS TO PROVIDE AT LEAST 12-INCHES OF SHELF ON EACH SIDE OF THE SEWER.
- LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE TO ENV-WQ 704.17.
  - (a) ALL MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH THE ASTM C1244 STANDARD IN EFFECT WHEN THE TESTING IS PERFORMED.
  - (b) THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
    - 1. THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg.
    - 2. THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR 1-INCH Hg PRESSURE DROP TO 9 INCHES SHALL BE:
      - A. NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP.
      - B. NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP.
      - C. NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
  - (c) THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (b) ABOVE.
  - (d) INVERTS AND SHELVES SHALL NOT BE INSTALLED UNTIL AFTER SUCCESSFUL TESTING IS COMPLETE.
  - (e) FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT
- ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.
- BRICK MASONRY FOR SHELF, INVERT AND GRADE ADJUSTMENT SHALL COMPLY WITH ASTM C32-05, CLAY OR SHALE, FOR GRADE SS HARD BRICK.
 

MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:

  - (a) 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
  - (b) 4.5 PARTS SAND, 1 PART CEMENT AND 0.5 PART HYDRATED LIME

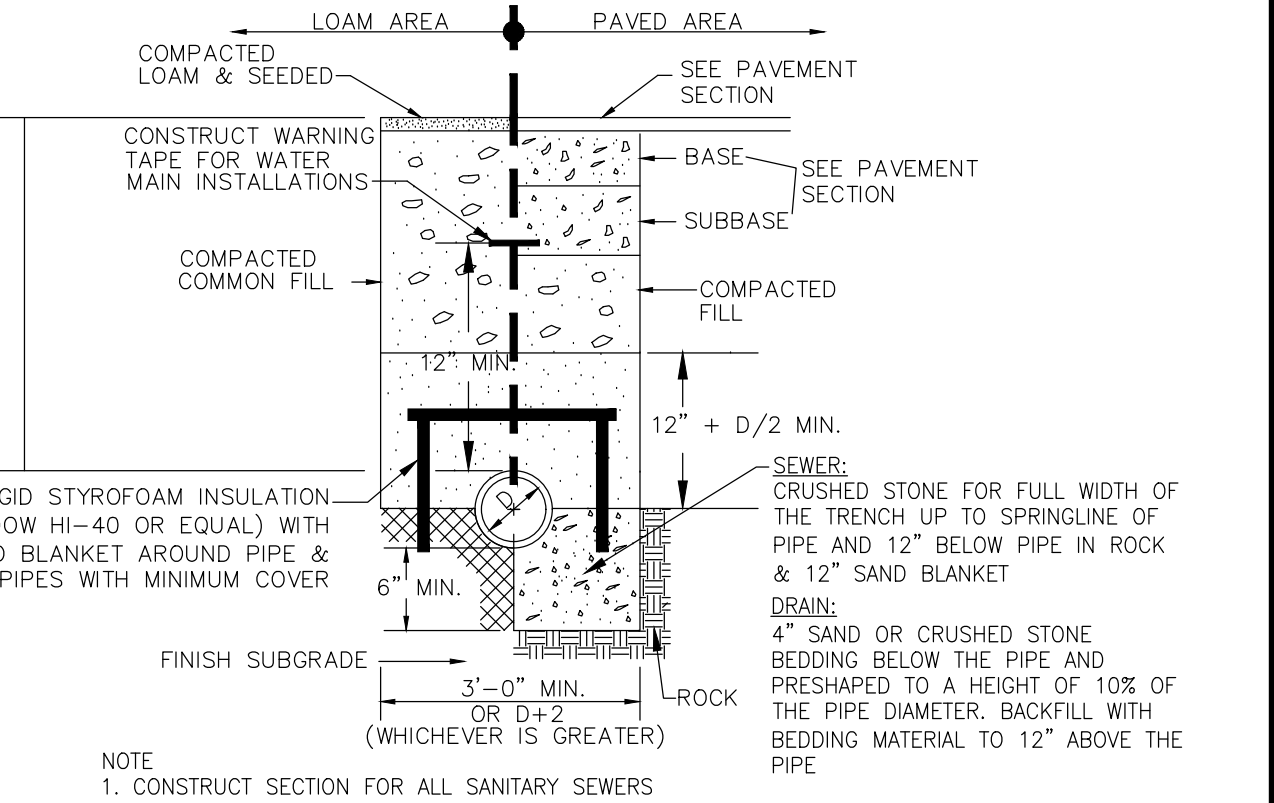
CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05. HYDRATED LIME SHALL BE TYPE S CONFORMING TO ASTM C207-06 "STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES". SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO ASTM C33-03 "STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES".
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED OR PRECAST CONCRETE SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN, CLASS 30, CONFORMING TO ASTM A48/48M AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH WORD (MINIMUM HEIGHT) LETTERS "SEWER" SHALL BE PLAINLY CAST INTO THE TOP SURFACE. THE CASTING SHALL BE OF EVEN GRAINED CAST IRON, SMOOTH, AND FREE FROM SCALE, LUMPS, BLISTERS, SAND HOLES AND DEFECTS. CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION.
- BEDDING: PRECAST BASES SHALL BE PLACED ON A 6-INCH LAYER OF COMPACTED BEDDING MATERIAL THAT CONFORMS TO ASTM C33-03 NO. 67 STONE AND FREE FROM CLAY, LOAM AND ORGANIC MATTER. THE EXCAVATION SHALL BE PROPERLY DEWATERED WHILE PLACING BEDDING MATERIAL AND SETTING OF THE BASE OR POURING CONCRETE. WATER-STOPS SHALL BE USED AT THE HORIZONTAL JOINT OF THE CAST-IN-PLACE MANHOLES.
 

100% PASSING	1" SCREEN
90-100% PASSING	3/4" SCREEN
20-55% PASSING	3/8" SCREEN
0-10% PASSING	#4 SIEVE
0-5% PASSING	#8 SIEVE
- FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES FROM ANY MANHOLE CONNECTION: (a) WITHIN 48 INCHES FOR REINFORCED CONCRETE PIPE (RCP). (b) WITHIN 60 INCHES FOR PVC PIPE LARGER THAN 15" DIAMETER.
- NO FLEXIBLE JOINT SHALL BE REQUIRED FOR DUCTILE IRON PIPE OR PVC PIPE UP THROUGH 15-INCH DIAMETER.
- PIPE TO MANHOLE JOINTS SHALL BE ONLY AS FOLLOWS:
  - A. ELASTOMERIC, RUBBER SLEEVE WITH WATERTIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
  - B. CAST INTO WALL OR SECURED WITH STAINLESS STEEL CLAMPS.
  - C. ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH THE SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING.
  - D. ON-SHRINKING GROUTED JOINTS WHERE WATERTIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.
- THE INVERT OF THE INCOMING PIPE SHALL BE NO MORE THAN 6 INCHES ABOVE THE OUTGOING PIPE UNLESS A DROP ENTRY IS USED.



- ### NOTES
- UNDERLAYMENT OF MANHOLE INVERT AND SHELF SHALL BE BRICK MASONRY PER ENV-WQ 704.12(K).
  - INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
  - CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
  - INVERT BRICKS SHALL BE LAID ON EDGE.
  - PRECAST CONCRETE MANHOLES SHALL MEET AASHTO M199-93/ ASTM C478-90B, RATED FOR HS=20 LOADING WITH CONCRETE STRENGTH OF 4000 PSI OR GREATER.
  - ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.
  - HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT.
    - ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.
    - STATE OF NEW HAMPSHIRE APPROVED PRODUCTS
      - A) SIKAFLEX-12-SL
      - B) SONNEBORN BUILDING PRODUCTS SONOLASTIC SL-1
  - MANHOLE STEPS ARE PROHIBITED BY TILTON SEWER COMMISSION.

- ### NOTES:
- INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
  - CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE.
  - BASE SECTION TO BE FULL WALL THICKNESS AND MONOLITHIC TO A POINT 6" ABOVE THE PIPE CROWN.



UTILITY TRENCH  
NOT TO SCALE

## SITE DEVELOPMENT PLANS

TAX MAP 205 LOT 2  
**DETAILS**  
**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

SCALE: NTS      SEPTEMBER 29, 2021

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## STANDARD MANHOLE

NOT TO SCALE

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# SEWER SERVICE NOTES

- MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE FOUR INCHES.
- PIPE AND JOINT MATERIALS:
  - PLASTIC SEWER PIPE
    - PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
 

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
D2680	*ABS (COMPOSITES WALL)	8" THROUGH 15"

\*PVC: POLY VINYL CHLORIDE  
\*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
    - JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
    - ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).
    - JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
  - DUCTILE-IRON PIPE, FITTINGS AND JOINTS.
    - DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE: A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
    - A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
    - JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO: A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS
- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURERS' INSTRUCTIONS USING A BOLTED, CLAMPED OR EXPOSED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL UP TO AND INCLUDING 15" DIAMETER.
- SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 6 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10, BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.
 

THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/8" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
- TESTING: THE COMPLETED SEWER SERVICE SHALL BE SUBJECTED TO A THIRD PARTY LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
  - AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
  - THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER, TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
  - DRY FLUORESCENCE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE, IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWN-STREAM MANHOLE.

LEAKAGE OBSERVED IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.
- ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SLUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
- WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.
 

100% PASSING	1/2 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%-55% PASSING	3/8 INCH SCREEN
0%-10% PASSING	#4 SIEVE
0%-5% PASSING	#8 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.
- LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
- CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE SEWER CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

# GRAVITY SEWER NOTES

- MINIMUM SIZE PIPE FOR GRAVITY SEWER SHALL BE 8-INCHES.
- PIPE AND JOINT MATERIALS FOR PLASTIC SEWER PIPE SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
 

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034-04g	* PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679-03	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F794-03	PVC (RIBBED WALL)	8" THROUGH 36"
F1760-01(2005)e1	PVC, RECYCLED	ALL DIAMETERS

\*PVC: POLY VINYL CHLORIDE
- PLASTIC SEWER PIPE SHALL HAVE A PIPE STIFFNESS RATING OF AT LEAST 46 POUNDS PER SQUARE INCH AT 5 PERCENT PIPE DIAMETER DEFLECTION, AS MEASURED IN ACCORDANCE WITH ASTM D2412-02 DURING MANUFACTURE.
- JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212-96(c)(2003)e1 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
- DUCTILE-IRON PIPE, FITTINGS AND JOINTS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA).
 

AWWA C151/A21.51-02	THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536-84 (2004) DUCTILE IRON CASTINGS.
AWWA C151/A21.51-02	DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.

JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO AWWA C151/A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.
- CONCRETE PIPE SHALL CONFORM TO AWWA C302-04.
- PRESTRESSED CONCRETE CYLINDER PIPE AND FITTINGS SHALL CONFORM TO AWWA C301-99.
 

JOINTS SEALS FOR CONCRETE CYLINDER PIPE SHALL BE OIL RESISTANT ELASTOMERIC MATERIAL CONFORMING TO ASWWA C301-99 SPECIFICATIONS.
- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- GRAVITY SEWER PIPE TESTING SHALL BE AS FOLLOWS:
 

ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.

LOW PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:

ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW PRESSURE AIR".

UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE".
- ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
- ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS FOLLOWING INSTALLATION.
- THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5.0 PERCENT OF THE AVERAGE INSIDE DIAMETER.
- TRENCH CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:
 

SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6' BELOW GRADE IN ALL ROADWAY LOCATIONS AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS COUNTRY LOCATIONS.

WHERE SEWER LINES CROSS WATER PIPES, A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. AT SEWER/WATER INTERSECTIONS, A MINIMUM OF 6 FEET SHALL BE PROVIDED FROM THE WATER LINE TO THE SEWER PIPE JOINT. 12" SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE REQUIRED BETWEEN SEWER LINES AND ALL OTHER PIPES.

TRENCH DIMENSIONS FOR SEWER PIPE LESS THAN 15 INCHES IN DIAMETER, THE ALLOWABLE TRENCH WIDTH AT A PLANE 12 INCHES ABOVE THE PIPE SHALL BE NO MORE THAN 36 INCHES AND FOR PIPE 15 INCHES AND LARGER, THE ALLOWABLE WIDTH SHALL BE EQUAL TO THE PIPES OUTSIDE DIAMETER PLUS 24 INCHES.

TRENCH BEDDING MATERIAL AND FILL MATERIAL FOR EXCAVATION BELOW GRADE SHALL BE SCREENED GRAVEL OR CRUSHED STONE TO ASTM C33-03 STONE SIZE NO. 67. THE PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND FREE FROM ANY ORGANIC MATERIALS, GRADED SUCH THAT 100 PERCENT PASSED THE 1/2-INCH SIEVE AND A MAXIMUM OF 15 PERCENT PASSES A #200 SIEVE. IN LIEU OF A SAND BLANKET, A STONE ENVELOPE 6 INCHES THICK COMPLETELY AROUND THE PIPE USING 3/4-INCH STONE MAY BE USED.

PIPE BEDDING MATERIAL SHALL EXTEND FROM A HORIZONTAL PLANE THROUGH THE PIPE AXIS TO 6-INCHES BELOW THE BOTTOM OF THE OUTSIDE SURFACE OF THE PIPE.

PIPE SAND BLANKET MATERIAL SHALL COVER THE PIPE A MINIMUM OF 12 INCHES ABOVE THE CROWN OF THE OUTSIDE SURFACE.

COMPACTION SHALL BE IN 12-INCH LAYERS FOR BEDDING AND BLANKET MATERIALS.

BACKFILL MATERIAL SHALL BE IN 3-FOOT LAYERS TO THE GROUND SURFACE EXCEPT FOR ROAD CONSTRUCTION WHERE THE FINAL 3-FEET SHALL BE COMPACTED IN 12-INCH LAYERS TO THE ROAD BASE SURFACE.

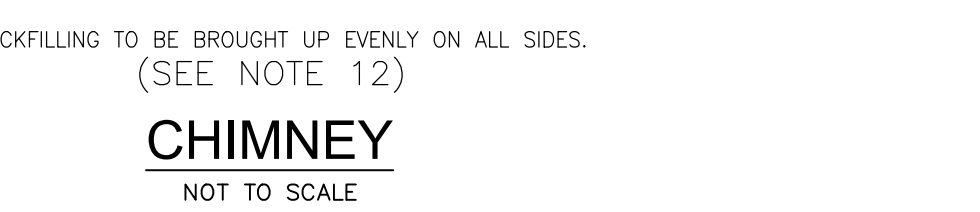
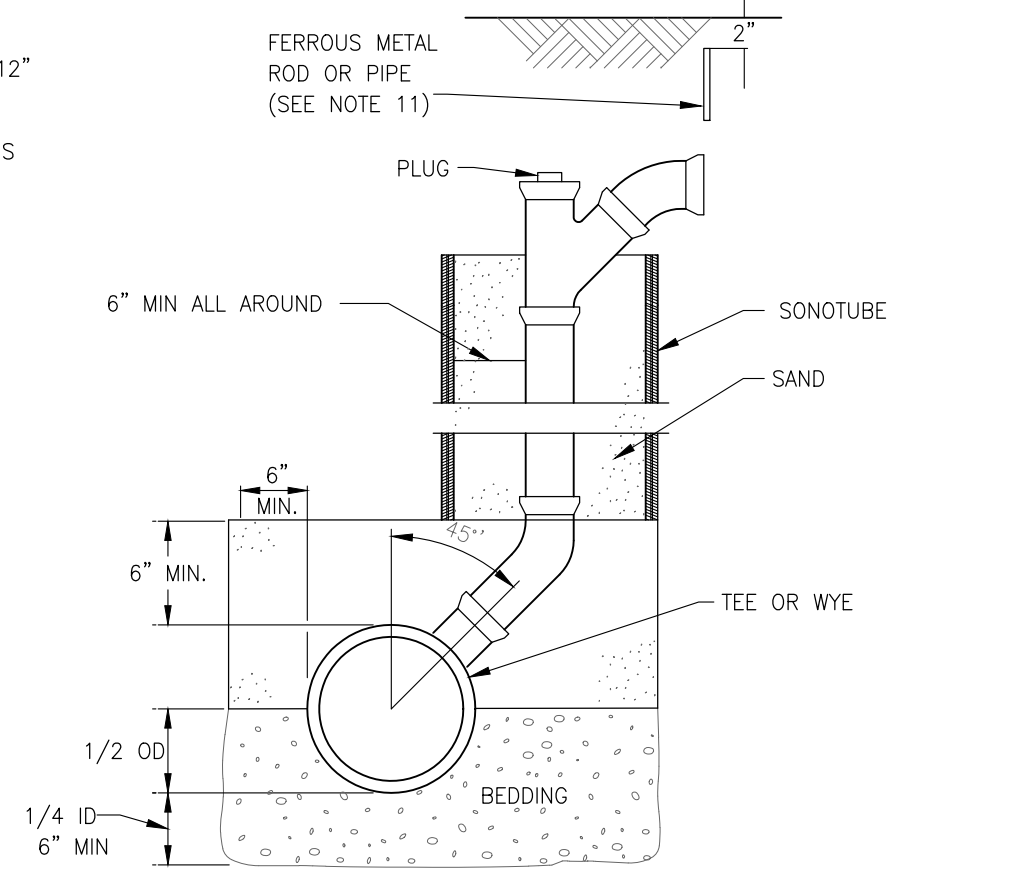
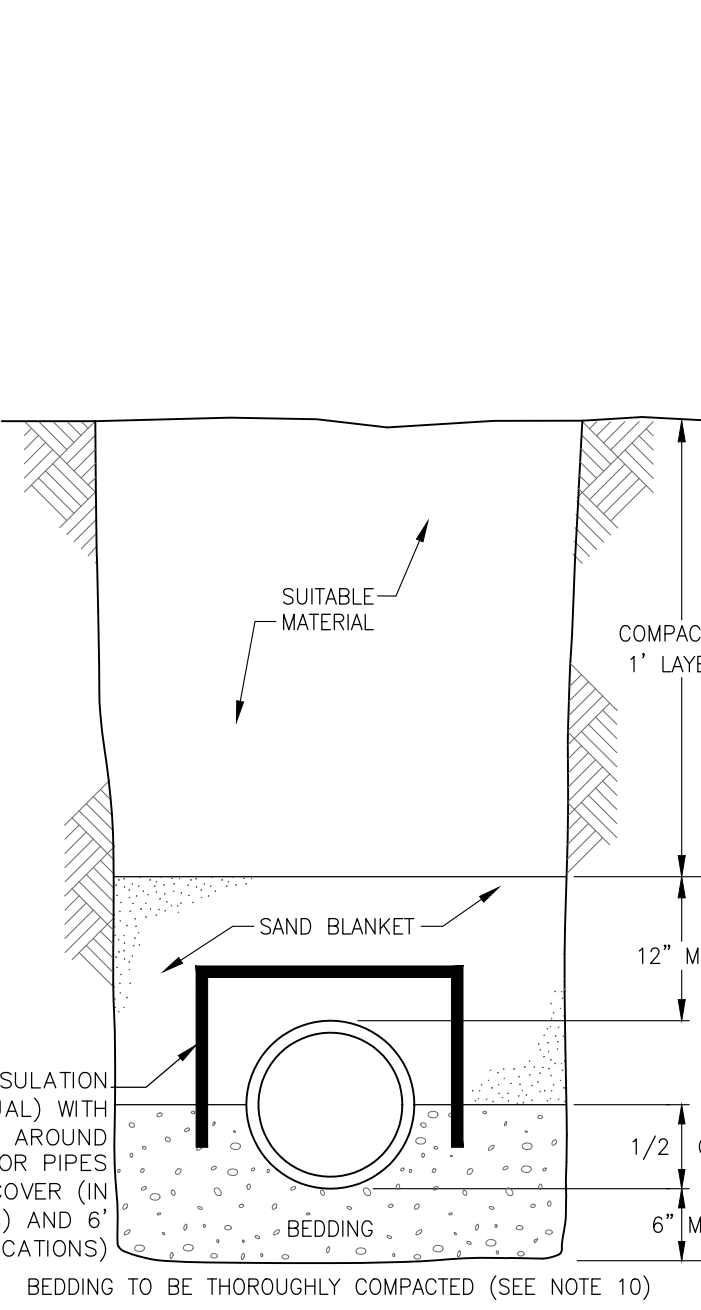
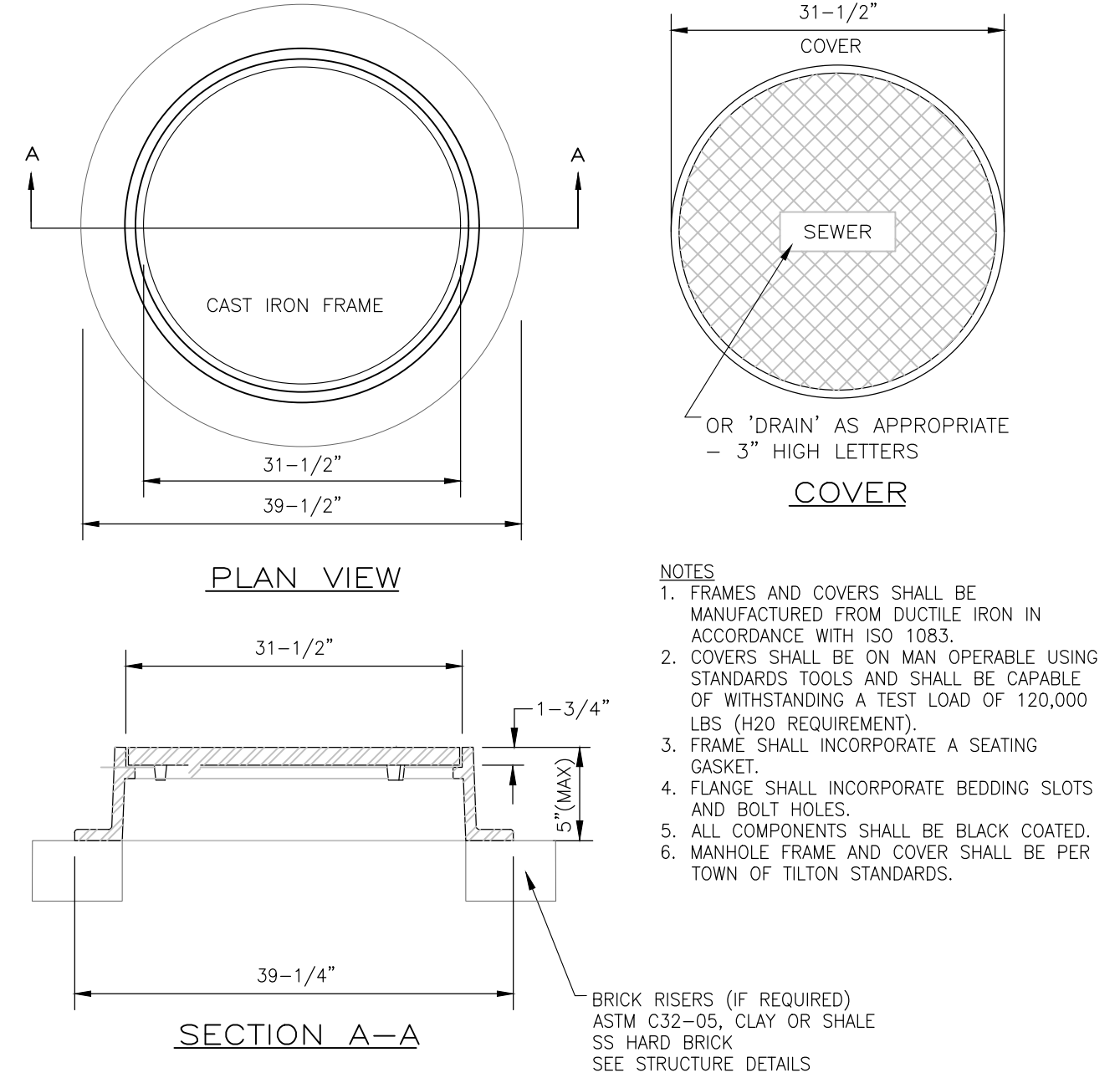
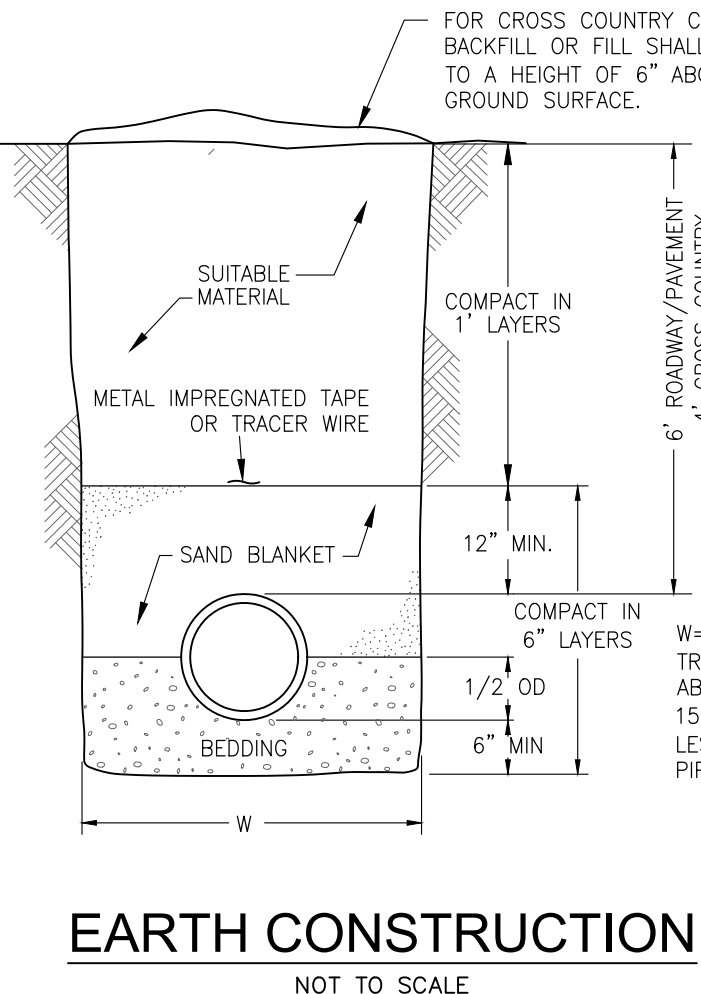
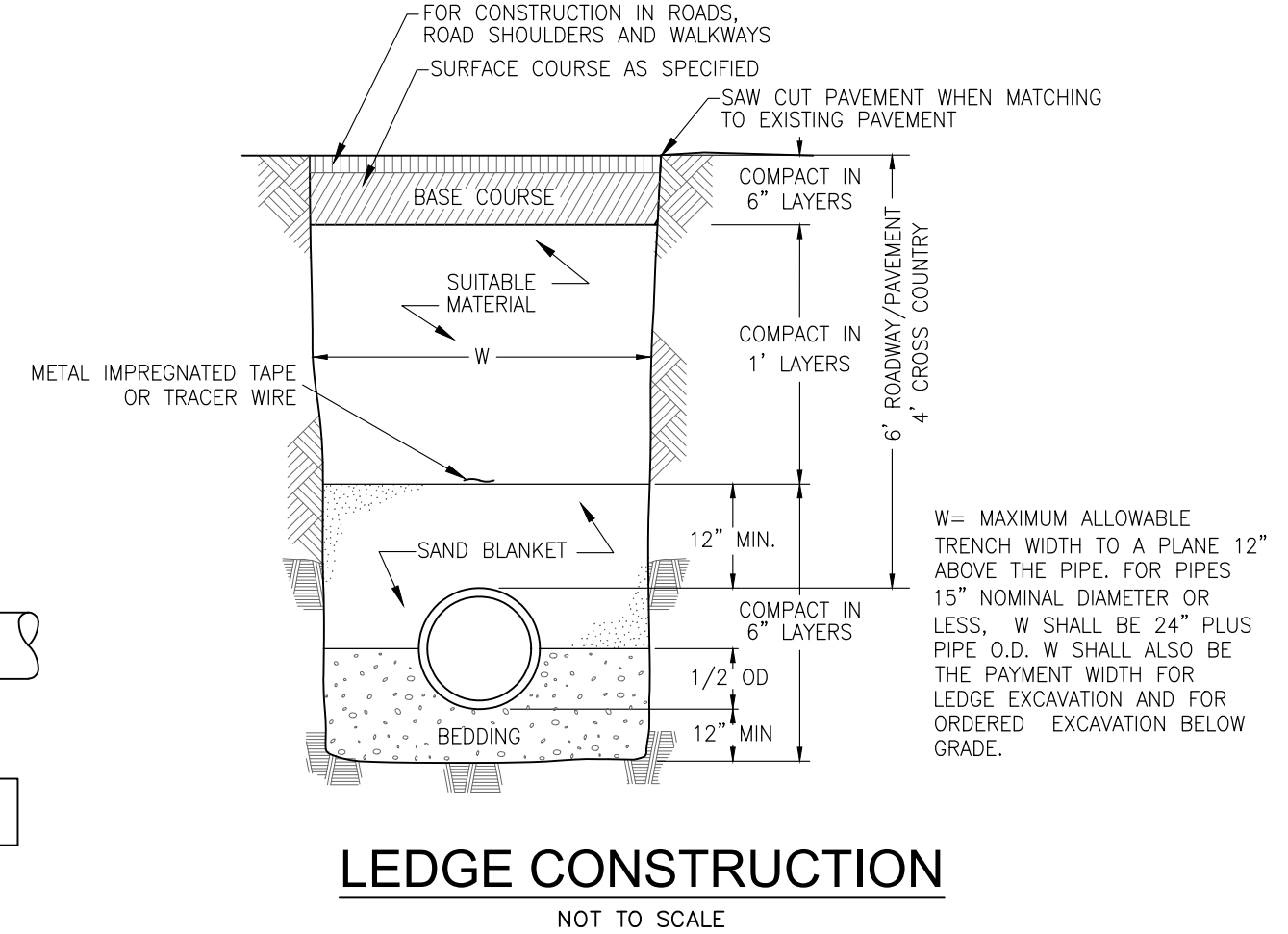
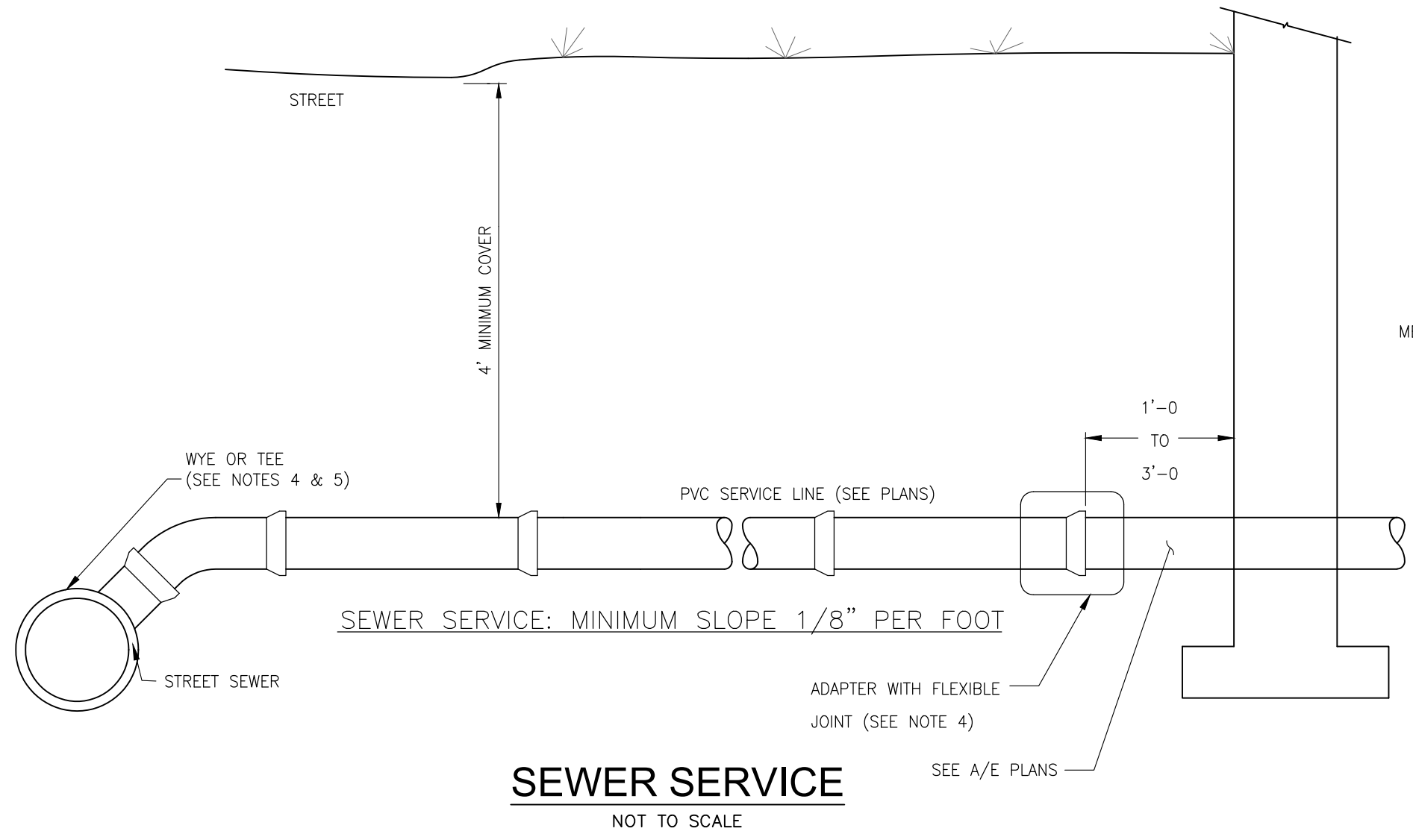
TRENCH BACKFILL MATERIAL IN ROADWAY LOCATIONS SHALL BE NATURAL MATERIALS EXCAVATED FROM THE TRENCH DURING CONSTRUCTION, EXCLUDING DEBRIS, PAVEMENT PIECES, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT, CLAY, EXCAVATED LEDGE, ROCKS OVER 6 INCHES IN THE LARGEST DIMENSION, OR ANY OTHER UNSUITABLE MATERIAL NOT APPROVED BY THE ENGINEER.

TRENCH BACKFILL AT CROSS-COUNTRY LOCATIONS SHALL BE AS DESCRIBED ABOVE EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLE RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED. BACKFILL SHALL BE MOUNDING 6-INCHES ABOVE ORIGINAL GROUND.

BASE COURSE MATERIALS FOR TRENCH REPAIRS SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

WHERE SHEETING IS PLACED ALONG SIDE OF THE PIPE AND EXTENDS BELOW MID-DIAMETER, THE SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE AND AT LEAST 3 FEET BELOW FINISH GRADE.

TRENCHES FOR SEWER PIPES WITH SLOPES OVER 0.08 FEET PER FOOT AND TRENCHES FOR SEWER PIPES BELOW THE SEASONAL HIGH GROUND WATER LEVEL SHALL HAVE IMPERVIOUS TRENCH DRAINING EVERY 300 FEET TO PREVENT POTENTIAL DISTURBANCE TO PIPE BEDDING AND BLANKET MATERIALS.



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REV	DATE	DESCRIPTION	DR	CK
6	4/4/2022	REVISED PER TAC COMMENTS & SEWER COVER	HEG	JCC
5	3/22/2022	REVISED PER TAC COMMENTS	HEG	JCC
4	2/18/2022	REVISED PER NHDES & UTILITIES	HEG	JCC
3	2/15/2022	REVISED PER NHDES & UTILITIES PER TAC	HEG	JCC
2	2/2/2022	REVISED PER NHDES & UPDATE SURVEY/UTILITIES	HEG	JCC
1	11/23/2021	REVISED PER NHDES & PROJECT COORDINATION	HEG	JCC

**SITE DEVELOPMENT PLANS**  
TAX MAP 205 LOT 2  
**DETAILS**  
**LADY ISLE SITE RENOVATIONS**  
325 LITTLE HARBOR ROAD, PORTSMOUTH, NH  
OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

SCALE: NTS SEPTEMBER 29, 2021

Seacoast Division  
**TFM**  
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

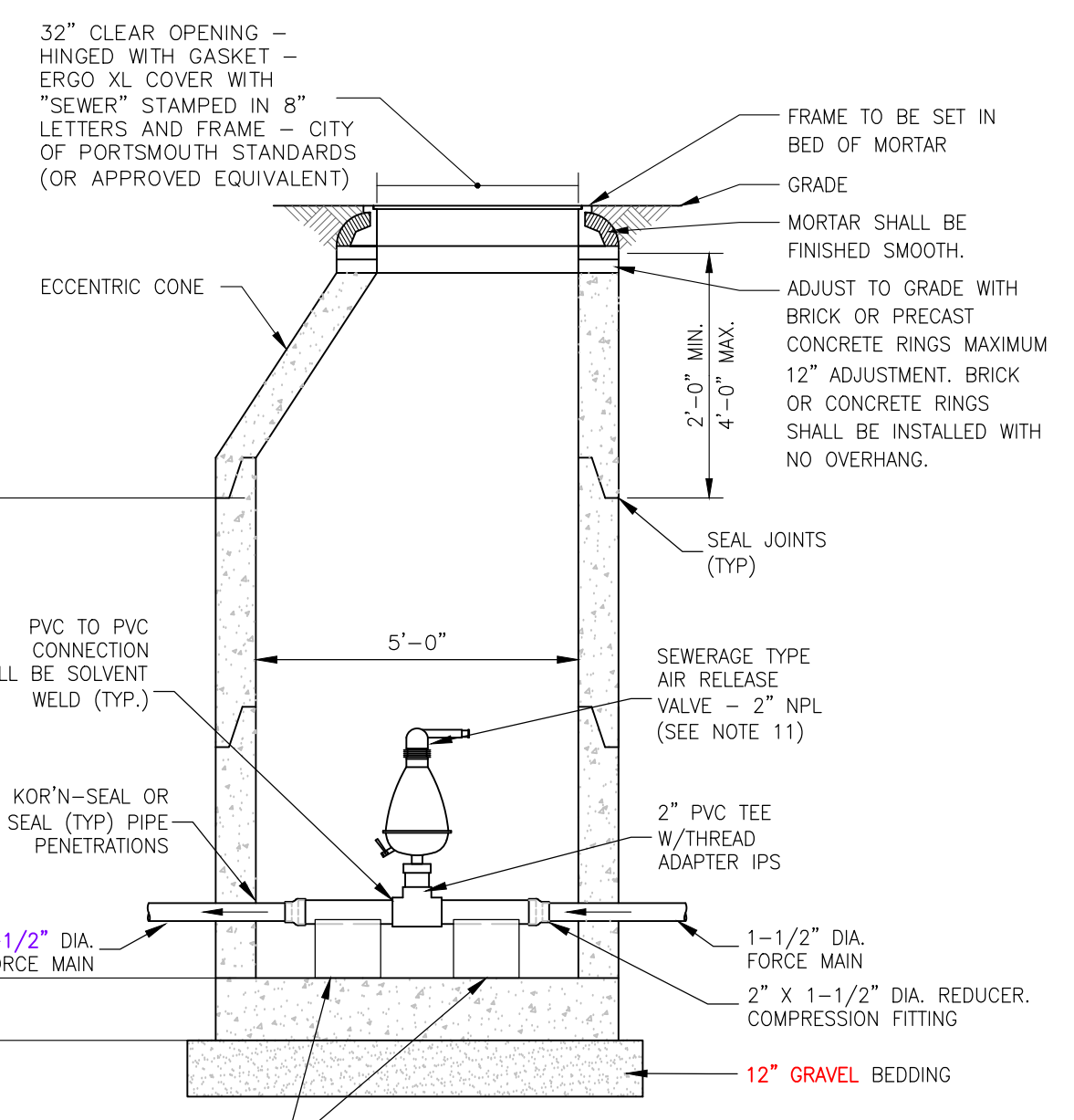
170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
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CK JCC CADFILE 47099-01\_DETAILS\_MAIN C-24

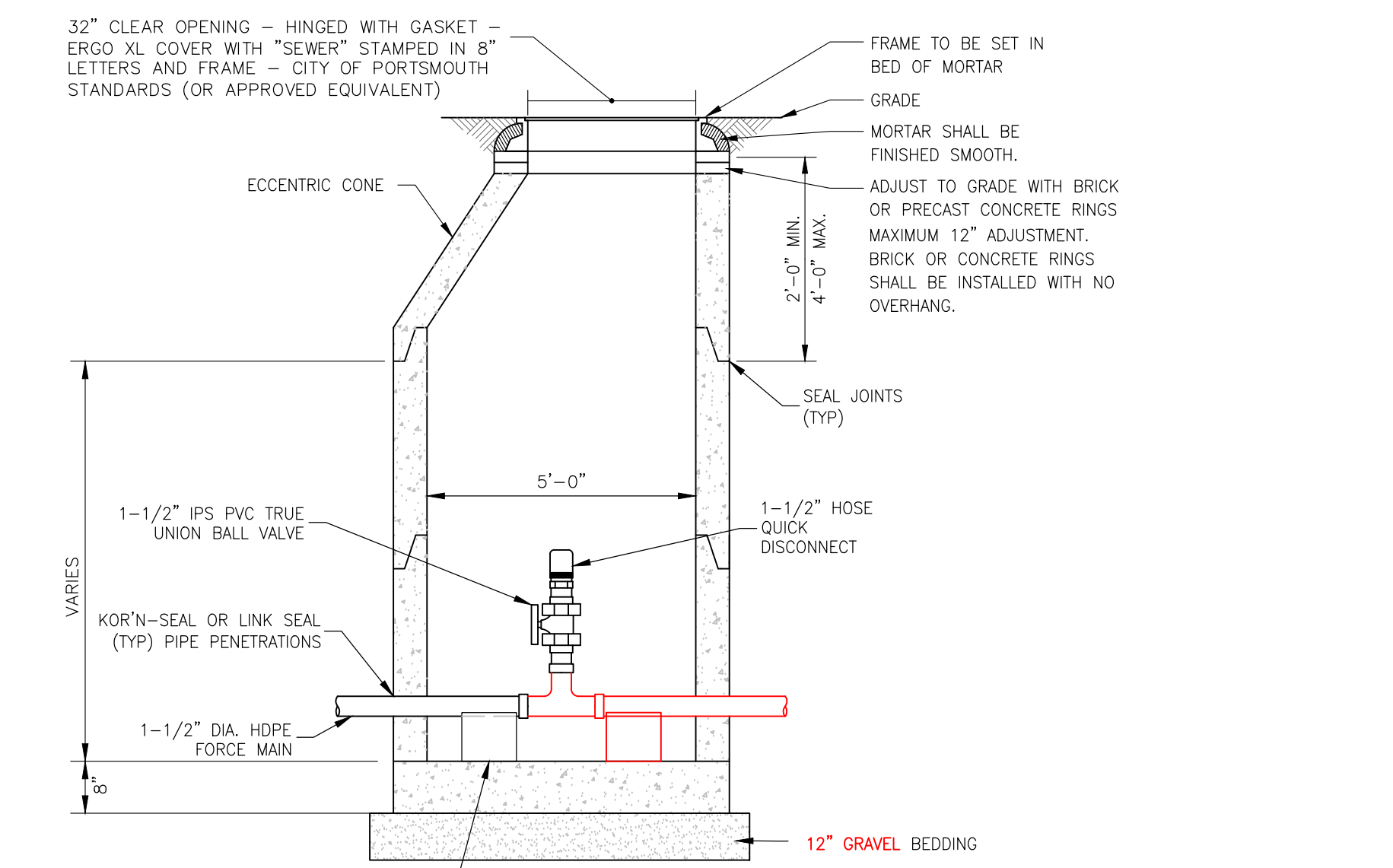
Apr 05, 2022 - 4:23am F:\MISC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099-01 - DiLorenzo - 325 Little Harbor Rd Design\PRODUCTION DRAWINGS\47099-01\_Details\_Main.dwg

**NOTES:**

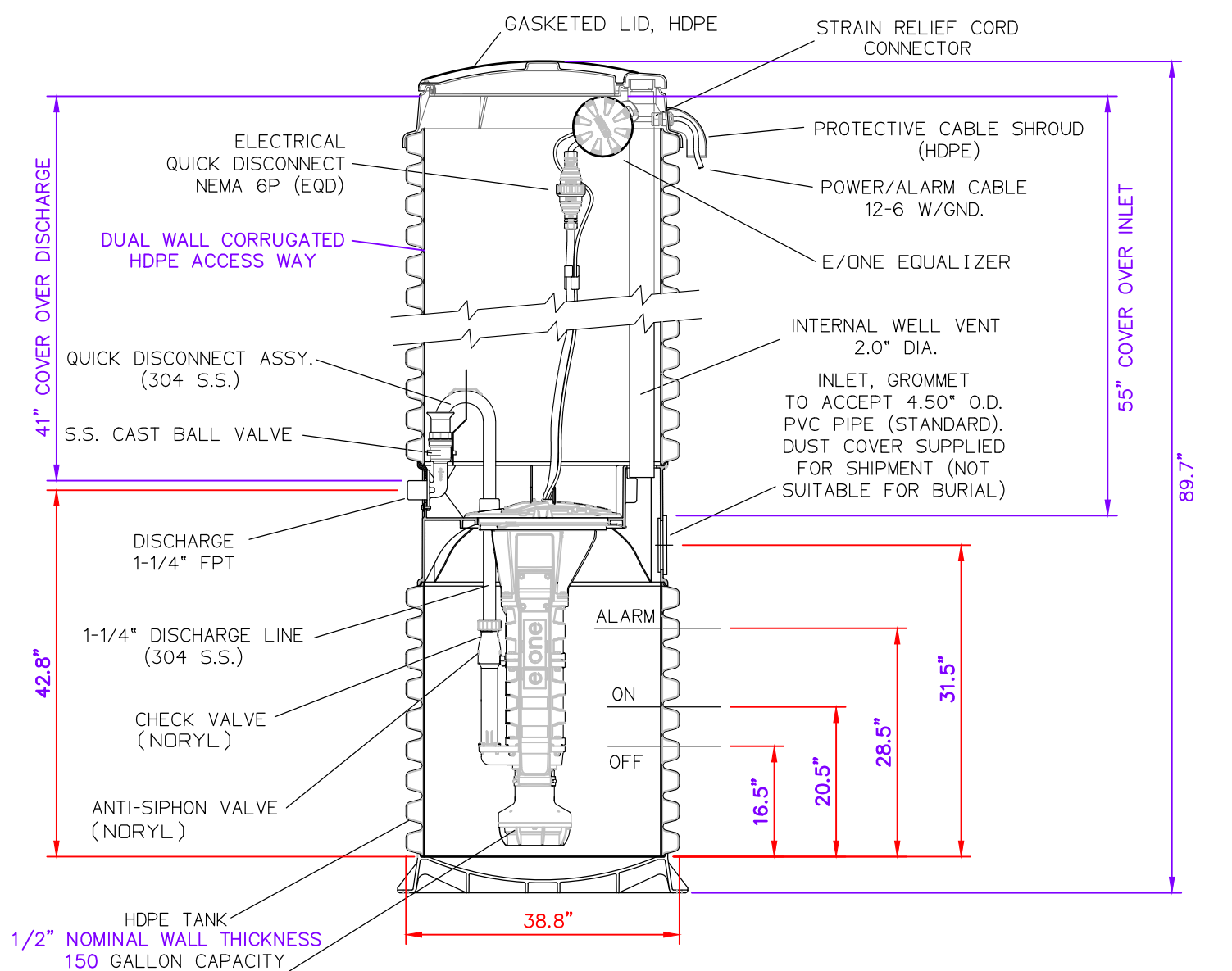
- MANHOLE FRAME & GRATE SHALL BE NEENAH R-3589-A OR APPROVED EQUAL.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
- REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
- ALL CONCRETE SHALL BE NHDOT CLASS A.
- LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ORIENTATION OR SIZE OF PIPES AT THE STRUCTURE.
- "CL" USED AT ALL LOCATIONS WITHOUT CURB AND "C" TO BE USED AT ALL TO NUMBER, SIZE OR ORIENTATION OF PIPES AT THE BASIN.
- ALL CASTINGS SHALL BE MADE IN THE USA.
- ALL PIPE FITTINGS ARE TO BE RESTRAINED JOINT STYLE.
  - HDPE TO BE FUSION, ELECTROFUSION OR MECHANICAL JOINT.
  - PVC WOULD BE SOLVENT GLUE.
  - ALL JOINTS TO BE THREADED AND PRESSURE RATED TO 200 PSI.
- 2" TRUE UNION BALL VALVE TO BE USED IN PLACE OF 2" AIR/VACUUM VALVE FOR CLEANOUT MANHOLE.
- MANHOLE STRUCTURES SHALL MEET THE DESIGN REQUIREMENTS OF ENV-WQ 704.12 THROUGH ENV-WQ 704.17.
- A.R.I. D-025 STAINLESS STEEL AIR RELEASE VALVE OR EQUIVALENT.



**E-ONE AIR VACUUM RELEASE MANHOLE**  
NOT TO SCALE



**E-ONE CLEANOUT & FLUSHING MANHOLE**  
NOT TO SCALE

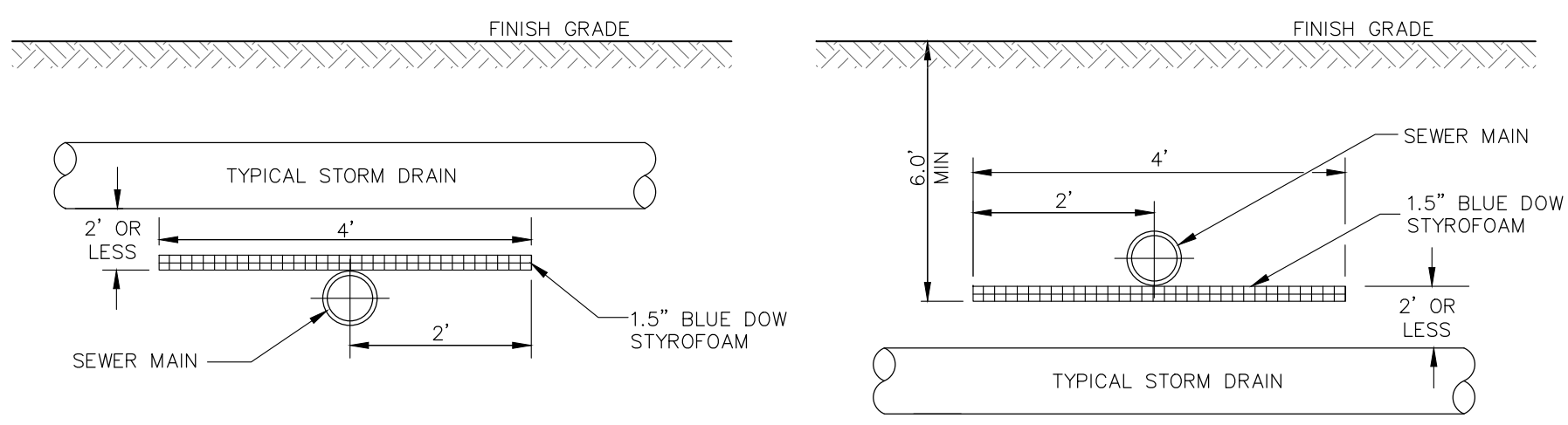


**E-ONE DH152 PUMP**  
NOT TO SCALE

**NOTES:**

- ACTUAL E-ONE PUMP AND SPECIFICATION MUST BE DESIGNED AND PROVIDED BY EONE DESIGNER OR EQUAL.
- THE PUMP CORE CONTAINS BUILT IN CHECK AND ANTI-SIPHON VALVES. IN ADDITION, THERE IS A REDUNDANT UNILATERAL CHECK AND ISOLATION VALVE AT THE LOT LINE WITH THE STAINLESS STEEL ASSEMBLY.
- THE STATION MONITOR CONTAINS A HIGH LEVEL ALARM. THE HIGH LEVEL ALARM IS RUN OFF A REDUNDANT RUN SWITCH THAT OVERRIDES THE RUN SWITCH IF IT SHOULD SEE A POWER FAILURE.
- THE ALARM PANEL HAS THE OPTION TO CONNECT A PORTABLE GENERATOR WITH A 20 AMP, 240 VOLT SUPPLY. POWER TRANSFERS AUTOMATICALLY IF THE PUMP IS CALLING TO RUN.
- THE PUMP RATED TO 700 GPD.
- THE TANK HAS A 150-GAL VOLUME.
- IN CASE OF A POWER FAILURE, A BATTERY BACKUP REMOTE SENTRY ALARM PANEL SHALL BE USED IN CONJUNCTION WITH THE E-ONE PUMP SYSTEM.
- A BACKUP GENERATOR WILL BE PROVIDED THAT SHALL BE AMPLE ENOUGH TO SUPPLY POWER TO RUN THE GRINDER PUMP AND ALARM SYSTEM. THERE SHALL BE ENOUGH FUEL ON SITE TO RUN THE GENERATOR FOR A MINIMUM OF 6 HRS.
- SEWER PUMP ASSEMBLY AND TANK SHOULD BE PROTECTED WITHIN A SEWER MANHOLE IN PAVED AREAS.

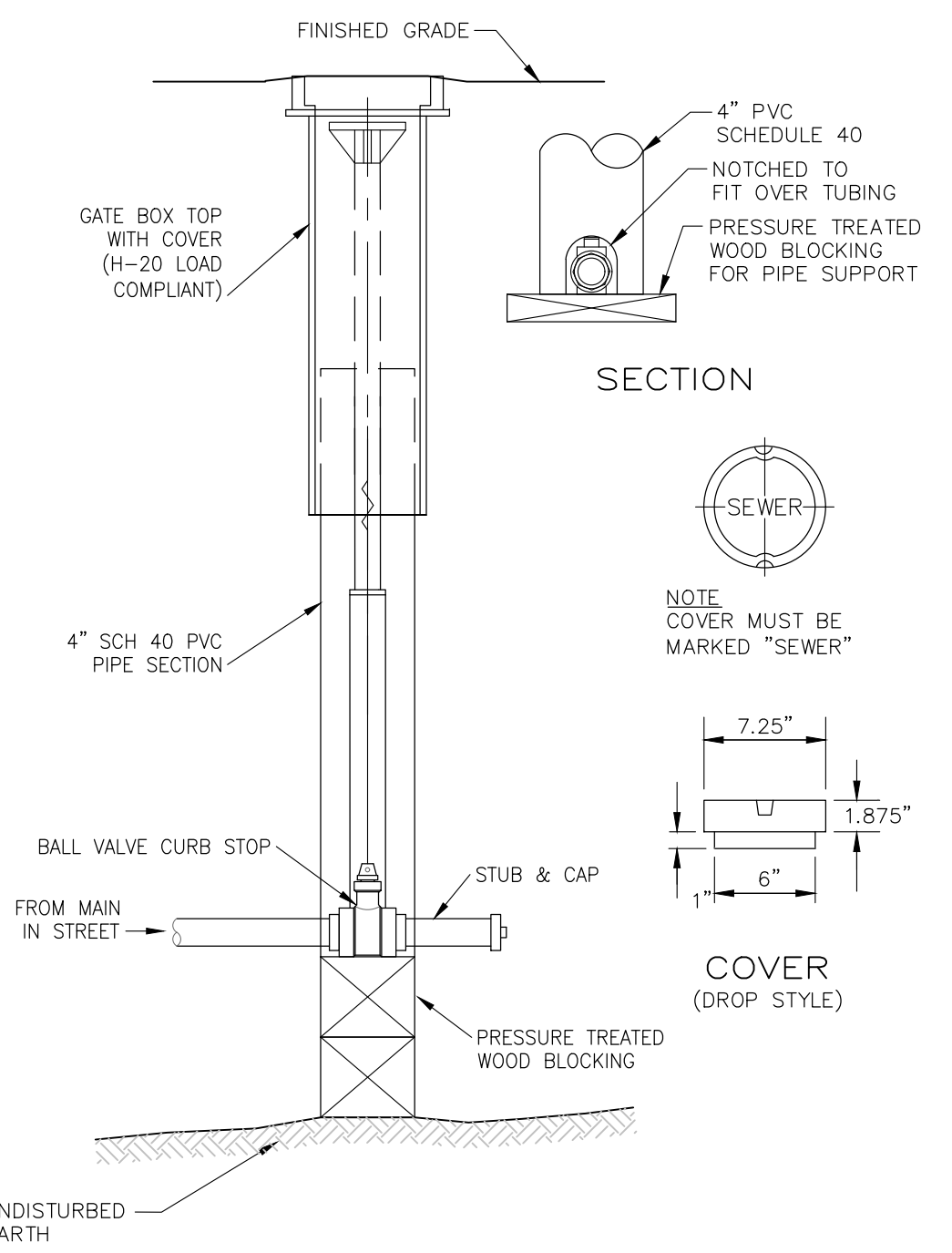
**E-ONE DH152 PUMP**  
NOT TO SCALE



**NOTES:**

- THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
- ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.

**INSULATION AT STORM DRAIN AND SEWER MAIN INTERSECTING RUNS**  
NOT TO SCALE



**FORCE MAIN CURB STOP**  
NOT TO SCALE

**NOTES:**

- MANHOLE FRAME & GRATE SHALL BE NEENAH R-3589-A OR APPROVED EQUAL.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
- REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
- ALL CONCRETE SHALL BE NHDOT CLASS A.
- LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ORIENTATION OR SIZE OF PIPES AT THE STRUCTURE.
- "CL" USED AT ALL LOCATIONS WITHOUT CURB AND "C" TO BE USED AT ALL TO NUMBER, SIZE OR ORIENTATION OF PIPES AT THE BASIN.
- ALL CASTINGS SHALL BE MADE IN THE USA.
- INSTALL PIPE SUPPORTS ON THE SWEEP ELBOW.
- ALL PIPE FITTINGS ARE TO BE RESTRAINED JOINT STYLE.
  - HDPE TO BE FUSION, ELECTROFUSION OR MECHANICAL JOINT.
  - PVC WOULD BE SOLVENT GLUE.
  - ALL JOINTS TO BE THREADED AND PRESSURE RATED TO 200 PSI.
- MANHOLE STRUCTURES SHALL MEET THE DESIGN REQUIREMENTS OF ENV-WQ 704.12 THROUGH ENV-WQ 704.17.
- A.R.I. D-025 STAINLESS STEEL AIR RELEASE VALVE OR EQUIVALENT.



**PRESSURE SEWER TESTING NOTES**

- PIPE AND JOINT MATERIALS:
  - PRESSURE SEWERS SHALL BE CONSTRUCTED OF DUCTILE IRON (DI), HIGH DENSITY POLYETHYLENE (HDPE), OR PVC MATERIAL.
  - PRESSURE SEWERS SHALL BE TREATED AS GRAVITY SEWERS FOR PURPOSES OF FOUNDATION BEDDING AND BACKFILL REQUIREMENTS.
  - PVC PIPE USED FOR PRESSURE SEWERS SHALL BE CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM D2241 OR ASTM D1785 STANDARDS IN EFFECT WHEN THE PIPE IS MANUFACTURED.
  - HDPE PIPE USED FOR PRESSURE SEWERS SHALL BE CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM D3035 STANDARD IN EFFECT WHEN THE PIPE IS MANUFACTURED.
  - IF DI PIPE IS USED IN AN ENVIRONMENT THAT COULD CAUSE CORROSION OR OTHER DETERIORATION OF OR DAMAGE TO AN IRON PIPE, OR OTHERWISE REDUCE THE TYPICAL LIFE EXPECTANCY OF THE PIPE, SUCH AS MAY OCCUR WITH CERTAIN SOIL TYPES, LOW PH LEVELS, OR WATER CONDITIONS, THE PIPE SHALL BE PROTECTED AGAINST CORROSION, SUCH AS WITH CATHODIC PROTECTION.
- TESTING: THE COMPLETED SEWER SERVICE SHALL BE SUBJECTED TO A THIRD PARTY LEAKAGE TEST ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING) PRESSURE SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 5 OF THE AWWA C600. INSTALLATION OF CAST IRON WATER MAINS AND THEIR APPURTENANCES STANDARD IN EFFECT WHEN THE TEST IS CONDUCTED AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.
- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 6 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 11. BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.
- PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
- THE CENTERLINE OF ALL BUILDING CONNECTIONS SHALL ENTER THE TOP HALF OF THE SEWER.
- ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
- PRESSURE SEWERAGE SHALL HAVE AN ISOLATION VALVE OR CURB STOP VALVE INSTALLED AT THE PROPERTY LINE / LIMITED COMMON AREA. IF A CHECK VALVE IS USED AT THE PROPERTY LINE, THE VALVE SHALL BE INSTALLED WITHIN A VAULT TO FACILITATE MAINTENANCE.
- WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33/C33M STONE SIZE 67 AND FREE FROM CLAY, LOAM AND ORGANIC MATTER. THE EXCAVATION SHALL BE PROPERLY DEWATERED WHILE PLACING BEDDING MATERIAL AND SETTING OF THE BASE OR POURING CONCRETE.
 

100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%-55% PASSING	3/8 INCH SCREEN
0%-10% PASSING	#4 SIEVE
0%-5% PASSING	#8 SIEVE
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.
- LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS.
- INTERNAL STEPS IN MANHOLES ARE PROHIBITED PER PORTSMOUTH DPW STANDARDS.

**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2  
**DETAILS**  
**LADY ISLE SITE RENOVATIONS**  
325 LITTLE HARBOR ROAD, PORTSMOUTH, NH  
OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**



SCALE: NTS

SEPTEMBER 29, 2021



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

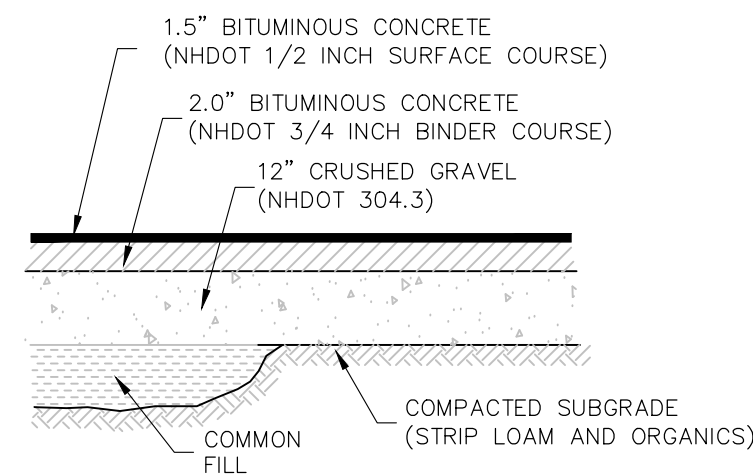
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6	4/4/2022	REVISED PER TAC COMMENTS & SEWER COVER	HEG	JCC
5	3/22/2022	REVISED PER TAC COMMENTS	HEG	JCC
4	2/18/2022	REVISED PER NHDES & UTILITIES	HEG	JCC
3	2/15/2022	REVISED PER NHDES & UTILITIES PER TAC	HEG	JCC
2	2/2/2022	REVISED PER NHDES & UPDATE SURVEY/UTILITIES	HEG	JCC
1	11/23/2021	REVISED PER NHDES & PROJECT COORDINATION	HEG	JCC

47099.01	DR	HEG	FB	-
	CK	JCC	CADFILE	47099-01_DETAILS_MAIN

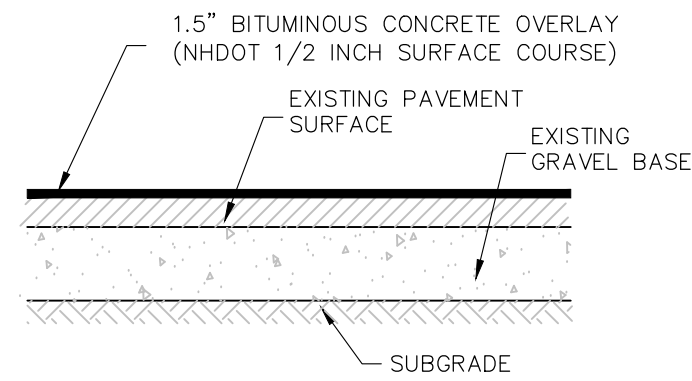
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Apr 05, 2022 - 4:29am F:\MISC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099-01 - Details\_Main.dwg

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**STANDARD DUTY PAVEMENT**



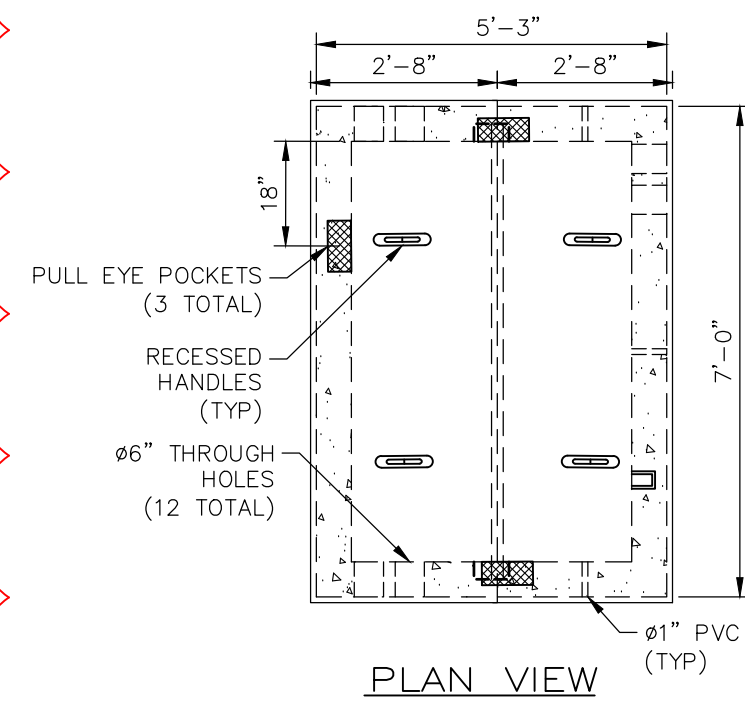
**OVERLAY**

**NOTES**

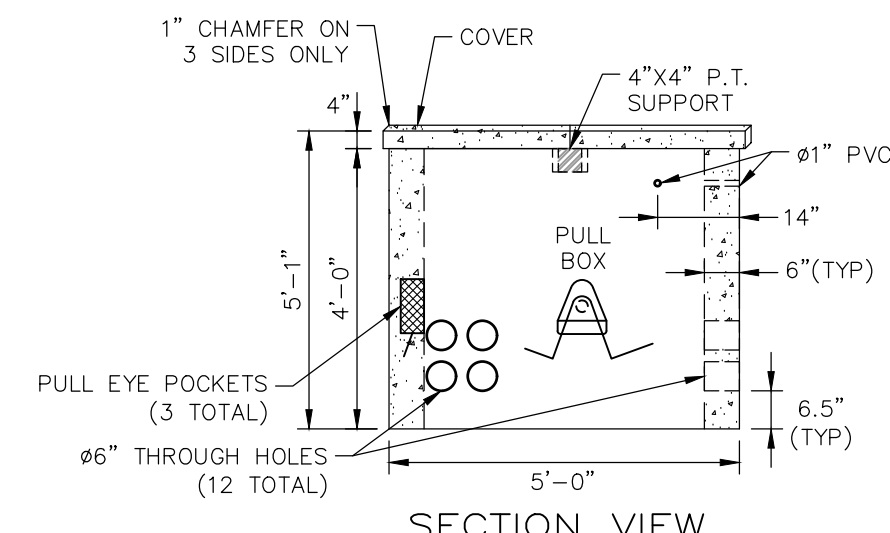
1. SEE GRADING & DRAINAGE PLAN & DRIVEWAY GRADING & PROFILE FOR PAVEMENT SLOPE AND CROSS-SLOPE.
2. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT - USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
3. REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
4. BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
5. BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041 OR AASHTO T209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
6. PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
7. PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY.
8. THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.

**PAVEMENT SECTIONS**

NOT TO SCALE



**PLAN VIEW**



**SECTION VIEW**

ESTIMATED VAULT WEIGHTS:  
 COVER (EACH) = 675 LBS  
 BASE = 6,500 LBS  
 TOTAL = 7,850 LBS

**NOTES:**

1. ELECTRIC PULLBOX SHALL BE PER THE STANDARDS OF EVERSOURCE.
2. REINFORCEMENT STEEL CONFORMS TO: ASTM A615 GRADE 60
3. CONCRETE: FC = 5,000 PSI @ 28 DAYS MINIMUM
4. DESIGN LOADING: AASHTO-HS20-44
5. BUTYL RUBBER JOINT SEALANT PROVIDED

**ELECTRIC PULL BOX**

NOT TO SCALE

Apr 05, 2022 - 4:29am F:\MSC Projects\47099 - Little Harbor Rd & Gosport Rd - Portsmouth\47099-01 - DiLorenzo - 325 Little Harbor Rd\Design\PRODUCTION DRAWINGS\47099-01\_Details\_Main.dwg

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**SITE DEVELOPMENT PLANS**

TAX MAP 205 LOT 2

**DETAILS**

**LADY ISLE SITE RENOVATIONS**  
**325 LITTLE HARBOR ROAD, PORTSMOUTH, NH**  
 OWNED BY & PREPARED FOR  
**ADL 325 LITTLE HARBOR ROAD TRUST**

SCALE: NTS

SEPTEMBER 29, 2021

REV	DATE	DESCRIPTION	DR	CK
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2	2/2/2022	REVISED PER NHDES & UPDATE SURVEY/UTILITIES	HEG	JCC
1	11/23/2021	REVISED PER NHDES & PROJECT COORDINATION	HEG	JCC

Seacoast Division

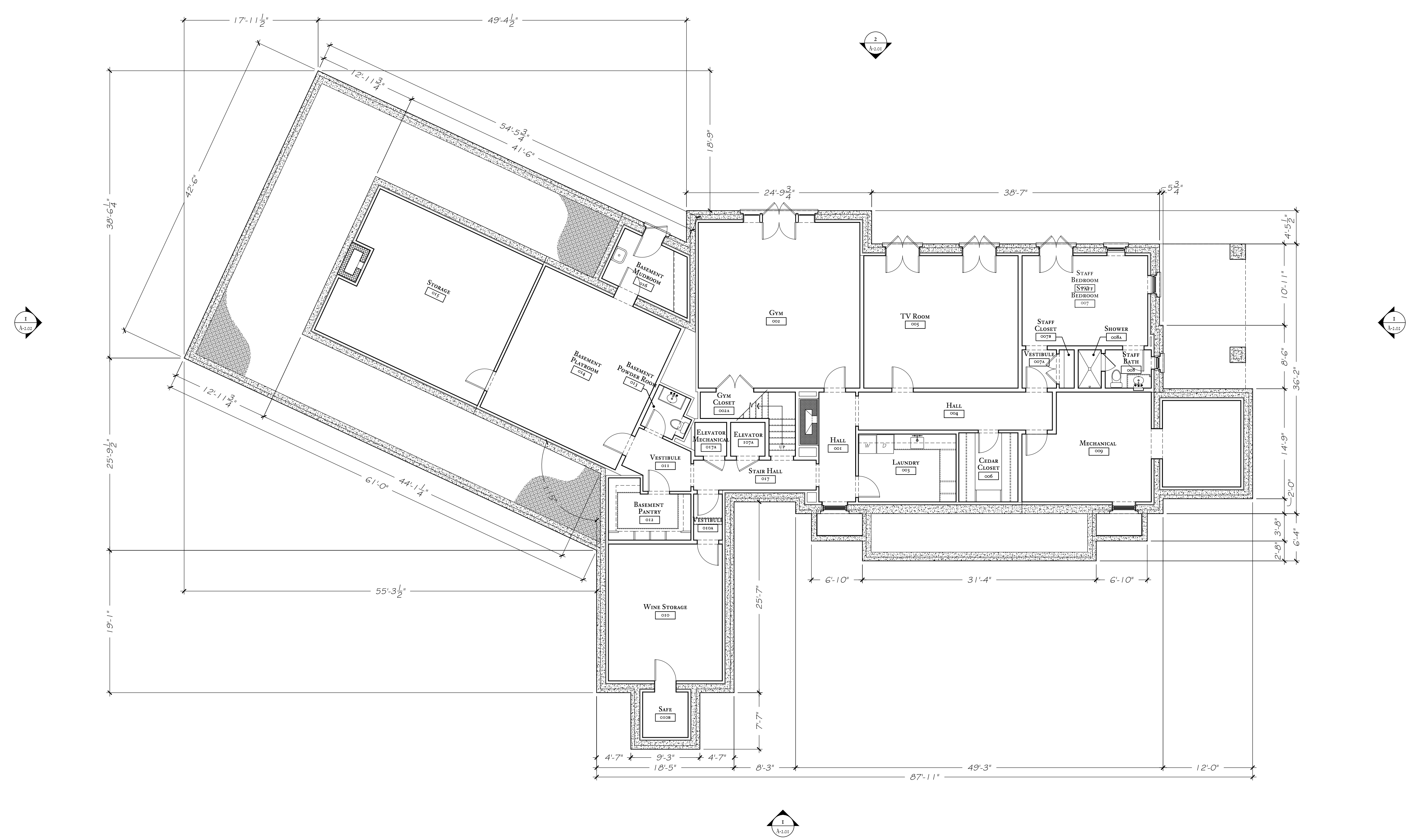
Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
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 Phone (603) 431-2222  
 Fax (603) 431-0910  
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47099.01 DR HEG FB  
 CK JCC CADFILE 47099-01\_DETAILS\_MAIN C-26

GROSS FLOOR AREA AT MAIN HOUSE		
	CONDITIONED SQ.FT.	UNCONDITIONED SQ.FT.
BASEMENT	3,382 SQ.FT.	1,050 SQ.FT.
FIRST FLOOR	3,897 SQ.FT.	1,496 SQ.FT.
SECOND FLOOR	3,487 SQ.FT.	--
TOTAL	10,766 SQ.FT.	2,546 SQ.FT.
		13,312 SQ.FT.

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NOT FOR CONSTRUCTION



**1**  
A-1.00  
BASEMENT FLOOR PLAN - OVERALL  
SCALE: 1/8" = 1'-0"

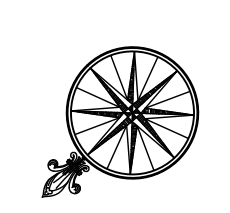
ISSUED FOR PERMIT 6/24/21

A NEW RESIDENCE & GARAGE  
at  
**LADY ISLE**  
PORTSMOUTH, NEW HAMPSHIRE

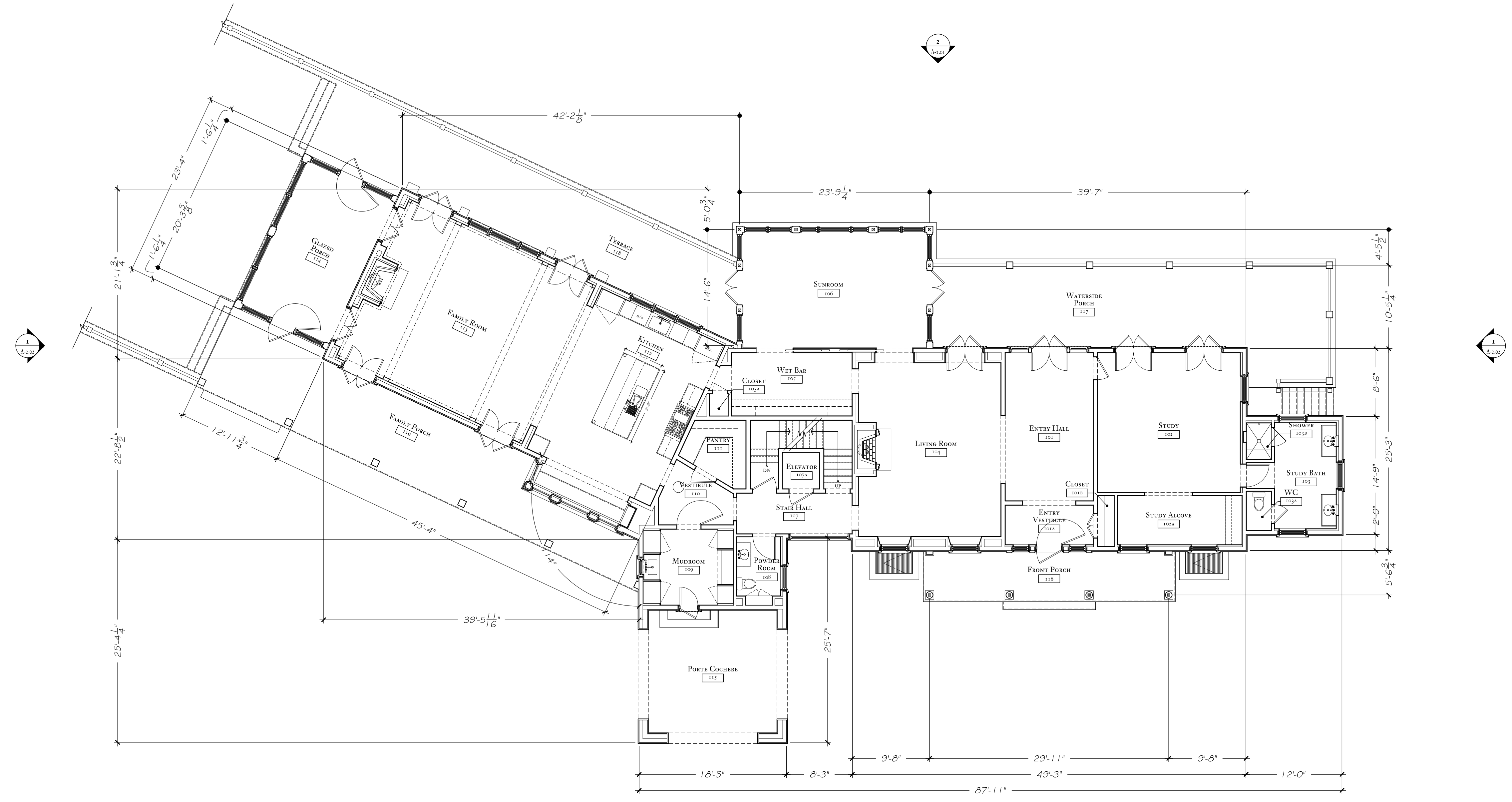
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Overall Plan*

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SCALE: <i>1/8" = 1'-0"</i>	
DRAWN BY: <i>PM / AB</i>	

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GROSS FLOOR AREA AT MAIN HOUSE		
	CONDITIONED SQ.FT.	UNCONDITIONED SQ.FT.
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A NEW RESIDENCE & GARAGE  
at  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
*First Floor  
Overall Plan*

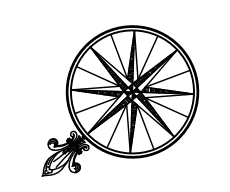
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SHEET NUMBER:  
MH  
A-1.01

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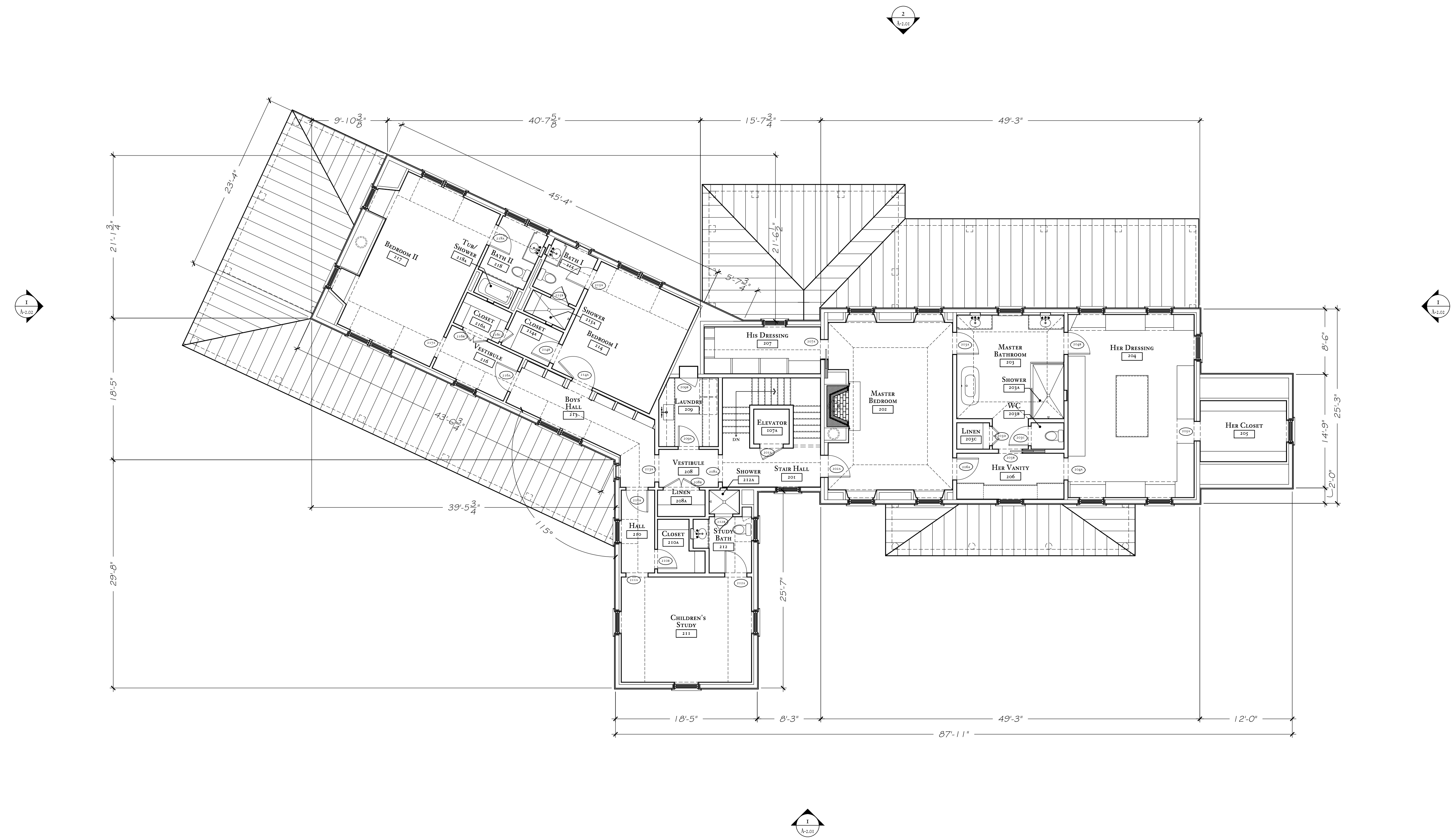
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1 FIRST FLOOR PLAN - OVERALL  
A-1.01 SCALE: 1/8" = 1'-0"



GROSS FLOOR AREA AT MAIN HOUSE		
	CONDITIONED SQ.FT.	UNCONDITIONED SQ.FT.
BASEMENT	3,382 SQ.FT.	1,050 SQ.FT.
FIRST FLOOR	3,897 SQ.FT.	1,496 SQ.FT.
SECOND FLOOR	3,487 SQ.FT.	--
TOTAL	10,766 SQ.FT.	2,546 SQ.FT.
		13,312 SQ.FT.

