

# 93 PLEASANT STREET



**PROJECT SUMMARY**

**NEW CONSTRUCTION ADDITION AND RENOVATIONS**

OFFICES USE, NEW STRUCTURE LOCATED AT PARKING LOT BEHIND TREADWELL-JENNESS HOUSE.  
2 STORIES + 3RD SHORT STORY; 1 LEVEL UNDERGROUND PARKING.



P1.0

**COVER SHEET**

93 PLEASANT STREET  
HDC REVISION 1 - APRIL 14, 2022

HDC DRAWING SHEET LIST	
P1.0	COVER SHEET
P1.0L	LANDSCAPE PLAN
P1.2	PROPOSED FIRST FLOOR PLAN
P1.3	PROPOSED ROOF PLAN
P1.7	PERSPECTIVE VIEW - NW
P1.8	PERSPECTIVE VIEW - SW
P1.9	PERSPECTIVE VIEW - SE
P1.10A	ELEVATION - FRONT, PLEASANT STREET
P1.10B	ELEVATION - FRONT, COURT STREET
P1.11	ELEVATION - SIDE
P1.12	ELEVATION - REAR
P1.13	PARTIAL EXTERIOR ELEVATIONS
P1.15	PARTIAL EXTERIOR ELEVATIONS
P1.18	WINDOW & DOOR TYPES
P1.19	MATERIALS
P1.19B	MATERIALS

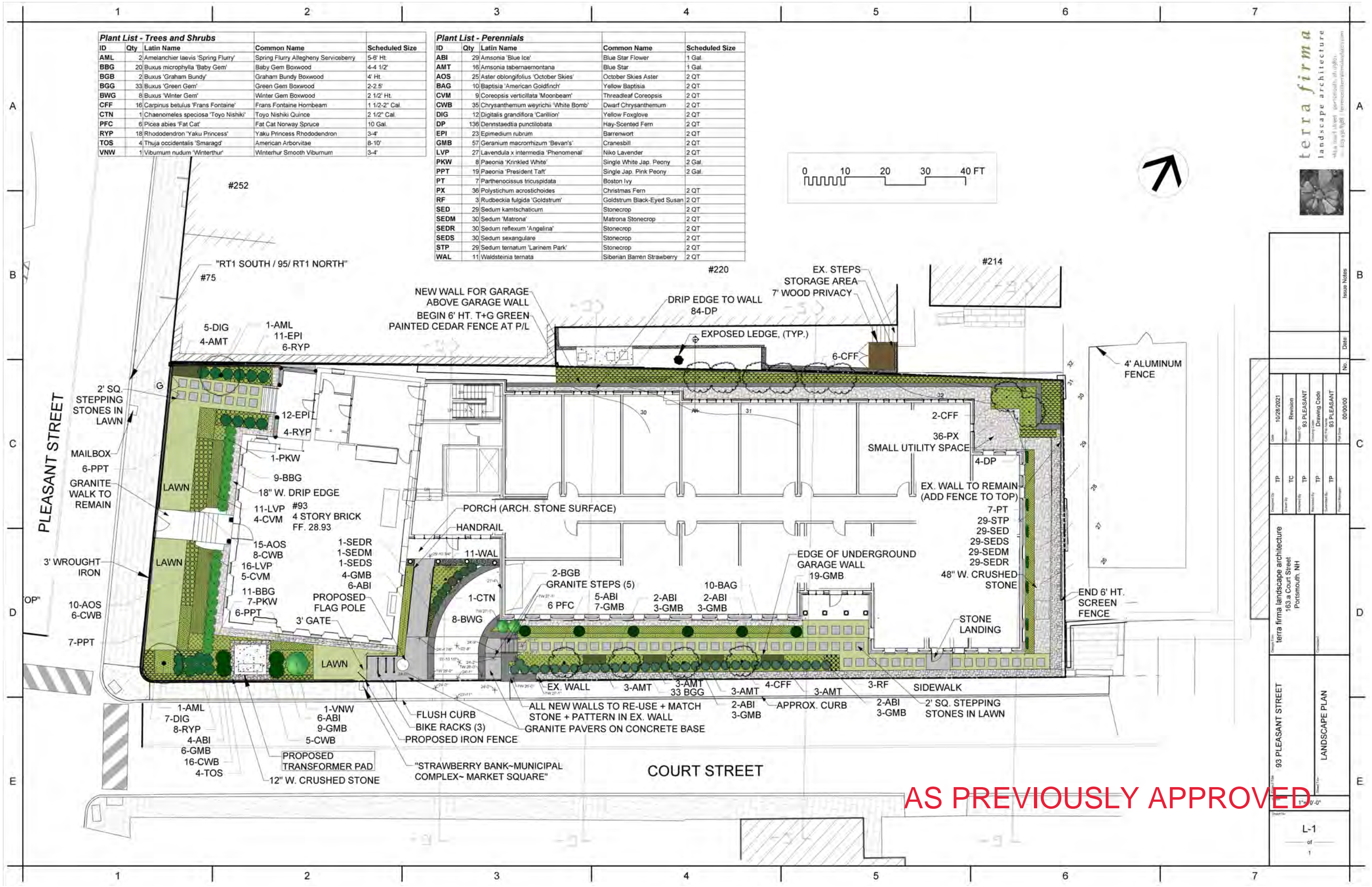
**REVISIONS TO PREVIOUSLY APPROVED APPLICATION .**

- 1: PROVIDE ACCESSIBLE ENTRY RAMP AT EXISTING PLEASANT STREET SIDE PORCH.
- 2: REPLACE AND LOWER EXISTING BASEMENT WINDOWS WITH EXPANDED AND LOWERED WINDOW WELLS.
- 3: REPLACE COURT STREET WEST PORCH RAMP WITH STEPS AND SIDEWALK.
4. PROVIDE RECESSED BALCONIES ABOVE NEW PORCH ADDITIONS AT 2ND AND 3RD FLOORS.
5. MOVE NEW GABLE DORMERS SLIGHTLY CLOSER TO EAVE LINE.
6. SHIFTED LOCATION OF ELEVATOR OVER RUN, EXTEND REAR FIRE STAIR TO ROOF.
7. PROVIDE RAILING AT NEW ROOF DECK.
8. LOCATE ROOFTOP MECHANICAL EQUIPMENT AS SHOWN.
9. ADD BRICK CHIMNEY AT NEW ADDITION FOR EXHAUST VENTILATION
10. REPLACE EXISTING ROOF ACCESS SCUTTLE BEHIND WIDOW'S WALK RAILING WITH SKYLIGHT
11. AT REAR FACADE, SHIFT WINDOW LOCATIONS SLIGHTLY, REMOVE WEST PROTRUDING BAY BEHIND RETAINING WALLS (NOT VISIBLE FROM PUBLIC WAY).
12. WINDOWS ADDED AT SIDE FACADE
13. WINDOWS REMOVED AT REAR ELEVATION
14. REMOVE NEW PORCH GABLE
15. ADJUSTED OVERALL LENTH OF EAST WALLS
16. Raise 2nd & 3rd floors by 2" each. Lower roof ridge by 4" and lower average building height by 2-1/4".
17. Replace 3 windows with louvers to match shutters.



Plant List - Trees and Shrubs				
ID	Qty	Latin Name	Common Name	Scheduled Size
AML	2	Amelanchier laevis 'Spring Flurry'	Spring Flurry Allegheny Serviceberry	5-6' Ht.
BBG	20	Buxus microphylla 'Baby Gem'	Baby Gem Boxwood	4-4 1/2'
BGB	2	Buxus 'Graham Bundy'	Graham Bundy Boxwood	4' Ht.
BGG	33	Buxus 'Green Gem'	Green Gem Boxwood	2-2.5'
BWG	8	Buxus 'Winter Gem'	Winter Gem Boxwood	2 1/2' Ht.
CFF	16	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	1 1/2-2" Cal.
CTN	1	Chaenomeles speciosa 'Toyo Nishiki'	Toyo Nishiki Quince	2 1/2" Cal.
PFC	6	Picea abies 'Fat Cat'	Fat Cat Norway Spruce	10 Gal.
RYP	18	Rhododendron 'Yaku Princess'	Yaku Princess Rhododendron	3-4'
TOS	4	Thuja occidentalis 'Smaragd'	American Arborvitae	8-10'
VNW	1	Viburnum nudum 'Winterthur'	Winterthur Smooth Viburnum	3-4'

Plant List - Perennials				
ID	Qty	Latin Name	Common Name	Scheduled Size
ABI	29	Amsonia 'Blue Ice'	Blue Star Flower	1 Gal.
AMT	16	Amsonia tabernaemontana	Blue Star	1 Gal.
AOS	25	Aster oblongifolius 'October Skies'	October Skies Aster	2 QT
BAG	10	Baptisia 'American Goldfinch'	Yellow Baptisia	2 QT
CVM	9	Coreopsis verticillata 'Moonbeam'	Threadleaf Coreopsis	2 QT
CWB	35	Chrysanthemum weyrichii 'White Bomb'	Dwarf Chrysanthemum	2 QT
DIG	12	Digitalis grandiflora 'Cantillon'	Yellow Foxglove	2 QT
DP	136	Dennstaedtia punctilobata	Hay-Scented Fern	2 QT
EPI	23	Epimedium rubrum	Barrenwort	2 QT
GMB	57	Geranium macrorrhizum 'Bevan's'	Cranesbill	2 QT
LVP	27	Lavendula x intermedia 'Phenomenal'	Niko Lavender	2 QT
PKW	8	Paeonia 'Krinkled White'	Single White Jap. Peony	2 Gal.
PPT	19	Paeonia 'President Taft'	Single Jap. Pink Peony	2 Gal.
PT	7	Parthenocissus tricuspidata	Boston Ivy	
PX	36	Polystichum acrostichoides	Christmas Fern	2 QT
RF	3	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-Eyed Susan	2 QT
SED	29	Sedum kamtschaticum	Stonecrop	2 QT
SEDM	30	Sedum 'Matrona'	Matrona Stonecrop	2 QT
SEDR	30	Sedum reflexum 'Angelina'	Stonecrop	2 QT
SEDS	30	Sedum sexangulare	Stonecrop	2 QT
STP	29	Sedum ternatum 'Larinem Park'	Stonecrop	2 QT
WAL	11	Waldsteinia ternata	Siberian Barren Strawberry	2 QT

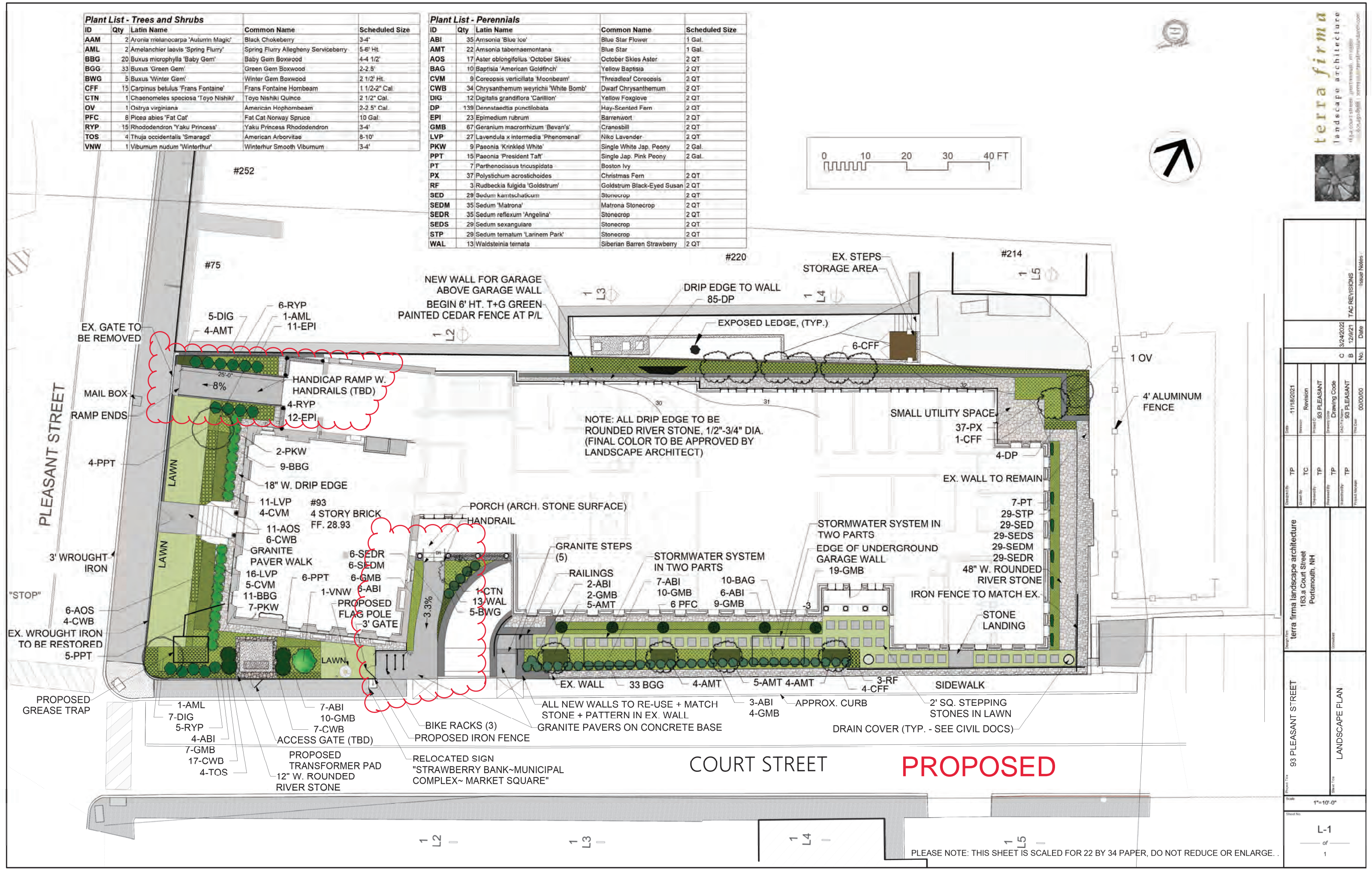


Issue Notes		Date		No.	
10/28/2021	Revision	10/28/2021	Revision	10/28/2021	Revision
93 PLEASANT	93 PLEASANT	93 PLEASANT	93 PLEASANT	93 PLEASANT	93 PLEASANT
163 a Court Street	163 a Court Street	163 a Court Street	163 a Court Street	163 a Court Street	163 a Court Street
Portsmouth, NH	Portsmouth, NH	Portsmouth, NH	Portsmouth, NH	Portsmouth, NH	Portsmouth, NH
terra firma landscape architecture	terra firma landscape architecture	terra firma landscape architecture	terra firma landscape architecture	terra firma landscape architecture	terra firma landscape architecture
163 a Court Street	163 a Court Street	163 a Court Street	163 a Court Street	163 a Court Street	163 a Court Street
Portsmouth, NH	Portsmouth, NH	Portsmouth, NH	Portsmouth, NH	Portsmouth, NH	Portsmouth, NH
LANDSCAPE PLAN	LANDSCAPE PLAN	LANDSCAPE PLAN	LANDSCAPE PLAN	LANDSCAPE PLAN	LANDSCAPE PLAN
L-1	L-1	L-1	L-1	L-1	L-1
of	of	of	of	of	of
1	1	1	1	1	1



