

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

6:30 p.m.

November 02, 2022

AGENDA (revised on October 28, 2022)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. October 05, 2022

II. ADMINISTRATIVE APPROVALS

1. 11 Walden Street (LUHD-502)
2. 60 Penhallow Street (LUHD-540)
3. 45 Market Street (LUHD-538)
4. 500 Market Street, Unit 2C (LUHD-539)
5. 124 State Street (LUHD-542)
6. 322 Islington Street (LUHD-543)
7. 232 Court Street, Unit 2 (LUHD-544)
8. 138 Maplewood Avenue (LUHD-541)
9. 348 Maplewood Avenue (LUHD-545)

III. CERTIFICATE OF APPROVAL- EXTENSION REQUESTS

1. Request of **238 Deer Street, LLC, owner**, for property located at **238 Deer Street**, wherein permission is requested to allow the first one-year extension of the Certificate of Approval originally approved on November 03, 2021, for the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts. (LU-20-238)

IV. PUBLIC HEARINGS (OLD BUSINESS)

- A. **REQUEST TO POSTPONE-** Petition of **43 Holmes Court, LLC, owner**, for property located at **43 Holmes Court**, wherein permission is requested to allow the demolition of the existing home and the new construction of a single family home of similar design as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 14 and lies within the Waterfront Business (WB) and Historic Districts. (LU-22-72)

B. REQUEST TO POSTPONE- Petition of **Sheafe Street Condominium Association, owner and Smith Family Declaration of Trust, Todd C. Smith, Trustee, applicant**, for property located at **159 State Street, Unit #3A**, wherein permission is requested to allow the installation of mechanical equipment (HVAC condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 46-303A and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-68)

C. REQUEST TO POSTPONE, NOVEMBER 09, 2022- Petition of **Seacoast Management Consulting, LLC, owner**, for property located at **3 Walton Alley**, wherein permission is requested to allow renovations to an existing structure (replace rear window, add back storm door and add A/C condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 20 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-100)

D. REQUEST TO POSTPONE- Petition of **Pickering Wharf Condominium Association, owner**, for property located at **33 South Mill Street**, wherein permission is requested to allow new construction to an existing structure (add solar array to roof of existing building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102, Lot 17 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-171)

V. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Neila, LLC, owner**, for property located at **324 Maplewood Avenue**, wherein permission is requested to allow exterior renovations to an existing structure (new windows, doors, siding, and other exterior elements) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 1 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-183)

2. Petition of **Lucky Thirteen Properties, LLC, owner**, for property located at **361 Islington Street**, wherein permission is requested to allow new construction to an existing structure (add side and rear additions) and renovations to an existing structure (new siding, windows and mechanical screening) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 23 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-195)

3. Petition of **DAGNY TAGGART, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow changes to a previously approved design (raise rear stairwell and change siding material) and to temporarily remove existing stone wall and reconstruct after construction as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts. (LU-21-183)

4. Petition of **Robin & Cyrus Noble, owners**, for property located at **15 Mt. Vernon Street**, wherein permission is requested to allow new construction to an existing structure (extend roofline of the existing house over the attached garage) as per plans on file in the

Planning Department. Said property is shown on Assessor Map 111 as Lot 33 and lies within the General Residence B (GRB) and Historic Districts. (LU-19-126)

VI. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_y_TDJ08GQ42DT8oF4Eb8UQ

**MINUTES
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

October 05, 2022

MEMBERS PRESENT: Chairman Jon Wyckoff; Vice-Chair Reagan Ruedig; City Council Representative Rich Blalock; Members Margot Doering, Martin Ryan, David Adams, Dan Brown, and Karen Bouffard

MEMBERS EXCUSED: Alternate Johanna Landis

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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I. APPROVAL OF MINUTES

1. September 07, 2022
2. September 14, 2022

The September 7 and 14 minutes were unanimously **approved** as amended.

Chairman Wyckoff read the postponements into the record. Ms. Doering noted that Item C for the Sheafe Street Condominium Association was postponed several times. Mr. Cracknell said the petition would be re-noticed if the applicant didn't appear at the November meeting.

Mr. Doering moved to **approve** the postponements, seconded by City Council Representative Blalock. The motion **passed** by unanimous vote, 7-0.

Mr. Cracknell said he prepared a draft application for the Certified Local Government community funding program to demonstrate that Portsmouth is eligible for listing as a certified local government community, which was also part of the National Historic Preservation Act. He said if the commission was certified as a local government under the program, they would be eligible for funding for preservation-related work. He asked the commission members to review the package so it could be discussed at the November meeting. He said he would submit the package to the City Council to get their approval to submit the application to the State.

Sue Sterry, Co-Chair of the Cemetery Committee, spoke and said the certification would open the door for a lot of things for the city, including the cemeteries, and would allow the cemetery committee to have professional grant writers.

II. ADMINISTRATIVE APPROVALS

Note: The items were not reviewed or approved in the order they appear.

1. 11 Walden Street (LUHD-502)

Mr. Cracknell said the applicant asked for a continuance from the Board of Adjustment, and he recommended postponing it to the November meeting.

It was moved, seconded, and passed unanimously to **postpone** the item to the November 2 meeting.

The commission reviewed Items 2, 3, 5, 6 and 9 as a group and then the other items separately.

2. 621 Islington Street, Unit E (LUHD-528)

The request was to add metal storm doors on the back of the building.

3. 621 Islington Street, Unit D (LUHD-527)

The request was to again add metal storm doors on the back of the building.

4. 553 Islington Street (LUHD-531)

Mr. Cracknell said there were several modifications to the project. Project architect Tim Brochu was present. It was noted that screens were not discussed previously. Mr. Brochu reviewed the 38 changes. (See tape recording time stamp 22:03).

Mr. Ryan said the items were the most he had ever seen come back to the commission that were not in alignment with what was approved, and he suggested that the applicant return with a list of what he was prepared to make good on. Vice-Chair Ruedig said she had no issue with most of the changes but thought the normal procedure had to be followed. Mr. Brown said the building was 100 percent better but thought it was amazing that so many changes were taken without much thought and had to return. City Council Representative Blalock said he was disappointed that there were so many items but noted that the commission had approved some of them. He said the windows and dormer were items he was concerned with. Ms. Doering said she had a problem with the way the dormer was constructed and how some details on the original drawing were left off, and she also thought the chimney's removal was concerning. She said the back portico didn't reference the style of the front of the building, and she thought it was rude for the applicant to redo the slopes of the roofs in the back before bringing it back to the commission.

Mr. Adams said the history of the small shed was lost when the roof was straightened out and now it looked awkward because the building's fenestration had changed. He said the dormer window belied the history of the house, and he was concerned with the loss of the wall surface, backing pilasters, and woodwork on the side portico. He said swapping the trim made the main building look 'cottagy'. He said the applicant let the project get out of control and

that he couldn't vote for it. Ms. Bouffard said she didn't disagree with any of the comments and that she would have preferred to see the corner board on the side addition separate from the door trim. Chairman Wyckoff said he also had problems with the rear portico and thought it looked awkward. He said he was disappointed with the dormer, noting that it was previously discussed and the applicant had said that the two arches would be replicated as part of the front portico, and he didn't like the removal of the original porch's columns that weren't replicated.

Mr. Cracknell said the neglected building had experienced a good set of improvements and he summarized that the negative items were the screens, dormer, and chimney removal done without permission. He suggested that there be no screens on the front façade. Chairman Wyckoff said the back portico was also a problem but that the commission seemed willing to accept the missing chimney. It was further discussed.

Ms. Doering moved that the item be **postponed** to the November 2 meeting so that the applicant could review the changes recommended by the commission. Vice-Chair Ruedig seconded. The motion **passed** by unanimous vote, 7-0.

5. 55 Gates Street (LUHD-532)

The request was to change the windows on a previously-approved project to Marvin Elevate ones and deal with the hip roof.

6. 12 South Street (LUHD-533)

The request was for a mechanical condenser with a screen.

7. 7 Hancock Street (LUHD-536)

The request was to place a condenser behind the house without a screen. Ms. Doering noted that the location was surrounded by neighbors.

Ms. Doering moved to **approve** the item with the following **stipulation**:

1. The applicant shall return for Administrative Approval for a screen design.

City Council Representative Blalock seconded. The motion **passed** by unanimous vote, 7-0.

8. 93 Pleasant Street (LUHD-535)

Mr. Cracknell said there were three modifications to the previously-approved project: 1) remove the entire historic wall and set it aside while the construction was done and then put it back; 2) the stairwell overrun was taller; and 3) the siding was being changed to Hardie.

The commission discussed the removal of the wall. Chairman Wyckoff said he didn't feel that taking the wall offsite would affect anything. Vice-Chair Ruedig said she couldn't approve taking it down because it would be difficult to be put back exactly the way it was. Mr. Ryan

said it could be done right. Mr. Cracknell said a photo of the wall could be provided to the city before its removal or that the applicant could provide a surety that the wall would go back as it was. Mr. Adams said the wall wouldn't be the same. Ms. Doering said rebuilding the wall wouldn't give it the texture it had before. It was further discussed.

Vice-Chair Ruedig moved to **postpone** the item to the November 2 meeting, seconded by City Council Representative Blalock. The motion **passed** by a vote of 6-1, with Chairman Wyckoff voting in opposition.

9. 31 Aldrich Road, Unit 33 (LUHD-534)

Mr. Cracknell said the item was a stipulation on the previous month's approval that the applicant provide a bracket design for the overhang, which they did.

Mr. Brown moved to **approve** Items 2, 3, 5, 6 and 9, seconded by City Council Representative Blalock. The motion **passed** by unanimous vote, 7-0.

III. PUBLIC HEARINGS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Petition of **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 5 story mixed-use building and a 5 story hotel as per plans on file in the Planning Department. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lie within the Character District 4 (CD4) and Historic Districts. (LU-21-54)

It was moved, seconded, and passed unanimously (7-0) to **postpone** the petition to the November 2 meeting.

B. **REQUEST TO POSTPONE-** Petition of **43 Holmes Court, LLC, owner**, for property located at **43 Holmes Court**, wherein permission is requested to allow the demolition of the existing home and the new construction of a single family home of similar design as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 14 and lies within the Waterfront Business (WB) and Historic Districts. (LU-22-72)

It was moved, seconded, and passed unanimously (7-0) to **postpone** the petition to the November 2 meeting.

C. **REQUEST TO POSTPONE-** Petition of **Sheafe Street Condominium Association, owner and Smith Family Declaration of Trust, Todd C. Smith, Trustee, applicant**, for property located at **159 State Street, Unit #3A**, wherein permission is requested to allow the installation of mechanical equipment (HVAC condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 46-303A and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-68)

It was moved, seconded, and passed unanimously (7-0) to **postpone** the petition to the November 2 meeting.

D. **REQUEST TO POSTPONE-** Petition of **Seacoast Management Consulting, LLC, owner**, for property located at **3 Walton Alley**, wherein permission is requested to allow renovations to an existing structure (replace rear window, add back storm door and add A/C condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 20 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-100)

It was moved, seconded, and passed unanimously (7-0) to **postpone** the petition to the November 2 meeting.

E. **REQUEST TO POSTPONE-** Petition of **Pickering Wharf Condominium Association, owner**, for property located at **33 South Mill Street**, wherein permission is requested to allow new construction to an existing structure (add solar array to roof of existing building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102, Lot 17 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-171)

It was moved, seconded, and passed unanimously (7-0) to **postpone** the petition to the November 2 meeting.

F. (*Work Session/Public Hearing*) requested by **Customs House, LLC, owner**, for property located at **40 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (replacement windows) and new construction to an existing structure (add new window canopy system and add exterior lighting) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 81 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-22-170)

WORK SESSION/PUBLIC HEARING

SPEAKING TO THE PETITION

Architect Robert Whiteamire was present on behalf of the applicant to review the petition. He said the canopy was pulled from the petition for the time being. He discussed the windows, noting that some had stone sills and some had wood.

Ms. Bouffard asked if the new windows would have the wood sill. Mr. Whiteamire said they would all have sills. Vice-Chair Ruedig asked if the applicant could retain any of the historic brick molds with the $\frac{3}{4}$ quarter metal around it and if the new window units would have everything including the trim. Mr. Whiteamire said the owner wouldn't be against restoring the brick but it would be a mishmash because some of it was missing. Mr. Adams said he thought anything painted didn't really matter in the large picture as long as the profiles matched, but he wondered how there could be so many metal parts and not have more of the stone work broken from the fasteners. He noted that the first-floor windows were converted

into doors and then reintegrated as windows again and asked if they should be left like that. City Council Representative Blalock agreed that the windows would look the same from the street as long as they were painted and he said he had no problem with the ones being replaced by wood. Chairman Wyckoff said there were two windows on the third floor that were original and should be preserved. Mr. Whiteamire said they were building a new window unit and new trim, and the $\frac{3}{4}$ inch surrounding would be custom wood to match. It was further discussed. Ms. Doering suggested making the original windows a template for how the rest of the windows should be treated with regard to trim, sills, etc. Mr. Whiteamire said they wanted a Pella series with a mold that was the same width as the original $\frac{1}{4}$ inch.

Vice-Chair Ruedig suggested stipulating that the original window behind the stairwell be preserved as an example of how to do the other windows so that the rest of the windows could replicate the wood molding details. She said she preferred wood but thought it made more sense to use the clad. Mr. Adams agreed. Mr. Whiteamire said the clad was the same product line and the profile would be the same. Mr. Cracknell noted that the two doorways that were turned into windows had concrete under them, the stairs had been replaced by the handicap ramp, and the doors were infilled with concrete. He suggested putting in granite if all the windows and trim were torn out. He said if the applicant was willing to save as much metal as possible, it would make sense that none of it be removed and that the applicant return for an administrative approval for the windows they wanted to remove. City Council Representative Blalock agreed. Vice-Chair Ruedig suggested stipulating that the applicant go with the black window with matching jamb liners and that he return if he wanted to change it. Mr. Brown asked about the proposal to do a new door by the old doors that were being turned back into windows. Mr. Whiteamire said they would recreate the stair tower for safety reasons and that he would return for approval for it.

The lighting was discussed. Mr. Whiteamire said they had two different fixtures, an LED strip and a spotlight, and that the lights would be located on the upper two stories on all four sides of the building. Mr. Adams said he didn't want the lighting to make the building look like a Broadway show and that he could vote for the LED strips on the second floor. Vice-Chair Ruedig agreed. City Council Representative Blalock said he wanted a complete mockup so he could see how the lights would look shining down. Mr. Brown asked if the door to the fire escape would be moved. Mr. Whiteamire said they wanted to get rid of it. Mr. Cracknell said it could be stipulated that the emergency access door on the third floor be replaced with a window to match the Pella windows on the rest of the building.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and the Chair closed the public hearing.

DECISION OF THE COMMISSION

Vice-Chair Ruedig moved to **grant** the Certificate of Approval for the windows only, with the following **stipulations**:

1. The two original windows on the third floor facing Porter Street shall be preserved.
2. The clad Pella black window option with jamb liners to match shall be used, with no external screens.
3. The heavy round window metal trim shall be retained and re-used. However, the applicant shall return for subsequent approval if they want to remove any of the trim.
4. The concrete block under the two former doors on Church Street shall be replaced with granite to match the existing window opening on the building.
5. The emergency door shall be replaced with the same Pella window to match the others.

Mr. Adams seconded the motion. Vice-Chair Ruedig said the project would conserve and enhance property values and have relation to the historic and architectural value of the existing structure.

The motion **passed** by unanimous vote, 7-0.

Note: Ms. Bouffard left the meeting.

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. (*Work Session/Public Hearing*) requested by **City of Portsmouth, owner**, for property located at **0 Marcy Street (Prescott Park)**, wherein permission is requested to allow the partial demolition of an existing structure (the rear portion of the Shaw Warehouse), the relocation of the remaining structure closer to Marcy Street, and renovations to an existing structure (complete exterior modifications) as per plans on file in the Planning Department. Said property is shown on Assessor Map 104 as Lot 5 and lies within the Municipal and Historic Districts. (LU-22-188)

WORK SESSION/PUBLIC HEARING

SPEAKING TO THE PETITION

City of Portsmouth Facilities Manager Joe Almeida was present on behalf of the applicant, along with project engineer Cassie Bethoney and project architect Ted Touloukian. He said they were going through a major Master Plan project for Prescott Park and that the goals for the Shaw Building were the demolition of the lean-to and garage, relocating the Shaw Building out of the flood zone, and doing a full exterior renovation. He said the building would be lifted up a few feet due to climate change and the potential for flooding in that area. He noted that there were future plans to put an addition on the back of the building to house modern amenities.

Ms. Bethoney said the Water Street driveway and parking area would also be elevated and the Sheafe Building would be connected to the Shaw Building. She said all the subsurface stormwater and drainage would happen under the Water Street area. Mr. Touloukian said they were working with the Prescott Park Arts Festival Committee to relocate the stage and trailers to a new location to allow the lawn to be more centrally located within the park. He said the Shaw Building had rot and needed repair, so all the sheathing would be removed and some of the existing granite base would be salvaged to re-use in the new foundation system. He reviewed the proposed finishes to the building and the items that would be removed and replaced.

In response to Mr. Adams' questions, Mr. Touloukian said the new casings would match existing and would have bands and that they would put back a historic sill with a profile of 18"x12". He said they were not proposing a portico on the west elevation.

Mr. Almeida noted that the first-floor level of the Sheafe Building was the same as the Shaw Building and all the ground would come up with the lifting of the buildings, so there would be no difference in height. Chairman Wyckoff said he didn't see the sills fastened to the foundation and would hate to see the Shaw Building floating off its foundation. Mr. Touloukian said there would be a bar that would run through the sill and be bolted down, and the granite would be reinforced and connected to the concrete foundation. He said the bars would also be connected and looped together, so the building would be tied down to the foundation system as a whole.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Elizabeth Bratter of 159 McDonough Street said the Piscataqua River was tidal and she was concerned that the floor zone level would be brought up to 10 and that Prescott Park would also flood. She said the Shaw Building would sit higher than Strawberry Banke, and she was concerned about having the fire escape removed because it was an important piece of history.

Sue Sterry of Broad Street asked what the guidelines were for the percentage of the building that still had to be original to make it historic. She said the Cemetery Committee should be made aware of such projects.

Elizabeth Bratter asked if the Sheafe House would be reduced and was told that it would not because it was above the tidal flood limits.

Beth Margeson of 24 Marcy Street said the Point of Graves Cemetery wasn't included in the Master Plan because it was not within the geographic boundaries of Prescott Park.

No one else spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

City Council Representative Blalock moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Adams. Mr. Blalock said the project would conserve and enhance property values and relate to the historic and architectural value of the existing structure.

The motion **passed** by unanimous vote, 7-0.

2. Petition of **490 Islington Street Condominium Association, owner**, for property located at **490 Islington Street Unit #2**, wherein permission is requested to allow new construction to an existing structure (add a skylight over an existing bathroom) as per plans on file in the Planning Department. Said property is shown on Assessor Map 156 as Lot 1-2 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-187)

SPEAKING TO THE PETITION

Kelly Mumper representing the Osprey contractor was present to speak to the petition. She said they wanted to add a 21”x38” skylight to a bathroom renovation on the third-floor attic space because there was no option for a window in that area. She said it would be located on the back side of the building and would be black to match the roof.

Mr. Adams asked if it could be centered over the window on the sidewall instead. Ms. Mumper said they didn’t want to change anything structural to the roof.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and the Chair closed the public hearing.

DECISION OF THE COMMISSION

Vice-Chair Ruedig moved to **grant** the Certificate of Approval for the petition as presented, seconded by City Council Representative Blalock.

Vice-Chair Ruedig said the project would conserve and enhance property values and would be compatible with innovative technologies of surrounding properties.

The motion **passed** by unanimous vote, 7-0.

3. *(Work Session/Public Hearing)* requested by **Lucky Thirteen Properties, LLC, owner**, for property located at **147 Congress Street**, wherein permission is requested to allow new construction to an existing structure (construct a 1-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 4 and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts. (LU-22-192)

WORK SESSION

Project architect Rob Harbeson was present on behalf of the applicant to review the petition. He said they added an extra trim band to run around the building and decided on a light gray color that would be a painted Hardie product. He briefly discussed lighting and said the largest change was the mass of the canopy and how it read around the edge, resulting in a lighter color.

Chairman Wyckoff said the sign band above the rounded canopy looked awkward and very dark and that it appeared to go up on the windows. Mr. Harbeson said if they could remove the spandrel panel, it would reduce the size of the dark band by half. Chairman Wyckoff asked if the applicant tried to cover the cement block with composite wood or something else. Mr. Harbeson said it was tough because the cement block was a structural masonry one. Ms. Doering asked what the color of the underneath of the canopy on the Congress Street side was. Mr. Harbeson said they hadn’t discussed it but that it would probably be dark gray like the top. Mr. Ryan said

he still struggled with the banding and thought it should be bolder. He said the applicant mentioned that they might use lettering, which Mr. Ryan felt was more architecture than signage. He said the right approach was to keep the band at the thickness it was and have something similar to march around the curve. He said the back canopy was still unremarkable. Mr. Harbeson said they struggled with that element and he wanted the canopy to extend to meet the building face but they were maxed out on lot coverage. Mr. Cracknell said the canopy would not count as coverage. It was further discussed. Mr. Ryan asked if the orange brick was glazed. Mr. Harbeson said it was just an orange tone but that it should be a stainable brick and that the intent was to do a solid stain.

There was no public comment. Chairman Wyckoff closed the work session and opened the public hearing.

SPEAKING TO THE PETITION

Mr. Harbeson said they planned to remove the awnings, existing stair and landscape bed and provide a new one-story addition along the Maplewood Avenue side. He said it would have a masonry base and mostly glass at the upper level. He said a new canopy and storage enclosure were proposed for the parking side of the building to replace the existing awning.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Elizabeth Bratter of 159 McDonough Street said she thought the brick should remain because the new building looked like a box. Mr. Cracknell agreed that the masonry wall needed something because it looked odd. Vice-Chair Ruedig said she would like a mockup of the stain colors before they were put on the brick because the color scheme was a big difference from the other building. City Council Representative Blalock said the back entry should have more interest. He said the signs would add more texture but that he also wanted to see a mockup of the stain.

No one else spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to **grant** the Certificate of Approval for the project as presented, with the following **stipulations**:

1. A mockup of the brick stain shall be presented prior to installation.
2. The requested modification of the rear awning shall return for Administrative Approval.

Mr. Adams seconded. Mr. Ryan said the project would maintain the special character of the Historic District and be compatible with innovative technologies of surrounding properties.

The motion **passed** by unanimous vote, 7-0.

Note: Vice-Chair Ruedig left the meeting.

4. Petition of **EIGHTHKPH, LLC, owner**, for property located at **161 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a new mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 17-3 and lies within the Character District 5 (CD5) and Historic Districts. (LU-22-173)

SPEAKING TO THE PETITION

Project architect Carla Goodknight was present on behalf of the applicant, along with the owner Tom Balon. Ms. Goodknight reviewed the petition and presented a sample of the alucabond material for the building. She said a sawtooth brick detailing was added to the building as well as a layer of detail to the penthouse.

Mr. Adams asked if the car entrance situation was resolved. Ms. Goodknight said the discussion was ongoing at the Technical Advisory Committee but they were moving forward with the location. Mr. Adams asked if anything could be done with the two public service boxes or if screening could be added. Ms. Goodknight said she wasn't sure what the equipment would face and that one piece of equipment might be removed. Chairman Wyckoff said the commission had decided that screening would be just as offensive as the units themselves.

Mr. Ryan said everything looked right, especially the signature elements. He said the addition of the sawtooth brick and adding texture and detail to the brickwork went a long way and took away from the segmenting of the window units. He asked if anything was done to the proportion of the typical window. Ms. Goodknight said there were now four windows instead of three and their sizes were better proportioned by being narrower and shorter. City Council Representative Blalock said the trestles worked with the entrance awnings and gave the building a clear theme. Ms. Doering thought it was well done. Chairman Wyckoff said the building sat on the site well.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAISNT THE PETITION

Elizabeth Bratter of 159 McDonough Street said she liked the soffits and the fact that the penthouse wouldn't be gray. She said the corner looked like it was missing something and thought it should have a piece of art. She hoped the landscaping would help the angled roof or that the roof could be changed to a darker color because it took away from what was above it.

Owner Tom Balon said there was a granted easement for the bigger transformer and that Eversource said it could not go away but that the smaller transformer could. He said the equipment could not be painted black.

No one else spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, seconded by City Council Representative Blalock.

Mr. Ryan said the project would conserve and enhance property values and would be consistent with the special and defining characters of the surrounding properties.

The motion **passed** by unanimous vote, 6-0.

V. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Work Session requested by **Lucky Thirteen Properties, LLC, owner**, for property located at **361 Islington Street**, wherein permission is requested to allow new construction to an existing structure (add side and rear additions) and renovations to an existing structure (new siding, windows and mechanical screening) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 23 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LUHD-521)

It was moved, seconded, and passed unanimously (7-0) to **postpone** the work session to the November 2 meeting.

B. **POSTPONED TO THE NOVEMBER 02, 2022 MEETING-** Work Session requested by **SEVENKPH, LLC, owner**, for property located at **324 Maplewood Avenue**, wherein permission is requested to allow renovations to an existing structure (replace and add windows and doors, new siding and trim details on the single story accessory structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 1 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LUHD-481)

The work session was **postponed** to the November 2 meeting.

VI. ADJOURNMENT

The meeting was adjourned at 10:00 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

November 02, 2022

- | | | |
|----|--|-----------------------|
| 1. | 11 Walden Street (LUHD-502) | -TBD |
| 2. | 60 Penhallow Street (LUHD-540) | -Recommended Approval |
| 3. | 45 Market Street (LUHD-538) | -Recommended Approval |
| 4. | 500 Market Street, Unit 2 C (LUHD-539) | -Recommended Approval |
| 5. | 124 State Street (LUHD-542) | -Recommended Approval |
| 6. | 322 Islington Street (LUHD-543) | -Recommended Approval |
| 7. | 232 Court Street (LUHD-544) | -Recommended Approval |
| 8. | 138 Maplewood Avenue (LUHD-541) | -TBD |
| 9. | 348 Maplewood Avenue (LUHD-545) | -TBD |

1. 11 Walden Street

- TBD

Background: The applicant is seeking approval for the installation of HVAC equipment.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



10/28/2022

LUHD-502

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Jul 18, 2022**Applicant**

Jay Aucella
 jay@aucella.biz
 6 Province Rd
 Strafford, NH 03884
 866-926-6888

Primary Location

11 WALDEN ST
 Portsmouth, NH 03801

Owner:

MRAZ JUDITH A REVOCABLE TRUST & MRAZ JUDITH A TRUSTEE
 67 BALD HILL RD NEWFIELDS, NH 03856

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Installation of a Mitsubishi heat pump system with one outdoor unit and three indoor units. The outdoor unit to be mounted on the Northern most point of the West side of the structure. One wall ductless split mounted on the West side of the First Floor to condition that space. Two floor units, one in each of the two Bedrooms on the Second Floor. Line hide to enclose all refrigerant lines etc. on the exterior of the home. All line hide to be located on the West and North side of the home only and painted to match the exterior of the home.

Description of Proposed Work (Planning Staff)

the installation of HVAC equipment

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title****Owner Addressee Prefix and Last Name**



North wall

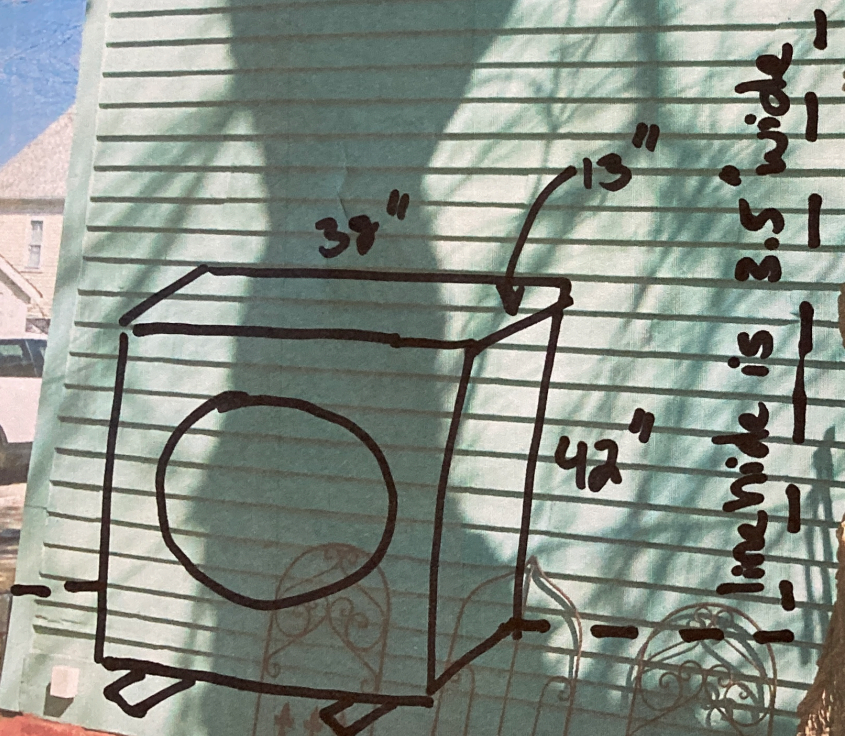
line hrde is 3.5" wide

line hrde is 4.5" wide

outdoor unit

west
wall

Line hide
painted to
match Siding



outdoor unit location

HOLMES COURT

PARCEL I
751 SQ. FT.
0.0172 Ac.

2 STORY WOOD
FRAME BUILDING
U-1/18
N/F JEANNINE L. McCOY
499 MARCY STREET
PORTSMOUTH, NH 03801
RCRD BOOK 2995-PAGE 1281

IRON ROD
W/CAP #335

EP
POLE #129/1

WOOD
GARAGE

CONCRETE
FOUNDATION

U-1/18
N/F CLAIR D' BRULOTTE
24 HOLMES COURT
PORTSMOUTH, NH 03801
RCRD BOOK 3378-PAGE 548

IRON ROD
W/CAP #335
SET

2 STORY WOOD
FRAME BUILDING

N05°30'29"E

S81°04'03"E

46.82'

U-1/17
N/F MARC & MARTHA DROGIN
11 WALDEN STREET
PORTSMOUTH, NH 03801
RCRD BOOK 3069-PAGE 1023

2 STORY
WOOD FRAME BUILDING

46.16'

RAILROAD
SPIKE SET

OLD FENCE
POST

N81°27'17"W

WOOD STAIRS

WALDEN STREET

(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

PICKET FENCE
S82°32'40"E
47.73'

POLE #77/1

S81°27'17"E

S81°57'07"E
43.20'

RAILROAD
SPIKE TO
BE SET

U-1/21
& MARTHA DROGIN
WALDEN STREET
PORTSMOUTH, NH 03801
RCRD BOOK 3069-PAGE 1023

BOUNDARY LINES
PER BOUNDARY
LINE AGREEMENT
DATED 9-17-87
RECORDED @ RCRD
BOOK 2704 PAGE 1668

11.50'

2 STORY WOOD
FRAME BUILDING

GATE

U-1/22
JAY N. GINGRICH
3 MARCY STREET
PORTSMOUTH, NH 03801
RCRD BOOK 2639-PAGE 280

N04°43'10"E
58.74'

S81°54'10"E
33.80'

MXZ-3C30NA2
MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name:

System Reference:

Date:



FEATURES

- Variable speed INVERTER-driven compressor
- Optional base pan heater
- Quiet outdoor unit operation as low as 56 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection

SPECIFICATIONS: MXZ-3C30NA2

(For data on specific indoor units, see the MXZ-C Technical and Service Manual.)

Cooling* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,400 / 27,400
	Capacity Range	Btu/h	9,500 - 28,400 / 9,500 - 27,400
	Rated Total Input	W	2,680 / 2,860
Heating at 47°F* (Non-ducted / Ducted)	Rated Capacity	Btu/h	28,600 / 27,600
	Capacity Range	Btu/h	15,500 - 36,000 / 15,500 - 35,000
	Rated Total Input	W	2,150 / 2,220
Heating at 17°F* (Non-ducted/Ducted)	Rated Capacity	Btu/h	16,000 / 15,100
	Rated Total Input	W	2,120 / 2,140
Connectable Capacity		Btu/h	12,000 - 36,000
Electrical Requirements	Power Supply	Voltage, Phase, Hertz	208 / 230V, 1-Phase, 60 Hz
	Recommended Fuse/Breaker Size	A	25
	MCA	A	22.1
Voltage	Indoor - Outdoor S1-S2	V	AC 208 / 230
	Indoor - Outdoor S2-S3	V	DC ±24
Compressor		INVERTER-driven Scroll Hermetic	
Fan Motor (ECM)		F.L.A.	2.43
Sound Pressure Level	Cooling	dB(A)	52
	Heating	dB(A)	56
External Dimensions (H x W x D)		In mm	31-11/32 x 37-13/32 x 13 (796 x 950 x 330)
Net Weight		Lbs / kg	137 (62)
External Finish		Munsell No. 3Y 7.8/11	
Refrigerant Pipe Size O.D.	Liquid (High Pressure)	In / mm	1/4 (12.7)
	Gas (Low Pressure)	In / mm	A: 1/2 (6.35) ; B.C: 3/8 (9.52)
Max. Refrigerant Line Length		Ft / m	230 (70)
Max. Piping Length for Each Indoor Unit		Ft / m	82 (25)
Max. Refrigerant Pipe Height Difference	If IDU is Above ODU	Ft / m	49 (15)
	If IDU is Below ODU	Ft / m	49 (15)
Connection Method		Flared/Flared	
Refrigerant		R410A	

* Rating Conditions per AHRI Standard:

Cooling | Indoor: 80° F (27° C) DB / 67° F (19° C) WB
Cooling | Outdoor: 95° F (35° C) DB / 75° F (24° C) WB

Heating at 47° F | Indoor: 70° F (21° C) DB
Heating at 47° F | Outdoor: 47° F (8° C) DB / 43° F (6° C) WB

Heating at 17° F | Indoor: 70° F (21° C) DB
Heating at 17° F | Outdoor: 17° F (-8° C) DB / 15° F (-9° C) WB

OPERATING RANGE:

	Outdoor
Cooling	14 to 115° F (-10 to 46° C) DB
Heating	5 to 65° F (-15 to 18° C) WB

ENERGY EFFICIENCIES:

Indoor Unit Type	SEER	EER	HSPF	COP @ 47°F	COP @ 17°F
Non-ducted (09+09+12)	19.0	10.6	10.6	3.90	2.77
Ducted and Non-ducted	17.6	10.1	10.1	3.77	2.78
Ducted (09+09+12)	16.2	9.6	9.6	3.64	2.78

NOTES:

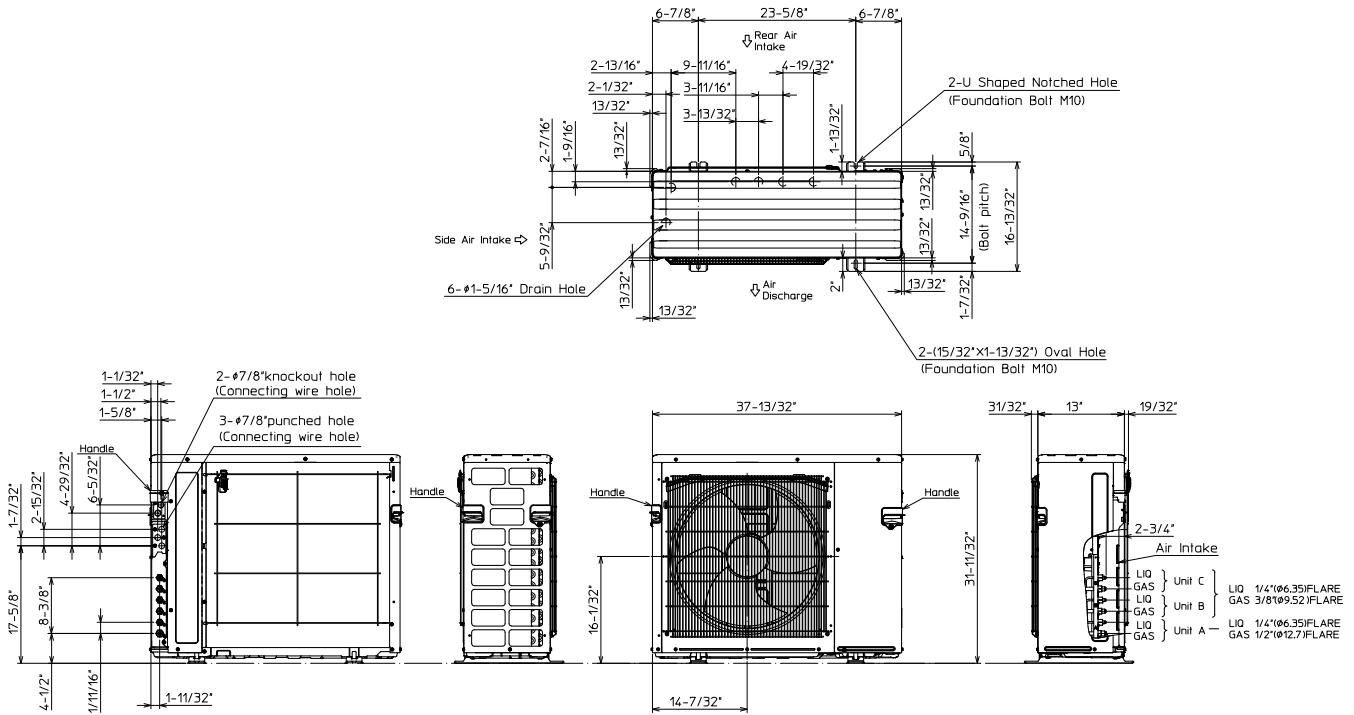
For actual capacity performance based on indoor unit type and number of indoor units connected, please refer to MXZ Operational Performance. Although the maximum connectable capacity can exceed rated, the outdoor unit cannot provide more than 100% of the rated capacity. Please utilize this over capacity capability for load shedding or applications where it is known that all connected units will NOT be operating at the same time.

OUTDOOR UNIT ACCESSORIES: MXZ-3C30NA2

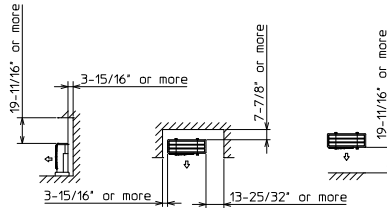
Air Outlet Guide	Air Outlet Guide (1 Piece)	PAC-SH96SG-E
Ball Valve	Refrigeration Ball Valve - 1/2"	BV12FFSI2
	Refrigeration Ball Valve - 1/4"	BV14FFSI2
	Refrigeration Ball Valve - 3/8"	BV38FFSI2
	Refrigeration Ball Valve - 5/8"	BV58FFSI2
Distribution pipe for Branch Box	M-NET Converter	PAC-IF01MNT-E
Drain Socket	Drain Socket	PAC-SG60DS-E
Hail Guards	Hail Guard	HG-A9
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Optional Defrost Heater	Base Heater	PAC-645BH-E
Port Adapter	Adaptor: 1/2" x 3/8"	MAC-A455JP-E
	Adaptor: 1/2" x 5/8"	MAC-A456JP-E
	Adaptor: 3/8" x 1/2"	MAC-A454JP-E
	Adaptor: 3/8" x 5/8"	PAC-SG76RJ-E
Power Supplies and Auxiliary Components	M-Net Control Wire, 1,000' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-1000
Power Supplies And Auxiliary Components	M-Net Control Wire, 250' Roll (16-AWG, Standard, Twisted Pair, Shielded, Jacketed- Plenum rated)	CW162S-250
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket -Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M

OUTDOOR UNIT DIMENSIONS: MXZ-3C30NA2

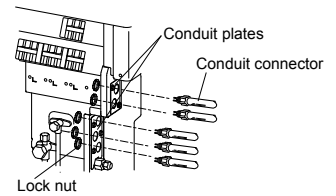
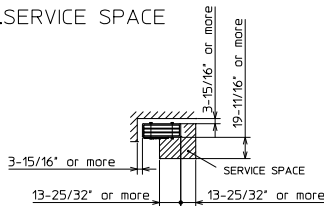
Unit: inch



1. FREE SPACE



2. SERVICE SPACE



1340 Satellite Boulevard Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com

2. 60 Penhallow Street

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



10/28/2022

LUHD-540

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Oct 14, 2022

Applicant

Tracy Kozak
tracyskozak@gmail.com
3 Congress Street, Suite 1
Portsmouth, New Hampshire 03801
603-731-5187

Primary Location

60 PENHALLOW ST
Portsmouth, NH 03801

Owner:

DAGNY TAGGART LLC
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

minor revisions to previously approved application - gutters & downspouts; remove some wood strapping trim at upper windows.