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**I**  
A-1.02  
SECOND FLOOR PLAN - OVERALL  
SCALE: 1/8" = 1'-0"

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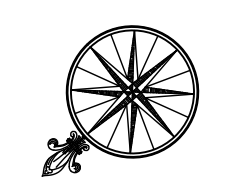
A NEW RESIDENCE & GARAGE  
at  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
Second Floor  
Overall Plan

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SCALE: 1/8" = 1'-0"  
DRAWN BY: PM / AB

SHEET NUMBER:  
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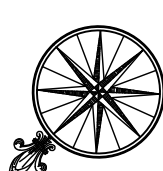
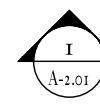
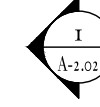
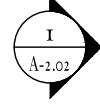
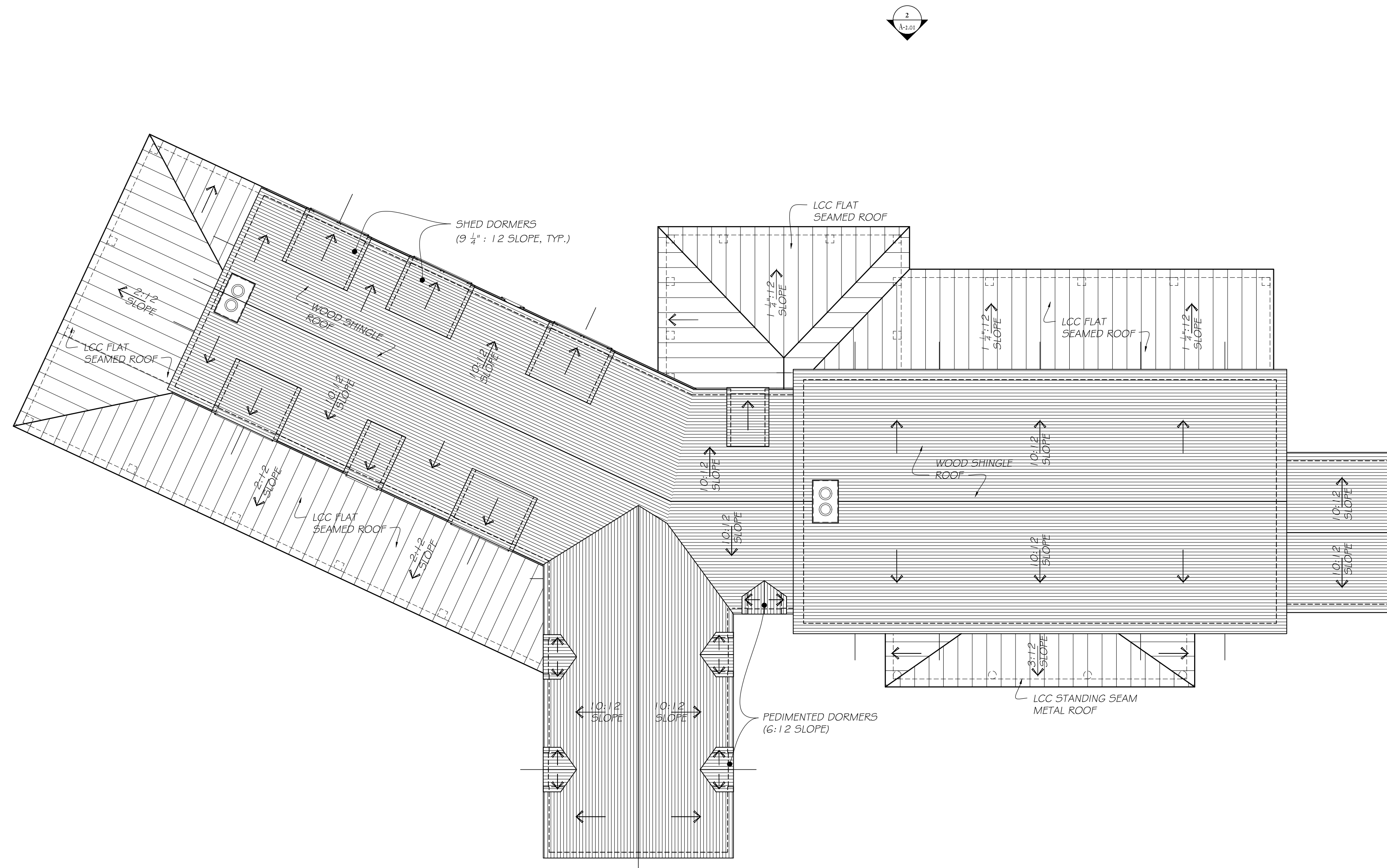
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**1**  
A-1.03  
ROOF PLAN - OVERALL  
SCALE: 1/8" = 1'-0"

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at  
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PORTSMOUTH, NEW HAMPSHIRE

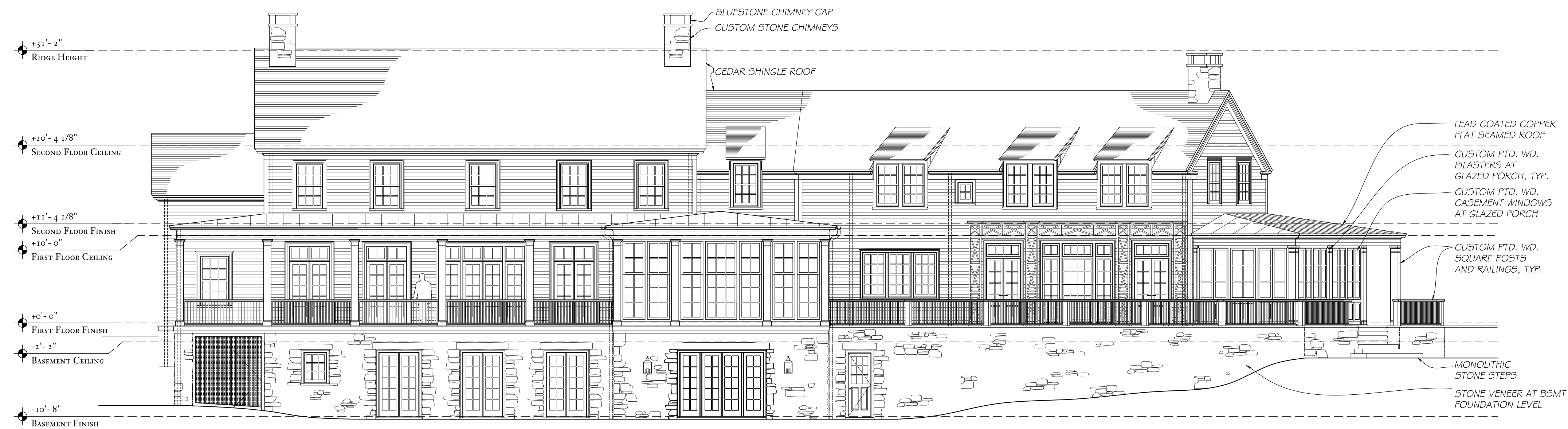
SHEET TITLE:  
Roof  
Overall Plan

DATE: June 24, 2021	SHEET NUMBER: MH
SCALE: 1/8" = 1'-0"	A-1.03
DRAWN BY: PM / AB	

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2 OVERALL EAST ELEVATION  
A-2.01 SCALE: 1/8" = 1'-0"



1 OVERALL WEST ELEVATION  
A-2.01 SCALE: 1/8" = 1'-0"

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A NEW RESIDENCE & GARAGE  
at  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
Exterior Elevations  
Overall

DATE: June 24, 2021

SHEET NUMBER:

MH  
A-2.01

SCALE: 1/8" = 1'-0"

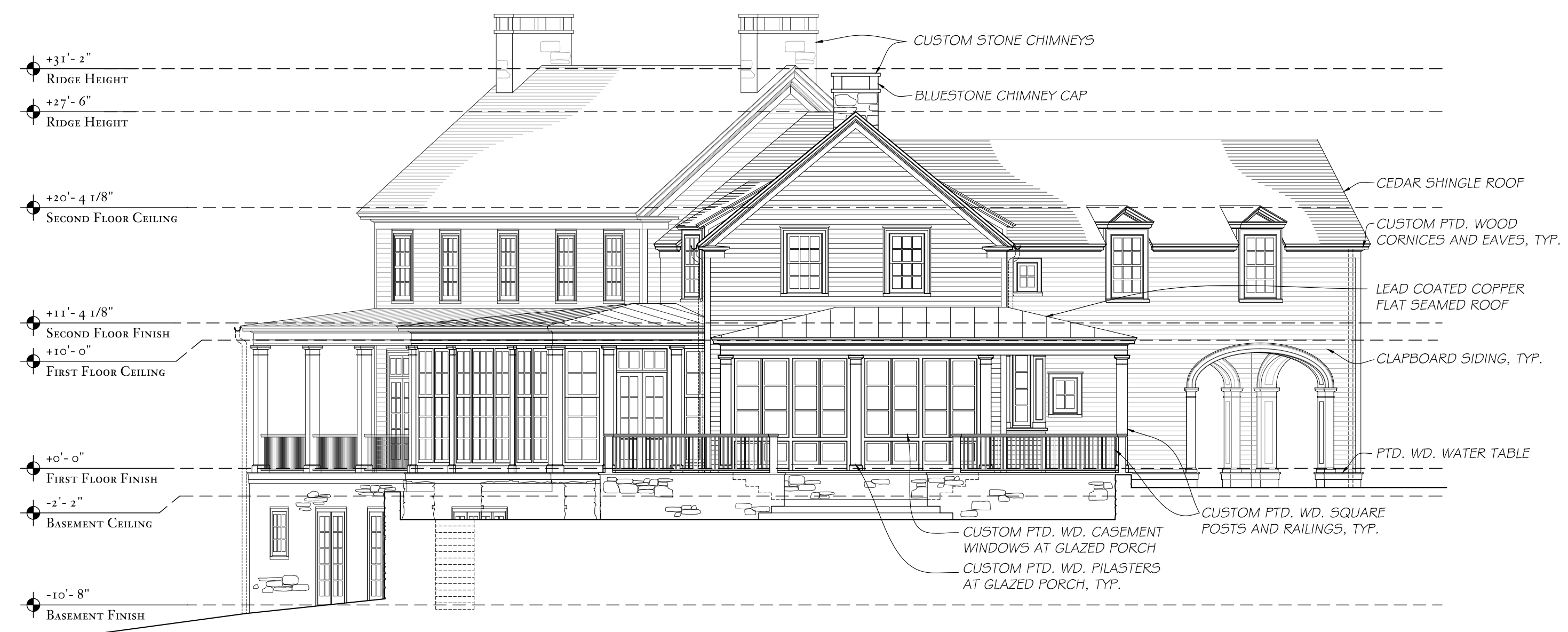
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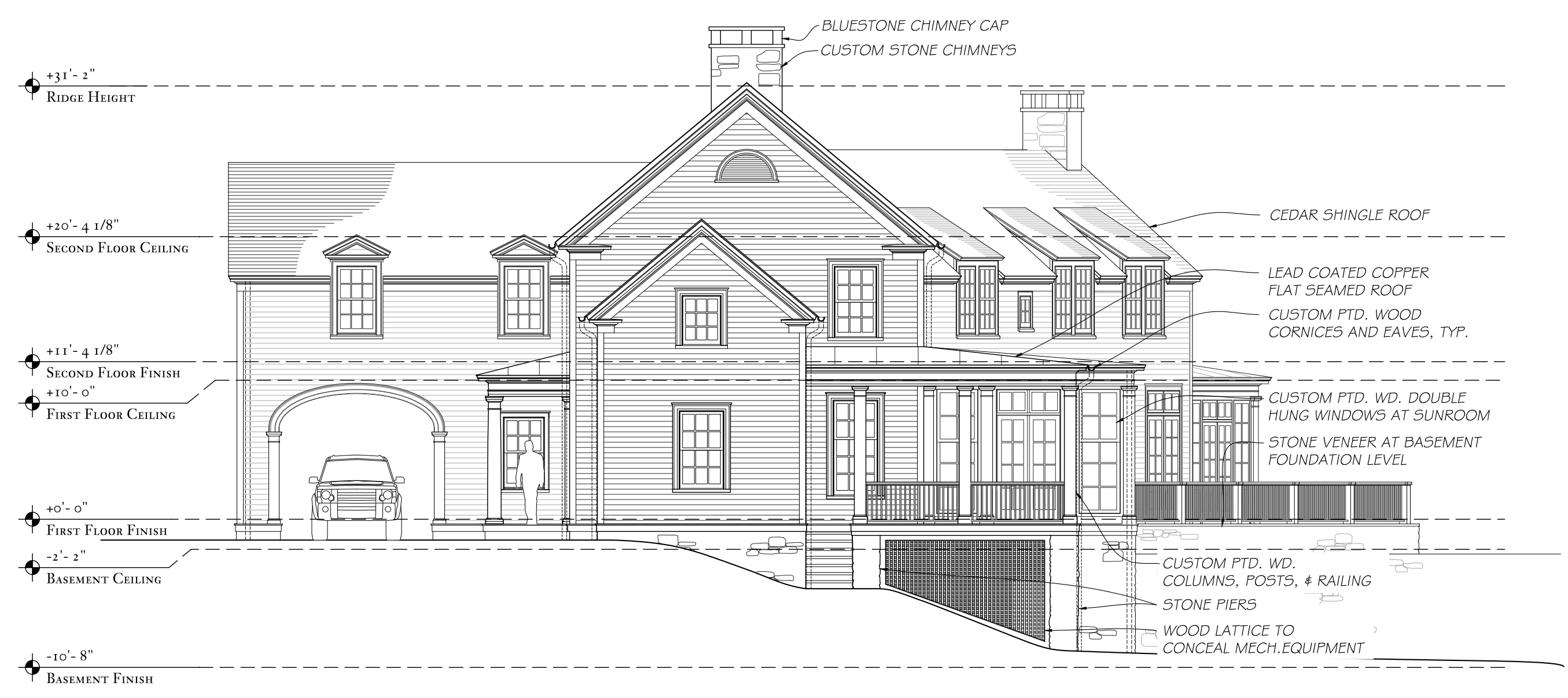
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2 OVERALL NORTH ELEVATION  
A-2.02 Scale: 1/8" = 1'-0"



1 OVERALL SOUTH ELEVATION  
A-2.02 Scale: 1/8" = 1'-0"

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A NEW RESIDENCE & GARAGE  
at  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
Exterior Elevations  
Overall

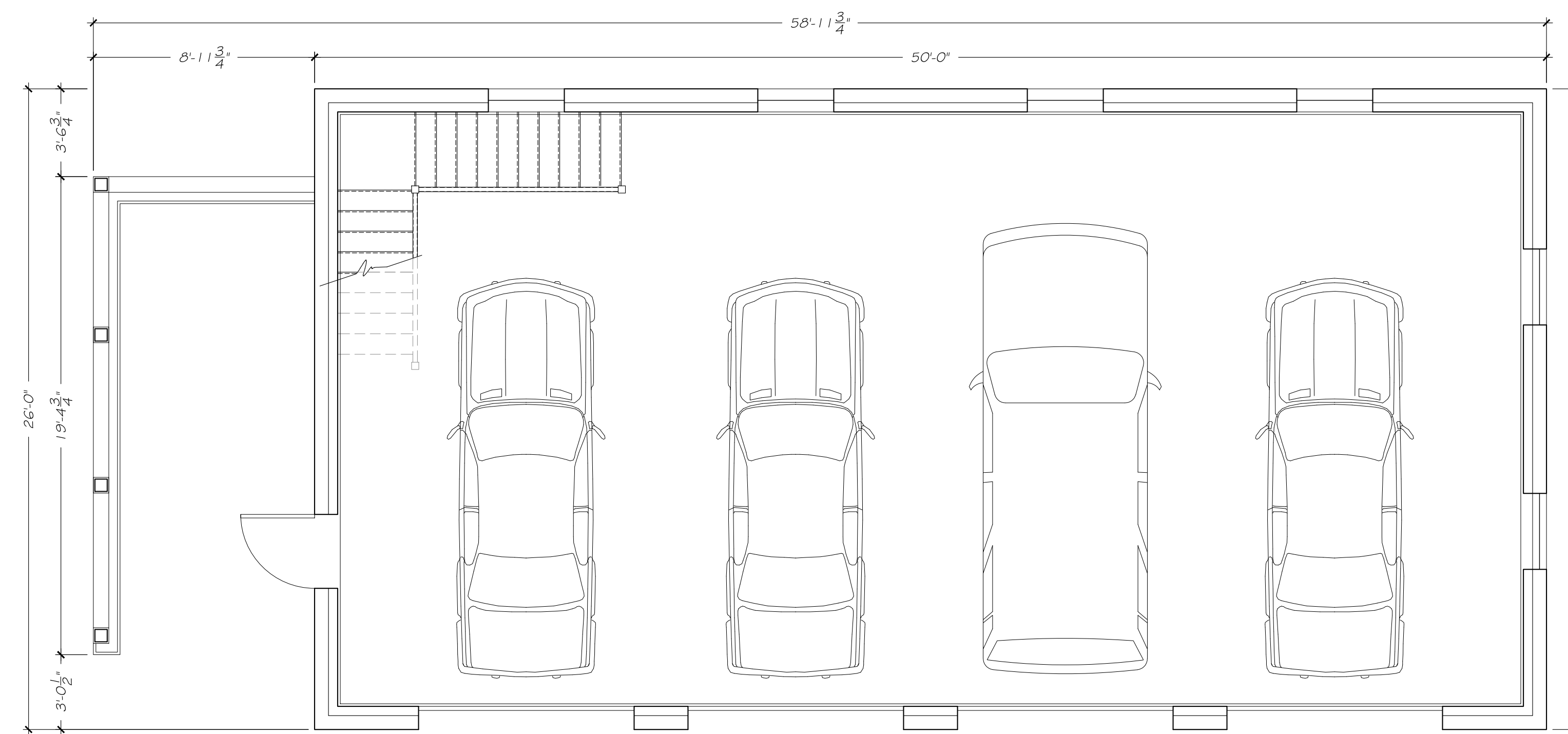
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SHEET NUMBER:  
MH  
A-2.02

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**I**  
FIRST FLOOR PLAN  
A-1.01 SCALE: 1/4" = 1'-0"

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**A NEW RESIDENCE & GARAGE  
at  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE**

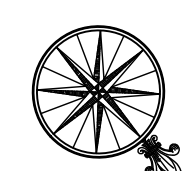
SHEET TITLE :

*First Floor Plan*

DATE : <i>June 24, 2021</i>	SHEET NUMBER : <b>GAR A-1.01</b>
SCALE : <i>1/4" = 1'-0"</i>	
DRAWN BY : <i>PM</i>	

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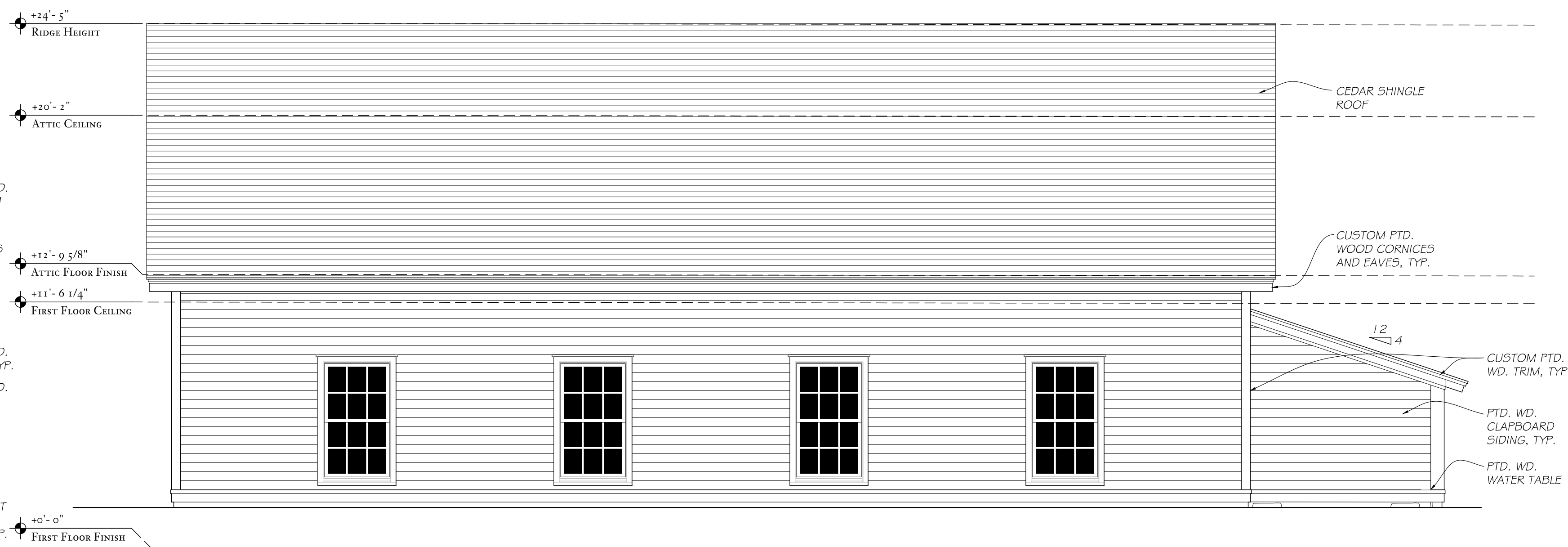


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4 EAST ELEVATION  
A-2.01 SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION  
A-2.01 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
A-2.01 SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION  
A-2.01 SCALE: 1/4" = 1'-0"

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A NEW RESIDENCE & GARAGE  
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PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
Exterior  
Elevations

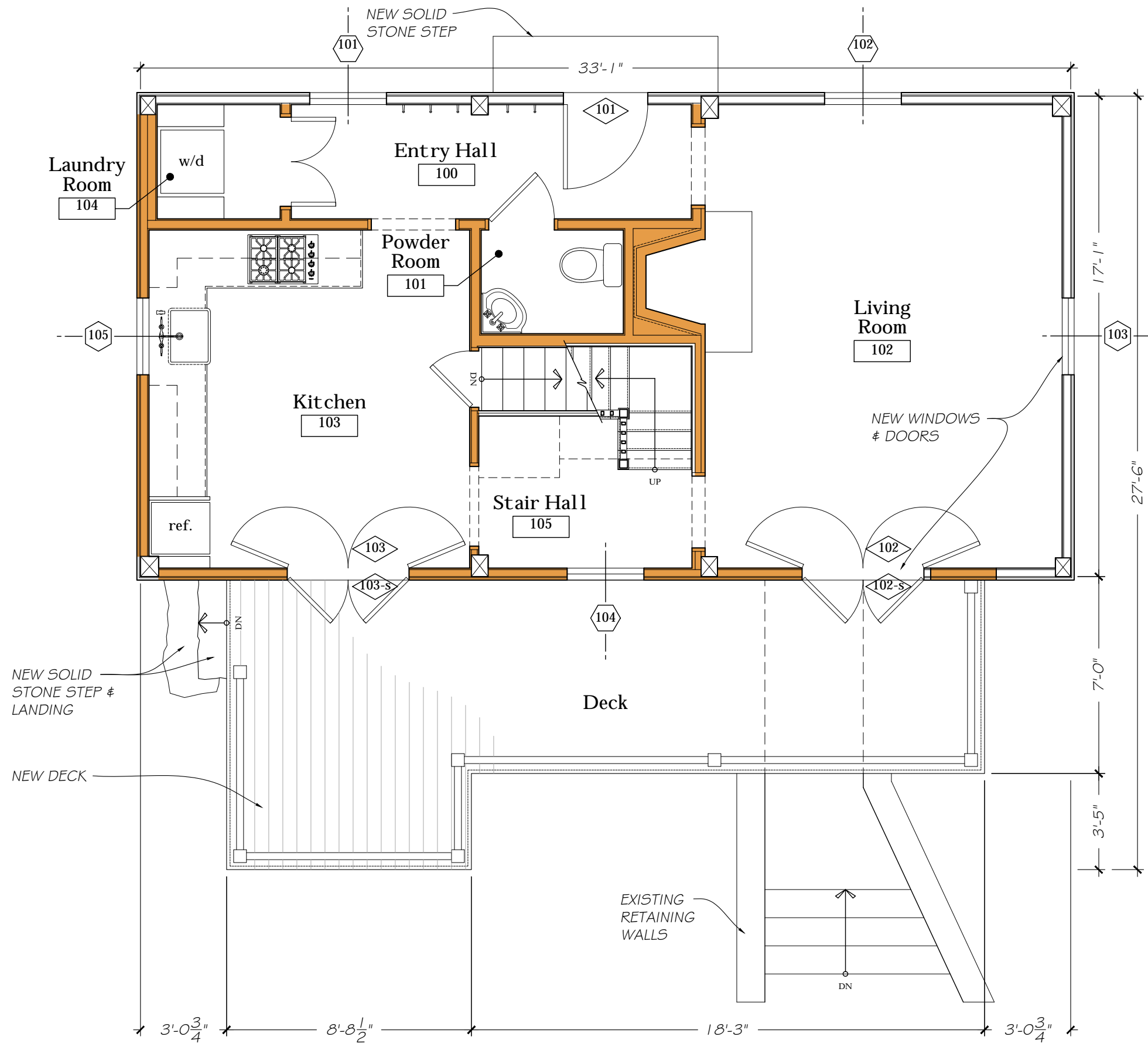
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SHEET NUMBER:  
GAR  
A-2.01

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PROPOSED PLAN GRAPHIC LEGEND:  
 NEW CONSTRUCTION

GENERAL NOTE FOR REVISION 1:  
 WINDOW AND DOOR NUMBER TAGS  
 HAVE BEEN ADDED TO REFERENCE  
 WITH SCHEDULES IN A-6 SERIES  
 AND A-7 SERIES

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002	REVISION 1	1	06/12/2020
001	ISSUED FOR BUILDING PERMIT		05/14/2020

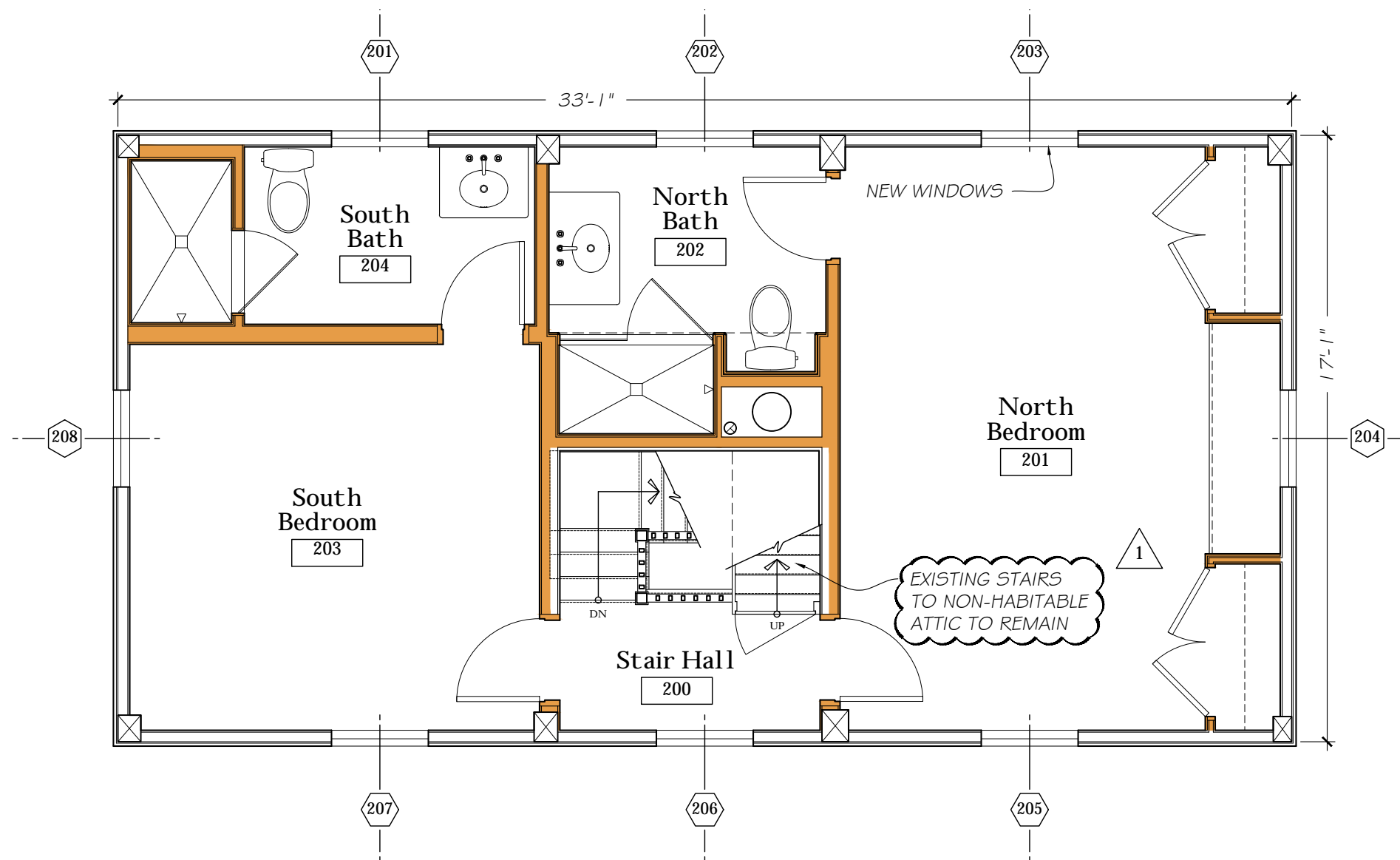
A RENOVATED GUEST COTTAGE  
 for  
**LADY ISLE**  
 PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
*Proposed  
 First Floor Plan*

DATE: June 12, 2020	SHEET NUMBER: <b>A-1.01</b>
SCALE: 1/4" = 1'-0"	
DRAWN BY: PM	

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1 First Floor Plan - Proposed  
 A-1.01 Scale: 1/4" = 1'-0"



PROPOSED PLAN GRAPHIC LEGEND:



GENERAL NOTE FOR REVISION 1:

WINDOW AND DOOR NUMBER TAGS HAVE BEEN ADDED TO REFERENCE WITH SCHEDULES IN A-6 SERIES AND A-7 SERIES

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001	ISSUED FOR BUILDING PERMIT		05/14/2020

A RENOVATED GUEST COTTAGE  
for  
**LADY ISLE**  
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
*Proposed  
Second Floor Plan*

DATE:  
*June 12, 2020*

SCALE:  
*1/4" = 1'-0"*

DRAWN BY:  
*PM*

SHEET NUMBER:  
**A-1.02**

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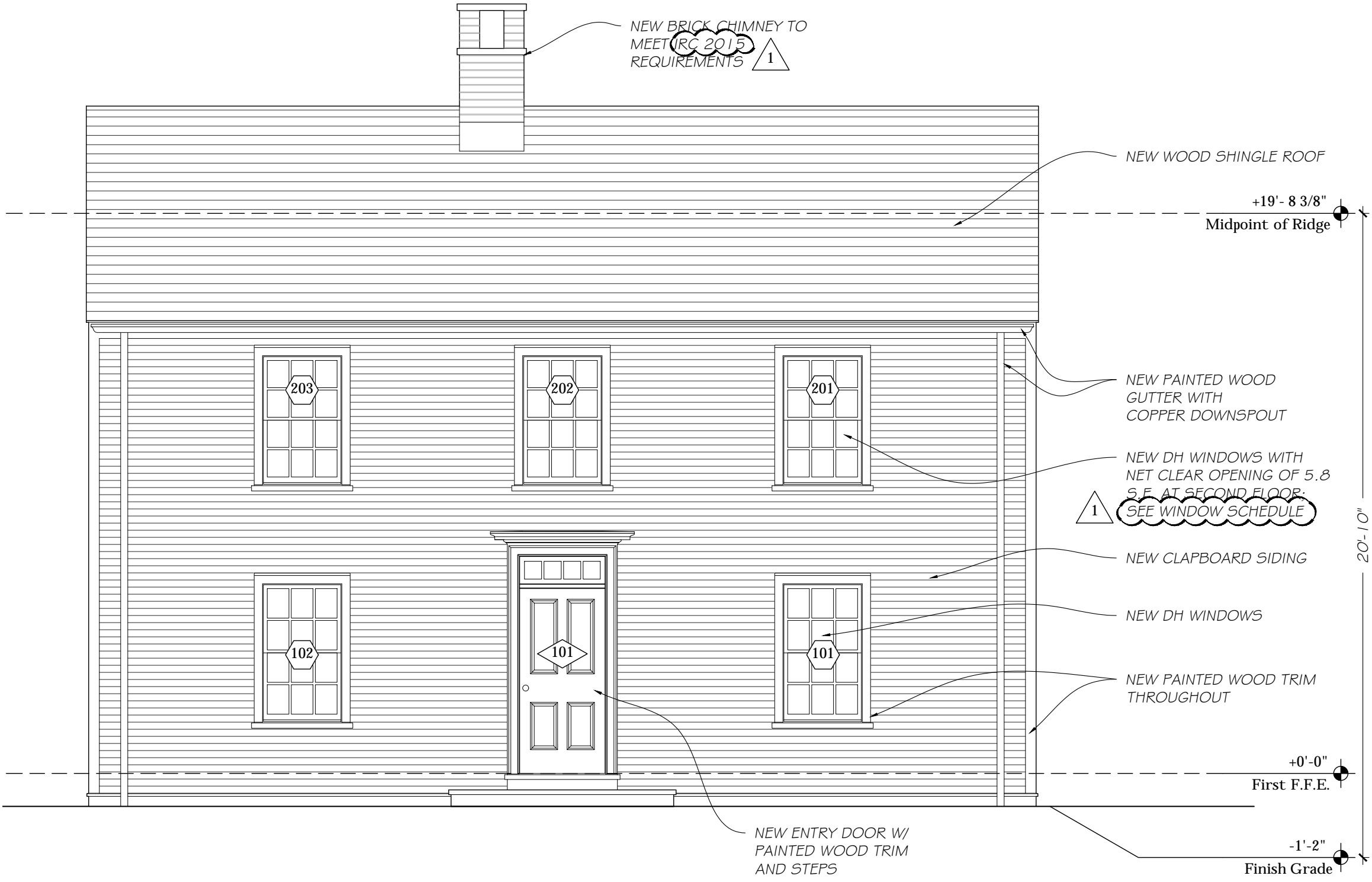
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1  
A-1.02  
Second Floor Plan - Proposed  
Scale: 1/4" = 1'-0"



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 WITH SCHEDULES IN A-6 SERIES  
 AND A-7 SERIES



1

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A RENOVATED GUEST COTTAGE  
 for  
**LADY ISLE**  
 PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
*Exterior Elevations*

DATE: <i>June 12, 2020</i>	SHEET NUMBER: <b>A-2.01</b>
SCALE: <i>1/4" = 1'-0"</i>	
DRAWN BY: <i>TG</i>	

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1  
 D-2.01 West Elevation (Proposed)  
 Scale: 1/4" = 1'-0"



GENERAL NOTE FOR REVISION 1:  
 WINDOW AND DOOR NUMBER TAGS  
 HAVE BEEN ADDED TO REFERENCE  
 WITH SCHEDULES IN A-6 SERIES  
 AND A-7 SERIES

1

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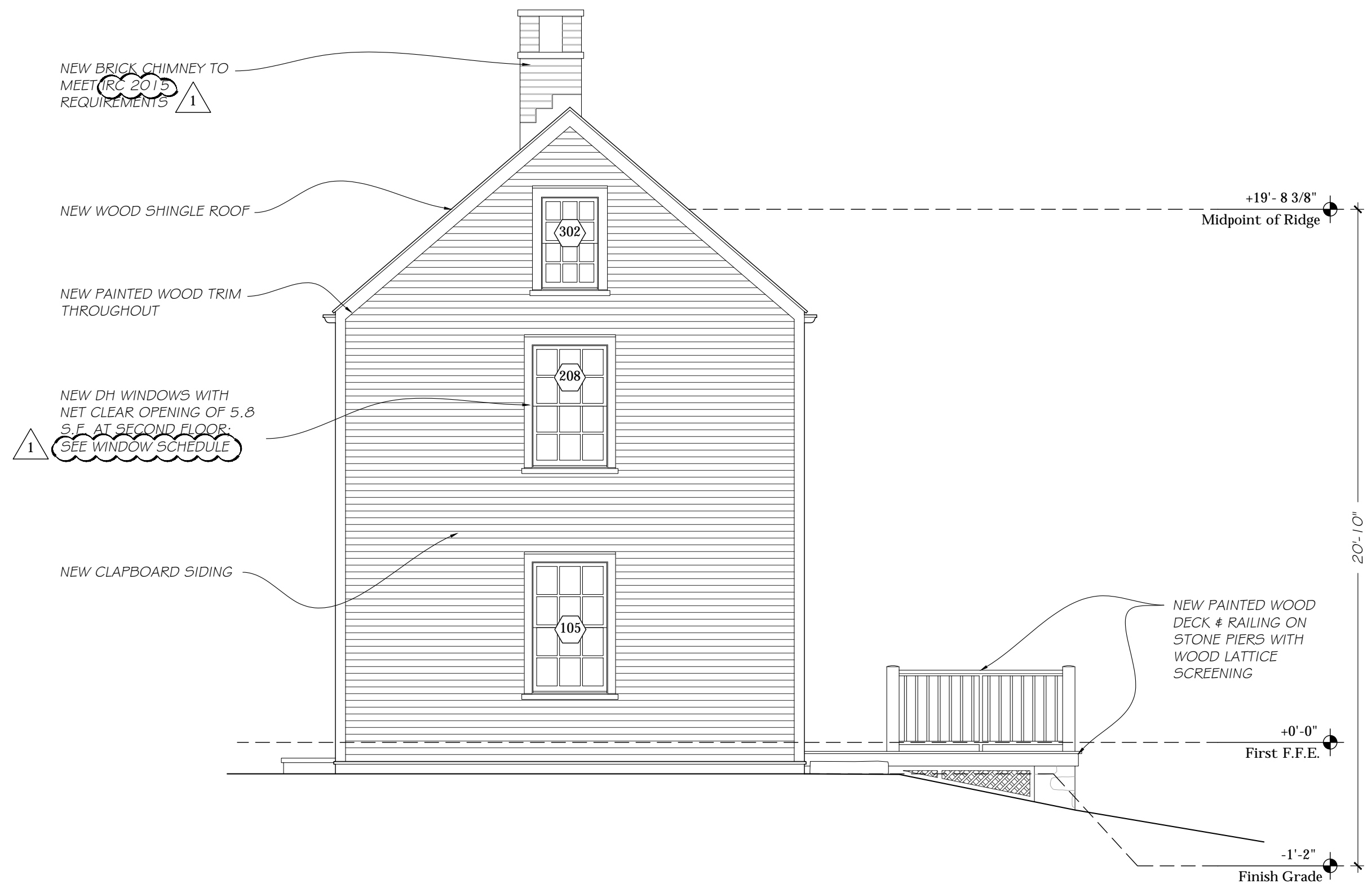
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001	ISSUED FOR BUILDING PERMIT		05/14/2020

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*Exterior Elevations*

DATE: <i>June 12, 2020</i>	SHEET NUMBER: <b>A-2.02</b>
SCALE: <i>1/4" = 1'-0"</i>	
DRAWN BY: <i>TG</i>	

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 4TH FLOOR  
 NEW YORK, NEW YORK 10003  
 TELEPHONE: 212-965-1355  
 TELEFAX: 212-965-1356  
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1  
 A-2.02  
**South Elevation (Proposed)**  
 Scale: 1/4" = 1'-0"

NEW BRICK CHIMNEY  
TO MEET IRC 2015  
REQUIREMENTS



NEW WOOD SHINGLE  
ROOF

+19'-8 3/8"  
Midpoint of Ridge

NEW PAINTED WOOD GUTTER  
WITH COPPER DOWNSPOUT

NEW DH WINDOWS WITH  
NET CLEAR OPENING OF 5.8  
S.F. AT SECOND FLOOR.  
SEE WINDOW SCHEDULE



NEW PAINTED WOOD TRIM  
THROUGHOUT

NEW FRENCH DOORS WITH  
PAINTED WOOD TRIM

NEW CLAPBOARD SIDING

22'-1 1/2"

+0'-0"  
First F.F.E.

-3'-3"  
Finish Grade



NEW PAINTED WOOD DECK &  
RAILING ON STONE PIERS WITH  
WOOD LATTICE SCREENING

NEW PAINTED WOOD DOOR  
IN EXISTING OPENING.  
EXISTING RETAINING WALL  
TO REMAIN.

1 East Elevation (Proposed)  
A-2.03 Scale: 1/4" = 1'-0"

GENERAL NOTE FOR REVISION 1:  
WINDOW AND DOOR NUMBER TAGS  
HAVE BEEN ADDED TO REFERENCE  
WITH SCHEDULES IN A-6 SERIES  
AND A-7 SERIES



FOR PERMIT ONLY

002	REVISION 1	1	06/12/2020
001	ISSUED FOR BUILDING PERMIT		05/14/2020

A RENOVATED GUEST COTTAGE  
for  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
*Exterior Elevations*

DATE: June 12, 2020	SHEET NUMBER: A-2.03
SCALE: 1/4" = 1'-0"	
DRAWN BY: TG	

G. P. SCHAFER ARCHITECT, DPC  
19 UNION SQUARE WEST  
4TH FLOOR  
NEW YORK, NEW YORK 10003  
TELEPHONE: 212-965-1355  
TELEFAX: 212-965-1356

GENERAL NOTE FOR REVISION 1:  
 WINDOW AND DOOR NUMBER TAGS  
 HAVE BEEN ADDED TO REFERENCE  
 WITH SCHEDULES IN A-6 SERIES  
 AND A-7 SERIES

1

FOR PERMIT ONLY

002	REVISION 1	1	06/12/2020
001	ISSUED FOR BUILDING PERMIT		05/14/2020

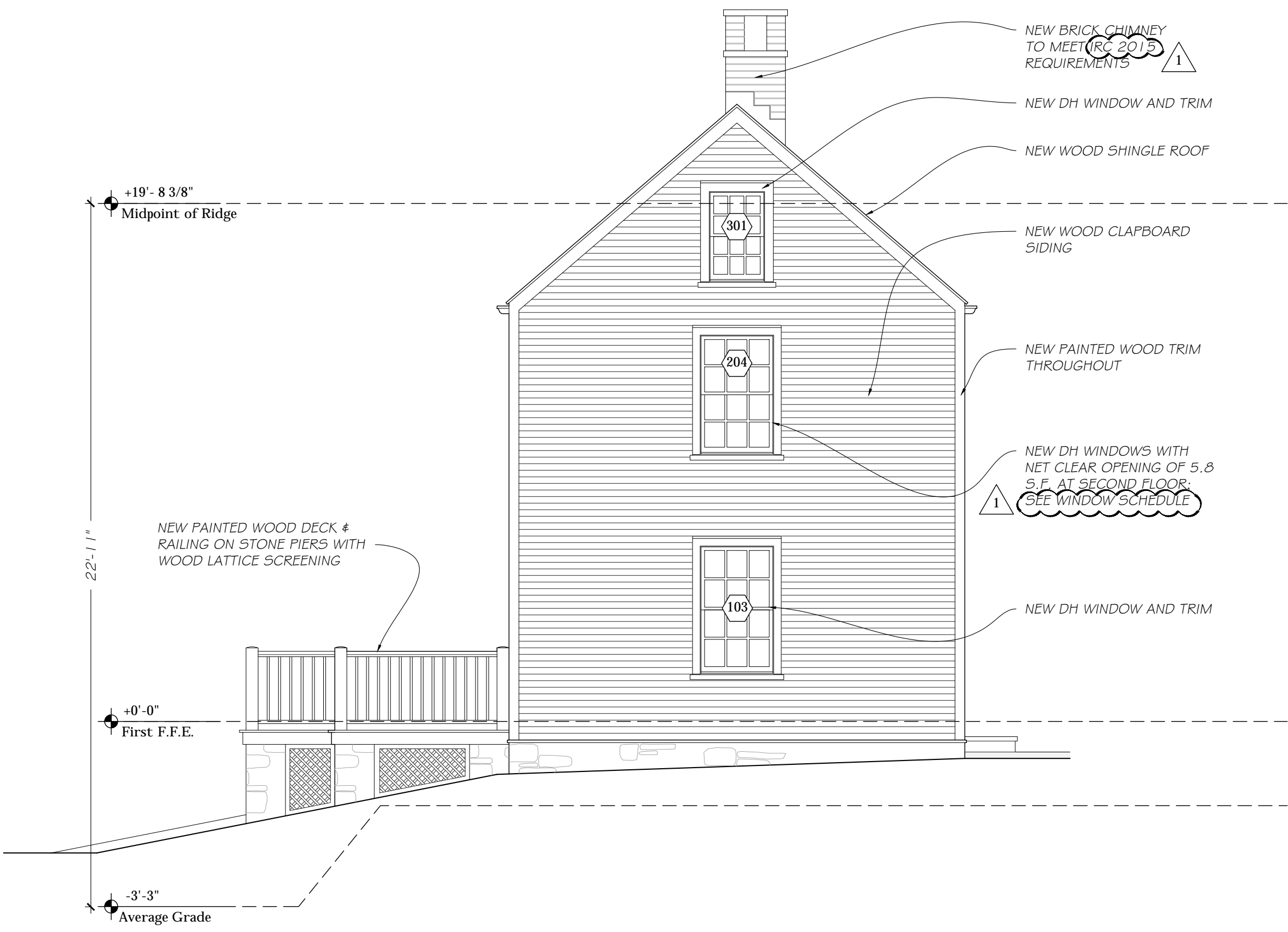
A RENOVATED GUEST COTTAGE  
 for  
**LADY ISLE**  
 PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
*Exterior Elevations*

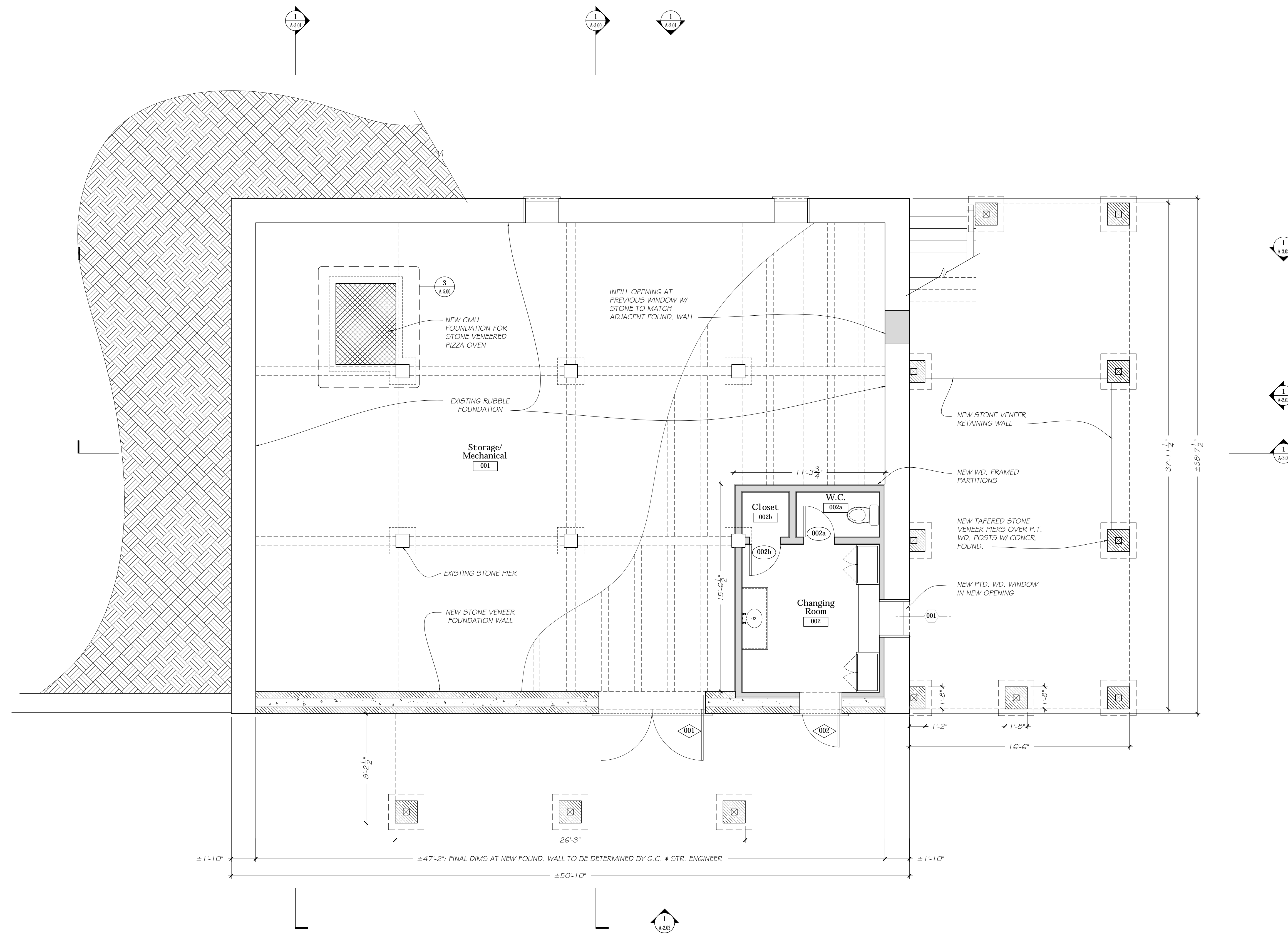
DATE: June 12, 2020	SHEET NUMBER: <b>A-2.04</b>
SCALE: 1/4" = 1'-0"	
DRAWN BY: TG	

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1  
 A-2.04  
**North Elevation (Proposed)**  
 Scale: 1/4" = 1'-0"



LEGEND	
[Symbol]	EXISTING FOUNDATION WALL
[Symbol]	NEW CONCR. STEM WALL
[Symbol]	NEW STONE VENEER
[Symbol]	NEW CMU FOUNDATION
[Symbol]	NEW FRAMING
[Symbol]	NEW WOOD POST

FOR COORDINATION ONLY  
NOT FOR CONSTRUCTION

ISSUED FOR PRICING (NOT FOR CONSTRUCTION) 9/8/20

A RENOVATED BARN  
for  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

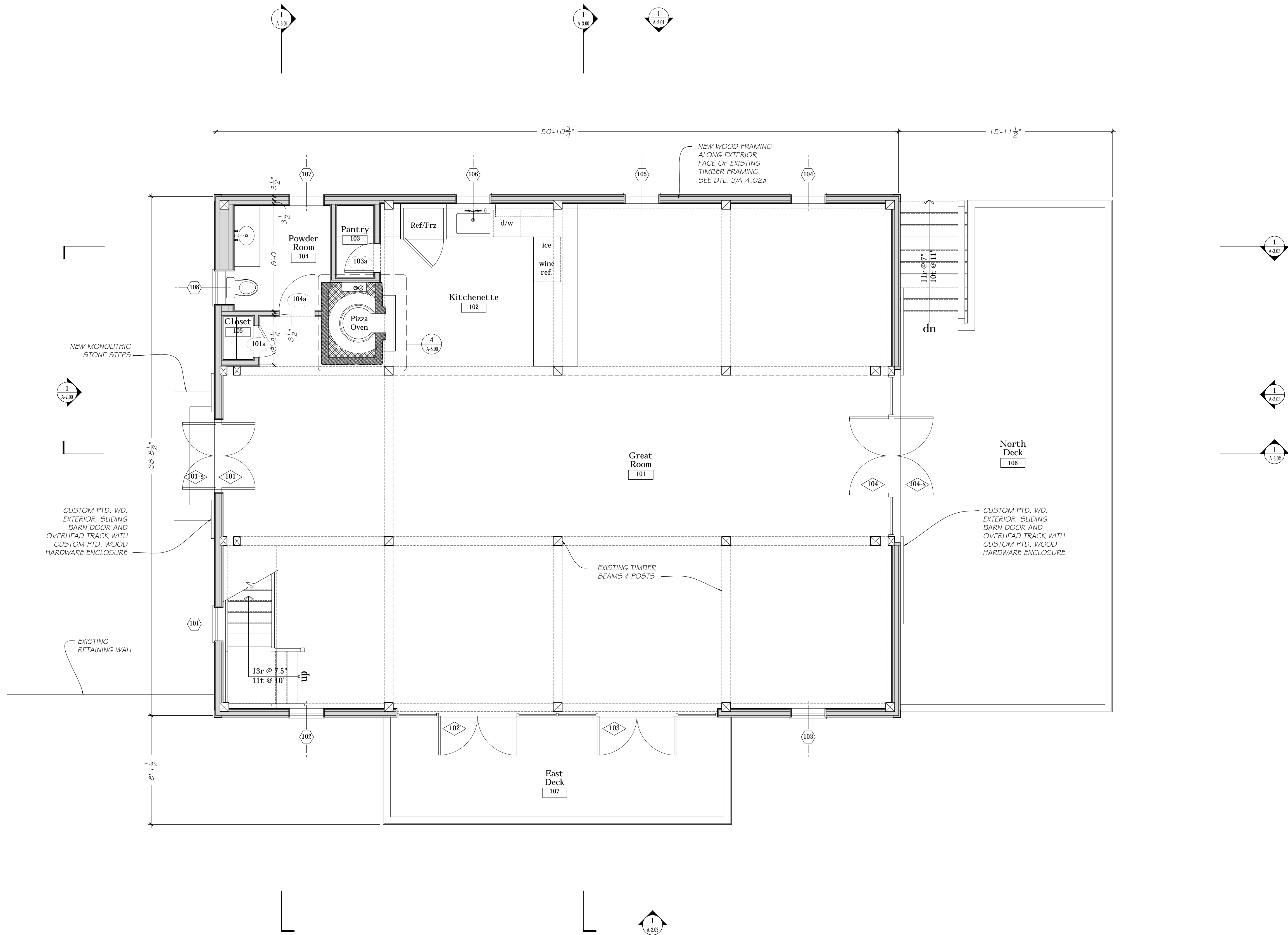
SHEET TITLE:  
*Basement Plan  
Barn*

DATE: <i>September 8, 2020</i>	SHEET NUMBER: <b>A-1.00</b>
SCALE: <i>1/4" = 1'-0"</i>	
DRAWN BY:	

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4TH FLOOR  
NEW YORK, NEW YORK 10003  
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1  
A-1.00  
Basement Plan  
Scale: 1/4" = 1'-0"





LEGEND	
	EXISTING FOUNDATION WALL
	NEW CONCR. STEM WALL
	NEW STONE VENEER
	NEW CMU FOUNDATION
	NEW FRAMING
	EXISTING TIMBER POST

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NOT FOR CONSTRUCTION

1  
A-1.01 First Floor Plan  
Scale: 1/4" = 1'-0"

ISSUED FOR PRICING  
(NOT FOR CONSTRUCTION) 9/8/20

A RENOVATED BARN  
for  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

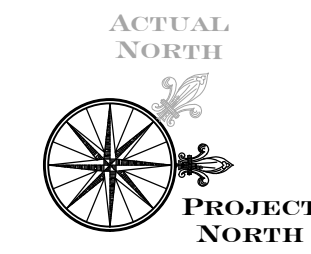
SHEET TITLE:  
First Floor Plan  
Barn

DATE: September 8, 2020 SHEET NUMBER:

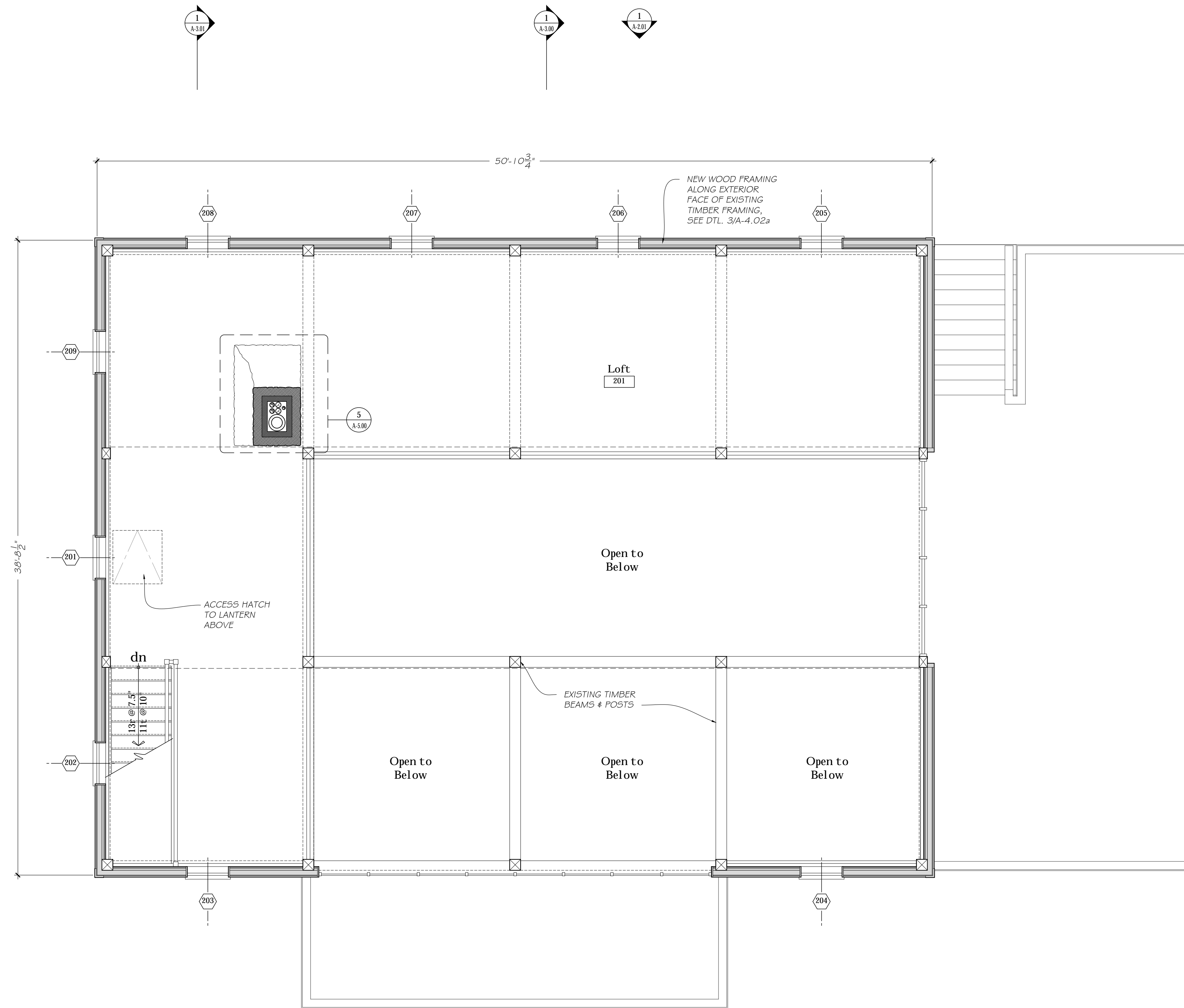
SCALE: 1/4" = 1'-0" **A-1.01**

DRAWN BY:

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4TH FLOOR  
NEW YORK, NEW YORK 10003  
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TELEFAX: 212-965-1356



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LEGEND	
	EXISTING FOUNDATION WALL
	NEW CONCR. STEM WALL
	NEW STONE VENEER
	NEW CMU FOUNDATION
	NEW FRAMING
	EXISTING TIMBER POST

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NOT FOR CONSTRUCTION

ISSUED FOR PRICING (NOT FOR CONSTRUCTION) 9/8/20

A RENOVATED BARN  
for  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

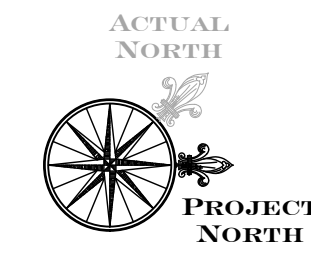
SHEET TITLE:  
*Second Floor Plan  
Barn*

DATE: September 8, 2020 SHEET NUMBER:

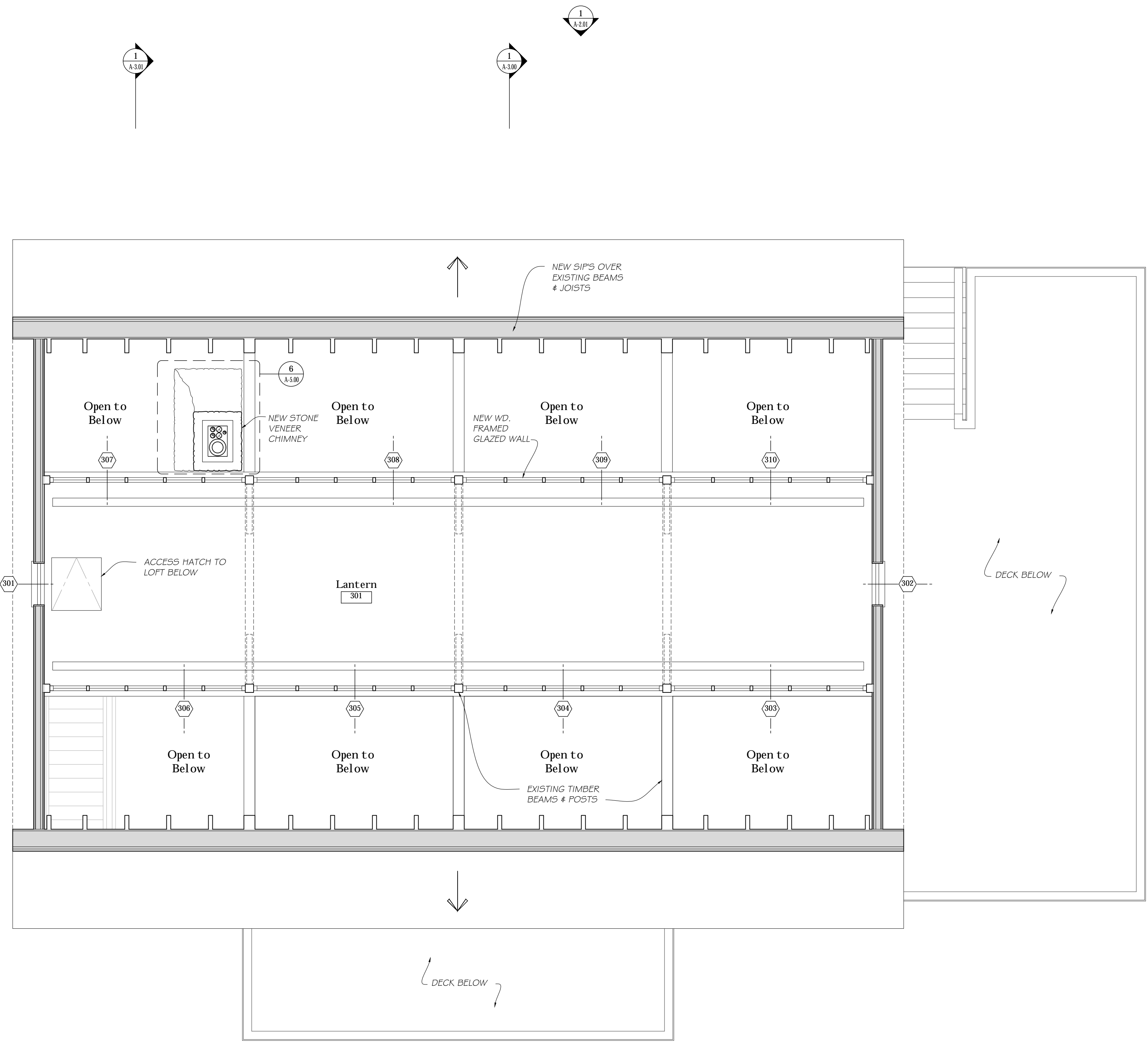
SCALE: 1/4" = 1'-0" **A-1.02**

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4TH FLOOR  
NEW YORK, NEW YORK 10003  
TELEPHONE: 212-965-1355  
TELEFAX: 212-965-1356



1 Second Floor Plan  
A-1.02 Scale: 1/4" = 1'-0"



LEGEND	
	EXISTING FOUNDATION WALL
	NEW CONCR. STEM WALL
	NEW STONE VENEER
	NEW CMU FOUNDATION
	NEW FRAMING
	EXISTING TIMBER POST

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NOT FOR CONSTRUCTION

1  
A-1.03  
Third Floor Plan  
Scale: 1/4" = 1'-0"

ISSUED FOR PRICING  
(NOT FOR CONSTRUCTION) 9/8/20

A RENOVATED BARN  
for  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
*Third Floor Plan  
Barn*

DATE: September 8, 2020 SHEET NUMBER:

SCALE: 1/4" = 1'-0" **A-1.03**

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A NEW RESIDENCE & GARAGE  
at  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:

First Floor Plan

DATE: June 24, 2021

SHEET NUMBER:

PC  
A-1.01

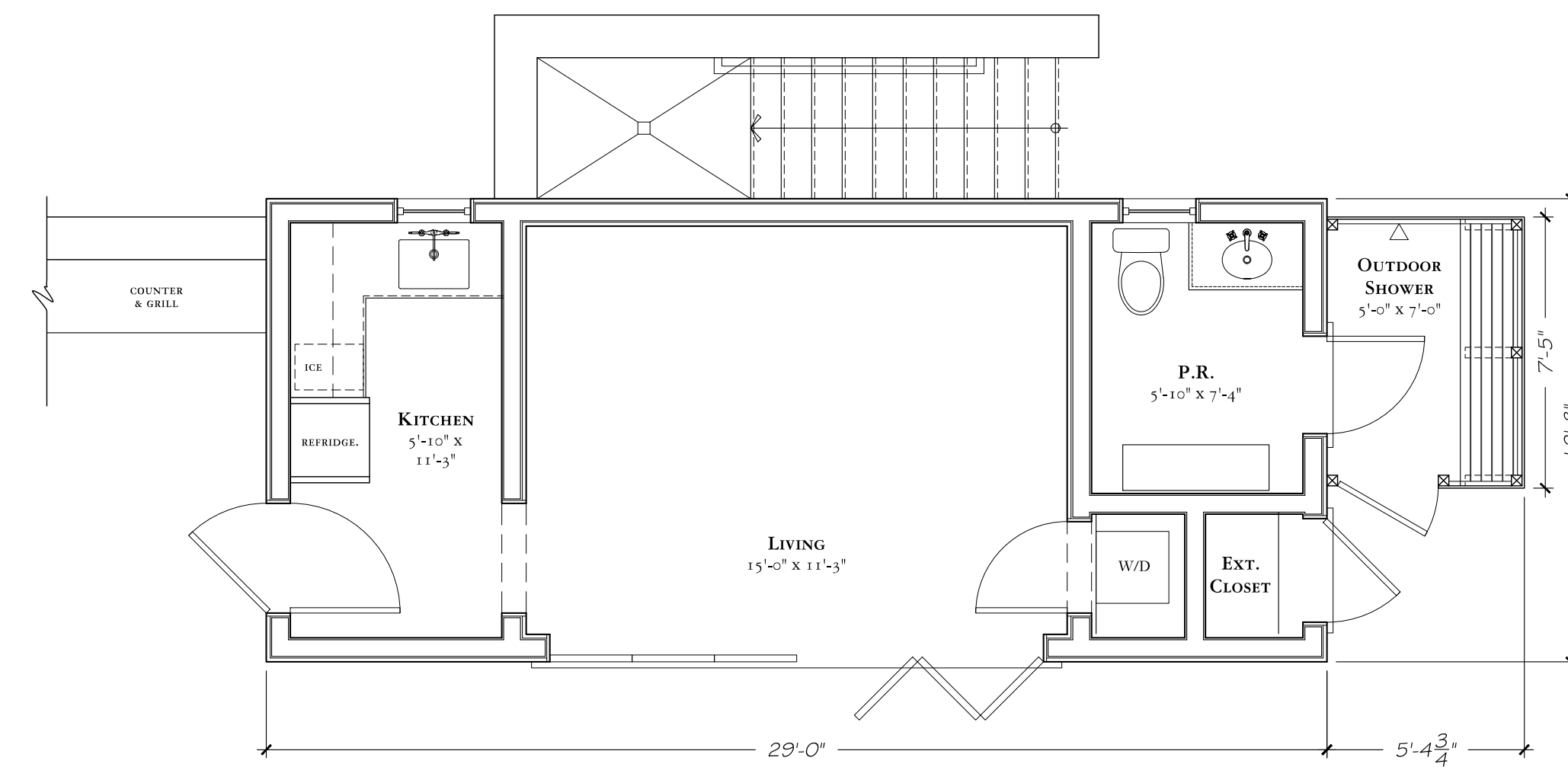
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DRAWN BY: PM

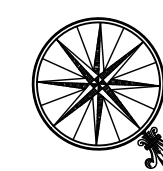
G. P. SCHAFER ARCHITECT, DPC

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4TH FLOOR  
NEW YORK, NEW YORK 10003  
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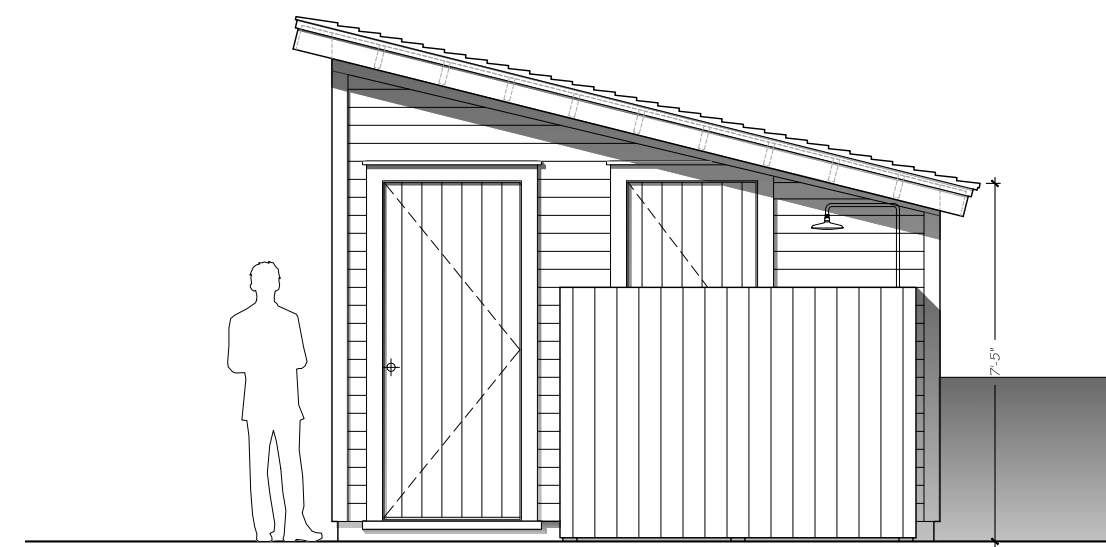


I  
A-1.01 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

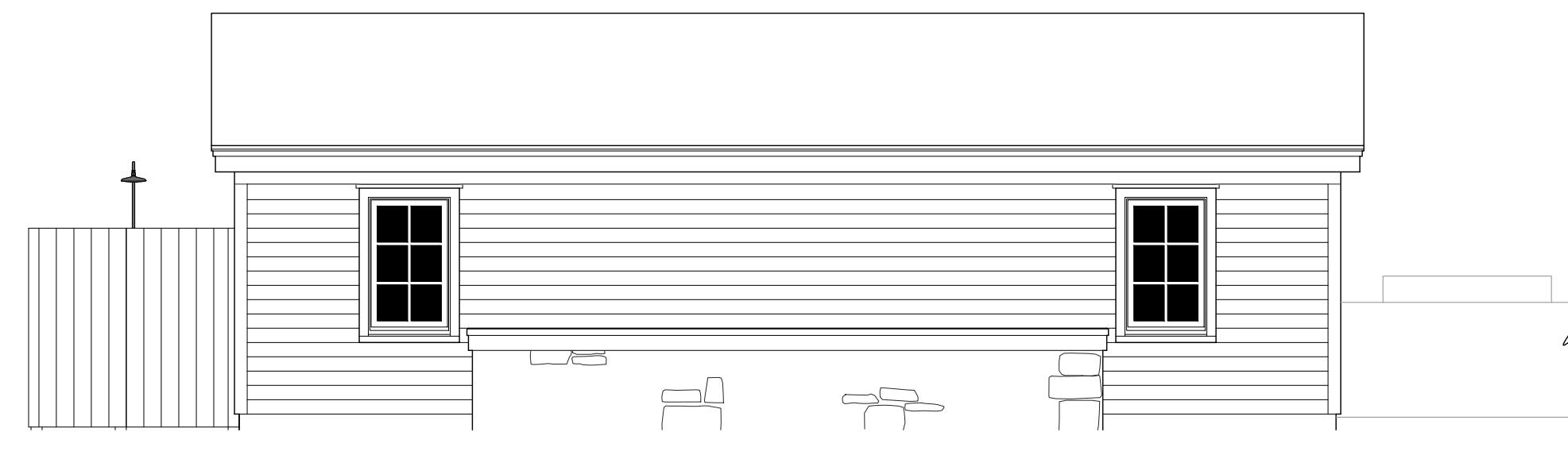




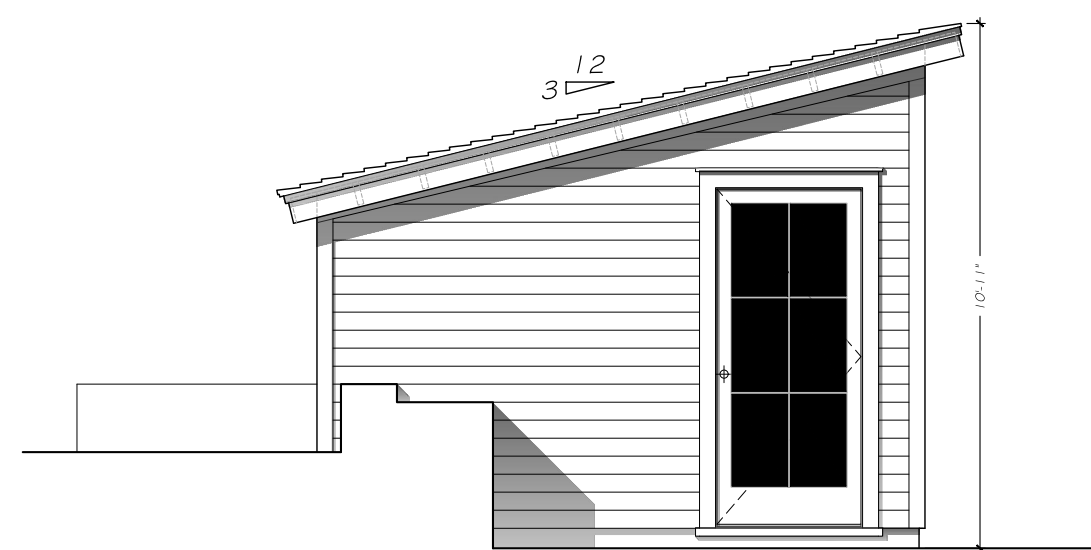
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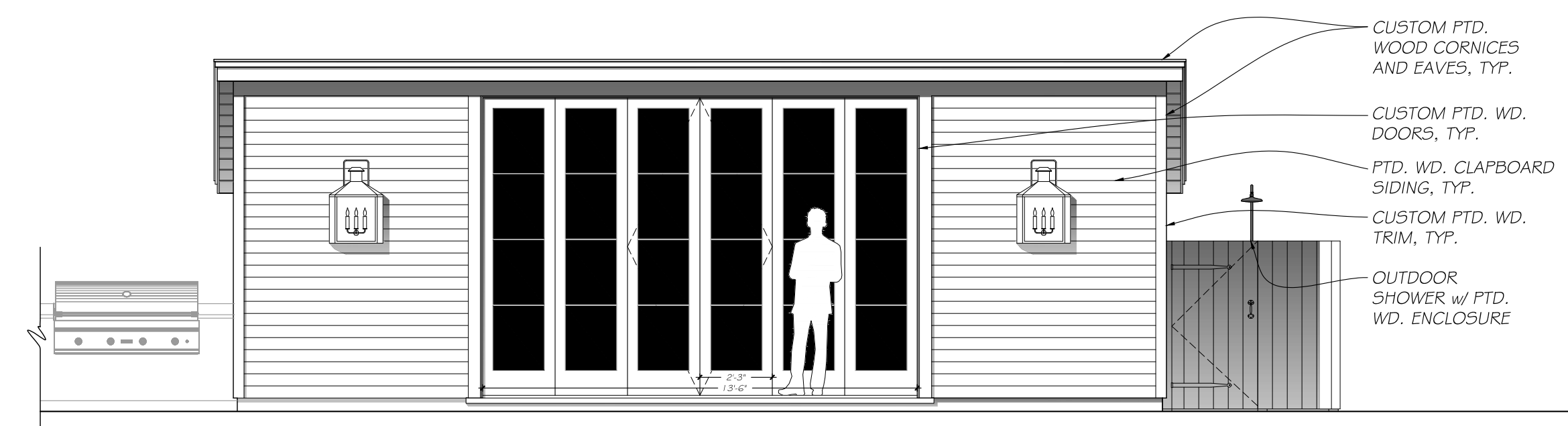
4 WEST ELEVATION  
A-2.01 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION  
A-2.01 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
A-2.01 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION  
A-2.01 SCALE: 1/4" = 1'-0"

- CUSTOM PTD. WOOD CORNICES AND EAVES, TYP.
- CUSTOM PTD. WD. DOORS, TYP.
- PTD. WD. CLAPBOARD SIDING, TYP.
- CUSTOM PTD. WD. TRIM, TYP.
- OUTDOOR SHOWER w/ PTD. WD. ENCLOSURE

A NEW RESIDENCE & GARAGE  
at  
LADY ISLE  
PORTSMOUTH, NEW HAMPSHIRE

SHEET TITLE:  
*Exterior Elevations*

DATE: June 24, 2021  
SCALE: 1/4" = 1'-0"  
DRAWN BY: PM

SHEET NUMBER:  
PC  
A-2.01

G. P. SCHAFER ARCHITECT, DPC

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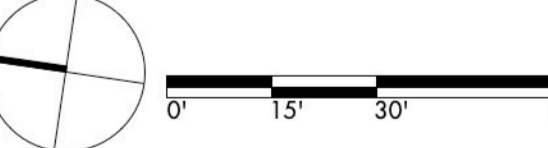
General Notes:

- Existing conditions and topographic data are from a site plan of land dated March 2, 2021; prepared by: Thomas F. Moran Inc., 170 Commerce Way, Suite 102, Portsmouth, NH, 03801 - Tel: (603) 431.2222
- Existing conditions supplemented from data collected by: Matthew Cunningham Landscape Design LLC, 411 Main Street, Stoneham, MA 02180 - Tel: (617) 905.2246
- Do not scale drawings



MATTHEW  
CUNNINGHAM  
LANDSCAPE  
DESIGN LLC  
matthew-cunningham.com

SCALE: 1" = 30'-0" DATE: 23 FEBRUARY 2021



SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

L1.1

FOR PERMIT SUBMISSION

General Notes:

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**TOTAL PROPOSED PLANT BED WITHIN LIMIT OF WORK:**  
~42,750SF

**EXISTING LAWN AREA TO BE CONVERTED TO PLANT BED:**  
~34,770SF

PROPOSED PLANT PALETTE				SHRUBS		PERENNIALS		PERENNIALS (Cont.)	
Key	Qty.	Latin Name	Common Name	Latin Name	Common Name	Latin Name	Common Name	Latin Name	Common Name
<b>TREES</b>				<b>SHRUBS</b>		<b>PERENNIALS</b>		<b>PERENNIALS (Cont.)</b>	
ARR	6	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Aesculus parviflora	Bottlebrush Buckeye	Actaea racemosa	Snakeroot	Hakonechloa macra	Hakone Grass
ASG	5	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	Aronia arbutifolia	Red Chokeberry	Agastache x hybrida	Anise Hyssop	Helleborus x hybridus	Lenten Rose
AC	30	Amelanchier canadensis	Shadblow Serviceberry	Calliopsis dichotoma	Beautyberry	Alchemilla mollis	Lady's Mantle	Heuchera micrantha	Coral Bells
BPW	12	Betula platyphylla 'Whitespire'	Japanese Whitespire Birch	Cephalanthus occidentalis	Buttonbush	Allium senescens	Circle Chives	Hydrangea anomala petiolaris	Climbing Hydrangea
CF	2	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	Clethra alnifolia	Summersweet	Amsonia hubrichtii	Bluestar	Iris cristata	Crested Iris
JV	4	Juniperus virginiana	Eastern Red Cedar	Comptonia peregrina	Sweetfern	Andropogon gerardii	Big Bluestem	Iris sibirica	Siberian Iris
LL	5	Larix laricina	Tamarack	Cornus sericea	Red-Twig Dogwood	Anemone tomentosa	Grapeleaf Anemone	Kirengeshoma palmata	Yellow Waxbells
MJ	1	Magnolia illinoensis 'Jane'	Jane Magnolia	Daphne x burkwoodii	Burkwood Daphne	Anemone x hybrida	Japanese Anemone	Lavandula intermedia	Lavender
MV	5	Magnolia virginiana	Sweetbay Magnolia	Fothergilla x intermedia	Fothergilla	Anemone thalictroides	Rue Anemone	Leucanthemum superbum	Shasta Daisy
MG	13	Malus x domestica 'Gala'	Gala Apple	Hamamelis x intermedia	Witchhazel	Aruncus dioicus	Goat's Beard	Lupinus polyphilus	Lupine
NS	2	Nyssa sylvatica	Tupelo	Hydrangea arborescens	Smooth Hydrangea	Asclepias incarnata	Swamp Milkweed	Matteuccia struthiopteris	Ostrich Fern
PA	3	Picea abies	Norway Spruce	Hydrangea paniculata	Laoceap Hydrangea	Asclepias syriaca	Common Milkweed	Miscanthus sinensis	Maiden Grass
QA	3	Quercus 'Alba'	White Oak	Hydrangea quercifolia	Oakleaf Hydrangea	Astilbe x hybrida	Astilbe	Nepeta x faasseni	Catmint
SA	6	Salix babylonica	Weeping Willow	Ilex glabra	Inkberry	Astrantia rubra	Red Masterwort	Osmunda cinnamomea	Cinnamon Fern
SP	1	Stewartia pseudocamellia	Japanese Stewartia	Ilex verticillata	Winterberry	Athyrium niponicum pictum	Japanese Painted Fern	Paeonia lactiflora	Peony
TP	3	Thuja plicata 'Green Giant'	Green Giant Arborvitae	Itea virginica	Sweetpire	Baptisia australis	False Indigo	Panicum virgatum	Switchgrass
				Myrica gale	Sweetgale	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	Pennisetum alopecuroides	Dwarf Fountain Grass
				Myrica pensylvanica	Northern Bayberry	Carex pensylvanica	Oak Sedge	Perovskia atriplicifolia	Russian Sage
				Prunus maritima	Beach Plum	Centaurea montana	Comflower	Podophyllum peltatum	May Apple
				Rhododendron 'Cunningham's White'	Cunningham's White Rhododendron	Clematis x jackmanii	Jackman Clematis	Polygonatum odoratum	Solomon's Seal
				Rhododendron maximum	Rosebay Rhododendron	Corydalis lutea	Yellow Corydalis	Pulmonaria officinalis	Lungwort
				Rhus aromatica 'Gro-Lo'	Fragrant Sumac	Dennstaedtia punctilobula	Hay-Scented Fern	Rosa x 'New Dawn'	New Dawn Rose
				Rhus typhina	Staghorn Sumac	Deschampsia cespitosa	Tufted Hairgrass	Rudbeckia fulgida	Black-Eyed-Susan
				Rosa virginiana	Virginia Rose	Dicentra spectabilis	Bleeding Heart	Salvia x sylvestris	Wood Sage
				Sambucus canadensis	American Elderberry	Digitalis purpurea	Foxglove	Salvia nemorosa	Woodland Sage
				Syringa meyeri	Dwarf Korean Lilac	Echinacea purpurea	Purple Coneflower	Schizachyrium scoparium	Little Bluestem
				Syringa vulgaris	Common Purple Lilac	Epimedium x rubrum	Red Barrenwort	Solidago ssp.	Goldenrod
				Vaccinium corymbosum	Highbush Blueberry	Eragrostis spectabilis	Purple Love Grass	Sorghastrum nutans	Indian Grass
				Viburnum dentatum	Arrowwood Viburnum	Eupatorium dubium	Dwarf Joe Pye Weed	Sporobolus heterolepis	Prairie Dropseed
				Viburnum plicatum f. tomentosum	Doublefile Viburnum	Eupatorium maculatum	Spotted Joe Pye Weed	Stachys byzantina	Lamb's Ear
				Viburnum trilobum	American Cranberry Viburnum	Eryubia divaricata	White Wood Aster	Symphoricarpon novae-angliae	New England Aster
						Galium odoratum	Sweet Woodruff	Symphoricarpon novi-belgii	New York Aster
						Geranium 'Rozanne'	Rozanne Cranesbill	Symphoricarpon oblongifolium	Aromatic Aster
						Geranium macrorrhizum	Cranesbill	Thalictrum rochebrunianum	Lavender Mist Meadow-rue
						Gillenia trifoliata	Bowman's Root	Thymus vulgaris	Common Thyme

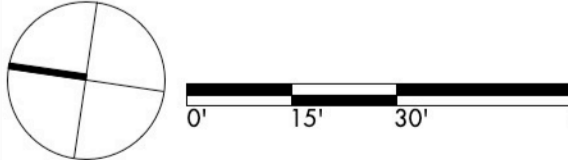
**NOTES:**

- PLANT LOCATIONS ON PLAN ARE FOR DIAGRAMMATIC PURPOSES AND DO NOT NECESSARILY REFLECT ACTUAL PROPOSED LOCATIONS OF PLANTING
- PLANT SIZES OR QUANTITIES SHOWN ARE SUBJECT TO CHANGE BASED ON AVAILABILITY
- THE USE OF ANY FERTILIZER IS PROHIBITED WITHIN A WETLAND, VEGETATED BUFFER AREA, OR LIMITED CUT AREA
- THE USE OF FERTILIZERS OTHER THAN LOW PHOSPHATE OR SLOW RELEASE NITROGEN FERTILIZER IS PROHIBITED IN ALL COASTAL RESOURCE AREAS