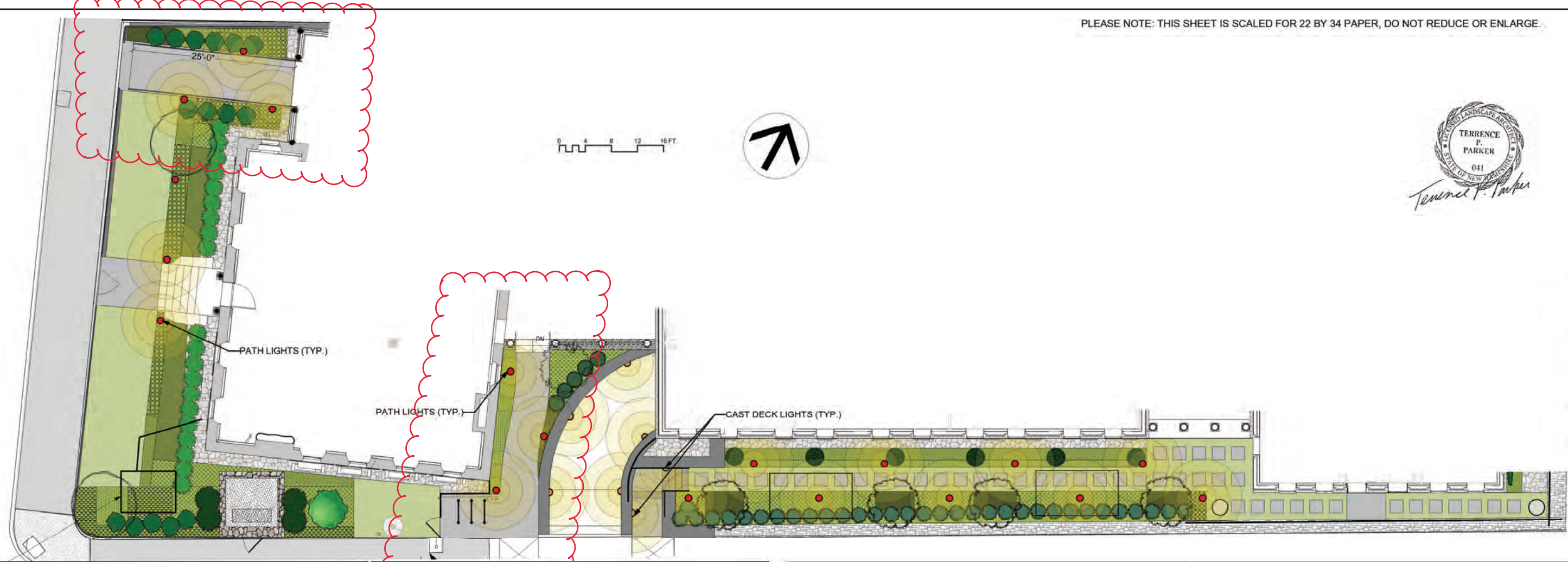
Plant List - Trees and Shrubs				
ID	Qty	Latin Name	Common Name	Scheduled Size
AAM	2	Aronia melanocarpa 'Autumn Magic'	Black Chokeberry	3-4'
AML	2	Amelanchier laevis 'Spring Flurry'	Spring Flurry Allegheny Serviceberry	5-8' Ht.
BBG	20	Buxus microphylla 'Baby Gem'	Baby Gem Boxwood	4-4 1/2'
BGG	33	Buxus 'Green Gem'	Green Gem Boxwood	2-2.5'
BWG	5	Buxus 'Winter Gem'	Winter Gem Boxwood	2 1/2' Ht.
CFF	15	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	1 1/2-2" Cal.
CTN	1	Chaenomeles speciosa 'Toyo Nishiki'	Toyo Nishiki Quince	2 1/2" Cal.
OV	1	Ostrya virginiana	American Hophornbeam	2-2.5" Cal.
PFC	6	Picea abies 'Fat Cat'	Fat Cat Norway Spruce	10 Gal.
RYP	15	Rhododendron 'Yaku Princess'	Yaku Princess Rhododendron	3-4'
TOS	4	Thuja occidentalis 'Smaragd'	American Arborvitae	8-10'
VNW	1	Viburnum nudum 'Winterthur'	Winterthur Smooth Viburnum	3-4'

Plant List - Perennials				
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ABI	35	Amsonia 'Blue Ice'	Blue Star Flower	1 Gal.
AMT	22	Amsonia tabernaemontana	Blue Star	1 Gal.
AOS	17	Aster oblongifolius 'October Skies'	October Skies Aster	2 QT
BAG	10	Baptisia 'American Goldfinch'	Yellow Baptisia	2 QT
CVM	9	Coreopsis verticillata 'Moonbeam'	Threadleaf Coreopsis	2 QT
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SEDS	29	Sedum sexangulare	Stonecrop	2 QT
STP	29	Sedum ternatum 'Larinem Park'	Stonecrop	2 QT
WAL	13	Waldsteinia ternata	Siberian Barren Strawberry	2 QT



Project Title	terra firma landscape architecture			
	153.3 Court Street Portsmouth, NH			
	Scale: 1"=10'-0"			
	Sheet No. L-1			
Revision	1	11/18/2021	TP	Issue Notes
	2	12/15/21	TP	
	3	3/24/2022	TP	
	4	12/15/21	TP	
PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE.				





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### CAST Classic Deck Light (CDL1CB, CDL1LED1, CDL1LED1A) Product Information

**CAST Solid Bronze Deck Light - Rugged, Ideal for Walls, Decks, and Docks**

**Description:**  
This compact and attractive solid bronze deck light is a durable, reliable, and energy-efficient fixture for wall and post mounting.

**Features:**

- Solid bronze hood and base
- Glare-free illumination
- Pre-wired with 25' tin-coated No-Ox<sup>®</sup> marine grade wire
- Spider Splice<sup>®</sup> ready

**Uses:**  
Suitable for downlighting when mounted on retaining walls, structure surfaces, posts and pilings. Amber version complies with Florida Fish and Wildlife Conservation Commission guidelines for beachside marine turtle habitats.

**Dimensions:**  
3.75" diameter x 1.75" height

**Construction:**  
Solid bronze hood and base; borosilicate lens; 25' tin-coated #18-2 No-Ox<sup>®</sup> marine-grade wire.

**Specifications:**  
CDL1CB: High Temp. T-5 socket, Lamp: Includes 2.5W, 9-15 volt operating range, T5 LED Lamp (SL921T5200L).  
Halogen Option: 12 Volt, 18W T5 xenogen - 18W max. (CW8921X).  
CDL1LED1: Power: 10-24V, 27 Amps, 2.82W, .88 pf, 3.20VA; L70 hrs 60,500, CRI 81, Color temp. 2,739, Fixture Lumens: 49.  
CDL1LED1A: Input Voltage: 8v-18v AC or DC; Input Power: 3.0 Watts; 0.8 pf; LED Light output: Amber: 70 lm Fixture output: Amber: 35 lm  
**FWC Cert# 2015-013**

**Notes:**  
• CDL1CB Includes 2.5W T5 LED Lamp (SL921T5200L)  
• Typical spacing 5' to 10'  
• Downward and horizontal orientation allowed

**Plan Symbol:**

**CDL1CB, CDL1LED1, CDL1LED1A**

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Revised December 2019

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### Lighting Specification Sheet

Classic Deck Light (CDL1CB, CDL1LED1, CDL1LED1A)

Project: \_\_\_\_\_ Date: \_\_\_\_\_  
Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
Specifier: \_\_\_\_\_

Drawing not to scale

**CDL1CB:** Must operate lamp between 9 to 20 volts. Check voltage with digital multi-meter.

**CDL1LED1:** Operates between 10V to 24V AC or DC.

**Surface mount using supplied hardware.**

**Extremely durable solid sand cast 88-6-3-2 bronze body.**

**Frosted glass lens.**

**CDL1CB:** Includes 2.5W T5 LED Lamp (SL921T5200L)  
**CDL1LED1:** Input power: 3.0W  
**Power Factor: 0.8W**  
**(Size wire and power supply for 3.75W)**

**#18-2 @ 25' Tin coated**

**Two 8-32 302 stainless steel hex head set screws.**

**Plan Symbol:**

**Notes:**  
• CDL1CB Includes 2.5W T5 LED Lamp (SL921T5200L)  
• Typical spacing 5' to 10'  
• Downward and horizontal orientation allowed

**12-17-2019 873-423-2303 | www.cast-lighting.com | © Copyright 2020 CAST Lighting LLC. cdltcbpsca**

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### CAST Large Mushroom Path Light (CMU2CB) Product Information

**CAST Classic Large Mushroom Area/Path Light - Beautiful, Glare Free Illumination**

**Description:**  
This rugged solid bronze path/area light provides a soft glare free illumination. LED conversion is achieved with the CALED2 module.

**Features:**

- Solid bronze hat and vase
- Large Talon Eurometal stake
- Heavy-gauge copper stem
- Pre-wired with 35' tin-coated No-Ox<sup>®</sup> marine grade wire
- High-temp socket
- Spider Splice<sup>®</sup> ready

**Uses:**  
Suitable for lighting walkways, planting beds, and other areas.

**Construction:**  
Solid bronze hat and vase; Eurometal stake; heavy-gauge copper stem; 35' tin-coated #16-2 No-Ox<sup>®</sup> marine-grade wire.

**Dimensions:**  
25" tall x 9" wide  
Stake: 8.5"

**Lamp Specifications:**  
CMU2CB: 12V Wedge Base Krypton (35w max.) (not included).  
LED Conversion: CALED2 LED Module

**Listing:**  
UL 1838 Listed Low Voltage Luminaire for wet locations  
LED Versions: UL listed.  
All Versions: RoHS, FCC Class B Conducted and Radiated

**Plan Symbol:**

**Notes:**  
• CMU2CB Requires SB Wedge Base Lamp (incl. 25w) Max. lamp rating 35 watts  
• Typical spacing 10' to 15'  
• Refer to product installation sheet prior to installation

**Options:**  
☐ Mounting Canopy - Unthreaded (CFM1CBS)  
☐ Standard Mounting Stake (CHS1EM)  
☒ Large Talon Stake (CSTL)(incl.)  
☐ Long Mounting Stake (CLMS1EM)  
☐ Heavy Duty Mounting Stake (CHHS1CB)  
\*NOTE: This is a threaded stake. To use with this fix-  
ture, purchase adapter (XCBP1TLTA).

**Unthreaded Stems:**  
☐ Replacement Stem (XCBPSTHS)  
☐ Telescopic Stem (CWTRS)

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Revised December 2018

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### Lighting Specification Sheet

Classic Large Mushroom Area/Path Light (CMU2CB)

Project: \_\_\_\_\_ Date: \_\_\_\_\_  
Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
Specifier: \_\_\_\_\_

Drawing not to scale

**Must operate lamp between 10.5-12.0 volts. Optimal range is 10.8 to 11.3. Check voltage with digital multi-meter.**

**304 knurled & slotted easy grip thumb screws.**

**Extremely durable solid sand cast 88-6-3-2 bronze body and cap.**

**220°C high-temp selfon-jacketed socket.**

**Internal drain stem.**

**Soldered, crimped and heat shrunk electrical connection to lead wire.**

**Heavy duty 100% solid copper fixture stem - .115 wall thickness.**

**Large Talon Stake™**

**Soil**

**LED Retrofit:**  
use CALED2 - replaces halogen lamp

**CMU2CB: Wedge-base 25 watt Krypton lamp light source.**

**Highly reflective white underside surface paint.**

**Reflected "no glare" light source.**

**Keep stake top flush w/grade.**

**#16-2 @ 35' Tin coated marine grade No-Ox<sup>®</sup> wire. Dury wire at 6" depth.**

**Coil leftover lead wire at base of fixture. This allows for future field adjustment of fixture placement if required.**

**Plan Symbol:**

**Notes:**  
• CMU2CB Requires SB Wedge Base Lamp (incl. 25w) Max. lamp rating 35 watts  
• Typical spacing 10' to 15'  
• Refer to product installation sheet prior to installation

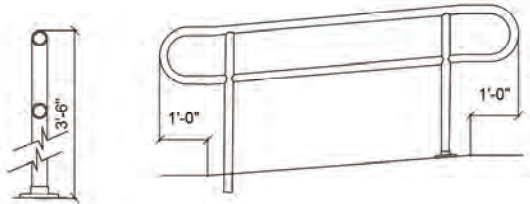
**Options:**  
☐ Mounting Canopy - Unthreaded (CFM1CBS)  
☐ Standard Mounting Stake (CHS1EM)  
☒ Large Talon Stake (CSTL)(incl.)  
☐ Long Mounting Stake (CLMS1EM)  
☐ Heavy Duty Mounting Stake (CHHS1CB)  
\*NOTE: This is a threaded stake. To use with this fix-  
ture, purchase adapter (XCBP1TLTA).

**Unthreaded Stems:**  
☐ Replacement Stem (XCBPSTHS)  
☐ Telescopic Stem (CWTRS)

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Revised December 2018



ITEM NO.	DESCRIPTION
1	1 1/2 SCH.40 ALUM. PIPE TOP RAIL
2	1 1/2 SCH.40 ALUM. PIPE POST
3	1 1/2 SCH.40 ALUM. PIPE INTERMEDIATE RAIL
4	5" CAST ALUM. POST SHOE, FASTENERS BY CONTRACTOR

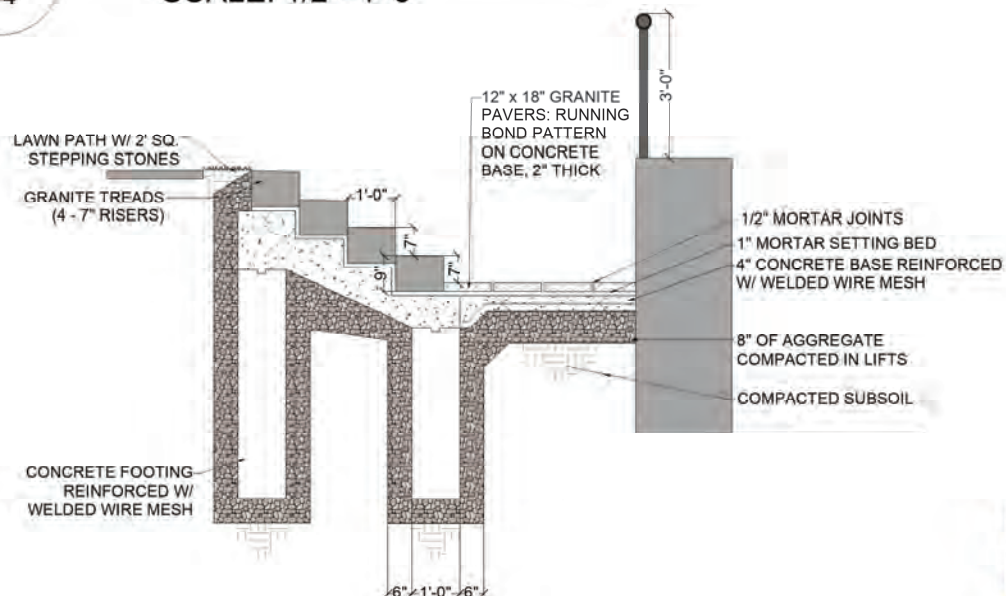


NOTES:  
PRE-ENGINEERED AND FABRICATED TO FIT LEVEL.  
ARCHITECTURAL SERIES WITH ALL WALLS GROUND SMOOTH.  
POWDER COAT FINISH