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

architect

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted



HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name

Owner Contact Street Address

60 PENHALLOW STREET

AT

BRICK MARKET

HDC REVISION 7 - OCTOBER 14, 2022

HDC - OCTOBER 2022 SHEET LIST	
Sheet Number	Sheet Name
H7.1	COVER
H7.2	FIRST FLOOR PLAN
H7.3	NORTH ELEVATION (DANIEL ST) PROPOSED
H7.4	EAST ELEVATION (PENHALLOW ST) PROPOSED
H7.5	SOUTH ELEVATION (SOUTH ALLEY) PROPOSED
H7.6	ELEVATION IMAGES



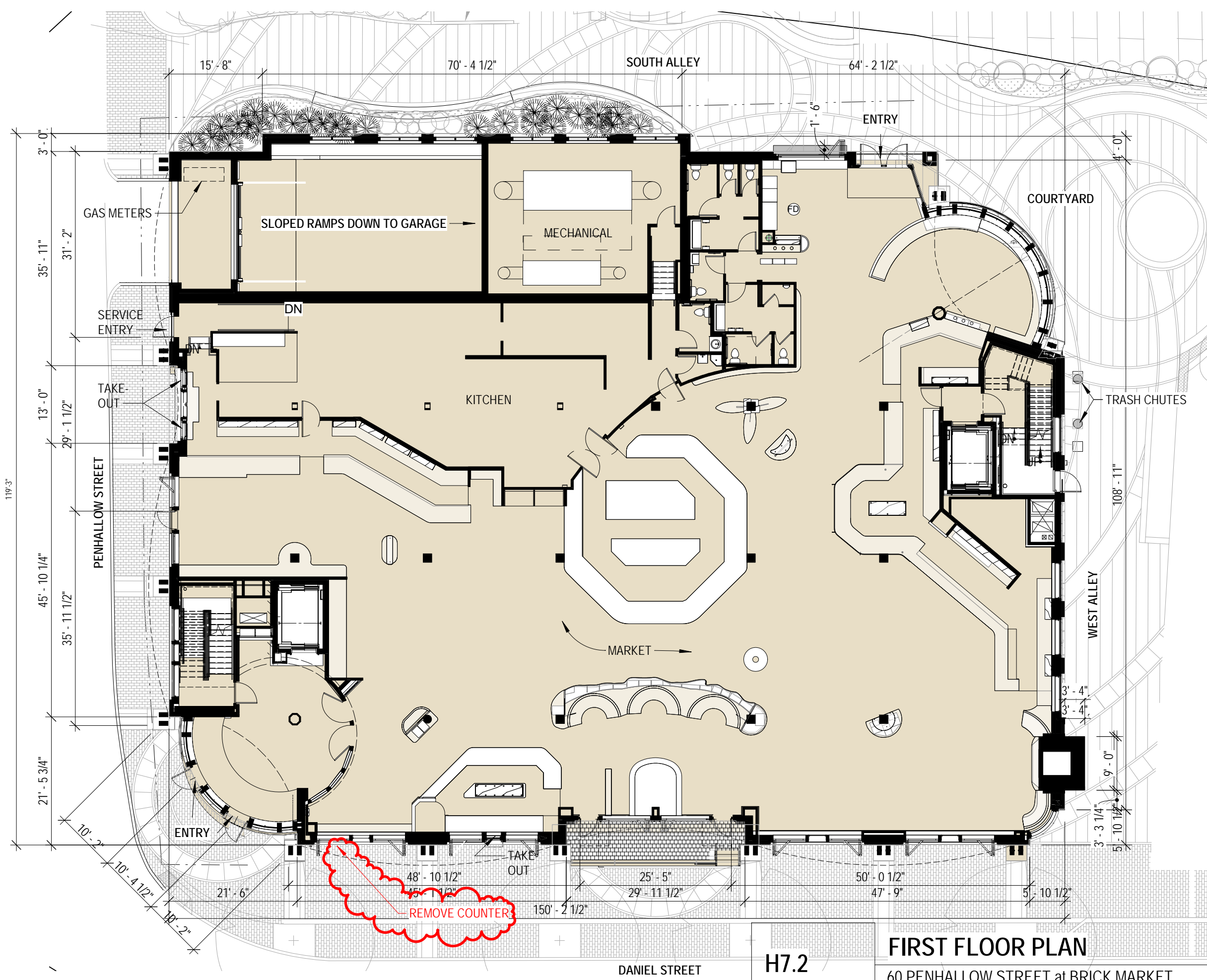
SUMMARY OF REVISIONS

1. At NE Vessel Cheek Walls, remove Wood Strapping
2. At Daniel Street & Penhallow Street elevations and NW corner window, remove Wood strapping on windows where over glass
3. At South Alley, add 6" **box** gutter and two 4" vertical downspouts in Freedom Gray
4. At Daniel Street elevation, remove exterior countertop and two lights

H7.1

COVER

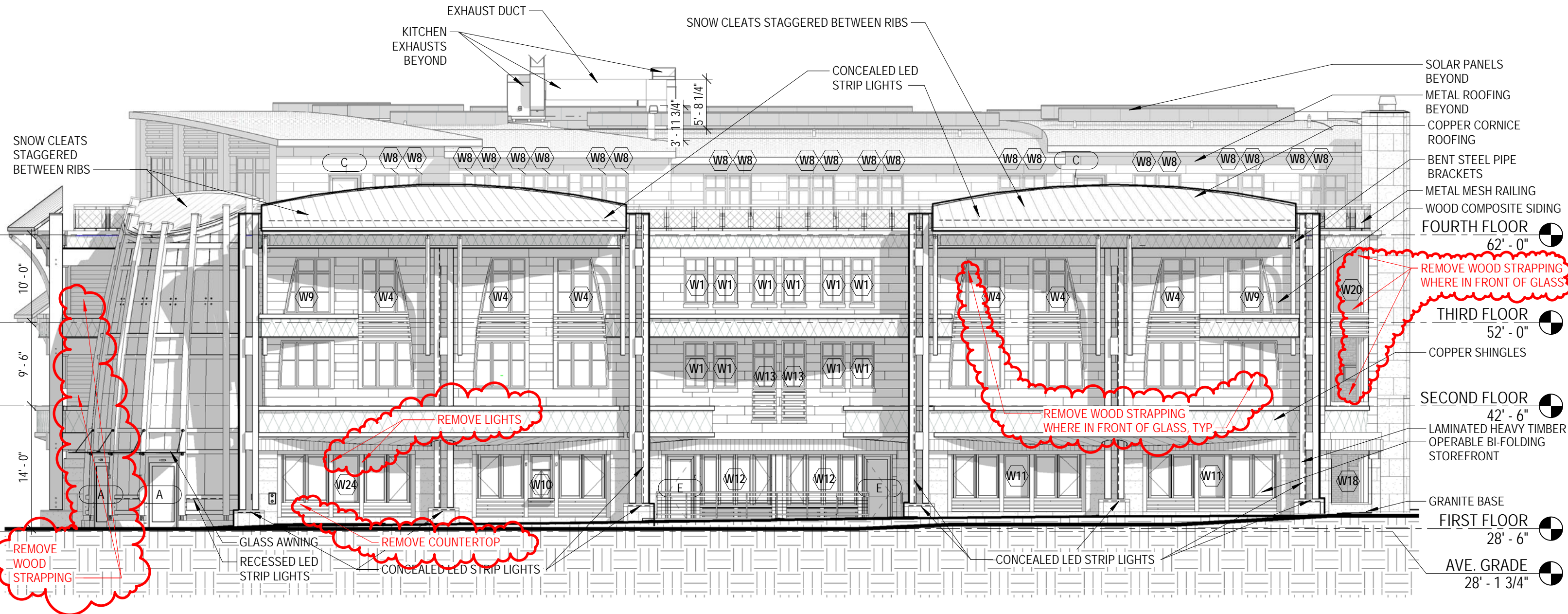
60 PENHALLOW STREET at BRICK MARKET
HDC Revision 7, 10/14/2022



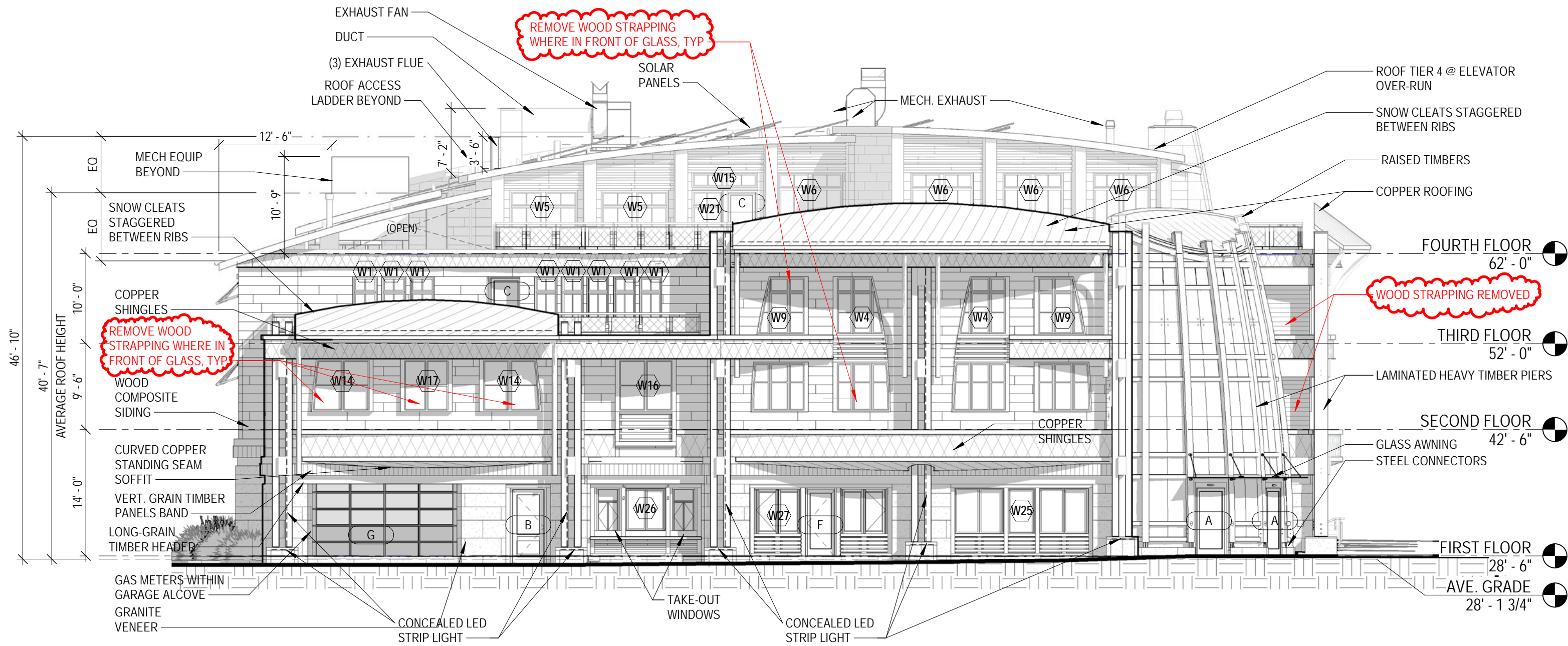
1 FIRST FLOOR OVERALL PLAN
1/16" = 1'-0"

H7.2

FIRST FLOOR PLAN
60 PENHALLOW STREET at BRICK MARKET
HDC Revision 7, 10/14/2022



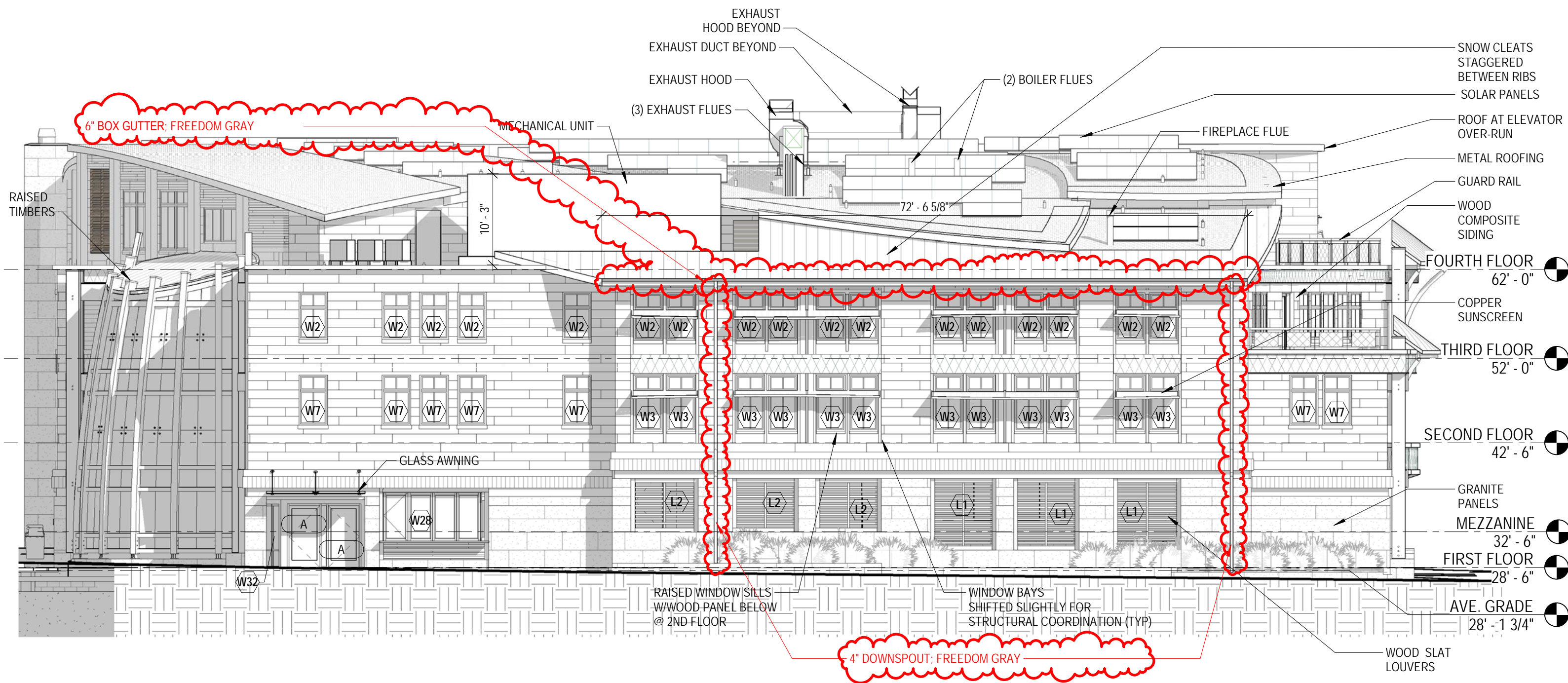
1 NORTH ELEVATION - DANIEL ST
3/32" = 1'-0"



1 EAST ELEVATION - PENHALLOW STREET
 3/32" = 1'-0"

H7.4 EAST ELEVATION (PENHALLOW ST) PROPOSED
 60 PENHALLOW STREET at BRICK MARKET
 HDC Revision 7, 10/14/2022





1 SOUTH ELEVATION - ALLEY
 3/32" = 1'-0"

H7.5 SOUTH ELEVATION (SOUTH ALLEY) PROPOSED
 60 PENHALLOW STREET at BRICK MARKET
 HDC Revision 7, 10/14/2022



THIS ELEVATION SHOWS THE PREVIOUSLY APPROVED STRAPPING OVER GLASS



THIS ELEVATION SHOWS THE NEWLY PROPOSED CONDITION WITH NO STRAPPING OVER THE GLASS

H7.6

ELEVATION IMAGES

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 7, 10/14/2022

JSA

ARCHITECTS
INTERIORS
PLANNERS

3. 45 Market Street

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



10/28/2022

LUHD-538

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Oct 5, 2022**Applicant**

Shannon Alther
 pod1@tms-architects.com
 1 Cate Street
 Portsmouth, NH 03801
 603-436-4274

Primary Location

45 MARKET ST
 Portsmouth, NH 03801

Owner:

C5 45 MARKET STREET LLC
 45 MARKET ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Request for removal of Market Street recess deck and added skylights on opposite of Market Street (due to recess deck removal.) Removal of rear (alley side) stairs and request for associated minor changes.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project	
Architect	
If you selected "Other", please state relationship to project.	
--	
Full Name (First and Last)	Business Name (if applicable)
Shannon Alther	TMS Architects
Mailing Address (Street)	City/Town
1 Cate Street	Portsmouth
State	Zip Code
NH	03801
Phone	Email Address
603-436-4274	pod1@tms-architects.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

45 Market Street

Portsmouth NH

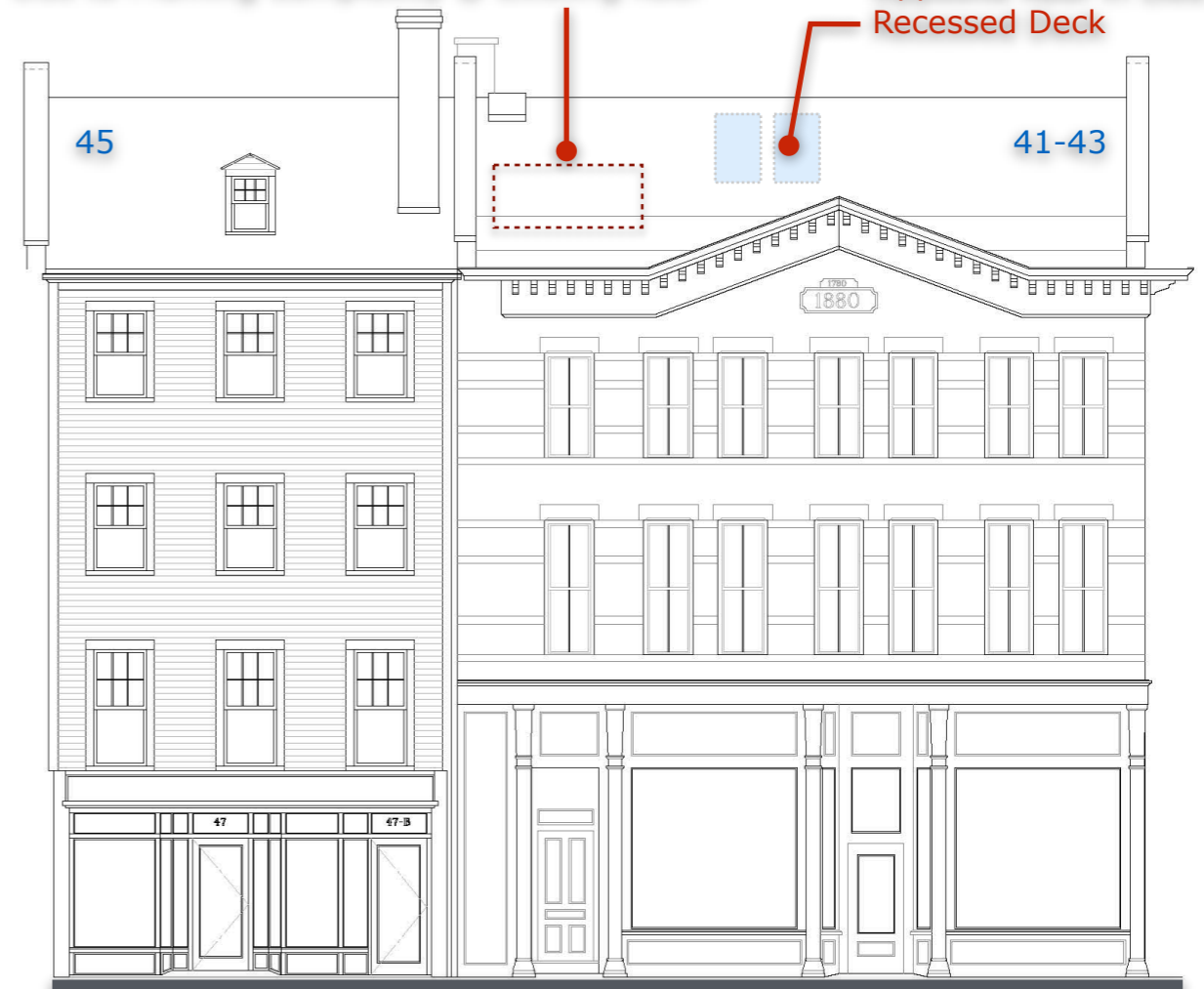
HDC Application Addendum



Market Street: **Previously Approved HDC**

Removal of Previously Approved Recessed Deck
Due to Framing Complexity @ Existing Roof

Add 2 New Skylights on
Opposite Roof in Lieu of
Recessed Deck



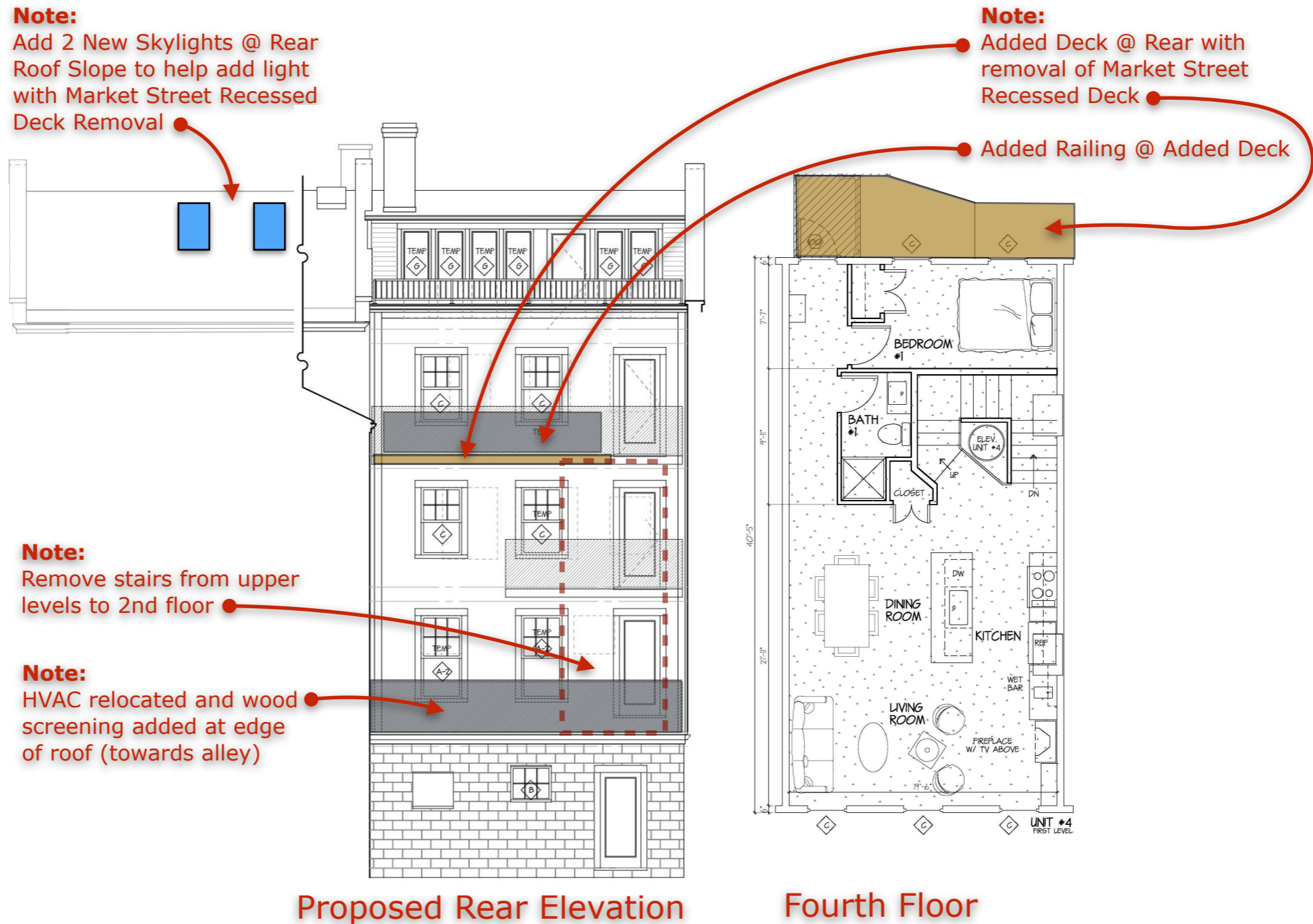
Market Street: **Proposed Minor Change**

- Removal of Recessed Deck Element @ Market Street

45 Market Street

Portsmouth NH

HDC Application Addendum



Rear Elevation: **Proposed Minor Changes**

- 2 Added Skylights
- Increased Deck with Market Recessed Deck Removal
- Removal of stairs / adjusted HVAC screening @ alley

4. 500 Market Street, Unit 2 C - Recommended Approval

Background: The applicant is seeking approval for the replacement of existing wood gutters with new aluminum gutters.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



10/28/2022

LUHD-539

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Oct 10, 2022**Applicant**

Dean Mello
dmello@onpointccg.com
500 Market Street
Building 2C
Portsmouth, NH 03801
6034985956

Primary Location

500 MARKET ST Unit 2C
Unit 2C
Portsmouth, NH 03801

Owner:

NOBLE PROPERTIES LLC
500 MARKET ST 2C PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Replacement of the existing wood gutters with aluminum gutters. The existing gutters are significantly beyond their useful life and need to be replaced. The new gutters would be aluminum similar to other aluminum gutters that have been installed on the Noble Island Property. The water is leaking down onto the brick sidewalk and is deteriorating the grout. This is a safety issue and needs to be addressed. Although in the historic district, this is not a historic building. The replacement with Aluminum Gutters should be a non-issue as Noble Island already has buildings with metal gutters.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project	
Owner	
If you selected "Other", please state relationship to project.	
--	
Full Name (First and Last)	Business Name (if applicable)
Dean	Noble Properties
Mailing Address (Street)	City/Town
500 Market Street	Portsmouth
State	Zip Code
NH	03801
Phone	Email Address
603-498-5956	dmello@onpointccg.com

Relationship to Project
Other
If you selected "Other", please state relationship to project.
Property Manager



Gutter Replacement

Building 2 (A,B,C)
500 Market Street
Portsmouth NH





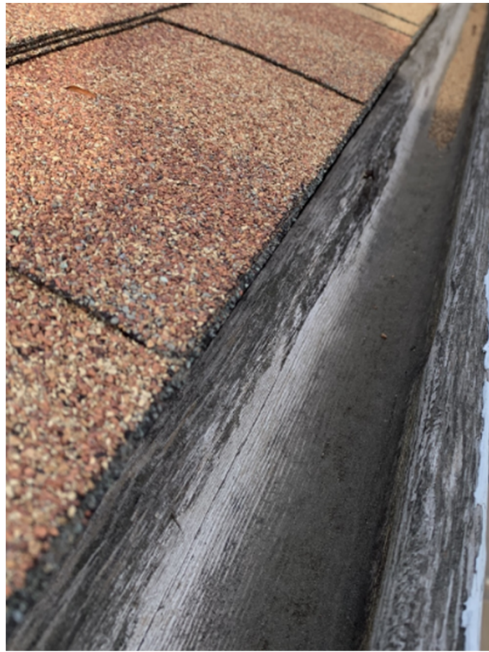
Gutter Locations – Front Elevation



Gutter Locations – Rear of Building

Existing Conditions Photos (Gutters are rotted out and in need of replacement)

This is a safety issue as the grout is being washed away on the sidewalks due to the water leakage.



Existing Aluminum Gutters Currently Installed on Noble Island



Photo of
Existing Grout
@ Front
Sidewalk Due to
Excess Water
from Roof



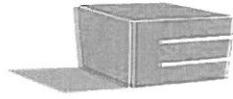
Please Reach
Out With Any
Additional
Questions

Dean Mello

dmello@onpointccg.com

603-498-5956

Thank you



ENGLERT™

GUTTER SPECIFICATIONS

SCOPE OF WORK

Furnish all labor, materials, and equipment required to complete installation of Raincarrying System and related work as indicated on drawings or specified herein.

MATERIALS

- a. Gutters shall be made of 3105-H24 aluminum and shall be continuous and seamless (minimum tensile strength 26,000 psi, minimum yield strength 25,000 psi) or equivalent.
 - b. Gutter gauges shall be .032" or .027" (select one as needed) gauge nominal, with 3" x 4" or 2" x 3" (select one) downspouts, (leaders) in .019" gauge.
 - c. End caps to be .027" gauge.
 - d. Inside and outside miters to be .027" gauge.
 - e. Sealant/Caulking – (select as appropriate):
 1. Parabond Sealer –
 2. Silicone –
 3. Tripolymer Sealer –
 - f. Downspout anchors to be aluminum.
 - g. Gutter hangers to be .060" gauge.
 - h. Prior to painting, the metal shall receive a pre-treatment to assure for maximum paint adhesion. The exterior finish shall be CastleClad, two-coat system applied in a continuous baked-on process in a single operation, comprising of an acid-base primer and a baked-on high performance linear polyester topcoat. The inside of the gutter shall be finished with a polyester gold backer or wash coat.
 - i. All accessories used with the Raincarrying System shall have the same CastleClad finish as the gutters.
- e. Upon completion, the Contractor shall clean the debris.
 - f. Dissimilar materials.
 1. Exercise care in placing aluminum in contact with other dissimilar metals or materials that are not compatible with aluminum.
 2. Provide adequate insulation, separation whatever necessary, such as by painting or otherwise protecting when they are in contact with aluminum or when drainage from them passed over aluminum.

CERTIFICATION OF COMPLIANCE

The Raincarrying Systems shall meet the following specifications and/or code approvals:

- a. American Architectural Manufacturers Association (AAMA) Specification 1405.1 "Specification for Aluminum Raincarrying Systems".
- b. FHA Minimum Property Standard 4900.1 for One and Two-Family Dwellings.
- c. FHA Minimum Property Standard 4910.1 or Multi-Family Dwellings.

WARRANTY

The Raincarrying System shall be covered by a Limited 20-Year, pro-rated and non-transferable Warranty covering labor and materials by the Manufacturer.

INSTALLATION, WORKMANSHIP

- a. Before starting work, verify governing dimensions at building; examine, clean and repair, if necessary, any adjoining work on which this work is in any way dependent for its proper installation.
- b. The Raincarrying System shall be installed in accordance with Manufacturer's recommended procedures. Gutters shall be installed by using appropriate hangers to allow flexibility of movement.
- c. All gutter hangers shall be installed by using 1-1/2" screw and fastened into solid lumber.
- d. All gutters shall be in continuous length for each elevation (run). No end laps are allowed.

LEAFBLASTER PRO™ PROTECTS YOU AND YOUR HOME



LEAVES & DEBRIS



EXTERIOR WATER DAMAGE



RODENTS & PESTS



FIRES



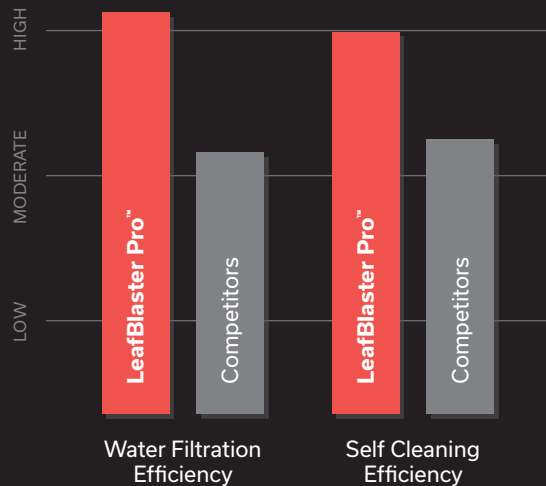
HOMEOWNER SAFETY



PERSONAL TIME



Z-BEND TECHNOLOGY STAINLESS STEEL MESH



Z-Bend vs Flat Mesh



Gutterglove®

In accordance with NSF/ANSI 372
Also certified to NSF Protocol P151
Rainwater Catchment System
Component MH61876

ABOUT GUTTERGLOVE®

It all started back in 1996 when we were in the gutter cleaning business. After cleaning out millions of feet of gutter, we observed that no gutter guard was performing as promised. We realized that a reliable gutter protection solution was needed and incorporated in 2000. We explored new designs, the best materials, and doing what is best for customers to create what is now an extensive patent portfolio of the highest praised gutter guards available. We are proud to offer you gutter guards you can trust. The Nation's Most Trusted Gutter Guards.®

LeafBlaster.com



THE NATION'S
MOST TRUSTED
GUTTER GUARDS.™

LeafBlaster.com



PRO GRADE

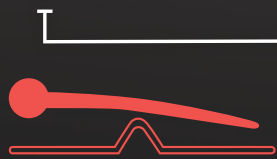
STAINLESS STEEL MESH

GUTTER PROTECTION



- KEEPS OUT LEAVES
- KEEPS OUT PINE NEEDLES
- KEEPS OUT ROOF GRIT
- KEEPS OUT FIRE EMBERS
- KEEPS OUT PESTS

Z-BEND TECHNOLOGY



Upward Z Corrugations
Elevates debris so wind more easily pushes it off.



1

STAINLESS STEEL MESH
Blocks even the finest debris from entering your gutters and won't warp or crack like plastic and uPVC.

2

Z-BEND TECHNOLOGY
Provides rigidity in the mesh to handle heavy debris while maximizing rainwater filtration.

3

ALUMINUM EXTRUSION
Holds the mesh in place and fastens to the front lip of your gutters.

FITS ANY GUTTER AND ROOF COMBO



GOOD FOR THE ENVIRONMENT

Many gutter guard products use plastic or PVC, which are harmful to the environment. LeafBlaster Pro™ is made from aluminum and stainless steel, both of which are 100% recyclable.

5. 124 State Street

- Recommended Approval

Background: The applicant is seeking approval for the replacement of an existing metal fence with a wooden fence.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



10/28/2022

LUHD-542

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Oct 21, 2022**Applicant**

Laura Ludes
 ludesl@comcast.net
 PO Box 822
 New Castle, NH 03854
 603-498-4685

Primary Location

124 STATE ST
 Portsmouth, NH 03801

Owner:

LUDES GREG & LUDES LAURA
 PO BOX 822 NEW CASTLE, NH 03854

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Replace existing metal fence w/cedar fence.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Laura Ludes

Business Name (if applicable)

--

Mailing Address (Street)

PO Box 822

City/Town

New Castle

State

NH

Zip Code

03854

Phone

603-498-4685

Email Address

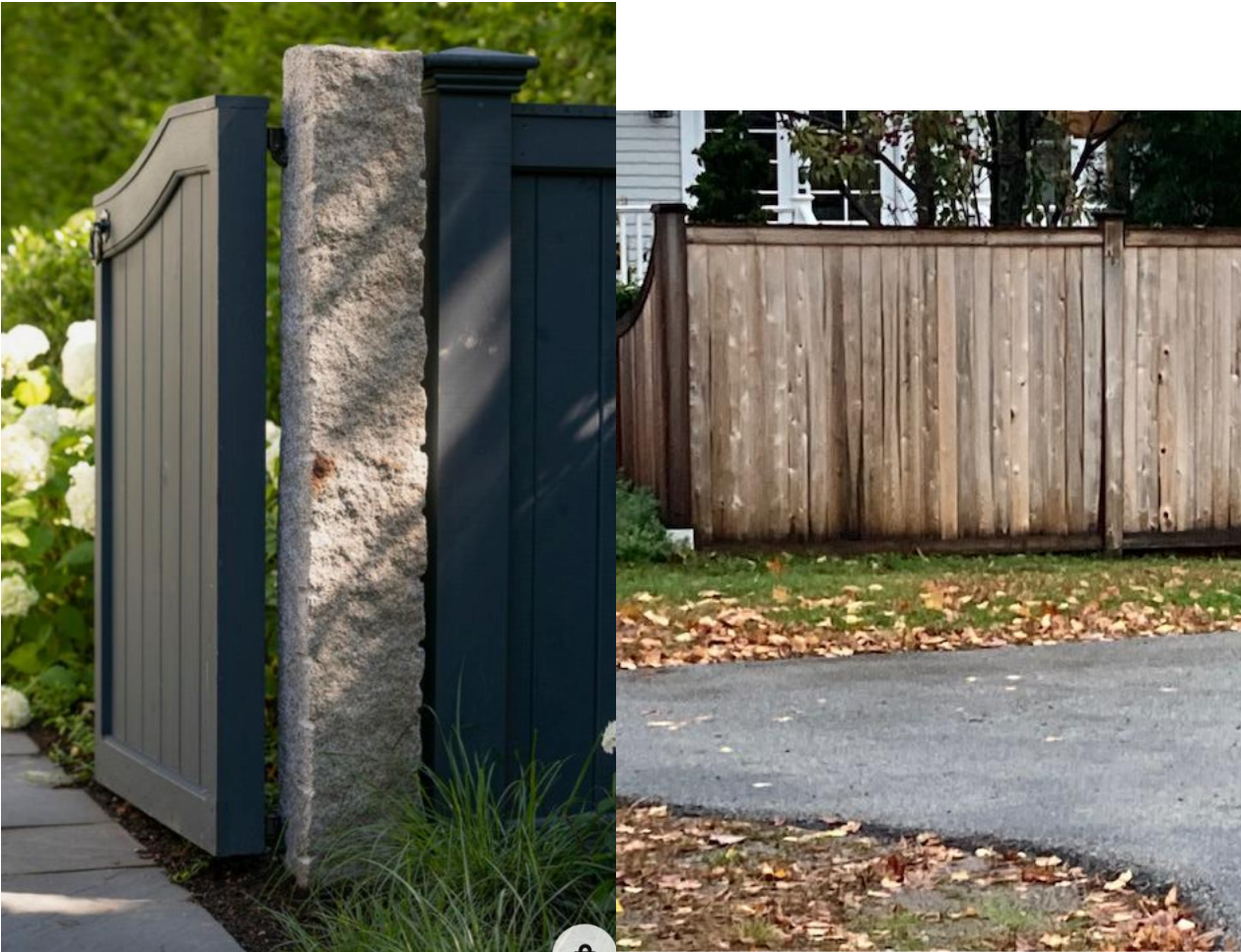
ludesl@comcast.net

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

124 State Street – Court Street View

Replace existing metal w/vertical cedar fence – 5' w/granite posts for gate from driveway.



Cedar fence – similar to **City's fence** abutting neighbor's driveway (lower photo).



6. 322 Islington Street

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



10/28/2022

LUHD-543

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Oct 24, 2022**Applicant**

STEPHEN BUCKLIN
 socoboxes@yahoo.com
 322 ISLINGTON ST
 PORTSMOUTH, NH 03801
 603-496-8274

Primary Location

322 ISLINGTON ST
 Portsmouth, NH 03801

Owner:

BUCKLIN STEPHEN G
 322 ISLINGTON ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

The carriage house renovation was approved for new Green Mountain Windows Milestone Series. I would like to replace 9 existing vinyl windows on the attached house as highlighted on the picture with the same Milestone Series. The existing windows are not original to the house and all are in view from our patio and carriage house. To be consistent with the architectural restoration look I would like to replace these with the same GM Window Series.

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title****Owner Addressee Prefix and Last Name**







7. 232 Court Street, Unit 2

- Recommended Approval

Background: The applicant is seeking approval for chimney repair.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



LUHD-544

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Oct 24, 2022

Applicant

John Verre
john.m.verre@gmail.com
232 Court St.
Portsmouth, NH 03801
16177198674

Primary Location

232 COURT ST Unit 2
Unit 2
Portsmouth, NH 03801

Owner:

John M. Verre and Beth Norton
232 Court St. Court Portsmouth, MA 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Chimney Repairs

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

--

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Paul Dyer

Business Name (if applicable)

Southern Maine Masonry

Mailing Address (Street)

117 Portland Street

City/Town

South Berwick

State

Maine

Zip Code

03908

Phone

603-767-6442

Email Address

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Chimney Repair Work at 232 Court St., Portsmouth

Southern Maine Masonry:

- Take down the approximately half the chimney and set original brick aside.
- Rebuild the chimney using original brick to pre-existing height (no new brick will be used).
- Re-point the remainder of chimney with type s waterproof mortar.

A Merrie Sweepe Chimney Services

- Install a custom, meshed, stainless steel, black powder coated raincap over the entire chimney top.

Original chimney condition:



Stock picture of the proposed raincap, to be black powder coated:



8. 138 Maplewood Avenue - TBD

Background: The applicant is seeking approval for changes to a previously approved design. **Staff Comment:** TBD

Stipulations:

1. _____
2. _____
3. _____



10/28/2022

LUHD-541

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Oct 18, 2022**Applicant**

Anne Whitney
 archwhit@aol.com
 801 Islington St, Suite 32
 Portsmouth, NH 03801
 603-502-4387

Primary Location

138 MAPLEWOOD AVE
 Portsmouth, NH 03801

Owner:

PANTELAKOS DONNA P REV TRUST & PANTELAKOS G T & D P
 TRUSTEES
 138 MAPLEWOOD AVE PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Changes to approved HDC (LU-20-71) & Building Permit (BLDG-22-567).