**MATTHEW CUNNINGHAM LANDSCAPE DESIGN LLC**  
matthew-cunningham.com

SCALE: 1" = 30'-0" DATE: 23 FEBRUARY 2022



SHEET TITLE:

**PLANTING PLAN**

SHEET NUMBER:

**L1.2**  
FOR PERMIT SUBMISSION



**Lady Isle**

325 Little Harbor Road,  
Portsmouth NH

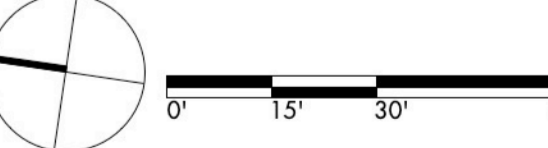
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CUNNINGHAM  
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matthew-cunningham.com

SCALE: 1" = 30'-0" DATE: 23 FEBRUARY 2022



SHEET TITLE:

**PLANTING PLAN**

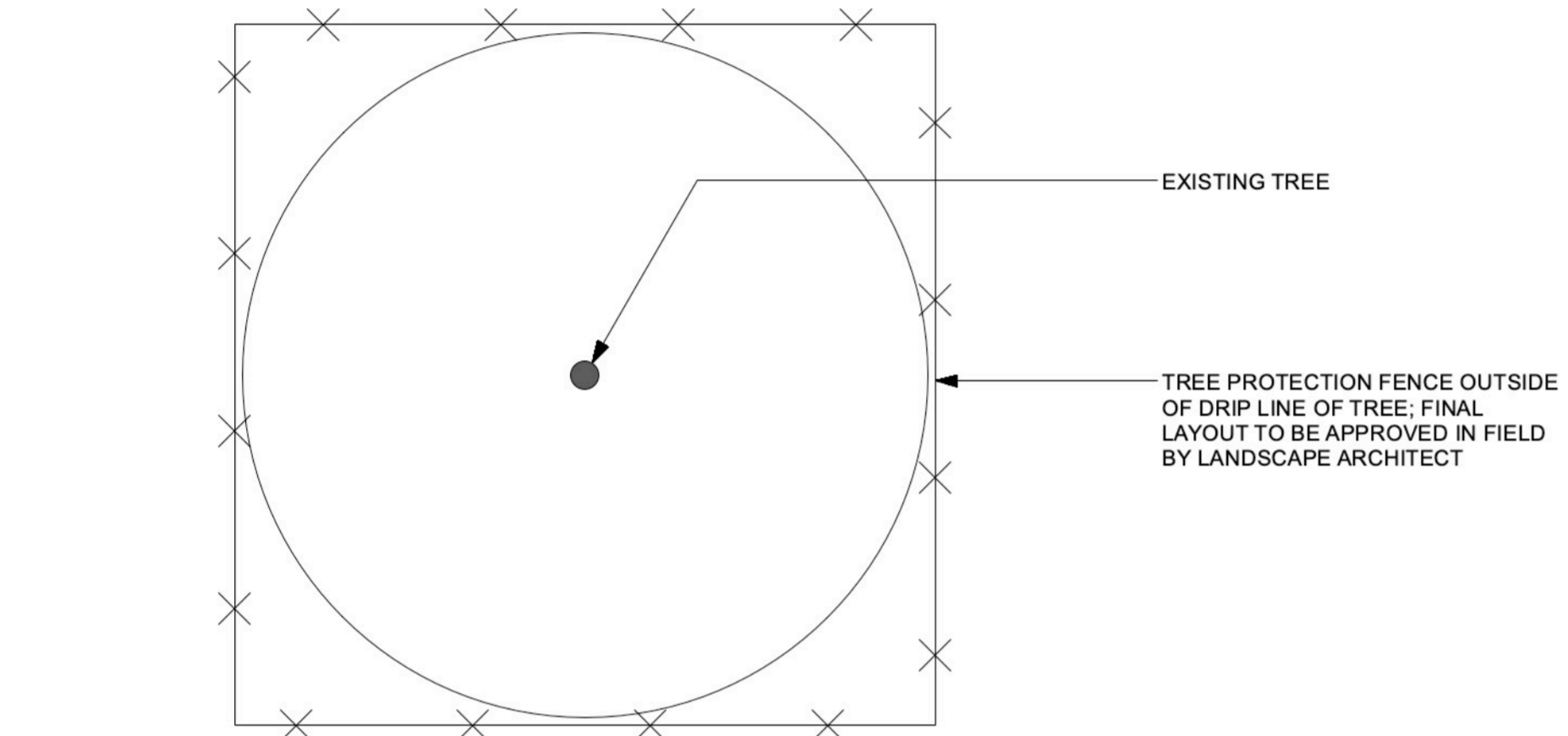
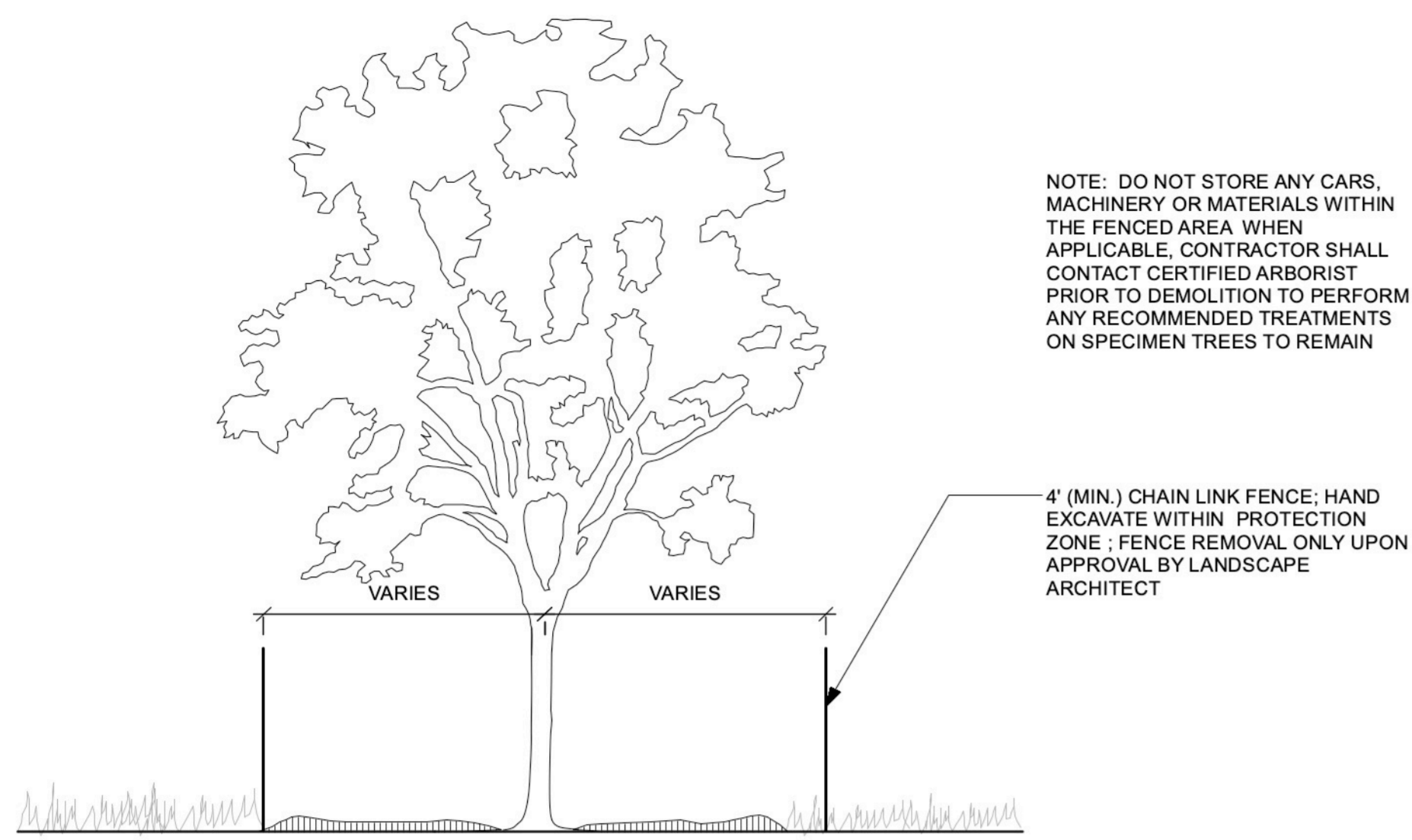
SHEET NUMBER:

**L1.3**

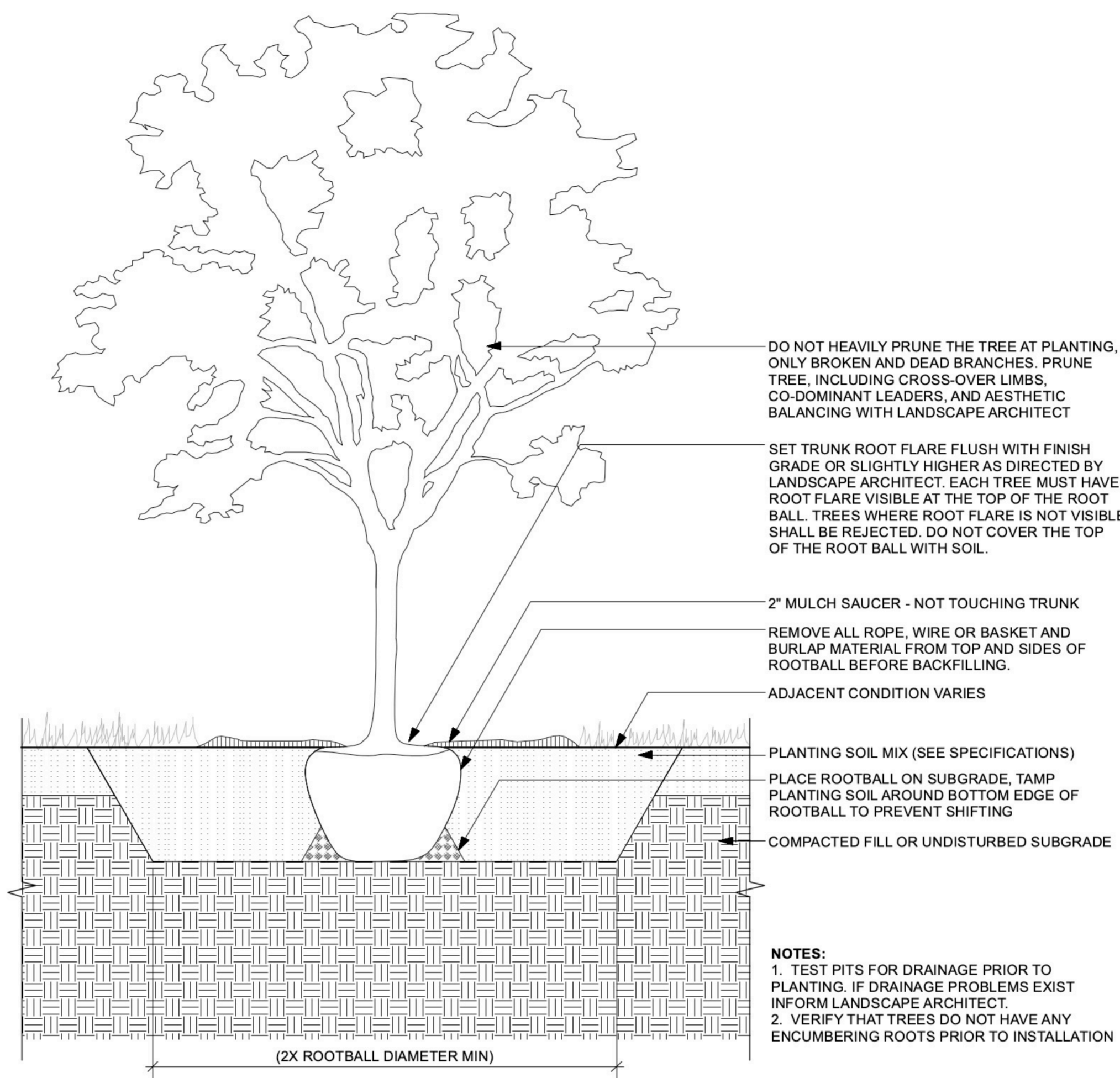
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General Notes:

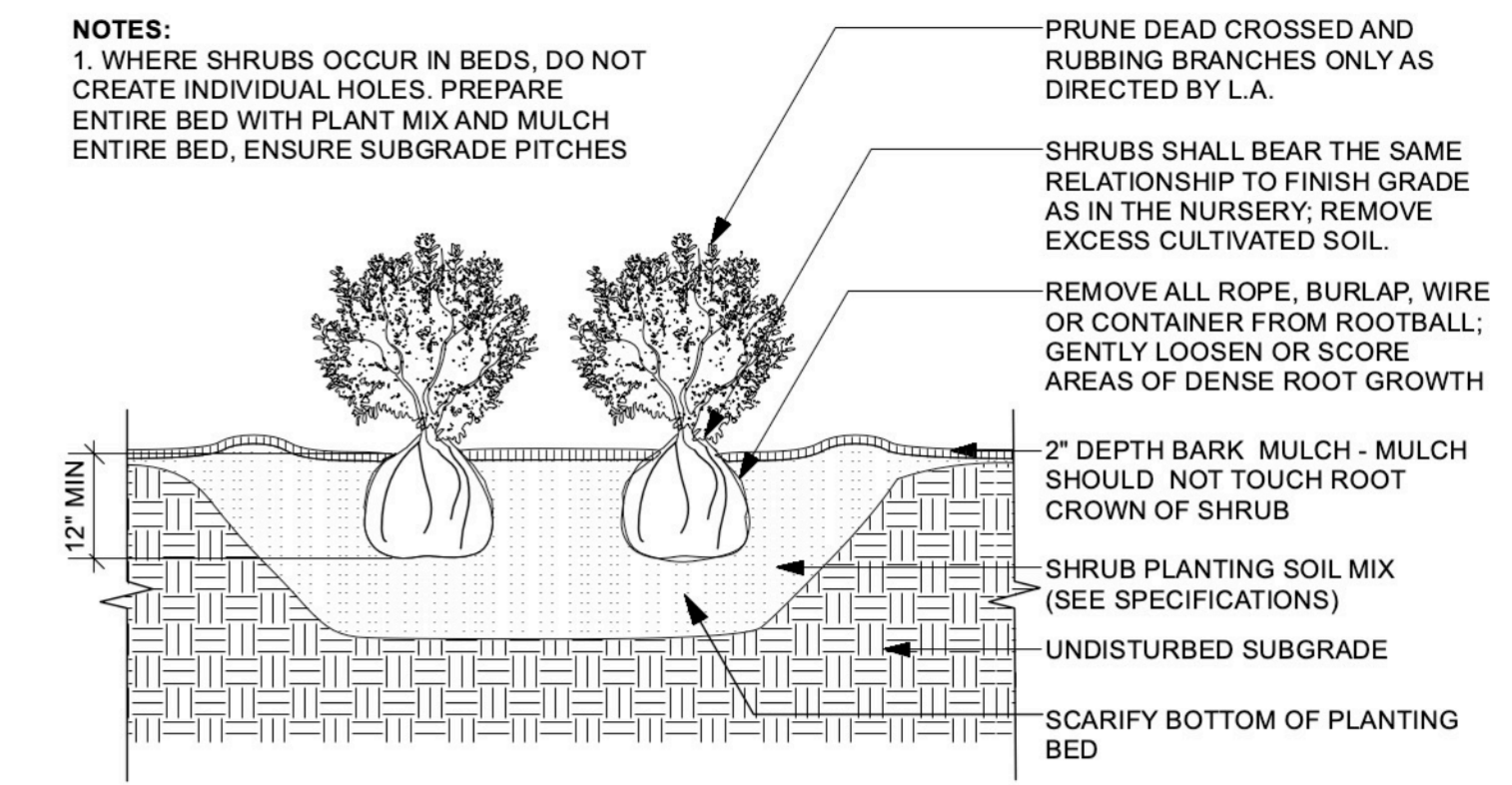
- Existing conditions and topographic data are from a site plan of land dated March 2, 2021; prepared by: Thomas F. Moran Inc., 170 Commerce Way, Suite 102, Portsmouth, NH, 03801 - Tel: (603) 431.2222
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- Do not scale drawings



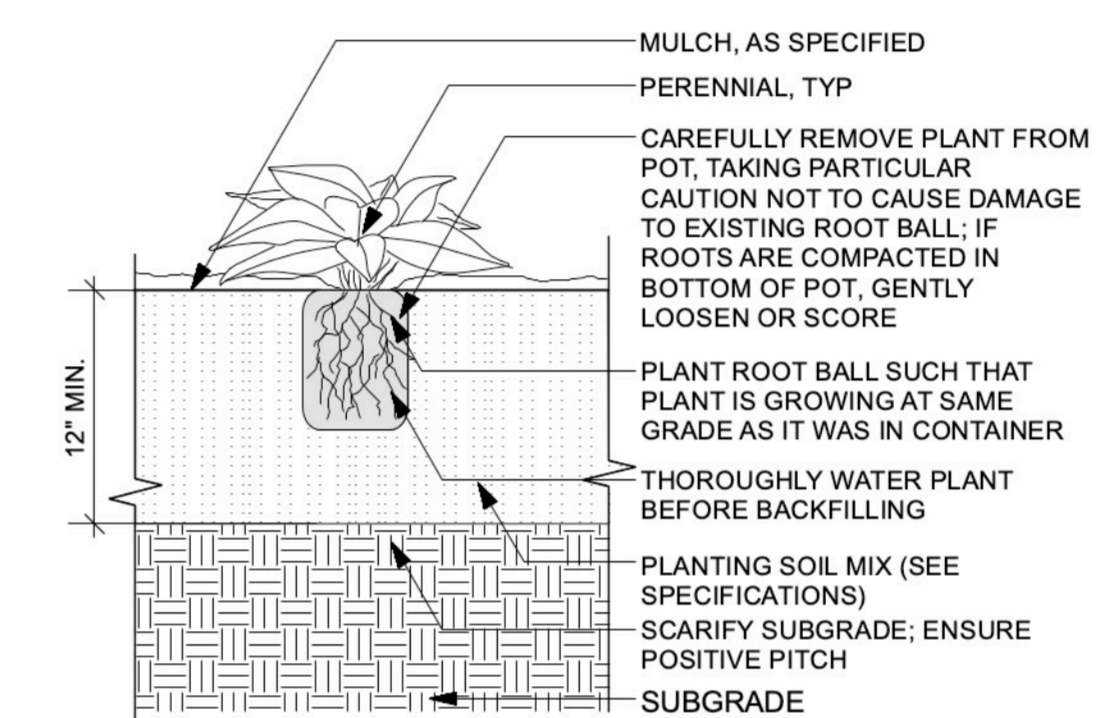
1 TREE PROTECTION FENCING  
Scale: 1/2" = 1'-0"



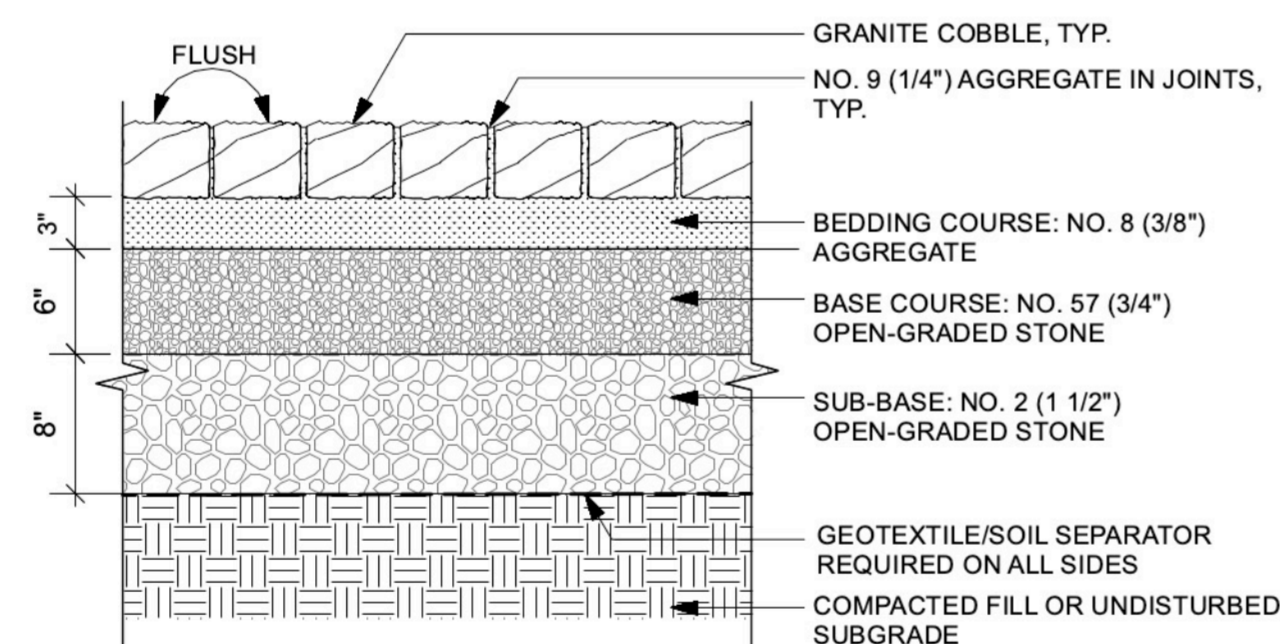
2 TREE PLANTING - TYPICAL SECTION  
Scale: 1/2" = 1'-0"



3 SHRUB PLANTING - TYPICAL SECTION  
Scale: 1/2" = 1'-0"



4 PERENNIAL PLANTING - TYPICAL SECTION  
Scale: 1/2" = 1'-0"

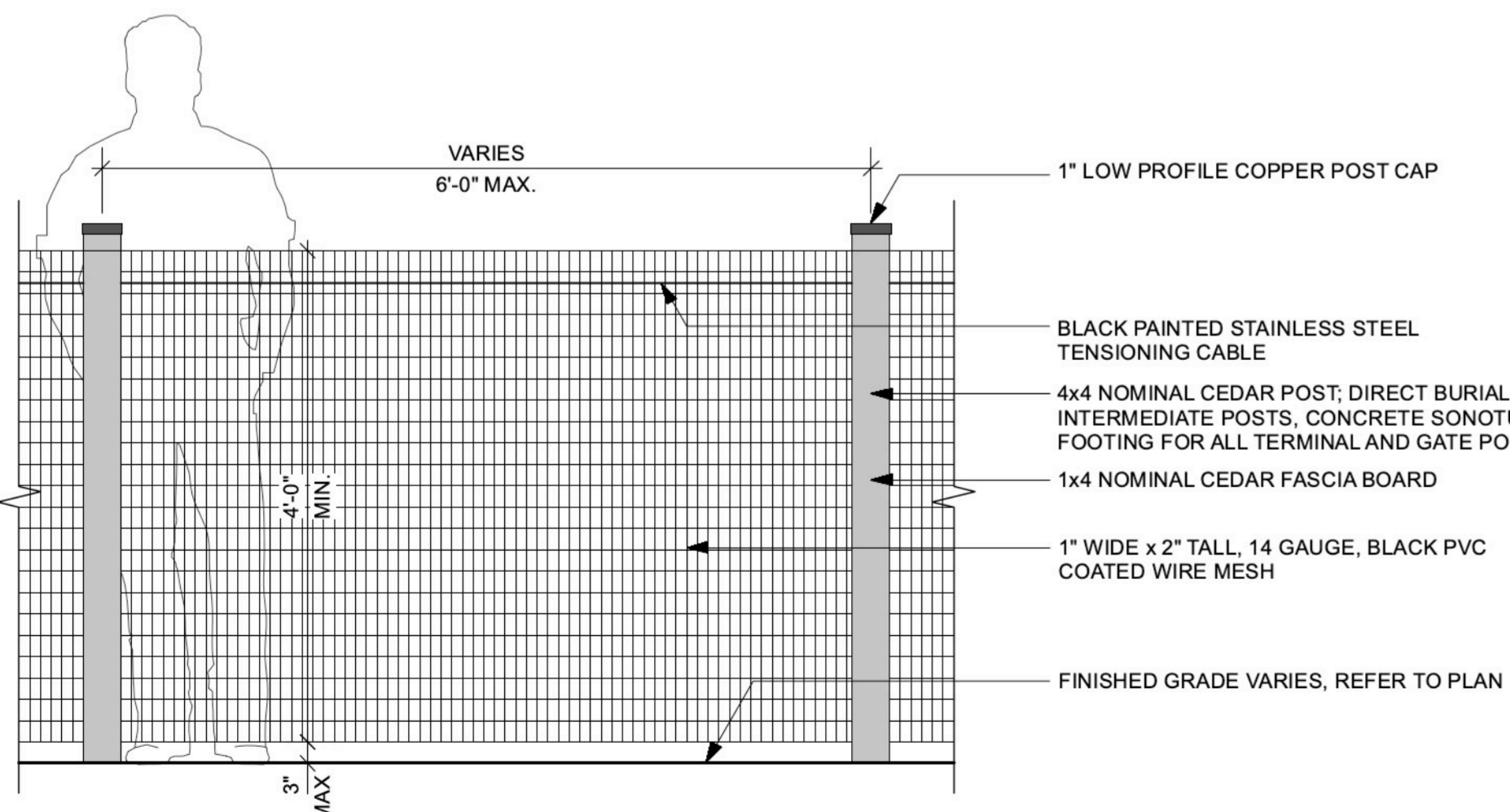


6 PERMEABLE COBBLE PAVING  
Scale: 1" = 1'-0"

7 GRANITE VEHICULAR PAVING  
Scale: 1" = 1'-0"

8 PEASTONE VEHICULAR PAVING  
Scale: 1" = 1'-0"

5 STABILIZED SEEDED GRAVEL VEHICULAR PAVING  
Scale: 1" = 1'-0"



- NOTES:
- ALL FENCING SHALL CONFORM TO STATE AND LOCAL POOL ENCLOSURE REQUIREMENTS
  - DIMENSIONS ARE FOR REFERENCE PURPOSES ONLY, FINAL LAYOUT AND DIMENSIONS SHALL BE CONFIRMED PRIOR TO CONSTRUCTION

9 POOL ENCLOSURE MESH FENCE - TYPICAL PANEL ELEVATION  
Scale: 3/4" = 1'-0"

10 TENNIS COURT FENCING - TYPICAL PANEL ELEVATION  
Scale: 1/2" = 1'-0"



MATTHEW  
CUNNINGHAM  
LANDSCAPE  
DESIGN LLC  
matthew-cunningham.com

SCALE: AS NOTED DATE: 23 FEBRUARY 2022

SHEET TITLE:

LANDSCAPE DETAILS

SHEET NUMBER:

L1.4

FOR PERMIT SUBMISSION





1



2



3



4





GOOGLE EARTH - 2013 AERIAL IMAGE



GOOGLE EARTH - 2020 AERIAL IMAGE



5



6



PLANNING BOARD | PROPOSED ILLUSTRATIVE RENDERINGS

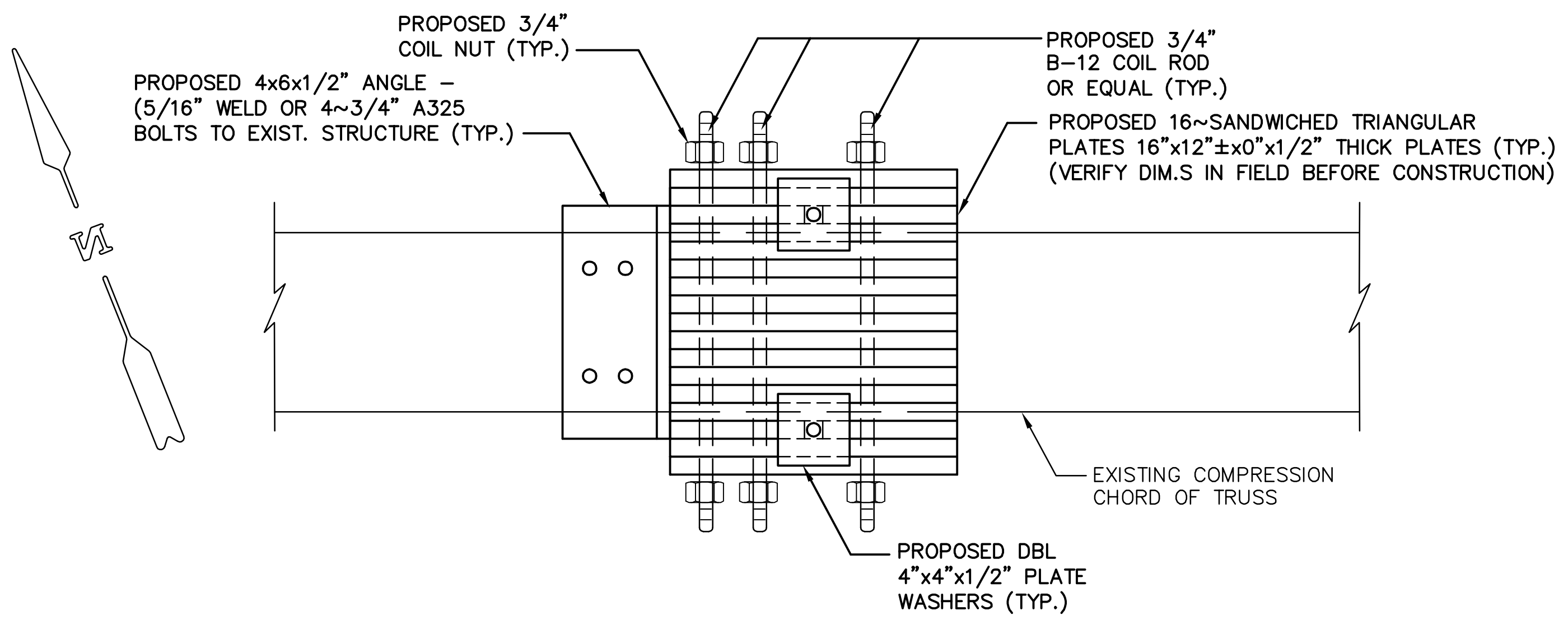
Lady Isle | 325 Little Harbor Road, Portsmouth NH  
23 February 2022

G. P. SCHAFFER ARCHITECT  
ARCHITECTURE & DESIGN



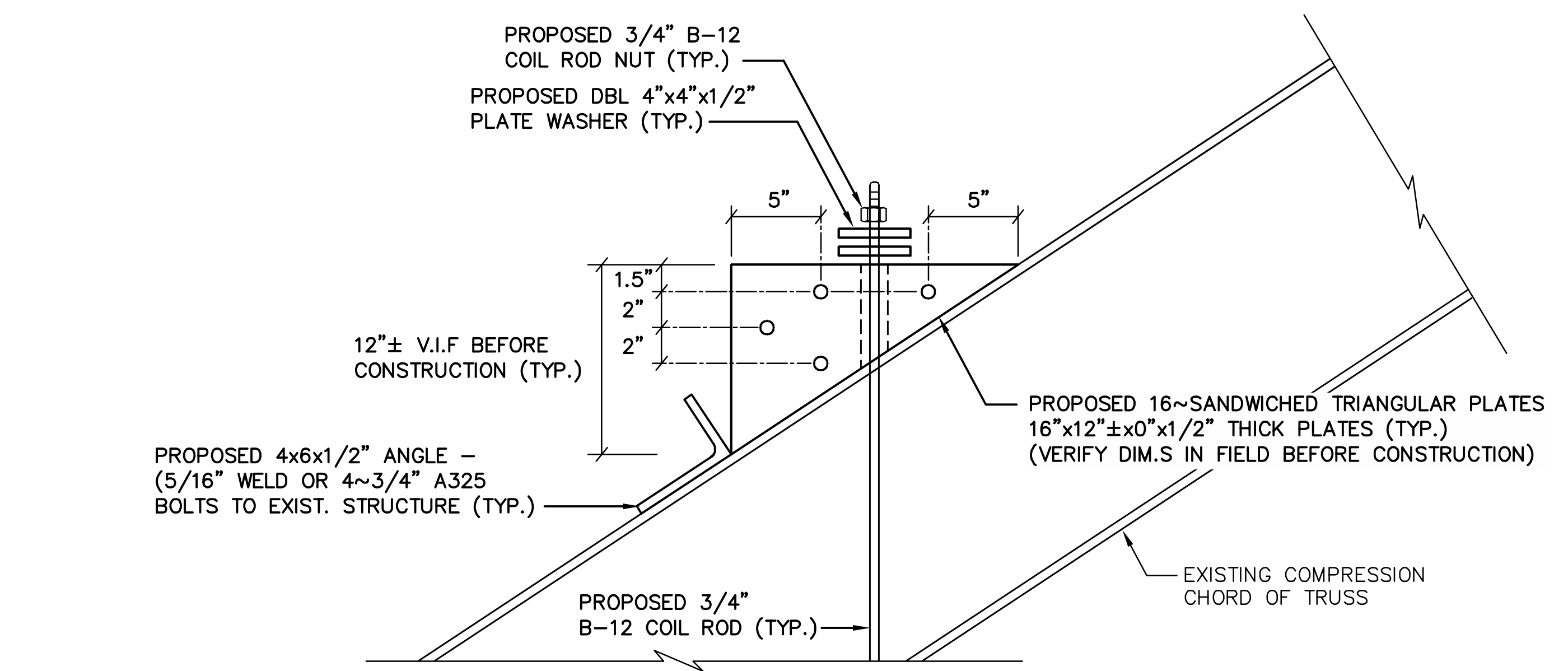
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists





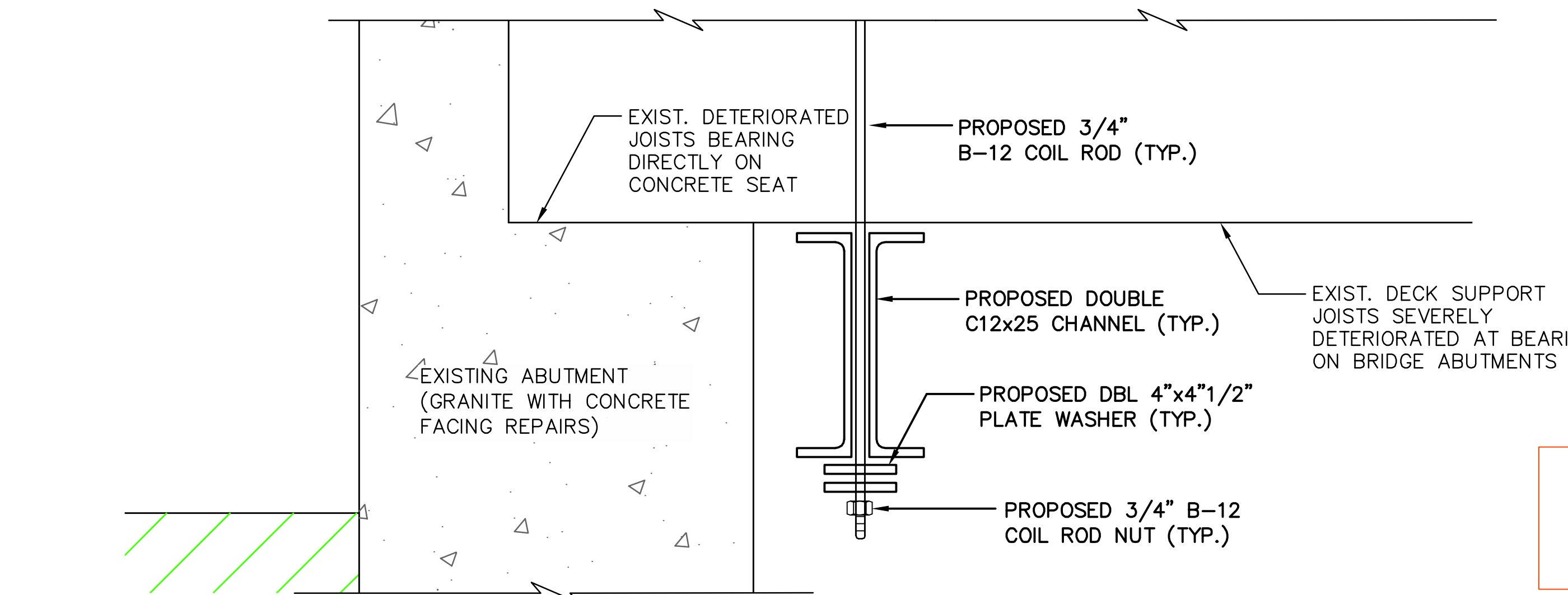
**PLAN "B-B" OF TEMPORARY JOIST SUPPORT ANCHOR**  
(SOUTHERN ABUTMENT SHOWN, NORTHERN ABUTMENT SIMILAR)

SCALE: 1"=2'-0"



**DETAIL "B" (TEMP. JOIST SUPPORT ANCHOR)**

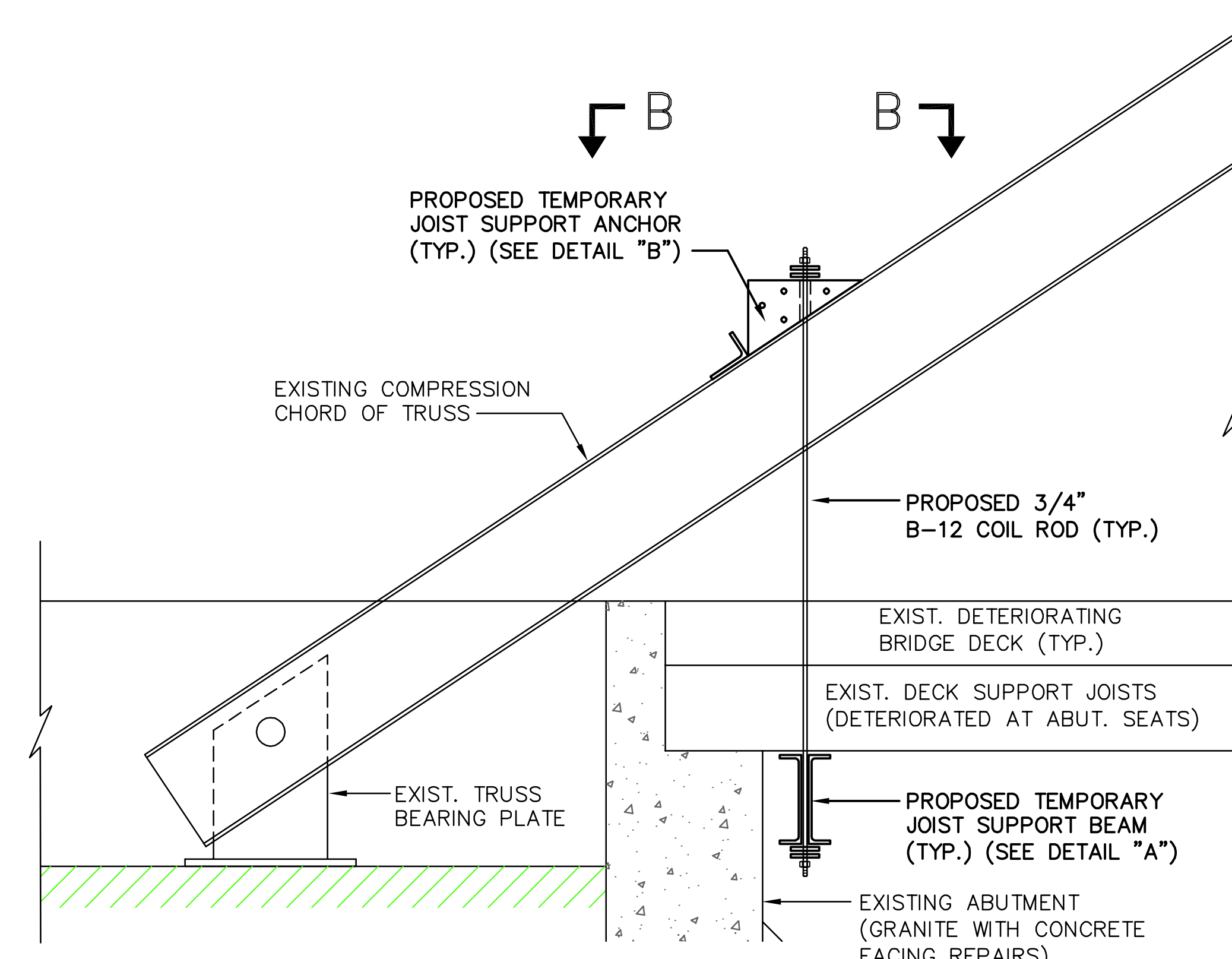
SCALE: 1"=2'-0"



**DETAIL "A" (TEMP. JOIST SUPPORT BEAM)**

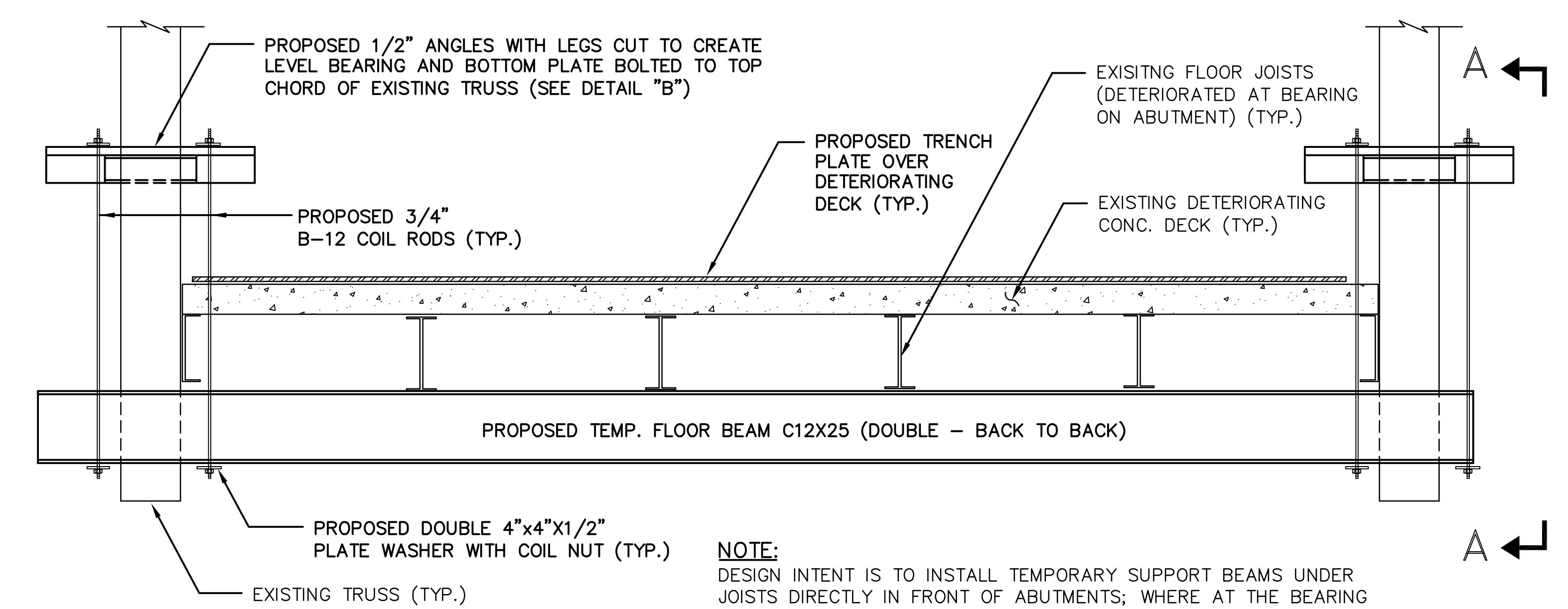
SCALE: 1"=2'-0"

**PLAN SIZE:**  
FULL SIZE PLANS ARE 24x36  
11x17 ARE APPROXIMATE HALF SCALES



**ELEVATION SECTION A-A (TEMPORARY JOIST SUPPORT)**

SCALE: 3/4"=1'-0"



**TRANSVERSE SECTION AT TEMPORARY JOIST SUPPORT**

SCALE: 3/4"=1'-0"

**NOTE:**  
DESIGN INTENT IS TO INSTALL TEMPORARY SUPPORT BEAMS UNDER JOISTS DIRECTLY IN FRONT OF ABUTMENTS; WHERE AT THE BEARING POINT, THE JOIST HAVE EXPERIENCED SEVERE SECTION LOSS AND CAN NO LONGER SAFELY SUPPORT HS-20-44 DESIGN VEHICLE LOADS.

**PROJECT BACKGROUND:**

- 1.) ECKMAN ENGINEERING, LLC ON FEBRUARY 3, 2022 COMPLETED A VISUAL INSPECTION OF THE EXISTING BELLE ISLE BRIDGE WHICH WAS FOLLOWED BY A SURVEY THAT INCLUDED DETAILED MEASUREMENT OF THE EXISTING SUBSTRUCTURE AND SUPERSTRUCTURE.
- 2.) THE 94± SINGLE-SPAN TRUSS WAS REHABILITATED AT SOME-TIME IN THE PAST ADDING 2-INTERIOR H-PILE BENTS. THE TRUSS'S ORIGINAL DESIGN LOADING IS NOW GREATLY REDUCED DUE TO THE INTERIOR H-PILE BENTS AND THE DECK SUPERSTRUCTURE NOW ACTS MOST LIKE A THREE-SPAN STRUCTURE.
- 3.) THE EXISTING BRIDGE STRUCTURE IS SCHEDULED TO BE COMPLETELY REPLACED IN A FEW YEARS HOWEVER THE INTENT IS TO CONTINUE TO UTILIZE THE EXISTING STRUCTURE TEMPORARILY WHILE RE-CONSTRUCTION OF BUILDINGS ON BELLE ISLE BEGIN.
- 4.) TWO DEFICIENCIES OF CONCERN WERE IDENTIFIED THAT LIMIT CAPACITY OF THE STRUCTURE AND NEED TO BE REPAIRED PRIOR TO USE BY CONSTRUCTION VEHICLES. THE FIRST DEFICIENCY IS THAT THE CONCRETE DECK HAS LOCATIONS WITH SPALLING AND SOFT-SPOTS. THE SECOND DEFICIENCY OF CONCERN IS THAT THE EXISTING DECK SUPPORT JOISTS ARE APPROXIMATELY 60% DETERIORATED IN SECTION WHERE THEY BEAR DIRECTLY ON THE CONCRETE ABUTMENTS AT EACH END OF THE TRUSS.

CONCERN GREATLY LIMITING THE CAPACITY OF MAJOR CONCERN WERE OBSERVED WITH THE SUPERSTRUCTURE. THE FIRST WAS THE SPALLING AND DETERIORATING CONCRETE DECK THAT HAD MANY SOFT-SPOTS. THE SECOND DEFICIENCY WAS THAT THE FLOOR JOISTS WERE APPROXIMATELY 60% OF THE JOIST SECTION HAS DETERIORATED AT THE BEARING LOCATION ON THE CONCRETE ABUTMENT SEATS.

**TEMPORARY SUPERSTRUCTURE REPAIR AND DESIGN LOADING:**

- 1.) TO DISTRIBUTE LOADS OVER THE SOFT-SPOTS IN THE CONCRETE DECK AND STRENGTHEN THE EXISTING DECK OVERALL STEEL TRENCH PLATE IS PROPOSED TO BE INSTALLED OVER THE ENTIRE 94± FOOT LENGTH OF THE DECK. A TEMPORARY SUPPORT BEAM SHALL BE INSTALLED UNDER THE DECK SUPPORT JOISTS DIRECTLY IN FRONT OF EACH ABUTMENT FACE AT A LOCATION WHERE THE JOIST HAVE NEARLY THEIR FULL SECTION.
- 2.) ECKMAN ENGINEERING ANALYZED THE STRUCTURE IN ACCORDANCE WITH AASHTO PROCEDURES USING DESIGN LOADS FOR AN HS20-44 TRUCK (2~32KIP REAR AXLES & AN 8KIP FRONT AXLE) ALONG WITH A TANDEM LOAD (2~25KIP AXLES; 4- FEET APART). THE HS20-40 DESIGN TRUCK CONTROLLED GENERATING A MAXIMUM SHEAR LOAD AT THE ABUTMENT FACE OF 47.4-KIPS. THE PROPOSED TEMPORARY SUPPORT BEAM SUPPORTS THE FULL MAXIMUM SHEAR-LOAD WITH SAFETY FACTOR > 2.

**PRELIMINARY PLAN FOR APPROVAL/REVIEW ONLY**



PREPARED FOR:  
**EVROCKS CORPORATION, Inc**  
23 INDUSTRIAL DRIVE  
NORTHFIELD, NH 03276  
PHONE: (603) 433-1354  
PHONE: (603) 527-3545

**ECKMAN Engineering, LLC**  
1950 Lafayette Road Unit 301, PO Box 8025  
Portsmouth, New Hampshire 03802  
Phone: (603) 433-1354  
Fax: (603) 433-2367

No.	DESCRIPTION	BY	DATE
P	REV. TEMPORARY SUPPORT ANCHOR PER EVROCKS	DEE	3/22
REVISIONS			

BELLE ISLE ROAD BRIDGE REHABILITATION PROJECT			
TOWN	PORTSMOUTH, NH 03801	BRIDGE NO.	N/A
FEDERAL PROJECT	----	NH DOT PROJECT	N/A
LOCATION/PROJECT:	BELLE ISLE ROAD BRIDGE, PORTSMOUTH, NH TEMPORARY JOIST SUPPORT BEAMS (EACH ABUTMENT FACE)		
PRELIMINARY PLAN, ELEV., SECTION & DETAILS			
DESIGNED	SRP	DATE	03/22
DRAWN	JJM	DATE	02/22
TRACED		DATE	
QUANTITIES		DATE	
REVIEWED BY:		STATE PROJ. NO.	N/A
		SHEET NO.	1
		TOTAL SHEET	1

## **Dry Well Location**

As per request from Conservation committee the attached plan and narrative is submitted for consideration to the planning board.

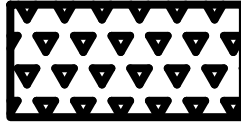

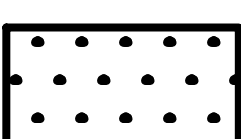
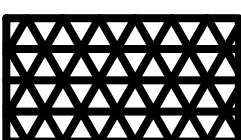

Please see the added drywell location, measurements are coming off the right rear corner of new proposed garage.

We are proposing to add a 3' wide band of mulch and blueberry bushes 4' on center down the right side of the property line to control rain runoff from the lawn to the wetlands.

We are also showing a temporary silt fence location along the existing vinyl fence that will be installed prior to any excavation for the project . All disturb ground associated with this project will be properly graded, raked and seeded to control erosion . All materials not used for backfilling and grading of the site will be hauled off of site to a proper location.

**DISCLAIMER:**

THIS SITE PLAN WAS RENDERED BY USING CITY OF PORTSMOUTH GIS DATA BASE. THIS PLAN DOES NOT INTENT TO PROVIDE ANY SCIENTIFIC DATA INFORMATION. THIS IS FOR GRAPHICAL INFORMATION PURPOSES ONLY, TO DEMONSTRATE EXISTING CONDITIONS & COMPLY OR REQUEST A VARIANCE FROM CITY ORDINANCES BASED ON THE ZONING DISTRICT RESTRICTIONS WHICH GOVERN THE LOCATION WHERE PROJECT IS PROPOSED.

-  **VEGETATED AREA**
-  **BUFFER LINE**
-  **WET LANDS**
-  **PROPOSED ADDED NATURAL VEGETATION**
-  **EXISTING IMPERVIOUS SURFACE (ASPHALTED AREA)**

Zoning Per 10.821 Table of Dimensional Standards:  
 Set backs Per 10.821 Table of Dimensional Standards:  
 Front 30', Side 25', Rear 40'  
 Max Height 35', Coverage 10% = 3,000 SQFT  
 Proposed Coverage 9.72% +/- = 2,915 SQFT

#1060  
 #1054  
**BANDFIELD RD**  
 Prop. Line 100'  
 Prop. Line 200'

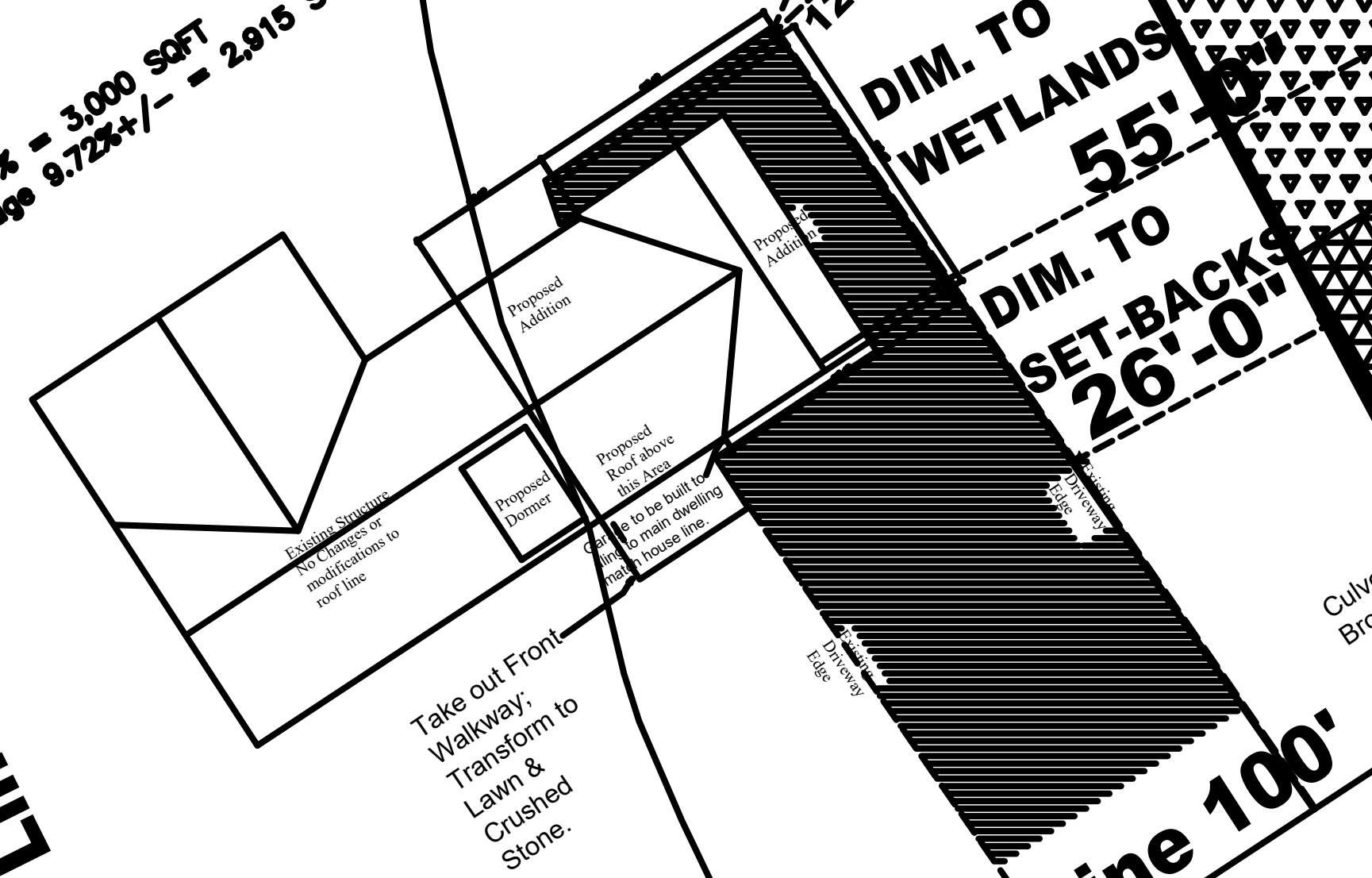
100' Wet Land Buffer Line

Blueberry Bushes & Mulch

**VEGETATED AREA**

**WET LANDS**

**BLUEBERRY BUSHES TO BE PLANTED**




Take out Front Walkway; Transform to Lawn & Crushed Stone.

Culvert / Brook Area

Addition & Renovation  
 Single Family House  
 1054 Bandfield Rd,  
 Portsmouth, NH 03801  
**Owner / Applicant**  
 Sharry McDermith  
 1054 Bandfield Rd,  
 Portsmouth NH 03801  
 Tel.: (603)970-1146  
 email:  
 sharrymcdermith@gmail.com  
 Map: 283  
 Lot: 38  
 Zoning: SRA  
 Legal Use: Single Family Dwelling  
 Proposed Use: No Changes

Designer:



**ELEVATE**  
 Strong Designs, Strong Structures

**General Notes:**  
 Do Not Measure This Drawings, Unless Otherwise Specified (U.O.S.) Use Annotated Dimensions Only. Verify All Dimensions In Field (V.D.I.F.) In Case Of Variances Or Discrepancies Notify Designer For Resolution Prior To Commencing Any Work.

Revisions:


Issue: \_\_\_\_\_

Drawn By: PA	Scale: 1/16"=1'
Project:	Date: 1/23/2022
Sheet Name: <b>SITE PLAN</b>	
Sheet:	A017

Chuck and Allison Dudas  
32 Monteith Street  
Portsmouth, NH 03801

March 18th, 2022

City of Portsmouth  
c/o Beverly Zendt  
Planning Board  
1 Junkins Avenue  
Portsmouth, NH 03801

Re: Attached Accessory Dwelling Unit Application  
Tax Map 143 Lot 22  
32 Monteith St  
Portsmouth, NH 03801

Dear Beverly,

We are pleased to submit this memo and the attached documents to request a conditional use permit for the construction of an attached accessory dwelling unit at the April 21, 2022 meeting.

Exhibits:

- Site Plan
- Plan Set- issued by Amy Dutton Home
- Site Photographs
- Tax Map 143

Property/Project

32 Monteith is a 30,644 sq ft lot with a single family home. The property is located in the Single Residence A District and borders North Mill Pond with street frontage along Monteith St and Thornton St. We are proposing to demolish the existing shed and construct an attached 24'x24' garage with accessory dwelling unit above.

The project received a Wetlands Conditional Use Permit in June 2020. A 1-year extension was granted to the Wetlands Conditional Use Permit in June 2021.

The proposed 576 sq ft ADU would consist of a kitchen, bathroom, one bedroom and a living room. The second floor of the ADU would be accessed by an interior stairwell that connects the garage to the existing house.

There will be a total of (6) off-street parking spaces including the 2 spaces within the garage.

Criteria for the Attached ADU

*10.814.31 The principal dwelling unit and the accessory dwelling unit shall not be separated in ownership*

The ADU will be owned by us, the owners of the principal dwelling unit.

*10.814.32 Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling as his or her principal place of residence.*

My wife and I with our children will continue to occupy the principal dwelling unit.

*10.814.33 Neither the principal dwelling unit nor the accessory dwelling unit shall be used for any business.*

Neither the principal dwelling unit nor the ADU will be used for a business.

*10.814.40 Standards for Attached Accessory Dwelling Unit*

The proposed ADU meets the standards laid out in 10.814.40.

The primary access to the ADU will be through an interior door via a stairwell that also serves the principal dwelling unit.

The ADU will be one-bedroom and less than 750 sq ft.

The property will continue to appear as a single family dwelling. The exterior door that will be used to access the ADU will be on the side of the garage and will not appear as the principal entrance.

The ADU will be set back from the front lot line behind the principal dwelling unit.

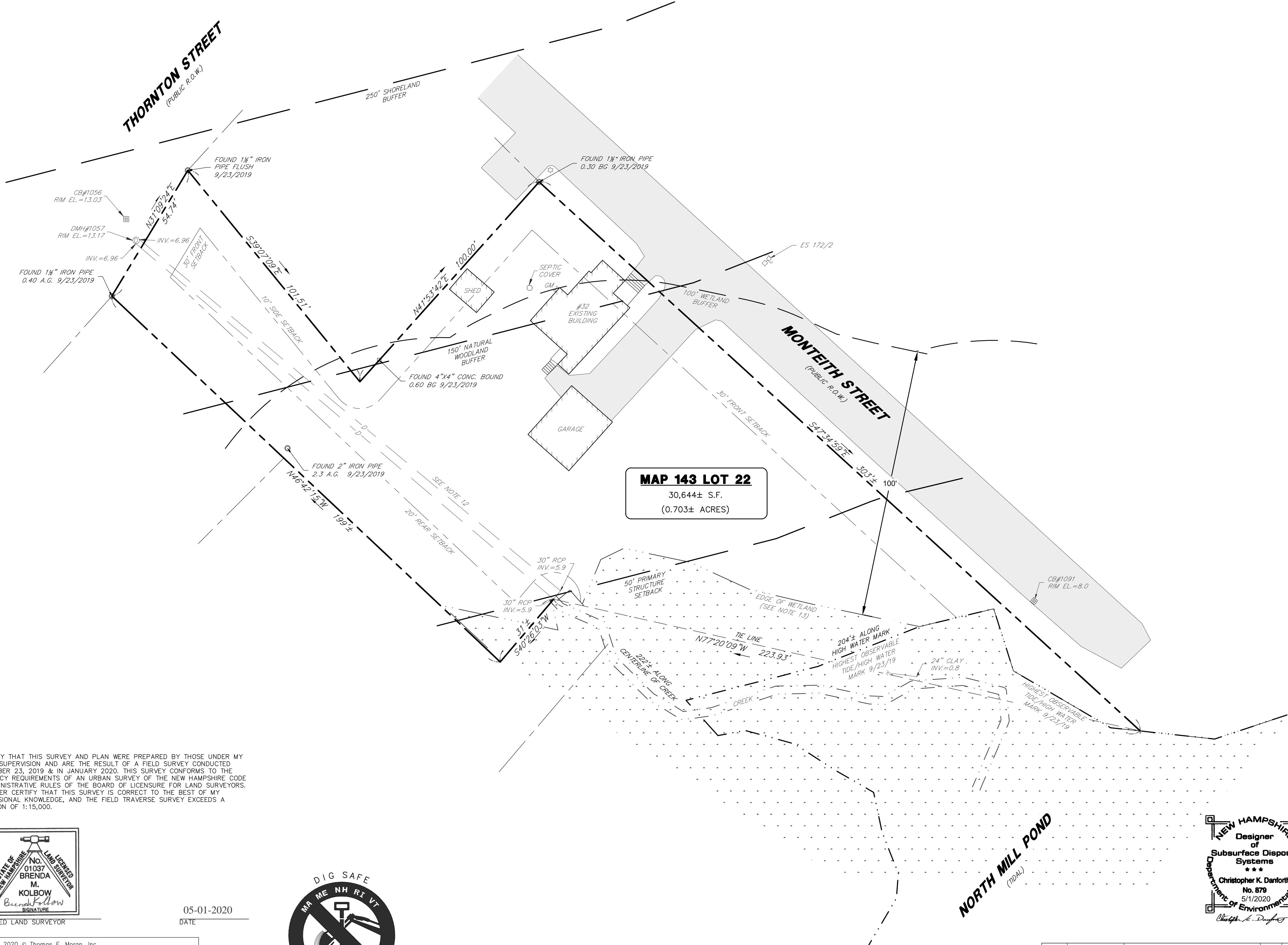
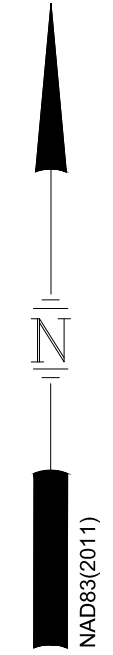
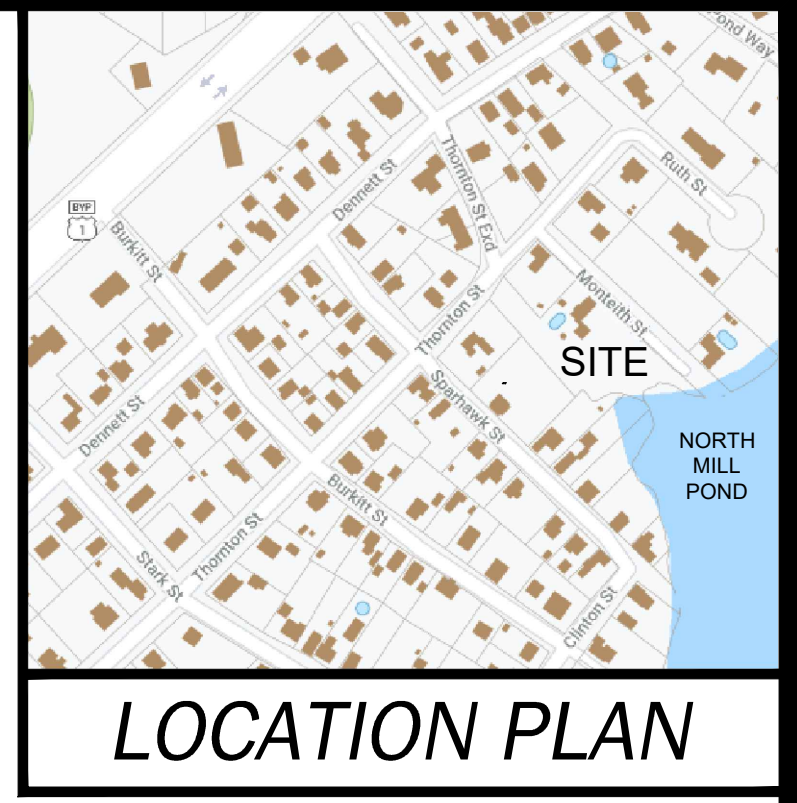
The ADU will be architecturally consistent with principal dwelling unit.

For the reasons described above, we respectfully request the Board grant this conditional use permit for the ADU.

Respectfully,

Handwritten signatures in blue ink. The first signature is 'Chuck Dudas' and the second is 'Allison Dudas'.

Chuck & Allison Dudas

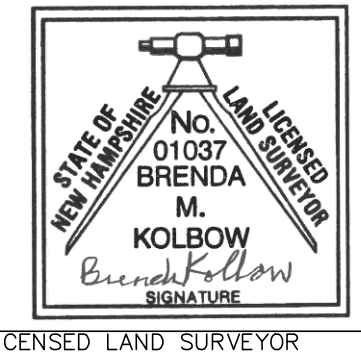


**MAP 143 LOT 22**  
 30,644± S.F.  
 (0.703± ACRES)

**NOTES:**

1. THE PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH OF ASSESSOR'S MAP 143 AS LOT 22.
3. THE PARCEL IS PARTIALLY LOCATED IN ZONES X & AE AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, MAP NUMBER 33015C0259E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
4. OWNER OF RECORD:  
 MAP 143 LOT 22  
 CHARLES & ALLISON DUDAS  
 32 MONTEITH STREET  
 PORTSMOUTH, NH 03801  
 RCRD BK:5876 PG.#1963
5. PARCEL AREA:  
 MAP 143 LOT 22:  
 30,644± S.F.  
 (0.703± ACRES)
6. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
7. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES AND CURRENT SITE CONDITIONS OF MAP 143 LOT 22.
8. FIELD SURVEY COMPLETED BY TCE ON SEPTEMBER 23, 2019 & JANUARY 2020 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
9. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS. VERTICAL DATUM IS NAVD 88 PER STATIC GPS OBSERVATIONS.
10. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
11. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
12. A PORTION OF THIS PARCEL MAY BE SUBJECT TO "THE RIGHT OF THE CITY OF PORTSMOUTH TO MAINTAIN IN AND OVER IT A PUBLIC SEWER AS NOW BUILT AND LOCATED THEREON." AS RECORDED IN RCRD BK.#786 PG.#69 AND BK.#1896 PG.# 406.
13. JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON SEPTEMBER 23, 2019 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFMORAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3). NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEWPPCC), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010. DOMINANCE OF HYDROPHITIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013, (VER. 3.1).

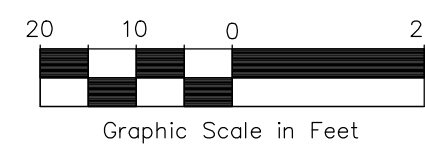
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED SEPTEMBER 23, 2019 & IN JANUARY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



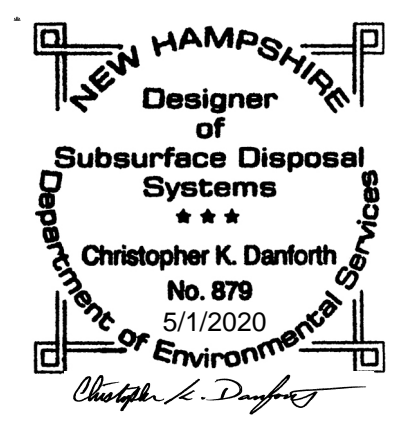
05-01-2020  
DATE



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 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



REV.	DATE	DESCRIPTION	DR	CK



TAX MAP 143 LOT 22  
**SKETCH PLAN**  
**DUDAS RESIDENCE**  
 32 MONTEITH STREET  
 PORTSMOUTH, NEW HAMPSHIRE  
 COUNTY OF ROCKINGHAM  
 OWNER  
**CHARLES & ALLISON DUDAS**

SCALE: 1" = 20' (22x34)  
 1" = 40' (11x17)

JANUARY 28, 2020

**TFM** **MSC**  
 A division of TFMoran, Inc.

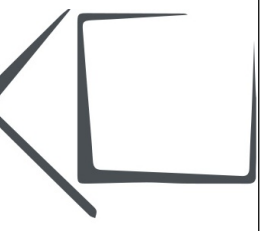
Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

47375-00	DR	FB
	CK	CADFILE

May 01, 2020 - 10:46am  
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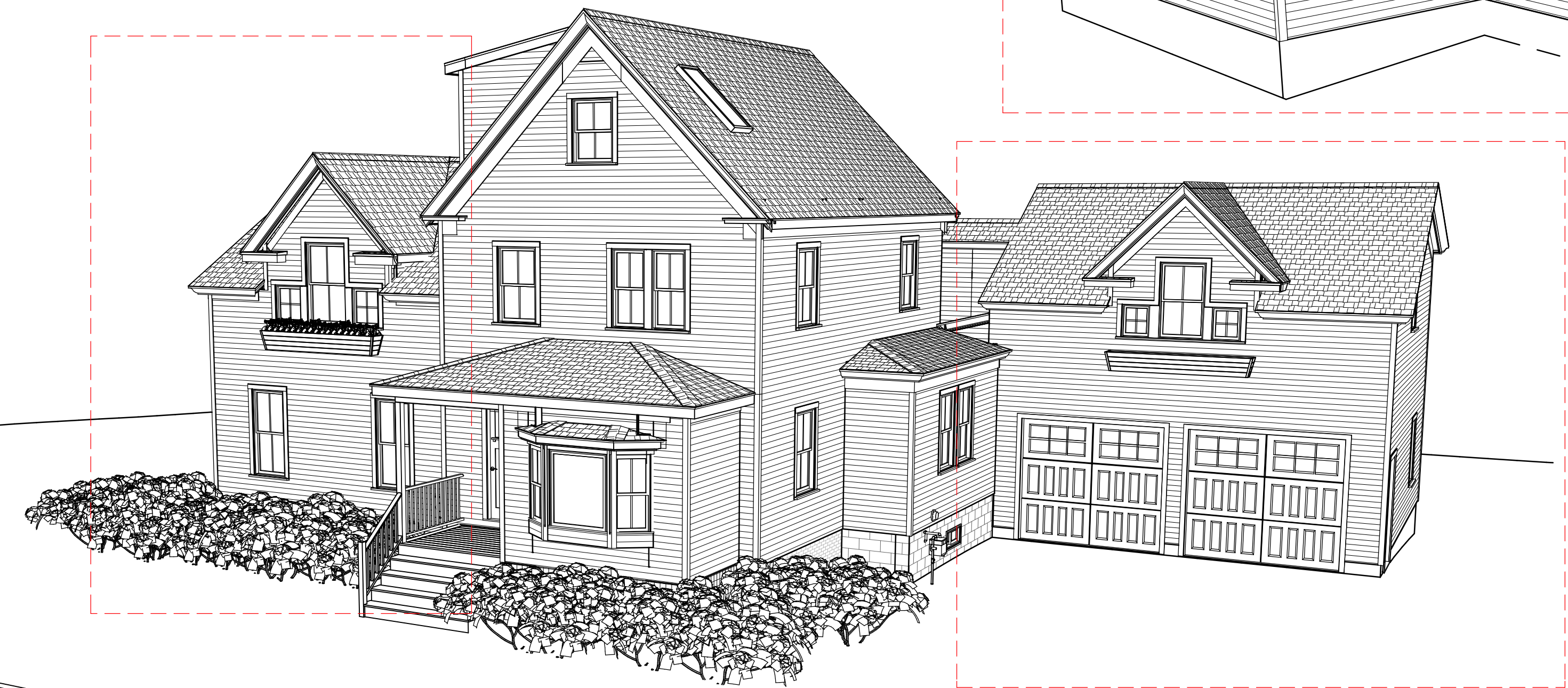




# OVERVIEW

**DRAWING INDEX**

1	OVERVIEW
2	SITE PLAN
3	DEMO
4	FOUNDATION
5	FIRST FLOOR
6	SECOND FLOOR
7	ROOFS
8	ELEVATIONS
9	ELEVATIONS
10	SECTIONS
11	FRAMING
12	FRAMING
13	FRAMING
14	ELECTRICAL



## OVERVIEW

SCALE: 1/4" = 1'-0"

### SPECIFICATIONS + NOTES

- \*ROOFING MATERIAL: TO MATCH EXISTING
- \*ALL TRIM PACKAGE: TO MATCH EXISTING
- \*SIDING: TO MATCH EXISTING
- \*BRACKETS: TO MATCH EXISTING
- \*STAIR SYSTEM:

- \_EXTERIOR:
  - \*BROSCO: Liberty Extruded Rail System
  - \*RISER: AZEC- WHITE
  - \*TREAD: SELECTWOOD, ZURI "Weathered

- Grey"
  - \_INTERIOR:
    - \*NEWEL
    - \*HANDRAIL
    - \*BALUSTERS
    - \*RISER FINISH
    - \*TREAD

- \*WINDOWS:
  - \_MANUFACTURER:
  - \_EXT. FINISH:
  - \_INT. FINISH:
- \*DOORS:
  - \_MANUFACTURER:
  - \_EXT. FINISH:
  - \_INT. FINISH:

- \*FLOORING:
  - \_1ST FLOOR: WOOD
  - \_2ND FLOOR: WOOD
  - \_REFINISH AREAS:

- \*KITCHEN:
  - \_CABINETS: SPEC TO BE PREPARED
- \*MANTLE:
  - \_BUILT-IN IN GREATROOM AND AROUND FIREPLACE

- \*FIREPLACE:
  - \_GAS
  - \_WOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK
  - \_HEARTH: RAISED VS. FLUSH
  - \*MATERIAL:

- NOTES:
  - \*CEILING HEIGHTS: 1ST FLOOR: 8'-6" | 2ND FLOOR: 7'-8"
  - \*CORNER BOARDS: TO MATCH EXISTING
  - \*WATER TABLE: TO MATCH EXISTING
  - \*RAKE BOARD: TO MATCH EXISTING
  - \*SOFFIT - TO MATCH EXISTING
  - \*ROOF VENT - TO MATCH EXISTING
  - \*WINDOW TRIM: TO MATCH EXISTING

- GENERAL NOTES:
  1. DO NOT SCALE DRAWINGS
  2. ALL TRASH GENERATED BY THE CONTRACTOR WILL BE PLACED IN A TRASH CONTAINER PROVIDED BY THE CONTRACTOR ON SITE AT THE END OF EACH DAY.
  3. VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIAL. NOTIFY DESIGNER OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.
  4. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE PERFORMED BY SUB-CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR AND INTERIOR DESIGNER WITH RESPECT TO LIGHTING AND CEILING DETAILS.
  5. COORDINATE ALL ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING, FLOOR, AND WALL SPACES. VERIFY LOCATIONS WITH DESIGNER.
  6. IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO COMPLETE THE WORK WITHIN THE RECOGNIZED STANDARDS OF THE CONSTRUCTION INDUSTRY.