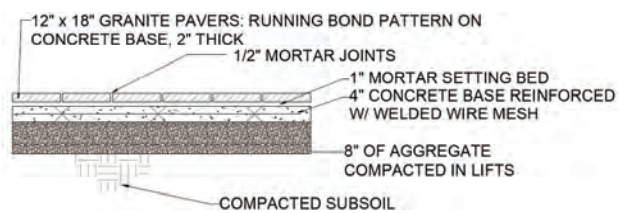
ADA WELDED TWO LINE PIPE RAIL BY AMERICAN RAILING SYSTEMS INC. OR EQUAL

AMERICAN RAILING SYSTEMS INC.  
1813 MCCLELLAND AVE. ERIE, PA 16150  
PHONE: 814-899-7677  
ARS@AMERICANRAIL.COM

## 1 HANDRAIL SCALE: 1/2"=1'-0"

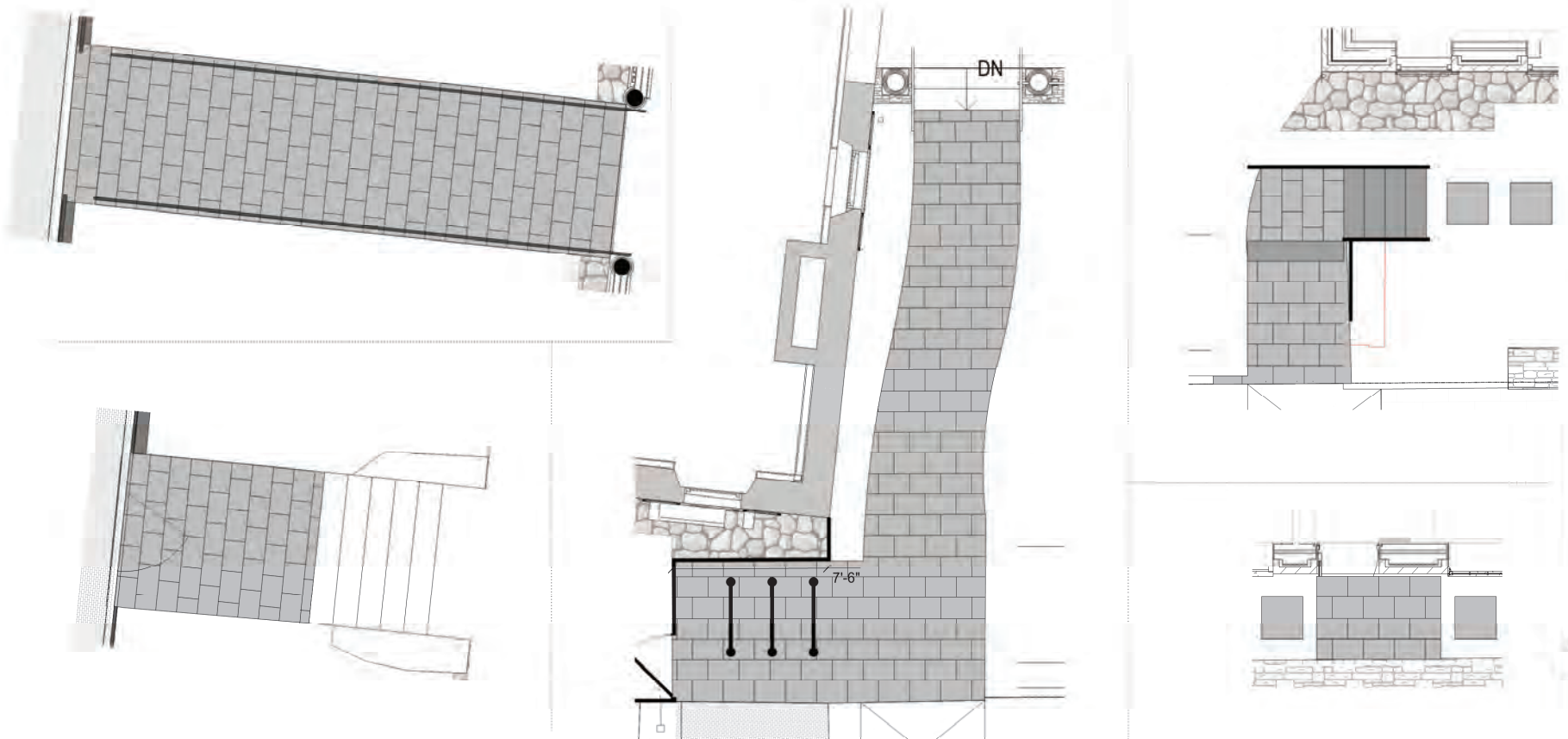


## 2 COURTYARD STEP DETAIL (TYP.) SCALE: 1/2"=1'-0"



NOTE: USE A FLEXIBLE ALUMINUM EDGE RESTRAINT ON ALL SIDES. INSTALL PER MFRG INSTRUCTIONS.  
MFRG: 'StructurEdge' BY PERMALOC OR EQUAL

## 3 GRANITE PAVER DETAIL SCALE: 1/2"=1'-0"

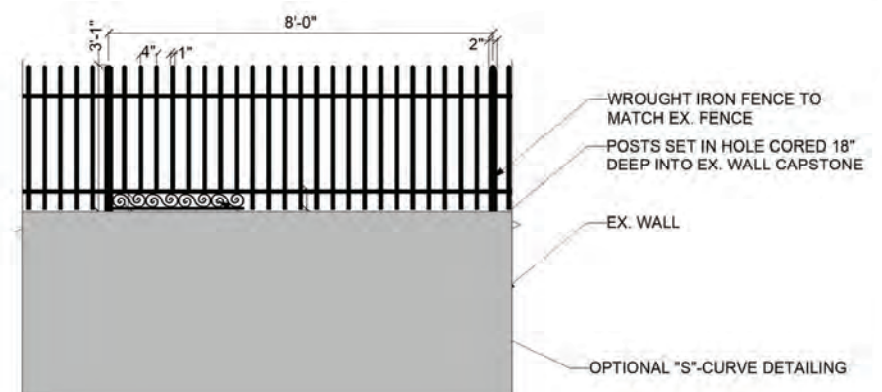


## 4 GRANITE PAVER LAYOUT SCALE: 1/4"=1'-0"



IRON FENCE (and GATE) TO MATCH EX. IRON FENCE

## 5 37" IRON FENCE (AND 4' GATE) DETAIL SCALE: NTS



IRON FENCE TO MATCH EX. IRON FENCE

## 5 37" IRON FENCE ON EX. WALL DETAIL SCALE: 1/2"=1'-0"



terra firma  
landscape architecture  
163 a court street portsmouth, nh 03801  
603-430-6988 terrence@terrafirmalandscape.com



Project No.	1121/2021	Revision	93 PLEASANT	Drawing Code	93 PLEASANT	Issue Notes
Client	TP	TC	TP	TP	TP	
Design Firm	terra firma landscape architecture	163 a Court Street	Portsmouth, NH			
Project Title	93 PLEASANT STREET					
Sheet Title	LANDSCAPE DETAILS					
Scale	SEE DETAILS					
Sheet No.	L-4					
	of					
	1					

PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE

PROPOSED





Chilmark Tongue and Groove Cedar Fence (Painted Green)  
by Walpole Outdoors OR EQUAL  
100 River Ridge Drive, Suite 302  
Norwood, MA 02062  
(866) 253-3108  
<https://walpoleoutdoors.com/>

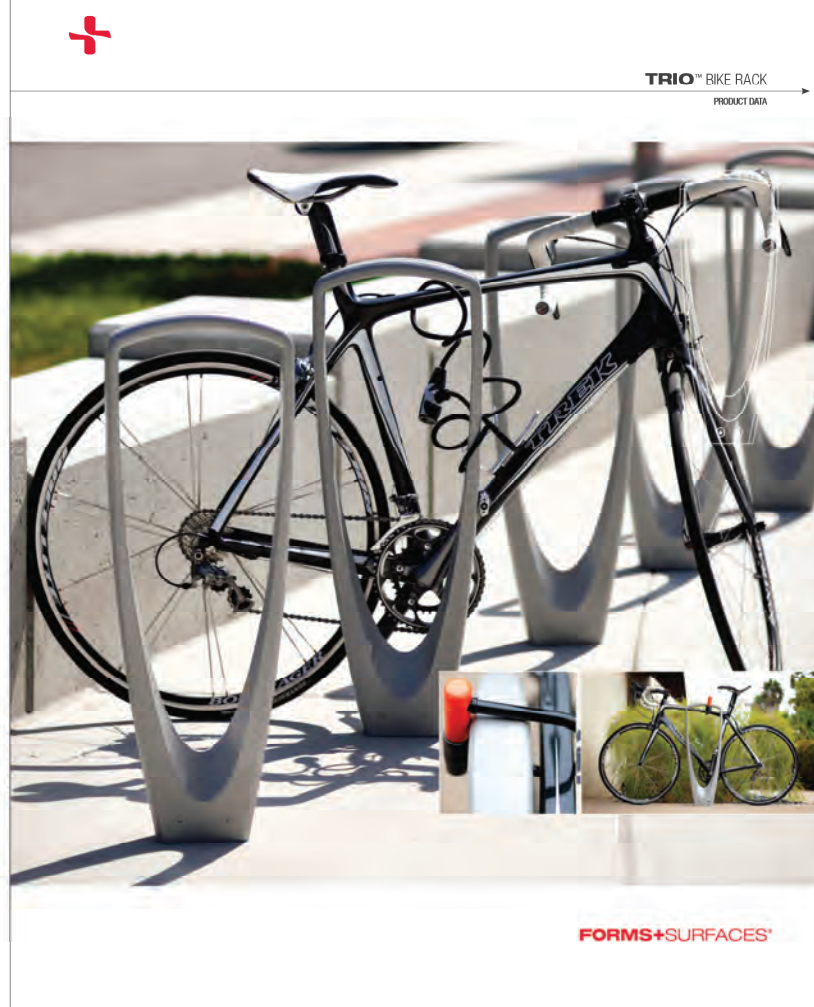


**terra firma**  
landscape architecture  
153 A COURT STREET · PORTSMOUTH, NH 03801  
603-430-8988 | [terrace@terrafirmalandarch.com](mailto:terrace@terrafirmalandarch.com)



1  
L-5

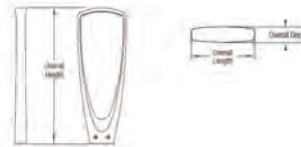
6' TONGUE AND GROOVE FENCE  
SCALE: NTS



The **Trio Bike Rack** is the perfect complement to our Trio product line. Providing an excellent opportunity for design continuity, the Trio Bike Rack draws on the same triangular shape and exaggerated void seen in both our Trio Bench and Trio Lighting. Contemporary in design, its simple yet sculptural form allows it to be integrated into a myriad of settings.

MATERIAL & FINISHES		INSTALLATION & MAINTENANCE	
MATERIAL	FINISHES	INSTALLATION	MAINTENANCE
<ul style="list-style-type: none"> <li>Body is made of corrosion-resistant cold drawn with powdercoat finish.</li> </ul>	<ul style="list-style-type: none"> <li>See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an upcharge.</li> <li>Due to the inherent nature of metal castings, gaseous powercoats are not offered for cast components.</li> </ul>	<ul style="list-style-type: none"> <li>• The Bline Ractels must be surface anchored with stainless steel anchors and bolts.</li> <li>• Stainless steel mounted and tamper resistant stainless steel screws are included.</li> </ul>	<ul style="list-style-type: none"> <li>• Metal surfaces can be cleaned as needed using a mild or brush with warm water and a mild detergent. Avoid abrasive cleaners.</li> </ul>
	<ul style="list-style-type: none"> <li>• Meets Association of Pedestrian and Bicycle Professionals (APBP) guidelines.</li> <li>• A locking point detail and mounting configurations that meet APBP guidelines can be found on pages 1 and 2 of this document.</li> </ul>		

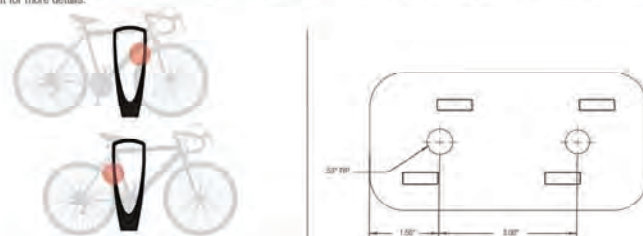
### NOMINAL DIMENSIONS



OVERALL LENGTH	OVERALL DEPTH	OVERALL HEIGHT	WEIGHT
12" (305 mm)	2.75" (70 mm)	33.5" (851 mm)	25 lbs (11.3 kg)

### LOCKING POINT AND CONFIGURATION EXAMPLES

The Trio Bike Rack was designed to allow for a multitude of locking point and configuration options to meet your individual needs. Please note that for optimal performance, Forms+Surfaces recommends a 36" center-to-center placement. See diagrams below and the separate installation instructions document for more details.



A standard U-lock can be locked at this location to meet APBP guidelines for security and functionality.

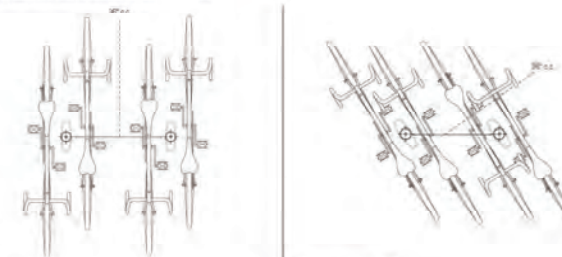
**LOCKING POINT EXAMPLE**  
T 800.451.0410 | [www.forms-surfaces.com](http://www.forms-surfaces.com)

© 2017 Farni+Surfaces® | All dimensions are nominal. Specifications are subject to change without notice. For the most current version of this document, please visit our website at [www.farni-surfaces.com](http://www.farni-surfaces.com)

page 1 of 2 | Rev. 11-17-17

**TRIO™** BIKE RACK

LOCKING POINT AND CONFIGURATION EXAMPLES (Continued)



#### CONFIGURATION EXAMPLE A

#### CONFIGURATION EXAMPLE 5

## ENVIRONMENTAL CONSIDERATIONS

- Please refer to the Trio Bike Rack Environmental Data Sheet for detailed environmental impact information.
- Trio aluminum casting has up to 95% recycled content and is fully recyclable.
- Standard powdercoat finishes are no-VOC; non-standard powdercoat finishes are no- or low-VOC, depending on color.
- Low maintenance.

MODEL NUMBER AND DESCRIPTION

MODEL	DESCRIPTION
SKTRIO	Trio Bike Rack

## PRODUCT OPTIONS

The following options are available for an upcharge:

Custom RAL powdercoat color

**LEAD TIME:** 4 weeks. Shorter lead times may be available upon request. Please contact us to discuss your specific timing requirements.

**PRICING:** Please contact us at 800.451.0410 or [sales@forms-surfaces.com](mailto:sales@forms-surfaces.com). At Forms+Surfaces, we design, manufacture and sell our products directly to you. Our sales team is available to assist you with questions about our products, requests for quotes, and orders. Territory Managers are located worldwide to assist with the front-end specification and quoting process, and our in-house Project Sales Coordinators follow your project through from the time you place an order to shipment.

**TO ORDER SPECIFY:** Quantity, model and powdercoat color for body casting. Quote/Order Forms are available on our website to lead you through the specification process in a simple checkbox format.

1-800-451-0410 | [www.lurms-surfaces.com](http://www.lurms-surfaces.com)

© 2017 Form+Surface® | All drawings are virtual Specifications and pricing subject to change without notice. For the most current version of the document, please refer to our website at [www.form-surface.com](http://www.form-surface.com).

**FORMS+SURFACES®**

page 2 of 2 | Rev. 11-17-17

FORMS + SURFACES TRIO BIKE RACK OR EQUAL

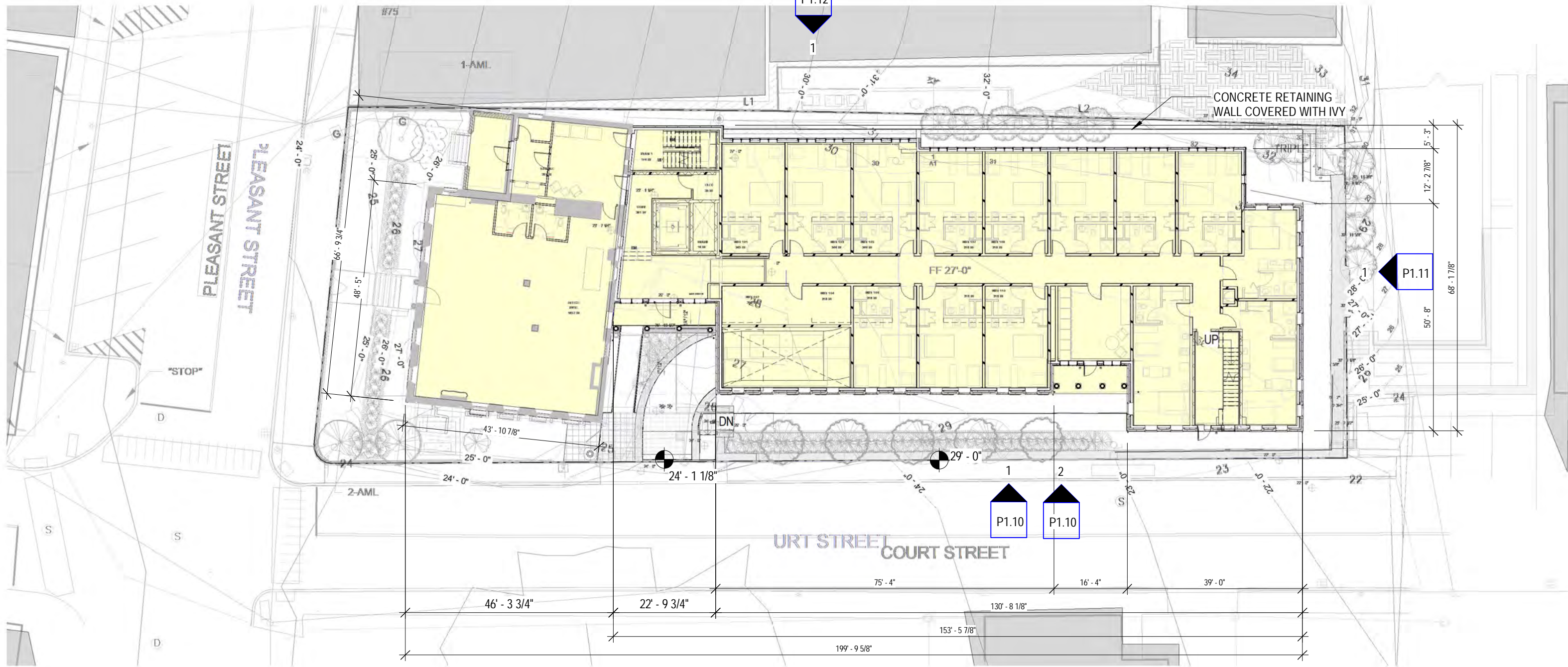
2 BIKE RACK DETAIL  
L-5 SCALE: NTS

# PROPOSED

PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE. .