1. Relocate Door at Right Side
2. Change siding to Hardi-Plank Lap Siding Smooth, color to match existing residence.
3. Heatpump & HVAC Condensor location at Right Side
4. 24" Shed Roof over relocated Door, Match Exist, at Units 1 & 2, doors to Deck.
5. Hip Roofed 24" Overhang with Brackets at Front Door

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

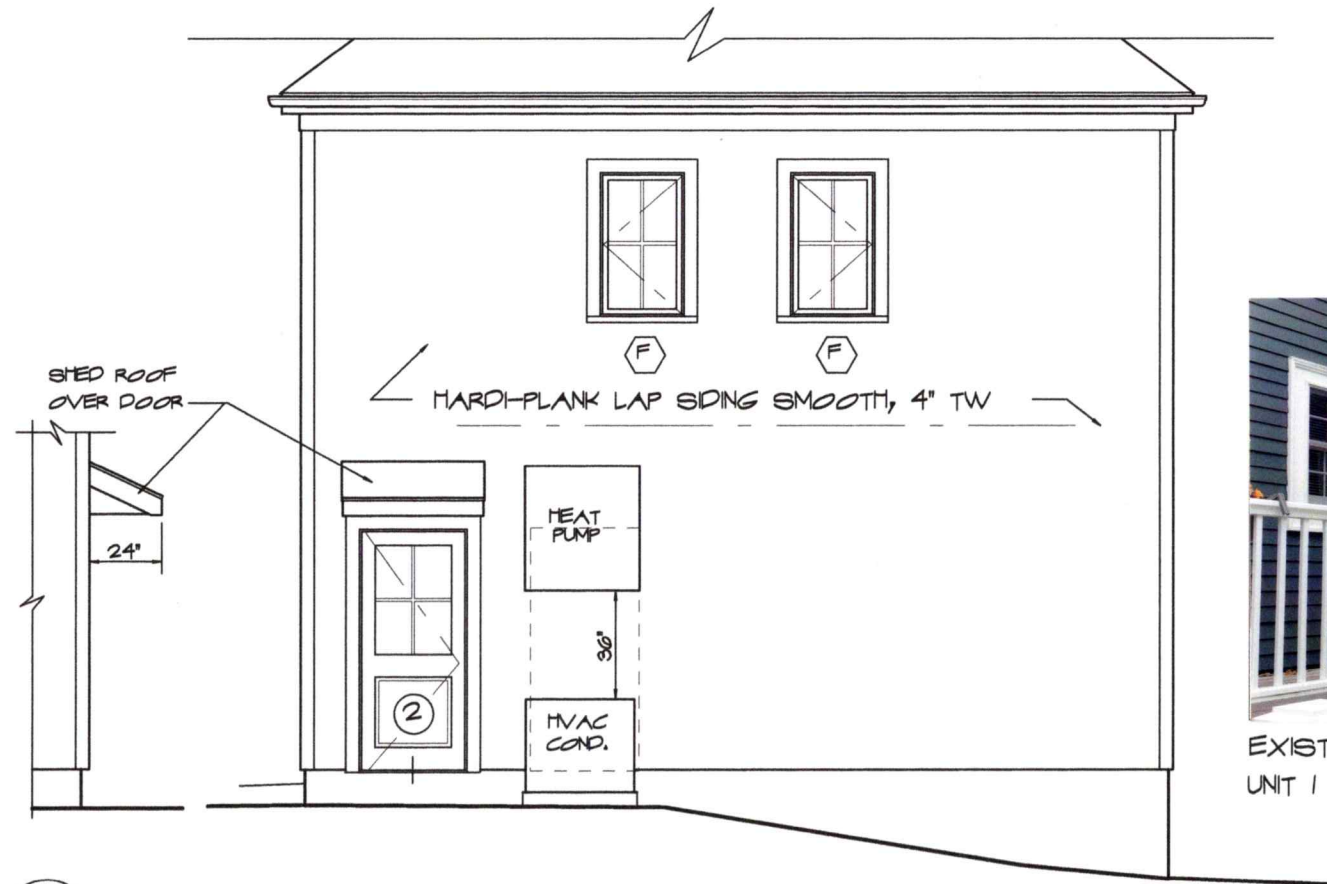
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Planning Staff Comments

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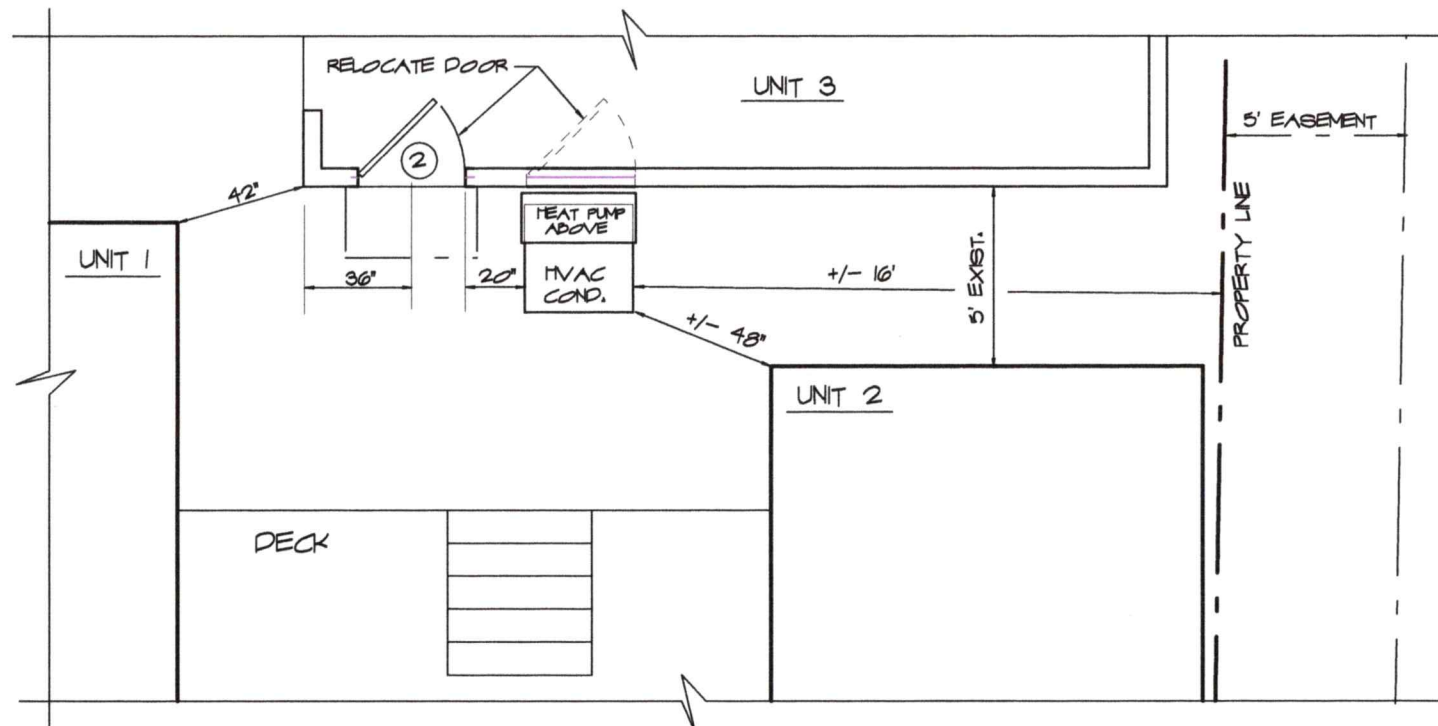
MDC ADMIN. APPROVAL CHANGES

1. RELOCATE DOOR AT RIGHT/EAST SIDE
2. CHANGE SIDING TO HARD-PLANK LAP SIDING SMOOTH, COLOR TO MATCH EXIST. RESIDENCE.
3. HEAT PUMP & HVAC CONDENSOR LOCATION AT RIGHT/EAST SIDE.
4. 24" SHED ROOF OVER RELOCATED DOOR, MATCH EXIST AT UNITS 1 & 2, DOORS TO DECK.
3. M I P ROOFED 24" OVERHANG WITH BRACKETS AT FRONT DOOR



EXIST SHED ROOF OVER UNIT 1 & 2, DECK DOORS

EAST ELEVATION & PLAN
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION



VIEW OF ALLEY BETWEEN BUILDINGS

<p>MDC REVISIONS</p>	<p>801 Irlington St, Suite 32 Portsmouth NH 03801 603-562-4387 archwhit@aol.com</p>	Project: 2002	Date: 10/18/22
		Revisions:	1 OF 2
<p>ANNE WHITNEY ARCHITECT</p>			
<p>ADDITIONS & RENOVATIONS, PANTELAKOS RESIDENCE</p>			
<p>138 MAPLEWOOD AVE PORTSMOUTH, NH</p>			

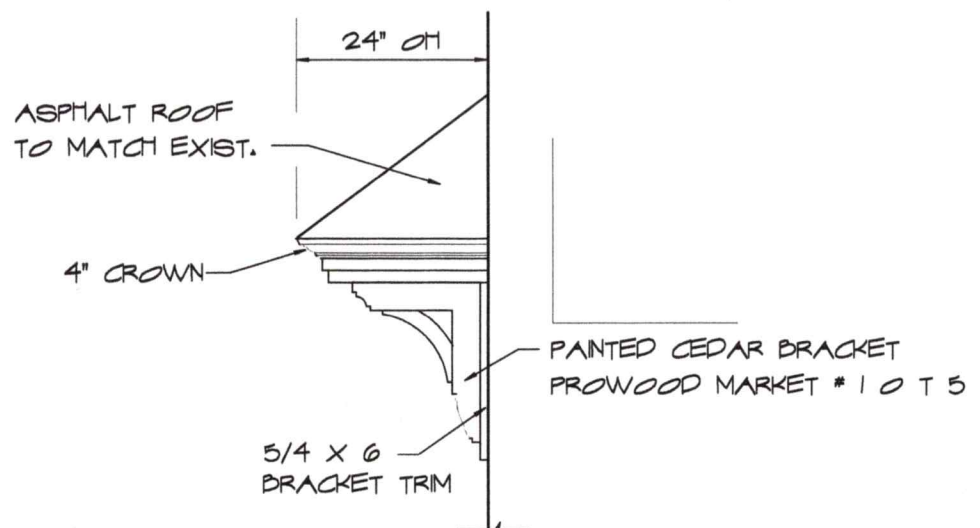


HARD-PLANK LAP SIDING SMOOTH, 4" TW

MP ROOF WITH PAINTED BRACKETS

3' 9"

○ MP ROOF OVER ENTRY DOOR
SCALE : 1/4" = 1'-0"



○ MP ROOF WITH BRACKET DETAIL
SCALE : 1/2" = 1'-0"



HARD-PLANK LAP SIDING AT EXIST. BUILDING

MDC REVISIONS ADDITIONS & RENOVATIONS, PANTELAKOS RESIDENCE 138 MAPLEWOOD AVE PORTSMOUTH, NH	801 Islington St, Suite 32 Portsmouth NH 03801 603-502-4387 archwhit@aol.com	Project: 2002 Revisions:	Date: 10/18/22
	ANNE WHITNEY ARCHITECT		2 OF 2

Submittal Documents

MXZ-3C30NAHZ3 2.5-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name: **138 Maplewood St, Portsmouth, NH**
System Reference: **Condenser**

Date: **9.29.22**

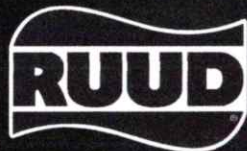


FEATURES

- Variable speed INVERTER-driven compressor
- Built-in base pan heater
- Quiet outdoor unit operation as low as 54 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Hyper-heating performance offers 100% heating capacity at 5°F and 88% heating capacity at -13°F
- ENERGY STAR® certified (non-ducted)

ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.

Specifications are subject to change without notice.



Ruud Achiever® Series Air Conditioners



RA13 Series

Efficiencies 13-15.5 SEER/11.5-13 EER
Nominal Sizes 1½ to 5 Ton [5.28 to 17.6 kW]
Cooling Capacities 17.3 to 60.5 kBTU
[5.7 to 17.7 kW]

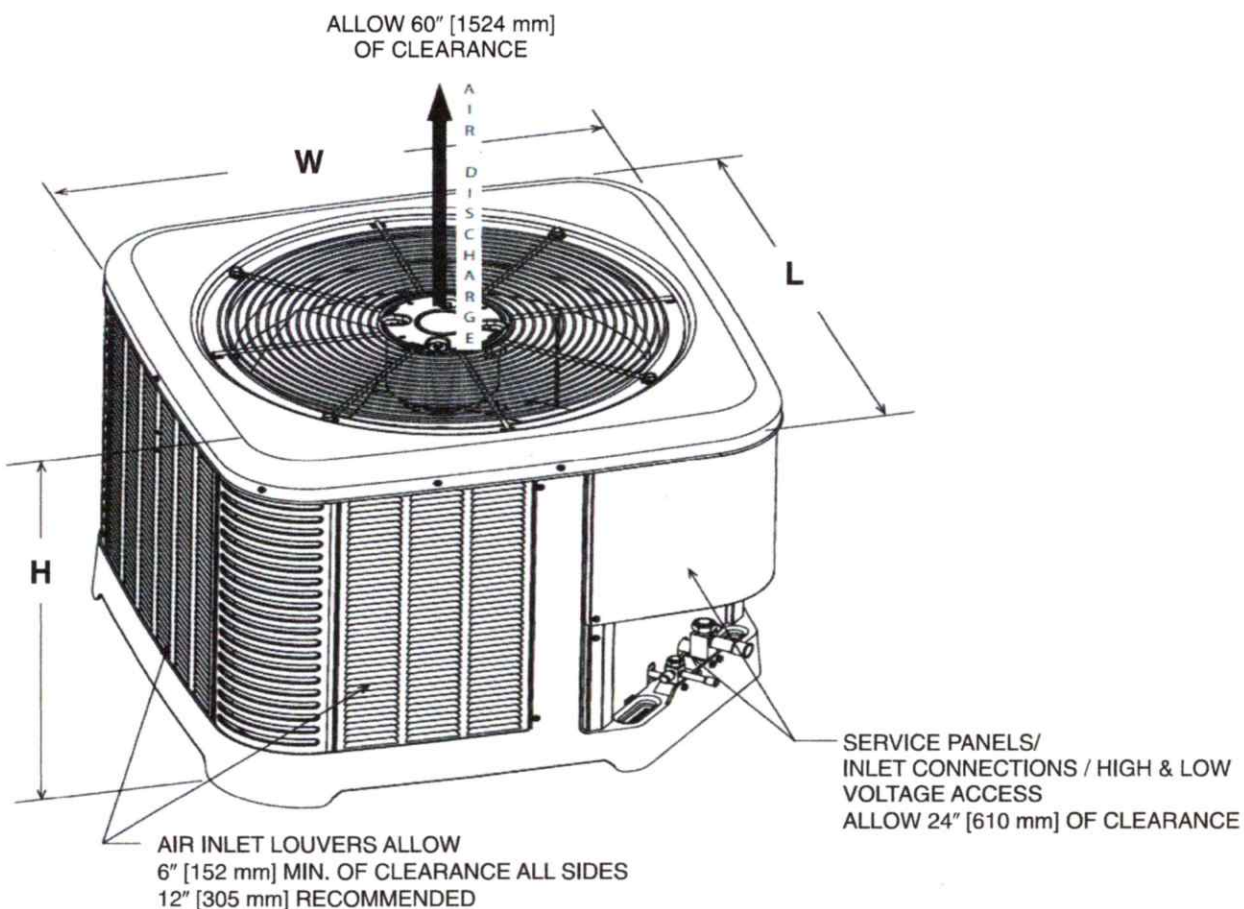


"Proper sizing and installation of equipment is critical to achieve optimal performance. Split system air conditioners and heat pumps must be matched with appropriate coil components to meet Energy Star. Ask your Contractor for details or visit www.energystar.gov."

- Composite base pan – dampens sound, captures louver panels, eliminates corrosion and reduces number of fasteners needed
- Powder coat paint system – for a long lasting professional finish
- Scroll compressor – uses 70% fewer moving parts for higher efficiency and increased reliability
- Modern cabinet aesthetics – increased curb appeal with visually appealing design
- Curved louver panels – provide ultimate coil protection, enhance cabinet strength, and increased cabinet rigidity
- Optimized fan orifice – optimizes airflow and reduces unit sound
- Rust resistant screws – confirmed through 1500-hour salt spray testing
- PlusOne™ **Expanded Valve Space** – 3"-4"-5" service valve space – provides a minimum working area of 27-square inches for easier access
- PlusOne™ **Triple Service Access** – 15" wide, industry leading corner service access – makes repairs easier and faster. The two fastener removable corner allows optimal access to internal unit components. Individual louver panels come out once fastener is removed, for faster coil cleaning and easier cabinet reassembly
- Diagnostic service window with two-fastener opening – provides access to the high and low pressure.
- External gauge port access – allows easy connection of "low-loss" gauge ports
- Single-row condenser coil – makes unit lighter and allows thorough coil cleaning to maintain "out of the box" performance
- 35% fewer cabinet fasteners and fastener-free base – allow for faster access to internal components and hassle-free panel removal
- Service trays – hold fasteners or caps during service calls
- QR code – provides technical information on demand for faster service calls
- Fan motor harness with extra long wires allows unit top to be removed without disconnecting fan wire.

Unit Dimensions

MODEL NO.	OPERATING						SHIPPING					
	H (Height)		L (Length)		W (Width)		H (Height)		L (Length)		W (Width)	
	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm
RA1318	27	685	29.75	755	29.75	755	28.75	730	32.38	822	32.38	822
RA1324	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
RA1330	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
RA1336	27	685	29.75	755	29.75	755	28.75	730	32.38	822	32.38	822
RA1342	31	787	29.75	755	29.75	755	32.75	831	32.38	822	32.38	822
RA1348	27	685	33.75	857	33.75	857	28.75	730	36.38	924	36.38	924
RA1360	31	787	35.75	908	35.75	908	32.75	831	38.38	974	38.38	974



[] Designates Metric Conversions

ST-A1226-02-00

9. 348 Maplewood Avenue - TBD

Background: The applicant is seeking approval for rooftop repair and renovation. **Staff Comment:** TBD

Stipulations:

1. _____
2. _____
3. _____



10/28/2022

LUHD-545

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Oct 26, 2022

Applicant

Brian Gibb
bkgibb@gmail.com
348 Maplewood Ave
Apt 2
Portsmouth, NH 03801
603-303-9255

Primary Location

348 MAPLEWOOD AVE
Portsmouth, NH 03801

Owner:

OLD FRANKLIN SCHOOL CONDO MASTERCARD
348 Maplewood Ave Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Old Franklin School Annex Rooftop Repair & Renovation

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Owner Unit 2, HOA President

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted



HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name

Owner Contact Street Address

348 Maplewood Avenue
Old Franklin School Annex Rooftop Repair & Renovation
Submitted by: Brian Gibb, Unit 2, HOA President



Figure 1. Old Franklin School as seen from Maplewood Ave and showing brick building constructed 1847 and adjoining annex added ~1986 as part of condo conversion.

Location/Site Context

348 Maplewood Avenue is located near the intersection of Maplewood & Dennett Street. It is the site of the Old Franklin brick school building situated on the SW side of Maplewood. The building was converted to condos ~1986 with major renovation to the brick building and the addition of an attached 3-story wooden annex structure on the SE side of the main building. The building has 5 units which are all presently owner occupied. Brian Gibb is the owner of Unit 2, the president of the HOA and the coordinator for the proposed project.

Existing Structures

Annex Rooftop

The annex structure rooftop (Figures 2-6) has an EPDM covering upon which a wooden deck structure was overlayed and that presently covers only a portion of the rooftop. On the NE side facing Maplewood, there is a uniform 6 feet of exposed EPDM from the railing to building edge. On the SE side facing Dennett, the gap is not uniform and ranges from 6.7 feet at the NE end to 4 feet at the SW end adjoining the fire escape. The decking area is contained by the 36.5 high, 2x4 railing covered with lattice. These rails are not anchored (Figure 7) and only “propped” into place with 2x4s. All of the wood on the rooftop is very aged and deteriorating (Figure 9) and the uncovered EPDM has been patched multiple times to address leaks (ostensibly due weathering impact from direct exposure). **It is important to note that the rooftop surface decking/EPDM is at a height where it is not visible to neighbors at top floors or from street level. Only the railings are visible.**

Approx Dimensions (Figure 19)

- Annex rooftop
 - Long segment facing Dennett is 34’
 - Segment facing Maplewood is 19’
 - Segment facing SW is 17’
- Railings
 - Segment facing Dennett setback ranging from 7’ to 4’ (NE corner to SW corner)
 - Setback 6’ from segment facing Maplewood
 - Positioned at rooftop edge (no gap) on SW facing side
 - Height of 36.5”

Fire Escape

On the SW side, facing School street, is the 3-story fire escape (Figure 10) built in the same period and which is connected to the rooftop decking with stairs on the edge at the SE side. That structure, like the rooftop, had become very weather worn and brittle over the past three decades. In 2020, the fire escape was repaired with new wood where required, rails replaced from only a 2x4 railing to railing (Figure 11) with height meeting code and handrail and spindles for more support. The entire structure was also stained Cabot Cordovan Brown which nicely complements the red color of the annex and the brick. That structure is complete and has been visibly pleasing to our neighbors and provides a much more secure feeling when traversed.

Other priorities unfortunately prevented us from performing the same renovation work on the rooftop deck which is in equally or even worse condition at this point.

Abutters

The primary (closest/adjacent) abutters (Figure 12) with most direct visibility are 1) Nicole Abshier @ 31 Dennett and 2) Kathryn Jordan @ 334 Maplewood. The first home is two-story and the second has a reduced third floor structure. We have coordinated with them on the project.

Current Situation

It has become dangerous to walk on the rooftop decking or rely on the support of the railings. Moreover, recent heavy rainstorms caused some roof leaks which made it necessary to remove much of the wood decking (Figure 13) immediately to locate the source and repair. Although it was our desire to begin this work in Spring 2023, this emergency work now necessitates urgent decking replacement. Since we must replace the decking, we naturally explored best materials, design, practices, etc.

Contractor Donovan Pack of LHC Portsmouth, a local carpenter with roofing experience, performed the fire escape repair and has examined the rooftop situation with the following near-term recommendations:

- Replace the existing wood decking with more durable, flexible, composite material allowing for a modular build with ability to access any section of roof more easily to address problems
- Extend the deck to cover all of the roof to protect from weather which is aging that portion must faster
- Bring the railings up to proper height for safety and with more rigorous design

He also believes that extending the usable space by pushing out railings a moderate amount would make the rooftop more workable and provide additional storage space for firewood, etc that we don't have today with the limited decking footprint. The expansion would also be much more aesthetically appealing and likely increase owner's valuations.

We have built a small prototype section (Figure 17) to 1) temporarily protect the area with the leak and 2) to convey the look of the proposed decking.

Project Proposal Summary

We seek approval to repair the rooftop decking and railings with materials that are consistent with those used to repair the existing fire escape structure. We will duplicate the railing style and coloring exactly. This will have the benefit of making the entire structure (rooftop and fire escape) consistent and uniform in appearance as observed from Maplewood Ave and Dennett St. and benefit from the fire escape design that has been vetted for appearance, utility, and safety.

We also seek approval to utilize (Trex brand, Figure 14-15) composite materials to replace the wood decking and also to extend it to the rooftop edges, 4-6 foot on the NE and SE facing sides. The decking already meets the roof edge and adjoins the fire escape on the SW side and is attached to the brick structure facing NW.

Specific Work

- Apply a new EPDM surface to the existing roof material and seal as appropriate.
 - Replace the entire wood deck with Trex brand composite decking (composite, color-matched per figure below) and consistent with the short segment adjoining fire escape (Figure 16).
 - Extend the decking fully to the rooftop edges where it presently is not on the Maplewood and Dennett sides.
 - Reposition the new railing closer (no closer than *36") away from the rooftop edges on these two sides to form a larger rectangle-shaped section (aligned with the brick structure as it is today and with ranging proximity to the edge on the Dennett side).
 - Replace the handrails with more robust design consistent with the fire escape and to code height (42" or greater), exactly as in fire escape. (Figure 16)
 - Stain the entire rooftop railing materials to color consistent with fire escape.
- *The exact distance is still being discussed with abutters.

Timing

A section of the decking has been removed to allow access to the roof to repair the leak. This must be repaired immediately including the handrail alongside the fire escape stairs for safety purposes. The remaining decking will ideally be repaired as much as possible prior to Winter and leaving the railing rework to be completed in early Spring if necessary.

Support Images



Figure 2. Drone image show buildings relative to abutting homes.



Figure 3. Drone image showing existing rooftop deck configuration including exit doors from Units 4 & 5 and height relative to adjacent homes.



Figure 4. Drone image showing rooftop deck from Maplewood perspective and also height relative to abutters.



Figure 5. Rooftop perspective as seen from Maplewood street level.



Figure 6. Rooftop as seen from Dennett and adjoining fire escape on left side.



Figure 7. Rooftop as seen facing Maplewood and showing existing railing with lattice and propped vs. secured. Also showing exposed EPDM to edge.



Figure 8. Exposed roof area facing Maplewood.

Historic District Commission

Staff Report – November 2nd, 2022

November 2nd MEETING

Administrative Approvals:

- 1. 11 Walden St. (LUHD-502) - TBD
- 2. 60 Penhallow St. (LUHD-540) - Recommend Approval
- 3. 45 Market St. (LUHD-538) - Recommend Approval
- 4. 500 Market St. (LUHD-539) - Recommend Approval
- 5. 124 State St. (LUHD-542) - Recommend Approval
- 6. 322 Islington St. (LUHD-543) - Recommend Approval
- 7. 232 Court St. Unit 2 (LUHD-544) - Recommend Approval
- 8. 348 Maplewood Ave. (LUHD-545) - Recommend Approval
- 9. 138 Maplewood Ave. (LUHD-541) - Recommend Approval

Extension Requests:

- 1. 238 Deer St. (LU-20-238) (1st Request)

PUBLIC HEARINGS – OLD BUSINESS:

- A. 43 Holmes Court (LU-22-72) (demolition & new single family)
- B. 159 State St. (LU-22-68) (HVAC)
- C. 3 Walton Alley (LU-22-100) (window, storm windows & HVAC)
- D. 33 South Mill Pond St. (LU-22-171) (solar panels)

PUBLIC HEARINGS – NEW BUSINESS:

- 1. 324 Maplewood Ave. (LU-22-183) (adaptive reuse)
- 2. 361 Islington St. (LU-22-195) (side and rear addition)
- 3. 93 Pleasant St. (LU-21-183) (one story addition)
- 4. 15 Mt. Vernon St. (LU-19-126) (extend roofline over garage)

November 9th MEETING

DISCUSSION – Certified Local Government

PUBLIC HEARINGS – OLD BUSINESS:

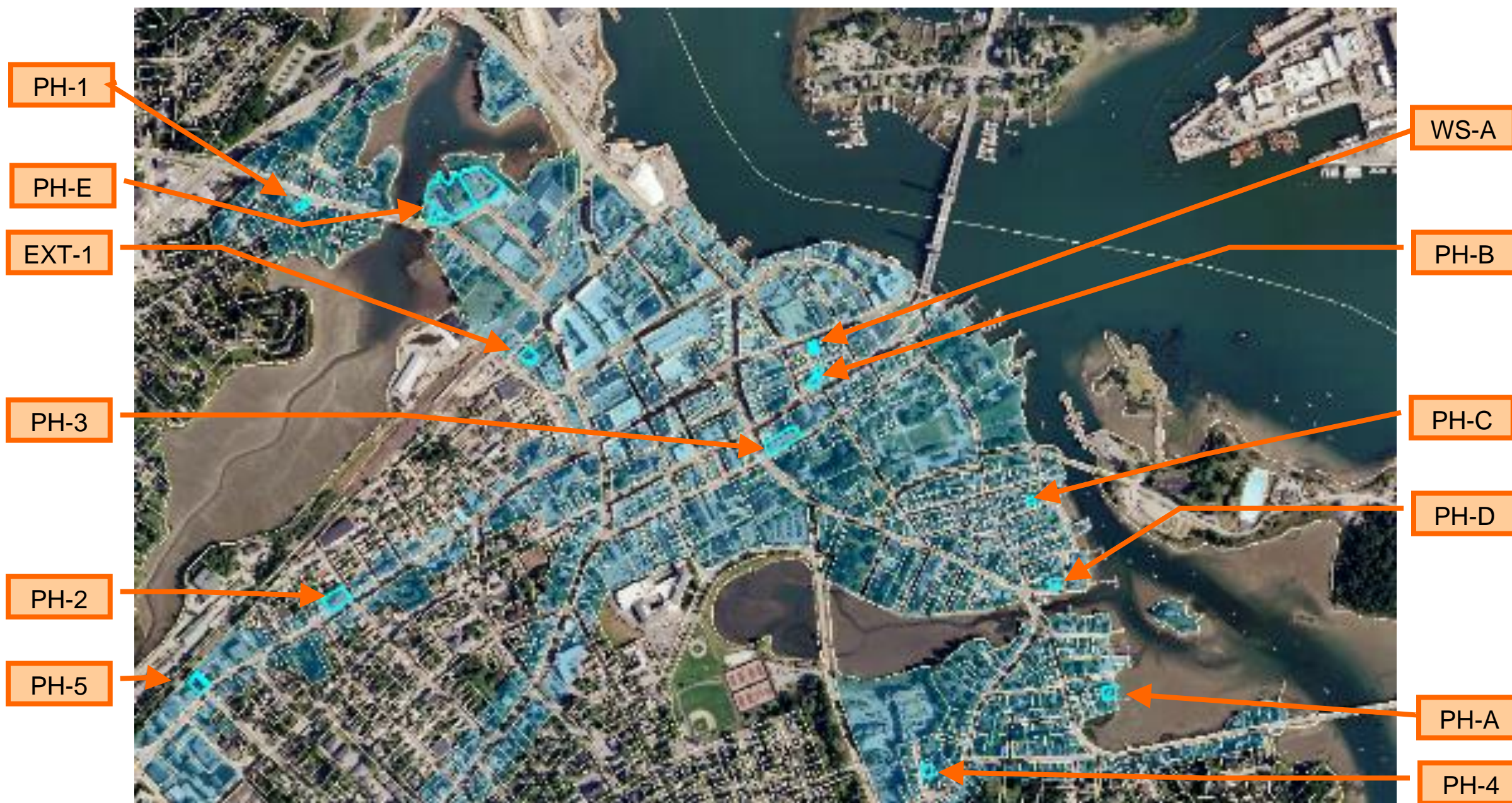
- A. 1 Raynes Ave. (LU-21-54) (2 infill buildings)

PUBLIC HEARINGS – NEW BUSINESS:

- 5. 553-9 Islington St. (LU-20-180) (modifications)

WORK SESSIONS – NEW BUSINESS:

- 1. 95 Daniel St. (LUHD-530) (demolition & reconstruction)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: November 2nd and 9th
APPLICATIONS: 21

Historic District Commission

Project Address: 238 DEER ST. (LU-20-238)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: EXTENSION REQUEST #1

Existing Conditions:

- Zoning District: CD4
- Land Use: Commercial
- Land Area: 6,108 SF +/-
- Estimated Age of Structure: c.1960
- Building Style: Commercial
- Historical Significance: NA
- Public View of Proposed Work: View from Deer and Bridge Streets.
- Unique Features: NA
- Neighborhood Association: North End

B. Proposed Work: To replace two windows with a different design.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- The building is located along Deer Street in the heart of the North End. It is surrounded with many new multi-story buildings.

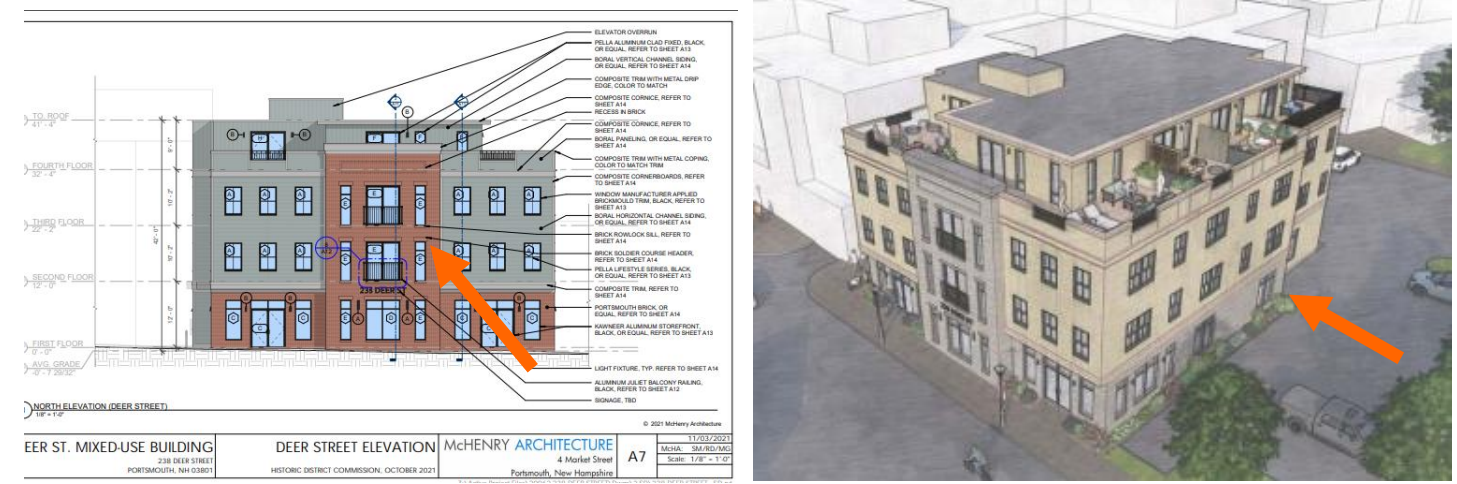
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

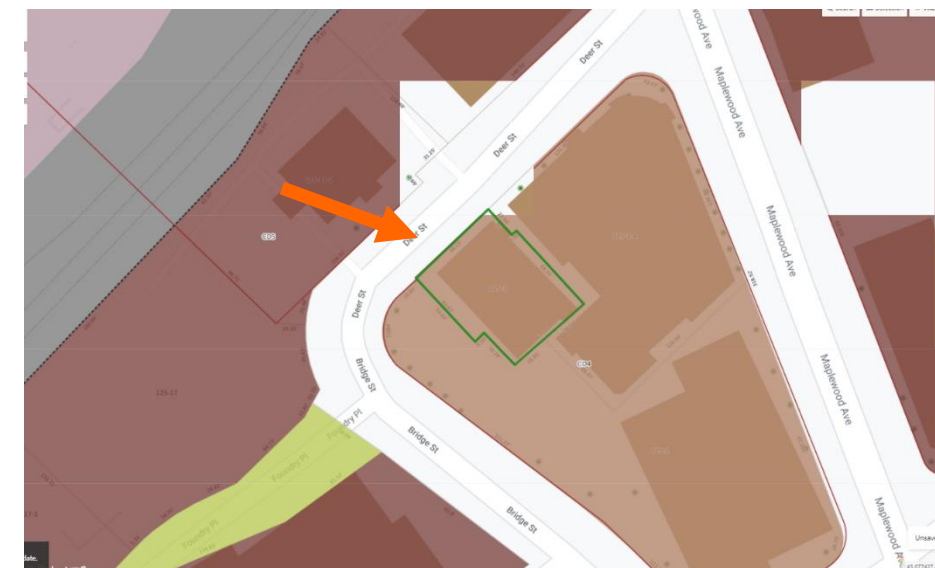
- Replace the existing building with a 3 story mixed-use structure with a penthouse level on the roof. Note that the BOA approved the required variances for the penthouse level.
- **The applicant is requesting the first one-year extension so no public hearing is required.**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC SURVEY RATING

NC

238 DEER ST. (LU-20-238) – EXTENSION REQUEST #1

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT - Construct a 3.5-Story Building Only -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 238 DEER ST. Case No.: 11-2-22
Date: 11-2-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 43 HOLMES COURT (LU-22-72)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #A

A. Property Information - General:

Existing Conditions:

- Zoning District: WB
- Land Use: Single-Family
- Land Area: 5,662 SF +/-
- Estimated Age of Structure: c.1903
- Building Style: Late Gothic Revival
- Number of Stories: 1.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Holmes Court
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To replace the existing house with a 2 story traditionally-designed house.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This historic structure is located at the terminal vista of Holmes Court in the South End. It is the only house on the block that is zoned Waterfront Business. The structure is surrounded with many wood-sided, 2.5 story contributing structures. Most buildings have a shallow front- and side-yard setbacks with deeper rear yards.

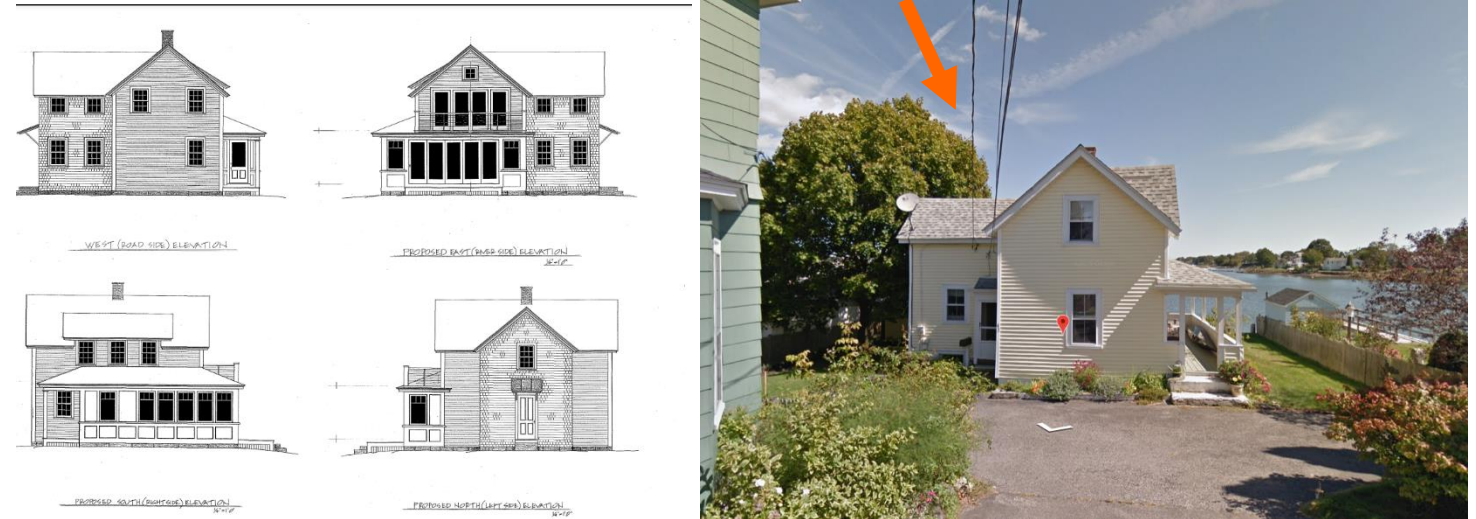
J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to revise the previous approval for the following items:
- Remove and replace the existing structure with a traditionally-design small house that is fully code compliant and is elevated out of the floodplain.

Note that the applicant has requested to postpone this application to the December 7th meeting.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

43 HOLMES COURT (LU-22-72) – PUBLIC HEARING #A (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
		1	Gross Floor Area (SF)	<h3 style="margin: 0;">MODERATE PROJECT</h3> <h4 style="margin: 0;">– REMOVAL & REPLACEMENT OF A SINGLE FAMILY HOUSE –</h4>			
		2	Floor Area Ratio (GFA/ Lot Area)				
		3	Building Height / Street-Width Ratio				
		4	Building Height – Zoning (Feet)				
		5	Building Height – Street Wall / Cornice (Feet)				
		6	Number of Stories				
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 43 HOLMES COURT Case No.: A Date: 11-2-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 159 STATE ST. (LU-22-68)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #B

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Multi-Family
- Land Area: 3,920 SF +/-
- Estimated Age of Structure: c.1850
- Building Style: Italianate
- Number of Stories: 3
- Historical Significance: C
- Public View of Proposed Work: View from Sheafe Street
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To add wall-mounted HVAC to the second floor.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alterations, additions or expansions)

J. Neighborhood Context:

- This building is located along State and Sheafe Streets. The property is surrounded with many historically significant brick-sided structures. The structures in this neighborhood have little to no front yard setbacks along the street and narrow side yards.

K. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Add a wall-mounted HVAC unit on the 2nd floor of the exterior wall of the structure. Conduit will also be applied to the wall.
- **This application has been continued for over 6 months so it is recommended that no further continuances be permitted without re-noticing the project.**

Design Guideline Reference – Guidelines for Masonry and Stucco (07) and Site Elements and Streetscapes (09).

I. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

159 STATE ST. (LU-22-68) – PUBLIC HEARING #B (MINOR)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)		
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	MINOR PROJECT - WALL-MOUNTED HVAC CONDENSOR ONLY -					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width (ROW) Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
	7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate	
		SITE DESIGN	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate	<input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 159 STATE ST. Case No.: B Date: 11-2-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 3 WALTON ALLEY (LU-22-100)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #C

Existing Conditions:

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 1,680 SF +/-
- Estimated Age of Structure: c.1750-1800
- Building Style: Georgian/ Federal
- Historical Significance: C
- Public View of Proposed Work: Limited view from Walton Alley
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To add a picture window and new condenser in the rear yard.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- This 2 story historic structure is located along Walton Alley. It is surrounded with many 2 1/2 -3 story wood-sided structures with shallow front and side yards. This property also has a shallow rear yard with two of the abutting structures located near the lot lines.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Add a new picture window on the rear elevation.
- Add a HVAC condenser in the rear yard

NOTE THE PROPOSED MECHANICAL CONDENSOR HAS STILL NOT BEEN DETAILED ON THE PLAN, THUS, I WOULD RECOMMEND WE CONTINUE THIS ITEM TO THE NOVEMBER 9TH MEETING.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:



Rear Elevation and Streetscape View



Zoning Map

**HISTORIC
SURVEY
RATING**

C

3 WALTON ALLEY (LU-22-100) – PUBLIC HEARING #C (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
STAFF		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div style="text-align: center;"> <h2 style="margin: 0;">MODERATE PROJECT</h2> <p style="margin: 0;">– Add HVAC, picture window, & replace storm windows –</p> </div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
		PROJECT REVIEW ELEMENT				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 3 WALTON ALLEY Case No.: D Date: 10-5-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 33 SOUTH MILL STREET (LU-22-171)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #D

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residence B (GRB)
- Land Use: Single Family
- Land Area: 3,495 SF +/-
- Estimated Age of Structure: c. 1860
- Building Style: Federal
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from South Mill and Salter Streets
- Unique Features: Significant alterations
- Neighborhood Association: South End Residents

B. Proposed Work: To replace rear window and door with French doors.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects only):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along South Mill Street. It is surrounded with many wood-sided 2.5 story historic structures with shallow to no front yard setbacks with gardens and lawns within the side and rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
- Replace the rear window and door with a set of French doors..

NOTE THAT THE APPLICANT IS EXPLORING OTHER LOCATIONS FOR INSTALLATION OF THE SOLAR PANELS AND IS REQUESTING MORE TIME TO EVALUATE THE FEASIBILITY OF THESE ALTERNATIVES.

K. Aerial Image, Street View and Zoning Map:



Aerial and Streetview Images



Zoning Map

HISTORIC SURVEY RATING

C

33 SOUTH MILL STREET (LU-22-171) – PUBLIC HEARING #D (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT					
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)				
STAFF	No.									
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)							
	1	Gross Floor Area (SF)								
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
	6	Number of Stories								
7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS		HDC SUGGESTIONS	APPROPRIATENESS				
		CONTEXT	8 Scale (i.e. height, volume, coverage...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			9 Placement (i.e. setbacks, alignment...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			10 Massing (i.e. modules, banding, stepbacks...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			11 Architectural Style (i.e. traditional – modern)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		BUILDING DESIGN & MATERIALS		12 Roofs				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				13 Style and Slope				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				14 Roof Projections (i.e. chimneys, vents, dormers...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				15 Roof Materials				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				16 Cornice Line				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				17 Eaves, Gutters and Downspouts				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				18 Walls				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				19 Siding / Material				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				20 Projections (i.e. bays, balconies...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				21 Doors and Windows				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				22 Window Openings and Proportions				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				23 Window Casing/ Trim				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				24 Window Shutters / Hardware				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				25 Awnings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				26 Doors				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				27 Porches and Balconies				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				28 Projections (i.e. porch, portico, canopy...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				29 Landings/ Steps / Stoop / Railings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				30 Lighting (i.e. wall, post...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				31 Signs (i.e. projecting, wall...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				32 Mechanicals (i.e. HVAC, generators)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				33 Decks				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				34 Garages/ Barns / Sheds (i.e. doors, placement...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
				SITE DESIGN		35 Fence / Walls (i.e. materials, type...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
						36 Grading (i.e. ground floor height, street edge...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
						37 Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
						38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
						39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
						40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

**MODERATE PROJECT
– INSTALL SOLAR PANELS ONLY –**

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 33 SOUTH MILL STREET Case No.: D Date: 11-2-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 324 MAPLEWOOD AVE. (LU-22-183)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L2
- Land Use: Mixed-Use
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c.1948
- Building Style: Commercial
- Number of Stories: 1.0
- Historical Significance: NC
- Public View of Proposed Work: View from Dennett Street and Maplewood Ave.
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To renovate the existing building for a single family use.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

L. Neighborhood Context:

- This building is located along Maplewood Ave. The property is surrounded with many modern and historically significant structures. The structures in this neighborhood have shallow setbacks along the street and narrow side yards and deeper rear yards.

M. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

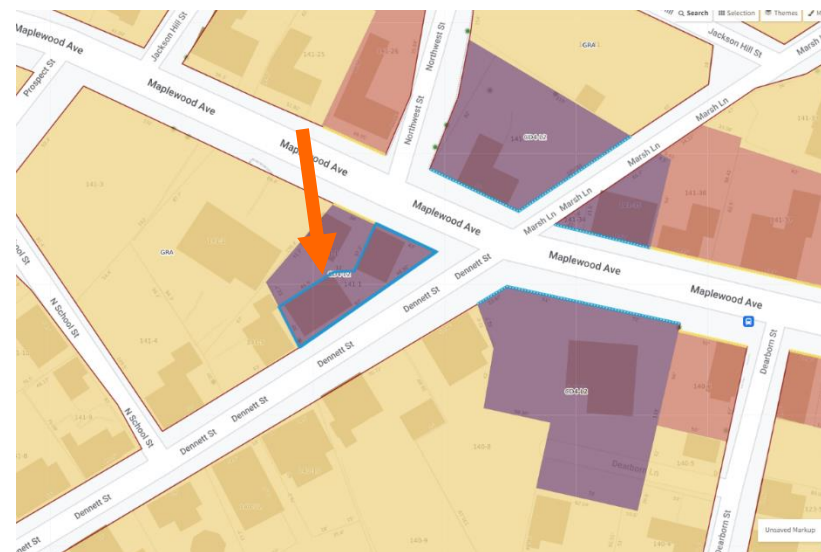
- Clad the exterior walls with clapboards
- Add windows and doors.
- Convert the accessory structure for a residential use.

Design Guideline Reference – Guidelines for Windows and Doors (08).

J. Aerial Image, Street View and Zoning Map:



Street View Image & Proposed Elevation



Zoning Map

**HISTORIC
SURVEY
RATING**

C

324 MAPLEWOOD AVE. (LU-22-183) – PUBLIC HEARING #1 (MINOR)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<h3>MINOR PROJECT</h3> <h4>- EXTERIOR CLADDING, WINDOWS AND DOORS -</h4>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
27		Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
SITE DESIGN	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 324 MAPLEWOOD AVE Case No: 1 Date: 11-2-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 361 ISLINGTON STREET (LUHD-521)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Vacant / Commercial
- Land Area: 15,174 SF +/-
- Estimated Age of Structure: 1965
- Building Style: Commercial / Modern
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Islington and Cabot Streets
- Unique Features: NA
- Neighborhood Association: Islington Creek

B. Proposed Work: Add side & rear additions and make site improvements.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very significant alternations, additions or expansions)

I. Neighborhood Context:

- The structure is located along Islington Street. It is surrounded with mainly wood 2.5 - 3 story historic structures with shallow or no front yard setbacks on relatively small lots

J. Background & Suggested Action:

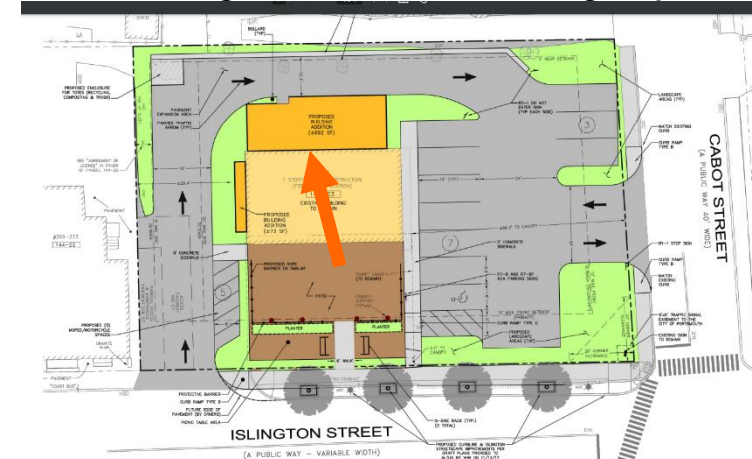
The applicant proposed to:

- Convert the former gas station to a full-service restaurant;
- Add a small addition to the west and rear side of the building;
- Modify the existing canopy to create an outdoor seating area; and
- Add fencing and landscaping along the edge of the property.
- A large shade tree is also included for removal along the rear driveway.

NOTE THAT THIS PROJECT RECEIVED DIMENSIONAL VARIANCES FROM THE BOA AT THEIR OCTOBER MEETING.

Design Guideline Reference – Masonry & Stucco (07), Windows and Doors (08), Site Elements & Streetscapes (09), Small Scale New Construction & Additions, and Signs and Awnings (11)

K. Aerial Image, Street View and Zoning Map:



Proposed Site Plan and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

NC

361 ISLINGTON STREET (LUHD-521) – PUBLIC HEARING #2 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
		1	Gross Floor Area (SF)	<h3 style="margin: 0;">MODERATE PROJECT</h3> <h4 style="margin: 0;">– SITE ALTERATIONS AND SIDE & REAR ADDITION ONLY –</h4>			
		2	Floor Area Ratio (GFA/ Lot Area)				
		3	Building Height / Street-Width Ratio				
		4	Building Height – Zoning (Feet)				
		5	Building Height – Street Wall / Cornice (Feet)				
		6	Number of Stories				
	7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Storm Windows / Screens		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	35	Fence / Walls / Screenwalls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	SITE DESIGN	36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		39	Parking (i.e. location, access, visibility...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		40	Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 361 ISLINGTON STREET Case No: 2 Date: 11-2-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 93 PLEASANT STREET (LU-21-183)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Commercial
- Land Area: 11,325 SF +/-
- Estimated Age of Structure: c.1818
- Building Style: Federal
- Historical Significance: Focal
- Public View of Proposed Work: View from Pleasant and Court Streets
- Unique Features: Focal Building and Historic Stone Wall along Court Street
- Neighborhood Association: Downtown

B. Proposed Work: To remove and restore historic wall.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This historically significant and focal building is located along the intersection of Pleasant and Court Streets. It is surrounded with many wood-frame 2 - 2.5 story contributing structures. The Langdon Mansion, another focal building and setting is located across the street.

J. Background, Comments & Suggested Actions:

The Applicant is seeking to:

- Modify the stairwell and elevator overrun and siding material
- Remove the existing historic wall and replace it in-kind once construction of the new structure is complete.

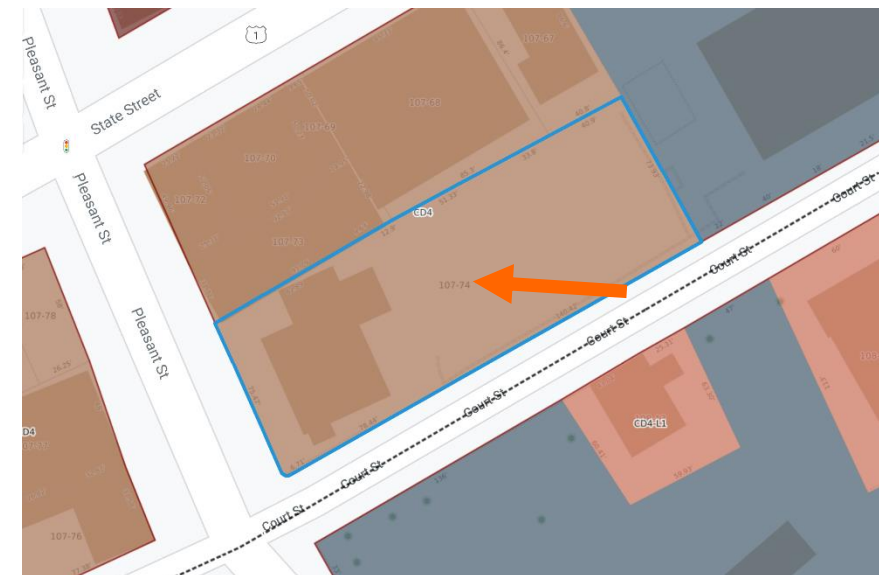
NOTE THAT GIVEN THE LEVEL OF HISTORICAL SIGNIFICANCE AND PUBLIC CONCERN FOR THE EXISTING WALL ALONG COURT STREET, THIS WAS POSTED AND ADVERTISED AS A PUBLIC HEARING.

Design Guideline Reference: Guidelines for Small-Scale New Construction and Additions (10)

K. Aerial Images and Maps:



Renderings of the Proposed Addition and Connector Buildings



Zoning Map

**HISTORIC
SURVEY
RATING**

F

93 PLEASANT STREET (LU-21-183) – PUBLIC HEARING #3 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – REMOVE HISTORIC WALL & MODIFY APPURTENANCES & SIDING MATERIAL –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
	CONTEXT	8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Storm Windows / Screens / Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 93 PLEASANT ST. Case No.: 3 Date: 11-2-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | |
|--|---|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|---|---|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 15 MOUNT VERNON ST. (LU-19-126)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #4

A. Property Information - General:

Existing Conditions:

- Zoning District: General Residential District B (GRB)
- Land Use: Single-Family
- Land Area: 3,920SF +/-
- Estimated Age of Structure: c.1790 (relocated to the site)
- Building Style: Cape
- Historical Significance: Contributing Structure
- Public View of Proposed Work: View from Mt. Vernon Street.
- Unique Features: Relocated from another lot in the 1950s
- Neighborhood Association: South End

B. Proposed Work: Ext. Request to add a dormer and second story over the garage.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- The building is located along Mount Vernon Street. It is surrounded with many wood-frame 1.5 - 2.5 story contributing structures with little to no setbacks from the sidewalk/ street edge.

J. Background, Comments & Suggested Actions:

- The Applicant is seeking to:
 - i. Increase the height of the existing garage.
 - ii. Andersen 400 Series Windows are proposed
 - iii. A large shed dormer is proposed in the attic of the garage on the rear elevation.
 - iv. The garage door will be replaced

NOTE THAT THIS APPLICATION HAS ALREADY HAD TWO EXTENSION REQUESTED GRANTED, THUS, A NEW PUBLIC HEARING WAS REQUIRED BUT THE PROJECT DESIGN HAS NOT CHANGED.

• **Design Guideline Reference: Guidelines for Roofing (04) and Windows & Doors (08)**

K. Aerial Images and Maps:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

15 MOUNT VERNON STREET – PUBLIC HEARING #4 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
STAFF		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	<h3 style="margin: 0;">MODERATE PROJECT</h3> <h4 style="margin: 0;">– ADD A SECOND STORY OVER GARAGE & ADD REAR DORMER ONLY –</h4>					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
	7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS		PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Storm Windows / Screens / Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 15 MOUNT VERNON Case No.: 4 Date: 11-2-22

Decision: Approved Approved with Stipulations Denied Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

J. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Address: 1 & 31 RAYNES AVE. (LUHD-234)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #E

Existing Conditions:

- Zoning District: CD4
- Land Use: Vacant / Gym
- Land Area: 2.4 Acres +/-
- Estimated Age of Structure: c.1960s
- Building Style: Contemporary
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To construct a 4 story mixed-use building and 5 story hotel.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building(s) is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings and replace them with two multi-story buildings including a hotel and a mixed-use building with ground floor commercial and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- **NOTE THAT WE ARE EXPECTING REVISED PLAN TO BE SUBMITTED AND DISTRIBUTED BY NOVEMBER 2ND. SUCH PLANS SHOULD ADDRESS THE STATED CONCERNS REGARDING THE DETAILS FOR THIS BUILDING AND SITE DESIGN.**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Mixed-Use and Hotel Building Renderings



Zoning Map

HISTORIC SURVEY RATING

C

1 & 31 RAYNES AVE. (LU-21-54) – PUBLIC HEARING #E (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT - CONSTRUCT A 4 STORY MIXED-USE BUILDING AND 5 STORY HOTEL -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 1 & 31 Raynes Ave. Case No.: E Date: 11-9-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- 1. Preserve the integrity of the District: Yes No
- 2. Assessment of the Historical Significance: Yes No
- 3. Conservation and enhancement of property values: Yes No
- 4. Maintain the special character of the District: Yes No
- 5. Complement and enhance the architectural and historic character: Yes No
- 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: Yes No

I. Review Criteria / Findings of Fact:

- 1. Consistent with special and defining character of surrounding properties: Yes No
- 2. Compatibility of design with surrounding properties: Yes No
- 3. Relation to historic and architectural value of existing structure: Yes No
- 4. Compatibility of innovative technologies with surrounding properties: Yes No

Historic District Commission

Project Address: 553-559 ISLINGTON ST. (LU22-180)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #5

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L2
- Land Use: Multi-Family
- Land Area: 8,712 SF +/-
- Estimated Age of Structure: c.1860
- Building Style: Greek Revival
- Historical Significance: Contributing
- Public View of Proposed Work: View from Islington and Cass Streets
- Unique Features: NA
- Neighborhood Association: Islington Creek

B. Proposed Work: To install a new 2 ½ story rear addition.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished/ Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located Islington Street and is surrounded with many contributing structures as well as more recent commercial intrusions into the district. The neighborhood is predominantly 2 – 2 ½ story wood-sided structures on narrow lots with little to no setback from the sidewalk.

J. Background, Comments & Suggested Action:

- The applicant was requested to redesign the dormer, rear entryway and some other elements that were changed during construction.

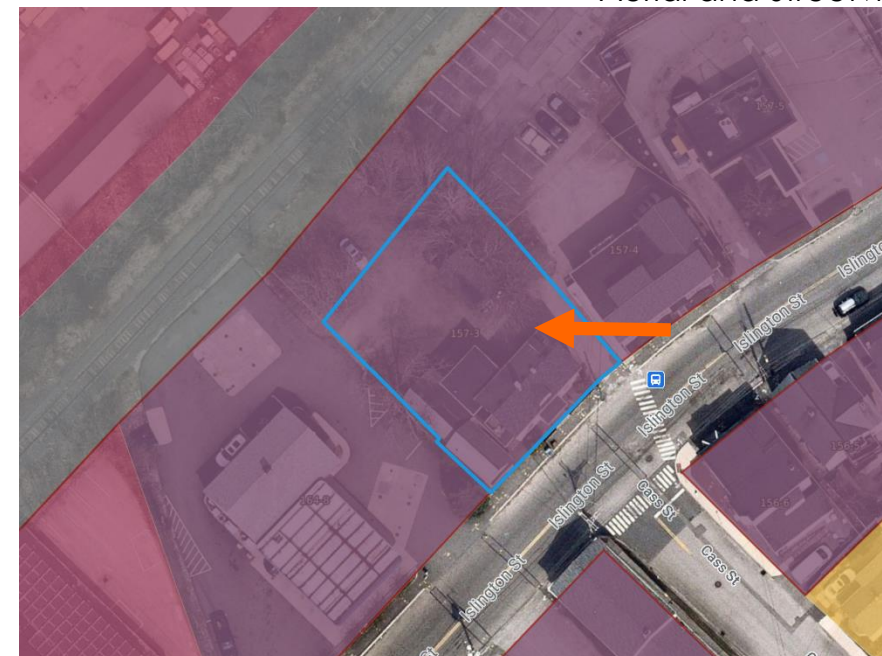
NOTE THAT THIS APPLICATION WAS PARTIALLY APPROVED AT THE OCTOBER MEETING BUT THE COMMISSION REQUESTED SOME OF THE DESIGN CHANGES TO EITHER REVERT TO THE PREVIOUSLY-APPROVED DESIGN OR BE PRESENTED AS MODIFICATIONS UNDER A PUBLIC HEARING.

Design Guideline Reference – Guidelines Small Scale New Construction and Additions (10).

K. Aerial Images and Maps:



Aerial and Streetview Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

553-559 ISLINGTON STREET (LU-22-180) – PUBLIC HEARING #5 (MODERATE PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
STAFF	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT</p> <p>- MODIFICATIONS TO A PREVIOUSLY-APPROVED DESIGN -</p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS					HDC SUGGESTIONS
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	25	Storm Windows / Screens / Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	SITE DESIGN	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
32		Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
33		Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
34		Garages/ Barns/ Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
35		Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
36		Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40		Screening/ Enclosures (i.e. sheds, dumpsters...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 553-559 Islington St. Case No.: 5 Date: 11-9-22

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 95 DANIEL ST. (LUHD-530)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Mixed-Use
- Land Area: 1,682 SF +/-
- Estimated Age of Structure: c.1850 (95) & c.1960 (99)
- Building Style: Gothic Revival
- Number of Stories: 2.0
- Historical Significance: C
- Public View of Proposed Work: View from Daniel St.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To demolish and replace the existing structures.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- These buildings are located along Daniel St. The properties are surrounded with many historically significant structures. The structures in this neighborhood have little to no setbacks along the street and narrow side yards and deeper rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Demolish the two existing historic structures;
- Replace the structures with a two-unit townhouse building
- Two building design options are provided for discussion and feedback.

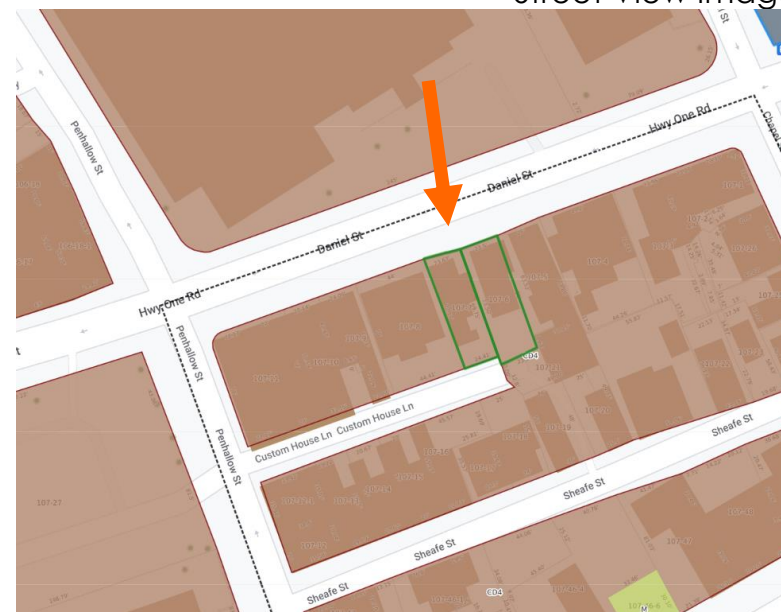
NOTE THAT DEMOLITION OF THE TWO EXISTING HISTORIC STRUCTURES IS INTEGRAL TO APPROVAL OF THE PROPOSED PROJECT DESIGN. THUS, A SITE WALK WILL BE HELD ON NOVEMBER 2ND TO REVIEW THE EXISTING STRUCTURES.

Design Guideline Reference – Guidelines for Small Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:



Street View Image & Proposed Elevation



Zoning Map

**HISTORIC
SURVEY
RATING**

C

95 DANIEL ST. (LUHD-530) – WORK SESSION #1 (MODERATE)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT - DEMOLITION AND REPLACEMENT OF TWO EXISTING STRUCTURES -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 95 DANIEL ST. Case No: 1 Date: 11-9-22
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |



10/28/2022

LU-22-183

Land Use Application

Status: Active**Date Created:** Aug 31, 2022**Applicant**

R. Timothy Phoenix
tphoenix@hpgrlaw.com
127 Parrott Avenue
Portsmouth, NH 03801
603-766-9102

Primary Location

324 MAPLEWOOD AVE
Portsmouth, NH 03801

Owner:

NEILA LLC
31 DENNETT ST PORTSMOUTH, NH 03801

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

--

Project Type**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval****Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)**Request for Extension of Previously Granted Land Use Approval**

**CONTENTS, HDC PUBLIC HEARING APPLICATION FOR PROPOSED REMODEL OF
EXISTING GARAGE BUILDING AT #324 MAPLEWOOD AVE., PORTSMOUTH, NH.**

***2-Narrative**

***3-Existing and Proposed Conditions, Site Plan, approved by Board of
Adjustment.**

***4- Photographs, Existing Conditions and from 1980's.**

***5-Existing Conditions, Floor Plan.**

***6-Proposed Conditions, Floor Plan.**

***7-Proposed Front and Right Side Elevations.**

***8-Proposed Left Side and Rear Elevations.**

***9-Window, Door Schedule and Details.**

PROPOSED REMODEL TO GARAGE AT #324 MAPLEWOOD AVE., PORTSMOUTH, NH. 10.11.2022.

NARRATIVE

This property has (2) structures on it. A house, used for commercial purposes, with an Apartment, and a large Garage. The Tax card information suggests the date of the structures is 1948. This would seem to be correct in regard to the Garage, certainly by its appearance shown in a 1980's photograph. However a house of similar size and orientation occurs on the 1850 map of Portsmouth. There is a building shown on the 1813 map, but it appears different to the existing.

Nicole Abshier, who lives at the neighboring property at 31 Dennett St., has purchased this property to have some control over the effects of development of the Garage to her primary property. However, as an adjoining neighbor she seeks to improve the appearance of the existing structure.

Substantial work has already been done to the structure. New support to the roof, and an exterior stud frame to the original concrete block walls, to carry the existing clapboards.

It is proposed to convert the existing Garage to a One Bedroom Residential Unit, with a one car Garage, altering and enhancing its original utility as a shed roofed, secondary, commercial structure. The proposed change of use was approved by the Board of Adjustment at their 9.27.2022 meeting.

ZONING SUMMARY

ZONE: CD4-L2 (CHARACTER DISTRICT 4) - PRINCIPAL BUILDING (RETAIL), OUTBUILDING (GARAGE - TO BE CONVERTED TO RESIDENCE W/INTERIOR PARKING SPACE)
 EXISTING LOT AREA: 3,560 S.F.± (0.08 AC.±)

DIMENSIONAL REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	3,000 S.F.	±3,560 S.F.	±3,560 S.F.
MIN. LOT AREA PER DWELLING UNIT:	3,000 S.F.	±3,560 S.F.	±1,780 S.F. *
MIN. STREET FRONTAGE:	—	±106' (EX.) (DENNETT)	±106' (EXISTING)
MIN. LOT DEPTH:	—	±25'± (EX.) (DENNETT)	±25' (EXISTING)
FRONT SETBACK:	15'/12' MAX.	0'±6.2'(EX.)	0' (EX. RETAIL)/±6.2' (EX. GARAGE)
SIDE SETBACK:	5'	±1.0'/0'(EX.)	±1.0' (EX. GARAGE)/0' (RETAIL)
REAR SETBACK:	5'	±5.47' (EX.)	±5.47' (EX. GARAGE)
MAX. HEIGHT:	20'/35'	<20' (EX.)/<35' (EX.)	<20' (EX. GARAGE) / <35' (EX. RETAIL/APT.)
MAX. BUILDING COVERAGE:	60%	±49% (EX.) (±1,751 SF)	±49% (±1,751 S.F.)
MIN. OPEN SPACE:	25%	±7.7% (±275 SF)	±7.7% (±275 SF)

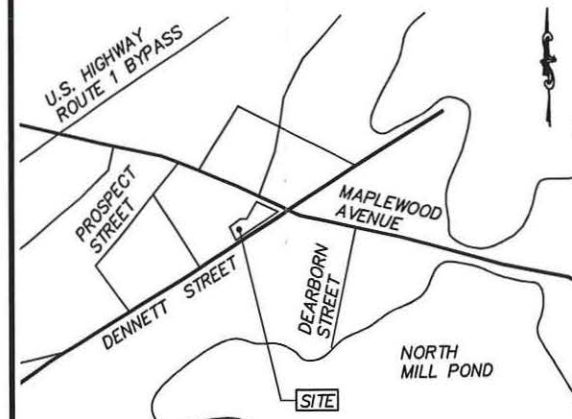
* ZONING RELIEF REQUIRED

PLAN REFERENCES:

- "STANDARD PROPERTY SURVEY & SITE PLAN" DATED 10/2/09, BY EASTERLY SURVEYING, INC.
- PORTSMOUTH G.I.S. (MAPGEO) DATA BASE.
- SITE OBSERVATIONS BY ALTUS ENGINEERING, INC. AUGUST 2022.

NOTE A:

THE TWO EXISTING PARKING SPACES AT RETAIL ARE UNDERSIZED FUNCTIONAL SPACES.



LOCUS NOT TO SCALE

EXHIBIT A



NOT FOR CONSTRUCTION

ISSUED FOR: BOARD OF ADJUSTMENT

ISSUE DATE: SEPTEMBER 9, 2022

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	08/31/22
1	REVISED SETBACKS	EDW	09/09/22

DRAWN BY: _____ RLH
 APPROVED BY: _____ EDW
 DRAWING FILE: _____ 5319.dwg

SCALE:
 11" x 17" - 1" = 10'

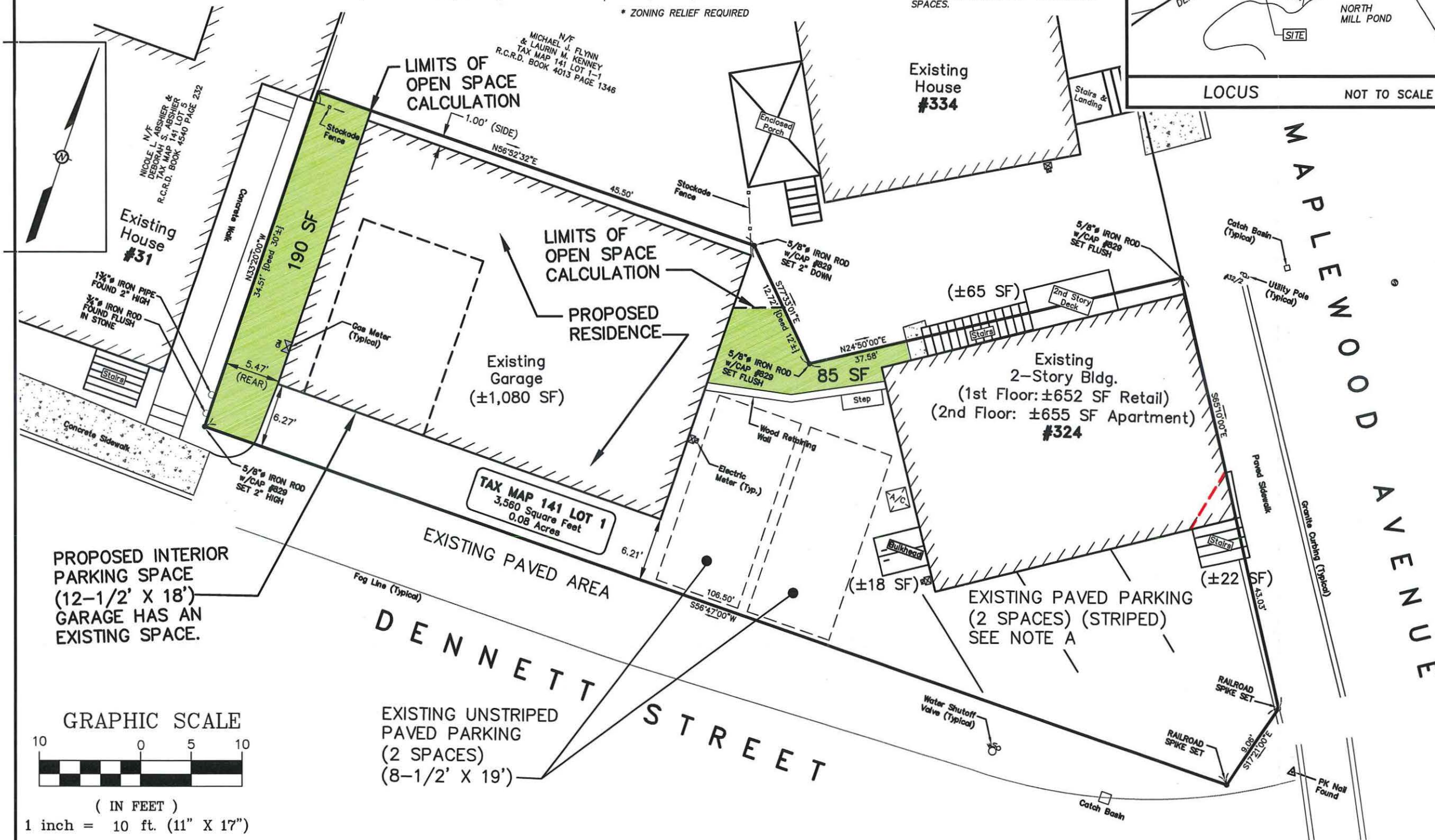
OWNER/APPLICANT:
 NEILA, LLC
 31 DENNETT STREET
 PORTSMOUTH, NH 03801

PROJECT:
 SITE IMPROVEMENTS

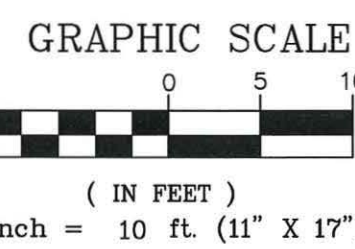
TAX MAP 141, LOT 1
 324 MAPLEWOOD AVENUE
 PORTSMOUTH, NH

TITLE:
 BOARD OF ADJUSTMENT
 SITE PLAN

SHEET NUMBER:
 1 of 1



PROPOSED INTERIOR PARKING SPACE (12-1/2' X 18') GARAGE HAS AN EXISTING SPACE.



TAX MAP 141 LOT 1
 3,560 Square Feet
 0.08 Acres



EXISTING CONDITIONS VIEW (FROM DENNETT ST.)

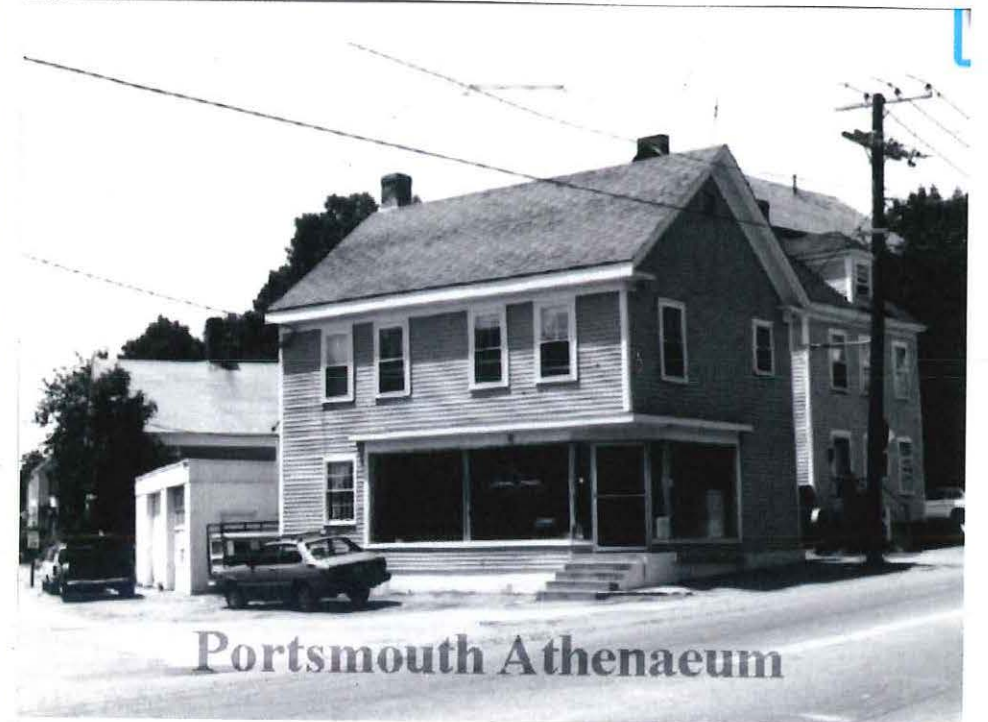
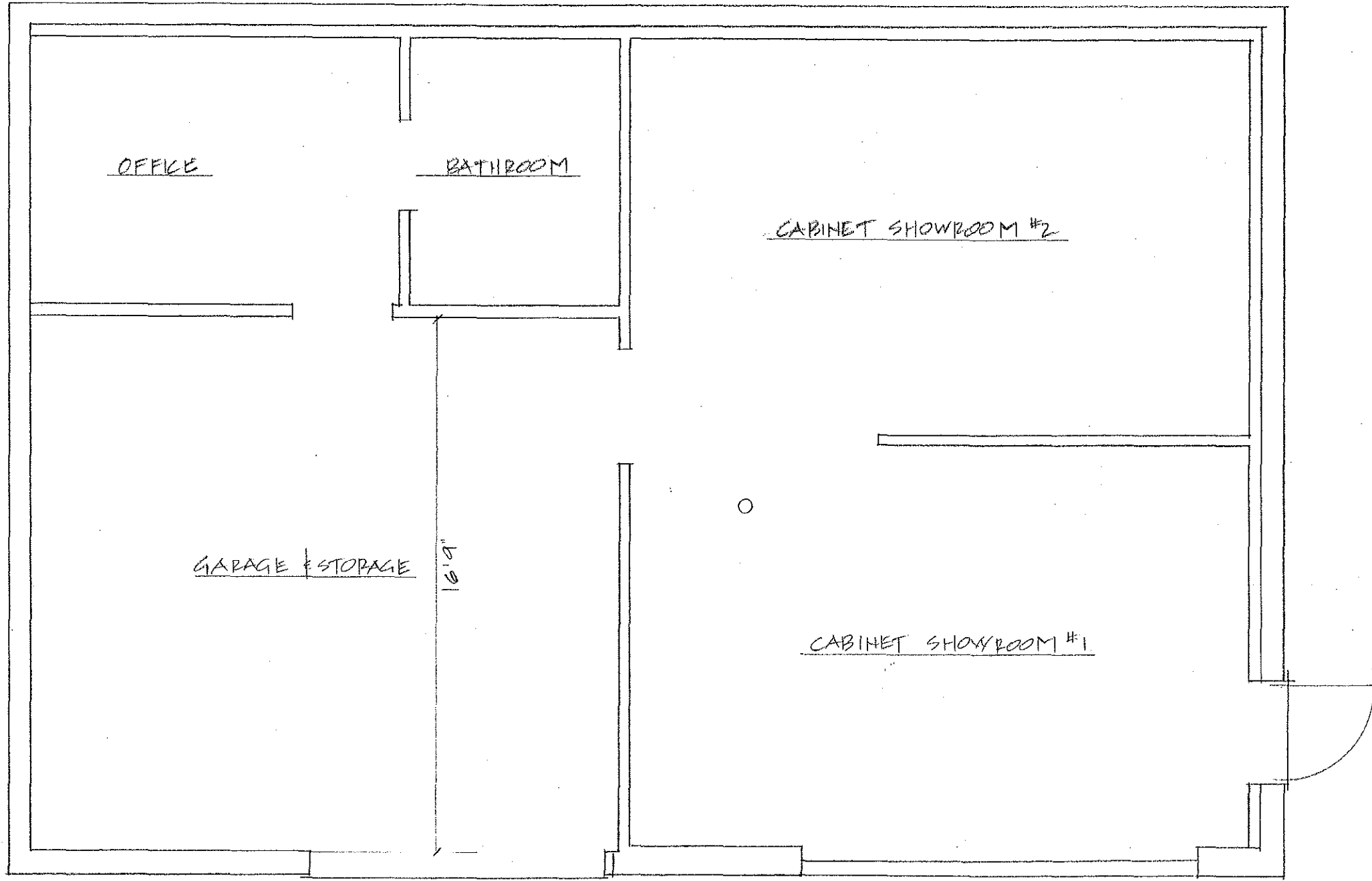
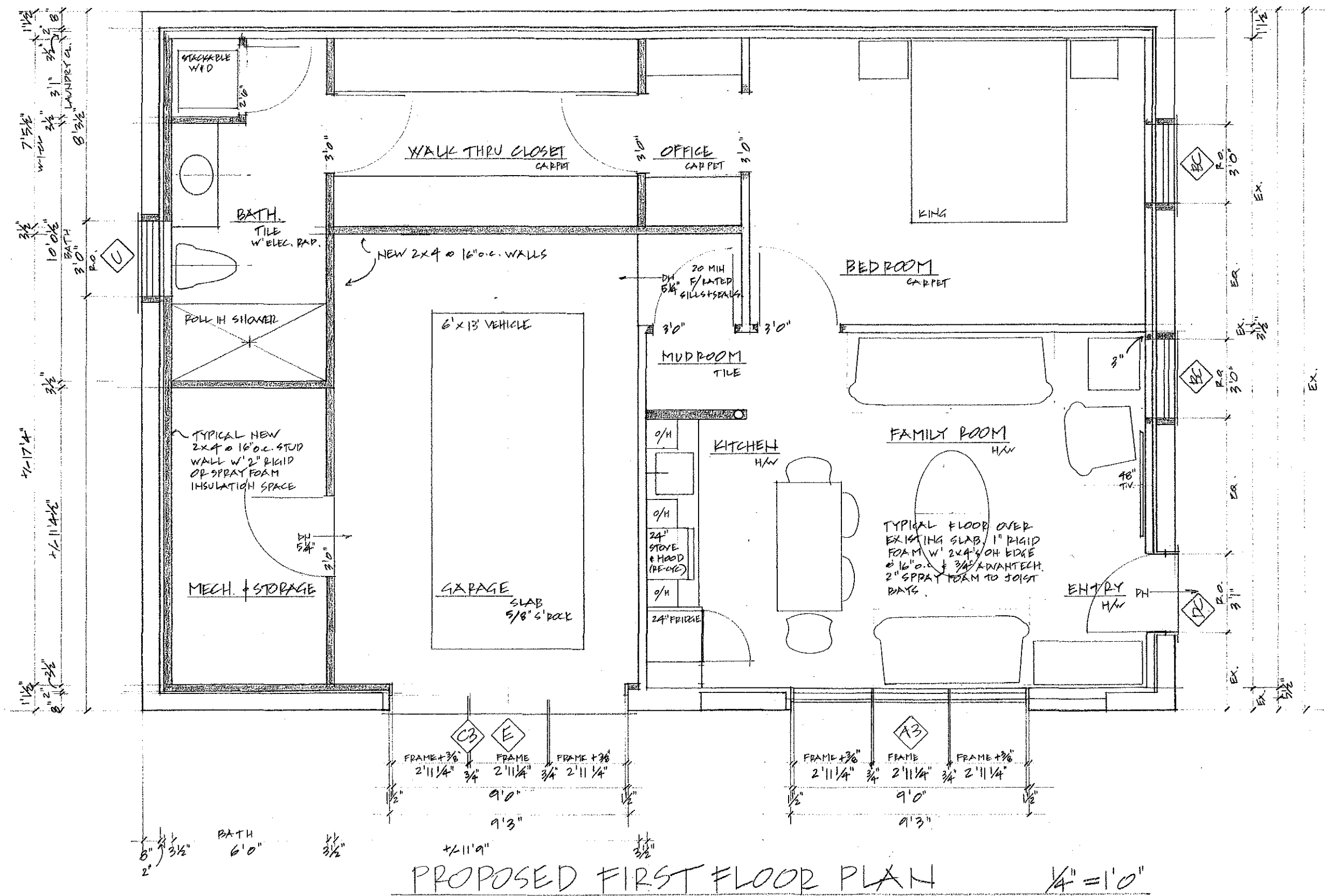


PHOTO FROM 1980'S (FROM PORTSMOUTH HISTORICAL SURVEY)



EXISTING FIRST FLOOR PLAN 1/4" = 1'0"

PROPOSED REMODEL TITLE: EXISTING CONDITIONS PLAN
 TO GARAGE AT SCALE: 1/4" = 1'0"
 324 MAPLEWOOD AVE., DATE: 8.30.2022
 PORTSMOUTH, NH. REVISIONS:
 X 5.