**CLIENT:**  
Charles and Allison Dudas  
32 Monteth Street  
Portsmouth, NH

**CONTACT:**  
AMY DUTTON HOME  
4 WALKER STREET | KITTERY, ME  
amy@duttonhome.com  
207.703.0696

**DATE:**

1/26/22

**SCALE:**

SCALED FOR:  
24" X 36"

DRAWING SCALE  
N.T.S

**SHEET:**

A1

# CALCULATIONS

## ZONING MAXIMUMS:

front setback: 15'  
 rear setback: 20'  
 side setbacks: 10'  
 lot coverage: 25%

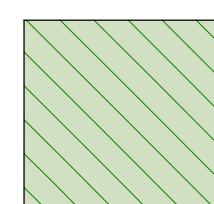
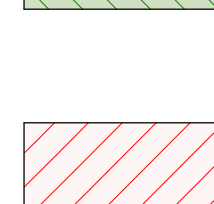
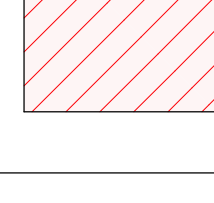
## EXISTING CONDITIONS:

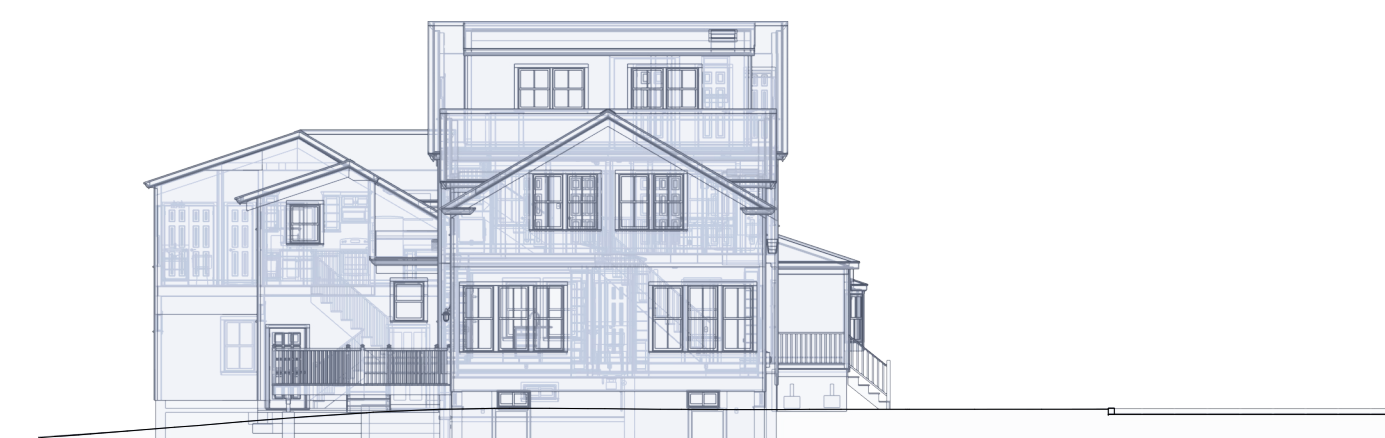
LOT SIZE: 0.70 ACRES  
 GROSS SF: 2,544  
 LIVABLE SF: 1,534  
 FIRST FLOOR: 694 SF  
 UPPER STORY: 560 SF  
 HALF STORY: 280 SF  
 EXISTING SETBACKS:  
 FRONT: 6 FT, SECONDARY FRONT: 90 FT  
 REAR: 129 FT (TO GARAGE)  
 LEFT: 35 FT TO WETLAND  
 RIGHT: 2 FT (TO SHED)  
 EXISTING LOT COVERAGE:  $809 + 496 + 130 = 1435 / 30644 = 4.7\%$   
 EXISTING PARCEL AREA: 0.033 ACRES

## PROPOSED CONDITIONS:

LIVABLE SF: 2,655  
 FIRST FLOOR: 1321 SF  
 UPPER STORY: 1054 SF  
 HALF STORY: 280 SF  
 PROPOSED SETBACKS:  
 FRONT: 6 FT  
 REAR: 20 FT  
 LEFT: 47 FT TO WETLAND  
 RIGHT: 8 FT  
 PROPOSED LOT COVERAGE:  $762 + 497 + 285 + 710 + 130 = 2384 / 30644 = 7.7\%$   
 PROPOSED PARCEL AREA: 0.055 ACRES

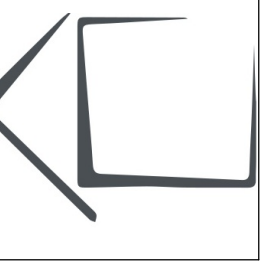
# SITE PLAN LEGEND

-  = ADDITION & DECK ~ 778 SF
-  = GARAGE / MUDROOM ~ 710 SF
-  = GARAGE AND SHED TO BE REMOVED ~ 630 SF



# SITE PLAN

SCALE: 1" = 20'-0"



# SITE PLAN

## DRAWING INDEX

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- 5 FIRST FLOOR
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- 7 ROOFS
- 8 ELEVATIONS
- 9 ELEVATIONS
- 10 SECTIONS
- 11 FRAMING
- 12 FRAMING
- 13 FRAMING
- 14 ELECTRICAL

## CLIENT:

Charles and Allison Dudas  
 32 Monteith Street  
 Portsmouth, NH

## CONTACT:

AMY DUTTON HOME  
 4 WALKER STREET | KITTERY, ME  
 amy@amyduttonhome.com  
 207.703.0696

## DATE:

1/26/22

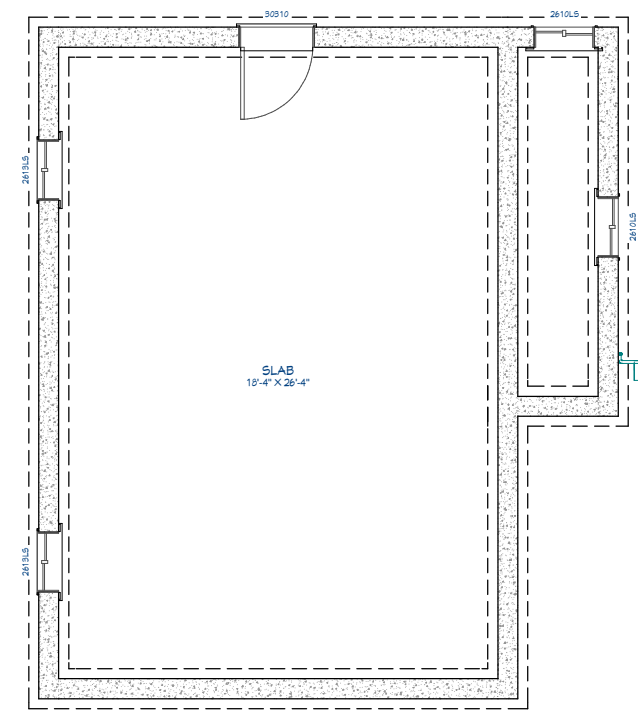
## SCALE:

SCALED FOR:  
 24" X 36"

## DRAWING SCALE

## SHEET:

A2



LIVING AREA  
1100.00

### EXISTING FOUNDATION PLAN

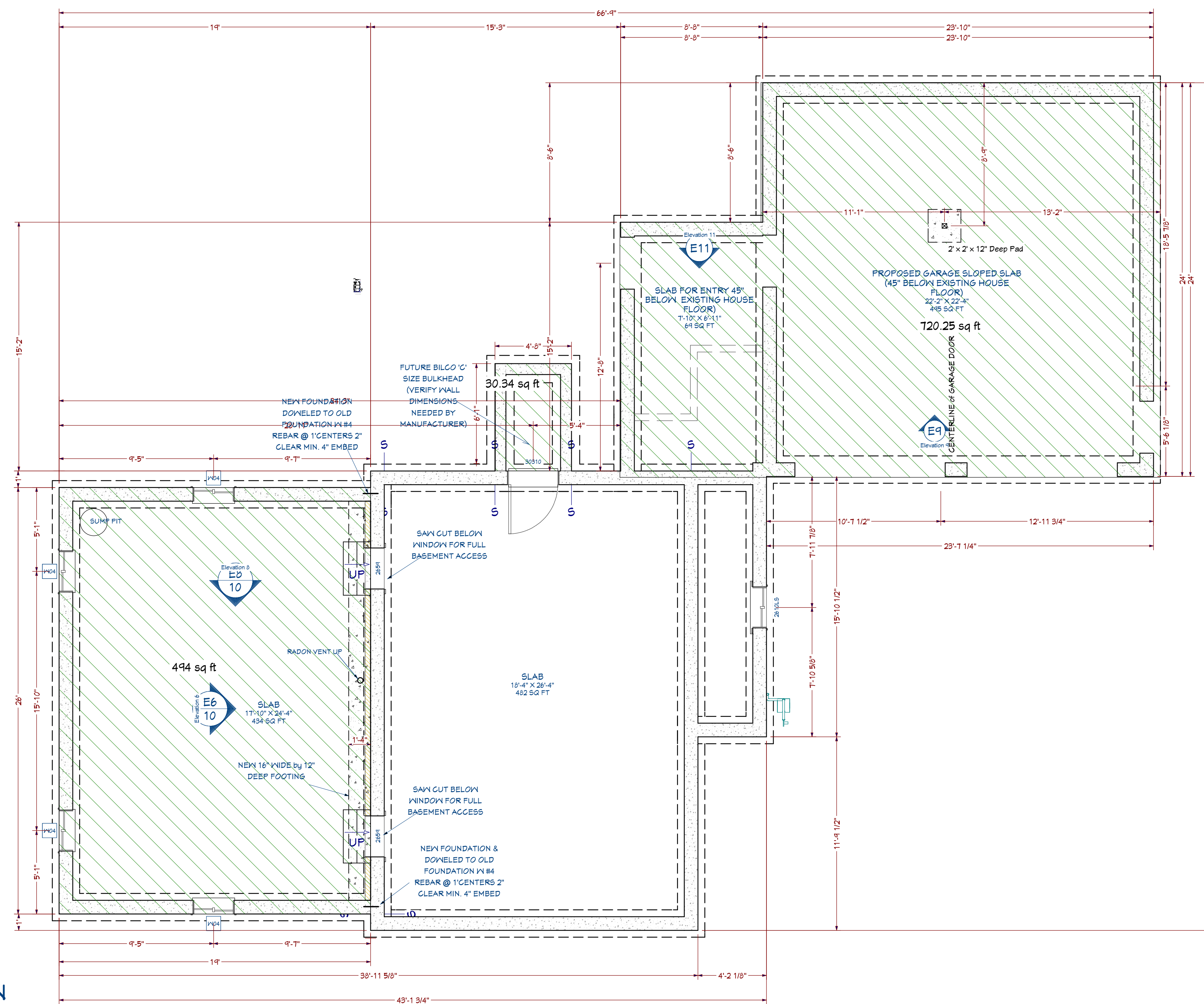
SCALE: 1/8" = 1'-0"

**WINDOW NOTES:**

- 1 WINDOW INTERIOR WITH GLAD EXTERIOR
- 2 FULL SCREENS ON ALL WINDOWS
- 3 INTERIOR WINDOW COLOR: TBD
- 4 EXTERIOR WINDOW COLOR: TBD
- 5 HARDWARE MATERIAL: TBD
- 6 MANUFACTURER: MARVIN ELEVATE (WOOD, GLAD) ESSENTIAL (GLAD, CLAD), SIGNATURE COLLECTION
- 7 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES
- 8 BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44" OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 3'3" SOFFIT WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" AS TO MEET EGRESS

**DOOR NOTES:**

- 1 DOORS SHALL BE 96"
- 2 ALL DOORS SHALL BE SOLID CORE 1-3/4" THICK
- 3 INTERIOR DOORS SHALL BE FTD. OR STAINED, VERIFY WITH DESIGNER
- 4 DOORS BETWEEN GARAGE AND LIVING AREA SHOULD BE 1-3/4" TIGHT FITTING SOLID CORE DOORS
- 5 EXTERIOR EXT. DOORS SHALL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE
- 6 GARAGE DOORS TO BE SECTIONAL INSULATED, OVERHEAD DOORS. GLASS PANELS TO BE INSULATED
- 7 ALL GLAZING WITHIN 18IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR ARE TO HAVE SAFETY GLAZING
- 8 ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- 9 BARN DOORS, MEASURE TO FIT OPENINGS. ALL HARDWARE TO BE STAINLESS



**GENERIC WINDOW SCHEDULE (VERIFY R.O. FROM MANUFACTURER)**

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS
W01	1933SC	2	1	1933SC	21"	39"	
W02	7148MU	1	2	7148	85"	56"	
W03	2024FX	4	2	2024FX	24"	28"	
W04	2613LS	4	0	2613LS	30"	15"	
W06	2656DH	8	1	2656DH	30"	65 1/2"	
W07	3050DH	2	2	3050DH	36"	60"	YES
W08	5448MU	2	2	5448	64"	55 1/2"	
W09	5636MU	1	3	5636	66"	42"	
W10	5636MU	1	3	5636	66 7/16"	42"	
W11	61056MU	1	1	61056	82"	65 1/2"	

**GENERIC DOOR SCHEDULE (VERIFY R.O. FROM MANUFACTURER)**

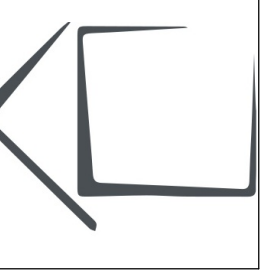
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
D01	2268	1	2	2268 L IN	26"	80"
D02	2468	1	2	2468 R IN	28"	80"
D03	2868	2	2	2868 L IN	32"	80"
D04	2878	1	1	2878 L EX	32"	92"
D05	2268	1	2	2268 R	26"	80"
D06	2468	1	2	2468 L	28"	80"
D07	2668	2	2	2668 L IN	30"	80"
D08	1968	1	2	1968 R IN	21"	80"
D09	2068	1	2	2068 R IN	24"	80"
D10	1768	1	1	1768 R IN	19"	80"
D11	3668	1	1	3668 L/R IN	42"	80"
D12	2068	1	1	2068 L	24"	80"
D13	3068	1	2	3068 L EX	36"	80"
D14	4068	1	2	4068 L/R IN	48"	80"
D15	2668	1	2	2668 R IN	30"	80"
D17	9080	2	1	9080	108"	96"

**LEGEND**

= ADDITION

### PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



### FOUNDATION

**DRAWING INDEX**

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**CLIENT:**  
Charles and Allison Dudas  
32 Monteth Street  
Fortsmouth, NH

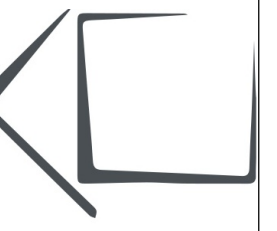
**CONTACT:**  
AMY DUTTON HOME  
4 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.703.0696

**DATE:**  
1/26/22

**SCALE:**  
SCALED FOR:  
24" X 36"

**DRAWING SCALE**  
1/4" = 1'-0"

**SHEET:**  
A4



FIRST FLOOR

DRAWING INDEX

- 1 OVERVIEW
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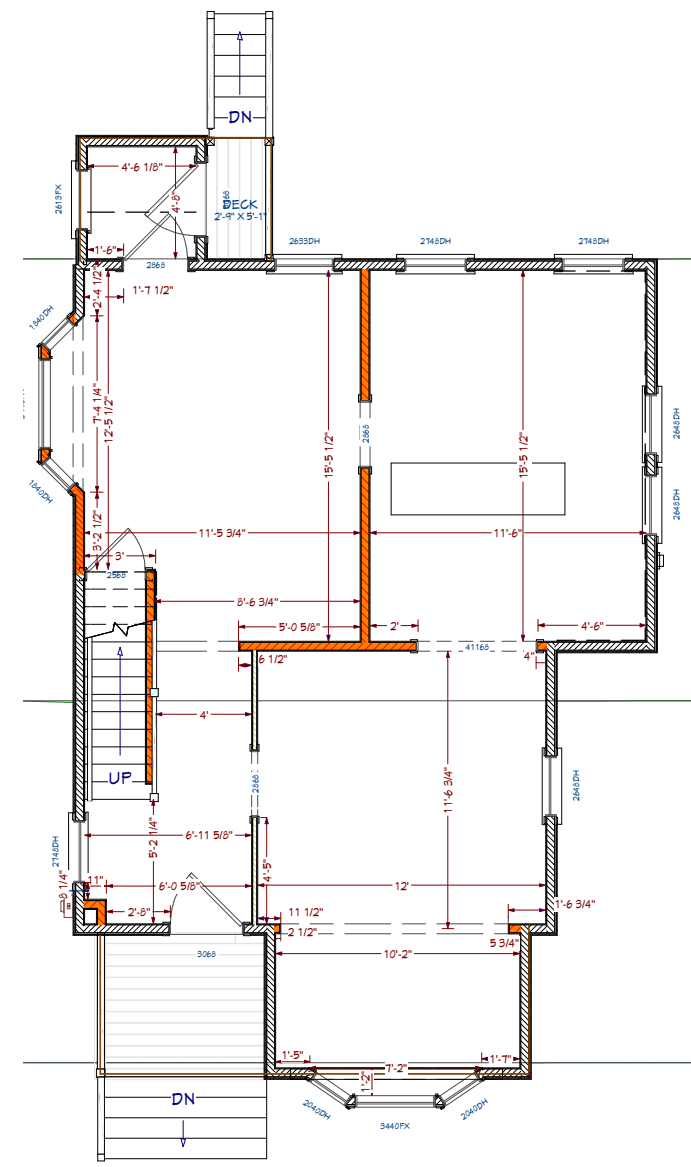
SCALE:

SCALED FOR:  
24" X 36"

DRAWING SCALE  
1/4" = 1'-0"

SHEET:

A5



EXISTING FIRST FLOOR PLAN

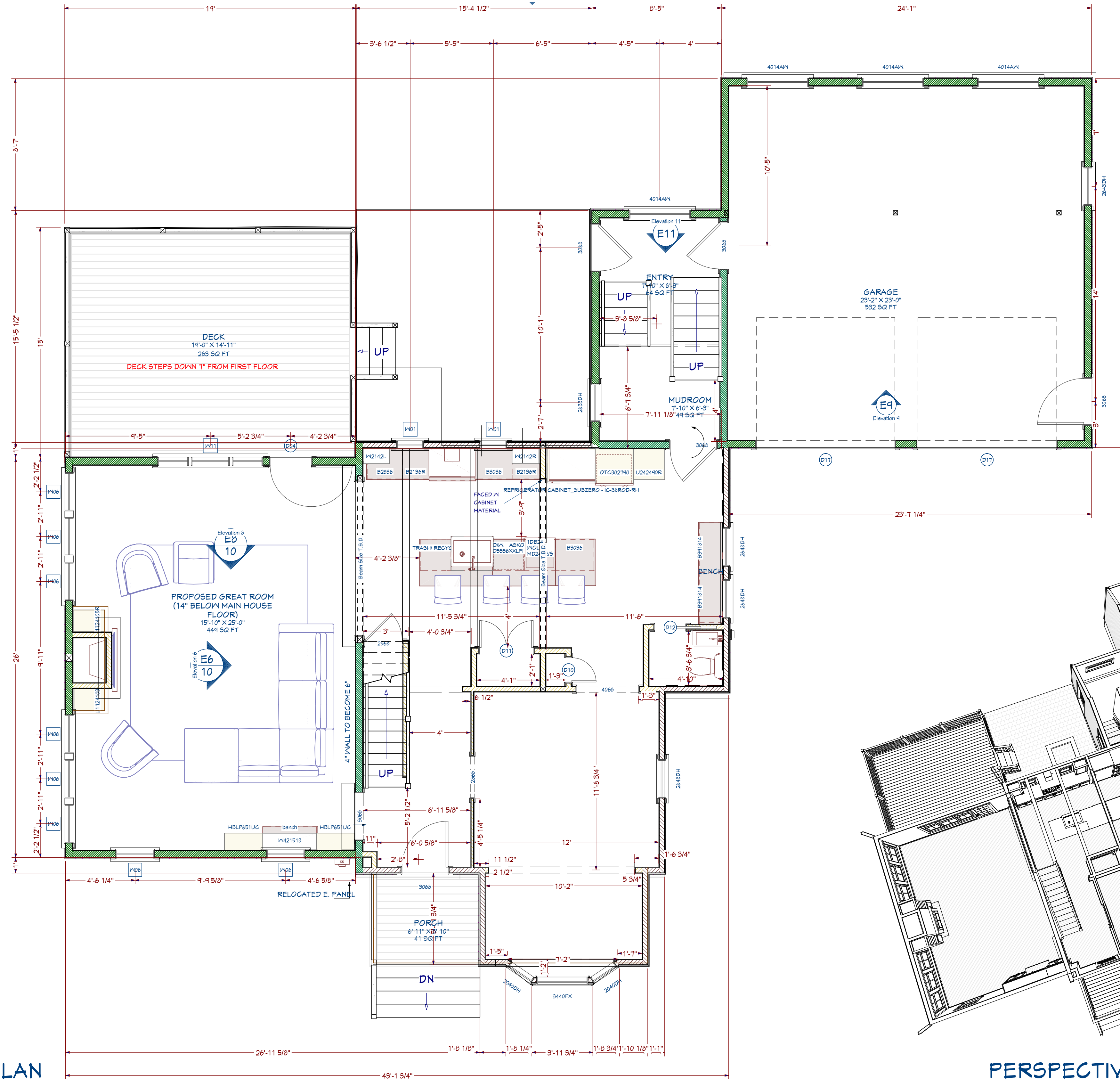
SCALE: 1/8" = 1'-0"

WINDOW NOTES:

- 1 WOOD INTERIOR WITH GLAD EXTERIOR
- 2 FULL SCREENS ON ALL WINDOWS
- 3 INTERIOR WINDOW COLOR: TBD
- 4 EXTERIOR WINDOW COLOR: TBD
- 5 HARDWARE MATERIAL: TBD
- 6 MANUFACTURER: MARVIN ELEVATE (WOOD, GLAD) ESSENTIAL (GLAD, CLAD), SIGNATURE COLLECTION
- 7 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES
- 8 BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44" OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 3'3" SOFFIT WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" AS TO MEET EGRESS

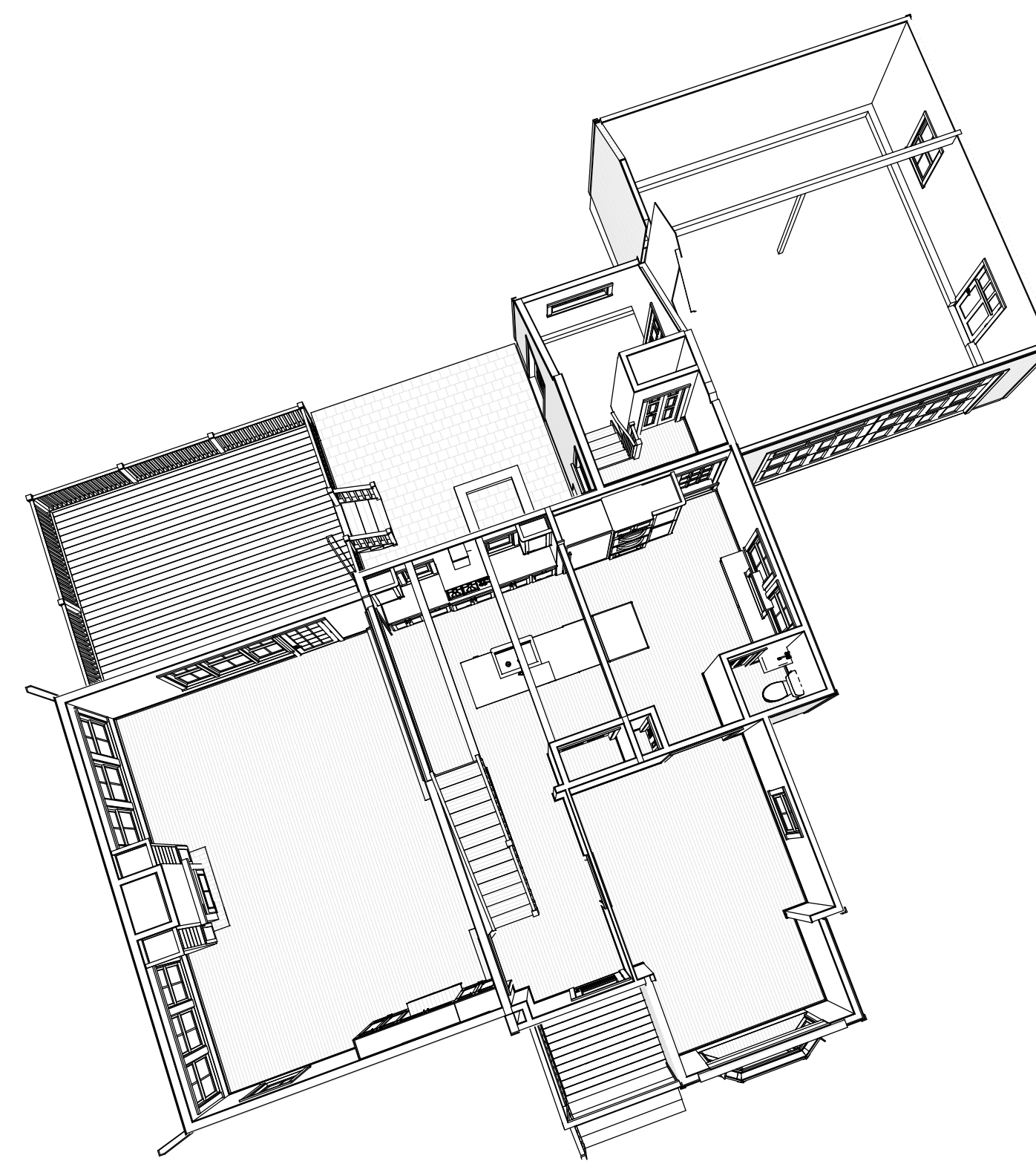
DOOR NOTES:

- 1 DOORS SHALL BE 46"
- 2 ALL DOORS SHALL BE SOLID CORE 1-3/4" THICK
- 3 INTERIOR DOORS SHALL BE FTD. OR STAINED, VERIFY WITH DESIGNER
- 4 DOORS BETWEEN GARAGE AND LIVING AREA SHOULD BE 1-3/4" TIGHT FITTING SOLID CORE DOORS
- 5 EXTERIOR EXIT DOORS SHALL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE
- 6 GARAGE DOORS TO BE SECTIONAL INSULATED, OVERHEAD DOORS. GLASS PANELS TO BE INSULATED
- 7 ALL GLAZING WITHIN 36" OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR ARE TO HAVE SAFETY GLAZING
- 8 ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- 9 BARN DOORS, MEASURE TO FIT OPENINGS. ALL HARDWARE TO BE STAINLESS



GENERIC WINDOW SCHEDULE (VERIFY R.O. FROM MANUFACTURER)							
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS
W01	1433SC	2	1	1433SC	21"	34"	
W02	T148MU	1	2	T148	85"	56"	
W03	2024FX	4	2	2024FX	24"	28"	
W04	2613LS	4	0	2613LS	30"	15"	
W06	2656DH	8	1	2656DH	30"	65 1/2"	
W07	3050DH	2	2	3050DH	36"	60"	YES
W08	5448MU	2	2	5448	64"	55 1/2"	
W09	5636MU	1	3	5636	66"	42"	
W10	5636MU	1	3	5636	66 7/16"	42"	
W11	61056MU	1	1	61056	82"	65 1/2"	

GENERIC DOOR SCHEDULE (VERIFY R.O. FROM MANUFACTURER)						
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
D01	2268	1	2	2268 L IN	26"	80"
D02	2468	1	2	2468 R IN	28"	80"
D03	2868	2	2	2868 L IN	32"	80"
D04	2878	1	1	2878 L EX	32"	42"
D05	2268	1	2	2268 R	26"	80"
D06	2468	1	2	2468 L	28"	80"
D07	2668	2	2	2668 L IN	30"	80"
D08	1968	1	2	1968 R IN	21"	80"
D09	2068	1	2	2068 R IN	24"	80"
D10	1768	1	1	1768 R IN	19"	80"
D11	3668	1	1	3668 L/R IN	42"	80"
D12	2068	1	1	2068 L	24"	80"
D13	3068	1	2	3068 L EX	36"	80"
D14	4068	1	2	4068 L/R IN	48"	80"
D15	2668	1	2	2668 R IN	30"	80"
D17	4080	2	1	4080 R	108"	46"



PERSPECTIVE VIEW

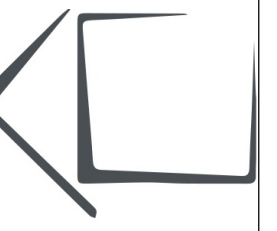
SCALE: NTS

WALL LEGEND

- = EXISTING EXTERIOR WALL
- = NEW EXTERIOR WALL
- = INTERIOR 6
- = EXISTING INTERIOR 4
- = NEW INTERIOR 4
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL

PROPOSED FIRST FLOOR PLAN

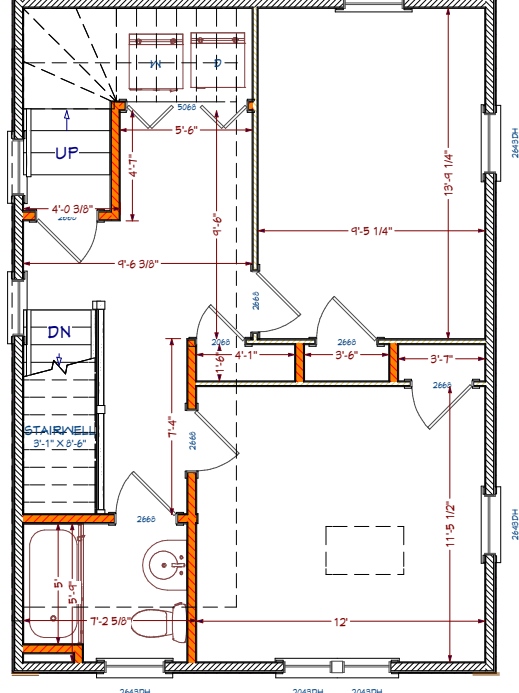
SCALE: 1/4" = 1'-0"



SECOND FLOOR

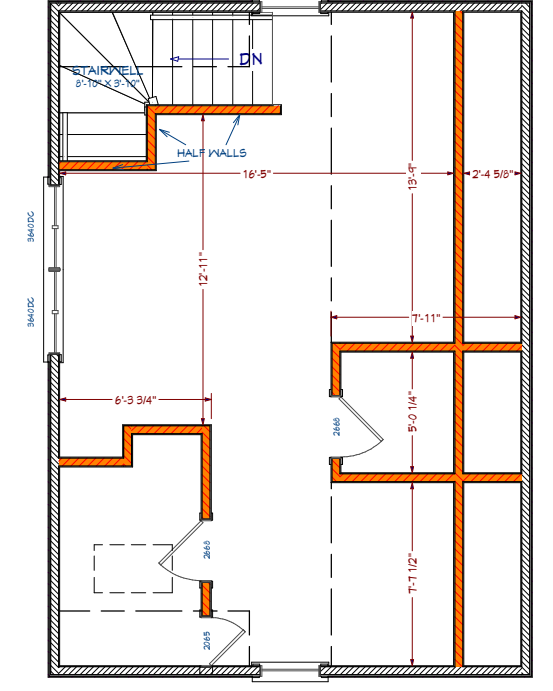
GENERIC WINDOW SCHEDULE (VERIFY R.O. FROM MANUFACTURER)							
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS
W01	1933SC	2	1	1933SC	21"	39"	
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W03	2024FX	4	2	2024FX	24"	28"	
W04	2613LS	4	0	2613LS	30"	15"	
W06	2656DH	8	1	2656DH	30"	65 1/2"	
W07	3050DH	2	2	3050DH	36"	60"	YES
W08	5448MU	2	2	5448	64"	55 1/2"	
W09	5636MU	1	3	5636	66"	42"	
W10	5636MU	1	3	5636	66 7/16"	42"	
W11	61056MU	1	1	61056	82"	65 1/2"	

GENERIC DOOR SCHEDULE (VERIFY R.O. FROM MANUFACTURER)						
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
D01	2268	1	2	2268 L IN	26"	80"
D02	2468	1	2	2468 R IN	28"	80"
D03	2868	2	2	2868 L IN	32"	80"
D04	2878	1	1	2878 L EX	32"	92"
D05	2268	1	2	2268 R	26"	80"
D06	2468	1	2	2468 L	28"	80"
D07	2668	2	2	2668 L IN	30"	80"
D08	1968	1	2	1968 R IN	21"	80"
D09	2068	1	2	2068 R IN	24"	80"
D10	1768	1	1	1768 R IN	19"	80"
D11	3668	1	1	3668 L/R IN	42"	80"
D12	2068	1	1	2068 L	24"	80"
D13	3068	1	2	3068 L EX	36"	80"
D14	4068	1	2	4068 L/R IN	48"	80"
D15	2668	1	2	2668 R IN	30"	80"
D17	9080	2	1	9080	108"	96"



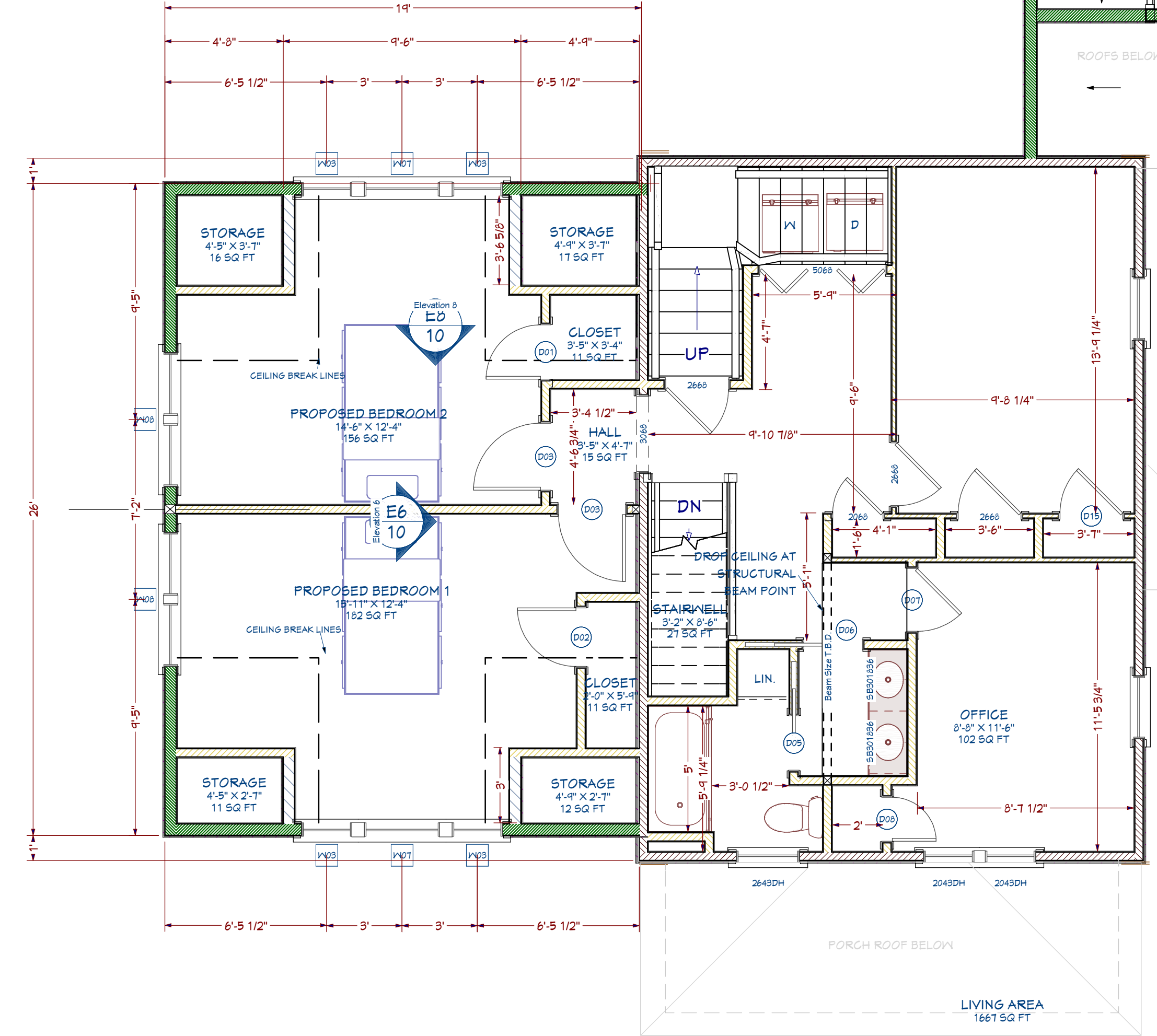
EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



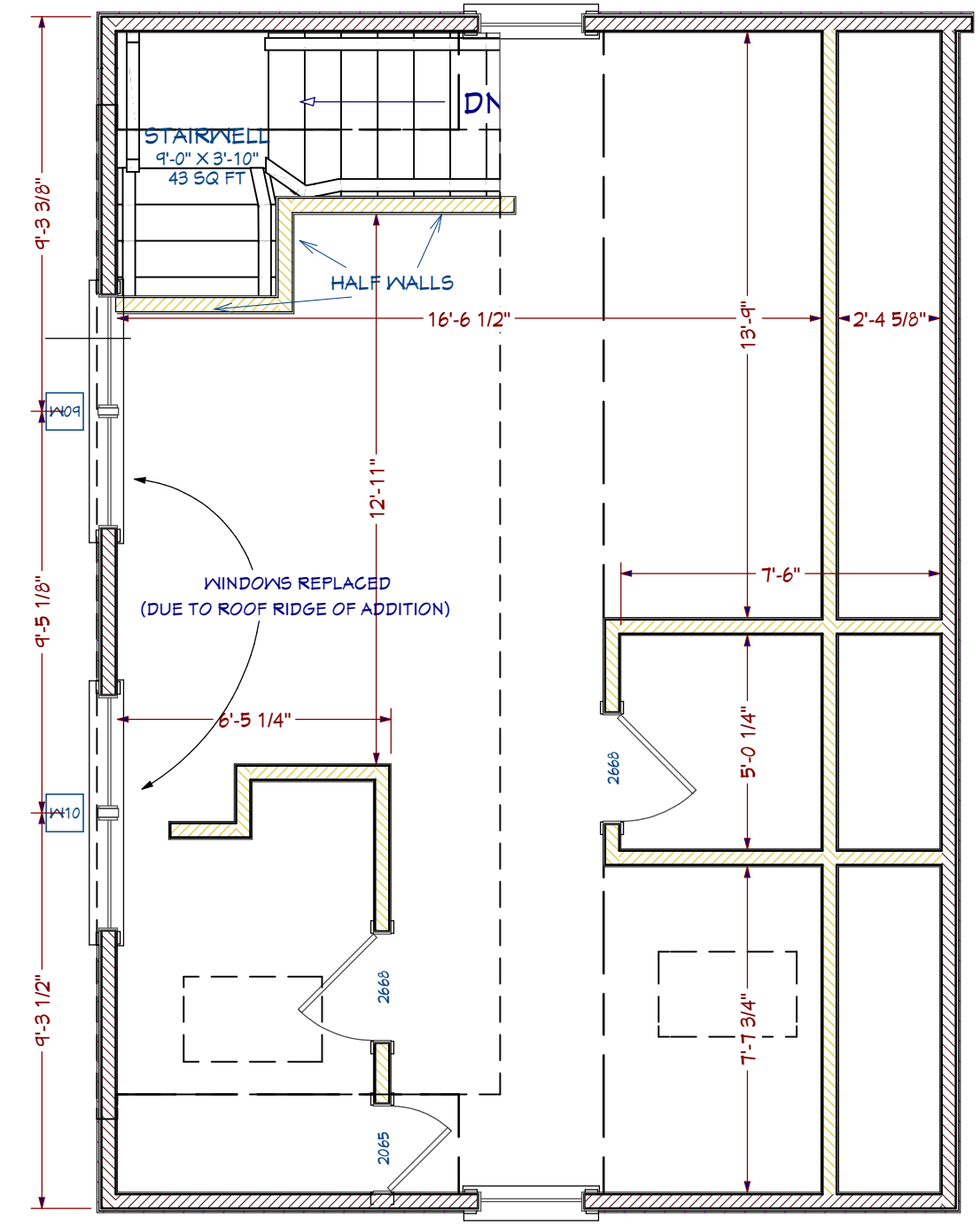
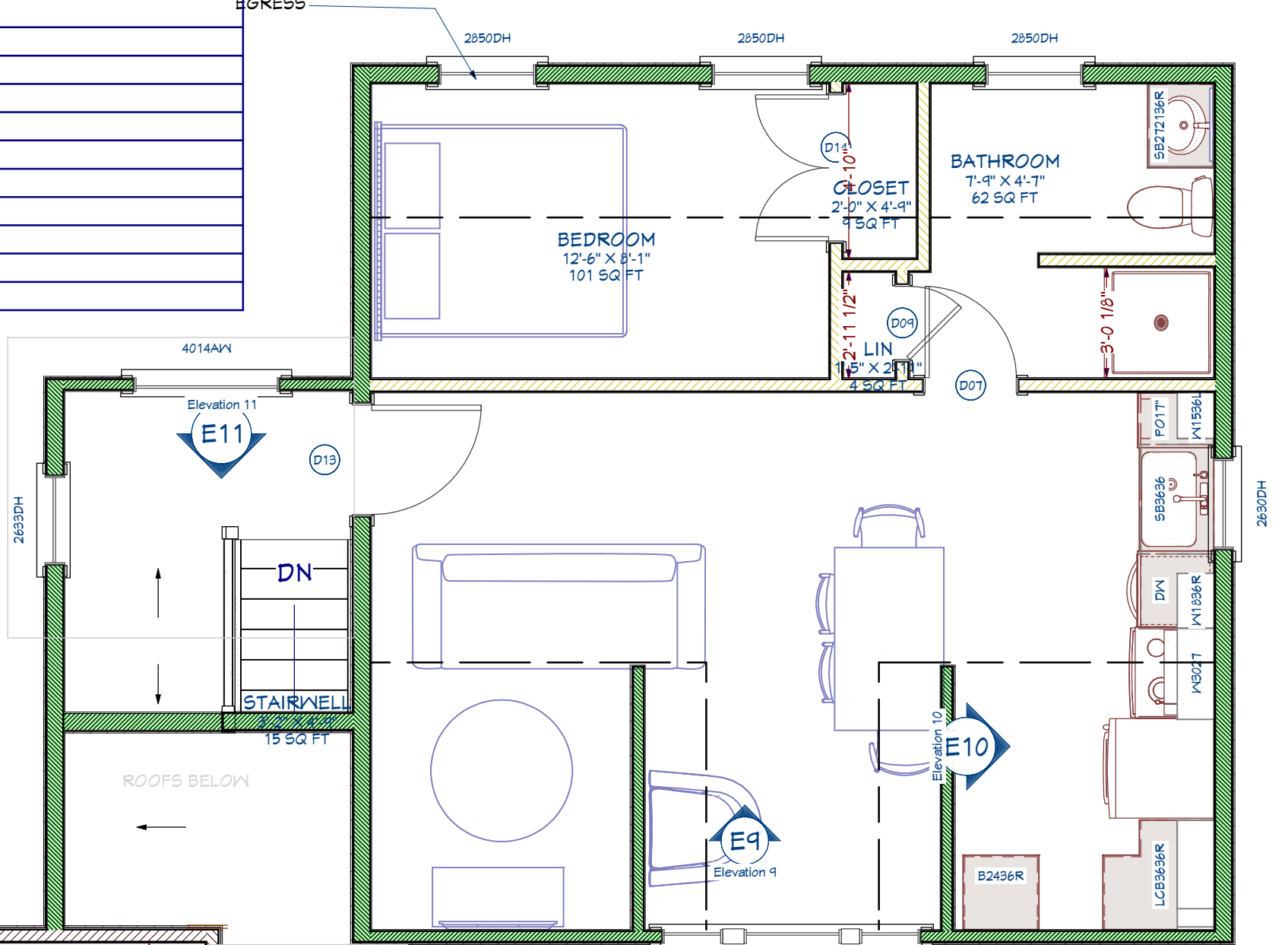
EXISTING THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED SECOND FLOOR & THIRD FLOOR PLAN

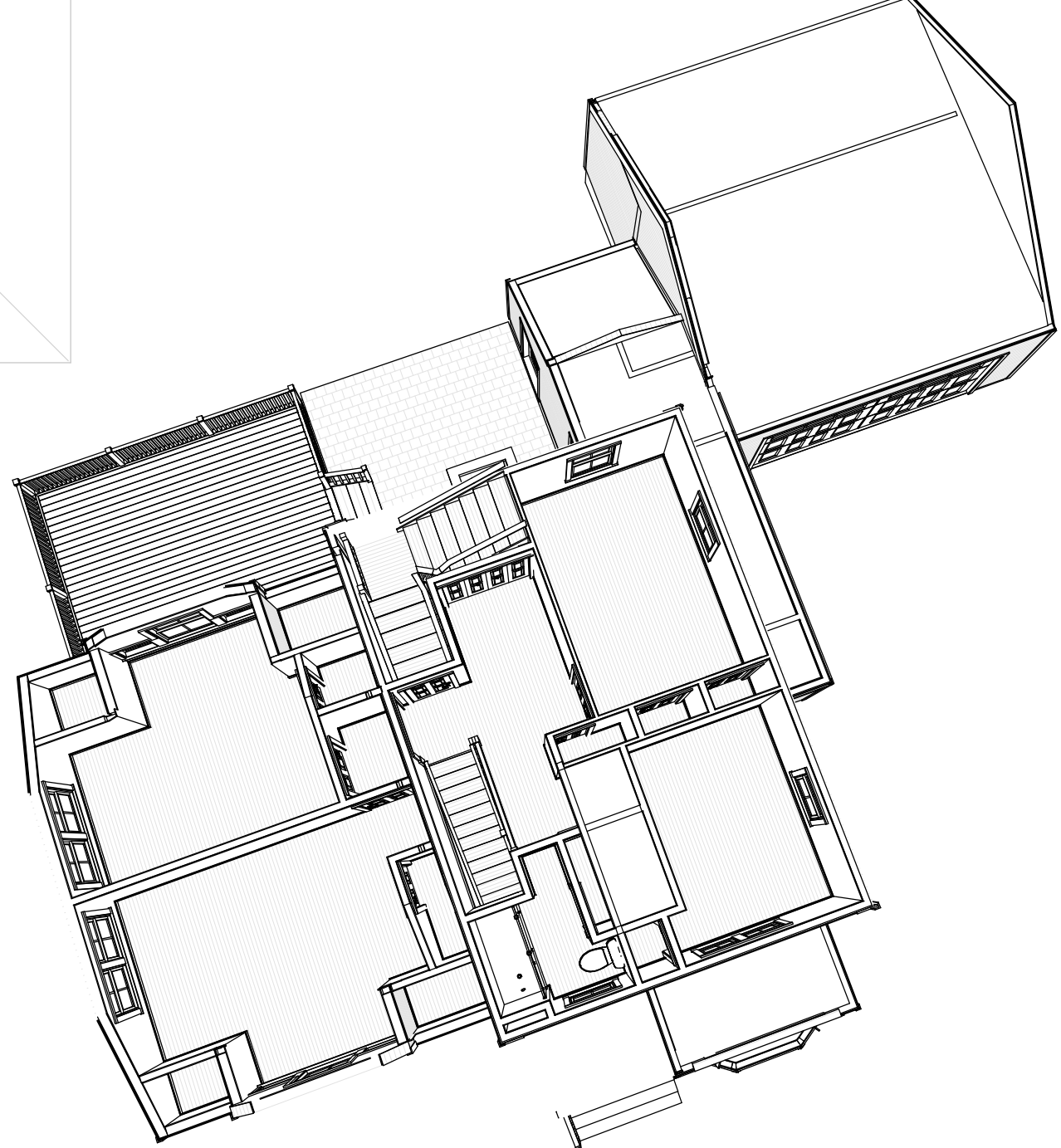
SCALE: 1/4" = 1'-0"



PROPOSED THIRD FLOOR PLAN

WINDOWS CHANGED ONLY

SCALE: 1/4" = 1'-0"



PERSPECTIVE VIEW

SCALE: NTS

**WALL LEGEND**

- = EXISTING EXTERIOR WALL
- = NEW EXTERIOR WALL
- = INTERIOR 6
- = EXISTING INTERIOR 4
- = NEW INTERIOR 4
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL

**DRAWING INDEX**

- 1 OVERVIEW
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4 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.703.0696

DATE:

1/26/22

SCALE:

SCALED FOR:  
24" X 36"

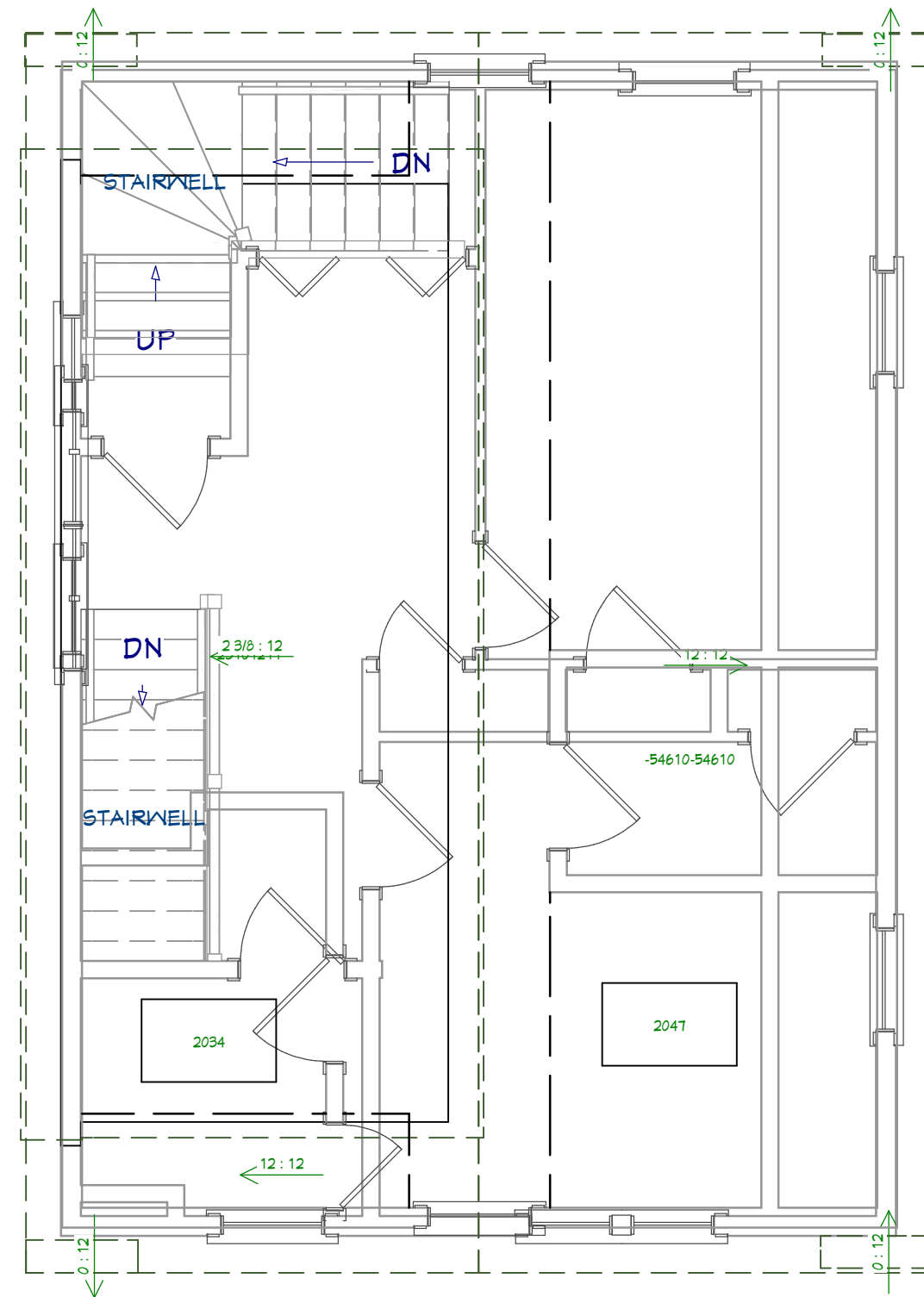
DRAWING SCALE  
1/4" = 1'-0"

SHEET:

A6

**NOTES:**

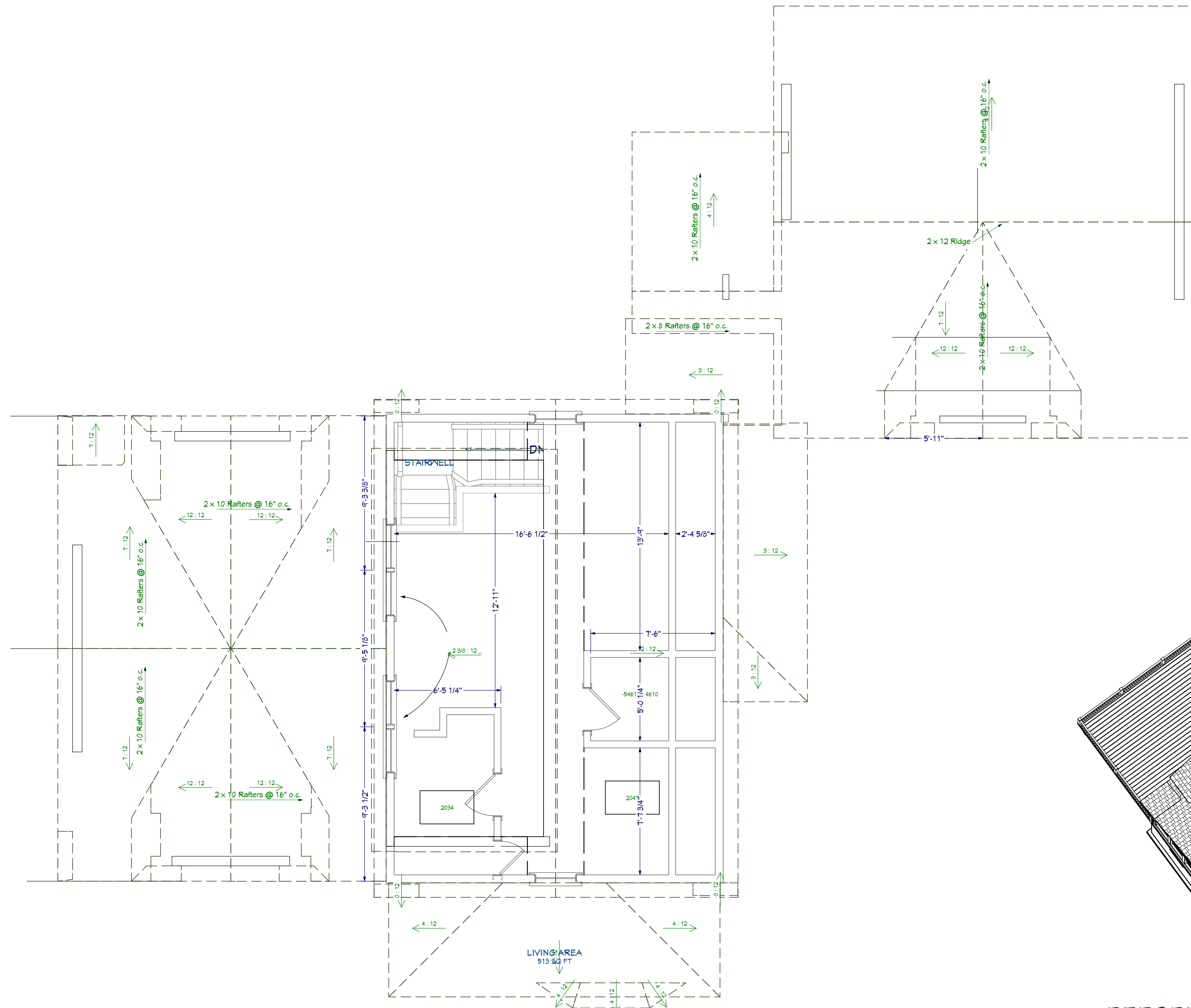
1. PROVIDE 2 X 10 FLOOR JOISTS AT 16" o.c. TYPICAL
2. INTERIOR NON-BEARING STUD WALLS ARE 2 X 4 AT 16" o.c.
3. INTERIOR BEARING WALLS ARE 2 X 6 AT 16" o.c. #5-2 OR BETTER
4. HEADERS FOR DOORS AND WINDOWS UP TO 6 FEET ARE (2) 2 X 10'S
5. ENGINEERED FLOOR BEAM TO BE DESIGNED AND SUBMITTED PRIOR TO CONSTRUCTION BY STRUCTURAL ENGINEER.
6. CEILING JOISTS FOR THE SECOND FLOOR ARE 2X6.
7. EXISTING 3RD FLOOR WALLS ARE GREY
8. ROOF PLANES ARE GREEN



LIVING AREA  
510 SQ FT

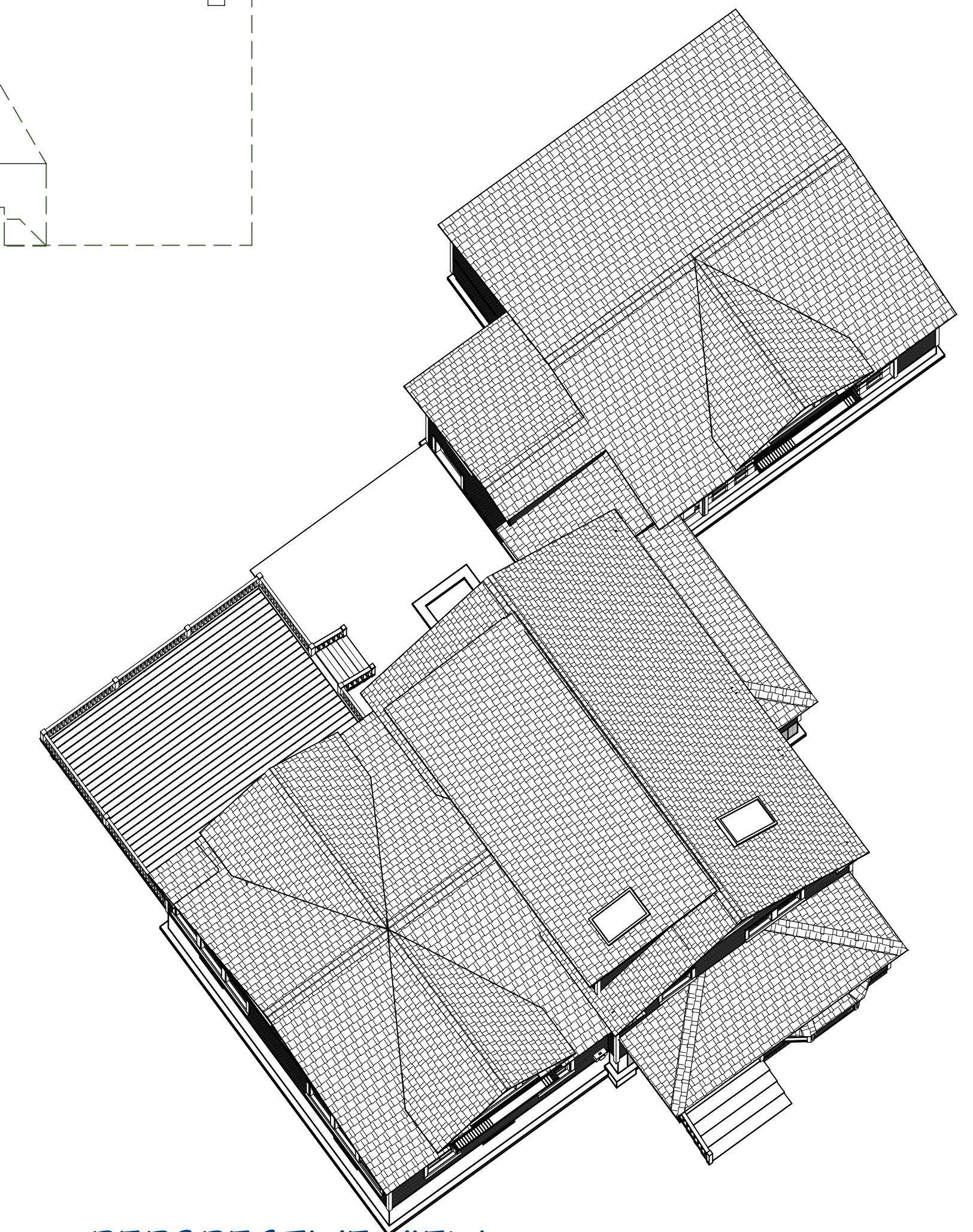
**EXISTING ROOF**

SCALE: 1/8" = 1'-0"



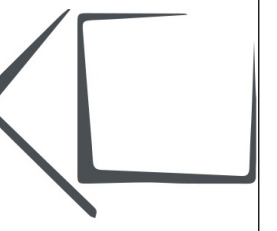
**PROPOSED ROOF PLAN**

SCALE: 1/4" = 1'-0"



**PERSPECTIVE VIEW**

SCALE: NTS



**ROOFS**

**DRAWING INDEX**

- |    |              |
|----|--------------|
| 1  | OVERVIEW     |
| 2  | SITE PLAN    |
| 3  | DEMO         |
| 4  | FOUNDATION   |
| 5  | FIRST FLOOR  |
| 6  | SECOND FLOOR |
| 7  | ROOFS        |
| 8  | ELEVATIONS   |
| 9  | ELEVATIONS   |
| 10 | SECTIONS     |
| 11 | FRAMING      |
| 12 | FRAMING      |
| 13 | FRAMING      |
| 14 | ELECTRICAL   |

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amy@amyduttonhome.com  
207.703.0696

**DATE:**

1/26/22

**SCALE:**

SCALED FOR:  
24" X 36"

**DRAWING SCALE**

1/2" = 1'-0"

**SHEET:**

**A7**



**NORTH ELEVATION | FRONT VIEW**

SCALE: 1/4" = 1'-0"

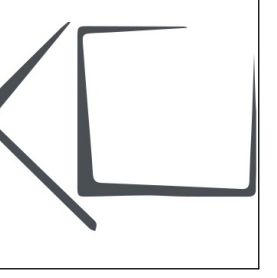


**SOUTH ELEVATION | REAR VIEW**

SCALE: 1/4" = 1'-0"

**TYPICAL NOTES:**

- ASPHALT SHINGLES, TO MATCH EXISTING.
- RIDGE VENT, TO MATCH EXISTING.
- PVC RAKE AND BHADOW TRIM BOARDS, TO MATCH EXISTING.
- PVC TRIM BOARDS, TO MATCH EXISTING
- ALUMINUM OR PVS RAILING SYSTEMS, TO MATCH EXISTING.
- SHINGLE OR CLAPBOARD SIDING ON SHEATHING
- DECORATIVE PVC TRIM
- NEW WINDOWS PER SCHEDULE
- FOUNDATION MATERIAL (IE. STONE VENEER) TO MATCH EXISTING
- NEW FOUNDATION WALLS



**ELEVATIONS**

**DRAWING INDEX**

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5	FIRST FLOOR
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207.703.0696

**DATE:**

1/26/22

**SCALE:**

SCALED FOR:  
24" X 36"

DRAWING SCALE  
1/4" = 1'-0"

**SHEET:**

**A8**  
ELEVATIONS



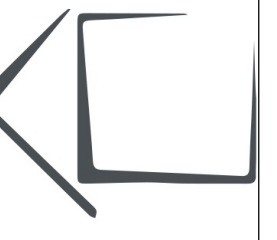
**EAST ELEVATION | SIDEVIEW**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION | SIDEVIEW**

SCALE: 1/4" = 1'-0"



**ELEVATIONS**

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**DATE:**

1/26/22

**SCALE:**

SCALED FOR:  
24" X 36"

DRAWING SCALE  
1/4" = 1'-0"

**SHEET:**

**A9**  
ELEVATIONS





Front View (from Monteith St)



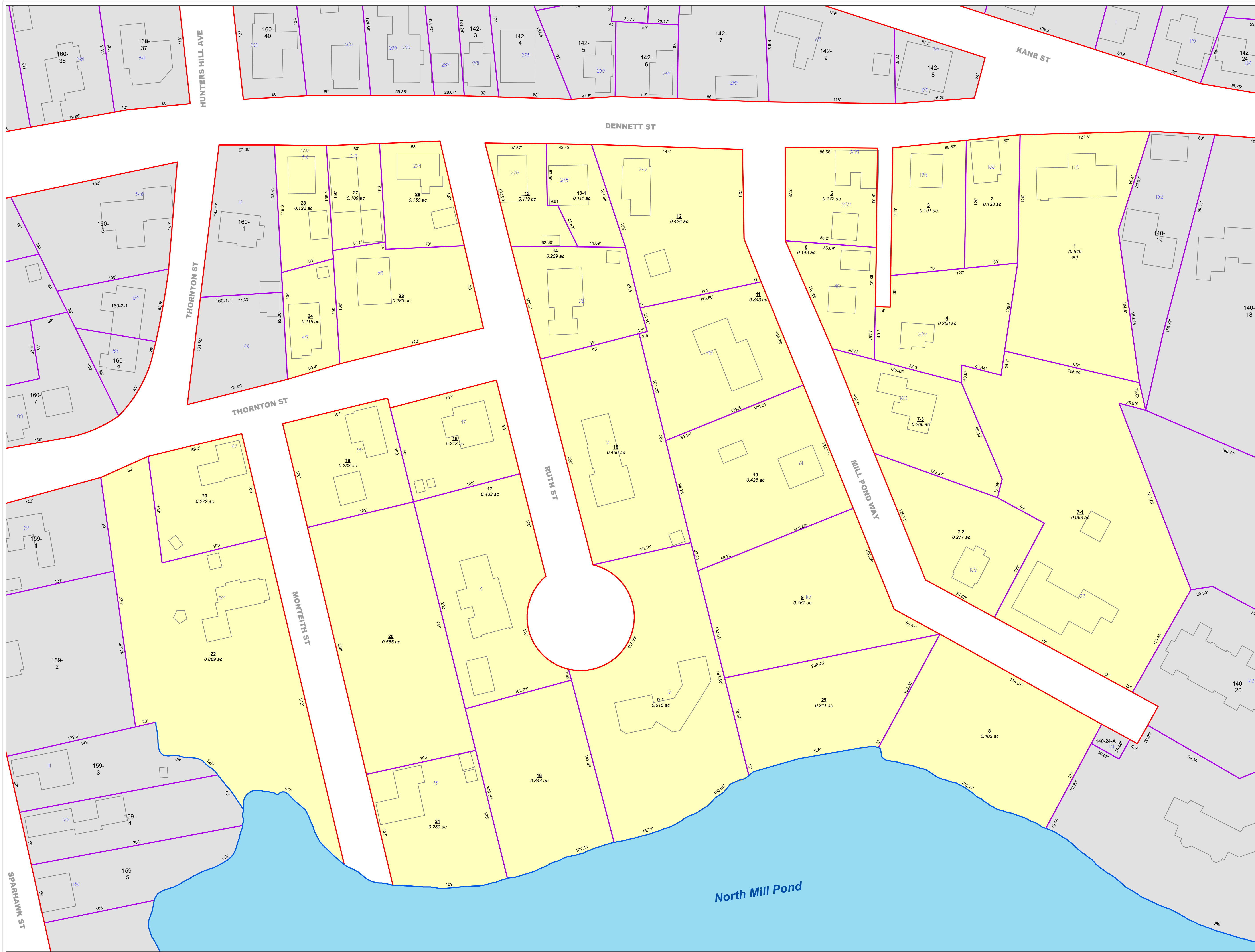
Rear View (towards Monteith St)



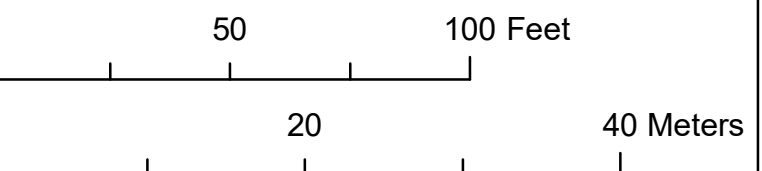
Side View of House & Shed (facing east)



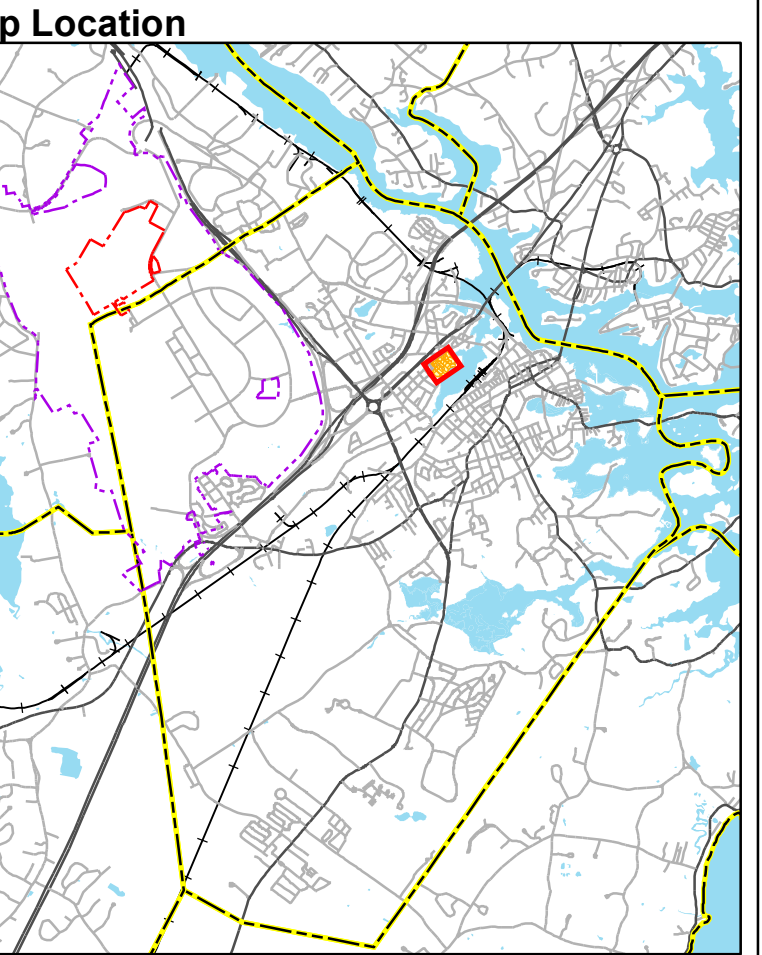
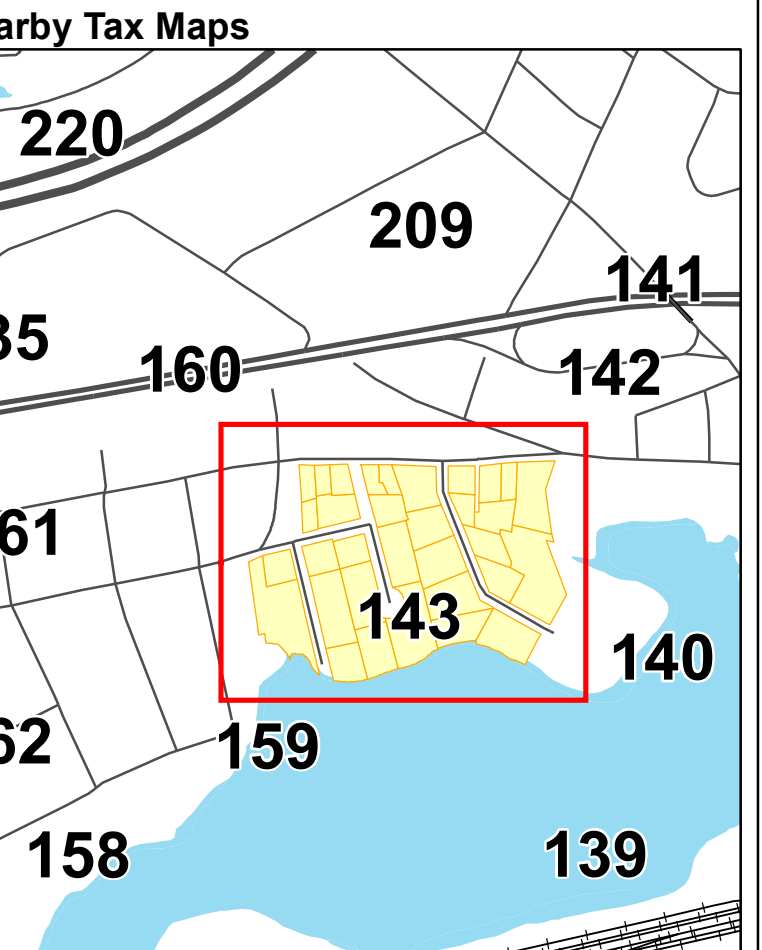
Right Side Neighbors View (facing west)



- Partial Legend**  
See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
  - 2.56 ac Parcel area in acres (ac) or square feet (sf)
  - 25 Address number
  - 233-137 Parcel number from a neighboring map
  - 68' Parcel line dimension
  - Street name
- Parcel/Parcel boundary
  - Parcel/ROW boundary
  - Water boundary
  - Structure (1994 data)
- Parcel covered by this map
  - Parcel from a neighboring map (see other map for current status)



*This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.*



Portsmouth, New Hampshire  
2020  
**Tax Map 143**

**AMBIT ENGINEERING, INC.** CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

30 March 2022

Rick Chellman, Planning Board Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for Design Review Public Hearing at 1 Congress Street, Office and Mixed Use Development**

Dear Mr. Chellman and Planning Board Members:

On behalf of Mark McNabb and One Market Square, LLC we are pleased to submit the attached plan set for **Design Review Public Hearing** for the above-mentioned project and request that we be placed on the agenda for your **April 21, 2022** Planning Board Meeting. The project includes the re-use of the existing commercial buildings at 1 and 3 Congress Street, some existing building demolition, and proposed new construction of a 3 story with a short 4th building to the rear of the existing buildings with the associated and required site improvements. The area behind the existing building is currently a surface parking lot. The surface parking will be lowered to below street level and be included with the new construction.

The site redevelopment consists of maintaining some of the existing uses at 1 and 3 Congress Street (with the possible elimination of the residential units) and constructing an office building to the rear. The property was 2 contiguous lots; the lots have been merged to create a 16,106 square foot development parcel. The properties are in CD – 4, CD – 5, Downtown Overlay, and Historic Districts. The application is anticipated to conform to the required Density and Development Standards with the possible exception of building height.

This applicant seeks Public input under the Design Review Section of the Site Plan Regulations. The upcoming Public Hearing will provide additional feedback to the design team. The team received some comments from the Planning Board at the Conceptual Meeting in February. The team did make some minor edits to the plan set submitted herewith. The walkway connection to the High Hanover Parking Garage is no longer being considered with this application. Some progress has been made in the review of the building at the HDC and minor edits included. The team looks forward to additional feedback on the project from the public prior to the next round of design development.

The following plans are included in our submission:

On Site Improvements

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Standard Boundary Survey Plan – These plans show the existing property boundaries. The survey was performed before the lot merger.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows portions of the existing buildings which will be removed.
- Overall Site Plan C3 – This plan shows the potential site development.
- Utility Plan C4 – This plan shows proposed site utilities. The project will be coordinated with the Fleet Street improvements project.
- Grading Plan C5 – This plan shows proposed site grading. High Street is contemplated to be brought all to one surface level similar to Chestnut Street.
- Context Plan A0 – This plan shows the context of the site surroundings. In the upper left is a diagram showing connectivity of a potential pedestrian network connecting the McIntyre Building to the Worth Parking Lot. This exciting possibility is a part of the developer's vision for the project and will involve public / private cooperation.
- Floor Plans A1 and A2 – These are preliminary on site building layouts; the project is in design review at the HDC.
- Elevations A3 – These are the current preliminary building elevations; the project is in design review at the HDC.
- 3D Views - These are preliminary site renderings; the project is in design review at the HDC.
- Landscape Ideas – This plan shows proposed landscape features for the public spaces for review and comment.

Also included herewith is a Draft Traffic Impact Assessment.

We look forward to the review of this submission and the Planning Boards Public Hearing on this application.

Sincerely,

*John Chagnon*

John R. Chagnon, PE

CC: Mark McNabb, Tracy Kozak, Terrance Parker, FX Bruton

## TECHNICAL MEMORANDUM

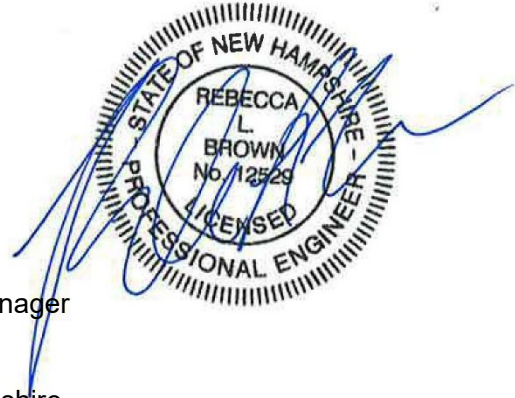
**REF:** NEX-2200015.00

**DATE:** March 4, 2022

**TO:** Mr. Mark A. McNabb  
McNabb Properties  
3 Pleasant Street, Suite 400  
Portsmouth, New Hampshire 03801

**FROM:** Ms. Rebecca L. Brown, P.E., Senior Project Manager

**RE:** Traffic Impact Assessment  
One Congress Street – Portsmouth, New Hampshire



## INTRODUCTION

Greenman-Pedersen, Inc. (GPI) has prepared this *Traffic Impact Assessment* (TIA) for a proposed mixed-use redevelopment located One Congress Street in Portsmouth, New Hampshire. The site is comprised of two lots on Tax Map 117, Parcels 14 and 15. Parcel 14 currently contains a 4-story mixed-use building with retail and restaurant space on the first floor and office and apartment space on the upper floors. Parcel 15 contains a private parking locate. The project consists of renovating a portion of the existing building on Parcel 14 and constructing a 4-story addition to encompass the remainder of Parcels 14 and 15, and constructing basement-level parking. Access to the parking lot would be provided via a driveway on Haven Court to a vehicle elevator for access to the basement level. Upon completion, the Project would provide a total of  $\pm 35,300$  square feet (SF) of office space and  $\pm 11,700$  SF of retail / restaurant space.

This TIA provides a preliminary assessment of the potential vehicular traffic to be generated by the proposed redevelopment, and a review of the safety of the roadways providing access/egress for the redevelopment.

The site is bounded by Haven Court to the north, Congress Street to the south, High Street to the east, and mixed-use buildings to the west. The site location in relation to the surrounding roadways is shown on the map on Figure 1.

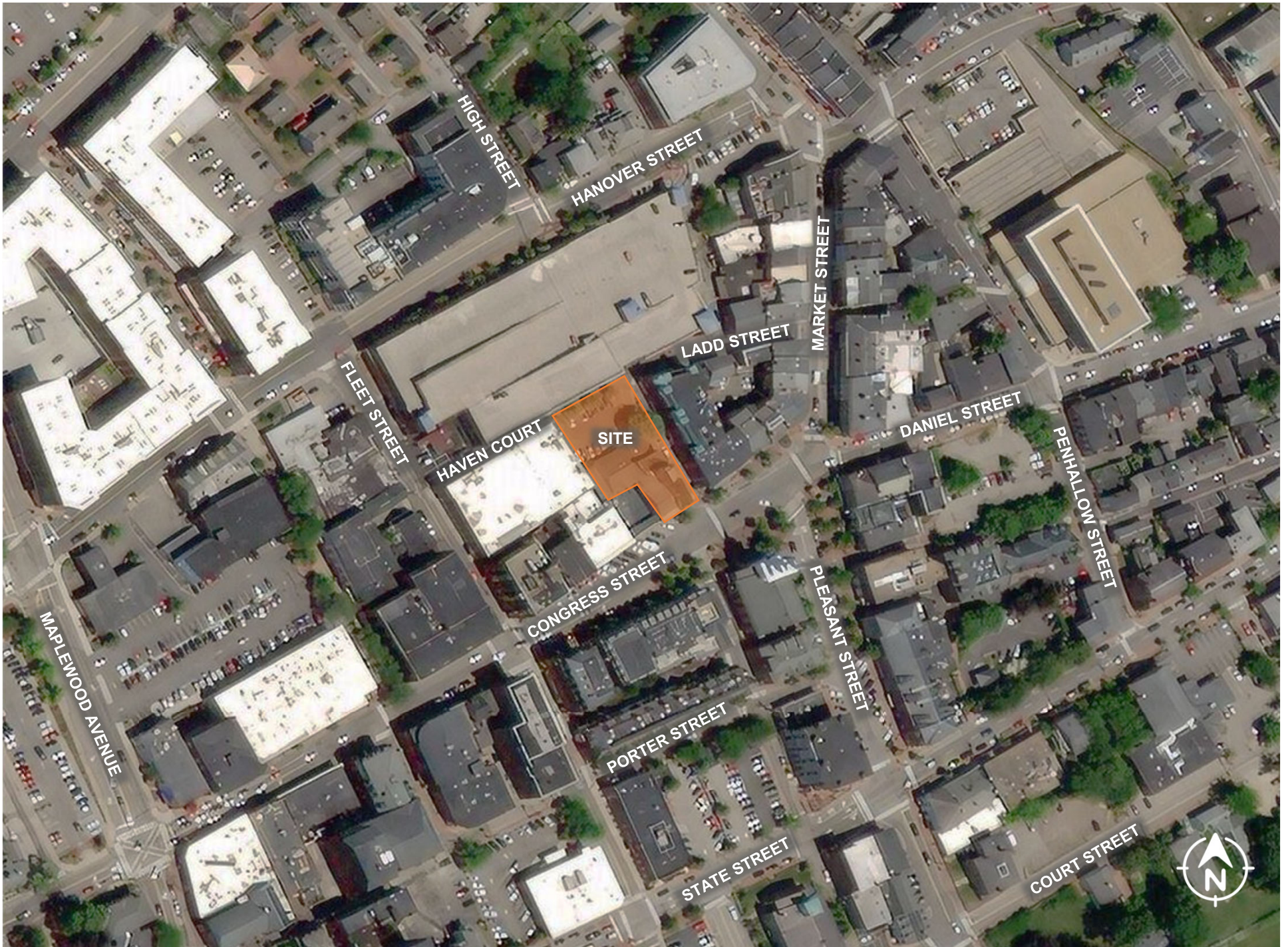


FIGURE I – SITE LOCATION MAP

## **COLLISIONS**

Collision data for the section of Congress Street between Market Square and Fleet Street, as well as along High Street, Haven Court, and Ladd Street, were obtained from NHDOT for the latest complete three years available (2015-2017). A summary of the crashes at this intersection is provided in Table 1. The detailed crash history is provided in the Appendix.

Based on the collision data, the section of Congress Street between Market Square and Fleet Street experienced an average of 5.0 collisions per year over the three-year study period. Of the 15 crashes, three were single-vehicle crashes with a light pole and may have involved vehicles striking the light poles immediately adjacent to the angled parking spaces along the northerly side of Congress Street. Five of the collisions involved a collision with a pedestrian, three of which occurred late at night when visibility of pedestrians in the roadway may have been a factor. Only one of the pedestrian crashes occurred at the intersection with High Street and involved a pedestrian crossing outside of the crosswalk at night.

There were no collisions reported along Haven Court, High Street, or Ladd Street over the three-year study period.



**TABLE 1  
Collision Summary**

Location	Number of Collisions		Severity <sup>a</sup>				Collision Type <sup>b</sup>					Percent During	
	Total	Average per Year	PD	PI	F	NR	VEH	PED	FO	SV	U	Commuter Peak <sup>c</sup>	Wet/Icy Conditions <sup>d</sup>
Congress Street from Market Square to Fleet Street	15	5.0	11	4	--	--	7	5	3	--	--	20%	20%
Haven Court	0	0.0	--	--	--	--	--	--	--	--	--	0%	0%
High Street	0	0.0	--	--	--	--	--	--	--	--	--	0%	0%
Ladd Street	0	0.0	--	--	--	--	--	--	--	--	--	0%	0%

Source: NHDOT (2015-2017).

<sup>a</sup> PD = property damage only; PI = personal injury; F = fatality, NR = not reported.

<sup>b</sup> VEH = collision with another motor vehicle; PED = pedestrian / bicycle; FO = fixed object; SV = single vehicle; U = unknown.

<sup>c</sup> Percent of vehicle incidents that occurred during the weekday AM (7:00 AM-9:00 AM) and weekday PM (4:00 PM -6:00 PM) commuter peak periods.

<sup>d</sup> Represents the percentage of only “known” collisions occurring during inclement weather conditions.

## TRIP GENERATION

The site currently contains approximately 1,180 SF of retail space and 5,500 SF of restaurant space on the first floor, with an additional 2,720 SF of office space and 10 residential units on the upper floors. Upon completion, the Project will provide a total of ±35,300 SF of office space, and ±11,700 SF of retail / restaurant space. GPI utilized trip-generation rates published by the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11<sup>th</sup> Edition*<sup>1</sup> for Land Use Code (LUC) 710 (General Office) and LUC 822 (Strip Retail Plaza <40k) to estimate the proposed trip generation.

The Project will be located in downtown Portsmouth, in close proximity to multiple retail, restaurant, office, residential, and entertainment uses for sharing of trips between uses. As a result, many of the trips generated by the site will be walking and biking trips. In addition, the site is located in close proximity to multiple bus routes, allowing for easy access to public transportation for access to/from the site. Therefore, the trip rates for the office (LUC 710) and retail (LUC 822) uses were based on Dense Multi-Use Urban settings. The resulting trip generation estimate is summarized in Table 2, and the detailed calculations are provided in the Appendix.

**TABLE 2 – Proposed Trip Generation Summary**

Time Period/Direction	Office Trips (LUC 710) <sup>a</sup>	Retail Trips (LUC 822) <sup>b</sup>	Total Trips <sup>c</sup>
<b>Weekday Daily</b>	260	504	<b>764</b>
<b>Weekday AM Peak Hour:</b>			
<i>Enter</i>	25	13	<b>38</b>
<i>Exit</i>	<u>4</u>	<u>9</u>	<b>13</b>
<i>Total</i>	29	22	<b>51</b>
<b>Weekday PM Peak Hour:</b>			
<i>Enter</i>	5	24	<b>29</b>
<i>Exit</i>	<u>26</u>	<u>24</u>	<b>50</b>
<i>Total</i>	31	48	<b>79</b>
<b>Saturday Daily</b>	60	794	<b>854</b>
<b>Saturday Midday Peak Hour:</b>			
<i>Enter</i>	8	31	<b>39</b>
<i>Exit</i>	<u>6</u>	<u>29</u>	<b>35</b>
<i>Total</i>	14	60	<b>74</b>

<sup>a</sup> ITE LUC 710 (General Office Building) in Dense Multi-Use Urban setting for 38,250 SF.

<sup>b</sup> ITE LUC 822 (Strip Retail Plaza (<40K)) in Dense Multi-Use Urban setting for 1,350 SF.

<sup>c</sup> Sum of Residential Trips, Office Trips, Retail Trips, and Restaurant Trips.

As previously noted, the site currently contains a mix of residential, office, retail, and restaurant space that is currently generating traffic. Therefore, not all of the site-generated trips will be new to the area. GPI has estimated the trips generated by the former uses on the site based on ITE trip rates for LUC 221 (Multifamily Housing (Mid-Rise)), LUC 710 (General Office), LUC 822 (Strip Retail Plaza <40k)), and LUC 931 (Fine-

<sup>1</sup> *Trip Generation Manual, 11<sup>th</sup> Edition*; Institute of Transportation Engineers; Washington, DC; September 2021.

Dining Restaurant). The trip rates for the office (LUC 710), retail (LUC 822) and residential (LUC 221) uses were based on Dense Multi-Use Urban settings, while the trip rates for the restaurant (LUC 931) use were based on General Urban/Suburban settings due to the lack of available trip generation data within dense multi-use urban settings for this use. The resulting trip generation estimate is summarized in Table 3, and the detailed calculations are provided in the Appendix.

**TABLE 3 – Existing Trip Generation Summary**

Time Period/Direction	Residential Trips (LUC 221) <sup>a</sup>	Office Trips (LUC 710) <sup>b</sup>	Retail Trips (LUC 822) <sup>c</sup>	Restaurant Trips (LUC 931) <sup>d</sup>	Total Trips <sup>e</sup>
<b>Weekday Daily</b>	26	20	50	462	<b>558</b>
<b>Weekday AM Peak Hour:</b>					
<i>Enter</i>	0	2	1	2	<b>5</b>
<i>Exit</i>	<u>2</u>	<u>0</u>	<u>1</u>	<u>2</u>	<b><u>5</u></b>
<i>Total</i>	2	2	2	4	<b>10</b>
<b>Weekday PM Peak Hour:</b>					
<i>Enter</i>	1	0	2	29	<b>32</b>
<i>Exit</i>	<u>1</u>	<u>2</u>	<u>2</u>	<u>14</u>	<b><u>19</u></b>
<i>Total</i>	2	2	4	43	<b>51</b>
<b>Saturday Daily</b>	24	4	80	496	<b>604</b>
<b>Saturday Midday Peak Hour:</b>					
<i>Enter</i>	1	1	3	35	<b>40</b>
<i>Exit</i>	<u>1</u>	<u>0</u>	<u>3</u>	<u>24</u>	<b><u>28</u></b>
<i>Total</i>	2	1	6	59	<b>68</b>

<sup>a</sup> ITE LUC 221 (Multifamily Housing (Mid-Rise)) in Dense Multi-Use Urban setting for 10 dwelling units.

<sup>b</sup> ITE LUC 710 (General Office Building) in Dense Multi-Use Urban setting for 1,392 SF.

<sup>c</sup> ITE LUC 822 (Strip Retail Plaza (<40K)) in Dense Multi-Use Urban setting for 1,044 SF.

<sup>d</sup> ITE LUC 931 (Fine-Dining Restaurant) in General Urban/Suburban setting for 5,391 SF.

<sup>e</sup> Sum of Residential Trips, Office Trips, Retail Trips, and Restaurant Trips.

Table 4 provides a comparison of the trips generated by the proposed land uses to the trips generated by the former uses on the site.

**TABLE 4 – Trip Generation Comparison**

Time Period/Direction	Existing Trips <sup>a</sup>	Proposed Trips <sup>b</sup>	Net Increase in Trips <sup>c</sup>
<b>Weekday Daily</b>	558	764	<b>206</b>
<b>Weekday AM Peak Hour:</b>			
<i>Enter</i>	5	38	<b>33</b>
<i>Exit</i>	<u>5</u>	<u>13</u>	<b>8</b>
<i>Total</i>	10	51	<b>41</b>
<b>Weekday PM Peak Hour:</b>			
<i>Enter</i>	32	29	<b>-3</b>
<i>Exit</i>	<u>19</u>	<u>50</u>	<b>31</b>
<i>Total</i>	51	79	<b>28</b>
<b>Saturday Daily</b>	604	854	<b>250</b>
<b>Saturday Midday Peak Hour:</b>			
<i>Enter</i>	40	39	<b>-1</b>
<i>Exit</i>	<u>28</u>	<u>35</u>	<b>7</b>
<i>Total</i>	68	74	<b>6</b>

<sup>a</sup> Total Existing Trips (From Table 3).

<sup>b</sup> Total Proposed Trips (From Table 4).

<sup>c</sup> Proposed Trips minus Existing Trips.

As shown in Table 5, the proposed redevelopment will result in a minimal increase in vehicle trips of 6 additional trips during the Saturday midday peak hour. This increase represents one additional vehicle every ten minutes in the downtown area and will have negligible impacts on traffic operations on downtown roadways. The proposed redevelopment will generate increases of 41 vehicle trips (33 entering and 8 exiting) during the weekday AM peak hour and of 28 vehicles trips (3 fewer entering and 31 additional exiting) during the weekday PM peak hour. These increases in traffic volumes represent one additional vehicle every 1.5 to two minutes on downtown roadways.

## CONCLUSIONS

- The site is comprised of two lots on Tax Map 117, Parcels 14 and 15. Parcel 14 currently contains a 4-story mixed-use building with retail and restaurant space on the first floor and office and apartment space on the upper floors. Parcel 15 contains a private parking locate. The project consists of renovating a portion of the existing building on Parcel 14 and constructing a 4-story addition to encompass the remainder of Parcels 14 and 15, and constructing basement-level parking. Access to the parking lot would be provided via a driveway on Haven Court to a vehicle elevator for access to the basement level. Upon completion, the Project would provide a total of ±35,300 square feet (SF) of office space and ±11,700 SF of retail / restaurant space.
- The section of Congress Street between Market Square and Fleet Street experienced an average of 5.0 collisions per year over the three-year study period. Of the 15 crashes, three were single-vehicle crashes with a light pole and may have involved vehicles striking the light poles immediately adjacent to the angled parking spaces along the northerly side of Congress Street. Five of the

collisions involved a collision with a pedestrian, three of which occurred late at night when visibility of pedestrians in the roadway may have been a factor. Only one of the pedestrian crashes occurred at the intersection with High Street and involved a pedestrian crossing outside of the crosswalk at night. The occurrence of collisions with pedestrians at night may be an indication that the crosswalk is not adequately lit due either to poor lighting or overgrown street trees blocking existing light poles.