Project No. _____ Scale _____ Street No. _____		SEE DETAILS		93 PLEASANT STREET terra firma landscape architecture 163 a Court Street Portsmouth, NH		Drawing Title LANDSCAPE DETAILS		Drawing No. _____ Drawing Date _____ Drawing By _____ Drawing Title _____ Drawing No. _____ Drawing Date _____ Drawing By _____ Drawing Title _____		12/9/21 Date		TAC REVISIONS No. _____		Issue Notes	
--	--	-------------	--	--	--	------------------------------------	--	--	--	-----------------	--	----------------------------	--	-------------	--





1 FIRST FLOOR PLAN  
3/64" = 1'-0"

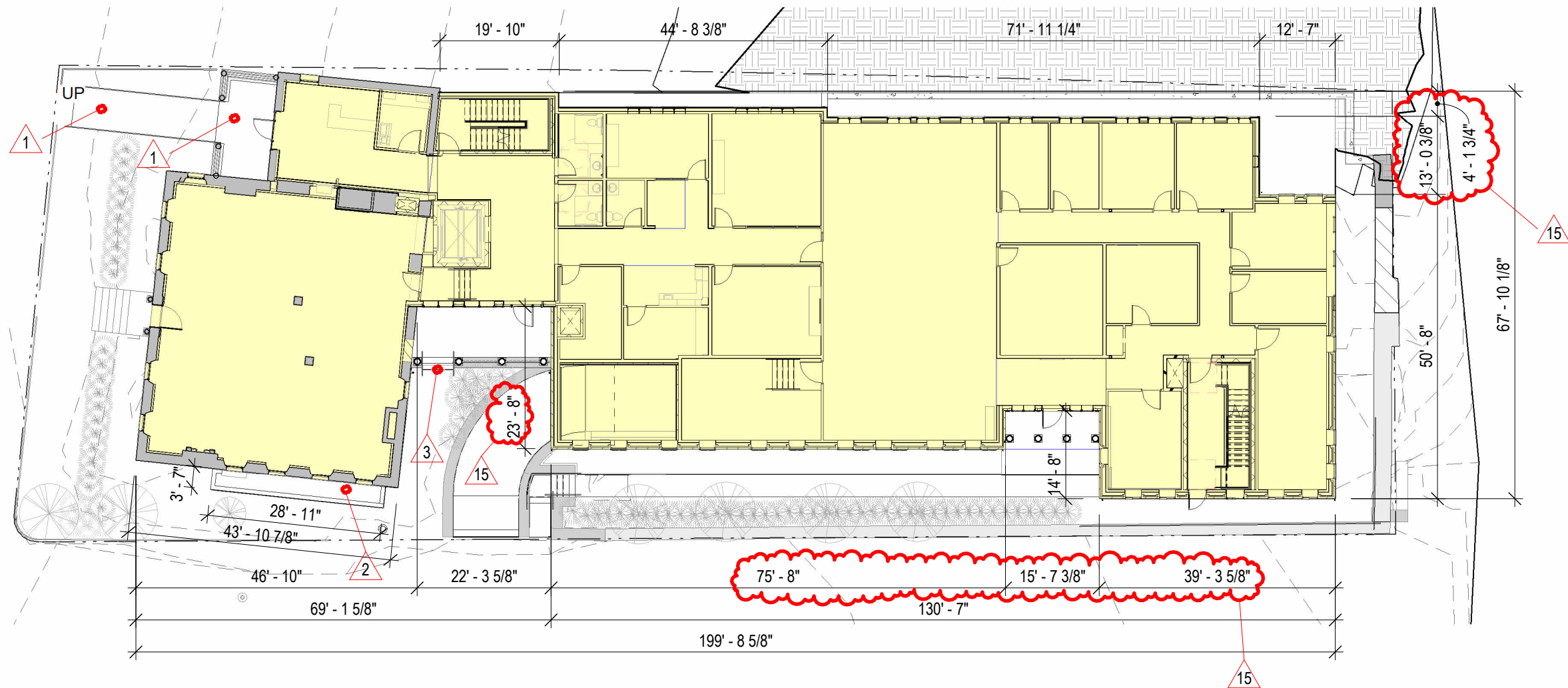
P1.2

AS PREVIOUSLY APPROVED

FIRST FLOOR PLAN

93 PLEASANT STREET  
HDC October 28, 2021





Revision Schedule		
Revision Number	Revision Description	Revision Date
1	Provide accessible ramp & lower porch floor at existing Pleasant Street Porch.	4.14.22
2	Replace & lower existing basement windows, with expanded and lowered window well..	4.14.22
3	Replace Court Street new porch entry ramp with steps and walkway.	4.14.22
15	Revise intermediate wall dimensions	4.14.22

PROPOSED

P1.2

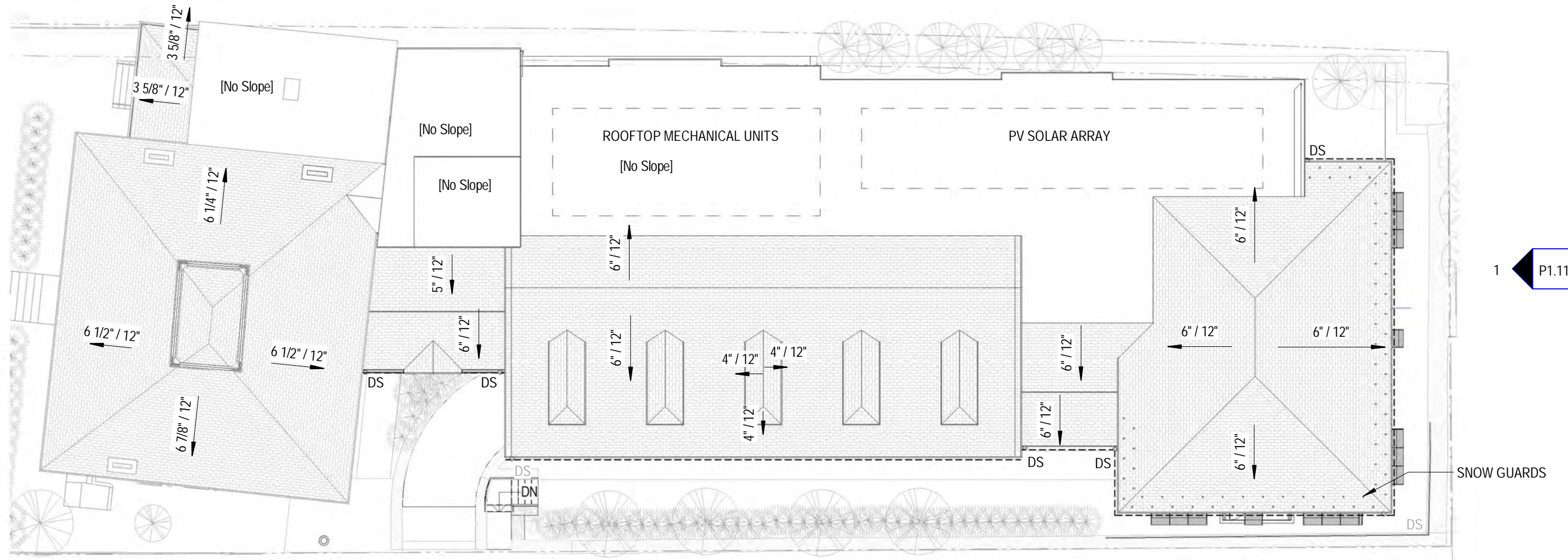
## FIRST FLOOR PLAN 93 PLEASANT STREET

HDC REVISION 1  
4/14/2022



P1.12

1



1

P1.11

1

# ROOF PLAN

1/16" = 1'-0"

## ROOF LEGEND

- DS DOWNSPOUT
- GUTTER

1

P1.10

GRAPHIC SCALE: 1/16" = 1'-0"



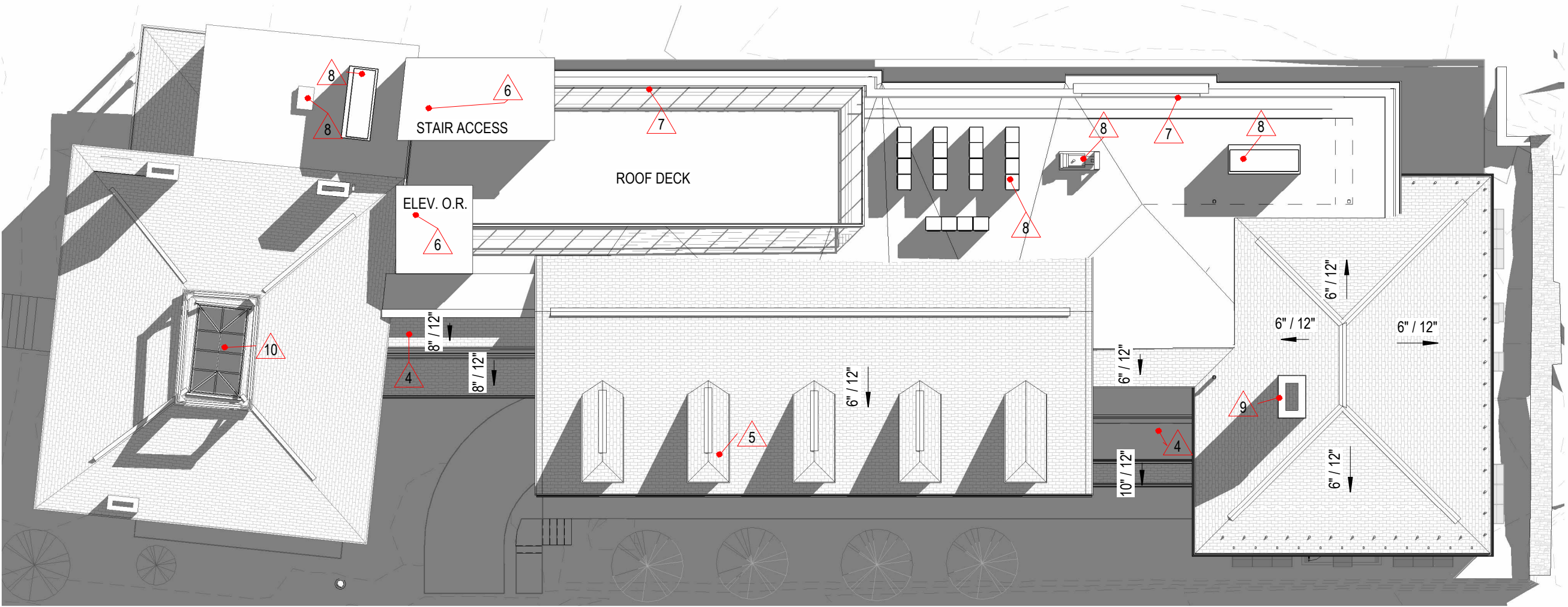
AS PREVIOUSLY APPROVED

P1.3

## ROOF PLAN

93 PLEASANT STREET  
HDC October 28, 2021





Revision Schedule		
Revision Number	Revision Description	Revision Date
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22
5	Move new gable dormers slightly closer and lower to eave line.	4.14.22
6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	Locate rooftop mechanical equipment as shown.	4.14.22
9	Add brick chimney at new addition for exhaust ventilation.	4.14.22
10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

ROOF LEGEND

- °

DS

DOWNSPOUT
- GUTTER

PROPOSED

P1.3

ROOF PLAN  
93 PLEASANT STREET

HDC REVISION 1  
4/14/2022

GRAPHIC SCALE: 1/16" = 1'-0"





Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
1	1	Provide accessible entry ramp at existing Pleasant Street side porch. Lower porch floor and new entry door. Remove gate at sidewalk. PROVIDE ACCESSIBLE ENTRY RAMP AT EXISTING PLEASANT STREET SIDE PORCH. Ramp	4.14.22



1 3D VIEW SIDE PORCH FROM CLIPPER TAVERN - HDC

PROPOSED

P1.7

PERSPECTIVE VIEW - NW  
93 PLEASANT STREET

HDC REVISION 1  
04/14/2022





AS PREVIOUSLY APPROVED

P1.8

PERSPECTIVE VIEW - SW

93 PLEASANT STREET  
HDC - OCTOBER 28, 2021





PROPOSED

P1.8

PERSPECTIVE VIEW - SW  
93 PLEASANT STREET

4/14/2022







P1.9

**AS PREVIOUSLY APPROVED**  
**PERSPECTIVE VIEW - SE**

93 PLEASANT STREET  
HDC - OCTOBER 28, 2021

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS



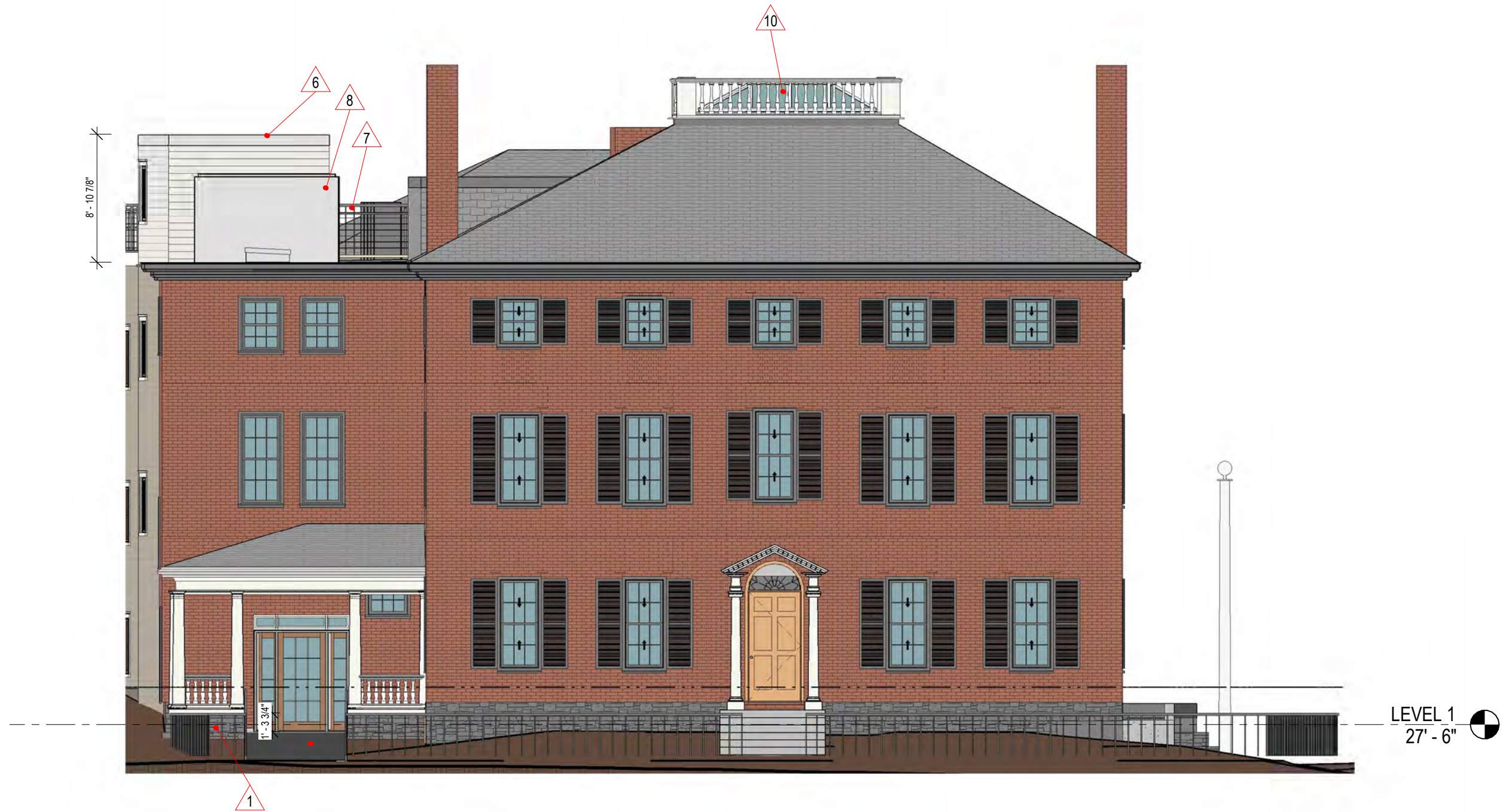


**PROPOSED**

**P1.9** **PERSPECTIVE VIEW - SE**  
**93 PLEASANT STREET**

4/14/2022





Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
1	1	Provide accessible entry ramp at existing Pleasant Street side porch. Lower porch floor and new entry door. Remove gate at sidewalk. PROVIDE ACCESSIBLE ENTRY RAMP AT EXISTING PLEASANT STREET SIDE PORCH. Ramp	4.14.22
6	6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	8	Locate rooftop mechanical requiment as shown.	4.14.22
10	10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