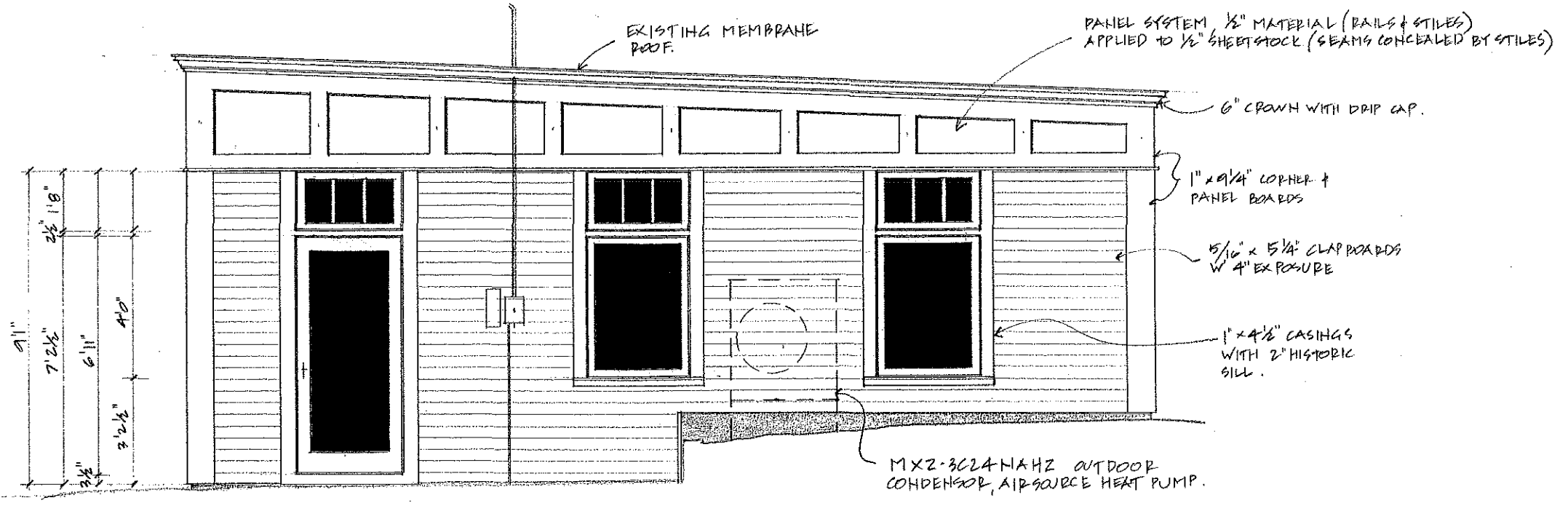
PROPOSED FIRST FLOOR PLAN 1/4" = 1'0"

PROPOSED REMODEL TITLE: PROPOSED FIRST FLOOR PLAN
 TO GARAGE AT SCALE: 1/4" = 1'0"
 324 MAPLEWOOD AVE., DATE: 8.30.2022
 PORTSMOUTH, NH REVISIONS:



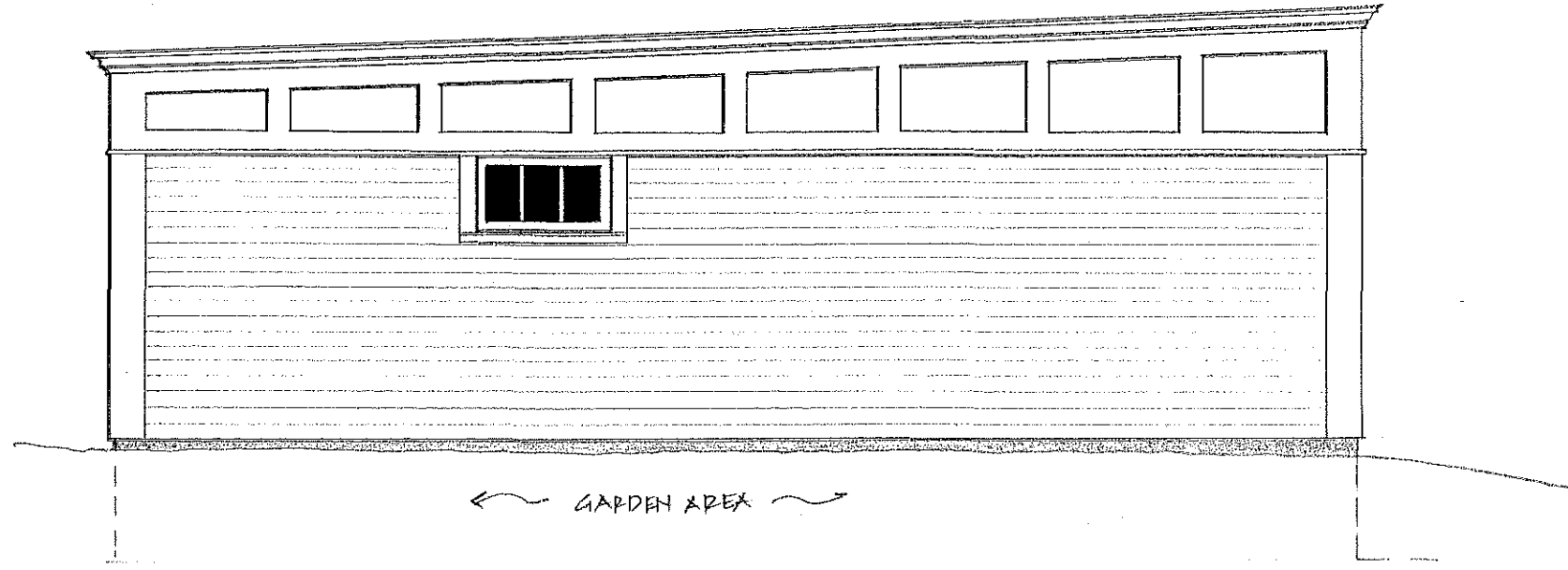
STREET VIEW

* ALL EXTERIOR TRIM TO BE LP SMARTSIDE OR Boral TRU EXTERIOR PRODUCTS AS PER PRODUCT INSTALL INSTRUCTIONS.

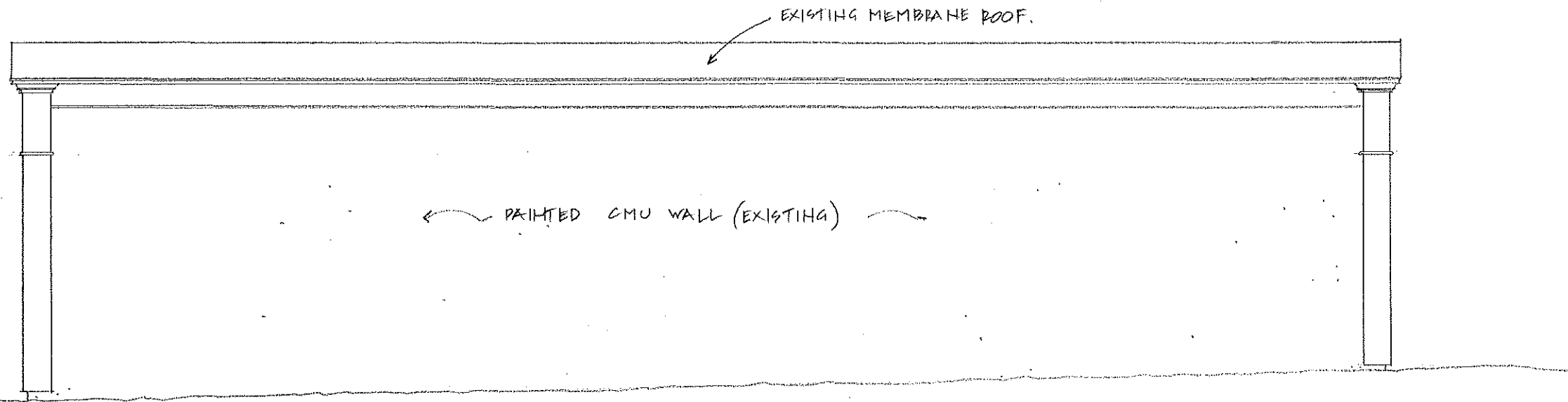


RIGHT SIDE VIEW

TITLE: PROPOSED FRONT & LEFT SIDE
 SCALE: 1/4" = 1'0"
 DATE: 10.5.2022
 REVISIONS:
 PROPOSED REMODEL
 TO GARAGE AT
 324 MAPLEWOOD AVE.,
 PORTSMOUTH, NH.



LEFT SIDE VIEW



REAR VIEW

TITLE : PROPOSED LEFT & REAR SIDES

SCALE : 1/4" = 1'0"

DATE : 10.5.2022

REVISIONS :

PROPOSED REMODEL

TO GARAGE AT

324 MAPLEWOOD AVE.,

PORTSMOUTH, NH.

EXTERIOR DOOR & WINDOW SCHEDULE, 324 MAPLEWOOD AVE, PORTSMOUTH, NH

No.	P.O. (WxH)	HEAD HT. OFF SWL	LITE PATTERN	ANDERSEN A SERIES WOOD WINDOW	NOTES	JAMB SIZE	QTY.
A3	9'0" x 6'6 1/2"	9'1"	SEE ELEV.	3W ATF1830 OVER 3W ACW 304B	FIXED TRANSOMS OVER CASEMENTS (L,IF,R). 3/4" SPACERS FOR VERTICAL. 2 1/2" SPACER TO HORIZONTAL	4 9/16"	(1)
BC	3'0" x 5'10 1/2"	9'1"	3/1	ATF1830 OVER ACW 3040	FIXED TRANSOM OVER CASEMENTS (RIGHT HINGE) 2 1/2" SPACER TO HORIZONTAL. SET TO FACE OF INTERIOR 2x6 WALL.	4 9/16"	(2)
C3	9'0" x 1'8"	9'1"	3X 3X1	3W ATF1830	FIXED TRANSOMS WITH 3/4" VERTICAL SPACERS. TO BE SET OVER GARAGE DOOR WITH 1 3/4" x 5 1/2" LVL, HORIZONTAL "SILL"	4 9/16"	(1)
C	3'0" x 1'8"	9'1"	3X1	AA1830	AWNING TO BATH, SILL AT 7'5"	4 9/16"	(1)
DC	3'1" x 6'9 1/2"	9'1"	SEE ELEV.	ATF1830 OVER FWHP1811AL	TRANSOM TO FRENCH DOOR WITH 2 1/2" SPACER	6 9/16"	(1)
E	9'3" x 7'2 1/2"	-	SEE ELEV.	-	FLAT PANEL, SHAKER STYLE WITH 1/2" SHOULDER, PAINTED CUSTOM DOOR, BY CARRIAGE DOORS NH. (ANDREX NEUBAUER) AS PER ELEVATION, AT INTERIOR WALL	6 9/16"	(1)

EXTERIOR COLOR: CANNAS. INTERIOR: PAINTED WHITE

GRILLS: SDL WITH SPACER BARS, 3/4"

HARDWARE: WHITE. SCREENS TO ALL OPERABLE



10/28/2022

LU-22-195

Land Use Application

Status: Active

Date Created: Sep 28, 2022

Applicant

Derek Durbin
derek@durbinlawoffices.com
144 Washington Street
Portsmouth, NH 03801
603-287-4764

Primary Location

361 ISLINGTON ST
Portsmouth, NH 03801

Owner:

LUCKY THIRTEEN PROPERTIES LLC
PO BOX 300 RYE, NH 03870-0300

Applicant Information

Please indicate your relationship to this project

F. Applicant's Representative Filing on behalf of C., D. or E. above

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

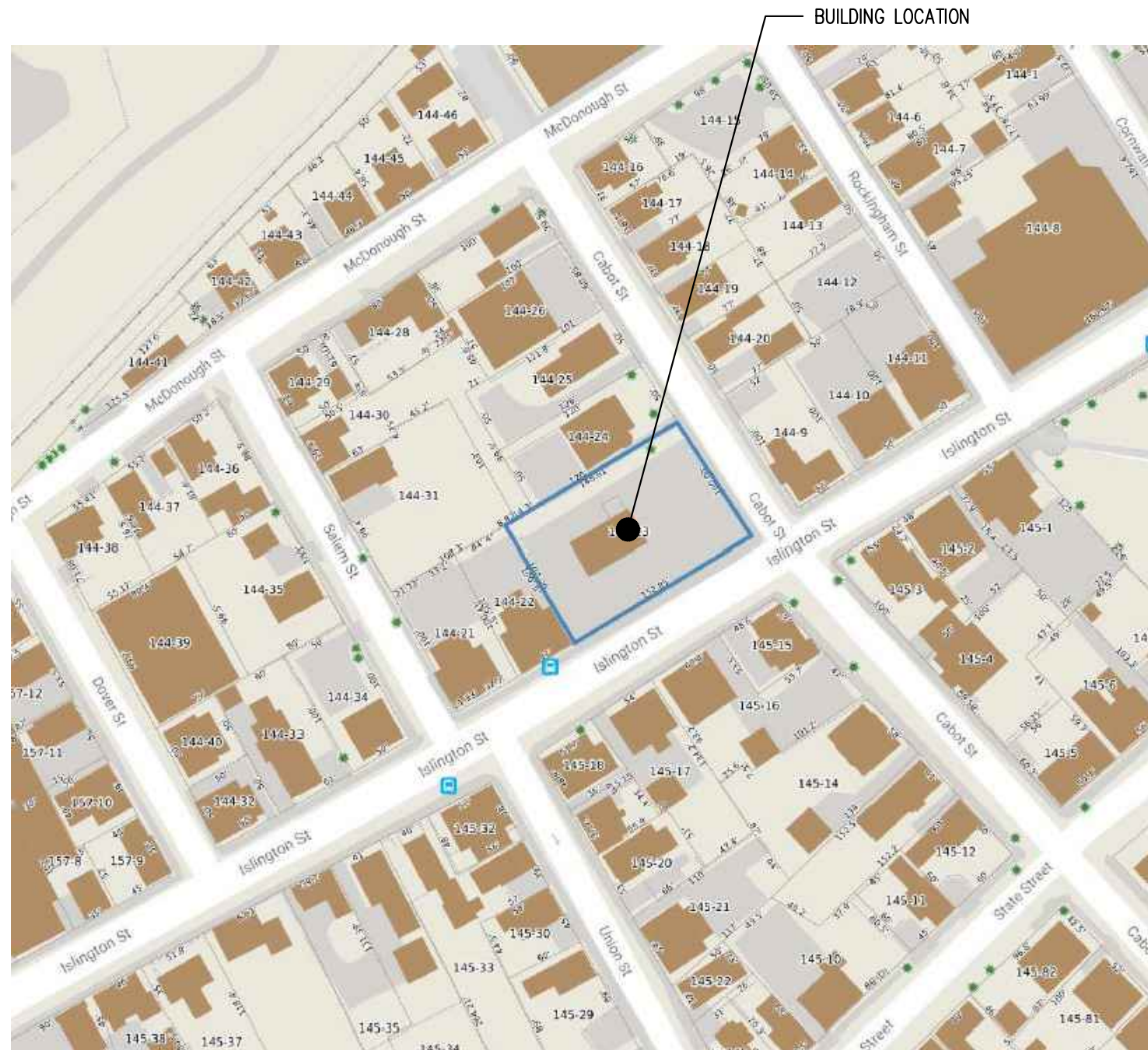
Request for Extension of Previously Granted Land Use Approval

THE GETTY

361 ISLINGTON STREET
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING - 10/05/2022

PREVIOUS SUBMISSIONS:
WORK SESSION - 09/07/2022

SITE LOCATION MAP:



DESIGN INTENT:

- TRANSFORM THE FORMER GAS STATION / FORMER OUTDOOR FOOD TRUCK COURT INTO A FULL SERVICE RESTAURANT WITH INDOOR AND OUTDOOR SEATING.
- ADD TO THE VITALITY OF ISLINGTON STREET WITH THE ADDITION OF A PUBLIC GATHERING SPACE.
- CONSTRUCT A SMALL ADDITION TO THE WEST OF THE EXISTING STRUCTURE TO REPLACE A LARGE GLAZED GARAGE DOOR TO CREATE A BUFFER TO THE NEIGHBORING PROPERTY.
- CONSTRUCT AN ADDITION TO THE NORTH OF THE EXISTING STRUCTURE TO PROVIDE SPACE FOR KITCHEN, COOLING EQUIPMENT, AND NEW RESTROOMS FOR THE RESTAURANT.
- ALTER THE EXISTING CANOPY TO CREATE OUTDOOR SEATING AREAS THAT ARE BOTH FULLY COVERED AND PARTIALLY COVERED.
- LANDSCAPING AND PLANTERS WILL BE CONSTRUCTED TO CREATE A BUFFER BETWEEN THE SEATING AND STREETScape AREAS.
- EXISTING WINDOWS AND DOORS WILL BE REPAIRED AND/OR REPLACED. NEW WOOD AND METAL CLADDING WILL BE INSTALLED OVER PORTIONS OF THE EXISTING CONCRETE BLOCK. OTHER AREAS OF CONCRETE BLOCK SHALL BE PAINTED.
- A FENCE WILL BE PROVIDED ALONG THE NORTH RETAINING WALL AS A BUFFER BETWEEN THE PARKING AND THE NEIGHBORING PROPERTY.

DRAWING INDEX:

GENERAL

- T0.1 TITLE SHEET
- T1.0 EXISTING SITE PHOTOS

EXISTING DRAWINGS

- AE1.0 EXISTING SITE PLAN
- AE1.1 EXISTING FLOOR PLAN
- AE2.0 EXISTING ELEVATIONS
- AE2.1 EXISTING ELEVATIONS

ARCHITECTURAL DRAWINGS

- A1.0 PROPOSED SITE PLAN
- A1.1 PROPOSED FLOOR PLAN
- A2.0 PROPOSED ELEVATIONS
- A2.1 PROPOSED ELEVATIONS
- A5.0 SECTIONS AND DETAILS
- A7.0 DOOR AND WINDOW TYPES
- A8.0 PERSPECTIVE IMAGES
- A8.1 BEFORE/AFTER IMAGES
- A9.0 MATERIAL INSPIRATION
- A9.1 PRODUCT DATA

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:

KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:

THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801

PROJECT NO.:

22063

DRAWN BY:

BH, RW

APPROVED BY:

BH

ISSUE DATE: 2022/09/16

DRAWING NAME:

Cover

SCALE:

DRAWING NO.:

T0.1



EXISTING EAST ELEVATION



EXISTING NORTH EAST BUILDING CORNER



EXISTING NORTH WEST BUILDING CORNER



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING SOUTH ELEVATION

THE GETTY
 361 ISLINGTON STREET
 PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:

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7 WALLINGFORD SQ
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 KITTERY, MAINE 03904
 207.994.3104

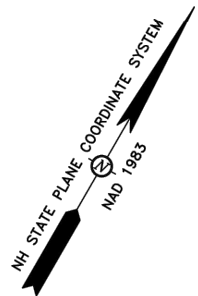
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THE GETTY
 361 ISLINGTON ST.
 PORTSMOUTH, NH 03801
 PROJECT NO.: 22063
 DRAWN BY: BH, RW
 APPROVED BY: BH
 ISSUE DATE: 2022/09/16
 DRAWING NAME:
EXISTING PHOTOS

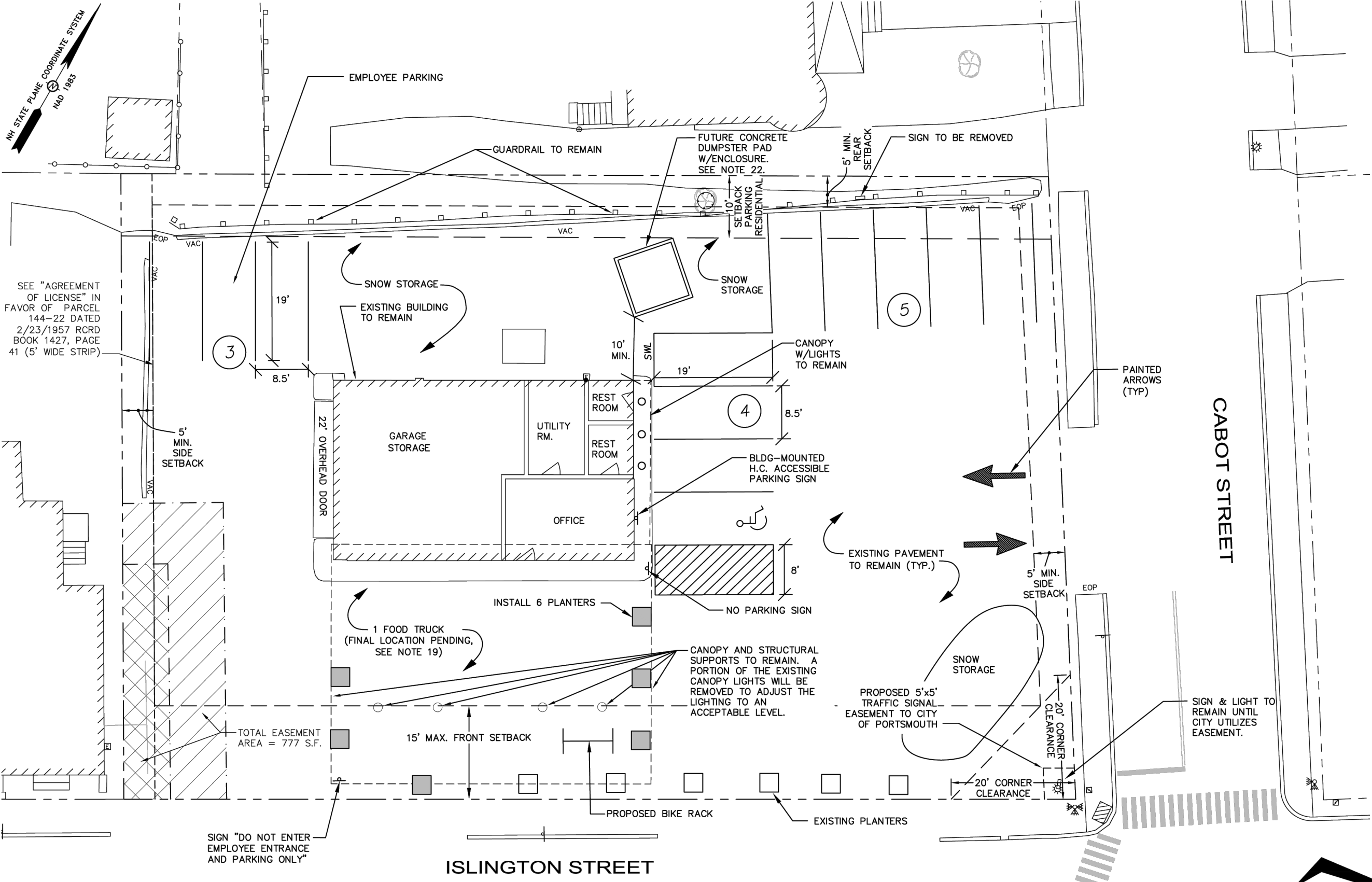
SCALE:

DRAWING NO.:

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SEE "AGREEMENT OF LICENSE" IN FAVOR OF PARCEL 144-22 DATED 2/23/1957 RCRD BOOK 1427, PAGE 41 (5' WIDE STRIP)

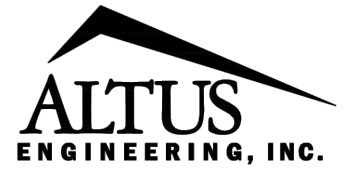


ISLINGTON STREET

CABOT STREET

EXISTING SITE PLAN
SCALE: 1/16"=1'-0"

AE1.0 1



133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

WINTER HOLBEN
architecture + design

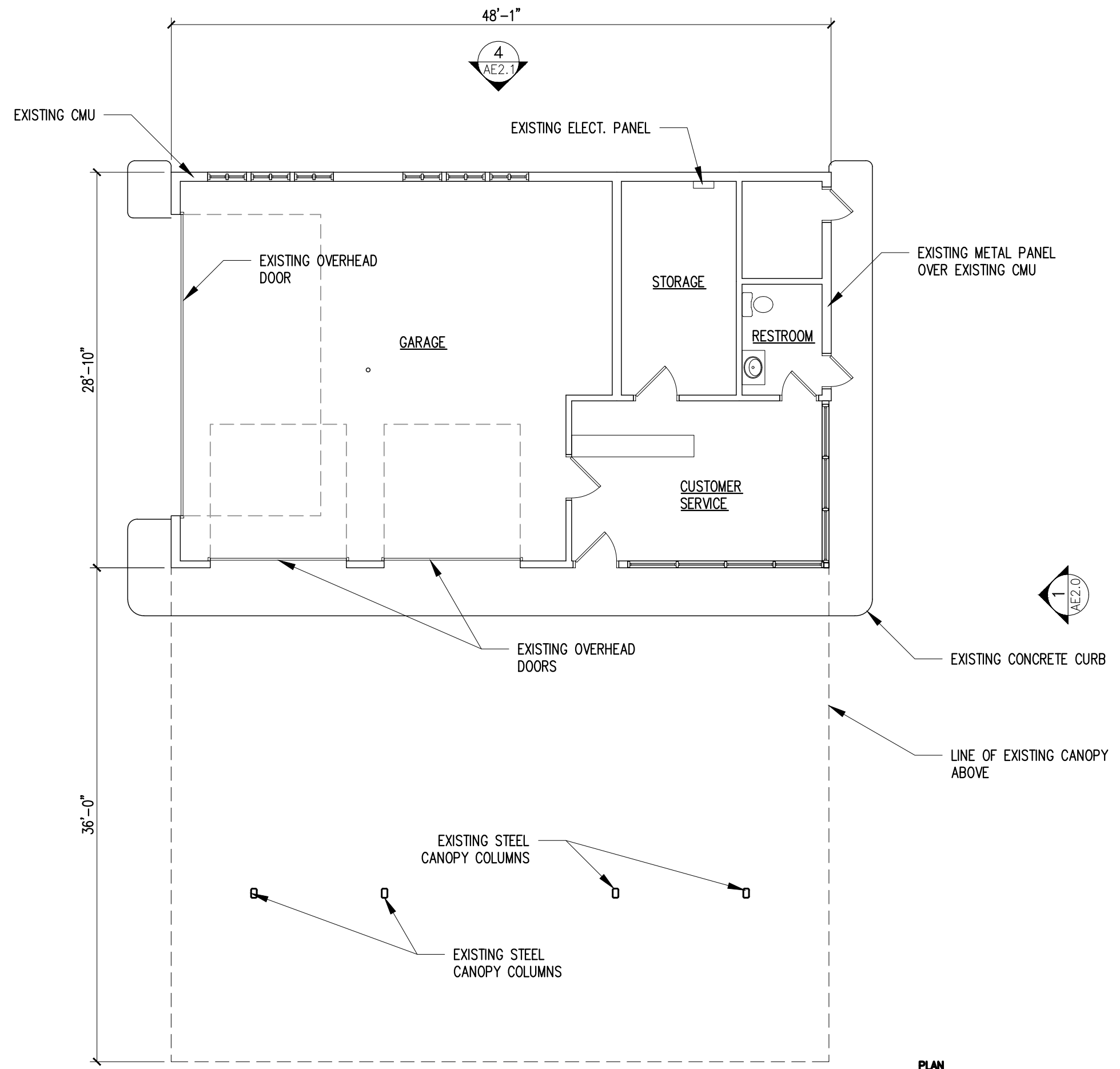
7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME: THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME: EXISTING SITE PLAN

SCALE:
DRAWING NO.:

AE1.0



THE GETTY
 361 ISLINGTON STREET
 PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
 KEY:

**WINTER
 HOLBEN**
 architecture + design

7 WALLINGFORD SQ
 UNIT 209-9
 KITTERY, MAINE 03904
 207.994.3104

REVISIONS:

PROJECT NAME:
 THE GETTY
 361 ISLINGTON ST.
 PORTSMOUTH, NH 03801
 PROJECT NO.: 22063
 DRAWN BY: BH, RW
 APPROVED BY: BH
 ISSUE DATE: 2022/09/16

DRAWING NAME:
 EXISTING FLOOR PLAN

SCALE:
 DRAWING NO.:

AE1.1

EXISTING FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AE1.1

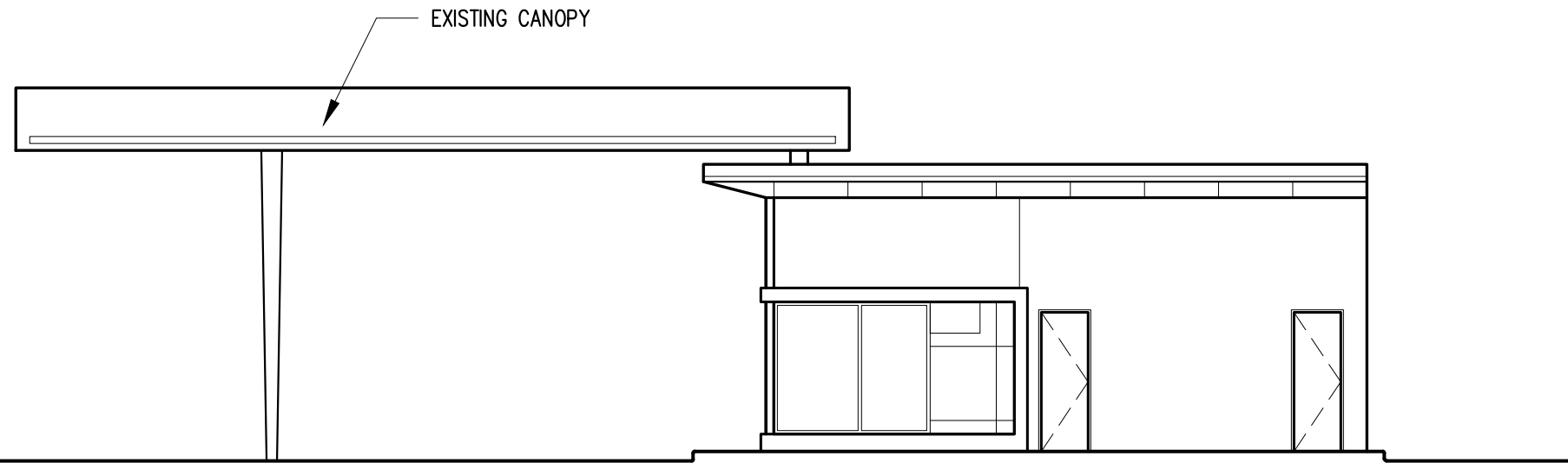


⊕ TOP OF CANOPY
ELEV = +17'-5"

⊕ TOP OF ROOF
ELEV = +13'-9"

⊕ FIRST FLOOR
ELEV = +0'-0"

⊕ GRADE
ELEV = (-0'-5 1/2")



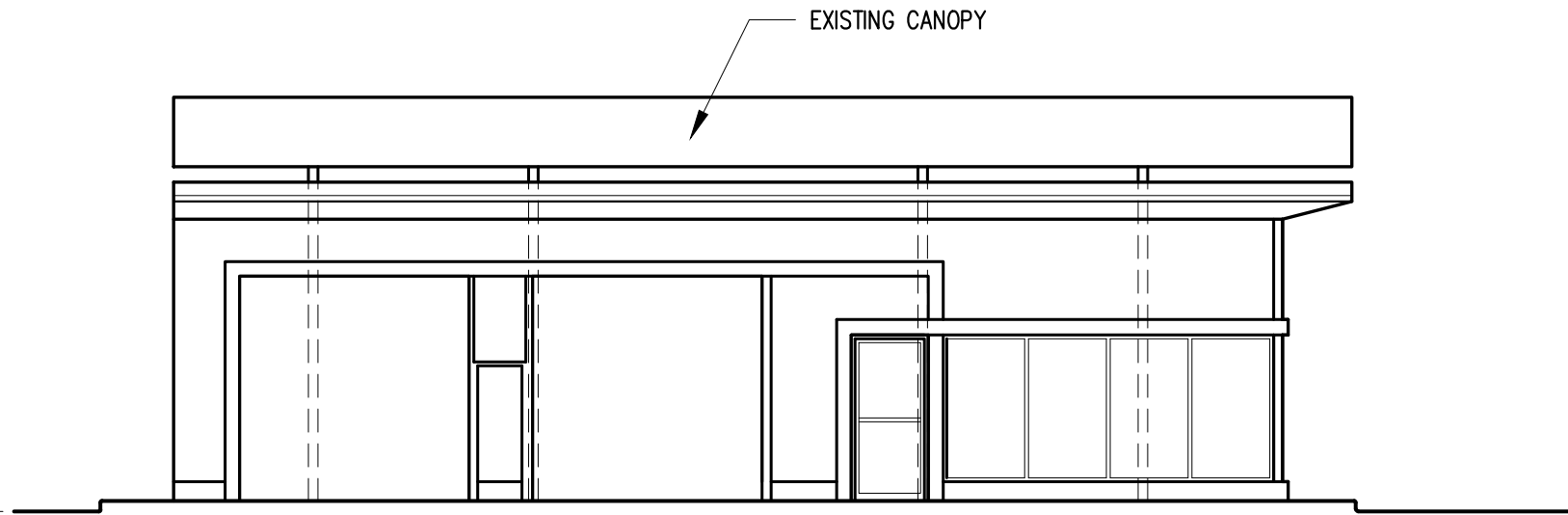
EXISTING EAST ELEVATION
SCALE: 1/8"=1'-0" AE2.0 1

⊕ TOP OF CANOPY
ELEV = +17'-5"

⊕ TOP OF ROOF
ELEV = +13'-9"

⊕ FIRST FLOOR
ELEV = +0'-0"

⊕ GRADE
ELEV = (-0'-5 1/2")



EXISTING SOUTH ELEVATION
SCALE: 1/8"=1'-0" AE2.0 2

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

REVISIONS:

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THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801

PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16

DRAWING NAME:
EXISTING
ELEVATIONS

SCALE:
DRAWING NO.:

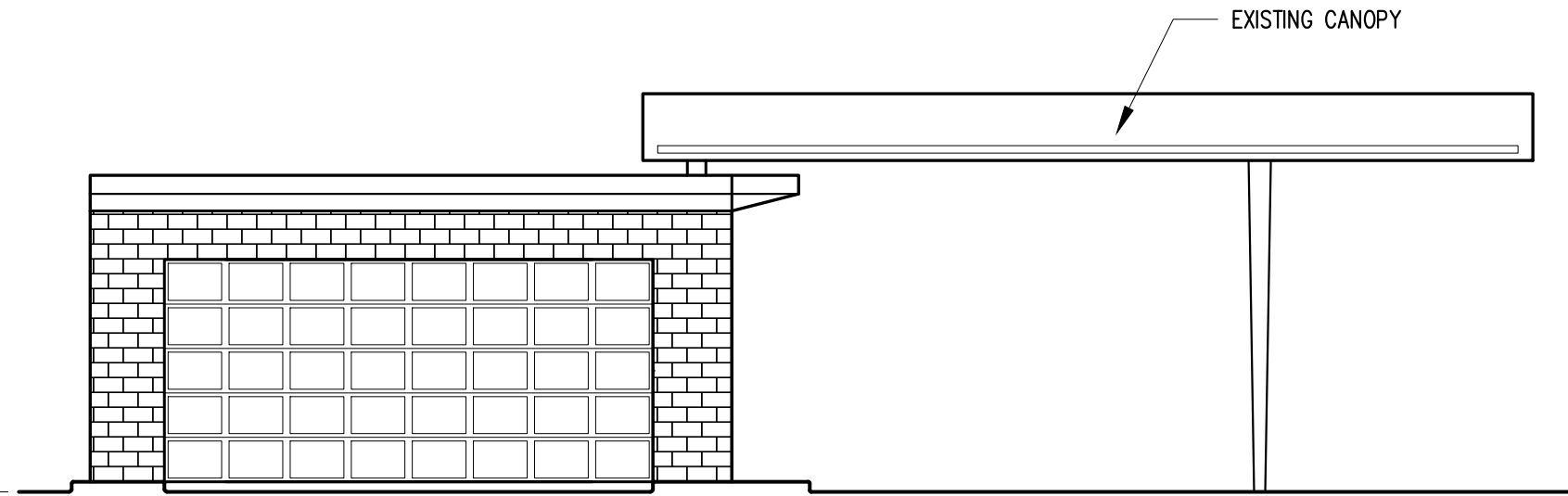
AE2.0

⊕ TOP OF CANOPY
ELEV = +17'-5"

⊕ TOP OF ROOF
ELEV = +13'-9"

⊕ FIRST FLOOR
ELEV = +0'-0"

⊕ GRADE
ELEV = (-0'-5 1/2")