- There were no collisions reported along Haven Court, High Street, or Ladd Street over the three-year study period.
- The proposed redevelopment will result in a minimal increase in vehicle trips of 6 additional trips during the Saturday midday peak hour. This increase represents one additional vehicle every ten minutes in the downtown area and will have negligible impacts on traffic operations on downtown roadways. The proposed redevelopment will generate increases of 41 vehicle trips (33 entering and 8 exiting) during the weekday AM peak hour and of 28 vehicles trips (3 fewer entering and 31 additional exiting) during the weekday PM peak hour. These increases in traffic volumes represent one additional vehicle every 1.5 to two minutes on downtown roadways.

**- APPENDIX**

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- *NHDOT Crash Data*
- *Trip Generation Calculations*

**TRAFFIC IMPACT ASSESSMENT**

One Congress Street – Portsmouth, New Hampshire

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**NHDOT CRASH DATA**

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FID	CRASH_DATE	ACDDAY	ACDTIME	ACDSTREET	INTERSTREE	MILESFTFR	NSEW_TO	TYPE_OF_AC	FIXED_OBJE	LOCATION_F	NUMVEHICLE	TOTALFATAL	TOTALINJUR	PEDFATALS	SEVERITY	ROAD_ALIGN	ROAD_CONDI	SURFACE_CO	LIGHTING_D	WEATHER_DE	TRAFFIC_CO
417934	6/22/2015	MON	1558	151 HIGH ST	HIGH ST AND DEER ST	150	E	Other Motor Vehicle		Along the Road	2	0	0	0	No Apparent Injury	Straight and Level	Normal	Dry	Daylight	Clear	Lane Control
434430	8/13/2015	THU	933	75 CONGRESS ST	FLEET ST	10	S	Fixed Object	Light Pole	Along the Road	1	0	0	0	Unknown	Straight and Level	Normal	Dry	Daylight	Clear	Visible Road Markings
455142	11/4/2015	WED	1443	1 DANIEL ST	1 MARKET SQ	0	AT	Pedestrian		At Intersection	1	0	1	0	No Apparent Injury	Other	Normal	Dry	Daylight	Clear	Stop Sign
466467	5/17/2016	TUE	1242	5 MARKET SQ	CONGRESS ST	10	N	Other Motor Vehicle		Along the Road	2	0	0	0	No Apparent Injury	Straight and Level	Normal	Dry	Daylight	Clear	Lane Control
488867	6/16/2016	TUE	2302	5 MARKET SQ	PLEASANT ST	0	AT	Pedestrian		Intersection Related	3	0	2	0	Non_Incapacitating	Straight and Level	Normal	Dry	Dark-Street Light On	Clear	Visible Road Markings
481938	7/17/2016	SUN	1444	62 CONGRESS ST	FLEET ST	20	W	Other Motor Vehicle		Unknown	2	0	0	0	No Apparent Injury	Unknown	Normal	Dry	Daylight	Clear	None
482191	7/19/2016	TUE	1356	10 PLEASANT ST	14 MARKET SQ	0	AT	Other Motor Vehicle		Along the Road	2	0	0	0	No Apparent Injury	Straight and Level	Normal	Dry	Daylight	Clear	None
482892	10/25/2016	TUE	1638	29 CONGRESS ST		0		Other Motor Vehicle		Unknown	2	0	0	0	Non_Incapacitating	Unknown	Normal	Dry	Daylight	Clear	Yield Sign
469157	11/8/2016	TUE	1934	14 MARKET SQ		0		Other Motor Vehicle		Along the Road	2	0	0	0	No Apparent Injury	Straight and Level	Normal	Dry	Daylight	Clear	Lane Control
499903	11/20/2016	SUN	1251	75 CONGRESS ST	FLEET ST	40	W	Pedestrian		Intersection Related	2	0	1	0	Non_Incapacitating	Straight and Level	Normal	Dry	Daylight	Clear	Traffic Signals
481331	12/8/2016	THU	2018	5 CONGRESS ST	HIGH ST	0	AT	Pedestrian		At Intersection	2	0	0	0	No Apparent Injury	Straight and Level	Normal	Dry	Dark-Street Light On	Clear	Visible Road Markings
469809	12/12/2016	MON	1612	40 PLEASANT ST		0		Other Motor Vehicle		Unknown	2	0	0	0	No Apparent Injury	Unknown	Normal	Dry	Dusk	Clear	None
479143	12/22/2016	THU	1426	8 CONGRESS ST		0		Fixed Object	Light Pole	At Intersection	1	0	0	0	No Apparent Injury	Unknown	Normal	Wet	Daylight	Snow	None
484255	12/24/2016	SAT	1	5 MARKET SQ	1 PLEASANT ST	0	AT	Pedestrian		Intersection Related	2	0	1	0	Possible	Straight and Level	Normal	Wet	Dark-Street Light On	Cloudy	Stop Sign
477050	3/28/2017	TUE	833	6 CONGRESS ST	1 CHURCH ST	0	AT	Fixed Object	Light Pole	Along the Road	1	0	0	0	Unknown	Straight and Level	Normal	Wet	Unknown	Cloudy	None



**TRIP-GENERATION CALCULATIONS**

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Proposed Use	Size	Variable
Residential (LUC 221)	0	Units
Office (LUC 710)	35300	SF
Retail (LUC 822)	11700	SF
Restaurant (LUC 930)	0	SF

Existing Uses	Size	Variable
Residential (LUC 221)	10	Units
Office (LUC 710)	2720	SF
Retail (LUC 822)	1180	SF
Restaurant (LUC 931)	5500	SF

Time Period / Direction	Proposed Trips					First Floor Office					Net Change in Trips
	Office LUC 710	Residential LUC 221	Retail LUC 822	Restaurant LUC 930	Total Trips	Office LUC 710	Residential LUC 221	Retail LUC 822	Restaurant LUC 930	Total Trips	
Weekday Daily	260	0	504	0	764	20	26	50	462	558	206
Weekday AM Peak Hour											
Enter	25	0	13	0	38	2	0	1	2	5	33
Exit	4	0	9	0	13	0	2	1	2	5	8
Total	29	0	22	0	51	2	2	2	4	10	41
Weekday PM Peak Hour											
Enter	5	0	24	0	29	0	1	2	29	32	-3
Exit	26	0	24	0	50	2	1	2	14	19	31
Total	31	0	48	0	79	2	2	4	43	51	28
Saturday Daily	60	0	794	0	854	4	24	80	496	604	250
Saturday Midday Peak Hour											
Enter	8	0	31	0	39	1	1	3	35	40	-1
Exit	6	0	29	0	35	0	1	3	24	28	7
Total	14	0	60	0	74	1	2	6	59	68	6

**Institute of Transportation Engineers (ITE)**  
**Land Use Code (LUC) 710 - General Office Building**  
**Dense Multi-Use Urban**

Average Vehicle Trips Ends vs: 1000 Sq. Feet Gross Floor Area  
 Independent Variable (X): 35.300

**AVERAGE WEEKDAY DAILY**

$$\frac{\text{ITE LUC 710 Weekday Trip Rate (U)}}{\text{ITE LUC 710 Weekday Trip Rate (S)}} = \frac{\text{ITE LUC 710 Weekday Evening Trip Rate (U)}}{\text{ITE LUC 710 Weekday Evening Trip Rate (S)}}$$

$$\frac{(Y)}{9.74} = \frac{0.87}{1.15} \quad Y = 7.37$$

T = Y \* 35.300  
 T = 260.11  
 T = 260 vehicle trips  
 with 50% ( 130 vpd) entering and 50% ( 130 vpd) exiting.

**WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC**

T = 0.83 \* (X)  
 T = 0.83 \* 35.300  
 T = 29.30  
 T = 29 vehicle trips  
 with 86% ( 25 vph) entering and 14% ( 4 vph) exiting.

**WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC**

T = 0.87 \* (X)  
 T = 0.87 \* 35.300  
 T = 30.71  
 T = 31 vehicle trips  
 with 17% ( 5 vph) entering and 83% ( 26 vph) exiting.

**SATURDAY DAILY**

$$\frac{\text{ITE LUC 710 Saturday Trip Rate (U)}}{\text{ITE LUC 710 Saturday Trip Rate (S)}} = \frac{\text{ITE LUC 710 Weekday Evening Trip Rate (U)}}{\text{ITE LUC 710 Weekday Evening Trip Rate (S)}}$$

$$\frac{(Y)}{2.21} = \frac{0.87}{1.15} \quad Y = 1.67$$

T = Y \* 35.300  
 T = 1.67 \* 35.300  
 T = 59.02  
 T = 60 vehicle trips  
 with 50% ( 30 vpd) entering and 32% ( 30 vpd) exiting.

**SATURDAY PEAK HOUR OF GENERATOR**

$$\frac{\text{ITE LUC 710 Saturday Peak Trip Rate (U)}}{\text{ITE LUC 710 Saturday Peak Trip Rate (S)}} = \frac{\text{ITE LUC 710 Weekday Evening Trip Rate (U)}}{\text{ITE LUC 710 Weekday Evening Trip Rate (S)}}$$

$$\frac{(Y)}{0.53} = \frac{0.87}{1.15} \quad Y = 0.40$$

T = Y \* 35.300  
 T = 14.15  
 T = 14 vehicle trips  
 with 54% ( 8 vph) entering and 46% ( 6 vph) exiting.  
*(same distribution split as ITE LUC 710 General Urban/Suburban during the Saturday Peak period)*

**Institute of Transportation Engineers (ITE)**

**Land Use Code (LUC) 822 - Strip Retail Plaza (<40k)**

**Dense Multi-Use Urban**

Average Vehicle Trips Ends vs: 1000 Sq. Ft. Gross Floor Area  
 Independent Variable (X): 11.700

**AVERAGE WEEKDAY DAILY**

$$\frac{\text{ITE LUC 822 Weekday General Urban/Suburban}}{\text{ITE LUC 822 Weekday PM General Urban/Suburban}} = \frac{\text{ITE LUC 822 Weekday Dense Multi-Use Urban}}{\text{ITE LUC 822 Weekday PM Dense Multi-Use Urban}}$$

$$\frac{54.45}{5.19} = \frac{(Y)}{4.10} \quad Y = 43.01$$

T = Y \* 11.700  
 T = 503.22  
 T = 504 vehicle trips  
 with 50% ( 252 vpd) entering and 50% ( 252 vpd) exiting.

**WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC**

$$\frac{\text{ITE LUC 822 Weekday AM General Urban/Suburban}}{\text{ITE LUC 822 Weekday PM General Urban/Suburban}} = \frac{\text{ITE LUC 822 Weekday AM Dense Multi-Use Urban}}{\text{ITE LUC 822 Weekday PM Dense Multi-Use Urban}}$$

$$\frac{2.36}{5.19} = \frac{(Y)}{4.10} \quad Y = 1.86$$

T = Y \* 11.700  
 T = 21.76  
 T = 22 vehicle trips  
 with 60% ( 13 vpd) entering and 50% ( 9 vpd) exiting.

**WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC**

$$\frac{\text{ITE LUC 821 Weekday PM Dense Multi-Use}}{\text{ITE LUC 821 Weekday PM General Urban/Suburban}} = \frac{\text{ITE LUC 822 Weekday PM Dense Multi-Use Urban}}{\text{ITE LUC 822 Weekday PM General Urban/Suburban}}$$

$$\frac{3.23}{5.19} = \frac{(Y)}{6.59} \quad Y = 4.10$$

T = Y \* 11.700  
 T = 47.97  
 T = 48 vehicle trips  
 with 50% ( 24 vpd) entering and 50% ( 24 vpd) exiting.

**SATURDAY DAILY**

$$\frac{\text{ITE LUC 821 Saturday Daily Trip Rate}}{\text{ITE LUC 821 Saturday Peak Hour Trip Rate}} = \frac{\text{ITE LUC 822 Saturday Daily Trip Rate}}{\text{ITE LUC 822 Saturday Peak Hour Trip Rate}}$$

$$\frac{81.07}{6.22} = \frac{(Y)}{5.20} \quad Y = 67.78$$

T = Y \* 11.700  
 T = 793.03  
 T = 794 vehicle trips  
 with 50% ( 397 vpd) entering and 50% ( 397 vpd) exiting.  
*(same distribution split as ITE LUC 821 during the Saturday Daily)*

**SATURDAY PEAK HOUR OF GENERATOR**

$$\frac{\text{ITE LUC 821 Saturday Peak Dense Multi-Use}}{\text{ITE LUC 821 Saturday Peak General Urban/Suburban}} = \frac{\text{ITE LUC 822 Saturday Peak Dense Multi-Use Urban}}{\text{ITE LUC 822 Saturday Peak General Urban/Suburban}}$$

$$\frac{4.92}{6.22} = \frac{(Y)}{6.57} \quad Y = 5.20$$

T = Y \* 11.700  
 T = 60.84  
 T = 60 vehicle trips  
 with 51% ( 31 vpd) entering and 50% ( 29 vpd) exiting.

**Institute of Transportation Engineers (ITE)**

**Land Use Code (LUC) 221 - Multifamily Housing (Mid-Rise)**

**Dense Multi-Use Urban**

Average Vehicle Trips Ends vs: Dwelling Units  
 Independent Variable (X): 10

**AVERAGE WEEKDAY DAILY**

T = 2.59 \* (X)  
 T = 2.59 \* 10  
 T = 25.90  
 T = 26 vehicle trips  
 with 50% ( 13 vpd) entering and 50% ( 13 vpd) exiting.

**WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC**

T = 0.20 \* (X)  
 T = 0.20 \* 10  
 T = 2.00  
 T = 2 vehicle trips  
 with 12% ( 0 vph) entering and 88% ( 2 vph) exiting.

**WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC**

T = 0.18 \* (X)  
 T = 0.18 \* 10  
 T = 1.80  
 T = 2 vehicle trips  
 with 72% ( 1 vph) entering and 28% ( 1 vph) exiting.

**SATURDAY DAILY**

$$\frac{\text{ITE LUC 221 Saturday Daily Trip Rate (General Urban/Suburban)}}{\text{ITE LUC 221 Weekday Daily Trip Rate (General Urban/Suburban)}} = \frac{\text{ITE LUC 221 Saturday Daily Trip Rate (Dense Multi-Use Urban)}}{\text{ITE LUC 221 Weekday Daily Trip Rate (Dense Multi-Use Urban)}}$$

$$\frac{4.91}{5.44} = \frac{(Y)}{2.59} \quad Y = 2.34$$

T = Y \* 10.000  
 T = 23.377  
 T = 24 vehicle trips  
 with 50% ( 12 vpd) entering and 50% ( 12 vpd) exiting.  
*(same distribution split as ITE LUC 221 General Urban/Suburban during the Saturday Daily period)*

**SATURDAY PEAK HOUR OF GENERATOR**

$$\frac{\text{ITE LUC 221 Saturday Peak Trip Rate (General Urban/Suburban)}}{\text{ITE LUC 221 Weekday Evening Peak Trip Rate (General Urban/Suburban)}} = \frac{\text{ITE LUC 221 Saturday Peak Trip Rate (Dense Multi-Use Urban)}}{\text{ITE LUC 221 Weekday Evening Peak Trip Rate (Dense Multi-Use Urban)}}$$

$$\frac{0.44}{0.44} = \frac{(Y)}{0.18} \quad Y = 0.18$$

T = Y \* 10.000  
 T = 1.8  
 T = 2 vehicle trips  
 with 49% ( 1 vpd) entering and 51% ( 1 vpd) exiting.  
*(same distribution split as ITE LUC 221 General Urban/Suburban during the Saturday Peak period)*

**Institute of Transportation Engineers (ITE)**  
**Land Use Code (LUC) 710 - General Office Building**  
**Dense Multi-Use Urban**

Average Vehicle Trips Ends vs: 1000 Sq. Feet Gross Floor Area  
 Independent Variable (X): 2.720

**AVERAGE WEEKDAY DAILY**

$$\frac{\text{ITE LUC 710 Weekday Trip Rate (U)}}{\text{ITE LUC 710 Weekday Trip Rate (S)}} = \frac{\text{ITE LUC 710 Weekday Evening Trip Rate (U)}}{\text{ITE LUC 710 Weekday Evening Trip Rate (S)}}$$

$$\frac{(Y)}{9.74} = \frac{0.87}{1.15} \quad Y = 7.37$$

T = Y \* 2.720  
 T = 20.04  
 T = 20 vehicle trips  
 with 50% ( 10 vpd) entering and 50% ( 10 vpd) exiting.

**WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC**

T = 0.83 \* (X)  
 T = 0.83 \* 2.720  
 T = 2.26  
 T = 2 vehicle trips  
 with 86% ( 2 vph) entering and 14% ( 0 vph) exiting.

**WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC**

T = 0.87 \* (X)  
 T = 0.87 \* 2.720  
 T = 2.37  
 T = 2 vehicle trips  
 with 17% ( 0 vph) entering and 83% ( 2 vph) exiting.

**SATURDAY DAILY**

$$\frac{\text{ITE LUC 710 Saturday Trip Rate (U)}}{\text{ITE LUC 710 Saturday Trip Rate (S)}} = \frac{\text{ITE LUC 710 Weekday Evening Trip Rate (U)}}{\text{ITE LUC 710 Weekday Evening Trip Rate (S)}}$$

$$\frac{(Y)}{2.21} = \frac{0.87}{1.15} \quad Y = 1.67$$

T = Y \* 2.720  
 T = 1.67 \* 2.720  
 T = 4.55  
 T = 4 vehicle trips  
 with 50% ( 2 vpd) entering and 32% ( 2 vpd) exiting.

**SATURDAY PEAK HOUR OF GENERATOR**

$$\frac{\text{ITE LUC 710 Saturday Peak Trip Rate (U)}}{\text{ITE LUC 710 Saturday Peak Trip Rate (S)}} = \frac{\text{ITE LUC 710 Weekday Evening Trip Rate (U)}}{\text{ITE LUC 710 Weekday Evening Trip Rate (S)}}$$

$$\frac{(Y)}{0.53} = \frac{0.87}{1.15} \quad Y = 0.40$$

T = Y \* 2.720  
 T = 1.09  
 T = 1 vehicle trips  
 with 54% ( 1 vph) entering and 46% ( 0 vph) exiting.  
*(same distribution split as ITE LUC 710 General Urban/Suburban during the Saturday Peak period)*

**Institute of Transportation Engineers (ITE)**

**Land Use Code (LUC) 822 - Strip Retail Plaza (<40k)**

**Dense Multi-Use Urban**

Average Vehicle Trips Ends vs: 1000 Sq. Ft. Gross Floor Area  
 Independent Variable (X): 1.180

**AVERAGE WEEKDAY DAILY**

$$\frac{\text{ITE LUC 822 Weekday General Urban/Suburban}}{\text{ITE LUC 822 Weekday PM General Urban/Suburban}} = \frac{\text{ITE LUC 822 Weekday Dense Multi-Use Urban}}{\text{ITE LUC 822 Weekday PM Dense Multi-Use Urban}}$$

$$\frac{54.45}{5.19} = \frac{(Y)}{4.10} \quad Y = 43.01$$

T = Y \* 1.180  
 T = 50.75  
 T = 50 vehicle trips  
 with 50% ( 25 vpd) entering and 50% ( 25 vpd) exiting.

**WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC**

$$\frac{\text{ITE LUC 822 Weekday AM General Urban/Suburban}}{\text{ITE LUC 822 Weekday PM General Urban/Suburban}} = \frac{\text{ITE LUC 822 Weekday AM Dense Multi-Use Urban}}{\text{ITE LUC 822 Weekday PM Dense Multi-Use Urban}}$$

$$\frac{2.36}{5.19} = \frac{(Y)}{4.10} \quad Y = 1.86$$

T = Y \* 1.180  
 T = 2.19  
 T = 2 vehicle trips  
 with 60% ( 1 vpd) entering and 50% ( 1 vpd) exiting.

**WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC**

$$\frac{\text{ITE LUC 821 Weekday PM Dense Multi-Use}}{\text{ITE LUC 821 Weekday PM General Urban/Suburban}} = \frac{\text{ITE LUC 822 Weekday PM Dense Multi-Use Urban}}{\text{ITE LUC 822 Weekday PM General Urban/Suburban}}$$

$$\frac{3.23}{5.19} = \frac{(Y)}{6.59} \quad Y = 4.10$$

T = Y \* 1.180  
 T = 4.84  
 T = 4 vehicle trips  
 with 50% ( 2 vpd) entering and 50% ( 2 vpd) exiting.

**SATURDAY DAILY**

$$\frac{\text{ITE LUC 821 Saturday Daily Trip Rate}}{\text{ITE LUC 821 Saturday Peak Hour Trip Rate}} = \frac{\text{ITE LUC 822 Saturday Daily Trip Rate}}{\text{ITE LUC 822 Saturday Peak Hour Trip Rate}}$$

$$\frac{81.07}{6.22} = \frac{(Y)}{5.20} \quad Y = 67.78$$

T = Y \* 1.180  
 T = 79.98  
 T = 80 vehicle trips  
 with 50% ( 40 vpd) entering and 50% ( 40 vpd) exiting.  
*(same distribution split as ITE LUC 821 during the Saturday Daily)*

**SATURDAY PEAK HOUR OF GENERATOR**

$$\frac{\text{ITE LUC 821 Saturday Peak Dense Multi-Use}}{\text{ITE LUC 821 Saturday Peak General Urban/Suburban}} = \frac{\text{ITE LUC 822 Saturday Peak Dense Multi-Use Urban}}{\text{ITE LUC 822 Saturday Peak General Urban/Suburban}}$$

$$\frac{4.92}{6.22} = \frac{(Y)}{6.57} \quad Y = 5.20$$

T = Y \* 1.180  
 T = 6.14  
 T = 6 vehicle trips  
 with 51% ( 3 vpd) entering and 50% ( 3 vpd) exiting.

***Institute of Transportation Engineers (ITE)***  
**Land Use Code (LUC) 931 - Fine Dining Restaurant**  
**General Urban/Suburban**

Average Vehicle Trips Ends vs: 1,000 Sq. Ft. Gross Floor Area  
Independent Variable (X): 5.500

**AVERAGE WEEKDAY DAILY**

$T = 83.84 * (X)$   
 $T = 83.84 * 5.500$   
 $T = 461.12$   
 $T = 462$  vehicle trips  
with 50% ( 231 vpd) entering and 50% ( 231 vpd) exiting.

**WEEKDAY MORNING PEAK HOUR OF ADJACENT STREET TRAFFIC**

$T = 0.73 * (X)$   
 $T = 0.73 * 5.500$   
 $T = 4.02$   
 $T = 4$  vehicle trips  
with 55% ( 2 vph) entering and 45% ( 2 vph) exiting.  
*(same distribution split as ITE LUC 932 during the Weekday AM)*

**WEEKDAY EVENING PEAK HOUR OF ADJACENT STREET TRAFFIC**

$T = 7.80 * (X)$   
 $T = 7.8 * 5.500$   
 $T = 42.90$   
 $T = 43$  vehicle trips  
with 67% ( 29 vph) entering and 33% ( 14 vph) exiting.

**SATURDAY DAILY**

$T = 90.04 * (X)$   
 $T = 90.04 * 5.500$   
 $T = 495.22$   
 $T = 496$  vehicle trips  
with 50% ( 248 vpd) entering and 50% ( 248 vpd) exiting.

**SATURDAY PEAK HOUR OF GENERATOR**

$T = 10.68 * (X)$   
 $T = 10.68 * 5.500$   
 $T = 58.74$   
 $T = 59$  vehicle trips  
with 59% ( 35 vph) entering and 41% ( 24 vph) exiting.



# COMMERCIAL DEVELOPMENT

## 1 CONGRESS STREET PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS

### OWNER:

ONE MARKET SQUARE LLC  
3 PLEASANT STREET  
SUITE #400  
PORTSMOUTH, NH 03801  
TEL. (603) 427-0725

### LANDSCAPE ARCHITECT:

TERRA FIRMA LANDSCAPE  
ARCHITECTURE  
163A COURT STREET  
PORTSMOUTH, NH 03801  
TEL. (603) 430-8388

### LAND SURVEYOR & CIVIL ENGINEER:

AMBIT ENGINEERING, INC.  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, N.H. 03801  
Tel. (603) 430-9282  
Fax (603) 436-2315

### GEOTECHNICAL:

GEOTECHNICAL SERVICES INC.  
18 COTE AVENUE, UNIT 11  
GOFFSTOWN, N.H. 03045  
Tel. (603) 624-2722

### ARCHITECT:

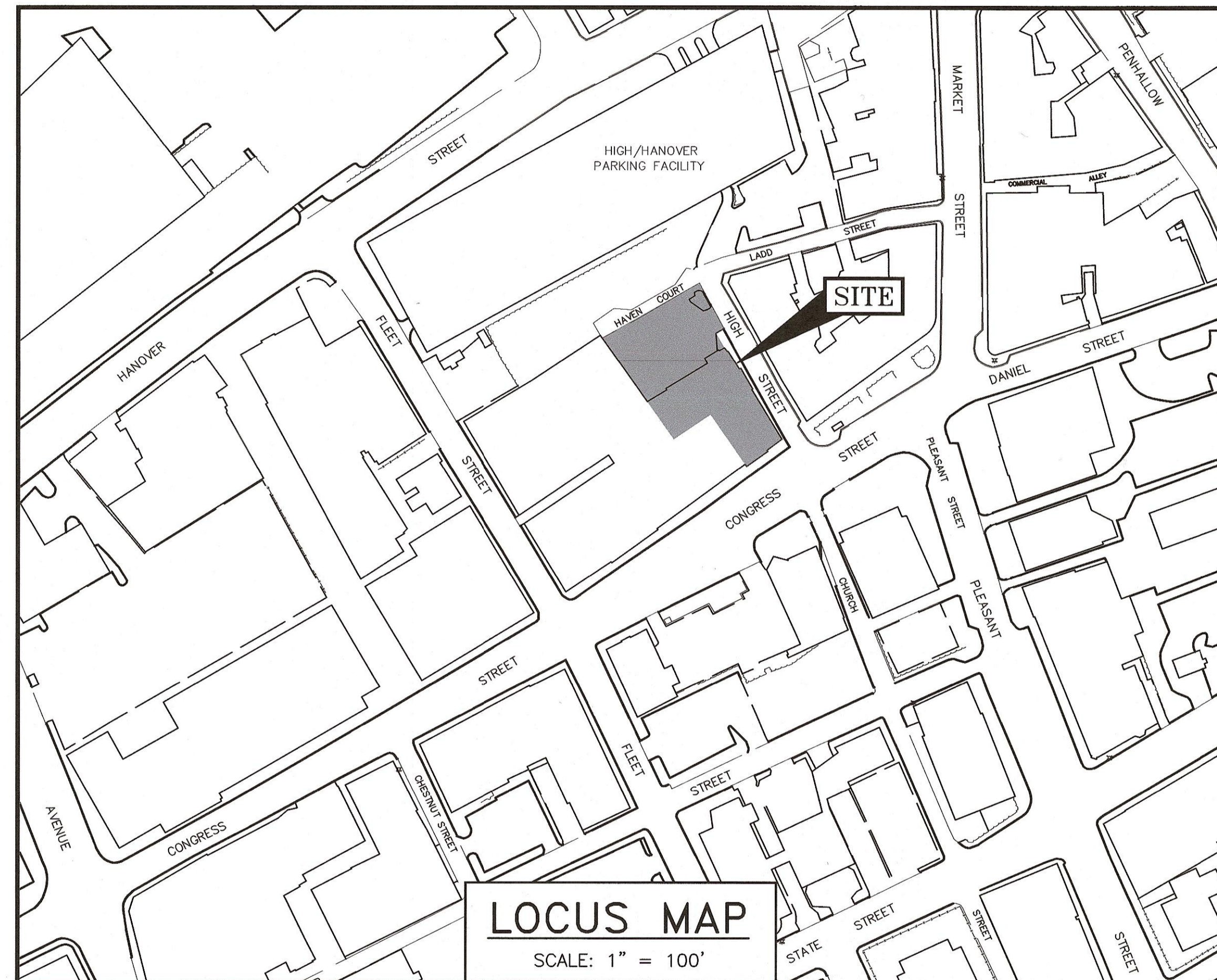
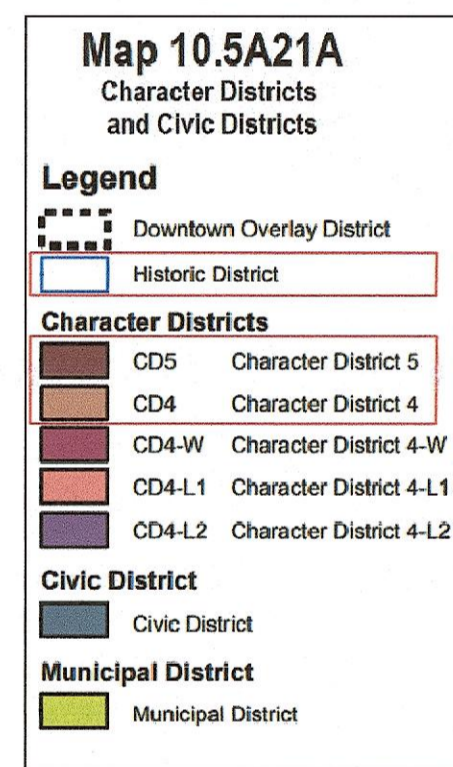
ARCOVE LLC  
3 CONGRESS STREET  
SUITE 1  
PORTSMOUTH, NH 03801  
TEL. (603) 731-5187

### LAND USE ATTORNEY:

BRUTON & BERUBE, PLLC  
601 CENTRAL AVENUE  
DOVER, N.H. 03820  
Tel. (603) 749-4529

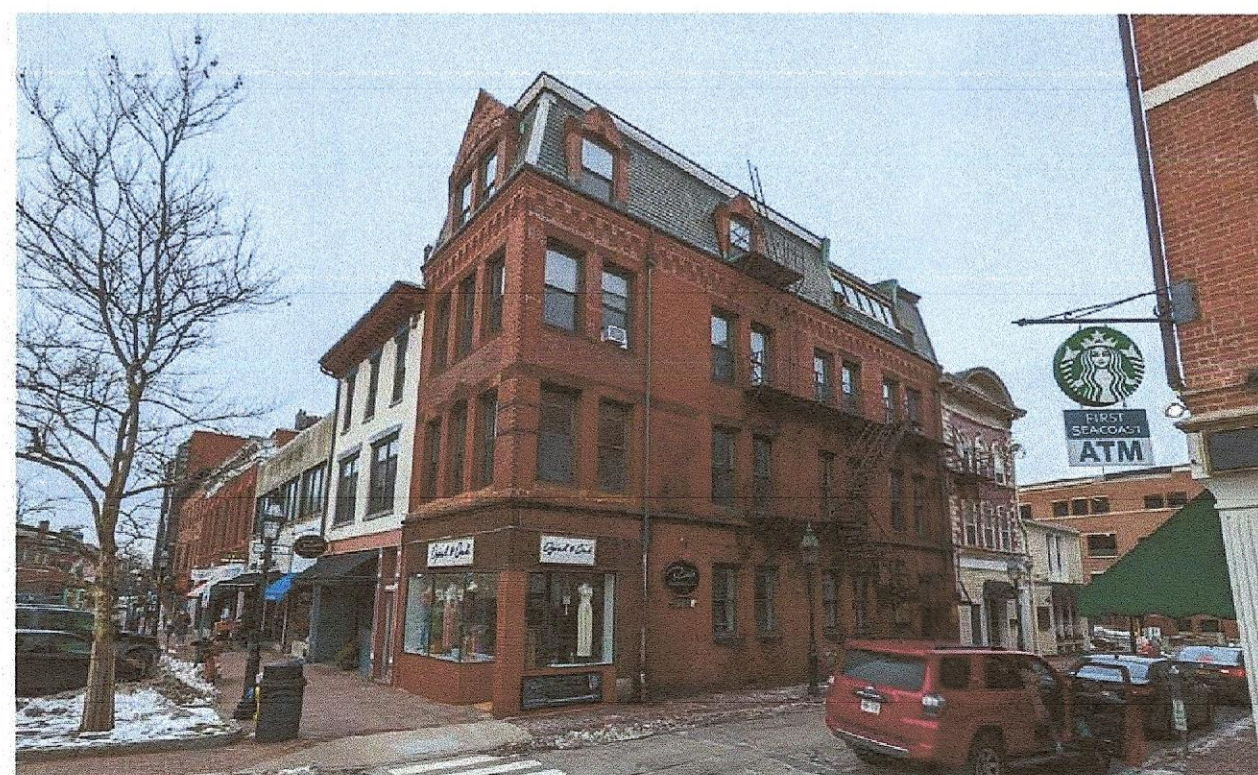
### PERMIT LIST:

NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED  
PORTSMOUTH BOA: PENDING  
PORTSMOUTH HDC: TO BE SUBMITTED  
PORTSMOUTH SITE PLAN: TO BE SUBMITTED



**LEGEND:**

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
⊙	⊙	UTILITY POLE
⊙	⊙	WALL MOUNTED EXTERIOR LIGHTS
⊙	⊙	TRANSFORMER ON CONCRETE PAD
⊙	⊙	ELECTRIC HANDHOLD
⊙	⊙	SHUT OFFS (WATER/GAS)
⊙	⊙	GATE VALVE
⊙	⊙	HYDRANT
⊙	⊙	CATCH BASIN
⊙	⊙	SEWER MANHOLE
⊙	⊙	DRAIN MANHOLE
⊙	⊙	TELEPHONE MANHOLE
⊙	⊙	PARKING SPACE COUNT
⊙	⊙	PARKING METER
LSA	LSA	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

### INDEX OF SHEETS

#### ON SITE DEVELOPMENT

- BOUNDARY PLAN
- C1 EXISTING CONDITIONS PLAN
- C2 DEMOLITION PLAN
- C3 OVERALL SITE PLAN
- C4 UTILITY PLAN
- C5 GRADING PLAN

#### OFF SITE IMPROVEMENTS

- A0 CONTEXT
- A1 FLOOR PLANS
- A2 ELEVATIONS
- A3 3D VIEWS
- LANDSCAPE IDEAS

### UTILITY CONTACTS

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**CABLE:**  
COMCAST  
155 COMMERCE WAY  
PORTSMOUTH, N.H. 03801  
Tel. (603) 679-5695 (X1037)  
ATTN: MIKE COLLINS

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

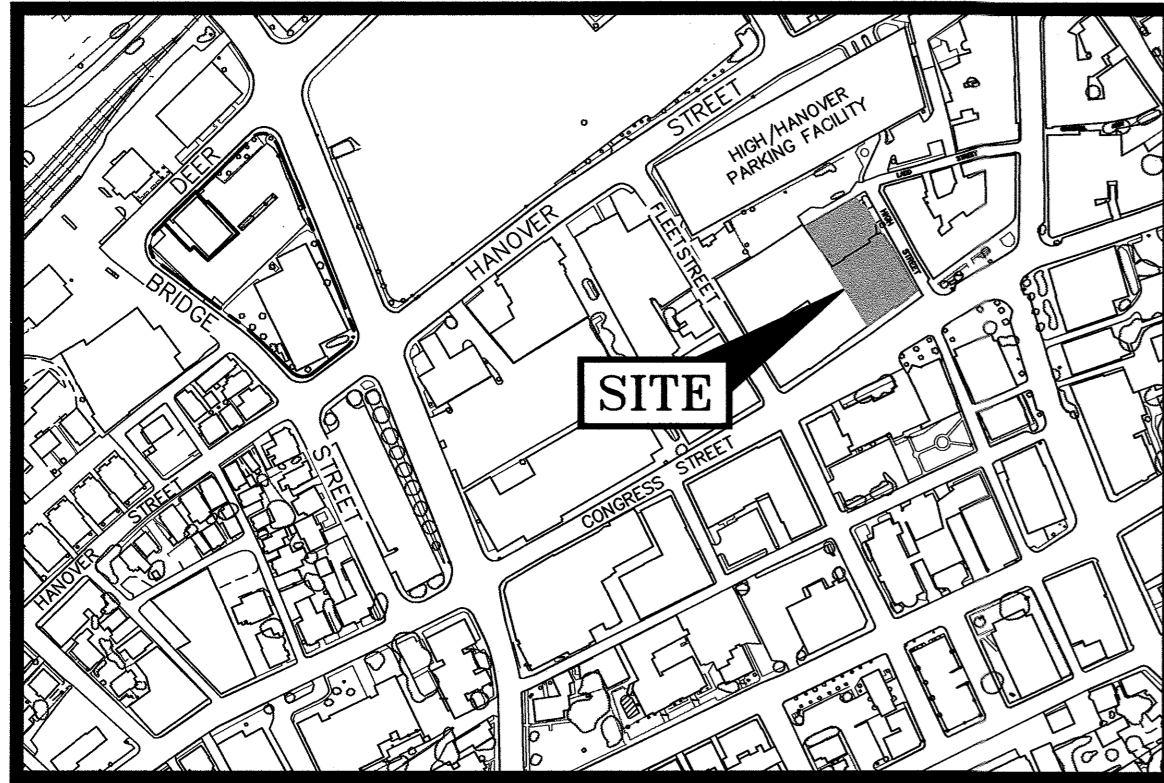
**COMMUNICATIONS:**  
FAIRPOINT COMMUNICATIONS  
JOE CONSIDINE  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525

**SITE PERMIT PLANS  
COMMERCIAL DEVELOPMENT  
1 CONGRESS STREET  
PORTSMOUTH, N.H.**



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 30 MARCH 2022



LOCATION MAP

SCALE: 1" = 300'

LEGEND:

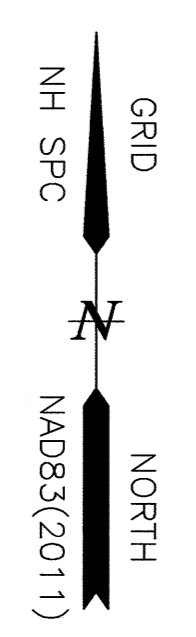
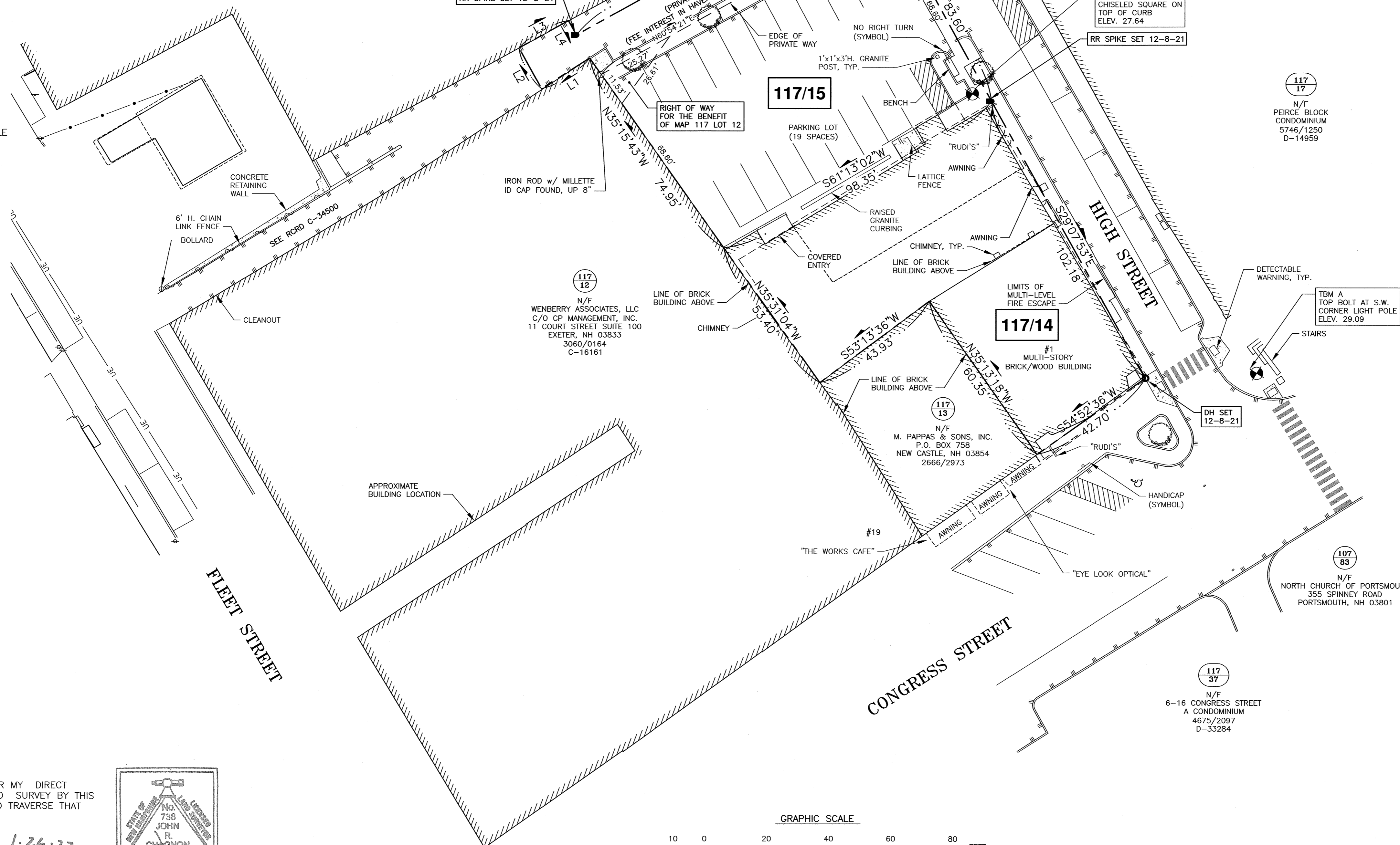
- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHHB NHDOT BOUND FOUND
- TB TOWN BOUND
- BND w/DH BOUND WITH DRILL HOLE
- ST BND w/DH STONE BOUND WITH DRILL HOLE

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S57°27'42"W	18.36'
L2	N28°53'22"W	15.00'
L3	N61°07'46"E	18.19'
L4	S29°05'39"E	5.28'

PLAN REFERENCES:

- 1) PLAN OF A LOT OF LAND IN PORTSMOUTH N.H. BELONGING TO THE ESTATE OF CHAS. H. MENDUM, SCALE: 1 IN = 20 FT, DATED JULY 1, 1908, PREPARED BY WM. A. GROVER CIVIL ENGINEER, RCRD 00469.
- 2) LAND ON HAVEN COURT PORTSMOUTH, N.H., F.W. HARTFORD TO HISLOP GARAGE CO., SCALE: 1IN. = 20FT., DATED FEB. 1926, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 00376.
- 3) LOT PLAN NOS. 7-13 CONGRESS ST. PORTSMOUTH, N.H., SCALE: 1/4 INCH = 1 FOOT, DATED MAR. 1937, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 4) PLAN OF LOT NOS. 173 - 181 FLEET ST. PORTSMOUTH, N.H., SCALE: 1IN. = 20FT., DATED NOV. 1945, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, NOT RECORDED.
- 5) LAND IN PORTSMOUTH, N.H., RALPH T. WOOD & IRA A. NEWICK TO J.J. NEWBERRY CO., SCALE: 1IN. = 20FT., DATED MAY 1946, PREPARED BY JOHN W. DURGIN CIVIL ENGINEER, RCRD 01243.
- 6) PLAN OF LOT PORTSMOUTH, N.H., NEWICK & WOOD INC. TO CITY OF PORTSMOUTH, SCALE 1IN. = 40FT., DATED MAR. 1956, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD 02537
- 7) PLAN OF LOT 26 - 30 HIGH ST. PORTSMOUTH, N.H., SCALE: 1IN. = 10FT., DATED OCT. 1961, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, NOT RECORDED
- 8) PLAN OF LAND FOR RICHARD A. CABRAL & BRUCE E. NADEAU CONGRESS/FLEET ST. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H., SCALE: 1" = 20', DATED JANUARY 1987, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATED, RCRD C-16161
- 9) SUBDIVISION OF ASSESSOR'S PARCEL 117/12, LAND OF WENBERRY ASSOCIATES, LLC, FLEET STREET & HAVEN COURT PORTSMOUTH, NEW HAMPSHIRE FOR CITY OF PORTSMOUTH, N.H., SCALE: 1" = 20', DATED 11/22/05, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., RCRD C-34500.

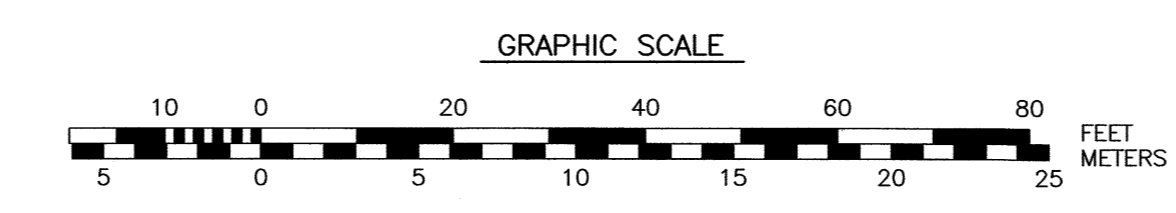
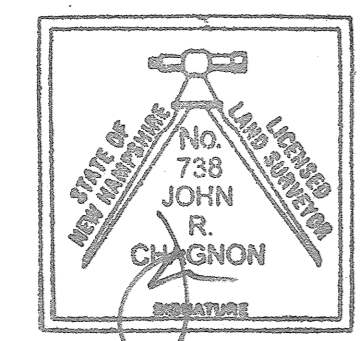


**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2318

- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
  - 2) OWNER OF RECORD:  
ONE MARKET SQUARE, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
6363/31 PARCEL 1 & PARCEL 2
  - 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5.
  - 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
  - 5) LOT AREAS: MAP 117 LOT 14 7,266 S.F. 0.1668 ACRES  
MAP 117 LOT 15 8,840 S.F. 0.2029 ACRES  
COMBINED LOT AREA: 16,106 S.F. 0.3697 ACRES
  - 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
  - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
  - 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179, SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS SURVEY).

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

*John R. Chagnon*  
JOHN R. CHAGNON, LLS 738  
DATE: 1.26.22



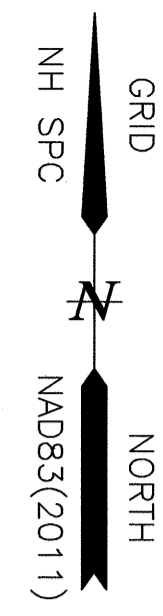
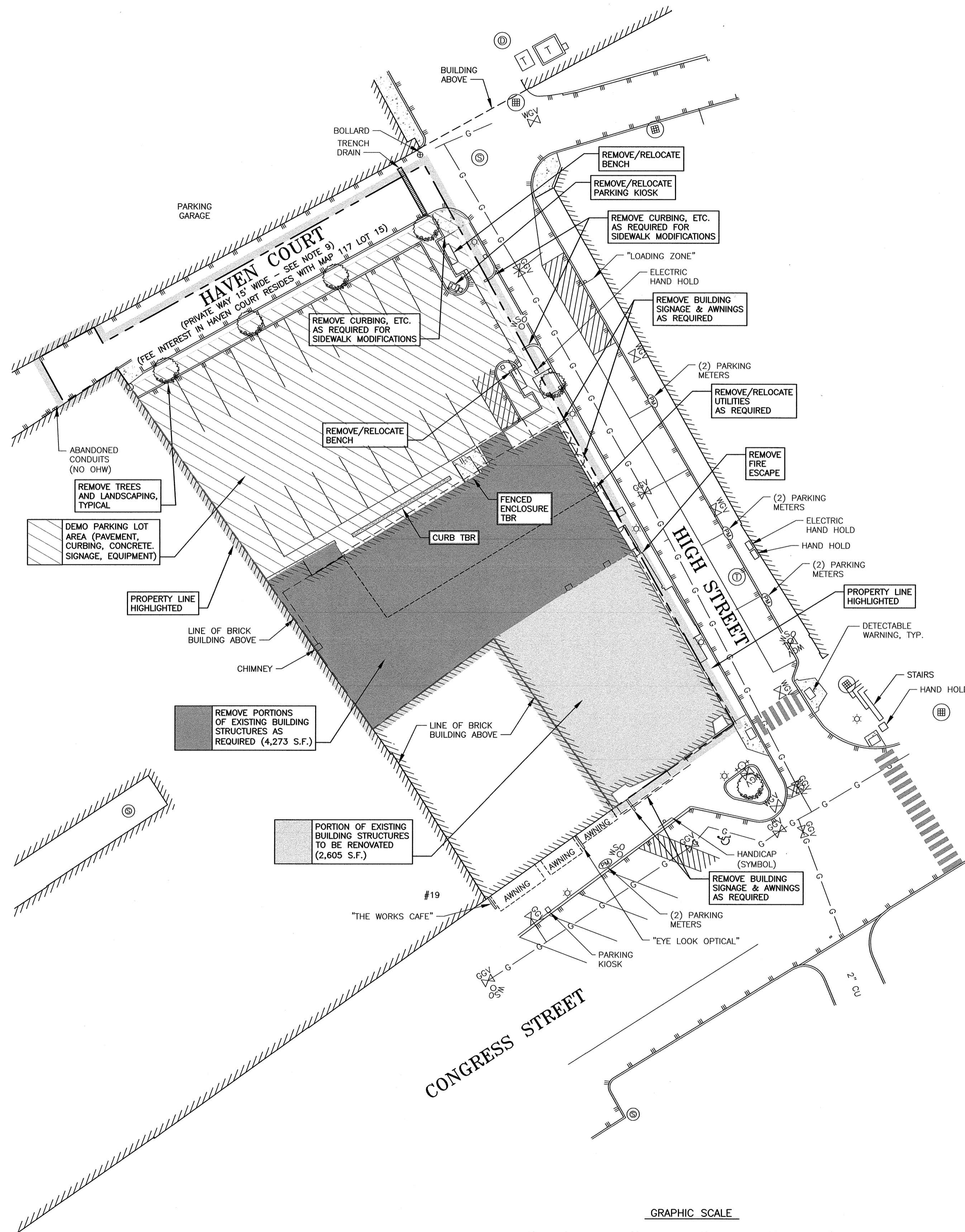
NO.	DESCRIPTION	DATE
1	NEW OWNER	1/26/22
0	ISSUED FOR RECORDING	12/8/21

**STANDARD BOUNDARY SURVEY**  
**TAX MAP 117**  
**LOTS 14 & 15**  
OWNER OF RECORD:  
**ONE MARKET SQUARE, LLC**  
PROPERTY LOCATED AT:  
**1 CONGRESS STREET & HIGH STREET**  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE



**DEMOLITION NOTES**

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS

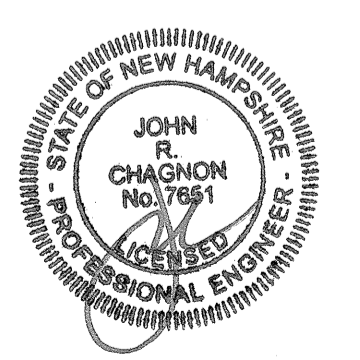


**AMBIT ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 200 Griffin Road - Unit 3  
 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
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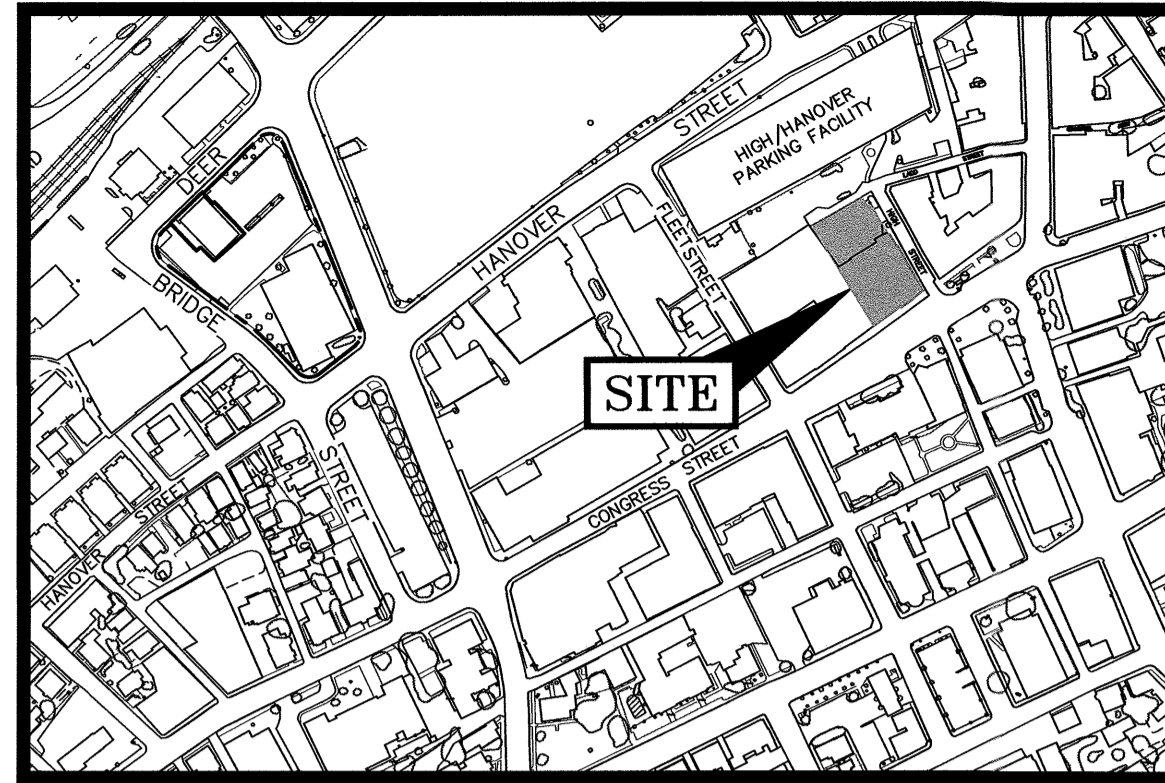
**COMMERCIAL DEVELOPMENT**  
**ONE CONGRESS STREET**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	1/26/22
REVISIONS		



SCALE 1" = 20' NOVEMBER 2021

**DEMOLITION PLAN** **C2**

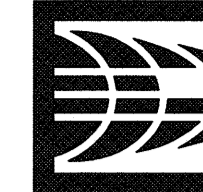


LOCATION MAP

SCALE: 1" = 300'

**PLAN REFERENCE:**

STANDARD BOUNDARY SURVEY, TAX MAP 117, LOTS 14 & 15, FOR PETER H. JARVIS & SONS, LLC. 1 CONGRESS STREET & HIGH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2021, ISSUED FOR RECORDING 12/8/21. R.C.R.D. PLAN D-43095.



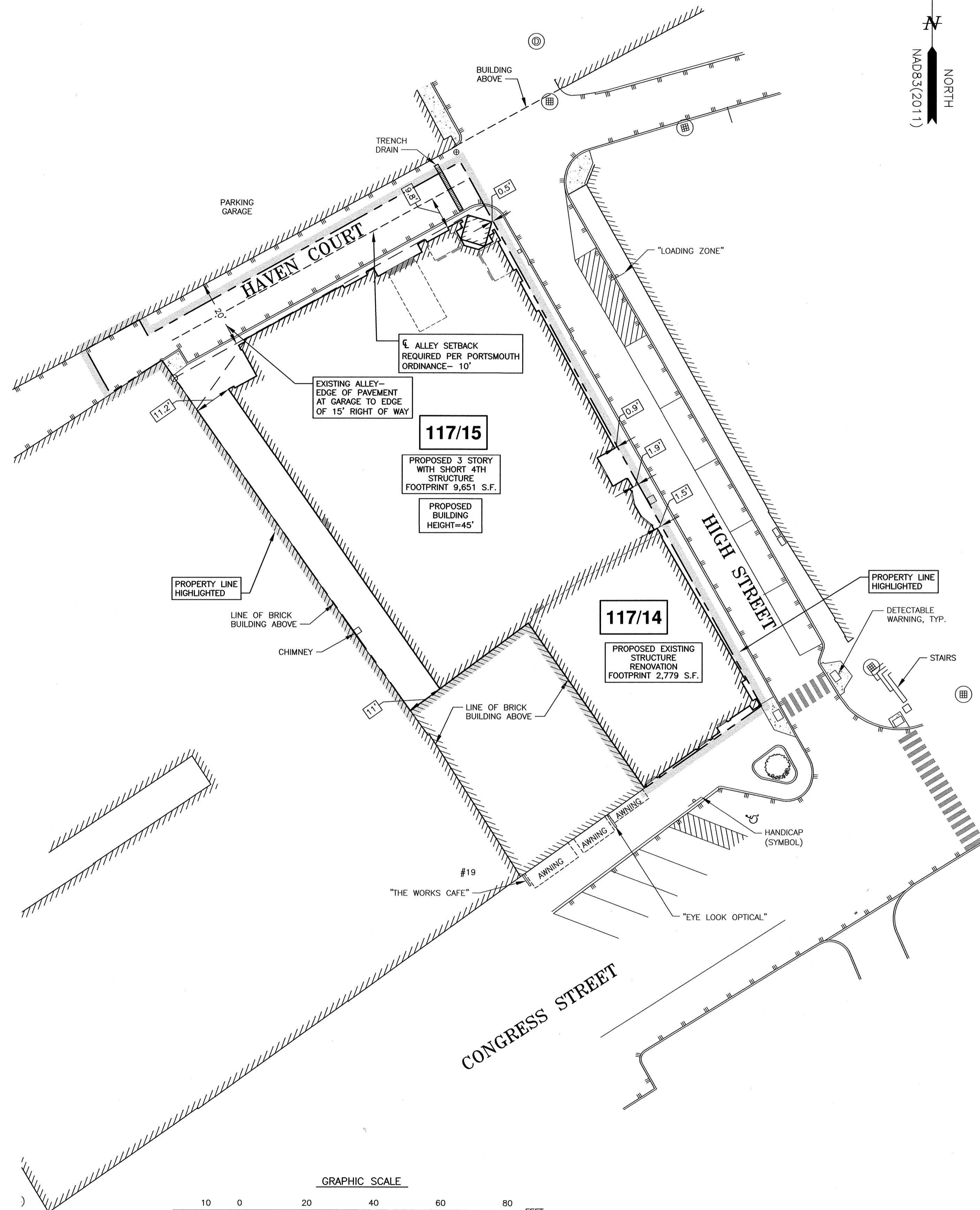
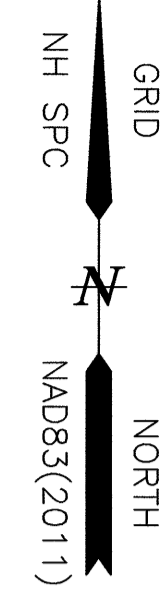
**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2316

**NOTES:**

- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 117 AS LOTS 14 AND 15.
- 2) OWNER OF RECORD:  
ONE MARKET SQUARE, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
6363/31 PARCEL 1 & PARCEL 2
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 AND CHARACTER DISTRICT 5. SEE TABLES THIS SHEET.
- 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 5) LOT AREAS: 

MAP 117 LOT 14	MAP 117 LOT 15
7,266 S.F.	8,840 S.F.
0.1668 ACRES	0.2029 ACRES

  
COMBINED LOT AREA:  
16,106 S.F.  
0.3697 ACRES
- 6) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT ON TAX MAP 117, LOTS 14 AND 15 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
- 9) HAVEN COURT IS A PRIVATE WAY 15 FEET WIDE. ALL RIGHTS, TITLE AND INTEREST UNTO SAID HAVEN COURT WERE CONVEYED WITH ASSESSOR'S MAP 117 LOT 15, AS DESCRIBED IN RCRD 983/179. SUBJECT TO RIGHTS OF OTHERS (OTHERS NOT DEFINED ON THIS PLAN).



One Market Square  
Conceptual Area Summary  
1/25/2022

addition	total gsf	cd4 - lot 15	cd5 - lot 14
4th floor	6,697	4,924	1,773
3rd floor	9,609	5,957	3,652
2nd floor	9,608	5,957	3,651
1st floor (footprint)	9,608	5,957	3,651
basement	9,791	6,162	3,629
<b>total new</b>	<b>45,313</b>		

renovation	total gsf	use
4th floor	2,294	residential
3rd floor	2,716	residential
2nd floor	2,716	office
1st floor	1,386	restaurant
1st floor	1,330	retail
basement	2,717	storage/mech
<b>total renovation</b>	<b>13,159</b>	

<b>TOTAL FOOTPRINT</b>	<b>12,324</b>
<b>TOTAL GSF</b>	<b>58,472</b>

**BUILDING DATA:**  
PROPOSED BUILDING:  
12,280 S.F. FOOTPRINT

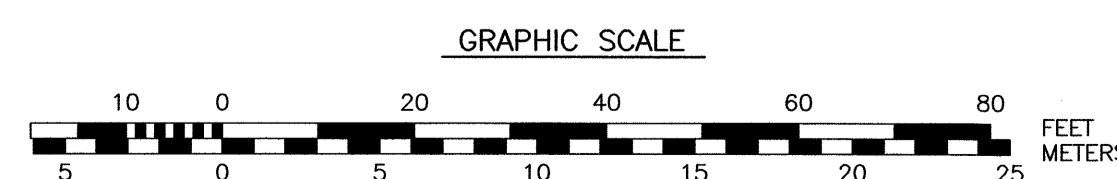
**HEIGHT DATA:**

LOT	REQUIRED HEIGHT & STORIES	PROPOSED HEIGHT & STORIES
14	2-3 STORIES WITH SHORT 4TH=45'	44'-11"/ 3 STORY WITH 4TH SHORT
15	2 STORIES WITH SHORT 3RD=35'	44'-11"/ 3 STORY WITH 4TH SHORT

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

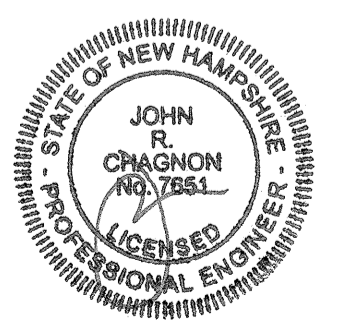
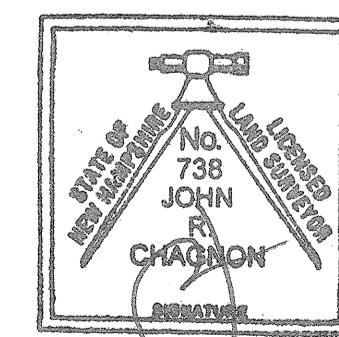
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



**COMMERCIAL DEVELOPMENT**  
**ONE CONGRESS STREET**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	REMOVE ZONING DEVELOPMENT TABLES	3/30/22
0	ISSUED FOR COMMENT	1/26/22

REVISIONS



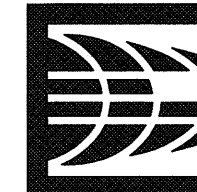
SCALE 1" = 20' NOVEMBER 2021

**OVERALL SITE PLAN**

**C3**

**UTILITY NOTES:**

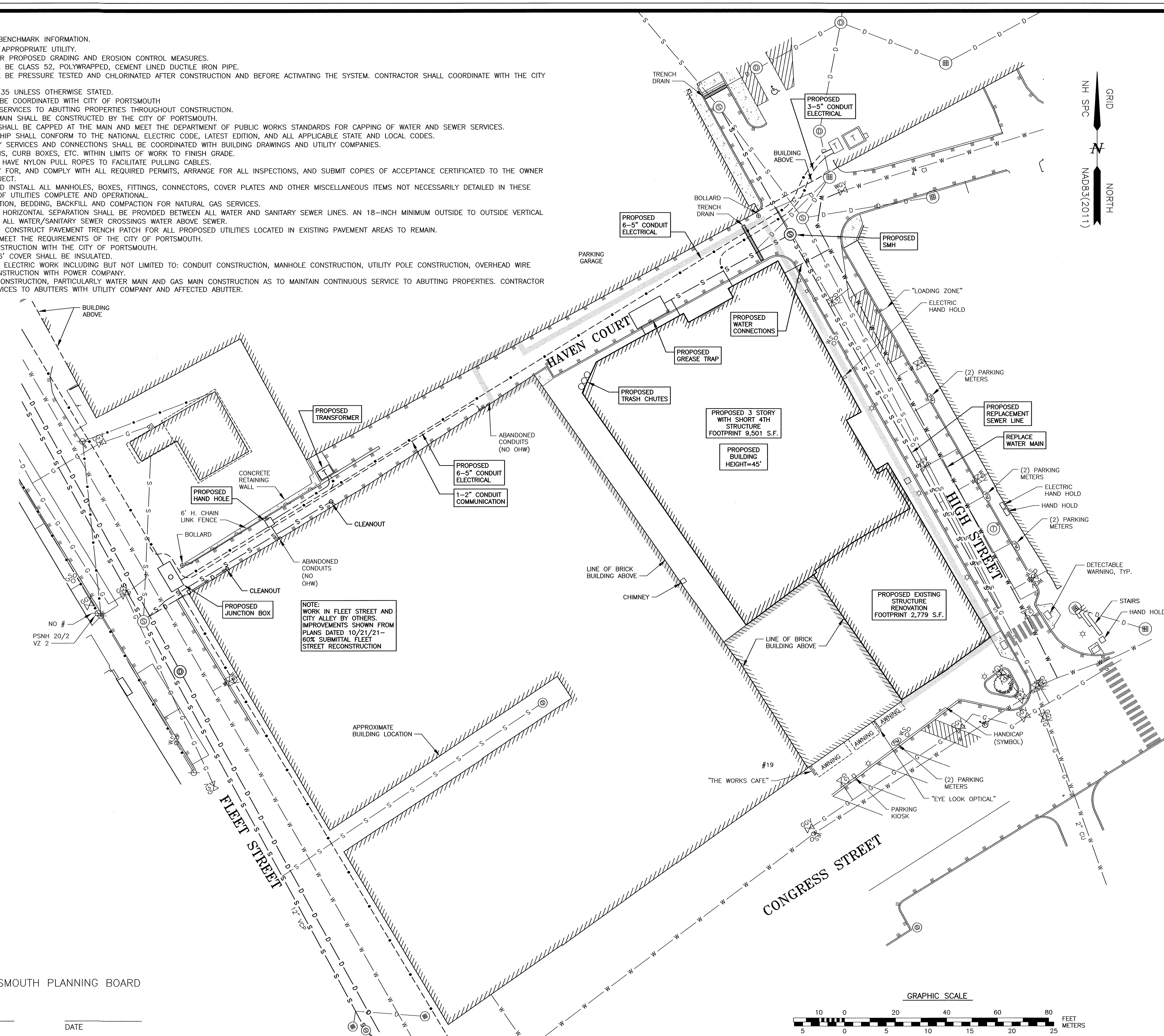
- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTING PROPERTIES WITH UTILITY COMPANY AND AFFECTED ADJUTING.



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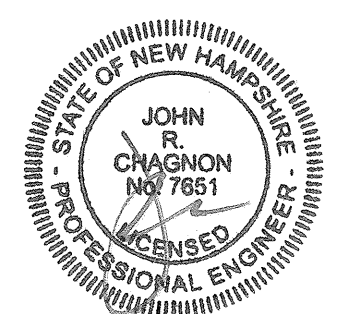
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- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER #7706719
- 8) PROPOSED SEWER FLOW (NEW CONSTRUCTION):  
 35,522 S.F. OFFICE SPACE  
 35,522 X (2.5 GPD/100 S.F.) = 888 GALLONS PER DAY.



**COMMERCIAL DEVELOPMENT  
 ONE CONGRESS STREET  
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	3/2/22
REVISIONS		

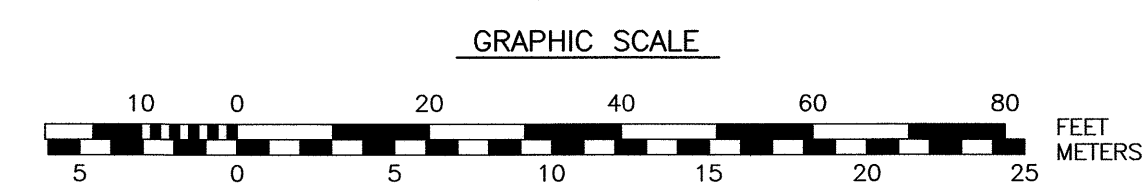


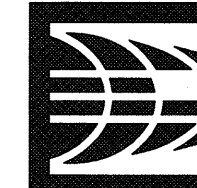
SCALE 1" = 20' NOVEMBER 2021

UTILITY PLAN **C4**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

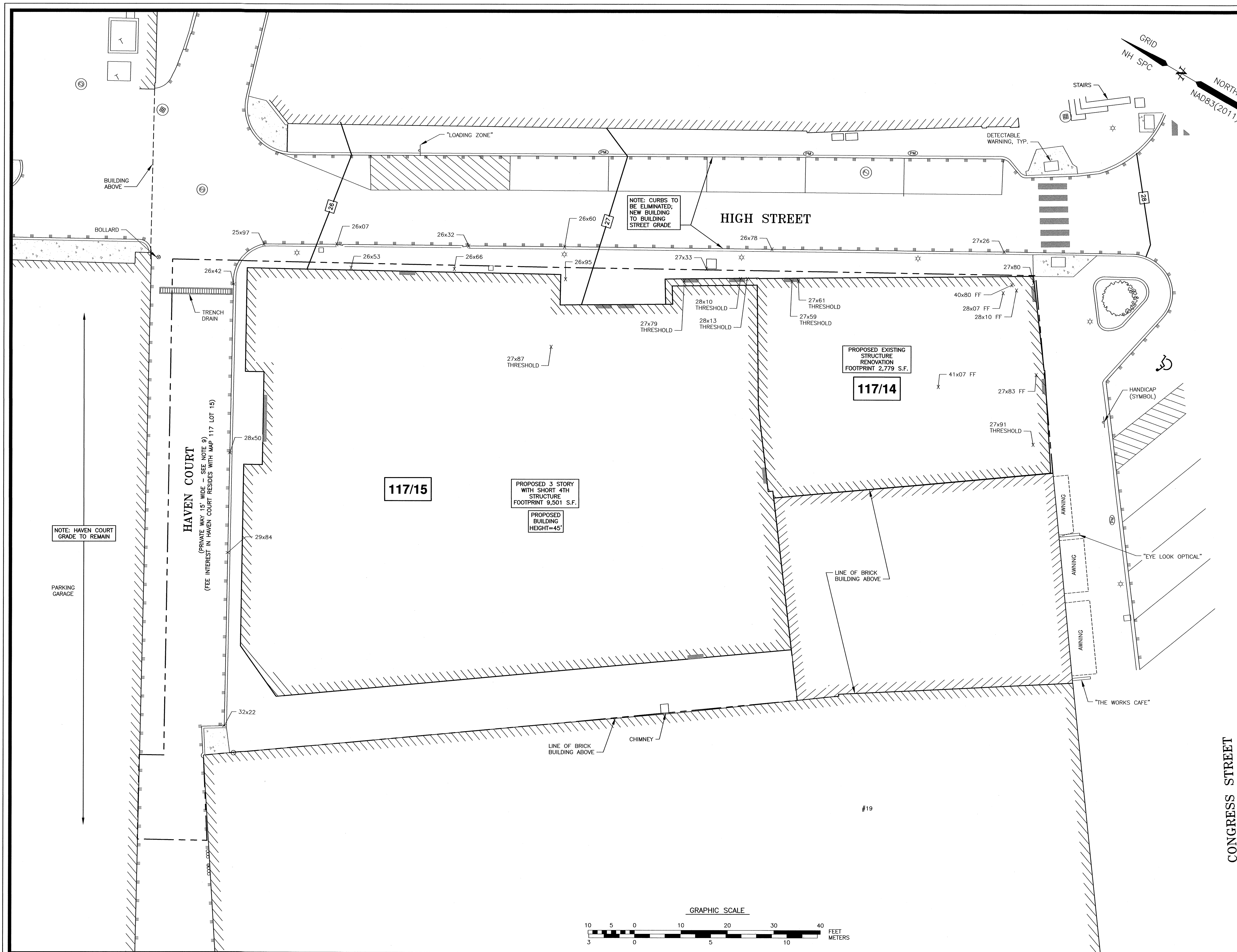




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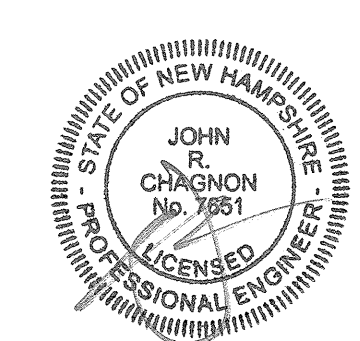
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**COMMERCIAL DEVELOPMENT**  
**ONE CONGRESS STREET**  
**PORTSMOUTH, N.H.**

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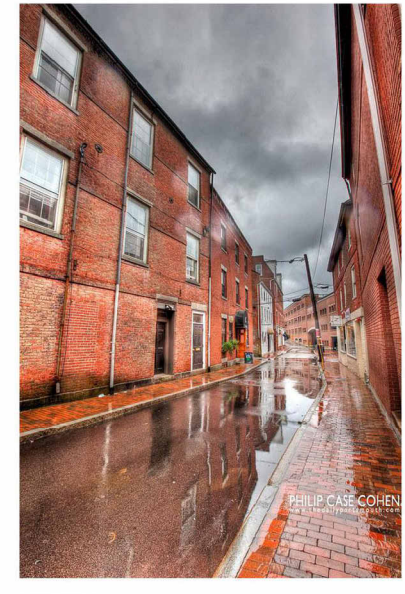


SCALE 1" = 10' NOVEMBER 2021

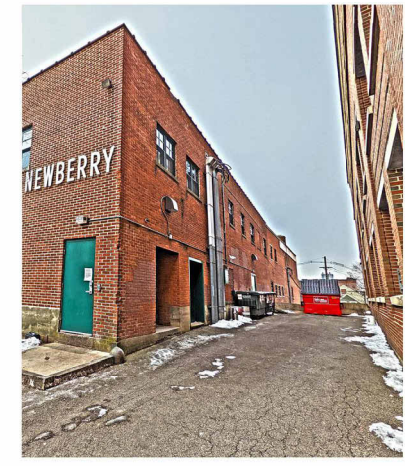
**GRADING PLAN** **C5**



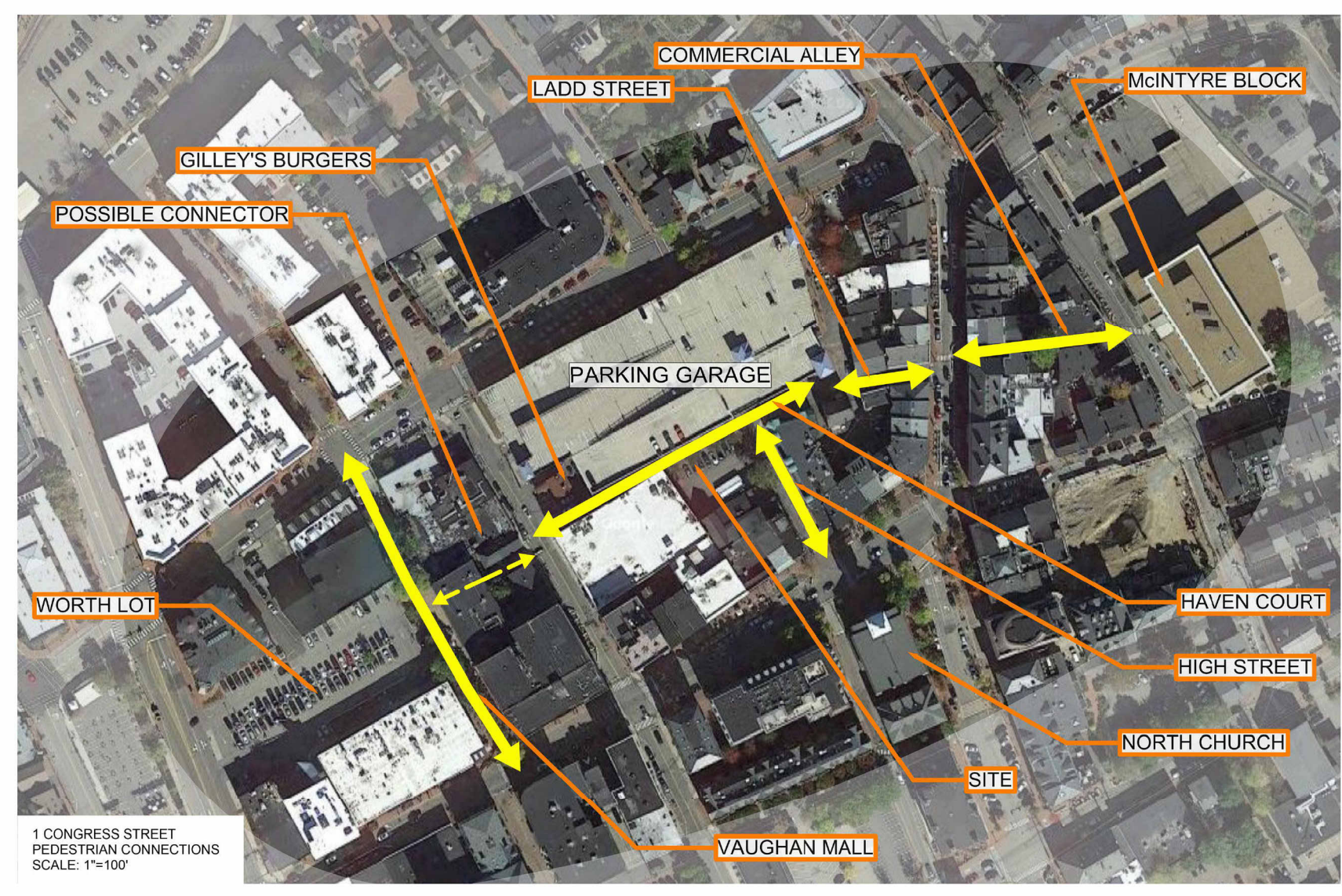
COMMERCIAL ALLEY



LADD STREET



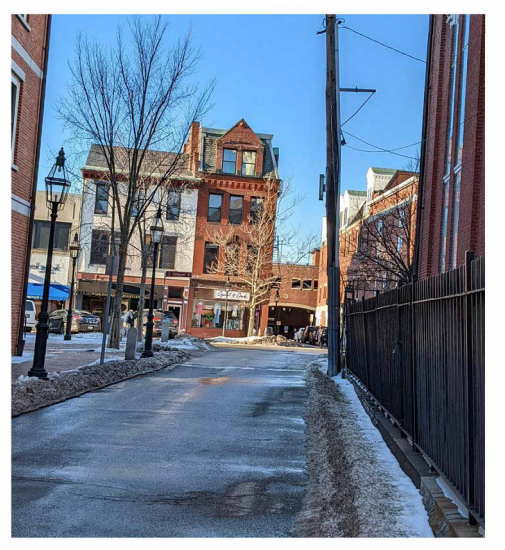
HAVEN COURT (LOOKING EAST)



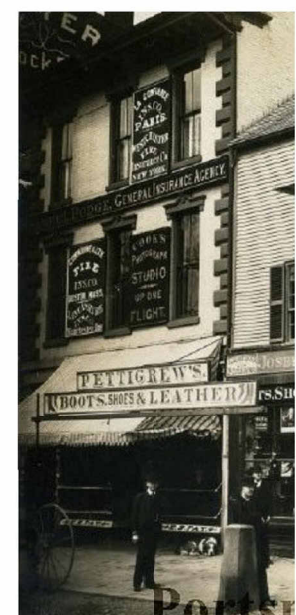
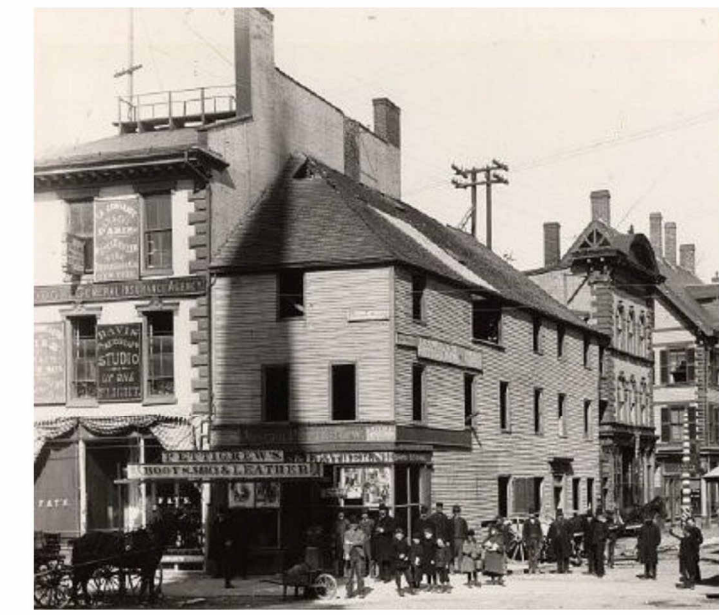
1 CONGRESS STREET  
PEDESTRIAN CONNECTIONS  
SCALE: 1"=100'



LADD STREET AT HIGH STREET



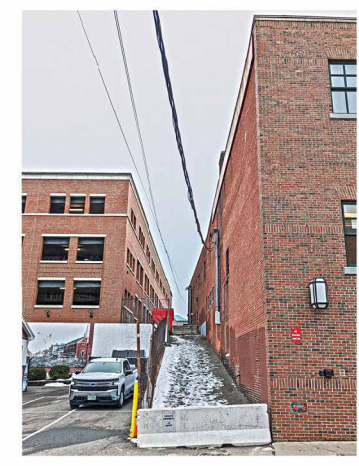
CHURCH STREET TOWARDS HILL STREET



H2.07 HISTORIC  
1 CONGRESS STREET  
SCALE: 8000000



HAVEN COURT AT FLEET STREET



HAVEN COURT (LOOKING WEST)

PEDESTRIAN CONNECTIONS  
CONTEXT MAP  
H2.02  
1 CONGRESS STREET  
SCALE: 8000000



1



2



3



4



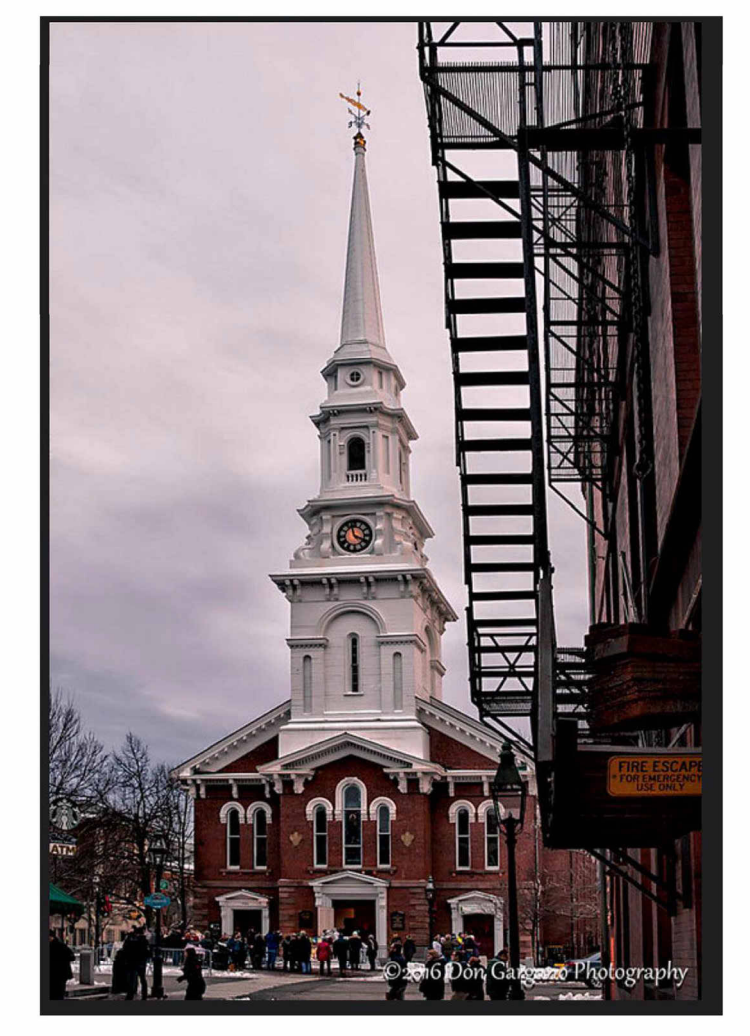
H2.04 EXISTING CONDITIONS PHOTOS  
1 CONGRESS STREET  
SCALE: 8000000



HIGH STREET



LADD STREET



HIGH STREET

H2.03 WAYFINDING  
1 CONGRESS STREET  
SCALE: 8000000



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ambitengineering.com

Terra Firma Landscape  
Landscape Architecture  
163a Court St  
Portsmouth NH 03801  
(603) 531-9109  
terrafirmalandscape.com