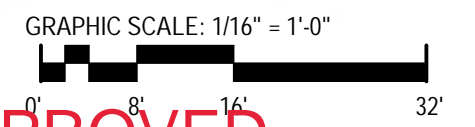
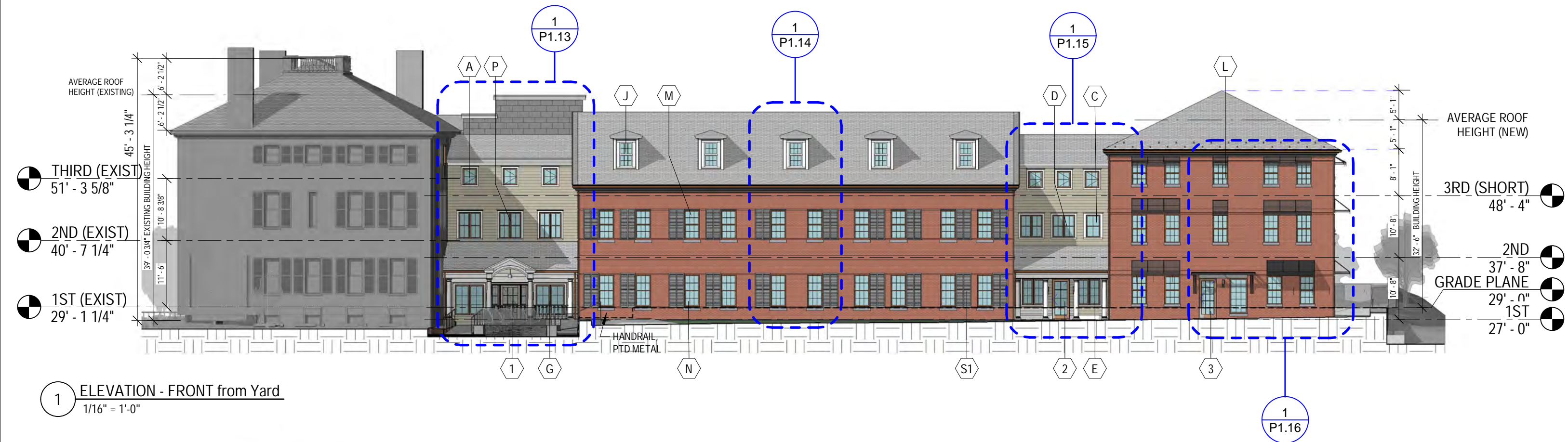
1 **ELEVATION FRONT - PLEASANT ST - HDC**  
1/8" = 1'-0"

**PROPOSED**

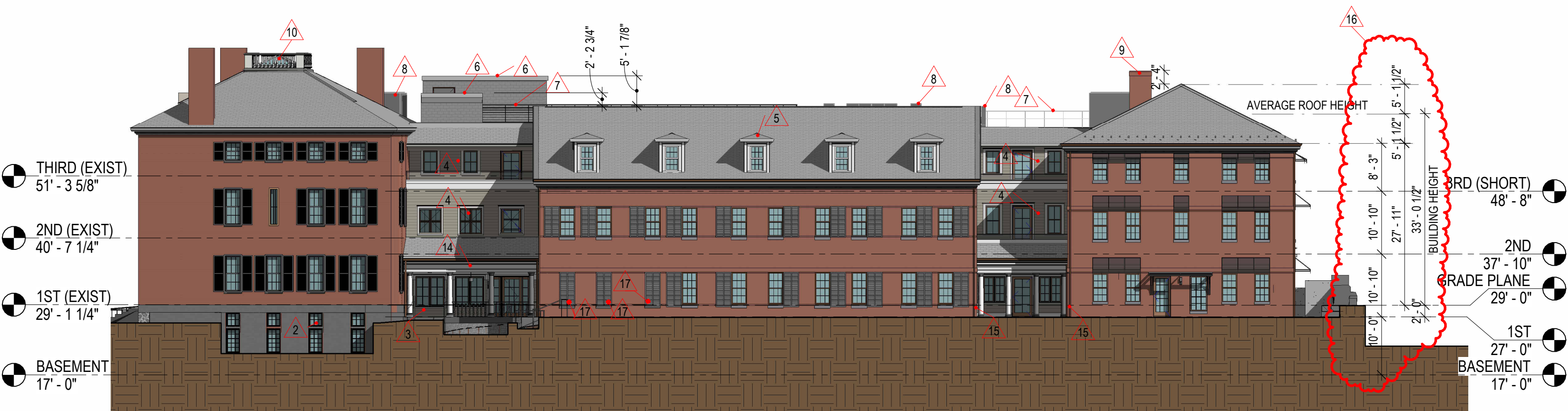
**P1.10A ELEVATION - FRONT, PLEASANT STREET**  
**93 PLEASANT STREET**

HDC REVISION 1  
04/14/2022









Revision Schedule		
Revision Number	Revision Description	Revision Date
2	Replace & lower existing basement windows, with expanded and lowered window well..	4.14.22
3	Replace Court Street new porch entry ramp with steps and walkway.	4.14.22
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22
5	Move new gable dormers slightly closer and lower to eave line.	4.14.22
6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	Locate rooftop mechanical equipment as shown.	4.14.22
9	Add brick chimney at new addition for exhaust ventilation.	4.14.22
10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22
14	Porch Arched Pediment removed	4.14.22
15	Revise intermediate wall dimensions	4.14.22
16	Raise 2nd & 3rd floor levels by 2" each. Lowered east ridge by 4" and average roof height by 2-1/4".	4.14.22
17	Replace windows with louvers to match closed shutters	4.14.22

P1.10

PROPOSED

ELEVATION - FRONT  
93 PLEASANT STREET

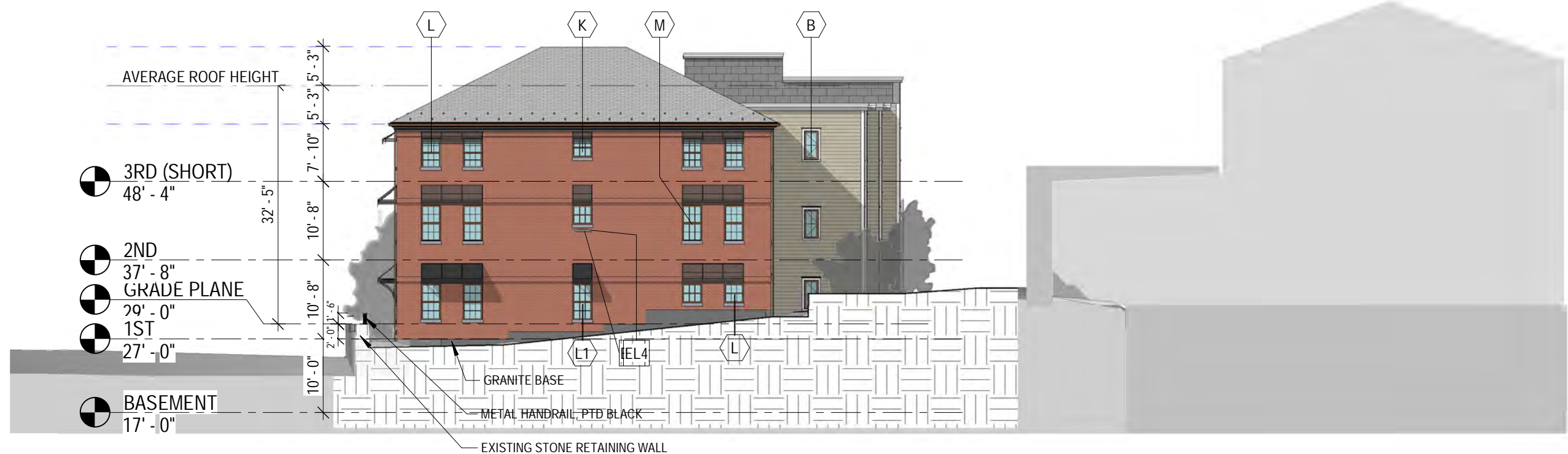
HDC REVISION 1  
4/14/2022

GRAPHIC SCALE: 1/16" = 1'-0"



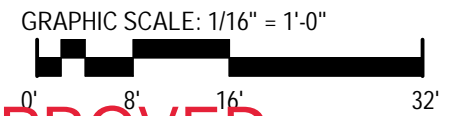
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1 HDC ELEVATION - SIDE  
1/16" = 1'-0"

EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT



P1.11

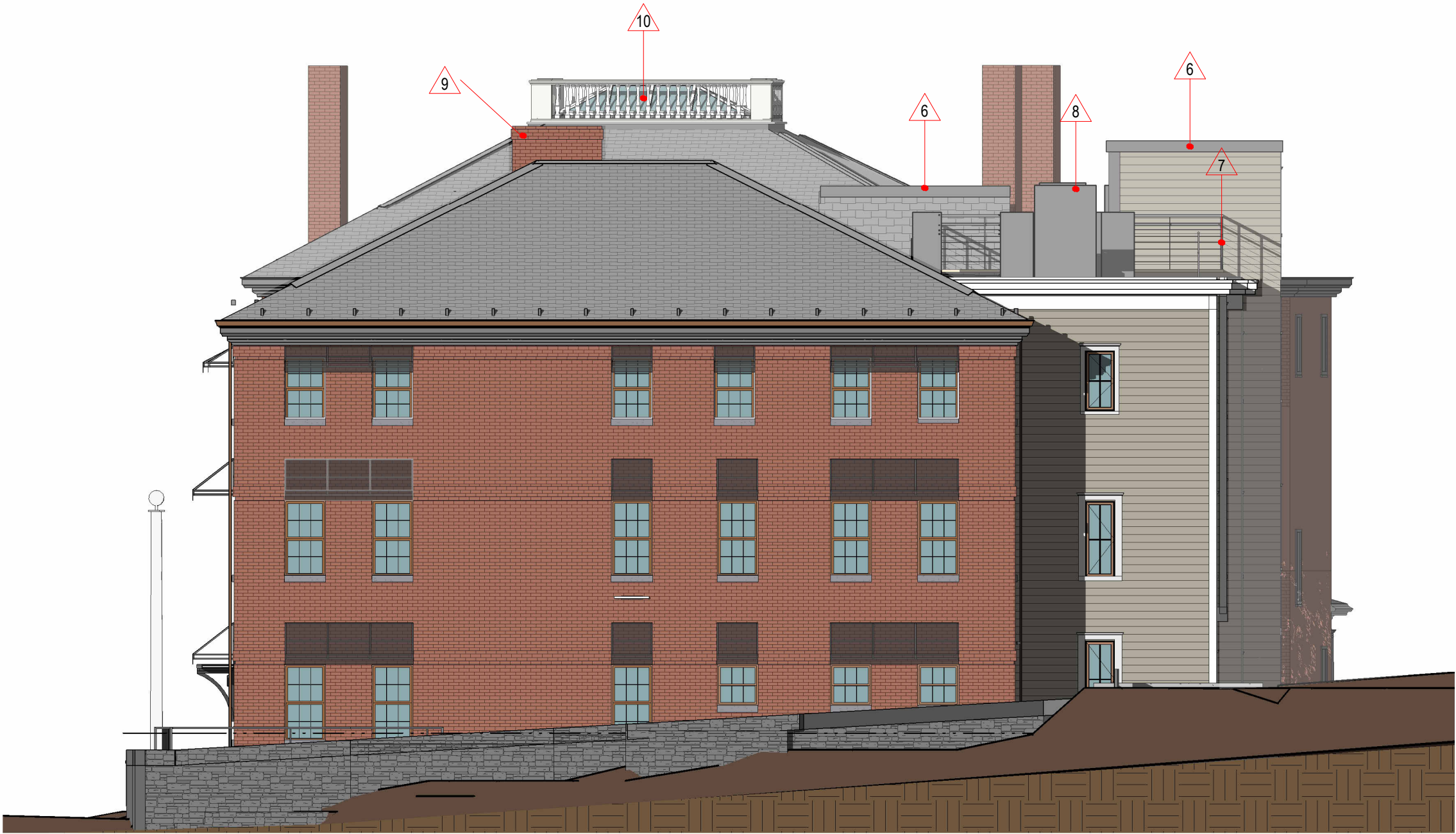
**AS PREVIOUSLY APPROVED**  
**ELEVATION - SIDE**  
 93 PLEASANT STREET  
 HDC October 28, 2021





EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT

Revision Schedule		
Revision Number	Revision Description	Revision Date
6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	Locate rooftop mechanical equipment as shown.	4.14.22
9	Add brick chimney at new addition for exhaust ventilation.	4.14.22
10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

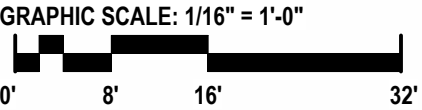


PROPOSED

P1.11

ELEVATION - SIDE  
93 PLEASANT STREET

HDC REVISION 1  
4/14/2022



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1 HDC ELEVATION - REAR  
1/16" = 1'-0"

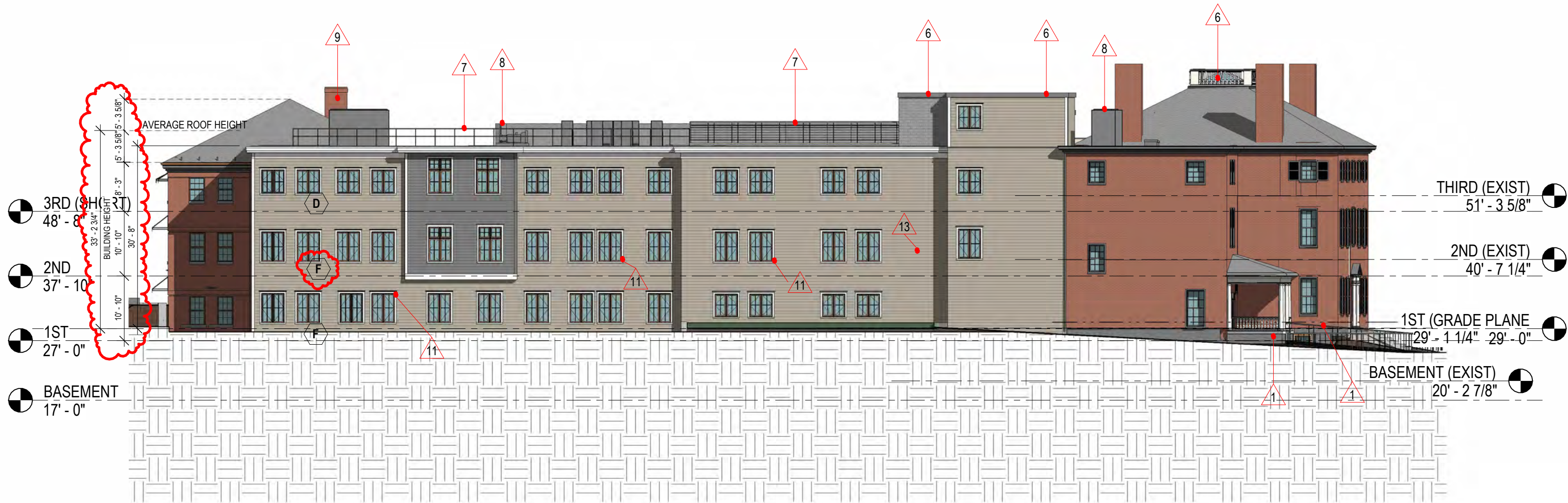
EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT

P1.12

**AS PREVIOUSLY APPROVED**  
**ELEVATION - REAR**

93 PLEASANT STREET  
HDC October 28, 2021





Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
1	1	Provide accessible entry ramp at existing Pleasant Street side porch. Lower porch floor and new entry door. Remove gate at sidewalk. PROVIDE ACCESSIBLE ENTRY RAMP AT EXISTING PLEASANT STREET SIDE PORCH. Ramp	4.14.22
6	6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	8	Locate rooftop mechanical requiment as shown.	4.14.22
9	9	Add brick chimney at new addition for exhaust ventilation.	4.14.22
11	11	At rear facade, shift window locations slightly, remove west protruding bay behind retaining wall.	4.14.22
13	13	Windows removed at rear elevations	4.14.22
16	16	Raise 2nd & 3rd floor levels by 2" each, and eastern portion of roof eave by 2.5" (total adjustment = 6.5")	Date 16

P1.12

PROPOSED

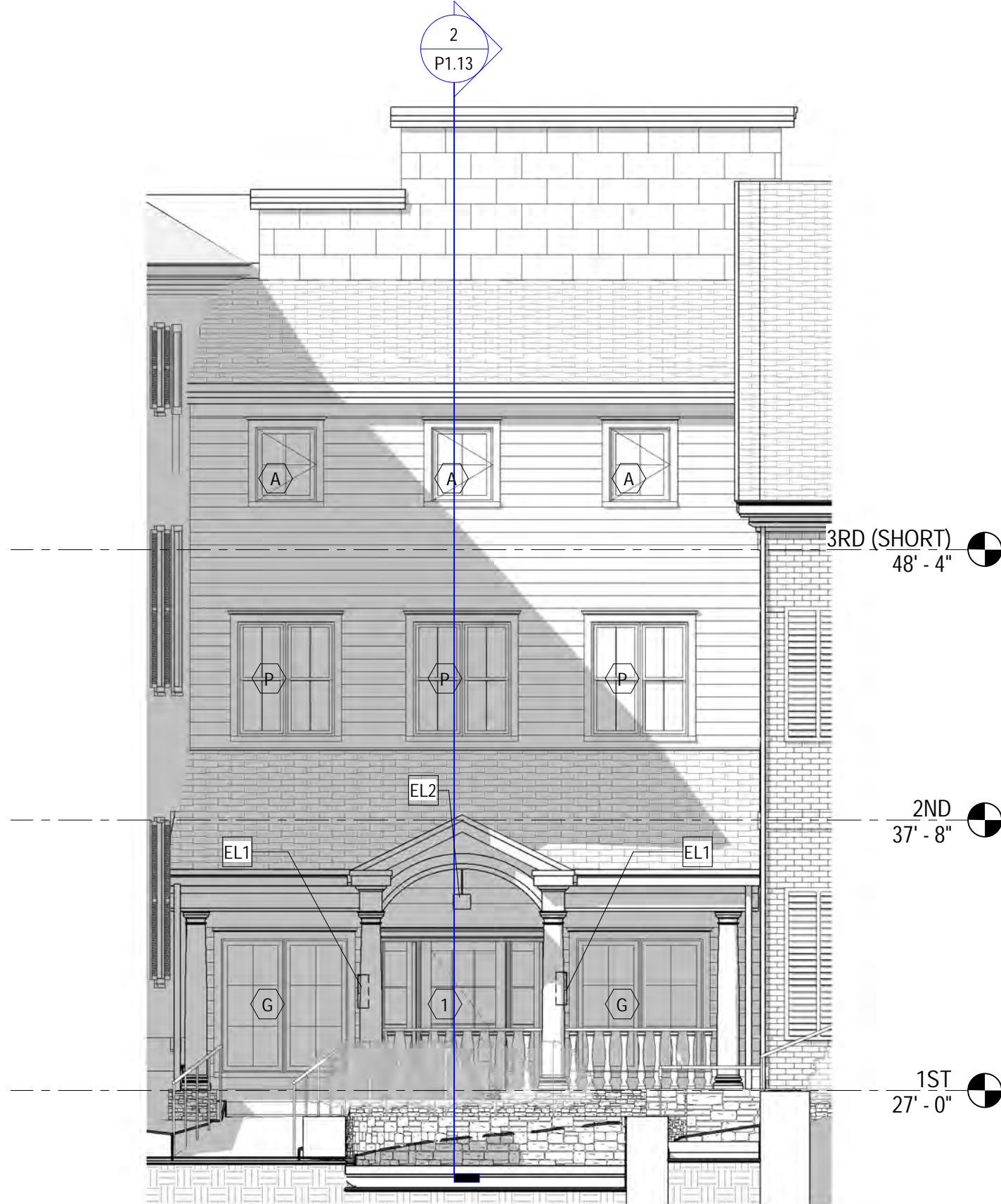
ELEVATION - REAR  
93 PLEASANT STREET

HDC REVISION 1  
04/14/2022

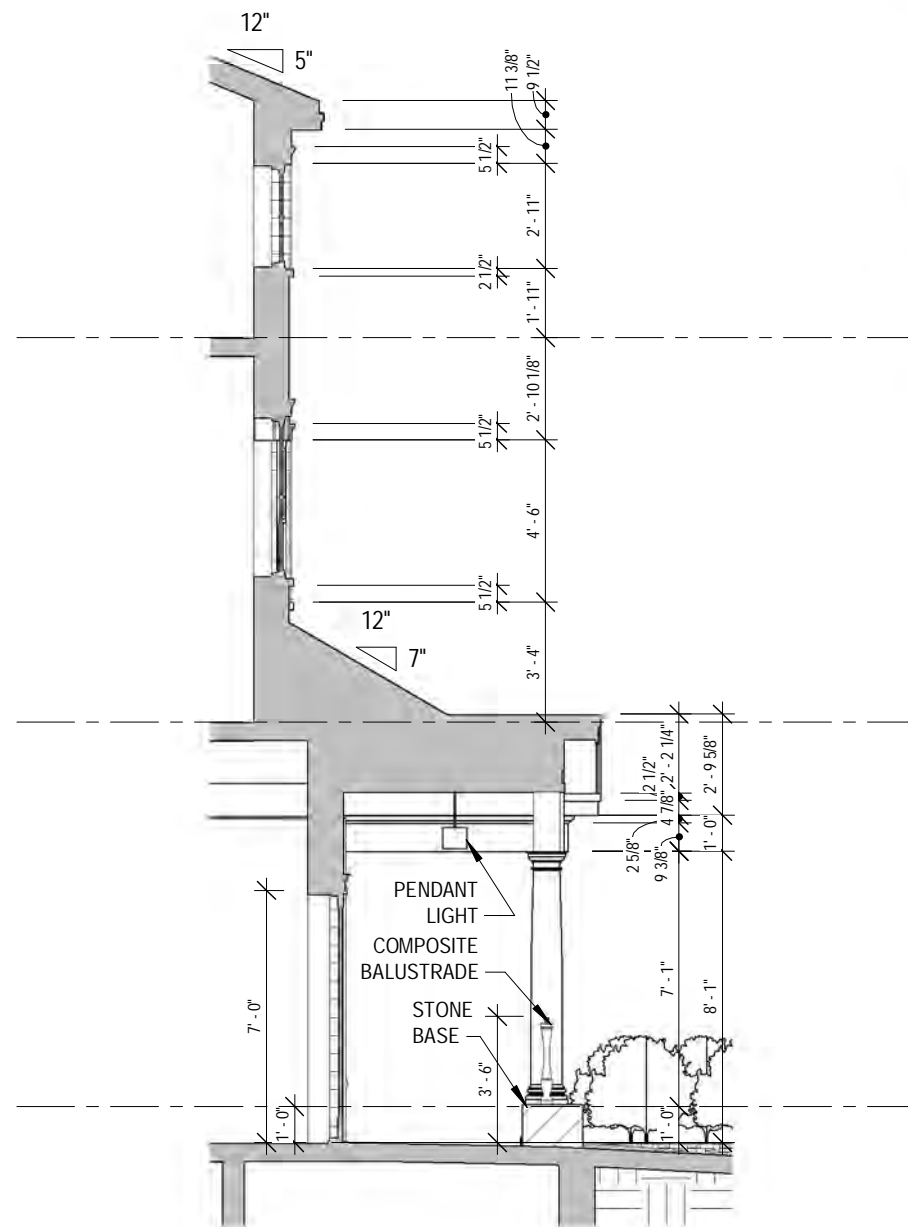
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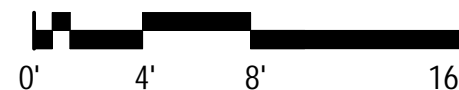


1 HDC ELEVATION - FRONT - WEST PORCH  
3/16" = 1'-0"



2 HDC SECTION - THROUGH WEST PORCH  
3/16" = 1'-0"

GRAPHIC SCALE: 3/16" = 1'-0"



P1.13

## AS PREVIOUSLY APPROVED PARTIAL EXTERIOR ELEVATIONS

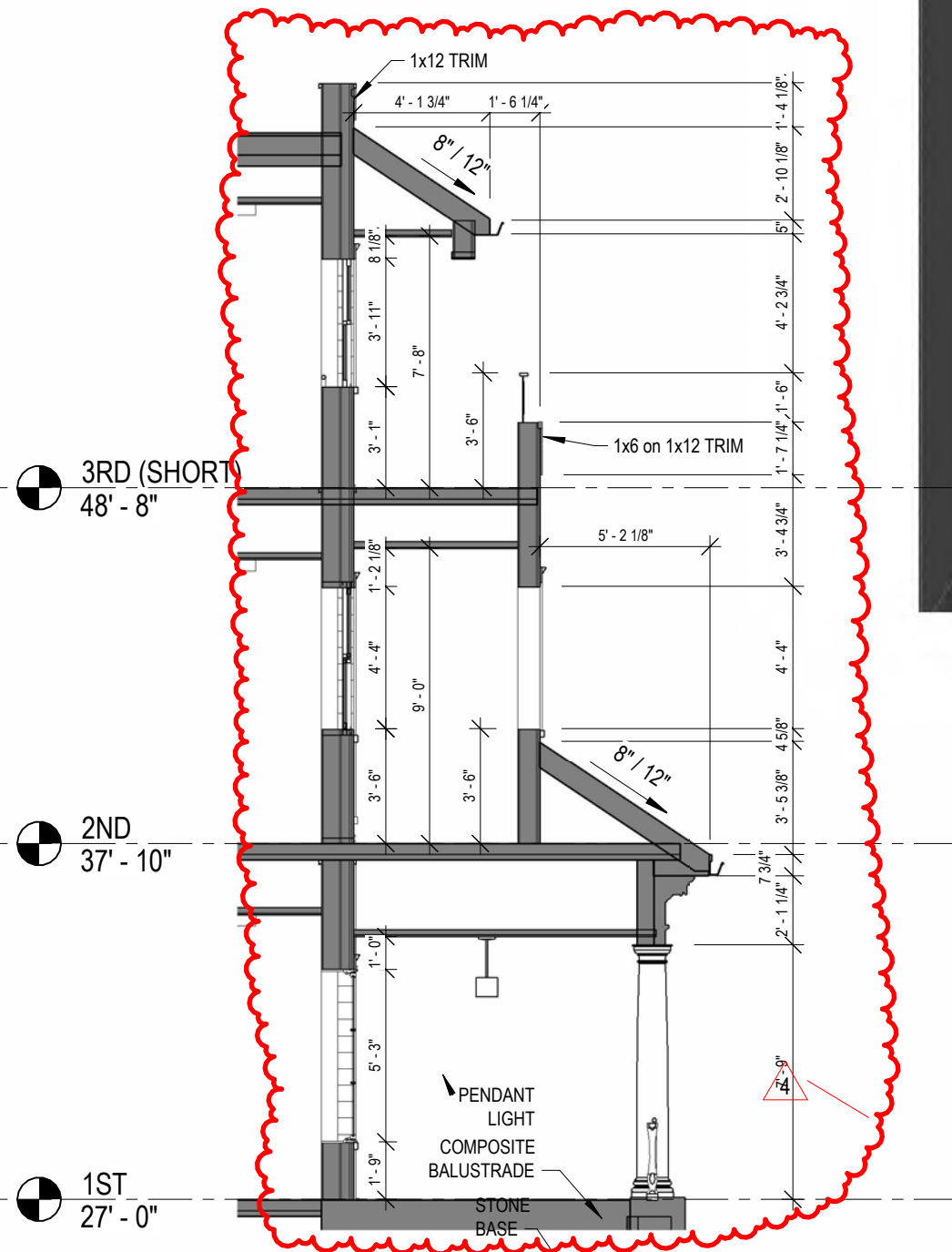
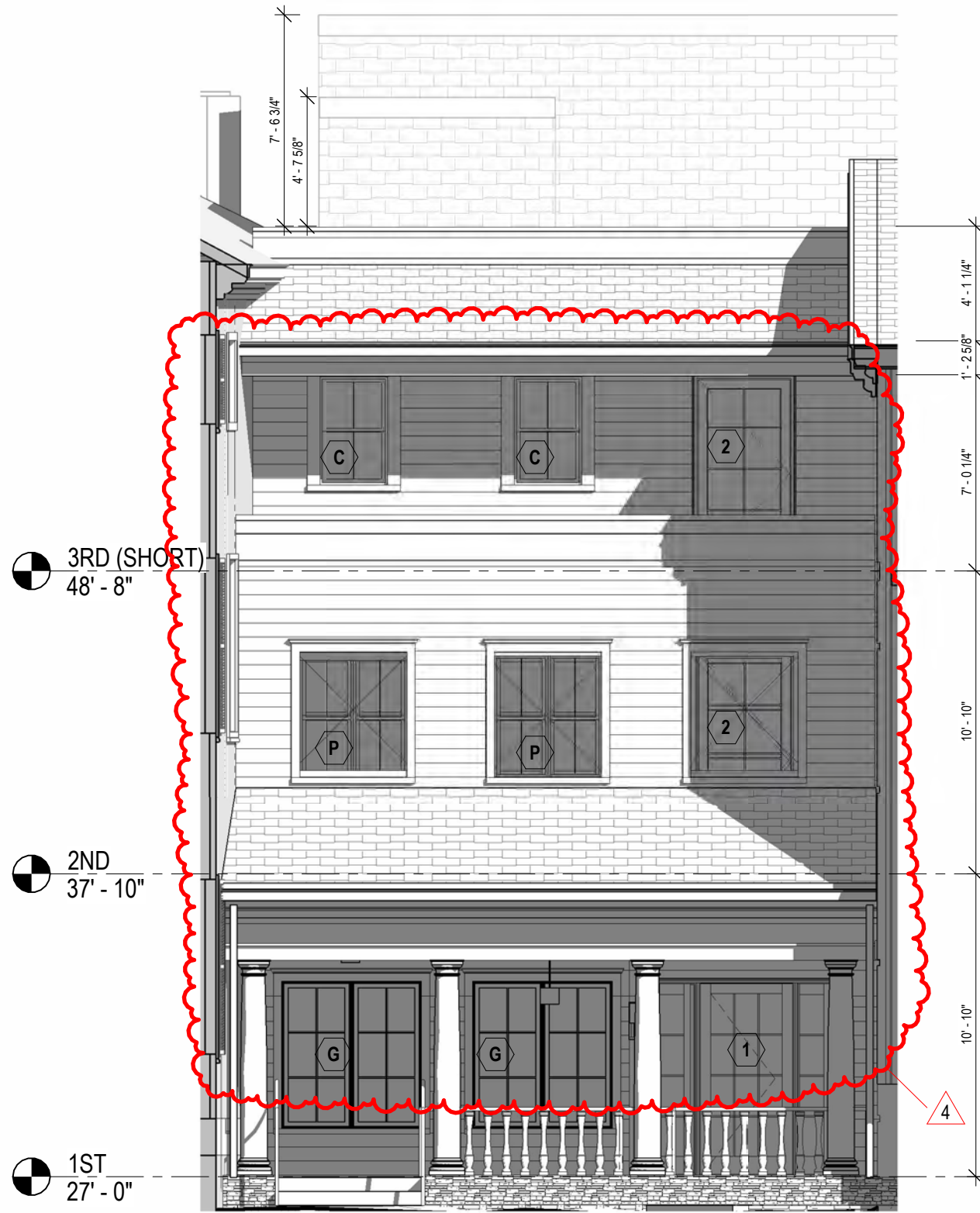
93 PLEASANT STREET  
HDC October 28, 2021



ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

EXTERIOR LIGHTING LEGEND	
	EXTERIOR LIGHTING - WALL SCONCE
	EXTERIOR LIGHTING - HANGING LIGHT
	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
	EXTERIOR LIGHTING - EMERGENCY LIGHT

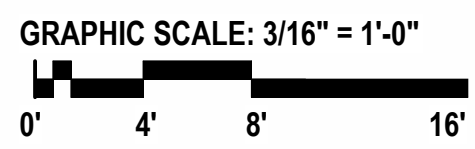




ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

EXTERIOR LIGHTING LEGEND	
	EXTERIOR LIGHTING - WALL SCONCE
	EXTERIOR LIGHTING - HANGING LIGHT
	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
	EXTERIOR LIGHTING - EMERGENCY LIGHT

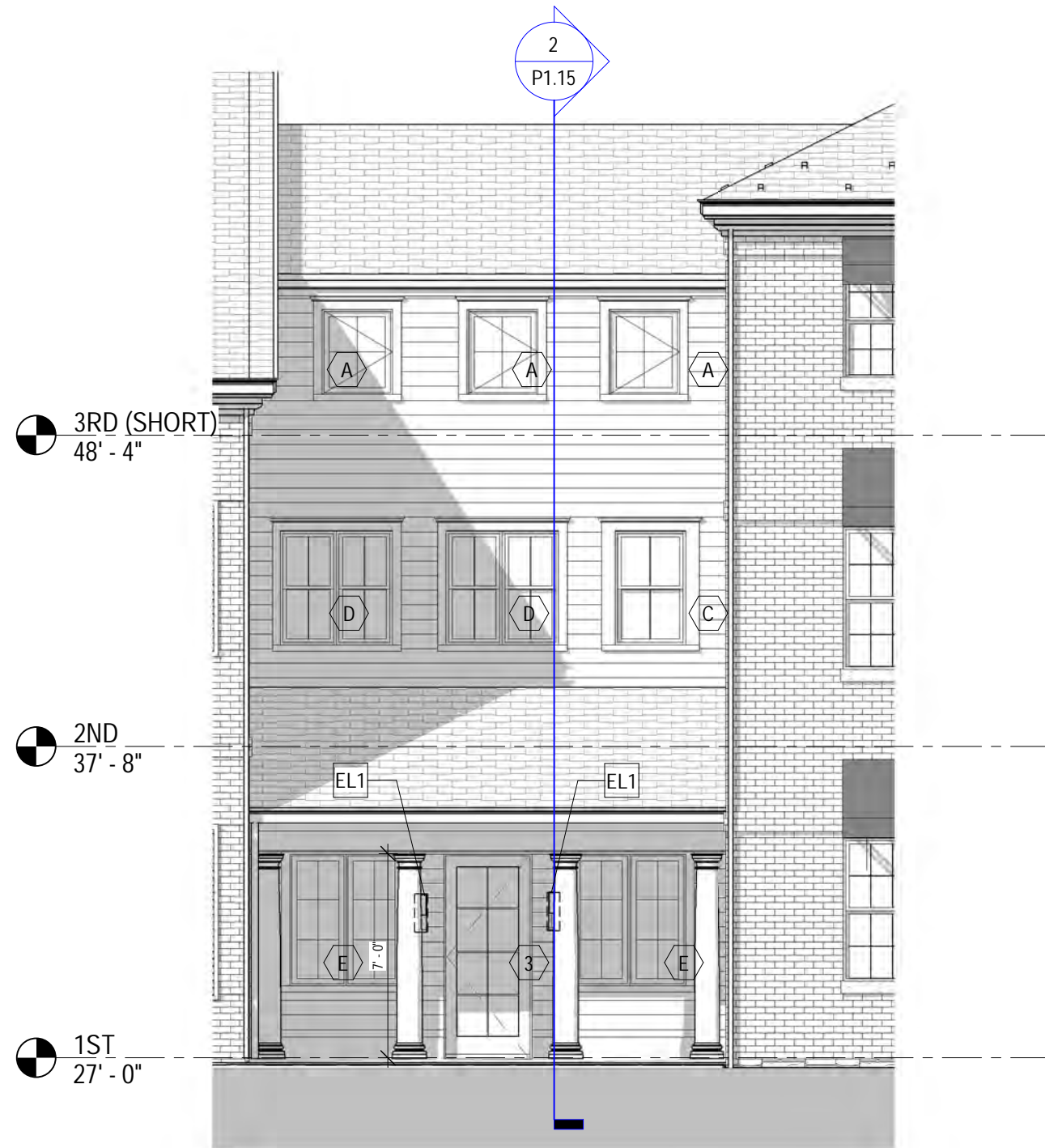
Revision Schedule		
Revision Number	Revision Description	Revision Date
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22



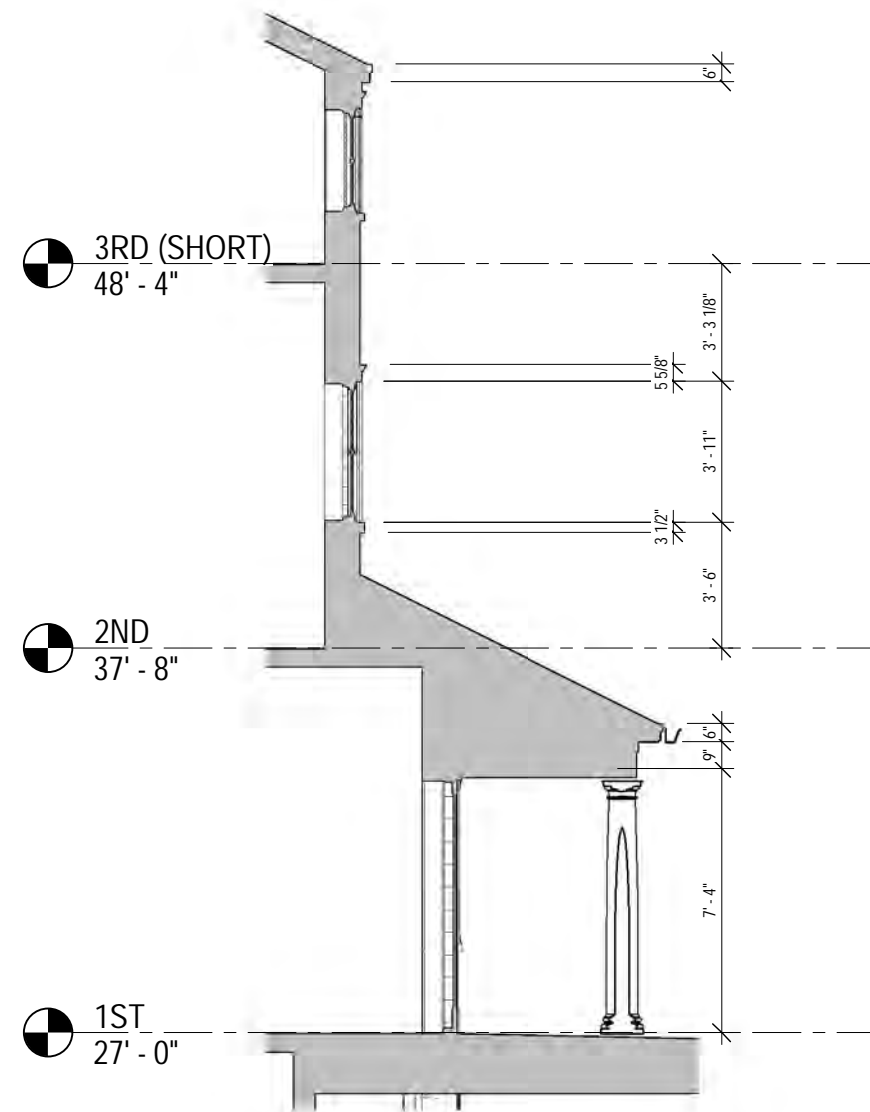
**P1.13** **PROPOSED**  
**PARTIAL EXTERIOR ELEVATIONS**  
**93 PLEASANT STREET**  
 HDC REVISION 1  
 4/14/2022







1 HDC ELEVATION - FRONT - NEW SIDE ENTRY  
3/16" = 1'-0"



2 HDC SECTION - THROUGH SIDE ENTRY  
3/16" = 1'-0"



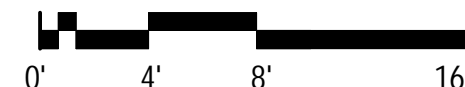
#### ELEVATION LEGEND

	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

#### EXTERIOR LIGHTING LEGEND

	EXTERIOR LIGHTING - WALL SCONCE
	EXTERIOR LIGHTING - HANGING LIGHT
	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
	EXTERIOR LIGHTING - EMERGENCY LIGHT

GRAPHIC SCALE: 3/16" = 1'-0"

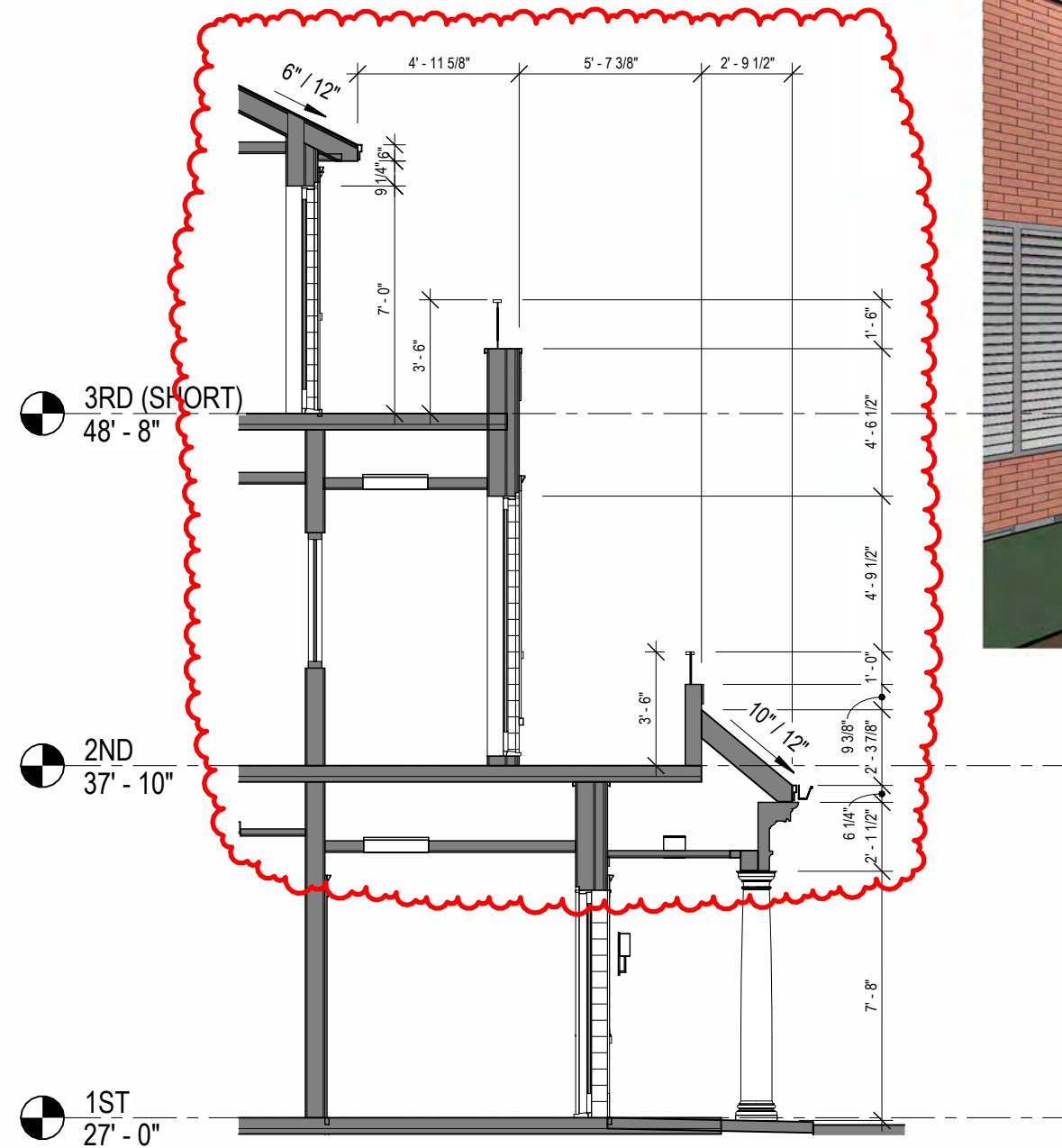
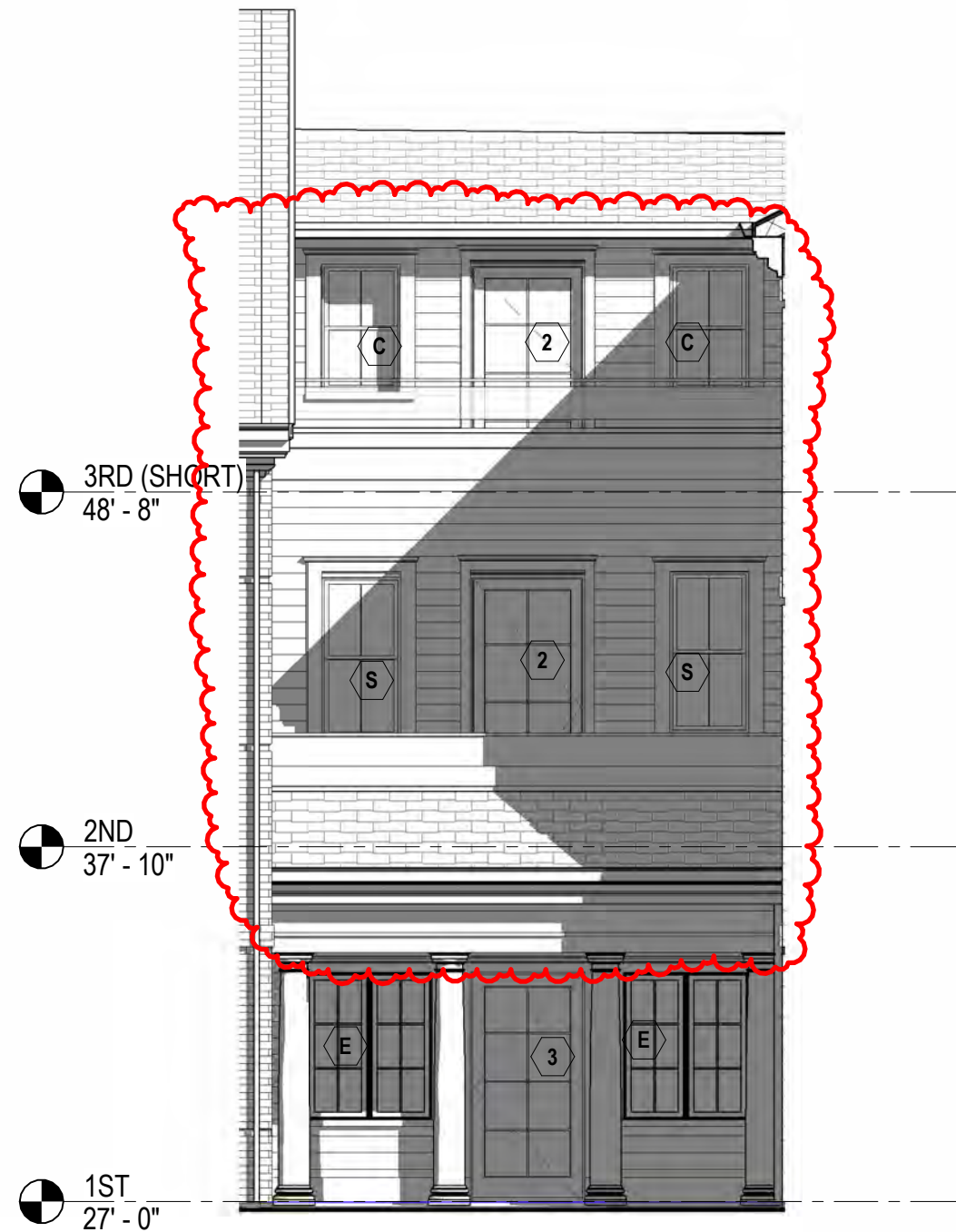