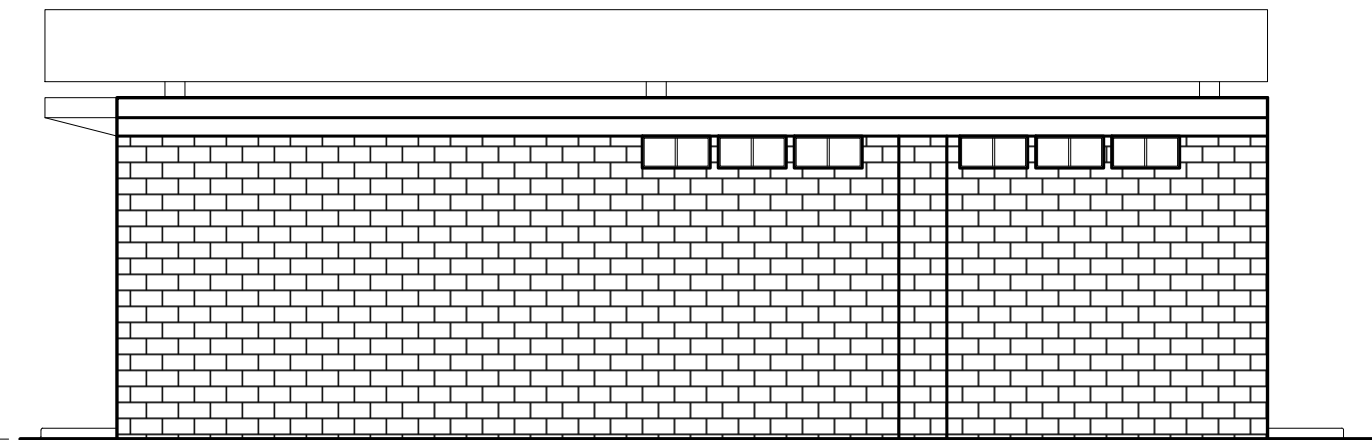
EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0" AE2.0 3

⊕ TOP OF CANOPY
ELEV = +17'-5"

⊕ TOP OF ROOF
ELEV = +13'-9"

⊕ FIRST FLOOR
ELEV = +0'-0"

⊕ GRADE
ELEV = (-0'-5 1/2")



EXISTING NORTH ELEVATION
SCALE: 1/8"=1'-0" AE2.0 4

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

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REVISIONS:

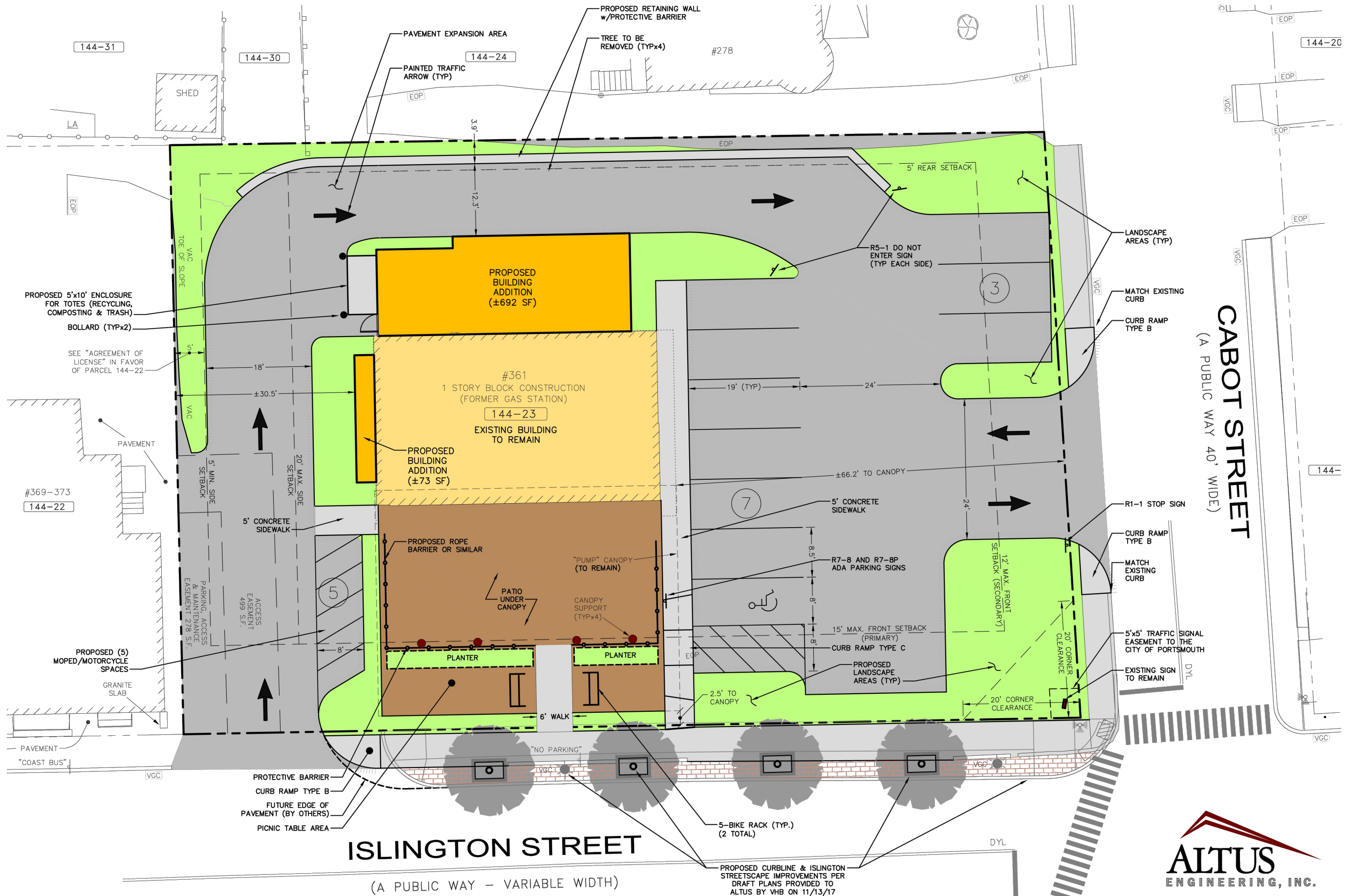
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THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801

PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME:

EXISTING
ELEVATIONS

SCALE:
DRAWING NO.:

AE2.1

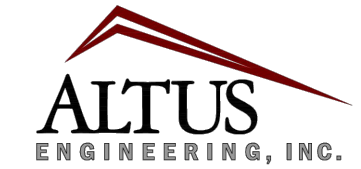


THE GETTY
 361 ISLINGTON STREET
 PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
 KEY:
WINTER HOLBEN
 architecture + design
 7 WALLINGFORD SQ
 UNIT 209-9
 KITTERY, MAINE 03904
 207.994.3104

REVISIONS:
 PROJECT NAME:
 THE GETTY
 361 ISLINGTON ST.
 PORTSMOUTH, NH 03801
 PROJECT NO.: 22063
 DRAWN BY: BH, RW
 APPROVED BY: BH
 ISSUE DATE: 2022/09/16
 DRAWING NAME:
PROPOSED SITE PLAN
 SCALE:
 DRAWING NO.:

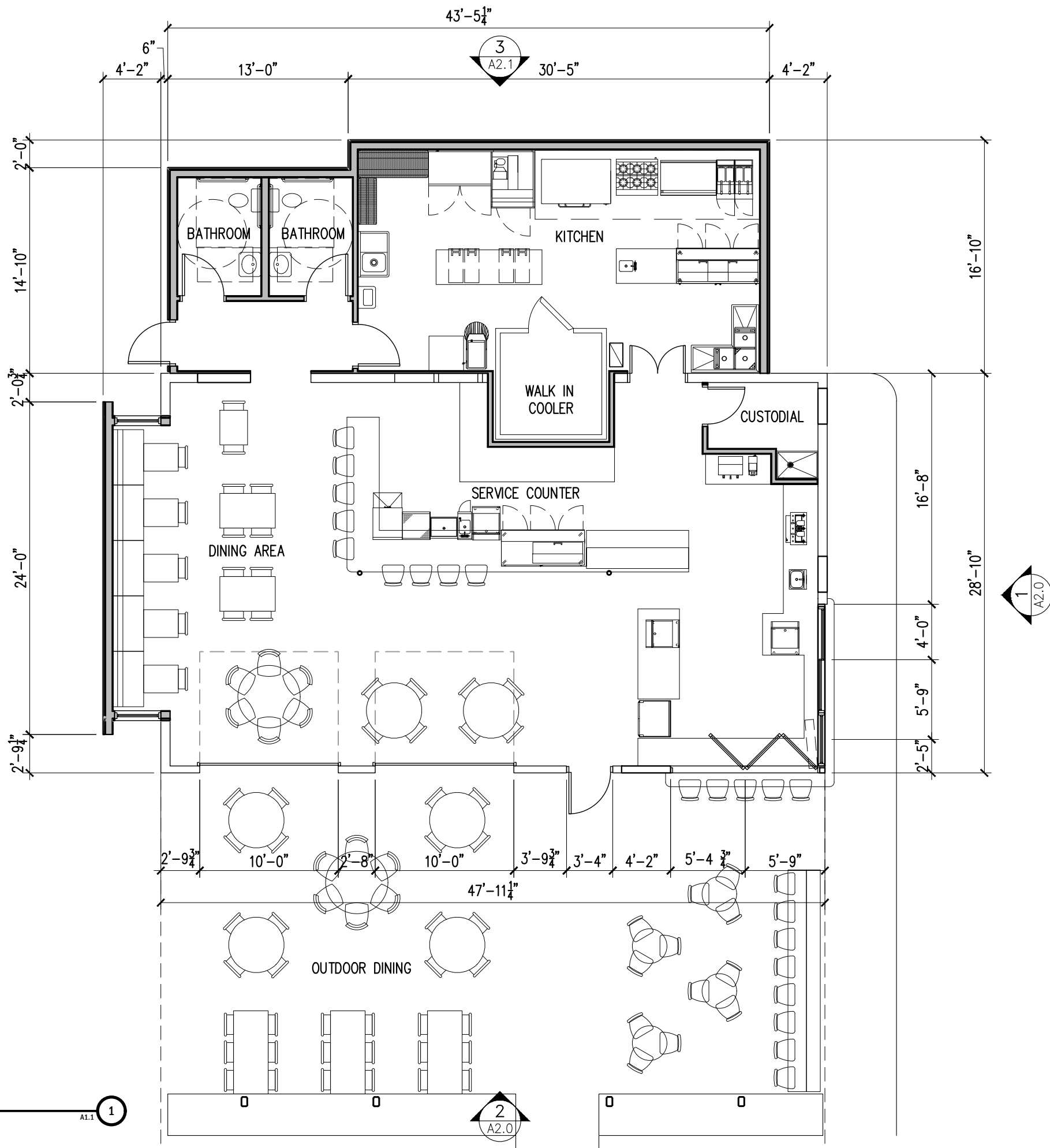
A1.0



133 Court Street
 (603) 433-2335
 Portsmouth, NH 03801
 www.altus-eng.com

ISLINGTON STREET
 (A PUBLIC WAY - VARIABLE WIDTH)

PROPOSED SITE PLAN
 SCALE: 1/16"=1'-0"
 1
 A1.0



PROPOSED FLOOR PLAN
SCALE: 1/8"=1'-0"

A1.1 1

2
A2.0

PLAN KEY NOTES:	
1	LINE OF EXISTING CANOPY ABOVE
2	FOLDING WINDOW TO EXTERIOR SEATING

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

WINTER HOLBEN
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTERY, MAINE 03904
207.994.3104

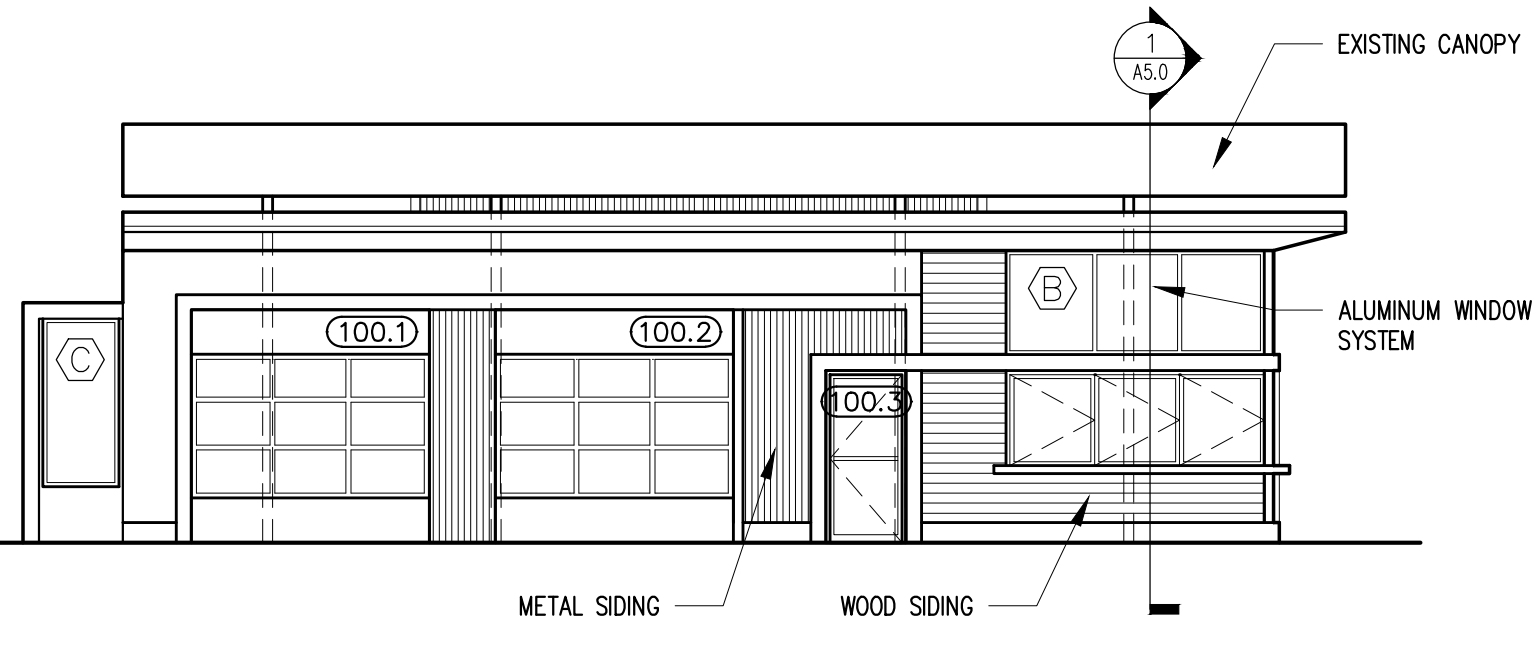
REVISIONS:

PROJECT NAME: THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME: PROPOSED FLOOR PLAN

SCALE:
DRAWING NO.:

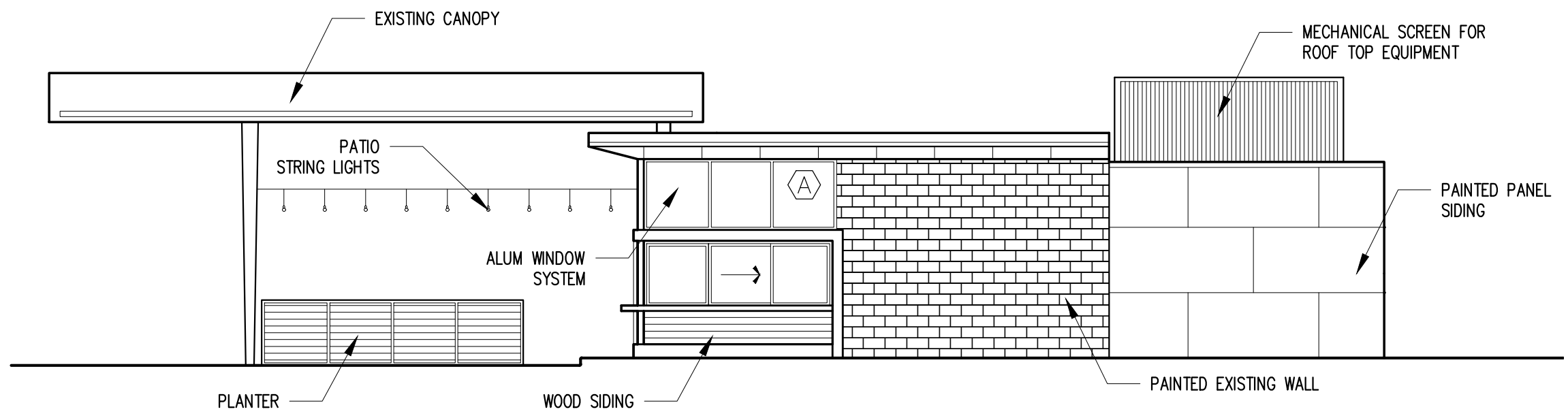
A1.1

- ⊕ TOP OF CANOPY
ELEV = +17'-5"
- ⊕ TOP OF SCREENING
ELEV = +17'-4"
- ⊕ TOP OF ROOF
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF
ELEV = +12'-0"
- ⊕ FIRST FLOOR
ELEV = +0'-0"
- ⊕ GRADE
ELEV = (-0'-5 1/2")



PROPOSED SOUTHEAST ELEVATION
SCALE: 1/8"=1'-0" A2.0 1

- ⊕ TOP OF CANOPY
ELEV = +17'-5"
- ⊕ TOP OF SCREENING
ELEV = +17'-4"
- ⊕ TOP OF ROOF
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF
ELEV = +12'-0"
- ⊕ FIRST FLOOR
ELEV = +0'-0"
- ⊕ GRADE
ELEV = (-0'-5 1/2")



PROPOSED NORTHEAST ELEVATION
SCALE: 1/8"=1'-0" A2.0 2

THE GETTY
 361 ISLINGTON STREET
 PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:
KEY:

**WINTER
HOLBEN**
architecture + design

7 WALLINGFORD SQ
UNIT 209-9
KITTEERY, MAINE 03904
207.994.3104

REVISIONS:

PROJECT NAME:
THE GETTY
361 ISLINGTON ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME:

**PROPOSED
ELEVATIONS**

SCALE:
DRAWING NO.:

A2.0

PROJECT:
 KEY:

**WINTER
 HOLBEN**
 architecture + design

7 WALLINGFORD SQ
 UNIT 209-9
 KITTERY, MAINE 03904
 207.994.3104

REVISIONS:

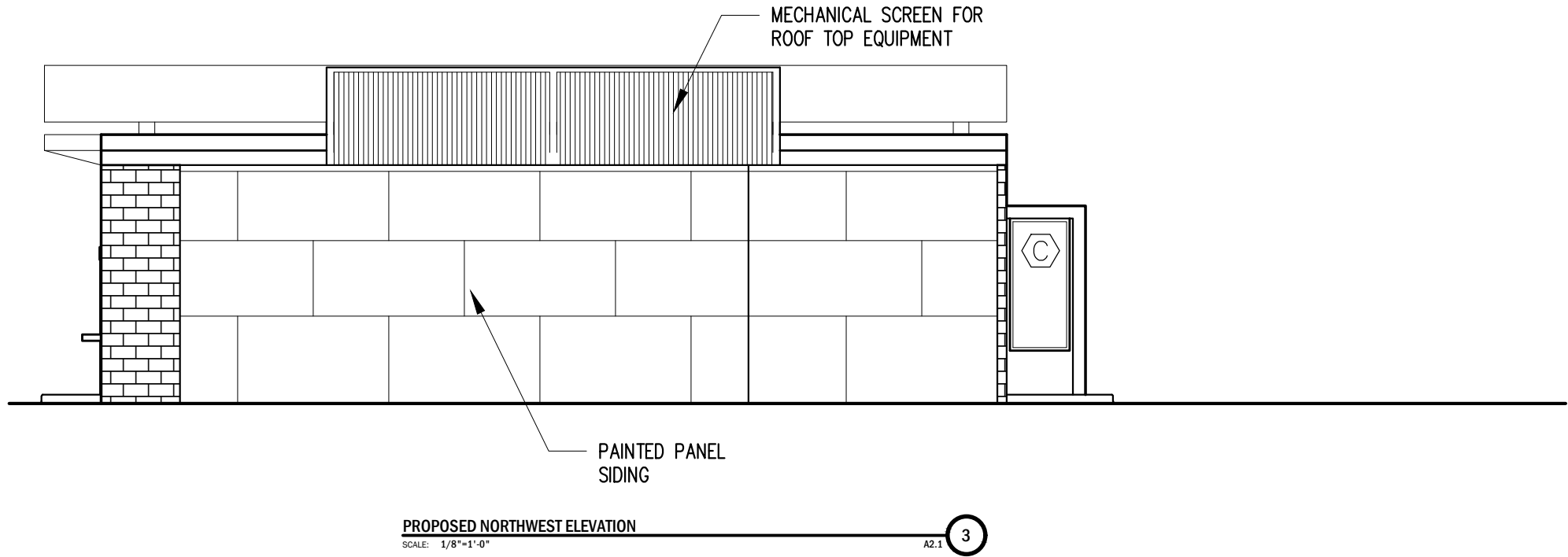
PROJECT NAME:
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 PORTSMOUTH, NH 03801
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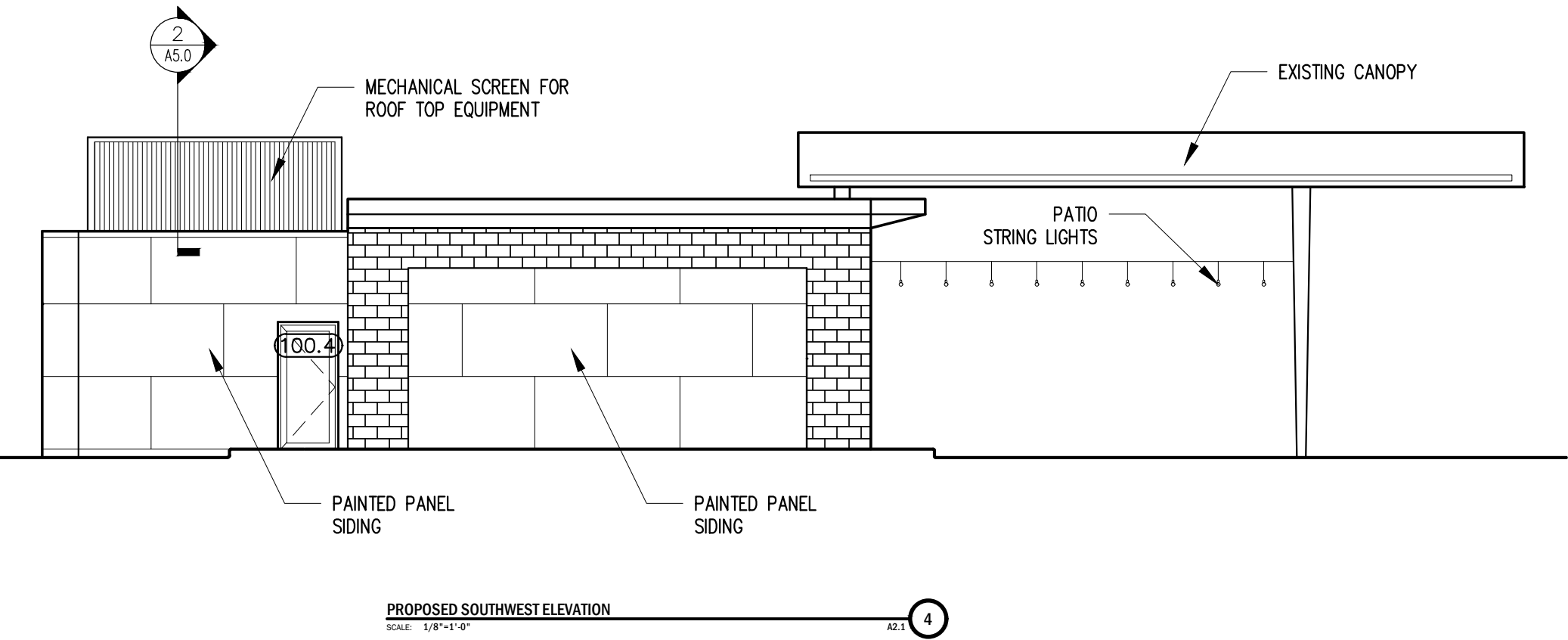
- ⊕ TOP OF CANOPY
ELEV = +17'-5"
- ⊕ TOP OF SCREENING
ELEV = +17'-4"
- ⊕ TOP OF ROOF
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF
ELEV = +12'-0"

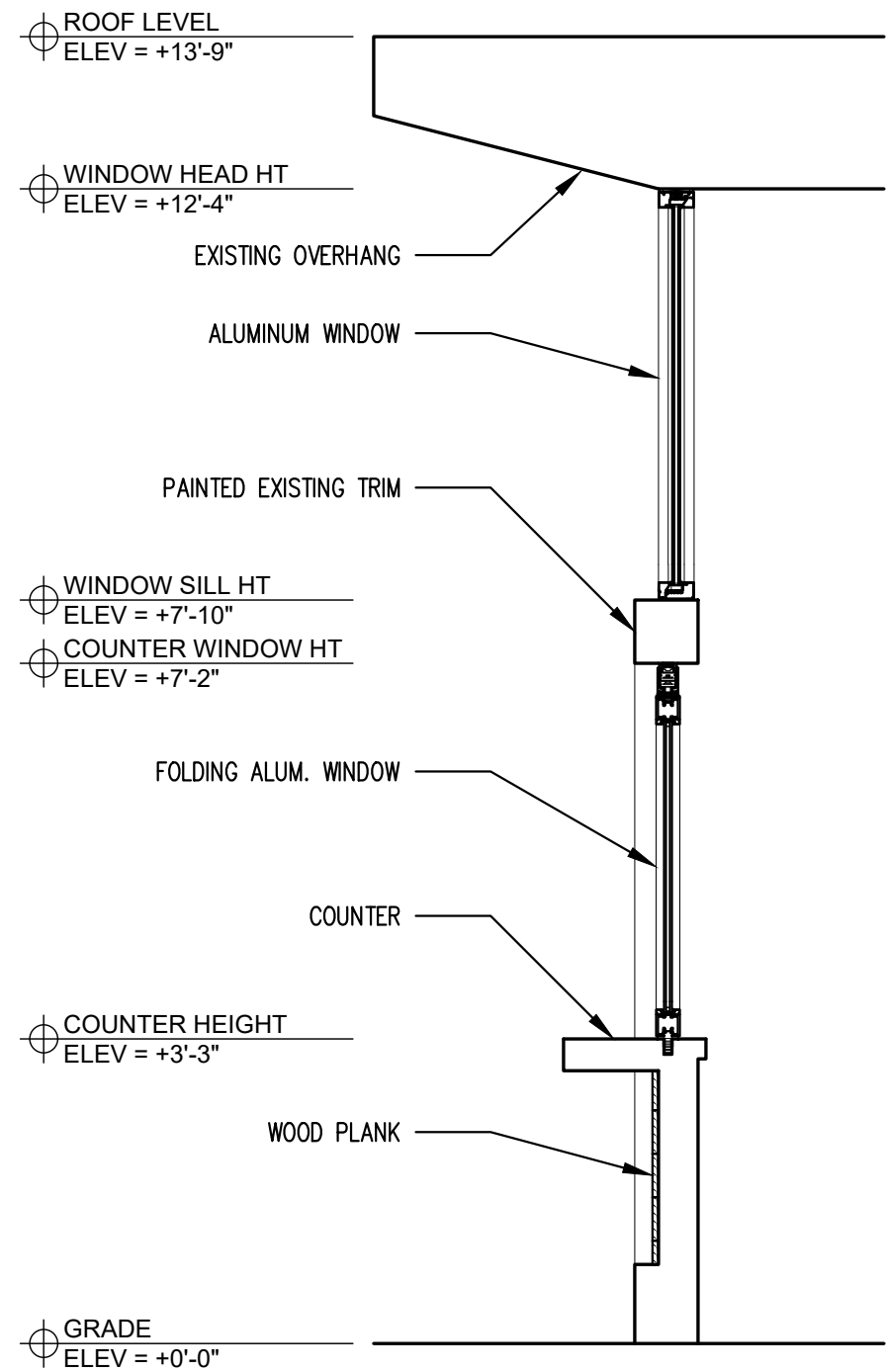
- ⊕ FIRST FLOOR
ELEV = +0'-0"
- ⊕ GRADE
ELEV = (-0'-5 1/2")



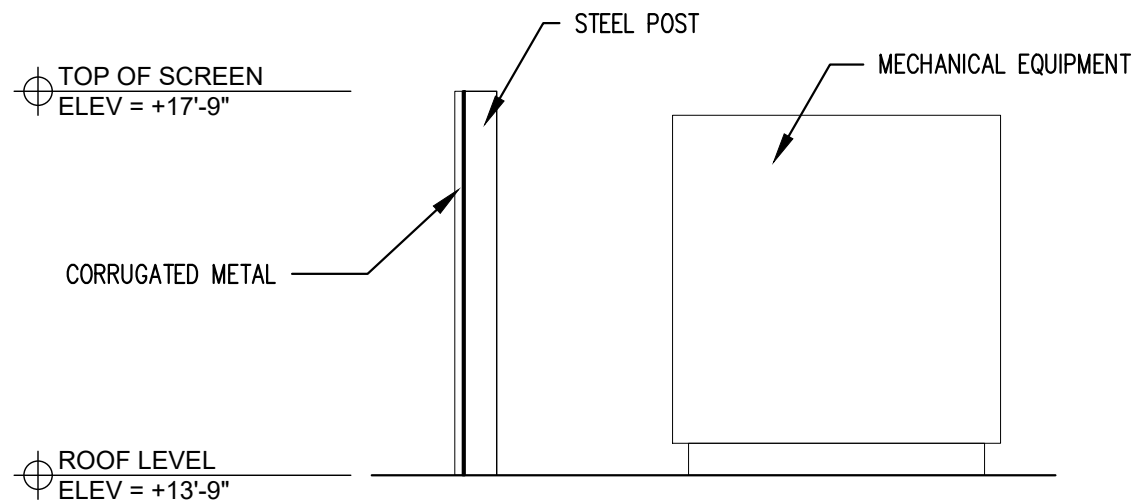
- ⊕ TOP OF CANOPY
ELEV = +17'-5"
- ⊕ TOP OF SCREENING
ELEV = +17'-4"
- ⊕ TOP OF ROOF
ELEV = +13'-9"
- ⊕ TOP OF ADDITION ROOF
ELEV = +12'-0"

- ⊕ FIRST FLOOR
ELEV = +0'-0"
- ⊕ GRADE
ELEV = (-0'-5 1/2")

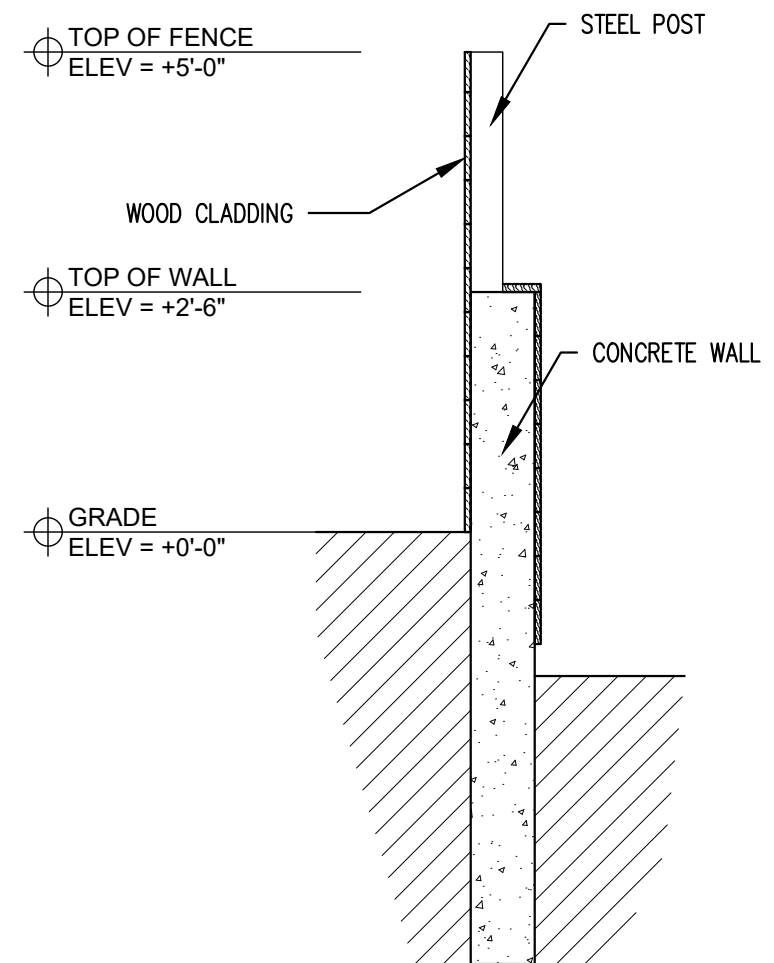




WALL SECTION 1
SCALE: 1/2"=1'-0" A5.0



ROOF SCREEN DETAIL 2
SCALE: 1/2"=1'-0" A5.0



FENCE DETAIL 3
SCALE: 1/2"=1'-0" A5.0

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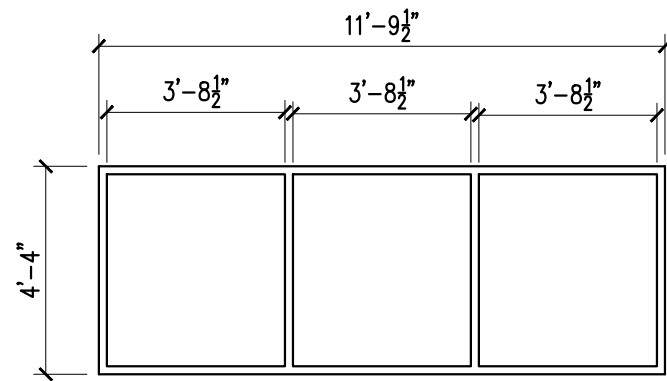
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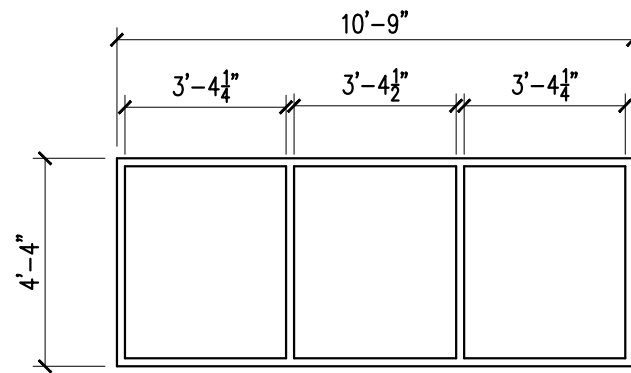
SECTIONS AND DETAILS

SCALE:
DRAWING NO.:

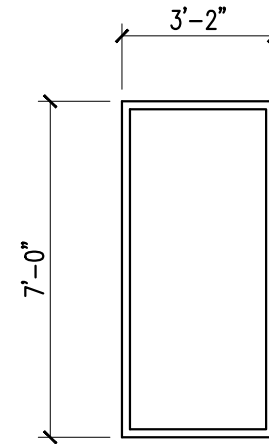
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A
ALUMINUM FRAME FIXED
WINDOW UNIT



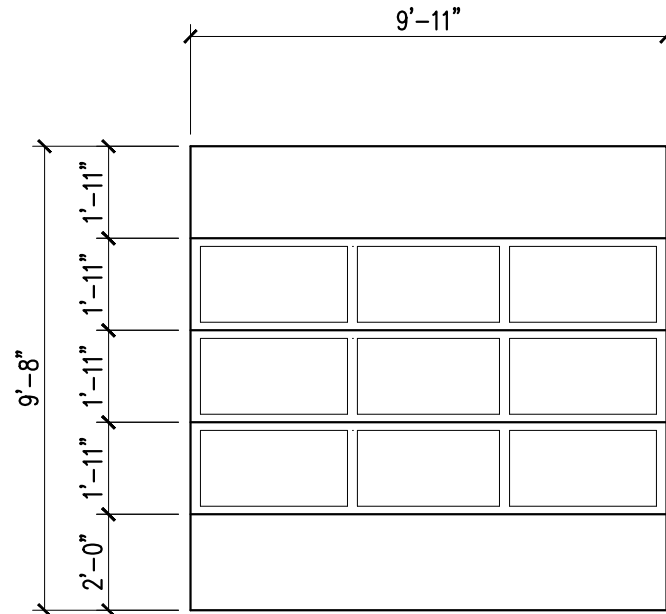
B
ALUMINUM FRAME FIXED
WINDOW UNIT



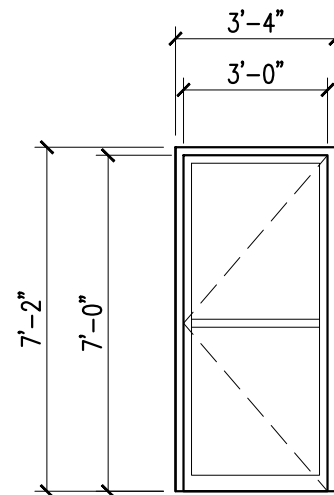
C
ALUMINUM FRAME FIXED
WINDOW UNIT

WINDOW TYPES
SCALE: 1/4"=1'-0"

1
A7.0



100.1
100.2
ALUMINUM SECTIONAL
OVERHEAD DOOR WITH LITES



100.3
100.4
FULL LITE ALUMINUM DOOR

DOOR TYPES
SCALE: 1/4"=1'-0"

2
A7.0

THE GETTY
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DRAWING NAME:
DOOR AND
WINDOW TYPES

SCALE:
DRAWING NO.:

A7.0



PROPOSED SOUTH EAST PERSPECTIVE



PROPOSED AERIAL PERSPECTIVE



PROPOSED EAST PERSPECTIVE



PROPOSED NORTH EAST PERSPECTIVE

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 DRAWING NAME:

PERSPECTIVE
 IMAGES

SCALE:
 DRAWING NO.:

A8.0

BEFORE (EXISTING):



EXISTING VIEW FROM SOUTH EAST



EXISTING VIEW FROM SOUTH WEST



EXISTING VIEW FROM EAST

AFTER (PROPOSED):



PROPOSED VIEW FROM SOUTH EAST



PROPOSED VIEW FROM SOUTH WEST



PROPOSED VIEW FROM EAST

THE GETTY
361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

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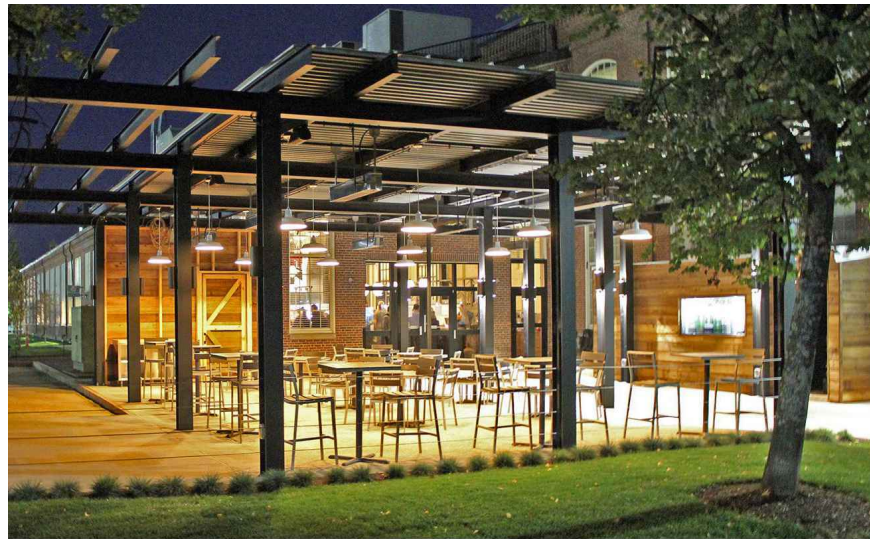
REVISIONS:

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361 ISLINGTON ST.
PORTSMOUTH, NH 03801
PROJECT NO.: 22063
DRAWN BY: BH, RW
APPROVED BY: BH
ISSUE DATE: 2022/09/16
DRAWING NAME: BEFORE AND AFTER IMAGES

SCALE:

DRAWING NO.:

A8.1



DINING CANOPY - OPEN TRELLIS



DINING CANOPY - OPEN TRELLIS



INDOOR / OUTDOOR DINING EXPERIENCE



DINING CANOPY - OPEN TRELLIS



INDOOR / OUTDOOR DINING EXPERIENCE



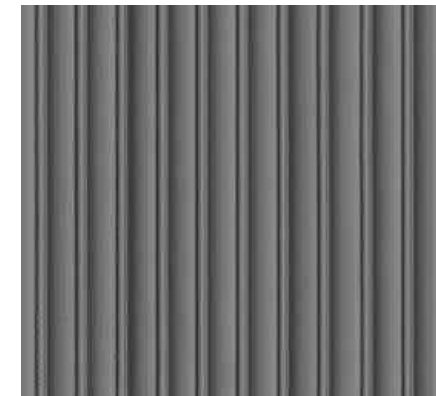
PLANTER



WOOD PLANK



ROOF SCREEN



CORRUGATED METAL



PATIO LIGHTING



GLAZED OVERHEAD DOOR



FOLDING COUNTER WINDOW

THE GETTY

361 ISLINGTON STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

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DRAWN BY: BH, RW

APPROVED BY: BH

ISSUE DATE: 2022/09/16

DRAWING NAME:

MATERIAL
INSPIRATION CUT
SHEETS

SCALE:

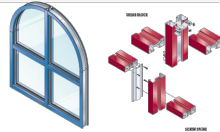
DRAWING NO.:

A9.0

SERIES 402 STOREFRONT FRAMING



Shear Block • Screw Spline • Can Receptor
This economical 2" X 4-1/2" flush glaze system is available in both shear block and screw spline fabrication methods. Series 402 Storefront can accommodate all standard 1 3/4" entrances as well as WV410 vents. Vertical mullions will accept steel reinforcement to enhance structural performance.