1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET  
PORTSMOUTH, NH 03801

ONE MARKET SQUARE  
LLC, OWNER

Scale:  
Date: 03/30/2022  
Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

CONTEXT

A0

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**1 CONGRESS STREET**

1 CONGRESS STREET & HIGH STREET  
 PORTSMOUTH, NH 03801

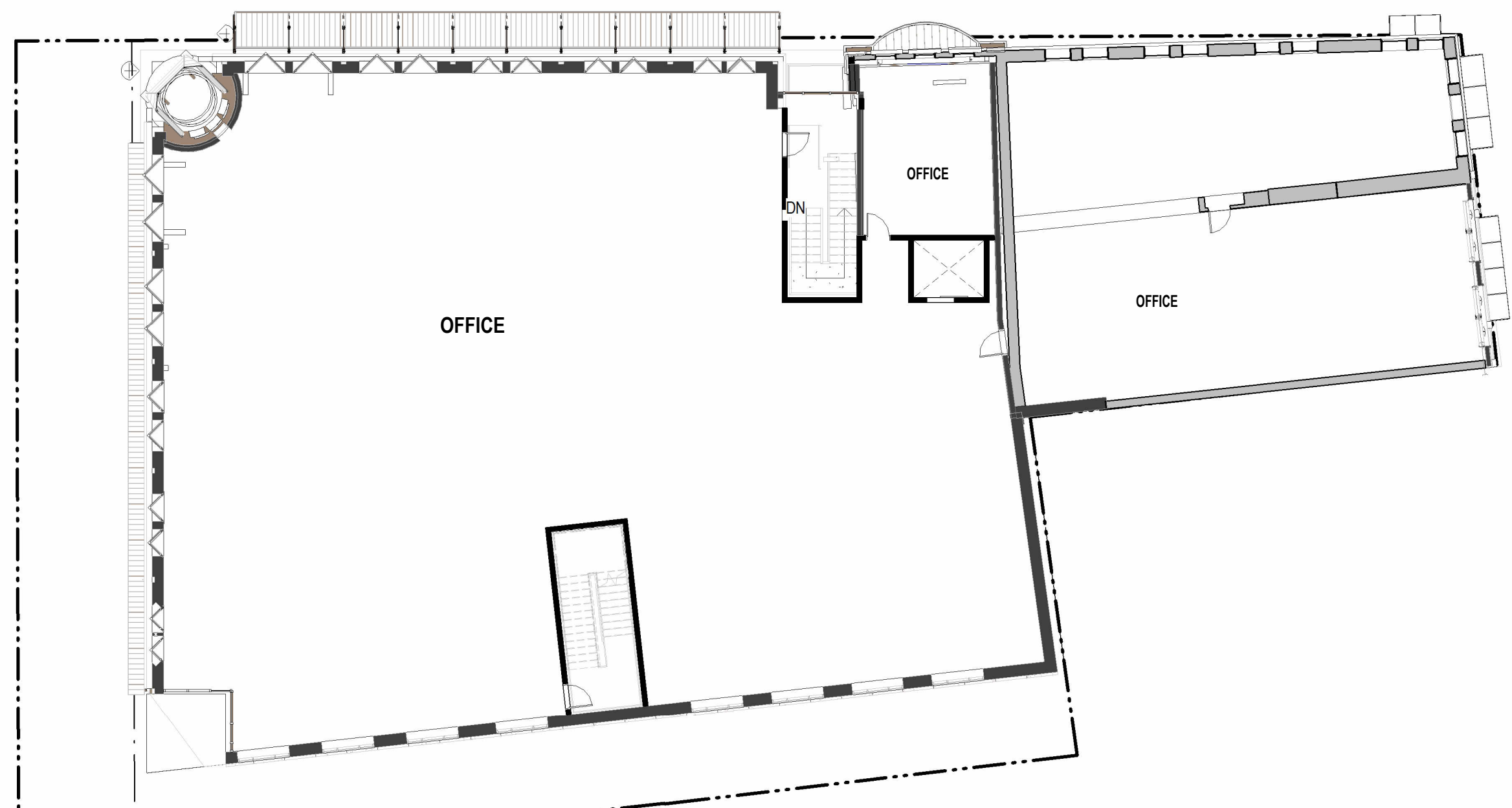
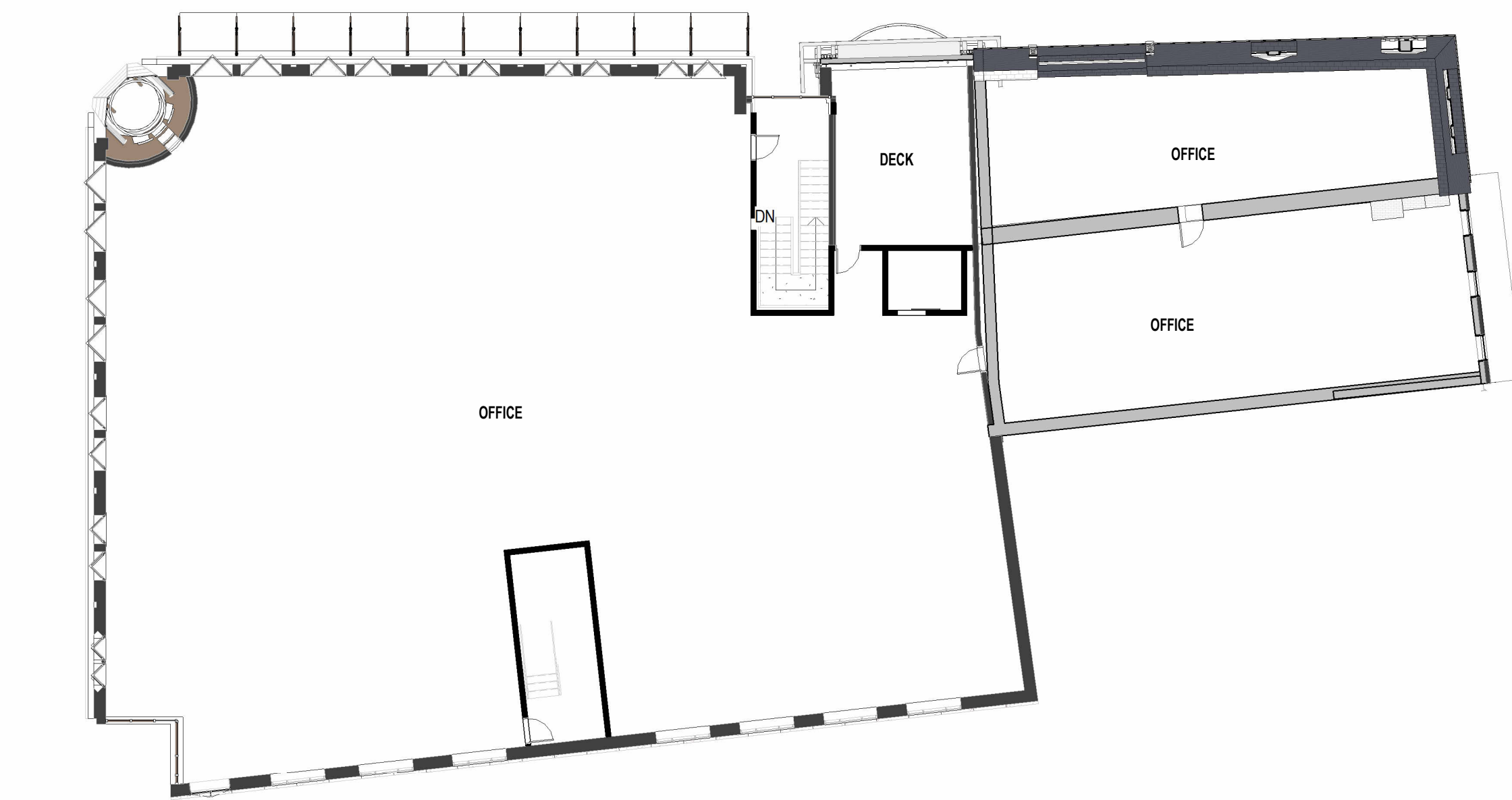
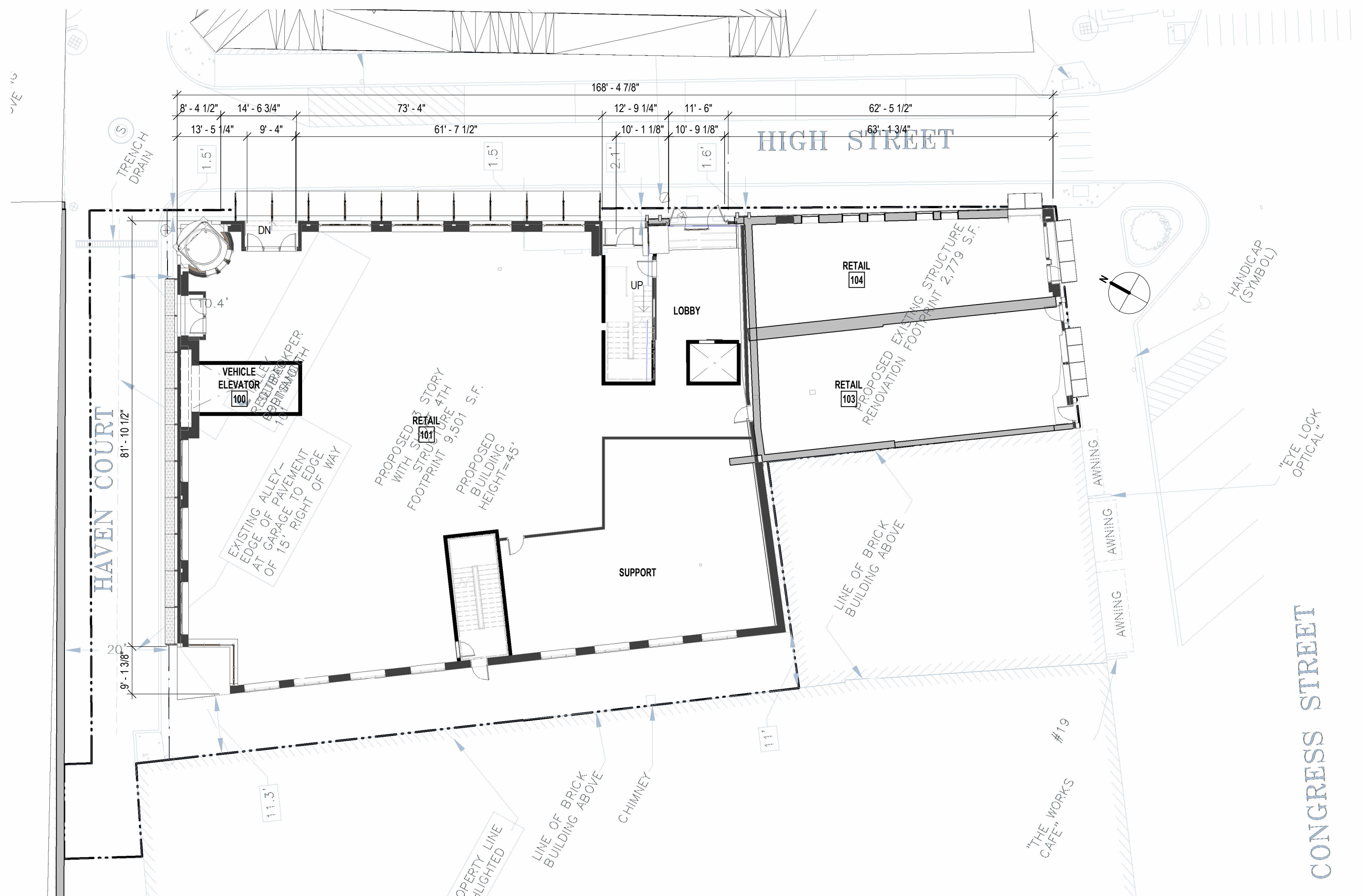
**ONE MARKET SQUARE  
 LLC, OWNER**

Scale: 1/16" = 1'-0"  
 Date: 03/30/2022  
 Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

**SITE PLAN REVIEW**

**FLOOR PLANS**



1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET  
 PORTSMOUTH, NH 03801

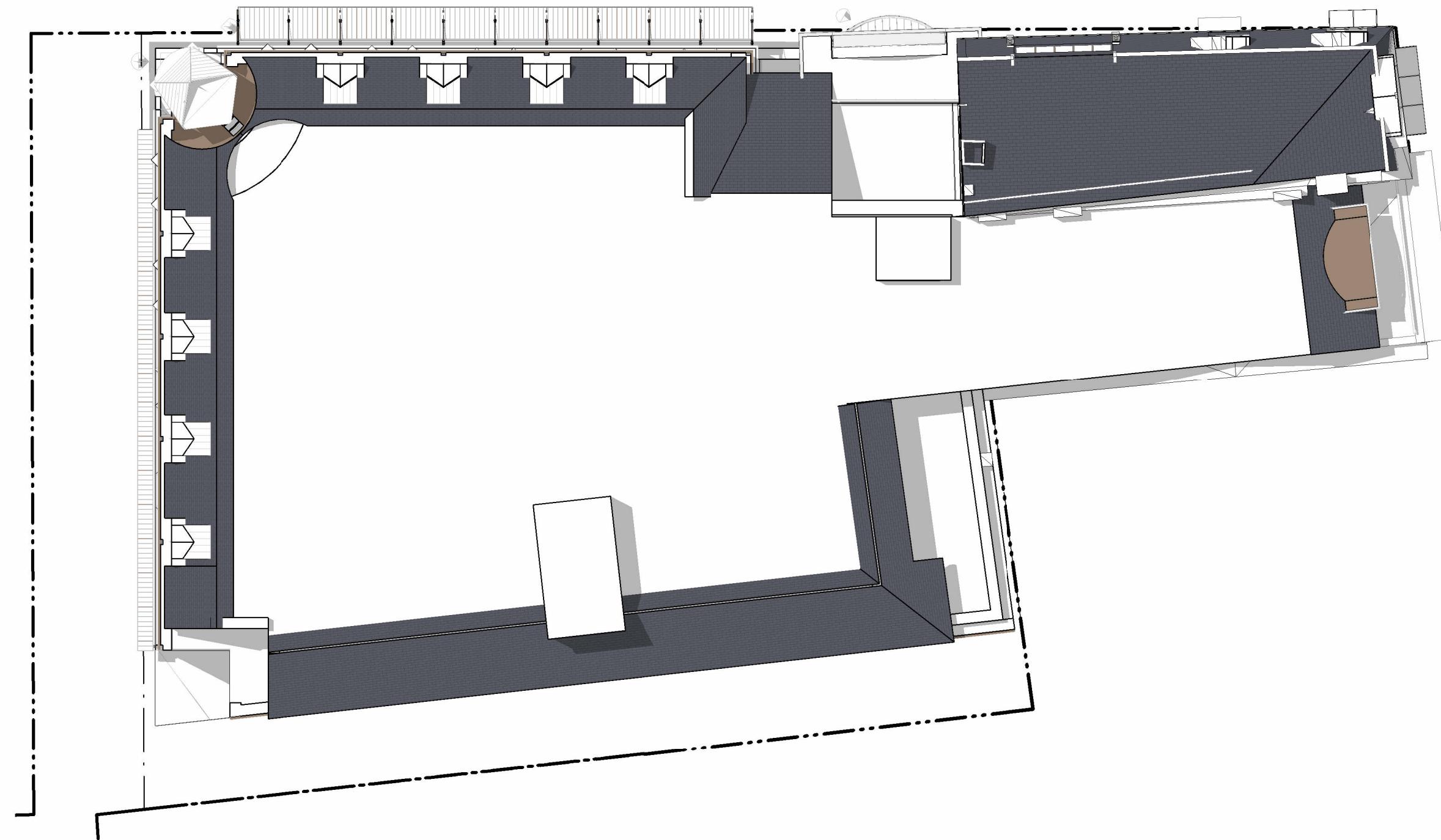
ONE MARKET SQUARE  
 LLC, OWNER

Scale: 1/16" = 1'-0"  
 Date: 03/30/2022  
 Project Number: 1002

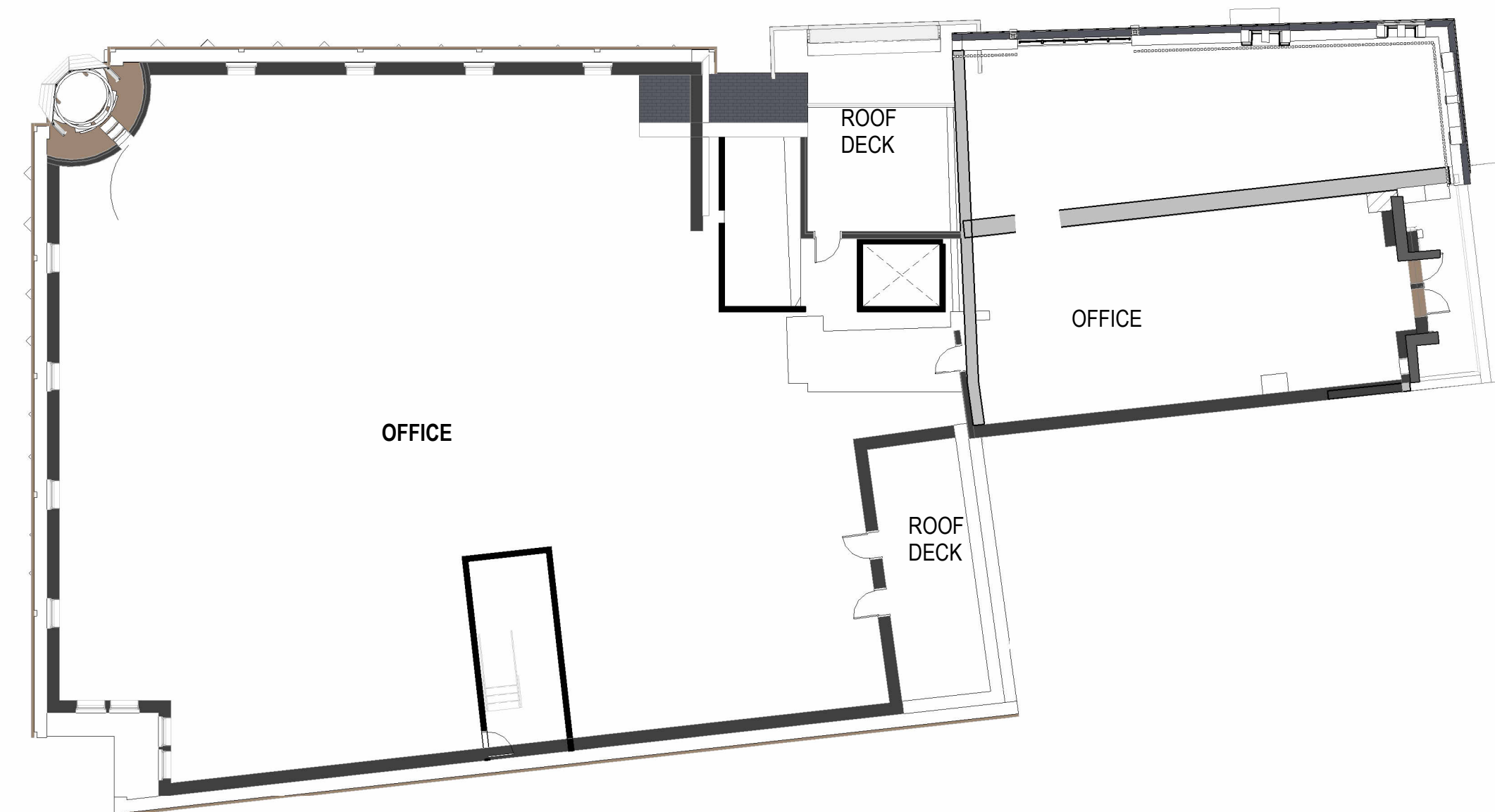
REVISIONS		
NO.	DESCRIPTION	DATE

SITE PLAN REVIEW

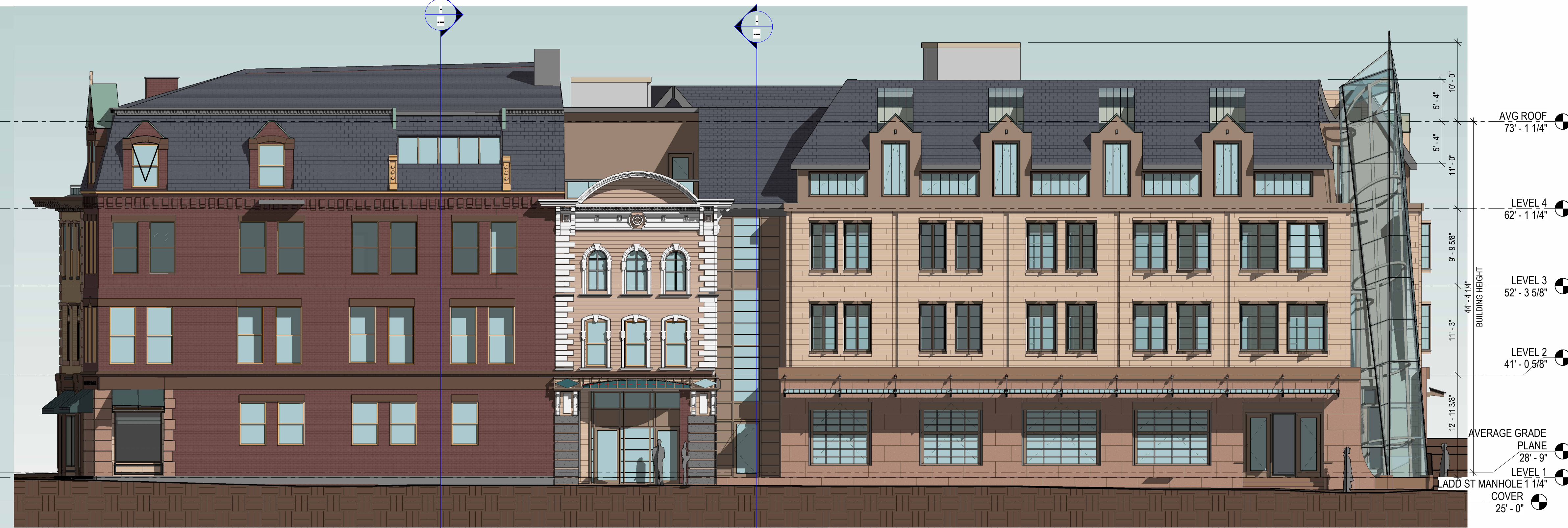
FLOOR PLANS



2 ROOF - Presentation Plan PB2  
 1/16" = 1'-0"



1 LEVEL 4 - Presentation Plan PB2  
 1/16" = 1'-0"



1 PROPOSED ELEVATION - NE - HIGH STREET  
 1/8" = 1'-0"

1 CONGRESS STREET

1 CONGRESS STREET & HIGH STREET  
 PORTSMOUTH, NH 03801

ONE MARKET SQUARE  
 LLC, OWNER

Scale: 1/8" = 1'-0"  
 Date: 03/30/2022  
 Project Number: 1002

REVISIONS		
NO.	DESCRIPTION	DATE

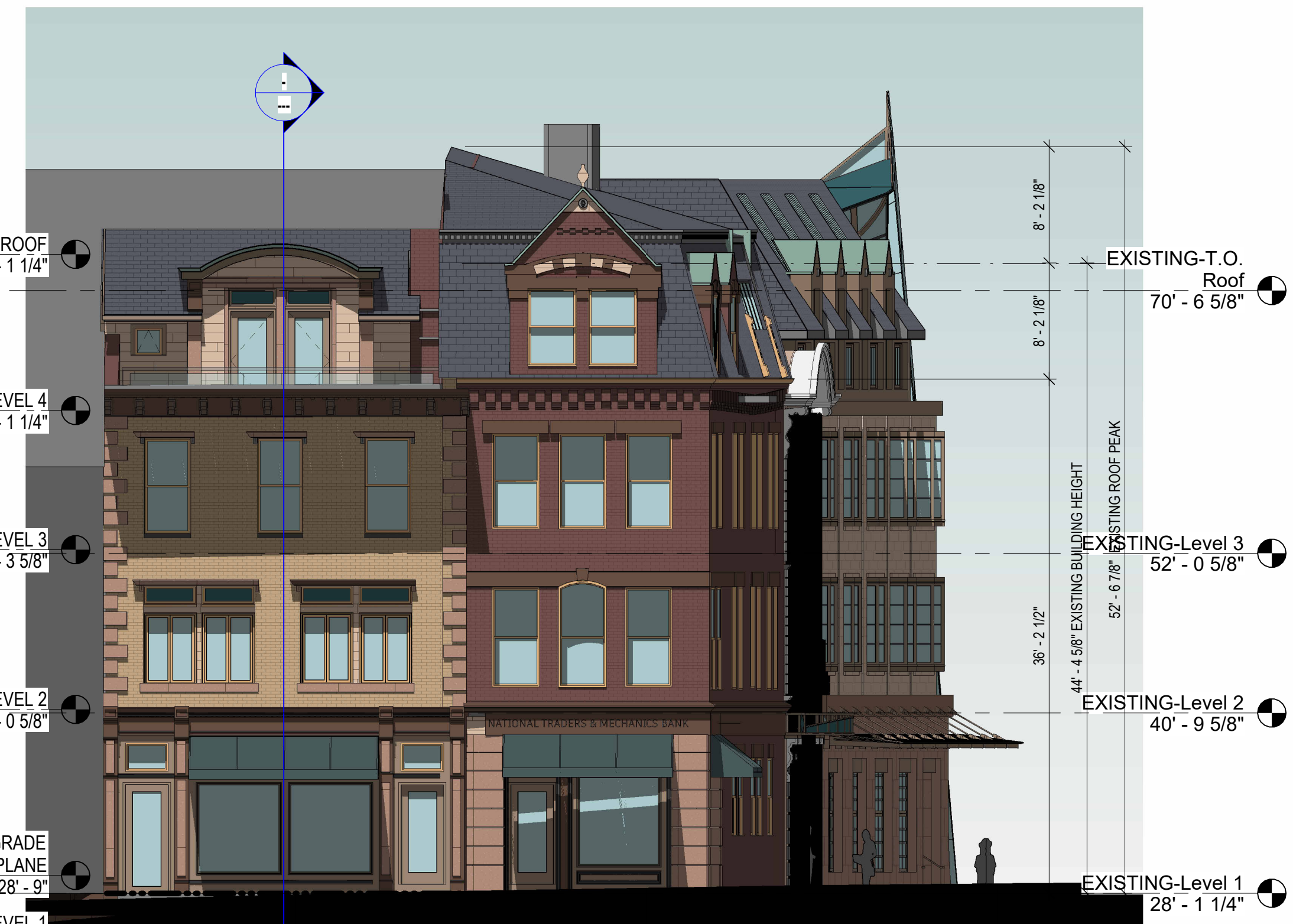
SITE PLAN REVIEW

ELEVATIONS

A3



2 PROPOSED ELEVATION - NW HAVEN COURT  
 1/8" = 1'-0"



3 PROPOSED ELEVATION - CONGRESS STREET  
 1/8" = 1'-0"



3 Congress St, Ste 1  
 Portsmouth, NH 03801  
 T 603.731.5187  
 arcove.com

**Ambit Engineering Inc**  
 Civil Engineering  
 200 Griffin Rd Unit 3  
 Portsmouth NH 03801  
 (603) 430-9282  
 ambitengineering.com

**Terra Firma Landscape**  
 Landscape Architecture  
 163a Court St  
 Portsmouth NH 03801  
 (603) 531-9109  
 terrafirmalandarch.com

**1 CONGRESS STREET**

1 CONGRESS STREET & HIGH STREET  
 PORTSMOUTH, NH 03801

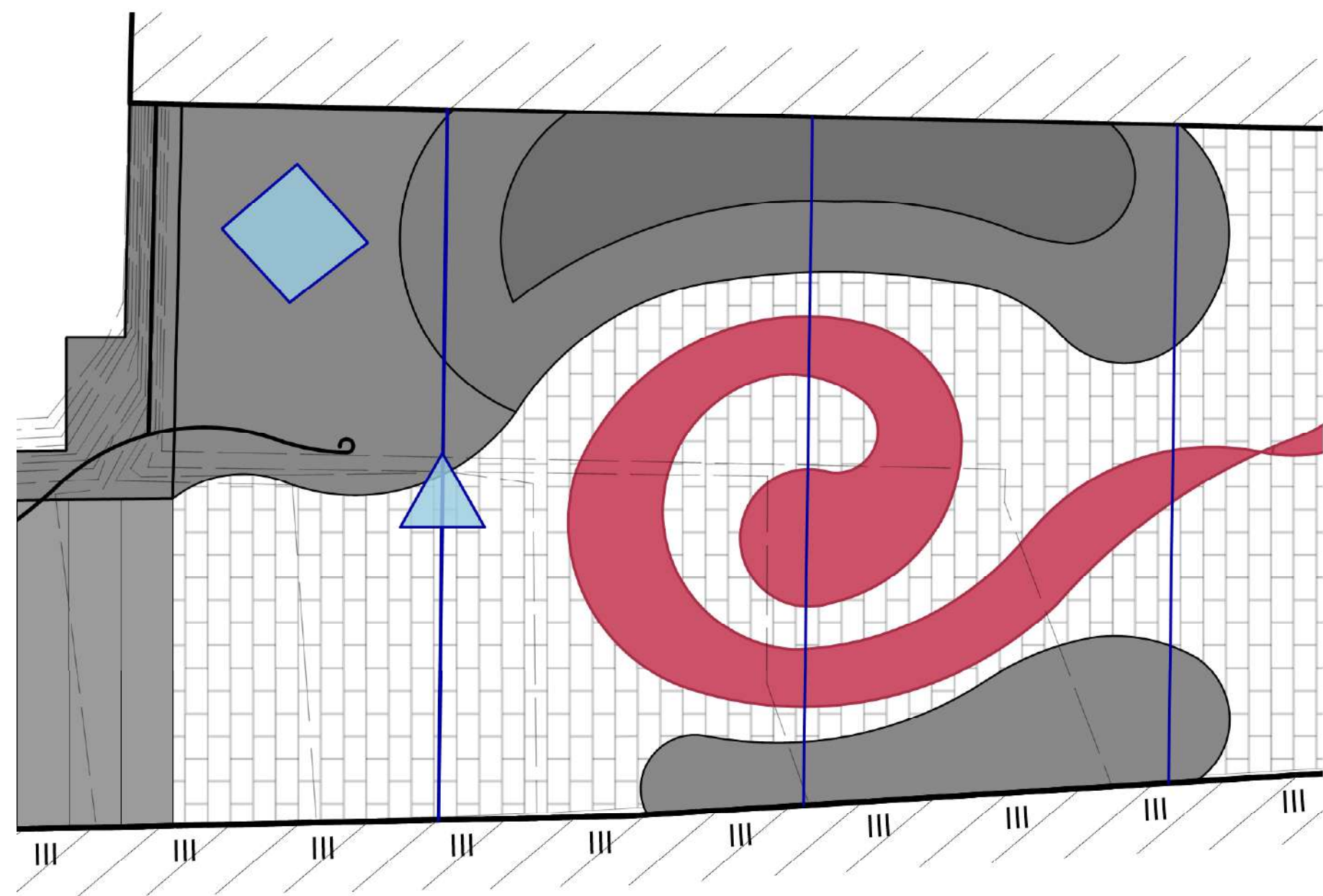
**ONE MARKET SQUARE  
 LLC, OWNER**

Scale:  
 Date: 03/30/2022  
 Project Number: 1002

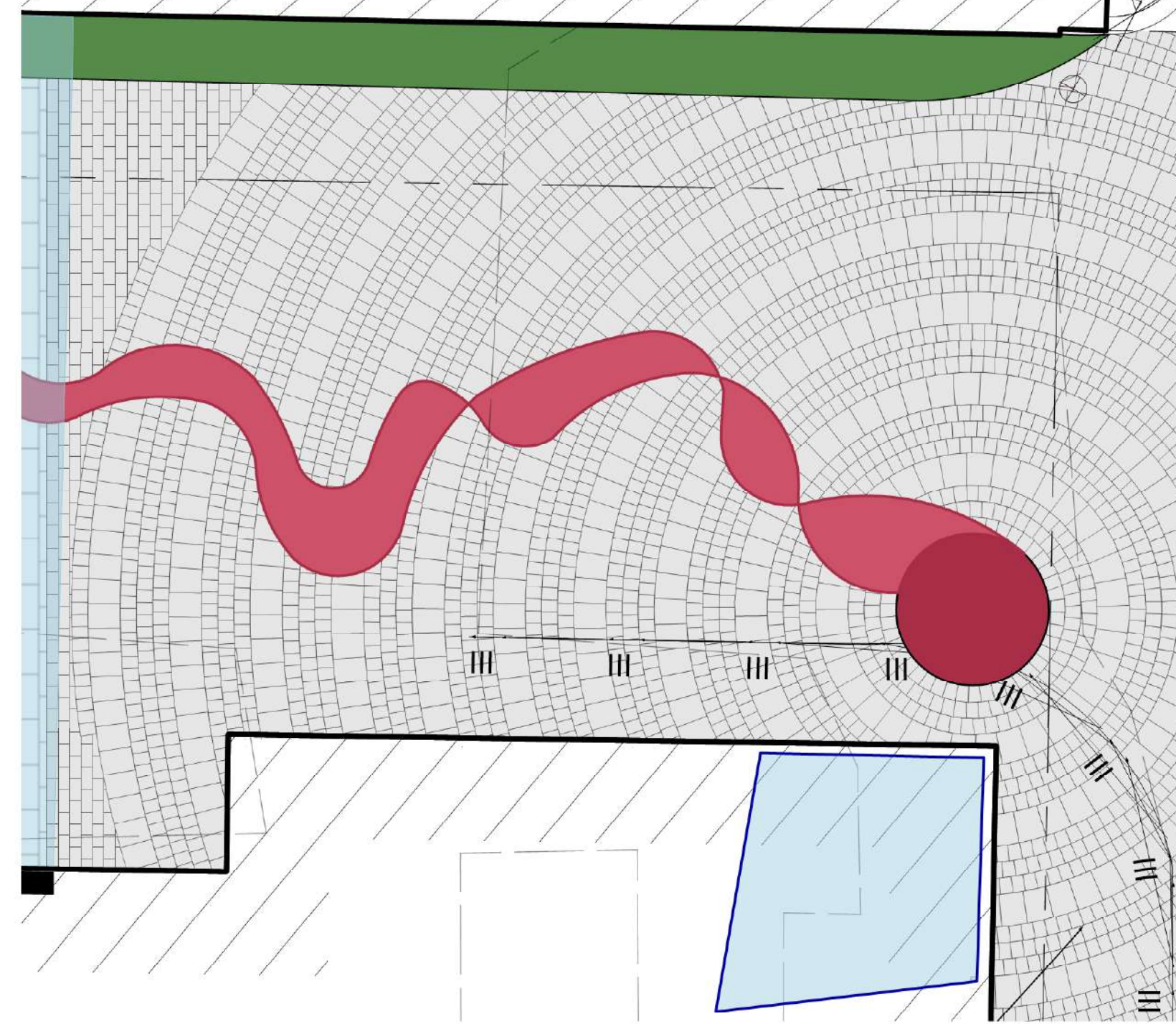
REVISIONS		
NO.	DESCRIPTION	DATE

**SITE PLAN REVIEW**

**3D VIEWS**



AMPHITHEATER DETAIL WITH SERPENTINE END



SERPENTINE BEGINNING DETAIL



CATENARY LIGHTING



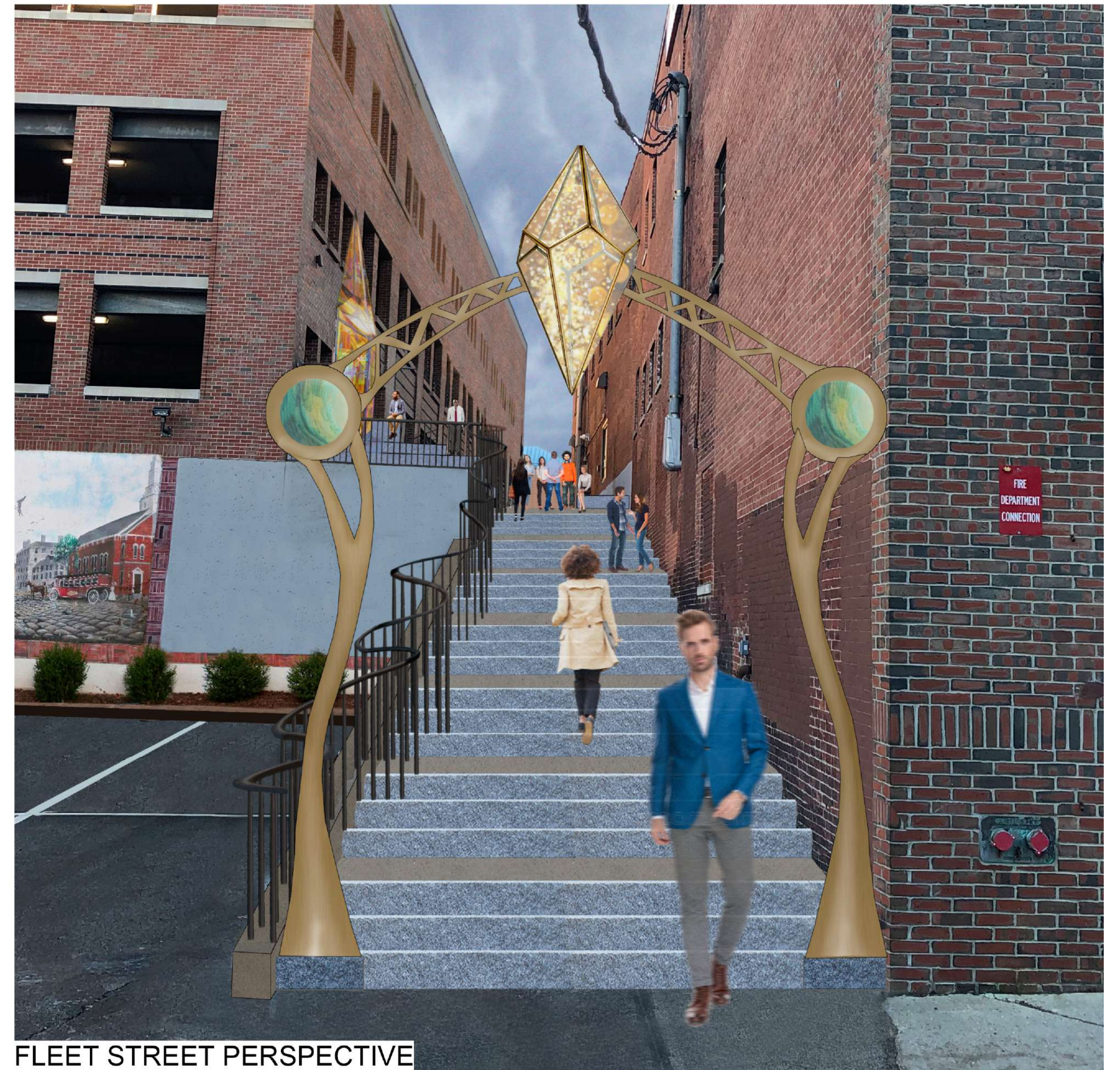
STONE SEATING



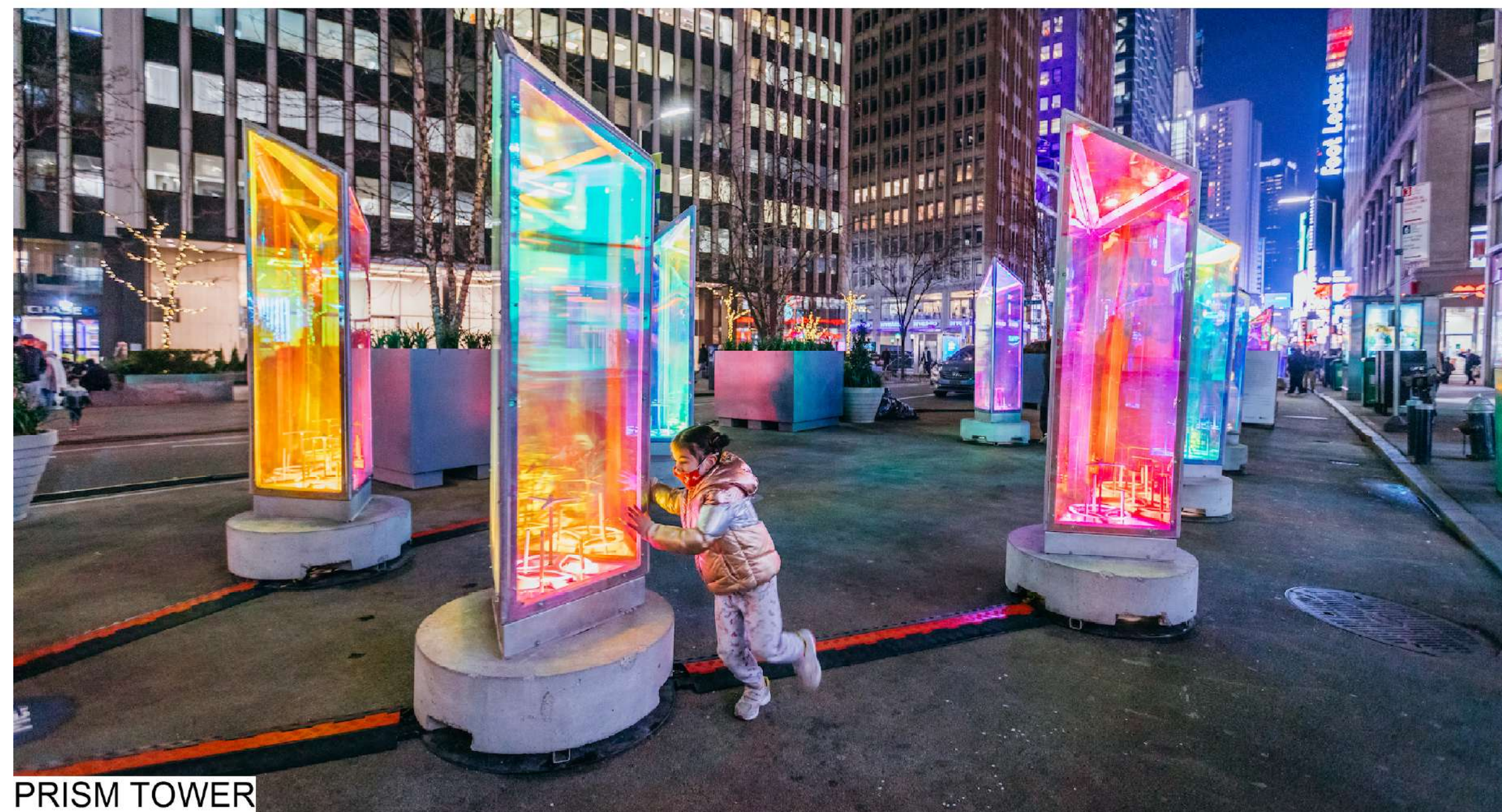
STONE SEATING



LABYRINTH INSPIRES + INFORMS THE SERPENTINE PAVING



FLEET STREET PERSPECTIVE



PRISM TOWER



LIGHT FIXTURE

LANDSCAPE IDEAS  
1 CONGRESS STREET



terra firma  
landscape architecture

167 a court street - portsmouth, nh 03801  
office 603.430.8388 | terrence@terrafirmalandarch.com

**AMBIT ENGINEERING, INC.** CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

6 April 2022

Rick Chellman, Planning Board Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for Preliminary Conceptual Consultation and Design Review at 161 Deer Street to be known as 88 Maplewood Avenue, Mixed Use Site Development**

Dear Mr. Chellman and Planning Board Members:

On behalf of Tom Balon and EightKPH, LLC we are pleased to submit the attached plan set for **Preliminary Conceptual Consultation** as well as **Design Review** for the above-mentioned project and request that we be placed on the agenda for your **April 21, 2022** Planning Board Meeting. The project consists of the replacement of the existing One Story commercial building at 161 Deer Street with a new 4 Story with a Penthouse building with the associated and required site improvements. The new building is intended to be known as 88 Maplewood Avenue. The re-development will include parking below street level.

The site redevelopment consists of replacing the existing structure with a new structure. The site is known as DSA Lot 5; part of the Consolidation and Subdivision Approved by the Planning Board in 2016. The property was a part of the overall planning for development on the 5 lots and had a proposed building designed; however that building did not go through and complete the permit process entirely. This application revises the proposed building and as such will go through HDC review. The property is located in the CD – 5, Downtown Overlay, North End Incentive, and Historic Districts. The application conforms to the required Density and Development Standards with a few exceptions to codes. The project therefore requires the filing of an application with the Zoning Board of Adjustment for those items; although the Development team would like feedback from the Planning Board and the Public before committing to that part of the process.

This applicant seeks Planning Board input as required under Section 2.4.2.1 of the Site Plan Regulations (**Preliminary Conceptual Consultation**) and would like to go to a Public Hearing to get additional public feedback under the **Design Review** process.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Subdivision Plan – This plan show the plan which created the current property boundaries.
- Easement Plan – This plan shows the location of the Restrictive Covenant granted to the parcel.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows demolition of the existing building.

- Site Plan C3 – This plan shows the site development in detail with the associated Zoning Development Standards and Floor Area calculations.
- Parking Level Plan C4 – This plan shows the lower level parking layout.
- Utility Plan C5 – This plan shows proposed site utilities.
- Grading Plan C6 – This plan shows proposed site grading.
- Deer Street Elevation Massing and First Floor Plan – This plan shows a DRAFT Elevation and the layout of the first floor.
- Detail Sheets D1 to D4 – These plans show site details.

We look forward to the Planning Boards review of this submission and the Boards feedback on the proposed design.

Sincerely,

*John Chagnon*

John R. Chagnon, PE

CC: Tom Balon, Carla Goodknight, Terrance Parker

# SITE DEVELOPMENT EIGHT KPH, LLC

88 MAPLEWOOD AVENUE  
PORTSMOUTH, NEW HAMPSHIRE  
PERMIT PLANS

**OWNER/APPLICANT:**

**EIGHT KPH, LLC**  
233 VAUGHAN STREET, UNIT 301  
PORTSMOUTH, N.H. 03801  
Tel. (617) 901-7993

**CIVIL ENGINEER & LAND SURVEYOR:**

**AMBIT ENGINEERING, INC.**  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, N.H. 03801  
Tel. (603) 430-9282  
Fax (603) 436-2315

**ARCHITECT:**

**CJ ARCHITECTS**  
233 VAUGHAN STREET, SUITE 101  
PORTSMOUTH, N.H. 03801  
TEL. (603) 431-2808

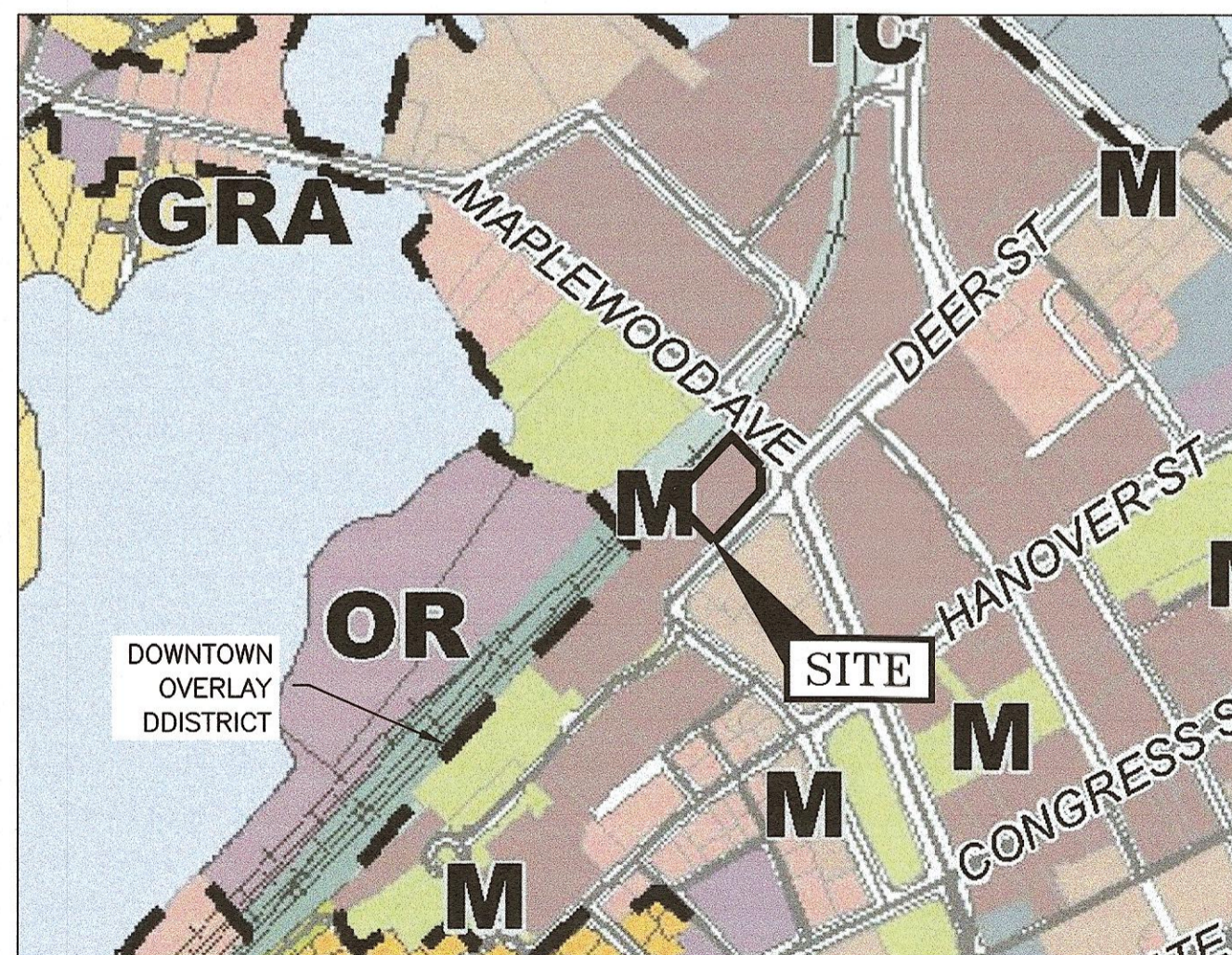
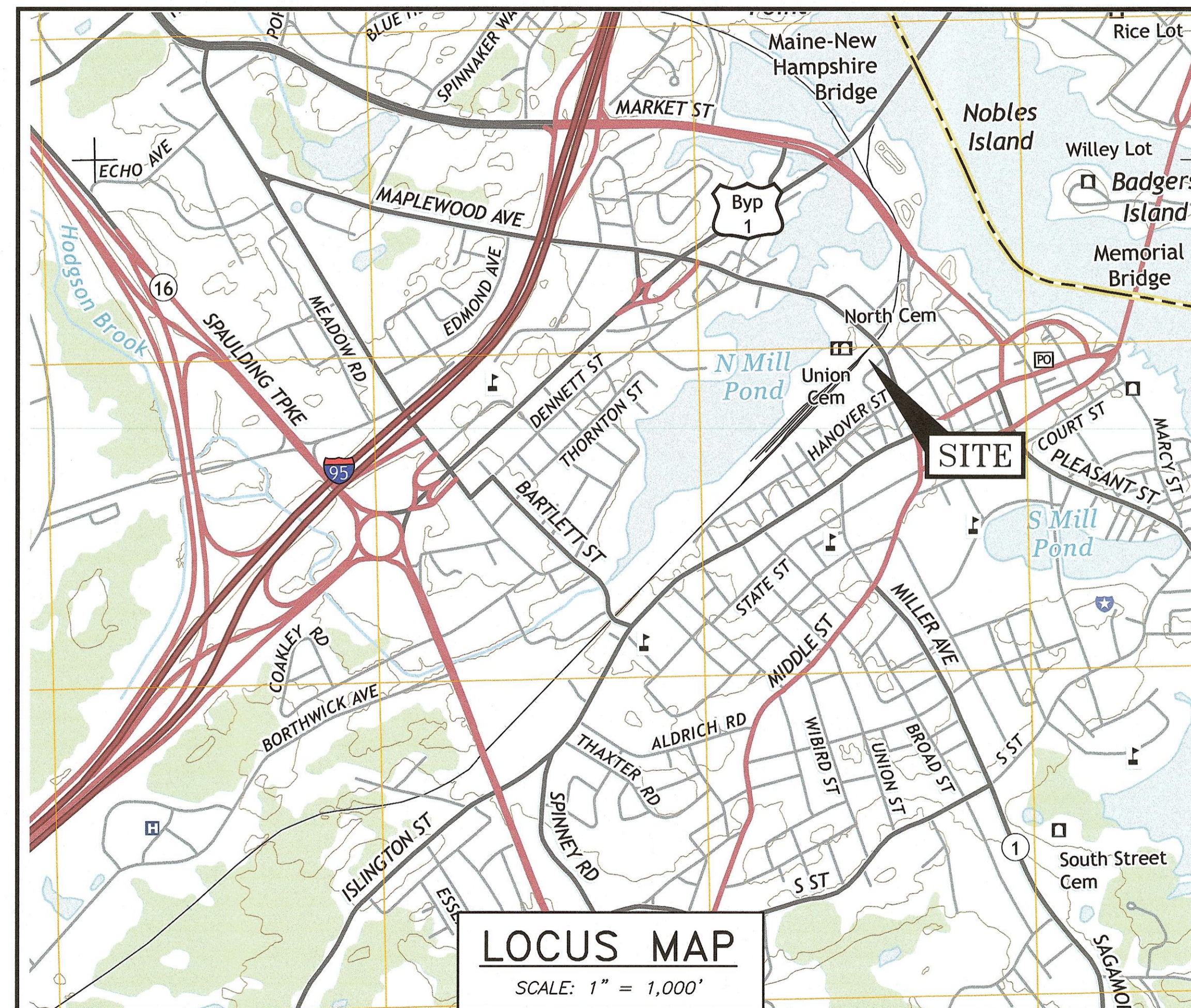
**LANDSCAPE ARCHITECT:**

**TERRA FIRMA LANDSCAPE ARCHITECTURE**  
163A COURT STREET  
PORTSMOUTH, NH 03801  
TEL. (603) 430-8388

**PERMIT LIST:**  
NHDES SEWER DISCHARGE PERMIT:  
PORTSMOUTH BOA:  
PORTSMOUTH HDC:  
PORTSMOUTH SITE PLAN:

**LEGEND:**

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	UD	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
---	---	CONTOUR
---	---	SPOT ELEVATION
---	---	UTILITY POLE
---	---	WALL MOUNTED EXTERIOR LIGHTS
---	---	TRANSFORMER ON CONCRETE PAD
---	---	ELECTRIC HANDHOLD
---	---	SHUT OFFS (WATER/GAS)
---	---	GATE VALVE
---	---	HYDRANT
---	---	CATCH BASIN
---	---	SEWER MANHOLE
---	---	DRAIN MANHOLE
---	---	TELEPHONE MANHOLE
---	---	PARKING SPACE COUNT
---	---	PARKING METER
---	---	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	-	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



**Map 10.5A21A**  
Character Districts and Civic Districts

**Legend**

- Downtown Overlay District
- Historic District

**Character Districts**

- CD5 Character District 5
- CD4 Character District 4
- CD4-W Character District 4-W
- CD4-L1 Character District 4-L1
- CD4-L2 Character District 4-L2

**Civic District**

- Civic District

**Municipal District**

- Municipal District



**INDEX OF SHEETS**

DWG. NO.	DESCRIPTION
-	SUBDIVISION PLAN
-	EASEMENT PLAN
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	SITE PLAN
C4	PARKING LEVEL PLAN
C5	UTILITY PLAN
C6	GRADING PLAN
-	DEER STREET ELEVATION MASSING & FIRST FLOOR PLAN
D1-D4	DETAILS

**UTILITY CONTACTS**

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**CABLE:**  
COMCAST  
155 COMMERCE WAY  
PORTSMOUTH, N.H. 03801  
Tel. (603) 679-5695 (X1037)  
ATTN: MIKE COLLINS

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

**COMMUNICATIONS:**  
FAIRPOINT COMMUNICATIONS  
JOE CONSIDINE  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**SITE PERMIT PLANS  
SITE DEVELOPMENT  
EIGHT KPH, LLC  
88 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.**

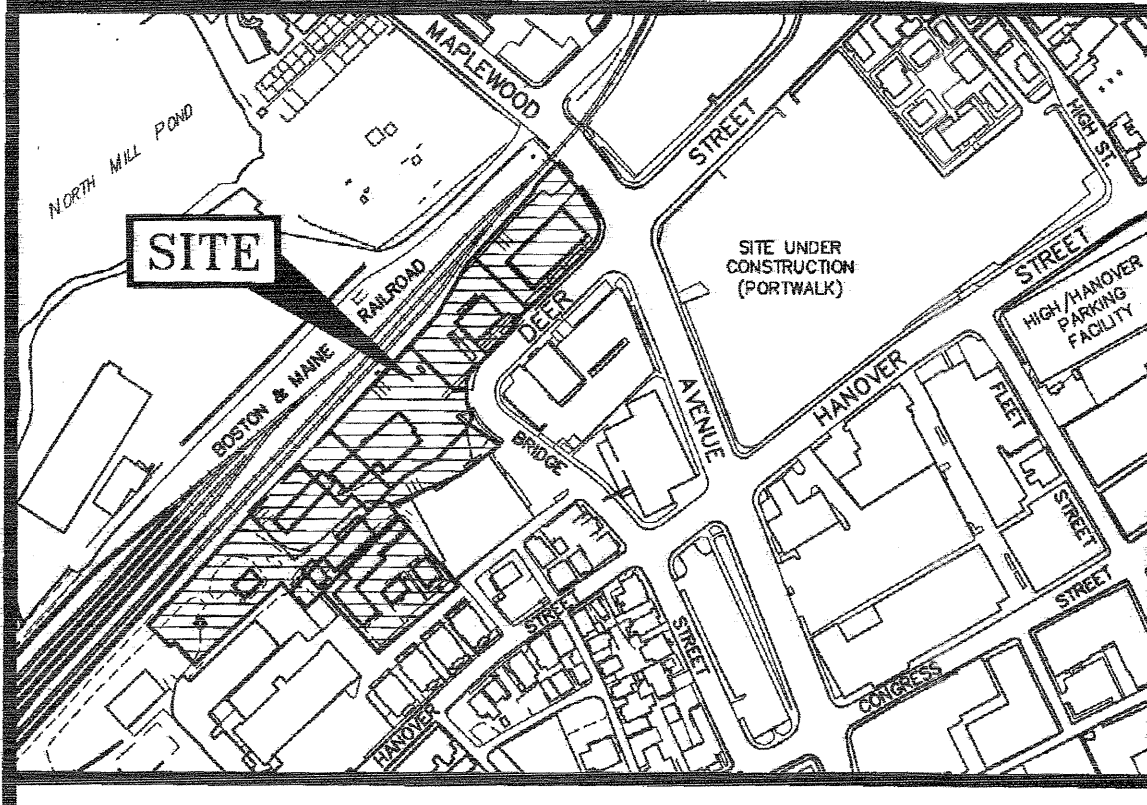


**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 6 APRIL 2022



C/H  
L-CHIP  
ROA338849



LOCATION MAP SCALE: 1" = 300'

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHND NHDOT BOUND FOUND
- BND w/DH BOUND WITH DRILL HOLE
- ST BND w/DH STONE BOUND WITH DRILL HOLE
- RR SPK RAILROAD SPIKE

138-62-1 ASSESSOR'S MAP 138 LOT 62-1

ASSESSOR'S MAP/LOT NUMBER ASSIGNMENT

LOT 1	138-62-1
LOT 2	125-17-1
LOT 3	125-17
LOT 4	125-17-2
LOT 5	125-17-3
LOT 6	138-62

ABUTTERS LIST

- 125 1 N/F HANOVER APARTMENTS, LLC  
c/o CATHARTES PRIVATE INVESTMENTS  
11 BEACON STREET, SUITE 1120  
BOSTON, MA 02108  
5387/2814
- 125 2 N/F THIRTY MAPLEWOOD, LLC  
117 BOW STREET  
PORTSMOUTH, N.H. 03801  
5099/2424
- 125 3 N/F EMERSON HOVEY  
POST 168 VWV  
23R DEER STREET  
PORTSMOUTH, N.H. 03801  
4823/873  
C-34853
- 125 11 N/F 136 HILL STREET  
CONDOMINIUM ASSOCIATION  
136 HILL STREET  
PORTSMOUTH, N.H. 03801  
4823/873  
C-34853
- 125 14 N/F HILL HANOVER GROUP, LLC  
c/o JPK PROPERTIES, LLC  
1 NEW HAMPSHIRE AVENUE, #125  
PORTSMOUTH, N.H. 03801  
4356/10
- 125 16 N/F JOHN W. GRAY  
REVOCABLE TRUST  
BRADFORD A. GRAY  
REVOCABLE TRUST  
7 PATRIOTS WAY  
RYE, N.H. 03870  
3895/643
- 125 21 N/F NORTH END  
MASTER DEVELOPMENT L.P.  
501 DANFORTH STREET  
PORTLAND, ME 04102  
5569/2553
- 125 28 N/F GOWEN G. EDWARD, JR.  
REVOCABLE LIVING TRUST  
COWEN G. EDWARD, JR., TRUSTEE  
355 GREAT BAY ROAD  
GREENLAND, N.H. 03840  
4327/2531
- 138 61 N/F PETER HAPPNY  
66 ROCK STREET  
PORTSMOUTH, N.H. 03801  
2302/1079  
D-31107
- 138 62 N/F DEER STREET ASSOCIATES  
P.O. BOX 100  
YORK HARBOR, ME. 03911  
5518/2744
- 138 63 N/F KEARSARGE MILL  
CONDOMINIUM ASSOCIATION  
191 HILL STREET  
PORTSMOUTH, N.H. 03801  
2596/1585  
D-14855
- 138 64 N/F HANOVER PLACE  
CONDOMINIUM ASSOCIATION  
349 HANOVER STREET  
PORTSMOUTH, N.H. 03801  
4807/18  
D-33379

CURVE TABLE

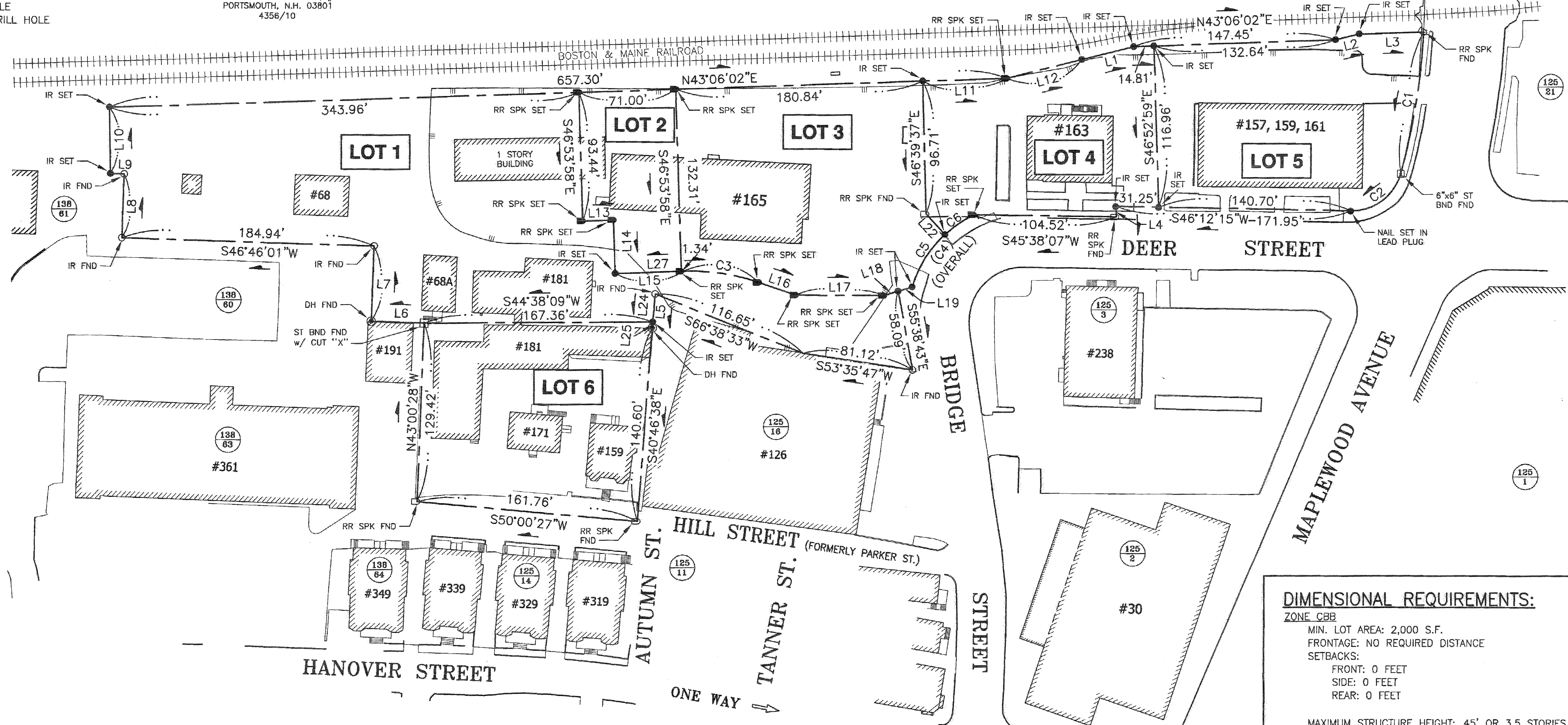
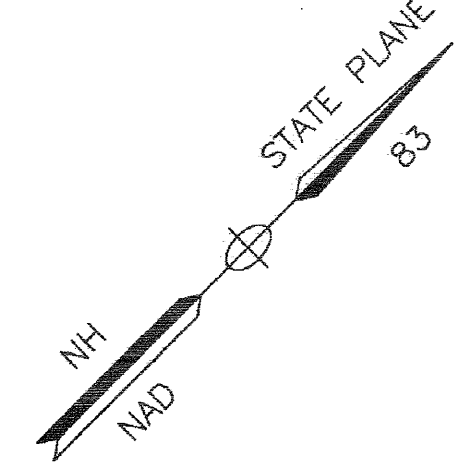
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	486.00'	104.20'	104.00'	S35°55'41"E	12°17'05"
C2	37.00'	48.72'	45.28'	S07°58'11"W	75°26'43"
C3	155.00'	56.30'	55.99'	N53°24'20"E	20°48'43"
C4	86.00'	71.12'	69.11'	S04°30'52"E	47°22'49"
C5	86.00'	45.63'	45.10'	S13°00'13"E	30°24'08"
C6	86.00'	25.48'	25.39'	S10°41'12"W	16°58'41"

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	N31°17'20"E	39.07'
L2	N31°26'32"E	17.92'
L3	N43°07'25"E	47.08'
L4	S46°46'25"E	7.69'
L5	S40°13'28"E	24.63'
L6	S47°00'33"W	38.74'
L7	N42°48'33"W	54.65'
L8	N43°03'00"W	46.10'
L9	S46°48'04"W	10.00'
L10	N46°09'30"W	48.26'
L11	N43°06'02"E	61.50'
L12	N30°51'54"E	56.64'
L13	N43°06'02"E	22.52'
L14	S46°53'58"E	38.87'
L15	N43°06'02"E	49.82'
L16	N63°48'43"E	28.42'
L17	N45°20'34"E	64.73'
L18	N28°12'12"E	10.82'
L19	N28°12'12"E	10.70'
L20	N55°38'43"W	57.54'
L21	N45°47'00"E	31.08'
L22	S87°48'09"E	20.15'
L23	N45°47'00"E	34.67'
L24	S40°13'28"E	20.31'
L25	S40°13'28"E	4.32'
L26	N39°12'52"E	42.20'
L27	S43°06'02"W	48.48'

PLAN REFERENCES:

- PLAN OF LAND FOR NETTY AND GERALD TAUBE, AUGUST 2004 BY MILLETTE, SPRAGUE & COLWELL, RCRD D-32051.
- CONDOMINIUM SITE PLAN FOR HANOVER PLACE CONDOMINIUM, 349 HANOVER STREET, PORTSMOUTH NH. BY MILLETTE, SPRAGUE AND COLWELL, INC. DATED 12/20/05. RCRD D-33379.
- KEARSARGE MILL CONDOMINIUMS, HANOVER STREET, PORTSMOUTH, NH. BY KIMBALL CHASE DATED 2/18/17. RCRD D-34716.
- BOUNDARY LINE AGREEMENT PLAN, KEARSARGE MILL CONDOMINIUMS, PORTSMOUTH, NH. BY JONES & BEACH ENGINEERS, INC. DATED 4/10/97. RCRD D-25421.
- KEARSARGE MILLS CONDOMINIUM PLANS FOR MAYFAIR REALTY TRUST, CAMBRIDGE PORT TRUST, PORTSMOUTH, NH. BY KIMBALL CHASE. RCRD D-14855.
- EASEMENT PLAN, TAX MAP 164 - LOT 4, BOSTON & MAINE CORPORATION TO THE CITY OF PORTSMOUTH OFF BREWSTER STREET, PORTSMOUTH, NH. BY AMBIT ENGINEERING, INC. DATED 4/19/03. RCRD D-37720.
- SUBDIVISION OF LAND OF PORTSMOUTH MFG. AND POWER CO., PORTSMOUTH, NH BY JOHN W. DURGIN DATED NOV. 1925. RCRD #0368.
- LAND IN PORTSMOUTH, NH PORTS. MFG. & POWER CO. TO HAROLD S. WOODS. BY JOHN W. DURGIN DATED NOV. 1926. RCRD #00389.
- TAX MAP 125 LOT 14 & MAP 138 LOT 62, PROPERTY OF HILL HANOVER GROUP, LLC, HILL, HANOVER & AUTUMN STREETS, PORTSMOUTH, NH. BY MSC, INC. DATED 10/10/2008. NOT RECORDED.
- PLAN OF LAND IN PORTSMOUTH, NH, PORTSMOUTH MFG. & POWER CO. TO FRANK E. BROOKS BY JOHN W. DURGIN DATED FEB. 1918. RCRD #078.
- CONDOMINIUM SITE PLAN, 136 HILL STREET CONDOMINIUM, PORTSMOUTH, NH, TAX MAP 125 LOT 11. BY ANDOVER CONSULTANTS, INC. DATED JULY 12, 2007. RCRD C-34853.
- LAND IN PORTSMOUTH, NH, BOSTON & MAINE RAILROAD TO ROGER E. MOULTON AND CHESTER GOODWIN, DATED MARCH 1950. RCRD 01684.
- PROPOSED PROPERTY TRANSFER, TAX MAP 125 - LOT 17, BOSTON & MAINE TO DEER STREET LIMITED PARTNERSHIP, 165 DEER STREET, PORTSMOUTH, NH BY AMBIT ENGINEERING, INC. DATED 6/13/13. RCRD D-37797.
- PLAN OF LAND FOR DEER STREET ASSOCIATES, DEER & BRIDGE STREETS AND MAPLEWOOD AVENUE, PORTSMOUTH AVENUE BY AMBIT SURVEY DATED SEPTEMBER 1993. RCRD D-22543.
- PROPOSED ROADWAY ALIGNMENT AND LAND TRANSFER PLAN, CITY OF PORTSMOUTH TO DEER STREET ASSOCIATES (TO BE RECORDED).



**DIMENSIONAL REQUIREMENTS:**  
 ZONE CBB  
 MIN. LOT AREA: 2,000 S.F.  
 FRONTAGE: NO REQUIRED DISTANCE  
 SETBACKS:  
 FRONT: 0 FEET  
 SIDE: 0 FEET  
 REAR: 0 FEET  
 MAXIMUM STRUCTURE HEIGHT: 45' OR 3.5 STORIES, WHICHEVER IS LESS  
 MAXIMUM BUILDING COVERAGE: 95%  
 MINIMUM OPEN SPACE: 0%  
 ZONE OR  
 DUE TO THE PROXIMITY TO NORTH MILL POND, ZONE REQUIREMENTS ARE A MIX OF OFFICE RESEARCH & INDUSTRIAL ZONES. REFER TO ZONING ORDINANCE FOR DIMENSIONS.

NOTES:

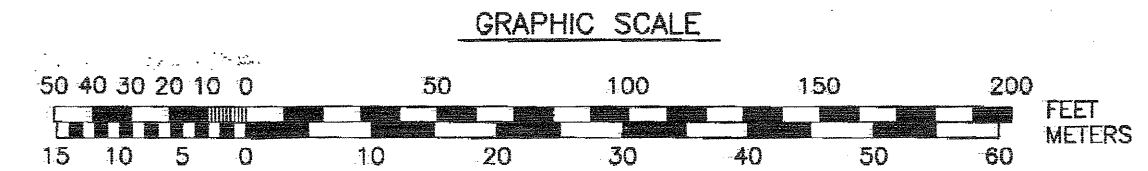
- PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAPS AS MAP 125, LOT 17 & MAP 138, LOT 62.
- OWNERS OF RECORD:  
 MAP 125, LOT 17  
 DEER STREET ASSOCIATES  
 P.O. BOX 100  
 YORK HARBOR, ME 03911  
 3395/2669, 5534/2077, 5453/138  
 MAP 138, LOT 62  
 DEER STREET ASSOCIATES  
 P.O. BOX 100  
 YORK HARBOR, ME 03911  
 5518/2744
- PARCELS ARE NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. MAY 17, 2005.
- EXISTING LOT AREA:  
 LOT 17 109,987 S.F. 2.5250 ACRES  
 LOT 62 42,604 S.F. 0.9781 AC  
 PROPOSED LOT AREAS:  
 LOT 1 54,017 S.F. 1.2401 AC.  
 LOT 2 8,519 S.F. 0.1956 AC.  
 LOT 3 26,503 S.F. 0.6084 AC.  
 LOT 4 18,347 S.F. 0.4212 AC.  
 LOT 5 22,667 S.F. 0.5204 AC.  
 LOT 6 22,538 S.F. 0.5174 AC.
- ZONING DISTRICTS:  
 CENTRAL BUSINESS B (CBB), HISTORIC OVERLAY DISTRICT (PARTIAL), & OFFICE RESEARCH (OR)
- THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSOLIDATION OF TAX MAP 125 LOT 17 AND TAX MAP 138 LOT 62 AND THE SUBDIVISION OF THAT LOT INTO 6 LOTS.
- LOT 2 TO BE A NON-BUILDABLE LOT UNTIL SUCH TIME AS FRONTAGE IS CREATED OR LOT 2 IS MERGED WITH AN ADJACENT PARCEL.
- THE EXISTING SITE IMPROVEMENTS SHALL BE ALLOWED TO REMAIN. AT SUCH TIME AS THE LOTS ARE NOT UNDER COMMON OWNERSHIP, EASEMENTS SHALL BE CREATED TO ALLOW THE BUILDINGS ACROSS BOUNDARY LINES TO REMAIN OR THE BUILDINGS SHALL BE REMOVED. ANY EASEMENTS CREATED SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTSMOUTH.
- FOR SITE EASEMENT RESTRICTIONS AND LOCATIONS SEE "PROPERTY EASEMENTS" PLAN DATED 12/15/14 BY AMBIT ENGINEERING.

NO.	DESCRIPTION	DATE
4	TAX MAP/LOT NUMBERS	5/18/16
3	ISSUED FOR RECORDING; MONUMENTS	3/24/16
2	REVISED LOTS 1, 2, AND 3	8/6/15
1	ISSUED FOR APPROVAL	7/31/15
0	ISSUED FOR COMMENT	7/28/15

**CONSOLIDATION & SUBDIVISION PLAN**  
 TAX MAP 125, LOT 17 & TAX MAP 138, LOT 62  
 DEER STREET ASSOCIATES  
 BRIDGE, DEER, & HILL STREETS  
 CITY OF PORTSMOUTH  
 COUNTY OF ROCKINGHAM  
 STATE OF NEW HAMPSHIRE

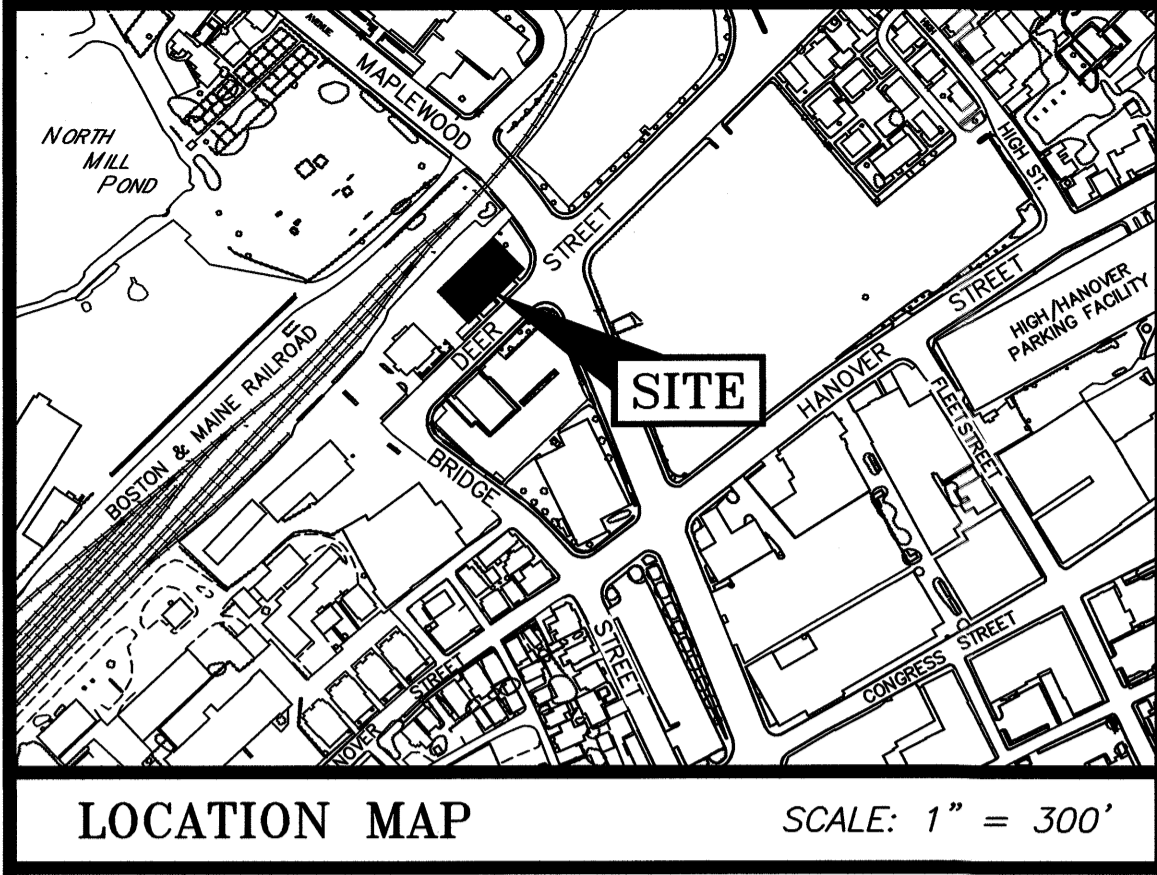
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN 9/7/16  
DATE



D-39699





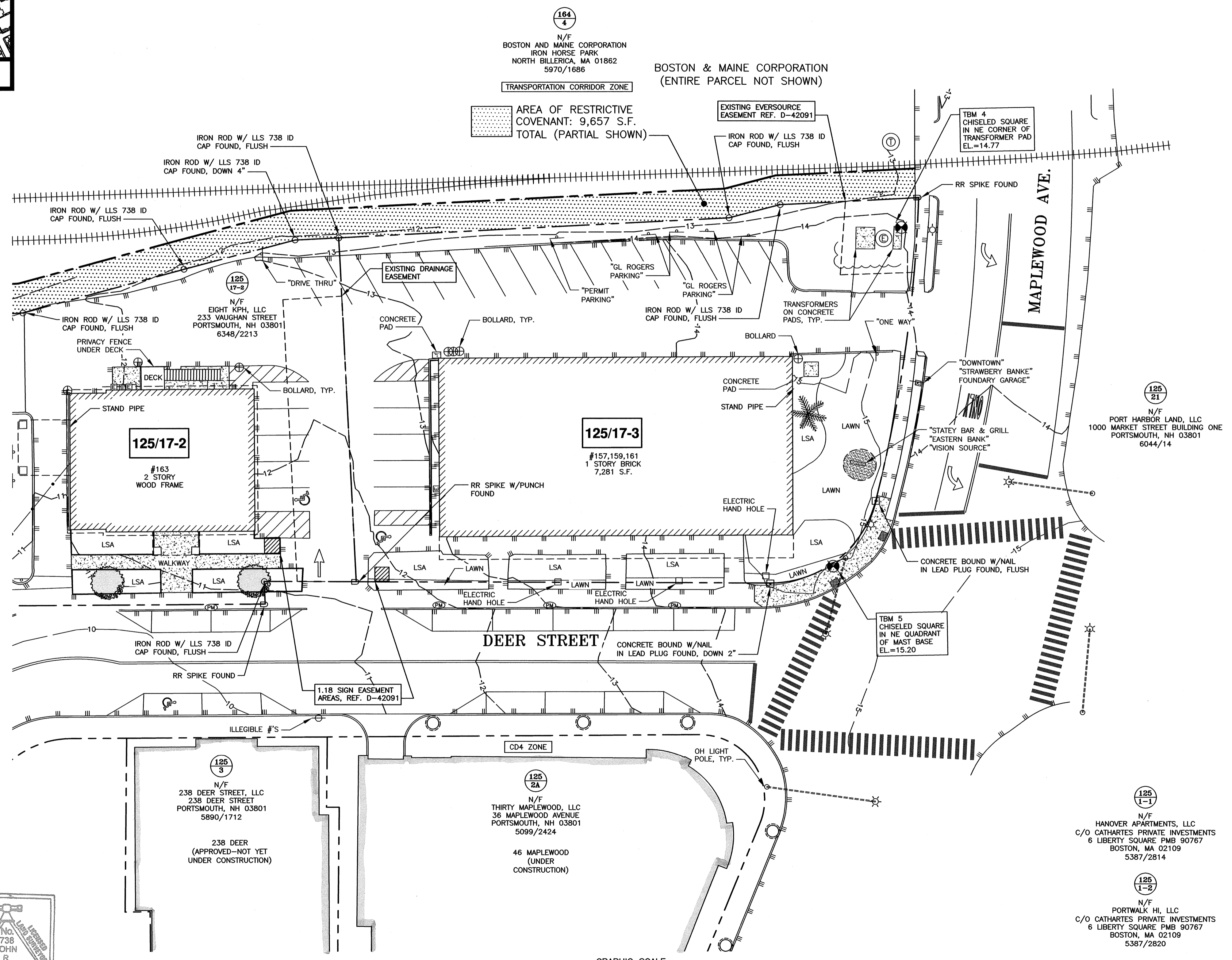
**PLAN REFERENCES:**

- 1) CONSOLIDATION & SUBDIVISION PLAN TAX MAP 125, LOT 17 & TAX MAP 138, LOT 62 DEER STREET ASSOCIATES, BRIDGE, DEER, AND HILL STREETS. PREPARED BY AMBIT ENGINEERING, INC. DATED JULY 2015. SCALE: 1"=50'. RCRD D-39699.
- 2) PLAN OF RESTRICTIVE COVENANT TAX MAP 164, LOT 4 BOSTON AND MAINE CORPORATION TO DEER STREET ASSOCIATES. PREPARED BY AMBIT ENGINEERING, INC. DATED DECEMBER 2016. SCALE: 1"=50'.
- 3) EASEMENT PLAN TAX MAP 125- LOT 17, FOR FOUNDRY PLACE, LLC. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2018. LATEST REVISION #3 DATED 4/16/20. SCALE: 1" = 20'.