P1.15

**AS PREVIOUSLY APPROVED**  
**PARTIAL EXTERIOR ELEVATIONS**

93 PLEASANT STREET  
HDC October 28, 2021





ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

EXTERIOR LIGHTING LEGEND	
	EXTERIOR LIGHTING - WALL SCONCE
	EXTERIOR LIGHTING - HANGING LIGHT
	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
	EXTERIOR LIGHTING - EMERGENCY LIGHT

**1 PARTIAL ELEVATION - COURT ST PORCH EAST HDC**  
3/16" = 1'-0"

**2 SECTION THROUGH COURT ST PORCH EAST HDC**  
3/16" = 1'-0"

Revision Schedule		
Revision Number	Revision Description	Revision Date
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22

GRAPHIC SCALE: 3/16" = 1'-0"

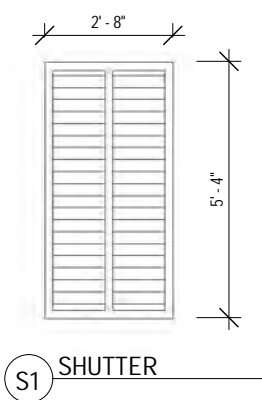
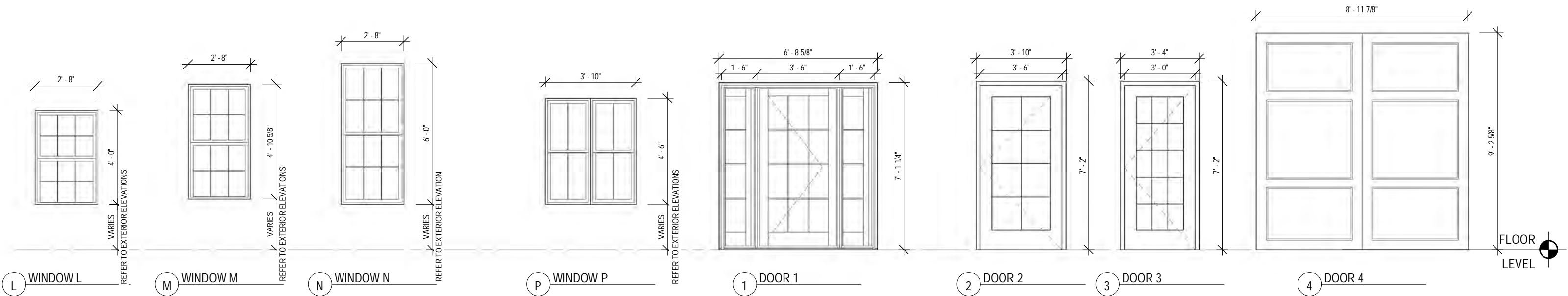
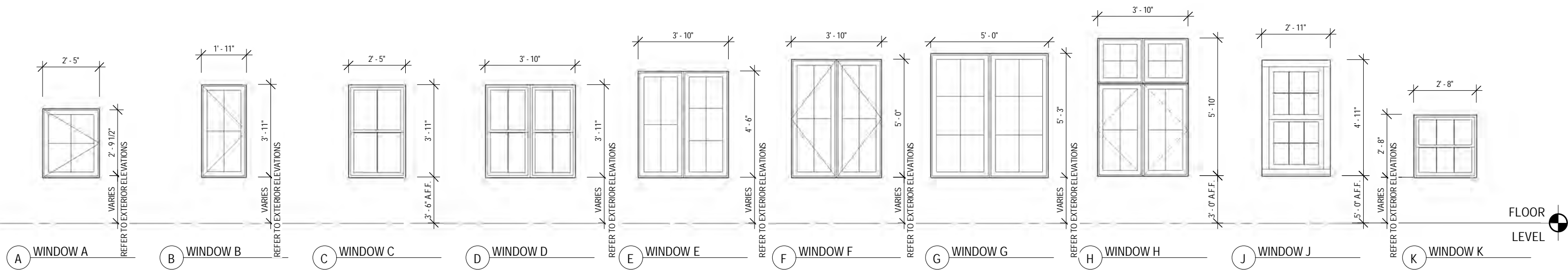


## P1.15 PROPOSED PARTIAL EXTERIOR ELEVATIONS 93 PLEASANT STREET

HDC REVISION 1  
4/14/2022







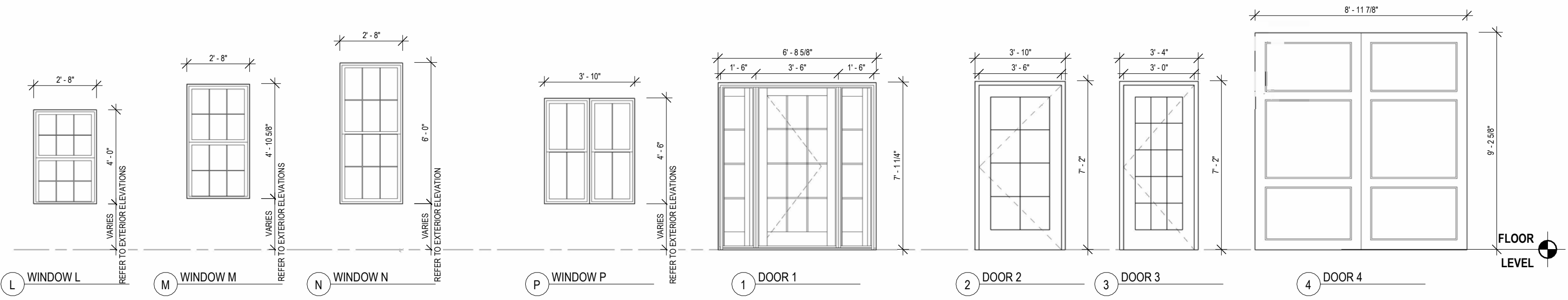
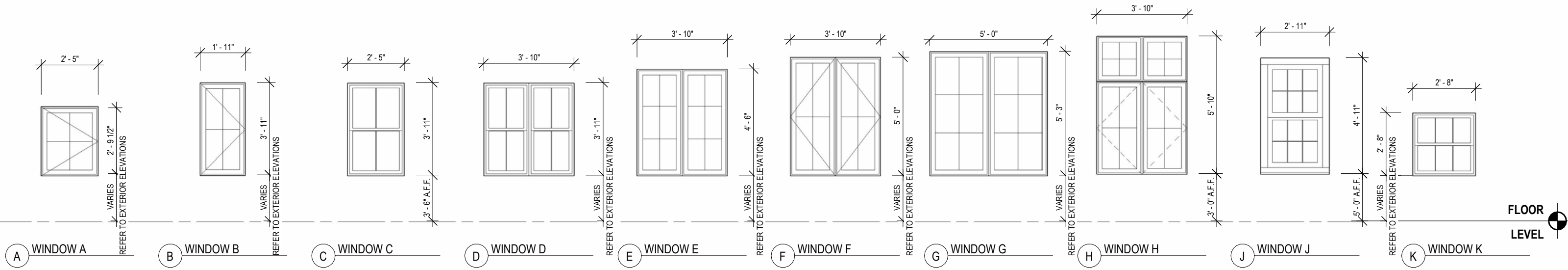
AS PREVIOUSLY APPROVED

P1.18

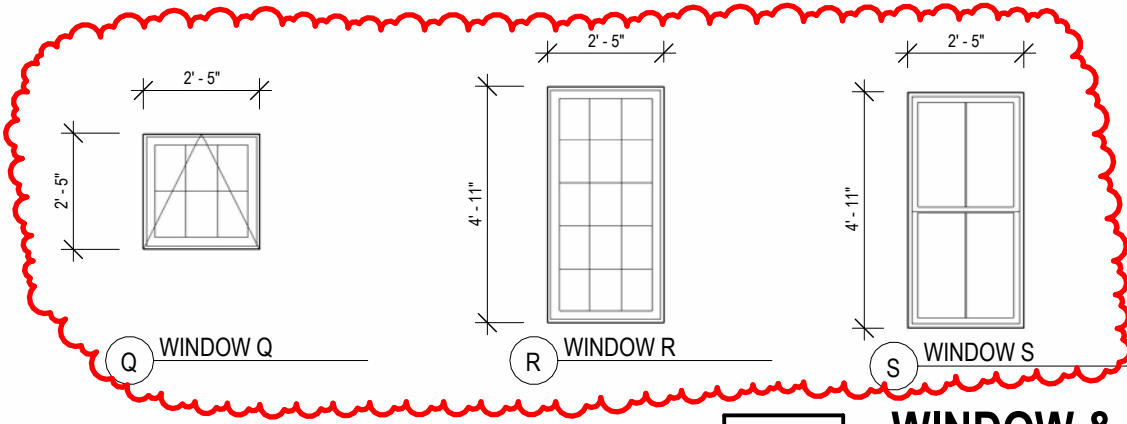
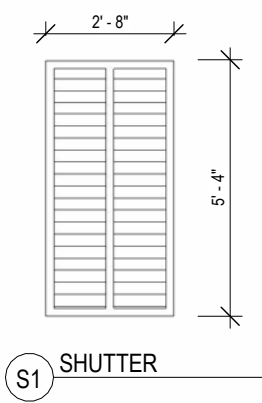
## WINDOW & DOOR TYPES

93 PLEASANT STREET  
HDC October 28, 2021





Revision Schedule		
Revision Number	Revision Description	Revision Date
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22



PROPOSED



element	material	manufacturer/model	finish/color
brick	water struck	Morin Brick	royalriver narrow flash range, nb to match existing building (concord gray?)
masonry sills & trim	granite		
siding	composite polyash    clapboards	Boral TruExterior	
trim	composite polyash	Boral TruExterior	
roofing	synthetic slate	Eco-star, Empire slate	smoke
	alum clad wood: pella or lepage; or fiberglass clad wood:		
windows	kolbe. Doulbe hung & casement		
doors	kawneer		
shutters	aluminum sliding plantation shutters	Two-USA, Weatherwell Aluminum Shutters	
		Frame: Gobal Industrian; Awnteck H23-6K ; perf metal -	
		McNichols, 16890016 McNICHOLS® Perforated Metal	
		Designer Perforated, Slotted, AIRLINE 1468, Aluminum, Alloy	
		3003-H14, .0630" Thick (14 Gauge), 1-1/2" x 1/4" Square-End	
		Slot, Straight Centers, 68% Open Area	
awnings	perforated aluminum panel on steel frame		
	corrugated metal decking on steel frame with curved steel		
canopy& brackets (@ garage door & entry)	brackets	General Awnings, Imperial Marquee; W-shaped panels	
snow guards	brass cleats		
gutters & downspouts	copper		
Hipped pyramid skylight	insulated glass; painted alumimum frame	Wasco by Velux, custom	frame - slate gray
MECHANICAL GUARD RAIL AT ROOF EQUIPMENT	steel pipe rail, painted	custom	slate gray
GUARDRAIL AT ROOF DECK	steel posts & rails, painted; stainless steel cables	Trex Commercial Tensiline	frame - black

10

7

Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
7	7	Provide railing at new roof deck and roof top equipment.	4.14.22
10	10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

PROPOSED

P1.19

MATERIALS  
93 PLEASANT STREET

HDC REVISION 1  
04/14/2022



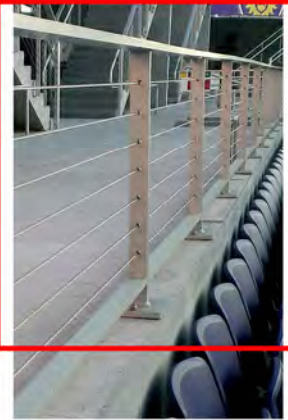


7

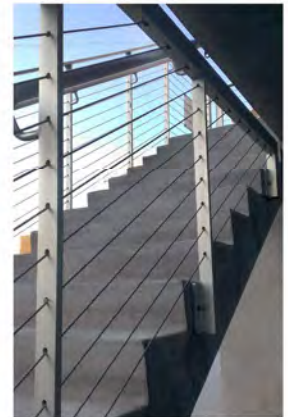
Tensiline™ Cable Railing

Mounting Options

Top Mount (Custom Options Available)



Fascia Mount (Custom Options Available)



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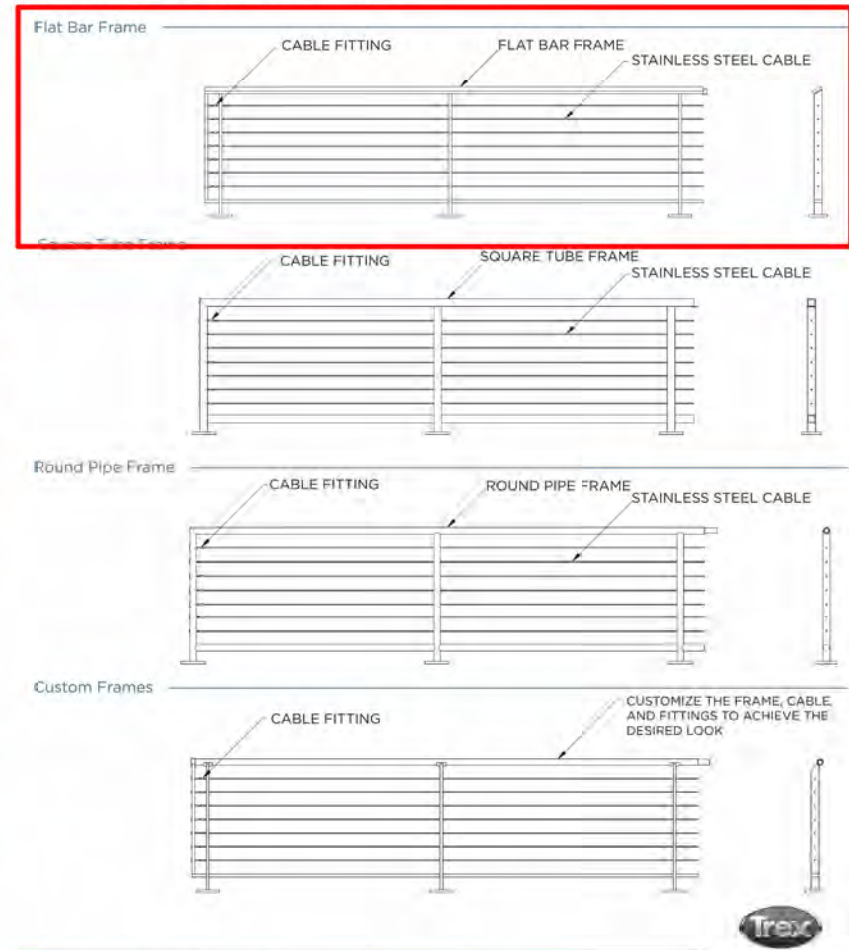


Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
7	7	Provide railing at new roof deck and roof top equipment.	4.14.22
10	10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

10

Tensiline™ Cable Railing

Frame Configurations (Custom Available)



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10

SEMI-CUSTOM STRUCTURAL CLASSIC SERIES

Quality Structural Skylights for Commercial Daylighting

VELUX® Commercial



Classic meets modern in this semi-custom structural skylight system. The Classic Series Skylight is pre-engineered with a lightweight metal-frame to provide enduring strength and durability. Offered in multiple pyramid configurations and three standard pitches, these unique skylights provide easy installation and long-lasting beauty.

Features and Benefits:

- Double-pitch, extended, octagonal and square pyramid configurations
- Available in unlimited finishes, including anodized and paint coatings
- Energy-efficient with fully thermally broken frame
- Pre-welded frames for faster, easier installation
- Capable of spanning up to eight feet wide and available in three standard pitches: 5:12, 7:12, and 12:12
- Shipping options available for pre-assembled and pre-glazed skylights
- Condensation control with integral gutters to expel water to the exterior
- Beautiful inside and out with hidden fasteners for a sleek, clean design
- Includes glass or polycarbonate glazing options for lightweight, durable and energy-efficient design
- Five-year warranty on workmanship and glazing and up to 20-year coverage on finish

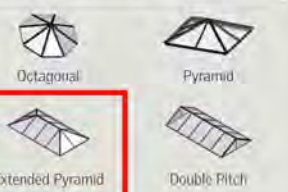
Code Compliance:

- Meets IECC/IBC/IRC/FBC/Title 24 requirements for energy and building code compliance
- Florida Product Approved (pyramid configuration)

Ideal Applications:



Configurations:



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PROPOSED

P1.19B MATERIALS  
93 PLEASANT STREET  
HDC REVISION 1  
04/14/2022