STRUCTURAL LOAD (ASTM E289) VISIT EFCOCORP.COM	WATER RESISTANCE (ASTM E331 & E333) 12 PSF
AIR INFILTRATION (ASTM E283) <0.06 CFM/FT ²	CRF (AAMA 1503) N/A
U-FACTOR* (ANSI/NFRC 100-200) N/A	OITC* (ASTM E90 & E413) SCREW SPLINE: 26 - 29
STC* (ASTM E90 & E413) SCREW SPLINE: 30-34	

STANDARD FEATURES

- Open back and shear block door frames with transom bars and bulb type weather stripping
- Accommodates up to 1-1/16" glazing
- Uniform glazing gasket is used for exterior and interior
- The optional Roto-Vent ventilator
- 2-way corner mullions (90° and 135°)
- 3-way corner mullions (T-mullions)
- 0" - 15" and 15" - 30" variable mullions
- Various height intermediate horizontals and sills
- Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.
- Anodized or painted finished available

* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.

1000 COUNTY RD - MONETT, MO 65708 - 800.221.4169 - efcocorp.com

Disclaimer: Info subject to change at any time

Updated: 4/2020

ALUMINUM WINDOW

CLOPAY COMMERCIAL - MODELS 904U, 904 architectural series



ALUMINUM FULL-VIEW DOORS

Clopay's Model 904 showcases a sleek design with fewer lines and angles to its appearance. With equal stile spacing, rail and stile profiles are more proportional to each other. This design provides an aesthetically pleasing appearance making it ideal in applications such as restaurants, auto dealerships and fire stations. In addition to these features, Model 904U features Intelicore® polyurethane insulated rails and stiles.

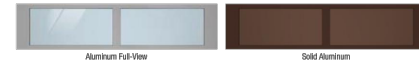


clopaycommercial.com

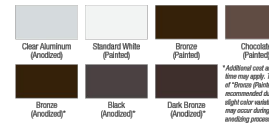
ALUMINUM OVERHEAD DOOR

OPTIONS

PANEL OPTIONS



FRAME/SOLID PANEL COLOR OPTIONS



CUSTOM PAINT OPTIONS

Color Blast® finish paint system or RAL Powder Coating give you thousands of color options for endless upgrades. See your Clopay Dealer for details.



GLASS/PANEL OPTIONS



PERFORMANCE OPTIONS

HEAVY-DUTY HARDWARE



SPECIALTY PRODUCTS



OPTIONAL WARRANTY

Extended 8 year hardware warranty includes upgraded industrial hardware. Upgraded hardware includes 3" track and rollers, 11 gauge hinges, heavy duty brackets, solid shaft and nuts.

STANDARD SPECIFICATIONS

Max Width	14'2"
Max Height	20'0"
Exterior/Interior Panel Thickness	2-1/8"
Insulation	Intelicore® polyurethane (Model 904U)
R-Value*	3.5 (Model 904U with clear insulated glass)
U-Factor	0.86 (Model 904U with clear insulated glass)
Air Infiltration Rate	0.15 cfm/ft ²
End Stile Thickness	4.5" wide stile up to 14'2" 6.5" wide stile over 14'2"
Emboss	Recessed panel with smooth surface
Panel Style	Full view or solid aluminum panel
Section Construction	6063-T5 extruded aluminum alloy

For more information on these and other Clopay products, visit clopaycommercial.com. Architects and specifiers, visit architectclopay.com.

MADE IN USA ©2022 Clopay Corporation. All rights reserved.

WINDCODE®

Design pressure (DP) up to 30 PSF depending on configuration. Models tested 50% greater than DP!

Window Style	Full view
Glass	DSB glass, tempered glass, acrylic, thicknesses of 1/8", 1/4" and 1/2"
Solid Panels	Insulated and non-insulated aluminum panels
Wind Load	Non-impact rated
Joint Seal	Yes
Spings	10,000 cycle springs
Tracks	Collocated extruded rollers with minimum 7:1 safety factor 2" angle mount track with standard lift 2" track when applicable
Hardware	100% wrought in aluminum roller Steel angle plate and lift handle 14 gauge hinges Standard Paint - 5 Years Color Blast® Finish - 5 Years Hardware - 3 Year
Warranty	Standard Paint - 5 Years Color Blast® Finish - 5 Years Hardware - 3 Year

* Calculated door section R-value is in accordance with DASIM TDS-83

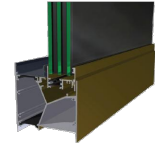
ARCOT, ESDMA, SIDA, 0800-804-18, 809642

SERIES SX45 HORIZONTAL SLIDER

4-1/2" HIGH PERFORMANCE THERMAL, ARCHITECTURAL GRADE WINDOW



The SX45 is loaded with options to fit many applications while providing an industry leading U-Factor. The energy efficient design provides a substantial improvement in the interior frame temperatures as well. Designed to meet the increasing demand for thermally superior products needed in schools, government buildings and green construction, EFCO's SX45 horizontal sliding window sets a new standard. The outstanding U-Factor provides demonstrable energy savings when used in conjunction with building envelope performance software.



AAMA RATING (A440) AW-PG45-HS	STRUCTURAL LOAD (ASTM E330) 150.4 PSF
AIR INFILTRATION (ASTM E283) <0.30 CFM/FT ²	WATER RESISTANCE (ASTM E331) 15 PSF
U-FACTOR* (ANSI/NFRC 100-200) 0.31 - 0.54	CRF (AAMA 1503) 67
STC* (ASTM E90 & E413) 33 - 37	OITC* (ASTM E90 & E413) 27 - 33
FORCED ENTRY (ASTM F588 OR F842) TYPE: A - GRADE 40	ACCESSIBILITY (AAMA 513) N/A

STANDARD FEATURES

- 4-1/2" frame depth
- XO, CX, OXO, XOX configurations
- 15 lb water
- AW45 standard rating
- AWW50 optional rating
- Fully strutted, 2-color availability
- 1-1/2" glass pocket
- U-Factor with EFCO stock glass .34
- Fixed mate, series FX45
- U-Factor: .31

* Performance dependent on glass selection. Please contact your EFCO sales rep for project specific performance.

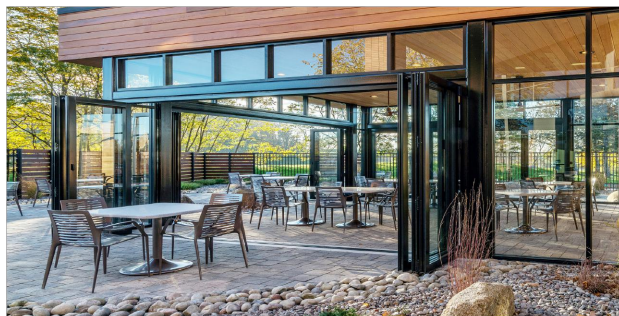
1000 COUNTY RD - MONETT, MO 65708 - 800.221.4169 - efcocorp.com

Disclaimer: Info subject to change at any time

Updated: 12/2020

ALUMINUM SLIDING WINDOW (PICK UP WINDOW)

G2 FOLDING GLASS WALLS



G2 Thermal System

G2 Aluminum Folding Glass Wall Systems are a great way to open your environment to the outdoors. The frame uses a thermal strut system that separates the interior metal from the exterior metal. By including a thermal break, the temperature transfer between the outdoors and indoors is minimized.

The frames are available in two vertical stile widths: narrow and standard. The widths can be combined over multiple units for a unique style or kept consistent throughout. This flexibility allows multiple sightline and bottom rail configurations that can be retrofitted to match an existing opening or accommodate specific structural requirements.

G2 Nonthermal System

G2 Nonthermal Aluminum Folding Glass Wall Systems are ideal for mild climates and indoor uses. This system is popular for conference rooms, interior commercial entryways, and classrooms, as well as residential and commercial room dividers. Frames are available in two vertical stile widths: narrow and standard. These can be combined over multiple units for a unique style or kept consistent throughout.

Panels

- Minimum panel size: 18" wide; smaller panels may be available upon request
- Panel size up to 3' x 10'; larger panel options may be available depending on application

Glazing

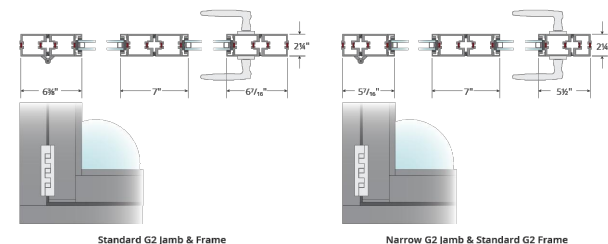
- Designed to accommodate almost any monolithic, insulated, laminated, decorative, polycarbonate, or solid panel infill from 3/8" to 1 1/4"

Performance

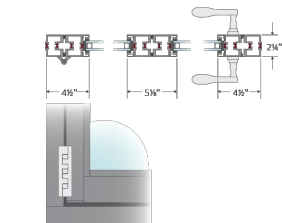
- Water performance up to 12psf, depending on sill choice and configuration
- Structurally tested up to a design pressure of 80psf
- Higher design pressure ratings available with engineering approval
- Test results available upon request

sales@troupsystems.com | 800.888.0869 | 31 Roberts Road, Pine Grove, PA 17963 | Rev 8/17/22

JAMB DETAILS



Standard G2 Jamb & Frame Narrow G2 Jamb & Standard G2 Frame



Narrow G2 Jamb & Frame

Top and bottom horizontals unable to utilize narrow framing. Options dependent upon desired size and engineering requirements.

sales@troupsystems.com | 800.888.0869 | 31 Roberts Road, Pine Grove, PA 17963 | Rev 8/17/22

ALUMINUM FOLDING WINDOW

STATEMENT COLLECTION™

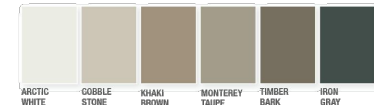
Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for your market, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

ColorPlus® Technology

Plank, Panel, Shingle and Batten Color Offering



Trim Color Offering



Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color.

FIBER CEMENT SIDING

HardiePanel®

Thickness: 5/16 in

SELECT CEDARMILL®, SMOOTH, STUCCO & SIERRA 8

Size	4 ft x 8 ft	4 ft x 10 ft
Prime Post/Pallet	50	50
Color/Prime Post/Pallet	50	50
Panel/Req	3.2	2.5

SELECT CEDARMILL®

Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™	✓	✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

SMOOTH

Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™	✓	✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

STUCCO

Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™	✓	✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

SIERRA 8

Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™	✓	✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

15

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DRAWING NAME:
PRODUCT DATA

SCALE:

DRAWING NO.:

A9.1



10/28/2022

LU-19-126

Land Use Application

Status: Active**Date Created:** Jun 14, 2019**Applicant**

cyrus noble
 cyrusnoble@gmail.com
 15 Mt Vernon
 portsmouth, New Hampshire 03801
 2077762196

Primary Location

15 MT VERNON ST
 Portsmouth, NH 03801

Owner:

SCHULTHESS DREW & SCHULTHESS BRITTANY
 15 MOUNT VERNON ST PORTSMOUTH, NH 03801

Applicant Information**Please indicate your relationship to this project**

--

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)



Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work



Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line



Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval



Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



Request for Extension of Previously Granted Land Use Approval

EXISTING ELEVATIONS



FRONT ELEVATION



BACK ELEVATION

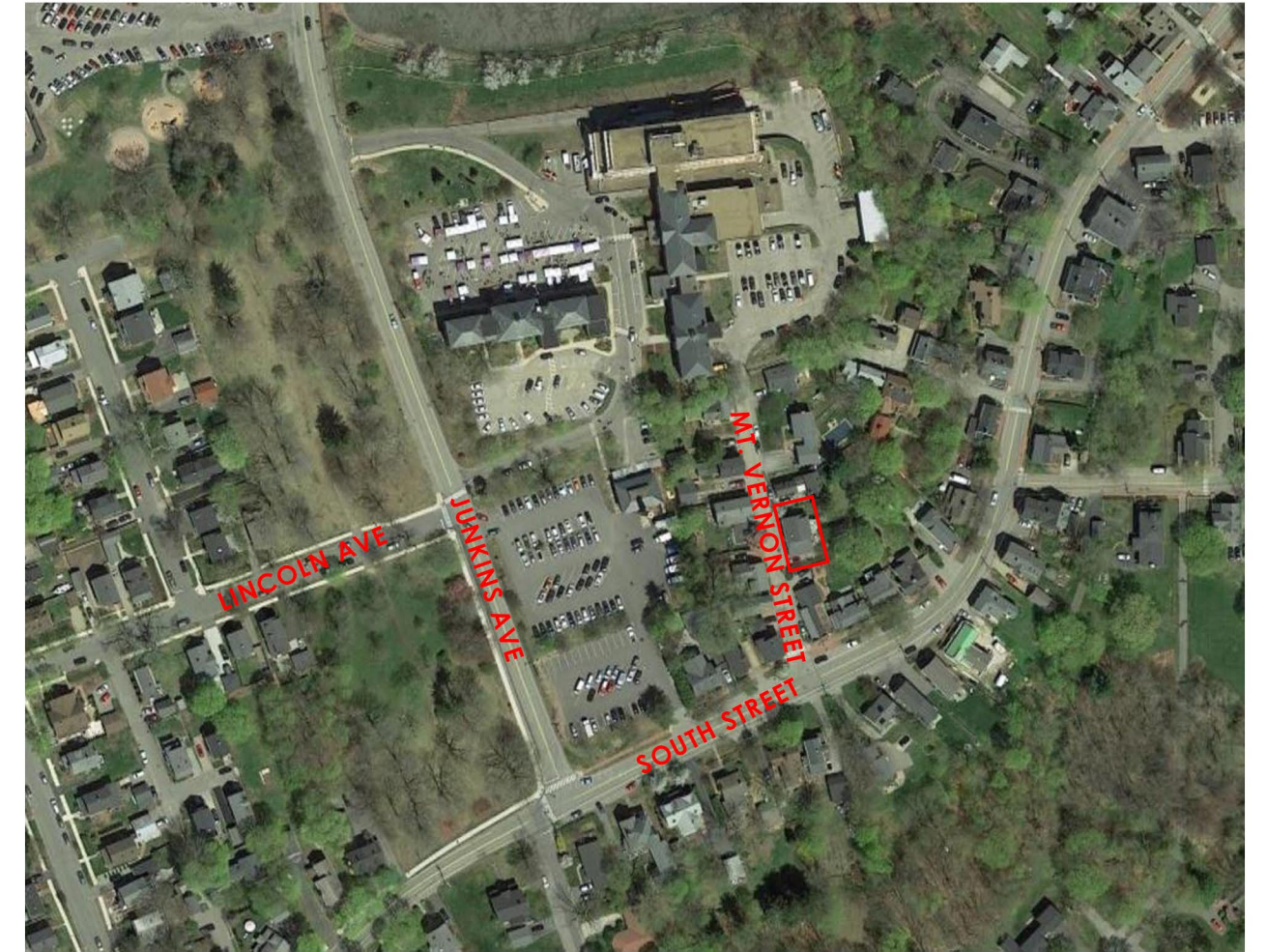


LEFT ELEVATION



RIGHT ELEVATION

AERIAL VIEW



15 MOUNT VERNON STREET
PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW AND EXISTING ELEVATIONS
HDC APPLICATION FOR WORK SESSION/PUBLIC HEARING: JULY 10, 2019



233 VAUGHAN ST, SUITE 101
PORTSMOUTH, NH 03801
(603) 431-2808
www.cjarchitects.net

1.0



VIEW FROM SITE TOWARDS CITY HALL



VIEW FROM SITE TOWARDS SOUTH STREET

SITE MAP



VIEW FROM CITY HALL TOWARDS SITE



VIEW FROM SOUTH STREET TOWARDS SITE

15 MOUNT VERNON STREET
PORTSMOUTH, NEW HAMPSHIRE

STREET VIEWS

HDC APPLICATION FOR WORK SESSION/PUBLIC HEARING: JULY 10, 2019



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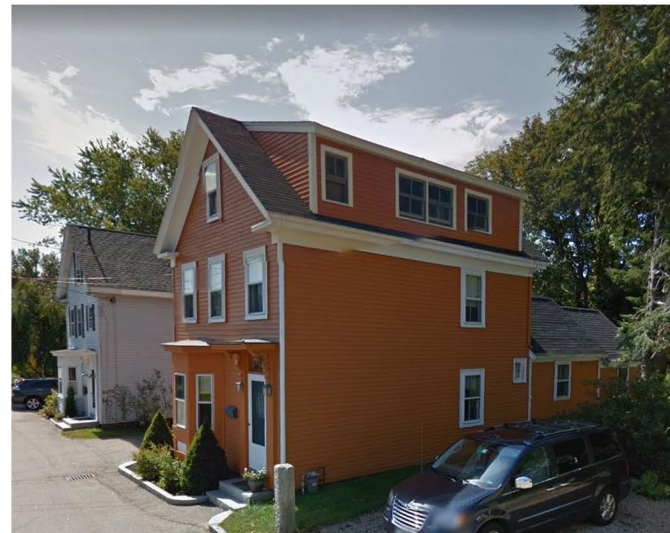
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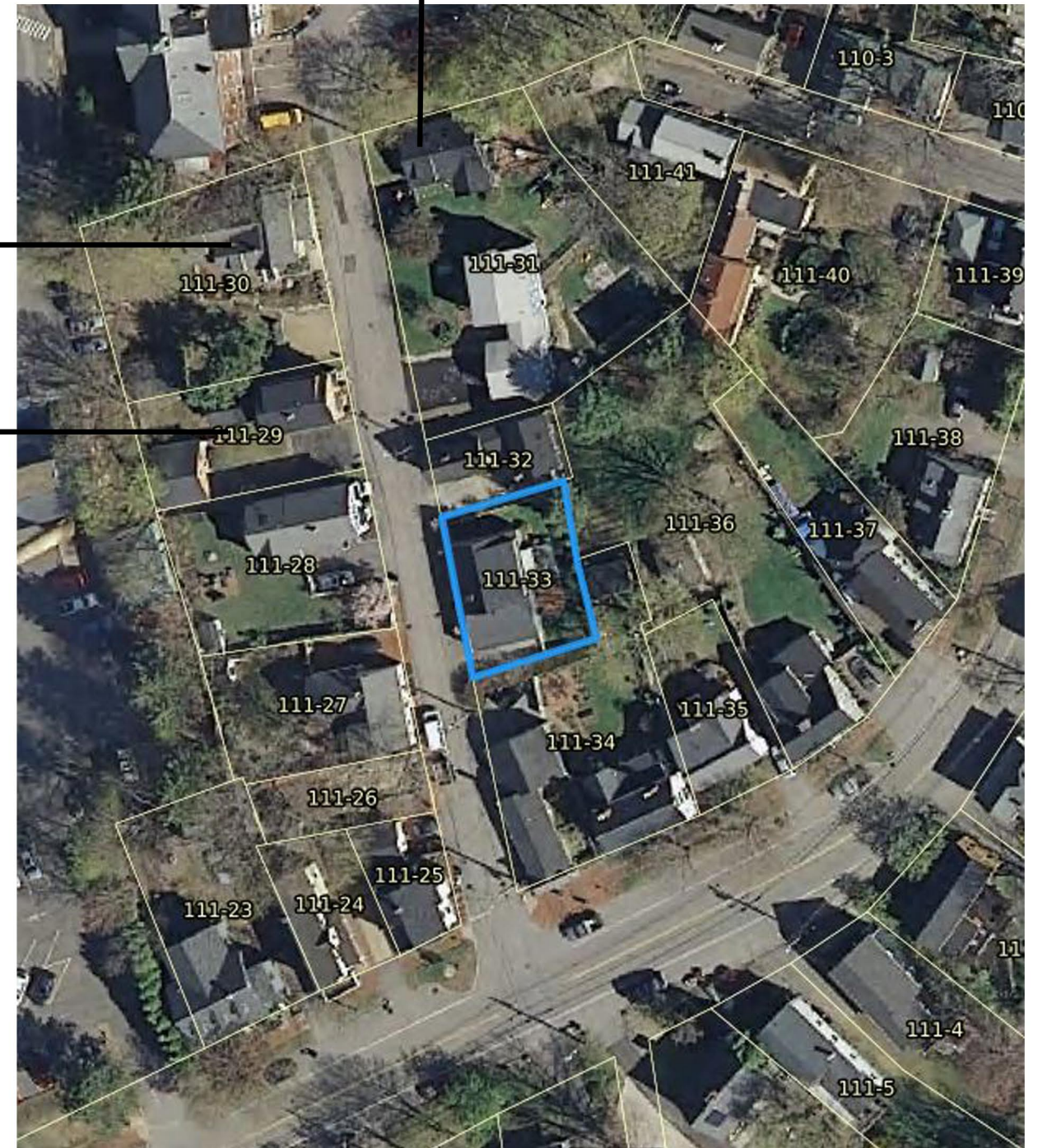
57 MOUNT VERNON STREET



64 MOUNT VERNON STREET



50 MOUNT VERNON STREET



15 MOUNT VERNON STREET
PORTSMOUTH, NEW HAMPSHIRE

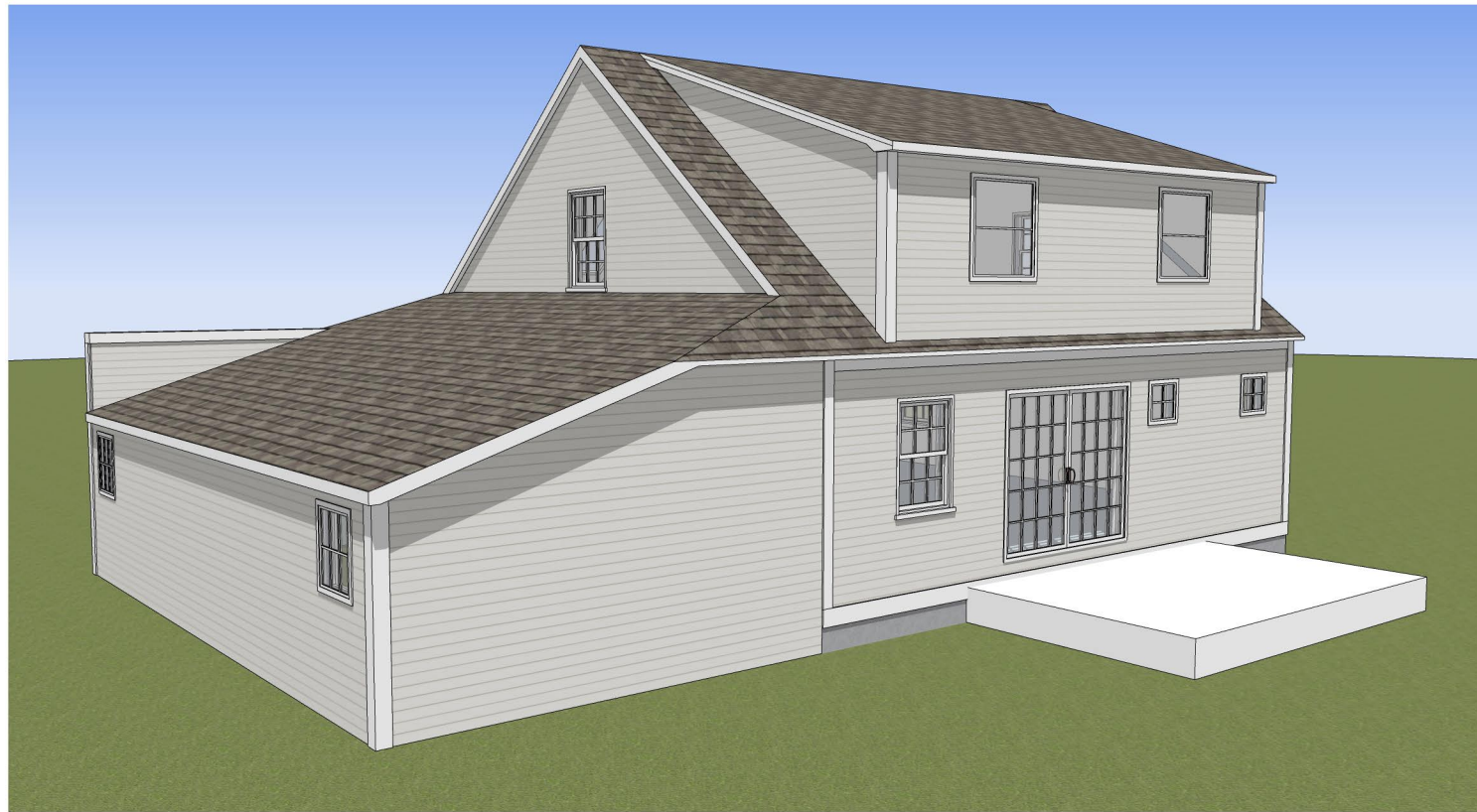
NEIGHBORING BUILDINGS WITH DORMERS

HDC APPLICATION FOR WORK SESSION/PUBLIC HEARING: JULY 10, 2019

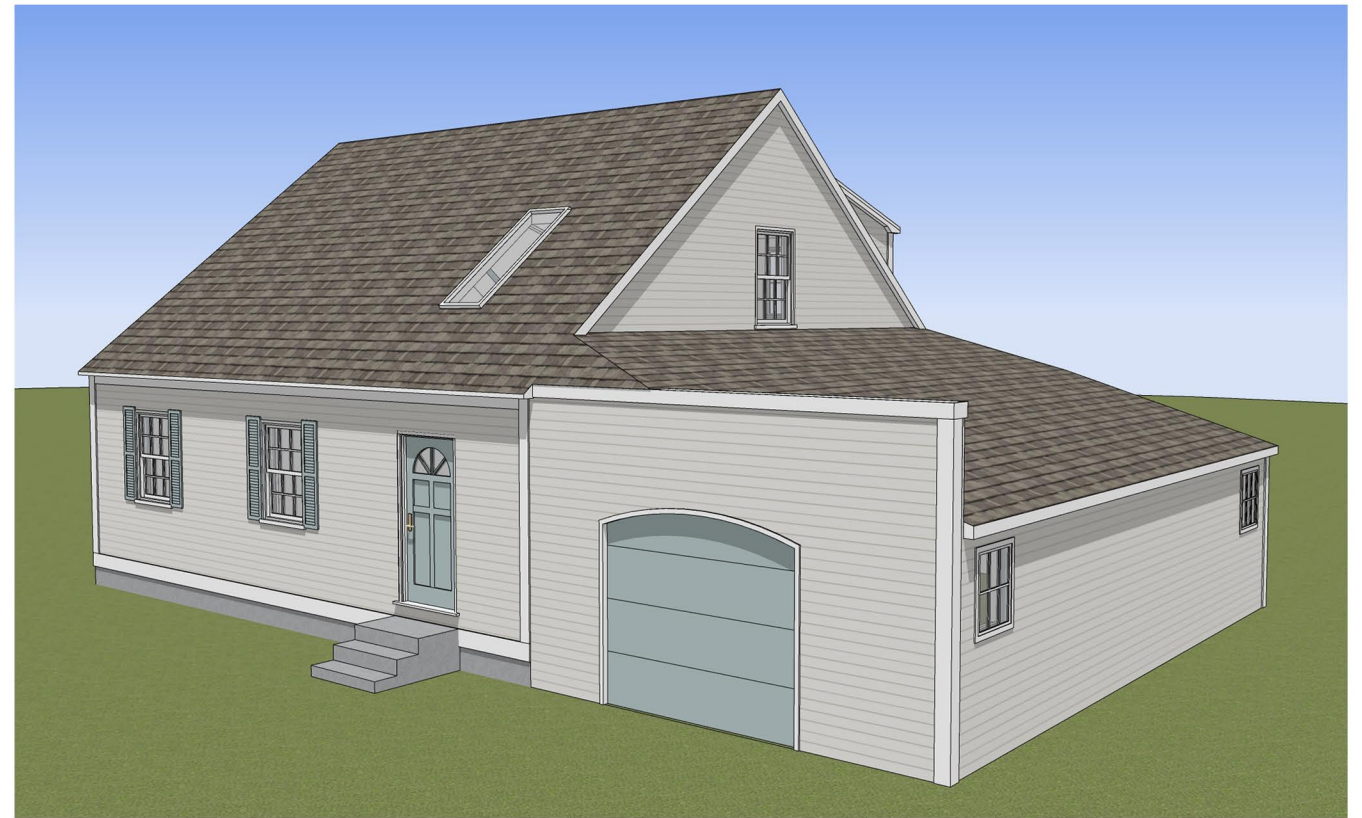


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www.cjarchitects.net

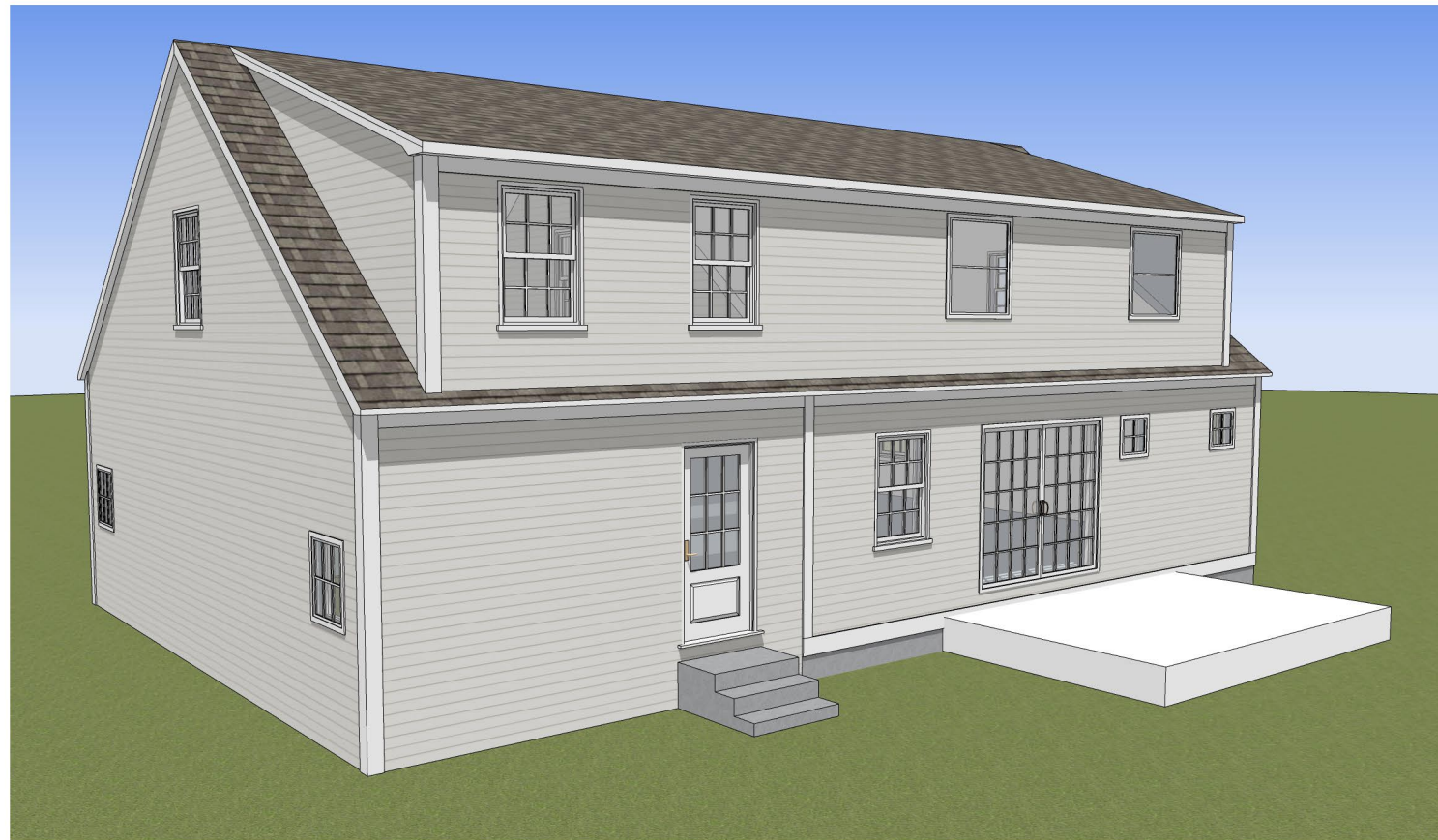
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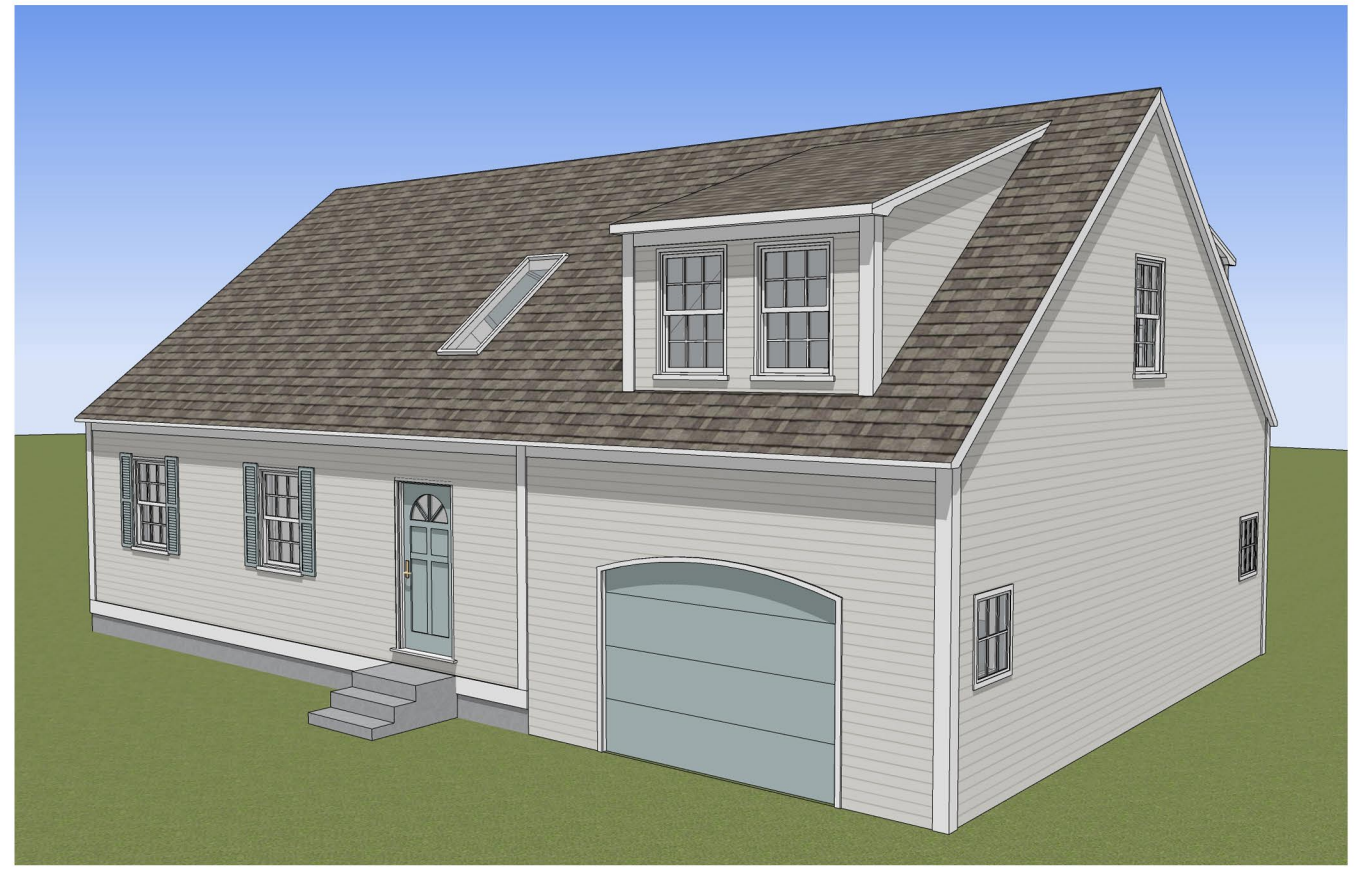
EXISTING REAR VIEW



EXISTING FRONT VIEW



PROPOSED REAR VIEW



PROPOSED FRONT VIEW

15 MOUNT VERNON STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING & PROPOSED VIEWS

HDC APPLICATION FOR WORK SESSION/PUBLIC HEARING: JULY 10, 2019



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4.0

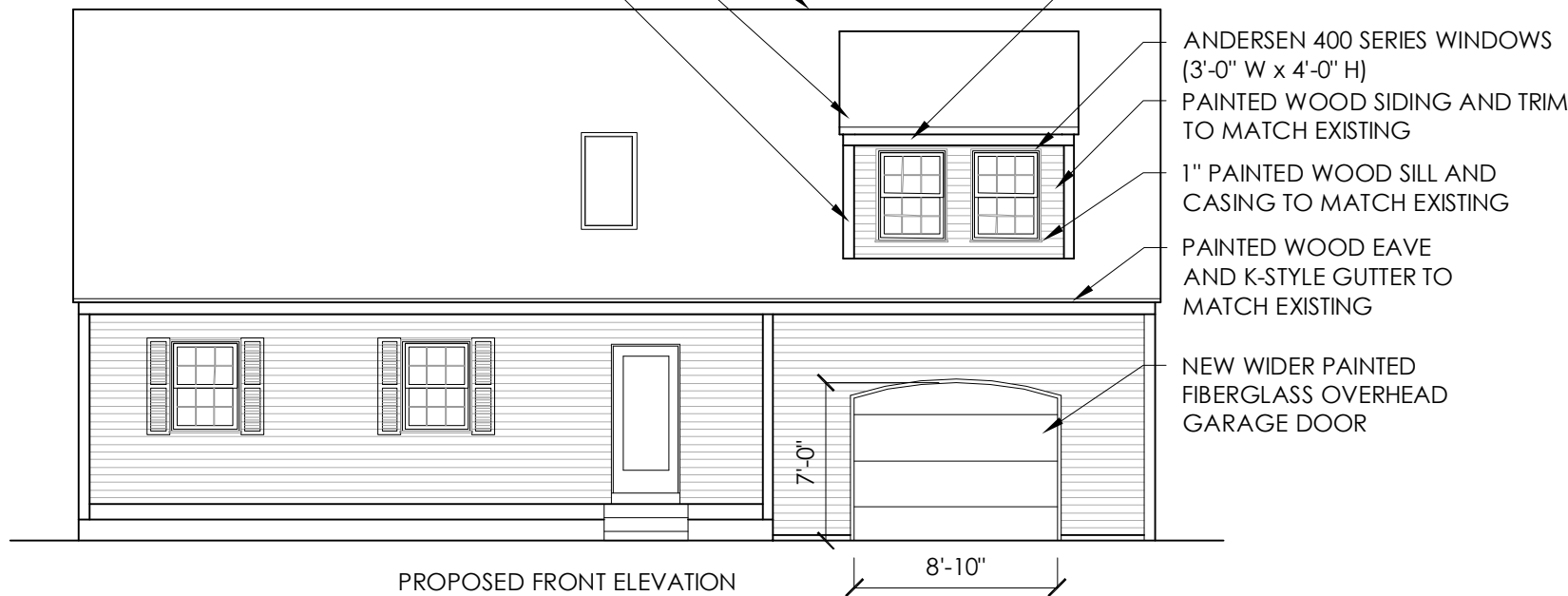


EXISTING FRONT ELEVATION

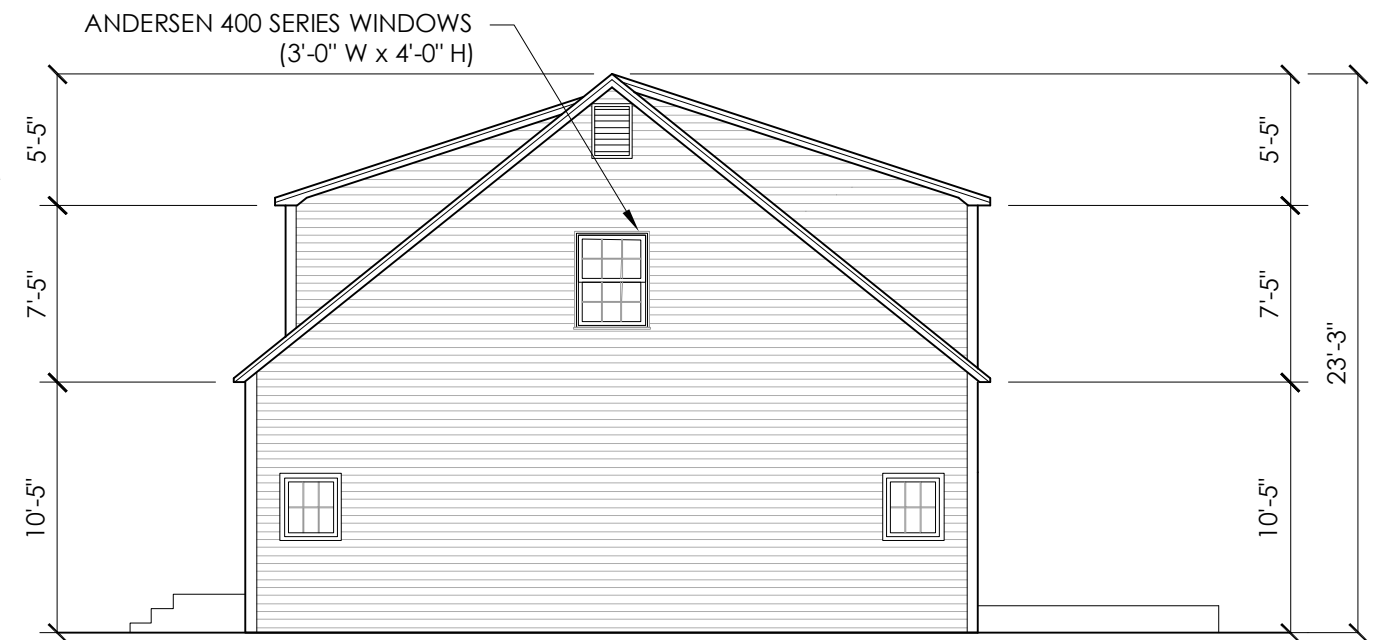


EXISTING RIGHT ELEVATION

- EXTEND EXISTING ROOF LINE OVER GARAGE. HEIGHT TO MATCH EXISTING RIDGE
- ASPHALT ROOF SHINGLES TO MATCH EXISTING
- 5 1/2" PAINTED WOOD CORNER BOARDS TO MATCH EXISTING
- PAINTED WOOD EAVE TO MATCH EXISTING