**AMBIT ENGINEERING, INC.**  
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 200 Griffin Road - Unit 3  
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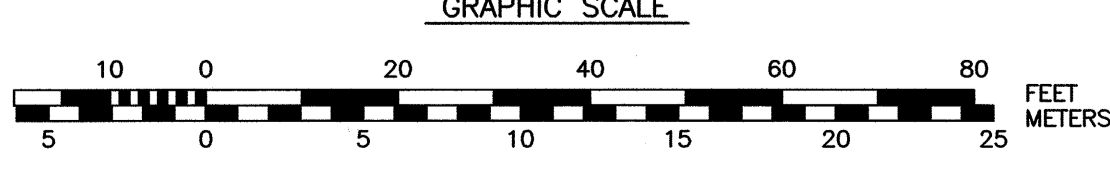
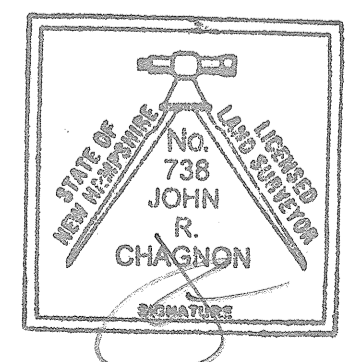
- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 17-3.
  - 2) OWNER OF RECORD:  
 EIGHT KPH, LLC  
 233 VAUGHAN STREET  
 UNIT 301  
 PORTSMOUTH, NH 03801  
 6348/2213
  - 3) PARCEL IS LOCATED IN CHARACTER DISTRICT 5 ZONE; DOWNTOWN OVERLAY, NORTH END INCENTIVE OVERLAY & HISTORIC DISTRICTS.
  - 4) DIMENSIONAL REQUIREMENTS:  
 CHARACTER DISTRICT 5:  
 MIN. LOT AREA: NO REQUIREMENT  
 FRONTAGE: NO REQUIREMENT  
 SETBACKS: NO REQUIREMENT  
 FRONT (MAX.): 5 FEET (PRIMARY)  
 FRONT (MAX.): 5 FEET (SECONDARY)  
 SIDE: NO REQUIREMENT  
 REAR: GREATER OF 5 FEET FROM REAR LOT LINE OR 10 FEET FROM CENTER OF ALLEY  
 MAXIMUM STRUCTURE HEIGHT: SEE CITY PLAN  
 MAXIMUM STRUCTURE COVERAGE: 90%  
 MAXIMUM BUILDING FOOTPRINT: 20,000 S.F.  
 MINIMUM OPEN SPACE: 5%  
 MINIMUM FRONT LOT LINE BUILDOUT: 80%
  - 5) LOT AREA: 22,667 S.F.  
 0.5204 ACRES
  - 6) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 125, LOT 17-3 IN PORTSMOUTH, NH.
  - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
  - 9) PARCEL MAY BE SUBJECT TO TEMPORARY CONSTRUCTION EASEMENTS AS SHOWN ON RCRD D-42091 SHEET 2.
  - 10) PARCEL IS SUBJECT TO AGREEMENT REGARDING RELOCATION OF UNDERGROUND FACILITIES 5751/1504.

- LEGEND:**
- N/F NOW OR FORMERLY
  - RP RECORD OF PROBATE
  - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
  - RR SPK RAILROAD SPIKE
  - MAP 11/LOT 21
  - IR FND IRON ROD FOUND
  - IP FND IRON PIPE FOUND
  - IR SET IRON ROD SET
  - DH FND DRILL HOLE FOUND
  - DH SET DRILL HOLE SET
  - NHDDT NHDOT BOUND FOUND
  - TB TOWN BOUND
  - BND w/DH BOUND WITH DRILL HOLE
  - ST BND w/DH STONE BOUND WITH DRILL HOLE



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

John R. Chagnon, LLS  
 DATE 4-6-22



**SITE DEVELOPMENT  
 EIGHT KPH, LLC  
 88 MAPLEWOOD AVENUE  
 PORTSMOUTH, N.H.**

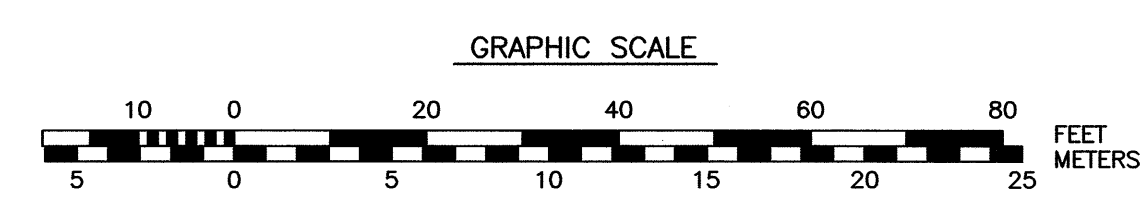
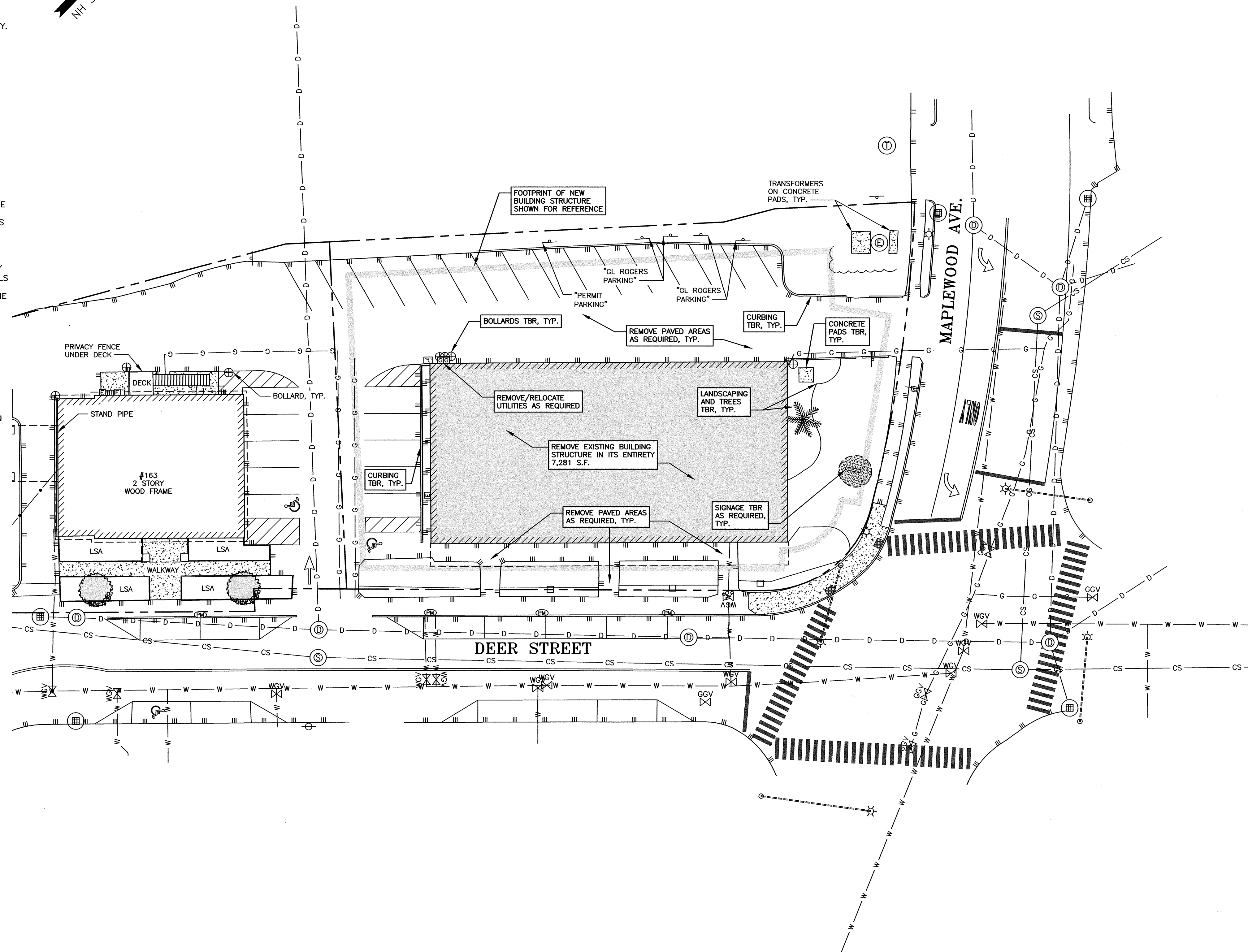
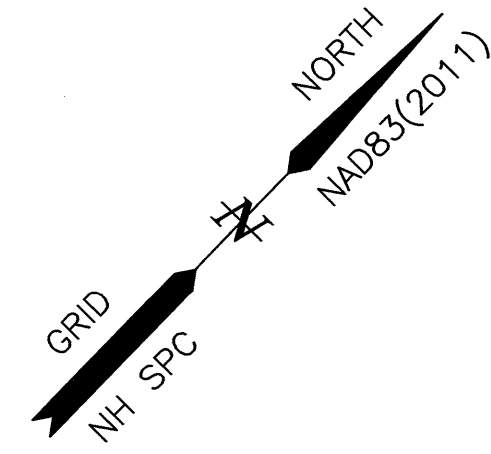
NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/6/22
REVISIONS		

SCALE: 1" = 20' MARCH 2022

EXISTING CONDITIONS PLAN **C1**

**DEMOLITION NOTES**

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS

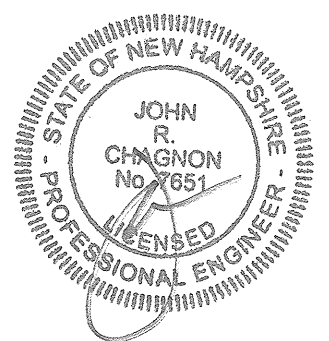


**AMBIT ENGINEERING, INC.**  
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 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

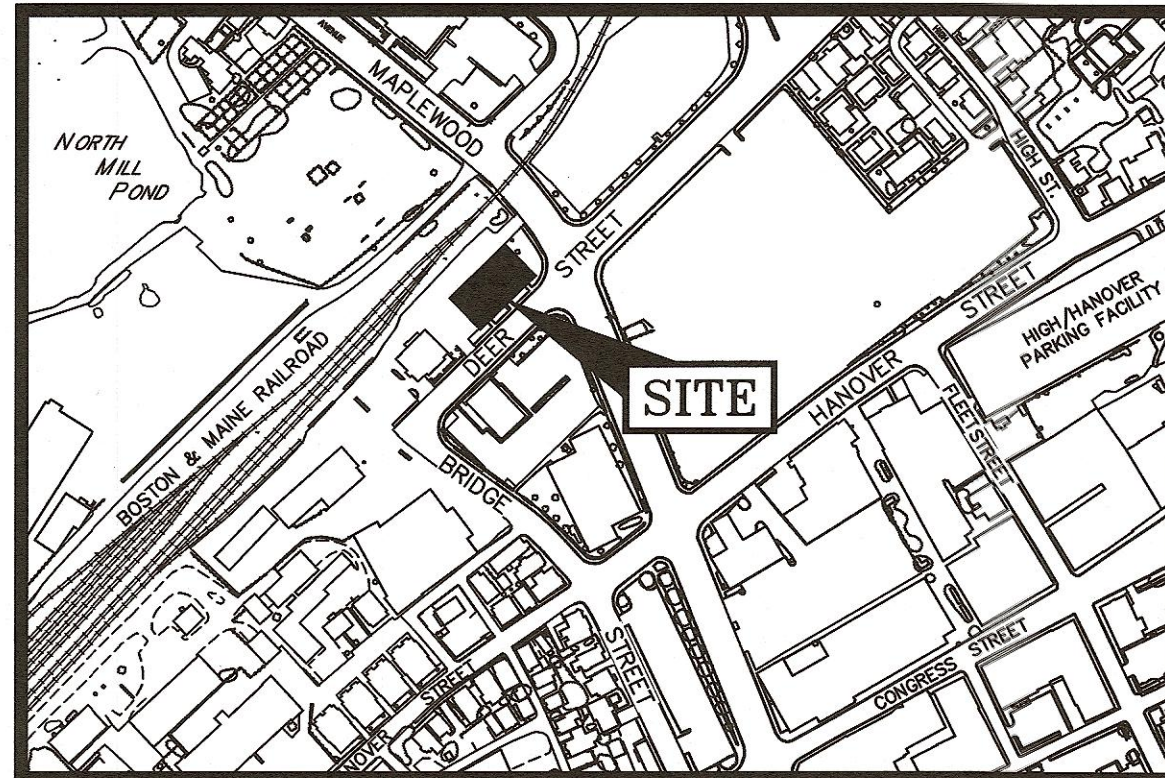
**SITE DEVELOPMENT**  
**EIGHT KPH, LLC**  
**88 MAPLEWOOD AVENUE**  
**PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	4/6/22
NO.	DESCRIPTION	DATE



SCALE: 1" = 20' MARCH 2022

**DEMOLITION PLAN** **C2**



LOCATION MAP SCALE: 1" = 300'

**PLAN REFERENCES:**

- 1) CONSOLIDATION & SUBDIVISION PLAN TAX MAP 125, LOT 17 & TAX MAP 138, LOT 62 DEER STREET ASSOCIATES, BRIDGE, DEER, AND HILL STREETS. PREPARED BY AMBIT ENGINEERING, INC. DATED JULY 2015. SCALE: 1"=50'. RCRD D-39699.
- 2) PLAN OF RESTRICTIVE COVENANT TAX MAP 164, LOT 4 BOSTON AND MAINE CORPORATION TO DEER STREET ASSOCIATES. PREPARED BY AMBIT ENGINEERING, INC. DATED DECEMBER 2016. SCALE: 1"=50'.
- 3) EASEMENT PLAN TAX MAP 125- LOT 17, FOR FOUNDRY PLACE, LLC. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2018. LATEST REVISION #3 DATED 4/16/20. SCALE: 1" = 20'.

**CONCEPTUAL AREA SUMMARY:**

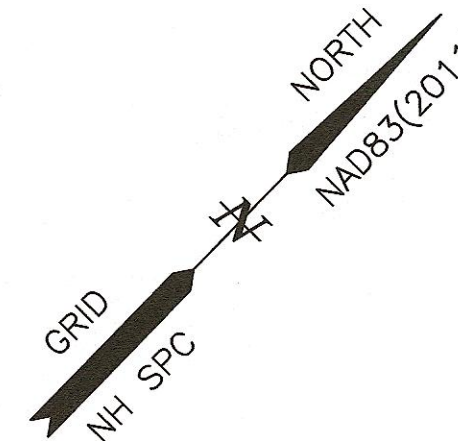
FIRST FLOOR: 17,713 GSF  
 SECOND FLOOR: 17,713 GSF  
 THIRD FLOOR: 17,713 GSF  
 FOURTH FLOOR: 17,713 GSF  
 PENTHOUSE: 7,085 GSF  
 TOTAL GSF: 77,937 GSF

**BUILDING DATA:**

PROPOSED BUILDING:  
 17,713 S.F. FOOTPRINT

**HEIGHT DATA:**

LOT	REQUIRED HEIGHT & STORIES	PROPOSED HEIGHT & STORIES
17-3	4 STORIES AND PENTHOUSE	58'



**AMBIT ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315

**NOTES:**

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 17-3.
- 2) OWNER OF RECORD:  
 EIGHT KPH, LLC  
 233 VAUGHAN STREET  
 UNIT 301  
 PORTSMOUTH, NH 03801  
 6348/2213
- 3) PARCEL IS LOCATED IN CHARACTER DISTRICT 5 ZONE; DOWNTOWN OVERLAY, NORTH END INCENTIVE OVERLAY & HISTORIC DISTRICTS.
- 4) DIMENSIONAL REQUIREMENTS:  
 CHARACTER DISTRICT 5:  
 MIN. LOT AREA: NO REQUIREMENT  
 FRONTAGE: NO REQUIREMENT  
 SETBACKS:  
 FRONT (MAX.): 5 FEET (PRIMARY)  
 FRONT (MAX.): 5 FEET (SECONDARY)  
 SIDE: NO REQUIREMENT  
 REAR: GREATER OF 5 FEET FROM REAR LOT LINE OR 10 FEET FROM CENTER OF ALLEY  
 MAXIMUM STRUCTURE HEIGHT: SEE CITY PLAN  
 MAXIMUM STRUCTURE COVERAGE: 90%  
 MAXIMUM BUILDING FOOTPRINT: 20,000 S.F.  
 MINIMUM OPEN SPACE: 5%  
 MINIMUM FRONT LOT LINE BUILDOUT: 80%  
 5) LOT AREA: 22,667 S.F.  
 0.5204 ACRES  
 6) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021  
 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT ON TAX MAP 125, LOT 17-3 IN PORTSMOUTH, NH. PROPOSED USE: FIRST FLOOR COMMERCIAL AND 19 RESIDENTIAL UNITS ON UPPER FLOORS.  
 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.  
 9) PARCEL IS BENEFITED BY A RESTRICTIVE COVENANT (NO BUILD EASEMENT) ON THE ADJACENT BOSTON AND MAINE PROPERTY.  
 10) REQUIRED PARKING:  
 FIRST FLOOR: EXEMPT  
 19 DWELLING UNITS: 1.3/UNIT X 19 UNITS = 25  
 VISITOR: 19/5 X 1 = 4  
 TOTAL REQUIRED: 29  
 TOTAL PROVIDED: 49-52

**ZONING DEVELOPMENT STANDARD**

CDS: CHARACTER DISTRICT 5

**BUILDING PLACEMENT (PRINCIPAL):**

	157-161 DEER	88 MAPLEWOOD	
REQUIRED	EXISTING	PROPOSED	
MAX. PRINCIPLE FRONT YARD:	5 FEET	15'	6'
MAX. SECONDARY FRONT YARD:	5 FEET	24'	5'
MIN. SIDE YARD:	NR	29'	10.6'
MIN. REAR YARD:	5 FEET	42'	5.0'
FRONT LOT LINE BUILDOUT:	80% MIN	75%	97%
ABUT RAILROAD:	15'	42'	10.6'

**BUILDING TYPES:**

PERMITTED BUILDING TYPES: LIVE/WORK BUILDING\*, SMALL COMMERCIAL BUILDING, LARGE COMMERCIAL BUILDING, MIXED-USE BUILDING\*, FLEX SPACE BUILDING, COMMUNITY BUILDING PROPOSED: MIXED-USE BUILDING  
 \*RESIDENTIAL USES ARE NOT PERMITTED ON THE GROUND FLOOR IN THE DOWNTOWN OVERLAY DISTRICT.

PERMITTED FACADE TYPES: STOOP, STEP, SHOPFRONT, OFFICEFRONT, RECESSED ENTRY, GALLERY, ARCADE

**BUILDING FORM:**

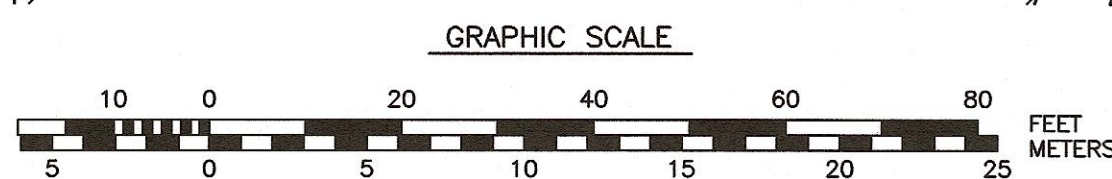
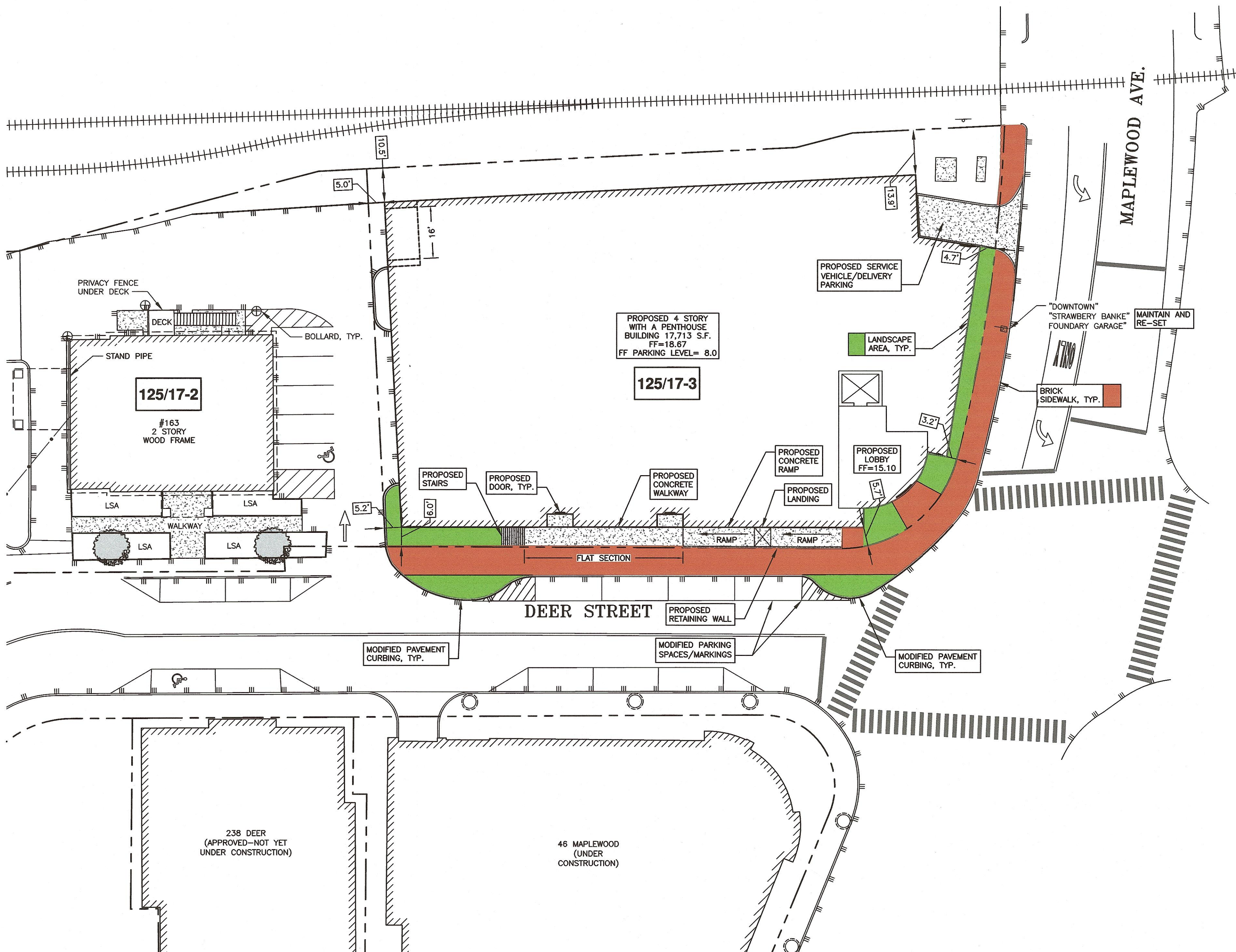
	REQUIRED	EXISTING	PROPOSED
MAX STRUCTURE HEIGHT:	35 FEET	<35'	58'
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	4"	80"
MIN. GROUND STORY HEIGHT:	12 FEET	-	TBD
MIN. SECOND STORY HEIGHT:	10 FEET	-	TBD
FACADE GLAZING (WINDOW/PERIMETER):	70% SHOP 20-50% OTHER	-	TBD

ROOF TYPE ALLOWED: FLAT, GABLE, HIP

**LOT OCCUPATION:**

	REQUIRED	EXISTING	PROPOSED
MAX BUILDING BLOCK:	225 FEET	120'	156'
MAX FACADE MOD. LENGTH:	100 FEET	120'	66'
MIN. ENTRANCE SPACING:	50 FEET	40'+/-	70'
MAX BUILDING COVERAGE:	90%	32%	78%
MAX BUILDING FOOTPRINT:	20,000 SF	7,281 S.F.	17,713 S.F.
MIN. LOT AREA:	NR	22,667 S.F.	22,667 S.F.
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	NR	-	-
MIN. OPEN SPACE :	5%	68%	22%

NA = NOT APPLICABLE



**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

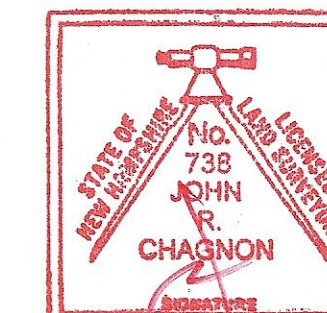
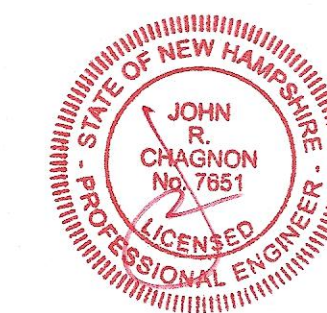
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**SITE DEVELOPMENT**  
**EIGHT KPH, LLC**  
**88 MAPLEWOOD AVENUE**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/6/22

**REVISIONS**



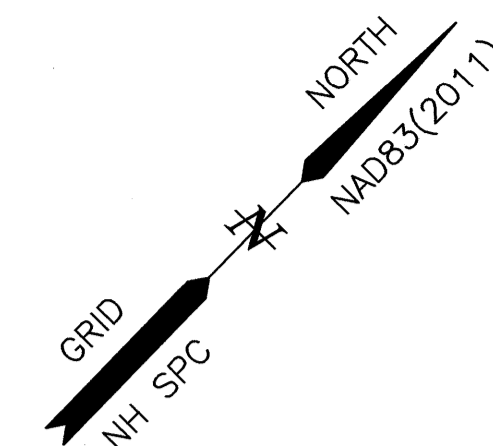
SCALE: 1" = 20' MARCH 2022

SITE PLAN

C3

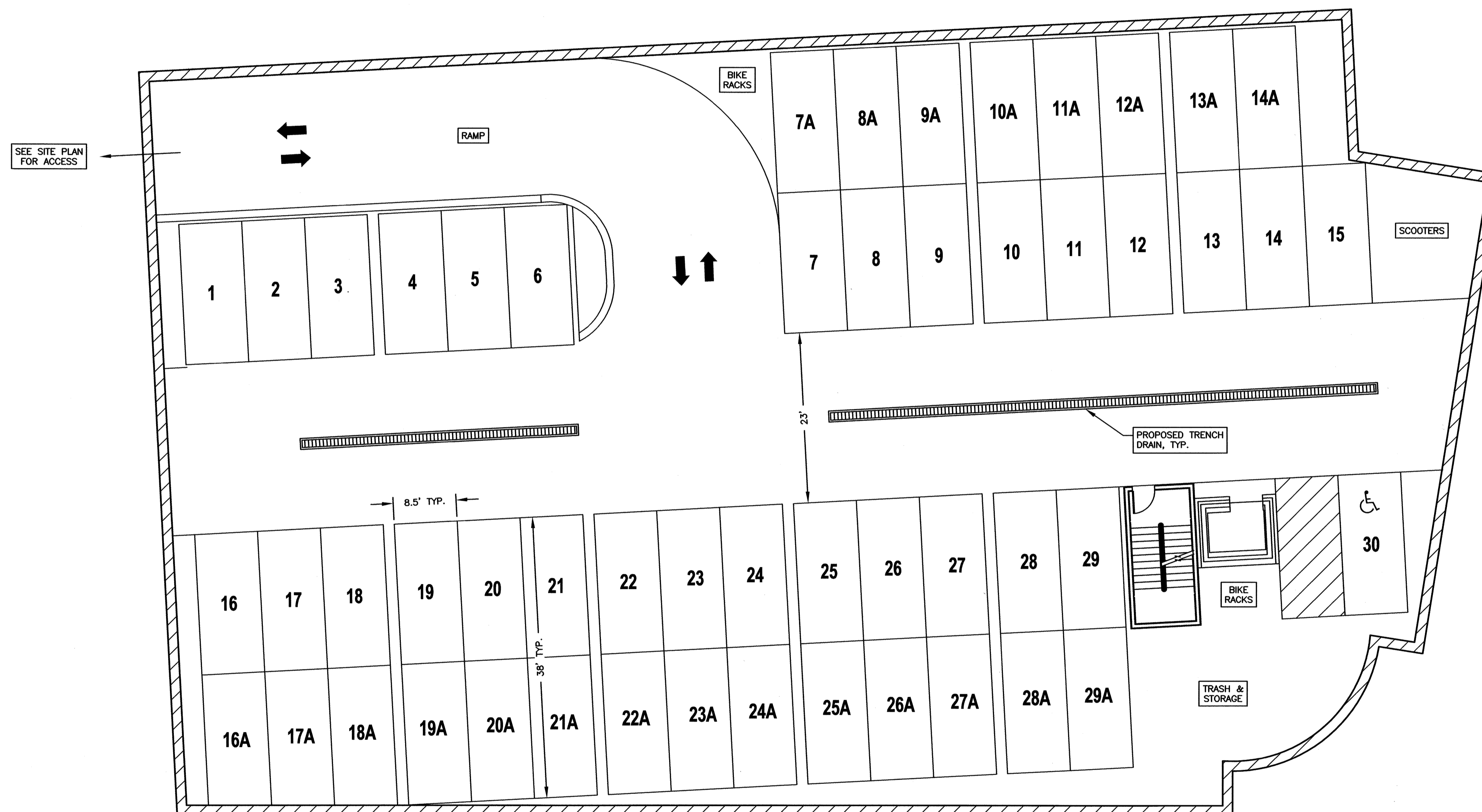


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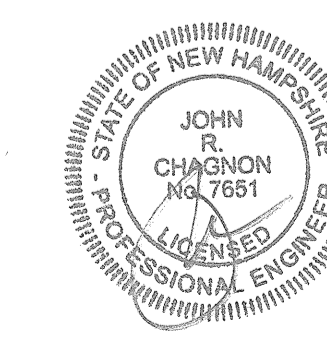
**NOTES:**

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 17-3.
- 2) OWNER OF RECORD:  
 EIGHT KPH, LLC  
 233 VAUGHAN STREET  
 UNIT 301  
 PORTSMOUTH, NH 03801  
 6348/2213
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 125 LOT 17-3 IN THE CITY OF PORTSMOUTH.
- 4) REQUIRED PARKING:  
 FIRST FLOOR: EXEMPT  
 29 DWELLING UNITS: 1.3/UNIT X 19 UNITS = 25  
 VISITOR: 19/5 X 1 = 4  
 TOTAL REQUIRED: 29  
 TOTAL PROVIDED: 49-52



**SITE DEVELOPMENT  
 EIGHT KPH, LLC  
 88 MAPLEWOOD AVENUE  
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/6/22
REVISIONS		



SCALE: 1" = 10' MARCH 2022

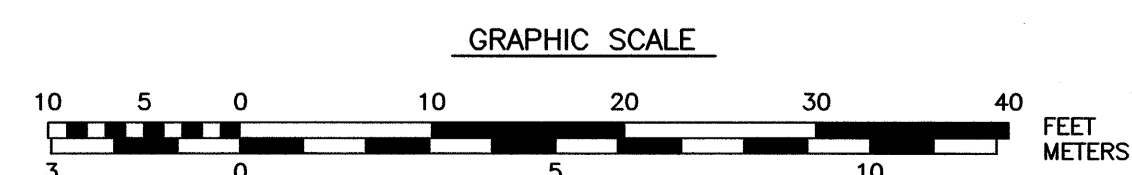
**PARKING LEVEL  
 PLAN**

**C4**

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



**UTILITY NOTES:**

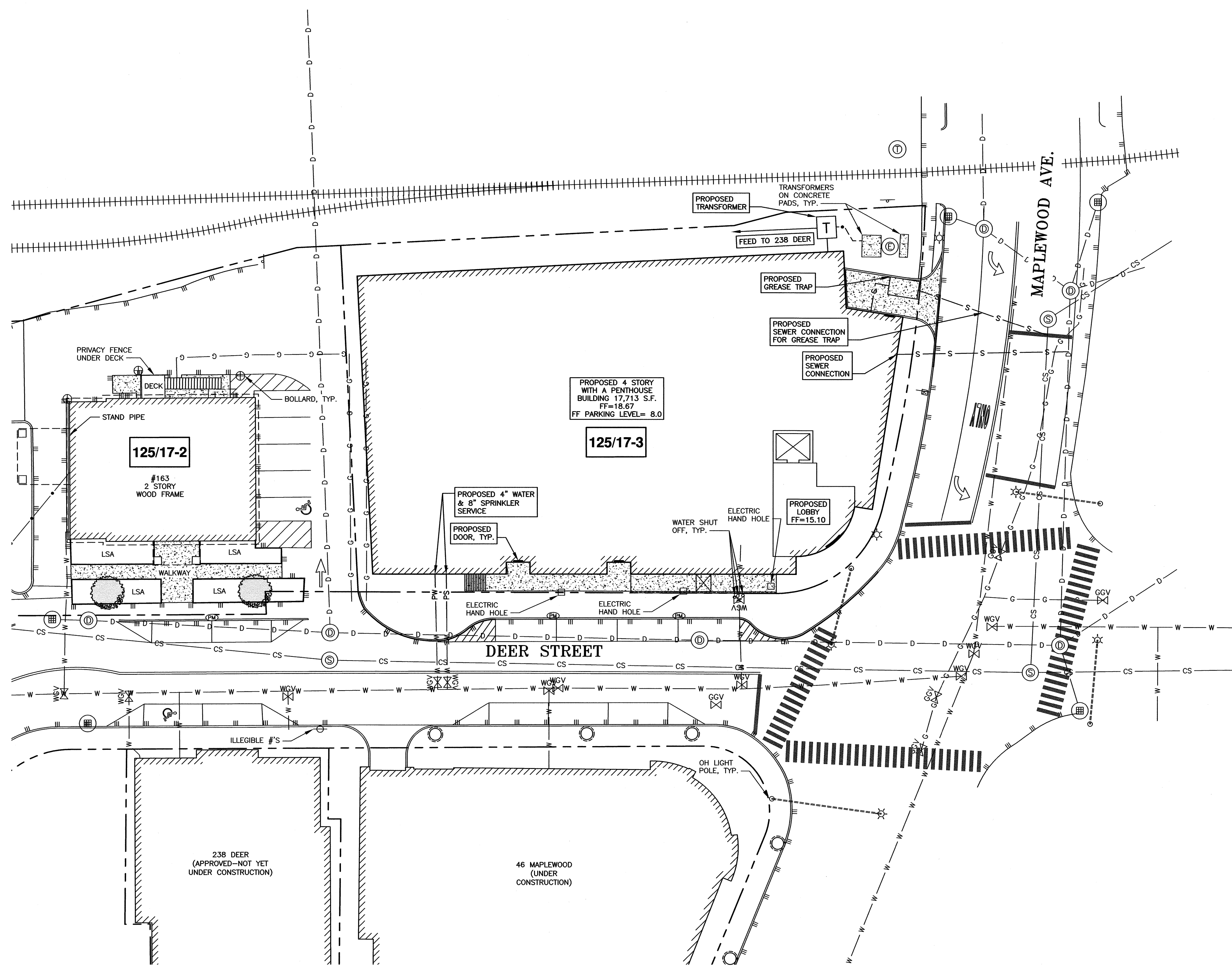
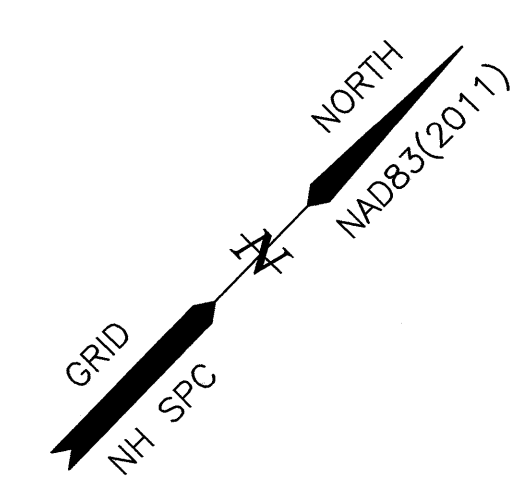
- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6" COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.



**AMBIT ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 200 Griffin Road - Unit 3  
 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2316

**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER #TBD.
- 8) PROPOSED SEWER FLOW (NEW CONSTRUCTION):  
 17,000 +/- S.F. OFFICE SPACE  
 17,000 +/- X (2.5 GPD/100 S.F.)=425 GALLONS PER DAY.  
 (POSSIBLE RESTAURANT) (4,000 GPD)  
 19 UNITS X 210 GPD=3,990 GPD  
 TOTAL FLOW: 4,415 GPD TO 8,415 GPD



PROPOSED 4 STORY WITH A PENTHOUSE BUILDING 17,713 S.F. FF=18.67 FF PARKING LEVEL= 8.0

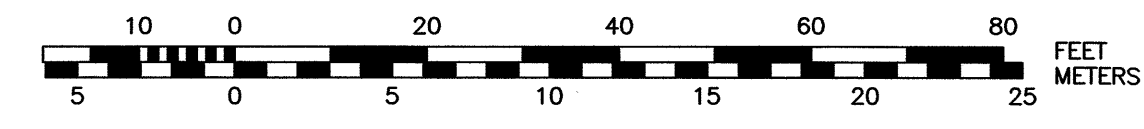
125/17-2  
#163 2 STORY WOOD FRAME

125/17-3

DEER STREET

MAPLEWOOD AVE.

GRAPHIC SCALE



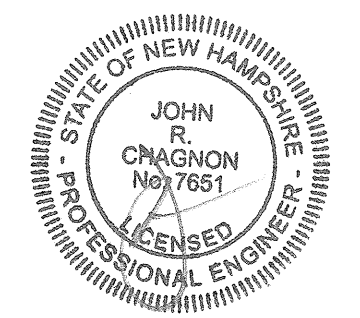
**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**SITE DEVELOPMENT**  
**EIGHT KPH, LLC**  
**88 MAPLEWOOD AVENUE**  
**PORTSMOUTH, N.H.**

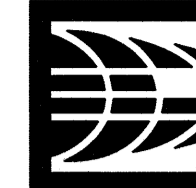
NO.	DESCRIPTION	DATE
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SCALE: 1" = 20' MARCH 2022

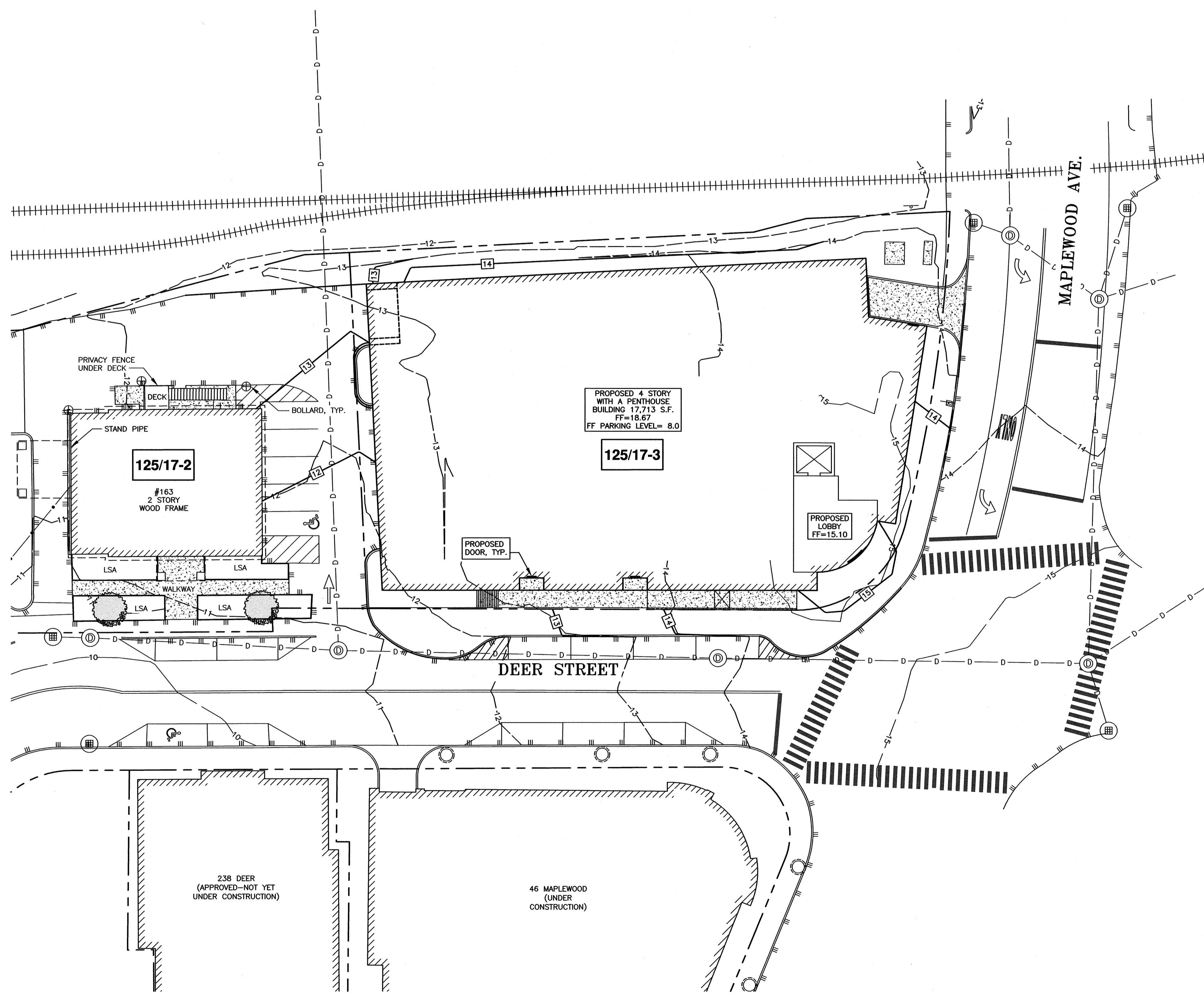
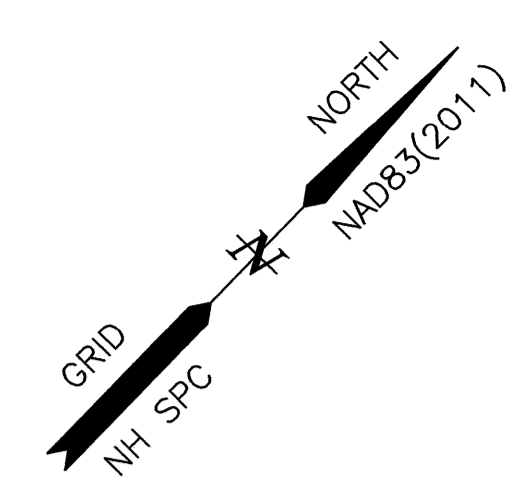
UTILITY PLAN

C5



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors

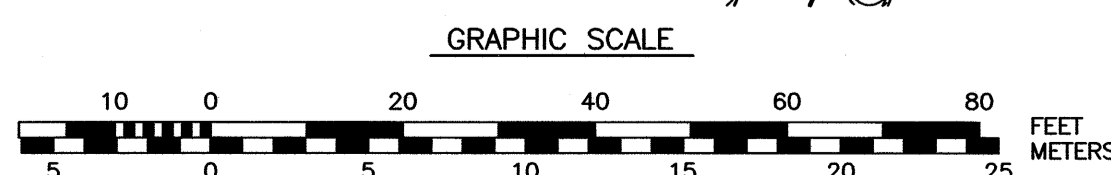
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315



**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

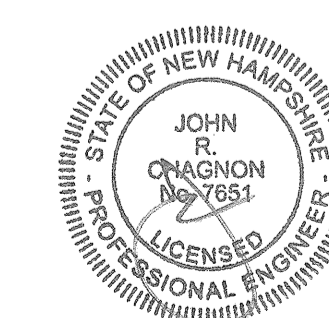


**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
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**SITE DEVELOPMENT  
EIGHT KPH, LLC  
88 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/6/22
REVISIONS		

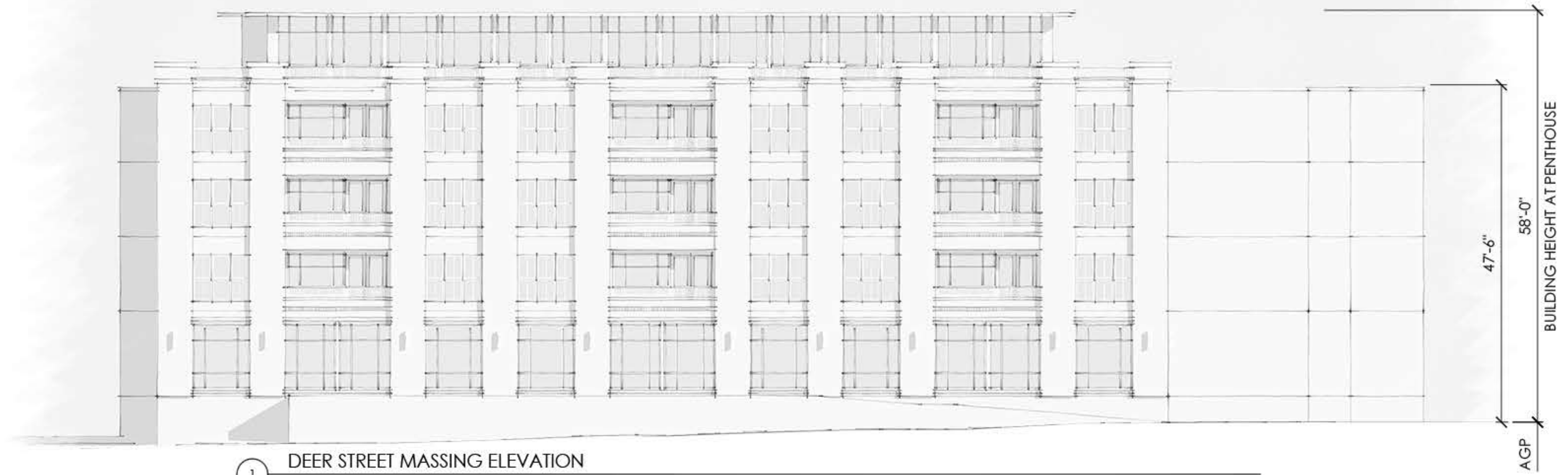


SCALE: 1" = 20' MARCH 2022

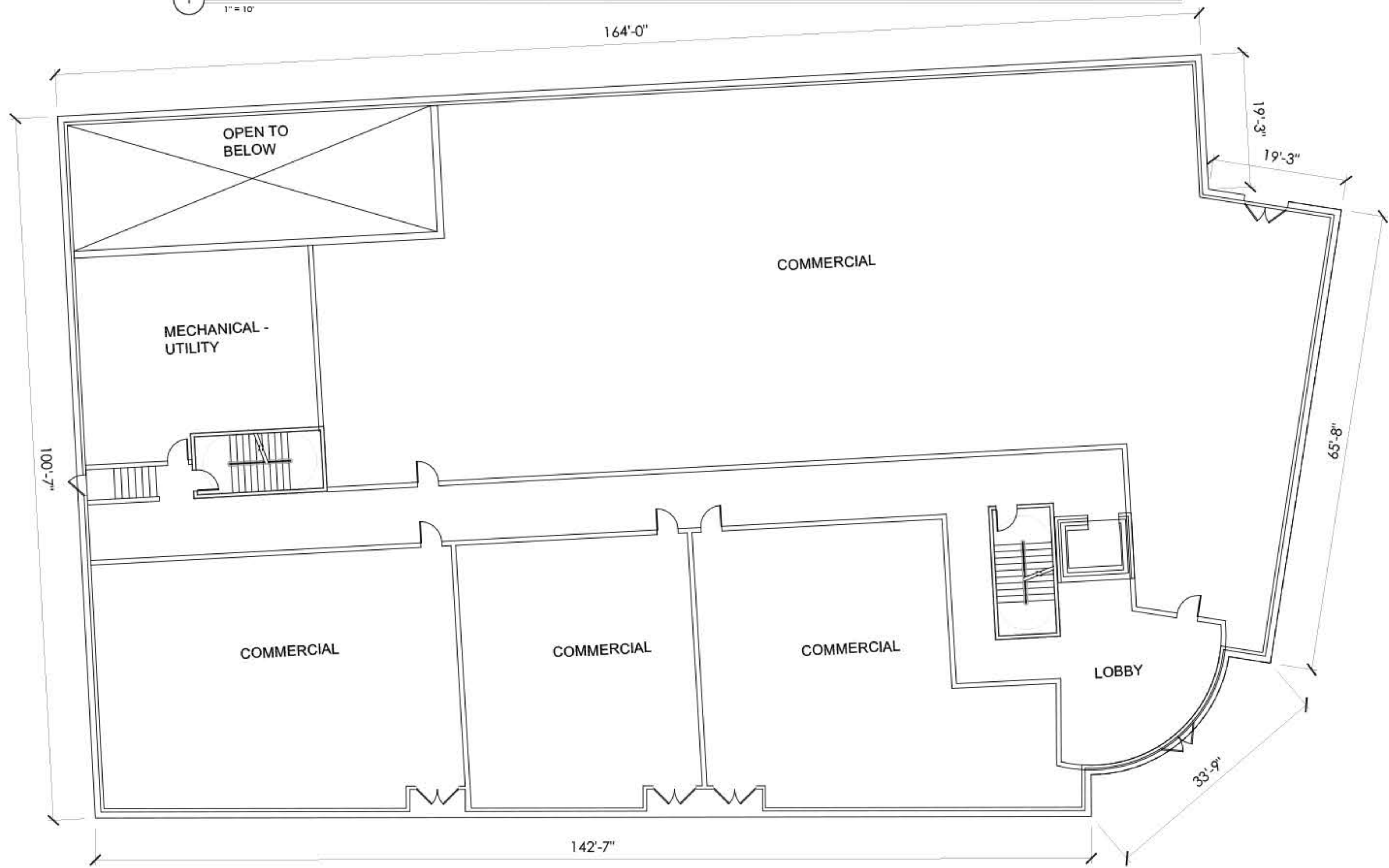
**GRADING  
PLAN**

**C6**





1 DEER STREET MASSING ELEVATION  
1" = 10'



2 FIRST FLOOR PLAN  
1" = 10'

REVISIONS:


EIGHT KPH, LLC  
88 MAPLEWOOD AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

**ARCHITECTS**  
233 VAUGHAN STREET  
SUITE 101  
PORTSMOUTH, NH 03801  
(603) 431-2808  
www.ojarchitects.net

PLAN AND MASSING

DATE:	04/06/2022
DRAWN BY:	JAW
APPROVED BY:	C.J.G.
SCALE:	1" = 10'
JOB NUMBER:	

NOT FOR CONSTRUCTION

**EROSION CONTROL NOTES**

**CONSTRUCTION SEQUENCE**

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I.) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

INSTALL PERIMETER CONTROLS, i.e., SILTSSOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. REMOVE WALL AND STORE.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT SIDEWALKS.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

**GENERAL CONSTRUCTION NOTES**

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILTSSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILTSSOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES ( LOAM AND SEED AREAS ) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS—CONSTRUCT SILT FENCE OR SILTSSOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON—STRUCTURAL, SITE—FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:  
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED  
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED  
 - MINIMUM OF 3 INCHES OF NON—EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED  
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

**NOTE: DEER STREET SHALL BE SWEEPED DAILY DURING THE EXCAVATION PHASE OF THE BUILDING CONSTRUCTION.**

**VEGETATIVE PRACTICE**

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10—20—20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREEPING RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	
<b>SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)</b>		
CREEPING RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFLOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:  
 MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:  
 PERENNIAL RYE: 0.7 LBS/1,000 S.F.  
 MULCH: 1.5 TONS/ACRE

**MAINTENANCE AND PROTECTION**

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE OR SILTSSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

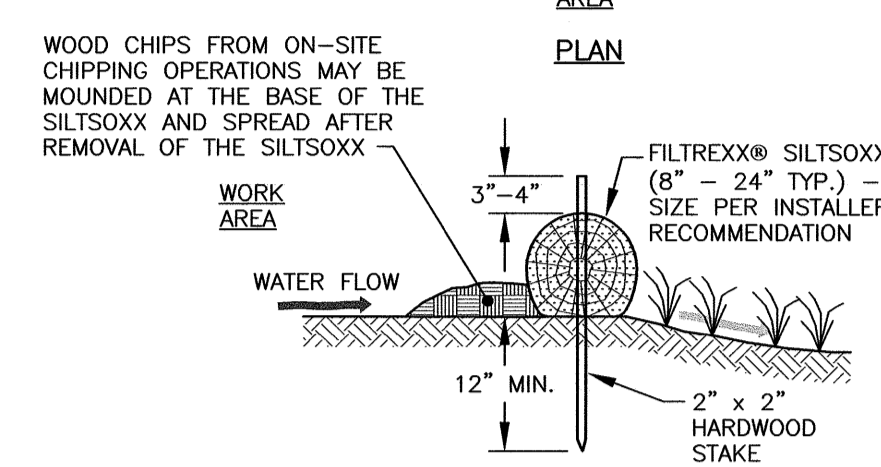
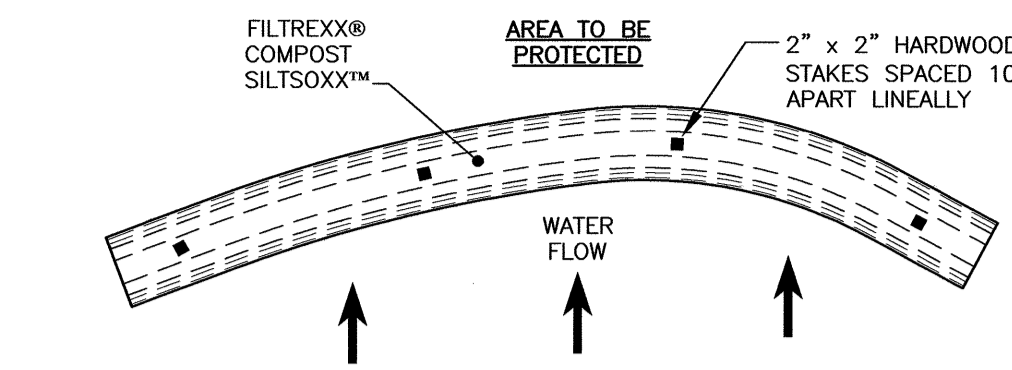
SILT FENCING AND SILTSSOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILTSSOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

**WINTER NOTES**

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

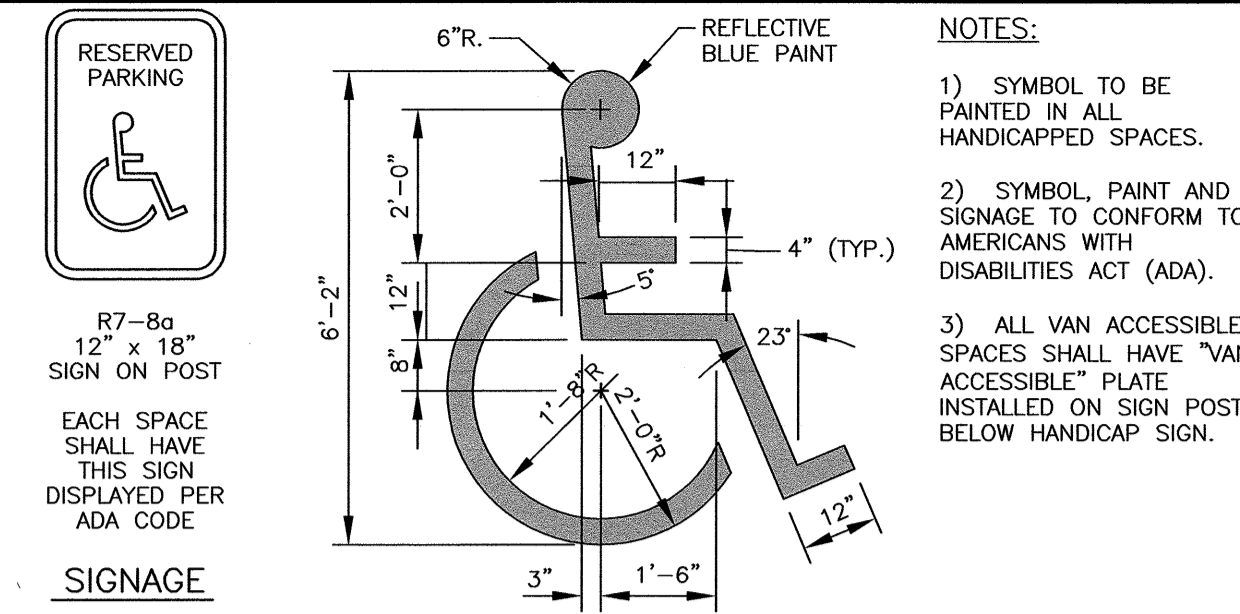
ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

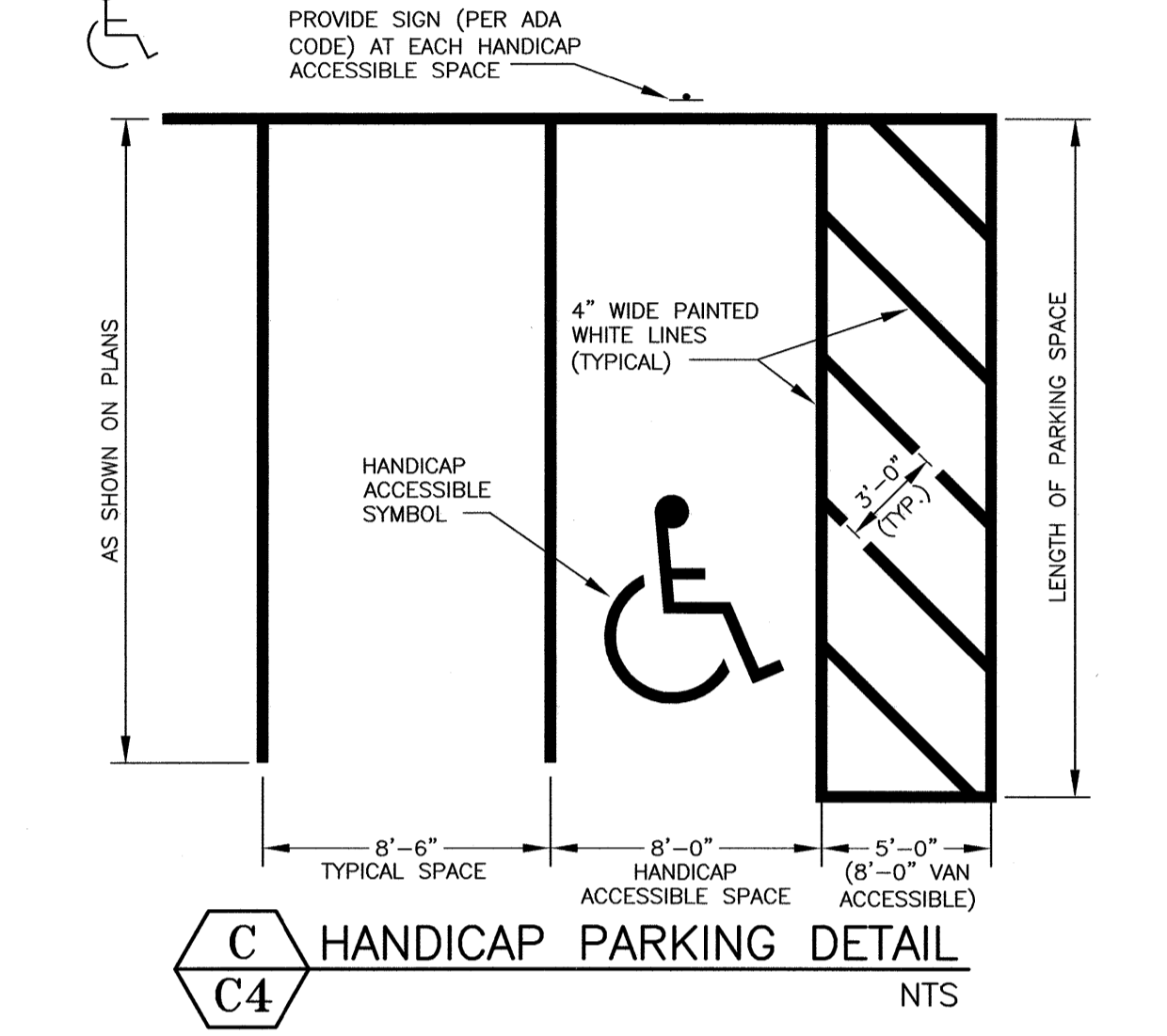


- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
  2. FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
  3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
  4. SILTSSOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
  5. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

**FILTREXX® SILTSSOXX™ FILTRATION SYSTEM**  
 (AS NEEDED) NTS



**HANDICAP ACCESSIBLE SYMBOL**



**C HANDICAP PARKING DETAIL**  
 NTS

- NOTES:**
- 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
  - 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
  - 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.

**FODS TRACKOUT CONTROL SYSTEM**

**INSTALLATION:**

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

**KEY NOTES:**

- A. FODS TRACKOUT CONTROL SYSTEM MAT.
- B. FODS SAFETY SIGN.
- C. ANCHOR POINT.
- D. SILT OR ORANGE CONSTRUCTION FENCE.

**INSTALLATION:**

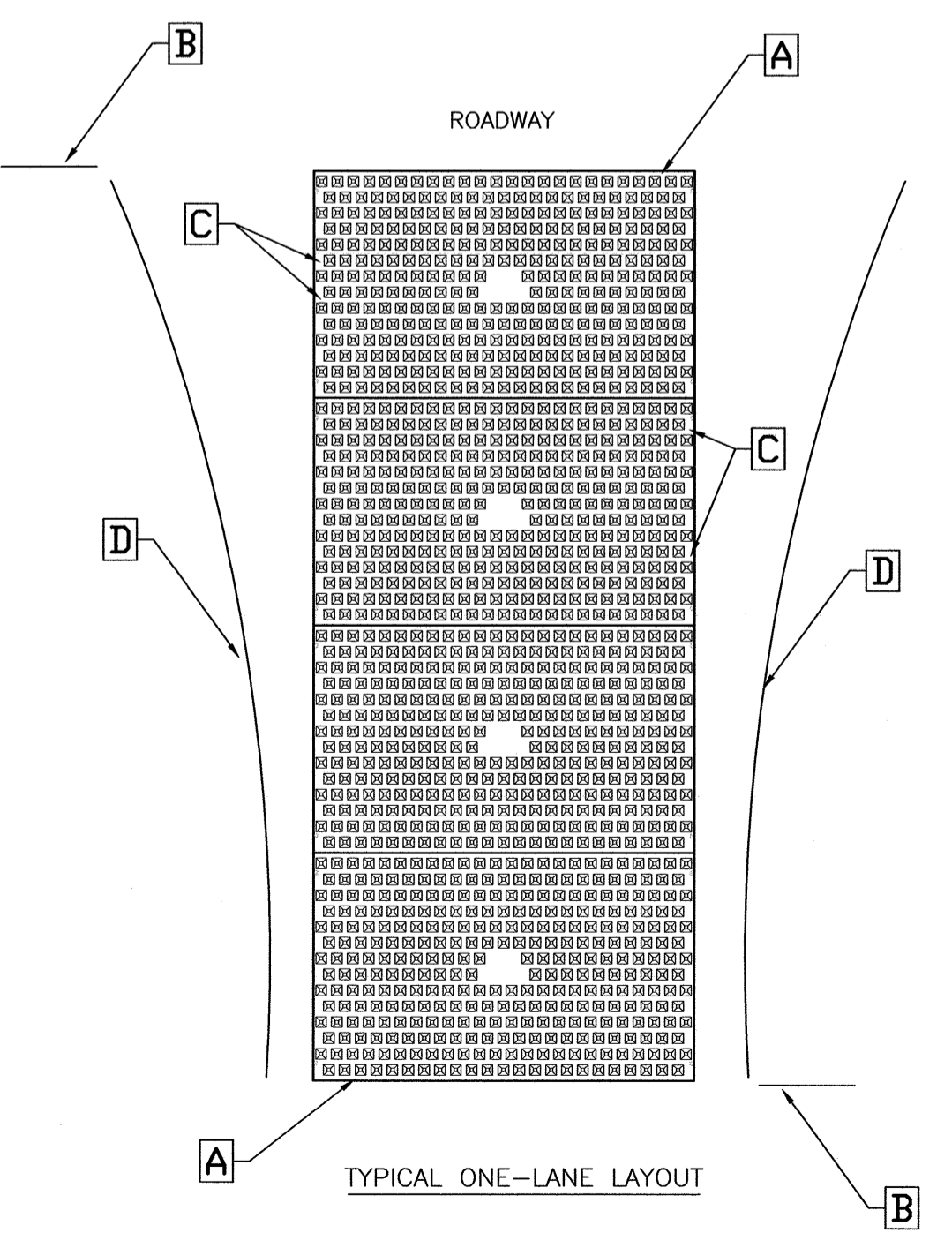
1. THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
2. CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
3. ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
4. THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
5. AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
6. AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
7. ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
8. THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
9. UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
10. SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

**USE AND MAINTENANCE**

1. VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
2. DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S—TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
3. MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
4. THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE—ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

**REMOVAL**

1. REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
2. STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
3. THE ANCHORS SHOULD BE REMOVED.
4. THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
5. STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.



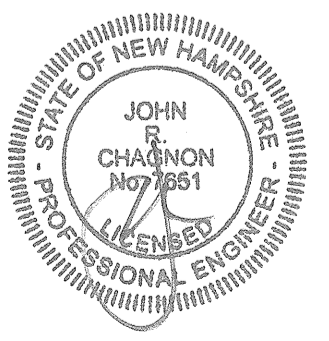
**B FODS (USE AS REQUIRED)**  
 NTS

**AMBIT ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 200 Griffin Road - Unit 8  
 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**SITE DEVELOPMENT**  
**EIGHT KPH, LLC**  
**88 MAPLEWOOD AVENUE**  
**PORTSMOUTH, N.H.**

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**EROSION PROTECTION NOTES AND DETAILS**  
**D1**

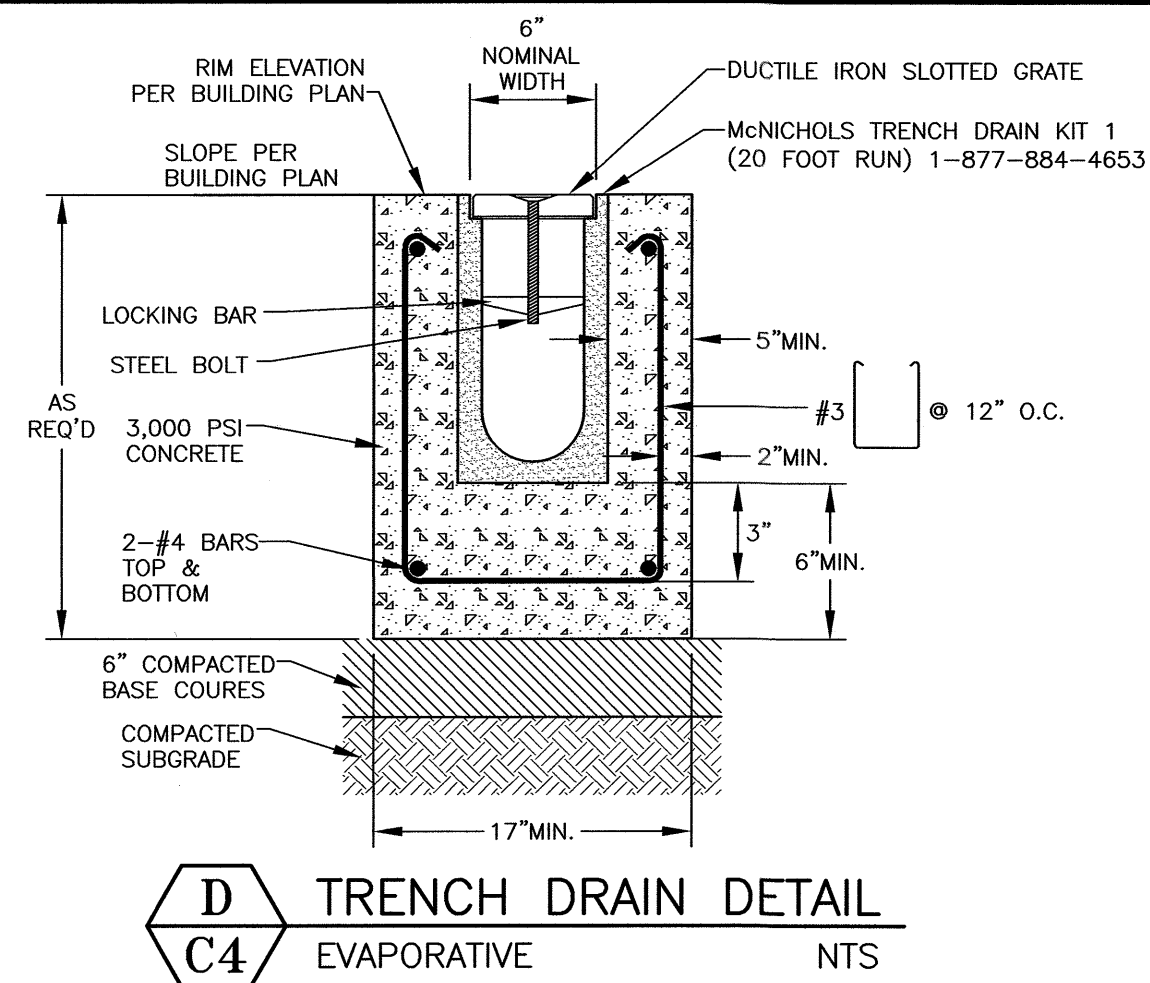


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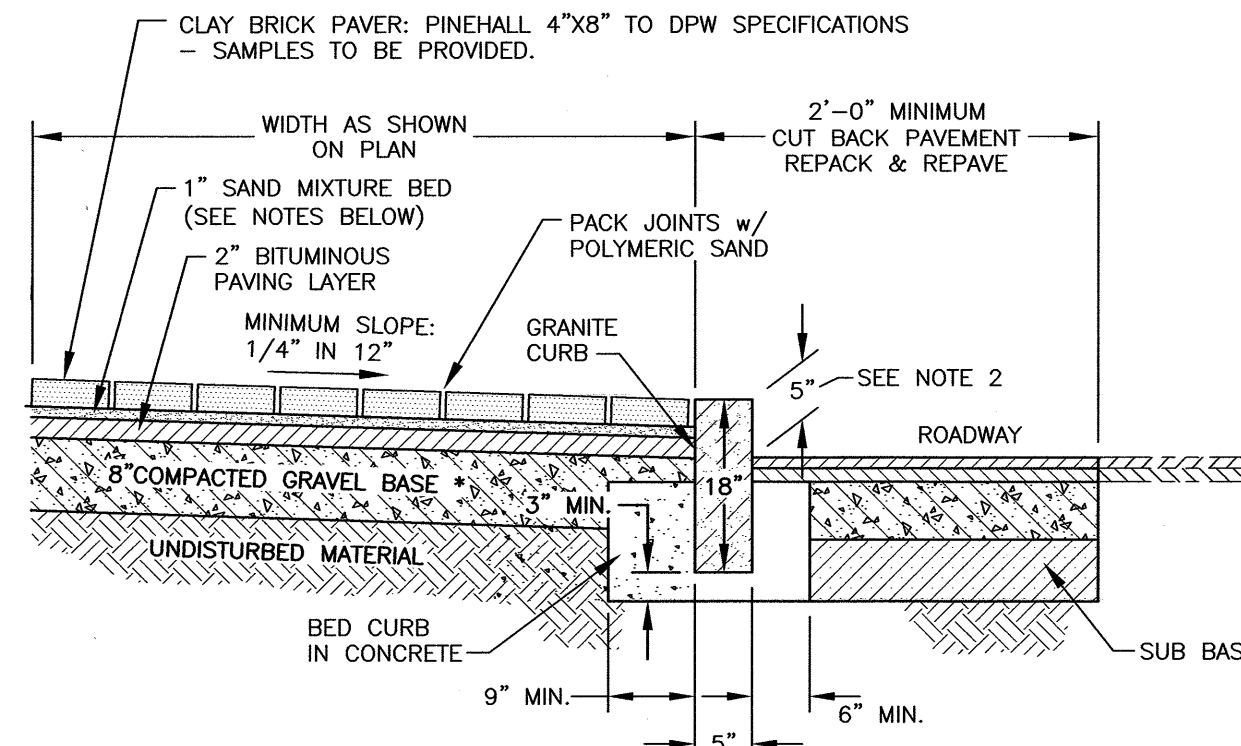
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**CONSTRUCTION NOTE:**

EXISTING GRANITE CURB DISTURBED BY CONSTRUCTION SHALL BE REUSED AND ANY MISSING CURB SHALL BE REPLACED WITH NEW CURB MATCHING EXISTING CURB SIZE. NO CURB LESS THAN 3' IN LENGTH WILL BE ALLOWED.



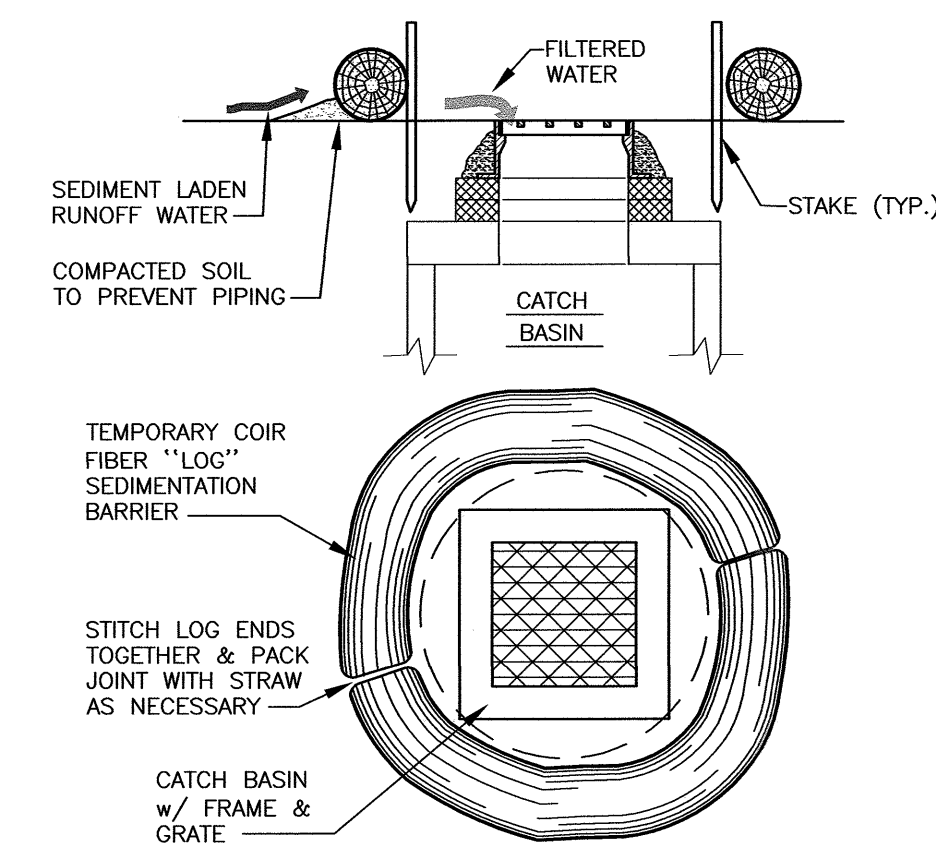
**BRICK PAVEMENT NOTES**

**SCOPE OF WORK:**

- 1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AND DRIVEWAY PAVERS AS DIRECTED IN THE FIELD BY THE ENGINEER.
- 2) REVEAL SHALL BE 5" (COORDINATE WITH PORTSMOUTH DPW).

**METHODS OF CONSTRUCTION:**

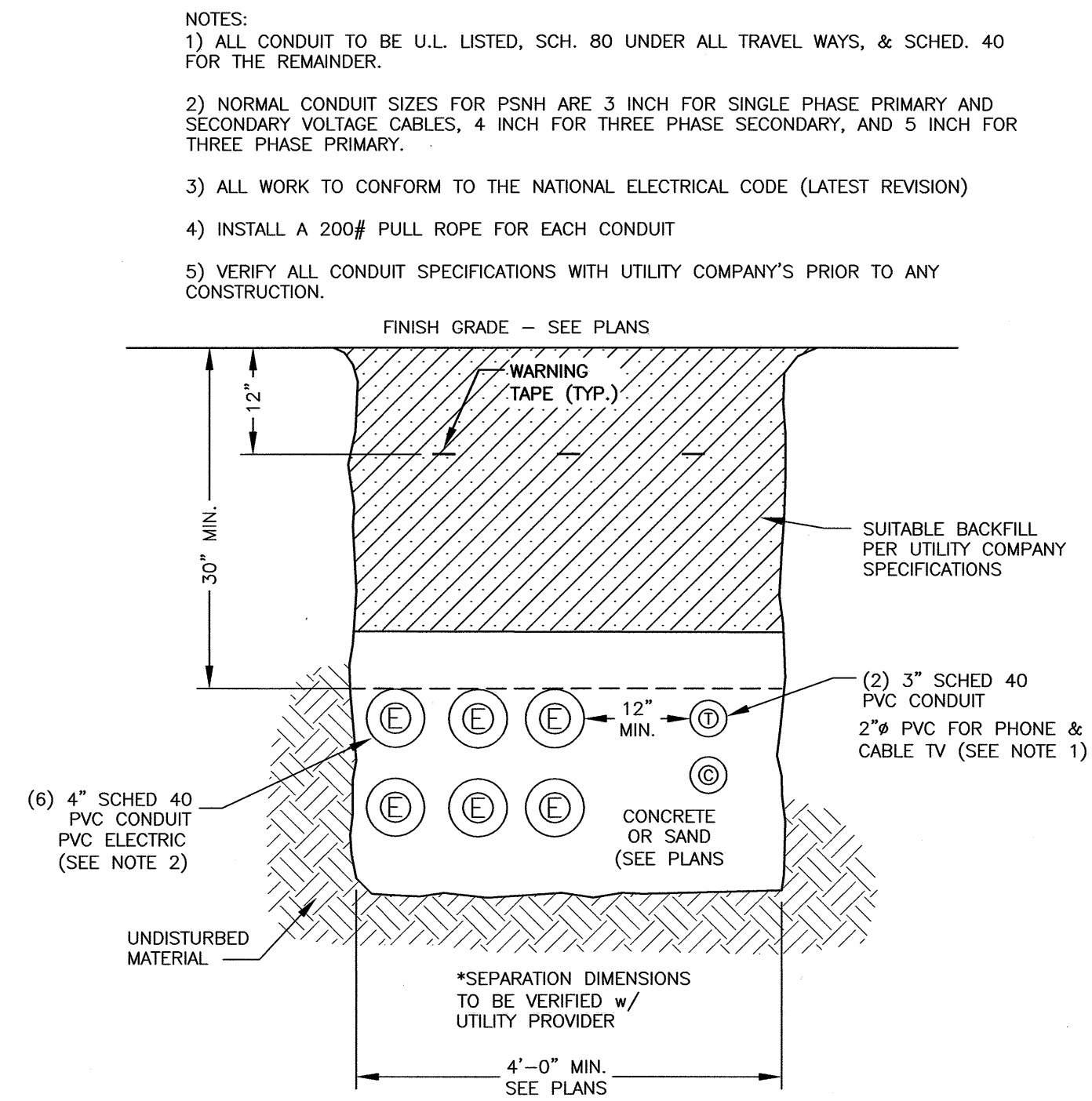
- A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.
- B) ALL BRICKS SHALL CONFORM TO THE REQUIREMENTS OF ASTM STANDARD SPECIFICATIONS FOR BUILDING BRICKS: CLASS SX, TYPE 1, APPLICATION PX. THE BRICKS SHALL BE NO. 1, WIRE CUT TYPE FOR PAVING, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 6,000 POUNDS PER SQUARE INCH. THE BRICKS SHALL NOT BE CORED OR HAVE FROGS AND SHALL BE OF A STANDARD SIZE (2.25" X 4 X 8"). 60 MM FOR SIDEWALK AND 80 MM FOR DRIVEWAY ENTRANCE.
- C) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.
- D) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 95% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKING UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.
- E) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.
- F) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 4.5 BRICKS SHALL COVER ONE SQUARE FOOT.
- G) THE SIDEWALK SHALL PITCH TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.
- H) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- I) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.



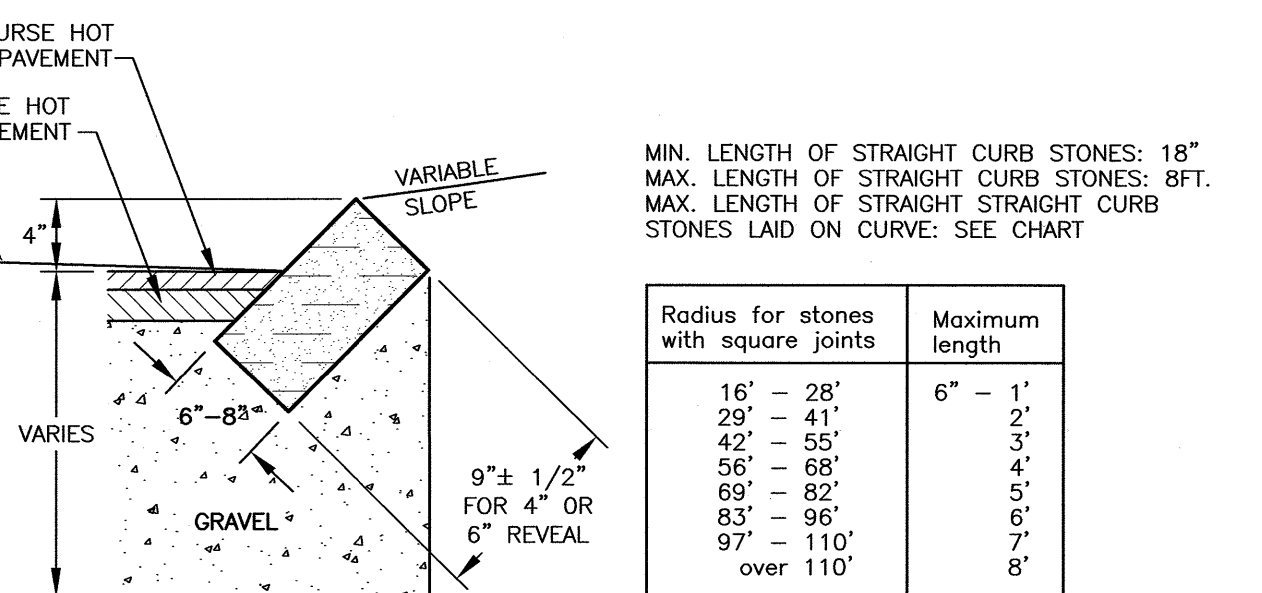
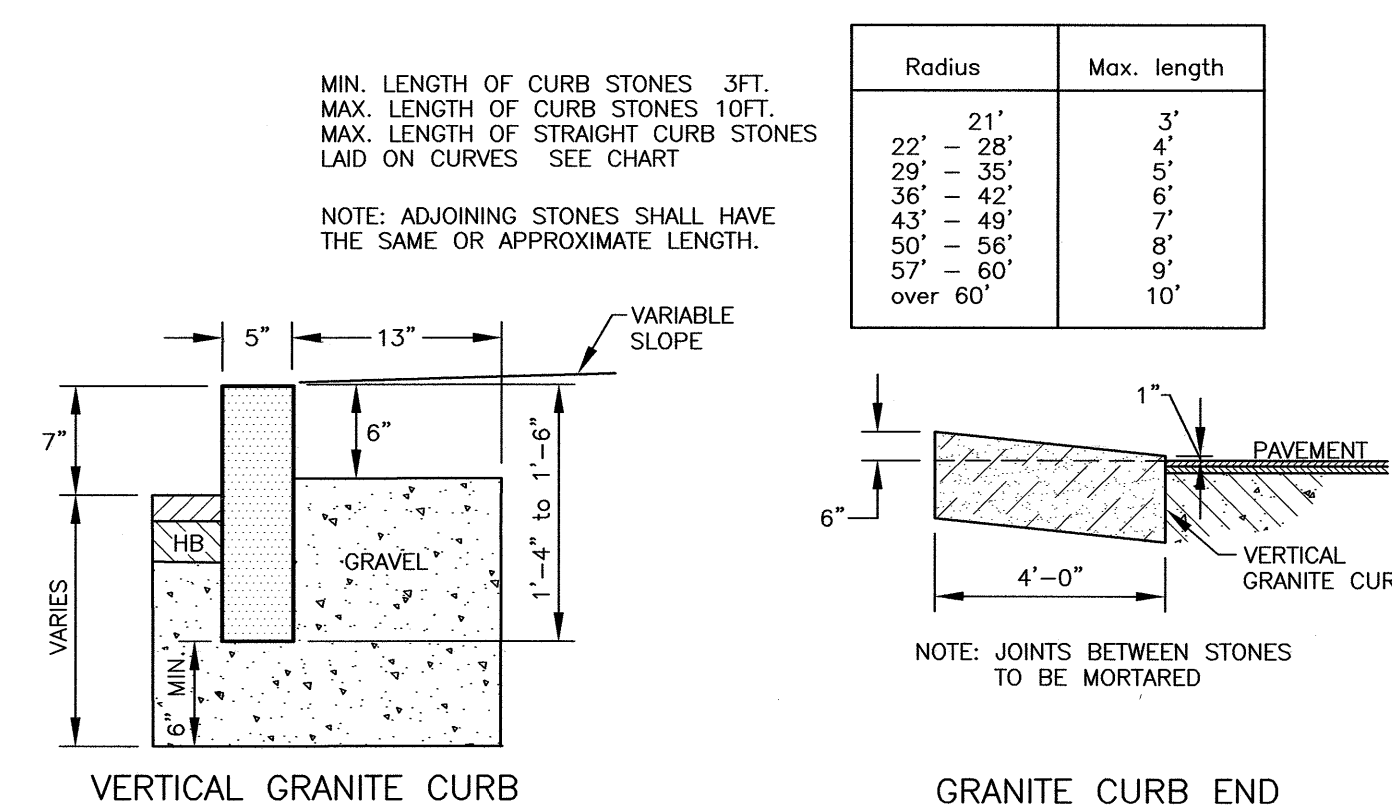
- NOTE:**
1. PRIOR TO INSTALLATION, SILT LOGS SHALL BE KEPT DRY AND STORED IN THEIR ORIGINAL WRAPPING.
  2. MINIMUM CROSS SECTIONAL DIAMETER OF SILT LOGS: 12".
  3. SILT LOGS MAY BE CUT AND RE-STITCHED AS NEEDED PER MANUFACTURER'S RECOMMENDATIONS.
  4. SILT LOGS SHALL BE INSPECTED AFTER EACH STORM EVENT.
  5. REMOVE ACCUMULATED SILT WHEN DEPTH REACHES ONE HALF OF SILT LOG DIAMETER.
  6. IF LOGS ARE TOO STIFF TO BEND AROUND CATCH BASIN INLET, THEY MAY BE CUT AND LAID SQUARE.

**E** "SILT LOG" BARRIER AT CATCH BASIN INLET (AS NEEDED) NTS

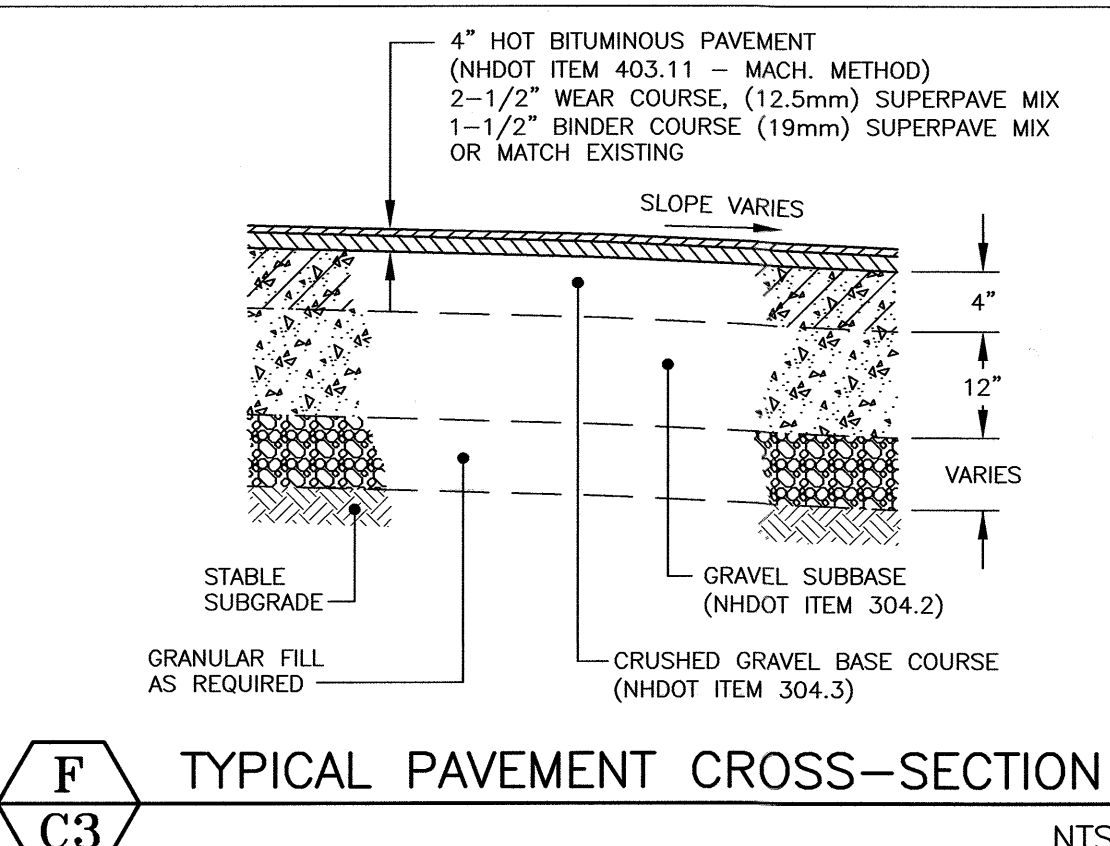
**G** BRICK SIDEWALK w/ VERTICAL GRANITE CURB (STONE DUST BEDDING OVER BITUMINOUS PAVING) NTS



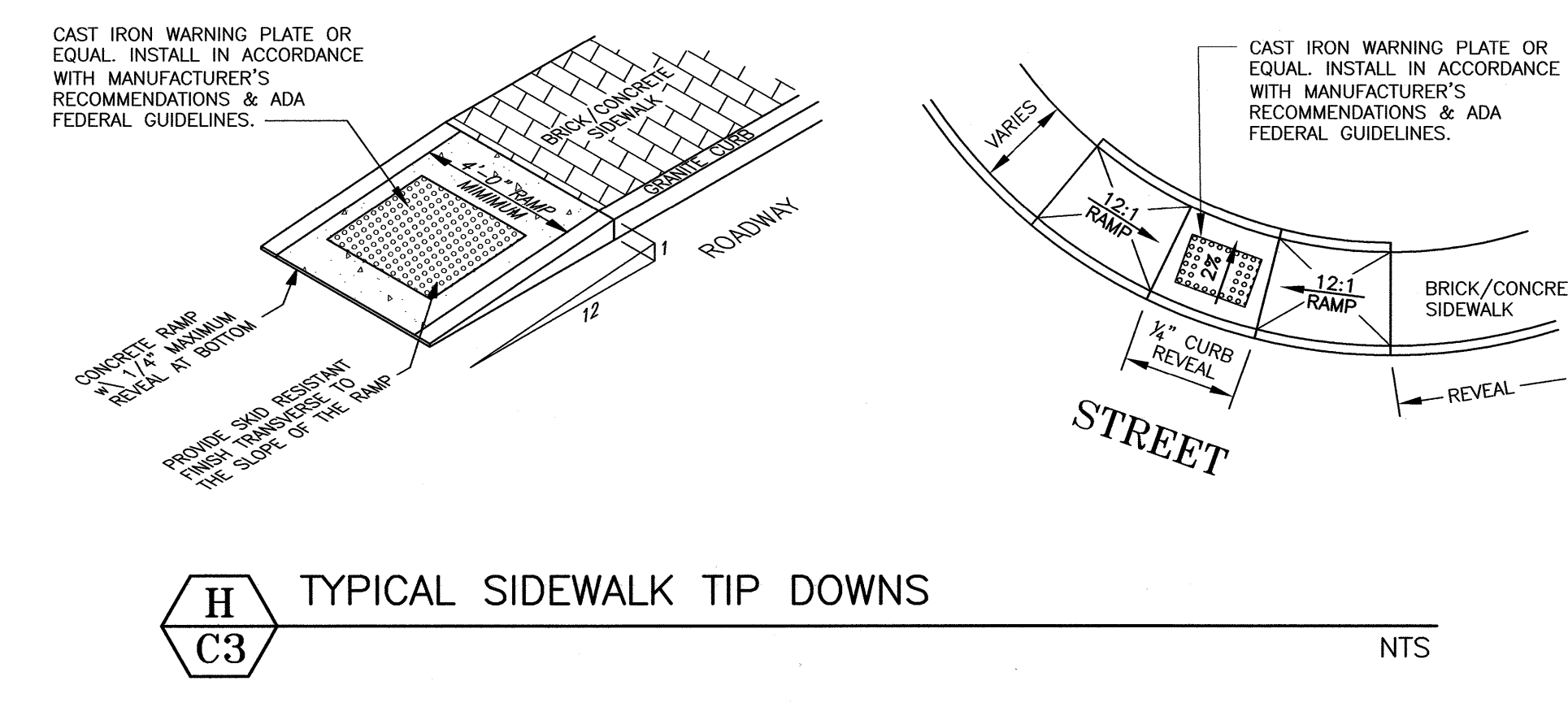
**J** BURIED ELEC/COMM CABLE NTS



**I** GRANITE CURBING DETAILS NTS



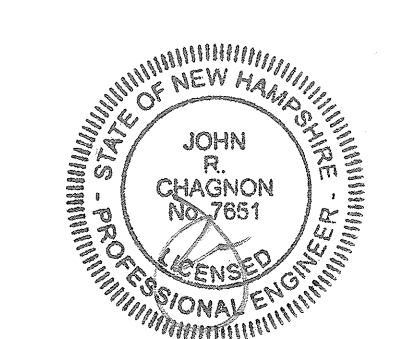
**F** TYPICAL PAVEMENT CROSS-SECTION NTS



**H** TYPICAL SIDEWALK TIP DOWNS NTS

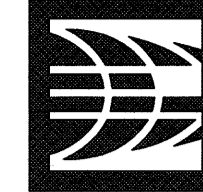
**SITE DEVELOPMENT**  
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**88 MAPLEWOOD AVENUE**  
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**DETAILS** **D2**

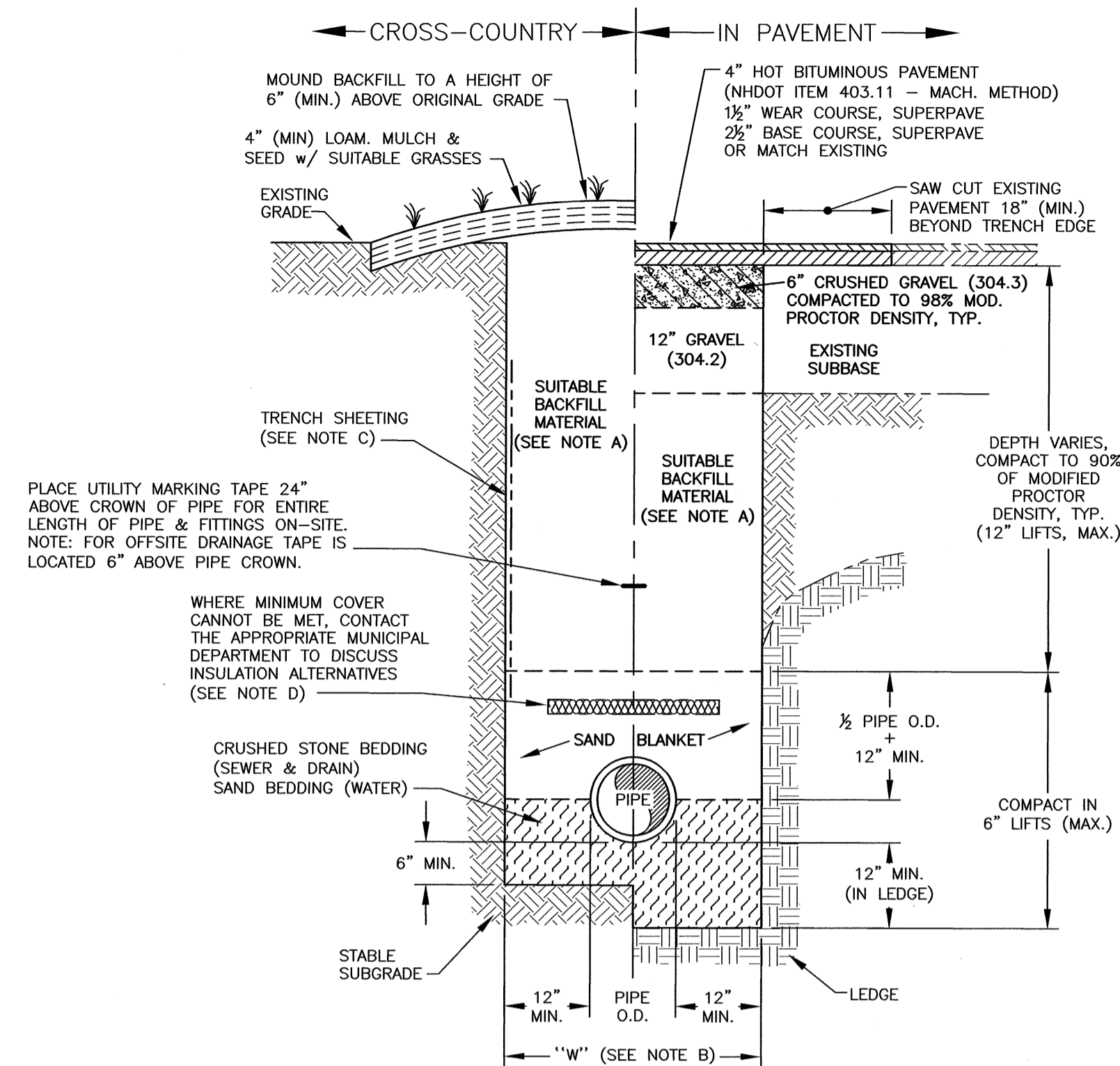


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**NOTES:**

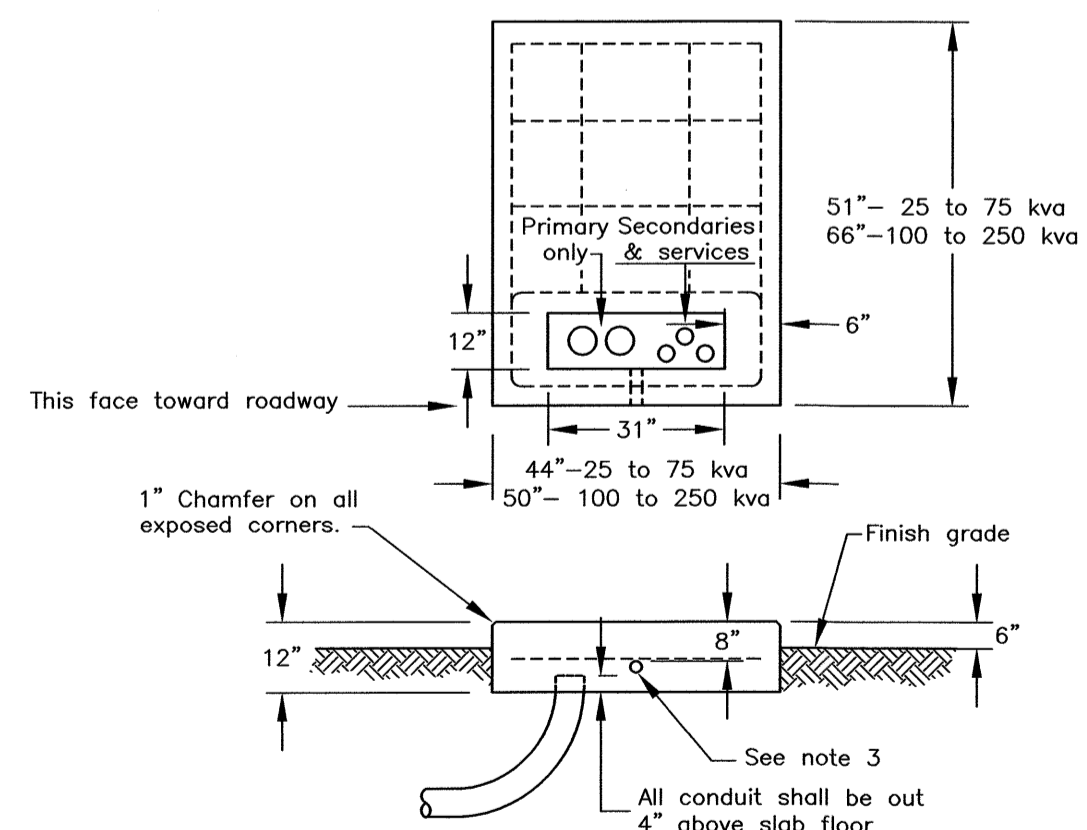
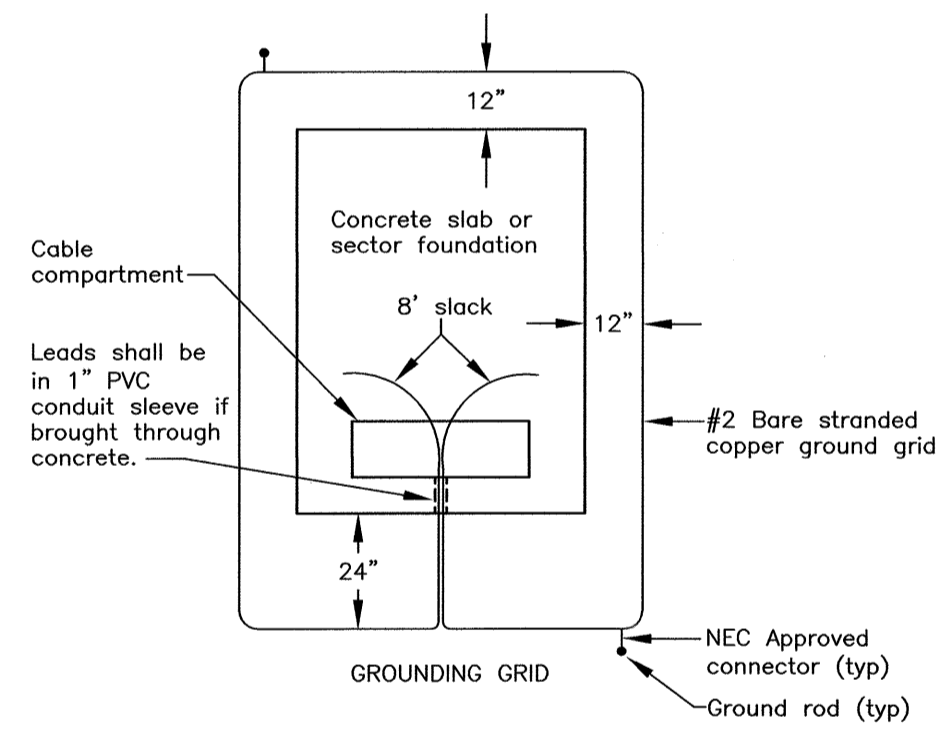
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**TRENCH NOTES:**

- TRENCH BACKFILL:**  
- IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.  
- IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.
- "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..
- TRENCH SHEETING:**  
THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFE EXCAVATION PRACTICES.
- MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):**  
5' MINIMUM FOR SEWER (IN PAVEMENT)  
4' MINIMUM FOR SEWER (CROSS COUNTRY)  
3' MINIMUM FOR STORMWATER DRAINS  
5' MINIMUM FOR WATER MAINS
- ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

**L** TYPICAL PIPE TRENCH  
C5 NTS

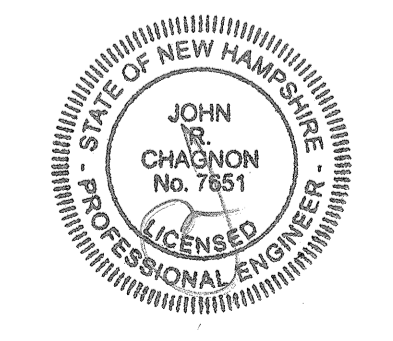


- NOTES**
1. See sheet "Requirements for Padmounted Transformer Slab Details".
  2. All reinforcing to be #6 bars.
  3. 1" PVC conduit sleeve for ground grid leads.
  4. The ground grid shall be supplied and installed by the customer and is to be buried at least 12" below grade. Eight feet of extra wire for each ground grid leg shall be left exposed in the cable compartment to allow for the connection to the transformer. The two 3" ground rods may be either galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.

**K** TRANSFORMER PAD  
C5 PSNH NTS

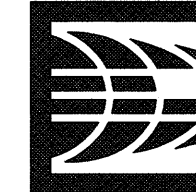
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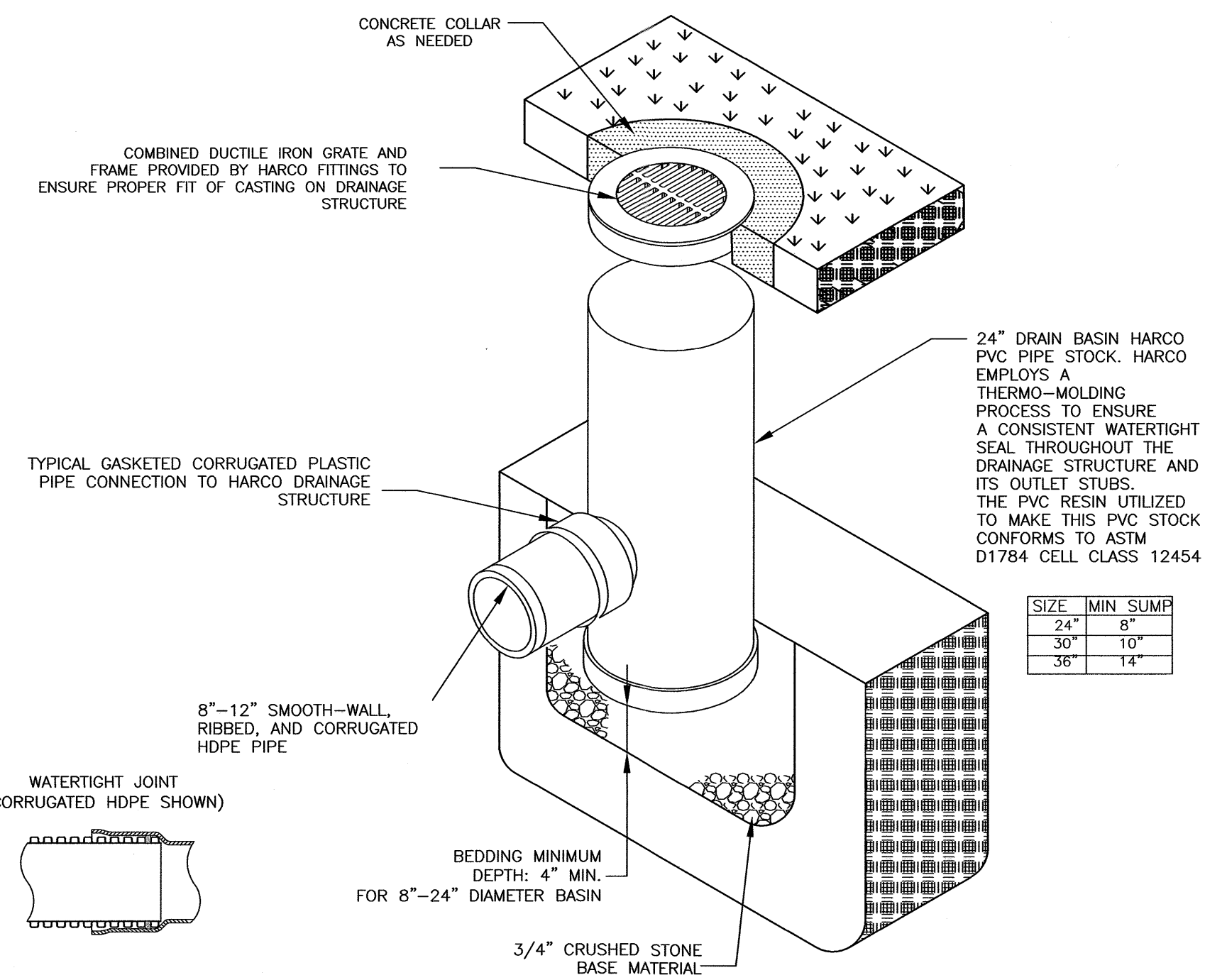
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DETAILS **D3**



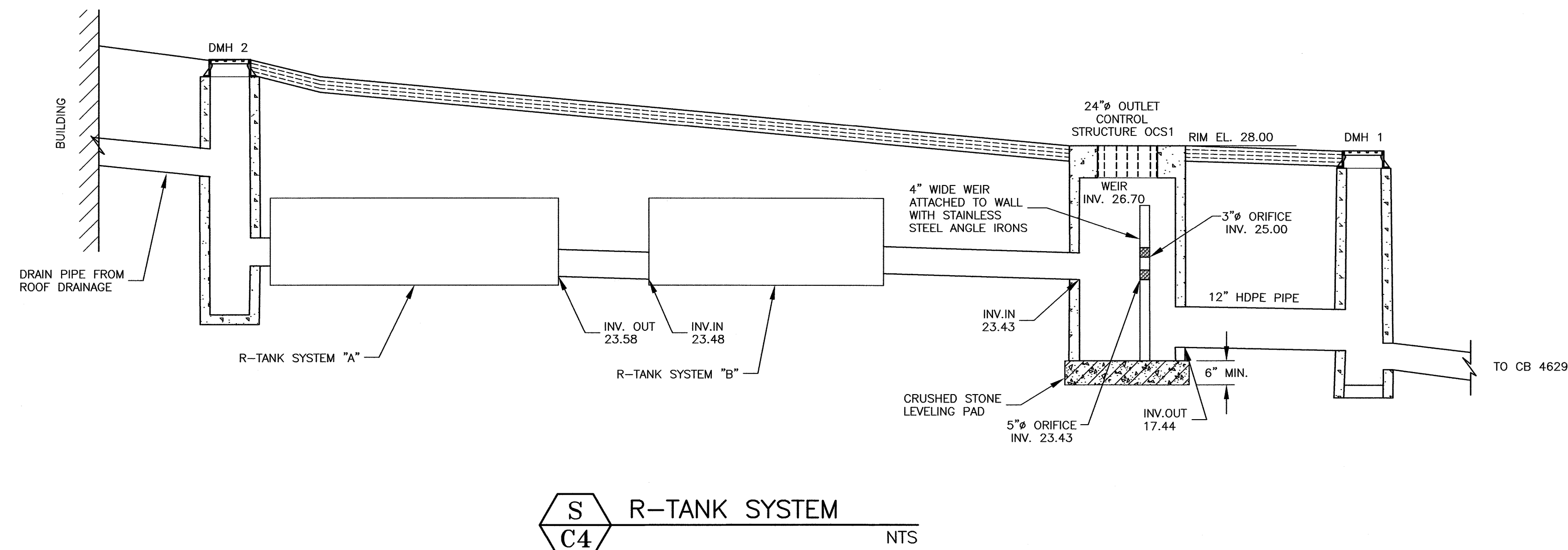
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- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
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- NOTES:
1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
  2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
  3. SEE GRADING, DRAINAGE, AND EROSION CONTROL PLAN FOR LOCATIONS.

**Q C6** HARCO DRAIN BASIN DETAIL NTS



**S C4** R-TANK SYSTEM NTS

**GENERAL NOTES:**

- 1) MINIMUM PIPE SIZE FOR HOME SERVICES SHALL BE SIX INCHES.
- 2) PIPE AND JOINT MATERIALS:
  - A. PLASTIC SEWER PIPE:
 

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
AWWA C900	PVC (SOLID WALL)	8" THROUGH 18"

 \*PVC: POLYVINYL CHLORIDE
  - B. DUCTILE IRON PIPE, FITTINGS AND JOINTS:
    - 1. DUCTILE IRON PIPE AND FITTINGS FOR SEWERS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
      - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
      - A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND LINED MOLDS FOR SEWER APPLICATIONS.
    - 2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
      - A21.11 RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.

**GENERAL NOTES- CONT'D:**

- 10) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE, FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%-55% PASSING	3/8 INCH SCREEN
0%-10% PASSING	#4 SIEVE
0%-5% PASSING	#8 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.

- 11) LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE FINDER.
- 12) CAST-IN-PLACE CONCRETE: SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
  - CEMENT: 6.0 BAGS PER CUBIC YARD
  - WATER: 5.75 GALLONS PER BAG OF CEMENT
  - MAXIMUM AGGREGATE SIZE: 3/4 INCH
- 13) CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION OR MAIN CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

14) BACKFILL UP TO SUBBASE GRAVEL SHALL BE WITH EXCAVATED SOIL FROM TRENCHING OPERATIONS. COMPACT IN 8" LIFTS WITH VIBRATORY PLATE COMPACTORS TO 90% OF MODIFIED PROCTOR DENSITY. IF FINE-GRAINED, COMPACT WITH POGO STICKS OR SHEEPSFOOT ROLLERS. PLACE NO LARGE ROCKS WITHIN 24" OF PIPE. TRENCHES THAT ARE NOT ADEQUATELY COMPACTED SHALL BE RE-EXCAVATED AND BACKFILLED UNDER THE SUPERVISION OF THE DESIGN ENGINEER OR GOVERNING BODY. UNSUITABLE BACKFILL MATERIAL INCLUDES CHUNKS OF PAVEMENT, TOPSOIL, ROCKS OVER 6" IN SIZE, MUCK, PEAT OR PIECES OF PAVEMENT.

15) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB-SITE SAFETY AND COMPLIANCE WITH GOVERNING REGULATIONS.

16) ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. FOR TRENCH WIDTH SEE TRENCH DETAIL.

17) SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 90% - 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.

18) BASE COURSE GRAVEL, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION.

19) FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDING TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

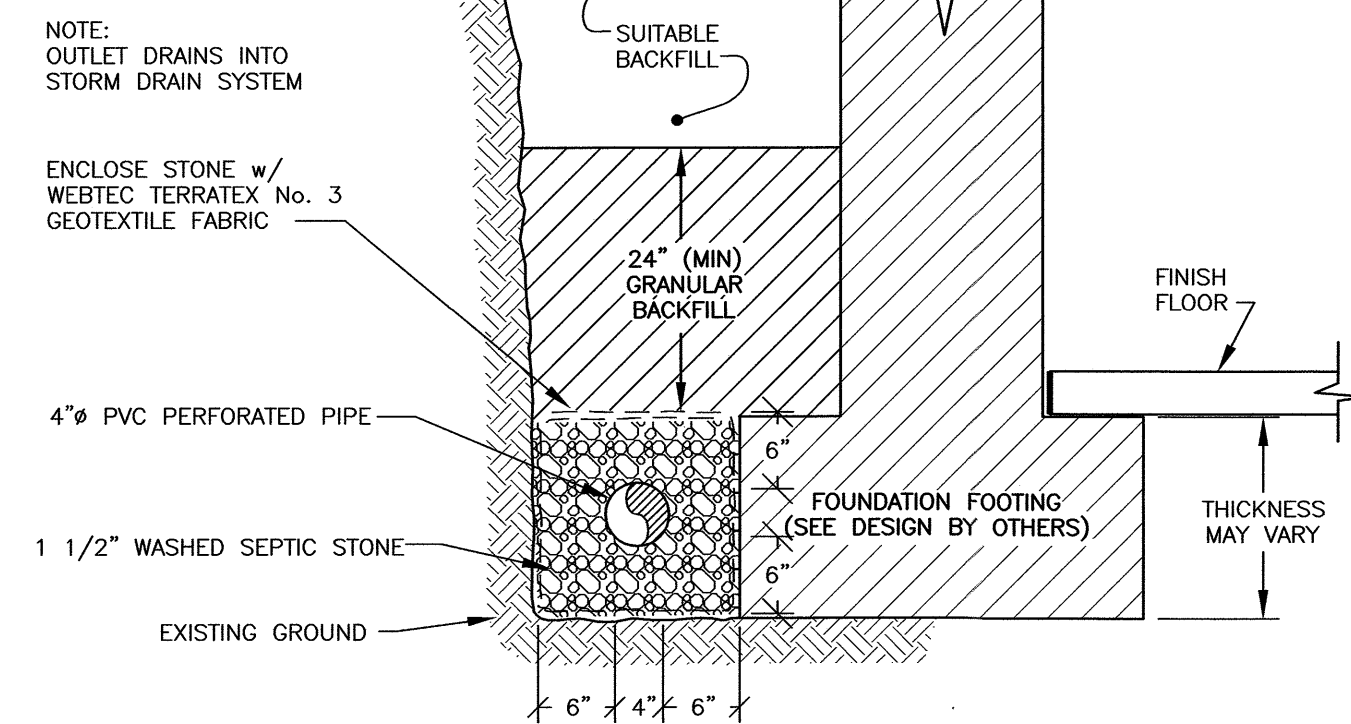
20) IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.) BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.

21) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

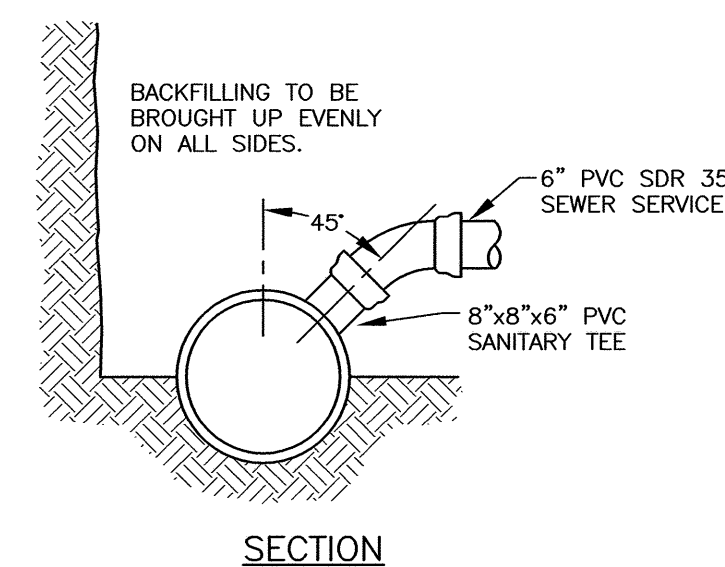
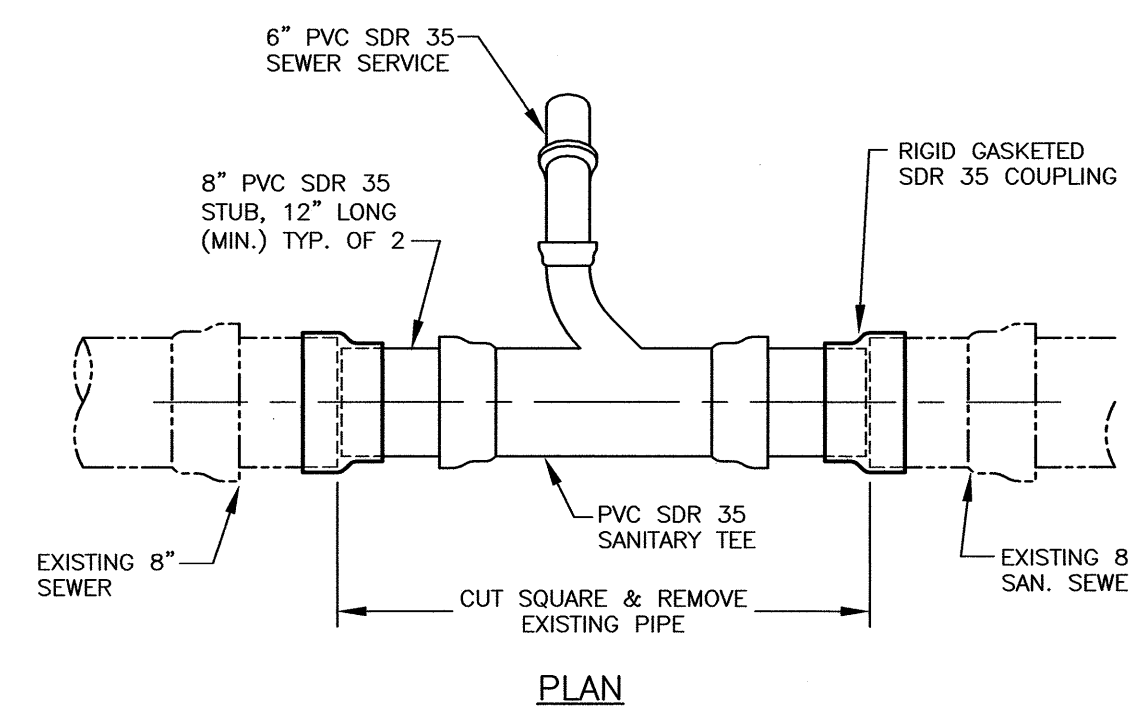
22) CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.

23) THE PURPOSE OF THESE NOTES IS TO DETAIL STANDARDS FOR SEWER CONSTRUCTION.

24) ALL WORK SHALL BE IN COMPLIANCE WITH NHDES CODE OF ADMINISTRATIVE RULES PART ENV-WQ 704 DESIGN OF SEWERS.



**R C6** TYPICAL FOUNDATION DRAIN NTS

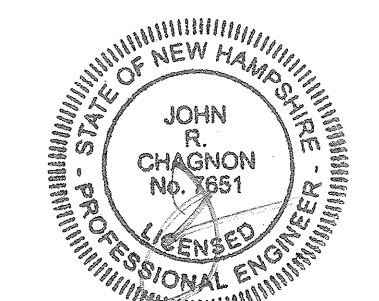


**T C4** SEWER SERVICE CONNECTION DETAIL NTS

NOTE: COORDINATE DESIGN OF SEWER CONNECTION WITH CITY OF PORTSMOUTH DPW. PROVIDE SHOP DRAWINGS FOR REVIEW.

**SITE DEVELOPMENT**  
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DETAILS

D4

## I. Introduction

The City Council adopted the following goals and objectives for work of the Land Use Committee on February 27, 2022.

- A. Increase diversity of housing types and price points
- B. Remove regulatory barriers for housing diversification in neighborhoods (ADUS) – context sensitive design and consideration to impacts to traffic, on street parking and other infrastructure impacts
- C. Restructure incentives to deliver greater public benefit in workforce housing construction
- D. Identify and maximize partnerships, coalitions, and funding opportunities to deliver affordable housing.

This report provides key information that will inform the work of the first round of regulatory amendments supported and guided by the Land Use Committee.

## II. Local Planning Context

### A. City Council Adopted Goals 2022-2023

1. Diversify and Enhance the Supply of Housing Choices
2. Leverage Local Resources and Partnerships to Improve and Support Needs of Residents, Nonprofits, Arts and Culture Community
3. Continuously Enhance City Council Best Practices to Deliver a Trusted, Transparent and Responsive Process
4. Consistently Communicate with Community Members and Stakeholders, Respecting Channels of Communication They Prefer and Keeping Them Informed

### B. Housing Policy – 2016-03. In 2016, the City Council adopted a Housing Policy that was readopted annually and most recently in 2022.

The Policy identifies the following key guiding principles:

1. **HOUSING CHOICE AND AFFORDABILITY:** Residential growth in the City should include a range of housing types to address the needs of different household types, lifestyles and income levels.
2. **CHARACTER AND HERITAGE:** New residential development should be sympathetic to the local heritage and character of each area, and should incorporate quality built form and streetscapes, including pedestrian-friendly environments.
3. **HOUSING TARGET AREAS:** The City will identify housing target areas that are suitable for more residential development and will focus studies, detailed zoning changes and development controls to guide future development in each of these areas. Context-sensitive standards which address design will accompany each target area.
4. **INFILL DEVELOPMENT:** Outside housing target areas, the City will promote infill development of residences (and, where appropriate, mixed-uses) within existing neighborhoods by rezoning to promote and allow established, traditional development patterns.

Key Principles should be applied to focus areas including the Urban Core, Corridors, Urban Neighborhoods, and Suburban Neighborhoods. Regulations and process changes should be informed by the principals and address:

1. **DENSITY:** The City will incorporate historical land use patterns and human-scale development principles into local land use regulations (Zoning Ordinance, Site Plan Review Regulation Subdivision Rules and Regulations) and permitting processes, as well as other standards, plans, rules, regulations and programs as appropriate.
2. **PARKING:** The City will review parking requirements in housing target areas and specific neighborhoods, revise land use regulations as appropriate to reduce housing development costs while preventing street congestion, and proactively seek parking infrastructure solutions or shared parking arrangements that can be substituted for individual unit parking requirements.
3. **IMPACT ON AFFORDABILITY:** Recognizing that local land use regulations can have a direct impact on housing development costs, all Boards, Committees, Commissions and Departments should consider the impacts of

their actions on housing affordability within legal guidelines, and should coordinate with each other to the extent possible to provide advice consistent with this Policy.

4. **PERMIT STREAMLINING:** Private investment in the City’s housing stock should be encouraged and the development process be minimally burdensome on individual property owners to comply with City regulations. Minor site or building changes should not necessarily trigger requirements for review by City Boards or Commissions. All Boards, Committees, Commissions and Departments should review local land use regulations and other requirements so that de minimis changes may be approved administratively.

### C. 2025 Master Plan | Theme - Diversity

The Master Plan identifies the following housing goals:

#### **Goal 3.1 Adapt housing stock to accommodate changing demographics.**

- 3.1.1 Develop regulations for accessory dwelling units that promote affordable housing for all income levels and protect neighborhood character.
- 3.1.2 Implement housing rehabilitation programs using CDBG and other funds to improve housing stock.
- 3.1.3 Expand opportunities for home based businesses.

#### **Goal 3.2 Accommodate the Housing Needs of Low and Moderate Income Residents.**

- 3.2.1 Streamline the approval process for affordable housing in order to reduce development costs.
- 3.2.2 Promote the development of mixed-income multifamily housing in appropriate locations with incentive zoning provisions, such as reductions in parking requirement and increased maximum heights.
- 3.2.3 Seek targeted funding to provide for the needs of special populations, including elderly, disabled, and homeless.
- 3.2.4 Provide education and incentives for low to moderate income first-time homebuyers to purchase homes in Portsmouth.
- 3.2.5 Encourage the creation of smaller housing units, such as micro units.
- 3.2.6 Encourage businesses to establish employer-assisted housing programs.
- 3.2.7 Support mixed use redevelopment of suitable Portsmouth Housing Authority properties.

### D. State Regulatory Context

In New Hampshire, Workforce Housing is described defined in state statutes.

*RSA 674:58, IV defines the term “workforce housing” under two different categories: housing for sale and housing for rent. Housing for sale qualifies as “workforce housing” if it is “affordable to a household with an income of no more than 100 percent of the median income for a 4-person household for the metropolitan area or county in which the housing is located as published annually by the United States Department of Housing and Urban Development.” Rentals, in contrast, qualify as “workforce housing” if they are “affordable to a household with an income of no more than 60 percent of the median income for a 3-person household for the metropolitan area or county in which the housing is located as published annually by the United States Department of Housing and Urban Development.”*

<https://www.nhmunipal.org/town-city-article/legal-qa-what-municipalities-need-know-about-%E2%80%9Cworkforce-housing%E2%80%9D>

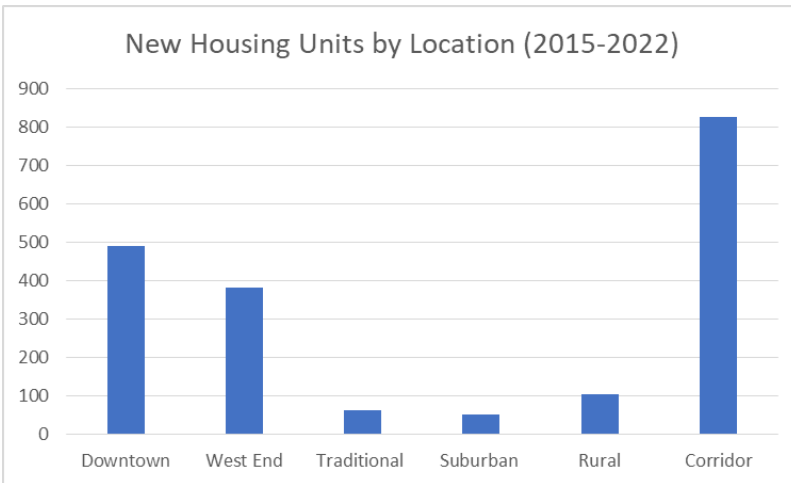
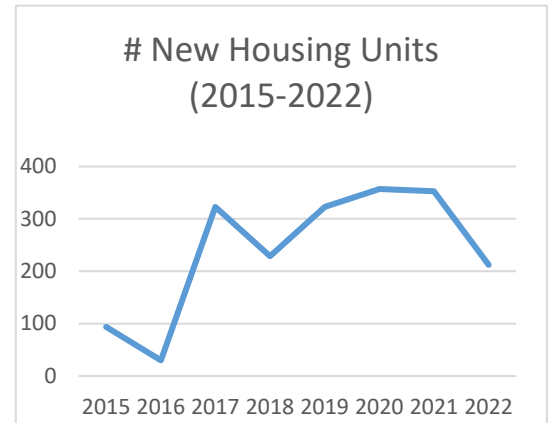
*In Portsmouth, (the Portsmouth-Rochester HUD Metro Fair Market Area), this translates to renters making up to \$57,600 and homeowners making up to \$99,875 (see more info about HUD Fair Market Rents in NH <https://www.nhhfa.org/wp-content/uploads/2021/06/HUD-incomelimits-effective-6.1.2021-1.pdf>).*

### III. Trends and Existing Conditions (Where are we now)

#### A. Development Trends

##### New Growth and Density

- Over the past 71/2 years, the city has approved an average of nearly 250 new housing units.
- After the adoption of Character-Based and Gateway Zoning in 2013-2015 the average number of approved new housing units increased from just over 60 units per year to over 300.
- Predictable application of standards and increased allowed density may account for the rapid increase.
- **Between 2015-2022 nearly 85% (or 1,631) of the approved new housing units were located within moderate- to high-density multi-family housing developments.**



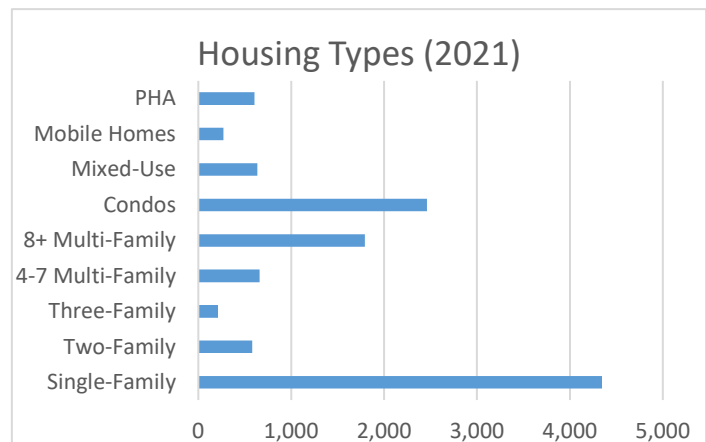
##### Location of New Housing Units

- 85% of all new approved housing units are located within the city’s urban zoning districts where infrastructure and utilities already exist.
- Over 40% (827 units) of the approved new housing units were located along the commercial corridors in the Gateway Zoning Districts.
- The Downtown accounted for just over 25%
- West End included 20% of the approved new housing units
- Only 3% of all new housing units were located within traditional neighborhoods.
- It is important to note that 23% of all new

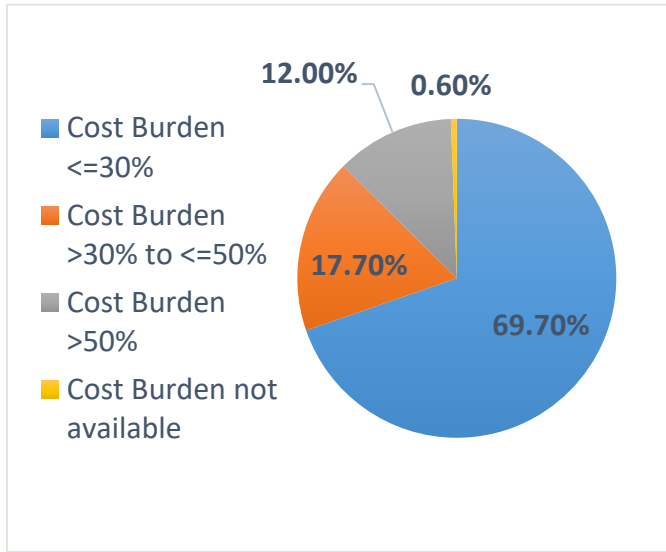
units were located on previously undeveloped open space within rural areas. These “Greenfield” developments permanently change the land use from undeveloped open space to residential use.

##### 2021 Housing Unit Counts and Types

- Single Family residences and condos comprise 62% of all housing in Portsmouth.
- Multi-family units (3+ units and mixed use) comprise 30% of all housing in Portsmouth.
- Since adoption of the Accessory Dwelling Unit (ADU) Ordinance in 2017, the city has approved 32 accessory dwelling units.
- 44% of all approved ADUs were attached and 41% were garden cottages.







### Cost Burdened Community Summary

A household is said to be cost-burdened when it pays more than 30 percent of its income toward housing expenses. As a more extreme measure, a household is said to be severely cost-burdened when it pay at least 50 percent of its income toward housing expenses.

- Nearly one-third of Portsmouth residents are cost burdened.
- 12% of the residents are paying 50% or more of their income for housing costs.
- The most heavily cost burdened members of the community are renters. 36% of renters pay more 30% or more of their total income for housing compared to 23% of homeowners.
- While the number of cost burdened homeowners has done down over the past eight years (22% to 14%), the number of cost burdened renters has remained steady at about 21%

## IV. Proposed Amendment Work Plan | Will be Considered for Approval by City Council on April 18, 2022

PHASE 1	TOPIC/SUBJECT	CODE SECTION	Objectives	Housing Type Impacted	Housing Policy	Master Plan Goal
Phase 1 Amendments- JUNE 2022	Building Height		Improve regulatory implementation and align with legislative intent. Eliminate ambiguous sections that result in unintended consequences.			
1	Building Height Map	10.5A21B	Add new streets, add building heights for civic and municipal properties and modify building heights. Correct the reference to 10.5A46.	All types within Character Districts	CHARACTER AND HERITAGE; HOUSING TARGET AREAS	Goal 2.1, Actions 2.2.2 and 2.2.3
2	Building Height Standards	10.5A21B	Clarify the standards for corner, through or waterfront lots	All types within Character Districts	CHARACTER AND HERITAGE; HOUSING TARGET AREAS	Goal 2.1, Actions 2.2.2 and 2.2.4
3	Civic Districts	10.5A52.40	Apply the CD4 development standards to civic properties	NA	CHARACTER AND HERITAGE; HOUSING TARGET AREAS	Goal 2.1, Actions 2.2.2 and 2.2.5
4	Definitions	10.153	Add definitions for public places and modify building height to be based on existing versus finished grade.	All types in all locations.	CHARACTER AND HERITAGE; HOUSING TARGET AREAS	Goal 2.1, Actions 2.2.2 and 2.2.6

**Land Use Committee Existing Conditions and Strategy Report**  
**Land Use Committee 4-8-2022 and City Council 4-18-22**

PHASE 2	TOPIC/SUBJECT	CODE SECTION	Objectives	Housing Type Impacted	Housing Policy	Master Plan Goal
<b>Phase 2 Amendments SEPTEMBER 2022</b>	<b>ADUs and Senior Housing Facilities</b>		<b>Remove barriers and expand the number of eligible properties for ADUs and Senior Housing Facilities.</b>			
1	Accessory Dwelling Units/ Garden Cottages	10.814 & 10.815	Remove regulatory barriers to ADU development through inclusion of context-sensitive design standards. Develop criteria allowing ADUs/Garden Cottages as-of-right.	Accessory Dwelling Units/Garden Cottages	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	<b>Goal 3.1</b> , Actions 3.1.1; <b>Goal 3.2</b> , Actions 3.2.1
2	Assisted Living Facilities	10.44	Allow for Assisted Living Centers in outlying Zoning Districts and allow for Cooperative Housing.	Cooperative / Shared Housing, Congregate Care, Assisted Living, Independent Living, Senior Housing	HOUSING CHOICE AND AFFORDABILITY	<b>Goal 3.1</b> , Actions 3.1.1; <b>Goal 3.2</b> ,

PHASE 3	TOPIC/SUBJECT	CODE SECTION	Objectives	Housing Type Impacted	Housing Policy	Master Plan Goal
<b>Phase 3 Amendments DECEMBER 2022</b>	<b>Incentives for Workforce Housing</b>		<b>Adjust incentives to place a higher emphasis on Workforce Housing.</b>			
1	Character District Zoning - Large Properties	10.5A43.33	Adjust incentive to include Workforce Housing.	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	<b>Goal 3.1</b> , Actions 3.1.1; <b>Goal 3.2</b> , Actions 3.2.1, 3.2.2, 3.2.5
2	Character District Zoning - Large Building Footprints	10.5A46	Modify Building Footprint Allowance to incentivize Workforce housing.	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	<b>Goal 3.1</b> , Actions 3.1.1; <b>Goal 3.2</b> , Actions 3.2.1, 3.2.2, 3.2.5
3	Character District Zoning - Incentive Overlay Districts	10.5A43.46	Modify the Incentive Overlay Districts to incentivize Workforce Housing.	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	<b>Goal 3.1</b> , Actions 3.1.1; <b>Goal 3.2</b> , Actions 3.2.1, 3.2.2, 3.2.5
4	Character District Zoning - Gateway Districts	10.5B	Modify the Gateway Districts to include Workforce Housing	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	<b>Goal 3.1</b> , Actions 3.1.1; <b>Goal 3.2</b> , Actions 3.2.1, 3.2.2, 3.2.5
5	Planned Unit Developments	10.72	Modify CUP to improve outcomes for Workforce Housing	Single, Two- and Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	<b>Goal 3.1</b> , Actions 3.1.1; <b>Goal 3.2</b> , Actions 3.2.1, 3.2.2, 3.2.5
6	Off-Street Parking	10.11.110	Modify the off-street parking regulations to improve the balance and equity between the high cost of private and public parking.	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS: Parking	<b>Goal 3.1</b> , Actions 3.1.1; <b>Goal 3.2</b> , Actions 3.2.1, 3.2.2, 3.2.5



# Attachment B-DRAFT Regulatory Amendment Work Plan - CC Approval Pending 4-18-22

PHASE	TOPIC/SUBJECT	CODE SECTION	Objectives	Housing Type Impacted	Housing Policy	Master Plan Goal	Policy Alignment	Difficulty (High 1, Med 2, Low 3)	Impact (High 3, Med 2, Low 1)	Timeline (Short, Medium, Long term)	Stakeholders	Staff
	Accessory Dwelling Units/ Garden Cottages	10.814 & 10.815	Remove regulatory barriers to ADU development through inclusion of context-sensitive design standards. Develop criteria allowing ADUs/Garden Cottages as-of-right.	Accessory Dwelling Units/Garden Cottages	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	Goal 3.1, Actions 3.1.1; Goal 3.2, Actions 3.2.1		3	2	2 Medium Term	Homeowners Association, Previous ADU applicants, Residential neighborhood residents most likely to accommodate ADUs/Garden Cottages (GIS informed)	Building and Inspections, Planning, Legal
	Assisted Living Facilities	10.44	Allow for Assisted Living Centers in outlying Zoning Districts and allow for Cooperative Housing.	Cooperative / Shared Housing, Congregate Care, Assisted Living, Independent Living, Senior Housing	HOUSING CHOICE AND AFFORDABILITY	Goal 3.1, Actions 3.1.1; Goal 3.2,		3	2	1 Medium Term	Assisted Living Facility Owners, Senior Housing and Cooperative Housing Operators	Planning, Legal
<b>Phase 3 Amendments</b>	<b>Incentives for Workforce Housing</b>		<b>Adjust incentives to place a higher emphasis on Workforce Housing.</b>									
<b>DECEMBER 2022</b>												
	Chraacter District Zoning -Large Properties	10.5A43.33	Adjust incentive to include Workforce Housing.	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	Goal 3.1, Actions 3.1.1; Goal 3.2, Actions 3.2.1, 3.2.2 ,3.2.5		3	1	3 Long Term	Affordable Housing Agencies and Organizations, Developers, Real Estate Professionals, Chamber Collaborative	Planning, Legal, Economic Development

# Attachment B-DRAFT Regulatory Amendment Work Plan - CC Approval Pending 4-18-22

2	Chraacter District Zoning - Large Building Footprints	10.5A46	Modify Building Footprint Allowance to incetivize WorkFroce housing.	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	Goal 3.1, Actions 3.1.1; Goal 3.2, Actions 3.2.1, 3.2.2 ,3.2.5	3	1	3 Long Term	Affordable Housing Agencies and Organizations, Developers, Real Estate Professionals, Chamber Collaborative	Planning, Legal, Economic Development
3	Chraacter District Zoning - Incentive Overlay Districts	10.5A43.46	Modify the Incentive Overlay Districts to incetivize Workforce Housing.	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	Goal 3.1, Actions 3.1.1; Goal 3.2, Actions 3.2.1, 3.2.2 ,3.2.5	3	1	3 Long Term	Affordable Housing Agencies and Organizations, Developers, Real Estate Professionals	Planning, Legal, Economic Development
4	Chraacter District Zoning - Gateway Districts	10.5B	Modify the Gateway Districts to include Workforce Housing	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	Goal 3.1, Actions 3.1.1; Goal 3.2, Actions 3.2.1, 3.2.2 ,3.2.5	3	1	3 Long Term	Affordable Housing Agencies and Organizations, Developers, Real Estate Professionals, Chamber Collaboative	Planning, Legal, Economic Development
5	Planned Unit Developments	10.72	Modify CUP to improve outcomes for Workfroce Housing	Single, Two- and Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS	Goal 3.1, Actions 3.1.1; Goal 3.2, Actions 3.2.1, 3.2.2 ,3.2.5	3	1	2 Long Term	Affordable Housing Agencies and Organizations, Developers, Real Estate Professionals, Chamber	Planning, Legal, Economic Development
6	Off-Street Parking	10.11.110	Modify the off-street parking regulations to improve the balance and equity between the high cost of private and public parking.	Multi-Family (Rental or Ownership)	HOUSING CHOICE AND AFFORDABILITY; HOUSING TARGET AREAS: Parking	Goal 3.1, Actions 3.1.1; Goal 3.2, Actions 3.2.1, 3.2.2 ,3.2.5	3	1	3 Long Term	Affordable Housing Agencies and Organizations, Developers, Real Estate Professionals, Traffic and Safety	Planning, PW

# Attachment B-DRAFT Regulatory Amendment Work Plan - CC Approval Pending 4-18-22

Master Plan Goals	High-3	Strong Alignment – Meets Goals and Actions
	Medium -2	Moderate Alignment – Meets Goals
	Low -1	Low Alignment – No Discernable Goals
City Council Goals/Policies	High-3	Strong Alignment – Meets Goals and Policies
	Medium -2	Moderate Alignment – Meets Goals or Policies
	Low -1	Low Alignment – No Discernable Goals or Policies
Difficulty	High-1	New code implementation strategy and affects multiple sections
	Medium -2	Code Interpretation clarification/one or two sections
	Low -3	Cleans up problematic language, errors or inconsistent language- one section
Impact	High-3	Significantly changes development outcomes
	Medium -2	Moderate impacts to development outcomes
	Low -1	Low impact to development outcomes

## C. 2025 Master Plan | Theme - Diversity

The Master Plan identifies the following housing goals:

### Goal 3.1 Adapt housing stock to accommodate changing demographics.

- 3.1.1 Develop regulations for accessory dwelling units that promote affordable housing for all income levels and protect neighborhood character.
- 3.1.2 Implement housing rehabilitation programs using CDBG and other funds to improve housing stock.
- 3.1.3 Expand opportunities for home based businesses.

### Goal 3.2 Accommodate the Housing Needs of Low and Moderate Income Residents.

- 3.2.1 Streamline the approval process for affordable housing in order to reduce development costs.
- 3.2.2 Promote the development of mixed-income multifamily housing in appropriate locations with incentive zoning provisions, such as reductions in parking requirement and increased maximum heights.
- 3.2.3 Seek targeted funding to provide for the needs of special populations, including elderly, disabled, and homeless.
- 3.2.4 Provide education and incentives for low to moderate income first-time homebuyers to purchase homes in Portsmouth.
- 3.2.5 Encourage the creation of smaller housing units, such as micro units.
- 3.2.6 Encourage businesses to establish employer-assisted housing programs.
- 3.2.7 Support mixed use redevelopment of suitable Portsmouth Housing Authority properties.



**RE: 1 Congress St**  
**Meeting: PB March 17, 2022**  
(1 pg Letter with 5 pictures)

Dear Members of the Planning Board,

March 15, 2022

Please ask this development at Congress, High Street and Haven Court to come back when their ducks are really in a row. There seem to be many things to consider before moving forward.

For the Zoning Board of Adjustments application 12,000sf is shown as the footprint of the two buildings (8720+3280) A1.1 combined. For Planning Board they are showing 11914 sf (5957+5957).

On plan C3 (pg 133) of the packet, 32.61 % of open space is shown which amounts to 4548.57 sf. Where is that number coming from? They MAY meet the 10% (696.96sf) required for the CD4 on Lot 117.15 and the 5% (343.48sf) for Lot 117-14 with the small park (687sf or 1114sf) they are proposing in the 10' area between to JJ Newberry's and this proposed building. It is questionable if a 10' wide dead end alley would be considered open space much less with a dumpster at its entrance (trash chute exits there).

If Haven Court (city or otherwise owned) were to be changed into something other than a dead end street, this would likely go before the City Council for review and then public hearings would likely be held to address this. The idea of a cat walk from the Hanover Garage would likely fall under the same requirements.

There is also the issue of parking. There is currently a 2012 parking variance for 19 spaces received for the 600sf addition to the restaurant which was held by a lease. This variance allows for 6 parking spaces for 5 Congress St based on this lease. Where will they park?

All the structures on Haven Ct have NOT been higher than 1 to 2 story in the past including those with High Street addresses which run parallel to Haven Court. This lot is supposed to follow the zoning height of 2 to 3 story within 50 of High Street and/or Haven Ct. They have not received a variance for the extra 4th story they are showing on Haven Ct and High Street. This part of the building could easily be stepped down to 2 to 3 story.

It has been stated due to ADA regulations the extra story for the elevator is needed. ADA requirements are only for public areas, therefore a single story elevator is all that is required for this building; anything else is optional.

All of downtown has various heights to keep the flow between historic structures. JJ Newberry's is a historic structure which abuts this property as it curves down Fleet St, all of which is only 2 to 3 story. Even the parking garage bows down to 3 stories as one looks down High Street to the corners of Ladd and Haven Ct.

HDC comments had concerns about three fourths of this proposed structure, including "the large prism" and the loss of views of the opera house as well as many unconventional features. The proposed prism likely falls under lighting zoning since it will be reflecting light directly into all residential abutter's windows.

Please do not accept these two lots for Preliminary Design Plan or Design Review at this time. Many of the items presented are questionable if they are even allowed without going through other boards (IE: changes to Haven Ct, Prism, cat walk), much less the needed step downs on High St and Haven Court.

Sincerely,  
Elizabeth Bratter  
159 McDonough St  
,Property Owner



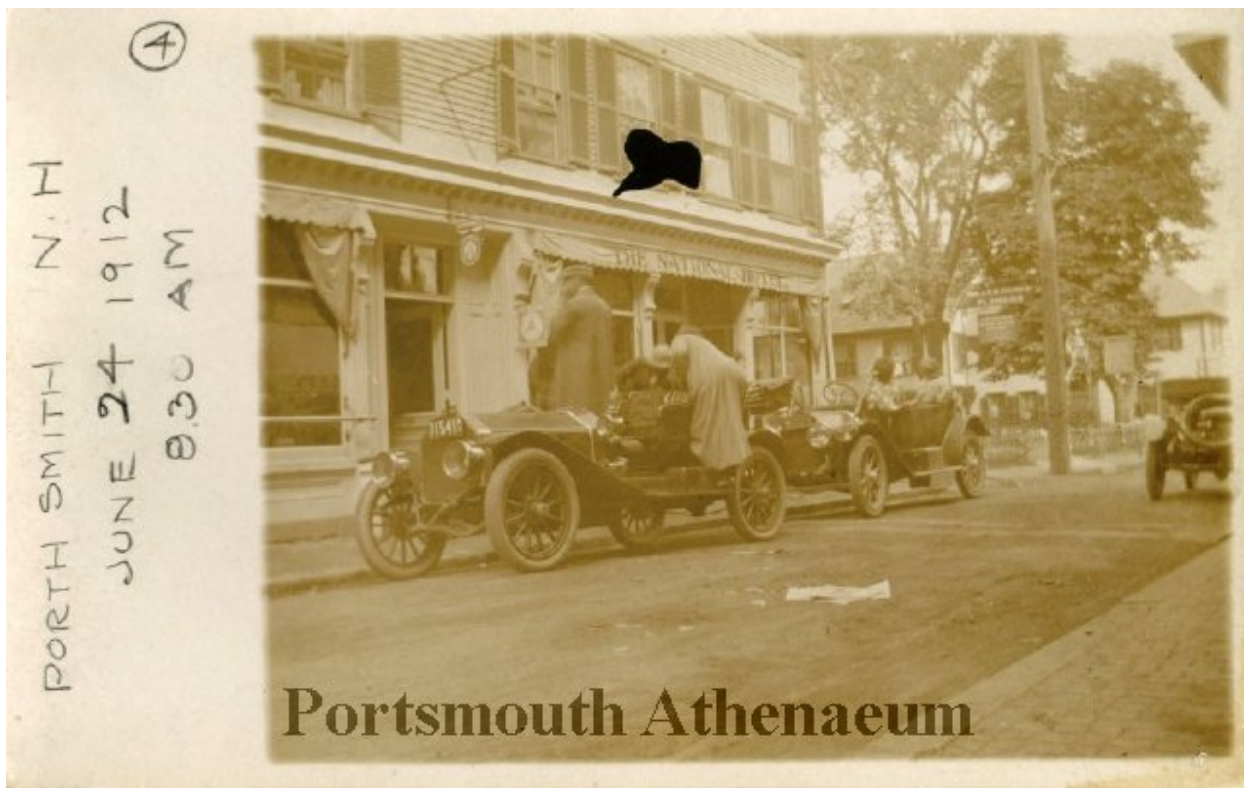


**24 Haven Court Range 1910-1913**

Group of men in front of the shop belonging to C.R. Pearson, machinist, and C.L. & C.H. Brewster, heating and plumbing, at 24 Haven Court, Portsmouth.



Corner of Haven Court and High Street (02/22). Jersey Barriers at the top block off the last 3rd of Haven Court which appears to be privately owned per Mapgeo. It could look nice with a 2 to 3 story building set back 10 from the curbing on Haven Court, with a sidewalk and landscaping.



National Hotel on High Street-2 Story



18/20 High Street Rudis Restaurant, 3 story stepping down to 2 story on Haven Court side.



Lot 117-15 where the proposed building will be expanded to.  
Notice all the buildings facing Haven Ct are only 1 to 2 story and the trees make a nice buffer to the garage.

**From:** judy@gatesstreet.com,

**To:** archwhit@aol.com,

**Subject:** Fwd: letter of support

**Date:** Tue, Mar 15, 2022 1:53 pm

**Attachments:** Nerbonne Letter of Support.docx (14K)

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Begin forwarded message:

**From:** Nancy Euchner <[nancy@seacoastvillageproject.org](mailto:nancy@seacoastvillageproject.org)>

**Subject:** Fwd: letter of support

**Date:** March 14, 2022 at 10:08:57 AM EDT

**To:** Judy Nerbonne <[judy@gatesstreet.com](mailto:judy@gatesstreet.com)>

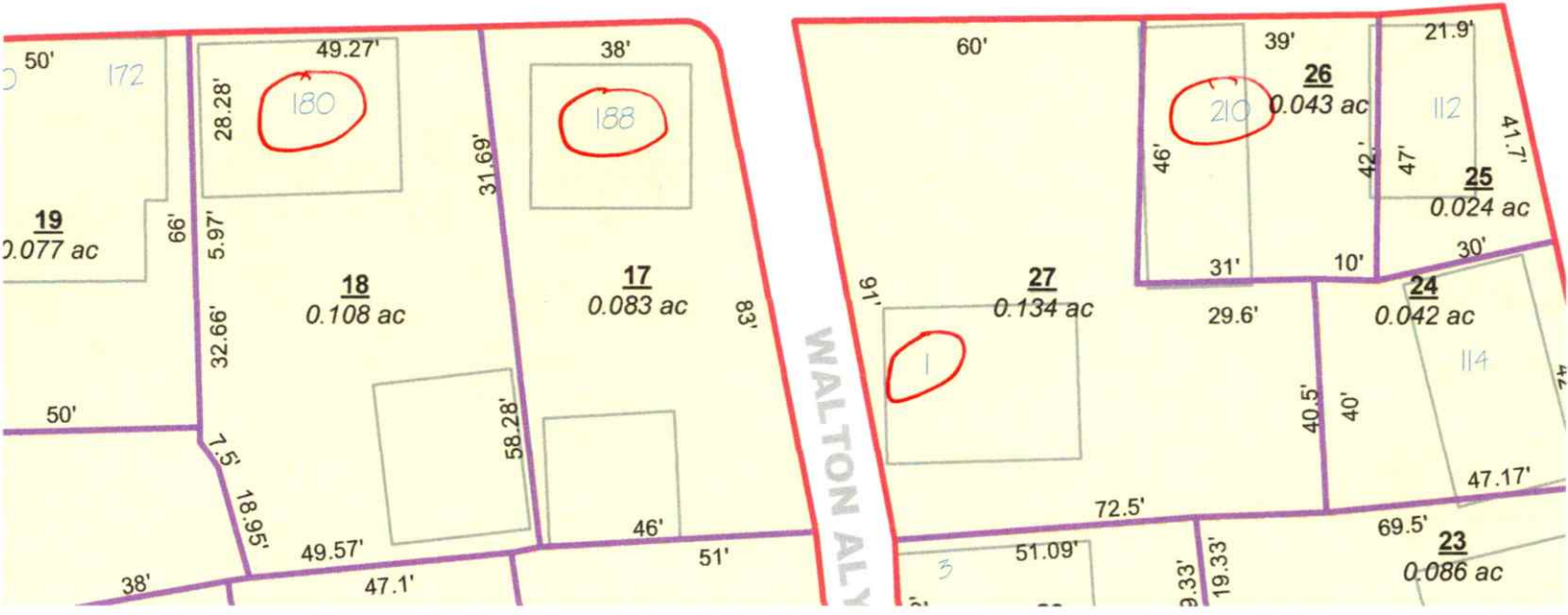
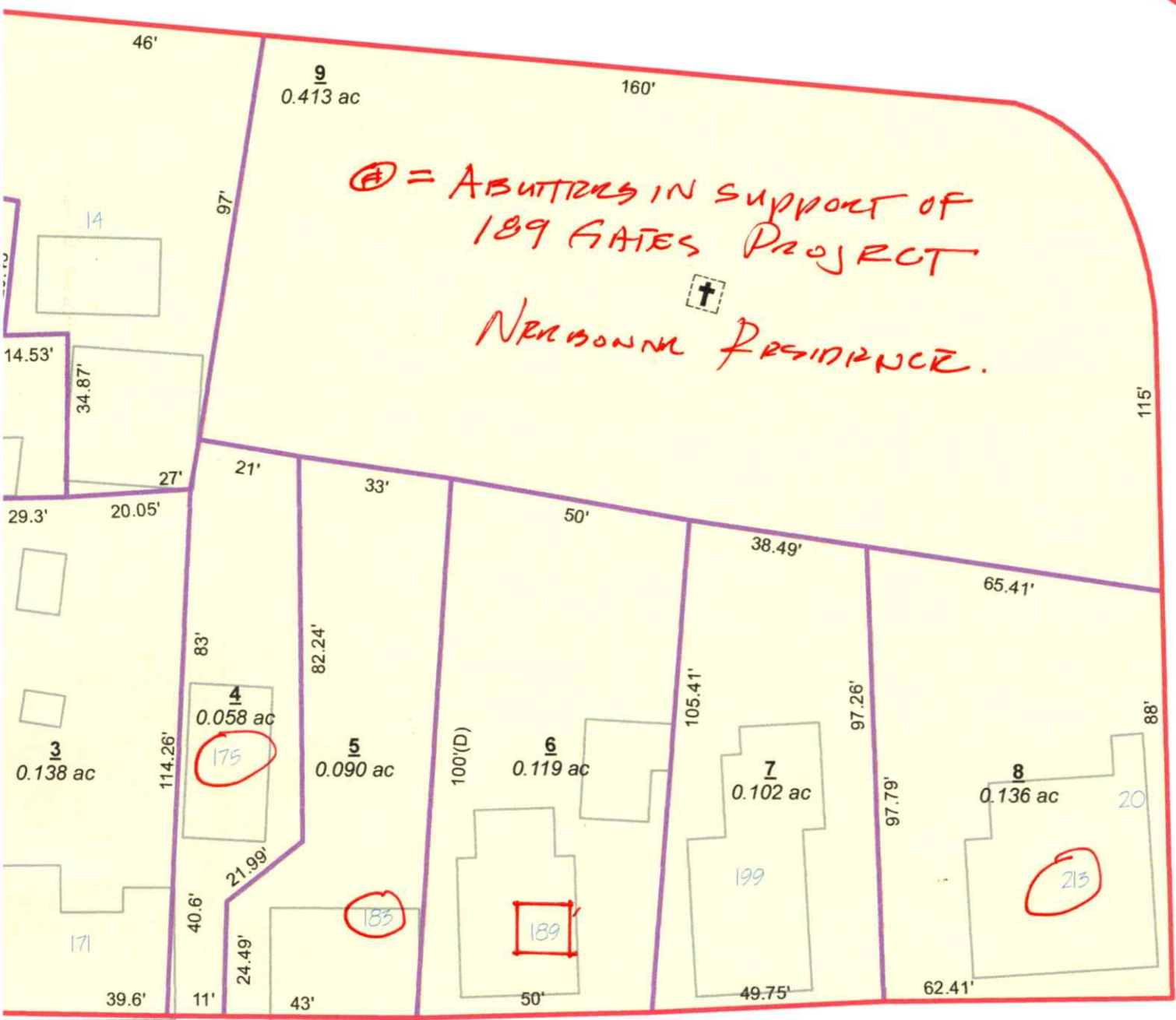
If you look around Portsmouth today, you will no doubt see benefits that were built through the hard work of its citizens – people who invested time, talent and treasure to develop and sustain our neighborhoods, parks, cultural venues and good governance. As some of these citizens, like Judy and Pat Nerbonne, got older, they invested even more deeply in providing very local support to neighbors and friends who needed a little help – through family crisis, temporary illness or challenges of aging. They took a proactive stance – exploring aging in place options with others in the South End. They prepared.

Today, the Nerbonnes' situation the importance of this planning. Pat was diagnosed with Alzheimer's disease. Not the best news in the world, but also not the worst. Pat has a loving family and friends, and his positive spirit and humor continue to be gifts to those who know him. But an additional part of this picture is the reality of his changing needs. The current need for supervision, and the eventual need for personal care and support beyond what Judy can provide on her own.

If we learned anything from the pandemic that hit the world and our community in the past year, it's that our health care support systems are strained to the breaking point. Smart citizens are doubling down on ways to get connected (to each other and community and family resources), get smart (about normal aging and some of its challenges) and helping each other out. In my work as an eldercare professional for the past 40 years and the leader of the Seacoast Village Projecy, a local non-profit organization promoting aging-in-place, I applaud the efforts of those who take active steps to plan and strengthen their support systems before crises occur.

The proposal that the Nerbonnes are presenting to you tonight is an example of such a proactive plan. It provides close and affordable living space for a family member that doesn't tax the systems of an historic old house, leaving space within the home to be adapted to fit changing needs. It allows Judy and Pat to remain together in familiar surroundings with people who know and care about them. And it allows Judy to continue to contribute to her community and age successfully herself.

Co-housing and inter-generational housing options (like the one proposed) are progressive, flexible strategies that strengthen our communities. I urge you to support this application.



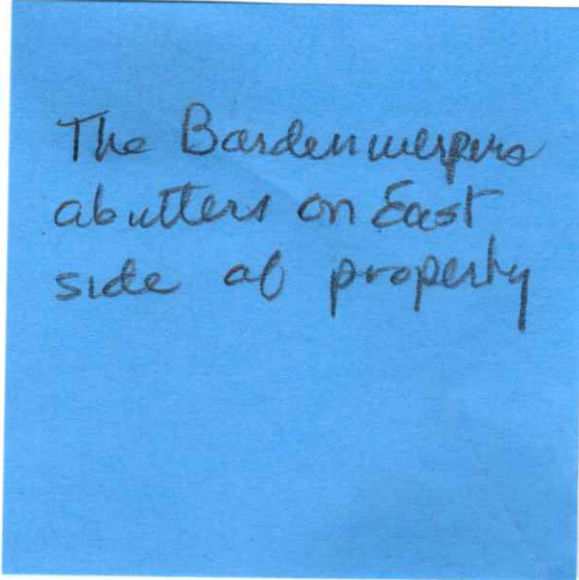
City of Portsmouth  
Planning Board  
Reference to: Garden Cottage  
Owners: Patrick and Judy Nerbonne  
189 Gates Street  
Portsmouth, NH

We/I live at ~~189~~ <sup>own 183 Gates St</sup> and have reviewed the plans for a  
Garden Cottage at 189 Gates Street.

We/I approve the plans.

A handwritten signature in black ink, appearing to be 'M', with a long horizontal line extending to the right.

Terrific Plans. Very supportive.  
WB.

A blue rectangular sticky note with handwritten text in black ink.

The Bardenwipers  
abutters on East  
side of property

City of Portsmouth  
Planning Board  
Reference to Garden Cottage  
Owners: Patrick and Judy Nerbonne  
189 Gates Street  
Portsmouth, NH

*Renter*

We/I live at 183 Gates St, Portsmouth and have reviewed the plans for  
a Garden Cottage at 189 Gates Street, Portsmouth, NH.

We/ I approve the plans.

*Charles G. J.*

---

City of Portsmouth  
Planning Board  
Reference to: Garden Cottage  
Owners: Patrick and Judy Nerbonne  
189 Gates Street  
Portsmouth, NH

We/I live at 188 Gates Street and have reviewed the plans for a  
Garden Cottage at 189 Gates Street.

We/I approve the plans.

SMJ SCOTT DERDWIN

lines across  
street.  
House looks  
+ yard  
on to front  
of garage



**From:** Judy Nerbonne judy@gatesstreet.com  
**Subject:** Fwd: Renovation/Addition Proposal  
**Date:** February 26, 2022 at 12:24 PM  
**To:** Pat Nerbonne pat@gatesstreet.com



Sent from my iPhone

Begin forwarded message:

**From:** Fred Orlando <forlando1@gmail.com>  
**Date:** February 26, 2022 at 12:07:35 PM EST  
**To:** Judy Nerbonne <judy@gatesstreet.com>  
**Subject:** Renovation/Addition Proposal

We have reviewed the architectural plans for conversion of the existing garage at 189 Gates into a garden cottage and have no objections to the proposed construction.

Jaclyn and Fred Orlando

180 Gates St  
Portsmouth, NH

Fred + Jackie  
Orlando  
lives across  
Gates St

Judy,

This looks totally fine to us!  
Herewith our signatures,

best,

Anneke & James Meinardi

City of Portsmouth  
Planning Board  
Reference to Garden Cottage  
Owners: Patrick and Judy Nerbonne  
189 Gates Street  
Portsmouth, NH

We/I live at 1 WALTON ALLEY and have reviewed the plans for  
a Garden Cottage at 189 Gates Street, Portsmouth, NH.

We/I approve the plans.

James Wuh A. Meinardi

3-8-2022

Directly across  
Gates  
Their house  
looks directly  
on front of  
garage

City of Portsmouth  
Planning Board  
Reference to: Garden Cottage  
Owners: Patrick and Judy Nerbonne  
189 Gates Street  
Portsmouth, NH

We/I live at 213 Gates Apt 1 and have reviewed the plans for a  
Garden Cottage at 189 Gates Street.

We/I approve the plans.

Joanne W. Wolfe

I love it !!!

Condo  
Same side of  
street  
2 Doors down

City of Portsmouth  
Planning Board  
Reference to: Garden Cottage  
Owners: Patrick and Judy Nerbonne  
189 Gates Street  
Portsmouth, NH

We/I live at 213 Gates St. #2 and have reviewed the plans for a  
Garden Cottage at 189 Gates Street.

We/I approve the plans.

Ed & Nancy + Mike Conaboy  
Beautiful Plans!

Upstairs unit  
in Condo on  
Gates 2 doors  
down  
Deck look on to  
our back yard.

The following Abutters have reviewed the BOA & CUP Garden Cottage Submissions at 189 Gates Street for the following, and have no objections.

- Variations:
1. Building Coverage of 35.5% where 30% is allowed.
  2. Right Side Setback of +/- 1.4' where 10' is required.
  3. Expansion of a non-conforming structure

Conditional Use Permit for conversion of Garage to Garden Cottage with an Addition

Alan J. Miller 180 Gates St.

Paul A. ... 175 GATES ST.

John ... 175 Gates St.

Dan ... 210 GATES

Deborah Adams 210 Gates.

E. Hegner + Mike Conroy 213 Gates #2

**From:** judy@gatesstreet.com,  
**To:** archwhit@aol.com,  
**Subject:** Fwd: Letter in case you can't open the attachment  
**Date:** Sun, Mar 13, 2022 8:42 pm

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Sent from my iPhone

Begin forwarded message:

**From:** Kathleen Logan <kathleenblogan@gmail.com>  
**Date:** March 13, 2022 at 5:50:34 PM EDT  
**To:** Judy Nerbonne <judy@gatesstreet.com>  
**Subject:** Letter in case you can't open the attachment

Kent Logan, MD  
21 Blossom Street  
Portsmouth, NH 03801

March 13, 2022

My name is Dr. Kent Logan. I am Mr. Pat Nerbonne's treating neurologist and a resident of the South End. I understand that Judy and Pat Nerbonne wish to make medically appropriate and adaptive home changes in the setting of Mr. Nerbonne's health condition.

Of note, the Nerbonne's have requested that I discuss openly and freely Mr. Nerbonne's health.

Mr. Nerbonne has mild cortical dementia of the Alzheimer's disease type. This is a progressive neurodegenerative disorder. Mr. Nerbonne fares well at present with only mild memory and cognitive concerns, yet with time there is heightened potential of progression of his memory and cognitive loss. He may have impaired activity of daily living function, such as the inability to bathe and dress himself. He may also experience neuropsychiatric symptoms of hallucinations, agitation, and fear.

It is well known in the medical community that a secure familiar home environment with family and friends nearby remarkably reduces the likelihood of these distressing symptoms. In such a safe environment, patients with dementia fare better with less stress, confusion, the above mentioned neuropsychiatric symptoms, as well as injurious falls. Most importantly, the patient is more apt to live in comfort and peace as he faces this life challenge.

It is my medical opinion that appropriate home living conditions in accordance with the Garden Cottage plan be granted to the Nerbonne's. The Garden Cottage plan will give the Nerbonnes the ability to have a family member or caregiver living in close proximity to provide the care necessary for Pat to stay in his home. I applaud the city for beginning to look at ways to help families as the population grows older and faces these problems.

Kent Logan, M.D

March 11, 2022

To BOA Commissioners,

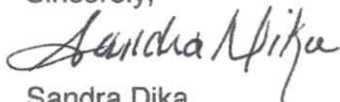
I have reviewed the request for relief which would allow for the conversion of an existing garage at 189 Gates St. into a Garden Cottage accessory dwelling.

I believe that the project is well thought-out, very attractive and compatible with the existing properties along Gates Street. It will enhance the appearance of the property, especially the view from Prescott Park, and as such it will support property values in the area.

In addition a historical feature of early neighborhoods and notable in the South End was the inclusion of out buildings on the same lots with dwelling houses. They were stables and barns, and tradesman shops, and even sometimes small houses for adult children. Some of these still exist as can be seen at 11 Meetinghouse Hill, 114 Mechanic St., 421 Pleasant St., 180 Gates St, 333 Marcy St, and many others. As seen by these examples often these secondary buildings were built right on a lot line with no apparent damage to the public interest. It seems only just to allow this similar plan to be approved.

Please, grant relief for this worthy project.

Sincerely,



Sandra Dika  
333 Marcy St, Portsmouth, NH

# ROESELAND HOLDINGS

55 Elm Street Effingham NH 03882 | (603)231-2322 | roeselandholdings@gmail.com

**To: City of Portsmouth NH Planning Board**

**From: James Copeland/John Roese  
Owners of 14 Mechanic Street Portsmouth NH**

**Re: Support of Proposed changes at 189 Gates Street/Garden Cottage**

To whom it may concern,

This letter is provided to the Planning Board of Portsmouth NH to convey our support of the proposed project at 189 Gates Street by Patrick and Judy Nerbonne. We have reviewed the plans for the proposed garden cottage and are happy to encourage the approval of the project. As a nearby property owner, we do not see any issues with this project and believe it will be both visually compatible with the area and not impose any hardship on us or other neighbors.

We approve the plans as proposed and are glad to provide further support if needed in the approval process.

Best Regards,

Jim Copeland/John Roese  
14 Mechanic Street  
Portsmouth NH 03801