PROPOSED FRONT ELEVATION



PROPOSED RIGHT ELEVATION

15 MOUNT VERON STREET
PORTSMOUTH, NEW HAMPSHIRE

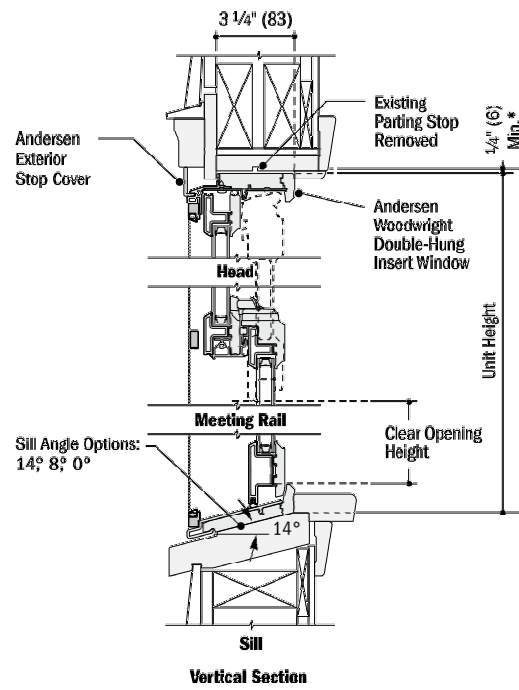
EXISTING AND PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"

HISTORIC DISTRICT COMMISSION WORK SESSION: JULY 10, 2019



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5.0



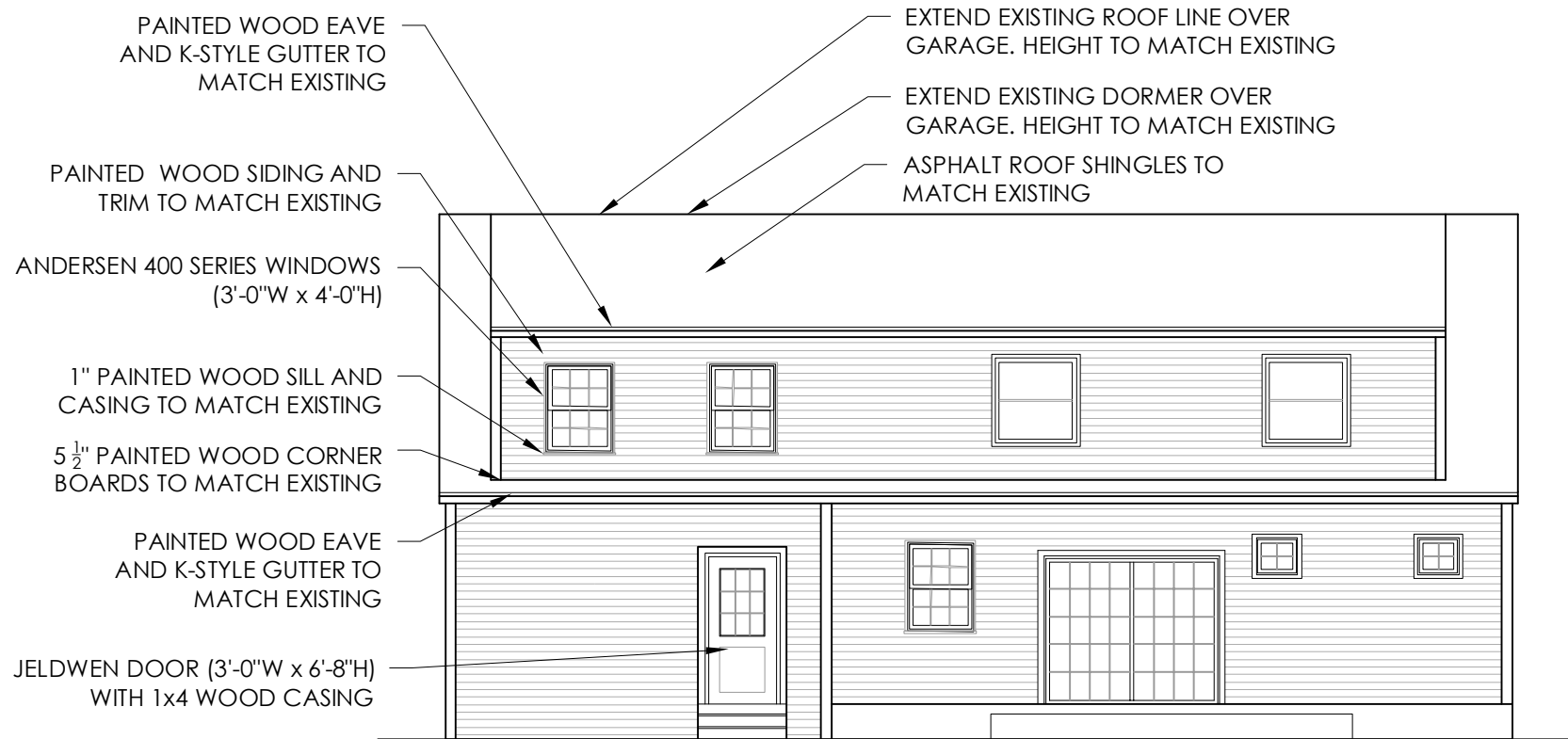
ANDERSEN 400 SERIES WINDOW



EXISTING BACK ELEVATION



EXISTING LEFT ELEVATION



PROPOSED BACK ELEVATION



PROPOSED LEFT ELEVATION

15 MOUNT VERNON STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING AND PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"
HISTORIC DISTRICT COMMISSION WORK SESSION: JULY 10, 2019



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5.1



10/28/2022

LU-21-183

Land Use Application

Status: Active**Date Created:** Sep 17, 2021**Applicant**

Tracy Kozak
 tracyskozak@gmail.com
 3 Congress Street, Suite 1
 Portsmouth, New Hampshire 03801
 603-731-5187

Primary Location

93 PLEASANT ST
 Portsmouth, NH 03801

Owner:

DAGNY TAGGART LLC
 3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)



Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work



Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line



Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval



Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



Request for Extension of Previously Granted Land Use Approval

93 PLEASANT STREET



PROJECT SUMMARY: NEW CONSTRUCTION ADDITION & RENOVATIONS

OFFICE USE, NEW STRUCTURE LOCATED AT PARKING LOT BEHIND TREADWELL-JENNESS HOUSE.
2 STORIES + 3RD SHORT STORY, 1 LEVEL UNDERGROUND PARKING.

DRAWING LIST

P0.1 COVER
P1.0 LANDSCAPE SITE PLAN
P1.3 ROOF PLAN
P1.8 FRONT PERSPECTIVE
P1.10 FRONT ELEVATION
P1.11 SIDE ELEVATION
P1.12 REAR ELEVATION

REVISIONS TO PREVIOUSLY APPROVED APPLICATION:

1. TEMPORARILY RELOCATE STONE WALL TO PROTECT STONE WALL FROM CONSTRUCTION IMPACTS OF UNDERGROUND UTILITIES INSTALLATION AND EXCAVATION VIBRATIONS. DOCUMENT, LABEL AND TEMPORARILY REMOVE STONE WALL, STORE SECURELY FOR REINSTALLATION IN SAME CONFIGURATION AFTER SITEWORK IS COMPLETED.
2. CHANGE COMPOSITE BORAL POLYASH SIDING TO FIBER CEMENT SIDING, TO MEET FIRE RATING REQUIREMENTS.
3. RAISE FLAT, SETBACK ROOF AREA OVER STAIR CONNECTOR BEHIND TREADWELL HOUSE, BY 1'-4" TO COORDINATE WITH STRUCTURAL REQUIREMENTS.

P0.0 **COVER**
93 PLEASANT STREET
HDC REVISION 2
9/28/2022



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Plant List - Trees and Shrubs				
ID	Qty	Latin Name	Common Name	Scheduled Size
AAM	2	Aronia melanocarpa 'Autumn Magic'	Black Chokeberry	3-4'
AML	3	Amelanchier laevis 'Spring Flurry'	Spring Flurry Allegheny Serviceberry	5-6' Ht.
BBG	20	Buxus microphylla 'Baby Gem'	Baby Gem Boxwood	4-4 1/2'
BGG	33	Buxus 'Green Gem'	Green Gem Boxwood	2-2.5'
BWG	5	Buxus 'Winter Gem'	Winter Gem Boxwood	2 1/2' Ht.
CFF	16	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	1 1/2-2" Cal.
CTN	1	Chaenomeles speciosa 'Toyo Nishiki'	Toyo Nishiki Quince	2 1/2" Cal.
PFC	6	Picea abies 'Fat Cat'	Fat Cat Norway Spruce	10 Gal.
RYP	15	Rhododendron 'Yaku Princess'	Yaku Princess Rhododendron	3-4'
TOS	4	Thuja occidentalis 'Smaragd'	American Arborvitae	8-10'

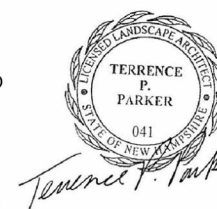
Plant List - Perennials				
ID	Qty	Latin Name	Common Name	Scheduled Size
ABI	34	Amsonia 'Blue Ice'	Blue Star Flower	1 Gal.
AMT	26	Amsonia tabernaemontana	Blue Star	1 Gal.
AOS	16	Aster oblongifolius 'October Skies'	October Skies Aster	2 QT
BAG	9	Baptisia 'American Goldfinch'	Yellow Baptisia	2 QT
CVM	9	Coreopsis verticillata 'Moonbeam'	Threadleaf Coreopsis	2 QT
CWB	34	Chrysanthemum weyrichii 'White Bomb'	Dwarf Chrysanthemum	2 QT
DIG	12	Digitalis grandiflora 'Carillion'	Yellow Foxglove	2 QT
DP	142	Dennstaedtia punctilobata	Hay-Scented Fern	2 QT
EPI	24	Epimedium rubrum	Barrenwort	2 QT
GMB	65	Geranium macrorrhizum 'Bevan's'	Cranesbill	2 QT
LVP	27	Lavendula x intermedia 'Phenomenal'	Niko Lavender	2 QT
PKW	8	Paeonia 'Krinkled White'	Single White Jap. Peony	2 Gal.
PPT	9	Paeonia 'President Taft'	Single Jap. Pink Peony	2 Gal.
PT	7	Parthenocissus tricuspidata	Boston Ivy	
PX	10	Polystichum acrostichoides	Christmas Fern	2 QT
RF	3	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-Eyed Susan	2 QT
SED	28	Sedum kamtschaticum	Stonecrop	2 QT
SEDM	34	Sedum 'Matrona'	Matrona Stonecrop	2 QT
SEDR	34	Sedum reflexum 'Angelina'	Stonecrop	2 QT
SEDS	28	Sedum sexangulare	Stonecrop	2 QT
STP	28	Sedum ternatum 'Larinem Park'	Stonecrop	2 QT
WAL	13	Waldsteinia ternata	Siberian Barren Strawberry	2 QT

NOTES:
ALL DRIP EDGE TO BE ROUNDED RIVER STONE, 1/2"-3/4" DIA. (FINAL COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT)

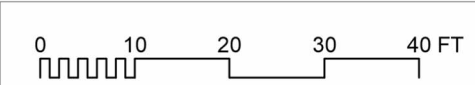
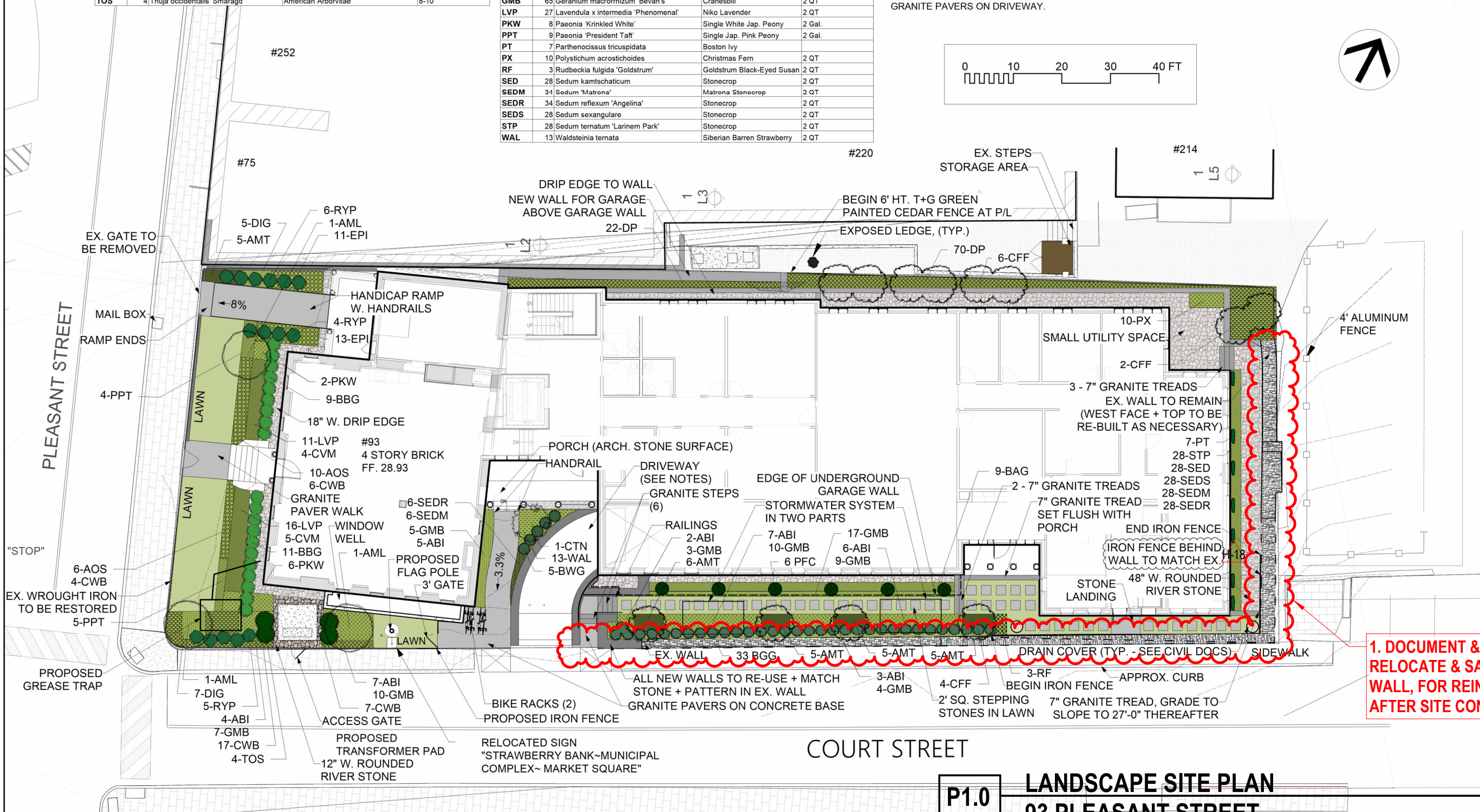
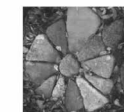
RENOVATION OF EXISTING FENCE: EXISTING FENCE SHALL BE TAKEN APART, FLAWED PARTS SHALL BE REMOVED AND REPLACED, FENCE SHALL BE STEEL SHOT BLASTED TO BARE METAL, ACID DIPPED, CLEANED, HOT DIPPED GALVANIZED, COATED WITH EPOXY PRIMER, PAINTED BLACK WITH URETHANE TOPCOAT.

ALL STONE SHOULD BE WOODBURY GRANITE OR EQUAL.

GENERAL CONTRACTOR TO DESIGN AND BUILD A RADIANT SLAB SYSTEM TOPPED WITH GRANITE PAVERS ON DRIVEWAY.



terra firma
landscape architecture



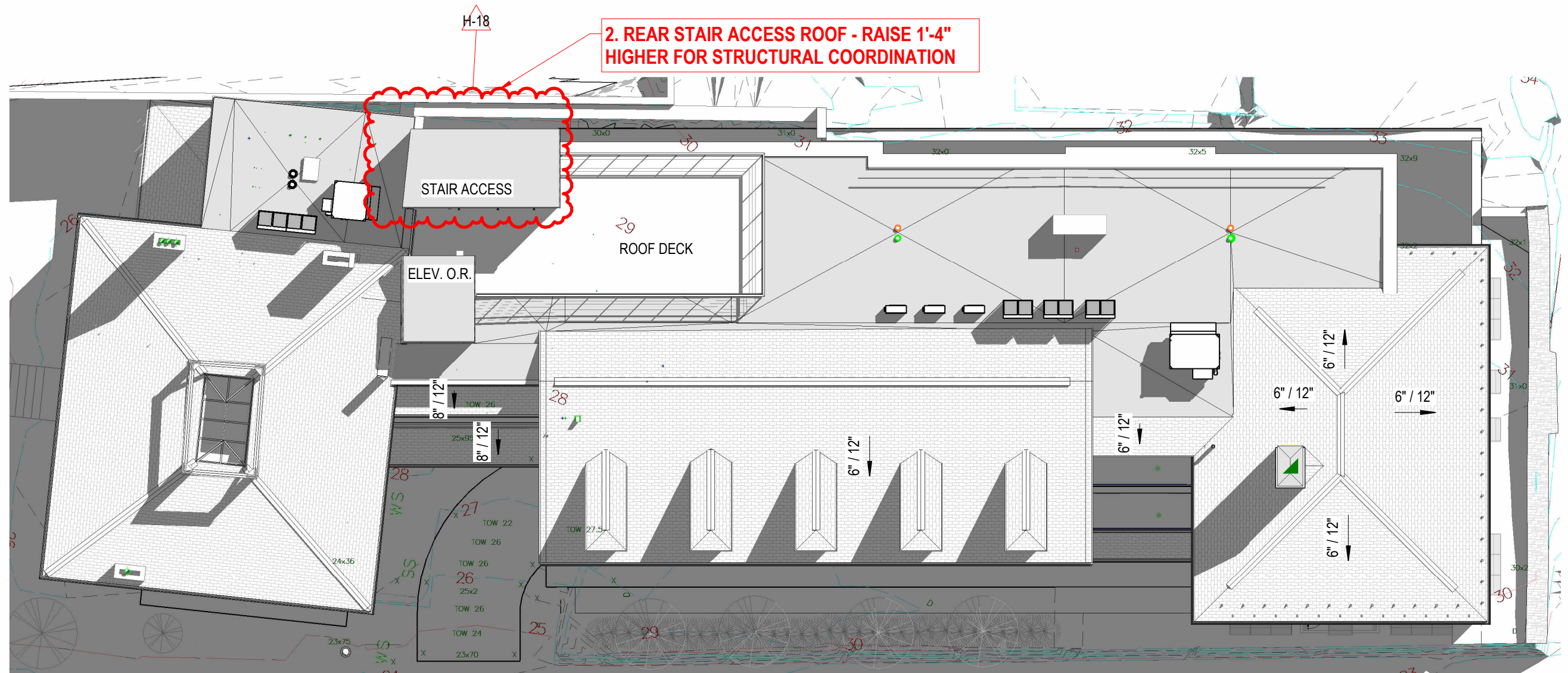
1. DOCUMENT & TEMPORARILY RELOCATE & SAFELY STORE STONE WALL, FOR REINSTALLATION AFTER SITE CONSTRUCTION

No.	Date	Revision	By	Check	Project	Issue Notes
G	7/26/2022	ADDENDUM 1			100% CDS Bid & Permit Set	
F	6/30/2022	100% CDS Bid & Permit Set			90% CD's Bid & Permit Set	
E	6/9/2022	90% CD's Bid & Permit Set			TEMPLE FENCE EXPANSION	
D	4/15/2022	TEMPLE FENCE EXPANSION				
C	3/24/2022					
B	12/9/21	TAC REVISIONS				
A	11/22/21	ZBA RE-SUBMISSION				

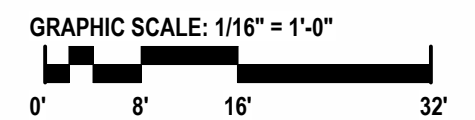
P1.0 LANDSCAPE SITE PLAN
93 PLEASANT STREET

HDC REVISION 2
9/28/2022
PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE.





ROOF LEGEND	
○ DS	DOWNSPOUT
----	GUTTER

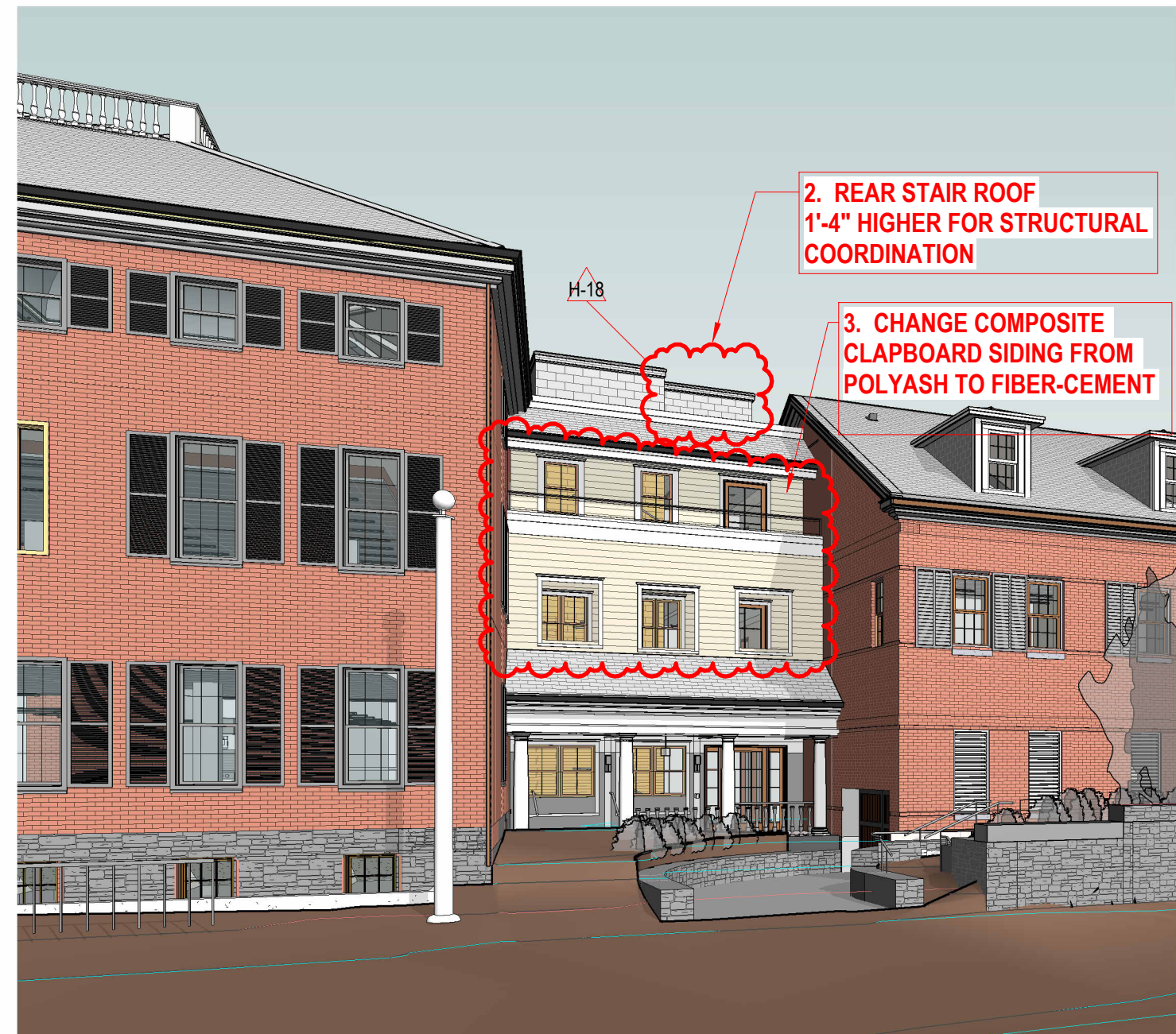


P1.3 **ROOF PLAN**
93 PLEASANT STREET
 HDC REVISION 2
 9/28/2022





PREVIOUSLY APPROVED



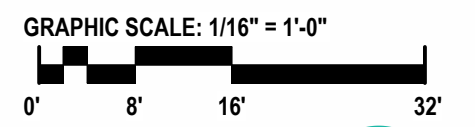
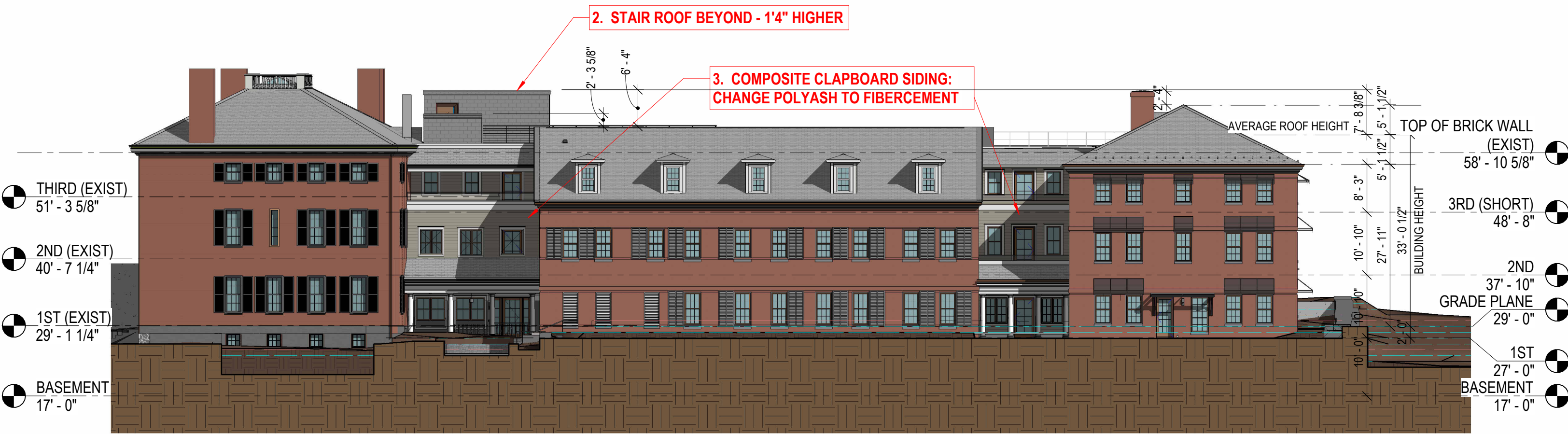
PROPOSED

P1.8 PERSPECTIVE VIEW - SW
93 PLEASANT STREET

9/28/2022



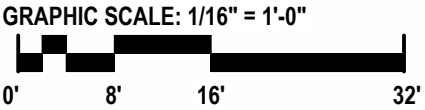
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P1.10 **ELEVATION - FRONT**
93 PLEASANT STREET
 HDC REVISION 2
 9/28/2022

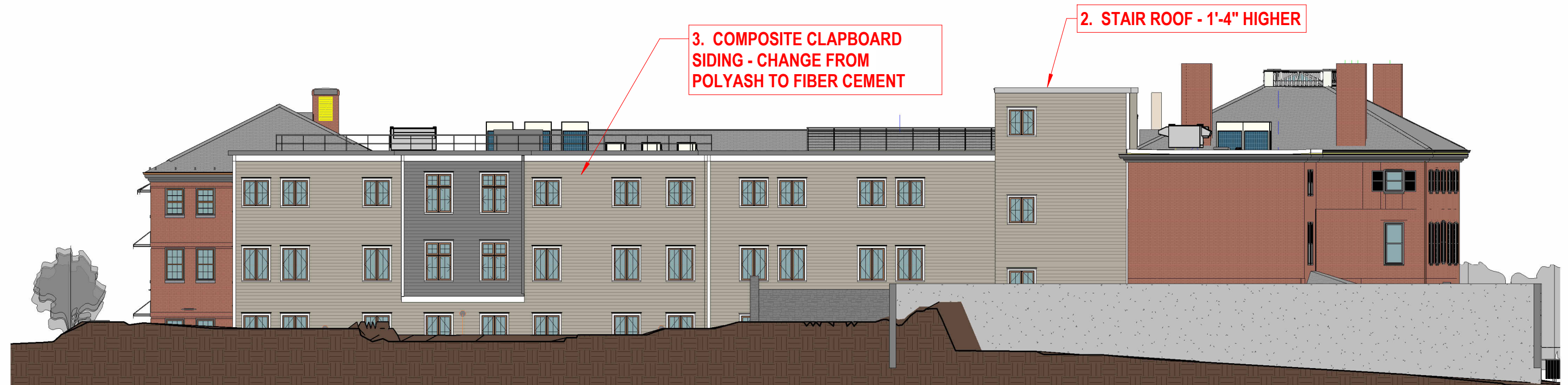


EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT



P1.11 ELEVATION - SIDE
93 PLEASANT STREET
 HDC REVISION 2
 9/28/2022





EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT

P1.12 **ELEVATION - REAR**
93 PLEASANT STREET
 HDC REVISION 2
 9/28/2022





STONE WALL - EXISTING CONDITIONS

SEVERINO

TRUCKING CO. INC.

P.O. Box 202
Phone: 603-483-2133

www.severinotrucking.com

Candia, NH 03034
Fax: 603-483-2998

Ms. Lynn Kramer
Executive Vice President
McNabb Group
3 Pleasant Street, Suite 400
Portsmouth, NH

September 26, 2022

**Re: 93 Pleasant Street
Mortar Rubble Wall Reconstruction**

Ms. Kramer,

Based on our site meeting last Thursday we offer the following process and procedure. The wall will be removed and reconstructed in like or better condition, maintaining and enhancing the historic value and appearance.

Removal:

1. Close sidewalk with MUTCD signage and add crosswalks at appropriate locations.
2. Remove sidewalk and place portable concrete barrier.
3. Document face of wall appearance with pictures and elevations.
4. Brace wall face.
5. Excavate wall on back side.
6. Remove each stone, clean, number, place on pallet and photograph.
7. Cover pallets with black polyethylene sheeting to preserve numbers.
8. Transport to staging area.

Reconstruction:

1. Excavate and pour new reinforced 1' x 5' concrete footing at 4' deep for frost protection.
2. Transport pallets sequentially as wall construction begins.
3. Increase depth and width of wall with additional stones and concrete below grade and on backside to create 1:4 batter.
4. Place and mortar salvaged stones on backside to give "laid-dry" appearance.
5. Place 4" aggregate underdrain with stone and fabric.
6. Backfill with granular backfill material.

Please see attached picture of bridge in Peterborough, NH reconstructed with similar method this month.

Thank you,

Bernard F. Lee
Chief Estimator

CC: Ryan Duntley

EXCAVATING CONTRACTOR

SEVERINO

TRUCKING CO. INC.

P.O. Box 202
Phone: 603-483-2133

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Candia, NH 03034
Fax: 603-483-2998



EXCAVATING CONTRACTOR

SITE DEVELOPMENT

ROAD CONSTRUCTION

SAND AND GRAVEL

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EXCAVATING CONTRACTOR

SITE DEVELOPMENT

ROAD CONSTRUCTION

SAND AND GRAVEL

HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie® siding – adding punctuation to your design statement.

HardieTrim®
Boards
Khaki Brown

HardiePlank®
Lap Siding
Navajo Beige

The performance you require.

THE DISTINCTIVENESS YOU DESIRE.

HardiePlank®

Thickness 5/16 in
Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

Width	5.25 in	6.25 in	7.25 in	8.25 in
Exposure	4 in	5 in	6 in	7 in
Prime Pcs/Pallet	360	308	252	230
ColorPlus Pcs/Pallet	324	280	252	210
Pcs/Sq	25.0	20.0	16.7	14.3

SELECT CEDARMILL®



Width	5.25 in	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™	✓	✓		
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

SMOOTH



Width	5.25 in	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™	✓	✓		
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

BEADED CEDARMILL®

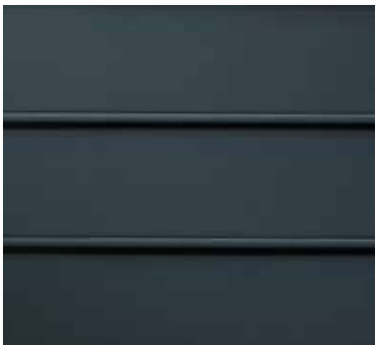


BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in
Exposure	7 in
Prime Pcs/Pallet	240
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3

STATEMENT COLLECTION™	_____
DREAM COLLECTION™	✓
PRIME	✓

BEADED SMOOTH

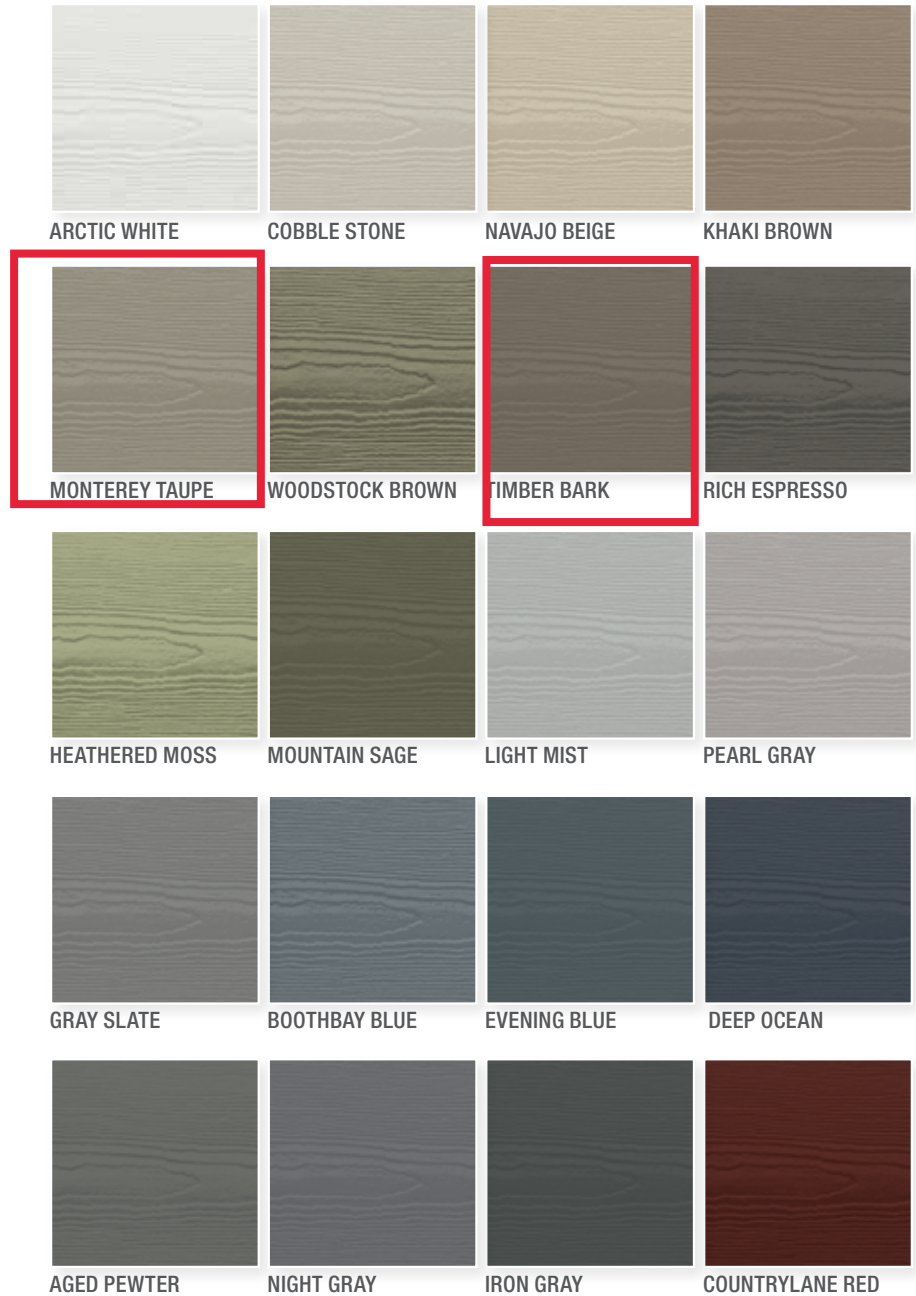


STATEMENT COLLECTION™

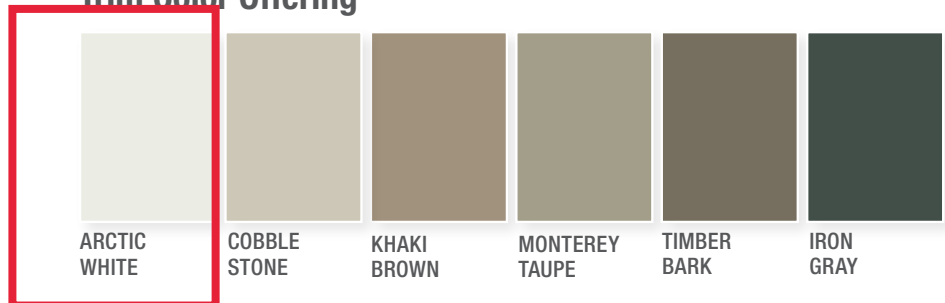
Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for your market, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

ColorPlus® Technology

Plank, Panel, Shingle and Batten Color Offering



Trim Color Offering



Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color.

HardiePlank®



SELECT CEDARMILL®

Width 5.25 in 6.25 in
Exposure 4 in 5 in



SMOOTH

Width 5.25 in 6.25 in
Exposure 4 in 5 in

HardiePanel®



SELECT CEDARMILL®

Size 4 ft x 10 ft



SMOOTH

Size 4 ft x 10 ft

HardieShingle®



STRAIGHT EDGE PANEL

Height 14 in 15.25 in
Exposure 5 in 7 in

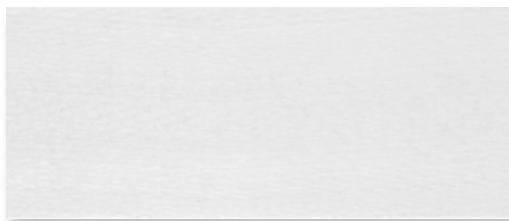
HardieTrim®

4/4 SMOOTH



Thickness .75 in
Length 12 ft boards
Width 3.5 in 5.5 in 7.25 in 11.25 in

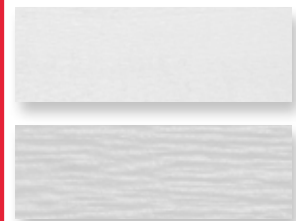
5/4 SMOOTH



Thickness 1 in
Length 12 ft boards
Width 3.5 in 4.5 in 5.5 in 7.25 in 11.25 in

BATTEN BOARDS

4/4 SMOOTH & RUSTIC GRAIN®



.75 in
2.5 in



Selecting a color? Request a product sample at jameshardiepros.com/samples